



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Landscape Plan Check/Inspection 20178

Owner Name: HINES JEFFREY C

Case Planner: Catherine Tarone, Assistant Planner

Date Posted: _____

Date Approved: 01/07/2021

Project Location: Carmel Way 7 & 9

APN #: 010321021000 **BLOCK/LOT:** SD/PT. OF LOT 7 - SAND DUNES

Applicant:

Project Description: 1) Planting 18 lower-canopy Australian Tea Trees along the south property line on lot 9. 2) The removal of one of 6 Monterey cypress trees planted along the south property line (remaining 5 cypress trees along the south property line were required by the Forestry Department as in-kind replacements of existing Monterey cypress and pine trees that had died and are not subject to public appeal). 3) Amendments to the Hines-DeBruce Vegetated Screening Plan affecting the species and height of trees (sheets L4.0 and L4.1 of Boardwalk House plans). 4) Two pittosporum planter boxes on the 2nd story eastern deck of the Boardwalk House (east residence), pittosporums will be at least 6' tall on the deck but may be taller (City does not regulate the height of vegetation once it is planted) (sheet L4.0 of the Boardwalk House). 5) Car charging station on the Boardwalk House (sheet L1.2 of the Boardwalk House plans). 6) The reduction of the width of walkways. 7) A new hot tub, patio and gas fire pit on lot 9 behind the west residence (the Beach House). 8) Landscape lighting. 9) 6' tall black tensile fencing along north property line.

Can this project be appealed to the Coastal Commission? Yes No

AUTHORIZATION:

This approval permits revisions to the originally-approved Design Study for this project including: 1) Planting 18 lower-canopy Australian Tea Trees along the south property line on lot 9. 2) The removal of one of 6 Monterey cypress trees planted along the south property line (remaining 5 cypress trees along the south property line were required by the Forestry Department as in-kind replacements of existing Monterey cypress and pine trees that had died and are not subject to public appeal). 3) Amendments to the Hines-DeBruce Vegetated Screening Plan affecting the species and height of trees (sheets L4.0 and L4.1 of Boardwalk House plans). 4) Two pittosporum planter boxes on the 2nd story eastern deck of the Boardwalk House (east residence), pittosporums will be at least 6' tall on the deck but may be taller (City does not regulate the height of vegetation once it is planted) (sheet L4.0 of the Boardwalk House). 5) Car charging station on the Boardwalk House (sheet L1.2 of the Boardwalk House plans). 6) The reduction of the width of walkways. 7) A new hot tub, patio and gas fire pit on lot 9 behind the west residence (the Beach House). 8) Landscape lighting. 9) 6' tall black tensile fencing along north property line. All work shall be consistent with the plan set dated received on December 14, 2020, on file with the city, unless otherwise modified by the below conditions of approval.

SPECIAL CONDITIONS:

1. After the 10-day appeal period has concluded, if no appeals of this Design Study are received, the applicant shall submit revised Building Plans to the Building Department in association with the property's existing Building Permit Revision application currently under review by the Building Department BP 17-151 (Hines-Boardwalk) RV 6 and BP 17-152 (Hines-Beach) RV 7. Once these revised plans have been received by the Building Department, with these conditions of approval printed a sheet of the plans, a signed copy of the conditions of approval returned to the project planner, and no appeals received for the Landscape Plan approval, Planning staff will then provide approval of your Building Permit revision.
2. You are required to install tree protection, which will need to be reviewed and certified by the City Forester, prior to the issuance of the Building Permit.
3. During construction, no dirt or construction materials may be placed within 6 feet of the base of any tree.
4. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information).
5. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts

(incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.

6. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.
7. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.
8. The applicant shall submit in writing to the Community Planning & Building Department any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.
9. The applicant agrees, at the applicant's sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

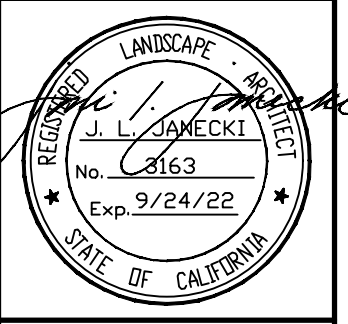
Once signed, please return the original to the project Planner at the Community Planning and Building Department.

T:\PROJECTS\RESIDENTIAL\17-160 Hines Residence\Drawings\Hines Landscape\Beach House\Permit Set\Hines Re-submittal\Hines_BH_Landscape.dwg, L4.1 Planting Plan, 12/11/2020 12:16:46 PM, AutoCAD PDF (Smallest File).pc3, ARCH Full bleed D (36.00 x 24.00 Inches), 1:1



NOTES:
1. REFER TO SHEET L4.2 FOR PLANT SCHEDULE.

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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 PHONE 831 423 8949
 EMAIL J.LJ@LJA.COM WWW.LJA.COM
 California Landscape Architect License 3163

PROJECT: **CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **PLANTING PLAN**

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMMOON/FP
 DATE: 12/02/20

BH
 L4.1

ORIGINAL SHEET SIZE: 24" X 36"

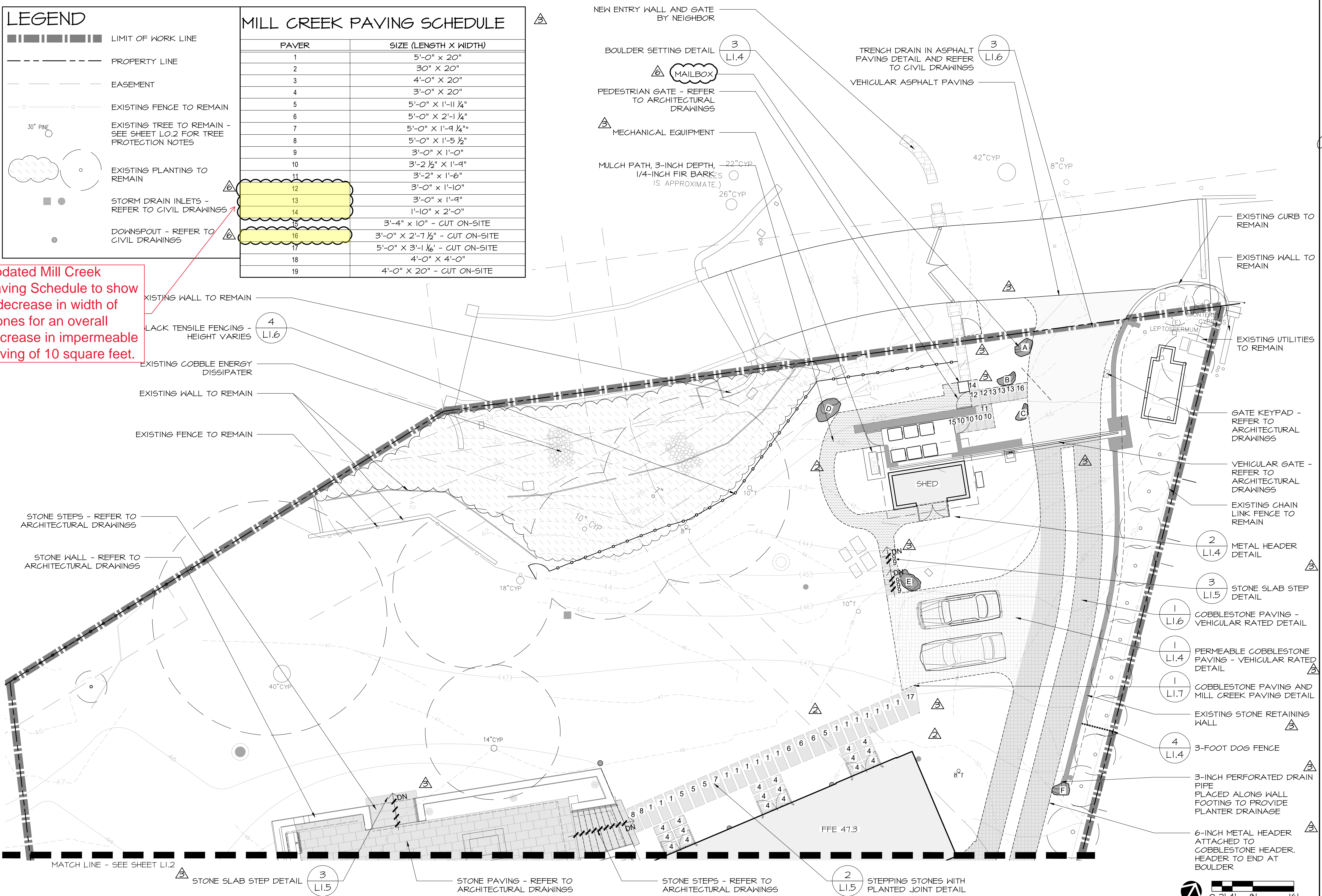
LEGEND

- LIMIT OF WORK LINE
- PROPERTY LINE
- EASEMENT
- EXISTING FENCE TO REMAIN
- EXISTING TREE TO REMAIN - SEE SHEET L0.2 FOR TREE PROTECTION NOTES
- EXISTING PLANTING TO REMAIN
- STORM DRAIN INLETS - REFER TO CIVIL DRAWINGS
- DOWNSPOUT - REFER TO CIVIL DRAWINGS

MILL CREEK PAVING SCHEDULE

PAVER	SIZE (LENGTH X WIDTH)
1	5'-0" x 20"
2	30" x 20"
3	4'-0" x 20"
4	3'-0" x 20"
5	5'-0" x 1'-11 1/4"
6	5'-0" x 2'-1 1/4"
7	5'-0" x 1'-9 1/4"
8	5'-0" x 1'-5 1/2"
9	3'-0" x 1'-0"
10	3'-2 1/2" x 1'-9"
11	3'-2" x 1'-6"
12	3'-0" x 1'-10"
13	3'-0" x 1'-9"
14	1'-10" x 2'-0"
15	3'-4" x 10" - CUT ON-SITE
16	3'-0" x 2'-7 1/2" - CUT ON-SITE
17	5'-0" x 3'-1 1/6" - CUT ON-SITE
18	4'-0" x 4'-0"
19	4'-0" x 20" - CUT ON-SITE

Updated Mill Creek Paving Schedule to show a decrease in width of stones for an overall decrease in impermeable paving of 10 square feet.



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PROJECT: **CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE**
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020


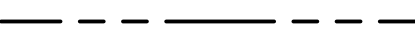

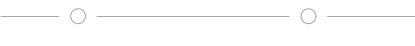




SHEET TITLE:
MATERIALS PLAN

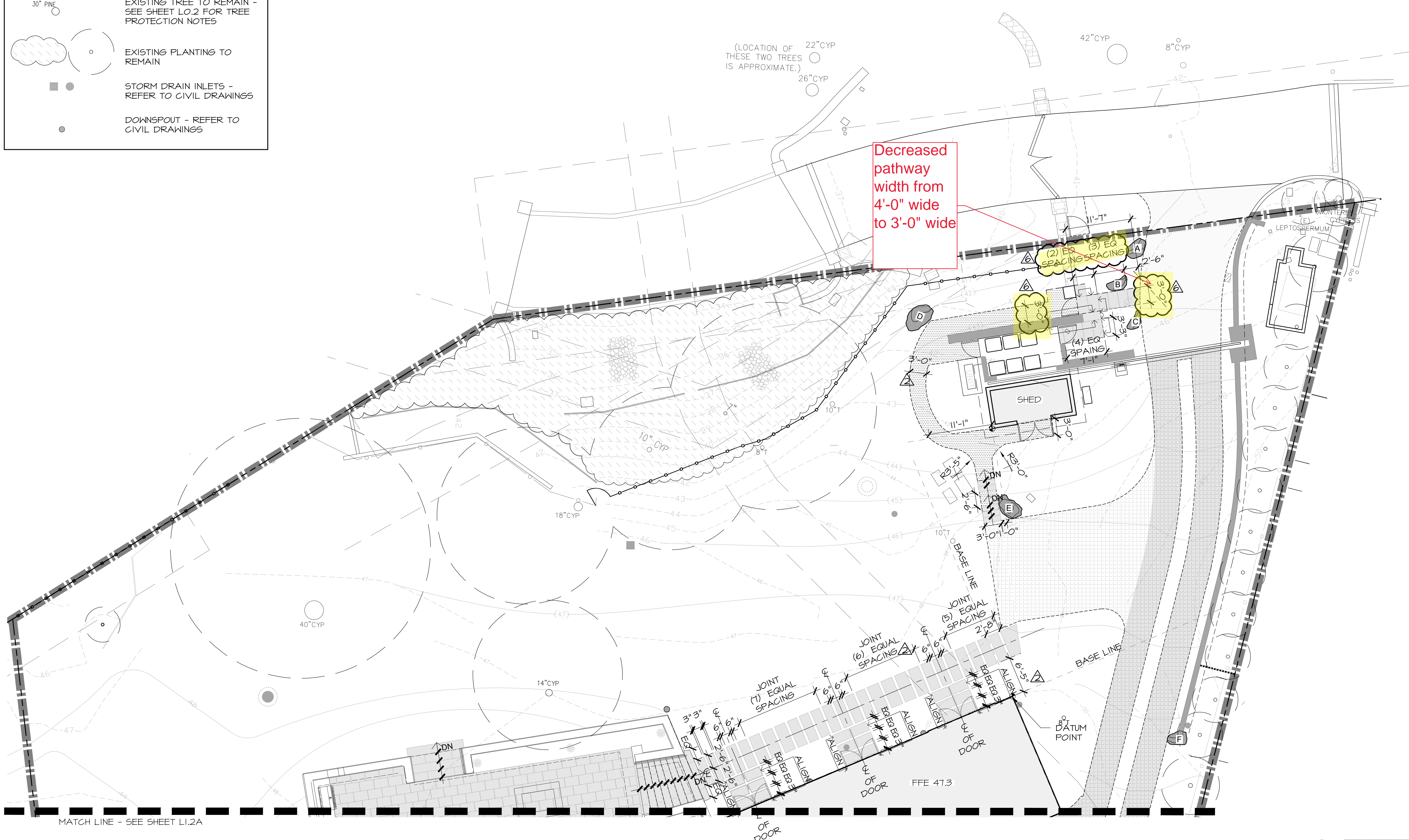
SCALE: 1/8"=1'-0"
 DRAWN BY: AZMMOON/FP
 DATE: 12/02/20

**BW
 L1.1**

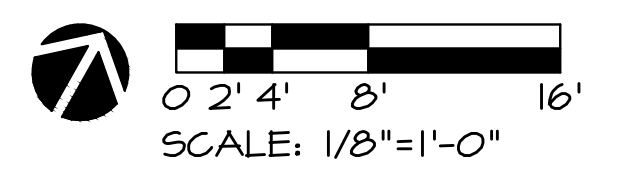
T:\PROJECTS\RESIDENTIAL\17-160 Hines Residence\Drawings\Hines Landscape Boardwalk House Permit Set\Hines Re-submittal\Hines_BW_Landscape.dwg, L1.1 Materials Plan, 12/11/2020 12:51:56 PM, AutoCAD PDF (Smallest File) .pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1

LEGEND

-  LIMIT OF WORK LINE
-  PROPERTY LINE
-  EASEMENT
-  EXISTING FENCE TO REMAIN
-  EXISTING TREE TO REMAIN - SEE SHEET L0.2 FOR TREE PROTECTION NOTES
-  EXISTING PLANTING TO REMAIN
-  STORM DRAIN INLETS - REFER TO CIVIL DRAWINGS
-  DOWNSPOUT - REFER TO CIVIL DRAWINGS

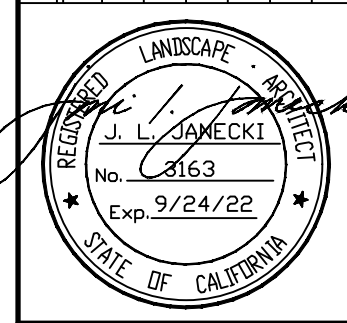


MATCH LINE - SEE SHEET L1.2A



ORIGINAL SHEET SIZE: 24" X 36"

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1.	07/17/17	BUILDING PERMIT RESUBMITTAL
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5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE:
DIMENSION PLAN

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MOON/PP
 DATE: 12/02/20

BW
L1.1A

T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Hines-Landscape-Boardwalk-House-Permit-Set\Hines-Res-Submittal\Hines-BW-Landscape.dwg, L1.1A Dimension Plan, 12/11/2020 12:53:01 PM, AutoCAD PDF (Smallest File).pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1

MILL CREEK PAVING SCHEDULE

PAVER	SIZE (LENGTH X WIDTH)
1	5'-0" x 20"
2	30" x 20"
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BOULDER SCHEDULE

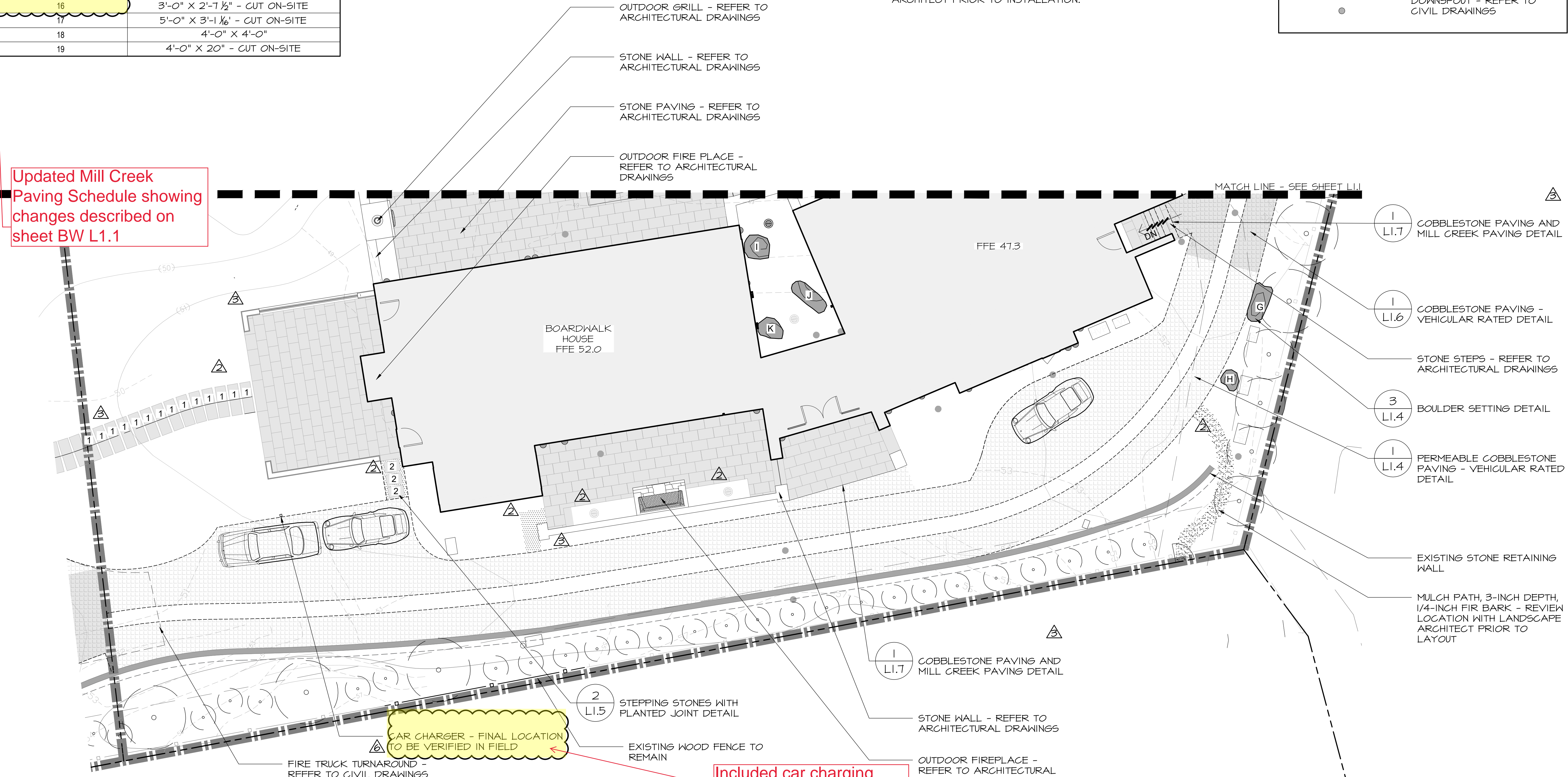
BOULDER	SIZE (WIDE x LONG x HIGH)	REMARKS
A	3'-0" x 4'-0"	
B	4'-0" x 2'-0"	
C	2'-0" x 3'-6"	
D	4'-8" x 3'-0" x 2'-2"	ON-SITE
E	4'-0" x 3'-0"	
F	3'-6" x 2'-6"	INSTALLED
G	5'-0" x 3'-0"	INSTALLED
H	3'-6" x 3'-0"	INSTALLED
I	4'-0" x 3'-6" x 2'-6"	INSTALLED
J	4'-8" x 2'-0" x 2'-0"	INSTALLED
K	4'-0" x 3'-6" x 2'-6"	INSTALLED

LEGEND

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- DOWNSPOUT - REFER TO CIVIL DRAWINGS

NOTE:
1. ALL FULL BOXES AND MECHANICAL COVERS IN THE LANDSCAPE TO BE COVERED WITH ENZ VENEER STONE. REVIEW WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

Updated Mill Creek Paving Schedule showing changes described on sheet BW L1.1



T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Hines Landscape Boardwalk House Permit Set\Hines Re-submit\Hines_BW_Landscape.dwg, L1.2 Materials Plan, 12/11/2020 12:53:31 PM, AutoCAD PDF (Smallest File).pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITAL
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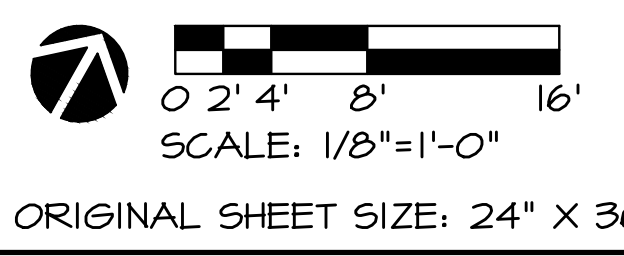
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 EMAIL: J.LJANECKI@JLA.COM WWW.JLA.COM
 California Landscape Architect License 3163

PROJECT: **CARMEL BY SEA: BOARDWALK HOUSE**
HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE: **MATERIALS PLAN**

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMMOON/FP
 DATE: 12/02/20

BW
L1.2



NOTES:
 A COMPLETE AND LEGIBLE COPY OF THE VEGETATED SCREENING PLAN (VSP), WHICH INCLUDES IMPORTANT PHOTOGRAPHS DEPICTING VIEWS, SCREENS, AND NOTES, IS ON FILE AND AVAILABLE FOR REVIEW IN PROJECT FILES DS 16-254 AND DS 16-260 (CARMEL WAY TRUST) AT THE CITY OF CARMEL-BY-SEA DEPARTMENT OF COMMUNITY PLANNING AND BUILDING, MONTE VERDE STREET BETWEEN OCEAN AND 7TH AVENUES, CARMEL-BY-SEA, CA 93421. A COMPLETE AND LEGIBLE COPY IS TO BE RETAINED IN THE POSSESSION OF EACH OF THE PARTIES AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS.

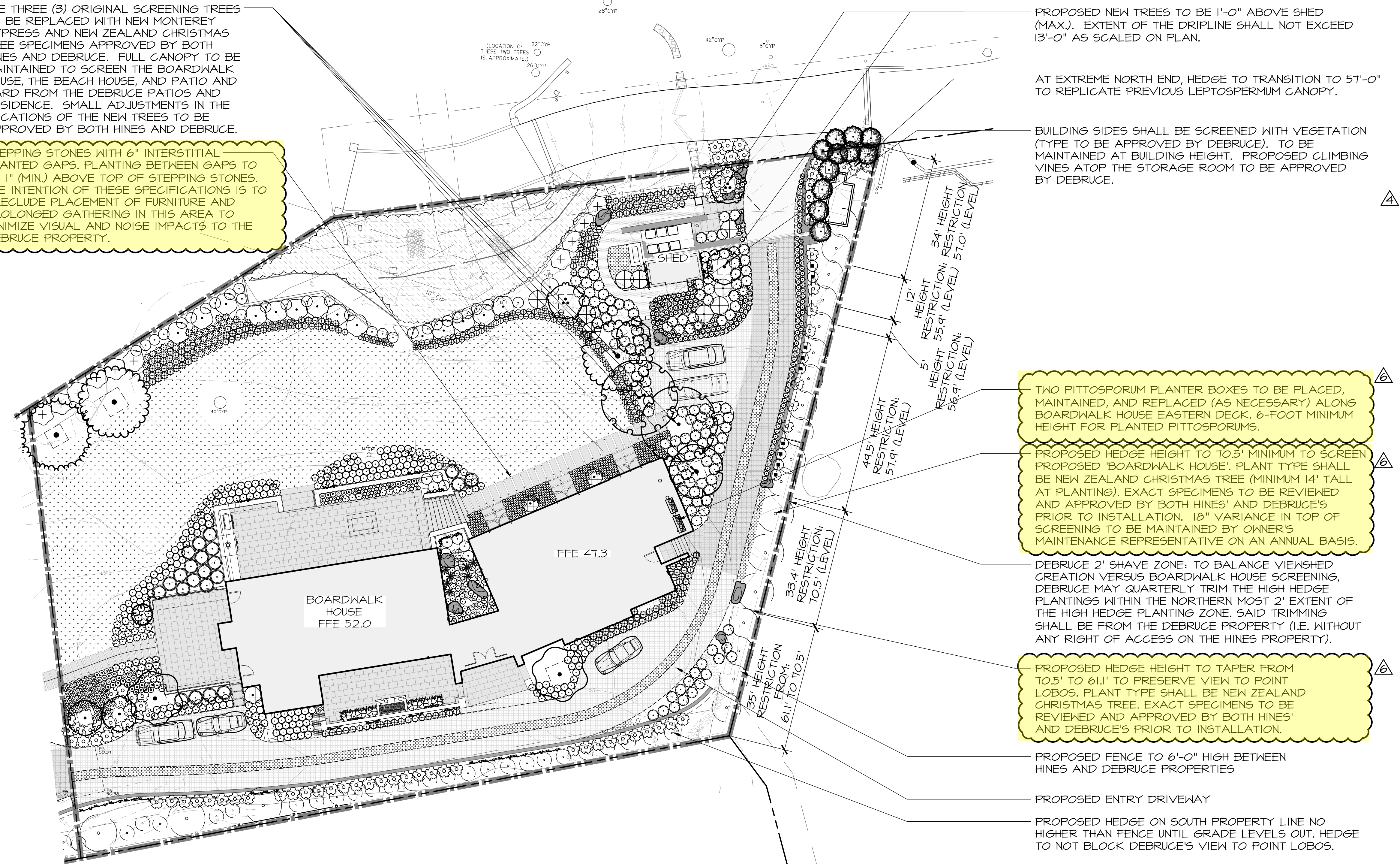
PLANNING NOTES:

- SCREENING PLANTS SHALL BE IRRIGATED BY OWNER OR OWNER'S MAINTENANCE REPRESENTATIVE TO MAINTAIN HEALTH OF PLANTS DESCRIBED WITHIN SHEET VSP0.2 - VEGETATIVE SCREENING PLAN. THE EXACT IRRIGATION METHOD SHALL BE DETERMINED BY THE PROJECT ARBORIST UPON FINAL SELECTION AND INSTALLATION OF THE PLANT MATERIAL.
- SCREENING PLANTS SHALL BE MAINTAINED BY OWNER OR OWNER'S MAINTENANCE REPRESENTATIVE TO THE DESIRED HEIGHTS DESCRIBED WITHIN SHEET VSP0.2 - VEGETATIVE SCREENING PLAN. THE EXACT PRUNING METHOD SHALL BE DETERMINED BY THE PROJECT ARBORIST UPON FINAL SELECTION AND INSTALLATION OF THE PLANT MATERIAL.
- INSTALLATION OF THE LOW AND TALL SCREENING PLANTS AND TREES ALONG EAST PROPERTY LINE DIVIDING HINES' AND DEBRUCE'S SHALL BE COMPLETED WITHIN 135 DAYS AFTER COMMENCEMENT OF CONSTRUCTION. THE PROJECT ARBORIST SHALL BE RESPONSIBLE FOR ALL PLANT SELECTION AND INSTALLATION, SUBJECT TO APPROVAL BY DEBRUCE.
- INSTALLATION OF PITTOSPORUM PLANTER BOXES ALONG BOARDWALK HOUSE EASTERN DECK, VINES ON THE STORAGE ROOM AND (2) 16' SCREENING TREES SHALL COMMENCE APPROXIMATELY 1 MONTH AFTER BEACH HOUSE IS COMPLETE.
- DENSITY OF THE HINES / DEBRUCE PROPERTY BOUNDARY SCREEN WILL BE MAINTAINED TO SHIELD AND DIFFUSE HEADLIGHT GLARE FROM CARS HEADING EAST ALONG THE DRIVEWAY. OWNER OR OWNER'S MAINTENANCE REPRESENTATIVE RESPONSIBLE TO MAINTAIN.
- BOXED REDWOOD TREES ON HINES PROPERTY SHALL BE SET ON THE DEBRUCE PROPERTY IN A MANNER CAUSING NO HARM TO DEBRUCE PROPERTY LANDSCAPE WALL OR GENERATOR/ CONDUITS 10 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION IN A LOCATION APPROVED BY DEBRUCE. TREES TO REMAIN IN BOX. WITHIN 30 DAYS OF DEMAND FROM DEBRUCE, THE BOX REDWOOD TREES SHALL BE REMOVED FROM THE DEBRUCE PROPERTY AT HINES' EXPENSE SUBJECT TO DEBRUCE PERMISSION FOR ACCESS. THE PARTIES UNDERSTAND THE TREES WILL HAVE TO BE REMOVED IN PIECES. HINES MAY TRIM BOXED REDWOODS TO THEIR PROPERTY LINE.
- LOWER CANOPY OF ALL EXISTING AND PLANTED TREES TO BE MAINTAINED TO SHIELD DEVELOPMENT FROM DEBRUCE PROPERTY. OWNER OR OWNER'S MAINTENANCE REPRESENTATIVE RESPONSIBLE TO MAINTAIN.
- UNOBTRUSIVE TRIMMING GUIDE MARKERS SHALL BE PLACED ALONG/WITHIN THE EAST PROPERTY LINE SCREENING VEGETATION.

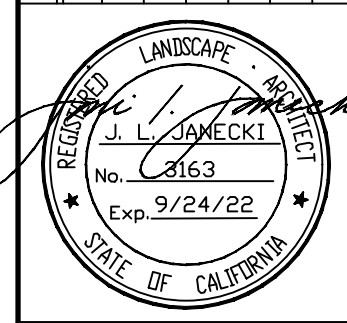
Planning note #4 and the 4 plan call-outs were updated to reflect recent plan amendments to the Hines DeBruce Vegetated Screening Plan

THE THREE (3) ORIGINAL SCREENING TREES TO BE REPLACED WITH NEW MONTEREY CYPRESS AND NEW ZEALAND CHRISTMAS TREE SPECIMENS APPROVED BY BOTH HINES AND DEBRUCE. FULL CANOPY TO BE MAINTAINED TO SCREEN THE BOARDWALK HOUSE, THE BEACH HOUSE, AND PATIO AND YARD FROM THE DEBRUCE PATIOS AND RESIDENCE. SMALL ADJUSTMENTS IN THE LOCATIONS OF THE NEW TREES TO BE APPROVED BY BOTH HINES AND DEBRUCE.

STEPPING STONES WITH 6" INTERSTITIAL PLANTED GAPS. PLANTING BETWEEN GAPS TO BE 1" (MIN.) ABOVE TOP OF STEPPING STONES. THE INTENTION OF THESE SPECIFICATIONS IS TO PRECLUDE PLACEMENT OF FURNITURE AND PROLONGED GATHERING IN THIS AREA TO MINIMIZE VISUAL AND NOISE IMPACTS TO THE DEBRUCE PROPERTY.



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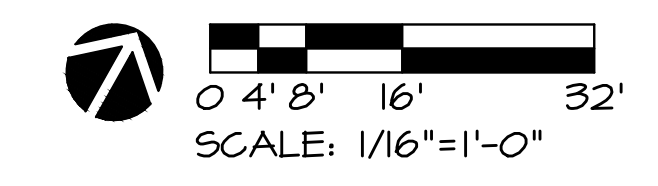
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 APN: 010-321-020

SHEET TITLE:
VEGETATED SCREENING PLAN

SCALE: 1/16"=1'-0"
 DRAWN BY: AZMMOON/PP
 DATE: 12/02/20

BW
 L4.0



T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Hines_Landscape Boardwalk House Permit Set\Hines-Res-Submittal\Hines-BW_Landscape.dwg, L4.0 Vegetated Screening Plan, 12/11/2020 2:31:25 PM, AutoCAD PDF (Smallest File) .pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1

NOTES:
 1. REFER TO SHEET L4.3 FOR PLANT SCHEDULE.
 2. PLANTING PLAN COMPLIES WITH THE HINES AND DEBRUCE PRIVACY SCREENING AND VIEWSHED PROTECTION AGREEMENT, SEE SHEET L4.0.

Miscellaneous updates to shrub and perennial species per owner request

Removed (1) 36" box Feijoa sellowiana and replace with (1) 48" box Arbutus 'Marina'

Miscellaneous updates to shrub and perennial species per owner request

Miscellaneous updates to shrub and perennial species per owner request

- 44 | ALC MOL | 1 GAL
- 33 | SOL HET | 1 GAL
- 14 | OLE MON | 24" Box
- 35 | AGA STO | 5 GAL
- 118 | DIA REV | 1 GAL 'LITTLE REV'
- 10 | PIT CRA | 15 GAL

3 | AGA NOV | 10 GAL 'NOVA'

2 | CUP MA5 | 72" BOX 'OF/CI' TREE REPLACEMENT PER CITY

Added (1) 48" box Arbutus 'Marina'

2 | ARB M48 | 48" BOX

10 | LEU RAI | 15 GAL 'RAINBOW'

120 | ACH TER | 1 GAL 'TERRA COTTA'

EXISTING TREE TO REMAIN AND PROTECT IN PLACE

4 | L4.4 | SHRUB AND GRASS PLANTING ON SLOPE DETAIL

5 | L4.4 | TYPICAL PLANT SPACING DETAIL

3 | L4.4 | SHRUB AND GRASS PLANTING DETAIL

1 | L4.4 | TREE PLANTING DETAIL

2 | FEI SEL | 36" BOX 'OF/CI'

2196 | DYM MAR | 4" POTS

11 | LEP LA3 | 24" BOX

120 | ARC MIS | 5 GAL 'PACIFIC MIST'

1 | L4.5 | VINE PLANTING DETAIL

4 | TRA JAS | 24" BOX 'IBERYWOOD NURSERY'

30 | GRE MOL | 5 GAL 'MOLONGOLO'

4 | ARC MAN | 5 GAL 'EMERALD CARPET'

203 | LOM LON | 1 GAL 'BABY BREEZE'

6 | L4.4 | GOPHER WIRE PROTECTION DETAIL

1 | MET EX2 | 60" BOX 'OF/CI'

9 | PIT SIL | 15 GAL '16'-0" TALL

PLANTERS LOCATED ON THE FIRST FLOOR ROOF DECK

7 | L4.4 | GOPHER WIRE PROTECTION AT LAWN DETAIL

5,515 sf | DEL GRA SOD

4 | BOU SPE | 15 GAL

82 | MUH WHI | 1 GAL

55 | NEP WAL | 1 GAL 'WALKERS LOW'

1 | AKE ALB | 1 GAL

12 | ERY BLA | 1 GAL 'BLAUKAPPE'

50 | ERI KAR | 1 GAL

223 | SES GRE | 1 GAL 'GREENLEE HYBRID'

133 | THY ELF | 4" POTS 'ELFIN'

3 | ROS ICE | 15 GAL 'ICEBERG'

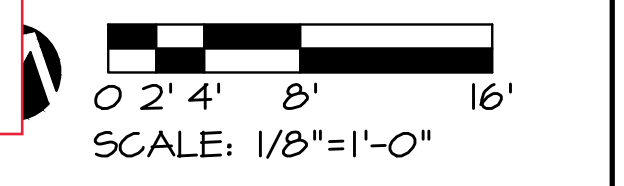
17 | BAC UBI | 4" POT

2 | MET EX4 | 84" BOX 'OF/CI'

2 | ROS RTE | 15 GAL

2 | L4.5 | TEMPORARY WINDSCREEN TREE PROTECTION DETAIL

MATCH LINE - SEE SHEET L4.2



ORIGINAL SHEET SIZE: 24" X 36"

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL

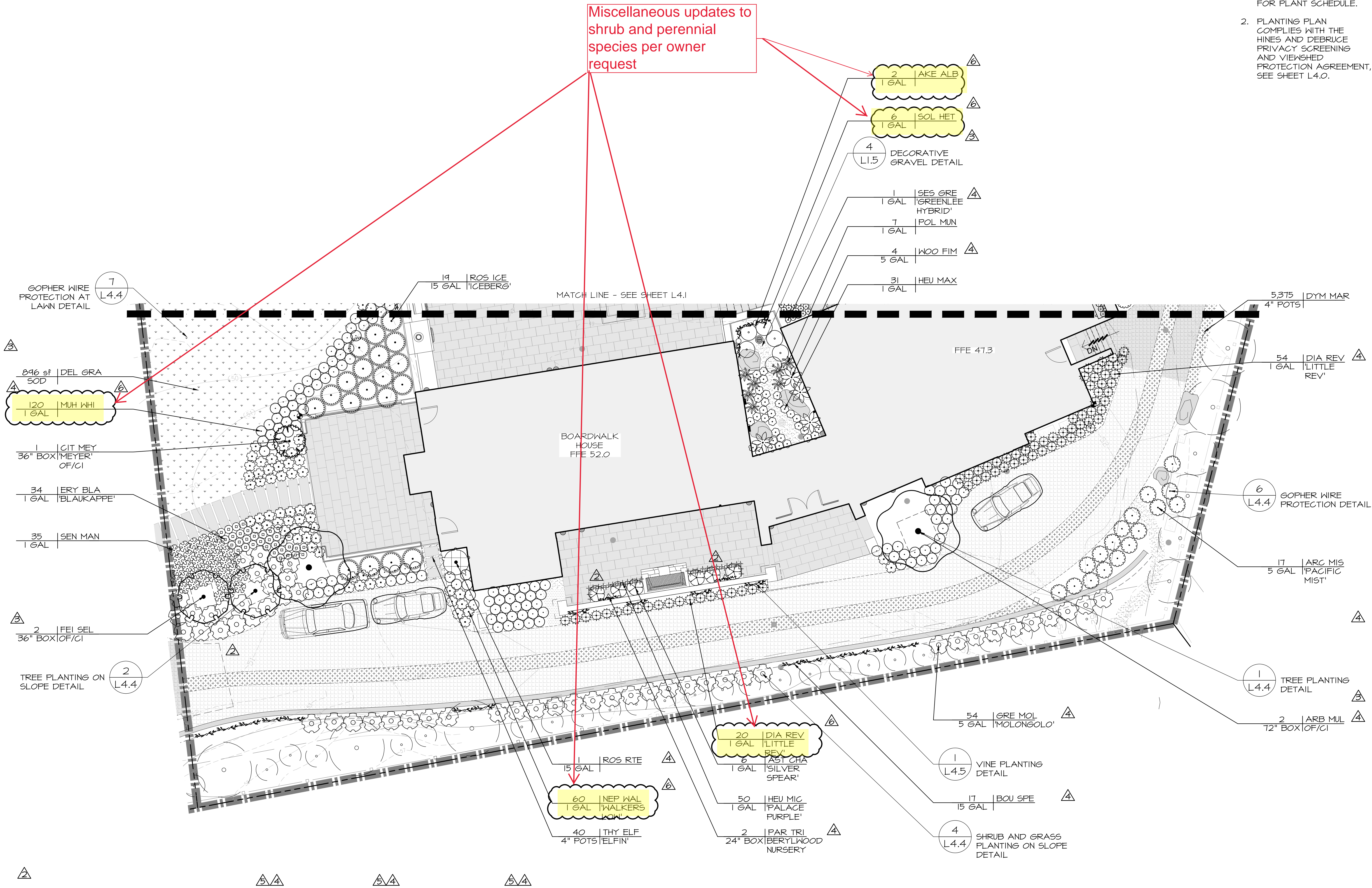
JONI L. JANECKI & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ, CA 95060
 PHONE: 831.452.8940
 EMAIL: J.L@JLA.COM WWW.JLA.COM
 California Landscape Architect License 2163

PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE: PLANTING PLAN
 SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MOON/HP
 DATE: 12/02/20
 BW
 L4.1

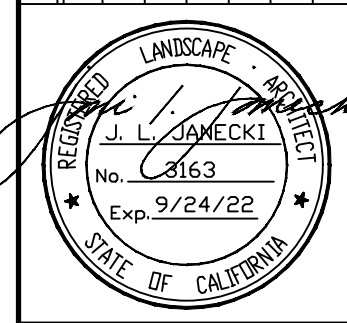
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- NOTES:
- REFER TO SHEET L4.3 FOR PLANT SCHEDULE.
 - PLANTING PLAN COMPLIES WITH THE HINES AND DEBRUCE PRIVACY SCREENING AND VIEWSHED PROTECTION AGREEMENT, SEE SHEET L4.0.

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	06/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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PROJECT: **CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE**
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE:
PLANTING PLAN

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20

**BW
 L4.2**



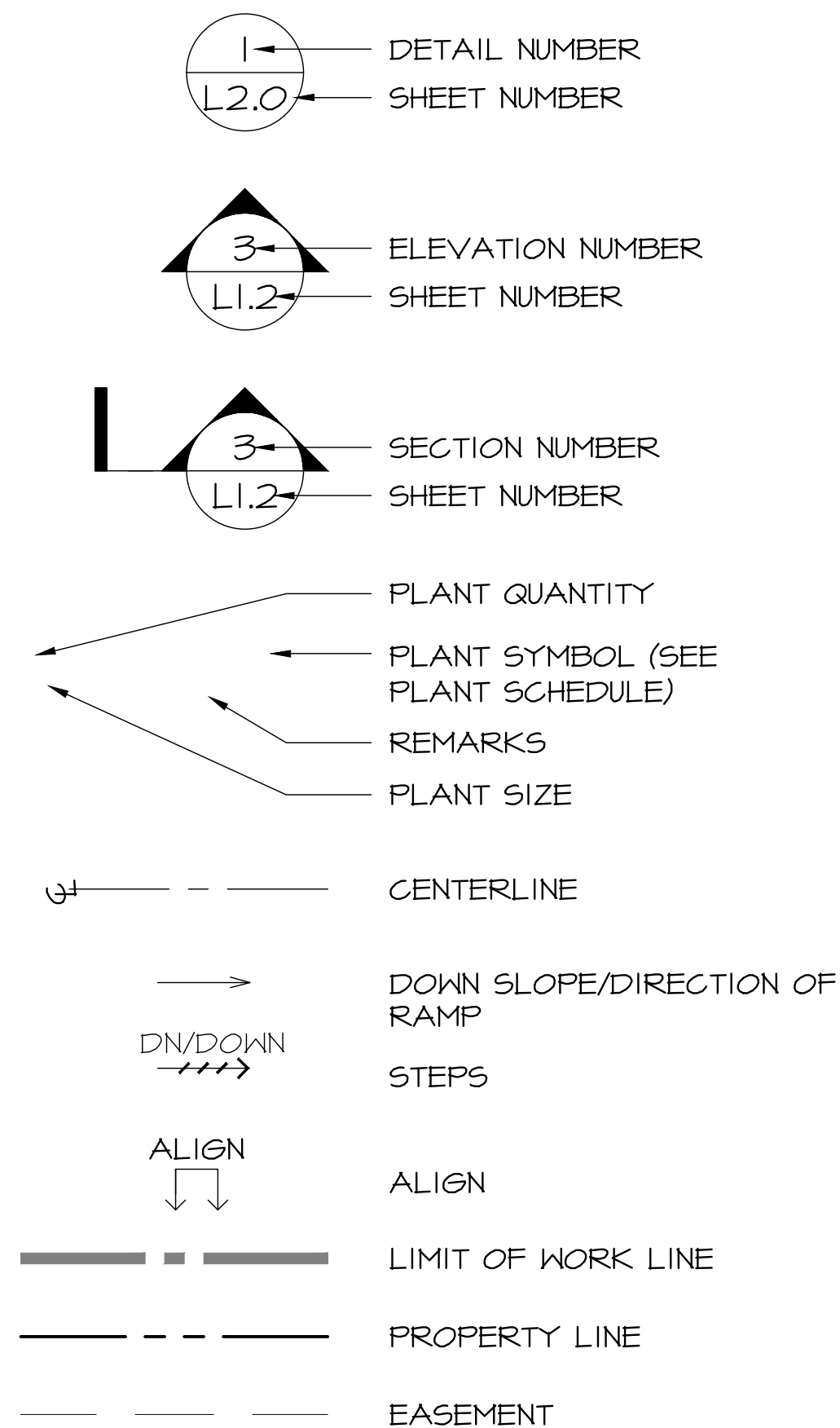
ORIGINAL SHEET SIZE: 24" x 36"

Hines Residence - Boardwalk House

7 Carmel Way
Carmel, California 93923
APN: 010-321-020

100% BUILDING PERMIT SUBMITTAL
DECEMBER 2, 2020

LEGEND



ABBREVIATIONS

⊕	AND	N.I.C.	NOT IN CONTRACT
@	AT	NO.	NUMBER
⊖	CENTERLINE	NOM.	NOMINAL
⊙	DIAMETER OR ROUND	N.T.S.	NOT TO SCALE
⊘	POUND OR NUMBER	O.C.	ON CENTER
#	POUND OR NUMBER	O.C.E.W.	ON CENTER EACH WAY
(E)	EXISTING	O.D.	OUTSIDE DIAMETER (DIM.)
(F)	PROPOSED	OF/CI	OWNER FURNISHED CONTRACTOR INSTALL
(N)	NEW	PA	PLANTING AREA
∠	ANGLE	PIP	POURED IN PLACE
ADJ.	ADJACENT	PL	PROPERTY LINE
AGGR.	AGGREGATE	POT	POINT OF TANGENCY
AL.	ALUMINUM	PRCST.	PRECAST
APPROX.	APPROXIMATE	PT.	POINT
ARCH.	ARCHITECTURAL	PTD.	PAINTED
A.C.	ASPHALT	QTY.	QUANTITY
ACC.	ACCESSIBLE	R.	RISER
B.C.R.	BEGINNING OF CURVE RADIUS	RAD.	RADIUS
B.O.C.	BACK OF CURB	REF.	REFERENCE
B.O.W.	BOTTOM OF WALL	REINF.	REINFORCED
B.O.S.	BOTTOM OF SLOPE	REQ.	REQUIRED
BLDG.	BUILDING	RM.	ROOM
BLK.	BLOCK	S.	SOUTH
C.E.	CIVIL ENGINEER	SCH.	SCHEDULE
CIP	CAST IN PLACE	SIM.	SIMILAR
CLKG.	CAULKING	SECT.	SECTION
CMU.	CONCRETE MASONRY UNIT	SHT.	SHEET
CONT.	CONTINUOUS	SPEC.	SPECIFICATION
CONST.	CONSTRUCTION	SQ.	SQUARE
CONT.	CONTINUOUS	SS	STAINLESS STEEL
CTR.	CENTER	STD.	STANDARD
D.A.	DISABLED ACCESS	STL.	STEEL
DET.	DETAIL	STRL.	STRUCTURAL
DIA.	DIAMETER	SYM.	SYMMETRICAL
DIM.	DIMENSION	T.	TREAD
DN.	DOWN	TBD	TO BE DETERMINED
DWG.	DRAWING	TBS	TO BE SELECTED
DWGS.	DRAWINGS	T.C.	TOP OF CURB
EA.	EACH	TEL.	TELEPHONE
EJ	EXPANSION JOINT	T.O.S.	TOP OF SLOPE
EL.	ELEVATION	T.O.W.	TOP OF WALL
ELEC.	ELECTRICAL	TYP.	TYPICAL
ENCL.	ENCLOSURE	UBC	UNIFORM BUILDING CODE
EQ	EQUAL	VERT.	VERTICAL
EQPT	EQUIPMENT	V.I.F.	VERIFY IN FIELD
EXP.	EXPANSION	W.	WEST
EXT.	EXTERIOR	W/	WITH
F.D.C.	FIRE DEPART. CONNECTION	W/O	WITHOUT
FG	FINISH GRADE	WP.	WATERPROOF
FIN.	FINISH	WT.	WEIGHT
FL.	FLOOR		
FOB	FACE OF BUILDING		
FOC	FACE OF CURB		
FOW	FACE OF WALL		
FS	FINISH SURFACE		
FTG.	FOOTING		
FT.	FOOT OR FEET		
GA.	GAUGE		
GALV.	GALVANIZED		
GND.	GROUND		
GR.	GRADE		
H.B.	HOSE BIB		
HDR.	HEADER		
HDWD.	HARDWOOD		
HORIZ.	HORIZONTAL		
HT.	HEIGHT		
I.D.	INSIDE DIAMETER (DIM.)		
JT.	JOINT		
LT.	LIGHT		
LOC.	LOCATION		
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MET.	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MTD.	MOUNTED		
MTL.	MATERIAL		
N.	NORTH		
N.C.C.P.	NATURAL COMMUNITY CONSERVATION PLAN		

PROJECT DESCRIPTION/SCOPE OF WORK

LANDSCAPE RENOVATION INCORPORATING DROUGHT TOLERANT PLANTS, NEW WALLS, COBBLE STONE AND PLANTED DRIVEWAY, PATHWAYS AND OUTDOOR GATHERING AREAS.

NOTES

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL CITY OF CARMEL LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

Joni L. Jannecki DECEMBER 2, 2020
JONI L. JANECKI DATE

SHEET INDEX

--	LANDSCAPE TITLE SHEET
△ L0.1	NOTES
△ L0.2	NOTES
△ L0.3	NOTES
△ L1.0	OVERALL KEY PLAN
△ L1.1	MATERIALS PLAN
△ L1.1A	DIMENSION PLAN
△ L1.2	MATERIALS PLAN
△ L1.2A	DIMENSION PLAN
△ L1.3	FINE GRADING PLAN
△ L1.4	MATERIALS DETAILS
△ L1.5	MATERIALS DETAILS
△ L1.6	MATERIALS DETAILS
△ L1.7	MATERIALS DETAILS
△ L2.0	ROOF LANDSCAPE PLAN
△ L3.0	IRRIGATION PLAN
△ L3.1	IRRIGATION PLAN
△ L3.2	IRRIGATION LEGEND AND NOTES
△ L3.3	IRRIGATION DETAILS
△ L3.4	IRRIGATION DETAILS
△ L3.5	IRRIGATION DETAILS AND WATER CALCULATION
△ L3.6	IRRIGATION DETAILS
△ L4.0	VEGETATED SCREENING PLAN
△ L4.1	PLANTING PLAN
△ L4.2	PLANTING PLAN
△ L4.3	PLANT SCHEDULE
△ L4.4	PLANTING DETAILS
△ L4.5	PLANTING DETAILS

PREPARED BY

LANDSCAPE ARCHITECT
JONI L. JANECKI & ASSOCIATES, INC.
515 SWIFT STREET
SANTA CRUZ, CALIFORNIA 95060
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GENERAL CONSTRUCTION AND LAYOUT NOTES

1. REFER TO CIVIL ENGINEER'S DRAWINGS AND ARBORIST REPORT FOR TREE REMOVAL AND PROTECTION. DO NOT START WORK UNTIL ALL PROTECTIONS ARE IN PLACE.
2. DO NOT START WORK UNTIL ALL TREE PROTECTIONS ARE IN PLACE AS OUTLINED IN THESE PLANS.
3. ALL MATERIALS AND WORKMANSHIP TO CONFORM TO ALL APPLICABLE GOVERNING CODES AND ORDINANCES. WHEREVER THESE DRAWINGS VARY FROM THOSE CODES AND/OR ORDINANCES, THE CONTRACTOR IS TO FOLLOW THE DRAWINGS AS LONG AS THEY MEET OR EXCEED THE CODES AND/OR ORDINANCES. IF THE DRAWINGS DO NOT COMPLY WITH CODE, IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
4. FIELD VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS PRIOR TO COMMENCEMENT OF ANY WORK UNDER THIS CONTRACT, INCLUDING BUT NOT LIMITED TO: SETBACKS, EASEMENTS, PROPERTY LINES, RIGHT-OF-WAYS, TOP AND BOTTOM OF SLOPES, UTILITIES, STRUCTURES, AND PROJECT LIMITS OF WORK. IMMEDIATELY REPORT DISCREPANCIES BETWEEN THE PLAN AND ACTUAL SITE CONDITIONS TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE FOR RESOLUTION BEFORE BEGINNING WORK.
5. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS, DISCREPANCIES AND GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS AND THE PREPARATION OF THESE DRAWINGS. IMMEDIATELY BRING SUCH DISCREPANCIES TO ATTENTION OF OWNER'S REPRESENTATIVE PRIOR TO EXECUTING WORK.
6. NOTIFY UNDERGROUND "DIG ALERT" SERVICE AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION OPERATIONS.
7. CONTRACTOR WILL COORDINATE ALL WORK WITH GENERAL CONTRACTOR. ALL COORDINATION WILL BE FOR PURPOSE OF MINIMIZING CONFLICTS AND COMPLETING WORK IN AN EFFICIENT MANNER.
8. PARKING: COORDINATE SITE ACCESS AND VERIFY PARKING WITH GENERAL CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
9. ALL EXISTING TREES WILL BE PROTECTED IN PLACE. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGE OF ANY KIND TO EXISTING TREES AND PLANTINGS TO REMAIN DURING THE COURSE OF CONSTRUCTION. CONTRACTOR WILL PROVIDE UNIT COST FOR TREE AND PLANT REPLACEMENT BASED ON CONTAINER SIZE.
10. CONTRACTOR WILL TAKE PROPER PRECAUTIONS TO PROTECT EXISTING UTILITIES. IF AN EXISTING UTILITY IS DAMAGED BY CONTRACTOR'S WORK, THE CONTRACTOR WILL SEE THAT REPAIR OF THE UTILITY IS COMPLETED AT NO COST TO THE OWNER. CALL BEFORE YOU DIG: (800) 642-2444.
11. THE CONTRACTOR WILL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT EXISTING IMPROVEMENTS FROM ANY AND ALL DAMAGE OR DEPOSITION OF DEBRIS THAT MAY RESULT FROM ANY AND ALL WORK IN CONNECTION WITH PROJECT CONSTRUCTION. LANDSCAPE CONTRACTOR TO BE RESPONSIBLE FOR ALL COSTS RELATED TO DAMAGE, INCLUDING IN-KIND REPLACEMENT.
12. REFER TO CITY OF CARMEL STANDARD PLANS AND SPECIFICATIONS, WHERE APPLICABLE. IF COUNTY OF MONTEREY STANDARDS VARY FROM THESE PLANS CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
13. WORK, ONCE BEGUN, WILL BE PURSUED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO THE OWNER'S AND ADJACENT PROPERTY OWNERS.
14. ALL UTILITY BOXES AND VALVE BOXES WITHIN THE LIMITS OF THIS WORK WILL BE ADJUSTED FLUSH WITH FINISH GRADE.
15. UNDERTAKE EXCAVATION IN VICINITY OF UTILITIES AND EXISTING IMPROVEMENTS WITH GREAT CARE. ASSUME FULL RESPONSIBILITY IF THESE IMPROVEMENTS ARE DAMAGED DUE TO CONTRACTOR'S NEGLIGENCE.
16. PROVIDE CONTINUOUS COORDINATION BETWEEN OWNER'S REPRESENTATIVE, GENERAL CONTRACTOR, PROJECT SUBCONTRACTORS, AND DESIGN DRAWINGS.
17. PRIOR TO INSTALLING HARDSCAPE ELEMENTS, REVIEW LOCATIONS OF UTILITY ELEMENTS SUCH AS JUNCTION BOXES, GFCS, METERS, CONDUITS, CLEAN-OUTS, COVERS, ETC, WITH LANDSCAPE ARCHITECT.
18. ENSURE THAT ROUGH GRADE HAS BEEN ACCEPTED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO BEGINNING HARDSCAPE LAYOUT AND FINE GRADING.
19. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ROUGH GRADING, UTILITY PLACEMENT, HARDSCAPE/WALL LAYOUT, STEPS AND OTHER SITE FEATURES. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT A MINIMUM FIVE (5) WORK DAYS IN ADVANCE PRIOR TO SCHEDULING A CONTRACTOR-REQUESTED SITE VISIT.
20. CONTRACTOR TO VERIFY QUANTITIES BASED ON FIELD MEASUREMENTS.
21. FIELD VERIFY DIMENSIONS OF DRIVEWAYS, WALLS, PLANTERS, DECK, PAVING, WALKS, SLOPES, AND RELATED WORK PRIOR TO CONSTRUCTION.
22. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS.
23. WHEN DIMENSIONS ARE CALLED OUT AS "EQUAL" OR "EQ", REFERENCED ITEMS ARE TO BE EQUALLY SPACED AND MEASURED TO THEIR CENTERLINES. MEASUREMENTS ARE TO FACE OF WALL, CURB OR OTHER FIXED SITE IMPROVEMENT, UNLESS OTHERWISE NOTED. DIMENSIONS TO CENTERLINES ARE AS INDICATED.
24. INSTALL INTERSECTING ELEMENTS AT 90 DEGREES TO EACH OTHER UNLESS NOTED OTHERWISE.
25. CONTRACTOR SHALL BRING ANY OMISSIONS OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO BID.
26. COORDINATION SHALL INCLUDE (BUT NOT BE LIMITED TO) MECHANICAL, PLUMBING AND ELECTRICAL DEVICES. VERIFY LOCATIONS AND CLEARANCE WITH LANDSCAPE ARCHITECT AND ARCHITECTURAL DRAWINGS PRIOR TO ORDERING COMPONENTS.
27. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. IF THESE DRAWINGS ARE NOT 24" X 36", THEY HAVE BEEN REDUCED OR ENLARGED.
28. HORIZONTAL DIMENSIONS, ARE TO FACE OF STUD, CENTER LINE OF COLUMN, AND CENTER LINE OF WINDOW / DOOR, TYPICAL UNLESS OTHERWISE NOTED "CLEAR" DIMENSIONS ARE TO FACE OF FINISH.
29. ALL NOTES DESCRIBE NEW CONDITIONS UNLESS OTHERWISE NOTED AS (E) OR "EXISTING".
30. ITEMS NOTED AS "FUTURE" OR (F) ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE ONLY.
31. REFER TO SOIL ENGINEER'S GEOTECHNICAL REPORT FOR PAVING REQUIREMENTS SUCH AS SUB-BASE PREPARATION, COMPACTION, REINFORCING, DOWELING AND CEMENT TYPE, AS APPLICABLE.
32. REFER TO STRUCTURAL ENGINEER PLANS FOR STRUCTURAL REQUIREMENTS SUCH AS FOR RETAINING WALLS, WOOD STRUCTURES, STAIRS, AND PAVING, AS APPLICABLE.
33. REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL GRADING AND DRAINAGE AND AND TOP/BOTTOM OF WALLS.
34. ALL WORK SHALL BE IN CONFORMANCE WITH REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. THIS INCLUDES STATE AND LOCAL ZONING AND BUILDING CODES AND ORDINANCES AND CONDITIONS FOR APPROVAL.
35. ALL CONSTRUCTION SHALL CONFORM TO:
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA FIRE CODE
36. COORDINATE WITH RELATED CONSTRUCTION TRADES ON ALL ASPECTS OF WORK THAT IS IMPACTED OR REQUIRES COORDINATION WITH ANOTHER TRADE.
37. ALL CONSTRUCTION TO BE PLUMB AND TRUE UNLESS OTHERWISE INDICATED IN THE DRAWINGS.
38. WORK ON THIS PROJECT, ONCE BEGUN, SHALL BE PURSUED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO OWNER AND IMPACTS TO PROJECT SCHEDULE.
39. CONTACT OWNER'S REPRESENTATIVE FOR ACCESS TO RELATED DRAWINGS, PLAN SETS AND REPORTS.
40. VERIFY LOCATIONS OF SITE IMPROVEMENTS INSTALLED AS PART OF OTHER PLANS.
41. IF IMPROVEMENTS NOTED ON THESE DRAWINGS CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, IMMEDIATELY CONTACT OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
42. PRIOR TO BIDDING/INSTALLATION OF WORK CONTRACTOR TO REFERENCE GEOTECHNICAL REPORT, AVAILABLE FROM GENERAL CONTRACTOR.
43. THESE PLANS INCORPORATE SPECIFIC RECOMMENDATIONS FROM GEOTECHNICAL SOILS REPORT. CONFIRM REQUIREMENTS OF THIS REPORT WITH THAT INDICATED ON THESE PLANS. BRING TO ATTENTION OF THE OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR DISCREPANCIES BETWEEN THE GEOTECHNICAL SOILS REPORT AND THESE PLANS.
44. THE CONTRACTOR TO TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT AREA AND DRAINAGE WAYS FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORMWATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH PROJECT CONSTRUCTION.
45. UNDERTAKE EXCAVATION IN VICINITY OF UTILITIES AND EXISTING IMPROVEMENTS WITH GREAT CARE. ASSUME FULL RESPONSIBILITY IF THESE IMPROVEMENTS ARE DAMAGED DUE TO CONTRACTOR'S NEGLIGENCE.
46. CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT EXISTING UTILITIES. IF AN EXISTING UTILITY IS DAMAGED BY CONTRACTOR'S WORK, THE CONTRACTOR SHALL REPAIR AT NO COST TO THE OWNER. NOTIFY UNDERGROUND "DIG ALERT" SERVICE AT (800) 422-5133 AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION OPERATIONS.
47. ALL SURFACES TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING OR BUILT ELEMENTS. NO POOLING OR LOW POCKETS ACCEPTED NOR ABRUPT TRANSACTIONS BETWEEN NEW AND EXISTING SURFACES.
48. COORDINATE WORK WITH DRAINAGE IMPROVEMENTS BEING COMPLETED BY GENERAL CONTRACTOR.
49. PROVIDE ADEQUATE AND EXTRA SLEEVING TO ALL PLANTING AREAS FOR ELECTRICAL, IRRIGATION, DRAINAGE AND FIXTURE NEEDS.
50. ENSURE THAT LAYOUT OF PAVING AND DESIGN ELEMENTS IS ACCEPTED BY OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT. PROVIDE PAVING MOCK-UP PRIOR TO INSTALLATION FOR REVIEW BY OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.
51. ALL CONCRETE TO OBTAIN MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT TWENTY-EIGHT (28) DAYS UNLESS OTHERWISE INDICATED BY GEOTECHNICAL ENGINEER.
52. PROVIDE 6" X 6" (#6) WWSM (WELDED WIRE STEEL MESH) CONTINUOUS IN ALL CONCRETE PAVING AND BASES UNLESS OTHERWISE INDICATED BY STRUCTURAL OR GEOTECHNICAL ENGINEER. HOLD MESH CLEAR OF FELT EXPANSION JOINTS.
53. PROVIDE 1/4-INCH FELT EXPANSION JOINTS AT BUILDING FACE, SEPARATE POURS AND AS NEEDED TO CONTROL CRACKING OF CONCRETE. INSTALL 12-INCH LONG NO. 3 BARS WITH SLEEVES AT 36-INCHES ON CENTER AT ALL APPLICABLE EXPANSION JOINTS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF ALTERNATIVE METHOD FOR CRACK CONTROL IS DESIRED.
54. ALL FASTENERS TO BE NON-RUSTING AND MATCH QUALITY OF BUILDING FASTENER STRAPS AND CONNECTIONS. VERIFY WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT. COUNTER SINK ALL SCREWS, NAILS, CAULK HOLES AND JOINTS PRIOR TO PAINTING; UNLESS OTHERWISE AGREED UPON WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.
55. PER CALIFORNIA FIRE CODE (FIRE 008 - GATES): ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30 FEET FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE BUT IN NO CASE LESS THAN 12 FEET WIDE. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A 40-FOOT TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
56. PERSONNEL GATES (NON-STANDARD CONDITION) ALL PERSONNEL GATES PROVIDING ACCESS FROM A ROAD OR DRIVEWAY TO THE MAIN ENTRANCE TO THE BUILDING SHALL BE A MINIMUM WIDTH OF 36 INCHES TO ACCOMMODATE EMERGENCY PERSONNEL WITH EMERGENCY MEDICAL OR FIREFIGHTING EQUIPMENT. WHERE SUCH GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX, ELECTRONIC KEY SWITCH OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
57. RESPONSIBLE LAND USE DEPARTMENT: MONTEREY COUNTY REGIONAL FIRE DISTRICT
58. EMERGENCY TELEPHONE NUMBERS:
POLICE DEPARTMENT 911
FIRE DEPARTMENT 911
MONTEREY COUNTY SHERIFF (831) 755-3700
PEBBLE BEACH COMMUNITY SERVICES (831) 375-4204
DISTRICT (PBCSD) - FIRE AND MEDICAL
PG#E (800) 743-5000
U.S.A. NORTH 811 (800) 642-2444

NO.	DATE	DESCRIPTION
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JONI L. JANECKI & ASSOCIATES

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 EMAIL J.L@JLJA.COM WWW.JLJA.COM
 California Landscape Architect License 3163

PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

NOTES

SCALE: -
 DRAWN BY: AZMMMOONFP
 DATE: 12/02/20

BW
L0.1

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SOIL PREPARATION NOTES:

1. CONTRACTOR TO REVIEW SOIL ANALYSIS RESULTS AND COMMENTS FROM WAYPOINT ANALYTICAL REPORT #17-124-0109.
2. CONTRACTOR TO PROVIDE ALL SOIL AND SOIL AMENDMENT PRODUCTS, INCLUDING ALL IMPORTED TOPSOIL AS REQUIRED TO MAKE UP DEFICIENCIES IN QUANTITY OF SOIL AVAILABLE ON SITE.
3. CONTRACTOR TO PROVIDE SUBMITTALS FOR THE FOLLOWING:
 - A) FERTILIZER: PROVIDE OWNER AND LANDSCAPE ARCHITECT WITH UNIT COST PER CUBIC YARD AND SHEET SPECIFICATIONS.
 - B) SOIL AMENDMENT AND TOPSOIL: PROVIDE OWNER AND LANDSCAPE ARCHITECT WITH UNIT COST PER CUBIC YARD AND SHEET SPECIFICATIONS.
4. CONTRACTOR TO SALVAGE SUITABLE TOPSOIL AND STOCK-PILE FOR RE-USE ON THE SITE.
5. CONTRACTOR TO IMMEDIATELY REMOVE REJECTED MATERIALS OFF SITE AT CONTRACTOR'S COST. CONTRACTOR TO PAY COST OF TESTING OF MATERIALS NOT MEETING STANDARDS AS NOTED IN PLANS.
6. GENERAL: DO NOT WORK SOIL WHEN MOISTURE CONTENT IS SO GREAT THAT EXCESSIVE COMPACTION WILL OCCUR, NOR WHEN IT IS SO DRY THAT DUST WILL FORM IN AIR OR THAT CLODS WILL NOT BREAK READILY. APPLY WATER, IF NECESSARY, TO BRING SOIL TO AN OPTIMUM MOISTURE CONTENT FOR TILLING AND PLANTING.
7. DELTA GRASSLAND MIX SOD: PREPARE SOIL PER MANUFACTURER'S RECOMMENDATIONS.
8. MEADOW PLANTINGS: PREPARE SOIL PER MANUFACTURER'S RECOMMENDATIONS: PACIFIC COAST SEED, 533 HAWTHORNE PLACE, LIVERMORE CA 94550, PHONE: (925) 373-4417, FAX: (925) 373-6855, INFO@PCSEED.COM, WWW.PCSEED.COM
9. CLEARING: CLEAR ALL PLANTING AREAS OF STONES, CRUSHED ROCK, GRAVEL 1/2-INCH DIAMETER AND LARGER, WEEDS, DEBRIS AND OTHER EXTRANEIOUS MATERIALS PRIOR TO SOIL PREPARATION WORK.
10. CULTIVATION OF EXISTING SOIL: WHERE TOPSOIL WILL NOT BE APPLIED, RIP OR CULTIVATE EXISTING SOIL TO RECEIVE PLANTING TO THE FOLLOWING DEPTHS IMMEDIATELY PRIOR TO APPLYING SOIL AMENDMENTS:
 - A) LESS THAN 2:1 SLOPES: TEN (10) INCHES
 - B) 2:1 SLOPES AND GREATER: SIX (6) INCHES
11. TREES TO REMAIN: HAND CULTIVATE WITHIN THE DRIP LINE OF EXISTING TREES TO REMAIN. DEPTH OF CULTIVATION WILL NOT EXCEED TWO (2) INCHES. CULTIVATE IMMEDIATELY PRIOR TO AMENDING EXISTING SOIL. SEE TREE PROTECTION NOTES, THIS SHEET.
12. CULTIVATION OF SUBGRADE: RIP OR CULTIVATE SUBGRADE IN PLANTING AREAS TO A DEPTH OF SIX (6) INCHES IMMEDIATELY PRIOR TO SPREADING TOPSOIL.
13. SPREADING OF TOPSOIL:
 - A) GENERAL: SPREAD TOPSOIL OVER SUBGRADE PRIOR TO INCORPORATING AMENDMENTS.
 - B) TOPSOIL DEPTH: MINIMUM DEPTH OF EIGHT (8) INCHES OR AS INDICATED ON PLANS AND REVIEWED BY CONTRACTOR AND LANDSCAPE ARCHITECT. AFTER NATURAL SETTLEMENT AND LIGHT ROLLING CONFORMING TO FINISHED GRADES AS DETAILED.
14. SOIL AMENDMENT:
 - A) GENERAL: AFTER SOIL CULTIVATION AND SOIL PREPARATION IS COMPLETED AND HIGH AND LOW SPOTS GRADED ADD SOIL AMENDMENTS AND ROTOTILL, MAKING REPEATED PASSES WITH THE CULTIVATOR UNTIL THE AMENDMENTS HAVE BEEN THOROUGHLY MIXED TO A DEPTH OF 10-INCHES.
 - B) MASS PLANTING: SOIL AMENDMENTS PER 1,000 SQUARE FEET: INCORPORATE THOROUGHLY WITHIN THE TOP 6-INCHES OF SOIL TO FORM A HOMOGENOUS LAYER: FOUR (4) POUNDS SULFUR-COATED UREA (43-0-0).
 - C) TREES AND SHRUBS: SOIL AMENDMENTS PER CUBIC YARD OF BACKFILL MIX: INCORPORATE THOROUGHLY WITHIN THE TOP TWELVE (12) INCHES OF BACKFILL AROUND THE SIDES OF THE ROOTBALL: 1/4 POUND SULFUR-COATED UREA (43-0-0).
15. IMPORT SOIL MAY BE USED IN PLANTING AREAS TO RAISE GRADE TO SPECIFIED ELEVATIONS, HOWEVER, IT WILL REQUIRE AMENDING AS NOTED IN NUMBER 14, ABOVE. IF IMPORT SOIL IS INTENDED FOR USE ON THIS PROJECT, SUBMIT TO LANDSCAPE ARCHITECT 1) SOIL SOURCE LOCATION AND, 2) EVIDENCE THAT SOIL CONSISTS OF A SANDY LOAM STRUCTURE CONTAINING NO TOXIC CHEMICALS OR ELEMENTS THAT MIGHT INHIBIT OR RETARD NORMAL PLANT GROWTH.
16. HAND OR ROTOTILL IN AMENDMENT TO REDUCE COMPACTING, IMPROVE PERMEABILITY AND ENRICH SOIL NUTRIENTS. AMENDED SOIL SHALL BE USED AS BACKFILL.
17. BACKFILL: 50/50 BLEND OF TOPSOIL AND SOIL AMENDMENT. WHERE SITE SOIL IS OF GOOD QUALITY USE A 30/30/40 BLEND OF SITE SOIL, TOPSOIL AND AMENDMENT.
18. FILL ALL PLANTING AREAS WITH OWNER-APPROVED FILL MIX AND SOIL AMENDMENT (SEE NOTE 14, ABOVE). SOIL LEVEL WILL BE RAISED TO 1-1/2 INCHES BELOW TOP OF FINISH PAVEMENT SURFACE IN ALL SHRUB PLANTING AREAS, UNLESS OTHERWISE NOTED.
19. INTENT: THE ABOVE AMENDMENTS ARE APPROXIMATE AND LANDSCAPE CONTRACTOR TO MODIFY AS NEEDED TO ENSURE ADEQUATE GROWING MEDIUM FOR SPECIFIED PLANTS.

TREE PROTECTION NOTES

1. ALL SITE TREE PROTECTION TO COMPLY WITH CITY OF CARMEL CODE: CHAPTER 17.48.110 PROTECTION OF TREES DURING CONSTRUCTION.
2. A TREE PRESERVATION ZONE (TPZ) SHALL BE ESTABLISHED AS SHOWN ON PLAN AND AS VERIFIED IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
3. PROTECTIVE FENCING - FENCE HEIGHT TO BE 6-FEET AND AS DESCRIBED IN CARMEL CODE. FENCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES ON SITE. ONCE IN PLACE, FENCING SHALL NOT BE REMOVED WITHOUT THE CONSENT OF THE OWNER'S REPRESENTATIVE.
4. NO STORAGE OF CONSTRUCTION EQUIPMENT, MATERIALS, TOOLS, DEBRIS OR EXCESS SOIL WILL BE ALLOWED WITHIN THE TPZ. SOLVENTS, LIQUIDS, CONCRETE WASH-OFF, OR ANY TYPE OF DEBRIS SHOULD BE DISPOSED OF PROPERLY, NEVER WITHIN THIS PROTECTED AREA.
5. ALL TRENCHING NEAR EXISTING TREES TO REMAIN SHALL BE HAND DUG AS REVIEWED WITH THE OWNER'S REPRESENTATIVE. WHEN LIVE ROOTS, 1 1/2-INCH DIAMETER OR LARGER ARE FOUND THE WORK SHALL STOP, ROOTS SHALL BE COVERED WITH BURLAP OR MULCH AND THE OWNER'S REPRESENTATIVE CONTACTED TO PROVIDE RECOMMENDATIONS ON ROOT CUTTING AND TREATMENT OF IMPACTED ROOTS PRIOR TO CONTINUING WORK.
6. NO SOIL COMPACTION SHALL OCCUR WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 4-INCH LAYER OF AGED WOOD CHIPS. WOOD CHIPS FROM SITE TREE REMOVAL ARE ACCEPTABLE IF PROPERLY COMPOSTED AND FREE OF DISEASE. IMPORTED WOOD CHIP MULCH SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING. SUBMIT MULCH SAMPLES TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
7. NATURAL GRADE AROUND TPZ SHALL BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT.
8. UNAUTHORIZED PRUNING OF ANY TREE SHALL NOT BE ALLOWED. IF ANY TREE CANOPY ENCROACHES ON THE PROJECT AREA, THE REQUIRED PRUNING WILL BE DONE WITH AUTHORITY OF THE OWNER'S REPRESENTATIVE AND TO INTERNATIONAL SOCIETY OF ARBORICULTURE GUIDELINES (ISA) AND AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
9. PROVIDE TEMPORARY IRRIGATION TO ALL TREES WITHIN THE FENCED AREA THAT HAVE BEEN RECEIVING IRRIGATION PRIOR TO CONSTRUCTION. CONTRACTOR TO PROVIDE WATERING SCHEDULE FOR OWNER'S REPRESENTATIVE REVIEW AND APPROVAL. WATERING SCHEDULE TO BE SUBMITTED FOR APPROVAL TEN (10) CALENDAR DAYS BEFORE CONSTRUCTION START DATE AND CONTINUE THROUGHOUT CONSTRUCTION UNTIL FINAL SIGN OFF BY OWNER'S REPRESENTATIVE.
10. CONTRACTOR TO SUBMIT SCHEDULE OF TREE PROTECTION FENCE INSTALLATION AND REMOVAL FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO FENCE INSTALLATION OR REMOVAL.
11. TREE PROTECTION FENCING TO BE REMOVED BY CONTRACTOR AFTER COMPLETION OF CONSTRUCTION AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

DEMOLITION NOTES

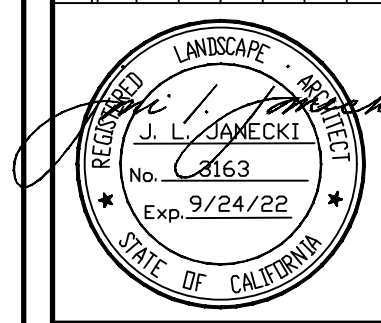
1. FIELD VERIFY SITE CONDITIONS PRIOR TO DEMOLITION. REVIEW EXTENT OF WORK WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO BIDDING AND BEGINNING OF WORK.
2. PLANT REMOVAL: REMOVE ALL PORTIONS OF PLANTS NOTED TO BE REMOVED INCLUDING ROOT SYSTEM. PRIOR TO REMOVING ANY PLANTS, REVIEW PLANTS TO BE REMOVED WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.
3. HARDSCAPE REMOVAL: PRIOR TO REMOVING ANY HARDSCAPE ELEMENTS, REVIEW HARDSCAPE TO BE REMOVED WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.
4. HARDSCAPE REMOVAL: REMOVE ALL PORTIONS OF HARDSCAPE AS NOTED ON PLANS, INCLUDING PAVING AND BOULDERS AND ANY ASSOCIATED FOOTINGS AND BASE MATERIAL. PRIOR TO REMOVING ANY HARDSCAPE ELEMENTS, REVIEW HARDSCAPE TO BE REMOVED WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.
5. PROTECT EXISTING STRUCTURES FROM ALL DEMOLITION AND CONSTRUCTION ACTIVITIES.
6. AT CLOSE OF CONSTRUCTION IN EACH AREA, REMOVE ALL PROTECTIVE BARRIERS. TRANSPORT ALL BARRIER MATERIALS OFF SITE AT NO ADDITIONAL EXPENSE TO OWNER.
7. REMOVE ALL DEBRIS AND DELETERIOUS MATERIALS INCLUDING CONSTRUCTION DRAIN ROCK, ABANDONED OR LEFT MATERIALS, CONCRETE WASH-OUT AREAS, TRASH, MESH, WIRE, NAILS, ROOTS OF REMOVED PLANTS, ETC. DISPOSE OF AT A LEGAL DISPOSAL SITE.
8. SALVAGE AND STOCKPILE FOR REUSE ON-SITE EXISTING BOULDERS SCATTERED AROUND SITE.
9. DEMOLISH EXISTING LIGHTING AND IRRIGATION:
 - A. FULLY REMOVE AND RECYCLE/DISPOSE OF ALL SITE FIXTURES, PIPING, BOXES AND ETC.
 - B. CUT AND CAP WIRE AT SOURCE.
 - C. COORDINATE ALL WORK WITH GENERAL CONTRACTOR.
 - D. PROVIDE WATER TO EXISTING PLANTS AS NEEDED TO ENSURE SUFFICIENT MOISTURE FOR PLANT VIGOR AND SURVIVAL.
10. SEE GENERAL CONSTRUCTION AND LAYOUT NOTES FOR ADDITIONAL INFORMATION, SHEET LO.1.

GENERAL FINE GRADING AND DRAINAGE NOTES

1. ALL SPOT ELEVATIONS AT BUILDING ARE REFERENCED FROM CENTRAL COAST SURVEYORS DATED 02-25-2016, TOPOGRAPHIC MAP.
2. SLOPE ALL AREAS AWAY FROM BUILDINGS MINIMUM 2.5%.
3. LANDSCAPE DRAINS AND SWALES: FIELD VERIFY EXACT LOCATION OF AREA DRAINS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLING. ENSURE ALL AREAS DRAIN.
4. CONTOURS ARE APPROXIMATE AND INTENDED TO ESTABLISH FINISH LAND FORM. VERIFY ALL SLOPES FINISH SMOOTHLY AND THERE IS NO POOLING, PONDING OF RUNOFF.
5. FIELD VERIFY EXISTING UNDERGROUND UTILITIES. VERIFY ACTUAL LOCATIONS AND ELEVATIONS IN FIELD PRIOR TO BEGINNING CONSTRUCTION.
6. ENSURE THAT FINE GRADES HAVE BEEN ESTABLISHED CORRECTLY AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
7. REFER TO CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THESE DRAWINGS, IMMEDIATELY CONTACT OWNER'S REPRESENTATIVE PRIOR TO EXECUTING WORK.
8. CONFORM GRADING OPERATIONS TO LATEST EDITION OF UBC AND CODES.

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NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE: NOTES

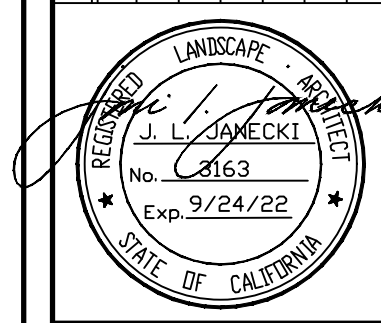
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 DRAWN BY: AZMMOON/FP
 DATE: 12/02/20

ORIGINAL SHEET SIZE: 24" x 36"

PLANTING NOTES:

1. IF PLANTING IMPROVEMENTS NOTED ON THESE PLANS CANNOT BE INSTALLED DUE TO EXISTING SITE CONDITIONS, CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION PRIOR TO BEGINNING WORK.
2. FIELD VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS PRIOR TO COMMENCEMENT OF ANY WORK UNDER THIS CONTRACT, INCLUDING BUT NOT LIMITED TO: SETBACKS, EASEMENTS, PROPERTY LINES, RIGHT-OF-WAYS, TOP AND BOTTOM OF SLOPES, UTILITIES, STRUCTURES, AND PROJECT LIMITS OF WORK. IMMEDIATELY REPORT DISCREPANCIES BETWEEN THE PLAN AND ACTUAL SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION BEFORE BEGINNING WORK. CONTRACTOR SHALL VERIFY QUANTITIES BASED ON FIELD MEASUREMENTS. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY OF COSTS ASSOCIATED WITH ALTERATIONS OR ADDITIONAL WORK IF IMMEDIATE NOTIFICATION IS NOT MADE TO THE OWNER'S REPRESENTATIVE.
3. PRIOR TO TRENCHING CONTACT UNDERGROUND UTILITY SERVICE ALERT OF NORTHERN CALIFORNIA AT (800) 642-2444.
4. ENSURE THAT ROUGH AND FINE GRADING TO 1/10TH OF A FOOT HAS BEEN APPROVED BY LANDSCAPE ARCHITECT PRIOR TO BEGINNING SOIL PREPARATION OPERATIONS.
5. DO NOT PLANT EDGE OF TREE ROOTBALLS CLOSER THAN TEN (10) FEET TO GAS, WATER OR SEWER LINES OR TWO (2) FEET TO AN ELECTRICAL OR DRAINLINE. IF CONFLICTS EXIST, CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
6. DO NOT PLANT EDGE OF TREE ROOTBALLS CLOSER THAN FOUR (4) FEET TO HARDSCAPE EDGES SUCH AS SIDEWALKS OR WALLS, UNLESS APPROVED BY LANDSCAPE ARCHITECT.
7. REFER TO CITY OF CARMEL STANDARD PLANS AND SPECIFICATIONS, WHERE APPLICABLE. IF CITY STANDARDS VARY FROM THESE PLANS CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
8. COORDINATE PROPER INSTALLATION OF WORK WITH OTHER CONTRACTORS AS REQUIRED.
9. REFER TO PLANTING PLANS, DETAILS AND NOTES FOR SPECIFIC PLANTING INFORMATION.
10. CONTRACTOR SHALL PROCURE PLANT SPECIES WITHIN THIRTY (30) DAYS OF AWARD OF THE CONTRACT. CONTRACTOR WILL BE RESPONSIBLE FOR PLACING REQUIRED DEPOSITS TO ENSURE TIMELY PROCUREMENT OF THE SPECIFIED PLANTS. CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT WITH WRITTEN VERIFICATION (RECEIPTS) SHOWING PROCUREMENT. TO MEET THE PLANTING REQUIREMENTS, CONTRACTOR MAY NEED TO ENGAGE IN CONTRACT WITH GROWERS TO ENSURE PLANT AVAILABILITY.
11. ALL PLANTS WILL BE IN GOOD HEALTH, FULL ROUNDED FORM AND FULLY ROOTED BUT NOT ROOT-BOUND AND PURCHASED FROM LICENSED GROWER OR NURSERY.
12. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR WILL SCHEDULE A SITE VISIT WITH OWNER, ARBORIST, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT TO TAG AND REVIEW ALL PLANTS TO BE REMOVED, TRANSPLANTED, TRIMMED, OR PRUNED.
13. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR WILL SCHEDULE A MEETING WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT TO REVIEW TREE CONDITIONS, INCLUDING COORDINATING TREE REMOVAL, TREE FEEDING, AND LOCATION OF NEW TREE PLANTINGS AND REVIEW ALL PLANTS TO BE REMOVED, TRIMMED, OR PRUNED.
14. REMOVAL OF PLANTS WILL BE DONE ALLOWING AMPLE TIME TO COMPLETELY ERADICATE WEEDS OR NEEDY SPECIES BEFORE PLANTING.
15. ALL EXISTING TREES IDENTIFIED BY ARBORIST AND/OR LANDSCAPE ARCHITECT TO REMAIN WILL BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGE OF ANY KIND TO EXISTING TREES AND PLANTINGS TO REMAIN DURING THE COURSE OF CONSTRUCTION. CONTRACTOR WILL PROVIDE UNIT COST FOR TREE AND PLANT REPLACEMENT BASED ON CONTAINER SIZE.
16. THE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT FIVE (5) DAYS IN ADVANCE TO SCHEDULE PLANT DELIVERY DATES. THE LANDSCAPE ARCHITECT WILL OBSERVE PLANTS UPON ARRIVAL, AND RESERVES THE RIGHT TO REJECT PLANTS.
17. THE CONTRACTOR WILL PLACE ALL PLANTS AS SHOWN ON PLAN AND VERIFY LOCATION WITH THE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT MAY REQUEST THAT CONTRACTOR ADJUST OR RELOCATE PLANTS ON-SITE AS NEEDED TO PROPERLY COMPLETE DESIGN.
18. EQUALLY SPACE SHRUBS WHERE PLANTED AGAINST WALLS OR FENCES, UNLESS OTHERWISE NOTED ON PLANS.
19. PLACEMENT OF HEADER: CONTRACTOR TO MARK-OUT LOCATION OF HEADER FOR OWNER AND LANDSCAPE ARCHITECT REVIEW PRIOR TO INSTALLATION.
20. A THREE (3) INCH LAYER OF MULCH WILL BE ADDED TO ALL PLANTING AREAS. MULCH WILL BE 1/4" - 3/4" NITROGINATED REDWOOD OR FIR MULCH FREE OF STICKS, DIRT, DUST, AND OTHER DEBRIS, AS APPROVED BY OWNER AND LANDSCAPE ARCHITECT. WALK-ON BARK AND GORILLA HAIR ARE NOT ACCEPTABLE. CONTRACTOR WILL SUBMIT A ONE (1) QUART SAMPLE TO LANDSCAPE ARCHITECT. SEE PLANTING DETAILS.
21. LANDSCAPE MAINTENANCE PERIOD - NINETY (90) CALENDAR DAYS, STARTING DAY OF RECEIVING WRITTEN APPROVAL BY OWNER.
22. WARRANT THAT ALL TREES PLANTED UNDER THIS CONTRACT WILL BE HEALTHY AND IN FLOURISHING CONDITION OF ACTIVE GROWTH ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. SIMILARLY WARRANT GROUNDCOVERS, GRASSES, SOD AND SHRUBS FOR A PERIOD OF SIX (6) MONTHS FROM DATE OF FINAL ACCEPTANCE.
23. ANY NEW SPRAY IRRIGATION SHOULD NOT DIRECTLY HIT THE TRUNKS OF ANY OF THE TREES ON SITE.
24. AS SOON AS WEATHER CONDITIONS PERMIT, REPLACE, WITHOUT COST TO OWNER ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION AS DETERMINED BY THE LANDSCAPE ARCHITECT DURING AND AT THE END OF WARRANTY PERIOD.
25. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR FAILURES DUE TO NEGLIGENCE BY OWNER, VANDALISM, AND ACTS OF NATURE, DURING WARRANTY PERIOD. REPORT SUCH CONDITIONS.
26. AFTER ROUGH GRADING HAS BEEN APPROVED, AND PRIOR TO BEGINNING SOIL PREPARATION OPERATIONS, TAKE HORTICULTURAL SOIL SAMPLES AT (3) LOCATIONS DETERMINED BY LANDSCAPE ARCHITECT. SUBMIT SOIL SAMPLES TO WAYPOINT ANALYTICAL, 4741 EAST HUNTER AVENUE, SUITE A, ANAHEIM, CA 92807, (714) 292-8777 OR LANDSCAPE ARCHITECT APPROVED EQUAL. REQUEST THAT THE SOIL REPORT INCLUDE RECOMMENDATIONS FOR SCARIFICATION AND CROSS-RIPPING, GENERAL PLANTING AREA AMENDMENT, PLANTING BACKFILL, FERTILIZATION, AND POST-MAINTENANCE RECOMMENDATIONS. SUBMIT SOIL REPORT TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK.
27. FURNISH PLANT MATERIAL FREE OF PESTS, DISEASE, DAMAGE, OR THOSE FOUND IN POOR CONDITION.
28. REPLACE OR REPAIR EXISTING IMPROVEMENTS THAT ARE DAMAGED BY CONTRACTOR'S NEGLIGENCE DURING PLANTING OPERATIONS.
29. CONTRACTOR TO PROTECT ALL PLANTS FROM ANIMALS SUCH AS DEER AND RODENTS. CONTRACTOR TO SUBMIT PROPOSED PLANT PROTECTION PLAN PRIOR TO BEGINNING WORK.

