

**CITY OF CARMEL-BY-THE-SEA  
PLANNING COMMISSION  
REGULAR MEETING AGENDA**

Regular Meeting  
City Hall  
East Side of Monte Verde Street  
Between Ocean & Seventh Avenues

September 10, 2014  
Wednesday  
Tour – 2:30 p.m.  
Meeting – 4:00 p.m.

**A. CALL TO ORDER AND ROLL CALL**

Commissioners:     Jan Reimers, Chair  
                          Keith Paterson, Vice-Chair  
                          Michael LePage  
                          Don Goodhue  
                          Ian Martin

**B. TOUR OF INSPECTION**

Shortly after 2:30 p.m., the Commission will leave the Council Chambers for an on-site Tour of Inspection of all properties listed on this agenda (including those on the Consent Agenda). The Tour may also include projects previously approved by the City and not on this agenda. Prior to the beginning of the Tour of Inspection, the Commission may eliminate one or more on-site visits. The public is welcome to follow the Commission on its tour of the determined sites. The Commission will return to the Council Chambers at **4:00 p.m.** or as soon thereafter as possible.

**C. ROLL CALL**

**D. PLEDGE OF ALLEGIANCE**

**E. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS**

**F. APPEARANCES**

Anyone wishing to address the Commission on matters not on the agenda, but within the jurisdiction of the Commission, may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Commission agenda will not receive action at this meeting but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as otherwise established by the Commission Chair. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.



Zoning District

5. DS 14-42 (Benner)  
Torres St. 4 southwest of 9<sup>th</sup> Ave.  
Blk: 108, Lots: S ½ of lots 7 and 9  
APN: 010-071-010  
Consideration of Concept and Final Design Study (DS 14-42) and associated Coastal Development Permit application for the alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District
6. DS 14-72 (Levett)  
Monte Verde 3 NE of 4<sup>th</sup>  
Blk: 32, Lot: 16  
APN: 010-222-007  
Consideration of Concept Design Study (DS 14-72) and associated Coastal Development Permit application for the construction of a new residence located in the Single-Family Residential (R-1) Zoning District
7. DS 14-64 (Webster)  
Camino Real 2 NW of 11<sup>th</sup> Ave  
Blk: Q, Lot: 17  
APN: 010-275-008  
Consideration of Concept Design Study (DS 14-64) and associated Coastal Development Permit application for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District
8. DS 14-43 (Jarve)  
Scenic Road 1 SE of 9<sup>th</sup> Ave  
Blk: A-2, Lots: portions of 2 & 3  
APN: 010-302-015  
Consideration of Concept Design Study (DS 14-43) and associated Coastal Development Permit application for the construction of a new residence located in the Single-Family Residential (R-1), Park Overlay (P), and Beach and Riparian (BR) Overlay Zoning Districts

**I. DIRECTOR'S REPORT**

1. Update from the Director

**J. SUB-COMMITTEE REPORTS**

1. Report from Sub-Committees

**K. ADJOURNMENT**

The next meeting of the Planning Commission will be:

Regular Meeting – Wednesday, October 8, 2014, at 4:00 p.m.

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. Carmel-by-the-Sea City Hall is an accessible facility. The City of Carmel-by-the-Sea telecommunications device for the Deaf/Speech Impaired (T.D.D.) Number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request of the Administrative Coordinator. If you need assistance, please advise the Planning Commission Secretary what item you would like to comment on and the microphone will be brought to you.

**NO AGENDA ITEM WILL BE CONSIDERED AFTER 8:00 P.M. UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE PLANNING COMMISSION. ANY AGENDA ITEMS NOT CONSIDERED AT THE MEETING WILL BE CONTINUED TO A FUTURE DATE DETERMINED BY THE COMMISSION.**

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning & Building Department located in City Hall, east side of Monte Verde between Ocean & 7<sup>th</sup> Avenues, during normal business hours.

**CITY OF CARMEL-BY-THE-SEA  
PLANNING COMMISSION – MINUTES  
AUGUST 13, 2014**

**I. CALL TO ORDER AND ROLL CALL FOR TOUR OF INSPECTION**

PRESENT: Commission Members: LePage, Paterson, Reimers, Goodhue, and Reimers

ABSENT: Commissioners Members: None

STAFF PRESENT: Rob Mullane, AICP, Community Planning & Building Director  
Marc Wiener, Senior Planner  
Christy Sabdo, Contract Planner  
Mike Branson, City Forester  
Sharon Friedrichsen, Public Services Director  
Lori Frontella, City Clerk

**II. TOUR OF INSPECTION**

The Commission convened at 2:08 p.m. and then toured the following sites:

1. MP 14-01 RV 01 (City of Carmel); Del Mar Parking Lot
2. DS 14-33 & UP 14-14 (Porteous); San Antonio 3 NE of 7<sup>th</sup> Ave., Block S; Lots 14 & 16
3. DS 14-32 (Makler); Santa Lucia 2 NE of Casanova, Block 146; Lots 26 & 28
4. DS 14-78 (McWilliams); 26151 Ladera Drive, Block MA; Lot 4
5. DS 14-68 (Lewis); San Carlos 4 SW of 11<sup>th</sup> Ave., Block 131; Lot 9
6. DS 14-83 (Ungaretti); Torres St. 2 SE of 10<sup>th</sup> Ave., Block 120; Lot 1B
7. DS 14-69 (Frank); NW Corner of Santa Fe St. and Mountain View Ave., Block 80; Lot 14
8. DS 14-29 (Darley); 2<sup>nd</sup> Avenue, 2 SW of Santa Rita; Block 24; Lots West ½ of 1 & 3
9. DS 14-82 (Ohm); Lobos 3 NW of 4<sup>th</sup> Ave.; Blk 1A; Lot 3
10. CR 14-03 (Grasing's); NW Cor. of Mission & 6<sup>th</sup> Ave.; Block 57; Lots 17 & 19

**III. ROLL CALL**

Chairman Reimers called the meeting to order at 4:03 **p.m.**

**IV. PLEDGE OF ALLEGIANCE**

Members of the audience joined Commission Members in the pledge of allegiance.

**V. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS**

Commissioner Martin recommended reading Creating Carmel, which is available on loan from the Community Planning and Building Department, and thanked Barbara Livingston and the Carmel Residents Association for donating these books.

Commissioner Martin also acknowledged the efforts of staff and the recent improvements to processes at the department.

Chair Reimers asked if anything could be done to preserve full-time residency of the City.

Chair Reimers also noted that the Forest and Beach Commission is addressing cleaning of the beach and the North Dunes area and requested that an update and discussion item be brought to the Planning Commission in approximately 6 months.

## **VI. APPEARANCES**

There were no speakers.

## **VII. CONSENT AGENDA**

Items placed on the Consent Agenda are considered to be routine and are acted upon by the Commission in one motion. There is no discussion of these items prior to the Commission action unless a member of the Commission, staff, or public requests specific items be discussed and removed from the Consent Agenda. It is understood that the staff recommends approval of all consent items. Each item on the Consent Agenda approved by the Commission shall be deemed to have been considered in full and adopted as recommended.

1. Consideration of minutes from July 9, 2014 Regular Meeting.

2. DS 14-39 (Alexander)	Consideration of Final Design Study (DS 14-39)
Matt Alexander	and associated Coastal Development Permit
Torres St. 2 NE of 3 <sup>rd</sup> Ave.	application for the substantial alteration of an
Blk: 25, Lot: 18	existing residence located in the Single-Family
APN: 010-102-011	Residential (R-1) Zoning District

Vice Chair Paterson noted that he must recuse himself from Item 2, and the item was pulled and heard under separate motion.

Chair Reimers opened to public comment, and asked if any member of the public wished to speak or pull any items. Seeing no public speakers or requests to pull any items, Chair Reimers entertained a motion to approve the minutes...

**Vice Chair Paterson moved to approve the minutes of the consent agenda with the change made to the minutes as noted by Chair Reimers. Motion seconded by Commissioner Goodhue and carried by the following roll call vote:**

AYES: COMMISSIONERS: LEPAGE, PATERSON, REIMERS,  
GOODHUE & CHAIR REIMERS

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: NONE  
ABSTAIN: COMMISSIONERS: NONE

**VIII. CONSENT AGENDA (PULLED ITEMS)**

**Commissioner Goodhue made a motion to approve DS 14-39. Motion seconded by Commissioner Lepage and carried 4/0/1.**

AYES: COMMISSIONERS: Lepage, Goodhue, Martin, Reimers  
NOES: COMMISSIONERS: NONE  
ABSENT: COMMISSIONRES: NONE  
ABSTAIN: COMMISSIONERS: Paterson

**IX. PUBLIC HEARINGS**

1. MP 14-01 (Carmel-by-the-Sea) Consideration of Municipal Project (MP 14-01) and  
City of Carmel-by-the-Sea associated Coastal Development Permit application  
Del Mar Parking Lot for a revised style of sidewalk pavers located at the  
foot of Ocean Avenue in the Del Mar Parking Lot

Marc Wiener, presented the staff report, which included an overview of the proposed project. Mike Branson, City Forester, spoke more on the project, fielding questions from the Board on the proposed Natural Grey brick color with a runningbond pattern.

Chair Reimers opened the public hearing.

Todd Krempasky asked for clarity on what qualifies the proposed pavers as permeable.

Seeing no other speakers, Chair Reimers closed to public comment.

**Commissioner Lepage made a motion to approve application with staffs recommendation of the Medium Grey color and dimensioned 8" x 4" paver in a running bond pattern. Motion seconded by Commissioner Goodhue and carried unanimously.**

AYES: Commissioners: Lepage, Paterson, Goodhue, Martin, Reimers  
NOES: COMMISSIONERS: NONE  
ABSENT: COMMISSIONRES: NONE  
ABSTAIN: COMMISSIONERS: NONE

2. DS 14-29 (Darley) Consideration of Final Design Study (DS 14-29) and  
Robert Darley associated Coastal Development Permit applications  
Santa Rita 2 Southwest of 2<sup>nd</sup> Ave. for the demolition of an existing residence and  
Blk 24; West ½ of Lots 1 & 3 construction of a new residence located in the  
APN: 010-028-002 Single-Family Residential (R-1) Zoning District

Vice Chair Paterson recused himself from this item because he owns property within 500 feet of the project site.

Marc Wiener, Senior Planner presented the staff report, which included an overview of the proposed project and a summary of the findings at the previous Planning Commission meeting on May 15, 2014. Mr. Wiener noted that the applicant had made revisions to the design to address the Commission's concern with the similarity in style between the proposed residence and the adjacent residence to the west.

Chair Reimers opened the public hearing.

Robert Darley, Applicant and Adrian Lopez, Project Designer addressed questions from the commission in regards to the revised pitch lowering from 12:16 to 12:12.

Seeing no other speakers, Chair Reimers closed to public comment.

Mr. Mullane also stated that Special Condition #22 should be stricken being that staff no longer recommends this condition for the approval of this item.

**Commissioner Goodhue moved to continue the item to further lower the height of the ridge line. Motion seconded by Commissioner Reimers and carried 4/0/1.**

AYES:	COMMISSIONERS:	Goodhue, Reimers, Martin, LePage
NOES:	COMMISSIONERS:	NONE
ABSENT:	COMMISSIONRES:	Paterson (recused)
ABSTAIN:	COMMISSIONERS:	NONE

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| 3. DS 14-40 (Perry)<br>Frank and Renate Perry<br>Lobos 5 NW of 2 <sup>nd</sup> Ave.<br>Blk: 18, Lot: 11<br>APN: 010-016-005 | Consideration of Final Design Study (DS 14-40) and associated Coastal Development Permit application for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District |
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Vice Chair Paterson returned to the dais, and Commissioner LePage recused himself from this item because he owns property within 500 feet of the project site.

Marc Wiener, Senior Planner presented the staff report, which included an overview of the proposed project. Mr. Wiener noted that the applicant worked with staff to simplify design of the north elevation, redesign of the front fence and eliminate stone, and to change the proposed garage to a carport.

Chair Reimers opened the public hearing

Alan Lehman, Designer, spoke on behalf of the applicant and addressed questions from the Commission.



Roberta Miller, Resident spoke her support for lowering the height of the carport and a wood shake roof instead of the composition shingle being proposed by the applicant.

Adele Lloyd, resident, made the suggestion that the applicant continue to use the garage in the rear of the property instead of building the proposed carport.

Seeing no other speakers, Chair Reimers closed to public comment.

**Vice Chair Paterson moved to lowering Carport to 7' 6", accept composition roof, remove the concrete walkway in City ROW, and made a revision to special condition #22 that a upper canopy and lower canopy tree be planted on property. Motion seconded by Commissioner Goodhue and carried 4/0/1.**

AYES:	COMMISSIONERS:	Paterson, Goodhue, Martin, Reimers
NOES:	COMMISSIONERS:	NONE
ABSENT:	COMMISSIONRES:	LePage (recused)
ABSTAIN:	COMMISSIONERS:	NONE

4. DS 14-33 & UP 14-14 (Porteous)  
John and Jennifer Porteous  
San Antonio 3 NE of 7<sup>th</sup> Ave.  
Blk: S, Lots: 14 & 16  
APN: 010-267-008

Consideration of Concept and Final Design Study (DS 14-33) and Use Permit (UP 14-14) applications for exterior alterations to a structure located in the Single-Family Residential (R-1) Zoning District. The structure was previously an inn and is being reverted to a single-family residence with a guesthouse.

Commissioner LePage returned to the dais.

Marc Wiener, Senior Planner presented the staff report, which included an overview of the proposed project.

Chair Reimers opened the public hearing.

Eric Miller, Project Architect, spoke on the four proposed chimneys, and retaining the two light fixtures on top of the existing columns.

Barry Porteous, Property Owner, spoke on the design of the four proposed chimneys and plans to change them to stone.

Seeing no other speakers, Chair Reimers closed the public hearing.

**Commissioner LePage moved to accept the application with Special Conditions #22, 26, 27 and revisions to conditions as follows: #23 review existing trees and impacts to neighboring properties, #24 change to allow the 4 proposed chimneys and 3 of the 4 fireplaces have dedicated gas log lighters with gas logs and #25 state that the applicant**

**may retain the two light fixtures as long as they have no more than a 25 watt bulb.**  
**Motion seconded by Vice Chair Paterson and carried unanimously.**

AYES:	COMMISSIONERS:	LePage, Paterson, Goodhue, Martin, Reimers
NOES:	COMMISSIONERS:	NONE
ABSENT:	COMMISSIONRES:	NONE
ABSTAIN:	COMMISSIONERS:	NONE

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| 5. DS 14-32 (Makler)<br>Mary and Stuart Makler<br>Santa Lucia 2 NE of Casanova<br>Blk: 146, Lots: 26 & 28<br>APN: 010-176-025 | Consideration of Concept Design Study (DS 14-32) and associated Coastal Development Permit application for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District |
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Commissioner Goodhue recused himself from the dais because he owns property within 500 feet of the project.

Marc Wiener, Senior Planner presented the staff report, which included an overview of the proposed project.

Chair Reimers opened the public hearing.

Rob Nicely spoke on behalf of the applicant and noted that they would look into options for adding a trash enclosure.

Seeing no other speakers, Chair Reimers closed to public comment.

**Commissioner LePage made a motion to accept concept application as provided by staff and added additional recommendations that applicant work with staff on trash enclosure and proposing consistent materials with base of building. Motion seconded by Vice Chair Paterson and carried unanimously.**

AYES:	COMMISSIONERS:	LePage, Paterson, Martin, Reimers
NOES:	COMMISSIONERS:	NONE
ABSENT:	COMMISSIONRES:	Goodhue (recused)
ABSTAIN:	COMMISSIONERS:	NONE

The Planning Commission took a 10 minute recess.

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| 6. CR 14-03 (Grasing's Restaurant)<br>Kurt Grasing<br>NW Cor. of Mission & 6 <sup>th</sup> Ave.<br>Blk: 57, Lots: 17 & 19<br>APN: 010-132-016 | Consideration of a Concept Review (CR 14-03) for the establishment of an outdoor dining area and new rain-shelter canopies on the rooftop of a restaurant located in the Central Commercial (CC) Zoning District |
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Chair Reimers recused herself from the dais, because she owns property with a similar restaurant set-up.

Marc Wiener, Senior Planner presented the staff report, which included an overview of the proposed project.

Vice Chair Paterson opened the public hearing.

Speaker #1: Carl Maxey, Project Architect, spoke on the project, its intent and showed additional renderings of the proposed structure explained that the actual structure will be dark brown instead of the white structure in the rendering. The applicant would like to add the structure for periodic banquets to add business to his facility.

Speaker #2: Kurt Grasing, Applicant, spoke more on the project and the proposed structures for banquet use.

Seeing no other speakers, Vice Chair Paterson closed to public comment.

The Planning Commission provided the following comments and concerns on the Concept Review application: 1) suggestion of wood trellis with a retractable awning, 2) concerns with the design compatibility of the proposed awning system with the building, 3) concerns with the durability of the awning material and how it will maintain a clean appearance over time, and 4) concerns with adding mass to the area and the overall aesthetic appearance.

7. DS 14-61 (Hardy)  
Patricia Hardy  
25904 Ridgewood Road  
Blk: 2, Lot: 1  
APN: 009-352-019

Consideration of Design Study (DS 14-61) for the replacement of a wood-shake roof with composition shingles on a residence located in the Single-Family Residential (R-1-C-10) District

Chair Reimers returned to the dais.

Christy Sabdo, Contract Planner presented the staff report, which included an overview of the proposed project.

Chair Reimers opened the public hearing.

Speaker #1: Patricia Hardy, Applicant spoke briefly on the project and the difficulty of finding an insurer for a home with wood shakes.

Seeing no other speakers, Chair Reimers closed to public comment.

**Vice Chair Paterson moved to accept a high quality of composition shingle for the roof material, with the final material to be verified by staff. The composition shingle must have the highest warranty available with a thick butt that articulates individual shingle**

**shapes and casts a perceptible shadow, achieving the appearance of wood shake.**  
**Motion seconded by Commissioner Goodhue and carried 4/1/0.**

AYES:	COMMISSIONERS:	Goodhue, Paterson, Martin, Reimers
NOES:	COMMISSIONERS:	LePage
ABSENT:	COMMISSIONRES:	NONE
ABSTAIN:	COMMISSIONERS:	NONE

8. DS 14-69 (Frank)  
Margaret Frank  
NW Corner of Santa Fe St. and  
Mountain View Ave.  
Blk: 80, Lot 14  
APN: 010-081-005
- Consideration of Design Study (DS 14-69) for the replacement of a wood-shake roof with composition shingles on a residence located in the Single-Family Residential (R-1) District

Christy Sabdo, Contract Planner presented the staff report, which included an overview of the proposed project.

Chair Reimers opened the public hearing.

Speaker #1: Michael Lambert, project contractor, spoke on the process of needing an architect to inspect a clay or tile roof because of the weight of the material.

Seeing no other speakers, Chair Reimers closed to public comment.

**Commissioner LePage made a motion to have the applicant consider a tile roof or a wood roof which can be approved by staff. Motion seconded by Commissioner Goodhue and carried 4/1/0.**

AYES:	COMMISSIONERS:	LePage, Goodhue, Martin, Reimers
NOES:	COMMISSIONERS:	Paterson
ABSENT:	COMMISSIONRES:	NONE
ABSTAIN:	COMMISSIONERS:	NONE

9. DS 14-82 (Ohm)  
Ronald Ohm  
Lobos 3 NW of 4<sup>th</sup> Ave.  
Blk: 1A, Lot 3  
APN: 010-014-007
- Consideration of Design Study (DS 14-82) for the replacement of a wood-shake roof with composition shingles on a residence located in the Single-Family Residential (R-1) District

Christy Sabdo, Contract Planner, presented the staff report, which included an overview of the proposed project to replace an existing wood-shake roof with medium-gray (Barkwood) composition shingle roof.

Chair Reimers opened the public hearing.

Speaker #1: Scott Townsend, representing the owner spoke on composition shingles being the desired roofing materials for the owner.

Seeing no other speakers, Chair Reimers closed to public comment.

**Commissioner Goodhue moved to accept a composition shingle roof, specifically Timberline prestige lifetime high-definition shingles or equivalent, in the suggested slate color or similar color to be approved by staff. Motion seconded by Vice Chair Paterson and carried unanimously.**

AYES:	COMMISSIONERS:	LePage, Goodhue, Martin, Reimers, Paterson
NOES:	COMMISSIONERS:	NONE
ABSENT:	COMMISSIONRES:	NONE
ABSTAIN:	COMMISSIONERS:	NONE

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| 10. DS 14-78 (McWilliams)<br>McWilliams Peter Trust<br>26151 Ladera Drive<br>Blk: MA, Lot: 4<br>APN: 009-331-004 | Consideration of Design Study (DS 14-78) for the replacement of a wood-shake roof with composition shingles on a residence located in the Single-Family Residential (R-1) District |
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Christy Sabdo, Contract Planner presented the staff report, which included an overview of the proposed project to replace an existing wood-shake roof with dark grey (Country Grey) composition shingle roof. Ms. Sabdo stated that the applicant was unable to attend tonight's meeting but has provided a letter that was included in the Planning Commissions packet.

Chair Reimers opened the public hearing; no one spoke regarding this item, Chair Reimers closed the public hearing.

Chair Reimers noted for the record that she is acquainted with Matt Little, from Carmel Insurance Agency, who was in correspondence with the applicant.

**Commissioner LePage made a motion to continue the item to allow the applicant to return with an alternative, high-quality composition shingle or provide a revision to the proposed material with tile, slate, or wood for an approval by staff. Motion seconded by Vice Chair Paterson and carried unanimously.**

AYES:	COMMISSIONERS:	LePage, Goodhue, Martin, Reimers, Paterson
NOES:	COMMISSIONERS:	NONE
ABSENT:	COMMISSIONRES:	NONE
ABSTAIN:	COMMISSIONERS:	NONE

11. DS 14-68 (Lewis)  
Tim Lewis  
San Carlos 4 SW of 11<sup>th</sup> Ave.  
Blk: 131, Lot: 9  
APN: 010-154-003

Consideration of Design Study (DS 14-68) for the replacement of a wood-shingle roof with composition shingles on a residence located in the Single-Family Residential (R-1) District

Christy Sabdo, Contract Planner presented the staff report, which included an overview of the proposed project to replace the existing wood-shingle roof with gray composition shingles.

Chair Reimers opened the public hearing.

Speaker #1: Michael Lambert, representing the applicant, spoke on the existing and proposed materials for the project.

Speaker #2: Beverly Lewis, property owner, briefly stated her support for a composition shingle.

Seeing no other speakers, Chair Reimers closed to public comment.

**Commissioner Goodhue made a motion to accept a composition shingle that replicates the wood-shingle look that is on the home as shown in the original Attachment B of the August 13, 2014 staff report, with the final material to be verified by staff. Motion seconded by Vice Chair Paterson and carried unanimously.**

AYES:	COMMISSIONERS:	LePage, Goodhue, Martin, Reimers, Paterson
NOES:	COMMISSIONERS:	NONE
ABSENT:	COMMISSIONRES:	NONE
ABSTAIN:	COMMISSIONERS:	NONE

12. DS 14-83 (Ungaretti)  
Elisabeth Ungaretti  
Torres St. 2 SE of 10<sup>th</sup> Ave.  
Blk: 120 Lot: 1B  
APN:010-331-002

Consideration of a Design Study (DS 14-83) for the replacement of a cap sheet, tar, and gravel roofs on flat roof areas with DuroLast plastic roof on a residence located in the Single-Family Residential (R-1) District

Christy Sabdo, Contract Planner presented the staff report, which included an overview of the proposed project to replace an existing cap sheet, tar, and gravel roof on the flat roof areas only with tan DuroLast PVC roofing materials.

Chair Reimers opened the public hearing.

Speaker #1: Jennifer Scudder, with Scudder Roofing spoke on the proposed DuroLast PVC roofing material.

Seeing no other speakers, Chair Reimers closed to public comment.

Mr. Mullane stated that there is some demand to look at the design guidelines which staff will address technological advances in the building industry once they have the capacity to bring the guidelines back to the Planning Commission and City Council.

**Commissioner Goodhue made a motion to approve the proposed DuroLast PVC roofing material due to the material not being visible from the street view and not having an effect on village character. Motion seconded by Vice Chair Patterson and carried unanimously.**

AYES: COMMISSIONERS: LePage, Goodhue, Martin, Reimers, Paterson

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: NONE

ABSTAIN: COMMISSIONERS: NONE

**X. DIRECTOR'S REPORT:**

The Director's report addressed the following:

- City Council Meeting closed session discussion Council announced unanimous support for City Administrator and City Attorney
- City Staff will be increasing community outreach.
- City Attorney will be more involved with Public Records requests
- Councils selection of Cody Anderson Wasney Architects for Forest Theater renovation project
- Council support for beach fire and management strategy update
- Update on PG&E incident in March and plans for Pipeline Safety project

**XI. SUB-COMMITTEE REPORTS**

**XII. ADJOURNMENT:**

There being no further business Chair Reimers adjourned the meeting at 8:26 p.m.

The next meeting of the Planning Commission will be:

Regular Meeting – Wednesday, September 10, 2014, at 4:00 pm, with a tour of inspection to begin at approximately 2:30 p.m.

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Acting Planning Commission Secretary

ATTEST:

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Jan Reimers, Chairman





CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

September 10, 2014

**To:** Chair Reimers and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director *RM*

**Submitted by:** Marc Wiener, Senior Planner

**Subject:** Consideration of Final Design Study (DS 14-32) and associated Coastal Development Permit application for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District

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**Recommendation:**

Approve the Design Study (DS 14-32) and the associated Coastal Development Permit subject to the attached findings and conditions

<b>Application:</b>	DS 14-32	<b>APN:</b>	010-176-025
<b>Location:</b>	Santa Lucia Avenue 2 northeast of Casanova Street		
<b>Block:</b>	146	<b>Lots:</b>	26 & 28
<b>Applicant:</b>	Carmel Building and Design	<b>Property Owner:</b>	Mary and Stuart Makler

**Background and Project Description:**

The project site is located on Santa Lucia Avenue two northeast of Casanova Street. The site is developed with a 1,137-square foot residence that includes a main upper level and a garage on the lower level. The residence is clad with a combination of board and batten siding and wood-shingle siding. A Determination of Historic Ineligibility was issued by the City on August 28, 2014.

The owner is proposing to expand the existing 1,137-square foot residence by 369 square feet. The addition is proposed on the upper main level of the residence. The project also includes: 1) the installation of new horizontal wood siding, 2) reconstruction and reconfiguration of the deck at the front of the residence, 3) the removal of approximately 454 square feet of site coverage from the property, 4) the construction a new 4-foot high grape stake fence at the front of the property, and 5) the removal of encroachments from the City Right-of-Way.

The Planning Commission reviewed this project on August 13, 2014, and continued it with a request for certain changes. The applicant has revised the design to address the recommendations made by the Planning Commission.

<b>PROJECT DATA FOR THE RECONFIGURED 4,009-SQUARE FOOT SITE:</b>			
<b>Site Considerations</b>	<b>Allowed</b>	<b>Existing</b>	<b>Proposed</b>
Floor Area	1,803 sf (45%)	1,137 sf (28.4%)	1,507 sf (37.6%) 1,166 sf residence 340 sf garage
Site Coverage	556 sf (13.9%)*	982 sf (28.3%)	528 sf (13.1%)
Trees (upper/lower)	3/1 trees (recommended)	0/7 trees	1/7 trees
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18 ft./24 ft.	15 ft./19 ft.	No Change
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12 ft./18 ft.	12 ft./17 ft.	No Change
<b>Setbacks</b>	<b>Minimum Required</b>	<b>Existing</b>	<b>Proposed</b>
Front	15 ft.	13 ft. 2 in	No Change
Composite Side Yard	12.5 ft. (25%)	18 ft. 3 in. (60%)	No Change
Minimum Side Yard	3 ft.	3 ft. 7 in.	No Change
Rear	3 ft. (1st-story) 15 ft. (2nd-story)	36 ft.	22 ft. 10 in.
*Includes a 4% bonus if 50% of all coverage is permeable or semi-permeable			

**Staff analysis:**

**Previous Hearing:** The following is a list of recommendations made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The applicant shall submit a landscape plan for final Planning Commission review that includes one new upper-canopy tree on the site.*

**Analysis:** The applicant is proposing to maintain the existing landscaping, as shown in the site photographs included in Attachment A. The site plan on Sheet A-1.2 of the plan set indicates that one new upper-canopy Monterey pine tree will be planted at the rear of the property.

2. *Prior to final building inspection, the applicant shall remove the encroachments in the City Right-of-Way as indicated on the project plans.*

**Analysis:** The City Right-of-Way (ROW) at the front of the property is approximately 14 feet wide between the front property line and Santa Lucia Avenue. It is unpaved and is mostly undeveloped. However, there are existing encroachments in the ROW such as the front fence and 10-inch high stone wall. Sheet A-1.1 of the plan set includes a note that the encroachments will be removed. A condition has been drafted requiring the encroachments to be removed prior to final building inspection.

3. *The applicant shall include a proposal to screen the trash cans from public view.*

**Analysis:** The project plans have been revised to include a proposal for a trash can storage area under the front deck. The south elevation drawing on Sheet A-3.2 of the plan set depicts a set of doors that will be used to access the trash can storage area.

4. *The applicant shall revise the design to use consistent finish materials on the lower level.*

**Analysis:** The original proposal included horizontal wood siding on the south (front) elevation of the lower level and stucco along the side elevations. The applicant has replaced the stucco along the sides of the building with horizontal wood siding. In addition to the horizontal wood siding, the applicant is also proposing a Carmel stone wainscot around the front of the garage. Other finish material is included unclad wood doors and windows and a wood-shingle roof.

**Environmental Review:** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 369-square foot addition an existing 1,137-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

#### **ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans

**Attachment A – Site Photographs**



**Project site – Facing north on Santa Lucia**



**Project site – Westerly side-yard of property**



**Project site – Rear of the residence facing west**

## Attachment B – Findings for Approval

DS 14-32 (Makler)  
 September 10, 2014  
 Findings for Approval  
 Page 1

### **FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)**

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	
<b>Coastal Development Findings (CMC 17.64.B.1):</b>		
13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	

## Attachment C – Conditions of Approval

DS 14-32 (Makler)  
 September 10, 2014  
 Conditions of Approval  
 Page 1

<b>Conditions of Approval</b>		
<b>No.</b>	<b>Standard Conditions</b>	
1.	<b>Authorization:</b> This approval of Design Study (DS 14-32) authorizes: 1) a 369-square foot addition to an existing 1,137-square foot residence, 2) the installation of new horizontal wood siding, 3) reconstruction and reconfiguration of the deck at the front of the residence, 4) the removal of approximately 454 square feet of site coverage from the property, 5) the construction a new 4-foot high grape stake fence at the front of the property, and 6) the removal of encroachments from the City Right-of-Way as depicted on the September 10, 2014 approved plans.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction,	✓



	the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,009-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	✓
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden	✓

	mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the	N/A

	<b>Planning Commission.</b>	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
	<b>Special Conditions</b>	
22.	The applicant shall plant and maintain one new upper-canopy tree of substantial size and caliber and of a species approved by the City Forester. The location, size, and species of this tree shall be noted on a revised landscape plan, and this plan shall be submitted with the Building Permit application plan set. Prior to issuance of the Certificate of Occupancy the trees shall be planted on site located approximately 10 feet from any building.	✓
23.	Prior to final building inspection, the applicant shall remove the existing encroachments from the City ROW including the front fence and 10-inch high stone wall.	✓
24.	Prior to final building inspection, the applicant shall remove 454 square feet of site coverage from the property.	

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
 Property Owner Signature

\_\_\_\_\_  
 Printed Name

\_\_\_\_\_  
 Date

***Once signed, please return to the Community Planning and Building Department.***

# MAKLER RESIDENCE

## SINGLE FAMILY RESIDENCE REMODEL AND ADDITION

2 N.E. of Casanova St. on Santa Lucia Ave., Carmel, Ca 93921

RECEIVED

AUG 20 2014

City of Carmel-by-the-Sea  
Planning & Building Dept.

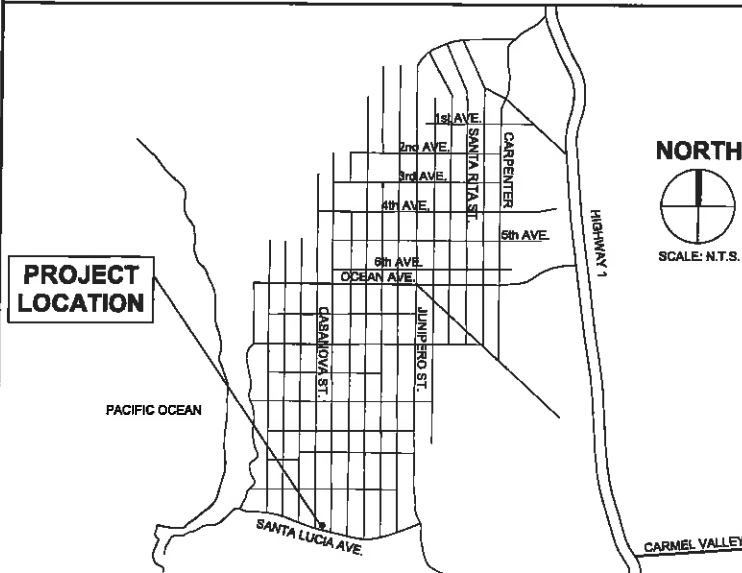
### PLUMBING AND ELECTRICAL NOTES

- FOR ALL NEW PLUMBING AND ELECTRICAL ITEMS:
1. ALL SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.0 G.P.M.
  2. ALL SING FAUCETS SHALL HAVE A MAX FLOW RATE OF 2.2 G.P.M.
  3. ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.8 GAL.
  4. HOMERUN ALL NEW CIRCUITS TO ELECTRICAL PANEL.
  5. ALL KITCHEN AND BATHROOM ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION.
  6. ALL ELECTRICAL ITEMS SHOWN ARE NEW UNLESS OTHERWISE NOTED.
  7. PROVIDE TWO SMALL-APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS.
  8. PROVIDE SEPARATE BRANCH CIRCUITS AT EACH BEDROOM WITH THE REQUIRED ARC-FAULT CIRCUIT INTERRUPTERS.
  9. PROVIDE HARD WIRED SMOKE DETECTORS WITH BATTERY BACKUP IN EACH BEDROOM, HALLWAY & WHERE INDICATED.
  10. SMOKE DETECTORS SHALL BE INTER-CONNECTED TO SOUND AN ALARM AUDIBLE IN ALL BEDROOMS.
  11. USE WATER RESISTANT GYPSUM WALL BOARD BEHIND NEW TILE, SHOWER AND SINKS.
  12. INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS SHALL BE I.C. RATED BY UL OR OTHER APPROVED AGENCY.

### FIRE SAFETY REQUIREMENTS

1. DEFENSIBLE SPACE REQUIREMENTS - MANAGE COMBUSTIBLE VEGETATION WITHIN A MIN. OF 100 FEET OF STRUCTURES (OR THE PROPERTY LINE). LIMB TREES 6 FEET UP FROM GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS.
2. FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - THE BUILDING AND ATTACHED GARAGE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD.
3. SMOKE ALARMS - (SINGLE FAMILY DWELLING) - WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGLER ALARM SYSTEM IS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE USC - THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT.
4. ROOF CONSTRUCTION - ICBO CLASS A ROOF CONSTRUCTION.

### VICINITY MAP



OWNER:  
STUART & MARY MAKLER  
2 N.E. OF CASANOVA ST. ON SANTA LUCIA AVE.  
CARMEL, CA 93921

SITE ADDRESS:  
2 N.E. OF CASANOVA ST. ON SANTA LUCIA AVE.  
CARMEL, CA 93921

DESIGNER/BUILDER:  
CARMEL BUILDING & DESIGN  
P.O. BOX 2201  
CARMEL, CA 93921  
P. 831.626.8606

### PROJECT DATA

APR: 010-178-025  
ZONING: R-1  
LOT: 25  
LOT SIZE: 4008.04 SQ. FT.  
FRONT / REAR SETBACK = 15'-0" / 15'-0"  
SIDE SETBACKS: WEST - 25% OF LOT WIDTH / EAST - 3'-0"  
BUILDING HEIGHT: 19'-3" (EXISTING) 20'-2" (PROPOSED)  
AVERAGE GRADE: 213.28' GRADE AT HIGHEST RIDGE: 221.55'  
TREE INFORMATION: (1) CALLISTEMON TREE TO BE REMOVED. (1) MONTEREY PINE TO BE ADDED.  
FLOOR AREA ALLOWED: 1,804.1 SQ. FT. (+MAX. 668 SQ. FT. SITE COVERAGE w/ 50% PERMEABLE)

FLOOR AREA	EXISTING	PROPOSED
MAIN FLOOR:	797.5 SQ. FT.	1,188.3 SQ. FT.
GARAGE (BELOW MAIN FLOOR):	340.1 SQ. FT.	340.1 SQ. FT.
<b>TOTAL:</b>	<b>1,137.5 SQ. FT.</b>	<b>1,508.4 SQ. FT.</b>
<b>SITE COVERAGE:</b>		
	<b>IMPERMEABLE:</b>	<b>PERMEABLE:</b>
DECK:	0 SQ. FT.	286.6 SQ. FT.
DRIVEWAY:	0 SQ. FT.	230.7 SQ. FT.
BRICK WALKWAY:	19.3 SQ. FT.	0 SQ. FT.
STEPPING STONES:	11.0 SQ. FT.	0 SQ. FT.
<b>SUB TOTALS:</b>	<b>30.3 SQ. FT.</b>	<b>497.2 SQ. FT.</b>
<b>TOTAL SITE COVERAGE: 527.5 SQ. FT.</b>		

#### Allowed Volume Worksheet

Project: MAKLER RESIDENCE Site Area: 4008.04 Average Grade: 213.28

1. Total Area (Floor Area) Allowed (From Municipal Code) based on site area and location of property: 1,804.1 sq. ft.
2. Total Area (Floor Area) Proposed (includes all floor area but does not count below basement of space): 1,508.4 sq. ft.

Item	Proposed Area	Allowed Volume
a. One Story Floor Area (finished roof):	<u>1,188.3</u> sq. ft.	<u>15,915.6</u> cu. ft.
b. One Story Floor Area (flat roof):	<u>0</u> sq. ft.	<u>0</u> cu. ft.
c. Two Story Floor Area (finished roof):	<u>0</u> sq. ft.	<u>0</u> cu. ft.
d. Two Story Floor Area (flat roof):	<u>0</u> sq. ft.	<u>0</u> cu. ft.
e. Totals	<u>1,188.3</u> sq. ft.	<u>15,915.6</u> cu. ft.

3. Average Volume Factor (Allowed Volume Total divided by Proposed Area Total) = 13.4

3. Total Floor Area in a True Basement: 0 sq. ft.
4. Base Floor Area in Basement: 0 sq. ft. x (Average Volume Factor) = 0 cu. ft.
5. Basement Floor Area: 0 sq. ft.
6. Unexcavated Floor Area: 0 sq. ft. x (Average Volume Factor) = 0 cu. ft.
7. Allowed Volume before Basement (Line 1) x (Line 4) + (Line 5) = 15,915.6 cu. ft.
8. Allowed Volume with Basement (Volume on Line 7 + (Line 6) + (Line 5)) = 15,915.6 cu. ft.
9. Second Floor on Allowed Volume (Line 8) minus Volume on Line 7 = 0 cu. ft.

\* Carmel-by-the-Sea Design Department \* Submittal Requirements \*

### GENERAL NOTES

1. CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
2. SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
3. QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE REASONABLE CARE AND COMPETENCE IN THE EXECUTION OF THE CONSTRUCTION PROCESS AND PRODUCT. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE DESIGNERS SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
4. WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT, FURNISHED UNDER THIS CONTRACT, WILL BE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
5. PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
6. LEGAL/NOTICE/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNERS IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS (2007 C.B.C.)
7. RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
8. SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK AND SHALL ADHERE TO ALL FEDERAL, STATE, LOCAL & O.S.H.A. SAFETY REGULATIONS.
9. INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER THE WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
10. INDEMNIFICATION: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE DESIGNERS FROM AND AGAINST ALL CONSEQUENTIAL CLAIMS/DAMAGES/LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
11. CLEANUP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
12. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNERS OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
13. ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
14. NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
15. SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GLUE LAMINATED BEAMS AND PREFABRICATED TRUSSES, WINDOWS & DOORS, FINISH CARPENTRY. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER AND/OR DESIGNER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.
16. CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND BINDING.
17. CONSTRUCTION, BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
18. SIMILAR CONDITIONS: CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.
19. DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
20. TECHNICAL SPECIFICATIONS: ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

### SHEET INDEX

- #### DESIGN
- A0.1 COVER SHEET, PROJECT DATA
  - A1.1 EXISTING SITE PLAN
  - A2.1 PROPOSED SITE PLAN
  - A2.2 EXISTING FLOOR PLANS/DEMO PLAN
  - A2.3 PROPOSED FLOOR PLAN, BUILDING SECTION & DOOR SCHEDULE
  - A3.1 EXISTING EXTERIOR ELEVATIONS
  - A3.2 PROPOSED EXTERIOR ELEVATIONS
  - A4.1 BUILDING SECTIONS
  - A8.1 WINDOW & DOOR SCHEDULE
- E1.0 ELECTRICAL PLAN**

### PROJECT DESCRIPTION

REMODEL AND ADDITION OF 368.5 SQ. FT. TO THE MAIN LEVEL OF AN EXISTING 797.5 SQ. FT. SINGLE FAMILY RESIDENCE. EXISTING GARAGE ON GROUND FLOOR TO REMAIN SAME SIZE AND SHALL RECEIVE A NEW WOOD, ROLL UP GARAGE DOOR. ALL EXTERIOR CEDAR SHAKE SHINGLE ON MAIN LEVEL AND BOARD AND BATTEN SIDING AT GARAGE LEVEL TO BE REMOVED AND REPLACE WITH HORIZONTAL LAP SIDING WITH AN 8" REVEAL. BRICK VENEER AT GARAGE DOORS TO BE REMOVED AND REPLACED WITH NEW CARMEL STONE ASHLAR LAY VENEER. EXISTING BRICK FIREPLACE CHIMNEY TO REMAIN. ALL SINGLE PANE, ALUMINUM WINDOWS TO BE REPLACED WITH DOUBLE PANE, ENERGY EFFICIENT WOOD WINDOWS. EXISTING ASPHALT SHINGLE ROOF TO BE REPLACED WITH NEW 3/4" SAWN SHINGLE ROOF. EXISTING EXTERIOR 244 SQ. FT. FRONT DECK TO BE REMOVED AND REPLACED WITH NEW 286.5 SQ. FT. REDWOOD DECK. REAR SAND SET, BRICK PATIO TO BE REMOVED, RELOCATED AND REPLACED WITH NEW WOOD CHIP PATIO. WALK WAY AT WEST SIDE OF PROPERTY TO BE EXTENDED TO NEW REAR PATIO AND SHALL BE FINISHED WITH WOODCHIPS. PAVERS AT FRONT ENTRY WALKWAY TO BE REMOVED AND REPLACED WITH WOODCHIPS AND 12"x12" STONE PAVERS (11 SQ. FT.).

### OWNER NOTES

- OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:
1. TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY CARMEL BUILDING AND DESIGN HERINAFTER REFERRED TO AS "DESIGNERS" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.
  2. THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE DESIGNERS HEREBY STATE THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
  3. THE DESIGNERS DISCLAIM ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
  4. IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS, THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNERS, FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

### PROJECT NOTES

1. BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2013 EDITION OF THE CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, FIRE, CURRENT ENERGY CODES AND ANY AMENDMENTS OF THE PRESIDING CITY OR COUNTY.
2. PROTECT ALL TREES DURING CONSTRUCTION.
3. MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 2,500 PSI.
4. ALL REINFORCING STEEL SHALL CONFORM TO THE A.S.T.M. A-615 GRADE 60 UNLESS OTHERWISE NOTED ON PLANS. DEFORMATION SHALL BE IN ACCORDANCE WITH A.S.T.M. A-305. WELDED WIRE FABRIC: WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A-185.
5. LUMBER SPECIES AND GRADES SHALL CONFORM TO THE FOLLOWING U.O.N.: MAXIMUM MOISTURE CONTENT OF LUMBER SHALL BE 19%. ALL DOUGLAS FIR LUMBER WHICH IS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED. ALL GRADING SHALL CONFORM TO THE RULES AND REGULATIONS OF THE W.W.P., R.A. & P.A. PLYWOOD SHALL BE D.F. CONFORMING TO THE U.S. PRODUCT STANDARDS PS 1-74 WITH EXTERIOR GLUE, GRADE STAMPED A.P.A. SEE FRAMING PLANS FOR ADDITIONAL REQUIREMENTS.
6. WALL CONSTRUCTION SHALL COMPLY WITH CBC TABLE 2308.9.1 (FOR CONVENTIONAL CONSTRUCTION).
7. NAILING TO BE IN COMPLIANCE WITH CBC TABLE 2304.9.1.
8. ALL MANUFACTURER'S INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.
9. THE BUILDER/CONTRACTOR TO PROVIDE OWNER AND THE CITY OF CARMEL WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.

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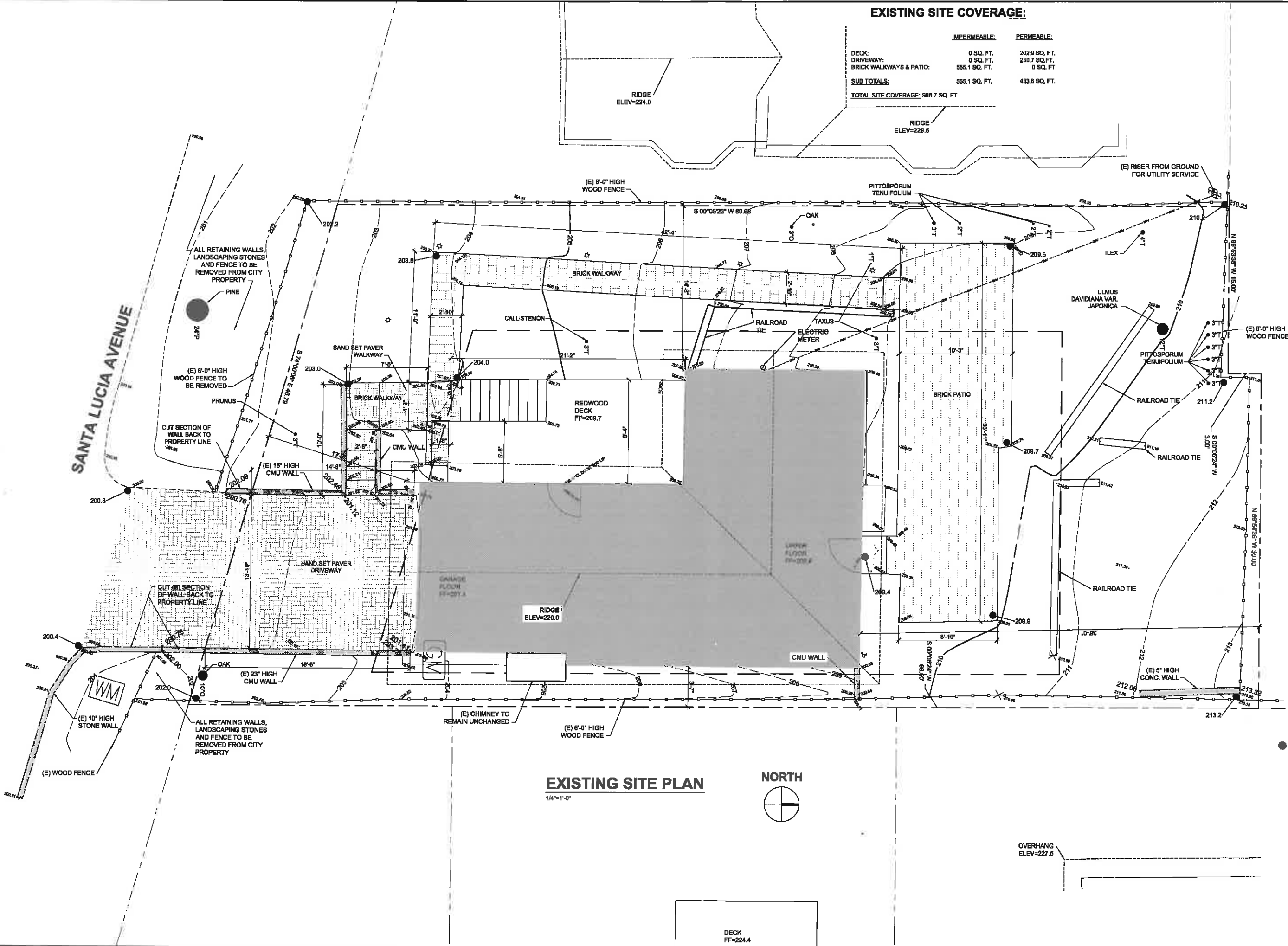
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COVER PAGE, PROJECT DATA  
MAKLER RESIDENCE  
SANTA LUCIA AVE & CASANOVA ST  
CARMEL BY THE SEA, CA  
APN: 010-176-025

PAGE:  
**A0.1**  
28

**EXISTING SITE COVERAGE:**

	IMPERMEABLE:	PERMEABLE:
DECK:	0 SQ. FT.	202.9 SQ. FT.
DRIVEWAY:	0 SQ. FT.	230.7 SQ. FT.
BRICK WALKWAYS & PATIO:	555.1 SQ. FT.	0 SQ. FT.
<b>SUB TOTALS:</b>	<b>555.1 SQ. FT.</b>	<b>433.6 SQ. FT.</b>
<b>TOTAL SITE COVERAGE: 988.7 SQ. FT.</b>		



**EXISTING SITE PLAN**

1/4"=1'-0"

NORTH



OVERHANG  
ELEV=227.5

DECK  
FF=224.4

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**EXISTING SITE PLAN**  
**MAKLER RESIDENCE**  
SANTA LUCIA AVE & CASANOVA ST  
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APN: 010-176-025

PAGE:

**A1.1**

**PROPOSED SITE COVERAGE:**

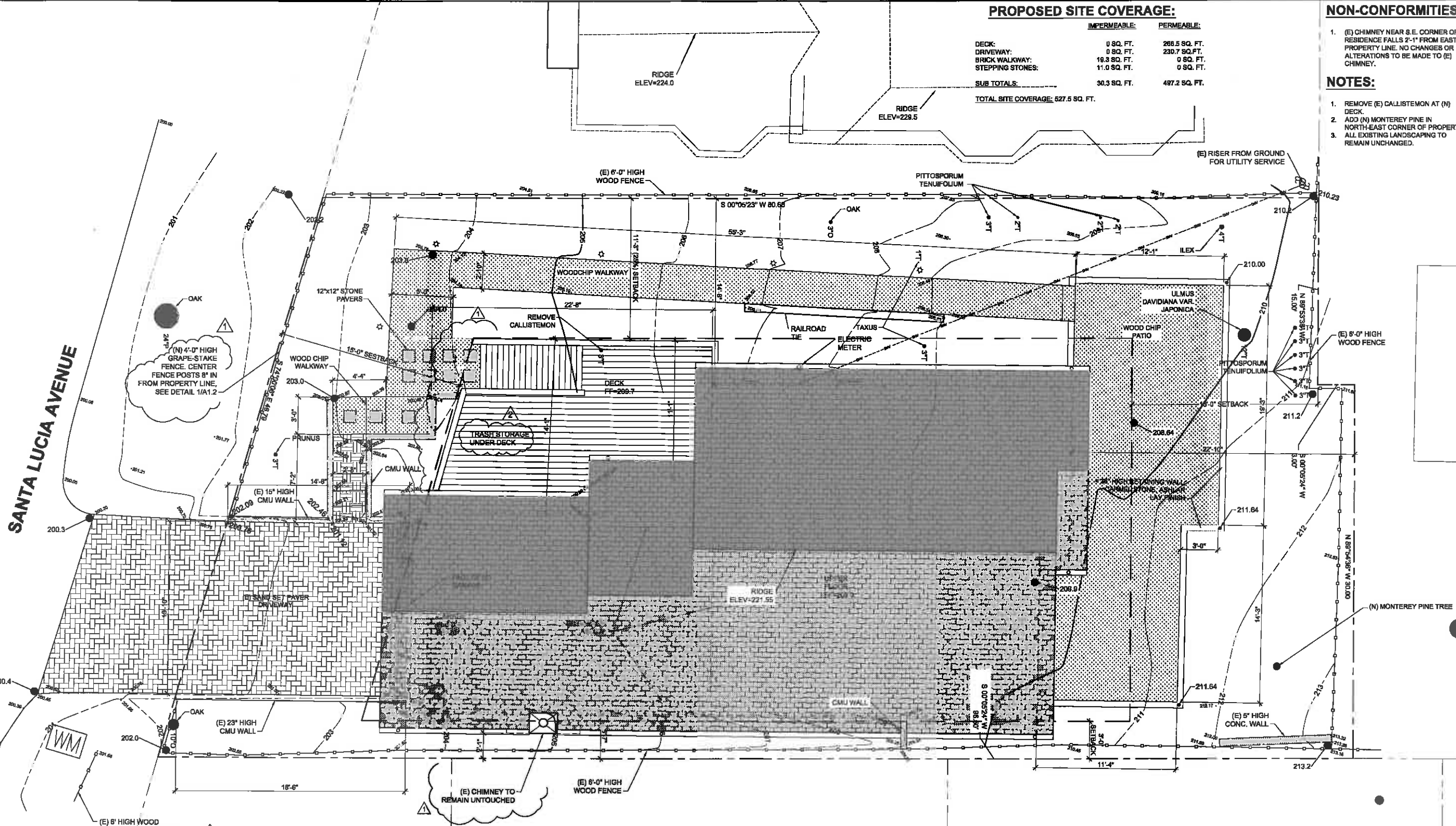
	IMPERMEABLE:	PERMEABLE:
DECK:	0 SQ. FT.	266.5 SQ. FT.
DRIVEWAY:	0 SQ. FT.	230.7 SQ. FT.
BRICK WALKWAY:	19.3 SQ. FT.	0 SQ. FT.
STEPPING STONES:	11.0 SQ. FT.	0 SQ. FT.
<b>SUB TOTALS:</b>	<b>30.3 SQ. FT.</b>	<b>497.2 SQ. FT.</b>
<b>TOTAL SITE COVERAGE: 527.5 SQ. FT.</b>		

**NON-CONFORMITIES:**

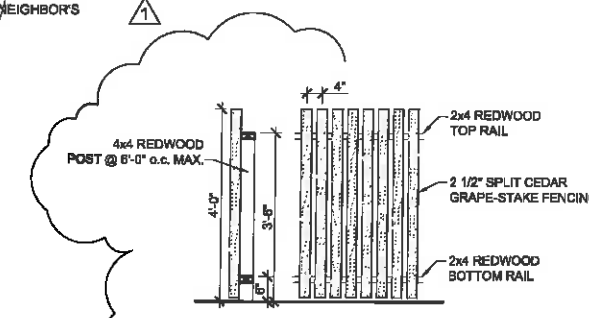
- (E) CHIMNEY NEAR S.E. CORNER OF RESIDENCE FALLS 2'-1" FROM EAST PROPERTY LINE. NO CHANGES OR ALTERATIONS TO BE MADE TO (E) CHIMNEY.

**NOTES:**

- REMOVE (E) CALLISTEMON AT (N) DECK.
- ADD (N) MONTEREY PINE IN NORTH-EAST CORNER OF PROPERTY
- ALL EXISTING LANDSCAPING TO REMAIN UNCHANGED.



