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FOREST & BEACH COMMISSION NOTES:

TOTAL SIZE OF OPEN SPACE:
AREA: 2,578 S.F.

LANDSCAPING AREA REQUIRED:
50% OF OPEN SPACE = 2,578 / 2 = 1,289 S.F.

PLANT ALTERNATIVES ALLOWED:
1,289 X 0.25 = 322.25 S.F.

LANDSCAPE AREA REQUIRED W/ 25% PLANT ALTERNATIVES:
1,289 - 322.25 = 966.75 S.F.

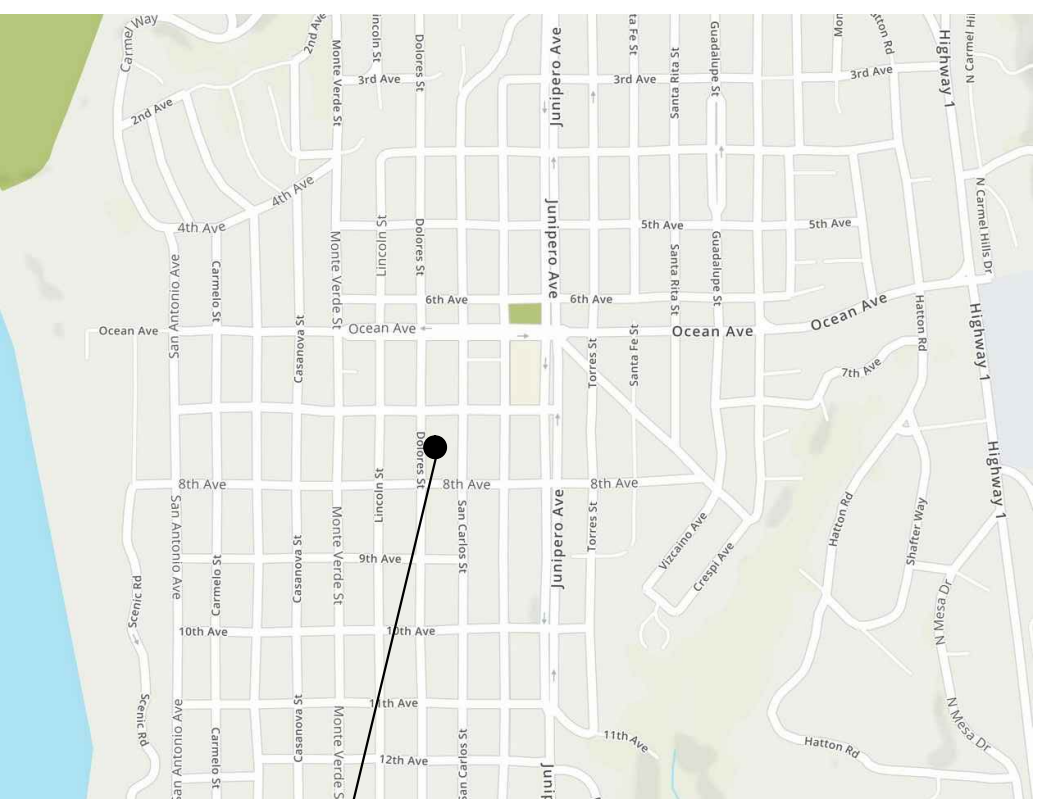
PLANT LANDSCAPE AREAS PROVIDED:
GROUND FLOOR: 440.8 S.F.
2ND LEVEL: 171.6 S.F.
GREEN ROOF: 935.6 S.F.
TOTAL: 1,548 S.F.

PLANT ALTERNATIVE AREAS PROVIDED:
GARDEN BENCHES: 56.5 SF

TREE SUMMARY:
(E) UPPER CANOPY TREE ON PUBLIC PROPERTY: 1
NEW UPPER CANOPY ON PUBLIC PROPERTY: 1
TOTAL: 2

LOWER CANOPY TREES ON ROOF: 4
(SEE SHEET A5.0)

VICINITY MAP



PLANNING INFO.

- PROPERTY OWNER:**
ESPERANZA CARMEL COMMERCIAL, LLC
ATTN: RYAN AESCHLIMAN
7TH NW OF LINCOLN
CARMEL-BY-THE-SEA, CA 93921
 - ARCHITECT:**
INTERNATIONAL DESIGN GROUP LLC
JUN A. SILLANO, AIA
JUN@IDG-INC.NET
PHONE: (831) 646-1261
 - PROJECT ADDRESS:**
DOLORES ST.
2 SE OF 7TH AVE,
CARMEL-BY-THE-SEA, CA 93921
 - PROJECT SCOPE:**
DEMOLITION OF 2 EXISTING BUILDINGS, NEW CONSTRUCTION FOR GROUND FLOOR PARKING GARAGE, COMMERCIAL SPACES ON GROUND FLOOR, & 8 RESIDENTIAL APARTMENTS ON 2ND FLOOR; 3 BEDROOM UNITS W/ ROOF TOP DECK
 - OCCUPANCY:** A-2, B, M, R-2, S-2
 - CONST. TYPE:** V-B, TYPE I-GARAGE
 - A.P.N.:** 010-145-012, 023, & 024
 - LEGAL DESC.:** LOTS: 6, 8, & 10 BLOCK: 91
 - ZONE:** SC (SERVICE COMMERCIAL)
 - STORIES:** 2 + BASEMENT
 - MAX BLDG. HT:** 30 FT ALLOWED
 - CUT/FILL:** SEE CIVIL DRAWINGS
 - TREE REMOVAL:** SEE A1.1
 - TOPOGRAPHY:** SEE TOPOGRAPHIC MAP, SHEET 1 OF 1
 - PROJECT CODE COMPLIANCE:**
2023 CBC, CMC, CPC, CFC, CEC, CALIFORNIA GREEN BUILDING CODE & 2023 CALIFORNIA ENERGY CODE
 - LOT AREA:** 12,000 S.F. (0.276 AC.)
 - BUILDING COVERAGE ALLOWED:**
17.14.130
A. EXCEPTIONS MAY BE GRANTED UP TO A MAXIMUM BUILDING COVERAGE OF 95 PERCENT = 95% (11,400 SF)
- | | EXISTING TO BE REMOVED | EXISTING TO REMAIN | PROPOSED |
|-------|------------------------|--------------------|------------|
| TOTAL | -2,269 S.F. | 692 S.F. | 8,741 S.F. |
- TOTAL: EXISTING TO REMAIN + PROPOSED = 9,433 SF (78.61%)
- FLOOR AREA RATIO (FAR) ALLOWED:**
FOR 2 STORIES = 135% (16,200 S.F.)
+INTRABLOCK ACCESS = 10% (1,200 S.F.)
TOTAL = 145% (17,400 S.F.)
- | | EXISTING TO BE REMOVED | EXISTING TO REMAIN | PROPOSED |
|--------------|------------------------|--------------------|-------------|
| GROUND FLOOR | -2,269 S.F. | 691 S.F. | 6,046 S.F. |
| SECOND FLOOR | -1,597 S.F. | | 7,546 S.F. |
| TOTAL | -3,866 S.F. | 691 S.F. | 13,592 S.F. |
- TOTAL: EXISTING TO REMAIN + PROPOSED = 13,592 (113.26%)
- NOT INCLUDED IN FAR CALCULATIONS**
- | | EXISTING | PROPOSED |
|----------|----------|----------|
| BASEMENT | 0 | 852 S.F. |
- PARKING REQUIREMENTS**
COMMERCIAL RETAIL REQ. 1 PER 600 SQ. FT.
5339.14 / 600 S.F. = 8.9 = 9 SPACES
RESIDENTIAL REQUIRES 1 PER UNIT
8 UNITS = 8 SPACES
TOTAL REQ. = 17 SPACES
 - ACCESSIBILITY REQ.**
VAN PARKING REQ. = 1 PER 25 SPACES
- | | |
|------------------|---------------------------------|
| TOTAL REQ. = | 9 COMPACT PARKING SPACES |
| | 8 STANDARD PARKING SPACES |
| | 1 ACCESSIBLE VAN PARKING SPACES |
| | 18 SPACES |
| TOTAL PROVIDED = | 10 COMPACT PARKING SPACES |
| | 1 STANDARD PARKING SPACES |
| | 1 ACCESSIBLE VAN PARKING SPACES |
| | 12 SPACES |

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA,
93950

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STAMPS:

PROJECT/CLIENT:

JB PASTOR BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012, 022, & 023

DATE: NOVEMBER 21, 2024
P.C. SUBMITTAL

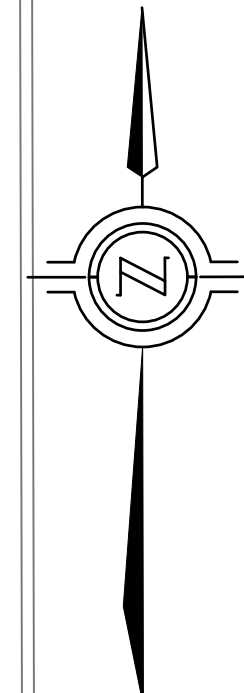
REVISIONS:

- 12/19/24 PLAN UPDATE

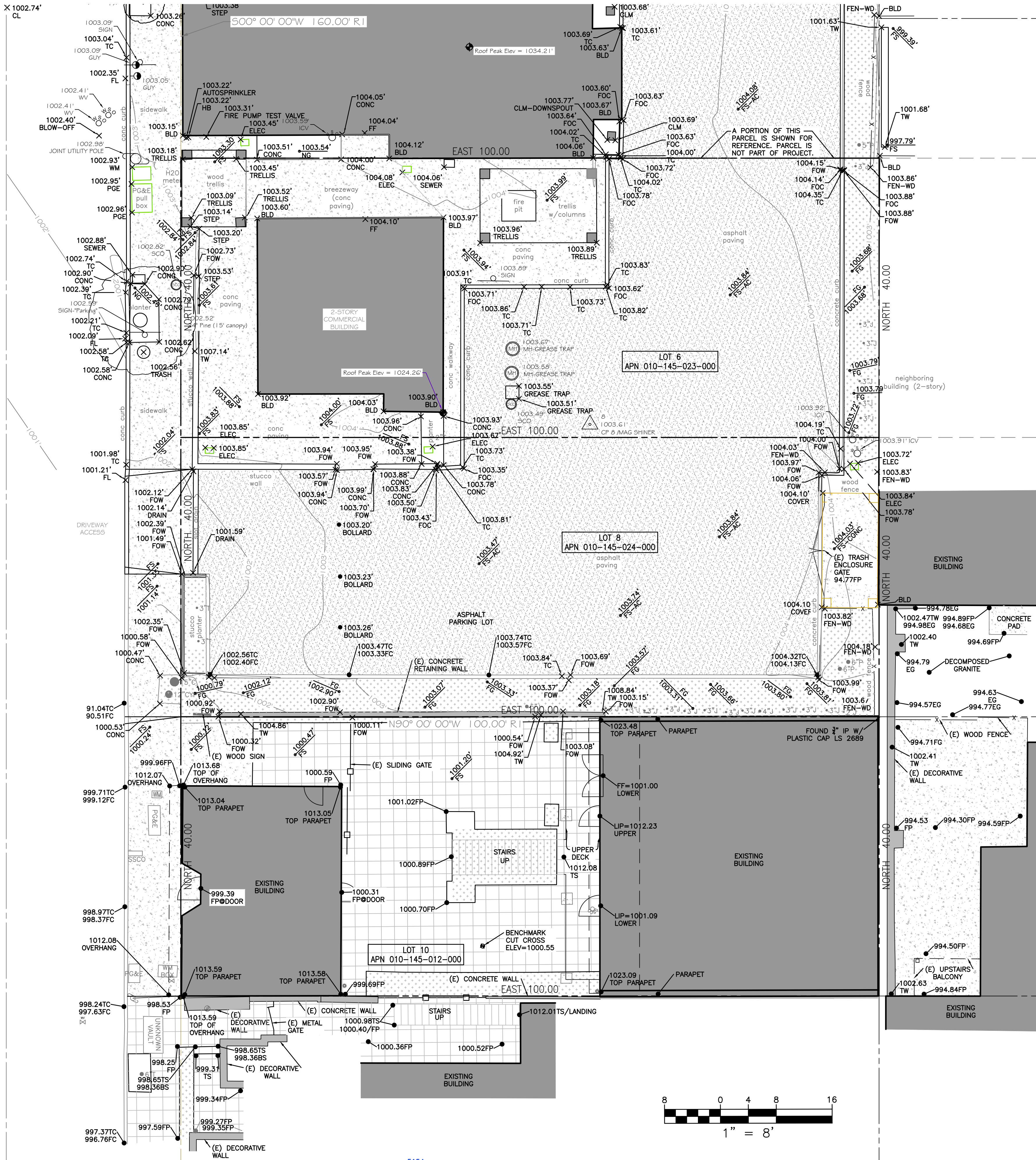
SITE PLAN

SHEET NO.

A1.0



DOLORES STREET



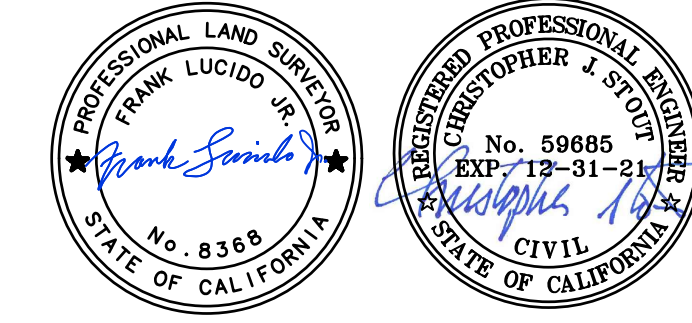
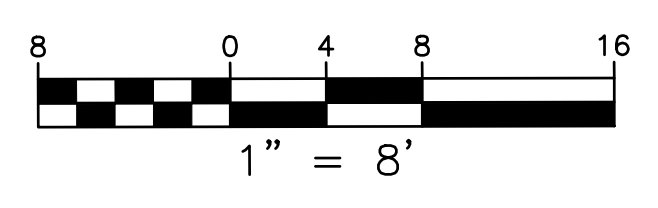
LEGEND

	WATER METER		PROPERTY BOUNDARY LINE
	WATER VALVE		BUILDING OVERHANG
	HOSE BIB		METAL FENCE
	FIRE DEPARTMENT CONNECTION		CONCRETE CURB
	IRRIGATION CONTROL VALVE		CONCRETE
	JOINT POLE		PAVERS
	ELECTRICAL METER		PLANTER
	DOWNSPOUT		ASPHALT
	CLEANOUT		
	CONTROL POINT		
	FIRE HYDRANT		
	LIGHT STANDARD		
	MANHOLE		
	SEWER CLEAN OUT		
	SIGN(POLE)		
	SEWER MANHOLE		
	TELEPHONE MANHOLE		
	WATER SHUTOFF		

ABBREVIATIONS

CLM	COLUMN
E	EXISTING
EG	EXISTING GRADE
FF	FINISH FLOOR
FOC	FACE OF CURB
FW	FACE OF WALL
FP	FINISH PAVEMENT
TS	JUNIPER TREE/BUSH
TS	TOP OF STAIR
TW	TOP OF WALL

- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS.
 - THIS TOPOGRAPHIC SURVEY HAS BEEN COMBINED WITH A PREVIOUSLY MAPPED RASMUSSEN LAND SURVEYING INC TOPOGRAPHIC SURVEY MAP (LOT 6 AND 8) TO PROVIDE AN OVERALL PROJECT BASEMAP. L&S ENGINEERING AND SURVEYING INC IS NOT RESPONSIBLE FOR THE TOPOGRAPHIC MAPPING ACCURACY FROM THE RASMUSSEN MAPPING, HOWEVER AN EFFORT HAS BEEN MADE TO COMBINE MAPS AND REVIEW FOR COMPLETENESS.
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - ELEVATION SHOWN ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK ELEVATION - CUT CROSS - ON PAVERS BETWEEN PLANTERS AS SHOWN ABOVE. ELEV=1000.55
 - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.



DRAWN BY: P/M
 DESIGNED BY: N/A
 DATE: 12/21/18
 SCALE: 1" = 8'
 JOB NUMBER: 19-47
 LAST REVISED: 7/27/20
 REVISED BY: C/S

PREPARED FOR:
INTERNATIONAL DESIGN GROUP, INC
 721 LIGHTHOUSE AVE
 PACIFIC GROVE, CA

TOPOGRAPHIC SURVEY
 DOLORES, 2SE OF 7TH
 LOTS 6, 8, & 10
 CARMEL-BY-THE-SEA

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BUILDING

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APN: 010-145-012
022, & 023

DATE: NOVEMBER 21, 2024

P.C. SUBMITTAL

REVISIONS:

- △ 12/19/24
PLAN UPDATE
- △
- △
- △
- △
- △

SITE DEMO &
HISTORIC BLDG.
PROTECTION PLAN

SHEET NO.

A1.1

TREE REMOVAL

TREE	SIZE	QUANTITY
JUNIPER	5"φ	2
JUNIPER	4"φ	1
JUNIPER	3"φ	17
JUNIPER	2"φ	1
PINE	6"φ	2
PINE	3"φ	2
CHERRY	2"φ	1

TOTAL TO BE REMOVED: 26 - PRIVATE PROPERTY

CYPRESS	15"φ	1
CYPRESS	12"φ	1

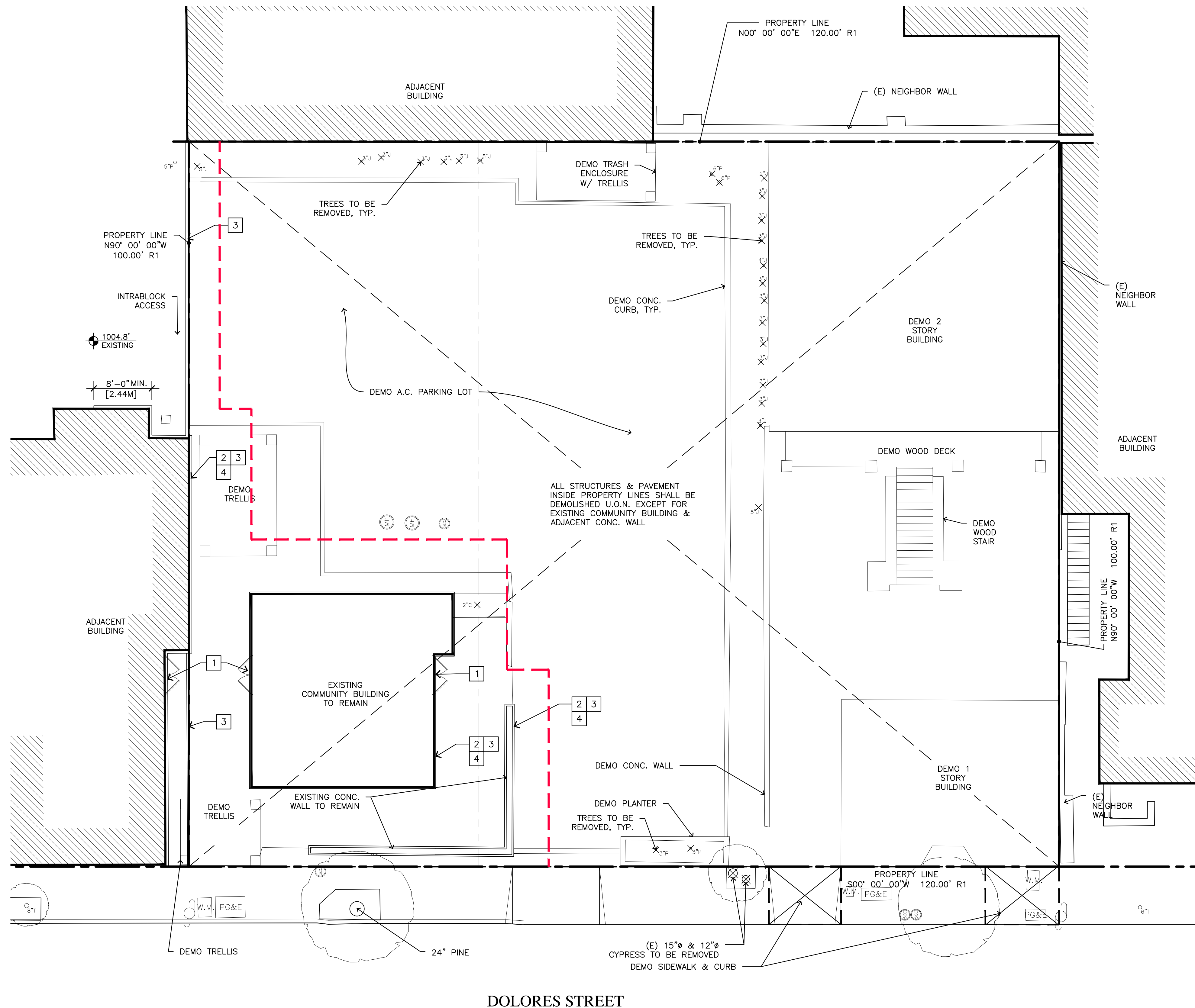
TOTAL TO BE REMOVED: 2 - PUBLIC PROPERTY

26 PRIVATE + 2 PUBLIC

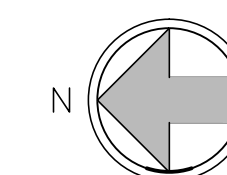
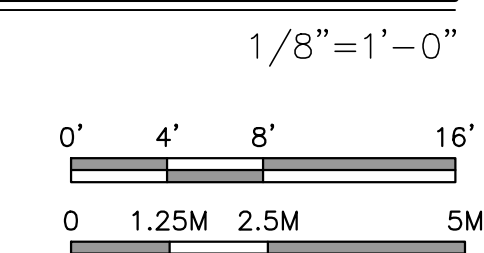
TOTAL TO BE REMOVED: 28

HISTORIC BLDG.
PROTECTION PLAN
KEYNOTES

- 1 CONSTRUCT BARRICADE WALL TO CLOSE OPENING OF (E) BUILDING PRIOR TO ANY DEMOLITION WORK.
- 2 PROVIDE FULL HEIGHT VINYL SHEET TO WALL FOR DUST PROTECTION. ALSO IT SHALL SEAL DOORS, WINDOWS & OTHER OPENINGS PRIOR TO ANY DEMOLITION WORK.
- 3 CONSTRUCT 6' HIGH SELF-SUPPORTING PLYWOOD BARRICADE WALL
- 4 ITEM 3 OVER ITEM 2. DEVELOPMENT TEAM SHALL DESIGN THIS WALL W/O ANY ATTACHMENTS TO (E) BUILDING.



DEMO. SITE PLAN



DOLORES STREET

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PLAN UPDATE
- ▲
- ▲
- ▲
- ▲
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**EXITING, F.A.R. &
BUILDING COVERAGE
DIAGRAMS**

SHEET NO.

A1.2

EXIT ANALYSIS

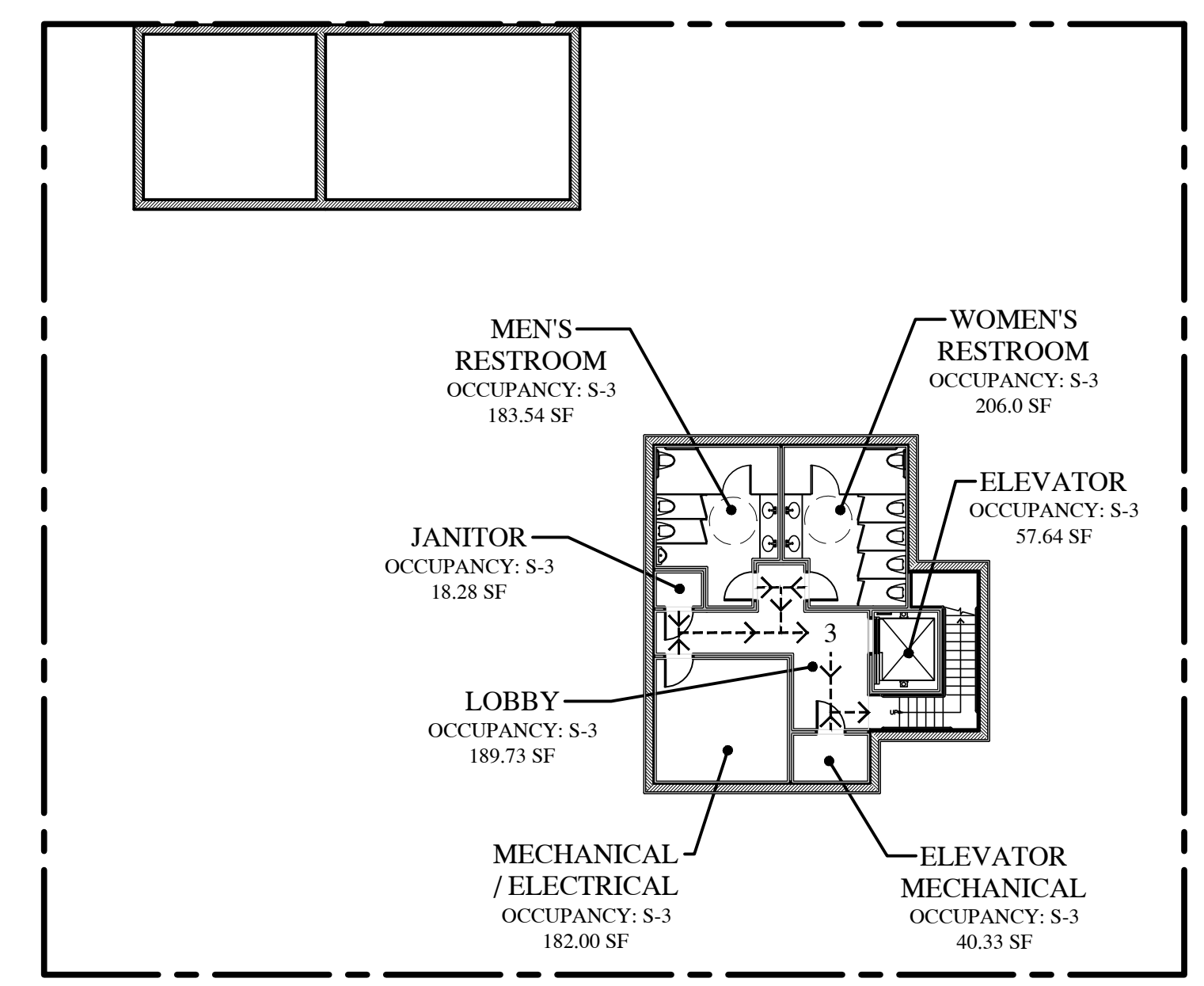
BASEMENT	
TYPE S-3 OCCUPANCY	= 189.73 SF
LOBBY	= 18.28 SF
JANITOR CLOSET	= 18.28 SF
MEN'S RESTROOM	= 183.54 SF
WOMEN'S RESTROOM	= 206.0 SF
ELEVATOR	= 57.64 SF
ELEVATOR MECHANICAL	= 40.33 SF
MECHANICAL/ELECTRICAL	= 156.00 SF
TOTAL	= 851.52 SF/300 GROSS = 2.84 = 3 OCCUPANTS
S-3 OCCUPANT LOAD = 3 OCCUPANTS > 1 EXITS REQUIRED	
EXIT WIDTH REQUIRED:	
3 X 0.2" = 0.6" @ DOOR > 72" PROVIDED	
3 X 0.3" = 0.9" @ STAIR > 88" PROVIDED	
GROUND FLOOR	
TYPE M OCCUPANCY (MERCANTILE)	60 SF GROSS = OCCUPANTS
CALCULATED FOR TYPE M	
UNIT-101	= 722.78 SF
UNIT-102	= 768.5 SF
UNIT-103	= 754.31 SF
UNIT-104	= 1,543.77 SF
UNIT-105	= 461.43 SF
UNIT-106	= 467.43 SF
TOTAL	= 4,718.22 SF/60 GROSS = 78.64 = 79 OCCUPANTS
TYPE A-2 OCCUPANCY (ASSEMBLY) 15 SF GROSS = OCCUPANTS	
UNIT-107	= 621 SF
TOTAL	= 621 SF/15 GROSS = 41.39 = 42 OCCUPANTS
A-2 + M OCCUPANT LOAD = 121 OCCUPANTS > 2 EXITS REQUIRED > 61 OCCUPANTS EACH	
EXIT WIDTH REQUIRED:	
61 X 0.2" = 12.2" @ DOOR > 72" PROVIDED	
61 X 0.3" = 18.3" @ STAIR > 88" PROVIDED	
2ND FLOOR	
TYPE R-2 OCCUPANCY	
APARTMENT-2A	= 1,660.8 SF
APARTMENT-2B	= 1,322.8 SF
APARTMENT-2C	= 1,188.09 SF
APARTMENT-2D	= 576.6 SF
APARTMENT-2E	= 476.63 SF
APARTMENT-2F	= 476.63 SF
APARTMENT-2G	= 476.63 SF
APARTMENT-2H	= 626.37 SF
TOTAL	= 6,804 SF/200 GROSS = 34.02 = 35 OCCUPANTS
R-2 OCCUPANT LOAD = 35 OCCUPANTS > 2 EXITS REQUIRED > 18 OCCUPANTS EACH	
EXIT WIDTH REQUIRED:	
18 X 0.2" = 3.6" @ DOOR > 72" PROVIDED	
18 X 0.3" = 5.4" @ STAIR > 88" PROVIDED	

F.A.R. CALCULATIONS

GROUND FLOOR		FAR BY BUILDING:	
BUILDING 1	= 4,212 SF	BUILDING 1:	9,544 SF
BUILDING 2	= 1,213 SF	BUILDING 2:	3,427 SF
BUILDING 3 (EXISTING)	= 621 SF	BUILDING 3 (EXISTING):	621 SF
TOTAL	= 6,046 SF		
2ND FLOOR			
BUILDING 1	= 5,322 SF		
BUILDING 2	= 2,214 SF		
TOTAL	= 7,546 SF		
GROUND FLOOR + 2ND FLOOR (6,046 + 7,546) = 13,592 SF			
13,592 / 12,000 = 113.27%			

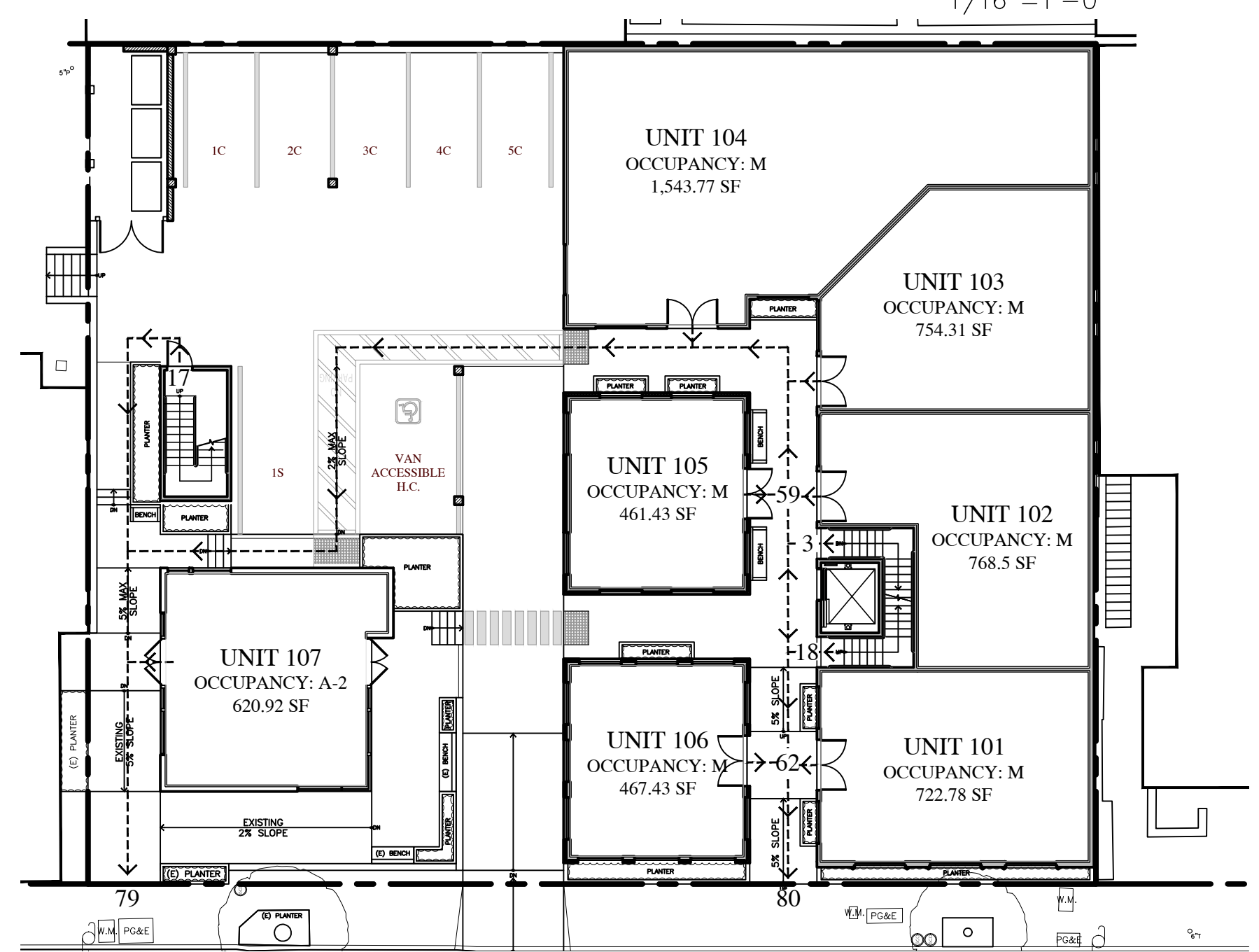
BUILDING COVERAGE SUMMARY

BUILDING COVERAGE	
BUILDING 1	= 5,800 SF
BUILDING 2	= 2,358 SF
BUILDING 3 (EXISTING)	= 692 SF
WALKWAYS	= 583 SF
TOTAL	= 9,433 SF
9,242 / 12,000 = 78.61%	



