

# CRI - RESIDENTIAL DEVELOPMENT

## Lot #12 Guadalupe Street Carmel-by-the-Sea, CA 93921

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE  
 MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

TITLE SHEET / PROJECT DATA  
 JOB NAME:  
**CRI - Residential House Lot #12**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-031

DATE: 5/5/23  
 SCALE: N.T.S.  
 DRAWN: JK/DM  
 JOB NUMBER: 20.05

**A-1**  
 SHEET OF

### PROJECT DATA

ADDRESS: LOT #12 GUADALUPE STREET  
CARMEL BY THE SEA, CA 93921

PROJECT DESCRIPTION: CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING WITH ATTACHED GARAGE, CONSISTING OF: 964 S.F. MAIN FLOOR, 593 S.F. UPPER FLOOR, 243 S.F. GARAGE AND 200 S.F. BASEMENT.

LOT SIZE: \_\_\_\_\_ 4,000.0 S.F.  
 ZONING: \_\_\_\_\_ RI  
 A.P.N.: \_\_\_\_\_ 010-021-031-000  
 TYPE OF CONSTRUCTION: \_\_\_\_\_ ( V-B )

SETBACK

FRONT \_\_\_\_\_ 15'  
 REAR \_\_\_\_\_ 15'  
 SIDE \_\_\_\_\_ 25% OF LOT WIDTH - 10' MAX.

BUILDING HEIGHT — ONE STORY PLATE HT. - 12'  
 2ND STORY PLATE HT. - 18'  
 MAX ROOF HT. - 24.0'

F.A.R. FLOOR AREA CALCULATIONS	
MAIN FLOOR AREA	930 S.F.
GARAGE	243 S.F.
UPPER FLOOR AREA	593 S.F.
<b>SUB - TOTAL</b>	<b>1,766 S.F.</b>
MAX. FLOOR AREA ALLOWED	1,800 S.F.
AREA ALLOWED TOWARD BASEMENT	1,800 - 1,766 = 34 S.F.
BASEMENT FLOOR AREA (34 x 2)	68 S.F.
BASEMENT BONUS	100 S.F.
<b>TOTAL</b>	<b>1,934 S.F.</b>
<b>PROJECT FLOOR AREA = 1,934 SF.</b>	

### PROJECT TEAM

OWNER: CRI ON CARPENTER, INC.  
 HITESH DESAI - CEO  
 1240 MUNRAS AVENUE  
 MONTEREY, CA 93940  
 PH: 510-853-2100

ARCHITECT: ERIC MILLER ARCHITECTS, INC.  
 211 HOFFMAN AVE.  
 MONTEREY, CA 93940  
 PH: 831-312-0410  
 CONTACT: LUYEN VU

SURVEYOR: LANDSET ENGINEERING  
 520-B CRAZY HORSE CANYON ROAD  
 SALINAS, CA 93907  
 PH: 831-443-6970  
 CONTACT: GUY GIRAUDO

LANDSCAPE: TOWN & COUNTRY GARDENING & LANDSCAPE  
 P.O. BOX 223748  
 CARMEL, CA 93923  
 PH: 831-596-7609  
 CONTACT: ROBERT LUSTER

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**ARCHITECTURAL**

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**LANDSCAPE**

L1 LANDSCAPE PLAN  
 L2A LANDSCAPE IRRIGATION & LIGHTING SPECS  
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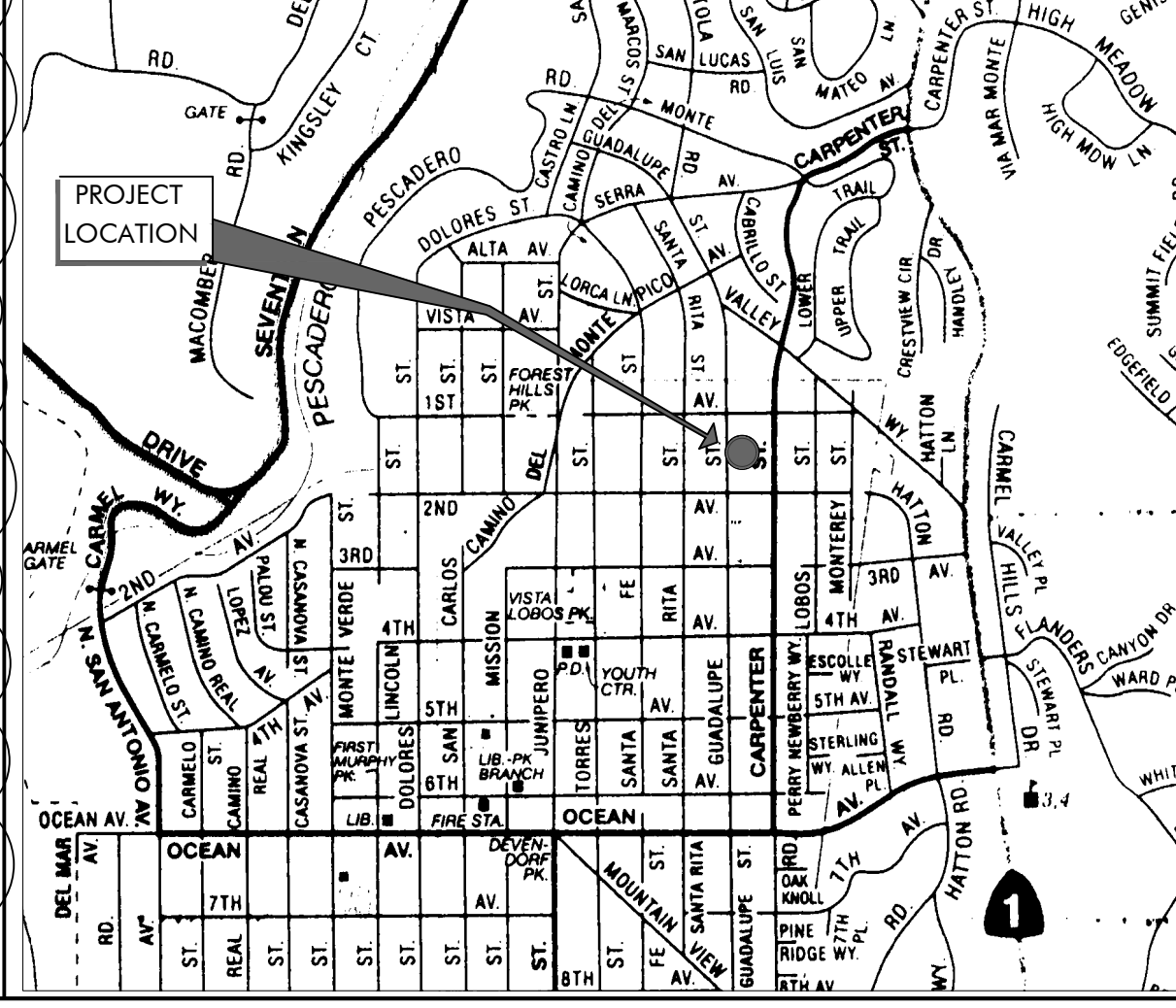
**CIVIL**

C1 GRADING, DRAINAGE & UTILITY PLAN  
 C2 GRADING SECTIONS  
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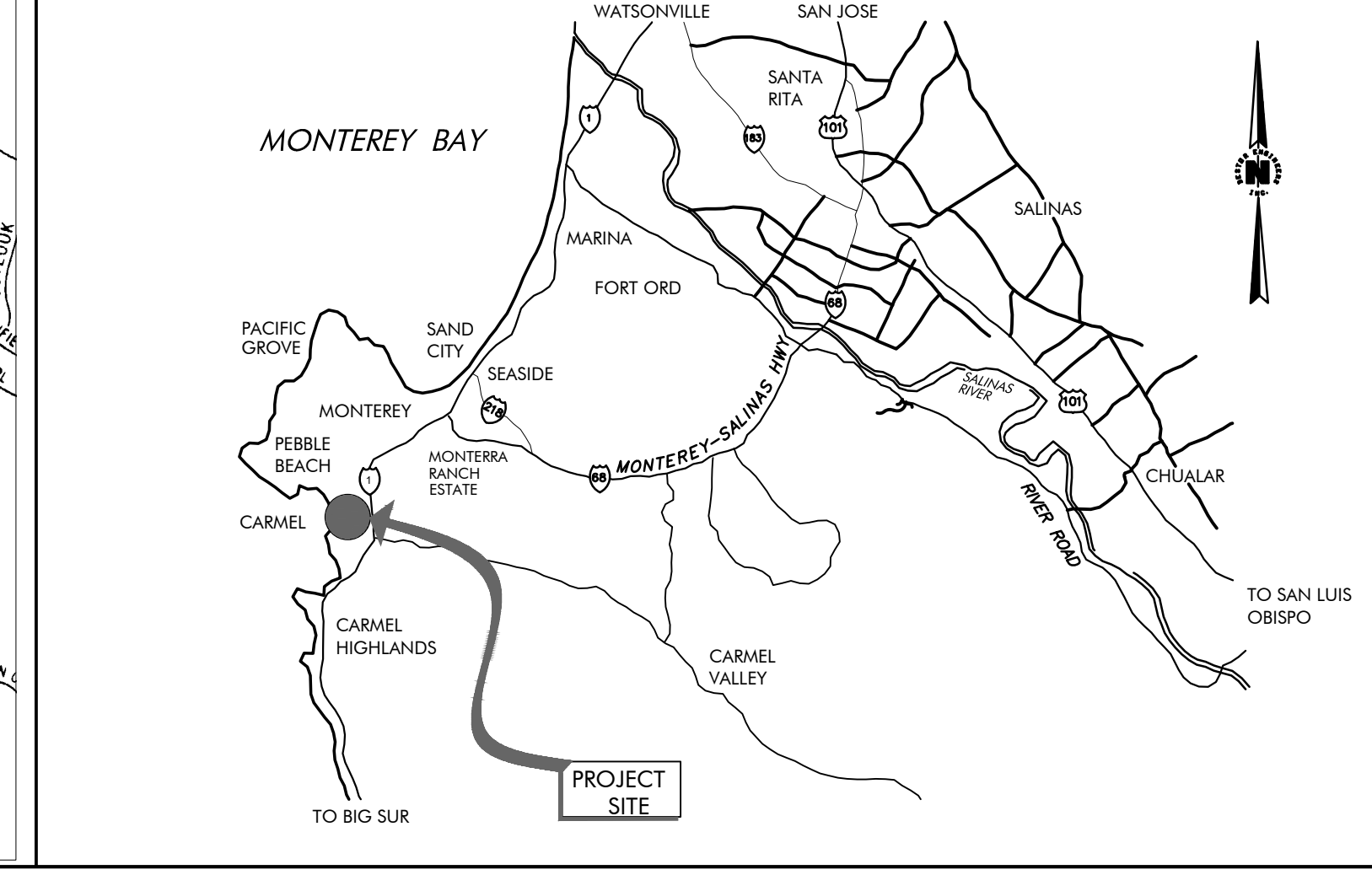
### SITE COVERAGE

ALLOWED	556.0 S.F.
PROPOSED IMPERVIOUS COVERAGE	
PORCHES, PATIOS	123.0 S.F.
LANDINGS	6.0 S.F.
SITE WALLS	27.0 S.F.
TOTAL IMPERVIOUS COVERAGE	156.0 S.F.
PROPOSED PERVIOUS COVERAGE	
DRIVEWAY	107.0 S.F.
STEPPING STONES	30.0 S.F.
BUILDING OVERHANGS	207.0 S.F.
TOTAL PERVIOUS COVERAGE	344.0 S.F.
TOTAL PROPOSED SITE COVERAGE	500.0 S.F.
SECOND FLOOR DECK	
FRONT DECK	149.0 S.F.
REAR DECK	234.0 S.F.
TOTAL:	383.0 S.F.

### LOCATION MAP



### VICINITY MAP



### OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
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- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/ EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

### TREE REMOVAL

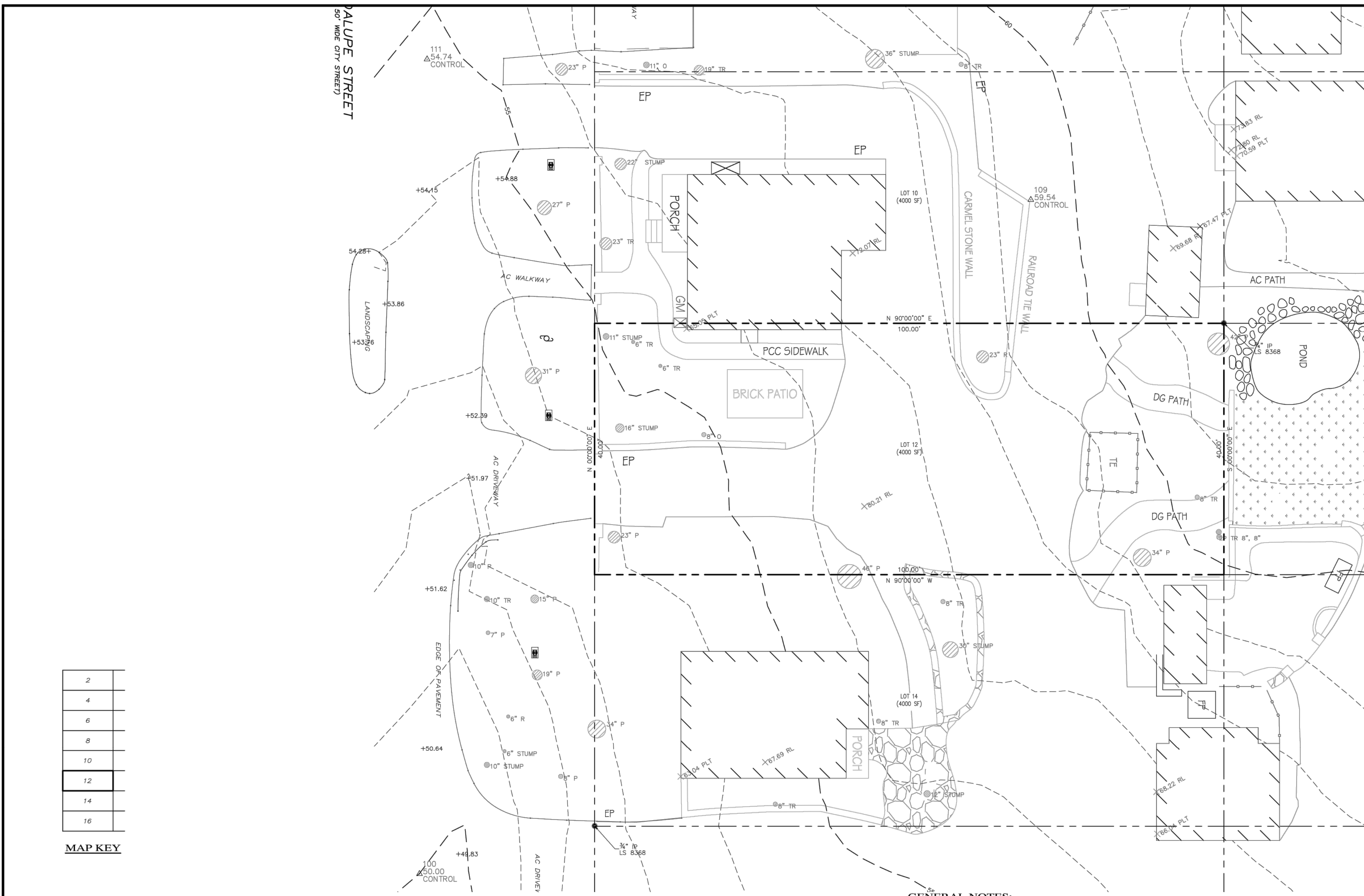
TWO (2) TREES TO BE REMOVED: TREE #33 (23" PINE), TREE #31 (46" PINE)

### EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCENT EQUIVALENT) IN POWER PER FIXTURE.

J:\20 Jobs\2005 CRI\DD\Lot-12\005-L12-A2a.dwg 12-21-23 09:26:55 AM

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPLICATION OR REPRODUCTION OF ANY KIND, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE TO HIS RIGHTS. REPRODUCTION OF THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE A FRAUDULENT VIOLATION OF THESE RESTRICTIONS.



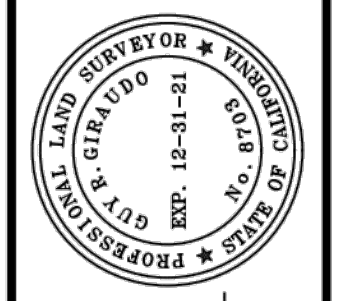
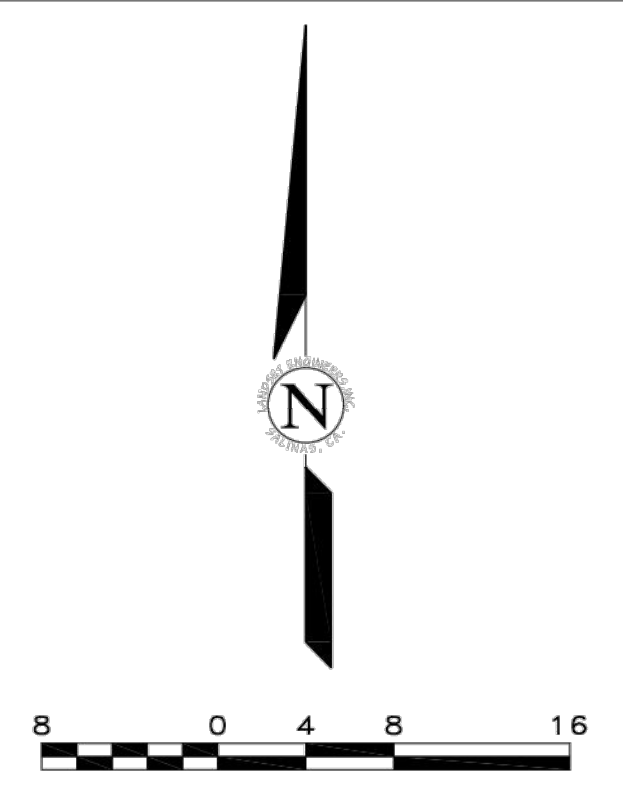
MAP KEY table with 2 columns and 8 rows showing contour line intervals from 2 to 16.

LEGEND table with 3 columns listing symbols for property boundaries, easements, and utility lines.

LEGEND table with 3 columns listing symbols for various utilities including gas, telephone, electrical, and water services.

LEGEND table with 3 columns listing symbols for trees, monuments, and spot elevations.

- GENERAL NOTES: 1) ELEVATIONS ARE BASED ON AN ASSUMED DATUM... 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED... 3) TREE TYPES ARE INDICATED WHEN KNOWN... 4) THIS MAP SERVES TO VALIDATE AND ADJUST PREVIOUS TOPOGRAPHIC INFORMATION... 5) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY...



APPROVED BY: GUY R. GIRAUDO, P.L.S. No. 8703



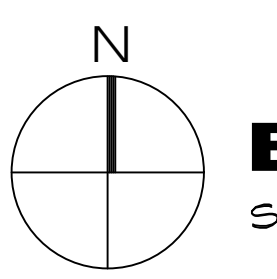
TOPOGRAPHIC MAP OF LOT 12 IN BLOCK 17 VOLUME 1 OF CITIES AND TOWNS AT PAGE 52 CARMEL-BY-THE-SEA, CALIFORNIA

MR. DON DESAI

CONTACT INFORMATION: OWNER: MR. DON DESAI, PO BOX 2106, MONTEREY, CA 93942. ARCHITECT: ATTN: LUYEN VU, ERIC MILLER ARCHITECTS, 211 HOFFMAN AVENUE, MONTEREY, CA 93940. SITE LOCATION: GUADALUPE ST., BETWEEN 1ST AND 2ND AVE, CARMEL-BY-THE-SEA, CA 93921.