**PROPOSED SITE PLAN**  
1/4" = 1'-0"

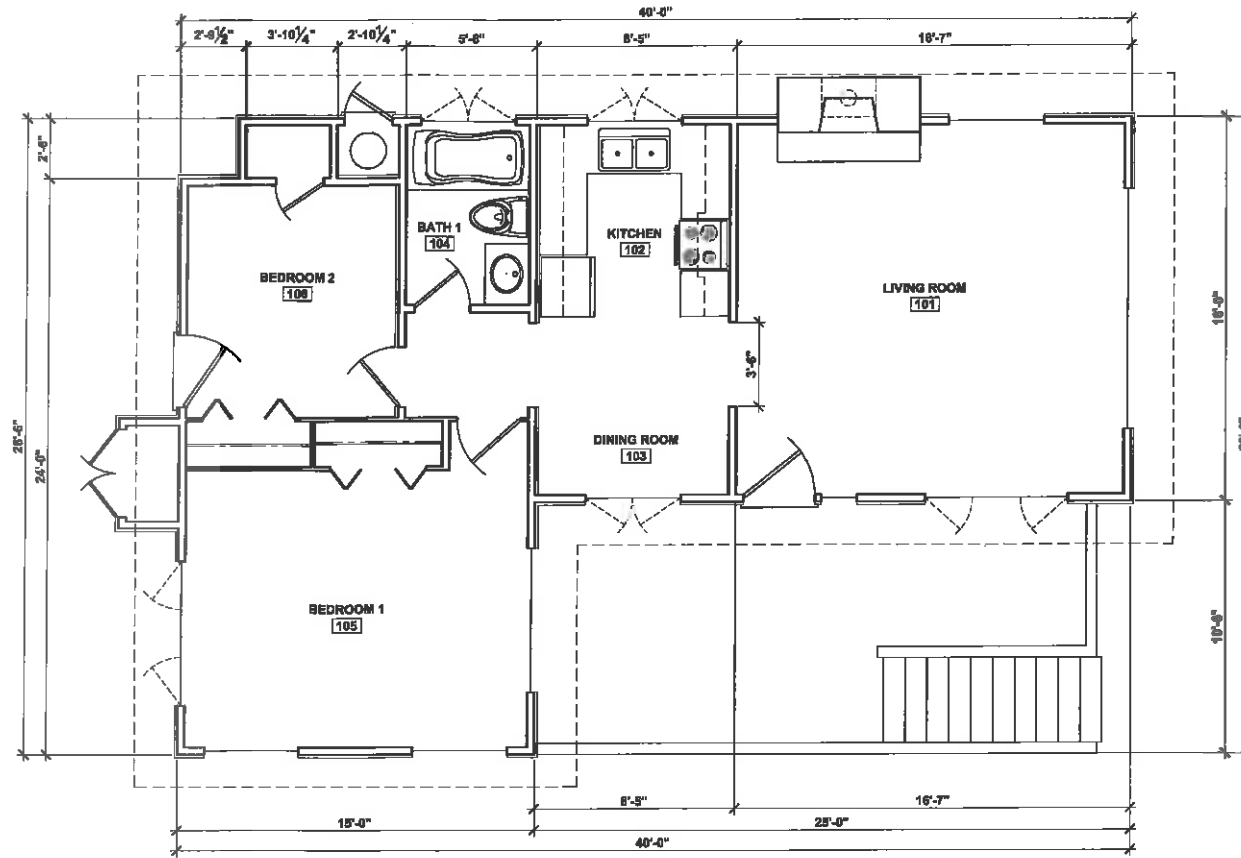


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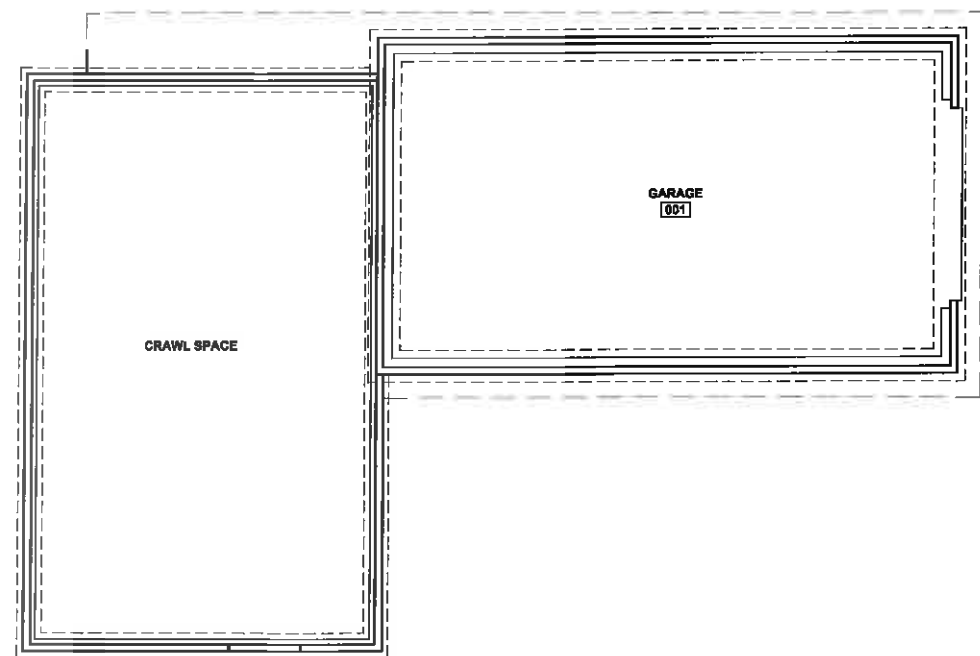
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**PROPOSED SITE PLAN**  
**MAKLER RESIDENCE**  
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**EXISTING FLOOR PLAN**  
1/4"=1'-0"  
NORTH



**(E) GARAGE PLAN**  
1/4"=1'-0"  
NORTH

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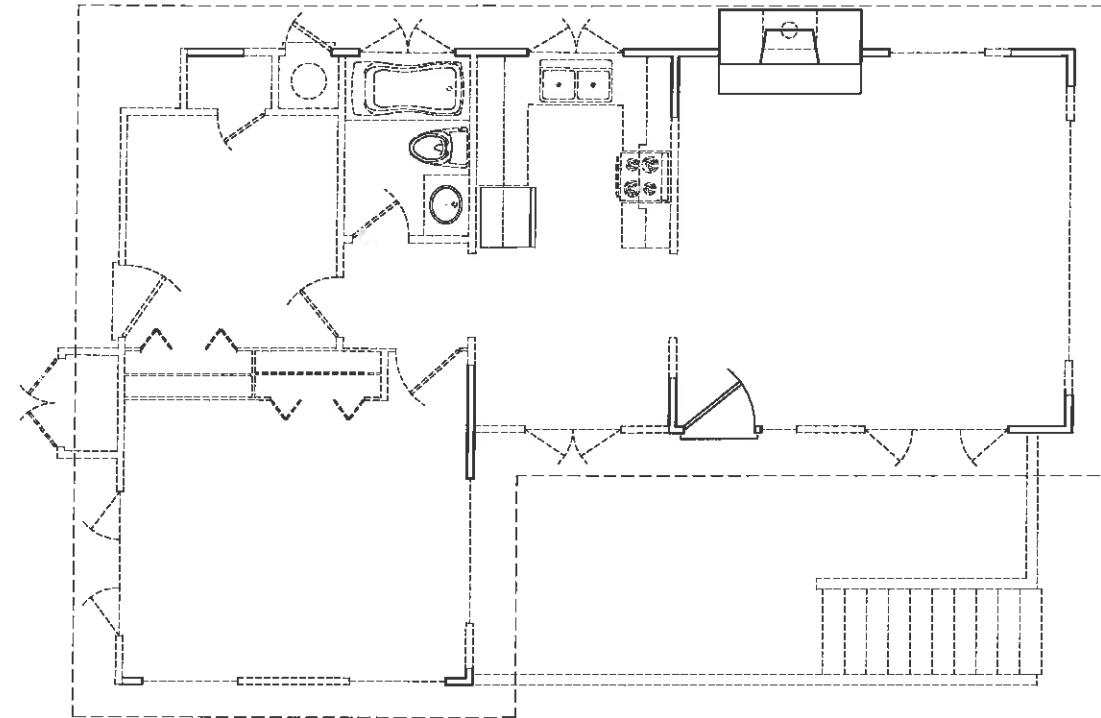
**EXISTING FLOOR PLAN/DEMO**  
**MAKLER RESIDENCE**  
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APN: 010-176-025

**LEGEND:**

- (N) 2x4 FRAMING
- (E) 2x4 FRAMING
- - - (E) 2x4 FRAMING TO BE REMOVED

**EXTERIOR WALL RATIO:**

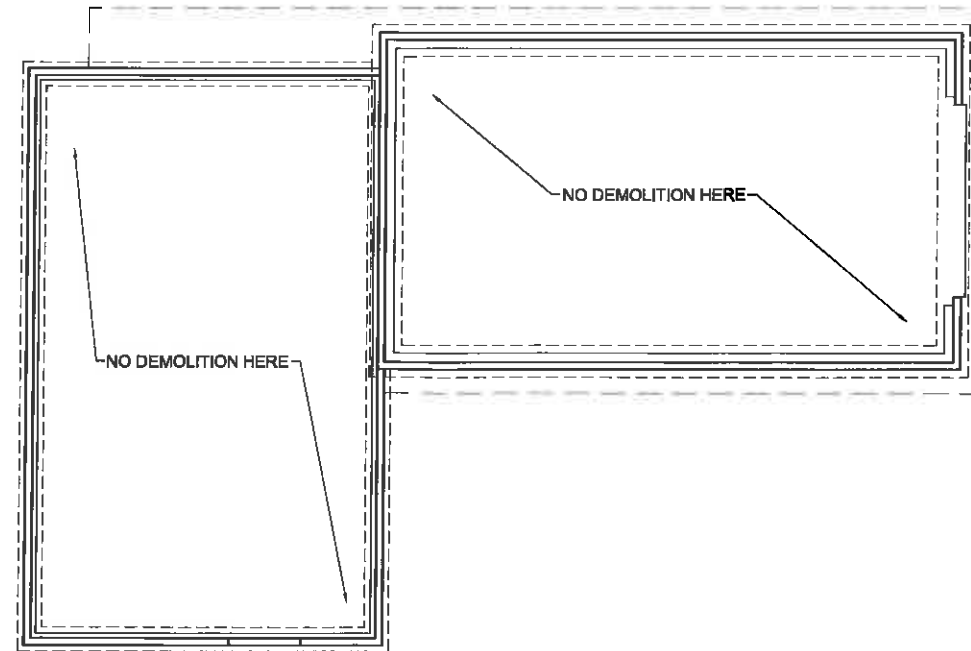
EXISTING LINEAR WALL LENGTH:	125'-3 1/2"
ALTERED LINEAR WALL LENGTH:	4'-0"
REMOVED LINEAR WALL LENGTH:	51'-3 1/8"
TOTAL ALTERED/REMOVED LENGTH:	55'-3 1/8"
LINEAR WALL RATIO:	44.1%



**MAIN FLOOR DEMOLITION PLAN**

1/4"=1'-0"

NORTH



**BASEMENT DEMOLITION PLAN**

1/4"=1'-0"

NORTH



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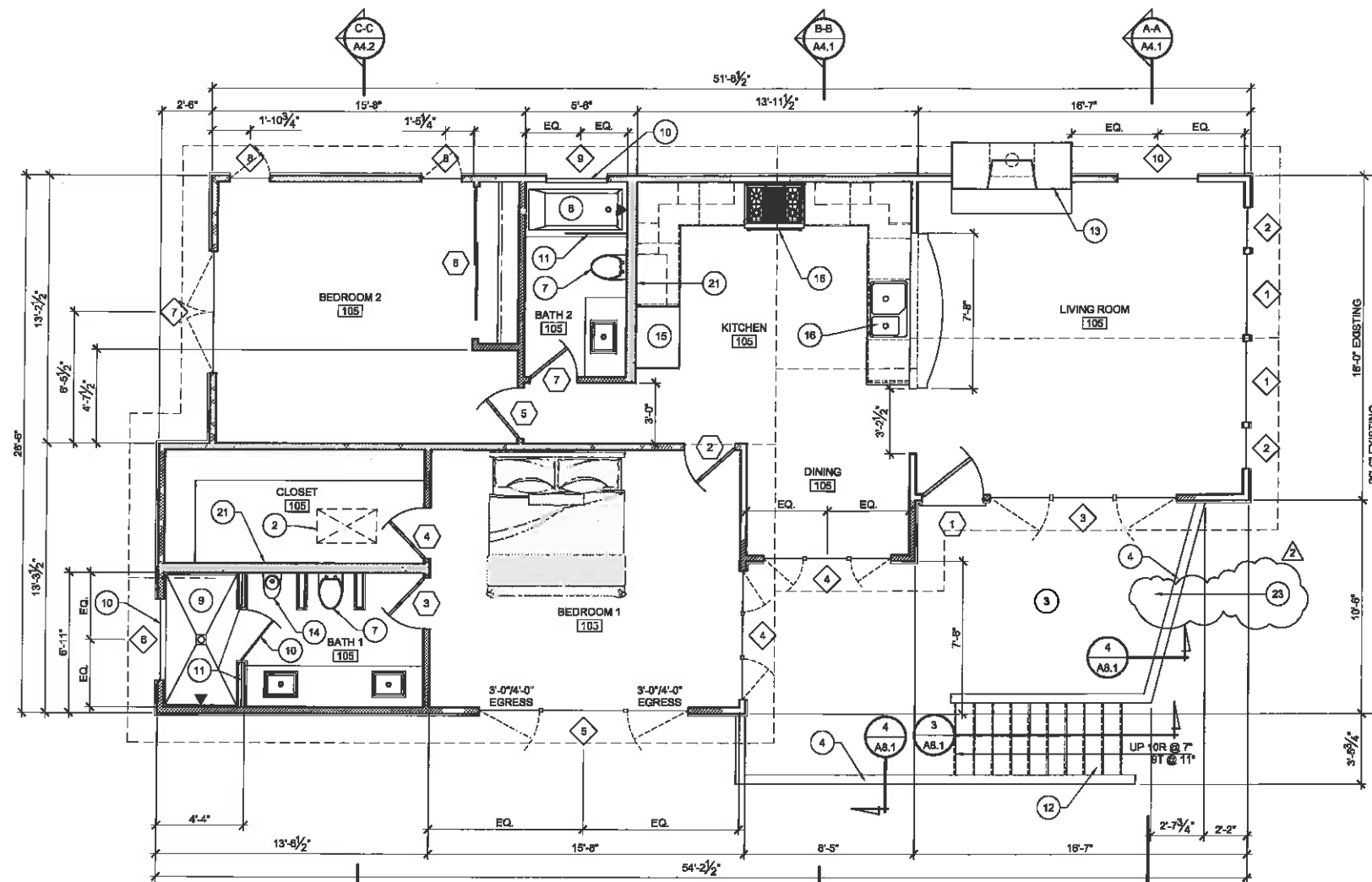
**DEMOLITION PLAN**

**MAKLER RESIDENCE**  
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APN: 010-176-025

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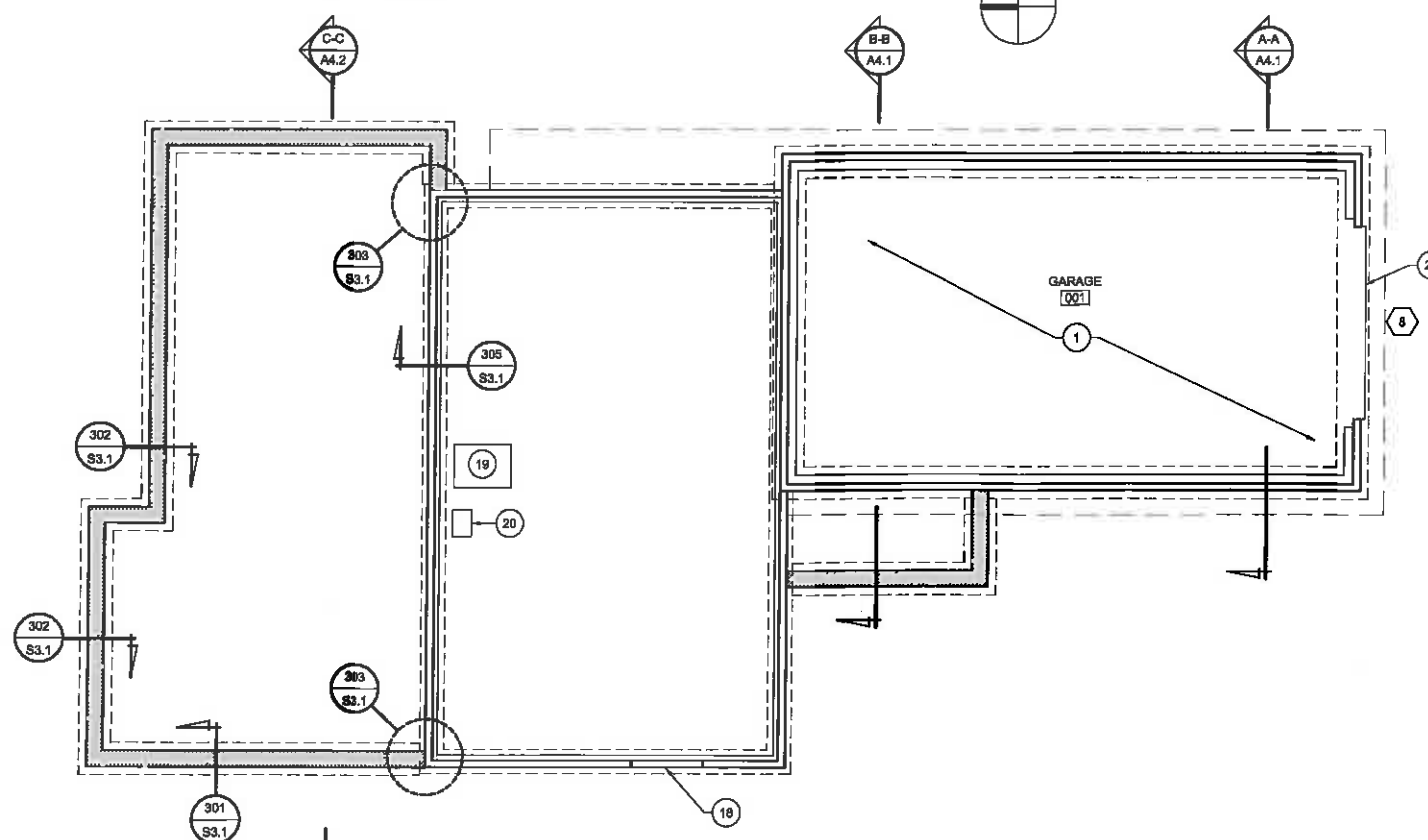
**A2.2**





**PROPOSED FLOOR PLAN**  
1/4"=1'-0"

NORTH



**EXISTING BASEMENT** (w/ (N) FOUNDATION ADDITION)  
1/4"=1'-0"

**NOTES:**

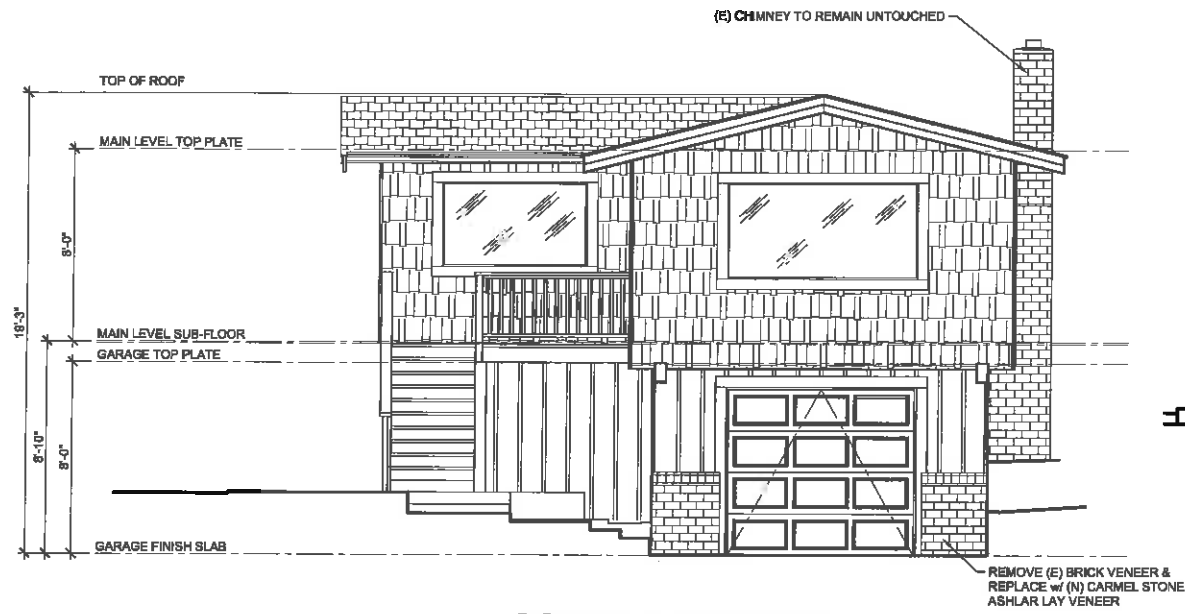
- (N) 2x4 FRAMING
- (E) 2x4 FRAMING
- 1. PROVIDE 1-HOUR FIRE SEPARATION AT GARAGE; USE 1/2" F.R.G.W.D. @ WALLS AND CEILING OF GARAGE.
- 2. PROVIDE 20" x 30" MIN. ATTIC ACCESS.
- 3. ENTRY DECK.
- 4. 42" HIGH GUARDRAILS.
- 5. KITCHEN SINK w/ GARBAGE DISPOSAL. PROVIDE 120V GFI OUTLET IN CABINET SPACE.
- 6. 42" HIGH BREAKFAST COUNTER.
- 7. WATER CLOSET; PROVIDE MIN. 18" CLR. ON EITHER SIDE.
- 8. TUBSHOWER w/ TILE SURROUND AND SCALD GUARD. FINISH HEIGHT TO BE NOT LESS THAN 70" ABOVE THE DRAIN INLET. PER USC 261.1.2. PROVIDE WR GYPSUM BOARD OR DEMENT BACKER BOARD BEHIND TILE OR WALL PANELS PER USC 261.2. WR GYPSUM BOARD SHALL NOT BE USED AT THE CEILING WHERE JOISTS ARE SPACED MORE THAN 12" O.C. PER USC 261.2(2). WHERE WOOD FRAMED WALLS ARE SUBJECT TO WATER SPLASH, THE FRAMING SHALL BE PROTECTED WITH AN APPROVED MOISTURE BARRIER CONFORMING TO USC 2608.1.
- 9. SHOWER w/ TILE SURROUND AND SCALD GUARD. SEE NOTE 8 FOR FINISH AND CODE REQUIREMENTS.
- 10. TEMPERED GLAZING, SEE WINDOW/DOOR SCHEDULES ON A4.1.
- 11. PROVIDE TEMPERED GLAZING AT SHOWER SURROUND AND DOOR.
- 12. STAIR RISERS NOT TO EXCEED A RISE OF 7 3/4" AND SHALL NOT EXCEED A MAXIMUM 3/4" DIFFERENCE BETWEEN EACH RISER. STAIR TREADS SHALL NOT BE LESS THAN 10" DEEP AND HAVE A MAXIMUM SLOPE OF 14% (2%).
- 13. (E) FRIER PLACE TO REMAIN UNTOUCHED.
- 14. WATERLESS WALL MOUNTED URINAL.
- 15. REFRIGERATOR w/ ICE MAKER.
- 16. FINE STANDING OVERHANGE COMBO w/ OVERHEAD HOOD FAN. PROVIDE GAS & 220V OUTLET.
- 17. KITCHEN SINK w/ GARBAGE DISPOSAL. PROVIDE SWITCH AT BACKSPLASH & 120V GFI OUTLET IN CABINET BELOW.
- 18. (E) CRAWL SPACE ACCESS.
- 19. LOCATE FURNACE IN CRAWL SPACE. LOCATE FURNACE MAX. DISTANCE OF 20'-0" OF CRAWL SPACE ACCESS. PROVIDE A PERMANENT LIGHT FIXTURE AND DUPLEX OUTLET AT OR NEAR THE APPLIANCE WITH SWITCH LOCATED AT THE REQUIRED ACCESS OPENING.
- 20. LOCATE ON DEMAND WATER HEATER w/ RECIRCULATION PUMP IN CRAWL SPACE.
- 21. 2x8 PLUMBING WALL.
- 22. REPLACE (E) GARAGE DOOR w/ (N) DOOR TO MATCH (E) OPENING.
- 23. TRASH ENCLOSURE TO BE LOCATED UNDER DECK.

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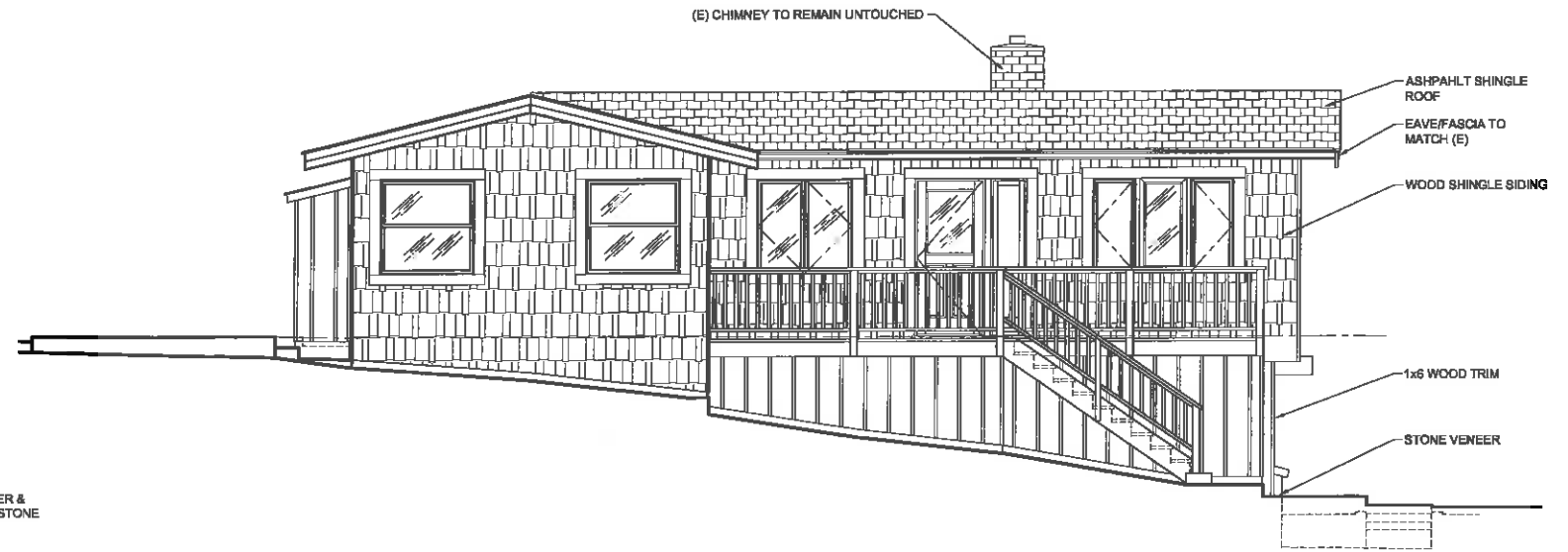
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**PROPOSED FLOOR PLAN**  
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**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



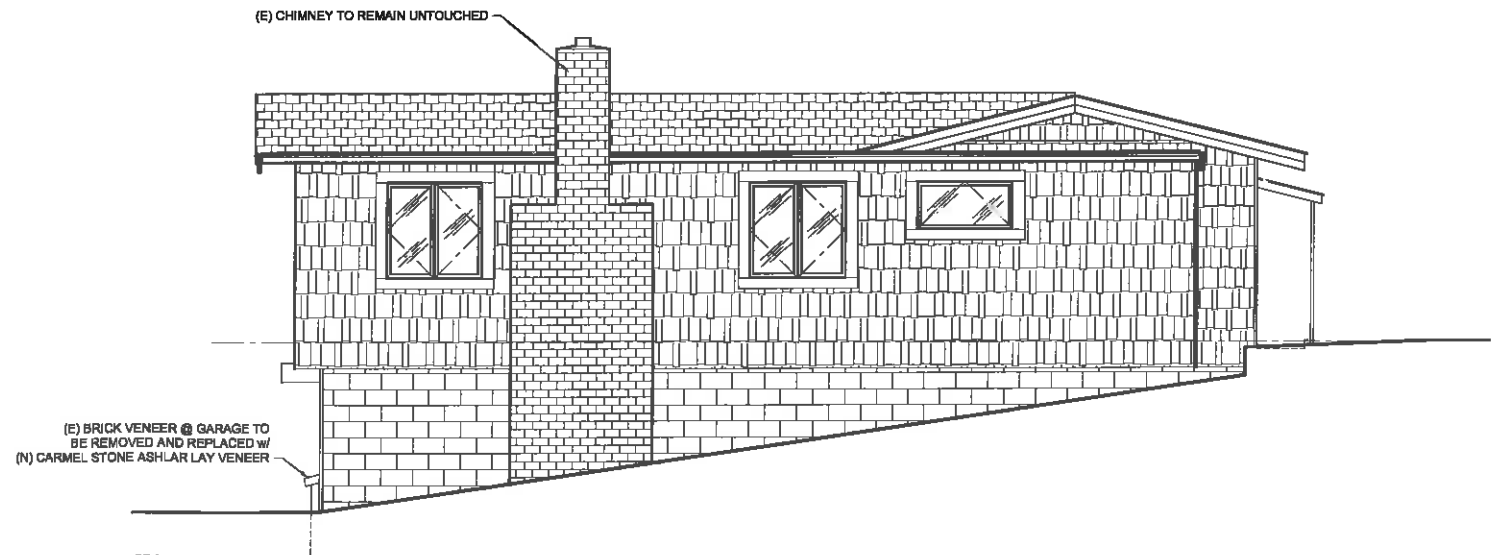
**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

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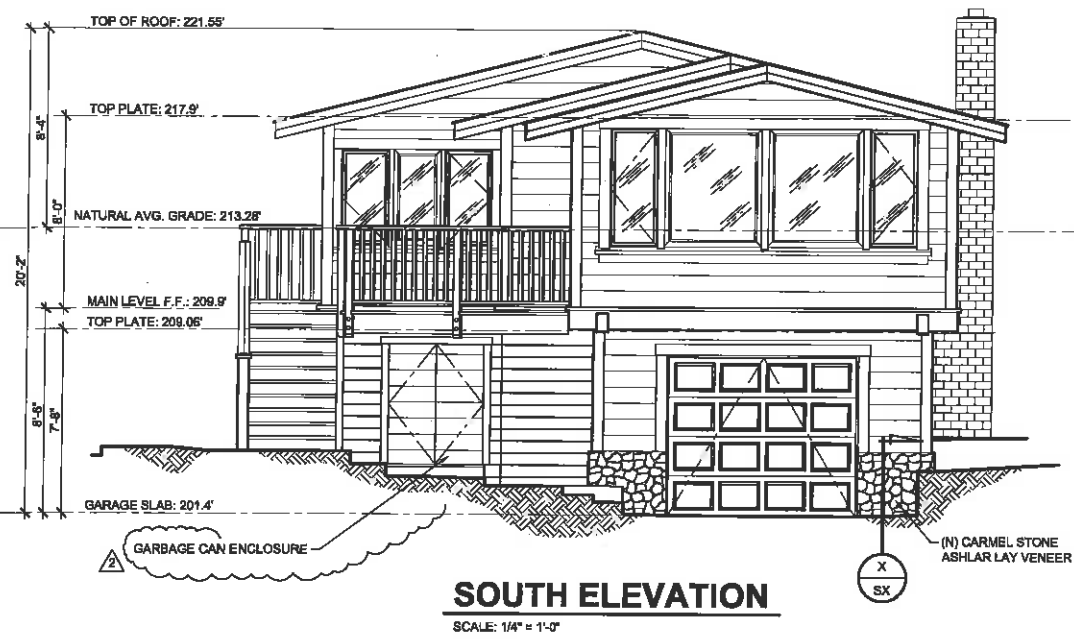
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EXISTING EXT. ELEVATIONS

MAKLER RESIDENCE  
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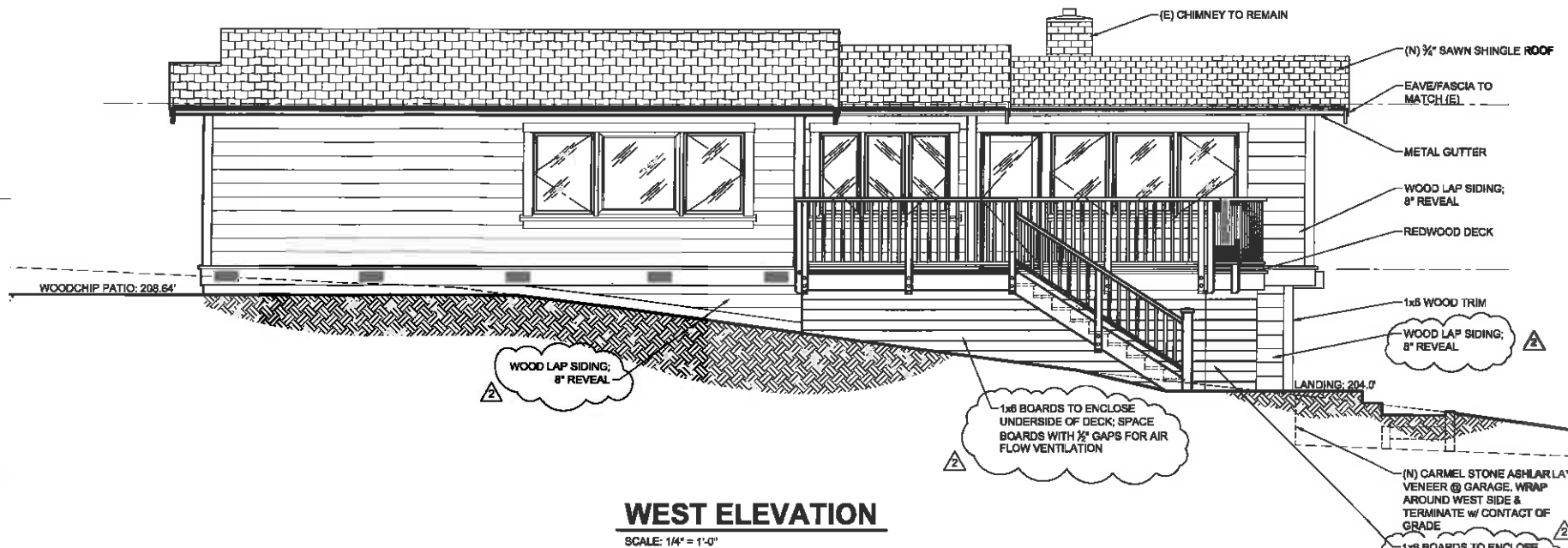
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A3.1



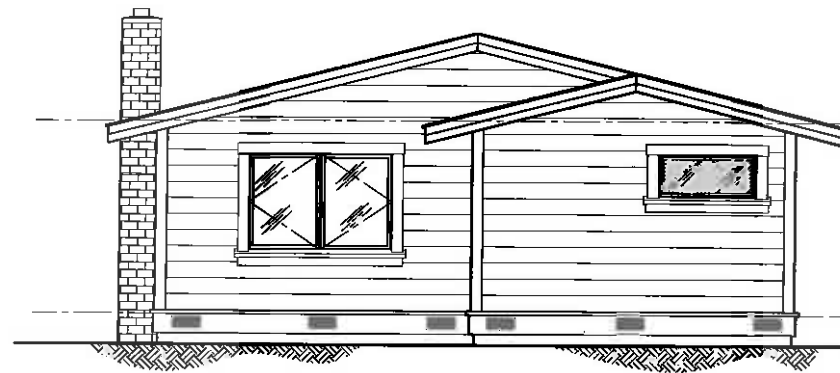
**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



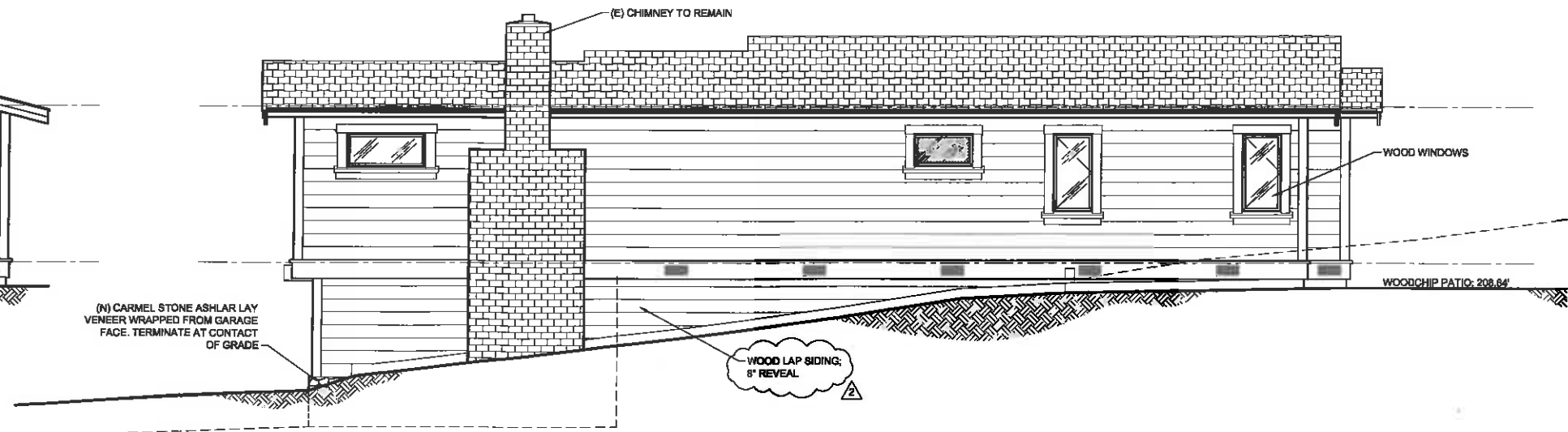
**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

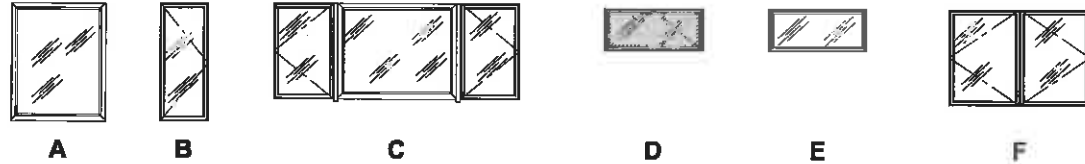
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**PROPOSED EXT. ELEVATIONS**  
**MAKLER RESIDENCE**  
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**WINDOW TYPES**



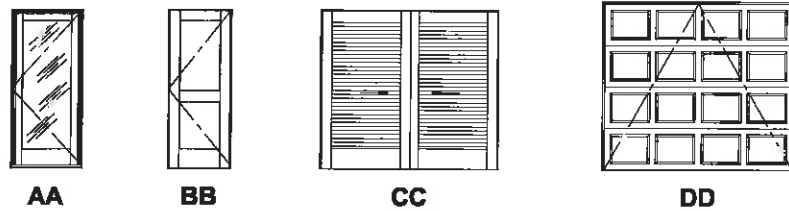
**WINDOW NOTES**

- ALL WINDOWS SHALL BE KOLBE HERITAGE ALL WOOD WINDOWS WITH FACTORY APPLIED K-KRON PAINT FINISH.
- ALL CASEMENT WINDOWS SHALL PIVOT TO FACILITATE CLEANING THE EXTERIOR FROM THE INTERIOR.
- AT DOUBLE PANE WINDOWS WITH OBSCURE GLASS INTERIOR GLAZING CAN BE CLEAR TEMPERED WITH THE EXTERIOR BEING UN-TEMPERED OBSCURE.
- SEE FLOOR PLANS FOR WINDOW LOCATIONS.
- SEE EXTERIOR ELEVATIONS FOR WINDOW MUNTINS, MULLIONS, OPERATION, ETC.
- ALL DIVIDERS TO BE TRU DIVIDERS.
- WINDOW SIZES INDICATED ARE APPROXIMATE AND MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD DIMENSIONS.
- ALL BEDROOMS SHALL HAVE AT LEAST ONE WINDOW THAT MEETS EMERGENCY EGRESS REQUIREMENTS, I.E.: A MINIMUM CLEAR OPENING OF 5.7 S.F., A NEW OPENING WIDTH OF 1'-8", A HEIGHT OF 2'-0" AND A MAXIMUM SILL HEIGHT OF 3'-8" ABOVE FINISH FLOOR.
- SEE SPECIFICATIONS FOR TECHNICAL DATA, FINISHES, HARDWARE, WEATHERSTRIPPING, ETC.
- WALL WIDTHS MAY VARY - VERIFY WALL DIMENSIONS PRIOR TO MANUFACTURING WINDOWS.

**WINDOW SCHEDULE**

MARK	TYPE	NOMINAL DIMS (WIDTH x HEIGHT)	HEAD HT. (ABV. F.F.)	EXT. FINISH	INT. FINISH	DETAILS - SEE MFR. SPEC. U.O.N.			REMARKS	
						HEAD	JAMB	SILL		
1	FIXED	A	4'-0" X 5'-0"	PLATE HT.	K-KRON	PRIMERED	-	-	-	
2	CASEMENT	B	2'-0" X 5'-0"	PLATE HT	K-KRON	PRIMERED	-	-	-	
3	PICTURE COMBO	C	8'-0" X 4'-0"	6'-8"	K-KRON	PRIMERED	-	-	-	
4	PICTURE COMBO	C	8'-0" X 4'-0"	6'-8"	K-KRON	PRIMERED	-	-	-	
5	PICTURE COMBO	C	8'-0" X 4'-0"	6'-8"	K-KRON	PRIMERED	-	-	-	EGRESS WINDOW - CONTRACTOR & WINDOW MFR. TO VERIFY THAT WINDOW COMPLIES W/ CURRENT CRC REQMTS. - SEE NOTE 9
6	AWNING	D	4'-0" X 1'-8"	6'-8"	K-KRON	PRIMERED	-	-	-	TEMPERED (SAFETY) GLAZING, FROSTED GLAZING
7	FRENCH CASEMENT	F	6'-0" X 4'-0"	6'-8"	K-KRON	PRIMERED	-	-	-	EGRESS WINDOW - CONTRACTOR & WINDOW MFR. TO VERIFY THAT WINDOW COMPLIES W/ CURRENT CRC REQMTS. - SEE NOTE 9
8	CASEMENT	B	2'-0" X 4'-0"	6'-8"	K-KRON	PRIMERED	-	-	-	
9	AWNING	D	3'-0" X 2'-0"	6'-8"	K-KRON	PRIMERED	-	-	-	TEMPERED (SAFETY) GLAZING, FROSTED GLAZING
10	TRANSOM	E	4'-0" X 1'-8"	6'-8"	K-KRON	PRIMERED	-	-	-	
11										
12										
13										
14										
15										

**DOOR TYPES**



**GLAZING NOTES**

- VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
- EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL. TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS, EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E II", ARGON FILLED.
- INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE AND SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCES. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS:
  - GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.
  - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
  - GLAZING IN ALL UNFRAMED SWINGING DOORS.
  - GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE DRAIN OUTLET.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING
- VERIFY SWING HAND OF OPERABLE WINDOWS, SEE A3.1 & A3.2 BUILDING ELEVATIONS.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS AS SHOWN.

**DOOR SCHEDULE**

MARK	LOCATION	TYPE	NOMINAL DIMS (WIDTH x HEIGHT)	HEAD HT. (ABV. F.F.)	EXT. FINISH	INT. FINISH	DETAILS - SEE MFR. SPEC. U.O.N.			REMARKS
							HEAD	JAMB	SILL	
1	ENTRY	AA	3'-0" X 6'-8"	6'-8"	K-KRON	PRIMERED	-	-	-	TEMPERED (SAFETY) GLAZING
2	MASTER BEDRM	BB	2'-8" X 6'-8"	6'-8"	PRIMERED	PRIMERED	-	-	-	
3	MASTER BATH	BB	2'-8" X 6'-8"	6'-8"	PRIMERED	PRIMERED	-	-	-	
4	MASTER CLOSET	BB	2'-8" X 6'-8"	6'-8"	PRIMERED	PRIMERED	-	-	-	
5	BEDROOM 2	BB	2'-8" X 6'-8"	6'-8"	PRIMERED	PRIMERED	-	-	-	
6	BEDRM 2 CLOSET	CC	7'-8" X 6'-8"	6'-8"	PRIMERED	PRIMERED	-	-	-	
7	BATHROOM	BB	2'-4" X 6'-8"	6'-8"	PRIMERED	PRIMERED	-	-	-	
8	GARAGE	DD	8'-0" X 7'-0"	7'-0"	K-KRON	PRIMERED	-	-	-	
9										
10										
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22										

**DOOR NOTES**

**HARDWARE NOTES:**

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N.:

- ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE A MAXIMUM HEIGHT OF 3/8" ABOVE FINISH FLOOR.
- PROVIDE 4" X 4" BUTTS ON ALL DOORS.
- ALL HARDWARE TO HAVE FINISH PER OWNER.

**DOOR NOTES:**

- SEE EXTERIOR ELEVATIONS FOR DOOR OPERATION.
- ALL DOOR GLAZING TO BE TEMPERED:  
S.G. = STAIN GRADE  
P.G. = PAINT GRADE  
MFR. = MANUFACTURER
- TEMPERED GL. - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING.
- VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESSES AS SHOWN.

**EGRESS NOTES (CRC SEC. R311.2):**

- AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT.
- EGRESS DOORS SHALL BE SIDE-HINGED AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD).
- THE MINIMUM CLEAR HEIGHT OF THE EGRESS DOOR OPENING SHALL NOT BE LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

**Details about K-Kron II**

K-Kron II is an excellent choice for historic and other special projects. Selecting contrasting colors for the window and door vs. the trim makes a show-stopping statement.

The protection and beauty your wood windows and doors deserve is Kolbe's K-Kron II high performance exterior finish system. K-Kron II is the highest quality warranted finish for exterior wood substrates in the industry. And, by offering so many colors, we provide you with the flexibility you need to create a truly unique project. Plus, if you prefer a specific color for a really custom look, take a sample to your dealer and we'll match it.

Flexibility, durability, and beauty. That's why many architects and contractors insist on K-Kron II for the windows and doors in their projects.

Here's an overview of the features & benefits of K-Kron II:

- High performance finish.
- Resists ultraviolet deterioration and chalking, chemical attack, as well as damage from salt, wind, sleet and snow.
- 10-year film integrity warranty extended directly to the homeowner (view Warranties).

**THREE-STEP TO APPLYING THE K-KRON II EXTERIOR FINISH SYSTEM**

- Before assembly, wood pieces of the window or door are immersed in a preservative with both an insecticide and a fungicide - helping the exterior wood surface resist decay. This preservative meets standards set by WDMA 1.5.4-2000.
- The windows or doors are assembled. Before installing the glass, two coats of a specially-formulated urethane primer by Akzo Nobel is applied - helping to seal the wood and provide a bonding surface for the final topcoat. The primer is applied using a controlled-spray process which follows WDMA T.M. 11-2000 guidelines.
- Finally, a high performance urethane topcoat is applied. An airless, multi-step, controlled-spray system ensures complete, consistent coverage of the exterior wood surfaces. The result? Beautifully protected windows and doors.

The K-Kron II three-step exterior finishing system follows WDMA T.M. 12-2000 guidelines.

PO Box 2201  
Carmel, CA 93921  
p. 831.626.8606  
f. 831.626.8607  
info@carmelbuilding.com

CARMEL BUILDING & DESIGN



DATE: 04-22-14  
SCALE: 1/4" = 1'-0"  
DRAWN BY: TMK  
REVISION: 1  
07-21-14  
2  
08-19-14

WINDOW & DOOR SCHEDULE

MAKLER RESIDENCE  
SANTA LUCIA AVE & CASANOVA ST  
CARMEL BY THE SEA, CA  
APN: 010-176-025

PAGE:

**INSTALLATION:**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NEC AND STATE OF CALIFORNIA TITLE 24 REQUIREMENTS AND LATEST EDITIONS, LOCAL CODES AND REGULATIONS AND ALL OTHER APPLICABLE CODES AND ORDINANCES. INSTALLATION SHALL BE IN A WORKMAN-LIKE MANNER IN ACCORDANCE WITH THE ELECTRICAL CONTRACTORS ASSOCIATION OF INSTALLATION.
- AN APPROVED MEANS OF DISCONNECT FOR THE ELECTRICAL SUPPLY TO EACH PIECE OF EQUIPMENT (FORCED AIR UNIT, WATER HEATER) SHALL BE PROVIDED IN SIGHT OF THE EQUIPMENT SERVED WHEN THE SUPPLY VOLTAGE EXCEEDS 50 VOLTS.
- KITCHEN: COORDINATE ALL PLUMBING AND ELECTRICAL WORK WITH FINAL APPLIANCE TYPES, SIZES, LOCATIONS AND REQUIREMENTS AS SELECTED BY OWNER.
- ALL SITE ELECTRICAL, GAS AND PLUMBING SHALL BE RUN UNDERGROUND. ALL PERMITS AND PRE-DIG REQUIREMENTS SHALL BE MET PRIOR TO INSTALLATION.

**CIRCUITS:**

- KITCHEN AND BATHROOMS: ALL ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION.
- BATHROOMS: ELECTRICAL OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20-AMP BRANCH CIRCUIT. THE CIRCUITS SHALL HAVE NO OTHER OUTLETS PER NEC 210-42(D). IN ADDITION TO OTHER BRANCH CIRCUIT REQUIREMENTS, AT LEAST ONE 20 AMP BRANCH CIRCUIT WILL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS - CEC 210-11(C).
- LAUNDRY: AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS (210.11(C)(2) CEC).
- BEDROOMS: ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS (INCLUDING LUMINARIES) SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT (CEC ARTICLE 210.12(B)).
- HOMERUN ALL CIRCUITS TO ELECTRICAL PANEL.
- APPLIANCES: TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE INSTALLED, FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY OR OTHER SIMILAR AREAS (210.11(C)(1) CEC).

**LIGHTING:**

- ALL LOW EFFICIENCY LIGHT CONTROLS SHALL BE DIMMABLE OR EQUIPPED WITH MANUAL-ON/AUTOMATIC-OFF OCCUPANCY SENSOR.
- SURFACE MOUNTED LIGHTING FIXTURES IN CLOSETS SHALL BE 12 INCHES FROM THE NEAREST POINT OF STORAGE AREAS (SHELVING) FOR INCANDESCENT FIXTURES AND 6 INCHES FOR FLUORESCENT FIXTURES. RECESSED FIXTURES MAY BE 6 INCHES AWAY (CEC ARTICLE 410.6(D)(1)-(4)).
- LIGHTS THAT ARE RECESSED INTO INSULATED CEILINGS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) AND ARE CERTIFIED AIR TIGHT TO ASTM E283 AND LABELED AS AIR TIGHT (AT) TO LESS THAN 2.0 CFM AT 75 PASCALS.
- KITCHEN: AT LEAST 50% OF INSTALLED WATTAGE OF LUMINARIES MUST BE HIGH EFFICIENCY AND THE ONES THAT ARE NOT MUST BE SWITCHED SEPARATELY. BATHROOMS, UTILITY ROOMS, GARAGES AND LAUNDRY ROOMS: ALL LUMINARIES SHALL BE HIGH EFFICIENCY OR SHALL BE CONTROLLED BY A MANUAL-ON/AUTOMATIC-OFF OCCUPANCY SENSOR. OTHER ROOMS: ALL LUMINARIES SHALL EITHER BE HIGH EFFICIENCY OR SHALL BE CONTROLLED BY A MANUAL-ON/AUTOMATIC-OFF OCCUPANCY SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQUARE FOOT ARE EXEMPT FROM THIS REQUIREMENT. OUTDOOR LIGHTING: ALL LUMINARIES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICIENCY LUMINARIES OR SHALL BE CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION.
- BATHROOMS: LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES ARE TO BE LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS." (CEC ARTICLE 410.4(A)).
- OUTDOOR LIGHTING MOUNTED TO THE BUILDING SHALL BE HIGH EFFICIENCY LIGHTING CONTROLLED BY A STANDARD SWITCH OR CONTROLLED BY A MOTION SENSOR W/ INTEGRAL PHOTO CONTROL.

**SMOKE & CO DETECTORS:**

- BEDROOMS: SMOKE DETECTORS (110 VOLT) TO BE INTERCONNECTED TO SOUND ALARM AUDIBLE IN ALL BEDROOMS OF DWELLING.
- BEDROOMS: CO DETECTORS SHALL BE BATTERY OPERATED AND SHALL BE INSTALLED OUTSIDE EACH SLEEP ROOM, PER CRC 315.3
- WHERE CONSTRUCTION IS NEW, ALL SMOKE ALARMS SHALL BE "HARD WIRED", SHALL BE EQUIPPED WITH BATTERY BACKUP AND SHALL BE INSTALLED AS INDICATED ON PLANS.
- WHERE CONSTRUCTION IS EXISTING, ALL SMOKE ALARMS MAY BE BATTERY OPERATED AND SHALL BE INSTALLED INSIDE AND OUTSIDE OF EACH SLEEPING ROOM.

**PLUMBING:**

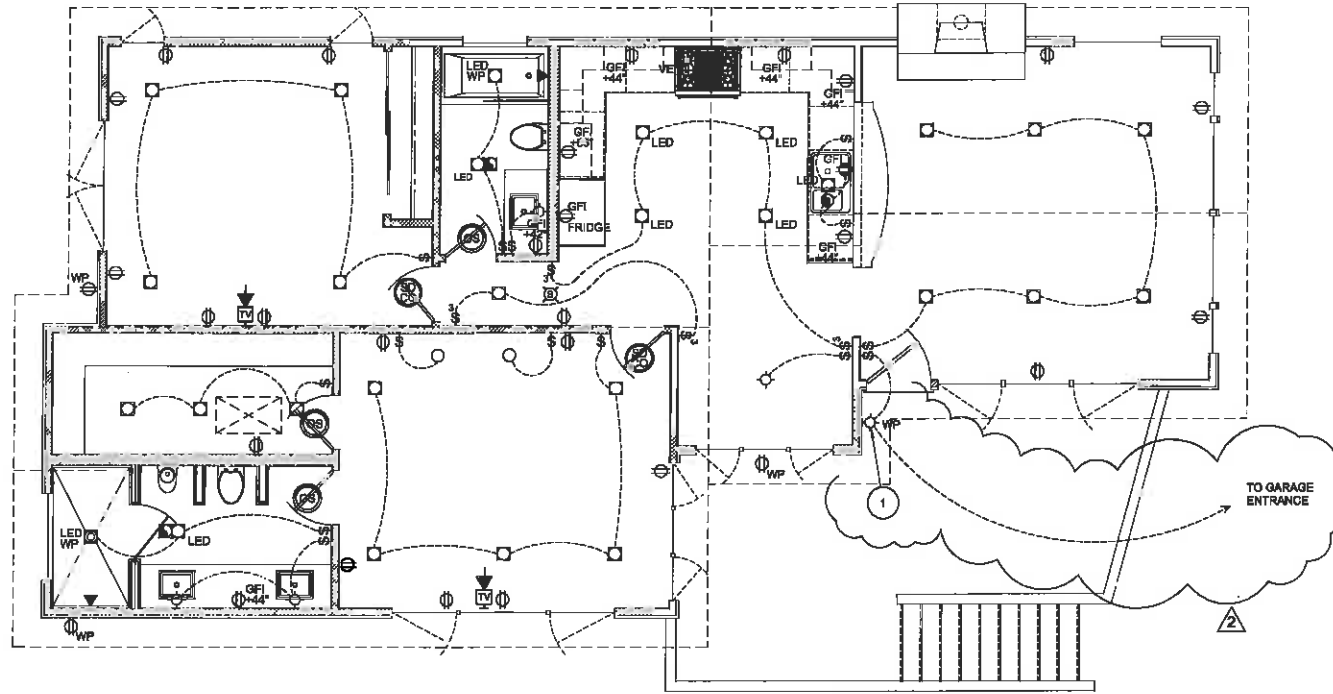
- ALL SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.5 G.P.M.
- ALL SINK FAUCETS SHALL HAVE A MAX. FLOW RATE OF 2.2 G.P.M.
- WATER CLOSETS SHALL NOT USE MORE THAN 1.6 GAL. PER FLUSH PER STATE HEALTH & SAFETY CODE, SECTION 17821.3(B).
- USE FIBERGLASS OR CEMENT BASED BACKER BOARD AT NEW SINK AND TILE LOCATIONS.
- NON-ABSORBANT WALL MATERIAL IN SHOWER SHALL BE 7/8" A.F.F. MIN.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, WHIRLPOOL, BATHTUB AND SHOWER/TUB COMBO FILTERS SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION (CPC SECTION 414.8 & 416).

**ELECTRICAL PANELS:**

- A 120 VOLT SERVICE RECEPTACLE SHALL BE LOCATED WITHIN 25 FEET OF, AND ON THE SAME LEVEL AS, THE EQUIPMENT FOR MAINTENANCE. THE RECEPTACLE SHALL NOT BE CONNECTED ON THE LOAD SIDE OF THE REQUIRED MEANS OF DISCONNECT.
- OUTDOORS: 125 AND 250 VOLT RECEPTACLES INSTALLED IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED (CEC ARTICLE 408.9(B)(1)).
- WORKING SPACE: AT FRONT SHALL NOT BE USED FOR STORAGE AND SHALL HAVE ILLUMINATION FOR ALL SERVICE EQUIPMENT, SWITCHBOARDS, PANEL BOARDS OR MOTOR CONTROL CENTER INSTALLED DOORS.
- WORKING SPACE: AT FRONT SHALL HAVE AT LEAST ONE ENTRANCE OF 24 INCHES BY 6 FEET 6 INCHES HIGH, A MINIMUM DEPTH OF 36 INCHES, WIDTH OF 30 INCHES AND A HEIGHT OF 6 FEET 6 INCHES.

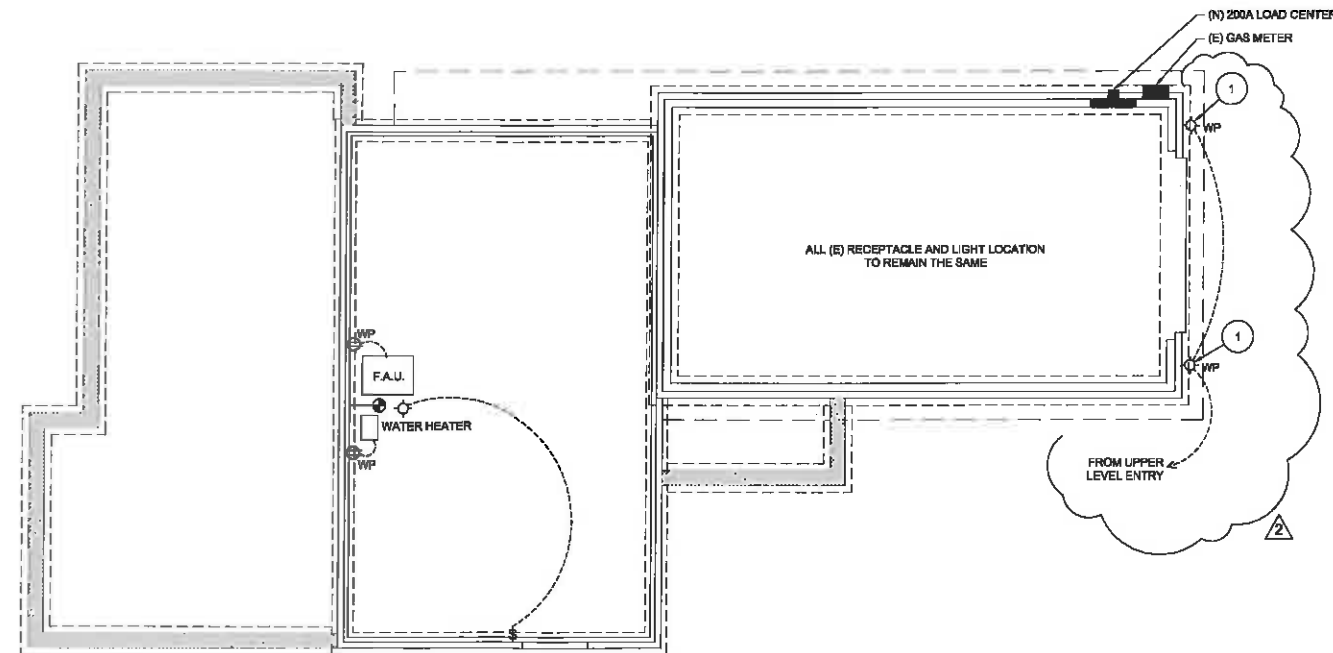
**EXTERIOR LIGHTING NOTES:**

- EXTERIOR LIGHTING FIXTURES SHALL BE INSTALLED SO AS NOT TO EXCEED A 25W MAX. BULB WATTAGE.



**MAIN LEVEL ELECTRICAL PLAN**

N.T.S.



**LOWER LEVEL ELECTRICAL PLAN**

N.T.S.

