

CRI - RESIDENTIAL DEVELOPMENT

Lot #10 Guadalupe Street Carmel-by-the-Sea, CA 93921

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE
 MONTEREY, CA 93940
 PHONE (831) 375-0410 • FAX (831) 375-7940 • WEB: www.ericmillerarchitects.com

ARCHITECT

COVER SHEET
 DRAW NUMBER: **CRI - Residential House Lot #10**
 211 Hoffman Avenue
 Carmel-by-the-Sea, CA 93921
 A.P.N. 010-021-050

DATE:	5/5/23
SCALE:	N.T.S.
DRAWN:	JK/DM
405 NUMBER:	20-05

A-1
SHEET OF

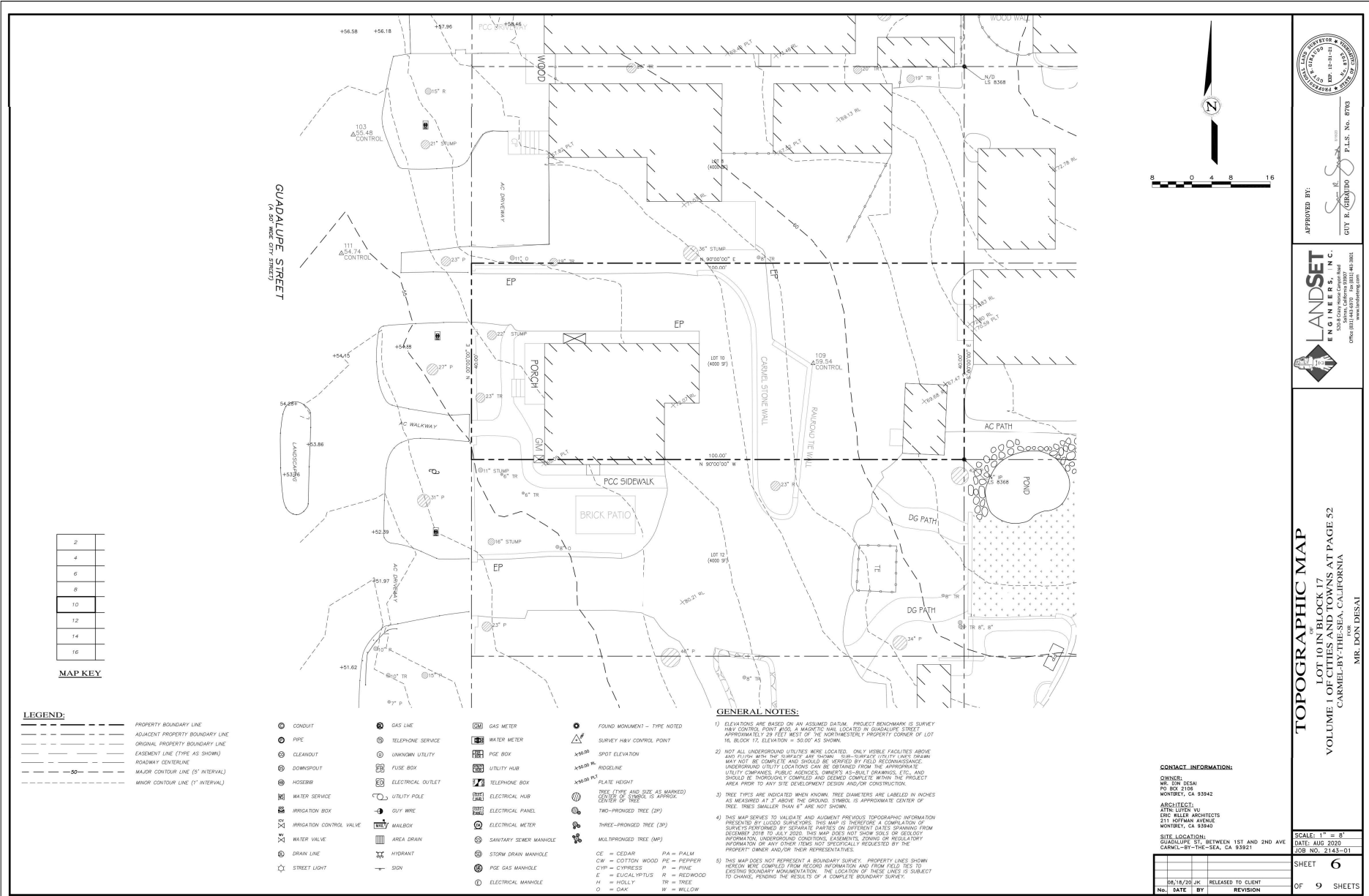
PROJECT DATA	PROJECT TEAM	SHEET INDEX																													
<p>ADDRESS: LOT #10 GUADALUPE STREET CARMEL-BY-THE-SEA, CA 93921</p> <p>PROJECT DESCRIPTION: CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING WITH ATTACHED GARAGE, CONSISTING OF: 142 S.F. MAIN FLOOR, 631 S.F. UPPER FLOOR, 227 S.F. GARAGE AND 200 S.F. BASEMENT.</p> <p>LOT SIZE: 4,000.0 S.F. ZONING: R1 A.P.N.: 010-021-030-000 TYPE OF CONSTRUCTION: (V-B)</p> <p>SETBACK</p> <p>FRONT 15' REAR 15' SIDE 25% OF LOT WIDTH + 10' MAX.</p> <p>BUILDING HEIGHT — ONE STORY PLATE HT. = 12.0' 2ND STORY PLATE HT. = 18.0' MAX ROOF HT. = 24.0'</p> <table border="1"> <thead> <tr> <th colspan="2">F.A.R. FLOOR AREA CALCULATIONS</th> </tr> </thead> <tbody> <tr> <td>MAIN FLOOR AREA</td> <td>921 S.F.</td> </tr> <tr> <td>GARAGE</td> <td>227 S.F.</td> </tr> <tr> <td>UPPER FLOOR AREA</td> <td>608 S.F.</td> </tr> <tr> <td>SUB-TOTAL</td> <td>1,756 S.F.</td> </tr> <tr> <td>MAX. FLOOR AREA ALLOWED</td> <td>1,800 S.F.</td> </tr> <tr> <td>AREA ALLOWED TOWARD BASEMENT</td> <td>1,800 - 1,756 = 44 S.F.</td> </tr> <tr> <td>BASEMENT FLOOR AREA (44 x 2)</td> <td>88 S.F.</td> </tr> <tr> <td>BASEMENT BONUS</td> <td>100 S.F.</td> </tr> <tr> <td>TOTAL</td> <td>1,944 S.F.</td> </tr> </tbody> </table> <p>PROJECT FLOOR AREA = 1,944 SF.</p>	F.A.R. FLOOR AREA CALCULATIONS		MAIN FLOOR AREA	921 S.F.	GARAGE	227 S.F.	UPPER FLOOR AREA	608 S.F.	SUB-TOTAL	1,756 S.F.	MAX. FLOOR AREA ALLOWED	1,800 S.F.	AREA ALLOWED TOWARD BASEMENT	1,800 - 1,756 = 44 S.F.	BASEMENT FLOOR AREA (44 x 2)	88 S.F.	BASEMENT BONUS	100 S.F.	TOTAL	1,944 S.F.	<p>OWNER: CRI ON CARPENTER, INC. HITESH DESAI - CEO 1240 MINAS AVENUE MONTEREY, CA 93940 PH: 510-858-2100</p> <p>ARCHITECT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVE. MONTEREY, CA 93940 PH: 831-375-0410 CONTACT: LUYEN VU</p> <p>SURVEYOR: LANDSET ENGINEERING 520-B CRAZY HORSE CANYON ROAD SALINAS, CA 93901 PH: 831-448-6410 CONTACT: GUY GIRAUDO</p> <p>LANDSCAPE: TOWN & COUNTRY GARDENING & LANDSCAPE 1702 BOX 228789 CARMEL, CA 93923 PH: 831-586-7600 CONTACT: ROBERT LUSTER</p> <p>CIVIL: LANDSET ENGINEERING 520-B CRAZY HORSE CANYON ROAD SALINAS, CA 93901 PH: 831-448-6410 CONTACT: GUY GIRAUDO</p>	<p>ARCHITECTURAL</p> <ul style="list-style-type: none"> A-1 TITLE SHEET / PROJECT DATA A-2 TOPOGRAPHIC SURVEY A-3 PRELIMINARY SITE ASSESSMENT PLAN A-3a EXISTING SITE PLAN A-3b PROPOSED SITE PLAN A-4 SITE SECTION A-5a BASEMENT PLAN A-5b MAIN FLOOR PLAN A-5c UPPER FLOOR PLAN A-5d MAIN FLOOR & UPPER FLOOR OVERLAY A-5e DOOR SCHEDULE A-5f WINDOW SCHEDULE A-6 FRONT & REAR ELEVATIONS A-7 SIDE ELEVATIONS A-8 STREETSCAPE ELEVATION A-9 ROOF PLAN A-10 FENCING ELEVATIONS A-11 MATERIAL SAMPLES A-12 COLOR RENDERINGS A-13a EXTERIOR LIGHTING PLAN A-13b EXTERIOR LIGHTING PLAN <p>LANDSCAPE</p> <ul style="list-style-type: none"> L1 LANDSCAPE PLAN L2 LANDSCAPE IRRIGATION & LIGHTING SPECS <p>CIVIL</p> <ul style="list-style-type: none"> C1 GRADING, DRAINAGE & UTILITY PLAN C2 GRADING SECTIONS C3 EROSION & SEDIMENT CONTROL PLAN C4 CONSTRUCTION MANAGEMENT PLAN 									
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<p>OWNERSHIP NOTES</p> <p>OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:</p> <ol style="list-style-type: none"> TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED. THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE. IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF, EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE. 	<p>SITE COVERAGE</p> <table border="1"> <tbody> <tr> <td>ALLOWED</td> <td>556.0 S.F.</td> </tr> <tr> <td>PROPOSED IMPERVIOUS COVERAGE</td> <td>36.0 S.F.</td> </tr> <tr> <td>PORCHES</td> <td>18.0 S.F.</td> </tr> <tr> <td>LANDINGS</td> <td>36.0 S.F.</td> </tr> <tr> <td>SITE WALLS</td> <td>32.0 S.F.</td> </tr> <tr> <td>MISC. HARDSCAPE</td> <td>122.0 S.F.</td> </tr> <tr> <td>TOTAL IMPERVIOUS COVERAGE</td> <td>122.0 S.F.</td> </tr> <tr> <td>PROPOSED PERVIOUS COVERAGE</td> <td>212.0 S.F.</td> </tr> <tr> <td>DRIVEWAY</td> <td>68.0 S.F.</td> </tr> <tr> <td>STEPPING STONES & WALKWAYS</td> <td>N.A.</td> </tr> <tr> <td>BUILDING OVERHANGS</td> <td>280.0 S.F.</td> </tr> <tr> <td>TOTAL PERVIOUS COVERAGE</td> <td>280.0 S.F.</td> </tr> <tr> <td>TOTAL PROPOSED SITE COVERAGE</td> <td>402.0 S.F.</td> </tr> </tbody> </table> <p>ROOF DECK</p> <table border="1"> <tbody> <tr> <td>ROOF DECK</td> <td>125 S.F.</td> </tr> </tbody> </table>	ALLOWED	556.0 S.F.	PROPOSED IMPERVIOUS COVERAGE	36.0 S.F.	PORCHES	18.0 S.F.	LANDINGS	36.0 S.F.	SITE WALLS	32.0 S.F.	MISC. HARDSCAPE	122.0 S.F.	TOTAL IMPERVIOUS COVERAGE	122.0 S.F.	PROPOSED PERVIOUS COVERAGE	212.0 S.F.	DRIVEWAY	68.0 S.F.	STEPPING STONES & WALKWAYS	N.A.	BUILDING OVERHANGS	280.0 S.F.	TOTAL PERVIOUS COVERAGE	280.0 S.F.	TOTAL PROPOSED SITE COVERAGE	402.0 S.F.	ROOF DECK	125 S.F.	<p>LOCATION MAP</p>	<p>VICINITY MAP</p>
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<p>TREE REMOVAL</p> <p>TWO (2) TREES TO BE REMOVED, 23' TREE (#35), 22' TREE (#36)</p>	<p>EXTERIOR LIGHTING NOTE</p> <p>ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDINGS OR ANY ACCESSORY BUILDINGS SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCENT EQUIVALENT) IN POWER PER FIXTURE.</p>	<p>LOCATION MAP</p>	<p>VICINITY MAP</p>																												

PDF

3:20 2024/05/05 CRI_L001-10-05-110-A1.dwg 7:01:24 06/26/24 AM

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MAP KEY

2
4
6
8
10
12
14
16

LEGEND:

	PROPERTY BOUNDARY LINE		CONDUIT		GAS LINE		FOUND MONUMENT - TYPE NOTED
	ADJACENT PROPERTY BOUNDARY LINE		PIPE		TELEPHONE SERVICE		SURVEY HEAVY CONTROL POINT
	ORIGINAL PROPERTY BOUNDARY LINE		CLEARCUT		UNKNOWN UTILITY		SPOT ELEVATION
	EASEMENT LINE (TYPE AS SHOWN)		DOWNSPOUT		FUSE BOX		RODLINE
	ROADWAY CENTERLINE		HOSE BIB		TELEPHONE OUTLET		PLATE HEIGHT
	MAJOR CONTOUR LINE (5' INTERVAL)		UTILITY POLE		ELECTRICAL OUTLET		TREE (TYPE AND SIZE AS MARKED)
	MINOR CONTOUR LINE (1' INTERVAL)		GUY WIRE		MAILBOX		CORES OF TREES (AS APPROX.)
			IRRIGATION BOX		AREA DRAIN		TWO-PRONGED TREE (2P)
			IRRIGATION CONTROL VALVE		HYDRANT		THREE-PRONGED TREE (3P)
			WATER VALVE		SANITARY SEWER MANHOLE		MULTRONGED TREE (MP)
			DRAIN LINE		STORM DRAIN MANHOLE		CE = CEDAR PA = PALM CW = COTTON WOOD PE = PEPPER CYP = CYPRESS P = PINE E = EUCALYPTUS R = REDWOOD H = HICKORY TR = TREE O = OAK W = WILLOW
			STREET LIGHT		PIPE GAS MANHOLE		
					ELECTRICAL MANHOLE		

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY HEAVY CONTROL POINT #101 A MARKER WAS LOCATED IN GUADALUPE STREET APPROXIMATELY 28 FEET WEST OF THE NORTHWESTERLY PROPERTY CORNER OF LOT 15, BLOCK 17. ELEVATION = 50.00' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND PLUMB WITH THE COMPANY ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC. AND SHOULD BE INDICATED COMPLETELY AND DETAILED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 4' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP SERVES TO VALIDATE AND ADJUST PREVIOUS TOPOGRAPHIC INFORMATION PROVIDED BY LIQUID SURVEYORS. THIS MAP IS THEREFORE A COMPARISON OF SURVEYS PERFORMED BY SEPARATE PARTIES ON DIFFERENT DATES SPANNING FROM DECEMBER 2016 TO JULY 2020. THIS MAP DOES NOT SHOW DISCREPANCY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FIELD NOTES TO SURVEY TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

CONTACT INFORMATION:

OWNER:
MR. DON DESAI
PO BOX 2156
MONTEREY, CA 93942

ARCHITECT:
ATIN LUTERU VU
ERIC MILLER ARCHITECTS
211 HOFFMAN AVENUE
MONTEREY, CA 93940

SITE LOCATION:
GUADALUPE ST. BETWEEN 1ST AND 2ND AVE
CARMEL-BY-THE-SEA, CA 93921

SCALE: 1" = 8'
DATE: AUG 2020
JOB NO. 2143-01

SHEET	6	
OF	9 SHEETS	
DATE	BY	REVISION



EXISTING TOPOGRAPHIC SURVEY
SCALE: N.T.S.