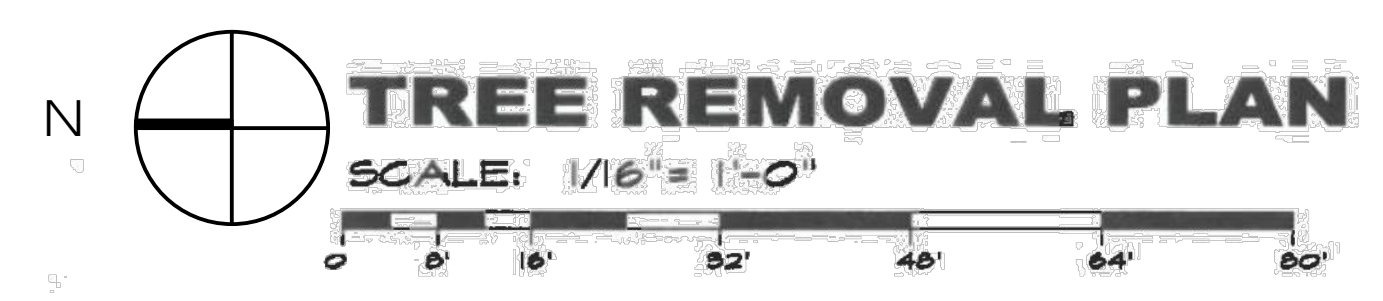
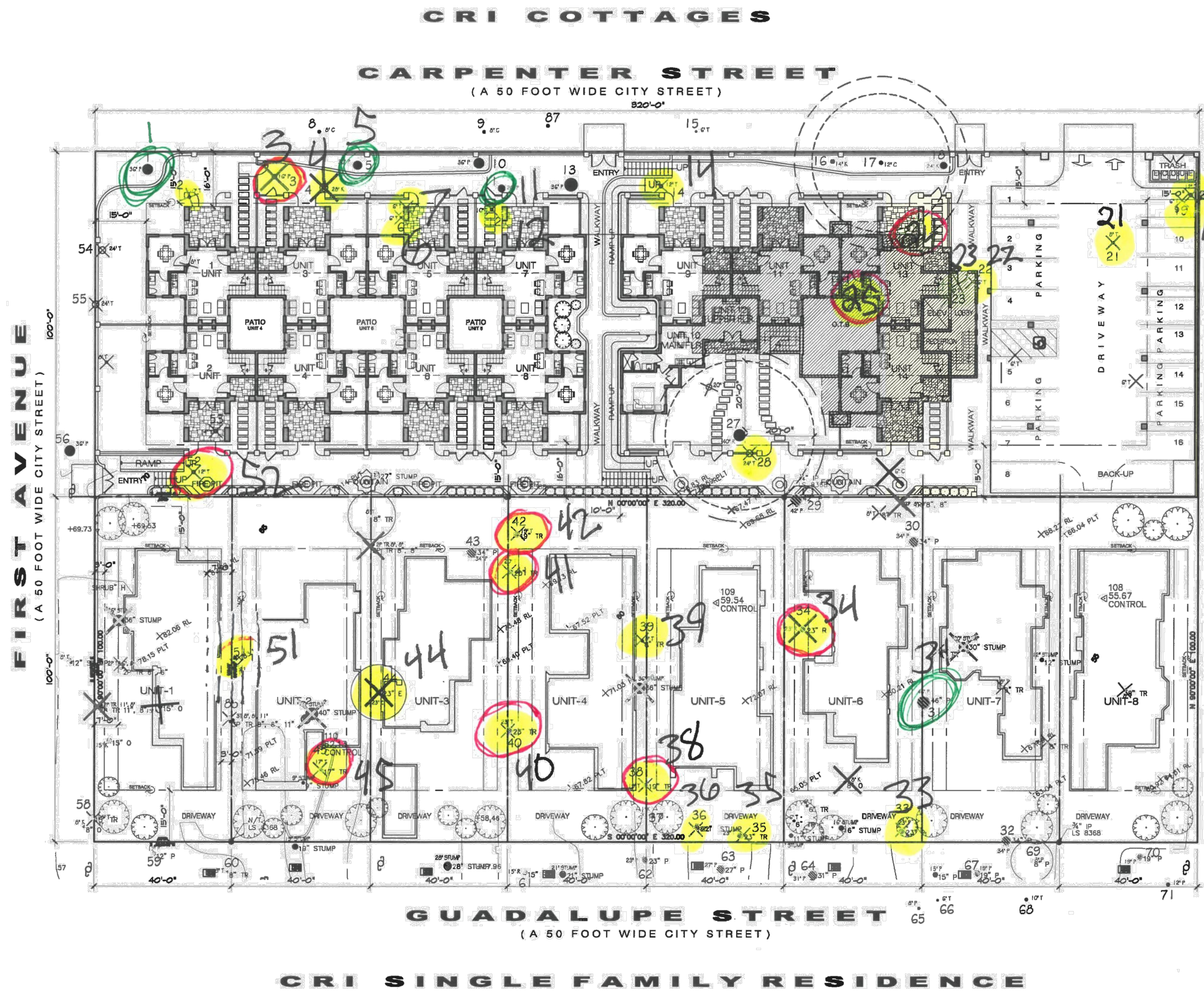
Table with 3 columns: No., DATE, BY. Row 1: 08/18/20, JK, RELEASED TO CLIENT. Row 2: No., DATE, BY, REVISION.

SCALE: 1" = 8' DATE: AUG 2020 JOB NO. 2143-01 SHEET 7 OF 9 SHEETS



EXISTING TOPOGRAPHIC SURVEY SCALE: N.T.S.

Vertical sidebar containing revision table, consultant name (ERIC MILLER ARCHITECTS, INC.), architect name (MR. DON DESAI), job name (CRI - Residential House Lot #12), date (5/5/23), scale (N.T.S.), and sheet number (A-2a).



LEGEND		TREES TO BE REMOVED FOR CRI COTTAGES
(T) TREE	(7) 6", (3) 8", (2) 10", (3) 12", (1) 14", (1) 18", (1) 20", (3) 24"	21 - TREES
(O) OAK	(1) 28"	1 - OAK
(C) CYPRESS	(1) 6"	1 - CYPRESS
(P) PINE	(1) 16"	1 - PINE
TOTAL NUMBER OF TREES TO BE REMOVED = 24		

LEGEND		TREES TO BE REMOVED FOR CRI SINGLE FAMILY RESIDENCE
(T) TREE	(8) 8", (2) 11", (1) 15", (1) 17", (2) 19", (1) 20", (1) 22", (2) 23"	18 - TREES
(O) OAK	(1) 8", (1) 15"	2 - OAK
(P) PINE	(2) 6", (3) 8", (1) 11"	6 - PINE
(R) REDWOOD	(1) 23"	1 - REDWOOD
(E) EUCALYPTUS	(1) 23"	1 - EUCALYPTUS
STUMP	(1) 30", (2) 36", (1) 40"	4 - STUMPS
TOTAL NUMBER OF TREES TO BE REMOVED = 28		
TOTAL NUMBER OF STUMPS TO BE REMOVED = 4		

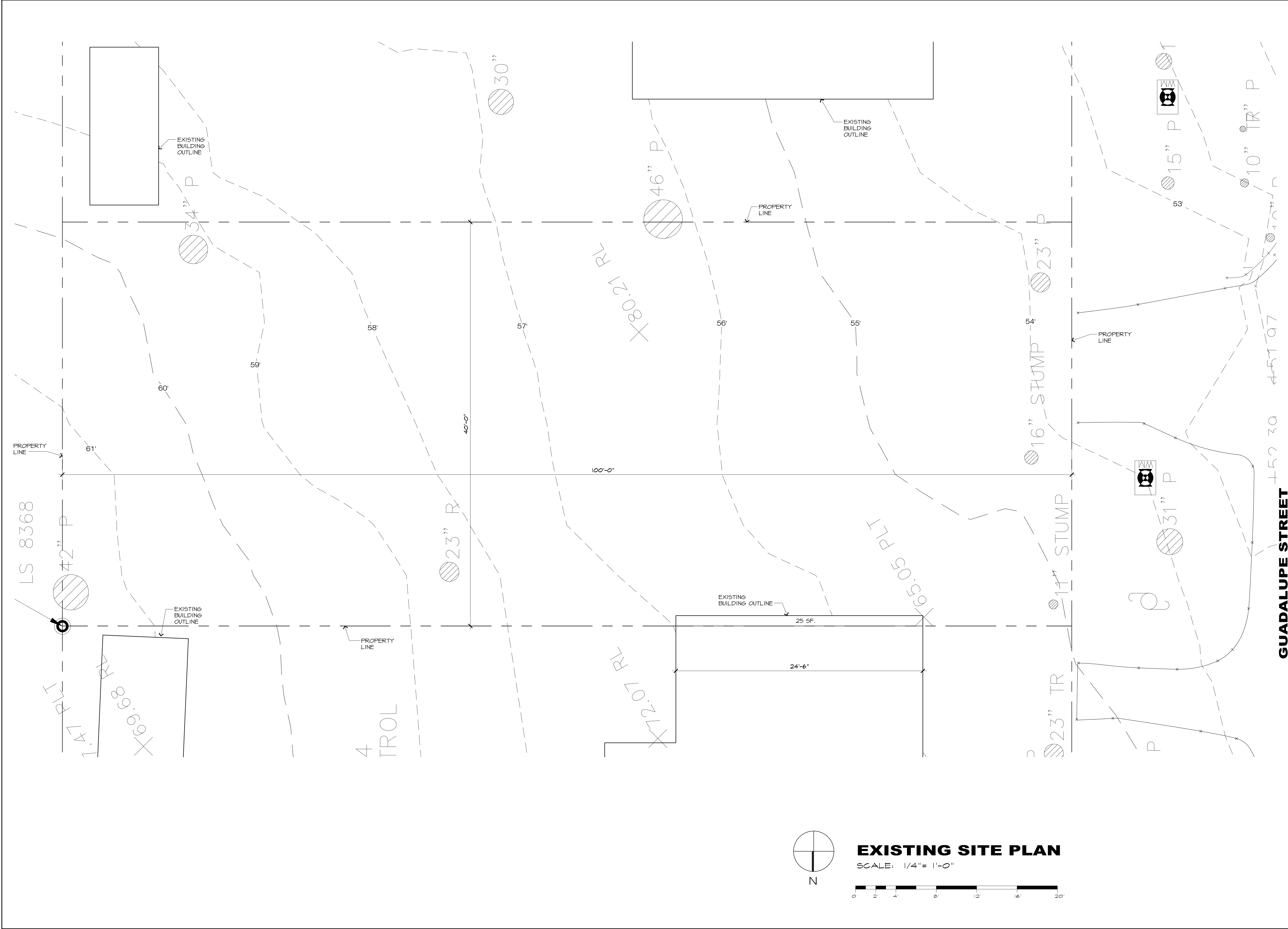
TOTAL NUMBER OF TREES TO BE REMOVED = 52  
TOTAL NUMBER OF STUMPS TO BE REMOVED = 4

- NOTES:**
- TREE PROTECTION ZONE - THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18" RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER.
  - STRUCTURAL ROOT ZONE - STRUCTURAL ROOT ZONE SHALL BE 6 FEET FROM THE TRUNK OR 6" RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER.

**ERIC MILLER ARCHITECTS, Inc.**

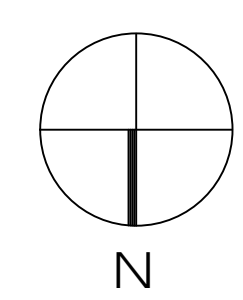
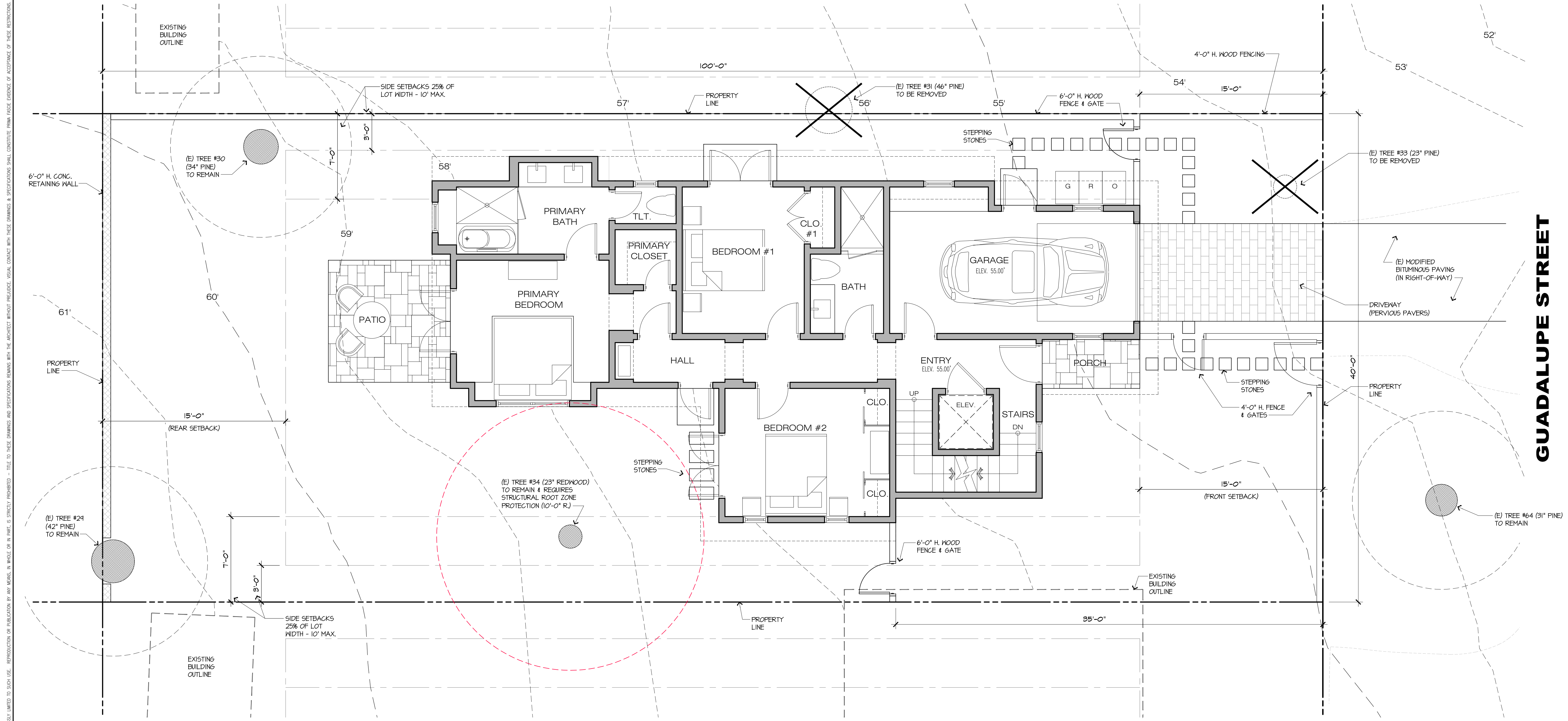
211 HOFFMAN AVENUE MONTEREY, CALIFORNIA 93940 TEL: 831-372-0410

<p>CONSULTANT:</p> <p style="text-align: center;"><b>ERIC MILLER ARCHITECTS, INC.</b></p> <p style="text-align: center;">211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">REVISION</td> <td style="width: 50%;">No.</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	REVISION	No.						
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<p>ARCHITECT</p> <p><b>ERIC MILLER ARCHITECTS, Inc.</b></p> <p>211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>	<p>PRELIMINARY SITE ASSESSMENT PLAN</p> <p>JOB NAME: <b>CRI - Residential House Lot #12</b> Guadalupe St. between 1st &amp; 2nd Ave. Carmel-by-the-Sea, CA 93921 A.P.N. 010-021-051</p>								
<p>DATE: 5/5/23</p> <p>SCALE: N.T.S.</p> <p>DRAWN: CAD</p> <p>JOB NUMBER: 20.05</p>	<p style="font-size: 2em; font-weight: bold;">A-2b</p> <p>SHEET OF</p>								



**GUADALUPE STREET**

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△
CONSULTANT:	
ARCHITECT	
<b>ERIC MILLER ARCHITECTS, INC.</b> 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
EXISTING SITE PLAN	JOB NAME: <b>ERI - Residential House Lot #12</b> Guadalupe St. between 1st & 2nd Ave. Carmel-by-the-Sea, CA 93921 A.P.N. 010-021-031
DATE:	5/5/23
SCALE:	1/4" = 1'-0"
DRAWN:	JK
JOB NUMBER:	20.05
<b>A-3a</b>	
SHEET OF	



**PROPOSED SITE PLAN**  
SCALE: 1/4" = 1'-0"

SECOND FLOOR DECK	
FRONT DECK	149.0 S.F.
REAR DECK	234.0 S.F.
<b>TOTAL:</b>	<b>383.0 S.F.</b>

SITE COVERAGE	
ALLOWED	556.0 S.F.
PROPOSED IMPERVIOUS COVERAGE	
PORCHES, PATIOS	123.0 S.F.
LANDINGS	6.0 S.F.
SITE WALLS	27.0 S.F.
<b>TOTAL IMPERVIOUS COVERAGE</b>	<b>156.0 S.F.</b>
PROPOSED PERVIOUS COVERAGE	
DRIVEWAY	107.0 S.F.
STEPPING STONES	30.0 S.F.
BUILDING OVERHANGS	207.0 S.F.
<b>TOTAL PERVIOUS COVERAGE</b>	<b>344.0 S.F.</b>
<b>TOTAL PROPOSED SITE COVERAGE</b>	<b>500.0 S.F.</b>

REVISION	No.
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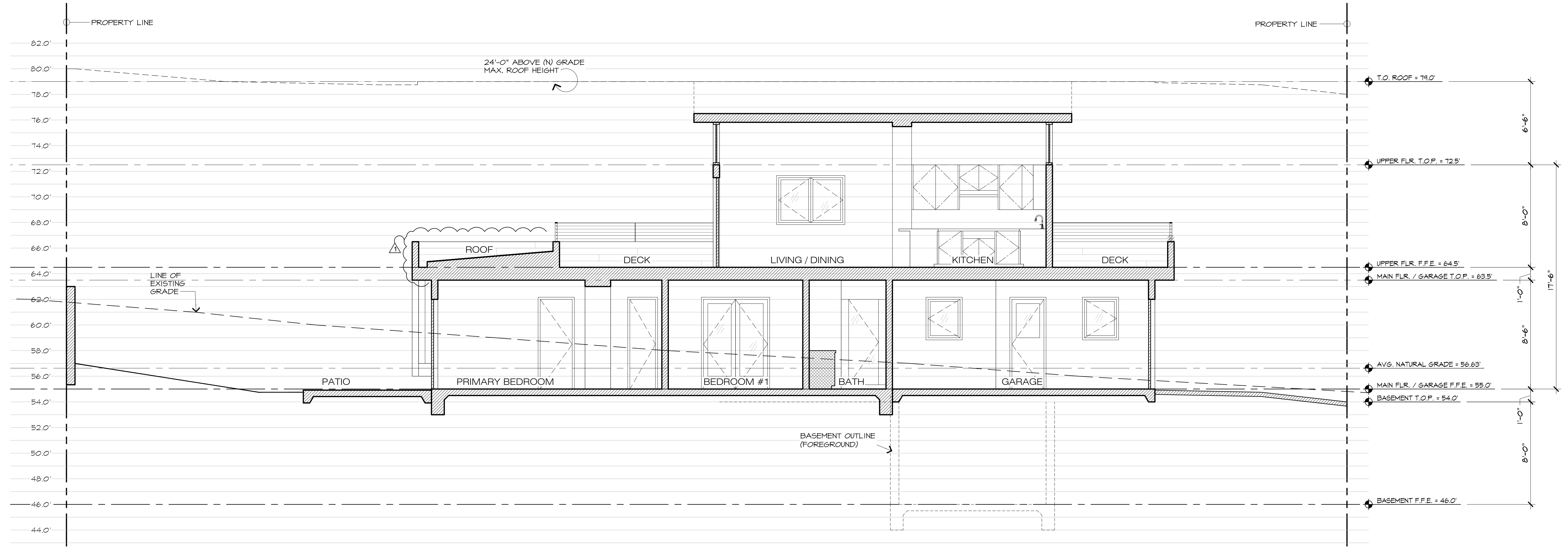
CONSULTANT:

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PROPOSED SITE PLAN

JOB NAME:  
**ERI - Residential House Lot #12**  
Guadalupe St. between 1st & 2nd Ave.  
Carmel-by-the-Sea, CA 93921  
A.P.N. 010-021-031

DATE: 5/5/23  
SCALE: 1/4"=1'-0"  
DRAWN: JK/DM  
JOB NUMBER: 20.05



**A PROPOSED SITE SECTION**

SCALE: 1/4" = 1'-0"  
 0 2 4 8 12 16 20

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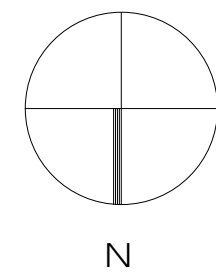
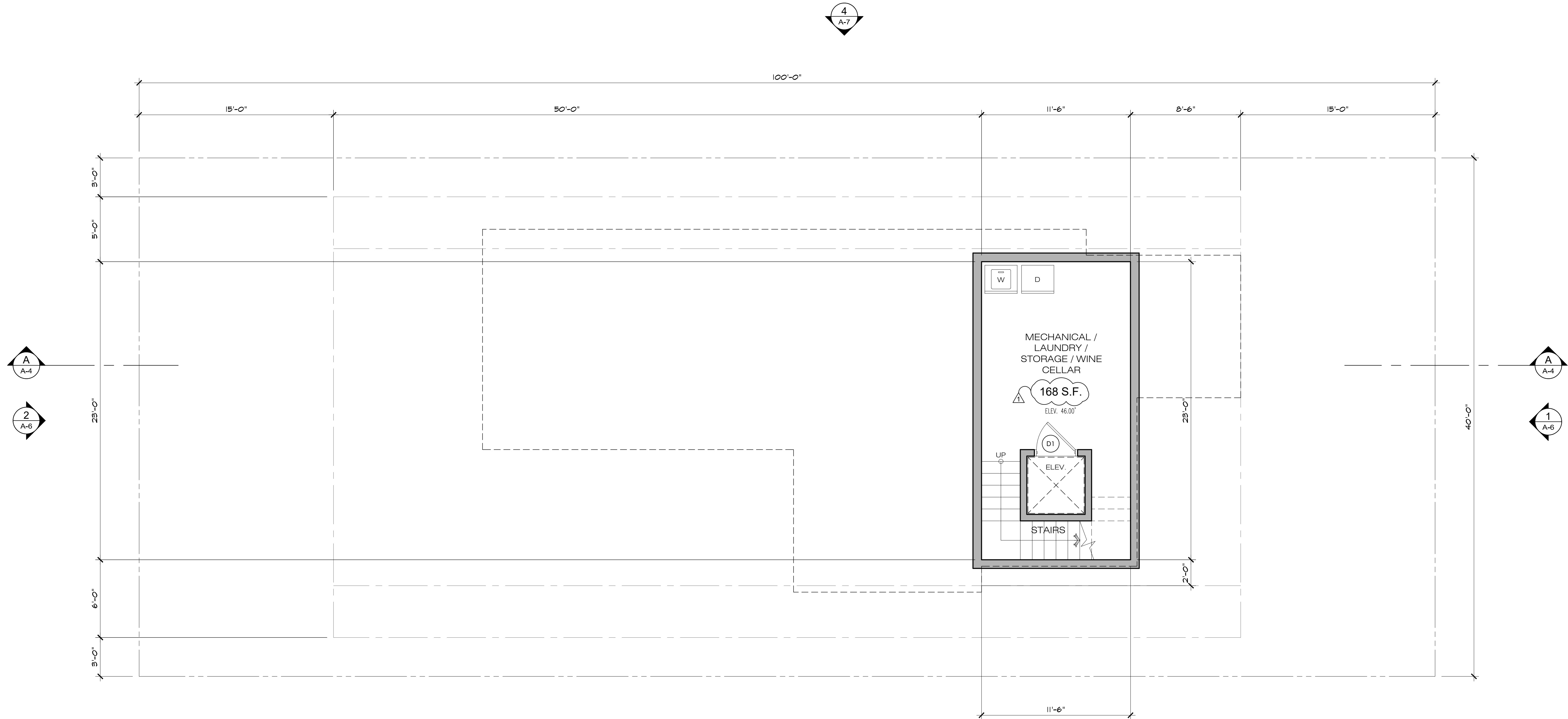
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**A-4**  
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\_DD



