

# CRI - RESIDENTIAL DEVELOPMENT

## Lot #10 Guadalupe Street Carmel-by-the-Sea, CA 93921

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE  
 MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

COVER SHEET  
 JOB NAME:  
**CRI - Residential House Lot #10**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-030

DATE: 5/5/23  
 SCALE: N.T.S.  
 DRAWN: JK/DM  
 JOB NUMBER: 20.05

**A-1**  
 SHEET OF

### PROJECT DATA

**ADDRESS:** LOT #10 GUADALUPE STREET  
CARMEL BY THE SEA, CA 93921

**PROJECT DESCRIPTION:** CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING WITH ATTACHED GARAGE, CONSISTING OF: 942 S.F. MAIN FLOOR, 631 S.F. UPPER FLOOR, 221 S.F. GARAGE AND 200 S.F. BASEMENT.

LOT SIZE: 4,000.0 S.F.  
 ZONING: RI  
 A.P.N.: 010-021-030-000

TYPE OF CONSTRUCTION: ( V-B )

**SETBACK**

FRONT 15'  
 REAR 15'  
 SIDE 25% OF LOT WIDTH - 10' MAX.

BUILDING HEIGHT — ONE STORY PLATE HT. - 12.0'  
 2ND STORY PLATE HT. - 10.0'  
 MAX ROOF HT. - 24.0'

F.A.R. FLOOR AREA CALCULATIONS	
MAIN FLOOR AREA	921 S.F.
GARAGE	227 S.F.
UPPER FLOOR AREA	608 S.F.
<b>SUB - TOTAL</b>	<b>1,756 S.F.</b>
MAX. FLOOR AREA ALLOWED	1,800 S.F.
AREA ALLOWED TOWARD BASEMENT	1,800 - 1,756 = 44 S.F.
BASEMENT FLOOR AREA (44 x 2)	88 S.F.
BASEMENT BONUS	100 S.F.
<b>TOTAL</b>	<b>1,944 S.F.</b>
<b>PROJECT FLOOR AREA = 1,944 SF.</b>	

### PROJECT TEAM

**OWNER:** CRI ON CARPENTER, INC.  
 HITESH DESAI - CEO  
 1240 MUNRAS AVENUE  
 MONTEREY, CA 93940  
 PH: 510-853-2100

**ARCHITECT:** ERIC MILLER ARCHITECTS, INC.  
 211 HOFFMAN AVE.  
 MONTEREY, CA 93940  
 PH: 831-312-0410  
 CONTACT: LUYEN VU

**SURVEYOR:** LANDSET ENGINEERING  
 520-B CRAZY HORSE CANYON ROAD  
 SALINAS, CA 93907  
 PH: 831-443-6910  
 CONTACT: GUY GIRAUDO

**LANDSCAPE:** TOWN & COUNTRY GARDENING & LANDSCAPE  
 P.O. BOX 223198  
 CARMEL, CA 93923  
 PH: 831-596-7609  
 CONTACT: ROBERT LUSTER

**CIVIL:** LANDSET ENGINEERING  
 520-B CRAZY HORSE CANYON ROAD  
 SALINAS, CA 93907  
 PH: 831-443-6910  
 CONTACT: GUY GIRAUDO

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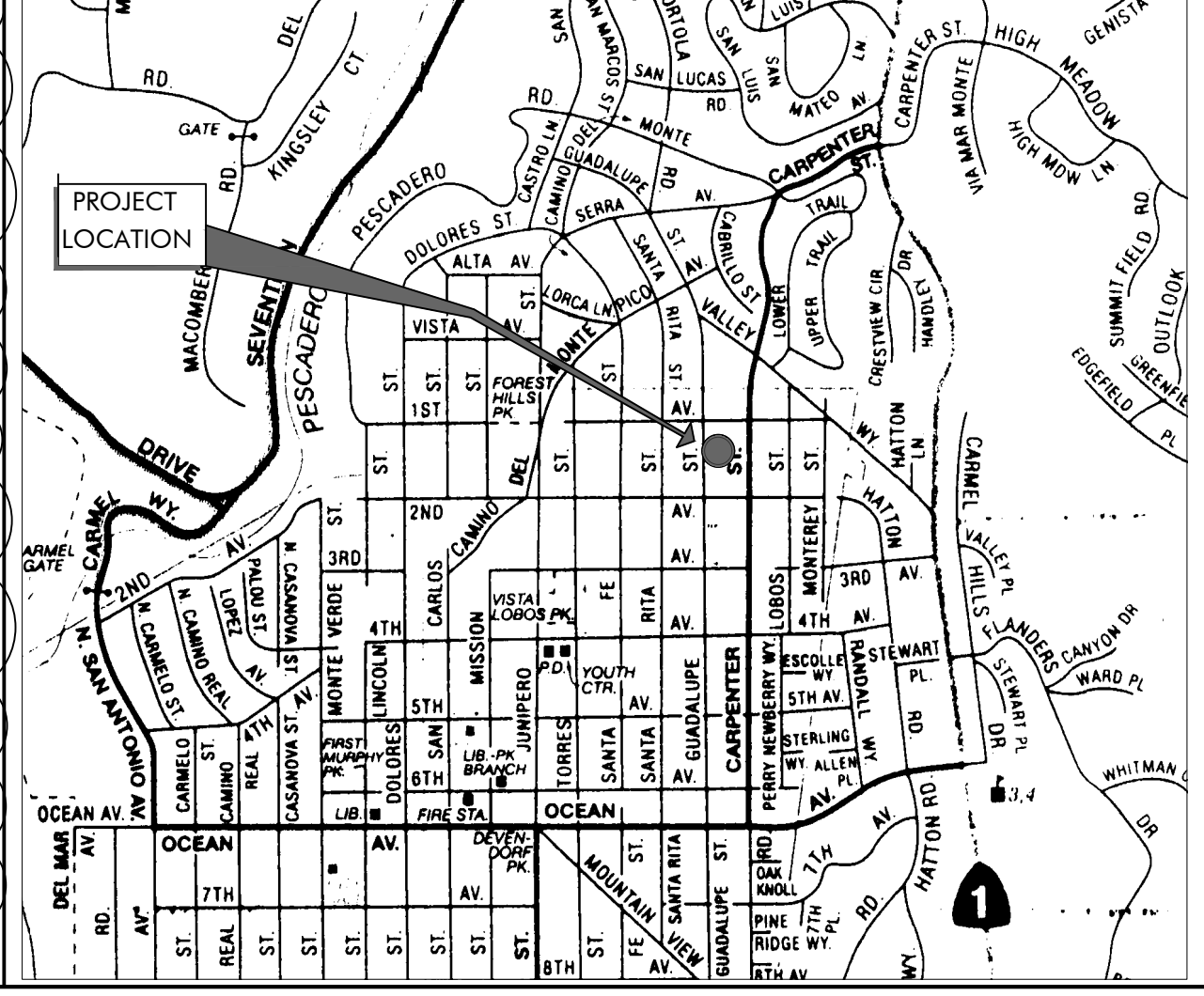
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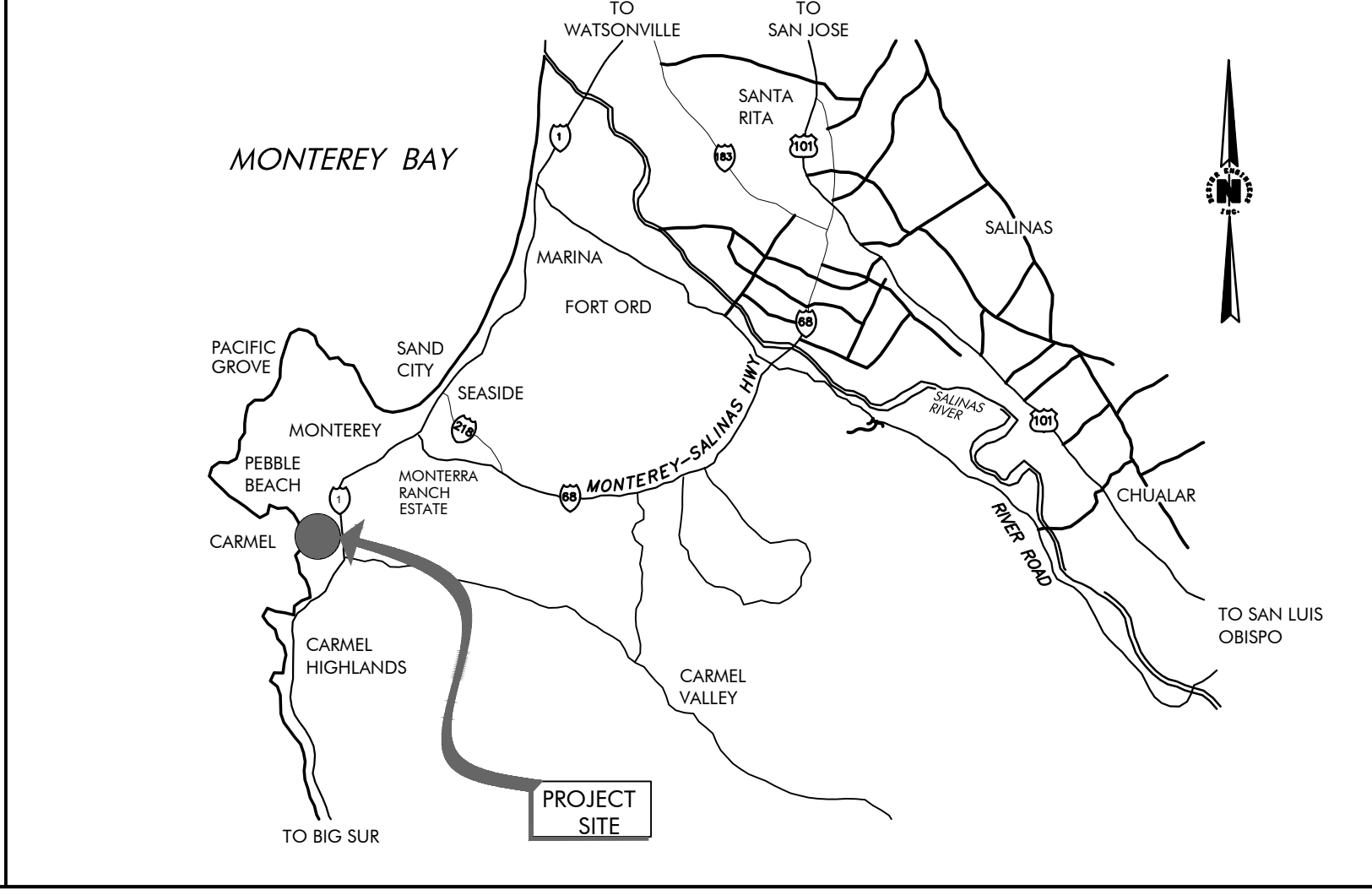
### SITE COVERAGE

ALLOWED	556.0 S.F.
<b>PROPOSED IMPERVIOUS COVERAGE</b>	
PORCHES	36.0 S.F.
LANDINGS	18.0 S.F.
SITE WALLS	36.0 S.F.
MISC. HARDSCAPE	32.0 S.F.
<b>TOTAL IMPERVIOUS COVERAGE</b>	<b>122.0 S.F.</b>
<b>PROPOSED PERVIOUS COVERAGE</b>	
DRIVEWAY	212.0 S.F.
STEPPING STONES & WALKWAYS	68.0 S.F.
BUILDING OVERHANGS	N.A.
<b>TOTAL PERVIOUS COVERAGE</b>	<b>280.0 S.F.</b>
<b>TOTAL PROPOSED SITE COVERAGE</b>	<b>402.0 S.F.</b>
<b>ROOF DECK</b>	
ROOF DECK	125 S.F.

### LOCATION MAP



### VICINITY MAP



### OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.
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### TREE REMOVAL

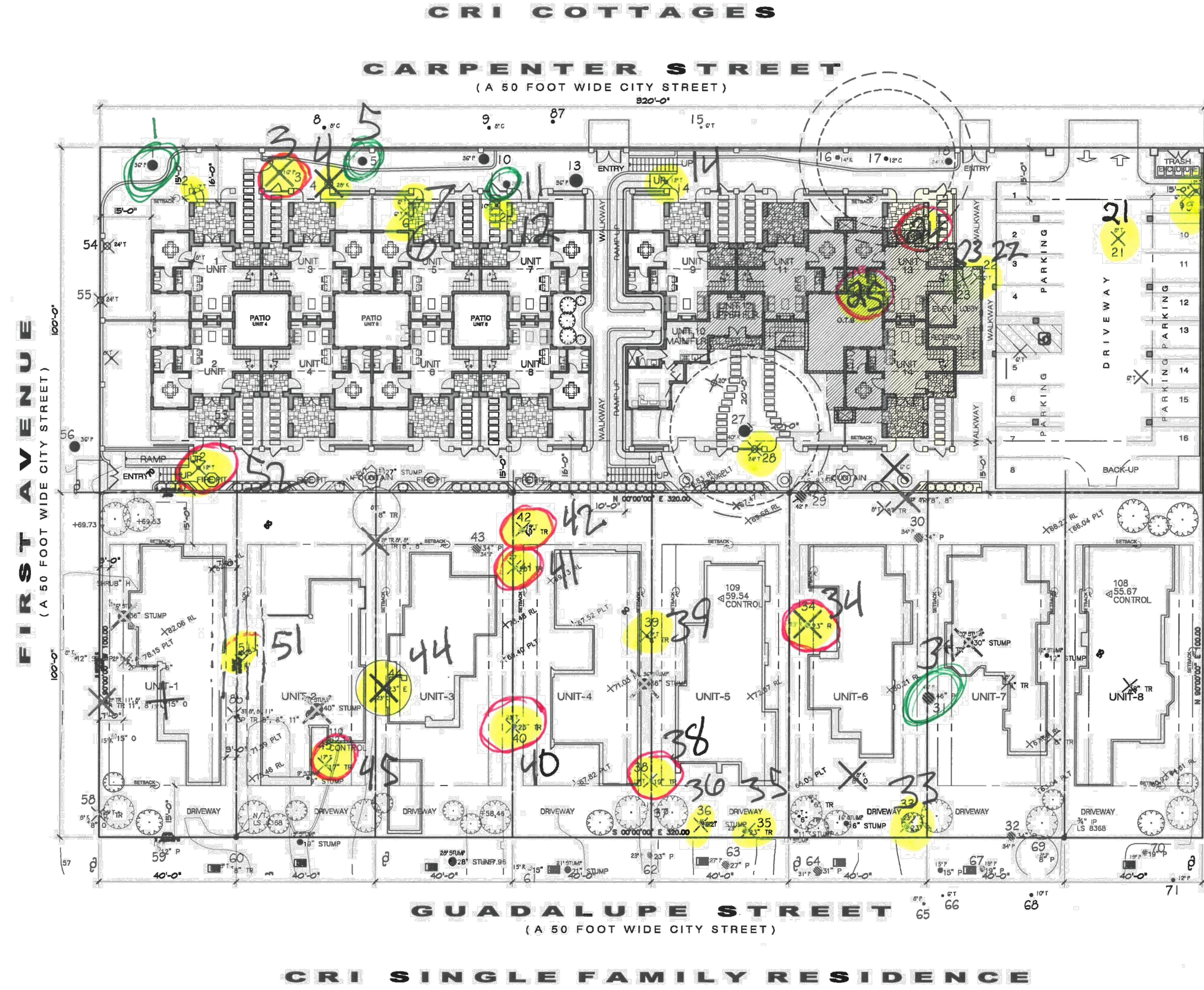
TWO (2) TREES TO BE REMOVED: 23" TREE (#35), 22" TREE (#36)

### EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCENT EQUIVALENT) IN POWER PER FIXTURE.



THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION OF ANY PART, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. SOCIAL COVENANTS WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE A PART OF THE EVIDENCE OF ASSUMPTION OF THESE RESTRICTIONS.



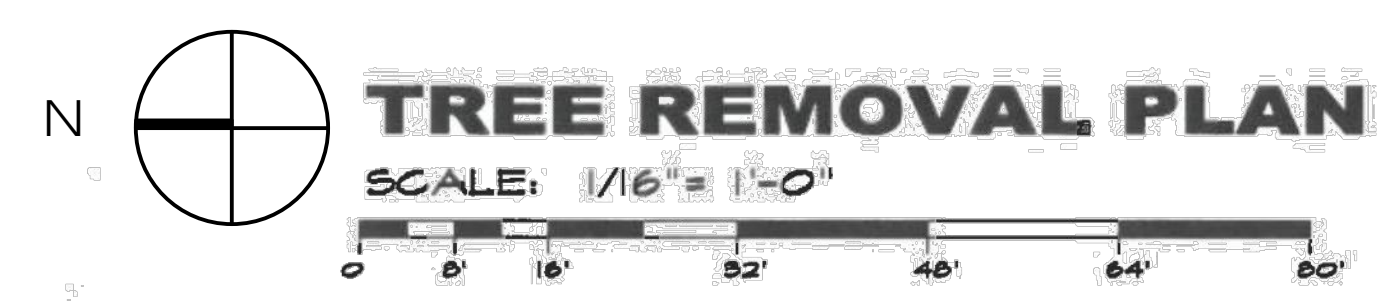
**LEGEND** ✕ TREES TO BE REMOVED FOR CRI COTTAGES

TREE TYPE & SIZES OF TREES TO BE REMOVED	NO. OF TREES TO BE REMOVED
(T) TREE (7) 6", (3) 8", (2) 10", (3) 12", (1) 14", (1) 18", (1) 20", (3) 24"	21 - TREES
(O) OAK (1) 28"	1 - OAK ✕
(C) CYPRESS (1) 6"	1 - CYPRESS ✕
(P) PINE (1) 16"	1 - PINE ✕
<b>TOTAL NUMBER OF TREES TO BE REMOVED = 24</b>	

**LEGEND** ✕ TREES TO BE REMOVED FOR CRI SINGLE FAMILY RESIDENCE

TREE TYPE & SIZES OF TREES TO BE REMOVED	NO. OF TREES TO BE REMOVED
(T) TREE (8) 6", (2) 11", (1) 15", (1) 17", (2) 19", (1) 20", (1) 22", (2) 23"	18 - TREES
(O) OAK (1) 8", (1) 15"	2 - OAK ✕
(P) PINE (2) 6", (3) 8", (1) 11"	6 - PINE ✕
(R) REDWOOD (1) 23"	1 - REDWOOD ✕
(E) EUCALYPTUS (1) 23"	1 - EUCALYPTUS ✕
STUMP (1) 30", (2) 36", (1) 40"	4 - STUMPS ✕
<b>TOTAL NUMBER OF TREES TO BE REMOVED = 28</b>	
<b>TOTAL NUMBER OF STUMPS TO BE REMOVED = 4</b>	

**TOTAL NUMBER OF TREES TO BE REMOVED = 52**  
**TOTAL NUMBER OF STUMPS TO BE REMOVED = 4**



**NOTES:**

- TREE PROTECTION ZONE - THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18' RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER.
- STRUCTURAL ROOT ZONE - STRUCTURAL ROOT ZONE SHALL BE 6 FEET FROM THE TRUNK OR 6' RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER.

