



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Landscape Plan Check/Inspection 23263

Owner Name: DAVIS CRAIG A & CYNTHIA D TRS

Case Planner: Marnie R. Waffle, AICP, Principal Planner

Date Posted: _____

Date Approved: 08/25/2023

Project Location: Southwest Corner of 6th Avenue and Carpenter Street

APN #: 010033005000 **BLOCK/LOT:** 64/NLY 50 FT OF LOTS 2 & 3 & ELY 50 FT OF LOT 1

Applicant: Craig Davis, Owner

Project Description: This approval of Landscape Design application LD 23-263 (Davis) authorizes revisions to the approved landscape plan (DS 17-398, Quan) and minor site modifications to a single-family residence currently under construction located at the northwest corner of Carpenter Street and 6th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Bliss Landscape Architecture stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. This approval of Landscape Design application LD 23-263 (Davis) authorizes revisions to the approved landscape plan (DS 17-398, Quan) and minor site modifications to a single-family residence currently under construction located at the northwest corner of Carpenter Street and 6 th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Bliss Landscape Architecture stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district.
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a landscape design approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
4.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
5.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
6.	Cultural Resources. Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be

	permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
7.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
Landscape Conditions	
8.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.
9.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> • Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. • No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. • Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. • Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. • Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root

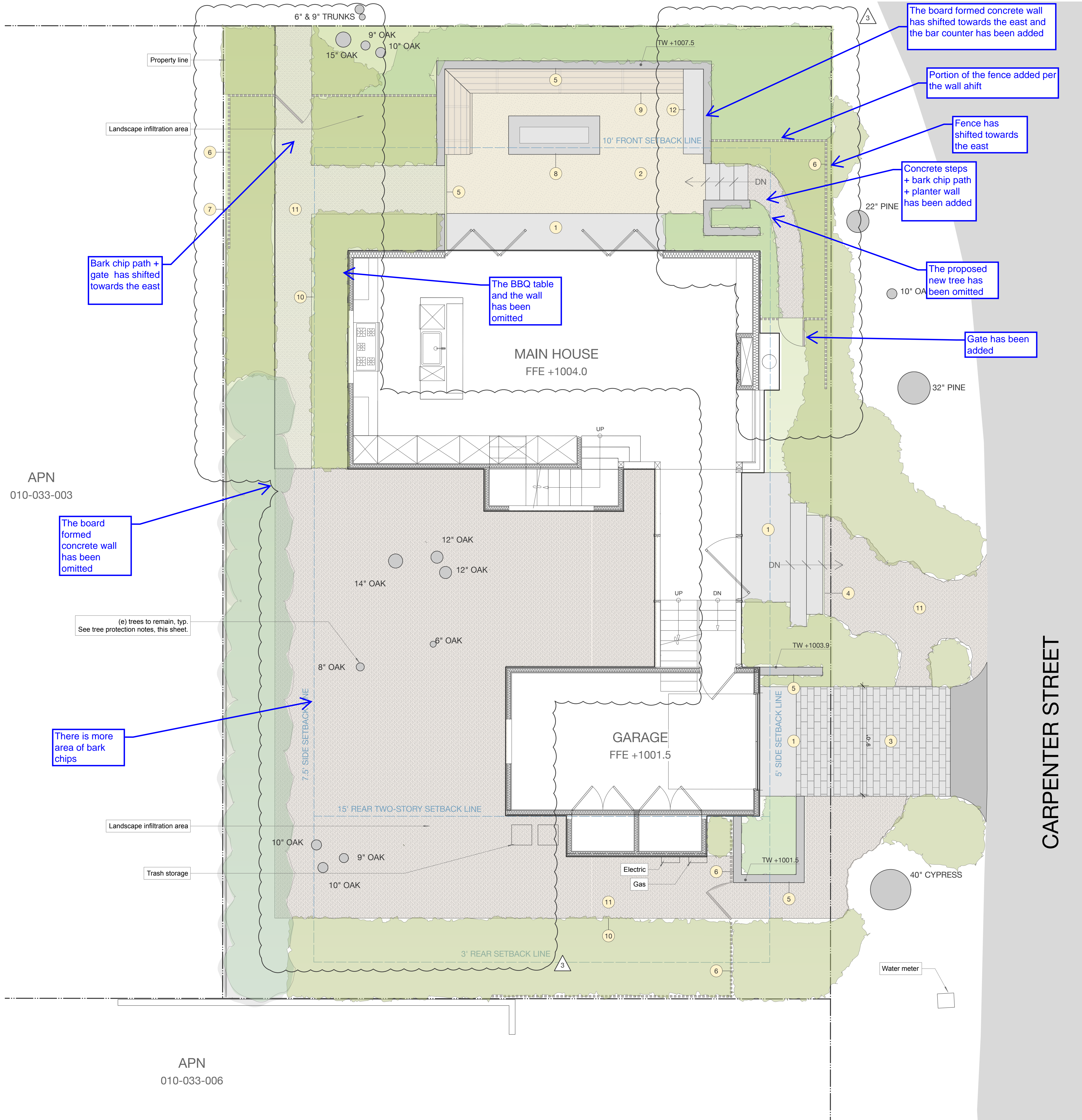
	<p>Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</p> <ul style="list-style-type: none">• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.• If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.
10.	Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.
Special Conditions	
11.	Notice of Authorized Work. Prior to commencing the work described in this approval, the applicant must obtain a Notice of Authorized Work from the Planning Division. The Notice shall be posted at the front of the property, readily visible to the public for the duration of the project.

Acknowledgment and acceptance of conditions of approval:

Property Owner Signature

Printed Name

Date



- 1 Concrete paving
- 2 Permeable gravel paving
- 3 Permeable pavers
- 4 Concrete steps
- 5 Board form concrete wall
- 6 Wood picket fence/ gate
- 7 Cedar split rail fence
- 8 Concrete firepit
- 9 Wood bench, Cantilever
- 10 Steel edging
- 11 Bark chips
- 12 Bar Counter

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: LD 23-263 (Davis)
Date Approved: August 25, 2023
Planner: M. Waffle

LAYOUT AND CONSTRUCTION NOTES

- The contractor shall verify all distances in the field and shall bring any discrepancies to the attention of the Landscape Architect prior to proceeding with the work.
- All written dimensions are to supersede scaled dimensions. Dimensions are from face of building.
- Contractor shall coordinate and install sleeving for low voltage lighting and irrigation system.
- Any alternatives to reduce cost shall be proposed by Landscape Contractor and submitted as a bid alternative.
- Contractor shall sub all line voltage lighting, GFI outlets, and gaslines with appropriate licensed sub-contractors. Scope of work is noted on 'Construction Items', this Sheet.
- Contractor shall route gasline to BBQ and Firepit. Notify owner of how new gasline will be run (i.e. under house, or under patio).

GENERAL PROJECT NOTES

- The contractor shall notify Underground Services Alert at least 48 hours prior to any excavation on this project (USA at 800 642-2444).
- The contractor shall be responsible for the verification of all existing utilities in the field and for familiarizing himself/herself with all existing underground conditions prior to construction. Locations shown on the plans are approximate and for general information only.
- Contractor is responsible for repairing and replacing at his/her expense any structures, fences, walls or plant life damaged or destroyed by his/her construction operations, on adjacent properties and/or anywhere outside the contract limit lines. Damaged items will be restored to original condition and to the satisfaction of the engineer.
- All dimensions, elevations and existing conditions shall be checked and verified on the project site by the contractor and each trade before work begins. Errors and omissions and discrepancies shall be brought to the architect's attention before construction begins or immediately as identified.
- Provide all labor, materials, equipment, tools, transportation, utilities and other services and related tasks necessary for the construction as required by the contract documents.
- Contractor shall assume sole responsibility for job site conditions and comply with safety regulations and restrictions as required for workers and pedestrians protection during the course of construction of this project.
- All work shall be performed in conformance with all local, county, state and federal codes, laws, ordinances, and regulations applicable. Nothing in the contract documents is to be construed to permit work not conforming to these codes, laws, ordinances, and regulations.
- All new hardscape surfaces shall maintain a minimum 1.5% cross slope away from structures and walls as shown on Plan. All softscape surfaces shall maintain 2% slope away from structures and walls. Contractor shall ensure positive drainage throughout project area.
- Contractor shall advise on installation of drainage features such as drain inlets, drain lines, and French drains if necessary to ensure positive drainage throughout the project area.
- Refer to Grading + Drainage Plans by Civil Engineer.

BLISS LANDSCAPE ARCHITECTURE

24000 Robinson Canyon Road
Carmel CA 93923
831.298.0990
blisslandarch.com



THE DAVIS RESIDENCE

SW CORNER OF 6TH & CARPENTER
CARMEL, CA 93923

APN/ Lot Number
010-033-005

Phase
PERMIT SET

Revisions		
No.	Date	Description
1.	03 MAR 2020	BUILDING PERMIT SUBMITTAL
2.	16 JAN 2021	PLAN CHANGE REV. 1
3.	04 MAR 2021	PLAN CHANGE REV. 2

Issue
PLAN CHECK COMMENT REVISION 3

Date
21 JUL 2023

Drawn by
JW

Scale: 1/4"=1'-0"