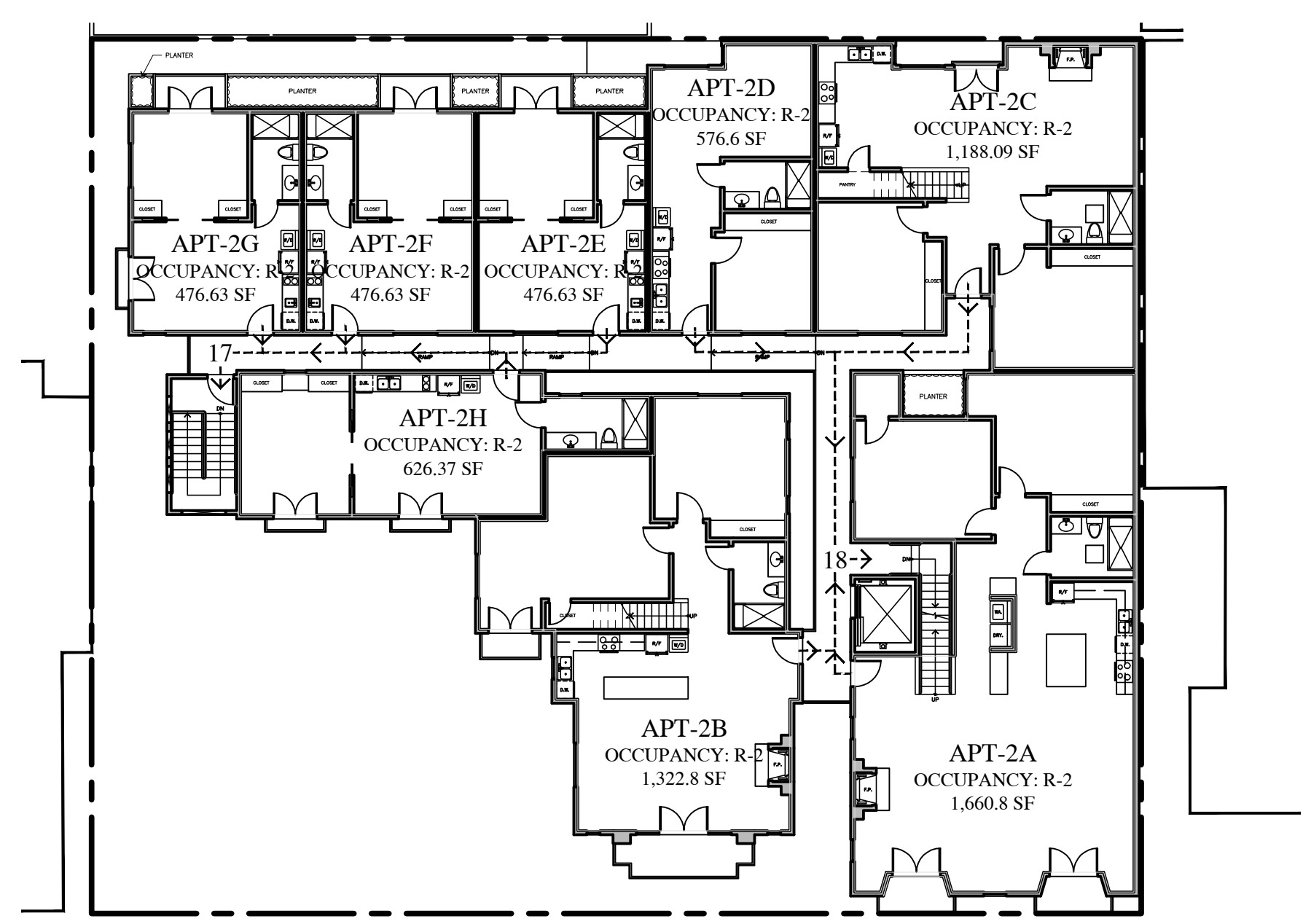
EXITING - BASEMENT PLAN

1/16"=1'-0"



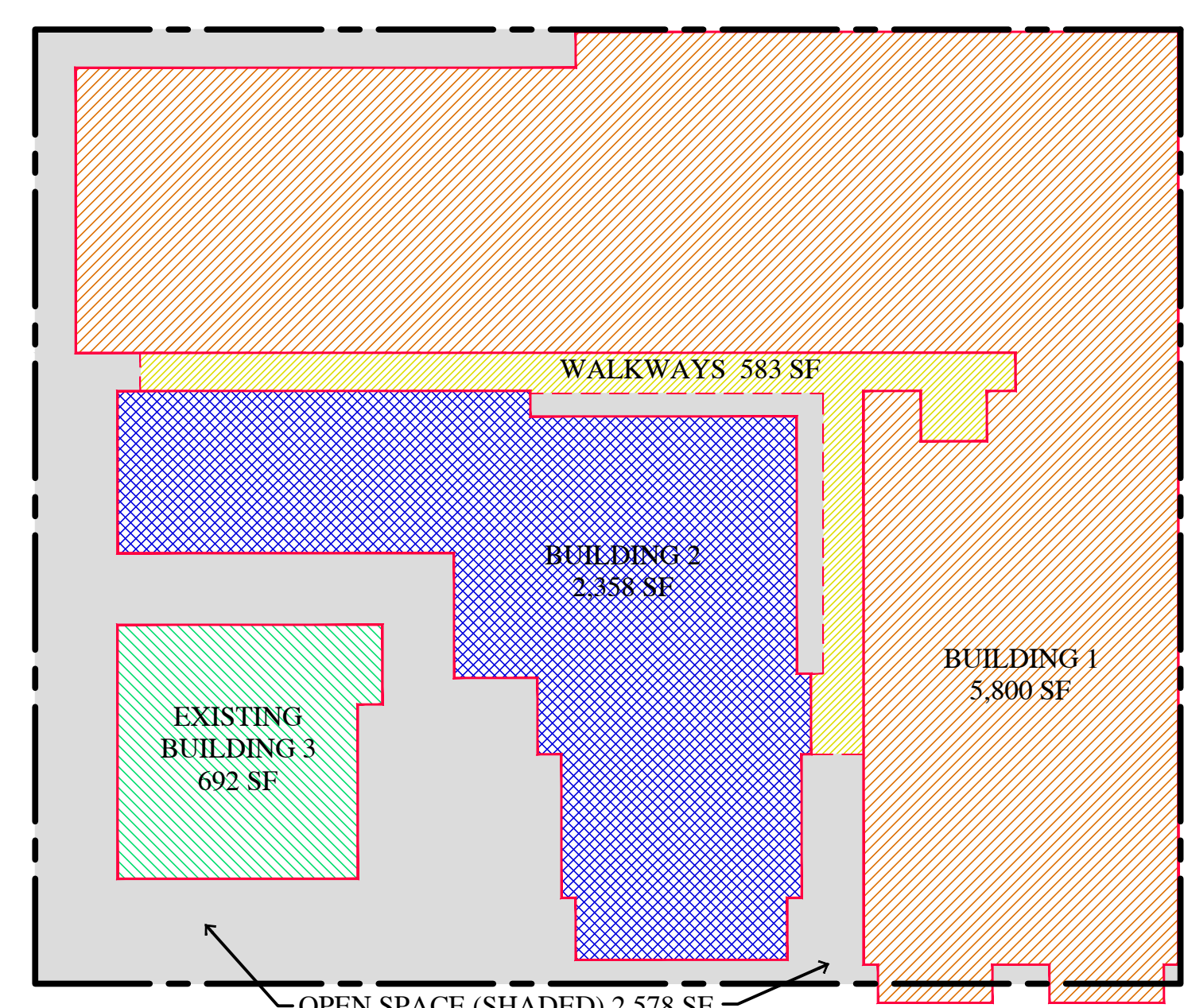
EXITING - GROUND FLOOR

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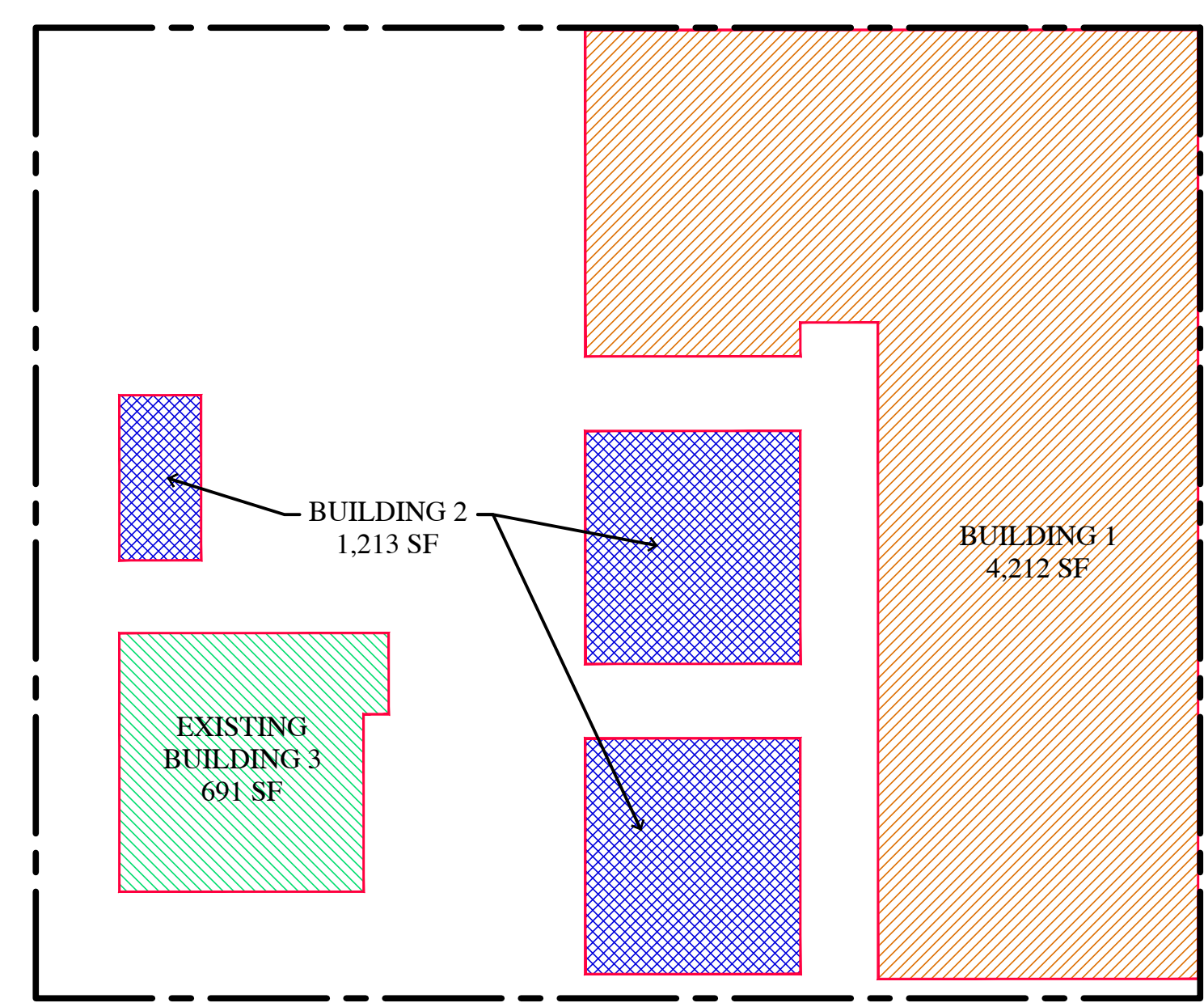
EXITING - 2ND FLOOR

1/16"=1'-0"



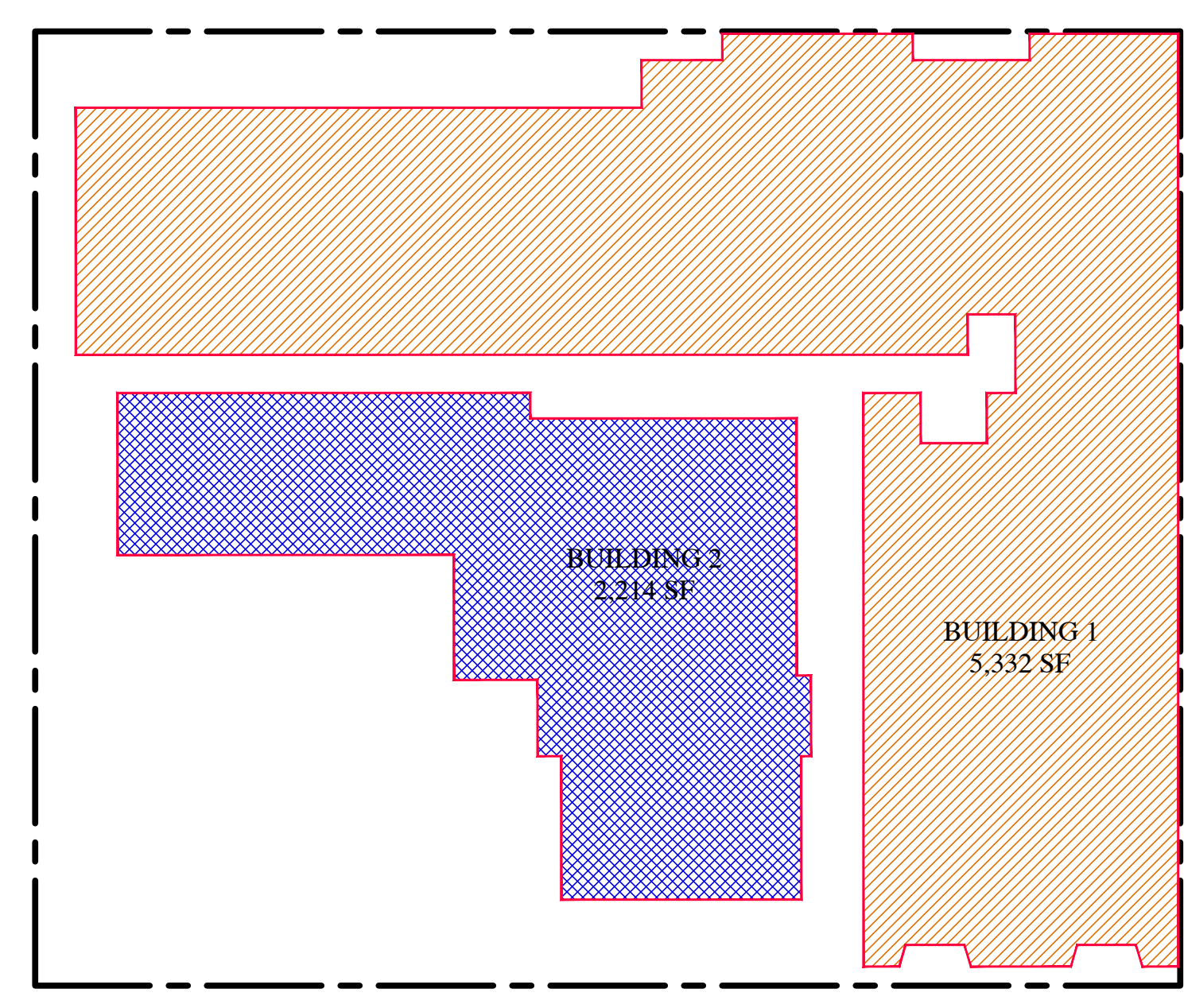
BUILDING COVERAGE

1/16"=1'-0"



F.A.R. - GROUND FLOOR

1/16"=1'-0"



F.A.R. - 2ND FLOOR

1/16"=1'-0"

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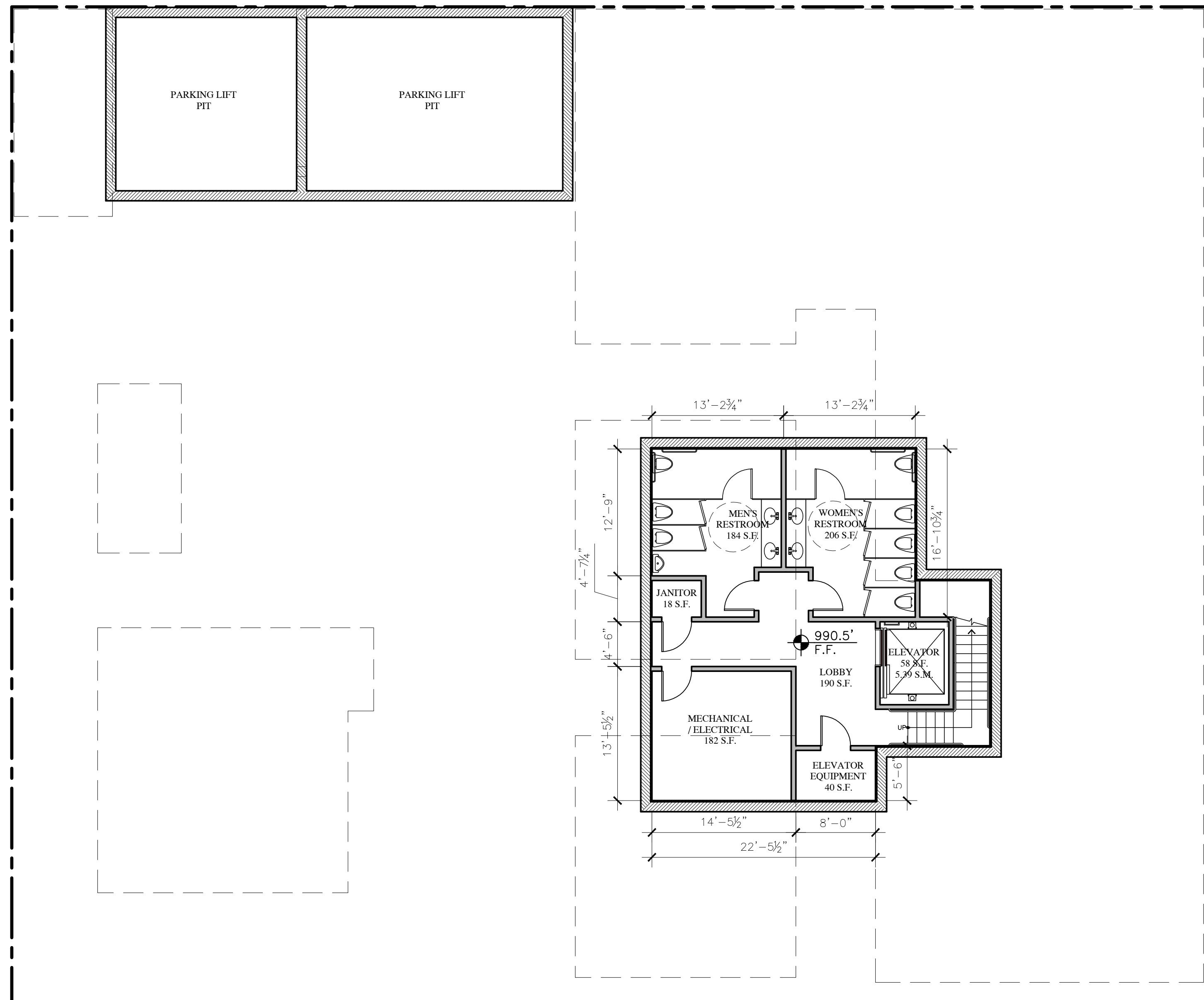
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△	12/19/24	PLAN UPDATE
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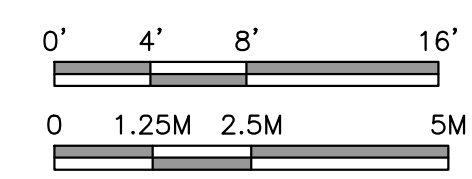
**BASEMENT
PLAN**

SHEET NO.

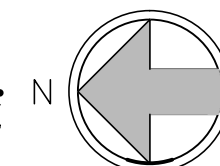
A2.0



BASEMENT PLAN



1/8" = 1'-0"



WALL LEGEND

- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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STAMPS:

PROJECT/CLIENT:

**JB PASTOR
BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921**

APN: 010-145-012
022, & 023

DATE: NOVEMBER 21, 2024

P.C. SUBMITTAL

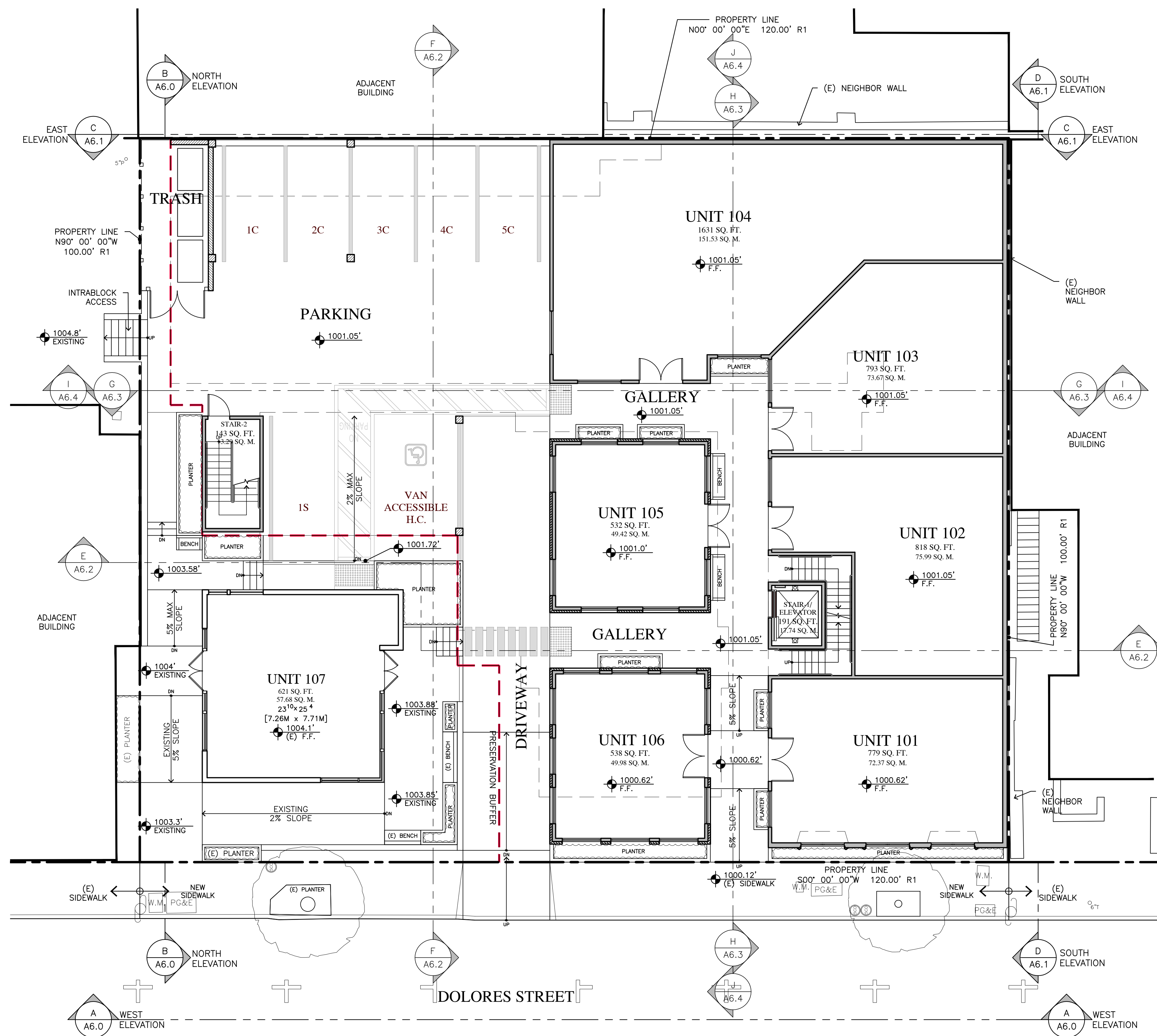
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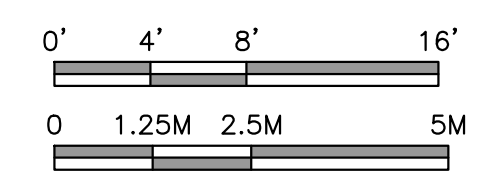
**GROUND
FLOOR PLAN**

SHEET NO.

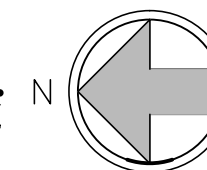
A3.0



PROPOSED GROUND FLOOR PLAN
6,046 SQUARE FEET / 561.7 SQUARE METERS



1/8" = 1'-0"



WALL LEGEND

- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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**DOLORES, 2ND SE
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93921**

APN: 010-145-012
022, & 023

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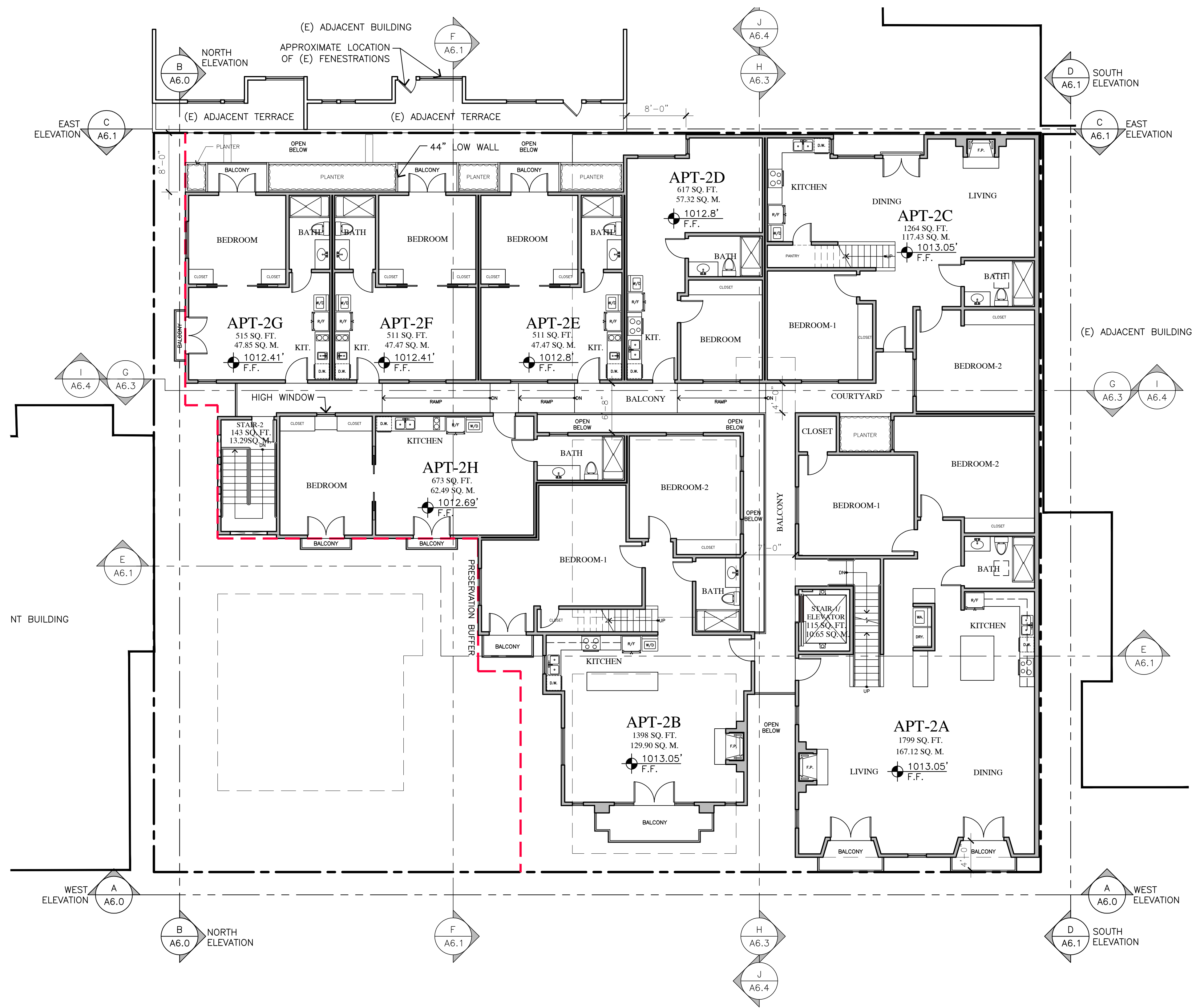
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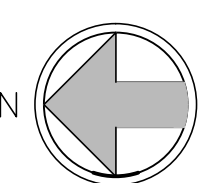
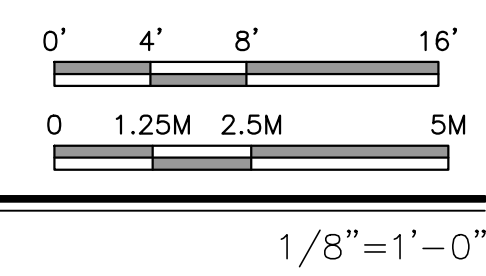
**SECOND
FLOOR PLAN**

SHEET NO.

A4.0



PROPOSED SECOND FLOOR PLAN
7,546 SQUARE FEET / 701.05 SQUARE METERS



WALL LEGEND

- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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93921**

APN: 010-145-012
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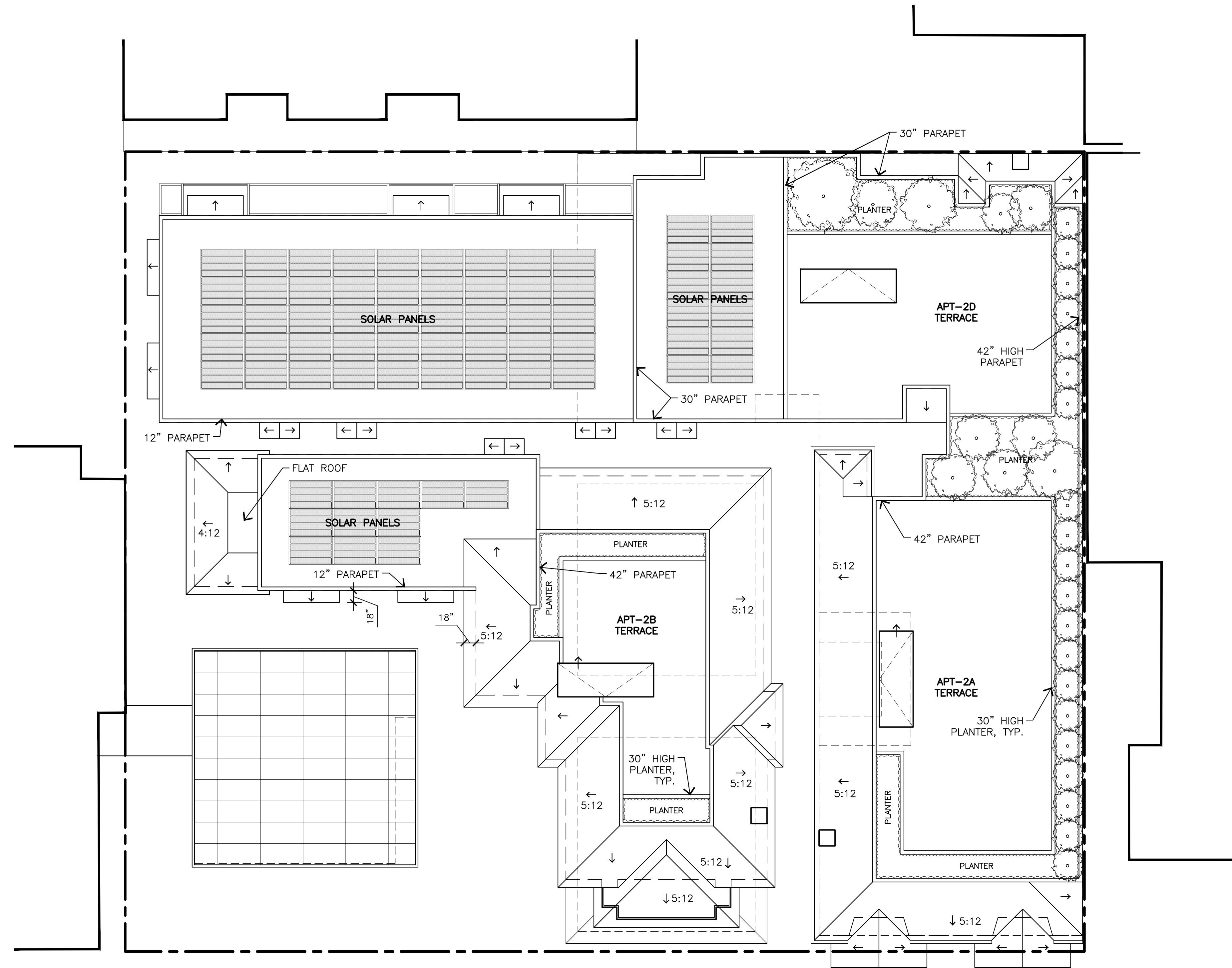
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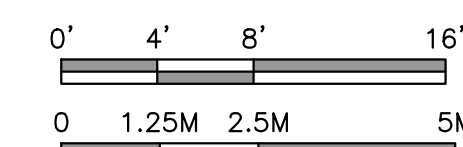
**ROOF
PLAN**

SHEET NO.

