



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Landscape Plan Check/Inspection 24352

Owner Name: FOUNTAIN THOMAS DEAN & KRISTIN KIM SATO TRS

Case Planner: Marnie R. Waffle, AICP, Principal Planner

Date Posted: _____

Date Approved: 03/10/2025

Project Location: NWC Junipero & 8th ROW

APN #: 010087019000 **BLOCK/LOT:** 89/W. Pt. 25, 26

Applicant: Tom Fountain, Owner

Project Description: This approval of Landscape Design Study application LD 24352 (Fountain) authorizes the removal of damaged landscaping in the public right-of-way and the installation of new 5-gallon New Zealand myrtle adjacent to an existing single-family residence located at the northwest corner of Junipero and 8th Avenues in the Residential and Limited Commercial (RC) District as depicted in the annotated plans prepared by BFS Landscape Architects revised 10/19/2024 stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

| CONDITIONS OF APPROVAL | |
|-------------------------------|---|
| No. | Standard Conditions |
| 1. | Authorization. This approval of Landscape Design Study application LD 24352 (Fountain) authorizes the removal of damaged landscaping in the public right-of-way and the installation of new 5-gallon New Zealand myrtle adjacent to an existing single-family residence located at the northwest corner of Junipero and 8 th Avenues in the Residential and Limited Commercial (RC) District as depicted in the annotated plans prepared by BFS Landscape Architects revised 10/19/2024 stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein. |
| 2. | Codes and Ordinances. The project shall be constructed in conformance with all requirements of the RC District. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission. |
| 3. | Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for 12 months from the date of action. The project must be implemented during this time, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C. |
| 4. | Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission. |
| 5. | Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection. |
| 6. | Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this |

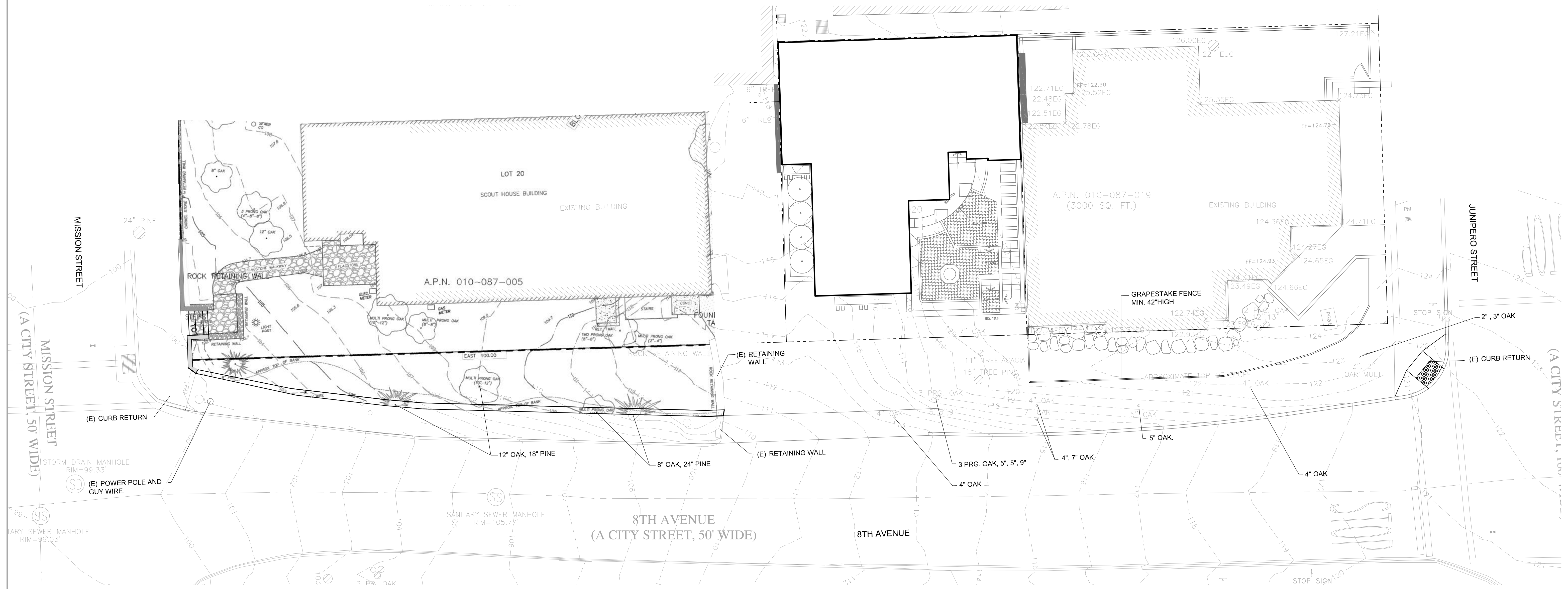
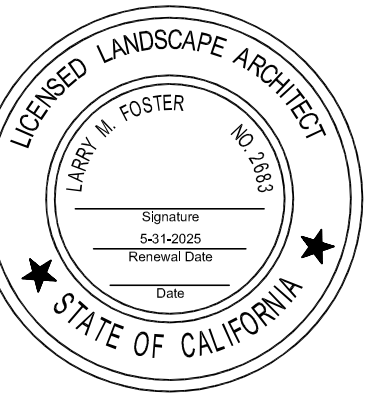
| | |
|-----------------------------|---|
| | condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto. |
| 7. | Cultural Resources. Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98. |
| 8. | USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information) |
| 9. | Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division. |
| Landscape Conditions | |
| 10. | Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission. |
| Special Conditions | |
| 11. | Notice of Authorized Work. A building permit is not required for this application; however, the applicant shall obtain a Notice of Authorized work form after the 10-day posting period and prior to commencing work. |