North



Drawing Title

LANDSCAPE SITE PLAN

L1.0

LANDSCAPE MATERIALS + FINISHES

NOTES

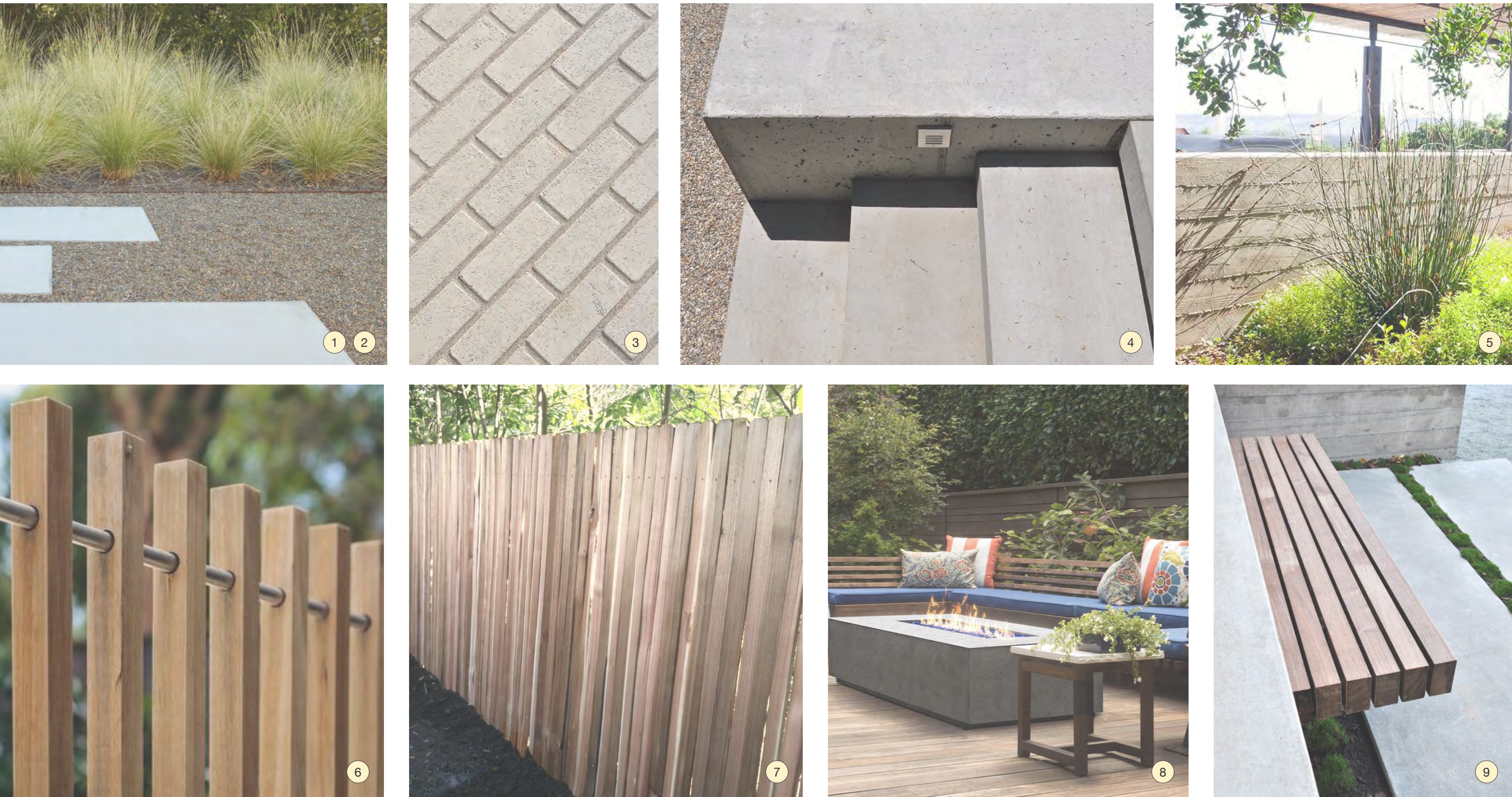
- 1 ALL ITEMS BELOW CORRESPOND TO NUMBERED ITEMS ON L1.0 SITE PLAN
2 PROVIDE MOCK-UP SAMPLES FOR ITEMS REQUESTED, MOCK UPS TO BE REVIEWED BY BLA
3 FOR PHOTO REFERENCES, REFER TO THIS SHEET

DESIGNER/CONTRACTOR LEGEND

BLA	Bliss Landscape Architecture	GC	General Contractor
ARCH	Justin Pauly Architects	LC	Landscape Contractor
CE	Civil Engineer		
SE	Structural Engineer		

LANDSCAPE ITEM	SPECIFICATION	DESIGNER RESPONSIBLE	CONTRACTOR RESPONSIBLE	NOTES	CD DETAIL #	MOCK UP REQUIRED
1 PAVING: CONCRETE	Concrete: 4" PIP reinforced concrete paver, integral color TBD, light acid-etch finish, 1/8" radius corners TYP.	BLA	GC		L2.1	YES
2 PERMEABLE GRAVEL PAVING	Gravel: 3/8" clean 'Yuma' gravel over permeable sub-base, depth per geotech report.	BLA	GC+LC	Base prep by GC, Gravel prep by LC Gravel 3/8", rolled in two even courses	L2.0 #1	YES
3 PERMEABLE PAVERS	Techo Bloc percast concrete paver, Travertina, Ivory color. Set over permeable sub-base, depth per geo-tech report.	BLA	GC		L2.0 #10	YES
4 STEP: CONCRETE	Concrete: reinforced concrete step, integral color TBD, light acid-etch finish, 1/8" radius corners TYP. Base: compacted aggregate base per geotech report	BLA	GC		L2.1	YES
5 WALL: BOARD FORM CONCRETE	PIP concrete with decorative horizontal board-form finish, integral color TBD, Height varies, see exterior elevations. Finish: use 2" x 6" wide re-sawn wood form boards to imprint texture, no gap between boards; square edges at corners; align & level boards at all horizontals on each face; align boards on all sides of walls, ensure alignment of board coursing of imprinted texture between poirs and accounting for form board shrinkage; use of form ties on visible surfaces shall be prohibited; rub down excessive protrusions between board coursing	BLA	GC	Structural retaining wall detailing by SE, Drainage by Civil Engineer	L2.0 #4-6	YES
6 FENCE: WOOD, PICKET	Vertical pickets: full dimension 2" x 2" WRC - STK; rough sawn finish (all sides), with semi-transparent stain finish. Height varies, see exterior elevations.	BLA	GC		L2.2 #3-6	YES
7 FENCE: SPLIT RAIL	Split face, 5/8" X 2" Premium split western red cedar palings, no dog-ear with 2"x6" Cedar top cap and 2" x 4" PTDF top + bottom rail and 4" x 4" PTDF posts.	BLA	GC		L2.2 #1-2	YES
8 FIRE PIT: CONCRETE	Prisim hardscape: Travola 6 prefab firepit set over concrete sub-base.	BLA	GC	See manufacture specification report for gas line, burner, ventilation, and instillation.	L2.0 #7	YES
9 BENCH: WOOD, CANTILEVER	3" x 4" S4S lpe slats with 3/8" galv. steel spacers and 3/8" galv. steel plate anchored to conc. wall. Bench to be 24" wide, with top of bench 18" above finish grade.	BLA	GC		L2.0 #8-9	YES
10 STEEL EDGING	3/16" Unfinished, cold-rolled steel edge welded to verticle stakes. Steel flush with finish surface, and set 1/4" above finish grade. 1/2" Unfinished, cold-rolled steel edge welded to verticle stakes. Steel flush with finish surface, and set 1/4" above finish grade, where retaining 6 or more inches	BLA	GC		L2.0 #1-2/11	YES
11 BARK CHIP	Mini mulch fir bark 2" depth Place mulch on firm, foot-tamped native soil, with all large rocks and vegetation removed Assure soil base has positive surface drainage prior to placing mulch.	BLA	LC		L2.0 #2-3/11	YES

Specs have been updated



CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

Permit #: LD 23-263 (Davis)
Date Approved: August 25, 2023
Planner: M. Waffle

BLISS
LANDSCAPE
ARCHITECTURE

24000 Robinson Canyon Road
Carmel CA 93923
831.298.0990
blisslandarch.com



THE DAVIS
RESIDENCE

SW CORNER OF 6TH & CARPENTER
CARMEL, CA 93923

APN/ Lot Number
010-033-005

Phase
PERMIT SET

Revisions	No.	Date	Description
	1.	03 MAR 2020	BUILDING PERMIT SUBMITTAL
	2.	16 JAN 2021	PLAN CHANGE REV 1
	3.	04 MAR 2021	PLAN CHANGE REV 2