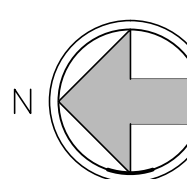
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ROOF PLAN

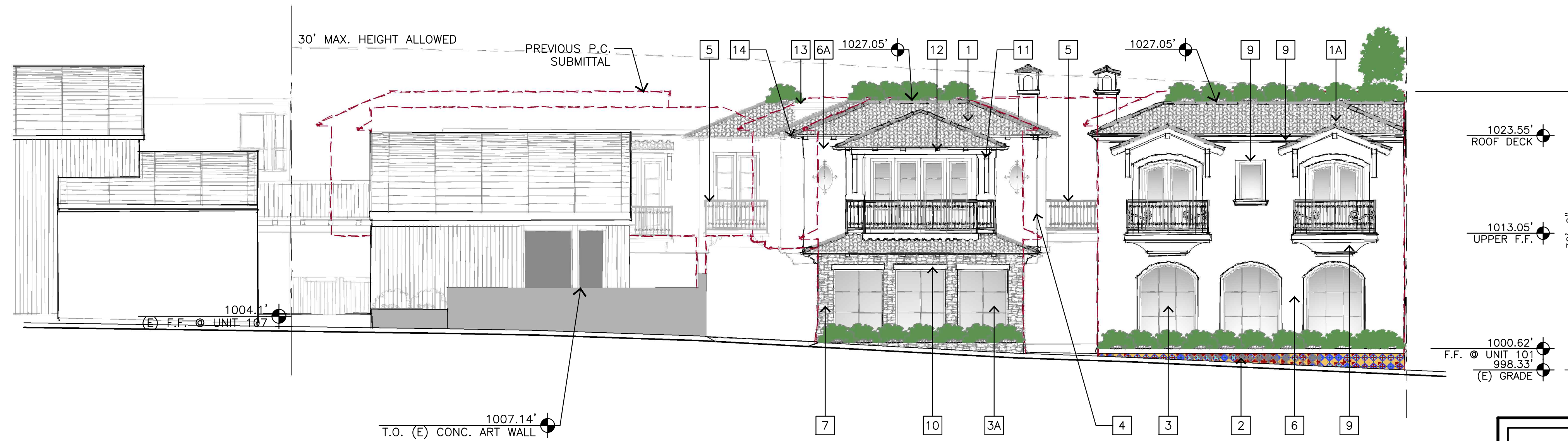


1/8" = 1'-0"



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STAMPS:



A - WEST ELEVATION

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CAP & PAN CLAY TILE ROOF, REDLANDS OR EQUAL, (F/A9.2)
- 1A ROMAN PAN & MISSION SANDCAST CLAY TILE ROOF, REDLANDS OR EQUAL (O/A9.2)
- 2 DECORATIVE CERAMIC TILE (I/A9.2)
- 3 METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS, (B/A9.2)(D/A9.2)
- 3A METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS (B/A9.2)(L/A9.2)
- 4 CHAMFERED STUCCO CORNERS
- 5 PAINTED GALVANIZED WROUGHT IRON RAILING & DECORATIVE FEATURE (C/A9.2)
- 6 PAINTED STUCCO SMOOTH FINISH (G/A9.2)
- 6A PAINTED STUCCO SMOOTH FINISH (M/A9.2)
- 7 RANDOM EXTERIOR STONE (N/A9.2)
- 9 SIMULATED LIMESTONE SILL, SURROUND & HORIZONTAL BAND (A/A9.2)
- 10 4X REDWOOD HEADER
- 11 REDWOOD BEAMS, CORBELS, & HEADERS
- 12 6X4 REDWOOD RAFTER TAILS
- 13 SIMULATED LIMESTONE PARAPET CAP (A/A9.2)
- 14 5\" PAINTED GALVANIZED GUTTERS, LEADER BOX & DOWNSPOUTS (E/A9.2)
- 15 4X4 SHAPED REDWOOD SILL

PROJECT/CLIENT:

**JB PASTOR
BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921**

APN: 010-145-012
022, & 023

DATE: NOVEMBER 21, 2024

P.C. SUBMITTAL

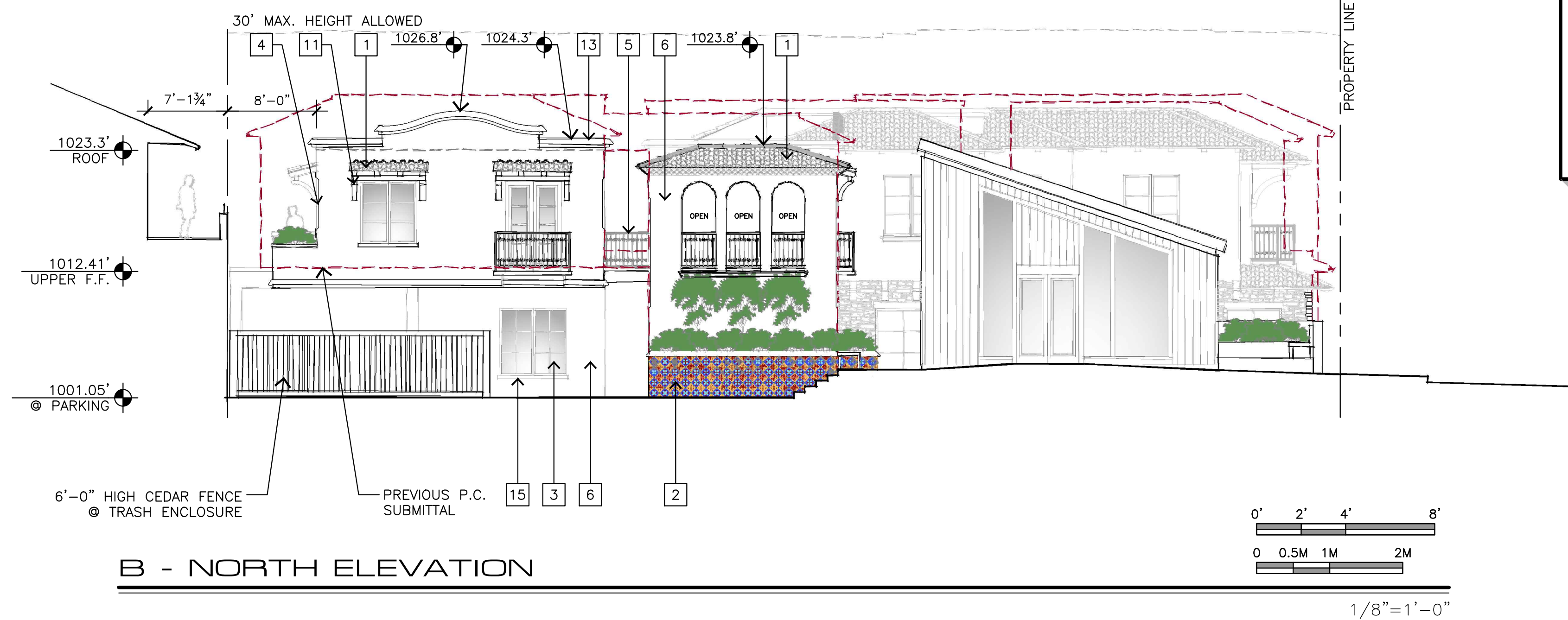
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ELEVATIONS

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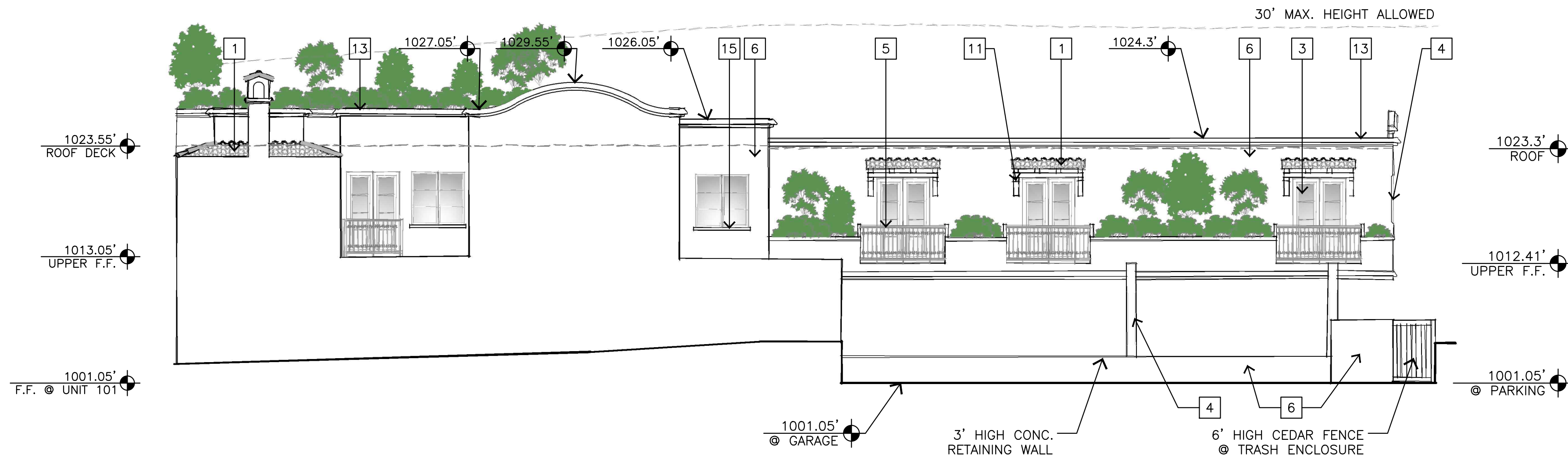
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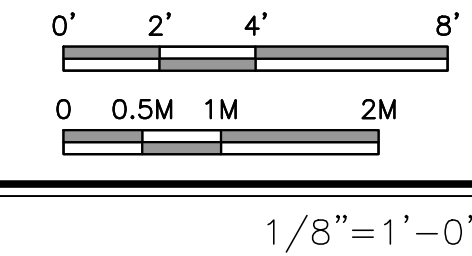
B - NORTH ELEVATION

DISCLAIMER:
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STAMPS:



C - EAST ELEVATION



EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CAP & PAN CLAY TILE ROOF, REDLANDS OR EQUAL, (F/A9.2)
- 1A ROMAN PAN & MISSION SANDCAST CLAY TILE ROOF, REDLANDS OR EQUAL (O/A9.2)
- 2 DECORATIVE CERAMIC TILE (I/A9.2)
- 3 METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS, (B/A9.2)(D/A9.2)
- 3A METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS (B/A9.2)(L/A9.2)
- 4 CHAMFERED STUCCO CORNERS
- 5 PAINTED GALVANIZED WROUGHT IRON RAILING & DECORATIVE FEATURE (C/A9.2)
- 6 PAINTED STUCCO SMOOTH FINISH (G/A9.2)
- 6A PAINTED STUCCO SMOOTH FINISH (M/A9.2)
- 7 RANDOM EXTERIOR STONE (N/A9.2)
- 9 SIMULATED LIMESTONE SILL, SURROUND & HORIZONTAL BAND (A/A9.2)
- 10 4X REDWOOD HEADER
- 11 REDWOOD BEAMS, CORBELS, & HEADERS
- 12 6X4 REDWOOD RAFTER TAILS
- 13 SIMULATED LIMESTONE PARAPET CAP (A/A9.2)
- 14 5" PAINTED GALVANIZED GUTTERS, LEADER BOX & DOWNSPOUTS (E/A9.2)
- 15 4X4 SHAPED REDWOOD SILL

PROJECT/CLIENT:

**JB PASTOR
BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921**

APN: 010-145-012
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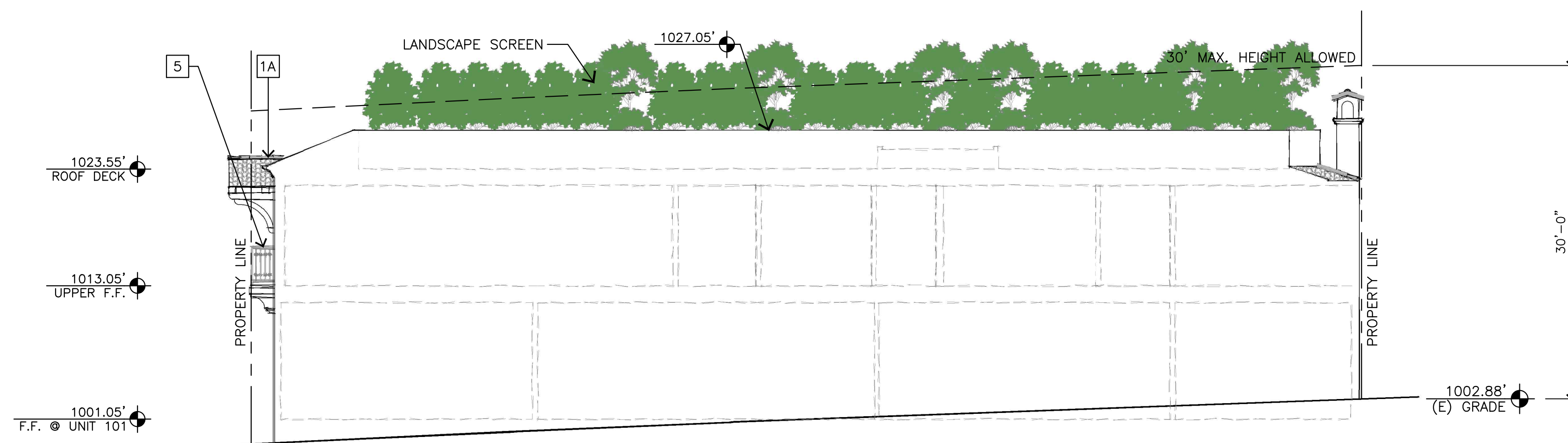
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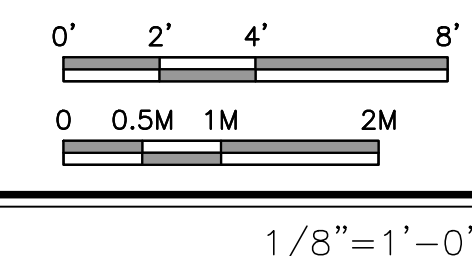
ELEVATIONS

SHEET NO.

A6.1



D - SOUTH ELEVATION



DISCLAIMER:
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PROJECT ADDRESS:

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CARMEL, CA
93921**

APN: 010-145-012
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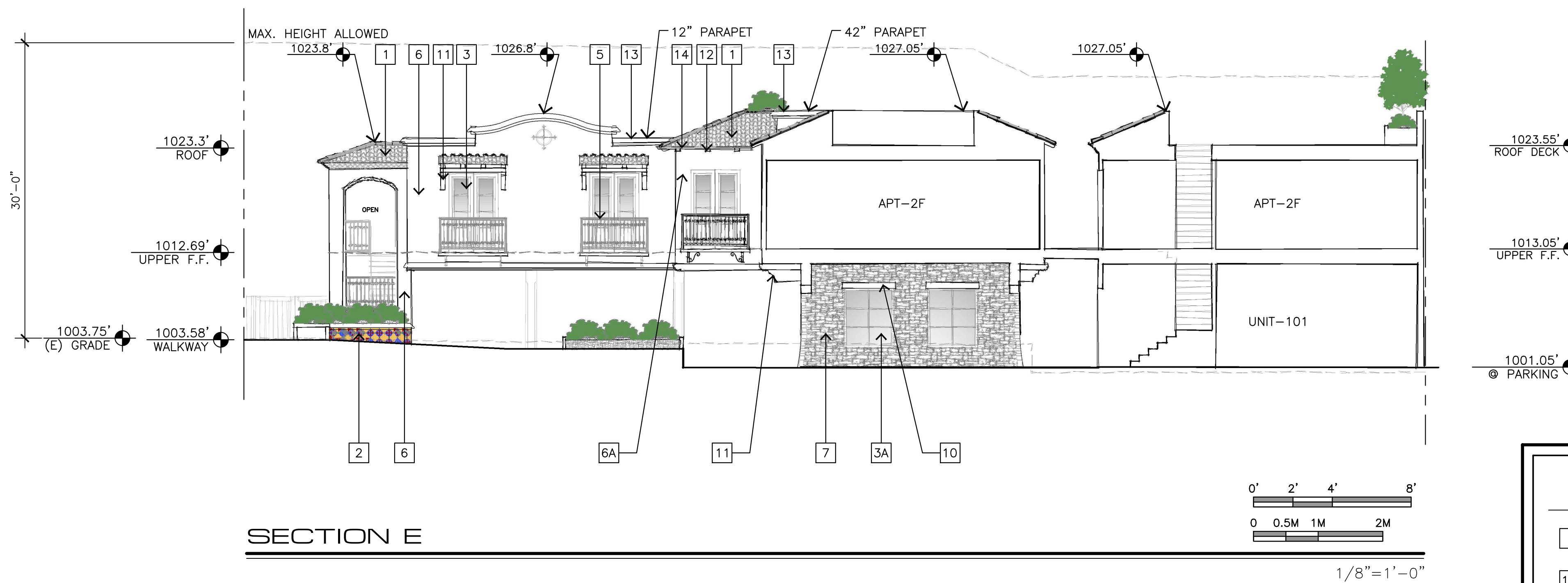
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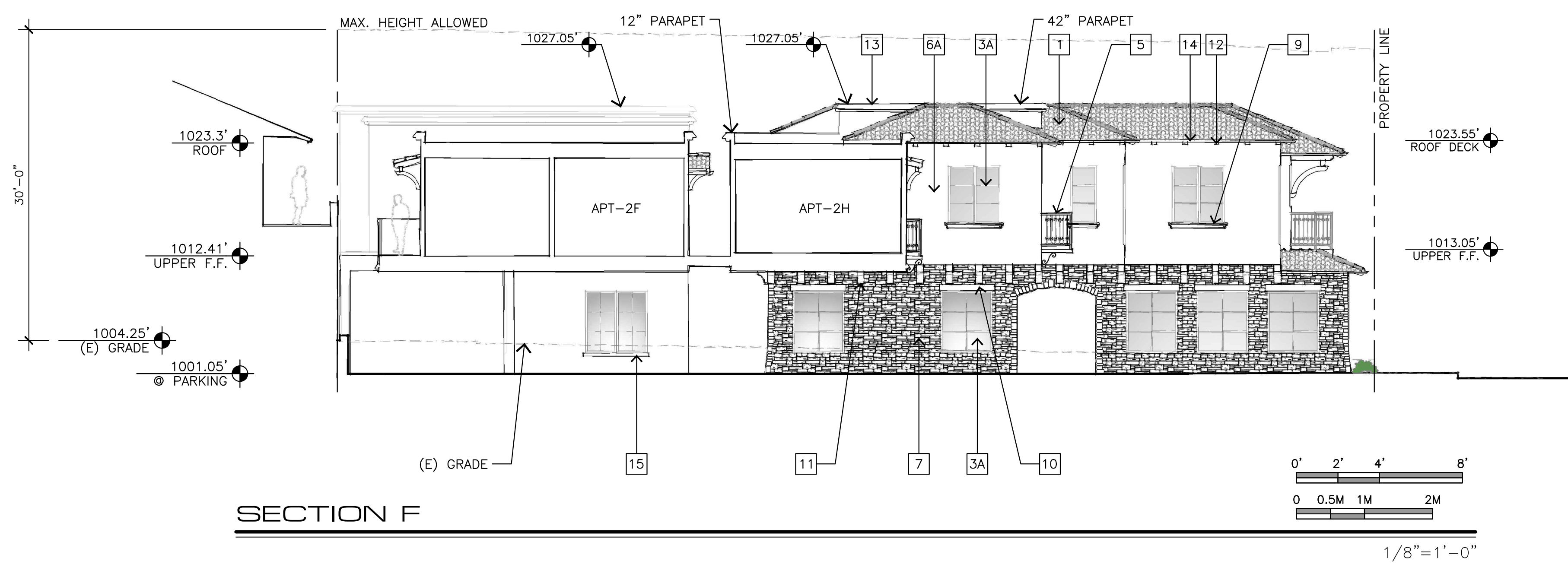
A6.2



SECTION E

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CAP & PAN CLAY TILE ROOF, REDLANDS OR EQUAL, (F/A9.2)
- 1A ROMAN PAN & MISSION SANDCAST CLAY TILE ROOF, REDLANDS OR EQUAL (O/A9.2)
- 2 DECORATIVE CERAMIC TILE (I/A9.2)
- 3 METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS, (B/A9.2)(D/A9.2)
- 3A METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS (B/A9.2)(L/A9.2)
- 4 CHAMFERED STUCCO CORNERS
- 5 PAINTED GALVANIZED WROUGHT IRON RAILING & DECORATIVE FEATURE (C/A9.2)
- 6 PAINTED STUCCO SMOOTH FINISH (G/A9.2)
- 6A PAINTED STUCCO SMOOTH FINISH (M/A9.2)
- 7 RANDOM EXTERIOR STONE (N/A9.2)
- 9 SIMULATED LIMESTONE SILL, SURROUND & HORIZONTAL BAND (A/A9.2)
- 10 4X REDWOOD HEADER
- 11 REDWOOD BEAMS, CORBELS, & HEADERS
- 12 6X4 REDWOOD RAFTER TAILS
- 13 SIMULATED LIMESTONE PARAPET CAP (A/A9.2)
- 14 5" PAINTED GALVANIZED GUTTERS, LEADER BOX & DOWNSPOUTS (E/A9.2)
- 15 4X4 SHAPED REDWOOD SILL



SECTION F

DISCLAIMER:
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STAMPS:

PROJECT/CLIENT:

**JB PASTOR
BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921**

APN: 010-145-012
022, & 023

DATE: NOVEMBER 21, 2024

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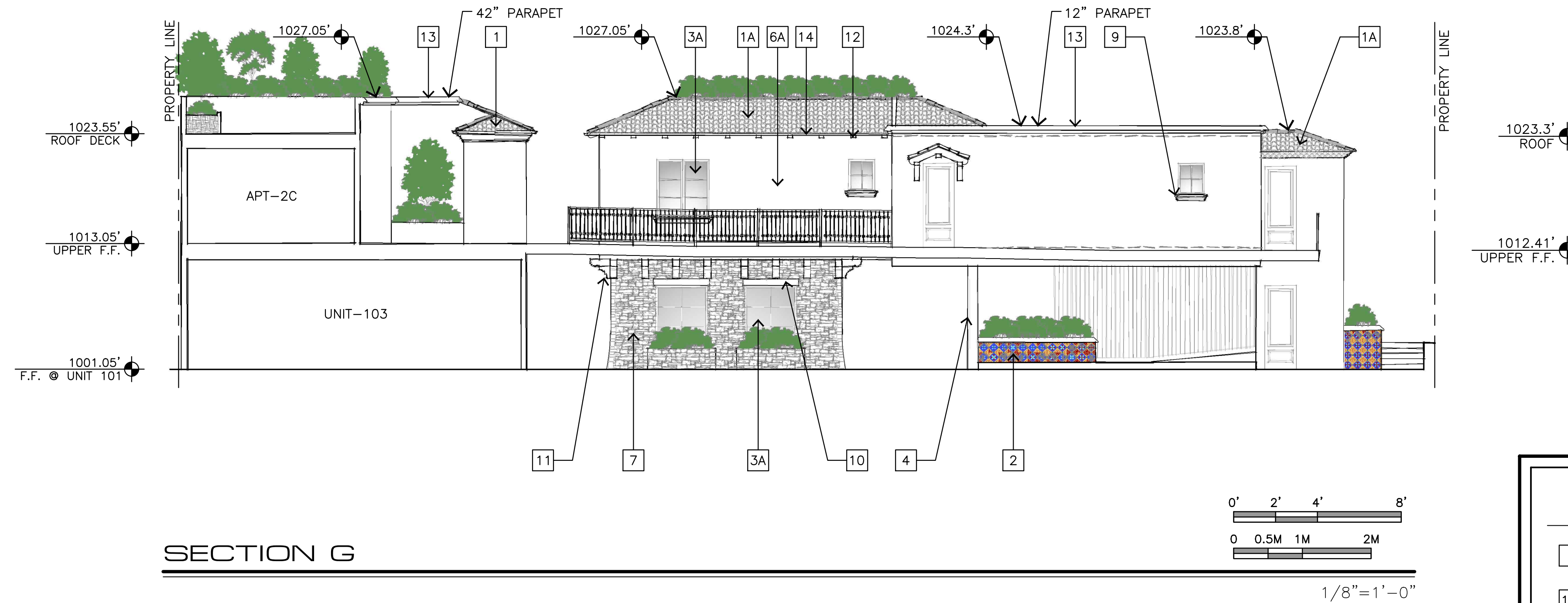
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PLAN UPDATE
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- △
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ELEVATIONS

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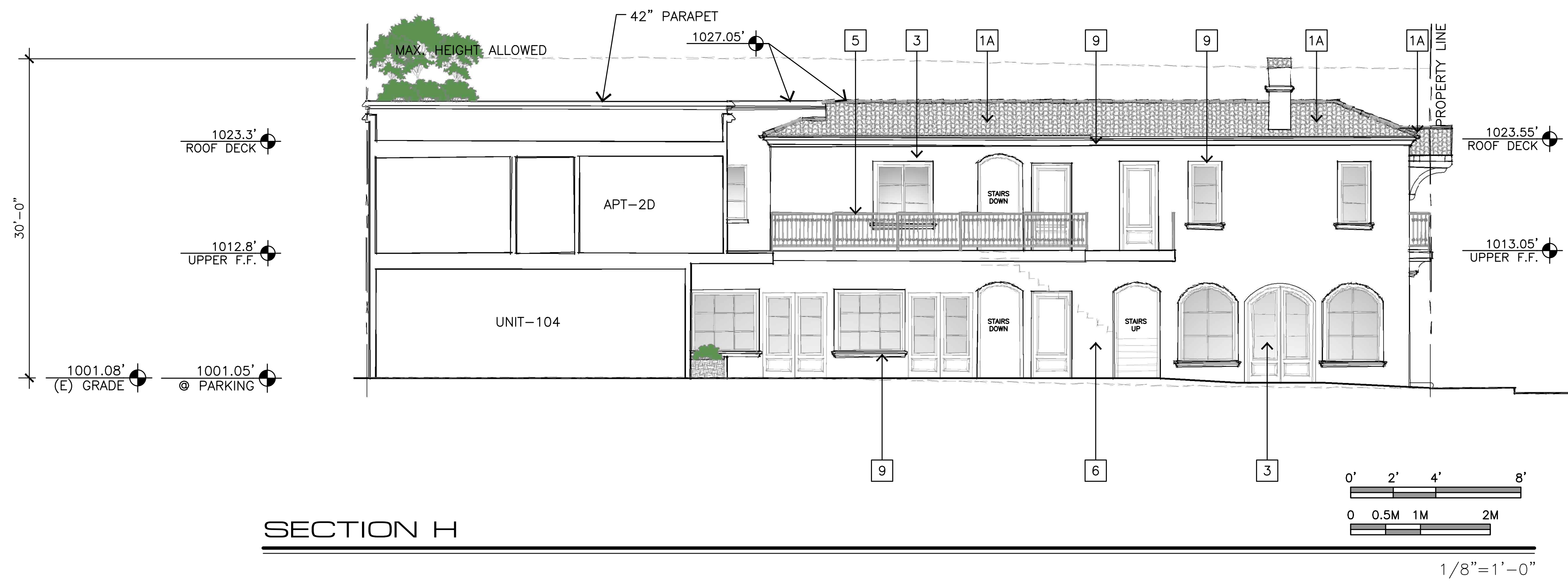
A6.3



SECTION G

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CAP & PAN CLAY TILE ROOF, REDLANDS OR EQUAL, (F/A9.2)
- 1A ROMAN PAN & MISSION SANDCAST CLAY TILE ROOF, REDLANDS OR EQUAL (O/A9.2)
- 2 DECORATIVE CERAMIC TILE (I/A9.2)
- 3 METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS, (B/A9.2)(D/A9.2)
- 3A METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS (B/A9.2)(L/A9.2)
- 4 CHAMFERED STUCCO CORNERS
- 5 PAINTED GALVANIZED WROUGHT IRON RAILING & DECORATIVE FEATURE (C/A9.2)
- 6 PAINTED STUCCO SMOOTH FINISH (G/A9.2)
- 6A PAINTED STUCCO SMOOTH FINISH (M/A9.2)
- 7 RANDOM EXTERIOR STONE (N/A9.2)
- 9 SIMULATED LIMESTONE SILL, SURROUND & HORIZONTAL BAND (A/A9.2)
- 10 4X REDWOOD HEADER
- 11 REDWOOD BEAMS, CORBELS, & HEADERS
- 12 6X4 REDWOOD RAFTER TAILS
- 13 SIMULATED LIMESTONE PARAPET CAP (A/A9.2)
- 14 5" PAINTED GALVANIZED GUTTERS, LEADER BOX & DOWNSPOUTS (E/A9.2)
- 15 4X4 SHAPED REDWOOD SILL



SECTION H

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STAMPS:

PROJECT/CLIENT:

**JB PASTOR
BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921**

APN: 010-145-012
022, & 023

DATE: NOVEMBER 21, 2024

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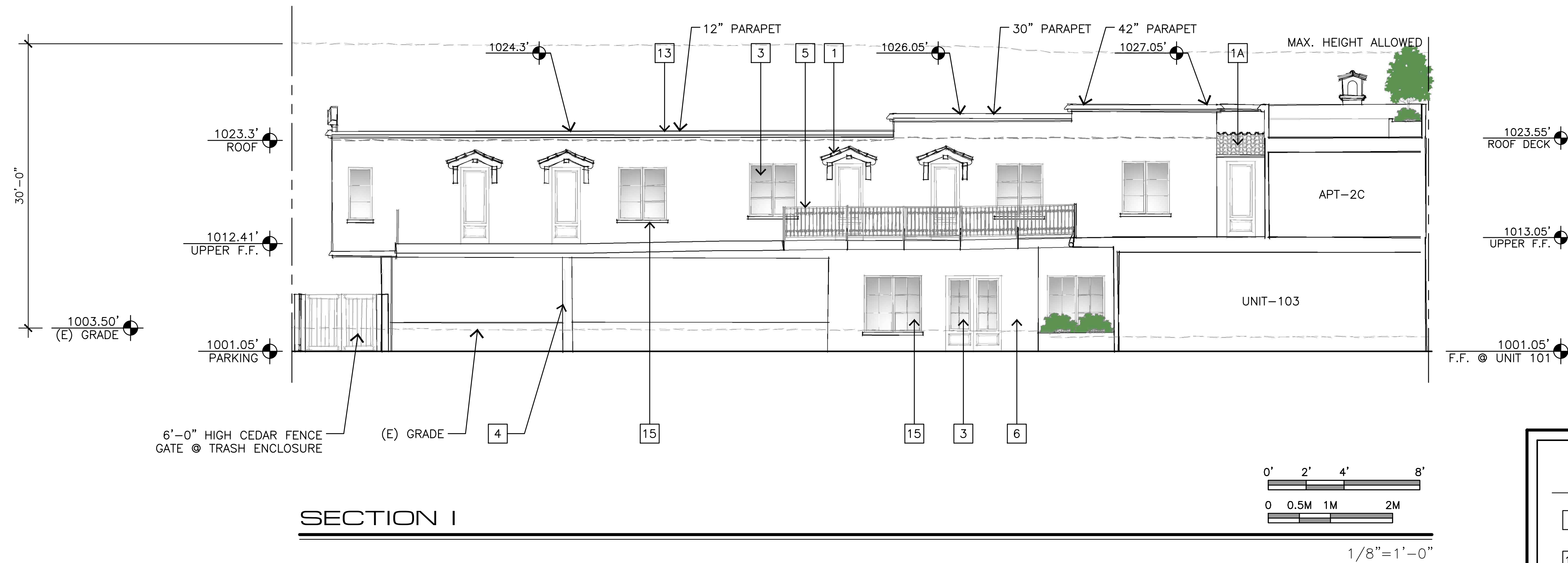
REVISIONS:

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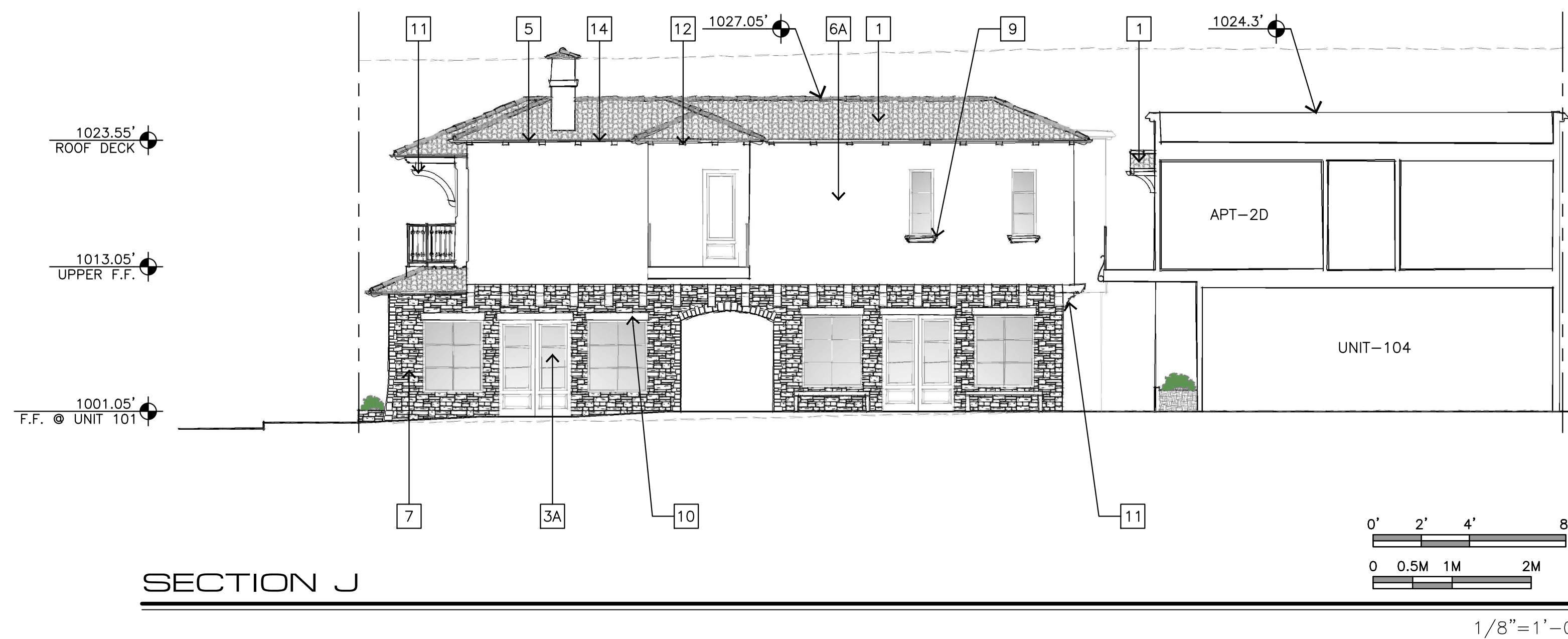
A6.4



SECTION I

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CAP & PAN CLAY TILE ROOF, REDLANDS OR EQUAL, (F/A9.2)
- 1A ROMAN PAN & MISSION SANDCAST CLAY TILE ROOF, REDLANDS OR EQUAL (O/A9.2)
- 2 DECORATIVE CERAMIC TILE (I/A9.2)
- 3 METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS, (B/A9.2)(D/A9.2)
- 3A METAL-CLAD EXTERIOR WOOD DOORS & WINDOWS (B/A9.2)(L/A9.2)
- 4 CHAMFERED STUCCO CORNERS
- 5 PAINTED GALVANIZED WROUGHT IRON RAILING & DECORATIVE FEATURE (C/A9.2)
- 6 PAINTED STUCCO SMOOTH FINISH (G/A9.2)
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- 12 6X4 REDWOOD RAFTER TAILS
- 13 SIMULATED LIMESTONE PARAPET CAP (A/A9.2)
- 14 5" PAINTED GALVANIZED GUTTERS, LEADER BOX & DOWNSPOUTS (E/A9.2)
- 15 4X4 SHAPED REDWOOD SILL



SECTION J



NOTE: A LOCAL BENCHMARK FOR THIS PROJECT IS A CUT CROSS ON PAVERS IN COURTYARD LOCATED AT DOLORES 2SE OF 7TH AVENUE, HAVING AN ELEVATION OF 1000.55, BASED ON ASSUMED DATUM.



LS INTERNATIONAL INC.
INTERNATIONAL DESIGN GROUP
721 LIGHTHOUSE AVE
PACIFIC GROVE, CA 93950

DATE: 11/21/24
PROJECT NO: 24001
SHEET NO: 2/3
SHEET TITLE: DOLORES STREET ELEVATIONS EXHIBIT

SHEET 2 OF 3 SHEETS

ADJACENT BUILDING

N.T.S.



NOTE: A LOCAL BENCHMARK FOR THIS PROJECT IS A CUT CROSS ON PAVERS IN COURTYARD LOCATED AT DOLORES 2SE OF 7TH AVENUE, HAVING AN ELEVATION OF 1000.55, BASED ON ASSUMED DATUM.



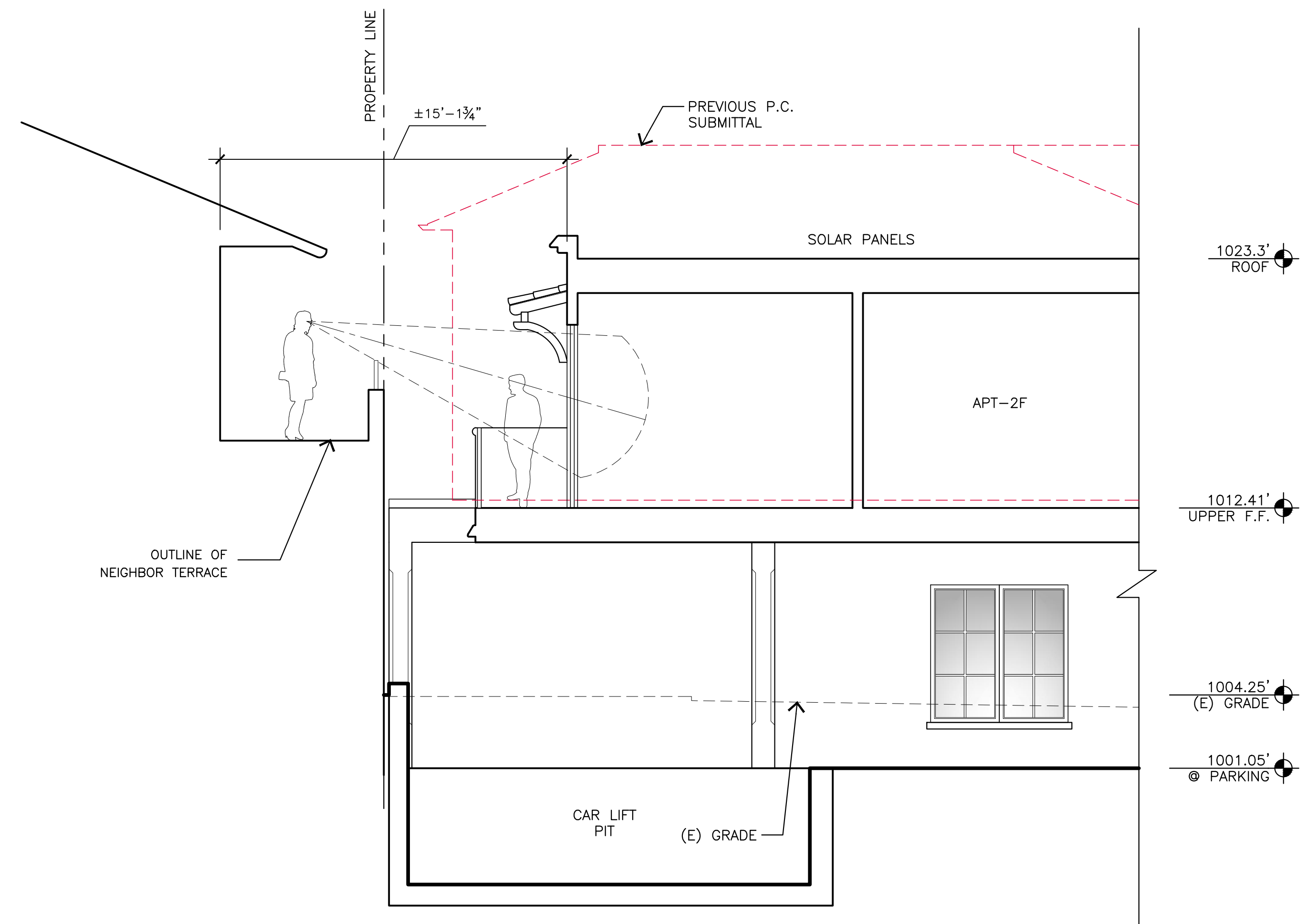
LS INTERNATIONAL INC.
INTERNATIONAL DESIGN GROUP
721 LIGHTHOUSE AVE
PACIFIC GROVE, CA 93950

DATE: 11/21/24
PROJECT NO: 24001
SHEET NO: 3/3
SHEET TITLE: DOLORES STREET ELEVATIONS EXHIBIT

SHEET 3 OF 3 SHEETS

ADJACENT BUILDING

N.T.S.



SECTION F - THROUGH ADJACENT BUILDING

1/4"=1'-0"

DISCLAIMER:
ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, DEVELOPED AND SPECIFIED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

JB PASTOR BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012
022, & 023

DATE: NOVEMBER 21, 2024

P.C. SUBMITTAL

REVISIONS:

- ▲ 12/19/24 PLAN UPDATE
- ▲
- ▲
- ▲
- ▲
- ▲

ADJACENT BUILDING SECTION

SHEET NO.

A6.7

DISCLAIMER:
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STAMPS:

PROJECT/CLIENT:

**JB PASTOR
BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921**

APN: 010-145-012
022, & 023

DATE: NOVEMBER 21, 2024

P.C. SUBMITTAL

REVISIONS:

- △ 12/19/24
PLAN UPDATE
- △
- △
- △
- △
- △

**STREETSCAPE
ELEVATIONS**

SHEET NO.

A8.1

BLDG. HT.: 30.85'
ABOVE SIDEWALK



30' MAX. HEIGHT ALLOWED



BLDG. HT.: 32.0'
ABOVE SIDEWALK



BLDG. HT.: 30.3'
ABOVE SIDEWALK

DOLORES STREETSCAPE - EAST SIDE



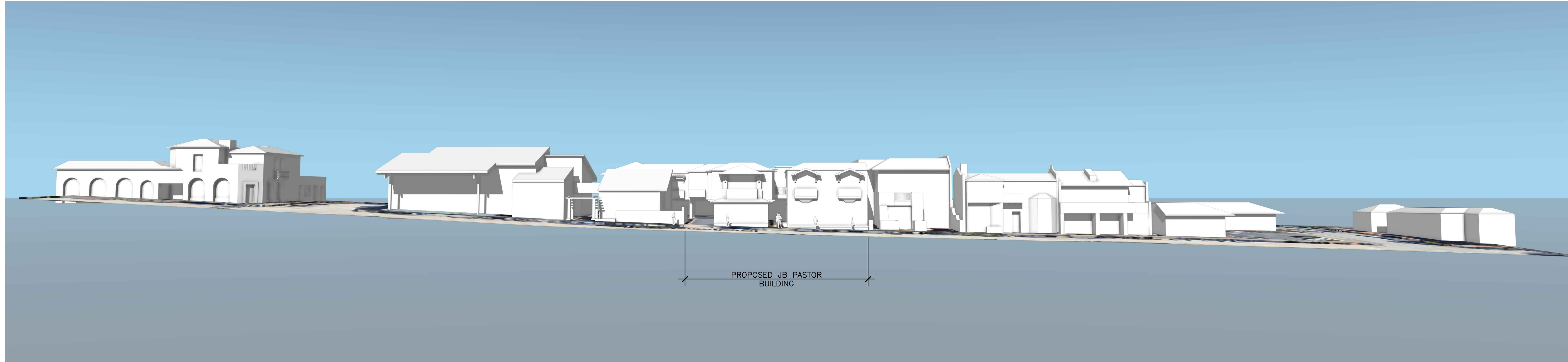
BLDG. HT.: 30.85'
ABOVE SIDEWALK



BLDG. HT.: 31.2'
ABOVE SIDEWALK

DOLORES STREETSCAPE - WEST SIDE





STREET ELEVATION VIEW BETWEEN 7TH AND 8TH AVENUE



STREET PERSPECTIVE BETWEEN 7TH AND 8TH AVENUE LOOKING FROM NORTH TO SOUTH

THIS VIEW DEMONSTRATES THAT THE NEIGHBORING BUILDINGS HAVE A HIGHER ROOF LINE THAN THE PROPOSED JB PASTOR BUILDING



STREET PERSPECTIVE BETWEEN 7TH AND 8TH AVENUE LOOKING FROM SOUTH TO NORTH

THIS VIEW DEMONSTRATES THAT THE NEIGHBORING BUILDINGS HAVE A HIGHER ROOF LINE THAN THE PROPOSED JB PASTOR BUILDING

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CARMEL, CA
93921

APN: 010-145-012
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DATE: NOVEMBER 21, 2024

P.C. SUBMITTAL

REVISIONS:

△	12/19/24	PLAN UPDATE
△		
△		
△		
△		
△		

MASSING STUDY

SHEET NO.

A8.2



F - MISSION STYLE CAP & PAN CLAY TILE ROOF, TYP.



43171 Sandstone Flash Sandcast Blend



C - PAINTED IRON RAILINGS BRONZE COLOR - TYP.



A - SIMULATED LIMESTONE SURROUNDS & ACCENTS



H - LIGHT FIXTURES - TYP.



Gingersnap

D - DOOR & WINDOW COLOR - TYP.



HLS4212 Windsor Toffee

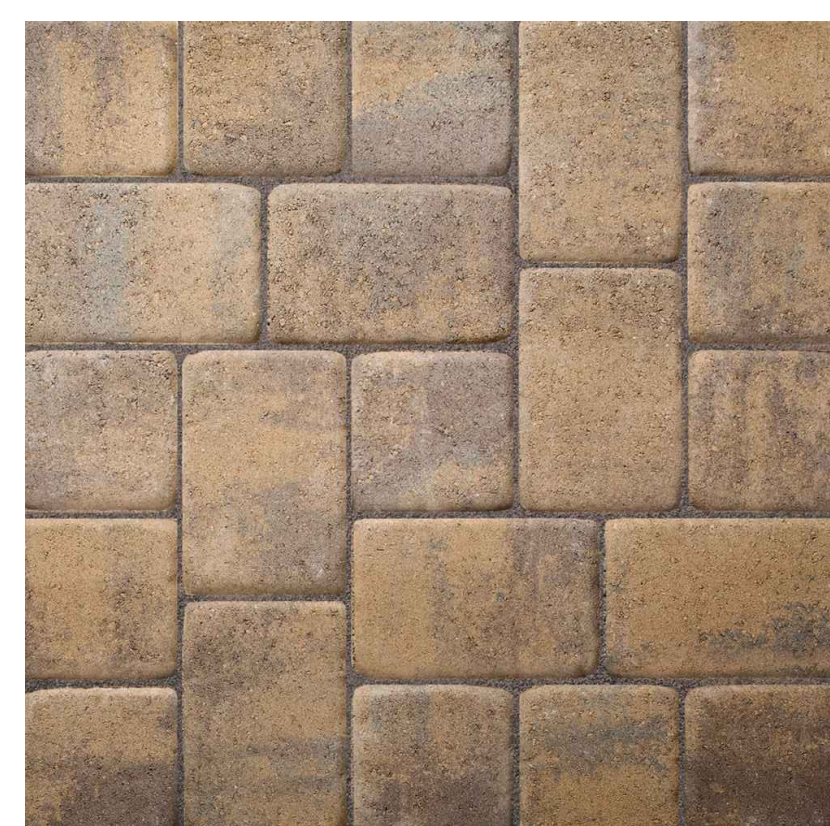
G - PAINT SWATCH - TYP.



E - 5" HALF-ROUND PAINTED GALVANIZED GUTTERS & DOWNSPOUTS



K - LIMESTONE TILE



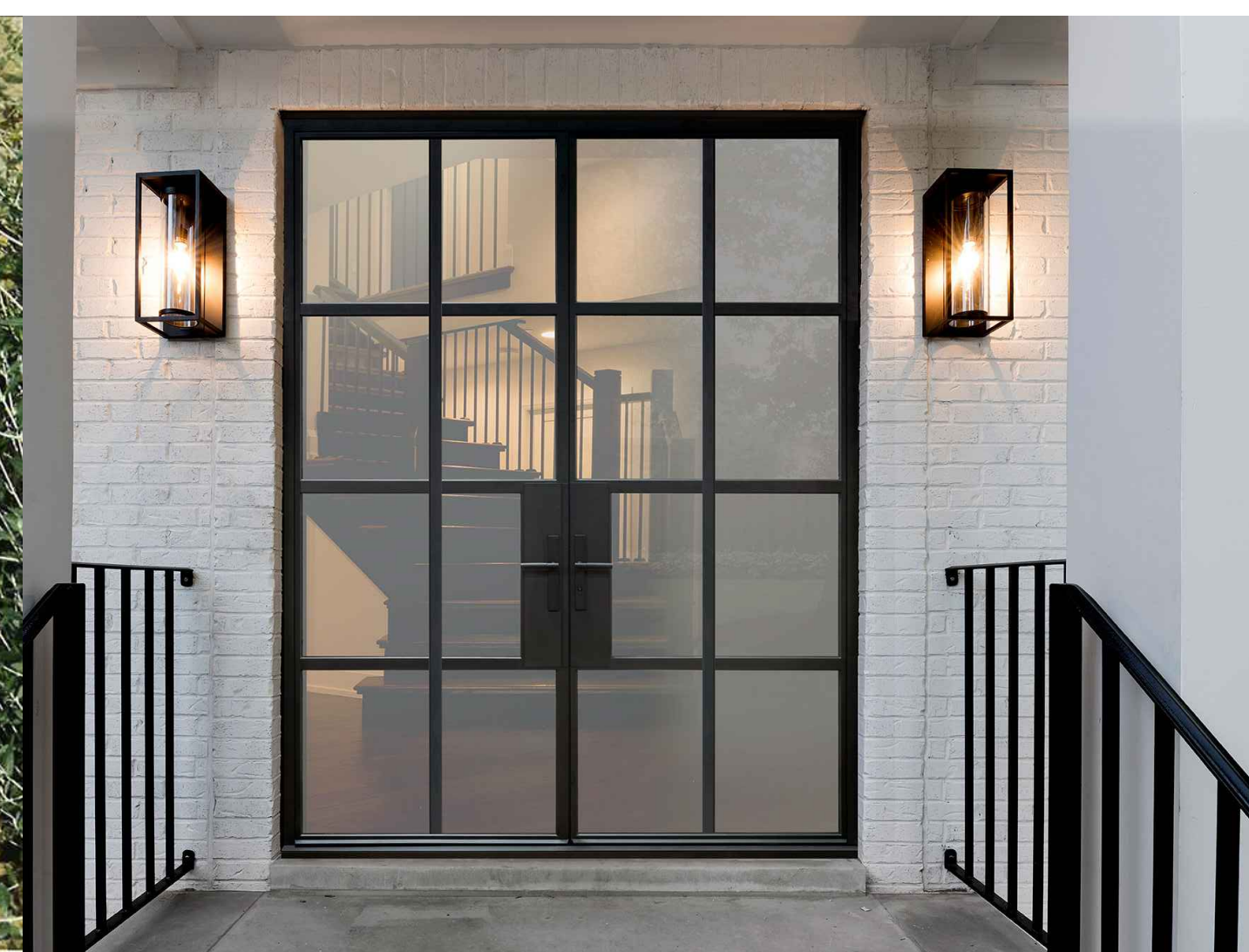
J - TOSCANA COBBLE STONE CONCRETE PAVERS



I - PLANTER CERAMIC TILE



B - METAL CLAD EXTERIOR DOORS & WINDOWS -TYP.



BUILDING-2 ACCENTS



O - ROMAN STYLE CAP & PAN CLAY TILE ROOF, BUILDING-2



2251 Old Sedona Blend

6050 Old Sedona Blend



N - EXTERIOR RANDOM STONE VENEER BUILDING-2



HLS4201 Adobe White

M - PAINT SWATCH - BUILDING-2



Green Tea Leaf

L - DOOR & WINDOW COLOR - BUILDING-2

DISCLAIMER:
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STAMPS:

PROJECT/CLIENT:

JB PASTOR
BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921

APN: 010-145-012
022, & 023

DATE: NOVEMBER 21, 2024

P.C. SUBMITTAL

REVISIONS:

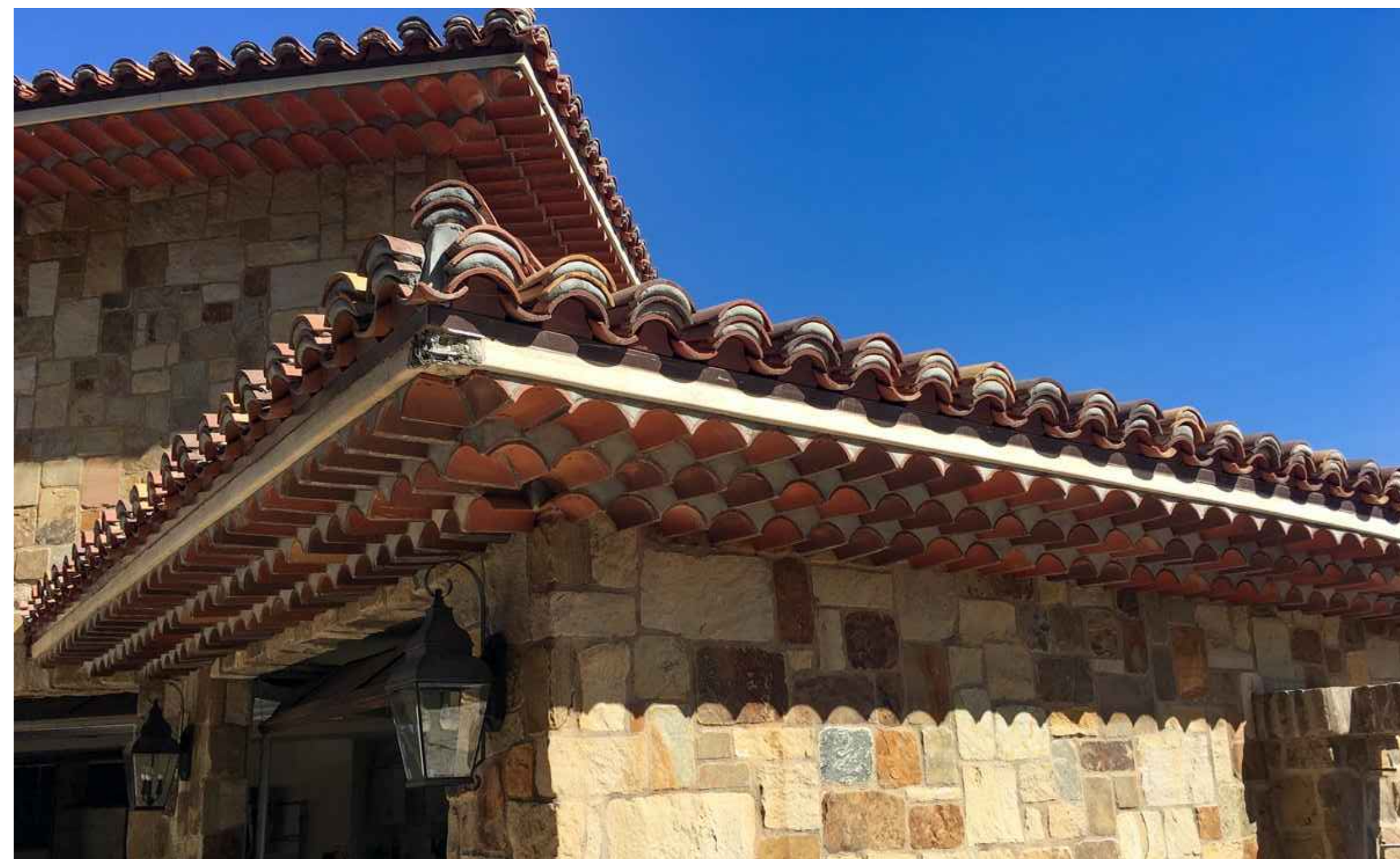
△	12/19/24	PLAN UPDATE
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△		
△		
△		
△		

COLOR & MATERIAL
SAMPLES

SHEET NO.



PARAPET INSPIRATION



ROOF INSPIRATION

BALCONY INSPIRATIONS

DISCLAIMER:
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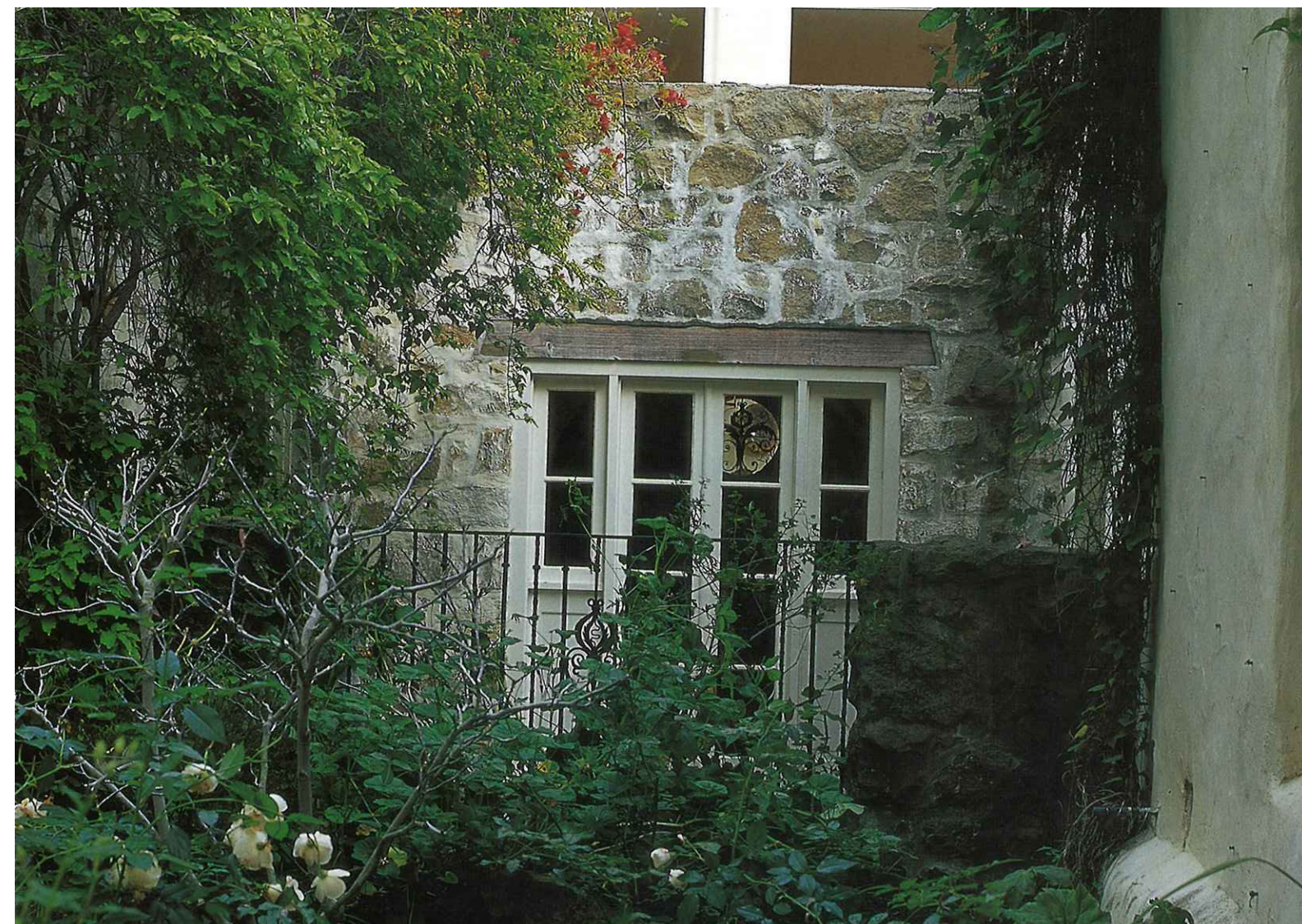
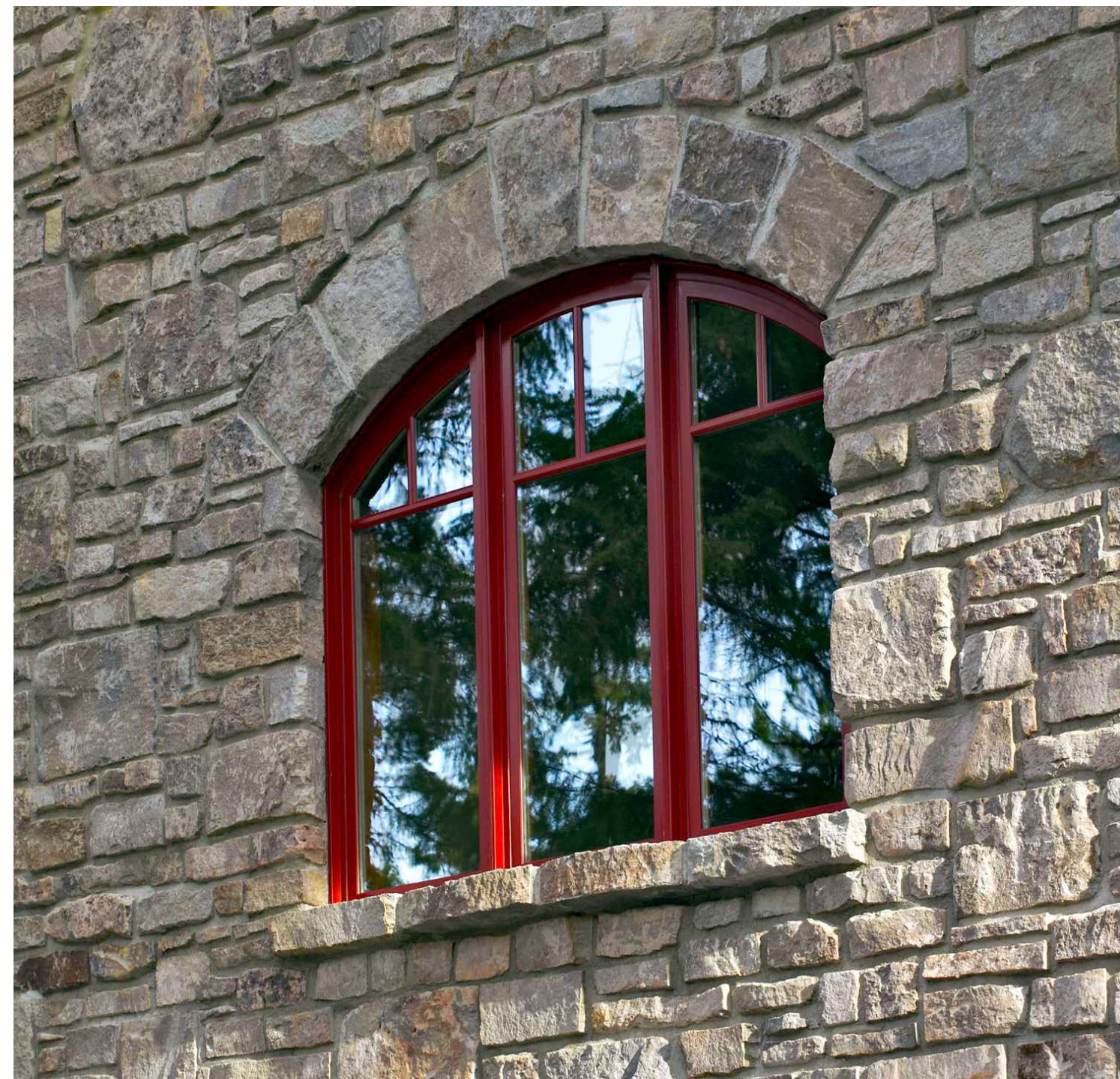
**INSPIRATION
IMAGES**

SHEET NO.