**ELECTRICAL LEGEND**

- ⊕ 120 V DUPLEX RECEPTACLE AT 12" A.F.F., U.O.N.
- 1/2 ⊕ 120 V DUPLEX RECEPTACLE 1/2 SWITCHED
- GFI ⊕ 120 V DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTION
- ⊕ BELOW COUNTER/APPLIANCE DUPLEX OUTLET
- WP ⊕ 120 V DUPLEX RECEPTACLE WITH WATERPROOF ENCLOSURE, OUTLET TO HAVE GFI PROTECTION.
- 220 ⊕ 220 V RECEPTACLE
- ⊕ SINGLE POLE WALL SWITCH AT 44" A.F.F., U.O.N.
- ⊕ THREE WAY WALL SWITCH
- ⊕ WALL SWITCH W/ DIMMER
- ⊕ JAMB SWITCH
- ⊕ MANUAL-ON/AUTOMATIC-OFF OCCUPANT SENSOR SWITCH
- ⊕ GARAGE DOOR OPENER
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE W/ SWITCH
- ⊕ RECESSED INCANDESCENT LIGHT FIXTURE, IC RATED
- ⊕ 4" RECESSED INCANDESCENT LIGHT FIXTURE, IC RATED
- LED ⊕ RECESSED LED LIGHT FIXTURE, IC RATED PROVIDING 40 LUMENS/WATT OR GREATER
- ⊕ FAN LIGHT FIXTURE
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ UNDER CABINET LIGHT FIXTURE
- ⊕ ULTRA QUIET ENERGY STAR EXHAUST FAN, 5 ACHR - VENTED TO OUTSIDE
- ⊕ GARBAGE DISPOSAL W/ AIR SWITCH
- ⊕ CEILING MOUNTED SMOKE DETECTOR
- ⊕ WALL MOUNTED SMOKE DETECTOR
- ⊕ CARBON MONOXIDE/SMOKE DETECTOR COMBO W/ PRIMARY POWER FROM BUILDING & BATTERY BACKUP
- ⊕ THERMOSTAT
- ⊕ TELEPHONE JACK: TWISTED PAIR - 4 CONDUCTOR
- ⊕ CABLE CONNECTION; COAXIAL CABLE

**GAS OUTLET LEGEND**

- ⊕ NATURAL GAS OUTLET
- ⊕ KEY LOCATION
- ⊕ LOG LIGHTER

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**CARMEL BUILDING & DESIGN**  
3000 Highway 101, Carmel, CA 93921  
License #766482

DATE:	06-08-14
SCALE:	1/2" = 1'-0"
DRAWN BY:	TKM
REVISION:	07-21-14
	08-14-14

**ELECTRICAL PLAN**  
**MAKLER RESIDENCE**  
SANTA LUCIA AVE & CASANOVA ST  
CARMEL BY THE SEA, CA  
APN: 010-176-025

PAGE:  
**E1.0**



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

September 10, 2014

**To:** Chair Reimers and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director *RM*

**Submitted by:** Marc Wiener, Senior Planner

**Subject:** Re-consideration of Municipal Project (MP 14-01) and associated Coastal Development Permit application for sidewalk material located at the foot of Ocean Avenue in the Del Mar Parking area

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**Recommendation:**

Reaffirm the Planning Commission's August 13, 2014 Approval of the Municipal Project (MP 14-01) and the associated Coastal Development Permit for permeable sidewalk pavers

**Application:** MP 14-01 **APN:** N/A, City ROW  
**Location:** Del Mar Parking Lot  
**Applicant:** City of Carmel-by-the-Sea

**Background and Project Description:**

On August 13, 2014, the Planning Commission reviewed options for replacing the asphalt concrete sidewalks on the north and south side of Ocean Avenue near the Del Mar Parking Lot with sand-set permeable concrete pavers. The Commission considered several options for the shape, design layout, and color of the pavers and approved the use of 8" by 4" pavers in a medium grey color set in a running bond pattern with the long axis of the pavers running east-west (parallel to the road).

Subsequent to this approval, it was brought to staff's attention that the City Council, in their consideration of this fiscal year's capital improvement projects tied the authorization of funds for replacement of the asphalt sidewalks to the use of porous asphalt material. As such, staff is bringing this item back to the Planning Commission for discussion of the suitability of using porous asphalt instead of permeable pavers.

**Staff Analysis:**

***Porous Asphalt Option:*** Prior to the August 13, 2014 discussion of this item, staff had researched using porous asphalt and noted several potential issues with its use for a sidewalk along this lower segment of Ocean Avenue. In staff's opinion, the use of permeable pavers is preferred, and the focus of the discussion at the last Commission meeting was finding a design that best reflected the aesthetics of the existing asphalt sidewalk. Staff was prepared to field questions on why porous asphalt was not recommended; however, no such questions were raised by the Commission or by the public.

Staff is prepared to discuss the pros and cons of porous asphalt in this application versus permeable pavers. In short, the drawbacks of porous asphalt are as follows:

- It has a rough texture that may be incompatible with beach goers who are barefoot.
- It tends to clog, particularly in a sandy environment, which leads to lower performance and higher maintenance needs.
- It can slough off and discolor the surrounding area, which in this application is white sand.
- It is more difficult and more expensive to maintain and repair.

The main advantage to porous asphalt is that it would more closely match the existing aesthetics of the existing asphalt concrete. Staff can present additional information on installation cost differences at the meeting.

***Alternatives:*** Staff continues to recommend the permeable paver option approved by the Commission on August 13, 2014. If this option is reaffirmed, the City Council would need to explicitly allow this change in approving the funding for the project. Alternatively, the Planning Commission could approve the porous asphalt option. Either option would be consistent with the Del Mar Specific Plan and with the Coastal Conservancy's grant requirements. A third alternative would be to leave the existing asphalt pavement sidewalk as it, in which case, the City would not proceed with the project, and would not need to spend any funds at this time for this project. This third alternative would likely in the loss of the \$30,000 grant funding from the Coastal Conservancy as well as \$15,000 in pending but held-back reimbursements for other components of the Del Mar Parking Lot project that the City would be receiving from the Coastal Conservancy.

***Environmental Review:*** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities.

**ATTACHMENTS:**

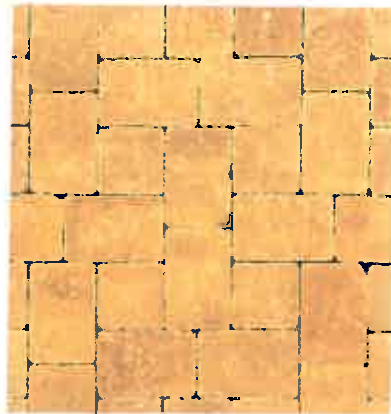
- Attachment A – Permeable Pavers Information
- Attachment B – Porous Asphalt Information



Colors represented herein are depicted as accurately as possible. However, due to the nature of our product and the variables in printing reproduction, exact color matching cannot be guaranteed. Custom colors are available upon request.



**B8 Sierra Moss**  
(Green/Charcoal)



**B11 Sahara Sand**  
(Cream/Tan)



**Brown**



**B9 Island Ember**  
(Red/Charcoal)



**Red**



**Charcoal**



**B10 Country Loam**  
(Brown/Charcoal)



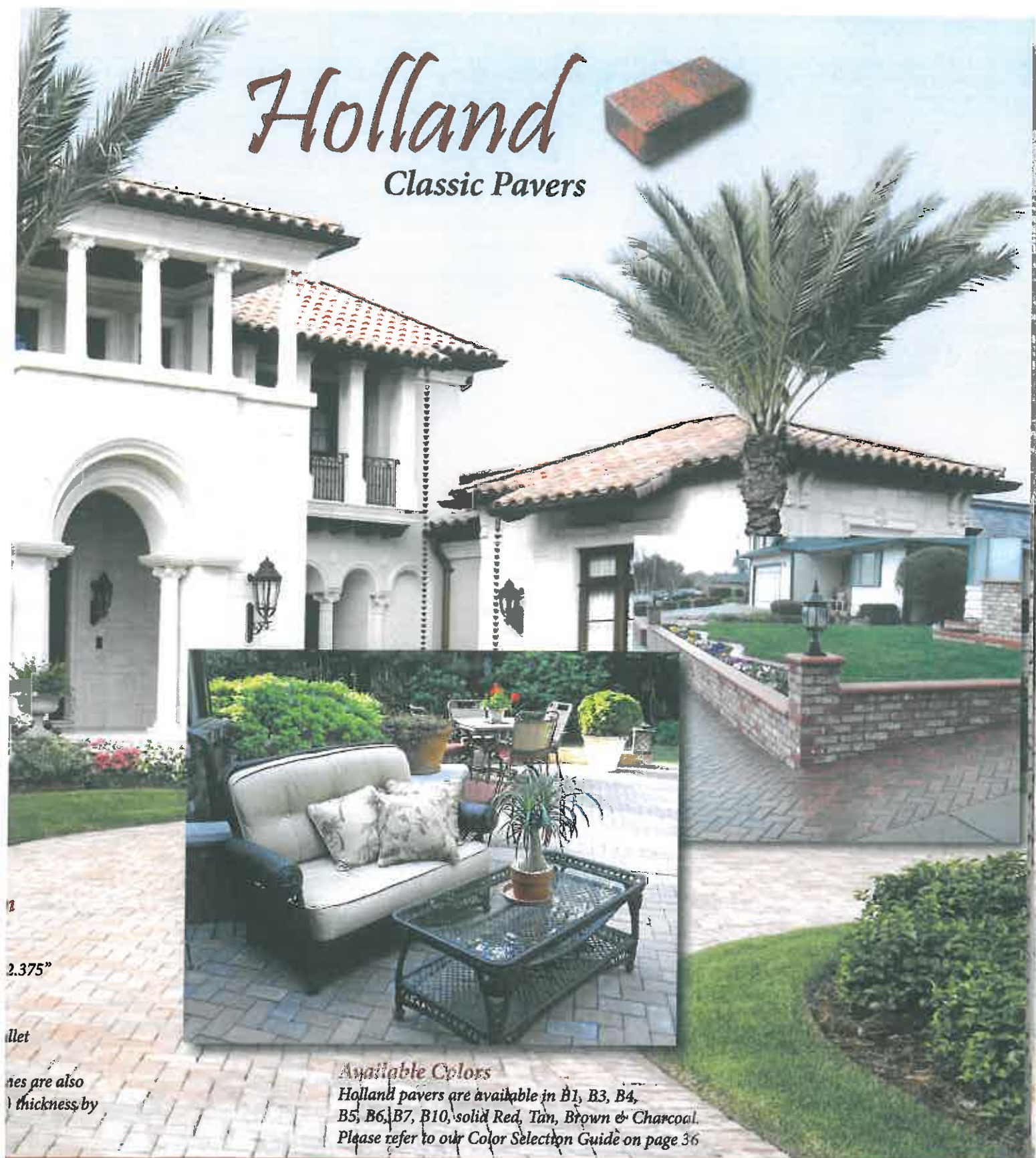
**Tan**



**Natural Grey**

# Holland

## Classic Pavers



1

2.375"

illet

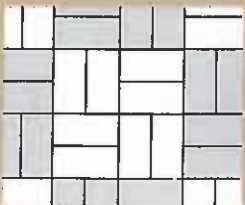
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thickness by

### Available Colors

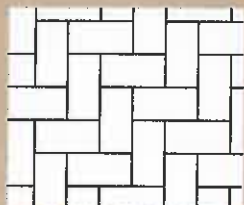
Holland pavers are available in B1, B3, B4, B5, B6, B7, B10, solid Red, Tan, Brown & Charcoal. Please refer to our Color Selection Guide on page 36

### Pattern Styles

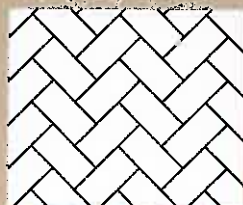
Staff recommendation →



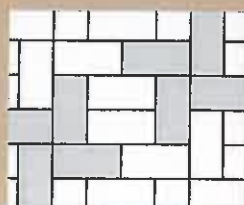
Basketweave



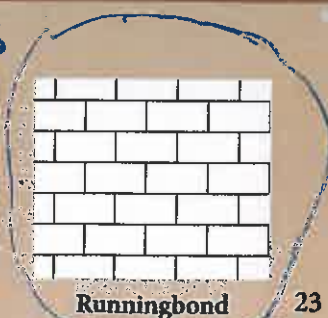
Herringbone



Herringbone 45°

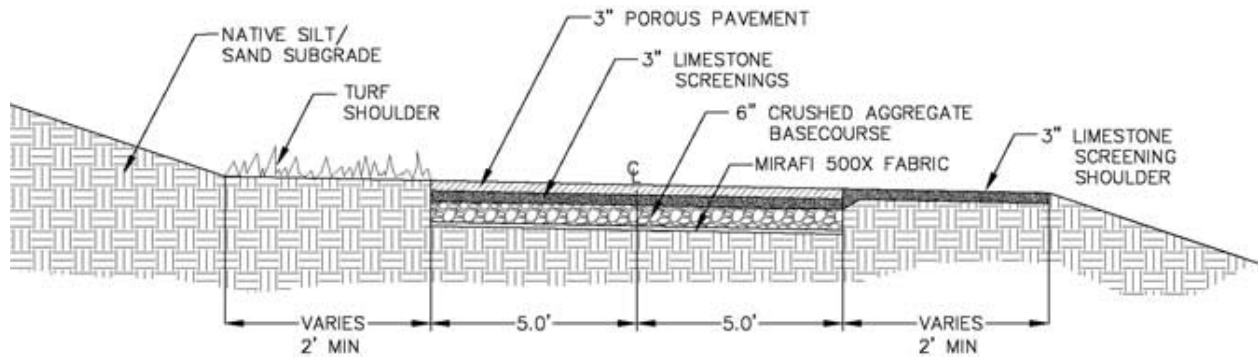


Parquet



Runningbond

23







CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

September 10, 2014

**To:** Chair Reimers and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director RM

**Submitted by:** Christy Sabdo, Contract Planner

**Subject:** Consideration of Final Design Study DS 14-26 (Bengard) and associated Coastal Development Permit applications for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District

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**Recommendation:**

Approve the Design Study (DS 14-26) and the associated Coastal Development Permit subject to the attached findings and conditions

<b>Application:</b>	DS 14-26	<b>APN:</b>	010-182-009
<b>Location:</b>	NE Corner of Monte Verde and 11th		
<b>Block:</b>	114	<b>Lots:</b>	W ½ of 18 and 20
<b>Applicant:</b>	Jeff Crockett	<b>Property Owner:</b>	Tom and Terry Bengard

**Background and Project Description:**

The project site is located on the northeast corner of Monte Verde and 11<sup>th</sup> Avenue. The property is developed with a 1,094-square foot, primarily one-story residence that has a partial second-story attic. The existing residence is clad with horizontal-wood siding. An existing 162-square foot detached garage is located approximately 1-ft 6-in from the rear of the property within the 3-ft rear-yard setback. A grapestake fence covered by foliage is located along the property frontage of both Monte Verde Street and 11<sup>th</sup> Avenue. The fence extends beyond the property line up to approximately 2 feet into the City Right-of-Way (ROW).

In the City ROW along Monte Verde Street, a pine tree and an oak tree are present with soil and mulch ground cover. In addition, an existing stone paver walkway begins at the property line along Monte Verde and extends to the west entry gate on the property. At the northeast corner of Monte Verde and 11<sup>th</sup> Avenue, there is a City-maintained bus stop with a bench and a

concrete headwall to guide stormwater. In the City ROW along 11<sup>th</sup> Avenue, there are two City-maintained oaks, a stop sign, and another concrete headwall to guide stormwater. A Determination of Historic Ineligibility for the subject residence was issued by the Community Planning and Building Department on January 2, 2014.

The applicant has submitted plans to expand the total building floor area from 1,322 square feet to 1,688 square feet. The project includes the following components:

- 1) 136 square feet of lower level additions,
- 2) A 186-square foot second-story addition that includes converting the attic to a bedroom and raising the attic plate height to 7 feet,
- 3) The removal of the 162-square foot detached garage and replacement with a 232-square foot attached garage at the back of the residence,
- 4) The remodeling of the kitchen, bedrooms, and bathrooms,
- 5) The removal of the existing first floor redwood deck and addition of a new balcony to the second floor,
- 6) The re-roofing of the entire house,
- 7) The replacement of windows and doors,
- 8) The replacement of the horizontal-wood siding with stone, board and batt wood siding, and stucco.

Proposed finish materials include a combination of three types of siding, including Carmel stone, board and batt wood siding, and stucco (cement plaster with steel trowel finish), a concrete shake tile roof with fascia board rake (color-Brown/gray), and wood windows and doors. The design includes a proposal for new 4-ft high grape stake fencing with stone pillars along the south (front) and west (street-side) property lines, and a 5-ft high grape stake gate on the north side of the proposed new garage.

The Planning Commission reviewed this project on July 9, 2014, and continued it with a request for certain changes. The Commission's primary concern with the proposal was the complexity of the design and use of finish materials. In addition, the Commission recommended that the applicant reduce the height of the second story and eliminate the east elevation second-story window to mitigate the impact to the eastern neighbor. The applicant has made certain revisions to the design to address some of the recommendations made by the Commission.

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	1,322 sf (33%)	1,688 sf (42%)
Site Coverage	556 sf (13.9%)	1,018 sf (25.5%)	554 sf (13.9%)
Trees (upper/lower)	3/1 (recommended)	0/5	1/5
Ridge Height (first)	18 ft/ 24 ft	11 ft 6 in	No change
Plate Height (first)	12 ft/ 18 ft	8 ft 6 in	No change
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft	15 ft (from house)	No
Composite Side Yard (house/garage)	10 ft (25%)	13 ft 6 in (33.8%)	18 ft 6 in (46.3%)
Minimum Side Yard	3 ft/ 5ft (street)	3 ft / 4 ft	No Change/ 9 ft
Rear	3 ft	2 ft 6 in	3 ft

**Staff analysis:**

**Previous Hearing:** The following is a list of recommendations made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The applicant shall lower the proposed second-story addition plate height to 7-ft and shall eliminate the east-facing window from the proposed second-story addition.*

**Analysis:** At the July 2014 Planning Commission meeting, there was concern regarding the mass and height of the proposed second-story addition. In addition, the neighbor to the east submitted a letter expressing concern with the impact that the second-story addition would have on his solar access and was concerned that privacy would be impacted by the proposed second-story window facing his property. The neighbor requested that the second-story height be lowered. The Commission directed the applicant to lower the second story plate height to 7-ft and eliminate the east-facing second-story window.

In response to the Planning Commission's recommendation, the applicant has lowered the second-story plate height to 7-ft and has removed the east-facing window from the second-story addition. The eastern neighbor has expressed support to staff for the design changes.

2. *The applicant shall redesign and simplify the proposed building forms, materials, and details to the residence, specifically: a) all the windows shall be made to be more consistent throughout the residence, b) the cupola shall be eliminated, c) consideration shall be made to using less stone or an alternate design using board and batt, and stucco shall be submitted, and d) the stone columns at the entry door shall be redesigned with wood.*

***Analysis:*** The applicant has not complied with all of the Planning Commission's recommendations, but has made some revisions to simplify the appearance of the residence as explained in the letter included as Attachment D.

Staff notes that three of the arched windows/doors have been revised and are now square shaped. These include the French doors on the lower level of the west elevation and two of the windows on the south elevation. However, the proposed residence still incorporates the use of an arch shape in its design such as: 1) the arch-shaped trusses at the ends of the gables, 2) the arched French doors on the upper level of the west elevation, and 3) the front door and garage door also include an arched design. In staff's opinion, the use of an arch-shaped architectural element adds visual interest to the design and does not create a complicated appearance.

In addition to the window revisions, the applicant has also eliminated the cupola from the roof. However, the applicant is still proposing three finish materials including: board and batten siding, stucco and stone. Furthermore, the applicant did not eliminate the stone from the front entry as recommended by the Planning Commission. The original proposed elevation drawings are included as Attachment E for comparison.

A condition has been drafted requiring the stone to be eliminated from the front entry. As an alternative the applicant could use wood. A separate condition has been drafted requiring the applicant to work with staff on eliminating one of the finish materials. Options would include a combination of board and batten siding and stone, or board and batten siding with stucco, and the Planning Commission may want to provide specific direction on acceptable finish materials for the final design.

***Other Project Components:***

**Landscape Plan/Fence:** The applicant has included a landscape plan which includes new drought-tolerant landscaping on the property. The City Forester has approved the landscape plans with no recommendations or conditions.



The applicant is proposing to replace the existing grape stake fence along the south and west property lines, which are both street-facing property lines. Staff notes that portions of the existing fence are located in the City Right-of-Way and that the new fence will be located on the property line. The proposed new fence would be 4 feet high with stone pillars. The Commission should consider whether the proposed stone pillars would be appropriate for the fence. Staff would not recommend the pillars if stone is not used on the residence.

**Alternatives:** Staff has prepared draft findings and conditions of approval for Commission consideration. The Planning Commission may approve the design as conditioned or may continue the Design Study application to a future meeting with direction on revisions necessary to address the issues identified in this staff report and discussed at the meeting.

**Environmental Review:** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 322-square foot addition an existing 1,322-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Applicant Letter
- Attachment E – Original Elevations (7/14/14)
- Attachment F – Project Plans

**Attachment A – Site Photographs**

**Project site from the corner of Monte Verde St. and 11th Ave.**



**Front of residence along Monte Verde St.**



Residence along 11th Ave.



Project site from 11th Ave looking at the attic proposed for a 2<sup>nd</sup> story addition



**Attachment B – Findings for Approval**

DS 14-26 (Bengard)  
 September 10, 2014  
 Findings for Approval  
 Page 1

**FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)**

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City’s design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project’s use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City’s objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

<p>8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.</p>	<p>TBD</p>	
<p>9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.</p>	<p>✓</p>	
<p>10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.</p>	<p>✓</p>	
<p>11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.</p>	<p>✓</p>	
<p>12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.</p>	<p>✓</p>	
<p><b>Coastal Development Findings (CMC 17.64.B.1):</b></p>		
<p>13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.</p>	<p>✓</p>	

## Attachment C – Conditions of Approval

DS 14-26 (Bengard)  
 September 10, 2014  
 Conditions of Approval  
 Page 1

<b>Conditions of Approval</b>		
<b>No.</b>	<b>Standard Conditions</b>	
1.	<b>Authorization:</b> This approval of Design Study (DS 14-26) as conditioned authorizes the construction of: 1) 136 square feet of lower level additions, 2) a 186-square foot second-story addition that includes converting the attic to a bedroom and raising the plate height to 7 feet, 3) the removal of the 162-square foot detached garage and replacement with a 232-square foot attached garage, 4) the remodeling of the kitchen, bedrooms, and bathrooms, 5) the removal of the existing first floor redwood deck and addition of a new balcony to the second floor, 6) the re-roofing of the entire house, 7) the replacement of windows and doors, and 8) the replacement of the horizontal-wood siding with stone, board and batt wood siding, and stucco.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓

6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	N/A

12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All	N/A



	new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
	<b>Special Conditions</b>	
22.	The applicant shall submit a lighting plan for any new proposed exterior lighting to be submitted with the construction drawings to be reviewed by the case Planner prior to issuance of a building permit.	✓
23.	The applicant shall submit revised elevations that include a redesign of the front entry to eliminate the use of stone.	✓
24.	The applicant shall work with staff to eliminate one of the three proposed finish materials. Options include board and batten siding with stucco or board and batten siding with stone.	✓

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
 Property Owner Signature

\_\_\_\_\_  
 Printed Name

\_\_\_\_\_  
 Date

***Once signed, please return to the Community Planning and Building Department.***

To: City of Carmel-By-The-Sea  
Community Planning Department

Attention: Christy Sabdo  
Project planner

Re: Design Study (DS 14-26) Bengard Residence  
Conceptual review – Planning Commission Recommendations  
NE corner of Monte Verde and 11<sup>th</sup>  
Block 114, lots 18 (portion) and 20  
APN: 010-182-009

Dear Christy,

The following is an itemized list addressing changes to the plans as recommended by the Planning Commission at the July 9<sup>th</sup>, 2014 conceptual review meeting.

**Owner changes:**

Sheet A-2: Revised rear yard patio to eliminate flagstone walk and added 16" stone sitting wall with wood chip patio area.

Extended closet at bedroom #1 and added 8 S.F. to house area.  
Replaced window to rear patio with French door. Added tiled landing with steps to wood chip patio area. (revised lot coverage and floor Areas on site data to reflect changes)

A-4: Revised interior of Bath #1 and moved window.

Added two windows to front facing wall of living room.

Demo existing masonry fire place and construct new gas insert fire place at rear facing wall of living room with French glass door each side.

Added window to stairwell at upper level floor plan facing rear patio.

A-5: South and East elevations – Raised lower level bathroom wall from 6'-4" height to an 8' plate. This will reduce visual appearance of 2<sup>nd</sup> floor height.

Omit stone veneer at North elevation of garage. Stone would not be appreciated since it would not be seen due to fencing and retaining wall to neighboring property.

Added 48" high stone pillars to grape stake fence along 11<sup>th</sup> and Monte Verde to compliment stone at front entry.

**RECEIVED**

**AUG 11 2014**

**City of Carmel-by-the-Sea  
Planning & Building Dept.**

**South elevation – Revised to show extended closet with French door at bedrom #1.**

**West elevation – Removed eyebrow roof at second story French doors due to lowering of second story plate height. Added eyebrow roof above lower level French doors.**

**Planning Commission recommendations:**

**Sheet A-4: Removed East facing window at second level floor plan.**

**A-5: Removed cupola from roof.**

**East elevation – Removed second story addition window.**

**East, South and West elevations: Lowered second story plate height To 7'-0".**

**West elevation: Changed lower level French doors to square top with eyebrow roof over.**

**South elevation: Changed arched top niche to squared wood header and round top window at niche and stairwell to squared top.**

**Sheet L-1: Landscape plan as requested.**

**The owners and I spent many hours studying alternative concepts for the front entry porch. This included drawings and driving around the city looking for entry features that would complement the look we are trying to achieve. I am sure you are aware of numerous examples of stone porch entries throughout the city. We would like to reconsider our original entry design.**

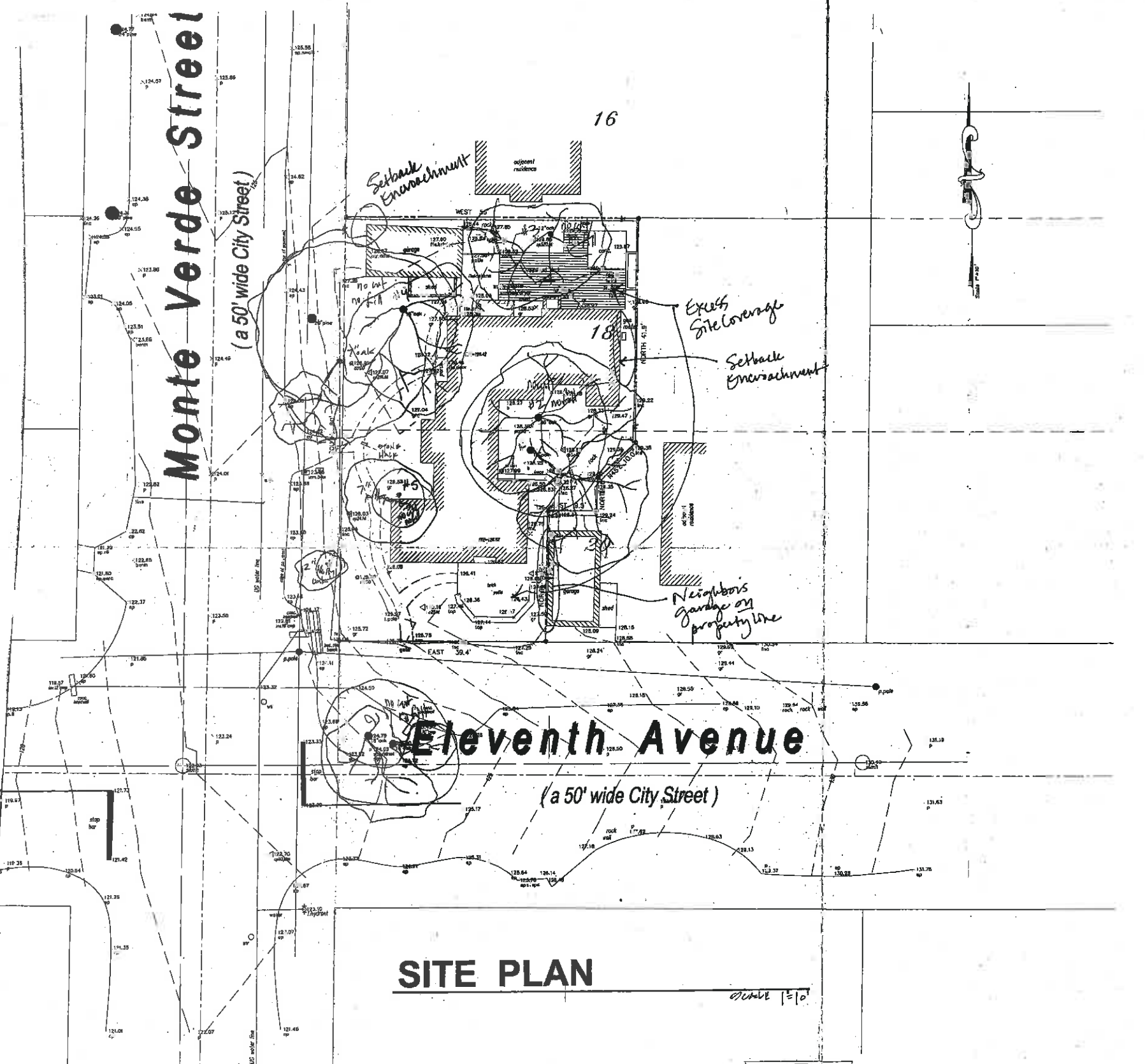
**We would also like to keep with the three arched doors at the front elevation. These doors are all within the gables and feel compliment the architecture while mirroring the arched gable trim work. As mentioned, we omitted the arch on the lower French door along with the South elevation niche and stairwell window.**

**We thank you for supporting our original submittal and with all do respect for the commissioners recommendations ask for your continued support in presenting this application for final design approval.**

**Sincerely,**

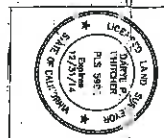
**Jeff Crockett  
Project designer**





**SITE PLAN**

Scale 1"=10'



**MONTEREY COUNTY SURVEYORS, INC.**  
 235 Calinas Street, Salinas, CA 93901 ph.831.424.1984  
 f.424.4099 email:mcs@montereycountysurveyors.com  
 Serving Monterey County since 1937

**SITE DATA**

APN	010-182-009-000
SITE ADDRESS	NE, Monte Verde & 11th Carmel By The Sea, Ca. 93923
OWNER	Tom & Terry Bengard P.O. Box 60090 Salinas, Ca. 93912
ZONING	R1
LOT AREA	4,000 S.F.
USE	R3U
TYPE OF CONSTRUCTION	V-B Not Sprinklered
SETBACKS:	
FRONT	15'
SIDE	3'min. and 25% total width combined
REAR	3'
CODES	2010 CBC; CBC; CPC, CMC & Cal. Res. Code TITLE 24 CA, Energy Compliance 2010 Cal. Fire code
AREAS	
EXISTING RESIDENCE	1,094 S.F.
Existing terrace & water br. Shade	30 S.F.
Existing Garage (Detached)	182 S.F.
Existing sto/ahpl	38 S.F.
TOTAL BUILDING COVERAGE	1,322 S.F. = 33%
Existing redwood deck area	217 S.F.
Existing ground brick patios / walks	230 S.F.
Existing Fieldstone walks	233 S.F.
Existing conc. Hot tub pad	49 S.F.
TOTAL SITE COVERAGE	1737 S.F. = 18.43%

**NOTES:**

- DISTANCES AND DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- DATUM IS TAKEN FROM USGS 7.5' QUADRANGLE SHEET MONTEREY. BENCHMARK IS TOP OF CONCRETE PAD AT WELL PUMP AS NOTED HEREON. ELEVATION = 200.00'
- CONTOUR INTERVAL IS ONE FOOT.
- LOCATIONS OF SUBSURFACE UTILITIES ARE TAKEN FROM SURFACE INDICATIONS. VERIFY IN FIELD PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- THIS PROPERTY MAY BE SUBJECT TO EASEMENTS OF RECORD NOT SHOWN UPON THIS MAP. THE OWNER SHALL BE RESPONSIBLE FOR FURNISHING A TITLE REPORT TO DISCLOSE SUCH EASEMENTS WHICH MAY OR MAY NOT EXIST, AND MONTEREY COUNTY SURVEYORS, INC. SHALL BEAR NO RESPONSIBILITY FOR NON DISCLOSURE OF SAID EASEMENTS, THEIR EXISTENCE OR LOCATION.
- BOUNDARY LOCATION IS BASED UPON RECORD DATA FROM FOUND PROPERTY LINE MARKERS. NO BOUNDARY SURVEY HAS BEEN COMPLETED.

**Legend**

AD	area drain	I	irrigation
AC	asphaltic concrete	irr.	irrigation
ASV	Anti siphon valve	Inv.	invert
ASP	asphalt	JP	joint pole
BFP	backflow preventer	P	pavement
BSW	back of sidewalk	PMT	pad mount transformer
C/conc.	concrete	PP	power pole
CATV	cable TV	RD	roof drain
CB	catch basin	SDMH	storm drain manhole
CL	center line	SSMH	sanitary sewer manhole
RDW	redwood deck	SSCO	sanitary sewer cleanout
DW	driveway	SO	shut off valve
DS	down spout	T	telephone
E	electric	TB	top of bank
EP	edge of pavement	TC	top of curb
FF	finish floor	T//	top of wall
FL	flow line	V	valve
FH	fire hydrant	WF	water fountain
G	Gas	W/L	water level
GB	grade break	WM	water meter
GR	ground	WT	water trough
GV	gate valve	WV	water valve

**LOCATION MAP**



REVISIONS	BY

**BENGARD RESIDENCE**  
 NE CORNER, MONTE VERDE & 11TH CARMEL, CA

RECEIVED

AUG 11 2014

City of Carmel-by-the-Sea  
 Planning & Building Dept.

DRAWN
CHECKED
DATE
SCALE
JOB NO.
<b>SHEET RECEIVED</b>
OCT 2 2013
City of Carmel-by-the-Sea Planning & Building Dept.
OF SHEETS

REVISIONS	BY

**BENGARD RESIDENCE**  
NE CORNER, MONTE VERDE & 11TH CARMEL, CA.

DRAWN
CHECKED
DATE 05-08-14
SCALE
JOB NO.
SHEET <b>A1</b>
OF 8 SHEETS

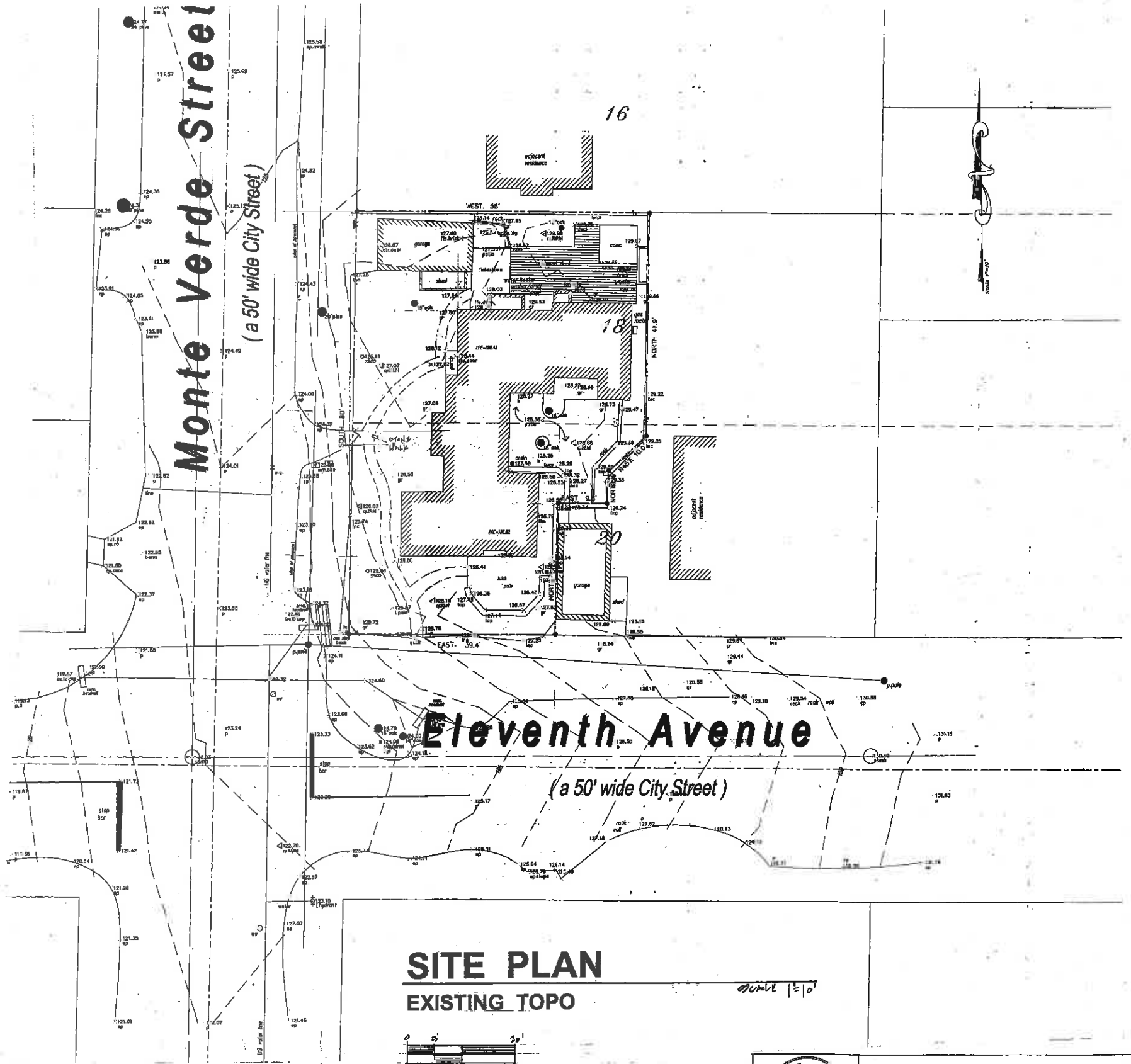
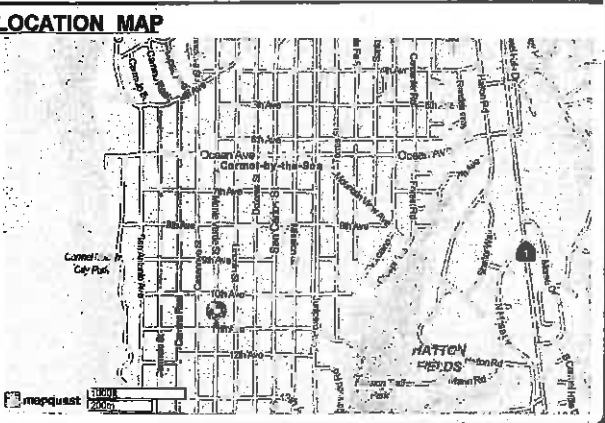
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OWNER	Tom & Terry Bengard P.O. Box 99000 Salinas, Ca. 93912
ZONING	R1
LOT AREA	4,000 S.F.
USE	R&U
TYPE OF CONSTRUCTION	V-6, Sprinklered
SETBACKS:	
FRONT	18'
SIDE	3'min. and 25% total width combined both sides
REAR	3'
CODES	2013 CBC; CEC; CPC, CMC & CA. Residential Code TITLE 24 CA. Energy Compliance 2013 CA. Fire code
AREAS	
EXISTING RESIDENCE	1,084 S.F.
Existing furnace & water htr. Sheds	30 S.F.
EXISTING GARAGE (Detached)	182 S.F.
Existing sto. Shed	38 S.F.
TOTAL BUILDING COVERAGE	1,322 S.F. = 33%
SITE COVERAGE	
Existing redwood deck and fieldstone	275 S.F.
Existing gravelled brick patio / walk	238 S.F.
Existing fieldstone walk and back patio	486 S.F.
Existing conc. Hot tub area	49 S.F.
TOTAL SITE COVERAGE	1,018 S.F. = 58.5% of Floor base area allowed

- DISTANCES AND DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- DATUM IS TAKEN FROM USGS 7.5' QUADRANGLE SHEET MONTEREY. BENCHMARK IS TOP OF CONCRETE PAD AT WELL PUMP AS NOTED HEREON. ELEVATION = 200.00'
- CONTOUR INTERVAL IS ONE FOOT.
- LOCATIONS OF SUBSURFACE UTILITIES ARE TAKEN FROM SURFACE INDICATIONS. VERIFY IN FIELD PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- THIS PROPERTY MAY BE SUBJECT TO EASEMENTS OF RECORD NOT SHOWN UPON THIS MAP. THE OWNER SHALL BE RESPONSIBLE FOR FURNISHING A TITLE REPORT TO DISCLOSE SUCH EASEMENTS WHICH MAY OR MAY NOT EXIST, AND MONTEREY COUNTY SURVEYORS, INC. SHALL BEAR NO RESPONSIBILITY FOR NON DISCLOSURE OF SAID EASEMENT(S), THEIR EXISTENCE OR LOCATION.
- BOUNDARY LOCATION IS BASED UPON RECORD DATA FROM FOUND PROPERTY LINE MARKERS. NO BOUNDARY SURVEY HAS BEEN COMPLETED.

**Legend**

AD	area drain	I	irrigation
AC	asphaltic concrete	irr.	irrigation
ASV	Anti siphon valve	Inv.	invert
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BFP	backflow preventer	P	pavement
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CATV	cable TV	RD	roof drain
CB	catch basin	SDMH	storm drain manhole
CL	center line	SSMH	sanitary sewer manhole
D	redwood deck	SSCO	sanitary sewer cleanout
DW	driveway	SO	shut off valve
DS	down spout	T	telephone
E	electric	TB	top of bank
EP	edge of pavement	TC	top of curb
FF	finish floor	TW	top of wall
FL	flow line	V	valve
FH	fire hydrant	WF	water fountain
G	Gas	W/L	water level
GB	grade break	WM	water meter
GR	ground	WT	water trough
GV	gate valve	WV	water valve



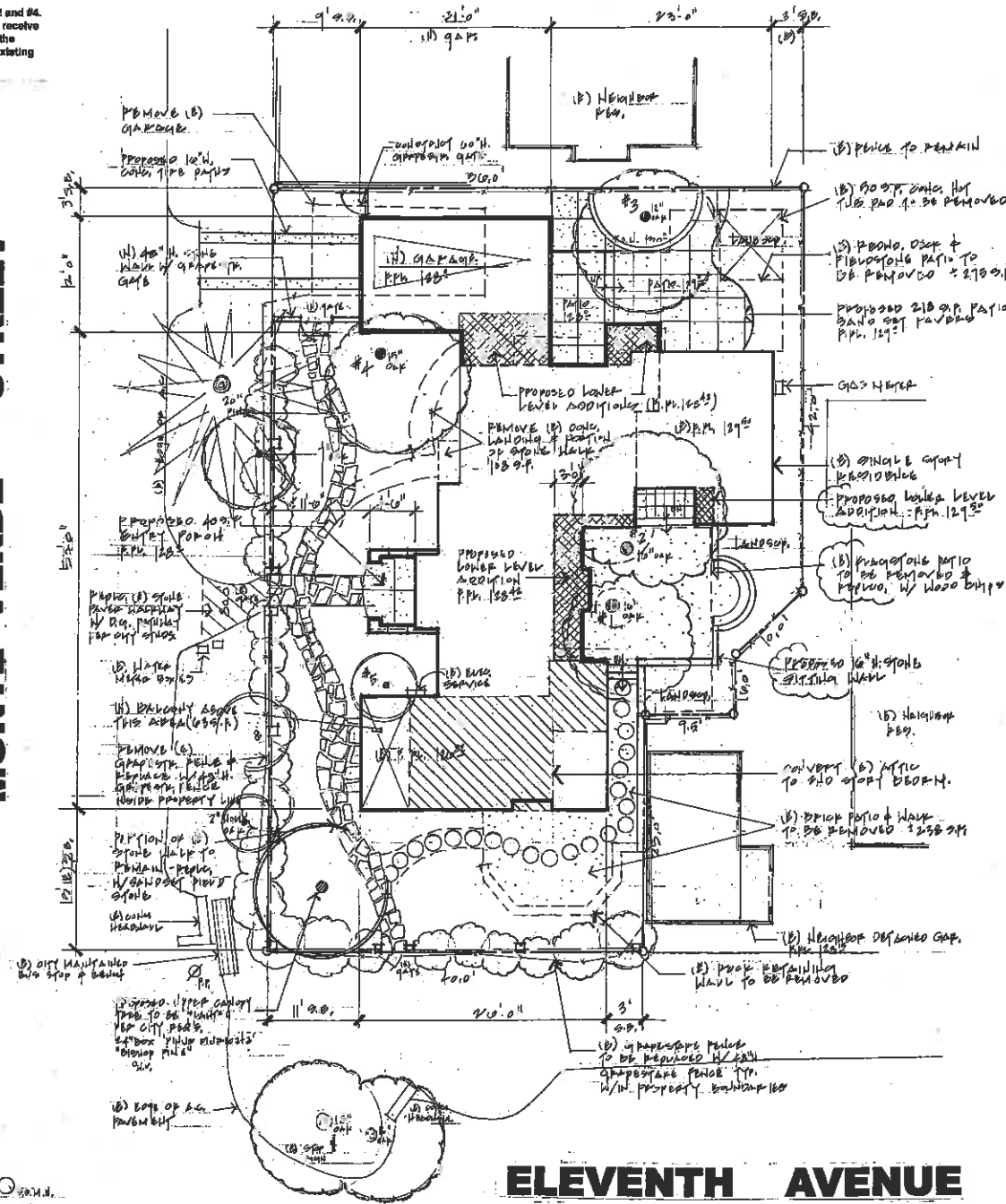
**SITE PLAN**  
**EXISTING TOPO**

REGISTERED LAND SURVEYOR  
MONTEREY COUNTY  
NO. 1000  
DATE: 05/08/14

**MONTEREY COUNTY SURVEYORS, INC.**  
235 Salinas Street, Salinas, CA 93901 ph: 831.421.1984  
f: 424.4099 email: mcs@montereycountysurveyors.com  
*Serving Monterey County since 1937*

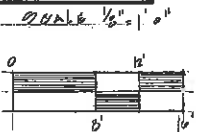
Note: The following construction methods shall be used for the foundation areas located near trees #1, #2 and #4. A slab foundation shall be used for both the garage floor and house extension with a roof header to receive and distribute the majority of the building loads. A concrete grade beam will be designed to reduce the required foundation depth at or near the trees. The ft. Garage floor is being raised from the existing level which will significantly reduce the depth of the slab footing near tree #4.

MONTE VERDE STREET



**SITE PLAN**

NOTE:  
 Existing site trees #1, #2, #3 are identified trees #4 is proposed. All dimensions per the parcel boundary map & assessment. DATE: Oct. 2, 2013



**SITE DATA**

APN 010-182-008-000  
 SITE ADDRESS NE, Monte Verde & 11th Carmel By The Sea, Ca. 93823  
 OWNER Tom & Terry Bengard P.O. Box 80090 Solmes, Ca. 93912  
 ZONING R1  
 LOT AREA 4,000 S.F.  
 USE R2U  
 TYPE OF CONSTRUCTION V-8, Sprinklered  
 SETBACKS: FRONT 15' SIDE 3' min. and 25% total width combined both sides REAR 3'  
 CODES 2013 CBC; CBC; CPG, CMC & CA. Residential Code TITLE 24 CA. Energy Compliance 2013 CA. Fire code

AREAS	Areas to be removed	Proposed area(s)
EXISTING RESIDENCE	1,094 S.F.	Lower Level Addition—138 S.F.
Existing furnace & water htr. Shade	30 S.F.	Upper Level Addition—108 S.F.
Existing Garage (Detached)	162 S.F.	New Porch—40 S.F.
Existing sto. shed	38 S.F.	New Garage—221 S.F.
TOTAL EXISTING BUILDING AREA	1,322 S.F. = 33%	Total Lower level—1,494 S.F.
		Upper level—188 S.F.
		Total new building area: 1,683 S.F.

SITE COVERAGE	Existing	Proposed	Landscaping
Existing redwood deck & fieldstone	275 S.F.	275 S.F.	Landscaping—24 S.F.
Existing grouted brick patios / walks	238 S.F.	238 S.F.	Patio area—263 S.F.
Existing fieldstone walls & backyard patio	486 S.F.	343 S.F.	Walkways—218 S.F.
Existing conc. hot tub pad	68 S.F.	68 S.F.	Driveway—24 S.F.
TOTAL SITE COVERAGE	(E) 1,018 S.F. = 86.8% of Base fl. area	New Total = 854 S.F.	(31% Base fl. Area)

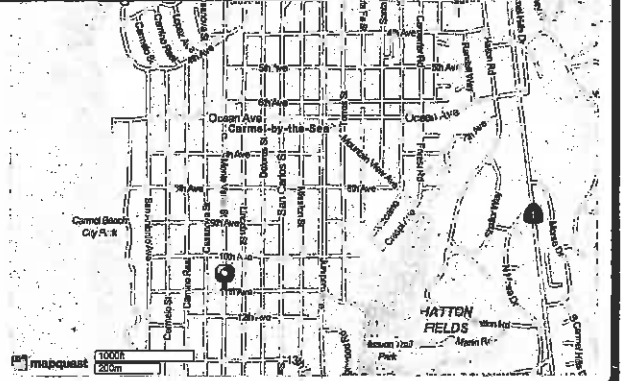
Note: Proposed patio area (288 S.F.) to be sand set pavers (semi-permeable) and proposed walkways (218 S.F.) to be sand set flagstone (semi-permeable) and rear landing & steps (24 S.F.) shall be tiled conc. (non-permeable)

**PROJECT DESCRIPTION:**  
 Remove (E) detached garage and replace with attached garage. Remodel kitchen, bedrooms and bathrooms. Construct new additions and raise 2nd floor attic room plate height. Remove existing redwood deck at 1st floor and add new balcony to 2nd floor. Re-roof entire house, replace windows and doors. Replace horizontal siding with stone, board and balt wood siding and stucco.

**SHEET INDEX:**

- A-1 EXISTING SITE TOPO
- A-2 PROPOSED SITE PLAN
- A-3 EXISTING FLOOR PLANS
- A-4 PROPOSED FLOOR PLANS
- A-5 PROPOSED ELEVATIONS
- A-5.1 EXISTING ELEVATIONS
- A-5 ROOF PLAN
- A-7 STREET PROFILES

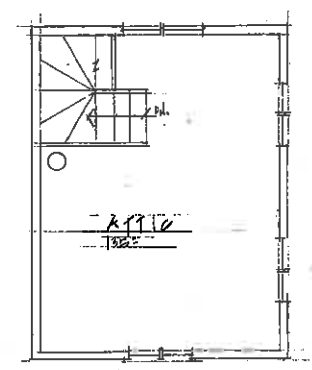
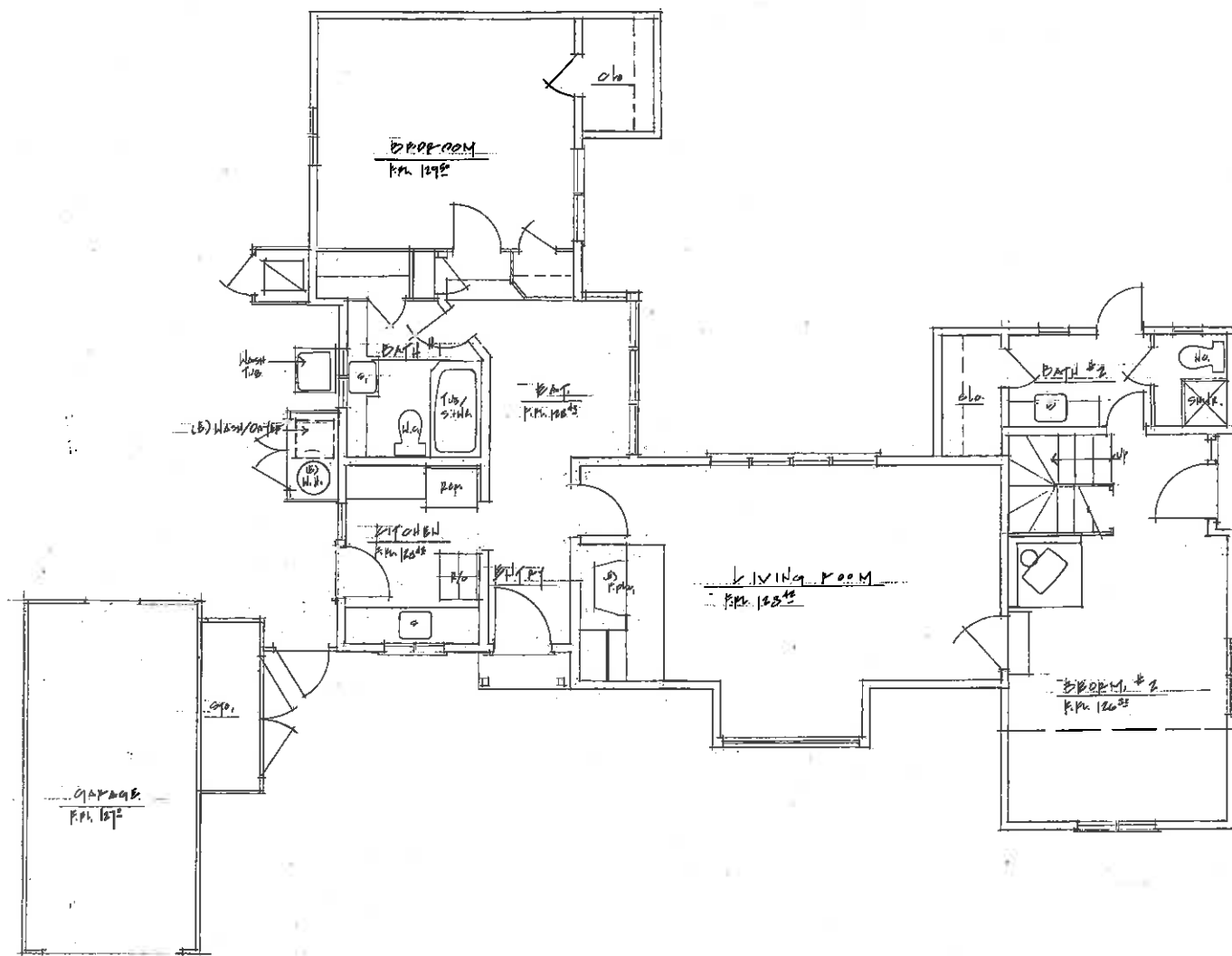
**LOCATION MAP**



REVISIONS	BY

**BENGARD RESIDENCE**  
 NE CORNER, MONTE VERDE & 11TH CARMEL, CA.

DRAWN J. Bengard  
 CHECKED  
 DATE 09-03-14  
 SCALE  
 JOB NO. 014-BB-00  
 SHEET  
**A2**  
 OF 5 SHEETS



**UPPER LEVEL**

**EXISTING FLOOR PLAN**



SCALE 1/4" = 1'-0"



REVISIONS	BY

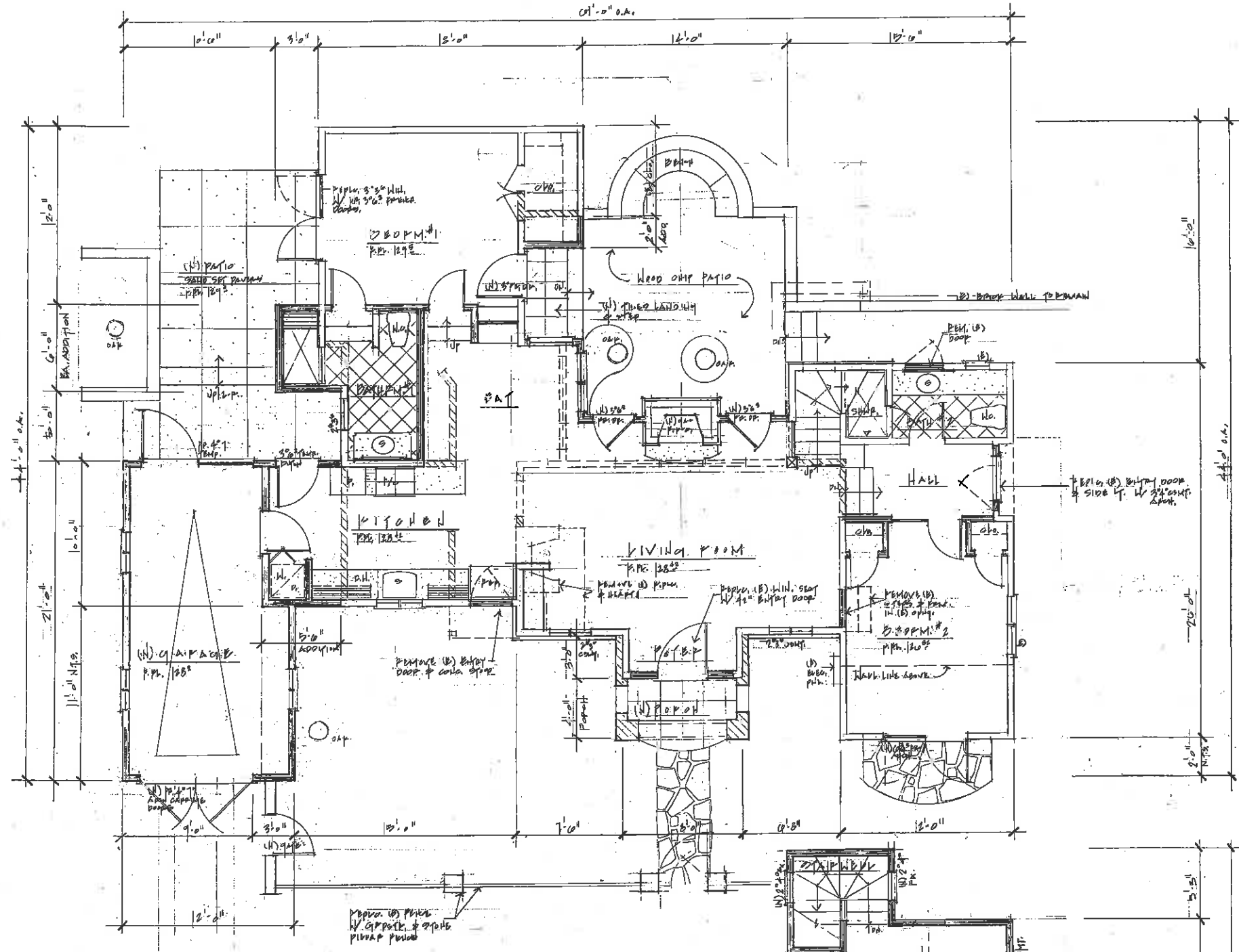
**BENGARD RESIDENCE**  
NE CORNER, MONTE VERDE & 11TH CARMEL, CA.