Issue
PLAN CHECK COMMENT REVISION 3

Date
21 JUL 2023

Drawn by
JW

Scale: NA

Drawing Title
MATERIALS
SPECIFICATIONS

L1.1

24000 Robinson Canyon Road
Carmel CA 93923
831.298.0990
blisslandarch.com



APN/ Lot Number
010-033-005

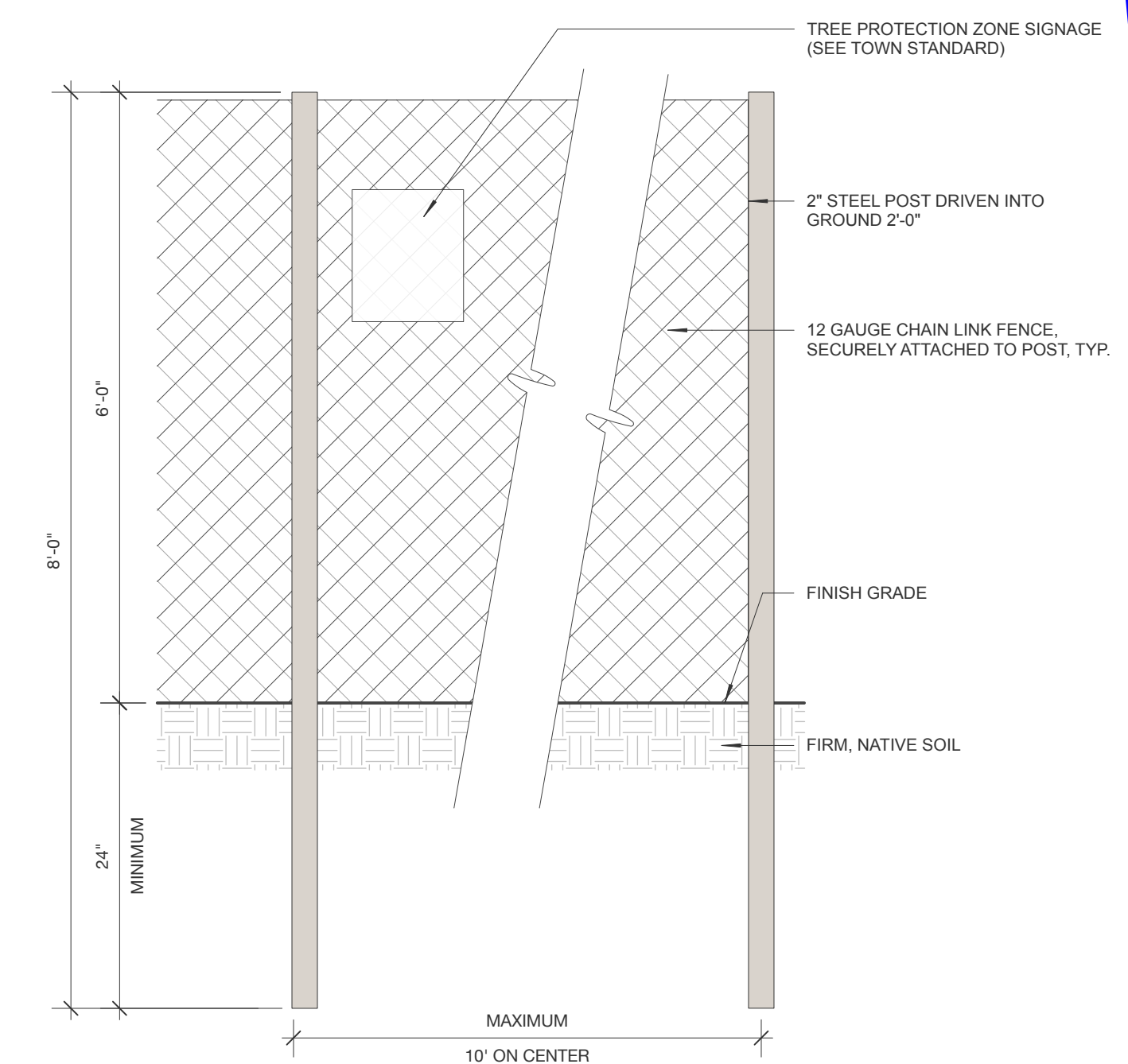
Revisions		
No.	Date	Description
1.	03 MAR 2020	BUILDING PERMIT SUBMITTAL
2.	16 JAN 2021	PLAN CHANGE REV. 1
3.	04 MAR 2021	PLAN CHANGE REV. 2

North

L1.2

Planner: M. Waffle

The layout plan is updated per the new changes



1 ELEVATION DETAIL: TREE PROTECTION FENCING
L1.2 1" = 1'-0"

24000 Robinson Canyon Road
Carmel CA 93923
831.298.0990
blisslandarch.com

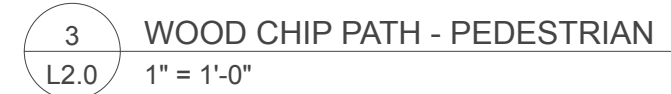


APN/ Lot Number
010-033-005

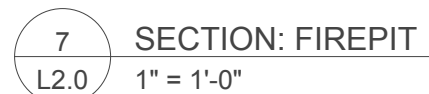
Revisions		
No.	Date	Description
1.	03 MAR 2020	BUILDING PERMIT SUBMITTAL
2.	16 JAN 2021	PLAN CHANGE REV. 1
3.	04 MAR 2021	PLAN CHANGE REV. 2

Scale: $1''=1'-0''$

L2.0



10 PERMEABLE PAVING - VEHICULAR
L2.0 1" = 1'-0"



1
L2.0 PERMEABLE GRAVEL PAVING W/
STEEL EDGE - PEDESTRIAN



BLISS
LANDSCAPE
ARCHITECTURE

24000 Robinson Canyon Road
Carmel CA 93923
831.298.0990
blisslandarch.com



CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

Permit #: LD 23-263 (Davis)
Date Approved: August 25, 2023
Planner: M. Waffle

THE DAVIS
RESIDENCE

SW CORNER OF 6TH & CARPENTER
CARMEL, CA 93923

APN/ Lot Number
010-033-005

Phase
PERMIT SET

Revisions		
No.	Date	Description
1.	03 MAR 2020	BUILDING PERMIT SUBMITTAL
2.	16 JAN 2021	PLAN CHANGE REV 1
3.	04 MAR 2021	PLAN CHANGE REV 2

Issue
PLAN CHECK COMMENT REVISION 3

Date
21 JUL 2023

Drawn by
JW

Scale: 1"=1'-0"