A10.1



INSPIRATION IMAGES



STONE INSPIRATION



STAIR INSPIRATION

DISCLAIMER:
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APN: 010-145-012
022, & 023

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- △ 12/19/24
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- △ _____
- △ _____
- △ _____
- △ _____
- △ _____

**INSPIRATION
IMAGES**

SHEET NO.

A10.2

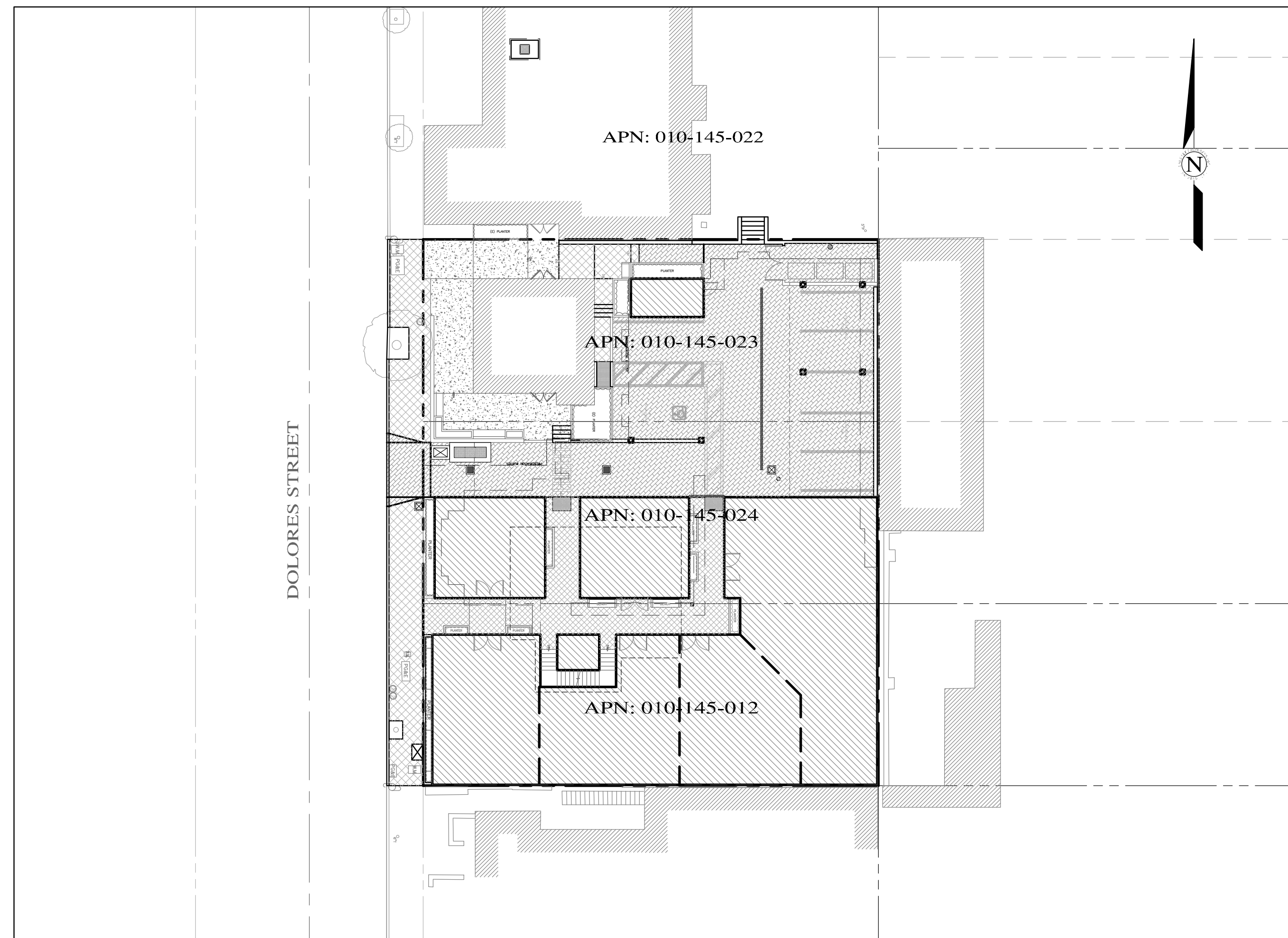
CONCEPTUAL GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

JB PASTOR BUILDING

APNs: 010-145-012, 023 & 024

CARMEL BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA



TOTAL LOT AREA = 12,000 SQ.FT.
TOTAL IMPERVIOUS AREA = 11,240 SQ.FT.
NEW/REPLACE IMPERVIOUS AREA = 9,660 SQ.FT.
TOTAL AREA OF DISTURBANCE = 10,420 SQ.FT.

GRADING QUANTITIES:
CUT = 1,445 C.Y.
FILL = 5 C.Y.
NET = 1,440 C.Y. EXPORT

NO AREAS WITH SLOPE EQUAL TO
OR GREATER THAN 10%

STORM WATER CONTROL NOTES:

- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) ALL DRAINAGE SHALL CONFORM TO THE STANDARD OPERATING GUIDANCE FOR 17-07 PRIVATE STORM WATER SYSTEMS PER THE CITY OF CARMEL-BY-THE-SEA.

INDEX TO SHEETS

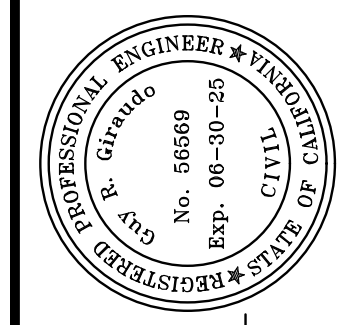
SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN - GROUND LEVEL
SHEET C3	GRADING SECTIONS A-C
SHEET C4	GRADING SECTIONS D-F
SHEET C5	UTILITY PLAN - GROUND LEVEL
SHEET C6	GRADING, DRAINAGE & UTILITY PLAN - BASEMENT LEVEL
SHEET C7	EROSION & SEDIMENT CONTROL PLAN
SHEET C8	CONSTRUCTION MANAGEMENT PLAN

CONTACT INFORMATION:

PRIMARY: OWNER
ESPERANZA CARMEL COMMERCIAL, LLC

SECONDARY: ARCHITECT
INTERNATIONAL DESIGN GROUP
ATTN: MR. JASON DIAZ
721 LIGHT HOUSE AVE.
PEBBLE BEACH, CA 93950
PH: (831) 846-1261

SITE LOCATION:
DOLORES STREET
2 SE OF 7TH AVENUE
CARMEL-BY-THE-SEA, CA 93921



APPROVED BY:

GUY R. GIRARDO



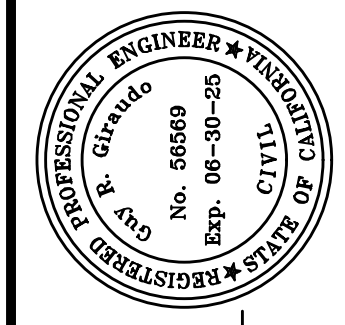
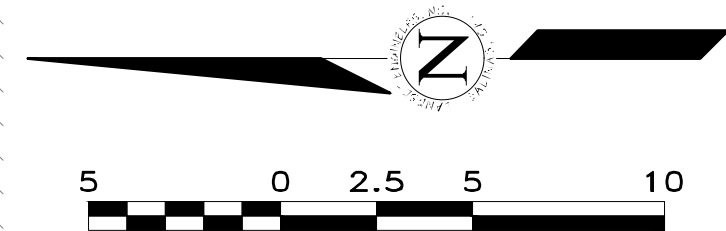
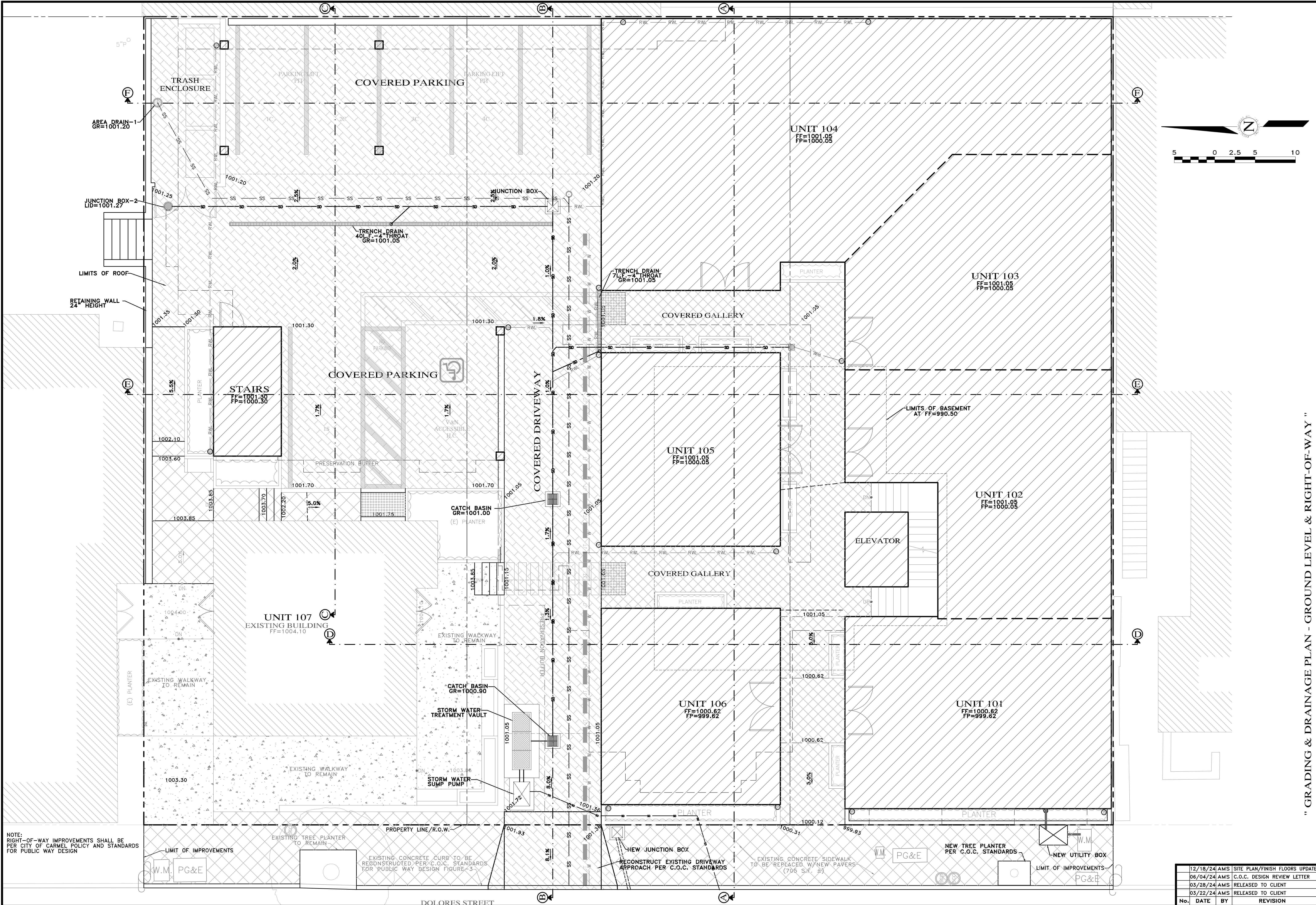
" COVER SHEET "

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
JB PASTOR BUILDING
A.P.N.s.: 010-145-012, 023, & 024
CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA
FOR
ESPERANZA CARMEL COMMERCIAL, LLC

SCALE: AS SHOWN
DATE: MARCH 2024
JOB NO. 2746-01

12/18/24	AMS	SITE PLAN/FINISH FLOORS UPDATE	
06/04/24	AMS	C.O.C. DESIGN REVIEW LETTER	
03/28/24	AMS	RELEASED TO CLIENT	
03/22/24	AMS	RELEASED TO CLIENT	
No.	DATE	BY	REVISION

SHEET **C1**
OF 8 SHEETS



APPROVED BY:

 GUY R. GIRARDO



" GRADING & DRAINAGE PLAN - GROUND LEVEL & RIGHT-OF-WAY "

GRADING, DRAINAGE & EROSION CONTROL PLAN

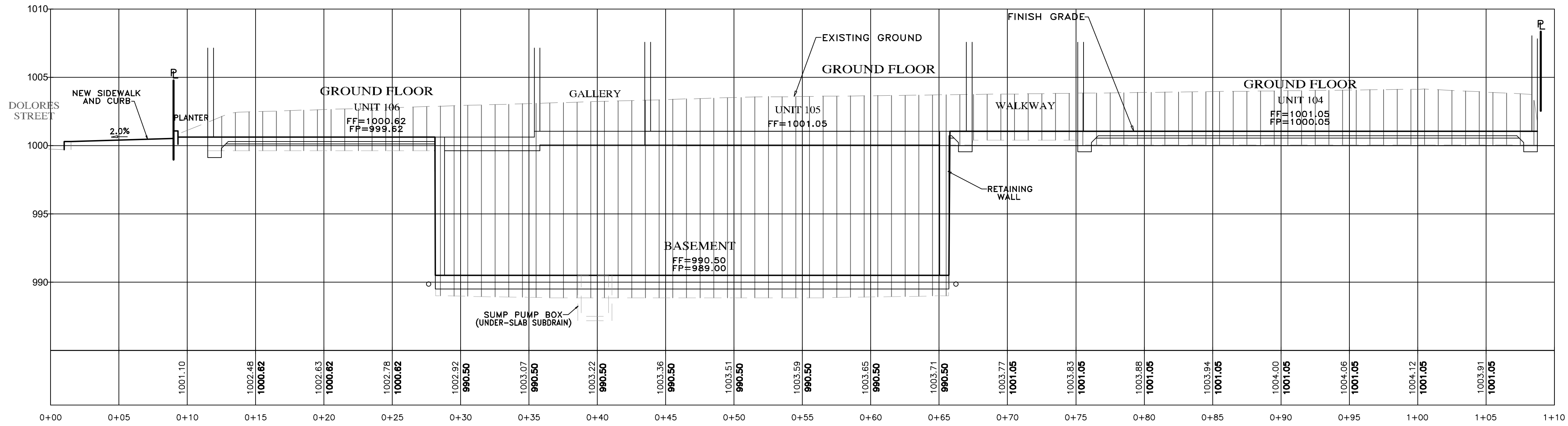
JB PASTOR BUILDING
 OF
 A.P.N.s.: 010-145-012, 023, & 024
 CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA
 FOR
 ESPERANZA CARMEL COMMERCIAL, LLC

NOTE:
 RIGHT-OF-WAY IMPROVEMENTS SHALL BE PER CITY OF CARMEL POLICY AND STANDARDS FOR PUBLIC WAY DESIGN

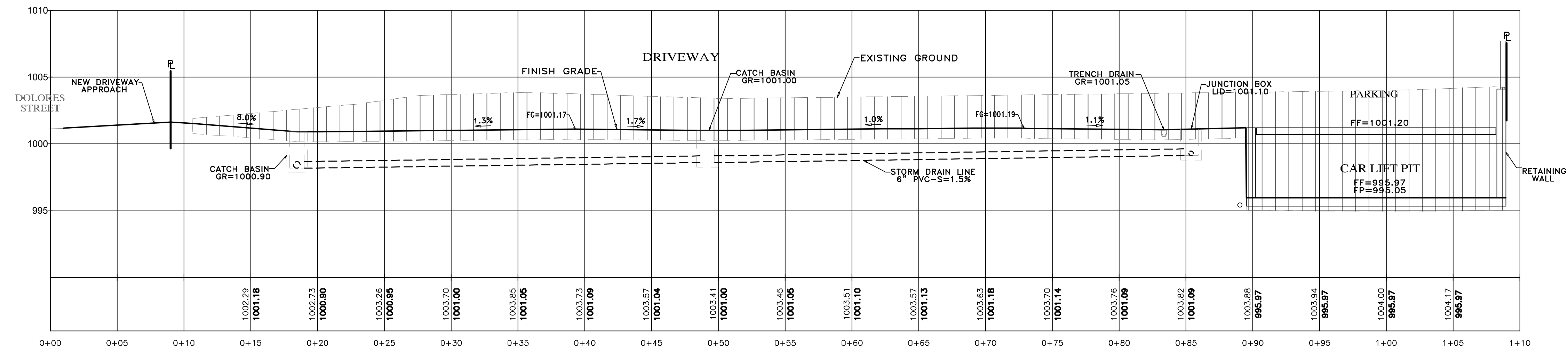
SCALE: 1"=5'
 DATE: MARCH 2024
 JOB NO. 2746-01

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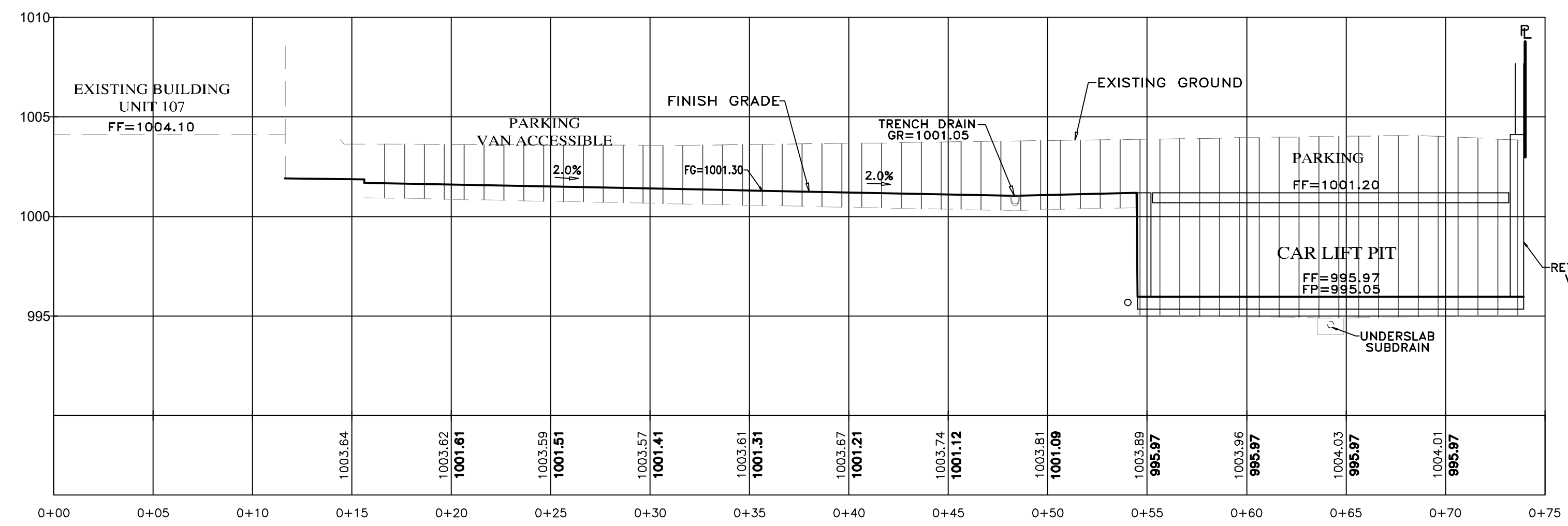
SHEET
C2
 OF 8 SHEETS



SECTION A-A
SCALE: 1"=5' H&V

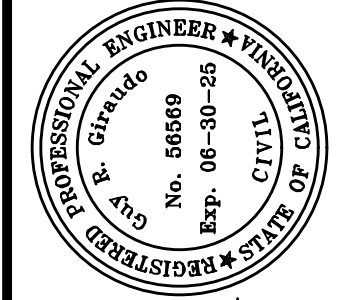


SECTION B-B
SCALE: 1"=5' H&V



SECTION C-C
SCALE: 1"=5' H&V

- NOTES:**
- ALL FILL MATERIAL SHALL BE STRUCTURAL FILL PER SOIL'S ENGINEERING INVESTIGATION REPORT
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS
 - OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
 - THE ENTIRE BUILDING FOUNDATION FOR THE BUILDINGS AND THE PARKING MUST BEAR ON A UNIFORM LAYER (MIN. 2") OF COMPACTED FILL. NO MORE THAN A 50% DIFFERENTIAL FILL THICKNESS SHALL EXIST.
 - FOR SECTION LOCATIONS, SEE SHEET C2 "GRADING, DRAINAGE & UTILITY PLAN"



APPROVED BY:
GUY R. GIRARDO



" GRADING SECTIONS A-C "

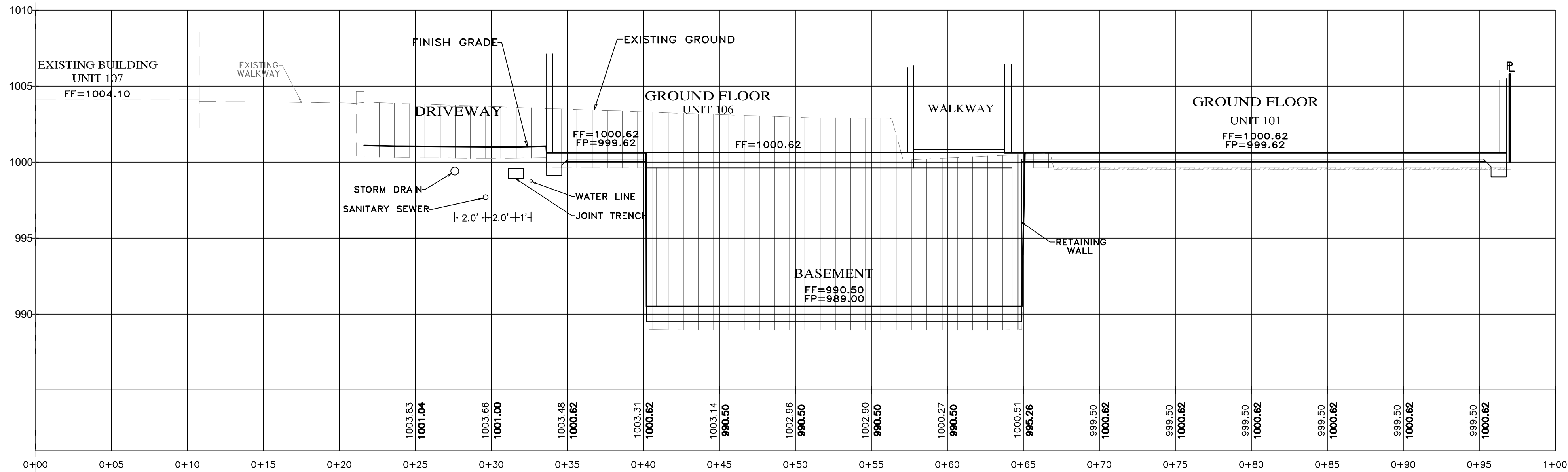
GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
JB PASTOR BUILDING
A.P.N.S.: 010-145-012, 023, & 024
FOR
CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA
ESPERANZA CARMEL COMMERCIAL, LLC

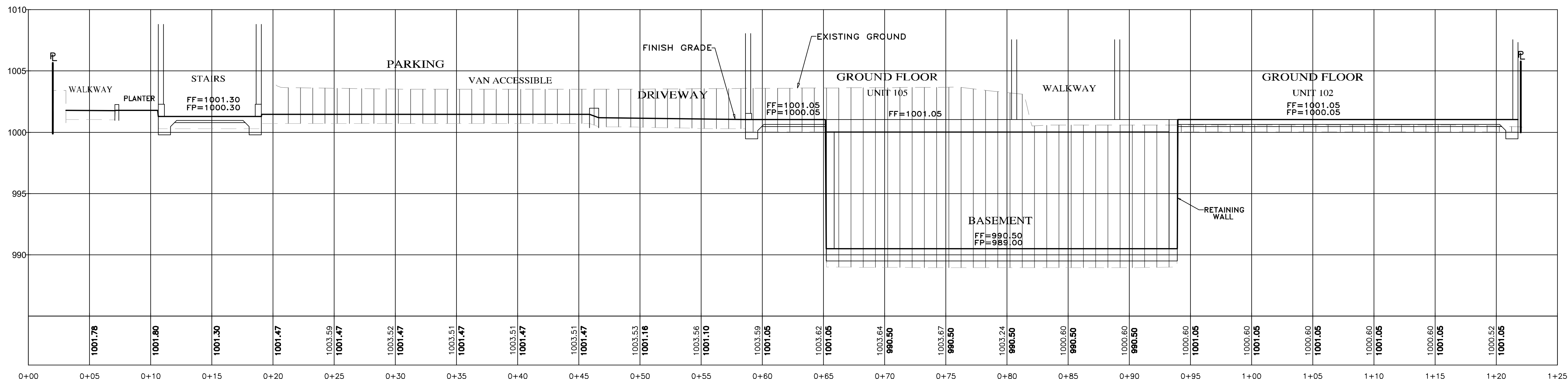
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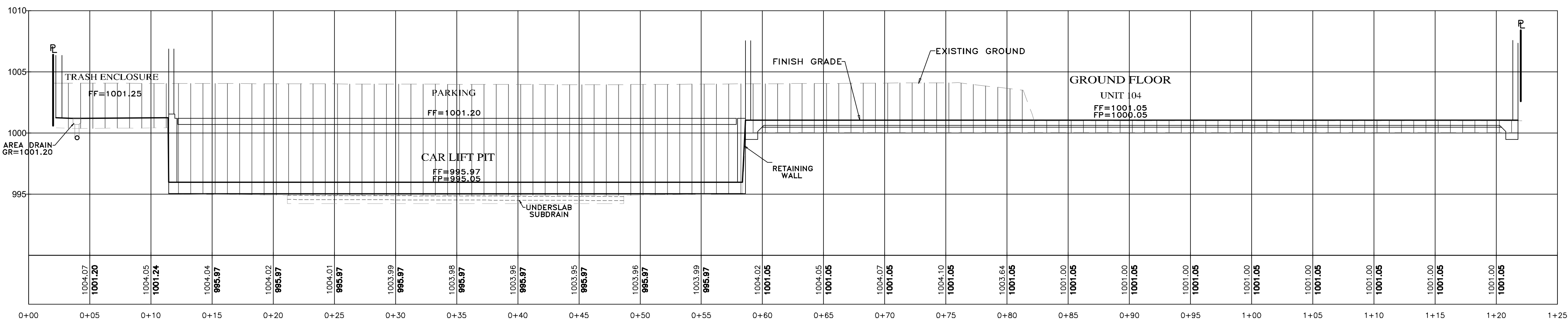
SHEET **C3**
OF 8 SHEETS



SECTION D-D
SCALE: 1"=5' H&V

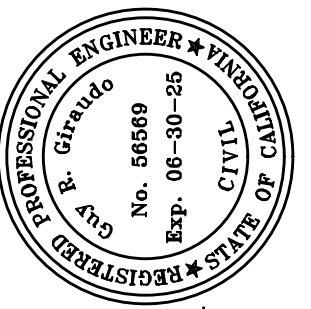


SECTION E-E
SCALE: 1"=5' H&V



SECTION F-F
SCALE: 1"=5' H&V

- NOTES:
- ALL FILL MATERIAL SHALL BE STRUCTURAL FILL PER SOIL'S ENGINEERING INVESTIGATION REPORT
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS.
 - OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
 - THE ENTIRE BUILDING FOUNDATION FOR THE BUILDINGS AND THE PARKING MUST BEAR ON A UNIFORM LAYER (MIN. 2") OF COMPACTED FILL, NO MORE THAN A 50% DIFFERENTIAL FILL THICKNESS SHALL EXIST.
 - FOR SECTION LOCATIONS, SEE SHEET C2 "GRADING, DRAINAGE & UTILITY PLAN"



APPROVED BY:

GUY R. GIRARDO



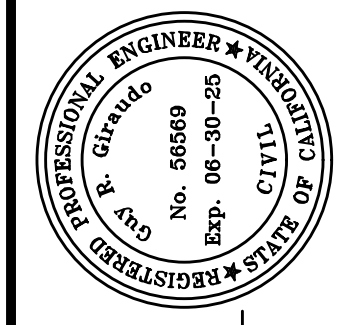
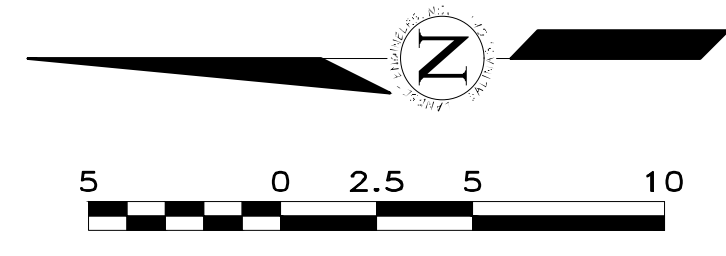
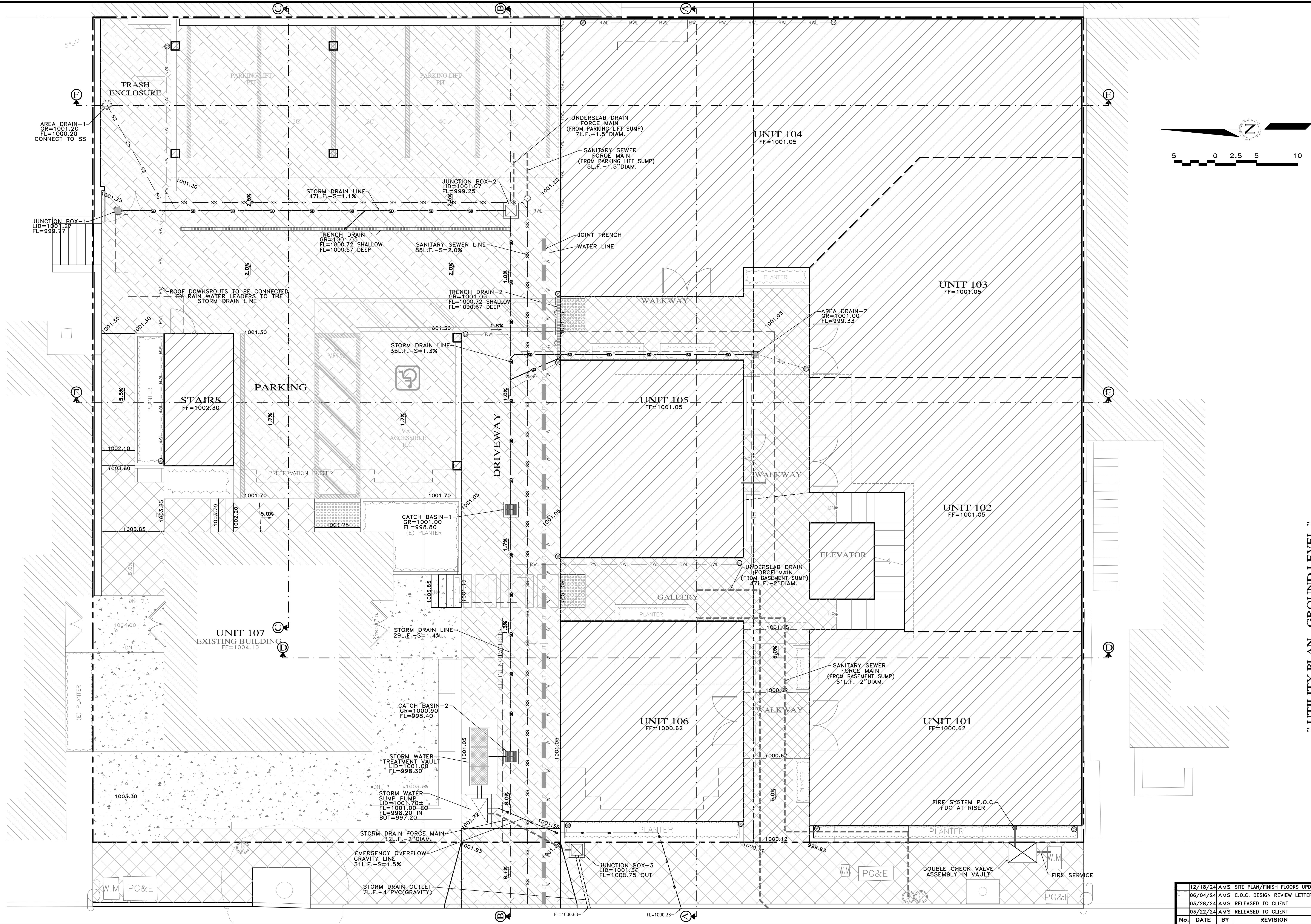
" GRADING SECTIONS - D-F "

