

PROJECT INFORMATION

OWNER: JOHN AND KELLY RAINEY
 ADDRESS: LINCOLN 5 SW OF 10TH CARMEL-BY-THE-SEA, CA 93923
 ZONING: R-4
 LEGAL DESCRIPTION: APN 010-082-004
 USE: SINGLE FAMILY RESIDENTIAL
 DESCRIPTION: NEW TWO STORY RESIDENCE
 TREE REMOVAL: NO TREES TO BE REMOVED

PROJECT TEAM

DESIGNER: JOBE CORRAL ARCHITECTS
 ADA CORRAL, AIA
 505 W. 38TH ST.
 MONTEREY, CA 93940
 831.375.1890

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
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CIVIL ENGINEER: BENJAMINI, INC
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CONTRACTOR: STOCKER & ALLAIRE
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GENERAL NOTES

- ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/DESIGNER.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE ARCHITECT/DESIGNER SHALL BE NOTIFIED FOR CLARIFICATION.
- STRUCTURAL, MECHANICAL AND/OR ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND ELECTRICAL WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS THAT WOULD CAUSE AN AWKWARD INSTALLATION, IT SHOULD BE BROUGHT TO THE ARCHITECT/DESIGNER'S ATTENTION FOR CLARIFICATION PRIOR TO THE INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS/HER EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER OR ARCHITECT/DESIGNER.
- STRUCTURAL DRAWINGS GOVERN SIZES, SPACING AND CONNECTIONS OF ALL STRUCTURAL MATERIALS AND MEMBERS. IN CASE OF DISCREPANCIES, CONSULT WITH THE ARCHITECT/DESIGNER BEFORE COMMENCEMENT OF WORK.
- FINAL LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PANEL BOARDS, METERS, FIXTURES, FLUES, VENTS, ETC., SHALL BE APPROVED BY ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS SHOWN ON FLOOR PLANS ARE TO FACE OF STUD WALL UNLESS OTHERWISE NOTED OR INDICATED.
- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE BY THE CONTRACTOR WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF/HERSELF AS TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL, AT SUCH TIME, ASCERTAIN AND CHECK LOCATION OF EXISTING STRUCTURES OR EQUIPMENT WHICH MAY AFFECT THE WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE IN HIS/HER BEHALF FOR ANY EXPENSE TO WHICH HE/SHE MAY BE PUT INTO DUE TO FAILURE OR NEGLECT ON HIS/HER PART TO MAKE SUCH AN EXAMINATION. ANY CONFLICTS OR OMISSIONS, ETC., SHOULD BE REPORTED TO THE ARCHITECT/DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO VARIATION BETWEEN ACTUAL MEASUREMENT AND DIMENSIONS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR IS CAUTIONED THAT THE WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE PLANS, SHALL BE PERFORMED BY HIM/HER AND INCLUDED ON HIS/HER WORK AT NO ADDITIONAL COST TO THE OWNER.
- ITEMS OF WORK INDICATED ON THE DRAWINGS AS N.I.C. (NOT IN CONTRACT) SHALL BE PERFORMED, FURNISHED, OR LED UNDER SEPARATE CONTRACT BY THE OWNER. THE CONTRACTOR SHALL COORDINATE HIS/HER WORK ACCORDINGLY AS REQUIRED FOR A SMOOTH WORK SCHEDULE.
- IT SHALL BE CONSTRUED THAT EACH SUBCONTRACT IS AN INTEGRAL PART OF THE GENERAL CONTRACT AND THE CONTRACTOR SHALL PROVIDE AND MAINTAIN IN FULL OPERATION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT A SUFFICIENT CREW OF LABORERS, MECHANICS AND FOREMAN TO PROSECUTE THE WORK WITH DISPATCH.
- THE CONTRACTOR SHALL ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER THROUGHOUT THE COURSE OF THE JOB. HE/SHE SHALL MAINTAIN CLEANLINESS THROUGHOUT AND CONTROL ANY DUST CAUSED BY THE WORK, AS WELL AS, PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS/HER OPERATIONS AT THE CONCLUSION OF THE INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.
- THE CONTRACTOR SHALL PROVIDE ALL INSURANCE PRIOR TO COMMENCEMENT OF ANY WORK, AS REQUIRED BY OWNER AND ALL INSURANCE TO CLEARLY AND COMPLETELY INDEMNIFY THE ARCHITECTS/DESIGNERS AND THE OWNERS FROM ALL CLAIMS WHICH ARISE FROM THE PERFORMANCE OF ALL WORK RELATED TO THIS CONTRACT.

DEMOLITION NOTES

- ALL PREPARATION, DEMOLITION, REMOVAL AND DISPOSAL IS TO BE PERFORMED IN ACCORDANCE WITH REQUIREMENTS OF THE APPLICABLE BUILDING CODES AND THE AUTHORITIES HAVING JURISDICTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST SAFETY PRACTICES. USE ONLY LABORERS EXPERIENCED IN THIS WORK. ALL REMOVALS AND CAPPING OF EXISTING UTILITY SERVICES (ELECTRICAL, PLUMBING, GAS, ETC.) TO BE DONE BY LICENSED TRADESMAN. THE HIGHEST DEGREE OF CARE AND PRECAUTION SHALL BE EXERCISED FOR ALL WORK RELATED TO THIS CONTRACT TO PREVENT PERSONAL INJURIES, DAMAGES TO PROPERTY AND DAMAGES TO EXISTING ACTIVE UTILITY SERVICES.
- DEMOLITION PLAN IS TO BE USED IN CONJUNCTION WITH ALL ARCHITECTURAL AND ENGINEER'S DRAWINGS. ALL WORK IS TO BE COORDINATED WITH THE RESPECTIVE TRADES.
- THE CONTRACTOR SHALL CAREFULLY INSPECT ALL EXISTING CONDITIONS PRIOR TO BIDDING AND INCLUDE ALL REMOVALS AS NECESSARY TO ACCOMPLISH THE NEW CONSTRUCTION. THE PLAN IS TO DESIGNATE THE GENERAL SCOPE OF REMOVALS.
- THE CONTRACTOR SHALL ISOLATE WORK AREAS, SO AS TO PROVIDE A DUST-FREE ENVIRONMENT IN OCCUPIED AREAS. ALL FURNITURE AND FIXTURES IN THE IMMEDIATE VICINITY OF WORK ARE TO BE PROPERLY PROTECTED PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR TO PROVIDE AND MAINTAIN NECESSARY COVERINGS THROUGHOUT COURSE OF WORK, AND REMOVE AND DISPOSE OF THESE UPON COMPLETION OF EACH PHASE OF CONSTRUCTION. WHEREIN THE SITE SHALL BE LEFT ORDERLY AND BROOM SWEEP, ANY DAMAGE RESULTING FROM CONTRACTOR'S IMPROPER PROTECTION OF EXISTING OR NEW CONSTRUCTION, FIXTURES OR FURNITURE IS TO BE REPAIRED OR REPLACED (AS REQUIRED) BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- ALL DEBRIS RESULTING FROM THE OPERATION UNDER THIS CONTRACT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL NOT BE STORED OR PERMITTED TO ACCUMULATE ON THE SITE.
- THROUGHOUT THE COURSE OF DEMOLITION AND CONSTRUCTION, ALL AREAS OF NEW CONSTRUCTION, AS WELL AS THE PATH OF ACCESS, SHALL BE KEPT CLEAN AND FREE OF DEBRIS, UNUSED EQUIPMENT, DISCARDED MATERIALS, AND GARBAGE.
- REPAIR ALL SURFACES AT POINTS OF REMOVAL, DEMOLITION OR NEW CONSTRUCTION, INCLUDING FLOORING, BASE, PAINT, ETC. WHERE IT IS POSSIBLE CONTRACTOR SHALL MATCH THE EXISTING FINISH TO THE SATISFACTION OF THE ARCHITECT/DESIGNER. THE CONTRACTOR SHALL PROVIDE NEW FINISHES IN DESIGNATED AREAS.
- ALL MEASUREMENTS ARE TO BE VERIFIED IN FIELD AND ANY DISCREPANCIES THEREOF BROUGHT TO THE ATTENTION OF THE ARCHITECT/DESIGNER.

ABBREVIATIONS

@	AT	LIN	LINEAR
ABV	ABOVE	L.P.	LOW POINT
A/C	AIR CONDITIONING	LT	LIGHT
ADJ	ADJUSTABLE		
ADDN	ADDITIONAL	MAS	MASONRY
A.F.F.	ABOVE FINISH FLOOR	MATL	MATERIAL
A.H.U.	AIR HANDLING UNIT	MAX	MAXIMUM
ALLUM	ALUMINUM	MECH	MECHANICAL
APPROX	APPROXIMATE	MFR	MANUFACTUR(ER)
ARCH	ARCHITECT OR ARCHITECTURAL	MIN	MINIMUM
		MIR	MIRROR
BD	BOARD	MISC	MISCELLANEOUS
B.L.	BUILDING LINE	MTD	MOUNTED
BLDG	BUILDING	MTL	METAL
BLK	BLOCK	(N)	NEW
BLKG	BLOCKING	N	NORTH
BLW	BELOW	N.I.C.	NOT IN CONTRACT
BM	BEAM	NOM	NOMINAL
B.O.	BOTTOM OF	NO#	NUMBER
BRG	BEARING	N.T.S.	NOT TO SCALE
BTM	BOTTOM		
BTWN	BETWEEN	O.C.	ON CENTER
B.U.R.	BUILT UP ROOF	O.E.	OVERHEAD ELECTRICAL
		O.H.	OVERHEAD
CAB	CABINET	OPER	OPERABLE
CANT	CANTILEVER	OPNG	OPENING
C.J.	CONTROL JOINT	OPP	OPPOSITE
COL	CENTER LINE	OPP.H.	OPPOSITE HAND
CLG	CEILING		
CLR	CLEAR		
C.M.U.	CONCRETE MASONRY UNIT	PERF	PERFORATED
CL	COLUMN	PL	PLATE
COND	CONDITION	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PLBG	PLUMBING
CONST	CONSTRUCTION	PLYWD	PLYWOOD
CONTR	CONTRACTOR	PNLG	PANELING
COORD	COORDINATE	PNT	PAIN
C.R.Z.	CRITICAL ROOT ZONE	POL	POLISHED
CTR	CENTER	P.P.	POWER POLE
		PROJ	PROJECT
D	DRYER	PROP	PROPERTY
DBL	DOUBLE	PROT	PROTECTION
DIA	DIAMETER	P.T.	PRESSURE TREATED
DIAG	DIAGONAL	PTD	PAINTED
D.L.	DIMENSION LINE		
DIM	DIMENSION	QTY	QUANTITY
DISP	DISPENSER		
DN	DOWN	R	RADIUS
DS	DOWNSPOUT	R.C.P.	REFLECTED CEILING PLAN
DTL	DETAIL	RE:	REFER
D.W.	DISH WASHER	REC	RECESSED
DWG	DRAWING	REF	REFRIGERATOR
		REIN	REINFORCEMENT
(E)	EXISTING	REQ'D	REQUIRED
EA	EACH	REQMT	REQUIREMENT
E.L.	EXPANSION JOINT	RESIL	RESILIENT
ELEC	ELECTRICAL	RET	RETAINING
ELEV	ELEVATION	REV	REVISION
ENCL	ENCLOSURE	RM	ROOM
EQ	EQUAL	R.O.	ROUGH OPENING
EQUIP	EQUIPMENT		
EXH	EXHAUST FAN	S	SOUTH
EXIST	EXISTING	SC	SCALE
EXP	EXPANSION	SCHED	SCHEDULE
EXT	EXTERIOR	S.D.	SMOKE DETECTOR
		SECT	SECTION
FF	FINISH FLOOR	S.F.	SQUARE FEET
FIN	FINISH	SHTG	SHEATHING
FIXT	FIXTURE	SHWR	SHOWER
FLR	FLOOR	SIM	SIMILAR
FLUOR	FLUORESCENT	SPEC	SPECIFICATIONS
F.O.C.	FACE OF CONCRETE	S.S.	STAINLESS STEEL
F.O.F.	FACE OF FINISH	STD	STANDARD
F.O.M.	FACE OF MASONRY	STL	STEEL
F.O.S.	FACE OF STUD	STN	STONE
FRZ	FREEZER	STRUC	STRUCTURAL
FT	FOOT OR FEET	SYM	SYMMETRICAL
FTG	FOOTING	SYS	SYSTEM
FURR	FURRING		
		THK	THICK
GA	GAUGE	THLD	THRESHOLD
GALV	GALVANIZED	TL	TILE
G.C.	GENERAL CONTRACTOR	TO	TOP OF
GEN	GENERAL	T.O.C.	TOP OF CONCRETE
GL	GLASS OR GLAZED	T.O.S.	TOP OF SLAB
GYP/GWB	GYPSPUM WALL BOARD	T.O.W.	TOP OF WALL
		TP	TOILET PAPER
H.B.	HOSE BIB	TR	TREAD
HDWD	HARDWOOD	TYP	TYPICAL
HDWR	HARDWARE		
HORIZ	HORIZONTAL	U/C	UNDER COUNTER
H.P.	HIGH POINT	UCAB	UNDER CABINET
H.R.	HAND RAIL	U.O.N.	UNLESS OTHERWISE NOTED
HT	HEIGHT		
H.V.A.C.	HEATING, VENTING, AIR COND.	VEN	VENEER
		VERT	VERTICAL
INCL	INCLUDE	VEST	VESTIBULE
INFO	INFORMATION	V.I.F.	VERIFY IN FIELD
INSUL	INSULATE OR INSULATION		
INT	INTERIOR	W	WEST
		W/	WITH
JT	JOINT	W.C.	WATER CLOSET
		WD	WOOD
KIT	KITCHEN	WDW	WINDOW
		W.H.	WATER HEATER
LAV	LAVATORY	W/O	WITHOUT
L.F.	LINEAR FEET	WP	WATERPROOF

DRAWING INDEX

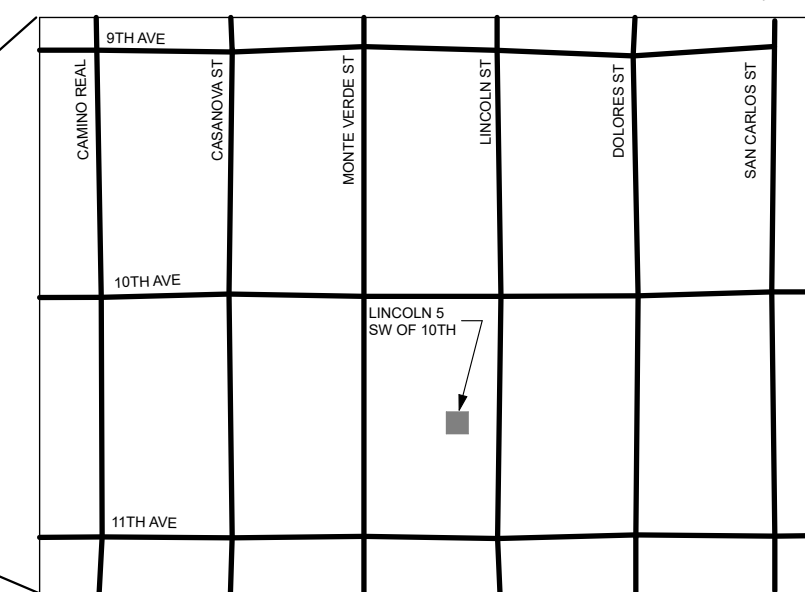
SHEET #	TITLE	CONCEPT PROJECT REVIEW 01.29.2021
ARCHITECTURAL		
A0.00	TITLE PAGE & GENERAL NOTES	●
A1.00	SITE PLAN	●
A1.01	EXISTING SITE PLAN	●
D1.01	SITE DEMOLITION PLAN	●
A2.10	FLOOR PLAN MAIN LEVEL	●
A2.11	FLOOR PLAN LOWER LEVEL	●
A2.12	ROOF PLAN	●
A2.13	AREA CALCULATIONS	●
A3.00	EXISTING EXTERIOR ELEVATIONS	●
A3.01	EXISTING EXTERIOR ELEVATIONS	●
A3.10	EXTERIOR ELEVATIONS	●
A3.11	EXTERIOR ELEVATIONS	●
A3.12	STREETSCAPE ELEVATION	●
A6.00	WINDOW SCHEDULE	●
A6.01	WINDOW & DOOR SCHEDULE	●
A7.01	ARCHITECTURAL EXTERIOR LIGHTING PLAN	●
A8.00	FRONT FENCE ELEVATIONS	●
A9.00	MATERIAL DETAILS	●
LANDSCAPE		
L1.0	TREE PROTECTION PLAN	●
L2.0	LANDSCAPE MATERIALS	●
L3.0	SITE PLAN	●
L4.0	PLANTING PLAN	●
L4.1	PLANTING LIST + NOTES	●
L5.0	LANDSCAPE LIGHTING PLAN	●
CIVIL ENGINEER		
C0.1	PROJECT INFORMATION & NOTES	●
C1.0	GRADING & DRAINAGE PLAN	●
C1.1	LOWER LEVEL DRAINAGE PLAN	●
C2.0	SECTIONS & DETAILS	●
C3.0	EROSION AND SEDIMENT CONTROL (1 OF 2) GRADING AND OPERATION PLAN	●
C3.1	EROSION AND SEDIMENT CONTROL (2 OF 2)	●



LOCATION MAP



N.T.S.



KEY PLAN

DETAIL MAP



RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
 ADA CORRAL, AIA
 505 W. 38TH ST. STE B
 AUSTIN, TX 78705
 512.499.1591

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NOTES:

LEGEND:

ISSUE:
 01.29.2021 CONCEPT PROJECT REVIEW

PROJECT:
RAINEY RESIDENCE
 JOHN AND KELLY RAINEY
 LINCOLN 5 SW OF 10TH
 CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:
 1914

02.05.2021

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NORTH:

SCALE: N.T.S.

DRAWN BY: KK, LP

TITLE PAGE & GENERAL NOTES

A0.00



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- NOTES:**
1. LOT AREA = 70x100=7000 sf
 2. APN 010-082-004
 3. SEE D1.00 FOR EXISTING INFORMATION.
 4. ALL TREES TO REMAIN.
 5. SEE L1.0-L5.0 FOR ADDITIONAL INFORMATION ON LANDSCAPE MATERIALS, HEIGHTS, AND LAYOUTS.
 6. REFER TO CXXXX FOR SITE GRADING INFORMATION.

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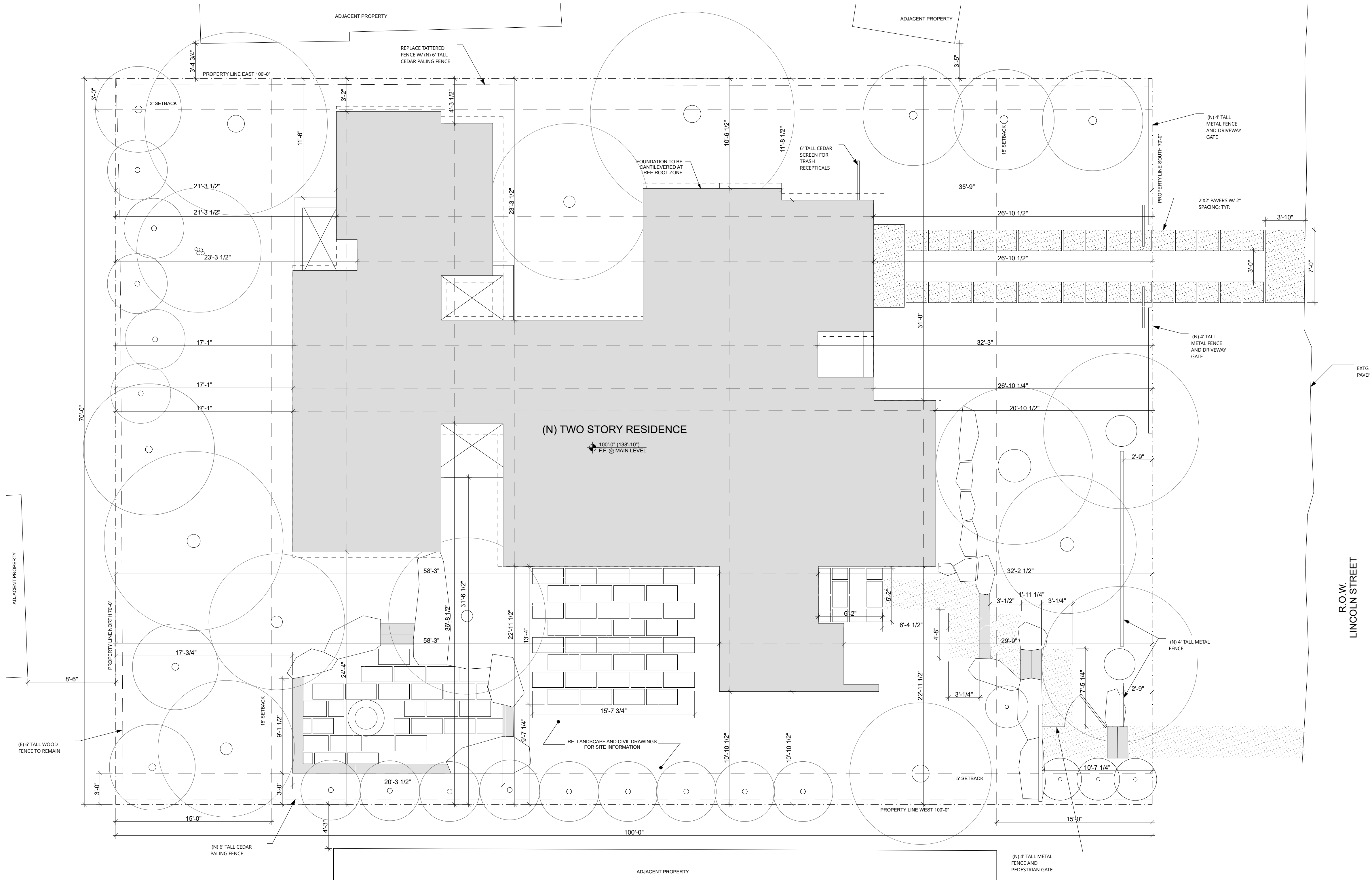
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NORTH:

SCALE: 3/16" = 1'-0"
(3/32" = 1'-0" SCALE HALF SIZE 11x17)

DRAWN BY: KK, LP



1 SITE PLAN



SITE PLAN
A1.00



RAINEY RESIDENCE

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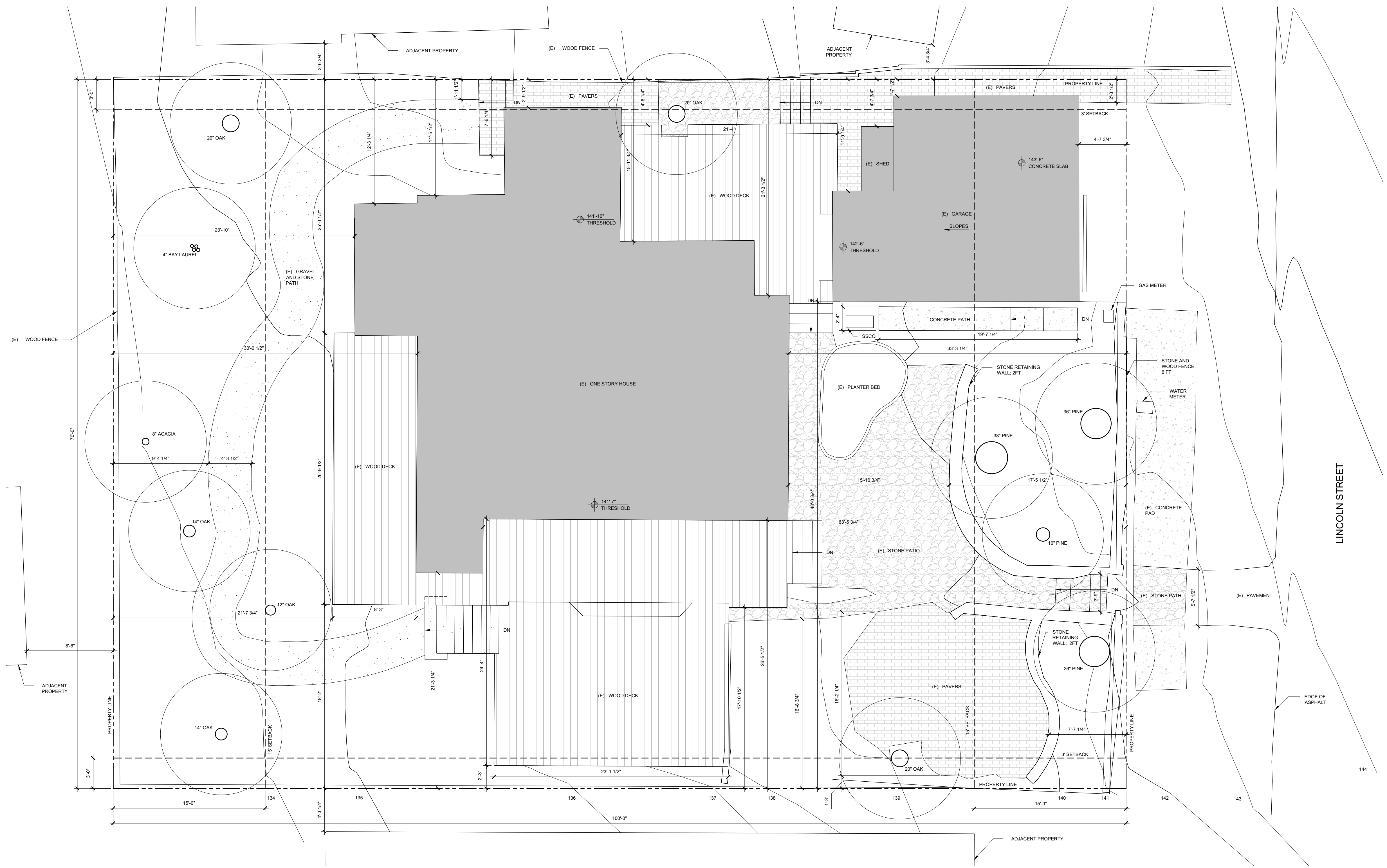
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DRAWN BY: KK, LP

EXISTING SITE COVERAGE			
MATERIAL	LOCATION	TOTAL AREA	NOTES
EXISTING BUILDING AREA		1752 SF	
IMPERVIOUS: 363 SF			
STONE	FRONT PATH: 363 SF SIDE PATIO: 66 SF	445 SF	
PAVERS: MORTARED	GARAGE PATH: 109 SF FRONT PATIO: 270 SF PATH AT SIDE OF HOUSE: 64 SF	443 SF	
CONCRETE	PATH, STEPS AT SIDE OF GARAGE	46 SF	
SITE WALLS: STONE	WALL AT FRONT OF PROPERTY	29 SF	EXCLUDES RETAINING WALLS
SEMI-PERVIOUS: 1584 SF			
GRAVEL AND STONE	BACK PATH: 382 SF	382 SF	
WOOD DECK	PATIO/DECK: 1135 SF DECK STEPS: 67 SF	1202 SF	
PERVIOUS TOTAL: 0 SF			





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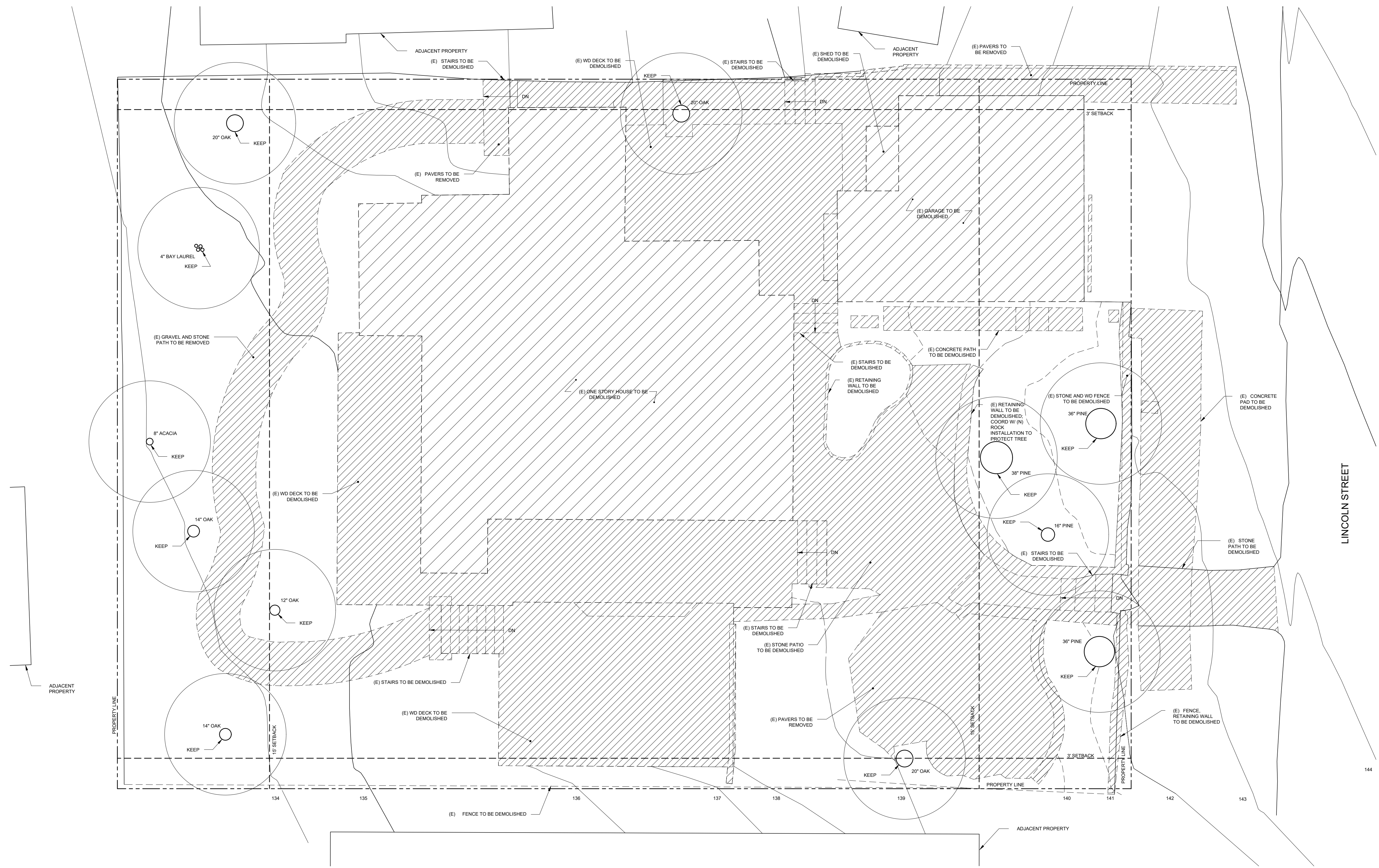
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SCALE: 3/16" = 1'-0", 3/16" = (3/32" = 1'-0" SCALE HALF SIZE 11x17)

