

### PLANNING INFO.

■ PROPERTY OWNER: ESPERANZA CARMEL COMMERCIAL, LLC ATTN: RYAN AESCHLIMAN 7TH NW OF LINCOLN CARMEL-BY-THE-SEA, CA 93921

INTERNATIONAL DESIGN GROUP LLC JUN A. SILLANO, AIA JUN@IDG-INC.NET

PHONE: (831) 646-1261 ■ PROJECT ADDRESS:

> 2 SE OF 7TH AVE, CARMEL-BY-THE-SEA, CA 93921

DEMOLITION OF 2 EXISTING BUILDINGS. NEW CONSTRUCTION FOR GROUND FLOOR PARKING GARAGE, COMMERCIAL SPACES ON GROUND FLOOR, & 8 RESIDENTIAL APARTMENTS ON 2ND FLOOR; 3 BEDROOM UNITS W/ ROOF TOP DECK

 $\blacksquare$  OCCUPANCY: A-2, B, M, R-2, S-2

010-145-012, 023, & 024

■ LEGAL DESC.: LOTS: 6, 8, & 10 BLOCK: 91

SC (SERVICE COMMERCIAL)

2 + BASEMENT

■ MAX BLDG. HT: 30 FT ALLOWED SEE CIVIL DRAWINGS

■ TREE REMOVAL: SEE A1.1

■ TOPOGRAPHY: SEE TOPOGRAPHIC MAP, SHEET 1 OF 1

■ PROJECT CODE COMPLIANCE:

2023 CBC, CMC, CPC, CFC, CEC, CALIFORNIA GREEN BUILDING CODE & 2023 CALIFORNIA ENERGY CODE

■ LOT AREA: 12,000 S.F. (0.276 AC.)

■ BUILDING COVERAGE ALLOWED:

A. EXCEPTIONS MAY BE GRANTED UP TO A MAXIMUM BUILDING COVERAGE OF 95 PERCENT = 95% (11,400 SF)

■ BUILDING COVERAGE CALCULATIONS

	EXISTING TO BE REMOVED	EXISTING TO REMAIN	PROPOSED
	−2,269 S.F.	692 S.F.	8,741 S.F.
TOTAL	−2,269 S.F.	692 S.F.	9,433 S.F.

TOTAL: EXISTING TO REMAIN + PROPOSED = 9,433 SF (78.61%)

■ FLOOR AREA RATIO (FAR) ALLOWED:

FOR 2 STORIES = 135% (16,200 S.F.) +INTRABLOCK ACCESS = 10% (1,200 S.F.)TOTAL = 145% (17,400 S.F.)

■ FAR CALCULATIONS

	EXISTING TO BE REMOVED	EXISTING TO REMAIN	PROPOSED
GROUND FLOOR	-2,269 S.F.	691 S.F.	6,046 S.F.
SECOND FLOOR	−1,597 S.F.		7,546 S.F.
TOTAL	-3,866 S.F.	691 S.F.	13,592 S.F.

TOTAL: EXISTING TO REMAIN + PROPOSED = 13,592 (113.26%)

■ NOT INCLUDED IN FAR CALCULATIONS

	EXISTING	PROPOSED	
BASEMENT	0	852 S.F.	

■ PARKING REQUIREMENTS

COMMERCIAL RETAIL REQ. 1 PER 600 SQ. FT. 5339.14 / 600 S.F. = 8.9 = 9 SPACES

> 8 UNITS = 8 SPACESTOTAL REQ. = 17 SPACES

ACCESSIBILITY REQ.

VAN PARKING REQ. = 1 PER 25 SPACES

TOTAL REQ. = 9 COMPACT PARKING SPACES 8 STANDARD PARKING SPACES 1 ACCESSIBLE VAN PARKING SPACES

18 SPACES

TOTAL PROVIDED = 10 COMPACT PARKING SPACES 1 STANDARD PARKING SPACES 1 ACCESSIBLE VAN PARKING SPACES

12 SPACES

SITE **PLAN** 

JUN A. SILLANO, AIA

721 LIGHTHOUSE AVE

PACIFIC GROVE CA.

93950

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EMAIL

WEB

DISCLAIMER:

STAMPS:

PROJECT/CLIENT:

PROJECT ADDRESS:

JB PASTOR

**BUILDING** 

DOLORES, 2ND SE

OF 7TH

CARMEL, CA

93921

APN: 010-145-012

DATE: NOVEMBER 21, 2024

**REVISIONS:** 

12/19/24

<u>PLAN UPDATE</u>

P.C. SUBMITTAL

022, & 023

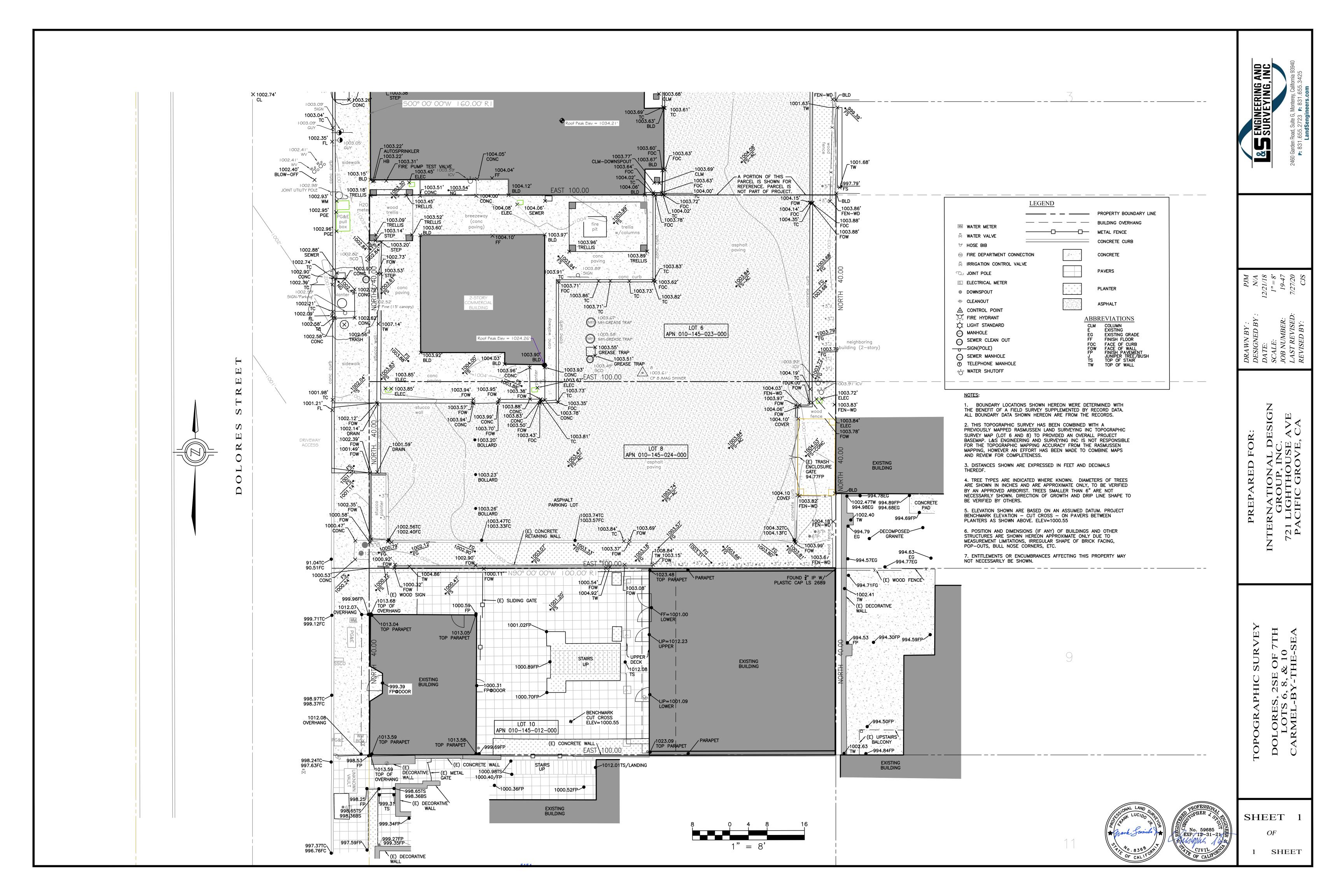
(831) 646-1261

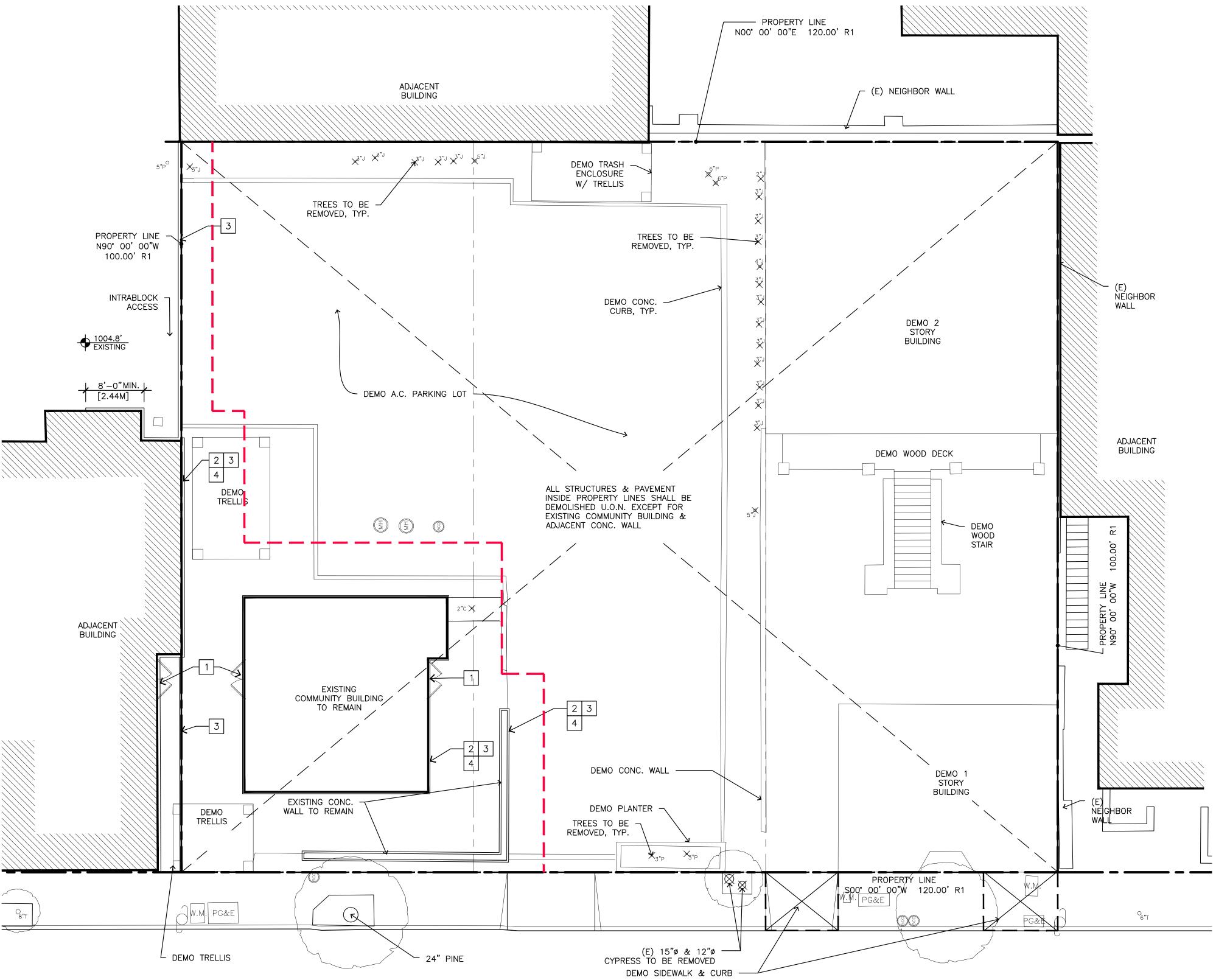
(831) 646-1290

idg@idg-inc.net

SHEET NO.

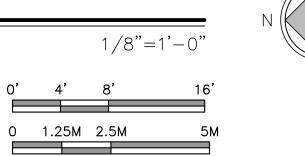
A1.0





**DOLORES STREET** 

DEMO. SITE PLAN



### TREE REMOVAL

TREE		SIZE	QUANTITY	_
JUNIPER		5"ø	2	
JUNIPER		4"ø	1	
JUNIPER		3"ø	17	
JUNIPER		2"ø	1	
PINE		6"ø	2	
PINE		3"ø	2	
CHERRY		2"ø	1	
TOTAL	ΤΩ	DE DE 10\/E	·D 00	_

TOTAL TO BE REMOVED: 26 - PRIVATE PROPERTY

CYPRESS 15"ø 1 CYPRESS 12"ø 1

TOTAL TO BE REMOVED: 2 - PUBLIC PROPERTY

26 PRIVATE + 2 PUBLIC

TOTAL TO BE REMOVED: 28

# HISTORIC BLDG. PROTECTION PLAN KEYNOTES

1 CONSTRUCT BARRICADE WALL TO CLOSE OPENING OF (E) BUILDING PRIOR TO ANY DEMOLITION WORK.

PROVIDE FULL HEIGHT VINYL SHEET TO WALL FOR DUST PROTECTION. ALSO IT SHALL SEAL DOORS, WINDOWS & OTHER OPENINGS PRIOR TO ANY DEMOLITION WORK.

3 CONSTRUCT 6' HIGH SELF-SUPPORTING PLYWOOD BARRICADE WALL

4 ITEM 3 OVER ITEM 2. DEVELOPMENT TEAM SHALL DESIGN THIS WALL W/O ANY ATTACHMENTS TO (E) BUILDING.

JUN A. SILLANO, AIA

ARCHITECTURE + PLANNING + INTERIOR DESIGN

721 LIGHTHOUSE AVE PACIFIC GROVE CA. 93950

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JB PASTOR BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

DATE: NOVEMBER 21, 2024

P.C. SUBMITTAL

REVISIONS:

12/19/24
PLAN UPDATE

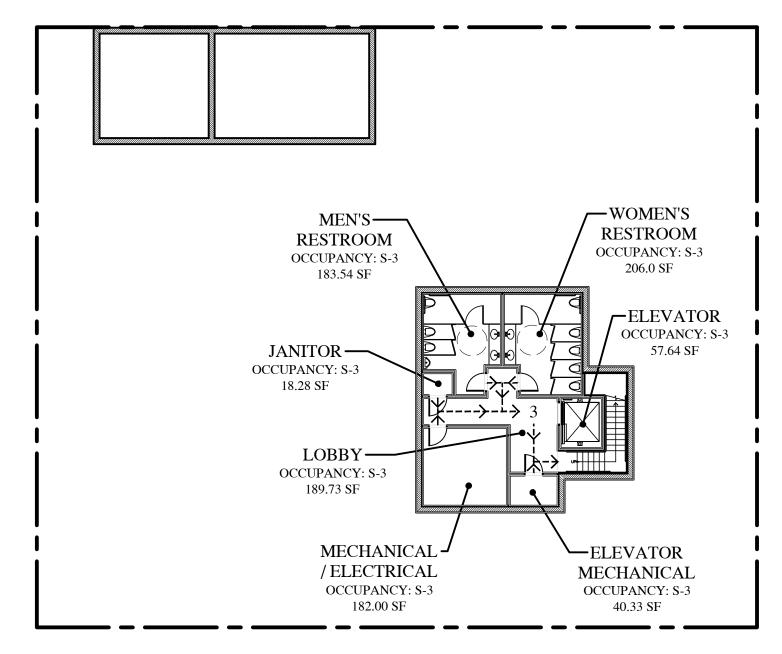
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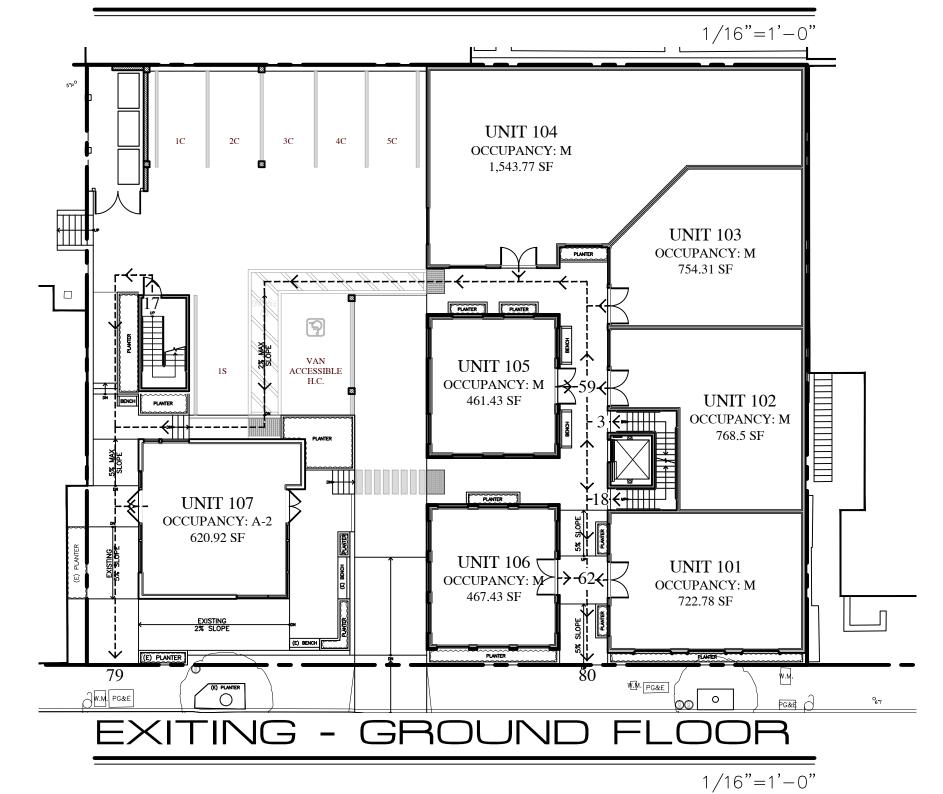
SITE DEMO & HISTORIC BLDG. PROTECTION PLAN

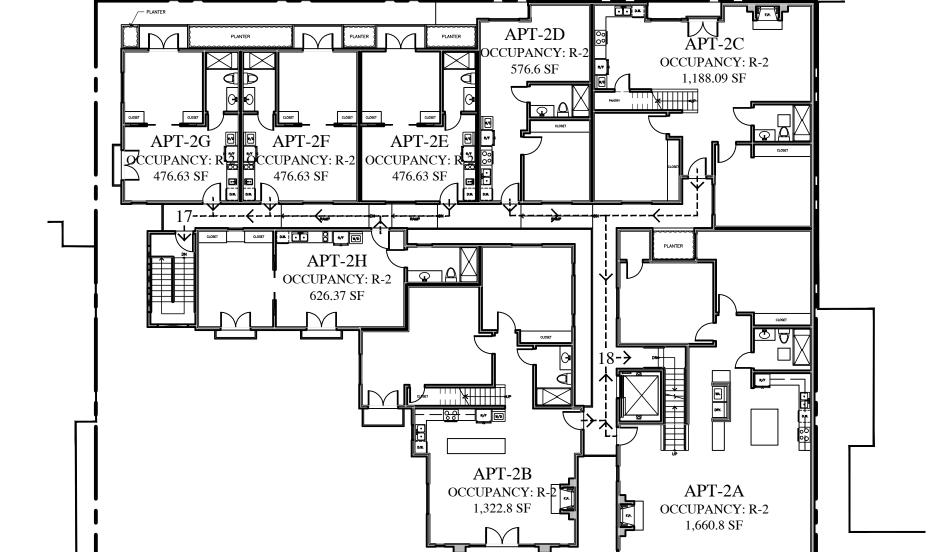
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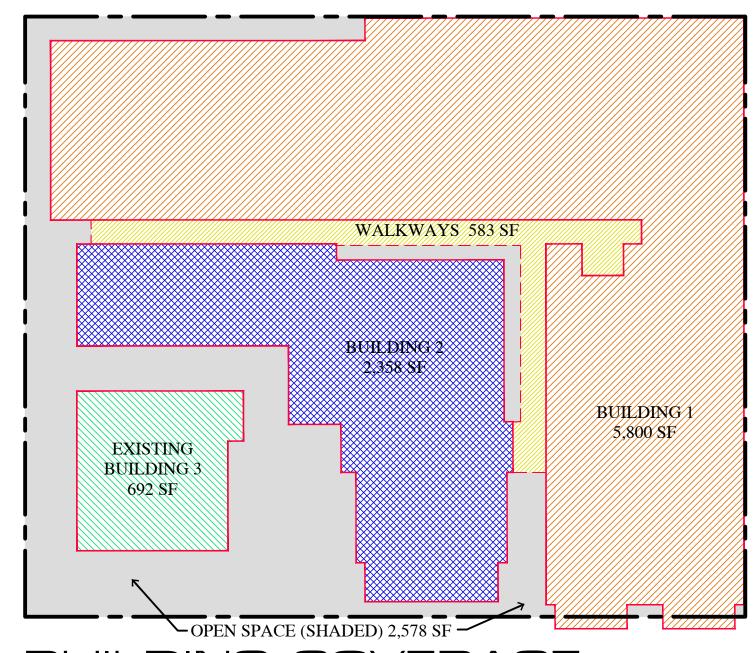
### EXITING - BASEMENT PLAN





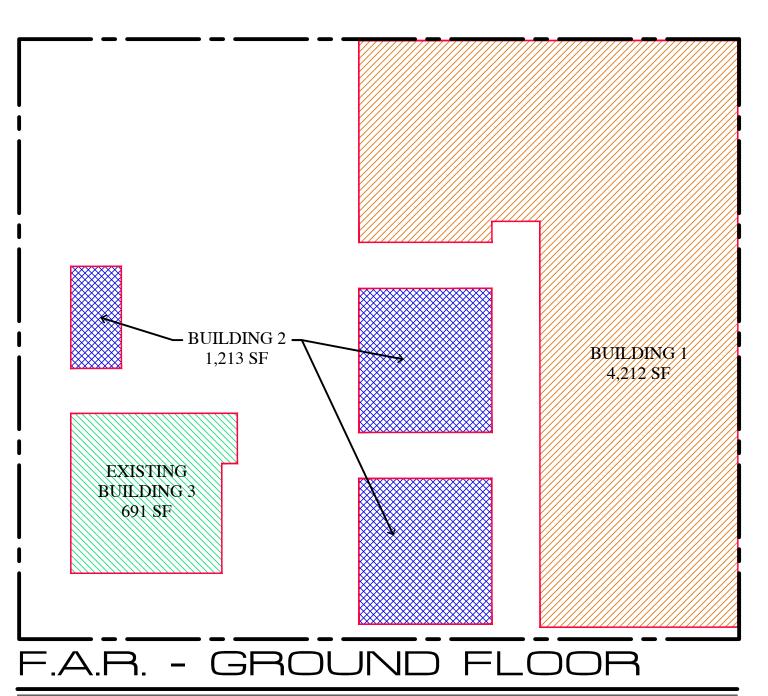
1/16"=1'-0"

EXITING - 2ND FLOOR

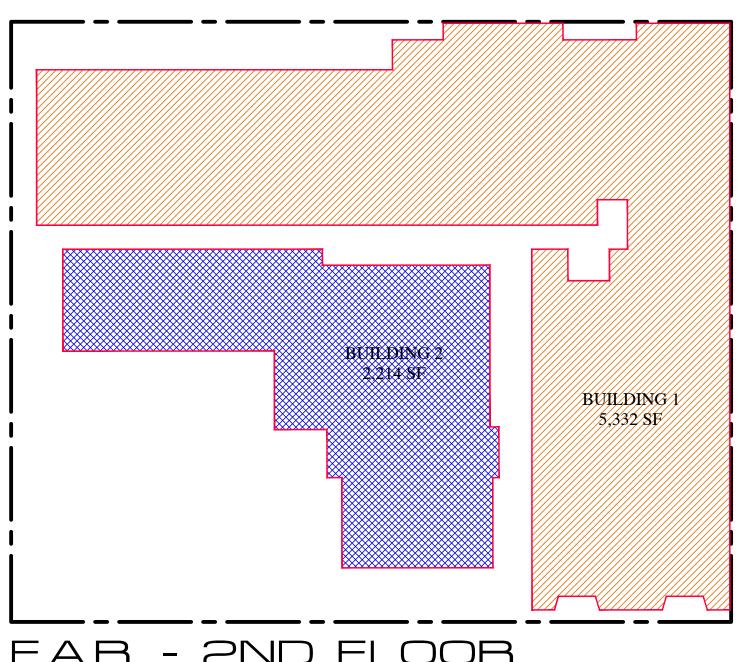


# BUILDING COVERAGE

1/16"=1'-0"



1/16"=1'-0"



## F.A.R. - 2ND FLOOR

1/16"=1'-0"

### EXIT ANALYSIS

<u>BASEMENT</u>	
LOBBY JANITOR CL MEN'S RES' WOMEN'S R ELEVATOR ELEVATOR N	OCCUPANCY  = 189.73 SF  OSET = 18.28 SF  FROOM = 183.54 SF  ESTROOM = 206.00 SF  = 57.64 SF  MECHANICAL = 40.33 SF  _/ELECTRICAL = 156.00 SF  = 851.52 SF/300 GROSS = 2.84 = 3 OCCUPANTS
S-3 OCCUI	PANT LOAD = 3 OCCUPANTS > 1 EXITS REQUIRED
EXIT WIDTH 3 X 0.2" =	
GROUND FL	<u>OOR</u>
TYPE M OC	CUPANCY (MERCANTILE) 60 SF GROSS = OCCUPANTS
UNIT-101 UNIT-102 UNIT-103 UNIT-104 UNIT-105 UNIT-106 TOTAL TYPE A-2 UNIT-107 TOTAL	= 722.78 SF = 768.5 SF = 754.31 SF = 1,543.77 SF = 461.43 SF = 467.43 SF = 4,718.22 SF/60 GROSS = 78.64 = 79 OCCUPANTS OCCUPANCY (ASSEMBLY) 15 SF GROSS = OCCUPANTS = 621 SF = 621 SF/15 GROSS = 41.39 = 42 OCCUPANTS
	REQUIRED: = 12.2" @ DOOR > 72" PROVIDED = 18.3" @ STAIR > 88" PROVIDED
2ND FLOOR	
APARTMENT APARTMENT APARTMENT APARTMENT APARTMENT APARTMENT APARTMENT APARTMENT APARTMENT	-2B = 1,322.8 SF -2C = 1,188.09 SF -2D = 576.6 SF -2E = 476.63 SF -2F = 476.63 SF -2G = 476.63 SF -2H = 626.37 SF
TOTAL	= 6,804  SF/200  GROSS = 34.02 = 35  OCCUPANTS
R-2 OCCU	PANT LOAD = 35 OCCUPANTS > 2 EXITS REQUIRED > 18 OCCUPANTS EACH
	REQUIRED: = 3.6" @ DOOR > 72" PROVIDED = 5.4" @ STAIR > 88" PROVIDED

### F.A.R. CALCULATIONS

GROUND FLOOR		FAR BY BUILDING:
BUILDING 1	= 4,212 SF	
BUILDING 2	= 1,213 SF	BUILDING 1:
BUILDING 3 (EXISTING)	= 621 SF	9,544 SF
TOTAL	= 6,046 SF	
	,	BUILDING 2:
2ND FLOOR		3,427 SF
BUILDING 1	= 5,322 SF	
BUILDING 2	= 2,214 SF	BUILDING 3 (EXISTING):
TOTAL	= 7,546 SF	621 SF
GROUND FLOOR + 2ND	FLOOR (6,046 + 7,5	546) = 13,592 SF
	,	,
13,592 / 12,000 = 11	3.27%	
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### BUILDING COVERAGE SUMMARY

BUILDING 1 =	= 5,800 SF	
	0,000 0.	
BUILDING 2 =	= 2,358 SF	
BUILDING 3 (EXISTING) =	= 692 SF	
	= 583 SF	
TOTAL =	= 9,433 SF	



721 LIGHTHOUSE AVE PACIFIC GROVE CA. 93950

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12/19/24 PLAN UPDATE

EXITING, F.A.R. & BUILDING COVERAGE DIAGRAMS

SHEET NO.