DRAWN Jerr Cooper
CHECKED
DATE 03-08-14
SCALE 1/4" = 1'-0"
JOB NO. 014-001-001
SHEET
<b>A3</b>
OF 8 SHEETS



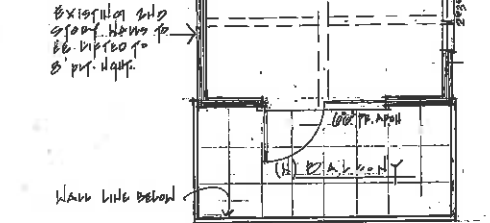
REVISIONS	BY

**BENGARD RESIDENCE**  
NE CORNER, MONTE VERDE & 11TH CARMEL, CA.



## FLOOR PLAN

- Legend:
- Existing Walls to Remain
  - Proposed Walls
  - Existing Walls to be Removed
  - Typical W.L. of Exterior Walls = (70 h.T) = 30%



**UPPER LEVEL**

DRAWN J. G. GARDNER	
CHECKED	
DATE 03.05.14	SCALE 1/8" = 1'-0"
JOB NO. 011-Bed/00	SHEET
<b>A4</b>	
OF 8 SHEETS	

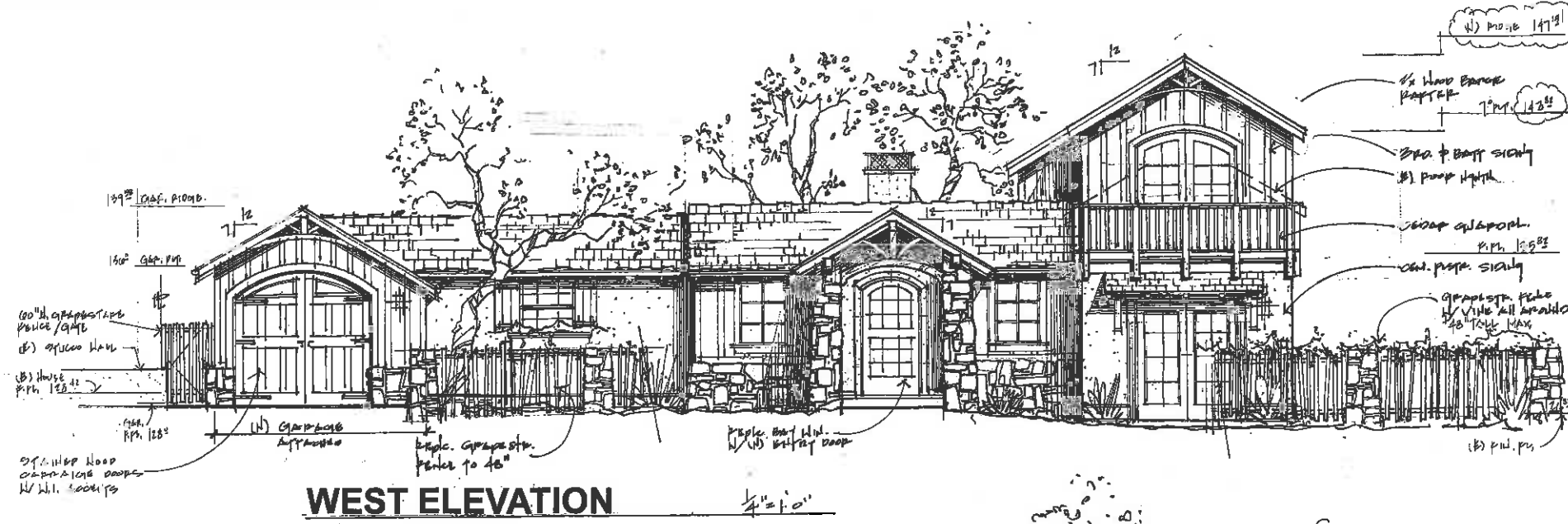
**Proposed construction materials:**

Siding: 7/8" cement plaster with steel trowel finish.  
 3/8" T-11 ply. with 1x3 batt @ 16" o.c.

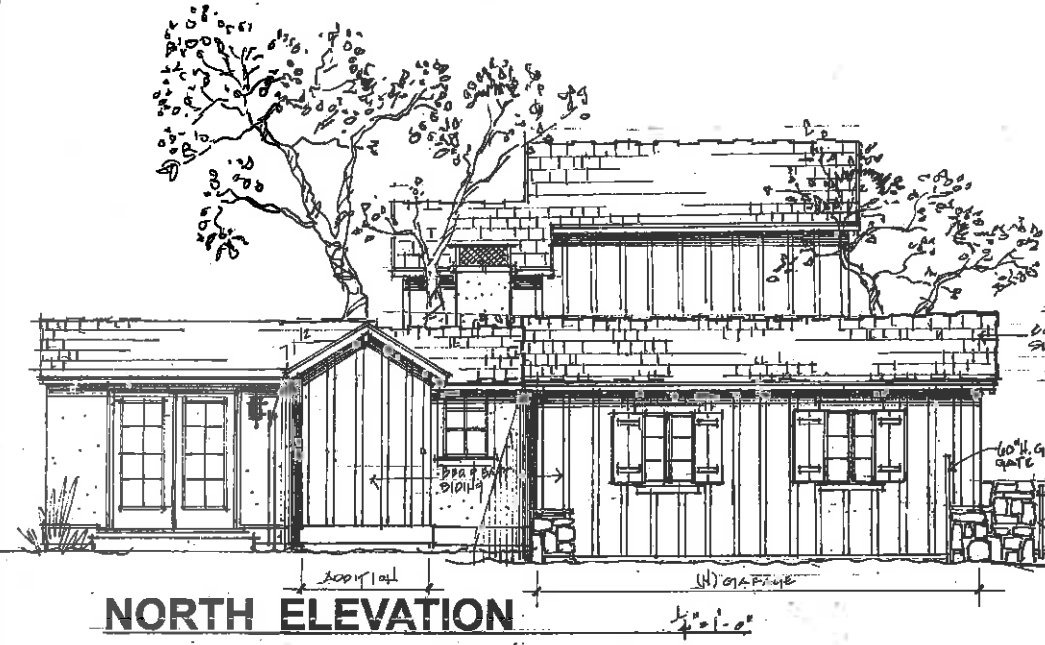
Stone: "Carmel stone" with overgrouted joints

Roof: "Monier" - Conc. shake tile with fascia board rake (color-Brown/gray)

Windows and doors: Kolbe & Kolbe-Heritage series all wood push-out casements with K-Kron finish, (color-Manchester)



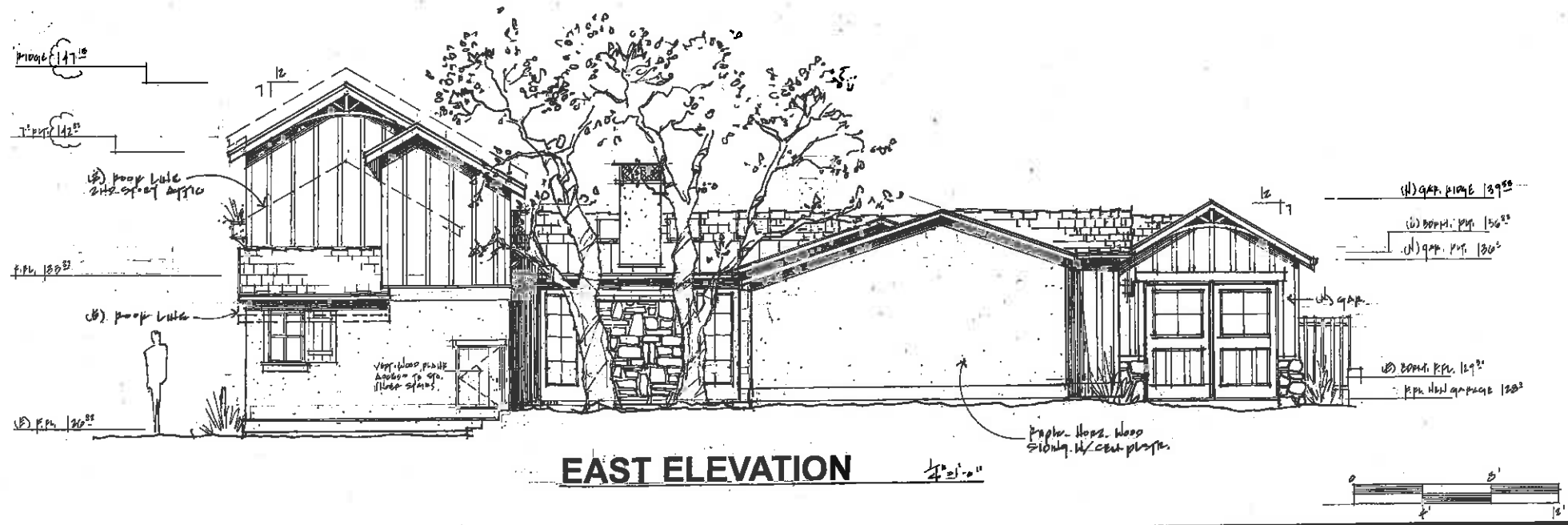
**WEST ELEVATION** 1/4" = 1'-0"



**NORTH ELEVATION** 1/4" = 1'-0"



**SOUTH ELEVATION** 1/4" = 1'-0"



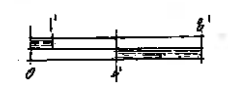
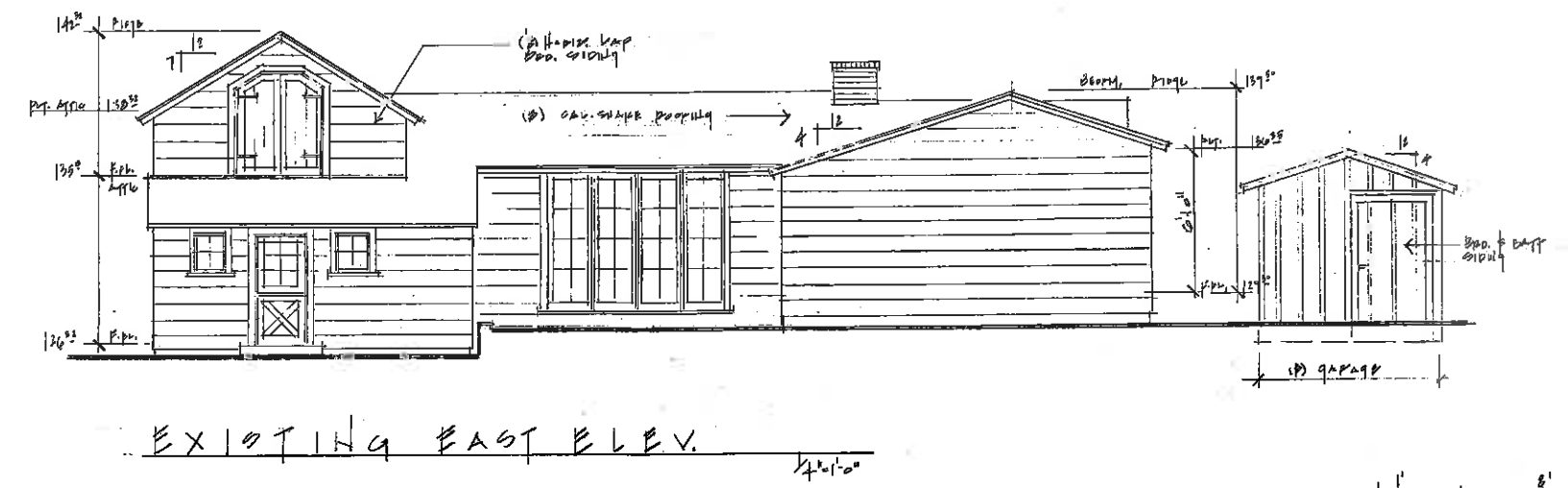
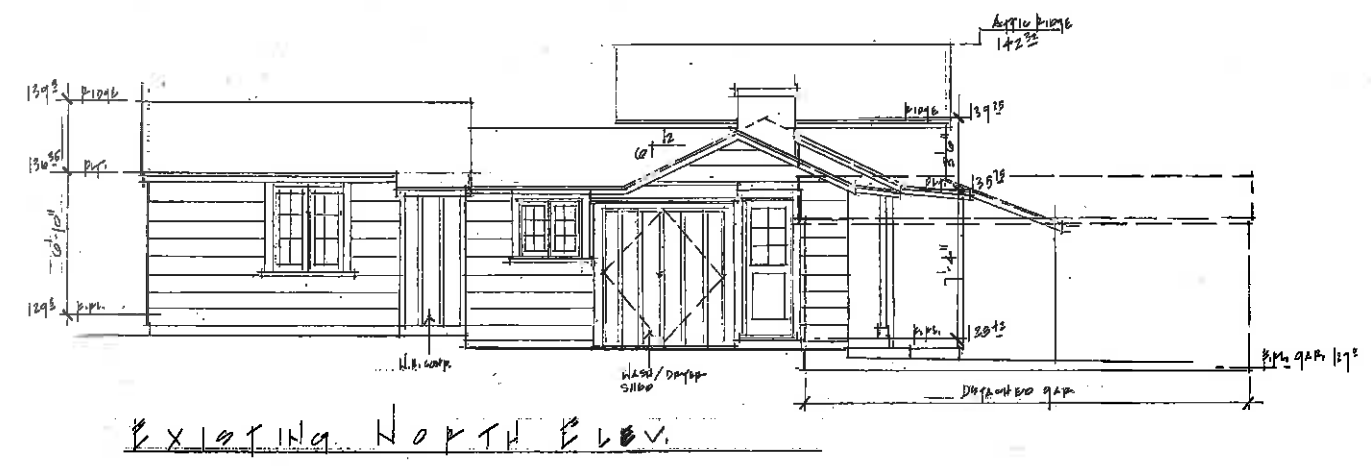
**EAST ELEVATION** 1/4" = 1'-0"

REVISIONS	BY

**BENGARD RESIDENCE**  
 NE CORNER, MONTE VERDE & 11TH CARMEL, CA.

DRAWN J.P.P. Crookley
CHECKED
DATE 03-08-14
SCALE 1/4" = 1'-0"
JOB NO. Old-Beng/101
SHEET A5
OF 8 SHEETS

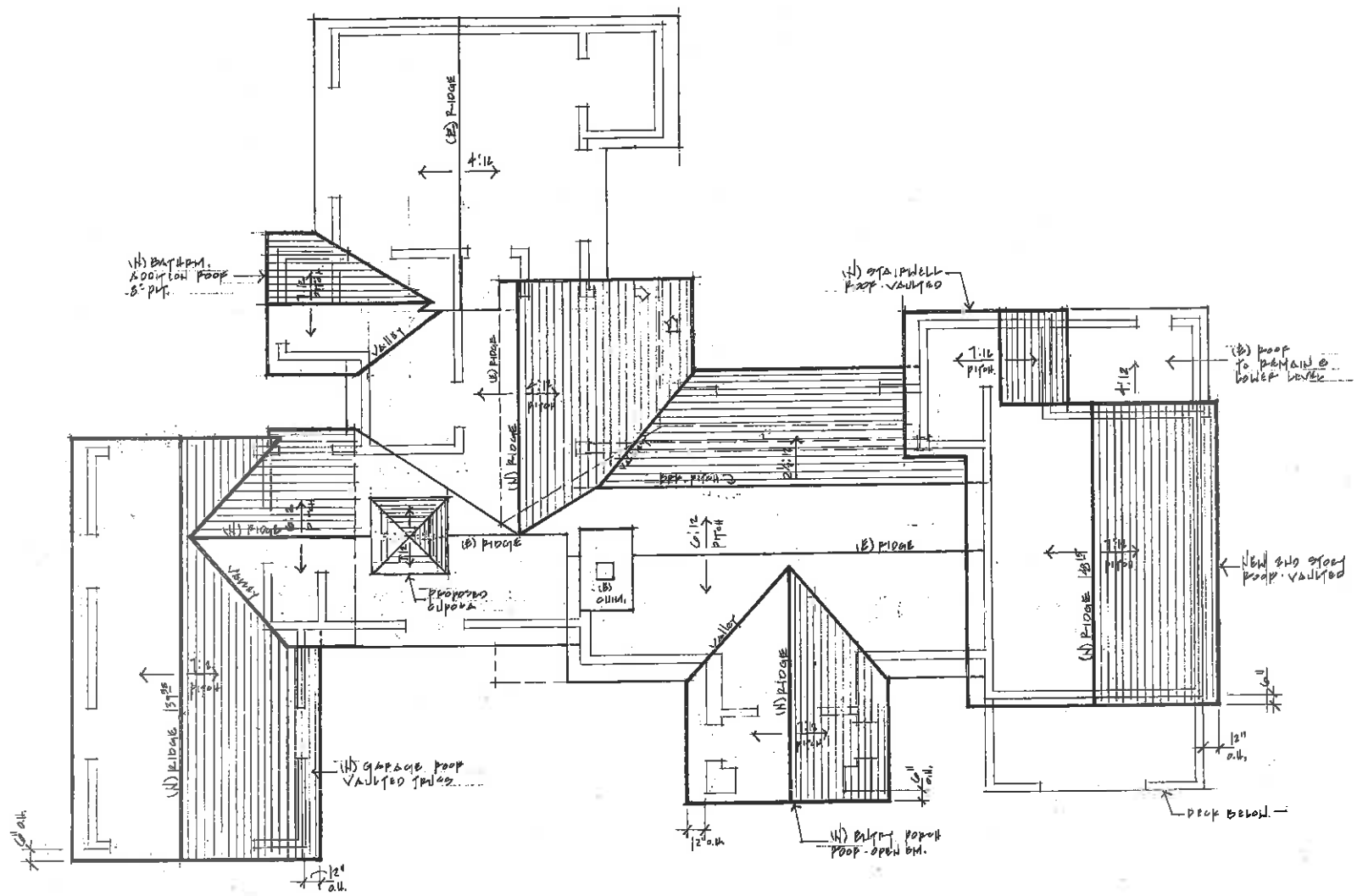
REVISIONS	BY



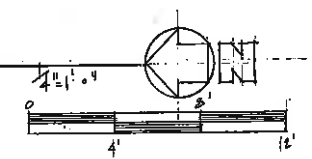
**BENGARD RESIDENCE**  
 NE CORNER, MONTE VERDE & 11TH CARMEL, CA.

DRAWN	
CHECKED	
DATE	
SCALE	
JOB NO.	014-BH-00
SHEET	
<b>A-5.1</b>	
OF	8 SHEETS

REVISIONS	BY



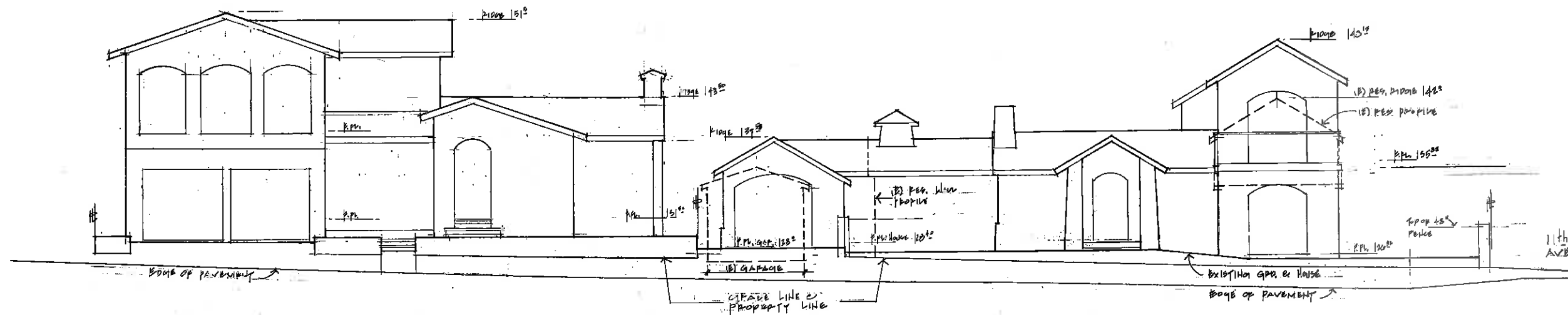
**ROOF PLAN**



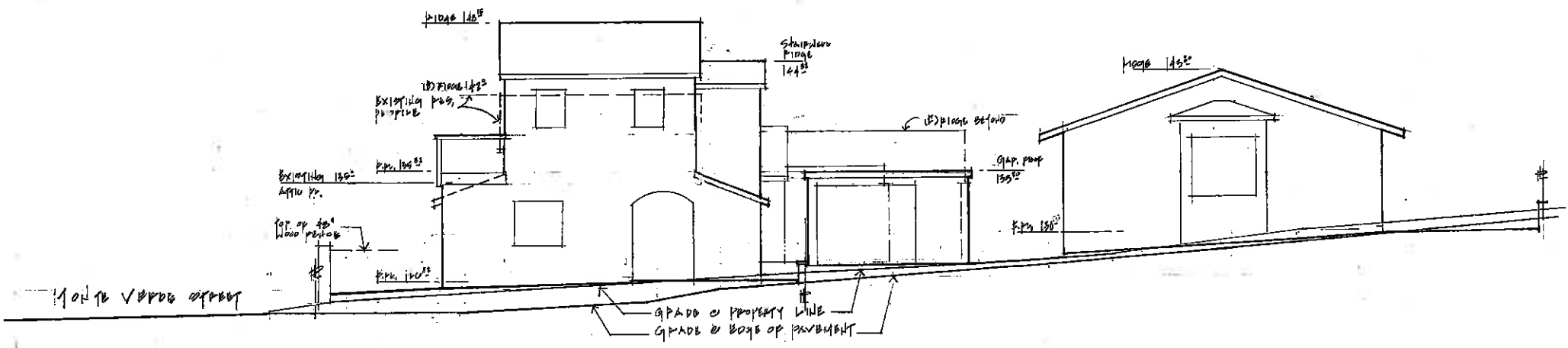
**BENGARD RESIDENCE**  
 NE CORNER, MONTE VERDE & 11TH CARMEL, CA.

DRAWN	Jeff O'Keefe
CHECKED	
DATE	4.20.14
SCALE	1/4" = 1'-0"
JOB NO.	04-001/001
SHEET	
<b>A6</b>	
OF	8 SHEETS

REVISIONS	BY



**MONTE VERDE STREET PROFILE**

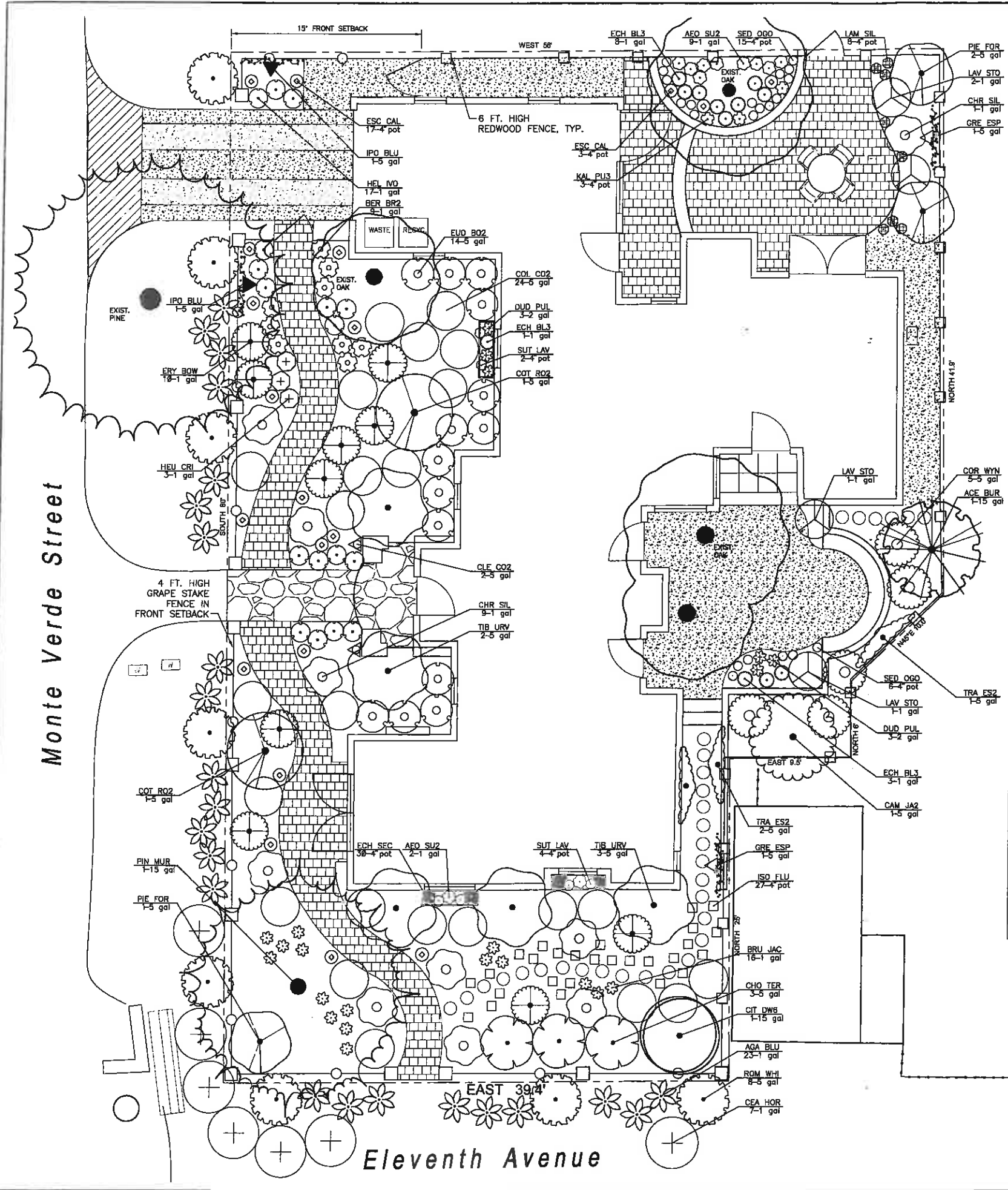


**ELEVENTH AVENUE PROFILE**

**BENGARD RESIDENCE**  
NE CORNER, MONTE VERDE & 11TH CARMEL, CA.

DRAWN Jeff Probert
CHECKED
DATE 4-20-14
SCALE 3/16" = 1'-0"
JOB NO. 014-CRM/00
SHEET <b>A7</b>
OF 8 SHEETS

BENTLEY SYSTEMS CORPORATION 11-0000



**PLANT SCHEDULE**

TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT.
	ACE BUR	1	Burgundy Lace Japanese Maple / <i>Acer palmatum</i> 'Burgundy Lace'	15 gal
	CIT DW6	1	Meyer Lemon / <i>Citrus x limon</i> 'Dwarf Meyer'	15 gal
	PIN MUR	1	Bishop Pine / <i>Pinus muricata</i>	15 gal
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT.
	AEO SU2	11	Aeonium / <i>Aeonium</i> x 'Sunburst'	1 gal
	AGA BLU	23	Blue Lily of the Nile / <i>Agapanthus africanus</i> 'Blue'	1 gal
	CHR SIL	10	Marguerite / <i>Argyranthemum frutescens</i> 'Silver Lady'	1 gal
	BER BR2	9	Heartleaf Bergenia / <i>Bergenia cordifolia</i> 'Bressingham White'	1 gal
	BRU JAC	16	Siberian Bugloss / <i>Brunnera macrophylla</i> 'Jack Frost' TM	1 gal
	CAM JA2	1	Camellia / <i>Camellia japonica</i>	5 gal
	CEA HOR	7	Carmel Creeper / <i>Ceanothus griseus horizontalis</i>	1 gal
	CHO TER	3	Mexican Orange / <i>Cholysa ternata</i>	5 gal
	CLE CO2	2	Clematis / <i>Clematis</i> x 'Comtesse de Bouchoud'	5 gal
	COL CO2	24	Compact Breath Of Heaven / <i>Coleonema pulchrum</i> 'Compacta'	5 gal
	COR WYN	5	Variiegated Australian Fuchsia / <i>Correa</i> x 'Wyn's Wonder'	5 gal
	COT RO2	2	Royal Purple Smoke Tree / <i>Cotinus coggygria</i> 'Royal Purple'	5 gal
	DUD PUL	6	Chalk Lettuce / <i>Dudleya pulverulenta</i>	2 gal
	ECH SEC	30	Hen and Chicks / <i>Echeveria secunda</i>	4" pot
	ECH BL3	12	Blue Curis Echeveria / <i>Echeveria</i> x 'Blue Curis'	1 gal
	ERY BOW	10	Wallflower / <i>Erysimum</i> x 'Bowles' Mauve'	1 gal
	ESC CAL	20	California Poppy / <i>Eschscholzia californica</i>	4" pot
	EUO BO2	14	Box-Leaf Euonymus / <i>Euonymus japonicus microphylla</i>	5 gal
	HEL IV0	17	Hellebore / <i>Helleborus</i> x <i>nigerrimithii</i> 'Ivory Prince'	1 gal
	HEU CRI	3	Crimson Curis Coral Bells / <i>Heuchera</i> x 'Crimson Curis'	1 gal
	ISO FLU	27	Blue Star Creeper / <i>Isotoma fluviatilis</i>	4" pot
	KAL PU3	3	Pumila Kalanchoe / <i>Kalanchoe pumila</i>	4" pot
	LAM SIL	8	Beacon Silver Lamium / <i>Lamium maculatum</i> 'Beacon Silver'	4" pot
	LAV STO	4	Spanish Lavender / <i>Lavandula stoechas</i>	1 gal
	PIE FOR	3	Lily of the Valley Bush / <i>Fieris japonica</i> 'Forest Flame'	5 gal
	ROM WHI	8	White Cloud Matilija Poppy / <i>Ramneya coulteri</i> 'White Cloud'	5 gal
	SED OGO	21	Stoncrop / <i>Sedum makinoi</i> 'Ogon'	4" pot
	SUT LAV	6	Lavender Bacopa / <i>Sutera cordata</i> 'Lavender Showers'	4" pot
	TIB URV	5	Princess Flower / <i>Tibouchina urvilleana</i>	5 gal
VINE/ESPALIER	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT.
	GRE ESP	2	Lavender Starflower Espalier / <i>Grewia occidentalis</i>	5 gal
	IPO BLU	2	Blue Dawn Morning Glory / <i>Ipomoea acuminata</i> 'Blue Dawn'	5 gal
	TRA ES2	3	Star Jasmine Trellis / <i>Trachelospermum jasminoides</i>	5 gal
GROUND COVERS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT.
	WOO FIN	629 sf	Groundcover / Wood Chips Finely shredded	mulch

**EPD - Landscape Architecture**  
 Phone: 831.596.6684  
 Web: www.epdla.com

DATE:  
8/8/2014

SCALE:  
1/4" = 1'-0"

DRAWN BY:  
MCW

PROJECT TITLE:

**Bengard Residence**

MONTE VERDE STREET  
 4 N/E OF 11TH AVE.  
 CARMEL, CA 93921  
 A.P.N.: #010-182-00"



SHEET TITLE:

**PLANTING PLAN**

SHEET #

**L1**



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

September 10, 2014

**To:** Chair Reimers and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director *RM*

**Submitted by:** Christy Sabdo, Contract Planner

**Subject:** Design Study DS 14-78 (McWilliams) for the replacement of a wood-shake roof with composition shingles on a residence located in the Single-Family Residential (R-1) District

---

**Recommendation:**

Deny Design Study DS 14-78 for the replacement of a wood-shake roof with composition shingles

<b>Application:</b>	DS 14-78	<b>Applicant:</b>	David Cooper
<b>Location:</b>	26151 Ladera Drive	<b>Owner:</b>	Peter McWilliams
<b>Block:</b>	MA	<b>Lot:</b>	4
<b>APN:</b>	009-331-004		

**Background and Project Description:**

The project site is located at 26151 Ladera Drive and is developed with a one-story residence that is clad with stucco and brick siding and that has a wood-shake roof.

On August 13, 2014, the Planning Commission reviewed the applicant's proposal to replace the existing wood shake roof with Certain Teed, Landmark TL composition shingles. The Planning Commission made a motion to continue the item to allow the applicant to return with an alternative, higher-quality composition shingle or the applicant may revise the proposal for a tile, slate, or wood roofing material that could be approved at the staff level. The applicant is has submitted an alternative composition shingle, GAF Grand Sequoia (color: Weathered Wood) for the Planning Commission's consideration.

As background, on January 25, 2012, the Planning Commission determined that all requests for

replacement of wood shingles/shakes with composition shingles should be reviewed by the Commission. The Commission wanted to ensure that the use of composition shingles would not negatively impact community character.

**Staff analysis:**

**Roofing Material:** Section 9.8 of the City's Residential Design Guidelines states the following:

***Roof materials should be consistent with the architectural style of the building and with the context of the neighborhood.***

- *Wood shingles and shakes are preferred materials for most types of architecture typical of Carmel (i.e., Arts and Crafts, English Revival and Tudor Revival).*
- *Composition shingles that convey a color and texture similar to that of wood shingles may be considered on some architectural styles characteristic of more recent eras.*

The existing wood shake-roof is deteriorated and in need of replacement. The applicant is proposing to replace the wood shakes with either the Certain Teed, Landmark TL composition shingles (color: Country Gray) or, as an alternative, the GAF Grand Sequoia composition shingles (color: Weathered Wood). Staff has included a photograph of both composition shingles styles as Attachment B and Attachment C. The subject residence is clad with stucco and brick and has a moderately-pitched hipped roof design that is visually prominent from the street.

When making a decision on the use of composition-shingle roofing, the Planning Commission should consider neighborhood context, the architectural style of the building, and the characteristics of the proposed composition shingle. Staff notes that in certain instances, the Planning Commission has approved the replacement of wood roofing material with composition shingles in cases when the composition shingles are compatible with other homes in the neighborhood and/or when the roof is not highly visible from the street (for example, for flat or low-pitched roofs).

Below is a comparison of the proposed roofing styles.



Certain Teed, Landmark TL option	GAF Grand Sequoia option
<ul style="list-style-type: none"> <li>• Lifetime warranty</li> <li>• A horizontal layer of both triple layer shingles and single layer shingles, designed to mimic wood shakes</li> <li>• Provides dimensional character with shading characteristic of wood shakes</li> </ul>	<ul style="list-style-type: none"> <li>• Lifetime warranty</li> <li>• A random design of uniformly thick shingles, designed to mimic wood shakes</li> <li>• Provides dimensional character with shading characteristic of wood shakes</li> </ul>

Staff recommends that the Planning Commission deny the proposal for composition shingle roofing, as it would be inconsistent with Design Guideline 9.8. This recommendation is based on the incompatibility of the proposed composition shingles with the other homes in the neighborhood, and the design of the subject residence.

**Alternatives:** Staff notes that the Community Planning and Building Department would be able to approve a re-roofing application to replace the existing roofing with wood shakes or shingles. Alternatively, the Planning Commission could note its support for the originally proposed Certain Teed Landmark TL composite shingles or the alternative GAF Grand Sequoia composition shingles, in which case, staff would approve the request.

**Environmental Review:** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 1) – Additions to Existing Facilities.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Roofing Brochure
- Attachment C – Roofing Brochure
- Attachment D – Previously-Presented Applicant Correspondence

**Attachment A – Site Photographs**

**Project Site – Facing east on Ladera Drive**



**Project Site – Facing east on Ladera Drive**



**Attachment B – Proposed CertainTeed Landmark TL composition shingles (color: country gray)**



**Attachment C – Alternative Choice: Proposed GAF, Grand Sequoia composition shingles (color: weathered wood)**



## Attachment D-Applicant Correspondence

(Letter received via email on August 5, 2014 from Chalmer McWilliams):

August 5, 2014

Christy Sabdo  
Contract Planner  
City of Carmel-by-the-Sea  
P.O. Box CC  
Cannel-by-the-Sea, CA 93921

REF: Residence located at 26151 Ladera Drive, Cannel, CA 93923, DS 14-78

Dear Christy,

It was great to meet you last week to discuss my roofing project located at: 26151 Ladera Drive, Cannel, CA 93923.

Please find this request and the supporting referenced documents to be my presentation for the Planning Commission's meeting scheduled on August 13, 2014.

**My goal in this process is to receive permission for the use of Triple Layer Certainteed's Landmark Pro 40 year dimensional composite shingles on the above referenced property.**

### Some History:

This residence was purchased by my Grandfather, Chalmer McWilliams, in 1964. It has remained in our family even after his passing some 20 years ago. I love Carmel as he did; and want to continue to maintain the charm and serenity that is Carmel. My desire is to support the City's vision to keep Carmel, Cannel.

My request for permission to install Triple Layer Certainteed's Landmark Pro 40 year dimensional composite shingles on my residence coincides with and exemplifies the City's vision on several levels of importance.

**First, Fire Safety.** Keeping the beauty of Carmel as protected as possible is paramount in our high fire hazard area. Ladera Drive sits directly above one of the last great forest areas in our town. Reducing the bum rate of any type of fire incidence is accomplished with this above referenced composite roofing material.

**Second, Visual Beauty.** Composite shingles have come such a long way in depth, color variety, strength and visual beauty. Today's dimensional shingle is a beautiful alternative to enhancing our Carmel residences. Of the approximately 12 residences on Ladera Drive, 25% of them are roofed in composite material. Installation of a dimensional composite shingle will not distract from the Carmel beauty of our neighborhood or our town.

Third, Insurance Concerns. Please find the enclosed letter from Matt Little of the Carmel Insurance

Agency. Matt makes some excellent points on the importance allowing composite shingles in our Carmel neighborhoods. Please consider his points for my request as well.

**Fourth, Maintenance and Durability.** With the beautiful landscapes, large spanning trees and close confinements of not only tree branches, but also the foliage that intertwines around roof lines and property in Carmel, the ability for wood shingle roofs to endure in this environment is NOT as strong as with a composite roofing material. Please review the enclosed pictures of the large oak tree branches hanging very “Carmel like” above my roof. The composite material roof would allow greater endurance for the roof surface and consequently stay visually appealing for the neighborhood.

**Fifth, Very Limited View of my roof from the street.** In keeping with the City's desire (Section 9.8 of Carmel-by-the-Sea Design Traditions, Final Details Guidelines for Building Design, page 6) to keep “roof materials consistent with the architectural style of the building and with the context of the neighborhood”, I submit that not only does my home have an extremely limited view of the roof from the street, but also matches several of the homes on the street with “composite shingles that convey a color and texture similar to that of wood shingles”.

To be clear and concise, I appreciate greatly the work and effort of our Carmel-by-the-Sea City Planning committee for maintaining and upholding the rich tradition of architectural styling and Carmel beauty. I genuinely believe that my request honors this effort on many levels.

I respectfully request a decision in favor of granting permission to install the above mentioned composite roofing material at 26151 Ladera Drive, Carmel, CA 93923.

Thank you for your time,

Chalmer McWilliams III  
26151 Ladera Drive  
Carmel, CA 93923  
817-821-0113

## Christy Sabdo

---

**From:** chalmer McWilliams [lotuscha17@yahoo.com]  
**Sent:** Tuesday, August 05, 2014 2:24 PM  
**To:** Christy Sabdo  
**Subject:** DS1478

Christy,

Below is the communication I received from Matt Little. I referenced in my 2 page request for permission. Please include this letter in the pre-read for the planning commission.

Thank you,

Chalmer

On Friday, August 1, 2014 6:14 PM, Matthew Little <[malittle@carmelinsurance.com](mailto:malittle@carmelinsurance.com)> wrote:

Chalmer, right now in California our insurance markets require class A wood shake or better. In heavily forested areas like Carmel and Pebble Beach, our big name carriers like AIG, Chubb, and Fireman's Fund will not even consider class A wood shake. Other companies add a wood roof surcharge of 35% or more even if the roof is class A. I have reached out to Mayor Burnett for a discussion of this issue to see if we can get the planning commission to reconsider acceptable options in place of wood shake. That's the best we can do for now. Thank you, Matt.

Matthew A. Little, President  
Carmel Insurance Agency, Inc  
P.O. Box 6117  
Carmel, CA 93921  
831-624-1234 Office  
831-238-2331 Mobile

## Christy Sabdo

---

**From:** chalmer McWilliams [lotuscha17@yahoo.com]  
**Sent:** Tuesday, August 05, 2014 2:45 PM  
**To:** Christy Sabdo  
**Subject:** Fw: DS1478

Christy,

Please find 5 photos attached with comment under each for clarity and purpose.

Thank you,

Chalmer

On Tuesday, August 5, 2014 4:25 PM, Chalmer McWilliams <[lotuscha17@yahoo.com](mailto:lotuscha17@yahoo.com)> wrote:



Reference Item 5 support

26151 Ladera Dr. as seen from the street. NOTE: My house is BEHIND all the trees...in other words, you cannot see the house, let alone the roof!

The house in this picture is our neighbor to the North.





**Reference Item 5 support: Very limited view of roof from the street. This is the only roof area that can be seen by any neighbor; and one would need to be standing in the driveway.**



**Reference Item 5 support: Limited view of House and roof from the street.**



**Reference Item 4 support: a composite roof would endure greater life under Carmel beautiful expansive tree branches.**



**Reference Item 2 & 5 support: This is across the street from 26151 property. Notice composite roofing material next door to wood shingle. The neighborhood can accommodate both styles and still maintain our Carmel standards.**

**Sent from MI6**



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

September 10, 2014

**To:** Chair Reimers and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director RM

**Submitted by:** Christy Sabdo, Contract Planner

**Subject:** Consideration of a Concept Design Study DS 14-50 (Mussallem) and associated Coastal Development Permit application for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District

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**Recommendation:**

Accept the Conceptual Design Study (DS 14-50) subject to the attached findings and recommendations/draft conditions

**Application:** DS 14-50

**Block:** 142

**Lots:** 4 & 6

**Location:** San Carlos 2 SE of 13<sup>th</sup> Ave.

**APN:** 010-162-025

**Property Owners:** Greg and Patricia Mussallem **Applicant:** Adam Jeselnick

**Background and Project Description:**

The project site is located on San Carlos Street two parcels southeast of 13th Avenue. The property is developed with a 1,754-square foot one-story residence clad with horizontal-wood siding. The existing site coverage consists of two brick patios, a brick walkway, and a wood deck that together total 925 square feet. Existing improvements within the San Carlos Right-of-Way (ROW) consist of gravel, a brick walkway, and boulders. A Final Determination of Historic Ineligibility for the subject residence was issued by the Community Planning and Building Department on September 3, 2014.

The owner has submitted plans to demolish the existing residence and construct a new two-story residence. The proposed residence would be 2,210 square feet in size, which includes

1,735 square feet on the first floor, 475 square feet on the second floor, and a 242-square foot detached garage. All existing site coverage would be removed and replaced with new site coverage.

The applicant's proposal includes:

- 1) the demolition of the existing one-story residence
- 2) the removal of 925 square feet of existing site coverage
- 3) a new 2,210-square foot two-story residence
- 4) a new 242-square foot detached garage in the front yard setback
- 5) 548 square feet of new site coverage, including a permeable paver driveway, a stone front porch and steps, a stone courtyard terrace, and a new permeable paver walkway

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass, and scale related to the project. However, the Commission may provide input on other aspects of the design such as architectural detailing and finish materials.

<b>PROJECT DATA FOR A 6,000 SQUARE FOOT SITE:</b>			
<b>Site Considerations</b>	<b>Allowed</b>	<b>Existing (DEMO)</b>	<b>Proposed</b>
Floor Area	2,460 sf (41%)	1,754 sf (29.2%)	2,452 sf (40.9%)
Site Coverage	781 sf (13%)*	925 sf (15.4%)	548 sf (9.1%)
Trees (upper/lower)	4/3 (recommended)	13/7	7/4
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18 ft/ 24 ft	N/A – Demo	16 ft/ 21.6 ft
Plate Height (1 <sup>st</sup> /garage)	12 ft/ 18 ft	N/A– Demo	8.7 ft/ 17.7 ft
<b>Setbacks</b>	<b>Minimum Required</b>	<b>Existing (DEMO)</b>	<b>Proposed</b>
Front Yard	15 ft	14 ft 5 in	2 ft 2 in
Composite Side Yard (house/garage)	15 ft (40%)	20 ft (33%)	15.3 ft (26%)
Minimum Side Yard	3 ft	3.5 ft	3 ft
Rear	3 ft/ 15ft	10 ft	15 ft 3 in

\*Allowable site coverage with bonus, if 50% or more of the site coverage is permeable.

**Staff Analysis:**

**Forest Character:** Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

The property contains six significant, upper canopy trees, including three Monterey cypress and three Monterey pines, and two significant, lower canopy Coast live oak trees. Three trees, including a Monterey cypress, a Black acacia, and a Coast live oak have been designated as moderately significant. The City Forester has reviewed the proposal and recommends that the applicant remove the Black acacias growing along the north property line on the subject property. The acacias are having an adverse effect on the adjacent oak trees and are also bending the wood retaining wall and lifting the walkway on the property to the north. The applicant is currently proposing to remove two of the three acacias on the property along the north property line. A condition has been drafted requiring the applicant to remove all of the acacias along the north property line.

**Privacy & Views:** Residential Design Guidelines 5.1 through 5.3 pertain to maintenance of “privacy of indoor and outdoor spaces in a neighborhood,” organization of “functions on a site to preserve reasonable privacy for adjacent properties,” and maintenance of “view opportunities.”

While no substantial impacts were identified, the proposed second-story portion is located at the back of the new residence and may have slight impacts on the privacy of the northern neighbor’s courtyard and residence. The proposed northern elevation of the residence is mainly one-story with a ridge height of approximately 14 ft. The existing fence to be replaced would maintain the 6-ft height, which would help retain privacy for the neighbor to the north. The second-story proposed for the new residence consists of a ridge height of approximately 21 ft and four second-story windows. Staff notes that the privacy impacts are slight as the proposed second-story windows are small in size. Staff has added a condition to work with staff and the City Forester to propose trees along the north property line to provide screening between the subject property and the neighboring residence and courtyard to the north.

**Mass & Bulk:** Residential Design Guidelines 7.1 through 7.5 encourage a building’s mass to relate “to the context of other homes nearby” and to “minimize the mass of a building as seen from the public way or adjacent properties.”

The applicant is proposing to demolish a one-story residence and build a new two-story residence. The mass and bulk of the residence is reduced by locating the second-story at the rear of the property. The neighbors to the north and south have single-story homes; however, the residences along San Carlos Street consist of a combination of single-story, single-story with a partial second-story at the rear of the home, and second-story residences. With regard to mass and bulk, in staff's opinion, the proposed addition is consistent with Residential Design Guidelines 7.1 through 7.5.

***Building & Roof Form:*** Residential Design Guidelines 8.1 through 8.3 state that *"building forms should be simple. Basic rectangles, L or U-shapes are typical"* and *"basic gable and hip roofs are traditional and their use is encouraged"* and *"in general, moderately pitched roofs (4:12 to 6:12) are preferred."*

The proposed residence is mostly visible as a one-story residence from the San Carlos ROW. The one-story portion of the residence has a gable and hip roof with a 9:12 roof pitch at the front of the property and a 5:12 pitch in-between the one-story and second-story portions of the residence. The proposed detached garage within the front yard setback has a roof pitch of 9:12. The proposed second-story element, located at the rear of the property, has roof pitches of 4:12 and 5:12.

***Detached Garage:*** Residential Design Guideline 6.2 states that *"parking facilities that maintain or enhance variety along the street edge are encouraged."* CMC 17.10.030 allows for detached garages and carports to encroach into the front and/or side yard setbacks if certain standards can be met. These include avoiding impacts on significant trees and providing diversity to the streetscape.

A garage does not currently exist on the property. A new 242-square foot detached garage is proposed to be built approximately 2 feet 2 inches from the front property line along San Carlos Street. Staff supports the location of the new garage as it provides diversity to the neighborhood streetscape and does not impact significant trees on the property. At staff's request, the applicant has moved the proposed new garage so that it is set back more than 6 feet from the 40-inch diameter pine tree located in the San Carlos ROW.

***Public ROW:*** The City ROW that fronts the property is developed with a gravel parking area, a brick walkway with a short asphalt return to the street, and rock boulders. The applicant is proposing to remove all existing encroachments in the ROW, which will enhance the forested



appearance of the ROW. A new 9-foot 6 inch wide permeable paver driveway with a short return of asphalt is proposed within the City ROW. Staff supports these changes.

***Environmental Review:*** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 2) – Replacement or Reconstruction. An existing, non-historically significant 1,754-square foot single-family residence would be demolished and replaced by a new 2,210-square foot residence, including 242 square foot garage, for a net increase in floor area of 698 square feet. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Recommendations/Draft Conditions
- Attachment D – Project Plans

**Attachment A – Site Photographs**

**Facing south near the corner of San Carlos Street and 13<sup>th</sup> Ave.**



**Looking southeast from the corner of San Carlos Ave and 13th Street**



**Front of residence along San Carlos Street**



**New detached garage proposed in front yard setback**



## Attachment B – Findings for Concept Acceptance

DS 14-50 (Mussallem)  
 September 10, 2014  
 Concept Findings  
 Page 1

<b>FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)</b>		
For each of the required Design Study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no," the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

<p>8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.</p>	<p>✓</p>	
<p>9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.</p>	<p>✓</p>	
<p>10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.</p>	<p>✓</p>	
<p>11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.</p>	<p>TBD</p>	
<p>12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.</p>	<p>✓</p>	

## Attachment C – Recommendations/Draft Conditions

DS 14-50 (Mussallem)

September 10, 2014

Recommendations/Draft Conditions

Page 1

<b>Recommendations/Draft Conditions</b>	
<b>No.</b>	
1.	The applicant shall remove the three non-significant Black acacia trees along the north property line. This change shall be noted on the proposed site plan and landscape plan on the Final Design Study plan set.
2.	The applicant shall work with the case Planner and the City Forester to propose an appropriate number and species of trees to be located along the north property line between the neighbor to the north and the proposed second-story. The trees will serve to screen the proposed second-story residence from the northern neighbor's courtyard and residence.
3.	Prior to final building inspection, the applicant shall remove all existing gravel, brick walkway, asphalt, and rock boulders from the City ROW.

**GENERAL NOTES**

**PROJECT DATA**

SCOPE OF WORK:  
 DEMOLITION OF AN EXISTING SINGLE-FAMILY RESIDENCE.  
 BUILD NEW DETACHED 1-CAR GARAGE AND SINGLE-FAMILY RESIDENCE.  
 NEW DRIVEWAY, STONE PORCH, AND TERRACE.  
 TREE REMOVAL AS NOTED ON THE PLAN.

CONSTRUCTION TYPE: V-B  
 OCCUPANCY: R-3  
 FIRE SPRINKLERS: NO  
 WATER: CAL-AM (E)  
 SEWER: CARMEL AREA WASTE WATER DISTRICT (E)

TREE REMOVAL: NINE (9) NOT SIGNIFICANT  
 1-4" REDWOOD  
 5-3", 4", 12", 12", 18" MONTEREY PINE  
 1-4" ITALIAN STONE PINE  
 2-10", 7" BLACK ACACIA

GRADING: NONE

**SITE COVERAGE CALCULATIONS:**

(E) PATIO, WALKWAYS: 622 SF  
 (E) DECK, ROCK PATIO: 303 SF

**TOTAL (E) COVERAGE: 925 SF**  
 \*ALL (E) COVERAGE WILL BE REMOVED  
 \*MAX. ALLOWABLE COVERAGE = 555 SF

(N) DRIVEWAY: 20 SF (PERMEABLE PAVERS)  
 (N) FRONT PORCH + STEPS: 129 SF (IMPERMEABLE, STONE TILE)  
 (N) COURTYARD TERRACE: 333 SF (IMPERMEABLE, STONE TILE)  
 (N) WALKWAY: 66 SF (PERMEABLE PAVERS)

**TOTAL (N) COVERAGE: 548 SF**  
 \*REDUCED BY 377 SF

**FLOOR AREA CALCULATIONS:**

(E) HOUSE: 1,754 SF  
 (E) GARAGE (NONE): 0/SF

**TOTAL (E) SF: 1,754 SF**

(N) HOUSE, 1ST FLOOR: 1,735 SF  
 (N) HOUSE, 2ND FLOOR: 475 SF  
 (N) DETACHED GARAGE: 242 SF

**TOTAL, PROPOSED SF: 2,452 SF**

\*NOTE: MAX. ALLOWABLE 2,460 SF

**SHEET INDEX**

- A1 PROJECT DATA AND SITE LOCATION
- A2 NOTES AND SPECIFICATIONS, STREET ELEVATIONS  
 ANNOTATED SITE SURVEY
- A3.0 SITE PLAN, DEMOLITION
- A3.1 SITE PLAN, EXISTING + PROPOSED
- A4 PROPOSED 1ST AND 2ND FLOOR PLANS
- A5 PROPOSED ROOF PLAN
- A6 FLOOR LEVEL MAP + SCHEDULES
- A7 PROPOSED BUILDING ELEVATIONS
- A8 PROPOSED BUILDING ELEVATIONS
- A9 RENDERINGS

**PROJECT DATA**

PROPERTY ADDRESS: SAN CARLOS STREET 2 SOUTH/EAST OF 13TH AVENUE  
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

BLOCK/LOT: BLOCK 142, LOT 6, 1/2 OF LOT 4  
 A.P.N. 010-162-025-000

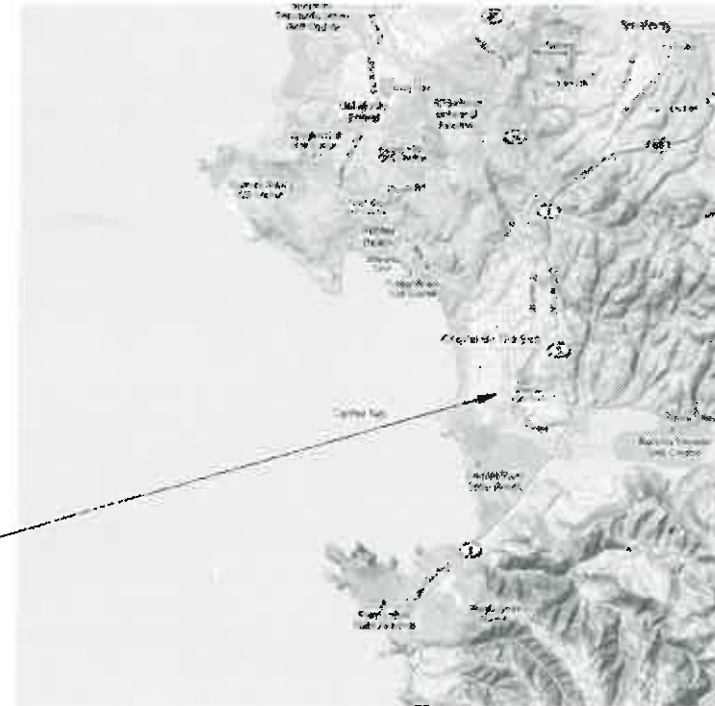
ZONING: R-1 SINGLE FAMILY RESIDENTIAL

OWNER: GREG AND PATRICIA MUSSALLEM  
 PO BOX 5144  
 CARMEL-BY-THE-SEA, CALIFORNIA 93921  
 PHONE: (831) 264-3419

ARCHITECT: **ADAM JESELNICK ARCHITECT**  
 3069 LORCA LANE  
 CARMEL, CA 93923  
 PHONE: (831) 620.5164 m  
 CONTACT: ADAM JESELNICK AIA  
 EMAIL: aejarch@gmail.com

SURVEYOR: RASMUSSEN LAND SURVEYING  
 PO BOX 3135  
 MONTEREY, CA 93942  
 PHONE: (831)375-3240

CONTRACTOR: CONTACT:  
 EMAIL:



1 VICINITY MAP  
 SCALE: N.T.S

ADAM JESELNICK  
 ARCHITECT

**MUSSALLEM RESIDENCE**  
 SAN CARLOS 2 S/E 13TH AVENUE  
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

RECEIVED

JUL 29 2014

City of Carmel-by-the-Sea  
 Planning & Building Dept.

TITLE SHEET

07-29-2014

AS NOTED

A1

**GENERAL NOTES**

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE **2013 CALIFORNIA RESIDENTIAL BUILDING CODE (CBC)**; CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.

**CITY OF CARMEL-BY-THE-SEA  
CONDITIONS of APPROVAL**

1.

**SPECIFICATIONS**

SPECIFICATIONS AS NOTED ON THE ARCHITECTURAL AND ENGINEERING PLANS.

**GRADING / DRAINAGE NOTES**

NO GRADING PROPOSED. EXISTING DRAINAGE TO REMAIN.