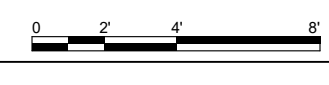
DRAWN BY: KK, LP

SITE DEMOLITION PLAN

D1.01



1 SITE DEMOLITION PLAN
SCALE: 3/16" = 1'-0"





RAINEY RESIDENCE

DESIGNER: JOB CORRAL ARCHITECTS
300 W. 38TH ST. STE B
AUSTIN, TX 78705
512.499.1591

STRUCTURAL ENGINEER: STRANBERG ENGINEERING
DAVID STRANBERG
1011 13TH STREET
SAN FRANCISCO, CA 94103
415.778.6726/264101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
ASE STALLCUP
2665 CARMEL RANCHO BLVD.
CARMEL, CA 93923
831.372.8328

CONTRACTOR: STOCKER & ALLIANCE
DAVID STOCKER
21 MANDEVILLE COURT
MONTEREY, CA 93940
831.375.1890

CIVIL ENGINEER: BENJAMIN, INC
ROY BENJAMIN
720 YORK ST #114
SAN FRANCISCO, CA 94110
415.550.2800

LANDSCAPE ARCHITECT: J.M.A.
JESSICA M. NEAFSEY
3346 7TH AVE
CARMEL, CA 93923
734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
CHRISTINA BROWN
8411 CHAPEL DOWN STREET
AUSTIN, TX 78729
512.382.1656

NOTES:
100'-0" = 137'-6" ABV SEA LEVEL

LEGEND:

ISSUE:
01.29.2021 CONCEPT PROJECT REVIEW

PROJECT:
RAINEY RESIDENCE
JOHN AND KELLY RAINEY
LINCOLN 5 SW OF 10TH
CARMEL-BY-THE-SEA, CA 93923
PROJECT NUMBER:
1914
02.05.2021

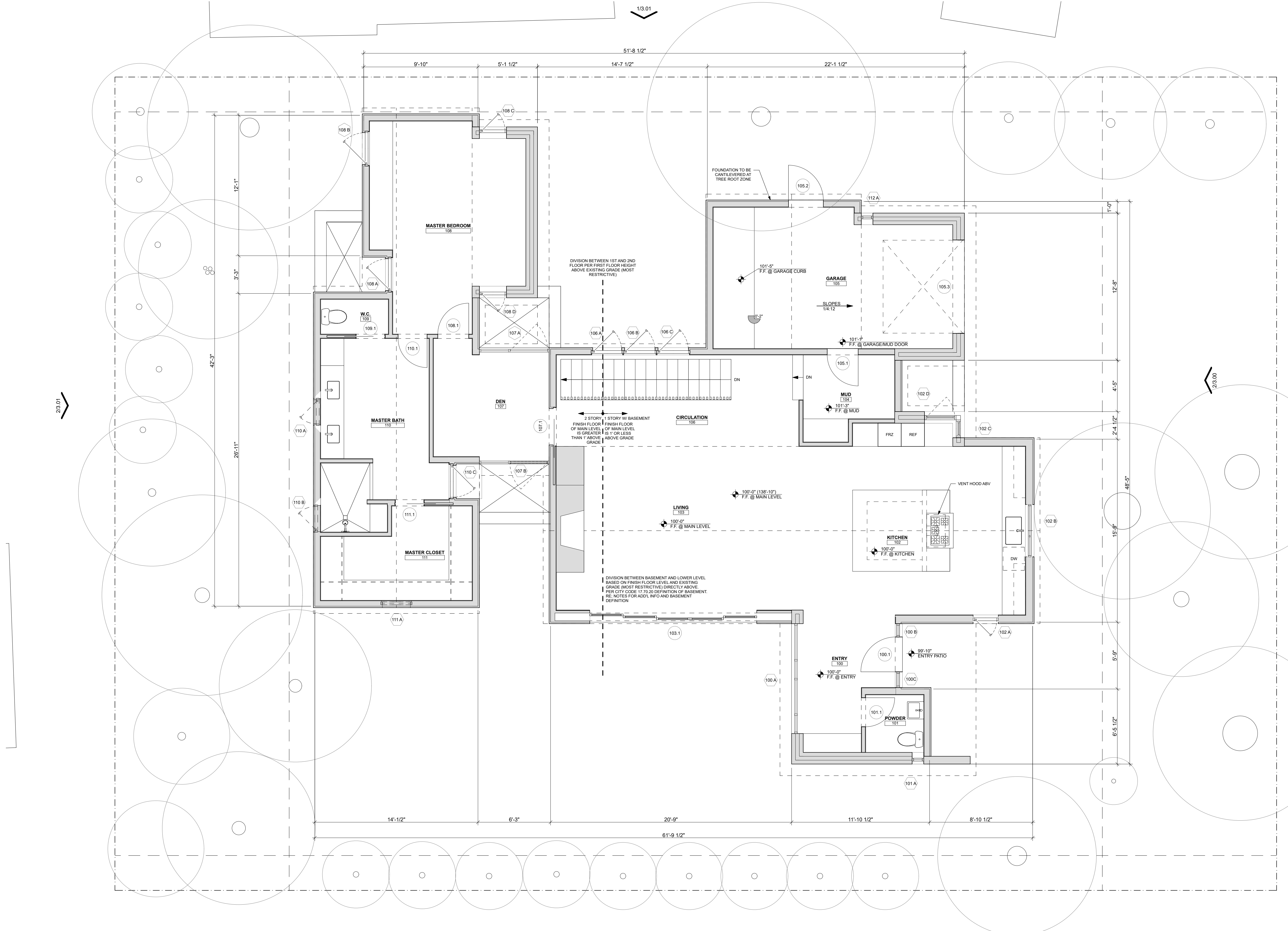
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NORTH:

SCALE: 1/4" = 1'-0"
(1/8" = 1'-0" SCALE HALF SIZE 11X17)
DRAWN BY: KK, LP

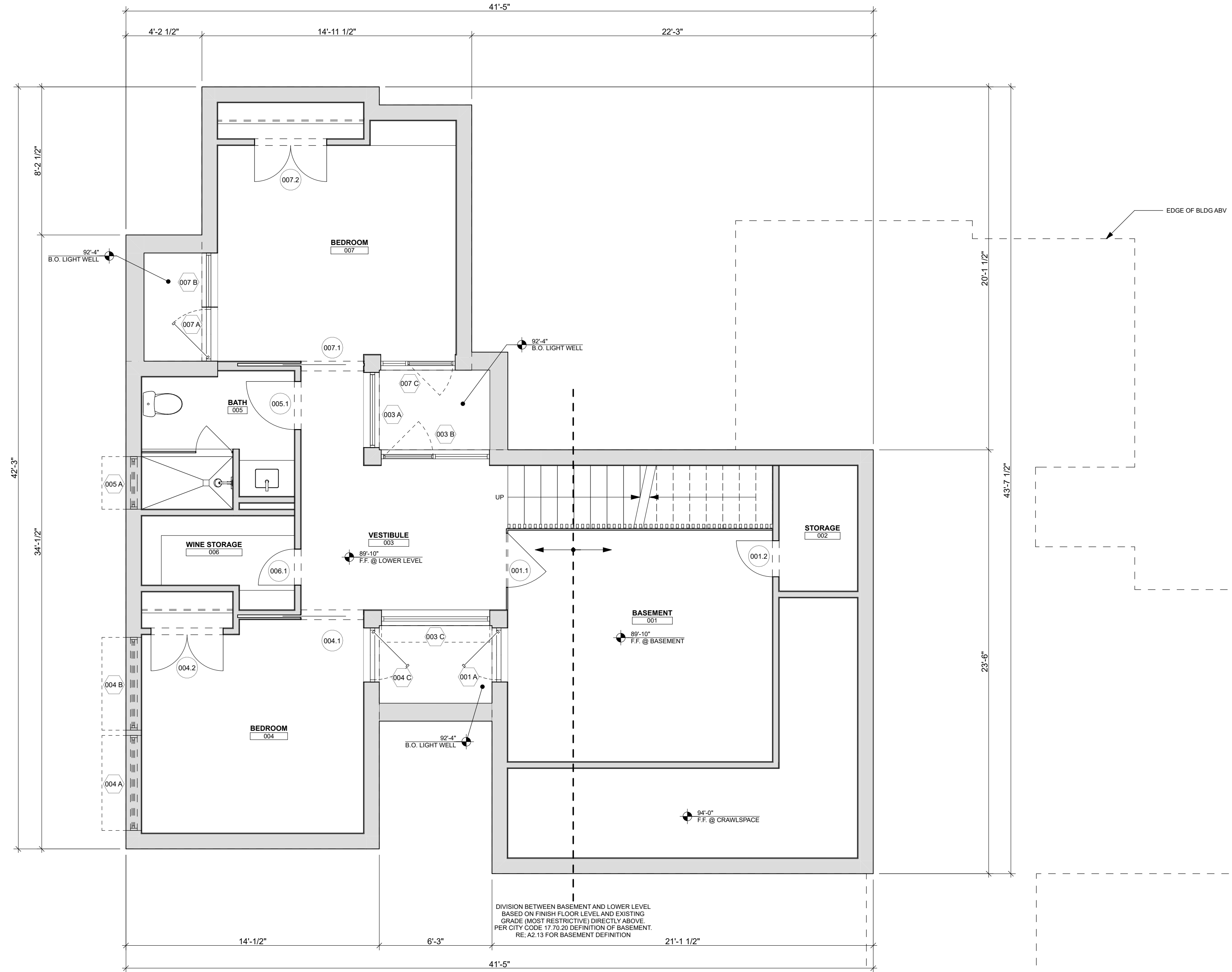
FLOOR PLAN MAIN LEVEL

A2.10



1 FLOOR PLAN MAIN LEVEL
SCALE: 1/4" = 1'-0"





RAINEY RESIDENCE

DESIGNER: JOB CORRAL ARCHITECTS
302 W. 38TH ST. STE B
AUSTIN, TX 78705
512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
DAVID STRANDBERG
1071 10TH STREET
SAN FRANCISCO, CA 94103
415.778.6726/101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
ASE STALLCUP
2665 CARMEL RANCHO BLVD.
CARMEL, CA 93923
831.372.8328

CONTRACTOR: STOCKER & ALLAIRE
DAVID STOCKER
21 MANDEVILLE COURT
MONTEREY, CA 93940
831.375.1890

CIVIL ENGINEER: BENJAMINI, INC
ROY BENJAMINI
725 YORK ST #114
SAN FRANCISCO, CA 94110
415.550.2800

LANDSCAPE ARCHITECT: JMA
JESSICA M. NEAFSEY
2346 7TH AVE
CARMEL, CA 93923
734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
CHRISTINA BROWN
8411 CHAPEL DOWN STREET
AUSTIN, TX 78729
512.382.1656

NOTES:

LEGEND:

ISSUE:
01.29.2021 CONCEPT PROJECT REVIEW

PROJECT:
RAINEY RESIDENCE
JOHN AND KELLY RAINEY
LINCOLN 5 SW OF 10TH
CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:
1914

Ada I. Corral
Ada I. Corral
02.05.2021

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NORTH:

SCALE: 1/4" = 1'-0"
(1/8" = 1'-0" SCALE HALF SIZE 11X17)

DRAWN BY: KK, LP

FLOOR PLAN
LOWER LEVEL

A2.11



RAINEY RESIDENCE

DESIGNER: JOB CORRAL ARCHITECTS
300 W. 38TH ST. STE B
AUSTIN, TX 78705
512.499.1591

STRUCTURAL ENGINEER: STRANBERG ENGINEERING
DAVID STRANBERG
1071 10TH STREET
SAN FRANCISCO, CA 94103
415.778.6726/26101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
ASE STALLCUP
2665 CARMEL RANCHO BLVD.
CARMEL, CA 93923
831.372.8328

CONTRACTOR: STOCKER & ALLAIRE
DAVID STOCKER
21 MANDEVILLE COURT
MONTEREY, CA 93940
831.375.1890

CIVIL ENGINEER: BENJAMIN, INC
ROY BENJAMIN
720 YORK ST #114
SAN FRANCISCO, CA 94110
415.550.2800

LANDSCAPE ARCHITECT: J&A
JESSICA M. NEAFSEY
3346 7TH AVE
CARMEL, CA 93923
734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
CHRISTINA BROWN
8411 CHAPEL DOWN STREET
AUSTIN, TX 78728
512.382.1656

NOTES:
(L1) SINGLE STORY W/ BASEMENT HEIGHT MARKER
(L2) 2 STORY HEIGHT MARKER
SEE A2.13 FOR ADDL INFO

LEGEND:

ISSUE:
01.29.2021 CONCEPT PROJECT REVIEW

PROJECT:
RAINEY RESIDENCE
JOHN AND KELLY RAINEY
LINCOLN 5 SW OF 10TH
CARMEL-BY-THE-SEA, CA 93923

Ada I. Corral
Ada I. Corral
02.05.2021

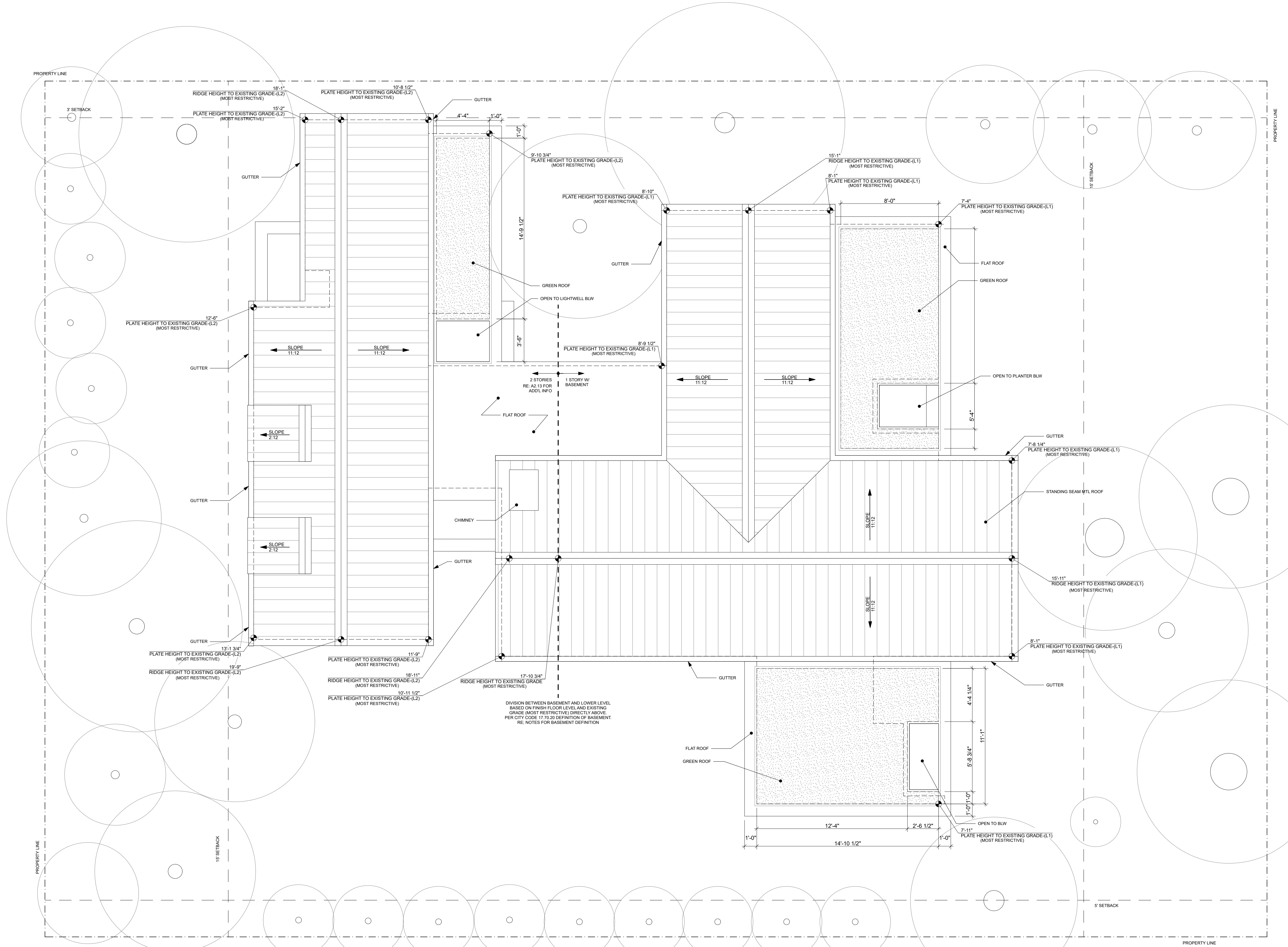
PROJECT NUMBER:
1914

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NORTH:

SCALE: 1/4" = 1'-0"
(1/8" = 1'-0" SCALE HALF SIZE 11x17)

DRAWN BY: KK, LP



1 ROOF PLAN

ROOF PLAN
A2.12



RAINEY RESIDENCE

DESIGNER: JOB CORRAL ARCHITECTS
300 W. 36TH ST. STE B
AUSTIN, TX 78705
512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
DAVID STRANDBERG
1671 15TH STREET
SAN FRANCISCO, CA 94103
415.778.8726/6101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
ASE STALLCUP
2665 CARMEL RANCHO BLVD.
CARMEL, CA 93923
831.372.8328

CONTRACTOR: STOCKER & ALLAIRE
DAVID STOCKER
21 MANDEVILLE COURT
MONTEREY, CA 93940
831.375.1890

CIVIL ENGINEER: BENJAMINI, INC
ROY BENJAMINI
720 YORSK ST #114
SAN FRANCISCO, CA 94110
415.550.2800

LANDSCAPE ARCHITECT: JEN A
ESSICA M. NEASEY
2346 7TH AVE
CARMEL, CA 93923
734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
CHRISTINA BROOK
8411 CHAPEL DOWN STREET
AUSTIN, TX 78728
512.382.1656

NOTES:

1. BASEMENT DEFINITION PER CARMEL BY THE SEA MUNICIPAL CODE 17.70:
An underground room or excavated space between five and nine feet of interior height, finished or unfinished where the finished floor level directly above the space is not more than one foot above both the existing or final grade. Any subgrade space where the finished floor elevation directly above the space is more than one foot above existing or finished grade shall be considered above-ground space. All areas where the finished floor elevation directly above a subgrade space is more than five feet above either existing or final grade shall also be considered a story. (Note: In calculating the floor area of a basement it may be necessary to count part of the area in a floor level as basement and part of the area in a floor level as above-ground space.) Basement space may be used for any residential occupancy allowed by the Uniform Building Code such as bathrooms, family rooms, hobby rooms, offices, mechanical equipment, storage and, if equipped with window wells, bedrooms.

LEGEND:

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RAINEY RESIDENCE
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LINCOLN S SW OF 10TH
CARMEL-BY-THE-SEA, CA 93923

Ada I. Corral
Ada I. Corral
02.05.2021

PROJECT NUMBER:
1914

SCALE: 3/16" = 1'-0"
(3/32" = 1'-0" SCALE HALF SIZE 11X17)

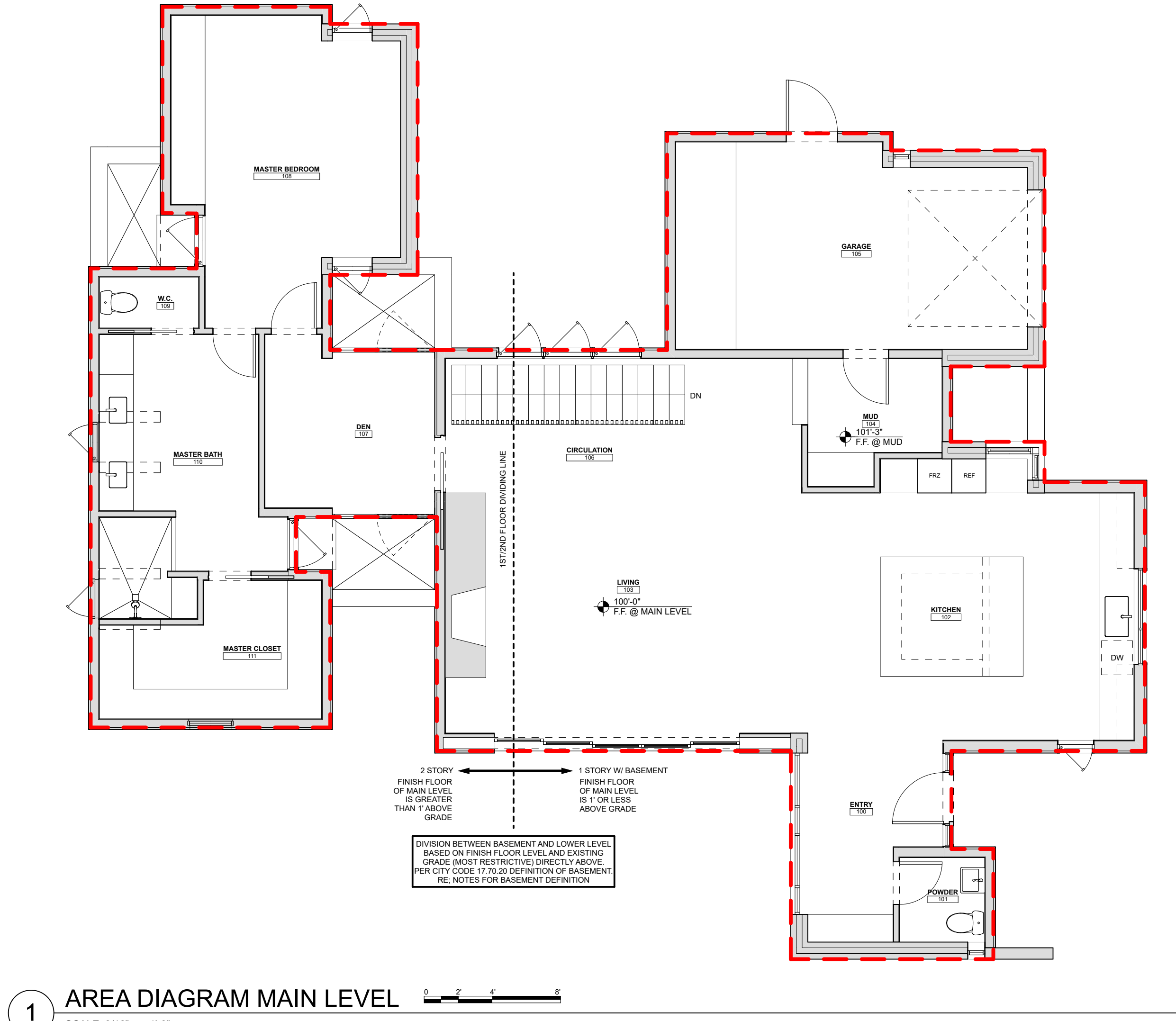
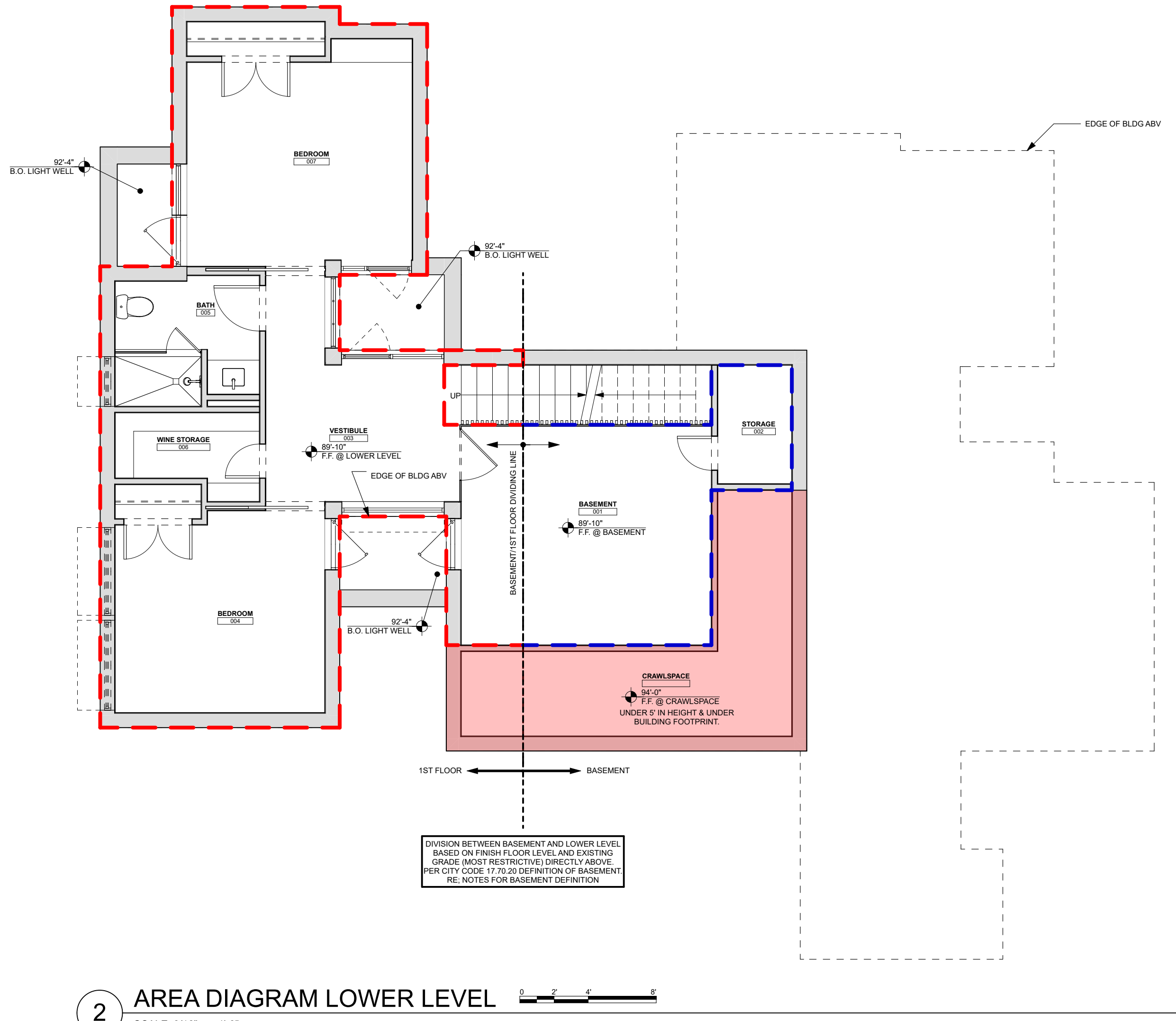
DRAWN BY: KK, LP

AREA CALCULATIONS

A2.13

AREA CALCULATIONS			
BASE FLOOR AREA ALLOWED: 2730 SF			
LEVEL 1	1963 SF	2692 SF FLOOR AREA ABOVE GROUND (38 SF NOT USED)	2868 SF TOTAL FLOOR AREA
LEVEL 2	729 SF		
BASE FLOOR AREA IN BASEMENT	38 SF	176 SF BASEMENT AREA	
BONUS BASEMENT FLOOR AREA (BASE X 2)	38 SF		
EXEMPT BASEMENT BONUS	100 SF		

3 AREA CALCULATIONS





RAINEY RESIDENCE

DESIGNER: JOB CORRAL ARCHITECTS
300 W. 38TH ST. STE B
AUSTIN, TX 78705
512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
ADA CORRAL, AIA
1011 13TH STREET
SAN FRANCISCO, CA 94103
415.778.6726/264101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
ASE STALLCUP
2665 CARMEL RANCHO BLVD.
SUITE #8
CARMEL, CA 93923
831.372.8328

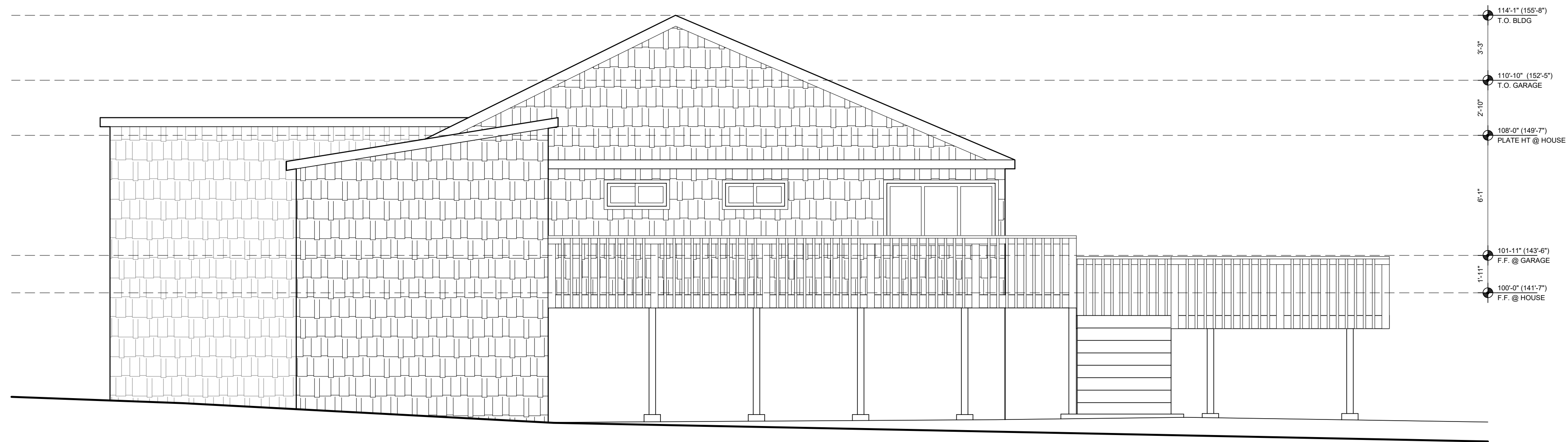
CONTRACTOR: STOCKER & ALLAIRE
DAVID STOCKER
21 MANDEVILLE COURT
MONTEREY, CA 93940
831.375.1890

CIVIL ENGINEER: BENJAMINI, INC
ROY BENJAMINI
720 YORK ST #114
SAN FRANCISCO, CA 94110
415.550.2800

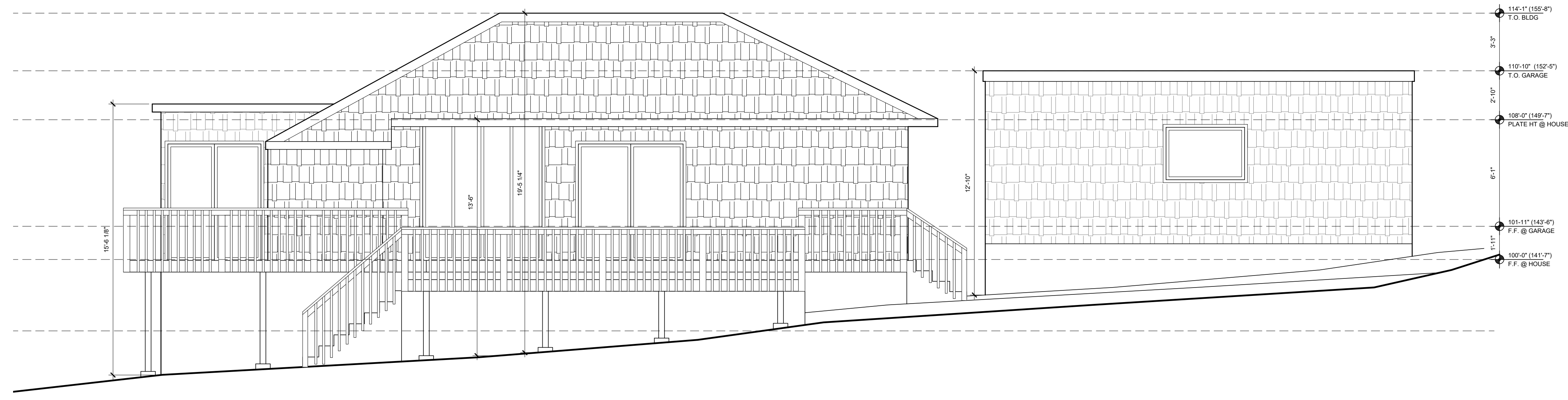
LANDSCAPE ARCHITECT: JMA
JESSICA M. NEAFSEY
3346 7TH AVE
CARMEL, CA 93923
734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
CHRISTINA BROWN
8411 CHAPEL DOWN STREET
AUSTIN, TX 78728
512.382.1656

NOTES:
1. 100'-0" FINISH FLOOR AT HOUSE = 141'-7" ABOVE SEA LEVEL.



