

# FOUNTAIN - MIXED USE BUILDING

## 8th Avenue, 2 NW of Junipero Carmel by the Sea, California

### GENERAL NOTES

- CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL:** IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND THE ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL NOTICES/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2016 C.B.C.)
- CONSTRUCTION RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- JOB SITE SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION:** THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/ DAMAGES/LOSSES/AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP:** THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- EXISTING CONDITION:** CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS CONDITION AND EXISTING AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- CONSTRUCTION NOTES:** ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES:** BUILDING SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODES/CALIFORNIA RESIDENTIAL CODE, PLUMBING, MECHANICAL, ELECTRICAL, FIRE AND ENERGY CODES.

### OWNERSHIP NOTES

#### OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

### TREE REMOVAL

- REMOVE 2"-6" MULTIPRONG AGACIA TREE @ NORTHWEST CORNER OF THE PROPERTY
- RELOCATE 4" OAK TREE ALONG THE PROPOSED DRIVEWAY ENTRY OF THE PROPERTY TO S/W CORNER IN FRONT OF THE PROPERTY

#### NOTE:

NO NEW LANDSCAPE IS PROPOSED, NATURAL SOIL COVERAGE TO REMAIN.

### PROJECT DATA

ADDRESS: 8th AVENUE, 2 NW of Junipero  
CARMEL BY THE SEA, CA 93921

PROJECT DESCRIPTION: PROPOSED ONE UNIT RESIDENTIAL + COMMERCIAL WITH 4 CAR GARAGE AT BASEMENT.

LOT SIZE: 2,000.0 S.F.

ZONING: RC

A.P.N.: 010-087-020-000

OCCUPANCY GROUP: R2 (FOR RESIDENTIAL) U-1 (FOR GARAGE)  
B (FOR COMMERCIAL)

TYPE OF CONSTRUCTION: ( V-B ) ( FSS )

SETBACK

FRONT — 7.5'

SIDE — AT LEAST 5.0' ALONG AT LEAST 50% OF EACH SIDE PROPERTY LINE

BUILDING HEIGHT — 24.0'

PARKING PROVIDED: 4

#### FLOOR AREA RATIO

ALLOWED 80%	1,600 S.F.
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#### PROPOSED FLOOR AREA RATIO

MAIN FLOOR	840 S.F.
UPPER FLOOR	760 S.F.
TOTAL	1,600 S.F. = 80%

#### BASEMENT FLOOR AREA

(NOT COUNTED TOWARDS FLOOR AREA RATIO)

BASEMENT	1,499 S.F.
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#### CARPIT FLOOR AREA

(NOT COUNTED TOWARDS FLOOR AREA RATIO)

CARPIT	544.5 S.F.
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#### BUILDING COVERAGE

ALLOWED	1,400 S.F. = 70%
PROPOSED	1,333 S.F. = 66.65%

#### OPEN SPACES

COURTYARD PATIO	90 S.F.
COURTYARD ENTRY	45 S.F.
DRIVEWAY PAVERS	124 S.F.
SITE / RETAINING WALLS	68 S.F.
PLANTERS	110 S.F.
TOTAL:	437 S.F.

### PROJECT TEAM

OWNER: THOMAS FOUNTAIN  
1105 WOODLAND AVENUE  
MENLO PARK, CA 94025  
PH: 650-544-8741

ARCHITECT: ERIC MILLER ARCHITECTS, INC.  
211 HOFFMAN AVENUE  
MONTEREY, CA 93940  
PH: 831-372-0410  
CONTACT: LUYEN VU

CIVIL: LANDSET ENGINEERING  
520-B CRAZY HORSE CANYON ROAD  
SALINAS, CA 93907  
PH: 831-443-6970

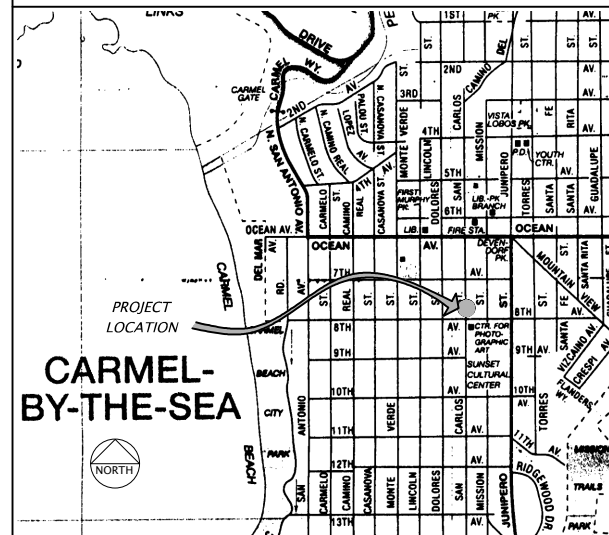
ARCHAEOLOGIST: ARCHAEOLOGICAL CONSULTING  
P.O. BOX 3371  
SALINAS, CA 93912  
PH: 831-422-4412  
CONTACT: GARY S. BRESCHINI

### SHEET INDEX

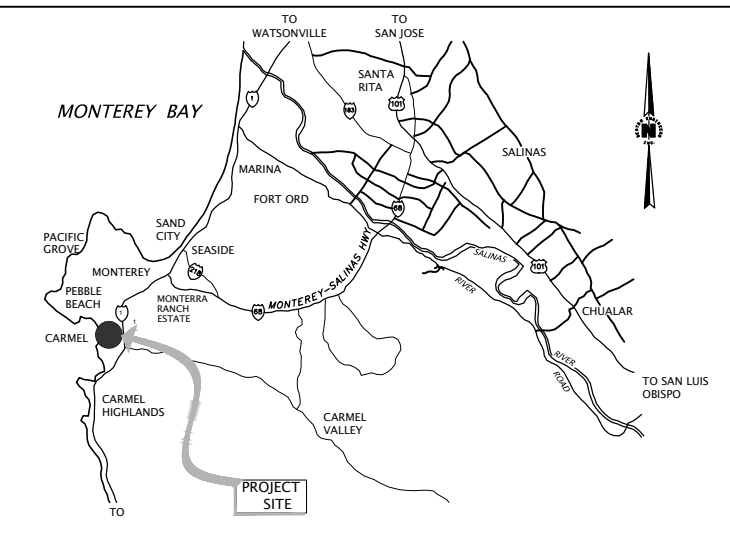
#### ARCHITECTURAL

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### VICINITY MAP



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PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

COVER SHEET

JOB NAME: Fountain - Mixed Use Building  
8th Avenue, 2 NW of Junipero  
Carmel By The Sea, CA  
A.P.N. : 010-087 020-000

DATE: 10/18/22

SCALE: N.T.S.