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 California Landscape Architect License 3163

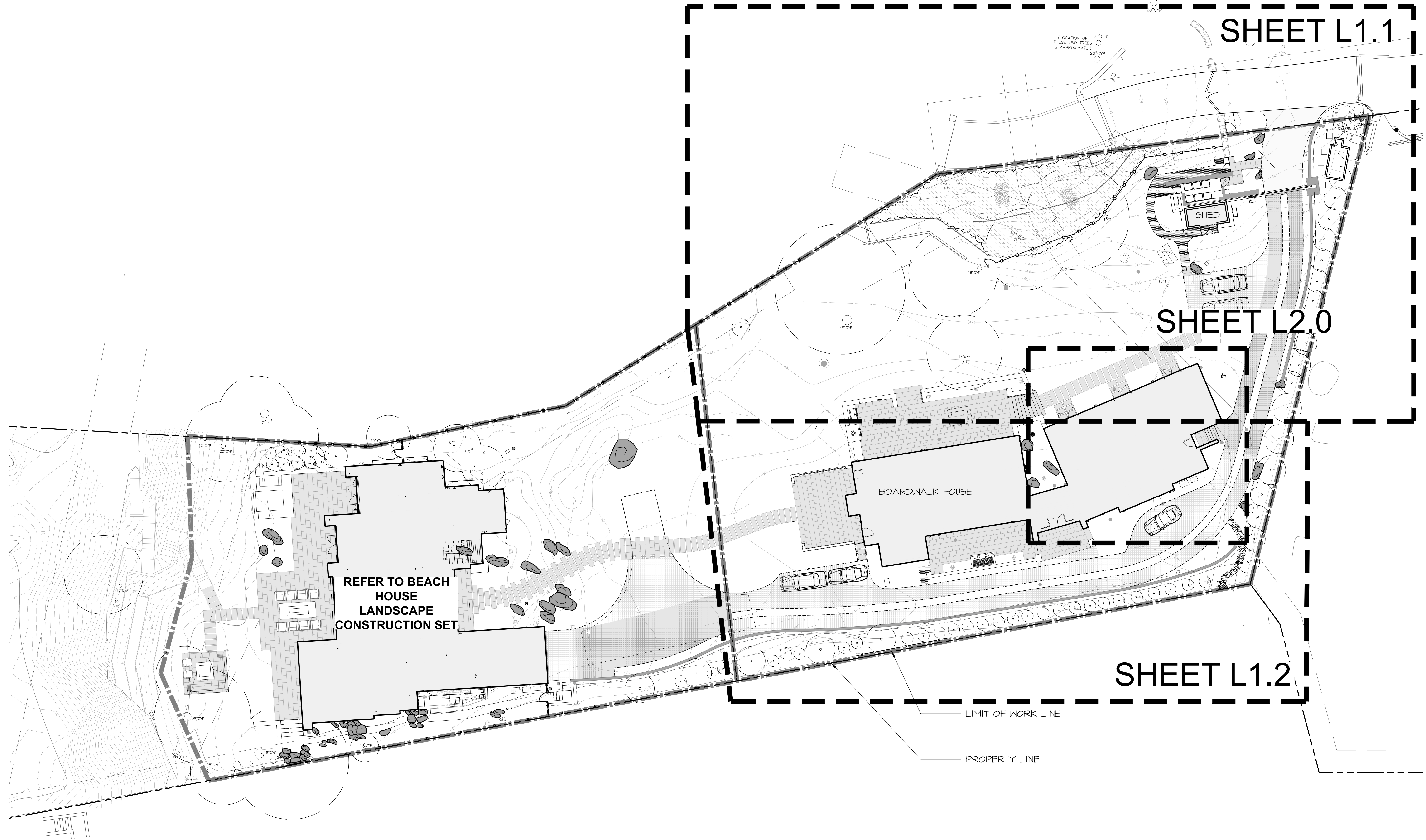
PROJECT: **CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE**
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020


SHEET TITLE: **NOTES**

SCALE: -
 DRAWN BY: AZMMOONMFP
 DATE: 12/02/20

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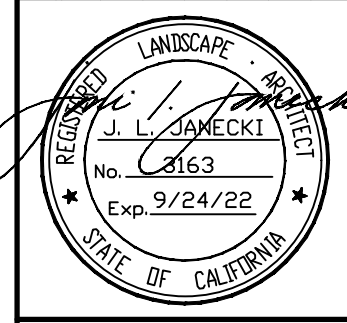
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 SCALE: 1/16"=1'-0"
 ORIGINAL SHEET SIZE: 24" X 36"

REVISIONS AND RECORD OF ISSUE:

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SHEET TITLE:
OVERALL KEY PLAN

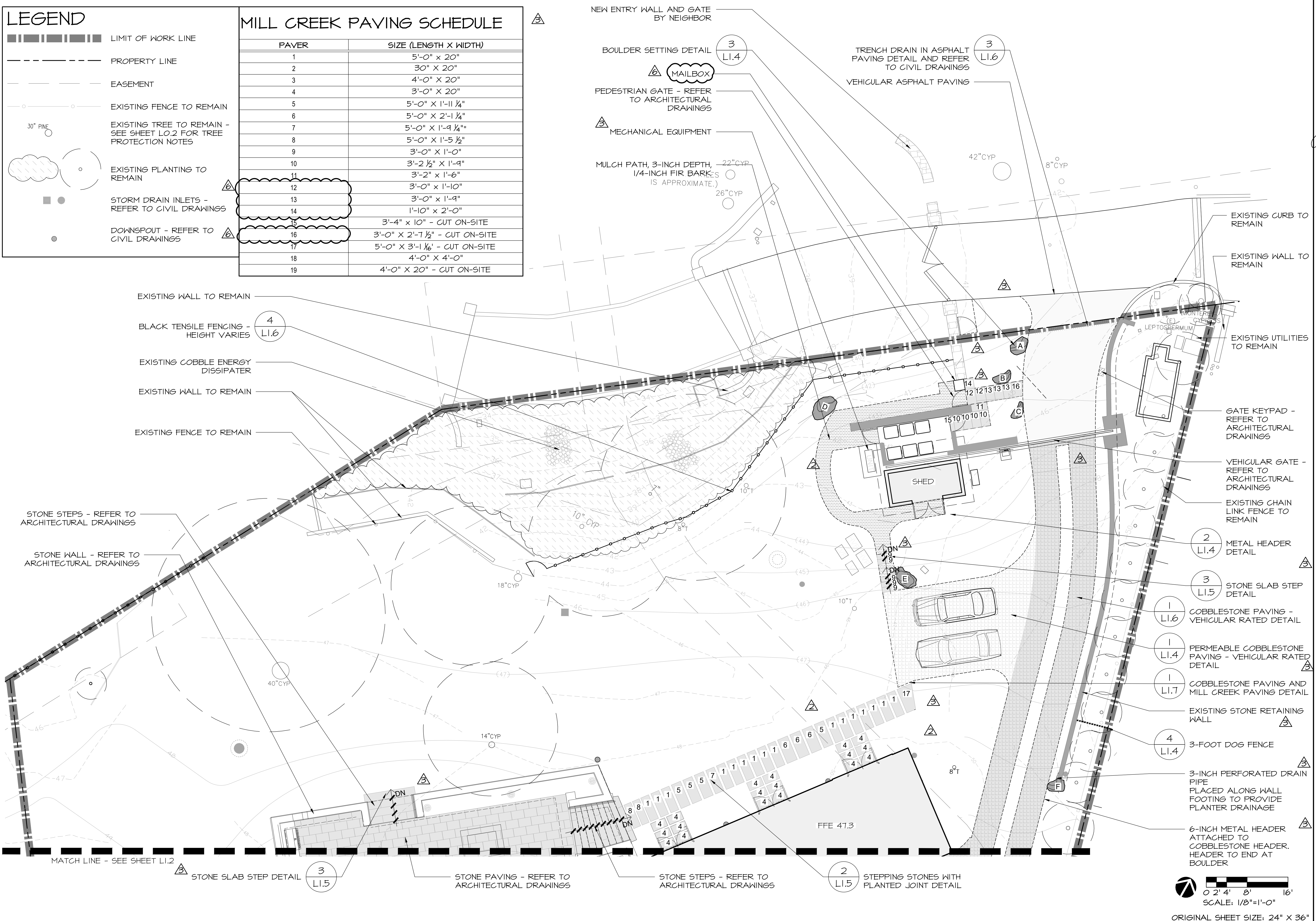
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 DRAWN BY: AZAMMOQINPP
 DATE: 12/02/20
BW
L1.0

LEGEND

- LIMIT OF WORK LINE
- PROPERTY LINE
- EASEMENT
- EXISTING FENCE TO REMAIN
- EXISTING TREE TO REMAIN - SEE SHEET L0.2 FOR TREE PROTECTION NOTES
- EXISTING PLANTING TO REMAIN
- STORM DRAIN INLETS - REFER TO CIVIL DRAWINGS
- DOWNSPOUT - REFER TO CIVIL DRAWINGS

MILL CREEK PAVING SCHEDULE

PAVER	SIZE (LENGTH X WIDTH)
1	5'-0" x 20"
2	30" x 20"
3	4'-0" x 20"
4	3'-0" x 20"
5	5'-0" x 1'-11 1/4"
6	5'-0" x 2'-1 1/4"
7	5'-0" x 1'-9 1/4"
8	5'-0" x 1'-5 1/2"
9	3'-0" x 1'-0"
10	3'-2 1/2" x 1'-9"
11	3'-2" x 1'-6"
12	3'-0" x 1'-10"
13	3'-0" x 1'-9"
14	1'-10" x 2'-0"
15	3'-4" x 10" - CUT ON-SITE
16	3'-0" x 2'-7 1/2" - CUT ON-SITE
17	5'-0" x 3'-1 1/6" - CUT ON-SITE
18	4'-0" x 4'-0"
19	4'-0" x 20" - CUT ON-SITE



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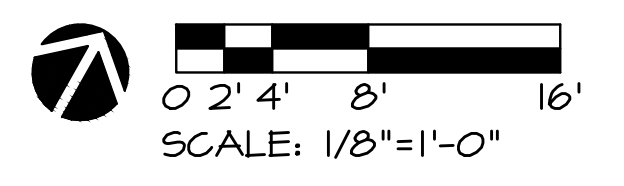
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 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020**

SHEET TITLE: MATERIALS PLAN

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMMOON/FP
 DATE: 12/02/20

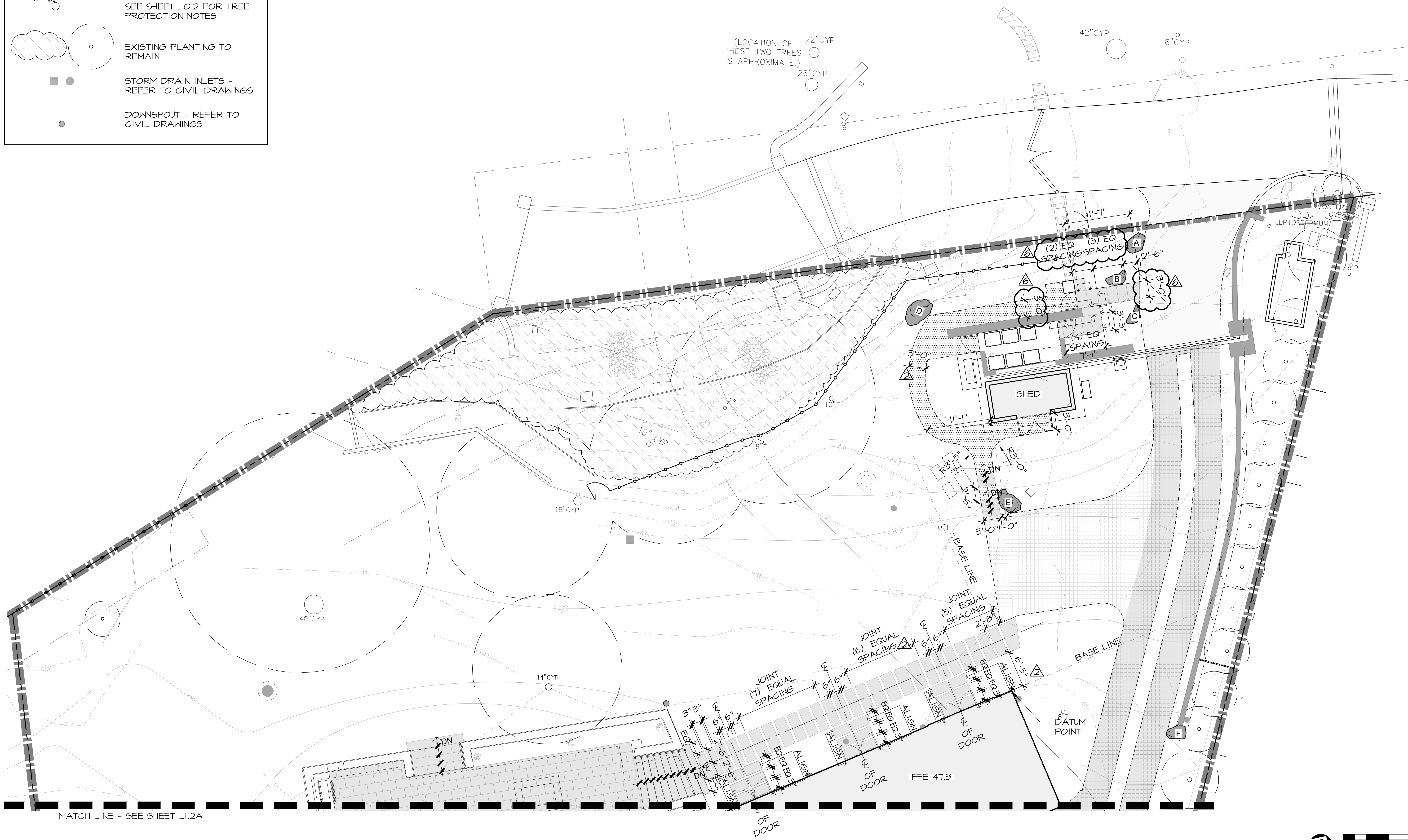
**BW
 L1.1**



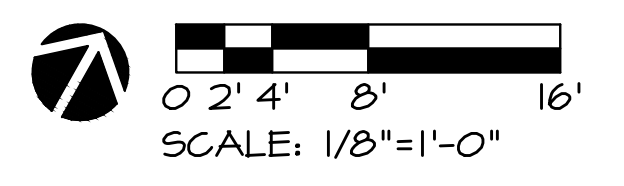
ORIGINAL SHEET SIZE: 24" x 36"

LEGEND

- LIMIT OF WORK LINE
- PROPERTY LINE
- EASEMENT
- EXISTING FENCE TO REMAIN
- EXISTING TREE TO REMAIN -
SEE SHEET L0.2 FOR TREE
PROTECTION NOTES
- EXISTING PLANTING TO
REMAIN
- STORM DRAIN INLETS -
REFER TO CIVIL DRAWINGS
- DOWNSPOUT - REFER TO
CIVIL DRAWINGS

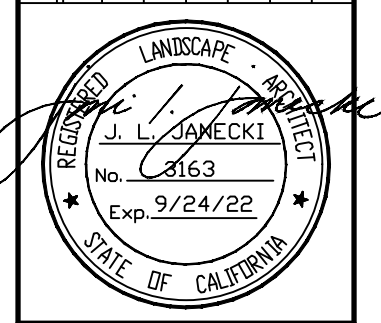


MATCH LINE - SEE SHEET L1.2A



ORIGINAL SHEET SIZE: 24" X 36"

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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PROJECT: **CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE**
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE:
DIMENSION PLAN

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MOON/PFP
 DATE: 12/02/20

**BW
 L1.1A**

T:\PROJECTS\RESIDENTIAL\17-160 Hines Residence\Drawings\Hines Landscape Boardwalk House Permit Set\Hines Re-submittal\Hines_BW_Landscape.dwg, L1.1A Dimension Plan, 12/11/2020 12:53:01 PM, AutoCAD PDF (Smallest File).pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1

MILL CREEK PAVING SCHEDULE

PAVER	SIZE (LENGTH X WIDTH)
1	5'-0" x 20"
2	30" x 20"
3	4'-0" x 20"
4	3'-0" x 20"
5	5'-0" x 1'-11 1/4"
6	5'-0" x 2'-1 1/4"
7	5'-0" x 1'-9 1/4"
8	5'-0" x 1'-5 1/2"
9	3'-0" x 1'-0"
10	3'-2 1/2" x 1'-9"
11	3'-2" x 1'-6"
12	3'-0" x 1'-10"
13	3'-0" x 1'-9"
14	1'-10" x 2'-0"
15	3'-4" x 10" - CUT ON-SITE
16	3'-0" x 2'-7 1/2" - CUT ON-SITE
17	5'-0" x 3'-1 1/6" - CUT ON-SITE
18	4'-0" x 4'-0"
19	4'-0" x 20" - CUT ON-SITE

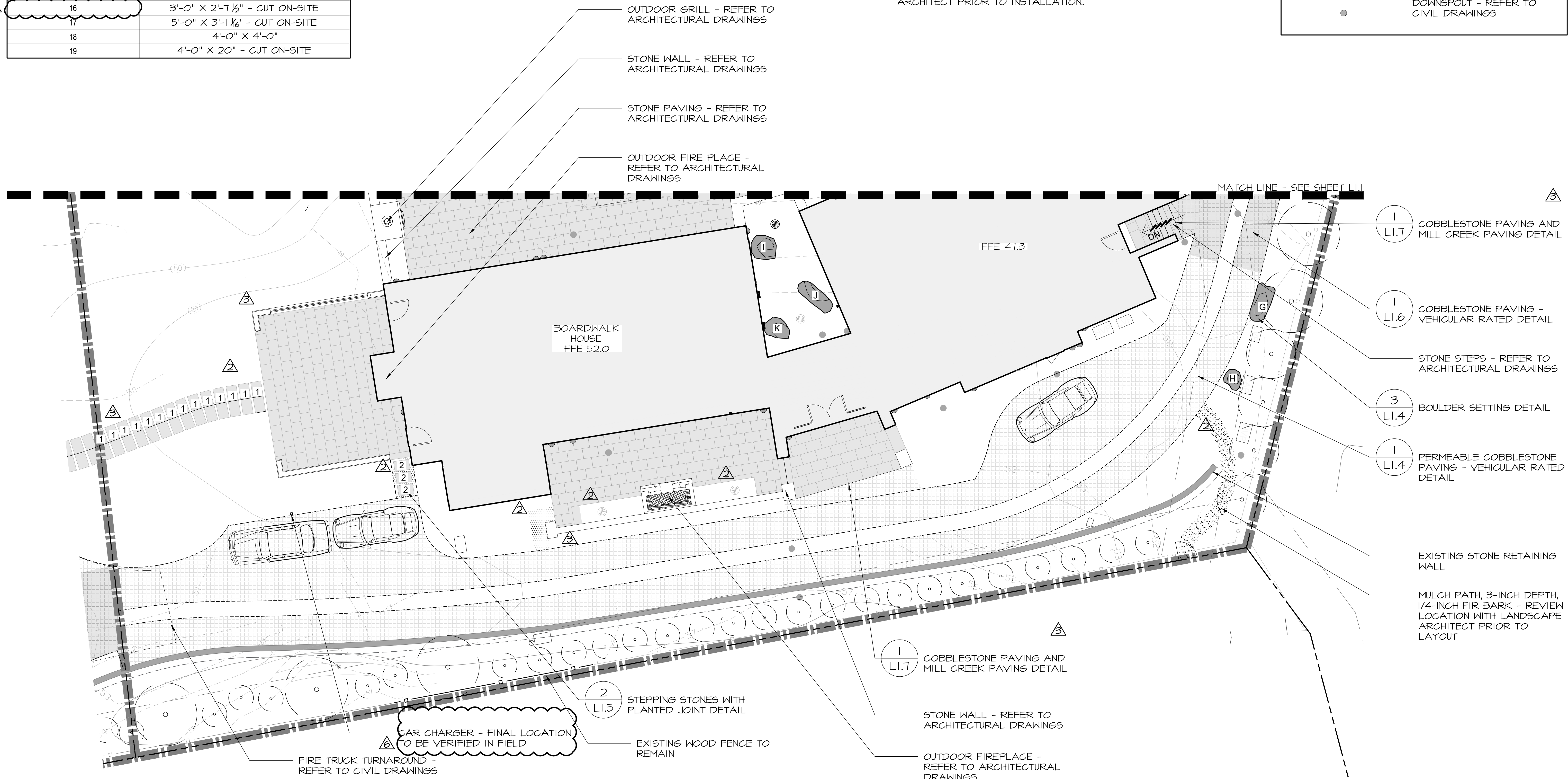
BOULDER SCHEDULE

BOULDER	SIZE (WIDE x LONG x HIGH)	REMARKS
A	3'-0" x 4'-0"	
B	4'-0" x 2'-0"	
C	2'-0" x 3'-6"	
D	4'-8" x 3'-0" x 2'-2"	ON-SITE
E	4'-0" x 3'-0"	
F	3'-6" x 2'-6"	INSTALLED
G	5'-0" x 3'-0"	INSTALLED
H	3'-6" x 3'-0"	INSTALLED
I	4'-0" x 3'-6" x 2'-6"	INSTALLED
J	4'-8" x 2'-0" x 2'-0"	INSTALLED
K	4'-0" x 3'-6" x 2'-6"	INSTALLED

LEGEND

- LIMIT OF WORK LINE
- PROPERTY LINE
- EASEMENT
- EXISTING FENCE TO REMAIN
- EXISTING TREE TO REMAIN - SEE SHEET L0.2 FOR TREE PROTECTION NOTES
- EXISTING PLANTING TO REMAIN
- STORM DRAIN INLETS - REFER TO CIVIL DRAWINGS
- DOWNSPOUT - REFER TO CIVIL DRAWINGS

NOTE:
1. ALL FULL BOXES AND MECHANICAL COVERS IN THE LANDSCAPE TO BE COVERED WITH ENZ VENEER STONE. REVIEW WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL

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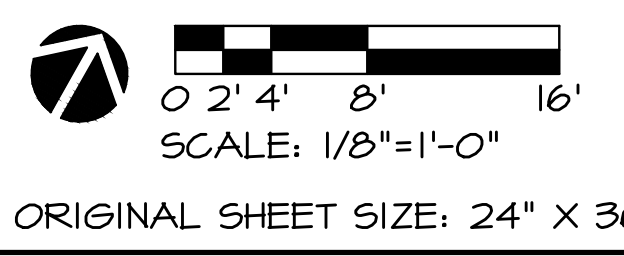
PROJECT: **CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE**
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE: **MATERIALS PLAN**

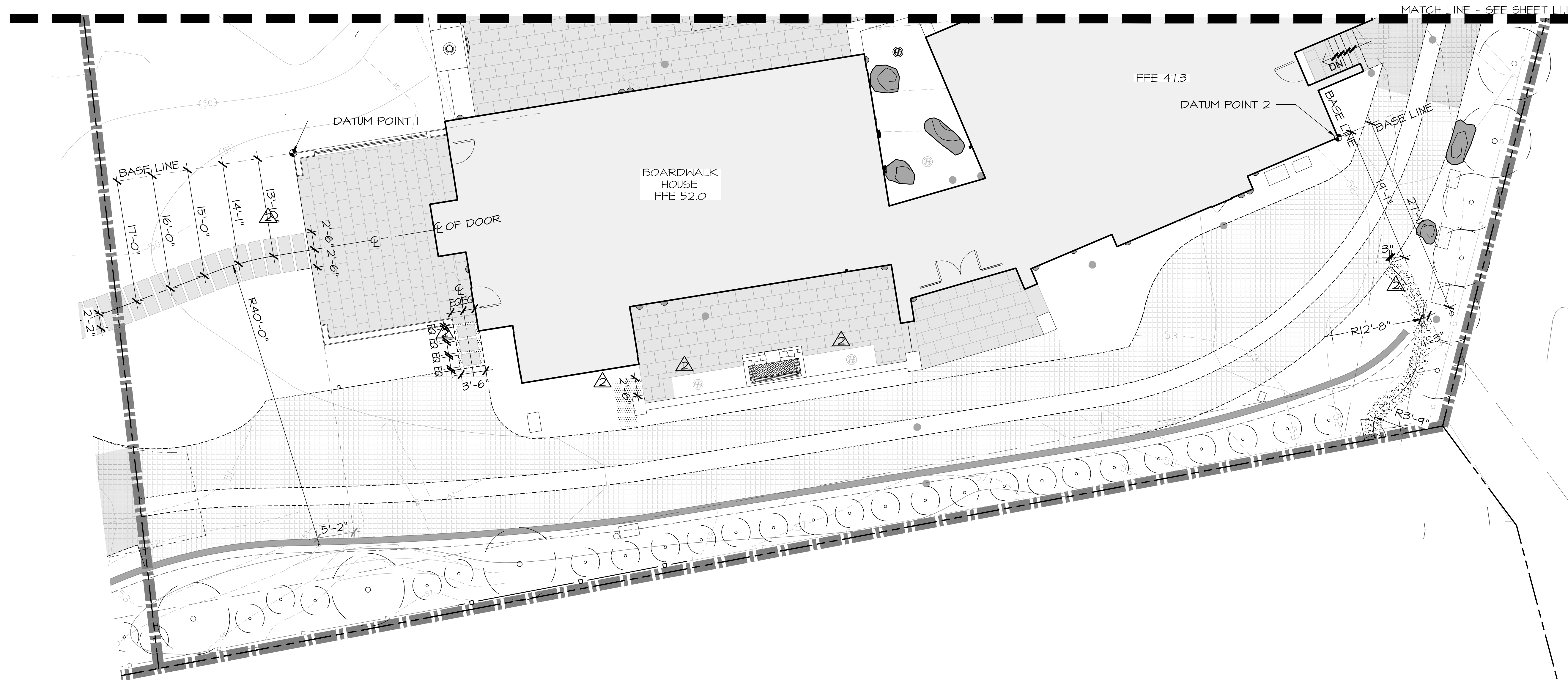
SCALE: 1/8"=1'-0"
 DRAWN BY: AZMMOON/FP
 DATE: 12/02/20

**BW
 L1.2**

T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Landscape\Boardwalk-House-Permit-Set\Hines-Res-Submittal\Hines-BW_Landscape.dwg, L1.2 Materials Plan, 12/11/2020 12:53:31 PM, AutoCAD PDF (Smallest File).pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1

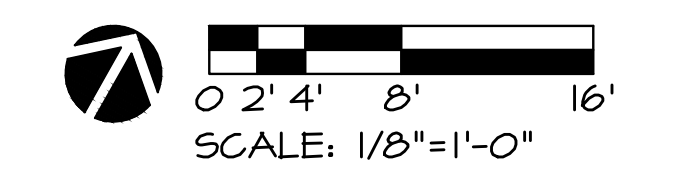


T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Hines Landscape Boardwalk House Permit Set\Hines Re-submittal\Hines_BW_Landscape.dwg, L1.2A Dimson Plan, 12/17/2020 12:53:52 PM, AutoCAD PDF (Smallest File).pc3, ARCH full bleed D (36.00 x 24.00 Inches), 1:1



LEGEND

	LIMIT OF WORK LINE
	PROPERTY LINE
	EASEMENT
	EXISTING FENCE TO REMAIN
	30" PINE
	EXISTING TREE TO REMAIN - SEE SHEET L0.2 FOR TREE PROTECTION NOTES
	EXISTING PLANTING TO REMAIN
	STORM DRAIN INLETS - REFER TO CIVIL DRAWINGS
	DOWNSPOUT - REFER TO CIVIL DRAWINGS



ORIGINAL SHEET SIZE: 24" X 36"

REVISIONS AND RECORD OF ISSUE:		
NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL

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California Landscape Architect License 3163

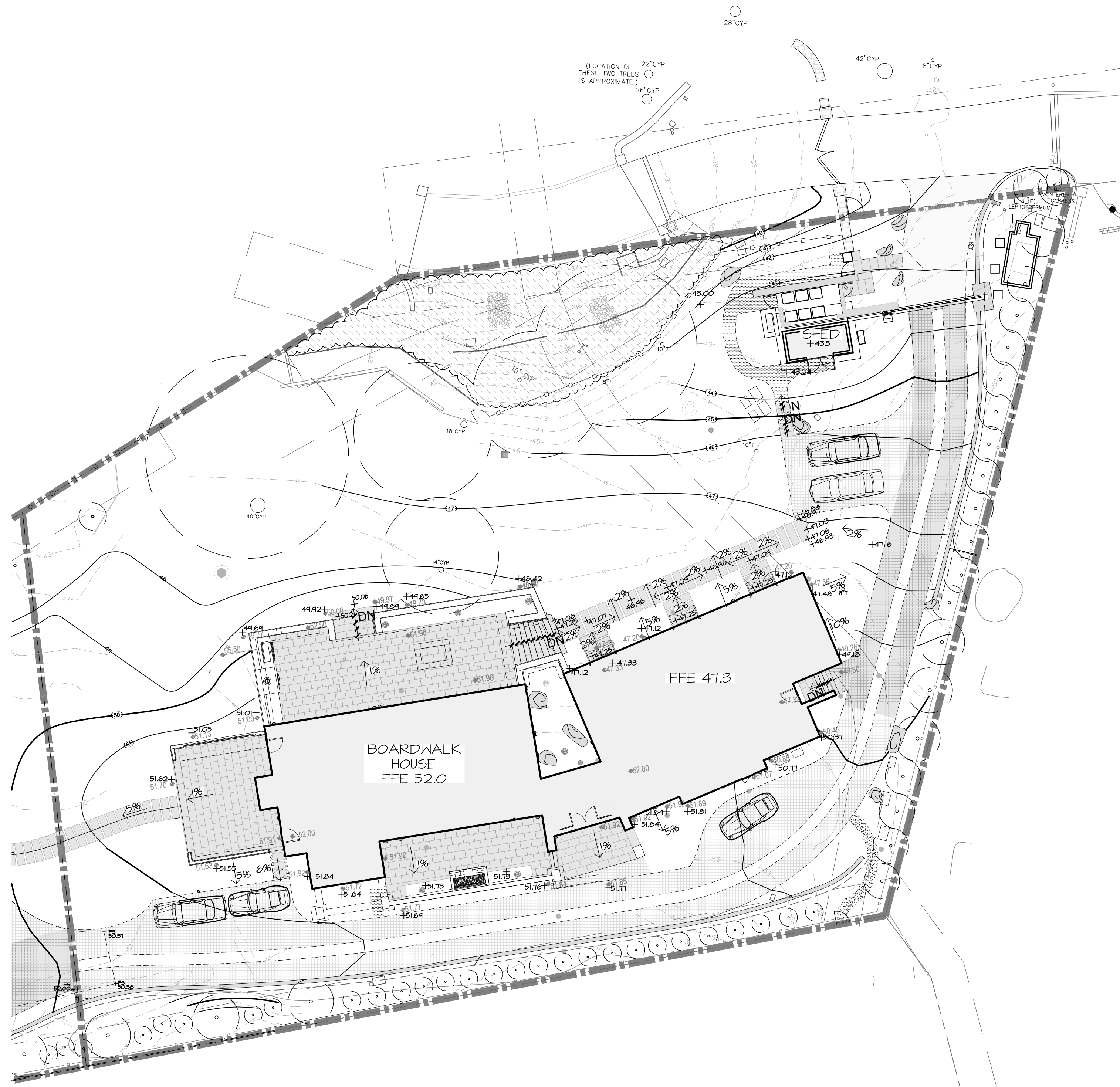
PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
HINES RESIDENCE
7 CARMEL WAY
CARMEL, CA 93923
APN: 010-321-020

SHEET TITLE: DIMENSION PLAN

SCALE: 1/8"=1'-0"
DRAWN BY: AZMM/MOON/FP
DATE: 12/02/20

BW
L1.2A

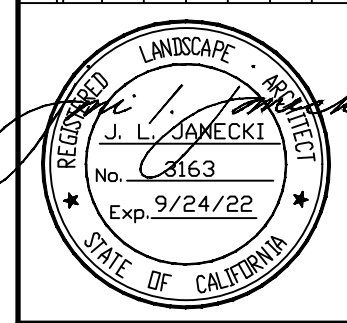
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LEGEND	
	LIMIT OF WORK LINE
	PROPERTY LINE
	EASEMENT
	15 EXISTING CONTOUR
	49 PROPOSED CONTOUR
	45.00 SPOT ELEVATION PER ASK-96
	+47.12 SPOT ELEVATION FINISHED GRADE/SURFACE
	TW TOP OF WALL
	BW BOTTOM OF WALL
	TOB TOP OF BOULDER
	DN / DOWN DOWN
	3% SLOPE
	DN STEP/STAIR
	EXISTING TREE TO REMAIN - SEE SHEET LO.1 FOR TREE PROTECTION NOTES

- NOTES:
- REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE, SHEET C1.2.
 - IMPERVIOUS SURFACES ADJACENT TO STRUCTURES SHALL SLOPE MINIMUM 2% AWAY FROM STRUCTURES FOR MINIMUM DISTANCE 10'-0", UNLESS OTHERWISE SHOWN. LANDSCAPE AREAS ADJACENT TO STRUCTURES SHALL SLOPE MINIMUM 5% AWAY FROM STRUCTURES FOR MINIMUM DISTANCE 10'-0", UNLESS OTHERWISE SHOWN. (REF. 2013 CBC 1804.3)

REVISIONS AND RECORD OF ISSUE:		
NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



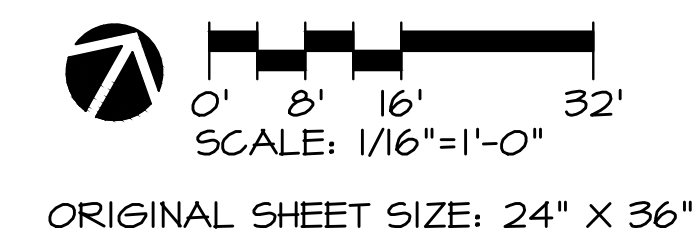
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 California Landscape Architect License 3163

PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE:
FINE GRADING PLAN

SCALE: 1/16"=1'-0"
 DRAWN BY: AZMMOON/PP
 DATE: 12/02/20

BW
L1.3



ORIGINAL SHEET SIZE: 24" X 36"

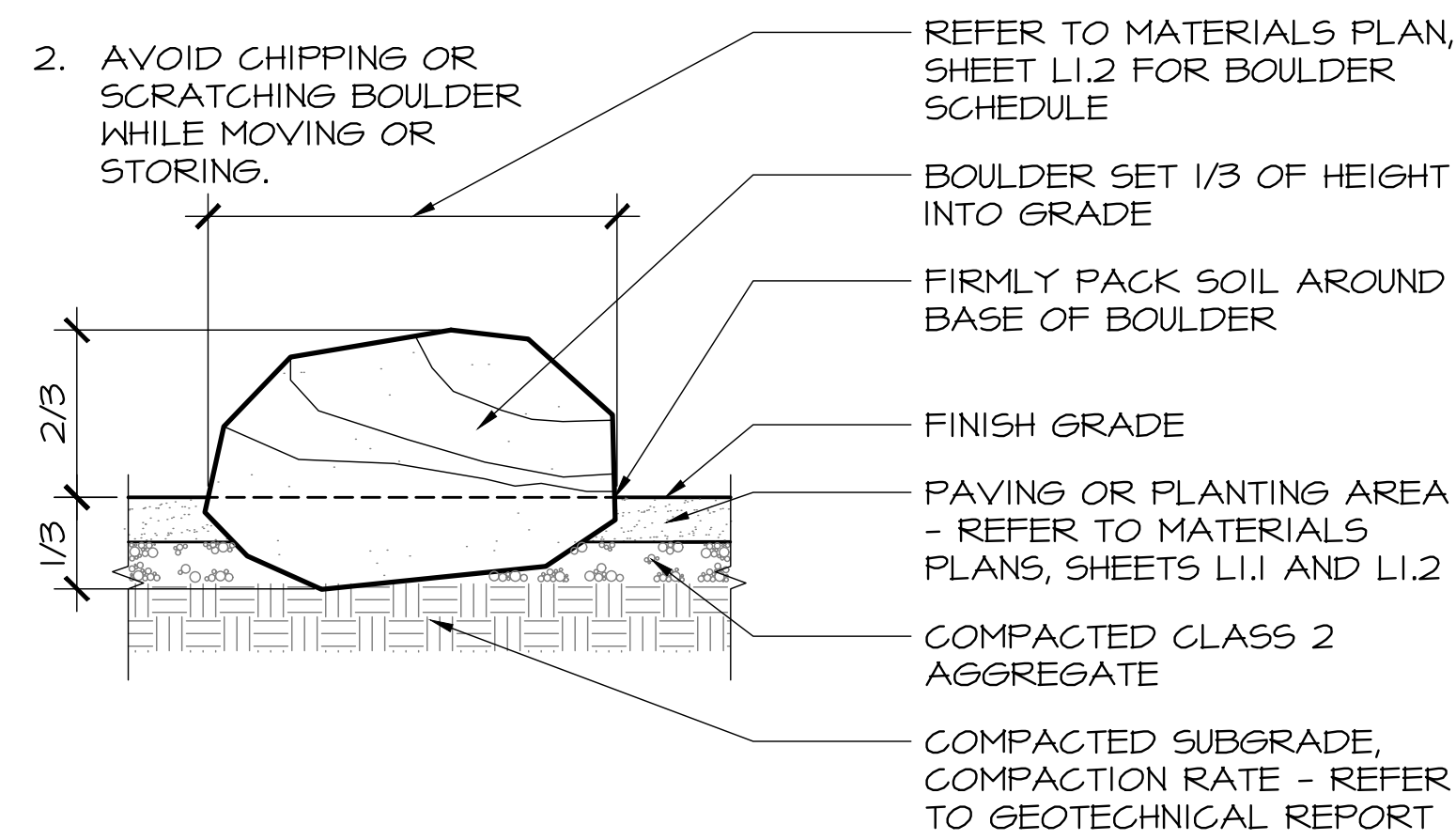
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NOTES:

1. PROVIDE 5'-0" WIDE X 10'-0" LONG MOCK-UP OF COBBLESTONE DRIVEWAY TREAD, IN ALL SITE CONDITIONS WITH TYPICAL JOINT SPACING, EDGE AND JOINT TYPE. MOCK-UP TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. COBBLESTONES SHALL NOT BE CUT TO FIT. ANY MODIFICATIONS TO LAYOUT OR JOINT WIDTH TO BE VERIFIED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. APPROVED COBBLESTONES:
ANTIQUE BLUESTONE COBBLE
SUPPLIER: GAVIN HISTORICAL BRICKS
PHONE: (888) 871-3349
WEB: WWW.HISTORICALBRICKS.COM
4. COMPACT MATERIAL WITH A JUMPING JACK. GEOTECHNICAL ENGINEER TO FIELD VERIFY COMPACTION.
5. PROVIDE SAMPLE FOR REVIEW OF VEHICULAR RATED STEEL EDGE SUPPORT.

NOTE:

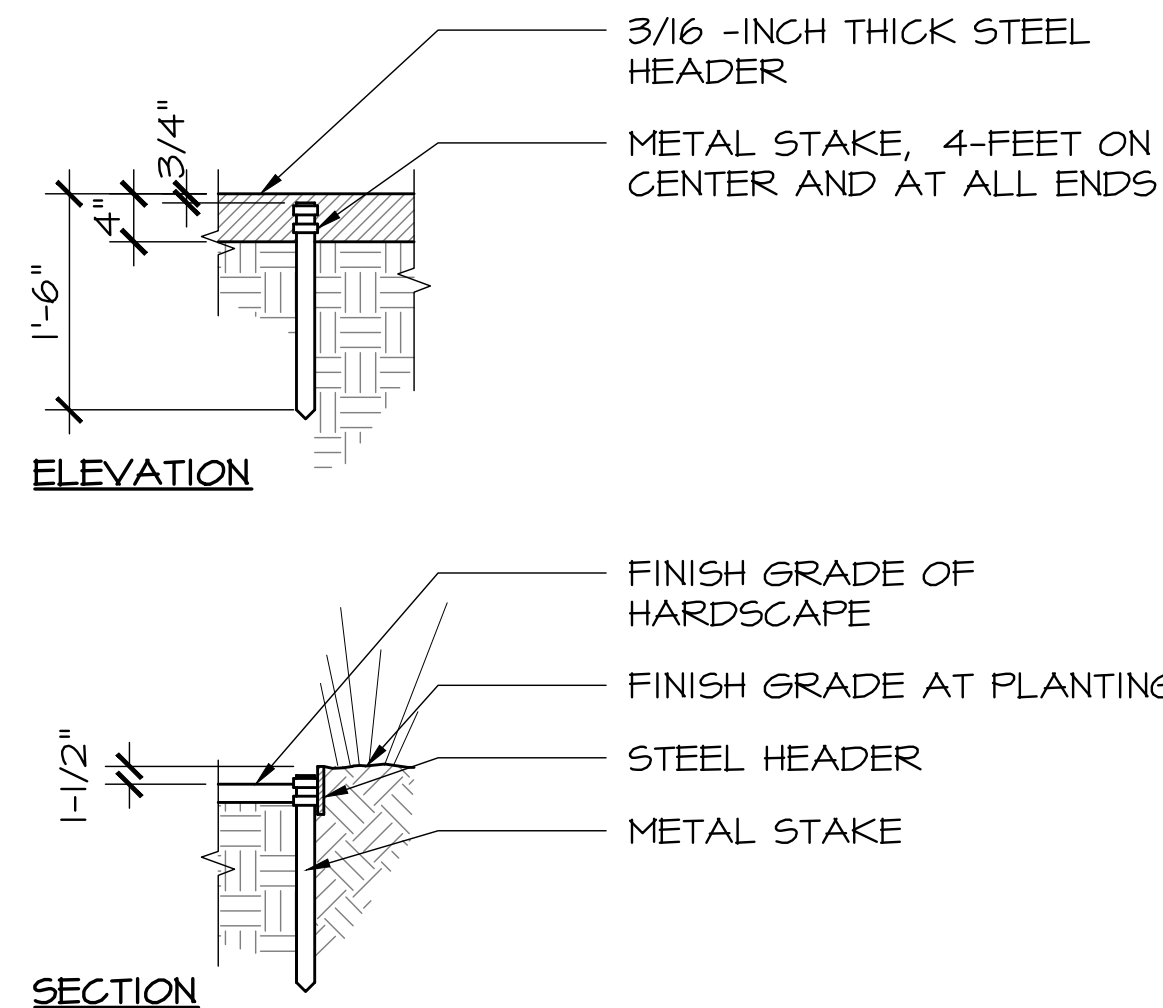
1. REFER TO PLAN FOR LOCATIONS AND SCHEDULE. SOME BOULDERS MAY BE LOCATED IN PLANTING OR PAVING AREAS.
2. AVOID CHIPPING OR SCRATCHING BOULDER WHILE MOVING OR STORING.



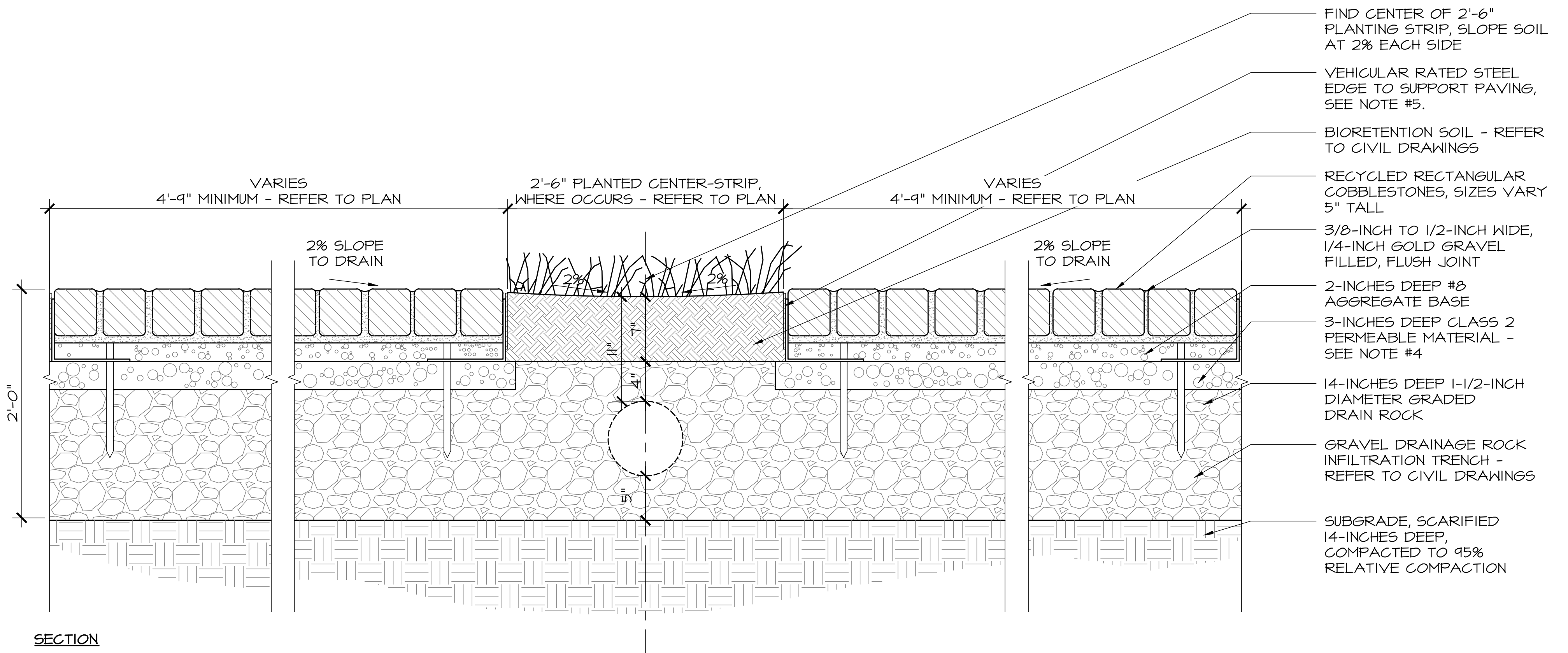
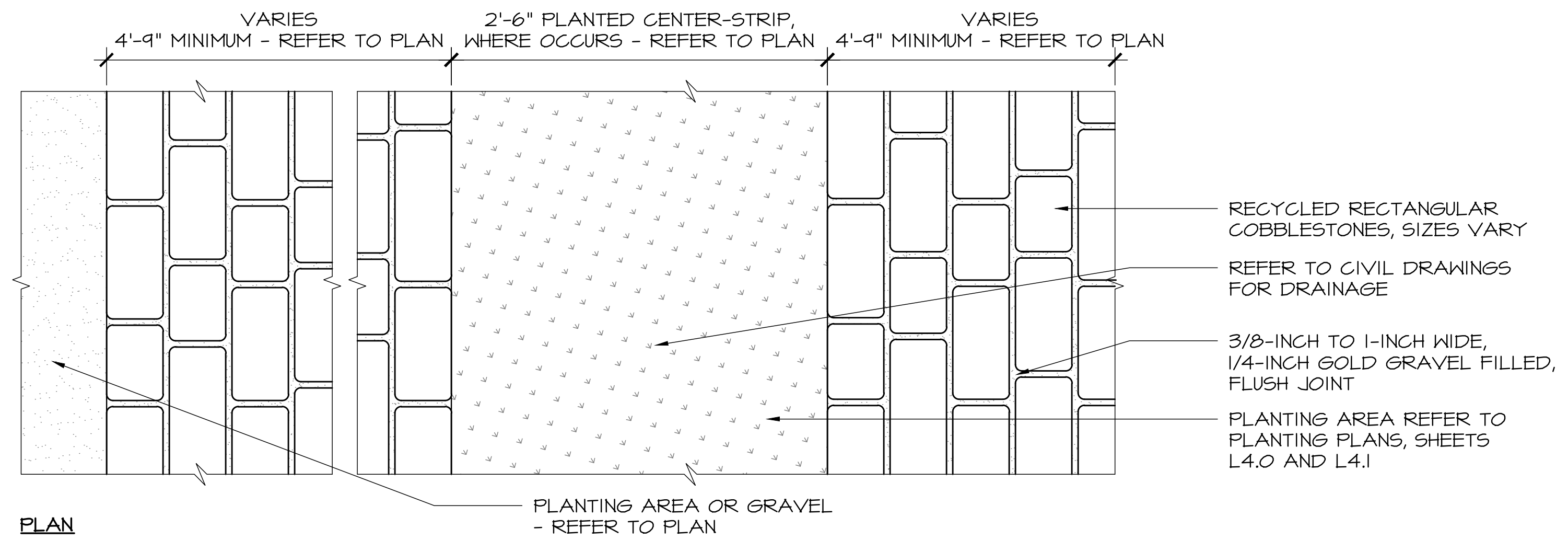
3 BOULDER SETTING DETAIL
SCALE: 3/4"=1'-0"

NOTES:
STEEL HEADER MANUFACTURER: THE JD RUSSELL COMPANY
MODEL: DURAEDGE
AVAILABLE AT EWING IRRIGATION

CONTRACTOR TO SUBMIT 6-INCHES LONG SAMPLE OF STEEL HEADER TO LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.

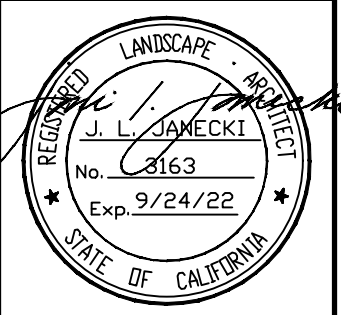


2 METAL HEADER DETAIL
SCALE: 3/4"=1'-0"



1 PERMEABLE COBBLESTONE PAVING - VEHICULAR RATED DETAIL
SCALE: 1-1/2"=1'-0"

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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PROJECT: **CARMEL BY SEA: BOARDWALK HOUSE
HINES RESIDENCE**
7 CARMEL WAY
CARMEL, CA 93923
APN: 010-321-020

SHEET TITLE: **MATERIALS DETAILS**

SCALE: AS NOTED
DRAWN BY: AZMMOON/FP
DATE: 12/02/20

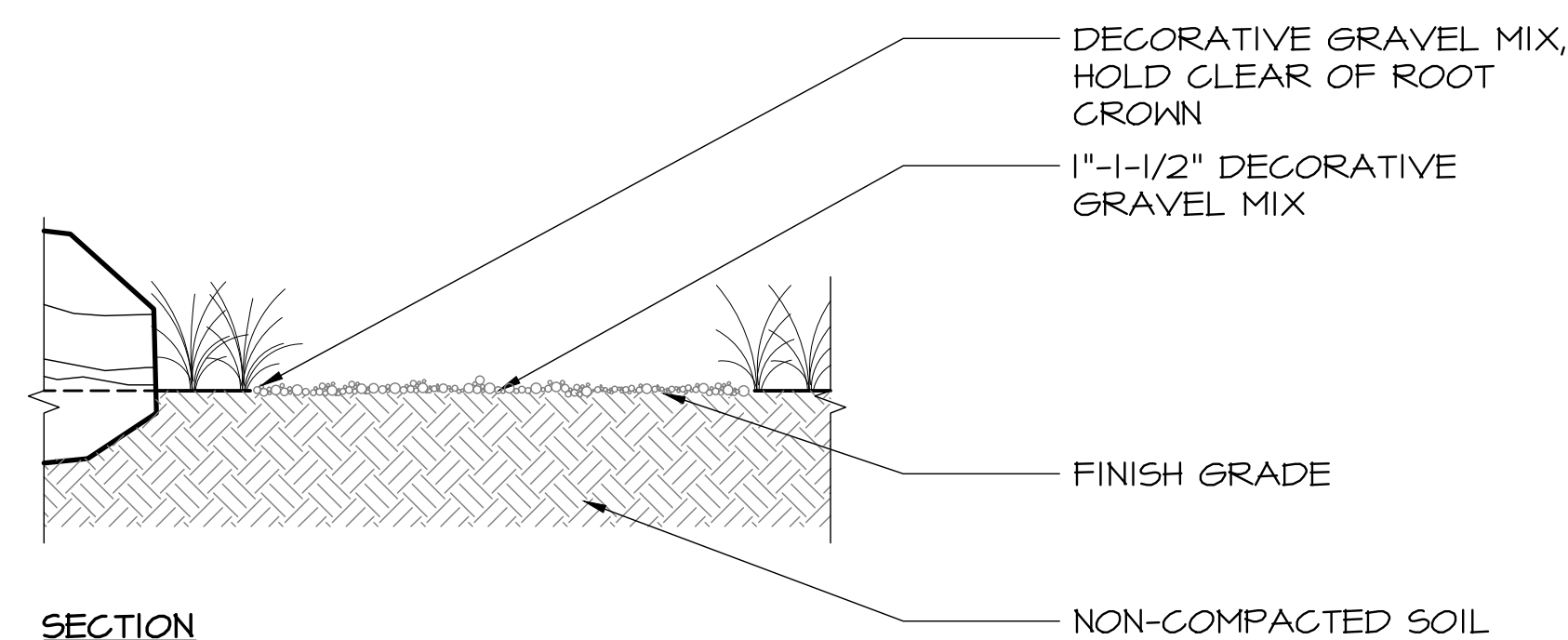
**BW
L1.4**

ORIGINAL SHEET SIZE: 24" x 36"

T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Hines-Landscape-Boardwalk-House-Permit-Sav\Hines-Res-submittal\Hines-BW_Details.dwg, L1.5-Materials-Details, 12/11/2020 12:41:30 PM, AutoCAD PDF (Smallest File) (pc3_ARCH full bleed D [36.00 x 24.00 inches]), 1:1

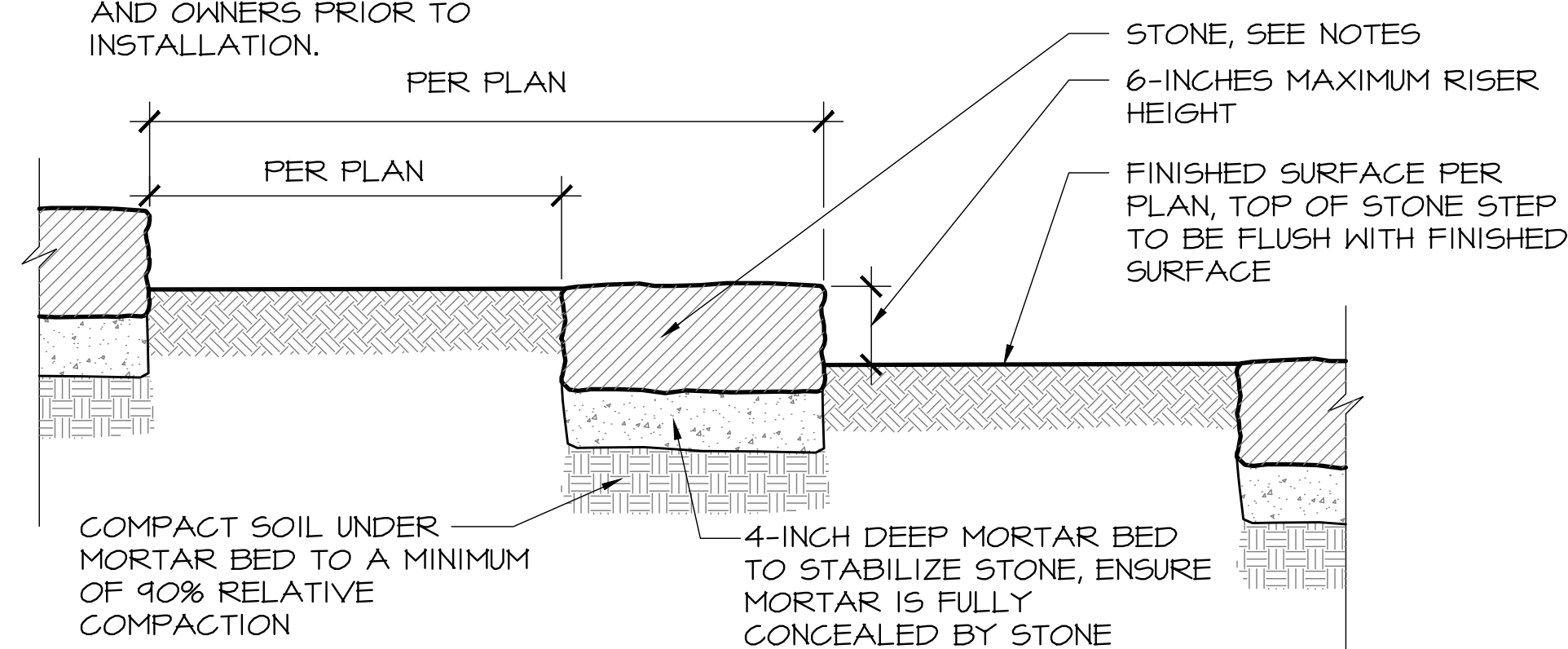
DECORATIVE GRAVEL MIX:		
20%	3/4"	ROUND DRAIN ROCK
20%	1/2" - 1"	BLACK MEXICAN PEBBLE
20%	3/8"	TUSCANY ROUND
15%	3/8"	SIERRA GINGER
25%	1"-2"	IVORY MEXICAN PEBBLE

- NOTES:
- GRAVEL MIX MOCK-UP 2'-0" X 2'-0" TO BE ASSEMBLED FOR REVIEW BY LANDSCAPE ARCHITECT AND CLIENT'S REPRESENTATIVE.
 - GRAVEL TO BE MIXED AND PLACED BY HAND
 - REFER TO PLAN FOR GRAVEL LOCATIONS. CONFIRM LOCATIONS WITH LANDSCAPE ARCHITECT AND CLIENT'S REPRESENTATIVE BEFORE INSTALLING GRAVEL.



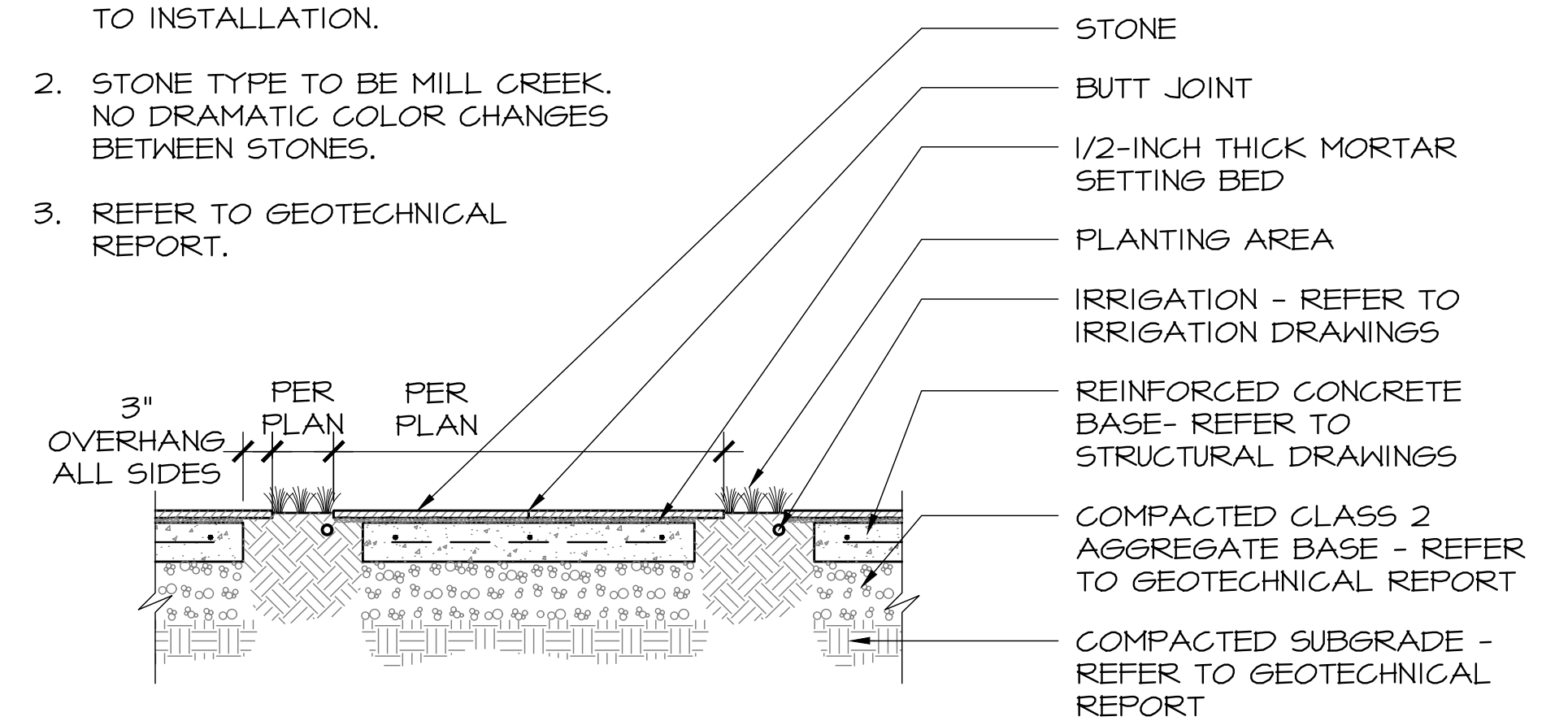
SECTION
4 DECORATIVE GRAVEL DETAIL
 SCALE: 3/4"=1'-0"

- NOTES:
- PROVIDE MOCK-UP OF PAVING WITH ALL JOINT TYPES AND TYPICAL STONE SIZES, SPACING AND LAYOUT TO BE REVIEWED BY LANDSCAPE ARCHITECT AND OWNERS PRIOR TO INSTALLATION.
 - STONE TYPE TO BE MILL CREEK. NO DRAMATIC COLOR CHANGES BETWEEN STONES.
 - REFER TO PLAN FOR STONE SLAB DIMENSIONS.

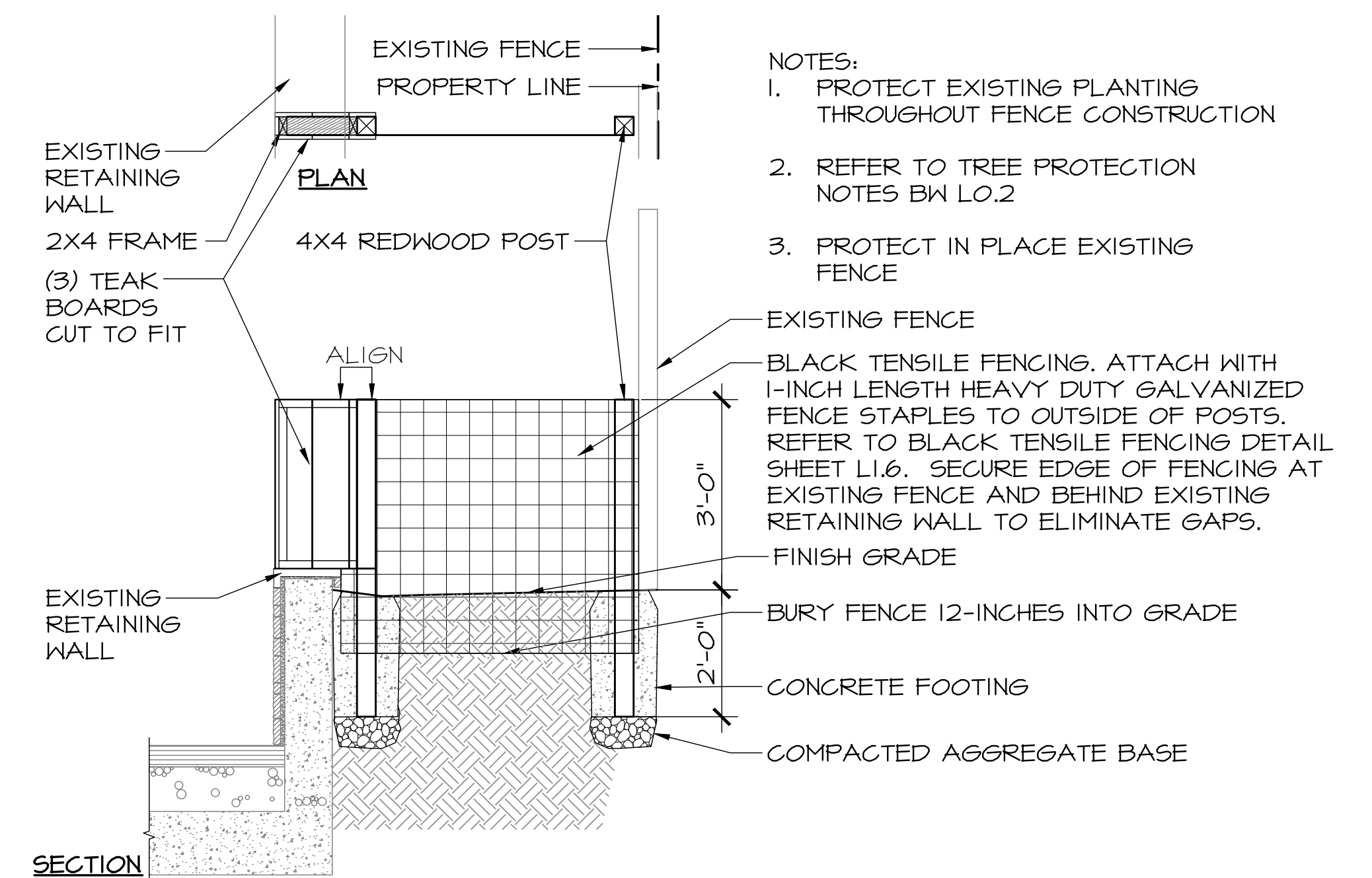


SECTION
3 STONE SLAB STEP DETAIL
 SCALE: 1"=1'-0"

- NOTES:
- PROVIDE 10'-0" X 10'-0" MOCK-UP OF PAVING WITH ALL JOINT TYPES, TYPICAL STONE LAYOUT TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - STONE TYPE TO BE MILL CREEK. NO DRAMATIC COLOR CHANGES BETWEEN STONES.
 - REFER TO GEOTECHNICAL REPORT.

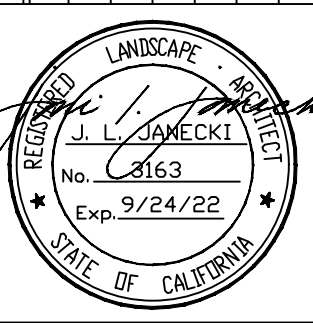


SECTION
2 STEPPING STONES WITH PLANTED JOINT DETAIL
 SCALE: 3/4"=1'-0"



SECTION
1 3-FOOT DOG FENCE
 SCALE: 1/2"=1'-0"

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE:
MATERIALS DETAILS

SCALE: AS NOTED
 DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20

**BW
 L1.5**

ORIGINAL SHEET SIZE: 24" X 36"

T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Landscape\Boardwalk-House\Permit-SavHines-Re-submit\Hines-BW_Details.dwg, L1.6 Materials Details, 12/11/2020 12:40:55 PM, AutoCAD PDF (Smallest File) (pc3).arx, full bleed D (36.00 x 24.00 inches), 1:1



NOTES:
1. MATCH EXISTING SITE FENCE AS SHOWN IN PHOTO.

6'-0" HIGH REDWOOD FENCING

NOTES:
1. STONE TYPE AND PATTERN AS APPROVED IN MOCK-UP ON SITE.



TRAPEZOIDAL STONE MOCK-UP

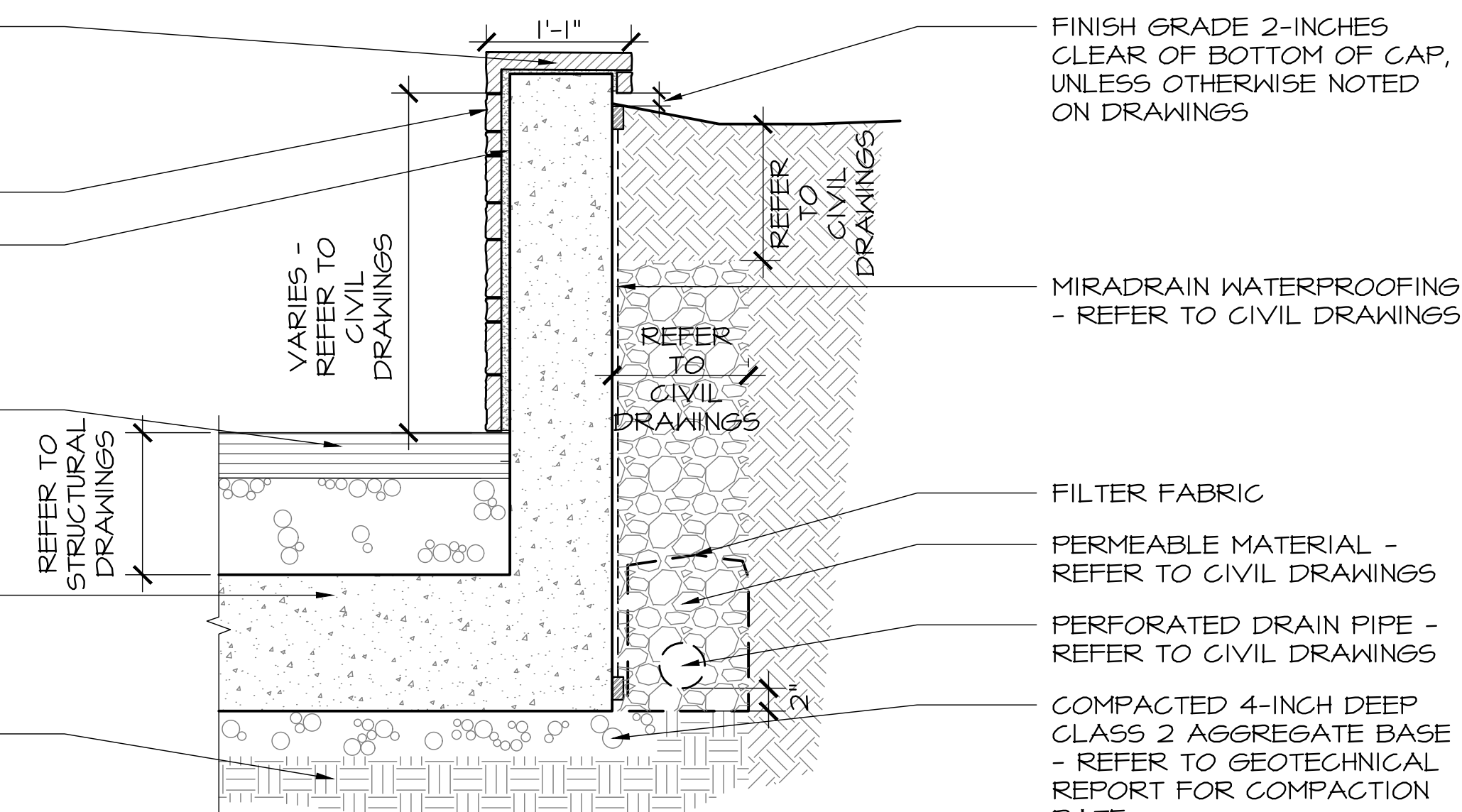
TRAPEZOIDAL STONE CAP PER APPROVED MOCK-UP 06/14/2018, SEE PHOTO BELOW. CROSS SLOPE 1% TO PLANTING. STONE TYPE, SEE NOTES.

STONE VENEER
1/2 TO 1-INCH THICK MORTAR

PAVING OR PLANTING - REFER TO MATERIALS PLAN, SHEETS L1.1 AND L1.2

CONCRETE FOOTING, DIMENSIONS AND REINFORCING - REFER TO STRUCTURAL DRAWINGS

COMPACTED SUBGRADE - REFER TO GEOTECHNICAL REPORT



FINISH GRADE 2-INCHES CLEAR OF BOTTOM OF CAP, UNLESS OTHERWISE NOTED ON DRAWINGS

MIRADRAIN WATERPROOFING - REFER TO CIVIL DRAWINGS

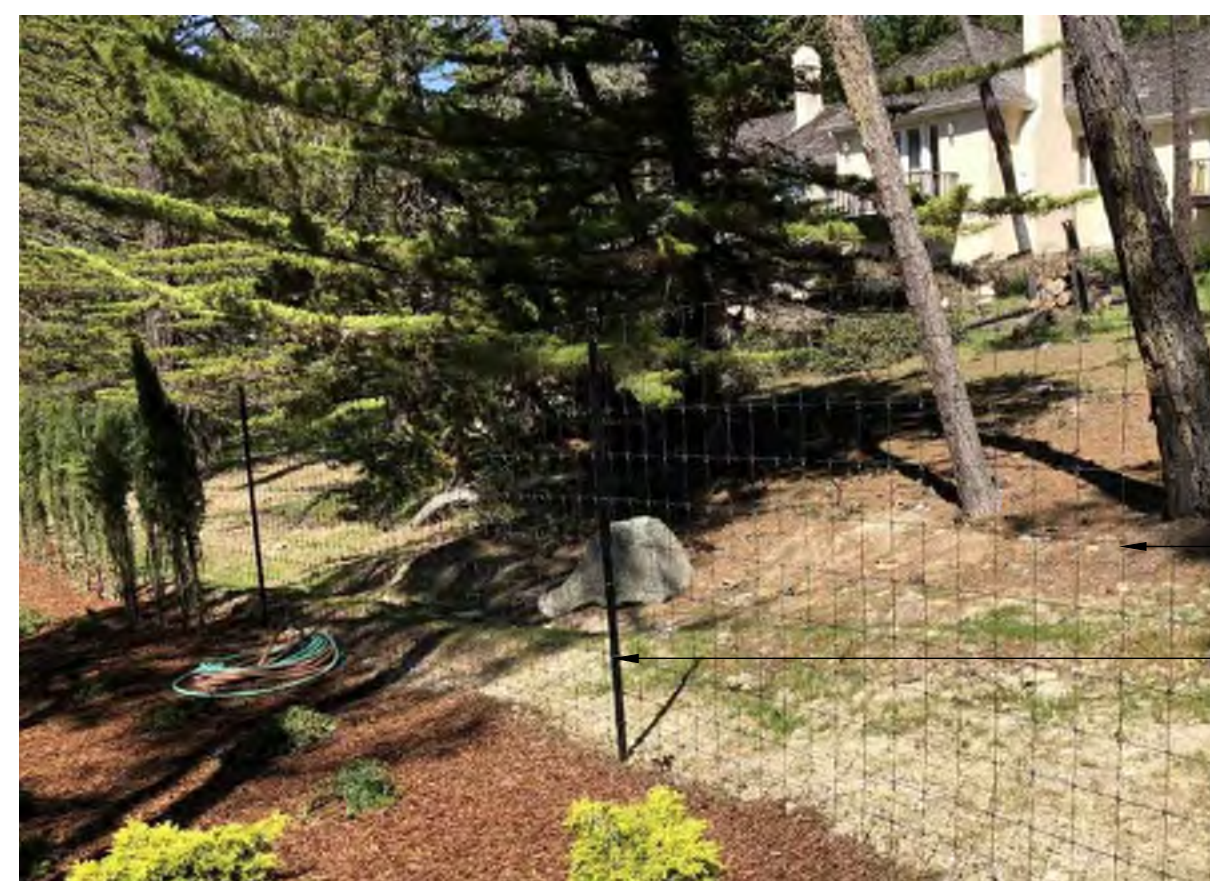
FILTER FABRIC

PERMEABLE MATERIAL - REFER TO CIVIL DRAWINGS

PERFORATED DRAIN PIPE - REFER TO CIVIL DRAWINGS

COMPACTED 4-INCH DEEP CLASS 2 AGGREGATE BASE - REFER TO GEOTECHNICAL REPORT FOR COMPACTION RATE

5 REDWOOD FENCING DETAIL
NOT TO SCALE



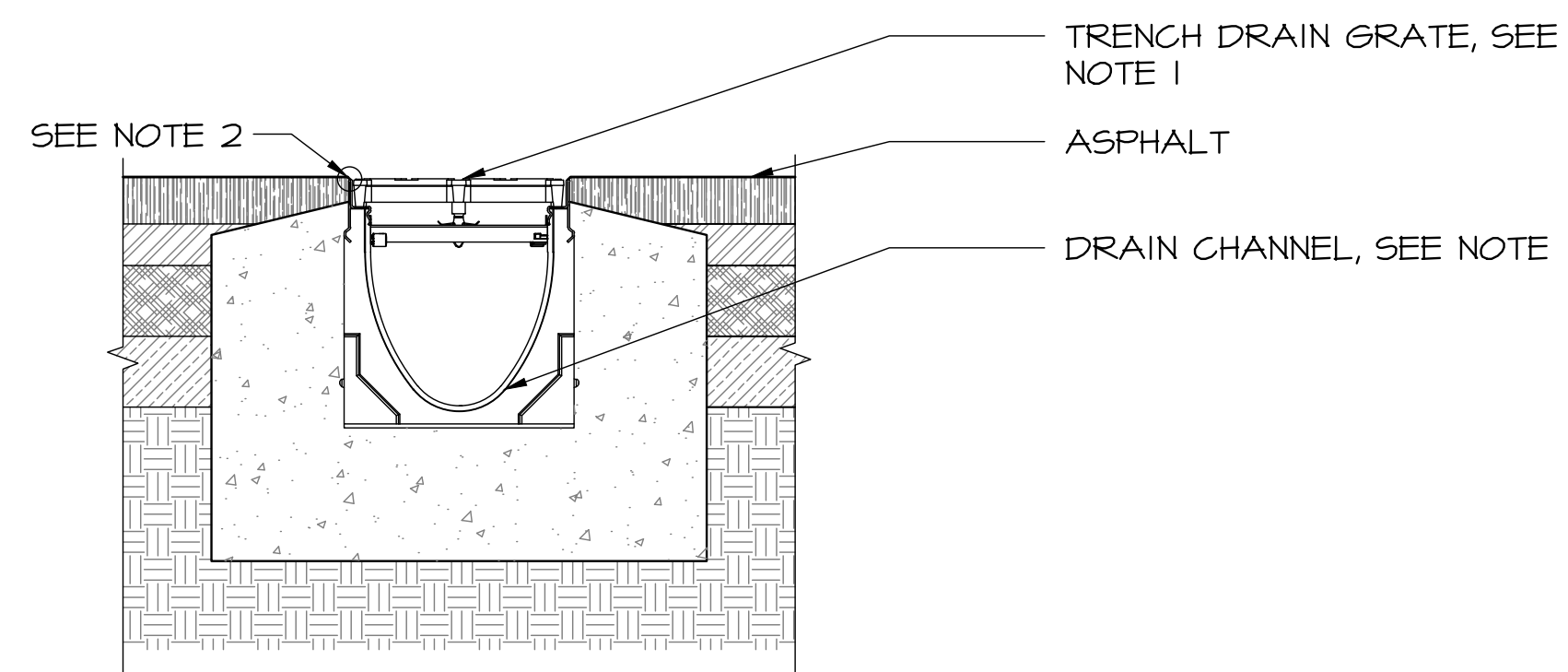
NOTES:
1. FENCE HEIGHT TO BE DETERMINED IN FIELD.
2. ALL CORNER AND END POSTS TO BE SECURED WITH ANGLE BRACE. ANGLE BRACE 4-INCHES ROUND PENTA DOUGLAS FIR SET IN 18-INCH CONCRETE FOOTING.

6'-0" TALL BLACK HIGH TENSILE DEER FENCING

ALL INTERMEDIATE POSTS TO BE STEEL, ALL CORNER AND END POSTS TO BE 5-INCHES ROUND PRESSURE TREATED PENTA DOUGLAS FIR, SET IN 3'-0" DEEP CONCRETE FOOTING ON MAXIMUM 12'-6" ON CENTER

4 BLACK TENSILE FENCING DETAIL
NOT TO SCALE

NOTES:
1. TRENCH DRAIN AND GRATE - MANUFACTURER: ACO DRAIN WEBSITE: WWW.ACODRAIN.US MODEL: KS200 KLASSIK DRAIN CONFIRM GRATE STYLE WITH LANDSCAPE ARCHITECT.
2. REFER TO MANUFACTURER FOR INSTALLATION DETAILS



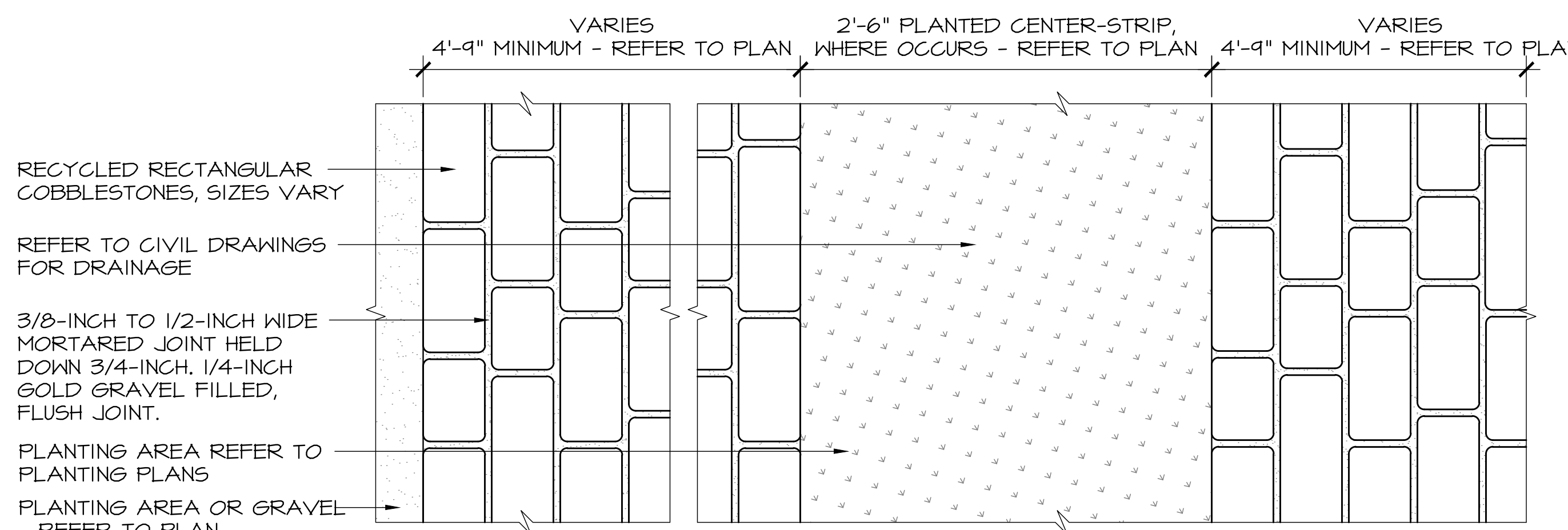
TRENCH DRAIN GRATE, SEE NOTE 1

ASPHALT

DRAIN CHANNEL, SEE NOTE 1

3 TRENCH DRAIN IN ASPHALT PAVING DETAIL
SCALE: 1-1/2"=1'-0"

2 STONE RETAINING WALL DETAIL
SCALE: 1"-1'-0"



RECYCLED RECTANGULAR COBBLESTONES, SIZES VARY

REFER TO CIVIL DRAWINGS FOR DRAINAGE

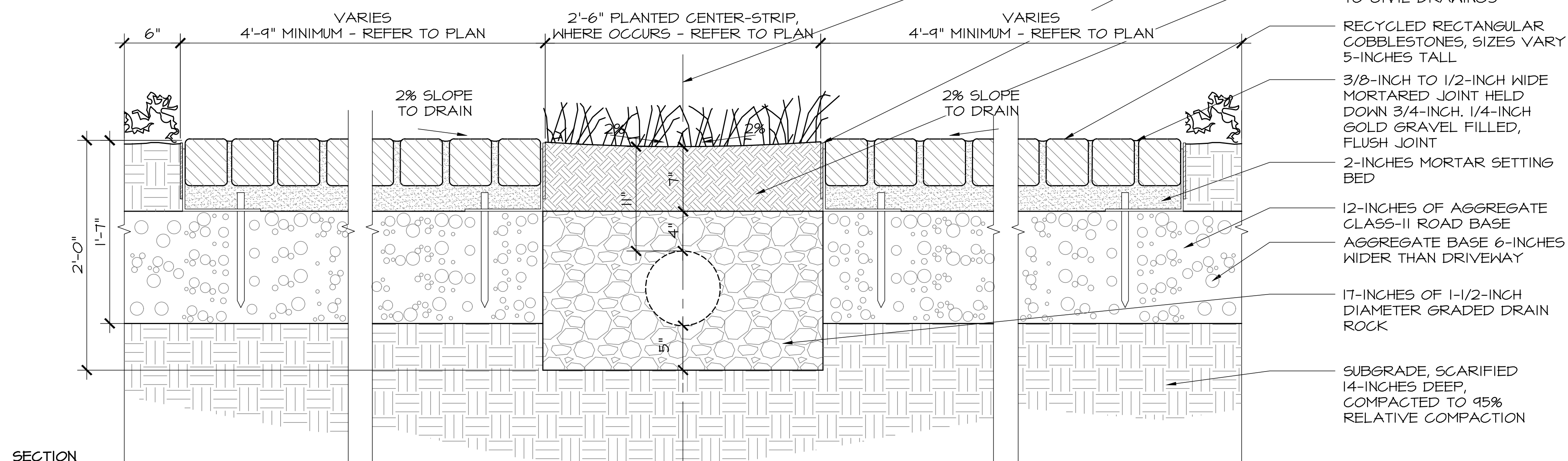
3/8-INCH TO 1/2-INCH WIDE MORTARED JOINT HELD DOWN 3/4-INCH. 1/4-INCH GOLD GRAVEL FILLED, FLUSH JOINT.