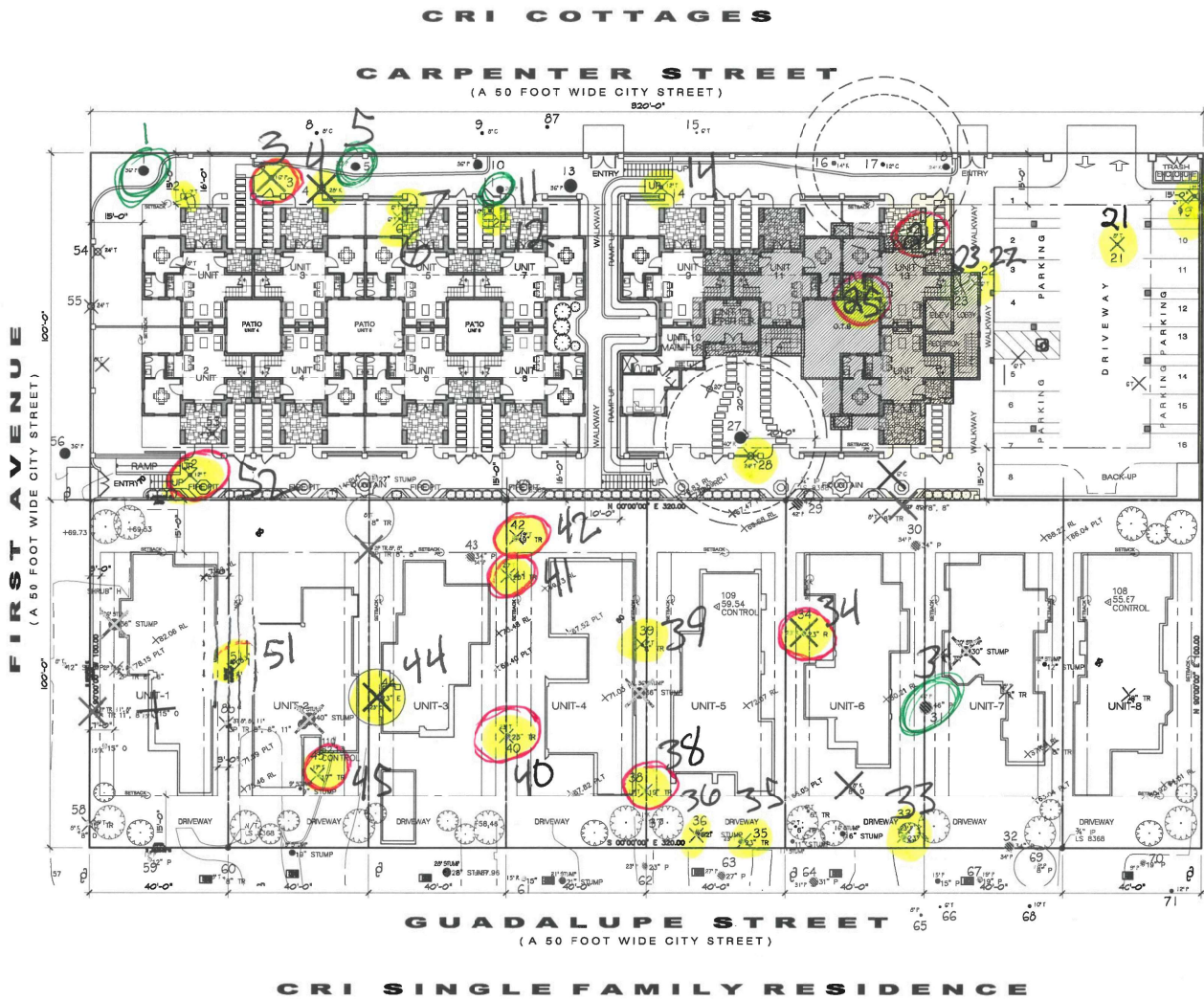
APPROVED BY:

CITY OF CARMEL
P.L.S. No. 8780

LANDSET ENGINEERS, INC.
1550 Highway 166, Suite 200
Carmel, CA 93921
PHONE: (831) 448-8070 • FAX: (831) 448-8900
WWW.LANDSETENGINEERS.COM

TOPOGRAPHIC MAP
LOT 10 IN BLOCK 17
VOLUME 1 OF CITIES AND TOWNS AT PAGE 52
CARMEL-BY-THE-SEA, CALIFORNIA
MR. DON DESAI

REVISION	No.
CONSULTANT:	
ARCHITECT:	ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE: (831) 375-2410 • FAX: (831) 375-2940 • WEB: www.ericmillerarchitects.com
EXISTING TOPOGRAPHIC SURVEY	
DATE:	5/9/23
SCALE:	N.T.S.
DRAWN:	JK
JOB NUMBER:	20205
A-2a	
SHEET OF	



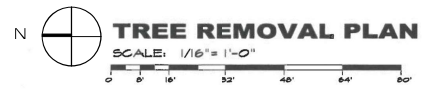
LEGEND		TREES TO BE REMOVED FOR CRI COTTAGES
TREE TYPE & SIZES OF TREES TO BE REMOVED	NO. OF TREES TO BE REMOVED	
(1) TREE	21 - TREES	
(1) OAK (1) 20"	1 - OAK	X
(1) CYPRESS (1) 6"	1 - CYPRESS	X
(1) PINE (1) 16"	1 - PINE	X
TOTAL NUMBER OF TREES TO BE REMOVED = 24		

LEGEND		TREES TO BE REMOVED FOR CRI SINGLE FAMILY RESIDENCE
TREE TYPE & SIZES OF TREES TO BE REMOVED	NO. OF TREES TO BE REMOVED	
(1) TREE	18 - TREES	
(1) OAK (1) 10", (1) 15"	2 - OAK	X
(1) PINE (2) 6", (2) 8", (1) 11"	6 - PINE	X
(1) REDWOOD (1) 22"	1 - REDWOOD	X
(1) EUCALYPTUS (1) 22"	1 - EUCALYPTUS	X
STUMP (1) 30", (2) 36", (1) 40"	4 - STUMPS	X
TOTAL NUMBER OF TREES TO BE REMOVED = 28		
TOTAL NUMBER OF STUMPS TO BE REMOVED = 4		

TOTAL NUMBER OF TREES TO BE REMOVED = 52
 TOTAL NUMBER OF STUMPS TO BE REMOVED = 4

NOTES:

- TREE PROTECTION ZONE - THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18' RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER.
- STRUCTURAL ROOT ZONE - STRUCTURAL ROOT ZONE SHALL BE 6 FEET FROM THE TRUNK OR 6' RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER.



ERIC MILLER ARCHITECTS, Inc.

211 HOFFMAN AVENUE MONTEREY, CALIFORNIA 93940 TEL: 831-372-0410

REVISION	No.

CONSULTANT:

ARCHITECT

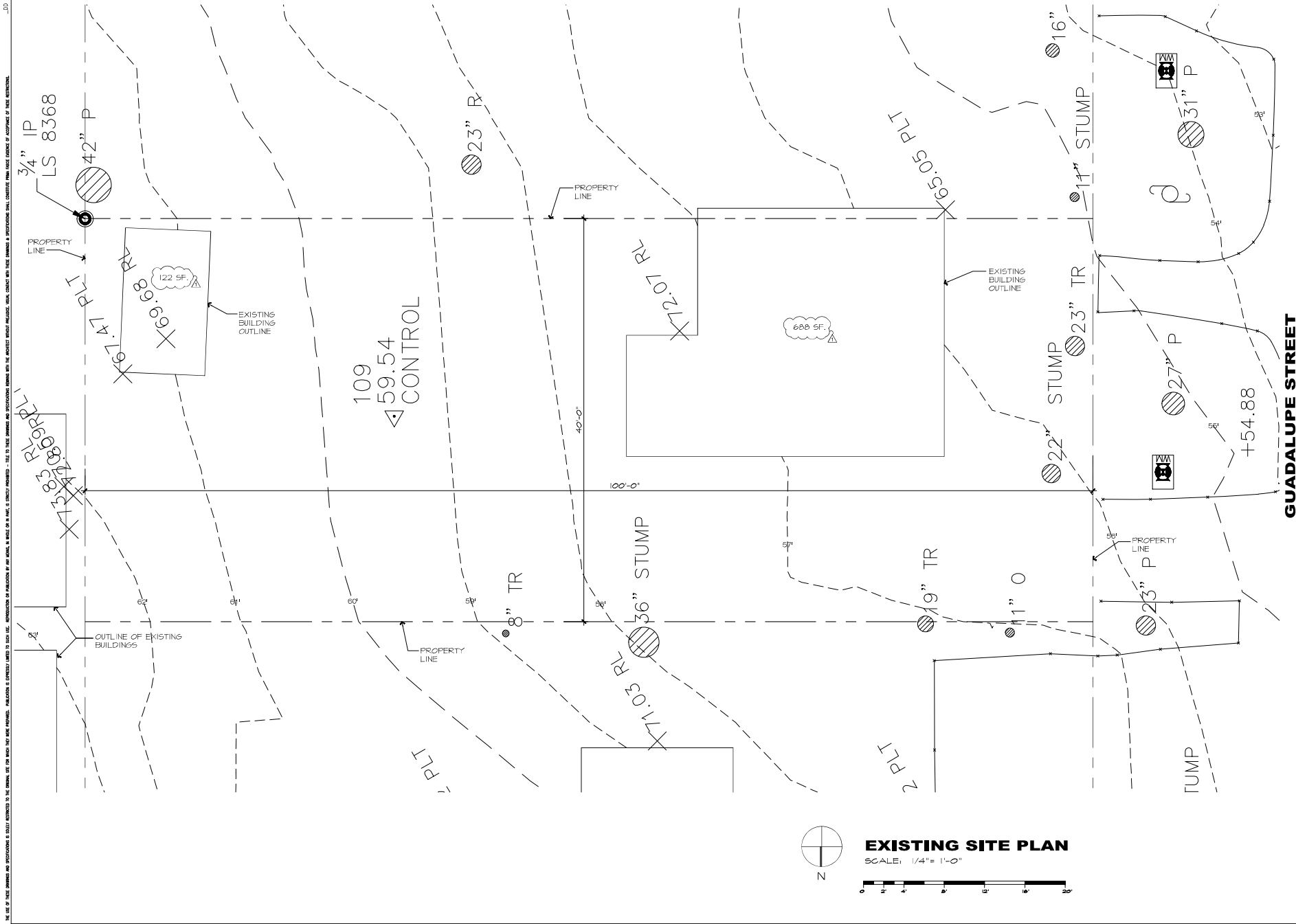
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE
 MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

PRELIMINARY SITE ASSESSMENT PLAN
 CRI - Residential House Lot #10
 211 Hoffman Avenue
 Monterey, CA 93940
 A.P.N. 010-021-050

DATE: 5/9/23
 SCALE: N.T.S.
 DRAWN: CAD
 JOB NUMBER: 20205

A-2b
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL USER FOR WHICH THEY WERE PREPARED. REPRODUCING OR OTHERWISE USING THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED. CALL TO THESE DRAWINGS OR SPECIFICATIONS BEING BY THE ARCHITECT WITHOUT PRELIMINARY CONTACT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE A MATERIAL BREACH OF CONTRACT OF THESE DRAWINGS.



EXISTING SITE PLAN
SCALE: 1/4" = 1'-0"

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	1

CONSULTANT:

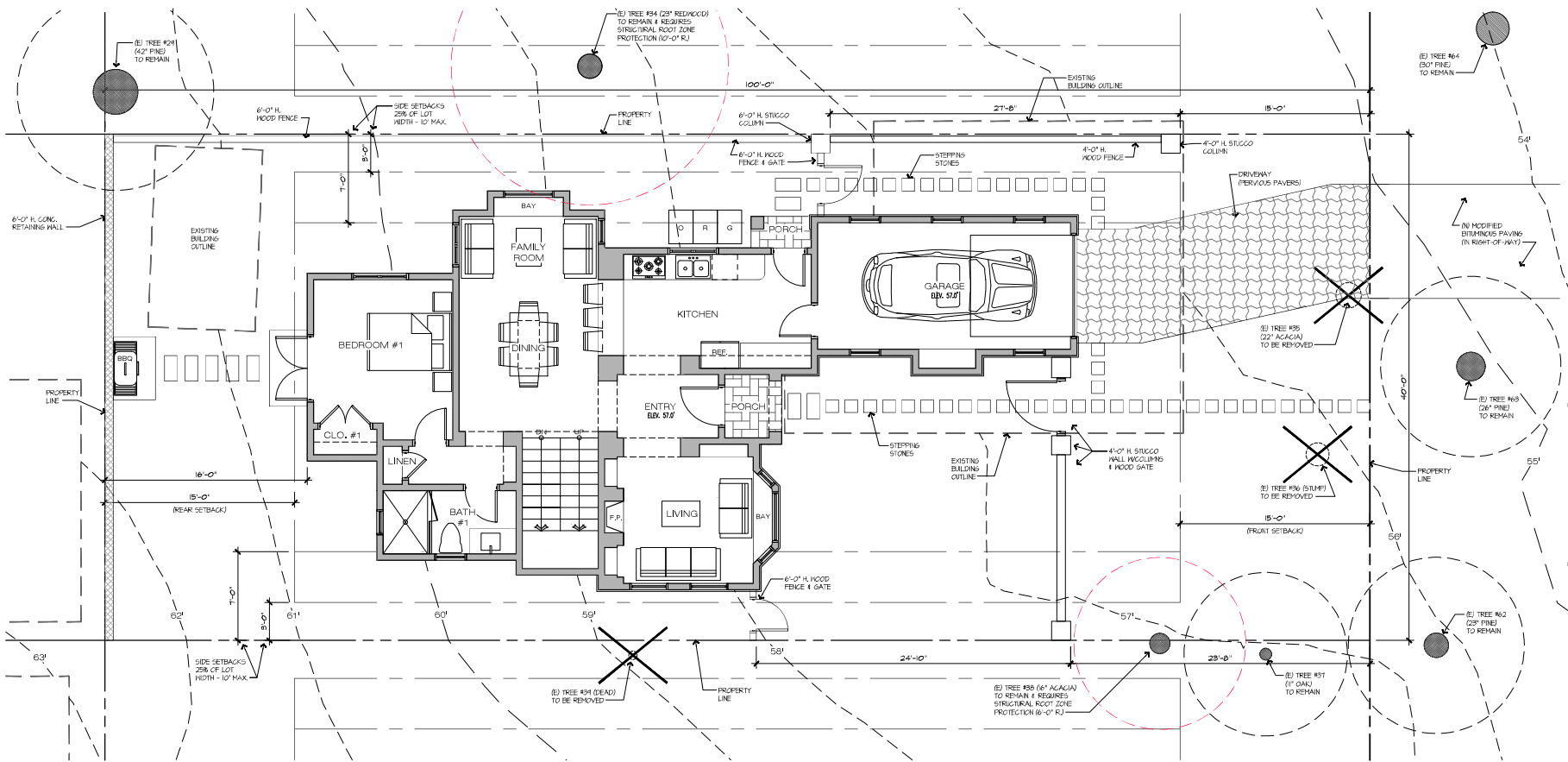
ARCHITECT

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EXISTING SITE PLAN

DATE:	5/9/23
SCALE:	1/4"=1'-0"
DRAWN:	JK
SHEET NUMBER:	20.05

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY INTENDED TO BE USED FOR THE PROJECT INDICATED THEREON. ANY OTHER USE, REPRODUCTION OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED. CONSULT WITH THE ARCHITECT FOR ANY CHANGES AND SPECIFICATIONS SHALL PREVAIL OVER ANY DISCREPANCY OF THESE DRAWINGS.