ADAM JESELNICK  
ARCHITECT

**MUSSALLEM RESIDENCE**  
SAN CARLOS 2 S/E 13TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

NOTES & SPECIFICATIONS

07-29-2014

SCALE: 1/8" = 1'-0"

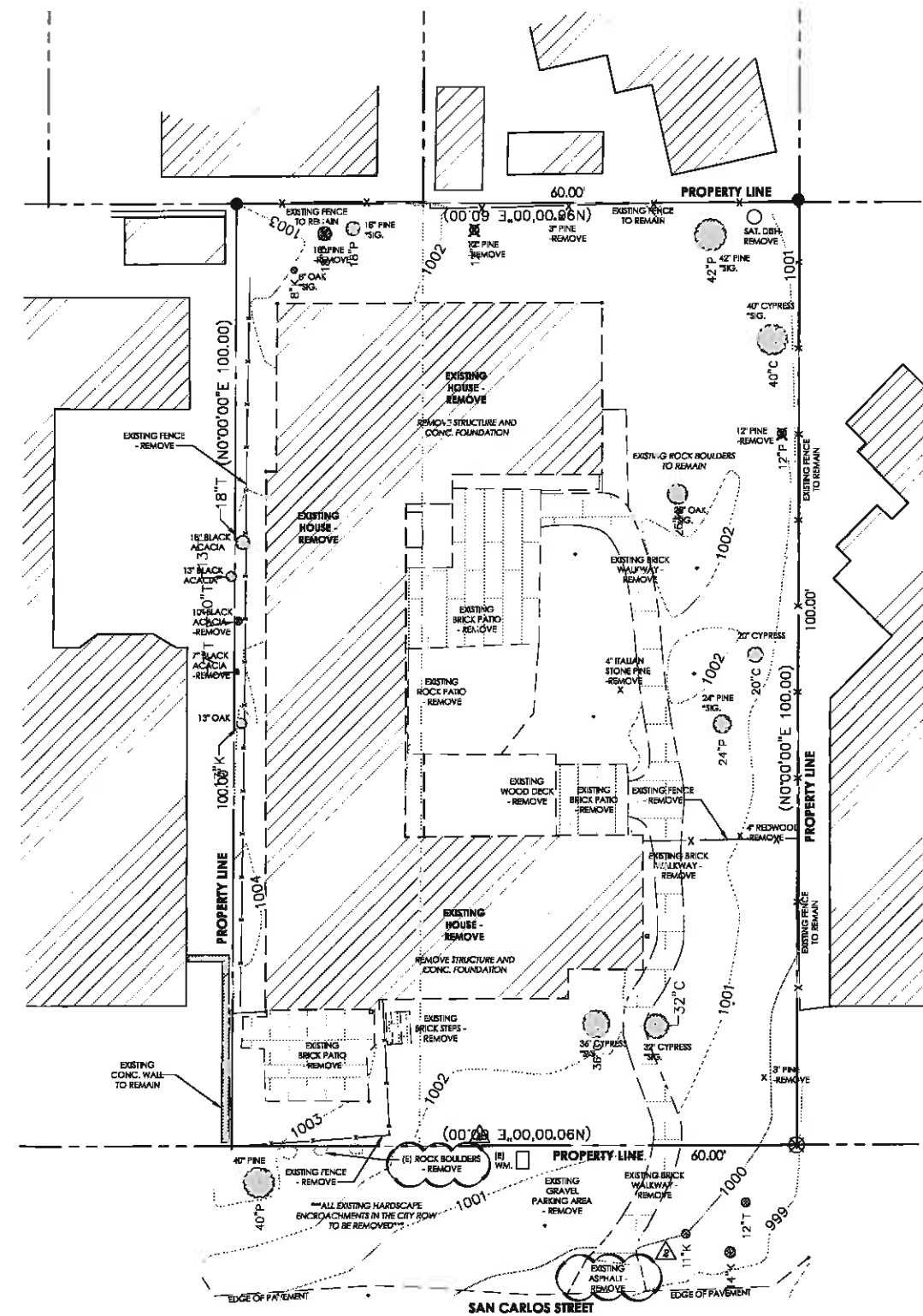
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REVISION #	DATE	DESCRIPTION
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2	07/29/2014	PLANNING RE-SUBMITTAL

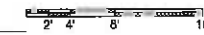


**SITE PLAN NOTES:**

1. TREE REMOVAL AS NOTED ON PLAN AND APPLICATION. NO CONSTRUCTION IMPACTS TO SIGNIFICANT TREES.
2. NO CHANGE TO EXISTING SITE DRAINAGE.
3. COORDINATE UTILITIES WITH PG&E, CAWD, CAL-AM, UNDERGROUND EXISTING ELECTRICAL LINE.
4. DEMOLITION OF EXISTING HOUSE AND FOUNDATION.
5. DEMOLITION OF ALL EXISTING (NON-CONFORMING) SITE COVERAGE, INCLUDING WALKWAYS, DECKS, AND STEPS.
6. EXISTING PROPERTY LINE FENCING TO REMAIN AS NOTED. REPAIR AS NEEDED WITH LIKE MATERIALS.
7. ALL EXISTING LANDSCAPE AREAS TO REMAIN.
8. \*ALL\* EXISTING ENROACHMENTS IN THE CITY RIGHT-OF-WAY, INCLUDING BRICK PATHWAYS, ASPHALT PATH, BOULDERS, AND GRAVEL PARKING AREA SHALL BE REMOVED.
9. EXISTING SITE PLAN BASED ON SURVEY PROVIDED BY RASJUSSEN LAND SURVEYING, DATED MARCH 4, 2014



**2 DEMOLITION SITE PLAN**  
SCALE: 1/8" = 1'-0"



REVISION #	06/17/2014	PLANNING RE-SUBMITTAL
	07/29/2014	PLANNING RE-SUBMITTAL

ADAM JESELNICK  
ARCHITECT

**MUSSALLEH RESIDENCE**  
SAN CARLOS 2 S/E 13TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

DEMOLITION  
SITE PLAN

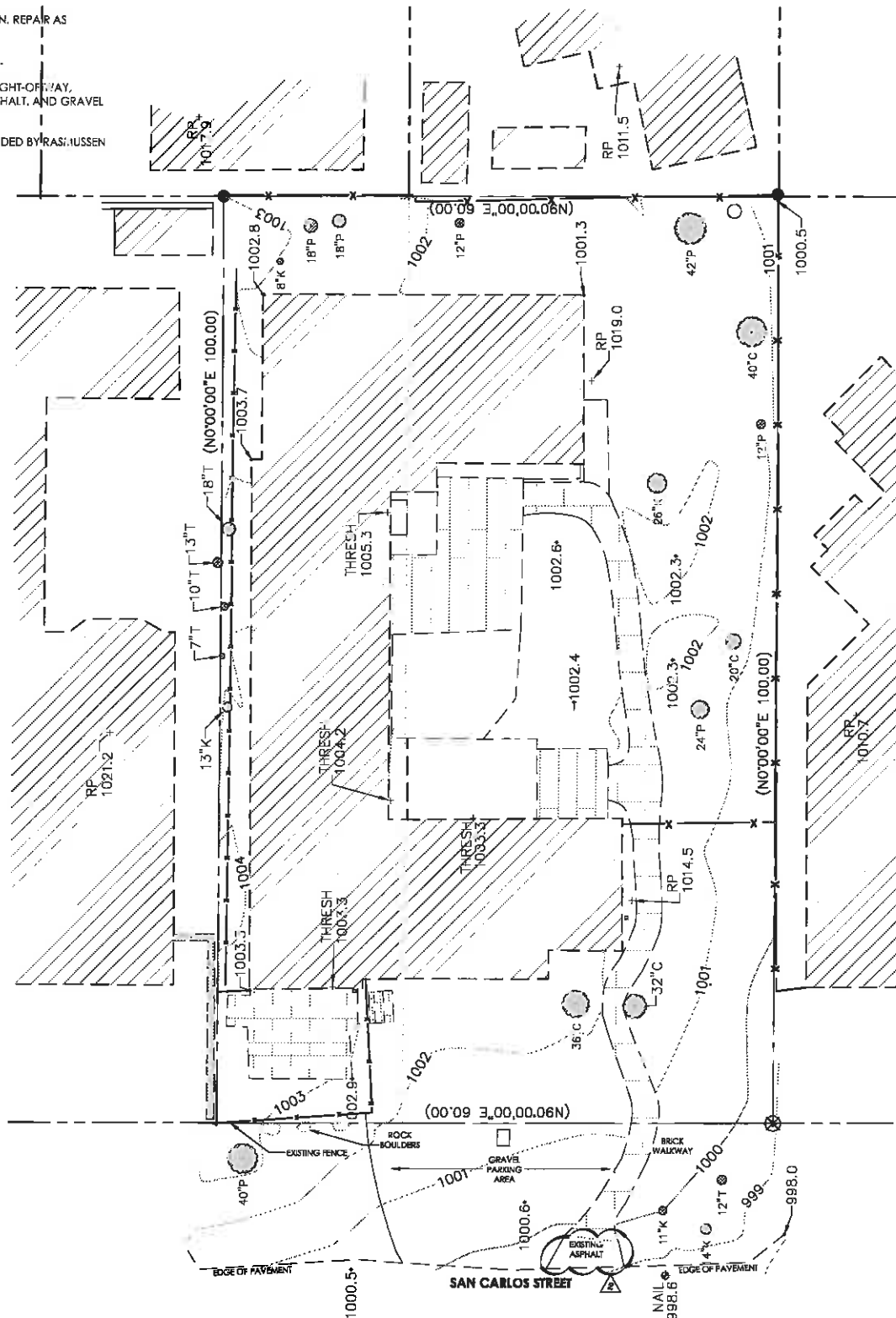
07-29-2014

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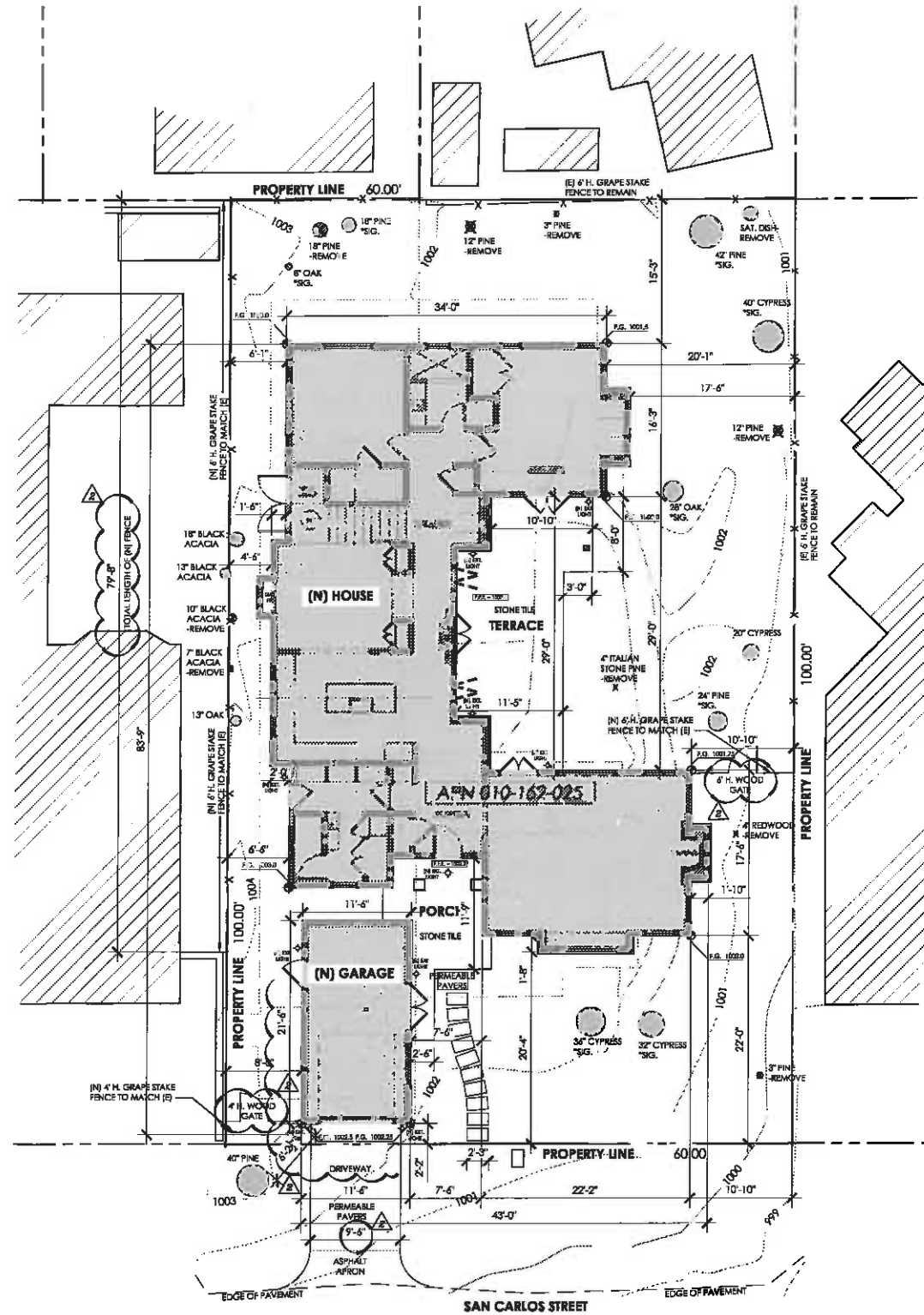
**A3.0**

**SITE PLAN NOTES:**

1. TREE REMOVAL AS NOTED ON PLAN AND APPLICATION. NO CONSTRUCTION IMPACTS TO SIGNIFICANT TREES.
2. NO CHANGE TO EXISTING SITE DRAINAGE.
3. COORDINATE UTILITIES WITH PG&E, CAWD, CALUM. UNDERGROUND EXISTING ELECTRICAL LINE.
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9. EXISTING SITE PLAN BASED ON SURVEY PROVIDED BY RASLUSSEN LAND SURVEYING, DATED MARCH 4, 2014



**1 EXISTING SITE PLAN**  
SCALE: 1/8"=1'-0"



**2 PROPOSED SITE PLAN**  
SCALE: 1/8"=1'-0"

REVISION #	DATE	DESCRIPTION
1	06/17/2014	PLANNING RE-SUBMITTAL
2	07/29/2014	PLANNING RE-SUBMITTAL

ADAM JESELNICK  
ARCHITECT

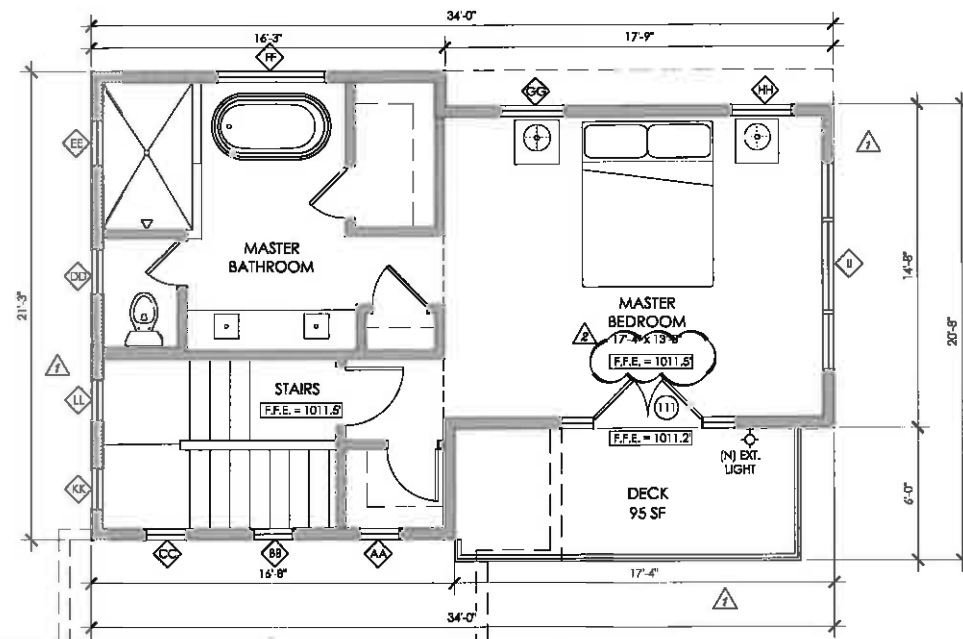
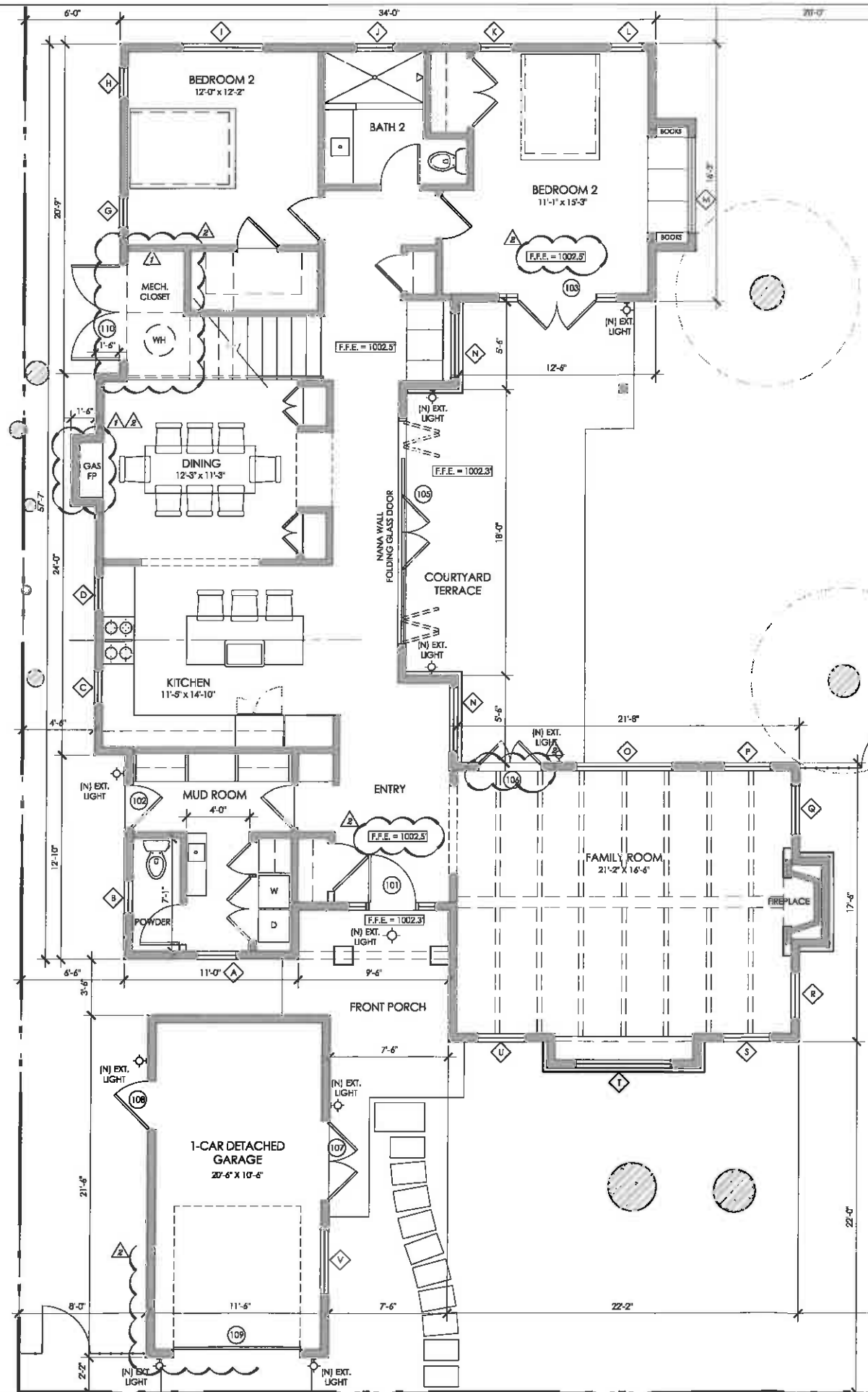
**MUSSALLEM RESIDENCE**  
SAN CARLOS 2 S/E 13TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING + PROPOSED SITE PLAN

07-29-2014

SCALE: 1/8" = 1'-0"

**A3.1**



ADAM JESELNICK  
ARCHITECT

**MUSSALLEM RESIDENCE**  
SAN CARLOS 2 S/E 13TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED FLOOR PLAN

07-29-2014

SCALE: 1/4" = 1'-0"

A4

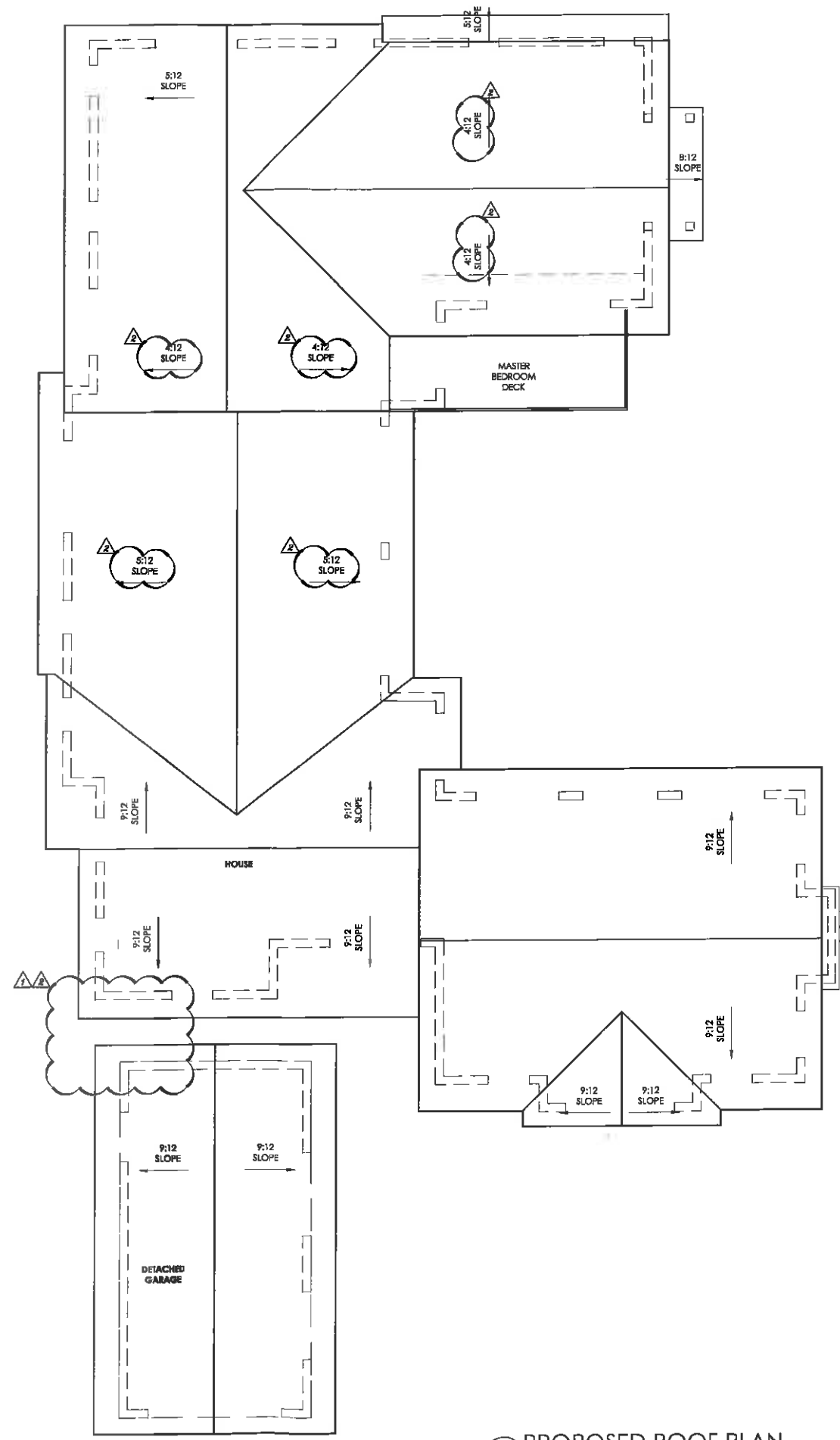
**MUSSALLEM RESIDENCE**  
SAN CARLOS 2 S/E 13TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED  
ROOF PLAN

07-29-2014

SCALE: 1/4" = 1'-0"

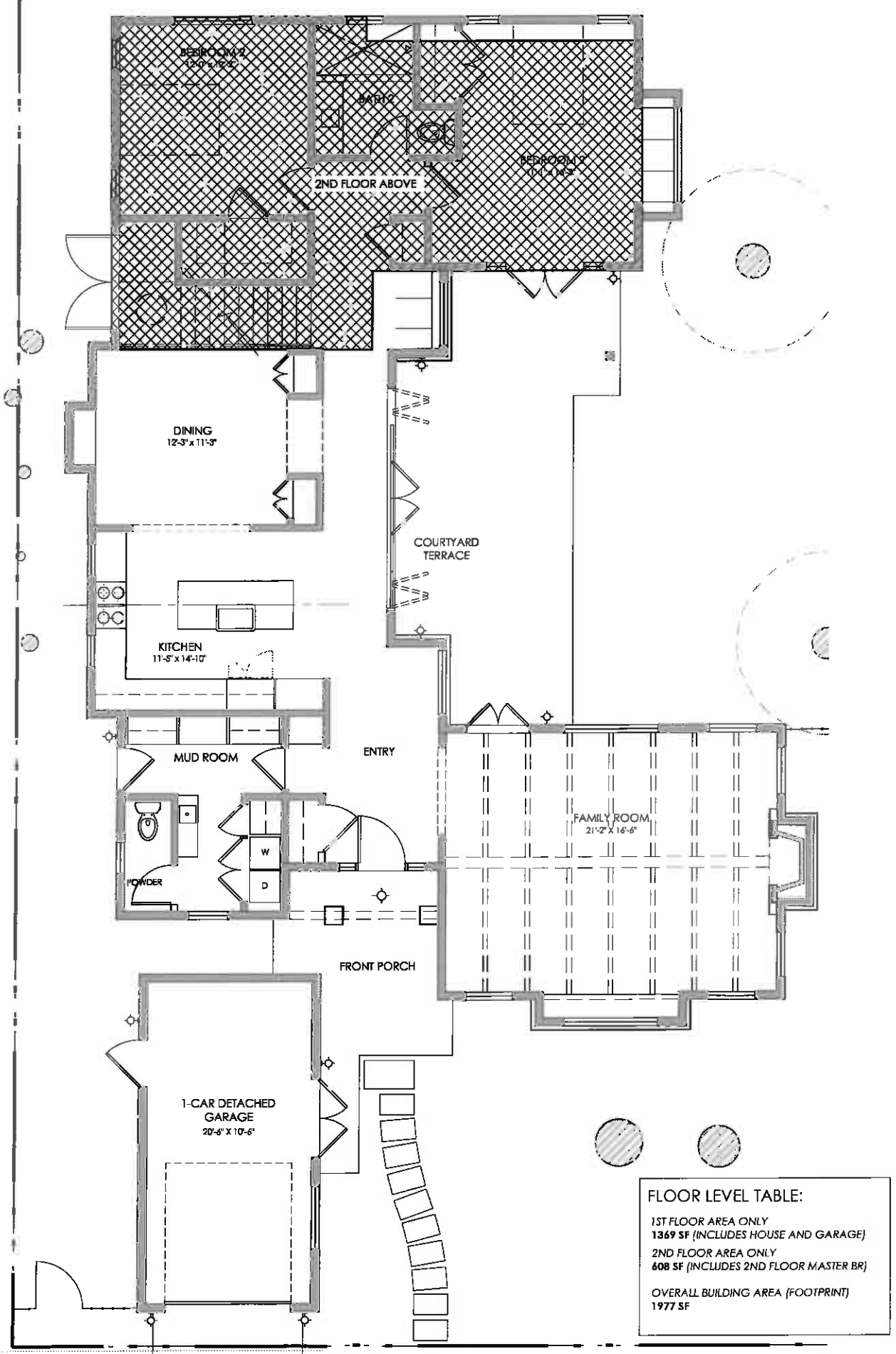
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1 PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"



REVISION #	DATE	DESCRIPTION
△	06/17/2014	PLANNING RE-SUBMITTAL
△	07/29/2014	PLANNING RE-SUBMITTAL



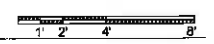
**FLOOR LEVEL TABLE:**

1ST FLOOR AREA ONLY	1369 SF (INCLUDES HOUSE AND GARAGE)
2ND FLOOR AREA ONLY	608 SF (INCLUDES 2ND FLOOR MASTER BR)
OVERALL BUILDING AREA (FOOTPRINT)	1977 SF

WINDOW SCHEDULE					
REVISION	TYPE / LETTER	SIZE (WIDTH X HEIGHT)	MATERIAL	TYPE	NUMBERED NOTES / REMARKS
<b>1ST FLOOR</b>					
A	6'-5" X 4'-0"		WOOD	CMNT	DUAL GLAZED
B	4'-0" X 3'-0"		WOOD	CMNT	DUAL GLAZED
C	2'-0" X 4'-0"		WOOD	CSMT	DUAL GLAZED
D	5'-0" X 4'-0"		WOOD	CMNT	SINGLE GLAZ.
E	NOT USED				
F	NOT USED				
G	2'-0" X 4'-0"		WOOD	CMNT	DUAL GLAZ.
H	2'-0" X 4'-0"		WOOD	CMNT	DUAL GLAZ.
I	3'-0" X 4'-0" (2 PANELS)		WOOD	CMNT	DUAL GLAZED
J	2'-0" X 2'-0"		WOOD	CSMT	DUAL GLAZED
K	2'-0" X 2'-0"		WOOD	CMNT	DUAL GLAZED
L	2'-0" X 2'-0"		WOOD	CMNT	DUAL GLAZED
M	4'-0" X 5'-0" (3 PANELS)		WOOD	CMNT	DUAL GLAZED
N	4'-0" X 5'-0" (3 PANELS)		WOOD	CMNT	DUAL GLAZED
O	6'-0" X 8'-0" (2 PANELS)		WOOD	CMNT	DUAL GLAZED
P	3'-0" X 3'-0"		WOOD	CMNT	DUAL GLAZED
Q	15'-0" X 7'-0" W/ 1'-0" CLERESTORY		WOOD	CMNT	DUAL GLAZED
R	3'-0" X 5'-0" W/ 1'-0" CLERESTORY		WOOD	CMNT	DUAL GLAZED
S	3'-0" X 2'-0"		WOOD	CMNT	DUAL GLAZ.
T	4'-0" X 5'-0" (3 PANELS)		WOOD	CMNT	DUAL GLAZ.
U	3'-0" X 2'-0"		WOOD	CSMT	DUAL GLAZ.
<b>GARAGE</b>					
V	4'-7" X 4'-6" (2 PANELS)		WOOD	CMNT	DUAL GLAZ.
<b>STAIRS</b>					
Aa	11'-10" X 1'-10"		WOOD	FIXED	DUAL GLAZED
Bb	11'-10" X 1'-10"		WOOD	FIXED	DUAL GLAZED
Cc	11'-10" X 1'-10"		WOOD	FIXED	DUAL GLAZED
<b>MASTER BATH</b>					
Dd	2'-0" X 2'-0" (3 PANELS)		WOOD	CMNT	DUAL GLAZ.
Ee	2'-0" X 2'-0" (3 PANELS)		WOOD	FIXED	DUAL GLAZ.
Ff	1'-3" X 2'-0" (1 PANEL)		WOOD	CMNT	DUAL GLAZ.
<b>MASTER BEDROOM</b>					
Gg	12'-11" X 4'-0"		WOOD	CMNT	DUAL GLAZ.
Hh	12'-10" X 4'-0"		WOOD	CMNT	DUAL GLAZ.
Ii	9'-4" X 7'-0" (3 PANELS W/ CENTER 5" WIDE)		WOOD	FIXED	DUAL GLAZ.
<b>STAIRS</b>					
Jj	11'-11" X 1'-10"		WOOD	FIXED	DUAL GLAZED
Ll	11'-10" X 1'-10"		WOOD	FIXED	DUAL GLAZED

DOOR SCHEDULE					
	DOOR TYPE	THICKNESS	HAND	H.W. TYPE	
<b>1ST FLOOR</b>					
101	3'-0" X 2'-0"	1 1/4"	LH	1	NEW EXT. ENTRY DOOR, HAMBRE EMF, DUAL GLAZ.
102	2'-6" X 8'-6"	2 1/8"	RF	1	DUTCH EXT. ENTRY DOOR, HALF-LITE TEMP., DUAL GLAZ.
103	5'-0" X 7'-0" (2 PANELS)	3 1/8"	LH/RF	1	FR-FR-FR FRENCH DOOR, FULL-LITE TEMP., DUAL GLAZ. W/ 1'-6" WIDE LIGHTS
104	NOT USED				
105	4'-0" X 8'-0" (4 PANELS)	4 1/8"	LH/RF	2	WOOD NIKAWALL DOOR WITH FULL-LITE GLAZ., DUAL GLAZ.
106	4'-0" X 3'-0" (2 PANELS)	2 1/8"	LH/RF	1	OUT-SWING FRENCH DOOR, FULL-LITE TEMP., DUAL GLAZ.
107	5'-0" X 7'-0" (2 PANELS)	3 1/8"	LH/RF	1	OUT-SWING FRENCH DOOR, FULL-LITE TEMP., DUAL GLAZ.
108	4'-0" X 3'-0"	2 1/8"	LH	1	EXT. GARAGE MAIN DOOR
110	16'-0" X 5'-0" (2 PANELS)	8 1/2"	LH/RF	-	OUT-SWING FRENCH ACCESS DOOR, SHIP-LITE EXTERIOR, EXHAUST VENT.
<b>2ND FLOOR</b>					
111	5'-0" X 7'-0" (2 PANELS)	3 1/8"	LH/RF	1	FR-FR-FR FRENCH DOOR, FULL-LITE TEMP., DUAL GLAZ. W/ 1'-6" WIDE LIGHTS
<b>DOOR TYPE LEGEND</b>					
TYPE 1	ENTRY DOOR, 1/2 LITE GLAZ., WOOD				TYPE 11
TYPE 2	ENTRY DOOR, DUTCH DOOR 1/2 LITE WOOD				TYPE 12
TYPE 3	FR-FR-FR FRENCH DOOR SYSTEM, FULL LITE GLAZ., WOOD				TYPE 13
TYPE 4	FRENCH DOOR, FULL LITE GLAZ W/ WIDE LITE, WOOD				TYPE 14
TYPE 5	FRENCH DOOR, FULL LITE GLAZ., WOOD				TYPE 15
TYPE 6	FRENCH DOOR, OUT-SWING, FULL LITE GLAZ., WOOD				TYPE 16
<b>HARDWARE TYPE LEGEND</b>					
TYPE 11 - ...					
TYPE 12 - ...					
TYPE 13 - ...					
TYPE 14 - ...					
TYPE 15 - ...					
TYPE 16 - ...					
<b>ADDITIONAL NOTES:</b>					
ALL DOORS AND WINDOWS TO BE UNCLAD WOOD, PAINTED WHITE.					

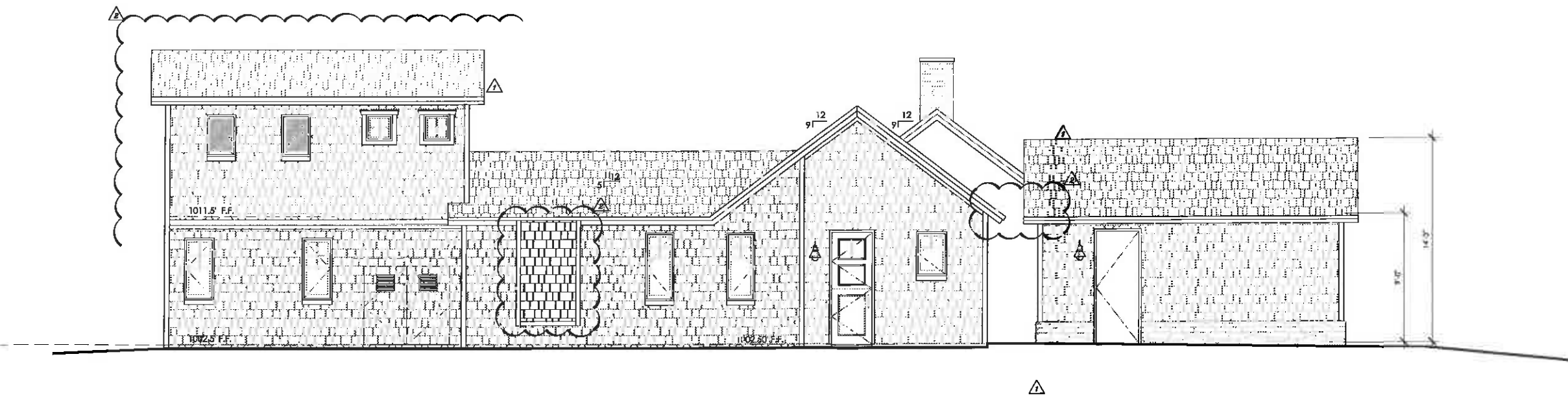
**2 DOOR + WINDOW SCHEDULES**  
SCALE: N.T.S.



△  
**ELEVATION NOTES:**  
 1. ALL EXTERIOR DOORS AND WINDOWS TO BE UNCLAD WOOD, PAINTED WHITE.



1 PROPOSED WEST (STREET) ELEVATION  
 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"

ADAM JESELNICK  
 ARCHITECT

**MUSSALLEM RESIDENCE**  
 SAN CARLOS 2 S/E 13TH AVENUE  
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

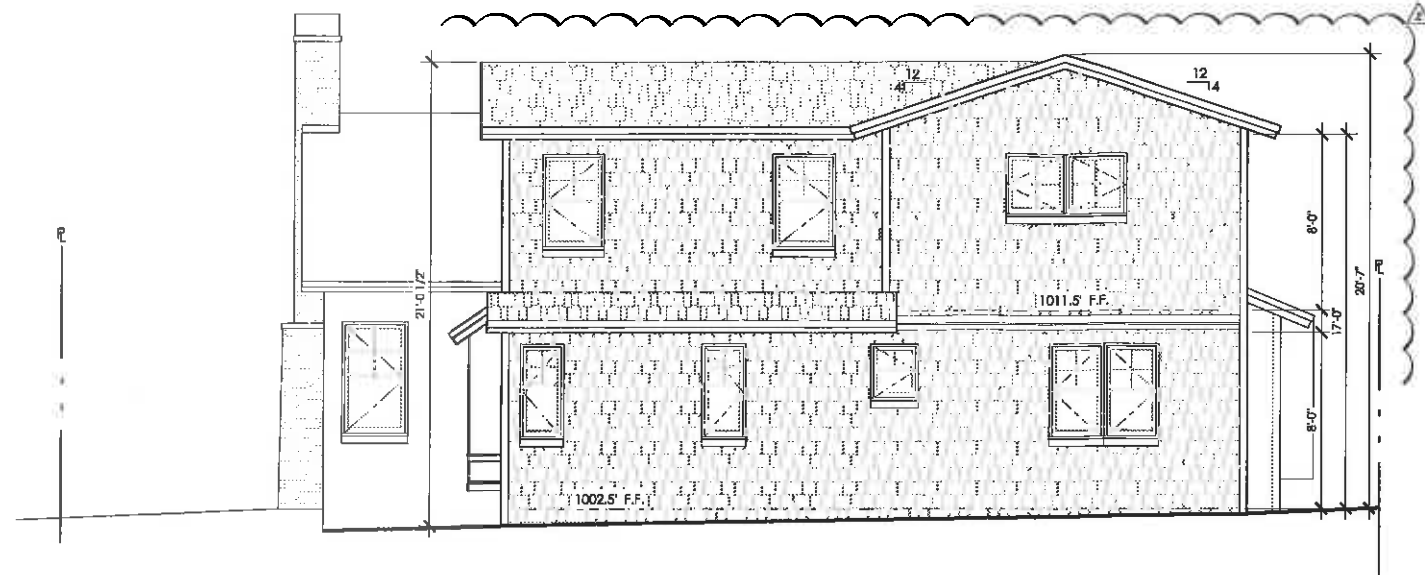
PROPOSED BUILDING ELEVATIONS

07-29-2014

SCALE: 1/4" = 1'-0"

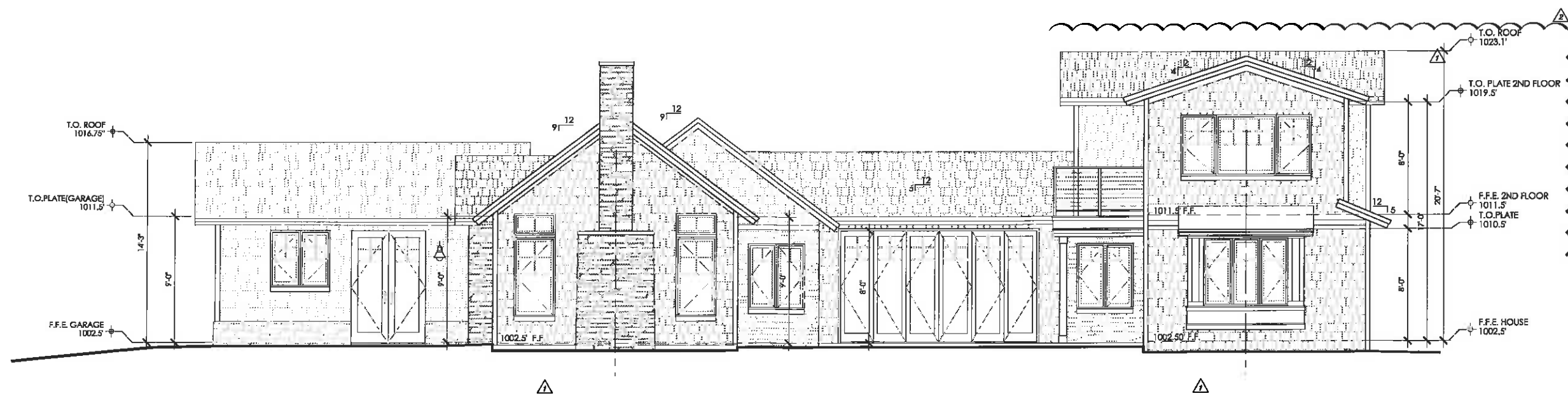
A7

REVISION #	DATE	DESCRIPTION
△	06/17/2014	PLANNING RE-SUBMITTAL
△	07/29/2014	PLANNING RE-SUBMITTAL



1 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:  
1. ALL EXTERIOR DOORS AND WINDOWS  
TO BE UNCLAD WOOD, PAINTED WHITE.



2 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

**MUSSALLEM RESIDENCE**  
SAN CARLOS 2 S/E 13TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

ADAM JESELNICK  
ARCHITECT

PROPOSED  
BUILDING  
ELEVATIONS

07-29-2014

SCALE: 1/4" = 1'-0"

A8

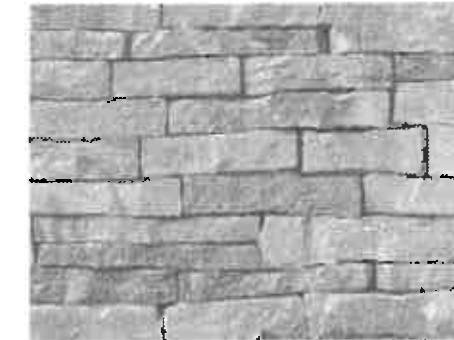
REVISION #	DATE	DESCRIPTION
06/17/2014	06/17/2014	PLANNING RE-SUBMITTAL
07/29/2014	07/29/2014	PLANNING RE-SUBMITTAL



1 PROPOSED BIRDS EYE VIEW  
SCALE: N.T.S.

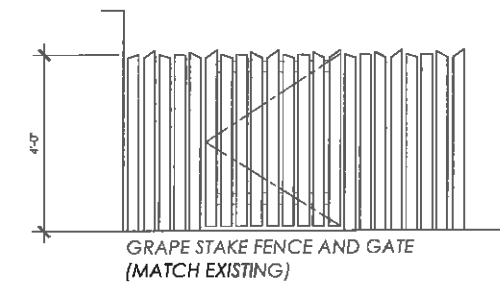


2 PROPOSED FRONT ELEVATION FROM STREET LEVEL  
SCALE: N.T.S.



FOND DU LAC NATURAL STONE THIN VENEER

3 STONE VENEER  
SCALE: N.T.S.



GRAPE STAKE FENCE AND GATE  
(MATCH EXISTING)

4 FENCE ELEVATION  
SCALE: 1/2" = 1'-0"

REVISION #	DATE	DESCRIPTION
1	06/17/2014	PLANNING RE-SUBMITTAL
2	07/29/2014	PLANNING RE-SUBMITTAL

ADAM JESELNICK  
ARCHITECT

MUSSALLEM RESIDENCE  
SAN CARLOS 2 S/E 13TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

RENDERING AND  
DETAILS

07-29-2014

SCALE: 1/4" = 1'-0"

A9





CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

September 10, 2014

**To:** Chair Reimers and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director *RM*

**Submitted by:** Marc Wiener, Senior Planner

**Subject:** Consideration of Concept and Final Design Study (DS 14-42) and associated Coastal Development Permit application for the alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District

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**Recommendation:**

Approve the Design Study (DS 14-42) and the associated Coastal Development Permit subject to the attached findings and conditions

<b>Application:</b>	DS 14-42	<b>APN:</b>	010-071-010
<b>Block:</b>	108	<b>Lots:</b>	S ½ of lots 7 and 9
<b>Location:</b>	Torres Street 4 southwest of 9 <sup>th</sup> Ave		
<b>Applicant:</b>	Adam Jeselnick	<b>Property Owners:</b>	Henry and Kathy Benner

**Background and Project Description:**

The project site is located on Torres Street, four parcels northwest of Ninth Avenue. The property is developed with a 2,014-square foot stucco-clad residence that includes an upper and lower level. There is a two-car garage at the rear of the lower level that is accessed through the rear yard. A Determination of Historic Ineligibility for the subject residence was issued by the Community Planning and Building Department on September 3, 2014.

The applicant is proposing to convert the two-car garage into a third bedroom and sitting room, and intends to install a 200-square foot parking pad at the rear of the property to comply with the on-site parking requirement. The new parking pad counts as an additional 200 square feet

of floor area, and with its installation will expand the floor area on the property from 2,014 to 2,234 square feet.

The project also includes the following components: 1) new exterior finish materials including plaster siding with a stone veneer on the lower level, and new unclad wood doors and windows, 2) expansion of the rear deck and installation of an outdoor fireplace on the deck, 3) installation of new plaster columns to support the deck, 4) new entry element on the south elevation, and 5) the removal of 563 square feet of site coverage.

Staff has scheduled this application for Concept and Final Review by the Planning Commission due to the limited scope of the proposed alterations. The Commission may continue this application if it has concerns that cannot be addressed in a single meeting.

<b>PROJECT DATA FOR A 6,000 SQUARE FOOT SITE:</b>			
<b>Site Considerations</b>	<b>Allowed</b>	<b>Existing</b>	<b>Proposed</b>
Floor Area	2, 460 sf (45%)	2,014 sf (33.5%)	2,234 sf (37.2%) 2,014 sf residence 200 sf garage
Site Coverage	781 sf (13%)	2,365 sf (39.4%)	1,802 sf (30%)
Trees (upper/lower)	4/3 (recommended)	0/2	2/5
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18 ft.	15 ft. 8 in./20.5 ft.	No Change
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12 ft./18 ft.	8 ft./15 ft.	No Change
<b>Setbacks</b>	<b>Minimum Required</b>	<b>Existing</b>	<b>Proposed</b>
Front	15 ft.	24.5 ft.	No Change
Composite Side Yard	15 ft. (25%)	20.5 ft. (31%)	No Change
Minimum Side Yard	3 ft.	4.5 ft.	No Change
Rear	3 ft.	32 ft. (from deck)	28 ft. (from deck)

**Staff Analysis:**

**Forest Character:** Residential Design Guidelines 1.1 through 1.4 encourage maintaining “*a forested image on the site*” and for new construction to be at least six feet from significant trees.

There are two lower canopy oak trees on the property, one of which is classified as significant. The applicant is proposing three new lower canopy trees and two new upper canopy trees at the rear of the property, which exceeds the City Forester’s recommendation for one new lower canopy and two new upper canopy trees. A condition has been drafted regarding the new trees.

**Privacy & Views:** Residential Design Guidelines 5.1 through 5.3 pertain to maintenance of “*privacy of indoor and outdoor spaces in a neighborhood*” and “*organize functions on a site to preserve reasonable privacy for adjacent properties*” and maintain of “*view opportunities.*”

Staff has not identified any view or privacy impacts associated with this project. There is an existing 280-square foot second-story deck that the applicant intends to expand to 399 square feet. The expansion of the deck at the rear of the residence is not likely to impact the privacy of the adjacent properties to the south and west. As shown in the site photographs included in Attachment A, the neighboring properties are screened by a tall row of trees. The Planning Commission will have the opportunity to visit the site and evaluate the potential privacy impacts during the Tour of Inspection. Staff notes that the new portion of the deck does not count as additional site coverage since there is existing paving below the expanded area of the deck.

**Parking Design:** The Residential Design Guidelines do not specifically address parking pad design; however, Guideline 6.1 states that “*facilities for parking should not dominate the design of the house or site*” and “*garages that are subordinate design elements are encouraged.*”

The applicant is proposing to maintain parking at the rear of the property, which will keep the parking subordinate to the residence as encouraged by the Design Guidelines. Staff notes that the applicant had requested to establish the parking pad along the south side of the property, but it would not have met the 15-foot composite side-yard setback requirement. The Commission should consider whether an uncovered parking pad at the rear of the property is acceptable or whether the parking pad needs some type of structure such as a carport or trellis to help screen the parked vehicle.

**Site Coverage:** The project site contains 2,365 square feet of site coverage and exceeds the allowed site coverage of 781 square feet by 1,584 square feet. Municipal Code Section 17.10.030.C.2 states that: *“Excess site coverage will be reduced at a rate equal to two times the amount of floor area added to the site, or to an amount that complies with the site coverage limits, whichever is less.”* Staff notes that with the addition of the 200-square foot parking pad the applicant is required to remove a minimum of 400 square feet of site coverage.

The applicant is proposing to reduce the site coverage from 2,365 square feet to 1,802 square feet, which exceeds the code minimum of 400 square feet and which will bring the property closer to compliance with the allowed site coverage. Nevertheless, with development projects of this scope, the City typically requires that non-conforming site coverage be reduced beyond the minimum requirement to bring the property closer to compliance. Staff notes that Municipal Code Section 17.58.050 grants authority to staff and the Planning Commission to ensure site conformance by conditioning the Design Study approval.

In staff’s opinion, there is sufficient opportunity to further reduce the site coverage. For example, there is a 310-square foot asphalt area at the rear of the residence that was previously used as a driveway and that the applicant intends to convert to a patio. Staff recommends that this site coverage area be completely removed. Furthermore, the driveway contains approximately 838 square feet of site coverage, and portions could be replaced with paving strips to reduce the overall site coverage. A condition has been drafted requiring the applicant to work with staff on further reducing the site coverage to an extent directed by the Planning Commission.

**Finish Details:** Residential Design Guidelines 9.5 through 9.7 indicate that if stucco is to be used it should be *“in conjunction with some natural materials such as wood and/or stone...but should not be repeated to excess within a block.”*

The applicant is proposing to maintain stucco siding on the residence and intends to replace the existing aluminum windows with unclad wood windows, which includes the addition of new wood shutters. A stone veneer is proposed on the lower level of the building. The existing composition-shingle roofing will be maintained, and the roofing over the new entry element on the south elevation will match the existing composition shingles.

Staff has some concerns with the design of the columns at the rear of the residence. Residential Design Guidelines 9.2 through 9.3 state that *“design features that increase the visual prominence of a building should be avoided,”* and *“building details should be used to provide interest and not exaggerate the scale of a building.”* In staff’s opinion, the columns at the rear of the residence appear prominent and exaggerate the scale of the building. However, because the columns are at the rear of the residence they would not be visible to the public way. The Commission should consider whether the columns should be redesigned to comply with the above guidelines.

**Front Fence:** With regards to fence design, Design Guidelines 11.0 through 11.2 state that *“fences and walls should convey a simple, hand-crafted design”* and that *“the use of grape-stakes or wood pickets for fences is traditional in most neighborhoods”* and *“ornate Victorian wrought iron...is inappropriate.”*

The applicant has submitted a concept fence design for the Planning Commission’s review. The proposal is for a 4-foot high wrought iron fence and gate with a total of four stone columns. The wrought iron includes nodes that add some decorativeness to the fence design. The fence would be located 7 feet back from the front property line and would include landscaping in front of the fence. The applicant has not decided on the specific details of the fence and unless the proposal is firmed up by the Planning Commission meeting, a separate Design Study application would be required in the future, which could be approved by staff.

The Planning Commission should consider whether the proposed design concept is acceptable. The Commission typically prefers wood picket or grape-stake fences at the front of the property; however, in certain instances wrought iron has been approved depending on the architectural style of the building and design of the fence. Staff could potentially support the fence in that it would complement the architectural style of the residence and would also be partially screened by landscaping.

In addition, staff notes that there is existing 6-foot high fencing along the side property lines and at the front southeast corner of the property that exceeds the allowed height of 4 feet for fencing in the 15-foot front-yard setback. The fence along the south side and at the southeast corner of the property appears to be recently constructed. A condition has drafted requiring that the height of the fencing in the 15-foot front-yard setback be reduced to 4 feet as required by the Municipal Code.

**Exterior Lighting:** Design Guideline 11.8 recommends using lights: *“Only where needed for safety and at outdoor activity areas. Appropriate locations may include building entries, gates, terraces, walkways and patios. Lights should not be used to accent buildings or vegetation.”*

The applicant depicts the proposed wall-mounted lights on the elevation drawings and on the floor plan. A picture of the proposed wall sconce is shown on Sheet A-7 of the plan set. The locations of the proposed light fixtures are consistent with the above guidelines, with the exception of one fixture location near the northeast corner of the building. The proposed fixture is not located near an entrance or pathway and could potentially impact the adjacent residence to the north. A condition has been drafted requiring the removal of the fixture.

In addition, the plan set notes that the wattage will be 25 watts maximum; however, no bulb type, specific wattage, or lumen level is noted. This should be clarified by the applicant and noted on the construction plan set. A condition of approval has been drafted to address this requirement.

**Alternatives:** The Planning Commission may approve the Design Study subject to the attached findings and conditions. However, if the Commission does not support the design as conditioned by staff, then it could continue the application with specific direction given to the applicant.

**Environmental Review:** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 200-square foot addition an existing 2,014-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

#### **ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans

**Attachment A – Site Photographs**



**Project site – Facing west on Torres Street**



**Project site – Front of residence facing west**



Project site – Rear of the residence facing east (two-car) garage



Facing west from rear second-story deck





Facing south from rear second-story deck

## Attachment B – Findings for Approval

DS 14-42 (Benner)  
 September 10, 2014  
 Findings for Approval  
 Page 1

<b>FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)</b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

<p>8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.</p>	<p>✓</p>	
<p>9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.</p>	<p>✓</p>	
<p>10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.</p>	<p>✓</p>	
<p>11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.</p>	<p>✓</p>	
<p>12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.</p>	<p>✓</p>	
<p><b>Coastal Development Findings (CMC 17.64.B.1):</b></p>		
<p>13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.</p>	<p>✓</p>	

## Attachment C – Conditions of Approval

DS 14-42 (Benner)  
 September 10, 2014  
 Conditions of Approval  
 Page 1

<b>Conditions of Approval</b>		
<b>No.</b>	<b>Standard Conditions</b>	
1.	<b>Authorization:</b> This approval of Design Study (DS 14-42) authorizes: 1) conversion of the two-car garage into a living space and installation of a 200-square foot parking pad at the rear of the property resulting in an expansion of floor area from 2,014 square feet to 2,234 square feet, 2) new exterior finish materials including plaster siding with a stone veneer on the lower level, and new unclad wood doors and windows, 3) expansion of the rear deck and installation of an outdoor fireplace on the deck, 4) installation of new plaster columns to support the deck, 5) new entry element on the south elevation, and 6) the removal of site coverage as conditioned. This Design Study approval does not authorize the construction of a new front fence. All work to the subject property shall be consistent with the September 10, 2014 approved plans.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓

6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 6,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	✓

12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All	N/A

	new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
	<b>Special Conditions</b>	
22.	The applicant shall plant and maintain two new upper-canopy trees and three new lower-canopy trees of substantial size and caliber and of a species approved by the City Forester. The location, size, and species of this tree shall be noted on a revised landscape plan, and this plan shall be submitted with the Building Permit application plan set. Prior to final building inspection the trees shall be planted on site located approximately 10 feet from any building.	✓
23.	The applicant shall work with staff on removing additional site coverage by an amount specified by the Planning Commission at the September 10, 2014 meeting. A revised site coverage reduction plan shall be submitted to the Community Planning and Building Department and reviewed by staff prior to submitting a Building Permit application.	✓
24.	This Design Study (DS 14-42) approval does not authorize the construction of a new front fence. The applicant shall submit a separate Design Study for the new fence with a design that is consistent with the recommendations made at the September 10, 2014 meeting.	✓

25.	All fencing located in the 15-foot front-yard setback shall be lowered to a height of 4 feet.	✓
26.	The light fixture located near the northeast corner of the residence shall be removed. The revision shall be reflected on the construction plan set submitted with the building permit application. In addition, the applicant shall include the specific bulb type, wattage, and lumen level on the construction plan set.	✓

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

***Once signed, please return to the Community Planning and Building Department.***



**GENERAL NOTES**

**PROJECT DATA**

**SCOPE OF WORK:**  
 REMODEL OF AN EXISTING SINGLE-FAMILY RESIDENCE AND BASEMENT. CONVERT EXISTING 2-CAR GARAGE TO HABITABLE SPACE AND EXPAND EXISTING DECK. ALL NEW DOORS AND WINDOWS. INSTALL NEW 200 SF DECOMPOSED GRANITE PARKING PAD, PERMEABLE PAVERS AT DRIVEWAY AND REAR YARD TERRACE. NEW FRONT YARD FENCE AND LANDSCAPING.

CONSTRUCTION TYPE: V-B  
 OCCUPANCY: R-3  
 FIRE SPRINKLERS: NO  
 WATER: CAL-AM (E)  
 SEWER: CARMEL AREA WASTE WATER DISTRICT (E)  
 TREE REMOVAL: NONE  
 GRADING: N/A

**SITE COVERAGE CALCULATIONS:**

**EXISTING COVERAGE**  
 (E) ASPHALT DRIVEWAY: 1,760 SF \*IMPERMEABLE  
 (E) CONCRETE STEPS, BRICK WALKS: 325 SF \*IMPERMEABLE  
 (E) WOOD DECK: 280 SF \*IMPERMEABLE

**TOTAL (E) COVERAGE: 2,365 SF**  
 \*\* MAX. ALLOWABLE (CMC) = 781 SF

**PROPOSED COVERAGE**  
 (N) DRIVEWAY PERMEABLE PAVERS 594 SF  
 (N) DECOMPOSED GRANITE DRIVE PERMEABLE SURFACE 244 SF  
 (N) STONE TERRACE 310 SF  
 (E) and (N) STONE STEPS + PORCH IMPERMEABLE 99 SF  
 (E) and (N) TILE DECK IMPERMEABLE 399 SF  
 (N) FRONT WALKWAY PERMEABLE PAVERS 156 SF  
**TOTAL (N) COVERAGE: 1,802 SF**  
 \*\* REDUCED BY 563 SF

**FLOOR AREA CALCULATIONS:**

(E) HOUSE, MAIN LEVEL 1,333 SF  
 (E) WORK ROOM: 191 SF  
 (E) GARAGE: 490 SF

**TOTAL (E) SF: 2,014 SF**

(P) HOUSE, MAIN LEVEL 1,353 SF  
 (P) HOUSE, LOWE LEVEL 681 SF  
 PARKING PAD (UNCOVERED): 200 SF

**TOTAL (P) SF: 2,234 SF**  
 \*NOTE: MAX. ALLOWABLE (CMC) 2,460 SF

**SHEET INDEX**

- A1 PROJECT DATA AND SITE LOCATION
- A2 NOTES AND SPECIFICATIONS
- SITE SURVEY
- A3 SITE PLAN, EXISTING + PROPOSED
- A4 EXISTING FLOOR PLANS
- A4.1 DEMOLITION FLOOR PLANS
- A5 PROPOSED FLOOR PLANS
- A6 EXISTING BUILDING ELEVATIONS
- A7 PROPOSED BUILDING ELEVATIONS
- A8 PROPOSED ROOF PLAN
- L1 LANDSCAPE PLAN

**PROJECT DATA**

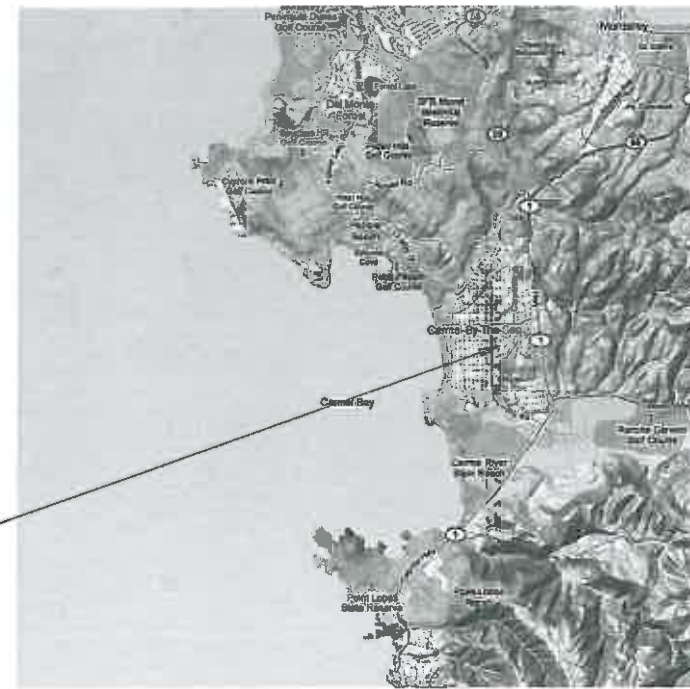
PROPERTY ADDRESS: TORRES STREET 4 SOUTHWEST OF 9TH AVENUE  
 CARMEL-BY-THE-SEA, CALIFORNIA 93921  
 A.P.N. 010-071-010-000  
 ZONING: R-1 SINGLE FAMILY RESIDENTIAL

OWNER: HENRY AND KATHY BENNER  
 3240 BLACKHAWK MEADOW DRIVE  
 DANVILLE, CALIFORNIA 94506

ARCHITECT: **ADAM JESELNICK ARCHITECT**  
 3069 LORCA LANE  
 CARMEL, CA 93923  
 PHONE: (831) 620.5164 m  
 CONTACT: ADAM JESELNICK AIA  
 EMAIL: aejarch@gmail.com

LANDSCAPE DESIGNER: **KATHLEEN COSS LANDSCAPE DESIGN**  
 PHONE: (831) 620-1630  
 CONTACT: KATHLEEN COSS  
 EMAIL: kathleencoss@yahoo.com

CONTRACTOR: —



**1 VICINITY MAP**  
 SCALE: N.T.S.

**ADAM JESELNICK ARCHITECT**

**BENNER REMODEL**  
 TORRES STREET 4 S/W OF 9TH AVENUE  
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

**RECEIVED**

**AUG 20 2014**

**City of Carmel-by-the-Sea  
 Planning & Building Dept.**

TITLE SHEET

08-08-2014

AS NOTED

**A1**

REVISION # 07/02/2014 PLANNING RE-SUBMITTAL  
 03/08/2014 PLANNING RE-SUBMITTAL

## GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE 2013 CALIFORNIA RESIDENTIAL BUILDING CODE (CBC); CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.