PLANTING AREA REFER TO PLANTING PLANS

PLANTING AREA OR GRAVEL - REFER TO PLAN

PLAN

NOTES:
1. PROVIDE 5'-0" WIDE X 10'-0" LONG MOCK-UP OF COBBLESTONE DRIVEWAY TREAD, IN ALL SITE CONDITIONS WITH TYPICAL JOINT SPACING, EDGE AND JOINT TYPE. MOCK-UP TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. COBBLESTONES SHALL NOT BE CUT TO FIT. ANY MODIFICATIONS TO LAYOUT OR JOINT WIDTH TO BE VERIFIED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. APPROVED COBBLESTONES: ANTIQUE BLUESTONE COBBLE SUPPLIER: GAVIN HISTORICAL BRICKS PHONE: (888) 871-3349 WEB: WWW.HISTORICALBRICKS.COM
4. COMPACT MATERIAL WITH A JUMPING JACK. GEOTECHNICAL ENGINEER TO FIELD VERIFY COMPACTION.
5. PROVIDE SAMPLE FOR REVIEW OF VEHICULAR RATED STEEL EDGE SUPPORT.

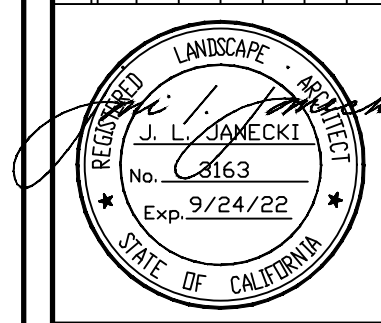


SECTION

1 COBBLESTONE PAVING - VEHICULAR RATED DETAIL
SCALE: 1-1/2"=1'-0"

FIND CENTER OF 2'-6" PLANTING STRIP, SLOPE SOIL AT 2% EACH SIDE
VEHICULAR RATED STEEL EDGE TO SUPPORT PAVING, SEE NOTE #5
BIORETENTION SOIL - REFER TO CIVIL DRAWINGS
RECYCLED RECTANGULAR COBBLESTONES, SIZES VARY 5-INCHES TALL
3/8-INCH TO 1/2-INCH WIDE MORTARED JOINT HELD DOWN 3/4-INCH. 1/4-INCH GOLD GRAVEL FILLED, FLUSH JOINT
2-INCHES MORTAR SETTING BED
12-INCHES OF AGGREGATE CLASS-II ROAD BASE
AGGREGATE BASE 6-INCHES WIDER THAN DRIVEWAY
17-INCHES OF 1-1/2-INCH DIAMETER GRADED DRAIN ROCK
SUBGRADE, SCARIFIED 14-INCHES DEEP, COMPACTED TO 95% RELATIVE COMPACTION

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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PROJECT: **CARMEL BY SEA: BOARDWALK HOUSE**
HINES RESIDENCE
7 CARMEL WAY
CARMEL, CA 93923
APN: 010-321-020

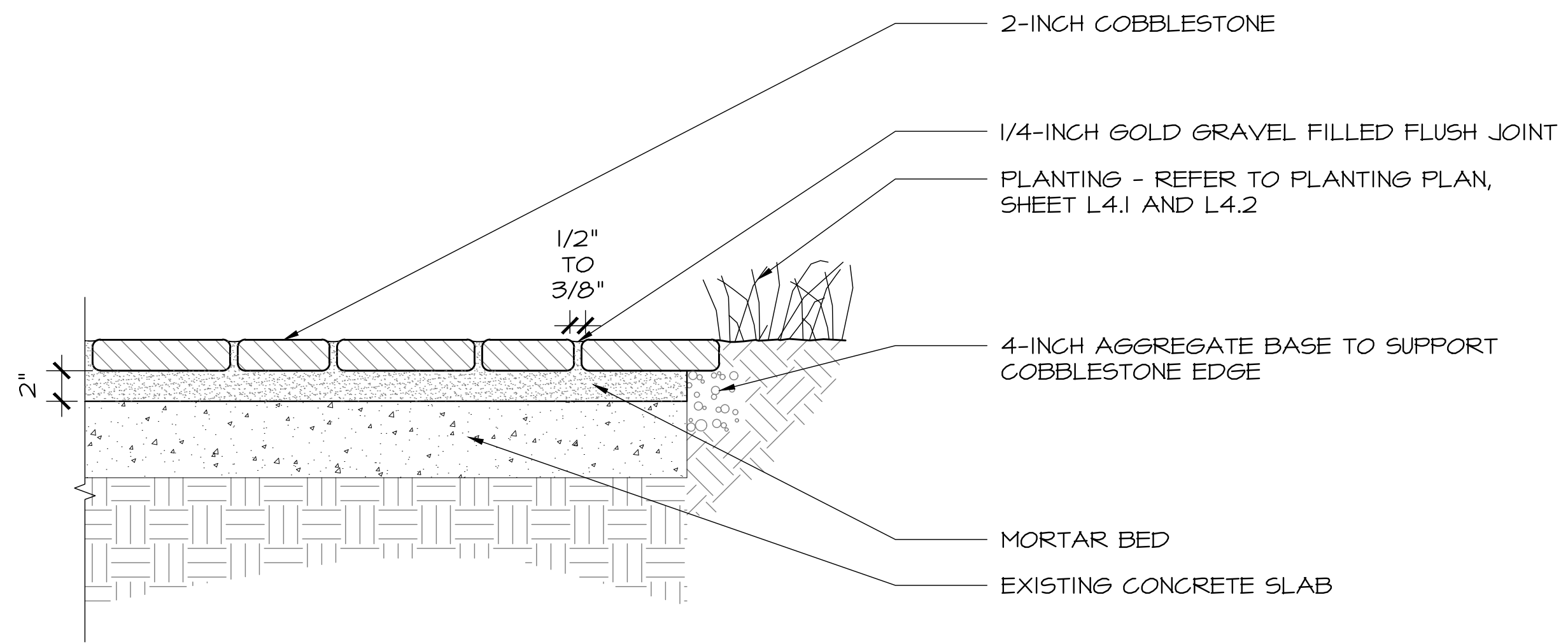
SHEET TITLE: **MATERIALS DETAILS**

SCALE: AS NOTED
DRAWN BY: AZMMOON/FP
DATE: 12/02/20

BW
L1.6

ORIGINAL SHEET SIZE: 24" x 36"

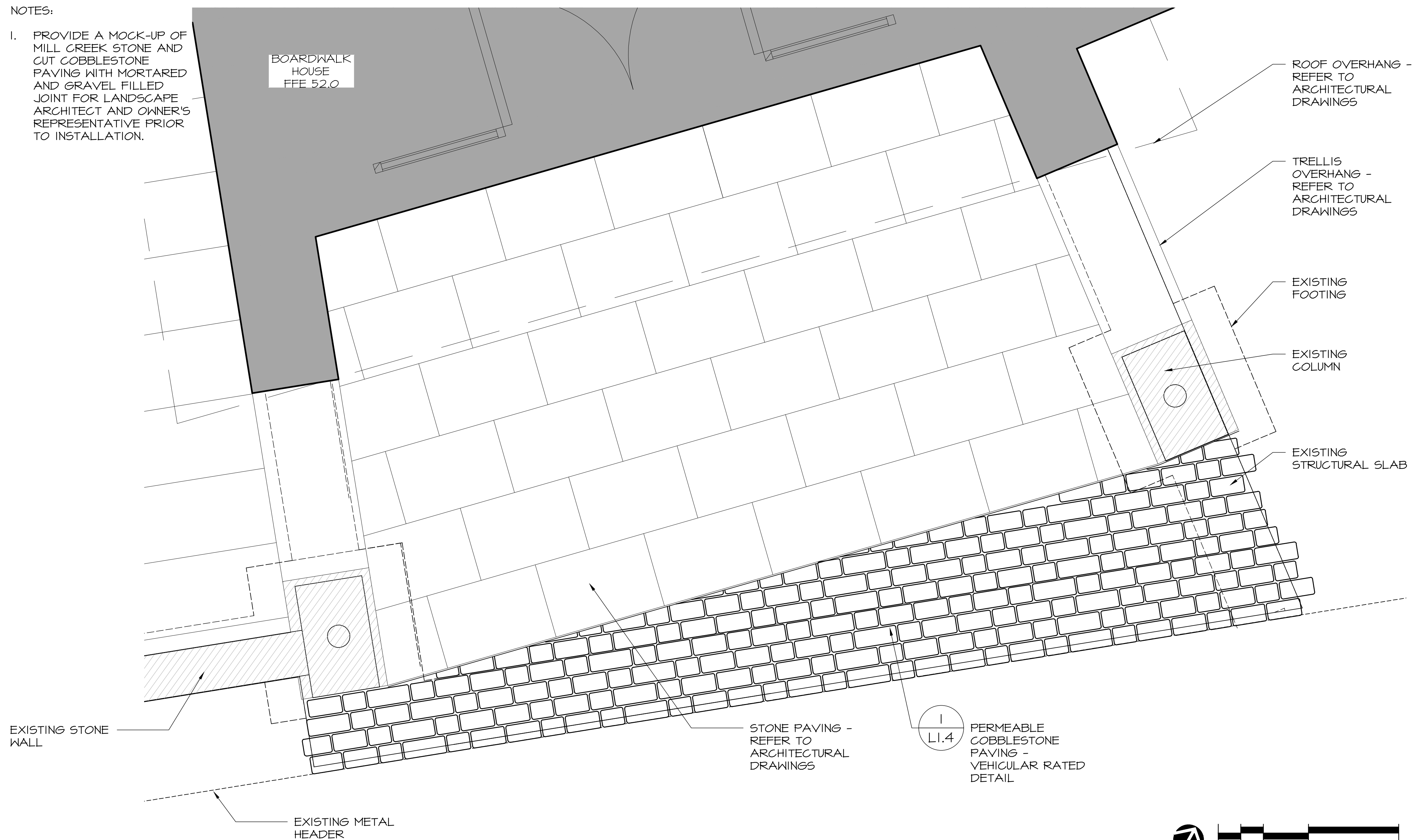
T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Hines Landscape Boardwalk House Permit Set\Hines Re-submittal\Hines_BW_Details.dwg, L1.7 Materials Details, 12/11/2020 12:39:08 PM, AutoCAD PDF (Smallest File) ps3, ARCH full bleed D (36.00 x 24.00 inches), 1:1



SECTION
SCALE: 1-1/2"=1'-0"

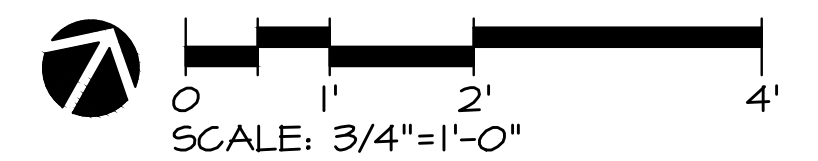
NOTES:

1. PROVIDE A MOCK-UP OF MILL CREEK STONE AND CUT COBBLESTONE PAVING WITH MORTARED AND GRAVEL FILLED JOINT FOR LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

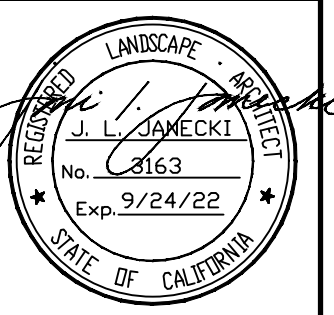


PLAN

1 COBBLESTONE PAVING AND MILL CREEK PAVING DETAIL
SCALE: AS NOTED



NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
HINES RESIDENCE
7 CARMEL WAY
CARMEL, CA 93923
APN: 010-321-020

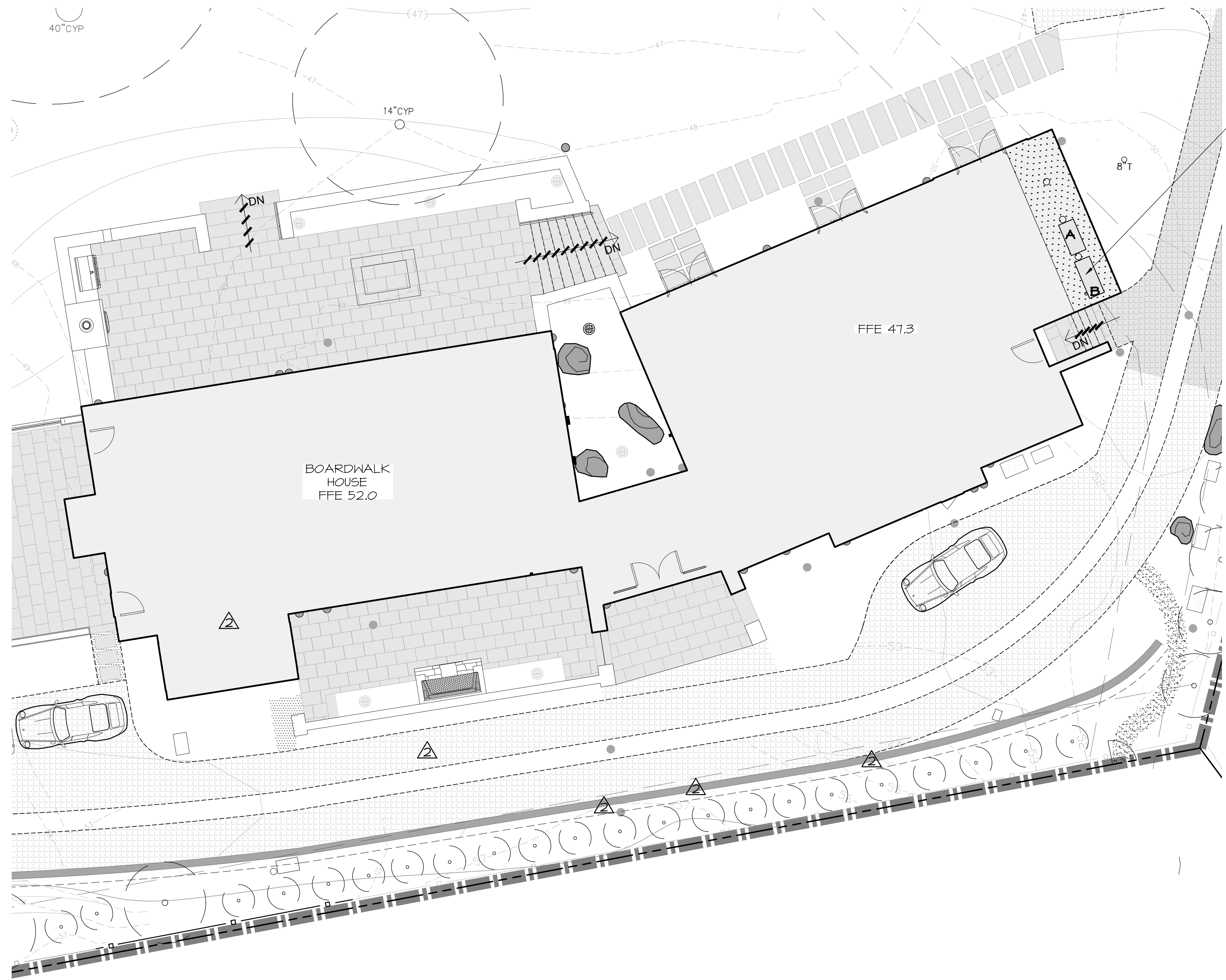
SHEET TITLE:
MATERIALS DETAILS

SCALE: AS NOTED
DRAWN BY: AZMMOON/FP
DATE: 12/02/20

BW
L1.7

ORIGINAL SHEET SIZE: 24" x 36"

T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Hines-Landscape-Boardwalk-House-Permit-Sav\Hines-Res-submittal\Hines-BW_Landscape.dwg, L2.0 Roof Landscape Plan, 12/11/2020 12:55:12 PM, AutoCAD PDF (Smallest File).pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1



LEGEND	
	GRAVEL MIX: BOTTOM LAYER: 1" DEPTH 3/8-INCH ROUNDED TUSCANY
	TOP LAYER: 40% 1/2 TO 1-INCH BLACK MEXICAN PEBBLE 60% 1 TO 2-INCH IVORY MEXICAN PEBBLE

- NOTES:
- GRAVEL MIX MOCK-UP 3'-0" X 3'-0" TO BE ASSEMBLED FOR REVIEW BY LANDSCAPE ARCHITECT AND CLIENT'S REPRESENTATIVE.
 - GRAVEL MIX TO BE MIXED AND PLACED BY HAND.

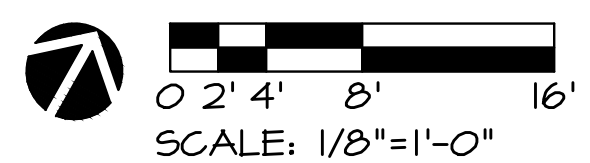
PLANTER POT - REFER TO SPECIFICATION BELOW, THIS SHEET

PLANTING IN POTS TO GROW NO TALLER THAN SECOND FLOOR ROOF OVERHANG. POTS ARE LOCATED ON FIRST FLOOR ROOF DECK.



FINAL FINISH SELECTION TO BE DETERMINED.

WILSHIRE PLANTER - TOURNESOL SITEWORKS PLANTERS*:
 (1) PLANTER A - 49-1/2" LONG X 24" WIDE X 24" HIGH**
 (1) PLANTER B - 58-1/2" LONG X 24" WIDE X 24" HIGH**
 *THESE PLANTERS ARE NOT STANDARD DIMENSIONS BUT CUSTOM SPECIFICATIONS.
 **AVAILABLE IN LIGHTWEIGHT CONCRETE OR FIBERGLASS
 MANUFACTURER: TOURNESOL SITEWORKS
 TELEPHONE: (800) 542-2282
 WEBSITE: WWW.TOURNESOL.COM
 CONTACT: TROY NOTTINGHAM



REVISIONS AND RECORD OF ISSUE:		
NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
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5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL

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PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
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 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE:
ROOF LANDSCAPE PLAN

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMMOON/FP
 DATE: 12/02/20

BW
L2.0

ORIGINAL SHEET SIZE: 24" X 36"

NOTES:

- ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.
- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- UNSIZE LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

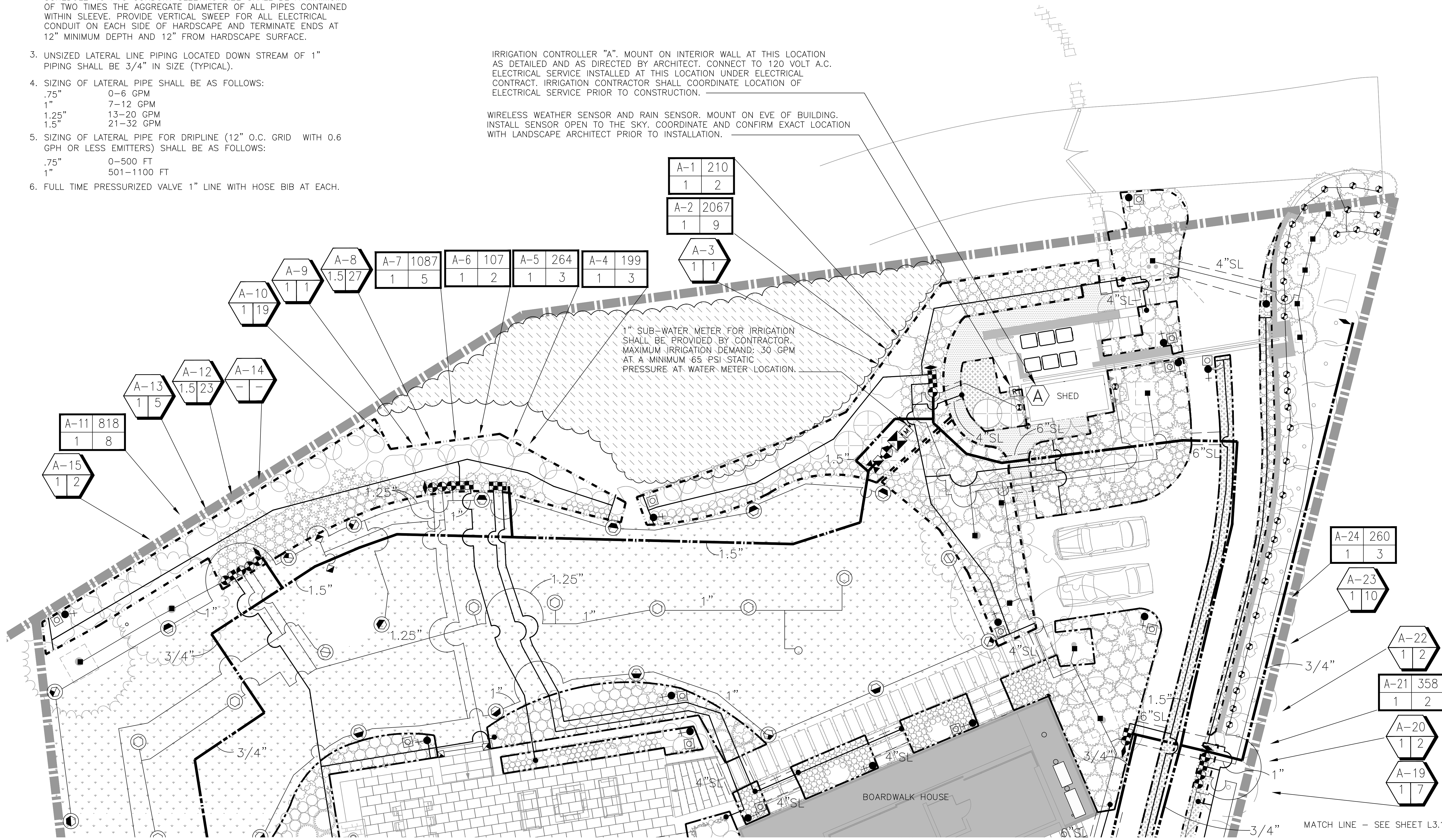
.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
1.5"	21-32 GPM
- SIZING OF LATERAL PIPE FOR DRILINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:

.75"	0-500 FT
1"	501-1100 FT
- FULL TIME PRESSURIZED VALVE 1" LINE WITH HOSE BIB AT EACH.

IRRIGATION CONTROLLER "A". MOUNT ON INTERIOR WALL AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION.

WIRELESS WEATHER SENSOR AND RAIN SENSOR. MOUNT ON EVE OF BUILDING. INSTALL SENSOR OPEN TO THE SKY. COORDINATE AND CONFIRM EXACT LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

1" SUB-WATER METER FOR IRRIGATION SHALL BE PROVIDED BY CONTRACTOR. MAXIMUM IRRIGATION DEMAND: 30 GPM AT A MINIMUM 65 PSI STATIC PRESSURE AT WATER METER LOCATION.



Russell D. Mitchell Associates, Inc.
 2760 Camino Diablo
 Walnut Creek, CA 94597
 tel 925.939.3985 ♦ fax 925.932.5671
 www.rmairrigation.com



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6.	12/02/20	PLANTING ADJUSTMENTS

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PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
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IRRIGATION PLAN

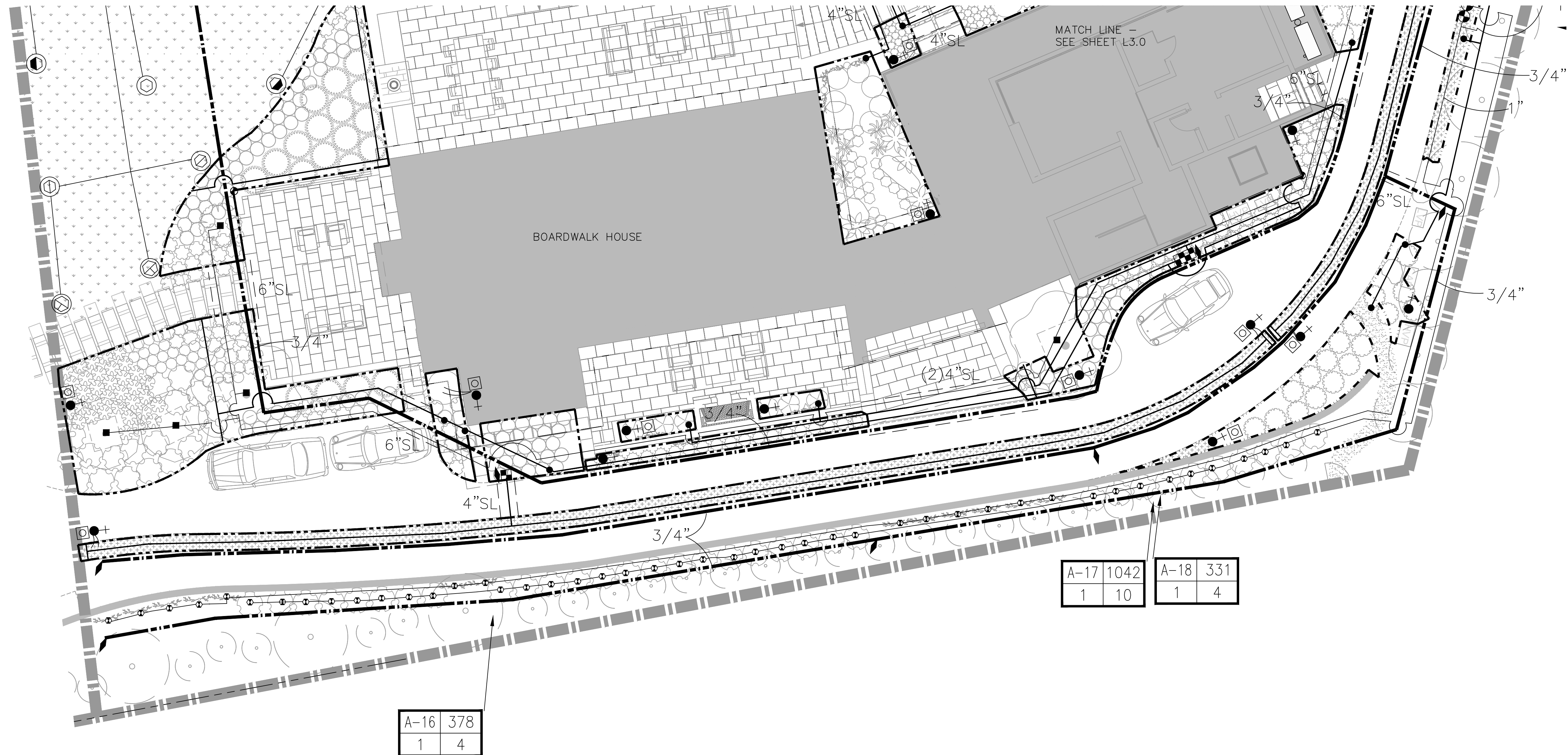
SHEET TITLE:
 SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20
 BW
 L3.0

NOTES:

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.75"	0-6 GPM
1"	7-12 GPM
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1.5"	21-32 GPM
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.75"	0-500 FT
1"	501-1100 FT
- FULL TIME PRESSURIZED VALVE 1" LINE WITH HOSE BIB AT EACH.



A-16	378
1	4

A-17	1042
1	10

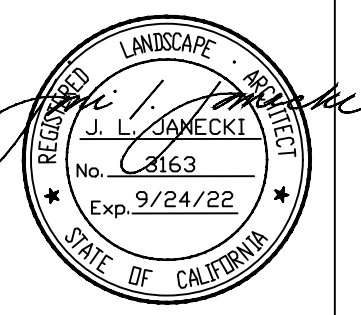
A-18	331
1	4

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ORIGINAL SHEET SIZE: 24" X 36"

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
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PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE:
IRRIGATION PLAN

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MO/MFP
 DATE: 12/02/20

BW
L3.1

IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE INSULATING JACKET. CONTROL WIRE SERVICING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICES SHALL BE MADE WITH 3M-DBY SEAL PACKS OR APPROVED EQUAL.
- INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (AVOID LAWN AREAS WHERE POSSIBLE).
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE.
- LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: REFER TO PLANS.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES IN THE IRRIGATION LAYOUT AND VALVE ZONING DUE TO VARIATIONS IN THE EXISTING SITE CONDITIONS SUCH AS EXPOSURE FROM BUILDINGS, TRELLISES, TREES, ETC., AS WELL AS SLOPE AND SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF THE PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE IRRIGATION SYSTEM DESIGN IF THE PLANTING DESIGN CHANGES FROM THE ORIGINAL PLAN AND NEEDS TO ADAPT TO THE NEW PLANTING DESIGN. THE LANDSCAPE CONTRACTOR NEEDS TO NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.

- WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.
- VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

SYMBOL	DESCRIPTION
	MAIN LINE: 1 1/2" AND SMALLER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.
	LATERAL LINE: 3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.
	SLEEVING: SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.
	DRIPLINE REMOTE CONTROL VALVE
	DRIP ZONE: HUNTER HDL (CHECK VALVE) SERIES DRIPLINE, PART #HDL-06-18. USE PLD-LOC FITTINGS. TUBING TO BE INSTALLED ON GRADE IN A 18" O.C. GRID ACCORDING TO DETAILS. SIZE EXHAUST HEADERS AS FOLLOWS: 1": 0-10 GPM, 1.25": 11-20 GPM. ALL EXHAUST HEADERS SHALL BE 1" SCH 40 PVC OR 1" SCH 40 FLEXIBLE PVC. USE SCH. 40 PVC SOLVENT WELD FITTINGS. EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW IF REQUIRED. SEE DETAILS FOR FURTHER INFORMATION.
	DRIPLINE REMOTE CONTROL VALVE
	DRIP ZONE: HUNTER HDL (CHECK VALVE) SERIES DRIPLINE, PART #HDL-06-12. USE PLD-LOC FITTINGS. TUBING TO BE INSTALLED ON GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS. SIZE EXHAUST HEADERS AS FOLLOWS: 1": 0-10 GPM, 1.25": 11-20 GPM. ALL EXHAUST HEADERS SHALL BE 1" SCH 40 PVC OR 1" SCH 40 FLEXIBLE PVC. USE SCH. 40 PVC SOLVENT WELD FITTINGS. EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW IF REQUIRED. SEE DETAILS FOR FURTHER INFORMATION.

IRRIGATION COORDINATION NOTES

- PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL A LOCALLY APPROVED BACKFLOW PREVENTION DEVICE TO PROTECT ALL IRRIGATION STUB-OUTS.
- COPPER PIPING WITHIN STRUCTURE SHALL BE PROVIDED, ROUTED, AND INSTALLED BY PLUMBING CONTRACTOR. EXIT OF PIPE TO PLANTER SHALL BE 18" BELOW FINISH GRADE.
- IRRIGATION SLEEVING AND/OR CONDUIT IN STRUCTURE TO BE PROVIDED AND INSTALLED UNDER STRUCTURAL WORK.
- ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, PULL BOXES AND WIRE IN STRUCTURE. THE DRAWINGS INDICATE REQUIRED WIRE QUANTITIES FROM A GIVEN PLANTER LOCATION, THROUGH STRUCTURE, TO THE CONTROLLER LOCATION. 14 GAUGE WIRE SHALL BE USED FOR CONTROL WIRINGS AND 12 GAUGE FOR COMMON GROUND. FINAL CONNECTION OR WIRING TO REMOTE CONTROL VALVES AND CONTROLLER SHALL BE COMPLETED BY IRRIGATION CONTRACTOR.

CALGREEN MEASURES

4.304 OUTDOOR WATER USE

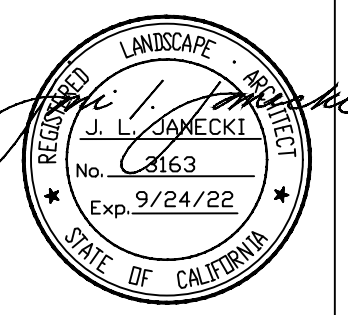
4.304.1 IRRIGATION CONTROLLERS. Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:

- Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
- Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.
 - Note:** More information regarding irrigation controller function and specifications is available from the Irrigation Association.

IRRIGATION LEGEND

SYMBOL	NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
	T5-P-CK/3.0LA	TORO POP-UP ROTARY SPRINKLER	3.0	45	25-30
	T5-P-CK/1.5LA	TORO POP-UP ROTARY SPRINKLER	1.6	45	25-30
	570Z-6P-XF-COM/PRN-TF (360')	TORO POP-UP STREAM ROTATING SPRINKLER (TURF)	2.56	40	16-20
	570Z-6P-XF-COM/PRN-TA (45'-270')	TORO POP-UP STREAM ROTATING SPRINKLER (TURF)	1.22,0.62	40	16-20
	570Z-6P-PRX-COM/O-T-15FP	TORO POP-UP SPRAY SPRINKLER (TURF)	2.3	30	12-15
	570Z-6P-PRX-COM/O-T-8HP	TORO POP-UP SPRAY SPRINKLER (TURF)	0.33	30	6-8
	DB-15-PC-CV	TORO BUBBLER, 1 PER SHRUB	0.25	30	TRICKLE
	570S/FB-50-PC	TORO BUBBLER, 2 PER TREE MINIMUM	0.5	30	TRICKLE
	PLD-BV	HUNTER MANUAL FLUSH VALVE			
	570Z-6P-SI-PRX/O-T-5-QP	TORO POP-UP SPRINKLER WITH SIDE INLET AND A CLOSED 5' NOZZLE TO BE USED AS DRIPLINE INDICATOR			
	—	IRRIGATION POINT OF CONNECTION TO COPPER PIPE ROUTED THROUGH THE BUILDING AND STUBBED OUT INTO PLANTERS WHERE SHOWN. WORK TO BE BY PLUMBING CONTRACTORS.			
	ICV-101-AS-40	HUNTER REMOTE CONTROL VALVE			
	ICZ-101	HUNTER REMOTE CONTROL VALVE DRIPZONE KIT			
	—	APPROXIMATE CONNECTION POINT BETWEEN DRIPLINE TUBING AND PVC SUPPLY. REFER TO DRIPLINE TUBING CONNECTION DETAIL FOR MORE INFORMATION.			
	WT-MV-150G-NNO	MASTER VALVE (NORMALLY OPEN)			
	WM-100-1.0-RS-M	NETAFIM 1" WATER METER			
	WT-FS-100-CTS	WeatherTRAK 1" FLOW SENSOR			
	HB-2M	CHAMPION HOSE BIBE			
	975XLSEU-1"	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY PROVIDED AND INSTALLED BY PLUMBER			
	T113-K	NIBCO GATE VALVE (LINE SIZE) PROVIDED AND INSTALLED BY PLUMBER			
	WT-WRS	WIRELESS RAIN SENSOR			
	WTLC-C-24-PL	WeatherTRAK LC SMART CONTROLLER IN A WALL MOUNTED ENCLOSURE WITH CELL COMMUNICATION TO THE CLOUD FOR DAILY WEATHER UPDATES AND REMOTE ACCESS. CONTROLLER AND STATION NUMBER			
	—	FLOW (GPM)			
	—	REMOTE CONTROL VALVE SIZE (IN INCHES)			
	—	ASSOCIATED REMOTE CONTROL VALVE			
	—	CONTROLLER AND STATION NUMBER			
	—	AREA (SQ. FT.)			
	—	FLOW (GPM)			
	—	REMOTE CONTROL VALVE SIZE (IN INCHES)			
	—	ASSOCIATED REMOTE CONTROL VALVE			

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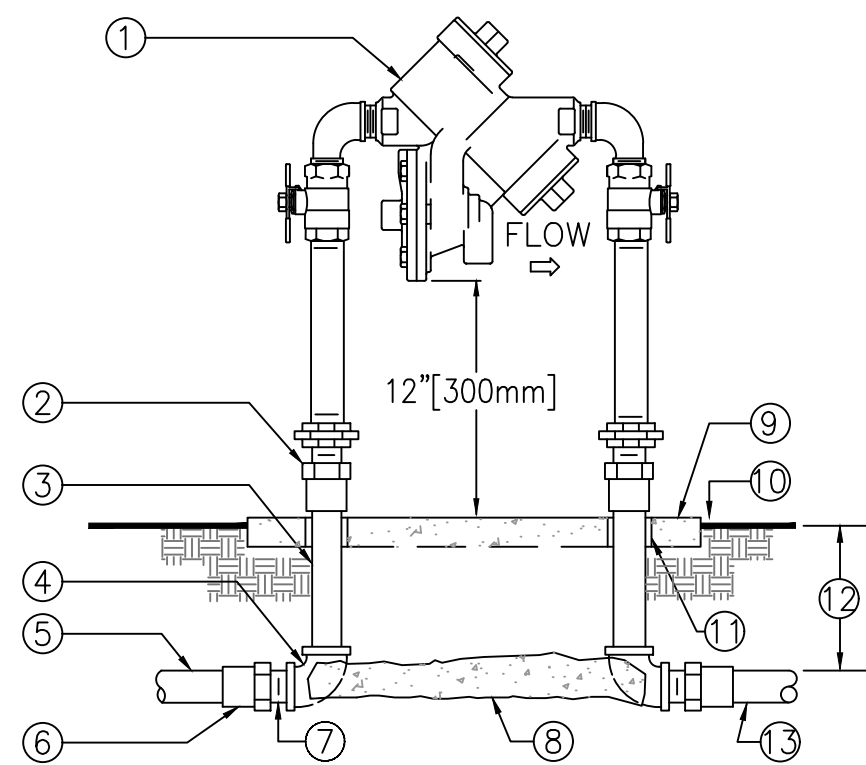
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IRRIGATION LEGEND
 AND NOTES

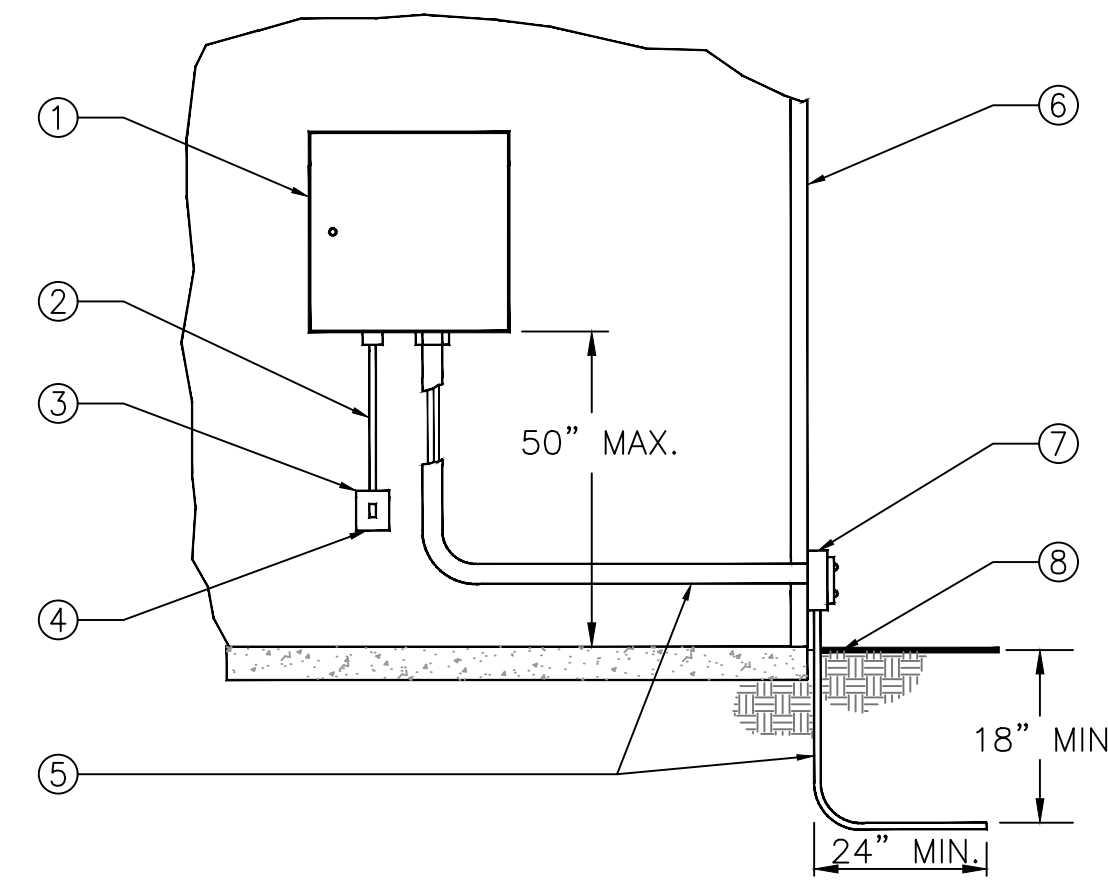
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 SCALE:
 DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20

BW
 L3.2

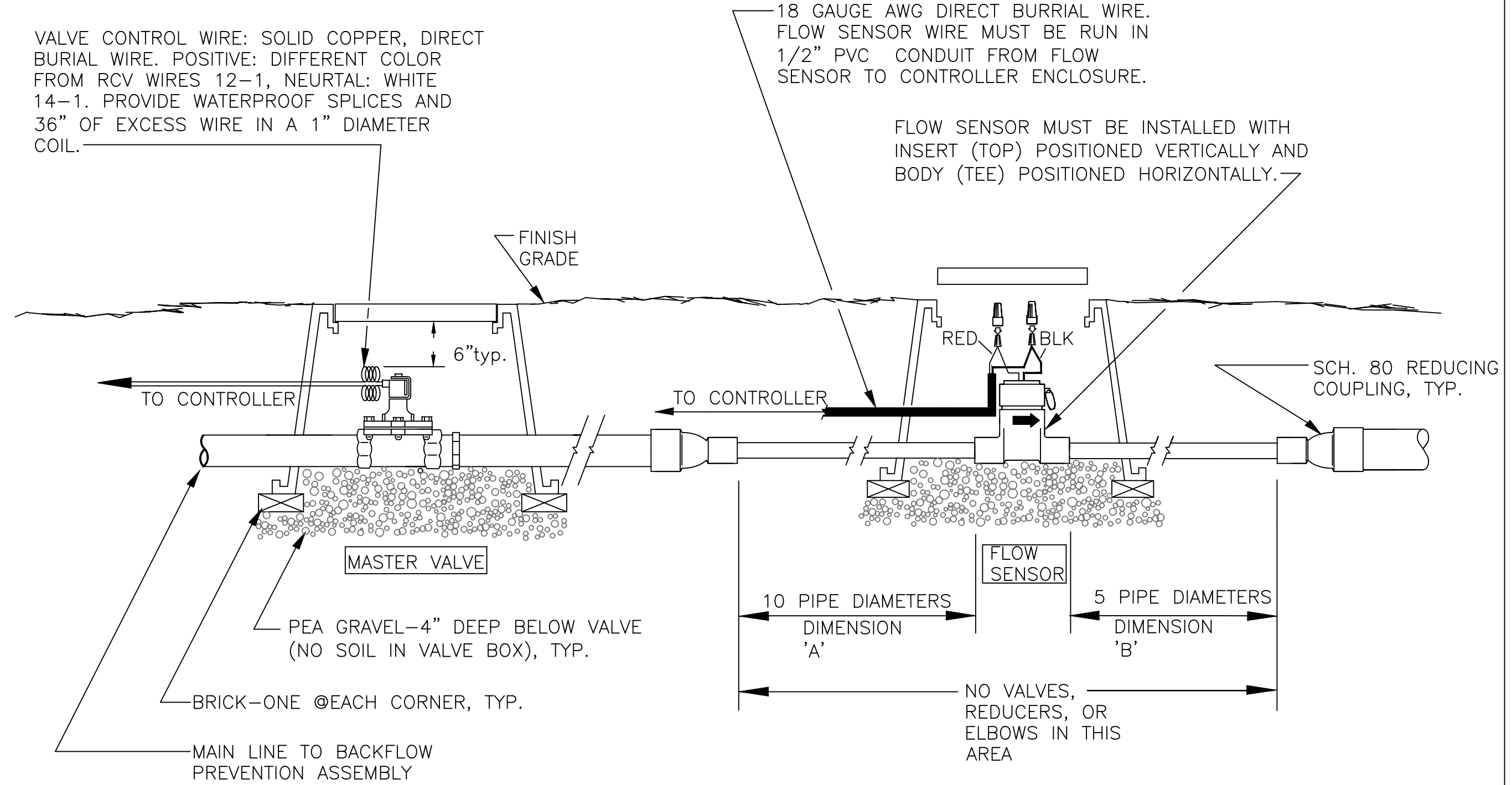


- ① REDUCED PRESSURE BACKFLOW ASSEMBLY.
- ② WROUGHT COPPER MALE ADAPTER-2 TOTAL (SOLDER x THREAD CONNECTION).
- ③ COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
- ④ WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER x THREAD CONNECTION).
- ⑤ PVC MAIN LINE TO POINT OF CONNECTION.
- ⑥ BUSH AS NECESSARY FOR SIZE TRANSITION.
- ⑦ SCHEDULE 40 PVC MALE ADAPTER-2 TOTAL.
- ⑧ CONCRETE SUPPORT BLOCK.
- ⑨ CONCRETE PAD-SEE ENCLOSURE DETAIL.
- ⑩ FINISH GRADE.
- ⑪ PVC SLEEVE BOTH SIDES.
- ⑫ REFER TO IRRIGATION LEGEND.
- ⑬ PVC MAIN LINE TO POINT OF CONNECTION.
- ⑭ PVC MAIN LINE TO IRRIGATION SYSTEM.

NOTES:
 1. INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN.
 2. DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. THIS MAY CAUSE DAMAGE TO DEVICE.
 3. NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.
 4. PROVIDE A STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.



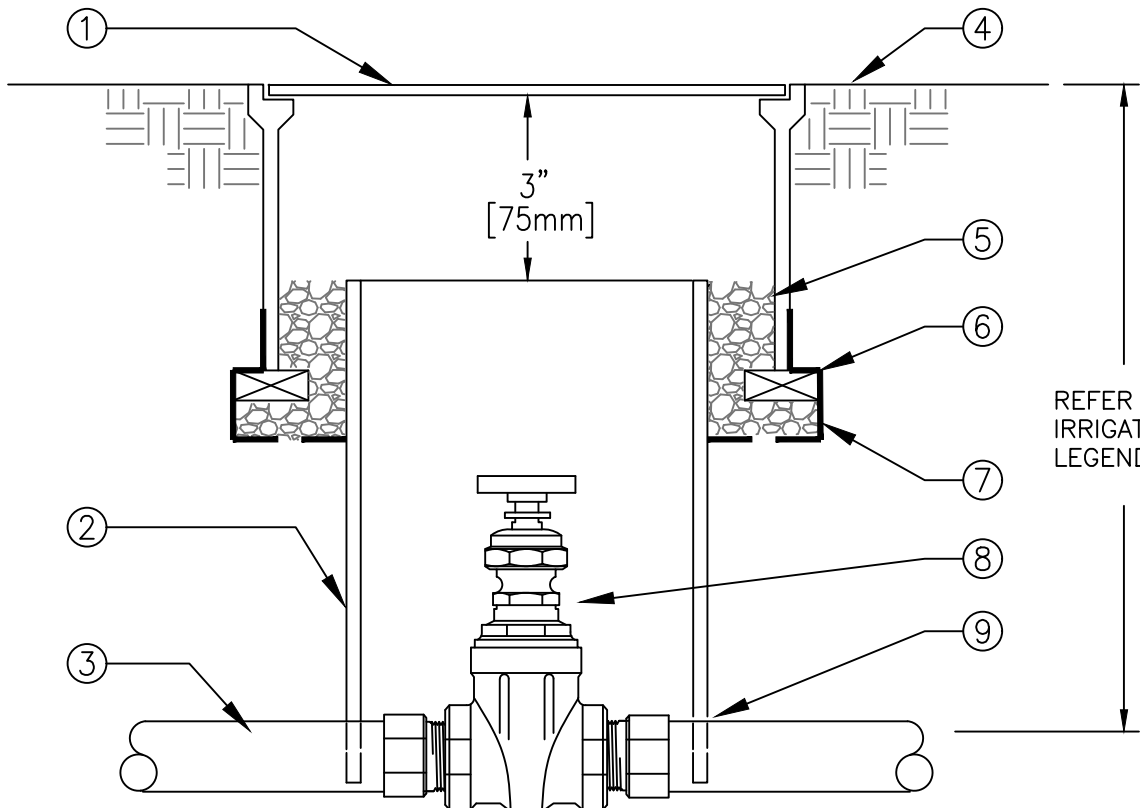
- ① IRRIGATION CONTROLLER
- ② 120 VOLT SERVICE IN RIGID STEEL CONDUIT
- ③ 120 VOLT LOCKABLE ON/OFF SWITCH PROVIDED UNDER IRRIGATION CONTRACT
- ④ 120 VOLT SERVICE TO CONTROLLER LOCATION PROVIDED BY ELECTRICAL CONTRACTOR
- ⑤ SCHEDULE 40 GREY PVC ELECTRICAL CONDUIT FOR LOW VOLTAGE WIRE
- ⑥ EXTERIOR WALL
- ⑦ ELECTRICAL PULL BOX PER ELECTRICAL CODE
- ⑧ FINISH GRADE



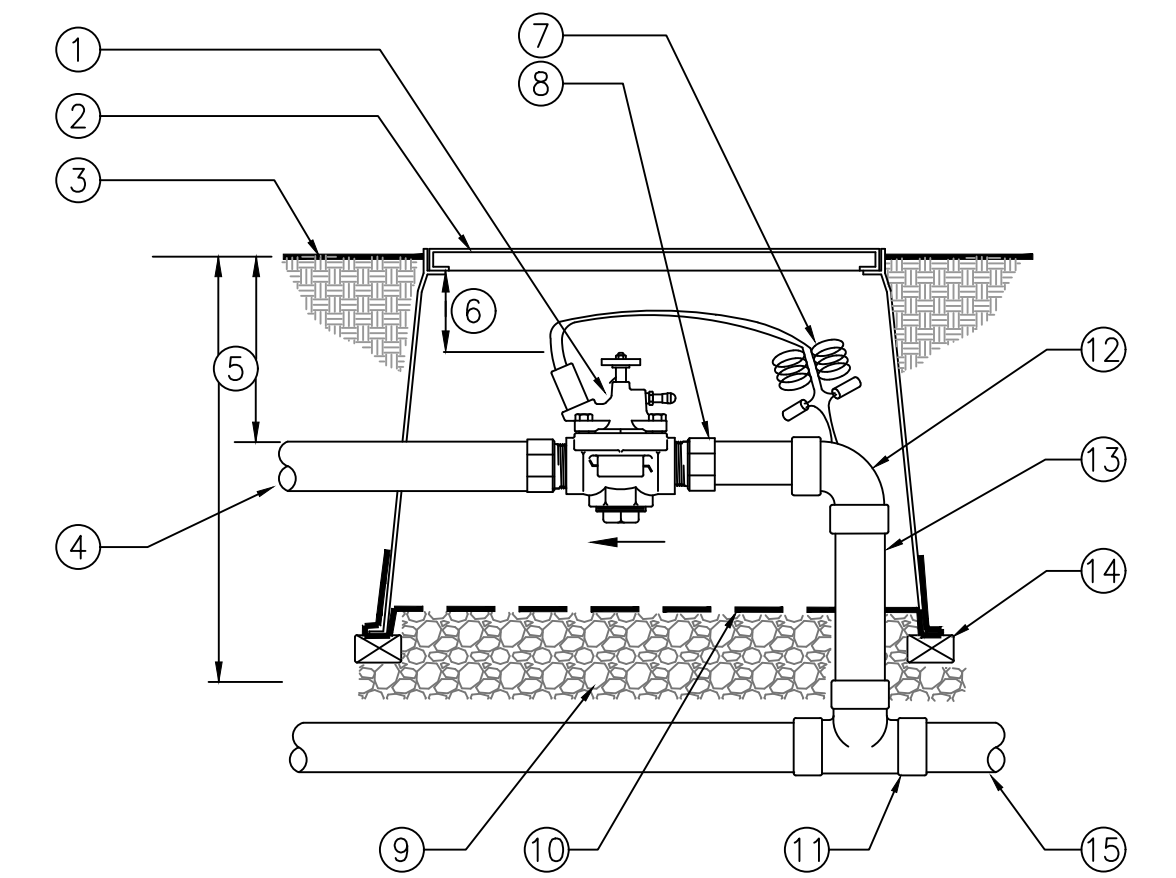
3 INSTALLATION DETAIL - MASTER VALVE/FLOW SENSOR
SCALE: NONE

1 REDUCED PRESSURE BACKFLOW ASSEMBLY
SCALE: NONE

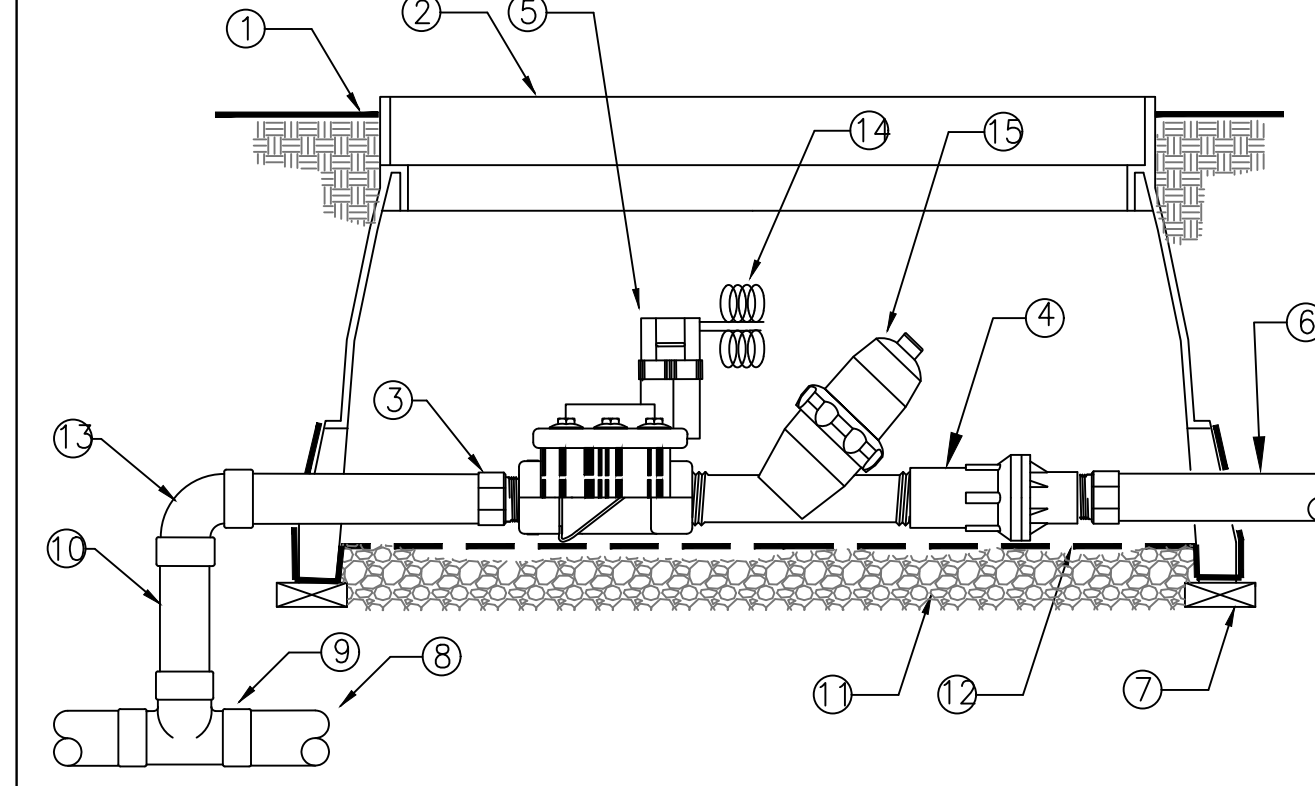
2 INTERIOR MOUNTED CONTROLLER
SCALE: NONE
DET: INT-C1



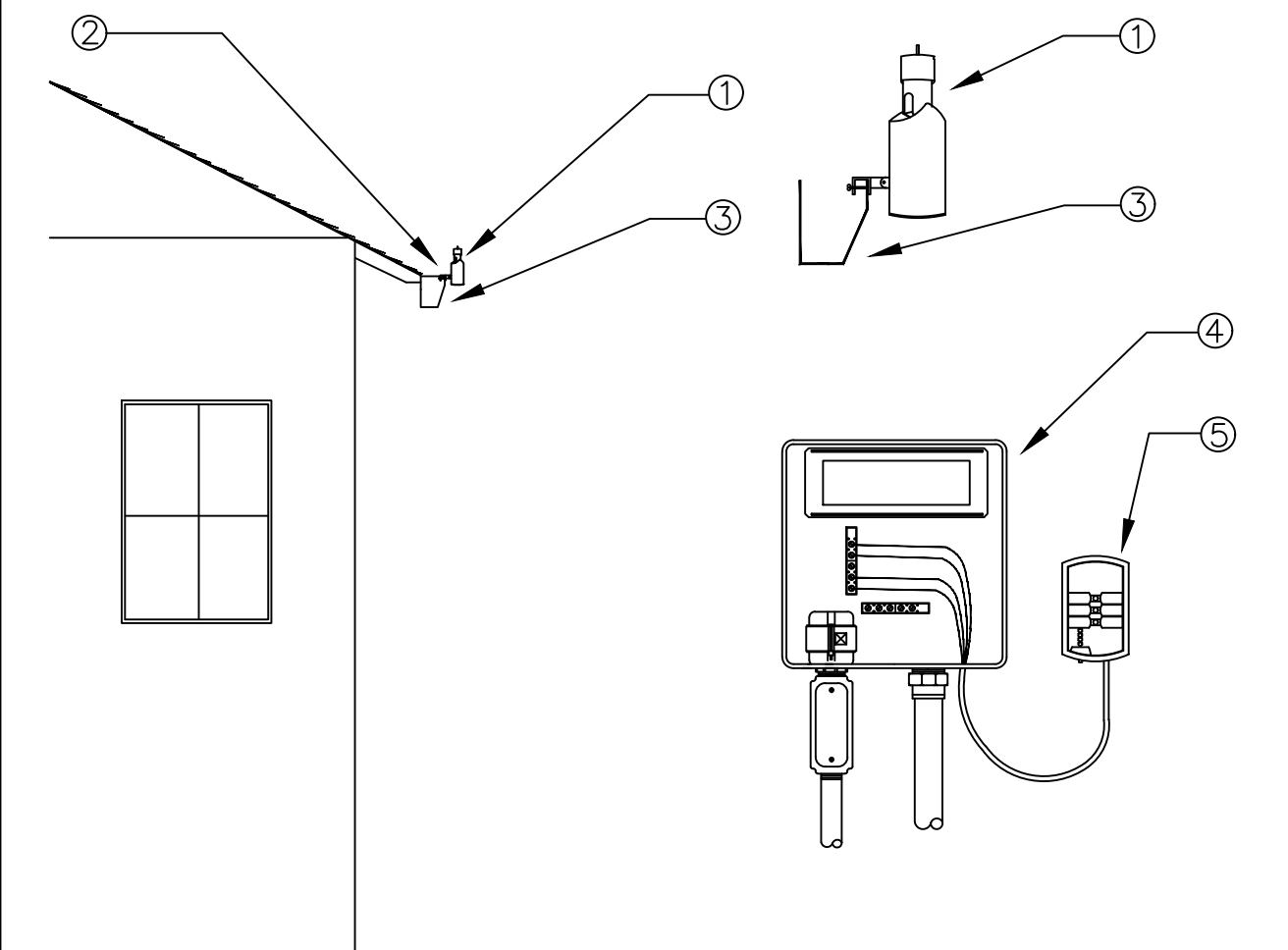
- ① 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- ② 8" [200mm] CLASS 160 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE).
- ③ PVC MAIN LINE.
- ④ FINISH GRADE.
- ⑤ PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [100mm] DEEP (NO SOIL IN VALVE BOX).
- ⑥ BRICK-2 TOTAL.
- ⑦ 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- ⑧ GATE VALVE.
- ⑨ MALE ADAPTER. REFER TO LEGEND FOR FITTING TYPE.



- ① REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED
- ② 10" ROUND VALVE BOX. ONE VALVE PER BOX- NO EXCEPTIONS.
- ③ FINISH GRADE
- ④ PVC LATERAL LINE
- ⑤ REFER TO IRRIGATION LEGEND
- ⑥ 3" MIN 6" MAX
- ⑦ VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 24" OF EXCESS WIRE IN A 1" DIAMETER COIL
- ⑧ SCHEDULE 40 MALE ADAPTER (2 TOTAL)
- ⑨ PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [100mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- ⑩ 19 GAUGE 1/2" [12mm] SQUARE WIRE MESH.
- ⑪ UPC APPROVED SCHEDULE 40 PVC TEE
- ⑫ SCHEDULE 40 PVC 90° ELBOW (SXS)
- ⑬ SCHEDULE 40 PVC
- ⑭ BRICK-1 EACH CORNER
- ⑮ PVC MAIN LINE



- ① FINISH GRADE
- ② RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- ③ SCHEDULE 40 MALE ADAPTER (2 TOTAL)
- ④ PRESSURE REGULATOR (INCLUDED IN DRIP ZONE KIT)
- ⑤ REMOTE CONTROL VALVE DRIP ZONE KIT. (SHALL INCLUDE VALVE, FILTER AND A 40 PSI PRESSURE REDUCING VALVE)
- ⑥ PVC LATERAL LINE.
- ⑦ BRICK-1 EACH CORNER.
- ⑧ PVC MAIN LINE.
- ⑨ UPC APPROVED SCHEDULE 40 PVC TEE.
- ⑩ SCHEDULE 40 PVC
- ⑪ PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [102mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- ⑫ 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- ⑬ SCHEDULE 40 PVC 90° ELBOW (SXS).
- ⑭ VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 2' [1m] OF EXCESS WIRE IN A 1" [25mm] DIAMETER COIL.
- ⑮ Y-FILTER (INCLUDED IN DRIP ZONE KIT)



- NOTE: MAXIMUM LINE OF SIGHT FROM RAIN SENSOR TO RECEIVER IS 300 FT. DISTANCE IS LESS IF OBSTRUCTIONS EXIST. SENSOR MUST BE INSTALLED IN "CLEAR SPACE" WHERE IT IS EXPOSED TO UNOBSTRUCTED RAINFALL AND IS CLEAR OF IRRIGATION SPRAY.
- ① WIRELESS RAIN SENSOR TRANSMITTER (GUTTER MOUNTED)
 - ② MOUNT RAIN SENSOR ON GUTTER/EVE
 - ③ GUTTER
 - ④ CONTROLLER
 - ⑤ RAIN SENSOR RECEIVER

5 GATE VALVE
SCALE: NONE
DET: SGVD

6 REMOTE CONTROL VALVE
SCALE: NONE

7 REMOTE CONTROL VALVE (DRIPZONE)
SCALE: NONE

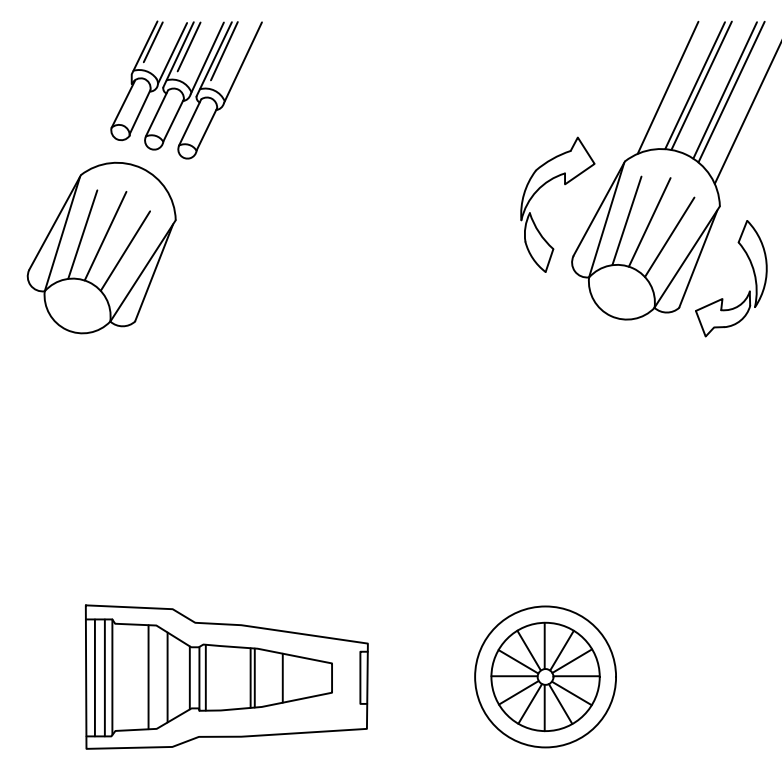
4 WIRELESS RAIN SENSOR-GUTTER MOUNT
SCALE: NONE

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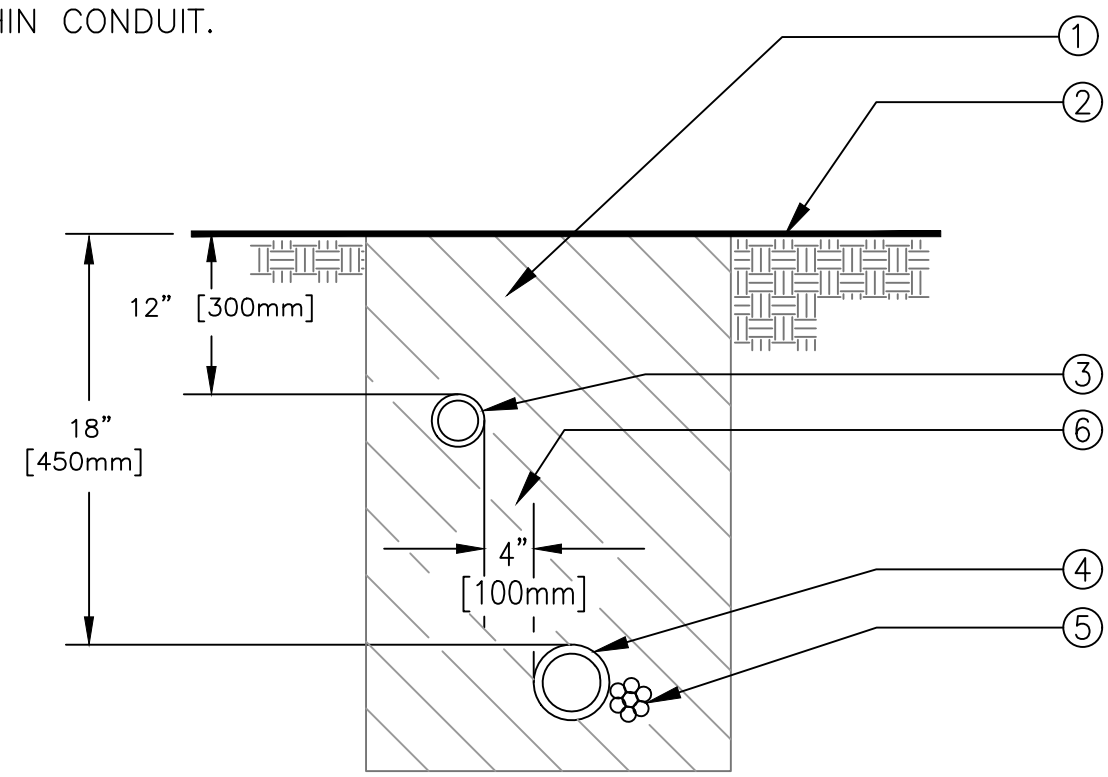
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 DATE: 12/02/20



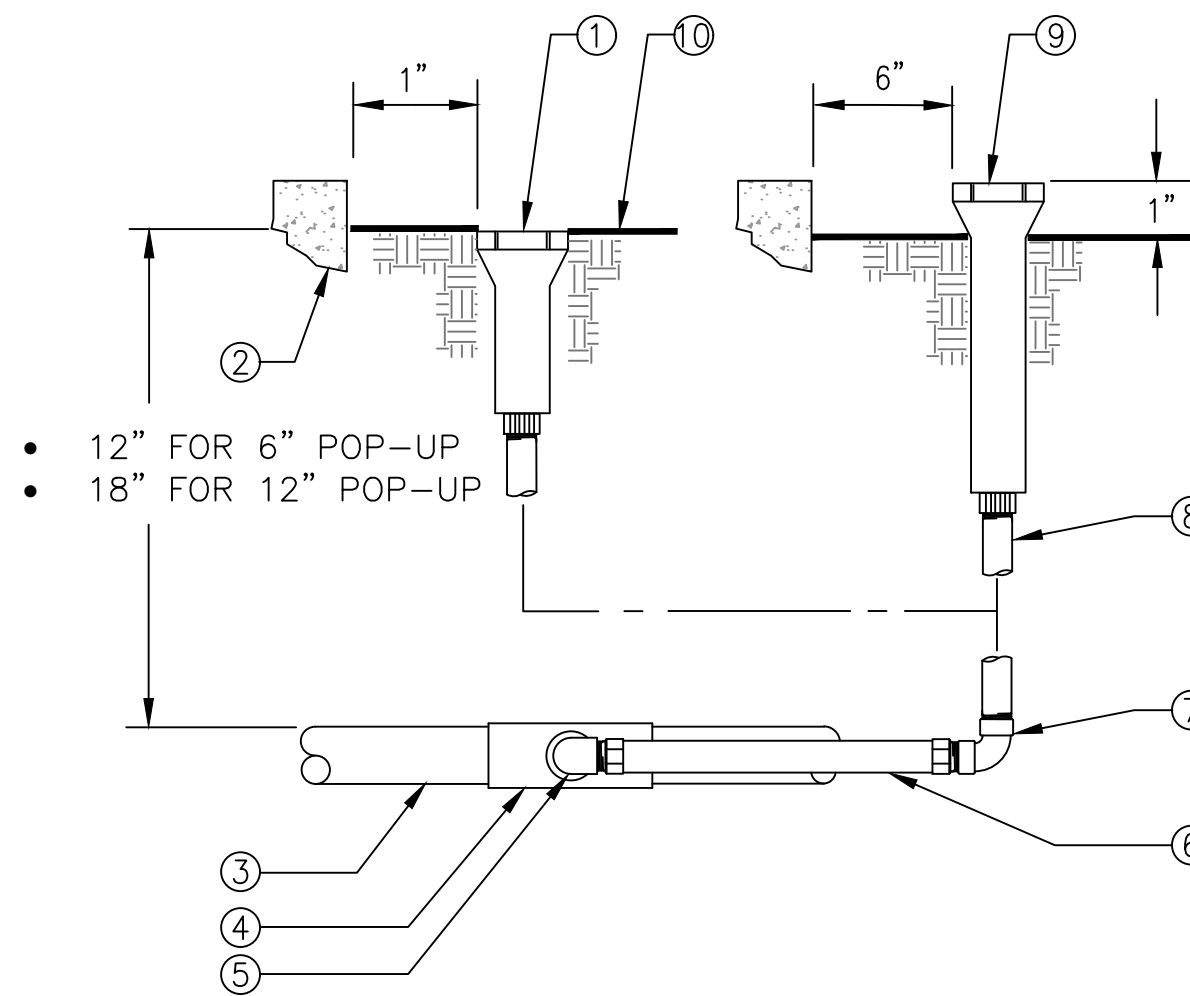
INSTRUCTIONS:

1. STRIP WIRES APPROXIMATELY 1/2" TO EXPOSE WIRE.
2. ALIGN FRAYED STRANDS OR CONDUCTORS
3. NO PRE-TWISTING NEEDED. HOLD WIRES TOGETHER WITH ENDS EVEN. NOTE: TWIST AND LEAD STRANDED WIRES SLIGHTLY
4. PUSH WIRES FIRMLY INTO CONNECTOR WHEN STARTING
5. TWIST CONNECTOR ONTO WIRES PUSHING FIRMLY UNTIL TIGHT. DO NOT OVER TORQUE. DO NOT REUSE.

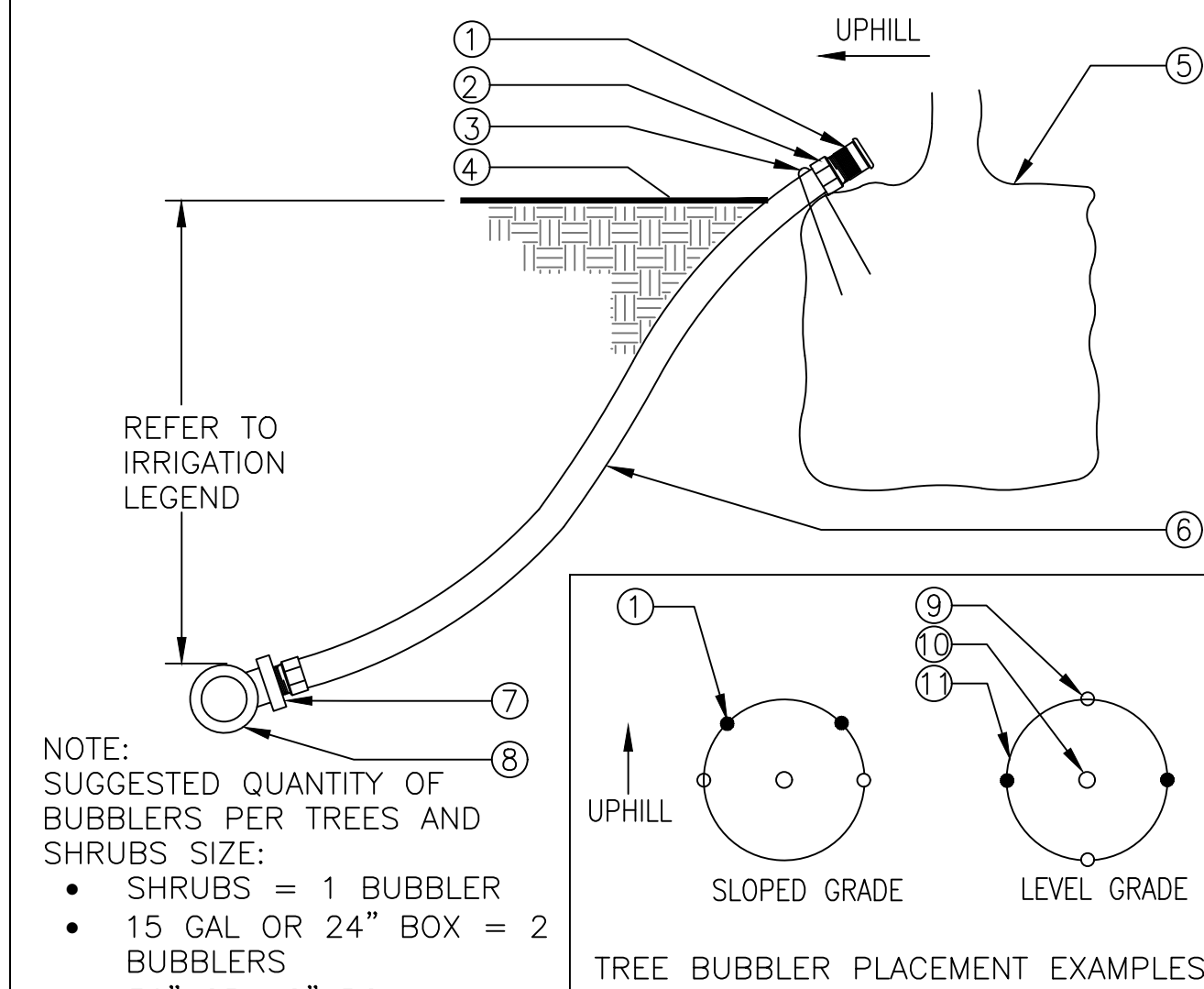
NOTES:
 1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES. DO NOT TAPE WIRES WITHIN CONDUIT.



- 1 CLEAN BACKFILL MATERIAL.
- 2 FINISH GRADE.
- 3 LATERAL LINE.
- 4 MAIN LINE.
- 5 LOW VOLTAGE CONTROL WIRE. TAPE AND BUNDLE TUBING OR WIRING AT 10 FT. INTERVALS. WIRING SHALL BE LAID OUT LOOSELY IN THE TRENCH.
- 6 TYPICAL DISTANCE BETWEEN PIPES.

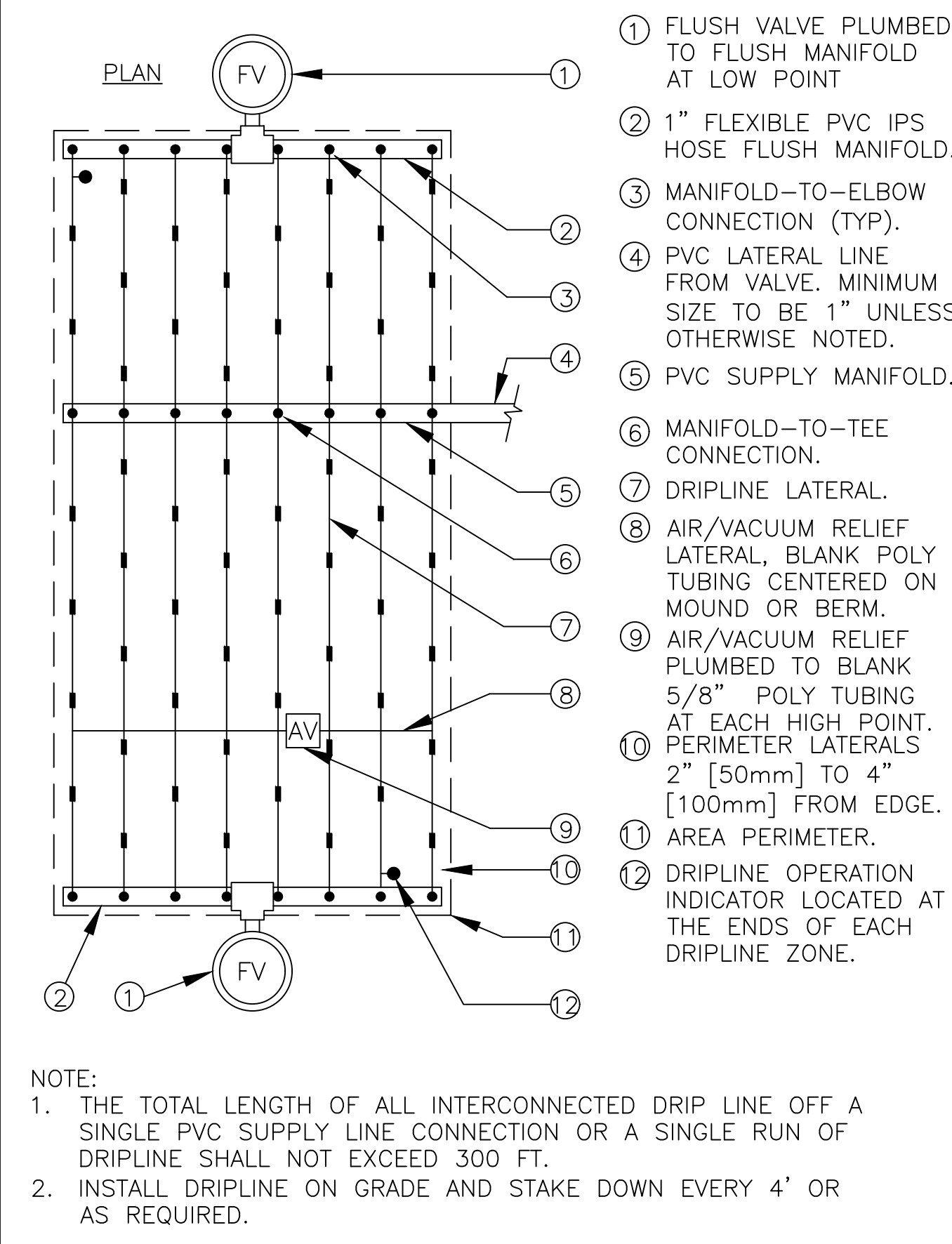


- 12" FOR 6" POP-UP
 - 18" FOR 12" POP-UP
- 1 POP-UP LAWN.
 - 2 WALL, WALK, CURB OR BUILDING.
 - 3 PVC LATERAL LINE.
 - 4 SCH. 40 PVC TEE OR ELBOW.
 - 5 1/2" SCH. 40 PVC STREET ELL.
 - 6 1/2" FLEXIBLE IPS HOSE 6" LONG WITH MALE ADAPTERS.
 - 7 1/2" SCH. 40 PVC THREADED 90° ELL.
 - 8 1/2" SCH. 80 PVC THREADED NIPPLE (LENGTH AS REQUIRED).
 - 9 POP-UP SHRUB SPRAY SPRINKLER OR BUBBLER.
 - 10 FINISH GRADE.



- NOTE:**
 SUGGESTED QUANTITY OF BUBBLERS PER TREES AND SHRUBS SIZE:
- SHRUBS = 1 BUBBLER
 - 15 GAL OR 24" BOX = 2 BUBBLERS
 - 36" OR 48" BOX = 4 BUBBLERS
- 1 BUBBLER (TO BE INSTALLED ON TOP OF ROOTBALL).
 - 2 1/2" SCH. 40 MALE ADAPTER.
 - 3 6" STAPLE.
 - 4 FINISH GRADE.
 - 5 TREE OR SHRUB ROOTBALL.
 - 6 1/2" IPS FLEXIBLE PVC.
 - 7 PVC TEE (SST), ELBOW (ST) OR FEMALE ADAPTER.
 - 8 PVC LATERAL LINE.
 - 9 TREE STAKES.
 - 10 TREE OR SHRUB.
 - 11 EDGE OF ROOTBALL (TYPICAL).