A1.2

**TEMPORARY** 

PROTECTION

Protecting a Historic

Adjacent Construction

Technical Preservation Services

When historic structures are

exposed to adjacent construction

or demolition work, a protective

monitoring and specific safeguards

should be implemented to prevent

damage and loss of historic fabric.

process. The support of neighborhood

tion organizations, independent engi-

neers and the historic district commis-

fully addressed. The developer will

benefit from the assembly of a team,

including or representing the general

contractor, architect, structural engi-

neer, construction manager, and sub-

consultation meetings and play a con-

tinuing role in balancing protection

Preconstruction meetings should

tant, the parties should reach an under-

standing about what steps will be taken

to protect the historic structure (see fig-

ure 1). Responsibility for implement-

be established among the developer,

ing the agreed upon protections should

the general contractor and relevant sub-

owner. Such decisions should be listed

contractors, and the historic property

in performance specifications that

accompany agreements between the

development team is also advisable.

as excavation, and requirements for

materials delivery, site storage, and

other use of the premises by the con-

contractor and the developer. A walk-

through of the historic building by the

Finally, schedules for major work such

efforts with development interests.

address several issues. Most impor-

contractors, who can be present at

sion (if applicable) may be enlisted

committees, local non-profit preserva-

plan including documentation,

Structure during

National Park Service

NUMBER 3

Chad Randl



**IDENTIFYING AND AVOIDING RISKS** FROM ADJACENT CONSTRUCTION

Valued for their ability to convey the past through existing materials and features, historic buildings must also survive in an ever-changing present. That change is often characterized by new building construction and demolition activities on neighboring sites. Whether it is the modest renovation of an existing building or the demolition of an existing structure and construction of a new high rise, physical damage to an adjacent historic building may occur. It is important for both the historic property owner and those responsible for the neighboring work to give careful consideration to the potential risks. Early planning offers the opportunity to identify these risks and to determine

The forces that contribute to the deterioration of a historic building, from atmospheric pollutants to the footsteps of visitors, often take decades and even centuries to exact their toll. Demolition activities and new construction on neighboring sites, however, can cause immediate harm to the physical integrity of a historic structure. In the instant it takes an improperly planned excavation blast to crack the foundation of an adjacent historic structure, or for a

successful ways to avoid them.

steel beam to be dropped from a construction crane onto its roof, significan damage may occur. Additionally, adjacent construction work can expose the neighboring historic building to concentrations of dust, vibration and fire hazards that would normally be experi enced only over the course of many

when a project is undertaken next to historic resources. In some situations. the historic property manager may be unaware of the nature and extent of work at an neighboring site. In other cases, the new construction team is not amiliar with the particularly fragile character of the neighboring historic structure or decides to repair any dam age after the fact rather than avoiding i from the beginning.

Effective planning and protective meathat may occur to adjacent historic toring the historic structure or may encompass a broader plan that

These concerns are often overlooked

sures initiated before construction takes place can prevent most of the damage buildings. Depending upon the nature of the project, protective measures may be limited to documenting and moniincludes encasing windows, indepenarranged to minimize disruptions to the historic site.

### Documentation

A crucial step following consultation with the developer is to document the existing condition of the historic structure. Such an investigation provides a 'baseline" from which changes to the ouilding during the adjacent construction can be identified, monitored and assessed. Like the consultation process, thorough documentation benefits both the historic property owner and the developer. For the former, it may be used to substantiate claims that damage occurred as a result of the neighboring construction work by illustrating the previously sound condition of the historic building. If the damage existed prior to construction work, the record can show that it was not caused by the developer's negligence. In the case of future litigation, the documentation record can serve as evidence sional who undertook the assessment.

along with the testimony of the profes-Both parties should ensure that the documentation is objective and accurate. Joint surveys, in which both the developer and the historic property owner participate or sign off on noted conditions, are most likely to ensure that the resulting data are not in dis pute. When the developer pays for the assessment, it is advisable that an independent professional be hired and that the survey results be accessible. Information obtained through documentation can also be used in formulat-

ing a protection plan for the historic building. By characterizing existing damage and exposing potential weaknesses, the documentation process identifies areas of the structure that may require additional protection as well as appropriate locations for monitoring equipment. Features that should receive particular attention during visual inspections would also be highlighted. Although a formal building condition survey including analysis, repair proposals and cost estimates is not necessary, the property owner may find that the disruptive period during adjacent work provides an opportune time for a thorough survey program. Documentation of existing conditions should take the form of written descriptions, 35mm color photographs

and/or a videotape recording.

Photographs should show both the

interior and exterior of the building, with

tractor should be discussed and

ile conditions. A complete interior and exterior crack survey should be undertaken to identify and characterize existing cracks (see figure 2). Their locations can then be plotted on a drawing of each wall or ceiling surface. While identifying every hairline crack may be impractical in a large building or one that exhibits a great deal of preexisting damage, the more thorough the documented record, the better. The condition of features such as arches, chimney stacks and parapet walls determined by the engineer to be particularly susceptible to distress should also be recorded even when no damage is Common Risks and **Protective Measures** 

close-up images of cracks, staining

indications of settlement or other frag-

Each instance of new construction or demolition next to an existing historic structure will involve varying risks to that structure. The proximity of the historic site to the project and the scope of the project are two of the most significant variables. Construction of a high rise building with deep foundations is more likely to affect a neighboring structure than the rehabilitation of a nearby rowhouse. However, the converse may be true if the rowhouse is

directly adjacent to and sharing a wall with the historic structure. Other factors influencing the degree of likely impact include the age, construction type and structural integrity of the historic building, as well as the depth and makeup of its foundation and its surrounding soil types. Owners should also anticipate the

Construction and Repair."

eliminating those risks.

potential impact is accompanied by

suggested approaches for reducing or

to damage. Buildings located in areas with a high water table were often coneffect increased dust, vibration and fire risk will have upon interior architecturstructed upon timber piles. When groundwater or storm water is removed al features and furnishings. For the from a neighboring site during foundamost sensitive objects, such as chandetion excavations (a process known as liers, paintings and glassware, temporary removal to an off-site location "dewatering"), the groundwater level beneath the historic site may also drop. may be the safest course. Those fea Previously submerged timber piles that tures that cannot be easily removed, are exposed to air can quickly begin to including plaster ceiling medallions undergo dryrot. If there is reason to and cornices, can be cushioned and suspect that the structure was built on buttressed by padded wood supports such a foundation, the property Additional information concerning the manager should work with the neighsafeguarding of interior features can be oring construction team to maintain found in the preceding Tech Note in the existing water table. This can be this series, "Temporary Protection, done using watertight excavation sup-Number 2. Specifying Temporary port systems such as slurry walls which Protection of Historic Interiors During ensure that most of the water pumped out of the construction site does not The remainder of this section come from adjacent properties. addresses some of the more common Dewatering of soft clay ground may dangers to historic structures when new also result in settlement of a neighborconstruction or demolition activities ing building, as ground water pressure occur nearby. The description of each

historic building.

### Fire and Security Concerns

The heightened possibility of fire

is reduced and the soil consolidates.

information passed on to the appropri-

ate contractors. Final landscaping and

grading patterns on adjacent construc-

tion sites should be examined to ensure

that rainwater is not routed towards the

In some cases, the lack of water

beneath an historic structure can lead

accompanies many demolition and new construction activities. Temporary heating devices, torches, sparks, molten metal and undersized electrical utility panels are some of the most common sources of fire at construction sites. Additionally, the improper storage of fuels, cloth rags and brushes also presents opportunities for fire to ignite and spread. The Tech Note, Specifying Temporary Protection of Historic Interiors during Construction and Repair," provides detailed information on reducing the likelihood of fire in situations involving work near historic structures. The security of a historic building

can be threatened when adjacent construction provides opportunities for illegal entry. Newly constructed floor levels at the building site may make he neighboring historic structure's edges, windows and rooftops accessible to trespassers. Window openings on the historic building should be fastened and all doors from the roof to the interior should be locked. Where a historic structure is protected by an intruder

alarm system, that system should be upgraded to protect rooms that are rendered accessible from the outside. In cases where the historic structure does not directly abut new construction or demolition activity, attention should still be paid to the possibility that incidents of vandalism and theft will carry over to

### the historic site. **Physical Impact**

Construction or demolition can cause direct physical damage to neighboring historic features and materials. Cranes, hoists and workers on upper floors of a construction site can drop building supplies and tools onto an adjacent historic structure. Misdirected debris chutes and backing vehicles may also leave their mark

Generally, to counter these occurrences, protective barriers are placed over any area of the historic structure deemed at risk. If the new construction will rise above the historic build ing, plywood sheets should be placed over the roof to distribute the force of dropped materials (see figure 4). Plywood covers should also be placed over decorative roof embellishments such as finials and balustrades. Alternately, horizontal netting can be rigged to shield vulnerable rooftop fea-

Facades that are directly exposed to adjacent construction sites should

Other byproducts of new construction and demolition, such as dirt and dust, can also pose threats to an adjacent historic structure. Dust suppression measures including the installation of fabric enclosure systems should first be employed at the building site (see figure 5). Despite these efforts, historic building owners will undoubtedly have to deal with raised levels of dust infilreceive close attention. To avoid damtration. Accordingly, vulnerable interi-

age, windows should be covered with

plywood. Layers of cushioning materi

als can be placed between the plywood

covering and particularly fragile win-

dows, such as stained glass. If entire

wall surfaces are vulnerable, scaffold-

facade and debris netting placed on the

sheeting can provide added protection

in areas where acidic cleaning solu-

toric structure from physical impact,

however, is often to have adequate hor-

izontal and vertical netting and barriers

in place at the construction site. When

adjacent buildings are adequately con-

sidered in the construction site netting

and scaffolding plans, protective mea-

intrusive, and the likelihood of damage

sures at the historic site can be less

reduced even further.

**Additional Dangers** 

windows and other surfaces.

tions may splash onto historic facades

The best means of protecting a his-

ing should be erected against the

outside of the scaffolding. Plastic



Figure 4. Dropped equipment, tools, and materials all present risks when new construction rises above neighboring historic structures. In this case, the historic slate roof was completely covered with sheets of exterior grade plywood. Photo: National Park Service files.

Figure 6. A seismograph records vibrations transmitted at the ground level of an historic building The instrument is wired to a light and siren designed to warn the excavation crew that vibration levels are approaching preset limits. Additional sensors are often installed in the basement and on sensitive features such as stained glass windows. Photo: Wilson, Ihrig & Associates, Inc.

each visual inspection. Such a systematic written record may also prove useful if disputes arise over the iming of and responsibility for damage.

Protecting a historic building from

adjacent construction or demolition

the physical integrity of the historic

structure.

### Conclusion

activity requires thoughtful planning PACIFIC GROVE CA. and cooperation between the developer and the historic property owner. Thorough pre-construction documentation of the historic structure ensures a common understanding of present conditions and suggests appropriate damage prevention measures that can be FAX taken at both the historic site and the EMAIL construction site. A routine program of visual inspection and vibration and WEB movement monitoring helps insure early detection of the effects neighbor ing construction work is having on the historic building. Early consideration of these issues, before damage takes place or worsens, can allow for the adoption of safeguards that protect the developer's schedule and budget and

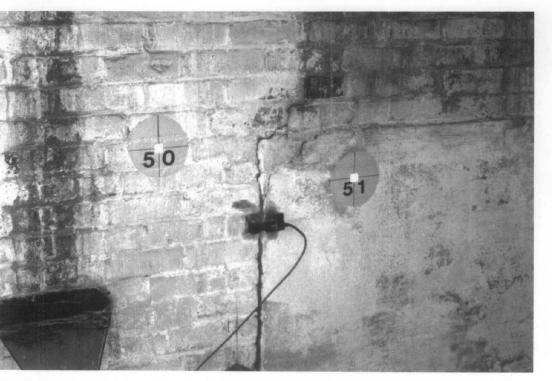


Figure 7. Electronic crack monitor and survey targets are shown installed on an existing wall. The crack monitor feeds movement data to a laptop computer. The targets are aligned and measured with optical survey equipment to determine the degree and direction of movement. Photo: McMullan and Associates. Inc.

### dent review of excavation procedures and a range of other precautions. Cooperation between all parties can help to ensure that construction activity continues without interruption and that he neighboring historic building is

preserved unharmed. The information provided in this Tech Note can serve as a basis for discussions between the historic property manager and the developer of the adjacent site aimed at ensuring the protection of the historic building in a costeffective manner. This guidance is also applicable where new construction is undertaken on the same site as the historic structure

Although adjacent construction work often poses a more immediate threat than the incremental impacts of weather or pollution, the best defense for both situations is that buildings be in good condition. A well maintained structure with tight mortar joints, strong connections between interior and exterior walls, solid foundations and sound plaster is at less risk from neighboring activity than a neglected

Providing adequate protection involves the following steps: 1. consultation between the historic building owner and development team to identify potential risks, negotiate changes and agree upon protective measures; 2. documentation of the condition of the historic implementation of protective measures

building prior to adjacent work; 3. at both the construction site and the historic site; and 4. regular monitoring during construction to identify damage, to evaluate the efficacy of protective measures already in place, and to identify and implement additional corrective steps.

### Consultation

Early consultation between the historic property owner and the developer of the neighboring construction site is the first and often most important step. Establishing such contact has many advantages. Consultation provides the foundation for a mutually beneficial relationship that is cooperative rather than adversarial. The process gives the historic site owner an opportunity to become familiar with the scope of the impending project and for the development team to understand the historic structure's vulnerabilities. Consultation permits all parties a chance to propose, discuss, and negotiate changes to the construction plan that reduce the risk of damaging adjacent historic

resources. The ultimate goal is to draft a protection plan acceptable to both

Resolving concerns before construction is underway can save time and money, as well as the need to repair damaged historic fabric. It is crucial that such discussions take place during the paper stage of the project, before final decisions are made. If not, the developer may conclude that changes would be cost prohibitive and that it is preferable to repair damage after it takes place. Early consultation also provides information that can be used to assess whether the level of insurance coverage is sufficient to meet the spe-

cific project risks The owner of a historic property cannot in most cases compel the support and cooperation of the development team. If, after consultation has been attempted, the level of protection provided is not sufficient, the aid of local building officials should be sought. Local building officials, through the permitting process, can often insist that changes be made to development plans to ensure that adiacent properties are protected. Local building codes may also provide safe-

guards by establishing certain conditions such as maximum vibration levels. Other parties can also participate in and contribute to the consultation

SOLID ROOF PROTECTION, CONSISTING OF PLYWOOD OVER PLANKS IS SUPPORTED BY ALUMINUM LEDGERS RESTING n eitherform padding on the Roof RIDGE BRACKET SOLID WINDON PROTECTION ENSIONED CABLES ANCHORAGE IN SUPPORTED BY BOAN SPANNING THE BUTTRESSES

Figure 1. Before new construction was undertaken to the left of this church, a subcontractor was hired to design a protective system for the tile roof and clerestory windows. Drawing: Alan Shalders, Universal Builders Supply, Inc.

### Vibration

Demolition and new foundation work are common sources of vibrations that can affect adjacent structures. The tools and methods used in demolition. such as impact hammers, wrecking balls, pavement breakers and implosion blasting, produce vibrations that may be transmitted to the historic structure. Similarly, techniques used to prepare new foundations (pile driving and blasting) create potentially dangerous vibrations. Vibrations may also be caused by increased truck traffic accompanying new construction or demolition work. In all cases, the force of the vibrations reaching the adjacent historic structure depends upon the activity generating the vibrations, the distance between the source and the existing structure, and the type of soil or pavement found between the

Historic structures may be particularly vulnerable to the effects of vibrations generated at an adjacent site. Deferred maintenance and past alterations may have produced structural weak points that are susceptible to damage. Historic finishes, such as plaster walls and ceilings, lack the flexibility to accommodate abnormal movement, while shallow foundations (common in historic buildings) may lack the rigidity to resist vibration induced movement

> Mitigating the effects of vibrations should begin during the consultation process when acceptable levels can be set and alternative processes explored. Hand demolition is an appropriate substitute when conventional demolition activities may cause excessive vibrations. If pile driving is likely to damage adjacent structures, the contractor may be able to employ non-displacement piles that are inserted in bored holes rather than driven. Lower vibration levels can also be achieved by "jacking-in" or pressing the piles into the ground. Locating delivery entry and exit points farther from the historic site may reduce vibrations caused by increased vehicular traffic. Once construction is under way, continual crack and vibration monitoring provides an effective warning system, indicating that established safe thresholds have been crossed.

### Movement

Excavation and foundation work can also cause ground displacement and movement of an adjacent historic

building. New construction almost invariably calls for digging a foundation that is much deeper than the foundations of neighboring historic buildings. This is especially true for projects that include underground parking facilities. A historic structure, with a shallow masonry or stone foundation and wall footings, may experience cor-

responding displacement that can result in major structural damage. Efforts to control movement should begin during the consultation phase. Whether the developer's engineer selects underpinning or strengthened excavation walls with tie backs as the means to resist movement of the adjacent structure, the historic building team should retain its own engineer to review the plans (see figure 3). The consulting engineer should ensure that the selected approach addresses the unique characteristics and vulnerabilities of the historic structure and that

A well functioning water drainage system is essential to the protection of any historic structure. This system can easily be rendered ineffective by neighboring construction or demolition work. Debris originating at the construction site often finds its way to the gutters, downspouts and drains of an

even incidental movement is restricted.

adjacent building. Drainage mechanisms may also become inoperable when excavation workers inadvertently seal off or collapse old pipes running from neighboring buildings. If blocked pipes cannot remove water from both above and below the surface of an historic site, excessive moisture levels or flooding may result.

Figure 2. With advanced notice of adjacent construction activity, a crack monitor can be used to

determine whether existing cracks in the historic building are stable or still experiencing movement.

compared with measurements taken during the monitoring phase, such information can help deter-

mine if subsequent movement resulted from work on the neighboring site. Photo: Avongard Products

Regular visual inspections (part of the monitoring program described later) are one of the best means of thwarting increased moisture levels. The inspection procedure should include checking gutters, valleys and exposed drains for any obstructions. Also, indications of dampness or water damage in the basement and where gutters and downspouts meet other building surfaces should be noted. Construction site runoff from

cement mixing and cleaning and dust suppression activities should not flow toward the historic property. Although placing screens and wire cages over exposed areas of the drainage system may provide some protection from obstructions, such installations need to be inspected just as frequently. Lowpressure water washes can occasionally be used to flush the system of dirt and debris. To reduce the possibility that drainpipes will be blocked at the adjacent construction site, all concealed pipes should be traced from their origins at the historic structure and the

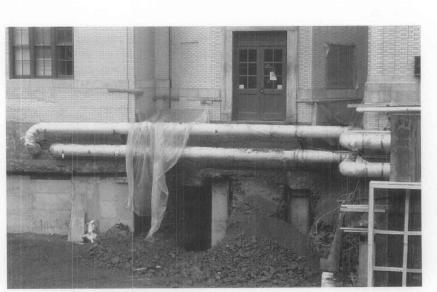


Figure 3. Concrete pier underpinning to an existing building may be necessary when adjacent construction occurs. In this example, pits are hand dug beneath the foundation of the historic building to provide space for wood forms. After concrete is poured into the forms, the space between the top of the pier and the bottom of the original foundation is packed with a quicksetting grout. The historic building owner should retain an independent engineer to ensure that the underpinning plan adequately protects the historic structure. Photo: Professor Arpad Horvath, Department of Civil and Environmental Engineering, University of California, Berkeley.

Figure 5. The historic building on the left is partially protected from debris and dust generated by the renovation of the structure to the right. Such temporary enclosure systems consist of a polyethylene or other fabric shell stretched between an aluminum frame. Photo: Walton Technology, Inc.

or objects and artifacts should be covered or temporarily moved to another location. Windows can be taped shut or temporarily sealed with clear polyethylene sheets. Additional mats or carpets near entrances can help reduce the amount of dirt tracked inside. An accelerated maintenance program that includes thorough and frequent cleaning and HVAC filter replacement, is an effective means of addressing the degraded environment surrounding a construction site. To lessen the chance of airborne asbestos infiltration, the exhaust from sealed work areas must be properly filtered and vented away from historic buildings.

The owner of a historic property should anticipate the increased rodent and pest presence that accompanies major demolition activity. Newly opened holes in old foundations are easy escape routes that should be promptly sealed. The construction or demolition site rodent control plan should include provisions for protecting adjacent historic resources. Concurrently, the historic property owner should consider securing a contract with an independent extermination company. Plans should include both preventive measures to reduce conditions favorable to infestation as well as a system of eradication such as rodenticide and traps.

### Monitoring

A monitoring program should be established during the consultation and documentation phases and continued until adjacent work is finished. It is undertaken to detect, gauge, record and interpret structural movement, the effects of vibration and other changes to the historic building that result from neighboring construction or demolition work. Data collected during the monitoring program can serve as a baseline for any subsequent movement or changes to site drainage patterns that arise within the first years after construction is completed. Ultimately, monitoring shows the degree to which steps

taken to protect an historic structure from adjacent construction are sufficient and successful. Because of liability concerns, those responsible for a new development will often arrange to monitor an adjacent structure. As with a documentation program, the historic property owner may want to hire an independent engi neer to review both the monitoring process and the measurements that

The extent of the monitoring program and the tools used will depend upon the scope of the adjacent activity. A basic plan to address concerns over vibration levels may include a single seismograph placed on the structure's

throughout the structure and the ground immediately adjacent to the historic building foundation (see figure 6). Whether acceptable vibration levels are mandated by law or left to the dis-

pasement floor. More comprehensive

measurements can be obtained by

locating sensors at several points

cretion of a project engineer, thresholds should take into account surrounding soils, the makeup and condition of the adjacent foundation and the particular vulnerabilities of the historic resource. Construction projects that involve major excavation work next to historic structures should include a program of test blasting before work begins. Testing various charges, delays and blast design configurations will aid in developing a controlled program that imits blast induced damage to a neighboring property.

Structural movement as described in he preceding section is detected and recorded using a number of different tools. Electronic monitors that feed precise movement measurements to laptop computers can be placed across existing cracks (see figure 7). When budgets are tight or a large number of cracks are involved, inexpensive telltales made from two sheets of overlaid plastic with a grid can be used to track

Optical survey instruments provide

another means of detecting vertical and

lateral movement within a historic

building. Control points are established and marked by targets or reflectors on the historic structure facade and interior walls before adjacent construction begins. The location of each of these markers is precisely measured at regular intervals. Engineers then use the resulting information to determine whether the markers have shifted from their original positions and, if so, the rate and direction of movement. A program of visual inspections undertaken by a qualified conservator or engineer is an important adjunct to technical monitoring procedures. Inspectors should look for newly opened cracks, other signs of settlement and movement, and evidence of increased dampness or water infiltration. Additionally, visual inspections should ensure that temporary protective coverings are secure, that dust and dirt are not accumulating in the historic building, and that fire and hazardous material protection provisions are being upheld. A checklist can be drawn up during the consulting and documentation phases for use during

### Checklist for Historic Property Owner and Historic Site

- Consult with developer, and other parties to determine extent of work and identify necessary protective measures
- Conduct survey of existing conditions, including 35 mm photographs, crack inventory and description of other damage Include historic building in construction site fire plan
- Secure windows and rooftop doors that are made accessible by new construction Remove particularly fragile interior objects and furnishings from site
- Install temporary supports beneath fragile features that are not moved
- Place plywood coverings on openings that face construction area If adjacent construction rises above historic site, protect roof with plywood covering, encase rooftop embellishments
- If construction is directly adjacent, cover historic facade to protect against mortar and acidic cleaning solution Install temporary floor coverings at entrance and seal windows facing construction site to limit dust infiltration
- Remove dust from interior surfaces on accelerated schedule
- Clean HVAC system & filters on accelerated schedule Clear obstructions from gutters and drainage system regularly
- Establish monitoring program, including: 1) Seismographs to ensure that effects of blasting, pile driving and other work are at acceptable levels
- 2) Crack monitors and optical survey methods to detect movement 3) Schedule of regular visual inspection

### **Checklist for Development Team and Construction Site**

- Consult with historic property owner and other relevant parties to identify necessary protective measures Review and sign off on pre-construction condition survey of adjacent property Arrange delivery locations and times to limit disruption and possible damage to neighboring historic structure
- ☐ Explore excavation and demolition methods that produce low vibration levels
- Limit movement of adjacent building with sufficient underpinning or reinforced excavation walls
- Reduce changes to adjacent ground water level during dewatering Ensure water runoff is not directed toward historic structure
- ☐ Install appropriate debris nets to prevent dropped materials from impacting historic building
- ☐ Direct debris chutes away from historic structure Install fabric enclosure system to reduce spread of construction dust
- ☐ Include adjacent historic building fire plan and ensure fuels, rags and brushes are stored appropriately and not directly adjacent to historic site
- ☐ If asbestos or lead remediation is involved, ensure exhaust from sealed building is filtered and vented away from historic site and that lead chips are gathered and removed
- Include adjacent historic structure in rodent control program and seal openings in demolished foundation Participate in monitoring program at historic site to ensure that vibration levels or indications of movement are within established thresholds

This PRESERVATION TECH NOTE was prepared by the National PRESERVATION TECH NOTES are designed to provide practical Park Service. Charles E. Fisher, Heritage Preservation Services, information on traditional practices and innovative techniques for serves as the Technical Editor. Special thanks go to Deborah Slaton successfully maintaining and preserving cultural resources. All and Michael J. Scheffler, P.E., of Wiss, Janney, Elstner Associates, techniques and practices described herein conform to established Inc., Sharon Park, Kay Weeks and Michael Auer of the National National Park Service policies, procedures and standards. This Tech Park Service's Heritage Preservation Services, and Marie Ennis of Einhorn Yaffee Prescott for their review and comments. Thanks also go to Denis McMullan, McMullan and Associates; Richard Ortega, PE, Ortega Consulting; Dorothy Richter, Hager-Richter Geoscience, Inc.; George Siekkinen and Gregory Mixon, National Trust for Historic Preservation; Suzanne Pentz, Keast & Hood Co. Mark Richards, Moretrench American Corporation; Dr. Edward J. Cording, Department of Civil and Environmental Engineering, University of Illinois; Mark Gaudschaal, Schnabel Foundation Co William Stivale; Robert M. Powers, Powers and Associates; Martin

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Preservation Services NC200, National Center for Cultural Resources, National Park Service, 1849 C Street, NW, Washington, DC 20240.