**ERIC MILLER ARCHITECTS, INC.**

211 HOFFMAN AVENUE MONTEREY, CALIFORNIA 93940 TEL: 831-372-0410

**PRELIMINARY SITE ASSESSMENT PLAN**  
 JOB NAME: **CRI - Residential House Lot #10**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-030

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REVISION	No.

CONSULTANT:

ARCHITECT

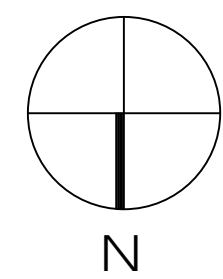
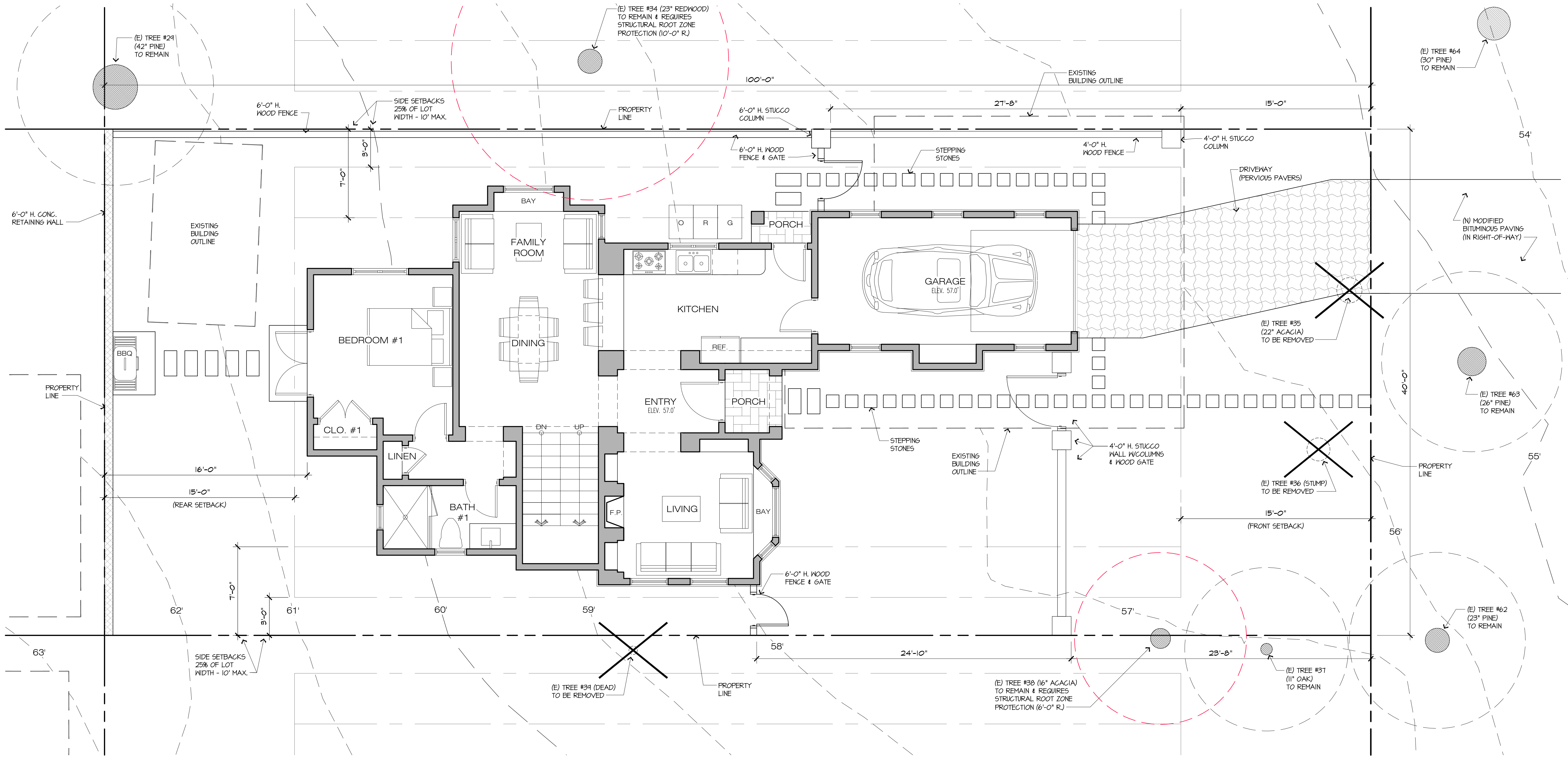
DATE: 5/5/23  
 SCALE: N.T.S.  
 DRAWN: CAD  
 JOB NUMBER: 20.05

**A-2b**  
 SHEET OF

CRI ON CARPENTER, INC.  
 between 1st & 2nd Central, CA  
 010-021-030



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**PROPOSED SITE PLAN**

SCALE: 1/4" = 1'-0"



ROOF DECK	
ROOF DECK	125.0 S.F.

SITE COVERAGE	
ALLOWED	556.0 S.F.
PROPOSED IMPERVIOUS COVERAGE	
PORCHES	36.0 S.F.
LANDINGS	18.0 S.F.
SITE WALLS	36.0 S.F.
MISC. HARDSCAPE	32.0 S.F.
TOTAL IMPERVIOUS COVERAGE	122.0 S.F.
PROPOSED PERVIOUS COVERAGE	430.0 S.F.
DRIVEWAY	212.0 S.F.
STEPPING STONES & WALKWAYS	68.0 S.F.
BUILDING OVERHANGS	N.A.
TOTAL PERVIOUS COVERAGE	280.0 S.F.
TOTAL PROPOSED SITE COVERAGE	402.0 S.F.

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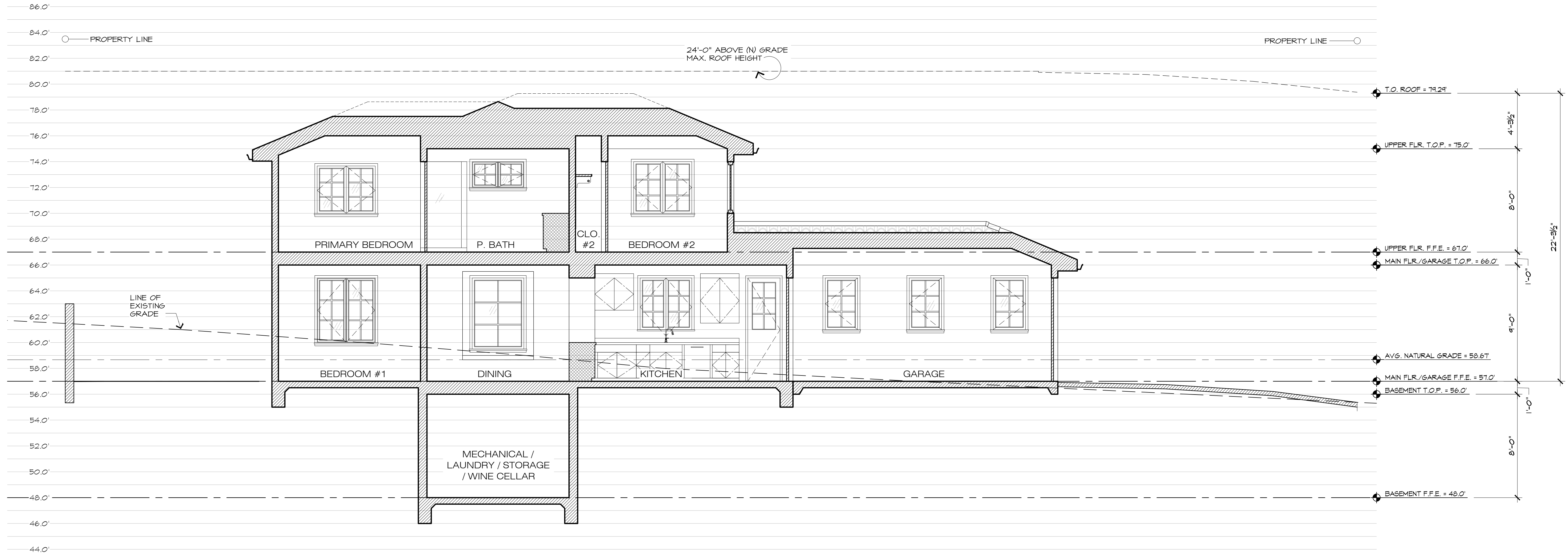
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PROPOSED SITE PLAN

JOB NAME:  
**ERI - Residential House Lot #10**  
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 DRAWN: JK/DM  
 JOB NUMBER: 20.05

**A-3b**  
 SHEET OF



**PROPOSED SITE SECTION**

SCALE: 1/4" = 1'-0"



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ARCHITECT

**PROPOSED SITE SECTION**

JOB NAME: **ERI - Residential House Lot #10**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-080

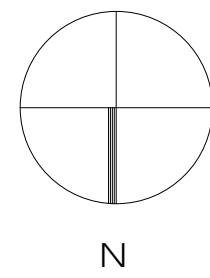
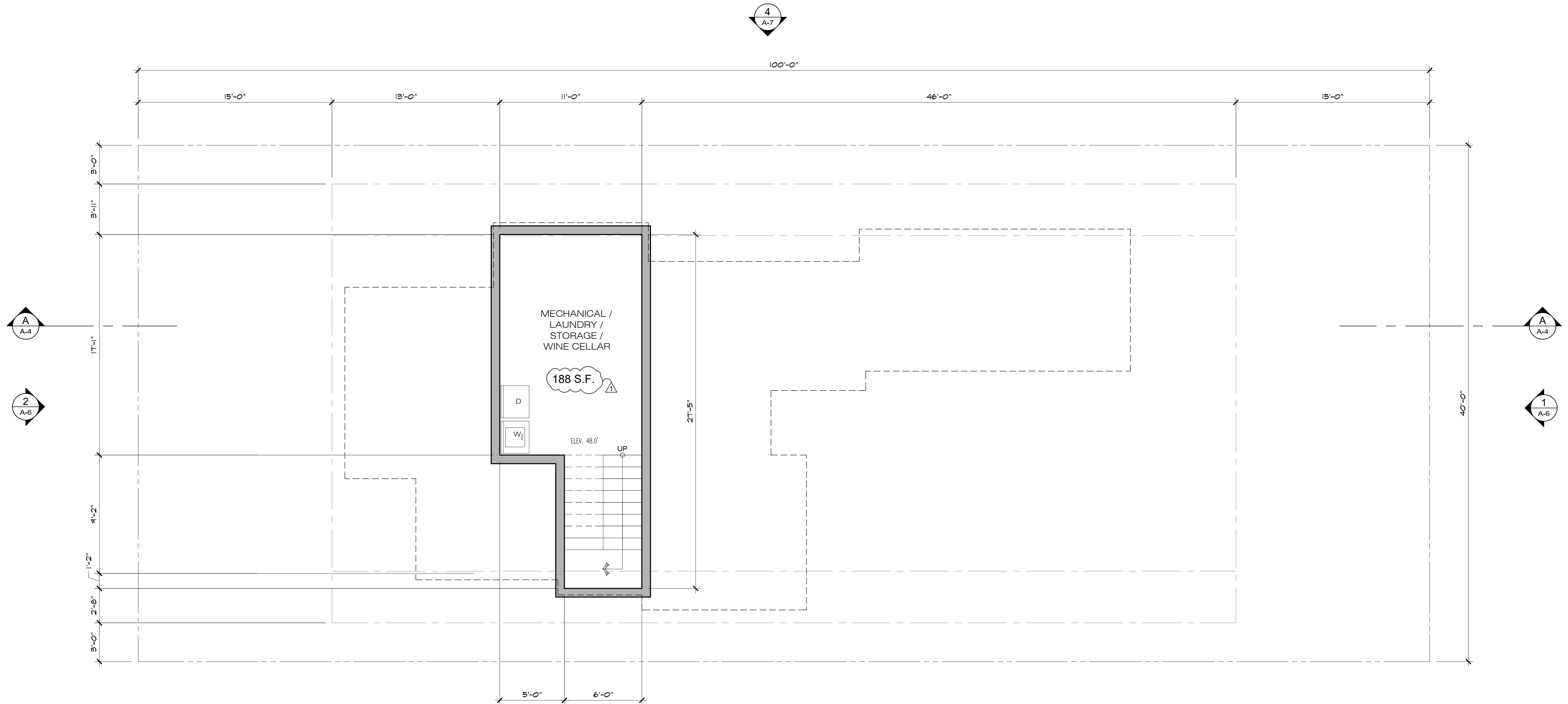
DATE: 5/5/23

SCALE: 1/4"=1'-0"

DRAWN: JK

JOB NUMBER: 20.05

**A-4**  
SHEET OF



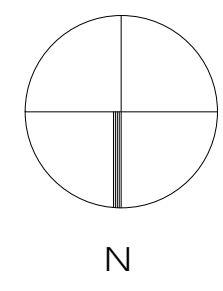
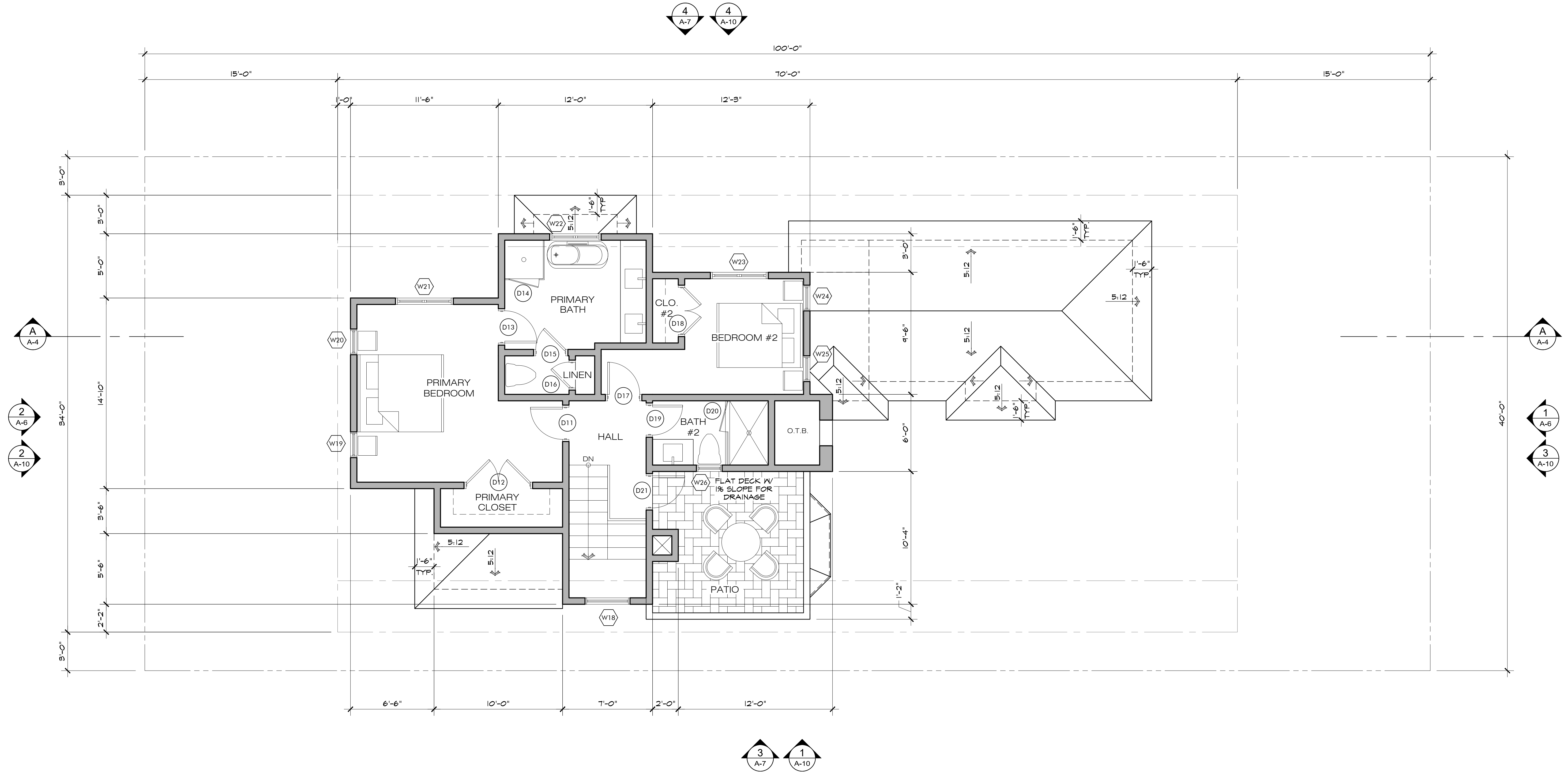
**BASEMENT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 0 2 4 8 12 16 20

1	
MAIN FLOOR AREA	921 S.F.
GARAGE	227 S.F.
UPPER FLOOR AREA	608 S.F.
SUB - TOTAL	
	1,756 S.F.
MAX. FLOOR AREA ALLOWED	1,800 S.F.
AREA ALLOWED TOWARD BASEMENT	1,800 - 1,756 = 44 S.F.
BASEMENT FLOOR AREA (44 x 2)	88 S.F.
BASEMENT BONUS	100 S.F.
TOTAL	
	1,944 S.F.