## SPECIFICATIONS

SPECIFICATIONS AS NOTED ON THE ARCHITECTURAL AND ENGINEERING PLANS.

## GRADING / DRAINAGE NOTES

NO GRADING PROPOSED. EXISTING DRAINAGE TO REMAIN.

## CITY OF CARMEL-BY-THE-SEA CONDITIONS of APPROVAL

1.

ADAM JESELNICK  
ARCHITECT

BENNER REMODEL  
TORRES STREET 4 S/W OF 9TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

NOTES &  
SPECIFICATIONS

08-08-2014

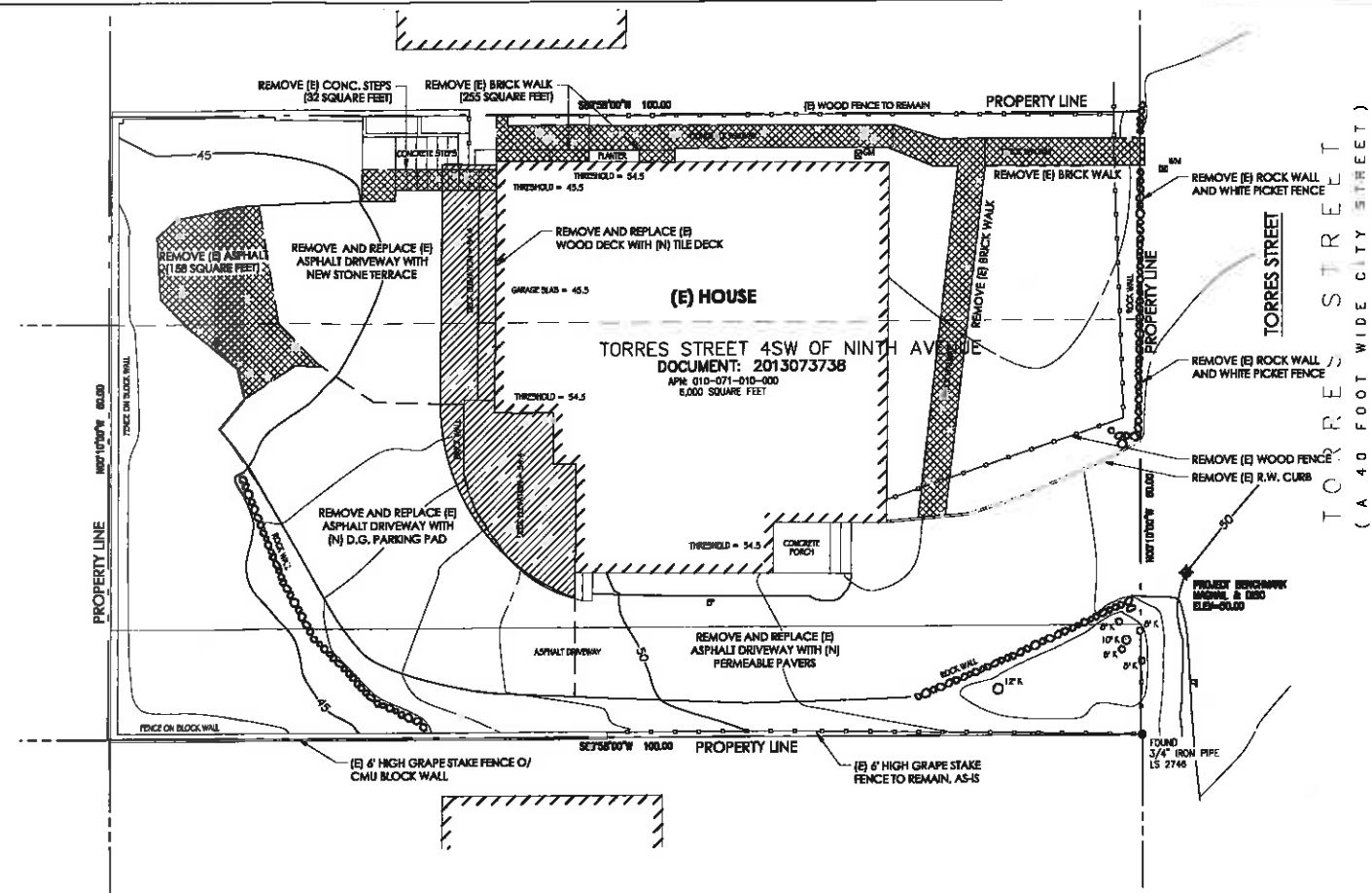
AS NOTED

A2

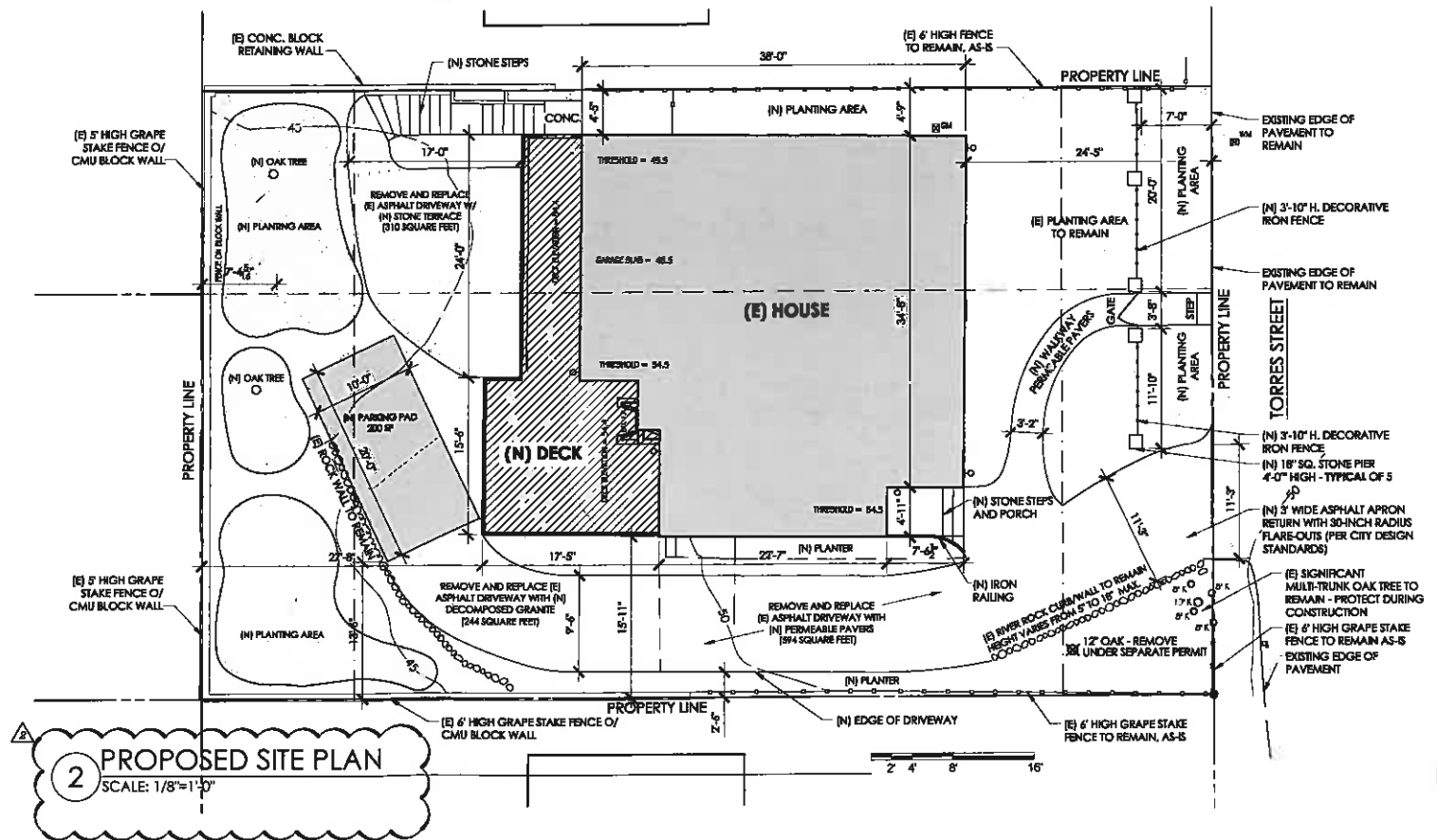
REVISION #   

**SITE PLAN NOTES:**

1. PROTECT EXISTING TREES AS REQUIRED. TREE REMOVAL OF NON-SIGNIFICANT 12" OAK PROPOSED UNDER SEPARATE PERMIT.
2. NO CHANGE TO EXISTING SITE DRAINAGE.
3. COORDINATE UTILITIES WITH PG&E, CAWD, CAL-AM. EXISTING OVERHEAD ELECTRICAL SERVICE TO REMAIN.
4. DEMOLITION LIMITED TO AREAS NOTED ON PLAN. REPLACE EXISTING ASPHALT WITH NEW PERMEABLE PAVERS OR DECOMPOSED GRANITE WITH RESIN BINDER PER SITE PLAN.
5. REFER TO LANDSCAPE PLAN FOR ALL INFORMATION NOT SHOWN HERE.



1 EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



2 PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

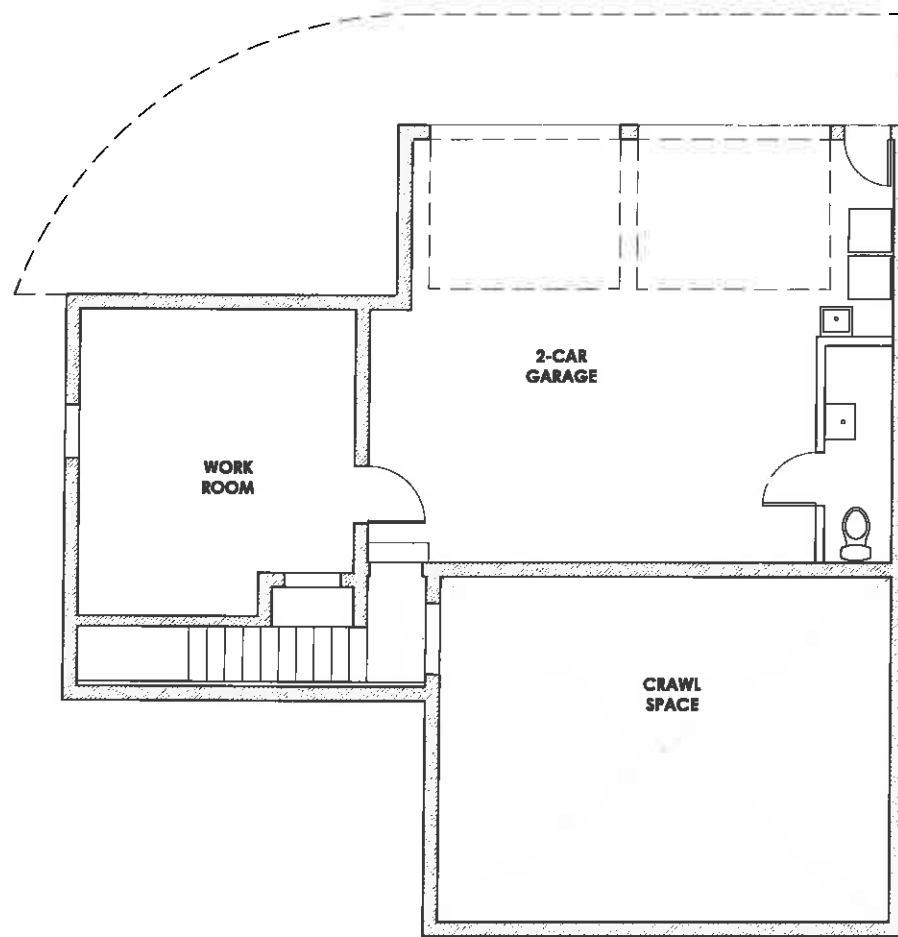
REVISION #	DATE	DESCRIPTION
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2	08/08/2014	PLANNING RE-SUBMITTAL

ADAM JESELNICK  
ARCHITECT

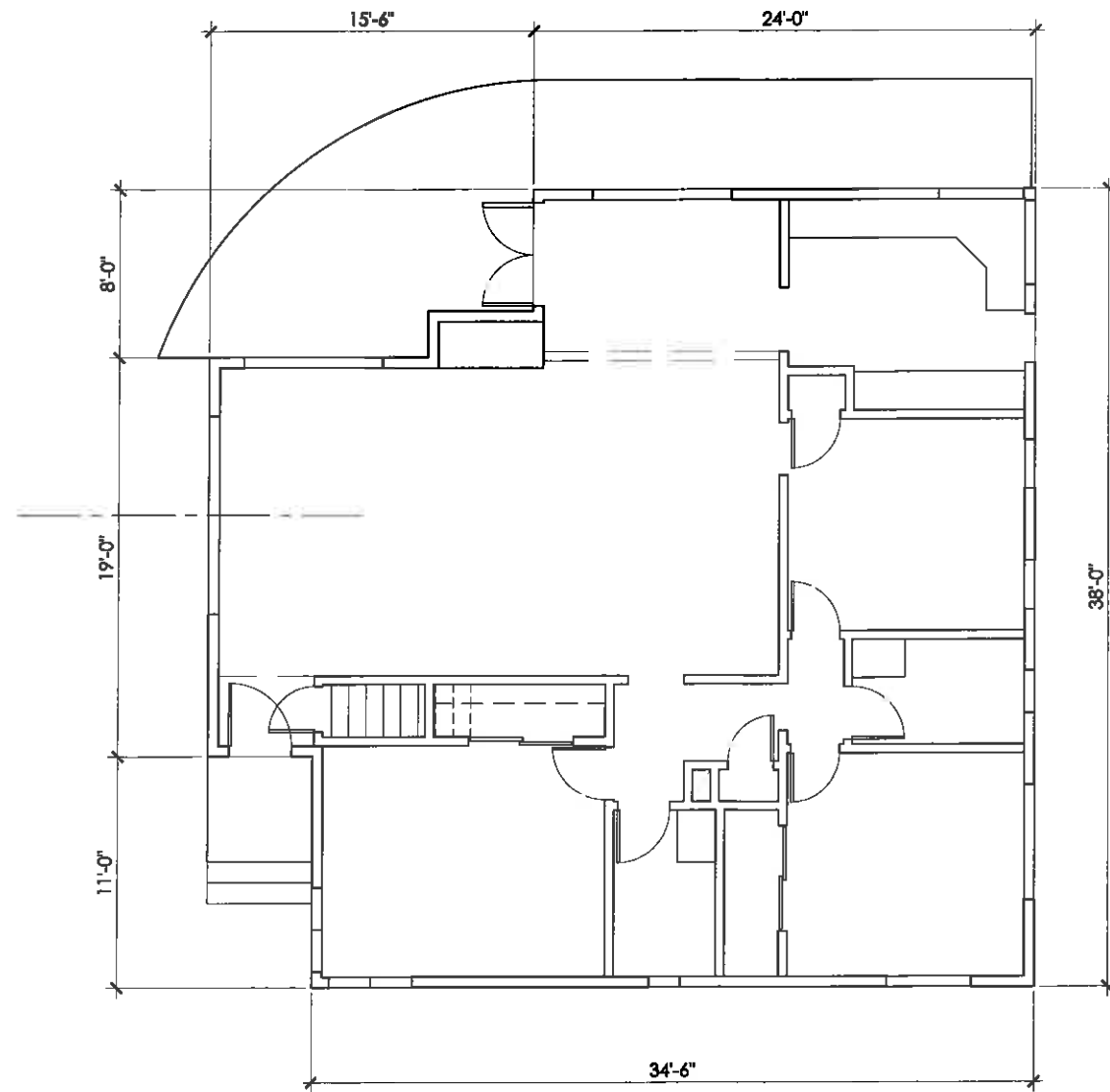
**BENNER REMODEL**  
TORRES STREET 4 S/W OF 9TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING + PROPOSED SITE PLAN  
08-08-2014  
SCALE: 1/8" = 1'-0"

A3



1 EXISTING LOWER FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 EXISTING UPPER FLOOR PLAN  
SCALE: 1/4"=1'-0"

ADAM JESELNICK  
ARCHITECT

**BENNER REMODEL**  
TORRES STREET 4 S/W OF 9TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING  
FLOOR PLANS

08-08-2014

**A4**

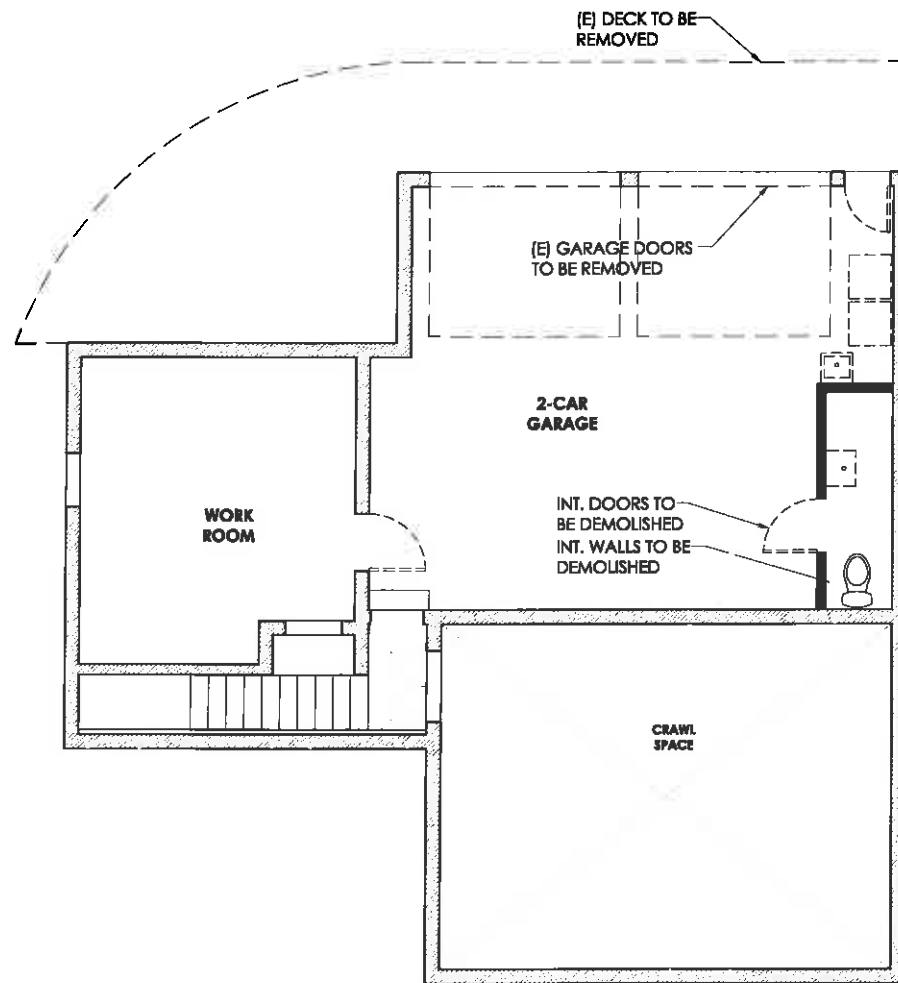
REVISION #  
08/08/2014 PLANNING RE-SUBMITTAL

**BENNER REMODEL**  
 TORRES STREET 4 S/W OF 9TH AVENUE  
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

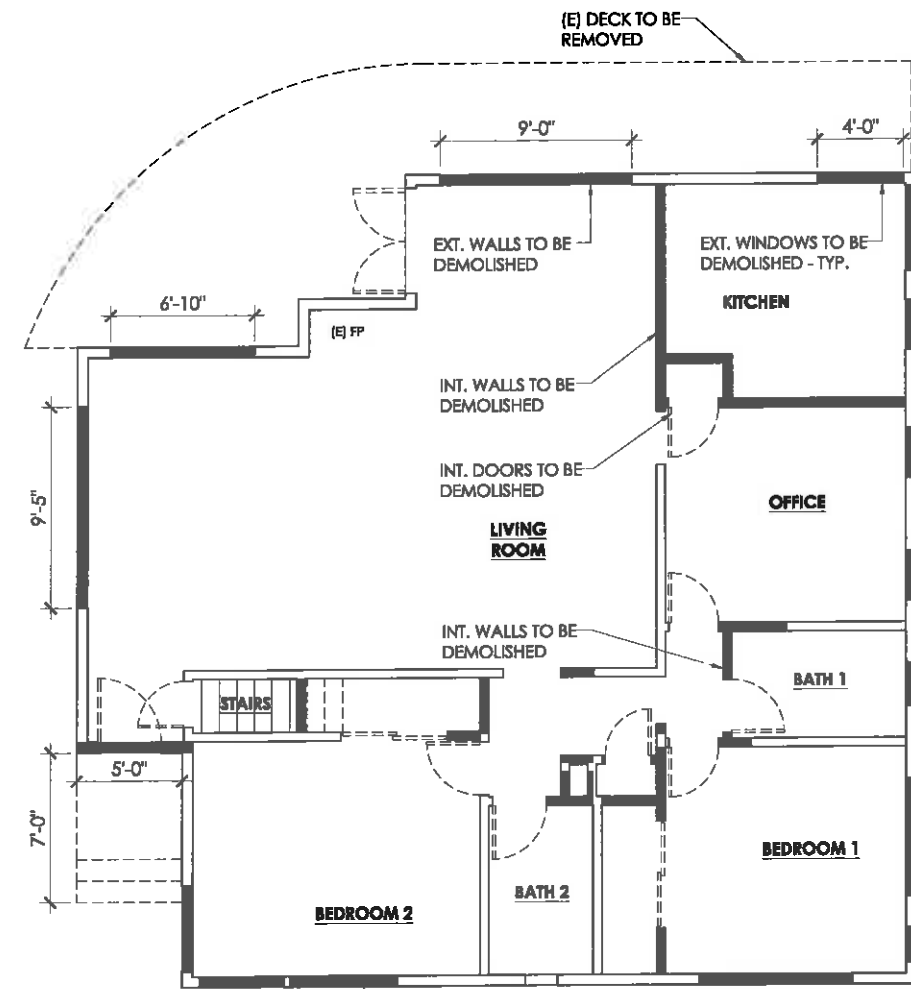
DEMOLITION  
 FLOOR PLANS

08-08-2014

**A4.1**



**1** DEMOLITION LOWER FLOOR PLAN  
 SCALE: 1/4"=1'-0"



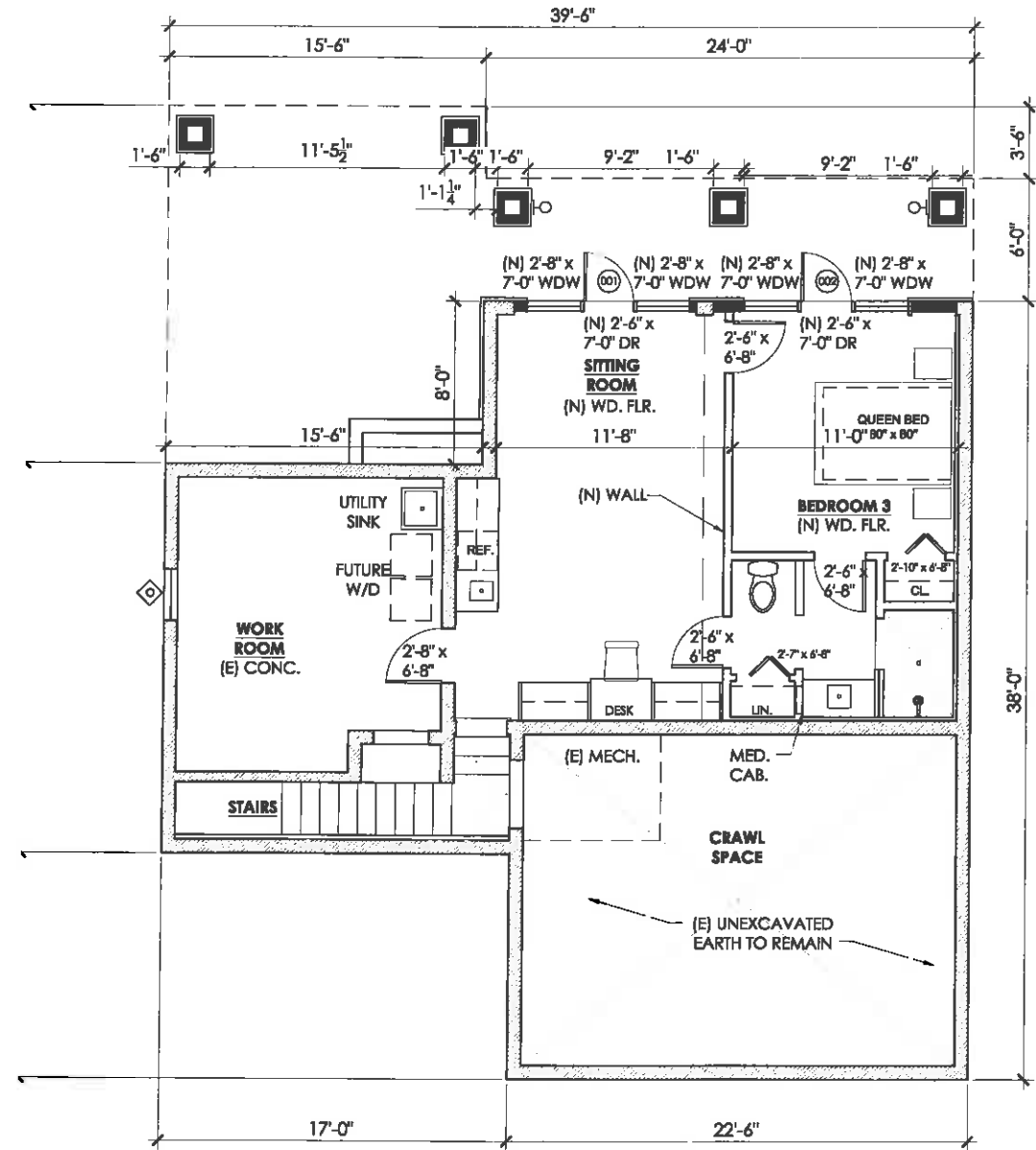
**2** DEMOLITION UPPER FLOOR PLAN  
 SCALE: 1/4"=1'-0"



REVISION #	DATE	DESCRIPTION
1	07/02/2014	PLANNING RE-SUBMITTAL
2	08/08/2014	PLANNING RE-SUBMITTAL

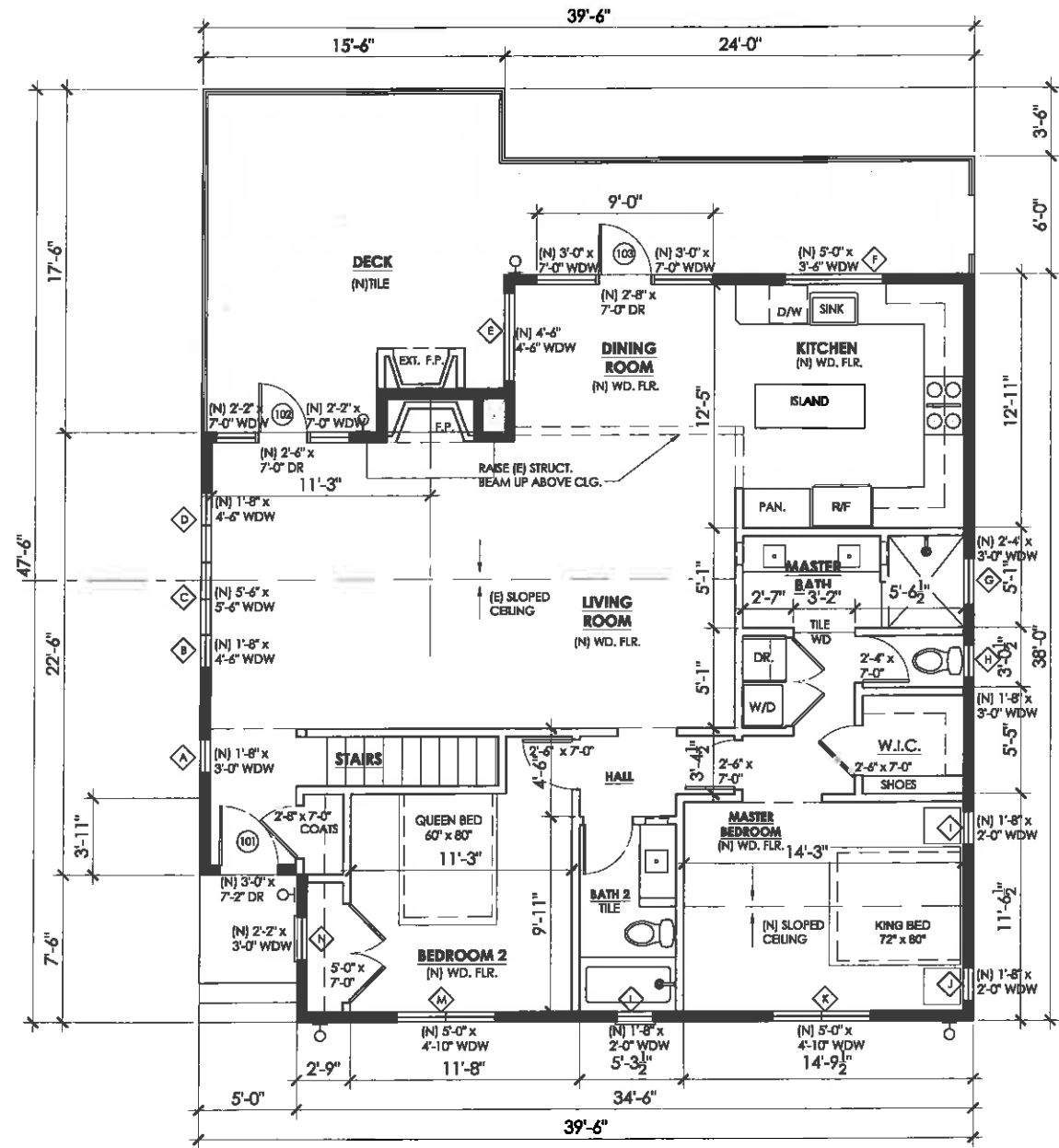
**FLOOR PLAN NOTES:**

1. NEW VAULTED CEILING AT MASTER BEDROOM.



**BENNER RESIDENCE  
LOWER LEVEL PLAN**

MAY 30, 2014  
SCALE: 1/4" = 1'



**BENNER RESIDENCE  
REVISED FLOOR PLAN**

MAY 30, 2014  
SCALE: 1/4" = 1'

**1 PROPOSED LOWER FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**2 PROPOSED UPPER FLOOR PLAN**  
SCALE: 1/4"=1'-0"



REVISION #	DATE	DESCRIPTION
△	07/02/2014	PLANNING RE-SUBMITTAL
△	08/08/2014	PLANNING RE-SUBMITTAL

ADAM JESELNICK  
ARCHITECT

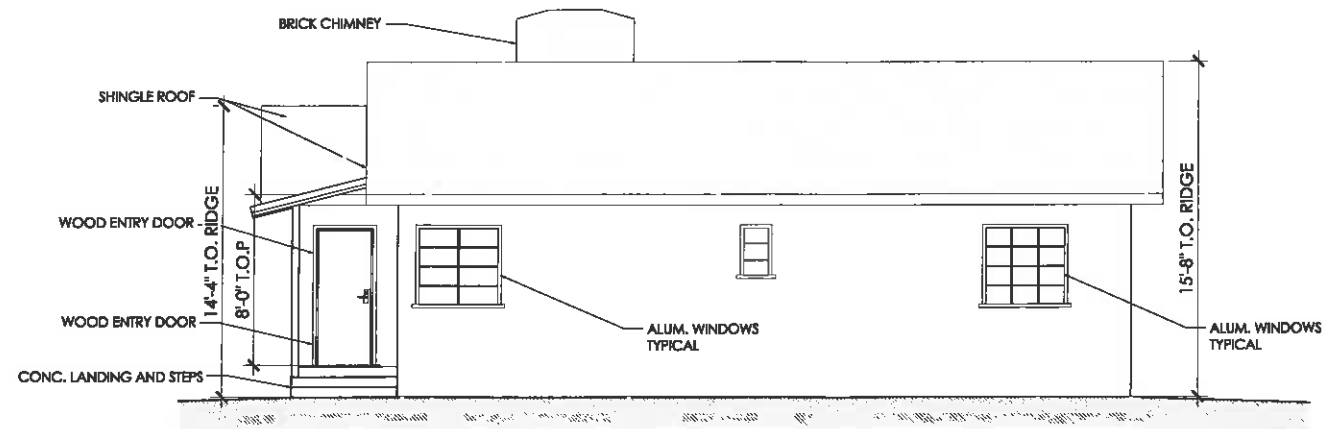
**BENNER REMODEL**  
TORRES STREET 4 S/W OF 9TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED FLOOR PLAN

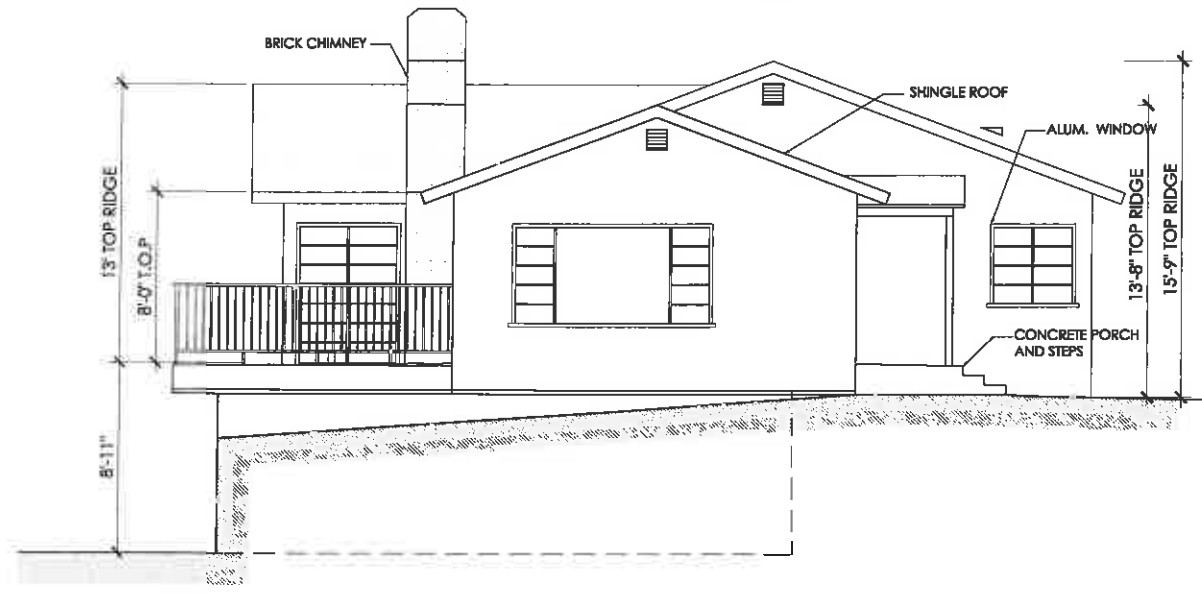
08-08-2014

SCALE: 1/4" = 1'-0"

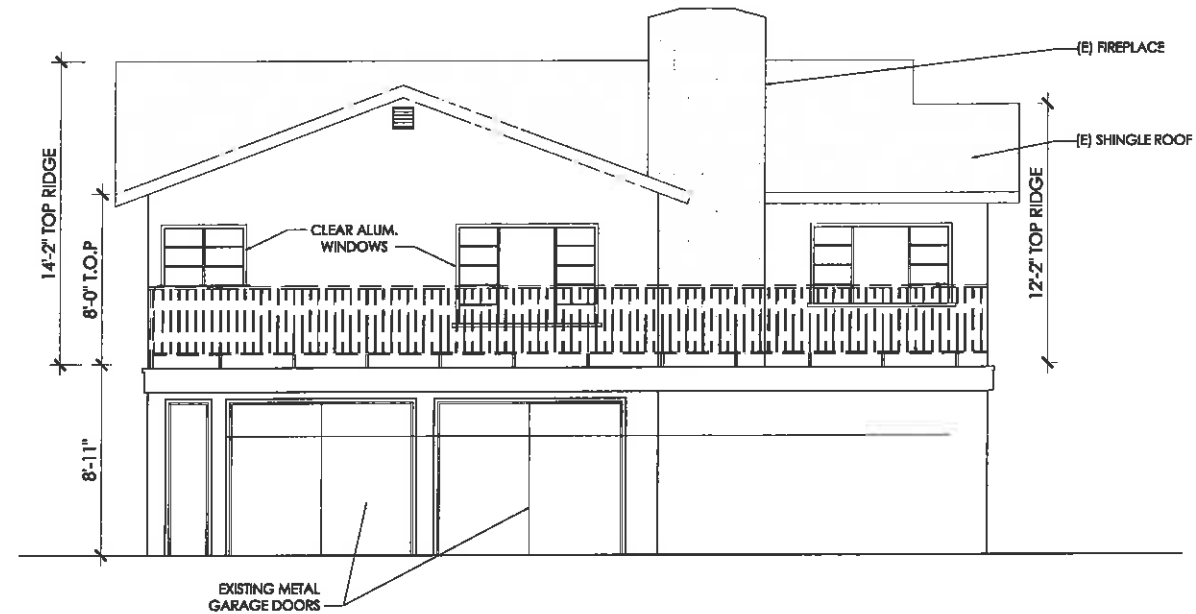
**A5**



1 EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"



4 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



REVISION #	DATE	DESCRIPTION
1	07/02/2014	PLANNING RE-SUBMITTAL
2	08/08/2014	PLANNING RE-SUBMITTAL

ADAM JESELNICK  
ARCHITECT

**BENNER REMODEL**  
TORRES STREET 4 S/W OF 9TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING BUILDING ELEVATIONS

08-08-2014

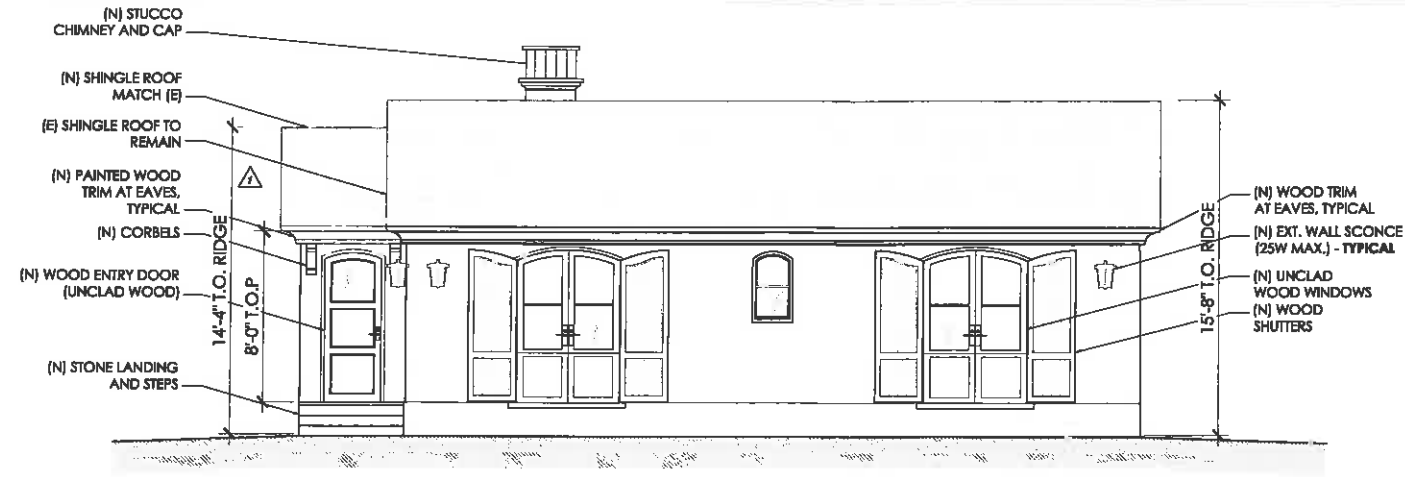
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A6

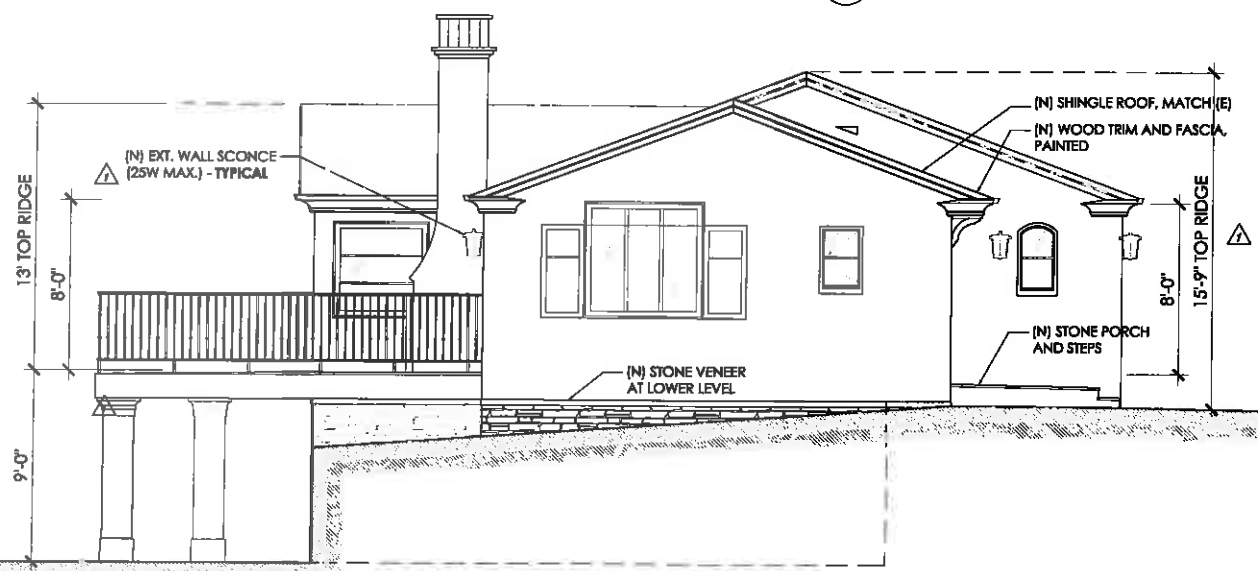
**BENNER REMODEL**  
 TORRES STREET 4 S/W OF 9TH AVENUE  
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED BUILDING ELEVATIONS  
 08-08-2014  
 SCALE: 1/4" = 1'-0"

**A7**



**1 PROPOSED EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



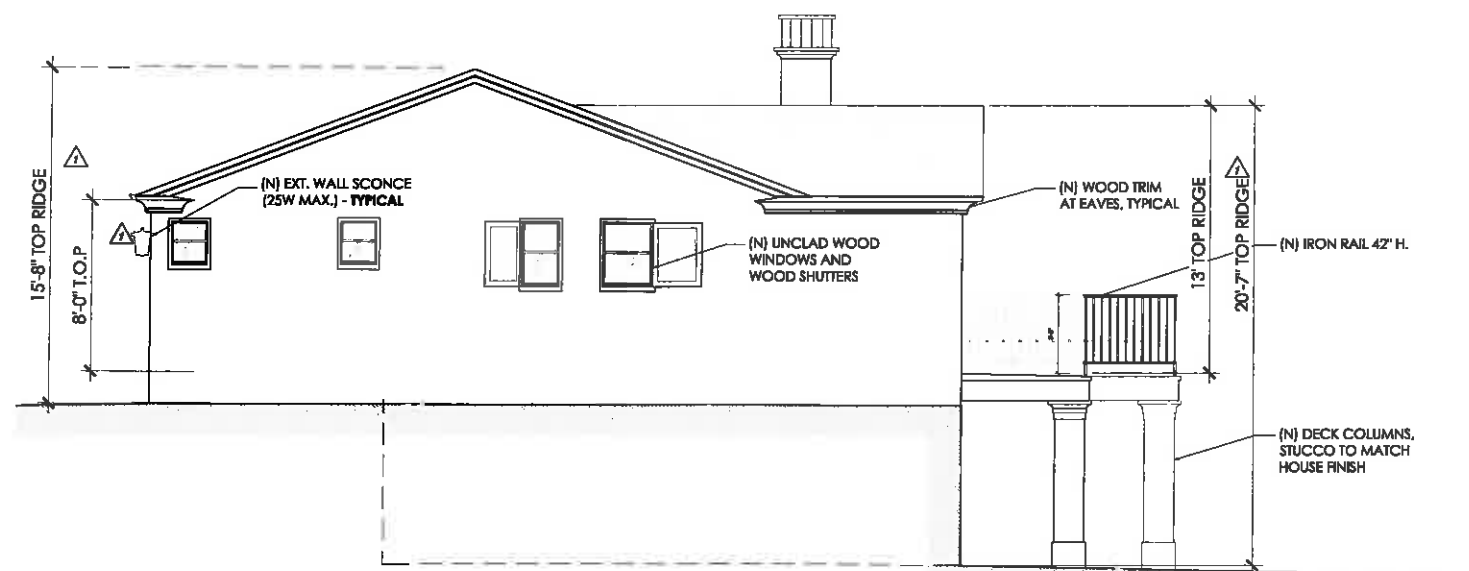
**2 PROPOSED SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**3 PROPOSED WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



PROPOSED EXT. WALL SCONCE (25W MAX.)



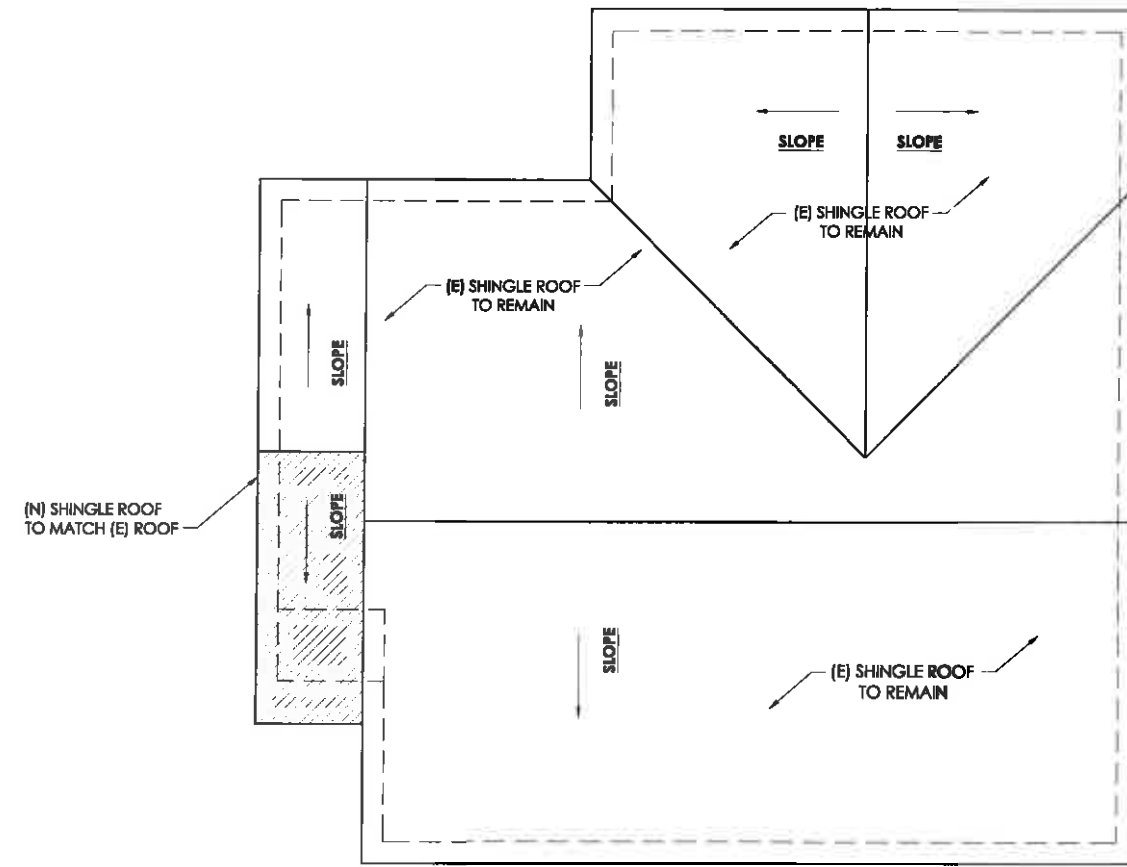
**4 PROPOSED NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"

REVISION #	DATE	DESCRIPTION
1	07/02/2014	PLANNING RE-SUBMITTAL
2	08/08/2014	PLANNING RE-SUBMITTAL



**ROOF PLAN NOTES:**

1. MATCH EXISTING ROOF MATERIAL AND COLOR: ASPHALT SHINGLE, GRAY.



**2** PROPOSED ROOF PLAN  
SCALE: 1/4"=1'-0"

ADAM JESELNICK  
ARCHITECT

**BENNER REMODEL**  
TORRES STREET 4 S/W OF 9TH AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED  
ROOF PLAN  
08-08-2014  
SCALE: 1/4" = 1'-0"

**A8**

REVISION #	DATE	DESCRIPTION
1	07/02/2014	PLANNING RE-SUBMITTAL
2	08/08/2014	PLANNING RE-SUBMITTAL

Hardscape Material Details

1) Driveway and Walkway Entry: Belgard 'Old World Pavers'

Color: Victorian (Grey)

Running Bond w/ Edge sizing 7 3/4 - 10 1/4 - 12 3/8 x 5 1/8 x 3 1/8 thick

Pattern:



2) Lighting in Landscape: Vista Professional: Copper-Fixtures

Garden + Driveway Fixtures: Vista 2165 CSN 20w 3/8" diameter x 1 1/2" h

In Pier Mounted: Vista 2142 CSN 10w 4 3/4" x 2 3/8" h

Center Entry Walkway Piers only

3) Back Garden Terrace: Mt. Carmel tumbled limestone

Color: Natural Golden Beige

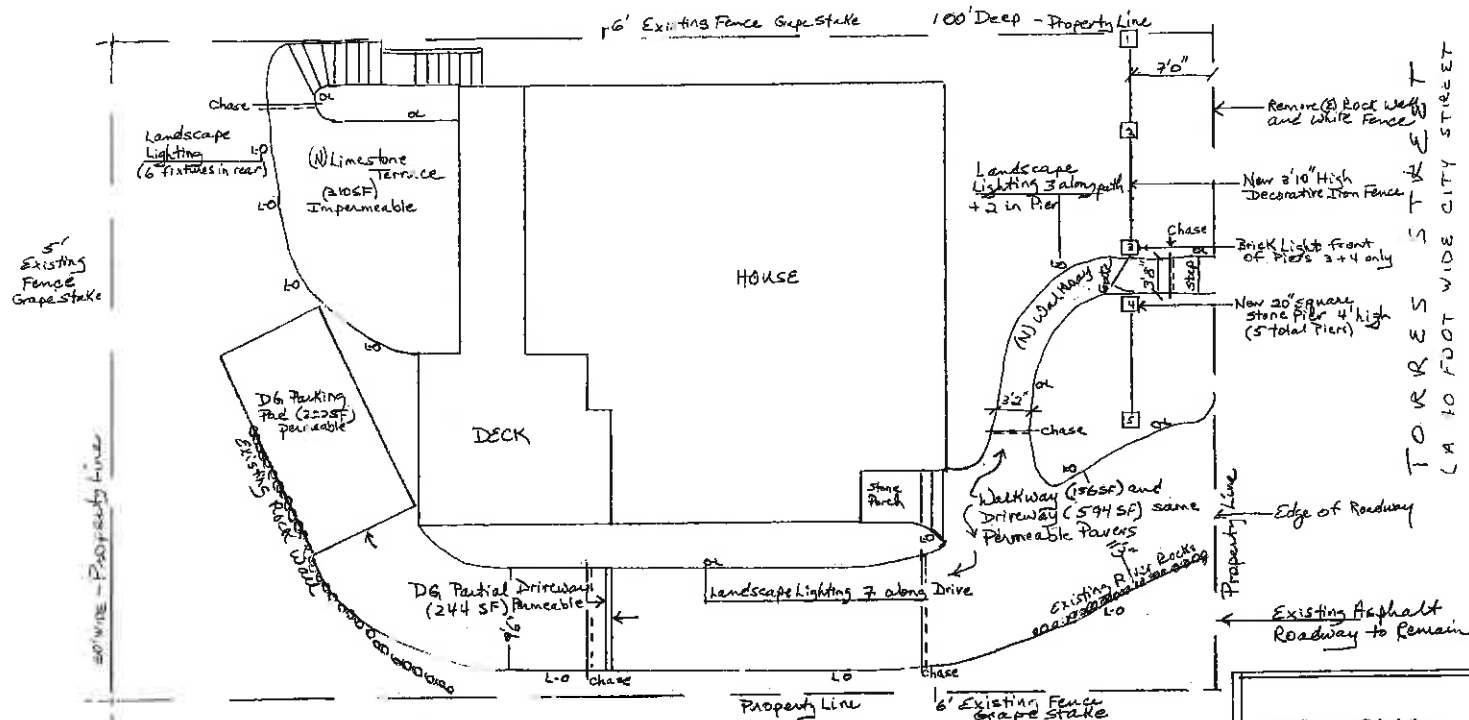
Running Bond 16 x 16 squares

4) Stone Piers: 20" x 20" x 48" h - Entry - See Elevation - page 2

Natural Stone: Playa Blanca

5) Iron Fence: 3'10" tall - Pier to Pier - Entry Garden - See Elevation - page 2

Iron Gate: 4'8" tall - Between Pier 3+4 - Entry Garden - See Elevation - page 2

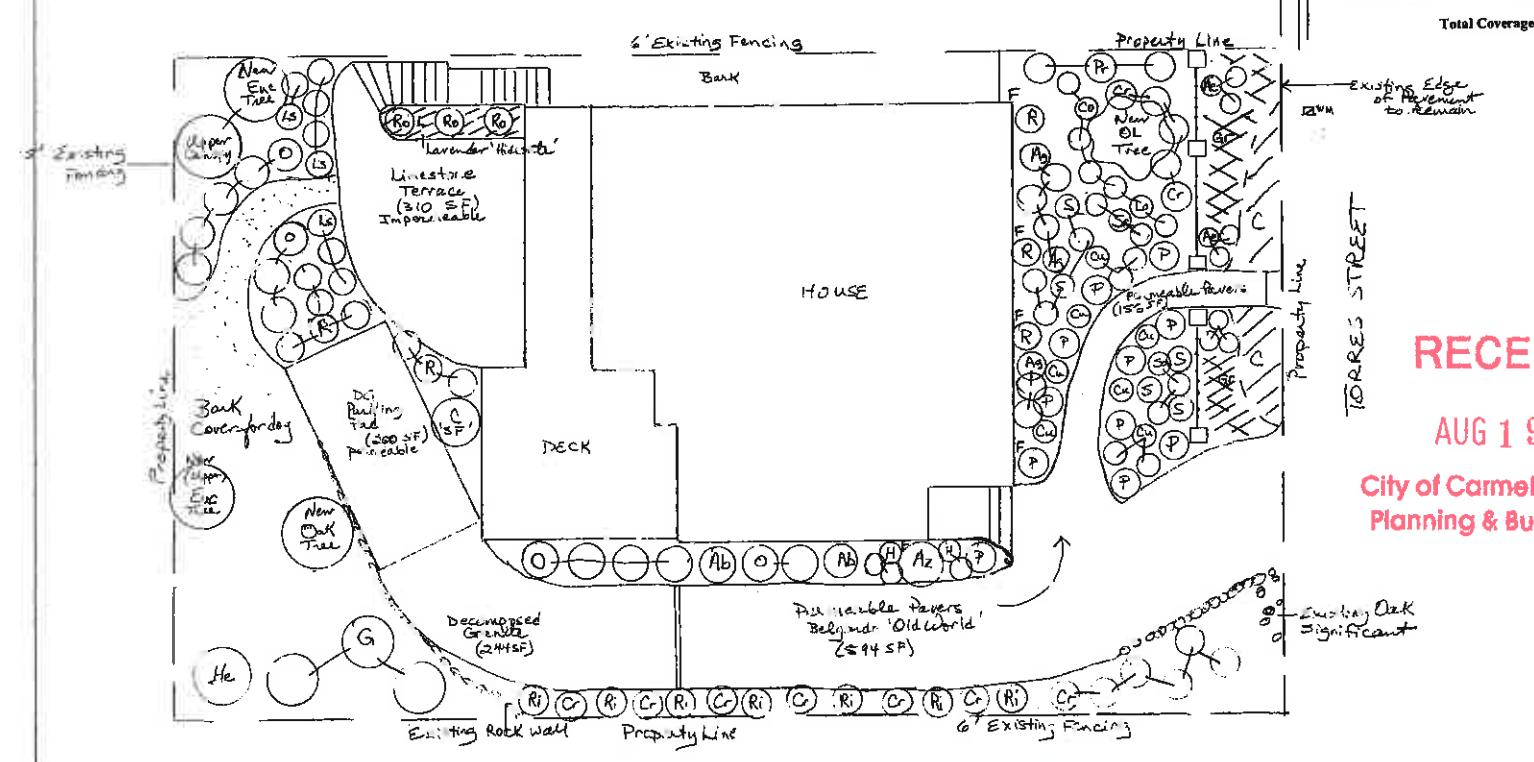


Proposed Hardscape Plan  
Scale: 1/8" = 1'-0"

**Site Coverage Calculations:**

Existing:	
(All Impermeable)	
Asphalt Driveway	1,760 SF Imp.
Concrete Steps, Brick Walks	325 SF Imp.
Deck	280 SF Imp.
<b>Total Coverage =</b>	<b>2,365 SF</b>
<b>Proposed Coverage:</b>	<b>(994 P-Permeable and 808 I-Impermeable)</b>
Driveway	594 SF P.
DG Driveway	244 SF P.
Stone Terrace	310 SF Imp.
Stone Steps and Porch	99 SF Imp.
Tile Deck	399 SF Imp.
Front Walkway	156 SF P.
<b>Total Coverage =</b>	<b>1,802 SF</b>

Plant List	Botanical Name	Common Name	Quantity	Size	Dr.
<b>Front and Driveway Garden:</b>					
Ab	Abutilon 'Red'	Chinese Lantern	2	5 gal	D
Ae	Agapanthus 'Elaine'	Agapanthus blue	9	1 gal	D
Ag	Agapanthus 'Midnight Blue'	Agapanthus Dark Blue	8	1 gal	D
Az	Azara microphylla	Azara	1	5 gal	D
C	Ceanothus 'Carmel Creeper'	Ca. Wild Lilac Grnd Cover	9	1 gal	D
Co	Convolvulus cneorum	Bush Morning Glory	7	1 gal	D
Cr	Correa pulchrum 'Car-nine Belts'	Correa	17	1 gal	D
Cu	Cuphea purpurea 'Firecracker'	Cuphea	11	1 gal	D
F	Ficus repens	Creeping Fig	5	5 gal	D
Gr	Grevillea lanigera 'Coastal Gem'	Woolly Grevillea	14	5 gal	D
H	Helleborus argutifolius	Corsecan Hellebore	5	1 gal	D
OL	Olea europaea Multi-Trunk Tree	Olive Tree	1	24" box	D
O	Olea europaea 'Little Olive'	Olive Shrub	6	5 gal	D
P	Pittosporum tenuifolium 'a kohuhu'	Pittosporum golf ball	11	5 gal	D
Pr	Prunus caroliniana 'Bright Light'	Carolina Laurel	3	15 gal	D
R	Rosemarinus 'Blue Sires'	Rosemary upright	3	5 gal	D
Ri	Ribes sanguineum	Pink Winter Currant	7	1 gal	D
S	Salvia farinacea 'Dark Blue'	Blue Sage	8	1 gal	D
Sa	Santolina virens	Green Santolina	6	1 gal	D
<b>Back Garden:</b>					
C'sf	Ceanothus 'Snow Flurry'	California Wild Lilac	1	5 gal	D
Euc	Eucalyptus 'Nicholii'	Peper Mini Eucalyptus	3	15 gal	D
G	Garrya elliptica	Silk Tassel Bush	3	5 gal	D
He	Heteromeles arbutifolia	Toyon	1	5 gal	D
L	Lavandula 'Hidcoate'	Hidcoate Lavender	7	1 gal	D
La	Lavandula Stoechas 'Oto Quast'	Spanish Lavender	11	1 gal	D
O	Olea europaea 'Little Olive'	Olive Shrub	8	5 gal	D
Q	Quercus agrifolia	Coast Live Oak	1	15 gal	D
R	Rosemarinus 'Blue Sires'	Rosemary upright	6	5 gal	D
Ro	Rosa 'Iceberg' Standard	Tree Roses 'Iceberg'	3	5 gal	D
<b>*= Drought Resistant</b>					
<b>Trees for Property:</b>					
<b>Upper Canopy:</b>					
3	Eucalyptus Nicholii	Peppermint Willow	3	15 gal	D
<b>Lower Canopy:</b>					
1	Olea Europaea Multi-Trunk	Olive	1	25" box	D
1	Quercus agrifolia	Coast Live Oak	1	15 gal	D
1	Existing Quercus agrifolia Multi-Trunk		1	Existing	D



Proposed Landscape Plan  
Scale: 1/8" = 1'-0"

RECEIVED  
AUG 19 2014  
City of Carmel-by-the-Sea  
Planning & Building Dept.