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> HISTORIC **PRESERVATION CONDITIONS**

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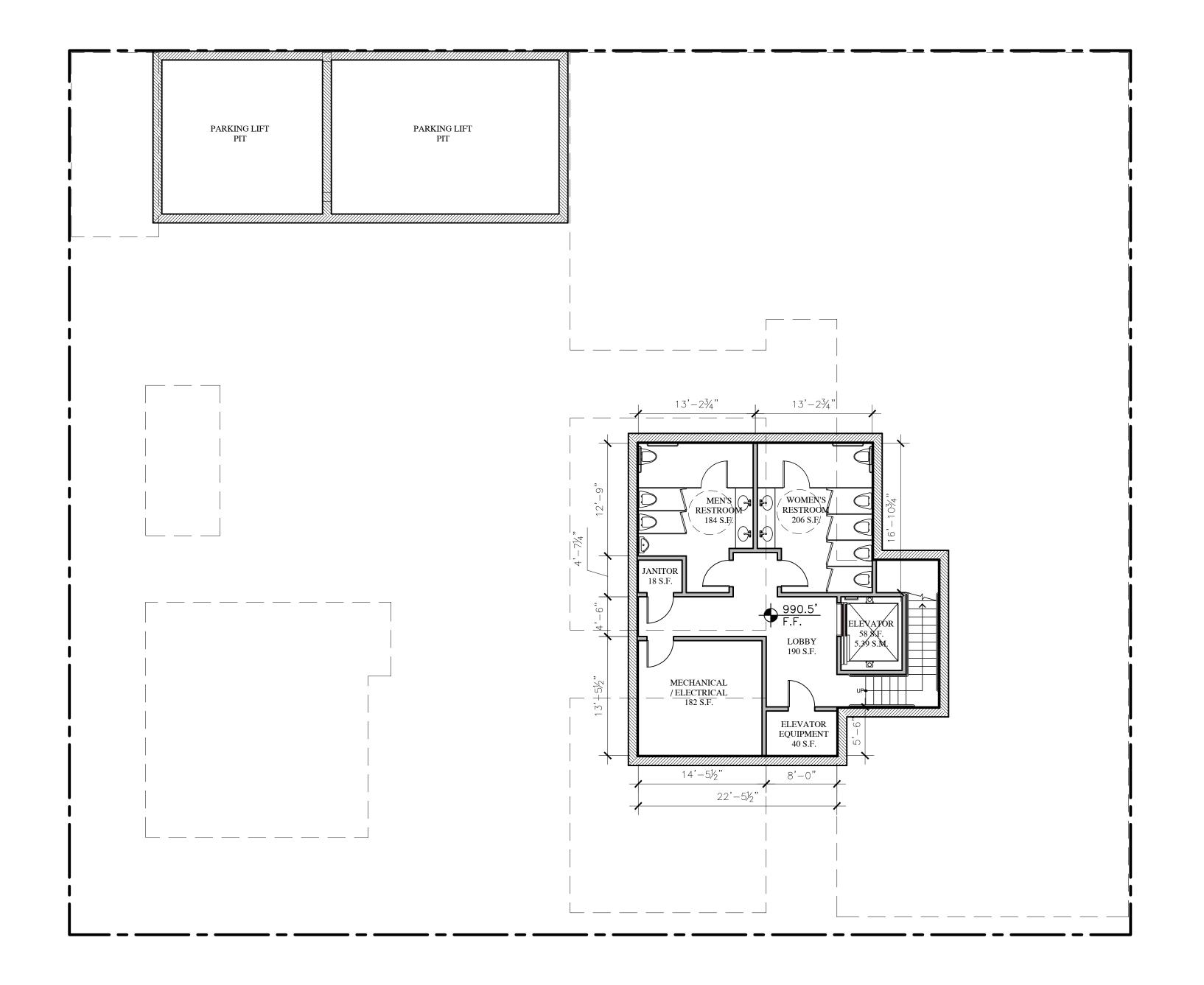
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DATE: NOVEMBER 21, 2024

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<u>PLAN UPDATE</u>

P.C. SUBMITTAL



0 1.25M 2.5M 1/8"=1'-0" WALL LEGEND



2X6 EXTERIOR STUD FRAMED WALL 2X4 INTERIOR STUD FRAMED WALL, U.O.N. 2X4 INTERIOR STUD FRAMED WALL, U.O.N. JUN A. SILLANO, AIA ARCHITECTURE + PLANNING + INTERIOR DESIGN

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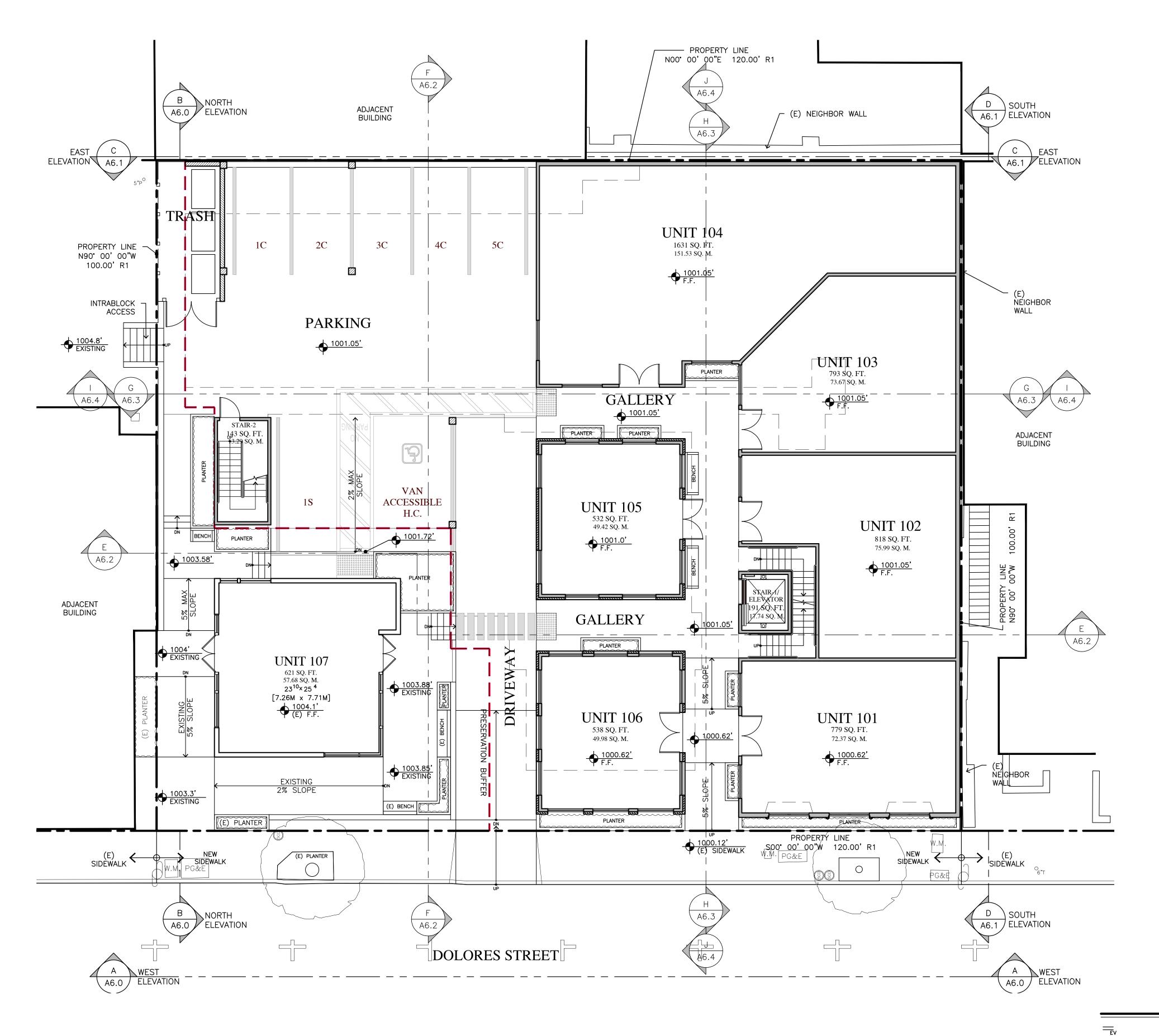
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**BASEMENT** PLAN

SHEET NO.

A2.0



PROPOSED GROUND FLOOR PLAN

6,046 SQUARE FEET / 561.7 SQUARE METERS

0' 4' 8' 16' 0 1.25M 2.5M 5M 1/8"=1'-0" WALL LEGEND

2X6 EXTERIOR STUD FRAMED WALL
2X4 INTERIOR STUD FRAMED WALL, U.O.N.
2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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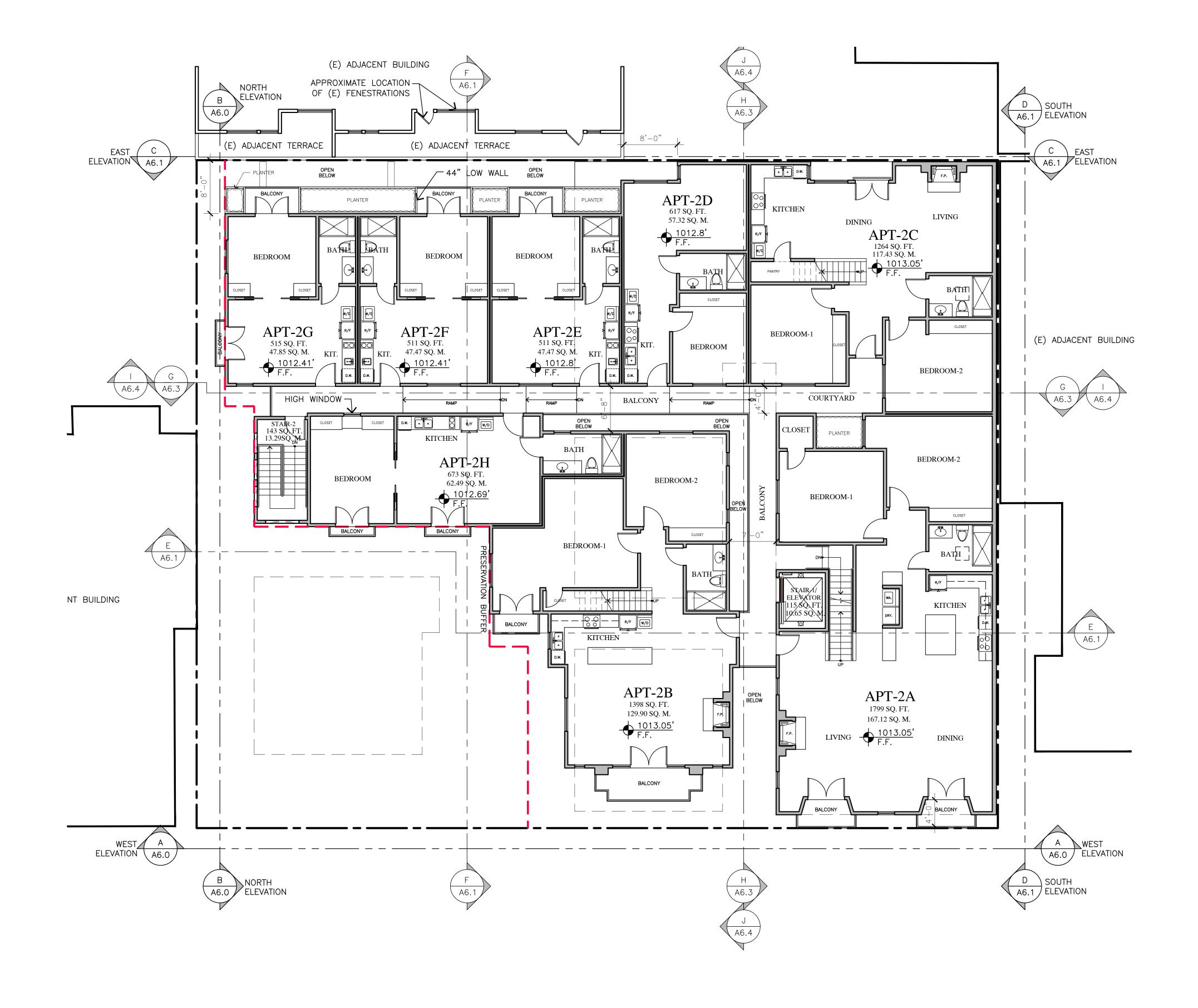
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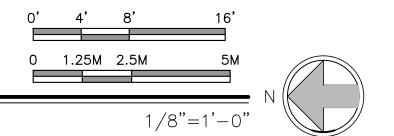
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\$\frac{1}{6}\$

GROUND FLOOR PLAN

SHEET NO.

A3.0







2X6 EXTERIOR STUD FRAMED WALL
2X4 INTERIOR STUD FRAMED WALL, U.O.N.
2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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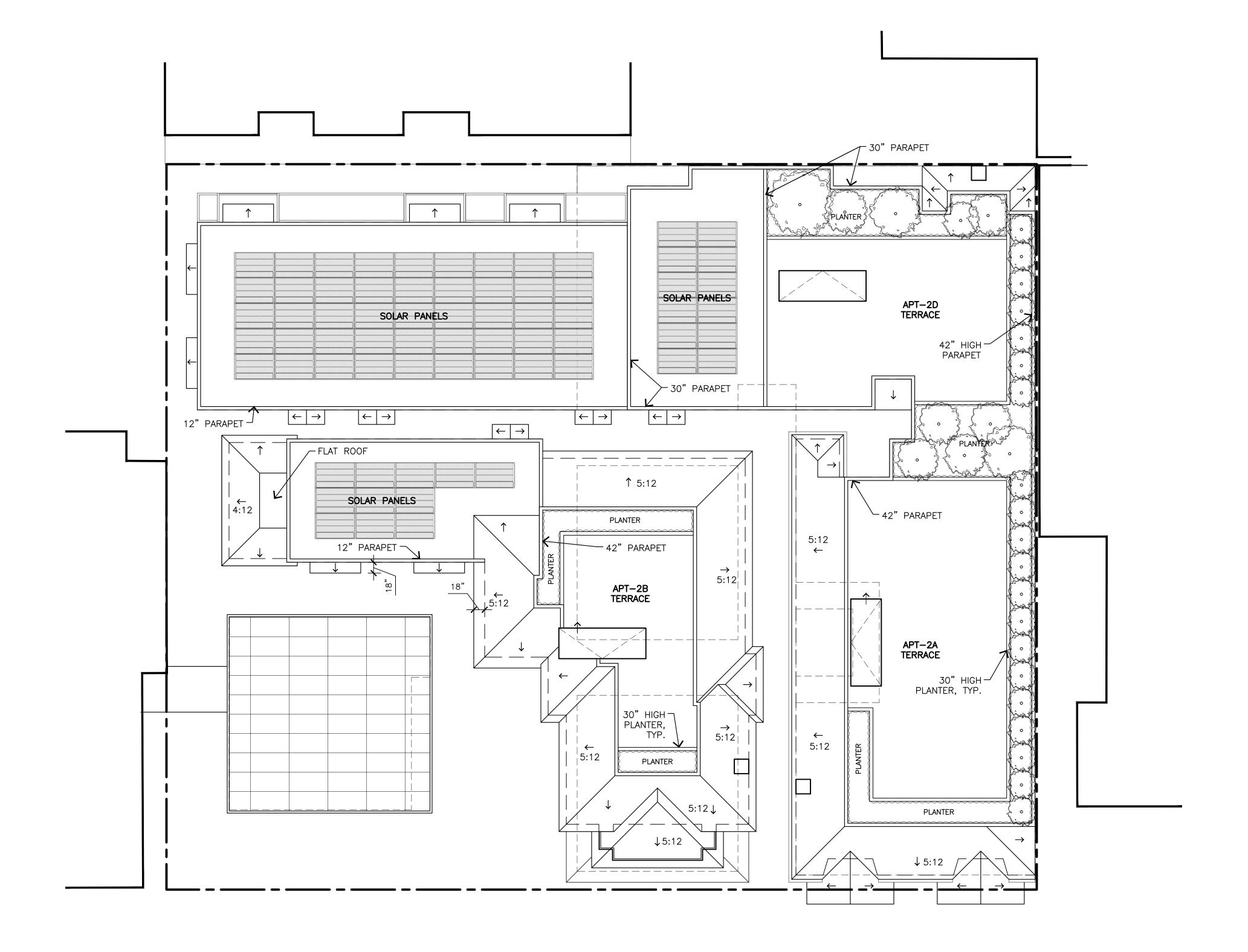
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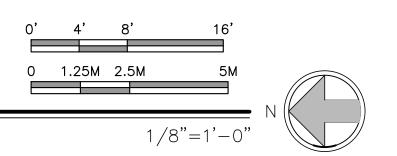
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SECOND FLOOR PLAN

SHEET NO.

A4.0





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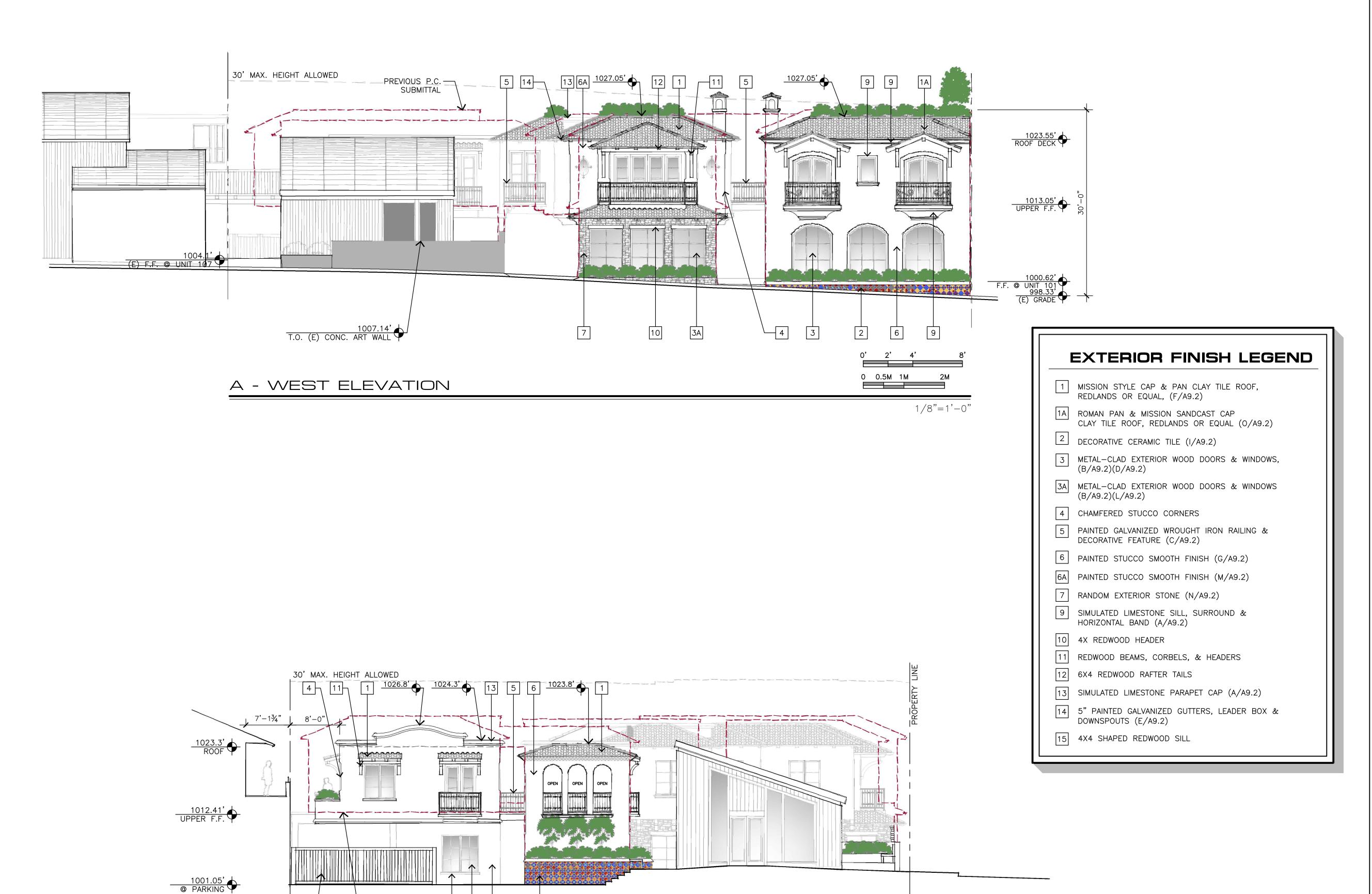
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<u>6</u>

ROOF PLAN

SHEET NO.

A5.0



0 0.5M 1M 2M

1/8"=1'-0"

PREVIOUS P.C. 15 3 6 SUBMITTAL

B - NORTH ELEVATION

6'-0" HIGH CEDAR FENCE — © TRASH ENCLOSURE JUN A. SILLANO, AIA

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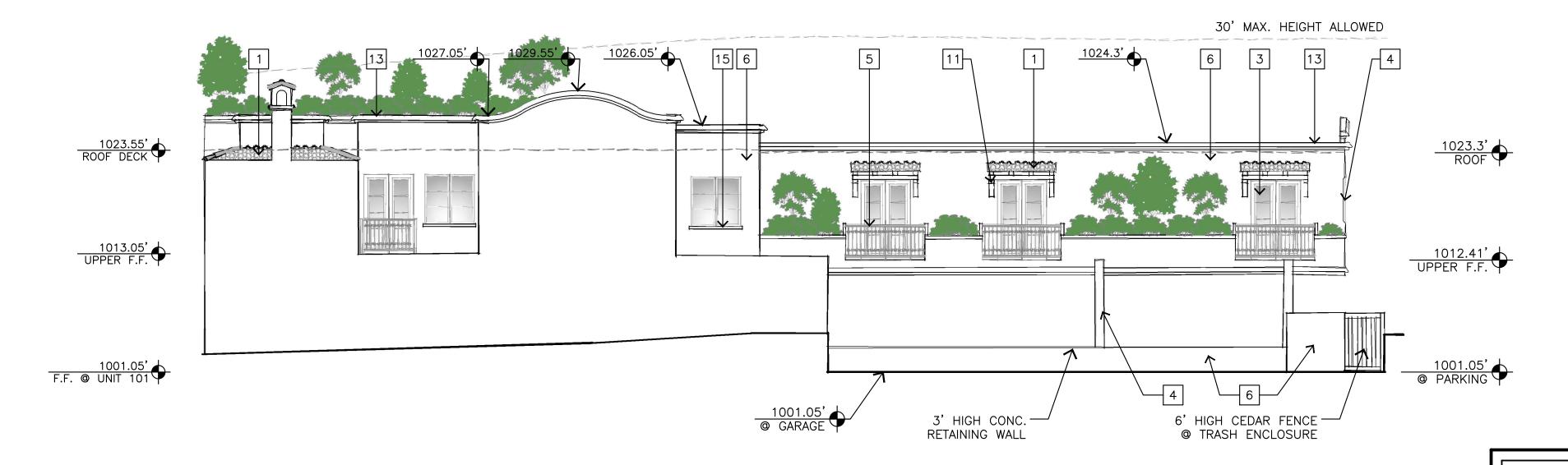
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<u>6</u>

**ELEVATIONS** 

SHEET NO.



C - EAST ELEVATION

D - SOUTH ELEVATION

0 0.5M 1M

0 0.5M 1M 2M

1/8"=1'-0"

1/8"=1'-0"

# 5 1023.55' ROOF DECK 1013.05' UPPER F.F. 1001.05' F.F. @ UNIT 101

1A ROMAN PAN & MISSION SANDCAST CAP CLAY TILE ROOF, REDLANDS OR EQUAL (0/A9.2)

3A METAL—CLAD EXTERIOR WOOD DOORS & WINDOWS

6 PAINTED STUCCO SMOOTH FINISH (G/A9.2)

7 RANDOM EXTERIOR STONE (N/A9.2)

9 SIMULATED LIMESTONE SILL, SURROUND & HORIZONTAL BAND (A/A9.2)

11 REDWOOD BEAMS, CORBELS, & HEADERS

5" PAINTED GALVANIZED GUTTERS, LEADER BOX & DOWNSPOUTS (E/A9.2)

### **EXTERIOR FINISH LEGEND**

1 MISSION STYLE CAP & PAN CLAY TILE ROOF, REDLANDS OR EQUAL, (F/A9.2)

DECORATIVE CERAMIC TILE (1/A9.2)

METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS, (B/A9.2)(D/A9.2)

(B/A9.2)(L/A9.2)

4 CHAMFERED STUCCO CORNERS

5 PAINTED GALVANIZED WROUGHT IRON RAILING & DECORATIVE FEATURE (C/A9.2)

6A PAINTED STUCCO SMOOTH FINISH (M/A9.2)

10 4X REDWOOD HEADER

12 6X4 REDWOOD RAFTER TAILS

13 SIMULATED LIMESTONE PARAPET CAP (A/A9.2)

15 4X4 SHAPED REDWOOD SILL

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DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

DATE: NOVEMBER 21, 2024

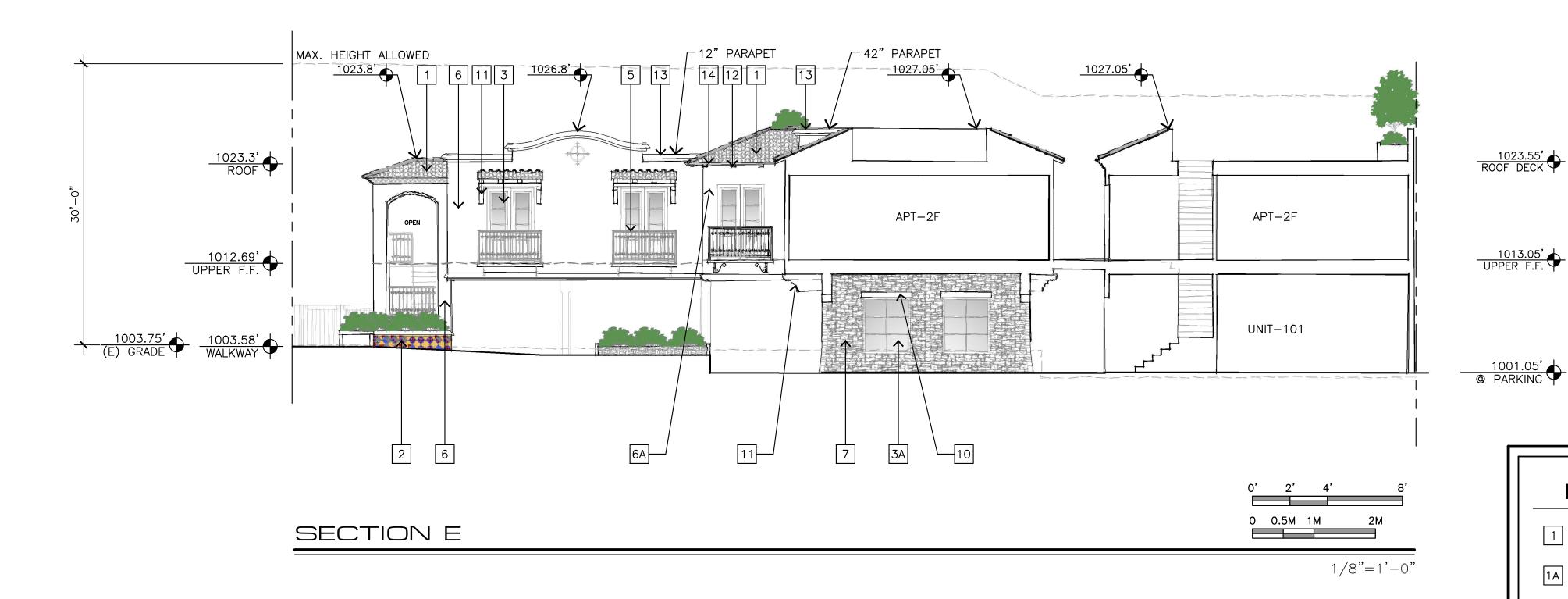
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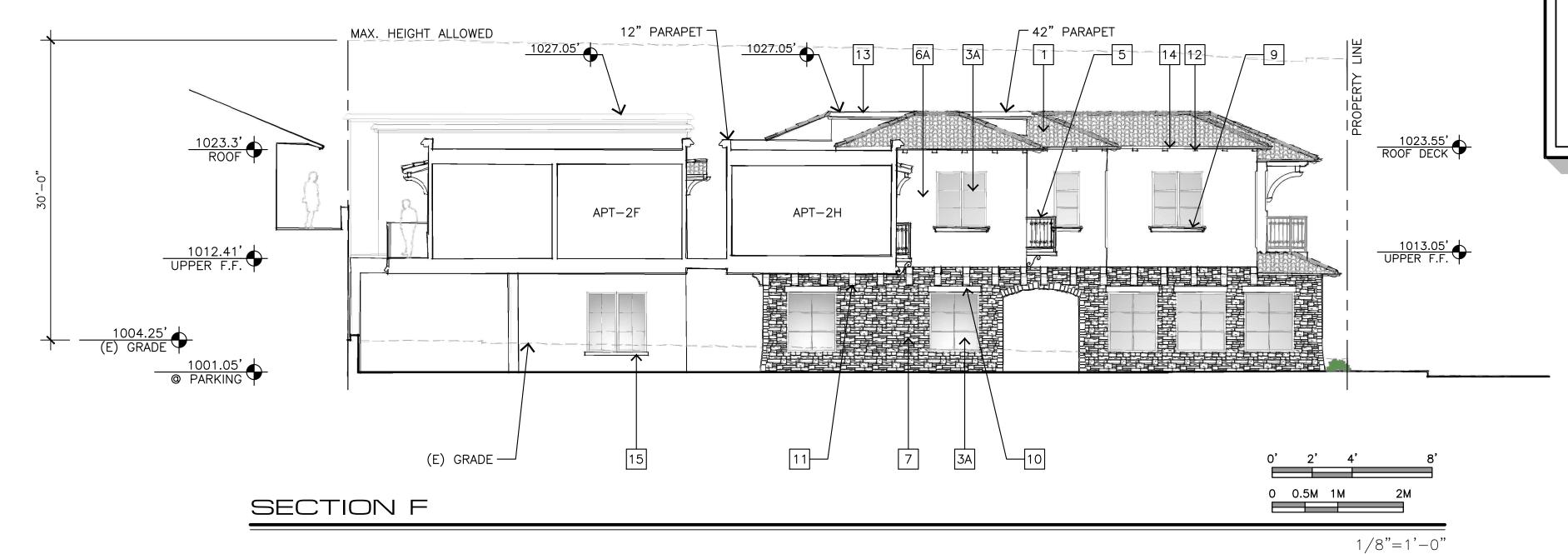
**REVISIONS:** 12/19/24

PLAN UPDATE

**ELEVATIONS** 

SHEET NO.