**BASEMENT FLOOR PLAN**

SCALE: 1/4" = 1'-0"



MAIN FLOOR AREA	930 S.F.
GARAGE	243 S.F.
UPPER FLOOR AREA	593 S.F.
<b>SUB - TOTAL</b>	<b>1,766 S.F.</b>
MAX. FLOOR AREA ALLOWED	1,800 S.F.
AREA ALLOWED TOWARD BASEMENT	1,800 - 1,766 = 34 S.F.
BASEMENT FLOOR AREA (34 x 2)	68 S.F.
BASEMENT BONUS	100 S.F.
<b>TOTAL</b>	<b>1,934 S.F.</b>

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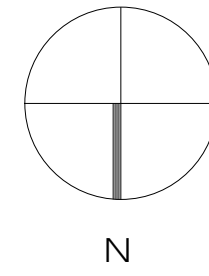
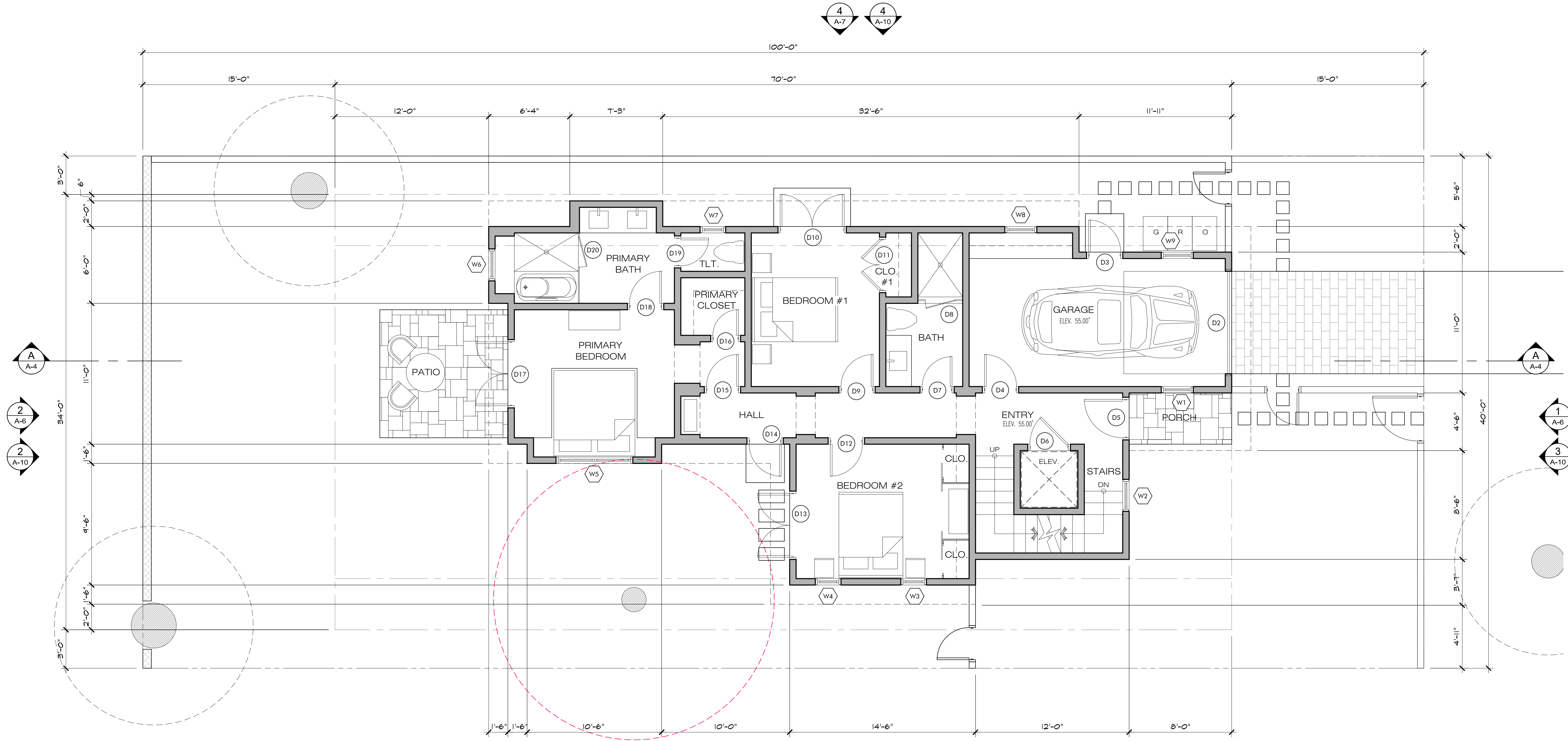
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ARCHITECT

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**A-5a**  
 SHEET OF



**MAIN FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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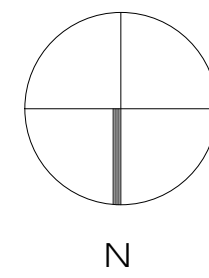
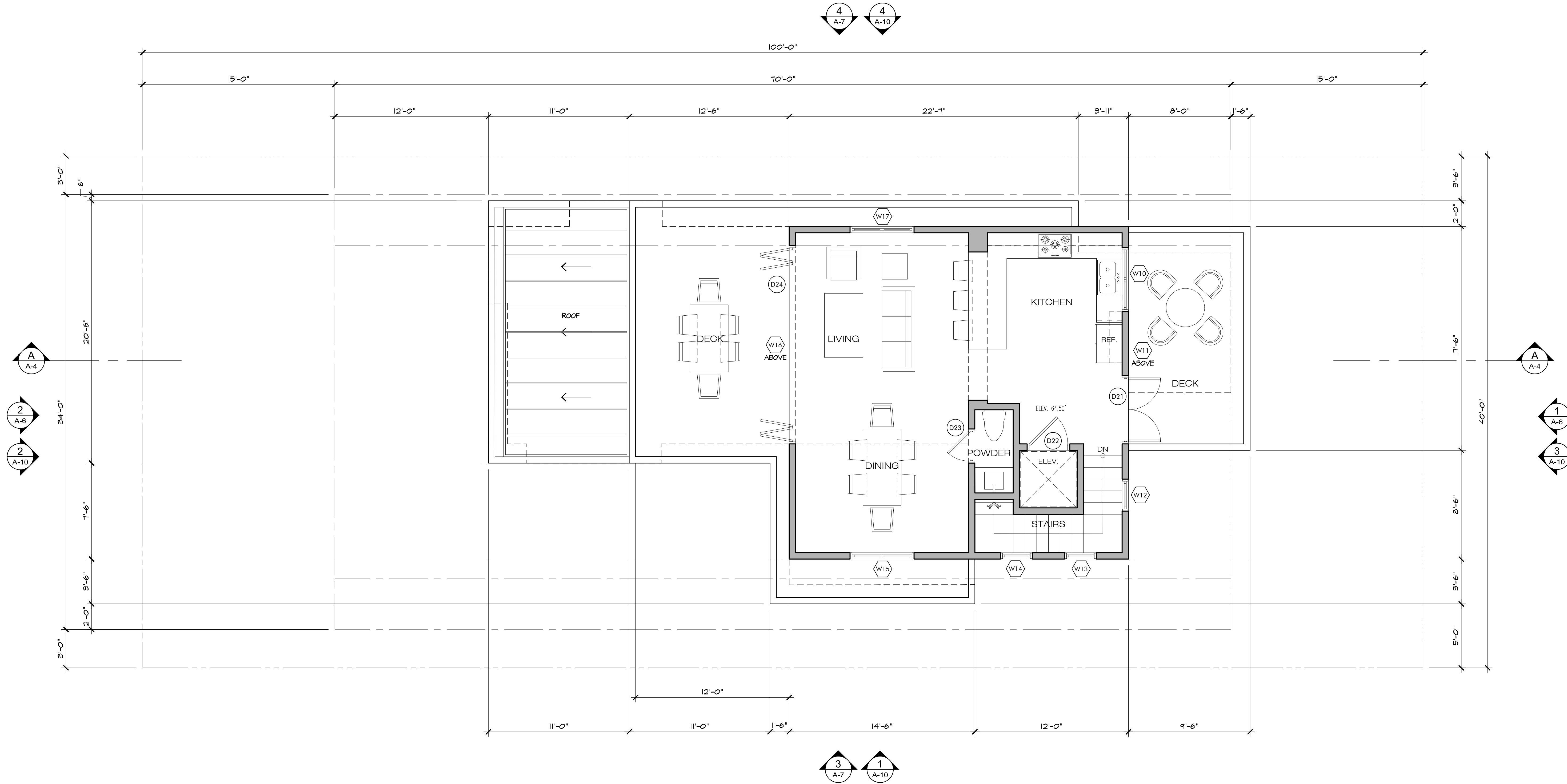
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**UPPER FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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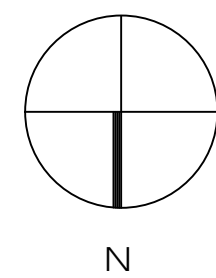
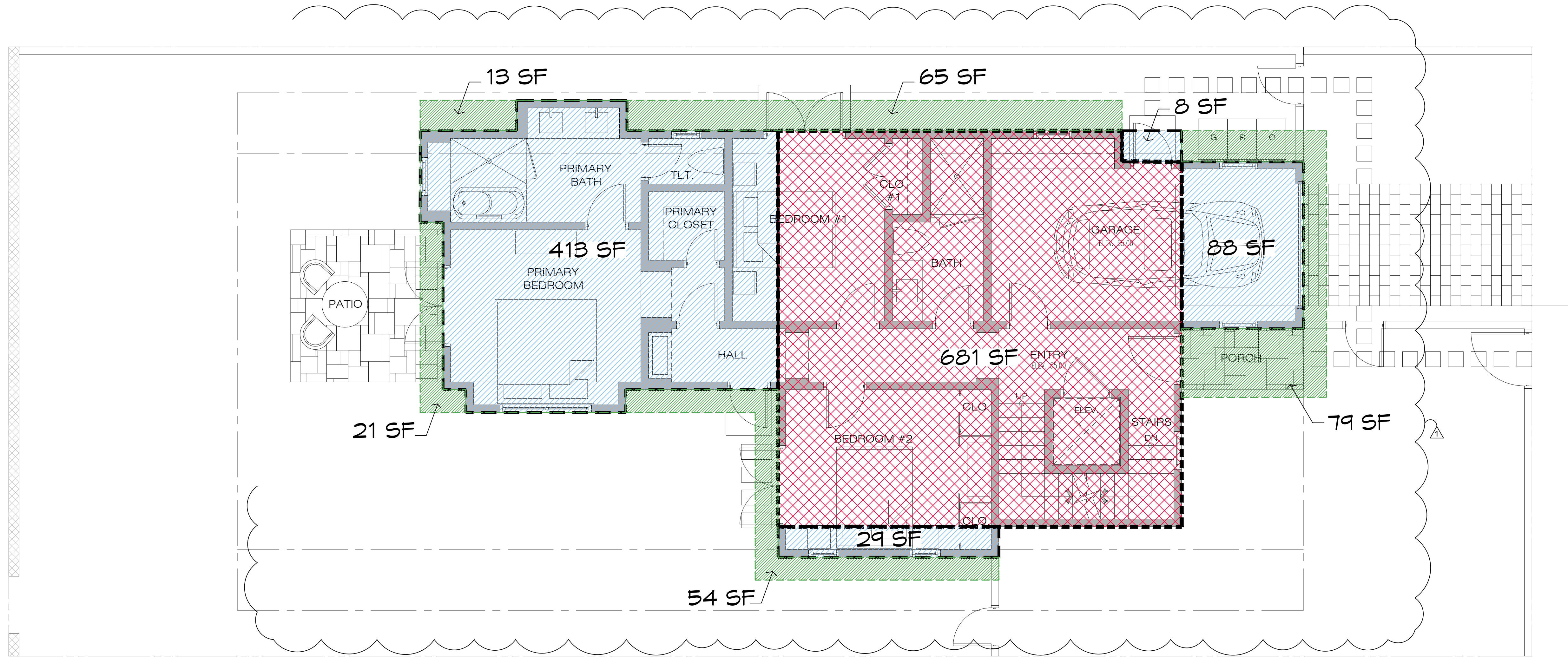
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 MONTEREY, CA 93940  
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ARCHITECT

UPPER FLOOR PLAN  
 JOB NAME:  
**ERI - Residential House Lot #12**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-031

DATE: 5/5/23  
 SCALE: 1/4"=1'-0"  
 DRAWN: JK/DM  
 JOB NUMBER: 20.05

**A-5c**  
 SHEET OF



**MAIN FLOOR & UPPER FLOOR OVERLAY**

SCALE: 1/4" = 1'-0"



LEGEND	
	OVERLAPPING & NON-OVERLAPPING FLOOR AREA
	OVERLAPPING FLOOR AREA = 681 S.F.
	NON-OVERLAPPING FLOOR AREA = 538 S.F.
	ROOF & DECK OVERHANG AREA = 232 S.F.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

ARCHITECT

**ERIC MILLER ARCHITECTS, INC.**

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MONTEREY, CA 93940  
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MAIN & UPPER FLOOR OVERLAY

JOB NAME:  
**ERI - Residential House Lot #12**  
Guadalupe St. between 1st & 2nd Ave.  
Carmel-by-the-Sea, CA 93921  
A.P.N. 010-021-031

DATE: 5/5/23

SCALE: 1/4"=1'-0"

DRAWN: JK/DM

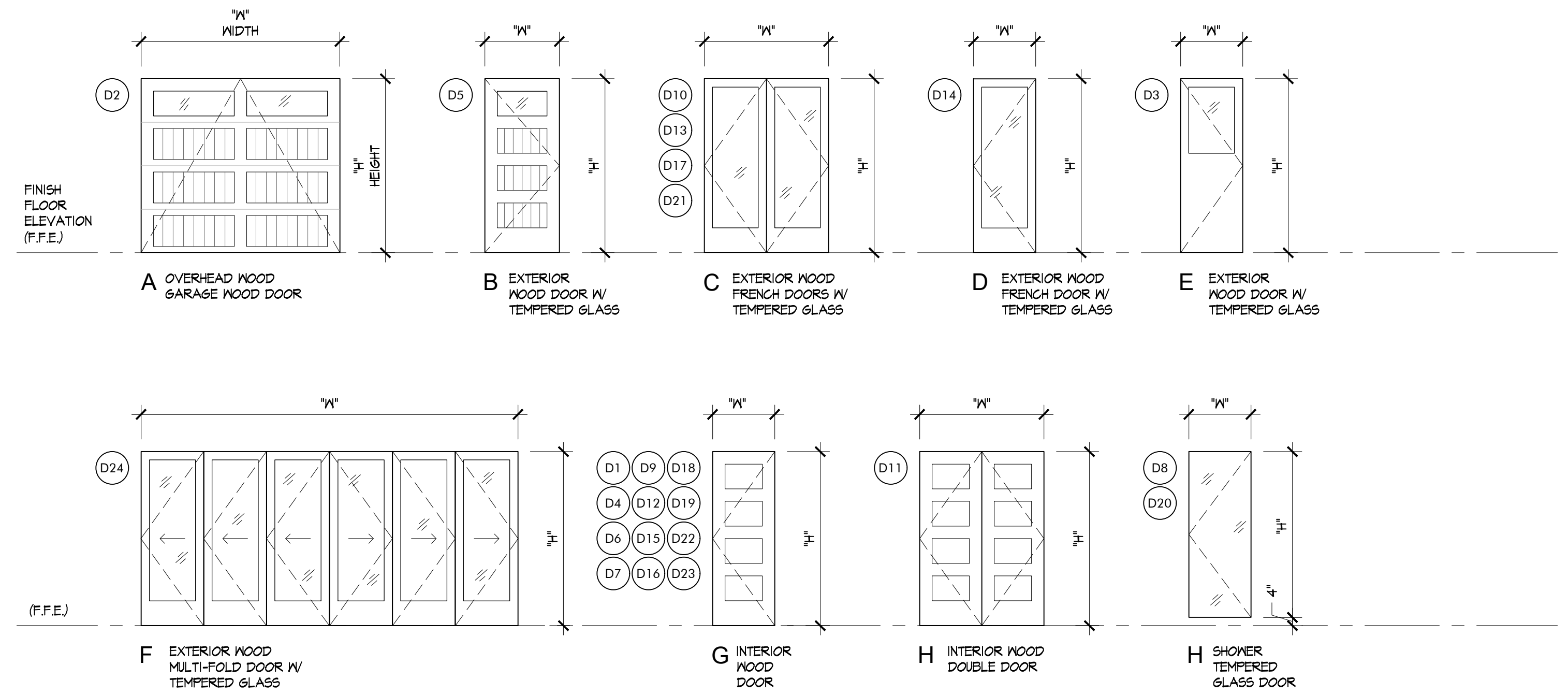
JOB NUMBER: 20.05

**A-5d**  
SHEET OF

# DOOR SCHEDULE

DOOR NO.	TYPE	"W"-DOOR WIDTH	"H"-DOOR HEIGHT	THKNS.	LOCATION - ROOM NUMBER	DOOR MATL.	FRAME MATL.	HEAD DETAIL	JAMB DETAIL	THRSHD. DETAIL	REMARKS
D1	G	3'-0"	7'-0"	1-3/4"	MECH. / STORAGE	WOOD	WOOD	--	--	--	ELEVATOR DOOR PER ELEV. MFR. REQUIREMENTS
D2	A	8'-0"	7'-0"	2-1/4"	GARAGE	WOOD	WOOD	--	--	--	OVERHEAD GARAGE DOOR, TEMPERED GLASS
D3	E	2'-6"	7'-0"	1-3/4"	GARAGE	WD./GL.	WOOD	--	--	--	TEMPERED GLASS
D4	G	2'-6"	7'-0"	1-3/4"	GARAGE	WOOD	WOOD	--	--	--	20 MIN. FIRE RATED, SEE NOTE 6
D5	B	3'-0"	7'-0"	1-3/4"	ENTRY	WD./GL.	WOOD	--	--	--	TEMPERED GLASS
D6	G	3'-0"	7'-0"	1-3/4"	ENTRY	WOOD	WOOD	--	--	--	ELEVATOR DOOR PER ELEV. MFR. REQUIREMENTS
D7	G	2'-4"	7'-0"	1-3/4"	BATH	WOOD	WOOD	--	--	--	--
D8	I	2'-4"	6'-8"	1/2"	BATH	GLASS	--	--	--	--	TEMPERED GLASS; SEE NOTE 10
D9	G	2'-6"	7'-0"	1-3/4"	BEDROOM #1	WOOD	WOOD	--	--	--	--
D10	C	5'-0"	7'-0"	1-3/4"	BEDROOM #1	WD./GL.	WOOD	--	--	--	TEMPERED GLASS
D11	H	4'-0"	7'-0"	1-3/4"	CLOSET #1	WOOD	WOOD	--	--	--	--
D12	G	2'-6"	7'-0"	1-3/4"	BEDROOM #2	WOOD	WOOD	--	--	--	--
D13	C	5'-0"	7'-0"	1-3/4"	BEDROOM #2	WD./GL.	WOOD	--	--	--	TEMPERED GLASS
D14	D	2'-6"	7'-0"	1-3/4"	HALL	WD./GL.	WOOD	--	--	--	TEMPERED GLASS
D15	G	2'-6"	7'-0"	1-3/4"	PRIMARY BEDROOM	WOOD	WOOD	--	--	--	--
D16	G	2'-0"	7'-0"	1-3/4"	PRIMARY CLOSET	WOOD	WOOD	--	--	--	--
D17	C	5'-0"	7'-0"	1-3/4"	PRIMARY BEDROOM	WD./GL.	WOOD	--	--	--	TEMPERED GLASS
D18	G	2'-6"	7'-0"	1-3/4"	PRIMARY BATH	WOOD	WOOD	--	--	--	--
D19	G	2'-2"	7'-0"	1-3/4"	PRIMARY TOILET	WOOD	WOOD	--	--	--	--
D20	I	2'-4"	6'-8"	1/2"	PRIMARY BATH	GLASS	--	--	--	--	TEMPERED GLASS; SEE NOTE 10
D21	C	5'-0"	7'-0"	1-3/4"	KITCHEN	WD./GL.	WOOD	--	--	--	TEMPERED GLASS
D22	G	3'-0"	7'-0"	1-3/4"	KITCHEN	WOOD	WOOD	--	--	--	ELEVATOR DOOR PER ELEV. MFR. REQUIREMENTS
D23	G	2'-4"	7'-0"	1-3/4"	POUNDER	WOOD	WOOD	--	--	--	--
D24	F	15'-2"	7'-0"	1-3/4"	LIVING	WD./GL.	WOOD	--	--	--	TEMPERED GLASS

# DOOR TYPES



# DOOR NOTES

- ALL NEW DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED (U.O.N.):
- SHALL BE 2'-0" X 7'-0" MINIMUM.
  - SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
  - THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 3/4" ABOVE FINISH FLOOR; EGRESS DOORS TO HAVE A MAX. HEIGHT OF 1/2" A.F.F.
  - PROVIDE (2) PAIR, 4-1/2" X 4-1/2" BUTTS ON ALL DOORS.
  - ALL HARDWARE TO BE ROCKY MOUNTAIN OR EQUIVALENT, SELECTED BY OWNER.
  - ALL FIRE-RATED DOORS SHALL HAVE FIRE-RESISTANCE RATINGS OF 20 MINUTES, PEMKO S88D (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.
  - ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
  - ALL WOOD DOORS SHALL BE SOLID CORE.
  - EXTERIOR GLAZED DOORS SHALL BE MULTI-PANE INSULATED GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 251, OR MEET THE REQUIREMENTS OF SFM 12-1A-2, [§R331.0.2.1] ALL DOOR GLAZING TO BE TEMPERED.
  - ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC SECTION 1134A.6.7 AND SHALL BE SAFETY GLAZING, PER CBC 2406.4.5.
  - REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
  - REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE AREA OF OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.

REVISION	No.