Kathleen Coss Landscape Design  
PO Box 4673, Carmel, CA 93921  
831-620-1630 Cell: 831-235-7772  
kathleencoss@yahoo.com

PROPOSED PLANS for  
LANDSCAPE and HARDSCAPE  
DS 14-42 Benner 8-18-2014  
APN 010-071-010-000

Henry & Kathy Benner Remodel  
Torres Street 4 S/W of 9th Avenue  
Carmel-By-The-Sea, California 93921

Date	8-10-2014
Scale	1/8" = 1'
Drawn	KSC
Job	Benner
Sheet	1
Of	2 Sheets

DS 14-42

**PLANTING INSTALLATION DETAILS:**

- PREP and Soil:** Site property to be made free of weeds. Some existing soil may need to be removed because of poor quality. Import new soil and compost as appropriate to be brought in to finish grade. All planting areas are to be cultivated to depth of 12"-18". Plan marked for areas of berms.
- Berms:** Form berms in areas indicated on plan. (See irrigation plan.)
- PLANTING:** All plants to be thoroughly watered, in the can, 12-24 hours prior to planting.
- Installation:** The bottom and sides of planting holes shall be roughened to allow root penetration.
- After removing plants from containers, scarify root ball to prevent root-bound conditions. Roots may need to be pruned.
- Any Ground Covers should be laid out in a triangular pattern.
- Excavation:** Heel of roots should not be disturbed! Cut bottom from can and place can in the prepared hole. Remove can up above the plant. Backfill the hole as you remove the can.
- Gopher baskets:** Use to be determined by client and examination of site conditions.
- The crown of the plant is to sit 1/4 inch above the finished grade.** Except for Camellias, which should sit 1 inch above grade.
- Fertilizer:** Organic plant food (fertilizer) is to be added to planting mix for each planting hole. The remainder of the hole shall then be backfilled with the prepared soil mix. Air pockets should be eliminated by tamping down the mix without packing. A 2-3 inch high berm shall be built around the edge of the root ball to form a basin for holding water.
- Stakes:** All trees to be staked and tied with double stakes. Stakes shall be driven into the ground after holes are dug and before planting begins.
- Water:** All new plantings shall be irrigated immediately after being planted.
- Mulch:** All new planting areas are to be mulched to a depth of 2-3 inches with fine-textured bark of client's choice. Informal paths to be leveled and finished with mulch.

**IRRIGATION: Drip Irrigation to all plants.**

- Landscape installer is responsible for providing a direct water source to each plant or pot:
- Three (3) adjustable heads to be used for every 15 gal tree.
  - Four (4) adjustable heads to be used for every 24" box tree.
  - Two (2) 1-2 gal heads for every 5 and 15 gal bush.
  - One (1) 1-2 gal head for every 1 gal plant.

**PLANTING NOTES:** Design Drawings are general in nature with the expressed intent to communicate an overall design concept and establish certain design parameters. Contractor shall visit the site and become familiar with the existing conditions. By submitting a bid, Contractor accepts the conditions under which work will be performed.

All measurements shown on drawings are approximate to scale and should be adjusted, as necessary, to site conditions. Plant locations on drawings are approximate. Contractor to place plants on site using best judgment according to the plan. Landscape Designer will then check location of plants in the field and refine exact positions before contractor begins actual planting.

**DESIGNER COMMENT:**

All services rendered by Landscape Designer are professional opinions and recommendations made in accordance with generally accepted practices. Under no circumstance is it the intent of the Designer to directly control the physical work of the Contractor or his workmen. The Designer will provide his client, as requested, with a continuing source of professional advice, opinions and recommendations based on observation of the work in progress.

**IRRIGATION DETAILS:**

— Main Line from Water Meter at Street

Controller: HUNTER X-CORE - 6 station (outdoor)  
Add: SOLAR SYNC-SEN

Reduced Pressure Backflow Assembly: WILKENS 975XL

Valves: HUNTER ICV-ES (Filter Sentry)  
1220 JUMBO VALVE BOX (in ground)

Install Valve Box on top layering of 3" of gravel/gopher wire and landscape fabric.

**All Zones are Drip Irrigation:**

Zone 1 - Front: Aspidistra 'Midnight Blue', Convolvulus, Cypripedium, Ficus, Olea Tree, Pittosporum Kohui, Persea, Rosemarinus, Salvia farinacea

Zone 2 - Front: Aspidistra 'Elae', Ceanothus, Correa, Grevillea, Santolina

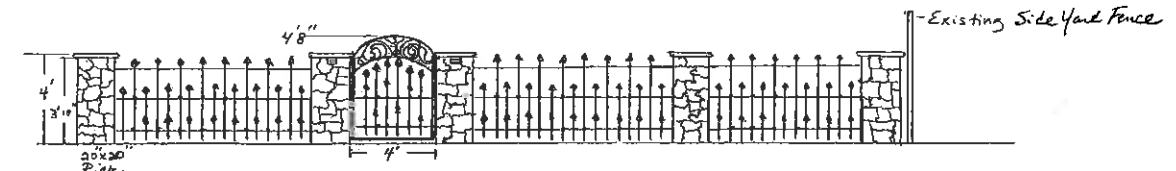
Zone 3 - Back and Side: Abutilon, Azara, Correa (side), Helleborus, Olea 'Little Ollie', Ribes, Garrya, Heteromeles

Zone 4 - Back: Lonicera, Rosa, Rosemarinus, Olea 'Little Ollie', Eucalyptus Tree, Oak Tree

Chase Locations indicated under entry walkway and driveway pavers and back patio. Chase pipes to be 1/2" diameter

Hose Bib Locations

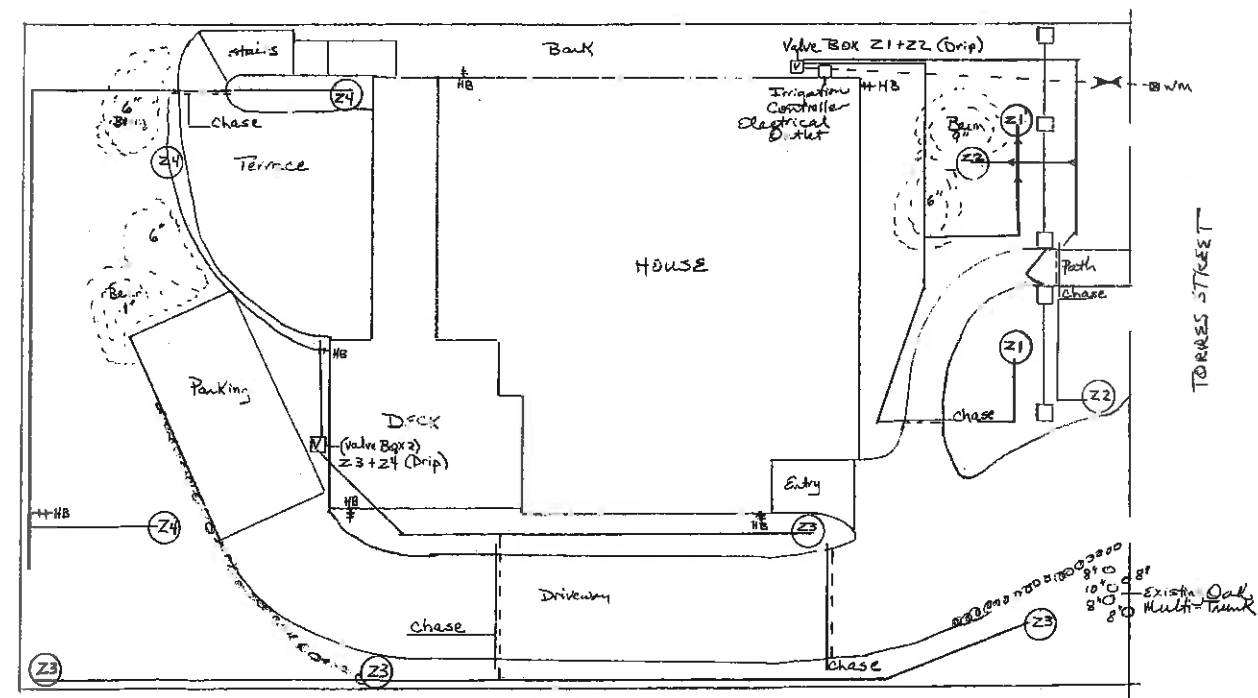
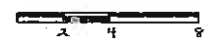
Proposed Fence - East Elevation



Front entry Garden: Stone Piers of Ornamental Iron Fencing

Scale 1/4" = 1'-0"

Playa Blanca Stone Piers



Irrigation Plan  
Scale: 1/8" = 1'-0"

REVISIONS	BY

Kathleen Coss Landscape Design  
PO Box 4673, Carmel, CA 93921  
831-620-1630 Cell: 831-235-7772  
kathleencoss@yahoo.com

PROPOSED PLANS for  
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Date	8-10-2014
Scale	1/8" = 1'-0"
Drawn	AEC
Job	Benner
Sheet	2
Of	2 Sheets



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

September 10, 2014

**To:** Chair Reimers and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director *RM*

**Submitted by:** Marc Wiener, Senior Planner

**Subject:** Consideration of Concept Design Study (DS 14-72) and associated Coastal Development Permit application for the construction of a new residence located in the Single-Family Residential (R-1) Zoning District

---

**Recommendation:**

Accept the Conceptual Design Study (DS 14-72) and the associated Coastal Development Permit subject to the attached findings and recommendations/draft conditions

<b>Application:</b>	DS 14-72	<b>APN:</b>	010-222-007
<b>Location:</b>	Monte Verde Street 3 NE of 4 <sup>th</sup> Ave		
<b>Block:</b>	32	<b>Lots:</b>	16
<b>Applicant:</b>	John Mandurrago	<b>Property Owner:</b>	Dennis Levett

**Background and Project Description:**

The project site is located on Monte Verde Street three parcels northeast of Fourth Avenue. The back southeast corner of the property has a slope of approximately 35%. The subject property is a vacant lot, which previously contained a garage that was demolished in 2005. At the time that the garage was demolished, the soil on the property was redistributed and backfilled, which increased the slope at the southeast corner of the property as indicated in the applicant's letter included as Attachment D.

The applicant has submitted plans to construct a new two-story residence on the subject property. The proposed residence would be 1,800 square feet in size, which includes 1,174 square feet on the ground level, 433 square feet on the upper level, and a 200-square foot detached garage located in the front-yard setback.

With regard to finish materials, the residence would include plaster siding on the lower level and board and batten siding on the upper level. The applicant is also proposing a wood-shake roof, as well as unclad wood windows and doors throughout the residence.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass, and scale related to the project. However, the Commission may provide input on other aspects of the design. Staff notes that the project site contains sufficient water credits to support a new single-family residence, as indicated in the documentation from the Monterey Peninsula Water Management District included as Attachment E. There is also an existing water meter located at the front of the property.

<b>PROJECT DATA FOR THE RECONFIGURED 4,000-SQUARE FOOT SITE:</b>			
<b>Site Considerations</b>	<b>Allowed</b>	<b>Existing</b>	<b>Proposed</b>
Floor Area	1,800 sf (45%)	N/A	1,800 sf (37.6%) 1,600 sf residence 200 sf garage
Site Coverage	556 sf (13.9%)*	N/A	524 sf (13.1%)
Trees (upper/lower)	3/1 trees (recommended)	0/8 trees	0/7 trees
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18 ft./24 ft.	N/A	13 ft./20 ft.
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12 ft./18 ft.	N/A	10.5 ft./17 ft.
<b>Setbacks</b>	<b>Minimum Required</b>	<b>Existing</b>	<b>Proposed</b>
Front	15 ft.	N/A	15 ft. residence** 0 ft. detached garage
Composite Side Yard	10 ft. (25%)	N/A	11 ft.
Minimum Side Yard	3 ft.	N/A	3 ft.
Rear	3 ft. (1st-story) 15 ft. (2nd-story)	N/A	29 ft.
*Includes a 4% bonus if 50% of all coverage is permeable or semi-permeable **Chimney permitted to encroach 2 feet into 15-foot front-yard setback			

**Staff analysis:**

***Property Slope & Buildable Area:*** Municipal Code Section 17.06.020.D states that “*continuous portions of the site, occupying at least 10 percent of the site area, with a slope greater than 30 percent*” are to be deducted out of the buildable area. However, Municipal Code Section 17.06.020.E states that “*on sites disturbed from previous grading or excavation activities, an approximation of preexisting conditions may be used as a reference for determining average or existing grade using grades on adjacent sites, retaining walls and prior survey maps.*”

The southeast corner of the property includes an area that comprises more than 10% of the total site area and has a slope of approximately 35%. Pursuant to Municipal Code Section 17.06.020.D, this portion of the property would normally be deducted out of the buildable area. However, the applicant has indicated that the steep slope at the southeast corner of the property was artificially created when the soil was redistributed in 2005 (see Attachment D). A survey from 2005 is included as Sheet D-2.1 in the plan set and indicates that the original slope of the southeast corner did not exceed 30% over an area of 10% of the project site.

The applicant is requesting that the City use the previous grade measurements, as allowed by the Municipal Code Section 17.06.020.E, in order to include the southeast corner of the property in the buildable area calculations. Staff notes that deducting out the southeast corner of the property would reduce the allowed floor area by approximately 240 square feet.

Staff supports the request to use the previous grade for the following reasons: 1) the applicant has provided a survey from 2005, which documents the previous grade and verifies that the slope at the southeast corner was increased through the redistribution of soil, and 2) the applicant has demonstrated the ability to design an 1,800-square foot residence that is compatible with the neighborhood and surrounding residences, and works with the topographic constraints of the property.

Staff notes that as an alternative, the applicant could grade the property in order to reduce the slope at the southeast corner to less than 30%. However, there are several trees on the property that could be impacted by additional grading. The applicant would prefer to not further disturb the soil on site.

***Forest Character:*** Residential Design Guidelines 1.1 through 1.4 encourage maintaining “*a forested image on the site*”

The site contains eight lower-canopy trees, seven of which are classified as significant. The applicant is proposing to remove one non-significant oak tree near the front of the property. A

condition has been drafted requiring the applicant to obtain a Tree Removal Permit prior to Final Planning Commission review. The City Forester does not recommend that any additional trees be planted on site.

**Privacy & Views:** Residential Design Guidelines 5.1 through 5.3 set forth objectives to: *“maintain privacy of indoor and outdoor spaces in a neighborhood”* and *“organize functions on a site to preserve reasonable privacy for adjacent properties”* and *“maintain view opportunities.”*

The adjacent property to the north is developed with a residence that is located approximately 25 feet from the proposed new residence. The landscape plan (Sheet D7) indicates that a privacy hedge will be planted along the north property line in the area of the two-story portion of the residence. In addition, staff notes that there are only two windows along the north elevation of the proposed residence’s second story, both of which are located near the rear of the residence and are not likely impact the privacy of the residence to the north.

The proposed new residence will also not likely impact the privacy of the residence to the south. The adjacent property to the south sits below the subject property; however, the proposed residence new residence will primarily peer down on the roof of the adjacent south residence. The applicant is proposing a 69-square foot second-story balcony on the south elevation of the residence. The proposed balcony does not appear to impact the privacy of the residence to the south, primarily because of its small size and location in relation to the south neighbor’s windows.

**Mass & Bulk:** Residential Design Guidelines 7.1 through 7.6 encourage a building’s mass to relate *“to the context of other homes nearby”* and *“presenting a one-story height to the street is encouraged.”*

The project is consistent with the above guidelines with regard to building mass. The two-story portion of residence would be 20-feet high, which is 4 feet below the maximum allowed height for a two-story building. In addition, the one-story portion of the residence would be 13 feet high, which is 5 feet below the maximum allowed height for a one-story building. Staff also notes that the second story would be set back 45 feet from the front property line, which is consistent with the guideline’s recommendation that a one-story height be presented to the street.

**Building & Roof Form:** Residential Design Guidelines 8.1 through 8.3 state that *"Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roof with low plate lines can be used on two-story buildings."* The Guidelines emphasize using *"restraint"* and *"simplicity"* in building forms, which should not be complicated, and roof lines, which should *"avoid complex forms."*

The proposed residence would have a gabled roof design with a moderate 5:12 pitch. In staff's opinion the building forms and architectural details appear restrained and do not create a complicated appearance. Staff notes the residence was designed to accommodate the trees property and the slope along the south side of the property. Staff supports the proposed design concept.

**Detached Garage:** Residential Design Guideline 6.2 states that *"parking facilities that maintain or enhance variety along the street edge are encouraged."* CMC 17.10.030 allows for detached garages and carports to encroach into the front and/or side yard setbacks if certain standards can be met. These include avoiding impacts on significant trees and providing diversity to the streetscape.

The applicant is proposing to construct a 200-square foot detached garage in the 15-foot front-yard setback. The proposed garage would be located at the front property line and 1.5 feet from the north side property line. The garage would also be set back 10 feet from the edge of the roadway pavement.

Staff notes that the adjacent property to the north also contains a detached garage in the front-yard setback; however, there are no other properties in the vicinity that have a detached garage in the front-yard setback. In staff's opinion, the proposed garage would add some additional diversity in parking design to the neighborhood.

Staff could support the location of the proposed garage in the front-yard setback, but recommends that it be shifted an additional 1.5 feet south to provide a 3-foot setback from the north property line. A 3-foot setback from the north property line would allow for future maintenance of the garage. The proposed decomposed granite pathway and proposed landscaping should also be shifted south accordingly. A condition of approval has been drafted with this requirement.

**Environmental Review:** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – Construction or modification of a limited number of new or existing small structures. The proposed new residence does not present any unusual circumstances that would result in a potentially significant environmental impact.



**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Draft Recommendations/Conditions
- Attachment D – Applicant Letter
- Attachment E – Water Management District Document
- Attachment F – Project Plans

**Attachment A – Site Photographs**



**Project site – Facing east on Monte Verde Street**



**Project site – Back southeast corner of property with 35% slope**



Photo taken from project site – Adjacent residence to south



Photo taken from project site – Adjacent residence to north

## Attachment B – Findings for Concept Acceptance

DS 14-72 (Levett)  
 September 10, 2014  
 Concept Findings  
 Page 1

### **FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)**

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):**

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

## Attachment C – Recommendations/Draft Conditions

DS 14-72 (Levett)

September 10, 2014

Recommendations/Draft Conditions

Page 1

<b>Recommendations/Draft Conditions</b>		
<b>No.</b>		
1.	The applicant shall apply for and obtain a Tree Removal Permit for the removal of one non-significant oak tree prior to final Planning Commission review.	
2.	The detached garage shall be shifted 1.5 feet south to provide a 3-foot setback from the north property line. The proposed decomposed granite pathway and associated landscape strip shall be shifted 3 feet south accordingly.	

**JOHN MANDURRAGO**

**Attachment D - Applicant Letter    DESIGN STUDIOS**

P. O. BOX R, CARMEL BY THE SEA, CA 93921  
831-825-1553  
John@Mandurrago.com

**August 15, 2014**

**City of Carmel-by-the Sea  
P. O. Drawer R  
Carmel-by-the-Sea, CA 93921**

**RECEIVED**

**AUG 15 2014**

**City of Carmel-by-the-Sea  
Planning & Building Dept.**

**Attention: Marc Wiener  
Senior Planner**

**Reference: Levett (DS 14-72)**

**Dear Marc,**

**This property consists of a vacant lot which, in 2005 contained a garage located in the Northeast corner and a driveway from Monte Verde Street. The driveway was supported by a retaining wall along the Southern edge. Refer to the original survey, sheet D2.1 of the Design submittal set of plans. The garage and retaining wall were later demolished to free up the lot for future development. During the demolition of the driveway and garage the raised earth under the driveway was redistributed to the southern portion of the lot.**

**The lot as documented in the 2005 Survey contained a small area of slopes in excess of 30% but less in area than the allowed 10% of the lot square footage. However when the earth was redistributed, the slopes in excess of 30% were artificially increased. We are asking that the proposed design be evaluated based on the original existing grades which would then allow for a full 1,800 SF of floor area to be constructed.**

**The existing trees, some of which were deemed significant by the City Forester, are aligned West to East along the Southern half of the lot. This fact along with the slopes in excess of 30% that are situated on the Southern half of the lot, mandate that the proposed residence be laid out along the Northern half of the lot. However care was taken to insure that the second floor of this proposed design was placed to the east where there is a greater clearance from the existing building to the north.**

**The proposed design is meant to lean in the direction of a Monterey Colonial style. This would be a good contribution to the neighborhood and would add a little diversity to the existing surrounding architecture.**

**John Mandurrago  
Design Studios**



**MONTEREY PENINSULA  
WATER MANAGEMENT DISTRICT**

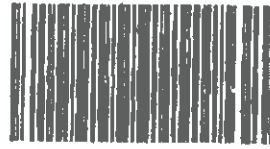
5 HARRIS COURT, BLDG. G  
POST OFFICE BOX 85  
MONTEREY, CA 93942-0085 • (831) 658-5601  
FAX (831) 644-9560 • <http://www.mpwmd.dst.ca.us>

Stephen L. Vagnini  
Monterey County Recorder  
Recorded at the request of  
**Filer**

RANJELIQUE  
1/12/2006  
10:33:19

DOCUMENT: **2006003694**

Titles: 1/ Pages: 4



Fees.. 17.00  
Taxes.  
Other. 2.00  
AMT PAID \$19.00

**Recording Requested by:**  
Monterey Peninsula Water Management District

**And When Recorded Mail To:**  
Monterey Peninsula Water Management District  
Post Office Box 85  
Monterey, California 93942-0085

**RECEIVED**

**AUG 15 2014**

*City of Carmel-by-the-Sea  
Planning & Building Dept.*

**NOTICE AND DEED RESTRICTION  
REGARDING LIMITATION ON USE  
OF WATER ON A PROPERTY**

NOTICE IS GIVEN that the Monterey Peninsula Water Management District (hereinafter referred to as the Water Management District), duly formed as a water district and public entity pursuant to the provisions of law found at Statutes of 1977, Chapter 527, as amended (found at West's California Water Code Appendix, Chapters 118-1 to 118-901), has approved water service to the real property referenced below as "Subject Property."

NOTICE IS FURTHER GIVEN that the real property affected by this agreement is situated in the City of Carmel-by-the-Sea:

**MONTE VERDE ST, CARMEL CA 939321  
(A.K.A. MONTE VERDE STREET, 4 NORTH EAST OF 4<sup>TH</sup> AVENUE, CARMEL CA 93921)  
(CARMEL BY THE SEA LOT 16 BLK 32)  
ASSESSOR'S PARCEL NUMBER 010-222-007-000**

This real property is hereinafter referred to as the "Subject Property." The Subject Property is located within the jurisdiction of the Water Management District. Dennis A. LeVett, (hereinafter referred to as Owner(s)), is record owner(s) of the Subject Property.

Owner(s) and the Water Management District each acknowledge and agree that the installation and maintenance of one dishwasher with no wash cycle capable of using greater than 7.66 gallons of water, one ultra-low flow washing machine manufactured with no wash cycle capable of using greater than 18 gallons of water, and an instant-access hot water system capable of supplying hot water at any access point within ten seconds are permanent requirements of the Subject Property. Owner(s) and the Water Management District each acknowledge and agree that the maximum permitted water use at the Subject Property is limited to supply the potable water requirements for a single-family dwelling consisting of:



- 2 bathtubs (may ~~have shower above~~)
- 1 kitchen sink and ULF dishwasher
- 1 ULF washing machine-18 gls max
- 3 wash basins
- 2 toilets, ULF, 1.6 gal.
- 1 shower-separate stall
- Reasonable outdoor water use as needed and as allowed by District rules

No water use fixtures other than those listed above have been approved or authorized for use on the Subject Property.

Owner(s) acknowledges that the conditions requiring the installation and maintenance of the ultra-low flow fixtures and the limitation on water use fixtures referenced above have been voluntarily accepted as a condition of Water Permit No. 23489 and is permanent and irrevocable, unless amended by the filing of a less restrictive deed restriction. Owner(s) further acknowledges that credit shall not be granted for removal or retrofit of any fixture added pursuant to the second bathroom accounting protocol allowed by Rule 24C and noted on the water permit.

**NOTICE IS FURTHER GIVEN** that this agreement is binding and has been voluntarily entered into by Owner(s), and each of them, and constitutes a mandatory condition precedent to receipt of regulatory approval from the Water Management District relating to the Subject Property. This agreement attaches to the land, and shall bind any successor or assignee of Owner(s).

**NOTICE IS FURTHER GIVEN** that present and/or future use of water at the Subject Property site is restricted by Water Management District Rules and Regulations. Any intensification of water use on the Subject Property, as defined by Water Management District Rule 11, will require prior written authorization and permit from the Water Management District. Approval may be withheld by the Water Management District, in accord with then applicable provisions of law. Present or future allocations of water may not be available to grant any permit to intensify water use at this site. If any request to intensify water use on Subject Property is approved, connection charges and other administrative fees may be required as a condition of approval.

**NOTICE IS FURTHER GIVEN** that in the event intensification of water use on Subject Property occurs without such an authorizing permit, any and all water use on this site may thereafter be revoked in accord with Water Management District Rules, which state, "Intensification of Water Use without a permit shall provide cause for revocation by the District of all water use by any person on that Site." Such revocation could cause the irrevocable extinction of any right or entitlement to water use, water use capacity, or water credit for the Subject Property.

**NOTICE IS FURTHER GIVEN** that intensification of water use on Subject Property that occurs without the advance written approval of the Water Management District is a violation of Water Management District Rules and may result in a monetary penalty for each offense as allowed by Water Management District Rules. Each separate day, or portion thereof, during which any violation occurs or continues without a good faith effort by the responsible party to correct the violation shall be deemed to constitute a separate offense. All water users within the jurisdiction of the Water Management District are subject to the Water Management District Rules, including Rules 11, 23, and 148.

The Owner(s) and Water Management District each intend that this Notice and Deed Restriction act as a deed restriction upon the Subject Property, and that it shall be irrevocable under its terms. This

document shall be enforceable by the Water Management District or any public entity that is a successor to the Water Management District.

The Owner(s) elects and irrevocably covenants with the Water Management District to abide by the conditions of this Notice and Deed Restriction to enable issuance of Water Permit No. 23489. But for the limitations and notices set forth herein, issuance of this water permit would otherwise be withheld and found to be inconsistent with the Water Management District Rules and Regulations.

This Notice and Deed Restriction is placed upon the Subject Property. Any transfer of this property, or an interest therein, is subject to this deed restriction. This Notice and Deed Restriction shall have no termination date unless amended by the filing of a less restrictive deed restriction.

If any provision of this Notice and Deed Restriction is held to be invalid, or for any reason becomes unenforceable, no other provision shall thereby be affected or impaired.

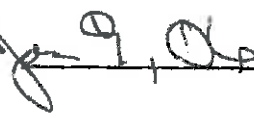
The undersigned Owner(s) agrees with and accepts all terms of this document stated above, and requests and consents to recordation of this Notice and Deed Restriction Regarding Limitation on Use of Water on a Property. The Owner(s) further agrees to notify any present and future tenant of the Subject Property of the terms and conditions of this document.

**OWNER(S) agrees to recordation of this Notice and Deed Restriction in the Recorder's Office for the County of Monterey. Owner(s) further unconditionally accepts the terms and conditions stated above. (Signatures must be notarized)**

By:

  
Dennis A. LeVett

Dated:

  
1-9-06

By:

  
Robert Cline, Conservation Representative  
Monterey Peninsula Water Management District

Dated:

  
1-11-06

**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

State of California }  
 County of Monterey } ss.

On January 9, 2006, before me, Susan L. Sory, Notary Public,  
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")  
 personally appeared DENNIS A. LEBERT,  
Name(s) of Signer(s)

personally known to me  
 proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Susan L. Sory  
 Signature of Notary Public

Place Notary Seal Above

**OPTIONAL**

*Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.*

**Description of Attached Document**

Title or Type of Document: \_\_\_\_\_

Document Date: \_\_\_\_\_ Number of Pages: \_\_\_\_\_

Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer**

- Signer's Name: \_\_\_\_\_
- Individual
  - Corporate Officer — Title(s): \_\_\_\_\_
  - Partner —  Limited  General
  - Attorney in Fact
  - Trustee
  - Guardian or Conservator
  - Other: \_\_\_\_\_



Signer is Representing: \_\_\_\_\_

**END OF DOCUMENT**

**MONTEREY PENINSULA  
WATER MANAGEMENT DISTRICT**

5 HARRIS COURT, BLDG. G • P.O. BOX 85 • MONTEREY, CA 93942 • (831) 658-5601 • FAX (831) 644-9558

**RESIDENTIAL INSPECTION REPORT**

Conservation:  Change of Title  Re-inspection - Permits:  Pre-Inspection  New Construction  Demo/Credits

Previous inspection date: NONE  Remodel/Addition  Re-inspection

PROPERTY ADDRESS: MONTE VERDE 3 NE OF 4TH

CITY: CARMEL NUMBER OF BATHROOMS: FULL | 1 1/2

ASSESSOR-S PARCEL NUMBER: 010 - 222 - 007 TRANSFER DATE: \_\_\_\_\_

OWNER-S NAME: LEVETT B S PERMIT # \_\_\_\_\_

PERSON CONTACTED: CHRIS PHONE: \_\_\_\_\_

This form certifies that an inspection was conducted at the above address. At the time of the inspection, the property  WAS  WAS NOT found to be in compliance with MPWMD conservation standards and/or with MPWMD Water Permit # \_\_\_\_\_. Conservation standards are listed in Regulation 14 of the District Rules and Regulations and are summarized on the back of this form. (Permit requirements specific to this property are on file at the District office.)

YEAR OF CONSTRUCTION: 1920 NO. OF BEDROOMS: 1 APPROX. SQUARE FEET: 600+

*Any discrepancies on fixture counts must be reported and cleared or appealed within 21 days of inspection date.*

**WATER FIXTURE INVENTORY:**

Name of fixture	Fixture Count	Fixture Value	Fixture Credit
Wash basin	_____	x 1.0 unit each	= _____
2 <sup>nd</sup> wash basin Master bath	_____	x _____ unit each	= _____
Toilet, 1.6 gallon per flush <u>UR</u>	1	x 1.7 units each	= _____
Toilet, 1.0 gallon per flush	_____	x 1.3 units each	= _____
Toilet, 1/2 gallon per flush	_____	x 1.0 units each	= _____
Toilet, Non-ultra low flow	_____	x 1.7 units each	= _____
Large bathtub (over 55 gal.)	_____	x 3.0 units each	= _____
Master bathtub	_____	x _____ units each	= _____
Master bath separate shower stall	_____	x _____ units each	= _____
Standard tub (with or without showerhead)	_____	x 2.0 units each	= _____
Shower stall with one head	1	x 2.0 units each	= _____
Additional showerhead*	_____	x 2.0 units each	= _____
Kitchen sink/dishwasher (DW)	1	x 2.0 units each	= _____
Kitchen sink/ultra-low consumption DW	_____	x 1.5 units each	= _____
Dishwasher additional (type)	_____	x 2.0 units each	= _____
Laundry or Utility sink (1 per residential site)	_____	x 2.0 units each	= _____
Washing machine (WM)	1	x 2.0 units each	= _____
Ultra low consumption WM	_____	x _____	= _____
Bidet	_____	x 2.0 units each	= _____
Bar sink or vegetable sink	_____	x 1.0 units each	= _____
Instant-access hot water system	<u>NA</u>	x _____	= _____
Swimming pool (surface area)	_____	x _____	= _____
Other: _____	_____	x _____	= _____
Other: _____	_____	x _____	= _____
Total Credits			_____

*To calculate fixture credit: use fixture count x fixture value to assess total fixture credit available.*

\*Maximum credit of four (4) fixture units are available for multiple showerheads, but permit is required for installation.

Note: No water credits are available for exterior water fixtures, multiple utility sinks, and multiple showerhead installations. (Pursuant to District Rule 24.)

Cistern Information: \_\_\_\_\_ Gallon storage capacity: \_\_\_\_\_

Inspector-s Notes: COLLECTED BY CHECK # 1072, 105.00 DEMO INSPECTION FEE PAID IN FULL. UR 12/19/05

*The following items WERE NOT in compliance (see back of form):*

<input type="checkbox"/> Showerheads	<input type="checkbox"/> Faucet Aerators	<input type="checkbox"/> Hot Water System	<input type="checkbox"/> Toilets _____
<input type="checkbox"/> Landscape Irrigation	<input type="checkbox"/> Signage Requirements (Commercial properties)	<input type="checkbox"/> Other _____	

**ACTION REQUIRED**

Items not in compliance must be corrected within \_\_\_\_\_ days or by close of escrow, whichever is sooner.

Re-inspection required. Please call 658-5601 to schedule.

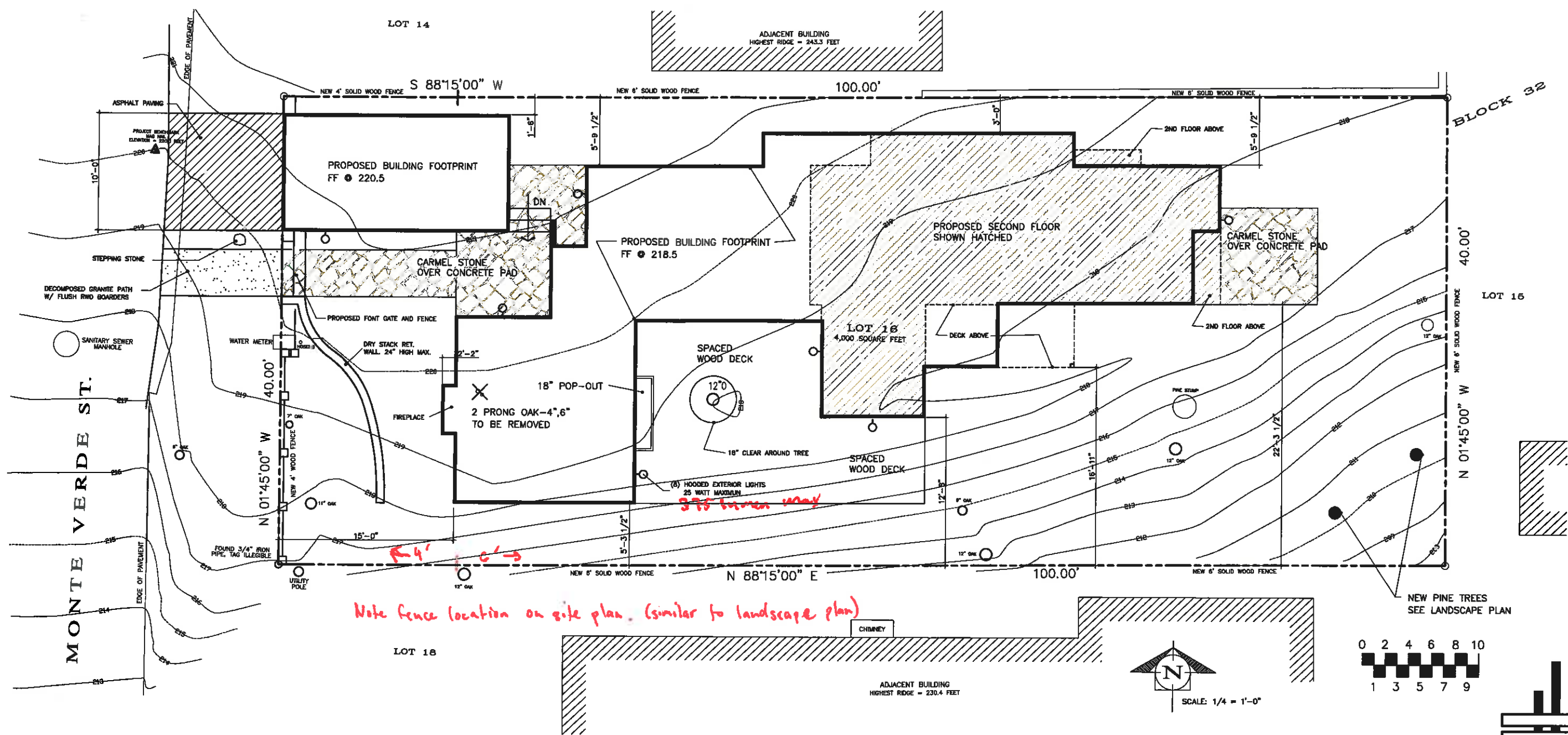
Itemized receipts or (other) \_\_\_\_\_ mail to P.O. Box 85, Monterey, CA 93942 or fax to 644-9558.

Water Release Form & Permit Application Form is required from (jurisdiction) \_\_\_\_\_

Fees are due. (Please call District for amount.) \_\_\_\_\_

Other \_\_\_\_\_

\_\_\_\_\_  
Acknowledgment of Receipt Date Michael Boles MPWMD Representative Date 12-19-05



**PROJECT INFORMATION**

MONTE VERDE STREET 3 N/E OF 4TH AVE.  
CARMEL BY THE SEA, CA 93921

CARMEL LOT 16, BLOCK 32  
A.P.N. 010-222-007

SITE AREA: 4,000 S.F. 0.0918 ACRES

PROPOSED TREE REMOVAL (1)  
PROPOSED TREE PLANTING (2)  
PROPOSED GRADING: 80 CY CUT

ZONING: R-1

MAXIMUM BUILDING HEIGHT = 24'

**OWNER INFORMATION**

DENNIS A LEVETT  
P. O. Box 4915  
CARMEL BY THE SEA, CA 93921

**FLOOR AREA**

ALLOWED:	45.0 %	1,800 S.F.
PROPOSED:		
FIRST FLOOR RESIDENCE		1,174 S.F.
SECOND FLOOR RESIDENCE		433 S.F.
GARAGE		200 S.F.
TOTAL:	45.0 %	1,800 S.F.

**HARDSCAPE COVERAGE**

ALLOWED:	22% OF BASE FA	= 396 S.F.
50% PERVIOUS BONUS:		
4% OF SITE AREA		= 160 S.F.
		556 S.F.

**PROPOSED:**

DRIVEWAY		0 S.F.
FRONT WALKS	IMPERVIOUS	145.0 S.F.
SOUTH DECK	PERVIOUS	297.0 S.F.
EAST PATIO	IMPERVIOUS	82.0 S.F.
TOTAL		524.0 S.F.

**SHEET INDEX:**

- D1..... PROPOSED SITE PLAN
- D2..... SURVEY - NOV 2013
- D2.1... SURVEY - JAN 2005
- D3..... FLOOR PLANS
- D4..... FLOOR PLANS DIMENSIONED
- D5..... EXTERIOR ELEVATIONS
- D6..... ROOF PLAN
- D7..... LANDSCAPE PLAN
- D8..... STREETSCAPE
- D9..... GRADING PLAN

SITE

REVISION

AUG 20 2014 VICINITY MAP

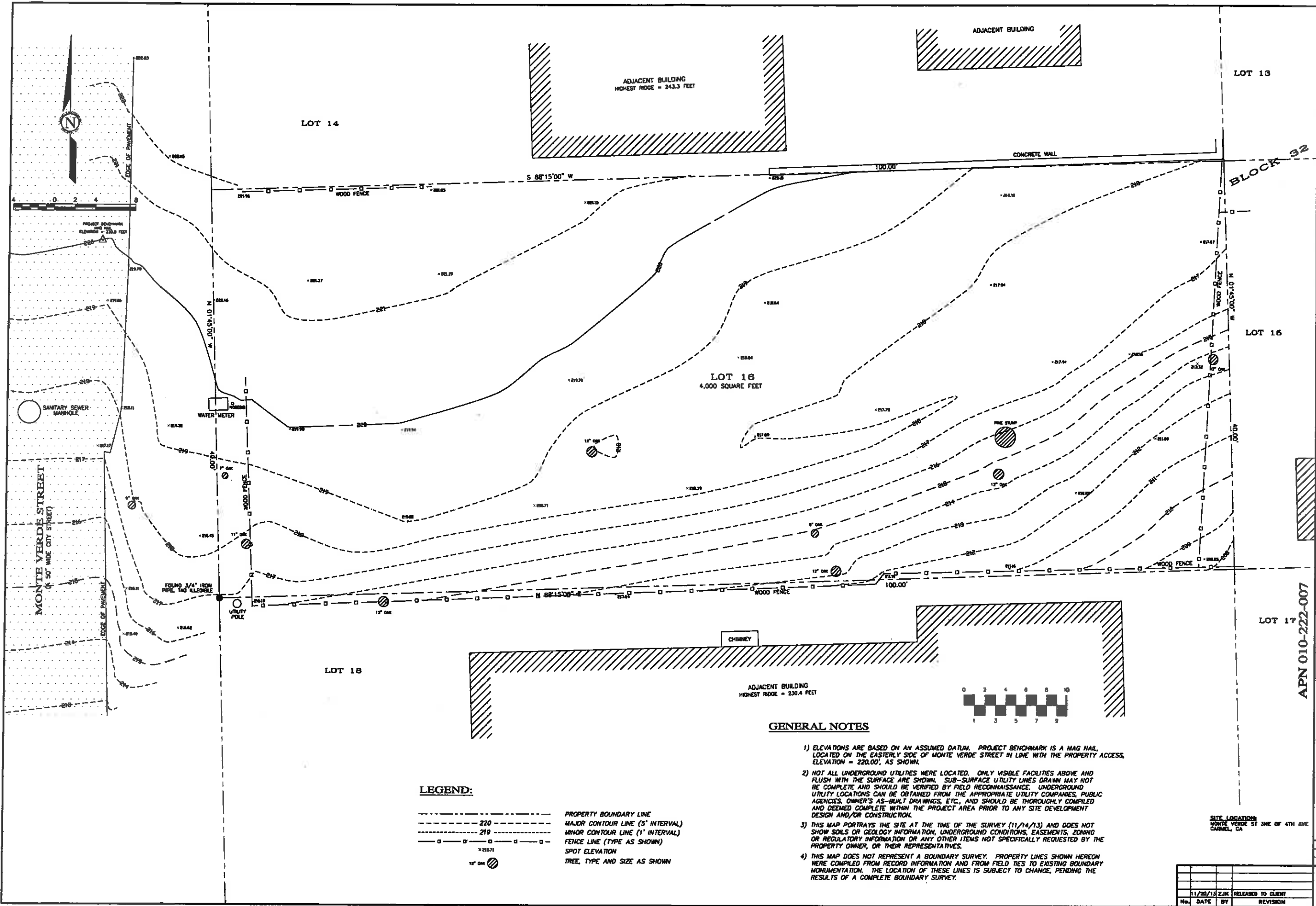
City of Carmel-by-the-Sea  
Planning & Building Dept.

**Proposed SITE PLAN**

JOHN MANDURRAGO  
*Design Studios*

P. O. BOX "R", CARMEL BY-THE-SEA, CA 93921 831-825-1553

JOB NUMBER 1406  
SHEET NUMBER D1



APPROVED BY:  
 GUY R. GERAUDO  
 P.L.S. No. 8703

**LANDSET**  
 ENGINEERS, INC.  
 ENGINEERING - LAND PLANNING  
 SURVEYING - ENVIRONMENTAL CONSULTING  
 500-B CROFT HORSE CANYON ROAD, SHALIMUS, CA 93007

**TOPOGRAPHIC MAP**  
 OF  
 LOT 16 IN BLOCK 32  
 VOL. 1 OF "CITIES AND TOWNS" AT PAGE 2  
 CARMEL - BY - THE - SEA, CALIFORNIA

APN 010-222-007  
 SCALE: 1"=4'  
 DATE: NOVEMBER 2013  
 JOB NO. 1270-01  
 SHEET  
**D2**

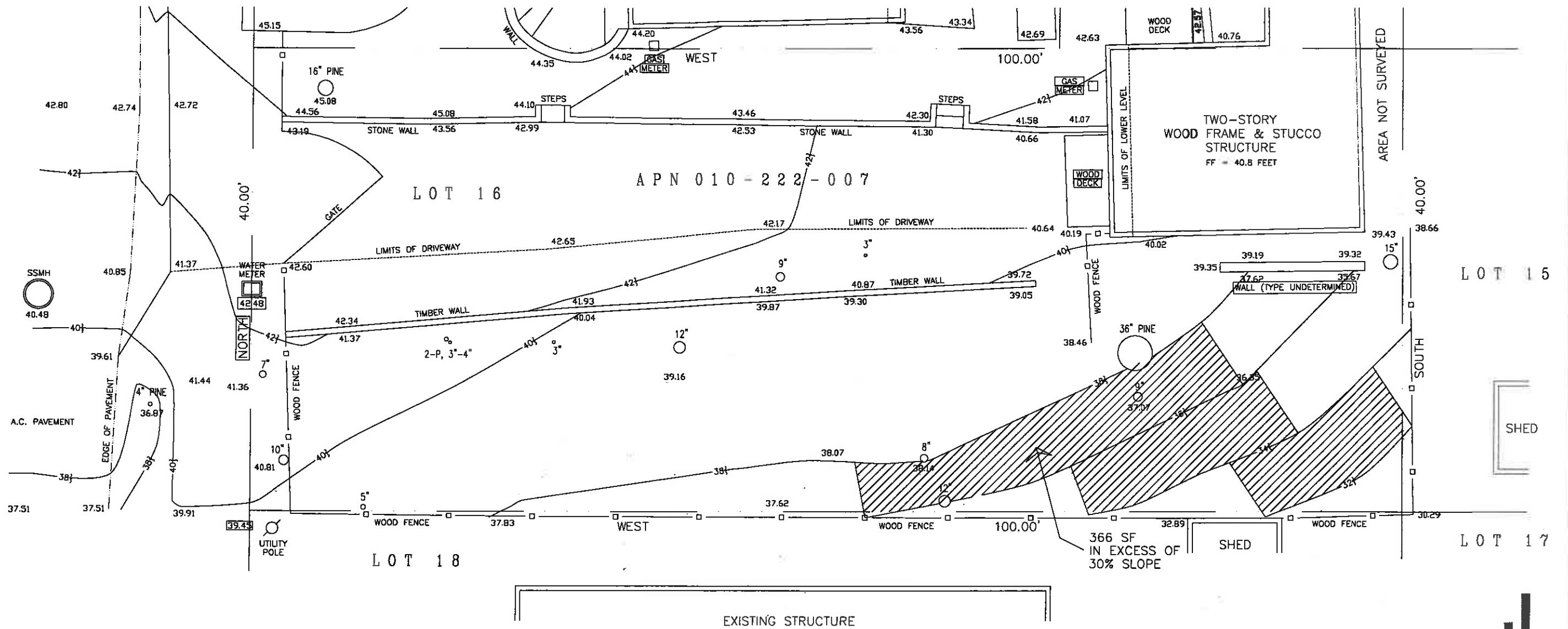
**GENERAL NOTES**

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS A MAG NAIL, LOCATED ON THE EASTERLY SIDE OF MONTE VERDE STREET IN LINE WITH THE PROPERTY ACCESS, ELEVATION = 220.00', AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (11/14/13) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER, OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

**LEGEND:**

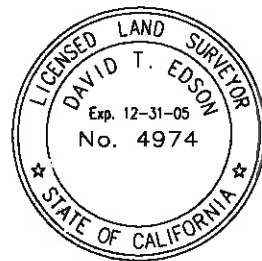
- PROPERTY BOUNDARY LINE
- - - 220 --- MAJOR CONTOUR LINE (5' INTERVAL)
- - - 219 --- MINOR CONTOUR LINE (1' INTERVAL)
- FENCE LINE (TYPE AS SHOWN)
- UTILITY POLE
- WATER METER
- SANITARY SEWER MANHOLE
- CHIMNEY
- PINE STUMP
- TREE (TYPE AND SIZE AS SHOWN)

No.	DATE	BY	REVISION
11/20/13	ZJK		RELEASED TO CLIENT



**NOTES:**

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
- ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. TEMPORARY BENCHMARK IS FINISHED FLOOR OF NORTHERLY STRUCTURE, TAKEN AT THE FRONT ENTRY THRESHOLD, AS SHOWN.  
  