### **EXTERIOR FINISH LEGEND**

- 1 MISSION STYLE CAP & PAN CLAY TILE ROOF, REDLANDS OR EQUAL, (F/A9.2)
- 1A ROMAN PAN & MISSION SANDCAST CAP CLAY TILE ROOF, REDLANDS OR EQUAL (0/A9.2)
- DECORATIVE CERAMIC TILE (1/A9.2)
- METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS, (B/A9.2)(D/A9.2)
- 3A METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS (B/A9.2)(L/A9.2)
- 4 CHAMFERED STUCCO CORNERS
- 5 PAINTED GALVANIZED WROUGHT IRON RAILING & DECORATIVE FEATURE (C/A9.2)
- 6 PAINTED STUCCO SMOOTH FINISH (G/A9.2)
- 6A PAINTED STUCCO SMOOTH FINISH (M/A9.2)
- 7 RANDOM EXTERIOR STONE (N/A9.2)
- 9 SIMULATED LIMESTONE SILL, SURROUND & HORIZONTAL BAND (A/A9.2)
- 10 4X REDWOOD HEADER
- 11 REDWOOD BEAMS, CORBELS, & HEADERS
- 12 6X4 REDWOOD RAFTER TAILS
- 13 SIMULATED LIMESTONE PARAPET CAP (A/A9.2)
- 5" PAINTED GALVANIZED GUTTERS, LEADER BOX & DOWNSPOUTS (E/A9.2)
- 15 4X4 SHAPED REDWOOD SILL

JUN A. SILLANO, AIA

721 LIGHTHOUSE AVE PACIFIC GROVE CA. 93950

(831) 646-1261 EMAIL • idg@idg-inc.net WEB

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PROJECT/CLIENT:

JB PASTOR BUILDING

PROJECT ADDRESS:

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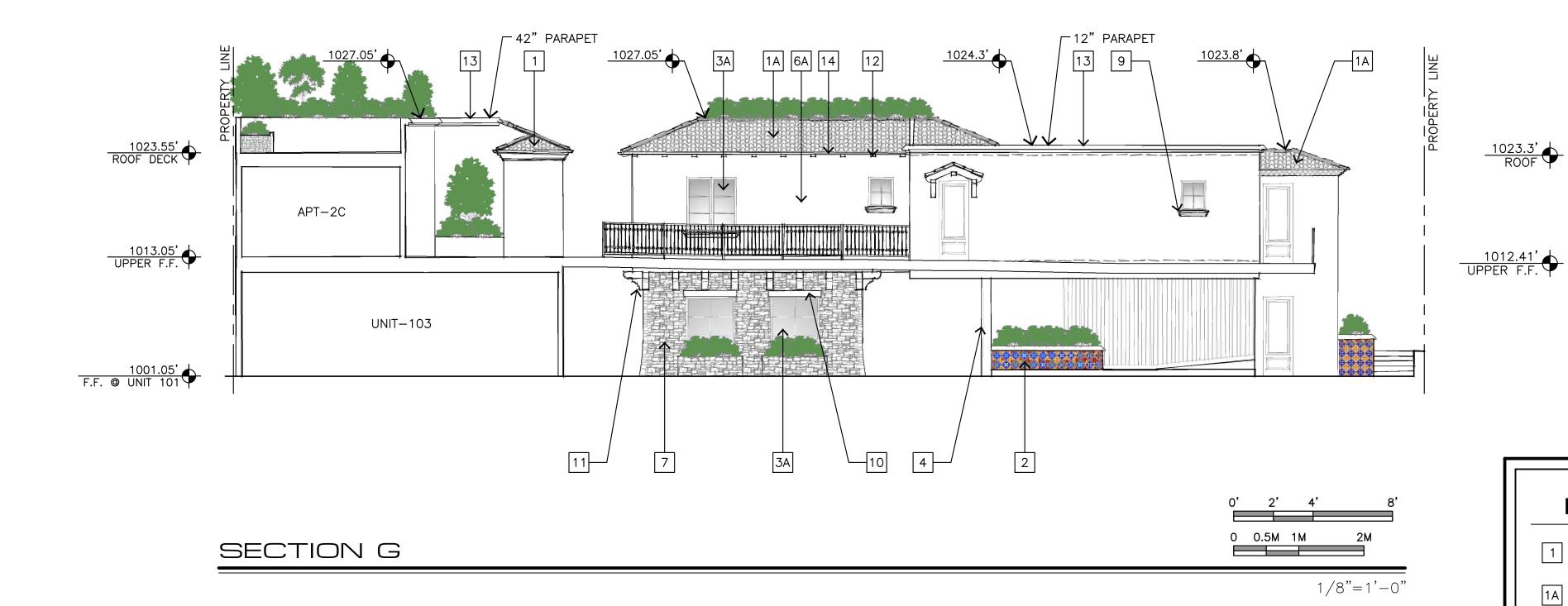
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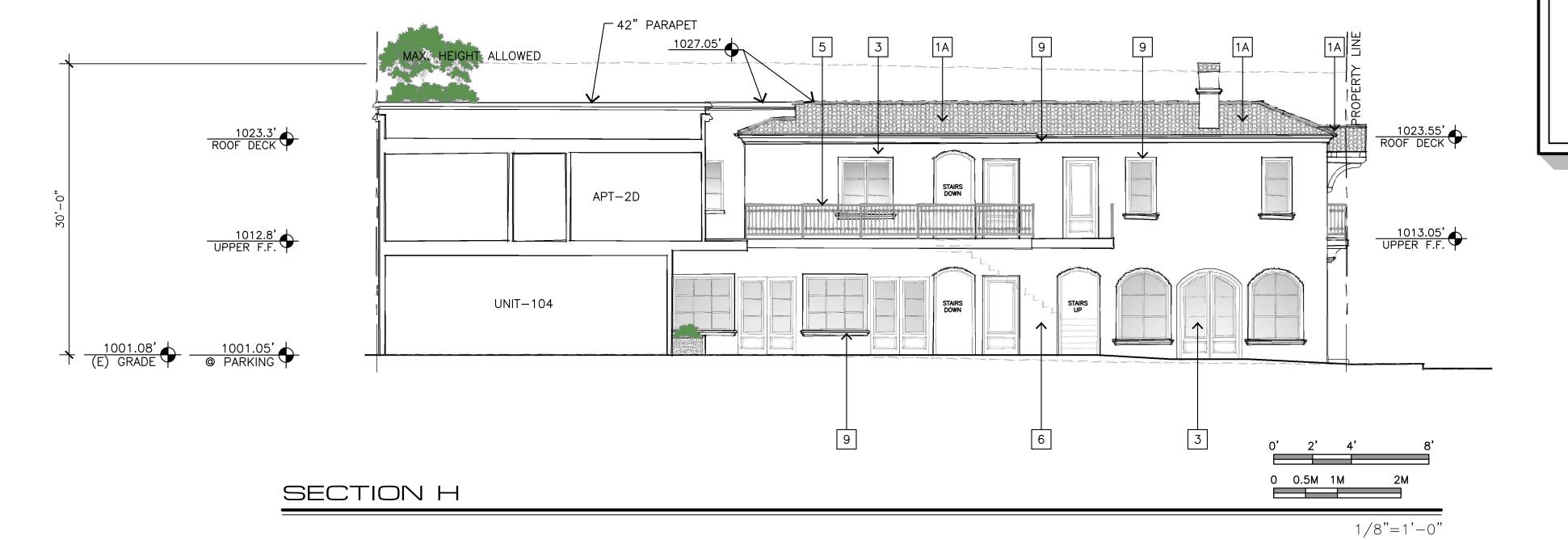
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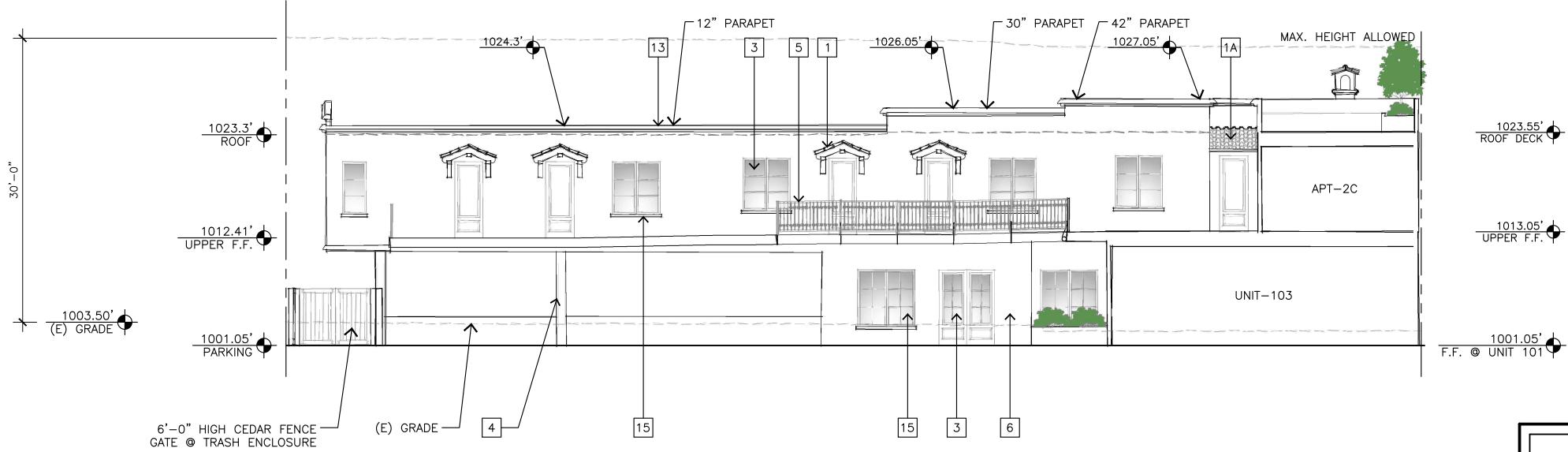
12/19/24
PLAN UPDATE

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ELEVATIONS

SHEET NO.



SECTION I

1/8"=1'-0"

1/8"=1'-0"

0 0.5M 1M

# 1023.55' ROOF DECK APT-2D 1013.05' UPPER F.F. UNIT-104 1001.05' F.F. @ UNIT 101 0 0.5M 1M 2M SECTION J

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idg@idg-inc.net

STAMPS:

EMAIL •

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<u>PLAN UPDATE</u>

**ELEVATIONS** 

SHEET NO.



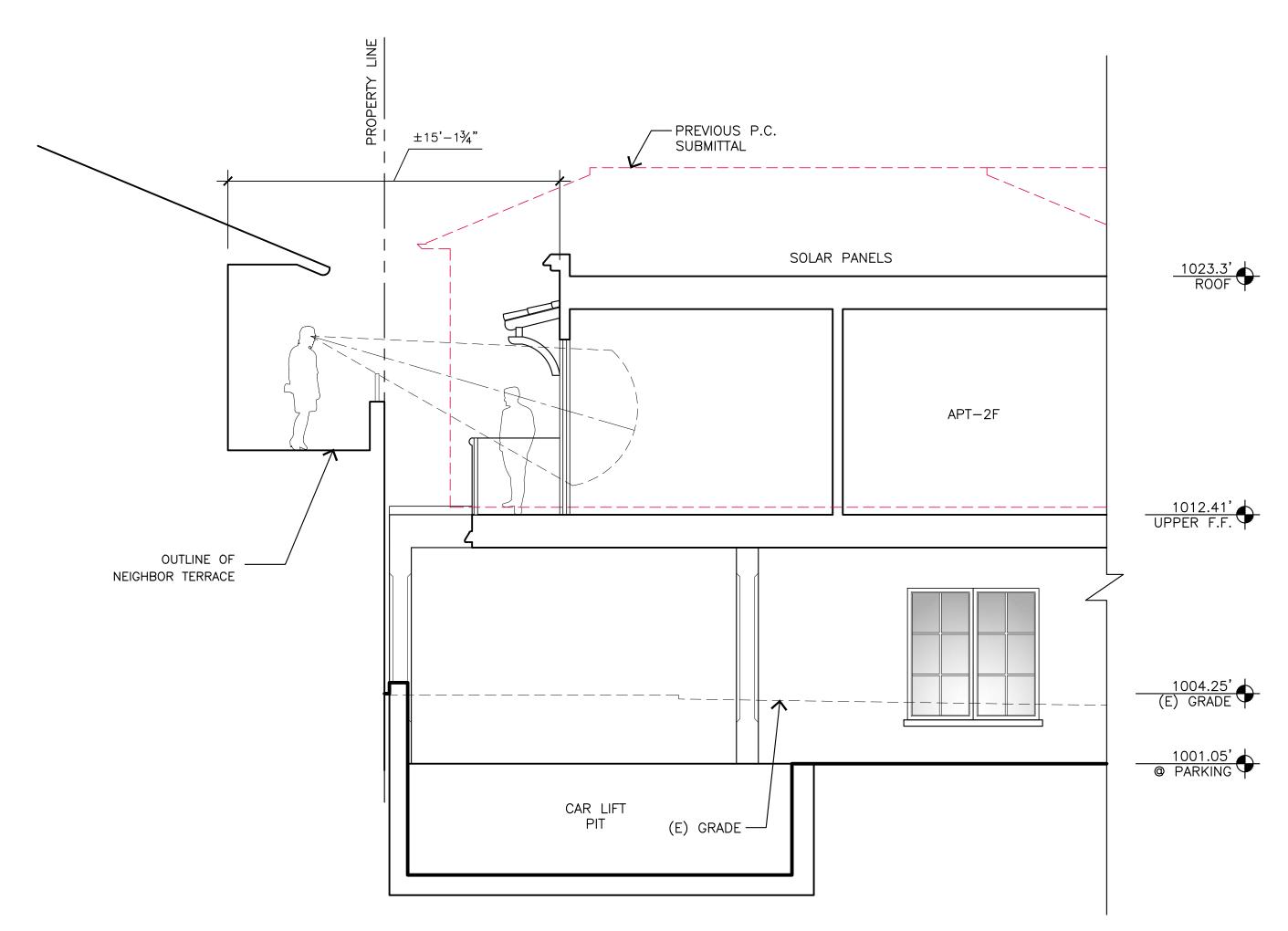
ADJACENT BUILDING

N.T.S.

N.T.S.



ADJACENT BUILDING



SECTION F - THROUGH ADJACENT BUILDING

1/4"=1'-0"

JUN A. SILLANO, AIA

SILLANO, AIA

ARCHITECTURE+PLANNING+INTERIOR DESIGN

721 LIGHTHOUSE AVE PACIFIC GROVE CA. 93950

idg-inc.net

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12/19/24 PLAN UPDATE

PLAN UPDATE

3

4

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ADJACENT BUILDING SECTION

SHEET NO.



BLDG, HT.: 30.85'
ABOVE SIDEWALK

BLDG, HT.: 31.2'
ABOVE SIDEWALK

DOLORES STREETSCAPE - WEST SIDE

DOLORES STREETSCAPE - EAST SIDE

JUN A. SILLANO, AIA

721 LIGHTHOUSE AVE PACIFIC GROVE CA. 93950

(831) 646-1261 (831) 646-1290

AIL I idg@idg-inc.net B I idg-inc.net

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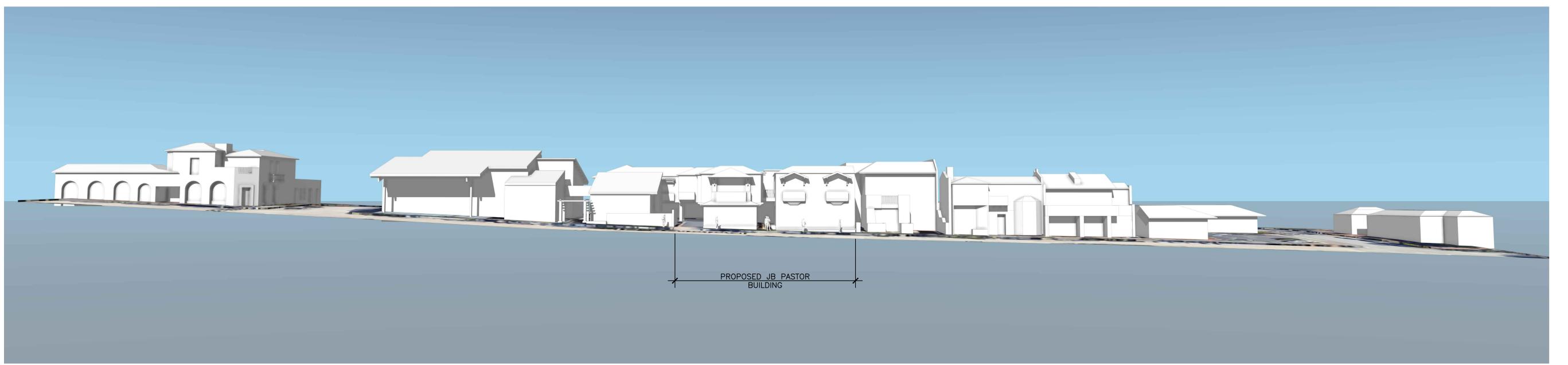
<u>A</u>

<u>/</u>3\ \_\_\_\_\_

STREETSCAPE ELEVATIONS

SHEET NO.

A8.1



STREET ELEVATION VIEW BETWEEN 7TH AND 8TH AVENUE



STREET PERSPECTIVE BETWEEN 7TH AND 8TH AVENUE LOOKING FROM NORTH TO SOUTH

THIS VIEW DEMONSTRATES THAT THE NEIGHBORING BUILDINGS HAVE A HIGHER ROOF LINE THAN THE PROPOSED JB PASTOR BUILDING



STREET PERSPECTIVE BETWEEN 7TH AND 8TH AVENUE LOOKING FROM SOUTH TO NORTH THIS VIEW DEMONSTRATES THAT THE NEIGHBORING BUILDINGS HAVE A HIGHER ROOF LINE THAN THE PROPOSED JB PASTOR BUILDING

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<u> 12/19/24</u>

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MASSING STUDY

SHEET NO.

A8.2





F - MISSION STYLE CAP & PAN CLAY TILE ROOF, TYP.

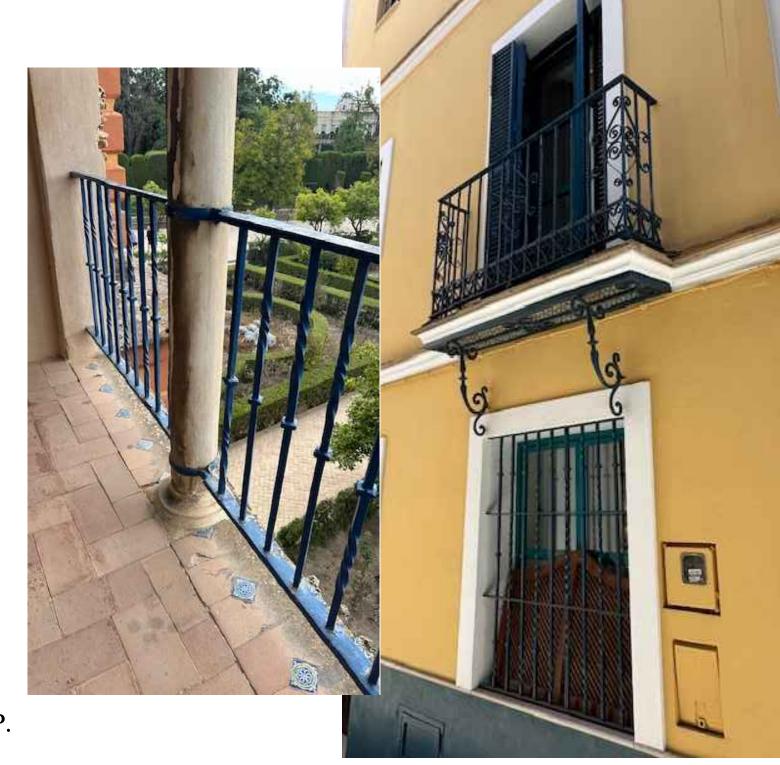


H - LIGHT FIXTURES - TYP.

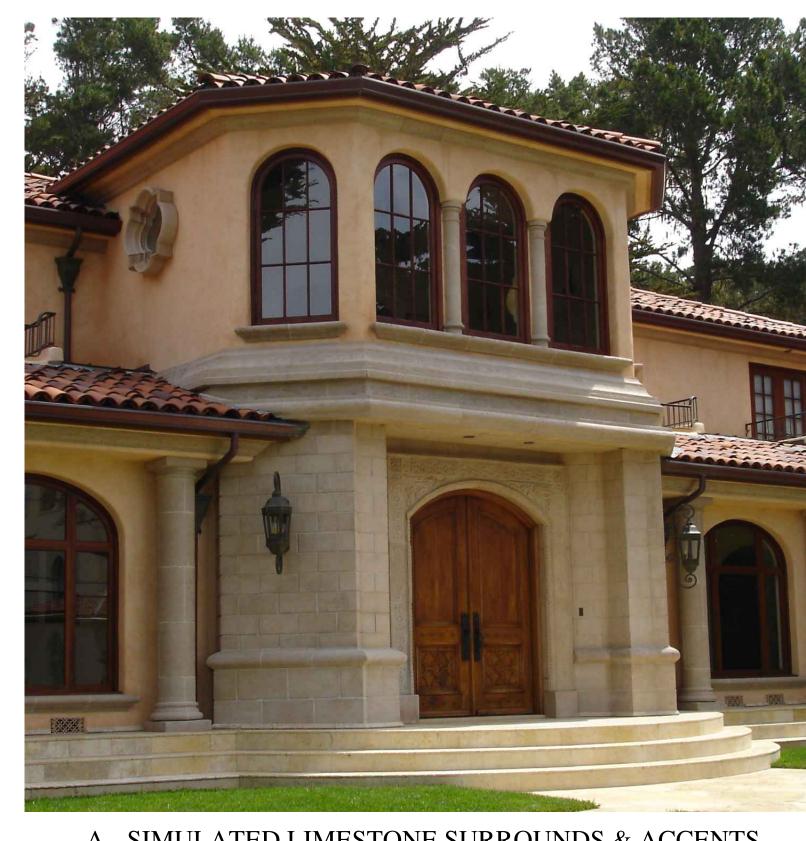
K - LIMESTONE TILE

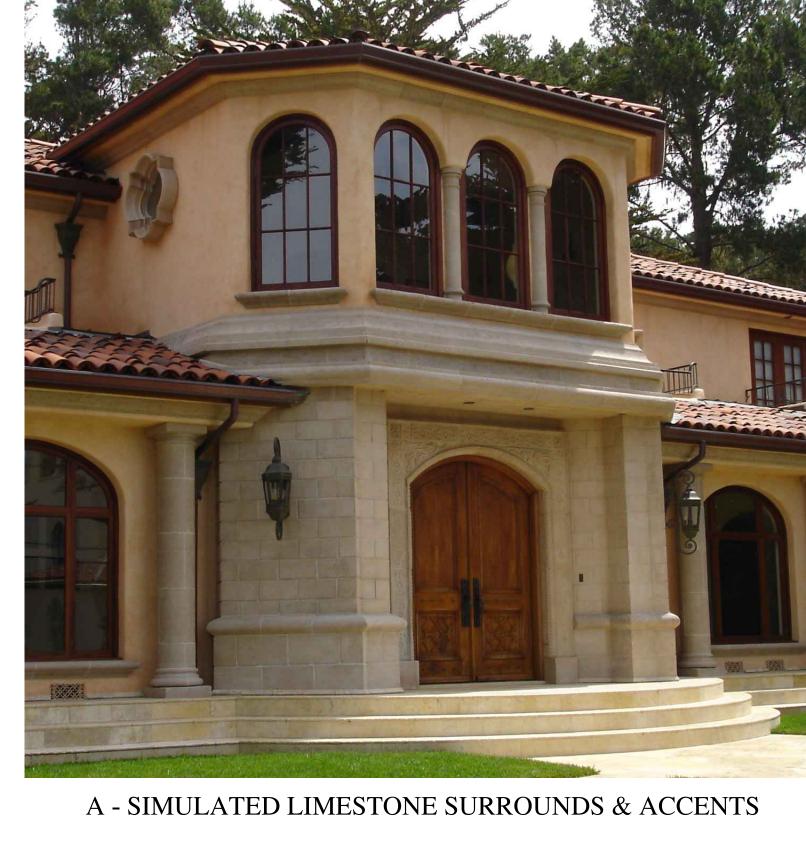


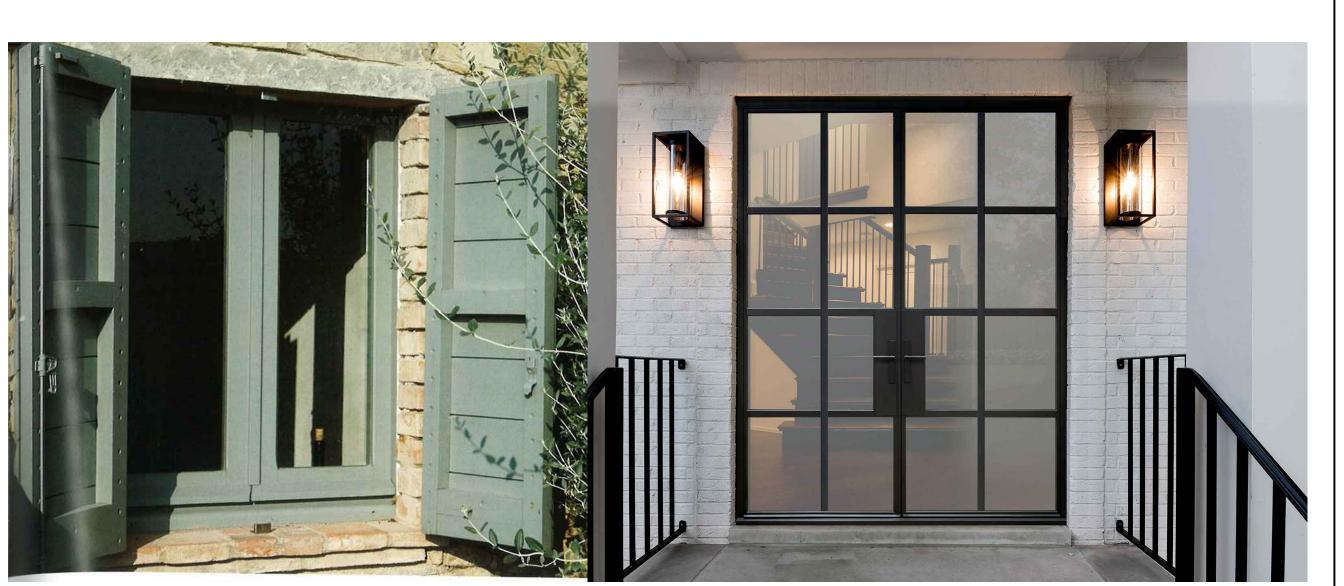
D - DOOR & WINDOW COLOR - TYP.



C - PAINTED IRON RAILINGS BRONZE COLOR - TYP.







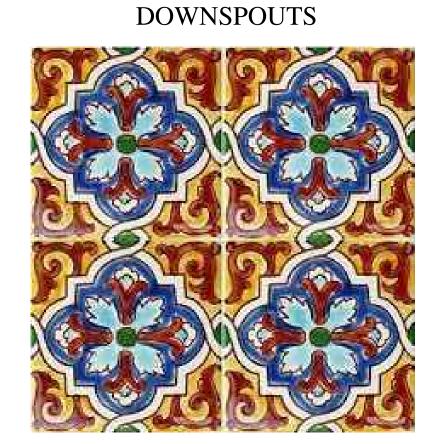
B - METAL CLAD EXTERIOR DOORS & WINDOWS -TYP.