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<p style="text-align: center;">ARCHITECT</p>	<p style="text-align: center;">ARCHITECT</p>								
<p style="text-align: center;">BASEMENT FLOOR PLAN</p>	<p style="text-align: center;">JOB NAME:  <b>ERI - Residential House Lot #10</b>                  Guadalupe St. between 1st &amp; 2nd Ave.                  Carmel-by-the-Sea, CA 93921                  A.P.N. 010-021-030</p>								
<p>DATE: 5/5/23</p> <p>SCALE: 1/4"=1'-0"</p> <p>DRAWN: JK/DM</p> <p>JOB NUMBER: 20.05</p>	<p style="font-size: 2em; font-weight: bold; text-align: center;">A-5a</p> <p style="text-align: center;">SHEET OF</p>								







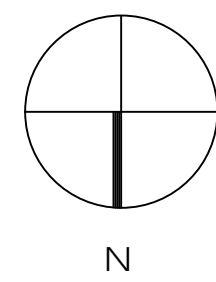
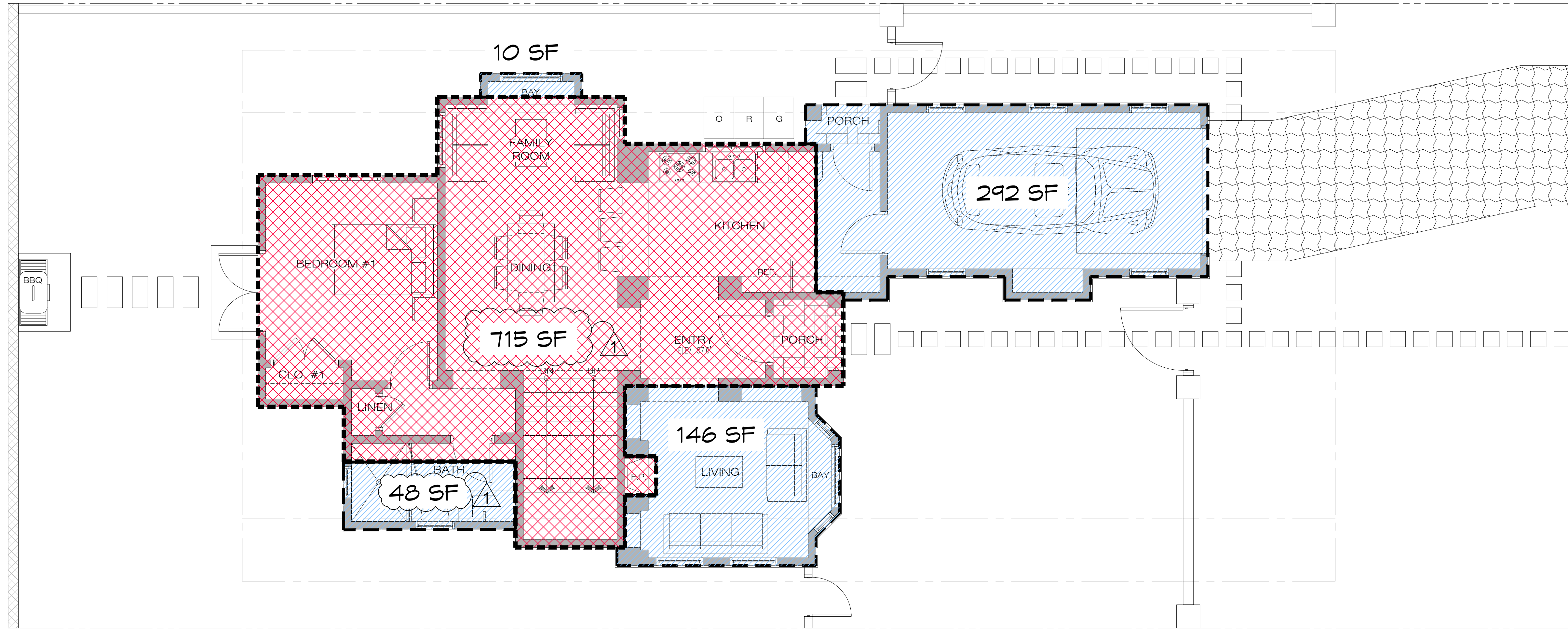
**UPPER FLOOR PLAN**

SCALE: 1/4" = 1'-0"



1	
MAIN FLOOR AREA	921 S.F.
GARAGE	227 S.F.
UPPER FLOOR AREA	608 S.F.
SUB - TOTAL	
	1,756 S.F.
MAX. FLOOR AREA ALLOWED	1,800 S.F.
AREA ALLOWED TOWARD BASEMENT	1,800 - 1,756 = 44 S.F.
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ARCHITECT	
UPPER FLOOR PLAN	
JOB NAME: <b>ERI - Residential House Lot #10</b> Guadalupe St. between 1st & 2nd Ave. Carmel-by-the-Sea, CA 93921 A.P.N. 010-021-030	
DATE:	5/5/23
SCALE:	1/4" = 1'-0"
DRAWN:	JK/DM
JOB NUMBER:	20.05
A-5c	
SHEET OF	



**MAIN FLOOR & UPPER FLOOR OVERLAY**

SCALE: 1/4" = 1'-0"



LEGEND	
	OVERLAPPING & NON-OVERLAPPING FLOOR AREA
	NON-OVERLAPPING FLOOR AREA = 496 S.F.
	OVERLAPPING FLOOR AREA = 715 S.F.

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MAIN & UPPER FLOOR OVERLAY

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**A-5d**  
 SHEET OF

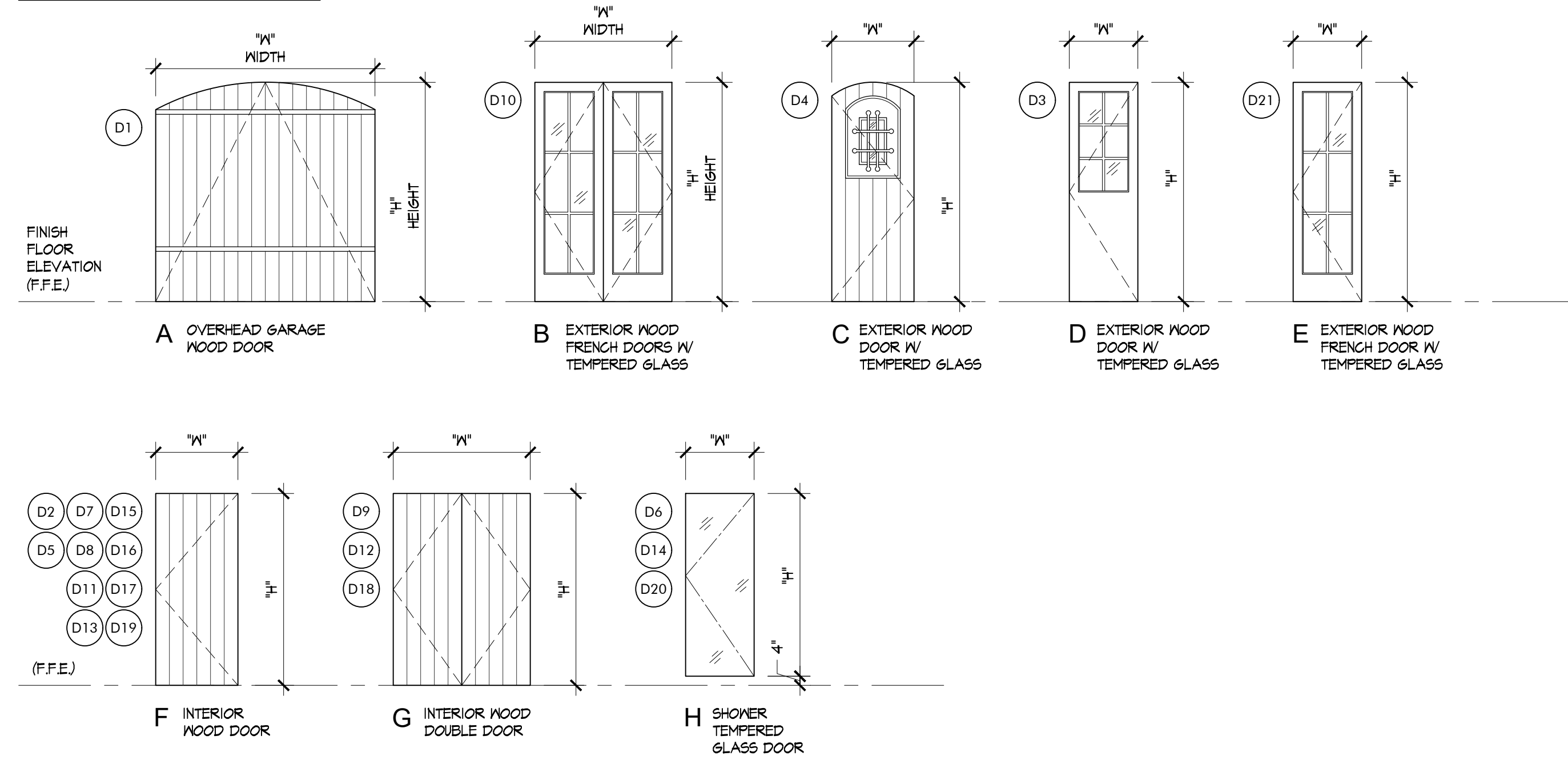
### DOOR SCHEDULE

DOOR NO.	TYPE	"W"-DOOR WIDTH	"H"-DOOR HEIGHT	THKNS.	LOCATION - ROOM NUMBER	DOOR MATL.	FRAME MATL.	HEAD DETAIL	JAMB DETAIL	THRSHD. DETAIL	REMARKS
D1	A	8'-0"	8'-0"	2-1/4"	GARAGE	WOOD	WOOD	--	--	--	--
D2	F	2'-6"	8'-0"	1-3/4"	KITCHEN	WOOD	WOOD	--	--	--	20 MIN. FIRE RATED, SEE NOTE 6
D3	D	2'-6"	8'-0"	1-3/4"	KITCHEN	WD./GL.	WOOD	--	--	--	TEMPERED GLASS
D4	C	3'-0"	8'-0"	1-3/4"	ENTRY	WD./GL.	WOOD	--	--	--	TEMPERED GLASS
D5	F	2'-6"	8'-0"	1-3/4"	BATH #1	WOOD	WOOD	--	--	--	--
D6	H	2'-4"	6'-8"	1/2"	BATH #1	GLASS	--	--	--	--	TEMPERED GLASS; SEE NOTE 10
D7	F	2'-0"	8'-0"	1-3/4"	LINEN	WOOD	WOOD	--	--	--	--
D8	F	2'-6"	8'-0"	1-3/4"	BEDROOM #1	WOOD	WOOD	--	--	--	--
D9	G	4'-0"	8'-0"	1-3/4"	CLOSET #1	WOOD	WOOD	--	--	--	--
D10	B	5'-0"	8'-0"	1-3/4"	BEDROOM #1	WD./GL.	WOOD	--	--	--	TEMPERED GLASS
D11	F	2'-6"	7'-0"	1-3/4"	PRIMARY BEDROOM	WOOD	WOOD	--	--	--	--
D12	G	5'-0"	7'-0"	1-3/4"	PRIMARY CLOSET	WOOD	WOOD	--	--	--	--
D13	F	2'-6"	7'-0"	1-3/4"	PRIMARY BATH	WOOD	WOOD	--	--	--	--
D14	H	2'-4"	6'-8"	1/2"	PRIMARY BATH	GLASS	--	--	--	--	TEMPERED GLASS; SEE NOTE 10
D15	F	2'-4"	7'-0"	1-3/4"	PRIMARY BATH	WOOD	WOOD	--	--	--	--
D16	F	2'-0"	7'-0"	1-3/4"	LINEN	WOOD	WOOD	--	--	--	--
D17	F	2'-6"	7'-0"	1-3/4"	BEDROOM #2	WOOD	WOOD	--	--	--	--
D18	G	3'-8"	7'-0"	1-3/4"	CLOSET #2	WOOD	WOOD	--	--	--	--
D19	F	2'-4"	7'-0"	1-3/4"	BATH #2	WOOD	WOOD	--	--	--	--
D20	H	2'-4"	6'-8"	1/2"	BATH #2	GLASS	--	--	--	--	TEMPERED GLASS; SEE NOTE 10
D21	E	2'-6"	7'-0"	1-3/4"	HALL	WD./GL.	WOOD	--	--	--	TEMPERED GLASS

### DOOR NOTES

- ALL NEW DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED (U.O.N.):
- SHALL BE 2'-0" X 7'-0" MINIMUM.
  - SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
  - THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 3/4" ABOVE FINISH FLOOR. EGRESS DOORS TO HAVE A MAX. HEIGHT OF 1/2" A.F.F.
  - PROVIDE (2) PAIR, 4-1/2" X 4-1/2" BUTTS ON ALL DOORS.
  - ALL HARDWARE TO BE ROCKY MOUNTAIN OR EQUIVALENT, SELECTED BY OWNER.
  - ALL FIRE-RATED DOORS SHALL HAVE FIRE-RESISTANCE RATINGS OF 20 MINUTES, PEMKO 888D (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.
  - ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
  - ALL WOOD DOORS SHALL BE SOLID CORE.
  - EXTERIOR GLAZED DOORS SHALL BE MULTI-PANE INSULATED GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 251, OR MEET THE REQUIREMENTS OF SFM (2-7A-2.1) [§897.2.1] ALL DOOR GLAZING TO BE TEMPERED.
  - ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC SECTION 1134A.6.7 AND SHALL BE SAFETY GLAZING, PER CBC 2406.4.5.
  - REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
  - REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE AREA OF OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.

### DOOR TYPES



REVISION	No.

CONSULTANT:

ARCHITECT

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**DOOR SCHEDULE**

JOB NAME: **CR1 - Residential House Lot #10**  
Guadalupe St. between 1st & 2nd Ave.  
Carmel-by-the-Sea, CA 93921  
A.P.N. 010-021-080

DATE: 5/5/23

SCALE: 1/4" = 1'-0"

DRAWN: JK

JOB NUMBER: 20.05

**A-5e**  
SHEET OF

### WINDOW SCHEDULE

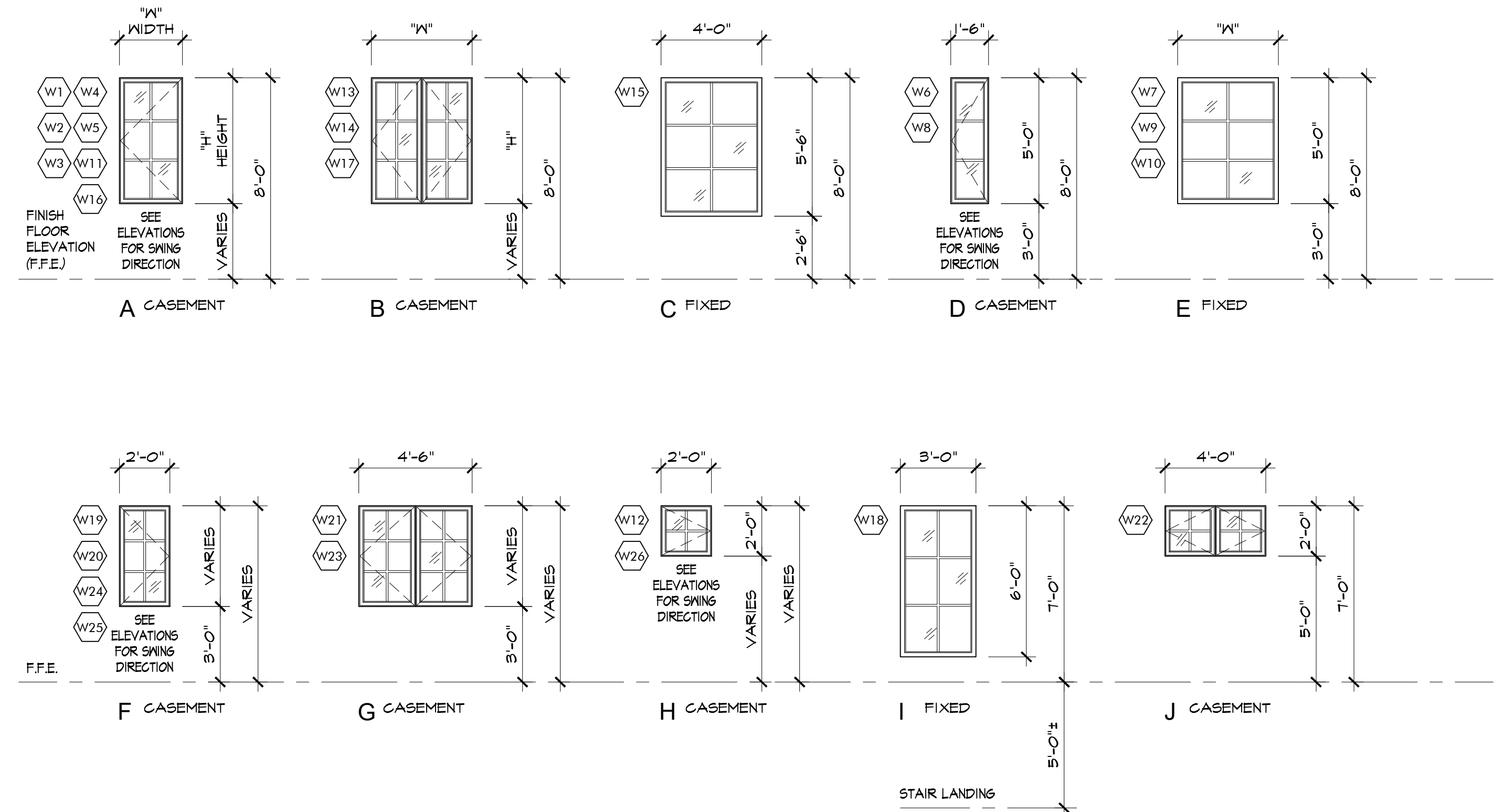
WDW. NO.	TYPE	SIZE "W" WIDTH	SIZE "H" HEIGHT	HEAD HEIGHT	GLAZING	SAFETY GLAZING	OPERATING STYLE	FRAME MATL.	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	MULLION DETAIL	LOCATION	REMARKS
W1	A	2'-6"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	GARAGE	--
W2	A	2'-6"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	GARAGE	--
W3	A	2'-6"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	GARAGE	--
W4	A	2'-6"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	GARAGE	--
W5	A	2'-6"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	GARAGE	--
W6	D	1'-6"	5'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	LIVING ROOM	--
W7	E	4'-0"	5'-0"	8'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	LIVING ROOM	--
W8	D	1'-6"	5'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	LIVING ROOM	--
W9	E	3'-0"	5'-0"	8'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	LIVING ROOM	--
W10	E	3'-0"	5'-0"	8'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	LIVING ROOM	--
W11	A	2'-0"	3'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BATH #1	--
W12	H	2'-0"	2'-0"	8'-0"	DOUBLE GLAZE	TEMPERED GLASS	CASEMENT	WOOD	--	--	--	--	BATH #1	--
W13	B	4'-6"	5'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #1	--
W14	B	3'-6"	5'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	FAMILY ROOM	--
W15	C	4'-0"	5'-6"	8'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	FAMILY ROOM	--
W16	A	2'-0"	5'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	FAMILY ROOM	--
W17	B	4'-0"	4'-0"	8'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	KITCHEN	--
W18	I	3'-0"	6'-0"	7'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	STAIR	--
W19	F	2'-0"	3'-8"	6'-8"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	PRIMARY BEDROOM	--
W20	F	2'-0"	3'-8"	6'-8"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	PRIMARY BEDROOM	--
W21	G	4'-6"	3'-8"	6'-8"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	PRIMARY BEDROOM	--
W22	J	4'-0"	2'-0"	7'-0"	DOUBLE GLAZE	TEMPERED GLASS	CASEMENT	WOOD	--	--	--	--	PRIMARY BATH	--
W23	G	4'-6"	4'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #2	--
W24	F	2'-0"	4'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #2	--
W25	F	2'-0"	4'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #2	--
W26	H	2'-0"	2'-0"	7'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BATH #2	--

### WINDOW NOTES

ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING (U.O.N.):

- EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 24 INCHES IN HEIGHT, 20 INCHES IN WIDTH, 5.7 S.F. IN AREA, AND A SILL HEIGHT NOT MORE THAN 44" A.F.F. PER CRC SECTION R310.2.
- WOOD WINDOWS - POWDER-COATED ALUMINUM-GLAD WOOD WINDOWS, PAINTED INTERIORS - COLORS TO BE SELECTED.
- ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CRC SECTION R308.3. ALL SAFETY GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH CRC SECTION R308.4.
- ALL SLOPED GLAZING SHALL COMPLY WITH CRC SECTION R308.6 FOR INSTALLATION AND MATERIALS.
- SEE WINDOW TYPES THIS SHEET FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CRC SEC. R303.1 AND EGRESS PER CRC SEC. R310.
- ALL WINDOW GLAZING SHALL BE LOW-E, DOUBLE GLAZED U.O.N.
- ALL EXTERIOR OPENINGS SHALL PROVIDE NATURAL LIGHTING, IN HABITABLE ROOMS, WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA PER CRC SEC. R303.1, AND NATURAL VENTILATION WITH AN AREA OF NOT LESS THAN 4% OF ROOM FLOOR AREA PER CRC SECTION 303.1.
  - TEMPERED SAFETY GLAZING:
    - IS REQUIRED WHERE THE NEAREST EDGE OF GLAZING IS WITHIN A 24-INCH ARC OF EITHER SIDE OF A DOOR IN A CLOSED POSITION (UNLESS THERE IS AN INTERVENING WALL BETWEEN THE DOOR AND THE GLAZING, OR IF THE GLAZING IS 5' OR HIGHER ABOVE THE WALKING SURFACE).
    - GLAZING GREATER THAN 9 SQUARE FEET WITH THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND THE TOP EDGE GREATER THAN 36" ABOVE THE FLOOR (UNLESS THE GLAZING IS MORE THAN 36" HORIZONTALLY AWAY FROM THE WALKING SURFACES OR IF A COMPLYING PROTECTIVE BAR IS INSTALLED).
    - GLAZING IN SHOWER AND TUB ENCLOSURES (LESS THAN 60" ABOVE STANDING SURFACE).
    - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
    - WINDOWS IN BATHROOMS ARE TEMPERED IF LESS THAN 60" HORIZONTAL OR VERTICAL FROM STANDING SURFACE OF TUB AND/OR SHOWER. (CRC SECTION 308.4.5)

### WINDOW TYPES



REVISION	No.