PROPOSED SITE PLAN

SCALE: 1/4" = 1'-0"



ROOF DECK	
ROOF DECK	129.0 S.F.

SITE COVERAGE	
ALLOWED	556.0 S.F.
PROPOSED IMPERVIOUS COVERAGE	
PORCHES	36.0 S.F.
LANDINGS	18.0 S.F.
SITE WALLS	36.0 S.F.
MISC. HARDSCAPE	32.0 S.F.
TOTAL IMPERVIOUS COVERAGE	122.0 S.F.
PROPOSED PERVIOUS COVERAGE	424.0 S.F.
DRIVEWAY	212.0 S.F.
STEPPING STONES & WALKWAYS	68.0 S.F.
BUILDING OVERHANGS	N.A.
TOTAL PERVIOUS COVERAGE	280.0 S.F.
TOTAL PROPOSED SITE COVERAGE	402.0 S.F.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	1

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ARCHITECT

PROPOSED SITE PLAN

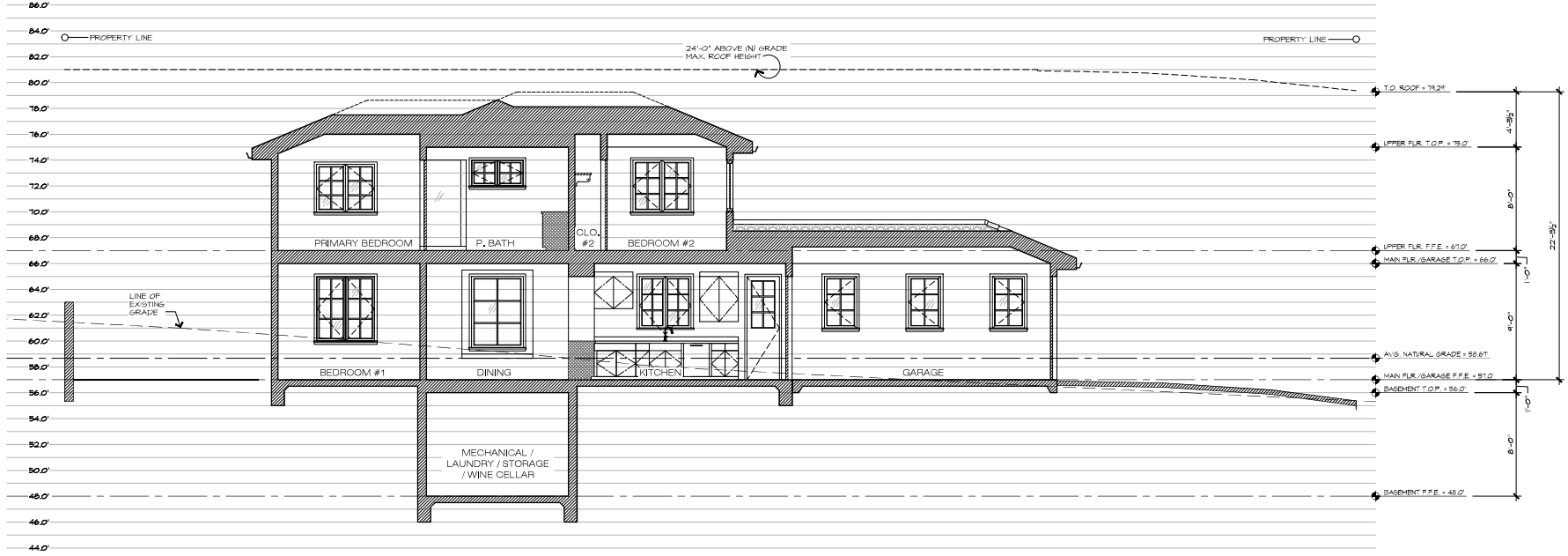
JOB NAME: **CRI - Residential House Lot #10**
 1005-110-A3b.dwg
 211 Hoffman Avenue
 Carmel-by-the-Sea, CA 93921
 A.P.N. 010-021-050

DATE: 5/9/23
 SCALE: 1/4"=1'-0"
 DRAWN: JK/DM
 JOB NUMBER: 2025

A-3b
 SHEET OF

GUADALUPE STREET

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PROPOSED SITE SECTION

SCALE: 1/4" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20

REVISION	No.

CONSULTANT:

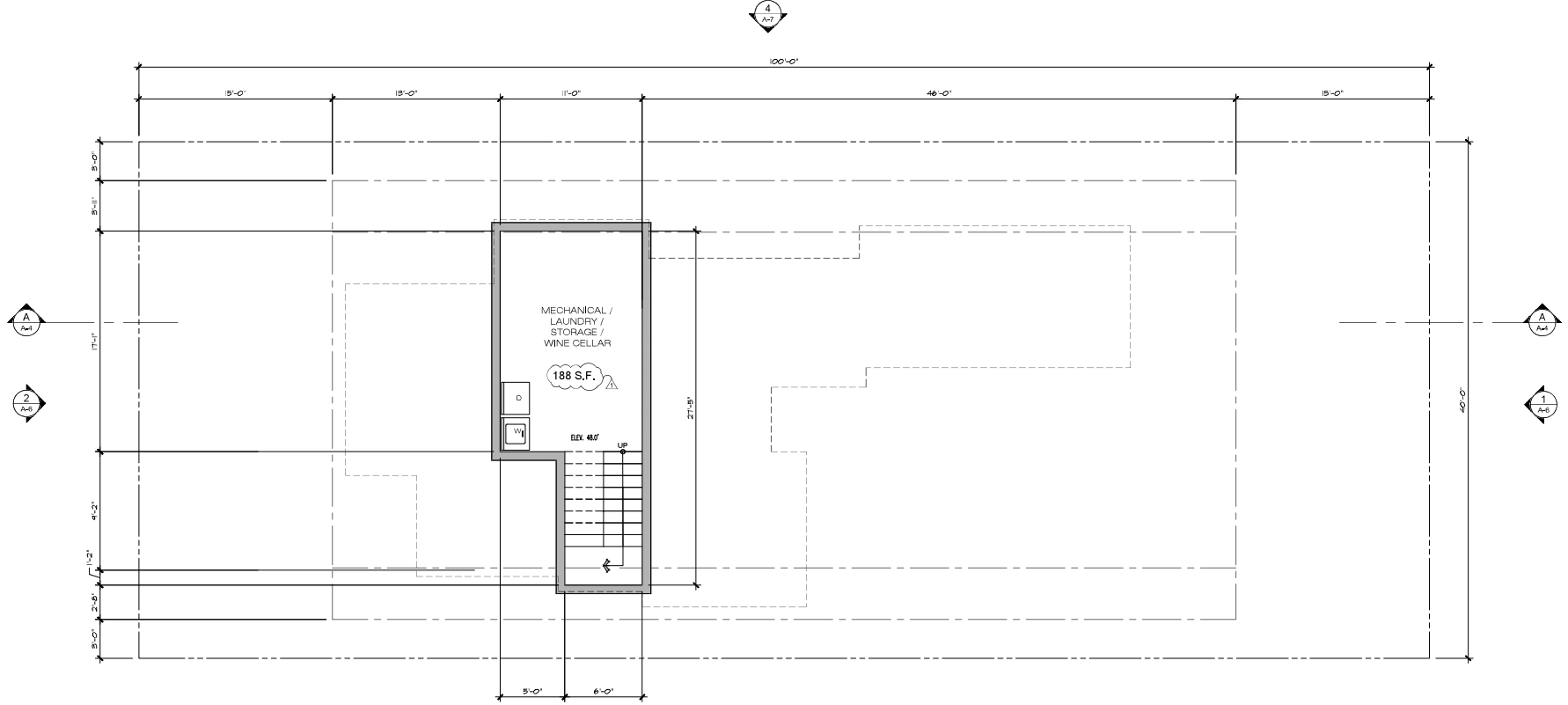
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ARCHITECT

PROPOSED SITE SECTION
 JOB NAME: **CR1 - Residential House Lot #10**
 211 Hoffman Avenue, Monterey, CA 93940
 A.P.N. 010-021-050

DATE: 5/5/23
 SCALE: 1/4"=1'-0"
 DRAWN: JK
 JOB NUMBER: 2025

A-4
 SHEET OF



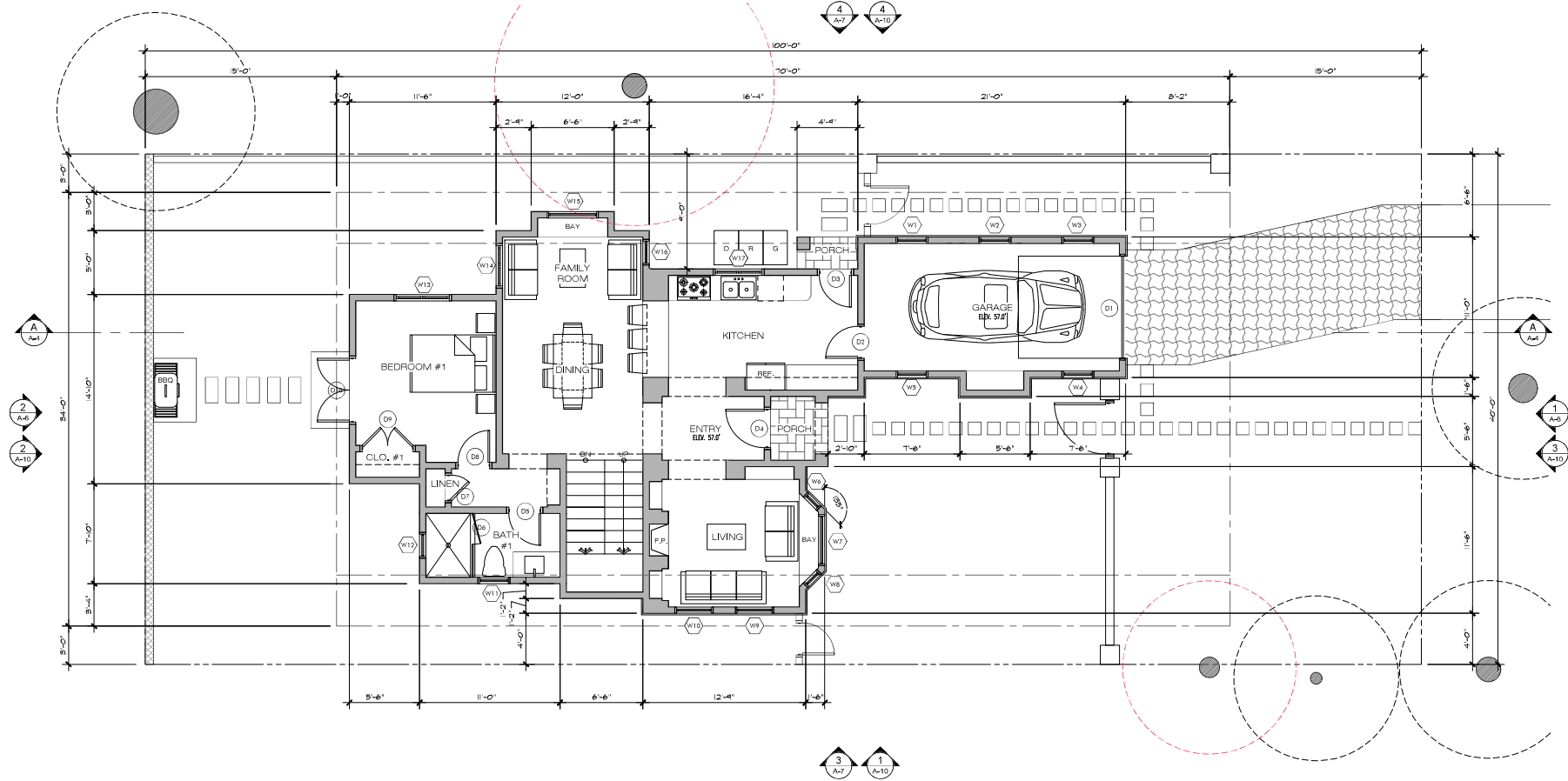
BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



MAIN FLOOR AREA	921 S.F.
GARAGE	227 S.F.
UPPER FLOOR AREA	608 S.F.
SUB - TOTAL	1,756 S.F.
MAX. FLOOR AREA ALLOWED	1,800 S.F.
AREA ALLOWED TOWARD BASEMENT	1,800 - 1,756 = 44 S.F.
BASEMENT FLOOR AREA (44 x 2)	88 S.F.
BASEMENT BONUS	100 S.F.
TOTAL	1,944 S.F.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△
CONSULTANT:	
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 375-0410 • FAX (831) 375-7840 • WEB: www.ericmillerarchitects.com	
PROJECT NAME CR1 - Residential House Lot #10 10000 Highway 101, Suite 100 Carmel-by-the-Sea, CA 93921 A.P.N. 010-021-050	
DATE:	5/9/23
SCALE:	1/4"=1'-0"
DRAWN:	JK/DM
JOB NUMBER:	2025
A-5a SHEET OF	



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



MAIN FLOOR AREA	921 S.F.
GARAGE	227 S.F.
UPPER FLOOR AREA	608 S.F.
SUB - TOTAL	
	1,756 S.F.
MAX. FLOOR AREA ALLOWED	1,800 S.F.
AREA ALLOWED TOWARD BASEMENT	1,800 - 1,756 = 44 S.F.
BASEMENT FLOOR AREA (44 x 2)	88 S.F.
BASEMENT BONUS	100 S.F.
TOTAL	
	1,944 S.F.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	1

CONSULTANT:

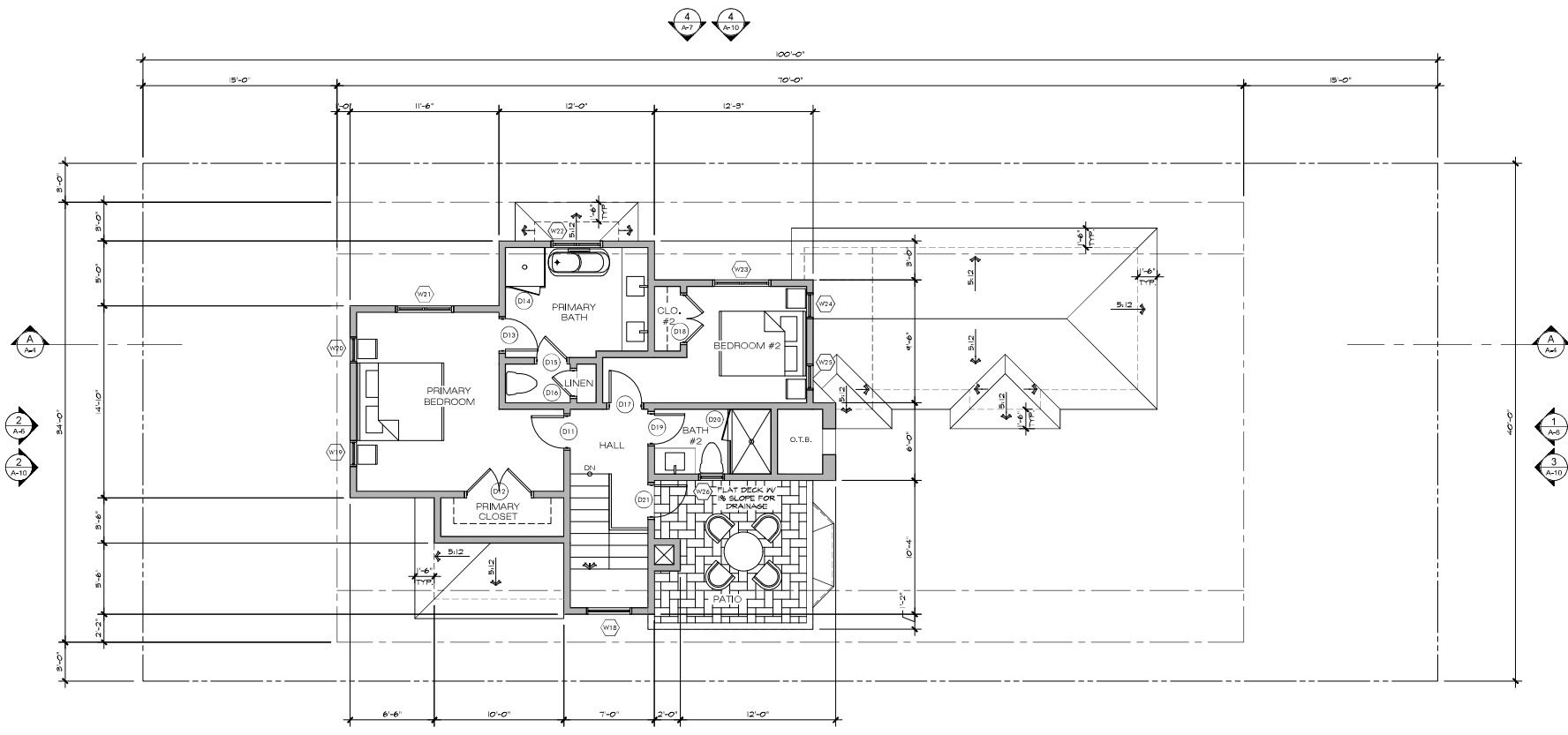
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE
 MONTEREY, CA 93940
 PHONE (831) 375-4110 • FAX (831) 375-7940 • WEB www.ericmillerarchitects.com

PROJECT NAME
CR1 - Residential House Lot #10
 1100 Highway 101, Suite 100
 Carmel-by-the-Sea, CA 93921
 A.P.N. 010-021-050

DATE: 5/5/23
 SCALE: 1/4" = 1'-0"
 DRAWN: JK/DM
 JOB NUMBER: 2025

A-5b
 SHEET OF

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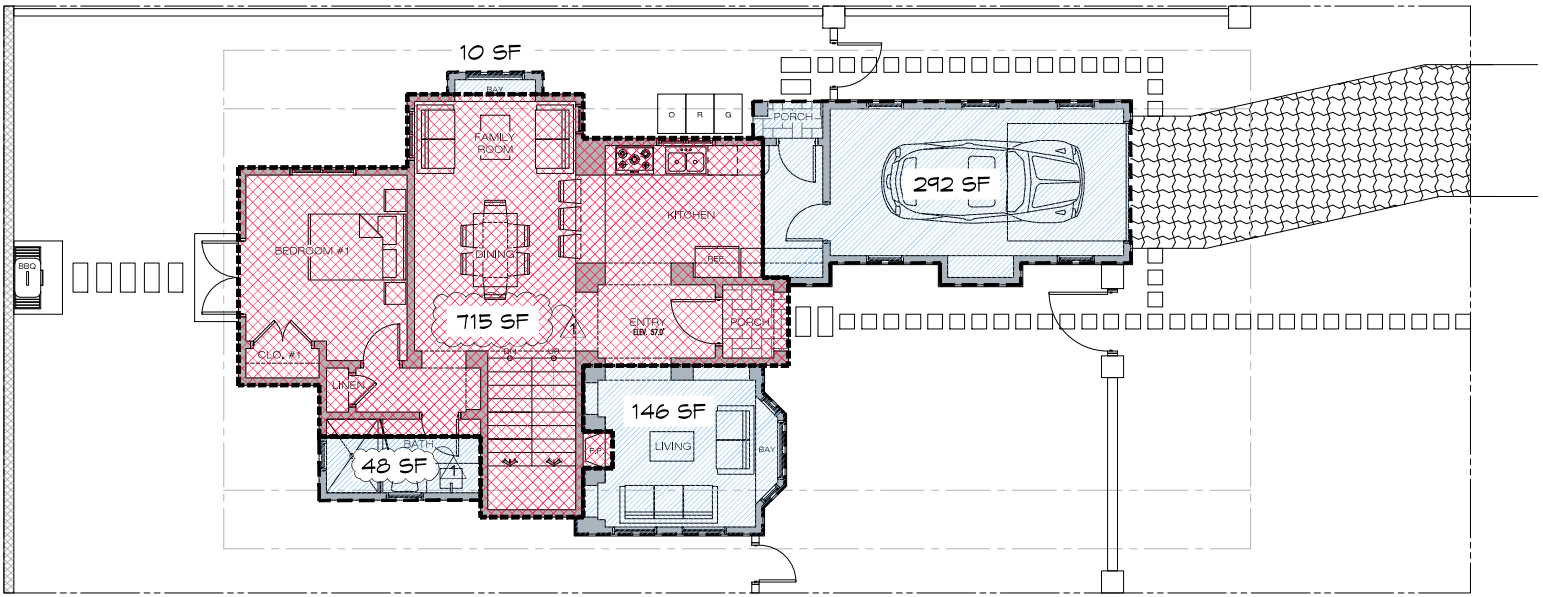


UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR AREA	921 S.F.
GARAGE	227 S.F.
UPPER FLOOR AREA	608 S.F.
SUB - TOTAL	1,756 S.F.
MAX. FLOOR AREA ALLOWED	1,800 S.F.
AREA ALLOWED TOWARD BASEMENT	1,800 - 1,756 = 44 S.F.
BASEMENT FLOOR AREA (44 x 2)	88 S.F.
BASEMENT BONUS	100 S.F.
TOTAL	1,944 S.F.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	▲
ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
ARCHITECT	CONSULTANT:
JOB NUMBER: CR1 - Residential House Lot #10	DATE: 5/8/23
SCALE: 1/4" = 1'-0"	DRAWN: JK/DM
JOB NUMBER: 2025	SHEET OF



MAIN FLOOR & UPPER FLOOR OVERLAY

SCALE: 1/4" = 1'-0"



LEGEND	OVERLAPPING & NON-OVERLAPPING FLOOR AREA
	OVERLAPPING FLOOR AREA = 715 S.F.
	NON-OVERLAPPING FLOOR AREA = 496 S.F.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 375-0410 • FAX (831) 375-7840 • WEB: www.ericmillerarchitects.com

PROJECT NAME

CR1 - Residential House Lot #10

211 Hoffman Avenue
 Carmel-by-the-Sea, CA 93921

A.P.N. 010-021-050

DATE: 5/9/23

SCALE: 1/4"=1'-0"

DRAWN: JK/DM

JOB NUMBER: 2025

A-5d

SHEET OF

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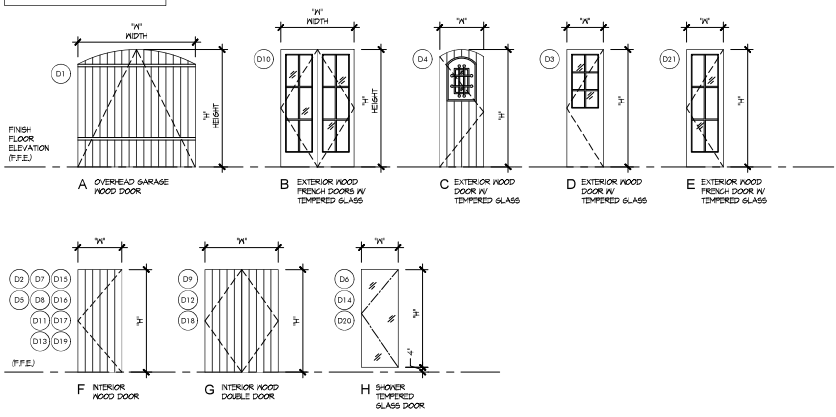
DOOR SCHEDULE

DOOR NO.	TYPE	W-DOOR WIDTH	H-DOOR HEIGHT	THKNS.	LOCATION - ROOM NUMBER	DOOR MATL.	FRAME MATL.	HEAD DETAIL	JAMB DETAIL	THRESH. DETAIL	REMARKS
(D1)	A	8'-0"	8'-0"	2-1/4"	GARAGE	WOOD	WOOD	--	--	--	--
(D2)	F	2'-6"	8'-0"	1-3/4"	KITCHEN	WOOD	WOOD	--	--	--	20 MIN. FIRE RATED, SEE NOTE 6
(D3)	D	2'-6"	8'-0"	1-3/4"	KITCHEN	ND/SL.	WOOD	--	--	--	TEMPERED GLASS
(D4)	C	3'-0"	8'-0"	1-3/4"	ENTRY	ND/SL.	WOOD	--	--	--	TEMPERED GLASS
(D5)	F	2'-6"	8'-0"	1-3/4"	BATH #1	WOOD	WOOD	--	--	--	--
(D6)	H	2'-4"	6'-8"	1/2"	BATH #1	GLASS	--	--	--	--	TEMPERED GLASS; SEE NOTE 10
(D7)	F	2'-0"	8'-0"	1-3/4"	LINEN	WOOD	WOOD	--	--	--	--
(D8)	F	2'-6"	8'-0"	1-3/4"	BEDROOM #1	WOOD	WOOD	--	--	--	--
(D9)	G	4'-0"	8'-0"	1-3/4"	GLOSET #1	WOOD	WOOD	--	--	--	--
(D10)	B	5'-0"	8'-0"	1-3/4"	BEDROOM #1	ND/SL.	WOOD	--	--	--	TEMPERED GLASS
(D11)	F	2'-6"	7'-0"	1-3/4"	PRIMARY BEDROOM	WOOD	WOOD	--	--	--	--
(D12)	G	5'-0"	7'-0"	1-3/4"	PRIMARY GLOSET	WOOD	WOOD	--	--	--	--
(D13)	F	2'-6"	7'-0"	1-3/4"	PRIMARY BATH	WOOD	WOOD	--	--	--	--
(D14)	H	2'-4"	6'-8"	1/2"	PRIMARY BATH	GLASS	--	--	--	--	TEMPERED GLASS; SEE NOTE 10
(D15)	F	2'-4"	7'-0"	1-3/4"	PRIMARY BATH	WOOD	WOOD	--	--	--	--
(D16)	F	2'-0"	7'-0"	1-3/4"	LINEN	WOOD	WOOD	--	--	--	--
(D17)	F	2'-6"	7'-0"	1-3/4"	BEDROOM #2	WOOD	WOOD	--	--	--	--
(D18)	G	3'-8"	7'-0"	1-3/4"	GLOSET #2	WOOD	WOOD	--	--	--	--
(D19)	F	2'-4"	7'-0"	1-3/4"	BATH #2	WOOD	WOOD	--	--	--	--
(D20)	H	2'-4"	6'-8"	1/2"	BATH #2	GLASS	--	--	--	--	TEMPERED GLASS; SEE NOTE 10
(D21)	E	2'-6"	7'-0"	1-3/4"	HALL	ND/SL.	WOOD	--	--	--	TEMPERED GLASS

DOOR NOTES

- ALL NEW DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED (U.O.N.).
- SHALL BE 2'-0" X 7'-0" MINIMUM.
 - SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
 - THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 3/4" ABOVE FINISH FLOOR. EGRESS DOORS TO HAVE A MAX. HEIGHT OF 1/2" A.F.F.
 - PROVIDE (2) PAIR, 4-1/2" X 4-1/2" BUTTS ON ALL DOORS.
 - ALL HARDWARE TO BE ROCKY MOUNTAIN OR EQUIVALENT, SELECTED BY OWNER.
 - ALL FIRE-RATED DOORS SHALL HAVE FIRE-RESISTANCE RATING OF 20 MINUTES, PERK-10 S88D (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.
 - ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
 - ALL WOOD DOORS SHALL BE SOLID CORE.
 - EXTERIOR GLAZED DOORS SHALL BE MULTI-PANE INSULATED GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 251, OR MEET THE REQUIREMENTS OF SP11 (2-7A-2) [(RSST.2.1)] ALL DOOR GLAZING TO BE TEMPERED.
 - ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC SECTION 1804.6.1.7 AND SHALL BE SAFETY GLAZING, PER CBC 2406.4.3.
 - REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
 - REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE AREA OF OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.

DOOR TYPES



REVISION	No.

CONSULTANT:

ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**

211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 375-0410 • FAX (831) 375-7840 • WEB: www.ericmillerarchitects.com

PROJECT: **DOOR SCHEDULE**

DATE: 5/9/23

SCALE: 1/4" = 1'-0"

DRAWN: JK

SHEET NO. 20.05

A-5e

SHEET OF

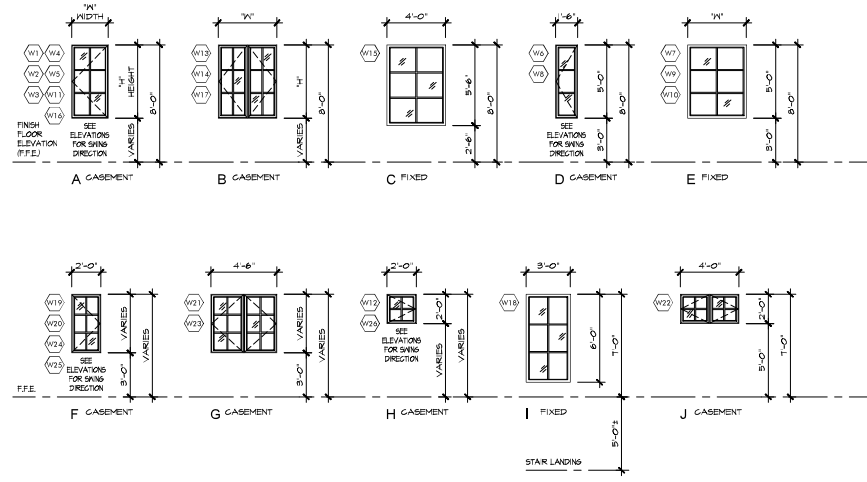
WINDOW SCHEDULE

MDW NO.	TYPE	SIZE W'xH'	SIZE W'xH'	HEAD HEIGHT	GLAZING	SAFETY GLAZING	OPERATING STYLE	FRAME MATL.	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	MILLION DETAIL	LOCATION	REMARKS
W1	A	2'-6"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	SARAGE	--
W2	A	2'-6"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	SARAGE	--
W3	A	2'-6"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	SARAGE	--
W4	A	2'-6"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	SARAGE	--
W5	A	2'-6"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	SARAGE	--
W6	D	1'-6"	5'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	LIVING ROOM	--
W7	E	4'-0"	5'-0"	8'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	LIVING ROOM	--
W8	D	1'-6"	5'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	LIVING ROOM	--
W9	E	5'-0"	5'-0"	8'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	LIVING ROOM	--
W10	E	5'-0"	5'-0"	8'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	LIVING ROOM	--
W11	A	2'-0"	3'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BATH #1	--
W12	H	2'-0"	2'-0"	8'-0"	DOUBLE GLAZE	TEMPERED GLASS	CASEMENT	WOOD	--	--	--	--	BATH #1	--
W13	B	4'-6"	5'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #1	--
W14	B	5'-6"	5'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	FAMILY ROOM	--
W15	C	4'-0"	5'-6"	8'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	FAMILY ROOM	--
W16	A	2'-0"	5'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	FAMILY ROOM	--
W17	B	4'-0"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	KITCHEN	--
W18	I	5'-0"	6'-0"	7'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	STAIR	--
W19	F	2'-0"	3'-6"	6'-8"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	PRIMARY BEDROOM	--
W20	F	2'-0"	3'-6"	6'-8"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	PRIMARY BEDROOM	--
W21	G	4'-6"	3'-6"	6'-8"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	PRIMARY BEDROOM	--
W22	J	4'-0"	2'-0"	7'-0"	DOUBLE GLAZE	TEMPERED GLASS	CASEMENT	WOOD	--	--	--	--	PRIMARY BATH	--
W23	G	4'-6"	4'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #2	--
W24	F	2'-0"	4'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #2	--
W25	F	2'-0"	4'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #2	--
W26	H	2'-0"	2'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BATH #2	--