Acknowledgment and acceptance of conditions of approval:

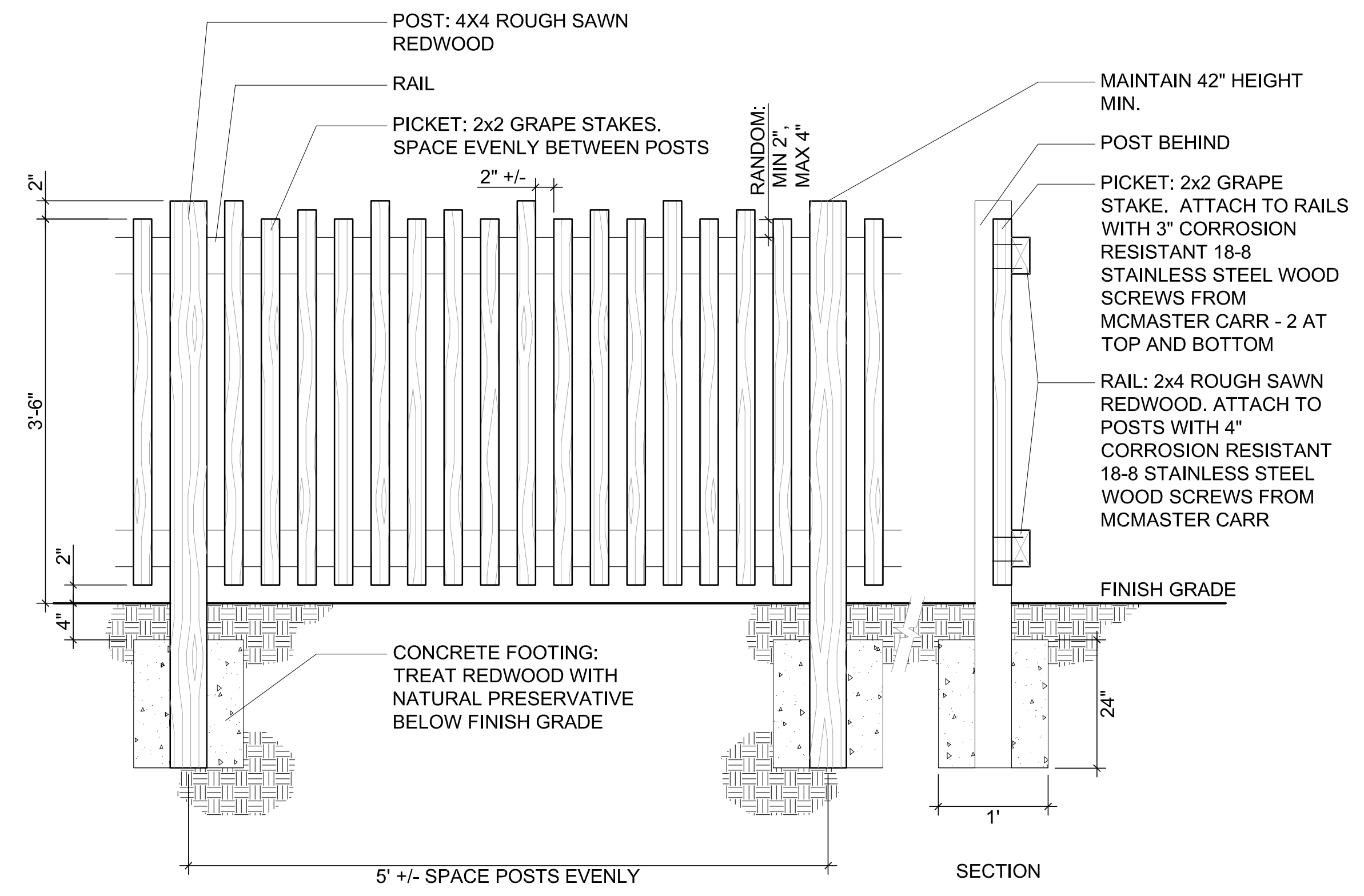
 Property Owner Signature

 Printed Name

 Date



1 Site Construction Plan
 1" = 8'-0"



2 42" Grapestake Fence
 1" = 1'-0"

PROJECT:
FOUNTAIN RESIDENCE
 8th Ave & Junipero Ave NWC
 Carmel, CA

ISSUANCE:

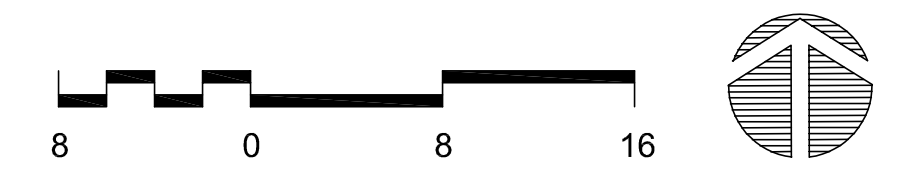
REVISION:

**CARMEL-BY-THE-SEA
 PLANNING DIVISION
 APPROVED**

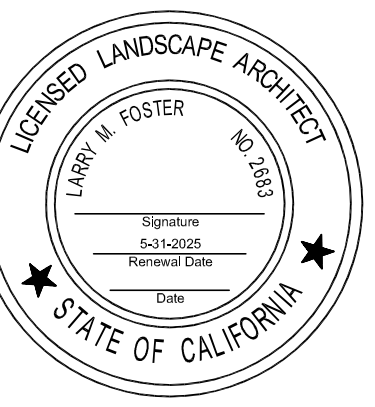
Permit #: LD 24352 (Fountain)
 Date Approved: 3/10/2025
 Planner: M. Waffle

PROJECT NO: 23.035
 DATE: 07/21/2023
 SCALE: AS SHOWN
 DRAWN | CHECKED:
 SHEET:

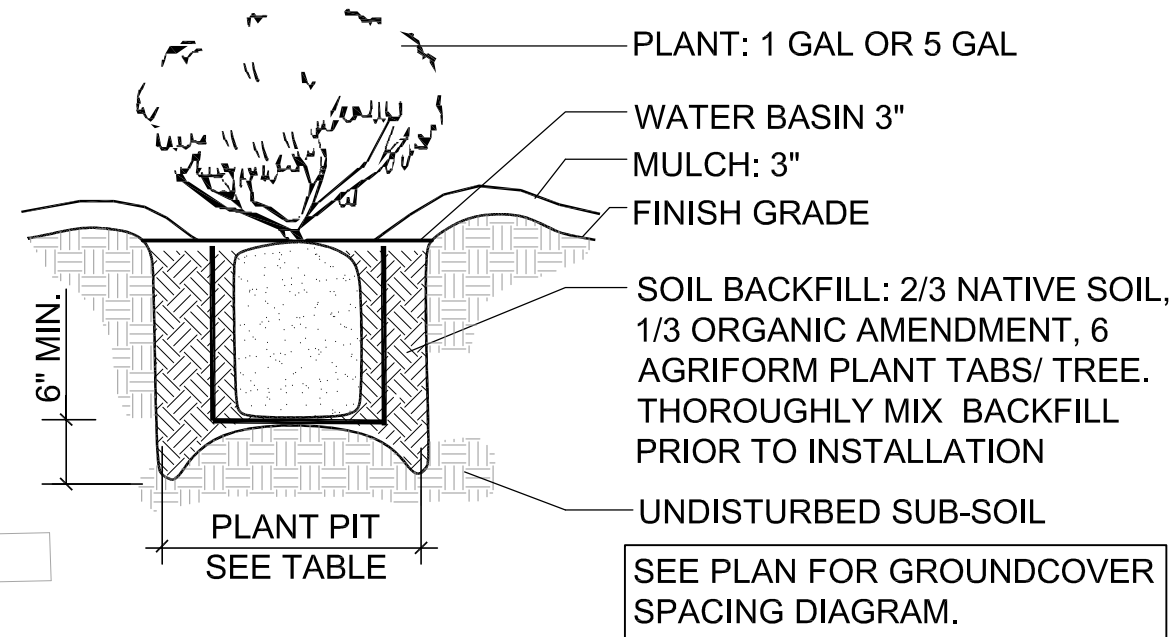
**SITE
 CONSTRUCTION
 PLAN**



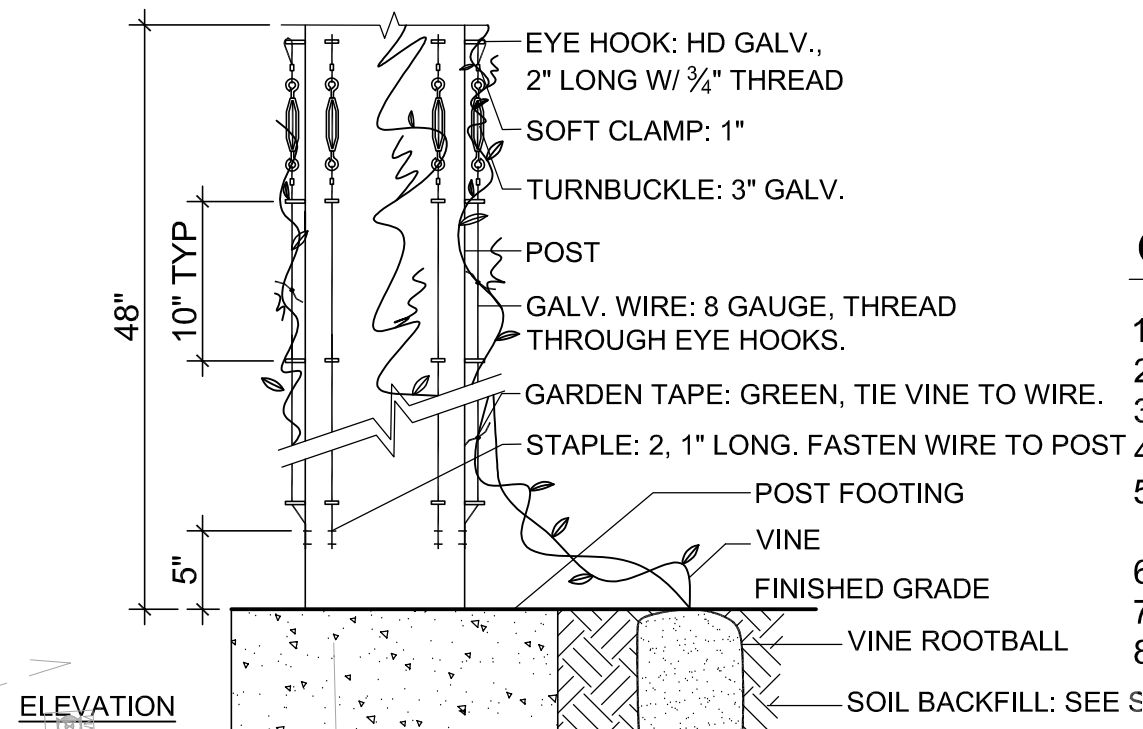
SHEET NO:



| PLANT SIZE | PIT SIZE - ROOTBALL PLUS |
|------------|--------------------------|
| 1 GAL | 6" ALL AROUND |
| 5 GAL | 8" ALL AROUND |
| 15 GAL | 10" ALL AROUND |



