

LIGHTING LEGEND

- A WALL MOUNTED DOWNLIGHT
 - B RECESSED DOWNLIT STEP LIGHT +18" AFG
- NOTE: 25 WATTS MAX.

PLANNING INFO.

- PROPERTY OWNER:
ESPERANZA CARMEL, LLC
C/O JONATHAN M FELDMAN ESQ
MAGASINN & FELDMAN
4640 ADMIRALTY WAY, SUITE 402
MARINA DEL REY, CA 90292
- PROJECT ADDRESS:
SCENIC ROAD 2 AND 3 SE OF 9TH AVENUE,
CARMEL-BY-THE-SEA, CA
- PROJECT SCOPE:
MERGE ONE 9,176 SF LOT AND ONE 4,000 SF LOT INTO
ONE 13,176 SF LOT.
REPLACE ONE EXISTING 1,802 SF HOME WITH A MAIN LEVEL
638 SF ADU ATTACHED TO AN EXISTING 4,177 SF HOME.
REMOVE ONE EXISTING DRIVEWAY AND GARDEN WALL ON
SCENIC AND CONVERT INTO LANDSCAPE AREA.
CONVERT EXISTING LAUNDRY ROOM INTO A BATHROOM AND
EXISTING FAMILY ROOM INTO A BEDROOM.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. / LEGAL DESC.: 010-302-019 / LOT 5 BLOCK A2
010-302-011 / LOT 6 BLOCK A2
- ZONE: R-1 / PARK OVERLAY
- STORIES: 2
- MAX BLDG. HT: 18 FT
- GRADING: X CY [TBD]
- TREE REMOVAL: 4
- TOPOGRAPHY: LOW SLOPE
- PROJECT CODE COMPLIANCE:
2016 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE,
CALIFORNIA GREEN BUILDING CODE & 2016 CALIFORNIA ENERGY CODE
- LOT AREA:
LOT 5 9,176 S.F. (0.21 Ac.)
LOT 6 4,000 S.F. (0.09 Ac.)
MERGED LOT 13,176 S.F. (0.30 Ac.)
- BASE FLOOR AREA ALLOWED:
13,176 SF LOT 3,786 SF
BASEMENT BONUS #1 100 SF
BASEMENT BONUS #2 [17.10-D] 1,262 SF
3% LOT MERGER 395 SF
TOTAL BFA ALLOWED 5,543 SF
- SITE COVERAGE ALLOWED:
22% X BFA = 5,543 X 22% = 1,220 SF
4% X BFA IF 50% OF COVERAGE
IS PERMEABLE = 5,543 X 4% = 222 SF
SUBTOTAL 1,442 SF
2.5% LOT MERGE 36 SF
TOTAL SITE COV. ALLOWED 1,478 SF
PERMEABLE: 50% X 1476 = 738 SF
- SITE COVERAGE CALCULATIONS:

	EXISTING	REMOVED	NEW	PROPOSED
HARDSCAPE	1,173 SF	475 SF	40 SF	738 SF
SEMI/PERMEABLE	1,028 SF	731 SF	441 SF	738 SF
TOTAL	2,201 SF	1,206 SF	481 SF	1,476 SF

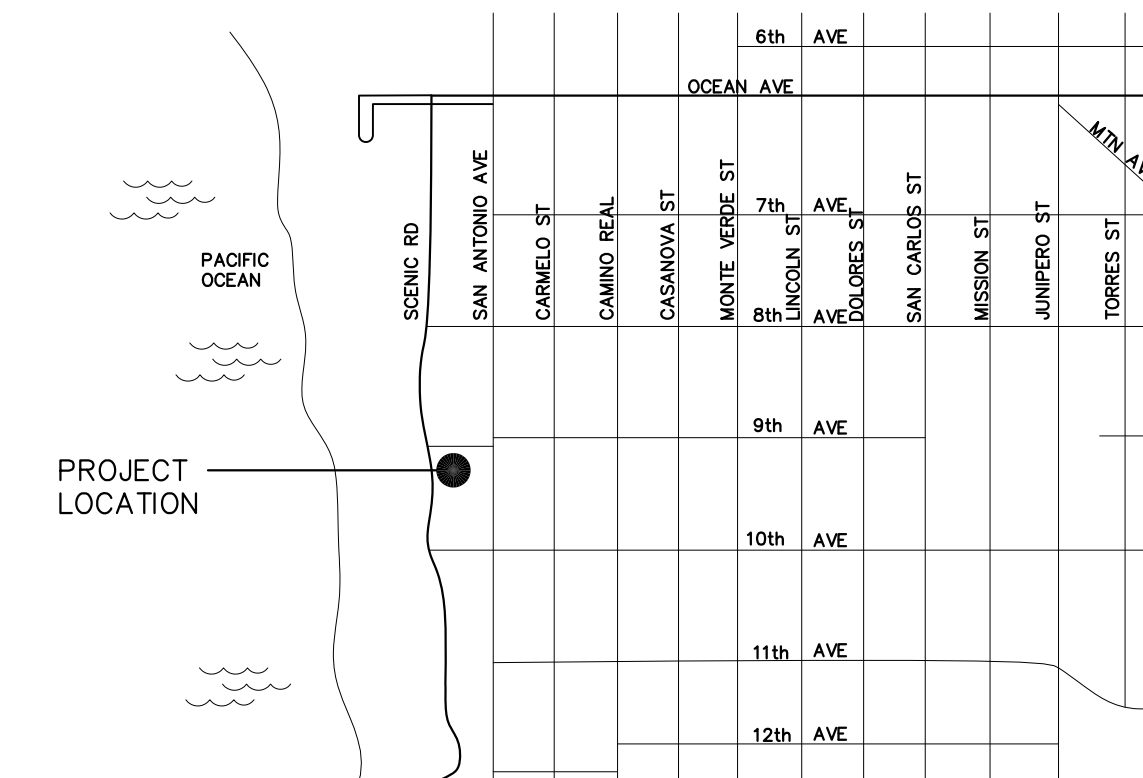
- LOT COVERAGE ALLOWED: 1,476 SF (11.2%)
- LOT COVERAGE PROPOSED: 1,476 SF (11.2%)