DRAWN: DM

JOB NUMBER: 15.26

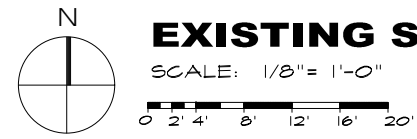
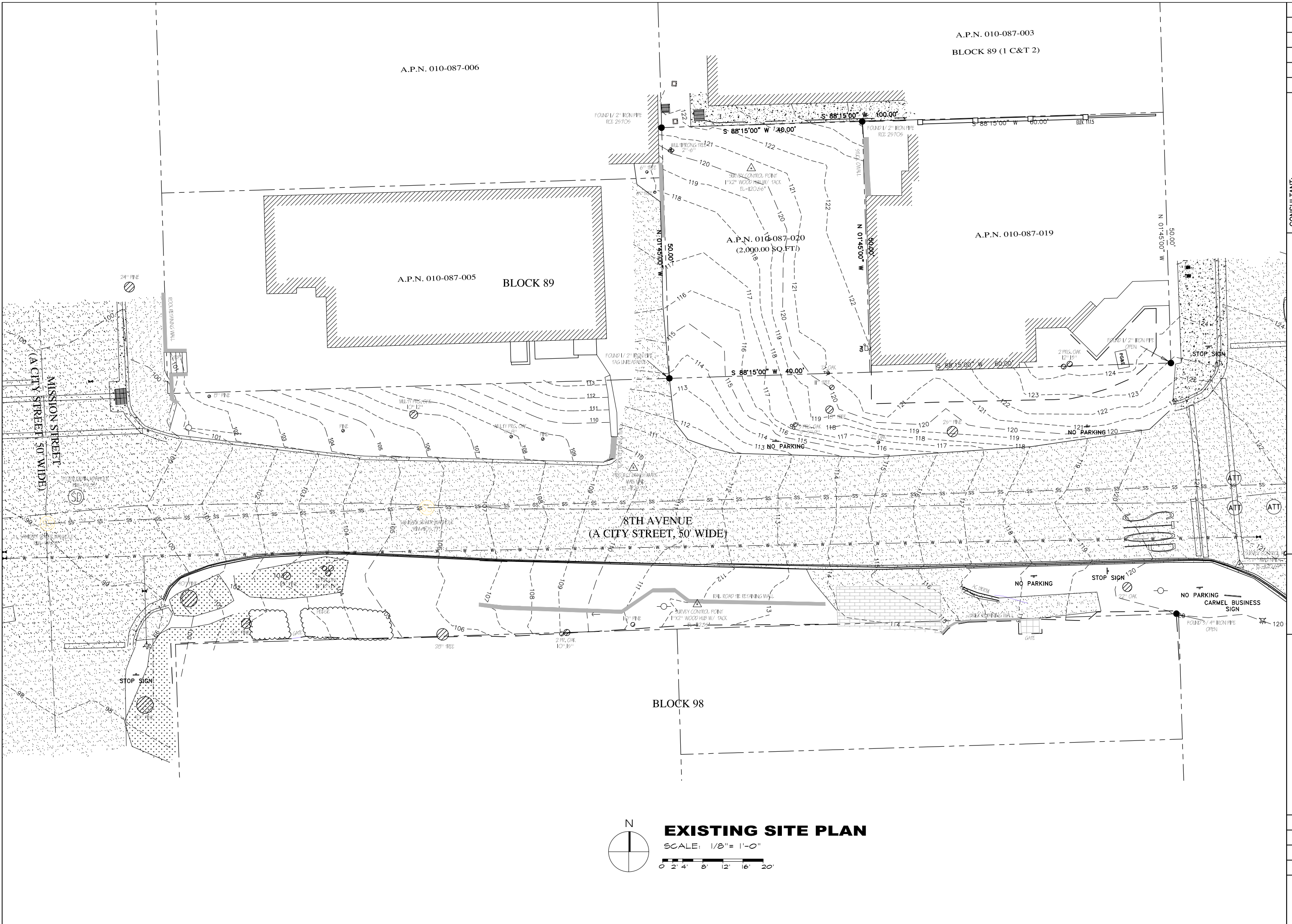
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**EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"

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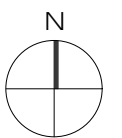
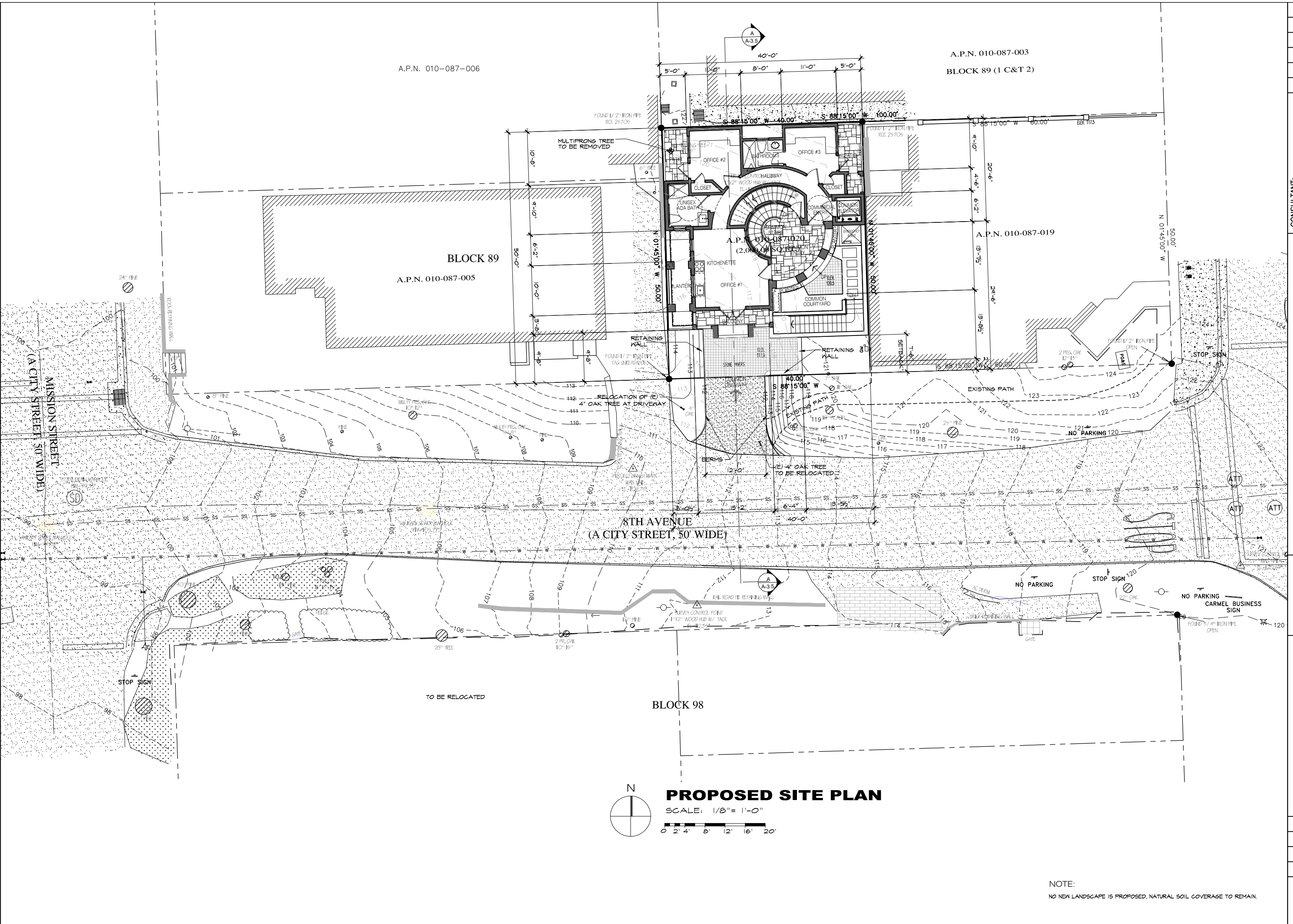
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**PROPOSED SITE PLAN**