1 Shrub/Groundcover Planting
NTS



2 Vine at Post
NTS

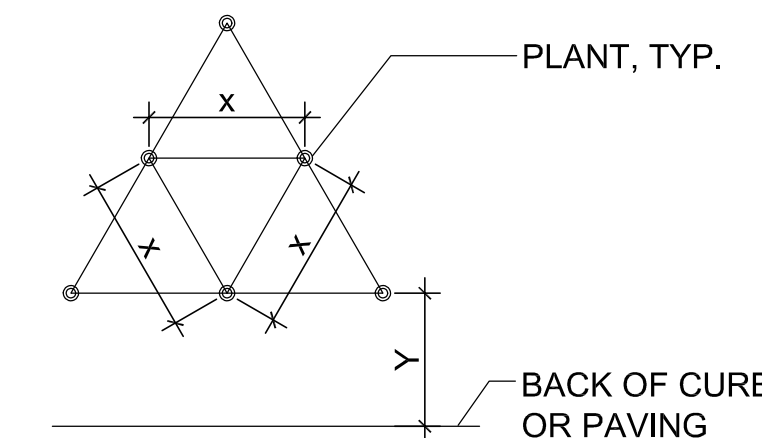
PLANT LEGEND

| *WUC CODE | BOTANICAL NAME | COMMON NAME | SIZE | CHARACTER |
|---------------------|----------------|---|-------------------------------|-------------------|
| Shrubs | | | | |
| L | As | Arctostaphylos 'Sunset' | Sunset Manzanita | 5 Gal. |
| M | Cc | Carpenteria californica 'Elizabeth' | Elizabeth Bush Anemone' | 15 Gal. |
| L | Co | Correa 'Dusky Bells' | Red Australian Fuchsia | 5 Gal. |
| M | Da | Dichondra 'Silver Falls' | Silver Falls Dichondra | 1 Gal. |
| M | Fr | Francoa ramosa | Bridal Wreath | 4" Pot |
| M | Hh | Heuchera 'Hollywood' | Hollywood Alum Root | 1 Gal. |
| L | Le | Leptospermum 'Ruby Glow' | Ruby Glow Tea Tree | 5 Gal. |
| L | Nf | Nepeta faassenii 'Walker's Low' | Walker's Low Catmint | 1 Gal. |
| L | Pt | Phormium tenax 'Tiny Tiger' | Tiny Tiger New Zealand Flax | 1 Gal. |
| L | Pm | Polystichum munitum | Western Sword Fern | 1 Gal. |
| L | Sb | Stachys byzantia 'Helen von Stein' | Lamb's Ear | 1 Gal. |
| M | Li | Lophomyrtus | New Zealand Myrtle | 5 Gal. |
| Groundcovers | | | | |
| L | | Thymus 'Elfin' | Elfin Creeping Thyme | 4" Pot @ 6" O.C. |
| Vines | | | | |
| L | Bo | Bougainvillea 'San Diego Red' | San Diego Red Bougainvillea | 5 Gal. |

GENERAL NOTES

- Landscape Architect to approve plant material BEFORE plant layout commences.
- Landscape Architect to approve layout of all plants BEFORE planting commences.
- Apply pre-emergent herbicide to all planting areas.
- Prepare, amend, and fertilize existing soil per Soils Report.
- Pre-mix amendments into soil before backfilling plant pits - do not mix inside pits. Break large clods into small pieces.
- Plant shrubs and groundcovers per detail (1/L-2.0). See Spacing Diagram.
- Install vine mounting per detail (2/L-2.0)
- Install mulch to all planting areas - 3" thick.