HLS4212 Windsor Toffee

J - TOSCANA COBBLE STONE CONCRETE PAVERS



E - 5" HALF-ROUND PAINTED

GALVANIZED GUTTERS &

I - PLANTER CERAMIC TILE

# **BUILDING-2 ACCENTS**





O - ROMAN STYLE CAP & PAN CLAY TILE ROOF, BUILDING-2



N - EXTERIOR RANDOM STONE VENEER **BUILDING-2** 



HLS4201 Adobe White

M - PAINT SWATCH -BUILDING-2



Green Tea Leaf

L - DOOR & WINDOW COLOR -BUILDING-2

PROJECT/CLIENT:

STAMPS:

JB PASTOR BUILDING

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COLOR & MATERIAL SAMPLES

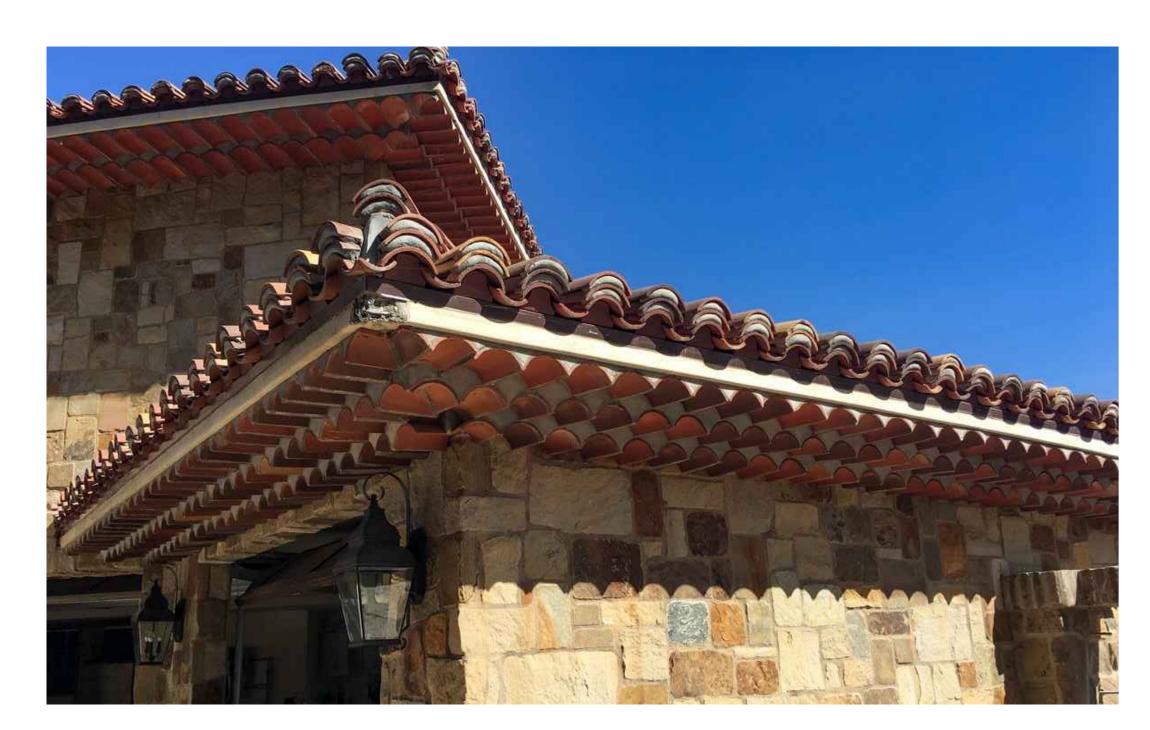
SHEET NO.

A9.2





PARAPET INSPIRATION

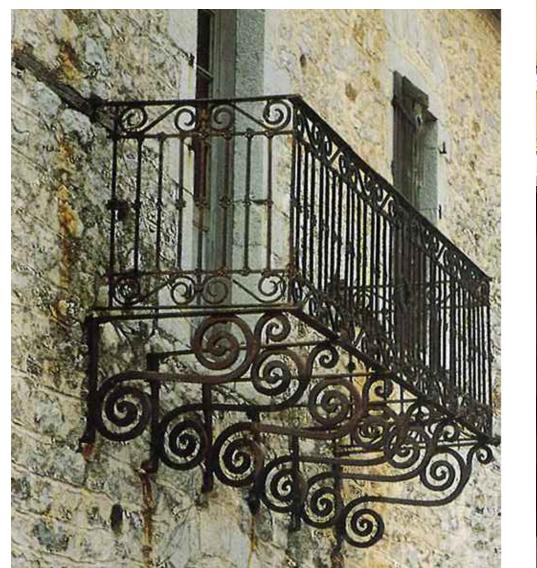






**ROOF INSPIRATION** 







**BALCONY INSPIRATIONS** 

	_	
32		

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INSPIRATION IMAGES

SHEET N

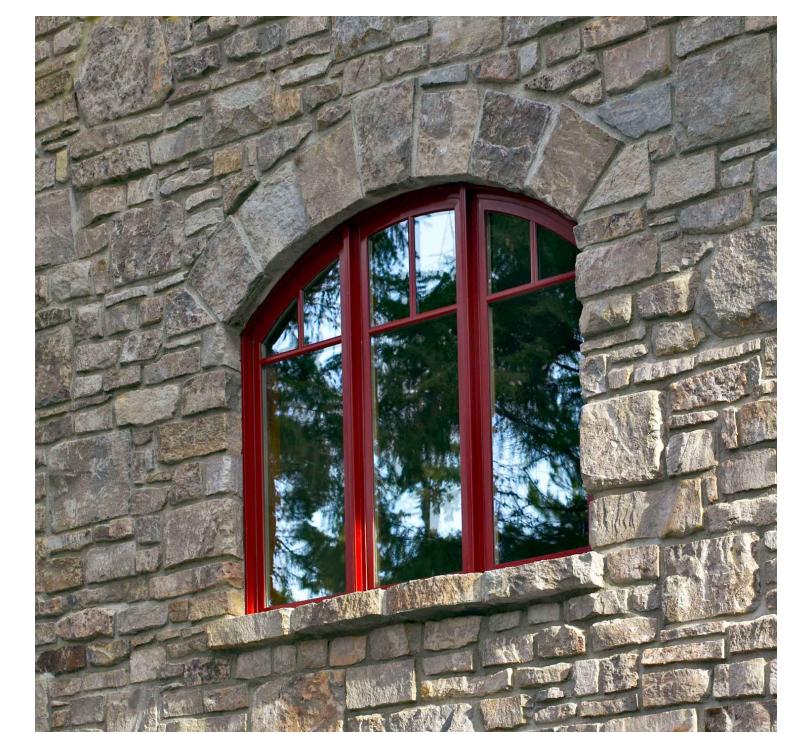
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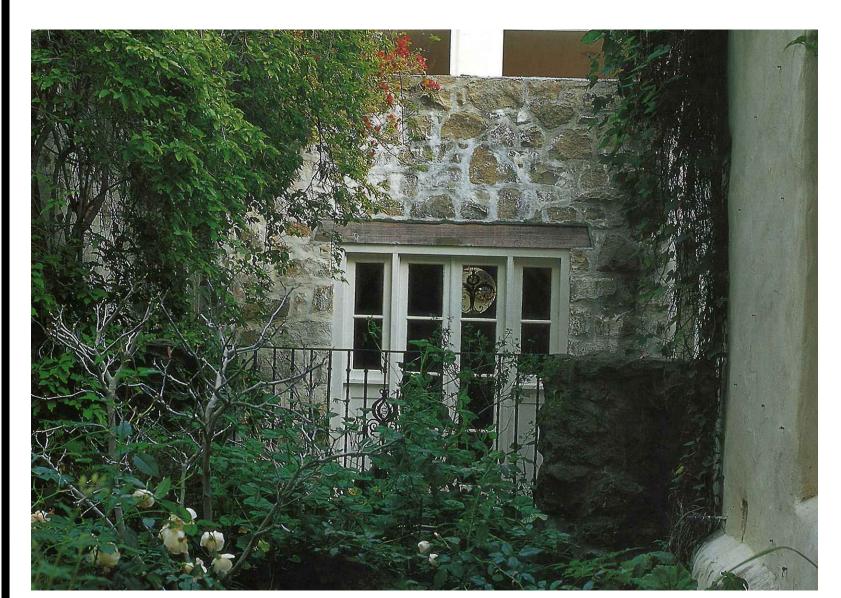




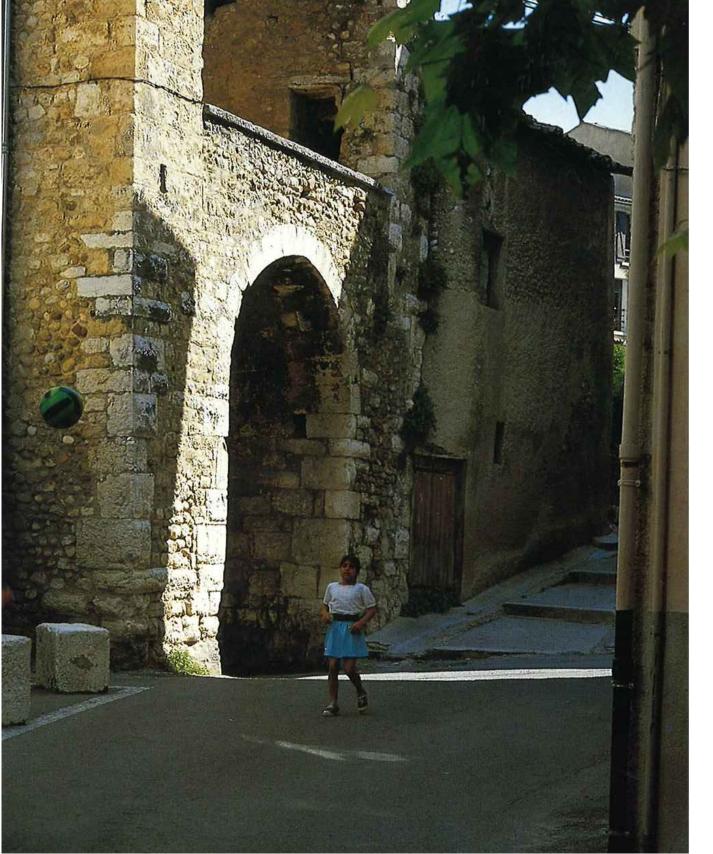


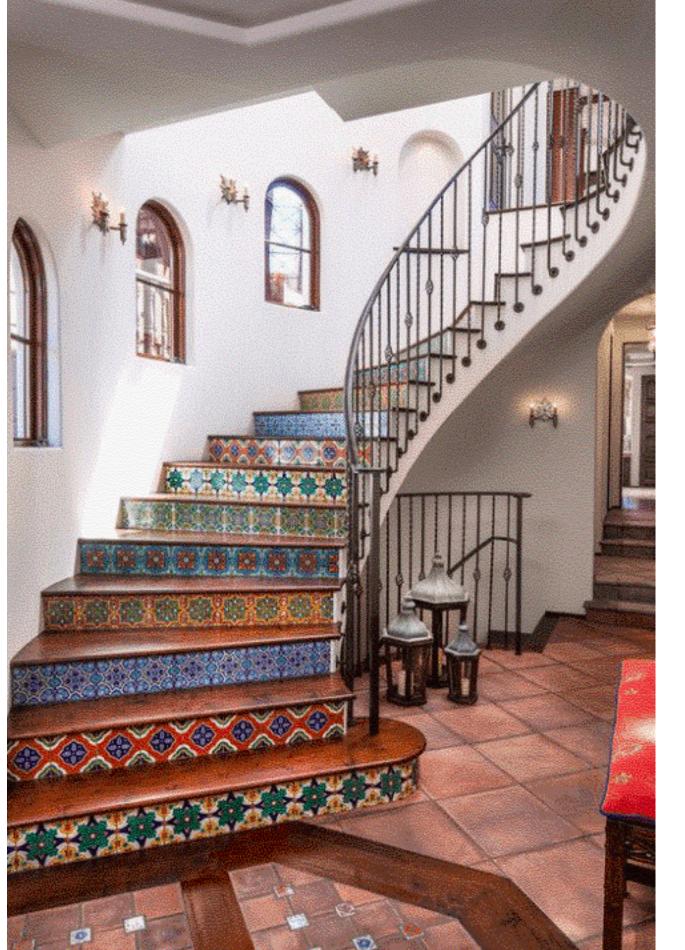
INSPIRATION IMAGES

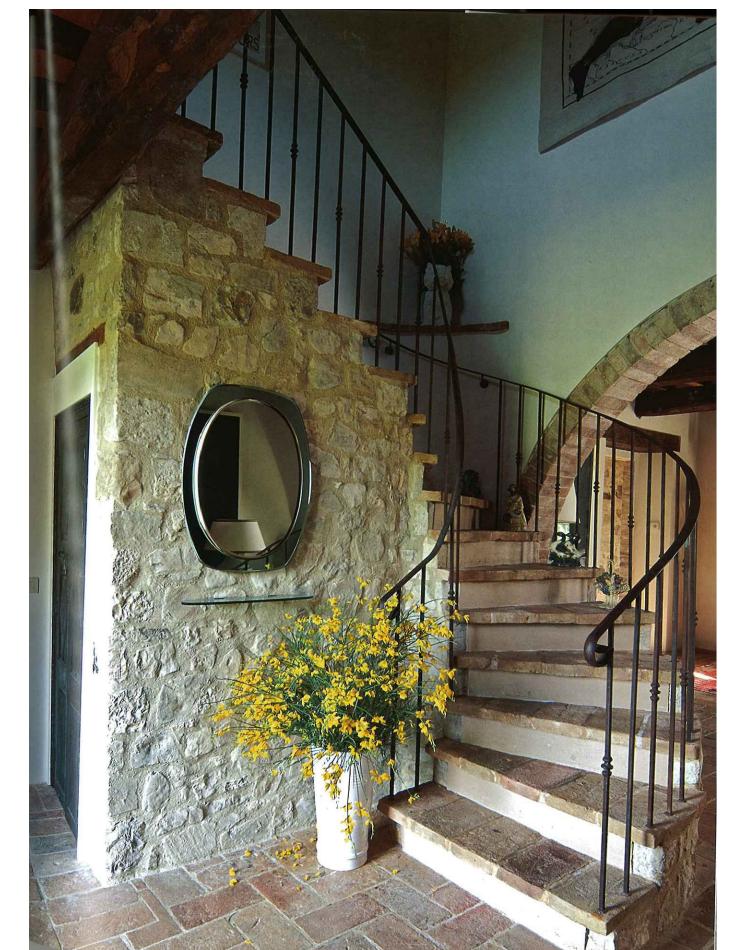




STONE INSPIRATION







STAIR INSPIRATION



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idg@idg-inc.net

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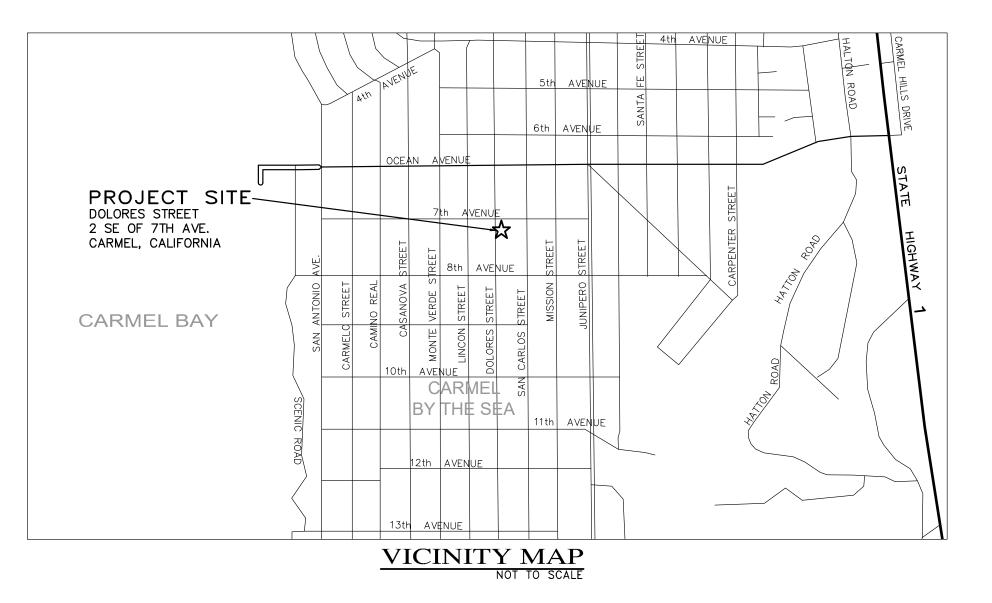
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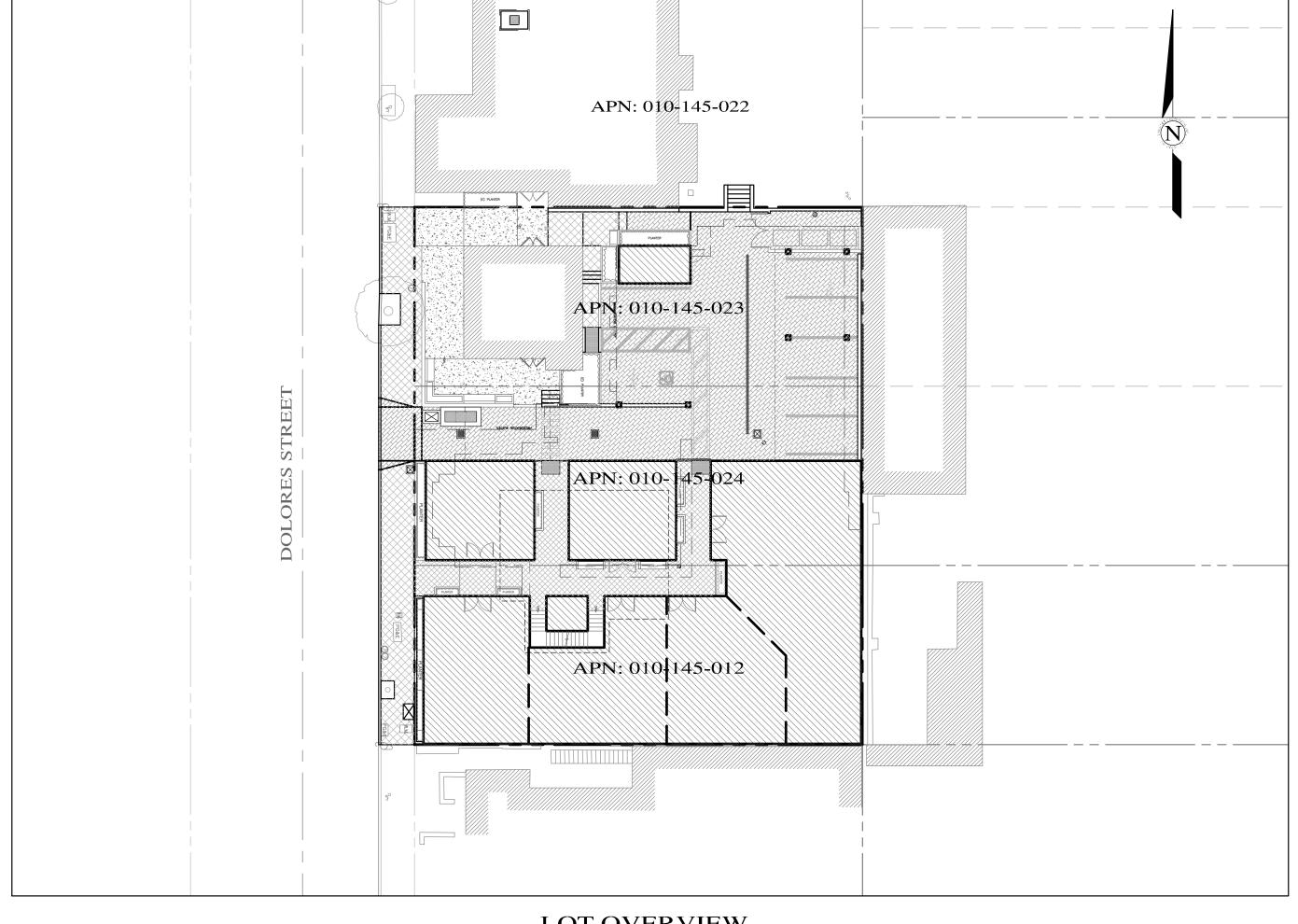
# CONCEPTUAL GRADING, DRAINAGE & EROSION CONTROL PLAN

# JB PASTOR BUILDING

APNs: 010-145-012, 023 & 024

CARMEL BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA





LOT OVERVIEW

TOTAL LOT AREA = 12,000 SQ.FT.TOTAL IMPERVIOUS AREA = 11,240 SQ.FT.

> **GRADING QUANTITIES:** CUT = 1,445 C.Y.FILL = 5 C.Y.NET = 1,440 C.Y. EXPORT

NO AREAS WITH SLOPE EQUAL TO OR GREATER THAN 10%

### STORM WATER CONTROL NOTES:

- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) ALL DRAINAGE SHALL CONFORM TO THE STANDARD OPERATING GUIDANCE FOR 17-07 PRIVATE STORM WATER SYSTEMS PER THE CITY OF CARMEL-BY-THE-SEA.

### **INDEX TO SHEETS**

SHEET C1 COVER SHEET

SHEET C2 GRADING & DRAINAGE PLAN - GROUND LEVEL

SHEET C3 GRADING SECTIONS A-C SHEET C4 GRADING SECTIONS D-F

SHEET C5 UTILITY PLAN - GROUND LEVEL

SHEET C6 GRADING, DRAINAGE & UTILITY PLAN - BASEMENT LEVEL

SHEET C7 EROSION & SEDIMENT CONTROL PLAN

SHEET C8 CONSTRUCTION MANAGEMENT PLAN

**CONTACT INFORMATION:** 

PRIMARY: OWNER
ESPERANZA CARMEL COMMERCIAL, LLC

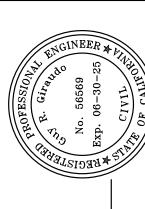
SECONDARY: ARCHITECT INTERNATIONAL DESIGN GROUP ATTN: MR. JASON DIAZ 721 LIGHT HOUSE AVE. PEBBLE BEACH, CA 93950 PH (831)646-1261

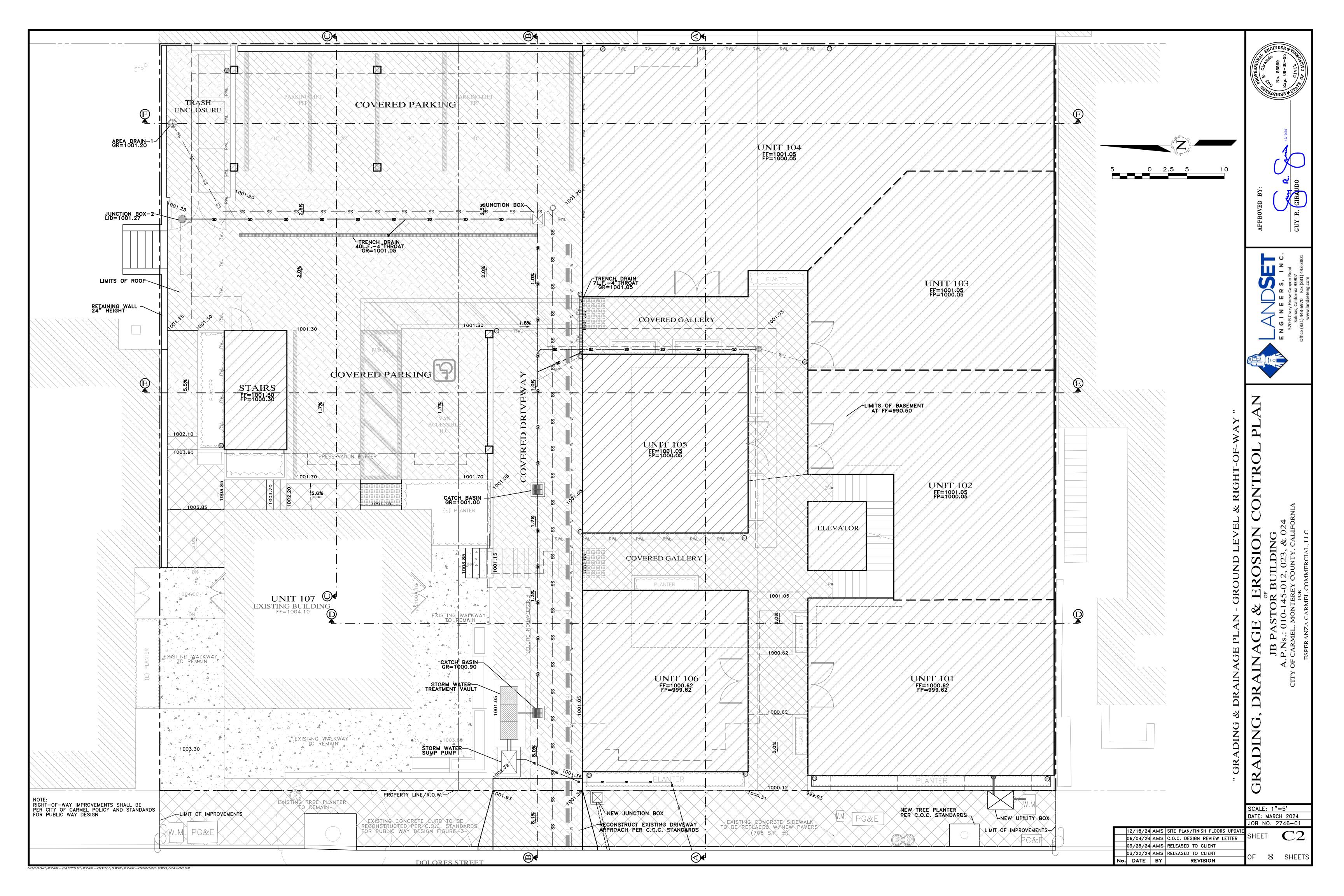
SITE LOCATION:
DOLORES STREET
2 SE OF 7Th. AVENUE
CARMEL—BY—THE—SEA, CA 93921

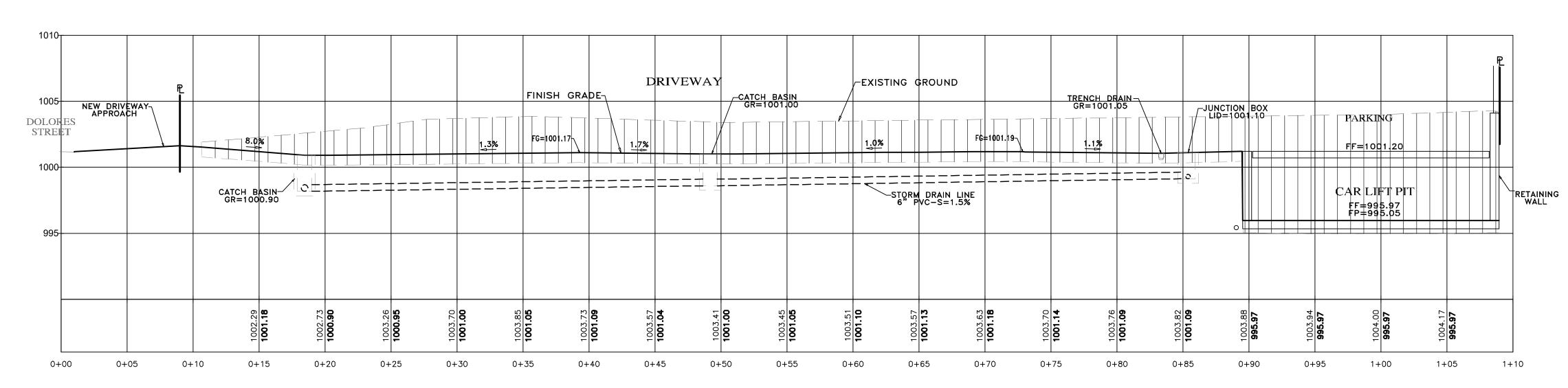
SCALE: AS SHOWN DATE: MARCH 2024 JOB NO. 2746-01

06/04/24 AMS C.O.C. DESIGN REVIEW LETTER 03/28/24 AMS RELEASED TO CLIENT 03/22/24 AMS RELEASED TO CLIENT No. DATE BY REVISION

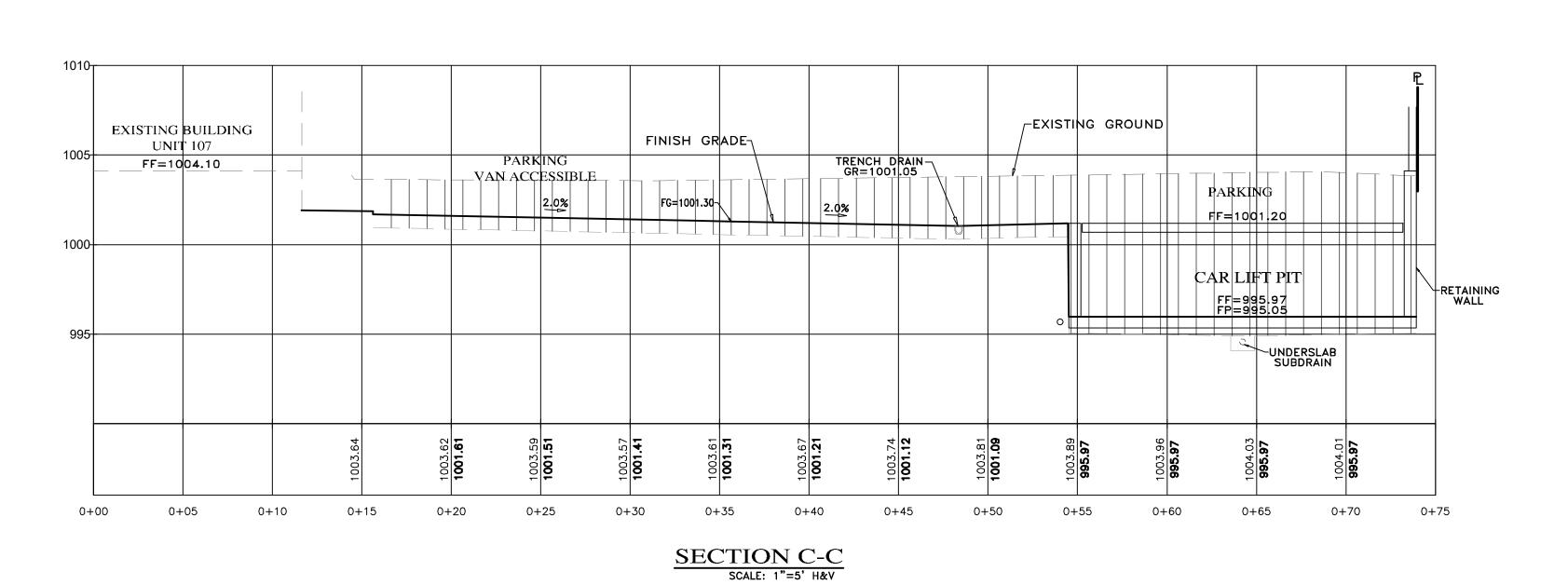








# SECTION B-B SCALE: 1"=5" H&V



- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS.
   OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
- THE ENTIRE BUILDING FOUNDATION FOR THE BUILDINGS AND THE PARKING MUST BEAR ON A UNIFORM LAYER (MIN. 2') OF COMPACTED FILL. NO MORE THAN A 50% DIFFERENTIAL FILL THICKNESS SHALL EXIST.
   FOR SECTION LOCATIONS, SEE SHEET C2 "GRADING, DRAINAGE & UTILITY PLAN".