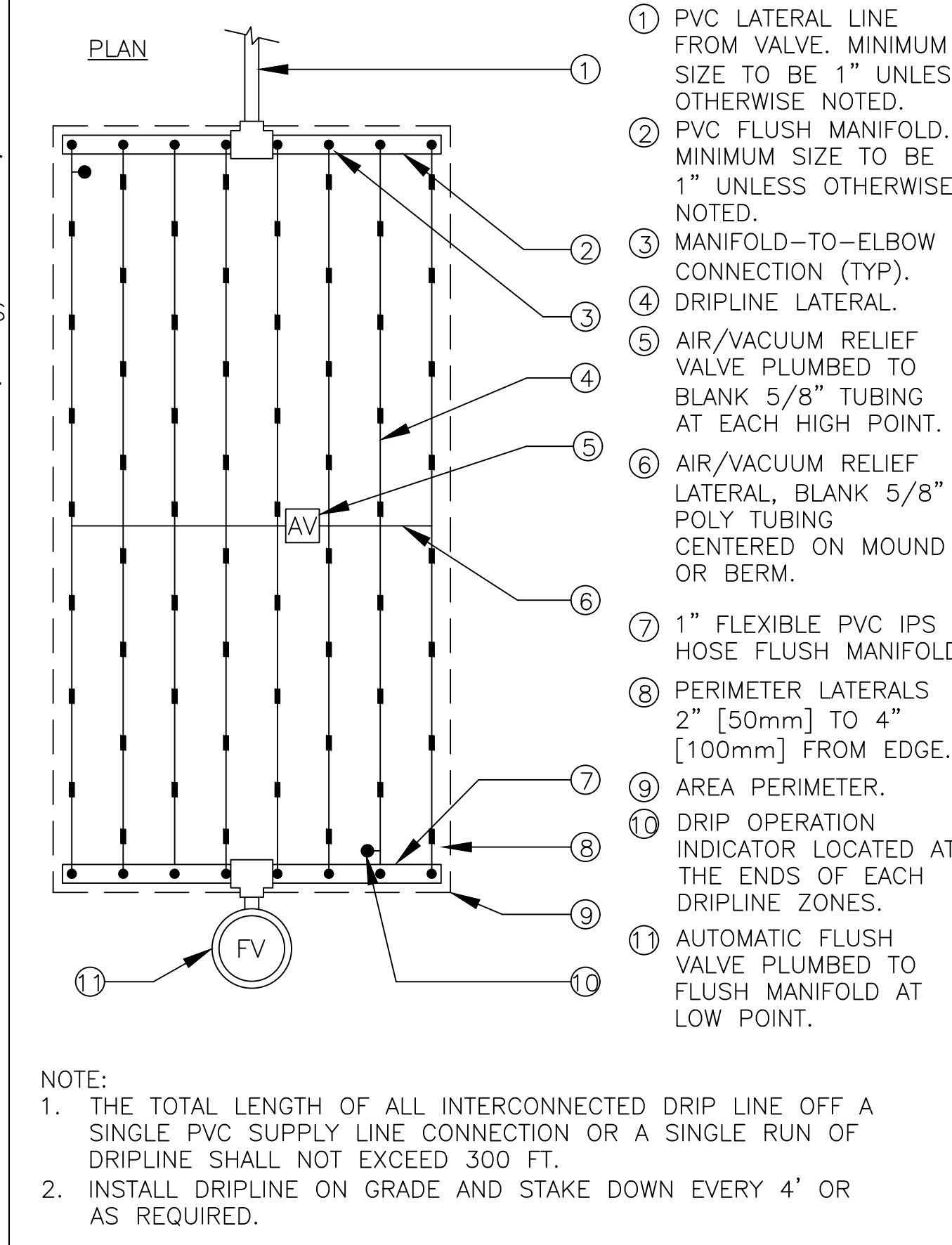
1 WEATHERPROOF SPLICE NUT
 SCALE: NONE



- NOTE:**
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE ON GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

5 HDL DRIPLINE CENTER FEED LAYOUT
 SCALE: NONE

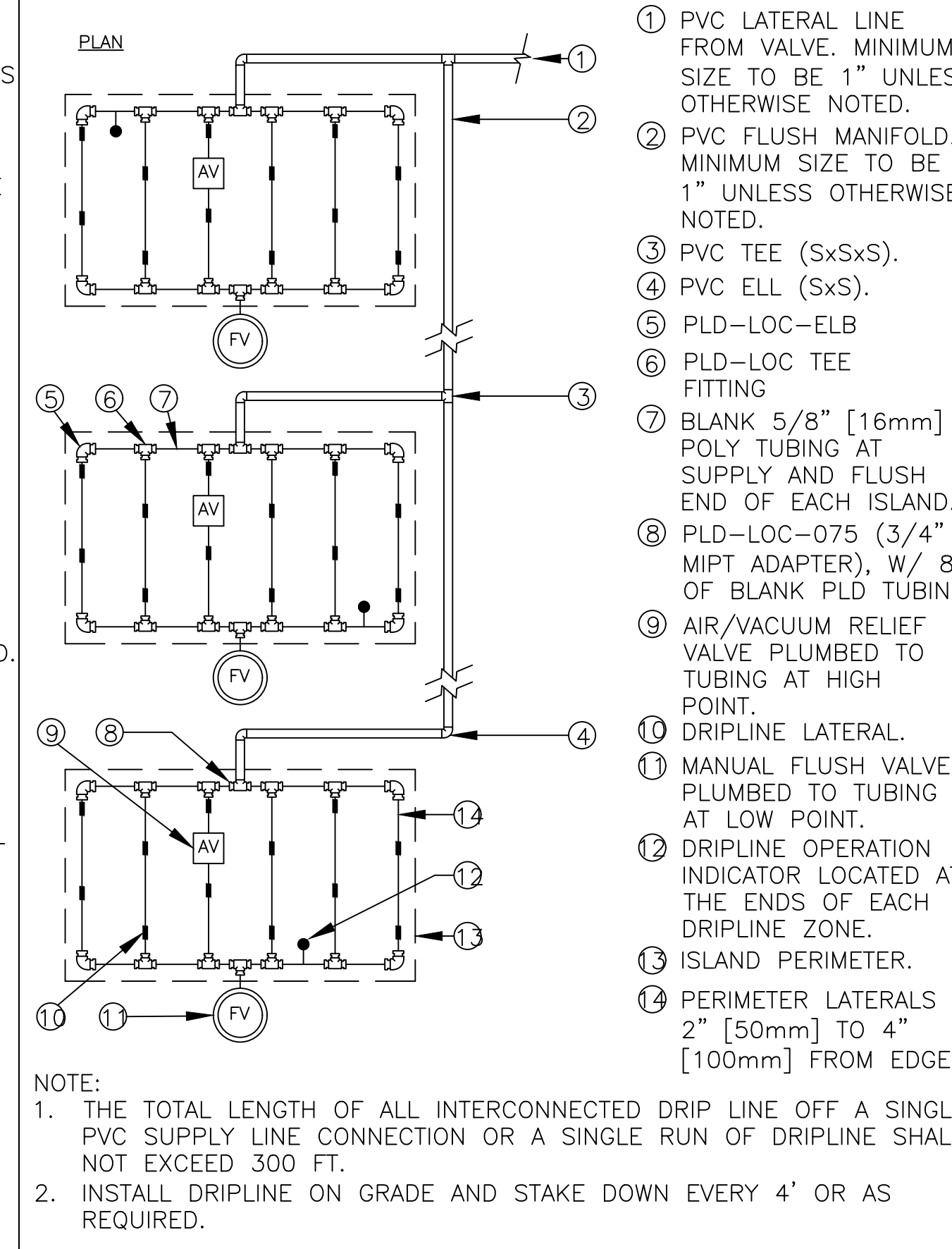
2 TRENCHING
 SCALE: NONE



- NOTE:**
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE ON GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

6 HDL DRIPLINE END FEED LAYOUT
 SCALE: NONE

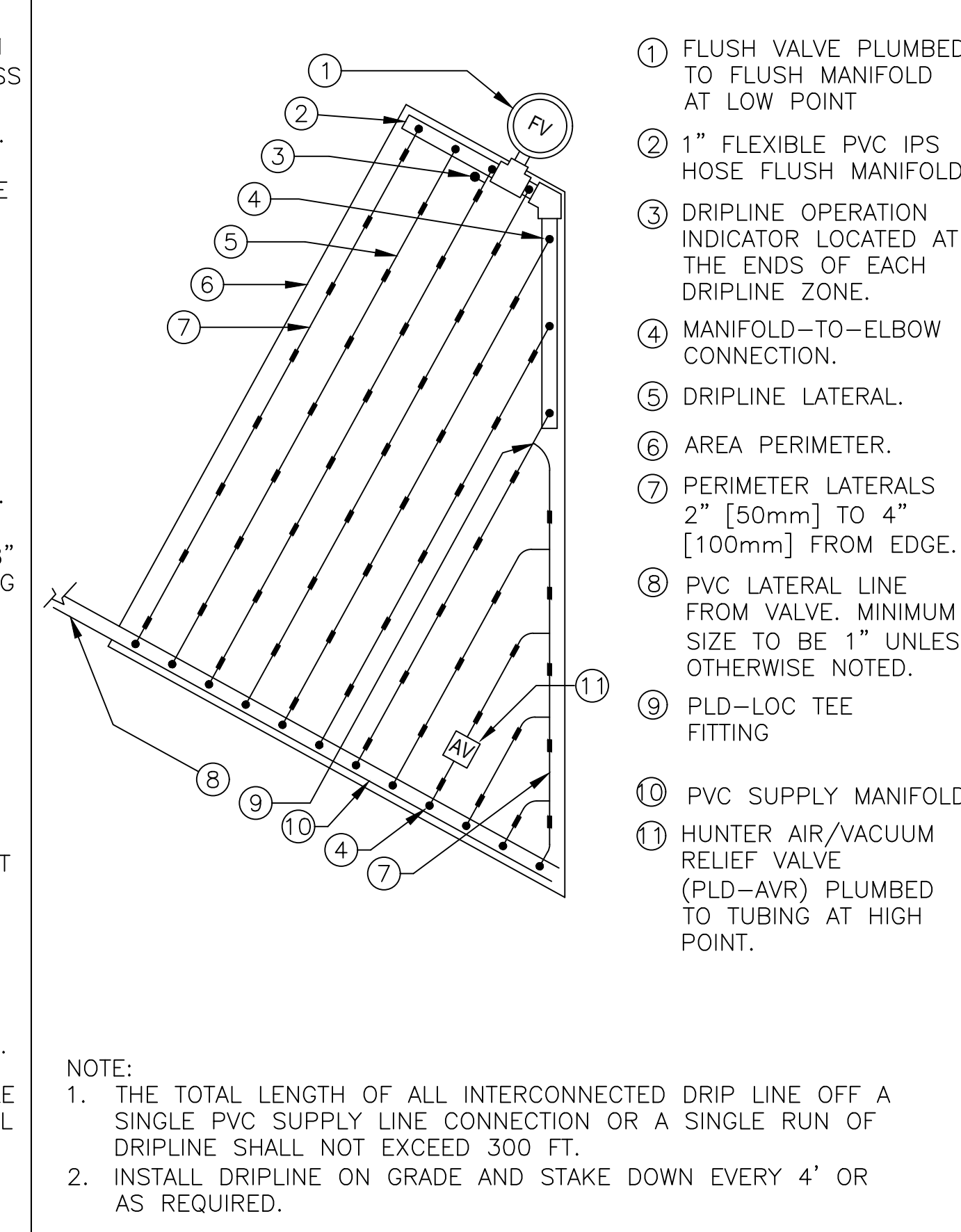
3 POP-UP SPRAY SPRINKLER
 SCALE: NONE



- NOTE:**
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE ON GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

7 HDL DRIPLINE ISLAND LAYOUT
 SCALE: NONE

4 TREE AND SHRUB BUBBLER
 SCALE: NONE



- NOTE:**
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE ON GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

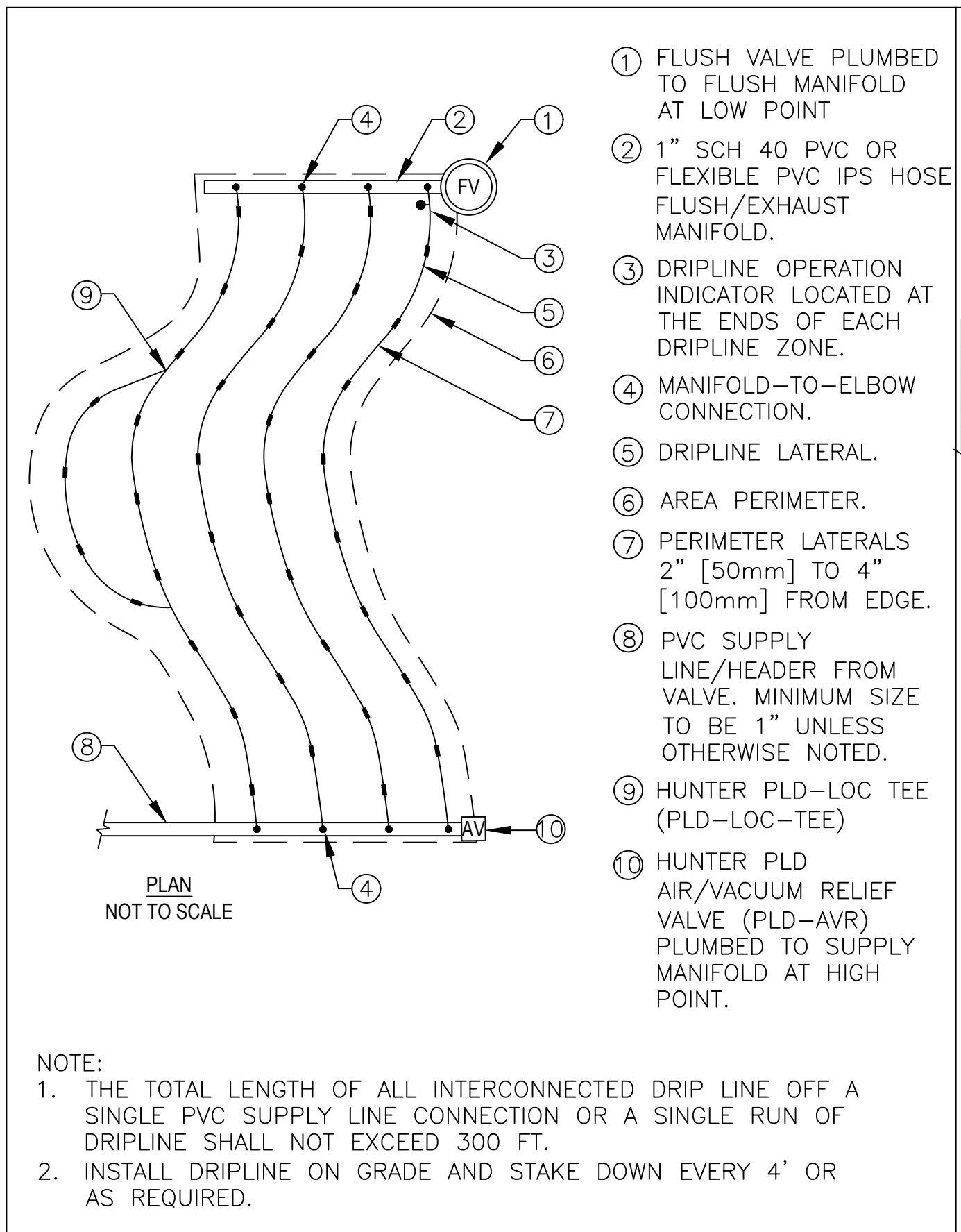
8 HDL DRIPLINE TRIANGULAR LAYOUT
 SCALE: NONE

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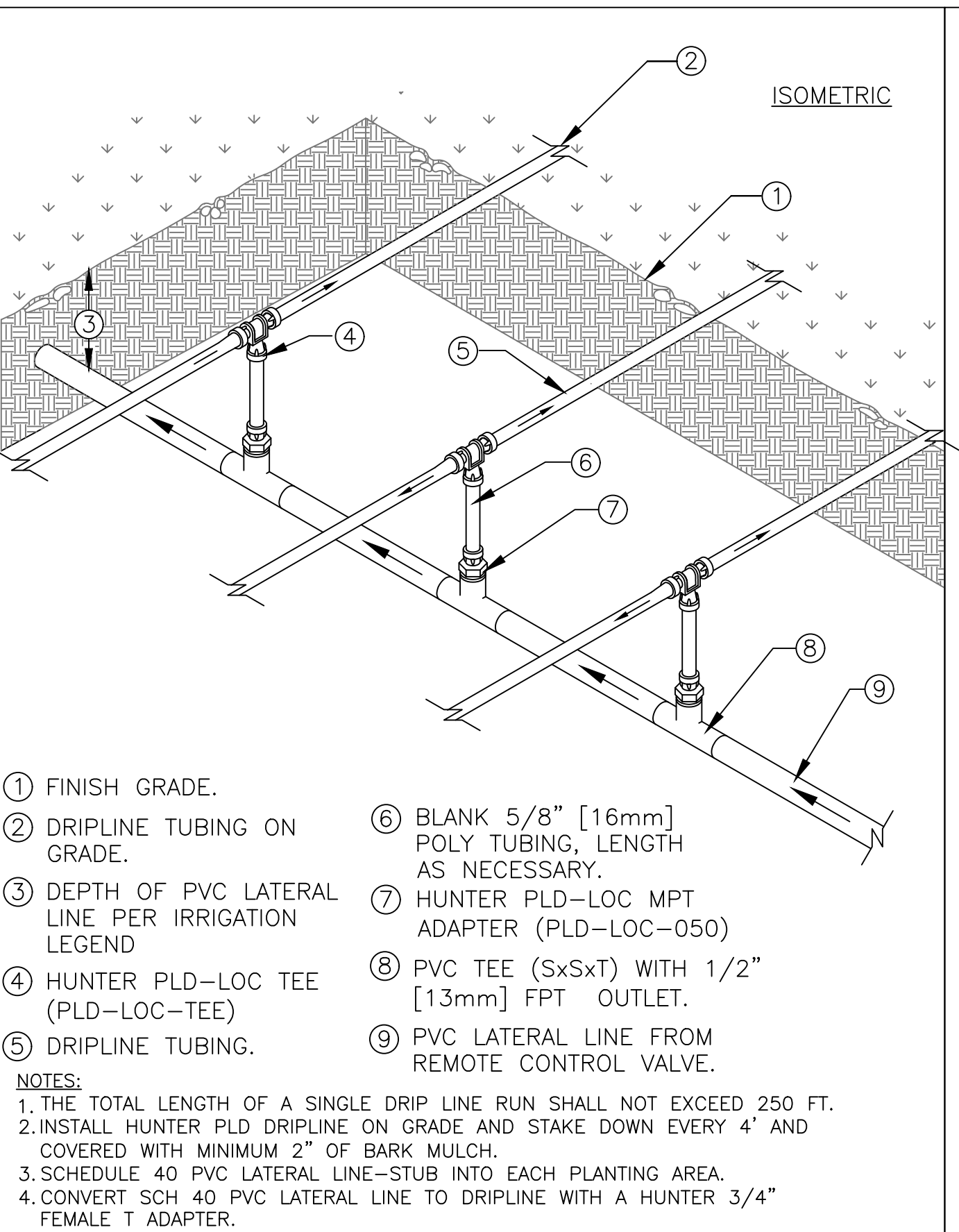
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IRRIGATION DETAILS
 SCALE: DRAWN BY: AZMM/MOON/FP
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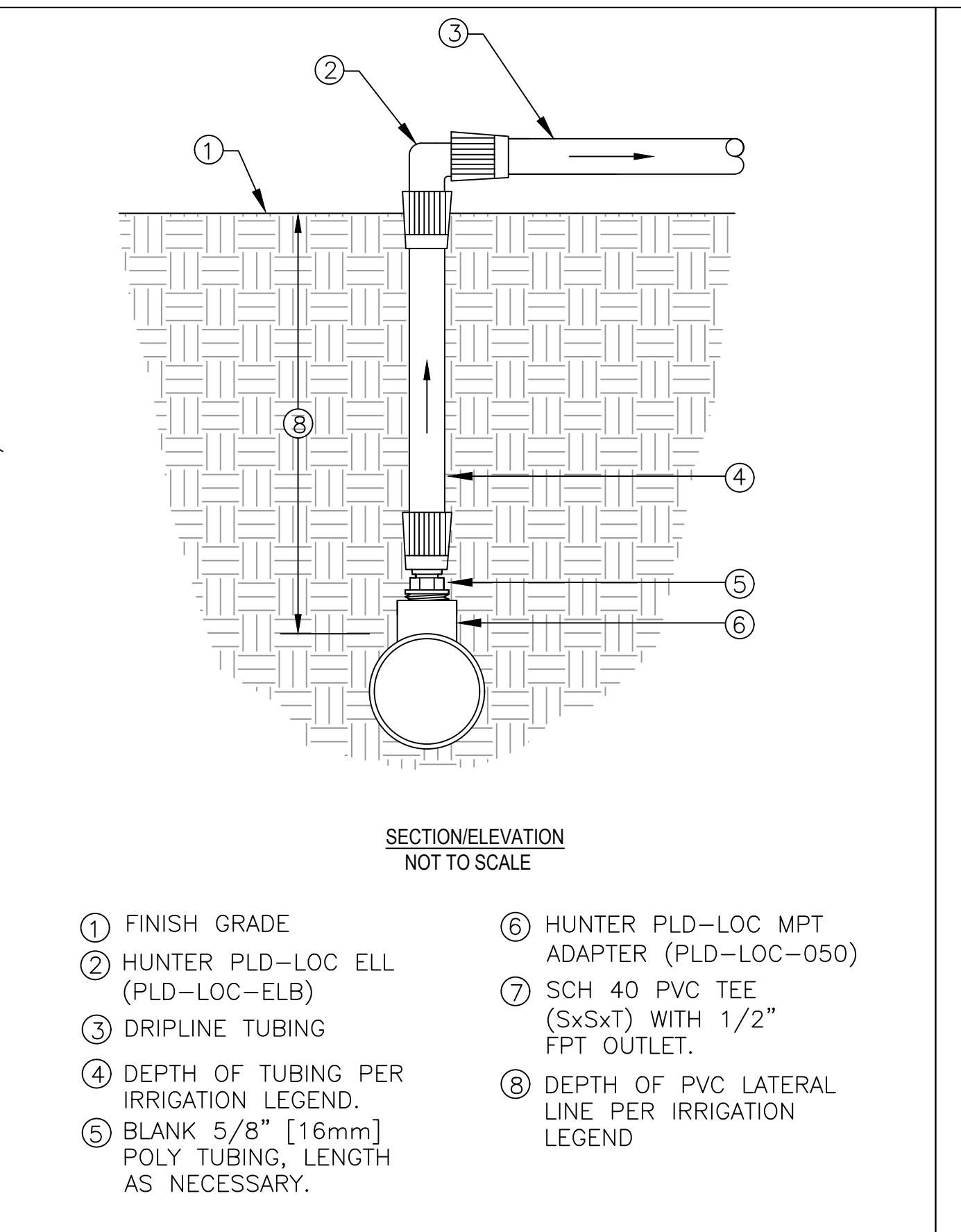


- 1 FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
- 2 1" SCH 40 PVC OR FLEXIBLE PVC IPS HOSE FLUSH/EXHAUST MANIFOLD.
- 3 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- 4 MANIFOLD-TO-ELBOW CONNECTION.
- 5 DRIPLINE LATERAL.
- 6 AREA PERIMETER.
- 7 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- 8 PVC SUPPLY LINE/HEADER FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 9 HUNTER PLD-LOC TEE (PLD-LOC-TEE)
- 10 HUNTER PLD AIR/VACUUM RELIEF VALVE (PLD-AVR) PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT.

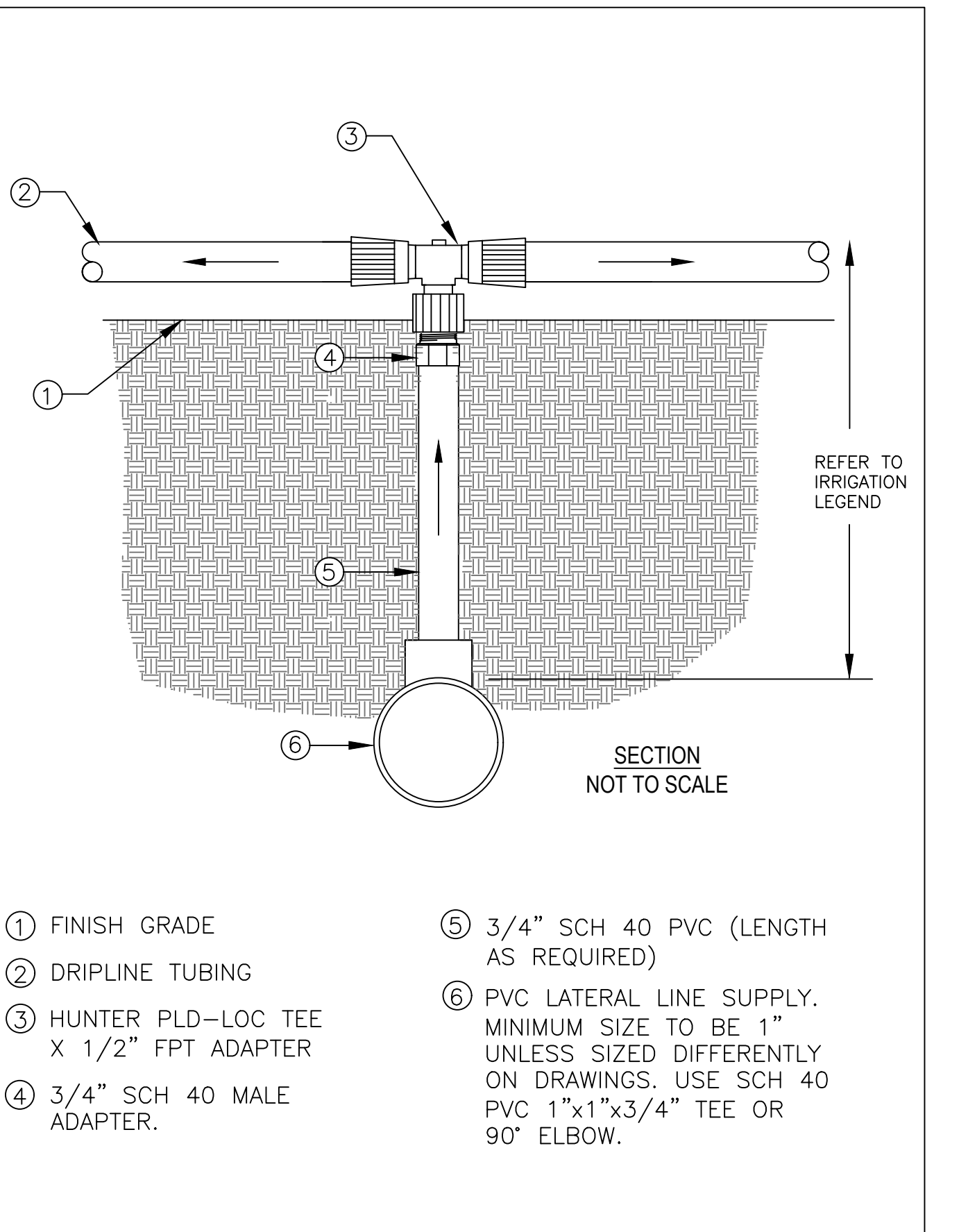
NOTE:
 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE ON GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



- 1 FINISH GRADE.
 - 2 DRIPLINE TUBING ON GRADE.
 - 3 DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND
 - 4 HUNTER PLD-LOC TEE (PLD-LOC-TEE)
 - 5 DRIPLINE TUBING.
 - 6 BLANK 5/8" [16mm] POLY TUBING, LENGTH AS NECESSARY.
 - 7 HUNTER PLD-LOC MPT ADAPTER (PLD-LOC-050)
 - 8 PVC TEE (SxSxT) WITH 1/2" [13mm] FPT OUTLET.
 - 9 PVC LATERAL LINE FROM REMOTE CONTROL VALVE.
- NOTES:
 1. THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 250 FT.
 2. INSTALL HUNTER PLD DRIPLINE ON GRADE AND STAKE DOWN EVERY 4' AND COVERED WITH MINIMUM 2" OF BARK MULCH.
 3. SCHEDULE 40 PVC LATERAL LINE-STUB INTO EACH PLANTING AREA.
 4. CONVERT SCH 40 PVC LATERAL LINE TO DRIPLINE WITH A HUNTER 3/4" FEMALE T ADAPTER.



- 1 FINISH GRADE
- 2 HUNTER PLD-LOC ELL (PLD-LOC-ELB)
- 3 DRIPLINE TUBING
- 4 DEPTH OF TUBING PER IRRIGATION LEGEND.
- 5 BLANK 5/8" [16mm] POLY TUBING, LENGTH AS NECESSARY.
- 6 HUNTER PLD-LOC MPT ADAPTER (PLD-LOC-050)
- 7 SCH 40 PVC TEE (SxSxT) WITH 1/2" FPT OUTLET.
- 8 DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND



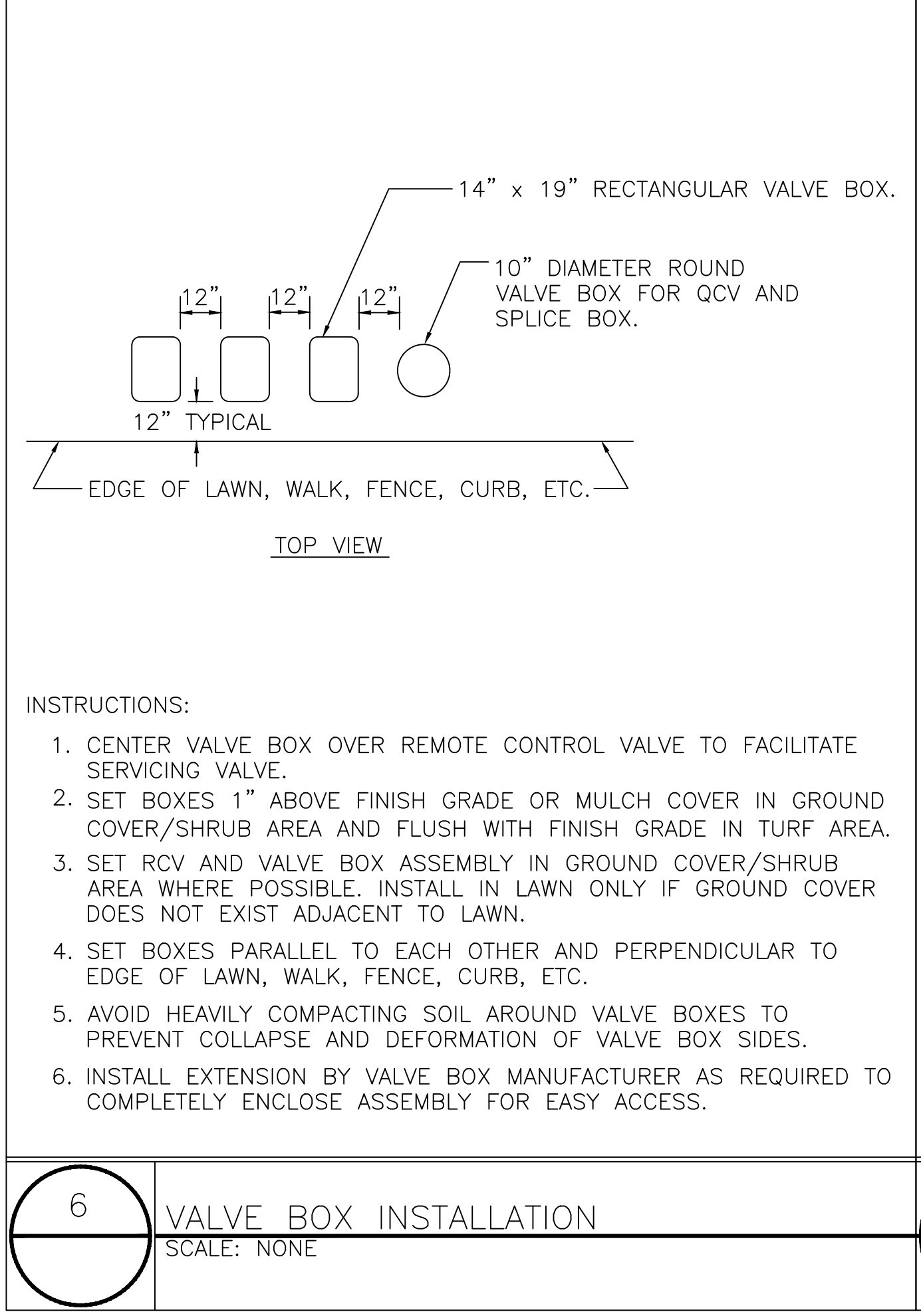
- 1 FINISH GRADE
- 2 DRIPLINE TUBING
- 3 HUNTER PLD-LOC TEE X 1/2" FPT ADAPTER
- 4 3/4" SCH 40 MALE ADAPTER.
- 5 3/4" SCH 40 PVC (LENGTH AS REQUIRED)
- 6 PVC LATERAL LINE SUPPLY. MINIMUM SIZE TO BE 1" UNLESS SIZED DIFFERENTLY ON DRAWINGS. USE SCH 40 PVC 1"x1"x3/4" TEE OR 90° ELBOW.

1 HDL DRIPLINE ODD CURVE LAYOUT
SCALE: NONE

2 HDL DRIPLINE CENTER FEED MANIFOLD
SCALE: NONE

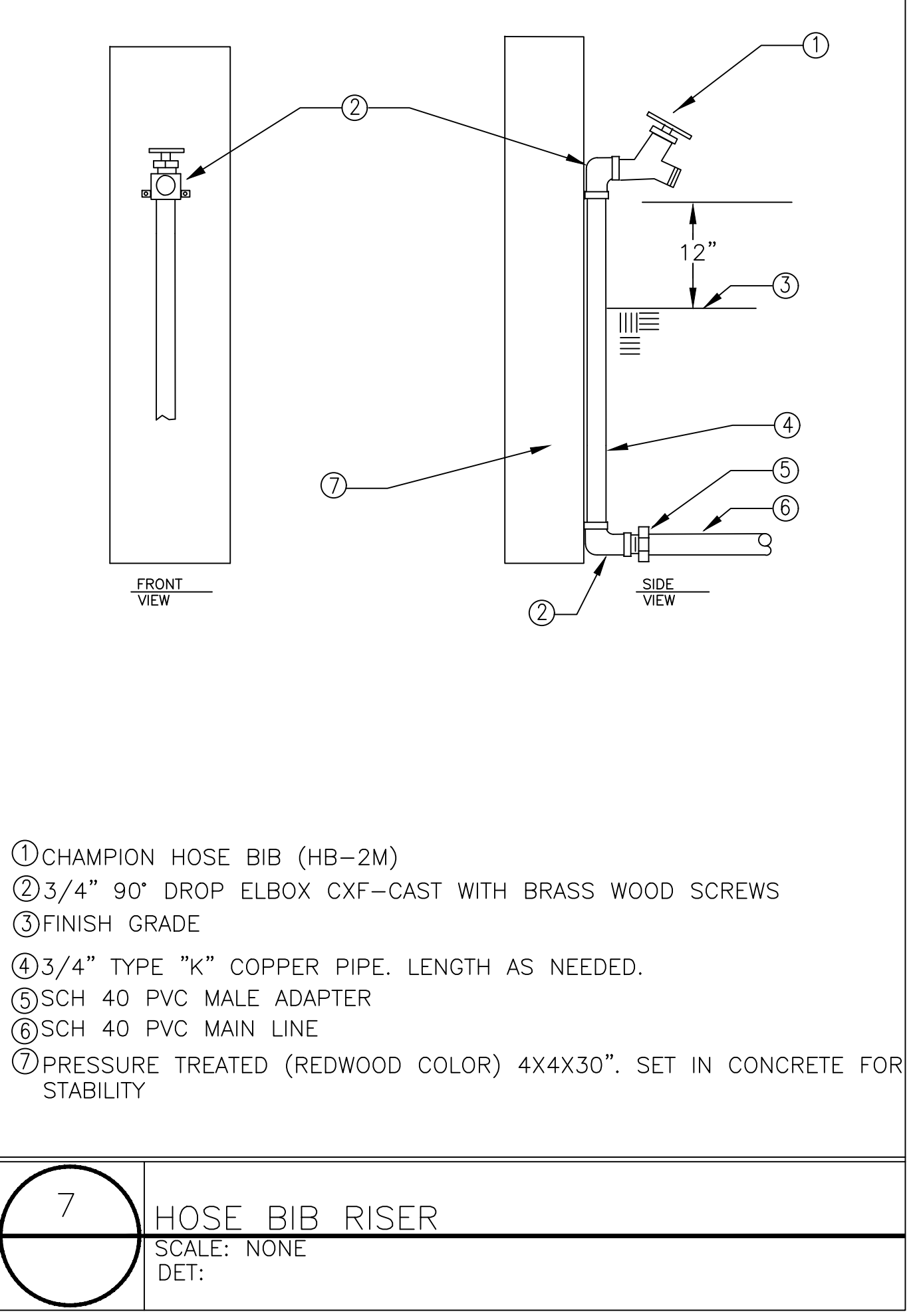
3 DRIPLINE MANIFOLD TO ELBOW CONNECTION
SCALE: NONE

4 DRIPLINE TO PVC CONNECTION
SCALE: NONE



- INSTRUCTIONS:
1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
 2. SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
 3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
 4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
 5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
 6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

6 VALVE BOX INSTALLATION
SCALE: NONE



- 1 CHAMPION HOSE BIB (HB-2M)
- 2 3/4" 90° DROP ELBOW CXF-CAST WITH BRASS WOOD SCREWS
- 3 FINISH GRADE
- 4 3/4" TYPE "K" COPPER PIPE. LENGTH AS NEEDED.
- 5 SCH 40 PVC MALE ADAPTER
- 6 SCH 40 PVC MAIN LINE
- 7 PRESSURE TREATED (REDWOOD COLOR) 4X4X30". SET IN CONCRETE FOR STABILITY

7 HOSE BIB RISER
SCALE: NONE
DET:

WATER CALCULATION:

WATER USE ESTIMATION

WATER TYPE	POTABLE
SITE ETO=	36

HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	SHRUBS/GROUNDCOVER	LOW	0.2	DRIP	0.81	0.25	4,661	1,151	25,687	0.08	34.34	32%
2	SHRUBS/GROUNDCOVER	MOD	0.5	DRIP	0.81	0.62	2,972	1,835	40,948	0.13	54.74	20%
3	TREES	LOW	0.2	BUBBLER	0.81	0.25	800	198	4,409	0.01	5.89	6%
4	TURF	MOD	0.5	SPRAY	0.75	0.67	5,890	3,927	87,643	0.27	117.17	41%
5	GREEN ROOF	MOD	0.5	DRIP	0.81	0.62	125	77	1,722	0.01	2.30	1%
6	VINES	MOD	0.5	BUBBLER	0.81	0.62	90	56	1,240	0.00	1.66	1%
TOTALS							14,538	7,242	161,649	0.50	216.11	100%

HYDROZONE #	HYDROZONE NAME	PERCENTAGE OF LANDSCAPE
3		0%
TOTALS		0%

MAWA	GALLONS/YR	178,468
	ACRE FEET/YR	0.55
	HCF/YR	238.59

ETWU	GALLONS/YR	161,649
	ACRE FEET/YR	0.50
	HCF/YR	216.11

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
77.9%	0.38	YES

ETAF Calculations

REGULAR LANDSCAPE AREAS	TOTAL ETAF x AREA	7,242
TOTAL AREA	14,538	
AVG. ETAF	49.82%	

MAWA FORMULA
 MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR
 MAWA = (ETo)(0.62)((LA x 0.55) + (0.45 x SLA))

ETo = REFERENCE EVAPOTRANSPIRATION
 0.55 = ET ADJUSTMENT FACTOR
 LA = LANDSCAPED AREA (SQUARE FEET)

0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

ETWU FORMULA
 ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR
 ETWU = (ETO)(.62)(ETAF x LA)

ETo = REFERENCE EVAPOTRANSPIRATION
 PF = PLANT FACTOR FOR HYDROZONES
 HA = HYDROZONE AREA (SQ.FT)

0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP
 IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

6 VALVE BOX INSTALLATION
SCALE: NONE

7 HOSE BIB RISER
SCALE: NONE
DET:

REVISIONS AND RECORD OF ISSUE:

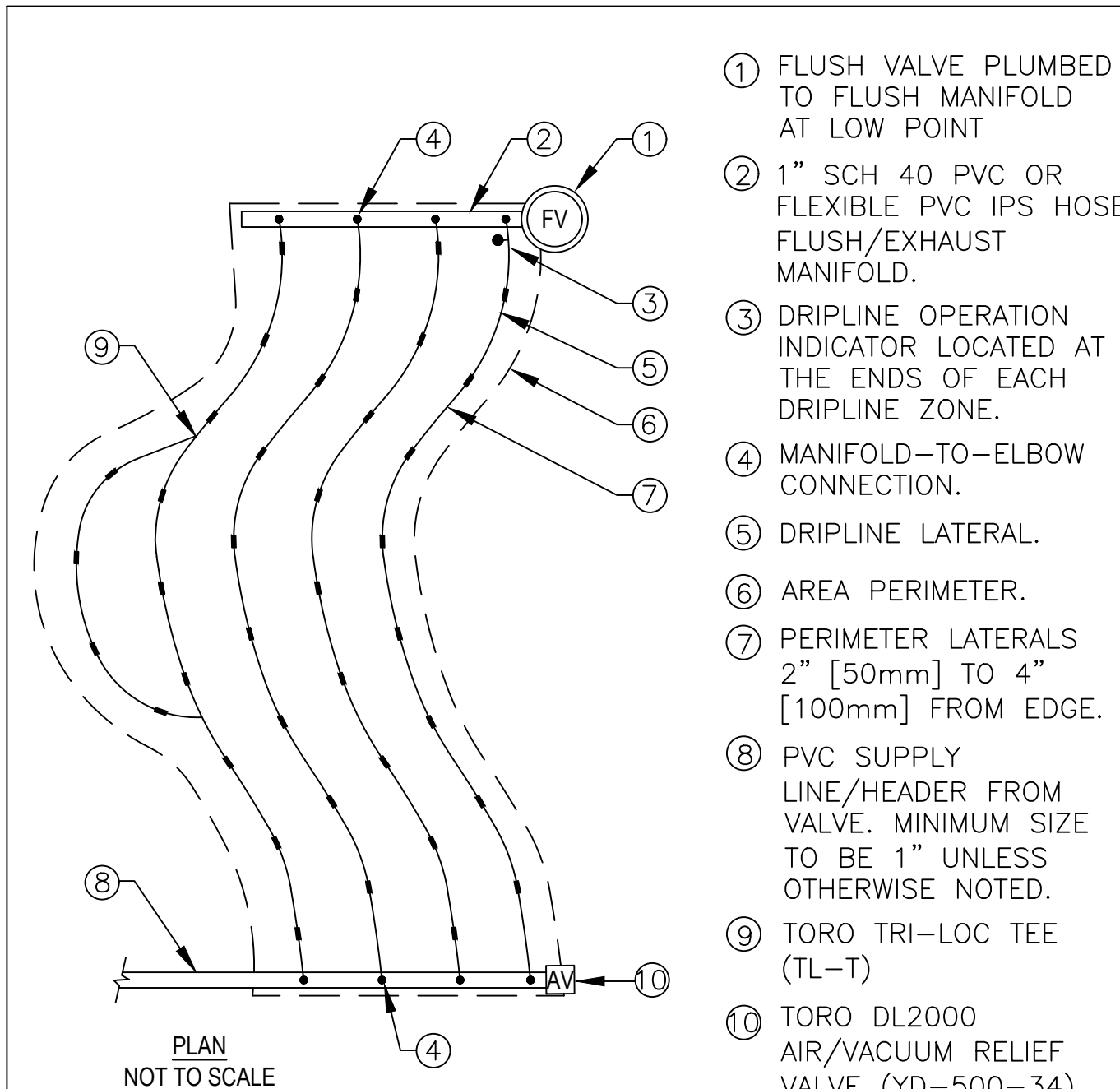
NO.	DATE	DESCRIPTION
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5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	PLANTING ADJUSTMENTS

PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE: IRRIGATION DETAILS AND WATER CALCULATION

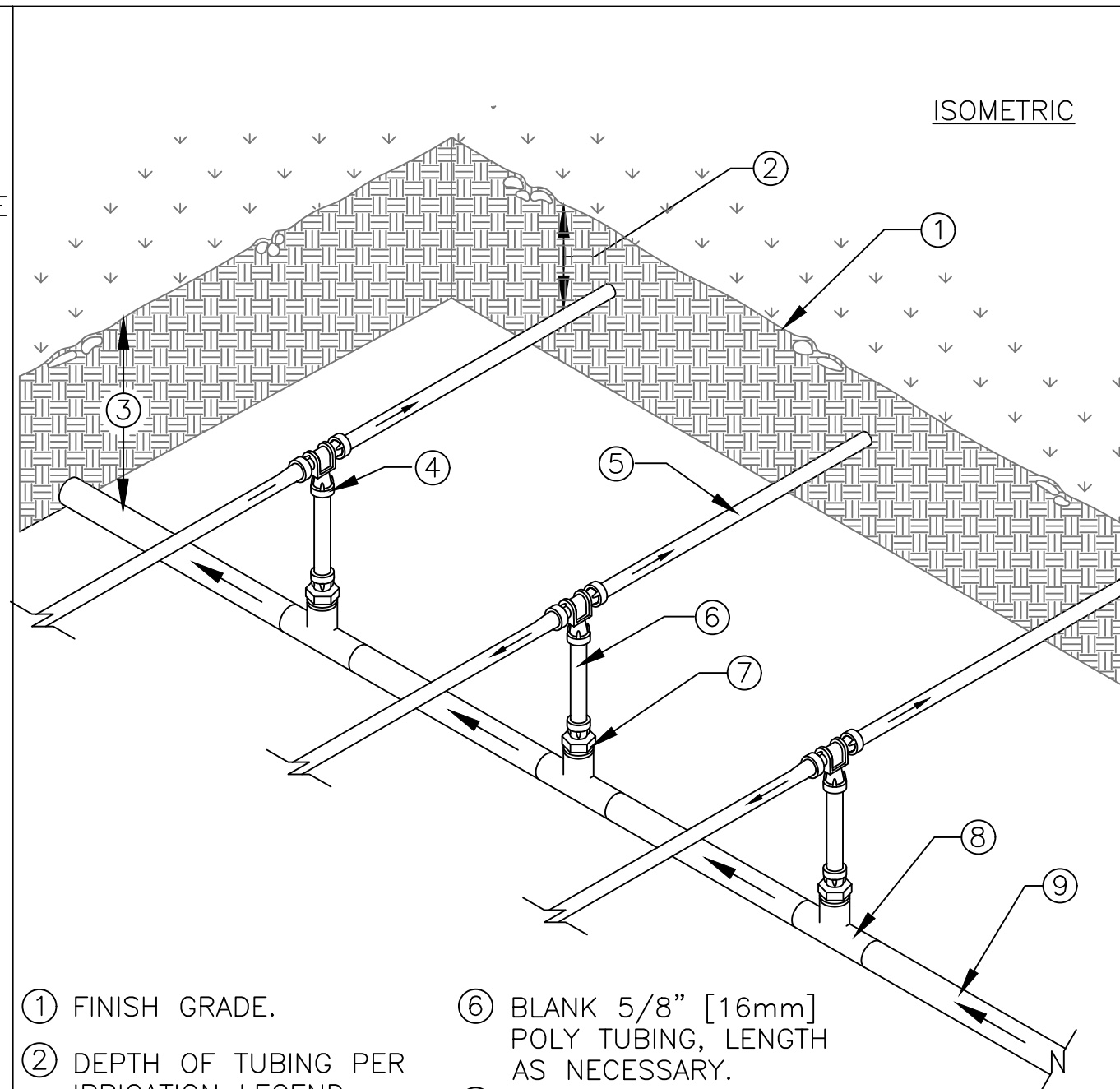
SCALE: DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20

BW
L3.5



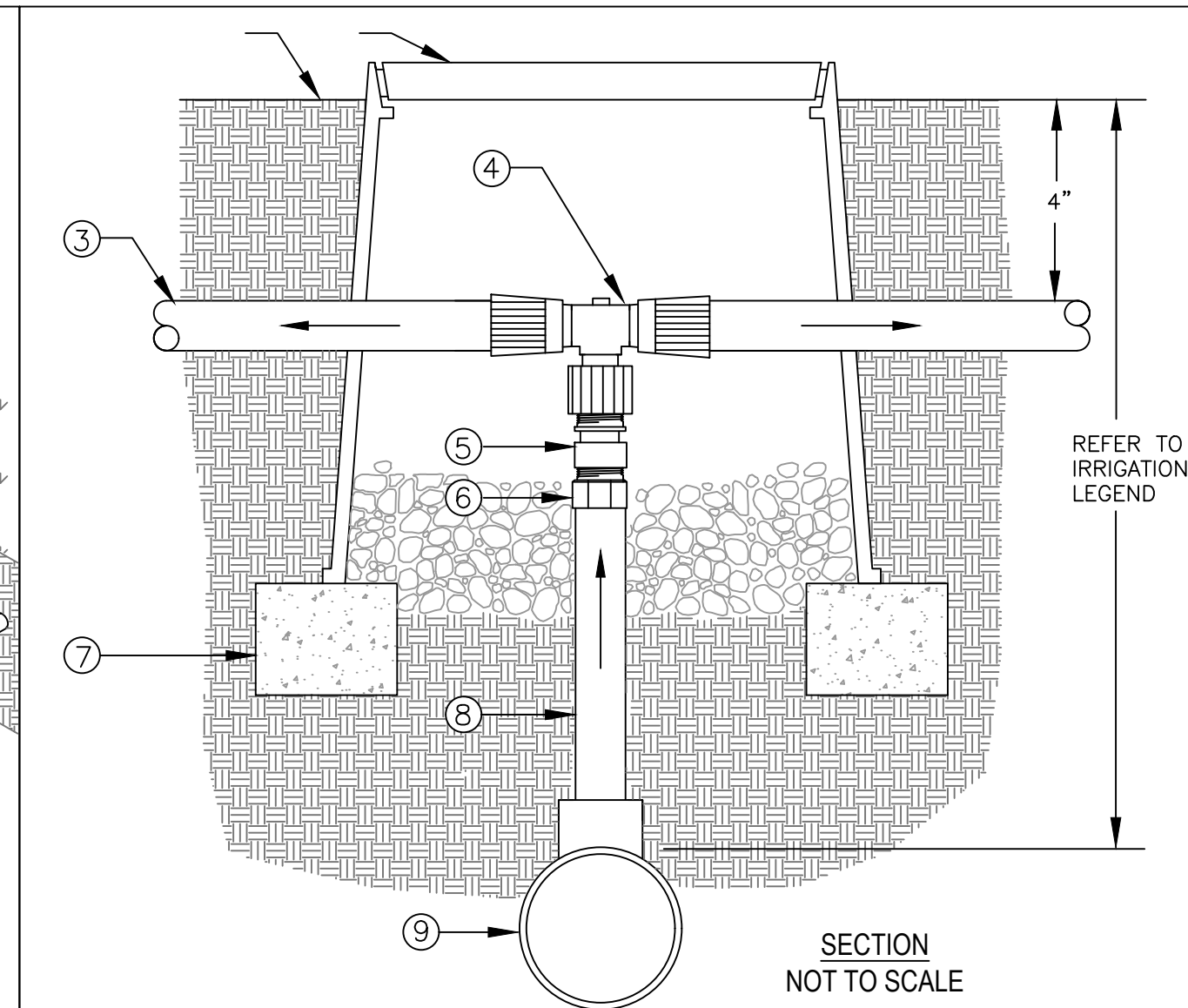
- ① FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
- ② 1" SCH 40 PVC OR FLEXIBLE PVC IPS HOSE FLUSH/EXHAUST MANIFOLD.
- ③ DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- ④ MANIFOLD-TO-ELBOW CONNECTION.
- ⑤ DRIPLINE LATERAL.
- ⑥ AREA PERIMETER.
- ⑦ PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- ⑧ PVC SUPPLY LINE/HEADER FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- ⑨ TORO TRI-LOC TEE (TL-T)
- ⑩ TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT.

NOTE:
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



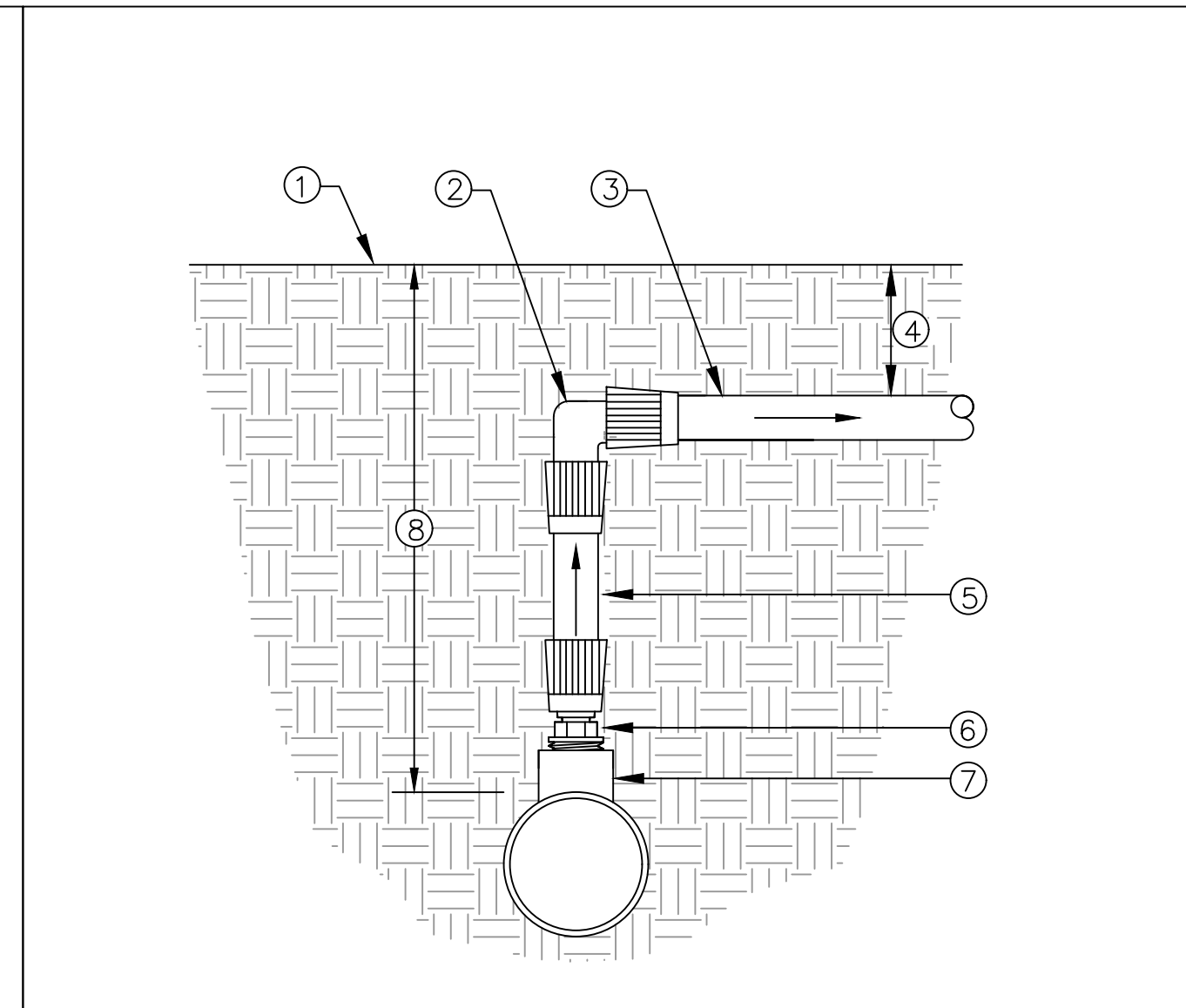
- ① FINISH GRADE.
- ② DEPTH OF TUBING PER IRRIGATION LEGEND.
- ③ DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND
- ④ TORO TRI-LOC TEE (TL-T)
- ⑤ DRIPLINE TUBING.
- ⑥ BLANK 5/8" [16mm] POLY TUBING, LENGTH AS NECESSARY.
- ⑦ TORO TRI-LOC MPT ADAPTER (TL-M50)
- ⑧ PVC TEE (SxSxT) WITH 1/2" [13mm] FPT OUTLET.
- ⑨ PVC LATERAL LINE FROM REMOTE CONTROL VALVE.

NOTE:
THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 300 FT.



- ① FINISH GRADE
- ② CARSON 708 OR EQUAL. COLOR: BLACK. USE PURPLE FOR RECYCLED WATER SYSTEMS.
- ③ DRIPLINE TUBING
- ④ TORO TRI-LOC TEE X 1/2" FPT ADAPTER
- ⑤ TORO 1/2" CHECK VALVE (PCV-500)
- ⑥ 1/2" SCH 40 MALE ADAPTER.
- ⑦ BRICK (1 OF 2)
- ⑧ 1/2" SCH 40 PVC (LENGTH AS REQUIRED)
- ⑨ PVC LATERAL LINE SUPPLY. MINIMUM SIZE TO BE 1" UNLESS SIZED DIFFERENTLY ON DRAWINGS. USE SCH 40 PVC 1"x1"x1/2" TEE OR 90° ELBOW.

REFER TO IRRIGATION LEGEND



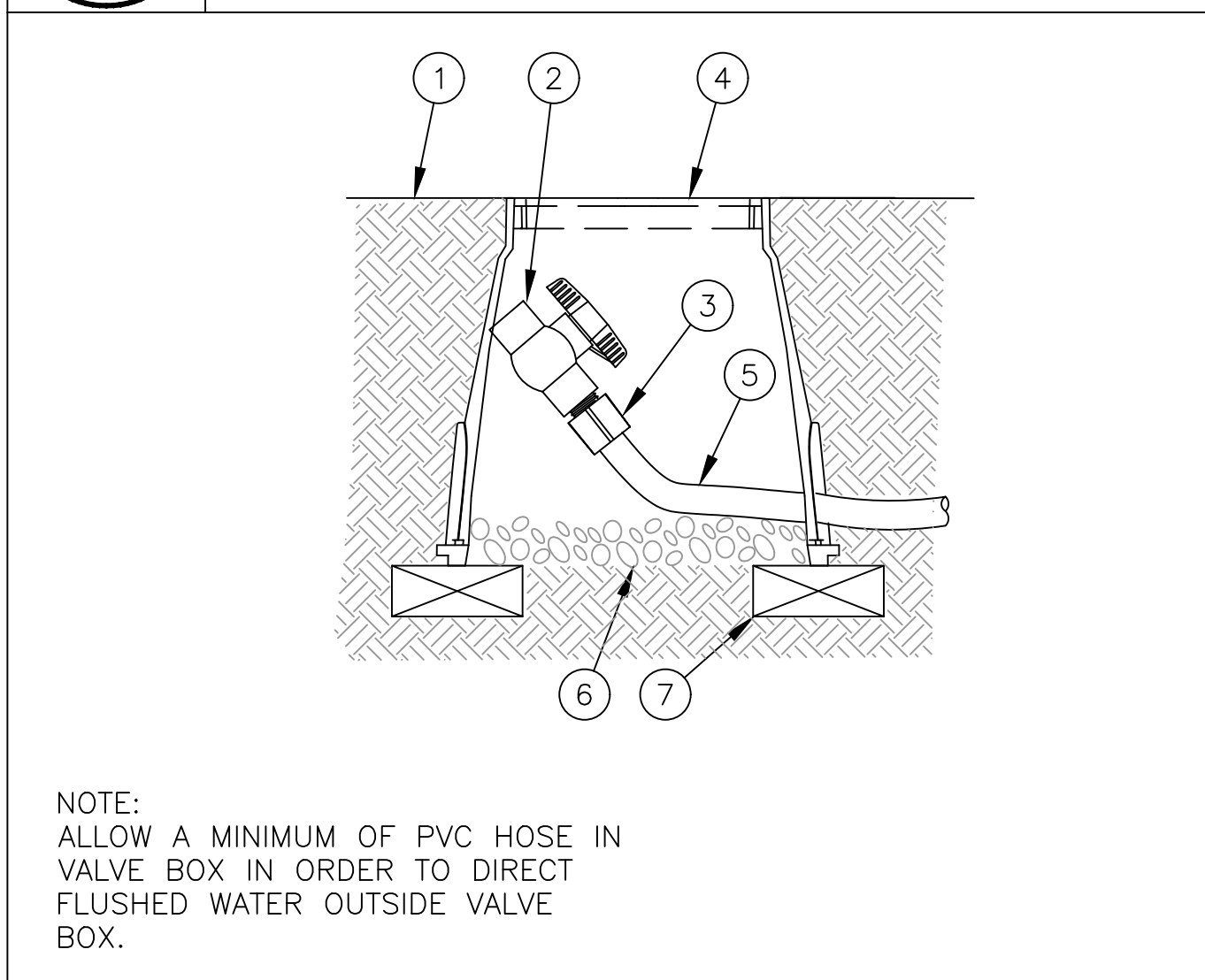
- ① FINISH GRADE
- ② TORO TRI-LOC ELBOW (TL-E)
- ③ DRIPLINE TUBING
- ④ DEPTH OF TUBING PER IRRIGATION LEGEND.
- ⑤ TORO BLUE STRIPE POLY TUBING (EHD1645)
- ⑥ TORO TRI-LOC MPT ADAPTER (TL-M50)
- ⑦ SCH 40 PVC TEE (SxSxT) WITH 1/2" FPT OUTLET.
- ⑧ DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND

1 TORO DL2000 ODD CURVE LAYOUT
SCALE: NONE

2 TORO DL 2000 CENTER FEED MANIFOLD
SCALE: NONE

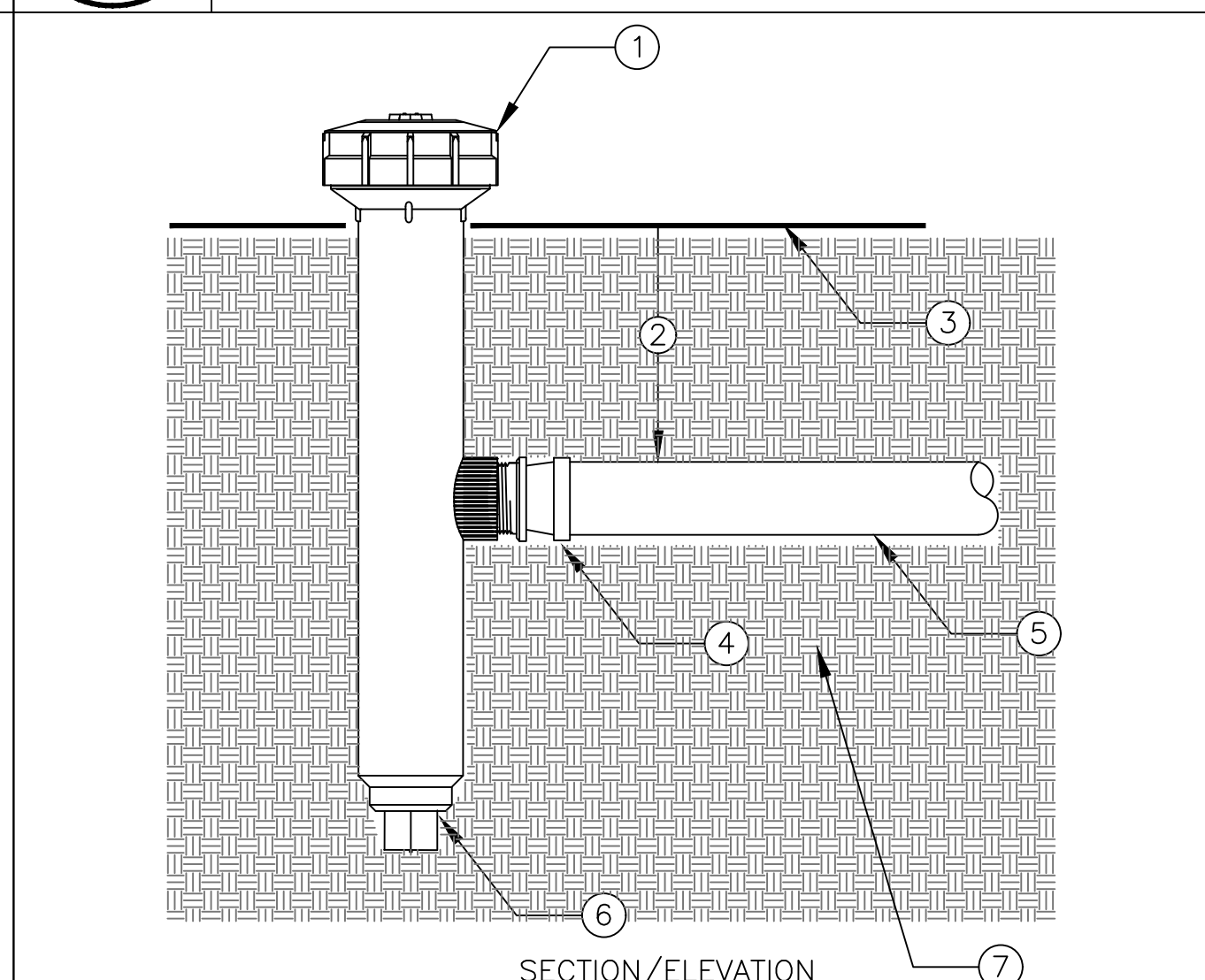
3 DRIPLINE TO PVC CONNECTION
SCALE: NONE

4 DRIPLINE MANIFOLD TO ELBOW CONNECTION
SCALE: NONE

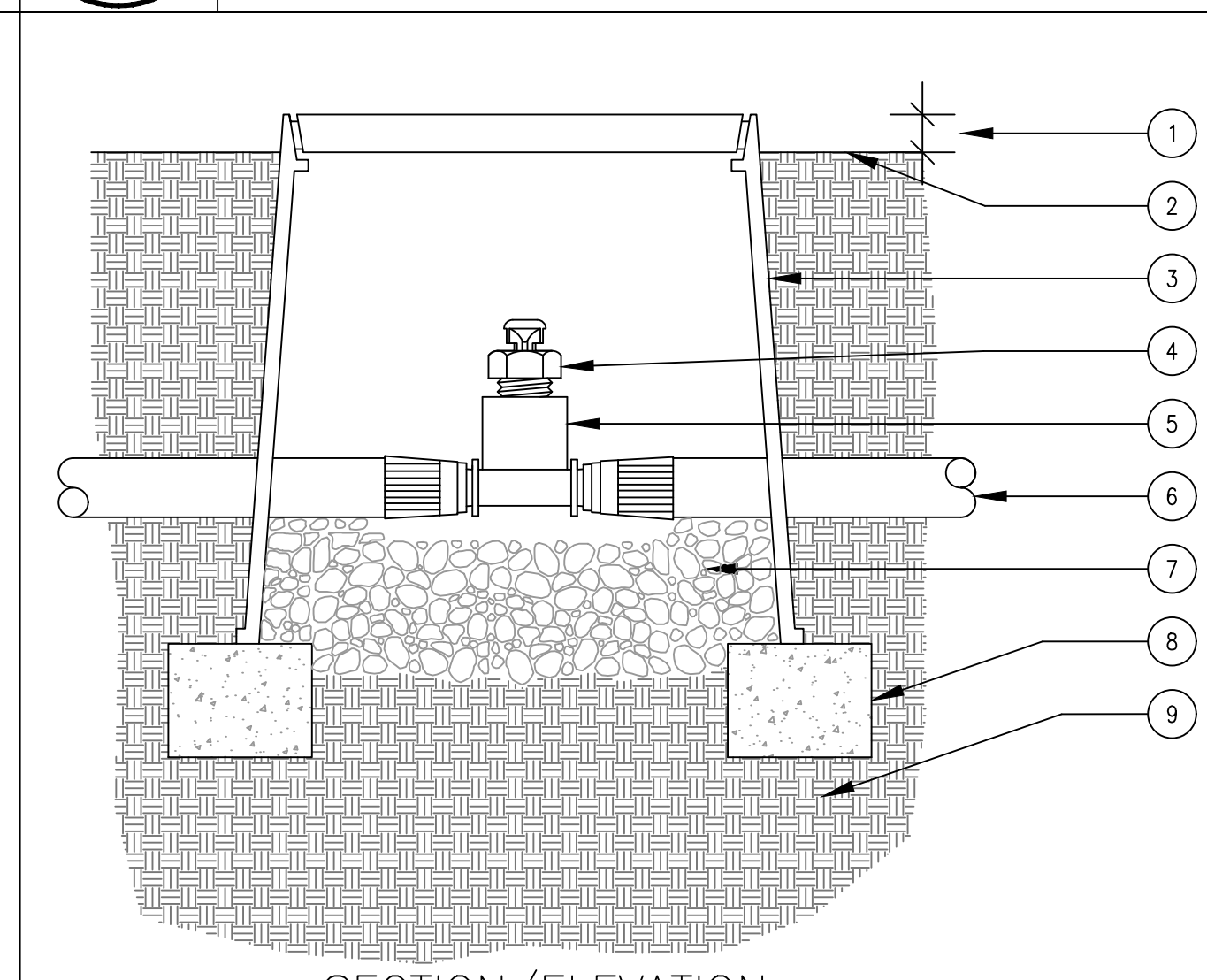


NOTE:
ALLOW A MINIMUM OF PVC HOSE IN VALVE BOX IN ORDER TO DIRECT FLUSHED WATER OUTSIDE VALVE BOX.

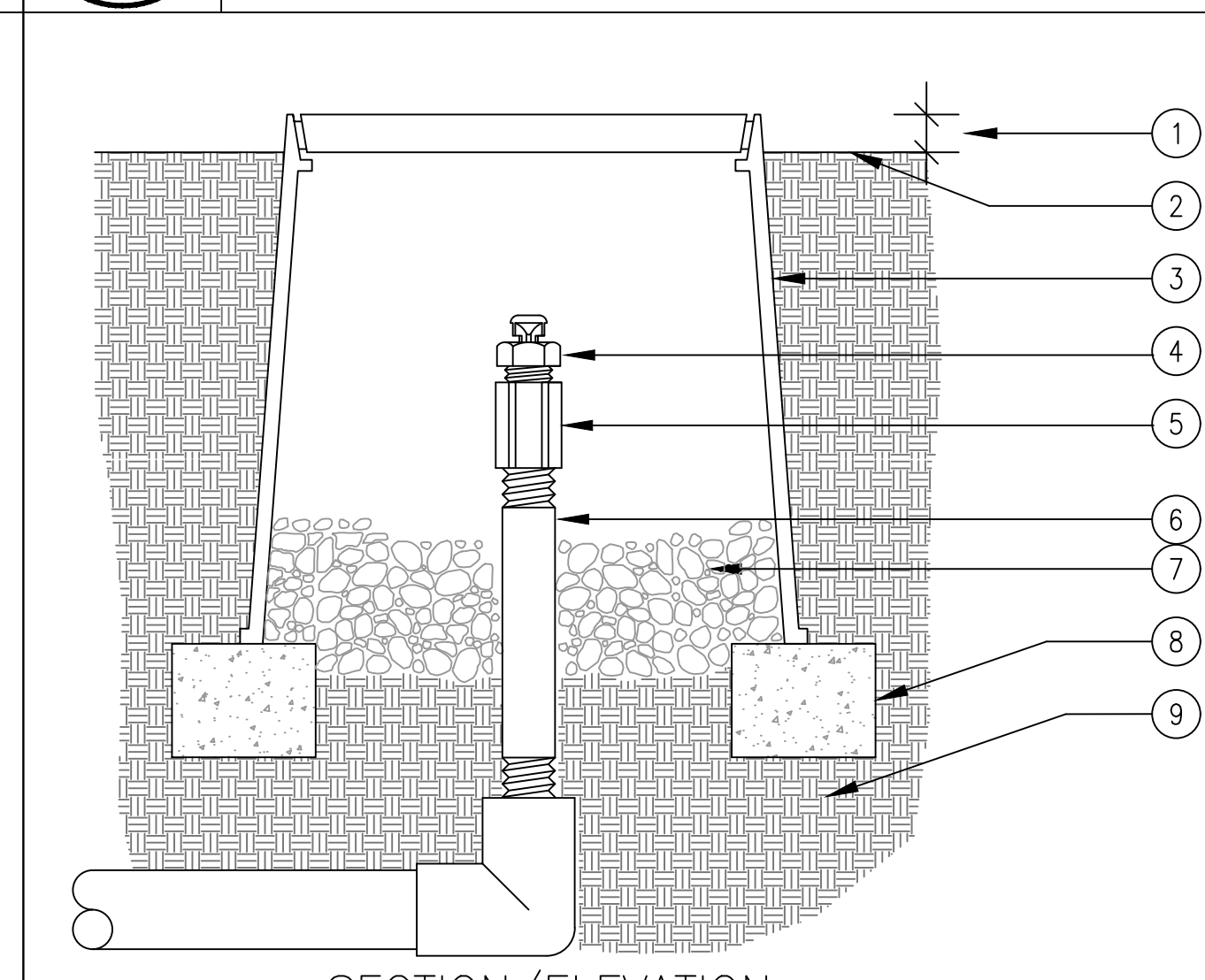
- ① FINISH GRADE
- ② 1/2" SCH 40 THREADED BALL VALVE.
- ③ 1/2" SCH 40 MALE ADAPTER.
- ④ 6" ROUND PLASTIC VALVE BOX.
- ⑤ 1" IPS PVC HOSE FROM EXHAUST HEADER.
- ⑥ PEA GRAVEL SUMP (6" DEEP).
- ⑦ BRICK (1 OF 2)



- ① TORO 6" POP UP SPRINKLER WITH SIDE INLET (MODEL 570Z-6P-SI-PRX WITH 5' PRECISION NOZZLE (MODEL O-T-5-QP) TURNED COMPLETELY OFF WITH ADJUSTMENT SCREW. SPRINKLER SHALL OPERATE AS THE DRIPLINE INDICATOR. USE A MINIMUM OF ONE PER ZONE AND LOCATED AT END OF ZONE.
- ② DEPTH OF DRIPLINE. REFER TO IRRIGATION LEGEND.
- ③ FINISH GRADE.
- ④ TORO TRI-LOC X 1/2" MPT ADAPTER (TL-M50)
- ⑤ DRIPLINE.
- ⑥ KEEP PLUG IN SPRINKLER. ONLY USE SIDE INLET.
- ⑦ SOIL BACKFILL.



- NOTE:
USE ONE AIR/RELIEF VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT HIGH POINTS.
- ① 1" ABOVE FINISH GRADE.
 - ② FINISH GRADE.
 - ③ 6" ROUND PLASTIC VALVE BOX. HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
 - ④ TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
 - ⑤ TORO TRI-LOC TEE X 1/2" FPT ADAPTER (TL-T-F50)
 - ⑥ TORO DL2000 TUBING (RGP-XX-XXX) OR TORO BLUE STRIPE POLY TUBING (EHD1645-XXX) AIR-RELIEF LATERAL.
 - ⑦ PEA GRAVEL (4" DEEP).
 - ⑧ BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
 - ⑨ NATIVE SOIL PER SPECIFICATIONS.



- NOTE:
USE ONE AIR/RELIEF VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT HIGH POINTS.
- ① 1" ABOVE FINISH GRADE.
 - ② FINISH GRADE.
 - ③ 6" ROUND PLASTIC VALVE BOX. HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
 - ④ TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
 - ⑤ 1/2" SCH 40 PVC COUPLING (T x T)
 - ⑥ 1/2" SCH 80 PVC NIPPLE (LENGTH AS REQUIRED).
 - ⑦ PEA GRAVEL (4" DEEP).
 - ⑧ BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
 - ⑨ NATIVE SOIL PER SPECIFICATIONS.

5 DRIPLINE-FLUSH POINT
SCALE: NONE

6 DRIPLINE OPERATION INDICATOR
SCALE: NONE

7 AIR VACUUM RELIEF VALVE IN DRIPLINE
SCALE: NONE

8 AIR VACUUM RELIEF VALVE ON PVC ELL
SCALE: NONE

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4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	PLANTING ADJUSTMENTS

LANDSCAPE ARCHITECT
JONI L. JANECKI & ASSOCIATES
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California Landscape Architect License 3163

PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
HINES RESIDENCE
7 CARMEL WAY
CARMEL, CA 93923
APN: 010-321-020

SHEET TITLE:
IRRIGATION DETAILS
SCALE:
DRAWN BY: AZMM/MOON/FP
DATE: 12/02/20

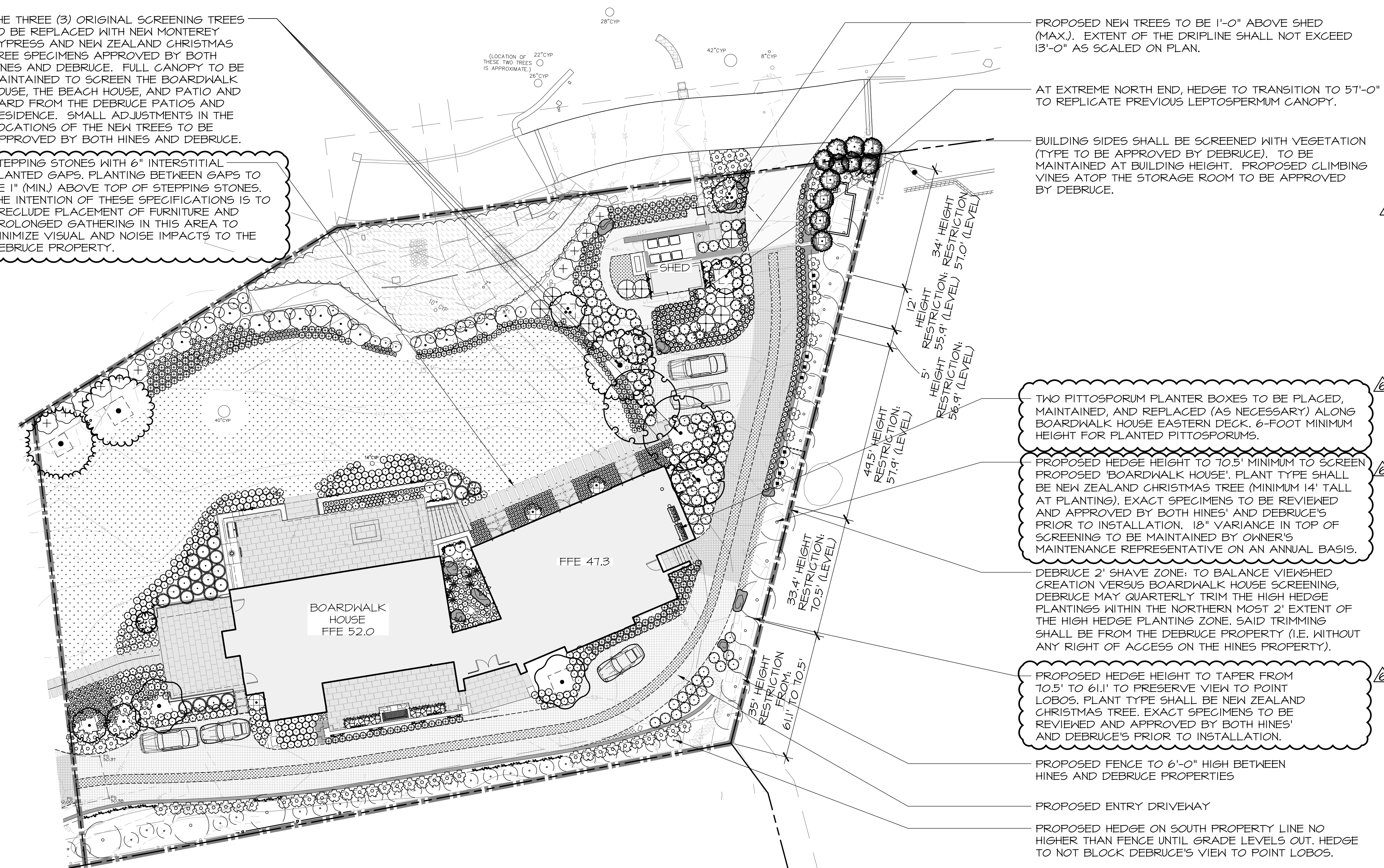
NOTES:
 A COMPLETE AND LEGIBLE COPY OF THE VEGETATED SCREENING PLAN (VSP), WHICH INCLUDES IMPORTANT PHOTOGRAPHS DEPICTING VIEWS, SCREENS, AND NOTES, IS ON FILE AND AVAILABLE FOR REVIEW IN PROJECT FILES DS 16-254 AND DS 16-260 (CARMEL WAY TRUST) AT THE CITY OF CARMEL-BY-SEA DEPARTMENT OF COMMUNITY PLANNING AND BUILDING, MONTE VERDE STREET BETWEEN OCEAN AND 7TH AVENUES, CARMEL-BY-SEA, CA 93421. A COMPLETE AND LEGIBLE COPY IS TO BE RETAINED IN THE POSSESSION OF EACH OF THE PARTIES AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS.

PLANNING NOTES:

- SCREENING PLANTS SHALL BE IRRIGATED BY OWNER OR OWNER'S MAINTENANCE REPRESENTATIVE TO MAINTAIN HEALTH OF PLANTS DESCRIBED WITHIN SHEET VSP0.2 - VEGETATIVE SCREENING PLAN. THE EXACT IRRIGATION METHOD SHALL BE DETERMINED BY THE PROJECT ARBORIST UPON FINAL SELECTION AND INSTALLATION OF THE PLANT MATERIAL.
- SCREENING PLANTS SHALL BE MAINTAINED BY OWNER OR OWNER'S MAINTENANCE REPRESENTATIVE TO THE DESIRED HEIGHTS DESCRIBED WITHIN SHEET VSP0.2 - VEGETATIVE SCREENING PLAN. THE EXACT PRUNING METHOD SHALL BE DETERMINED BY THE PROJECT ARBORIST UPON FINAL SELECTION AND INSTALLATION OF THE PLANT MATERIAL.
- INSTALLATION OF THE LOW AND TALL SCREENING PLANTS AND TREES ALONG EAST PROPERTY LINE DIVIDING HINES' AND DEBRUCE'S SHALL BE COMPLETED WITHIN 135 DAYS AFTER COMMENCEMENT OF CONSTRUCTION. THE PROJECT ARBORIST SHALL BE RESPONSIBLE FOR ALL PLANT SELECTION AND INSTALLATION, SUBJECT TO APPROVAL BY DEBRUCE.
- INSTALLATION OF PITTOSPORUM PLANTER BOXES ALONG BOARDWALK HOUSE EASTERN DECK, VINES ON THE STORAGE ROOM AND (2) 16' SCREENING TREES SHALL COMMENCE APPROXIMATELY 1 MONTH AFTER BEACH HOUSE IS COMPLETE.
- DENSITY OF THE HINES / DEBRUCE PROPERTY BOUNDARY SCREEN WILL BE MAINTAINED TO SHIELD AND DIFFUSE HEADLIGHT GLARE FROM CARS HEADING EAST ALONG THE DRIVEWAY. OWNER OR OWNER'S MAINTENANCE REPRESENTATIVE RESPONSIBLE TO MAINTAIN.
- BOXED REDWOOD TREES ON HINES PROPERTY SHALL BE SET ON THE DEBRUCE PROPERTY IN A MANNER CAUSING NO HARM TO DEBRUCE PROPERTY LANDSCAPE WALL OR GENERATOR/ CONDUITS 10 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION IN A LOCATION APPROVED BY DEBRUCE. TREES TO REMAIN IN BOX. WITHIN 30 DAYS OF DEMAND FROM DEBRUCE, THE BOX REDWOOD TREES SHALL BE REMOVED FROM THE DEBRUCE PROPERTY AT HINES' EXPENSE SUBJECT TO DEBRUCE PERMISSION FOR ACCESS. THE PARTIES UNDERSTAND THE TREES WILL HAVE TO BE REMOVED IN PIECES. HINES MAY TRIM BOXED REDWOODS TO THEIR PROPERTY LINE.
- LOWER CANOPY OF ALL EXISTING AND PLANTED TREES TO BE MAINTAINED TO SHIELD DEVELOPMENT FROM DEBRUCE PROPERTY. OWNER OR OWNER'S MAINTENANCE REPRESENTATIVE RESPONSIBLE TO MAINTAIN.
- UNOBTRUSIVE TRIMMING GUIDE MARKERS SHALL BE PLACED ALONG/WITHIN THE EAST PROPERTY LINE SCREENING VEGETATION.

THE THREE (3) ORIGINAL SCREENING TREES TO BE REPLACED WITH NEW MONTEREY CYPRESS AND NEW ZEALAND CHRISTMAS TREE SPECIMENS APPROVED BY BOTH HINES AND DEBRUCE. FULL CANOPY TO BE MAINTAINED TO SCREEN THE BOARDWALK HOUSE, THE BEACH HOUSE, AND PATIO AND YARD FROM THE DEBRUCE PATIOS AND RESIDENCE. SMALL ADJUSTMENTS IN THE LOCATIONS OF THE NEW TREES TO BE APPROVED BY BOTH HINES AND DEBRUCE.

STEPPING STONES WITH 6" INTERSTITIAL PLANTED GAPS. PLANTING BETWEEN GAPS TO BE 1" (MIN.) ABOVE TOP OF STEPPING STONES. THE INTENTION OF THESE SPECIFICATIONS IS TO PRECLUDE PLACEMENT OF FURNITURE AND PROLONGED GATHERING IN THIS AREA TO MINIMIZE VISUAL AND NOISE IMPACTS TO THE DEBRUCE PROPERTY.



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5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL

REVISIONS AND RECORD OF ISSUE:

LANDSCAPE ARCHITECT
 J. L. JANECKI
 No. 3163
 Exp. 9/24/22
 STATE OF CALIFORNIA

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 California Landscape Architect License 3163

PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

VEGETATED SCREENING PLAN

SCALE: 1/16"=1'-0"
 DRAWN BY: AZMMOON/PP
 DATE: 12/02/20

BW
 L4.0

T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Landscape Boardwalk House Permit Set\Hines-Res-Submittal\Hines-BW_Landscape.dwg, L4.0 Vegetated Screening Plan, 12/11/2020 2:31:25 PM, AutoCAD PDF (Smallest File).pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1

- NOTES:
 1. REFER TO SHEET L4.3 FOR PLANT SCHEDULE.
 2. PLANTING PLAN COMPLIES WITH THE HINES AND DEBRUCE PRIVACY SCREENING AND VIEWSHED PROTECTION AGREEMENT, SEE SHEET L4.0.

- 44 | ALC MOL | 1 GAL
- 33 | SOL HET | 1 GAL
- 14 | OLE MON | 24" Box
- 35 | AGA STO | 5 GAL
- 118 | DIA REV | 1 GAL 'LITTLE REV'
- 10 | PIT CRA | 15 GAL

- 3 | AGA NOV | 10 GAL 'NOVA'
- 2 | CUP MA5 | 72" BOX OF/CI TREE REPLACEMENT PER CITY
- 2 | ARB M48 | 48" BOX
- 10 | LEU RAI | 15 GAL 'RAINBOW'
- 120 | ACH TER | 1 GAL 'TERRA COTTA'

- 5 | L4.4 | TYPICAL PLANT SPACING DETAIL
- 3 | L4.4 | SHRUB AND GRASS PLANTING DETAIL
- 1 | L4.4 | TREE PLANTING DETAIL

- 4 | L4.4 | SHRUB AND GRASS PLANTING ON SLOPE DETAIL

- 2 | FEI SEL | 36" BOX OF/CI

- 2196 | DYM MAR | 4" POTS
- 11 | LEP LA3 | 24" BOX

- 120 | ARC MIS | 5 GAL 'PACIFIC MIST'
- 1 | L4.5 | VINE PLANTING DETAIL

- 4 | TRA JAS | 24" BOX 'IBERYLWOOD NURSERY'
- 30 | GRE MOL | 5 GAL 'MOLONGOLO'

- 4 | ARC MAN | 5 GAL 'EMERALD CARPET'
- 203 | LOM LON | 1 GAL 'BABY BREEZE'

- 6 | L4.4 | GOPHER WIRE PROTECTION DETAIL
- 1 | MET EX2 | 60" BOX OF/CI

- 9 | PIT SIL | 15 GAL '16'-0" TALL

EXISTING TREE TO REMAIN AND PROTECT IN PLACE

EXISTING PLANTING TO REMAIN

SHED

FFE 47.3

- 7 | L4.4 | GOPHER WIRE PROTECTION AT LAWN DETAIL
- 2 | L4.5 | TEMPORARY WINDSCREEN TREE PROTECTION DETAIL

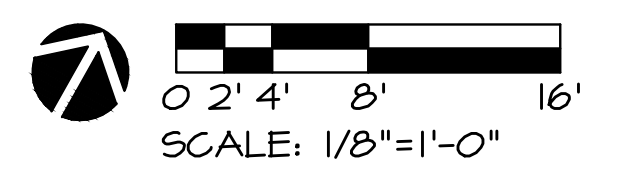
5,515 sf | DEL GRA SOD

- 4 | BOU SPE | 15 GAL
- 82 | MUH WHI | 1 GAL
- 55 | NEP WAL | 1 GAL 'WALKERS LOW'

- 1 | GAL | AKE ALB
- 12 | ERY BLA | 1 GAL 'BLAUKAPPE'
- 50 | ERI KAR | 1 GAL

- 223 | SES GRE | 1 GAL 'GREENLEE HYBRID'
- 133 | THY ELF | 4" POTS 'ELFIN'
- 3 | ROS ICE | 15 GAL 'ICEBERG'

- 17 | BAC UBI | 4" POT
- 2 | MET EX4 | 84" BOX OF/CI
- 2 | ROS RTE | 15 GAL



ORIGINAL SHEET SIZE: 24" X 36"

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4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL

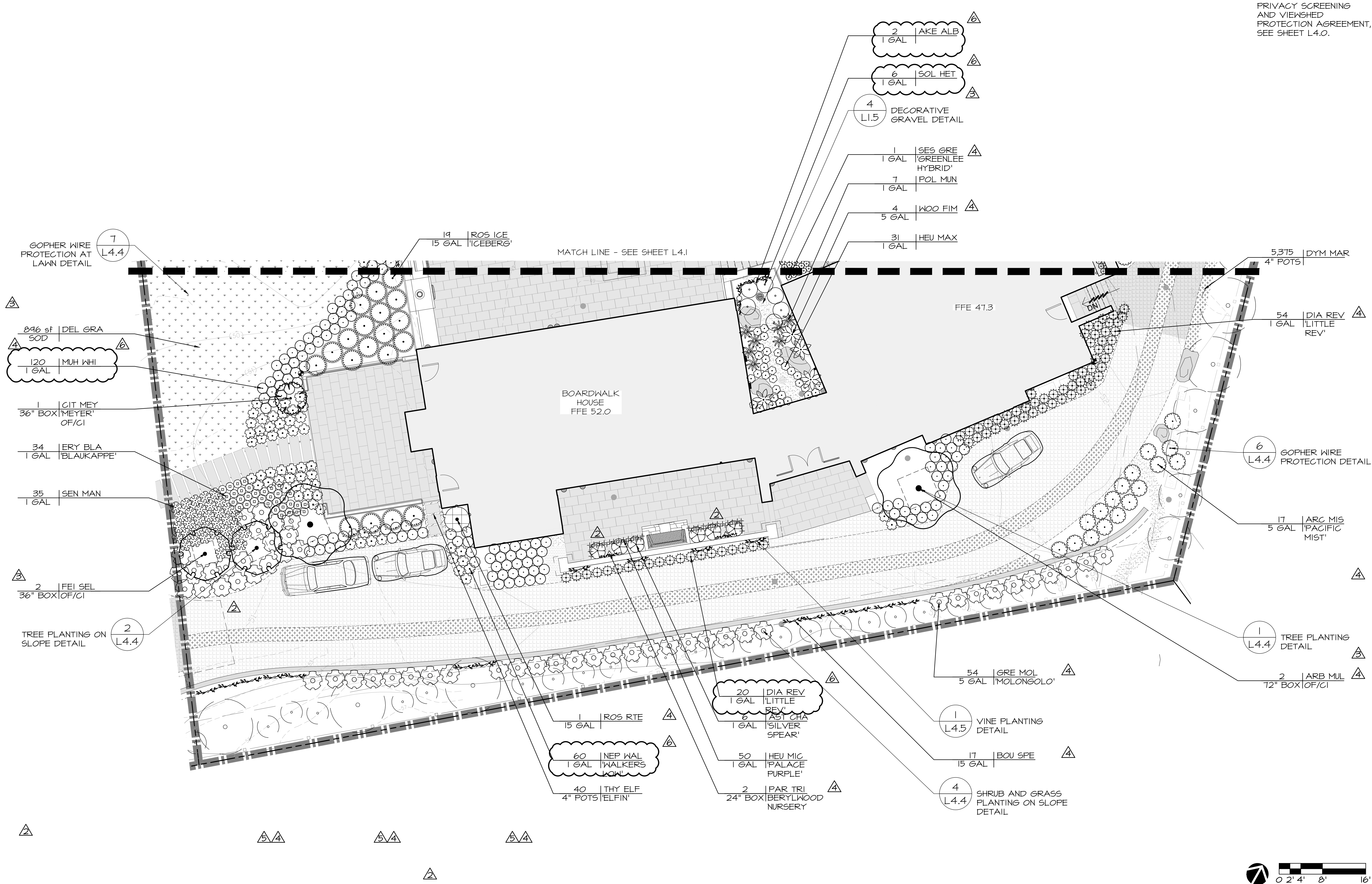
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 PHONE: 831.452.8949
 EMAIL: JL@JLA.COM WWW.JLA.COM
 California Landscape Architect License 3163

PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE: **PLANTING PLAN**
 SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MOON/PP
 DATE: 12/02/20
BW
L4.1

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- NOTES:
1. REFER TO SHEET L4.3 FOR PLANT SCHEDULE.
 2. PLANTING PLAN COMPLIES WITH THE HINES AND DEBRUCE PRIVACY SCREENING AND VIEWSHED PROTECTION AGREEMENT, SEE SHEET L4.0.