GROUND COVER SPACING AND PLANTING SETBACK DIAGRAM



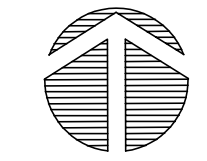
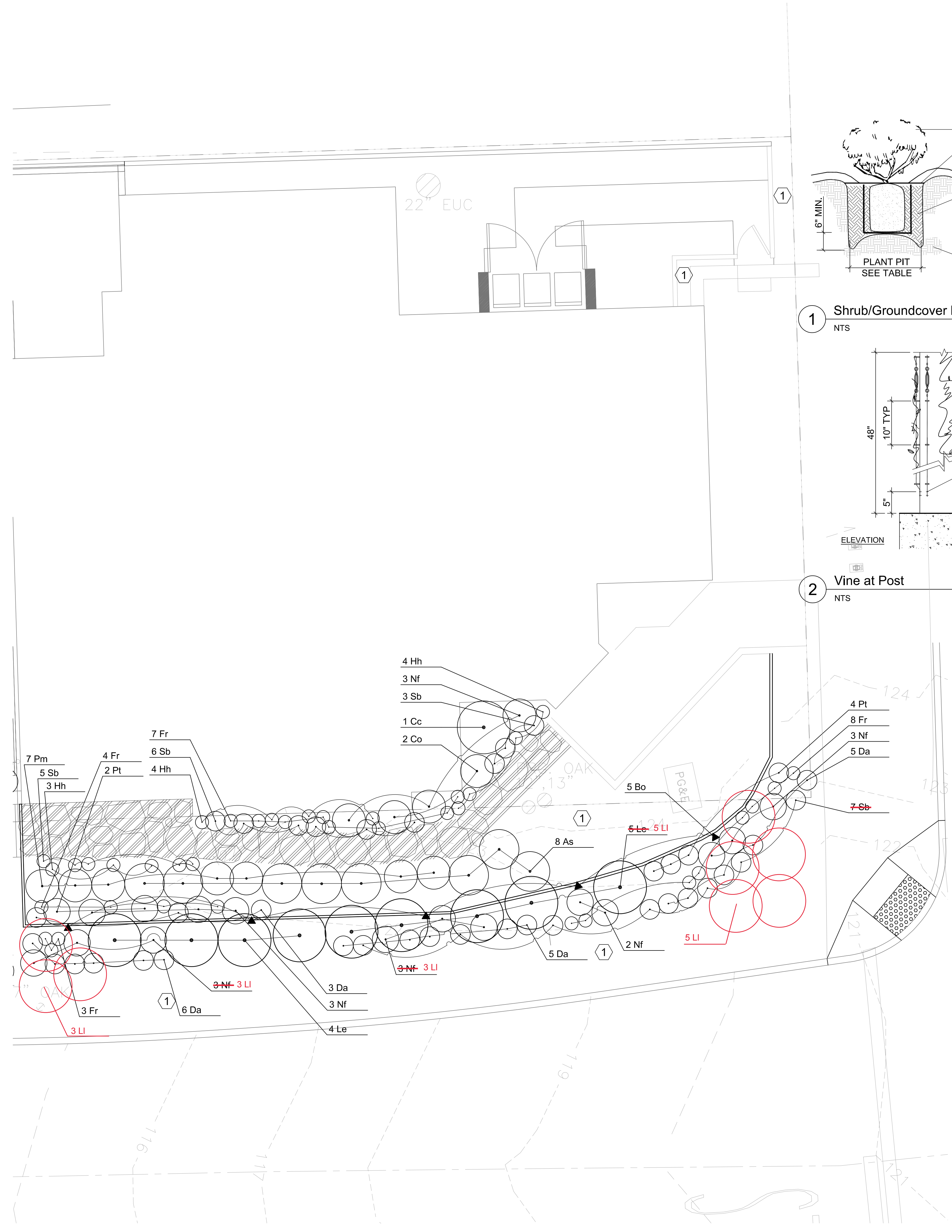
- FOR SPACING 'X', SEE PLANTING PLAN LEGEND
- $Y = 1/2X + 12"$

*** WATER USE CATEGORY (WUC) KEY**

WUCOLS Region Applicable to this Project: REGION 1
H = High; M = Moderate; L = Low; VL = Very Low; NL = Species Not Listed
* from: Water Use Classification of Landscape Species, A Guide to the Water Needs of Landscape Plants (WUCOLS) Revised 2014, University of California Cooperative Extension, L.R. Costello, K.S. Jones

REFERENCE NOTES

- 1 Existing Planting: Preserve and Protect



PROJECT:
FOUNTAIN RESIDENCE
8th Ave & Junipero Ave NWC
Carmel, CA

ISSUANCE:

REVISION:

PROJECT NO: 23.035
DATE: 07/21/2023 REVISED 10/19/2024
SCALE: AS SHOWN
DRAWN | CHECKED:
SHEET:

LANDSCAPE PLANTING PLAN

SHEET NO: