

3rd NW 7th on Dolores Carmel, CA



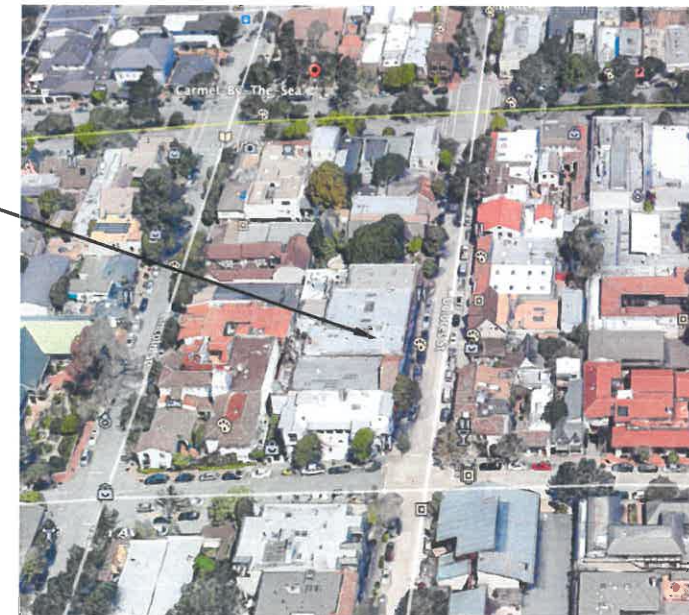
PROJECT DATA

PROPERTY OWNER:	BROSCHÉ BUILDING LLC PO BOX 1765 PEBBLE BEACH, CA 93953	LOT SIZE:	3,470 SQ FT																
PROJECT ADDRESS:	3RD NW 7TH ON DOLORES CARMEL, CA 93923 BLOCK 75 LOT 17	FLOOR AREA EXISTING:	<table border="1"> <tr><td>MAIN FLOOR</td><td>commercial</td><td>2,775</td><td>SQ FT</td></tr> <tr><td>LOWER FLOOR</td><td>storage and mechanical</td><td>2,462</td><td>SQ FT</td></tr> <tr><td>UPPER FLOOR</td><td>residential</td><td>2,399</td><td>SQ FT</td></tr> <tr><td>TOTAL</td><td></td><td>7,636</td><td>SQ FT</td></tr> </table>	MAIN FLOOR	commercial	2,775	SQ FT	LOWER FLOOR	storage and mechanical	2,462	SQ FT	UPPER FLOOR	residential	2,399	SQ FT	TOTAL		7,636	SQ FT
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UPPER FLOOR	residential	2,399	SQ FT																
TOTAL		7,636	SQ FT																
APPLICANT:	STOCKER & ALLAIRE, INC. 21B MANDEVILLE CT. MONTEREY, CA 93940 PH: (831) 375-1890	FLOOR AREA PROPOSED:	<table border="1"> <tr><td>MAIN FLOOR</td><td>commercial</td><td>2,775</td><td>SQ FT</td></tr> <tr><td>LOWER FLOOR</td><td>storage and mechanical</td><td>2,462</td><td>SQ FT</td></tr> <tr><td>UPPER FLOOR</td><td>residential</td><td>2,399</td><td>SQ FT</td></tr> <tr><td>TOTAL</td><td></td><td>7,636</td><td>SQ FT</td></tr> </table>	MAIN FLOOR	commercial	2,775	SQ FT	LOWER FLOOR	storage and mechanical	2,462	SQ FT	UPPER FLOOR	residential	2,399	SQ FT	TOTAL		7,636	SQ FT
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A.P.#:	010-147-005-000																		
ZONING:	CC																		
FIRESPRINKLERS:	NO																		
FIREALARM:	YES																		
		UPPER LEVEL DECK	710 SQ FT																
		TOTAL	7,636 SQ FT																
		UPPER LEVEL DECK	710 SQ FT																
		NO CHANGE																	

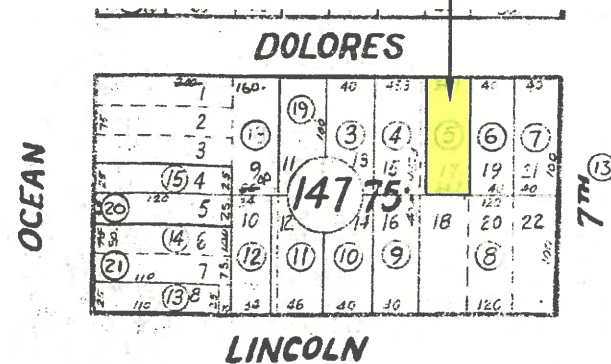
PROJECT DESCRIPTION

RECONFIGURE EXISTING UPPER FLOOR DECK REMOVING WOODEN RAISED SECTION, AND THEN DO LIGHT REMODEL ON THE UPPER FLOOR MAKING TWO RESIDENTIAL UNITS. LOWER TWO FLOORS WORK DONE UNDER SEPARATE EXISTING PERMIT. FIRE ESCAPE OF FRONT UNIT AND ASSOCIATED FRENCH DOORS TO BE REMOVED AND REPLACED WITH TWO DOUBLE HUNG WINDOWS TO MATCH EXISTING. AT REAR DECK THE NEW DOORS AND WINDOWS TO BE COMMERCIAL GRADE ALUMINUM.

VICINITY MAP



LOCATION



RECEIVED

AUG 16 2019

City of Carmel-by-the-Sea
Planning & Building Dept.

DRAWINGS

COVER SHEET	CS 0.0
ROOF AND SITE PLAN	S 1.0
EXISTING FLOOR PLANS MAIN AND LOWER	FP 1.0
EXISTING AND PROPOSED UPPER LEVEL	FP 2.0
ELEVATIONS EXISTING AND PROPOSED SOUTH SIDE	EL 1.0
ELEVATIONS EXISTING AND PROPOSED NORTH SIDE	EL 2.0
ELEVATIONS EXISTING AND PROPOSED EAST AND WEST SIDE	EL 3.0
PERSPECTIVE OF DECK AND KITCHEN ADDITION UPPER LEVEL	PER 1.0

Stocker & Allaire
General Contractors, Inc.
Lic. # 504797

831.375.1890 Fax 831.375.1480

21 Mandeville Court Monterey, CA 93940

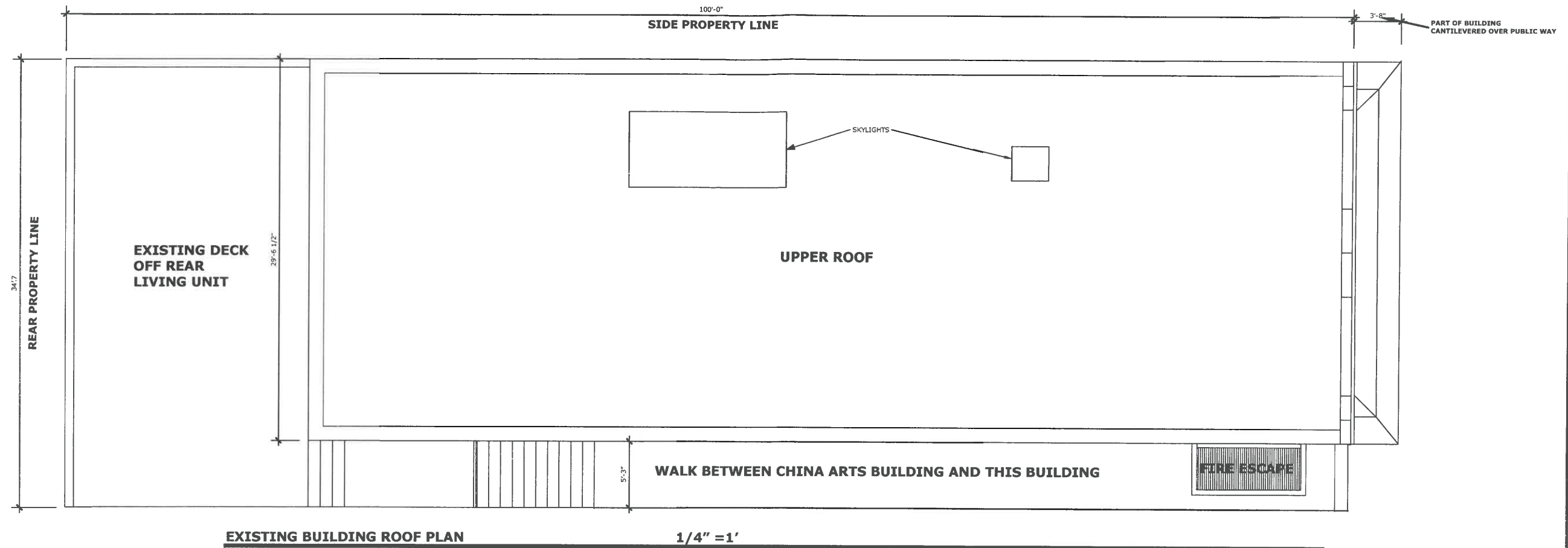
3RD NW 7TH ON DOLORES
CARMEL, CA. 93921

AUGUST 2019 APN: 010-147-005-000

3RD NW 7TH ON DOLORES
Cover Sheet and Project Data

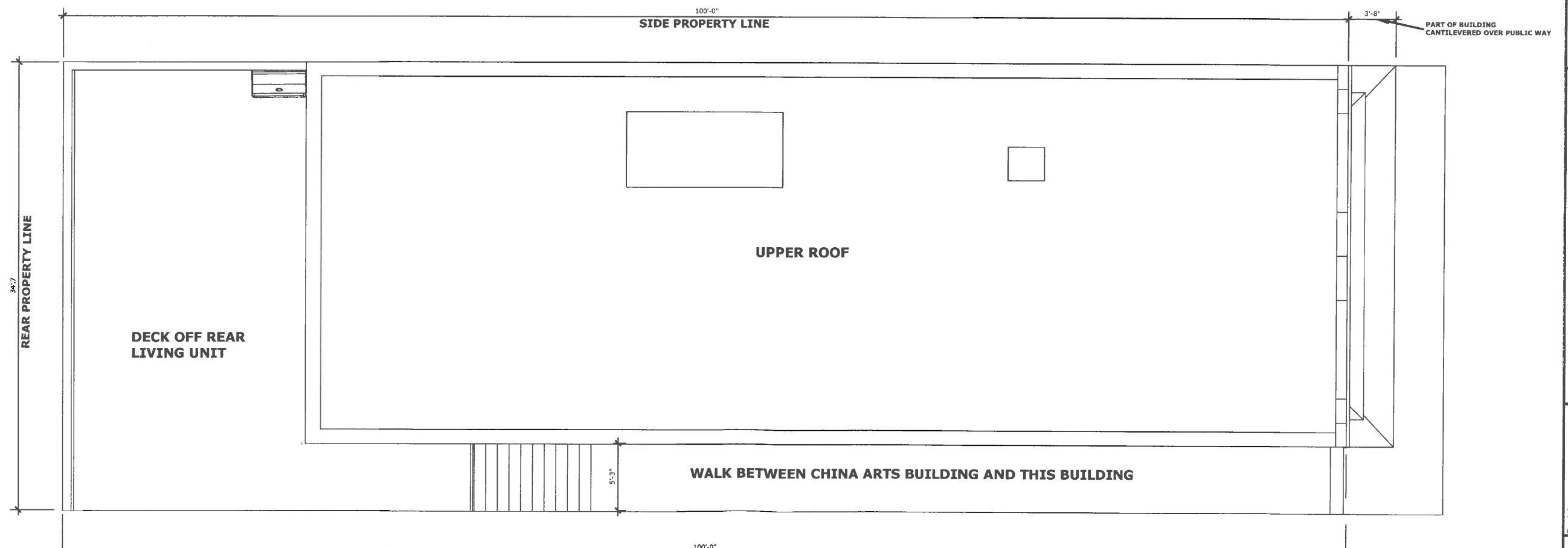
Revisions:

CS 0.0



EXISTING BUILDING ROOF PLAN

1/4" = 1'



PROPOSED BUILDING ROOF PLAN

1/4" = 1'

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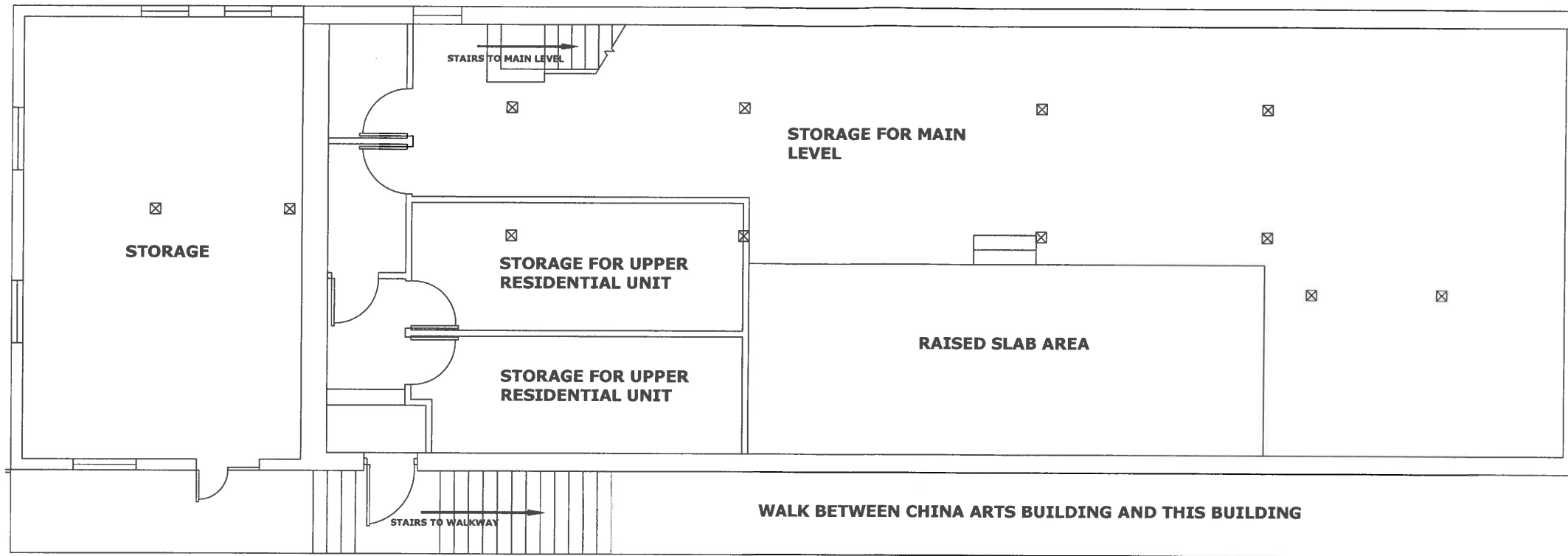
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3RD NW 7TH ON DOLORES
 SITE PLAN / ROOF PLAN

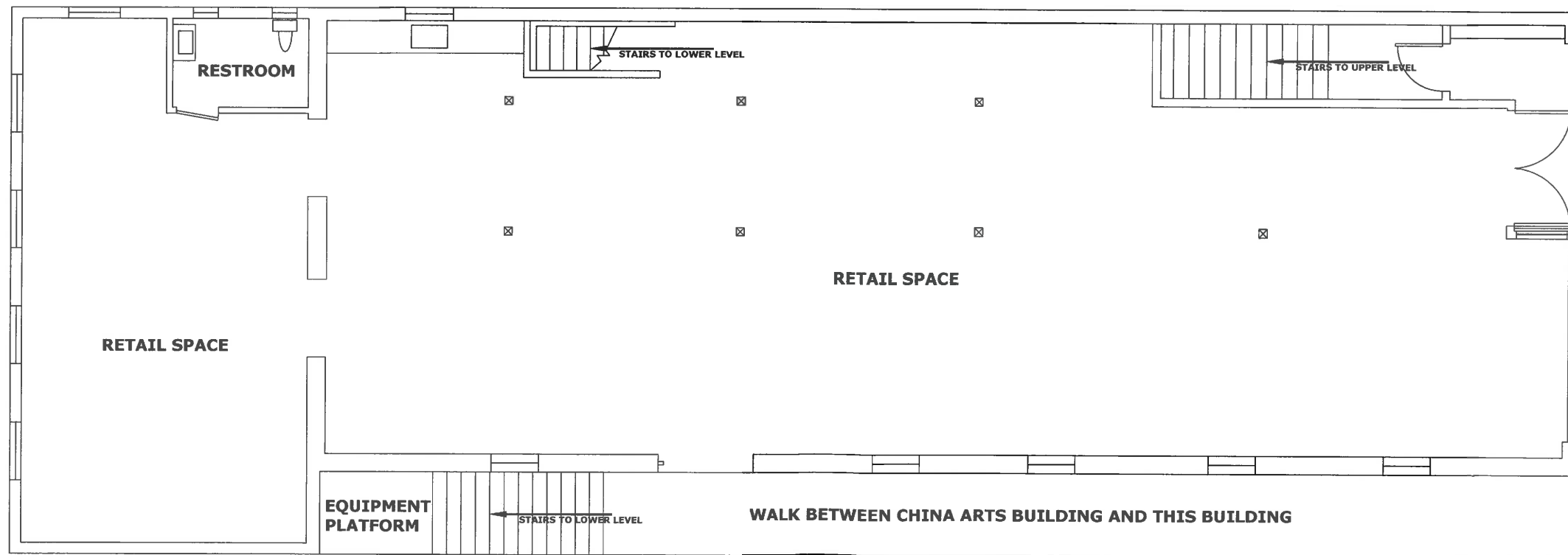
Revisions:

S 1.0



LOWER FLOOR PLAN - NO CHANGES THIS LEVEL

1/4" = 1'



MAIN FLOOR PLAN - NO CHANGES THIS LEVEL

1/4" = 1'

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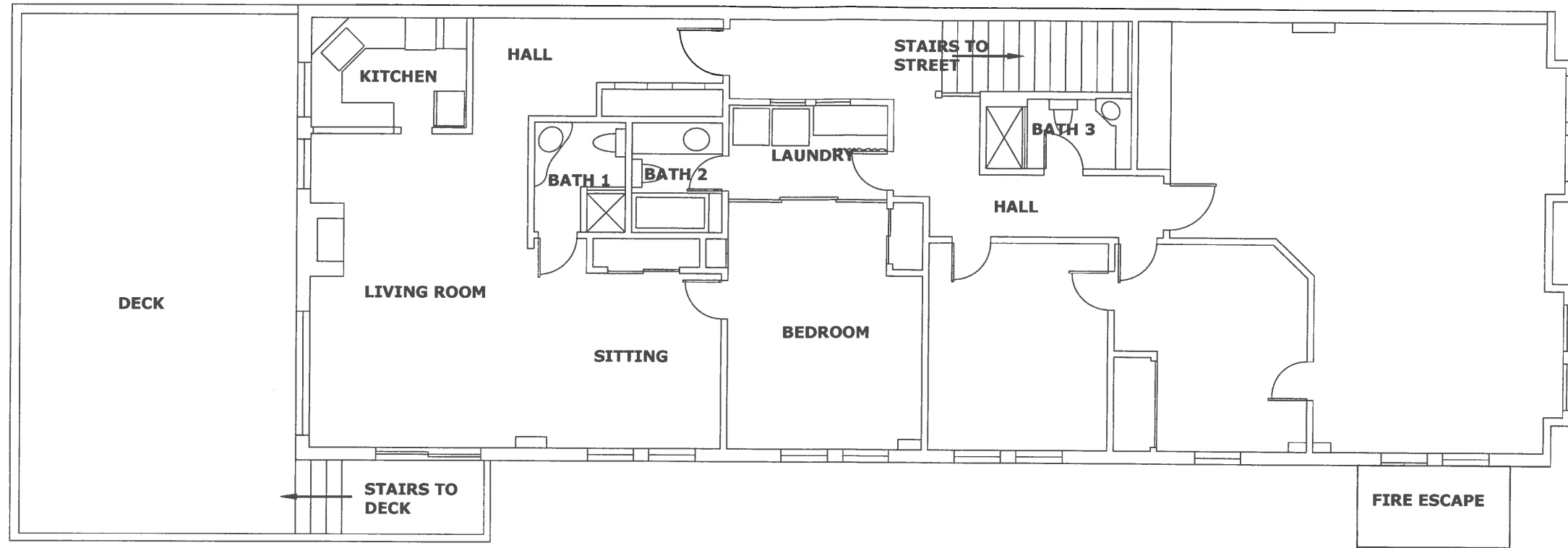
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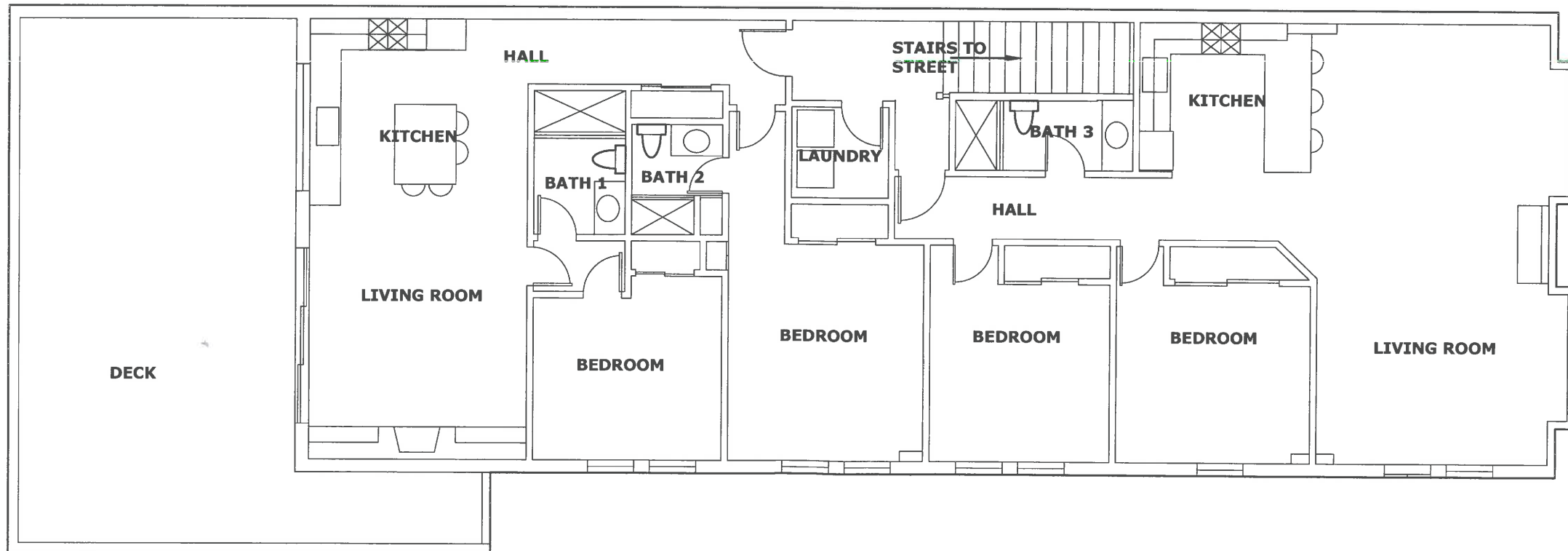
EXISTING FLOOR PLANS
 MAIN AND LOWER

Revisions:

FP 1.0



EXISTING UPPER FLOOR PLAN 1/4" = 1'



PROPOSED UPPER FLOOR PLAN 1/4" = 1'

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 Lic. # 504757

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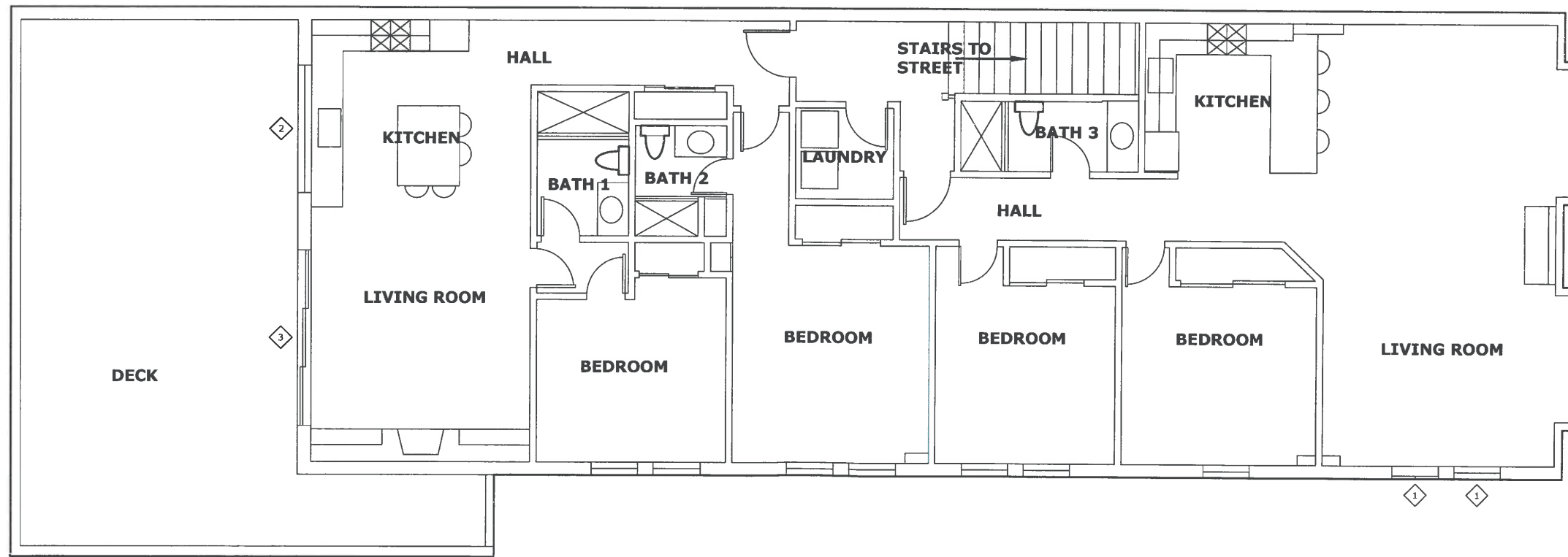
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 CARMEL, CA. 93921

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EXISTING UPPER FLOOR PLANS
PROPOSED UPPER FLOOR PLAN

Revisions:

FP 2.0



PROPOSED UPPER FLOOR PLAN

1/4" = 1'

Mitchell & Brosche Building					
Dolores Street Carmel, CA					
Stocker & Allaire					
8/5/19					
ITEM	DESCRIPTION				
Mitchell & Brosche Material					
Second floor new windows					
line	location	DESCRIPTION	SUPPLIER	SIZE	
④	2	SE front living room	Double hung wood paint grade match existing	Sierra Pacific wood window	3-0 x 4' 8"
②	1	W wall facing back deck	2-0 casement x 3' 10" fixed x 2-0 casement	Blomberg window systems Aluminum	7' 10" x 4-0
③	1	W wall facing back deck	3 panel sliding door	Blomberg window systems Aluminum	11' 9" x 6' 8"

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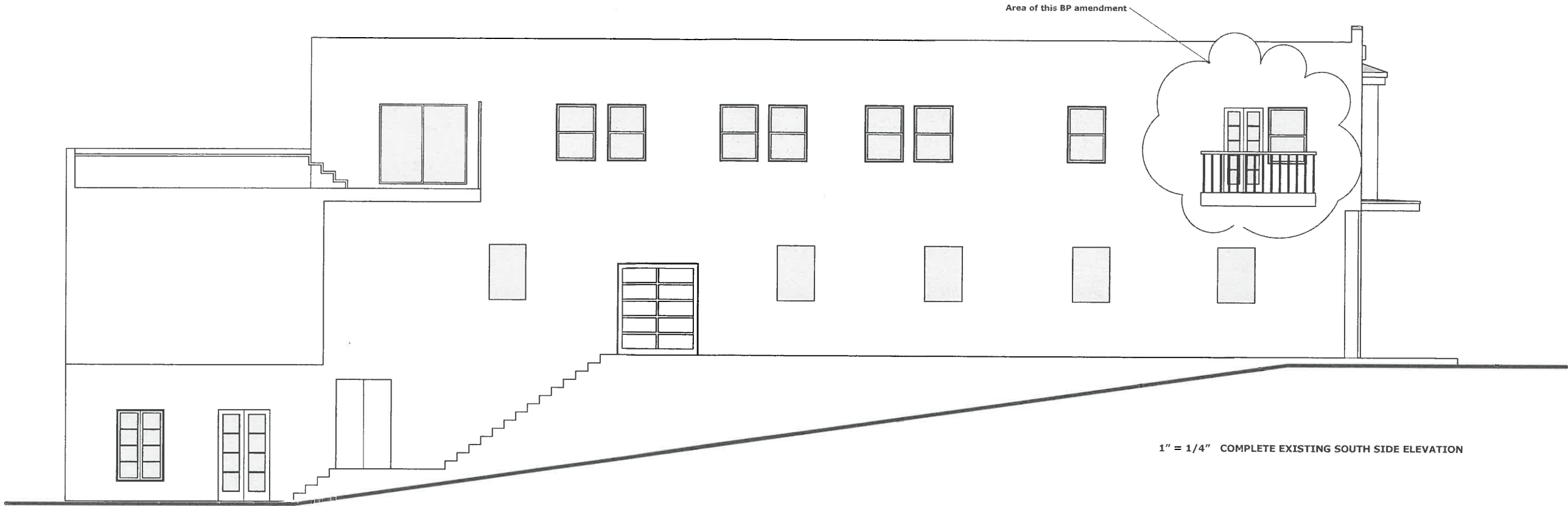
AUGUST 2019 APN: 010-147-005-000

DOOR & WINDOW
 SCHEDULE

Revisions:

DW 1.0

AMENDMENT TO BP# 190031 BROSCHE BUILDING CARMEL, CA DOLORES 3 NW OF 7TH
 REMOVE EXISTING FIRE ESCAPE, FRENCH DOORS, AND WINDOW ALONG SIDE THAT IS IN
 POOR CONDITION. REPLACE WITH WINDOWS TO MATCH NEW WINDOWS IN FRONT BAYS
 OF BUILDING.

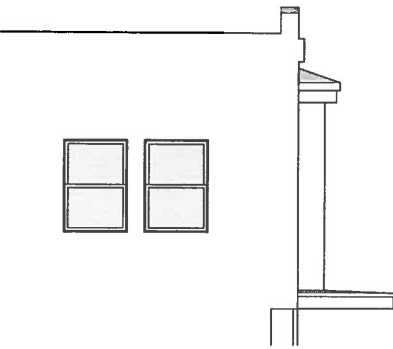


Area of this BP amendment

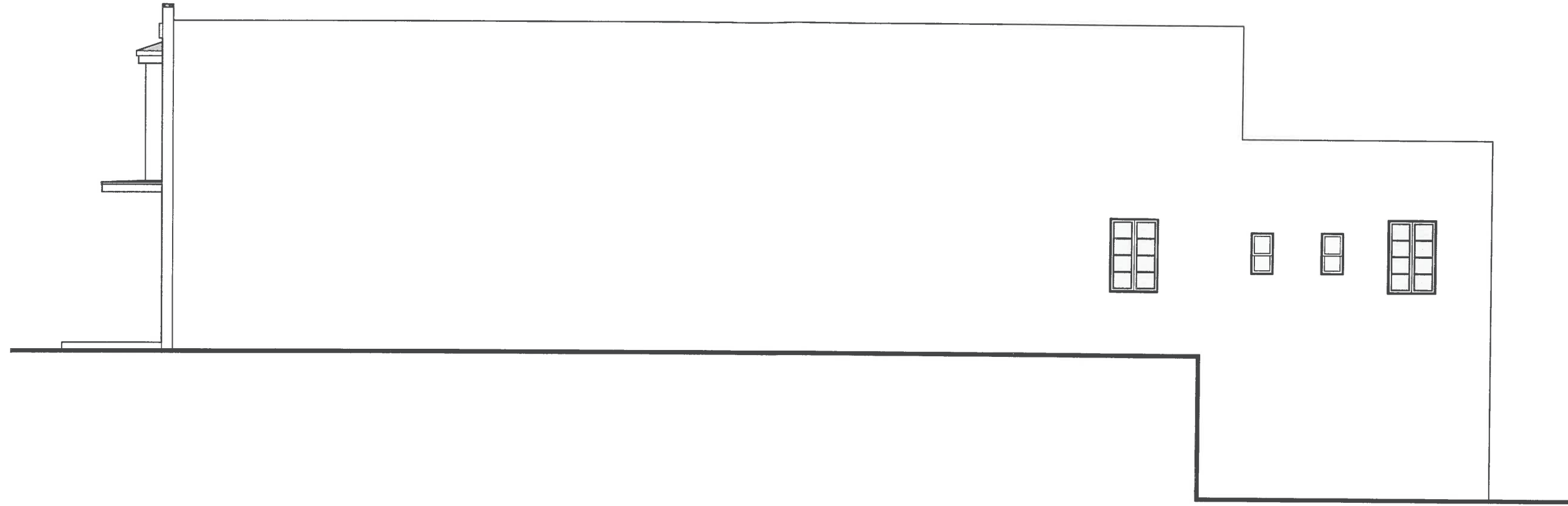
1" = 1/4" COMPLETE EXISTING SOUTH SIDE ELEVATION



EXISTING WITH FIRE ESCAPE, WINDOW AND FRENCH DOORS TO
 BE REMOVED
 1/4" = 1'

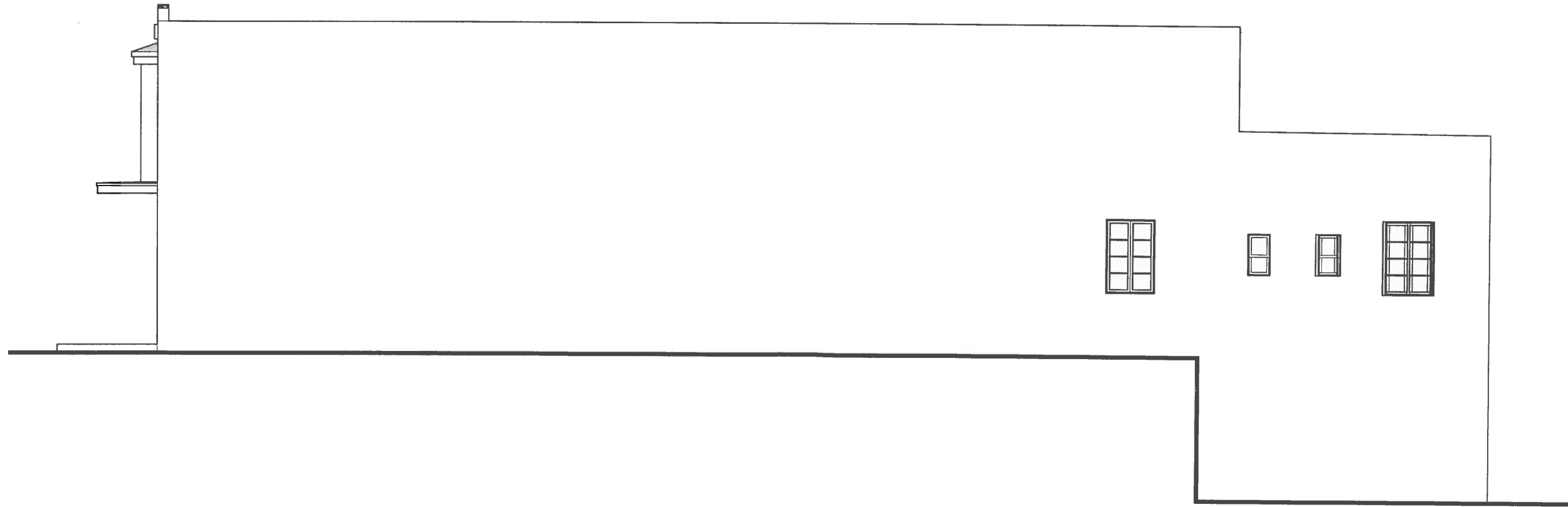


PROPOSED WITH TWO DOUBLE HUNG WINDOWS IN
 EXISTING OPENINGS. NO HEADER CHANGES.
 REFRAME UNDER DOOR OPENING FOR WINDOW.
 STUCCO TO MATCH EXISTING BUILDING.
 1/4" = 1'



EXISTING NORTH SIDE ELEVATION

1/4" = 1'



PROPOSED NORTH SIDE ELEVATION - CHANGES SHOWN NOTED

1/4" = 1'

Revisions:

EL 2.0

**3RD NW 7TH ON DOLORES
CARMEL, CA. 93921**

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**EXISTING ELEVATIONS
PROPOSED ELEVATIONS**

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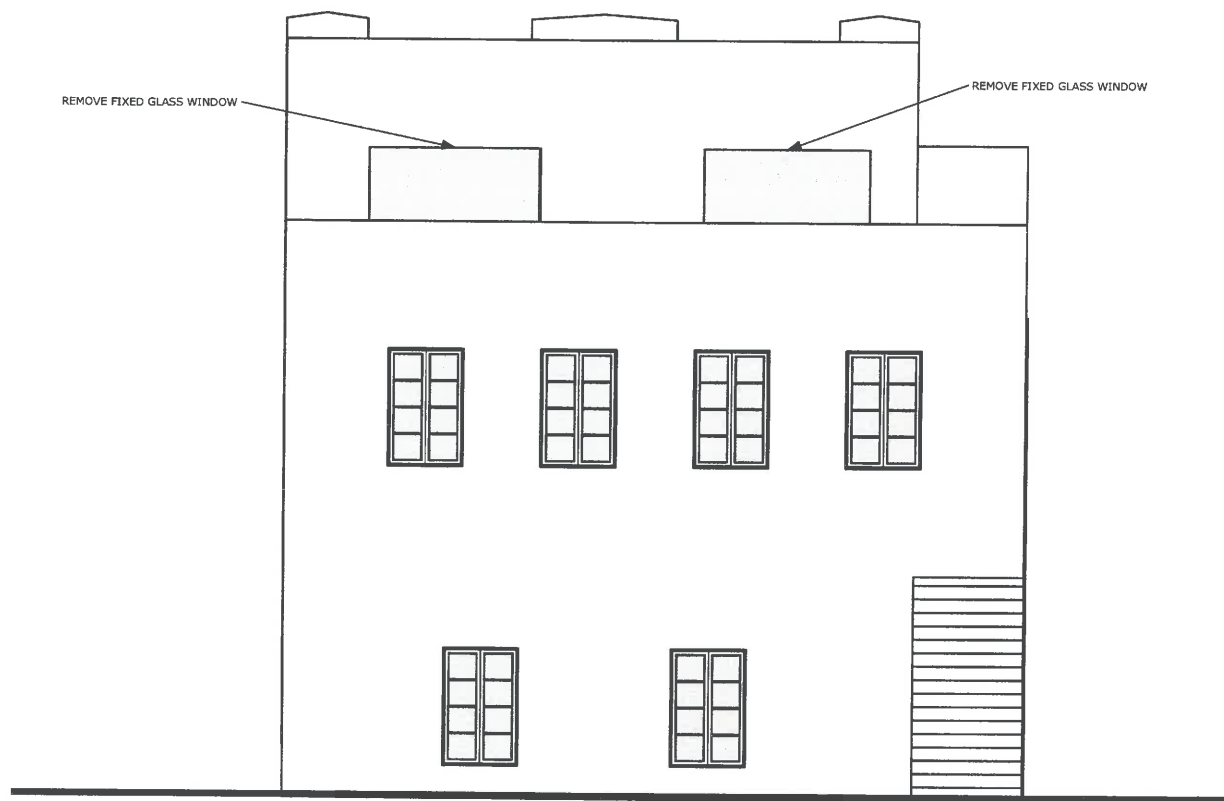
EXISTING EAST SIDE ELEVATION

1/4" = 1'



PROPOSED EAST SIDE ELEVATION

1/4" = 1'



EXISTING WEST SIDE ELEVATION

1/4" = 1'



PROPOSED WEST SIDE ELEVATION

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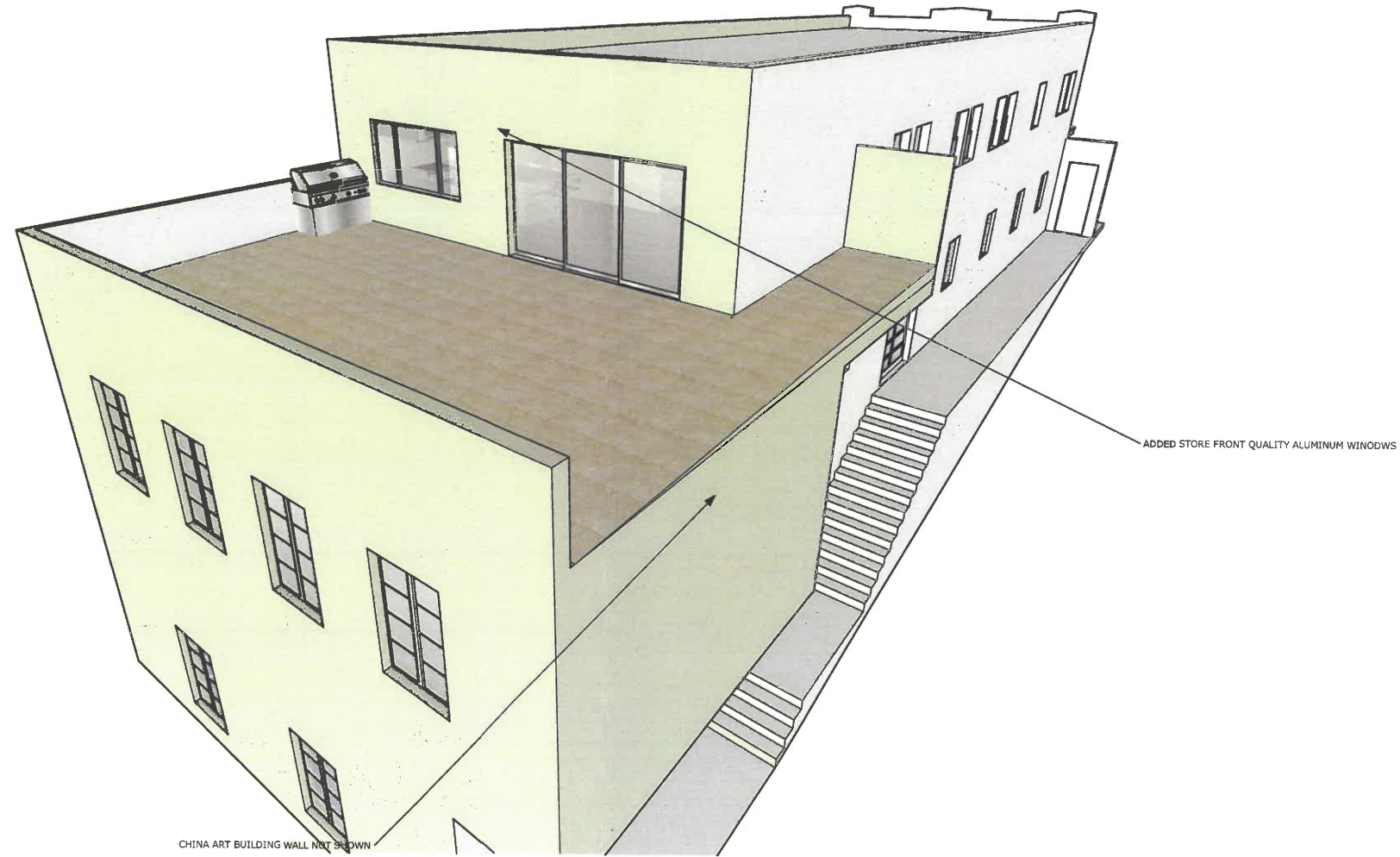
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EXISTING ELEVATIONS
PROPOSED ELEVATIONS

Revisions:

EL 3.0



PROPOSED PERSPECTIVE UPPER LEVEL DECK AND KITCHEN ADDITION

Revisions:

PER 1.0

**3RD NW 7TH ON DOLORES
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42" stucco hand rail

42" stucco hand rail