SCALE: 1/8" = 1'-0"

NOTE:  
NO NEW LANDSCAPE IS PROPOSED, NATURAL SOIL COVERAGE TO REMAIN.

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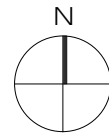
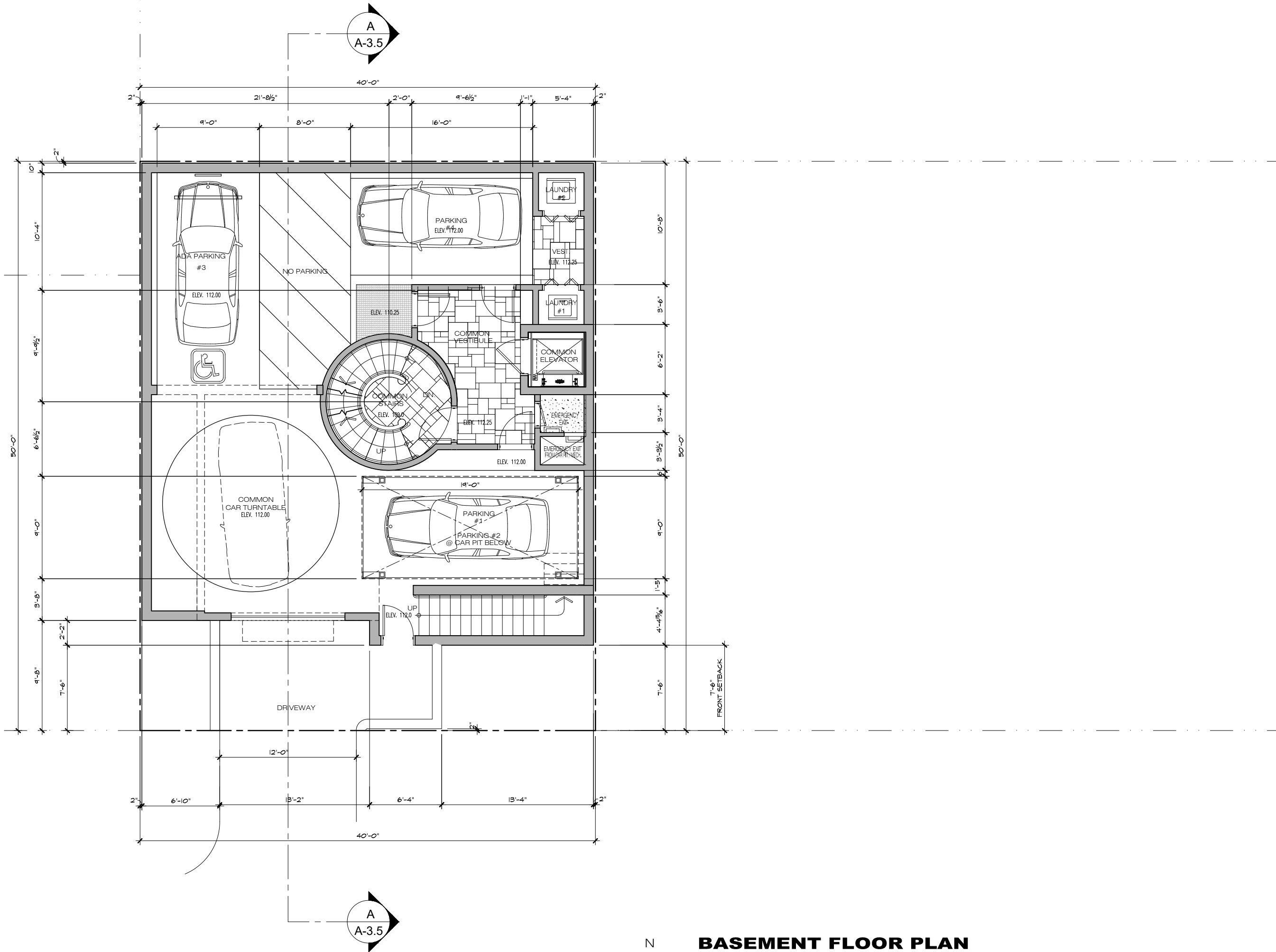
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**BASEMENT FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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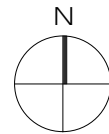
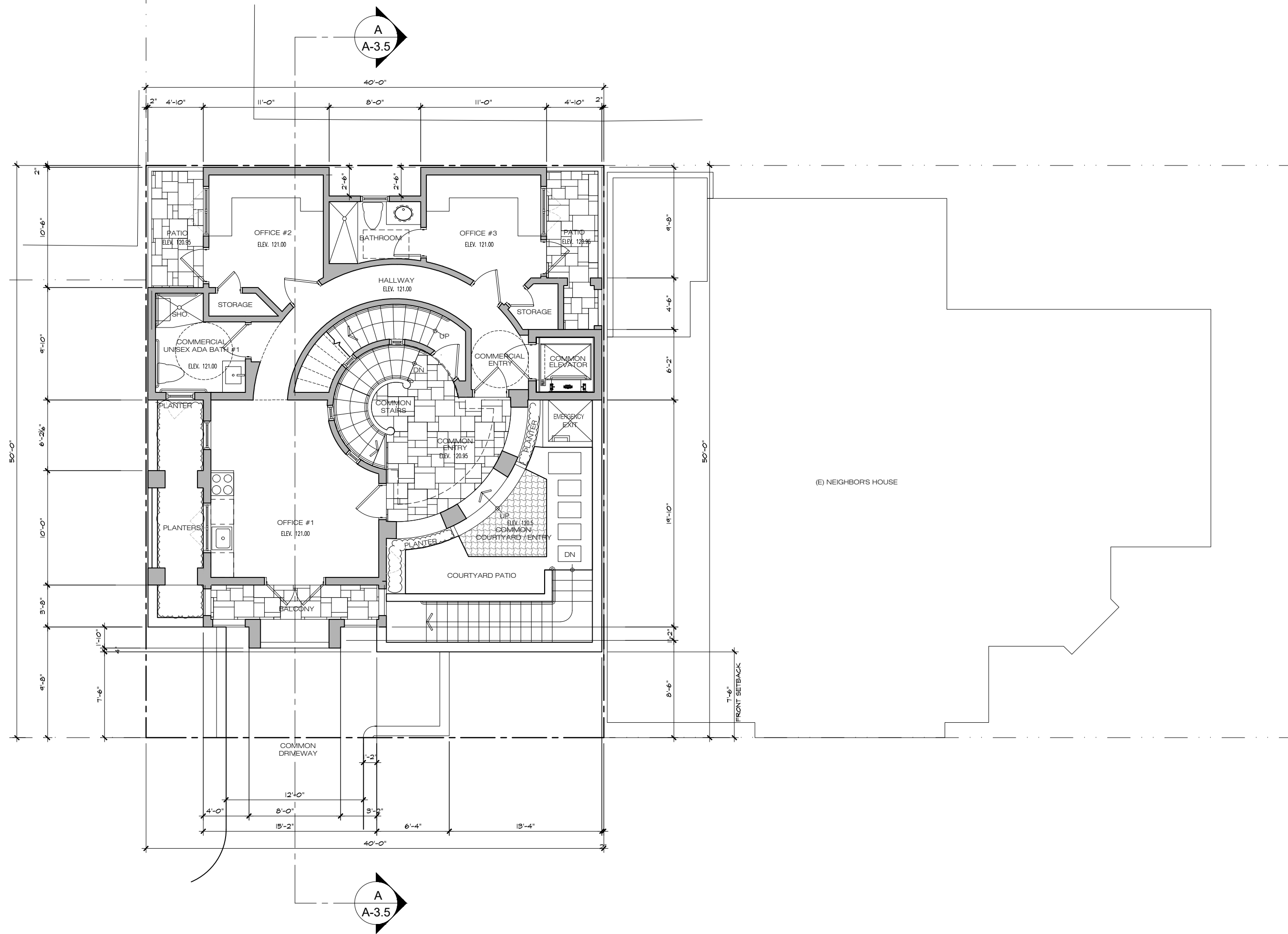