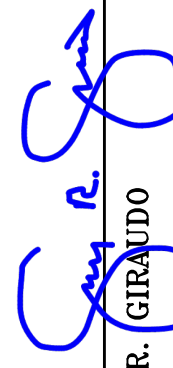
GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
JB PASTOR BUILDING
A.P.N.S.: 010-145-012, 023, & 024
FOR
CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA
ESPERANZA CARMEL COMMERCIAL, LLC

SCALE: 1"=5' H&V
DATE: MARCH 2024
JOB NO. 2746-01

No.	DATE	BY	REVISION
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03/28/24	AMS		RELEASED TO CLIENT
03/22/24	AMS		RELEASED TO CLIENT

SHEET **C4**
OF 8 SHEETS



APPROVED BY:

 GUY R. GIRARDO



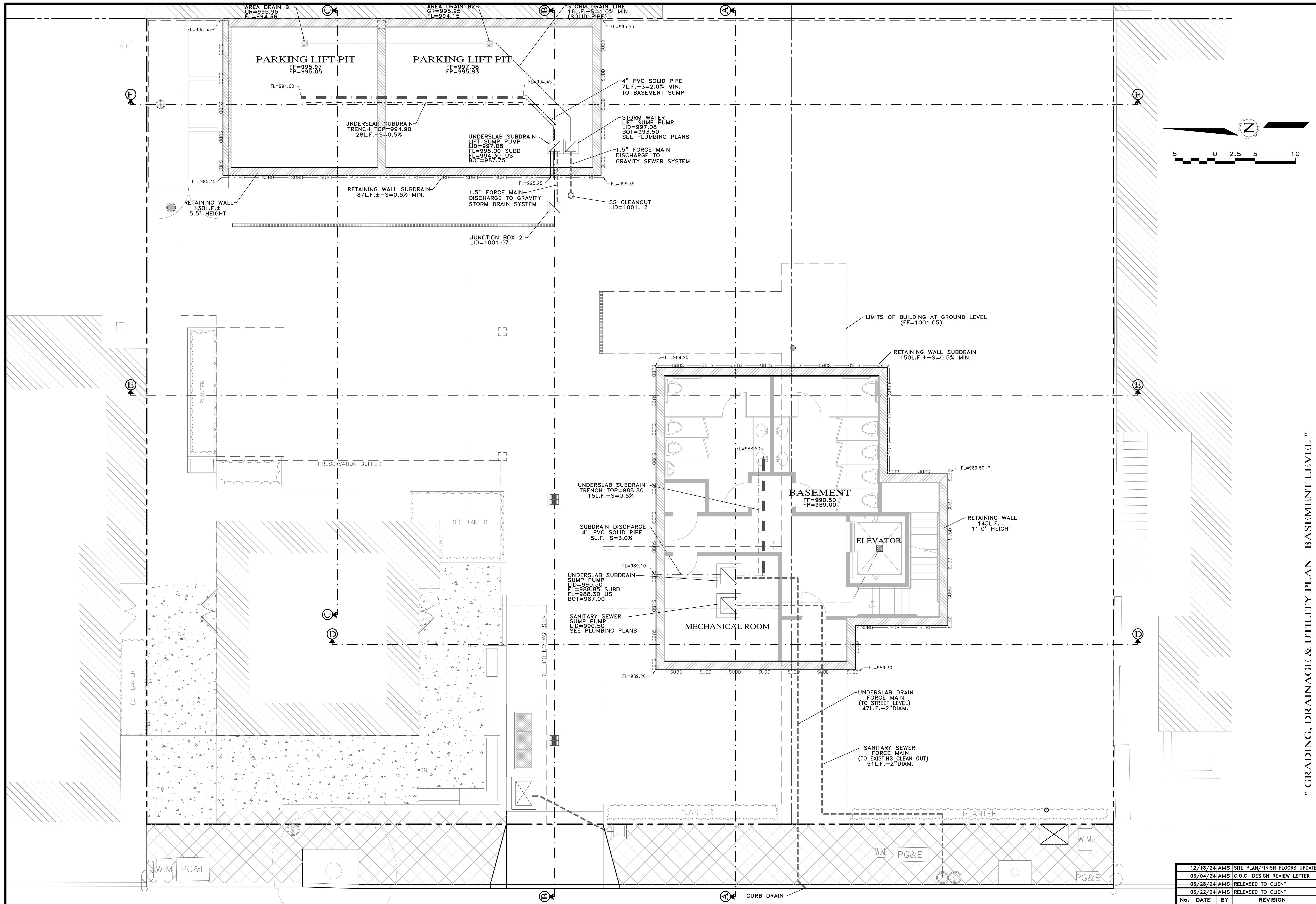
" UTILITY PLAN - GROUND LEVEL "

GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
JB PASTOR BUILDING
 A.P.N.s.: 010-145-012, 023, & 024
 FOR
 CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA
 ESPERANZA CARMEL COMMERCIAL, LLC

SCALE: 1"=5'
 DATE: MARCH 2024
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03/22/24	AMS		RELEASED TO CLIENT

SHEET **C5**
 OF 8 SHEETS



" GRADING, DRAINAGE & UTILITY PLAN - BASEMENT LEVEL "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
JB PASTOR BUILDING
 A.P.N.s.: 010-145-012, 023, & 024
 FOR
 CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA
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03/28/24	AMS		RELEASED TO CLIENT
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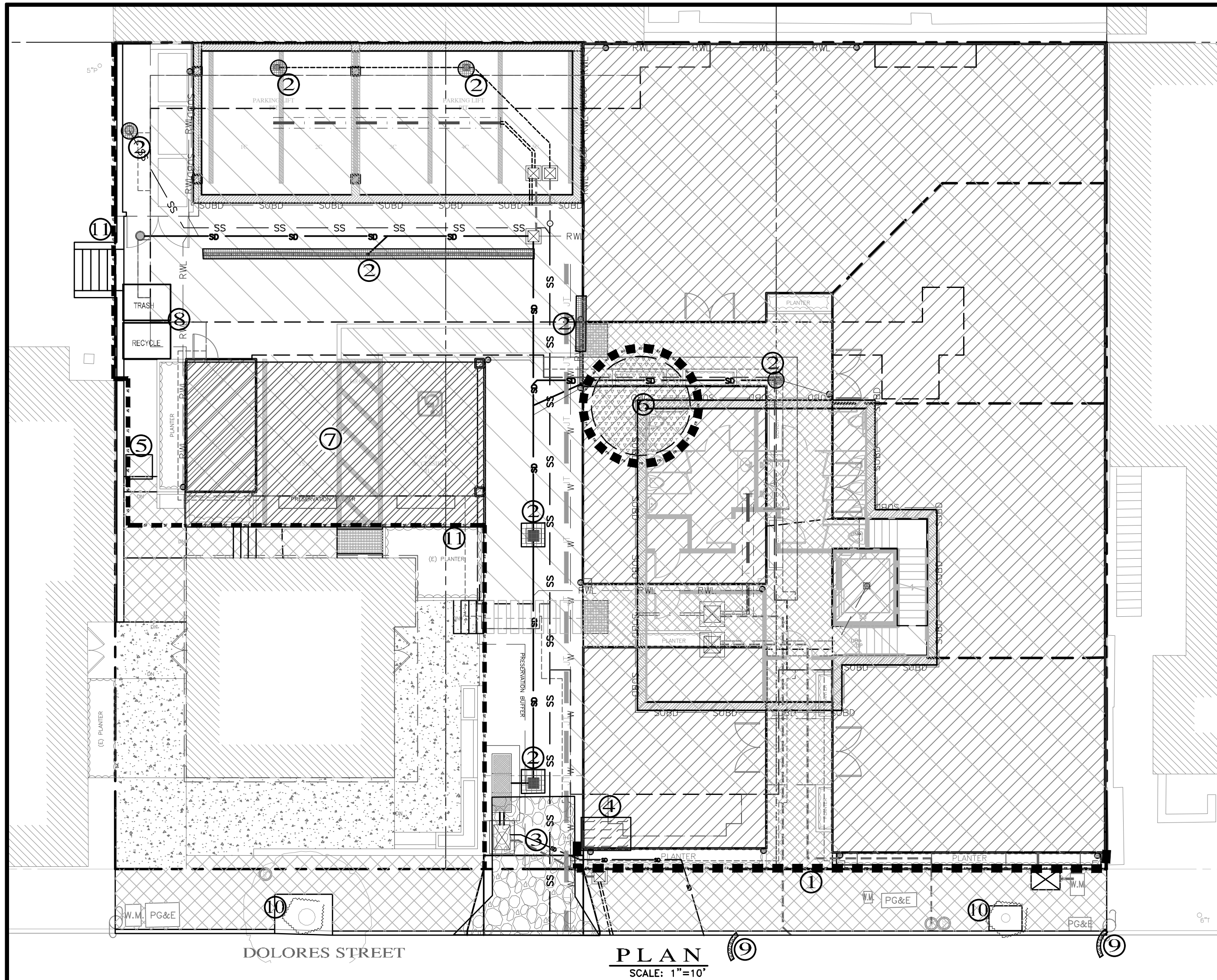
SHEET **C6**
 OF 8 SHEETS

LANDSET
 ENGINEERS, INC.
 520-B Gray Horse Canyon Road
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 www.landseteng.com

APPROVED BY:

GUY E. GIRARDO

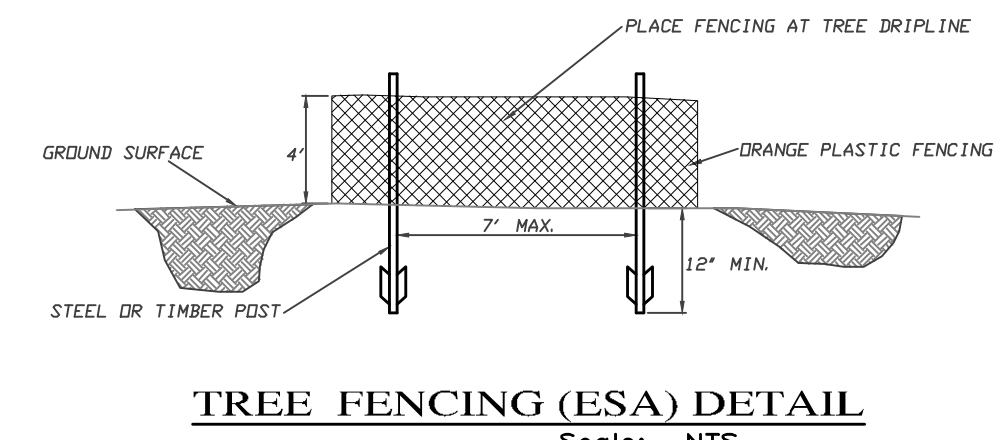
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- LEGEND:**
- ① FR
 - ②
 - ③
 - ④
 - ⑤
 - ⑥
 - ⑦
 - ⑧ TRASH RECYCLE
 - ⑨
 - ⑩
 - ⑪ SF
- FIBER ROLLS:** THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- DRAIN INLET PROTECTION:** PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- STABILIZED CONSTRUCTION ACCESS:** INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-WEARING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- CONCRETE WASHOUT:** WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- SANITARY/SEPTIC WASTE MANAGEMENT:** PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
- STOCKPILE MANAGEMENT:** SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- CONTRACTOR'S STAGING AREA:** THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- WASTE MANAGEMENT:** SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- GRAVEL BAG CHECK DAM:** GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- TREE PROTECTION:** TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
- SILT FENCE:** SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEPT INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE CITY OF CARMEL-BY-THE-SEA EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO THE CITY OF CARMEL-BY-THE-SEA PRIOR TO BEG. WORK.



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)
Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.

MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Bern and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.

SPILL PREVENTION AND CONTROL

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.

EROSION CONTROL

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filter, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector.
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.

PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt or concrete pavement.

CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or handled off-site for proper disposal.

LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

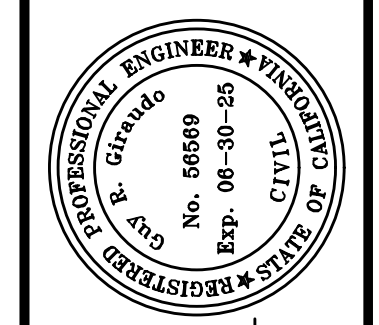
STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	x
2. Verify excavations are extended to proper depth and have reached proper material	--	x
3. Perform classification and testing of compacted fill materials	--	x
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	x	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	x

CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.**
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.**
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION. COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.**



APPROVED BY:
GUY R. GIRAUDO



" EROSION & SEDIMENT CONTROL PLAN "

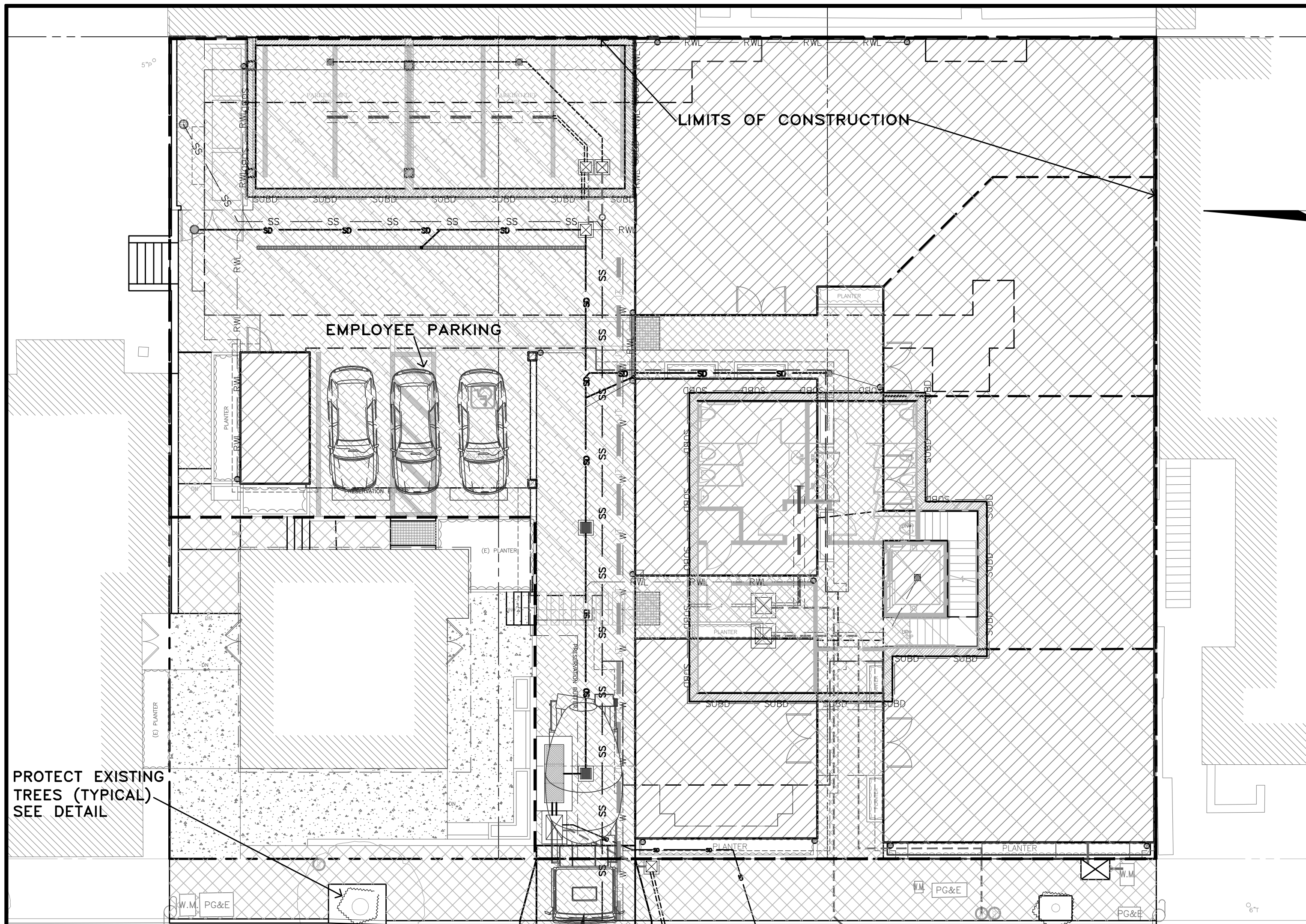
GRADING, DRAINAGE & EROSION CONTROL PLAN

JB PASTOR BUILDING OF EROSION CONTROL PLAN
A.P.N.s.: 010-145-012, 023, & 024
CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA
FOR ESPERANZA CARMEL COMMERCIAL, LLC

SCALE: AS SHOWN
DATE: MARCH 2024
JOB NO. 2746-01

12/18/24	AMS	SITE PLAN/FINISH FLOORS UPDATE
06/04/24	AMS	C.O.C. DESIGN REVIEW LETTER
03/28/24	AMS	RELEASED TO CLIENT
03/22/24	AMS	RELEASED TO CLIENT

No. DATE BY REVISION OF 8 SHEETS



EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
1,445 CY CUT
5 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURES, AND INSTALL UNDERGROUND UTILITIES. PROPOSED PARKING AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW PAVERS DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON DOLORES STREET AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO OCEAN AVENUE TO DOLORES STREET. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON DOLORES STREET. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/ CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS (SEE LOCATION DETAIL) AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG DOLORES STREET, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

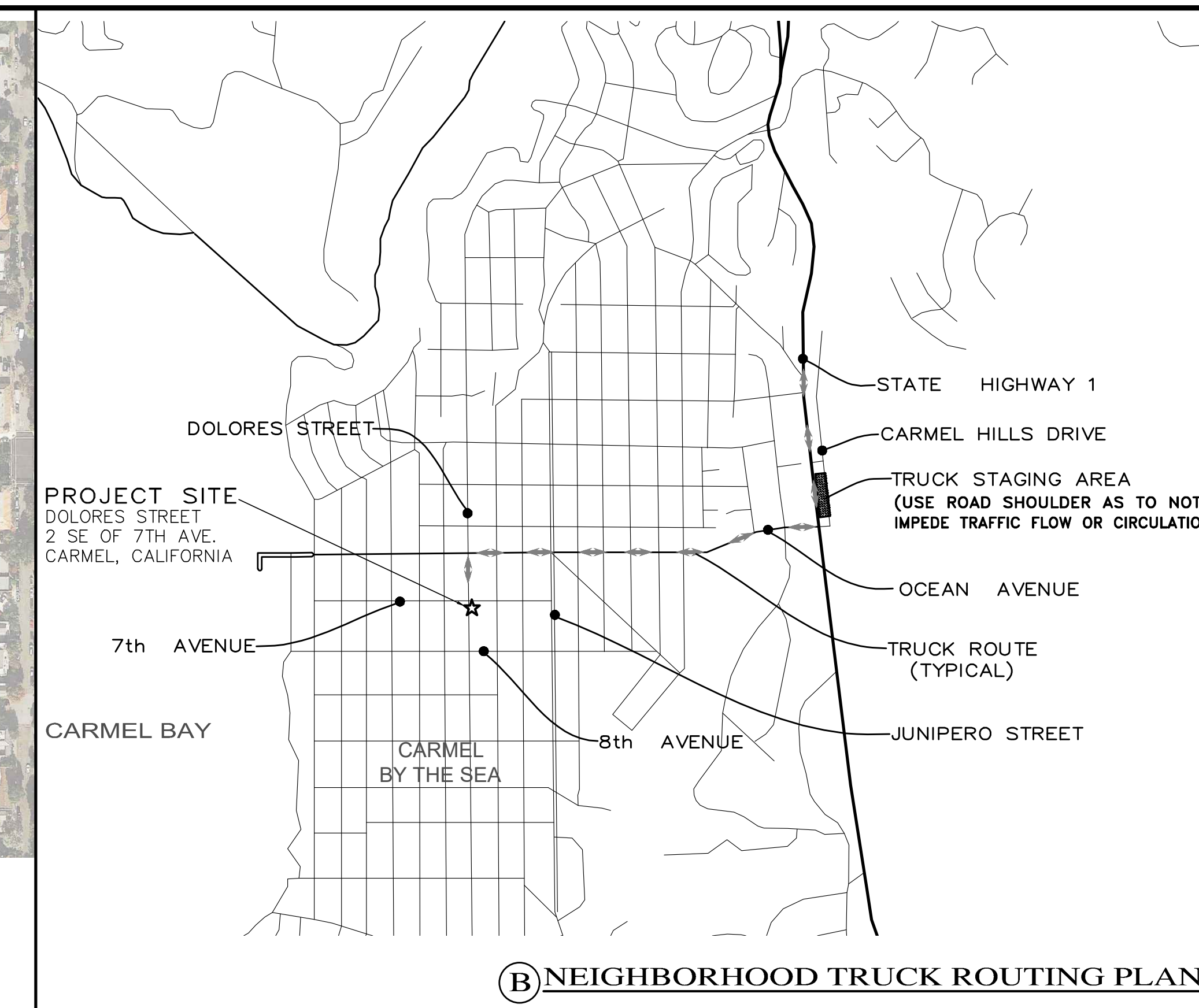
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION/CLKEARING	5	4
GRADING & SOIL REMOVAL (EXPORT)	72	9
ENGINEERING MATERIALS (IMPORT)	4	2
TOTALS	81	15

TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 8 TRUCK LOADS PER DAY.
- THERE ARE 1,440 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 10 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 120 & 180 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10
HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 20 MARCH 2024, 10 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 20 MONTHS.



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APPROVED BY:
GUY R. GIRAUDO
REGISTERED PROFESSIONAL ENGINEER - CIVIL
No. 46666
Exp. 06-30-26

CONSTRUCTION MANAGEMENT PLAN "A"

GRADING, DRAINAGE & EROSION CONTROL PLAN

SCALE: AS SHOWN
DATE: MARCH 2024
JOB NO. 2746-01

OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
12/18/24	AMS		SITE PLAN/FINISH FLOORS UPDATE
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SHEET C8
OF 8 SHEETS

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ESPERANZA CARMEL COMMERCIAL, LLC

IRRIGATION NOTES:

VALVE SIZES ON PLAN ARE SCHEMATIC AND NOT ACTUAL SIZE OF BOXES

SYSTEM DESIGNED TO PREVENT LOW HEAD DRAINAGE AND NO OVERSPRAY OR RUNOFF

IRRIGATION LAID OUT TO CONFORM TO HYDROZONES INDICATED ON LANDSCAPE PLAN

SYSTEM DESIGNED TO ACHIEVE MINIMUM IRRIGATION EFFICIENCY OF .75 FOR OVERHEAD SPRAY AND .81 FOR DRIP ZONES

SYSTEM USES LOW VOLUME IRRIGATION IN MULCHED PLANTING AREAS

SYSTEM HAS MATCHED PRECIPITATION RATES FOR HEAD AND EMISSION DEVICES

THE IRRIGATION HEADS ARE LAID OUT FOR OPTIMAL SPACING

SWING JOINTS ARE USED ON ALL SPRINKLER HEADS

SYSTEM USES CHECK OR ANTI-DRAIN VALVES

SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY FOR TURF OR OTHER AREAS LESS THAN 10 FEET IN WIDTH

WHERE SPRINKLER HEADS ARE CLOSER THAN 24" TO HARDSCAPE, HARDSCAPE IS DESIGNED TO DRAIN ENTIRELY INTO LANDSCAPE

EACH VALVE IRRIGATES HYDROZONE WITH SIMILAR CONDITIONS WITH SPRINKLER HEADS AND EMISSION DEVICES THAT ARE APPROPRIATE FOR THE PLANT TYPE WITHIN THE HYDROZONE

TREES WILL BE PLACED ON SEPARATE VALVES FROM SHRUBS, GROUNDCOVERS, AND TURF WHERE FEASIBLE

DRIP EMITTERS TO BE 1 GPH UNLESS OTHERWISE NOTED

ALL IRRIGATION MAIN LINE TRENCHING SHALL BE A MINIMUM OF 18" MIN. BELOW FINISH AT PLANTER BEDS AND 24" MIN. BELOW PAVED SURFACES. LATERAL LINES TO BE 12" BELOW FINISH AND DRIP LINES TO BE 5" BELOW FINISH.

CONNECT IRRIGATION WATER LINE TO DOMESTIC MAIN SUPPLY VIA BACKFLOW PREVENTION DEVICE. (SEE DETAIL.)

ALL BANKS OF IRRIGATION VALVES TO BE CONNECTED TO IRRIGATION MAINLINE AFTER A GATE VALVE FOR SERVICING OF INDIVIDUAL BANKS.

IRRIGATION DEMAND:

14GPM AT 55 PSI STATIC UPSTREAM OF BACKFLOW PREVENTOR. VERIFY EXACT PRESSURE PRIOR TO COMMENCEMENT OF WORK.

ALL TRENCHES FOR IRRIGATION WORK TO BE LAID OUT ONSITE TO AVOID DAMAGE TO ANY EXISTING TREE ROOTS

AUTOMATIC CONTROLLER DEVICE:

SHALL BE WALL MOUNTED AS DIRECTED BY LANDSCAPE CONTRACTOR. SERVICE TO BE 120 VOLT AC HARDWIRED PER ELECTRICAL CONTRACTOR.

LOW VOLTAGE LIGHTING:

TO BE INSTALLED IN ELECTRICAL CONDUIT. RUN ADDITIONAL 2" CHASES AND EXTRA WIRES AS NEEDED. LOCATE BELOW MAIN IRRIGATION LINES. SEE ELECTRICAL PLAN.

HOSE BIBS:

TO BE BRASS AND INSTALLED ON A 4"x4" PRESSURE TREATED POST.

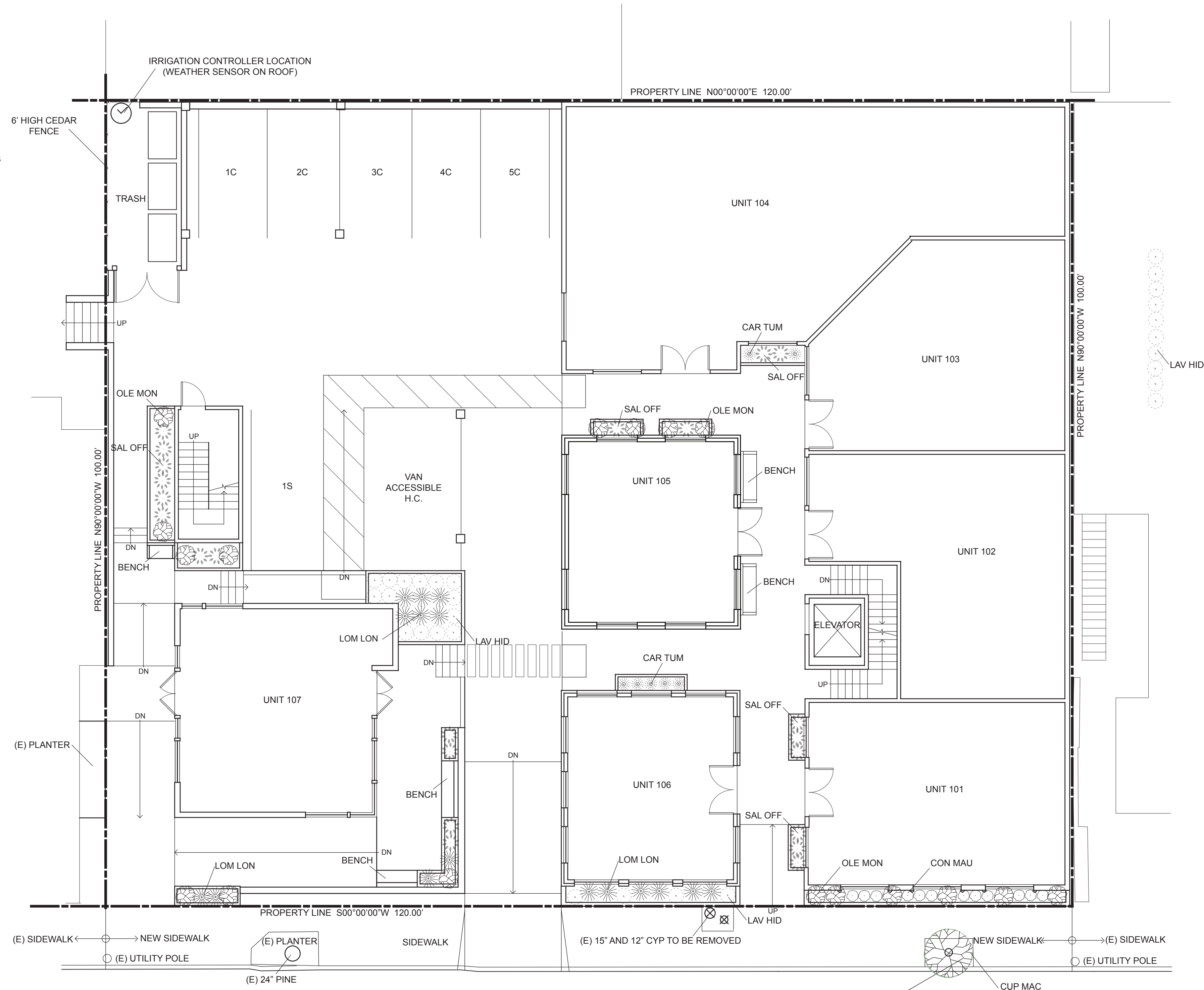
VALVE BOXES, PIPE, AND HOSE BIBS:
ALL EXPOSED COMPONENTS OF IRRIGATION SYSTEM TO BE PURPLE IN COLOR TO SHOW IT IS RECLAIMED WATER IF NECESSARY.

IRRIGATION SCHEDULE:

FOR ESTABLISHMENT PERIOD - ONE YEAR
1 AND 2 GALLON PLANTS 15 MINS X 2 TIMES PER WEEK
5 AND 15 GALLON PLANTS 20 MINS X 2 TIMES PER WEEK
24" BOX TREES 30 MINS X 2 TIMES PER WEEK

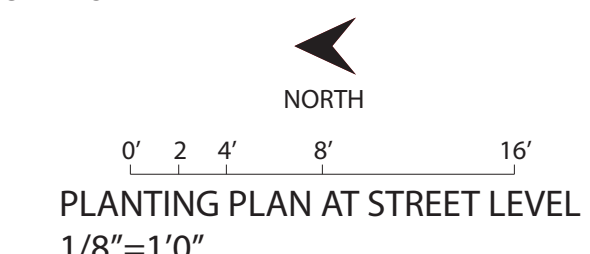
FOR MATURE PERIOD - AFTER ONE YEAR OR DETERMINE ON PLANT TO PLANT BASIS
1 AND 2 GALLON PLANTS 15 MINS X 1 TIMES PER WEEK
5 AND 15 GALLON PLANTS 20 MINS X 1 TIMES PER WEEK
24" BOX TREES 30 MINS X 1 TIMES PER WEEK

AS PLANTS MATURE AND BECOME MORE ESTABLISHED, THE IRRIGATION CAN BEGIN TO TAPER OFF AS MUCH AS THE PLANTS WILL ALLOW.



PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS
CAR TUM	<i>Carex tumulicola</i>	Foothill Sedge	7	1 gal	Low
CON MAU	<i>Convolvulus mauritanicus</i>	Ground Morning Glory	12	1 gal	Low
CUP MAC	<i>Cupressus macrocarpa</i>	Monterey Cypress	1	5 gal	Low
LAV HID	<i>Lavandula 'Hidcote Superior'</i>	Hidcote Supereor	55	1 gal	Low
LOM LON	<i>Lomandra longifolia 'Breeze'</i>	Dwarf Mat Rush	49	5 gal	Low
OLE EUR	<i>Olea europea 'Majestic Beauty'</i>	Majestic Beauty Fruitless Olive	3	15 gal	Low
OLE MON	<i>Olea europea 'Montra'</i>	Little Ollie	22	5 gal	Low
OLE SWA	<i>Olea europea 'Swan Hill'</i>	Swan Hill Fruitless Olive - columnar	22	15 gal	Low
SAL OFF	<i>Salvia officinalis</i>	Garden Sage	37	5 gal	Low



SCOPE OF WORK:

THIS PROJECT INVOLVES LANDSCAPE INSTALLATION IN PLANTERS WITH NEW LOW FLOW DRIP IRRIGATION SYSTEM. THE LANDSCAPE IS DESIGNED TO USE ALL NATIVE AND/OR DROUGHT TOLERANT PLANTING.