WINDOW NOTES

- ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING (I.O.N.):
- EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 24 INCHES IN HEIGHT, 20 INCHES IN WIDTH, 5.7 S.F. IN AREA, AND A SILL HEIGHT NOT MORE THAN 44" A.F.F. PER IRC SECTION R310.2.
 - WOOD WINDOWS - POWDER-COATED ALUMINUM-GLAZED WOOD WINDOWS, PAINTED INTERIORS - COLORS TO BE SELECTED.
 - ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH IRC SECTION R308.3. ALL SAFETY GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH IRC SECTION R308.4.
 - ALL SLOPED GLAZING SHALL COMPLY WITH IRC SECTION R309.6 FOR INSTALLATION AND MATERIALS.
 - SEE WINDOW TYPES THIS SHEET FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER IRC SEC. R309.3 AND EGRESS PER IRC SEC. R310.
 - ALL WINDOW GLAZING SHALL BE LOW-E, DOUBLE GLAZED I.O.N.
 - ALL EXTERIOR OPENINGS SHALL PROVIDE NATURAL LIGHTING IN HABITABLE ROOMS, WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA PER IRC SEC. R309.1, AND NATURAL VENTILATION WITH AN AREA OF NOT LESS THAN 4% OF ROOM FLOOR AREA PER IRC SECTION 309.1.
 - TEMPERED SAFETY GLAZING:
 - IS REQUIRED WHERE THE NEAREST EDGE OF GLAZING IS WITHIN A 24-INCH ARC OF EITHER SIDE OF A DOOR IN A CLOSED POSITION (UNLESS THERE IS AN INTERVENING WALL BETWEEN THE DOOR AND THE GLAZING, OR IF THE GLAZING IS 5' OR HIGHER ABOVE THE WALKING SURFACE).
 - GLAZING GREATER THAN 9 SQUARE FEET WITH THE BOTTOM EDGE LESS THAN 66" ABOVE THE FLOOR AND THE TOP EDGE GREATER THAN 36" ABOVE THE FLOOR (UNLESS THE GLAZING IS MORE THAN 36" HORIZONTALLY AWAY FROM THE WALKING SURFACES OR IF A COVERING PROTECTIVE BAR IS INSTALLED).
 - GLAZING IN SHOWER AND TUB ENCLOSURES (LESS THAN 60" ABOVE STANDING SURFACE).
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
 - WINDOWS IN BATHROOMS ARE TEMPERED IF LESS THAN 60" HORIZONTAL OR VERTICAL FROM STANDING SURFACE OF TUB AND/OR SHOWER, [IRC SECTION 308.4.5]

WINDOW TYPES



REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE
 MONTEREY, CA 93940
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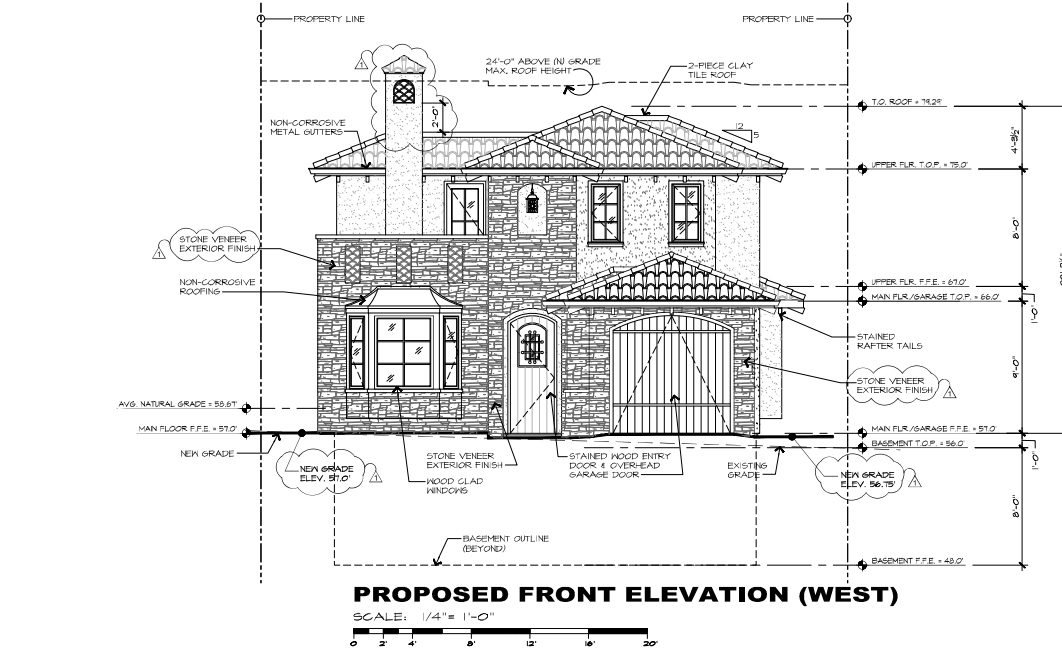
ARCHITECT

PROJECT NAME:
CR1 - Residential House Lot #10
 10000 Highway 101, Suite 100
 Carmel-by-the-Sea, CA 93921
 A.P.N. 010-021-050

DATE: 5/9/23
 SCALE: 1/4" = 1'-0"
 DRAWN: JK
 JOB NUMBER: 2025

A-5f
 SHEET OF

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PROPOSED FRONT ELEVATION (WEST)

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	1

CONSULTANT:

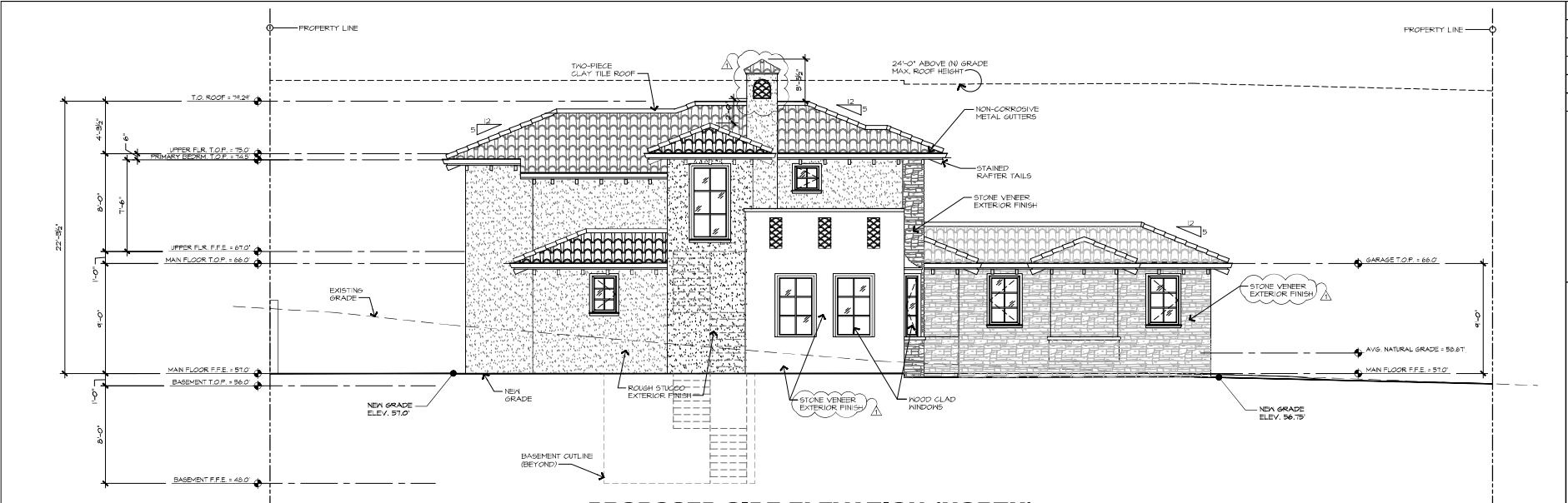
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ARCHITECT

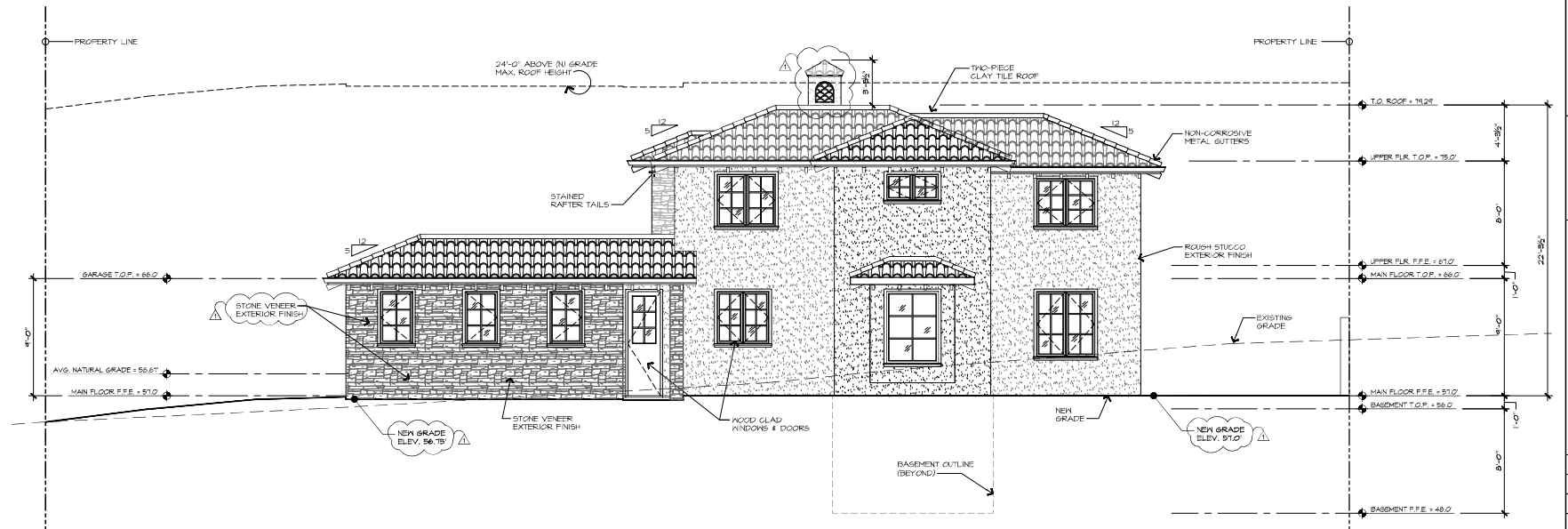
PROPOSED EXTERIOR ELEVATIONS
 JOB NAME: **CR1 - Residential House Lot #10**
 1000 Highway 101, Suite 100
 Cambria, CA 93031
 A.P.N. 010-021-050

DATE: 5/5/23
 SCALE: 1/4" = 1'-0"
 DRAWN: JK/DM
 JOB NUMBER: 20.05

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PROPOSED SIDE ELEVATION (NORTH)
 SCALE: 1/4" = 1'-0"



PROPOSED SIDE ELEVATION (SOUTH)
 SCALE: 1/4" = 1'-0"

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	1

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE
 MONTEREY, CA 93940
 PHONE (831) 375-0410 • FAX (831) 375-7940 • WEB: www.ericmillerarchitects.com

ARCHITECT

PROPOSED EXTERIOR ELEVATIONS

JOB NAME: **CR1 - Residential House Lot #10**
 211 Hoffman Avenue, Monterey, CA
 211 Hoffman Avenue, Monterey, CA 93940
 A.P.N. 010-021-050

DATE: 5/5/23
 SCALE: 1/4" = 1'-0"
 DRAWN: JK/DM
 JOB NUMBER: 2025

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RENDERED SOUTH ELEVATION
SCALE: N.T.S.



RENDERED WEST ELEVATION
SCALE: N.T.S.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

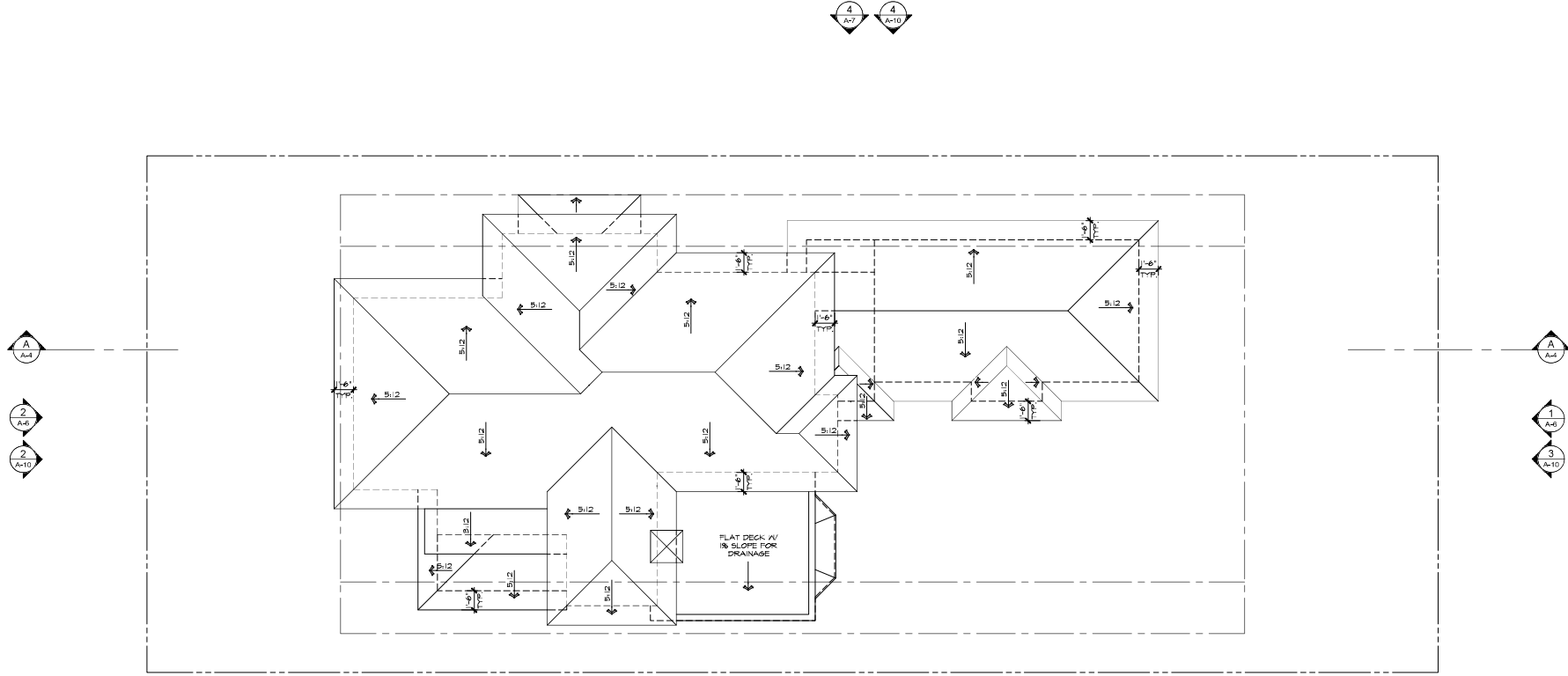
CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 375-0410 • FAX (831) 375-7840 • WEB: www.ericmillerarchitects.com