F.A.R. CALCULATIONS

RESIDENCE	EXISTING	ADDITION	PROPOSED
LOWER FLOOR	1,394 SF	728 SF	2,122 SF
MAIN FLOOR	2,783 SF	638 SF	3,421 SF
TOTAL	4,177 SF	1,366 SF	5,543 SF

- F.A.R. ALLOWED: 5,543 SF
- F.A.R. PROPOSED: 5,543 SF (100%)

VICINITY MAP



JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA,
93950

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CARMEL, LLC

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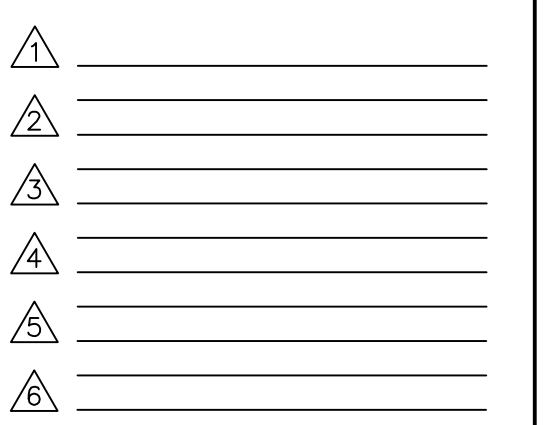
CARMEL-
BY-THE-SEA
SCENIC ROAD
2 & 3 SE 9TH

APN: 010-302-019
APN: 010-302-011

DATE: NOVEMBER 12, 2019

PLANNING SUBMITTAL

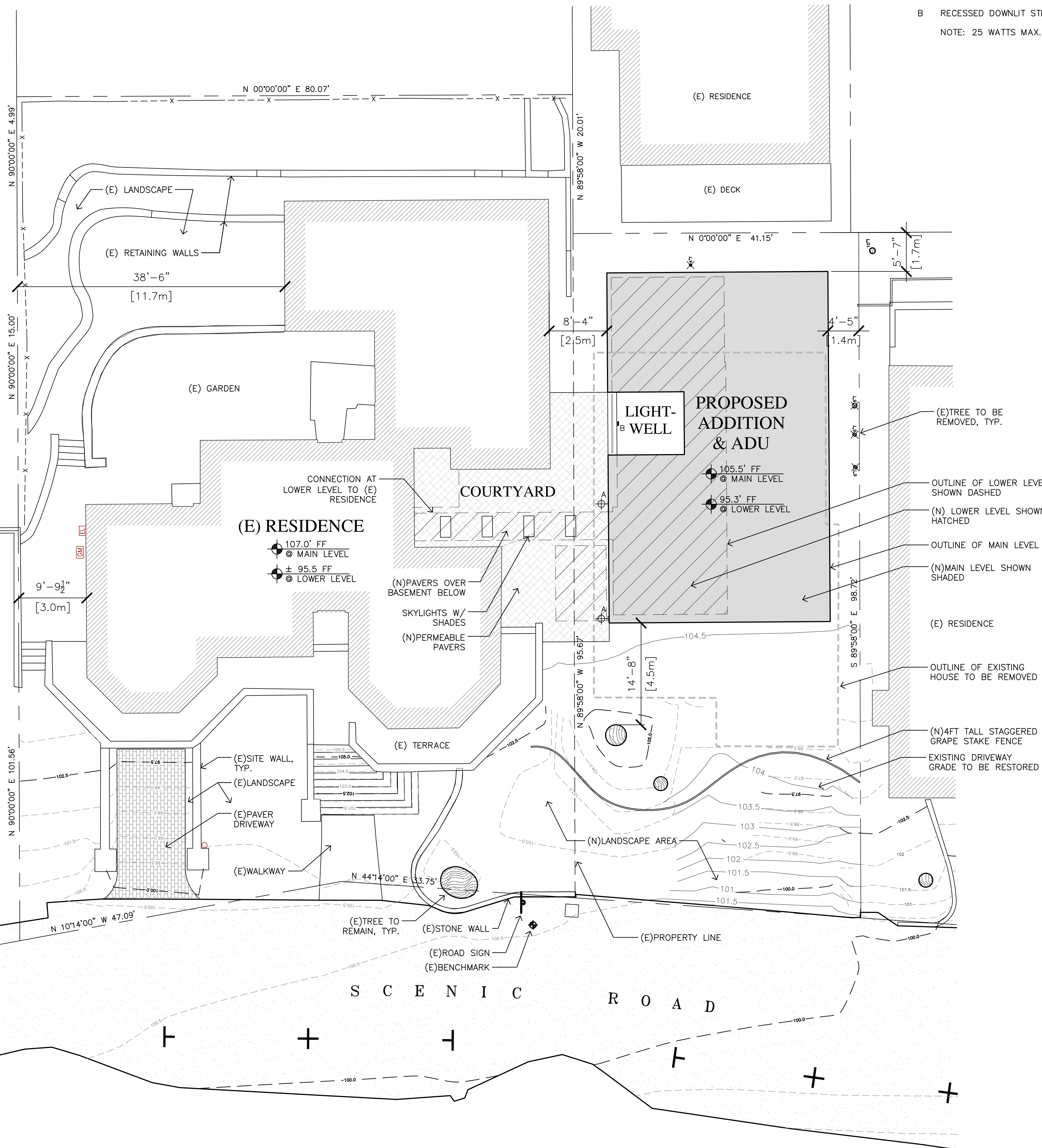
REVISIONS:



SITE PLAN

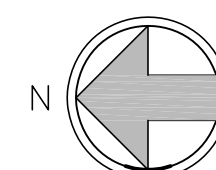
SHEET NO.

A1.0



SITE PLAN

1/8"=1'-0"



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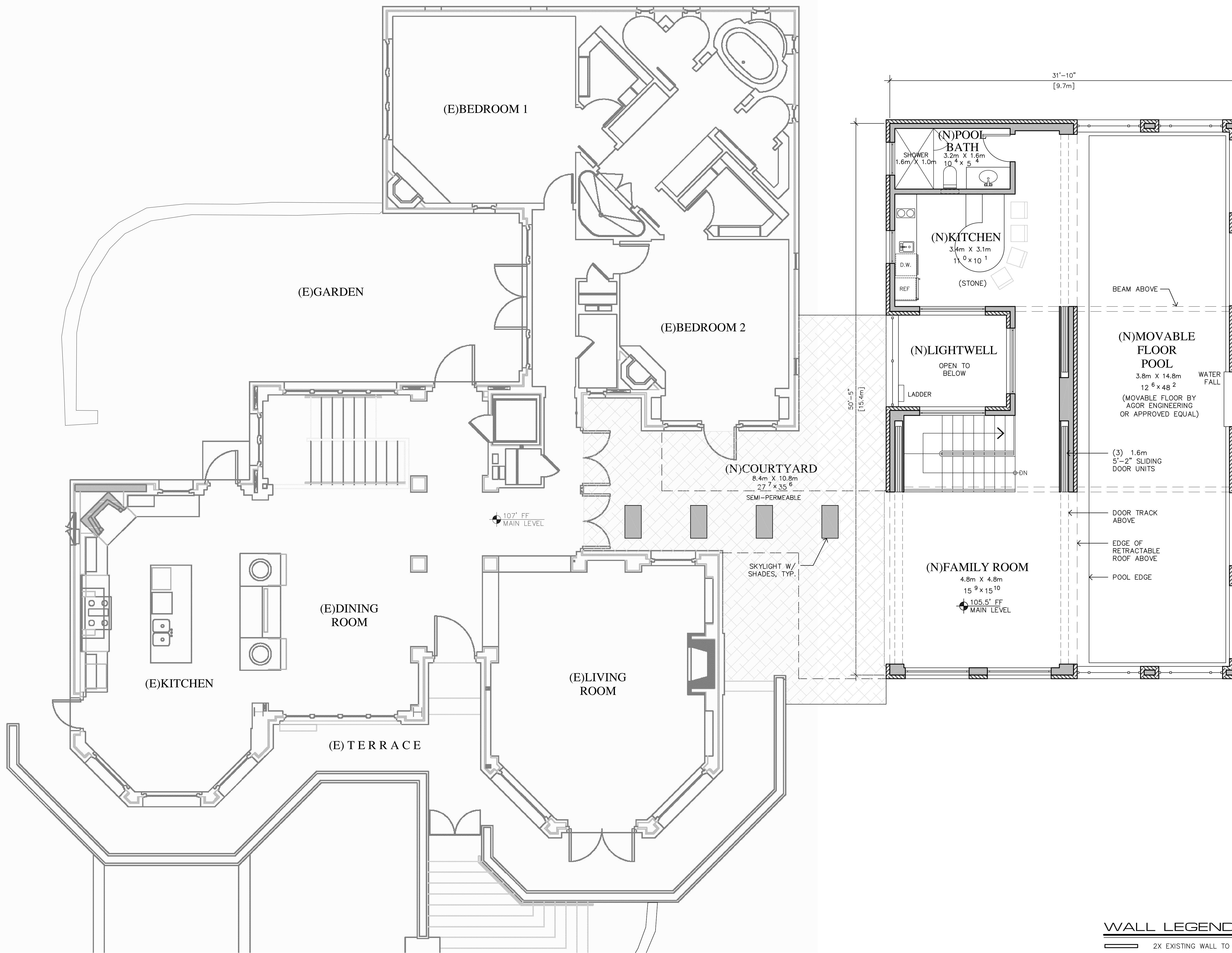
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MAIN LEVEL

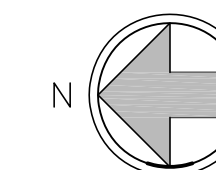
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A2.0



MAIN LEVEL PLAN

1/4"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- STONE VENEER

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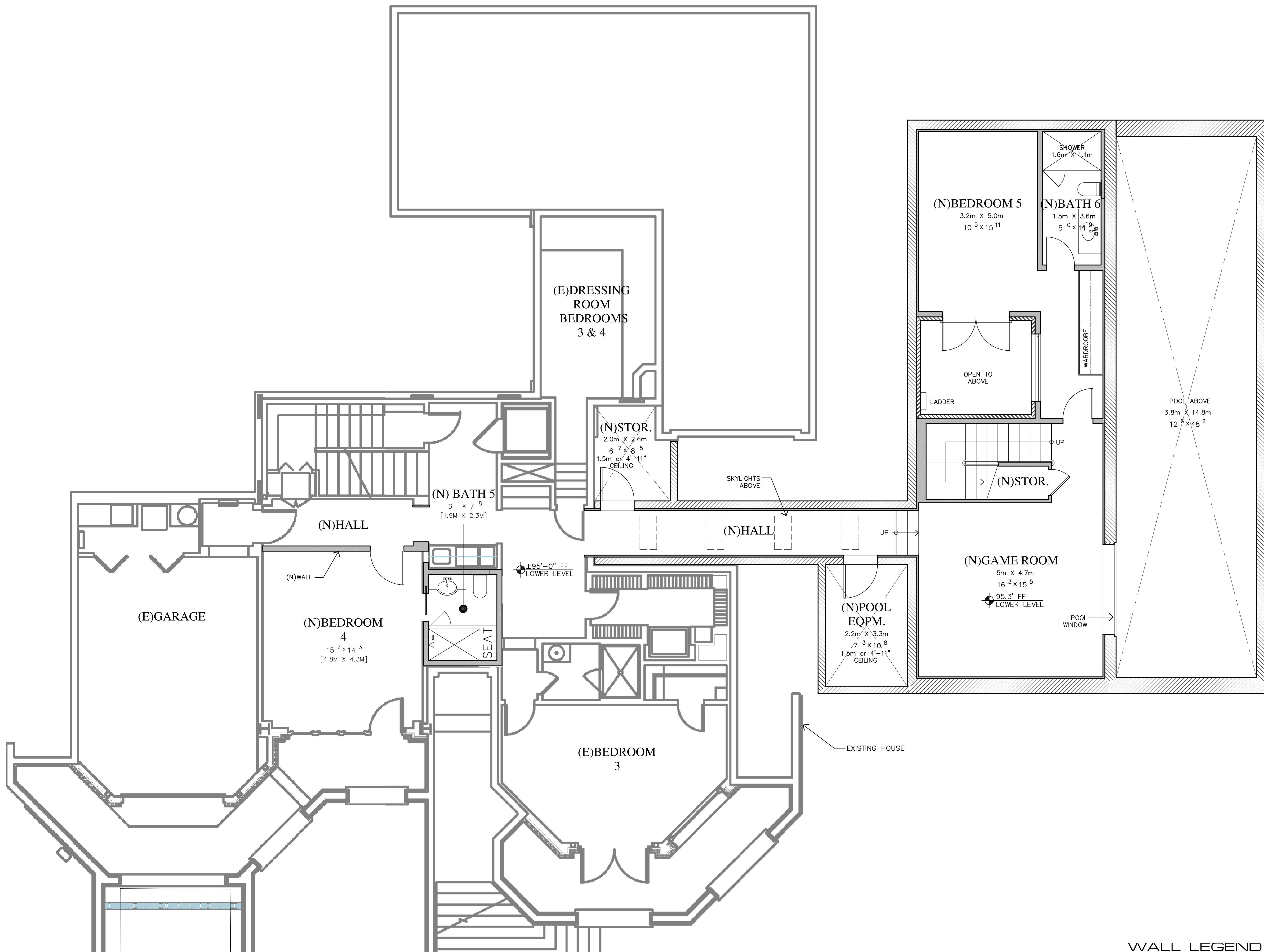
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LOWER LEVEL
PLAN - OPTION

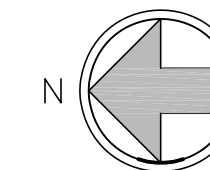
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LOWER LEVEL PLAN

1/4"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- STONE VENEER
- CMU WALL - SEE STRUCTURAL DWG'S

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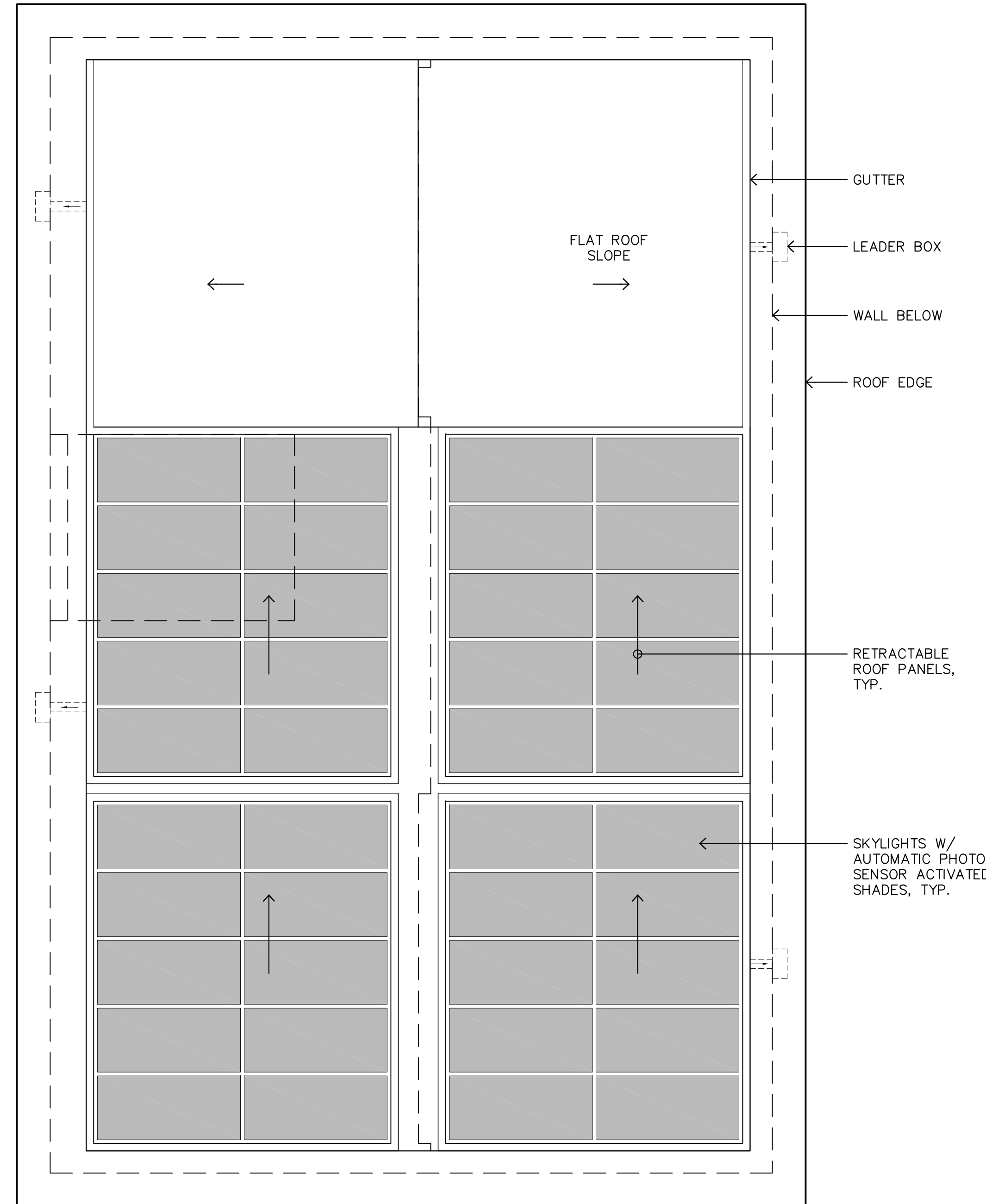
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ROOF PLAN
OWNER

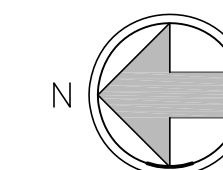
SHEET NO.

A5.0



ROOF PLAN

1/4" = 1'-0"



EXTERIOR FINISH LEGEND

- 1 CLAY TILE ROOF TO MATCH EXISTING HOUSE
- 2 WOOD CORBEL & FASCIA TO MATCH EXISTING HOUSE
- 3 COPPER LEADER BOX & DOWNSPOUT
- 4 EXTERIOR STONE TO MATCH EXISTING HOUSE
- 5 BRONZE DOORS / WINDOWS TO MATCH EXISTING HOUSE
- 6 BRONZE RAILING AND BALUSTRADES
- 7 BRONZE TRELLIS W/ CLIMBING PLANTS
- 8 4 FOOT TALL STAGGERED GRAPE STAKE FENCE