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**MAIN FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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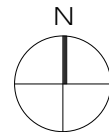
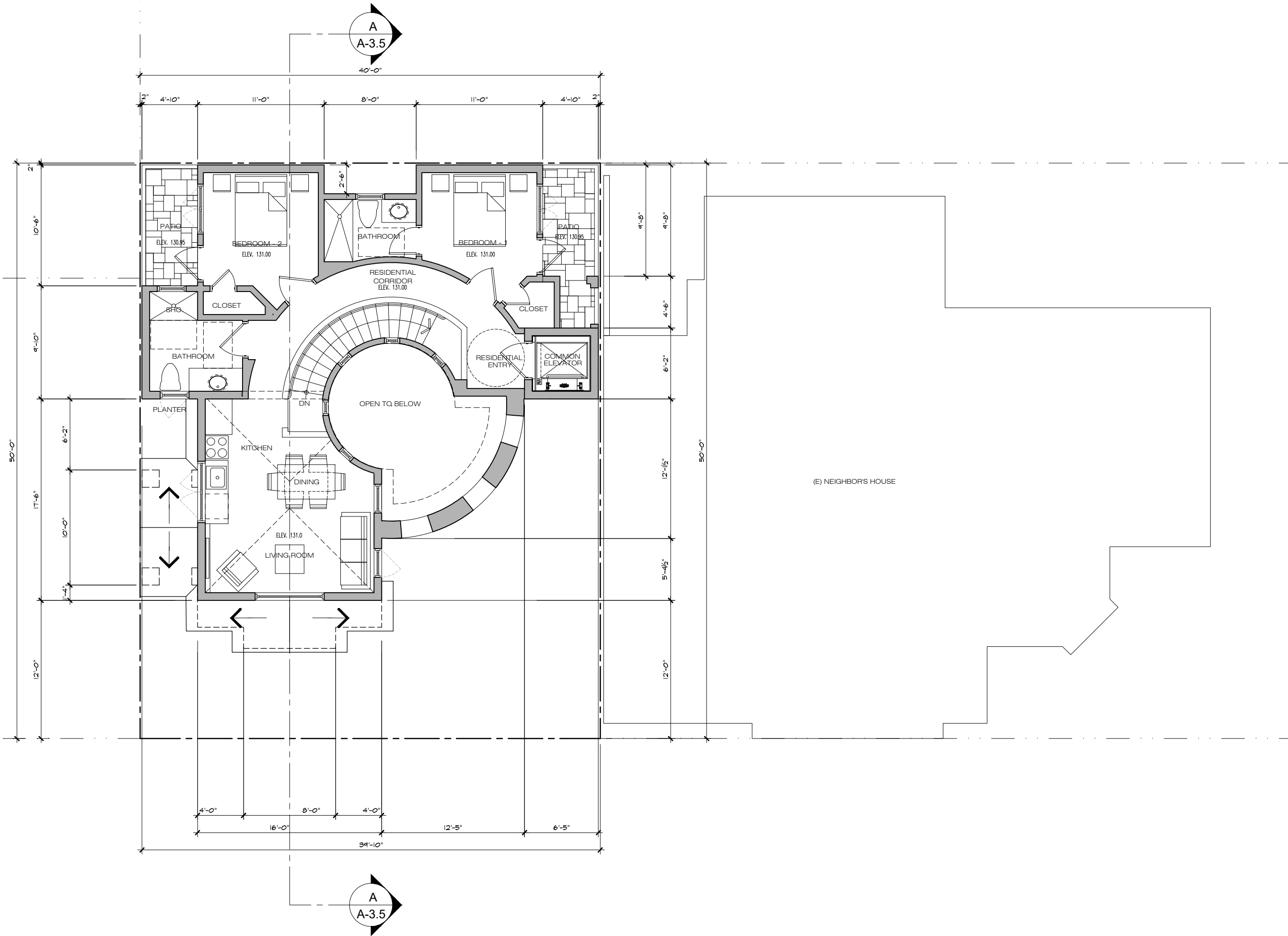
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**UPPER FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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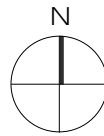
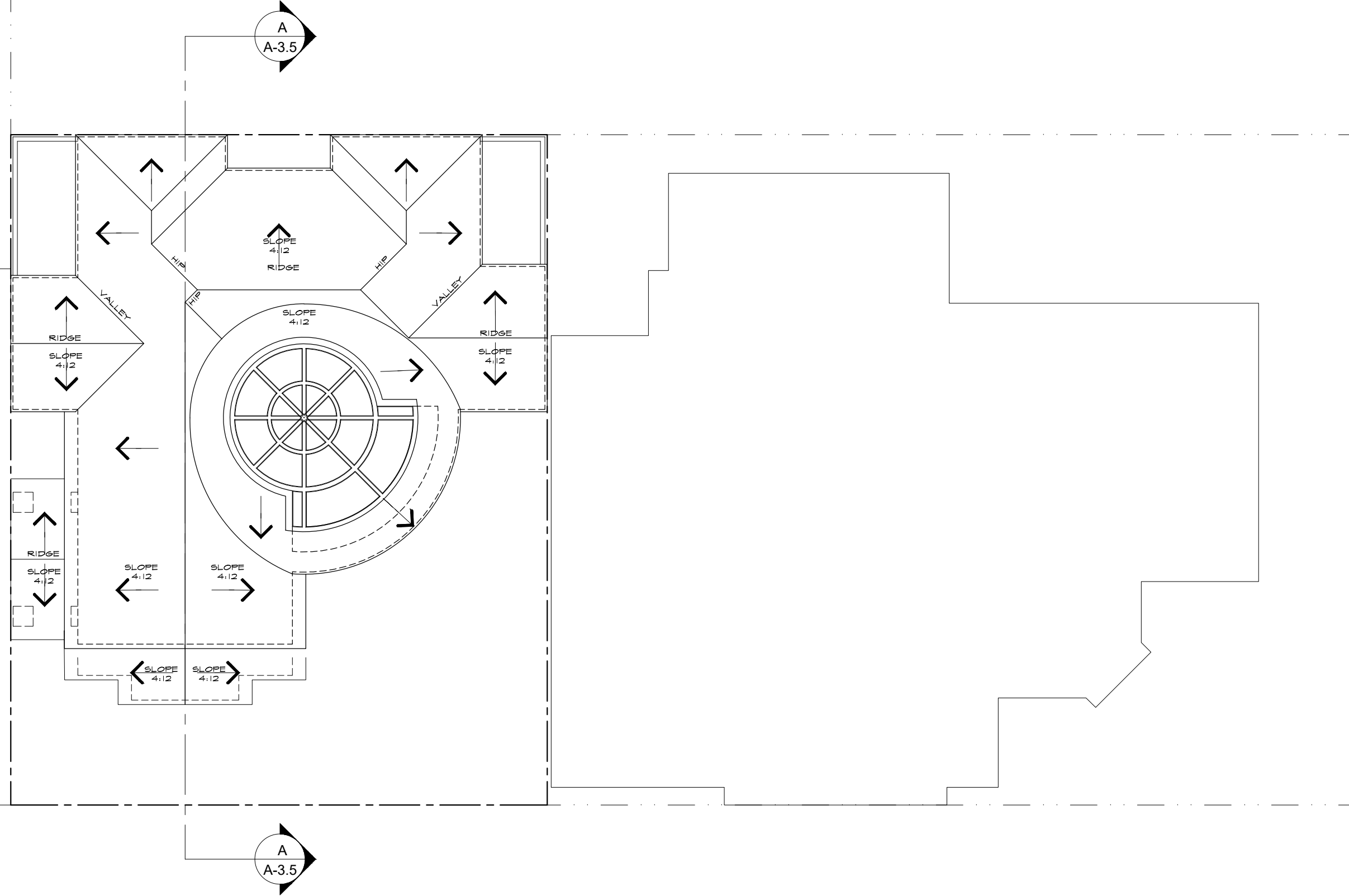
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**ROOF PLAN**