PROJECT INFORMATION:

OWNER: ESPERANZA CARMEL COMMERCIAL, LLC
ATTN: RYAN AESCHLIMAN
SITE: DOLORES ST
2 SE OF 7TH AVE.
CARMEL-BY-THE-SEA, CA
LOTS: 6,8,10 BLOCK 91
APN: 010-145-012, 023, 024
TOPOGRAPHY: FLAT
TREE REMOVAL: NONE
GRADING: SEE CIVIL SHEET

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL CITY OF CARMEL'S LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

PLANTING NOTES:

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

STAKING: STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

MULCHING: SPREAD 3" OF MULCH OVER ALL EXPOSED PLANTING AREAS

COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000SQFT OF PERMEABLE AREA TO A DEPTH OF 6"

STAGING: WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

SOIL AMENDMENT TO BE ADDED TO PLANTED ARE AS NEEDED FOR PLANT MATERIAL

BUILDING DEPARTMENT NOTES:

PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

CODES:

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE UBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

LAYOUT NOTES: ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

FIRE SAFETY NOTES: ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.



MISSION LANDSCAPING

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CALIFORNIA 93950

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F 831 373 2283

www.missionlandscaping.com
email: missionlandscaping@me.com

Landscape & General
Contractors C27 & B 392291
Landscape Architecture
CA Lic #5806

Project:

JB Pastor Building
Dolores St.
2 SE of 7th Ave.
Carmel By-The-Sea,
CA 93921

APN: 010-145-012, 023, 024

Revisions:



Drawing Title:

Street Level Landscape
Plan

Date: 12/19/24

Scale: 1/8" = 1'0"

Drawn By: pw

Page Number:

L1.0



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Revisions:



Drawing Title:

Roof and 2nd Level
Landscape Plan

Date: 12/19/24

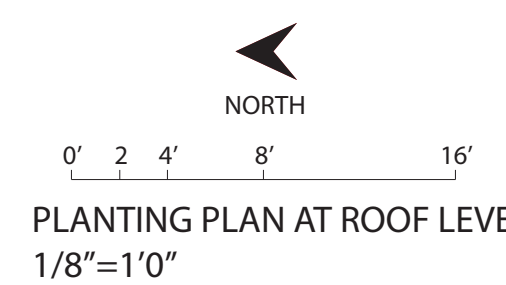
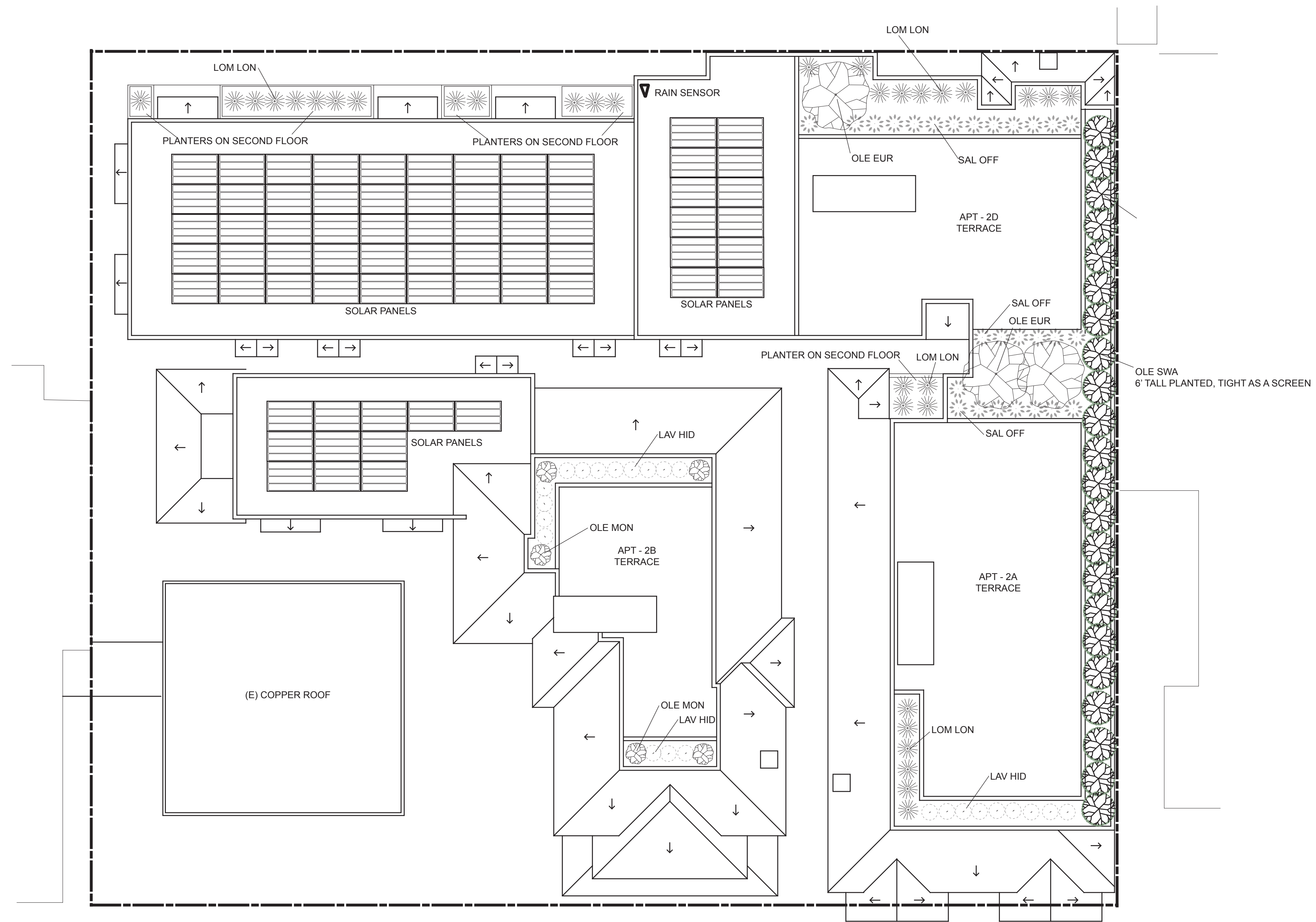
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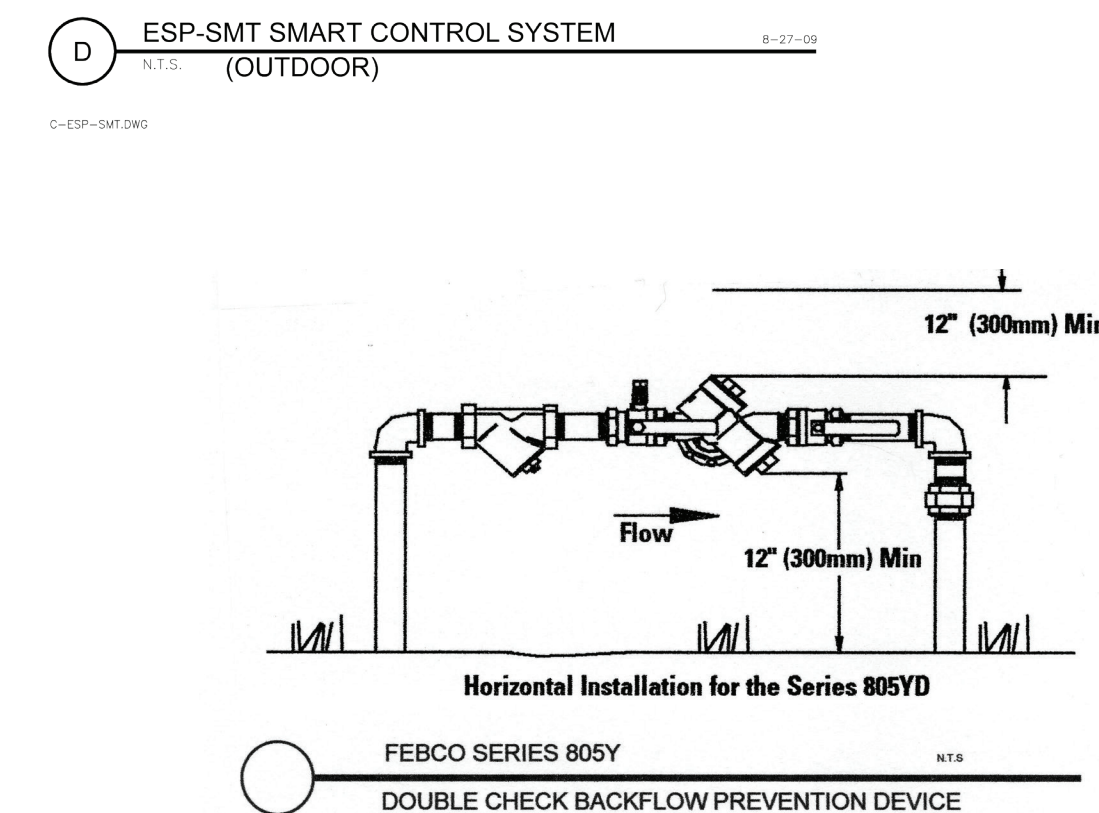
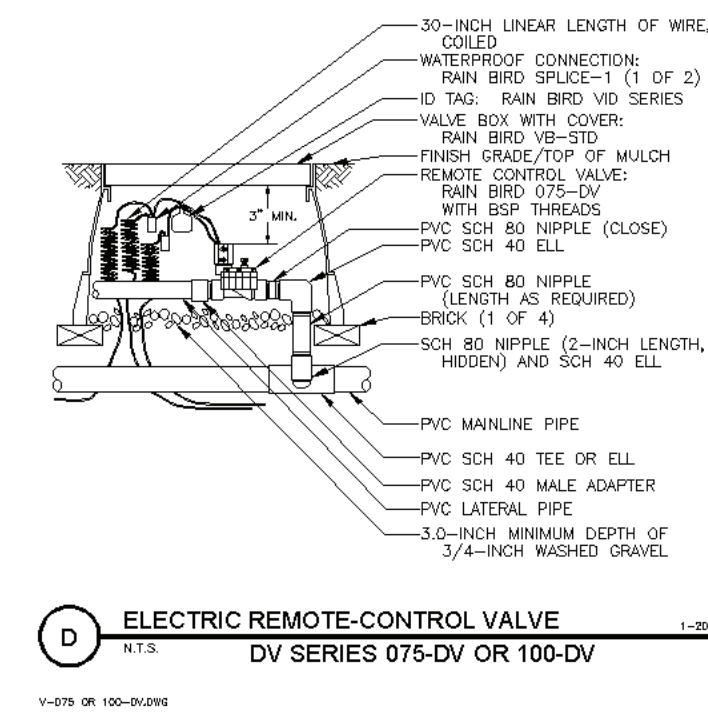
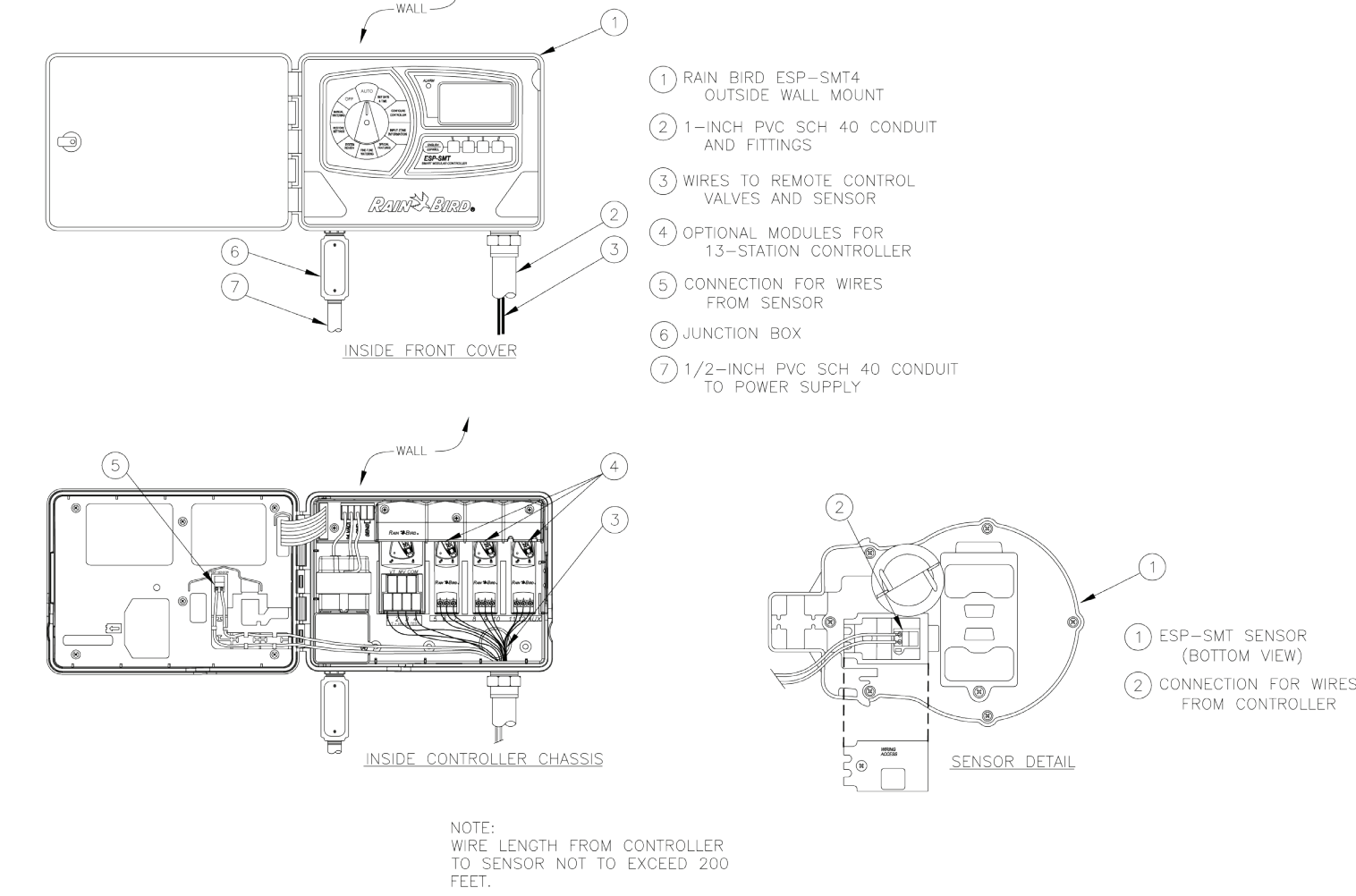
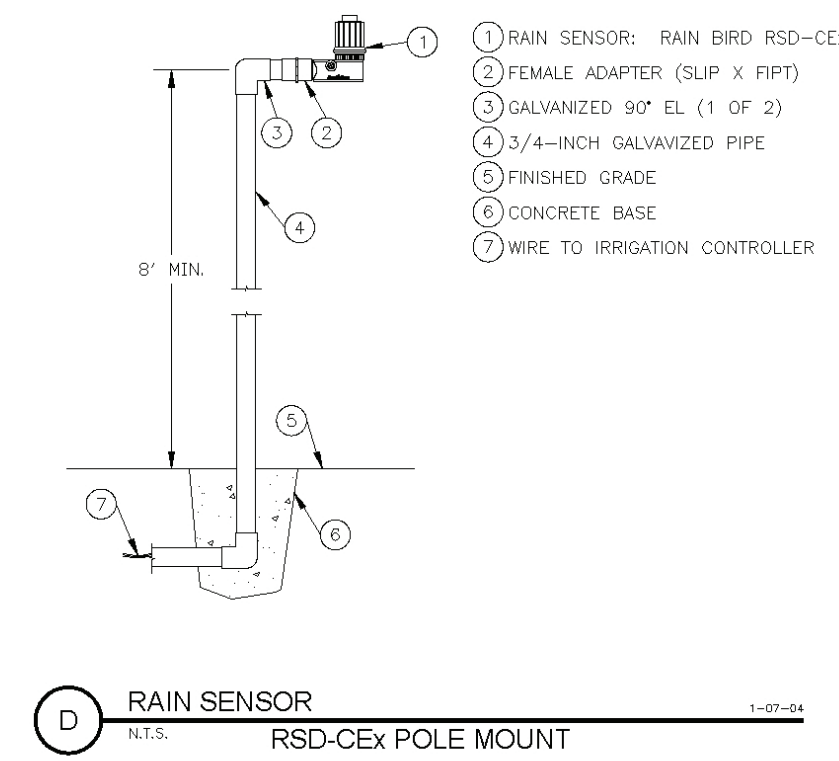
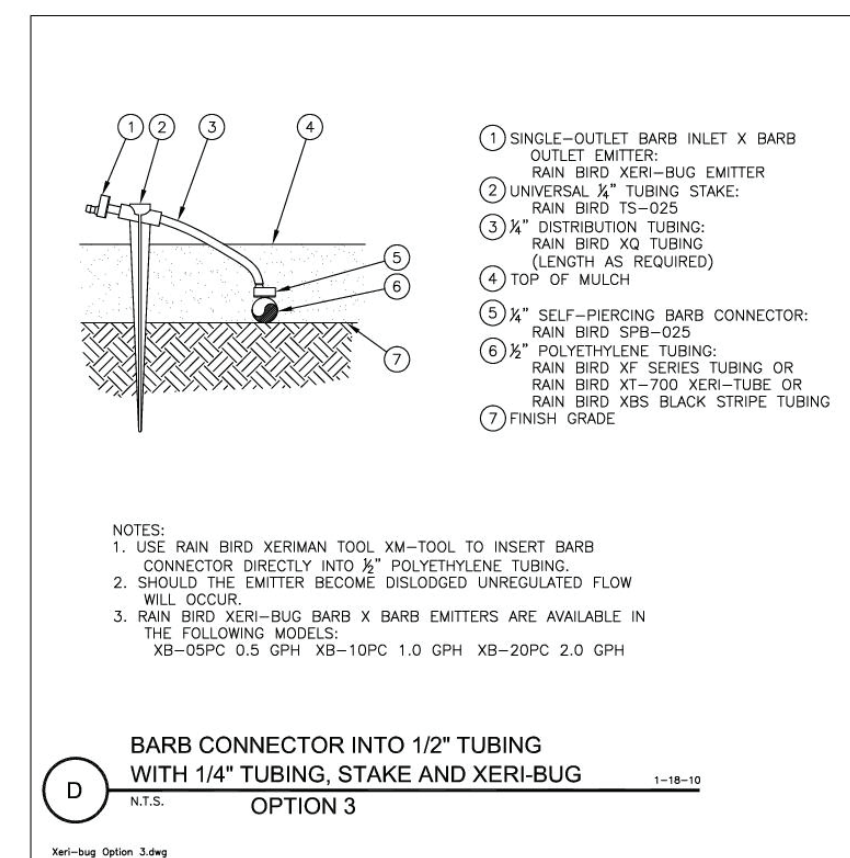
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 Landscape & General
 Contractors C27 & B 392291
 Landscape Architecture
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Project:

Esperanza Carmel
 Commercial, LLC
 Dolores St.
 2 SE of 7th Ave.
 Carmel By-The-Sea,
 CA 93921

APN: 010-145-012, 023, 024
 Revisions:



Water Efficient Landscape Worksheet								
Instructions:								
Fill in all items in this color								
Answer is shown in this color								
Reference Evapotranspiration (Eto)		32.9 Carmel						
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	Estimated Total Water Use (ETWU)	
Hydrozone#/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
Regular Landscape Areas								
1) low water use plants	0.2	Drip	0.81	0.247	791	195.31	3,984	
2) medium water use plants	0.4	Drip	0.81	0.494	0	0.00	0	
3) high water use (pool & spa)	0.7	Drip	1	0.700	0	0.00	0	
					Totals	791	195.31	3,984
Special Landscape Areas (SLA): Recycled Water								
1) low water use plants				1	0	0	0	
2) medium water use plants				1	0	0	0	
3) medium water use plants				1	0	0	0	
					Totals	0	0	0
Estimated Total Water Use (ETWU)							3,984	
Maximum Allowed Water Allowance (MAWA)							7,261	
Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency					
very low	0-0.1	overhead spray	0.75					
low	0.1-0.3	drip	0.81					
medium	0.4-0.6							
high	0.7-1.0							
MAWA (annual gallons allowed)= (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]								
where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non-residential areas.								
ETAF Calculations								
Regular Landscape Areas								
Total ETAF x Area	195							
Total Area	791							
Average ETAF	0.25							
Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.								
All Landscape Areas								
Total ETAF x Area	195							
Total Area	791							
Sitewide ETAF	0.25							

ESTIMATED TOTAL WATER USE = 3,984 GALLONS PER YEAR
 MAXIMUM ALLOWED WATER ALLOWANCE = 7,261 GALLONS PER YEAR
 ETWU IS LESS THAN MAWA



Drawing Title:

Landscape Details
 and Plant Pictures

Date: 12/19/24

Scale:

Drawn By: pw

Page Number:

L1.3

ELECTRICAL SYMBOLS & ABBREVIATIONS

SYMBOLS & ABBREVIATIONS SHOWN ARE FOR GENERAL USE. DISREGARD THOSE WHICH DO NOT APPEAR ON THE PLANS.

	FLUORESCENT OR LED LUMINAIRE - SEE SCHEDULE		SECURITY DOOR CONTACTS		PANELBOARD - FLUSH MOUNTED		DETAIL NOTE REFERENCE SYMBOL - SEE ASSOCIATED NOTE ON SAME DETAIL		DETAIL NUMBER - DETAIL OR SECTION REFERENCE - SHEET NUMBER
	EMERGENCY OR NIGHT LIGHT		SECURITY MOTION DETECTOR		PANELBOARD - SURFACE MOUNTED		FEDER DESIGNATION - SEE ASSOCIATED NOTE ON SAME DETAIL		INDICATES QUANTITY OF TELEPHONE OUTLETS
	STRIP FLUORESCENT OR LED LUMINAIRE - SEE SCHEDULE		CCTV CAMERA		EQUIPMENT PANEL - FLUSH MOUNTED		INDICATES QUANTITY OF DATA OUTLETS		
	RECESSED WALL WASHER		SECURITY SYSTEM KEYPAD		EQUIPMENT PANEL - SURFACE MOUNTED				
	LUMINAIRE - RECESSED - SEE SCHEDULE		DOOR BELL PUSHBUTTON		METER W/ CURRENT TRANSFORMER				
	LUMINAIRE - SURFACE MOUNTED - SEE SCHEDULE		DOOR CHIME WITH LED		JUNCTION BOX - CEILING OR WALL MOUNTED, SIZE PER CODE, TAPE AND TAG WIRES				
	LUMINAIRE - POLE OR POST MOUNTED - SEE SCHEDULE		RECEPTACLE - DUPLEX *		MOTOR CONNECTION				
	LUMINAIRE - WALL MOUNTED SEE SCHEDULE		DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT		NON-FUSED DISCONNECT SWITCH				
	BOLLARD OR PATH LIGHT - SEE SCHEDULE		GFCI CONVENIENCE RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT		FUSED DISCONNECT SWITCH; FUSED WITH DUAL-ELEMENT FUSES SIZED PER EQUIPMENT MFG'S NAMEPLATE DATA				
	EXIT LIGHT - DIRECTIONAL ARROWS AS INDICATED - SEE SCHEDULE		GFCI CONVENIENCE DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT		COMBINATION STARTER/FUSED DISCONNECT SWITCH; FUSED DISCONNECT SWITCH ELEMENT FUSES SIZED PER EQUIPMENT MFG'S NAMEPLATE DATA				
	TRACK LIGHTING - SEE SCHEDULE		RECEPTACLE DOUBLE DUPLEX *		MAGNETIC STARTER - NEMA SIZE INDICATED NEMA 3R ENCLOSURE UNLESS OTHERWISE SPECIFIED				
	EMERGENCY LIGHT		HALF SWITCHED DUPLEX RECEPTACLE *		CIRCUIT BREAKER				
	DIGITAL DUAL TECHNOLOGY OCC. SENSOR		SINGLE RECEPTACLE *		GROUND ROD WITH GROUNDWELL BOX				
	LIGHTING CONTROL OCCUPANCY SENSOR CORNER MOUNTED		DUPLEX RECEPTACLE - CEILING MOUNTED		GROUND ELECTRODE				
	DIMMER ROOM CONTROLLER		LETTER INDICATES DUPLEX HALF CONTROLLED RECEPTACLE *		NORMALLY OPEN CONTACT				
	PLUG LOAD CONTROLLER		LETTER INDICATES DUPLEX FULLY CONTROLLED RECEPTACLE *		NORMALLY CLOSED CONTACT				
	ROOM LIGHTING CONTROLLER		FLOOR MOUNTED DUPLEX RECEPTACLE		TRANSFORMER - SEE SINGLE LINE FOR SIZE				
	LIGHTING CONTROL PANEL		PULLBOX		ERMS				
	DIGITAL DAYLIGHT SENSOR		FLEX CONDUIT WITH CONNECTION		CONDUIT - UP				
	SINGLE POLE SWITCH **		CONDUIT - DOWN		CONDUIT - EMERGENCY SYSTEM				
	SINGLE POLE SWITCH, ** a = CIRCUIT CONTROLLED		SURFACE METAL OR NON-METALLIC RACEWAY		LOW VOLTAGE WIRING				
	THREE WAY SWITCH**		CONDUIT - CONCEALED IN WALLS OR CEILING		CONDUIT - EXISTING				
	FOUR WAY SWITCH**		CONDUIT - BELOW SLAB OR UNDERGROUND: 3/4"MIN.		CAPPED OR STUB-OUT CONDUIT				
	MANUAL MOTOR STARTER		CONDUIT - HOME RUN TO PANEL, TERMINAL CABINET, ETC. RUNS MARKED WITH CROSSHATCHES INDICATE NUMBER OF #12 AWG WIRES WHEN MORE THAN TWO. SIZE CONDUIT ACCORDING TO SPECIFICATIONS AND APPLICABLE CODE. CROSS HATCHES WITH NUMBER ADJACENT INDICATES WIRE SIZE OTHER THAN #12 AWG.		CONDUIT CONTINUATION				
	KEY OPERATED SWITCH **		WIRELESS ACCESS POINT (WAP) - CEILING MOUNTED		SHEET NOTE REFERENCE SYMBOL - SEE ASSOCIATED NOTE ON SAME SHEET				
	LIGHTING DIMMER **		WIRELESS ACCESS POINT (WAP) - WALL MOUNTED - FIELD VERIFY HEIGHT		SCHEDULE SYMBOL - SEE ASSOCIATED NOTE ON SAME SHEET				
	DIGITAL ON/OFF SWITCH **		VOICE/DATA OUTLET - FLOOR MOUNTED						
	DIGITAL DIMMER SWITCH **		VOICE/DATA OUTLET - CEILING MOUNTED						
	DIGITAL MULTI SCENE LIGHTING SWITCH **		INTERIOR SPEAKERS CEILING MOUNTED						
	DIGITAL DUAL TECHNOLOGY WALL OCC. SENSOR**		INTERIOR SPEAKERS WALL MOUNTED						
	WALL OCCUPANCY SENSOR **		CLOCK +8-0" AFF U.O.N. VERIFY BEFORE INSTALLATION						
	DOUBLE SWITCHED WALL OCCUPANCY SENSOR **								
	DIMMING DUAL TECHNOLOGY WALL SWITCH OCCUPANCY SENSOR **								
	2-BUTTON DIMMING DUAL TECHNOLOGY WALL SWITCH OCCUPANCY SENSOR **								

** +15" A.F.F. TO BOTTOM OF BOX, U.O.N.
 ** +48" A.F.F. TO TOP OF BOX, U.O.N.
 [N] NUMBER IN BRACKETS DENOTES NUMBER OF CABLE DROPS WHEN MORE THAN (2).

LIGHT FIXTURE SCHEDULE

FIXTURE NOTES:

- ALL LED LIGHT FIXTURE DRIVERS SHALL BE ELECTRONIC TYPE, 10% TOTAL HARMONIC DISTORTION MAXIMUM.
- ALL LED LIGHT MODULES SHALL BE ENERGY SAVING 3000° K, 80 CRI MINIMUM, U.O.N. (SEE SPECIFICATIONS FOR MORE INFORMATION).
- ALL LED DRIVERS (AND ASSOC. FIXTS.) SHALL HAVE MANUFACTURER'S CERTIFICATION OF COMPLIANCE WITH CALIFORNIA ENERGY COMMISSION STANDARDS AND REQUIREMENTS, WHERE SUCH ARE USED IN CONDITIONED SPACES.
- EXIT SIGNS, EMERGENCY LIGHTS AND LIGHT FIXTURES WITH EMERGENCY BATTERY BACK-UP SHALL SUPPLY A MINIMUM DURATION OF 90 MINUTES OF POWER IN THE EVENT OF A POWER OUTAGE/FAILURE.
- ALL RECESSED LIGHT FIXTURES SHALL BE U.L. APPROVED FOR ZERO CLEARANCE INSULATION COVER WHEN INSTALLED IN INSULATED CEILINGS.

TYPE	DESCRIPTION	LAMPS	MANUFACTURER
XA	3" DIA RECESSED LED DOWN LIGHT GALVANIZED STEEL FRAME WITH MATTE BLACK INTERIOR PAINT. ICAT RATED HOUSING, 40° BEAM SPREAD, 90 CRI, UNIVERSAL VOLTAGE WITH ED10 DIMMING DRIVER TL3R TRIM WITH MICRO PRISMATIC LENS.	9.5W 1609 LUMEN 3000°K LED	HALO HL36A SERIES
XB	40"x12.5"x16.125" WALL MOUNTED LED PENDANT FIXTURE. ALUMINUM WITH TEXTURED BRONZE POWDER COAT FINISH, HONEY ONYX ACRYLIC LENS. 120/277 UNIVERSAL VOLTAGE, 0-10 VOLT DIMMING WITH INTEGRAL BATTERY BACKUP.	12W LED	EVERGREEN LIGHTING 27064 SERIES WALL MOUNT
XC	12"x6.5"x6.5" LED WALL SCONCE. FORMED STEEL HOUSING WITH TEXTURED BRONZE FINISH CLEAR FROSTED GLASS LENS. 120/277 UNIVERSAL VOLTAGE, 0-10 VOLT DIMMING DARK SKY COMPLIANT.	6W LED	EVERGREEN LIGHTING 2100 SERIES WALL SCONCE

APPLICABLE CODES & STANDARDS

CODES:

- 2022 CALIFORNIA ADMINISTRATIVE CODE C.A.C., PART 1, TITLE 24, C.C.R.
- 2022 CALIFORNIA BUILDING CODE (CBC) C.C.R., TITLE 24, VOL. 1 & 2 BASED ON THE 2021 INTERNATIONAL BUILDING CODE (IBC) WITH CALIFORNIA AMENDMENTS.
- 2022 CALIFORNIA RESIDENTIAL CODE C.C.R., TITLE 24, PART 2.5 BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE WITH CALIFORNIA AMENDMENTS.
- 2022 CALIFORNIA ELECTRICAL CODE (CEC) C.C.R., TITLE 24, PART 3 BASED ON THE 2020 NATIONAL ELECTRICAL CODE (NEC) WITH CALIFORNIA AMENDMENTS.
- 2022 CALIFORNIA MECHANICAL CODE (CMC) C.C.R., TITLE 24, PART 4 BASED ON THE 2021 UNIFORM MECHANICAL CODE (UMC) WITH CALIFORNIA AMENDMENTS.
- 2022 CALIFORNIA PLUMBING CODE (CPC) C.C.R., TITLE 24, PART 5 BASED ON THE 2021 UNIFORM PLUMBING CODE (UPC) WITH CALIFORNIA AMENDMENTS.
- 2022 CALIFORNIA ENERGY CODE C.C.R., TITLE 24, PART 6.
- 2022 CALIFORNIA FIRE CODE (CFC) C.C.R., TITLE 24, PART 9 BASED ON THE 2021 INTERNATIONAL FIRE CODE (IFC) WITH CALIFORNIA AMENDMENTS.
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE C.C.R., TITLE 24, PART 11.
- 2022 CALIFORNIA REFERENCED STANDARDS CODE C.C.R., TITLE 24, PART 12.
- TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
- NATIONAL FIRE ALARM CODE (NFPA 72) 2022.
- CITY OF CARMEL BY THE SEA ORDINANCES, CODES, AND REGULATIONS.

STANDARDS:

- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
- ELECTRONICS INDUSTRIES ASSOCIATION (EIA)
- INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS (IEEE)
- NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA)
- NATIONAL ELECTRICAL TESTING ASSOCIATION (NETA)
- UNDERWRITER LABORATORIES (UL)
- CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT STANDARDS (CAL/OSHA)

SHEET INDEX

E001	SYMBOLS, ABBREVIATIONS, LIGHT FIXTURE SCHEDULE, CODES & SHEET INDEX.
E003	CALIFORNIA ENERGY COMPLIANCE TITLE 24 (BUILDING EXTERIOR).
E201	ELECTRICAL SITE PLAN.
E501	LIGHTING PLAN.
E502	PHOTOMETRIC STUDY.