JUN A. SILLANO, AIA



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ELEVATIONS

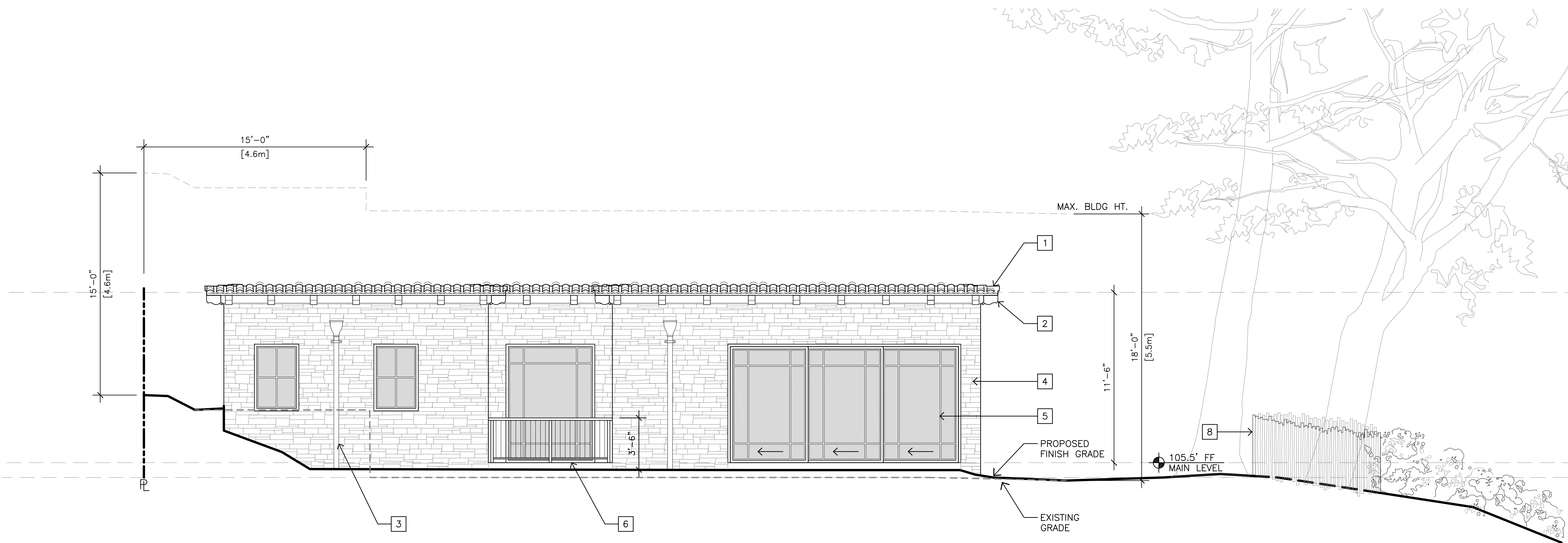
SHEET NO.

A6.0



WEST ELEVATION

1/4"=1'-0"

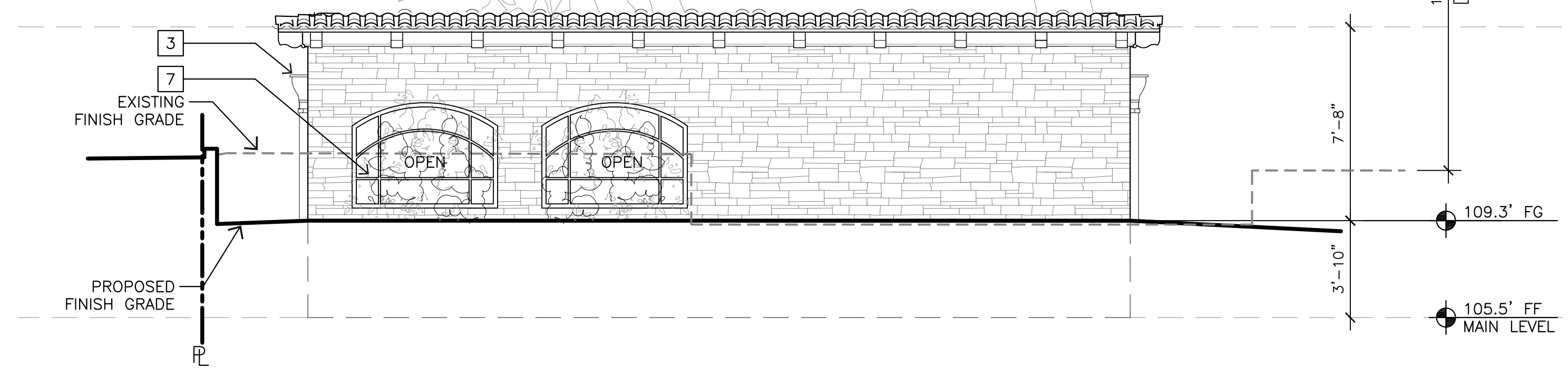


NORTH ELEVATION

1/4"=1'-0"

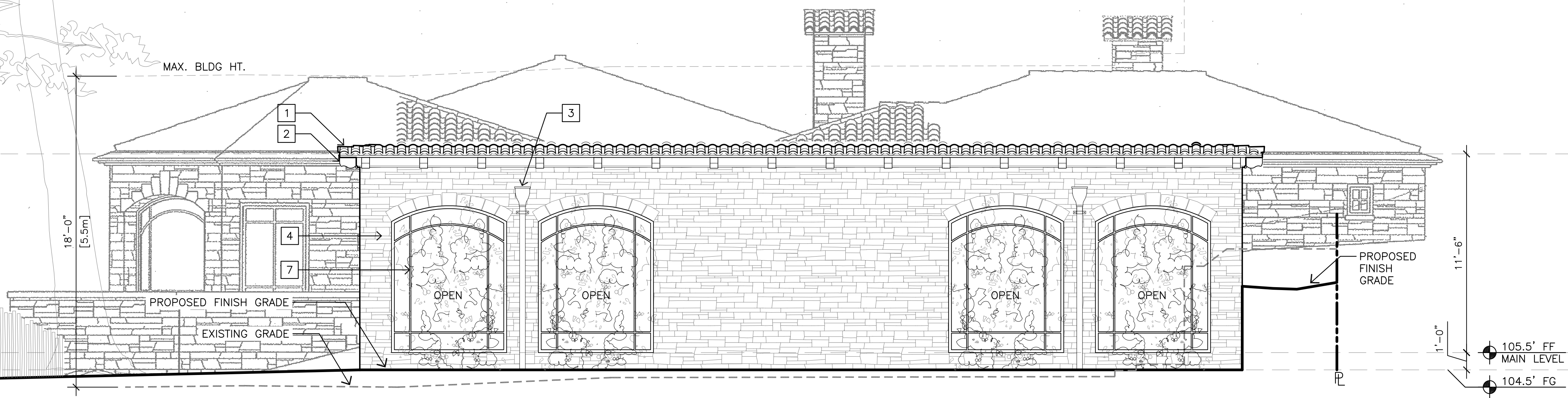
EXTERIOR FINISH LEGEND

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EAST ELEVATION

1/4"=1'-0"