SCALE: 1"=5' H&V

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12/18/24 AMS SITE PLAN/FINISH FLOORS UPDA 03/28/24 AMS RELEASED TO CLIENT 03/22/24 AMS RELEASED TO CLIENT No. DATE BY

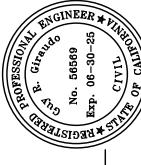
JOB NO. 2746-01 OF 8 SHEETS

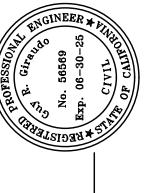
 $LSPROJ \setminus 2746 - PASTOR \setminus 2746 - CIVIL \setminus DWG \setminus 2746 - CONCEP.DWG / 24x36C3$ 

DATE: MARCH 2024

06/04/24 AMS C.O.C. DESIGN REVIEW LETTER

SCALE: 1"=5' H&V





SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS.
 OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT

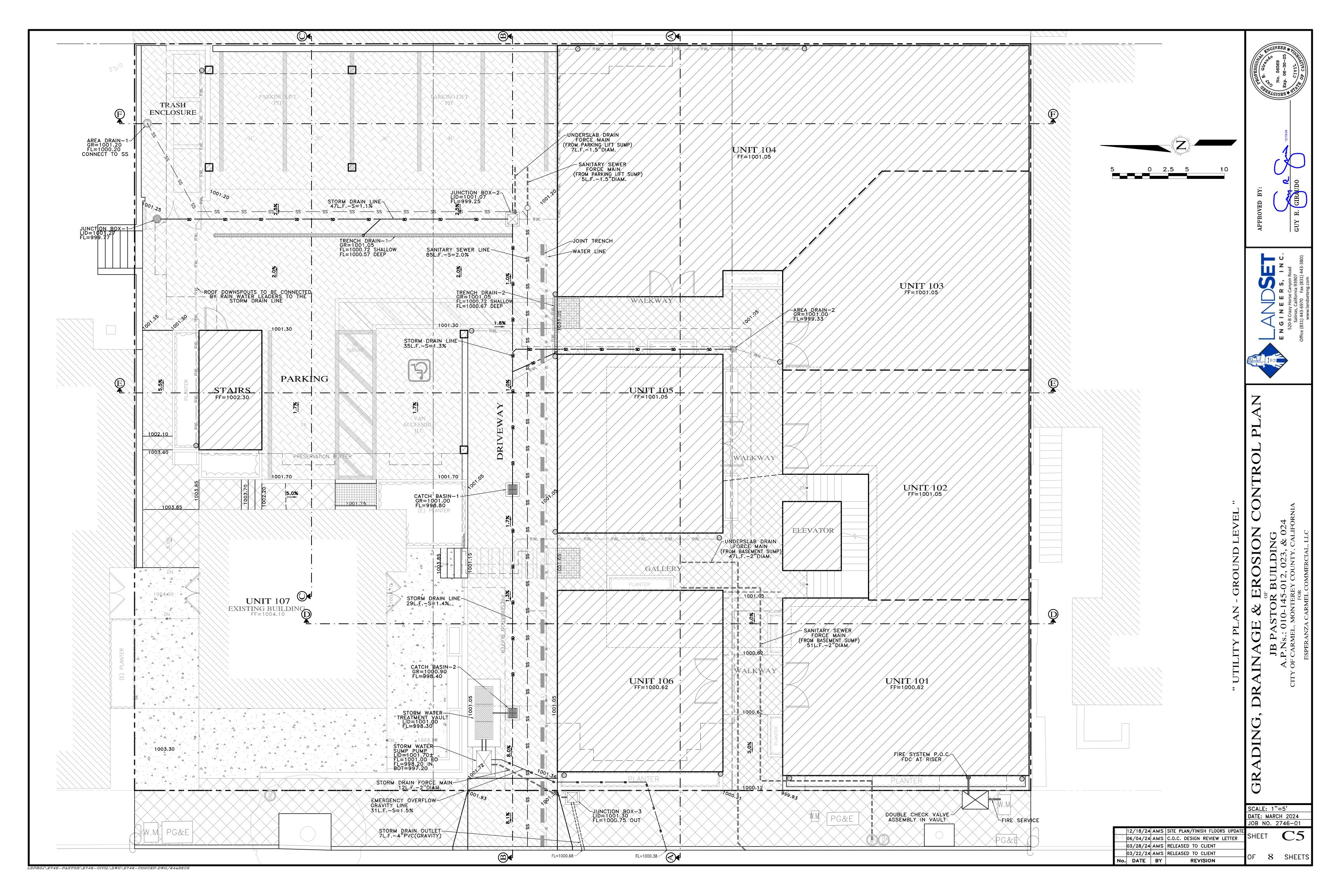
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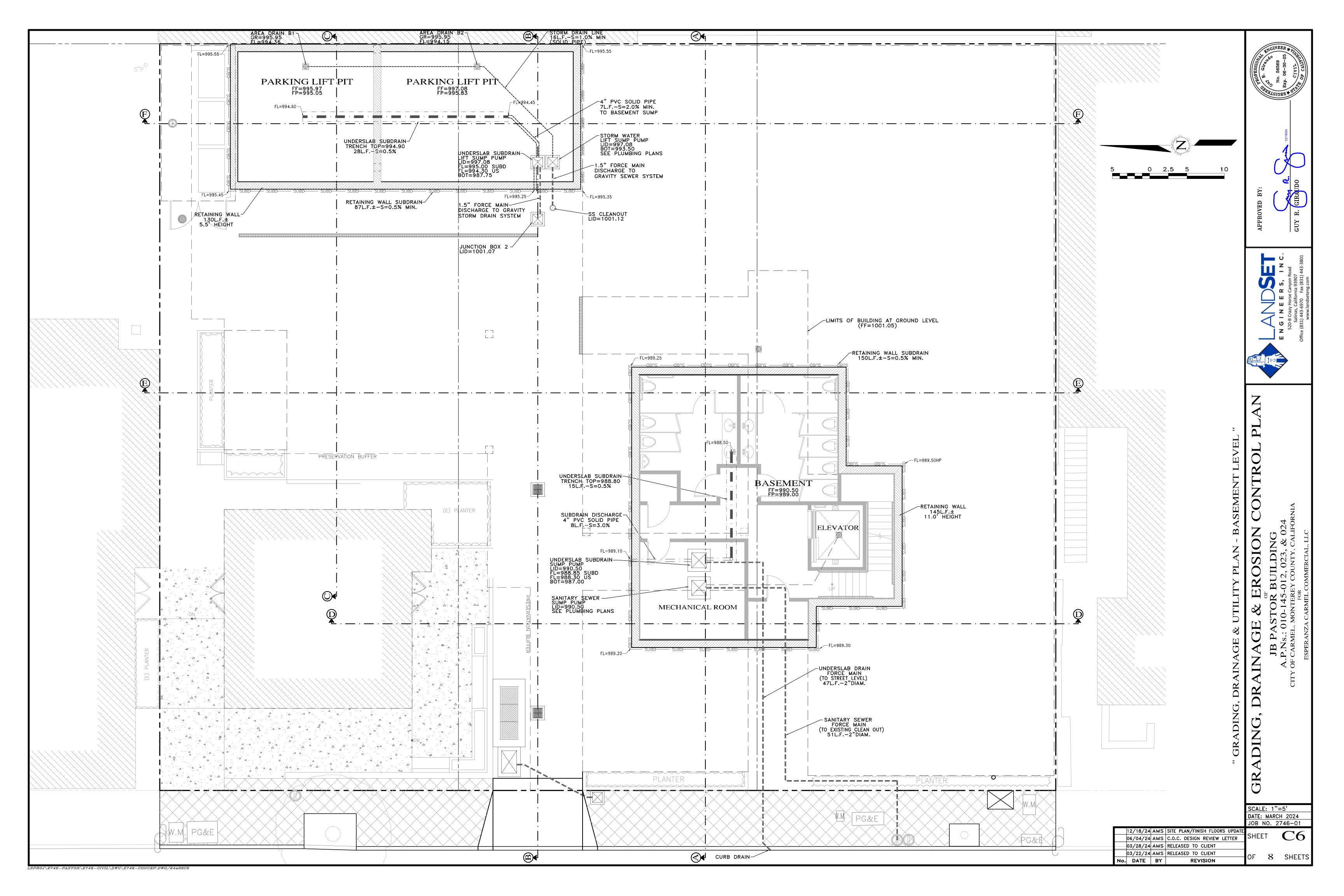
SCALE: 1"=5' H&V DATE: MARCH 2024 JOB NO. 2746-01

12/18/24 AMS SITE PLAN/FINISH FLOORS UPDA OF 8 SHEETS No. DATE BY

06/04/24 AMS C.O.C. DESIGN REVIEW LETTER 03/28/24 AMS RELEASED TO CLIENT 03/22/24 AMS RELEASED TO CLIENT

 $LSPROJ \backslash 2746 - PASTOR \backslash 2746 - CIVIL \backslash DWG \backslash 2746 - CONCEP.DWG / 24x36 C4$ 





CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.

Erosion Control

immediately planned.

PLAN



& WASTE MANAGEMENT

Non-Hazardous Materials ☐ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible. ☐ Use (but don't overuse)

reclaimed water for dust control.

**Hazardous Materials** 

☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.

☐ Store hazardous materials and wastes in water tight containers store in appropriate secondary containment, and cover them during wet weather or when rain is forecast.

☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours. ☐ Arrange for appropriate disposal

Construction Entrances and ☐ Establish and maintain

and tracking off site.

effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site

tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up

Waste Management ☐ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the

☐ Cover waste disposal containers securely with tarps at the end of every work day

toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets. ■ Dispose of liquid residues

from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).

of all hazardous wastes.

Perform major maintenance.

DOLORES STREET

to collect fluids. Recycle or dispose of fluids as hazardous ☐ If vehicle or equipment cleaning must be done onsite. clean with water only in a

bermed area that will not allow rinse water to run into gutters. streets, storm drains, or surface waters. ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

☐ Inlet protection is the last protected from receiving sediment/dirt/mud, other debris, or illicit discharges, a manner not impeding traffic

or safety.

Maintenance and Parking appropriate BMPs, for vehicle and equipment parking and

repair jobs, and vehicle and equipment washing off site. ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and

line of spill defense. Drains/ inlets that receive storm water must be covered or otherwise and include gutter controls and filtration where applicable in

MANAGEMENT & SPILL CONTROL

Spill Prevention and Control (rags, absorbents, etc.) available at the construction

site at all times. ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to bonded fiber matrix) until catch leaks until repairs are vegetation is established. Seed or plant vegetation for

Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management Districts' guidelines for accepting hazardous waste materials). where fluids have spilled.

☐ Do not hose down surfaces Use dry cleanup methods (absorbent materials, cat litter ☐ Sweep up spilled dry materials immediately. Do not try to

wash them away with water, or bury them. Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's

Contaminated Soil Acceptance the street. Criteria). ☐ If any of the following □ Report significant spills conditions are observed immediately. You are required test for contamination and by law to report all significant contact the Monterey County Environmental Health including oil. To report a spill: Department, Regional Water Quality Control Board, and

EARTHWORK & PAVING/ASPHALT

CONTAMINATED SOILS WORK

in wet weather, or when rain is ☐ Schedule grading and forecast before fresh pavement excavation work for dry will have time to cure. weather only. ☐ Cover storm drain inlets and ☐ Stabilize all denuded areas manholes when applying seal install and maintain temporary coat, tack coat, slurry seal, fog erosion controls (such as erosion control fabric or

☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into erosion control on slopes or where construction is not Do not use water to wash down fresh asphalt or concrete

Sediment Control pavement. ☐ Protect storm drain inlets, Sawcutting & Asphalt/Concrete gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc. Prevent sediment from migrating offsite by installing

☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the and maintaining sediment storm drain system. controls, such as fiber rolls, silt ☐ Protect storm drain inlets. fences, or sediment basins. gutters, ditches, and drainage ☐ Keep excavated soil on the site courses with appropriate where it will not collect into

BMPs, such as gravel bags, inlet filters, berms, etc. ☐ Transfer excavated materials to ☐ Shovel, abosorb, or vacuum dump trucks on the site, not in

saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!). ☐ If sawcut slurry enters a catch basin, clean it up immediately

PAINTING & PAINT CONCRETE, GROUT &

MORTAR APPLICATION ☐ Store concrete, grout and mortar Painting cleanup under cover, on pallets and away from drainage areas. These

materials must never reach a ☐ Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of

☐ Collect the wash water from washing exposed aggregate concrete and remove it for

> LANDSCAPE MATERIALS

hazardous waste.

☐ Paint chips and dust from

non-hazardous dry stripping

and sand blasting may be swep

up or collected in plastic drop

cloths and disposed of as trash

☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively ☐ Stack erodible landscape

material on pallets. Cover or

store these materials when they are not actively being used or ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



DEWATERING

☐ Effectively manage all run-on all runoff within the site, and ■ Never clean brushes or rinse all runoff that discharges fron paint containers into a street, gutter, storm drain, or surface

away from all disturbed areas or ☐ For water-based paints, paint out brushes to the extent its water quality for compliance. possible. Rinse to the sanitary sewer once you have gained ☐ When dewatering, notify and permission from the local obtain approval from the local wastewater treatment authority municipality before discharging Never pour paint down a drain. water to a street gutter or storn drain. Filtration or diversion ☐ For oil-based paints, paint out through a basin, tank, or brushes to the extent possible sediment trap, and/or disposal in and clean with thinner or solvent in a proper container

Filter and reuse thinners and ☐ In areas of known solvents. Dispose of residue and contamination, testing is unusable thinner/solvents as discharge of groundwater Consult with the Engineer and municipal staff to determine ☐ Chemical paint stripping whether testing is required residue and chips and dust and how to interpret results from marine paints or paint must be treated or hauled off containing lead or tributyltin must be disposed of as site for proper disposal.

Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

### LEGEND:

FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE / PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.

DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED

STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.

CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE

STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.

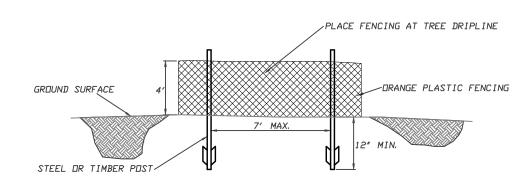
CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.

WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.

GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH  $\frac{1}{2}$ " - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.

TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.

SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.



TREE FENCING (ESA) DETAIL

### **EROSION & SEDIMENT CONTROL NOTES:**

AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.

FOR PERMANENT PLANTINGS AND TREE SCHEDULES.

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE CITY OF CARMEL-BY-THE-SEA EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL
- CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15. 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT

BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT

- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING. TACKING. OR THE USE OF JUTE NETTING. AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO THE CITY OF CARMEL-BY-THE-SEA PRIOR TO BEG. WORK.

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS				
VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED		
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity		Х		
2. Verify excavations are extended to proper depth and have reached proper material		Х		
3. Perform classification and testing of compacted fill materials		Х		
4. Verify use of proper materials, densities and lift sicknesses during placement and compaction of compacted fill.	Х			
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.		Х		

## CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP's INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION. COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

12/18/24 AMS SITE PLAN/FINISH FLOORS UPDA 06/04/24 AMS C.O.C. DESIGN REVIEW LETTER 03/28/24 AMS RELEASED TO CLIENT

03/22/24 AMS RELEASED TO CLIENT

No. DATE BY

· Buried barrels, debris, or trash STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

Abandoned wells

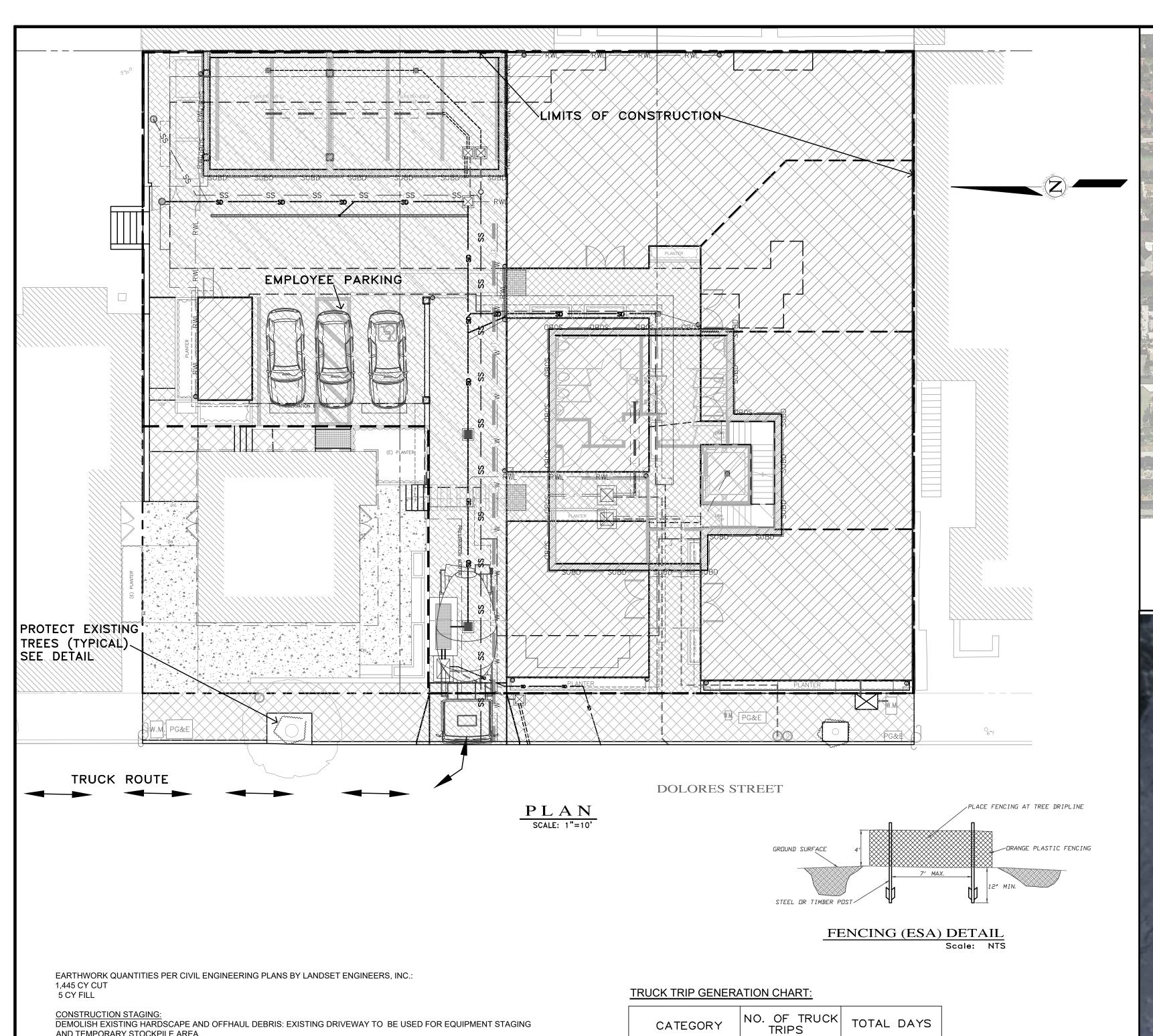
local municipal inspector:

Abandoned underground tanks

· Unusual soil conditions

SCALE: AS SHOWN DATE: MARCH 2024 OB NO. 2746-01

8 SHEETS



AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURES, AND INSTALL UNDERGROUND UTILITIES: PROPOSED PARKING AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

### INSTALL NEW PAVERS DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON DOLORES STREET AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO OCEAN AVENUE TO DOLORES STREET. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON DOLORES STREET. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/ CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS (SEE LOCATION DETAIL) AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG DOLORES STREET, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION/CLKEARING	5	4
GRADING & SOIL REMOVAL (EXPORT)	72	9
ENGINEERING MATERIALS (IMPORT)	4	2
TOTALS	81	15

### TRUCK TRIP GENERATION NOTES:

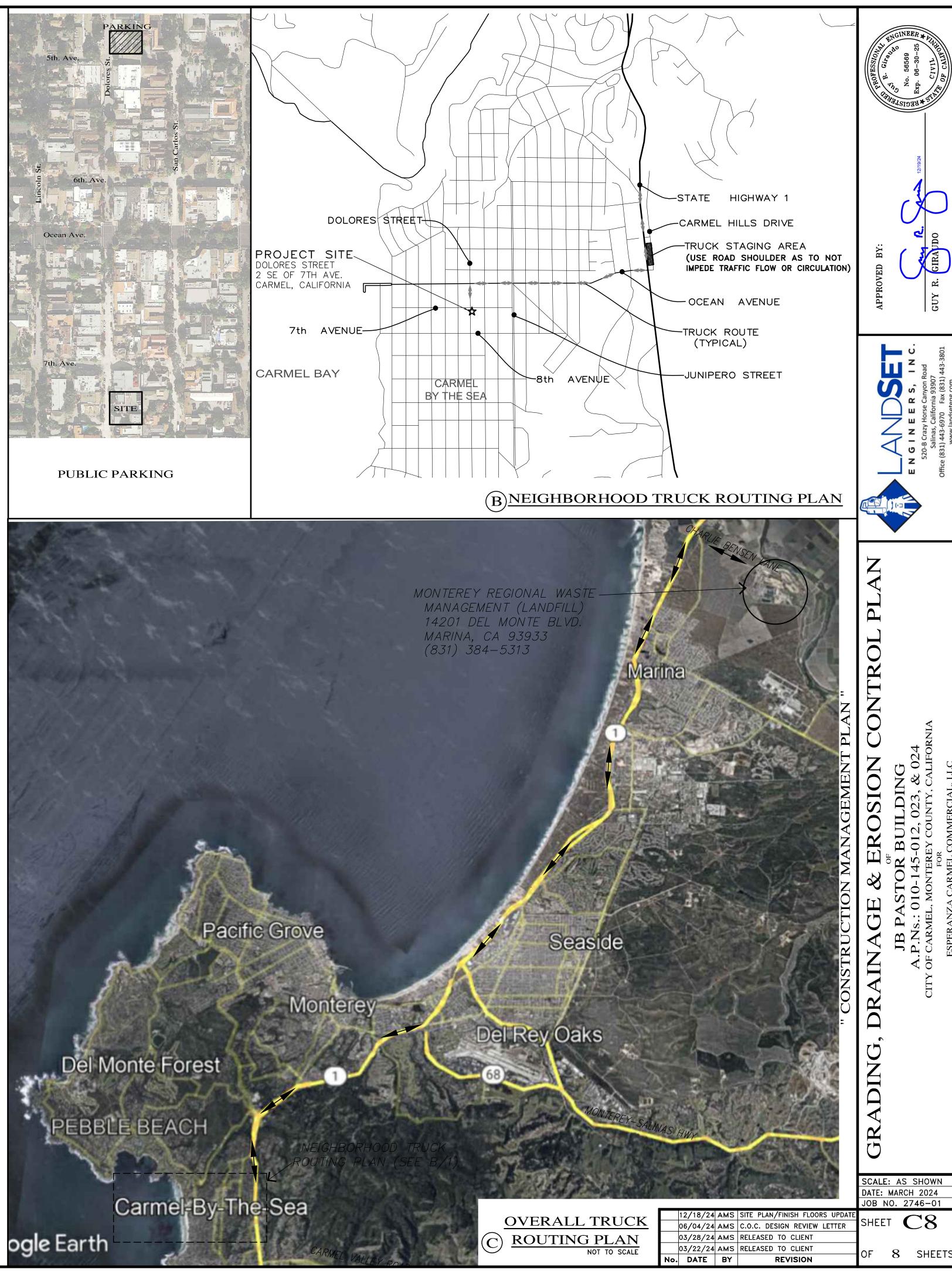
EXPORTED OFF THE SITE.

- 1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 8 TRUCK LOADS PER DAY. 2. THERE ARE 1,440 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE
- 3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 10 WORKING DAYS TO
- 4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 120 & 180 CUBIC YARDS.

### NUMBER OF EMPLOYEES/DAY: 6-10

### HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 20 MARCH 20254, 10 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 20 MONTHS.



### **IRRIGATION NOTES:**

VALVE SIZES ON PLAN ARE SCHEMATIC AND NOT ACTUAL SIZE OF BOXES

SYSTEM DESIGNED TO PREVENT LOW HEAD DRAINAGE AND NO OVERSPRAY OR RUNOFF

IRRIGATION LAID OUT TO CONFORM TO HYDROZONES INDICATED ON LANDSCAPE PLAN

SYSTEM DESIGNED TO ACHIEVE MINIMUM IRRIGATION EFFICIENCY OF .75 FOR OVERHEAD SPRAY AND .81 FOR DRIP ZONES

SYSTEM USES LOW VOLUME IRRIGATION IN MULCHED PLANTING

SYSTEM HAS MATCHED PRECIPITATION RATES FOR HEAD AND EMISSION DEVICES

THE IRRIGATION HEADS ARE LAID OUT FOR OPTIMAL SPACING

SWING JOINTS ARE USED ON ALL SPRINKLER HEADS

SYSTEM USES CHECK OR ANTI-DRAIN VALVES

SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY FOR TURF OR OTHER AREAS LESS THAN 10 FEET IN WIDTH

WHERE SPRINKLER HEADS ARE CLOSER THAN 24" TO HARDSCAPE, HARDSCAPE IS DESIGNED TO DRAIN ENTIRELY INTO LANDSCAPE

EACH VALVE IRRIGATES HYDROZONE WITH SIMILAR CONDITIONS WITH SPRINKLER HEADS AND EMISSION DEVICES THAT ARE APPROPRIATE FOR THE PLANT TYPE WITHIN THE HYDROZONE

TREES WILL BE PLACED ON SEPARATE VAVLES FROM SHRUBS, GROUNDCOVERS, AND TURF WHERE FEASIBLE

DRIP EMITTERS TO BE 1 GPH UNLESS OTHERWISE NOTED

ALL IRRIGATION MAIN LINE TRENCHING SHALL BE A MINIMUM OF 18" MIN. BELOW FINISH AT PLANTER BEDS AND 24" MIN. BELOW PAVED SURFACES. LATERAL LINES TO BE 12" BELOW FINISH AND DRIP LINES TO BE 5" BELOW FINISH.