PROJECT NAME
CR1 - Residential House Lot #10
211 Hoffman Avenue
Cambria-Holyoke-Seas, CA 93921
A.P.N. 010-021-050

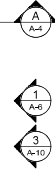
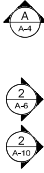
DATE: 5/5/23
SCALE: N.T.S.
DRAWN: K.L.
JOB NUMBER: 2025

A-8
SHEET OF



ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN

JOB NAME: **CR1 - Residential House Lot #10**
 2111 HOFFMAN AVENUE
 CAMPBELL-CITY-PLEASANTON, CA 94521
 A.P.N. 010-021-050

DATE: 5/5/23
 SCALE: 1/4" = 1'-0"
 DRAWN: JK
 JOB NUMBER: 2025

A-9
 SHEET OF

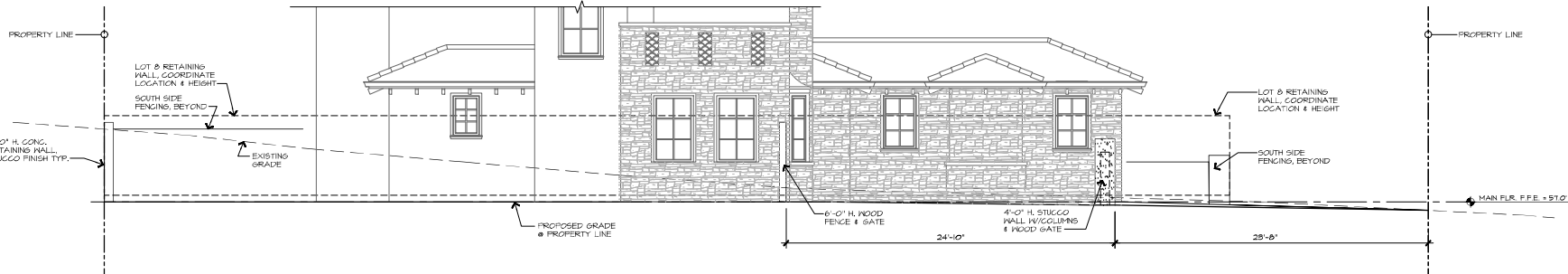
ARCHITECT

ERIC MILLER ARCHITECTS, INC.
 2111 HOFFMAN AVENUE
 MONTEREY, CA 93940
 PHONE (831) 375-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

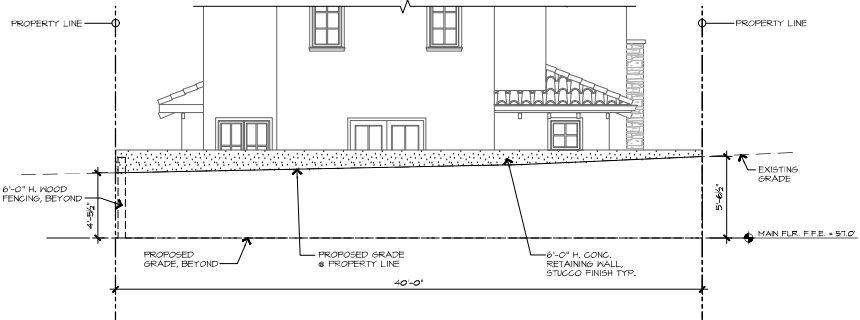
CONSULTANT:

REVISION	No.

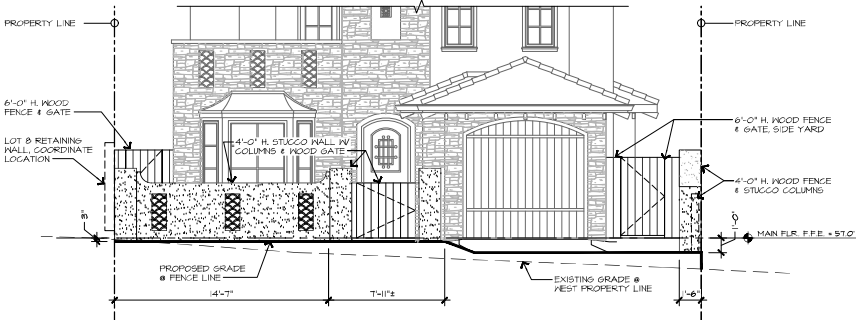
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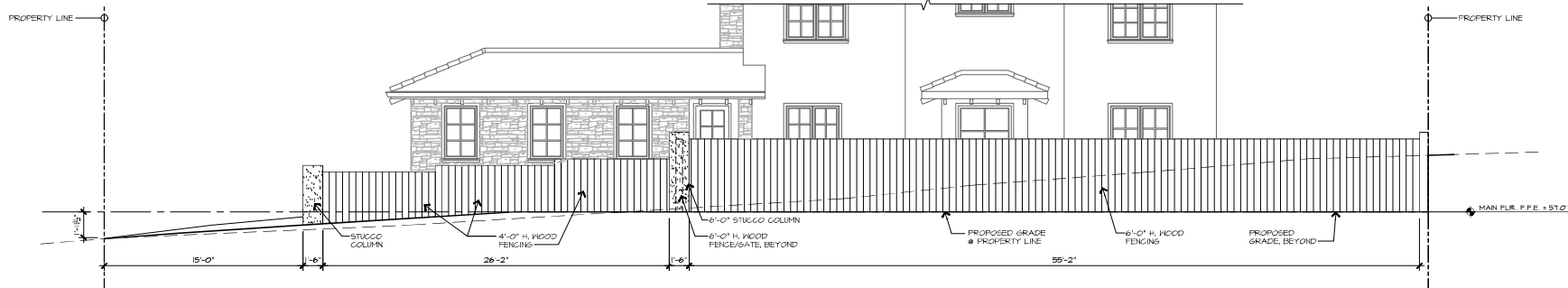
1 SIDE - NORTH PROPERTY LINE



2 REAR - EAST PROPERTY LINE



3 FRONT - WEST PROPERTY LINE



4 SIDE - SOUTH PROPERTY LINE

PROPOSED FENCING ELEVATIONS
 SCALE: 1/4" = 1'-0"
 0 2 4 6 8 10 12 14 16 18 20

REVISION	No.

CONSULTANT:

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 211 HOFFMAN AVENUE MONTEREY, CA 93940
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ARCHITECT

PROPOSED FENCING ELEVATIONS
 DRAWN BY: **CR1 - Residential House Lot #10**
 1050 Highway 101, Suite 100, Marina del Rey, CA 90291
 A.P.N. 010-021-050

DATE: 5/5/23
 SCALE: 1/4"=1'-0"
 DRAWN: JK/DM
 JOB NUMBER: 20.05

A-10
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL USER OF THESE DRAWINGS AND SPECIFICATIONS. ANY REPRODUCTION OR MODIFICATION OF ANY PART OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE, IN WHOLE OR IN PART, TO ANY PROPERTY, INCLUDING A CONTRACTOR'S PROPERTY, CAUSED BY THE USE OF THESE DRAWINGS AND SPECIFICATIONS. ANY CONTRACTOR USING THESE DRAWINGS AND SPECIFICATIONS SHALL GUARANTEE FROM HIS OWN SOURCE OF ACCEPTANCE OF THESE INSTRUCTIONS.



PERMEABLE PAVERS

10 DRIVEWAY PAVERS



7 WOOD WINDOWS & DOORS



SPECTRA METALS
BROWN ALUMINUM
GUTTER & DOWNSPOUT

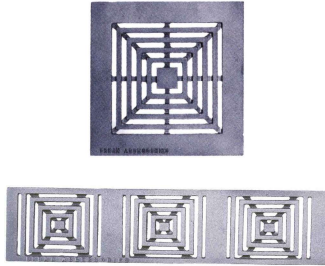
NON-CORROSIVE METAL

4 GUTTER & DOWNSPOUT



TWO-PIECE CLAY TILE

1 ROOFING



URBAN ACCESSORIES

11 TRENCH & AREA DRAIN



CLAY TILE - FLAT LAY

8 EXTERIOR WALL & CHIMNEY TILE DETAIL



STAINED WOOD OVERHEAD

5 GARAGE DOOR



ROUGH STUCCO FINISH

2 EXTERIOR FINISH



9 WOOD FENCING



6 WOOD ENTRY DOOR



NATURAL STONE VENEER

3 EXTERIOR FINISH

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE
MONTEREY, CA 93940
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MATERIAL COLOR SAMPLES

OWNER NAME
CR1 - Residential House Lot #10

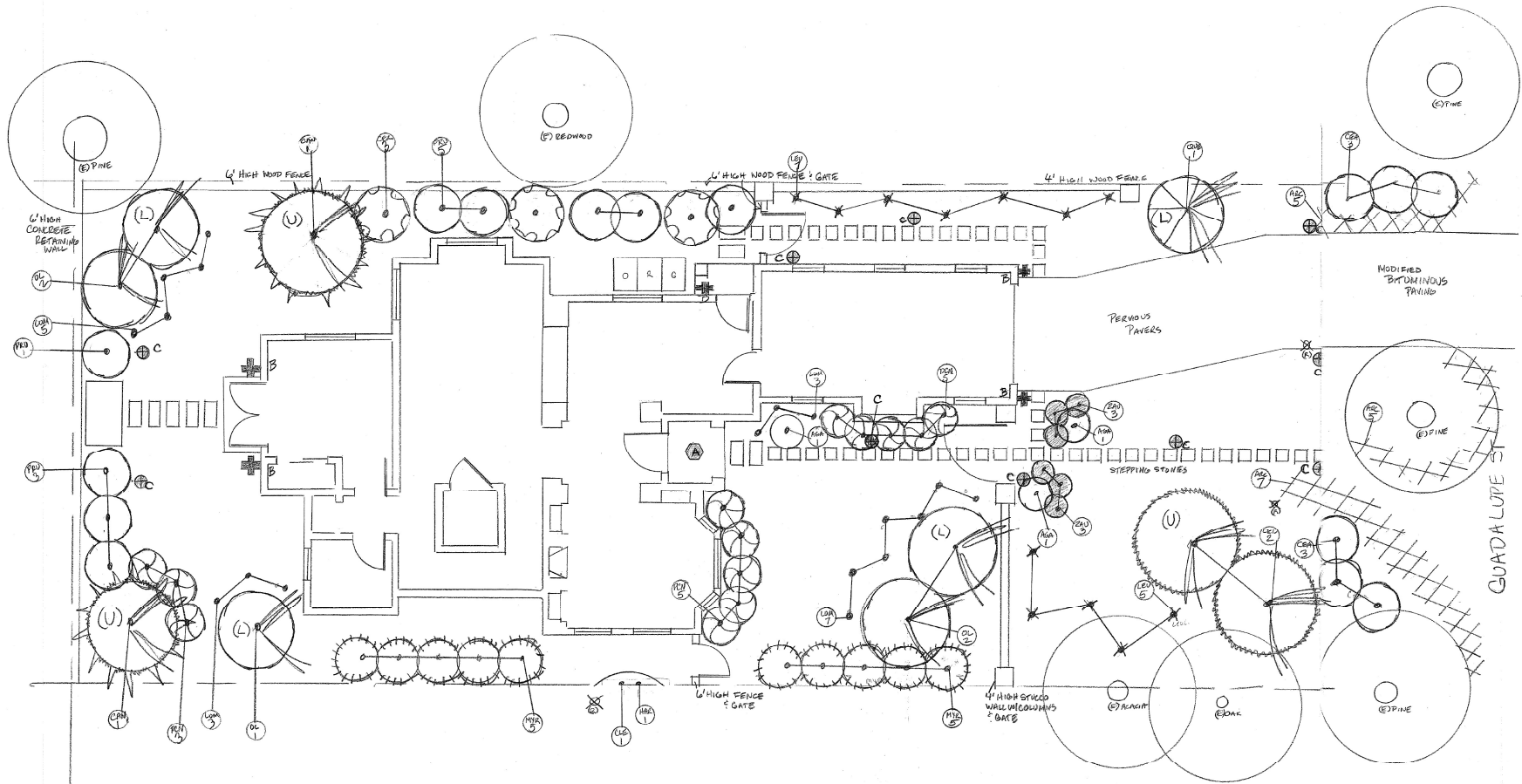
ADDRESS
10000 Highway 101, Suite 100
Carmel-by-the-Sea, CA 95021

DATE: 5/5/23

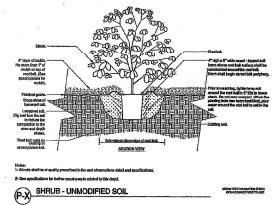
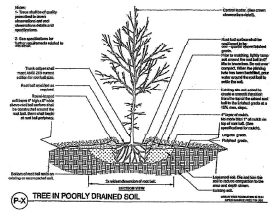
SCALE: N.T.S.

DRAWN: JK/DM

JOB NUMBER: 2025



ABBR	PLANT NAME	SIZE QUANT
AGA	AGAVE ATTENUATA FOX TAIL AGAVE	5G 2
ARC	ARCTOSTAPHYLOS EMERALD CARPET	1G 17
CAN	PINUS CANARIENSIS CANARY ISLAND PINE (U)	15G 2
CEA	CEANOETHUS DARK STAR	5G 6
CED	CEDRUS DECADARA DEODAR CEDAR (U)	24" 2
CER	CERCIS OCCIDENTALIS WESTERN REDBUD	15G 3
CLE	CLEMATIS EVERGREEN	5G 1
HAR	HARDENBERGIA VIOLACEA HAPPY WANDER	5G 1
LEU	LEUCADENDRON SAFARI SUNSHINE	5G 12
LOM	LOMANDRA PLATINUM BEAUTY	1G 18
MYR	MYRSINE AFRICANUM AFRICAN BOXWOOD	5G 10
OLE	OLEA EUROPEA WILSONII (L)	15G 5
PCN	PITTIPORIUM CRASSIFOLIA NANA	1G 13
PRU	PRUNUS LAUROCERASUS SCHIPKAENSIS	15G 9
QUF	QUERCUS AGRIFOLIA COAST LIVE OAK (L)	15G 1
ZAU	ZAUSCHNERIA CALIFORNICA CALI FUCHSIA	1G 6



1/4" = 10'



LANDSCAPE PLANTING
4/5/2023 MML

L.1

TOWN AND COUNTRY GARDENING & LANDSCAPE INC
PO BOX 233798
CARMEL, CA 93921
831-596-2709, 831-625-3105

CRI RESIDENTIAL LOT #10
GUADALUPE ST. BETWEEN 1ST & 2ND AVE
CARMEL CA 93921
APN 010-021-030-000

IRRIGATION

RAIN GAUGE HUNTER IRRITROL RC/R5500
 1" MAINLINE
 1" DWYER FLOW METER
 RAINBIRD ESP-ME SMT SMART IRRIGATION CONTROLLER
 1" FEBCO SERIES 805Y DOUBLE CHECK BACKFLOW PREVENTION DEVICE
 6 DRIP VALVES ELECTRIC REMOTE CONTROL VALVES SERIES DV-075 - OR 100-0V

Drip Emmitter Schedule

1 gal - 1
 5 gal - 2
 15 gal - 3
 24" - 4
 1.0 gph pressure compensating Rain bird Xeri-Bug / Toro N. G. E. / Netafim WPC (w/hug cap)
 Toro T-DL-Mp9 Indicator w/flush valve at end of each zone

MAWA NOTES

Maximum Allowable Water Allocation (MAWA) calculations prepared for the CRI RESIDENTIAL LOT #10
 GUADALUPE ST BTWN 1ST & 2ND AVE CARMEL APN #010-021-030-000
 by MARY LUSTER (831-625-3105 CONTACT@TNCGARDENSCARMEL.COM) for
 Town & Country Gardening & Landscaping 4/5/23.