SOUTH ELEVATION

1/4"=1'-0"

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ELEVATIONS

SHEET NO.

A6.1

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ELEVATIONS
STREETSCAPE

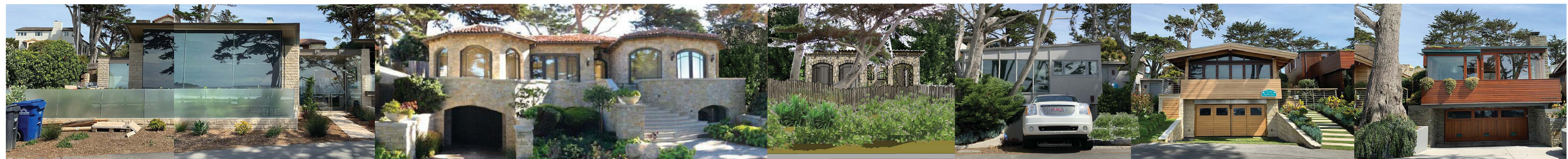
SHEET NO.

A6.2



EXISTING SCENIC ROAD STREETSCAPE

N.T.S.



PROPOSED SCENIC ROAD STREETSCAPE

N.T.S.



NORTH-WEST



SOUTH-WEST



WEST

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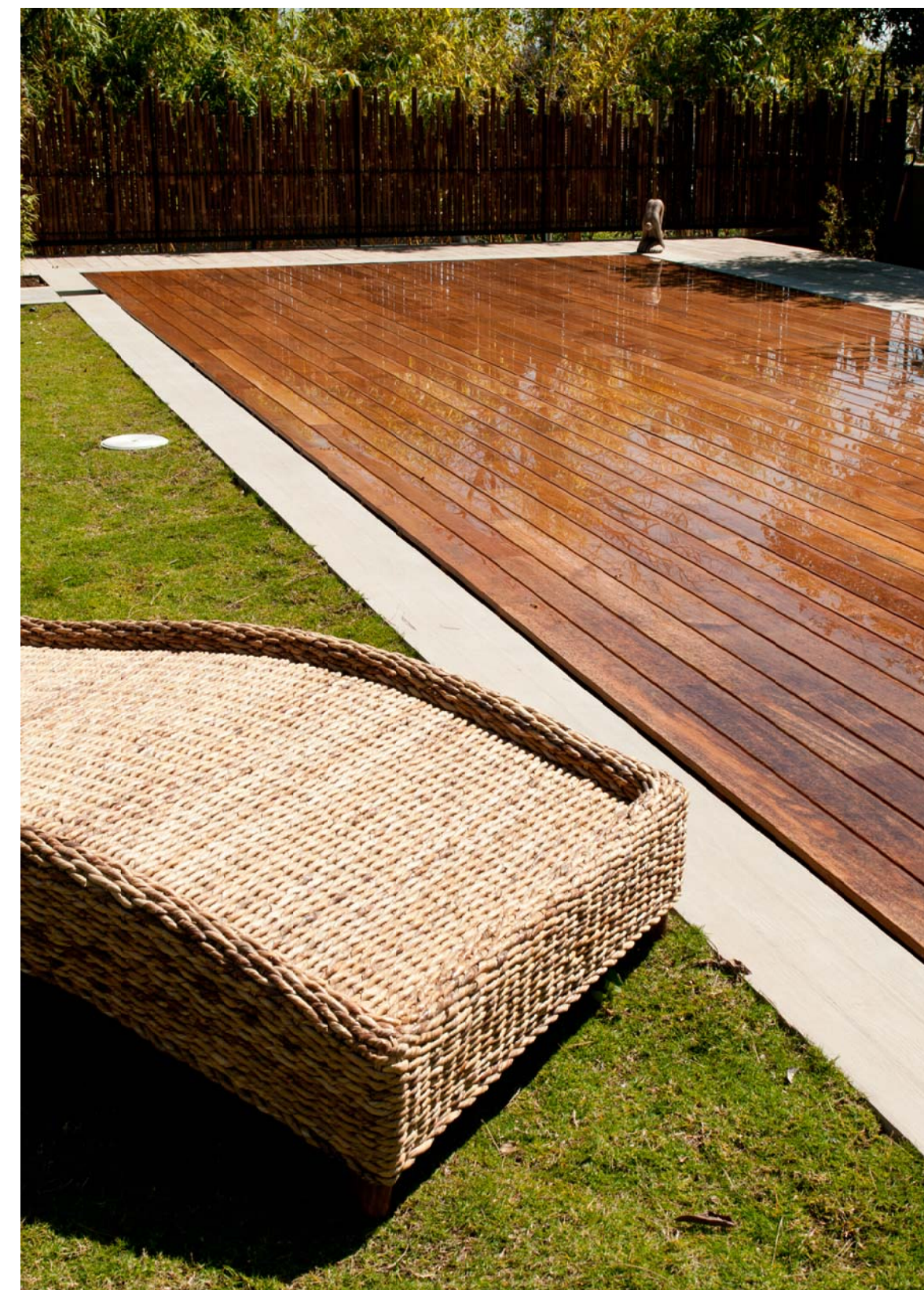
3D MODEL
VIEWS

SHEET NO.