2 EXISTING WEST ELEVATION



1 EXISTING SOUTH ELEVATION

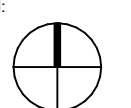
LEGEND:

ISSUE:
01.29.2021 CONCEPT PROJECT REVIEW

PROJECT:
RAINEY RESIDENCE
JOHN AND KELLY RAINEY
LINCOLN 5 SW OF 10TH
CARMEL-BY-THE-SEA, CA 93923
PROJECT NUMBER:
1914
02.05.2021

Ada I. Corral
1914

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NORTH:  SCALE: 1/4" = 1'-0", 1/4" = 1'-0" (1/8" = 1'-0" SCALE HALF SIZE 11X17)
DRAWN BY: KK, LP

EXISTING EXTERIOR ELEVATIONS
A3.00



RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
 500 W. 30TH ST. STE B
 AUSTIN, TX 78705
 512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
 ADA CORRAL, AIA
 1511 13TH STREET
 SAN FRANCISCO, CA 94103
 415.778.6726/264101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
 ABE STALLCUP
 2665 CARMEL RANCHO BLVD.
 SUITE #8
 CARMEL, CA 93923
 831.372.8328

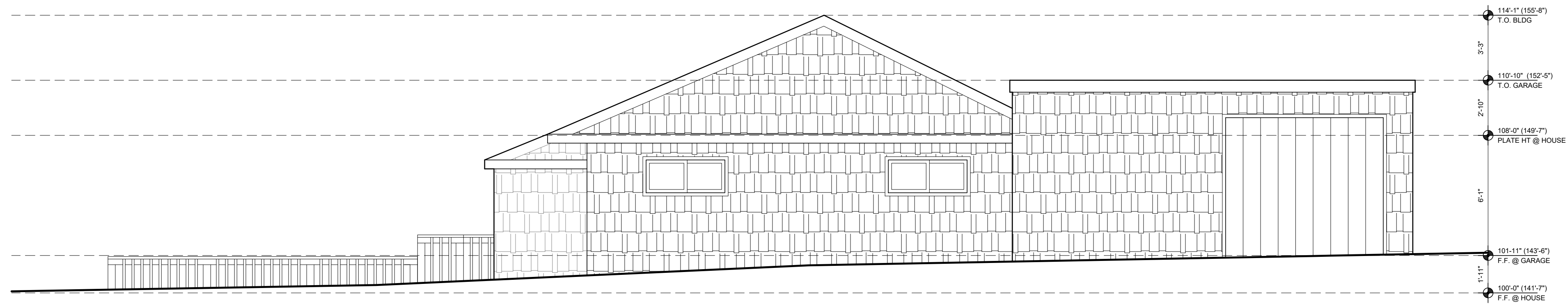
CONTRACTOR: STOCKER & ALLAIRE
 DAVID STOCKER
 21 MANDEVILLE COURT
 MONTEREY, CA 93940
 831.375.1890

CIVIL ENGINEER: BENJAMIN, INC
 ARI BENJAMIN
 720 YORK ST #114
 SAN FRANCISCO, CA 94110
 415.550.2800

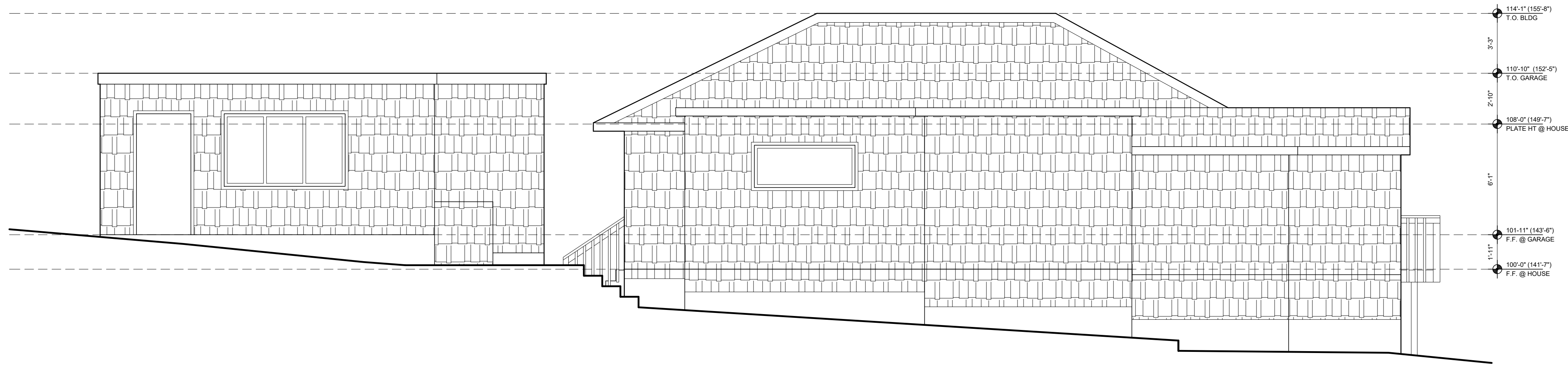
LANDSCAPE ARCHITECT: JMA
 JESSICA M. NEAFSEY
 3346 7TH AVE
 CARMEL, CA 93923
 734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
 CHRISTINA BROWN
 8411 CHAPEL DOWN STREET
 AUSTIN, TX 78728
 512.382.1656

NOTES:
 1. 100'-0" FINISH FLOOR AT HOUSE = 141'-7" ABOVE SEA LEVEL.



2 EXISTING EAST ELEVATION



1 EXISTING NORTH ELEVATION

LEGEND:

ISSUE:
 01.29.2021 CONCEPT PROJECT REVIEW

PROJECT:
RAINEY RESIDENCE
 JOHN AND KELLY RAINEY
 LINCOLN 5 SW OF 10TH
 CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:
 1914

Ada I. Corral
 Ada I. Corral
 02.05.2021

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NORTH:

SCALE: 1/4" = 1'-0", 1/4" = 1'-0"
 (1/8" = 1'-0" SCALE HALF SIZE 11X17)

DRAWN BY: KK, LP

EXISTING EXTERIOR ELEVATIONS

A3.01



RAINEY RESIDENCE

DESIGNER: JOB CORRAL ARCHITECTS
 ADA CORRAL, AIA
 500 W. 38TH ST. STE B
 AUSTIN, TX 78705
 512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
 DAVID STRANDBERG
 1571 13TH STREET
 SAN FRANCISCO, CA 94103
 415.778.6726/101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
 ABE STALLCUP
 2665 CARMEL RANCHO BLVD.
 CARMEL, CA 95023
 831.372.8328

CONTRACTOR: STOCKER & ALLAIRE
 DAVID STOCKER
 21 MANDEVILLE COURT
 MONTEREY, CA 93940
 831.375.1890

CIVIL ENGINEER: BENJAMINI, INC
 ARI BENJAMINI
 720 YORK ST #114
 SAN FRANCISCO, CA 94110
 415.550.2800

LANDSCAPE ARCHITECT: JMA
 JESSICA M. NEAFSEY
 3346 7TH AVE
 CARMEL, CA 95023
 734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
 CHRISTINA BROWN
 8411 CHAPEL DOWN STREET
 AUSTIN, TX 78729
 512.382.1656

NOTES:
 1. PLATE HEIGHTS SHOWN ARE MEASURED FROM MOST RESTRICTIVE CONDITION OF EITHER EXISTING OR FINISHED GRADE.
 2. (N) AND (E) CONTOURS CALCULATED AT FARTHEST PROTRUDING WALL OF HOUSE. RIDGE HEIGHTS CALCULATED AT LOCATION OF RIDGE.

LEGEND:

ISSUE:
 01.29.2021 CONCEPT PROJECT REVIEW

PROJECT:
RAINEY RESIDENCE
 JOHN AND KELLY RAINEY
 LINCOLN SW OF 10TH
 CARMEL-BY-THE-SEA, CA 93923

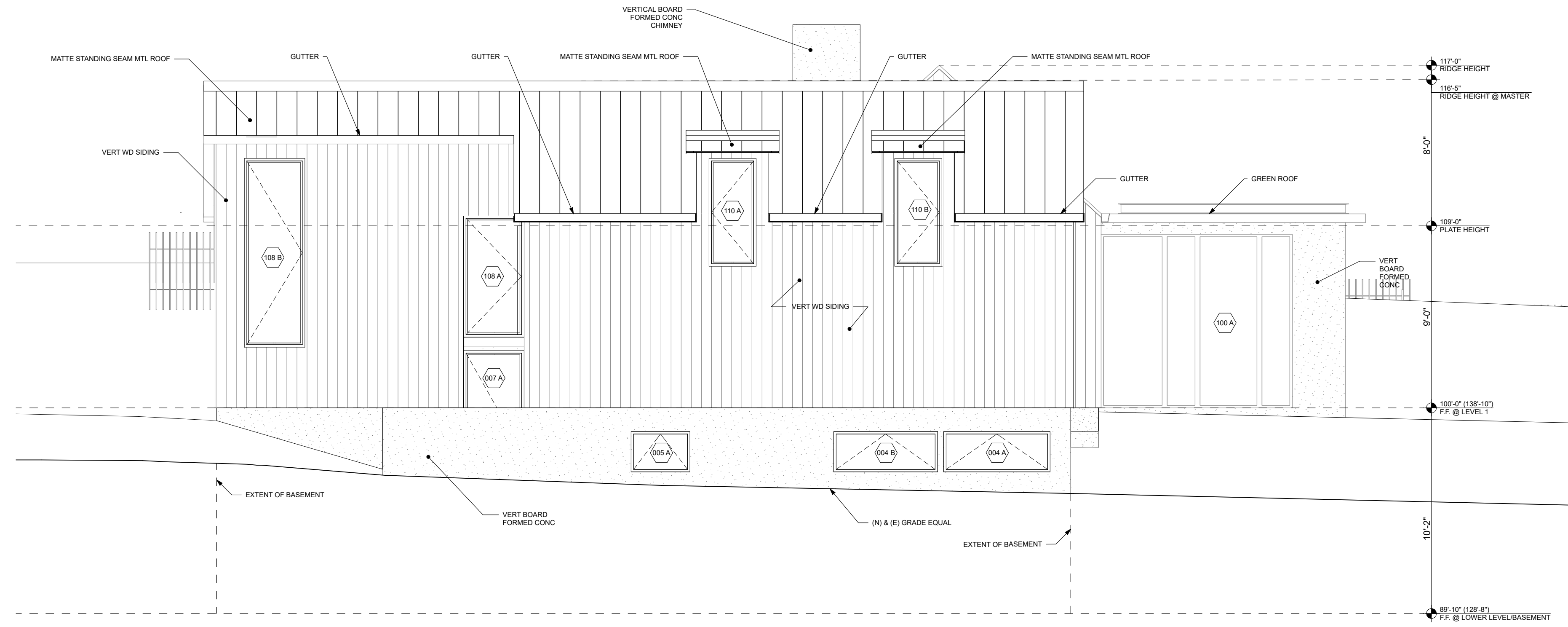
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 1914

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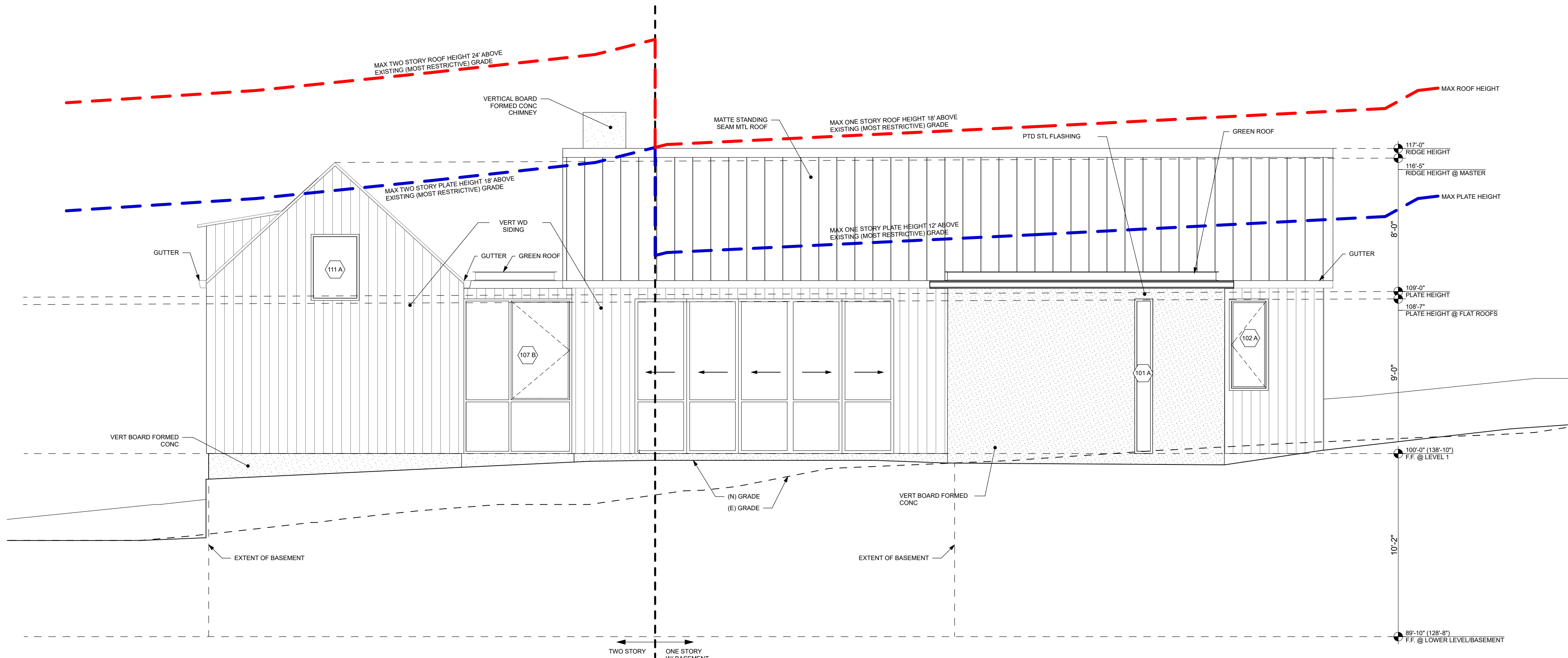
NORTH:

SCALE: 1/4" = 1'-0"
 (1/8" = 1'-0" SCALE HALF SIZE 11X17)

DRAWN BY: KK, LP



2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



DIVISION BETWEEN BASEMENT AND LOWER LEVEL BASED ON FINISH FLOOR LEVEL AND EXISTING GRADE (MOST RESTRICTIVE) DIRECTLY ABOVE. PER CITY CODE 17.70.20 DEFINITION OF BASEMENT. RE 62.13 FOR BASEMENT DEFINITION.

1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

A3.10



RAINEY RESIDENCE

DESIGNER: JOB CORRAL ARCHITECTS
302 W. 30TH ST. STE B
AUSTIN, TX 78705
512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
DAVID STRANDBERG
1571 15TH STREET
SAN FRANCISCO, CA 94103
415.778.6726/26101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
ASE STALLCUP
2665 CARMEL RANCHO BLVD.
CARMEL, CA 93923
831.372.8328

CONTRACTOR: STOCKER & ALLAIRE
DAVID STOCKER
21 MANDEVILLE COURT
MONTEREY, CA 93940
831.375.1890

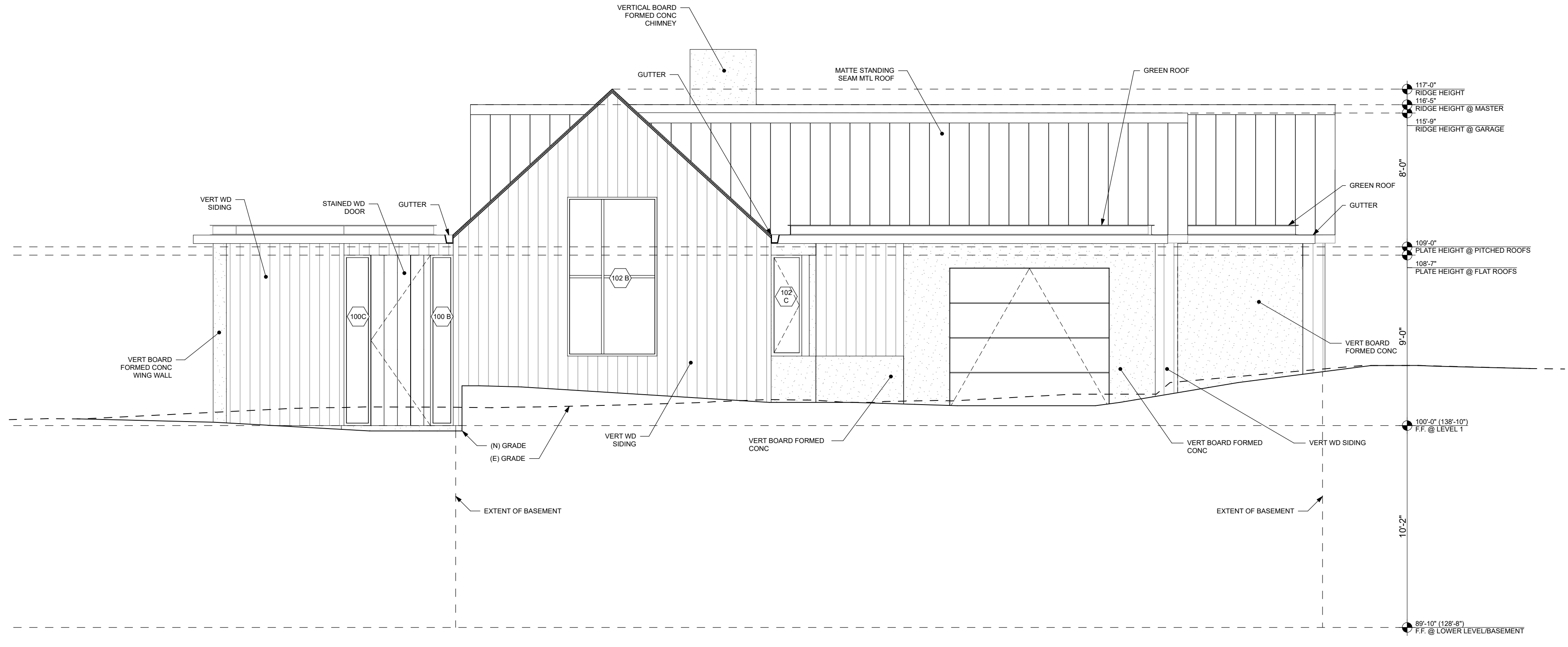
CIVIL ENGINEER: BENJAMINI, INC
ROY BENJAMINI
725 YORK ST #114
SAN FRANCISCO, CA 94110
415.550.2800

LANDSCAPE ARCHITECT: JMA
JESSICA M. NEAFSEY
2346 7TH AVE
CARMEL, CA 93923
734.904.9152

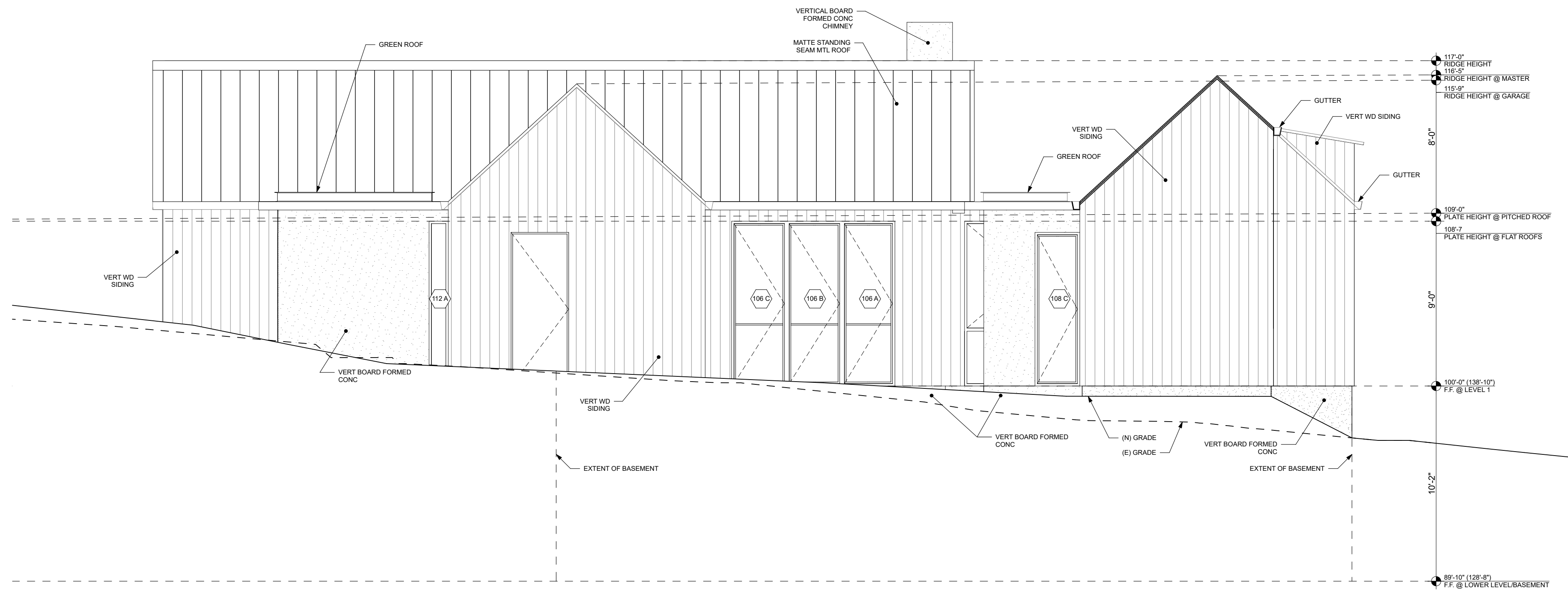
LIGHTING DESIGNER: STUDIO LUMINA
CHRISTINA BROWN
8411 CHAPEL DOWN STREET
AUSTIN, TX 78728
512.382.1656

NOTES:
1. PLATE HEIGHTS SHOWN ARE MEASURED FROM MOST RESTRICTIVE CONDITION OF EITHER EXISTING OR FINISHED GRADE.
2. (N) AND (E) CONTOURS CALCULATED AT FARTHEST PROTRUDING WALL OF HOUSE. RIDGE HEIGHTS CALCULATED AT LOCATION OF RIDGE.

LEGEND:



2 EAST ELEVATION



1 NORTH ELEVATION



ISSUE:
01.29.2021 CONCEPT PROJECT REVIEW

PROJECT:
RAINEY RESIDENCE
JOHN AND KELLY RAINEY
LINCOLN S SW OF 10TH
CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:
1914

Ada I. Corral
Ada I. Corral
02.05.2021

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NORTH:

SCALE: 1/4" = 1'-0"
(1/8" = 1'-0" SCALE HALF SIZE 11X17)

DRAWN BY: KK, LP

EXTERIOR ELEVATIONS

A3.11



RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
 ADA CORRAL, AIA
 300 W. 38TH ST. STE B
 AUSTIN, TX 78705
 512.499.1591

STRUCTURAL ENGINEER: STRANBERG ENGINEERING
 DAVID STRANBERG
 1011 13TH STREET
 SAN FRANCISCO, CA 94103
 415.778.8726/101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
 ABE STALLCUP
 2665 CARMEL RANCHO BLVD.
 SUITE #8
 CARMEL, CA 93923
 831.372.8328

CONTRACTOR: STOCKER & ALLAIRE
 DAVID STOCKER
 MONTEREY, CA 93940
 831.375.1890

CIVIL ENGINEER: BENJAMINI, INC
 ROY BENJAMINI
 720 YORK ST #114
 SAN FRANCISCO, CA 94110
 415.550.2800

LANDSCAPE ARCHITECT: JMA
 JESSICA M. NEAFSEY
 2346 7TH AVE
 CARMEL, CA 93923
 734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
 CHRISTINA BROWN
 8411 CHAPEL DOWN STREET
 AUSTIN, TX 78728
 512.382.1656

NOTES:

LEGEND:

ISSUE:
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PROJECT:
 RAINEY RESIDENCE
 JOHN AND KELLY RAINEY
 LINCOLN 5 SW OF 10TH
 CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:
 1914
 02.05.2021

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NORTH:

SCALE: N.T.S.