Maximum allowable landscape irrigation usage for this site is .243 acre ft. / year
Formula & Calculations:

MAWA = $Eto \times ETadj \times LA \times 0.623$
 325,851

Where:

Eto = 46.3" / yr (Zone 3)
 ETadj = .80
 LA = 1540 sq. ft.
 Calculated as: 2 sq ft. / 1 gal. plant = 54 plants 108 sq ft
 4 sq. ft. / 5 gal. plant = 32 plants 128 sq ft
 16 sq. ft. / 15 gal. plant = 20 plants 320 sq ft
 20 sq. ft. / 24" box tree = 2 80 sq ft
 TOTAL 596 SQ FT

MAWA for this site = $46.3 \times .80 \times 1540 \times 0.623 = .042$ Acre Feet
 325,851

ETWU NOTES

Estimated Total Water Use (ETWU) calculations prepared for the CRI RESIDENTIAL LOT #10
 GUADALUPE ST BTWN 1ST & 2ND AVE CARMEL APN #010-021-030-000
 by MARY LUSTER (831-625-3105 CONTACT@TNCGARDENSCARMEL.COM)
 of Town & Country Gardening & Landscaping 4/5/2023

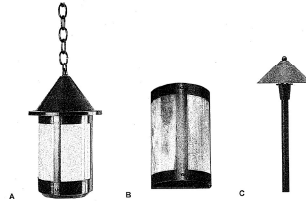
Maximum allowable landscape irrigation usage for this site is .243 acre ft. / year.
Formula & Calculations:

ETWU = $Eto \times ETadj \times ALA \times 0.623 \times IEF$
 325,851

Where:

Eto = 46.3" / yr (Zone 3)
 ETadj = .80
 ALA = 732 sq. ft.
 Calculated as: 2 sq ft. / 1 gal. plant = 54 plants 108 sq ft
 4 sq. ft. / 5 gal. plant = 32 plants 128 sq ft
 16 sq. ft. / 15 gal. plant = 20 plants 320 sq ft
 20 sq. ft. / 24" box tree = 2 80 sq ft
 Spec'd plants: Very low water use plant square footage = $0 \times 0.1 = 0$
 Low water use plant square footage = $420 \times 0.5 = 210.0$
 Medium water plant use square footage = $180 \times 0.6 = 108.0$
 High water plant use square footage = $0 \times 1.0 = 0$

IEF = .85 100% drip irrigation
 ETWU for this site = $46.3 \times .80 \times 732 \times 0.623 \times .85 = .012$ Acre Feet
 325,851



EXTERIOR LIGHTING FIXTURES

	MODEL	FINISH	SIZE	TYPE	QUAN	WATT/LUMENS	SYMBOL
A	SPH1-05C	MATTE BRONZE	15"X8 3/4"	PENDANT LANTERN	1	PL-13W/200L	
B	SPH48-08	MATTE BRONZE	8"X5"	WALL MOUNT DOWN LIGHT	5	PL-13W/200L	
C	SPH20-01	MATTE BRONZE	20"X8"	PATH LIGHT - MIN DISTANCE AWAY 1/2"	10	3W/200L	
D	SPH-FL150-15V	STAINLESS	17"X8.75"	TRANSFORMER	1	150W	



Model: **SPH-FL150-15V**

Flex-Link™ Transformers

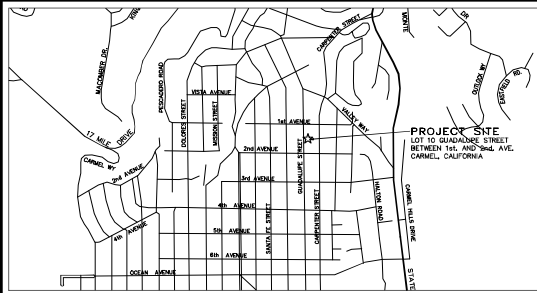
DESCRIPTION

Model# SPH-FL150-15V
 Size: Stainless Steel
 Electrical Input: 120V
 Electrical Output: 17"X8"
 Max. Watts: 150 Watts
 Circuit: 1 Circuit
 Dimmable: Yes
 • TIMER 24 HOUR
 • PHOTOCELL FIELD INSTALL

TOWN AND COUNTRY GARDENING & LANDSCAPE INC
 PO BOX 223798
 CARMEL, CA 93923
 831-596-2709, 831-625-3105

CRI RESIDENTIAL LOT #10
 GUADALUPE ST. BETWEEN 1ST & 2ND AVE
 CARMEL CA 93921
 APN 010-021-030-000

LANDSCAPE IRRIGATION **L.2**
 & LIGHTING SPECS
 4/5/2023 MML RBY 10/10/23



VICINITY MAP
NOT TO SCALE

STORM WATER CONTROL NOTES:

- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0031-DWS. THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) ALL DRAINAGE SHALL CONFORM TO THE STANDARD OPERATING GUIDANCE FOR 17-07 PRIVATE STORM WATER SYSTEMS PER THE CITY OF CARMEL-BY-THE-SEA.

TOTAL LOT AREA = 4,000 SQ.FT.
TOTAL IMPERVIOUS AREA = 1,270 SQ.FT.
TOTAL AREA OF DISTURBANCE = 3,775 SQ.FT.

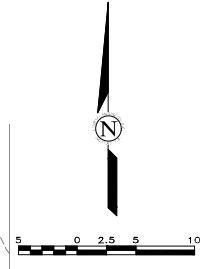
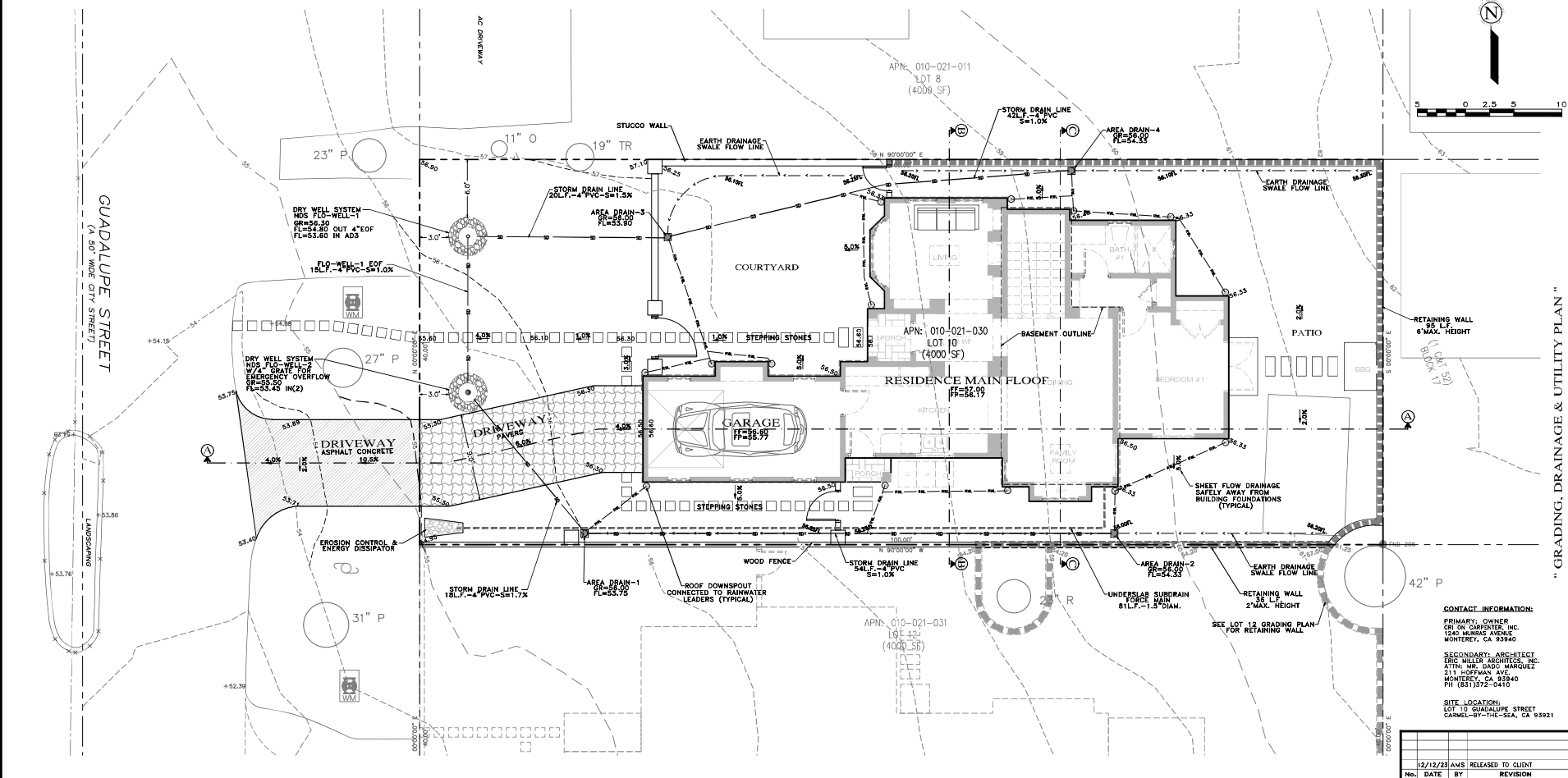
GRADING QUANTITIES:
CUT = 395 C.Y.
FILL = 0 C.Y.
NET = 395 C.Y. EXPORT

INDEX TO SHEETS

- SHEET C1 GRADING, DRAINAGE & UTILITY PLAN
- SHEET C2 GRADING SECTIONS
- SHEET C3 EROSION & SEDIMENT CONTROL PLAN
- SHEET C4 CONSTRUCTION MANAGEMENT PLAN



APPROVED BY:
CS
CITY ENGINEER



" GRADING, DRAINAGE & UTILITY PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
CRI RESIDENTIAL HOUSE LOT 10
APN: 010-021-030
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA

CONTACT INFORMATION:
PRIMARY OWNER
CRI ON CARPENTER, INC.
1240 MARINA AVENUE
MONTEREY, CA 93940

SECONDARY ARCHITECT
ERIC MILLER ARCHITECTS, INC.
ATTN: MR. DADO MARQUEZ
211 HOFFMAN AVE.
MONTEREY, CA 93940
PH: (831) 375-0410

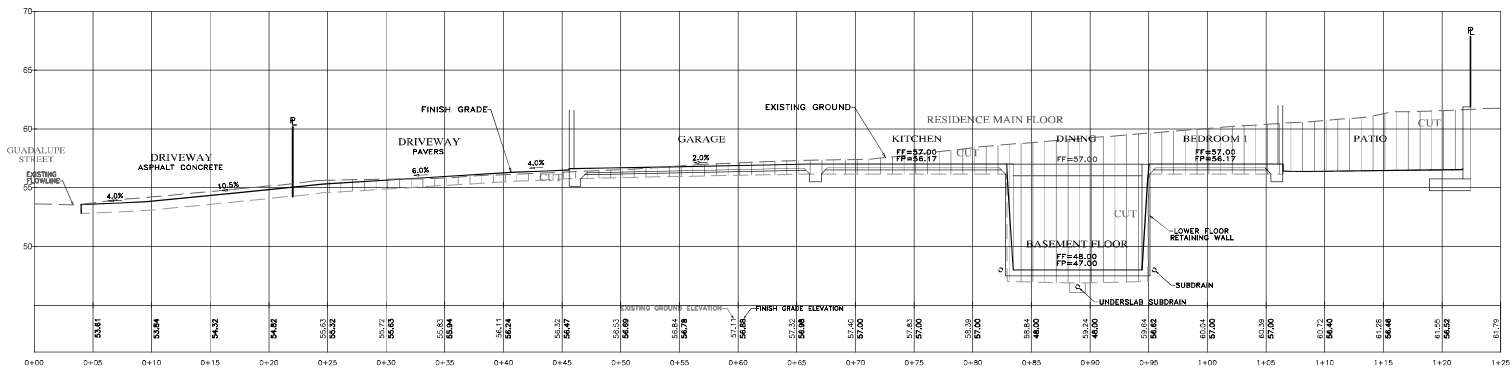
SITE LOCATION:
LOT 10 GUADALUPE STREET
CARMEL-BY-THE-SEA, CA 93921

SCALE: 1"=5'
DATE: DECEMBER 2023
JOB NO. 2143-03

No.	DATE	BY	REVISION

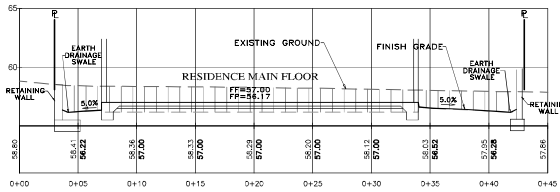
SHEET **C1**
OF 4 SHEETS

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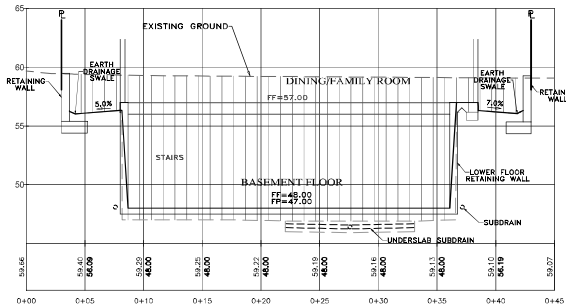


SECTION A-A
SCALE: 1"=5' H&V

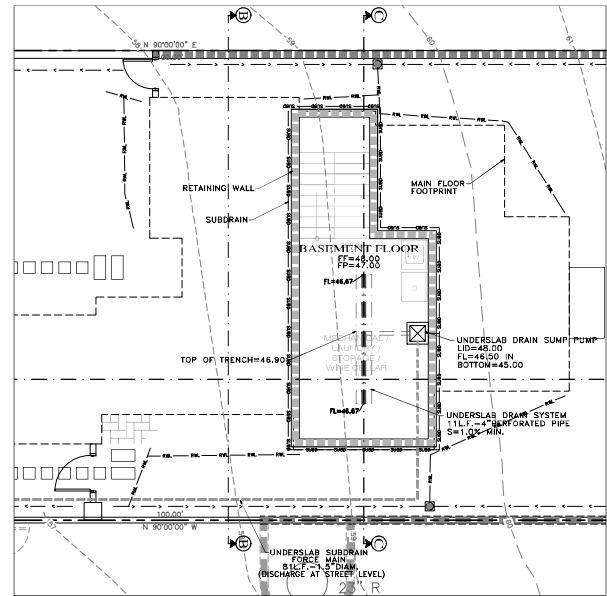
- NOTES:
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS;
 - INVESTIGATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT;
 - FOR SECTION LOCATIONS, SEE SHEET C1 "GRADING, DRAINAGE & UTILITY PLAN".