CONNECT IRRIGATION WATER LINE TO DOMESTIC MAIN SUPPLY VIA BACKFLOW PREVENTION DEVICE. (SEE DETAIL.)

ALL BANKS OF IRRIGATION VALVES TO BE CONNECTED TO IRRIGATION MAINLINE AFTER A GATE VALVE FOR SERVICING OF INDIVIDUAL BANKS.

### IRRIGATION DEMAND:

14GPM AT 55 PSI STATIC UPSTREAM OF BACKFLOW PREVENTOR. VERIFY EXACT PRESSURE PRIOR TO COMMENCEMENT OF WORK.

ALL TRENCHES FOR IRRIGATION WORK TO BE LAID OUT ONSITE TO AVOID DAMAGE TO ANY EXISTING TREE ROOTS

### AUTOMATIC CONTROLLER DEVICE:

SHALL BE WALL MOUNTED AS DIRECTED BY LANDSCAPE CONTRACTOR. SERVICE TO BE 120 VOLT AC HARDWIRED PER ELECTRICAL CONTRACTOR.

### LOW VOLTAGE LIGHTING:

TO BE INSTALLED IN ELECTRAL CONDUIT. RUN ADDITIONAL 2" CHASES AND EXTRA WIRES AS NEEDED. LOCATE BEOW MAIN IRRIGATION LINES. SEE ELECTRICAL PLAN.

### HOSE BIBS:

TO BE BRASS AND INSTALLED ON A 4"X4" PRESSURE TREATED POST.

VALVE BOXES, PIPE, AND HOSE BIBS:

ALL EXPOSED COMPONENTS OF IRRIGATION SYSTEM TO BE PURPLE IN COLOR TO SHOW IT IS RECLAIMED WATER IF NECESSARY..

### IRRIGATION SCHEDULE:

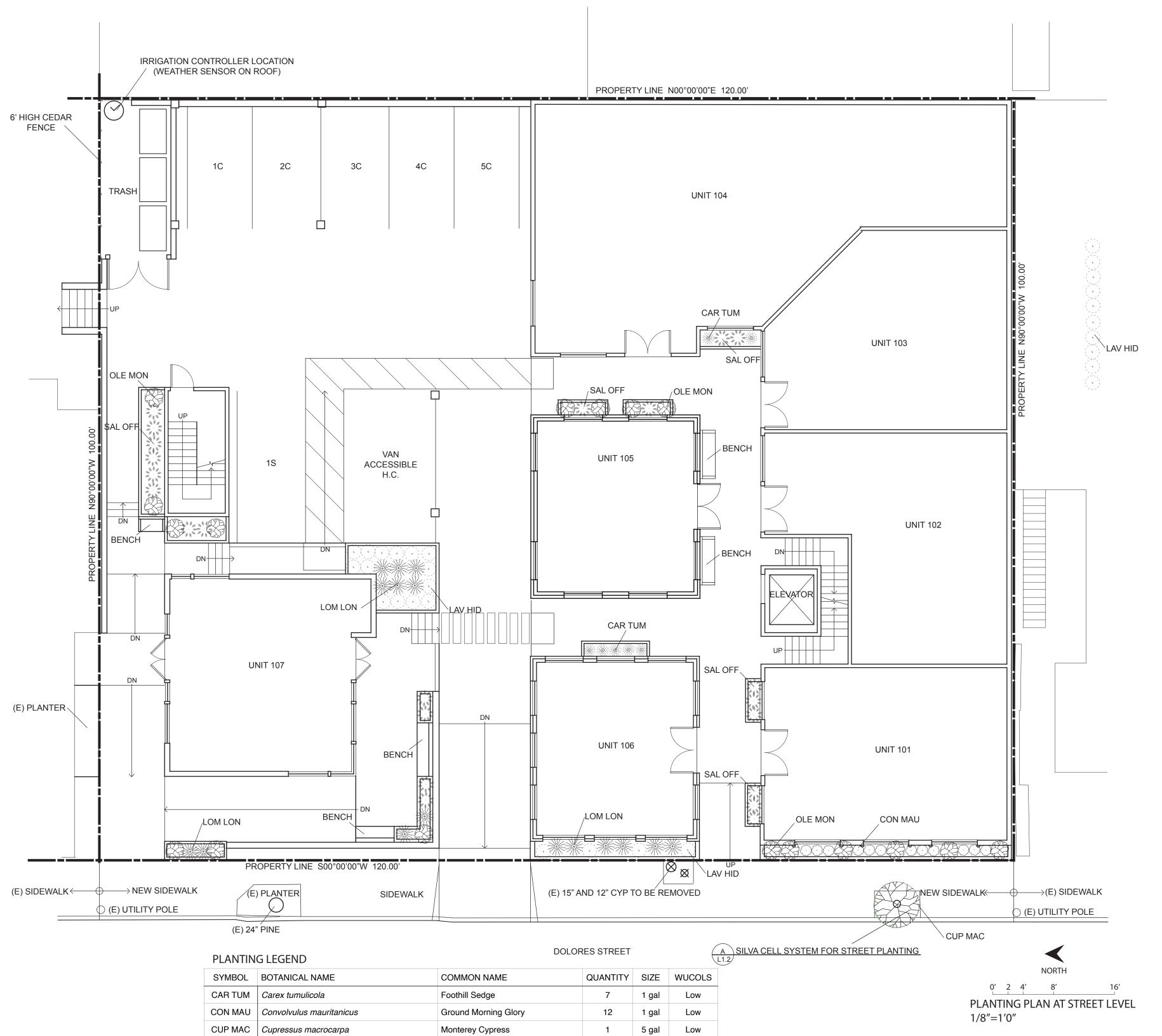
24" BOX TREES

FOR MATURE PERIOD - AFTER ONE YEAR OR DETERMINE ON PLANT TO PLANT BASIS

30 MINS X 2 TIMES PER WEEK

1 AND 2 GALLON PLANTS
5 AND 15 GALLON PLANTS
20 MINS X 1 TIMES PER WEEK
24" BOX TREES
30 MINS X 1 TIMES PER WEEK

AS PLANTS MATURE AND BECOME MORE ESTABLISHED, THE IRRIGATION CAN BEGIN TO TAPER OFF AS MUCH AS THE PLANTS WILL ALLOW.



LAV HID | Lavandula 'Hidcote Superior'

LOM LON | Lomandra longifolia 'Breeze'

OLE MON | Olea europea 'Montra'

SAL OFF | Salvia officinalis

OLE SWA | Olea europea 'Swan Hill'

OLE EUR | Olea europea 'Majestic Beauty'

Hidcote Supereor

Dwarf Mat Rush

Little Ollie

Garden Sage

Majestic Beauty Fruitless Olive

Swan Hill Fruitless Olive - columnar

15 gal

5 gal

37

### SCOPE OF WORK:

THIS PROJECT INVOLVES LANDSCAPE INSTALLATION IN PLANTERS WITH NEW LOW FLOW DRIP IRRIGATION SYSTEM. THE LANDSCAPE IS DESIGNED TO USE ALL NATIVE AND/OR DROUGHT TOLERANT PLANTING.

### PROJECT INFORMATION:

SITE

OWNER ESPERANZA CARMEL COMMERCIAL, LLC ATTN: RYAN AESCHLIMAN

DOLORES ST

2 SE OF 7TH AVE. CARMEL-BY-THE-SEA, CA LOTS: 6,8,10 BLOCK 91

APN 010-145-012, 023, 024

TOPOGRAPHY FLAT

TREE REMOVAL NONE

GRADING SEE CIVIL SHEET

### LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL CITY OF CARMEL'S LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

etrul Wilan

### XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS

2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS3. DRIP IRRIGATE ALL PLANT MATERIAL

4. INSTALLATION OF RAIN SENSOR

### **PLANTING NOTES:**

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

### STAKING:

STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

### MULCHING:

SPREAD 3" OF MULCH OVER ALL EXPOSED PLANTING AREAS

COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000SQFT OF PERMEABLE AREA TO A DEPTH OF 6"

### STAGING:

WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

SOIL AMENDMENT TO BE ADDED TO PLANTED ARE AS NEEDED FOR PLANT MATERIAL

### BUILDING DEPARTMENT NOTES:

### PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

### CODES:

DRAWINGS.

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE UBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

LAYOUT NOTES:
ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED

# FIRE SAFETY NOTES: ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.



MISSION LANDSCAPING

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CALIFORNIA 93950

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email: missionlandscaping@me.com

Landscape & General Contractors C27 & B 392291 Landscape Architecture CA Lic #5806

Project:

JB Pastor Building
Dolores St.
2 SE of 7th Ave.
Carmel By-The-Sea,
CA 93921

APN: 010-145-012, 023, 024 Revisions:



Drawing Title:

Street Level Landscape
Plan

Date: 12/19/24

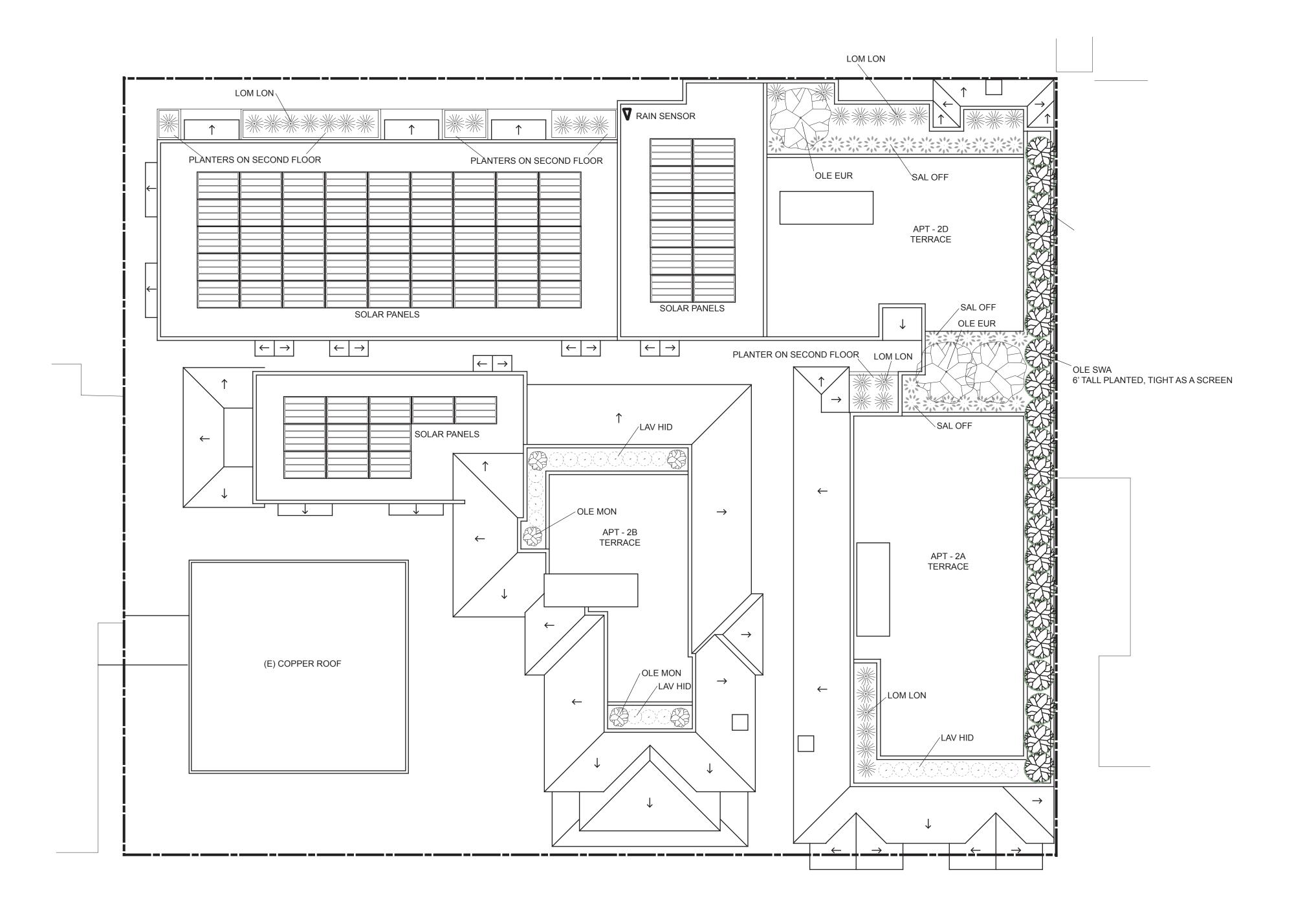
Scale: 1/8" = 1'0"

Drawn By: PW

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Page Number:

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Contractors C27 & B 392291
Landscape Architecture
CA Lic #5806

Project:

JB Pastor Building
Dolores St.
2 SE of 7th Ave.
Carmel By-The-Sea,
CA 93921

APN: 010-145-012, 023, 024 Revisions:



Drawing Title:

Roof and 2nd Level Landscape Plan

 Date:
 12/19/24

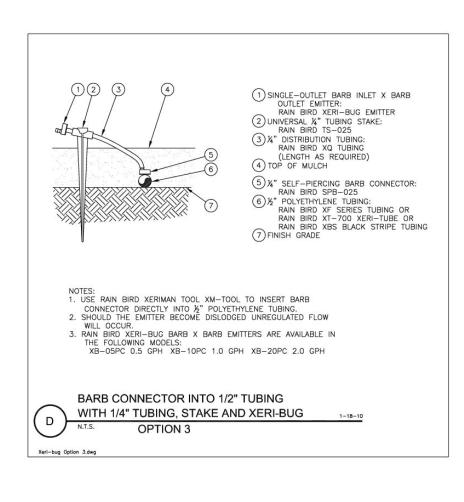
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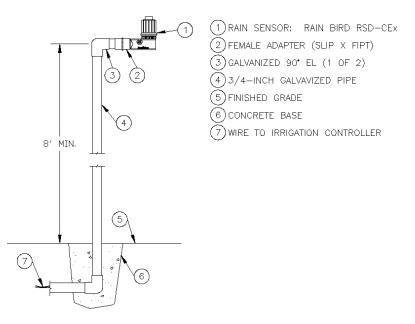
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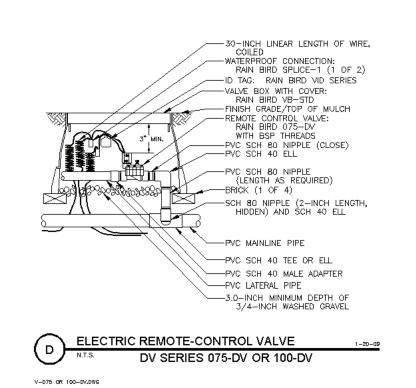
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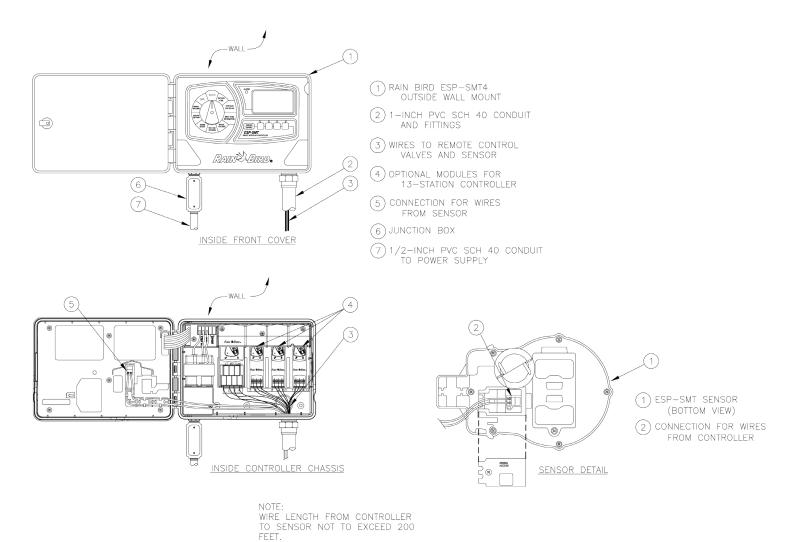
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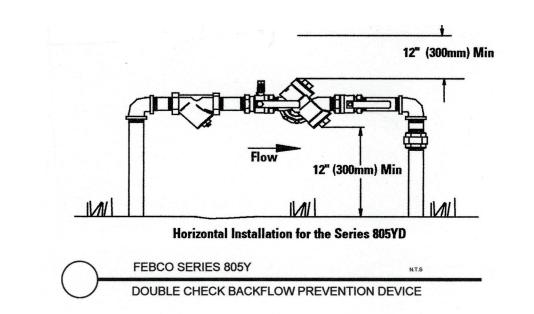




ESP-SMT SMART CONTROL SYSTEM

N.T.S. (OUTDOOR)

C-ESP-SMT.DWG



Water Efficient Landscape Worksheet <u>Instructions:</u> Fill in all items in this color Answer is shown in this color Reference Evapotranspiration (ETo) 32.9 Carmel ETWU ETWU ETWU ETWU ETWU MAWA requirement requirement requirement requirement requirement requirement Estimated Total Water Use Plant Factor Landscape Area Irrigation Hydrozone#/Planting Description (PF) Efficiency (IE) ETAF (PF/IE) (LA) (sq. ft.) ETAF x Area (ETWU) Method Regular Landscape Areas 0.2 Drip 1) low water use plants 0.247 195.31 0.4 Drip 0.81 0.494 0.00 2) medium water use plants 0.7 Drip 3) high water use (pool & spa) 0.700 0.00 195.31 Totals 791 Special Landscape Areas (SLA): Recycled Water 1) low water use plants 2) medium water use plants 3) medium water use plants 1 Totals Estimated Total Water Use (ETWU) 3,984 Maximum Allowed Water Allowance (MAWA) 7,261 Irrigation Irrigation Plant Water Use Type **Plant Factor** method Efficiency 0-0.1 overhead spray 0.75 very low 0.1-0.3 0.81 0.4-0.6 0.7-1.0 MAWA (annual gallons allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)] where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./ year. LA is the total landsape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas. **ETAF Calculations** Regular Landscape Areas Total ETAF x Area 791 Average ETAF for regular landscape areas must be 0.55 or below for 0.25 residential areas, and 0.45 or below for non-residential areas. Total Area Average ETAF All Landscape Areas Total ETAF x Area 791 Total Area 0.25 Sitewide ETAF

ESTIMATED TOTAL WATER USE =
MAXMUM ALLOWED WATER ALLOWANCE =
ETWU IS LESS THAN MAWA

3,984 GALLONS PER YEAR 7,261 GALLONS PER YEAR



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Landscape & General Contractors C27 & B 392291 Landscape Architecture CA Lic #5806

Project:

Esperanza Carmel Commercial, LLC Dolores St. 2 SE of 7th Ave. Carmel By-The-Sea, CA 93921

APN: 010-145-012, 023, 024 Revisions:



Drawing Title:

Landscape Details and Plant Pictures

Date:
12/19/24

Scale:

Drawn By:
PW

Page Number:

13

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### **ELECTRICAL SYMBOLS & ABBREVIATIONS** SYMBOLS & ABBREVIATIONS SHOWN ARE FOR GENERAL USE. DISREGARD THOSE WHICH DO NOT APPEAR ON THE PLANS. SECURITY DOOR CONTACTS 0 FLUORESCENT OR LED LUMINAIRE -PANELBOARD - FLUSH MOUNTED DETAIL NOTE REFERENCE SYMBOL - DETAIL NUMBER SEE ASSOCIATED NOTE ON SAME DETAIL SEE SCHEDULE DETAIL OR SECTION REFERENCE **EQUIPMENT PANEL - FLUSH MOUNTED** X.XX SHEET NUMBER SECURITY MOTION DETECTOR **EMERGENCY OR NIGHT LIGHT** PANELBOARD - SURFACE MOUNTED INDICATES QUANTITY OF TELEPHONE OUTLETS FEEDER DESIGNATION; FXXX STRIP FLUORESCENT OR LED LUMINAIRE -CCTV CAMERA **EQUIPMENT PANEL - SURFACE MOUNTED** SEE ASSOCIATED NOTE ON SAME DETAIL INDICATES QUANTITY OF DATA OUTLETS SEE SCHEDULE METER W/ CURRENT TRANSFORMER LUMINAIRE - RECESSED - SEE SCHEDULE SECURITY SYSTEM KEYPAD ABBREVIATIONS JUNCTION BOX - CEILING OR WALL MOUNTED, DOOR BELL PUSHBUTTON RECESSED WALL WASHER **GROUND FAULT** SIZE PER CODE, TAPE AND TAG WIRES AFF ABOVE FINISHED FLOOR GFI INTERRUPTING DOOR CHIME WITH LED OC ALUM/AL ALUMINUM GND, G GROUND LUMINAIRE - SURFACE MOUNTED -MOTOR CONNECTION SEE SCHEDULE ARCH **ARCHITECT** GRS GALVANIZED RIGID NON-FUSED DISCONNECT SWITCH AWG **AMERICAN WIRE** RECEPTACLE - DUPLEX \* LUMINAIRE - POLE OR POST MOUNTED -HEIGHT FUSED DISCONNECT SWITCH; FUSED WITH SEE SCHEDULE **BKR** INTERCOM **BREAKER** DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER -**DUAL-ELEMENT FUSES SIZED PER EQUIPMENT** INTERMEDIATE FIELD VERIFY HEIGHT CONDUIT MFGR'S NAMEPLATE DATA CATV DISTRIBUTION FRAME CABLE TV LUMINAIRE - WALL MOUNTED SEE SCHEDULE CB CIRCUIT BREAKER INCAND INCANDESCENT GFCI CONVENIENCE RECEPTACLE - DUPLEX\* COMBINATION STARTER/FUSED DISCONNECT SWITCH; CCTV CLOSED CIRCUIT TV JUNCTION BOX FUSED DISCONNECT SWITCH ELEMENT FUSES SIZED BOLLARD OR PATH LIGHT - SEE SCHEDULE CKT **CIRCUIT** GFCI CONVENIENCE DUPLEX RECEPTACLE KII OVOI T PER EQUIPMENT MFGRS NAMEPLATE DATA **CENTER LINE** KILOVOLT AMPERES KVA PV MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT EXIT LIGHT - DIRECTIONAL ARROWS AS CLG CEILING ΚW KILOWATT MAGNETIC STARTER - NEMA SIZE INDICATED INDICATED - SEE SCHEDULE C.O. LCP LIGHTING CONTROL CONDUIT ONLY RECEPTACLE DOUBLE DUPLEX\* NEMA 3R ENCLOSURE UNLESS OTHERWISE SPECIFIED CTR CENTER PANFI TRACK LIGHTING - SEE SCHEDULE LTG LIGHTING CIRCUIT BREAKER DIMMER HALF SWITCHED DUPLEX RECEPTACLE \* LOW VOLTAGE LV DIM **DIMENSION EMERGENCY LIGHT** GROUND ROD WITH GROUNDWELL BOX THOUSAND RECPT'S RECEPTACLES DISTRIBUTION DIST SINGLE RECEPTACLE\* CIRCULAR MILS REQD REQUIRED **FXISTING** (E) DIGITAL DUAL TECHNOLOGY REQMT'S REQUIREMENT(S) **GROUND ELECTRODE** ELECTRICAL CONTRACTOR MAIN CIRCUIT BREAKER EC M.B. OCC. SENSOR DUPLEX RECEPTACLE - CEILING MOUNTED (EL) **EVENING LIGHT** MCA MINIMUM NORMALLY OPEN CONTACT CIRCUIT AMPS LIGHTING CONTROL OCCUPANCY SENSOR EM **EMERGENCY** MDF MAIN DISTRIBUTION FRAME **CORNER MOUNTED** LETTER INDICATES DUPLEX HALF **EMT ELECTRICAL** NORMALLY CLOSED CONTACT MECH MECHANICAL METALLIC TUBING CONTROLLED RECEPTACLE \* DIMMER ROOM CONTROLLER METAL HALIDE TRANSFORMER - SEE SINGLE LINE FOR SIZE **ENERGY REDUCTION** MLO MAIN LUGS ONLY LETTER INDICATES DUPLEX FULLY MAINTENANCE SWITCH TTB PC MAIN POINT OF ENTRANCE PLUG LOAD CONTROLLER CONTROLLED RECEPTACLE ★ PULLBOX **EQUIP** MTD MOUNTED **ELECTRICAL VEHICLE** MOUNTING FLOOR MOUNTED DUPLEX RECEPTACLE ΕV ROOM LIGHTING CONTROLLER UON **ERMS** MAXIMUM OVER MOCP FIRF ALARM CURRENT PROTECTION UG **FACP** FIRE ALARM FLOOR MOUNTED BOX LIGHTING CONTROL PANEL FLEX CONDUIT WITH CONNECTION **CONTROL PANEL** NIC VD NOT IN CONTRACT FOOT CANDLE POWER OUTLET - SEE PLANS FOR NEMA TYPE\* NIEC NOT IN ELECTRICAL CONDUIT - UP DIGITAL DAYLIGHT SENSOR FIN CONTRACT **FLOOR** POWER POLE CONDUIT - DOWN WP NIGHT LIGHT (NL) SINGLE POLE SWITCH \*\* **FULL LOAD AMPS** XFMR NUMBER FI UOR FLUORESCENT CONDUIT EMERGENCY SYSTEM WALL TELEPHONE OUTLET \*\* NOM NOMINAL SINGLE POLE SWITCH, \*\* **FUTURE** a = CIRCUIT CONTROLLED — LV — LOW VOLTAGE WIRING **GENERAL CONTRACTOR** VOICE/DATA WALL OUTLET \* THREE WAY SWITCH\*\* SURFACE METAL OR NON-METALLIC RACEWAY VOICE/DATA OUTLET MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT FOUR WAY SWITCH\*\* CONDUIT - CONCEALED IN WALLS OR CEILING SURFACE MOUNTED VOICE/DATA WALL OUTLET \* CONDUIT - EXISTING MANUAL MOTOR STARTER SURFACE MOUNTED VOICE/DATA OUTLET CONDUIT - BELOW SLAB OR KEY OPERATED SWITCH \*\* MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT UNDERGROUND: 3/4"MIN. LIGHTING DIMMER \*\* WIRELESS ACCESS POINT (WAP) -CAPPED OR STUB-OUT CONDUIT **CEILING MOUNTED** DIGITAL ON/OFF SWITCH \*\* CONDUIT CONTINUATION WIRELESS ACCESS POINT (WAP) -DIGITAL DIMMER SWITCH \*\* WALL MOUNTED - FIELD VERIFY HEIGHT CONDUIT - HOME RUN TO PANEL, TERMINAL DIGITAL MULTI SCENE CABINET, ETC. RUNS MARKED WITH VOICE/DATA OUTLET - FLOOR MOUNTED LIGHTING SWITCH \*\* CROSSHATCHES INDICATE NUMBER OF #12 AWG WIRES WHEN MORE THAN TWO. SIZE DIGITAL DUAL TECHNOLOGY TV OUTLET \* CONDUIT ACCORDING TO SPECIFICATIONS WALL OCC. SENSOR \*\* AND APPLICABLE CODE. CROSS HATCHES WALL OCCUPANCY SENSOR \*\* VOICE/DATA OUTLET - CEILING MOUNTED WITH NUMBER ADJACENT INDICATES WIRE SIZE OTHER THAN #12 AWG. DOUBLE SWITCHED WALL OCCUPANCY INTERIOR SPEAKERS CEILING MOUNTED SENSOR \*\* SHEET NOTE REFERENCE SYMBOL; SEE ASSOCIATED NOTE ON SAME SHEET INTERIOR SPEAKERS WALL MOUNTED DIMMING DUAL TECHNOLOGY WALL SWITCH OCCUPANCY SENSOR \*\* CLOCK +8'-0" AFF U.O.N. VERIFY BEFORE SCHEDULE SYMBOL; SEE ASSOCIATED 2-BUTTON DIMMING DUAL TECHNOLOGY INSTALLATION NOTE ON SAME SHEET WALL SWITCH OCCUPANCY SENSOR \*\*

### LIGHT FIXTURE SCHEDULE

### FIXTURE NOTES:

- 1. ALL LED LIGHT FIXTURE DRIVERS SHALL BE ELECTRONIC TYPE, 10% TOTAL HARMONIC DISTORTION MAXIMUM.
- 2. ALL LED LIGHT MODULES SHALL BE ENERGY SAVING 3000° K, 80 CRI MINIMUM, U.O.N. (SEE SPECIFICATIONS FOR MORE INFORMATION).
- 3. ALL LED DRIVERS (AND ASSOC. FIXTS.) SHALL HAVE MANUFACTURER'S CERTIFICATION OF COMPLIANCE WITH CALIFORNIA ENERGY COMMISSION STANDARDS AND REQUIREMENTS, WHERE SUCH ARE USED IN CONDITIONED
- 4. EXIT SIGNS, EMERGENCY LIGHTS AND LIGHT FIXTURES WITH EMERGENCY BATTERY BACK-UP SHALL SUPPLY A MINIMUM DURATION OF 90 MINUTES OF POWER IN THE EVENT OF A POWER OUTAGE/FAILURE.
- 5. ALL RECESSED LIGHT FIXTURES SHALL BE U.L. APPROVED FOR ZERO CLEARANCE INSULATION COVER WHEN INSTALLED IN INSULATED CEILINGS.