SCALE: 1/4" = 1'-0"



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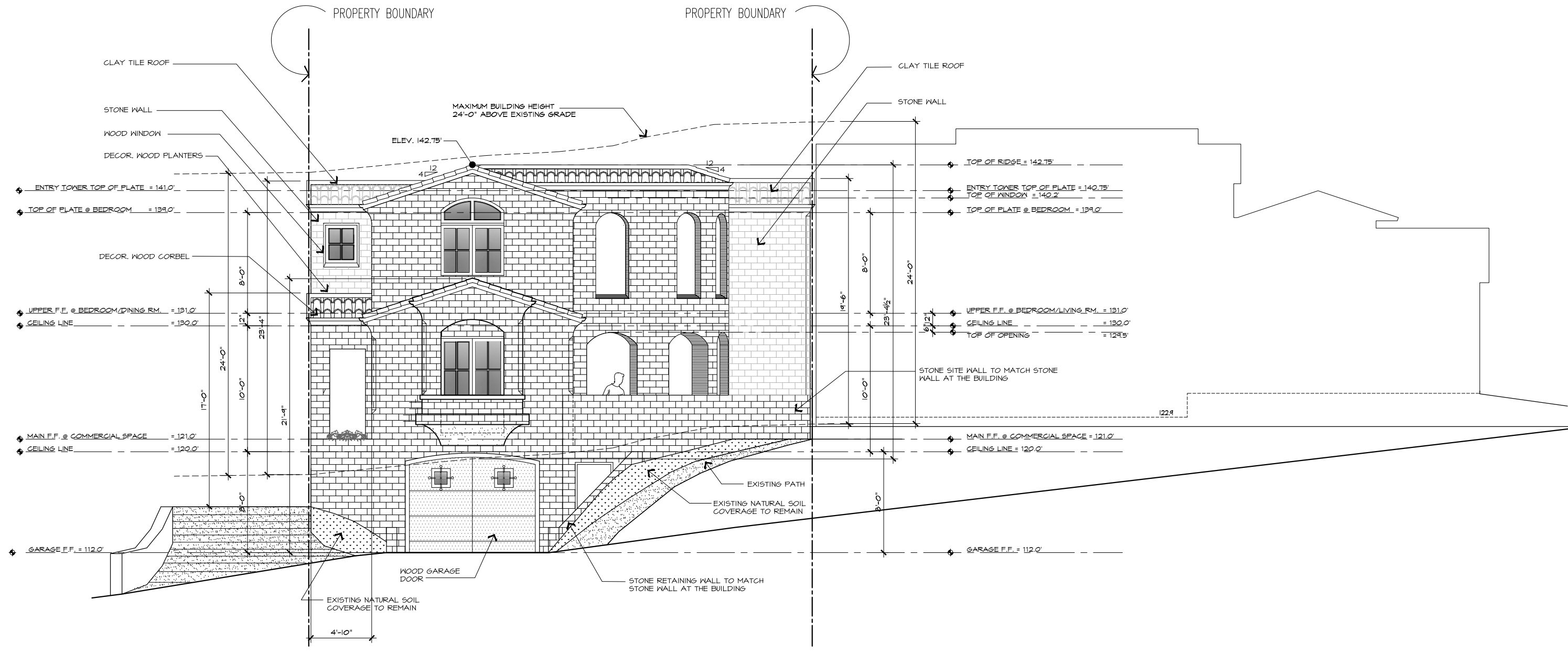
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**SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"  
 0 2' 4' 8' 12' 16' 20'