CONSULTANT:

ARCHITECT

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DOOR SCHEDULE

JOB NAME:  
**ERI - Residential House Lot #12**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-031

DATE:	5/5/23
SCALE:	1/4" = 1'-0"
DRAWN:	JK
JOB NUMBER:	20.05

### WINDOW SCHEDULE

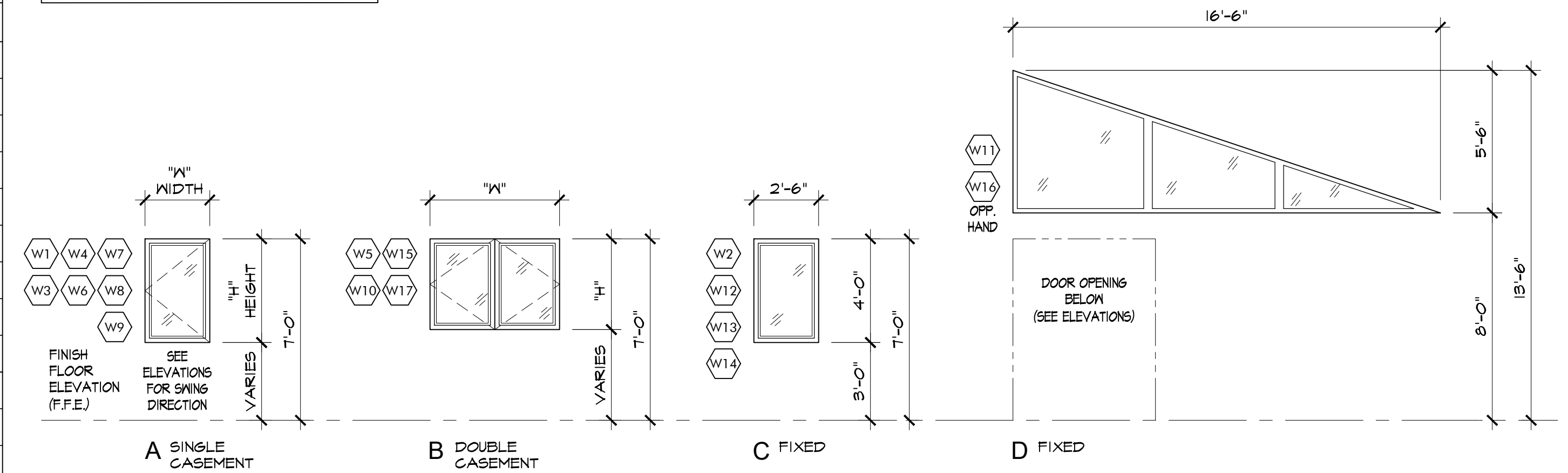
WDW. NO.	TYPE	SIZE "W" WIDTH	SIZE "H" HEIGHT	HEAD HEIGHT	GLAZING	SAFETY GLAZING	OPERATING STYLE	FRAME MATL.	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	MULLION DETAIL	LOCATION	REMARKS
W1	A	2'-6"	3'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	GARAGE	--
W2	C	2'-6"	4'-0"	7'-0"	DOUBLE GLAZE	TEMPERED GLASS	FIXED	WOOD	--	--	--	--	STAIRS	SEE NOTE 8d
W3	A	2'-0"	4'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #2	--
W4	A	2'-0"	4'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #2	--
W5	B	6'-0"	4'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	PRIMARY BEDROOM	--
W6	A	2'-0"	3'-0"	7'-0"	DOUBLE GLAZE	TEMPERED GLASS	CASEMENT	WOOD	--	--	--	--	PRIMARY BATH	SEE NOTE 8c
W7	A	2'-0"	3'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	PRIMARY TOILET	--
W8	A	2'-6"	3'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	GARAGE	--
W9	A	2'-6"	3'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	GARAGE	--
W10	B	5'-0"	3'-6"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	KITCHEN	--
W11	D	16'-6"	5'-6"	13'-6"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	KITCHEN	--
W12	C	2'-6"	4'-0"	7'-0"	DOUBLE GLAZE	TEMPERED GLASS	FIXED	WOOD	--	--	--	--	STAIRS	SEE NOTE 8d
W13	C	2'-6"	4'-0"	7'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	STAIRS	--
W14	C	2'-6"	4'-0"	7'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	STAIRS	--
W15	B	5'-0"	3'-6"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	DINING	--
W16	D	16'-6"	5'-6"	13'-6"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	LIVING/DINING	--
W17	B	5'-0"	3'-6"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	LIVING	--

### WINDOW NOTES

ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING (U.O.N.):

- EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENINGS OF 24 INCHES IN HEIGHT, 20 INCHES IN WIDTH, 5.7 S.F. IN AREA, AND A SILL HEIGHT NOT MORE THAN 44" A.F.F. PER CRC SECTION R310.2.
- WOOD WINDOWS - POWDER-COATED ALUMINUM-CLAD WOOD WINDOWS, PAINTED INTERIORS - COLORS TO BE SELECTED.
- ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CRC SECTION R308.3. ALL SAFETY GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH CRC SECTION R308.4.
- ALL SLOPED GLAZING SHALL COMPLY WITH CRC SECTION R308.6 FOR INSTALLATION AND MATERIALS.
- SEE WINDOW TYPES THIS SHEET FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CRC SEC. R303.1 AND EGRESS PER CRC SEC. R310.
- ALL WINDOW GLAZING SHALL BE LOW-E, DOUBLE GLAZED U.O.N.
- ALL EXTERIOR OPENINGS SHALL PROVIDE NATURAL LIGHTING IN HABITABLE ROOMS, WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA PER CRC SEC. R303.1, AND NATURAL VENTILATION WITH AN AREA OF NOT LESS THAN 4% OF ROOM FLOOR AREA PER CRC SECTION 303.1.
  - TEMPERED SAFETY GLAZING:
    - IS REQUIRED WHERE THE NEAREST EDGE OF GLAZING IS WITHIN A 24-INCH ARC OF EITHER SIDE OF A DOOR IN A CLOSED POSITION (UNLESS THERE IS AN INTERVENING WALL BETWEEN THE DOOR AND THE GLAZING, OR IF THE GLAZING IS 5' OR HIGHER ABOVE THE WALKING SURFACE).
    - GLAZING GREATER THAN 9 SQUARE FEET WITH THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND THE TOP EDGE GREATER THAN 36" ABOVE THE FLOOR (UNLESS THE GLAZING IS MORE THAN 36" HORIZONTALLY AWAY FROM THE WALKING SURFACES OR IF A COMPLYING PROTECTIVE BAR IS INSTALLED).
    - GLAZING IN SHOWER AND TUB ENCLOSURES (LESS THAN 60" ABOVE STANDING SURFACE).
    - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
    - WINDOWS IN BATHROOMS ARE TEMPERED IF LESS THAN 60" HORIZONTAL OR VERTICAL FROM STANDING SURFACE OF TUB AND/OR SHOWER. [CRC SECTION 308.4.5]

### WINDOW TYPES



REVISION	No.

CONSULTANT:

ARCHITECT

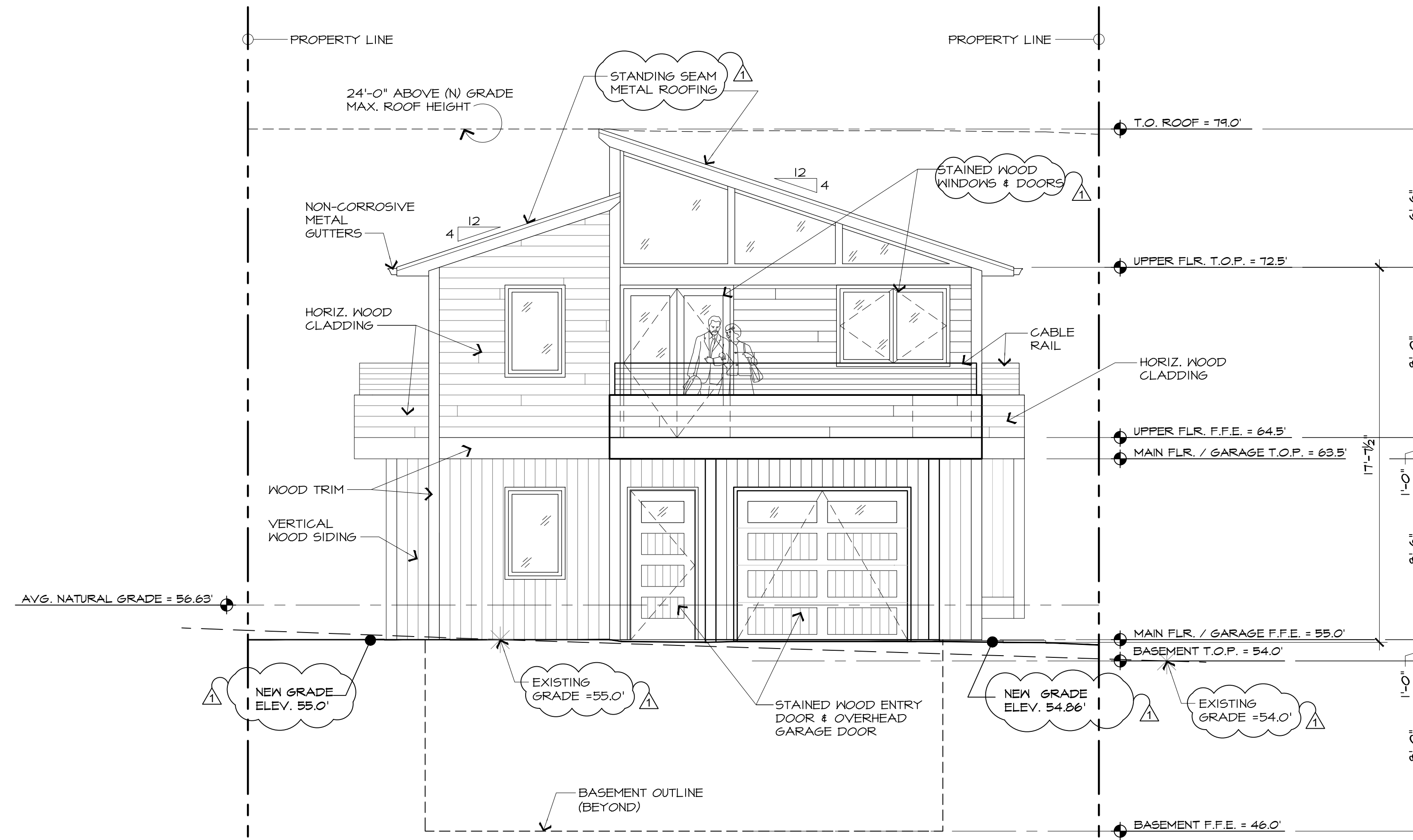
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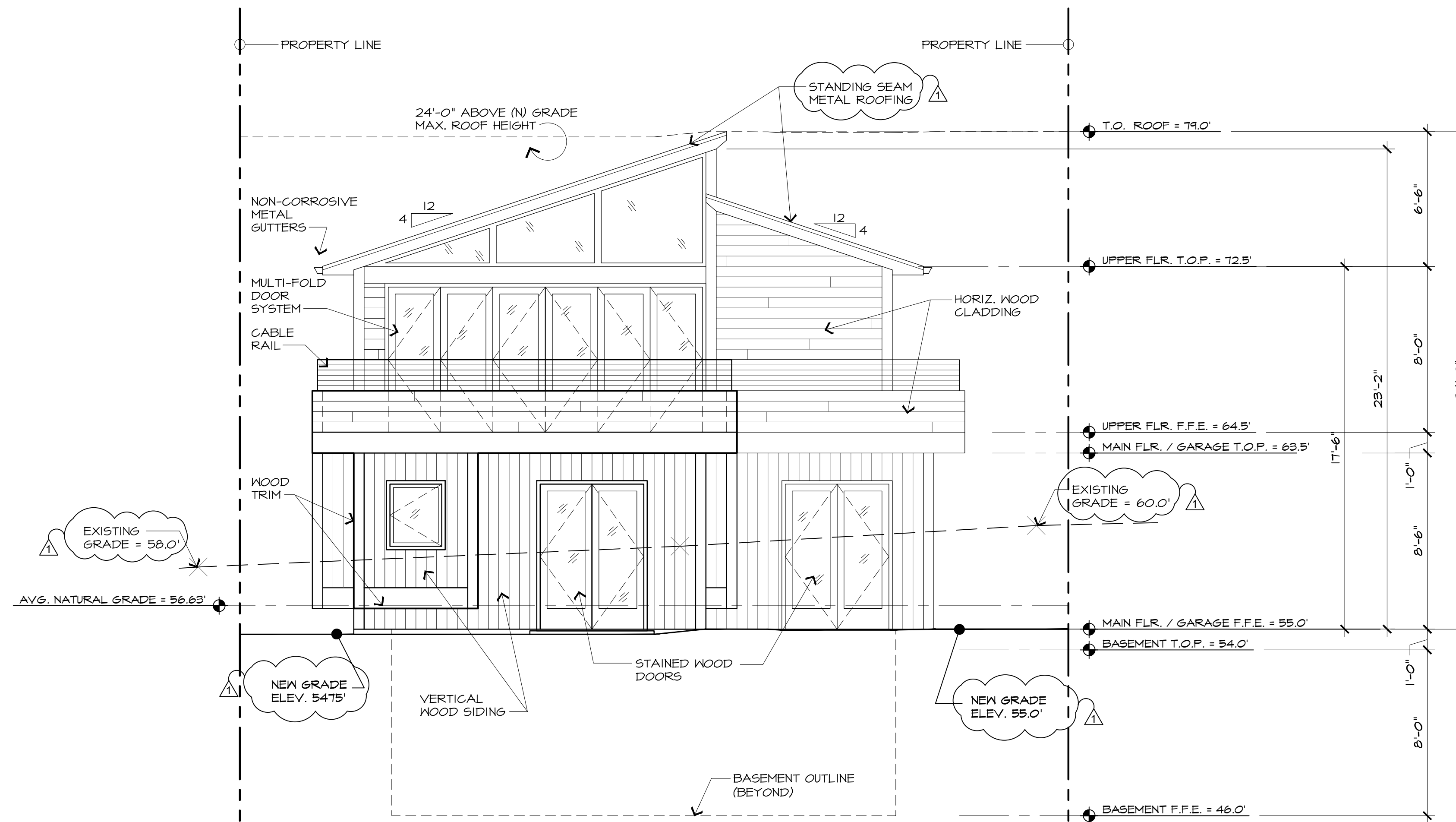
WINDOW SCHEDULE

JOB NAME:  
**CR1 - Residential House Lot #12**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-031

DATE: 5/5/23  
 SCALE: 1/4" = 1'-0"  
 DRAWN: JK  
 JOB NUMBER: 20.05



1 FRONT ELEVATION (WEST)



2 REAR ELEVATION (EAST)

PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"



REVISION	No.
PLAN CHECK RESPONSE 12/20/23	▲

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.

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PROPOSED EXTERIOR ELEVATIONS

JOB NAME:  
**ERI - Residential House Lot #12**  
Guadalupe St. between 1st & 2nd Ave.  
Carmel-by-the-Sea, CA 93921  
A.P.N. 010-021-031

DATE: 5/5/23

SCALE: 1/4" = 1'-0"

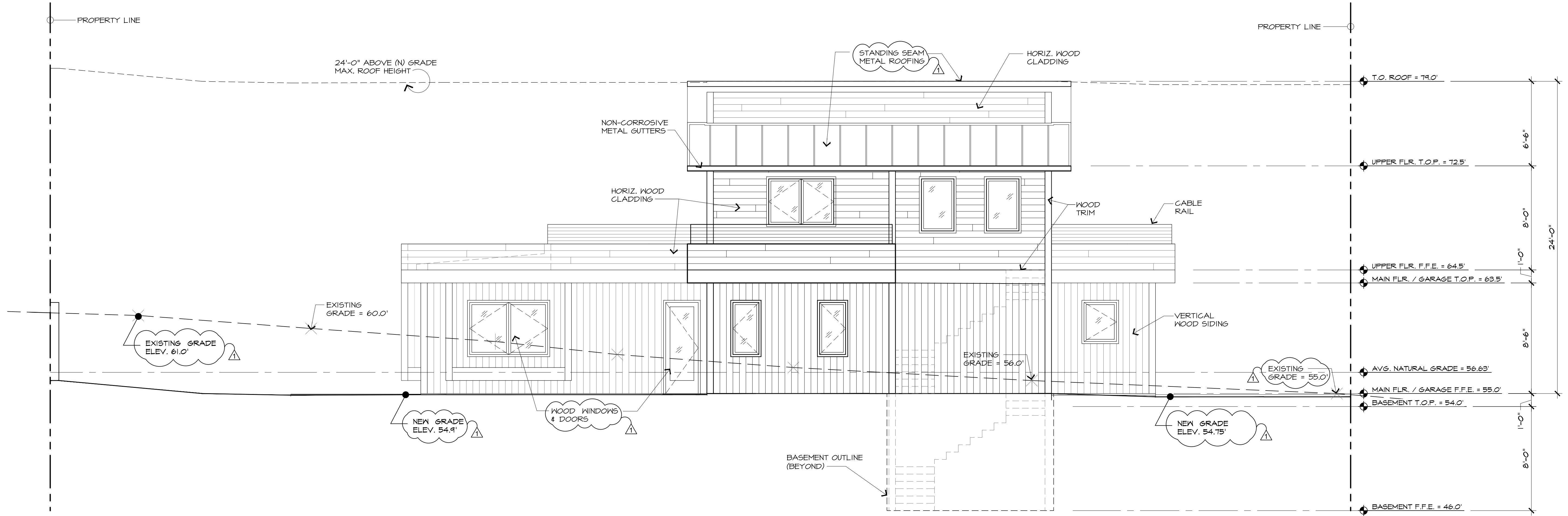
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JOB NUMBER: 20.05

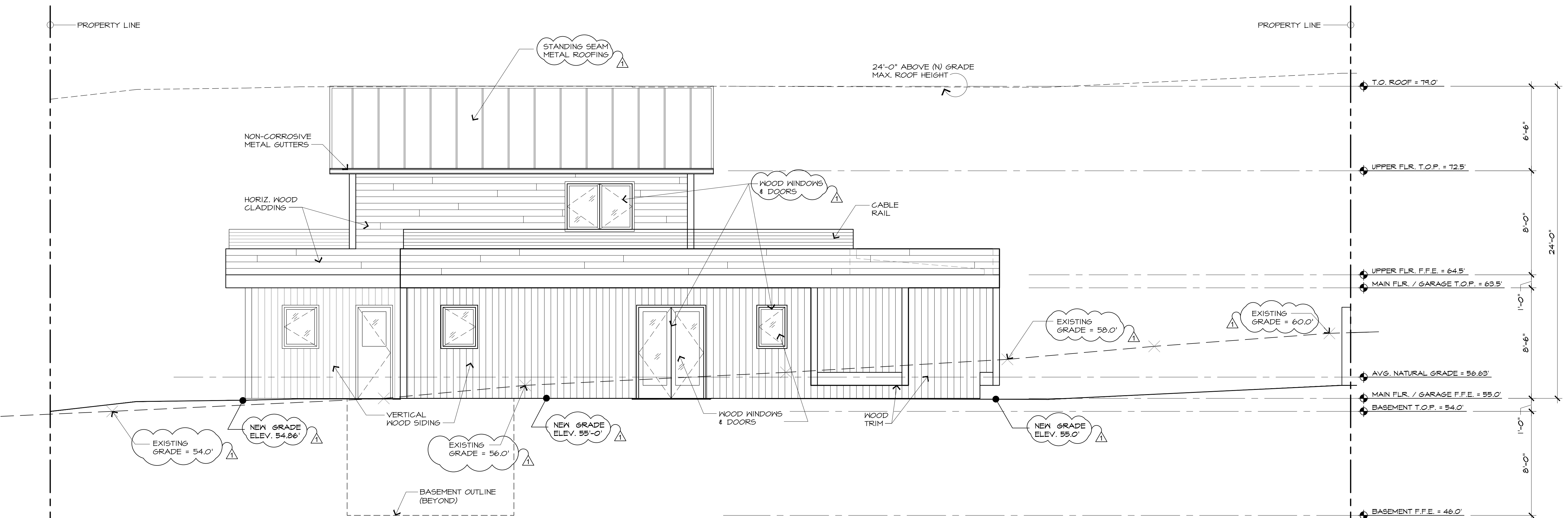
**A-6**  
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\_DD



3 SIDE ELEVATION (NORTH)



4 SIDE ELEVATION (SOUTH)

PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"  
0 2' 4' 8' 12' 16' 20'

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

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PROPOSED EXTERIOR ELEVATIONS  
 JOB NAME:  
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DATE: 5/5/23  
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 DRAWN: JK/DM  
 JOB NUMBER: 20.05

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\_DD



GUADALUPE STREET

ADJACENT PROPERTY

**RENDERED SOUTH ELEVATION**

SCALE: N.T.S.