DRAWN BY: KK, LP



EXISTING HOUSE TO BE DEMOLISHED



LINCOLN 2 NW OF 11TH

LINCOLN 5 SW OF 10TH

LINCOLN 4 SW OF 10TH

STREETSCAPE ELEVATION

A3.12



RAINEY RESIDENCE

DESIGNER: JOSE CORRAL ARCHITECTS
 500 W. 38TH ST. STE B
 AUSTIN, TX 78756
 512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
 1011 13TH STREET
 SAN FRANCISCO, CA 94103
 415.778.6726/101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
 ASE STALLCUP
 2665 CARMEL RANCHO BLVD.
 SUITE #8
 CARMEL, CA 93923
 831.372.8328

CONTRACTOR: STOCKER & ALLAIRE
 DAVID STOCKER
 MONTEREY, CA 93940
 831.375.1890

CIVIL ENGINEER: BENJAMIN, INC
 21 MANDEVILLE COURT
 SAN FRANCISCO, CA 94110
 415.550.2800

LANDSCAPE ARCHITECT: JML
 BESSICA M. NEAFSEY
 2346 7TH AVE
 CARMEL, CA 93923
 734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
 CHRISTINA BROWN
 8411 CHAPEL DOWN STREET
 AUSTIN, TX 78729
 512.382.1656

VIEW FROM EXT.										
ID	001 A	003 A	003 B	003 C	004 A	004 B	004 C	005 A	007 A	007 B
TYPE	CASEMENT	FIXED	FIXED	FIXED	AWNING	AWNING	CASEMENT	AWNING	FIXED	FIXED
SIZE	W: 3'-0"	W: 4'-2"	W: 6'-0"	W: 6'-0"	W: 5'-3 1/4"	W: 5'-1 3/4"	W: 3'-0"	W: 2'-11"	W: 3'-0"	W: 3'-1 1/2"
HT	HT: 6'-0"	HT: 6'-0"	HT: 6'-0"	HT: 6'-0"	HT: 2'-0"	HT: 2'-0"	HT: 6'-0"	HT: 2'-0"	HT: 10'-0"	HT: 6'-0"
MATL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL
SILL HT ABV F.F.	3'-0"	3'-0"	0"	3'-0"	7'-0"	7'-0"	3'-0"	7'-0"	3'-0"	3'-0"
NOTES										

VIEW FROM EXT.											
ID	007 C	100 A	100 B	100 C	101 A	102 A	102 B	102 C	102 D	106 A	106 B
TYPE	FIXED	FIXED	FIXED	FIXED	FIXED	CASEMENT	FIXED	CASEMENT	CASEMENT	CASEMENT	CASEMENT
SIZE	W: 4'-1 1/2"	W: 9'-5 1/2"	W: 1'-1 3/4"	W: 1'-4 1/4"	W: 1'-0"	W: 2'-2"	W: 4'-6"	W: 1'-6 1/4"	W: 2'-8 1/2"	W: 2'-9"	W: 2'-10 1/2"
HT	HT: 6'-0"	HT: 8'-7"	HT: 8'-7"	HT: 8'-7"	HT: 8'-7"	HT: 5'-1"	HT: 4'-0"	HT: 5'-1"	HT: 5'-1"	HT: 8'-7"	HT: 8'-7"
MATL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL
SILL HT ABV F.F.	0"	0"	0"	0"	0"	3'-6"	3'-6"	3'-6"	3'-6"	0"	0"
NOTES					FROSTED GLASS						

VIEW FROM EXT.												
ID	106 C	107 A	107 B	108 A	108 B	108 C	108 D	110 A	110 B	110 C	111 A	112 A
TYPE	CASEMENT	FIXED	FIXED	CASEMENT	FIXED	CASEMENT	CASEMENT	CASEMENT	CASEMENT	CASEMENT	FIXED	FIXED
SIZE	W: 2'-10 1/2"	W: 6'-0"	W: 6'-0"	W: 3'-0"	W: 3'-0"	W: 2'-4"	W: 2'-4"	W: 2'-4"	W: 2'-4"	W: 3'-0"	W: 2'-8"	W: 1'-0"
HT	HT: 8'-7"	HT: 8'-7"	HT: 8'-7"	HT: 6'-0"	HT: 9'-4"	HT: 8'-0"	HT: 8'-0"	HT: 5'-4"	HT: 5'-4"	HT: 5'-7"	HT: 3'-8"	HT: 8'-7"
MATL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL	PTD STL
SILL HT ABV F.F.	0"	0"	0"	3'-6"	3'-0"	0"	0"	7'-0"	7'-0"	3'-6"	8'-6"	0"
NOTES												

ISSUE: 01.29.2021 CONCEPT PROJECT REVIEW

PROJECT: RAINNEY RESIDENCE
 JOHN AND KELLY RAINEY
 LINCOLN S SW OF 10TH
 CARMEL-BY-THE-SEA, CA 93923
 PROJECT NUMBER: 1914
 02.05.2021

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, COPIED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

NORTH:

SCALE: 1/4" = 1'-0"
 (1/8" = 1'-0" SCALE HALF SIZE 11X17)
 DRAWN BY: KK, LP



RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
 502 W. 38TH ST. STE B
 AUSTIN, TX 78705
 512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
 DAVID STRANDBERG
 1571 15TH STREET
 SAN FRANCISCO, CA 94103
 415.778.8726/101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
 ABE STALLCUP
 2665 CARMEL RANCHO BLVD.
 SUITE #8
 CARMEL, CA 93923
 831.372.8328

CONTRACTOR: STOCKER & ALLAIRE
 DAVID STOCKER
 21 MANDEVILLE COURT
 MONTEREY, CA 93940
 831.375.1890

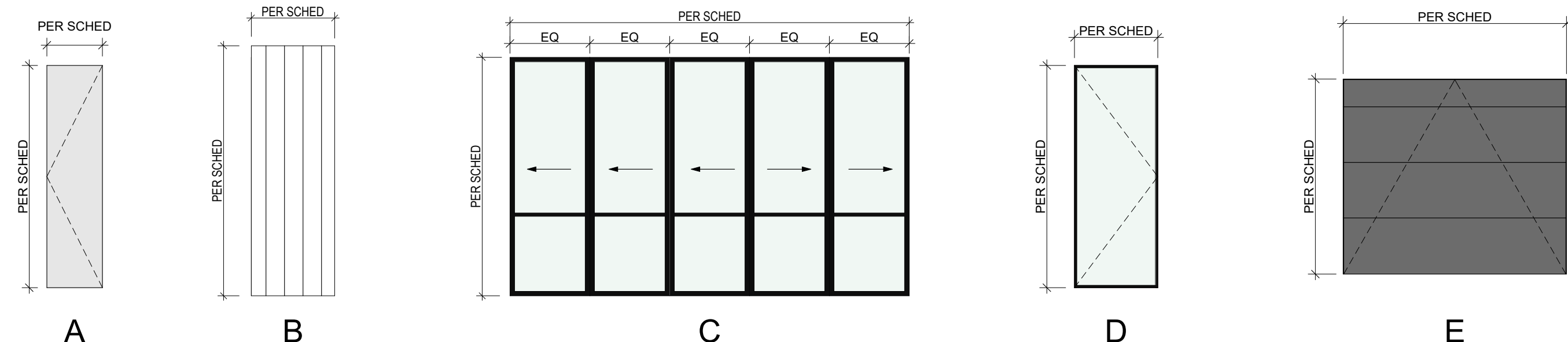
CIVIL ENGINEER: BENJAMINI, INC
 ROY BENJAMINI
 725 YORK ST #114
 SAN FRANCISCO, CA 94110
 415.550.2800

LANDSCAPE ARCHITECT: JMLA
 JESSICA M. NEAFSEY
 2346 7TH AVE
 CARMEL, CA 93923
 734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
 CHRISTINA BROWN
 8411 CHAPEL DOWN STREET
 AUSTIN, TX 78729
 512.382.1656

NOTES:

LEGEND:



2 DOOR LEGEND

DOOR SCHEDULE							
NUMBER	TYPE	NUMBER OF PANELS	SIZE	INT/EXT	OPERATION	DOOR MATERIAL	NOTES
001.1	A	1	3'-0"×9'-0"	INT	SWING	GLASS	
001.2	A	1	2'-0"×8'-0"	INT	SWING	PTD WD	
004.1	A	1	3'-6"×6'-8"	INT	POCKET	PTD WD	
004.2	A	2	4'-0"×8'-0"	INT	SWING	PTD WD	
005.1	A	1	2'-8"×8'-0"	INT	SWING	PTD WD	
006.1	A	1	2'-0"×8'-0"	INT	SWING	PTD WD	
007.1	A	1	3'-6"×6'-8"	INT	POCKET	PTD WD	
007.2	A	2	4'-0"×8'-0"	INT	SWING	PTD WD	
100.1	B	1	3'-0"×8'-7"	EXT	SWING	STAINED WD	
101.1	A	1	2'-6"×8'-0"	INT	SWING	PTD WD	
103.1	C	5	14'-4 1/2"×8'-7"	EXT	MULTISLIDE POCKET	STL/GLASS	
105.1	A	1	2'-8"×6'-8"	INT	SWING	PTD WD	
105.2	D	1	3'-0"×8'-0"	EXT	SWING	STL/GLASS	
105.3	E	1	8'-0"×7'-0"	EXT	OVERHEAD	ALUM	
107.1	A	1	3'-4"×6'-8"	INT	POCKET	PTD WD	
108.1	A	1	2'-8"×8'-0"	INT	SWING	PTD WD	
109.1	A	1	2'-6"×6'-8"	INT	POCKET	PTD WD	
110.1	A	1	2'-6"×8'-0"	INT	SWING	PTD WD	
111.1	A	1	2'-6"×6'-8"	INT	POCKET	PTD WD	

1 DOOR SCHEDULE

ISSUE:
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 RAINEY RESIDENCE
 JOHN AND KELLY RAINEY
 LINCOLN 5 SW OF 10TH
 CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:
 1914
 02.05.2021

Ada I. Corral
 Ada I. Corral

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NORTH:

SCALE: 1/4" = 1'-0"
 (1/8" = 1'-0" SCALE HALF SIZE 11X17)

DRAWN BY: KK, LP

WINDOW & DOOR SCHEDULE

A6.01



RAINEY RESIDENCE

DESIGNER: JOB CORRAL ARCHITECTS
ADA CORRAL, AIA
300 W. 38TH ST. STE B
AUSTIN, TX 78705
512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
DAVID STRANDBERG
1571 10TH STREET
SAN FRANCISCO, CA 94103
415.778.6726/101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
ASE STALLCUP
2665 CARMEL RANCHO BLVD.
CARMEL, CA 95023
831.372.8328

CONTRACTOR: STOCKER & ALLAIRE
DAVID STOCKER
21 MANDEVILLE COURT
MONTEREY, CA 93940
831.375.1890

CIVIL ENGINEER: BENJAMINI, INC
ROY BENJAMINI
720 YORK ST #114
SAN FRANCISCO, CA 94110
415.550.2800

LANDSCAPE ARCHITECT: JMA
JESSICA M. NEAFSEY
3346 7TH AVE
CARMEL, CA 95023
734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
CHRISTINA BROWN
8411 CHAPEL DOWN STREET
AUSTIN, TX 78728
512.382.1656

NOTES:

LEGEND:

- LA LED WALL MOUNTED DOWNLIGHT
- MODEL: 33514-K27
- COLOR: BLACK
- WATTS PER FIXTURE: 30W
- LUMENS PER FIXTURE: 204

ISSUE:

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Ada I. Corral
Ada I. Corral
02.05.2021

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NORTH:

SCALE: 1/4" = 1'-0"
(1/8" = 1'-0" SCALE HALF SIZE 11X17)

DRAWN BY: KK, LP

**ARCHITECTURAL
EXTERIOR LIGHTING
PLAN**

A7.01

LED wall luminaire - directed light

Application
As an individual luminaire with low mounting heights, it can be used for marking danger areas or in rows for illuminating corridors and passageways. With high mounting heights it can be used as a wall luminaire next to doors or for lighting small wall areas.

Materials
Luminaire housing constructed of die-cast marine grade, copper free (± 0.3% copper content) A360.0 aluminum alloy
Matte safety glass
High temperature silicone gasket
Mechanically captive stainless steel fasteners
NRTL listed to North American Standards, suitable for wet locations
Protection class IP64
Weight: 1.1 lbs

Type: LA
BEGA Product: 33 514 K27 BLK
Project: Rainey Residence
Modified:

Electrical
Operating voltage 120-277VAC
Minimum start temperature -30° C
LED module wattage 3.0W
System wattage 5.8W
Controllability 0-10V dimmable
Color rendering index Ra > 80
Luminaire lumens 204 lumens (3000K)
Lifetime at Ta = 15° C >500,000 h (L70)
Lifetime at Ta = 40° C 250,000 h (L70)

LED color temperature
□ 4000K - Product number + K4
□ 3500K - Product number + K35
□ 3000K - Product number + K3 (EXPRESS)
□ 2700K - Product number + K27

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

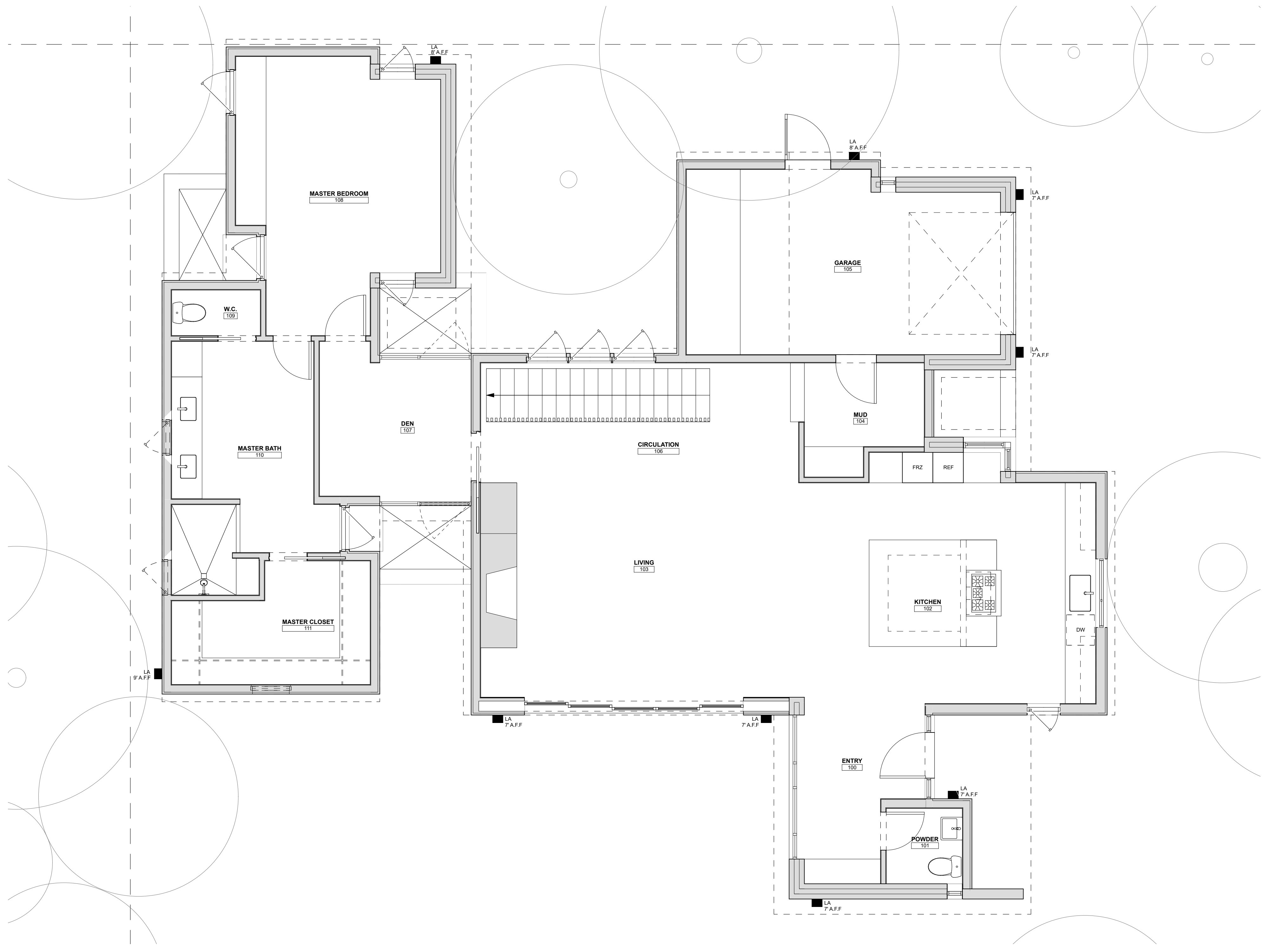
Finish
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors: Black (BLK) White (WHT) RAL:
 Bronze (BRZ) Silver (SLV) CUS:

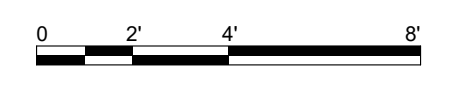
LED wall luminaire - directed light

LED	A	B	C	Required wiring size
33514	3.0W	2 1/4"	7 1/4"	2 1/2"

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com
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1 ARCHITECTURAL EXTERIOR LIGHTING





RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
300 W. 38TH ST. STE B
AUSTIN, TX 78705
512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
DAVID STRANDBERG
1571 15TH STREET
SAN FRANCISCO, CA 94103
415.778.8726/101

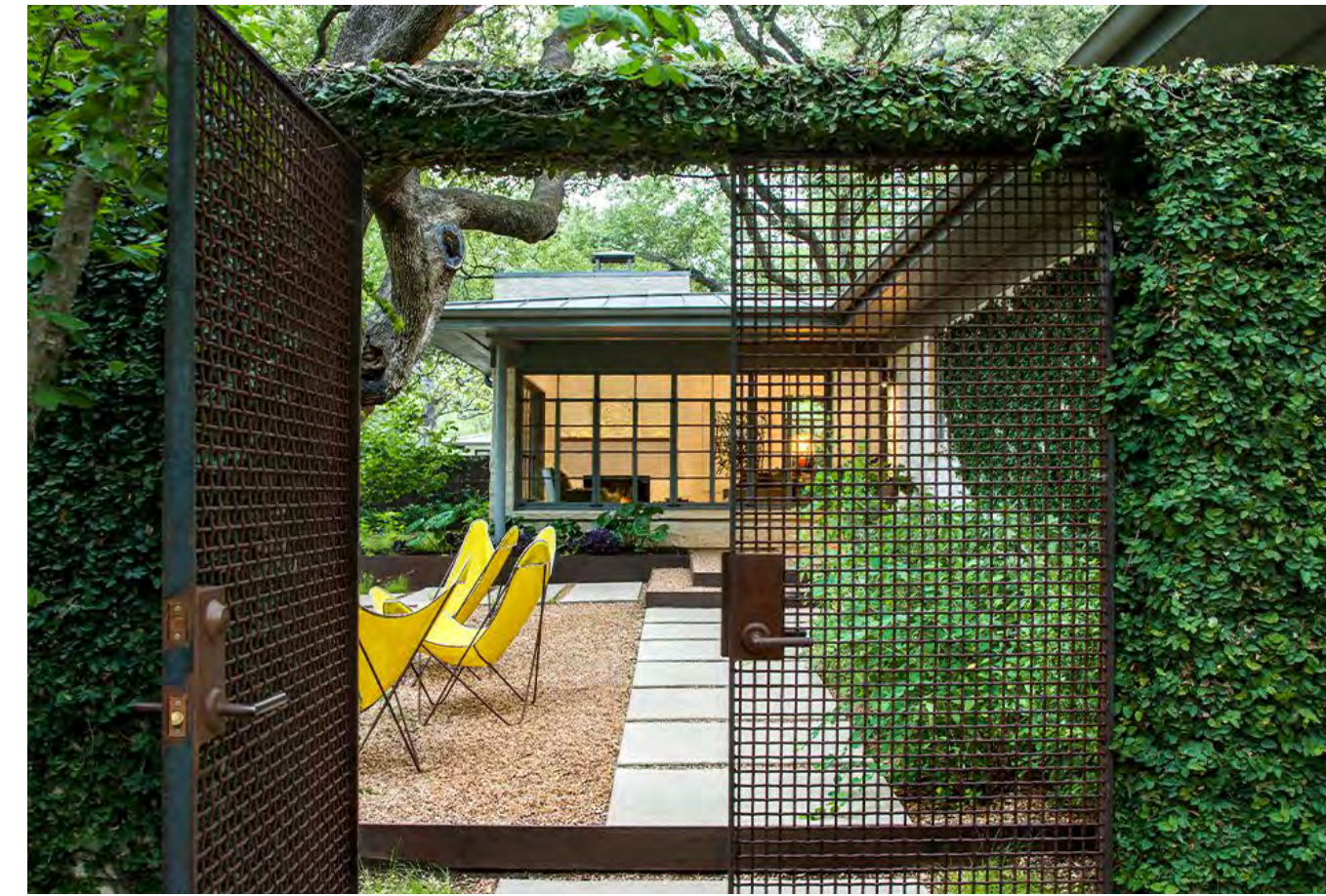
ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
ASE STALLCUP
2665 CARMEL RANCHO BLVD.
SUITE #8
CARMEL, CA 93923
831.372.8328

CONTRACTOR: STOCKER & ALLAIRE
DAVID STOCKER
21 MANDEVILLE COURT
MONTEREY, CA 93940
831.375.1890

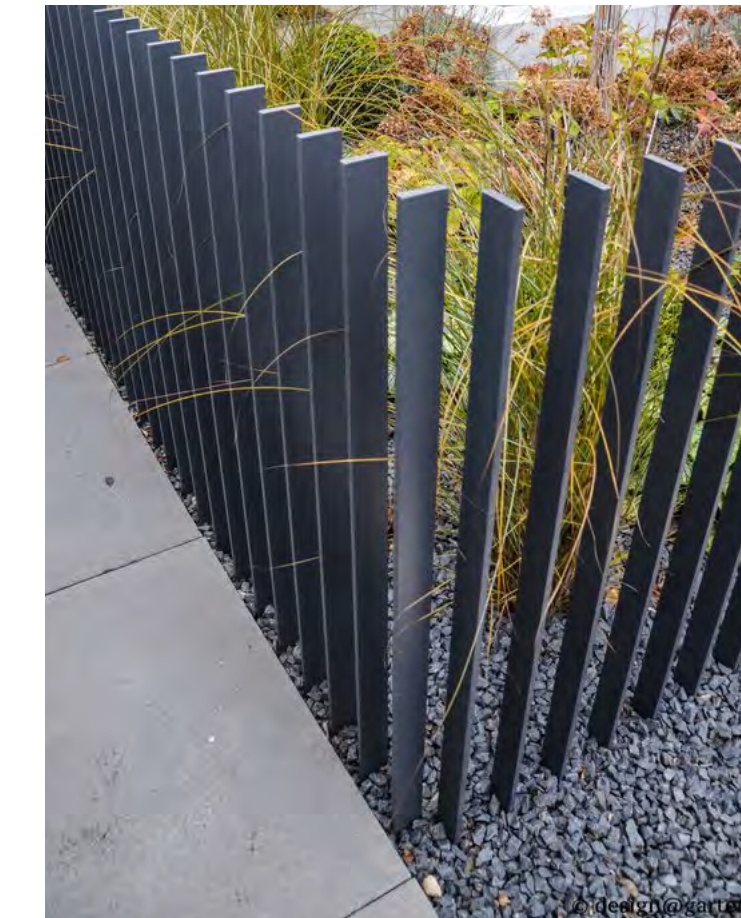
CIVIL ENGINEER: BENJAMINI, INC
ROY BENJAMINI
725 YORK ST #114
SAN FRANCISCO, CA 94110
415.550.2800

LANDSCAPE ARCHITECT: JMA
JESSICA M. NEAFSEY
3346 7TH AVE
CARMEL, CA 93923
734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
CHRISTINA BROWN
8411 CHAPEL DOWN STREET
AUSTIN, TX 78729
512.382.1656



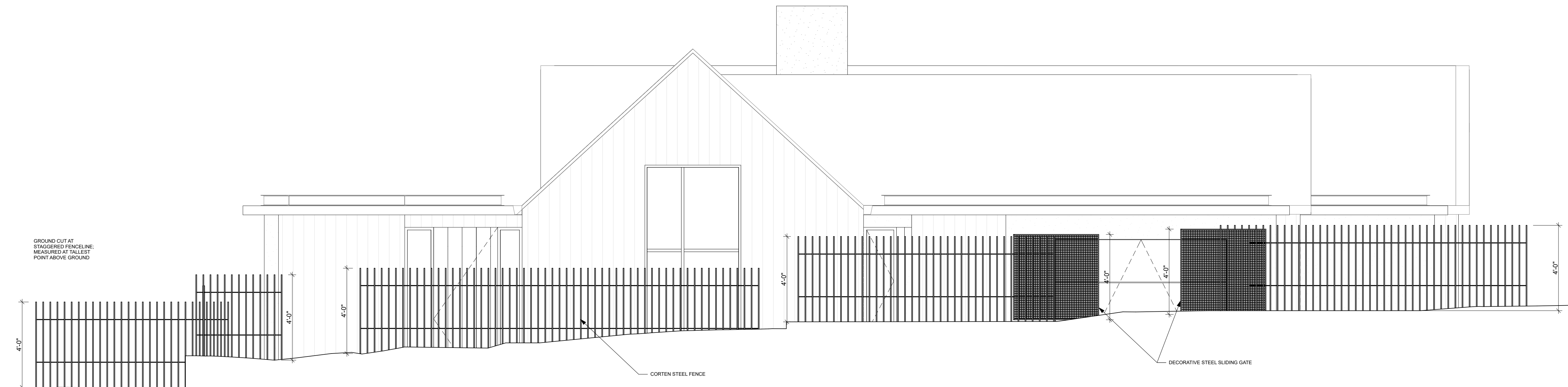
REFERENCE IMAGE FOR DECORATIVE STEEL ENTRY AND CAR GATES
4' TALL MAX
STEEL, METAL MESH



REFERENCE IMAGE FOR CORTEN FRONT FENCE
4' TALL MAX
SHOWN PAINTED, PROPOSED AS CORTEN STEEL

NOTES:

LEGEND:



ISSUE:
01.29.2021 CONCEPT PROJECT REVIEW

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RAINEY RESIDENCE
JOHN AND KELLY RAINEY
LINCOLN 5 SW OF 10TH
CARMEL-BY-THE-SEA, CA 93923
PROJECT NUMBER:
1914
02.05.2021

Ada I. Corral
Ada I. Corral

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NORTH:

SCALE: AS SHOWN

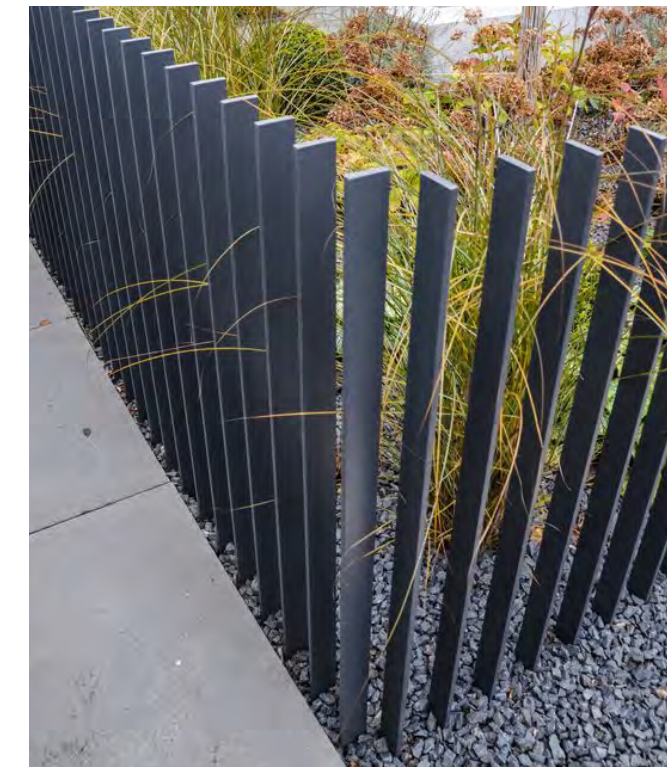
DRAWN BY: KK, LP

FRONT FENCE
ELEVATIONS

A8.00



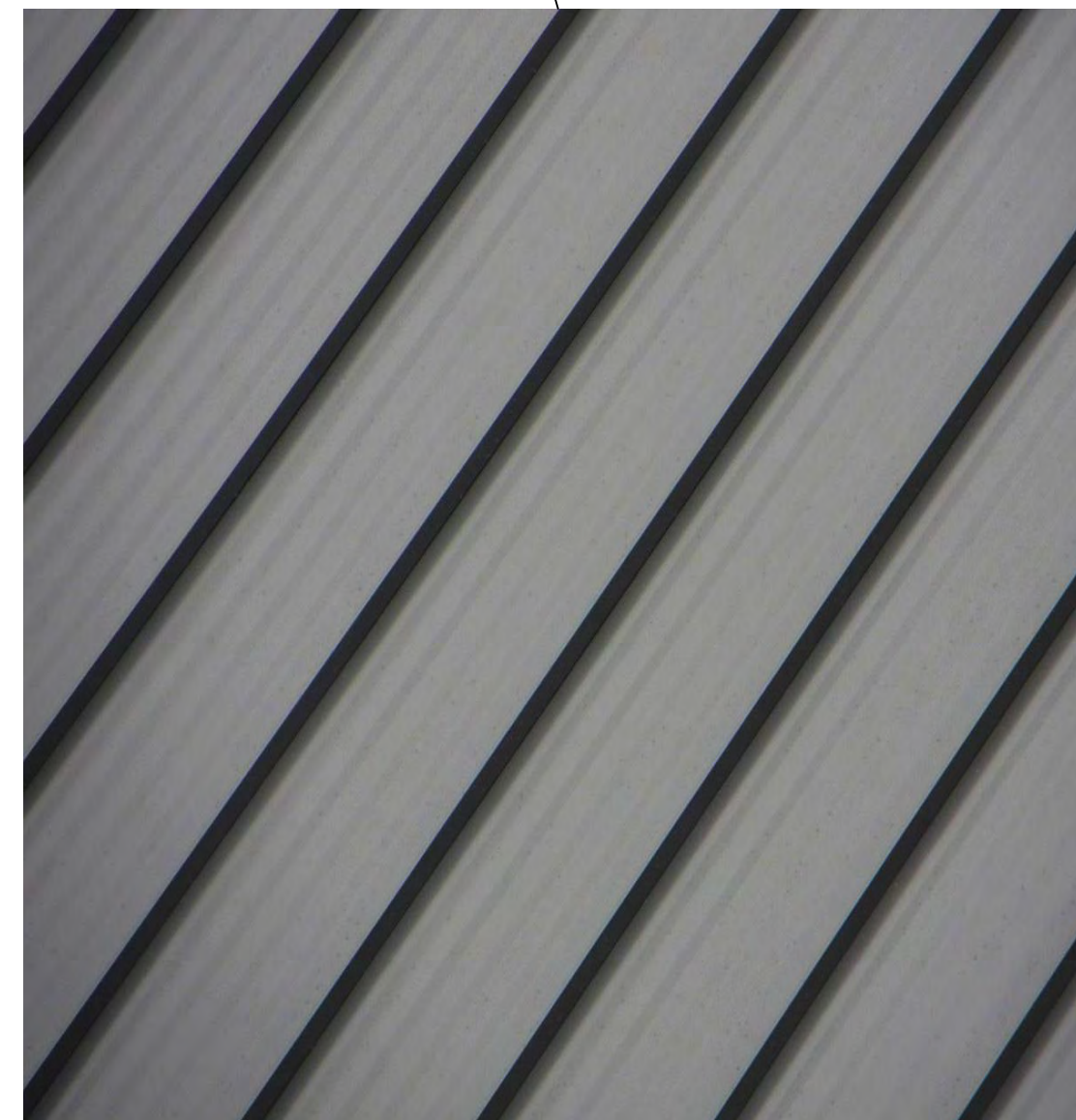
GATE - REF. TO A8.00



FENCE - REF. TO A8.00



FLAT GREEN ROOF
REFERENCE L4.0 FOR PLANTING PLAN



MATTE STANDING SEAM ROOF
STEESSCAPE METALS
COLOR: VINTAGE



EXTERIOR SIDING
DELTA MILLWORKS
ACCOYA - SB - BURNED AND BRUSHED - 1x6
WHITE WASH APPLIED BY CONTRACTOR



EXTERIOR SIDING
VERTICAL BOARD FORM CONCRETE



RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
302 W. 36TH ST. STE B
AUSTIN, TX 78705
512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
DAVID STRANDBERG
1071 10TH STREET
SAN FRANCISCO, CA 94103
415.778.8726/101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
ASE STALLCUP
2665 CARMEL RANCHO BLVD.
CARMEL, CA 93923
831.372.8328