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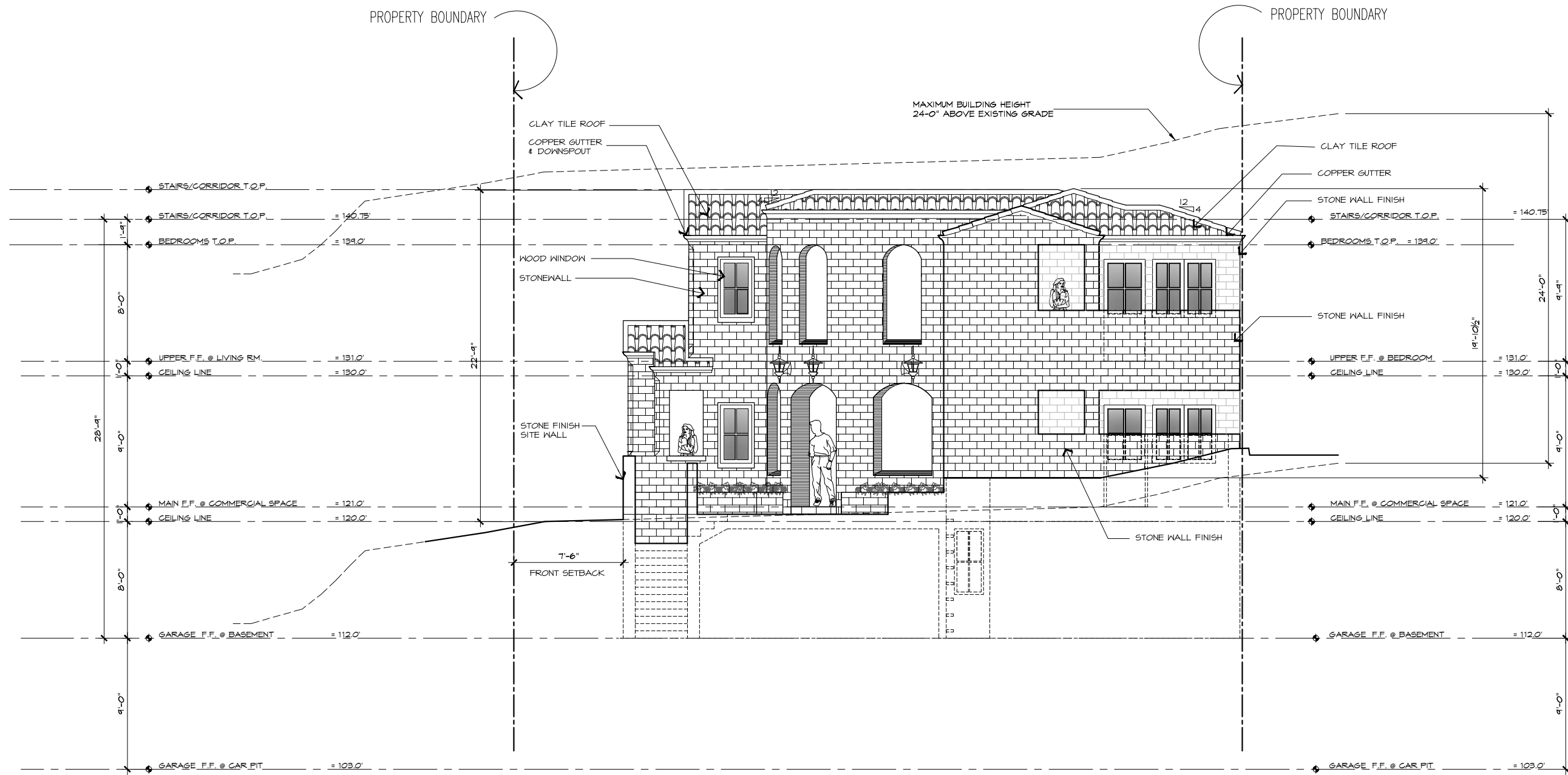
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**SOUTH ELEVATION**  
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**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



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**EAST ELEVATION**  
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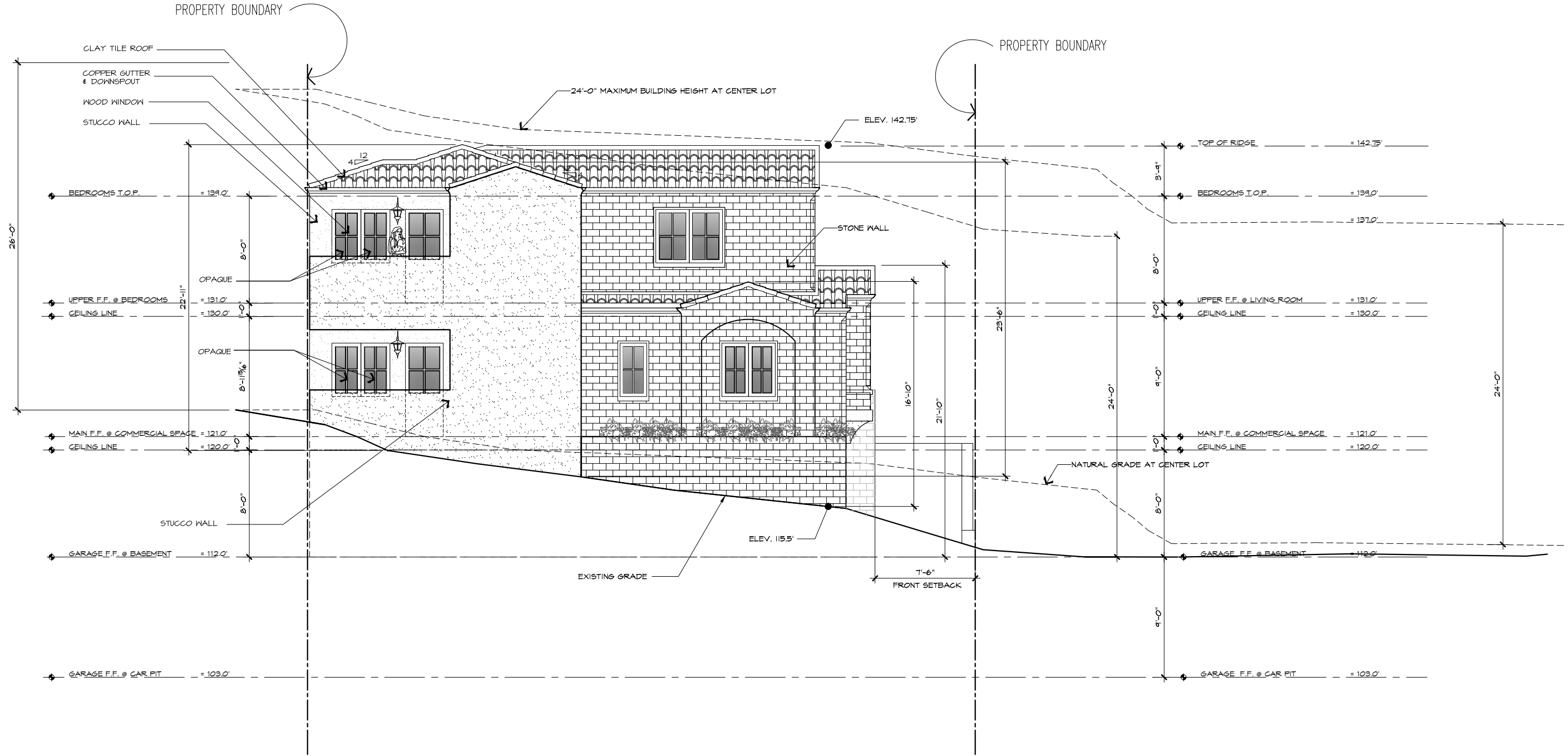
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DRAWN: DM