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	06/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL

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PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE: **PLANTING PLAN**

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20

ORIGINAL SHEET SIZE: 24" x 36"

BW
L4.2

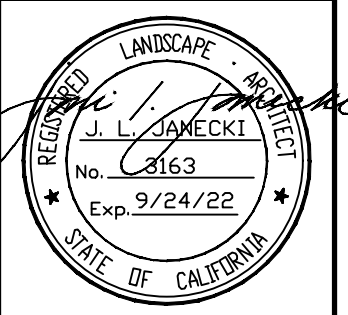
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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	ARB M4B	2	ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE MULTI-TRUNK	48" BOX
	ARB MUL	2	ARBUTUS X 'MARINA'	ARBUTUS MULTI-TRUNK	72" BOX
	CIT MEY	1	CITRUS X LIMON 'MEYER'	MEYER LEMON	36" BOX
	CUP MAC	1	CUPRESSUS MACROCARPA	MONTEREY CYPRESS	60" BOX
	CUP MA5	2	CUPRESSUS MACROCARPA	MONTEREY CYPRESS	72" BOX
	FEI SEL	4	FEIJOA SELLOWIANA	PINEAPPLE GUAVA TREE	36" BOX
	LEP LA3	11	LEPTOSPERMUM LAEVIGATUM	AUSTRALIAN TEA TREE	24" BOX
	MET EX2	1	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	60" BOX
	MET EX4	2	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	84" BOX
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	ACH TER	120	ACHILLEA MILLEFOLIUM 'TERRA COTTA'	TERRA COTTA YARROW	1 GAL
	AGA STO	35	AGAPANTHUS X 'STORM CLOUD'	STORM CLOUD AFRICAN LILY	5 GAL
	AGA NOV	3	AGAVE ATTENUATA 'NOVA'	BLUE CLONE	10 GAL
	AKE ALB	3	AKEBIA QUINATA 'ALBA'	WHITE CHOCOLATE VINE	1 GAL
	ALC MOL	44	ALCHEMILLA MOLLIS	LADY'S MANTLE	1 GAL
	ARC MAN	9	ARCTOSTAPHYLOS X 'EMERALD CARPET'	EMERALD CARPET MANZANITA	5 GAL
	ARC MIS	137	ARCTOSTAPHYLOS X 'PACIFIC MIST'	PACIFIC MIST MANZANITA	5 GAL
	AST CHA	6	ASTELIA CHATHAMICA 'SILVER SPEAR'	SILVER SPEAR	1 GAL
	BAC UBI	17	BACOPA SUTERA 'GULLIVER WHITE'	WHITE BACOPA	4" POT
	BOU SPE	21	BOUGAINVILLEA SPECTABILIS	GREAT BOUGAINVILLEA	15 GAL
	DIA REV	192	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL
	ERI KAR	50	ERIGERON KARVINSKIANUS	FLEABANE	1 GAL
	ERY BLA	46	ERYNGIUM PLANUM 'BLAUKAPPE'	ERYNGO	1 GAL
	GRE MOL	84	GREVILLEA JUNIPERINA 'MOLONGOLO'	GREVILLEA	5 GAL
	HEU MAX	31	HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GAL
	HEU MIC	50	HEUCHERA MICRANTHA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS	1 GAL
	LEU RAI	10	LEUCOSPERMUM X 'RAINBOW'	RAINBOW PINCUSHION	15 GAL
	LOM LON	203	LOMANDRA LONGIFOLIA 'BABY BREEZE'	DWARF MAT RUSH	1 GAL
	MUH WHI	206	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD'	WHITE MUHLY GRASS	1 GAL

	MUH WHI	206	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD'	WHITE MUHLY GRASS	1 GAL
	NEP WAL	115	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	1 GAL
	OLE MON	14	OLEA EUROPAEA 'MONTRA' TM	LITTLE OLLIE OLIVE	24" BOX
	PAR TRI	2	PARTHENOCISSUS TRICUSPIDATA	JAPANESE CREEPER	24" BOX
	PIT GRA	10	PITTIOSPORUM CRASSIFOLIUM	KARO PITTIOSPORUM	15 GAL
	PIT SIL	9	PITTIOSPORUM TENUIFOLIUM 'SILVER SHEEN'	SILVER SHEEN TAWHIWIHI	15 GAL
	POL MUN	7	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL
	ROS ICE	22	ROSA FLORIBUNDA 'ICEBERG'	ICEBERG ROSE	15 GAL
	ROS RTE	3	ROSA X 'JUST JOEY'	JUST JOEY ROSE	15 GAL
	SEN MAN	35	SENECIO MANDRALISCAE	BLUE FINGER	1 GAL
	SES GRE	224	SESLERIA X 'GREENLEE HYBRID'	GREENLEE HYBRID MOOR GRASS	1 GAL
	SOL HET	39	SOLLYA HETEROPHYLLA	AUSTRALIAN BLUEBELL	1 GAL
	TRA JAS	4	TRACHELOSPERMUM JASMINOIDES	CHINESE STAR JASMINE	24" BOX
	WOO FIM	4	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	DEL GRA	6,410 SF	DELTA GRASSLAND MIX	-	SOD
	DYM MAR	7,571	DYMONDIA MARGARETAE	DYMONDIA	4" POTS
	THY ELF	173	THYMUS PRAECOX 'ELFIN'	ELFIN CREEPING THYME	4" POTS

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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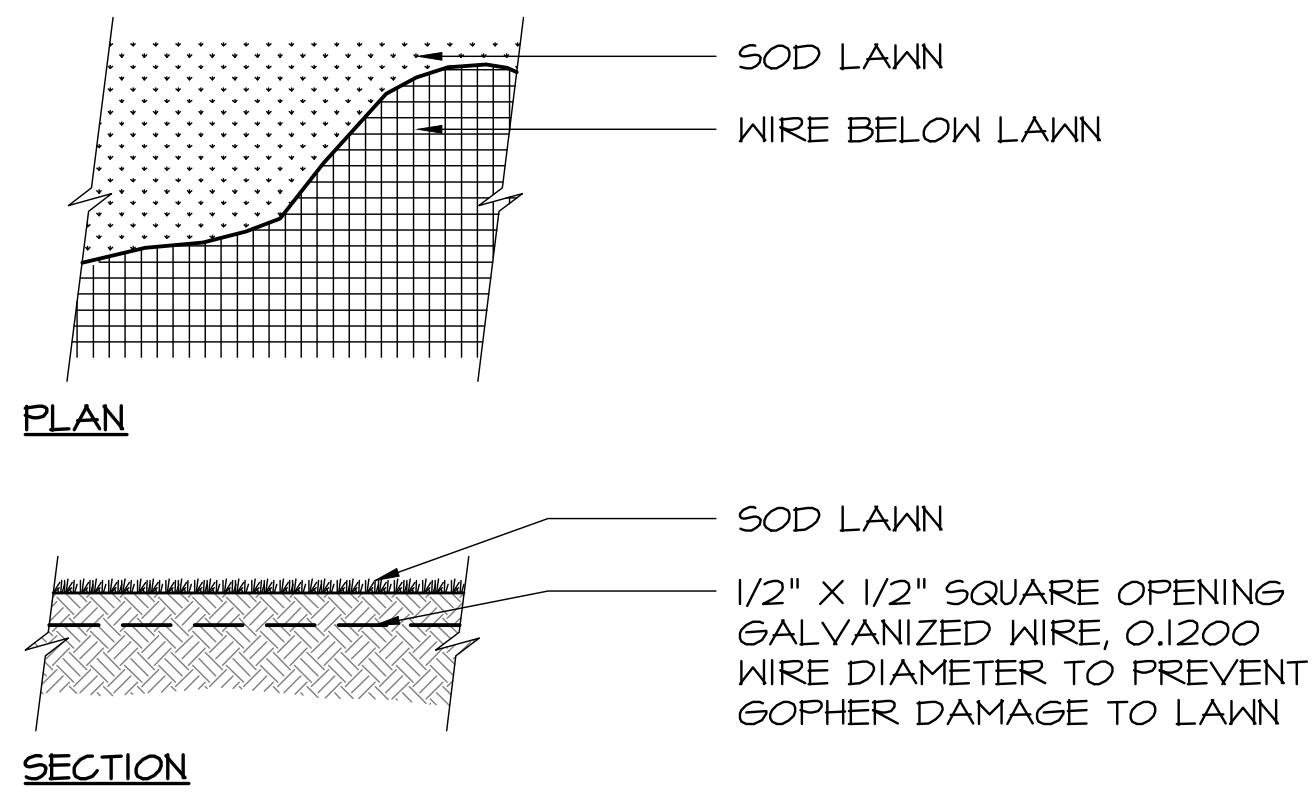
PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE:
PLANTING PLAN

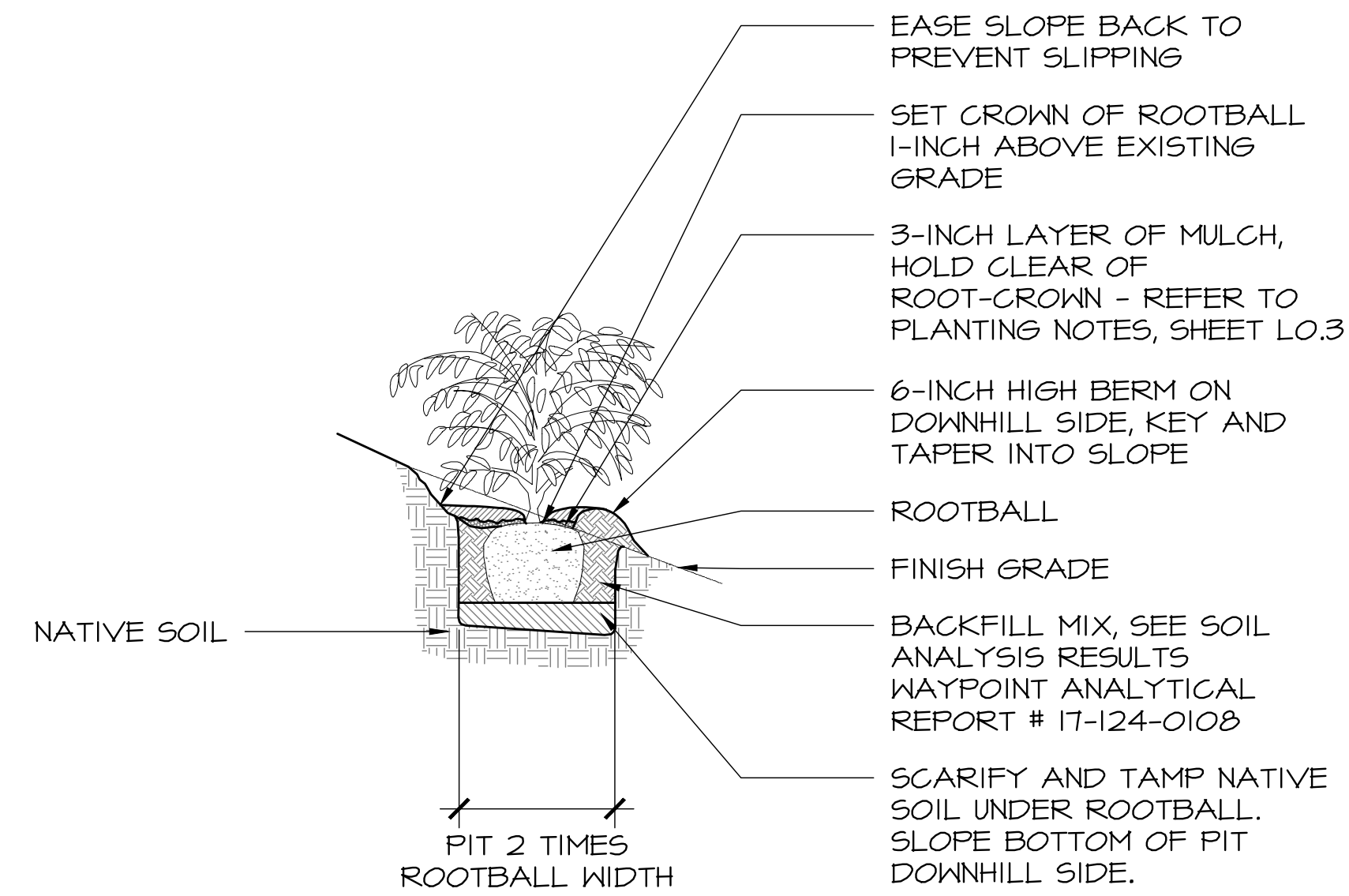
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 DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20

BW
 L4.3

ORIGINAL SHEET SIZE: 24" x 36"

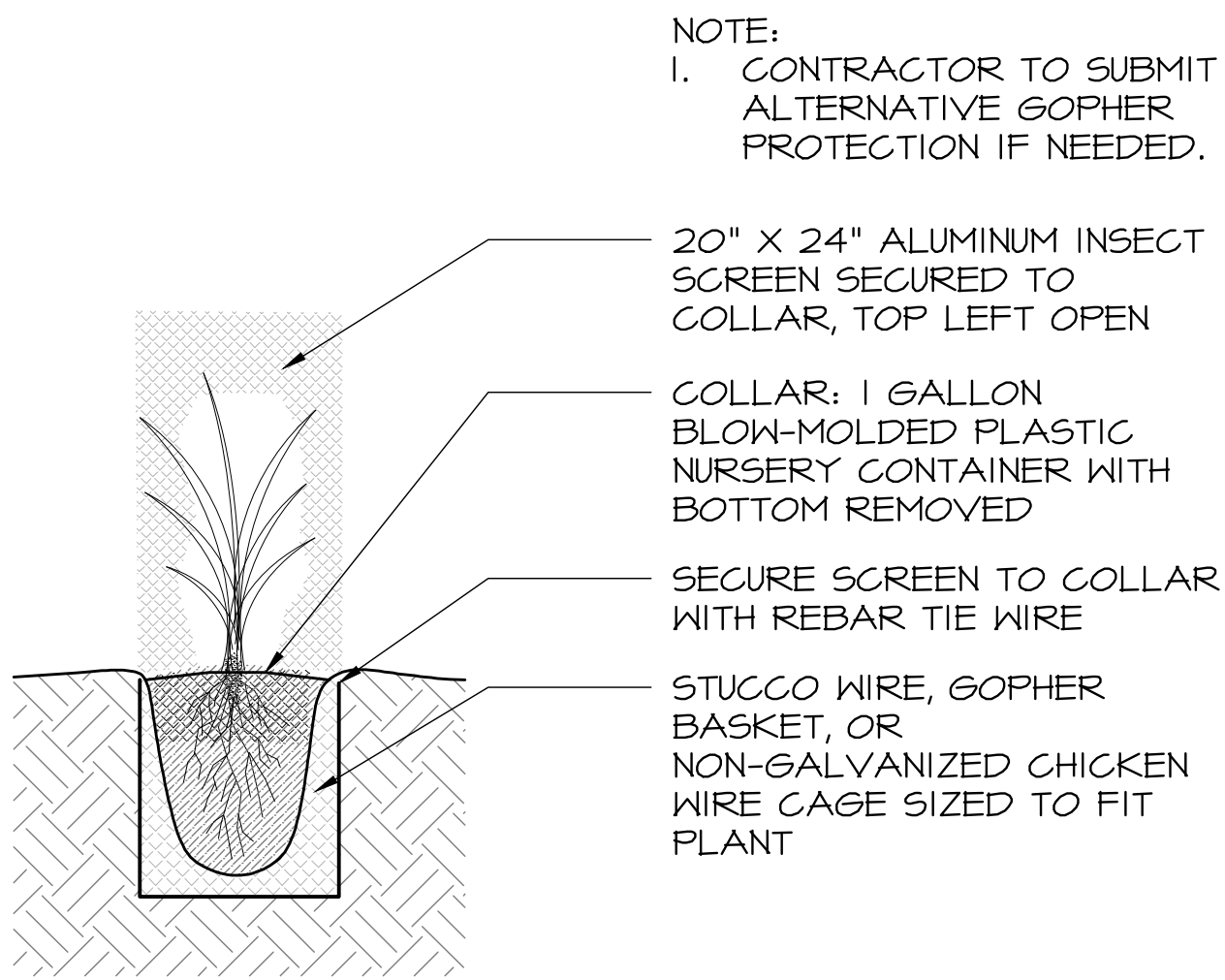


7 GOPHER WIRE PROTECTION AT LAWN DETAIL
NOT TO SCALE

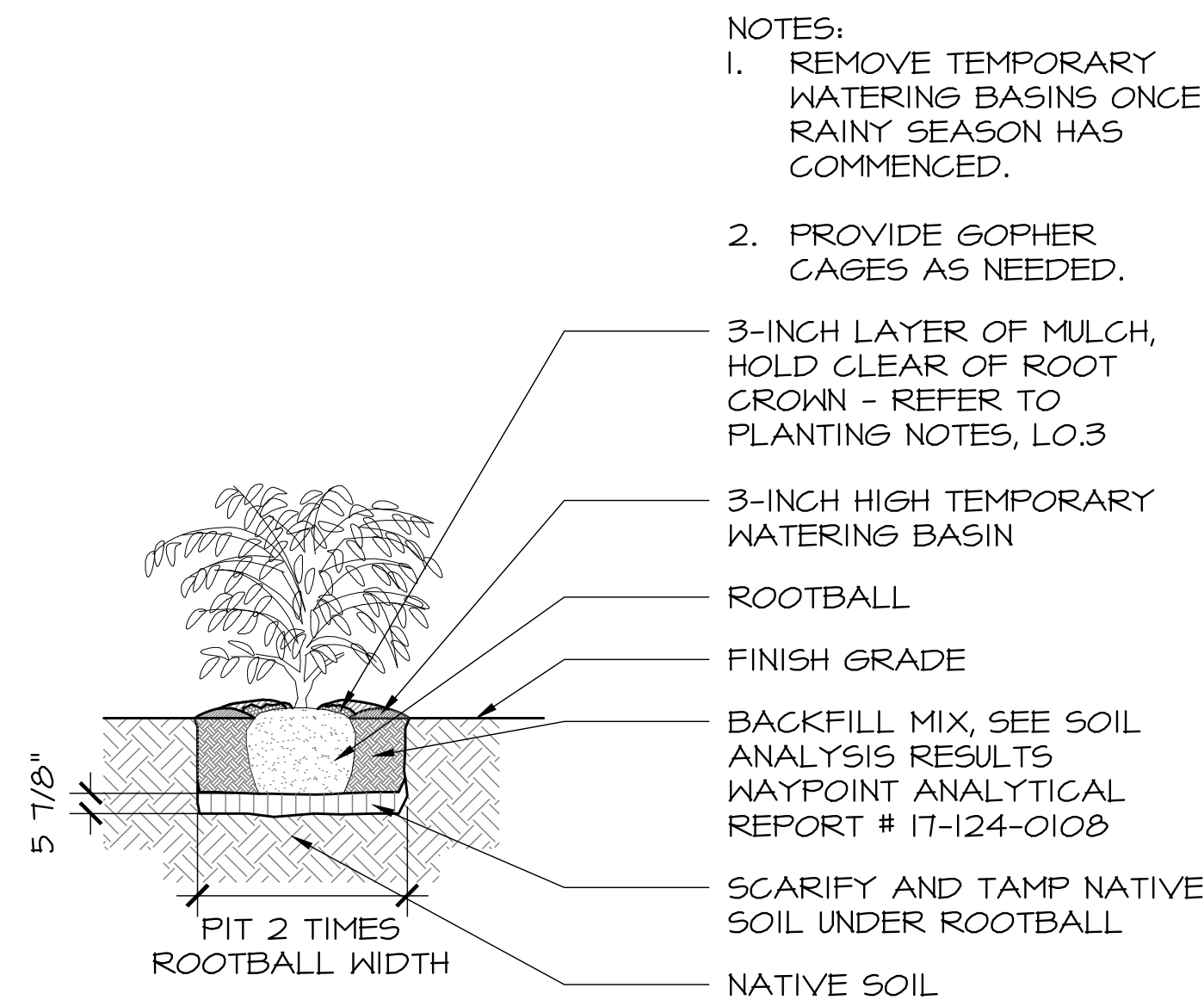


4 SHRUB AND GRASS PLANTING ON SLOPE DETAIL
NOT TO SCALE

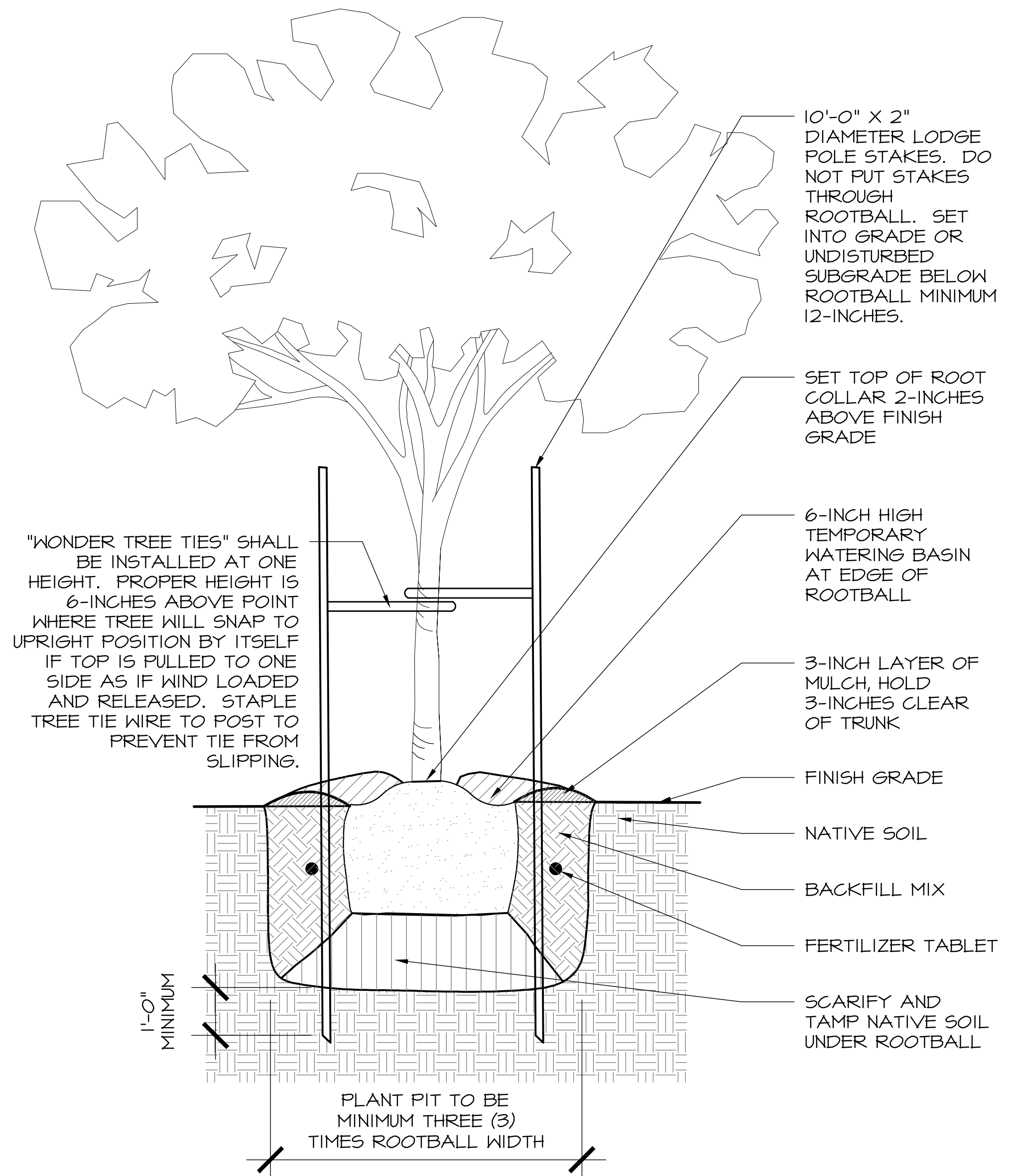
- NOTES:
- ALL TREES TO BE STAKED ON PREVAILING WIND SIDE WHEN TREE IS IN LEAF. VERIFY ALL CONNECTORS ARE SECURE AND TIGHT.
 - CONTRACTOR SHALL DOUBLE STAKE ALL 15 GALLON, 24-INCH & 36-INCH BOX TREES.
 - CONTRACTOR SHALL REMOVE NURSERY STAKE(S) AND TAGS FROM TREES UPON COMPLETION OF STAKING.
 - "WONDER TREE TIES" SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - REMOVE TEMPORARY WATERING BASINS ONCE RAINY SEASON HAS COMMENCED.
 - OWNER'S REPRESENTATIVE TO SELECT/TAG ALL PROJECT TREES AT NURSERY. CONTRACTOR TO COORDINATE AND PROVIDE PHOTOS OF PROPOSED TREES.
 - PLANTS WITH LARGE CIRCLING ROOTS OR KINKED ROOTS ON INTERIOR OF THE ROOTBALL WILL NOT BE ACCEPTED.
 - TREES SHALL BE SUPPLIED WITH WELL TAPERED STRONG TRUNKS WHICH WILL STAND ALONE.
 - TREES SHALL BE SUPPLIED WITH WELL TAPERED STRONG TRUNKS WHICH WILL STAND ALONE. TREES SUPPLIED WITH TOPS TOO LARGE FOR TRUNKS TO SUPPORT SHALL BE PRUNED AS DIRECTED BY OWNER'S REPRESENTATIVE TO REDUCE GROWTH HEIGHT. DO NOT REMOVE LATERALS ALONG TRUNK. DO NOT PRUNE TREES WITHOUT PRIOR APPROVAL FROM OWNER'S REPRESENTATIVE.



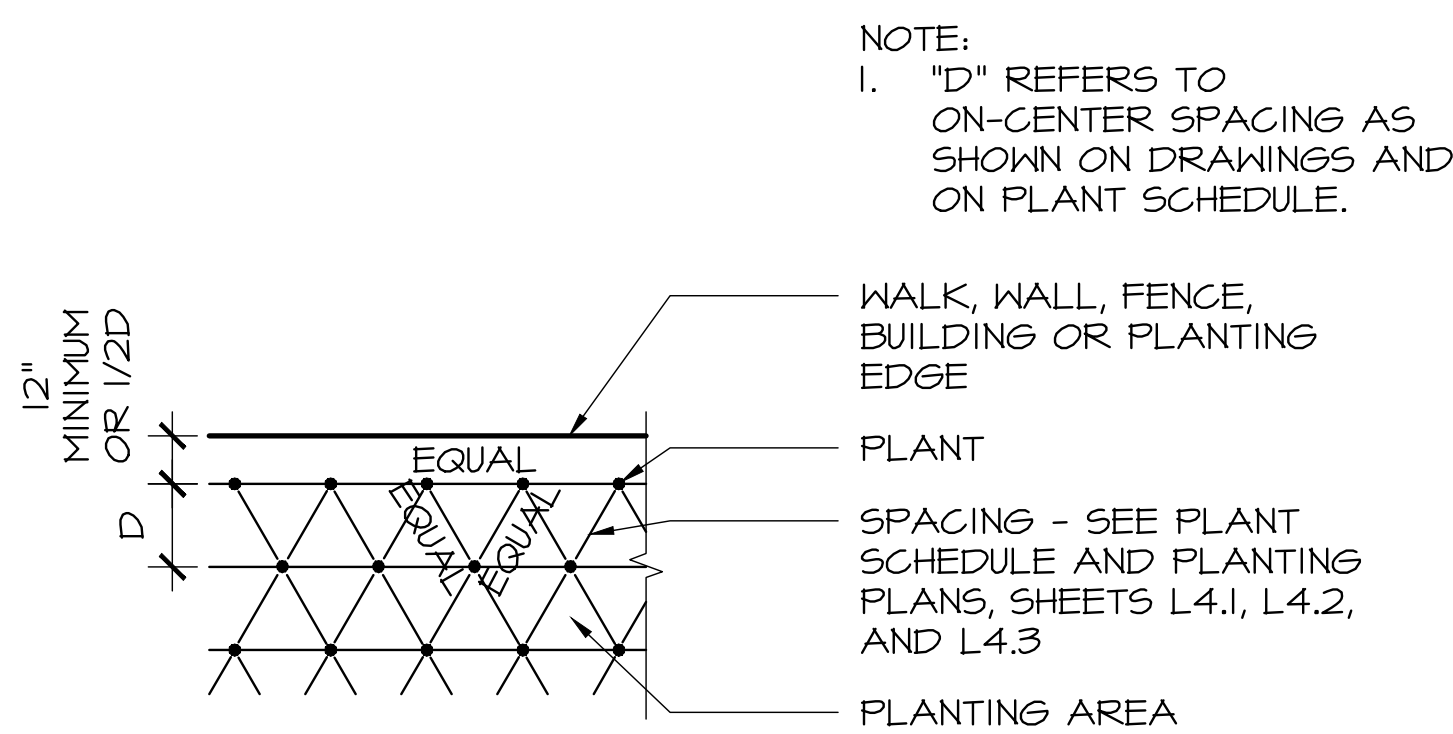
6 GOPHER WIRE PROTECTION DETAIL
NOT TO SCALE



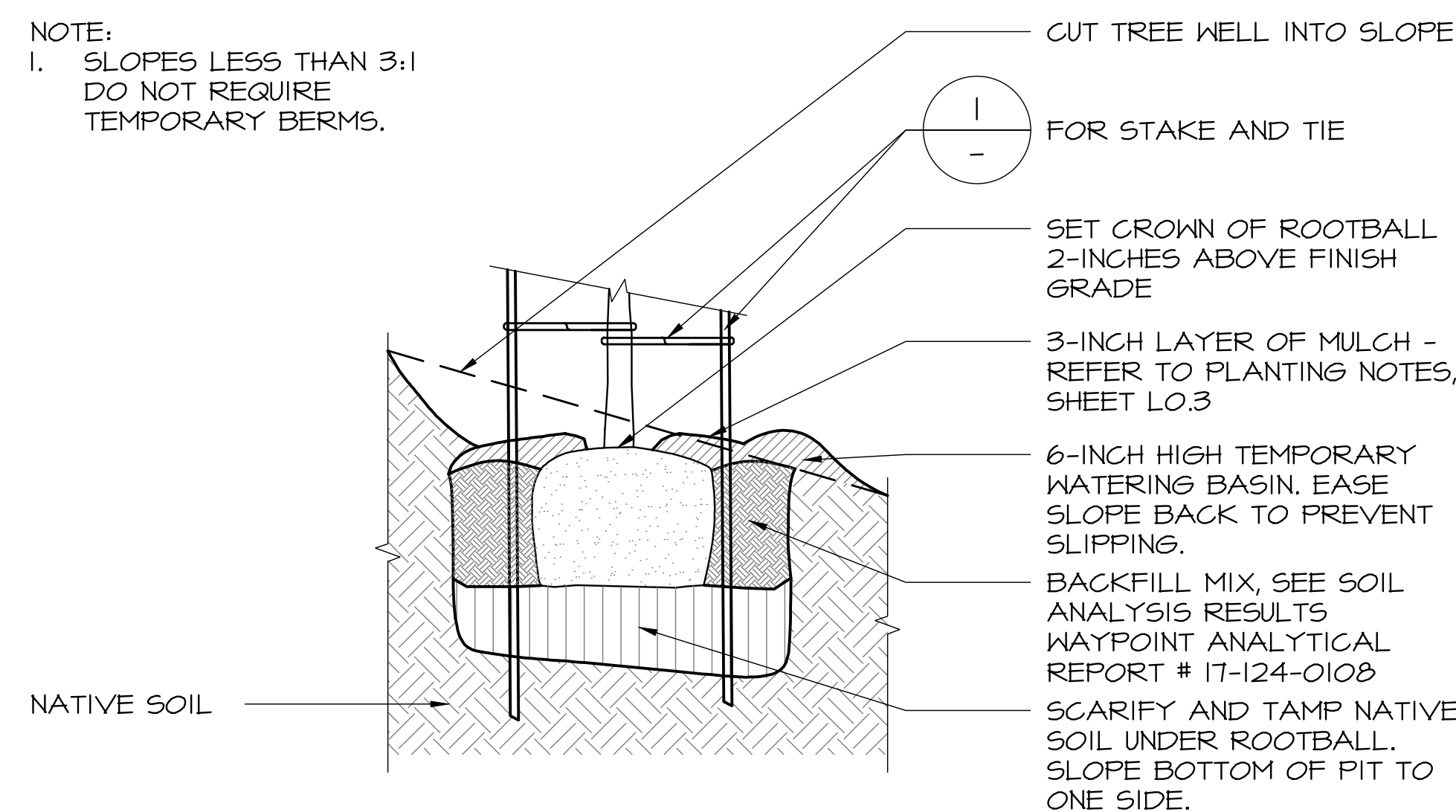
3 SHRUB AND GRASS PLANTING DETAIL
NOT TO SCALE



1 TREE PLANTING DETAIL
NOT TO SCALE

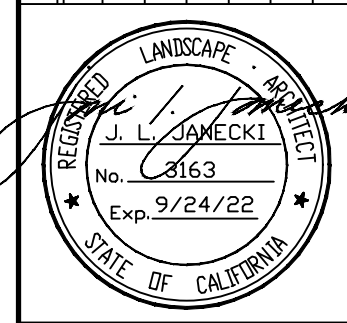


5 TYPICAL PLANT SPACING DETAIL
NOT TO SCALE



2 TREE PLANTING ON SLOPE DETAIL
NOT TO SCALE

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
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PROJECT: **CARMEL BY SEA: BOARDWALK HOUSE
HINES RESIDENCE**
7 CARMEL WAY
CARMEL, CA 93923
APN: 010-321-020

SHEET TITLE: **PLANTING DETAILS**

SCALE: AS NOTED
DRAWN BY: AZMMOON/FP
DATE: 12/02/20

**BW
L4.4**

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4

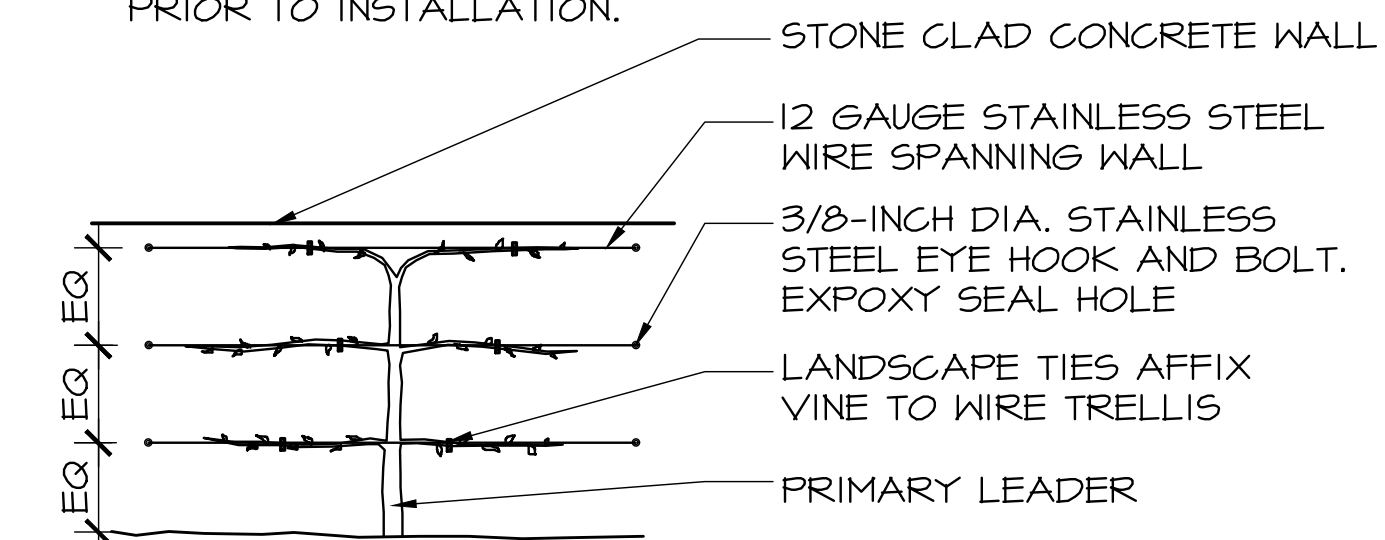
- NOTES:
- TEMPORARY WINDSCREEN TO REMAIN UNTIL TREES HAVE ACCLIMATED TO THE CLIMATE. LANDSCAPE ARCHITECT AND ARBORIST TO REVIEW 1-YEAR AFTER INSTALLATION TO DETERMINE WINDSCREEN REMOVAL DATE.
 - TEMPORARY WINDSCREEN HEIGHT TO BE DETERMINED IN FIELD BASED ON THE HEIGHT OF THE TREE.



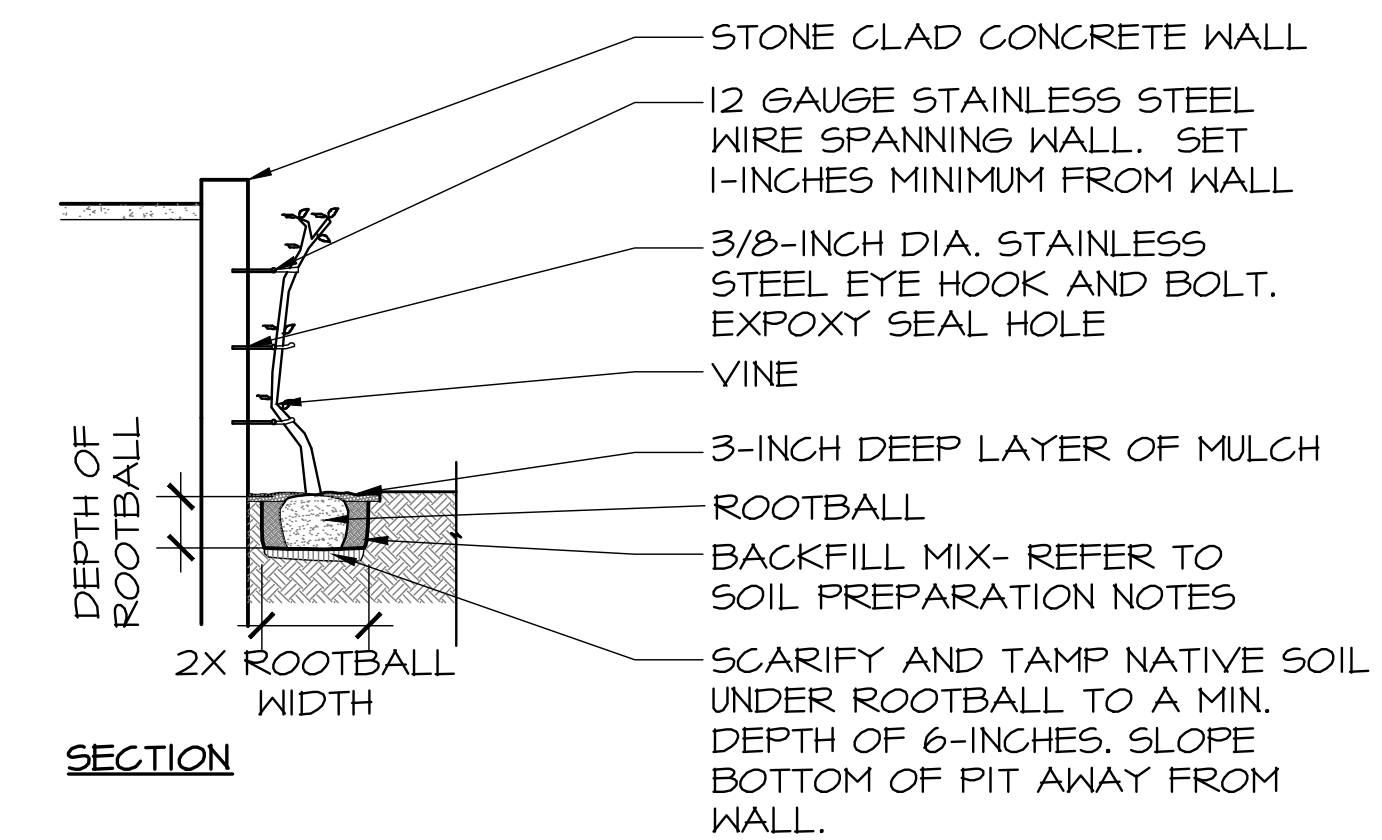
- (4) 2X4 PRESSURE TREATED FRAME
- SHADE CLOTH SCREWED TO THREE SIDES OF FRAME AT TOP OF STRUCTURE TO SHIELD TREE FROM THE PROMINENT WINDWARD DIRECTION
- (3) 2X4 PRESSURE TREATED CROSS BRACES ON THREE SIDES OF STRUCTURE
- (4) 2X4 PRESSURE TREATED FRAME HALF WAY UP STRUCTURE
- (4) 4X4 PRESSURE TREATED POSTS ON EACH CORNER FORMING A FRAME AROUND TREE

2 TEMPORARY WINDSCREEN PROTECTION DETAIL
NOT TO SCALE

- NOTES:
- PROVIDE LANDSCAPE ARCHITECT SAMPLE OF STAINLESS STEEL CABLE FOR APPROVAL.
 - REVIEW VINE ATTACHMENT LOCATIONS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



ELEVATION



SECTION

3

1 VINE ATTACHMENT AT WALL DETAIL
NOT TO SCALE

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
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PROJECT: CARMEL BY SEA: BOARDWALK HOUSE
 HINES RESIDENCE
 7 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-020

SHEET TITLE:
PLANTING DETAILS

SCALE: AS NOTED
 DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20

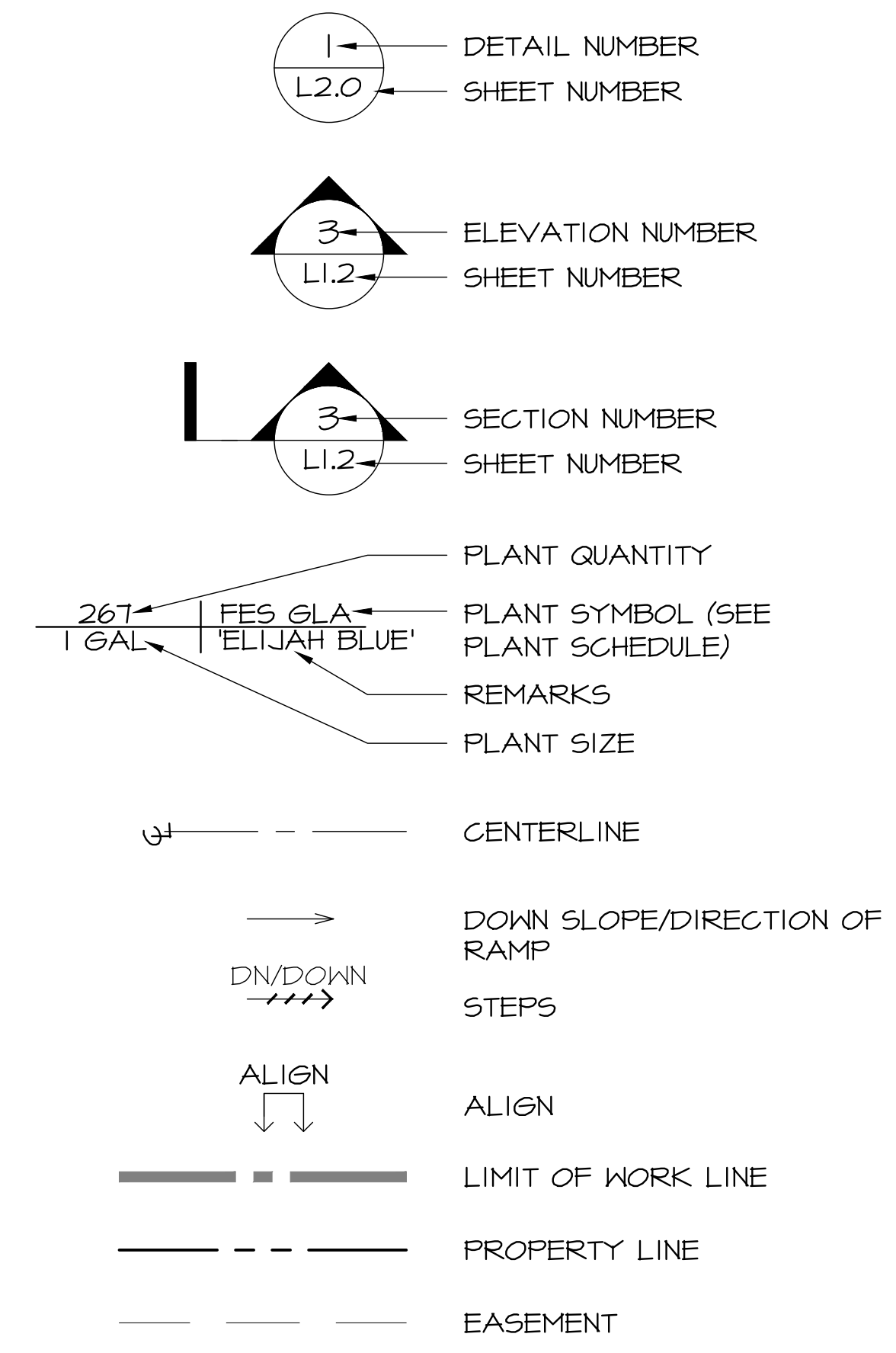
BW
 L4.5

Hines Residence - Beach House

9 Carmel Way
Carmel, California 93923
APN: 010-321-021

100% BUILDING PERMIT SUBMITTAL
DECEMBER 02, 2020

LEGEND



ABBREVIATIONS

⊕	AND	N.I.C.	NOT IN CONTRACT
⊙	AT	NO.	NUMBER
⊖	CENTERLINE	NOM.	NOMINAL
∅	DIAMETER OR ROUND POUND OR NUMBER	N.T.S.	NOT TO SCALE
#	POUND OR NUMBER	O.C.	ON CENTER
(E)	EXISTING	O.C.E.W.	ON CENTER EACH WAY
(F)	PROPOSED	O.D.	OUTSIDE DIAMETER (DIM.)
(N)	NEW	OF/CI	OWNER FURNISHED CONTRACTOR INSTALL
∠	ANGLE	PA	PLANTING AREA
ADJ.	ADJACENT	PIP	POURED IN PLACE
AGGR.	AGGREGATE	PL	PROPERTY LINE
AL.	ALUMINUM	POT	POINT OF TANGENCY
APPROX.	APPROXIMATE	PRCST.	PRECAST
ARCH.	ARCHITECTURAL	PT.	POINT
A.C.	ASPHALT	PTD.	PAINTED
ACC.	ACCESSIBLE	QTY.	QUANTITY
B.C.R.	BEGINNING OF CURVE RADIUS	R.	RISER
B.O.C.	BACK OF CURB	RAD.	RADIUS
B.O.W.	BOTTOM OF WALL	REF.	REFERENCE
B.O.S.	BOTTOM OF SLOPE	REINF.	REINFORCED
BLDG.	BUILDING	REQ.	REQUIRED
BLK.	BLOCK	RM.	ROOM
C.E.	CIVIL ENGINEER	S.	SOUTH
CIP	CAST IN PLACE	SCH.	SCHEDULE
CLKG.	CAULKING	SIM.	SIMILAR
CMU.	CONCRETE MASONRY UNIT	SECT.	SECTION
CONT.	CONTINUOUS	SHT.	SHEET
CONST.	CONSTRUCTION	SPEC.	SPECIFICATION
CONT.	CONTINUOUS	SQ.	SQUARE
CTR.	CENTER	SS	STAINLESS STEEL
D.A.	DISABLED ACCESS	STD.	STANDARD
DET.	DETAIL	STL.	STEEL
DIA.	DIAMETER	STRL.	STRUCTURAL
DIM.	DIMENSION	SYM.	SYMMETRICAL
DN.	DOWN	T.	TREAD
DWG.	DRAWING	TBD	TO BE DETERMINED
DWGS.	DRAWINGS	TBS	TO BE SELECTED
EA.	EACH	T.C.	TOP OF CURB
EJ	EXPANSION JOINT	TEL.	TELEPHONE
EL.	ELEVATION	T.O.S.	TOP OF SLOPE
ELEC.	ELECTRICAL	T.O.W.	TOP OF WALL
ENCL.	ENCLOSURE	TYP.	TYPICAL
EQ	EQUAL	UBC	UNIFORM BUILDING CODE
EQPT	EQUIPMENT	VERT.	VERTICAL
EXP.	EXPANSION	V.I.F.	VERIFY IN FIELD
EXT.	EXTERIOR	W.	WEST
F.D.C.	FIRE DEPART. CONNECTION	W/	WITH
FG	FINISH GRADE	W/O	WITHOUT
FIN.	FINISH	WP.	WATERPROOF
FL.	FLOOR	WT.	WEIGHT
FOB	FACE OF BUILDING		
FOC	FACE OF CURB		
FOW	FACE OF WALL		
FS	FINISH SURFACE		
FTG.	FOOTING		
FT.	FOOT OR FEET		
GA.	GAUGE		
GALV.	GALVANIZED		
GND.	GROUND		
GR.	GRADE		
H.B.	HOSE BIB		
HDR.	HEADER		
HDWD.	HARDWOOD		
HORIZ.	HORIZONTAL		
HT.	HEIGHT		
I.D.	INSIDE DIAMETER (DIM.)		
JT.	JOINT		
LT.	LIGHT		
LOC.	LOCATION		
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MET.	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MTD.	MOUNTED		
MTL.	MATERIAL		
N.	NORTH		
N.C.C.P.	NATURAL COMMUNITY CONSERVATION PLAN		

PROJECT DESCRIPTION/SCOPE OF WORK

LANDSCAPE RENOVATION INCORPORATING DROUGHT TOLERANT PLANTS, NEW WALLS, COBBLE STONE AND PLANTED DRIVEWAY, PATHWAYS AND OUTDOOR GATHERING AREAS.

NOTES

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL CITY OF CARMEL LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF, AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

Joni L. Jannecki DECEMBER 02, 2020
JONI L. JANECKI DATE

SHEET INDEX

--	LANDSCAPE TITLE SHEET
LO.1	NOTES
LO.2	NOTES
LO.3	NOTES
L1.0	OVERALL KEY PLAN
L1.1	MATERIALS PLAN
L1.1A	MATERIALS PLAN
L1.2	MATERIALS PLAN
L1.2A	MATERIALS PLAN
L1.3	DIMENSION PLAN
L1.3	FINE GRADING PLAN
L1.4	MATERIALS DETAILS
L1.5	MATERIALS DETAILS
L1.6	MATERIALS DETAILS
L1.7	MATERIALS DETAILS
L2.0	ROOF LANDSCAPE PLAN
L3.0	IRRIGATION PLAN
L3.1	IRRIGATION PLAN
L3.2	IRRIGATION LEGEND AND NOTES
L3.3	IRRIGATION DETAILS
L3.4	IRRIGATION DETAILS
L3.5	IRRIGATION DETAILS AND WATER CALCULATION
L4.0	PLANTING PLAN
L4.1	PLANTING PLAN
L4.2	PLANT SCHEDULE
L4.3	PLANTING DETAILS
L4.4	PLANTING DETAILS

PREPARED BY

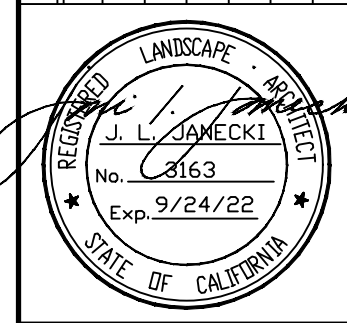
LANDSCAPE ARCHITECT
JONI L. JANECKI & ASSOCIATES, INC.
515 SWIFT STREET
SANTA CRUZ, CALIFORNIA 95060
PHONE: (831) 423-6040
FAX: (831) 423-6054
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WEB: WWW.JLJA.COM

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GENERAL CONSTRUCTION AND LAYOUT NOTES

1. REFER TO CIVIL ENGINEER'S DRAWINGS AND ARBORIST REPORT FOR TREE REMOVAL AND PROTECTION. DO NOT START WORK UNTIL ALL PROTECTIONS ARE IN PLACE.
2. DO NOT START WORK UNTIL ALL TREE PROTECTIONS ARE IN PLACE AS OUTLINED IN THESE PLANS.
3. ALL MATERIALS AND WORKMANSHIP TO CONFORM TO ALL APPLICABLE GOVERNING CODES AND ORDINANCES. WHEREVER THESE DRAWINGS VARY FROM THOSE CODES AND/OR ORDINANCES, THE CONTRACTOR IS TO FOLLOW THE DRAWINGS AS LONG AS THEY MEET OR EXCEED THE CODES AND/OR ORDINANCES. IF THE DRAWINGS DO NOT COMPLY WITH CODE, IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
4. FIELD VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS PRIOR TO COMMENCEMENT OF ANY WORK UNDER THIS CONTRACT, INCLUDING BUT NOT LIMITED TO: SETBACKS, EASEMENTS, PROPERTY LINES, RIGHT-OF-WAYS, TOP AND BOTTOM OF SLOPES, UTILITIES, STRUCTURES, AND PROJECT LIMITS OF WORK. IMMEDIATELY REPORT DISCREPANCIES BETWEEN THE PLAN AND ACTUAL SITE CONDITIONS TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE FOR RESOLUTION BEFORE BEGINNING WORK.
5. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS, DISCREPANCIES AND GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS AND THE PREPARATION OF THESE DRAWINGS. IMMEDIATELY BRING SUCH DISCREPANCIES TO ATTENTION OF OWNER'S REPRESENTATIVE PRIOR TO EXECUTING WORK.
6. NOTIFY UNDERGROUND "DIG ALERT" SERVICE AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION OPERATIONS.
7. CONTRACTOR WILL COORDINATE ALL WORK WITH GENERAL CONTRACTOR. ALL COORDINATION WILL BE FOR PURPOSE OF MINIMIZING CONFLICTS AND COMPLETING WORK IN AN EFFICIENT MANNER.
8. PARKING: COORDINATE SITE ACCESS AND VERIFY PARKING WITH GENERAL CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
9. ALL EXISTING TREES WILL BE PROTECTED IN PLACE. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGE OF ANY KIND TO EXISTING TREES AND PLANTINGS TO REMAIN DURING THE COURSE OF CONSTRUCTION. CONTRACTOR WILL PROVIDE UNIT COST FOR TREE AND PLANT REPLACEMENT BASED ON CONTAINER SIZE.
10. CONTRACTOR WILL TAKE PROPER PRECAUTIONS TO PROTECT EXISTING UTILITIES. IF AN EXISTING UTILITY IS DAMAGED BY CONTRACTOR'S WORK, THE CONTRACTOR WILL SEE THAT REPAIR OF THE UTILITY IS COMPLETED AT NO COST TO THE OWNER. CALL BEFORE YOU DIG: (800) 642-2444.
11. THE CONTRACTOR WILL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT EXISTING IMPROVEMENTS FROM ANY AND ALL DAMAGE OR DEPOSITION OF DEBRIS THAT MAY RESULT FROM ANY AND ALL WORK IN CONNECTION WITH PROJECT CONSTRUCTION. LANDSCAPE CONTRACTOR TO BE RESPONSIBLE FOR ALL COSTS RELATED TO DAMAGE, INCLUDING IN-KIND REPLACEMENT.
12. REFER TO CITY OF CARMEL STANDARD PLANS AND SPECIFICATIONS, WHERE APPLICABLE. IF COUNTY OF MONTEREY STANDARDS VARY FROM THESE PLANS CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
13. WORK, ONCE BEGUN, WILL BE PURSUED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO THE OWNER'S AND ADJACENT PROPERTY OWNERS.
14. ALL UTILITY BOXES AND VALVE BOXES WITHIN THE LIMITS OF THIS WORK WILL BE ADJUSTED FLUSH WITH FINISH GRADE.
15. UNDERTAKE EXCAVATION IN VICINITY OF UTILITIES AND EXISTING IMPROVEMENTS WITH GREAT CARE. ASSUME FULL RESPONSIBILITY IF THESE IMPROVEMENTS ARE DAMAGED DUE TO CONTRACTOR'S NEGLIGENCE.
16. PROVIDE CONTINUOUS COORDINATION BETWEEN OWNER'S REPRESENTATIVE, GENERAL CONTRACTOR, PROJECT SUBCONTRACTORS, AND DESIGN DRAWINGS.
17. PRIOR TO INSTALLING HARDSCAPE ELEMENTS, REVIEW LOCATIONS OF UTILITY ELEMENTS SUCH AS JUNCTION BOXES, GFCI'S, METERS, CONDUITS, CLEAN-OUTS, COVERS, ETC, WITH LANDSCAPE ARCHITECT.
18. ENSURE THAT ROUGH GRADE HAS BEEN ACCEPTED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO BEGINNING HARDSCAPE LAYOUT AND FINE GRADING.
19. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ROUGH GRADING, UTILITY PLACEMENT, HARDSCAPE/WALL LAYOUT, STEPS AND OTHER SITE FEATURES. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT A MINIMUM FIVE (5) WORK DAYS IN ADVANCE PRIOR TO SCHEDULING A CONTRACTOR-REQUESTED SITE VISIT.
20. CONTRACTOR TO VERIFY QUANTITIES BASED ON FIELD MEASUREMENTS.
21. FIELD VERIFY DIMENSIONS OF DRIVEWAYS, WALLS, PLANTERS, DECK, PAVING, WALKS, SLOPES, AND RELATED WORK PRIOR TO CONSTRUCTION.
22. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS.
23. WHEN DIMENSIONS ARE CALLED OUT AS "EQUAL" OR "EQ", REFERENCED ITEMS ARE TO BE EQUALLY SPACED AND MEASURED TO THEIR CENTERLINES. MEASUREMENTS ARE TO FACE OF WALL, CURB OR OTHER FIXED SITE IMPROVEMENT, UNLESS OTHERWISE NOTED. DIMENSIONS TO CENTERLINES ARE AS INDICATED.
24. INSTALL INTERSECTING ELEMENTS AT 90 DEGREES TO EACH OTHER UNLESS NOTED OTHERWISE.
25. CONTRACTOR SHALL BRING ANY OMISSIONS OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO BID.
26. COORDINATION SHALL INCLUDE (BUT NOT BE LIMITED TO) MECHANICAL, PLUMBING AND ELECTRICAL DEVICES. VERIFY LOCATIONS AND CLEARANCE WITH LANDSCAPE ARCHITECT AND ARCHITECTURAL DRAWINGS PRIOR TO ORDERING COMPONENTS.
27. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. IF THESE DRAWINGS ARE NOT 24" X 36", THEY HAVE BEEN REDUCED OR ENLARGED.
28. HORIZONTAL DIMENSIONS, ARE TO FACE OF STUD, CENTER LINE OF COLUMN, AND CENTER LINE OF WINDOW / DOOR, TYPICAL UNLESS OTHERWISE NOTED "CLEAR" DIMENSIONS ARE TO FACE OF FINISH.
29. ALL NOTES DESCRIBE NEW CONDITIONS UNLESS OTHERWISE NOTED AS (E) OR "EXISTING".
30. ITEMS NOTED AS "FUTURE" OR (F) ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE ONLY.
31. REFER TO SOIL ENGINEER'S GEOTECHNICAL REPORT FOR PAVING REQUIREMENTS SUCH AS SUB-BASE PREPARATION, COMPACTION, REINFORCING, DOWELING AND CEMENT TYPE, AS APPLICABLE.
32. REFER TO STRUCTURAL ENGINEER PLANS FOR STRUCTURAL REQUIREMENTS SUCH AS FOR RETAINING WALLS, WOOD STRUCTURES, STAIRS, AND PAVING, AS APPLICABLE.
33. REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL GRADING AND DRAINAGE AND AND TOP/BOTTOM OF WALLS.
34. ALL WORK SHALL BE IN CONFORMANCE WITH REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. THIS INCLUDES STATE AND LOCAL ZONING AND BUILDING CODES AND ORDINANCES AND CONDITIONS FOR APPROVAL.
35. ALL CONSTRUCTION SHALL CONFORM TO:
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA FIRE CODE
36. COORDINATE WITH RELATED CONSTRUCTION TRADES ON ALL ASPECTS OF WORK THAT IS IMPACTED OR REQUIRES COORDINATION WITH ANOTHER TRADE.
37. ALL CONSTRUCTION TO BE PLUMB AND TRUE UNLESS OTHERWISE INDICATED IN THE DRAWINGS.
38. WORK ON THIS PROJECT, ONCE BEGUN, SHALL BE PURSUED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO OWNER AND IMPACTS TO PROJECT SCHEDULE.
39. CONTACT OWNER'S REPRESENTATIVE FOR ACCESS TO RELATED DRAWINGS, PLAN SETS AND REPORTS.
40. VERIFY LOCATIONS OF SITE IMPROVEMENTS INSTALLED AS PART OF OTHER PLANS.
41. IF IMPROVEMENTS NOTED ON THESE DRAWINGS CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, IMMEDIATELY CONTACT OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
42. PRIOR TO BIDDING/INSTALLATION OF WORK CONTRACTOR TO REFERENCE GEOTECHNICAL REPORT, AVAILABLE FROM GENERAL CONTRACTOR.
43. THESE PLANS INCORPORATE SPECIFIC RECOMMENDATIONS FROM GEOTECHNICAL SOILS REPORT. CONFIRM REQUIREMENTS OF THIS REPORT WITH THAT INDICATED ON THESE PLANS. BRING TO ATTENTION OF THE OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR DISCREPANCIES BETWEEN THE GEOTECHNICAL SOILS REPORT AND THESE PLANS.
44. THE CONTRACTOR TO TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT AREA AND DRAINAGE WAYS FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORMWATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH PROJECT CONSTRUCTION.
45. UNDERTAKE EXCAVATION IN VICINITY OF UTILITIES AND EXISTING IMPROVEMENTS WITH GREAT CARE. ASSUME FULL RESPONSIBILITY IF THESE IMPROVEMENTS ARE DAMAGED DUE TO CONTRACTOR'S NEGLIGENCE.
46. CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT EXISTING UTILITIES. IF AN EXISTING UTILITY IS DAMAGED BY CONTRACTOR'S WORK, THE CONTRACTOR SHALL REPAIR AT NO COST TO THE OWNER. NOTIFY UNDERGROUND "DIG ALERT" SERVICE AT (800) 422-5133 AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION OPERATIONS.
47. ALL SURFACES TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING OR BUILT ELEMENTS. NO POOLING OR LOW POCKETS ACCEPTED NOR ABRUPT TRANSACTIONS BETWEEN NEW AND EXISTING SURFACES.
48. COORDINATE WORK WITH DRAINAGE IMPROVEMENTS BEING COMPLETED BY GENERAL CONTRACTOR.
49. PROVIDE ADEQUATE AND EXTRA SLEEVING TO ALL PLANTING AREAS FOR ELECTRICAL, IRRIGATION, DRAINAGE AND FIXTURE NEEDS.
50. ENSURE THAT LAYOUT OF PAVING AND DESIGN ELEMENTS IS ACCEPTED BY OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT. PROVIDE PAVING MOCK-UP PRIOR TO INSTALLATION FOR REVIEW BY OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.
51. ALL CONCRETE TO OBTAIN MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT TWENTY-EIGHT (28) DAYS UNLESS OTHERWISE INDICATED BY GEOTECHNICAL ENGINEER.
52. PROVIDE 6" X 6" (#6) WWSM (WELDED WIRE STEEL MESH) CONTINUOUS IN ALL CONCRETE PAVING AND BASES UNLESS OTHERWISE INDICATED BY STRUCTURAL OR GEOTECHNICAL ENGINEER. HOLD MESH CLEAR OF FELT EXPANSION JOINTS.
53. PROVIDE 1/4-INCH FELT EXPANSION JOINTS AT BUILDING FACE, SEPARATE POURS AND AS NEEDED TO CONTROL CRACKING OF CONCRETE. INSTALL 12-INCH LONG NO. 3 BARS WITH SLEEVES AT 36-INCHES ON CENTER AT ALL APPLICABLE EXPANSION JOINTS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF ALTERNATIVE METHOD FOR CRACK CONTROL IS DESIRED.
54. ALL FASTENERS TO BE NON-RUSTING AND MATCH QUALITY OF BUILDING FASTENER STRAPS AND CONNECTIONS. VERIFY WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT. COUNTER SINK ALL SCREWS, NAILS, CAULK HOLES AND JOINTS PRIOR TO PAINTING; UNLESS OTHERWISE AGREED UPON WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.
55. PER CALIFORNIA FIRE CODE (FIRE 008 - GATES): ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30 FEET FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE BUT IN NO CASE LESS THAN 12 FEET WIDE. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A 40-FOOT TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
56. PERSONNEL GATES (NON-STANDARD CONDITION) ALL PERSONNEL GATES PROVIDING ACCESS FROM A ROAD OR DRIVEWAY TO THE MAIN ENTRANCE TO THE BUILDING SHALL BE A MINIMUM WIDTH OF 36 INCHES TO ACCOMMODATE EMERGENCY PERSONNEL WITH EMERGENCY MEDICAL OR FIREFIGHTING EQUIPMENT. WHERE SUCH GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX, ELECTRONIC KEY SWITCH OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
57. RESPONSIBLE LAND USE DEPARTMENT: MONTEREY COUNTY REGIONAL FIRE DISTRICT
58. EMERGENCY TELEPHONE NUMBERS:
POLICE DEPARTMENT 911
FIRE DEPARTMENT 911
MONTEREY COUNTY SHERIFF (831) 755-3700
PEBBLE BEACH COMMUNITY SERVICES DISTRICT (PBCSD) - FIRE AND MEDICAL (831) 375-4204
PG&E (800) 743-5000
U.S.A. NORTH 811 (800) 642-2444

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	06/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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 515 SWIFT ST. SANTA CRUZ, CA 95060
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 EMAIL: J.LJ@JLA.COM WWW.JLA.COM
 California Landscape Architect License 3163

PROJECT: **CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **NOTES**

SCALE: -
 DRAWN BY: AZMMOONIFF
 DATE: 12/02/20

**BH
 L0.1**

T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Hines-Landscape-Beach House-Permit-Set\Hines-Res-submittal\Hines-BH-Landscape.dwg, L0.1 Notes, 12/11/2020 12:14:17 PM, AutoCAD PDF (Smallest File).pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1



SOIL PREPARATION NOTES:

1. CONTRACTOR TO REVIEW SOIL ANALYSIS RESULTS AND COMMENTS FROM WAYPOINT ANALYTICAL REPORT #17-124-0108.
2. CONTRACTOR TO PROVIDE ALL SOIL AND SOIL AMENDMENT PRODUCTS, INCLUDING ALL IMPORTED TOPSOIL AS REQUIRED TO MAKE UP DEFICIENCIES IN QUANTITY OF SOIL AVAILABLE ON SITE.
3. CONTRACTOR TO PROVIDE SUBMITTALS FOR THE FOLLOWING:
 - A) FERTILIZER: PROVIDE OWNER AND LANDSCAPE ARCHITECT WITH UNIT COST PER CUBIC YARD AND SHEET SPECIFICATIONS.
 - B) SOIL AMENDMENT AND TOPSOIL: PROVIDE OWNER AND LANDSCAPE ARCHITECT WITH UNIT COST PER CUBIC YARD AND SHEET SPECIFICATIONS.
4. CONTRACTOR TO SALVAGE SUITABLE TOPSOIL AND STOCK-PILE FOR RE-USE ON THE SITE.
5. CONTRACTOR TO IMMEDIATELY REMOVE REJECTED MATERIALS OFF SITE AT CONTRACTOR'S COST. CONTRACTOR TO PAY COST OF TESTING OF MATERIALS NOT MEETING STANDARDS AS NOTED IN PLANS.
6. GENERAL: DO NOT WORK SOIL WHEN MOISTURE CONTENT IS SO GREAT THAT EXCESSIVE COMPACTION WILL OCCUR, NOR WHEN IT IS SO DRY THAT DUST WILL FORM IN AIR OR THAT CLODS WILL NOT BREAK READILY. APPLY WATER, IF NECESSARY, TO BRING SOIL TO AN OPTIMUM MOISTURE CONTENT FOR TILLING AND PLANTING.
7. DELTA GRASSLAND MIX SOD: PREPARE SOIL PER MANUFACTURER'S RECOMMENDATIONS.
8. MEADOW PLANTINGS: PREPARE SOIL PER MANUFACTURER'S RECOMMENDATIONS: PACIFIC COAST SEED, 533 HAWTHORNE PLACE, LIVERMORE CA 94550, PHONE: (925) 373-4417, FAX: (925) 373-6855, INFO@PCSEED.COM, WWW.PCSEED.COM
9. CLEARING: CLEAR ALL PLANTING AREAS OF STONES, CRUSHED ROCK, GRAVEL 1/2-INCH DIAMETER AND LARGER, WEEDS, DEBRIS AND OTHER EXTRANEIOUS MATERIALS PRIOR TO SOIL PREPARATION WORK.
10. CULTIVATION OF EXISTING SOIL: WHERE TOPSOIL WILL NOT BE APPLIED, RIP OR CULTIVATE EXISTING SOIL TO RECEIVE PLANTING TO THE FOLLOWING DEPTHS IMMEDIATELY PRIOR TO APPLYING SOIL AMENDMENTS:
 - A) LESS THAN 2:1 SLOPES: TEN (10) INCHES
 - B) 2:1 SLOPES AND GREATER: SIX (6) INCHES
11. TREES TO REMAIN: HAND CULTIVATE WITHIN THE DRIP LINE OF EXISTING TREES TO REMAIN. DEPTH OF CULTIVATION WILL NOT EXCEED TWO (2) INCHES. CULTIVATE IMMEDIATELY PRIOR TO AMENDING EXISTING SOIL. SEE TREE PROTECTION NOTES, THIS SHEET.
12. CULTIVATION OF SUBGRADE: RIP OR CULTIVATE SUBGRADE IN PLANTING AREAS TO A DEPTH OF SIX (6) INCHES IMMEDIATELY PRIOR TO SPREADING TOPSOIL.
13. SPREADING OF TOPSOIL:
 - A) GENERAL: SPREAD TOPSOIL OVER SUBGRADE PRIOR TO INCORPORATING AMENDMENTS.
 - B) TOPSOIL DEPTH: MINIMUM DEPTH OF EIGHT (8) INCHES OR AS INDICATED ON PLANS AND REVIEWED BY CONTRACTOR AND LANDSCAPE ARCHITECT. AFTER NATURAL SETTLEMENT AND LIGHT ROLLING CONFORMING TO FINISHED GRADES AS DETAILED.
14. SOIL AMENDMENT:
 - A) GENERAL: AFTER SOIL CULTIVATION AND SOIL PREPARATION IS COMPLETED AND HIGH AND LOW SPOTS GRADED ADD SOIL AMENDMENTS AND ROTOTILL, MAKING REPEATED PASSES WITH THE CULTIVATOR UNTIL THE AMENDMENTS HAVE BEEN THOROUGHLY MIXED TO A DEPTH OF 10-INCHES.
 - B) MASS PLANTING: SOIL AMENDMENTS PER 1,000 SQUARE FEET: INCORPORATE THOROUGHLY WITHIN THE TOP 6-INCHES OF SOIL TO FORM A HOMOGENOUS LAYER: SIX (6) POUNDS SULFUR-COATED UREA (43-0-0).
 - C) TREES AND SHRUBS: SOIL AMENDMENTS PER CUBIC YARD OF BACKFILL MIX: INCORPORATE THOROUGHLY WITHIN THE TOP TWELVE (12) INCHES OF BACKFILL AROUND THE SIDES OF THE ROOTBALL: 1/3 POUND SULFUR-COATED UREA (43-0-0).
15. IMPORT SOIL MAY BE USED IN PLANTING AREAS TO RAISE GRADE TO SPECIFIED ELEVATIONS, HOWEVER, IT WILL REQUIRE AMENDING AS NOTED IN NUMBER 14, ABOVE. IF IMPORT SOIL IS INTENDED FOR USE ON THIS PROJECT, SUBMIT TO LANDSCAPE ARCHITECT 1) SOIL SOURCE LOCATION AND, 2) EVIDENCE THAT SOIL CONSISTS OF A SANDY LOAM STRUCTURE CONTAINING NO TOXIC CHEMICALS OR ELEMENTS THAT MIGHT INHIBIT OR RETARD NORMAL PLANT GROWTH.
16. HAND OR ROTOTILL IN AMENDMENT TO REDUCE COMPACTING, IMPROVE PERMEABILITY AND ENRICH SOIL NUTRIENTS. AMENDED SOIL SHALL BE USED AS BACKFILL.
17. BACKFILL: 50/50 BLEND OF TOPSOIL AND SOIL AMENDMENT. WHERE SITE SOIL IS OF GOOD QUALITY USE A 30/30/40 BLEND OF SITE SOIL, TOPSOIL AND AMENDMENT.
18. FILL ALL PLANTING AREAS WITH OWNER-APPROVED FILL MIX AND SOIL AMENDMENT (SEE NOTE 14, ABOVE). SOIL LEVEL WILL BE RAISED TO 1-1/2 INCHES BELOW TOP OF FINISH PAVEMENT SURFACE IN ALL SHRUB PLANTING AREAS, UNLESS OTHERWISE NOTED.
19. INTENT: THE ABOVE AMENDMENTS ARE APPROXIMATE AND LANDSCAPE CONTRACTOR TO MODIFY AS NEEDED TO ENSURE ADEQUATE GROWING MEDIUM FOR SPECIFIED PLANTS.

TREE PROTECTION NOTES

1. ALL SITE TREE PROTECTION TO COMPLY WITH CITY OF CARMEL CODE: CHAPTER 17.48.110 PROTECTION OF TREES DURING CONSTRUCTION.
2. A TREE PRESERVATION ZONE (TPZ) SHALL BE ESTABLISHED AS SHOWN ON PLAN AND AS VERIFIED IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
3. PROTECTIVE FENCING - FENCE HEIGHT TO BE 6-FEET AND AS DESCRIBED IN CARMEL CODE. FENCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES ON SITE. ONCE IN PLACE, FENCING SHALL NOT BE REMOVED WITHOUT THE CONSENT OF THE OWNER'S REPRESENTATIVE.
4. NO STORAGE OF CONSTRUCTION EQUIPMENT, MATERIALS, TOOLS, DEBRIS OR EXCESS SOIL WILL BE ALLOWED WITHIN THE TPZ. SOLVENTS, LIQUIDS, CONCRETE WASH-OFF, OR ANY TYPE OF DEBRIS SHOULD BE DISPOSED OF PROPERLY, NEVER WITHIN THIS PROTECTED AREA.
5. ALL TRENCHING NEAR EXISTING TREES TO REMAIN SHALL BE HAND DUG AS REVIEWED WITH THE OWNER'S REPRESENTATIVE. WHEN LIVE ROOTS, 1 1/2-INCH DIAMETER OR LARGER ARE FOUND THE WORK SHALL STOP, ROOTS SHALL BE COVERED WITH BURLAP OR MULCH AND THE OWNER'S REPRESENTATIVE CONTACTED TO PROVIDE RECOMMENDATIONS ON ROOT CUTTING AND TREATMENT OF IMPACTED ROOTS PRIOR TO CONTINUING WORK.
6. NO SOIL COMPACTION SHALL OCCUR WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 4-INCH LAYER OF AGED WOOD CHIPS. WOOD CHIPS FROM SITE TREE REMOVAL ARE ACCEPTABLE IF PROPERLY COMPOSTED AND FREE OF DISEASE. IMPORTED WOOD CHIP MULCH SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING. SUBMIT MULCH SAMPLES TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
7. NATURAL GRADE AROUND TPZ SHALL BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT.
8. UNAUTHORIZED PRUNING OF ANY TREE SHALL NOT BE ALLOWED. IF ANY TREE CANOPY ENCROACHES ON THE PROJECT AREA, THE REQUIRED PRUNING WILL BE DONE WITH AUTHORITY OF THE OWNER'S REPRESENTATIVE AND TO INTERNATIONAL SOCIETY OF ARBORICULTURE GUIDELINES (ISA) AND AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
9. PROVIDE TEMPORARY IRRIGATION TO ALL TREES WITHIN THE FENCED AREA THAT HAVE BEEN RECEIVING IRRIGATION PRIOR TO CONSTRUCTION. CONTRACTOR TO PROVIDE WATERING SCHEDULE FOR OWNER'S REPRESENTATIVE REVIEW AND APPROVAL. WATERING SCHEDULE TO BE SUBMITTED FOR APPROVAL TEN (10) CALENDAR DAYS BEFORE CONSTRUCTION START DATE AND CONTINUE THROUGHOUT CONSTRUCTION UNTIL FINAL SIGN OFF BY OWNER'S REPRESENTATIVE.
10. CONTRACTOR TO SUBMIT SCHEDULE OF TREE PROTECTION FENCE INSTALLATION AND REMOVAL FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO FENCE INSTALLATION OR REMOVAL.
11. TREE PROTECTION FENCING TO BE REMOVED BY CONTRACTOR AFTER COMPLETION OF CONSTRUCTION AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

DEMOLITION NOTES

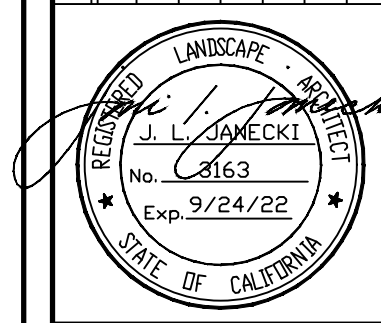
1. FIELD VERIFY SITE CONDITIONS PRIOR TO DEMOLITION. REVIEW EXTENT OF WORK WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO BIDDING AND BEGINNING OF WORK.
2. PLANT REMOVAL: REMOVE ALL PORTIONS OF PLANTS NOTED TO BE REMOVED INCLUDING ROOT SYSTEM. PRIOR TO REMOVING ANY PLANTS, REVIEW PLANTS TO BE REMOVED WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.
3. HARDSCAPE REMOVAL: PRIOR TO REMOVING ANY HARDSCAPE ELEMENTS, REVIEW HARDSCAPE TO BE REMOVED WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.
4. HARDSCAPE REMOVAL: REMOVE ALL PORTIONS OF HARDSCAPE AS NOTED ON PLANS, INCLUDING PAVING AND BOULDERS AND ANY ASSOCIATED FOOTINGS AND BASE MATERIAL. PRIOR TO REMOVING ANY HARDSCAPE ELEMENTS, REVIEW HARDSCAPE TO BE REMOVED WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.
5. PROTECT EXISTING STRUCTURES FROM ALL DEMOLITION AND CONSTRUCTION ACTIVITIES.
6. AT CLOSE OF CONSTRUCTION IN EACH AREA, REMOVE ALL PROTECTIVE BARRIERS. TRANSPORT ALL BARRIER MATERIALS OFF SITE AT NO ADDITIONAL EXPENSE TO OWNER.
7. REMOVE ALL DEBRIS AND DELETERIOUS MATERIALS INCLUDING CONSTRUCTION DRAIN ROCK, ABANDONED OR LEFT MATERIALS, CONCRETE WASH-OUT AREAS, TRASH, MESH, WIRE, NAILS, ROOTS OF REMOVED PLANTS, ETC. DISPOSE OF AT A LEGAL DISPOSAL SITE.
8. SALVAGE AND STOCKPILE FOR REUSE ON-SITE EXISTING BOULDERS SCATTERED AROUND SITE.
9. DEMOLISH EXISTING LIGHTING AND IRRIGATION:
 - A. FULLY REMOVE AND RECYCLE/DISPOSE OF ALL SITE FIXTURES, PIPING, BOXES AND ETC.
 - B. CUT AND CAP WIRE AT SOURCE.
 - C. COORDINATE ALL WORK WITH GENERAL CONTRACTOR.
 - D. PROVIDE WATER TO EXISTING PLANTS AS NEEDED TO ENSURE SUFFICIENT MOISTURE FOR PLANT VIGOR AND SURVIVAL.
10. SEE GENERAL CONSTRUCTION AND LAYOUT NOTES FOR ADDITIONAL INFORMATION, SHEET LO.1.

GENERAL FINE GRADING AND DRAINAGE NOTES

1. ALL SPOT ELEVATIONS AT BUILDING ARE REFERENCED FROM CENTRAL COAST SURVEYORS DATED 02-25-2016, TOPOGRAPHIC MAP.
2. SLOPE ALL AREAS AWAY FROM BUILDINGS MINIMUM 2.5%.
3. LANDSCAPE DRAINS AND SWALES: FIELD VERIFY EXACT LOCATION OF AREA DRAINS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLING. ENSURE ALL AREAS DRAIN.
4. CONTOURS ARE APPROXIMATE AND INTENDED TO ESTABLISH FINISH LAND FORM. VERIFY ALL SLOPES FINISH SMOOTHLY AND THERE IS NO POOLING, PONDING OF RUNOFF.
5. FIELD VERIFY EXISTING UNDERGROUND UTILITIES. VERIFY ACTUAL LOCATIONS AND ELEVATIONS IN FIELD PRIOR TO BEGINNING CONSTRUCTION.
6. ENSURE THAT FINE GRADES HAVE BEEN ESTABLISHED CORRECTLY AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
7. REFER TO CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THESE DRAWINGS, IMMEDIATELY CONTACT OWNER'S REPRESENTATIVE PRIOR TO EXECUTING WORK.
8. CONFORM GRADING OPERATIONS TO LATEST EDITION OF UBC AND CODES.