TYPE	DESCRIPTION	LAMPS	MANUFACTURER
XA	3" DIA RECESSED LED DOWN LIGHT GALVANIZED STEEL FRAME WITH MATTE BLACK INTERIOR PAINT. ICAT RATED HOUSING, 40° BEAM SPREAD, 90 CRI, UNIVERSAL VOLTAGE WITH ED010 DIMMING DRIVER TL3R TRIM WITH MICRO PRISMATIC LENS.	9.5W 1609 LUMEN 3000°K LED	HALO HL36A SERIES
ХВ	40"x12.5"x16.125" WALL MOUNTED LED PENDANT FIXTURE. ALUMINUM WITH TEXTURED BRONZE POWDER COAT FINISH, HONEY ONYX ACRYLIC LENS. 120/277 UNIVERSAL VOLTAGE, 0-10 VOLT DIMMING WITH INTEGRAL BATTERY BACKUP.	12W LED	EVERGREEN LIGHTING 27064 SERIES WALL MOUNT
XC	12"x6.5"x6.5" LED WALL SCONCE, FORMED STEEL HOUSING WITH TEXTURED BRONZE FINISH CLEAR FROSTED GLASS LENS. 120/277 UNIVERSAL VOLTAGE, 0-10 VOLT DIMMING DARK SKY COMPLIANT.	6W LED	EVERGREEN LIGHTING 2100 SERIES WALL SCONCE

# APPLICABLE CODES & STANDARDS

- 2022 CALIFORNIA ADMINISTRATIVE CODE C.A.C., PART 1, TITLE 24, C.C.R.
- 2022 CALIFORNIA BUILDING CODE (CBC) C.C.R., TITLE 24, VOL. 1 & 2 BASED ON THE 2021 INTERNATIONAL BUILDING CODE (IBC) WITH CALIFORNIA AMENDMENTS.
- 2022 CALIFORNIA RESIDENTIAL CODE C.C.R., TITLE 24, PART 2.5 BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE WITH CALIFORNIA AMENDMENTS.
- 2022 CALIFORNIA ELECTRICAL CODE (CEC) C.C.R., TITLE 24, PART 3 BASED ON THE 2020 NATIONAL ELECTRICAL CODE (NEC) WITH CALIFORNIA AMENDMENTS.
- 2022 CALIFORNIA MECHANICAL CODE (CMC) C.C.R., TITLE 24, PART 4 BASED ON THE

2021 UNIFORM MECHANICAL CODE (UMC) WITH CALIFORNIA AMENDMENTS.

- 2022 CALIFORNIA PLUMBING CODE (CPC) C.C.R., TITLE 24, PART 5 BASED ON THE 2021
- UNIFORM PLUMBING CODE (UPC) WITH CALIFORNIA AMENDMENTS.
- 2022 CALIFORNIA ENERGY CODE C.C.R., TITLE 24, PART 6.
- 8. 2022 CALIFORNIA FIRE CODE (CFC) C.C.R., TITLE 24, PART 9 BASED ON THE 2021 INTERNATIONAL FIRE CODE (IFC) WITH CALIFORNIA AMENDMENTS.
- 9. 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE C.C.R., TITLE 24, PART 11.
- 10. 2022 CALIFORNIA REFERENCED STANDARDS CODE C.C.R., TITLE 24, PART 12.
- 11. TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
- 12. NATIONAL FIRE ALARM CODE (NFPA 72) 2022.
- 13. CITY OF CARMEL BY THE SEA ORDINANCES, CODES, AND REGULATIONS.

- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
- 2. ELECTRONICS INDUSTRIES ASSOCIATION (EIA)
- 3. INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS (IEEE)
- 4. NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA)
- 5. NATIONAL ELECTRICAL TESTING ASSOCIATION (NETA)
- 6. UNDERWRITER LABORATORIES (UL)
- 7. CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT STANDARDS (CAL/OSHA)

### SHEET INDEX

- E001 SYMBOLS, ABBREVIATIONS, LIGHT FIXTURE SCHEDULE, CODES & SHEET INDEX.
- E003 CALIFORNIA ENERGY COMPLIANCE TITLE 24 (BUILDING EXTERIOR).
- E201 ELECTRICAL SITE PLAN.
- E501 LIGHTING PLAN.
- E502 PHOTOMETRIC STUDY.

### \*+15" A.F.F. TO BOTTOM OF BOX, U.O.N. \*\* +48" A.F.F. TO TOP OF BOX, U.O.N. [#] NUMBER IN BRACKETS DENOTES NUMBER OF CABLE DROPS WHEN MORE THAN (2).

NOT TO SCALE

ON CENTER

OVERHEAD

PULL BOX

POLYVINYL

CHLORIDE

RELOCATE

POWER

SHEET

CABINET

SWITCH

TYPICAL

WATI

SWITCHBOARD

BACKBOARD

UNDERGROUND

**VOLTAGE DROP** 

WEATHERPROOF

TRANSFORMER

PHASE

**OVERALL HEIGHT** 

OWNER FURNACED

PUBLIC ADDRESS

POWER FACTOR

PHOTOVOLTAIC

REMOVABLE POLE

SINGLE LINE DIAGRAM

SYSTEMS TERMINATION

TELEPHONE TERMINAL

UNLESS OTHERWISE NOTED

PASSIVE INFRARED

CONTRACTOR INSTALLED

PROJECT ADDRESS:

PROJECT/CLIENT:

DOLORES, 2ND SE OF 7TH CARMEL, CA

JUN A. SILLANO, AIA

721 LIGHTHOUSE AVE PACIFIC GROVE CA.

93950

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INTERNATIONAL DESIGN GROUP. WITHEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS: CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE DROCKEDING WITH EARDICAL TOOL ON THE STATE OF THE STAT

EEDING WITH FABRICATION ON ITEMS SO NOTED.

AURUM CONSULTING

MONTEREY BAY, INC

Project No. 24-510.00

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APN: 010-145-012

022, & 023

93921

SYMBOLS, ABBREVS., LIGHT FIXTURE SCHEDULE, CODES & SHEET INDEX

DATE: NOVEMBER 21, 2024

P.C. SUBMITTAL

REVISION

SHEET NO.

E0.

Documentation Software: Energy Code Ace

CALIFORNIA ENERGY COMMISSION (Page 3 of 8

For new or altered lighting systems demonstrating compliance with 140.7 / 170.2(e)6 all new luminaires being installed and any existing luminaires remaining or being moved within ne spaces covered by the permit application are included in the Table below. For altered lighting systems using the Existing Power method per 141.0(b)2L only new luminaires being istalled and replacement luminaires being installed as part of the project scope are included (ie, existing luminaires remaining or existing luminaires being moved are not included). Outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit are included in Table H. and are not included here. All other multifamily outdoor

signed Watt	age:										
01	02	03	04	05	06	07	08	09	10	0	
ame or Item	Complete Luminaire Description		Watts per	How is Wattage	Total Number	Luminaire	ire Excluded per	Design Watts	Cutoff Req. > 6,200 initial lumen output	Field Inspector	
Tag	complete Lammane Des	эсприон	luminaire <sup>1, 2</sup>	determined	Luminaires <sup>2</sup>	Status <sup>3</sup>	170.2(e)6A	Design Waters	130.2(b) / 160.5(c)1 <sup>4</sup>	Pass	Fail
XA	3" Dia. Recessed LED Down Light Fixture	Linear	9.5	Mfr. Spec	28	New		266	NA: < 6200 lumens		
ХВ	40"x12.5"x16.125"D LED Wall Mounted Pendant Light Fixture	Linear	12	Mfr. Spec	4	New		48	NA: < 6200 lumens		
ХС	12"Hx6.5"Wx6.5"D LED Wall Sconce Light Fixture	Linear	6	Mfr. Spec	6	New		36	NA: < 6200 lumens		
Total Design Watts: 350											

 $^1$ FOOTNOTES: Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per 130.0(c) / 160.5(b)

<sup>2</sup> For linear luminaires, wattage should be indicated as W/lf instead of Watts/luminaire, Total linear feet should be indicated in column 05 instead of number of luminaires.

<sup>3</sup> Select "New" for new luminaires in a new outdoor lighting project, or for added luminaires in an alteration. Select "Altered" for replacement luminaires in an alteration. Select "Existing to Remain" for existing luminaires within the project scope that are not being altered and are remaining. Select "Existing Reinstalled" for existing luminaires which are being removed and reinstalled as part of

G. SHIELDING REQUIREMENTS (BUG)		
This section does not apply to this project.		
	Generated Date/Time:	Documentation Software: Energy Code Ace
CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance	Report Version: 2022.0.000 Schema Version: rev 20220101	Compliance ID: 187374-1224-0010 Report Generated: 2024-12-30 10:21:35

CALIFORNIA ENERGY COMMISSION NRCC-LTO-E Report Page (Page 6 of 8 2024-12-30T13:21:34-05:0

s table includes areas using the v	vattage allowance per application froi	m Table 140.7	-B / Table 170.	2-S.							
01	02	03	04	05	06	07	08	09	10		
	CALCULATED ALLOWANCE (Watts) DESIGN WATTS						۸ ما ما : <u>۱</u> : م				
Area Description	Application per Table 140.7-B <sup>1</sup>	# of Locations	Allowance per Location <sup>2</sup>	Extra Allowance (Watts)	Luminaire Name or Item Tag	Watts per Luminaire	# of Luminaires	Design Watts	Additiona Allowance (Watts)		
Building Entrances	Building Entrance/Exit	7	19	133	XA	9.5	6	57	69		
building cittrances	Building Entrance/Exit	,	19	133	155	133	ХВ	12	1	12	09
1					Total	Design Watts	for this Area:	69			
Total Allowance (Watts) All Areas:							69				

<sup>2</sup> The Allowance per Location for ATMs is 100W for the first ATM and 35W for each additional per Table 140.7-B /Table 170.2-S.

. LIGHTING ALLOWANCE: SALES FRONTAGE
nis section does not apply to this project.
LIGHTING ALLOWANCE: ORNAMENTAL

Generated Date/Time: Documentation Software: Energy Code Ace Report Version: 2022.0.000 Compliance ID: 187374-1224-0010

ALL LIGHTING CONTROL DEVICES AND SYSTEMS, AND ALL LIGHT SOURCES SHALL MEET THE APPLICABLE REQUIREMENTS OF 110.9.

ENERGY MANAGEMENT CONTROL SYSTEMS (EMCS) SHALL MEET REQUIREMENTS OF 130.0(e).

ALL OUTDOOR LIGHTING SHALL BE INDEPENDENTLY CONTROLLED FROM OTHER ELECTRICAL LOADS AND SHALL HAVE THE FOLLOWING FEATURES:

A. AUTOMATIC SCHEDULING CONTROLS SHALL BE INSTALLED FOR ALL OUTDOOR LIGHTING.

B. CAPABLE OF REDUCING LIGHTING POWER AT LEAST 50% AND NO MORE THAN 90% AND SEPARATELY CAPABLE OF TURNING LIGHTING OFF DURING

. THAT ALLOW SCHEDULING OF AT LEAST TWO NIGHTTIME PERIODS WITH INDEPENDENT LIGHTING LEVELS (MAY INCLUDE OVERRIDE FOR NO MORE THAN 2

JUN A. SILLANO. AIA

2024-12-30T13:21:34-05:00

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721 LIGHTHOUSE AVE PACIFIC GROVE CA. 93950

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Project No. 24-510.00 404 W. Franklin St. • Suite 100 • Monterey, CA 93940 T.831.646.3330 • F.831.646.3336 • www.acemb.com

otherwise without the expressed written permission of a CONSULTING ENGINEERS MONTEREY BAY, INC.

PROJECT/CLIENT:

**PROJECT ADDRESS:** 

DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

CALIFORNIA ENERGY **COMPLIANCE TITLE 24** (BUILDING INTERIOR / EXTERIOR)

DATE: NOVEMBER 21, 2024 P.C. SUBMITTAL

**REVISIONS:** 

SHEET NO.

P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

Provider (ATTCP). For more information visit: http://www.energy.ca.gov/title24/attcp/providers.html

NRCA-LTO-02-A - Must be submitted for all outdoor lighting controls except for alterations where controls are added to <= 20 luminaires.

Generated Date/Time:

Selections have been made based on information provided in this document. If any selection has been changed by permit applicant, an explanation should be included in Table E.

Additional Remarks. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification

Systems/Spaces To Be Field

Verified

General Hardscape: "XA"; General Hardscape: "XB";

General Hardscape: "XC"

Documentation Software: Energy Code Ace

ldridge O. Bell

Aurum Consulting Engineers, Monterey

State/Zip: Monterey, CA. 93940

Iress: 404 W. Franklin St., Suite 100

of Title 24, Part 1 and Part 6 of the California Code of Regulations.

plans and specifications submitted to the enforcement agency for approval with this building permit application.

Schema Version: rev 20220101

The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations,

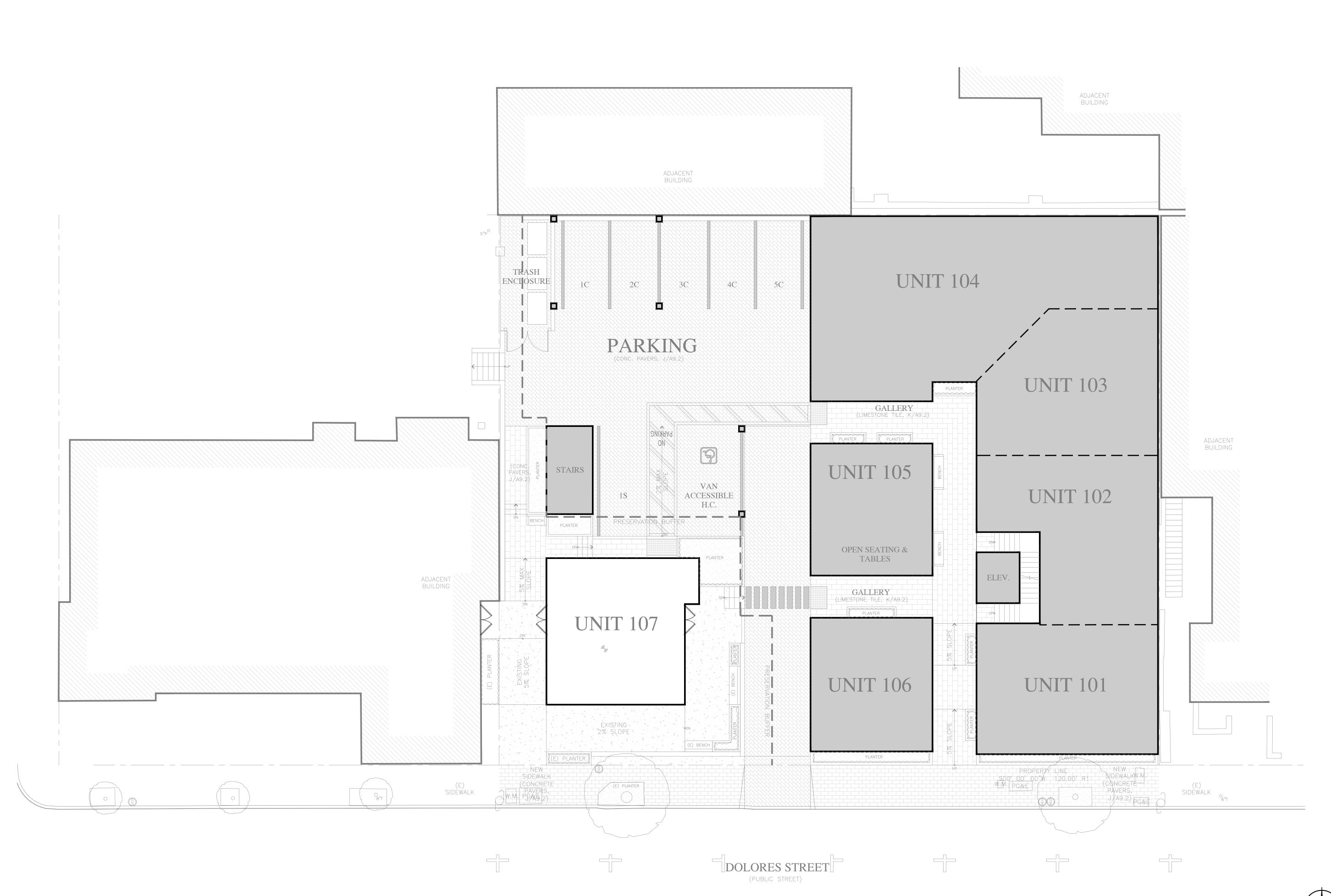
I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable

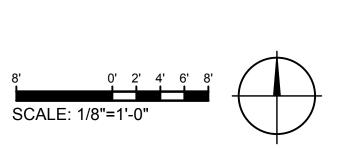
12/18/2024

License: E17789 Exp: 06/30/26

Phone: 831-646-3330

inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.





JUN A. SILLANO, AIA

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PH ■ (831) 646-1261

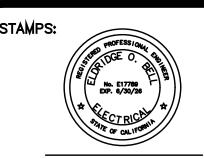
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PROJECT/CLIENT:

JB PASTOR BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

ELECTRICAL SITE PLAN

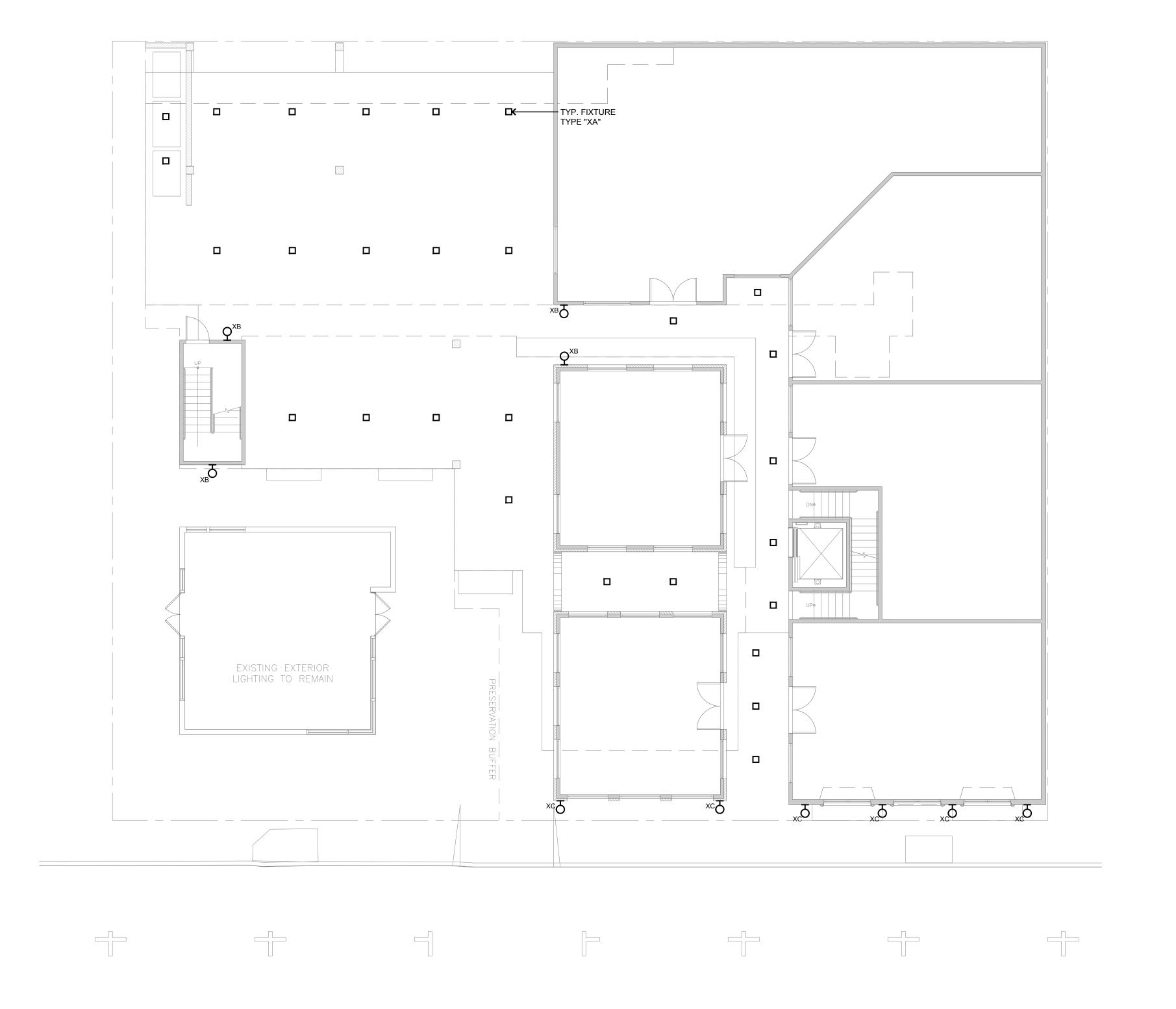
DATE: NOVEMBER 21, 2024
P.C. SUBMITTAL

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SHEET NO.

E2.1





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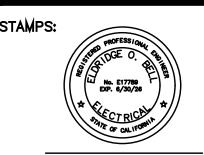
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### PROJECT/CLIENT:

JB PASTOR BUILDING

### PROJECT ADDRESS:

DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

LIGHTING PLAN

DATE: NOVEMBER 21, 2024
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REVISION

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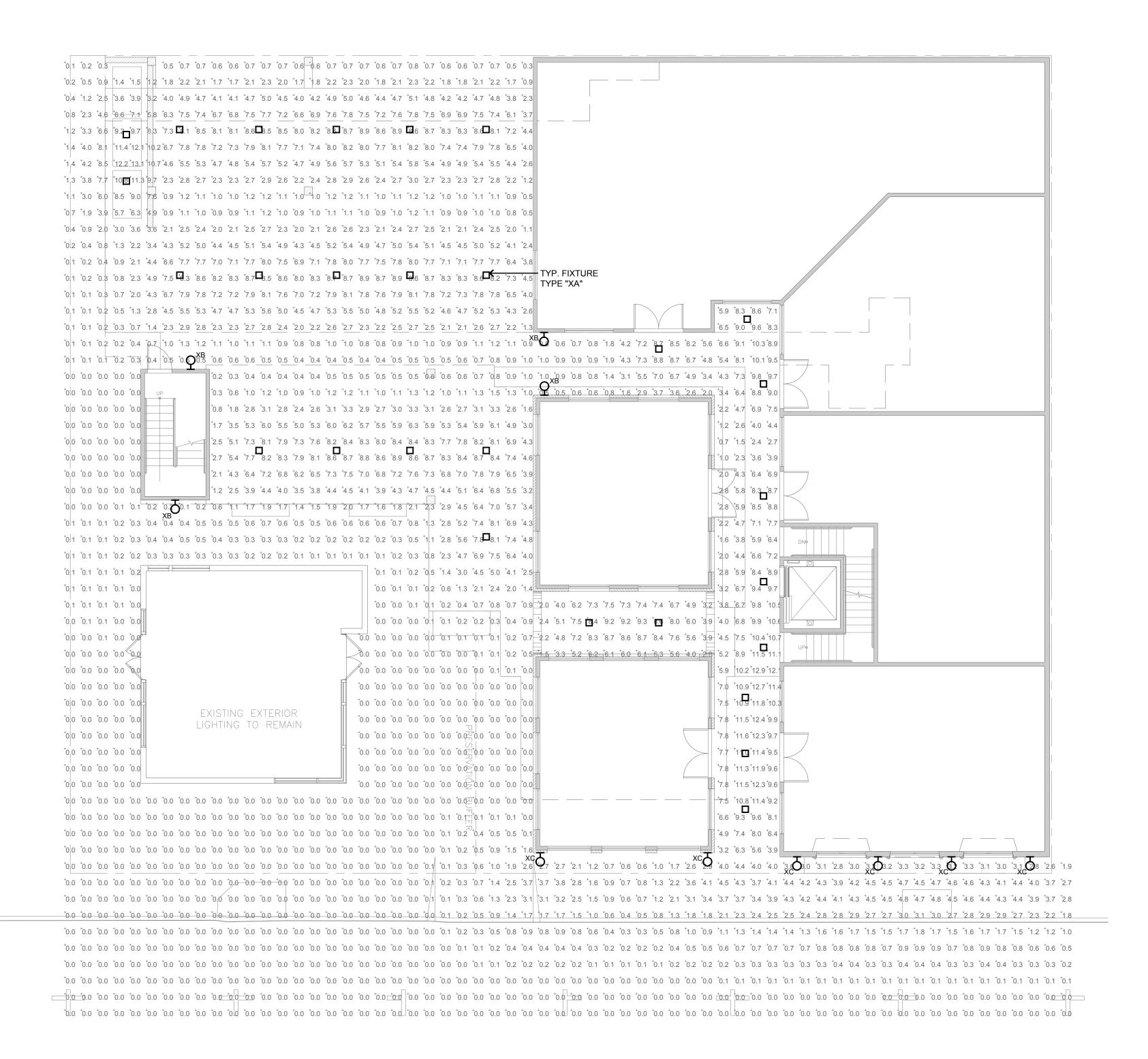
SHEET NO.

SCALE: 1/8"=1'-0"

E5.1

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	XA	28	COOPER LIGHTING SOLUTIONS - HALO (FORMERLY EATON)	HL36A10WFL930ED010T L3RMW	HL3 10W Round, Wide Flood optic with conical trim, No Lens, Matte White	1	843	0.89	9.5
오	ХВ	4	EVERGREEN LIGHTING	POM2211C24-12LED- TBR-HO-EMR-27K	LED LANTERN SCROLL ARM MOUNT UNIT. HONEY ONYX ACRYLIC LENS. OPEN BOTTOM 12 WATTS	1	840	0.89	12
ያ	XC	6	EVERGREEN LIGHTING	2100-6LED	ARCHITECTURAL BARCELONA SCONCE WITH FORWARD THROW DISTRIBUTION WITH CLEAR FROSTED ACRYLIC LENS MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	1	600	0.89	6

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/
Calc Zone #1	+	2.4 fc	13.1 fc	0.0 fc	N/A	N.





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STAMPS:

PROFESSIONAL COLOR

No. E17789

BUP. 6/30/26

ATTECT RICCH.

PROFESSIONAL COLOR

PROFESSIONAL COL



PROJECT/CLIENT:

JB PASTOR BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

PHOTOMETRIC STUDY

DATE: NOVEMBER 21, 2024
P.C. SUBMITTAL

REVISIONS:

<u> </u>		
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SHEET NO.

E5.2