LOT 10

LOT 14

**RENDERED WEST ELEVATION**

SCALE: N.T.S.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

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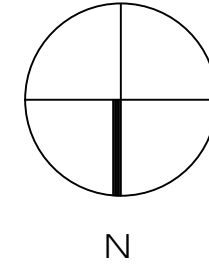
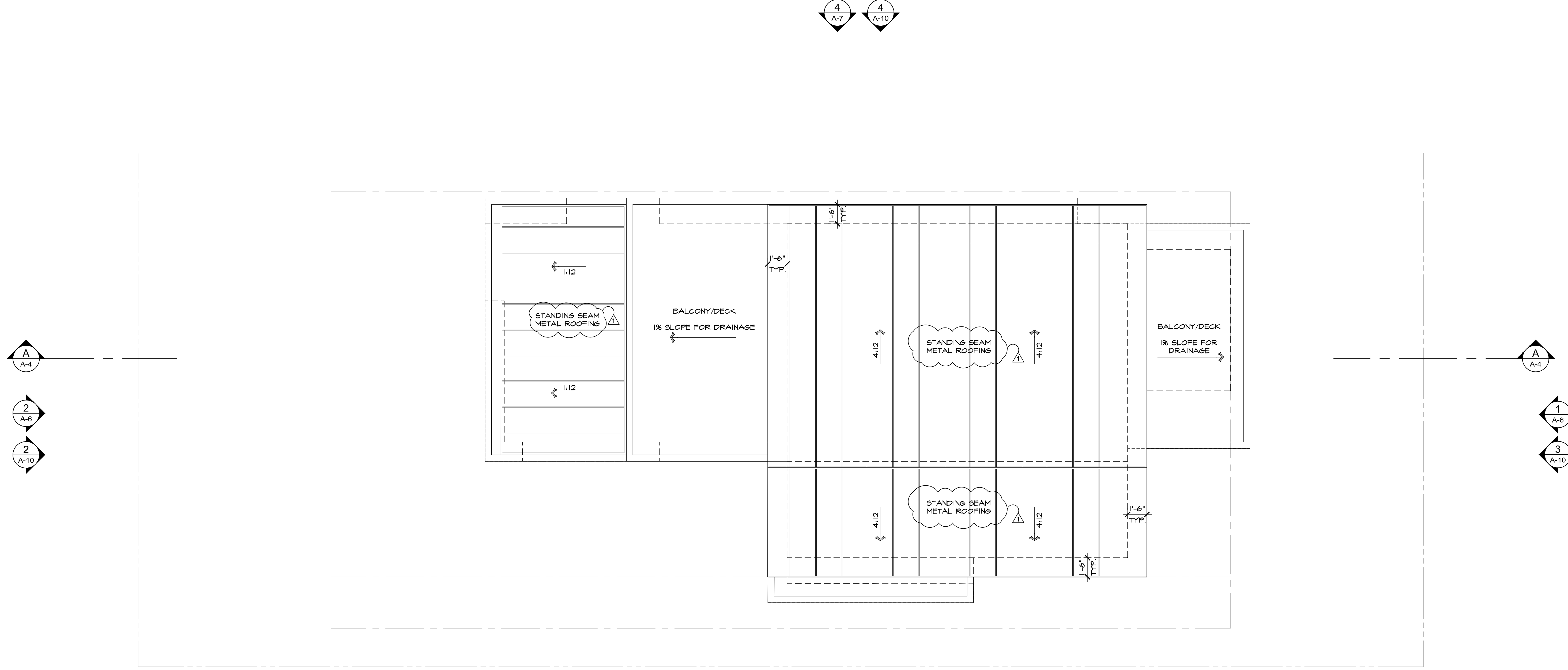
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RENDERED STREET ELEVATION

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 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-031

DATE: 5/5/23  
 SCALE: N.T.S.  
 DRAWN: KJL  
 JOB NUMBER: 20.05

**A-8**  
 SHEET OF



**ROOF PLAN**

SCALE: 1/4" = 1'-0"



REVISION	No.
PLAN CHECK RESPONSE 12/20/23	

CONSULTANT:

ARCHITECT  
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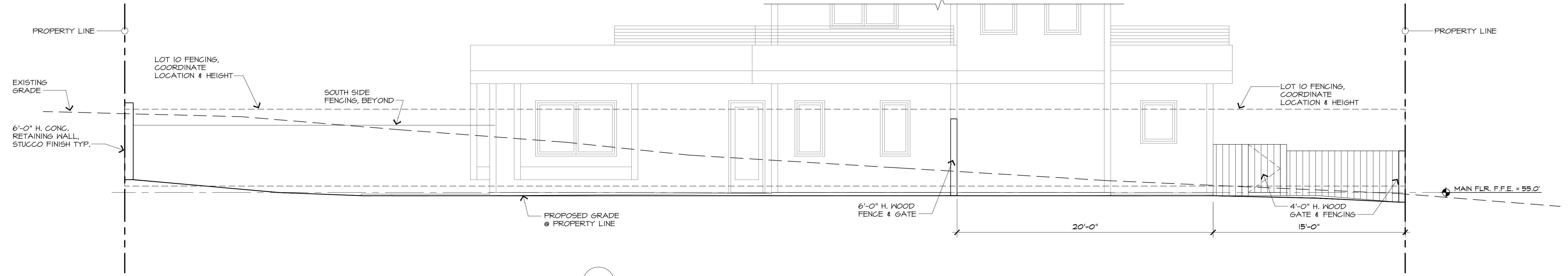
**ROOF PLAN**  
 JOB NAME:  
**ERI - Residential House Lot #12**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
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DATE: 5/5/23  
 SCALE: 1/4"=1'-0"  
 DRAWN: JK/DM  
 JOB NUMBER: 20.05

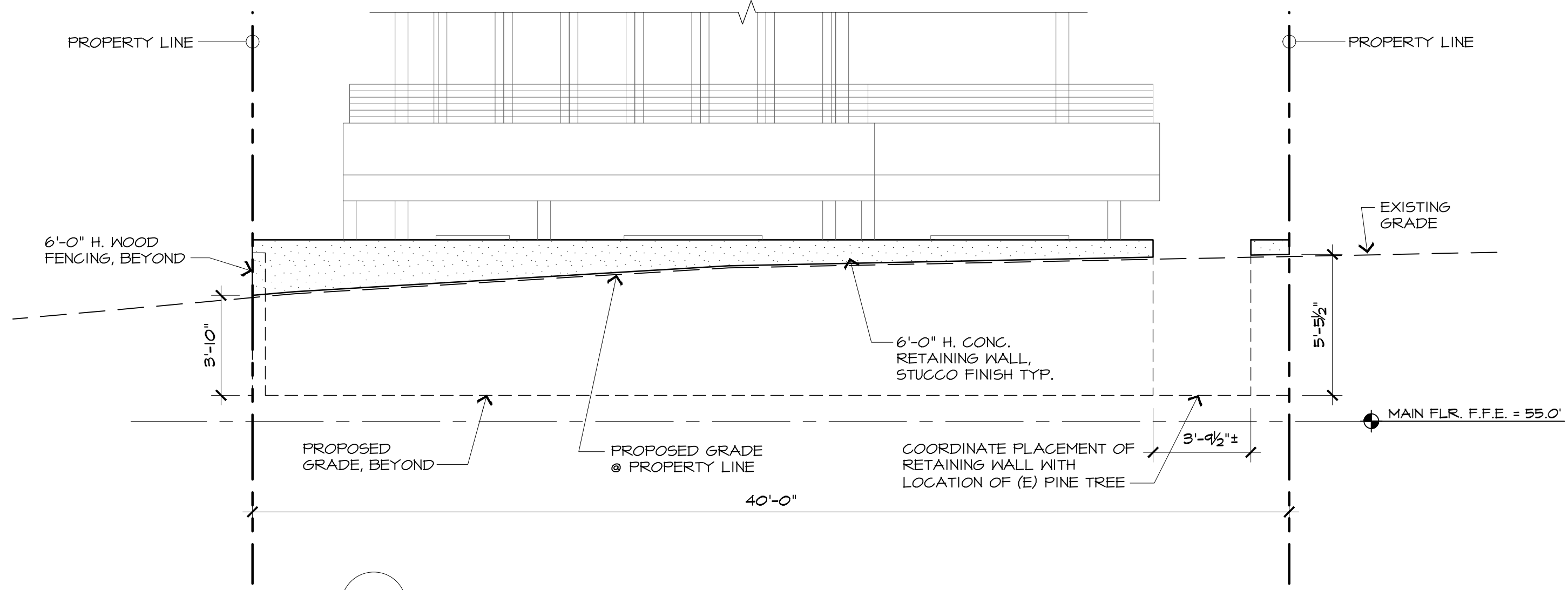
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 SHEET OF



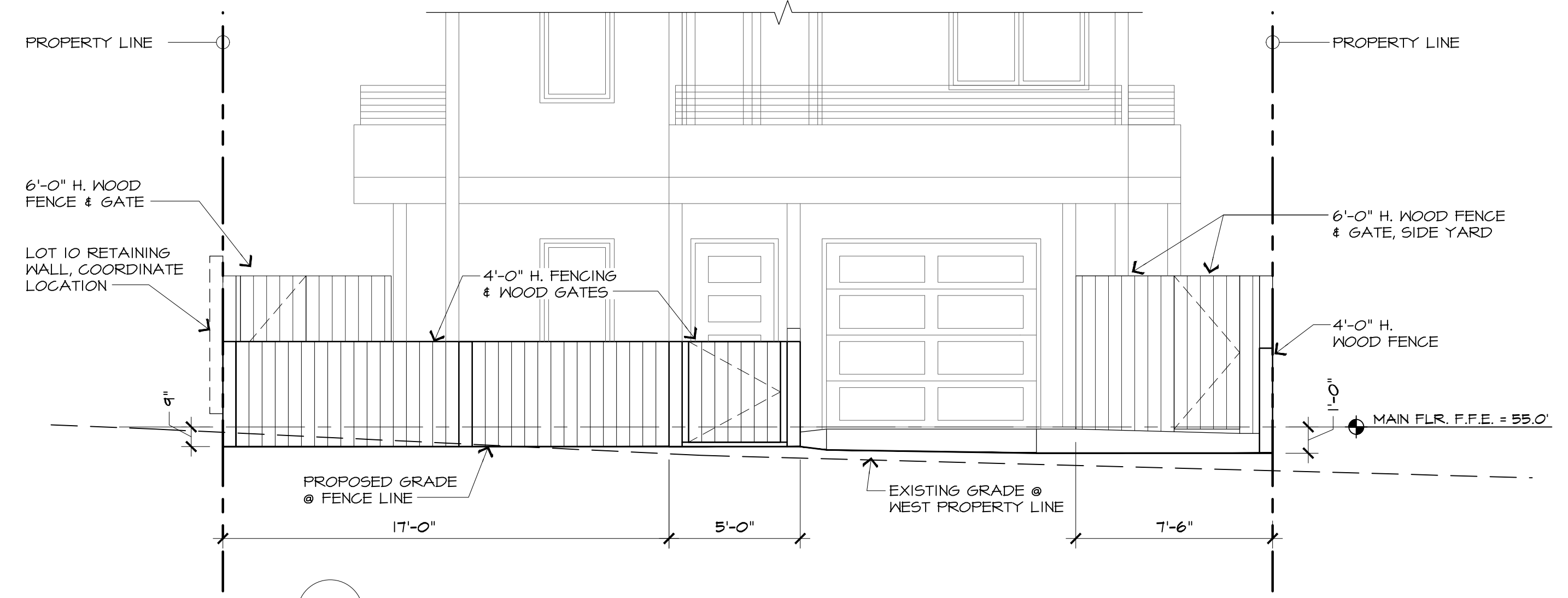
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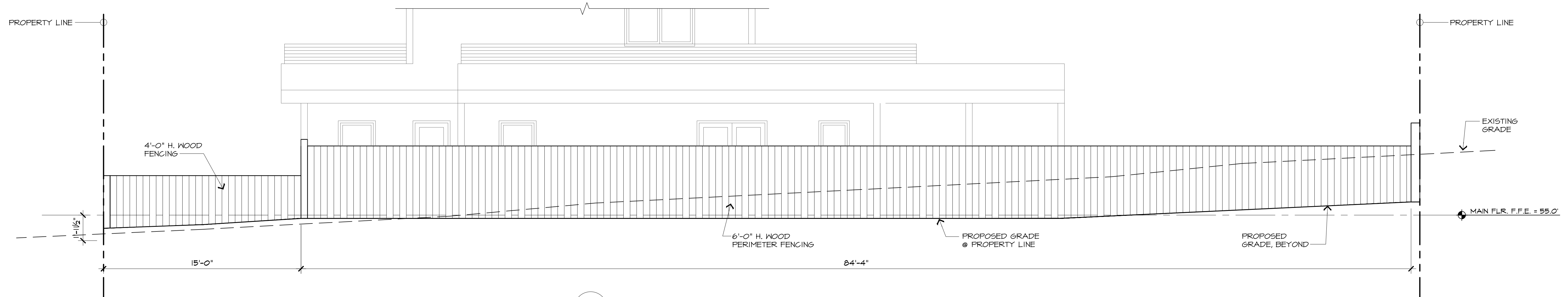
1 SIDE - NORTH PROPERTY LINE



2 REAR - EAST PROPERTY LINE



3 FRONT - WEST PROPERTY LINE



4 SIDE - SOUTH PROPERTY LINE

PROPOSED FENCING ELEVATIONS

SCALE: 1/4" = 1'-0"  
0 2 4 8 12 16 20

REVISION	No.

CONSULTANT:

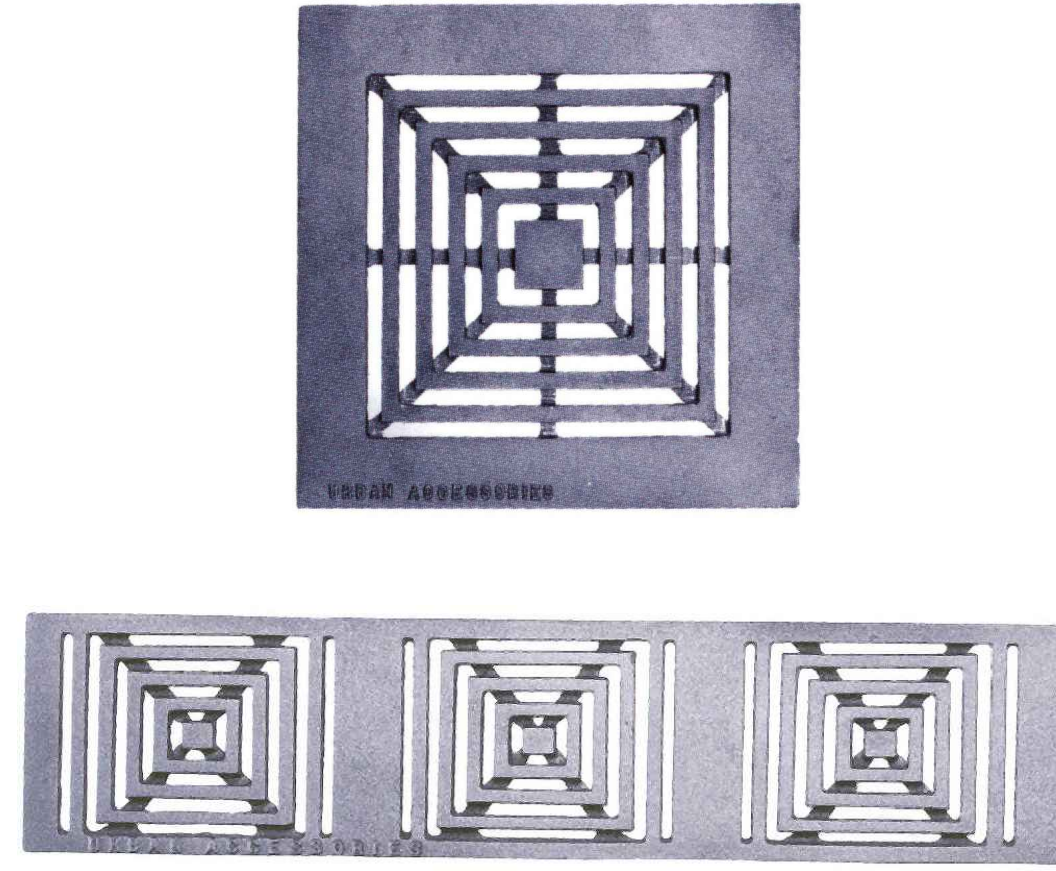
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PROPOSED FENCING ELEVATIONS

JOB NAME:  
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 DRAWN: JK  
 JOB NUMBER: 20.05

A-10  
SHEET OF



URBAN ACCESSORIES

10 TRENCH & AREA DRAIN



PERMEABLE PAVERS

11 DRIVEWAY PAVERS



12 WOOD FENCING



STAINED WOOD WINDOWS

7 WOOD WINDOWS



STAINED WOOD DOORS

8 EXTERIOR WOOD DOORS



9 MULTI-FOLD DOOR



NON-CORROSIVE METAL

4 GUTTER & DOWNSPOUT



OVERHEAD RAISED PANEL, STAINED WOOD

5 GARAGE DOOR



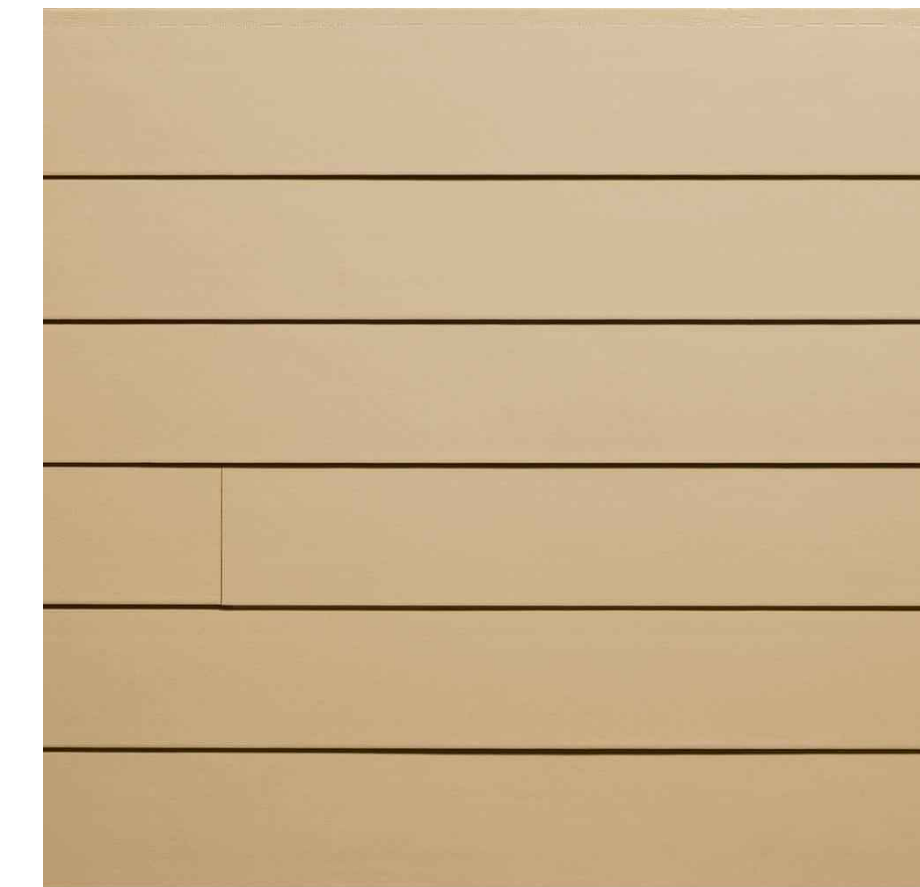
STAINED WOOD ENTRY

6 ENTRY WOOD DOOR



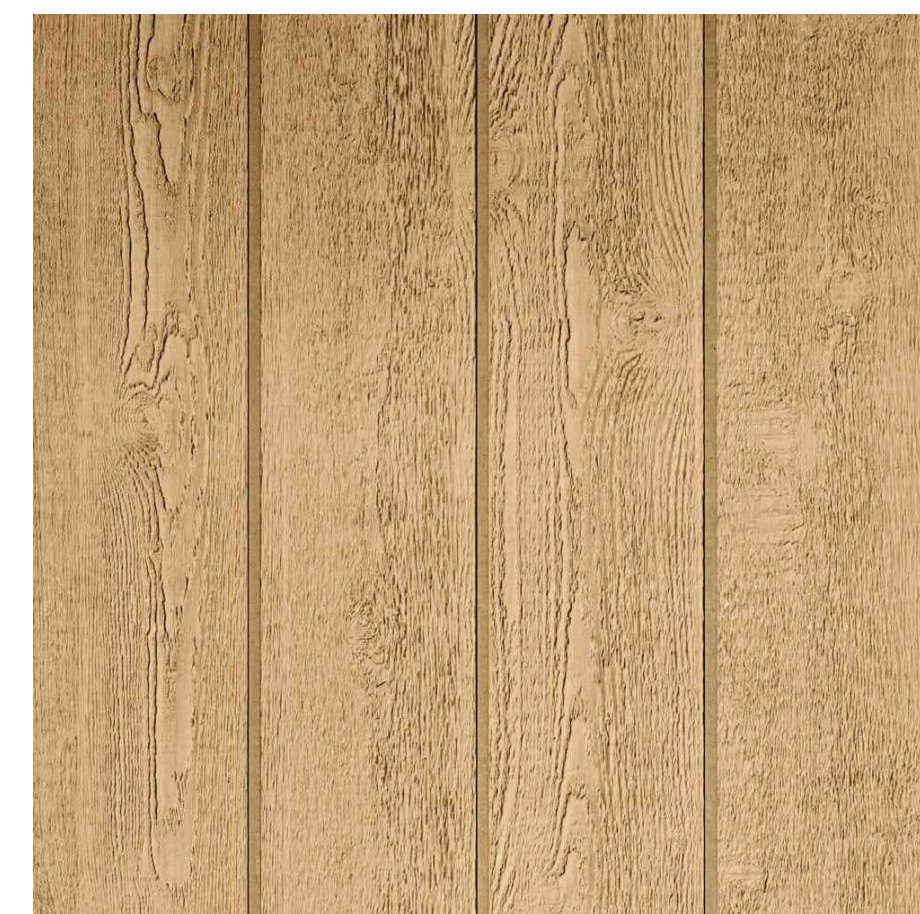
STANDING SEAM METAL ROOFING

1 ROOFING



HORIZONTAL SMOOTH ARTISAN LAP SIDING

2 EXTERIOR FINISH



VERTICAL SIDING

3 EXTERIOR FINISH

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	1

CONSULTANT:

ARCHITECT  
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MATERIAL COLOR SAMPLES  
 JOB NAME:  
**ERI - Residential House Lot #12**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
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DATE: 5/5/23  
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 DRAWN: JK/DM  
 JOB NUMBER: 20.05