JUN A. SILLANO, AIA

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 ARCHITECTURE • PLANNING • INTERIOR DESIGN

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STAMPS:

AURUM CONSULTING ENGINEERS
 MONTEREY BAY, INC.
 Project No. 24-510.00
 404 W. Franklin St. • Suite 100 • Monterey, CA 93940
 T 831.646.3330 • F 831.646.3336 • www.aacem.com

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PROJECT/CLIENT:
JB PASTOR BUILDING

PROJECT ADDRESS:
 DOLORES, 2ND SE OF 7TH CARMEL, CA 93921
 APN: 010-145-012 022, & 023

SYMBOLS, ABBREVS., LIGHT FIXTURE SCHEDULE, CODES & SHEET INDEX

DATE: NOVEMBER 21, 2024
 P.C. SUBMITTAL

REVISIONS:

1		
2		
3		
4		
5		
6		
7		

SHEET NO.
E0.1

STATE OF CALIFORNIA CALIFORNIA ENERGY COMMISSION
Outdoor Lighting NRCC-LTO-E
 CERTIFICATE OF COMPLIANCE
 Project Name: JB Pastor Building Report Page: (Page 1 of 8)
 Project Address: Dolores, 2nd SE of 7th, Carmel, CA, 93921 Date Prepared: 2024-12-30T13:21:34-05:00

A. GENERAL INFORMATION

01 Project Location (City)	Carmel By The Sea	04 Total Illuminated Hardscape Area (ft ²)	5678
02 Climate Zone	3		
03 Outdoor Lighting Zone per Title 24 Part 1 10.114 or as designated by Authority Having Jurisdiction (AHJ):			
<input type="checkbox"/> LZ-0: Very Low - Undeveloped Parkland	<input type="checkbox"/> LZ-2: Moderate - Urban Clusters	<input type="checkbox"/> LZ-4: High - Must be reviewed by CA Energy Commission for Approval	
<input type="checkbox"/> LZ-1: Low - Rural Areas	<input checked="" type="checkbox"/> LZ-3: Moderately High - Urban Areas		
05 Occupancy Types within Project			
• All Other Occupancies			

B. PROJECT SCOPE
 This table includes outdoor lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in 140.7 / 170.2(e)(6) or 141.0(b)(2) / 180.2(b)(4) for alterations.

My Project Consists of:

01	02
<input checked="" type="checkbox"/> New Lighting System	Must Comply with Allowances from 140.7 / 170.2(e)(6)
<input type="checkbox"/> Altered Lighting System	Is your alteration increasing the connected lighting load (Watts)? <input type="radio"/> Yes <input checked="" type="radio"/> No
03	04
<input type="checkbox"/> % of Existing Luminaires Being Altered ¹	Sum Total of Luminaires Being Added or Altered
<input type="checkbox"/> < 10% <input type="checkbox"/> >= 10% and < 50% <input type="checkbox"/> >= 50%	Calculation Method

Please proceed to Table F, Outdoor Lighting Fixture Schedule to define the project's luminaires.
¹ FOOTNOTES: % of Existing Luminaires Being Altered = (Sum Total of Luminaires Being Added or Altered / Existing Luminaires within the Scope of the Permit Application) x 100.

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STATE OF CALIFORNIA CALIFORNIA ENERGY COMMISSION
Outdoor Lighting NRCC-LTO-E
 CERTIFICATE OF COMPLIANCE
 Project Name: JB Pastor Building Report Page: (Page 4 of 8)
 Project Address: Dolores, 2nd SE of 7th, Carmel, CA, 93921 Date Prepared: 2024-12-30T13:21:34-05:00

H. OUTDOOR LIGHTING CONTROLS
 This table demonstrates compliance with controls requirements for all new or altered luminaires installed as part of the permit application. For alteration projects, luminaires which are existing to remain (ie untouched) and luminaires which are removed and reinstalled (wiring only) do not need to be included in this table even if they are within the spaces covered by the permit application.
 Outdoor lighting for nonresidential buildings, parking garages and common service areas in multifamily buildings must be documented separately from outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit

Mandatory Controls for Nonresidential Occupancies, Parking Garages & Common Areas in Multifamily Buildings

01	02	03	04	05
Area Description	Shut-Off 130.2(c)(1) / 160.5(c)	Auto-Schedule 130.2(c)(2) / 160.5(c)	Motion Sensor 130.2(c)(3) / 160.5(c)	Field Inspector
				Pass Fail
General Hardscape: "XA"	Astronomical Timer	Provided	NA: Each Luminaire <= 40 Watts	<input type="checkbox"/>
General Hardscape: "XB"	Astronomical Timer	Provided	NA: Each Luminaire <= 40 Watts	<input type="checkbox"/>
General Hardscape: "XC"	Astronomical Timer	Provided	NA: Each Luminaire <= 40 Watts	<input type="checkbox"/>

¹ FOOTNOTE: Text has been abbreviated, please refer to Table 160.5-A to confirm compliance with the specific light source technologies listed.
² Authority having jurisdiction may ask for cutsheets or other documentation to confirm compliance of light source.
³ Recessed luminaires marked for use in fire-rated installations, and recessed luminaires installed in non-insulated ceilings are exempted from ii and iii.

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N. EXISTING CONDITIONS POWER ALLOWANCE (alterations only)
 This section does not apply to this project.

O. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION
 Selections have been made based on information provided in this document. If any selection has been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online.

Form/Title

NRCC-LTO-E - Must be submitted for all buildings

P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
 Selections have been made based on information provided in this document. If any selection has been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: <http://www.energy.ca.gov/title24/attcp/providers.html>

Form/Title

NRCA-LTO-02-A - Must be submitted for all outdoor lighting controls except for alterations where controls are added to <= 20 luminaires.

Systems/Spaces To Be Field Verified
 General Hardscape: "XA";
 General Hardscape: "XB";
 General Hardscape: "XC"

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STATE OF CALIFORNIA CALIFORNIA ENERGY COMMISSION
Outdoor Lighting NRCC-LTO-E
 CERTIFICATE OF COMPLIANCE
 Project Name: JB Pastor Building Report Page: (Page 2 of 8)
 Project Address: Dolores, 2nd SE of 7th, Carmel, CA, 93921 Date Prepared: 2024-12-30T13:21:34-05:00

C. COMPLIANCE RESULTS
 Results in this table are automatically calculated from data input and calculations in Tables F through N. Note: If any cell on this table says "COMPLIES with Exceptional Conditions" refer to Table D, Exceptional Conditions for guidance or see applicable Table referenced below.

Calculations of Total Allowed Lighting Power (Watts) 140.7 / 170.2(e)(6) or 141.0(b)(2) / 180.2(b)(4)Bv

01	02	03	04	05	06	07	08	09
General Hardscape Allowance 140.7(d)(1) / 170.2(e)(6) (See Table I)	Per Application Allowance 140.7(d)(2) / 170.2(e)(6) (See Table J)	Sales Frontage Allowance 140.7(d)(2) / 170.2(e)(6) (See Table K)	Ornamental Allowance 140.7(d)(2) / 170.2(e)(6) (See Table L)	Per Specific Area Allowance 140.7(d)(2) / 170.2(e)(6) (See Table M)	Existing Power Allowance 141.0(b)(2) / 180.2(b)(4)Bv (See Table N)	Total Allowed (Watts)	Total Actual (Watts)	07 must be >= 08
461.04	69	---	---	---	---	530.04	350	COMPLIES

Shielding Compliance (See Table G for Details) N/A
 Controls Compliance (See Table H for Details) COMPLIES

D. EXCEPTIONAL CONDITIONS
 This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS
 This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

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STATE OF CALIFORNIA CALIFORNIA ENERGY COMMISSION
Outdoor Lighting NRCC-LTO-E
 CERTIFICATE OF COMPLIANCE
 Project Name: JB Pastor Building Report Page: (Page 5 of 8)
 Project Address: Dolores, 2nd SE of 7th, Carmel, CA, 93921 Date Prepared: 2024-12-30T13:21:34-05:00

I. LIGHTING POWER ALLOWANCE (per 140.7 / 170.2(e))
 This table includes areas using allowance calculations per 140.7 / 170.2(c). General Hardscape Allowance is per Table 140.7-A/ Table 170.2-A while "Use it or lose it" Allowances are per Table 140.7-B/ Table 170.2-S. Indicate which allowances are being used to expand sections for user input. Luminaires that qualify for one of the "Use it or lose it" allowances shall not qualify for another "Use it or lose it" allowance.
 Outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit are included in Table H, and are not included here. All other multifamily outdoor lighting is included here.
 Calculated General Hardscape Lighting Power Allowance per Table 140.7-A for Nonresidential & Hotel/ Motel

01	"Use it or lose it" Allowance (select all that apply) (select all that apply)							
<input checked="" type="checkbox"/> General Hardscape Allowance Table I (below)	<input checked="" type="checkbox"/> Per Application Table J	<input type="checkbox"/> Sales Frontage Table K	<input type="checkbox"/> Ornamental Table L	<input type="checkbox"/> Per Specific Area Table M				
02	03	04	05	06	07	08	09	
Area Description	Illuminated Area (ft ²)	Allowed Density (W/ft ²)	Area Allowance (Watts)	Perimeter Length (W/ft)	Allowed Density (W/ft)	Linear Allowance (Watts)	Total General AWA + LWA (Watts)	
General Hardscape	5678	0.021	119.24	459	0.2	91.8	211.04	
Initial Wattage Allowance for Entire Site (Watts):							250	
Instances of Initial Wattage Allowance (LZ 0 only) ¹ :								
Total General Hardscape Allowance (Watts):							461.04	

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STATE OF CALIFORNIA CALIFORNIA ENERGY COMMISSION
Outdoor Lighting NRCC-LTO-E
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 Project Name: JB Pastor Building Report Page: (Page 8 of 8)
 Project Address: Dolores, 2nd SE of 7th, Carmel, CA, 93921 Date Prepared: 2024-12-30T13:21:34-05:00

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
 I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Eldridge O. Bell
 Company: Aurum Consulting Engineers, Monterey
 Address: 404 W. Franklin St., Suite 100
 City/State/Zip: Monterey, CA, 93940
 Signature Date: 12/18/2024
 CEA/HERS Certification Identification (if applicable):
 Phone: 831-646-3330

RESPONSIBLE PERSON'S DECLARATION STATEMENT
 I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Eldridge O. Bell
 Company: Aurum Consulting Engineers, Monterey
 Address: 404 W. Franklin St., Suite 100
 City/State/Zip: Monterey, CA, 93940
 Signature Date: 12/18/2024
 License: E17789 Exp: 06/30/26
 Phone: 831-646-3330

STATE OF CALIFORNIA CALIFORNIA ENERGY COMMISSION
Outdoor Lighting NRCC-LTO-E
 CERTIFICATE OF COMPLIANCE
 Project Name: JB Pastor Building Report Page: (Page 5 of 8)
 Project Address: Dolores, 2nd SE of 7th, Carmel, CA, 93921 Date Prepared: 2024-12-30T13:21:34-05:00

F. OUTDOOR LIGHTING FIXTURE SCHEDULE
 For new or altered lighting systems demonstrating compliance with 140.7 / 170.2(e)(6) all new luminaires being installed and any existing luminaires remaining or being moved within the spaces covered by the permit application are included in the Table below. For altered lighting systems using the Existing Power method per 141.0(b)(2) only new luminaires being installed and replacement luminaires being installed as part of the project scope are included (ie, existing luminaires remaining or existing luminaires being moved are not included). Outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit are included in Table H, and are not included here. All other multifamily outdoor lighting is included here.

Designed Wattage:

01	02	03	04	05	06	07	08	09	10
Name or Item Tag	Complete Luminaire Description	Watts per luminaire ^{1,2}	How is Wattage determined	Total Number Luminaires ²	Luminaire Status ³	Excluded per 140.7(a) / 170.2(e)(6)A	Design Watts	Cutoff Req. > 6,200 initial lumen output 330.2(b) / 160.5(c) ⁴	Field Inspector
XA	3" Dia. Recessed LED Down Light Fixture	9.5	Mfr. Spec	28	New	<input type="checkbox"/>	266	NA < 6200 lumens	<input type="checkbox"/> Pass <input type="checkbox"/> Fail
XB	40"x12.5"x16.125"D LED Wall Mounted Pendant Light Fixture	12	Mfr. Spec	4	New	<input type="checkbox"/>	48	NA < 6200 lumens	<input type="checkbox"/>
XC	12"x6.5"x6.5"D LED Wall Sconce Light Fixture	6	Mfr. Spec	6	New	<input type="checkbox"/>	36	NA < 6200 lumens	<input type="checkbox"/>
Total Design Watts:							350		

* NOTES: Selections with a * require a note in the space below explaining how compliance is achieved.
 EX: Luminaire is lighting a statue; EXCEPTION 2 to 130.2(B)
¹ FOOTNOTES: Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per 130.0(c) / 160.5(c)
² For linear luminaires, wattage should be indicated as W/ft instead of Watts/luminaire. Total linear feet should be indicated in column 05 instead of number of luminaires.
³ Select "New" for new luminaires in a new outdoor lighting project, or for added luminaires in an alteration. Select "Altered" for replacement luminaires in an alteration. Select "Existing to Remain" for existing luminaires within the project scope that are not being altered and are remaining. Select "Existing Reinstalled" for existing luminaires which are being removed and reinstalled as part of the project scope.
⁴ Compliance with mandatory shielding requirements is required for luminaires with initial lumen output >= 6,200 unless exempted by 130.2(b) / 160.5(c)

G. SHIELDING REQUIREMENTS (BUG)
 This section does not apply to this project.

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STATE OF CALIFORNIA CALIFORNIA ENERGY COMMISSION
Outdoor Lighting NRCC-LTO-E
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J. LIGHTING ALLOWANCE: PER APPLICATION
 This table includes areas using the wattage allowance per application from Table 140.7-B / Table 170.2-S.

01	02	03	04	05	06	07	08	09	10
Area Description	Application per Table 140.7-B ¹	# of Locations	CALCULATED ALLOWANCE (Watts) Allowance per Location ²	Extra Allowance (Watts)	Luminaire Name or Item Tag	Watts per Luminaire	DESIGN WATTS # of Luminaires Design Watts	Additional Allowance (Watts)	
Building Entrances	Building Entrance/Exit	7	19	133	XA	9.5	6	57	69
					XB	12	1	12	
Total Design Watts for this Area:							69		
Total Allowance (Watts) All Areas:							69		

¹ FOOTNOTES: Primary entrance applications are only available for senior care facilities, healthcare facilities, police stations, hospitals, fire stations, and emergency vehicle facilities.
² The Allowance per Location for ATMs is 100W for the first ATM and 35W for each additional per Table 140.7-B / Table 170.2-S.
³ For luminaires indicated in Table F as linear, wattage in column 07 is W/ft instead of Watts/luminaire. Total linear feet should be indicated in column 08 instead of number of luminaires.

K. LIGHTING ALLOWANCE: SALES FRONTAGE
 This section does not apply to this project.

L. LIGHTING ALLOWANCE: ORNAMENTAL
 This section does not apply to this project.

M. LIGHTING ALLOWANCE: PER SPECIFIC AREA
 This section does not apply to this project.

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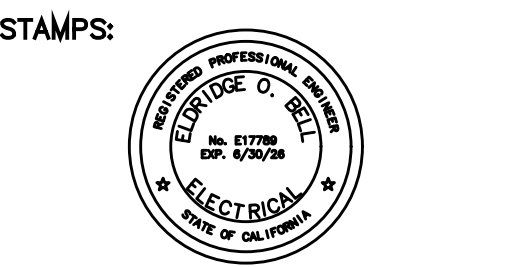
Outdoor Lighting Mandatory Measures:
110.9 OUTDOOR LIGHTING CONTROLS AND COMPONENTS
 ALL LIGHTING CONTROL DEVICES AND SYSTEMS, AND ALL LIGHT SOURCES SHALL MEET THE APPLICABLE REQUIREMENTS OF 110.9.
130.0 GENERAL LUMINAIRE REQUIREMENTS
 ALL LUMINAIRES SHALL BE FACTORY-LABELLED PER 130.0(c).
 ENERGY MANAGEMENT CONTROL SYSTEMS (EMCS) SHALL MEET REQUIREMENTS OF 130.0(e).
130.2(c) CONTROLS FOR OUTDOOR LIGHTING
 ALL OUTDOOR LIGHTING SHALL BE INDEPENDENTLY CONTROLLED FROM OTHER ELECTRICAL LOADS AND SHALL HAVE THE FOLLOWING FEATURES:
 1. AUTOMATICALLY TURNS OFF OUTDOOR LIGHTING WHEN DAYLIGHT IS AVAILABLE
 2. AUTOMATIC SCHEDULING CONTROLS
 A. AUTOMATIC SCHEDULING CONTROLS SHALL BE INSTALLED FOR ALL OUTDOOR LIGHTING.
 B. CAPABLE OF REDUCING LIGHTING POWER AT LEAST 50% AND NO MORE THAN 90% AND SEPARATELY CAPABLE OF TURNING LIGHTING OFF DURING UNOCCUPIED PERIODS
 C. THAT ALLOW SCHEDULING OF AT LEAST TWO NIGHTTIME PERIODS WITH INDEPENDENT LIGHTING LEVELS (MAY INCLUDE OVERRIDE FOR NO MORE THAN 2 HOURS)



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 PACIFIC GROVE CA.
 93950

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 WEB idg-inc.net

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STAMPS:
 AURUM CONSULTING ENGINEERS MONTEREY BAY, INC.
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PROJECT/CLIENT:
 JB PASTOR BUILDING
PROJECT ADDRESS:
 DOLORES, 2ND SE OF 7TH CARMEL, CA 93921
 APN: 010-145-012 022, & 023

CALIFORNIA ENERGY COMPLIANCE TITLE 24 (BUILDING INTERIOR / EXTERIOR)

DATE: NOVEMBER 21, 2024
 P.C. SUBMITTAL

REVISIONS:

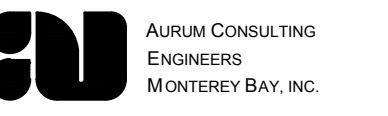
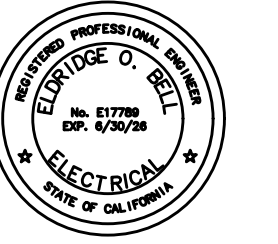
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PROJECT/CLIENT:

JB PASTOR
BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921

APN: 010-145-012
022, & 023

ELECTRICAL SITE PLAN

DATE: NOVEMBER 21, 2024

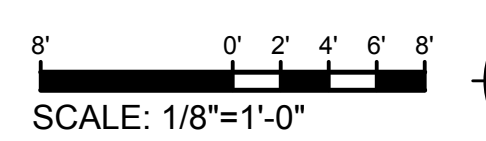
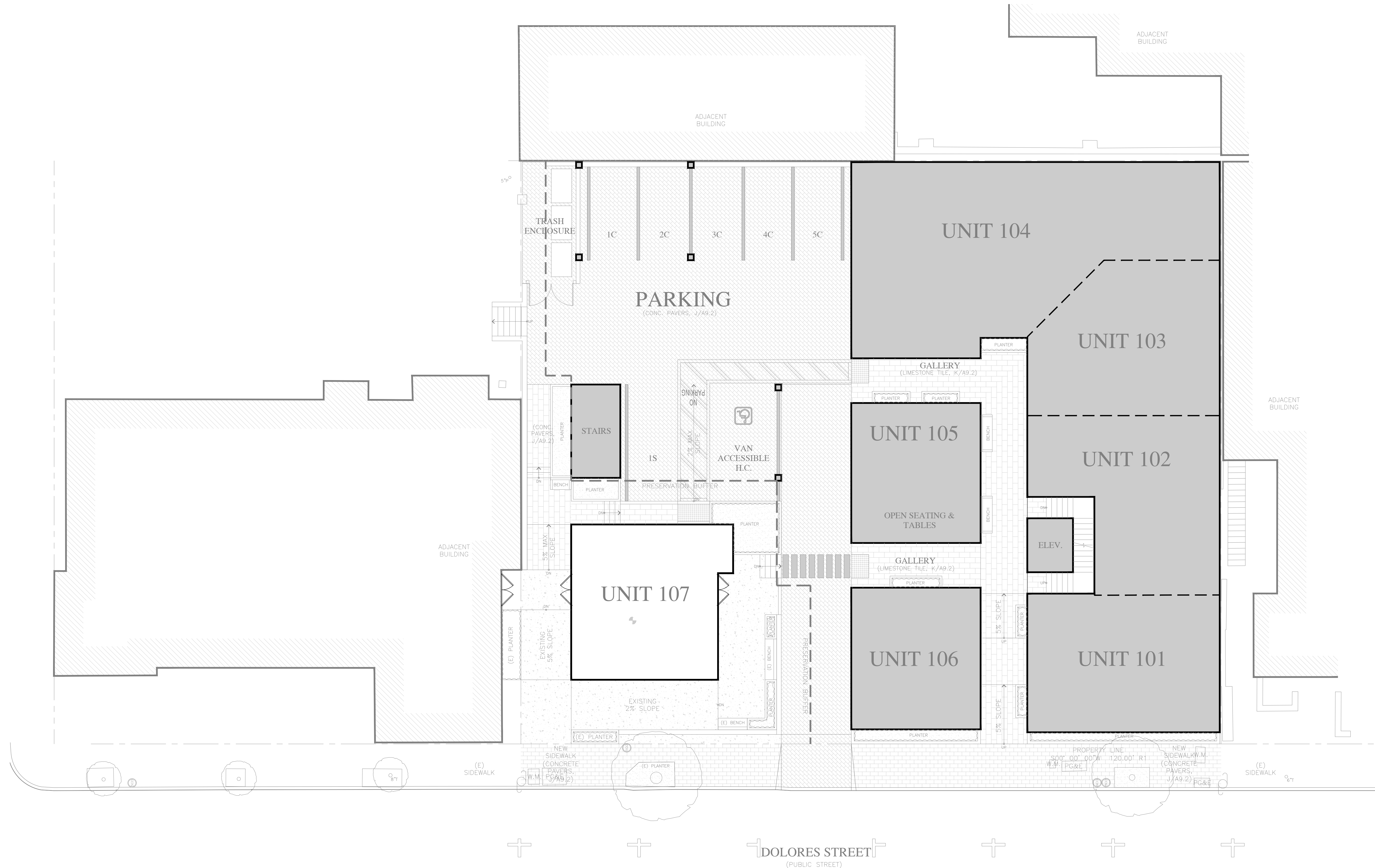
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REVISIONS:

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E2.1



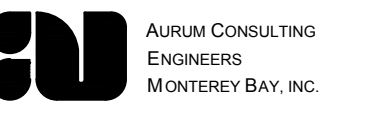
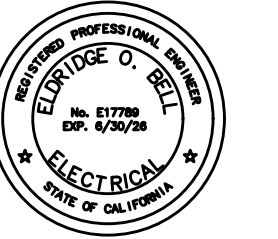
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NORTH

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STAMPS:



Project No. 24-510.00

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PROJECT/CLIENT:

JB PASTOR
BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921

APN: 010-145-012
022, & 023

LIGHTING PLAN

DATE: NOVEMBER 21, 2024

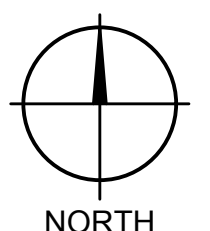
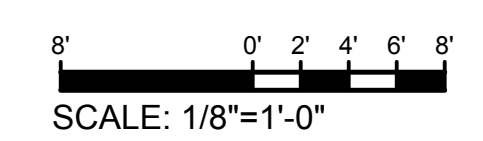
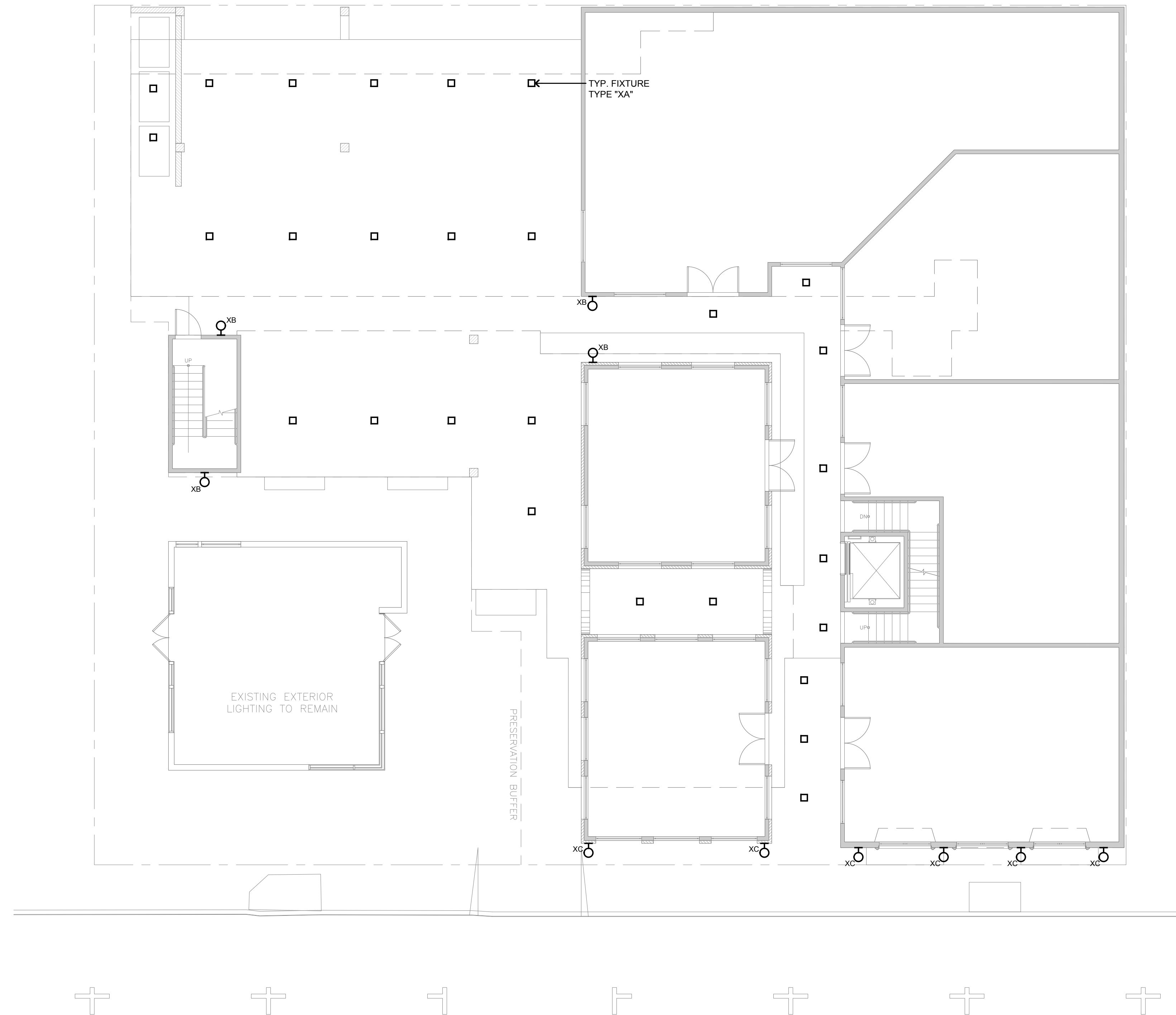
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REVISIONS:

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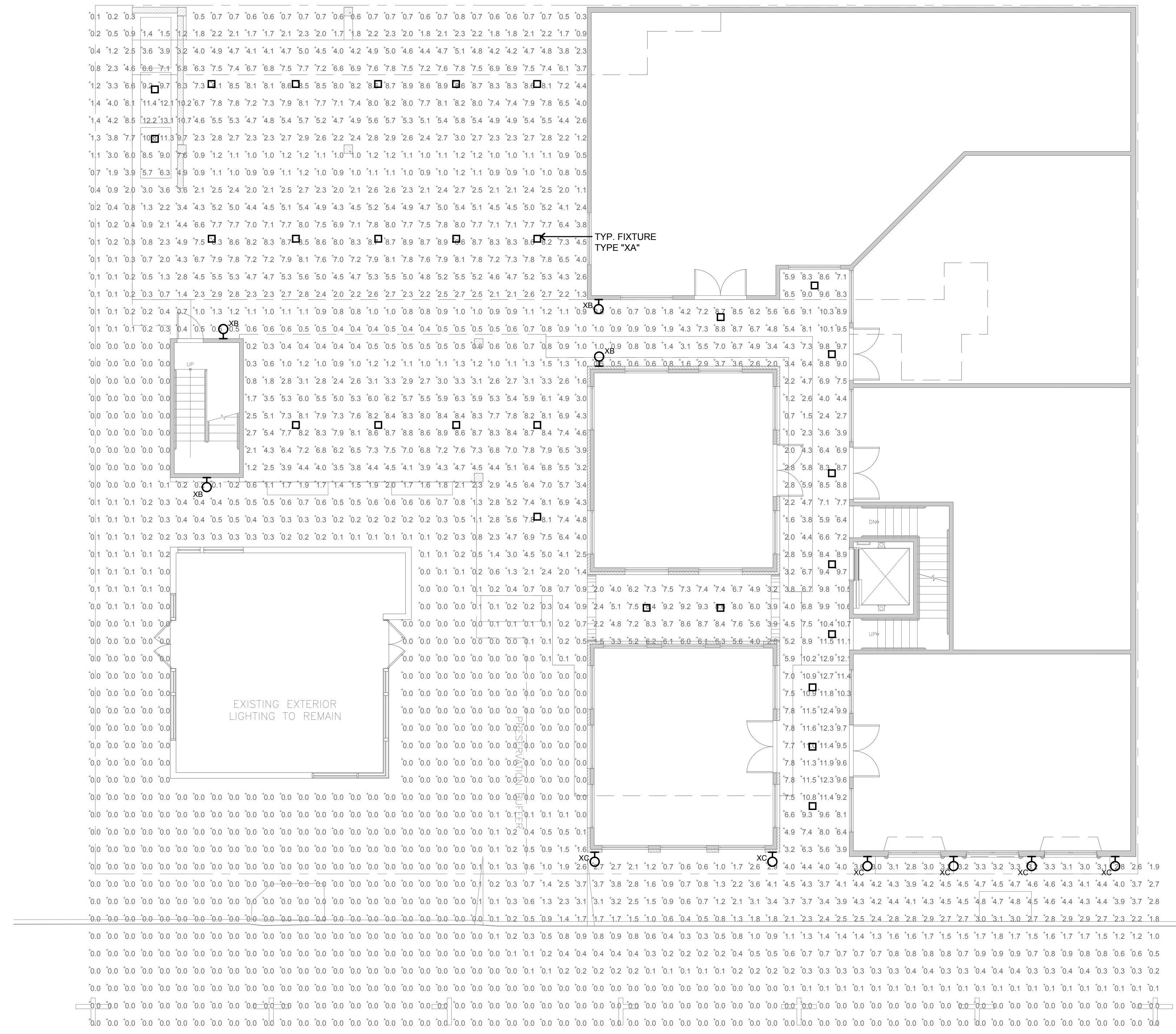
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E5.1



Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
□	XA	28	COOPER LIGHTING SOLUTIONS - HALO (FORMERLY EATON)	HL36A10WFL930ED010T L3RMMW	HL3 10W Round, Wide Flood optic with conical trim, No Lens, Matte White	1	843	0.89	9.5
♀	XB	4	EVERGREEN LIGHTING	POM2211C24-12LED-TBR-HO-EMR-27K	LED LANTERN SCROLL ARM MOUNT UNIT. HONEY ONYX ACRYLIC LENS. OPEN BOTTOM 12 WATTS	1	840	0.89	12
♀	XC	6	EVERGREEN LIGHTING	2100-6LED	ARCHITECTURAL BARCELONA SCONCE WITH FORWARD THROW DISTRIBUTION WITH CLEAR FROSTED ACRYLIC LENS MEETS THE "NIGHTTIME FRIENDLY" CRITERIA	1	600	0.89	6

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.4 fc	13.1 fc	0.0 fc	N/A	N/A



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JB PASTOR BUILDING

PROJECT ADDRESS:
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APN: 010-145-012
 022, & 023

PHOTOMETRIC STUDY

DATE: NOVEMBER 21, 2024
 P.C. SUBMITTAL

- REVISIONS:**
- 1. _____
 - 2. _____
 - 3. _____
 - 4. _____
 - 5. _____
 - 6. _____
 - 7. _____
 - 8. _____
 - 9. _____
 - 10. _____