T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Hines-Landscape-Beach-House-Permit-Set\Hines-Res-Submittal\Hines-BH-Landscape.dwg, 10.2 Notes, 12/11/2020 12:14:28 PM, AutoCAD PDF (Smallest File) .pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	06/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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PROJECT: **CARMEL BY THE SEA: BEACH HOUSE HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **NOTES**

SCALE: -
 DRAWN BY: AZMMOONIFF
 DATE: 12/02/20

BH
L0.2



PLANTING NOTES:

1. IF PLANTING IMPROVEMENTS NOTED ON THESE PLANS CANNOT BE INSTALLED DUE TO EXISTING SITE CONDITIONS, CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION PRIOR TO BEGINNING WORK.
2. FIELD VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS PRIOR TO COMMENCEMENT OF ANY WORK UNDER THIS CONTRACT, INCLUDING BUT NOT LIMITED TO: SETBACKS, EASEMENTS, PROPERTY LINES, RIGHT-OF-WAYS, TOP AND BOTTOM OF SLOPES, UTILITIES, STRUCTURES, AND PROJECT LIMITS OF WORK. IMMEDIATELY REPORT DISCREPANCIES BETWEEN THE PLAN AND ACTUAL SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION BEFORE BEGINNING WORK. CONTRACTOR SHALL VERIFY QUANTITIES BASED ON FIELD MEASUREMENTS. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY OF COSTS ASSOCIATED WITH ALTERATIONS OR ADDITIONAL WORK IF IMMEDIATE NOTIFICATION IS NOT MADE TO THE OWNER'S REPRESENTATIVE.
3. PRIOR TO TRENCHING CONTACT UNDERGROUND UTILITY SERVICE ALERT OF NORTHERN CALIFORNIA AT (800) 642-2444.
4. ENSURE THAT ROUGH AND FINE GRADING TO 1/10TH OF A FOOT HAS BEEN APPROVED BY LANDSCAPE ARCHITECT PRIOR TO BEGINNING SOIL PREPARATION OPERATIONS.
5. DO NOT PLANT EDGE OF TREE ROOTBALLS CLOSER THAN TEN (10) FEET TO GAS, WATER OR SEWER LINES OR TWO (2) FEET TO AN ELECTRICAL OR DRAINLINE. IF CONFLICTS EXIST, CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
6. DO NOT PLANT EDGE OF TREE ROOTBALLS CLOSER THAN FOUR (4) FEET TO HARDSCAPE EDGES SUCH AS SIDEWALKS OR WALLS, UNLESS APPROVED BY LANDSCAPE ARCHITECT.
7. REFER TO CITY OF CARMEL STANDARD PLANS AND SPECIFICATIONS, WHERE APPLICABLE. IF CITY STANDARDS VARY FROM THESE PLANS CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
8. COORDINATE PROPER INSTALLATION OF WORK WITH OTHER CONTRACTORS AS REQUIRED.
9. REFER TO PLANTING PLANS, DETAILS AND NOTES FOR SPECIFIC PLANTING INFORMATION.
10. CONTRACTOR SHALL PROCURE PLANT SPECIES WITHIN THIRTY (30) DAYS OF AWARD OF THE CONTRACT. CONTRACTOR WILL BE RESPONSIBLE FOR PLACING REQUIRED DEPOSITS TO ENSURE TIMELY PROCUREMENT OF THE SPECIFIED PLANTS. CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT WITH WRITTEN VERIFICATION (RECEIPTS) SHOWING PROCUREMENT. TO MEET THE PLANTING REQUIREMENTS, CONTRACTOR MAY NEED TO ENGAGE IN CONTRACT WITH GROWERS TO ENSURE PLANT AVAILABILITY.
11. ALL PLANTS WILL BE IN GOOD HEALTH, FULL ROUNDED FORM AND FULLY ROOTED BUT NOT ROOT-BOUND AND PURCHASED FROM LICENSED GROWER OR NURSERY.
12. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR WILL SCHEDULE A SITE VISIT WITH OWNER, ARBORIST, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT TO TAG AND REVIEW ALL PLANTS TO BE REMOVED, TRANSPLANTED, TRIMMED, OR PRUNED.
13. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR WILL SCHEDULE A MEETING WITH OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT TO REVIEW TREE CONDITIONS, INCLUDING COORDINATING TREE REMOVAL, TREE FEEDING, AND LOCATION OF NEW TREE PLANTINGS AND REVIEW ALL PLANTS TO BE REMOVED, TRIMMED, OR PRUNED.
14. REMOVAL OF PLANTS WILL BE DONE ALLOWING AMPLE TIME TO COMPLETELY ERADICATE WEEDS OR WEEDY SPECIES BEFORE PLANTING.
15. ALL EXISTING TREES IDENTIFIED BY ARBORIST AND/OR LANDSCAPE ARCHITECT TO REMAIN WILL BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGE OF ANY KIND TO EXISTING TREES AND PLANTINGS TO REMAIN DURING THE COURSE OF CONSTRUCTION. CONTRACTOR WILL PROVIDE UNIT COST FOR TREE AND PLANT REPLACEMENT BASED ON CONTAINER SIZE.
16. THE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT FIVE (5) DAYS IN ADVANCE TO SCHEDULE PLANT DELIVERY DATES. THE LANDSCAPE ARCHITECT WILL OBSERVE PLANTS UPON ARRIVAL, AND RESERVES THE RIGHT TO REJECT PLANTS.
17. THE CONTRACTOR WILL PLACE ALL PLANTS AS SHOWN ON PLAN AND VERIFY LOCATION WITH THE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT MAY REQUEST THAT CONTRACTOR ADJUST OR RELOCATE PLANTS ON-SITE AS NEEDED TO PROPERLY COMPLETE DESIGN.
18. EQUALLY SPACE SHRUBS WHERE PLANTED AGAINST WALLS OR FENCES, UNLESS OTHERWISE NOTED ON PLANS.
19. PLACEMENT OF HEADER: CONTRACTOR TO MARK-OUT LOCATION OF HEADER FOR OWNER AND LANDSCAPE ARCHITECT REVIEW PRIOR TO INSTALLATION.
20. A THREE (3) INCH LAYER OF MULCH WILL BE ADDED TO ALL PLANTING AREAS. MULCH WILL BE 1/4" - 3/4" NITROGINATED REDWOOD OR FIR MULCH FREE OF STICKS, DIRT, DUST, AND OTHER DEBRIS, AS APPROVED BY OWNER AND LANDSCAPE ARCHITECT. WALK-ON BARK AND GORILLA HAIR ARE NOT ACCEPTABLE. CONTRACTOR WILL SUBMIT A ONE (1) QUART SAMPLE TO LANDSCAPE ARCHITECT. SEE PLANTING DETAILS.
21. LANDSCAPE MAINTENANCE PERIOD - NINETY (90) CALENDAR DAYS, STARTING DAY OF RECEIVING WRITTEN APPROVAL BY OWNER.
22. WARRANT THAT ALL TREES PLANTED UNDER THIS CONTRACT WILL BE HEALTHY AND IN FLOURISHING CONDITION OF ACTIVE GROWTH ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. SIMILARLY WARRANT GROUNDCOVERS, GRASSES, SOD AND SHRUBS FOR A PERIOD OF SIX (6) MONTHS FROM DATE OF FINAL ACCEPTANCE.
23. ANY NEW SPRAY IRRIGATION SHOULD NOT DIRECTLY HIT THE TRUNKS OF ANY OF THE TREES ON SITE.
24. AS SOON AS WEATHER CONDITIONS PERMIT, REPLACE, WITHOUT COST TO OWNER ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION AS DETERMINED BY THE LANDSCAPE ARCHITECT DURING AND AT THE END OF WARRANTY PERIOD.
25. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR FAILURES DUE TO NEGLIGENCE BY OWNER, VANDALISM, AND ACTS OF NATURE, DURING WARRANTY PERIOD. REPORT SUCH CONDITIONS.
26. AFTER ROUGH GRADING HAS BEEN APPROVED, AND PRIOR TO BEGINNING SOIL PREPARATION OPERATIONS, TAKE HORTICULTURAL SOIL SAMPLES AT (3) LOCATIONS DETERMINED BY LANDSCAPE ARCHITECT. SUBMIT SOIL SAMPLES TO WAYPOINT ANALYTICAL, 4741 EAST HUNTER AVENUE, SUITE A, ANAHEIM, CA 92807, (714) 282-8777 OR LANDSCAPE ARCHITECT APPROVED EQUAL. REQUEST THAT THE SOIL REPORT INCLUDE RECOMMENDATIONS FOR SCARIFICATION AND CROSS-RIPPING, GENERAL PLANTING AREA AMENDMENT, PLANTING BACKFILL, FERTILIZATION, AND POST-MAINTENANCE RECOMMENDATIONS. SUBMIT SOIL REPORT TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK.
27. FURNISH PLANT MATERIAL FREE OF PESTS, DISEASE, DAMAGE, OR THOSE FOUND IN POOR CONDITION.
28. REPLACE OR REPAIR EXISTING IMPROVEMENTS THAT ARE DAMAGED BY CONTRACTOR'S NEGLIGENCE DURING PLANTING OPERATIONS.
29. CONTRACTOR TO PROTECT ALL PLANTS FROM ANIMALS SUCH AS DEER AND RODENTS. CONTRACTOR TO SUBMIT PROPOSED PLANT PROTECTION PLAN PRIOR TO BEGINNING WORK.

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	06/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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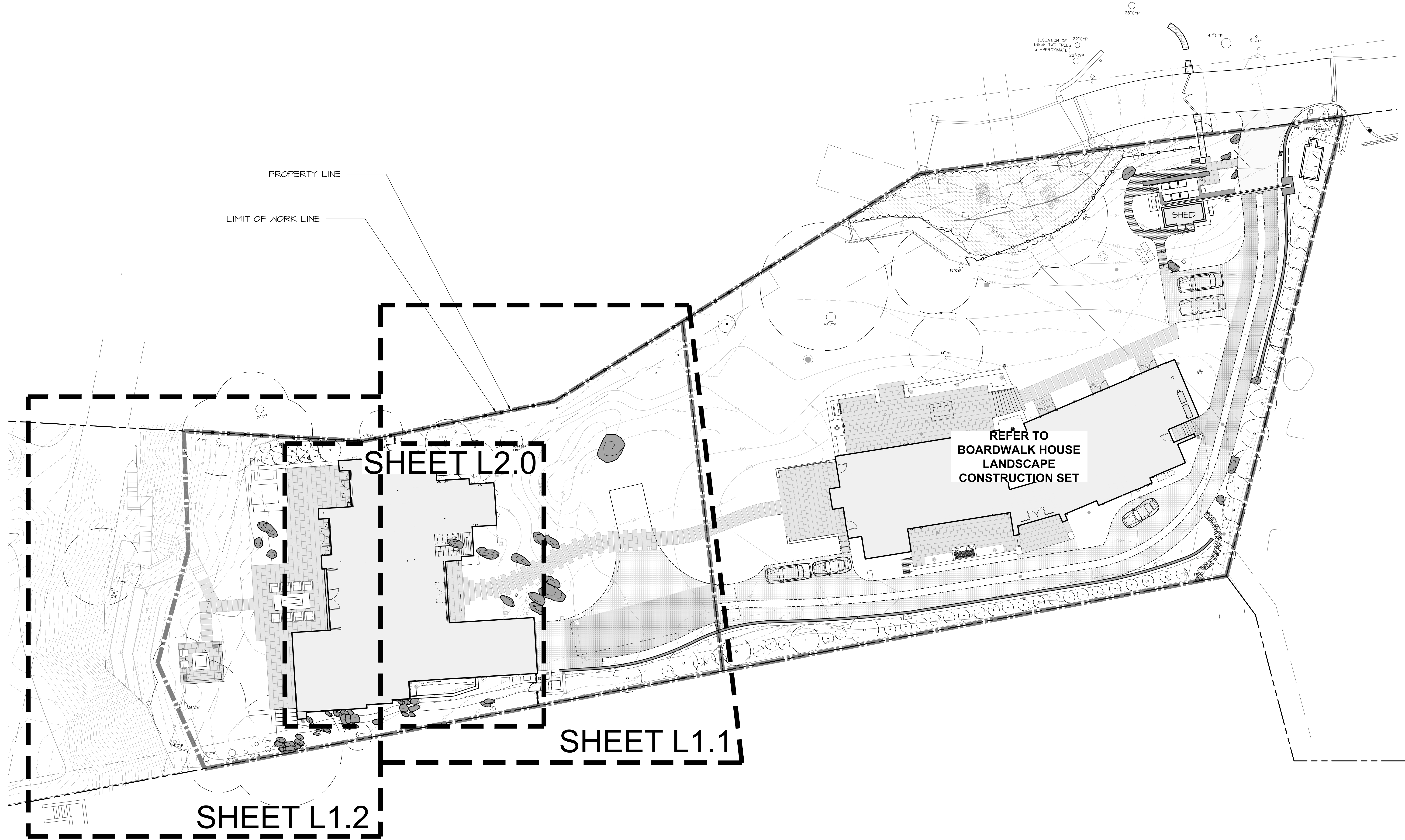
PROJECT: **CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **NOTES**

SCALE: -
 DRAWN BY: AZMMOONFP
 DATE: 12/02/20

**BH
 L0.3**

T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Hines Landscape-Beach House-Permit Set\Hines-Resubmittal\Hines_BH_Landscape.dwg, L1.0 Overall Key Plan, 12/11/2020 12:15:04 PM, AutoCAD PDF (Smallest File).pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1



PROPERTY LINE

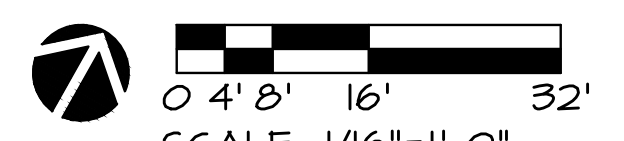
LIMIT OF WORK LINE

SHEET L2.0

SHEET L1.1

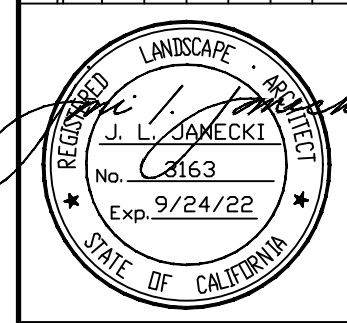
SHEET L1.2

REFER TO
BOARDWALK HOUSE
LANDSCAPE
CONSTRUCTION SET



ORIGINAL SHEET SIZE: 24" x 36"

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
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6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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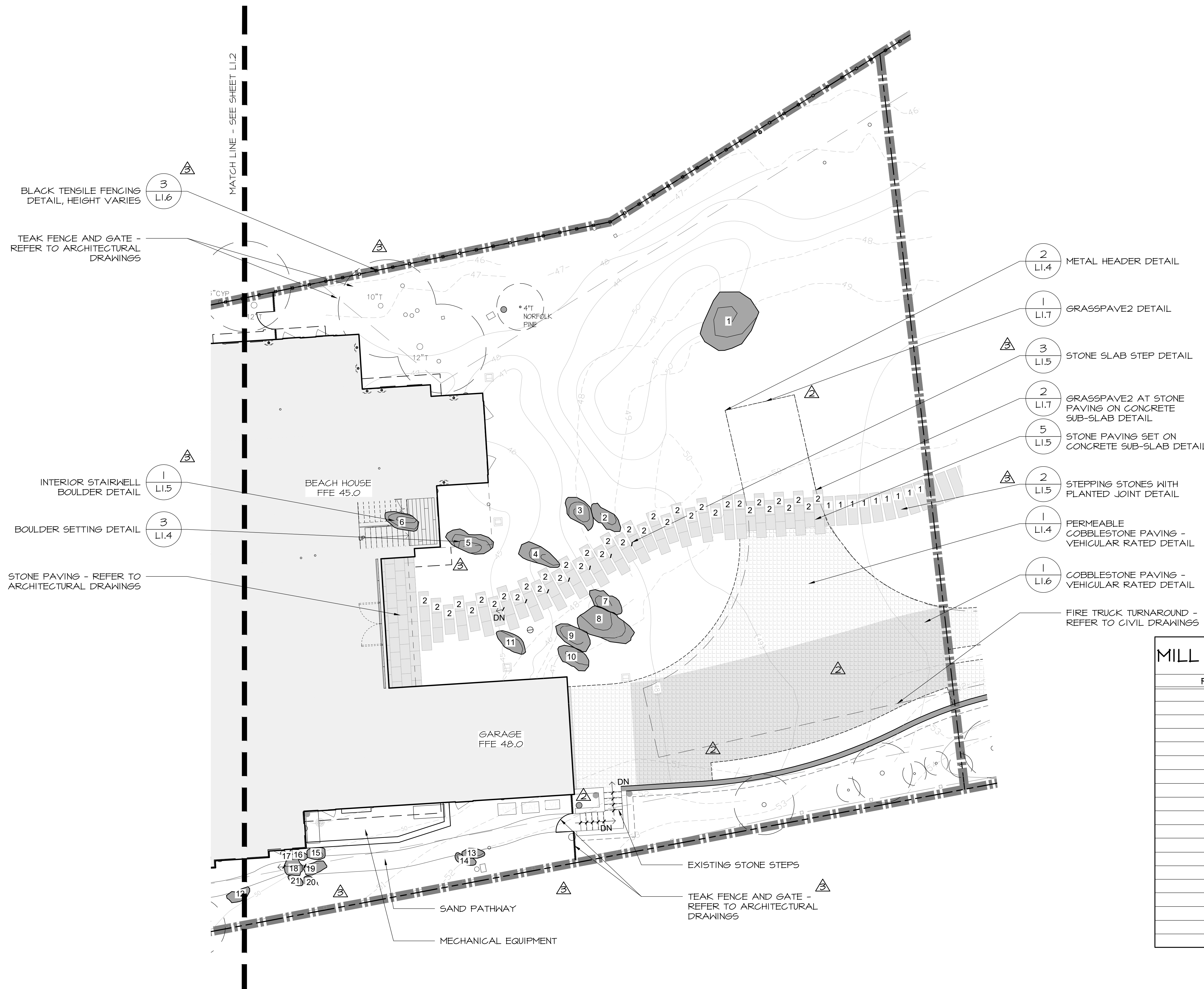
PROJECT: **CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **OVERALL KEY PLAN**

SCALE: 1/16"=1'-0"
 DRAWN BY: AZMMOON/PP
 DATE: 12/02/20

BH
 L1.0

T:\PROJECTS\RESIDENTIAL\17-160 Hines Residence\Drawings\Hines Landscape\Beach House\Permit Set\Hines Re-submittal\Hines_BH_Landscape.dwg, L1.1 Materials Plan, 12/11/2020 12:15:16 PM, AutoCAD PDF (Smallest File) .pc3, ARCH full bleed D (36.00 x 24.00 Inches), 1:1



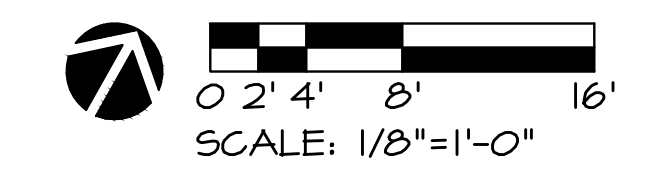
LEGEND

- LIMIT OF WORK LINE
- PROPERTY LINE
- EASEMENT
- EXISTING FENCE TO REMAIN
- 30" PINE
- EXISTING TREE TO REMAIN - SEE SHEET LO.2 FOR TREE PROTECTION NOTES
- EXISTING PLANTING TO REMAIN
- STORM DRAIN INLETS - REFER TO CIVIL DRAWINGS
- DOWNSPOUT - REFER TO CIVIL DRAWINGS

- 2 LI.4 METAL HEADER DETAIL
- 1 LI.7 GRASSPAVE2 DETAIL
- 3 LI.5 STONE SLAB STEP DETAIL
- 2 LI.7 GRASSPAVE2 AT STONE PAVING ON CONCRETE SUB-SLAB DETAIL
- 5 LI.5 STONE PAVING SET ON CONCRETE SUB-SLAB DETAIL
- 2 LI.5 STEPPING STONES WITH PLANTED JOINT DETAIL
- 1 LI.4 PERMEABLE COBBLESTONE PAVING - VEHICULAR RATED DETAIL
- 1 LI.6 COBBLESTONE PAVING - VEHICULAR RATED DETAIL
- FIRE TRUCK TURNAROUND - REFER TO CIVIL DRAWINGS

MILL CREEK PAVING SCHEDULE

PAVER	SIZE (LENGTH X WIDTH)
1	5'-0" x 20"
2	30" x 20"
3	4'-0" x 20"
4	3'-0" x 20"
5	5'-0" x 1'-11 1/4"
6	5'-0" x 2'-1 1/4"
7	5'-0" x 1'-9 1/4"
8	5'-0" x 1'-5 1/2"
9	3'-0" x 1'-0"
10	3'-2 1/2" x 1'-9"
11	3'-2" x 1'-6"
12	3'-0" x 1'-10"
13	3'-0" x 1'-9"
14	1'-10" x 2'-0"
15	3'-4" x 10" - CUT ON-SITE
16	3'-0" x 2'-7 1/2" - CUT ON-SITE
17	5'-0" x 3'-1 1/6" - CUT ON-SITE
18	4'-0" x 4'-0"
19	4'-0" x 20" - CUT ON-SITE



ORIGINAL SHEET SIZE: 24" x 36"

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL

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PROJECT: **CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **MATERIALS PLAN**

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMMOON/FP
 DATE: 12/02/20

BH
 L1.1

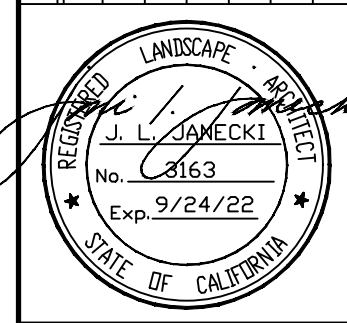
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LEGEND

- LIMIT OF WORK LINE
- PROPERTY LINE
- EASEMENT
- EXISTING FENCE TO REMAIN
- 30" PINE
- 4\"/> EXISTING TREE TO REMAIN - SEE SHEET LO.2 FOR TREE PROTECTION NOTES
- EXISTING PLANTING TO REMAIN
- STORM DRAIN INLETS - REFER TO CIVIL DRAWINGS
- DOWNSPOUT - REFER TO CIVIL DRAWINGS

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
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6.	12/02/20	BUILDING PERMIT RESUBMITTAL



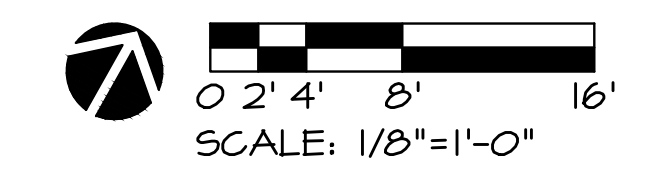
JONI L. JANECKI & ASSOCIATES
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PROJECT: **CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **DIMENSION PLAN**

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20

BH
L1.1A



ORIGINAL SHEET SIZE: 24" X 36"

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LEGEND

- LIMIT OF WORK LINE
- PROPERTY LINE
- EASEMENT
- EXISTING FENCE TO REMAIN
- 30" PINE
- EXISTING PLANTING TO REMAIN
- STORM DRAIN INLETS - REFER TO CIVIL DRAWINGS
- DOWNSPOUT - REFER TO CIVIL DRAWINGS

NO.	DATE	DESCRIPTION
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PROJECT: CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: MATERIALS PLAN

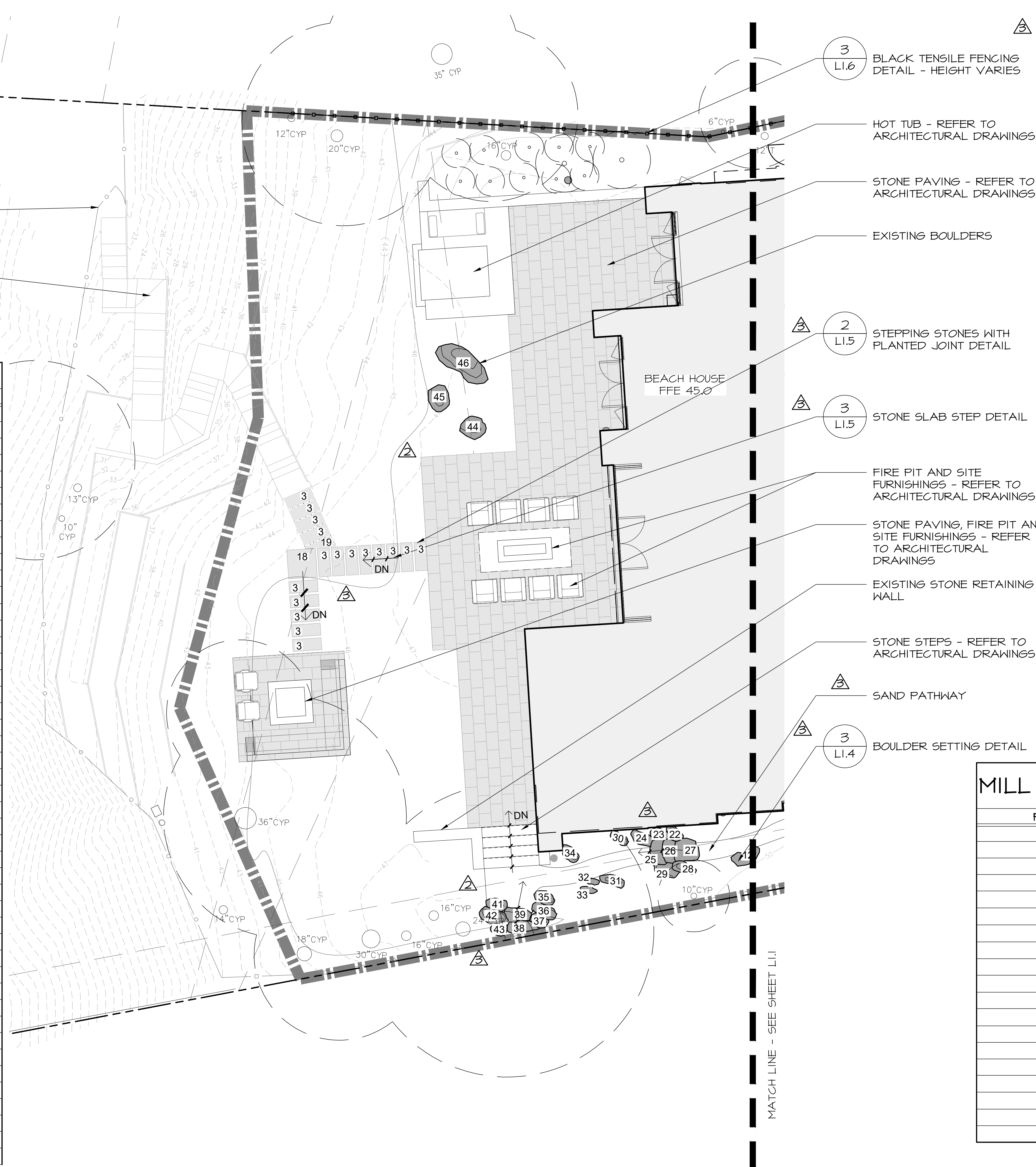
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 DATE: 12/02/20

BH
L1.2

BOULDER SCHEDULE

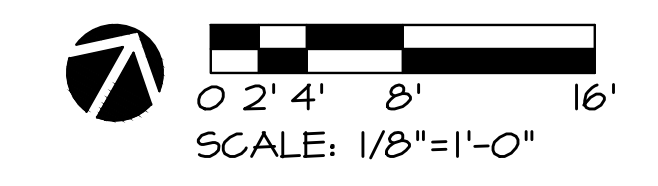
BOULDER	SIZE (WIDE x LONG x HIGH)	REMARKS
1	10'-0" x 7'-0" x 3'-4"	TAGGED ENZ QUARRY
2	6'-0" x 3'-6"	
3	2'-6" x 6'-6"	
4	6'-0" x 4'-0"	
5	6'-6" x 3'-6" x 3'-0"	TAGGED ENZ QUARRY
6	6'-0" x 3'-0"	INSTALLED
7	9'-6" x 4'-6" x 4'-0"	TAGGED ENZ QUARRY
8	5'-0" x 2'-6"	
9	3'-0" x 7'-0"	
10	6'-0" x 3'-0"	
11	3'-0" x 6'-0"	
12	4'-0" x 2'-6" x 1'-0"	ON-SITE
13	3'-1" x 1'-7" x 1'-4"	TAGGED ENZ QUARRY
14	3'-3" x 1'-6" x 1'-6"	TAGGED ENZ QUARRY
15	3'-0" x 2'-0"	
16	3'-0" x 2'-0"	
17	2'-6" x 1'-6"	
18	3'-5" x 3'-5" x 0'-11"	TAGGED DEMO YARD
19	4'-2" x 2'-0" x 1'-0"	TAGGED DEMO YARD
20	2'-0" x 1'-4" x 1'-2"	TAGGED ENZ QUARRY
21	2'-0" x 1'-4" x 1'-8"	TAGGED ENZ QUARRY
22	2'-6" x 1'-6"	
23	3'-0" x 2'-0"	
24	2'-0" x 3'-0"	
25	3'-8" x 2'-2" x 1'-6"	TAGGED DEMO YARD
26	3'-8" x 2'-0" x 1'-4"	TAGGED DEMO YARD
27	3'-5" x 3'-5" x 1'-1"	TAGGED DEMO YARD
28	2'-9" x 1'-0" x 0'-10"	TAGGED ENZ QUARRY
29	4'-0" x 2'-0"	
30	2'-0" x 1'-6" x 1'-4"	TAGGED ENZ QUARRY
31	3'-0" x 1'-6" x 1'-4"	TAGGED ENZ QUARRY
32	1'-0" x 1'-3" x 1'-0"	TAGGED ENZ QUARRY
33	1'-0" x 1'-3" x 1'-0"	TAGGED ENZ QUARRY
34	2'-6" x 2'-0" x 1'-3"	TAGGED ENZ QUARRY
35	2'-6" x 2'-0" x 1'-5"	TAGGED ENZ QUARRY
36	4'-0" x 2'-0"	
37	2'-0" x 1'-8" x 1'-2"	TAGGED ENZ QUARRY
38	4'-0" x 3'-10" x 1'-10"	TAGGED ENZ QUARRY
39	3'-2" x 3'-0" x 1'-8"	TAGGED ENZ QUARRY
40	3'-4" x 2'-0" x 1'-4"	TAGGED ENZ QUARRY
41	2'-10" x 1'-6" x 1'-2"	TAGGED ENZ QUARRY
42	3'-4" x 1'-10" x 1'-5"	TAGGED ENZ QUARRY
43	1'-9" x 1'-3" x 1'-4"	TAGGED ENZ QUARRY
44	3'-0" x 3'-6"	INSTALLED
45	3'-0" x 3'-6"	INSTALLED
46	3'-0" x 8'-0"	INSTALLED

NOTE:
 1. ALL FULL BOXES AND MECHANICAL COVERS IN THE LANDSCAPE TO BE COVERED WITH ENZ VENEER STONE. REVIEW WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



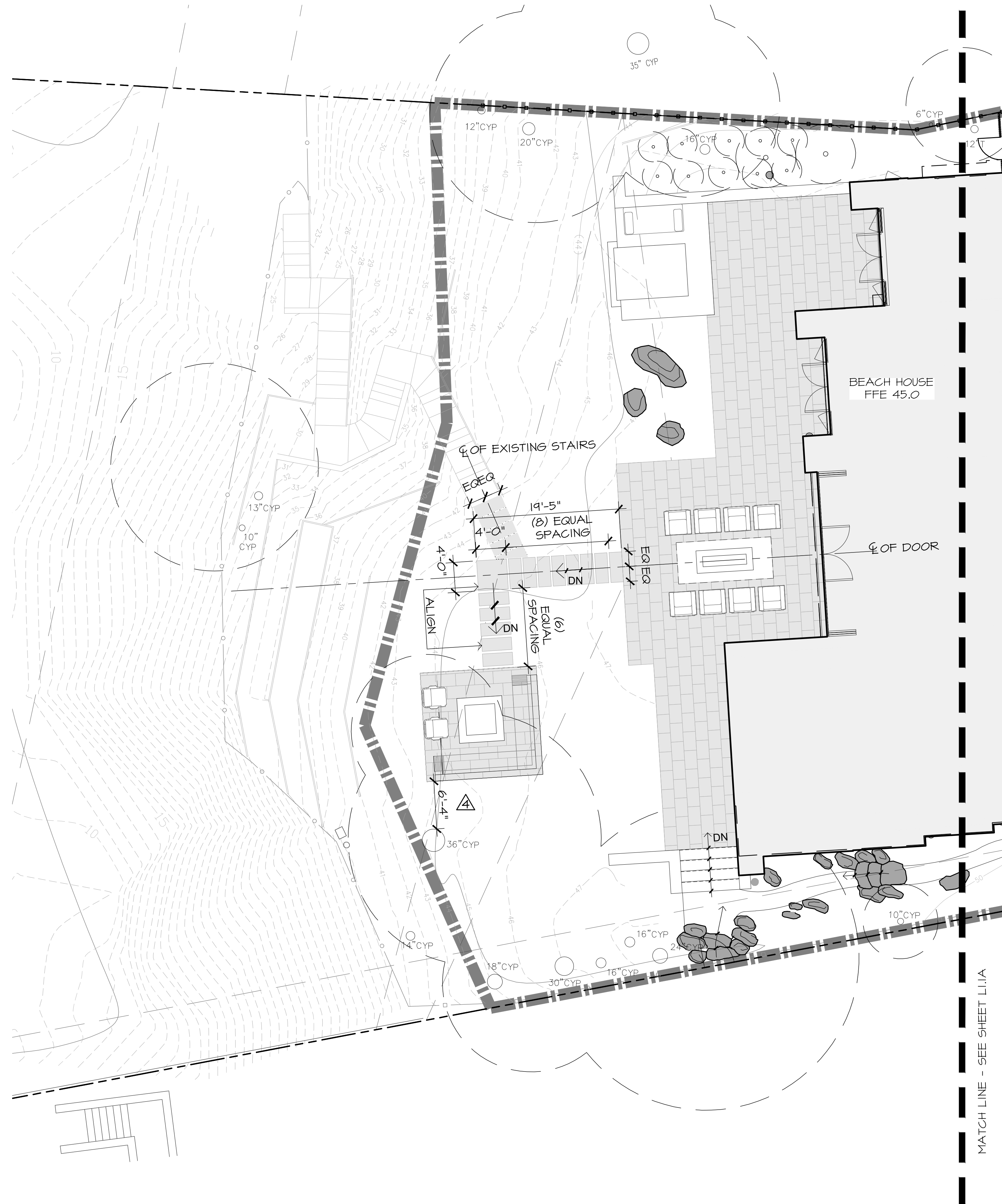
MILL CREEK PAVING SCHEDULE

PAVER	SIZE (LENGTH X WIDTH)
1	5'-0" x 20"
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10	3'-2 1/2" x 1'-9"
11	3'-2" x 1'-6"
12	3'-0" x 1'-10"
13	3'-0" x 1'-9"
14	1'-10" x 2'-0"
15	3'-4" x 10" - CUT ON-SITE
16	3'-0" x 2'-7 1/2" - CUT ON-SITE
17	5'-0" x 3'-1 1/6" - CUT ON-SITE
18	4'-0" x 4'-0"
19	4'-0" x 20" - CUT ON-SITE



ORIGINAL SHEET SIZE: 24" x 36"

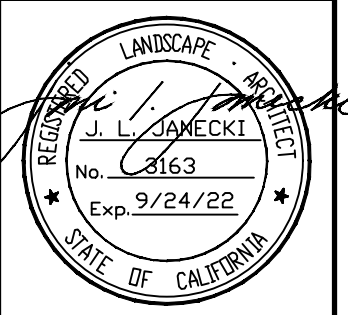
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LEGEND

- LIMIT OF WORK LINE
- PROPERTY LINE
- EASEMENT
- EXISTING FENCE TO REMAIN
- EXISTING TREE TO REMAIN - SEE SHEET L0.2 FOR TREE PROTECTION NOTES
- EXISTING PLANTING TO REMAIN
- STORM DRAIN INLETS - REFER TO CIVIL DRAWINGS
- DOWNSPOUT - REFER TO CIVIL DRAWINGS

REVISIONS AND RECORD OF ISSUE:		
NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



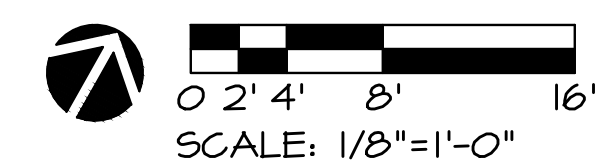
JONI L. JANECKI & ASSOCIATES
 515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831 423 6346
 EMAIL: J.LJ@JLA.COM WWW.JLA.COM
 California Landscape Architect License 3163

PROJECT: **CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **DIMENSION PLAN**

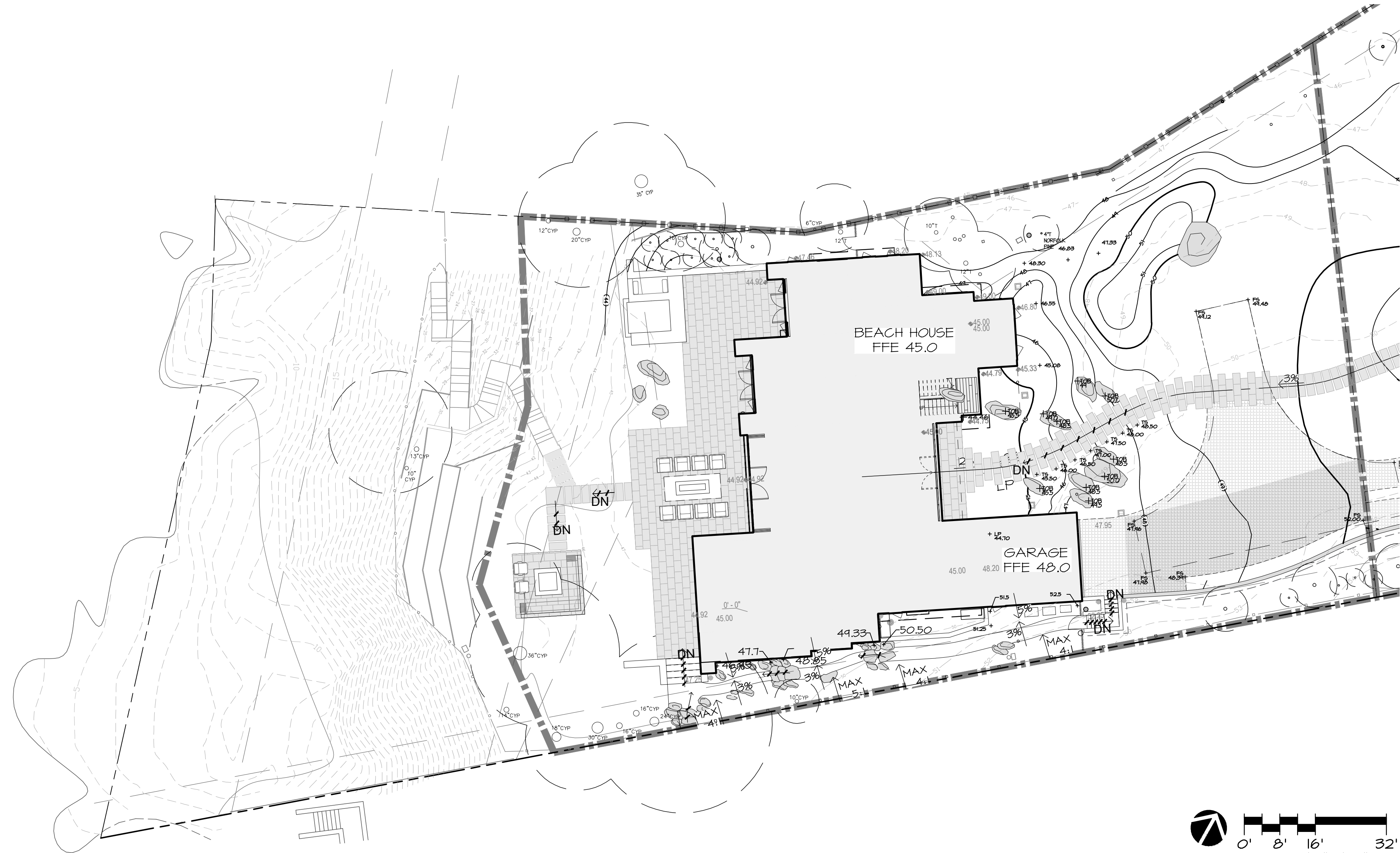
SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20

**BH
 L1.2A**



ORIGINAL SHEET SIZE: 24" X 36"

T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Hines Landscape\Beach House\Permit Set\Hines Landscape.dwg, L1.3 Fine Grading Plan, 12/11/2020 12:16:00 PM, AutoCAD PDF (Smallest File) .pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1

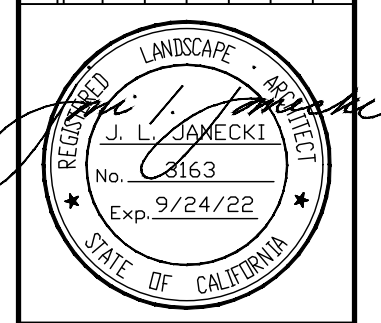


LEGEND

	LIMIT OF WORK LINE
	PROPERTY LINE
	EASEMENT
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION PER ASK-9T
	SPOT ELEVATION FINISHED GRADE/SURFACE
	TOP OF WALL
	BOTTOM OF WALL
	TOP OF BOULDER
	DOWN
	SLOPE
	STEP/STAIR
	EXISTING TREE TO REMAIN - SEE SHEET LO.1 FOR TREE PROTECTION NOTES

- NOTES:
- REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE, SHEET C1.2.
 - IMPERVIOUS SURFACES ADJACENT TO STRUCTURES SHALL SLOPE MINIMUM 2% AWAY FROM STRUCTURES FOR MINIMUM DISTANCE 10'-0", UNLESS OTHERWISE SHOWN. LANDSCAPE AREAS ADJACENT TO STRUCTURES SHALL SLOPE MINIMUM 5% AWAY FROM STRUCTURES FOR MINIMUM DISTANCE 10'-0", UNLESS OTHERWISE SHOWN. (REF. 2013 CBC 1804.3)

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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 California Landscape Architect License 3163

PROJECT: **CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **FINE GRADING PLAN**

SCALE: 1/16"=1'-0"
 DRAWN BY: AZMMOON/FP
 DATE: 12/02/20

BH
L1.3

ORIGINAL SHEET SIZE: 24" X 36"

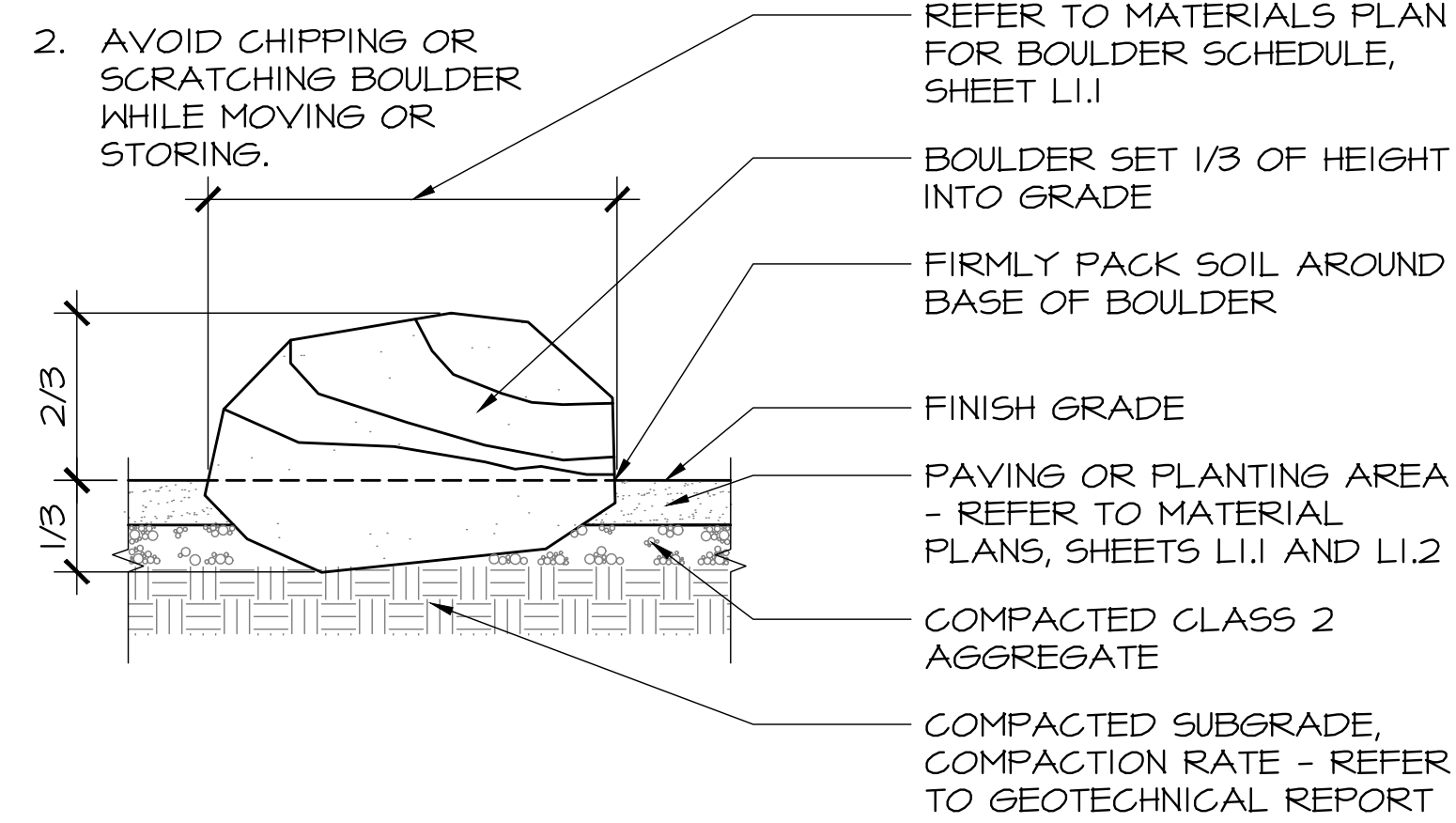
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NOTES:

1. PROVIDE 5'-0" WIDE X 10'-0" LONG MOCK-UP OF COBBLESTONE DRIVENWAY TREAD, IN ALL SITE CONDITIONS WITH TYPICAL JOINT SPACING, EDGE AND JOINT TYPE. MOCK-UP TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. COBBLESTONES SHALL NOT BE CUT TO FIT. ANY MODIFICATIONS TO LAYOUT OR JOINT WIDTH TO BE VERIFIED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. APPROVED COBBLESTONES:
ANTIQUE BLUESTONE COBBLE
SUPPLIER: GAVIN HISTORICAL BRICKS
PHONE: (888) 871-3349
WEB: WWW.HISTORICALBRICKS.COM
4. COMPACT MATERIAL WITH A JUMPING JACK. GEOTECHNICAL ENGINEER TO FIELD VERIFY COMPACTION.
5. PROVIDE SAMPLE FOR REVIEW OF VEHICULAR RATED STEEL EDGE SUPPORT.

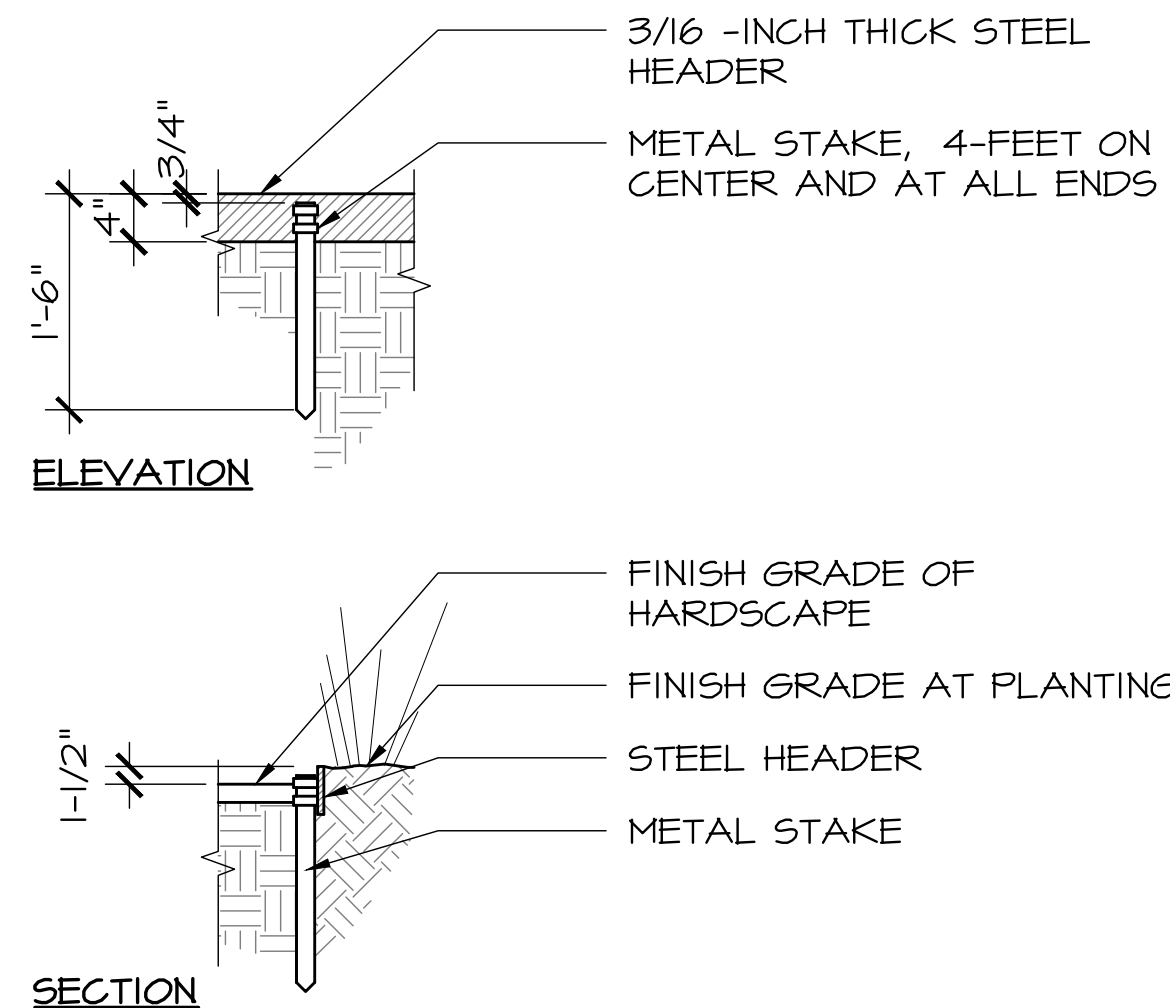
NOTE:

1. REFER TO PLAN FOR LOCATIONS AND SCHEDULE. SOME BOULDERS MAY BE LOCATED IN PLANTING OR PAVING AREAS.

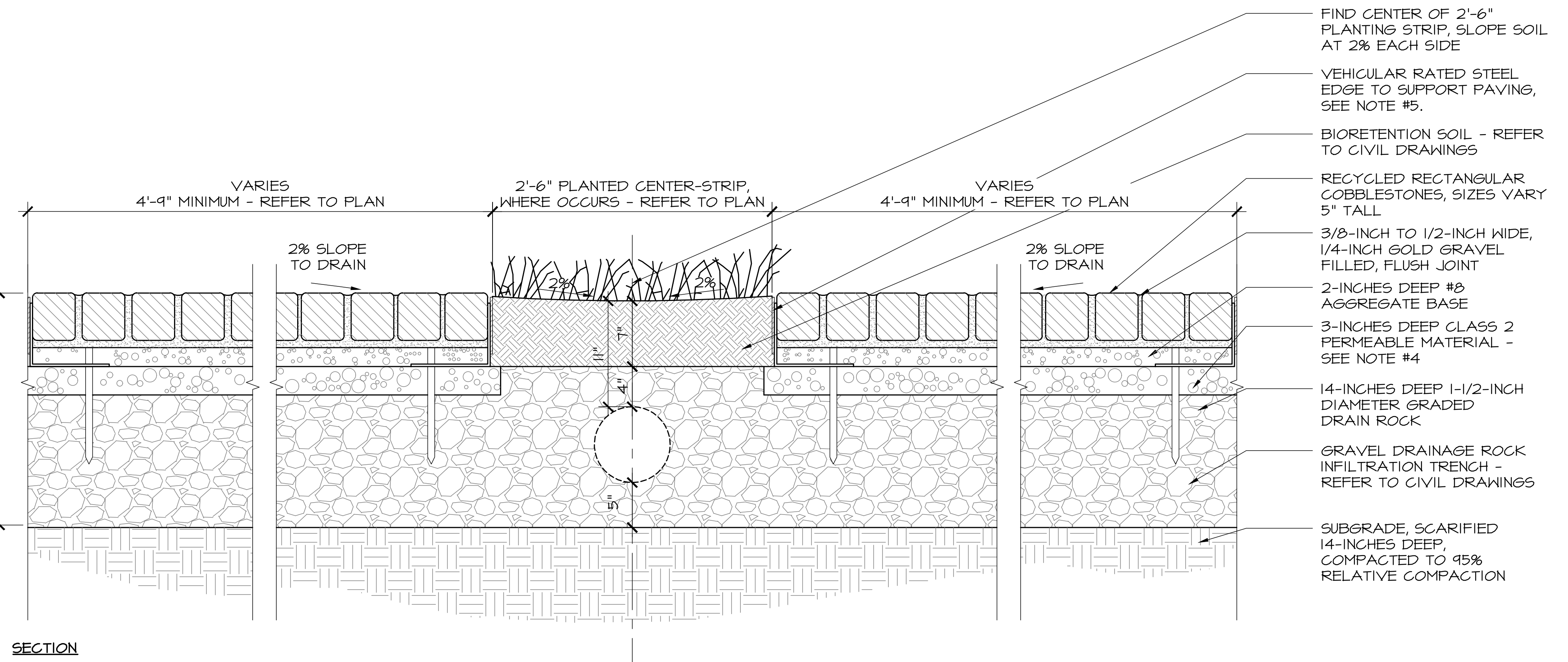
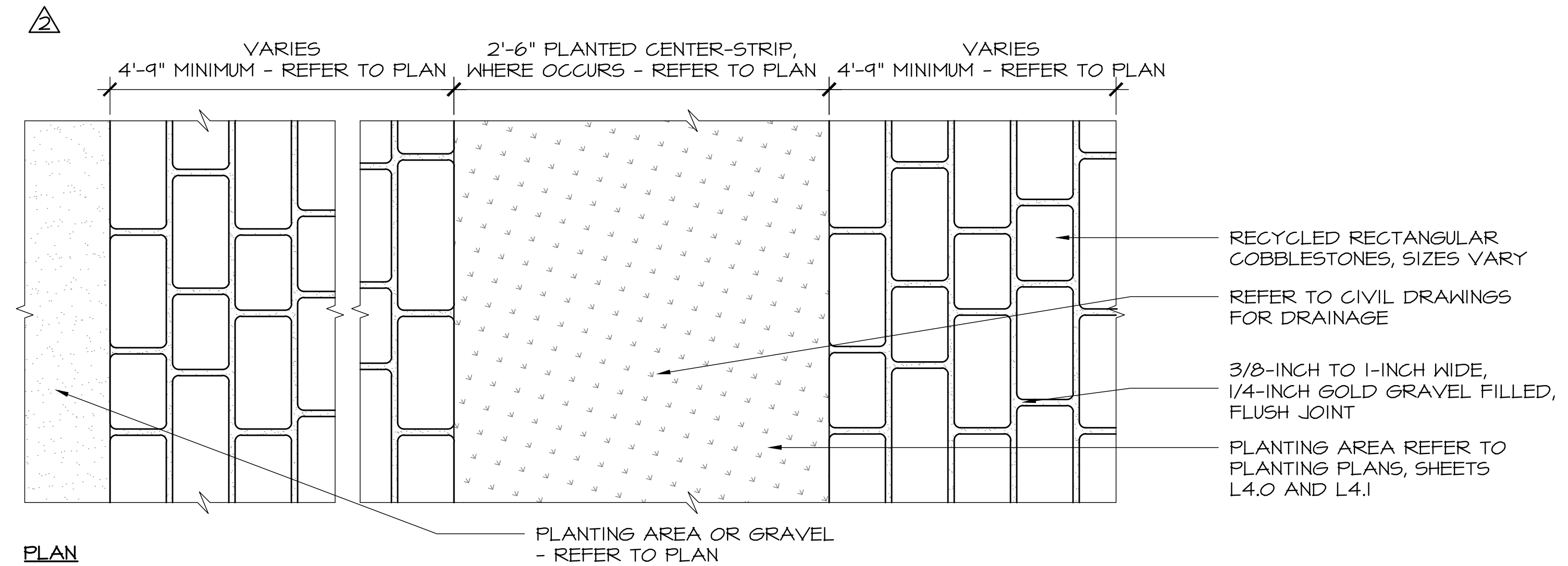


3 BOULDER SETTING DETAIL
SCALE: 3/4"=1'-0"

- NOTES:
STEEL HEADER MANUFACTURER: THE JD RUSSELL COMPANY
MODEL: DURAEDGE
AVAILABLE AT: EWING IRRIGATION
- CONTRACTOR TO SUBMIT 6-INCHES LONG SAMPLE OF STEEL HEADER TO LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.

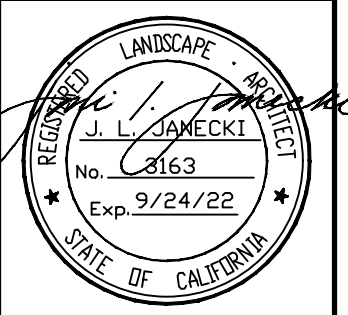


2 METAL HEADER DETAIL
SCALE: 3/4"=1'-0"



1 PERMEABLE COBBLESTONE PAVING - VEHICULAR RATED DETAIL
SCALE: 1-1/2"=1'-0"

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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California Landscape Architect License 3163

PROJECT: CARMEL BY THE SEA: BEACH HOUSE
HINES RESIDENCE
9 CARMEL WAY
CARMEL, CA 93923
APN: 010-321-021

SHEET TITLE: MATERIALS DETAILS

SCALE: AS NOTED
DRAWN BY: AZMMOON/FP
DATE: 12/02/20

BH
L1.4

ORIGINAL SHEET SIZE: 24" x 36"

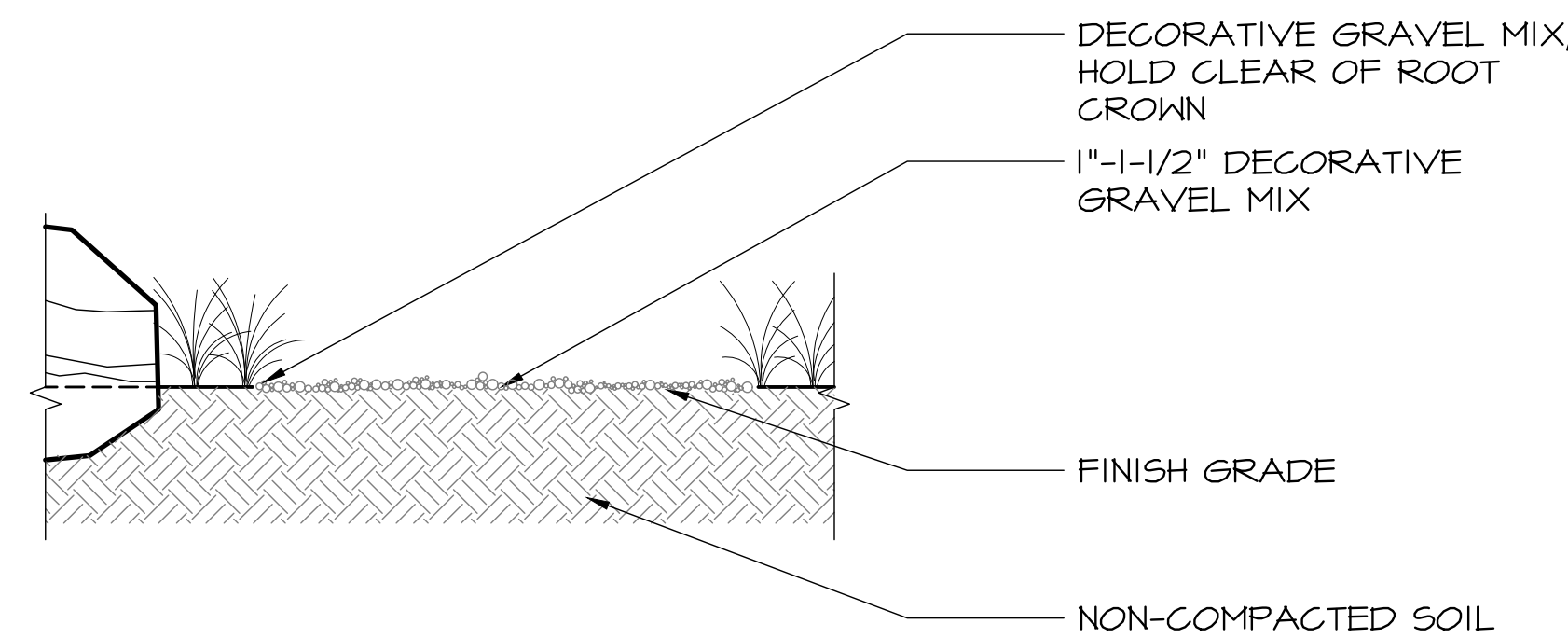
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DECORATIVE GRAVEL MIX:		
20%	3/4"	ROUND DRAIN ROCK
20%	1/2" - 1"	BLACK MEXICAN PEBBLE
20%	3/8"	TUSCANY ROUND
15%	3/8"	SIERRA GINGER
25%	1"-2"	IVORY MEXICAN PEBBLE

NOTE:

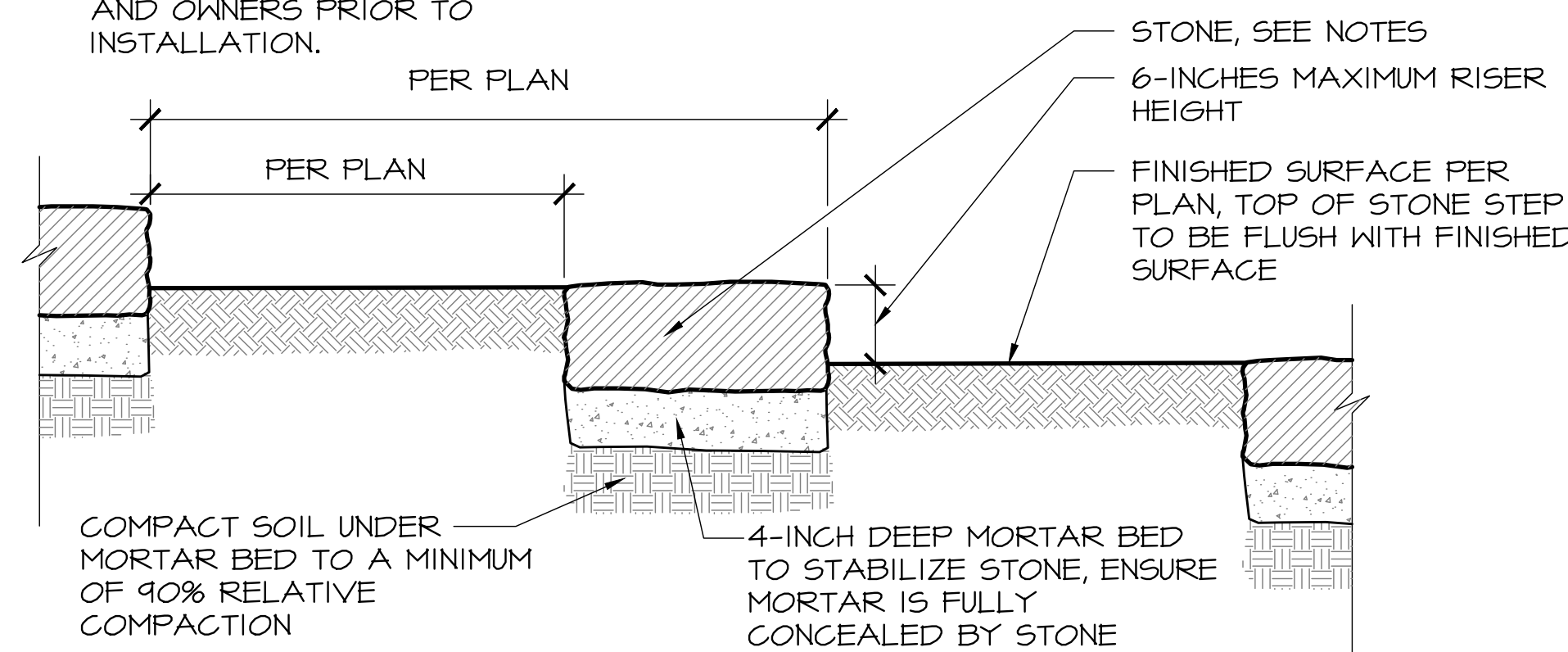
- GRAVEL MIX MOCK-UP 2'-0" X 2'-0" TO BE ASSEMBLED FOR REVIEW BY LANDSCAPE ARCHITECT AND CLIENT'S REPRESENTATIVE.
- GRAVEL TO BE MIXED AND PLACED BY HAND
- REFER TO PLAN FOR GRAVEL LOCATIONS. CONFIRM LOCATIONS WITH LANDSCAPE ARCHITECT AND CLIENT'S REPRESENTATIVE BEFORE INSTALLING GRAVEL.

- NOTES:
- PROVIDE 10'-0" X 10'-0" MOCK-UP OF PAVING WITH ALL JOINT TYPES, TYPICAL STONE LAYOUT TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - STONE TYPE TO BE MILL CREEK. NO DRAMATIC COLOR CHANGES BETWEEN STONES.
 - REFER TO GEOTECHNICAL REPORT.



4 DECORATIVE GRAVEL DETAIL
SCALE: 3/4"=1'-0"

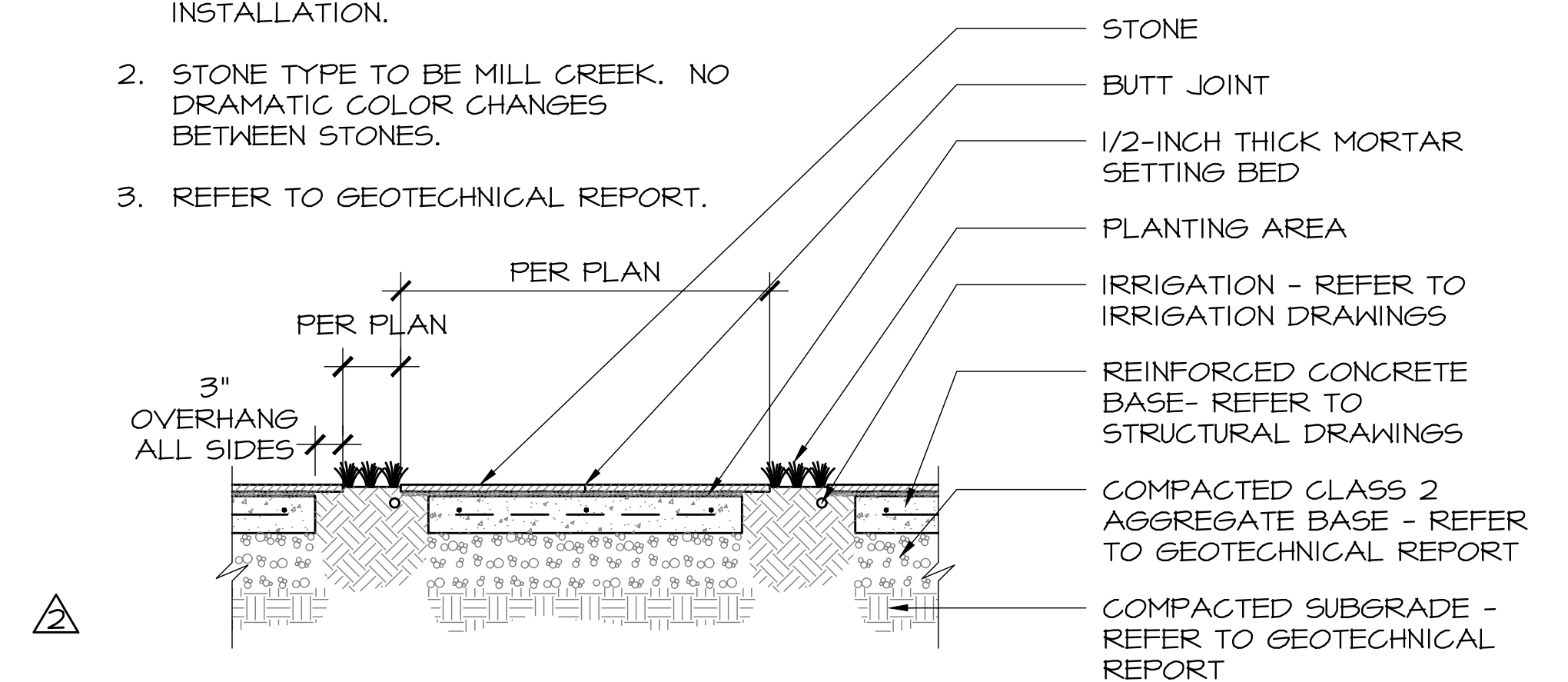
- NOTES:
- PROVIDE MOCK-UP OF PAVING WITH ALL JOINT TYPES AND TYPICAL STONE SIZES, SPACING AND LAYOUT TO BE REVIEWED BY LANDSCAPE ARCHITECT AND OWNERS PRIOR TO INSTALLATION.
 - STONE TYPE TO BE MILL CREEK. NO DRAMATIC COLOR CHANGES BETWEEN STONES.
 - REFER TO PLAN FOR STONE SLAB DIMENSIONS.



3 STONE SLAB STEP DETAIL
SCALE: 1"=1'-0"

NOTES:

- PROVIDE 10'-0" X 10'-0" MOCK-UP OF PAVING WITH ALL JOINT TYPES, TYPICAL STONE LAYOUT TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- STONE TYPE TO BE MILL CREEK. NO DRAMATIC COLOR CHANGES BETWEEN STONES.
- REFER TO GEOTECHNICAL REPORT.

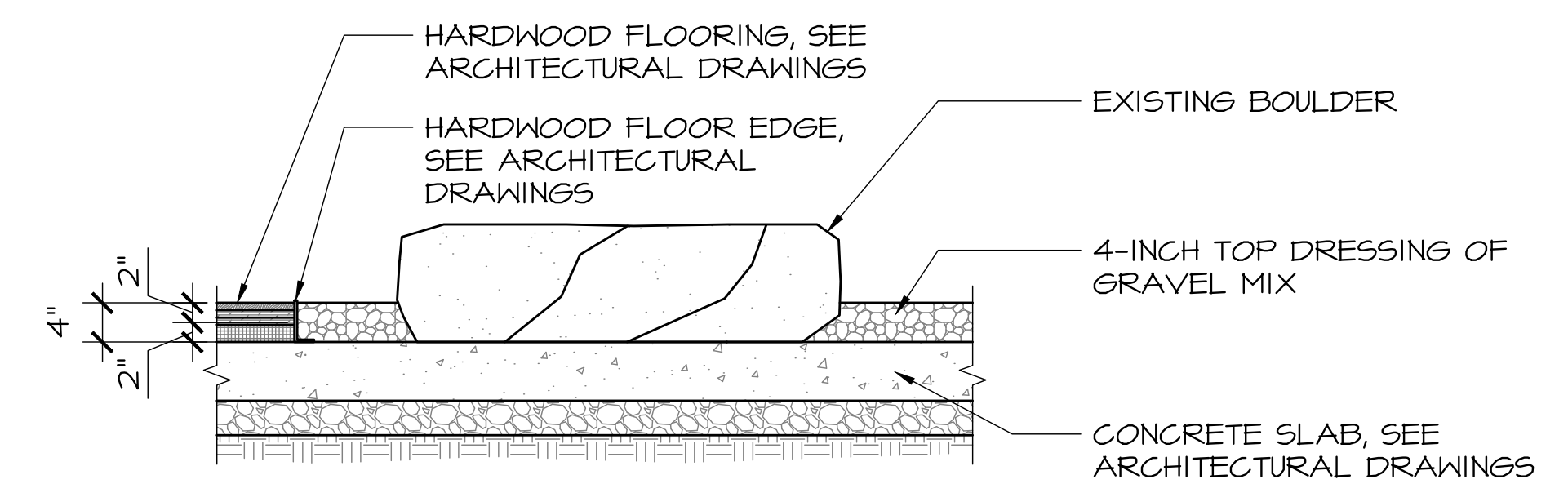


2 STEPPING STONES WITH PLANTED JOINT DETAIL
SCALE: 3/4"=1'-0"

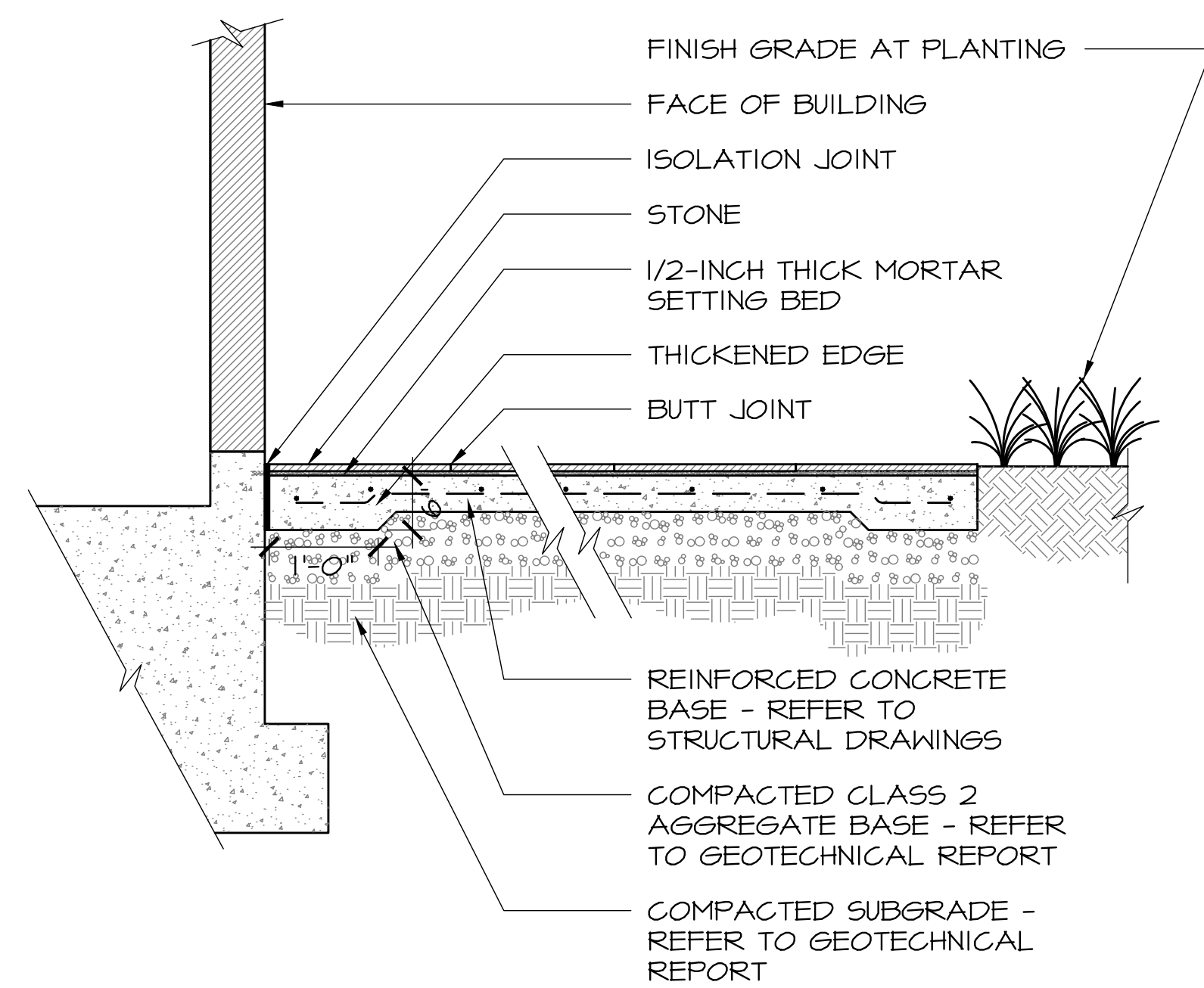
NOTES:

- GRAVEL MIX MOCK-UP 3'-0" X 3'-0" TO BE ASSEMBLED FOR REVIEW BY LANDSCAPE ARCHITECT AND CLIENT'S REPRESENTATIVE.
- GRAVEL MIX TO BE MIXED AND PLACED BY HAND

DECORATIVE GRAVEL MIX:		
20%	3/4"	ROUND DRAIN ROCK
20%	1/2" - 1"	BLACK MEXICAN PEBBLE
20%	3/8"	TUSCANY ROUND
15%	3/8"	SIERRA GINGER
25%	1"-2"	IVORY MEXICAN PEBBLE



1 INTERIOR STAIRWELL BOULDER DETAIL
SCALE: 3/4"=1'-0"



5 STONE PAVING SET ON CONCRETE SUB-SLAB DETAIL
SCALE: AS NOTED

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL

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 California Landscape Architect License 3163

PROJECT: **CARMEL BY THE SEA: BEACH HOUSE HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **MATERIALS DETAILS**

SCALE: AS NOTED
 DRAWN BY: AZMMOON/FP
 DATE: 12/02/20
BH
L1.5

ORIGINAL SHEET SIZE: 24" X 36"

NOTES:
1. STONE TYPE AND PATTERN AS APPROVED IN MOCK-UP ON SITE.



TRAPEZOIDAL STONE MOCK-UP

TRAPEZOIDAL STONE CAP PER APPROVED MOCK-UP 06/14/2018, SEE PHOTO BELOW. CROSS SLOPE 1% TO PLANTING. STONE TYPE, SEE NOTES.

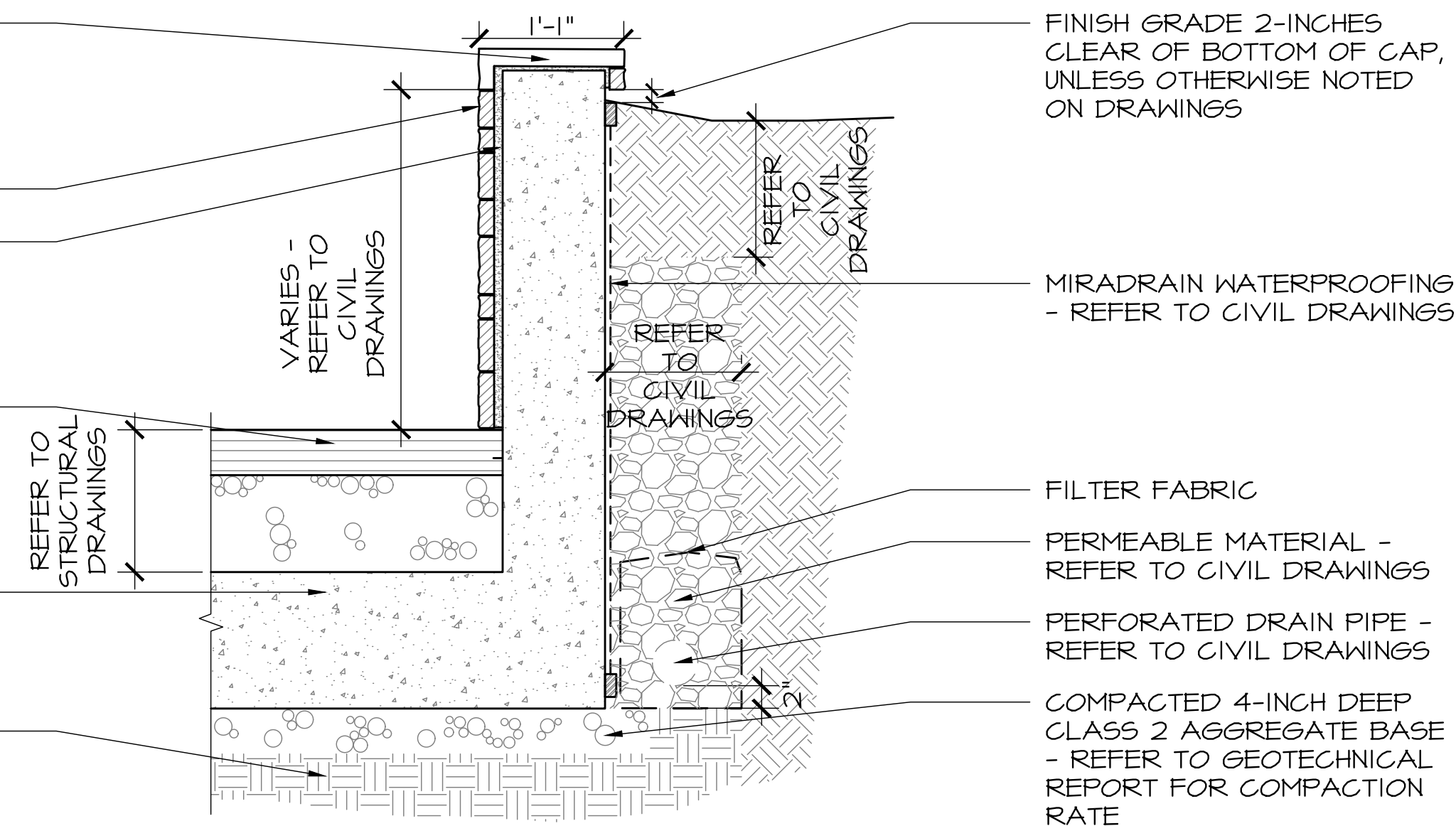
STONE VENEER

1/2 TO 1-INCH THICK MORTAR

PAVING OR PLANTING - REFER TO MATERIALS PLAN, SHEETS L1.1 AND L1.2

CONCRETE FOOTING, DIMENSIONS AND REINFORCING - REFER TO STRUCTURAL DRAWINGS

COMPACTED SUBGRADE - REFER TO GEOTECHNICAL REPORT



FINISH GRADE 2-INCHES CLEAR OF BOTTOM OF CAP, UNLESS OTHERWISE NOTED ON DRAWINGS

MIRADRAIN WATERPROOFING - REFER TO CIVIL DRAWINGS

FILTER FABRIC

PERMEABLE MATERIAL - REFER TO CIVIL DRAWINGS

PERFORATED DRAIN PIPE - REFER TO CIVIL DRAWINGS

COMPACTED 4-INCH DEEP CLASS 2 AGGREGATE BASE - REFER TO GEOTECHNICAL REPORT FOR COMPACTION RATE

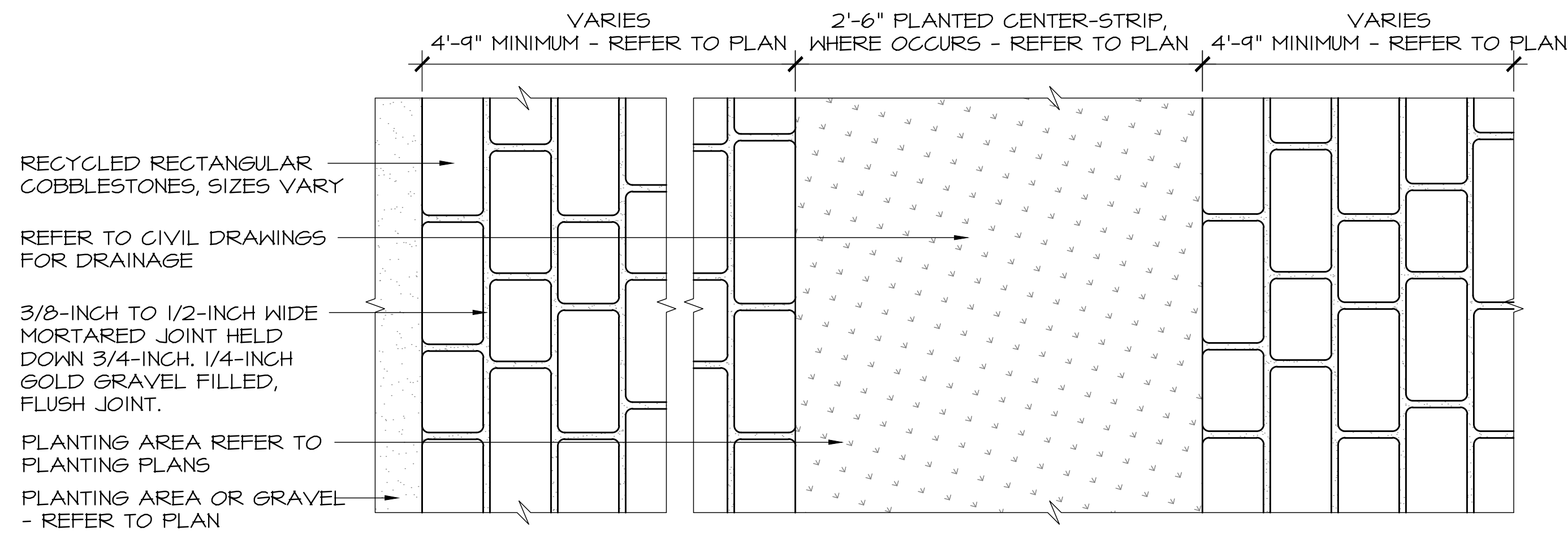
2 STONE RETAINING WALL DETAIL

SCALE: 1"=1'-0"



NOTES:
1. MATCH EXISTING SITE FENCE AS SHOWN IN PHOTO.

6'-0" HIGH REDWOOD FENCING

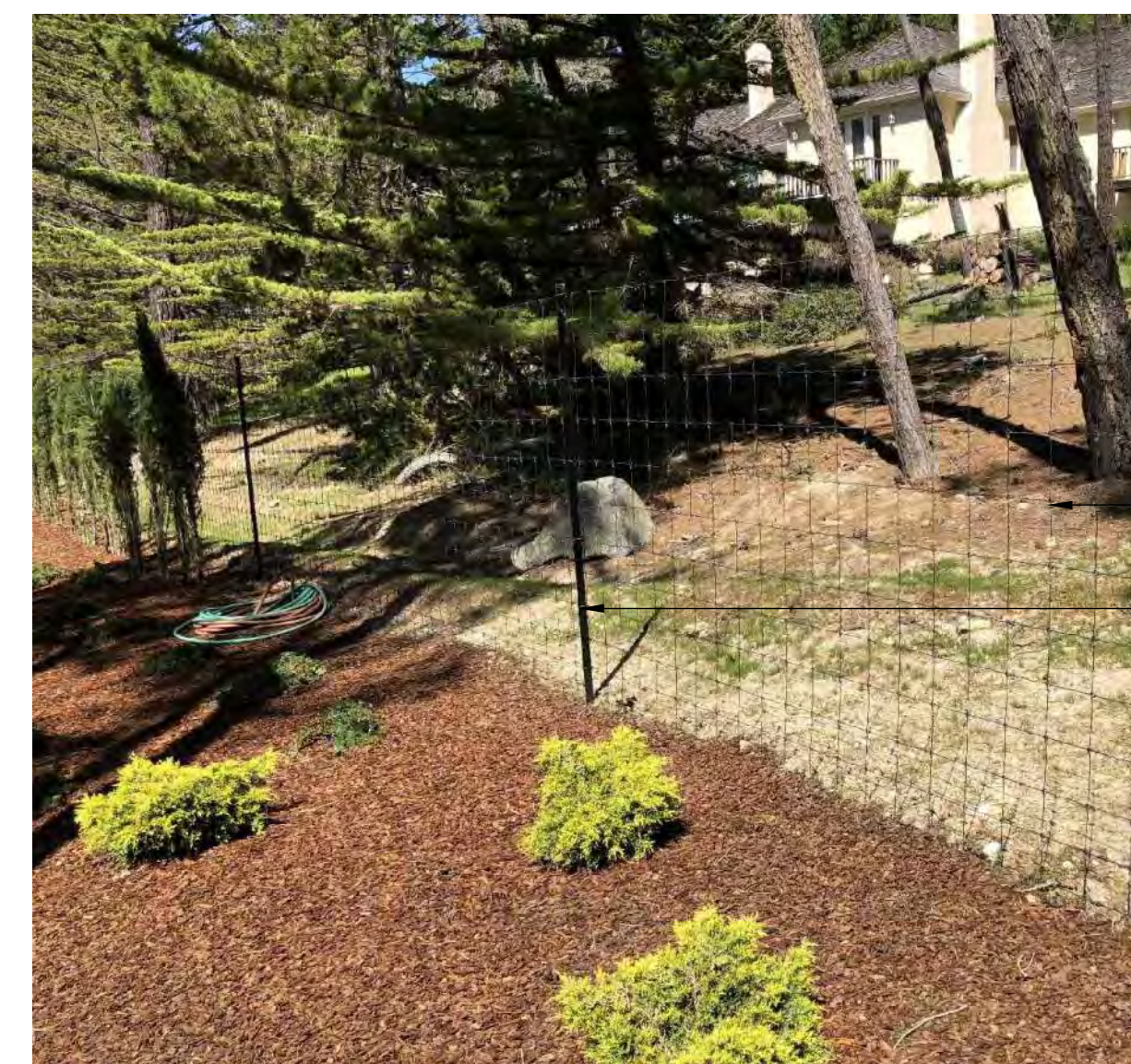


PLAN

- NOTES:
1. PROVIDE 5'-0" WIDE X 10'-0" LONG MOCK-UP OF COBBLESTONE DRIVEWAY TREAD, IN ALL SITE CONDITIONS WITH TYPICAL JOINT SPACING, EDGE AND JOINT TYPE. MOCK-UP TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 2. COBBLESTONES SHALL NOT BE CUT TO FIT. ANY MODIFICATIONS TO LAYOUT OR JOINT WIDTH TO BE VERIFIED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 3. APPROVED COBBLESTONES: ANTIQUE BLUESTONE COBBLE SUPPLIER: GAVIN HISTORICAL BRICKS PHONE: (888) 871-3349 WEB: WWW.HISTORICALBRICKS.COM
 4. COMPACT MATERIAL WITH A JUMPING JACK. GEOTECHNICAL ENGINEER TO FIELD VERIFY COMPACTION.
 5. PROVIDE SAMPLE FOR REVIEW OF VEHICULAR RATED STEEL EDGE SUPPORT.