CONTRACTOR: STOCKER & ALLAIRE
DAVID STOCKER
21 MANDEVILLE COURT
MONTEREY, CA 93940
831.375.1890

CIVIL ENGINEER: BENJAMINI, INC
ROY BENJAMINI
725 YORK ST #114
SAN FRANCISCO, CA 94110
415.550.2800

LANDSCAPE ARCHITECT: JMA
JESSICA M. NEAFSEY
3346 7TH AVE
CARMEL, CA 93923
734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
CHRISTINA BROWN
8411 CHAPEL DOWN STREET
AUSTIN, TX 78728
512.382.1666


NOTES:

LEGEND:

ISSUE:
01.29.2021 CONCEPT PROJECT REVIEW

PROJECT:
RAINEY RESIDENCE
JOHN AND KELLY RAINEY
LINCOLN 5 SW OF 10TH
CARMEL-BY-THE-SEA, CA 93923
PROJECT NUMBER:
1914
02.05.2021

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NORTH:  SCALE: N.T.S.
DRAWN BY: KK, LP

MATERIAL DETAILS

A9.00

RAINEY RESIDENCE

DESIGNER: JMLA ARCHITECTS
 300 W. 38TH ST. STE B
 AUSTIN, TX 78705
 512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
 DAVID STRANDBERG
 1511 15TH STREET
 SAN FRANCISCO, CA 94103
 415.778.8726/101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
 A/E/ST/AL/CP
 2685 CARMEL RANCHO BLVD.
 SUITE #8
 CARMEL, CA 93923
 831.372.2039

CONTRACTOR: STOCKER & ALLAIR
 DAVID STOCKER
 MONTEREY, CA 93940
 831.375.1890

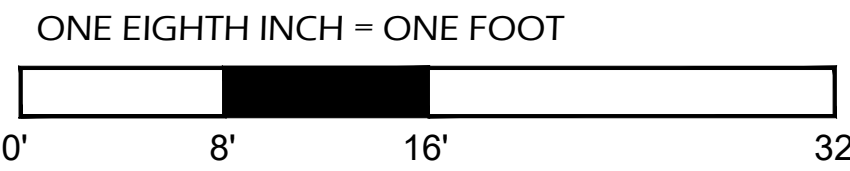
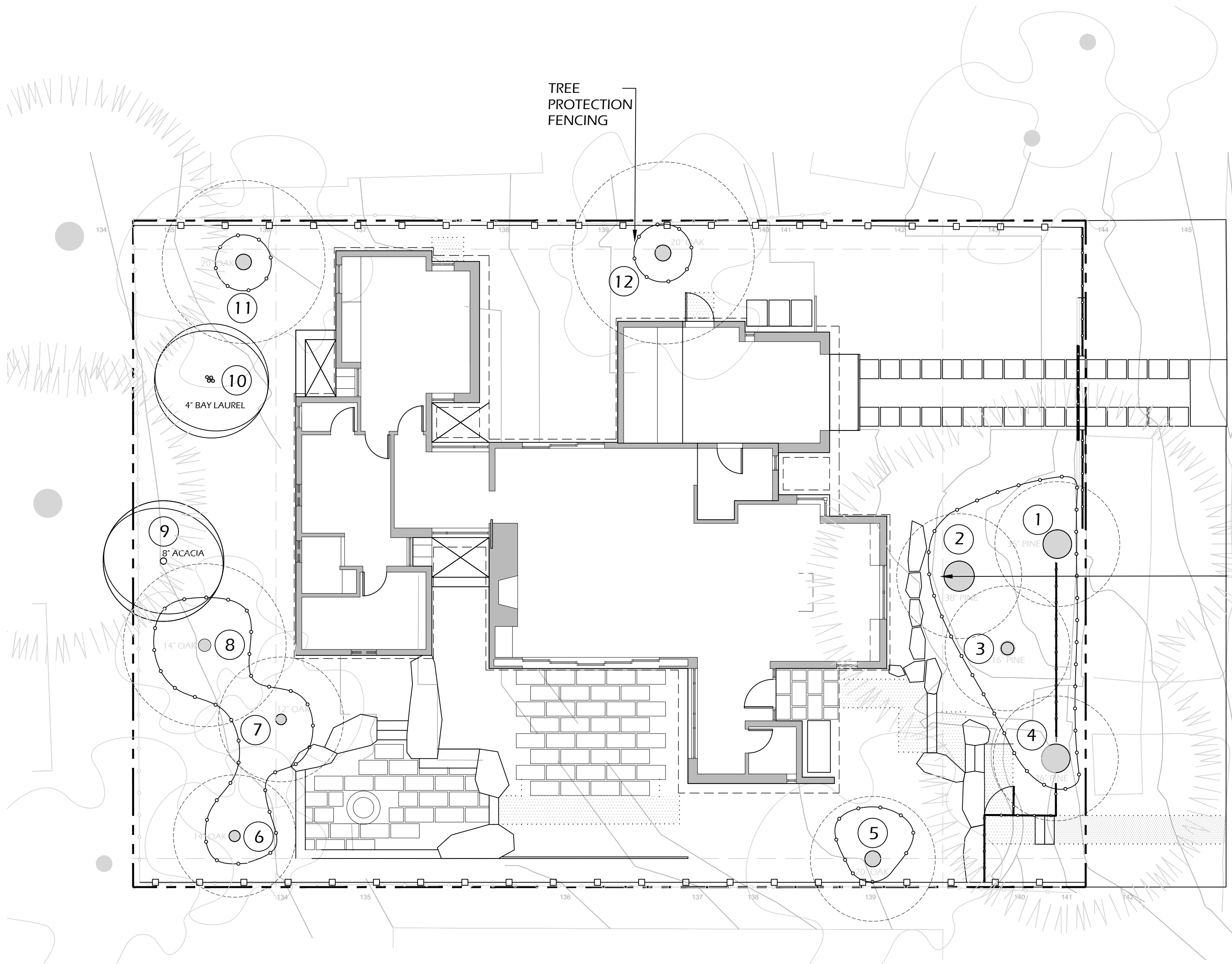
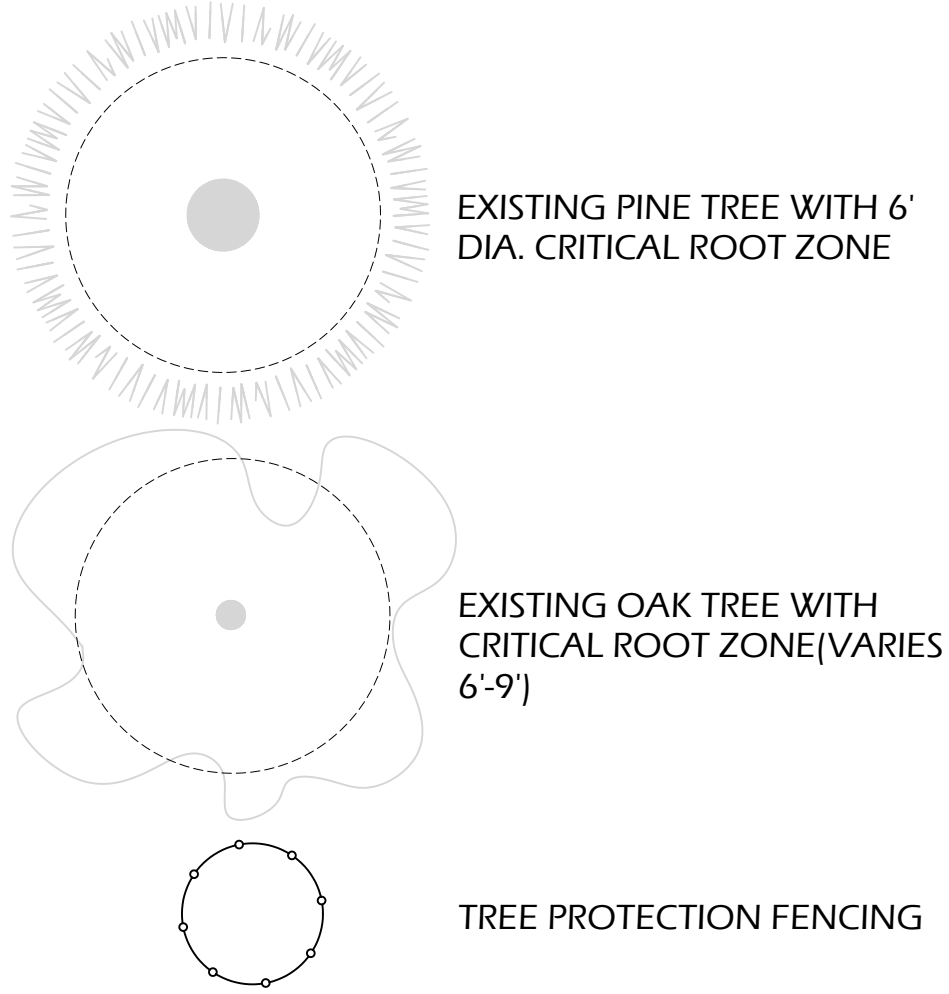
CIVIL ENGINEER: BENJAMIN, INC
 AVY BENJAMIN
 720 YORK ST #114
 SAN FRANCISCO, CA 94110
 415.550.2600

LANDSCAPE ARCHITECT: JMLA
 JESSICA M. NEAFSEY
 3346 7TH AVE
 CARMEL, CA 93923
 734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
 CHRISTINA BROWN
 8411 CHAPEL DOWN STREET
 AUSTIN, TX 78729
 512.382.1656

NOTES:
 100'-0" = 137'-6" ABV SEA LEVEL

LEGEND



NOTES

TREE PROTECTION

1. ALL TREES SHALL BE PRESERVED AND MAINTAINED IN GOOD CARE.
2. ALL TREES NOT SCHEDULED FOR REMOVAL SHALL BE PROTECTED FROM DAMAGE FROM CONSTRUCTION ACTIVITIES. TREE FENCING SHALL PROTECT TRUNKS, AND PREVENT SOIL COMPACTION INSIDE THE CRITICAL ROOT ZONE.
3. BRIDGE OR TUNNEL UNDER MAJOR ROOTS TO AVOID DISTURBANCE WHEN EXPOSED FOR FOUNDATIONS OR UTILITY TRENCHING.



2 1 3 4 5 6 7 8 9 11 12

LEGEND:

ISSUE:	DATE:	DESCRIPTION:
01.29.2021	CONCEPT PROJECT REVIEW	
03.10.2021	CONCEPT PROJECT REVIEW	

PROJECT:
 RAINEY RESIDENCE
 JOHN AND KELLY RAINEY
 LINCOLN S SW OF 10TH
 CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:
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NORTH:

SCALE: 1/8" = 1'-0"

DRAWN BY: JMN

TREE PROTECTION PLAN

L1.0

RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
 500 W. 38TH ST. STE B
 AUSTIN, TX 78705
 512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
 DAVID STRANDBERG
 1571 13TH STREET
 SAN FRANCISCO, CA 94103
 415.778.8726/101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
 2085 CARMEL RANCHO BLVD.
 SUITE #8
 CARMEL, CA 93923
 531.372.2039

CONTRACTOR: STOCKER & ALLAIRE
 DAVID STOCKER
 21 MANDEVILLE COURT
 MONTEREY, CA 93940
 831.375.1890

CIVIL ENGINEER: BENJAMINI, INC
 AVI BENJAMINI
 720 YORK ST #114
 SAN FRANCISCO, CA 94110
 415.550.2600

LANDSCAPE ARCHITECT: JMLA
 JESSICA M. NEAFSEY
 3346 7TH AVE
 CARMEL, CA 93923
 734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
 CHRISTINA BROWN
 8411 CHAPEL DOWN STREET
 AUSTIN, TX 78729
 512.382.1656

NOTES:
 100'-0" = 137'-6" ABV SEA LEVEL

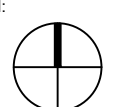
LEGEND:

ISSUE:
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 RAINEY RESIDENCE
 JOHN AND KELLY RAINEY
 LINCOLN 5 SW OF 10TH
 CARMEL-BY-THE-SEA, CA 93923

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NORTH:  SCALE: 1/8" = 1'-0"
 DRAWN BY: JMN

LANDSCAPE MATERIALS

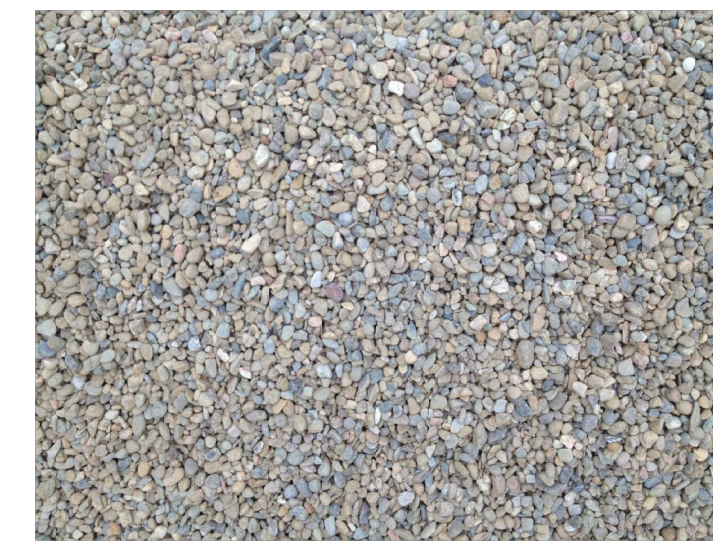
NOTES

1. PROVIDE MOCK-UP SAMPLES FOR ITEMS REQUESTED, MOCK UPS TO BE REVIEWED BY JMLA
2. FOR PHOTO REFERENCES, REFER TO THIS SHEET

LANDSCAPE ELEMENT	PHOTO REFERENCE	MOCKUP REQUIRED
ASPHALT DRIVEWAY APRON	NONE	NO
FAUNE LIMESTONE FLAGSTONE + DRIVEWAY PAVERS, BURNISHED FINISH (MAIDENSTONE)	1	YES
GRAVEL PATHS - 3/8" YUMA TRINITY, ROUNDED	2	NO
FAUNE LIMESTONE STEPS (MAIDENSTONE)	3	YES
GRANITE BOULDERS	4	YES
BOARD-FORMED CONCRETE LOW RETAINING WALL	5	YES
CONCRETE FIRE FEATURE	6	NO
CEDAR PALING FENCE	7	NO
DRIVEWAY GATE - BY ARCHITECT	NONE	BY ARCHITECT
FRONT FENCE - BY ARCHITECT	NONE	BY ARCHITECT
TRENCH AND AREA DRAINS - BY CIVIL	NONE	BY CIVIL



1



2



3



4



5



7



6

LANDSCAPE MATERIALS

L2.0

RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
 500 W. 30TH ST. STE B
 AUSTIN, TX 78705
 512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
 DAVID STRANDBERG
 1011 13TH STREET
 SAN FRANCISCO, CA 94103
 415.778.8726/101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
 A/E/ P/ C/ D/ P
 20695 CARMEL RANCHO BLVD.
 SUITE 100
 CARMEL, CA 93923
 531.372.2009

CONTRACTOR: STOCKER & ALLARE
 DAVID STOCKER
 21 MANDEVILLE COURT
 MONTEREY, CA 93940
 831.375.1890

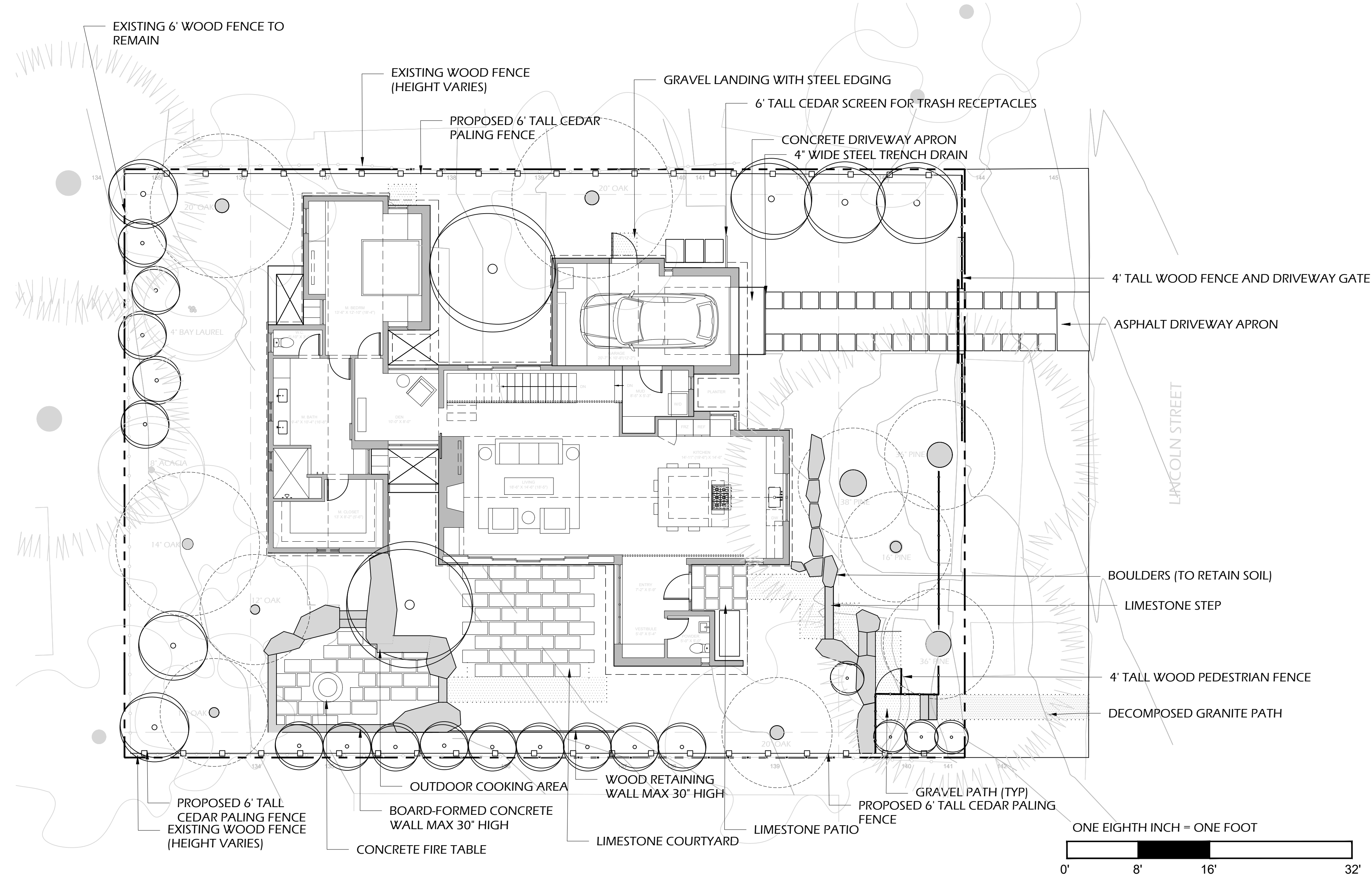
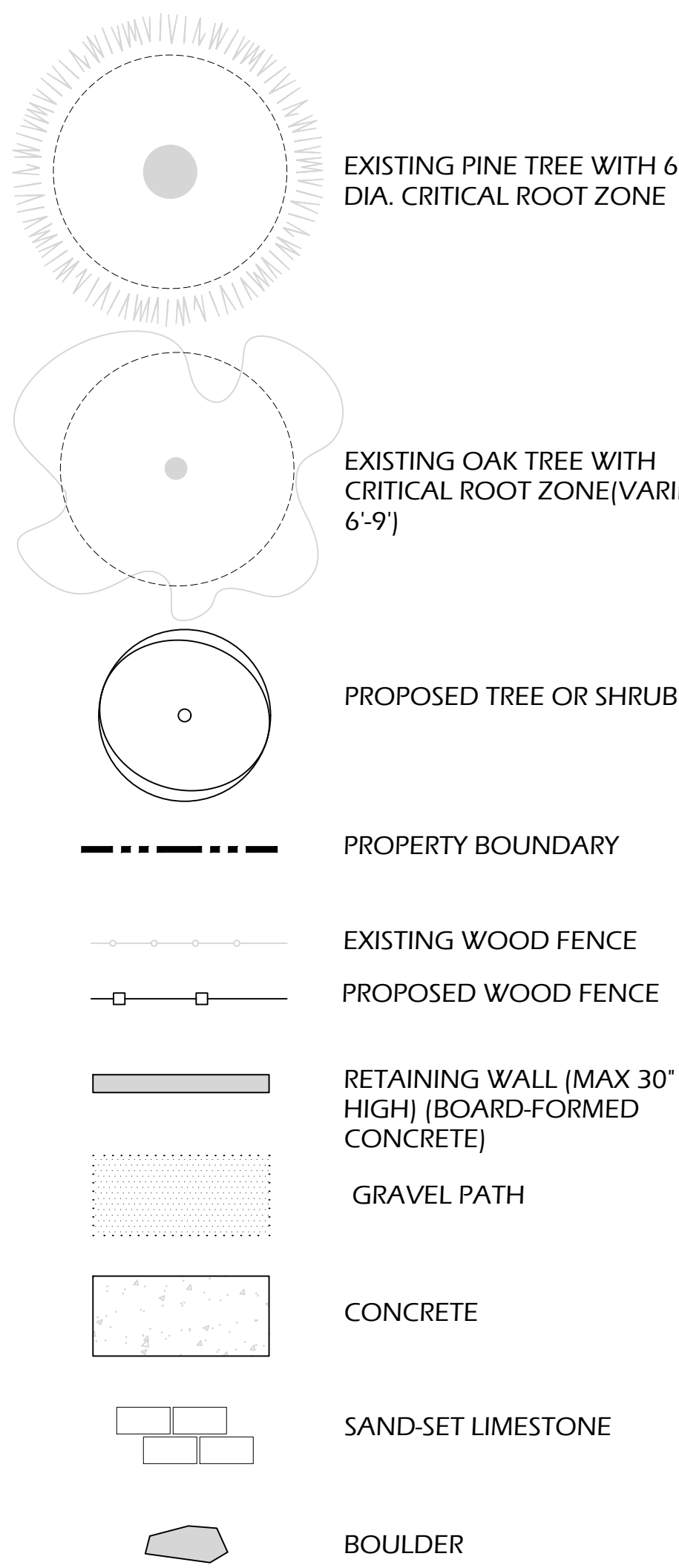
CIVIL ENGINEER: BENJAMIN, INC
 AVY BENJAMIN
 720 YORK ST #114
 SAN FRANCISCO, CA 94110
 415.550.2600

LANDSCAPE ARCHITECT: JMLA
 JESSICA M. NEAFSEY
 2346 7TH AVE
 CARMEL, CA 93923
 734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
 CHRISTINA BROOK
 9411 CHAPEL DOWN STREET
 AUSTIN, TX 78729
 512.382.1666

NOTES:
 100'-0" = 137'-6" ABV SEA LEVEL

LEGEND



SITE COVERAGE

LOT SIZE = 7,000 SF

IMPERVIOUS COVERAGE 270.47 SF
 97.59 SF LIGHT WELLS
 88 SF DRIVEWAY (INSIDE PROPERTY LINE)
 25.06 SF GARAGE APRON + DRAIN
 9.62 SF FIREPIT
 22.99 SF ENTRANCE EAVE
 27.21 SF STEPS

SEMI-PERVIOUS COVERAGE 508.03 SF
 183.59 SF DINING TERRACE
 122.47 SF ENTRY PATH AND LANDING (MINUS EAVE)
 128.61 SF FIRE TERRACE (MINUS FIREPIT)
 73.36 SF GRAVEL STOOPS/PATHS

TOTAL COVERAGE 778.5 SF (DOES NOT INCLUDE RETAINING WALLS/BOULDERS)

ALLOWED COVERAGE (IF OVER 50% IS SEMI-PERVIOUS) = 881 SF

NOTES

- GENERAL
1. LANDSCAPE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODE AND REGULATORY REQUIREMENTS.
 2. PROPER STORMWATER MANAGEMENT, EROSION CONTROL AND TREE PROTECTION WILL BE STRICTLY MAINTAINED THROUGHOUT THE ENTIRE DURATION OF THE PROJECT.
 3. NATIVE DROUGHT-TOLERANT VEGETATION WITH DRIP (DOMINANT) IRRIGATION WILL COMPLY WITH ALL WATER EFFICIENCY STANDARDS AND REGULATIONS.
 4. ALL PATHS, STAIRS AND WALKWAYS SHALL COMPLY WITH ACCESSIBILITY STANDARDS.
 5. EXTERIOR LIGHTING AS SHOWN IN THIS CONCEPTUAL LAYOUT SHALL COMPLY WITH CALIFORNIA LIGHTING EFFICIENCY CODE.
 6. ALL HARDWARE REQUIRED FOR ELEMENTS WITHIN THIS SCOPE OF WORK TO BE CORROSION RESISTANT, INCLUDING REBAR.
 7. THE EXACT LOCATION OF DRAINAGE UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR WITH THE LANDSCAPE ARCHITECT IN THE FIELD.