**PERSPECTIVE RENDERING**  
SCALE: N.T.S.



**PERSPECTIVE RENDERING**  
SCALE: N.T.S.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

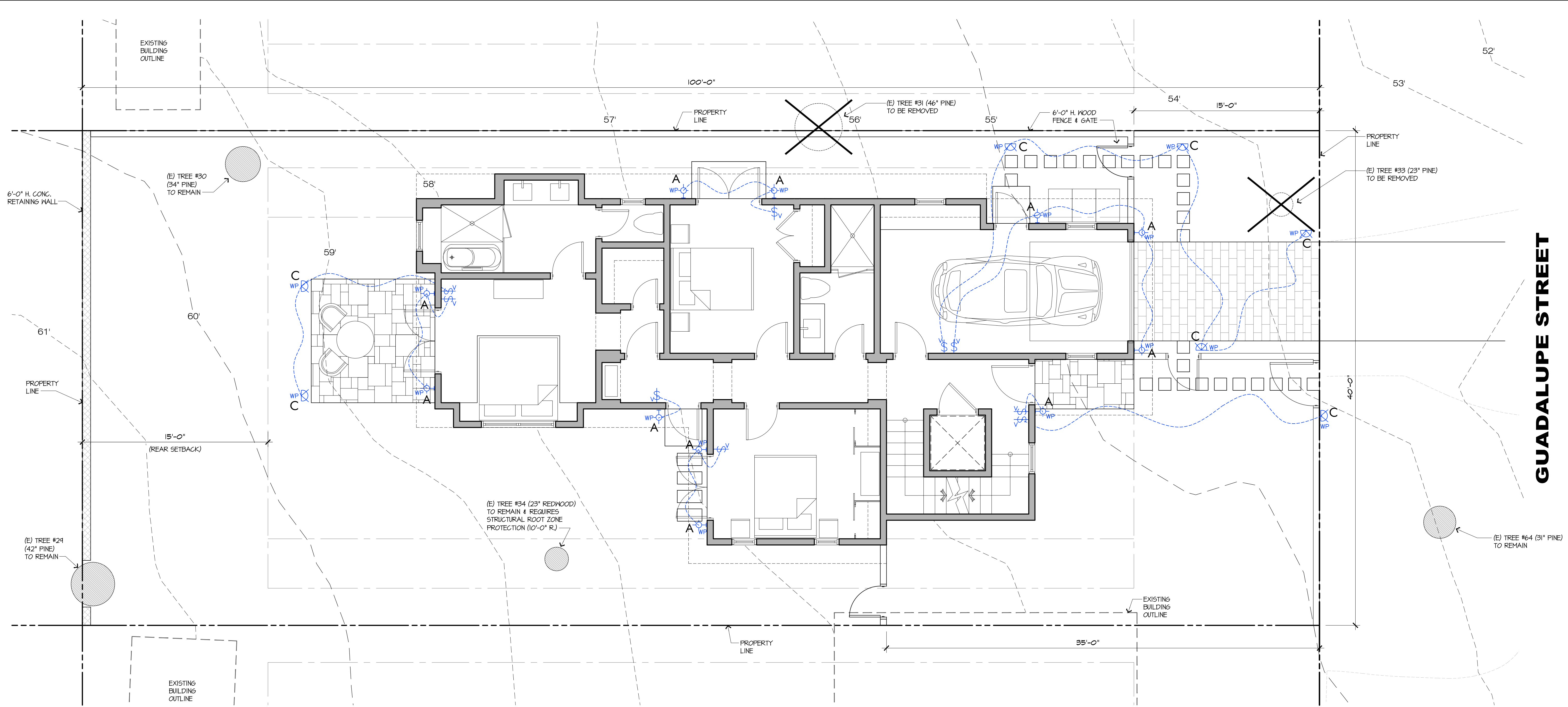
ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE  
 MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

**COLOR RENDERING**  
 JOB NAME:  
**ERI - Residential House Lot #12**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-031

DATE: 5/5/23  
 SCALE: N.T.S.  
 DRAWN: KJL  
 JOB NUMBER: 20.05

**A-12**  
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION OF ANY KIND, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PRODUCTION. SOCIAL CONDUCT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FRAUD UNDER FEDERAL OR STATE LAWS. REPRODUCTION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE ARCHITECT'S WRITTEN PERMISSION IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FRAUD UNDER FEDERAL OR STATE LAWS.



REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE  
 MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

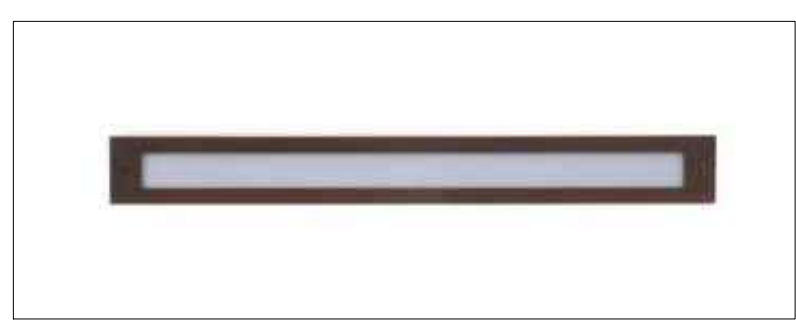
EXTERIOR LIGHTING PLAN  
 JOB NAME: **ERI - Residential House Lot #12**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-031

DATE: 5/5/23  
 SCALE: 1/4"=1'-0"  
 DRAWN: JK/DM  
 JOB NUMBER: 20.05

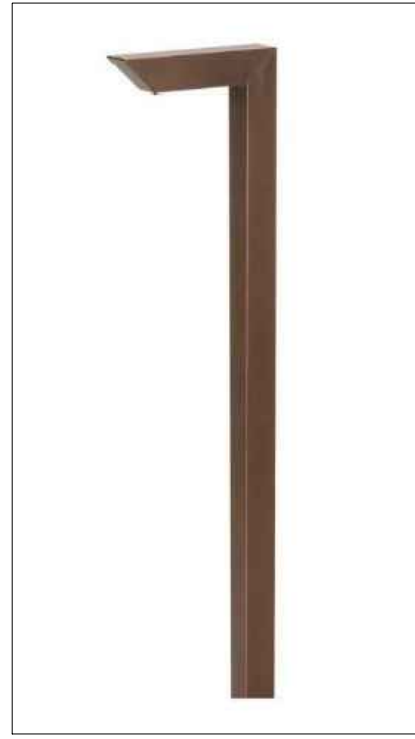
**SPJ LIGHTING Inc.**  
 ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING



**A** MODEL: **SPJ-LWS36**  
 LINEAR WASH LIGHT - DOWN WASH



**B** MODEL: **SPJ-113-RL**  
 WALL RECESSED FIXTURE



**C** MODEL: **SPJ-SQ100-1**  
 CONTEMPORARY PATH LIGHT



Model: **SPJ-FL300-15V**

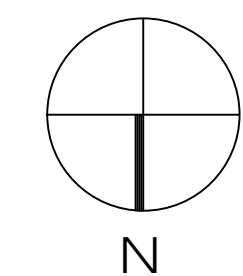
**Flex-Link™ Transformers**

**DESCRIPTION**

Model#:	SPJ-FL300-15V
Shown:	Stainless Steel
Electrical Input:	120V
Electrical Output:	12-15V
Max. Watts:	300 Watts
Circuit:	2 Circuits
Dimmable:	Yes

**D** MODEL: **SPJ-FL300-15V**  
 FLEX LINK™ TRANSFORMERS

\* TIMER, 24 HOUR \* PHOTOCCELL, FIELD INSTALL



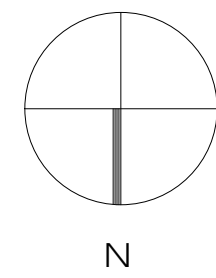
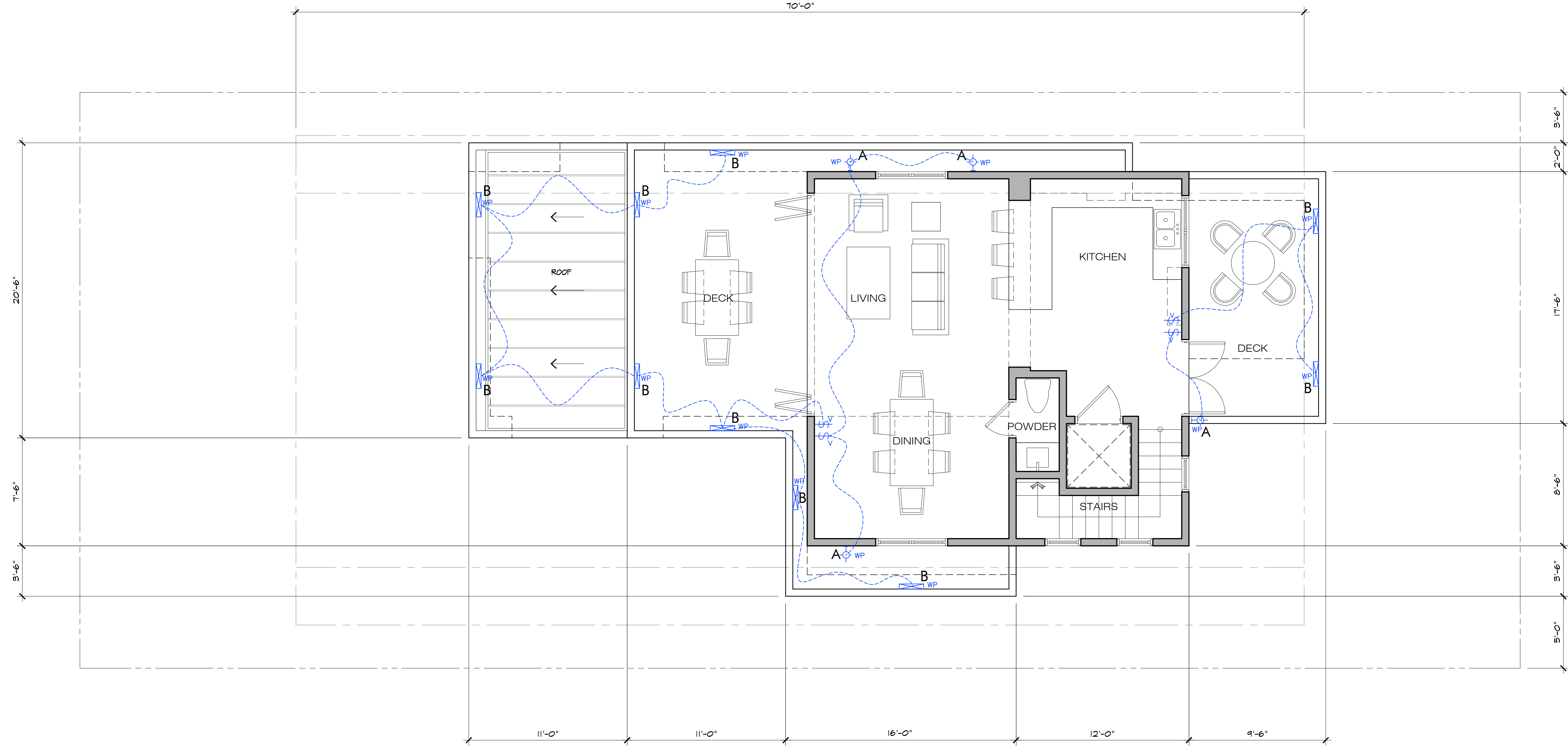
**EXTERIOR LIGHTING PLAN**

SCALE: 1/4"=1'-0"



EXTERIOR LIGHTING FIXTURES							
	MODEL	FINISH	SIZE	TYPE	QUANTITY	WATT / LUMENS	SYMBOL
A	SPJ-LWS36	BLACK	6"	LINEAR WALL DOWN WASH	15	W/200L	⊖ WP
B	SPJ-113-RL	BLACK	13 1/2"	WALL RECESSED	10	2W / 125L	⊖ WP
C	SPJ-SQ100-1	BLACK	21" x 4 3/8" x 1"	PATH LIGHT - MIN. DISTANCE APART 10 FEET	7	2W / 125L	⊖ WP
D	SPJFL300-15V	STAINLESS	17" x 2.75"	TRANSFORMER	1	300W	

**GUADALUPE STREET**



**UPPER FLOOR EXTERIOR LIGHTING PLAN**

SCALE: 1/4" = 1'-0"



REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE  
 MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

UPPER FLOOR EXTERIOR LIGHTING PLAN

JOB NAME:  
**ERI - Residential House Lot #12**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-031

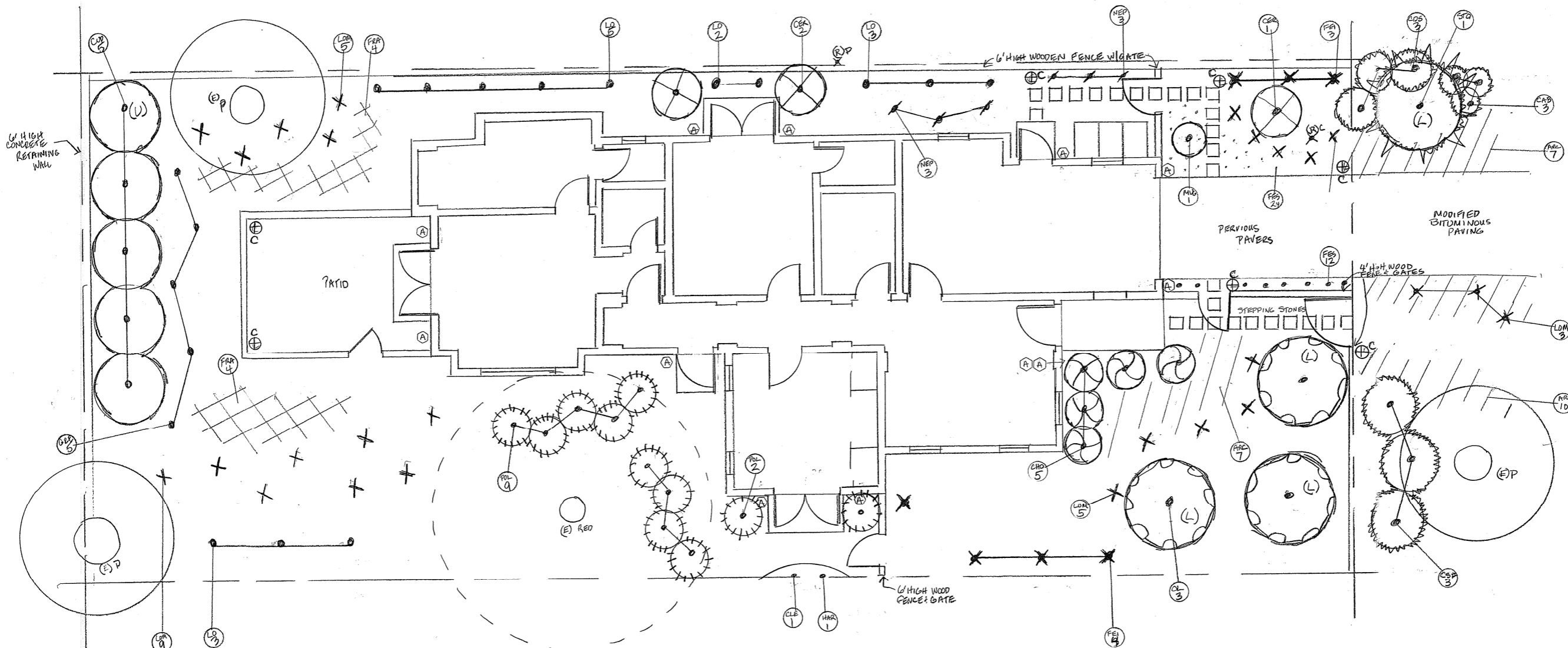
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SCALE: 1/4"=1'-0"

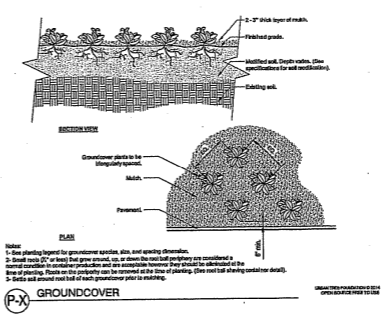
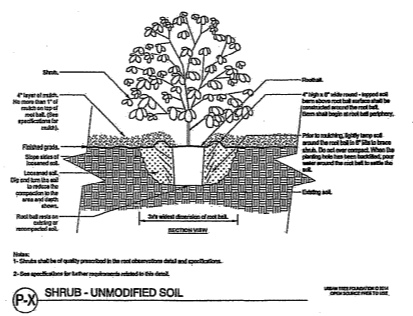
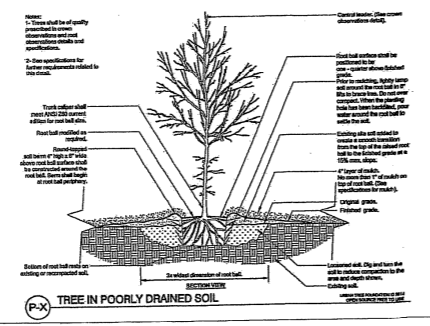
DRAWN: JK/DM

JOB NUMBER: 20.05

**A-13b**  
 SHEET OF



ABBR	PLANT NAME	SIZE	QUAN
ARC	ARCTOSTAPHYLOS EMERALD CARPET	1G	24
CAB	CEANOTHUS GLORIOSUS ANCHOR BAY	1G	3
CDS	CEANOTHUS DARK STAR	5G	3
CER	CERCIS OCCIDENTALIS WESTERN REDBUD	15G	3
CHO	CHONDRPETALUM TECTORUM	5G	5
CSF	CEANOTHUS THYRSIFLORUS SNOW FLURRY	5G	3
CLE	CLEMATIS EVERGREEN	5G	1
CUP	CUPRESSUS MACROCARPA MONTEREY CYPRESS (U)	15G	5
FEI	FEUOA SELLIANA PINEAPPLE GUAVA	5G	7
FES	FESTUCA GLAUCA ELIJAH BLUE	1G	36
GRE	GREVILLEA LAVANDUACEA PENOLA	5G	5
HAR	HARDENBERGIA VIOLACEA HAPPY WANDER	5G	1
LO	OLEA EUROPEA MONTRA LITTLE OLLIE	5G	13
LOM	LOMANDRA PLATINUM BEAUTY	1G	22
MUG	PINUS MUGO - MUGO PINE	5G	1
NEP	NEPHROLEPIS CORDIFOLIA SOUTHERN SWORD FERN	1G	6
OL	OLEA EUROPEA WILSONII (L)	15G	3
POL	POLYSTICHUM MUNITUM WESTERN SWORD FERN	1G	11
STO	PINUS PINEA ITALIAN STONEPINE (L)	24"	1



1/4" = 1'0"

LANDSCAPE PLANTING **L.1**  
 & LIGHTING LOWER FLOOR  
 4/6/2023 MML REV 10/10/23

TOWN AND COUNTRY GARDENING & LANDSCAPE INC  
 PO BOX 223798  
 CARMEL, CA 93923  
 831-556-2709, 831-625-3105

CRI RESIDENTIAL LOT #12  
 GUADALUPE ST. BETWEEN 1<sup>ST</sup> & 2<sup>ND</sup> AVE  
 CARMEL CA 93921  
 APN 010-021-031-000

**IRRIGATION**

RAIN GAUGE HUNTER IRRITROL RC/R5500

1" MAINLINE

1" DWYER FLOW METER

RAINBIRD ESP-ME SMT SMART IRRIGATION CONTROLLER

1" FBECO SERIES 805Y DOUBLE CHECK BACKFLOW PREVENTION DEVICE

6 DRIP VALVES ELECTRIC REMOTE CONTROL VALVES SERIES DV-075 - OR 100-DV

**Drip Emitter Schedule**

1 gal - 1

5 gal - 2

15 gal - 3

24" - 4

1.0 gph pressure compensating, Rain bird Xeri-Bug / Toro N. G. E. / Netafim WPC (w/bug cap)  
Toro T-DL-Mp9 indicator w/flush valve at end of each zone

**MAWA NOTES**

Maximum Allowable Water Allocation (MAWA) calculations prepared for the CRI RESIDENTIAL LOT #12

GUADALUPE ST BTWN 1<sup>ST</sup> & 2<sup>ND</sup> AVE CARMEL APN #010-021-031-000

by MARY LUSTER (831-625-3105 CONTACT@TNCGARDENSCARMEL.COM) for

Town & Country Gardening & Landscaping 4/6/23.

Maximum allowable landscape irrigation usage for this site is .243 acre ft. / year

**Formula & Calculations:**

MAWA =  $Eto \times ETadj \times LA \times 0.623$

325,851

Where:

Eto = 46.3" / yr (Zone 3)

ETadj = .80

LA = 1756 sq. ft.

Calculated as:	2 sq. ft. / 1 gal. plant	102 plants	204 sq ft
	4 sq. ft. / 5 gal. plant	39 plants	156 sq ft
	16 sq. ft. / 15 gal. plant	11 plants	176 sq ft
	20 sq. ft. / 24" box tree	1	20 sq ft
	150 sq. ft. / total of flat	8	1200 sq ft
	<b>TOTAL</b>		<b>1756 SQ FT</b>

MAWA for this site =  $46.3 \times .80 \times 1756 \times 0.623 = .124$  Acre Feet

325,851

**ETWU NOTES**

Estimated Total Water Use (ETWU) calculations prepared for the CRI RESIDENTIAL LOT #12

GUADALUPE ST BTWN 1<sup>ST</sup> & 2<sup>ND</sup> AVE CARMEL APN #010-021-031-000

by MARY LUSTER (831 625-3105 CONTACT@TNCGARDENSCARMEL.COM)

of Town & Country Gardening & Landscaping 4/6/2023

Maximum allowable landscape irrigation usage for this site is .243 acre ft./ year.

**Formula & Calculations:**

ETWu =  $Eto \times ETadj \times ALA \times 0.623 \times IEF$

325,851

Where:

Eto = 46.3" / yr (Zone 3)

ETadj = .80

ALA = 881.2 sq. ft.