4 REDWOOD FENCING DETAIL

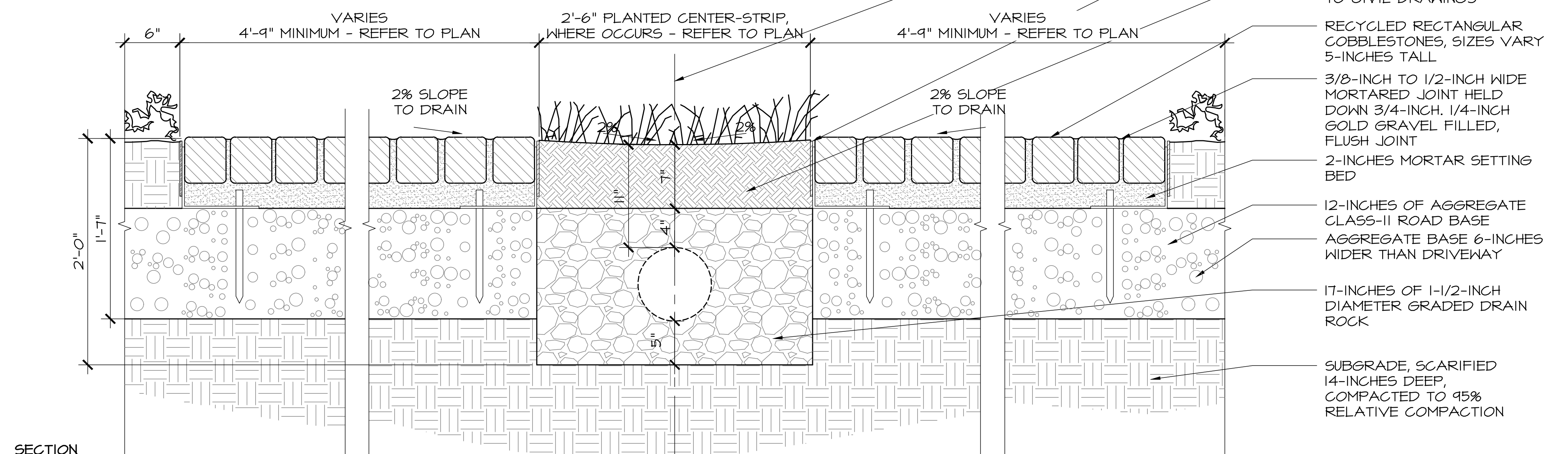
NOT TO SCALE



- NOTES:
1. FENCE HEIGHT TO BE DETERMINED IN FIELD.
 2. ALL CORNER AND END POSTS TO BE SECURED WITH ANGLE BRACE. ANGLE BRACE 4-INCHES ROUND PENTA DOUGLAS FIR SET IN 18-INCH CONCRETE FOOTING.

6'-0" TALL BLACK HIGH TENSILE DEER FENCING

ALL INTERMEDIATE POSTS TO BE STEEL; ALL CORNER AND END POSTS TO BE 5-INCHES ROUND PRESSURE TREATED PENTA DOUGLAS FIR, SET IN 3'-0" DEEP CONCRETE FOOTING ON MAXIMUM 12'-6" ON CENTER



SECTION

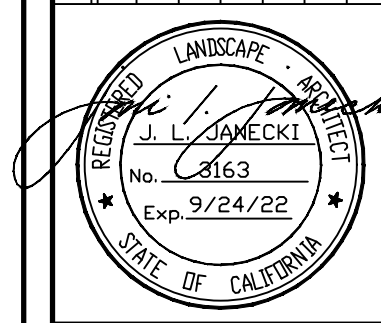
1 COBBLESTONE PAVING - VEHICULAR RATED DETAIL

SCALE: 1-1/2"=1'-0"

3 BLACK TENSILE FENCING DETAIL

NOT TO SCALE

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
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6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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California Landscape Architect License 3163

PROJECT: CARMEL BY THE SEA: BEACH HOUSE
HINES RESIDENCE
9 CARMEL WAY
CARMEL, CA 93923
APN: 010-321-021

SHEET TITLE: MATERIALS DETAILS

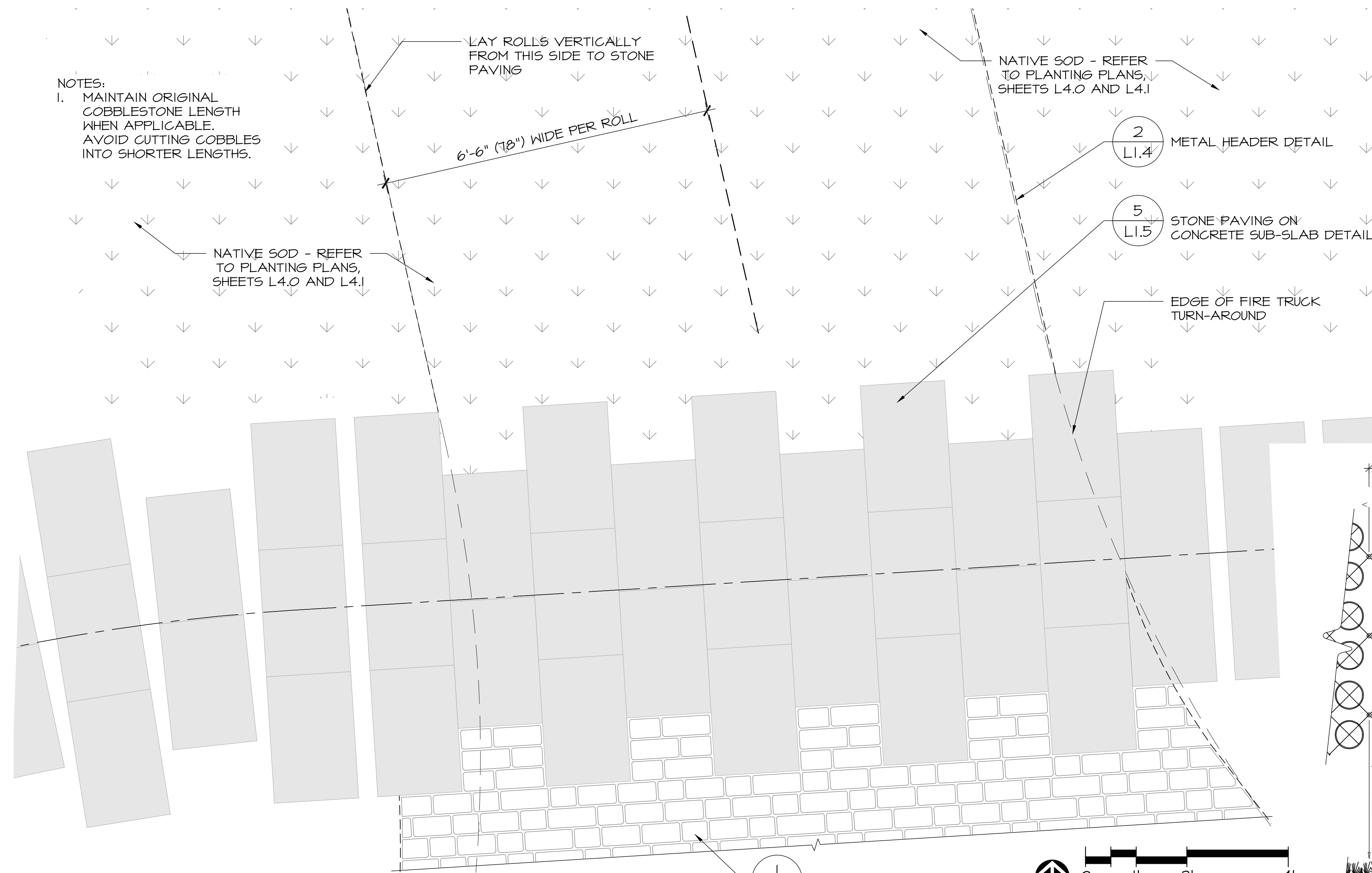
SCALE: AS NOTED
DRAWN BY: AZMMOON/FP
DATE: 12/02/20

BH
L1.6

T:\PROJECTS\RESIDENTIAL\17-160-Hines-Residence\Drawings\Landscape-Beach House-Permit Set\Hines-Res-submittal\Hines-BH-Details.dwg, L1.6-Materials-Details, 12/11/2020 12:09:52 PM, AutoCAD PDF (Smallest File) (pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1

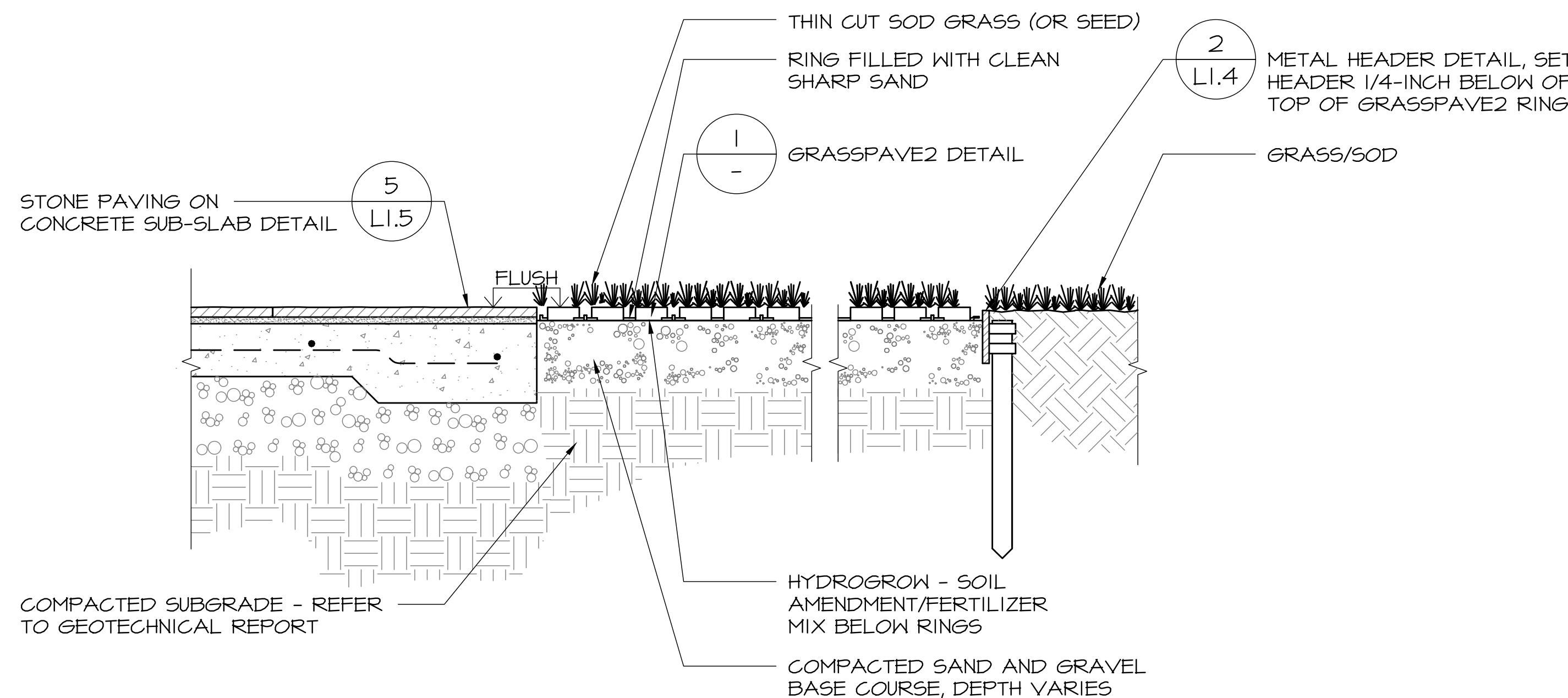
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NOTES:
1. MAINTAIN ORIGINAL COBBLESTONE LENGTH WHEN APPLICABLE. AVOID CUTTING COBBLES INTO SHORTER LENGTHS.



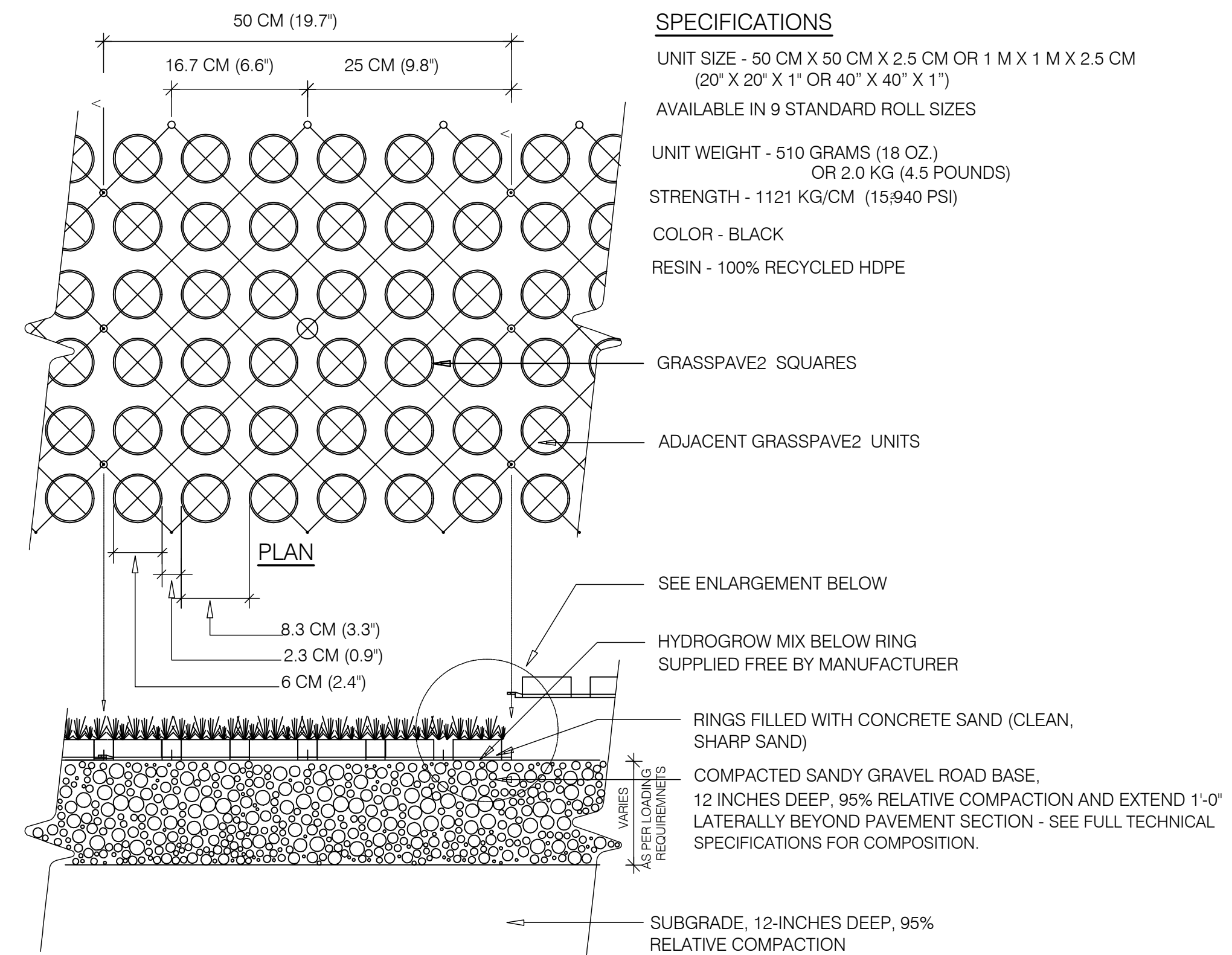
PLAN

NOTES:
1. INSTALL GRASSPAVE2 PER MANUFACTURER'S SPECIFICATIONS.
2. SECURE IN PLACE WITH NAILS AS NEEDED IF THERE ARE MULTIPLE PIECES OF GRASSPAVE2.



SECTION
SCALE: 1-1/2"=1'-0"

2 GRASSPAVE2 AT STONE PAVING ON CONCRETE SUB-SLAB DETAIL
SCALE: AS NOTED



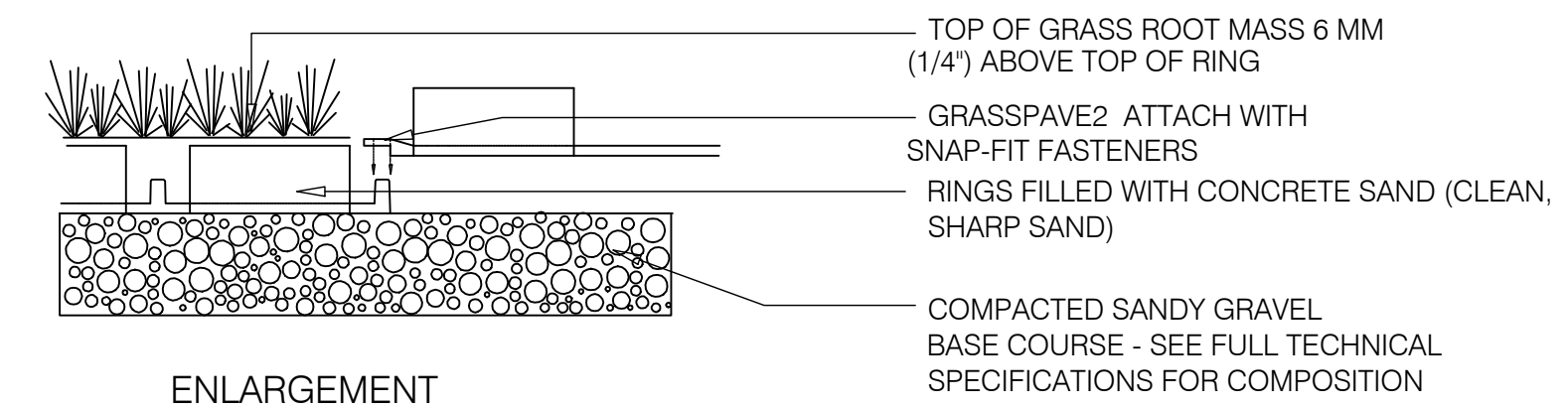
SPECIFICATIONS

UNIT SIZE - 50 CM X 50 CM X 2.5 CM OR 1 M X 1 M X 2.5 CM (20" X 20" X 1" OR 40" X 40" X 1")
AVAILABLE IN 9 STANDARD ROLL SIZES
UNIT WEIGHT - 510 GRAMS (18 OZ.) OR 2.0 KG (4.5 POUNDS)
STRENGTH - 1121 KG/CM (15,940 PSI)
COLOR - BLACK
RESIN - 100% RECYCLED HDPE

GRASSPAVE2 SQUARES
ADJACENT GRASSPAVE2 UNITS

SEE ENLARGEMENT BELOW
HYDROGROW MIX BELOW RING SUPPLIED FREE BY MANUFACTURER
RINGS FILLED WITH CONCRETE SAND (CLEAN, SHARP SAND)
COMPACTED SANDY GRAVEL ROAD BASE, 12 INCHES DEEP, 95% RELATIVE COMPACTION AND EXTEND 1'-0" LATERALLY BEYOND PAVEMENT SECTION - SEE FULL TECHNICAL SPECIFICATIONS FOR COMPOSITION.
SUBGRADE, 12-INCHES DEEP, 95% RELATIVE COMPACTION

SECTION



ENLARGEMENT

NOTE: GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER.

TYPICAL GRASSPAVE2 DETAIL

NOT TO SCALE

CHOOSE THIS PRODUCT FOR REINFORCING GRASS WEARING SURFACES

1 OF 1

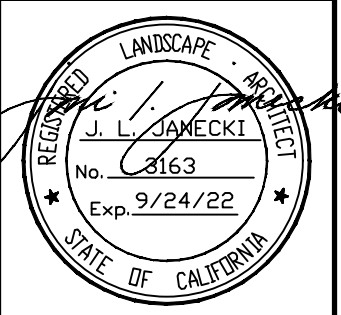


Invisible Structures, Inc.
GPDET18.DWG

16265 E. 33RD DR., SUITE 20
AURORA, COLORADO 80011
800-233-1510 OR 303-233-8383
FAX: 800-233-1522 OR
303-233-8282
www.invisiblestructures.com
rev. 1/18

1 GRASSPAVE2 DETAIL
NOT TO SCALE

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
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HINES RESIDENCE
9 CARMEL WAY
CARMEL, CA 93923
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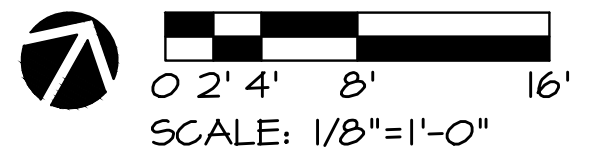
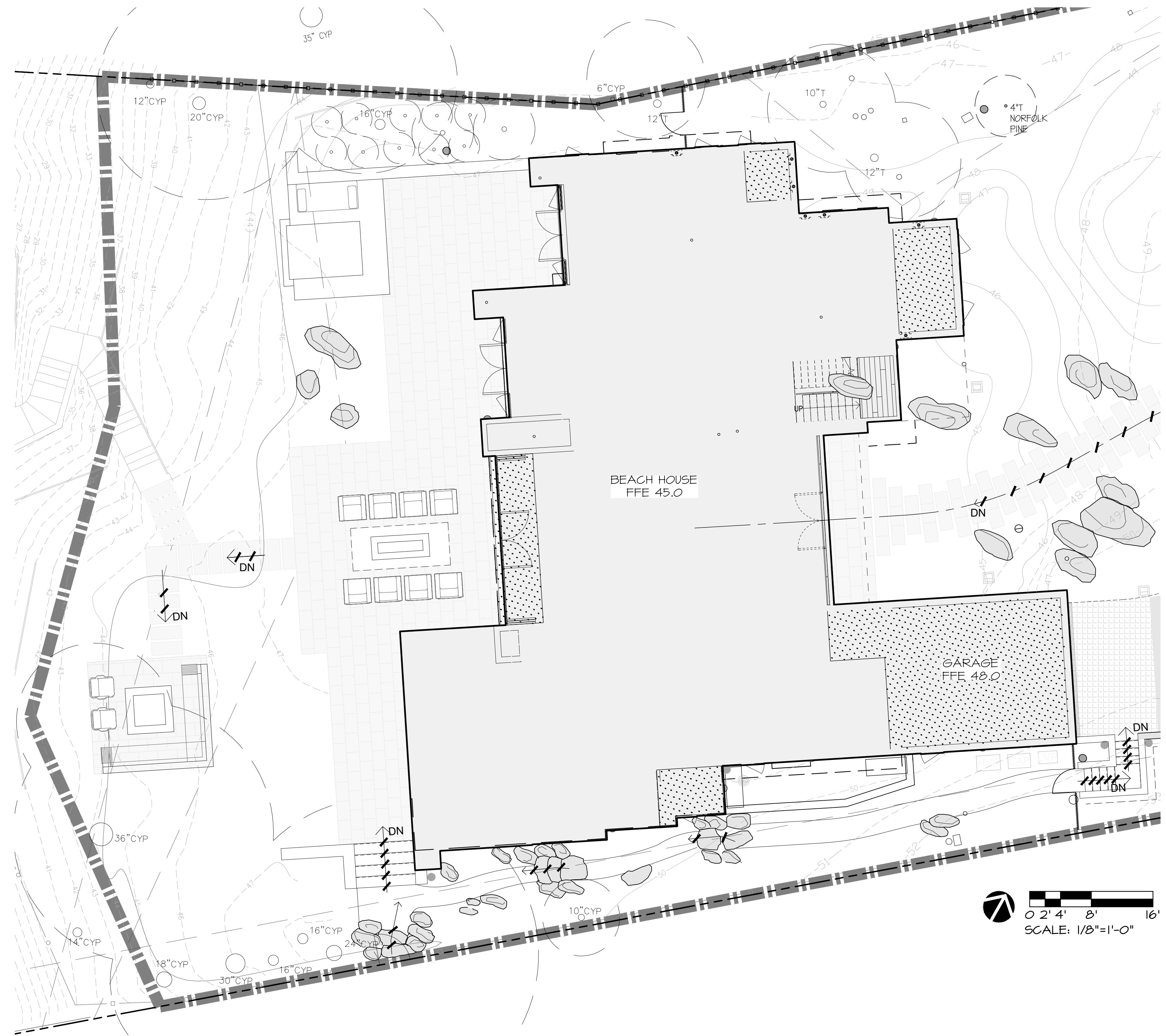
SHEET TITLE: MATERIALS DETAILS

SCALE: AS NOTED
DRAWN BY: AZMM/MOJ/FP
DATE: 12/02/20

BH
L1.7

ORIGINAL SHEET SIZE: 24" x 36"

T:\PROJECTS\RESIDENTIAL\17-160 Hines Residence\Drawings\Hines Landscape Beach House Permit Set\Hines Re-submittal\Hines_BH_Landscape.dwg, L2.0 Roof Landscape Plan, 12/11/2020 12:16:17 PM, AutoCAD PDF (Smallest File) (pc3_ARCH full bleed D (36.00 x 24.00 inches)), 1:1



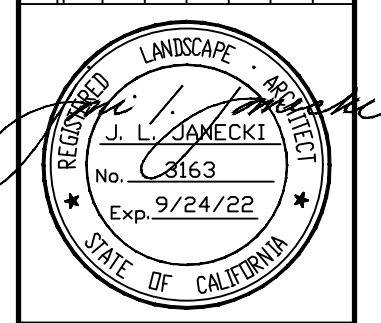
LEGEND

GRAVEL MIX:
 BOTTOM LAYER:
 1" DEPTH 3/8-INCH ROUNDED TUSCANY

TOP LAYER:
 40% 1/2 TO 1-INCH BLACK MEXICAN PEBBLE
 60% 1 TO 2-INCH IVORY MEXICAN PEBBLE

- NOTES:
- GRAVEL MIX MOCK-UP 3'-0" X 3'-0" TO BE ASSEMBLED FOR REVIEW BY LANDSCAPE ARCHITECT AND CLIENT'S REPRESENTATIVE.
 - GRAVEL MIX TO BE MIXED AND PLACED BY HAND.

NO.	DATE	DESCRIPTION
1.	07/17/17	BUILDING PERMIT RESUBMITTAL
2.	08/14/19	BUILDING PERMIT RESUBMITTAL
3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	BUILDING PERMIT RESUBMITTAL



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 California Landscape Architect License 3163

PROJECT: **CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE:
ROOF LANDSCAPE PLAN

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20

**BH
 L2.0**

ORIGINAL SHEET SIZE: 24" X 36"

NOTES:

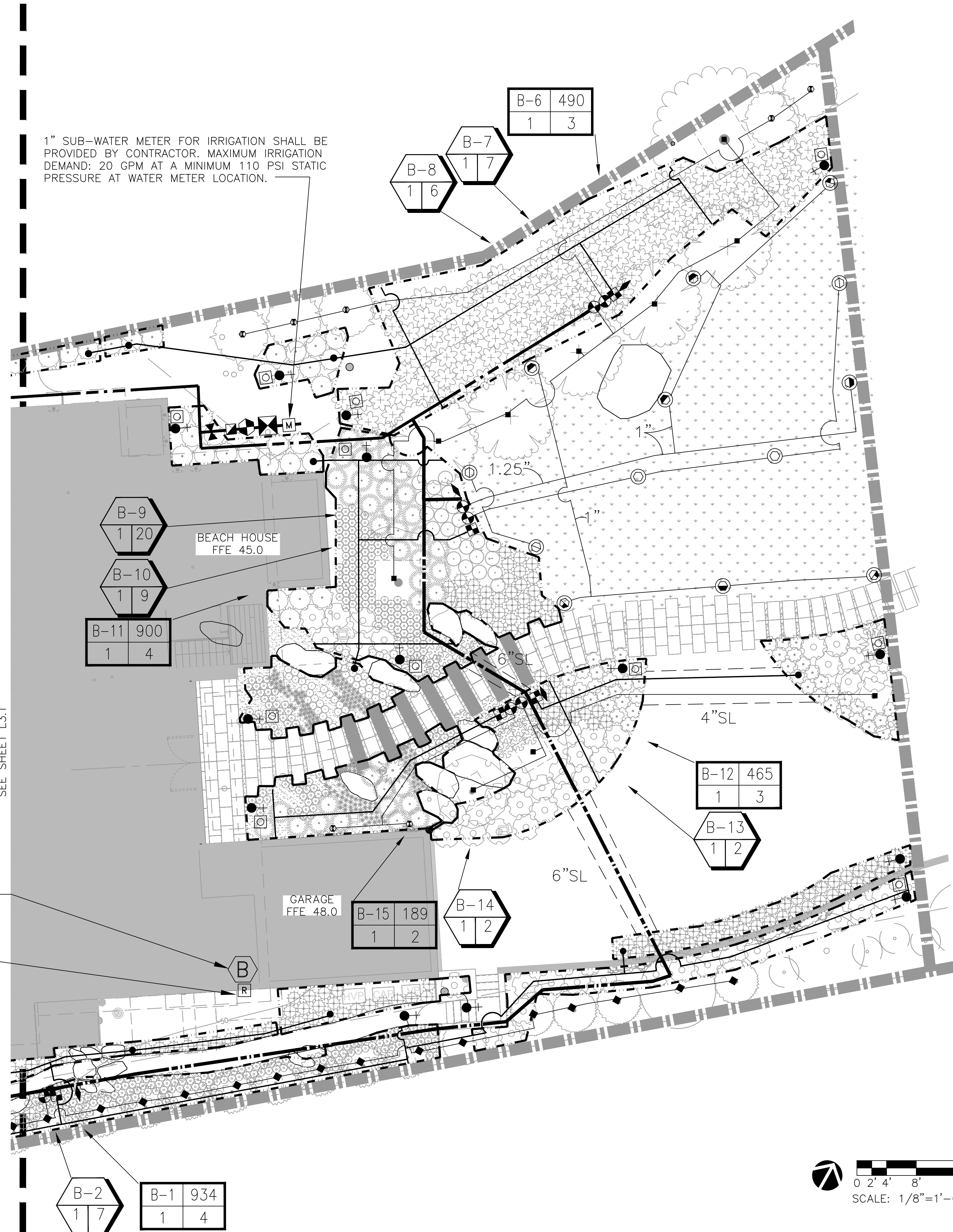
- ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.
- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- UNSIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
1.5"	21-32 GPM
- SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:

.75"	0-500 FT
1"	501-1100 FT
- FULL TIME PRESSURIZED VALVE 1" LINE WITH HOSE BIB AT EACH VALVE BOX.

1" SUB-WATER METER FOR IRRIGATION SHALL BE PROVIDED BY CONTRACTOR. MAXIMUM IRRIGATION DEMAND: 20 GPM AT A MINIMUM 110 PSI STATIC PRESSURE AT WATER METER LOCATION.

MATCH LINE -
SEE SHEET L3.1



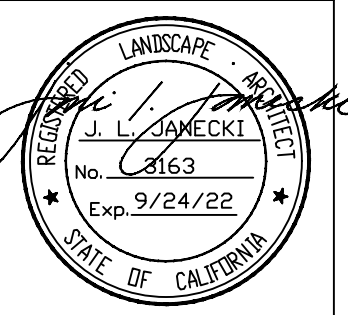
IRRIGATION CONTROLLER "B". MOUNT ON EXTERIOR WALL AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION.

WIRELESS WEATHER SENSOR AND RAIN SENSOR. MOUNT ON EVE OF BUILDING. INSTALL SENSOR OPEN TO THE SKY. COORDINATE AND CONFIRM EXACT LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



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 Walnut Creek, CA 94597
 tel 925.939.3985 ♦ fax 925.932.5671
 www.rmairrigation.com

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1.	07/17/17	BUILDING PERMIT RESUBMITTAL
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6.	12/02/20	PLANTING ADJUSTMENTS



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PROJECT: **CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE:
IRRIGATION PLAN

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMM/MOON/FP
 DATE: 12/02/20

**BH
 L3.0**

ORIGINAL SHEET SIZE: 24" X 36"

NOTES:

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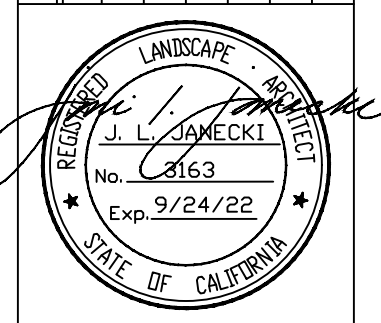
.75"	0-6 GPM
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PROJECT: **CARMEL BY THE SEA: BEACH HOUSE**
HINES RESIDENCE
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **IRRIGATION PLAN**

SCALE: 1/8"=1'-0"
 DRAWN BY: AZMMOON/FP
 DATE: 12/02/20

BH
L3.1

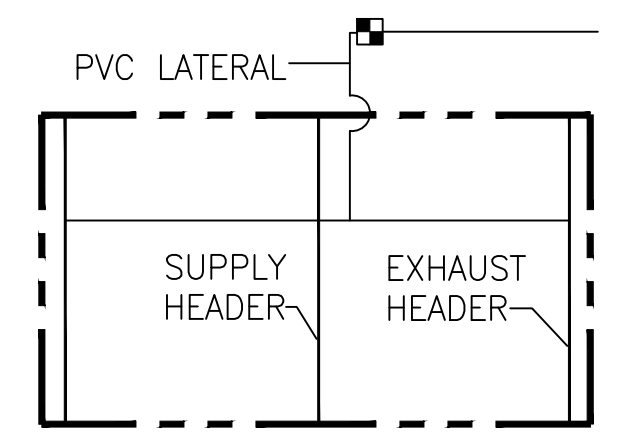
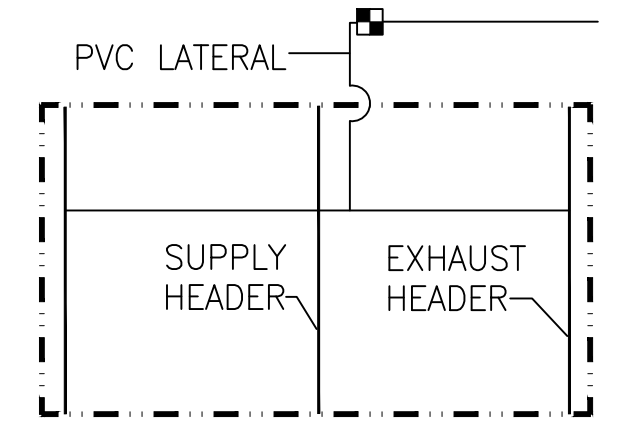
IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE INSULATING JACKET. CONTROL WIRE SERVICING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICES SHALL BE MADE WITH 3M-DBY SEAL PACKS OR APPROVED EQUAL.
- INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.

- INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (AVOID LAWN AREAS WHERE POSSIBLE).
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE.
- LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: REFER TO PLANS.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES IN THE IRRIGATION LAYOUT AND VALVE ZONING DUE TO VARIATIONS IN THE EXISTING SITE CONDITIONS SUCH AS EXPOSURE FROM BUILDINGS, TRELLISES, TREES, ETC., AS WELL AS SLOPE AND SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF THE PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE IRRIGATION SYSTEM DESIGN IF THE PLANTING DESIGN CHANGES FROM THE ORIGINAL PLAN AND NEEDS TO ADAPT TO THE NEW PLANTING DESIGN. THE LANDSCAPE CONTRACTOR NEEDS TO NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.

- WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.
- VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

SYMBOL	DESCRIPTION
	MAIN LINE: 1 1/2" AND SMALLER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.
	LATERAL LINE: 3/4" AND LARGER: 1120- SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.
	SLEEVING: SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.
	DRIPLINE REMOTE CONTROL VALVE
	DRIPLINE REMOTE CONTROL VALVE

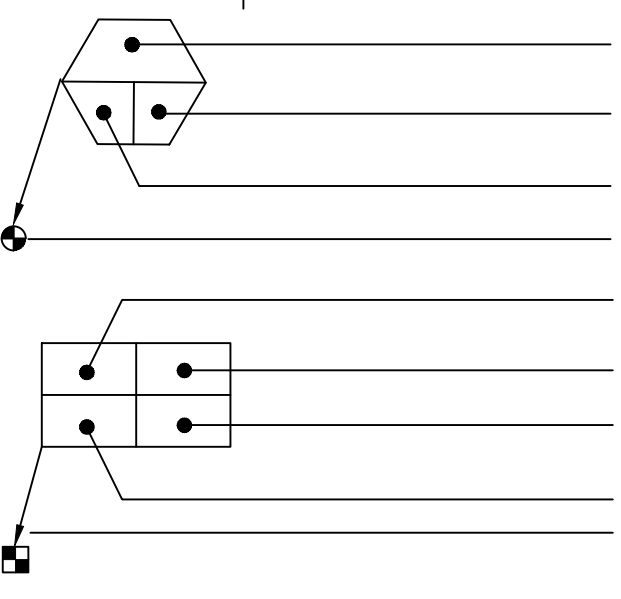


IRRIGATION COORDINATION NOTES

- PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL A LOCALLY APPROVED BACKFLOW PREVENTION DEVICE TO PROTECT ALL IRRIGATION STUB-OUTS.
- COPPER PIPING WITHIN STRUCTURE SHALL BE PROVIDED, ROUTED, AND INSTALLED BY PLUMBING CONTRACTOR. EXIT OF PIPE TO PLANTER SHALL BE 18" BELOW FINISH GRADE.
- IRRIGATION SLEEVING AND/OR CONDUIT IN STRUCTURE TO BE PROVIDED AND INSTALLED UNDER STRUCTURAL WORK.
- ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, PULL BOXES AND WIRE IN STRUCTURE. THE DRAWINGS INDICATE REQUIRED WIRE QUANTITIES FROM A GIVEN PLANTER LOCATION, THROUGH STRUCTURE, TO THE CONTROLLER LOCATION. 14 GAUGE WIRE SHALL BE USED FOR CONTROL WIRING AND 12 GAUGE FOR COMMON GROUND. FINAL CONNECTION OR WIRING TO REMOTE CONTROL VALVES AND CONTROLLER SHALL BE COMPLETED BY IRRIGATION CONTRACTOR.

IRRIGATION LEGEND

NUMBER	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
T5-P-CK/3.0LA	3.0	45	25-30
T5-P-CK/1.5LA	1.6	45	25-30
570Z-6P-XF-COM/PRN-TF (360')	2.56	40	16-20
570Z-6P-XF-COM/PRN-TA (45'-270')	1.22,0.62	40	16-20
DB-15-PC-CV	0.25	30	TRICKLE
570S/FB-50-PC	0.5	30	TRICKLE
PLD-BV			HUNTER MANUAL FLUSH VALVE
570Z-6P-SI-PRX/0-T-5-QP			TORO POP-UP SPRINKLER WITH SIDE INLET AND A CLOSED 5' NOZZLE TO BE USED AS DRIPLINE INDICATOR
			IRRIGATION POINT OF CONNECTION TO COPPER PIPE ROUTED THROUGH THE BUILDING AND STUBBED OUT INTO PLANTERS WHERE SHOWN. WORK TO BE BY PLUMBING CONTRACTORS.
ICV-101-AS-40			HUNTER REMOTE CONTROL VALVE
ICZ-101			HUNTER REMOTE CONTROL VALVE DRIPZONE KIT
			APPROXIMATE CONNECTION POINT BETWEEN DRIPLINE TUBING AND PVC SUPPLY. REFER TO DRIPLINE TUBING CONNECTION DETAIL FOR MORE INFORMATION.
			MASTER VALVE (NORMALLY OPEN)
			NETAFIM 1" WATER METER
			WeatherTRAK 1" FLOW SENSOR
			CHAMPION HOSE BIBE
			CHAMPION HOSE BIBE (NO VALVE BOX)
			WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY PROVIDED AND INSTALLED BY PLUMBER
			NIBCO GATE VALVE (LINE SIZE) PROVIDED AND INSTALLED BY PLUMBER
			WIRELESS RAIN SENSOR
			WeatherTRAK LC SMART CONTROLLER IN A WALL MOUNTED ENCLOSURE WITH CELL COMMUNICATION TO THE CLOUD FOR DAILY WEATHER UPDATES AND REMOTE ACCESS. CONTROLLER AND STATION NUMBER
			FLOW (GPM)
			REMOTE CONTROL VALVE SIZE (IN INCHES)
			ASSOCIATED REMOTE CONTROL VALVE
			CONTROLLER AND STATION NUMBER
			AREA (SQ. FT.)
			FLOW (GPM)
			REMOTE CONTROL VALVE SIZE (IN INCHES)
			ASSOCIATED REMOTE CONTROL VALVE



CALGREEN MEASURES

4.304 OUTDOOR WATER USE

- 4.304.1 IRRIGATION CONTROLLERS.** Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
- Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
 - Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.
- **Note:** More information regarding irrigation controller function and specifications is available from the Irrigation Association.

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REVISIONS AND RECORD OF ISSUE:

NO.	DATE	DESCRIPTION
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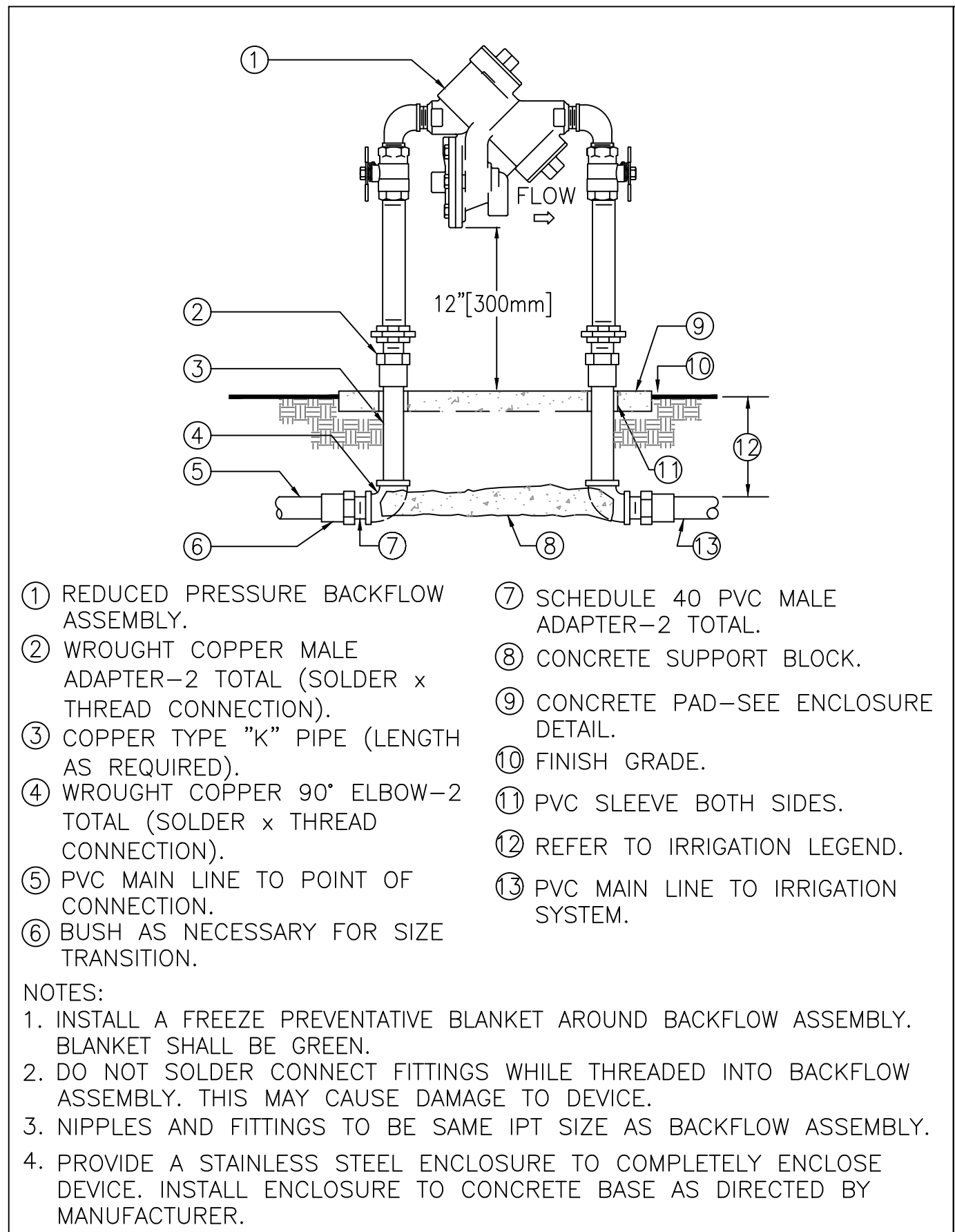
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IRRIGATION LEGEND AND NOTES

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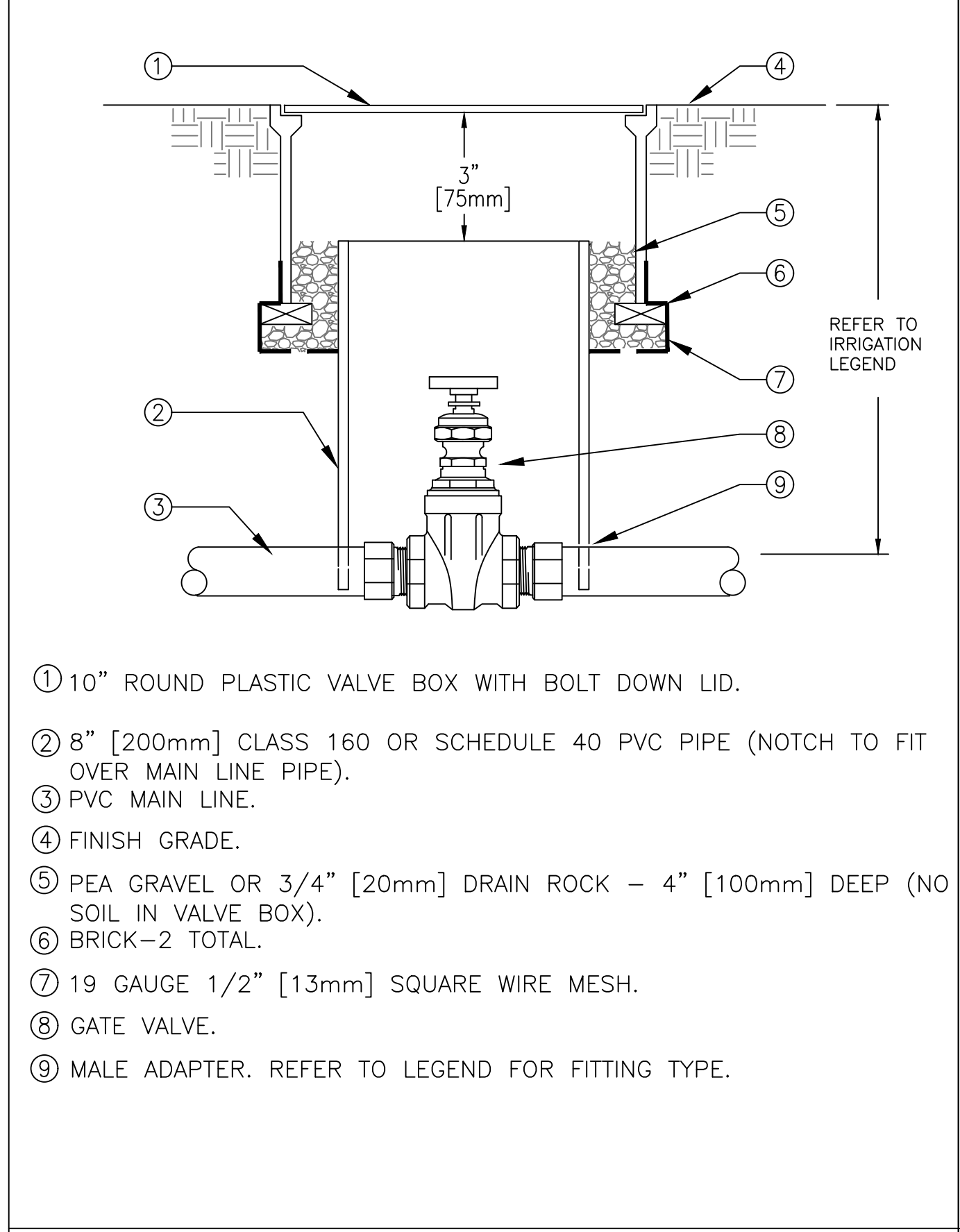
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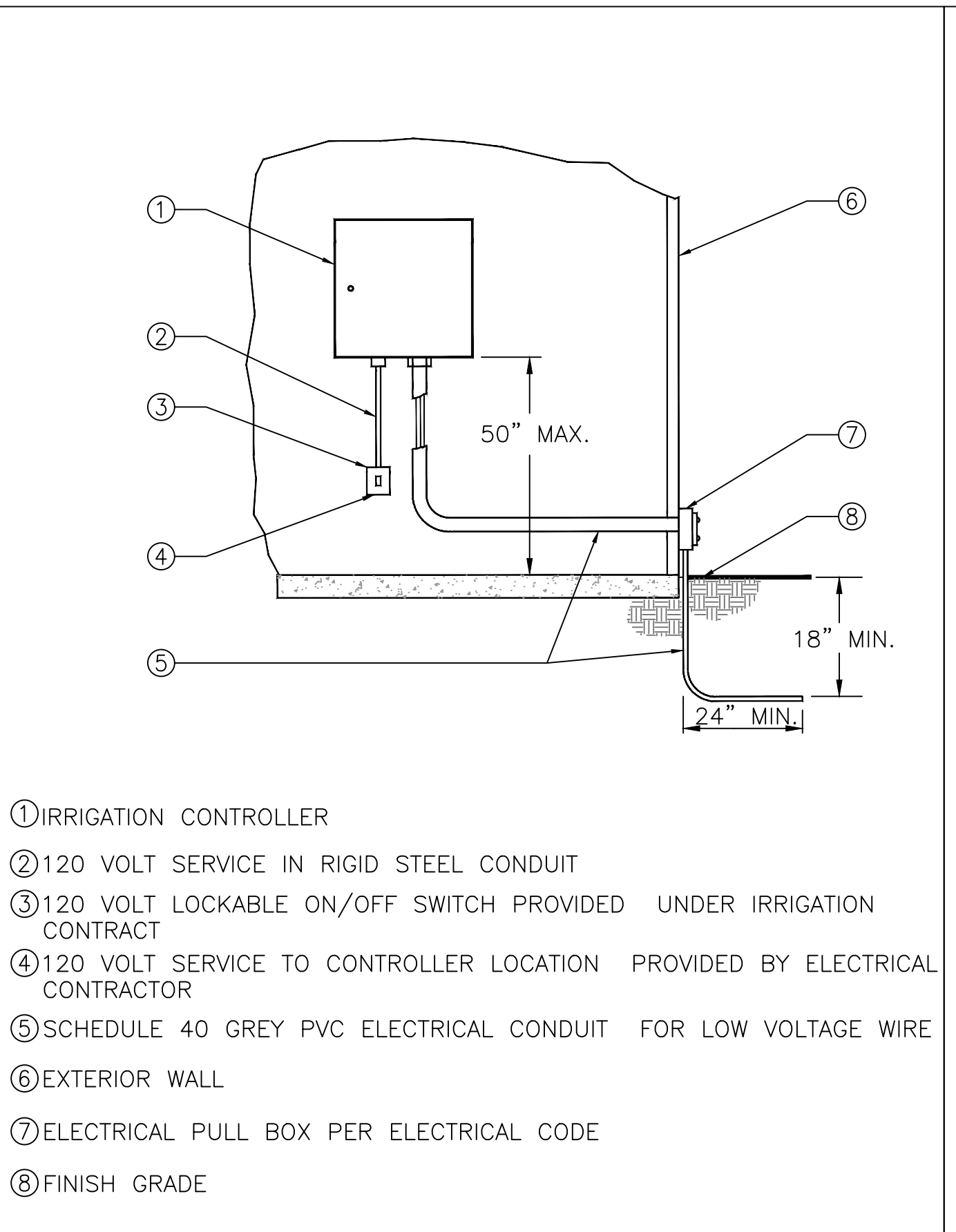
- ① REDUCED PRESSURE BACKFLOW ASSEMBLY.
 - ② WROUGHT COPPER MALE ADAPTER-2 TOTAL (SOLDER x THREAD CONNECTION).
 - ③ COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
 - ④ WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER x THREAD CONNECTION).
 - ⑤ PVC MAIN LINE TO POINT OF CONNECTION.
 - ⑥ BUSH AS NECESSARY FOR SIZE TRANSITION.
 - ⑦ SCHEDULE 40 PVC MALE ADAPTER-2 TOTAL.
 - ⑧ CONCRETE SUPPORT BLOCK.
 - ⑨ CONCRETE PAD-SEE ENCLOSURE DETAIL.
 - ⑩ FINISH GRADE.
 - ⑪ PVC SLEEVE BOTH SIDES.
 - ⑫ REFER TO IRRIGATION LEGEND.
 - ⑬ PVC MAIN LINE TO IRRIGATION SYSTEM.
- NOTES:
 1. INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN.
 2. DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. THIS MAY CAUSE DAMAGE TO DEVICE.
 3. NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.
 4. PROVIDE A STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.

1 REDUCED PRESSURE BACKFLOW ASSEMBLY
 SCALE: NONE



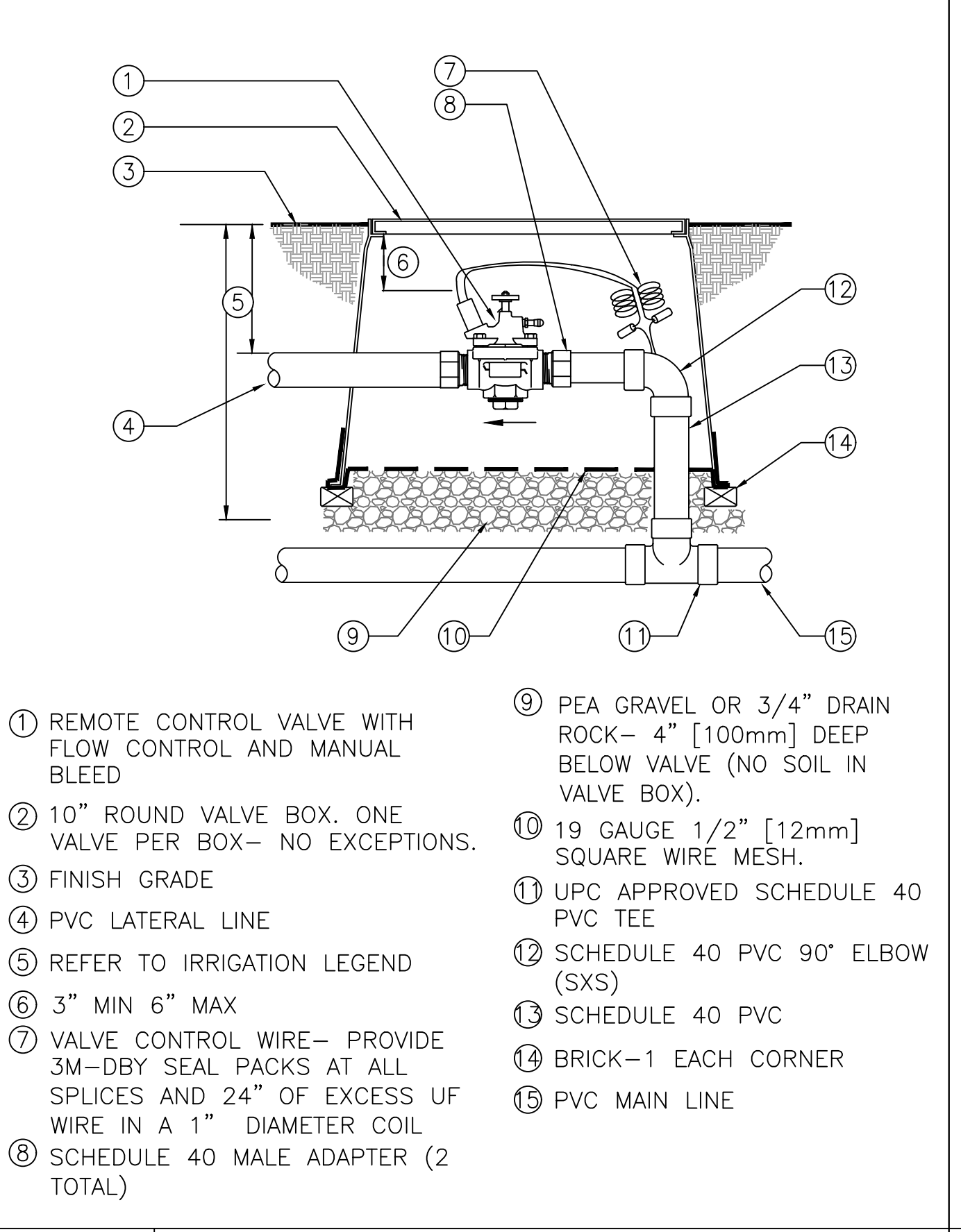
- ① 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
 - ② 8" [200mm] CLASS 160 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE).
 - ③ PVC MAIN LINE.
 - ④ FINISH GRADE.
 - ⑤ PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [100mm] DEEP (NO SOIL IN VALVE BOX).
 - ⑥ BRICK-2 TOTAL.
 - ⑦ 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
 - ⑧ GATE VALVE.
 - ⑨ MALE ADAPTER. REFER TO LEGEND FOR FITTING TYPE.
- REFER TO IRRIGATION LEGEND

5 GATE VALVE
 SCALE: NONE
 DET: SGVD



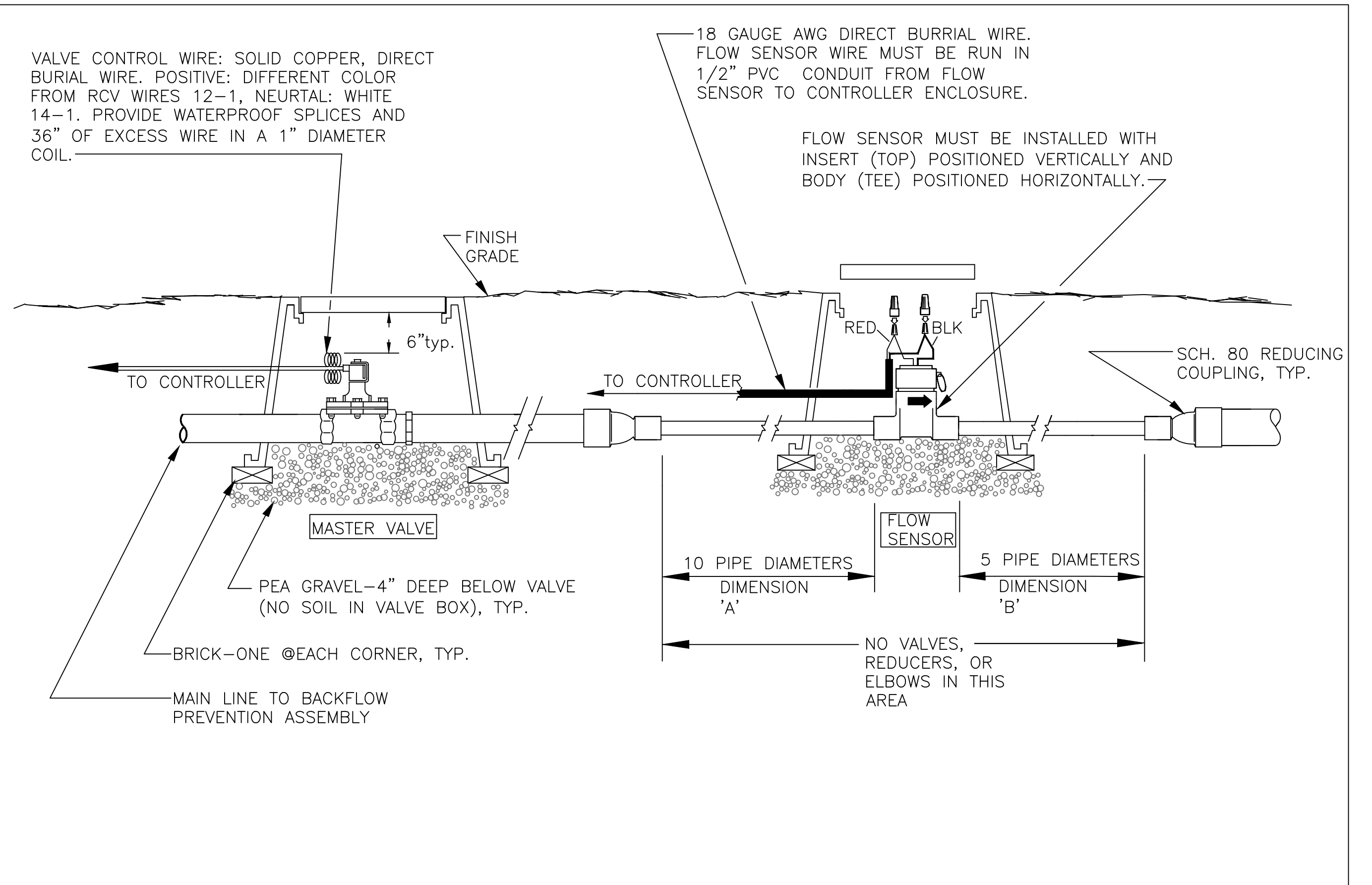
- ① IRRIGATION CONTROLLER
- ② 120 VOLT SERVICE IN RIGID STEEL CONDUIT
- ③ 120 VOLT LOCKABLE ON/OFF SWITCH PROVIDED UNDER IRRIGATION CONTRACT
- ④ 120 VOLT SERVICE TO CONTROLLER LOCATION PROVIDED BY ELECTRICAL CONTRACTOR
- ⑤ SCHEDULE 40 GREY PVC ELECTRICAL CONDUIT FOR LOW VOLTAGE WIRE
- ⑥ EXTERIOR WALL
- ⑦ ELECTRICAL PULL BOX PER ELECTRICAL CODE
- ⑧ FINISH GRADE

2 INTERIOR MOUNTED CONTROLLER
 SCALE: NONE
 DET: INT-C1



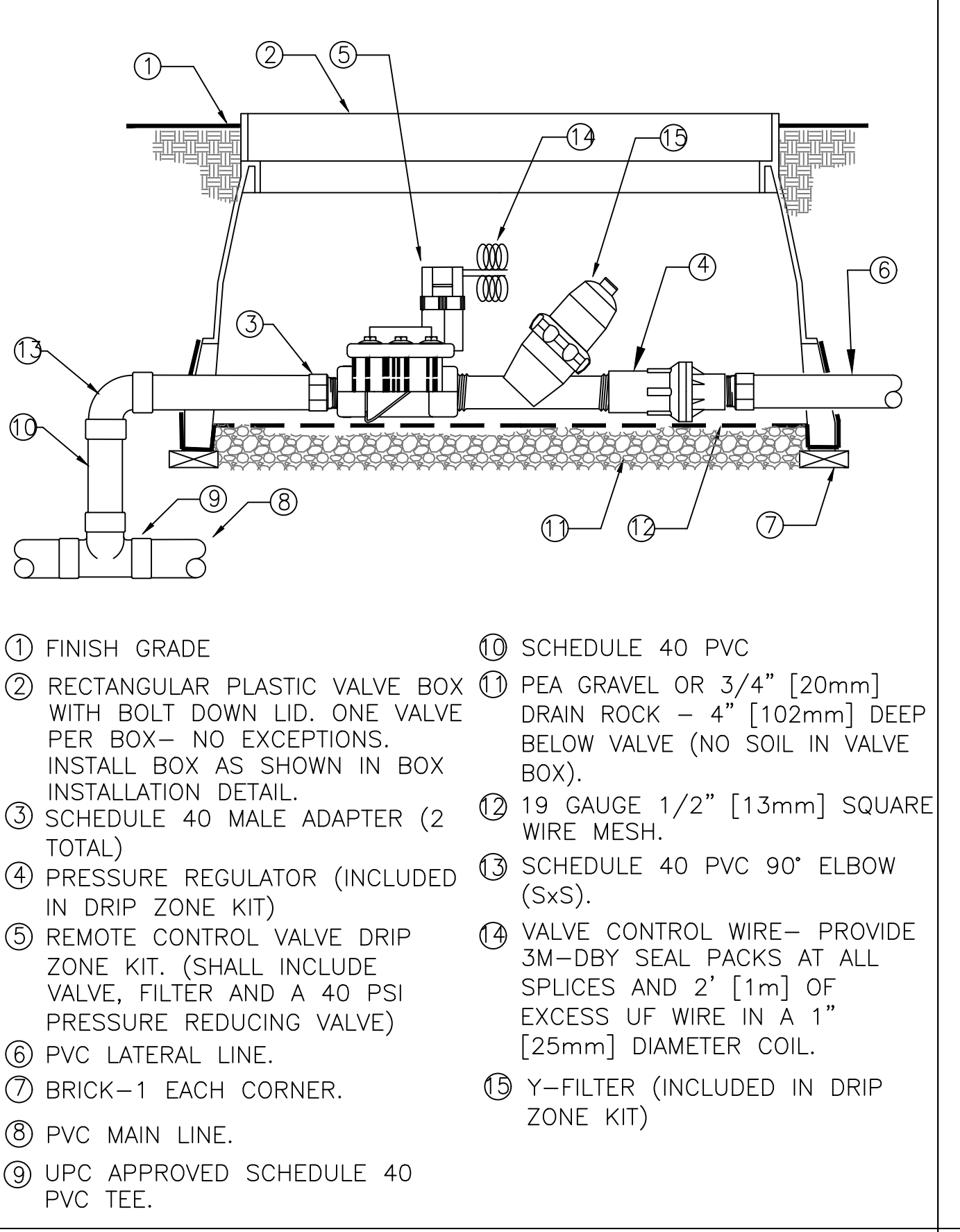
- ① REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED
- ② 10" ROUND VALVE BOX. ONE VALVE PER BOX- NO EXCEPTIONS.
- ③ FINISH GRADE
- ④ PVC LATERAL LINE
- ⑤ REFER TO IRRIGATION LEGEND
- ⑥ 3" MIN 6" MAX
- ⑦ VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 24" OF EXCESS WIRE IN A 1" DIAMETER COIL
- ⑧ SCHEDULE 40 MALE ADAPTER (2 TOTAL)
- ⑨ PEA GRAVEL OR 3/4" DRAIN ROCK - 4" [100mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- ⑩ 19 GAUGE 1/2" [12mm] SQUARE WIRE MESH.
- ⑪ UPC APPROVED SCHEDULE 40 PVC TEE
- ⑫ SCHEDULE 40 PVC 90° ELBOW (SXS)
- ⑬ SCHEDULE 40 PVC
- ⑭ BRICK-1 EACH CORNER
- ⑮ PVC MAIN LINE

6 REMOTE CONTROL VALVE
 SCALE: NONE



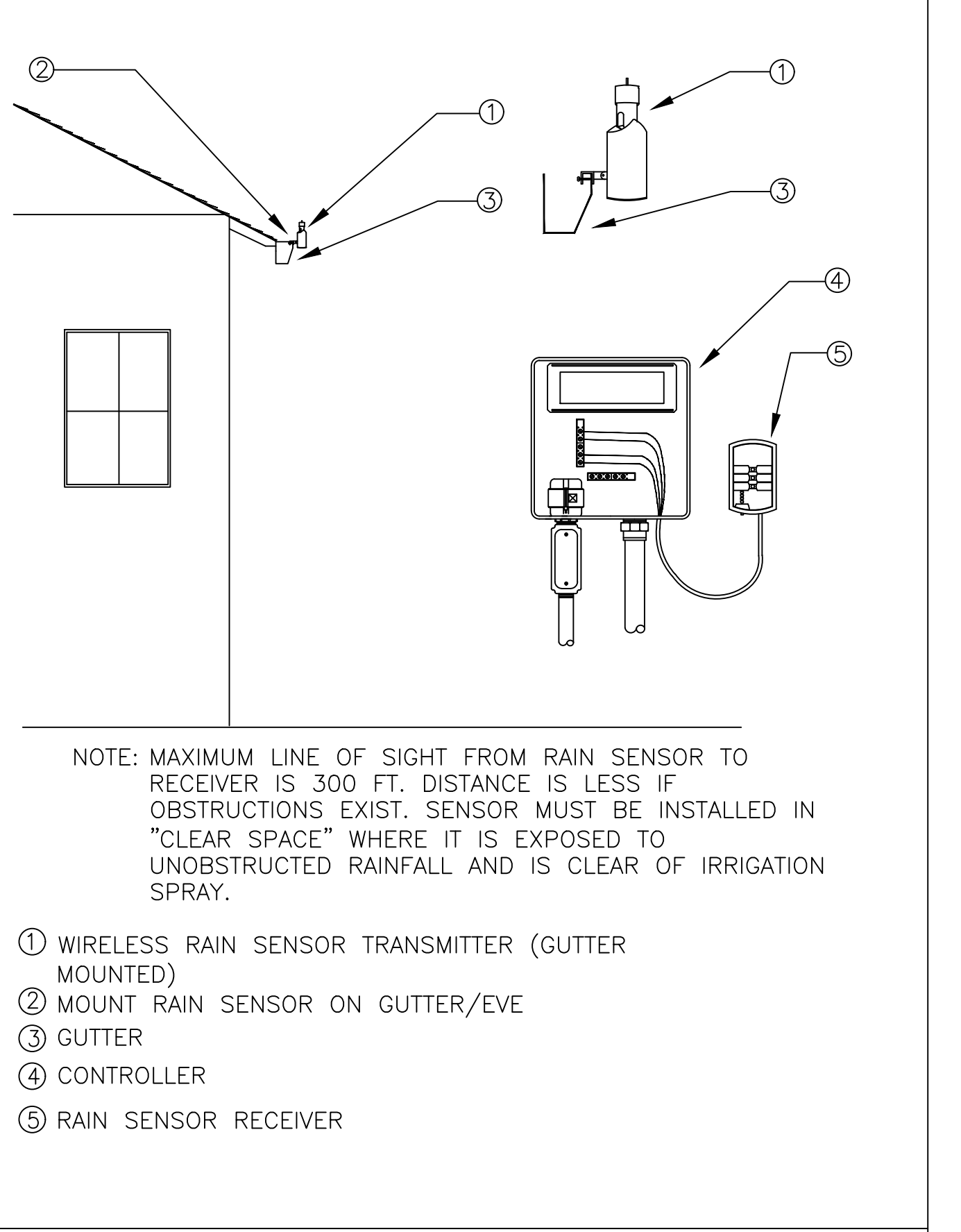
- VALVE CONTROL WIRE: SOLID COPPER, DIRECT BURIAL WIRE. POSITIVE: DIFFERENT COLOR FROM RCV WIRES 12-1, NEURTAL: WHITE 14-1. PROVIDE WATERPROOF SPLICES AND 36" OF EXCESS WIRE IN A 1" DIAMETER COIL.
- 18 GAUGE AWG DIRECT BURIAL WIRE. FLOW SENSOR WIRE MUST BE RUN IN 1/2" PVC CONDUIT FROM FLOW SENSOR TO CONTROLLER ENCLOSURE.
- FLOW SENSOR MUST BE INSTALLED WITH INSERT (TOP) POSITIONED VERTICALLY AND BODY (TEE) POSITIONED HORIZONTALLY.
- FINISH GRADE
- 6" typ.
- TO CONTROLLER
- TO CONTROLLER
- SCH. 80 REDUCING COUPLING, TYP.
- MASTER VALVE
- PEA GRAVEL-4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX), TYP.
- 10 PIPE DIAMETERS DIMENSION 'A'
- 5 PIPE DIAMETERS DIMENSION 'B'
- NO VALVES, REDUCERS, OR ELBOWS IN THIS AREA
- BRICK-ONE @ EACH CORNER, TYP.
- MAIN LINE TO BACKFLOW PREVENTION ASSEMBLY

3 INSTALLATION DETAIL - MASTER VALVE/FLOW SENSOR
 SCALE: NONE



- ① FINISH GRADE
- ② RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- ③ SCHEDULE 40 MALE ADAPTER (2 TOTAL)
- ④ PRESSURE REGULATOR (INCLUDED IN DRIP ZONE KIT)
- ⑤ REMOTE CONTROL VALVE DRIP ZONE KIT. (SHALL INCLUDE VALVE, FILTER AND A 40 PSI PRESSURE REDUCING VALVE)
- ⑥ PVC LATERAL LINE.
- ⑦ BRICK-1 EACH CORNER.
- ⑧ PVC MAIN LINE.
- ⑨ UPC APPROVED SCHEDULE 40 PVC TEE.
- ⑩ SCHEDULE 40 PVC
- ⑪ PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [102mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- ⑫ 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- ⑬ SCHEDULE 40 PVC 90° ELBOW (SXS).
- ⑭ VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 2' [1m] OF EXCESS WIRE IN A 1" [25mm] DIAMETER COIL.
- ⑮ Y-FILTER (INCLUDED IN DRIP ZONE KIT)

7 REMOTE CONTROL VALVE (DRIPZONE)
 SCALE: NONE



- NOTE: MAXIMUM LINE OF SIGHT FROM RAIN SENSOR TO RECEIVER IS 300 FT. DISTANCE IS LESS IF OBSTRUCTIONS EXIST. SENSOR MUST BE INSTALLED IN "CLEAR SPACE" WHERE IT IS EXPOSED TO UNOBSTRUCTED RAINFALL AND IS CLEAR OF IRRIGATION SPRAY.
- ① WIRELESS RAIN SENSOR TRANSMITTER (GUTTER MOUNTED)
 - ② MOUNT RAIN SENSOR ON GUTTER/EVE
 - ③ GUTTER
 - ④ CONTROLLER
 - ⑤ RAIN SENSOR RECEIVER

4 WIRELESS RAIN SENSOR-GUTTER MOUNT
 SCALE: NONE

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3.	05/22/20	BUILDING PERMIT RESUBMITTAL
4.	07/10/20	RESPONSE TO CITY COMMENTS
5.	08/05/20	TREE HEIGHT CLARIFICATION
6.	12/02/20	PLANTING ADJUSTMENTS

LANDSCAPE ARCHITECT

J. L. JANECKI

No. 3163

Exp. 3/24/22

STATE OF CALIFORNIA

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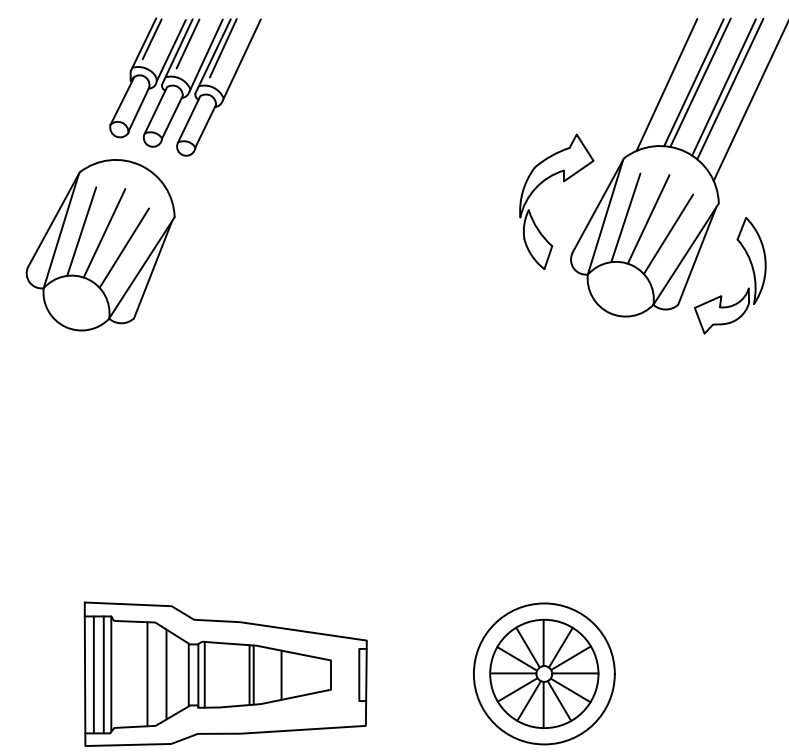
PROJECT: CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: IRRIGATION DETAILS

SCALE: DRAWN BY: AZMM/MOON/HP
 DATE: 12/02/20

BH
 L3.3

ORIGINAL SHEET SIZE: 24" X 36"

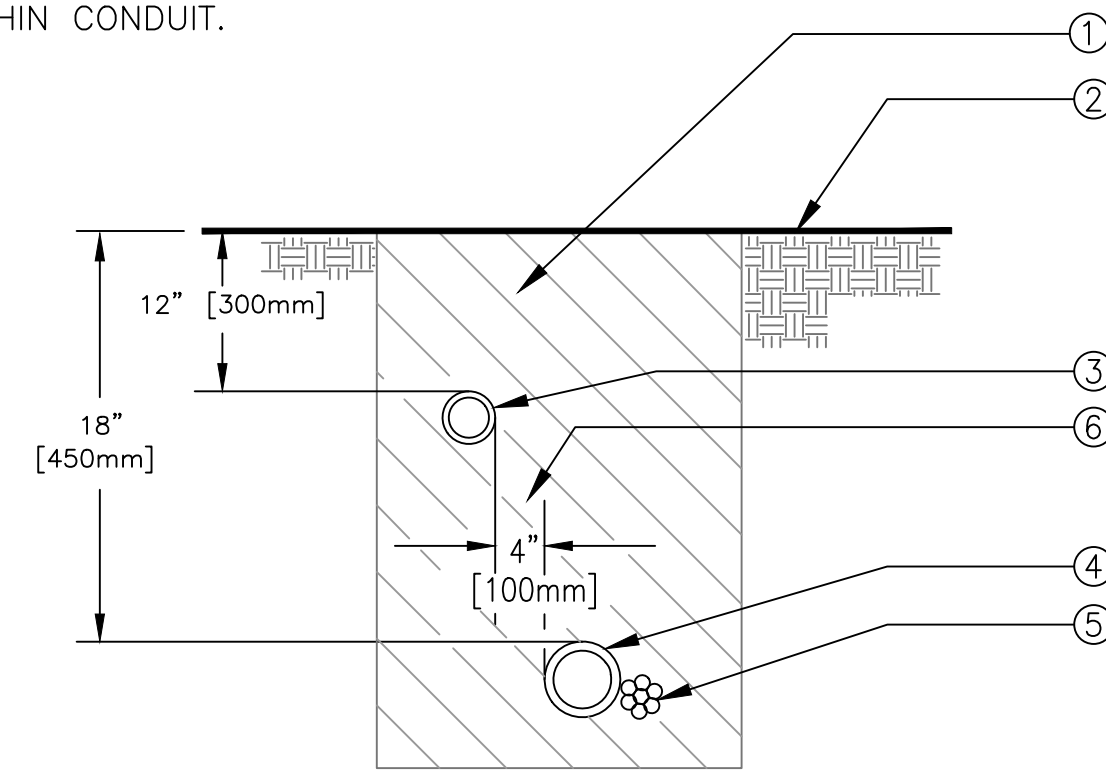


INSTRUCTIONS:

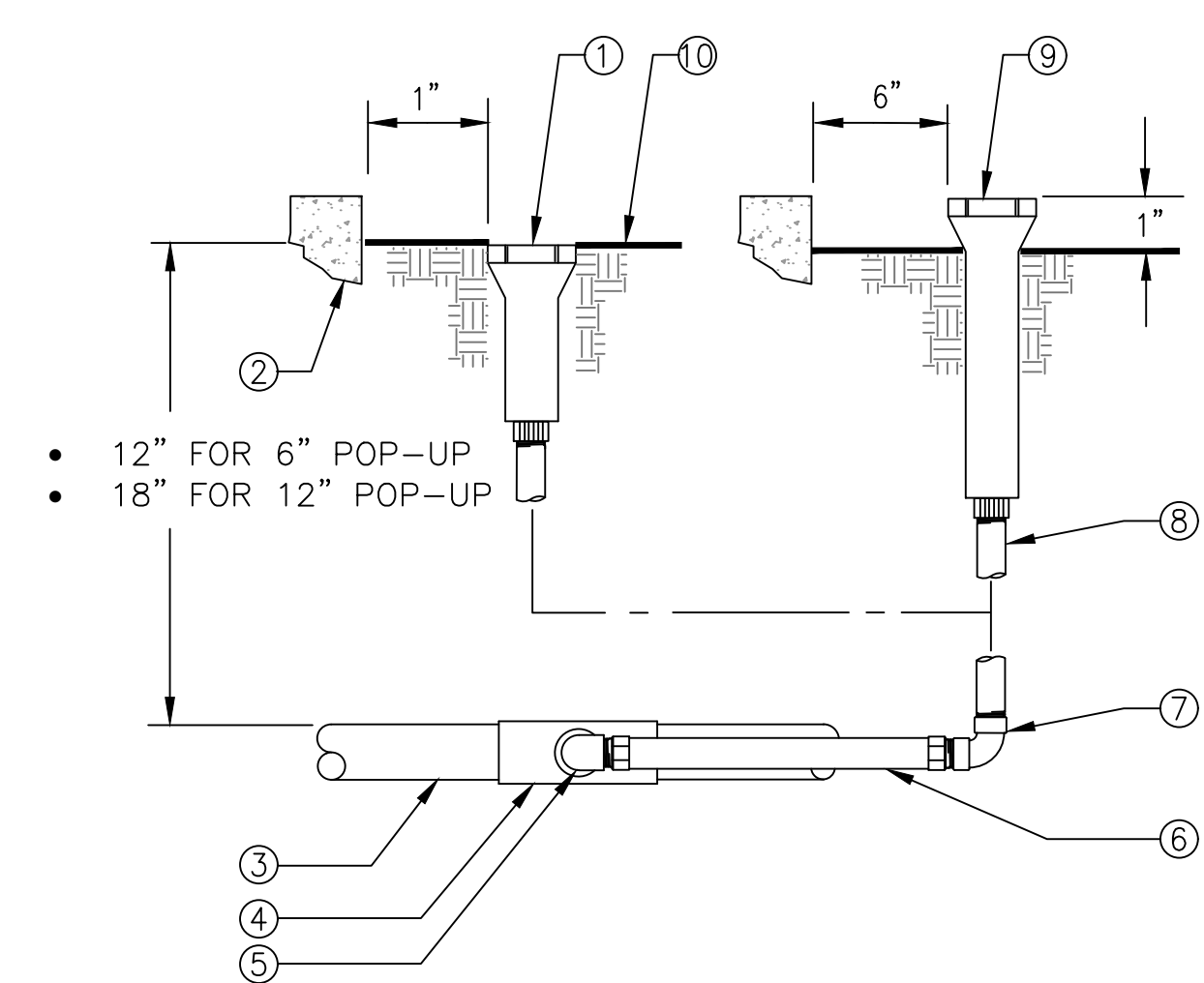
1. STRIP WIRES APPROXIMATELY 1/2" TO EXPOSE WIRE.
2. ALIGN FRAYED STRANDS OR CONDUCTORS
3. NO PRE-TWISTING NEEDED. HOLD WIRES TOGETHER WITH ENDS EVEN. NOTE: TWIST AND LEAD STRANDED WIRES SLIGHTLY
4. PUSH WIRES FIRMLY INTO CONNECTOR WHEN STARTING
5. TWIST CONNECTOR ONTO WIRES PUSHING FIRMLY UNTIL TIGHT. DO NOT OVER TORQUE. DO NOT REUSE.

NOTES:

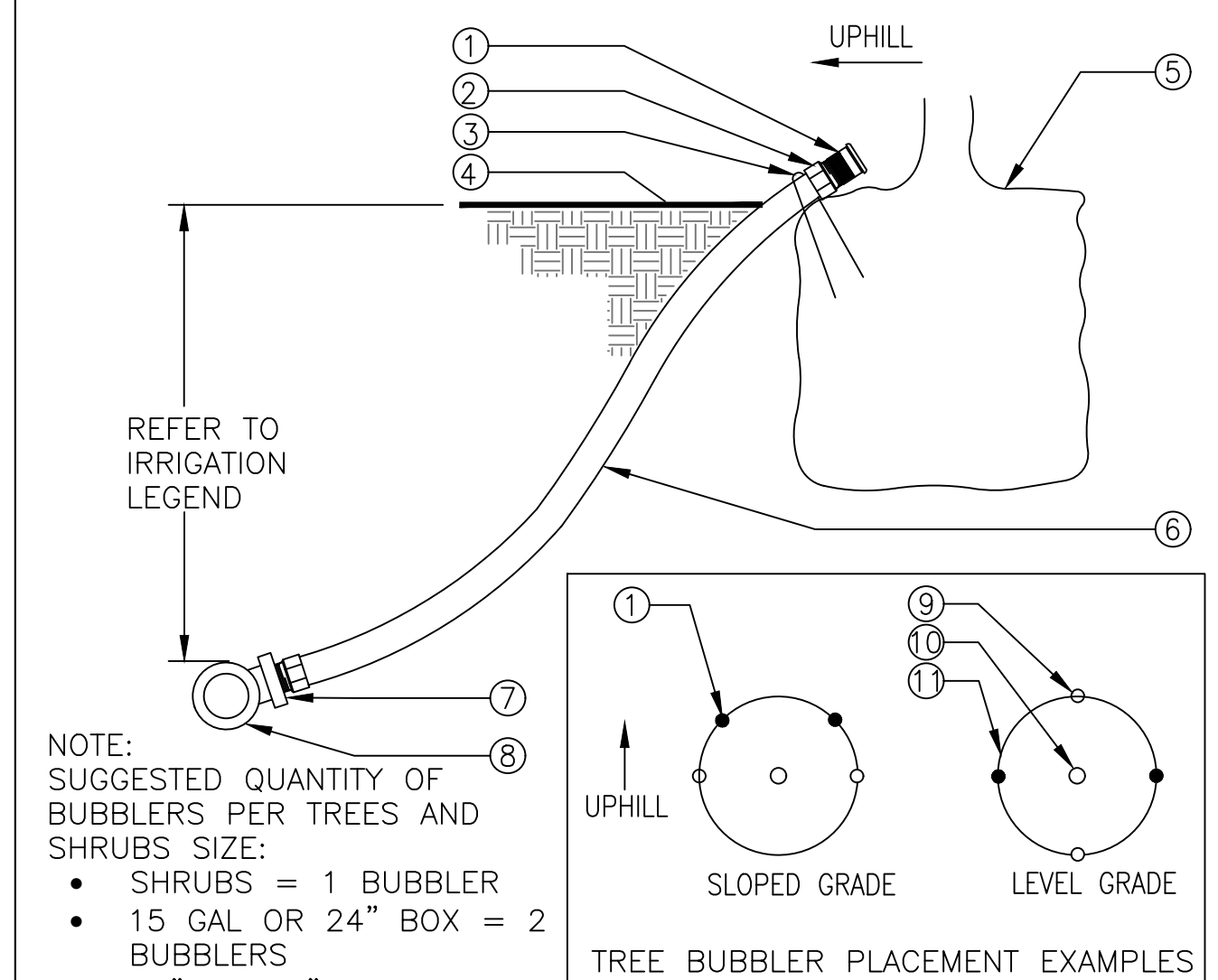
1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES. DO NOT TAPE WIRES WITHIN CONDUIT.