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ARCHITECT

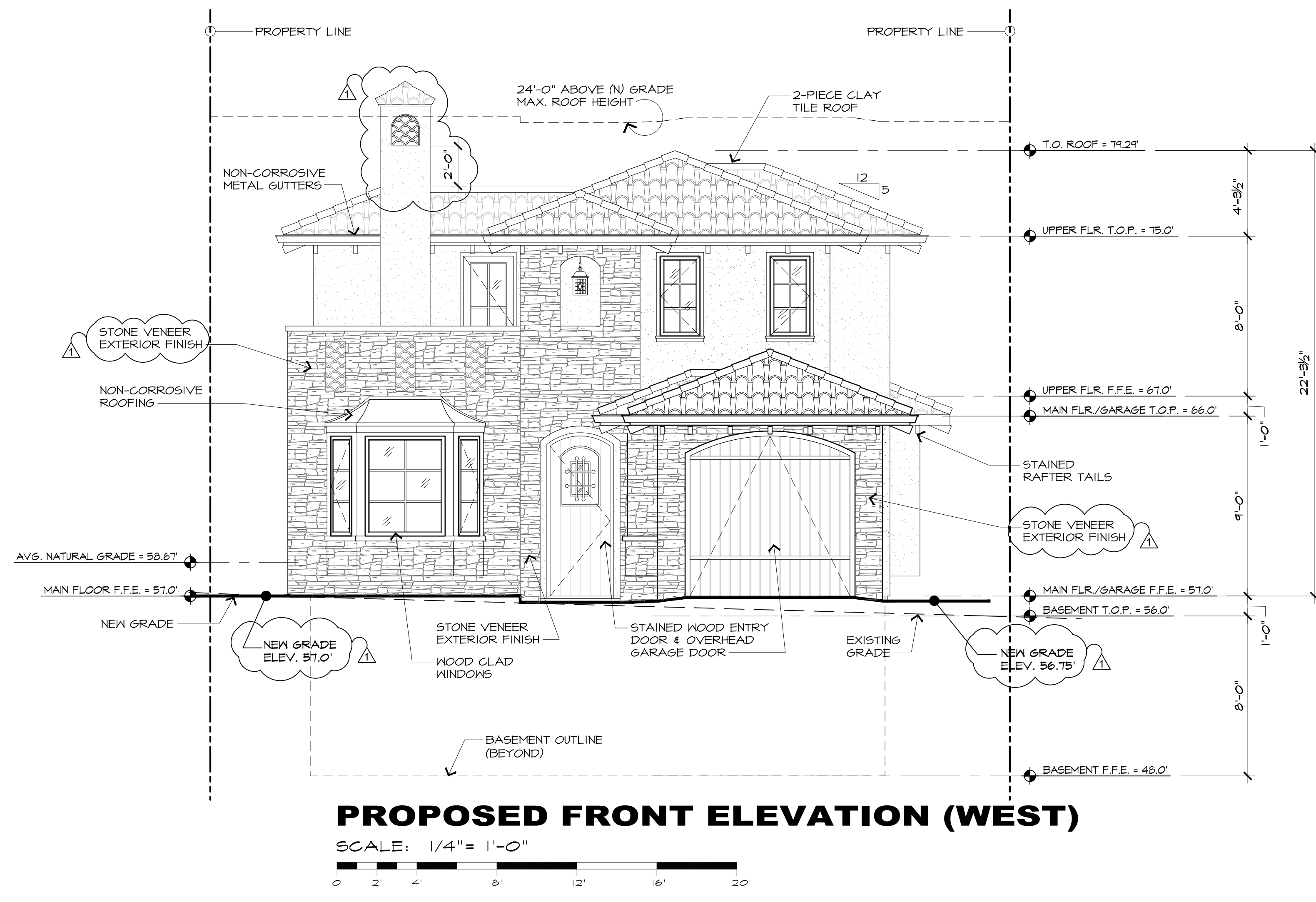
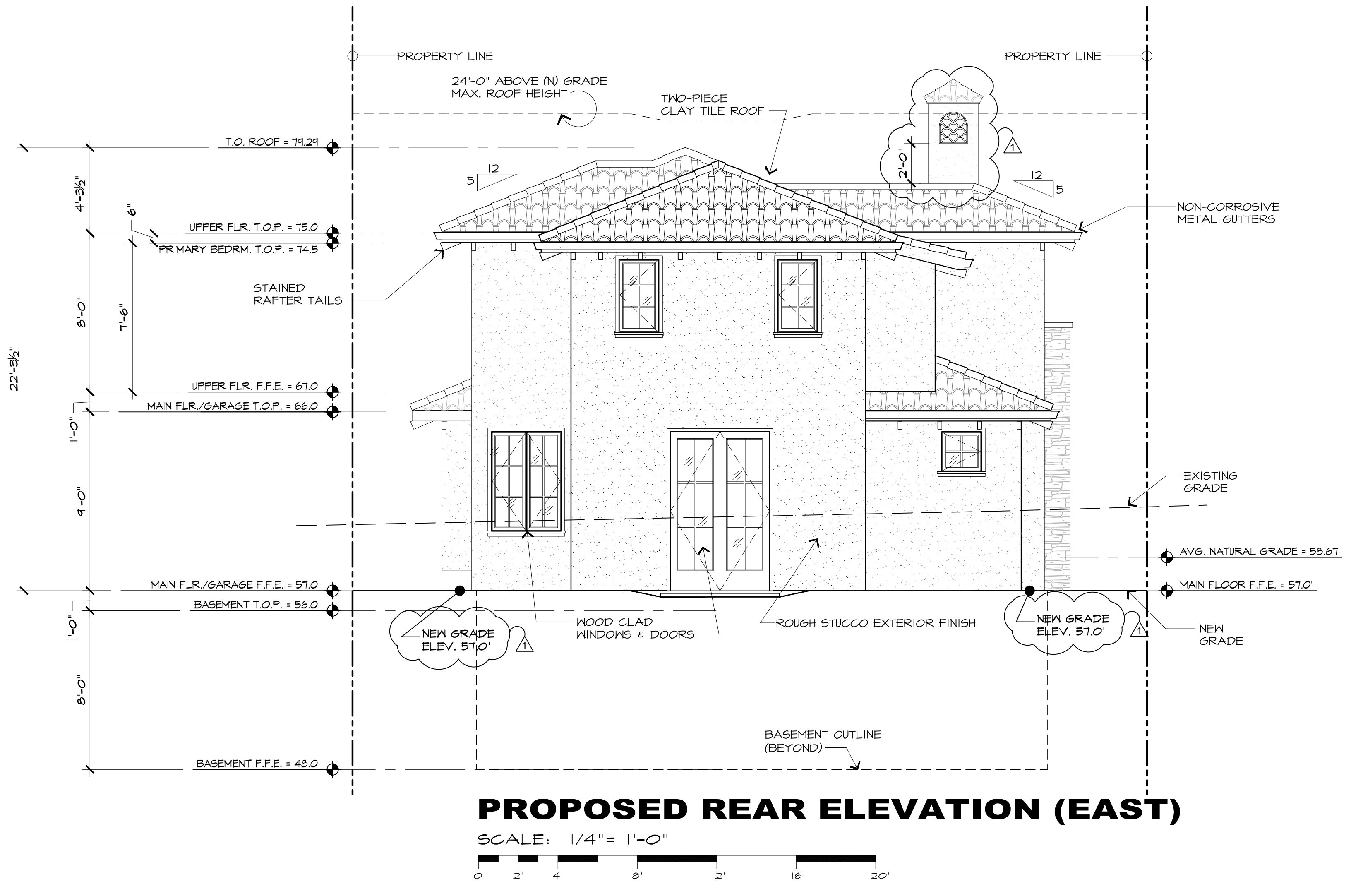
**WINDOW SCHEDULE**

JOB NAME:  
**ERI - Residential House Lot #10**  
Guadalupe St. between 1st & 2nd Ave.  
Carmel-by-the-Sea, CA 93921  
A.P.N. 010-021-080

DATE: 5/5/23  
SCALE: 1/4" = 1'-0"  
DRAWN: JK  
JOB NUMBER: 20.05

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PROPOSED EXTERIOR ELEVATIONS

JOB NAME:  
**ERI - Residential House Lot #10**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-030

DATE: 5/5/23  
 SCALE: 1/4" = 1'-0"  
 DRAWN: JK/DM  
 JOB NUMBER: 20.05

**A-6**  
 SHEET OF





**RENDERED SOUTH ELEVATION**  
SCALE: N.T.S.



**RENDERED WEST ELEVATION**  
SCALE: N.T.S.

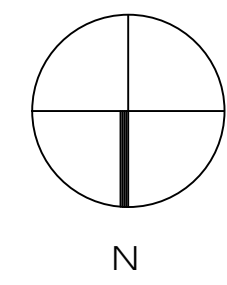
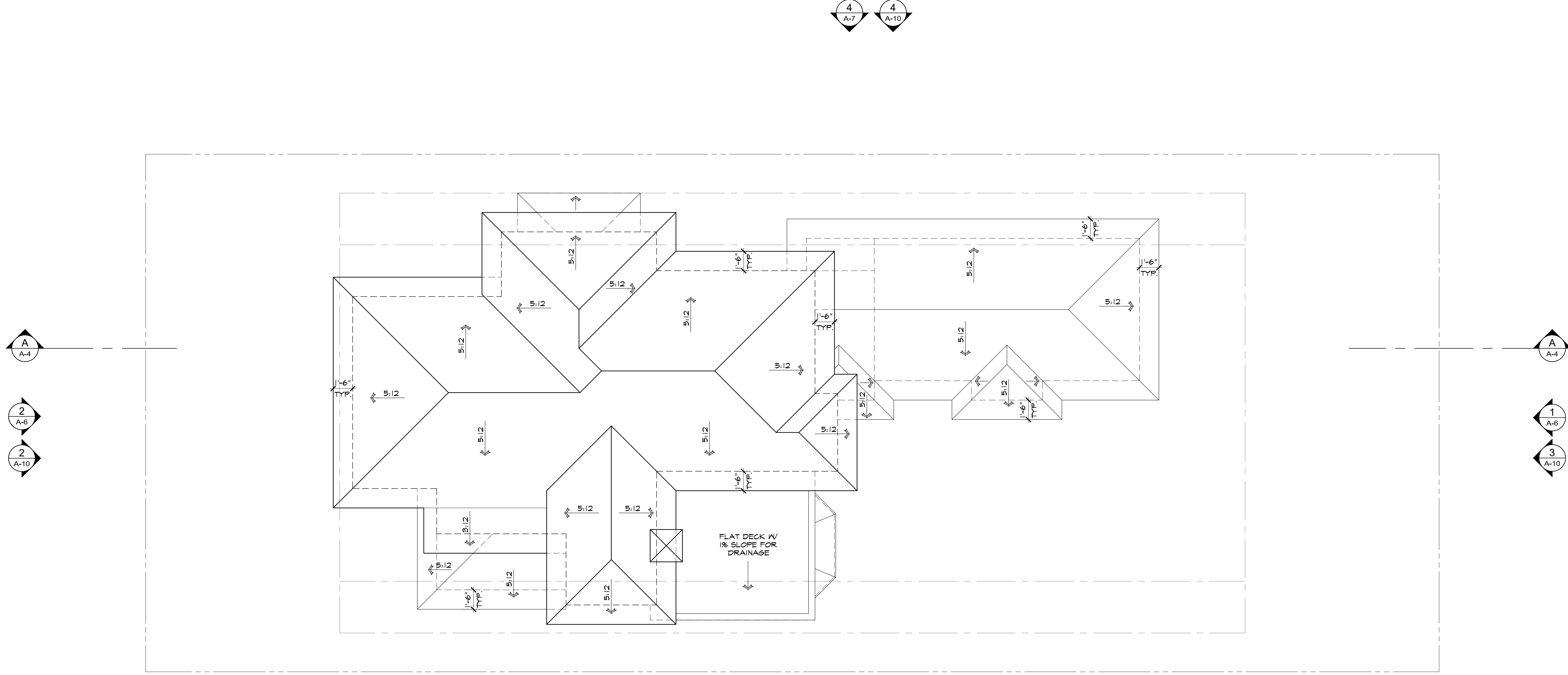
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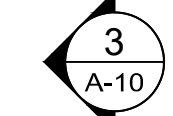
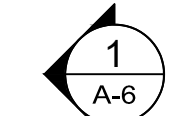
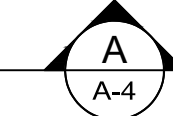
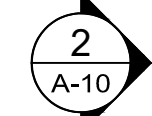
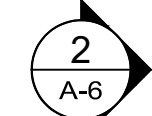
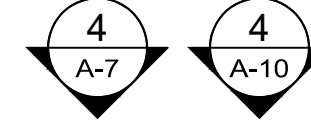
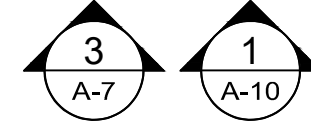
**RENDERED STREET ELEVATION**  
 JOB NAME:  
**ERI - Residential House Lot #10**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-030

DATE: 5/5/23  
 SCALE: N.T.S.  
 DRAWN: KJL  
 JOB NUMBER: 20.05



**ROOF PLAN**

SCALE: 1/4" = 1'-0"



**ROOF PLAN**

JOB NAME:  
**CR1 - Residential House Lot #10**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-030

DATE: 5/5/23

SCALE: 1/4" = 1'-0"

DRAWN: JK

JOB NUMBER: 20.05

**A-9**  
 SHEET OF

ARCHITECT

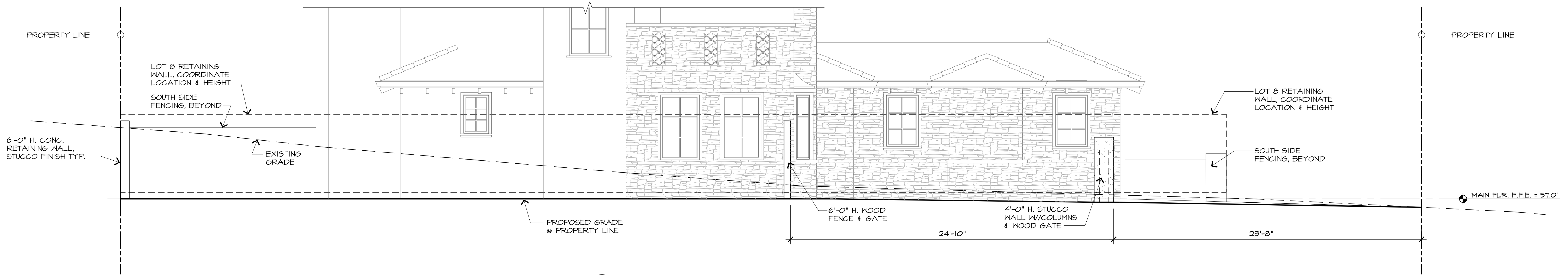
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 MONTEREY, CA 93940  
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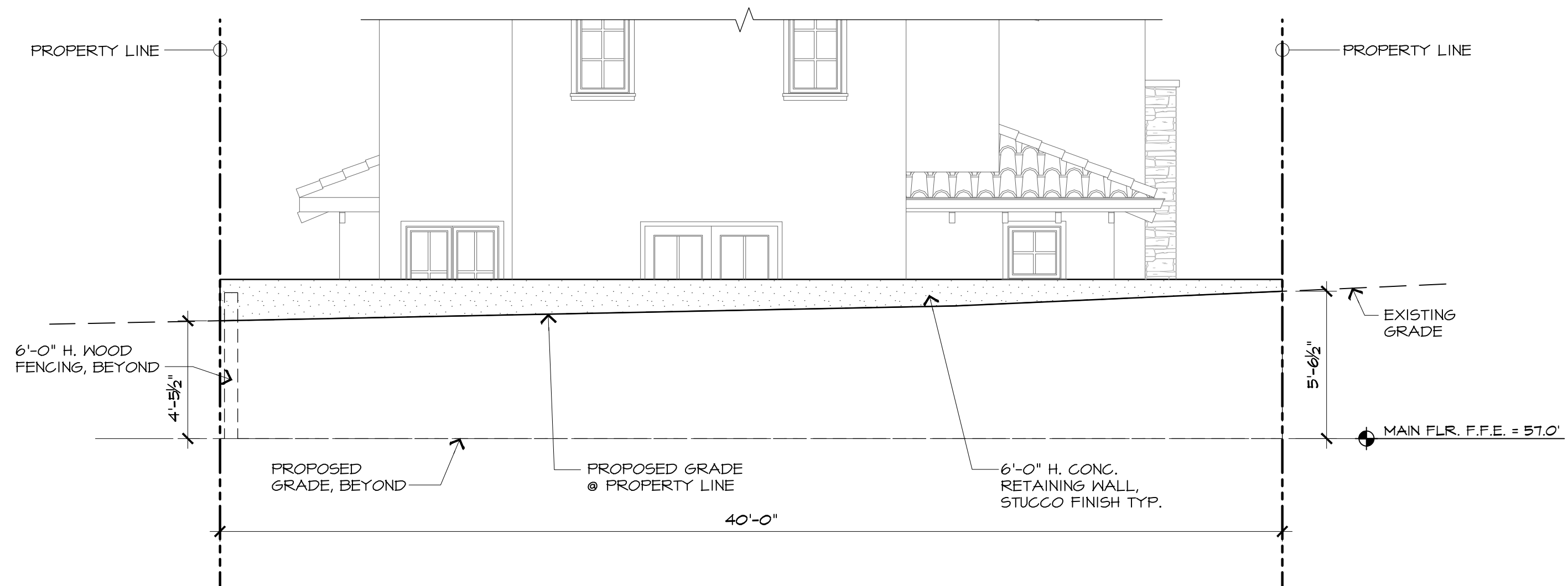
REVISION	No.