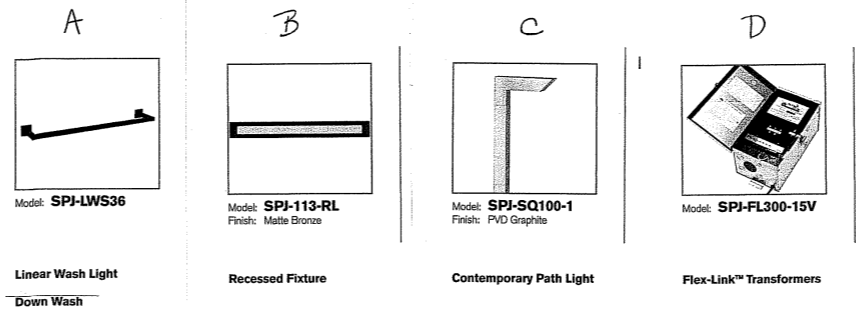
Calculated as:	2 sq. ft. / 1 gal. plant
	4 sq. ft. / 5 gal. plant
	16 sq. ft. / 15 gal. plant
	20 sq. ft. / 24" box tree
	150 sq ft. / total of flat

Spec'd plants: Very low water use plant square footage =  $52 \times 0.1 = 5.2$   
Low water use plant square footage =  $488 \times 0.3 = 146.4$   
Medium water plant use square footage =  $1216 \times 0.6 = 729.6$   
High water plant use square footage =  $0 \times 1.0 = 0$

IEF = .85 100% drip irrigation

ETWU for this site =  $46.3 \times .80 \times 881.2 \times 0.623 \times .85 = .053$  Acre Feet

325,851



Model: **SPJ-LWS36**  
Model: **SPJ-113-RL**  
Finish: Matte Bronze  
Model: **SPJ-SQ100-1**  
Finish: PVD Graphite  
Model: **SPJ-FL300-15V**

Linear Wash Light  
Down Wash  
Recessed Fixture  
Contemporary Path Light  
Flex-Link™ Transformers

**DESCRIPTION**

Model#: SPJ-FL300-15V  
Shown: Stainless Steel  
Electrical Input: 120V  
Electrical Output: 12-15V  
Max. Watts: 300 Watts  
Circuit: 2 Circuits  
Dimmable: Yes

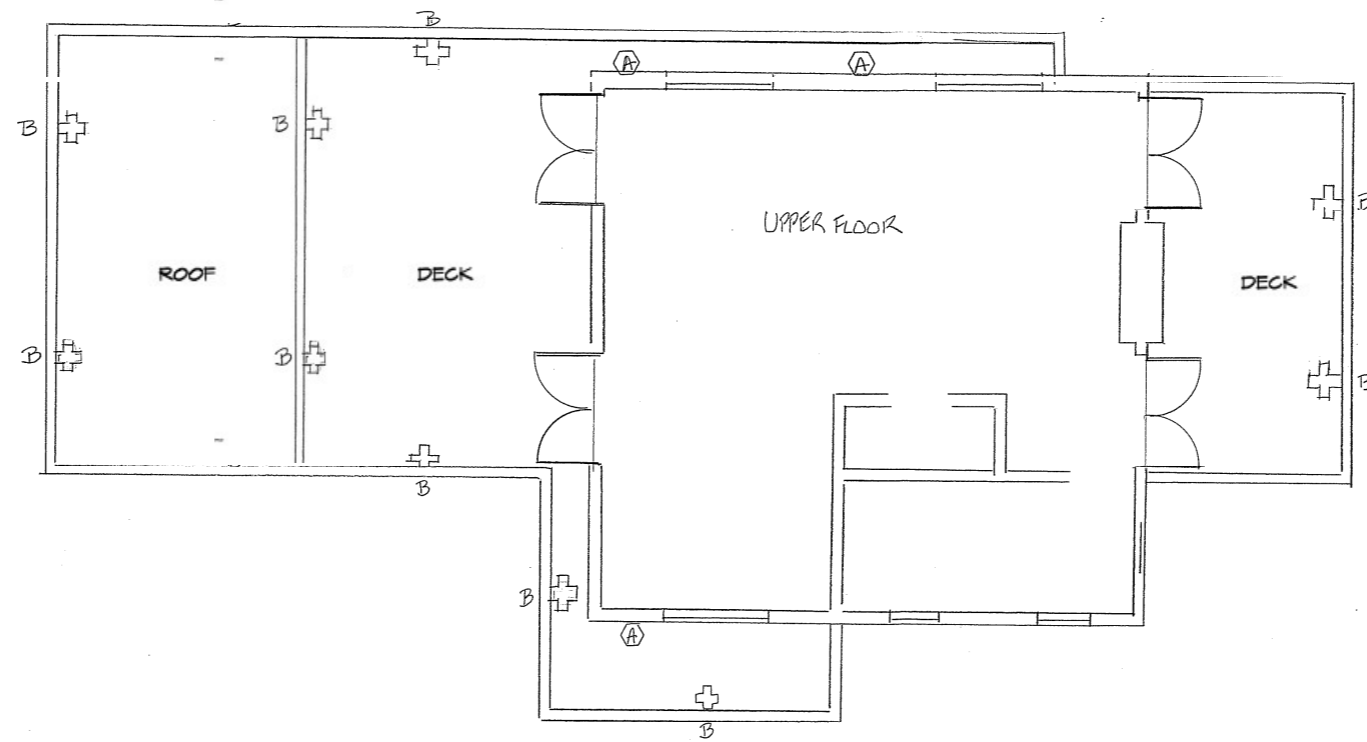
• TIMER, 24 HOUR • PHOTOCELL, FIELD INSTALL

**EXTERIOR LIGHTING FIXTURES**

	MODEL	FINISH	SIZE	TYPE	QUAN	WATT/LUMENS	SYMBOL
A	SPJ-LWS36	BLACK	6"	LINEAR WALL DOWN WASH	15	W/200L	
B	SPJ-113-RL	BLACK	13 1/4"	WALL RECESSED	10	2W/125L	
C	SPJ-SQ100-1	BLACK	21"x47/8" X1"	PATH LIGHT - MIN DISTANCE APART 10'	7	2W/125L	
D	SPJ-FL1300-15V	STAINLESS	17"x8.75"	TRANSFORMER	1	300W	

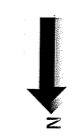
TOWN AND COUNTRY GARDENING & LANDSCAPE INC  
PO BOX 223798  
CARMEL, CA 93923  
831-596-2709, 831-625-3105

CRI RESIDENTIAL LOT #12  
GUADALUPE ST. BETWEEN 1<sup>ST</sup> & 2<sup>ND</sup> AVE  
CARMEL CA 93921  
APN 010-021-031-000



IC  
TOWN AND COUNTRY GARDENING &  
PO BOX 2123798  
CARMEL, CA 93923  
831-596-2709, 831-6253105

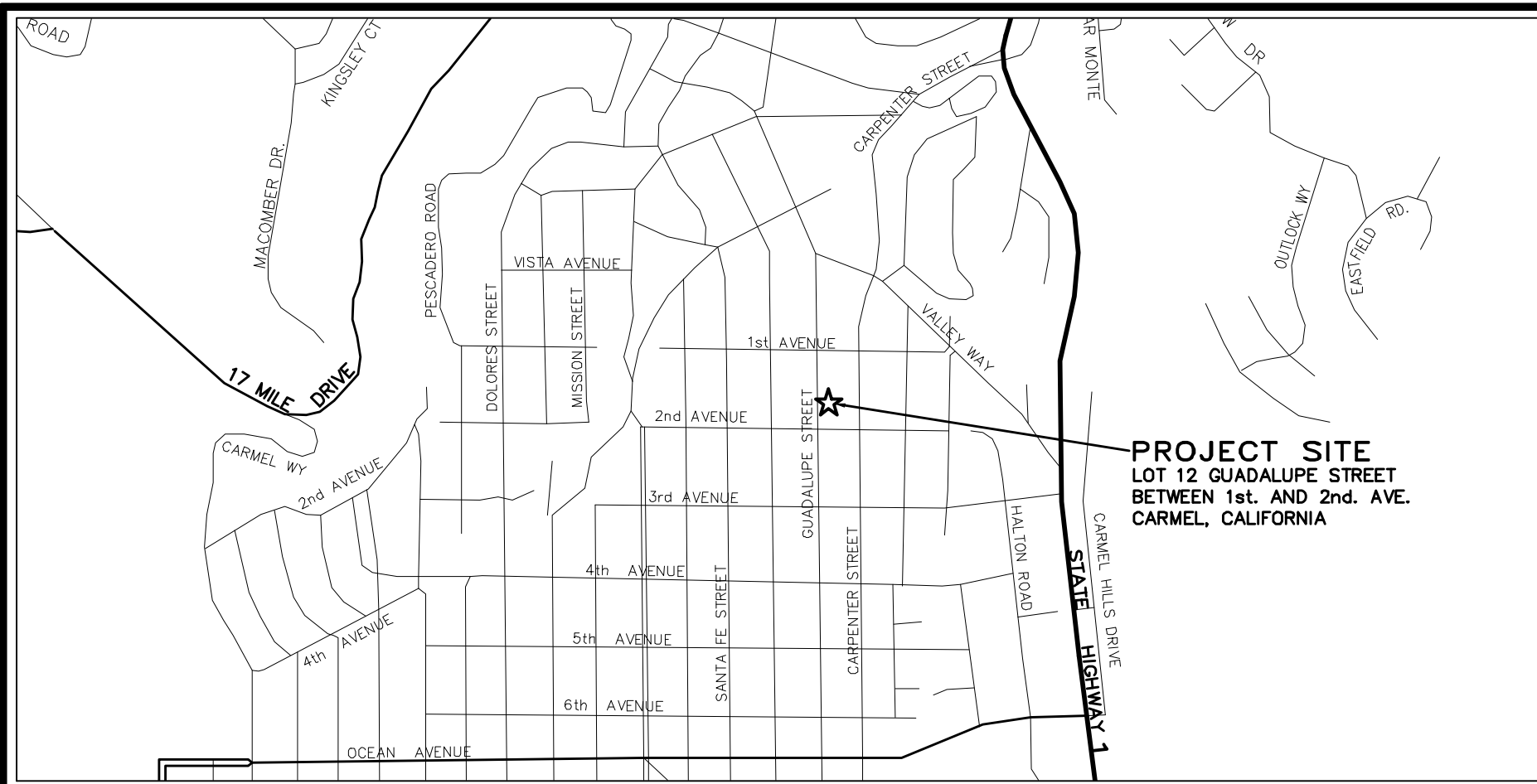
CRI RESIDENTIAL LOT #12  
GUADALUPE ST. BETWEEN 1<sup>ST</sup> & 2<sup>ND</sup> AVE  
CARMEL CA 93921  
APN 010-021-031-000



1/4"=1'0"

LANDSCAPE LIGHTING **L.2B**  
SPECS UPPER FLOOR  
4/6/2023 MML





VICINITY MAP  
NOT TO SCALE

**STORM WATER CONTROL NOTES:**

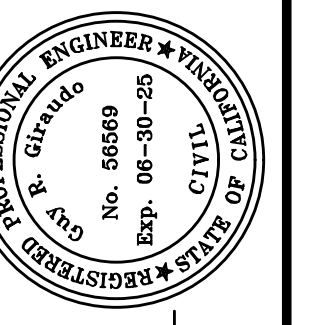
- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRS) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) ALL DRAINAGE SHALL CONFORM TO THE STANDARD OPERATING GUIDANCE FOR 17-07 PRIVATE STORM WATER SYSTEMS PER THE CITY OF CARMEL-BY-THE-SEA.

TOTAL LOT AREA = 4,000 SQ.FT.  
TOTAL IMPERVIOUS AREA = 1,329 SQ.FT.  
TOTAL AREA OF DISTURBANCE = 3,660 SQ.FT.

GRADING QUANTITIES:  
CUT = 465 C.Y.  
FILL = 0 C.Y.  
NET = 465 C.Y. EXPORT

**INDEX TO SHEETS**

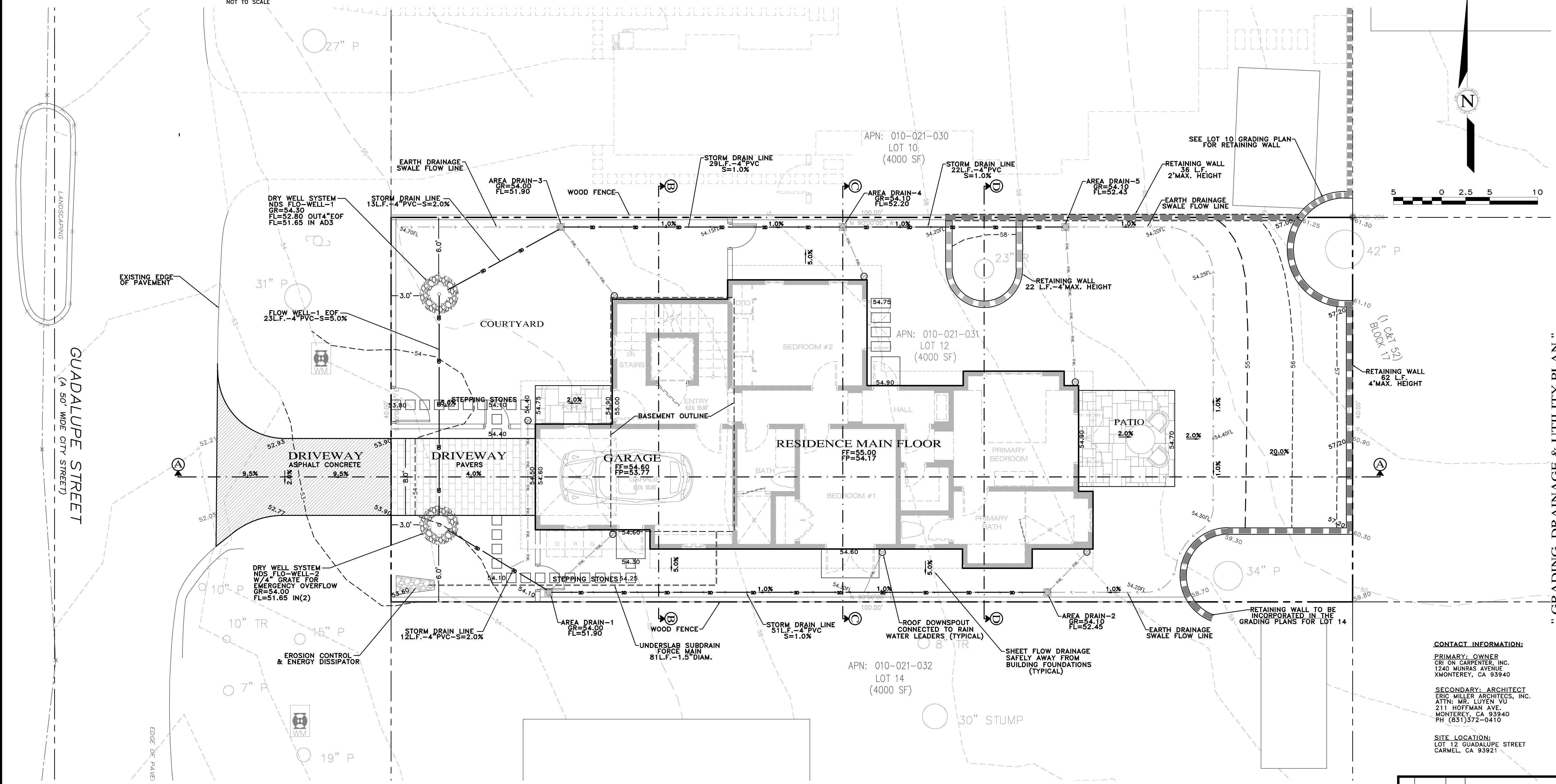
- SHEET C1 GRADING, DRAINAGE & UTILITY PLAN
- SHEET C2 GRADING SECTIONS
- SHEET C3 EROSION & SEDIMENT CONTROL PLAN
- SHEET C4 CONSTRUCTION MANAGEMENT PLAN



APPROVED BY:  
**GUY R. GIRARDO**  
PROFESSIONAL ENGINEER



**GRADING, DRAINAGE & UTILITY PLAN "**  
**ERI RESIDENTIAL HOUSE LOT 12**  
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA  
A.P.N.: 010-021-031  
FOR CRION CARPENTER, INC.



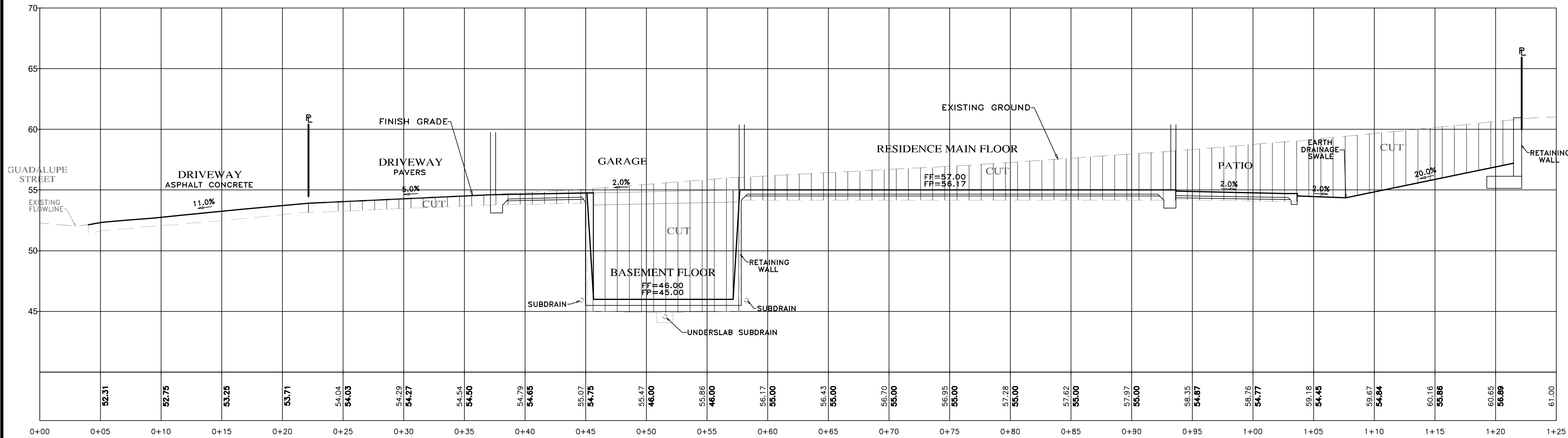
PLAN VIEW  
SCALE: 1"=8'

**CONTACT INFORMATION:**  
PRIMARY: OWNER  
CRION CARPENTER, INC.  
1240 MUNRAS AVENUE  
MONTEREY, CA 93940  
SECONDARY: ARCHITECT  
ERIC MILLER ARCHITECTS, INC.  
ATTN: MR. LYSEN VIJ  
211 HOFFMAN AVE.  
MONTEREY, CA 93940  
PH (831)372-0410  
SITE LOCATION:  
LOT 12 GUADALUPE STREET  
CARMEL, CA 93921

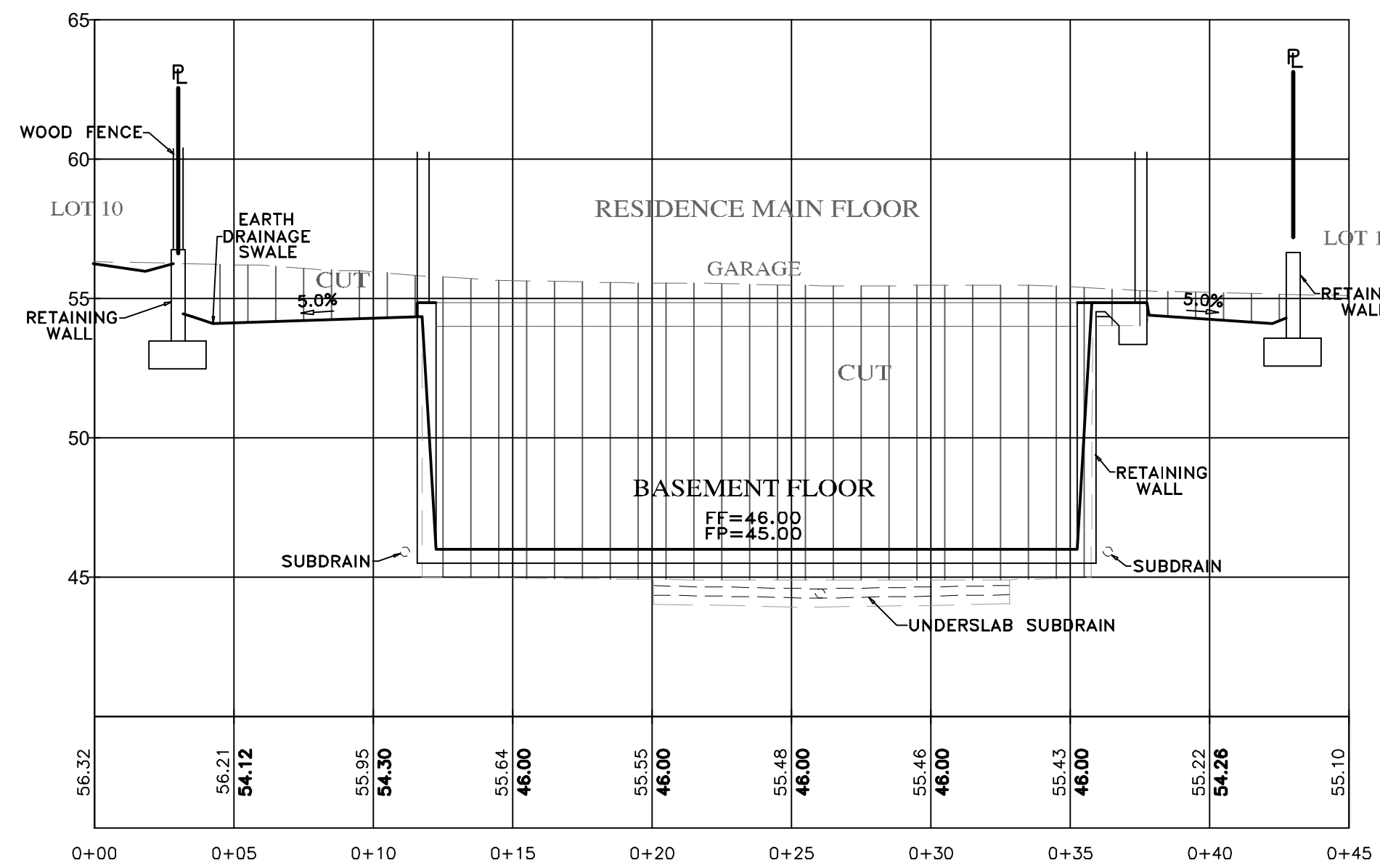
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DATE: DECEMBER 2023  
JOB NO. 2143-04