JOB NUMBER: 1526

**A-3.2**

SHEET OF



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



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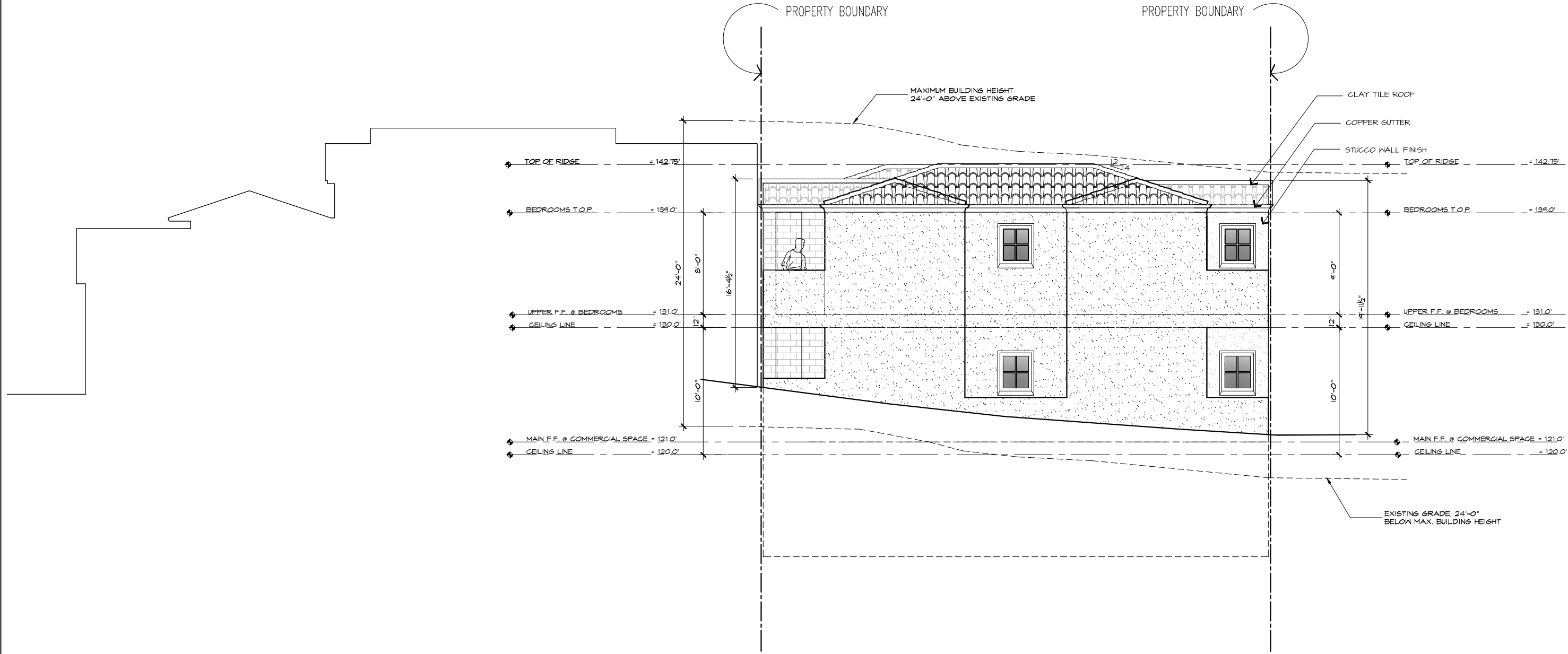
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**WEST ELEVATION**  
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 SCALE: 1/4" = 1'-0"  
 DRAWN: DM  
 JOB NUMBER: 1526

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### NORTH ELEVATION

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

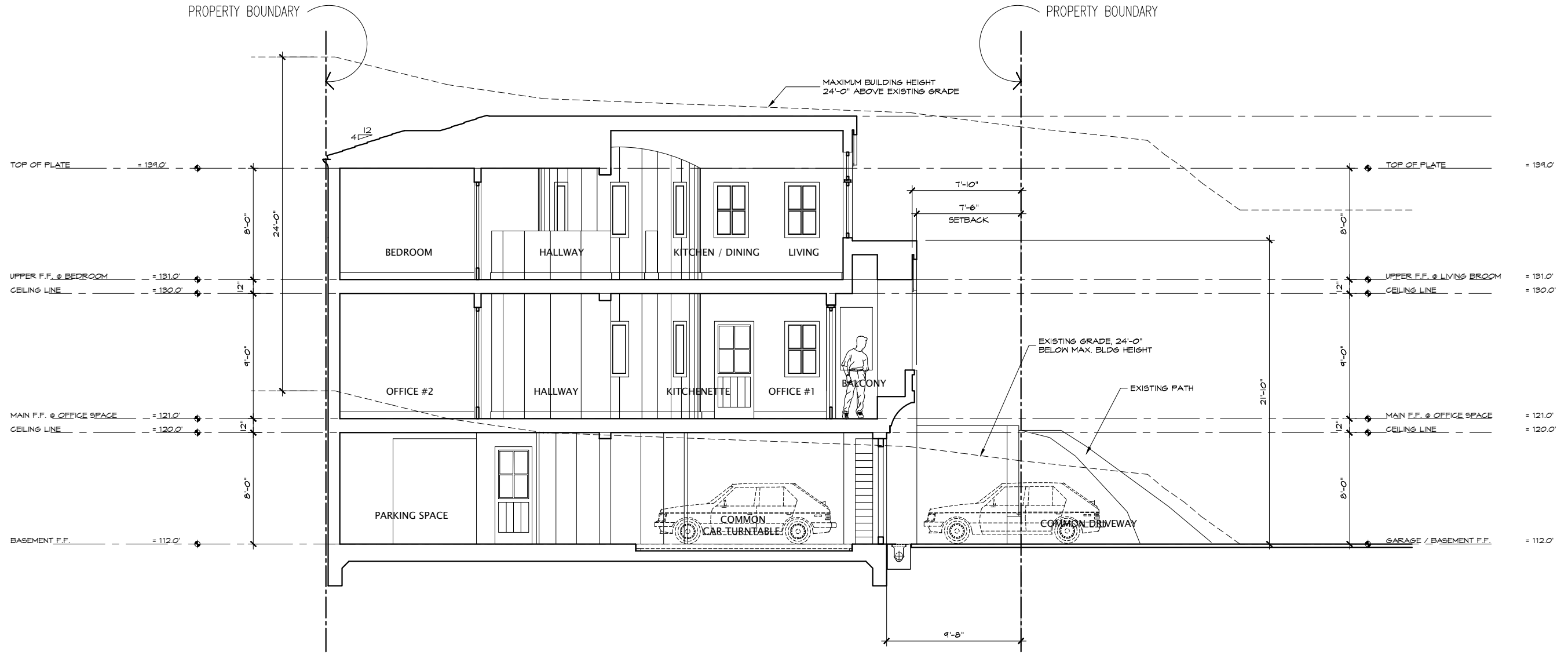
ARCHITECT  
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ARCHITECT

**NORTH ELEVATION**  
 JOB NAME: Fountain - Mixed Use Building  
 8th Avenue, 2 NW of Junipero  
 Carmel By The Sea, CA  
 A.P.N. : 010-087 020-000

DATE: 10/18/22  
 SCALE: 1/4"=1'-0"  
 DRAWN: DM  
 JOB NUMBER: 1526

**A-3.4**  
 SHEET OF



**BUILDING SECTION 'A' - 'A'**

SCALE: 1/4" = 1'-0"



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**BUILDING SECTION**  
 JOB NAME: Fountain - Mixed Use Building  
 8th Avenue, 2 NW of Junipero  
 Carmel By The Sea, CA  
 A.P.N. : 010-087 020-000

DATE: 10/10/22  
 SCALE: 1/4"=1'-0"  
 DRAWN: DM  
 JOB NUMBER: 15.26

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**STREET ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 0 4' 8' 12' 16' 24' 32' 40'

REVISION	No.

CONSULTANT:

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STREET ELEVATION  
 JOB NAME: Fountain - Mixed Use Building  
 8th Avenue, 2 NW of Junipero  
 Carmel By The Sea, CA  
 A.P.N. : 010-087 020-000

DATE: 10/18/22  
 SCALE: 1/8" = 1'-0"  
 DRAWN: DM  
 JOB NUMBER: 15.26

**A-5.1**  
 SHEET OF





REVISION	No.

CONSULTANT:

ARCHITECT  
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**3D RENDERING**  
 JOB NAME: **Fountain - Mixed Use Building**  
 8th Avenue, 2 NW of Junipero  
 Carmel By The Sea, CA  
 A.P.N. : 010-087 020-000

DATE: 10/18/22  
 SCALE: 1/8"=1'-0"  
 DRAWN: DM  
 JOB NUMBER: 15.26

**A-5.2**  
 SHEET OF



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**FXLuminaire**

LED Wall Lights

The design of the FX Luminaire gives the illumination with comfort and safety in mind. The LED technology design offers different exterior styling and light outputs to match the exact look and function required. The FX is available in four unique profiles for maximum design flexibility.

**PO: Wall Lights**

NUMBER OF LEDS	1
MAXIMUM LUMEN OUTPUT EQUIVALENT	10 Watt
USPDLF LED LIFE (L70)	50,000 hrs avg.
WIRELESS RANGE	100-200'
1/4" TROUBLE SHOOTER (See the back of the luminaire)	2.4
WATTS USED	2.0
LUMENS PER WATT EFFICIENCY (Based on PO-01)	20
MAX LUMENS (Based on PO-01)	20
LED BEAM (Based on PO-01)	60.2

FIG. 244.010

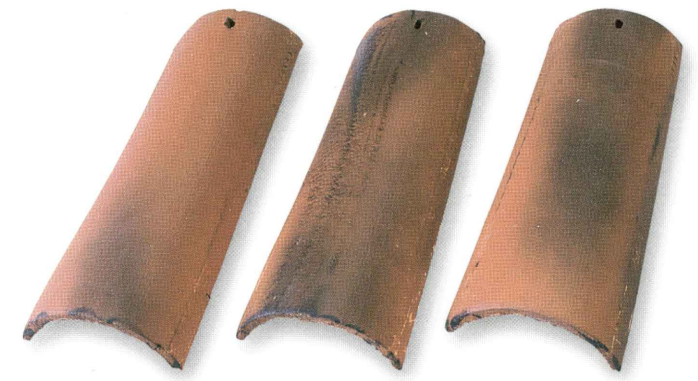
10 SITE WALL LIGHT



7 COPPER GUTTER & DOWNSPOUT



4 WINDOW SAMPLE



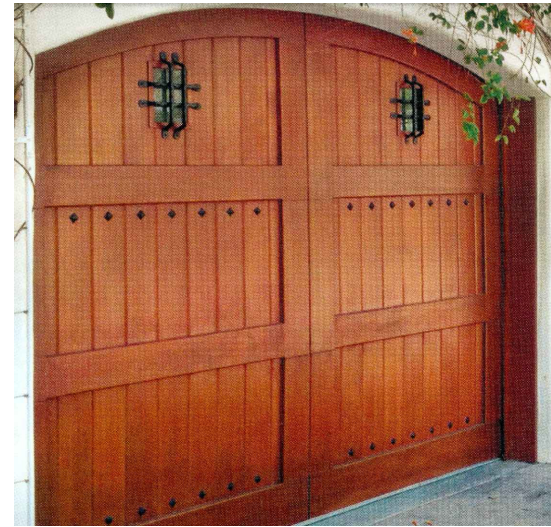
1 ROOF TILE SAMPLE



11 DRAIN COVER



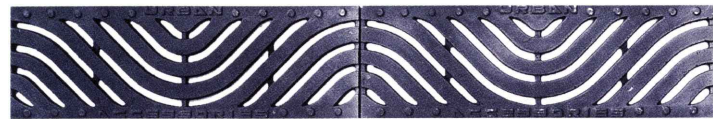
8 EXTERIOR WALL LIGHT



5 WOOD GARAGE DOOR



2 STUCCO SAMPLE



12 TRENCH & AREA DRAIN

**FLUSH MOUNT MINI DRIVESTAR™ I**

With the Flush Mount Mini Drivestar™, S-Lighting has streamlined the concept of recessed landscape lighting to perfection. Always keep Drivestar™ in mind for any situations from urban plaza spaces to high-end residential use!

MiniStar™ Series, The S-L Group, BGL Spring 2013

FIG. 244.010

9 COURTYARD PATH LIGHT



6 INTERLOCKING PAVERS



3 STONE WALL SAMPLE

REVISION	No.

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 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

MATERIAL COLOR SAMPLE

JOB NAME: Fountain - Mixed Use Building  
 8th Avenue, 2 NW of Junipero  
 Carmel By The Sea, CA  
 A.P.N. : 010-087 020-000

DATE: 10/18/22  
 SCALE: N.T.S.  
 DRAWN: DM  
 JOB NUMBER: 15.26

A-7.1 SHEET OF