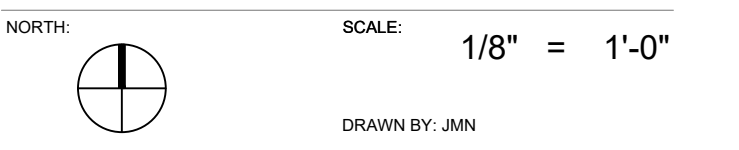
LEGEND:

ISSUE:	
01.29.2021	CONCEPT PROJECT REVIEW
03.10.2021	CONCEPT PROJECT REVIEW

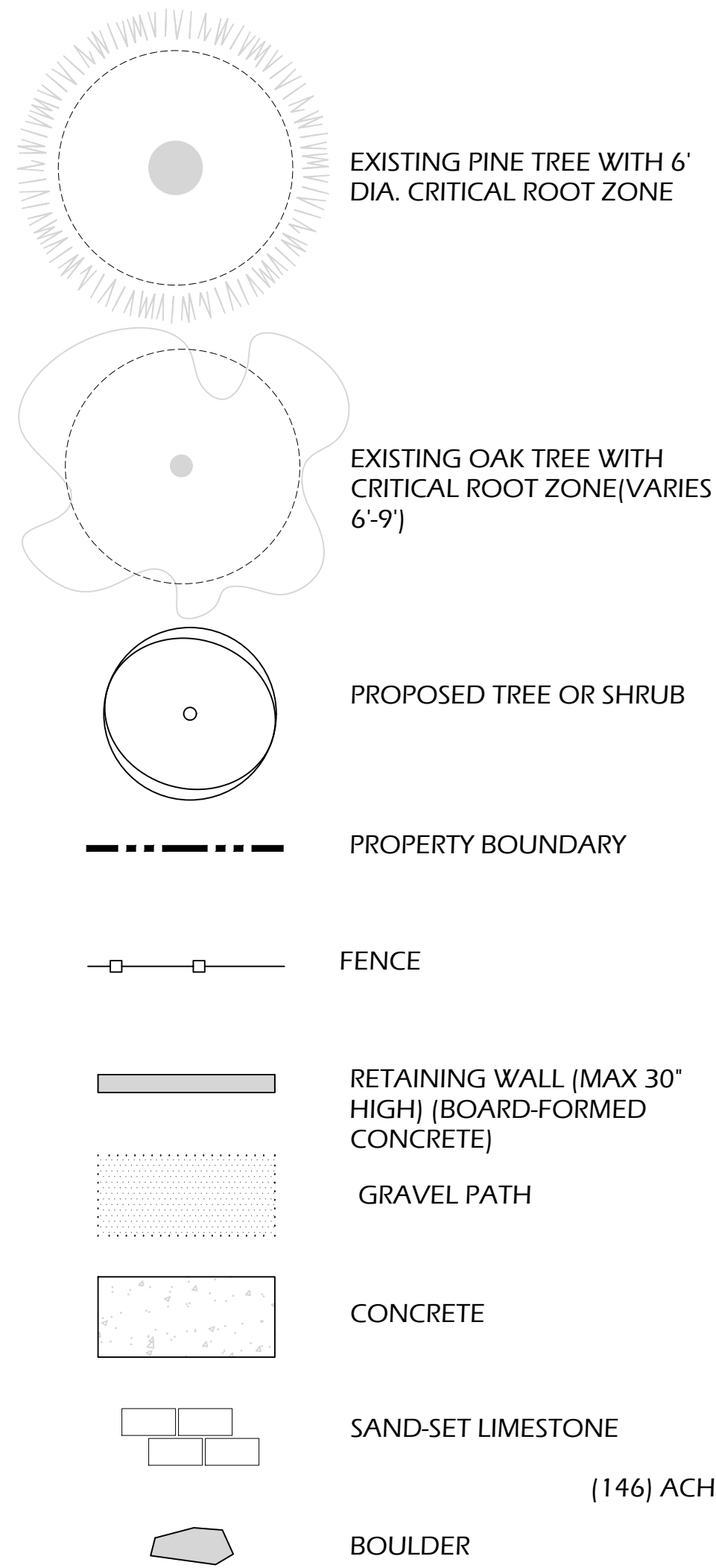
PROJECT: RAINEY RESIDENCE
 JOHN AND KELLY RAINEY
 LINCOLN S SW OF 10TH
 CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER: 1914

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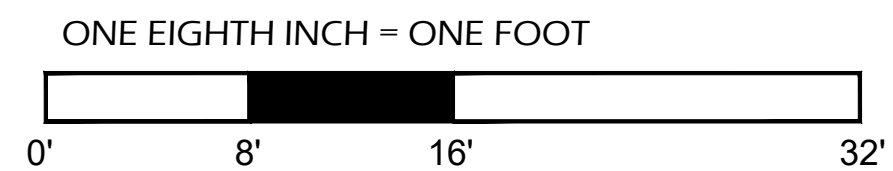
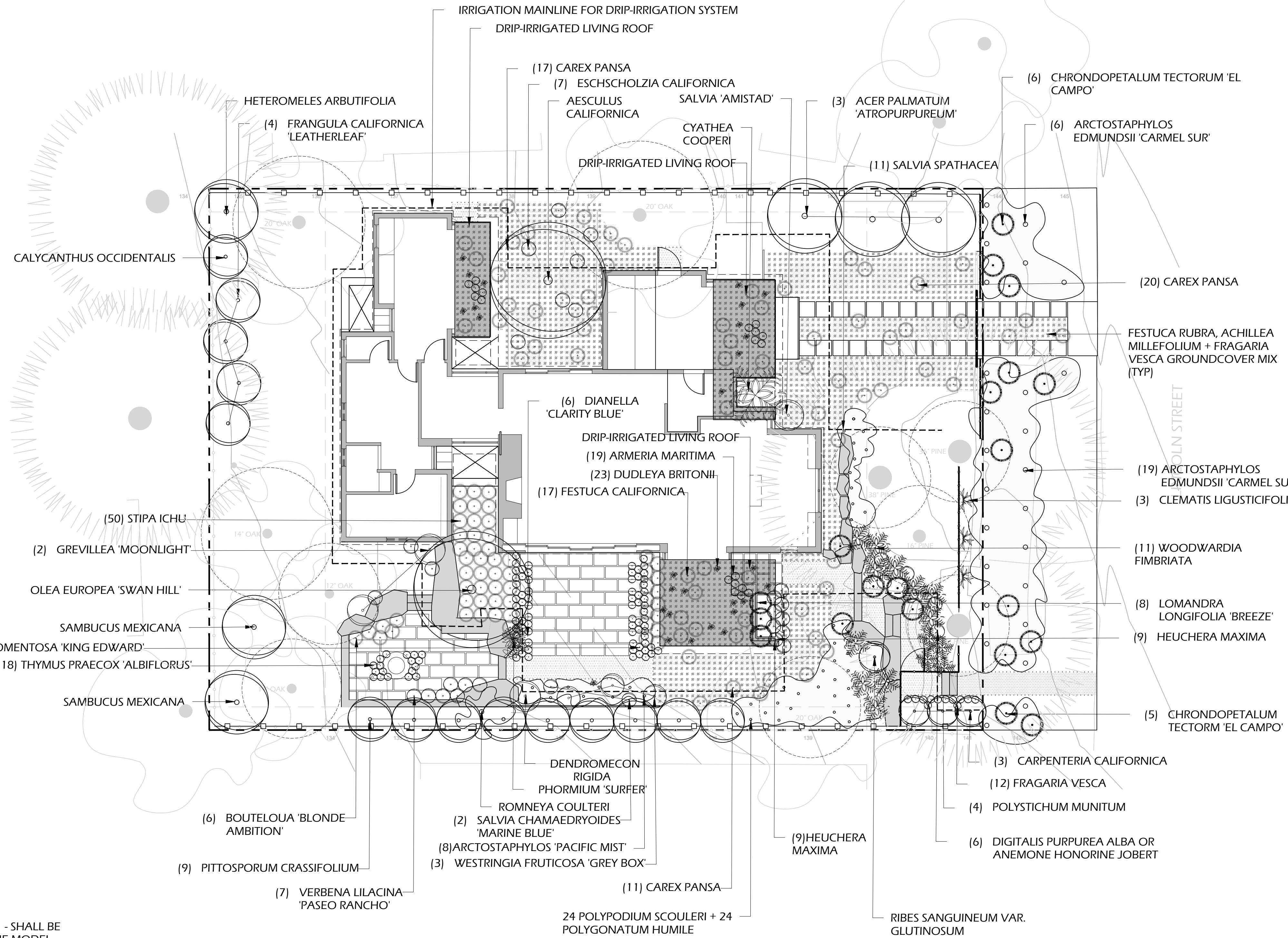


LEGEND



NOTES

- SEE SHEET L5.1 FOR PLANTING NOTES AND PLANT LIST.
- ALL IRRIGATION - ON GROUND PLANE AND LIVING ROOFS - SHALL BE DRIP IRRIGATION, AND COMPLY WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.



RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
300 W. 38TH ST. STE B
AUSTIN, TX 78705
512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
DAVID STRANDBERG
1011 10TH STREET
SAN FRANCISCO, CA 94103
415.778.8726/101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
ALEX STALCUP
2685 CARMEL RANCHO BLVD.
SUITE 100
CARMEL, CA 93923
831.372.2009

CONTRACTOR: STOCKER & ALLARE
DAVID STOCKER
21 MANDEVILLE COURT
MONTEREY, CA 93940
831.375.1890

CIVIL ENGINEER: BENJAMIN, INC.
AVY BENJAMIN
720 YORK ST #114
SAN FRANCISCO, CA 94110
415.550.2600

LANDSCAPE ARCHITECT: JMLA
JESSICA M. NEAFSEY
3345 7TH AVE
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734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
CHRISTINA BROOKN
9411 CHAPEL DOWN STREET
AUSTIN, TX 78729
512.382.1656

NOTES:
100'-0" = 137'-6" ABV SEA LEVEL

LEGEND:

ISSUE:
01.29.2021 CONCEPT PROJECT REVIEW

PROJECT:
RAINEY RESIDENCE
JOHN AND KELLY RAINEY
LINCOLN 5 SW OF 10TH
CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:
1914

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NORTH:

SCALE: 1/8" = 1'-0"

DRAWN BY: JMN

PLANTING PLAN

L4.0

PLANT LIST

TYPE	SCIENTIFIC NAME	COMMON NAME	QUANTITY	CONTAINER SIZE	AREA (SF)
TREES	ACER PALMATUM 'ATROPURPUREUM'	RED LEAF JAPANESE MAPLE	3	15 GAL.	
	OLEA EUROPEA 'SWAN HILL'	SWAN HILL FRUITLESS OLIVE	1	36" BOX	
	AESCULUS CALIFORNICA	CALIFORNIA BUCKEYE	1	36" BOX	
SHRUBS	CARPENTERIA CALIFORNICA	BUSH ANEMONE	3	15 GALLON	
	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	14	1 GALLON	
	CALYCANTHUS OCCIDENTALIS	SPICE BUSH	1	5 GALLON	
	ARCTOSTAPHYLOS EDMUNDSII 'CARMEL SUR'	CARMEL SUR MANZANITA	25	1 GALLON	
	HETEROMELES ARBUTIFOLIA	TOYON	1	5 GALLON	
	FRANGULA CALIFORNICA 'LEATHER LEAF'	LEATHER LEAF COFFEEBERRY	4	5 GALLON	
	PHORMIUM 'SURFER'	SURFER FLAX	1	5 GALLON	
	RIBES SANGUINEUM VAR. GLUTINOSUM	PINK FLOWERED CURRANT	1	5 GALLON	
	SAMBUCUS MEXICANA	MEXICAN ELDERBERRY	2	5 GALLON	
	ROMNEYA COULTERI	MATILJA POPPY	1	1 GALLON	
	GREVILLEA 'MOONLIGHT'	MOONLIGHT GREVILLEA	2	5 GALLON	
	PITOSPORUM CRASSIFOLIUM	KARO	9	5 GALLON	
WESTRINGIA FRUTICOSA 'GREY BOX'	GREY BOX COAST ROSEMARY	3	1 GALLON		
GRASSES, SEDGES + RUSHES	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION GAMA GRASS	6	1 GALLON	
	CAREX PANSA	SEDGE	48	1 GALLON	
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	8	1 GALLON	
	STIPA ICHU	PERUVIAN FEATHER GRASS	50	1 GALLON	
FERNS	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	11	5 GALLON	
	POLYSTICUM MUNITUM	WESTERN SWORD FERN	4	1 GALLON	
	POLYPODIUM SCOULERI	LEATHERY POLYPODIUM	24	4" POT	
	CYATHEA COOPERI	LACY TREE FERN	1	5 GALLON	
VINES	CLEMATIS LIGUSTICIFOLIA	CLEMATIS	3	1 GALLON	
PERENNIALS	ACHILLEA TOMENTOSA 'KING EDWARD'	KING EDWARD WOOLY YARROW	146	4" POT	
	CHRONDOPETALUM 'EL CAMPO'	SMALL CAPE RUSH	11	1 GALLON	
	DIANELLA 'CLARITY BLUE'	CLARITY BLUE DIANELLA	6	1 GALLON	
	THYMUS PRAECOX 'ALBIFLORUS'	WHITE CREEPING THYME	18	4"	
	DIGITALIS PURPUREA 'ABLA'	WHITE FOXGLOVE	6	4"	
	GERANIUM MADERENSE 'GUERNSEY WHITE'	GUERNSEY WHITE MADERENSE GERANIUM	4	1 GALLON	
	ANEMONE 'HONORINE JOBERT'	HONORINE JOBERT ANEMON	6	1 GALLON	
	HEUCHERA MAXIMA	CORAL BELLS	9	1 GALLON	
	FRAGARIA VESCA	WOODLAND STRAWBERRY	12	4"	
	POLYGONATUM HUMILE	DWARF SOLOMON'S SEAL	24	4"	
	SALVIA SPATHACEA	HUMMINGBIRD SAGE	11	1 GALLON	
SALVIA CHAMAEDRYOIDES 'MARINE BLUE'	MARINE BLUE GERMANDER SAGE	2	1 GALLON		
VERBENA LILACINA 'PASEO RANCHO'	PASEO RANCHO VERBENA	7	1 GALLON		
SALVIA 'AMISTAD'	AMISTAD SAGE	1	1 GALLON		
ANNUALS	ESCHSCHOLZIA CALIFORNICA 'ALBA'	WHITE CALIFORNIA POPPY	7	SEED	
GROUND COVER MIX	FESTUCA RUBRA	CREEPING RED FESCUE	TBD	4" POT	820 SF
	ACHILLEA MILLEFOLIUM 'SONOMA'	SONOMA YARROW	TBD	4" POT	820 SF
	FRAGARIA VESCA	WOODLAND STRAWBERRY	TBD	4" POT	820 SF
LIVING ROOF	FESTUCA RUBRA	CREEPING RED FESCUE	TBD	4" POT	445 SF
	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	17	4" POT	
	ARMERIA MARITIMA	SEA THRIFT	19	4" POT	
	DUDLEYA BRITONII	GIANT CHALK DUDLEYA	21	1 GALLON	

PLANTING NOTES

GENERAL

- SOIL IN PLANTING AREAS SHALL BE TESTED AND IMPROVED WITH QUALITY SOIL AND COMPOST (OMRI) AS NEEDED FOR HEALTH OF LANDSCAPE
- ANY DETECTED HIGH SALINITY IN SOILS MUST BE FLUSH-IRRIGATED PRIOR TO ANY PLANTING UNDER SUPERVISION OF THE LANDSCAPE ARCHITECT.
- GOPHER CAGES AND CHICKEN WIRE TOPS WITH ≤ 1" MESH SHALL BE INSTALLED WITH NEW PLANTINGS OVER 4" CONTAINER SIZE, AND AS NEEDED.
- 3" DEPTH OF CLEAN 'ARBOR' MULCH (ORGANIC OMRI WHEN AVAILABLE, NO EUCALYPTUS OR DISEASED PLANT MATERIAL) OR SMALL FIR BARK (1/4" TO 3/4") SHALL BE APPLIED IN NEWLY PLANTED AREAS AND REPLENISHED AS NEEDED EACH SPRING AND FALL.
- MULCH SHALL BE APPLIED SO THAT IT IS BELOW GRADE OF CURBS AND EDGINGS (SOME GRADING OF AREAS ADJACENT TO AFFECTED AREAS MAY BE REQUIRED)
- MULCH IS TO BE KEPT 6" – 12" AWAY FROM BASE OF SHRUBS AND TREES
- ALL NEWLY PLANTED CONTAINER PLANTS AND TREES SHALL RECEIVE WATERING BASINS 3 TIMES THE SIZE OF THE ROOT BALL UPON PLANTING, UNLESS OTHERWISE SHOWN ON DRAWINGS.
- BACKFILL MIX SHALL CONSIST OF 1/3 IMPORTED ORGANIC COMPOST AND 2/3 AMENDED SITE SOIL.
- CONTRACTOR IS RESPONSIBLE TO APPLY SUFFICIENT BUT NOT EXCESS IRRIGATION TO ALL NEW PLANTINGS TO ENSURE HEALTHY PLANT ESTABLISHMENT.

QUALITY CONTROL

- PLANT QUANTITIES ARE PROVIDED FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MATERIAL QUANTITIES.
- ANY PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT FOR APPROVAL OR ALTERNATE CHOICES.
- ALL PLANTS SHALL BE HEALTHY, PEST AND DISEASE FREE, FREE OF GIRDLING ROOTS AND WELL ESTABLISHED IN THE CONTAINER.
- PLANT MATERIAL STANDARDS: MINIMUM QUALITY AND SIZE OF ALL PLANT MATERIAL SHALL CONFORM TO PREVAILING PUBLISHED SPECIFICATIONS OF THE CALIFORNIA ASSOCIATION OF NURSERYMEN AND THE AMERICAN ASSOCIATION OF NURSERYMEN UNLESS OTHERWISE INDICATED.
- PLANT AVAILABILITY AND SUBSTITUTIONS: A MINIMUM OF TEN (10) DAYS BEFORE PLANTING INSTALLATION, CONTRACTOR SHALL SUBMIT NOTICE TO THE LANDSCAPE ARCHITECT CERTIFYING THAT THE SPECIFIED PLANTS ARE AVAILABLE IN THE SIZE, QUANTITY AND QUALITY REQUIRED, AND PROPOSED SUBSTITUTIONS FOR PLANTS THAT ARE NOT AVAILABLE, TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT.
- WARRANTY: IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROTECT PLANT MATERIAL FROM WEATHER, BREAKAGE, THEFT, AND DROUGHT DURING TRANSIT, STORAGE, INSTALLATION AND MAINTENANCE PERIOD.
 - ALL PLANT MATERIAL INSTALLED UNDER THE CONTRACT SHALL BE GUARANTEED AGAINST ANY AND ALL POOR, INADEQUATE OR INFERIOR MATERIALS AND/OR WORKMANSHIP.
 - REPLACE DEAD PLANTS AND PLANTS NOT SHOWING EVIDENCE OF ACTIVE GROWTH AT END OF WARRANTY PERIOD.
 - REPLACEMENT PLANTS: PROVIDE SAME KIND AND SIZE ORIGINALLY PLANTED UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT. MAINTAIN REPLACEMENT PLANTS THROUGH MAINTENANCE PERIOD OR UNTIL ACTIVE GROWTH IS ESTABLISHED.

ONSITE PLANTING REVIEWS

- LOCATION OF ALL PLANTS AND TREES TO BE FIELD LOCATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO LAYOUT PLANTS IN POTS AS SHOWN ON THE PLANTING PLAN FOR REVIEW AND ADJUSTMENTS BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
 - LAYOUT ONE AREA AT A TIME BASED ON WHAT CAN BE PLANTED IN ONE DAY.

IRRIGATION NOTES

- ALL PLANTED AREAS SHALL RECEIVE DRIP IRRIGATION.
- HAND TRENCH WHEREVER SURFACE ROOTS ARE PRESENT. TRENCH ADJACENT TO PAVING WHEREVER POSSIBLE TO MINIMIZE TREE ROOT DAMAGE.
- WHERE IRRIGATION CONTROL WIRES ARE NOT SHOWN THEY ARE TO RUN PARALLEL TO MAINLINE.
- AT LEAST SEVEN DAYS BEFORE BEGINNING WORK, THE IRRIGATION CONTRACTOR SHALL CONFIRM THE STATIC WATER PRESSURE IS AT LEAST 35 PSI AT THE POINT OF CONNECTION. IF STATIC WATER PRESSURE IS LESS THAN STATED, DO NOT PROCEED WITHOUT FIRST NOTIFYING THE IRRIGATION DESIGNER AND OWNER IN WRITING, AND OBTAINING SUBSEQUENT DIRECTION FOR CORRECTIONAL MEASURES. SHOULD THE IRRIGATION CONTRACTOR CHOOSE TO BEGIN THE INSTALLATION WITHOUT SUCH NOTIFICATION, THE IRRIGATION CONTRACTOR WILL ASSUME THE RESPONSIBILITY FOR ALL COSTS INCURRED TO ENSURE THE SYSTEM IS WORKING PROPERLY. NO CHANGE ORDERS WILL BE AUTHORIZED IN SUCH CIRCUMSTANCES.
- THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
- THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH LOCATIONS OF WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE PROPOSED LOCATIONS OF THE IRRIGATION CONTROLLER.
- UV RATED PVC PIPE AND CONNECTIONS SHALL BE USED IN PLACE OF PVC AT ANY PLACE WHERE IRRIGATION PIPE WILL REMAIN EXPOSED.
- ALL VALVE BOX LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF IRRIGATION MAINLINE.
- CONTRACTOR IS RESPONSIBLE FOR OVERHEAD WATERING OF SOD AS NEEDED UNTIL ESTABLISHED, MIN. 1 MONTH.
- FOLLOWING INSTALLATION, THE CONTRACTOR SHALL DEMONSTRATE TO THE OWNER AND DESIGNER THE PROPER OPERATION OF THE SYSTEM FOR FINAL APPROVAL.
- THE ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2010 CALIFORNIA FIRE CODE, THE 2010 CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA BUILDING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS.

RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
 500 W. 98TH ST. STE B
 AUSTIN, TX 78705
 512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
 DAVID STRANDBERG
 1011 15TH STREET
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ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
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 CARMEL, CA 93923
 831.372.2008

CONTRACTOR: STOCKER & ALLAIR
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CIVIL ENGINEER: BENJAMIN, INC
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LANDSCAPE ARCHITECT: JMLA
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 CARMEL, CA 93923
 734.904.9152

LIGHTING DESIGNER: STUDIO LUMINA
 CHRISTINA BROOK
 9411 CHAPEL DOWN STREET
 AUSTIN, TX 78729
 512.382.1656

NOTES:
 100'-0" = 137'-6" ABV SEA LEVEL

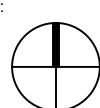
LEGEND:

ISSUE:
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PROJECT:
 RAINEY RESIDENCE
 JOHN AND KELLY RAINEY
 LINCOLN S SW OF 10TH
 CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:
 1914

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NORTH:  SCALE: 1/8" = 1'-0"
 DRAWN BY: JMN

PLANT LIST + NOTES

L4.1

RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
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 AUSTIN, TX 78705
 512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING
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ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
 ARIE STALCUP
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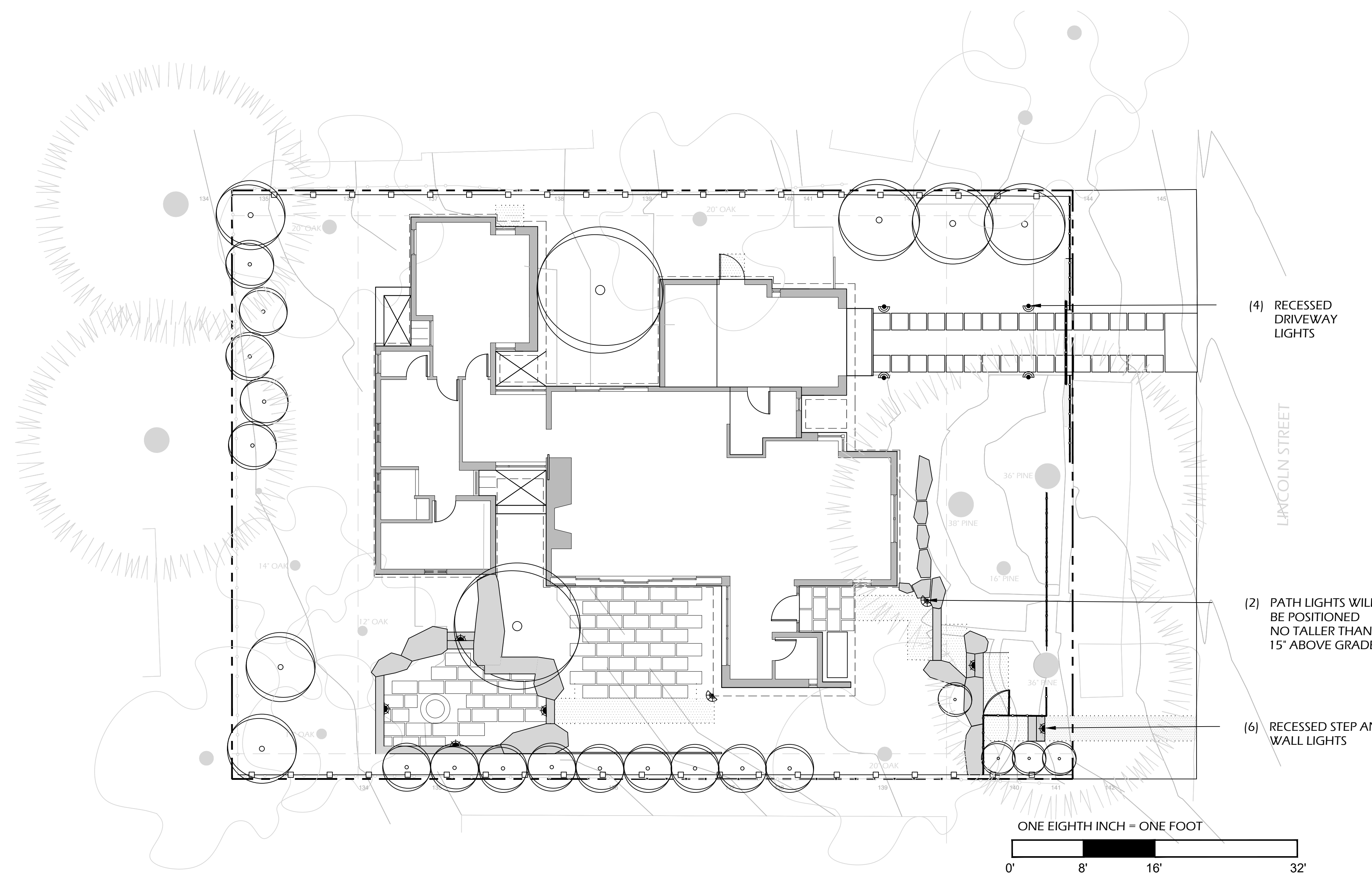
CONTRACTOR: STOCKER & ALLARE
 DAVID STOCKER
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 831.375.1890

CIVIL ENGINEER: BENJAMINI, INC
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LANDSCAPE ARCHITECT: JMLA
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NORTH: [North Arrow]
SCALE: 1/8" = 1'-0"
 DRAWN BY: JMN

LANDSCAPE LIGHTING PLAN

L5.0

auroralight TYPE: GFC & LDM350

LDM350 SONOMA

The LDM350 directional marker is a high flux, low wattage LED luminaire. Coupled to a brass body, our Thermally Integrated LED Module provides superior heat dissipation, longer life and higher performance. With five different illumination patterns you are provided great versatility. Stunning when used horizontally in wall applications, as a step light or wall washer. See LDM250 for additional size and wattage options.

Features include:

- 4 Watts and Up to 50 lumens
- One XLAMP Extreme High Power (XHP) LED
- 2700 or 3000K (CRI 90 typ.)
- Thermally Integrated, Field Serviceable LED Module
- TMAC Dimming to $+10\%$ typ.
- 12 VAC Electronic or Magnetic
- Drive-over Rated up to 6,000 lbs.
- Solid Copper and Brass Construction

BEAM PATTERNS

30° Opening, 45° Opening, 60° Opening, 75° Opening, 90° Opening

ORDERING GUIDE: LDM350 (LED) DM DIRECTIONAL MARKER 300 (MODEL)

BEAM PATTERN: 30° Opening, 45° Opening, 60° Opening, 75° Opening, 90° Opening

LED COLOR: 3000K, 3500K, 4000K, 5000K

LENS: Clear, Frosted

MONOY: Clear, White, Black, Bronze

FINISH: Matte Bronze, Polished Brass, Polished Nickel, Polished Chrome, Polished Stainless Steel, Polished Aluminum, Polished Copper, Polished Silver, Polished Titanium, Polished Zirconium, Polished Inconel, Polished Hastelloy, Polished Monel, Polished Invar, Polished Kovar, Polished Incom, Polished Incoloy, Polished Inconel 600, Polished Inconel 718, Polished Inconel 740, Polished Inconel 762, Polished Inconel 780, Polished Inconel 800, Polished Inconel 825, Polished Inconel 840, Polished Inconel 860, Polished Inconel 880, Polished Inconel 900, Polished Inconel 940, Polished Inconel 980, Polished Inconel 1000

WARRANTY: 5 Year

ORDERING INFORMATION:

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
VERONA	MBR	3W	150	2700K	8-15V

Forever Bright

VERONA

Recessed Fixture

DESCRIPTION: VERONA
 Engine: FB 3W-CV1-TA16
 Wattage: 3W
 Color Temp: 2700K
 Electrical: 8-15V, 120V
 LED: Nichia

ORDERING INFORMATION:

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
VERONA	MBR	3W	150	2700K	8-15V

HUNZA PROJECT: [Blank]
 TYPE: [Blank]
 SOURCE: [Blank]
 NOTES: [Blank]

Twig Lite

PURELED SPECIFICATIONS

LED Chip: Cree XP-G3 Plug and Play field replaceable LED board

Luminaire Output: 120 Lumens @ 2700K (2 watts), delivered from luminaire with unobstructed beam

Lumens Per Watt: 60 Lumens/watt @ 2 watts, delivered from luminaire with unobstructed beam

CRI (9000K): 90+

Color Temperatures: 2700K, 3000K, 4000K

Beam Angle: Asymmetric

Ingress Protection: IP64

Warranty: Electronics + 1 year, Body/Cover: 5-10 years

Standards: IES, UL, FCC, CE, RoHS, REACH, EN60598-1, EN60598-2-1, EN60598-2-2, EN60598-2-3, EN60598-2-4, EN60598-2-5, EN60598-2-6, EN60598-2-7, EN60598-2-8, EN60598-2-9, EN60598-2-10, EN60598-2-11, EN60598-2-12, EN60598-2-13, EN60598-2-14, EN60598-2-15, EN60598-2-16, EN60598-2-17, EN60598-2-18, EN60598-2-19, EN60598-2-20, EN60598-2-21, EN60598-2-22, EN60598-2-23, EN60598-2-24, EN60598-2-25, EN60598-2-26, EN60598-2-27, EN60598-2-28, EN60598-2-29, EN60598-2-30, EN60598-2-31, EN60598-2-32, EN60598-2-33, EN60598-2-34, EN60598-2-35, EN60598-2-36, EN60598-2-37, EN60598-2-38, EN60598-2-39, EN60598-2-40, EN60598-2-41, EN60598-2-42, EN60598-2-43, EN60598-2-44, EN60598-2-45, EN60598-2-46, EN60598-2-47, EN60598-2-48, EN60598-2-49, EN60598-2-50, EN60598-2-51, EN60598-2-52, EN60598-2-53, EN60598-2-54, EN60598-2-55, EN60598-2-56, EN60598-2-57, EN60598-2-58, EN60598-2-59, EN60598-2-60, EN60598-2-61, EN60598-2-62, EN60598-2-63, EN60598-2-64, EN60598-2-65, EN60598-2-66, EN60598-2-67, EN60598-2-68, EN60598-2-69, EN60598-2-70, EN60598-2-71, EN60598-2-72, EN60598-2-73, EN60598-2-74, EN60598-2-75, EN60598-2-76, EN60598-2-77, EN60598-2-78, EN60598-2-79, EN60598-2-80, EN60598-2-81, EN60598-2-82, EN60598-2-83, EN60598-2-84, EN60598-2-85, EN60598-2-86, EN60598-2-87, EN60598-2-88, EN60598-2-89, EN60598-2-90, EN60598-2-91, EN60598-2-92, EN60598-2-93, EN60598-2-94, EN60598-2-95, EN60598-2-96, EN60598-2-97, EN60598-2-98, EN60598-2-99, EN60598-2-100

PRODUCT CONFIGURATION Please fill in appropriate codes into boxes provided

Cat. No. TG/L

Luminaire: TG/L

Power: [Blank]

Material/Finish: [Blank]

Beam: [Blank]

Colour: [Blank]

Accessories: [Blank]

OTHER LAMP OPTIONS: T5-G4, G4 LED Retrofit 12V Lamp (lamp vary by market - please refer to supplier for details)

HUNZA PURE LED LIGHTING

LIGHTING LEGEND

SYMBOL	TYPE	MANUFACTURER	MODEL	FINISH	WATTAGE
[Symbol]	PATH LIGHT	HUNZA	TWIG LITE (MAX 15' ABOVE GRADE)	COPPER	2W LED
[Symbol]	RECESSED WALL + STEP LIGHT	SPJ	VERONA	MATTE BRONZE	3W LED
[Symbol]	RECESSED DRIVEWAY LIGHT	AURORALIGHT	LDM 350 SONOMA	BLP-XD	4W LED

LIGHTING NOTES

- A LICENSED ELECTRICIAN SHALL INSTALL 120 VAC POWER TO CONTROLLER LOCATION, AS WELL AS ALL 120 VAC WIRING WITHIN CONDUIT AND CONNECTIONS TO LIGHT FIXTURES. LOW-VOLTAGE LIGHTS AND WIRING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR.
- POSITION LIGHTS IN FIELD. ADJUST TO MINIMIZE LIGHT SPILLAGE AND GLARE AND TO ACHIEVE DESIGN INTENT. FINAL LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT.
- FINAL ADJUSTMENTS SHALL BE MADE AT NIGHT WITH OWNER PRESENT FOR APPROVAL.
- SWITCHING AND PROGRAMMING TO BE COORDINATED WITH ELECTRICAL CONTRACTORS.
- CONTRACTOR TO PROVIDE SUBMITTAL SHEETS OF ALL PROPOSED FIXTURES TO LANDSCAPE ARCHITECT FOR APPROVAL. FINAL FINISHES TO BE DETERMINED WITH SUBMITTAL APPROVALS
- POOL LIGHTS TO BE COORDINATED WITH POOL CONTRACTOR.