SECTION B-B
SCALE: 1"=5' H&V



SECTION C-C
SCALE: 1"=5' H&V



BASEMENT FLOOR
SCALE: 1"=5'



APPROVED BY:
G. E. CHIODO
G. E. CHIODO

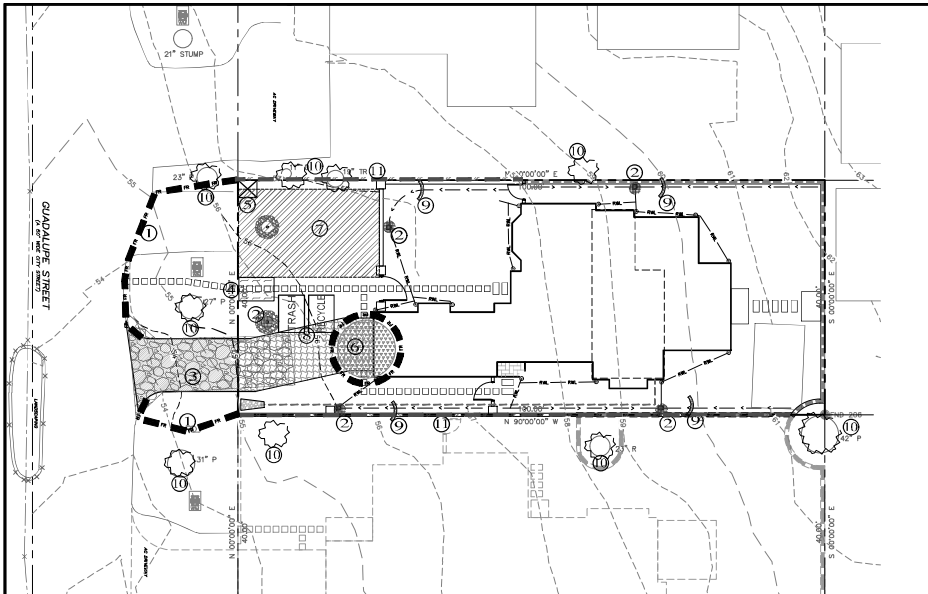


"1" GRADING SECTIONS"
GRADING, DRAINAGE & EROSION CONTROL PLAN
CRI RESIDENTIAL HOUSE LOT 10
A.P.N.: 010442-1-040
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
FOR
CRION CARPENTER, INC.

SCALE: 1"=5' H&V
DATE: OCTOBER 2023
JOB NO. 2143-03

SHEET		C2	
No.	DATE	BY	REVISION
	12/12/23	AHS	RELEASED TO CLIENT
			OF 4 SHEETS

202307-0143 - CRI RES-0143 - 10/10/2023-0143 - 1/0 - 08/08/2023/0143/001



PLAN
SCALE: 1"=10'

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE CITY OF CARMEL-BY-THE-SEA EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO MAY 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR TO THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND RESEED WITH STRAW MULCH COVER. MULCH SHALL BE APPLIED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEMAND NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: *BROMUS CARINATUS* (CALIFORNIA BROME), *VULPIA MICROSTACHYS* (NUTTALL'S FESCUE), *ELYMUS GLAUCUS* (BLUE WILD RICE), *HODDUM BRACHTANTHERUM* (MEADOW BUNT), *FESTUCA RUNKULATA* BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO THE CITY OF CARMEL-BY-THE-SEA PRIOR TO BEG. WORK.

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	---	X
2. Verify excavations are extended to proper depth and have reached proper material	---	X
3. Perform classification and testing of compacted fill materials	---	X
4. Verify use of proper materials, densities and fill placement including placement and compaction of compacted fill	X	---
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	---	X

CONSTRUCTION INSPECTION REQUIREMENTS

- A- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SUBMIT AN INSPECTION PLAN TO THE CITY OF CARMEL-BY-THE-SEA. THE INSPECTION PLAN SHALL DESCRIBE THE MEASURES TO BE TAKEN TO PREVENT EROSION AND SEDIMENT CONTROL MEASURES THAT ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL ORDINANCES.
- B- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH GEO-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, AS TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH GEO-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION. COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

- LEGEND:**
- 1) FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG EXPOSED SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
 - 2) DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRAVE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
 - 3) STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). RESPECT EXISTING DRAINS, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
 - 4) CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
 - 5) SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAMINANT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN METERS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
 - 6) STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED THREE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL, AND SURROUNDED BY A BERM.
 - 7) CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELS. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS AND COVERED AT ALL TIMES. ALL PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITH SECONDARY CONTAMINANT TRAYS LOCATED ON A STORAGE BED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMBLE WIDE X 2 BAGS HIGH CLEANUP MATERIAL SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
 - 8) WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERPROOF DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. HAZARDOUS WASTES SHALL BE STORED IN WATERPROOF DUMPSTERS AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
 - 9) GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, HIGH TENSILE, OR POLYESTER FABRIC, WITH UNIT WEIGHT OF 400-500 LB/CS. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 3/4" CRUSHED ROCK. TIGHTLY AMP BAGS AND CONSTRUCT CHECK DAM AT LEAST 8 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
 - 10) TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE TRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO AVOID PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
 - 11) SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 6 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LAMBER, SPACED A MAXIMUM OF 8' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEPT TIGHT TO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS, TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)
Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project. All Year Long.

MATERIALS & WASTE MANAGEMENT

- Non-hazardous materials and hazardous waste (e.g., paint, solvents, oil, and antifreeze) in containers shall be stored in a secondary containment tray.
- Store hazardous materials and waste in appropriate secondary containment, and store them at the end of every work day or during non-work hours when it is feasible.
- Apply manufacturer's application instructions for hazardous materials and spill cleanup materials as soon as necessary. Do not apply cleanup materials when rain is forecast.
- Consult with a licensed professional to determine the appropriate disposal of hazardous waste.
- Establish and maintain effective petroleum controls, and establish all construction entrances and exits to sufficiently control erosion and sediment discharge from site and tracking off site.

EQUIPMENT MANAGEMENT & SPILL CONTROL

- Maintenance and Parking
 - Develop an area, free with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform minor maintenance, repair jobs, and vehicle and equipment washing off-site.
 - If washing or vehicle maintenance must be done on-site, and a limited area away from storm drains and over a drip log through an oil-water separator, collect or dispose of fluids in hazardous waste.
 - If fluids in equipment cleaning must be done on-site, clean with water only in a limited area with drip logs through an oil-water separator. (do not use oil, antifreeze, or other fluids.)
 - Do not cut, jack, or lift equipment on-site using ramps, jacks, supports, etc.
 - If fluids in equipment cleaning must be done on-site, clean with water only in a limited area with drip logs through an oil-water separator. (do not use oil, antifreeze, or other fluids.)
 - Do not cut, jack, or lift equipment on-site using ramps, jacks, supports, etc.
 - If fluids in equipment cleaning must be done on-site, clean with water only in a limited area with drip logs through an oil-water separator. (do not use oil, antifreeze, or other fluids.)
- Spill Prevention and Control
 - Keep spill cleanup supplies (e.g., absorbents, etc.) available at all construction sites at all times.
 - Inspect vehicles and equipment regularly for any leaks or drips.
 - Use the drip pan to catch leaks until repairs are made.
 - Clean up spills or leaks immediately and dispose of cleanup material properly (see the Monterey Regional Waste Management Director's website).
 - Use spill containment berms (e.g., sandbags, etc.) to contain spills.
 - Use spill containment berms (e.g., sandbags, etc.) to contain spills.
 - Use spill containment berms (e.g., sandbags, etc.) to contain spills.
- Equipment Cleaning
 - Use spill containment berms (e.g., sandbags, etc.) to contain spills.
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 - Use spill containment berms (e.g., sandbags, etc.) to contain spills.

FAIRWAY & CONTAMINATED SOILS

- Erosion Control
 - Schedule grading and excavation work for dry weather only.
 - Minimize all disturbed areas, install and maintain temporary erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.
 - Use straw mulch or other appropriate erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.
 - Use straw mulch or other appropriate erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.
- Soil Protection
 - Use straw mulch or other appropriate erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.
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PAVING/ASPHALT WORK

- Use straw mulch or other appropriate erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.
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CONCRETE, GROUT & MORTAR APPLICATION

- Use straw mulch or other appropriate erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.
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PAINTING & PAINT RENOVATION

- Use straw mulch or other appropriate erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.
- Use straw mulch or other appropriate erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.
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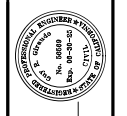
DEWATERING

- Use straw mulch or other appropriate erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.
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LANDSCAPE MATERIALS

- Use straw mulch or other appropriate erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.
- Use straw mulch or other appropriate erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.
- Use straw mulch or other appropriate erosion control devices (e.g., erosion control fabric, straw mulch, etc.) on exposed soil.

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



APPROVED BY:
JAMES CARPENTER
CITY OF CARMEL

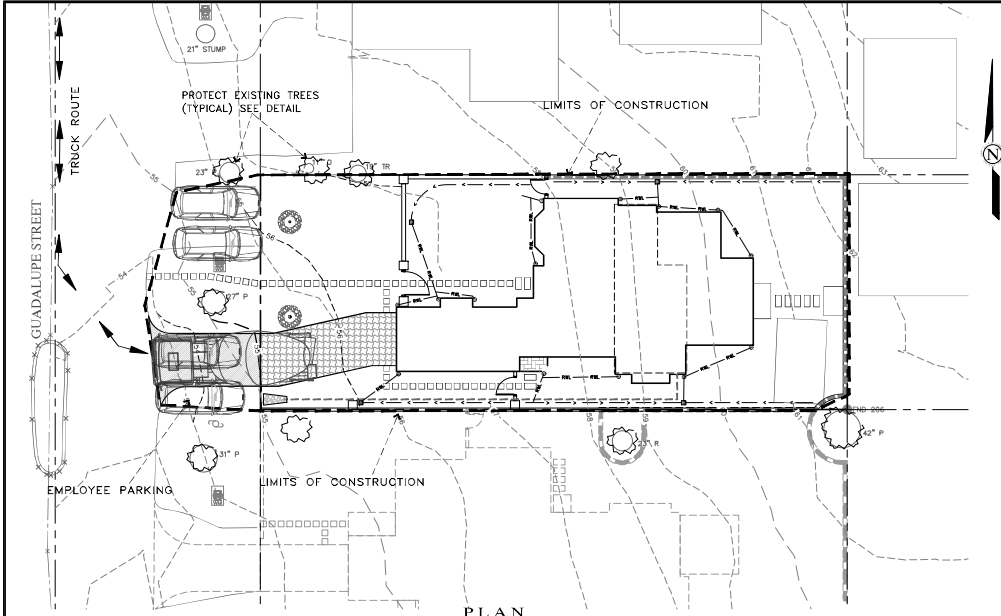


EROSION & SEDIMENT CONTROL PLAN
CRI RESIDENTIAL HOUSE LOT 10
A.P.N.: 010-021-0-30
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
CRI ON CARPENTER, INC.

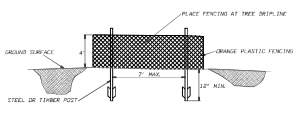
SCALE: AS SHOWN
DATE: DECEMBER 2023
JOB NO: 2143-03

SHEET **C3**
OF 4 SHEETS

12/15/23	AM	RELEASED TO CLIENT
NO.	DATE	BY
		REVISION



PLAN
SCALE: 1"=10'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CML ENGINEERING PLANS BY LANDSET ENGINEERS, INC.
395 CY CUT
0 CY FILL

CONSTRUCTION STAGING:
RESPECT EXISTING HARDSCAPE AND OFF-HAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM MINOR GRADING, CONSTRUCT STRUCTURES, AND INSTALL UNDERGROUND UTILITIES. EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON GUADALUPE STREET AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THE ARE USED PROMPTLY AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO CARPENTER STREET, TO FIRST AVENUE, TO GUADALUPE STREET. (HAUL TRUCKS EXIT IN THE SAME FASHION) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE IF NECESSARY ON GUADALUPE STREET. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAIL B AND C TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LAKE OBSTRUCTION, THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. QUALITY PARKING SHALL BE IN LEGAL SPACES ALONG GUADALUPE STREET, OBSERVING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

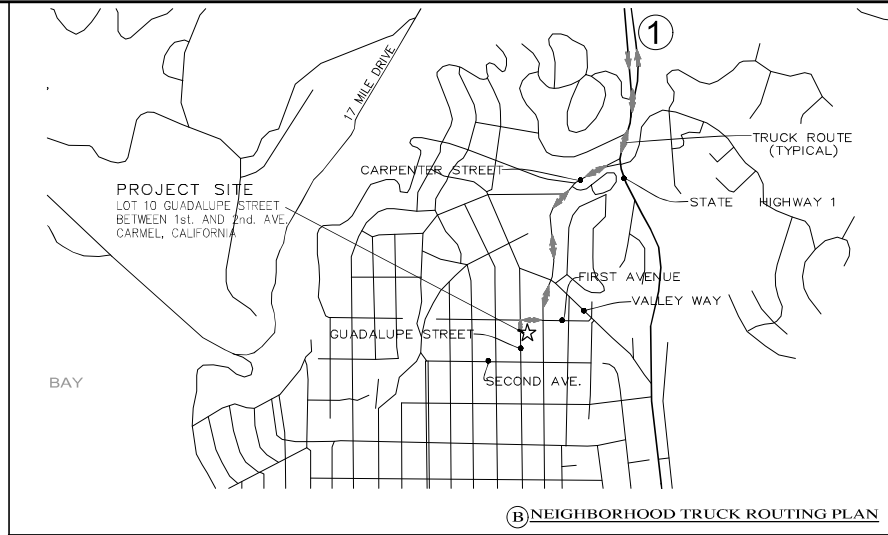
CONSTRUCTION STAGING PLAN
SCALE: 1"=30'

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	2	1
GRADING & SOIL REMOVAL (EXPORT)	20	4
ENGINEERING MATERIALS (IMPORT)	2	2
TOTALS	24	7

TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
- THERE ARE 395 CY OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY. THE AVERAGE BETWEEN 0-9 "10" CUBIC YARDS.
- NUMBER OF EMPLOYEES/DAY: 6-10
- HOURS OF OPERATION/DAY: 4
- PROJECT SCHEDULING: PROJECTED START DATE IS JANUARY 2024, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



(B) NEIGHBORHOOD TRUCK ROUTING PLAN



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

NO.	DATE	BY	REVISION

APPROVED BY: [Signature]

LANDSET ENGINEERS, INC.
1000 S. GARDEN ST., SUITE 100
SANTA ANA, CALIFORNIA 92707-1443
WWW.LANDSET.COM

CONSTRUCTION MANAGEMENT PLAN

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
CRI RESIDENTIAL HOUSE LOT 10
A.P.N.: 010-0-021-030
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
CRI ON CARPENTER, INC.

SCALE: AS SHOWN
DATE: DECEMBER 2023
JOB NO. 2145-03

SHEET **C4**
OF 4 SHEETS