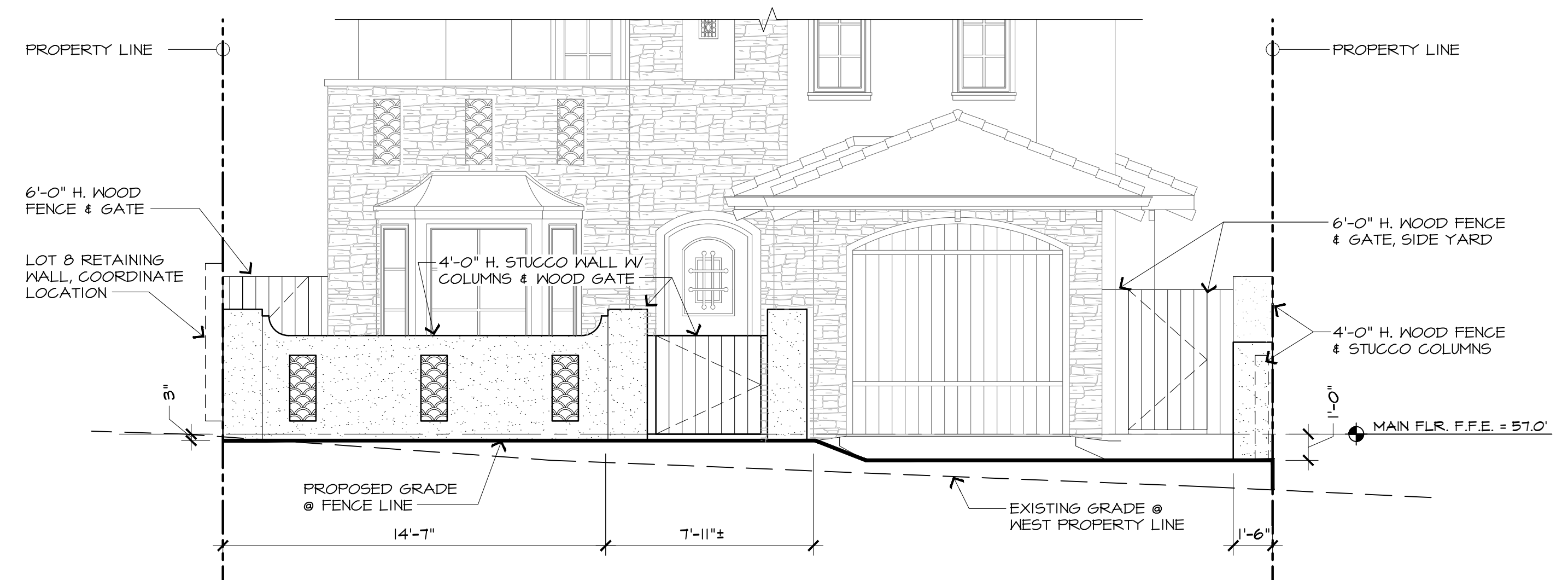
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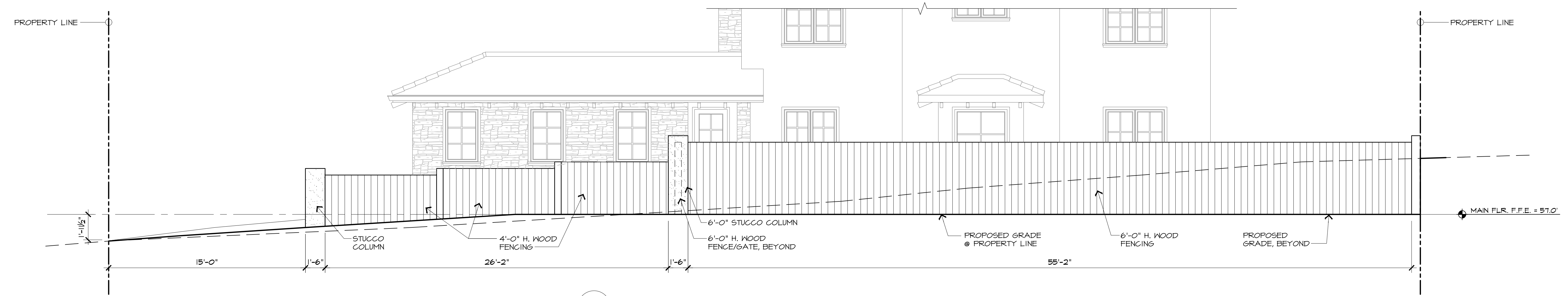
1 SIDE - NORTH PROPERTY LINE



2 REAR - EAST PROPERTY LINE



3 FRONT - WEST PROPERTY LINE



4 SIDE - SOUTH PROPERTY LINE

PROPOSED FENCING ELEVATIONS

SCALE: 1/4" = 1'-0"  
0 2 4 8 12 16 20

REVISION	No.

CONSULTANT:

ARCHITECT

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PROPOSED FENCING ELEVATIONS

JOB NAME:  
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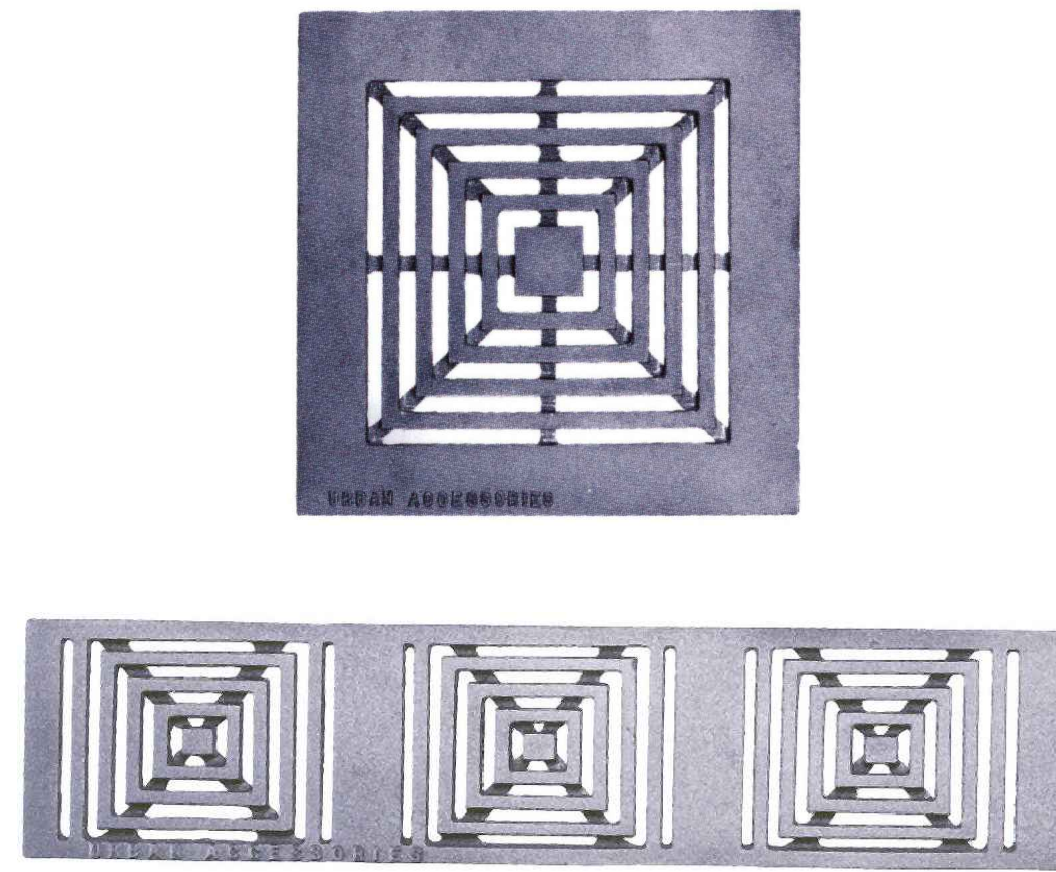
DATE: 5/5/23  
SCALE: 1/4" = 1'-0"  
DRAWN: JK/DM  
JOB NUMBER: 20.05

A-10  
SHEET OF



PERMEABLE PAVERS

10 DRIVEWAY PAVERS



URBAN ACCESSORIES

11 TRENCH & AREA DRAIN



7 WOOD WINDOWS & DOORS



CLAY TILE - FLAT LAY

8 EXTERIOR WALL & CHIMNEY TILE DETAIL



9 WOOD FENCING



SPECTRA METALS  
BROWN ALUMINUM  
GUTTER & DOWNSPOUT  
NON-CORROSIVE METAL

4 GUTTER & DOWNSPOUT



STAINED WOOD OVERHEAD

5 GARAGE DOOR



6 WOOD ENTRY DOOR



TWO-PIECE CLAY TILE

1 ROOFING



ROUGH STUCCO FINISH

2 EXTERIOR FINISH



NATURAL STONE VENEER

3 EXTERIOR FINISH

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MATERIAL COLOR SAMPLES

JOB NAME:  
**ERI - Residential House Lot #10**  
 Guadalupe St. between 1st & 2nd Ave.  
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 A.P.N. 010-021-030

DATE: 5/5/23  
 SCALE: N.T.S.  
 DRAWN: JK/DM  
 JOB NUMBER: 20.05

A-11  
SHEET OF



**PERSPECTIVE RENDERING**  
SCALE: N.T.S.



**PERSPECTIVE RENDERING**  
SCALE: N.T.S.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

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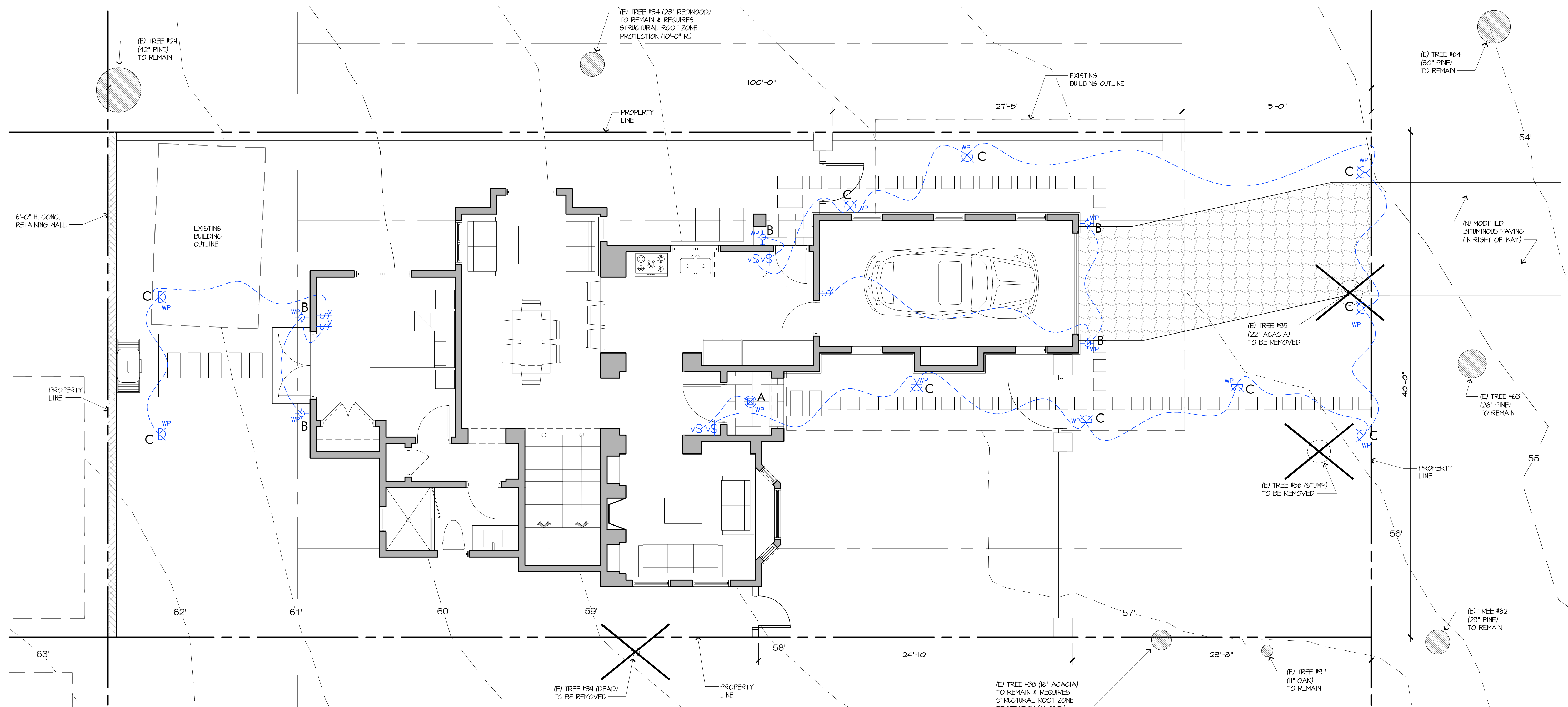
COLOR RENDERING

JOB NAME:  
**ERI - Residential House Lot #10**  
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 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-030

DATE: 5/5/23  
 SCALE: N.T.S.  
 DRAWN: KJL  
 JOB NUMBER: 20.05

**A-12**  
 SHEET OF

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ARCHITECT

EXTERIOR LIGHTING PLAN  
 JOB NAME: **CR1 - Residential House Lot #10**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-030  
 DATE: 5/5/23  
 SCALE: 1/4"=1'-0"  
 DRAWN: JK/DM  
 JOB NUMBER: 20.05



**A** MODEL: **SPJ41-05C**  
PENDANT LANTERN

**SPJ LIGHTING Inc.**  
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING



**B** MODEL: **SPJ48-08**  
WALL MOUNT DOWN LIGHT



**C** MODEL: **SPJ20-01**  
PATH LIGHT



Model: **SPJ-FL150-15V**

**Flex-Link™ Transformers**

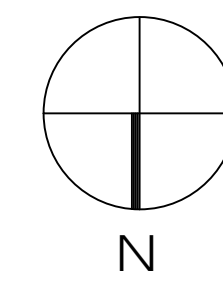
**DESCRIPTION**

Model#: SPJ-FL150-15V  
 Shown: Stainless Steel  
 Electrical Input: 120V  
 Electrical Output: 12-15V  
 Max. Watts: 150 Watts  
 Circuit: 1 Circuits  
 Dimmable: Yes

- TIMER, 24 HOUR
- PHOTOCELL, FIELD INSTALL

**D** MODEL: **SPJ-FL150-15V**  
FLEX LINK™ TRANSFORMERS

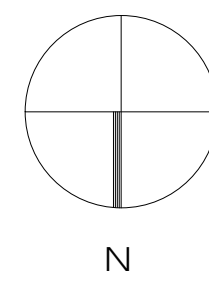
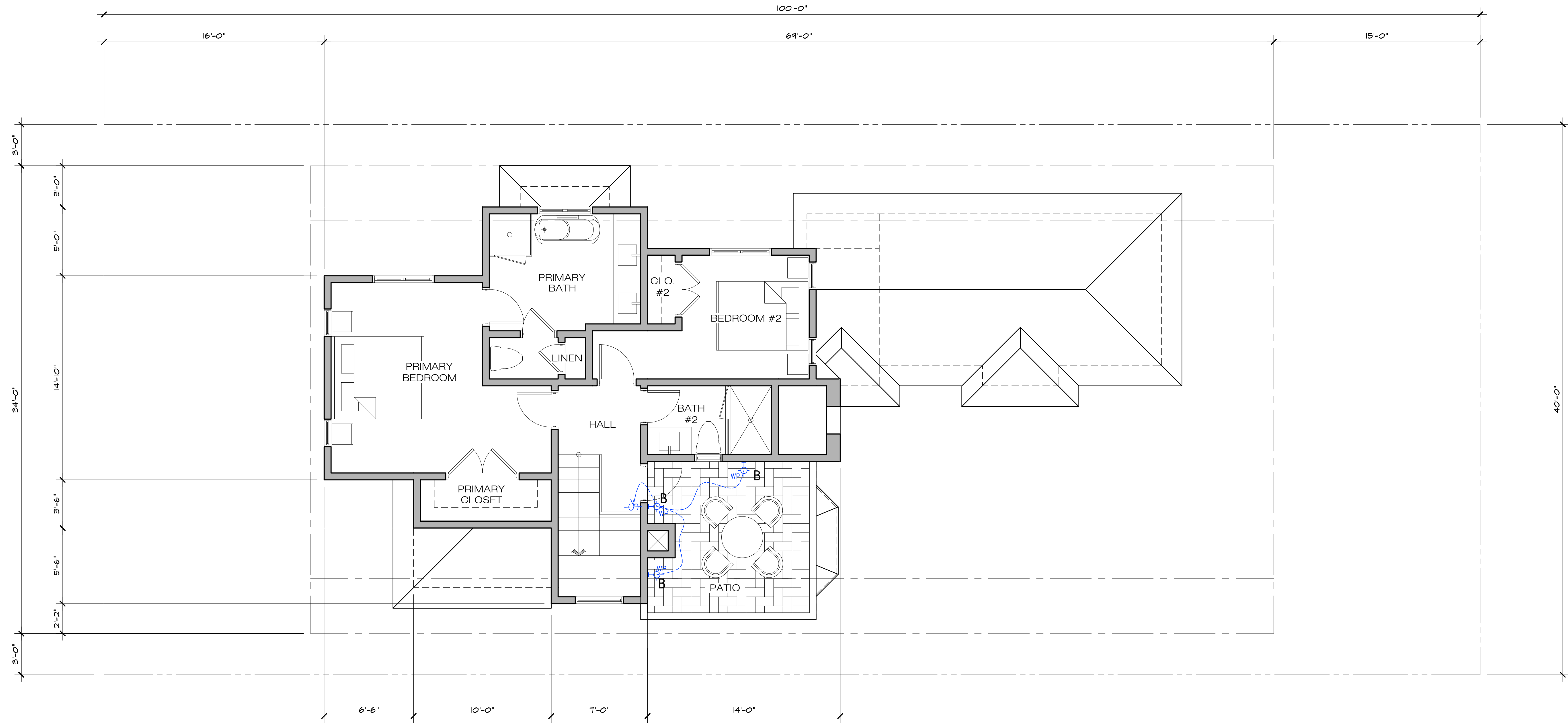
EXTERIOR LIGHTING FIXTURES							
	MODEL	FINISH	SIZE	TYPE	QUANTITY	WATT / LUMENS	SYMBOL
A	SPJ41-05C	MATTE BRONZE	15" x Ø 1/2"	PENDANT LANTERN	1	PL-13W / 200L	⊗ WP
B	SPJ48-08	MATTE BRONZE	8" x 5"	WALL MOUNT DOWN LIGHT	5	PL-13W / 200L	⊕ WP
C	SPJ20-01	MATTE BRONZE	20" x 8"	PATH LIGHT - MIN. DISTANCE APART 10 FEET	10	3W / 200L	⊗ WP
D	SPJ-FL150-15V	STAINLESS	17" x Ø.75"	TRANSFORMER	1	150W	