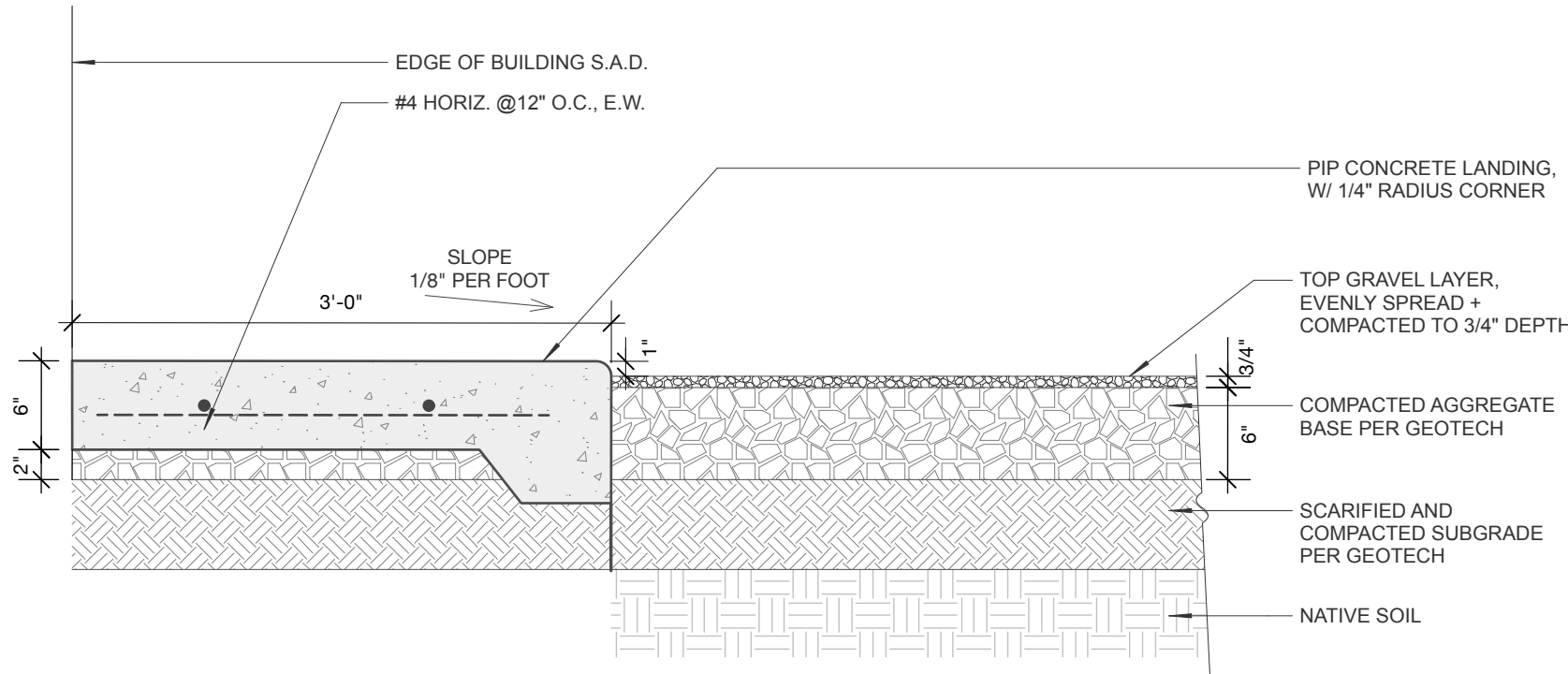
North



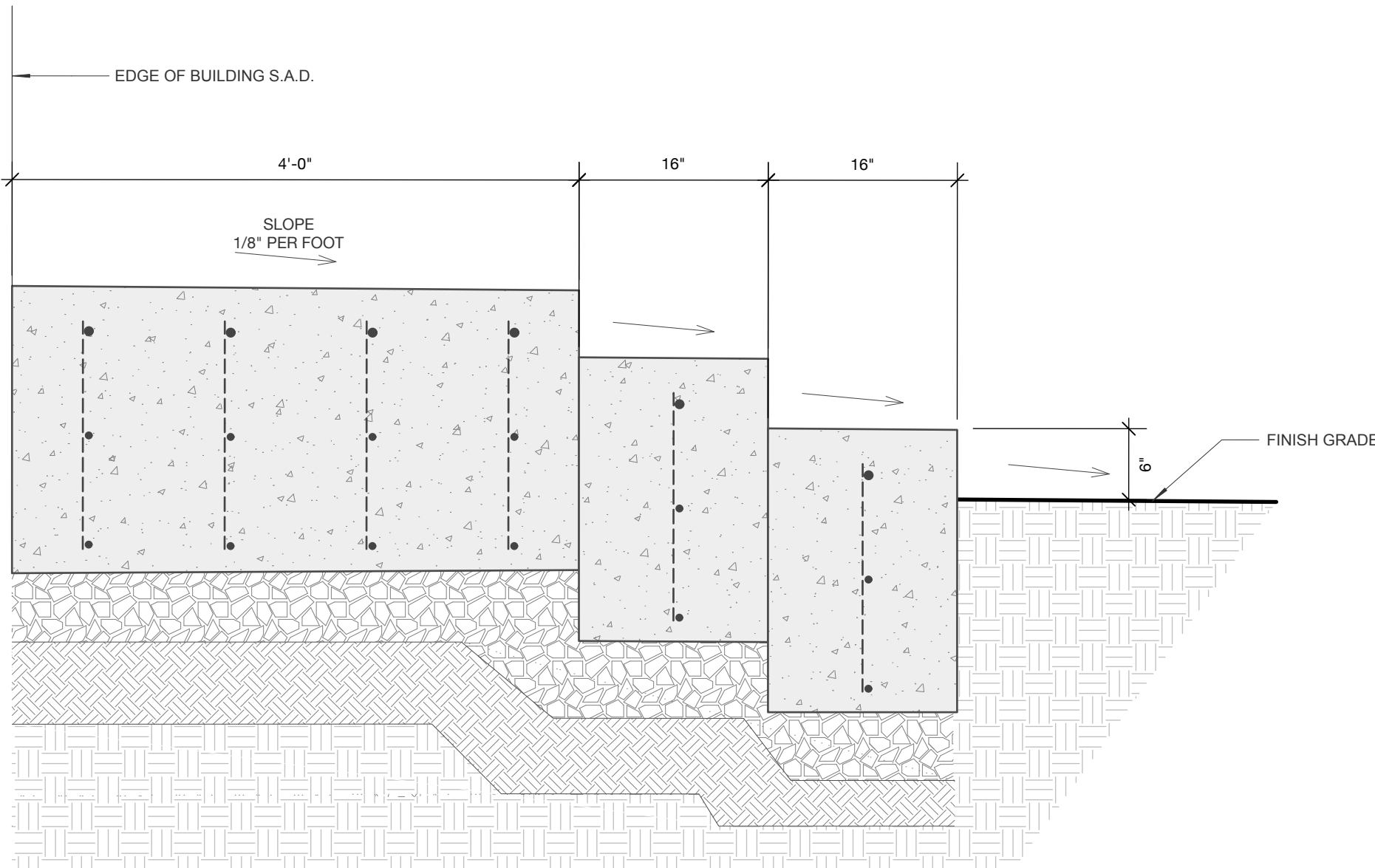
Drawing Title

LANDSCAPE
DETAILS

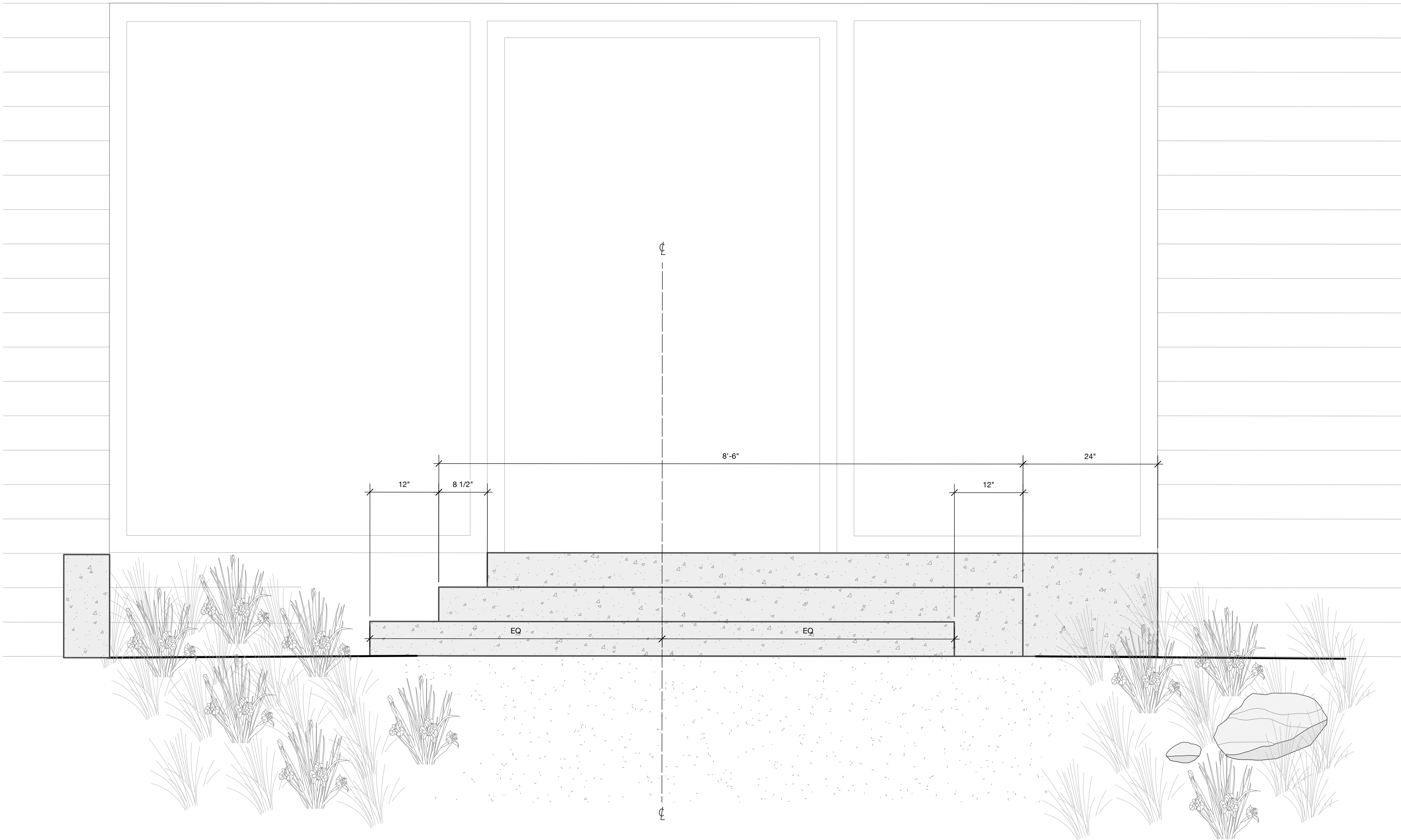
L2.1



3
L2.1 SECTION DETAIL: CONCRETE LANDING 3
1" = 1'-0"



2
L2.1 SECTION DETAIL: CONCRETE LANDING 1
1" = 1'-0"



1
L2.1 ELEVATION DETAIL: CONCRETE LANDING 1
1" = 1'-0"

24000 Robinson Canyon Road
Carmel CA 93923
831.298.0990
blisslandarch.com

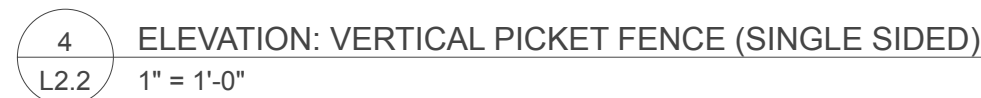


APN/ Lot Number
010-033-005

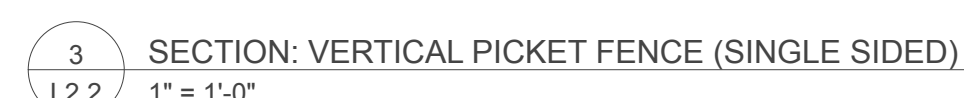
Revisions		
No.	Date	Description
1.	03 MAR 2020	BUILDING PERMIT SUBMITTAL
2.	16 JAN 2021	PLAN CHANGE REV. 1
3.	04 MAR 2021	PLAN CHANGE REV. 2