No.	DATE	BY	REVISION

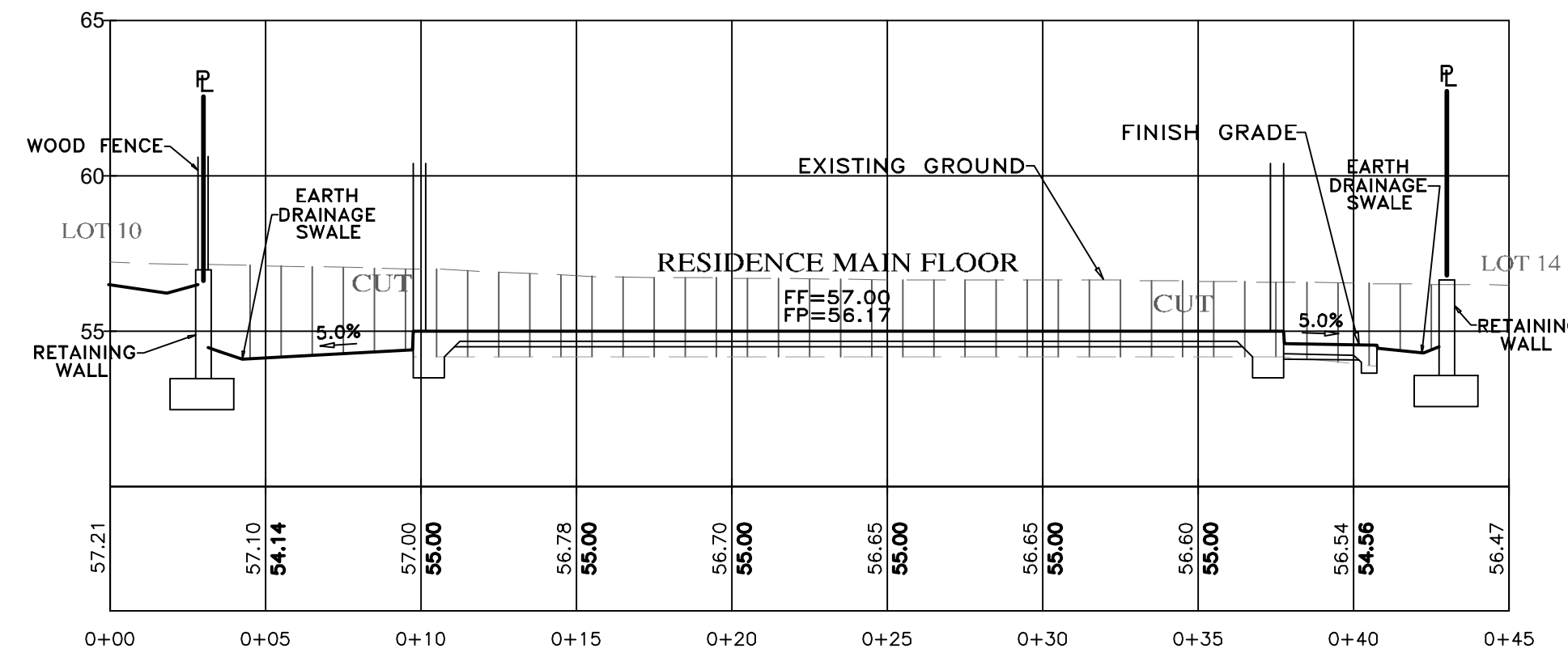
SHEET **C1**  
OF 4 SHEETS



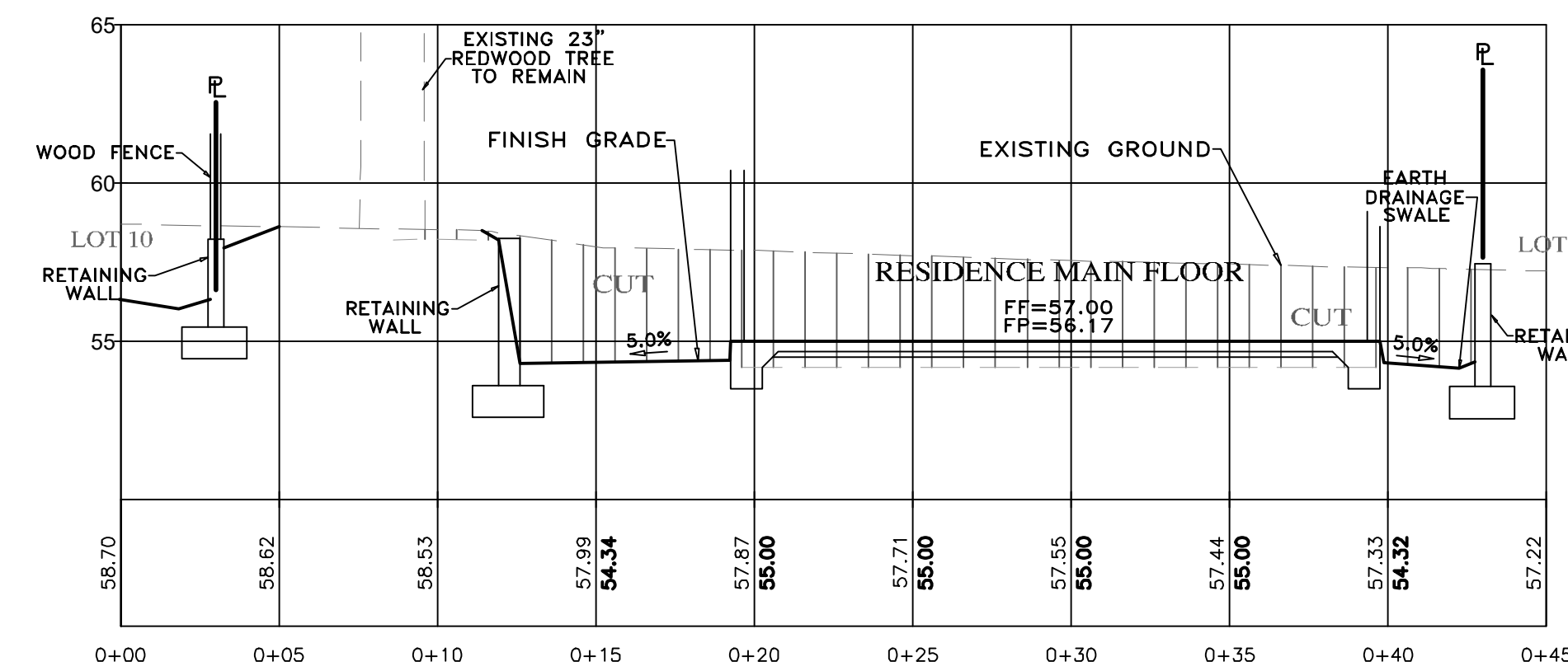
**SECTION A-A**  
SCALE: 1"=5' H&V



**SECTION B-B**  
SCALE: 1"=5' H&V



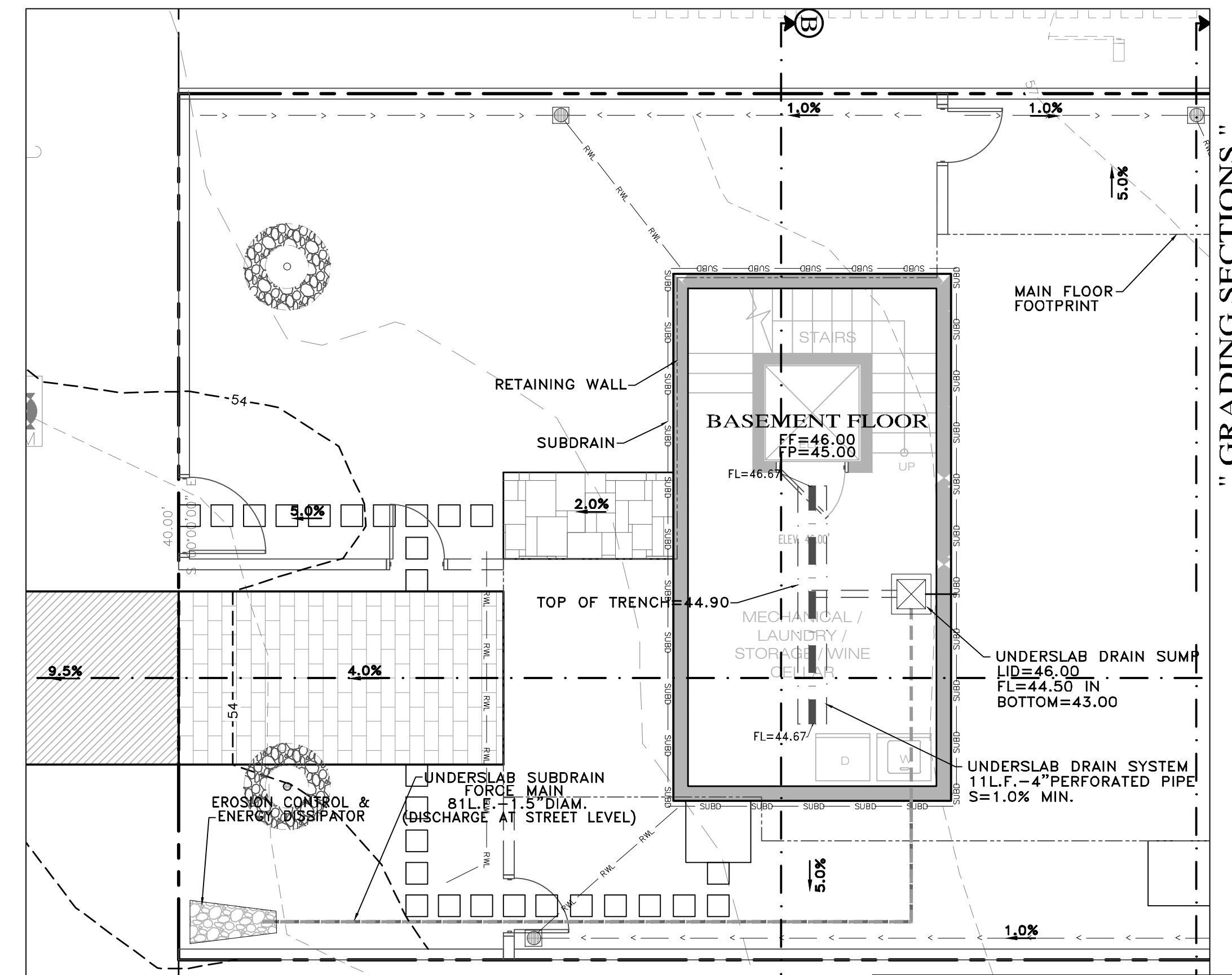
**SECTION C-C**  
SCALE: 1"=5' H&V



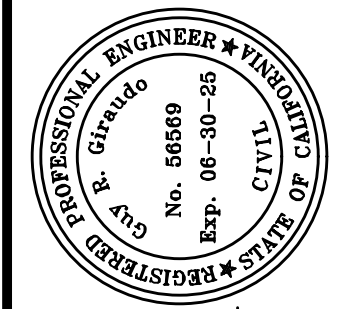
**SECTION D-D**  
SCALE: 1"=5' H&V

**NOTES:**

- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS.
- OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT.
- FOR SECTION LOCATIONS, SEE SHEET C1 "GRADING, DRAINAGE & UTILITY PLAN".



**BASEMENT FLOOR**  
SCALE: 1"=5'



APPROVED BY:  
**GUY R. GIRARDO**



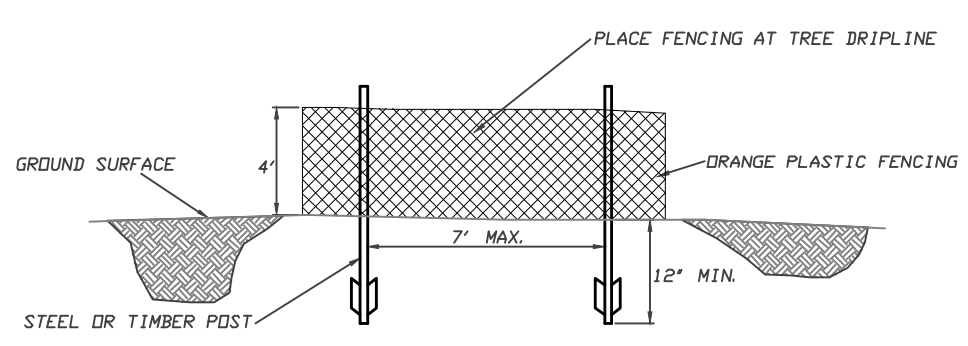
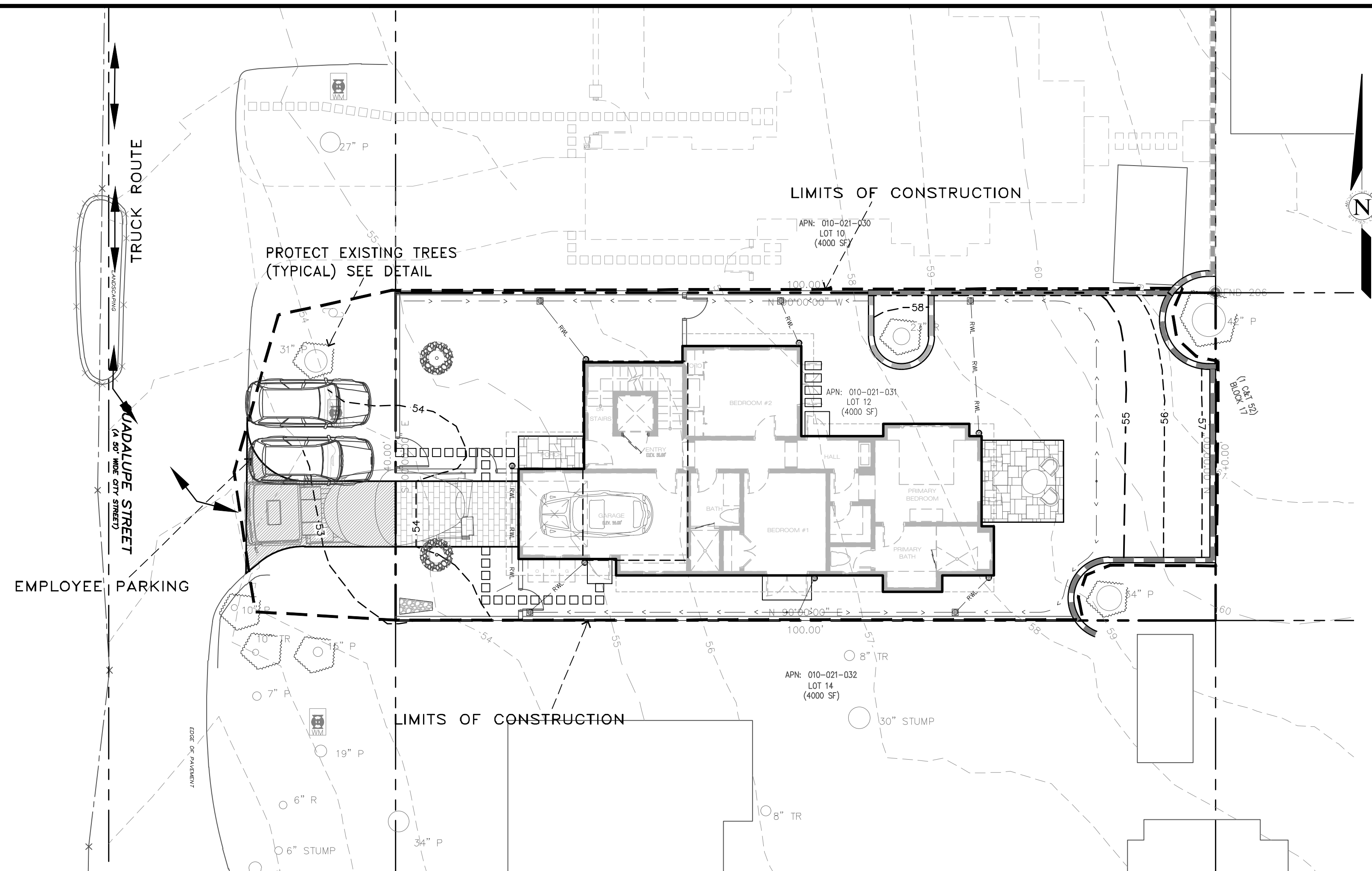
**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
OF  
**CRI RESIDENTIAL HOUSE LOT 12**  
A.P.N.: 010-021-031  
FOR  
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA  
FOR  
CRI ON CARPENTER, INC.

SCALE: 1"=5' H&V  
DATE: DECEMBER 2023  
JOB NO. 2143-04

No.	DATE	BY	REVISION
12/12/23	AMS	RELEASED TO CLIENT	

LSPPROJ\2143-CRI RES\2143-LOT12\DWG\2143-GRD&CP.DWG\242302E





EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:  
465 CY CUT  
0 CY FILL

CONSTRUCTION STAGING:  
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM MINOR GRADING, CONSTRUCT STRUCTURES, AND INSTALL UNDERGROUND UTILITIES. EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON GUADALUPE STREET AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

**HAUL ROUTES:**  
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO CARPENTER STREET, TO FIRST AVENUE, TO GUADALUPE STREET. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON GUADALUPE STREET. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

**MATERIAL DELIVERIES:**  
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

**EMPLOYEE PARKING:**  
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG GUADALUPE STREET, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

**LIMITS OF CONSTRUCTION:** ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	3	2
GRADING & SOIL REMOVAL (EXPORT)	23	4
ENGINEERING MATERIALS (IMPORT)	2	2
<b>TOTALS</b>	<b>28</b>	<b>8</b>

TRUCK TRIP GENERATION NOTES:

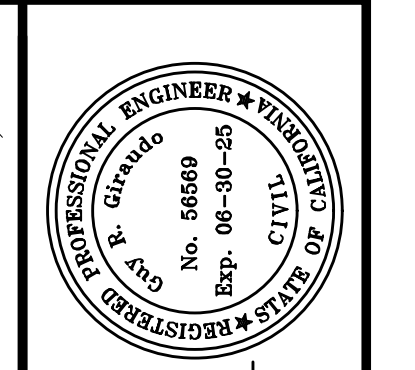
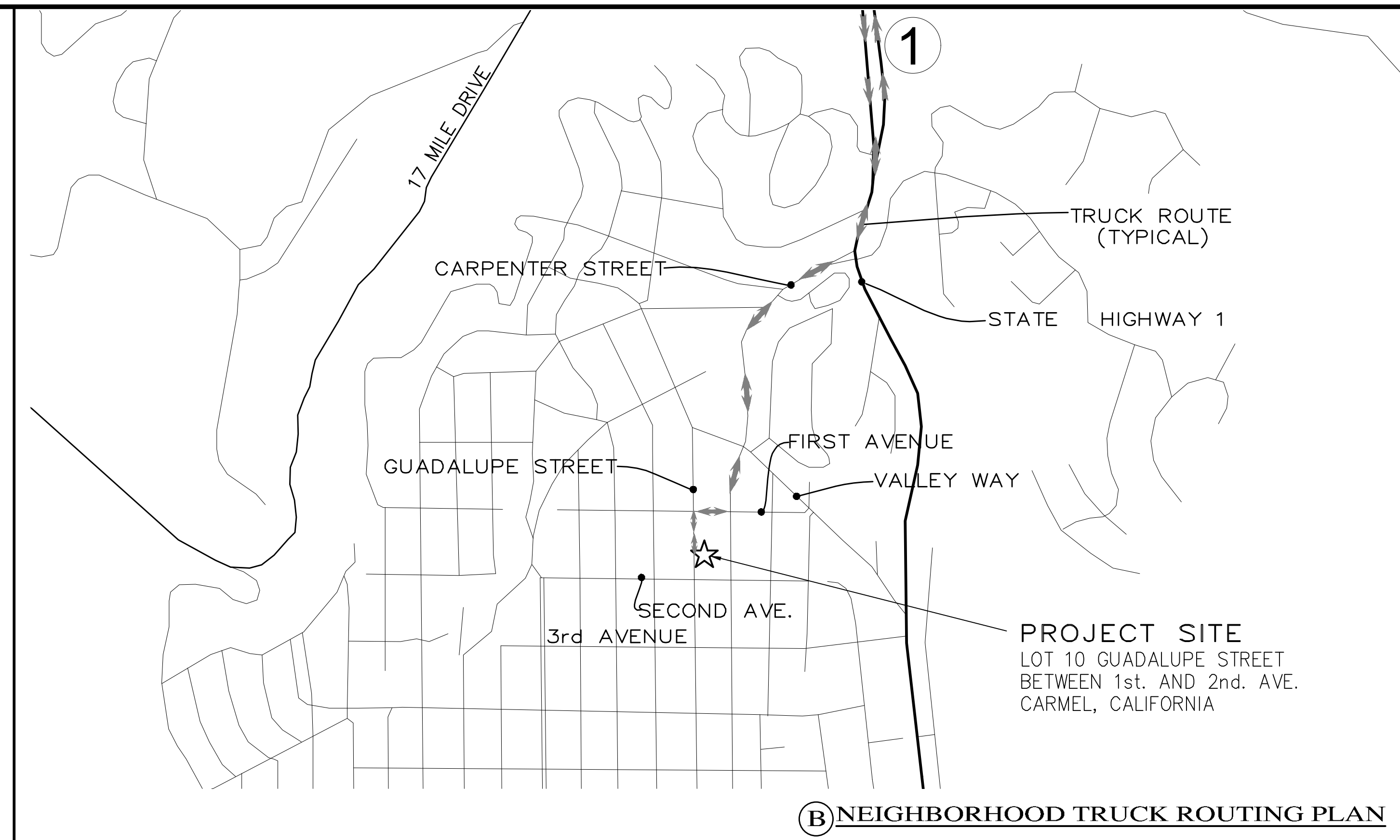
- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
- THERE ARE 465 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 8 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 8 JANUARY 2024, 8 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

**(A) CONSTRUCTION STAGING PLAN**  
SCALE: 1"=30'



APPROVED BY:  
**GUY R. GIRARD**  
Professional Engineer  
No. 54646  
Exp. 06-30-25



**CONSTRUCTION MANAGEMENT PLAN**  
OF  
**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
FOR  
**CRI RESIDENTIAL HOUSE LOT 12**  
A.P.N.: 010-021-031  
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA  
CRI ON CARPENTER, INC.

SCALE: AS SHOWN  
DATE: DECEMBER 2023  
JOB NO. 2143-04

SHEET **C4**  
OF 4 SHEETS

No.	DATE	BY	REVISION
12/12/23	AMS	RELEASED TO CLIENT	