**EXTERIOR LIGHTING PLAN**

SCALE: 1/4"=1'-0"





**UPPER FLOOR EXTERIOR LIGHTING PLAN**

SCALE: 1/4" = 1'-0"



REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

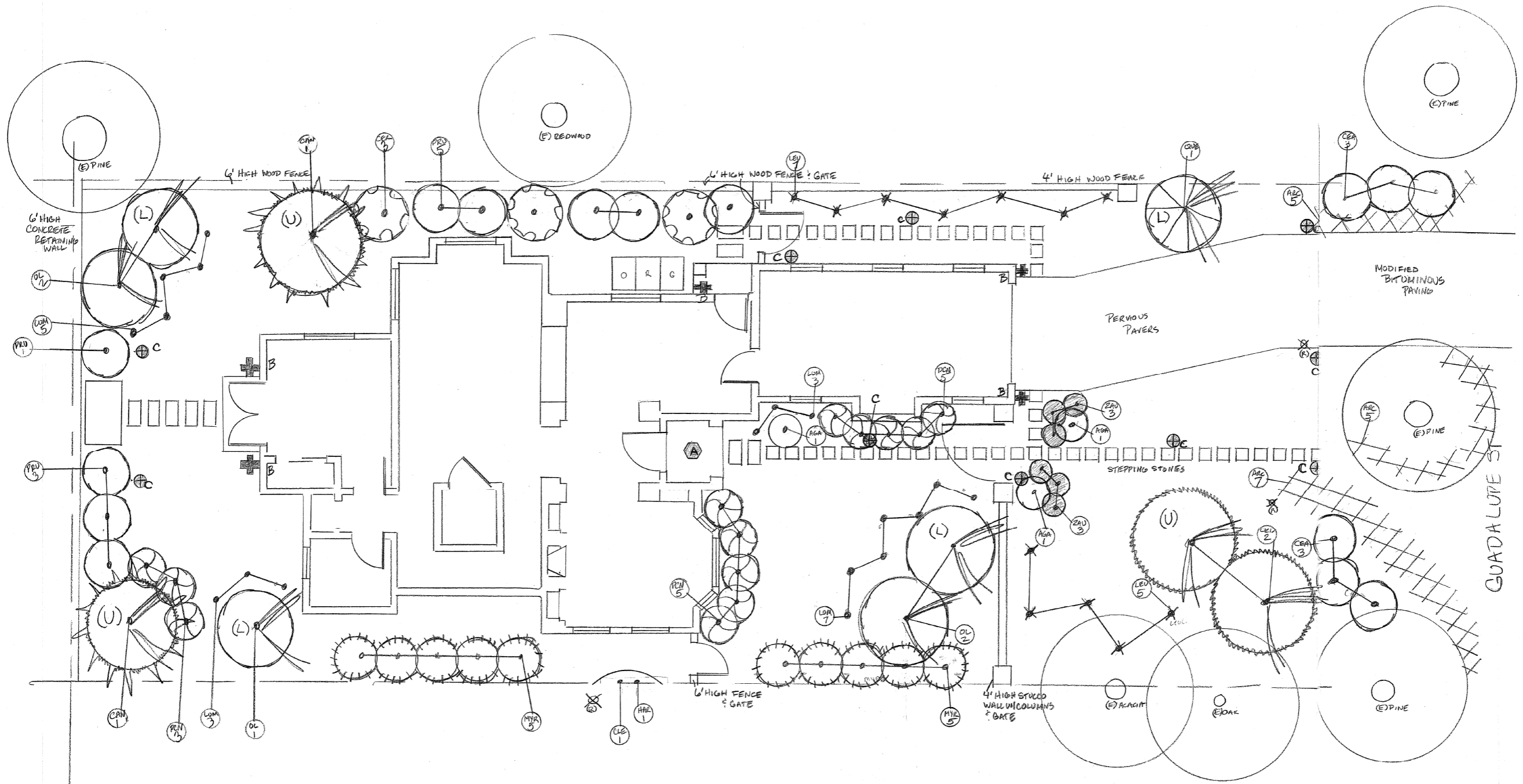
CONSULTANT:

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UPPER FLOOR EXTERIOR LIGHTING PLAN  
 JOB NAME:  
**ERI - Residential House Lot #10**  
 Guadalupe St. between 1st & 2nd Ave.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. 010-021-030

DATE: 5/5/23  
 SCALE: 1/4" = 1'-0"  
 DRAWN: JK/DM  
 JOB NUMBER: 20.05

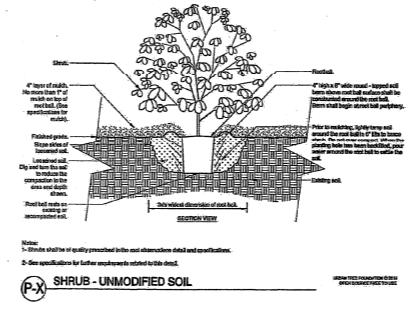
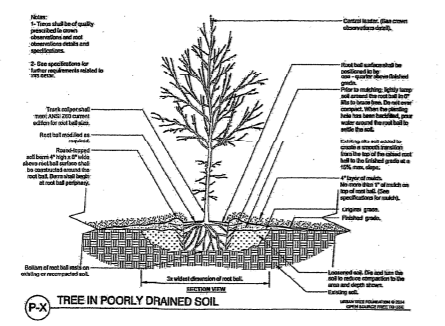
**A-13b**  
 SHEET OF



TOWN AND COUNTRY GARDENING & LANDSCAPE INC  
 PO BOX 223798  
 CARMEL, CA 93923  
 831-596-2709, 831-625-3105

CRI RESIDENTIAL LOT #10  
 GUADALUPE ST. BETWEEN 1<sup>ST</sup> & 2<sup>ND</sup> AVE  
 CARMEL CA 93921  
 APN 010-021-030-000

ABBR	PLANT NAME	SIZE	QUAN
AGA	AGAVE ATTENUATA FOX TAIL AGAVE	5G	2
ARC	ARCTOSTAPHYLOS EMERALD CARPET	1G	17
CAN	PINUS CANARIENSIS CANARY ISLAND PINE (U)	15G	2
CEA	CEANOTHUS DARK STAR	5G	6
CED	CEDRUS DEODARA DEODAR CEDAR (U)	24"	2
CER	CERCIS OCCIDENTALIS WESTERN REDBUD	15G	3
CLE	CLEMATIS EVERGREEN	5G	1
HAR	HARDENBERGIA VIOLACEA HAPPY WANDER	5G	1
LEU	LEUCADENDRON SAFARI SUNSHINE	5G	12
LOM	LOMANDRA PLATINUM BEAUTY	1G	18
MYR	MYRSINE AFRICANUM AFRICAN BOXWOOD	5G	10
OL	OLEA EUROPEA WILSONII (L)	15G	5
PCN	PITTIPOURUM CRASSIFOLIA NANA	1G	13
PRU	PRUNUS LAUROCERASUS SCHIPKAENIS	15G	9
QUE	QUERCUS AGRIFOLIA COAST LIVE OAK (L)	15G	1
ZAU	ZAUSCHNERIA CALIFORNICA CALI FUCHSIA	1G	6



1/4" = 1'0"



LANDSCAPE PLANTING **L.1**  
 4/5/2023 MML

**IRRIGATION**

- RAIN GAUGE HUNTER IRRITROL RC/RS500
- 1" MAINLINE
- 1" DWYER FLOW METER
- RAINBIRD ESP-ME SMT SMART IRRIGATION CONTROLLER
- 1" FEBCO SERIES 805Y DOUBLE CHECK BACKFLOW PREVENTION DEVICE
- 6 DRIP VALVES ELECTRIC REMOTE CONTROL VALVES SERIES DV-075 - OR 100-DV

Drip Emitter Schedule

- 1 gal - 1
- 5 gal - 2
- 15 gal - 3
- 24" - 4
- 1.0 gph pressure compensating Rain bird Xeri-Bug / Toro N. G. E. / Netafim WPC (w/bug cap)
- Toro T-DL-Mp9 Indicator w/flush valve at end of each zone

**MAWA NOTES**

Maximum Allowable Water Allocation (MAWA) calculations prepared for the CRI RESIDENTIAL LOT #10

GUADALUPE ST BTWN 1<sup>ST</sup> & 2<sup>ND</sup> AVE CARMEL APN #010-021-030-000

by MARY LUSTER (831-625-3105 CONTACT@TNCGARDENSCARMEL.COM) for

Town & Country Gardening & Landscaping 4/5/23.

Maximum allowable landscape irrigation usage for this site is .243 acre ft. / year

Formula & Calculations:

MAWA =  $\frac{ETo \times ETadj \times LA \times 0.623}{325,851}$

325,851

Where:

Eto	=	46.3" / yr (Zone 3)			
ETadj	=	.80			
LA	=	1540 sq. ft.			
Calculated as:		2 sq. ft. / 1 gal. plant	54 plants	108 sq. ft.	
		4 sq. ft. / 5 gal. plant	32 plants	128 sq. ft.	
		16 sq. ft. / 15 gal. plant	20 plants	320 sq. ft.	
		20 sq. ft. / 24" box tree	2	40 sq. ft.	
			<b>TOTAL</b>	<b>596 SQ. FT.</b>	

MAWA for this site =  $\frac{46.3 \times .80 \times 596 \times 0.623}{325,851}$  = **.042 Acre Feet**

325,851

**ETWU NOTES**

Estimated Total Water Use (ETWU) calculations prepared for the CRI RESIDENTIAL LOT #10

GUADALUPE ST BTWN 1<sup>ST</sup> & 2<sup>ND</sup> AVE CARMEL APN #010-021-030-000

by MARY LUSTER (831-625-3105 CONTACT@TNCGARDENSCARMEL.COM)

of Town & Country Gardening & Landscaping 4/5/2023

Maximum allowable landscape irrigation usage for this site is .243 acre ft. / year.

Formula & Calculations:

ETWu =  $\frac{ETo \times ETadj \times ALA \times 0.623 \times IEF}{325,851}$

325,851

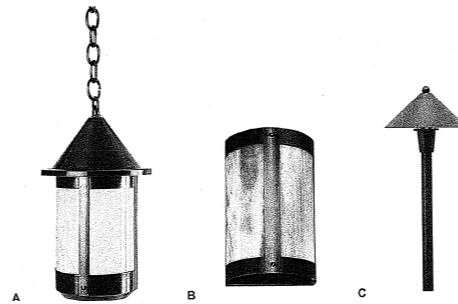
Where:

Eto	=	46.3" / yr (Zone 3)
ETadj	=	.80
ALA	=	732 sq. ft.
Calculated as:		2 sq. ft. / 1 gal. plant
		4 sq. ft. / 5 gal. plant
		16 sq. ft. / 15 gal. plant
		20 sq. ft. / 24" box tree
Spec'd plants:		Very low water use plant square footage = 0 x 0.1 = 0
		Low water use plant square footage = 416 x 0.3 = 124.8
		Medium water plant use square footage = 180 x 0.6 = 64.8
		High water plant use square footage = 0 x 1.0 = 0

IEF = .85 100% drip irrigation

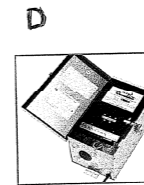
ETWU for this site =  $\frac{46.3 \times .80 \times 732 \times 0.623 \times .85}{325,851}$  = **.012 Acre Feet**

325,851



**EXTERIOR LIGHTING FIXTURES**

MODEL	FINISH	SIZE	TYPE	QUAN	WATT/LUMENS	SYMBOL
A SPJ41-05C	MATTE BRONZE	15"X8 1/2"	PENDANT LANTERN	1	PL-13W/200L	
B SPJ48-08	MATTE BRONZE	8"X5"	WALL MOUNT DOWN LIGHT	5	PL 13W/200L	
C SPJ20-01	MATTE BRONZE	20"X 8"	PATH LIGHT - MIN DISTANCE APART 10'	10	3W/200L	
D SPJ-FL150-15V	STAINLESS	17"X8.75"	TRANSFORMER	1	150W	



Model: **SPJ-FL150-15V**

Flex-Link™ Transformers

**DESCRIPTION**

- Model#: SPJ-FL150-15V
- Show: Stainless Steel
- Electrical Input: 120V
- Electrical Output: 12-16V
- Max. Watts: 150 Watts
- Circuits: 1 Circuits
- Dimmable: Yes
- TIMER, 24 HOUR
- PHOTOCELL, FIELD INSTALL

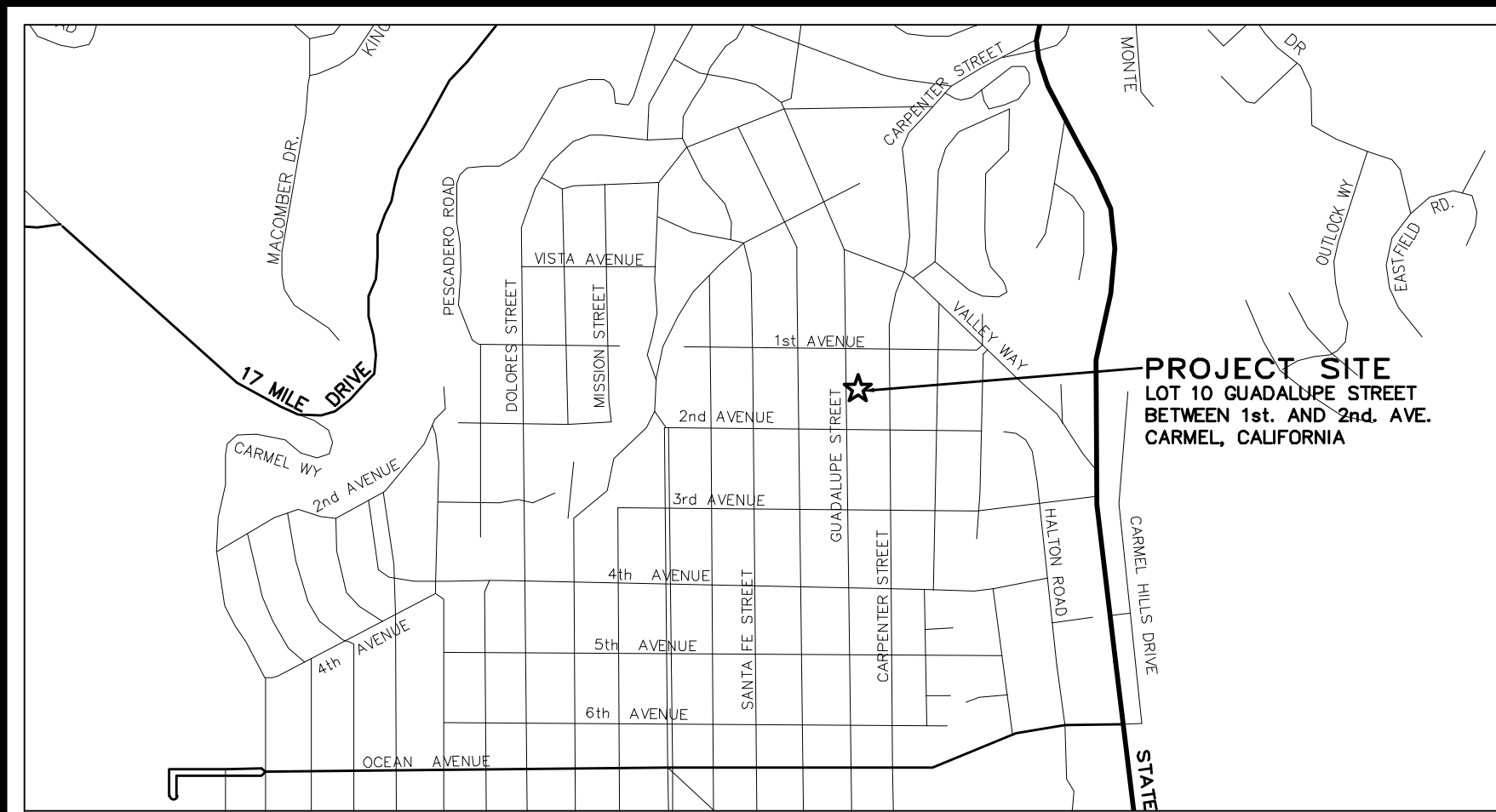
TOWN AND COUNTRY GARDENING & LANDSCAPE INC  
 PO BOX 223798  
 CARMEL, CA 93923  
 831-596-2709, 831-625-3105

CRI RESIDENTIAL LOT #10  
 GUADALUPE ST. BETWEEN 1<sup>ST</sup> & 2<sup>ND</sup> AVE  
 CARMEL CA 93921  
 APN 010-021-030-000

LANDSCAPE IRRIGATION **L.2**

& LIGHTING SPECS

4/5/2023 MML REV 10/10/23



VICINITY MAP  
NOT TO SCALE

**PROJECT SITE**  
LOT 10 GUADALUPE STREET  
BETWEEN 1st AND 2nd AVE.  
CARMEL, CALIFORNIA

**STORM WATER CONTROL NOTES:**

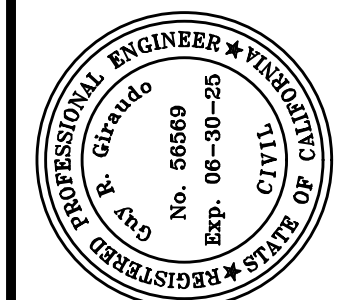
- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) ALL DRAINAGE SHALL CONFORM TO THE STANDARD OPERATING GUIDANCE FOR 17-07 PRIVATE STORM WATER SYSTEMS PER THE CITY OF CARMEL-BY-THE-SEA.

TOTAL LOT AREA = 4,000 SQ.FT.  
TOTAL IMPERVIOUS AREA = 1,270 SQ.FT.  
TOTAL AREA OF DISTURBANCE = 3,775 SQ.FT.