Drawn by
JW

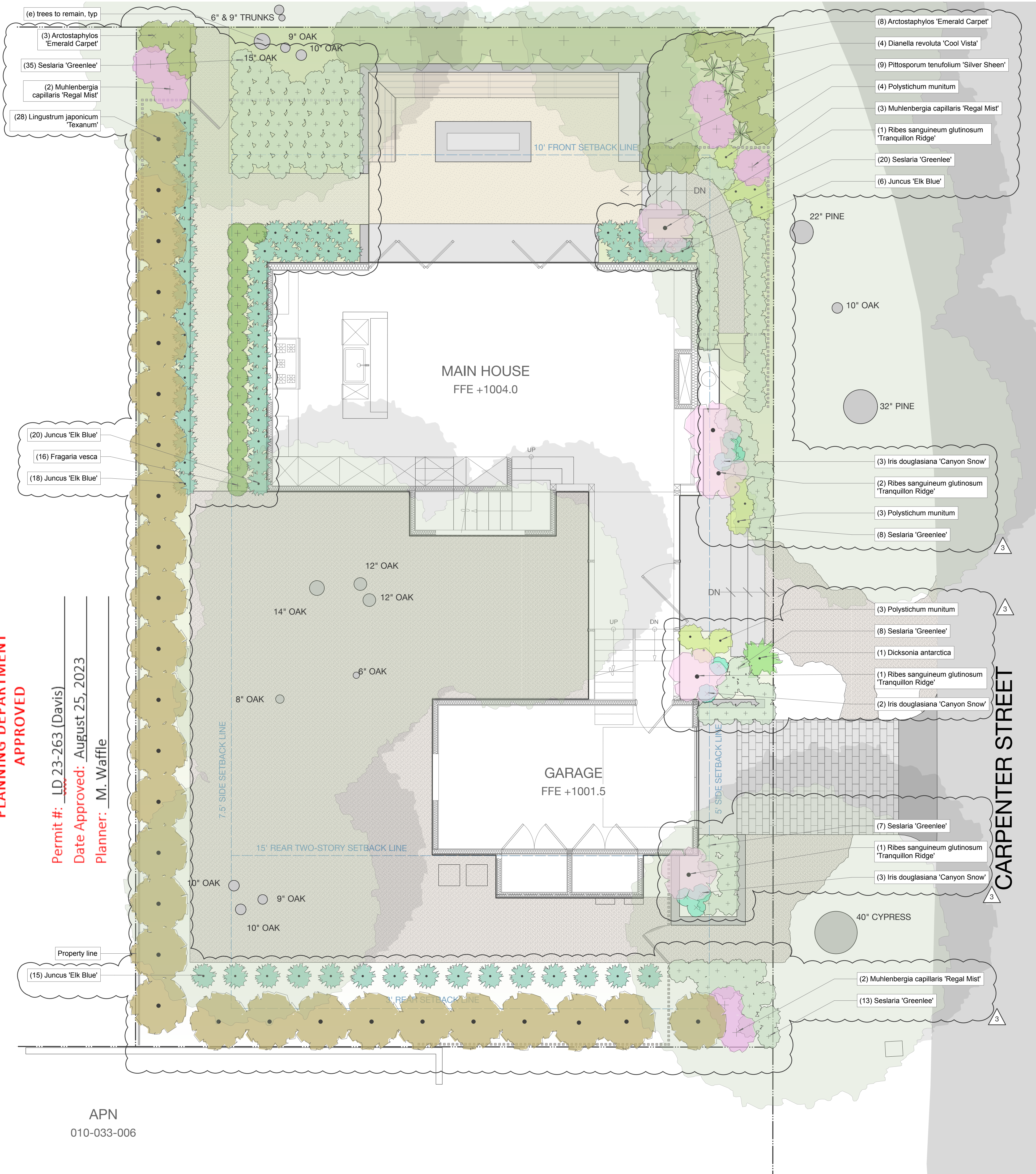
L2.2



6 ELEVATION: VERTICAL PICKET GATE
L2.2 1" = 1'-0"



Permit #: LD 23-263 (Davis)
Date Approved: August 25, 2023
Planner: M. Waffle



APN
010-033-006

PLANT LEGEND

Symbol	Quantity	Botanical Name	Common Name	Container Size
GROUND COVER/ SHRUBS				
	11	Arctostaphylos 'Emerald Carpet'	Carpet Manzanita	1 gal
	4	Dianella revoluta 'Cool Vista'	Coolvista Dianella	1 gal
	1	Dicksonia antarctica	Tasmanian Tree Fern	15 gal
	16	Fragaria vesca	Wild Strawberry	4" pot
	8	Iris douglasiana 'Canyon Snow'	Douglas Iris	1 gal
	59	Juncus patens 'Elk Blue'	Elk Blue California Gray Bush	1 gal
	10	Leptospermum laevigatum	Australian Tea Tree	15 gal
	28	Ligustrum japonicum 'Texanum'	Waxleaf Privet	15 gal
	7	Muhlenbergia capillaris 'Regal Mist'	Regal Mist Pink Muhly Grass	5 gal
	9	Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	15 gal
	10	Polystichum munitum	Western Sword Fern	1 gal
	5	Ribes sanguineum glutinosum 'Tranquillon Ridge'	Pink Flowering Currant	5 gal
	91	Sesleria 'Greenlee'	Greenlee Moor Grass	1 gal
SUPPLEMENTAL PLANTS				
	8	Arctostaphylos 'Emerald Carpet'	Carpet Manzanita	1 gal
	8	Chondropetalum 'El Campo'	Dwarf Cape Rush	1 gal
	8	Dianella revoluta 'Cool Vista'	Flax Lily	1 gal
	8	Dierama pulcherrimum	Angel's Fishing Rod	1 gal
	8	Polystichum munitum	Western Sword Fern	1 gal

PLANTING NOTES

- Contractor shall be responsible for making themselves familiar with all underground utilities, pipes, and structures. Contractor shall take responsibility for any cost incurred due to damage of said utilities.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist in planting areas. Such conditions shall be immediately brought to the attention of the Construction Manager.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations
- Contractor shall submit a random soil samples from the site to a qualified soil testing lab for a horticultural suitability test and amendment recommendations. After amending topsoil to a depth of 8" (and in accordance with soil test recommendations), grade all areas smooth with no localized depressions or mumps exceeding 1". Insufficient or unsuitable existing soil shall be augmented or replaced with topsoil as approved by the Landscape Architect.
- All plant material shall be approved by Landscape Architect prior to installation.
- Contractor to complete all soil amending, finish grading and removal of any and all construction debris from the planting areas before the laying out of approved plant material.
- Contractor shall layout all plants in their containers as per this Plan and receive approval from Landscape Architect prior to installation.
- Contractor shall notify Construction Manager + Landscape Architect 48 hours prior to commencement of work to coordinate project inspection schedules.
- Any plant substitutions must be approved by the Landscape Architect for approval or alternate choices.
- All plants shall be healthy, pest and disease free, free of girdling roots and well established in the container.
- Trees shall be located a minimum of 4 ft. from walls, overheads, walks, headers and other trees within the project, unless shown otherwise.
- No plant shall be planted with rootballs or planting pits in a dry condition.
- Water all plants by handheld hose with watering wand attachment immediately after planting (no water 'jetting'). No plant should be out of it's container more than twenty minutes before being planted and watered. Contractor shall be responsible for irrigating all new plantings until the entire project has been completed and accepted by the Owner.
- Contractor is responsible to apply sufficient but not excess irrigation to all new plantings to ensure healthy plant establishment.
- Backfill mix shall consist of 1/3 imported organic compost and 2/3 amended site soil.
- Immediately after excavation of plant pits, test drainage of pits by filling with water. Give written notification of conditions permitting the retention of water in pits for more than (3) hours. Contractor shall submit to Owner and Landscape Architect for acceptance a written proposal and cost estimate for the correction of poor drainage conditions before proceeding with planting.
- All newly planted container plants and trees shall receive watering basins 3 times the size of the root ball upon planting, unless otherwise shown on Drawings.
- Planting areas shall receive a 2" layer of composted oak leaf mulch, unless noted otherwise.
- Mulch shall be kept at a depth of 2" deep near the plant crowns and trunks, and not extend higher than 1/8" onto the crown or trunk of any newly planted plant or tree.
- All plant material shown on the Planting Plan is subject to the adverse effects of Nature including, but not limited to, fire, earthquake, flooding, freeze, drought, erosion and foraging predators. The Landscape Architect cannot, and does not, guarantee or imply warranty that specified plants will survive these Acts of Nature. All plants specified satisfy the general climatic conditions set forth by the U.S. Department of Agriculture and the Sunset Western Garden Book.
- For tree protection fence layout, see tree protection plan A1.5.

BLISS LANDSCAPE ARCHITECTURE

24000 Robinson Canyon Road
Carmel CA 93923
831.298.0990
blisslandarch.com



THE DAVIS RESIDENCE

SW CORNER OF 6TH & CARPENTER
CARMEL, CA 93923

APN/ Lot Number
010-033-005

Phase
PERMIT SET

Revisions		
No.	Date	Description
1.	03 MAR 2020	BUILDING PERMIT SUBMITTAL
2.	16 JAN 2021	PLAN CHANGE REV. 1
3.	04 MAR 2021	PLAN CHANGE REV. 2

Issue
PLAN CHECK COMMENT REVISION 3

Date
21 JUL 2023

Drawn by
JW

Scale: 1/4"=1'-0"