- 1 CLEAN BACKFILL MATERIAL.
- 2 FINISH GRADE.
- 3 LATERAL LINE.
- 4 MAIN LINE.
- 5 LOW VOLTAGE CONTROL WIRE. TAPE AND BUNDLE TUBING OR WIRING AT 10 FT. INTERVALS. WIRING SHALL BE LAID OUT LOOSELY IN THE TRENCH.
- 6 TYPICAL DISTANCE BETWEEN PIPES.



- 1 POP-UP LAWN.
- 2 WALL, WALK, CURB OR BUILDING.
- 3 PVC LATERAL LINE.
- 4 SCH. 40 PVC TEE OR ELBOW.
- 5 1/2" SCH. 40 PVC STREET ELL.
- 6 1/2" FLEXIBLE IPS HOSE 6" LONG WITH MALE ADAPTERS.
- 7 1/2" SCH. 40 PVC THREADED 90° ELL.
- 8 1/2" SCH. 80 PVC THREADED NIPPLE (LENGTH AS REQUIRED).
- 9 POP-UP SHRUB SPRAY SPRINKLER OR BUBBLER.
- 10 FINISH GRADE.



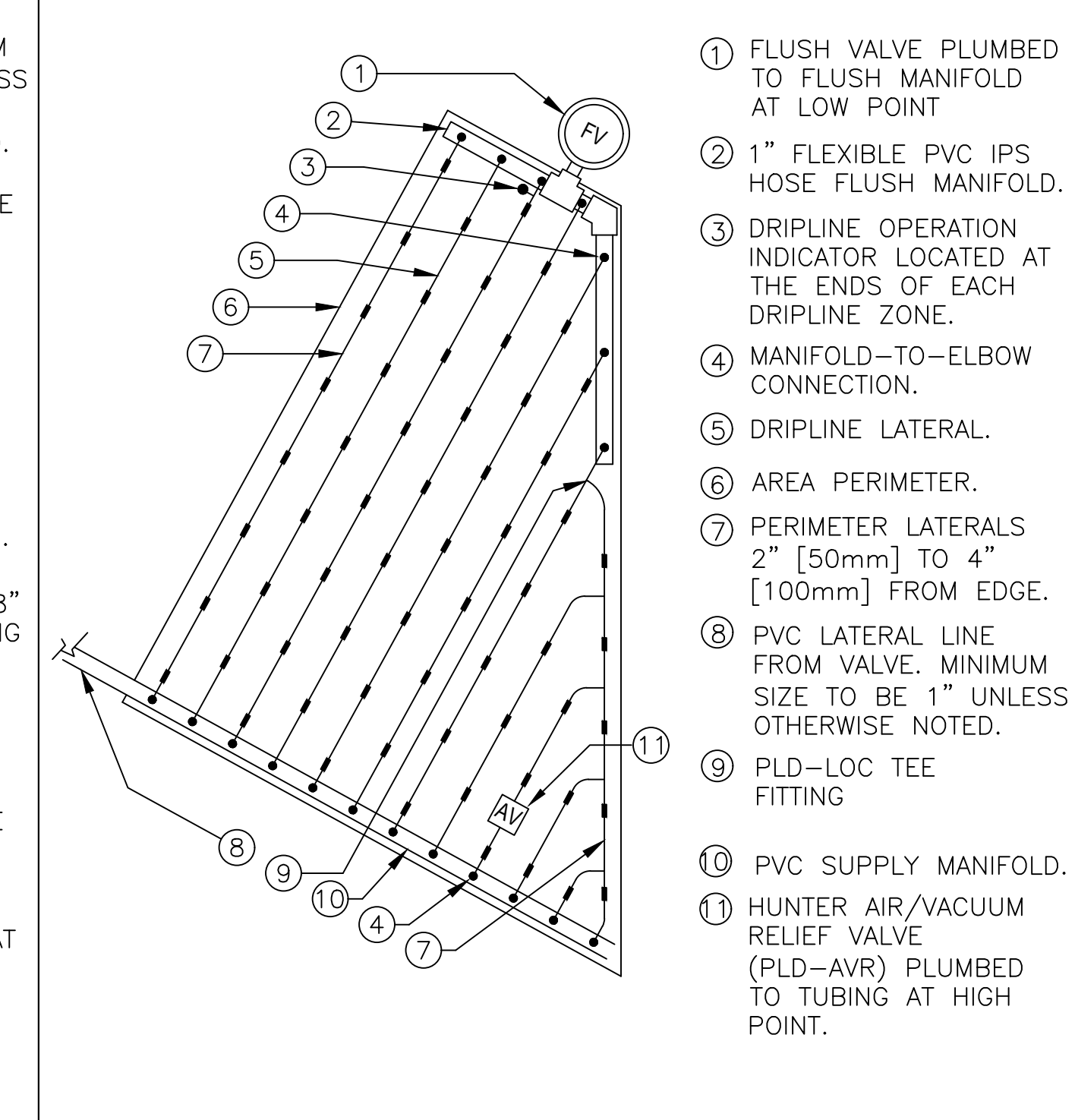
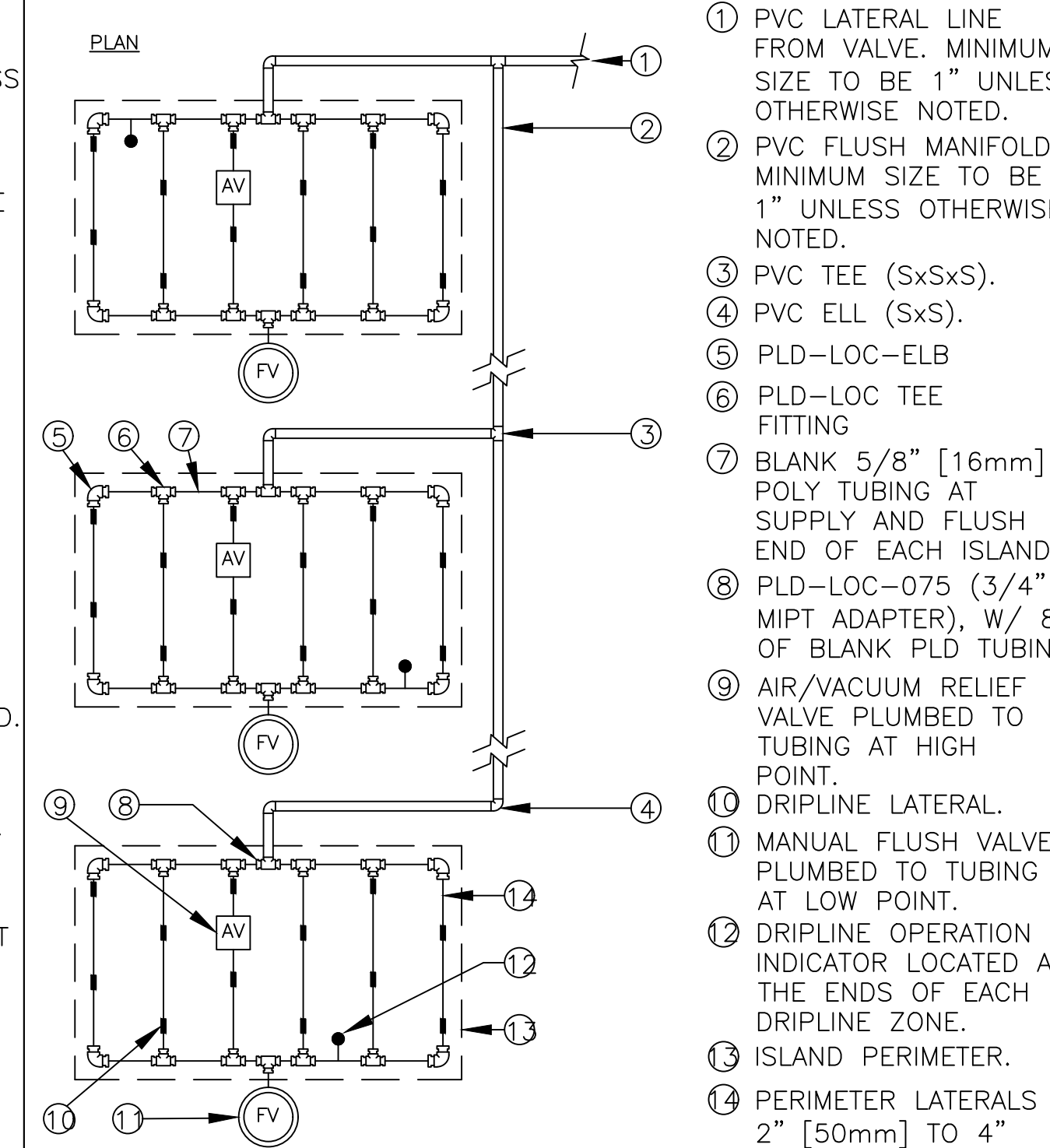
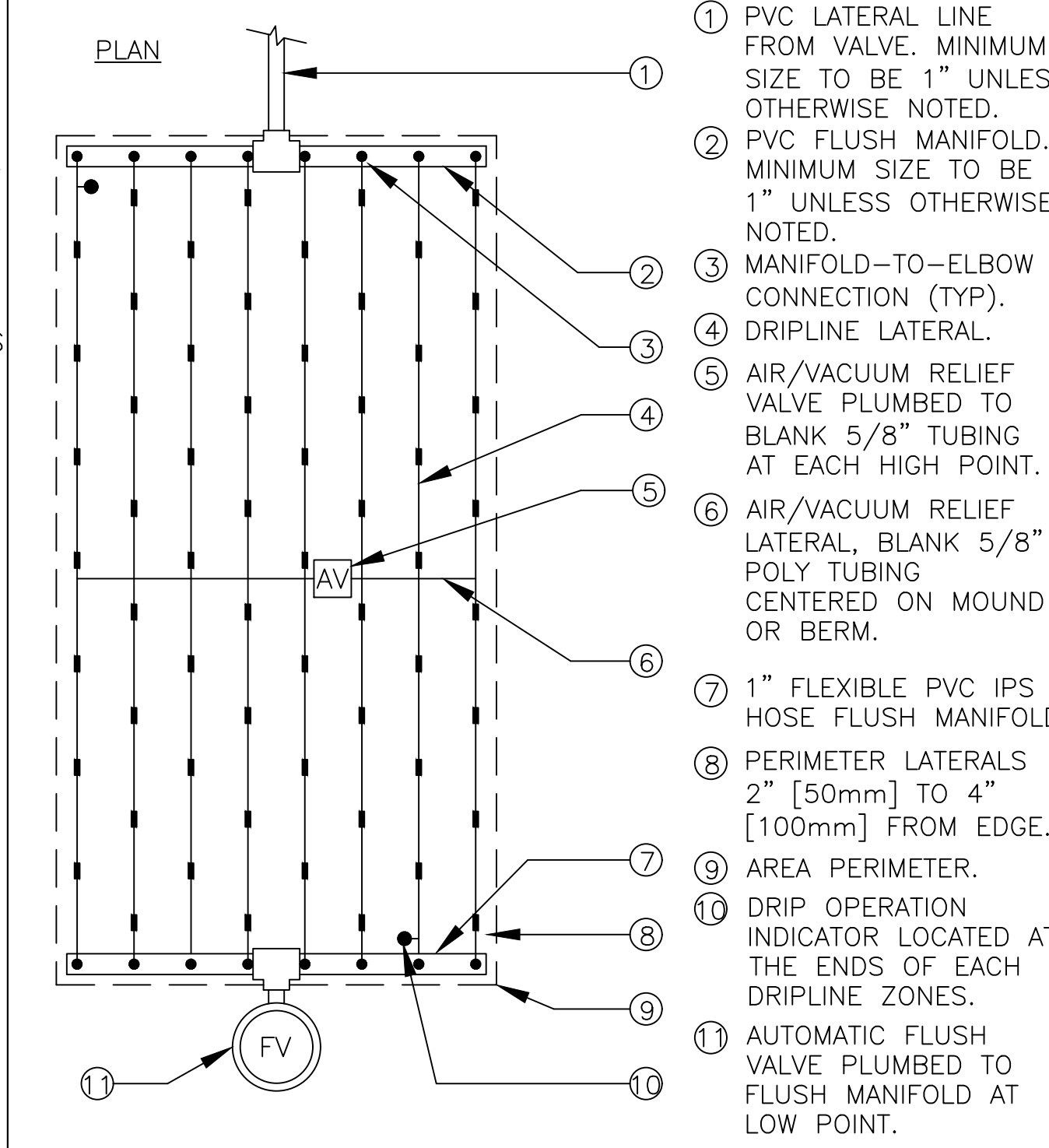
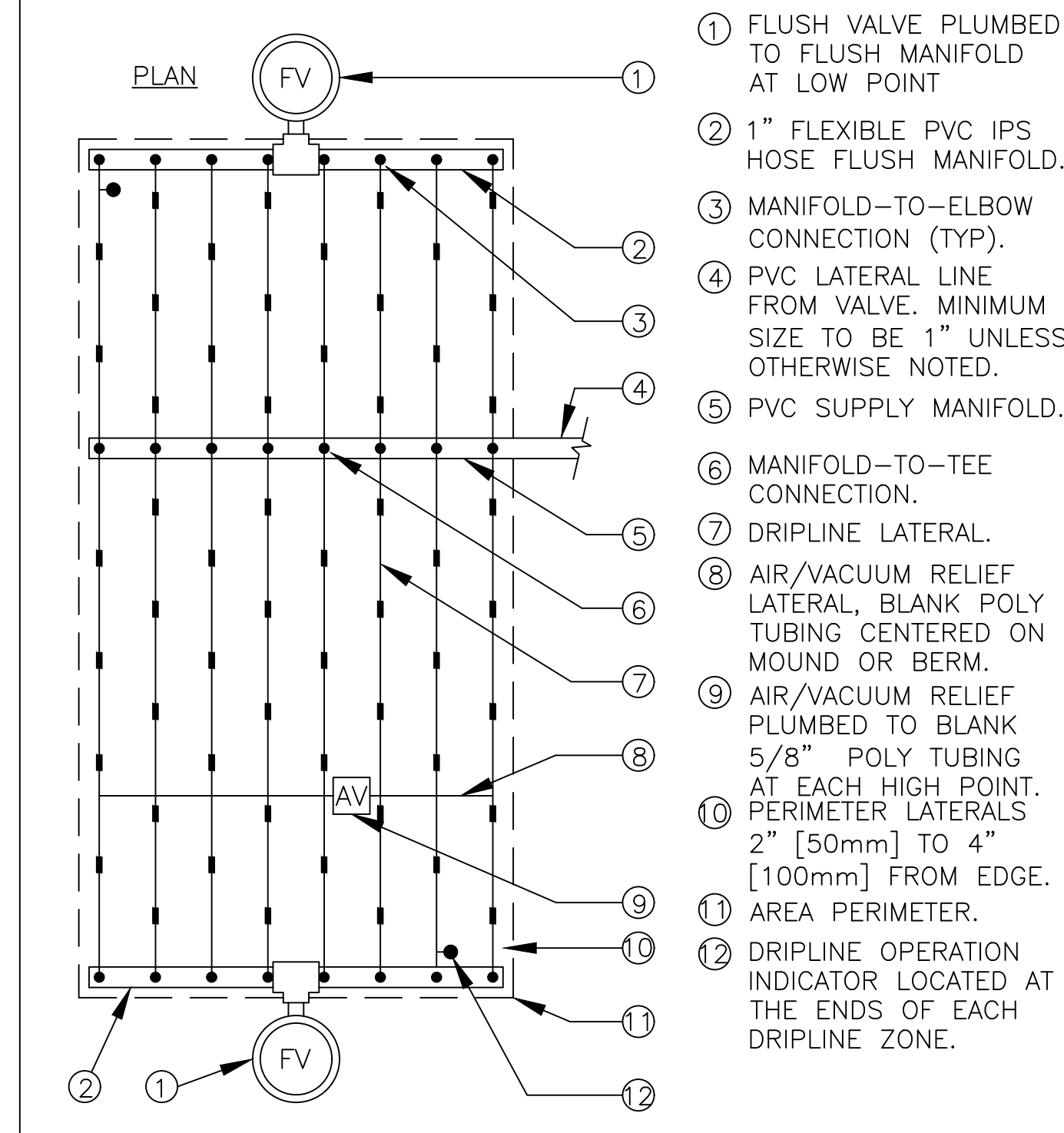
- 1 BUBBLER (TO BE INSTALLED ON TOP OF ROOTBALL).
- 2 1/2" SCH. 40 MALE ADAPTER.
- 3 6" STAPLE.
- 4 FINISH GRADE.
- 5 TREE OR SHRUB ROOTBALL.
- 6 1/2" IPS FLEXIBLE PVC.
- 7 PVC TEE (SST, ELBOW (ST) OR FEMALE ADAPTER).
- 8 PVC LATERAL LINE.
- 9 TREE STAKES.
- 10 TREE OR SHRUB.
- 11 EDGE OF ROOTBALL (TYPICAL).

1 WEATHERPROOF SPLICE NUT
SCALE: NONE

2 TRENCHING
SCALE: NONE

3 POP-UP SPRAY SPRINKLER
SCALE: NONE

4 TREE AND SHRUB BUBBLER
SCALE: NONE



- NOTE:**
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE ON GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

- NOTE:**
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE ON GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

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- NOTE:**
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE ON GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

5 HDL DRIPLINE CENTER FEED LAYOUT
SCALE: NONE

6 HDL DRIPLINE END FEED LAYOUT
SCALE: NONE

7 HDL DRIPLINE ISLAND LAYOUT
SCALE: NONE

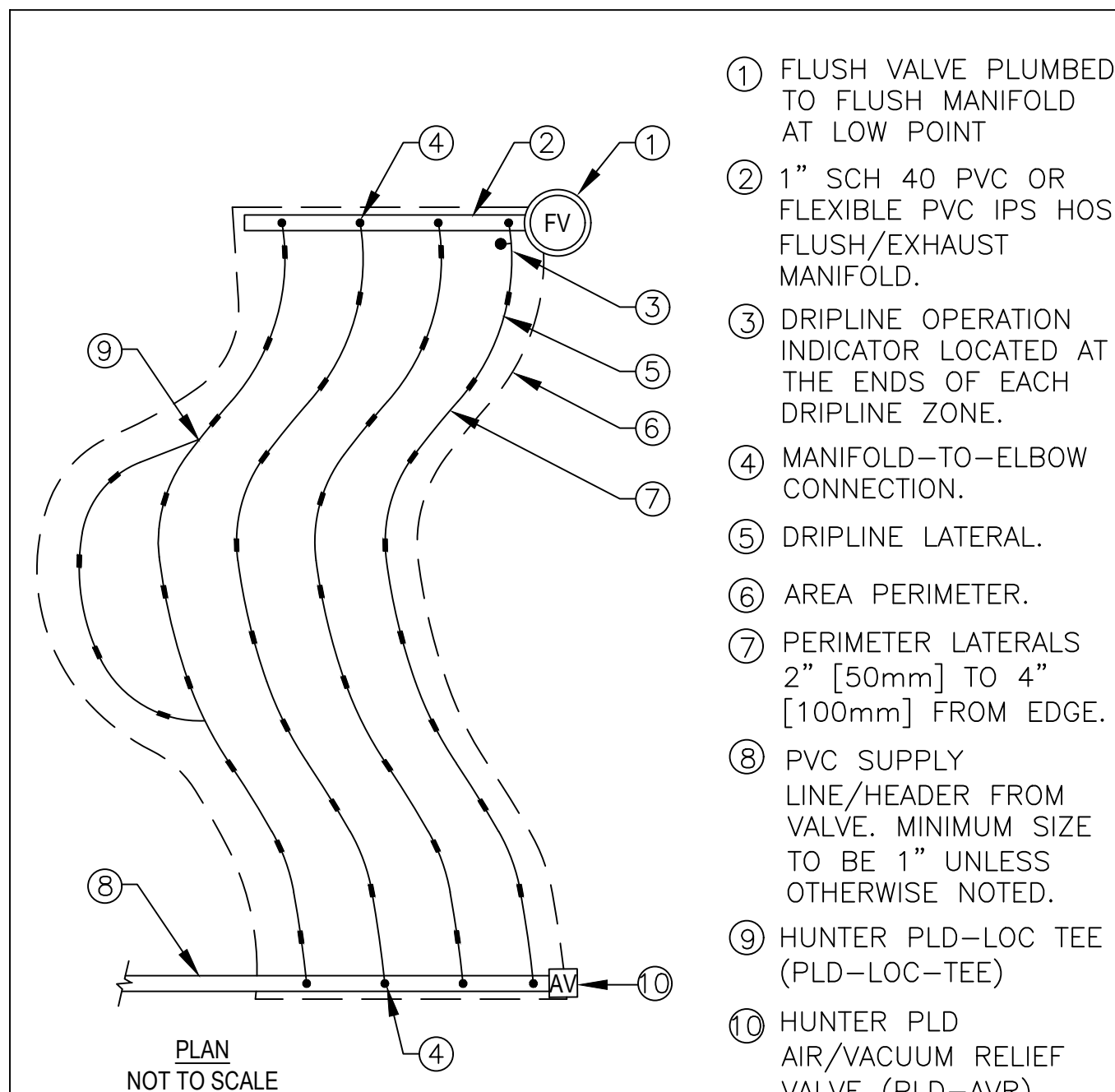
8 HDL DRIPLINE TRIANGULAR LAYOUT
SCALE: NONE

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515 SWIFT ST. SANTA CRUZ, CA 95060
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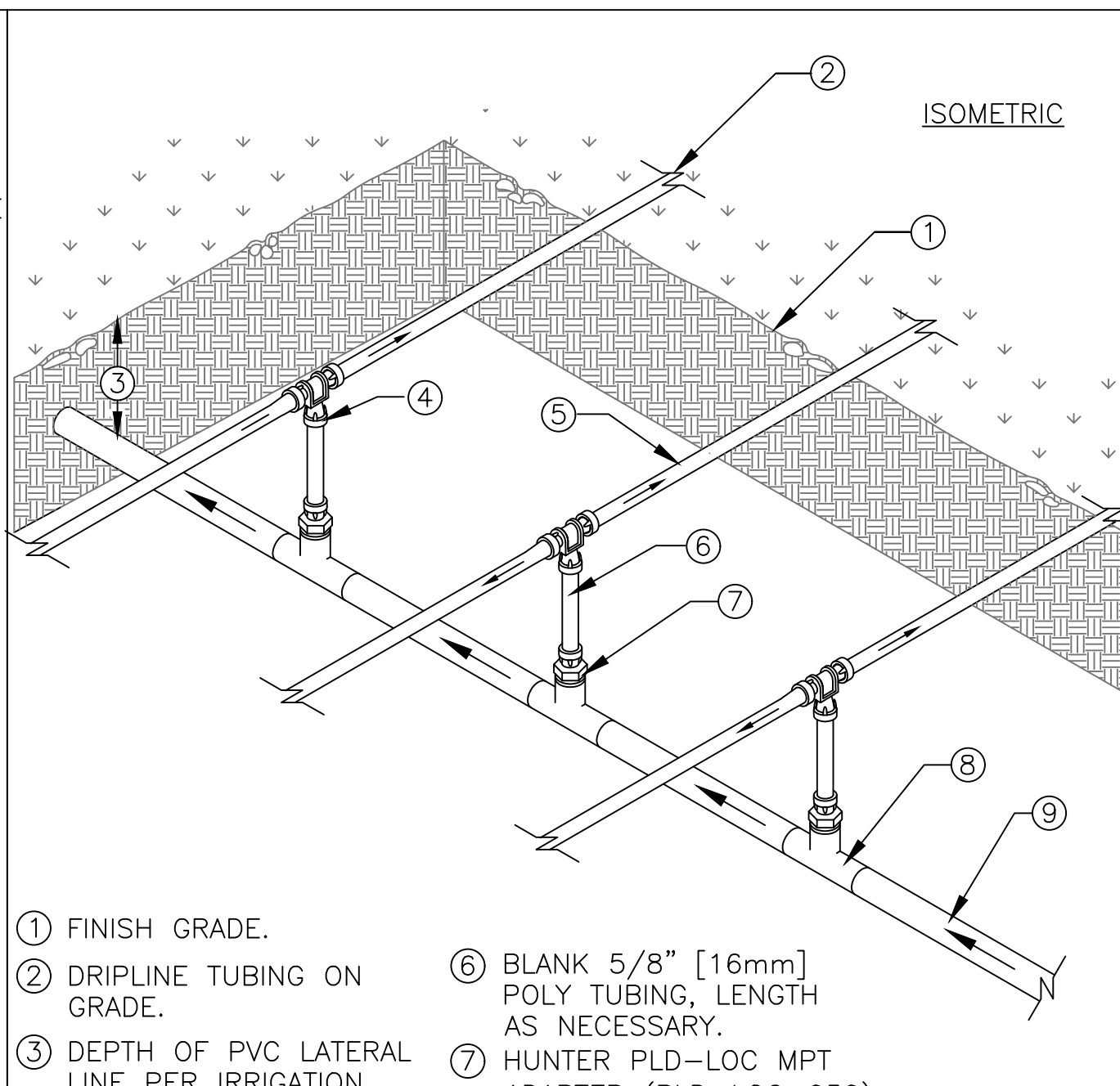
SHEET TITLE: IRRIGATION DETAILS
SCALE: DRAWN BY: AZMM/MOCH/FP
DATE: 12/02/20



- 1 FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
- 2 1" SCH 40 PVC OR FLEXIBLE PVC IPS HOSE FLUSH/EXHAUST MANIFOLD.
- 3 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- 4 MANIFOLD-TO-ELBOW CONNECTION.
- 5 DRIPLINE LATERAL.
- 6 AREA PERIMETER.
- 7 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- 8 PVC SUPPLY LINE/HEADER FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 9 HUNTER PLD-LOC TEE (PLD-LOC-TEE)
- 10 HUNTER PLD AIR/VACUUM RELIEF VALVE (PLD-AVR) PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT.

NOTE:
 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE ON GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

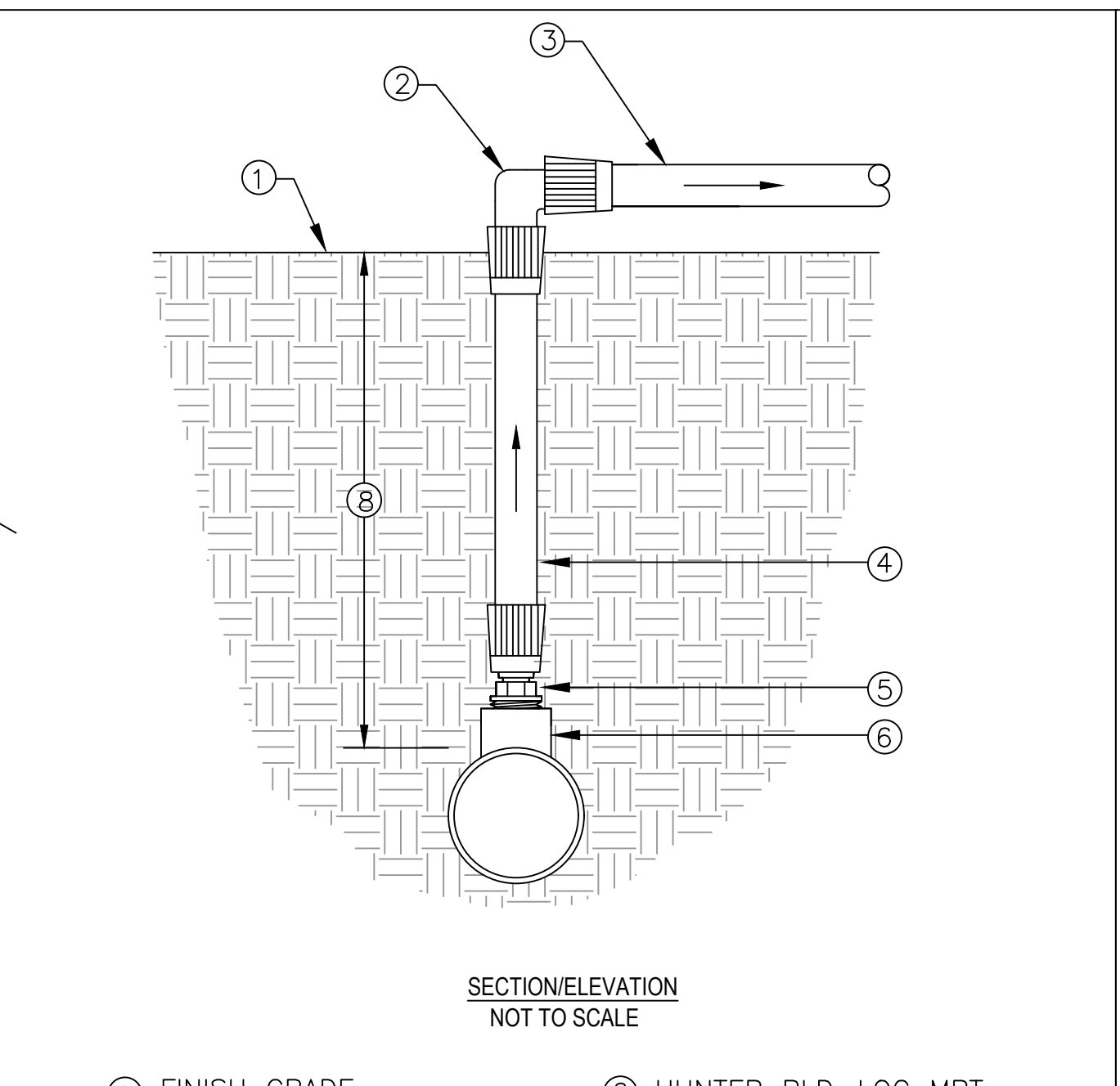
1 HDL DRIPLINE ODD CURVE LAYOUT
 SCALE: NONE



- 1 FINISH GRADE.
- 2 DRIPLINE TUBING ON GRADE.
- 3 DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND
- 4 HUNTER PLD-LOC TEE (PLD-LOC-TEE)
- 5 DRIPLINE TUBING.
- 6 BLANK 5/8" [16mm] POLY TUBING, LENGTH AS NECESSARY.
- 7 HUNTER PLD-LOC MPT ADAPTER (PLD-LOC-050)
- 8 PVC TEE (SxSxT) WITH 1/2" [13mm] FPT OUTLET.
- 9 PVC LATERAL LINE FROM REMOTE CONTROL VALVE.

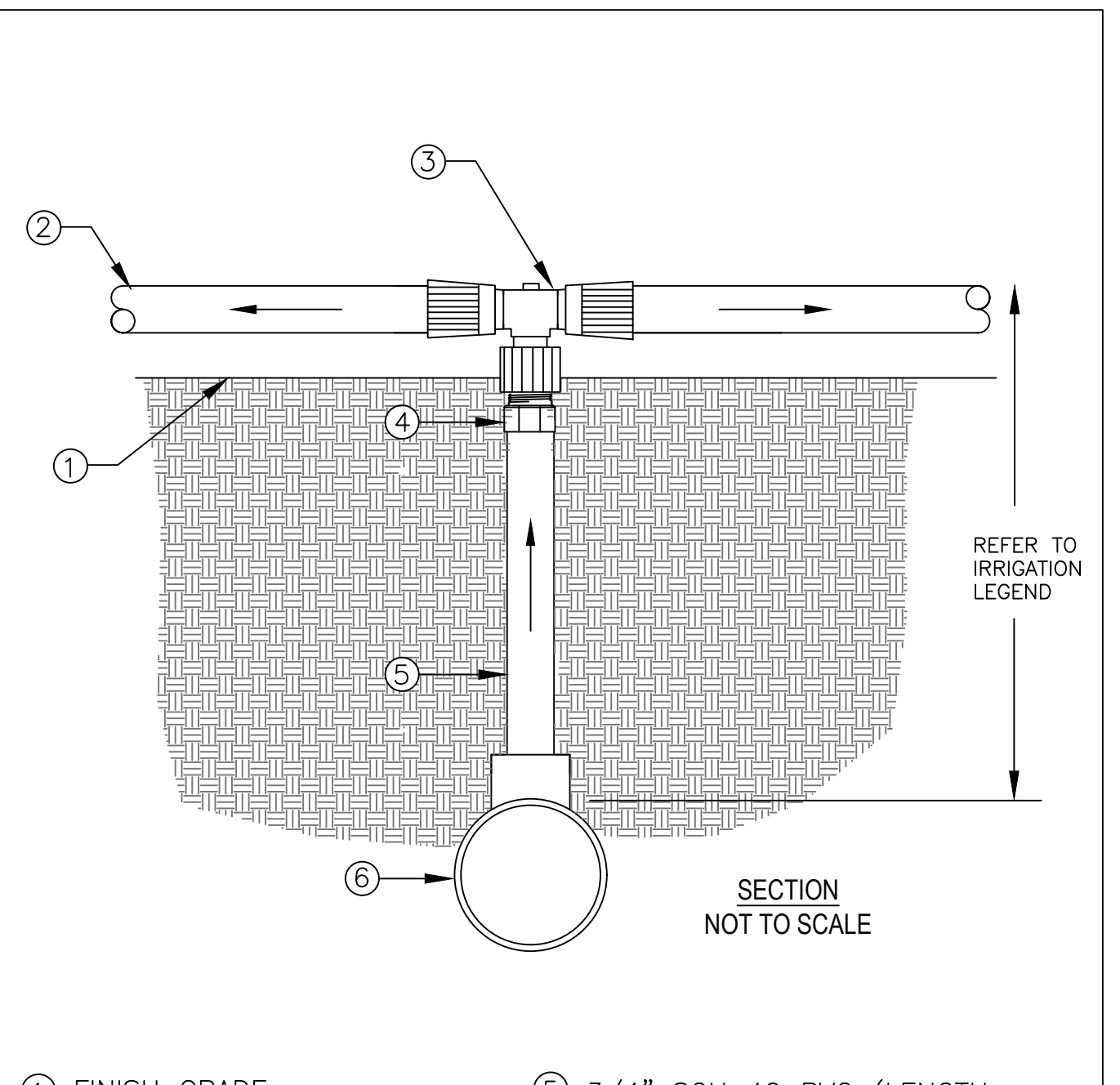
NOTES:
 1. THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 250 FT.
 2. INSTALL HUNTER PLD DRIPLINE ON GRADE AND STAKE DOWN EVERY 4' AND COVERED WITH MINIMUM 2" OF BARK MULCH.
 3. SCHEDULE 40 PVC LATERAL LINE-STUB INTO EACH PLANTING AREA.
 4. CONVERT SCH 40 PVC LATERAL LINE TO DRIPLINE WITH A HUNTER 3/4" FEMALE T ADAPTER.

2 HDL DRIPLINE CENTER FEED MANIFOLD
 SCALE: NONE



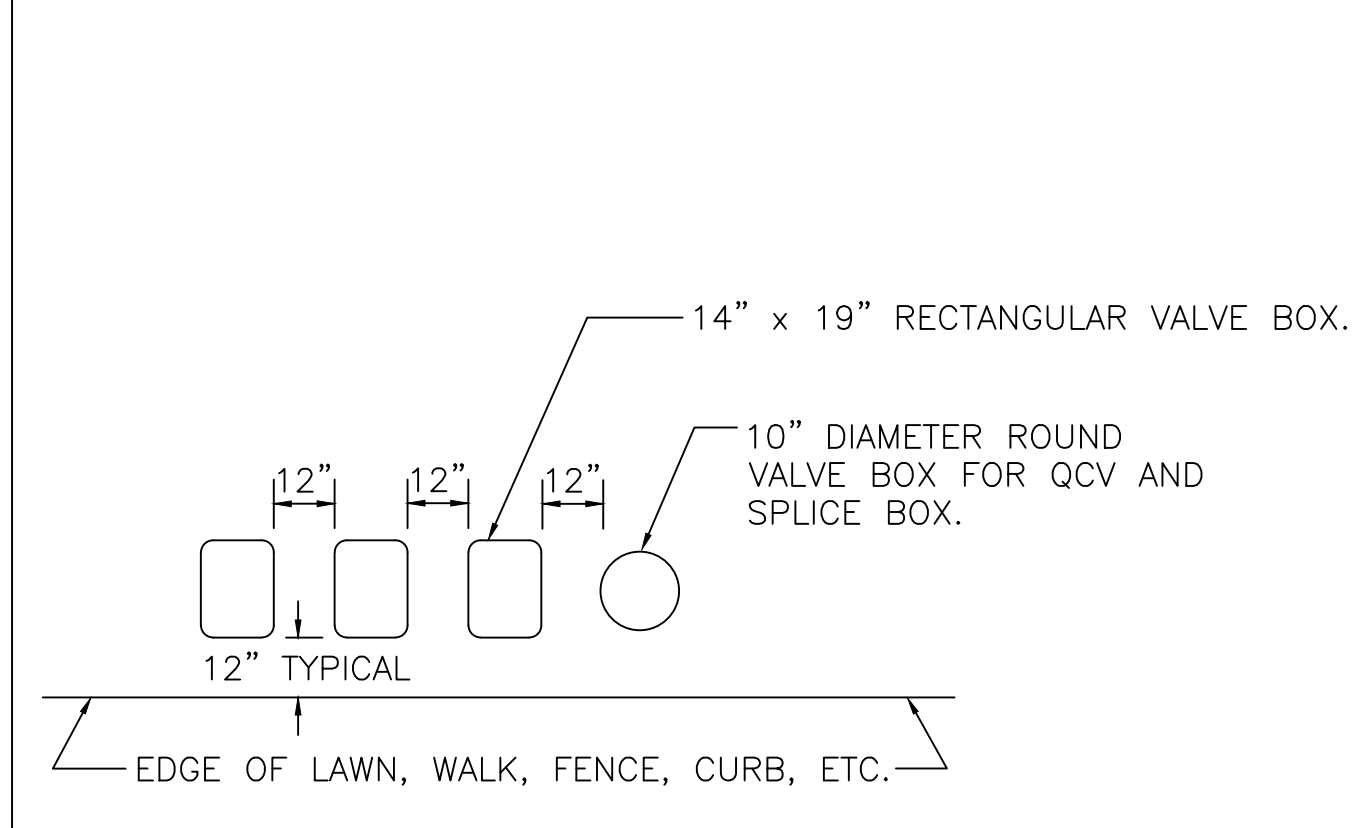
- 1 FINISH GRADE
- 2 HUNTER PLD-LOC ELL (PLD-LOC-ELB)
- 3 DRIPLINE TUBING
- 4 DEPTH OF TUBING PER IRRIGATION LEGEND.
- 5 BLANK 5/8" [16mm] POLY TUBING, LENGTH AS NECESSARY.
- 6 HUNTER PLD-LOC MPT ADAPTER (PLD-LOC-050)
- 7 SCH 40 PVC TEE (SxSxT) WITH 1/2" FPT OUTLET.
- 8 DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND

3 DRIPLINE MANIFOLD TO ELBOW CONNECTION
 SCALE: NONE



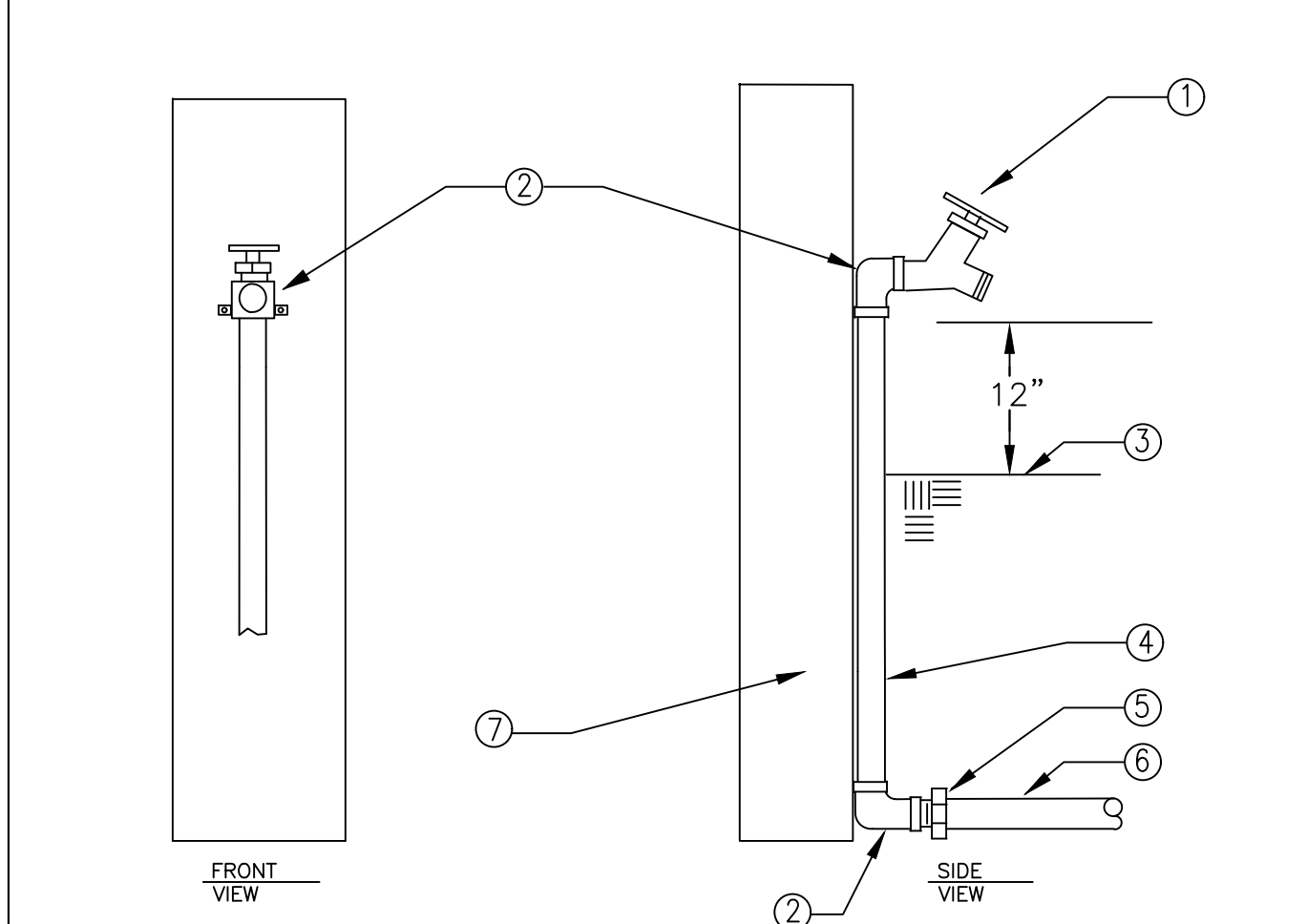
- 1 FINISH GRADE
- 2 DRIPLINE TUBING
- 3 HUNTER PLD-LOC TEE X 1/2" FPT ADAPTER
- 4 3/4" SCH 40 MALE ADAPTER.
- 5 3/4" SCH 40 PVC (LENGTH AS REQUIRED)
- 6 PVC LATERAL LINE SUPPLY. MINIMUM SIZE TO BE 1" UNLESS SIZED DIFFERENTLY ON DRAWINGS. USE SCH 40 PVC 1"x1"x3/4" TEE OR 90° ELBOW.

4 DRIPLINE TO PVC CONNECTION
 SCALE: NONE



INSTRUCTIONS:
 1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
 2. SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
 3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
 4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
 5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
 6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

6 VALVE BOX INSTALLATION
 SCALE: NONE



- 1 CHAMPION HOSE BIB (HB-2M)
- 2 3/4" 90° DROP ELBOW CXF--CAST WITH BRASS WOOD SCREWS
- 3 FINISH GRADE
- 4 3/4" TYPE "K" COPPER PIPE. LENGTH AS NEEDED.
- 5 SCH 40 PVC MALE ADAPTER
- 6 SCH 40 PVC MAIN LINE
- 7 PRESSURE TREATED (REDWOOD COLOR) 4X4X30". SET IN CONCRETE FOR STABILITY

7 HOSE BIB RISER
 SCALE: NONE
 DET:

WATER CALCULATION:

WATER TYPE	POTABLE
SITE ETO=	36

WATER USE ESTIMATION

HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	SHRUBS/GROUNDCOVER	LOW	0.2	DRIP	0.81	0.25	5,064	1,250	27,908	0.09	37.31	66%
2	SHRUBS/GROUNDCOVER	MOD	0.5	DRIP	0.81	0.62	435	269	5,993	0.02	8.01	6%
3	TREES	LOW	0.2	BUBBLER	0.81	0.25	400	99	2,204	0.01	2.95	5%
4	TURF	LOW	0.2	SPRAY	0.75	0.27	1,740	464	10,356	0.03	13.85	23%
TOTALS							7,639	2,082	46,463	0.14	62.12	100%

HYDROZONE #	HYDROZONE NAME	ETAF	AREA (SQ. FT)	ETAF X AREA	ETWU	ACRE FEET	HCF	PERCENTAGE
TOTALS								
			0					0%

MAWA	GALLONS/YR	93,776
	ACRE FEET/YR	0.29
	HCF/YR	125.37

ETWU	GALLONS/YR	46,463
	ACRE FEET/YR	0.14
	HCF/YR	62.12

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
79.6%	0.22	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	2,082
TOTAL AREA	7,639
AVG. ETAF	27.25%

MAWA FORMULA	
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	GALLONS PER YEAR
MAWA = (ETo)(0.62)[(LA x 0.55) + (0.45 x SLA)]	

ETo = REFERENCE EVAPOTRANSPIRATION
 0.55= ET ADJUSTMENT FACTOR
 LA=LANDSCAPED AREA (SQUARE FEET)
 0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

ETWU FORMULA	
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR	
ETWU= ((ETo)(.62)(ETAF x LA))	

ETo = REFERENCE EVAPOTRANSPIRATION
 PF = PLANT FACTOR FOR HYDROZONES
 HA = HYDROZONE AREA (SQ.FT)
 0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)
 IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP
 IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

REVISIONS AND RECORD OF ISSUE:

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SHEET TITLE: IRRIGATION DETAILS
 SCALE: DRAWN BY: AZMM/MOCH/FP
 DATE: 12/02/20



AGONIS FLEXUOSA TREE -
EVERGREEN TREE WITH A WEEPING LOW CANOPY,
GREEN FOLIAGE AND SMALL WHITE FLOWERS.



NOTES:
1. REFER TO SHEET L4.2
FOR PLANT SCHEDULE.

MATCH LINE -
SEE SHEET L4.2

- TREE 1 - FINAL HEIGHT NOT TO EXCEED 60.33' ELEVATION
- TREE 2 - FINAL HEIGHT NOT TO EXCEED 60.50' ELEVATION
- TREE 3 - FINAL HEIGHT NOT TO EXCEED 60.25' ELEVATION
- TREE 4 - FINAL HEIGHT NOT TO EXCEED 59.83' ELEVATION
- TREE 5 - FINAL HEIGHT NOT TO EXCEED 57.67' ELEVATION



- 5 RHA JOH JOHN EDWARDS' (24" BOX)
- 32 MAH XSO (5 GAL)
- 39 CAL NUT (1 GAL)
- 24 MUH WHI (1 GAL)
- 1 ARB MUL MARINA' OF/CI (72" BOX)
- 28 SEN MAN (1 GAL)
- 94 DUD BRI (2 GAL)
- 201 ERI BEA (1 GAL)
- 410 SES GRE GREENLEE HYBRID' (1 GAL)
- 4 DECORATIVE GRAVEL DETAIL (L1.5)
- 2 PAR TRI BERYLWOOD NURSERY (24" BOX)
- 5 TYPICAL PLANT SPACING DETAIL (L4.3)
- 3 SHRUB AND GRASS PLANTING DETAIL (L4.3)
- 1 TREE PLANTING DETAIL (L4.3)

- 2 L4.3 TREE PLANTING ON SLOPE DETAIL
- 6 L4.3 GOPHER WIRE PROTECTION DETAIL
- 113 CAL KAR 'KARL FOERSTER' (1 GAL)
- 4 L4.3 SHRUB AND GRASSES PLANTING ON SLOPE DETAIL
- 7 L4.3 GOPHER WIRE PROTECTION AT LAWN DETAIL
- 1984 SF DEL GRA SOD
- 252 THY ELF 'ELFIN' (4" POTS)
- 50 GRE MOL 'MOLONGOLO' (5 GAL)
- 3 AGA NOV 'NOVA' (10 GAL)
- 3 FEI SEL '36" BOX/OF/CI
- 48 NEP WAL 'WALKERS LOW' (1 GAL)
- 155 DYM MAR (4" POTS)
- 137 DIA REV 'LITTLE REV' (1 GAL)
- 4 BOU SPE (15 GAL)
- 5 LEP LAE (15 GAL OF/CI)

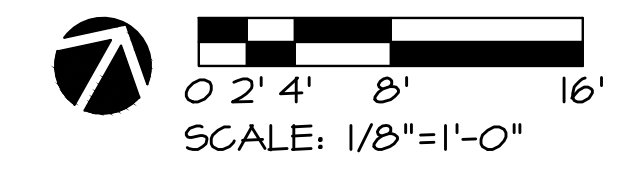


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<p>REVISIONS AND RECORD OF ISSUE:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1.</td> <td>07/17/17</td> <td>BUILDING PERMIT RESUBMITTAL</td> </tr> <tr> <td>2.</td> <td>08/14/19</td> <td>BUILDING PERMIT RESUBMITTAL</td> </tr> <tr> <td>3.</td> <td>06/22/20</td> <td>BUILDING PERMIT RESUBMITTAL</td> </tr> <tr> <td>4.</td> <td>07/10/20</td> <td>RESPONSE TO CITY COMMENTS</td> </tr> <tr> <td>5.</td> <td>08/05/20</td> <td>TREE HEIGHT CLARIFICATION</td> </tr> <tr> <td>6.</td> <td>12/02/20</td> <td>BUILDING PERMIT RESUBMITTAL</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1.	07/17/17	BUILDING PERMIT RESUBMITTAL	2.	08/14/19	BUILDING PERMIT RESUBMITTAL	3.	06/22/20	BUILDING PERMIT RESUBMITTAL	4.	07/10/20	RESPONSE TO CITY COMMENTS	5.	08/05/20	TREE HEIGHT CLARIFICATION	6.	12/02/20	BUILDING PERMIT RESUBMITTAL	<div style="text-align: center;"> <p>JONI L. JANECKI & ASSOCIATES</p> <p>315 SWIFT ST. SANTA CRUZ CA 95060 PHONE 831 423 8949 EMAIL: JJ@JLJ.AA.COM WWW.JLJ.AA.COM California Landscape Architect License 3163</p> </div> <hr/> <p>PROJECT: CARMEL BY THE SEA: BEACH HOUSE HINES RESIDENCE 9 CARMEL WAY CARMEL, CA 93923 APN: 010-321-021</p> <hr/> <p>SHEET TITLE: PLANTING PLAN</p> <hr/> <p>SCALE: 1/8"=1'-0" DRAWN BY: AZMM/MOON/FP DATE: 12/02/20</p> <p style="text-align: right;">BH L4.0</p>
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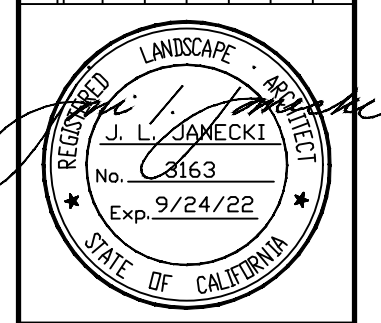
ORIGINAL SHEET SIZE: 24" X 36"

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NOTES:
1. REFER TO SHEET L4.2 FOR PLANT SCHEDULE.

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PROJECT: CARMEL BY THE SEA: BEACH HOUSE
 HINES RESIDENCE
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: PLANTING PLAN

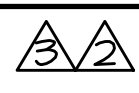
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L4.1

ORIGINAL SHEET SIZE: 24" X 36"

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PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
	AGO FLE	5	AGONIS FLEXUOSA	PEPPERMINT TREE	48" BOX		
	ARB MUL	1	ARBUTUS X 'MARINA'	ARBUTUS MULTI-TRUNK	72" BOX	OF/CI	
	CUP MA5	1	CUPRESSUS MACROCARPA	MONTEREY CYPRESS	72" BOX	OF/CI	
	FEI SEL	3	FEIJOA SELLOWIANA	PINEAPPLE GUAVA TREE	36" BOX	OF/CI	
	LEP LAE	5	LEPTOSPERMUM LAEVIGATUM	AUSTRALIAN TEA TREE	15 GAL	OF/CI	
	LEP LA3	13	LEPTOSPERMUM LAEVIGATUM	AUSTRALIAN TEA TREE	24" BOX		
	MET EX3	2	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	15 GAL	OF/CI	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	AGA NOV	9	AGAVE ATTENUATA 'NOVA'	BLUE CLONE	10 GAL	48" o.c.	'NOVA'
	BOU SPE	4	BOUGAINVILLEA SPECTABILIS	GREAT BOUGAINVILLEA	15 GAL	48" o.c.	
	CAL NUT	39	CALAMAGROSTIS NUTKAENSIS	REED GRASS	1 GAL	36" o.c.	
	CAL KAR	113	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	36" o.c.	'KARL FOERSTER'
	CEA ANC	94	CEANOTHUS GLORIOSUS 'ANCHOR BAY'	ANCHOR BAY LILAC	5 GAL	60" o.c.	'ANCHOR BAY'
	DIA REV	172	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL	24" o.c.	'LITTLE REV'
	DUD BRI	101	DUDLEYA BRITTONII	DUDLEYA	2 GAL	12" o.c.	
	ERI BEA	201	ERIGERON GLAUCUS	BEACH DAISY	1 GAL	8" o.c.	
	GRE MOL	50	GREVILLEA JUNIPERINA 'MOLONGOLO'	GREVILLEA	5 GAL	42" o.c.	'MOLONGOLO'
	MAH XSO	37	MAHONIA X 'SOFT CARESS'	SOFT CARESS MAHONIA	5 GAL	36" o.c.	
	MUH WHI	24	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD'	WHITE MUHLY GRASS	1 GAL	24" o.c.	
	NEP WAL	48	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	1 GAL	24" o.c.	'WALKERS LOW'
	PAR TRI	2	PARTHENOCISSUS TRICUSPIDATA	JAPANESE CREEPER	24" BOX	48" o.c.	BERYLWOOD NURSERY
	RHA JOH	5	RHAMNUS ALATERNUS 'JOHN EDWARDS'	ITALIAN BUCKTHORN	24" BOX	96" o.c.	'JOHN EDWARDS'
	SEN MAN	129	SENECIO MANDRALISCAE	BLUE FINGER	1 GAL	24" o.c.	
	SES GRE	437	SESLERIA X 'GREENLEE HYBRID'	GREENLEE HYBRID MOOR GRASS	1 GAL	12" o.c.	'GREENLEE HYBRID'
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	DEL GRA	1,984 SF	DELTA GRASSLAND MIX	-	SOD		
	DUD FAR	127	DUDLEYA FARINOSA	BLUFF LETTUCE	4" POTS	4" o.c.	
	DYM MAR	155	DYMONDIA MARGARETAE	DYMONDIA	4" POTS	4" o.c.	
	THY ELF	334	THYMUS PRAECOX 'ELFIN'	ELFIN CREEPING THYME	4" POTS	6" o.c.	'ELFIN'



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LANDSCAPE ARCHITECT

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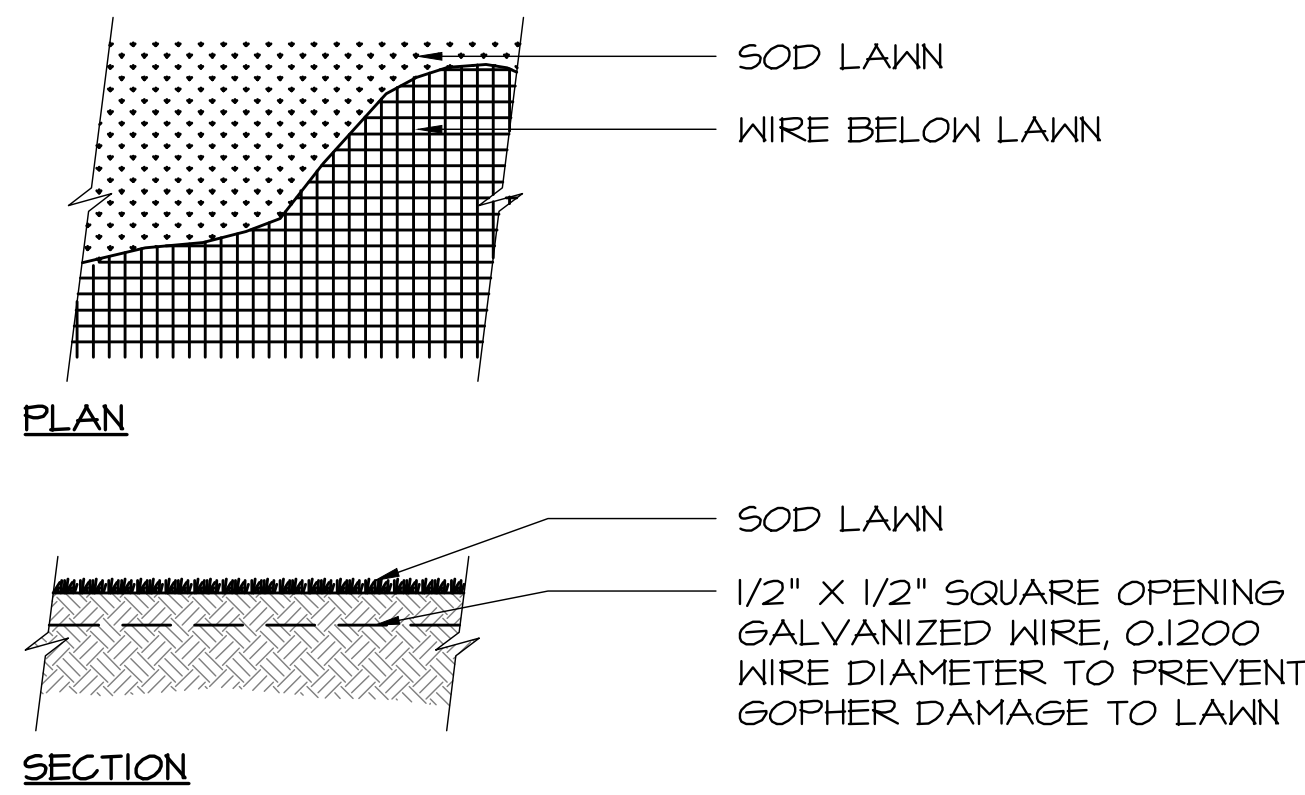
PROJECT: CARMEL BY THE SEA: BEACH HOUSE
HINES RESIDENCE
9 CARMEL WAY
CARMEL, CA 93923
APN: 010-321-021

SHEET TITLE: PLANT SCHEDULE

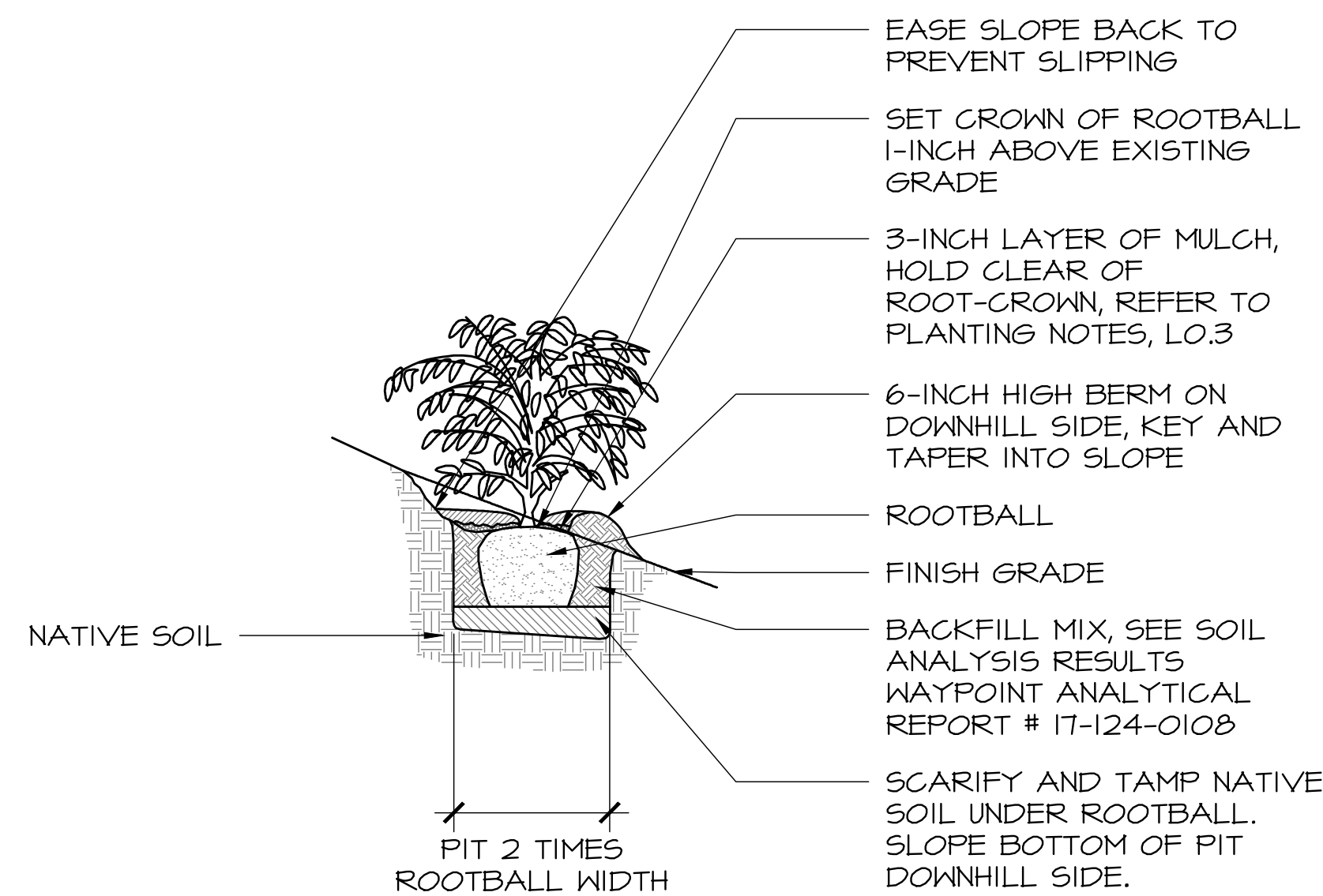
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DRAWN BY: AZMMOON/FP
DATE: 12/02/20

BH
L4.2

ORIGINAL SHEET SIZE: 24" X 36"



7 GOPHER WIRE PROTECTION AT LAWN DETAIL
NOT TO SCALE



4 SHRUB AND GRASS PLANTING ON SLOPE DETAIL
NOT TO SCALE

- NOTES:
- ALL TREES TO BE STAKED ON PREVAILING WIND SIDE WHEN TREE IS IN LEAF. VERIFY ALL CONNECTORS ARE SECURE AND TIGHT.
 - CONTRACTOR SHALL DOUBLE STAKE ALL 15 GALLON, 24-INCH & 36-INCH BOX TREES.
 - CONTRACTOR SHALL REMOVE NURSERY STAKE(S) AND TAGS FROM TREES UPON COMPLETION OF STAKING.
 - "WONDER TREE TIES" SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - REMOVE TEMPORARY WATERING BASINS ONCE RAINY SEASON HAS COMMENCED.
 - OWNER'S REPRESENTATIVE TO SELECT/TAG ALL PROJECT TREES AT NURSERY. CONTRACTOR TO COORDINATE AND PROVIDE PHOTOS OF PROPOSED TREES.
 - PLANTS WITH LARGE CIRCLING ROOTS OR KINKED ROOTS ON INTERIOR OF THE ROOTBALL WILL NOT BE ACCEPTED.
 - TREES SHALL BE SUPPLIED WITH WELL TAPERED STRONG TRUNKS WHICH WILL STAND ALONE.
 - TREES SHALL BE SUPPLIED WITH WELL TAPERED STRONG TRUNKS WHICH WILL STAND ALONE. TREES SUPPLIED WITH TOPS TOO LARGE FOR TRUNKS TO SUPPORT SHALL BE PRUNED AS DIRECTED BY OWNER'S REPRESENTATIVE TO REDUCE CROWN HEIGHT. DO NOT REMOVE LATERALS ALONG TRUNK. DO NOT PRUNE TREES WITHOUT PRIOR APPROVAL FROM OWNER'S REPRESENTATIVE.

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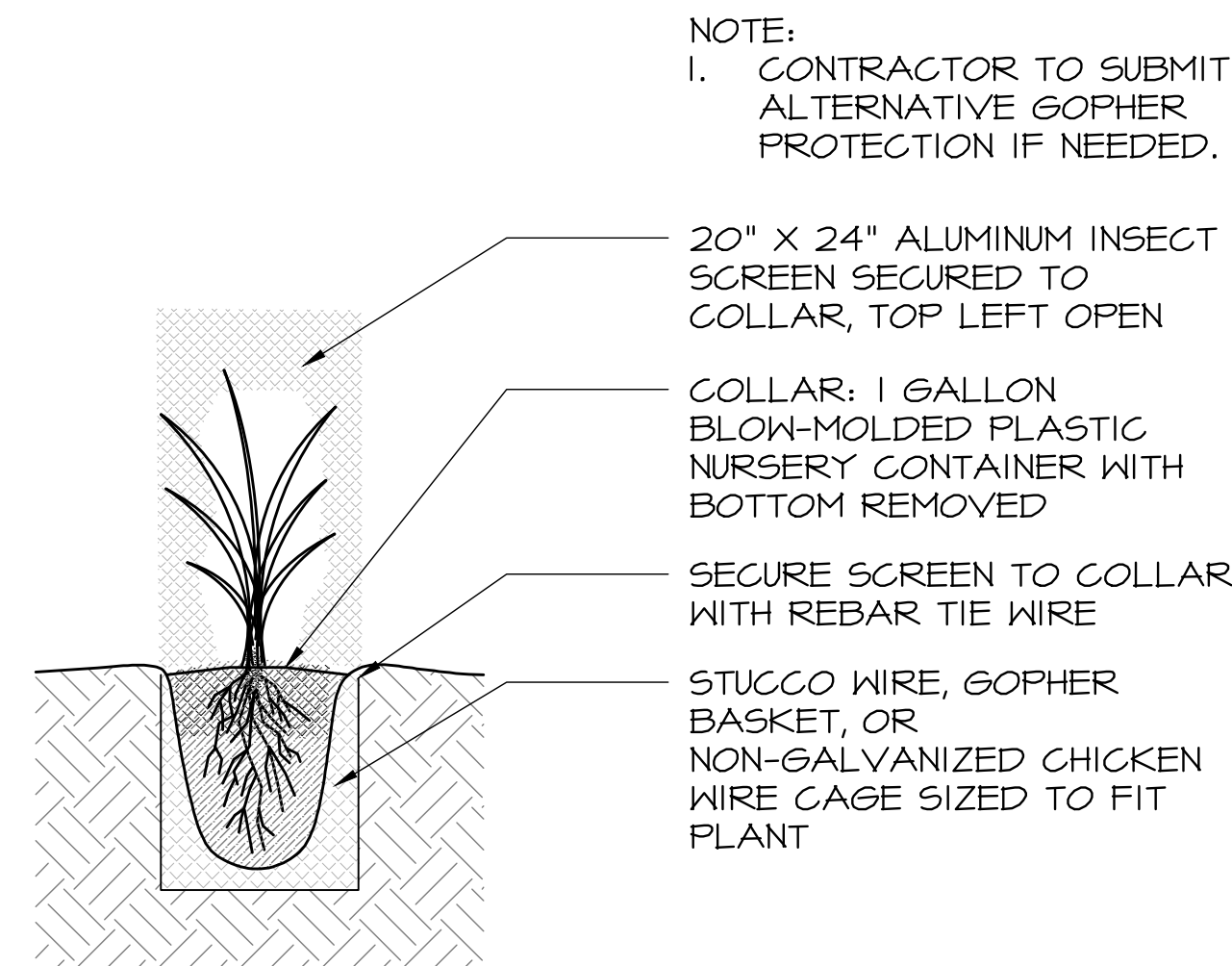
PROJECT: **CARMEL BY THE SEA: BEACH HOUSE HINES RESIDENCE**
 9 CARMEL WAY
 CARMEL, CA 93923
 APN: 010-321-021

SHEET TITLE: **PLANTING DETAILS**

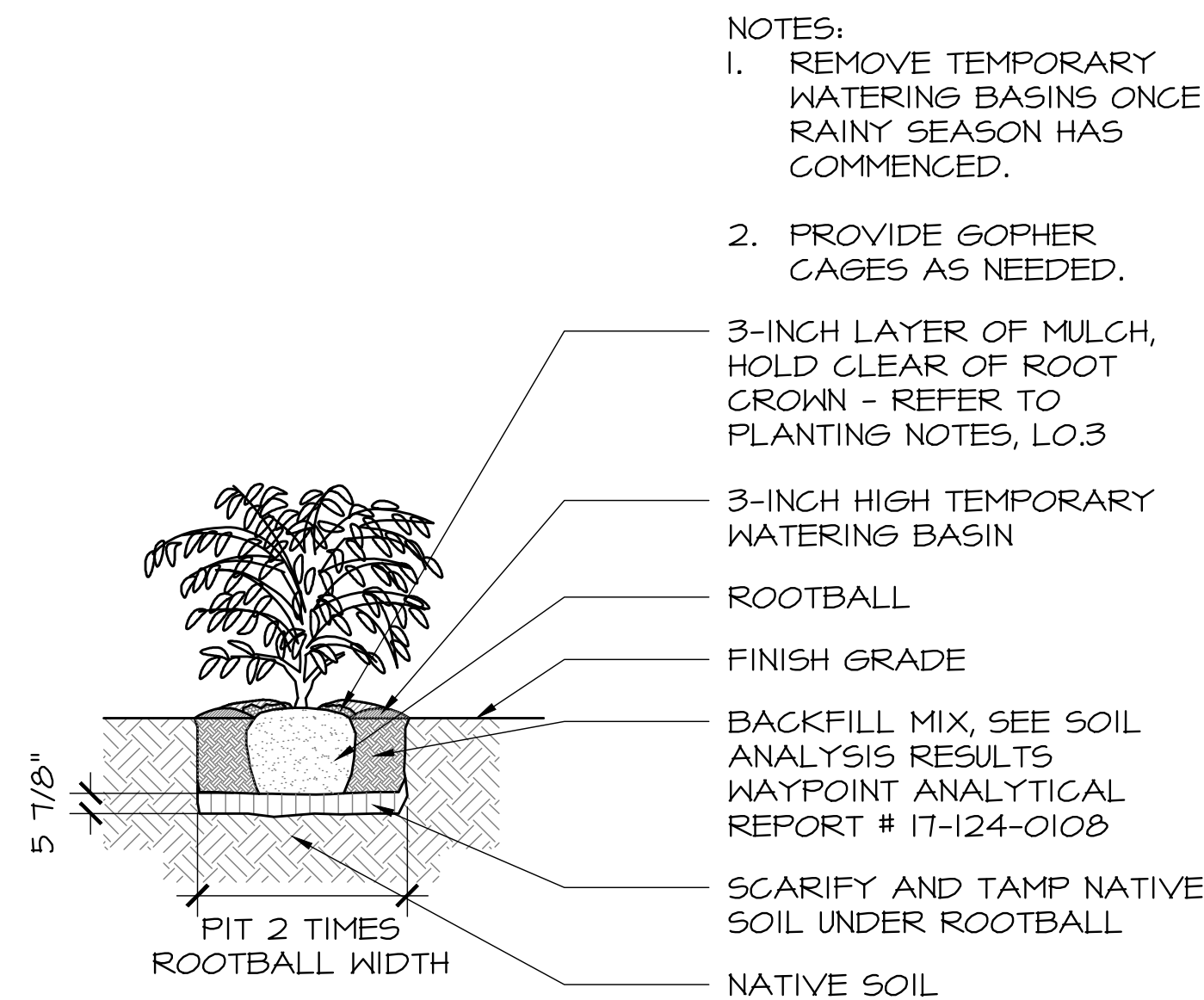
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BH
 L4.3

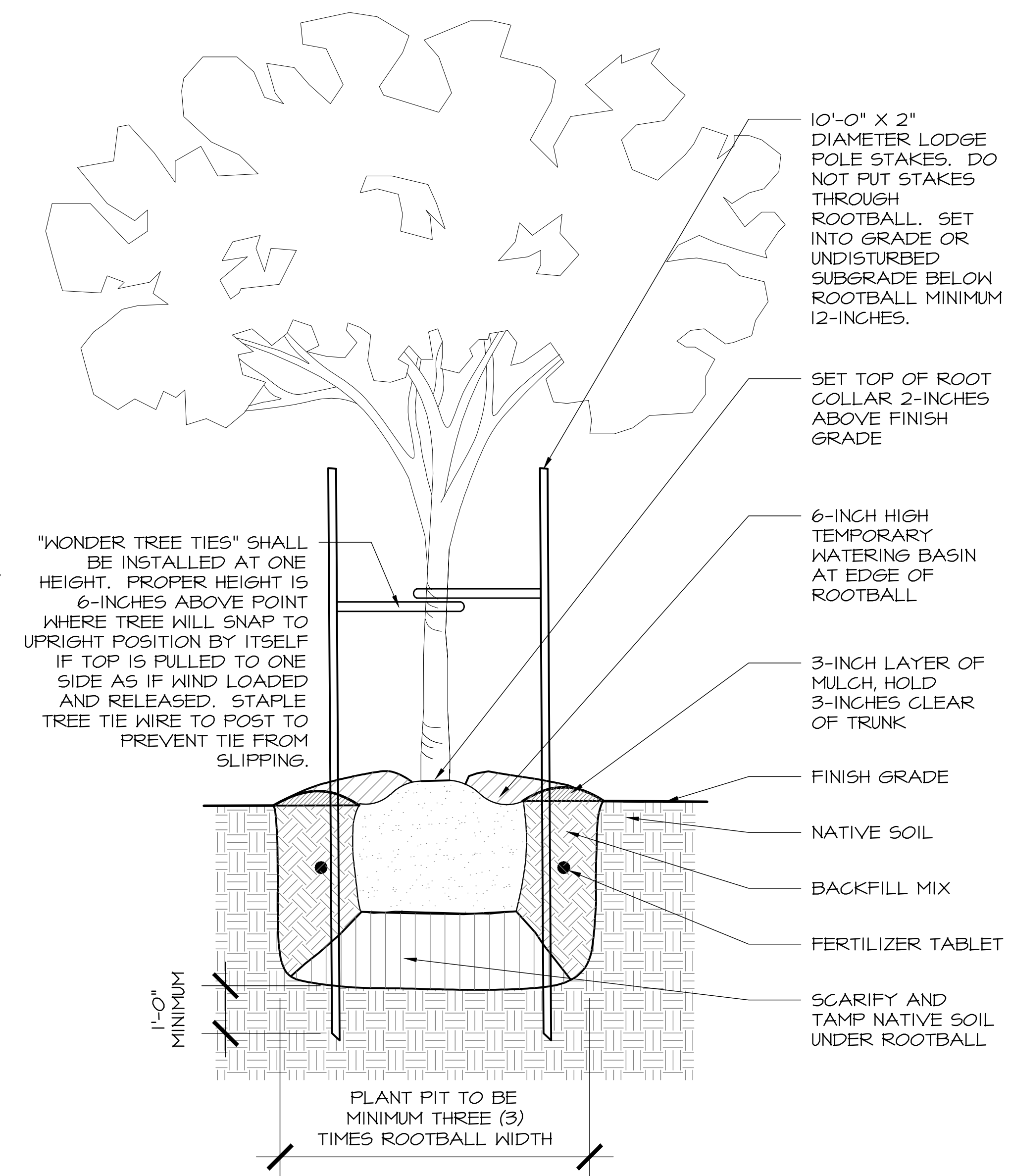
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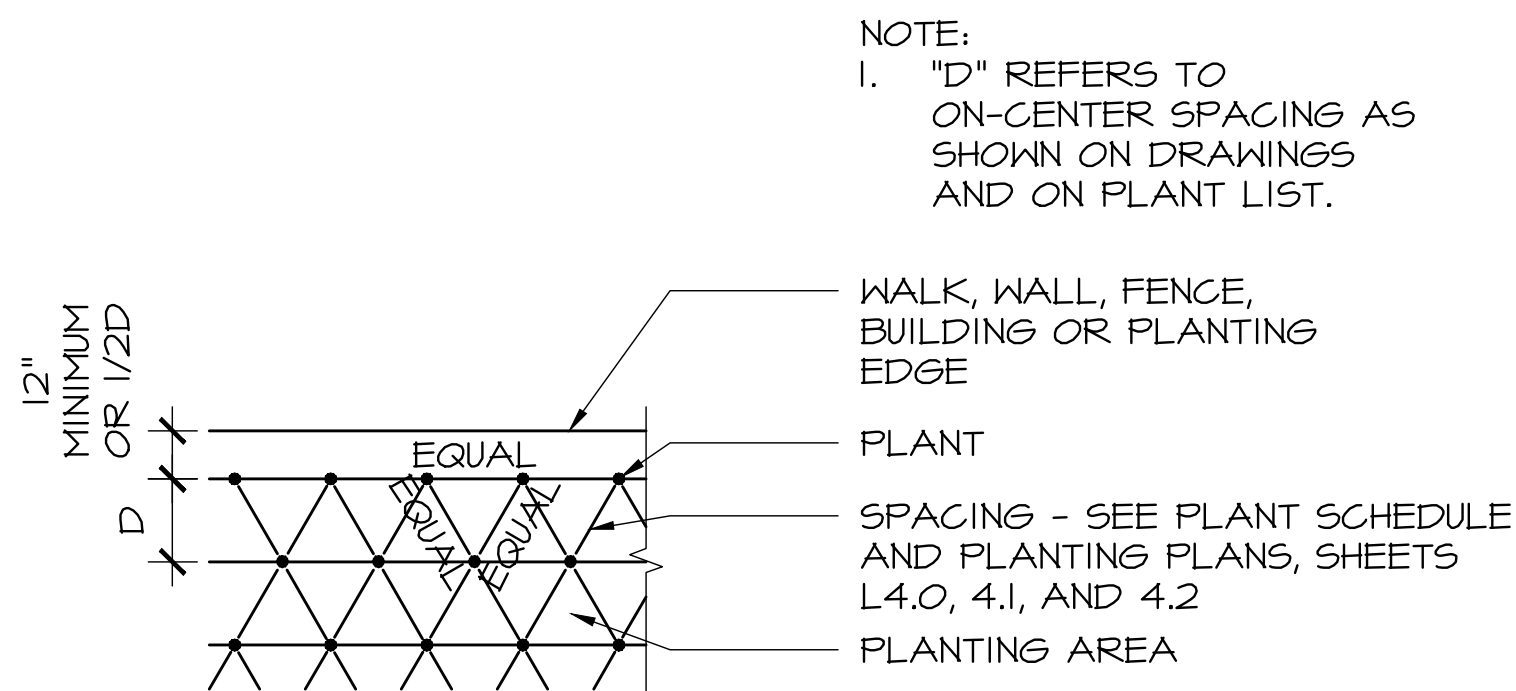
6 GOPHER WIRE PROTECTION DETAIL
NOT TO SCALE



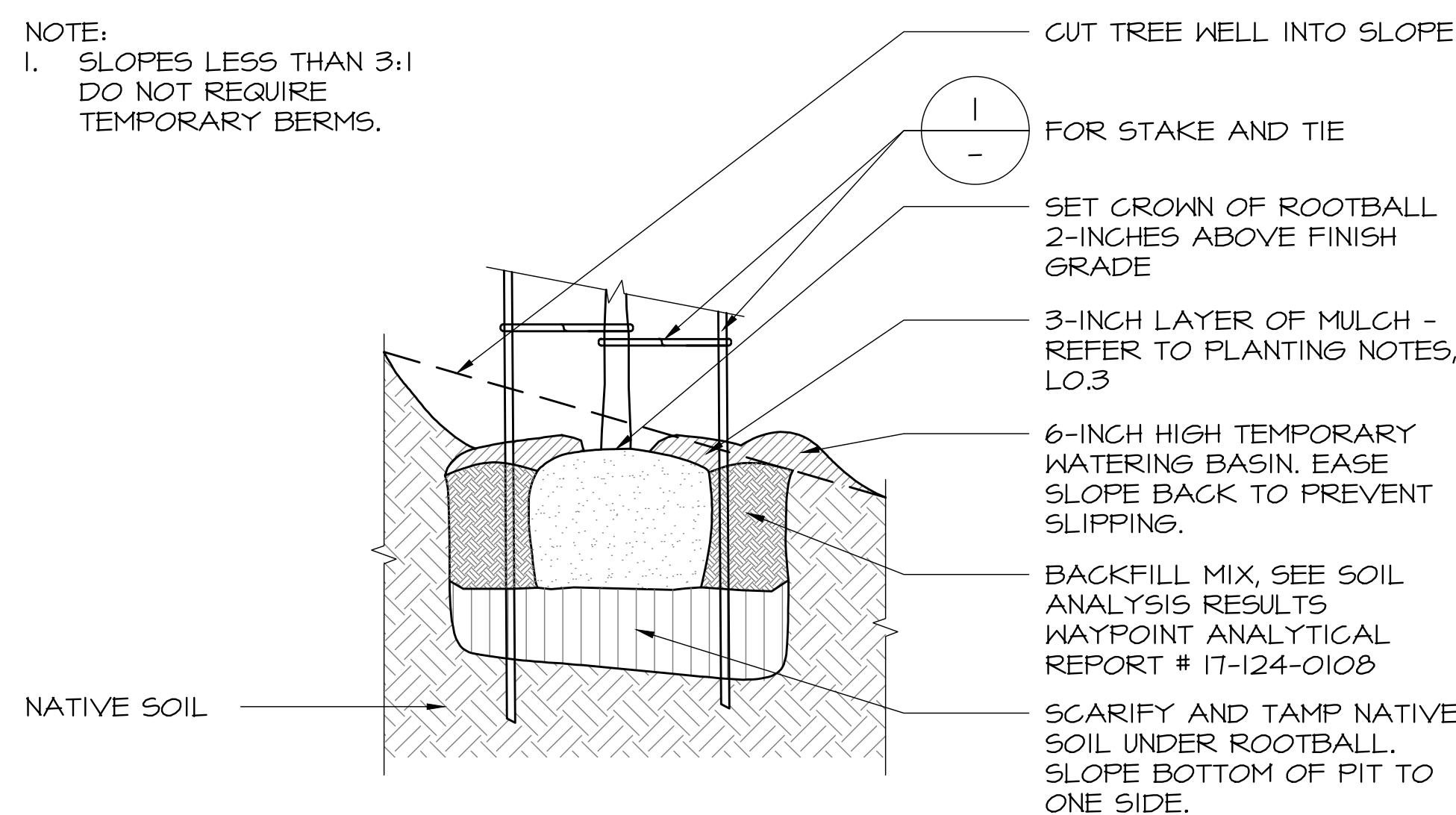
3 SHRUB AND GRASS PLANTING DETAIL
NOT TO SCALE



1 TREE PLANTING DETAIL
NOT TO SCALE



5 TYPICAL PLANT SPACING DETAIL
NOT TO SCALE



2 TREE PLANTING ON SLOPE DETAIL
NOT TO SCALE

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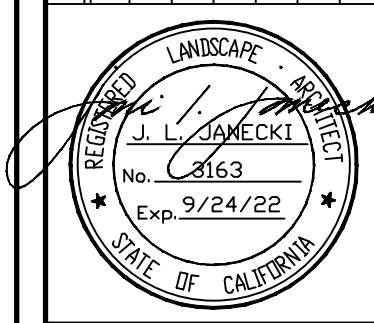
- (4) 2X4 PRESSURE TREATED FRAME
- SHADE CLOTH SCREWED TO THREE SIDES OF FRAME AT TOP OF STRUCTURE TO SHIELD TREE FROM THE PROMINENT WINDWARD DIRECTION
- (3) 2X4 PRESSURE TREATED CROSS BRACES ON THREE SIDES OF STRUCTURE
- (4) 2X4 PRESSURE TREATED FRAME HALF WAY UP STRUCTURE
- (4) 4X4 PRESSURE TREATED POSTS ON EACH CORNER FORMING A FRAME AROUND TREE

- NOTES:
1. TEMPORARY WINDSCREEN TO REMAIN UNTIL TREES HAVE ACCLIMATED TO THE CLIMATE. LANDSCAPE ARCHITECT AND ARBORIST TO REVIEW 1-YEAR AFTER INSTALLATION TO DETERMINE WINDSCREEN REMOVAL DATE.
 2. TEMPORARY WINDSCREEN HEIGHT TO BE DETERMINED IN FIELD BASED ON THE HEIGHT OF THE TREE.

1 TEMPORARY WINDSCREEN PROTECTION DETAIL
NOT TO SCALE

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SHEET TITLE:
PLANTING DETAILS

SCALE: AS NOTED
 DRAWN BY: AZMMMOONFP
 DATE: 12/02/20

**BH
 L4.4**



V I T A P E H A R D E S I G N
 Lighting Design & Consultation
 10005 Bridge Highway • Sebastopol, California 95472
 Telephone (707) 829-6383 • Fax (707) 829-6344
 Email: vitadesign@siglobal.net

HINES: BEACH & BOARDWALK HOUSE
 10 Carmel Way, Carmel, CA 93940

Landscape Lighting Plan

Date	By
02-22-18	KR
05-17-18	KR
09-04-19	KR
05-21-20	KR
06-18-20	KR
10-01-20	KR
12-10-20	KR

Scale: 1/16"=1'

Sheet:

LD-3.1