GRADING QUANTITIES:  
CUT = 395 C.Y.  
FILL = 0 C.Y.  
NET = 395 C.Y. EXPORT

**INDEX TO SHEETS**

- SHEET C1 GRADING, DRAINAGE & UTILITY PLAN
- SHEET C2 GRADING SECTIONS
- SHEET C3 EROSION & SEDIMENT CONTROL PLAN
- SHEET C4 CONSTRUCTION MANAGEMENT PLAN



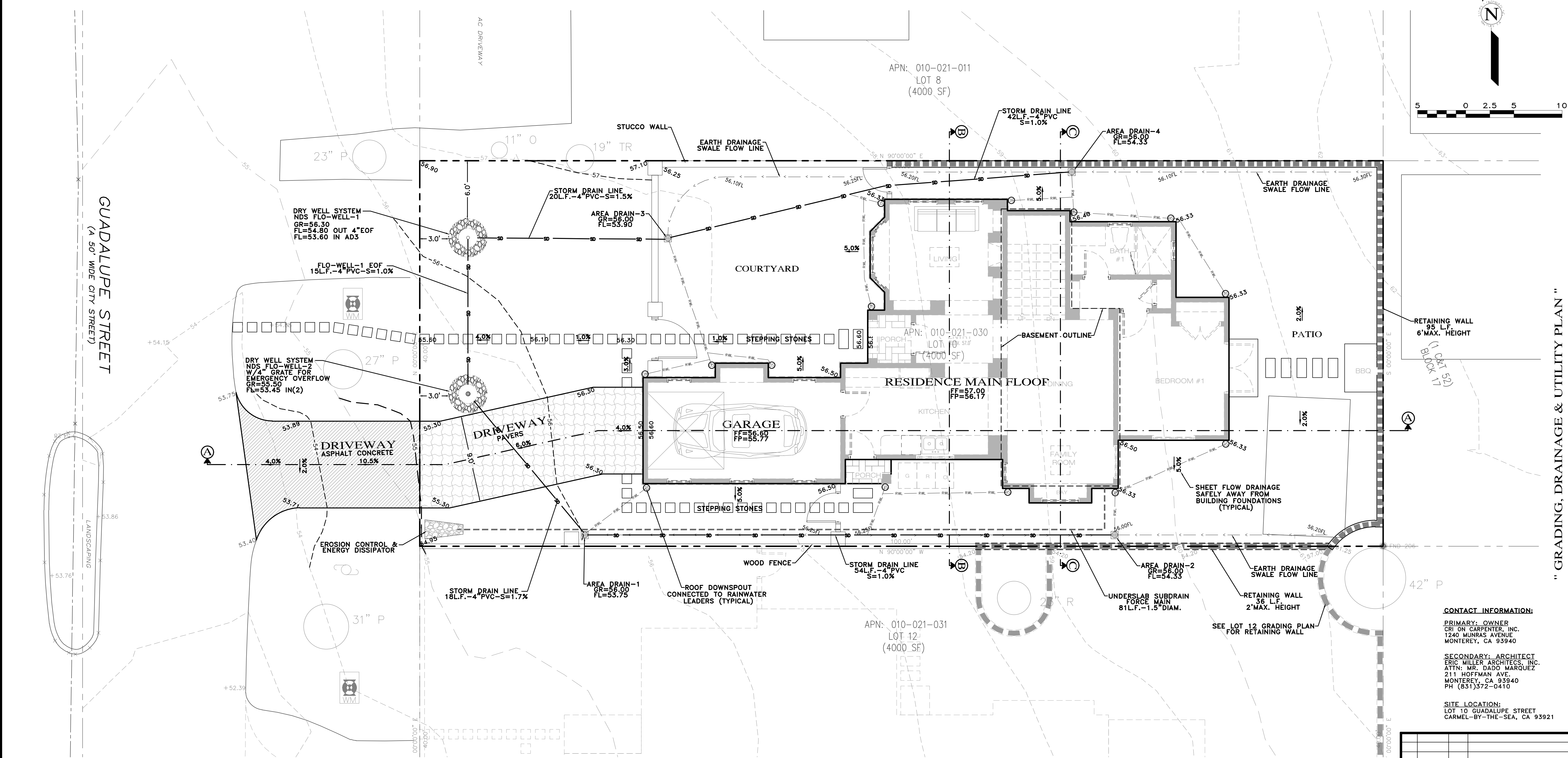
APPROVED BY:  
**GUY R. GIRARDO**  
PROFESSIONAL ENGINEER



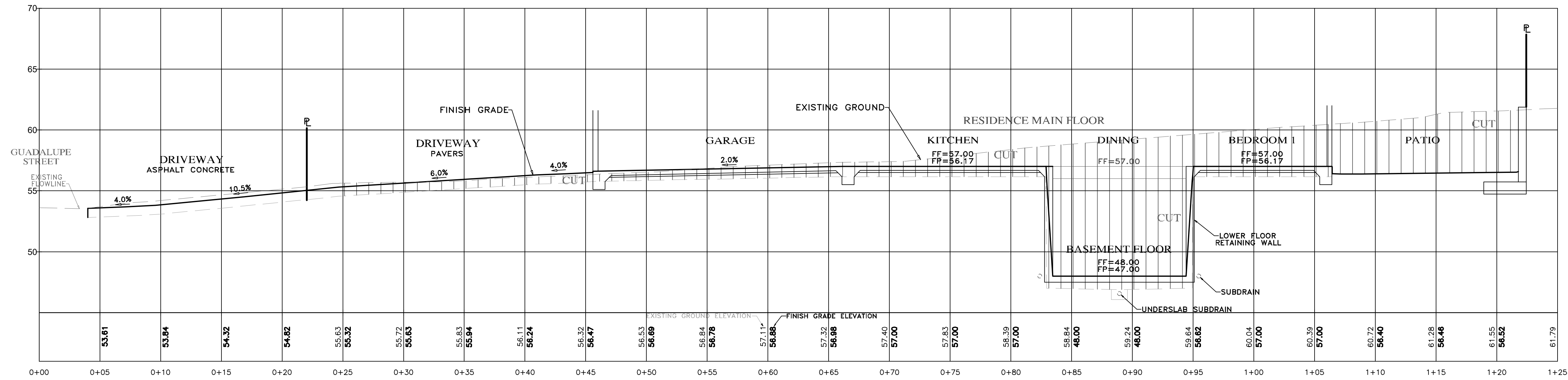
**GRADING, DRAINAGE & UTILITY PLAN "**  
**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
OF  
**CRI RESIDENTIAL HOUSE LOT 10**  
A.P.N.: 010-021-030  
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA  
FOR  
CRION CARPENTER, INC.

**CONTACT INFORMATION:**  
PRIMARY: OWNER  
CRI ON CARPENTER, INC.  
1240 MUNRAS AVENUE  
MONTEREY, CA 93940  
SECONDARY: ARCHITECT  
ERIC MILLER ARCHITECTS, INC.  
ATTN: MR. DADO MARQUEZ  
211 HOFFMAN AVE.  
MONTEREY, CA 93940  
PH (831)372-0410  
SITE LOCATION:  
LOT 10 GUADALUPE STREET  
CARMEL-BY-THE-SEA, CA 93921

SCALE: 1"=5'  
DATE: DECEMBER 2023  
JOB NO. 2143-03  
SHEET **C1**  
OF 4 SHEETS

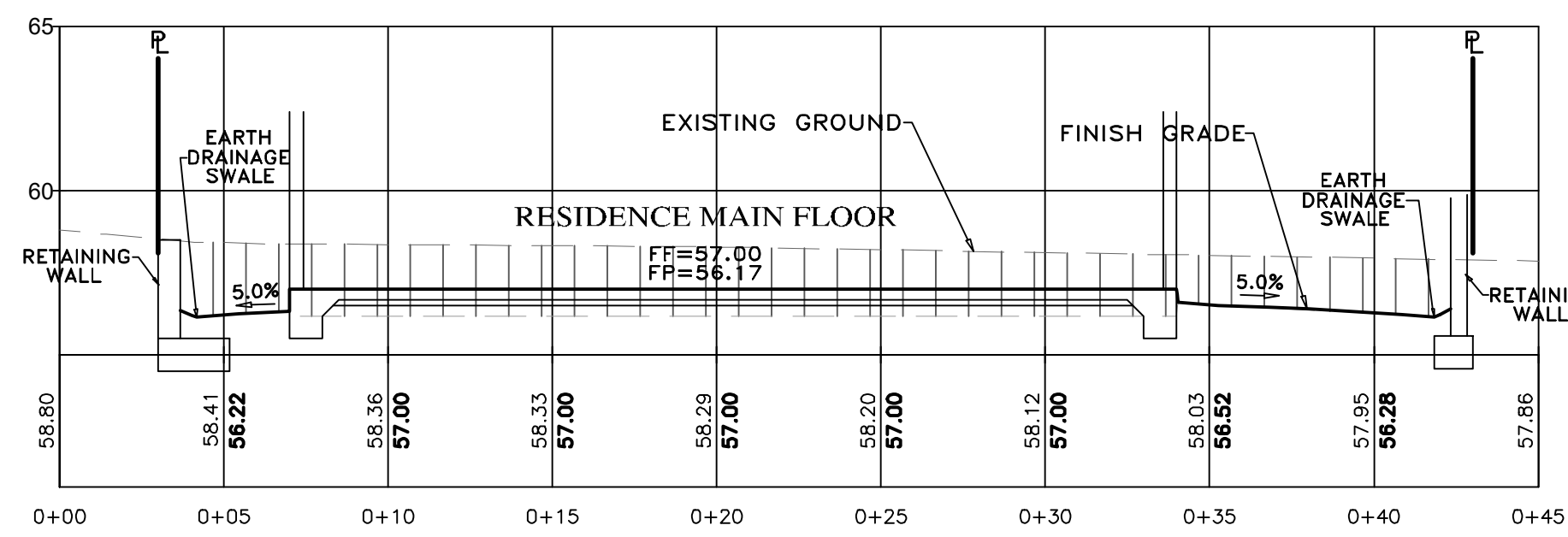




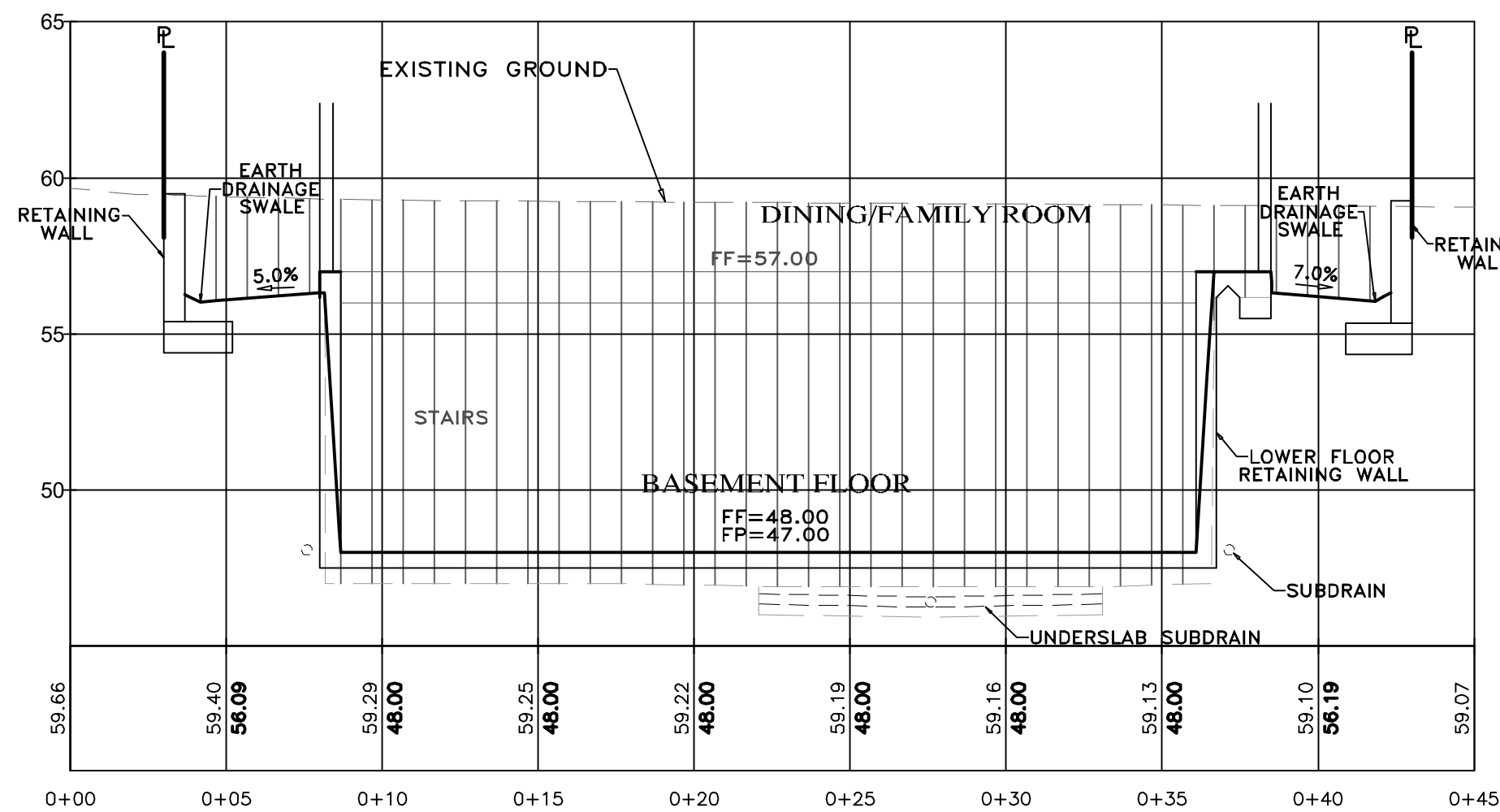


**SECTION A-A**  
SCALE: 1"=5' H&V

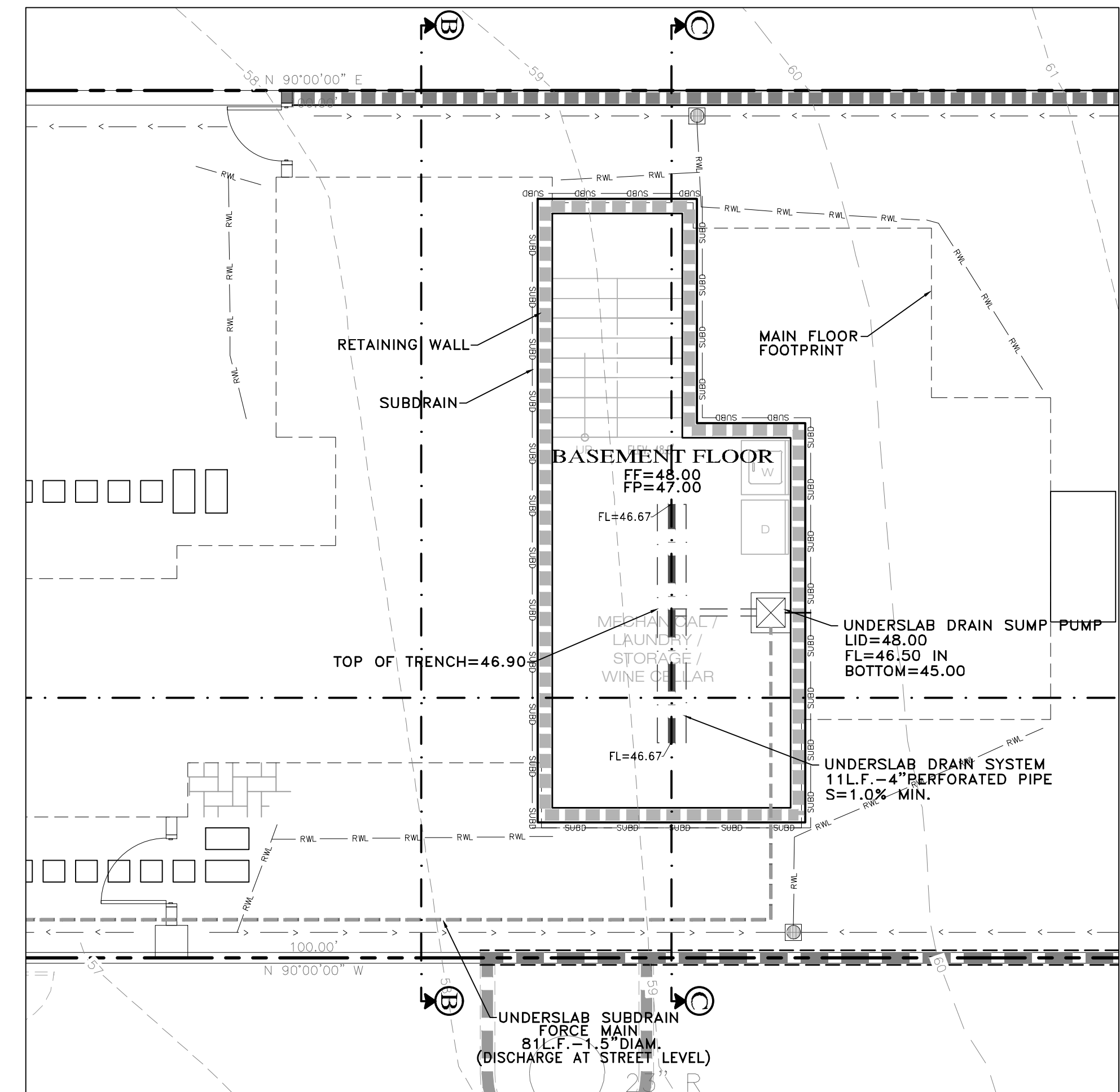
- NOTES:**
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS.
  - OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
  - FOR SECTION LOCATIONS, SEE SHEET C1 "GRADING, DRAINAGE & UTILITY PLAN".