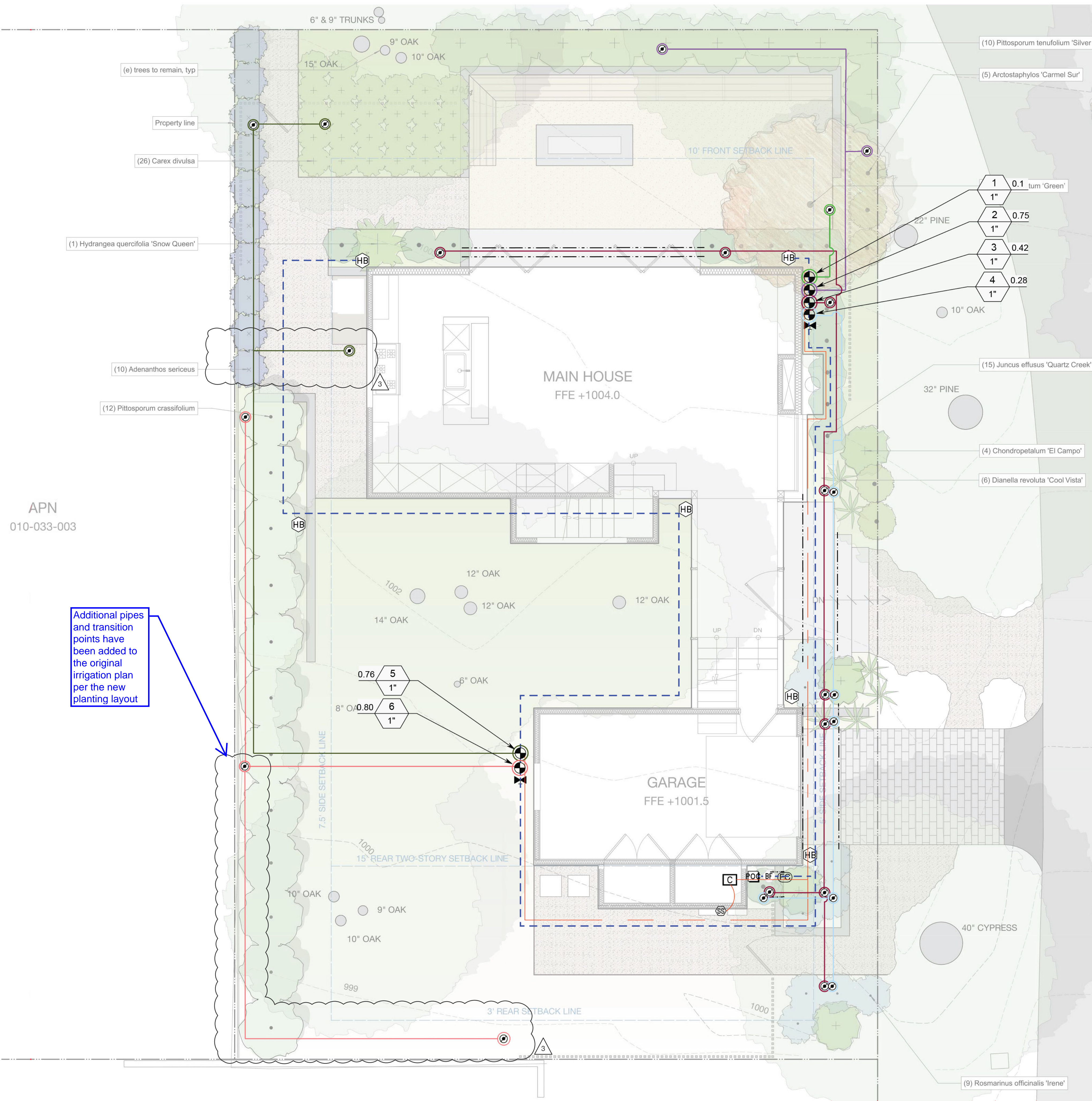
North



Drawing Title

PLANTING PLAN

L3.0



IRRIGATION_SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Pipe Transition Point above grade Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.
	Plastic Electric Remote Control Valves, typ.
	Hose Bibb. Confirm qty & location with Landscape Architect..
	Shut off FVC ball valve, typ, same size as mainline pipe diameter at valve location.
	Backflow prevention device, typ.
	Hunter ACC-99D 2-Wire Decoder Controller
	Hunter Solar-Sync-Sen Solar, rain freeze sensor with outdoor interface, connects to Hunter X-Core and ACC Controllers, install as noted. Includes gutter mount bracket.
	Point of Connection
	Hunter FLOW-CLIK Flow Sensor SOV with Interface Panel, Schedule 80 Sensor Body, 24 VAC, 2 amp, install Interface Panel as required. Serves as sub-meter.
	Irrigation Lateral Line: PVC Class 200
	Irrigation Mainline: PVC Schedule 40
	Irrigation controller wire for Two-Wire System in 1" conduit
	Valve Callout: Valve: Number Valve: Flow Valve: Size

PLANT LIST SORTED BY VALVE

Zone/ Valve	Hydrozone / Planting Description	Qty	Size
1	Acer palmatum 'Green'	1	36" Box
2	Pittosporum 'Silver Sheen'	10	15 GAL
2	Arctostaphylos 'Carmel Sur'	5	1 GAL
3	Dianella revoluta 'Cool Vista'	6	1 GAL
3	Hydrangea quercifolia 'Snow Queen'	1	15 GAL
3	Juncus effusus 'Quartz Creek'	15	1 GAL
4	Chondropetalum 'El Campo'	4	5 GAL
4	Rosmarinus officinalis 'Irene'	9	1 GAL
5	Adenanthos sericeus 'Silver Streak'	10	5 Gal
5	Carex divulsa	26	4" POT
6	Pittosporum crassifolium	12	15 GAL

Davis Residence											
6th and Carpenter, Carmel, CA											
Section B. Water Efficient Landscape Worksheet											
Based on Landscape plans dated 03/04/2021											
Reference Evapotranspiration (ETo) 36.0											
Zone/ Valve	Hydrozone / Planting Description	WUCOLS	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq.ft)	ETAF x Area	Estimated Total Water Use (ETWU)	Qty	Size
Regular Landscape Areas											
1	Acer palmatum 'Green'	MODERATE	0.5	Drip	0.81	0.62	140	86	2,363	1	36" Box
5	Adenanthos sericeus 'Silver Streak'	LOW	0.2	Drip	0.81	0.25	50	12	338	10	5 Gal
4	Chondropetalum 'El Campo'	LOW	0.2	Drip	0.81	0.25	52	13	351	4	5 GAL
3	Dianella revoluta 'Cool Vista'	MODERATE	0.5	Drip	0.81	0.62	30	19	506	6	1 GAL
3	Hydrangea quercifolia 'Snow Queen'	MODERATE	0.5	Drip	0.81	0.62	9	6	152	1	15 GAL
3	Juncus effusus 'Quartz Creek'	MODERATE	0.5	Drip	0.81	0.62	90	56	1,519	15	1 GAL
6	Pittosporum crassifolium	MODERATE	0.5	Drip	0.81	0.62	108	67	1,823	12	15 GAL
2	Pittosporum 'Silver Sheen'	LOW	0.2	Drip	0.81	0.25	90	22	608	10	15 GAL
2	Arctostaphylos 'Carmel Sur'	LOW	0.2	Drip	0.81	0.25	45	11	304	5	1 GAL
5	Carex divulsa	LOW	0.2	Drip	0.81	0.25	130	32	878	26	4" POT
4	Rosmarinus officinalis 'Irene'	LOW	0.2	Drip	0.81	0.25	81	20	547	9	1 GAL
						Totals	4.57	825	343	9,387	
Special Landscape Areas											
N/A								ETWU Total =	9,387		
								Maximum Allowed Water Allowance (MAWA)* =	10,128		
*MAWA calculation: 36.0*0.62*(0.55*825)											
ETAF Calculations											
Regular Landscape Areas											
Total ETAF x Area			343								
Total Area			825								
Average ETAF			0.42								
All Landscape Areas											
Total ETAF x Area			343								
Total Area			825								
Average ETAF			0.42								

2 WATER EFFICIENT LANDSCAPE WORKSHEET

CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

Permit #: LD 23-263 (Davis)
Date Approved: August 25, 2023
Planner: M. Waffle



BLISS
LANDSCAPE
ARCHITECTURE

24000 Robinson Canyon Road
Carmel CA 93923
831.298.0990
blisslandarch.com



THE DAVIS
RESIDENCE

SW CORNER OF 6TH & CARPENTER
CARMEL, CA 93923

APN/ Lot Number
010-033-005

Phase
PERMIT SET

Revisions		
No.	Date	Description
1.	03 MAR 2020	BUILDING PERMIT SUBMITTAL
2.	16 JAN 2021	PLAN CHANGE REV. 1
3.	04 MAR 2021	PLAN CHANGE REV. 2

Issue
PLAN CHECK COMMENT REVISION 3

Date
21 JUL 2023

Drawn by
JW

Scale: 1/4"=1'-0"



North



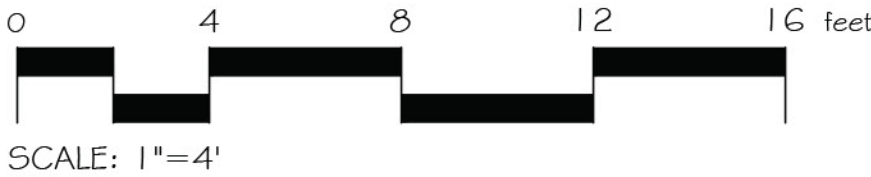
Drawing Title

IRRIGATION
PLAN

L4.0

1

IRRIGATION PLAN
SCALE: 1/4" = 1'-0"



Irrigation Notes

- These irrigation drawings are diagrammatic and indicative of the work to be installed. All piping, valves and other irrigation components may be shown within paved areas for graphic clarity only and are to be installed within planting areas. Due to the scale of the drawings, it is not possible to indicate all offsets, fittings, sleeves, conduit and other items which may be required. Notify any coordinate irrigation contract work with applicable contractors for the location and installation of pipe, conduit or sleeves.
- The intent of this irrigation system is to conserve resources while providing a minimum amount of water required to sustain good plant health.
- It is the responsibility of the maintenance contractor and/or owner to program the irrigation controller to provide the minimum amount of water needed to sustain good plant health. This includes making adjustments to the irrigation program for seasonal weather changes, plant material, water requirements, mounds, slopes, sun, shade, wind exposure and growth over time.
- It is the responsibility of a licensed electrical contractor to provide 120 volt A.C. (2.5 amp demand per controller) electrical service to the controller location. It is the responsibility of the irrigation contractor to coordinate the electrical service stub-out to the controller. Provide proper grounding per controller manufacturer's instructions and in accordance with local codes.
- Provide the irrigation controller with its own independent low voltage common ground wire.
- Unless otherwise indicated, well contractor to provide a dedicated 2" service line with a minimum of 25 GPM and 40 PSI with a separate meter or sub-meter.
- Irrigation controller shall be weather- or moisture-based controller that automatically adjusts irrigation in response to changes in plants' needs as weather conditions change. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate rain sensor which communicates with the controller. Soil moisture-based controllers are not required to have rain sensor input.
- Install new batteries in the irrigation controller to retain program information during power failures. Owner/maintenance contractor to check twice annually and replace when necessary, no less frequent than two years.
- Schedule a meeting which includes the maintenance contractor, the owner (or owner's representative) and the irrigation contractor at the site for instruction on the proper programming and operation of the irrigation controller. Irrigation contractor to provide owner's manual and as-built plans.
- Splicing of low voltage wires is permitted in valve boxes only. Leave a 24" long, 1" diameter coil of excess wire at each splice. Tape wires together every ten feet. Do not tape wires together where contained within sleeving or conduit.
- Install black plastic valve boxes with non-hinged cover marked "irrigation."
- Hose bib and irrigation valve locations are diagrammatic. Install remote control valve boxes 12" from walk, curb, lawn header board, building or landscape feature. At multiple valve box groups, install each box 12" apart. Hose bib and valve box locations to be approved by landscape architect.
- A ball/gate valve shall be installed to isolate each irrigation valve or group of valves located together. Gate valve size shall be the same as the main line.
- Flush and adjust irrigation outlets and nozzles for optimum performance and to not allow overspray onto walks, roadways and/or buildings. Select the best degree of the arc and radius to fit the existing site conditions and throttle the flow control at each valve to obtain the optimum operating pressure for each control zone.
- Set sprinkler heads perpendicular to finish grade.
- Locate emitter outlets and bubblers on uphill side of plant or tree.
- At locations where low sprinkler head drainage will cause erosion and/or excess water, install a pop-up body with integral check valve. Install a spring loaded check valve on bubbler and emitter risers where required.
- Where it is necessary to excavate adjacent to existing trees, use caution to avoid injury to trees and tree roots. Utilize air spading for trenching work inside structural root zones.
- The sprinkler system design is based on the minimum operating pressure shown on the irrigation drawings. Verify water pressure prior to construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the irrigation point of connection to the owner's authorized representative.
- Pipe sizing shown on the drawings is typical. As changes in layout occur during staking and construction the size may need to be adjusted accordingly.
- The irrigation contractor shall be responsible for minor changes in the irrigation layout due to obstructions not shown on the irrigation drawings such as lights, fire hydrants, signs, electrical enclosures, unforeseen underground utilities or boulders, etc.