GENERAL NOTES:

- THESE PLANS REPRESENT THE OVERALL ON-SITE IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR OFF-SITE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFI) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT DOCUMENTS, JURISDICTION STANDARDS AND SPECIFICATIONS, AND ALL OTHER APPLICABLE LOCAL AND STATE CODES AND ORDINANCES. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- CONSTRUCTION STAKING SHALL BE DONE BY A LICENSED LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA.
- REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY THE CIVIL DESIGN ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED ITEMS. REVISIONS SHALL BE ACCURATELY SHOWN ON REVISED PLANS.
- STANDARD CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE DAYS AND HOURS REGULATED BY THE JURISDICTION.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AND A PRIVATE UTILITY LOCATOR AT PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES. THE UTILITIES SHOWN ON THESE PLANS ARE BASED UPON RECORD INFORMATION. HOWEVER, THE CIVIL DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR SIZE, ACCURACY OR ACTUAL LOCATIONS.
- THE CONTRACTOR SHALL RESTORE TO THEIR PREVIOUS CONDITION OR REPLACE STRUCTURES TO REMAIN WHICH ARE DAMAGED DUE TO THE CONTRACTOR'S WORK AT THEIR OWN EXPENSE.
- THE CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS OF THE STATE OF CALIFORNIA CONSTRUCTION SAFETY ORDERS PERTAINING TO EXCAVATIONS AND TRENCHES. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED, AND SHEATHED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT THE EXISTING IMPROVEMENTS WILL BE FULLY PROTECTED FROM DAMAGE. DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING, AND SHEATHING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR RECONSTRUCTED AT THE CONTRACTORS EXPENSE.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING OR HOT-MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR THE ENTIRE PROJECT SITE AND REMAIN COMPLIANT WITH THE REGIONAL WATER QUALITY CONTROL BOARD REGULATIONS. THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE.
- UPON SATISFACTORY COMPLETION OF THE WORK, THE WORK SITE SHALL BE CLEANED UP AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION DEBRIS OF ANY NATURE BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL POST ON SITE EMERGENCY TELEPHONE NUMBERS FOR JURISDICTION ENGINEER, AMBULANCE, POLICE, FIRE DEPARTMENTS, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF THE JOB SITE.
- THE CONTRACTOR SHALL BE AWARE THAT DEWATERING ACTIVITIES SHALL COMPLY WITH THE CONDITIONS OF THE REGIONAL WATER QUALITY CONTROL BOARD GENERAL PERMIT OF CONSTRUCTION SITES.

UTILITIES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY, INCLUDING BUT NOT LIMITED TO: WATER, SEWER, GAS, ELECTRIC & TELECOMMUNICATIONS, LOCATIONS, INVERTS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE PLANS AND REQUIRING MODIFICATIONS TO THE DESIGN SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION. DIFFERING UTILITY CONDITIONS THAT ARE ENCOUNTERED BY THE CONTRACTOR, THAT REQUIRE MODIFICATION OF DESIGN THAT ARE NOT BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT AT NO ADDITIONAL COST.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES INCLUDING, BUT NOT LIMITED TO SANITARY SEWER, STORM SEWER, DOMESTIC WATER, FIRE WATER, IRRIGATION WATER, GAS SERVICE, ELECTRICAL SERVICE, AND TELECOMMUNICATIONS. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS AND LOCATIONS ARE ACHIEVED AS WELL AS COORDINATING WITH THE GOVERNING UTILITY COMPANIES FOR APPROVAL OF UTILITY LOCATIONS AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- THE LOCATION OF EXISTING GAS AND ELECTRICAL MAINS ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT WITH PG&E FOR ADDITIONAL INFORMATION. ALL PROPOSED GAS AND ELECTRICAL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL AND STATE CODES AND ORDINANCES AND PG&E REQUIREMENTS. MINIMUM DEPTH OF COVER OVER ELECTRICAL, GAS AND TELECOMMUNICATIONS SHALL BE TWO FEET.

RECORD DRAWINGS:

- CONTRACTOR SHALL KEEP ACCURATE AS-BUILT DRAWINGS WHICH SHOW THE FINAL LOCATION, ELEVATION, AND DESCRIPTION OF WORK. CONTRACTOR SHALL ALSO NOTE THE LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS ENCOUNTERED. PROVIDE THE AS-BUILTS TO THE PROJECT ARCHITECT AT THE COMPLETION OF WORK.

STATEMENT OF RESPONSIBILITY:

- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- CONTRACTOR SHALL COMPLY WITH FEDERAL, STATE, COUNTY, AND JURISDICTION LAWS, REGULATIONS, AND ORDINANCES.

CONCRETE (SITE WORK):

- CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
- ALL EQUIPMENT FOR MIXING AND TRANSPORTING CONCRETE SHALL BE CLEAN.
- FORMS SHOULD BE PROPERLY COATED WITH CONCRETE FORM RELEASE AGENT.
- ALL LANTACE AND OTHER UNSOUND MATERIAL SHALL BE REMOVED BEFORE ADDITIONAL CONCRETE IS PLACED AGAINST HARDENED CONCRETE.
- CONCRETING SHALL BE CARRIED ON AT SUCH RATE THAT CONCRETE IS AT ALL TIMES PLASTIC AND FLOWS READILY INTO SPACES BETWEEN REINFORCEMENT.
- CONCRETE THAT HAS PARTIALLY HARDENED OR BEEN CONTAMINATED BY FOREIGN MATERIALS SHALL NOT BE DEPOSITED IN THE STRUCTURE.
- CONCRETE NORMAL WEIGH READY MIX CONFORMING TO CBC STANDARD 6-13-8 DEVELOPING COMPRESSIVE STRENGTH AT 28 DAYS.
- ALL CONCRETE SHALL BE MIXED, FORMED AND PLACED ACCORDING TO THE A.C.I. CODE AND 2016 CBC.
- CEMENT FOR CONCRETE SHALL BE A STANDARD BRAND "PORTLAND CEMENT," MEETING THE REQUIREMENTS OF ASTM C150.
- AGGREGATES FOR CONCRETE SHALL MEET THE REQUIREMENTS OF ASTM C33.
- CONCRETE MIX SHALL BE DESIGNED BY AN APPROVED TESTING LABORATORY OR SHALL CONFORM TO MIX DESIGN REQUIREMENTS ESTABLISHED BY THE 2016 CBC.
- BEFORE CONCRETE IS POURED, CHECK WITH ALL TRADES FOR PROPER PLACEMENT OF SLEEVES, CONDUITS, ETC.
- ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL NOT FALL MORE THAN 1.8 M (6 FEET) (GREEN BOOK - STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION)

GRADING NOTES:

- ALL WORK SHALL CONFORM TO RECOMMENDATIONS SPECIFIED IN THE SOIL ENGINEERING INVESTIGATION.
- THE CONTRACTOR OR ANY SUBCONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT ONE CALL PROGRAM 48 HOURS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER 800-227-2600. EXCAVATION IS DEFINED AS BEING 18 OR MORE INCHES IN DEPTH BELOW THE EXISTING GROUND.
- EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY, BETWEEN OCTOBER 15 AND APRIL 15.
- ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.
- CONTRACTOR SHALL NOTIFY THE JURISDICTION 48 HOURS PRIOR TO THE INTENTION TO COMMENCE WORK.
- A COPY OF ALL FIELD REPORTS/COMPACTION TESTS, AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE JURISDICTION AT SCHEDULED INSPECTIONS.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN THREE HORIZONTAL TO ONE VERTICAL PER GEOTECHNICAL REPORT.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET (3048 MM) MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET (3048 MM) OF HORIZONTAL DISTANCE A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING. ALL GRADING SHALL BE CONTOURED TO KEEP STORM DRAINAGE ON THE LOT OF ORIGIN.
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE GROUND AND UNDERGROUND AS NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- CONTRACTOR TO CONTACT GEOTECHNICAL/SOILS ENGINEER AT LEAST 5 DAYS PRIOR TO COMMENCEMENT OF GRADING WORK, OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER/SOILS ENGINEER.
- CONTRACTOR SHALL SUPPLY ALL EQUIPMENT, LABOR AND MATERIALS NECESSARY TO PERFORM THE WORK SHOWN ON THIS PLAN.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND SHALL NOTIFY THE ENGINEER OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- ANY DISCREPANCIES OR OMISSIONS FOUND IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. THE DESIGN ENGINEER WILL CLARIFY DISCREPANCIES OR OMISSIONS, IN WRITING, WITHIN A REASONABLE TIME.
- CONTRACTOR SHALL MINIMIZE THE VOLUME OF RECYCLABLE MATERIALS SENT TO AREA LANDFILLS.
- THE EXPORTED SOILS FROM THIS SITE SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION ACCEPTABLE TO THE JURISDICTION FOLLOWING THE REQUIREMENTS OF ALL APPLICABLE CITY, STATE, AND FEDERAL LAWS OR ORDINANCES.
- SOIL COMPACTION SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE SOILS REPORT.
- RETAINING WALLS REQUIRE A SEPARATE BUILDING PERMIT.
- PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL.
- A STATE LICENSED SURVEYOR SHALL VERIFY THE LOCATION OF THE FOUNDATION ON THE LOT PRIOR TO CITY FOOTING/FOUNDATION INSPECTION. SURVEYOR'S DOCUMENTATION SHALL BE PROVIDED AT TIME OF CITY INSPECTION.
- A STATE LICENSED SURVEYOR SHALL VERIFY THE BUILDING HEIGHT PRIOR TO CITY ROOF FRAMING INSPECTION. SURVEYOR'S DOCUMENTATION SHALL BE PROVIDED AT TIME OF CITY INSPECTION.
- A PRE-CONSTRUCTION SITE MEETING INCLUDING THE CONTRACTOR, DESIGNER, BUILDING INSPECTOR, AND ENVIRONMENTAL COMPLIANCE MANAGER SHALL BE SCHEDULED AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON THE PROJECT.

DRAINAGE NOTES:

- SD PIPES SHALL BE 6-INCH SDR-35 TYPE. FOUNDATION DRAINS SHALL BE 4-INCH SDR-35 TYPE.
- DI'S SHALL BE CHRISTY V24 OR APPROVED EQUIVALENT, UNLESS OTHERWISE NOTED.
- DRAIN INLET GRATES TO BE SPECIFIED BY ARCHITECT.
- DOWNSPOUT LOCATIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
- CONTRACTOR SHALL INSTALL CLEANOUTS AT ENDS AND BENDS WHERE APPLICABLE.

SOILS ENGINEER INSPECTION NOTES:

- THE GENERAL CONTRACTOR SHALL HAVE THE SOILS REPORT ONSITE AS PART OF THE CONSTRUCTION CONTRACT DOCUMENTS. THE RECOMMENDATION IN THE SOILS REPORT SHALL APPLIED TO THE PROJECT BY THE GENERAL CONTRACTOR.
- THE SOILS ENGINEER SHALL REVIEW AND APPROVE THE GRADING, DRAINAGE, AND FOUNDATION PLANS PRIOR TO CONSTRUCTION. PROVIDE A SIGNED AND SEALED LETTER FROM THE SOILS ENGINEER ATTESTING TO HIS/HER APPROVAL OF THE REFERENCED PLANS.
- GEOTECHNICAL ENGINEERS SHALL PROVIDE DETERMINATION OF RE-COMPACTION FOR LOOSE SOIL CONDITIONS.
- GEOTECHNICAL ENGINEER SHALL DETERMINE DEPTH OF ANY NECESSARY SUB-EXCAVATION.
- GRADING, FILLING, COMPACTION OPERATIONS, AND FOUNDATION EXCAVATIONS SHALL BE INSPECTED AND TESTED BY GEOTECHNICAL ENGINEER.
- UTILITY TRENCH BACKFILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO USE AS TRENCH BACKFILL.

LEGEND & ABBREVIATIONS:

---	PROPERTY LINE
---129---	CONTOUR
┌128.54	SPOT GRADE
└AD	AREA DRAIN
CO	CLEANOUT
DI	DRAIN INLET
DS	DOWNSPOUT
(E)	EXISTING
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
⊕	DRAIN INLET
~	SURFACE FLOW
TW	TOP OF WALL
BW	BOTTOM OF WALL
⊙	TREE
TD	TRENCH DRAIN
HP	HIGH POINT

PROJECT INFORMATION:

PROJECT NAME:	RAINEY RESIDENCE
PROJECT ADDRESS:	LINCOLN STREET, 5 SW OF 10TH AVE CARMEL-BY-THE-SEA, CA 93923
APN:	010-082-004
PURPOSE OF GRADING:	NEW SINGLE FAMILY DWELLING

BENCHMARK:

SET MAG NAIL & WASHER STAMPED "CENTRAL COAST SURVEYORS" IN AC PAVEMENT; ELEV 146.00 (~NAVDB8)

GEOTECHNICAL REPORT:

ALL WORK TO COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED BY BUTANO GEOTECHNICAL ENGINEERING INC

CIVIL SHEET INDEX:

SHEET	DESCRIPTION
C0.1	PROJECT INFORMATION & NOTES
C1.0	GRADING & DRAINAGE PLAN
C1.1	LOWER LEVEL DRAINAGE PLAN
C2.0	SECTIONS & DETAILS
C3.0	EROSION & SEDIMENT CONTROL (1 OF 2) / GRADING & OPERATION PLAN
C3.1	EROSION & SEDIMENT CONTROL (2 OF 2)

QUANTITIES:

GRADING	CUT (CY)	FILL (CY)
FOUNDATION FOR NEW SFD	464	0
SITE WORK	13	28
PROPERTY AREA	7,000 SF (0.16 ACRE)	
SITE DISTURBANCE	4,800 SF (0.11 ACRE)	

CARMEL-BY-THE-SEA CIVIL DRAWING MATRIX/CHECKLIST:

PLANS STAMPED AND SIGNED	SHEET
NORTH ARROW AND SCALE	SHEET C0.1, C1.0, C1.1, C2.0, C3.0, C3.1
TITLE BLOCK	SHEET C0.1, C1.0, C1.1, C2.0, C3.0, C3.1
LOT LINES AND RIGHT OF WAY	SHEET C1.0
LOCATIONS OF STRUCTURES ON SITE	SHEET C1.0
LOCATIONS OF STRUCTURES ON ADJACENT LOTS	SHEET C1.0
LOCATIONS OF UTILITY POLES, VAULTS, ETC.	SHEET C1.0
LOCATIONS OF DRIVEWAYS	SHEET C1.0
EROSION/DRAINAGE CONTROL PLAN/BMPS	SHEET C1.2
FINAL GRADING/DRAINAGE PLAN	SHEET C1.0
WATER QUALITY MITIGATION PLAN	SHEET C1.0
RUN-OFF CONTROL PLAN	SHEET C1.0

BENJAMINI INC CIVIL ENGINEERS
 720 YORK STREET, STE 114 SAN FRANCISCO, CA 94110
 415.650.2600
 BENJAMINI.COM

RAINEY RESIDENCE

DESIGNER: JOBE CORRAL ARCHITECTS
 4201 CORRAL VAL
 565 W. 38TH ST. STE B
 AUSTIN, TX 78705
 512.499.1591

STRUCTURAL ENGINEER: DAVID STRANDBERG
 1511 15TH STREET
 SAN FRANCISCO, CA 94103
 415.779.8726/4101

ENERGY CONSULTANT: MONTEREY ENERGY GROUP
 1405 RYAN STREET
 SAN FRANCISCO, CA 94110
 415.779.8726

CONTRACTOR: STOCKER & ALLARE
 DAVID STOCKER
 21 MANDEVILLE COURT
 MONTEREY, CA 93940
 831.375.1900

CIVIL ENGINEER: BENJAMINI, INC
 AVI BENJAMINI
 720 YORK ST #114
 SAN FRANCISCO, CA 94110
 415.950.2600

LANDSCAPE ARCHITECT: JMLA
 JESSICA M. NEARSEY
 3345 7TH AVE
 SAN FRANCISCO, CA 93923
 734.909.9152

LIGHTING DESIGNER: STUDIO LUMINA
 CHRISTINA BROWN
 9411 CHARLES EDGEM STREET
 AUSTIN, TX 78729
 512.382.1659

NOTES:
 100'-0" = 13'-0" AFBV SEA LEVEL

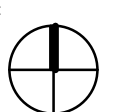
LEGEND:

ISSUE:
 01.29.2021 CONCEPT PROJECT REVIEW

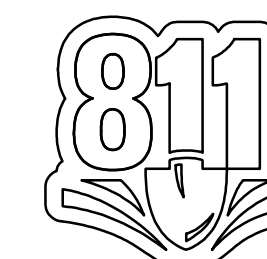
PROJECT: RAINY RESIDENCE
 LINCOLN 5 SW OF 10TH
 CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:
 010-082-004
 20021

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NORTH:  SCALE: AS SHOWN
 1/8"
 DRAWN BY:

PROJECT INFORMATION & NOTES



CALL BEFORE YOUR DIG

C0.1

DESIGNER: JOBE CORRAL ARCHITECTS
ADRIAN CORRAL, AIA
565 W. 38TH ST. STE B
AUSTIN, TX 78705
512.499.1591

STRUCTURAL ENGINEER: STRANDBERG ENGINEERING INC
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ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC.
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CONTRACTOR: STOCKER & ALLARE
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21 MANDEVILLE COURT
MONTEREY, CA 93940
831.375.1900

CIVIL ENGINEER: BENJAMINI, INC
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LANDSCAPE ARCHITECT: JMLA
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LIGHTING DESIGNER: STUDIO LUMINA
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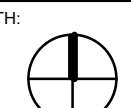
NOTES:
100'-0" = 137'-6" AFBV SEA LEVEL

LEGEND:

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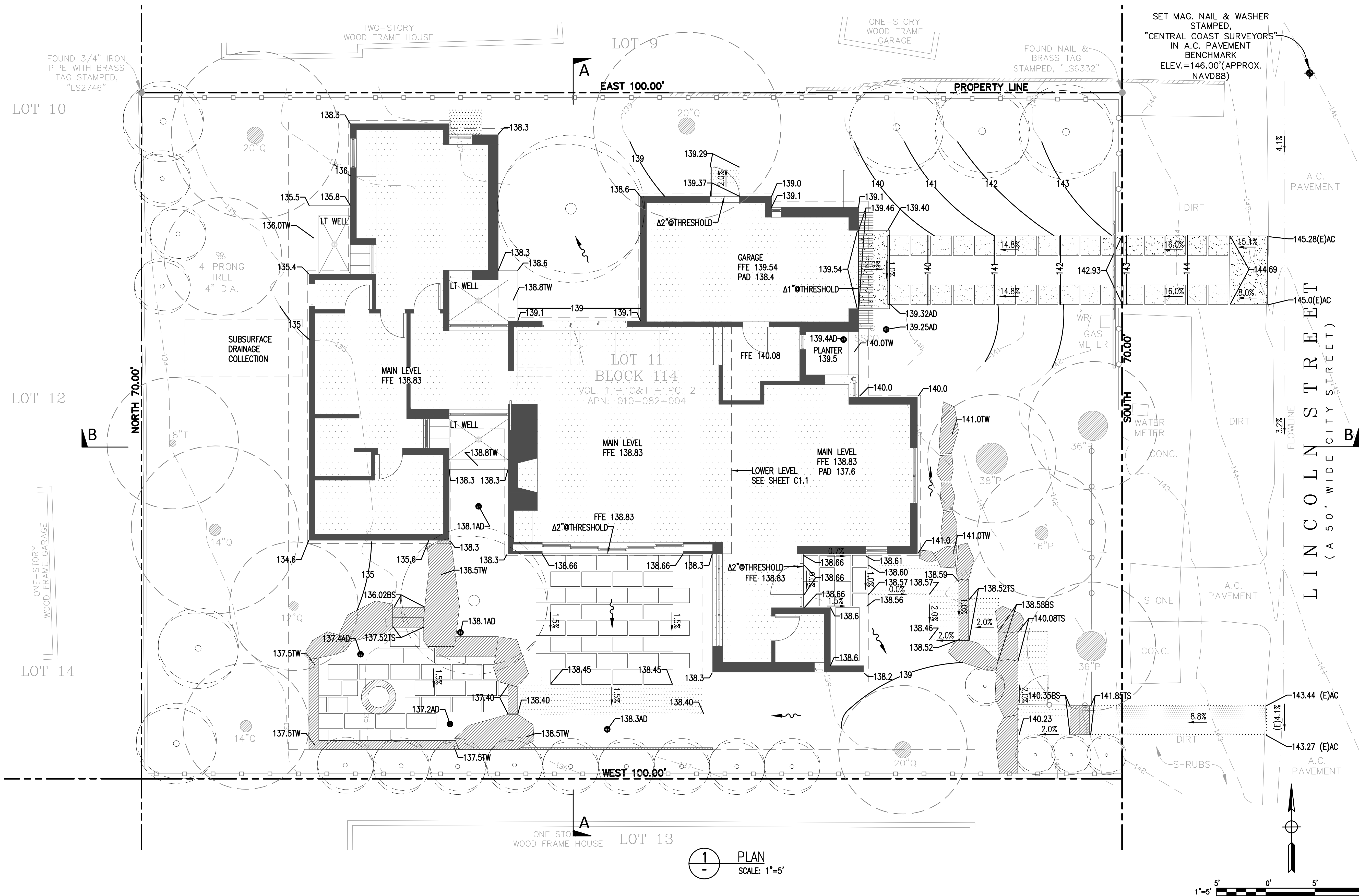
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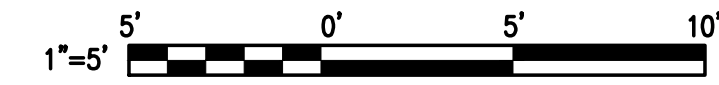
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GRADING & DRAINAGE PLAN

C1.0



1 PLAN
SCALE: 1"=5'



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CARMEL-BY-THE-SEA, CA 93923

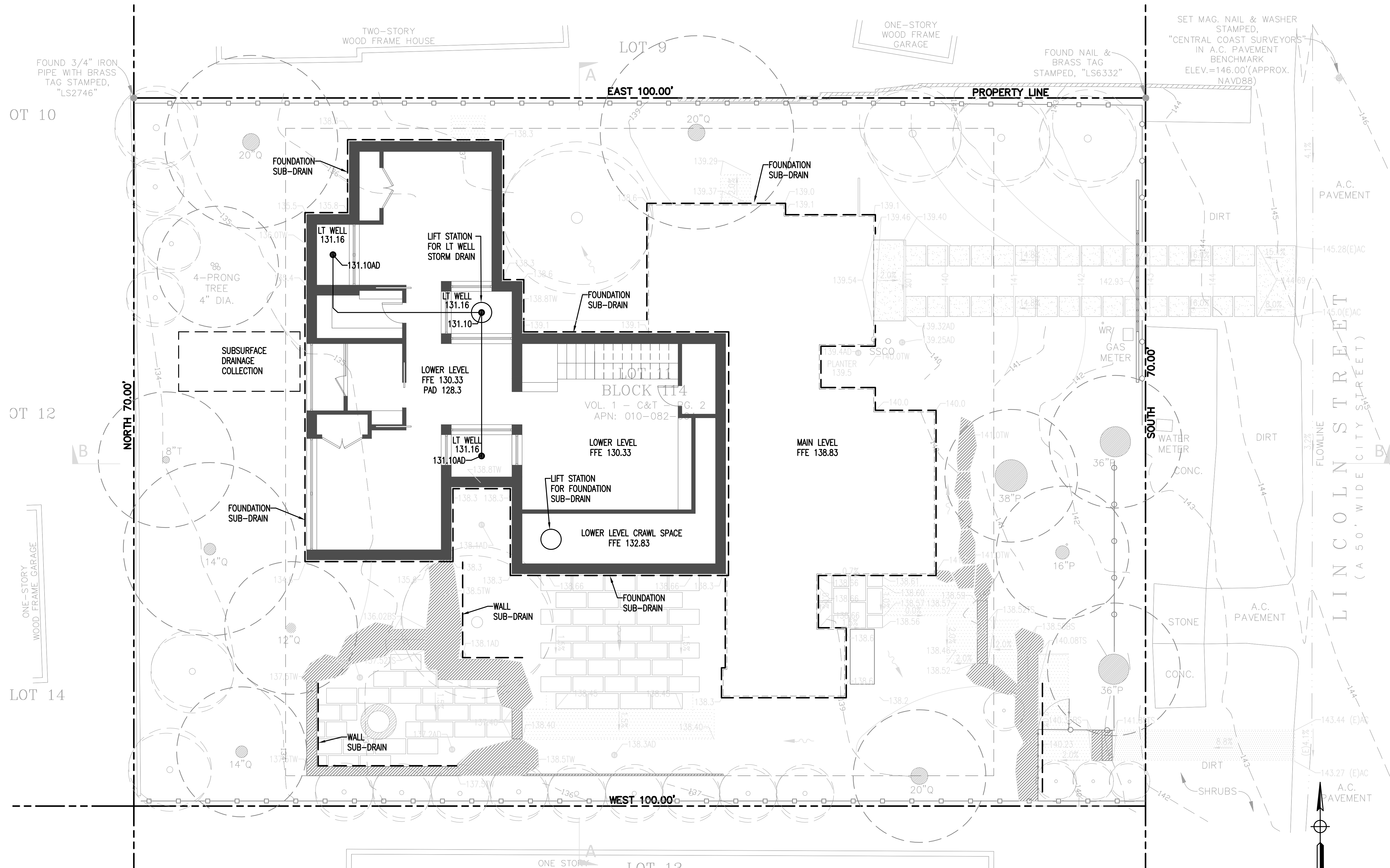
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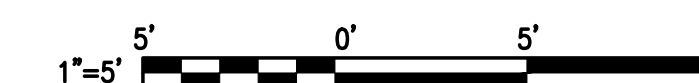
NORTH:  SCALE: AS SHOWN
1/8" DRAWN BY:

LOWER LEVEL DRAINAGE PLAN

C1.1



1 PLAN
SCALE: 1"=5'



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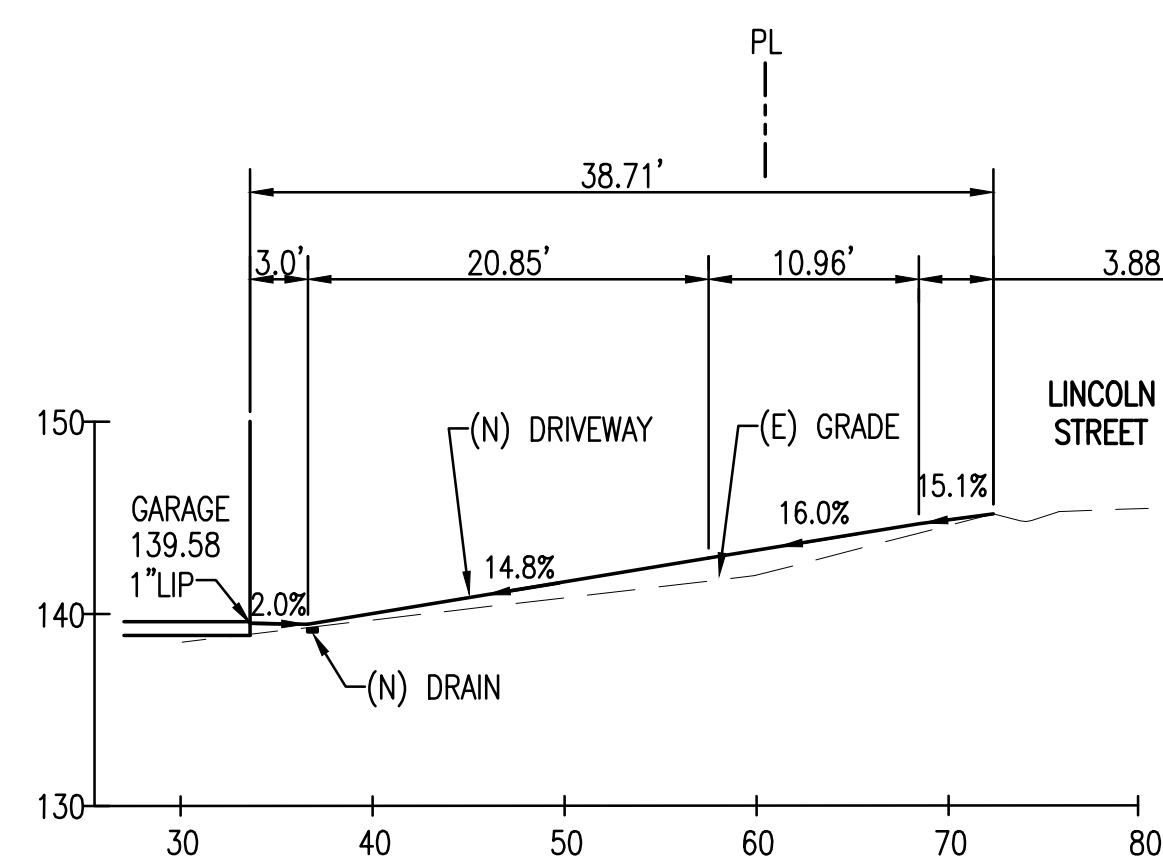
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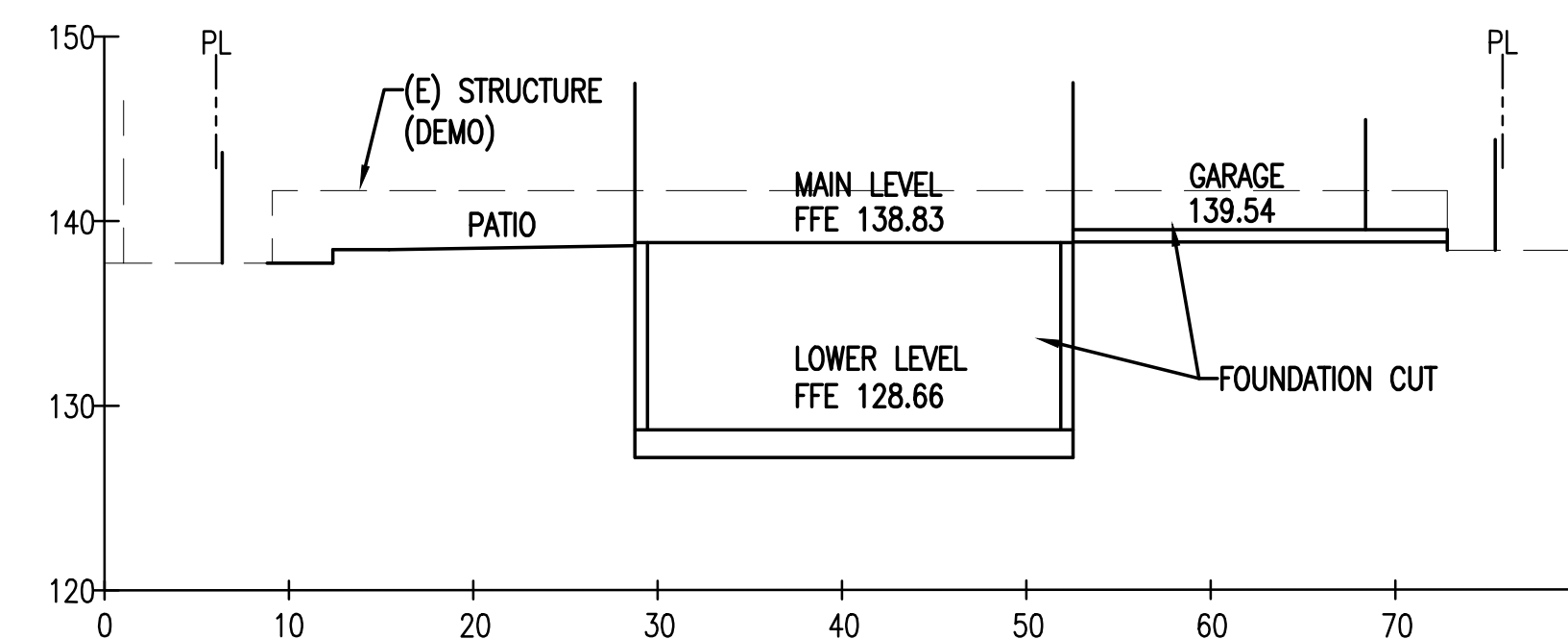
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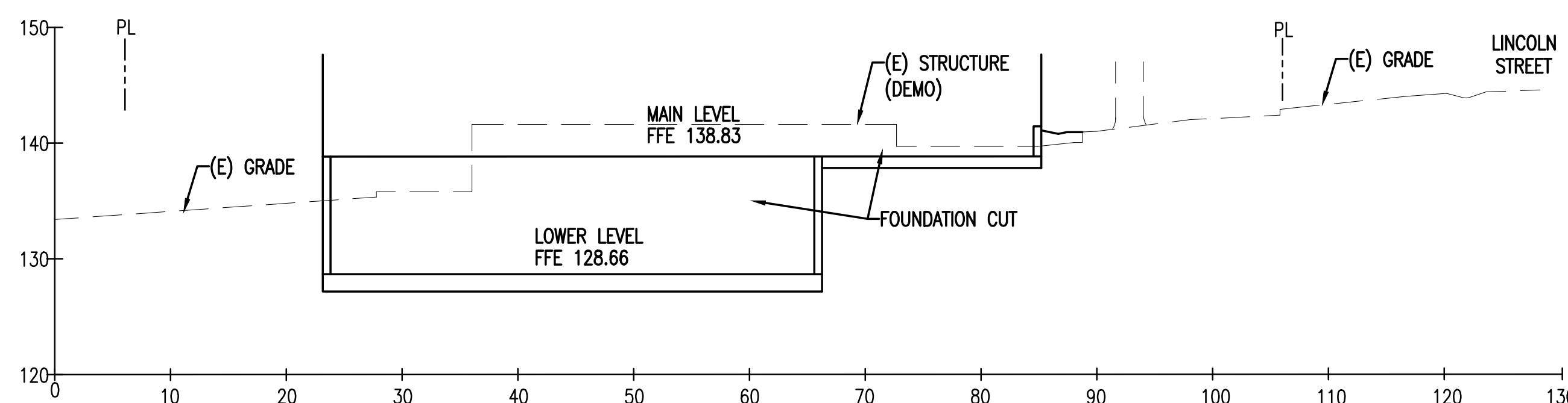
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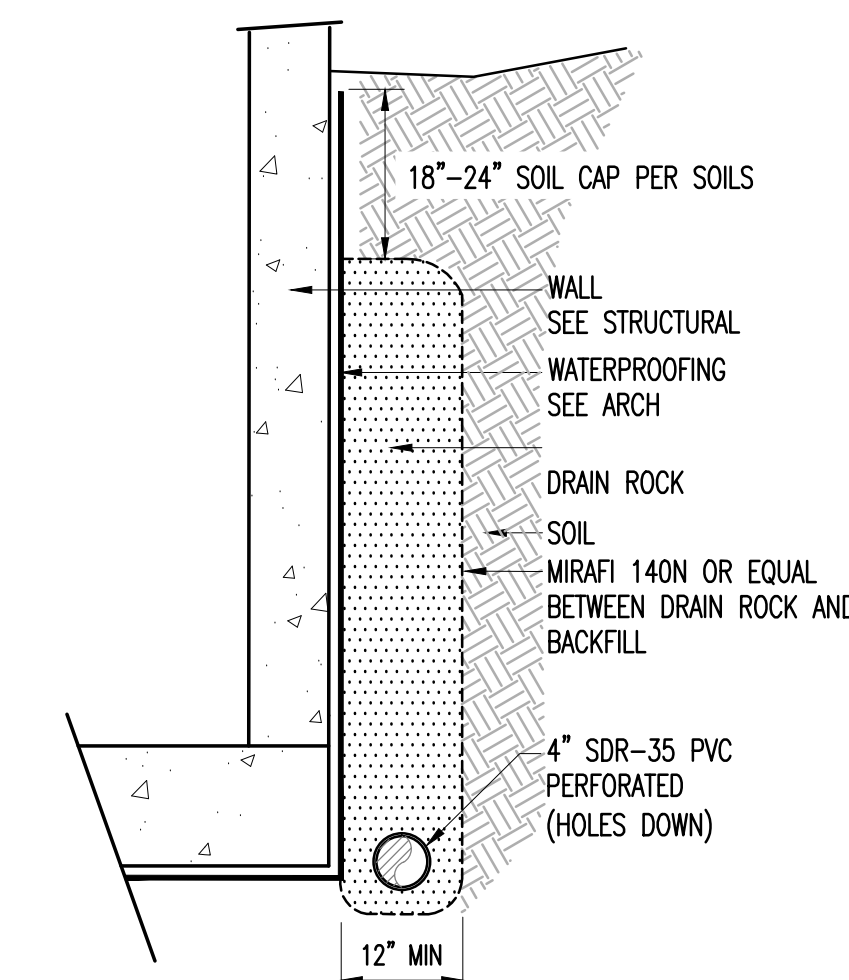
3
-
DRIVEWAY PROFILE
SCALE: H:V: 1"=10'



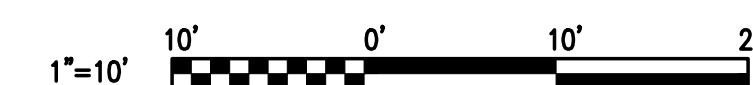
2
-
SECTION B-B
SCALE: H:V: 1"=10'



1
-
SECTION A-A
SCALE: H:V: 1"=10'



4
-
FOUNDATION SUB-DRAIN
NOT TO SCALE



LEGEND:

ISSUE	DATE	DESCRIPTION
01.29.2021	CONCEPT PROJECT REVIEW	

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RAINEY RESIDENCE
LINCOLN 5 SW OF 10TH
CARMEL-BY-THE-SEA, CA 93923

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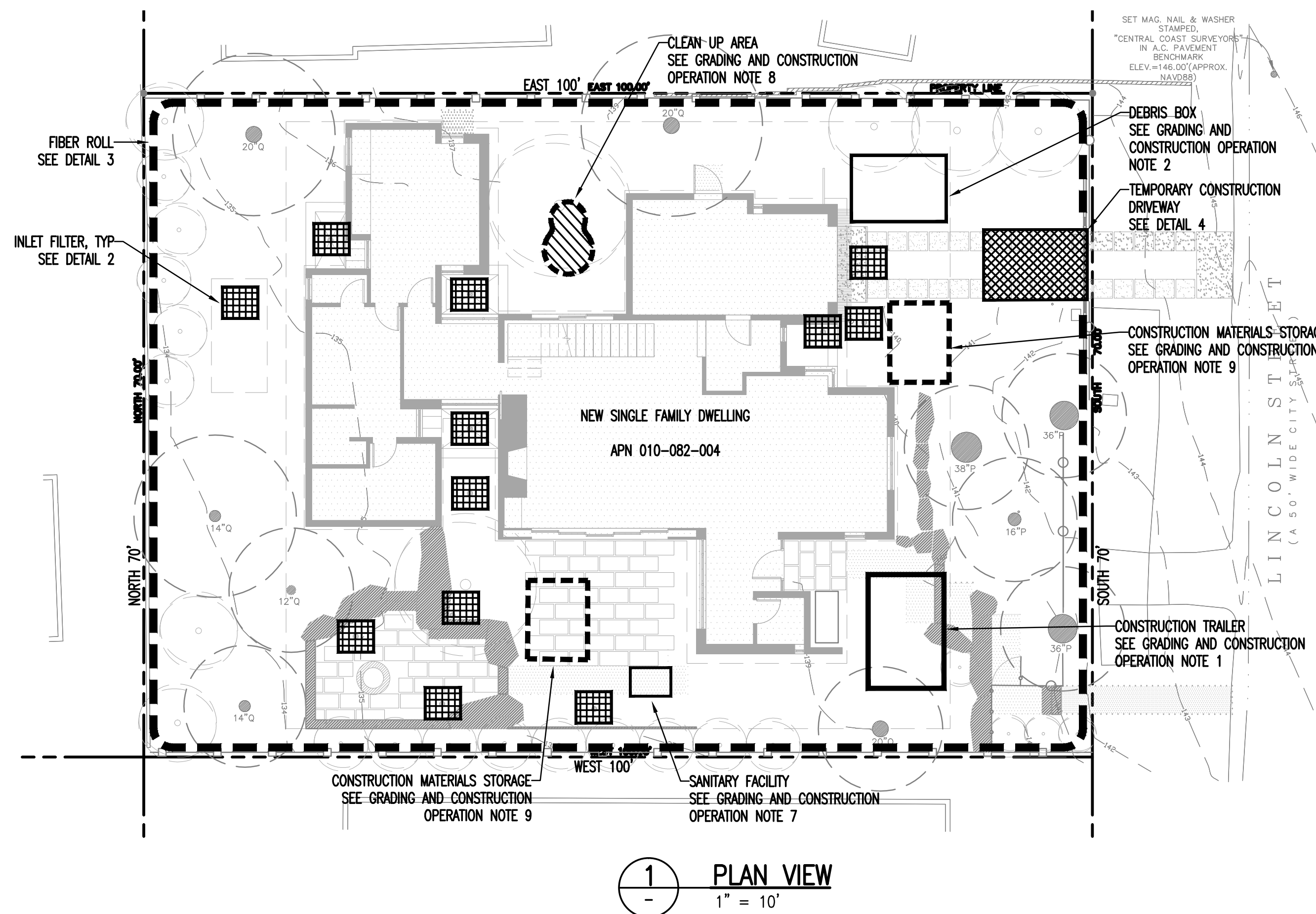
SCALE: AS SHOWN
1/8"
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SECTIONS & DETAILS

C2.0

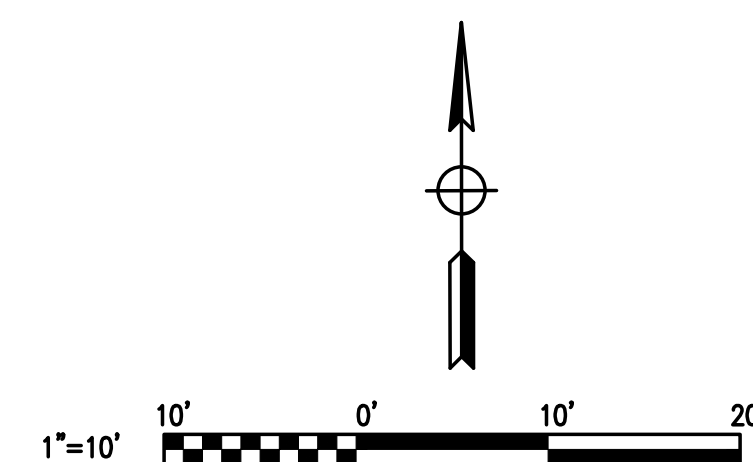
EROSION AND SEDIMENT CONTROL NOTES:

- ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.
- STABILIZE ALL GRADED AREAS WITH VEGETATION, CRUSHED STONE, RIPRAP, OR OTHER GROUND COVER AS SOON AS GRADING IS COMPLETED OR IF WORK IS INTERRUPTED FOR 14 WORKING DAYS OR MORE. USE MULCH TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING MUST BE DELAYED.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE STABILIZED TO PREVENT EROSION AND SEDIMENTATION.
- ALL DISTURBED SURFACES MUST BE PROTECTED FROM EROSION. ALL YEAR ROUND, EROSION CONTROL MEASURES MUST BE IN PLACE AND CONTINUOUSLY MAINTAINED. DISTURBANCE OF SURFACE VEGETATION DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE BY START OF CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. CONDITIONS OF EPCP SHALL BE FOLLOWED AT ALL TIMES, YEAR AROUND. REFER TO EROSION CONTROL PLANS/DETAILS FOR ADDITIONAL REQUIREMENTS.
- ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AS NECESSARY AT THE END OF EACH WORKING DAY OR AFTER SIGNIFICANT RAIN.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND RESTORATION OF ALL ASPECTS OF THE EROSION CONTROL PLAN. SEDIMENT ON THE SIDEWALKS AND GUTTERS SHALL BE REMOVED BY SHOVEL OR BROOM AND DISPOSED APPROPRIATELY.
- ALL EMPLOYEES, CONTRACTORS, AND SUBCONTRACTORS ARE RESPONSIBLE FOR CONFORMING TO THE ELEMENTS SHOWN ON THIS PLAN AND RELATED DOCUMENTS.
- CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION.
- ALL DUMPSTERS OR OTHER TRASH STORAGE ENCLOSURES SHALL BE UTILIZED SOLELY FOR NON-HAZARDOUS MATERIALS.
- DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS, THE SITE SHALL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAIN SYSTEM. THESE PLANS SHALL REMAIN IN EFFECT UNTIL THE IMPROVEMENTS ARE ACCEPTED BY THE JURISDICTION AND ALL SLOPES ARE STABILIZED.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE JURISDICTION.
- REMOVE SPOILS PROMPTLY AND AVOID STOCKPILING OF FILL MATERIALS WHEN RAIN IS FORECAST. IF RAIN IS FORECAST OR APPARENT, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH PLASTIC OR A TARP, AT THE REQUEST OF THE JURISDICTION.
- STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES SO AS TO PREVENT THEIR ENTRY INTO THE STORM DRAIN SYSTEM. CONTRACTOR MUST NOT ALLOW CONCRETE, WASHWATERS, SLURRIES, PAINT OR OTHER MATERIALS TO ENTER THE CATCH BASINS, STORM DRAINAGE, OR ENTER SITE RUNOFF.
- NO CLEANING, FUELING OR MAINTAINING VEHICLES ON SITE SHALL BE PERMITTED TO ALLOW DELETERIOUS MATERIALS FROM ENTERING THE CATCH BASINS, STORM DRAINAGE, OR ENTER SITE RUNOFF.
- CONTRACTOR SHALL BE RESPONSIBLE FOR STREET SWEEPING TO KEEP DUST, SOIL, AND OTHER CONSTRUCTION DEBRIS FROM LEAVING PROJECT SITE.
- CONTRACTOR WILL PROVIDE AND MAINTAIN A CAL-TRANS APPROVED CONCRETE WASH OUT. CONTRACTOR WILL PROVIDE AND MAINTAIN ACCESS TO WASH OUT FACILITIES.
- CONTRACTOR SHALL SUSPEND EXCAVATION AND GRADING ACTIVITY WHEN WINDS (INSTANTANEOUS GUSTS) EXCEED 25 MPH.
- CONTRACTOR SHALL INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC RIGHT-OF-WAYS.
- CONTRACTOR SHALL SWEEP STREETS DAILY WITH WATER SWEEPERS, IF VISIBLE AMOUNTS OF SOIL MATERIAL ARE CARRIED ONTO PUBLIC STREETS.
- CONTRACTOR SHALL PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES, TO MINIMIZE DUST POLLUTION.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING AFILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT (CBC 1705.6)
- ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCT 15 THROUGH APRIL 15)
- NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION (CMC TITLE 17).
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS (MCC 16.08.340).
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION (MCC 16.12.100).
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15.
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY (CMC TITLE 15).
- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH CITY OF CARMEL ENVIRONMENTAL COMPLIANCE MANAGER AND BUILDING INSPECTOR TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH CITY OF CARMEL EROSION CONTROL AND GRADING REGULATIONS.
- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH CARMEL BUILDING SAFETY DIVISION AND ENVIRONMENTAL COMPLIANCE MANAGER TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPS INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- SUFFICIENTLY WET THE STRUCTURE PRIOR TO DECONSTRUCTION OR DEMOLITION. CONTINUE WETTING AS NECESSARY DURING ACTIVE DECONSTRUCTION OR DEMOLITION AND THE DEBRIS.
- DEMOLISH THE STRUCTURE INWARD TOWARD THE BUILDING PAD. LAY DOWN ROOF AND WALLS SO THAT THEY FALL INWARD AND NOT AWAY FROM THE BUILDING.
- COMMENCEMENT OF DECONSTRUCTION OR DEMOLITION ACTIVITIES SHALL BE PROHIBITED WHEN THE PEAK WIND SPEED EXCEEDS 15 MILES PER HOUR. ALL AIR DISTRICT STANDARDS SHALL BE ENFORCED BY THE AIR DISTRICT.



GRADING AND CONSTRUCTION OPERATION NOTES:

- IF JOB TRAILER IS TO BE UTILIZED, IT MUST BE LOCATED WITHIN THE PROPERTY OUTSIDE OF SETBACKS OR OUTSIDE WITH APPROVAL FROM THE JURISDICTION.
- DEBRIS BOX SHALL BE PLACED ONSITE FOR COLLECTION OF CONSTRUCTION DEBRIS. GC TO MAKE DEBRIS BOX SERVICE ARRANGEMENTS.
- CONSTRUCTION FENCING WILL ONLY BE UTILIZED FOR TREE PROTECTION.
- AT NO TIME SHALL THE STREET BE CLOSED OR BLOCKED. FLAGMEN SHALL BE USED AT ALL TIMES WHEN DELIVERIES OR CONSTRUCTION RESTRICT ANY PORTION OF THE RIGHT OF WAY.
- ALL CONSTRUCTION PARKING SHALL BE LOCATED ON-SITE. PLACE FIBER ROLLS AROUND, COVER DURING INCLEMENT WEATHER WITH TARP OR OTHER.
- THE SITE SHALL HAVE A TEMPORARY CONSTRUCTION DRIVEWAY OF BASE ROCK OR ALTERNATE MATERIAL APPROVED BY THE ENGINEERING DEPARTMENT BEGINNING AT THE EDGE OF PAVEMENT AND EXTENDING A MINIMUM OF 100 FEET TO REDUCE DUST AND MUD TRACKING. SIGNS, DELINEATORS, AND FLAG PERSONS SHALL BE AVAILABLE ON-SITE IF NECESSARY. IF THE PROJECT SITE IS LOCATED ADJACENT TO A TOWN PATHWAY, THE CONSTRUCTION ACCESS SHALL BE LIMITED TO A SINGLE DRIVEWAY FOR SAFETY PURPOSES. THE REMAINING FRONTAGE MAY REQUIRE TEMPORARY CONSTRUCTION FENCING TO RESTRICT ADDITIONAL ACCESS POINTS.
- THE TEMPORARY SANITARY FACILITIES SHALL BE PLACED OUT OF VIEWS OF ADJACENT NEIGHBORING PROPERTIES. THE FACILITIES SHALL BE ABLE TO BE ACCESSED FROM A PAVED OR ROCKED ROAD OR DRIVEWAY. THE SANITARY FACILITIES MAY NOT BE LOCATED IN THE PUBLIC RIGHT OF WAY.
- WHEN ON-SITE CLEANING OF EQUIPMENT IS REQUIRED FOR CEMENT FORMS AND TRUCKS, PAINT BRUSHES, PLASTERING TOOLS, AND SUCH, THEN A CLEAN-UP AREA MUST BE SPECIFIED AND POSTED WITH A SIGN. THIS AREA MUST NOT BE LOCATED BENEATH ANY TREE'S CANOPY OR IN ANY PROPOSED PLANTING AREA. RUNOFF FROM THE CLEAN-UP AREA CAN BE CONTAINED BY PROVIDING A TEMPORARY BASE OF WOOD CHIPS OR OTHER NATURAL ABSORBENT MATERIAL TO BE DISPOSED OF OFF-SITE.
- CONSTRUCTION MATERIALS STORAGE AREA SHALL NOT BE LOCATED WITHIN THE DRIPLINES OF TREES.
- WATER SHALL BE AVAILABLE ON-SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS.
- CITY WORK HOURS: 8:00 AM TO 6:30 PM MONDAY THRU SATURDAY
- NO HAULING OR HEAVY EQUIPMENT PERMITTED ON SATURDAYS.
- NO WORK PERMITTED ON SUNDAYS OR HOLIDAYS.



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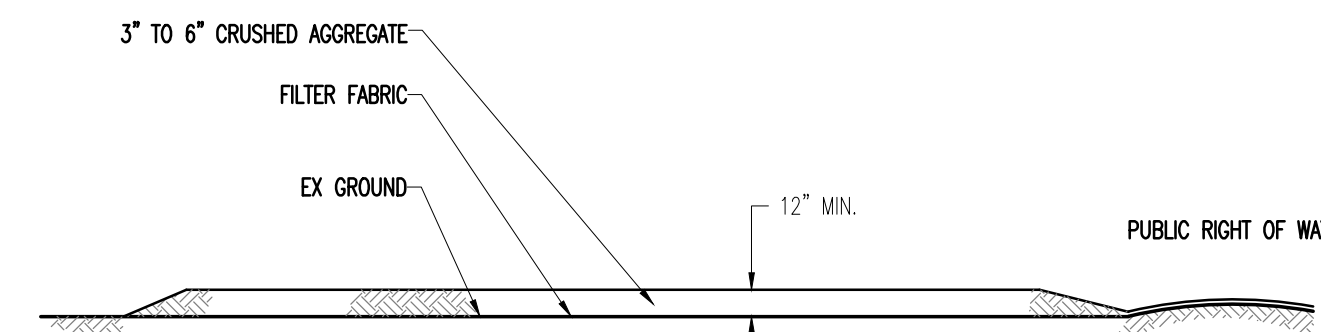
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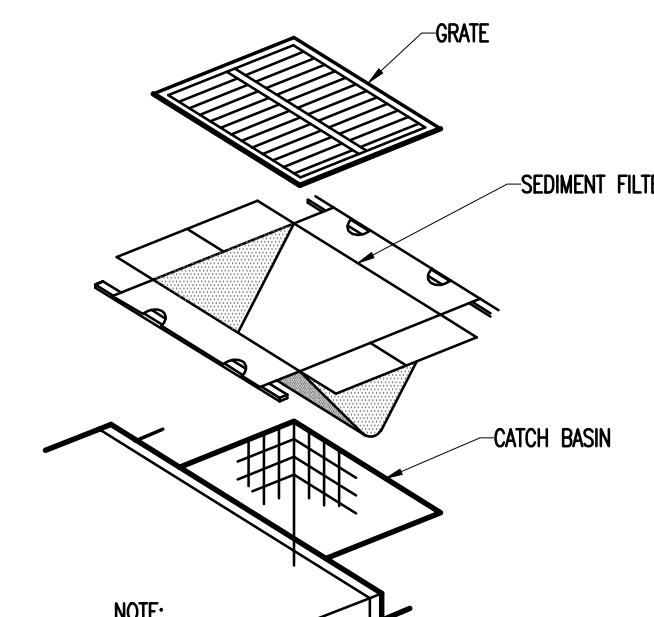
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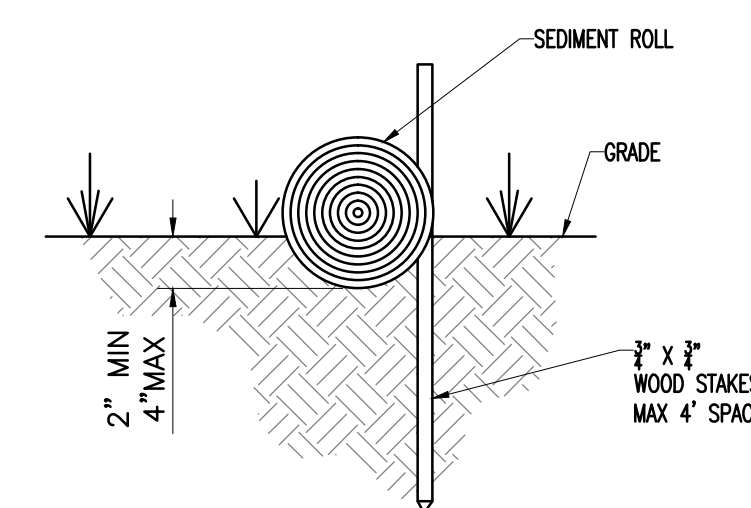


1 TEMPORARY CONSTRUCTION DRIVEWAY
NO SCALE



NOTE:
ROLL STOCK FILTER FABRIC MAY BE USED BY PLACING FABRIC OVER ENTIRE INLET AND WEIGH DOWN WITH GRAVEL BAGS

3 INLET FILTER
NO SCALE



NOTES:

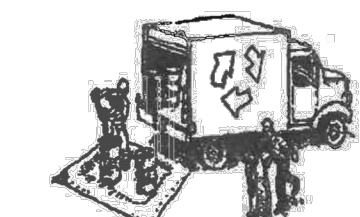
1. COIL ROLLS WRAPPED IN TUBULAR NETTING SUPPLIED IN 20'-25' ROLLS.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 2" TO 4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

2 FIBER ROLL
NO SCALE



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

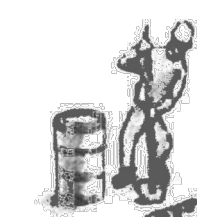
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



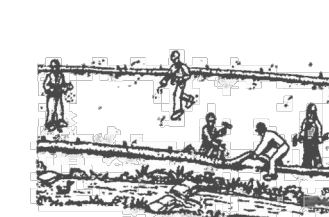
EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Do not hose down surfaces when fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.

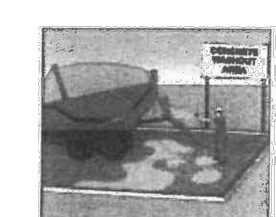


PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and remove or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

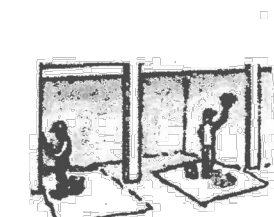


CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

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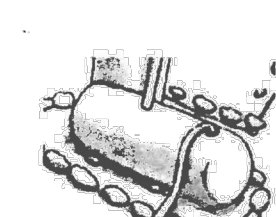
PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- Chemical paint stripping residue and chips and dust from masonry paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

ISSUE:

01.29.2021 CONCEPT PROJECT REVIEW

PROJECT:

RAINEY RESIDENCE

LINCOLN 5 SW OF 10TH

CARMEL-BY-SEA, CA 93923

PROJECT NUMBER:

010-082-004

DATE:

20221

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NORTH:

SCALE: AS SHOWN

1/8"

DRAWN BY:

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

*Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program.

EROSION & SEDIMENT CONTROL
(2 OF 2)
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