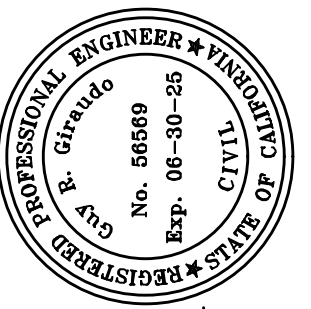
**SECTION B-B**  
SCALE: 1"=5' H&V



**SECTION C-C**  
SCALE: 1"=5' H&V



**BASEMENT FLOOR**  
SCALE: 1"=5'



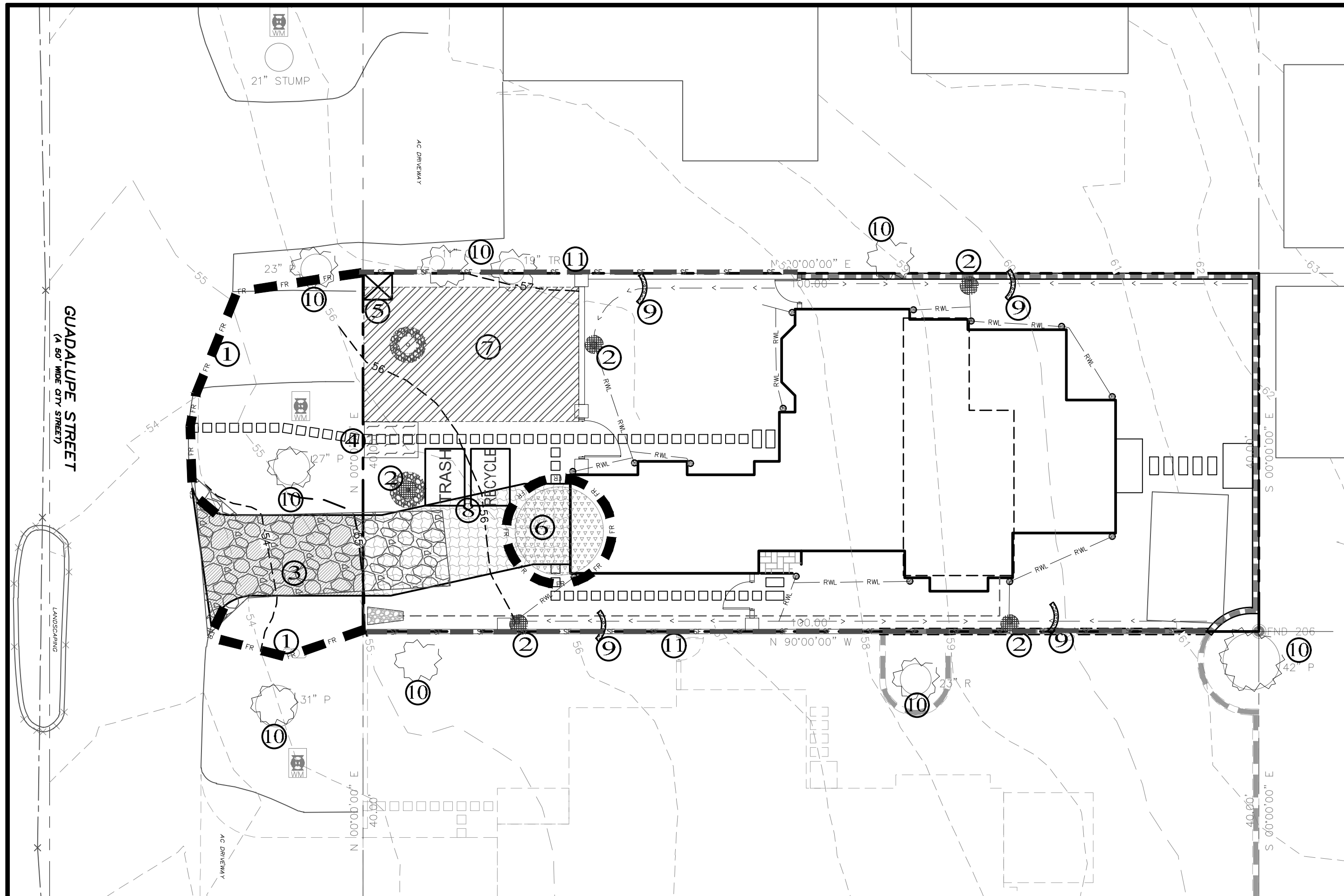
APPROVED BY:  
*Guy R. Girardo*  
GUY R. GIRARDO



**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
 OF  
**CRI RESIDENTIAL HOUSE LOT 10**  
 A.P.N.: 010-021-030  
 CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA  
 FOR  
 CRION CARPENTER, INC.

SCALE: 1"=5' H&V  
 DATE: DECEMBER 2023  
 JOB NO. 2143-03  
 SHEET **C2**  
 OF 4 SHEETS

No.	DATE	BY	REVISION



PLAN  
SCALE: 1"=10'

**EROSION & SEDIMENT CONTROL NOTES:**

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE CITY OF CARMEL-BY-THE-SEA EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICE) SHALL STOP OPERATIONS DURING PERIODS OF UNCLEMANT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO THE CITY OF CARMEL-BY-THE-SEA PRIOR TO BEG. WORK.

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

**CONSTRUCTION INSPECTION REQUIREMENTS**

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

**LEGEND:**

1. FR: FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE RENEWED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
2. DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
3. STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
4. CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
5. SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
6. STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
7. CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLIFIED SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
8. WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
9. GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 3/4" - 1" CRUSHED ROCK. TIGHTLY ADJUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
10. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
11. SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL, AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

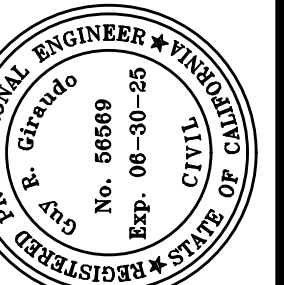


**CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)**

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.

MATERIALS & WASTE MANAGEMENT	EQUIPMENT MANAGEMENT & SPILL CONTROL	EARTHWORK & CONTAMINATED SOILS	PAVING/ASPHALT WORK	CONCRETE, GROUT & MORTAR APPLICATION	PAINTING & PAINT REMOVAL	DEWATERING
<p><b>Non-Hazardous Materials</b></p> <ul style="list-style-type: none"> <li>☐ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.</li> <li>☐ Use (but don't overuse) reclaimed water for dust control.</li> </ul> <p><b>Hazardous Materials</b></p> <ul style="list-style-type: none"> <li>☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.</li> <li>☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.</li> <li>☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.</li> <li>☐ Arrange for appropriate disposal of all hazardous wastes.</li> </ul> <p><b>Construction Entrances and Perimeter</b></p> <ul style="list-style-type: none"> <li>☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.</li> </ul>	<p><b>Maintenance and Parking</b></p> <ul style="list-style-type: none"> <li>☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.</li> <li>☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.</li> <li>☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and cover a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.</li> <li>☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.</li> <li>☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.</li> <li>☐ Inlet protection is the last line of spill defense. Drains' inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.</li> </ul>	<p><b>Spill Prevention and Control</b></p> <ul style="list-style-type: none"> <li>☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.</li> <li>☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.</li> <li>☐ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).</li> <li>☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).</li> <li>☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.</li> <li>☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).</li> <li>☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.</li> </ul>	<p><b>Erosion Control</b></p> <ul style="list-style-type: none"> <li>☐ Schedule grading and excavation work for dry weather only.</li> <li>☐ Stabilize all denuded areas, small and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.</li> <li>☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.</li> </ul> <p><b>Sediment Control</b></p> <ul style="list-style-type: none"> <li>☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.</li> <li>☐ Prevent sediment from migrating off-site by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.</li> <li>☐ Keep excavated soil on the site where it will not collect into the street.</li> <li>☐ Transfer excavated materials to dump trucks on the site, not in the street.</li> <li>☐ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector: <ul style="list-style-type: none"> <li>• Unusual soil conditions, discoloration, or odor</li> <li>• Abandoned underground tanks</li> <li>• Abandoned wells</li> <li>• Buried barrels, debris, or trash.</li> </ul> </li> </ul>	<p><b>Concrete, Grout &amp; Mortar Application</b></p> <ul style="list-style-type: none"> <li>☐ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.</li> <li>☐ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.</li> <li>☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.</li> </ul> <p><b>Sawcutting &amp; Asphalt/Concrete Removal</b></p> <ul style="list-style-type: none"> <li>☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.</li> <li>☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.</li> <li>☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).</li> <li>☐ If sawcut slurry enters a catch basin, clean it up immediately.</li> </ul> <p><b>LANDSCAPE MATERIALS</b></p> <ul style="list-style-type: none"> <li>☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.</li> <li>☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.</li> <li>☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.</li> </ul>	<p><b>Painting and Paint Removal</b></p> <ul style="list-style-type: none"> <li>☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.</li> <li>☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.</li> <li>☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinners/solvents as hazardous waste.</li> <li>☐ Paint Removal <ul style="list-style-type: none"> <li>☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.</li> <li>☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.</li> </ul> </li> </ul>	<p><b>Dewatering</b></p> <ul style="list-style-type: none"> <li>☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.</li> <li>☐ Divert run-on water from offsite areas from all disturbed areas or otherwise ensure protection of its water quality for compliance.</li> <li>☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.</li> <li>☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or limited off-site for proper disposal.</li> </ul>

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



APPROVED BY:  
**GUY R. GIRARDI**



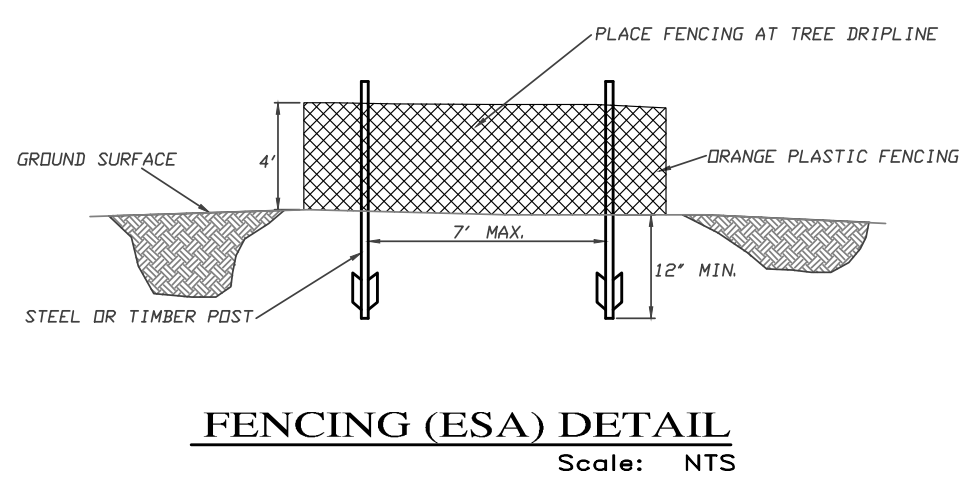
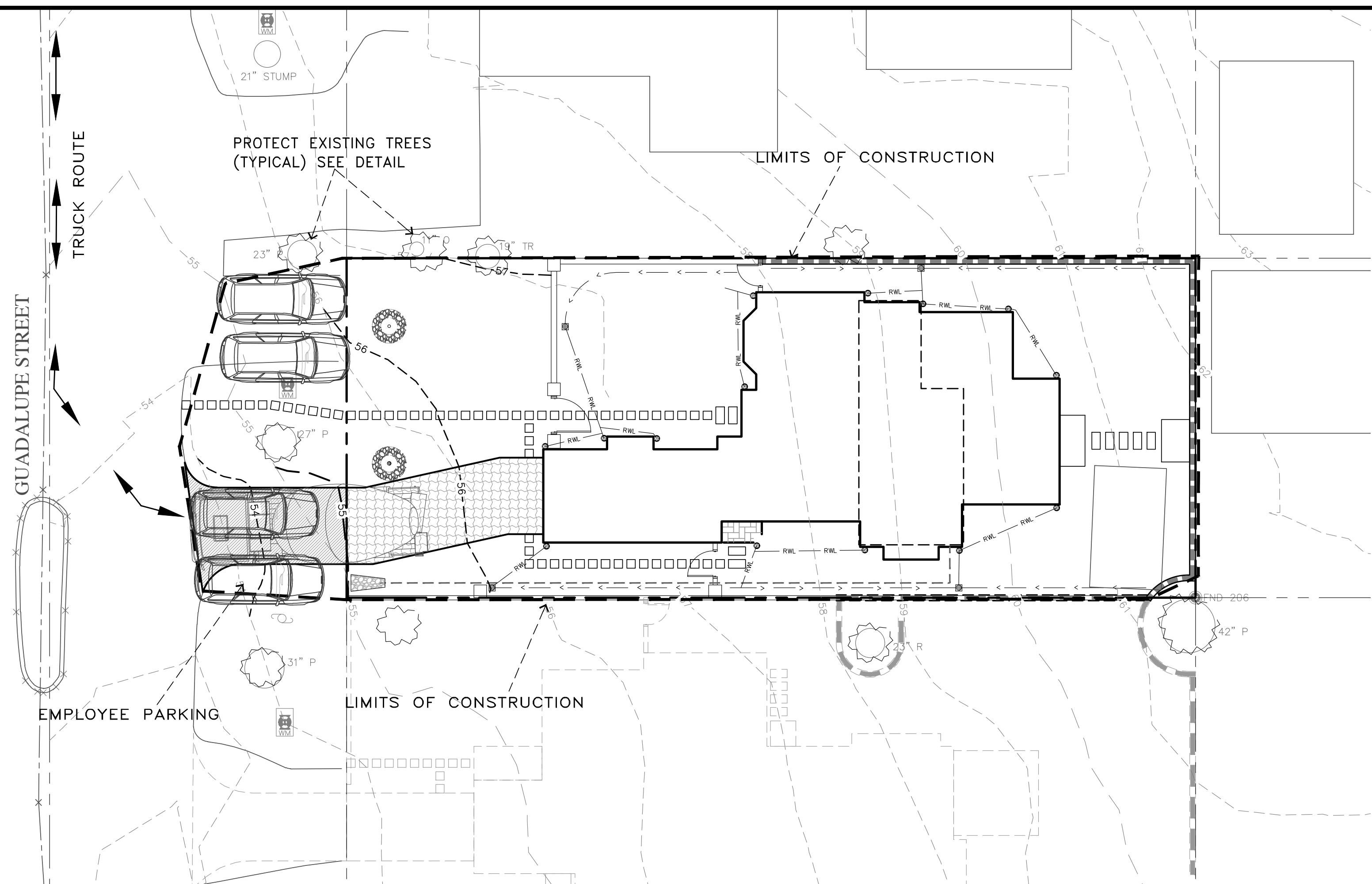
**"EROSION & SEDIMENT CONTROL PLAN"**  
**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
 OF  
**CRI RESIDENTIAL HOUSE LOT 10**  
 A.P.N.: 010-021-030  
 CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA  
 FOR  
 CRI ON GARDENIER, INC.

SCALE: AS SHOWN  
DATE: DECEMBER 2023  
JOB NO. 2143-03

SHEET **C3**

OF 4 SHEETS

No.	DATE	BY	REVISION
12/12/23	AMS	RELEASED TO CLIENT	



EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:  
 395 CY CUT  
 0 CY FILL

CONSTRUCTION STAGING:  
 DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM MINOR GRADING, CONSTRUCT STRUCTURES, AND INSTALL UNDERGROUND UTILITIES. EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON GUADALUPE STREET AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	2	1
GRADING & SOIL REMOVAL (EXPORT)	20	4
ENGINEERING MATERIALS (IMPORT)	2	2
TOTALS	24	7

HAUL ROUTES:  
 THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO CARPENTER STREET, TO FIRST AVENUE, TO GUADALUPE STREET. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON GUADALUPE STREET. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:  
 IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:  
 LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG GUADALUPE STREET, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

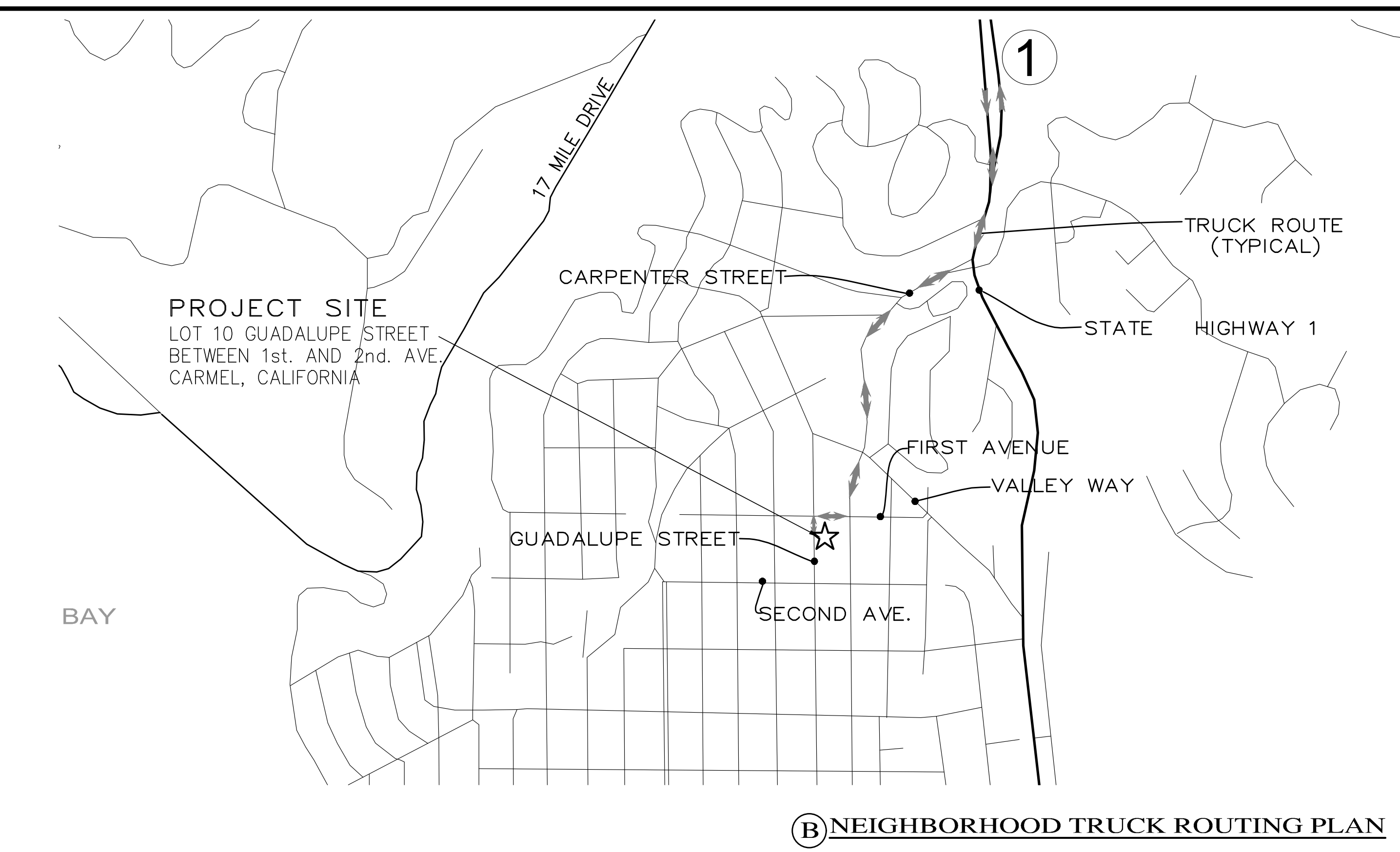
TRUCK TRIP GENERATION NOTES:  
 1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.  
 2. THERE ARE 395 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.  
 3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.  
 4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 8 JANUARY 2024, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

**(A) CONSTRUCTION STAGING PLAN**  
 SCALE: 1"=30'



PROFESSIONAL ENGINEER - CIVIL  
 GUY R. GIRA, D.O.  
 No. 46690  
 Exp. 06-30-25  
 CIVIL  
 REGISTERED

APPROVED BY:  
 GUY R. GIRA, D.O.

**LANDSET ENGINEERS, INC.**  
 520-B Crazy Horse Canyon Road  
 Salinas, California 93907  
 Office (831) 443-6970 Fax (831) 443-3801  
 www.landseteng.com

CONSTRUCTION MANAGEMENT PLAN  
 GRADING, DRAINAGE & EROSION CONTROL PLAN  
 OF  
 CRI RESIDENTIAL HOUSE LOT 10  
 A.P.N.: 010-021-030  
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SHEET **C4**  
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