"I have complied with the criteria of the Model Water Efficient Landscape Ordinance and applied them accordingly for the efficient use of water in the irrigation design plan."

Lindsay Merget

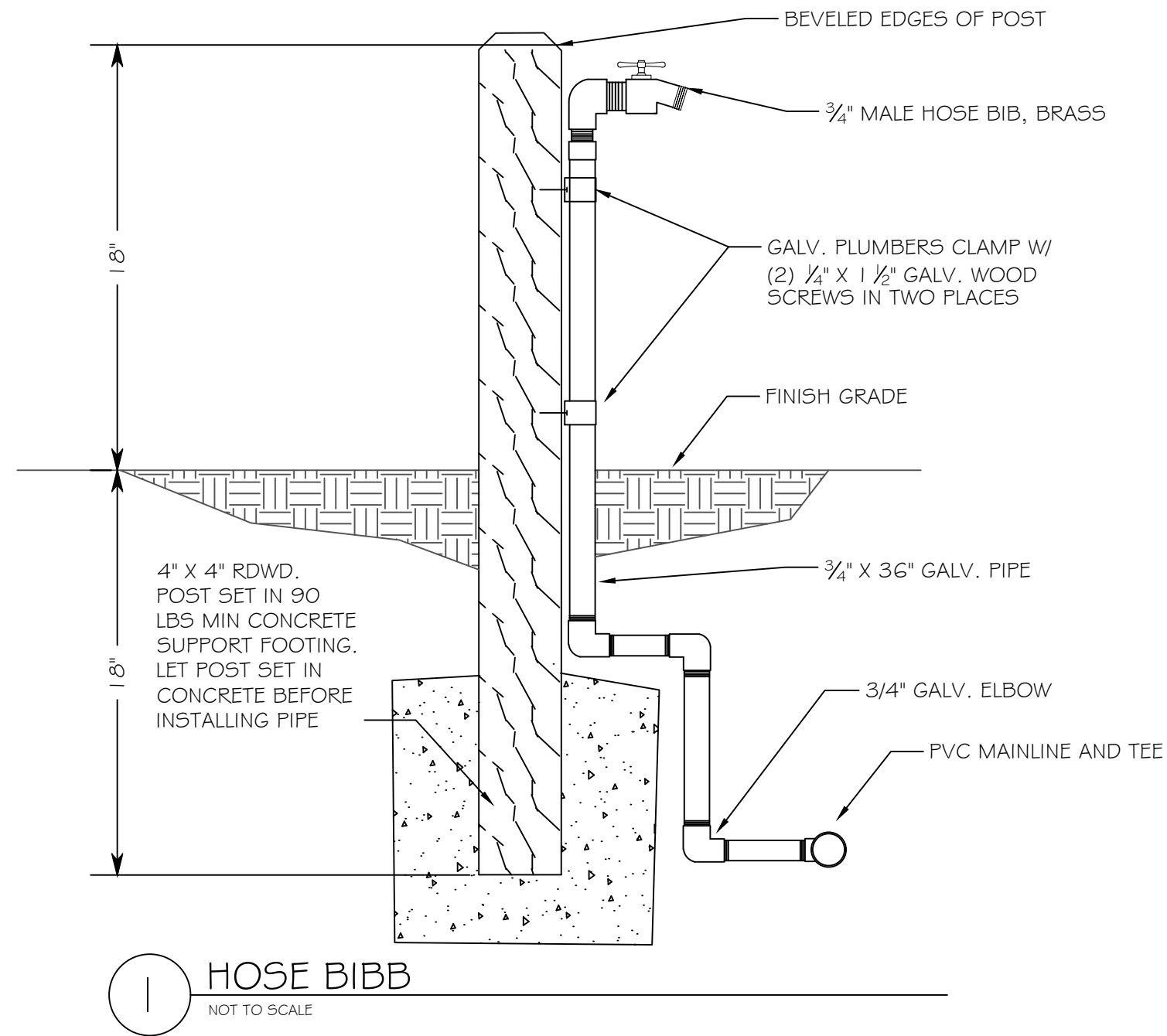
-Lindsay Merget, Streamline Irrigation Design and Compliance

CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

Permit #: LD 23-263 (Davis)