A6.3



OPEN



CLOSED

MOVABLE POOL FLOOR SYSTEM

BY AGOR ENGINEERING OR APPROVED EQUAL



OPEN



CLOSED

RETRACTABLE ROOF SYSTEM

BY ROLLAMATIC ROOFS INC. OR APPROVED EQUAL

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**RETRACTABLE
ROOF & POOL FLOOR**

SHEET NO.

A6.4

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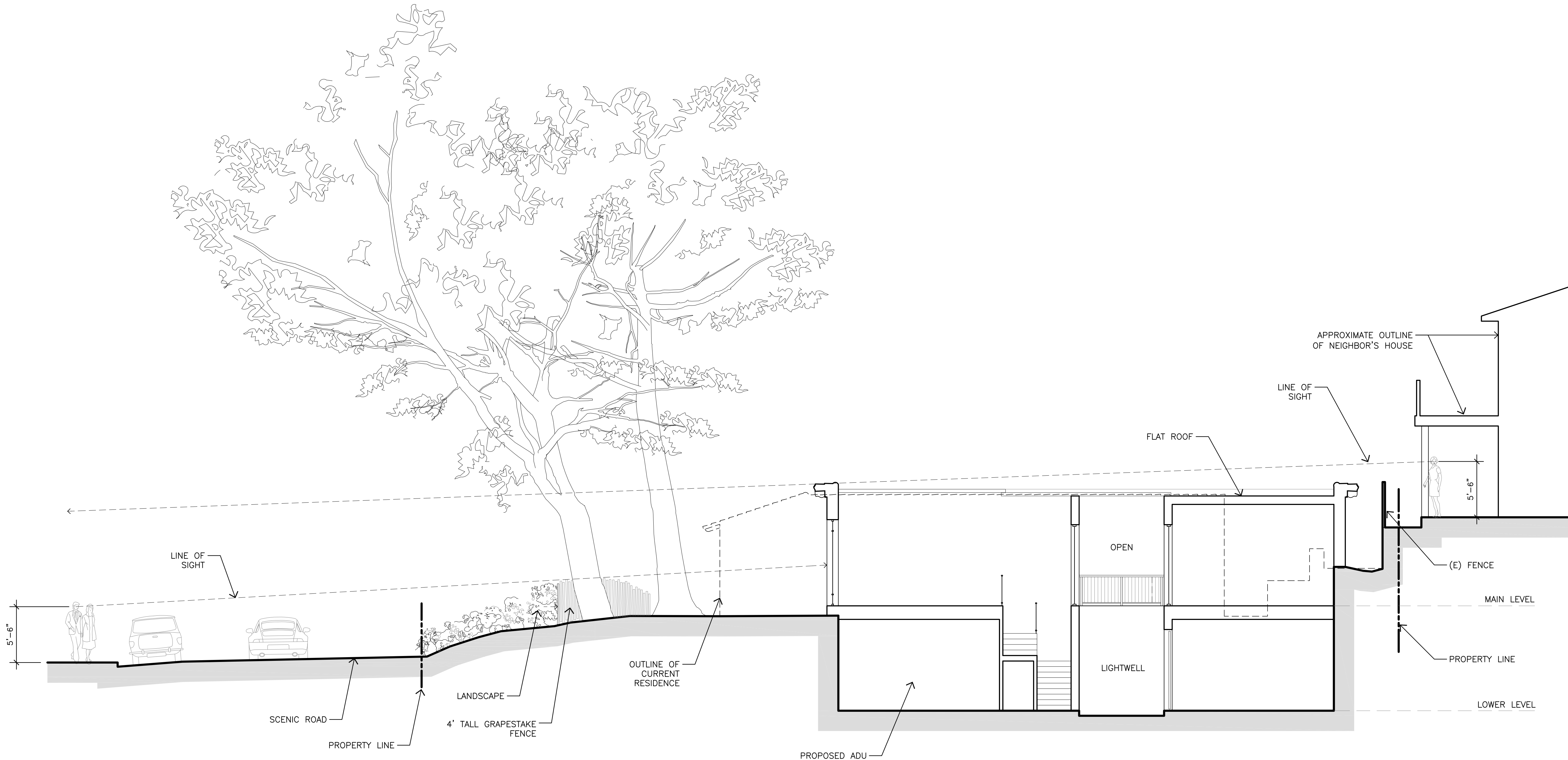
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SITE
SECTION

SHEET NO.

A7.0



SITE SECTION

3/16" = 1'-0"





LEFT VIEW - PROJECT



RIGHT VIEW - EXISTING



RIGHT VIEW - PROJECT