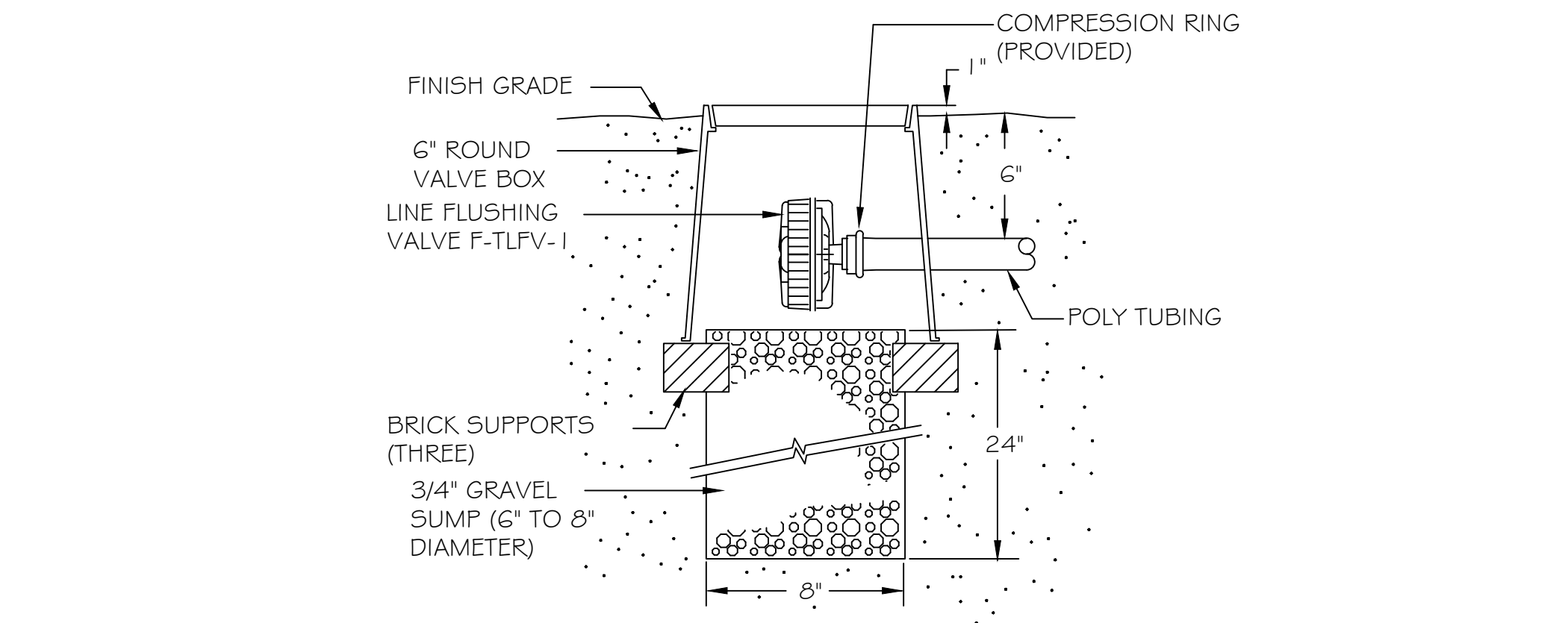
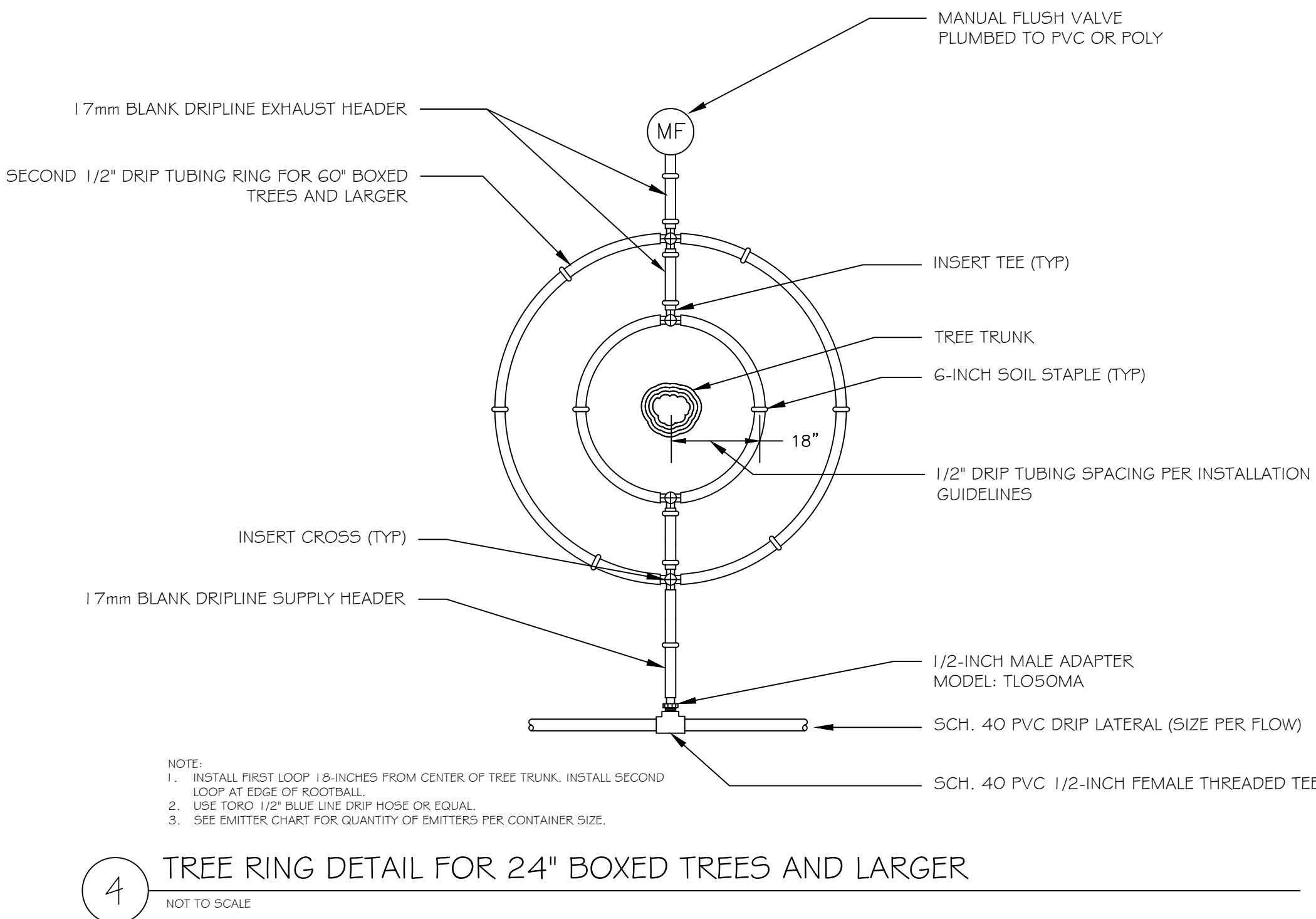
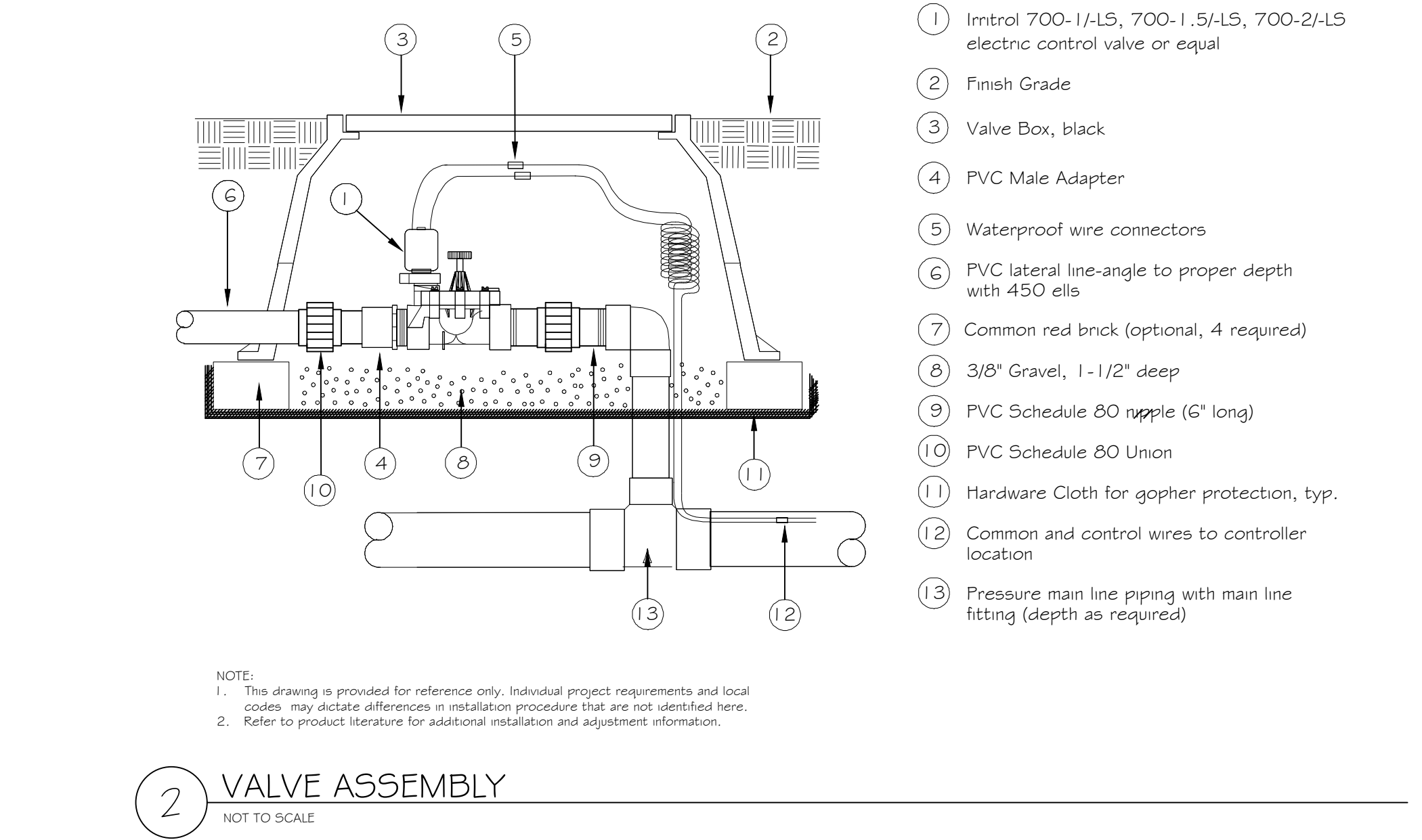
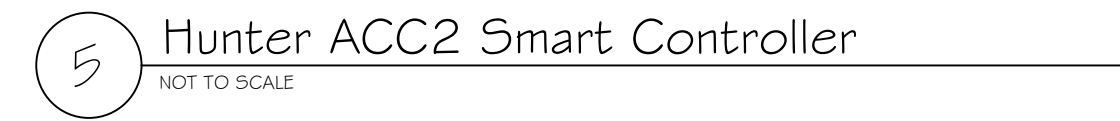
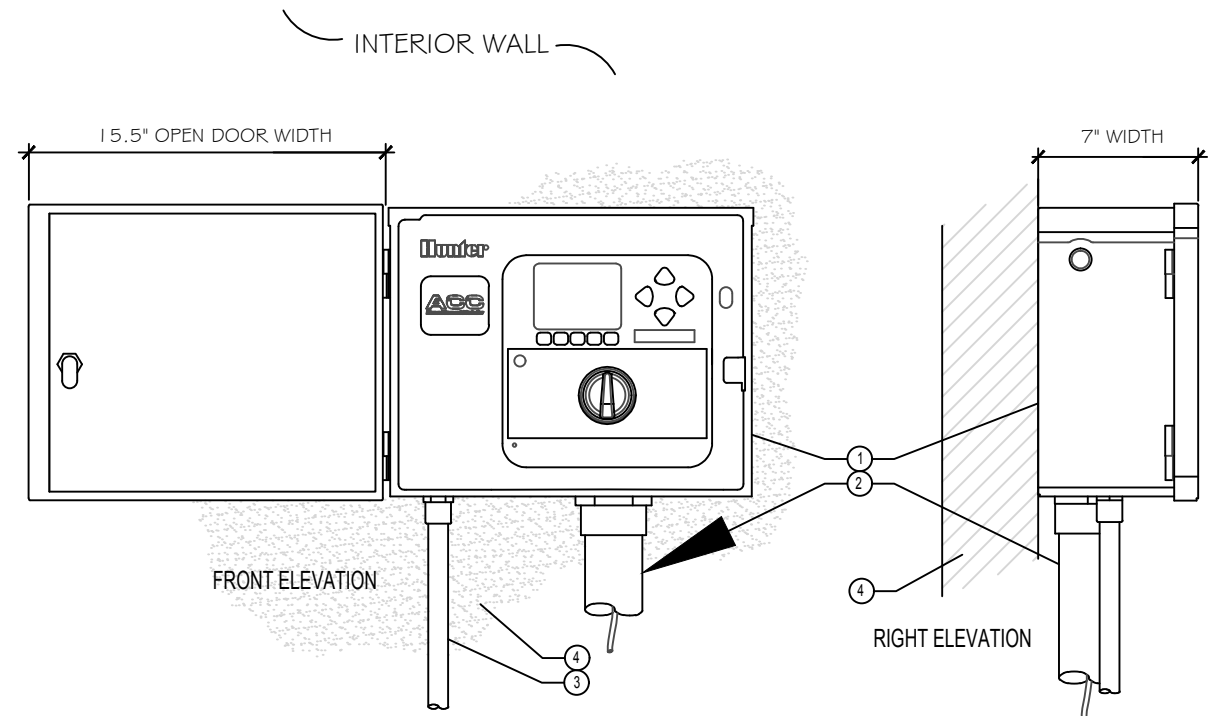
Date Approved: August 25, 2023

Planner: M. Waffle



EMITTER CHART - NETAFIM PC 1 GPH EMITTER								
Container Size	1 gal	5 gal	15 gal/24" box	36" box	48" box	60" box	72" box	Field Dig
Qty Emitters	1	2	4	6	10	14	20	20

*Distribute emitters on 2 drip rings



BLISS
LANDSCAPE
ARCHITECTURE

24000 Robinson Canyon Road
Carmel CA 93923
831.298.0990
blisslandarch.com



Streamline
irrigation design and compliance
streamlinedc.com
(707) 529-2633

THE DAVIS
RESIDENCE

SW CORNER OF 6TH & CARPENTER
CARMEL, CA 93923

APN/ Lot Number
010-033-005

Phase
PERMIT SET

Revisions		
No.	Date	Description
1.	03 MAR 2020	BUILDING PERMIT SUBMITTAL
2.	16 JAN 2021	PLAN CHANGE REV 1
3.	04 MAR 2021	PLAN CHANGE REV 2

Issue
PLAN CHECK COMMENT REVISION 3

Date
21 JUL 2023

Drawn by
JW

Scale: NTS

Drawing Title

IRRIGATION
DETAILS

L4.1