ELEVATION = 50.0 FEET (ASSUMED)
- CONTOUR INTERVAL = TWO FEET.
- TREE TYPES ARE OAK UNLESS OTHERWISE INDICATED. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 2" ARE NOT SHOWN. MULTI-PRONGED TREES LABELED "x-P".
- BUILDING CORNERS LOCATED TO OUTSIDE FACE OF STUCCO



EXISTING STRUCTURE

**TOPOGRAPHIC MAP**

OF  
 LOTS 12, 14 & 16 IN BLOCK 32  
 MAP OF CARMEL-BY-THE-SEA  
 VOLUME ONE, CITIES & TOWNS, PAGE 2  
 RECORDS OF MONTEREY COUNTY

CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR  
**Chris Tescher**

BY  
**CENTRAL COAST SURVEYORS**  
 5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940

Phone: (831) 394-4930  
 Fax: (831) 394-4931

SCALE: 1" = 8' JOB No. 04-218 JANUARY 2005

PREPARER: BMC

APN's 010-222-007 & 008



**SURVEY**

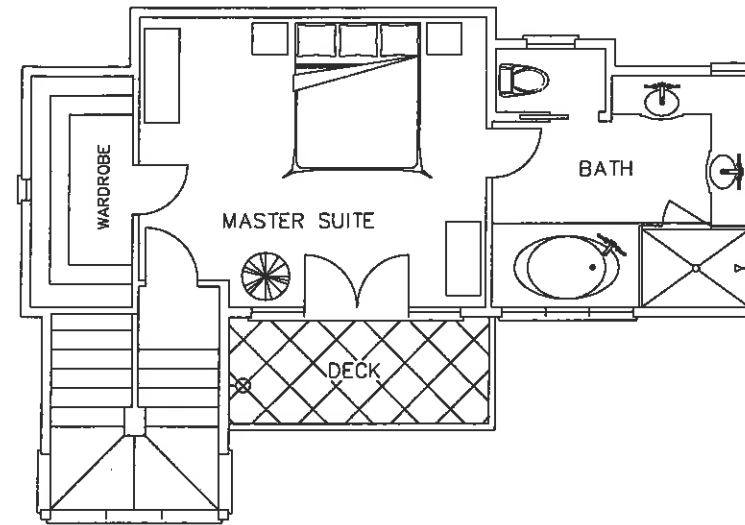
08-04-14

MONTE VERDE RESIDENCE  
 MONTE VERDE ST 3 NE OF 4TH AVE  
 CARMEL BY THE SEA, CA.  
 A.P.N. 010-222-007

JOB NUMBER 1406  
 SHEET NUMBER **D2.1**

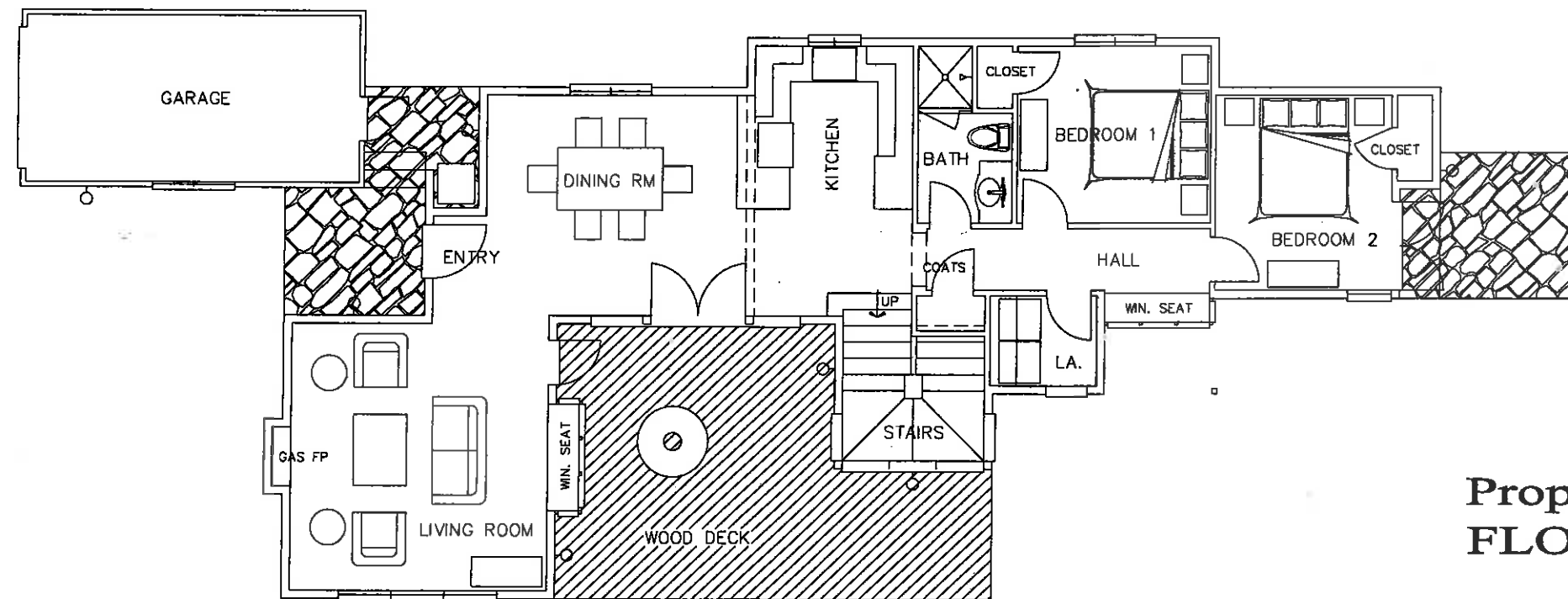
**JOHN MANDURRAGO**  
*Design Studios*

P. O. BOX 74, CARMEL BY-THE-SEA, CA. 93921 831-625-1553



**SECOND LEVEL**  
475 SF

195 SF



**FIRST LEVEL**  
1,130 SF

**Proposed  
FLOOR PLANS**

08-04-14

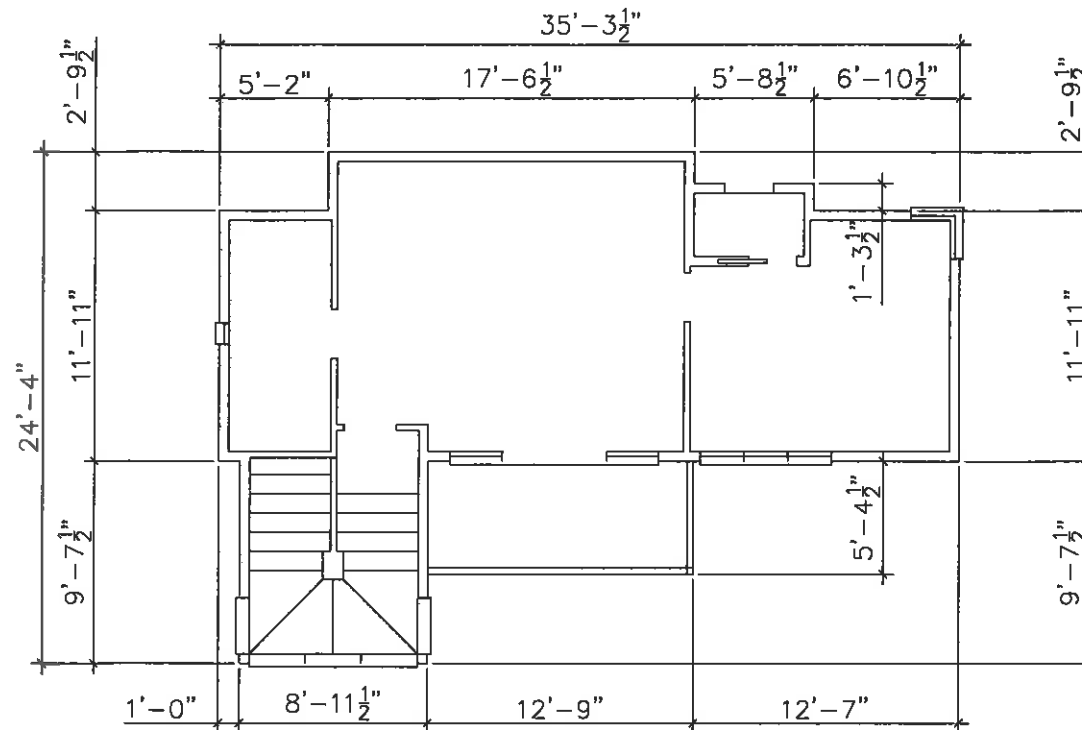
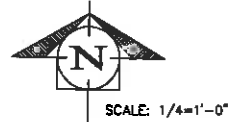
JOHN MANDURRAGO  
*Design Studios*

P. O. BOX "R", CARMEL, BY-THE-SEA, CA. 93921 831-825-1503

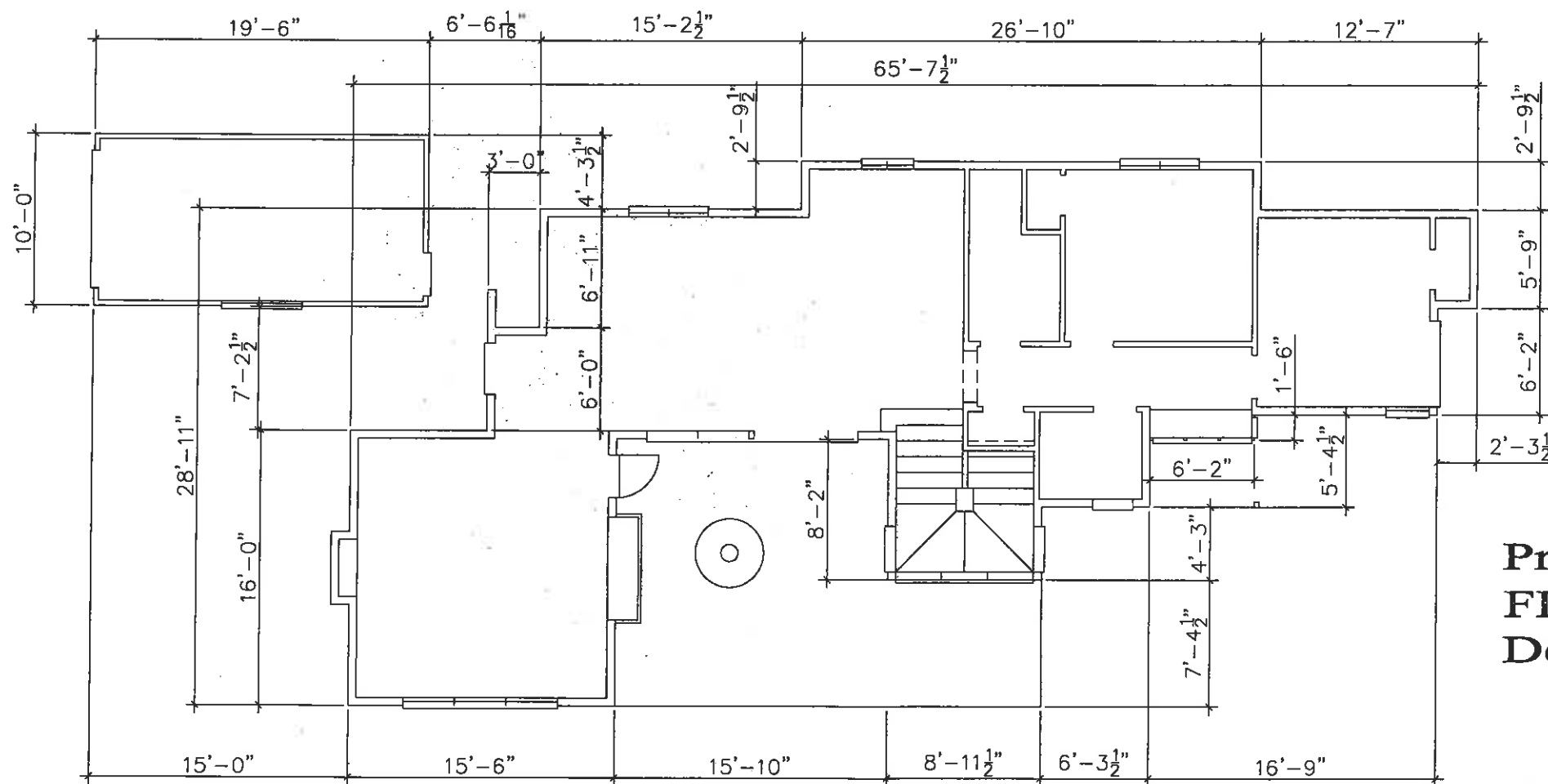
MONTE VERDE RESIDENCE  
MONTE VERDE ST 3 NE OF 4TH AVE  
CARMEL BY THE SEA, CA.  
A.P.N. 010-222-007

JOB NUMBER 1406  
SHEET NUMBER **D3**





**SECOND  
LEVEL**



**FIRST LEVEL**



**Proposed  
FLOOR PLANS  
Dimensioned**

**JOHN MANDURRAGO**  
*Design Studios*

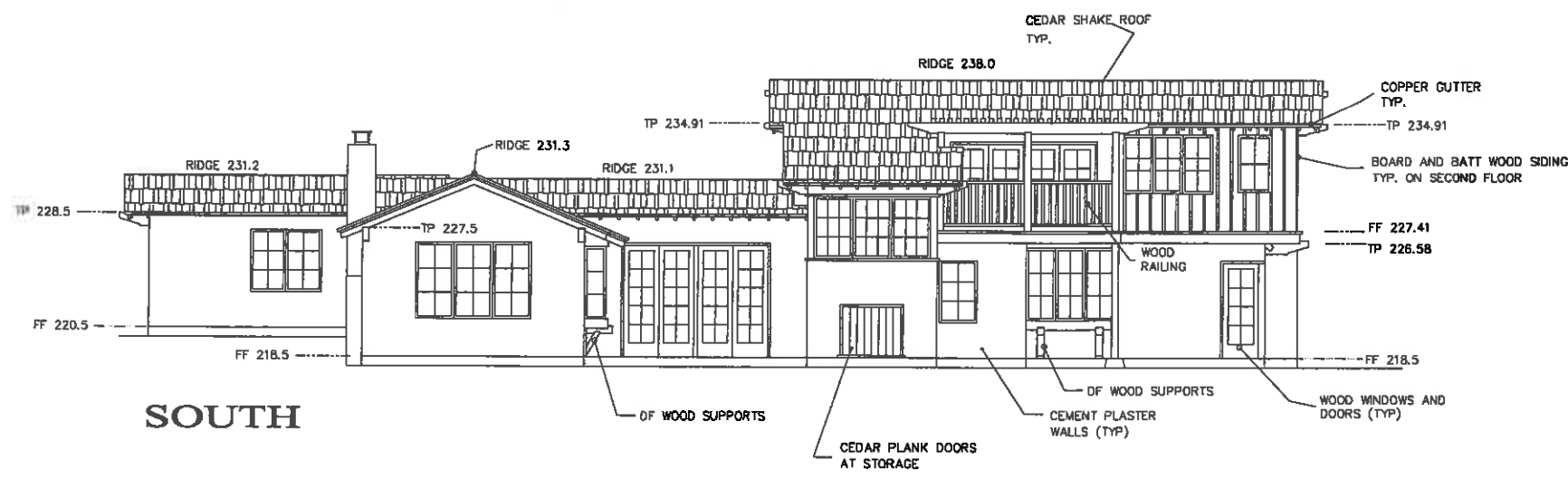
P. O. BOX "R", CARMEL BY-THE-SEA, CA. 93921 831-625-1553

08-04-14

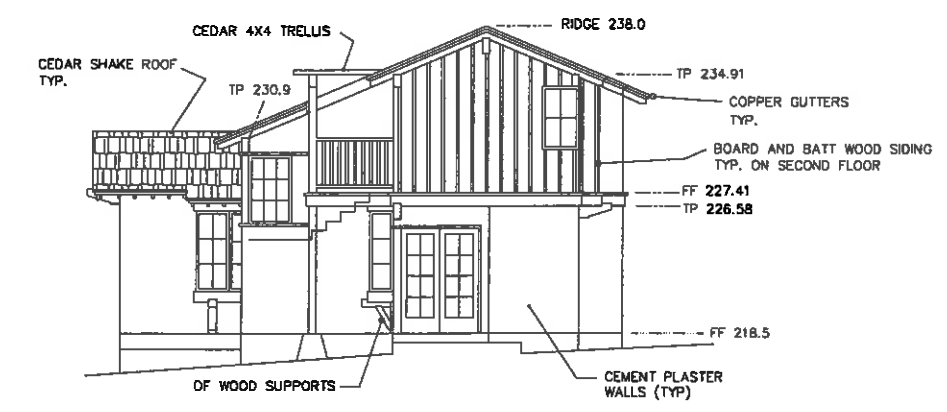
JOB NUMBER 1406

SHEET NUMBER **D4**

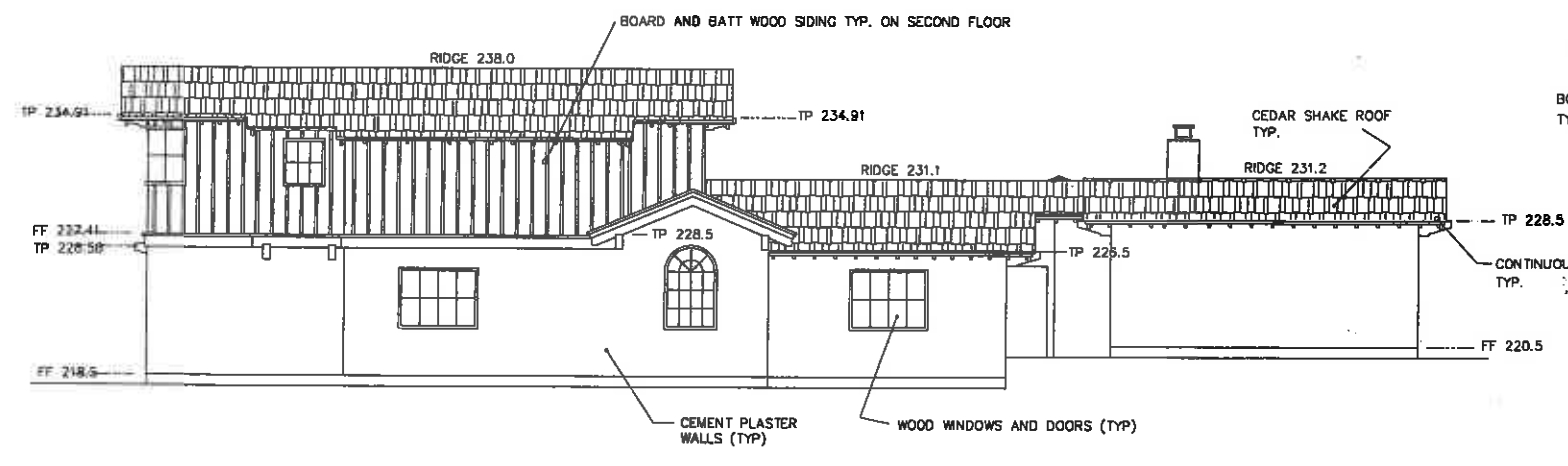
MONTE VERDE RESIDENCE  
MONTE VERDE ST 3 NE OF 4TH AVE  
CARMEL BY THE SEA, CA.  
A.P.N. 010-222-007



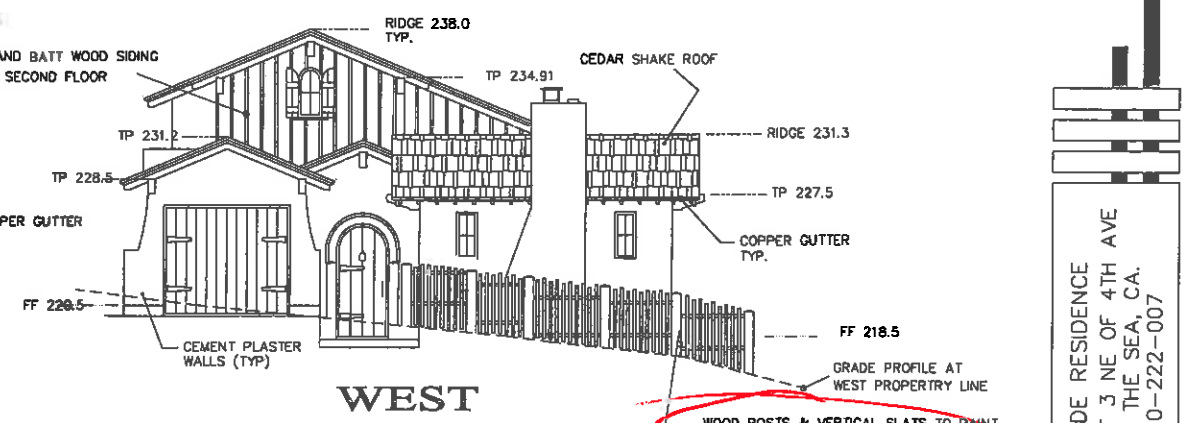
**SOUTH**



**EAST**

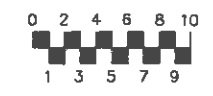


**NORTH**



**WEST**

*gumpstake?*



**Proposed ELEVATIONS**

SCALE: 3/16"=1'-0"

08-04-14

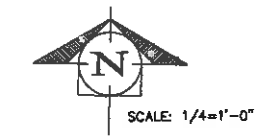
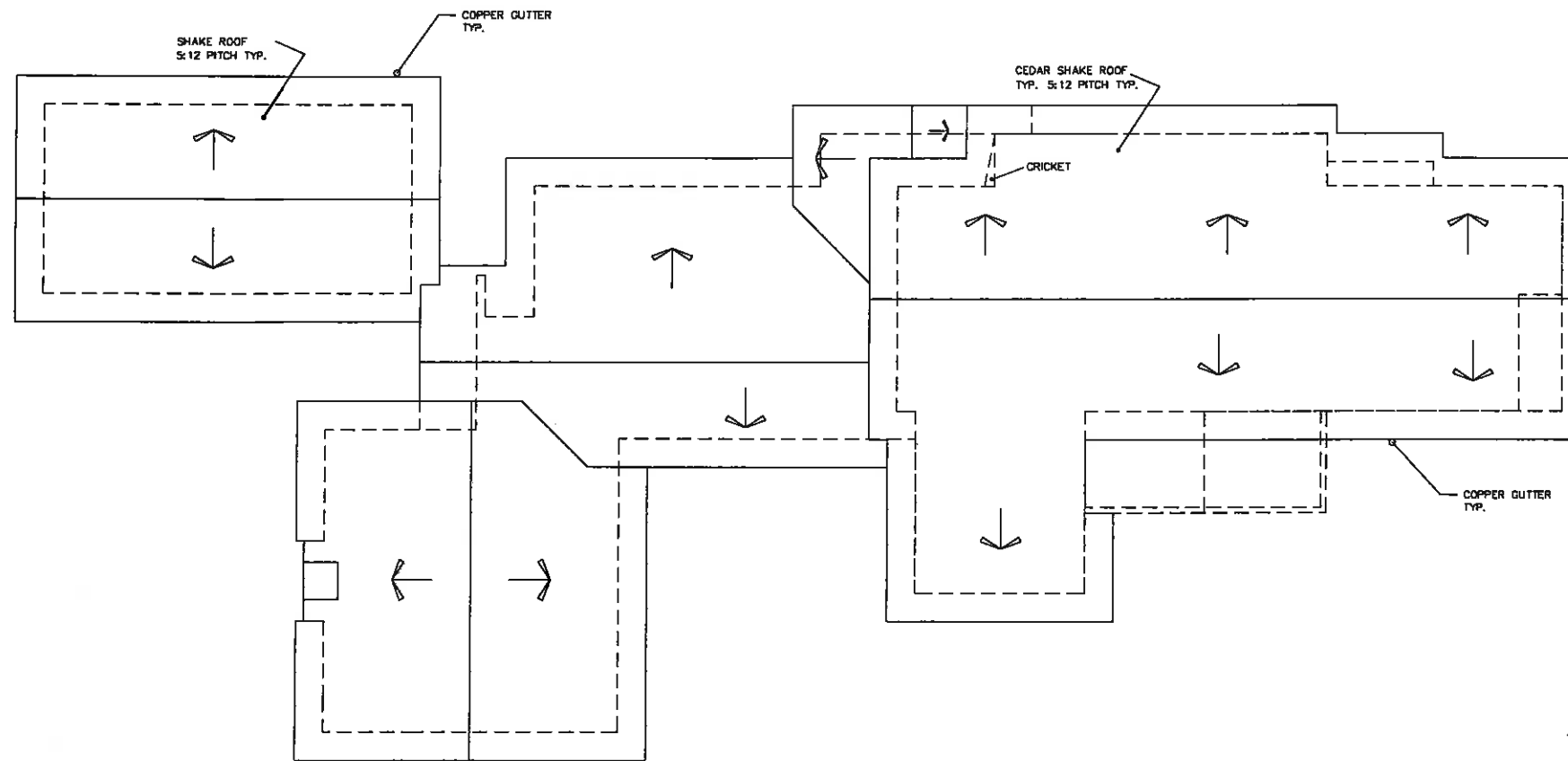
MONTE VERDE RESIDENCE  
MONTE VERDE ST 3 NE OF 4TH AVE  
CARMEL BY THE SEA, CA.  
A.P.N. 010-222-007

JOB NUMBER 1406

SHEET NUMBER **D5**

**JOHN MANDURRAGO**  
*Design Studios*

P. O. BOX 94, CARMEL BY THE SEA, CA. 93921 831-625-1553



## Proposed ROOF PLAN



08-04-14

MONTE VERDE RESIDENCE  
MONTE VERDE ST 3 NE OF 4TH AVE  
CARMEL BY THE SEA, CA.  
A.P.N. 010-222-007

JOB NUMBER 1406

JOHN MANDURRAGO  
*Design Studios*

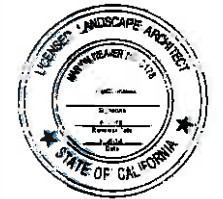
SHEET NUMBER **D6**

P. O. BOX 74, CARMEL BY THE SEA, CA. 93921 831-525-1553

DATE:  
08/05/2014

SCALE:  
1/4" = 1'-0"

DRAWN BY:  
MCW



PROJECT TITLE:

Levett  
Residence

MONTE VERDE STREET  
 4 N/E OF 4TH AVE.  
 CARMEL, CA 93921  
 A.P.N.: #010-222-007  
 CARMEL LOT 16, BLOCK 32

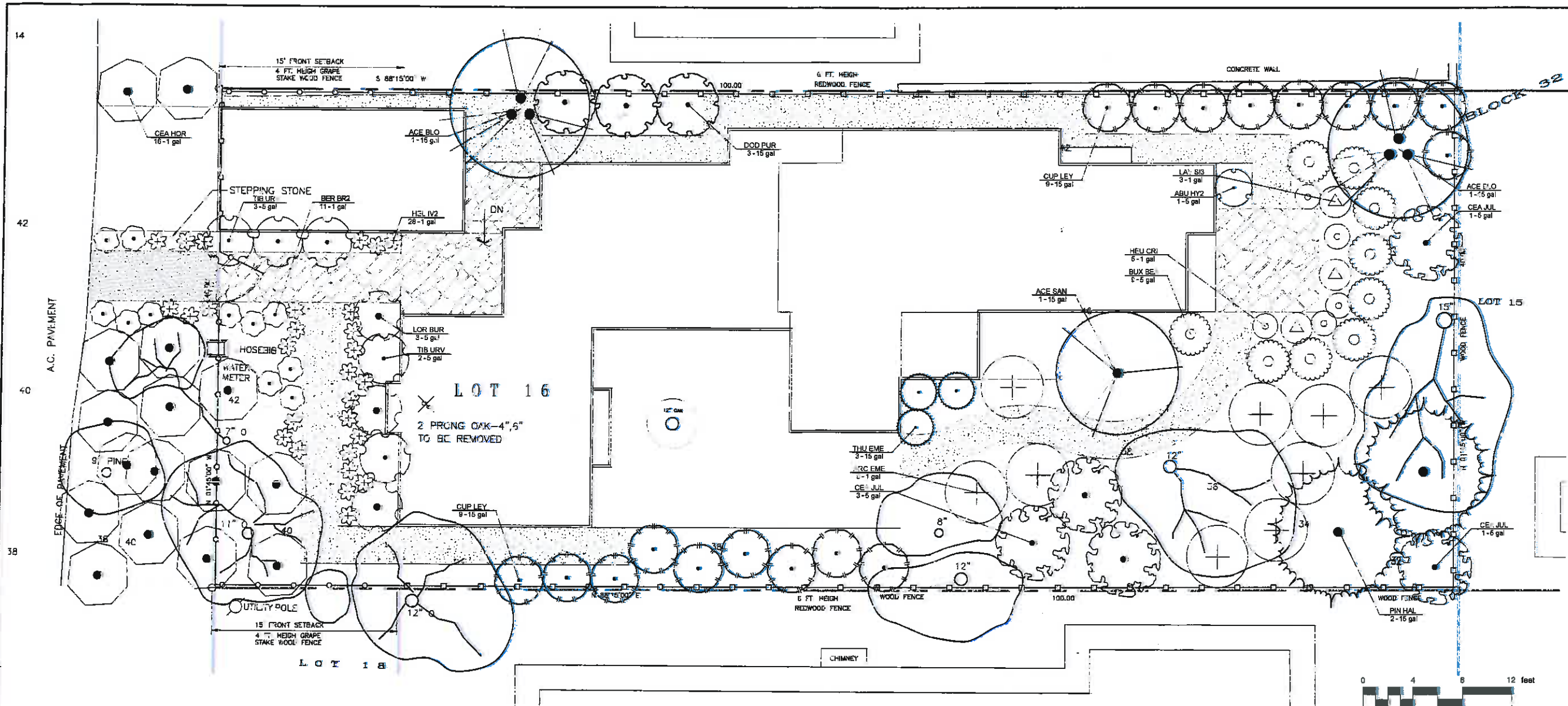


SHEET TITLE:

LANDSCAPE  
PLAN

SHEET #

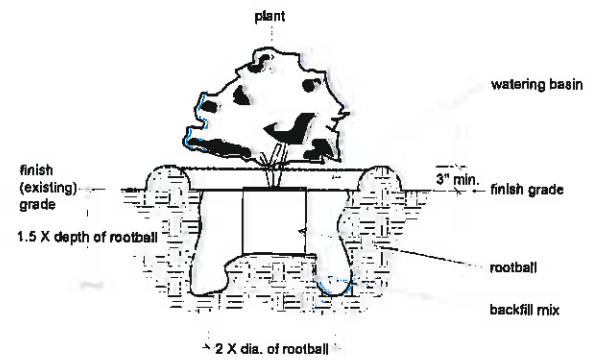
D7



PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
ACE BLO	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	15 gal	2
ACE S/W	Acer palmatum 'Sango Kaku' / Coral Bark Maple	15 gal	1
DOD PUR	Dodonaea viscosa 'Purplea' / Purple Leafed Hopseed Bush	15 gal	3
PIN H/L	Pinus halepensis / Aleppo Pine	15 gal	2
THU EME	Thuja occidentalis 'Emerald' / Emerald Arborvitae	15 gal	3
CUP LEY	Cupressus nuxifolia 'Leylandii' / Leylandii Cypress	15 gal	18
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY
ABU HY2	Abutilon hybridum / Flowering Maple	5 gal	1
ARC EME	Arctostaphylos uva-ursi 'Emerald Carpet' / Emerald Carpet Manzanita	1 gal	9
BER BR2	Berberis cordifolia 'Bressingham White' / Heartleaf Berberis	1 gal	11
BUX BEA	Buxus microphylla japonica 'Green Beauty' / Green Beauty Boxwood	5 gal	9
CEA HOR	Ceanothus griseus horizontalis / Carmel Creeper	1 gal	18
CEA JUL	Ceanothus x Julia Phelps / California Lilac	5 gal	5
HEL IV2	Heliconia x stemmii 'Ivory Prince' / Heliconia	1 gal	28
HEU CRI	Heuchera x 'Crimson Curts' / Crimson Curts Coral Bells	1 gal	3
LAV SIB	Lavandula stoechas 'Silver Anouk' / Spanish Lavender	1 gal	3
LOR BUR	Loropetalum chinense rubrum 'Burgundy' / Burgundy Loropetalum	5 gal	3
TIB URV	Tibouchina urvilleana / Princess Flower	5 gal	3

GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	QTY
[Symbol]	Decomposed Granite 3 inch thick / Groundcover	41 sf	
[Symbol]	Wood Chips Finely shredded / Groundcover	mulch	473 sf



1 SHRUB PLANTING DETAIL  
1/4" = 1'-0"

SIZE	NUMBER OF 20-10-5 FERTILIZER BEST PACKS
ONE GALLON PLANT	1 PACK
FIVE GALLON PLANT	2 PACKS
FIFTEEN GALLON PLANT	1 PACK PER 1/2" OF TREE TRUNK DIA. OR EACH FT. OF HEIGHT OR SPREAD MAX. OF 6 PACKS.
24" BOX TREE	1 PACK PER 1/2" OF TREE TRUNK DIA. OR EACH FT. OF HEIGHT OR SPREAD MAX. OF 8 PACKS. SPACE PACKS EVENLY AROUND THE ROOTBALL AND HALFWAY UP TOUCHING THE SIDES.
GROUND COVER	OSMOCOTE 18-6-12 SLOW RELEASE FERTILIZER AS PER MANUFACTURER RATE

2 FERTILIZER SCHEDULE BEST PACKS  
N.T.S.

GENERAL NOTES:

**Contractor Responsibility:**  
 It is the responsibility of the Contractor to verify all existing conditions as they relate to the plan, and the plan as it relates to all existing conditions. Any discrepancy or error shall be brought to the attention of the Landscape Architect or Owner upon discovery of such discrepancy or error prior to commencing work.

PLANTING NOTES:

**Existing Plant Material:**  
 Existing trees shall be protected, per City of Carmel Tree Protection Standards.

**Tree and Shrub Planting Procedure:**  
 Plants should be removed from the containers in a manner to minimize disturbance of plant and root ball. Circling roots at the periphery of the root ball should be pulled outward or pruned during planting to prevent future girdling. Plants with severe girdling shall be rejected.  
 Basins should be constructed to allow retention of two inches minimum of water over the top of the root ball. Slope plantings may not require up-slope berms, but will require higher down-slope berms.  
 The backfill material and root ball should be saturated to the full depth immediately after planting.  
 Each plant should be placed in the hole at such a depth that, after the soil has settled, the top of the root ball will be slightly above the surrounding soil to avoid water accumulation at the crown of the plant. Backfill should be placed around the root ball and compacted gently with the end of the shovel. Backfill should be no more than 70% material from the plant hole preparation and 30% "manufactured" soil.  
 Bare soil shall be covered with 1"-2" of nitrilized chipped bark mulch, or equivalent, as appropriate, except for pine needle repository/bulb area.

IRRIGATION NOTES:

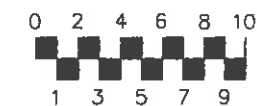
Purchase and install the ET Smart Controller and weather station. Install weather station on fascia of roof facing South or West where it can be kept clear of debris and unobstructed. Set rain gauge to 1/8".



MONTE VERDE ST - WEST

SCALE: 1/4"=1'-0"

Proposed  
STREETSCAPE



08-04-14

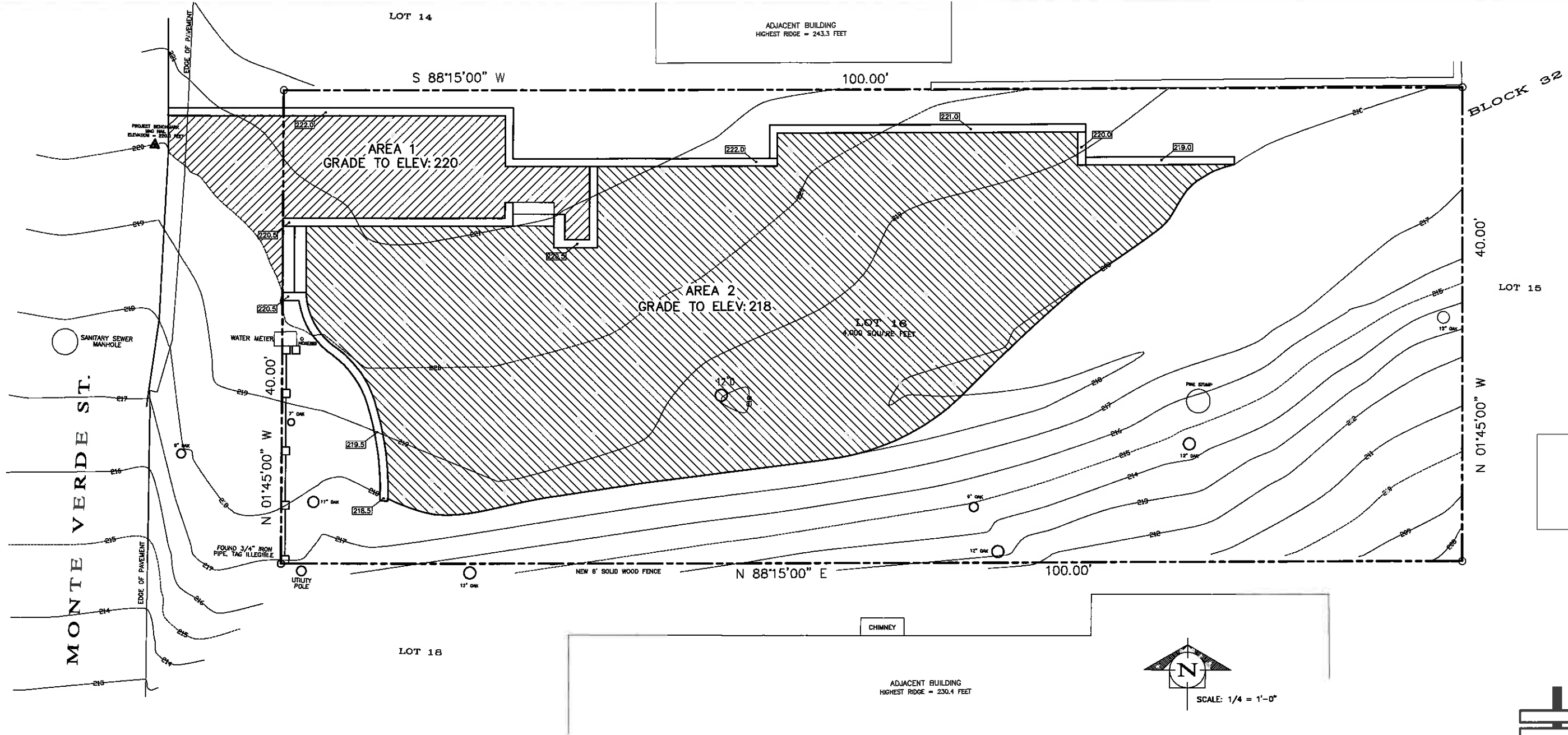
JOB NUMBER 1406

JOHN MANDURRAGO  
*Design Studios*

SHEET NUMBER D8

P. O. BOX 78, CARMEL BY THE SEA, CA. 93921 831-625-1553

MONTE VERDE RESIDENCE  
MONTE VERDE ST 3 NE OF 4TH AVE  
CARMEL BY THE SEA, CA.  
A.P.N. 010-222-007



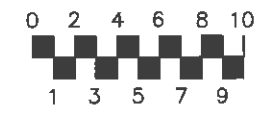
**PROJECT INFORMATION**

MONTE VERDE STREET 3 N/E OF 4TH AVE.  
 CARMEL BY THE SEA, CA 93921  
 CARMEL LOT 16, BLOCK 32  
 A.P.N. 010-222-007

SITE AREA: 4,000 S.F. 0.0918 ACRES  
 AREA 1 : 248 SF 9 CY CUT  
 AREA 1 : 1,521 SF 72 CY CUT  
 PROPOSED GRADING: 81 CY CUT

**REVISION**  
**AUG 20 2014**  
*City of Carmel-by-the-Sea*  
 Planning & Building Dept.

**Proposed GRADING PLAN**



**JOHN MANDURRAGO**  
*Design Studios*  
 P. O. BOX 71, CARMEL BY-THE-SEA, CA. 93921 831-625-1553

JOB NUMBER **1406**  
 SHEET NUMBER **D9**

**MONTE VERDE RESIDENCE**  
 MONTE VERDE ST 3 NE OF 4TH AVE  
 CARMEL BY THE SEA, CA.  
 A.P.N. 010-222-007



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

September 10, 2014

**To:** Chair Reimers and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director *RM*

**Submitted by:** Marc Wiener, Senior Planner

**Subject:** Consideration of Concept Design Study (DS 14-64) and associated Coastal Development Permit application for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District

---

**Recommendation:**

Accept the Conceptual Design Study (DS 14-64) and the associated Coastal Development Permit subject to the attached findings and recommendations/draft conditions

<b>Application:</b>	DS 14-64	<b>APN:</b>	010-275-008
<b>Location:</b>	Camino Real 2 NW of 11 <sup>th</sup> Ave		
<b>Block:</b>	Q	<b>Lot:</b>	17
<b>Applicant:</b>	Eric Miller, Architect	<b>Property Owner:</b>	Martha Webster

**Background and Project Description:**

The project site is located on Camino Real two parcels northwest of Eleventh Avenue. The site is developed with a 737-square foot one-story residence, and includes a 160-square foot detached garage located at the rear southwest corner of the property. A Determination of Historic Ineligibility was issued by the Community Planning and Building Department on June 24, 2014.

The applicant has submitted plans to expand the existing 737-square foot residence to 1,600 square feet, which includes the addition of a second story. The proposed residence would include 1,137 square feet on the ground level and 463 square feet on the upper level. The applicant is also proposing to expand the 160-square foot detached garage to 200 square feet.

With regard to finish materials, the proposed additions would include horizontal wood siding, steel windows, and a wood-shingle roof, all to match the finish materials on the existing residence. The 40-square foot garage addition would be clad with board and batten siding to match the existing garage siding material.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass, and scale related to the project. However, the Commission may provide input on other aspects of the design. Staff notes that the adjacent neighbor to the north has expressed concern with the design, as indicated in the letter included as Attachment D.

<b>PROJECT DATA FOR THE RECONFIGURED 4,000-SQUARE FOOT SITE:</b>			
<b>Site Considerations</b>	<b>Allowed</b>	<b>Existing</b>	<b>Proposed</b>
Floor Area	1,800 sf (45%)	897 sf (22.4%)	1,800 sf (45%) 1,600 sf residence, 200 sf garage
Site Coverage	556 sf (13.9%)*	992 sf (24.8%)	556 sf (13.9%)
Trees (upper/lower)	3/1 trees (recommended)	0/5 trees	1/3 trees
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18 ft./24 ft.	14 ft.	14 ft./23 ft.
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12 ft./18 ft.	10. ft.	10 ft./18 ft.
<b>Setbacks</b>	<b>Minimum Required</b>	<b>Existing</b>	<b>Proposed</b>
Front	15 ft.	14 ft. 7 in	No Change
Composite Side Yard	10 ft. (25%)	12 ft. (30%)	No Change
Minimum Side Yard	3 ft.	2 ft. 9 in.	3 ft. (new addition)
Rear	3 ft. (1st-story) 15 ft. (2nd-story)	47 ft. 3 in.	34 ft. (new addition) 24 ft. (new deck)
*Includes a 4% bonus if 50% of all coverage is permeable or semi-permeable			

**Staff analysis:**

**Forest Character:** Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.



The site contains five lower-canopy trees, one of which is classified as a significant oak tree. The applicant is proposing one new upper canopy tree as recommended by the City Forester. A condition has been drafted regarding this recommendation.

The applicant is proposing to remove two non-significant trees from the site. A condition has been drafted requiring the applicant to obtain a Tree Removal Permit prior to final Planning Commission review. Staff notes that the City Forester may require replacement trees as a condition of the Tree Removal Permit.

The addition of floor area to the residence requires that the site include a conforming 10' x 20' parking space (CMC 17.10.030.F). As such, the applicant is proposing a 40-square foot addition at the front of the detached garage to comply with the on-site parking requirement. Staff notes that the proposed garage addition would encroach into the 6-foot setback of the significant oak tree, which is located near the southeast corner of the garage. The plans include a note that the garage will include a bridged footing; however, the addition would be approximately 1-foot or less from the tree trunk. As an alternative, staff recommends that the applicant expand the rear of the garage rather than the front to comply with the parking requirement and to avoid impacting the oak tree. The Planning Commission is authorized to approve the detached garage to encroach into the 3-foot rear-yard setback. A condition has been drafted regarding this issue.

***Privacy & Views:*** Residential Design Guidelines 5.1 through 5.3 state that *“designs should preserve reasonable solar access to neighboring parcels”* and *“maintain privacy of indoor and outdoor spaces in a neighborhood”* and *“maintain view opportunities.”*

The adjacent neighbors to the north, Sara and James Jungroth, submitted a letter to the City on September 3, 2014, which is included as Attachment D. In their letter, Mr. and Mrs. Jungroth have expressed concern that the proposed second-story addition would impact their solar access and privacy, and they have requested that the residence be re-designed, specifically that the second-story be shifted south by a minimum of 4 feet. Staff notes that the proposed second-story addition would be 3 feet from the north property line and approximately 8.5 feet from the Jungroth residence.

Staff visited the Jungroth residence on September 3, 2014 to evaluate the impact. With regard to solar access and views, staff notes that the proposed two-story addition will be visible from the Jungroth's south facing living room window and from their rear deck. However, in staff's opinion, the proposed two-story addition will not significantly impact solar access to the Jungroth residence nor would it obstruct any views. The Jungroth residence will maintain solar access from the west and southwest directions and would maintain its west-facing ocean view.

With regard to privacy, the applicant is proposing one small bathroom window on the north elevation of the second-story. Staff recommends that the applicant use obscure glass to mitigate potential privacy impacts created by this window. A condition has been drafted to address this recommendation. Furthermore, the applicant is proposing a balcony at the rear (west) elevation of the second-story that could impact the privacy of the Jungroth's deck. Staff notes that a deck is also proposed on the south elevation of the second-story as well. The Commission should consider whether the balcony should be eliminated.

The Planning Commission will have the opportunity to visit both the project site and the Jungroth property during the Tour of Inspection. If the Commission has concerns, it could require that the applicant to re-design the residence to shift the second-story farther south. However, the applicant has indicated that they would prefer to maintain the second-story at the proposed location because it would require less demolition and modification of the existing residence. The applicant also prefers to place the deck on the south side of the second story, so that it can be screened from the Jungroth's deck.

**Mass & Bulk:** Residential Design Guidelines 7.1 through 7.6 encourage a building's mass to relate *"to the context of other homes nearby"* and to *"minimize the mass of a building as seen from the public way or adjacent properties."* Further, these guidelines state that *"a building should relate to a human scale in its basic forms."*

The northern neighbors have expressed concern with the design of the second story as discussed in the previous section. The Commission should consider whether the issues (i.e. solar access, views, etc.) associated with the building mass are significant and require that the addition be redesigned.

With regard to the street view, staff notes that the proposed second story would be set back approximately 47 feet from the front property line, which is consistent with the recommendation to present a one-story height to the street. Furthermore, there is a mix of one- and two-story homes in the subject neighborhood. A two-story residence would not present substantial compatibility impacts based on the existing neighborhood context. Staff notes that the proposed residence is also compatible with the architectural style of the neighboring residences.

**Building & Roof Form:** Residential Design Guidelines 8.1 through 8.3 state that *"Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roof with low plate lines can be used on two-story buildings."* The Guidelines emphasize using *"restraint"* and *"simplicity"* in building forms, which should not be complicated, and roof lines, which should *"avoid complex forms."*

The proposed residence would include a hipped roof design with a moderate 6:12 pitch, which matches the roof pitch of the existing residence. The proposed addition is architecturally compatible with the existing residence and does not create a complicated building design. Staff notes that the profile and appearance of the original one-story residence would be maintained with the proposed design. Staff supports the overall design of the residence.

**Public ROW:** The City Right-of-Way (ROW) at the front of the property is approximately 14 feet wide between the front property line and edge of pavement along Camino Real. It is unpaved and appears natural. However, there are existing encroachments in the ROW such as the front fence, a wood planter, and a stone wall. Sheet A-1.1 of the plan set includes a note that the encroachments will be removed. A condition has been drafted regarding the encroachments.

**Environmental Review:** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 903-square foot addition an existing 737-square foot residence and 160-square foot garage, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Draft Recommendations/Conditions
- Attachment D – Neighbor Letter
- Attachment E – Project Plans

**Attachment A – Site Photographs**



Project site – Facing west on Camino Real



Project site – Facing south from Jungroth rear deck



**Project Site – Front of residence facing west**



**Project Site – Rear of residence facing east**

## Attachment B – Findings for Concept Acceptance

DS 14-64 (Webster)  
 September 10, 2014  
 Concept Findings  
 Page 1

### **FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)**

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	TBD	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	TBD	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):**

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

**Attachment C – Recommendations/Draft Conditions**

DS 14-64 (Webster)

September 10, 2014

Recommendations/Draft Conditions

Page 1

<b>Recommendations/Draft Conditions</b>		
<b>No.</b>		
1.	The applicant shall provide a landscape plan for final review that includes a provision for one new upper-canopy tree.	
2.	The applicant shall apply for and obtain a Tree Removal Permit for the removal of two non-significant trees prior to final Planning Commission review.	
3.	The applicant shall revise the parking design to construct the 40-square foot addition at the rear of the garage prior to final Planning Commission review.	
4.	The applicant shall include a note on the plan set that the north elevation bathroom window on the second story will include obscure glass for privacy.	
5.	The encroachments at the front of the property shall be removed prior to final building inspection.	



**Marc Wiener**

---

**From:** Sara Jungroth [sarajungroth@gmail.com]  
**Sent:** Wednesday, September 03, 2014 4:57 PM  
**To:** Marc Wiener  
**Subject:** Consideration of Concept Design Study at Camino Real 2 NW of 11th Ave

Marc:

Re: Negative Impact of second story remodel of 2 NW of 11th Camino Real.

This home is our direct neighbor to the south,

We request that the commission consider the impact of a two story addition to our privacy, sunlight and to the 100 year old oak tree on our property. The proposed 24 foot second story addition will block our sun light with a wall located within a three foot set back from our property line. This roof height will block out 50% of our southern exposure of light and Cypress tree view.

A creative architect could locate the second story addition structure to the southern property line with a three foot set back without an impact to the neighbor to the south. Locating the deck addition to the north with a seven foot set back will minimize visual impact on our property and give our neighbor privacy on her deck since there are several trees that separate our current decks.

We would like to see more creative ideas that would lessen the impact of the current plans on our privacy and light. A compromise design would enable our neighbor to build her addition with the least amount of impact on the neighbors.

Thank you for your consideration,

Sara and James Jungroth  
3 NW of 11th Camino Real  
Carmel

**RECEIVED**

SEP - 3 2014

City of Carmel-by-the-Sea  
Planning & Building Dept.

# Webster Residence Renovation

Camino Real 2 NW of 11th Avenue  
Carmel, California 93921

REVISION	No.

CONSULTANT:

**ERIC MILLER ARCHITECTS, INC.**  
157 GRAND suite 106 PACIFIC GROVE, CA 93950  
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

JOB NAME: Webster Residence  
Camino Real 2 NW of 11th Avenue  
Carmel, California  
APN 010-275-008-000

DATE: 8-8-14  
SCALE: AS NOTED  
DRAWN: AD  
JOB NUMBER: 13.23

**A0.1**  
SHEET OF 170

**ABBREVIATIONS**

(E) .....EXISTING  
(N) .....NEW

**OWNERSHIP NOTES**

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**PROJECT TEAM**

**OWNER:** MARTHA K. WEBSTER TRUST  
MAIL: PO BOX 876  
CARMEL, CA 93921  
PH: 415-827-1834  
E-MAIL: marthawebster@msn.com  
**ARCHITECT:** ERIC MILLER ARCHITECTS, INC.  
157 GRAND AVE. SUITE 106  
PACIFIC GROVE, CA 93950  
PH: 831-372-0410 FAX: 831-372-7840  
CONTACT: ALEM DERMICEK  
E-MAIL: alem@ericmillerarch.com  
**SURVEYOR:** LANDSET ENGINEERS, INC.  
520-B CRAZY HORSE CANYON ROAD  
SALINAS, CA 93907  
**CIVIL:** -

**SHEET INDEX**

**ARCHITECTURAL**

A0.1	TITLE SHEET
1 OF 1	TOPOGRAPHIC MAP
A1.0	EXISTING SITE DEMOLITION PLAN
A1.1	PROPOSED SITE PLAN
A2.0	EXISTING PLANS
A2.1	DEMOLITION PLANS
A2.2	PROPOSED FLOOR PLANS
A2.3	PROPOSED ROOF PLAN
A2.4	EXISTING GARAGE PLANS & EXTERIOR ELEVATIONS
A3.0	EXISTING EXTERIOR ELEVATIONS
A3.1	PROPOSED EXTERIOR ELEVATIONS
A3.2	PROPOSED EXTERIOR ELEVATIONS
A4.1	DOOR & WINDOW SCHEDULES

**RECEIVED**  
AUG 14 2014  
City of Carmel-by-the-Sea  
Planning & Building Dept.

**PROJECT DESCRIPTION**

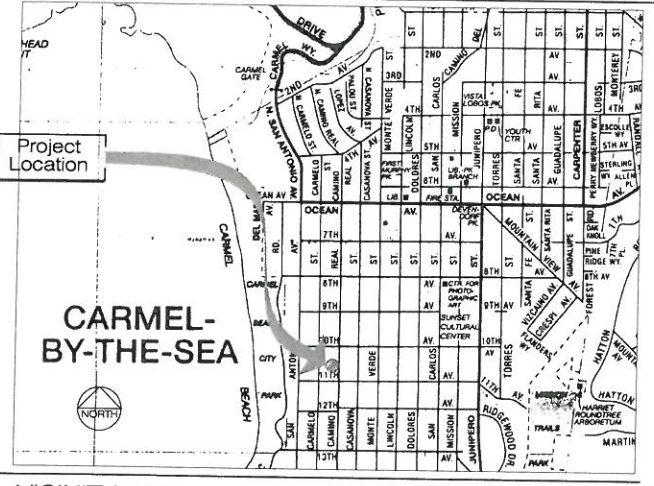
THE EXISTING STRUCTURE IS A ONE STORY, ONE BEDROOM AND ONE BATHROOM RESIDENCE THAT HAS 737 SQ. FT. ALSO, THERE IS A DETACHED GARAGE IN THE BACK YARD OF 160 SQ. FT. THE RESIDENCE WAS CONSTRUCTED IN 1980 AND HAS NO HISTORIC SIGNIFICANCE.  
THE EXTERIOR FINISHES ARE WOOD SIDING, WOOD SHINGLE ROOFING AND STEEL WINDOWS AND WOOD ENTRY DOOR. TWO FRENCH DOORS ACCESSING WOOD DECK IN THE BACK OF THE HOUSE ARE VINYL CLAD DOORS. THESE DOORS WERE PART OF RENOVATION THAT WAS NOT RECORDED WITH THE CITY. CHIMNEY IS FINISHED WITH BRICK VENEER. THE GARAGE CONSIST OF THE SAME MATERIALS AS THE HOUSE. THE HOUSE IS WOOD-FRAMED, CROSS-GABLED MINIMAL TRADITIONAL STYLE RESIDENCE, IRREGULAR IN PLAN, RESTING ON A CONCRETE FOUNDATION.  
RENOVATION CONSISTS OF 400 SQ. FT. ADDITION TO FIRST FLOOR, 463 SQ. FT. ADDITION TO SECOND FLOOR AND 40 SQ. FT. TO GARAGE. THE TOTAL ADDITION IS 903 SQ. FT. ALSO INCLUDED IS AN INTERIOR RENOVATION FOR THE REST OF THE HOUSE. NEW WOOD DECKS ARE PROPOSED FOR BOTH FLOORS; ONE IN THE BACK (WEST) YARD ON THE FIRST FLOOR, AND ANOTHER ONE ON THE SECOND FLOOR FACING SOUTH (LEFT) SIDE YARD. THE PROPOSED RENOVATED RESIDENCE AND GARAGE SIZE IS 1,800 SQ. FT.

**PROJECT DATA**

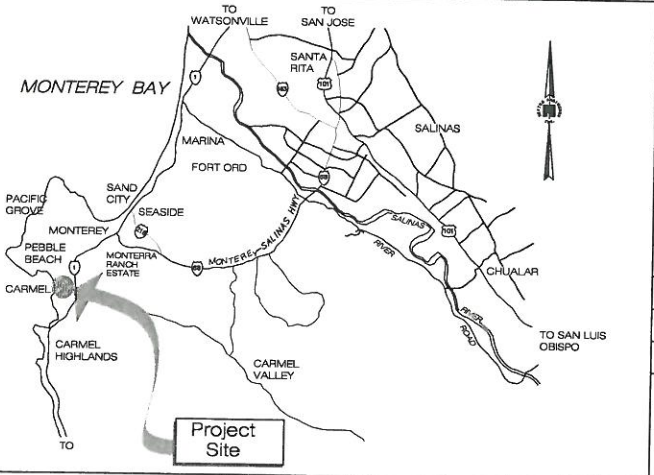
LOT SIZE: 4,000.0 S.F.  
ZONING: R-1  
A.P.N.: 010-275-008-000  
ADDRESS: BLOCK: Q LOT: 17  
OCCUPANCY GROUP: (R-3) FOR HOUSE (U) FOR GARAGE  
TYPE OF CONSTRUCTION: ( V-B )

<b>EXISTING FLOOR AREA</b>			
(E) FIRST FLOOR	737 SF		
(E) GARAGE	160 SF		
(E) SIZE & F.A.R.	897 SF	22%	
<b>PROPOSED ADDITION</b>			
GARAGE ADDITION	40 SF		
FIRST FLOOR ADDITION	400 SF		
SECOND FLOOR ADDITION	463 SF		
TOTAL FLOOR ADDITION	903 SF	23%	
<b>PROPOSED NEW FLOOR AREA</b>			
FIRST FLOOR	1,137 SF		
GARAGE	200 SF		
SECOND FLOOR	463 SF		
PROPOSED (N) FLR AREA TOTAL	1,800 SF	45%	

**LOCATION MAP**



**VICINITY MAP**



SITE CONSIDERATIONS	ALLOWED	EXISTING	PROPOSED
FLOOR AREA	1,800 SF (45%)	897 SF (22%)	1,800 SF (45%)
SITE COVERAGE	396 SF (10%) *	992 SF. (25%)	556 SF. (14%)
	160 SF BONUS (4%)**		
BUILDING HEIGHT	24'	14'	24' MAX
SETBACK	MIN. REQUIRED	EXISTING	PROPOSED
FRONT	15'	14'-8 3/4"	N/A
REAR	15'	47'-3 1/2"	34'
COMPOSITE SIDE YARD	10' (25%)	12' (30%)	12' (30%)
MINIMUM SIDE YARD	3'	2'-10 3/4"	3'-0 3/4"

\* 22% OF BASE FLOOR AREA OR APPROXIMATELY 10% OF SITE AREA  
\*\* TOTAL SITE COVERAGE ALLOWED = 556 SF (SEE A1.2 FOR SITE COVERAGE SUMMARY)

BUILDING FOOTPRINT	1,137 SF
GARAGE FOOTPRINT	200 SF
SITE COVERAGE	556 SF
BLDG/SITE COVERAGE TOTAL	1,893 SF 47%
OPEN SPACE TOTAL	2,107 SF 53%

Half-Size on 12x18

J:\13 Jobs\1323 Webster\ DD\323A0-1.dwg, 8/10/2014 4:40:29 PM

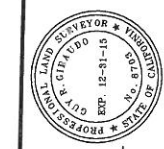
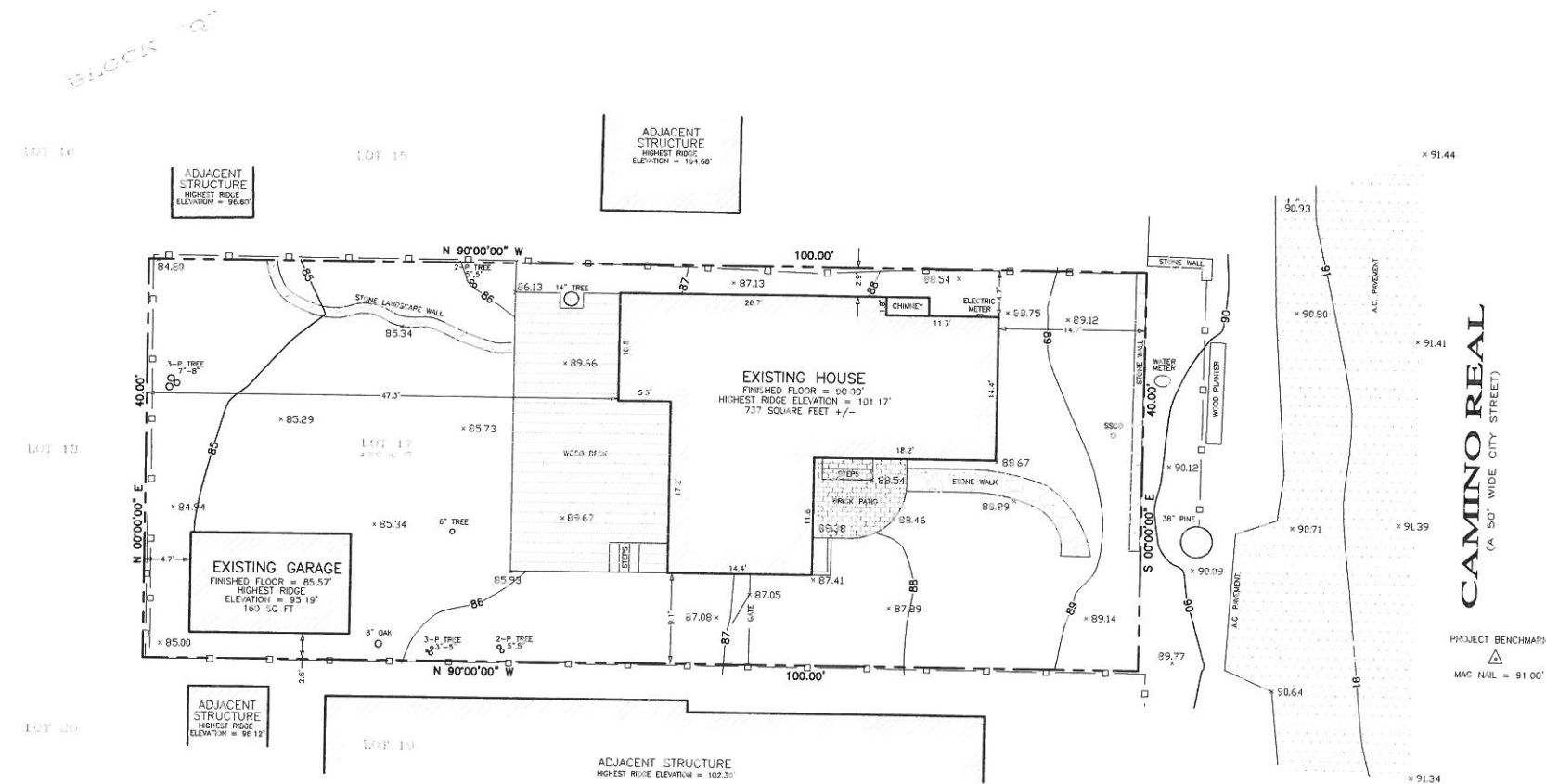
THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF ERIC MILLER ARCHITECTS, INC. IS STRICTLY PROHIBITED. THIS DOCUMENT IS THE PROPERTY OF ERIC MILLER ARCHITECTS, INC. AND IS TO BE KEPT IN CONFIDENCE. IT IS TO BE DESTROYED UPON THE COMPLETION OF THE PROJECT AND NOT REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

**GENERAL NOTES:**

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS A MAG NAIL IN THE A.C. PAVEMENT ON THE EASTERLY SIDE OF CAMINO REAL, ACROSS FROM THE SOUTHERLY PROPERTY LINE. ELEVATION = 91.00', AS SHOWN.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE SIZES ARE MEASURED IN INCHES AT 3 FEET UP FROM THE BASE. TREES SMALLER THAN 4" ARE NOT SHOWN. MULTI PRONG TREES LABELED "X-P".
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (2/12/14) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER, OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

**LEGEND:**

	PROPERTY BOUNDARY LINE		ASPHALT CONCRETE SURFACE
	MAJOR CONTOUR LINE (5' INTERVAL)		WOOD DECK
	MINOR CONTOUR LINE (1' INTERVAL)		STONE SURFACE
	WOOD FENCE		BRICK SURFACE
	SPOT ELEVATION		



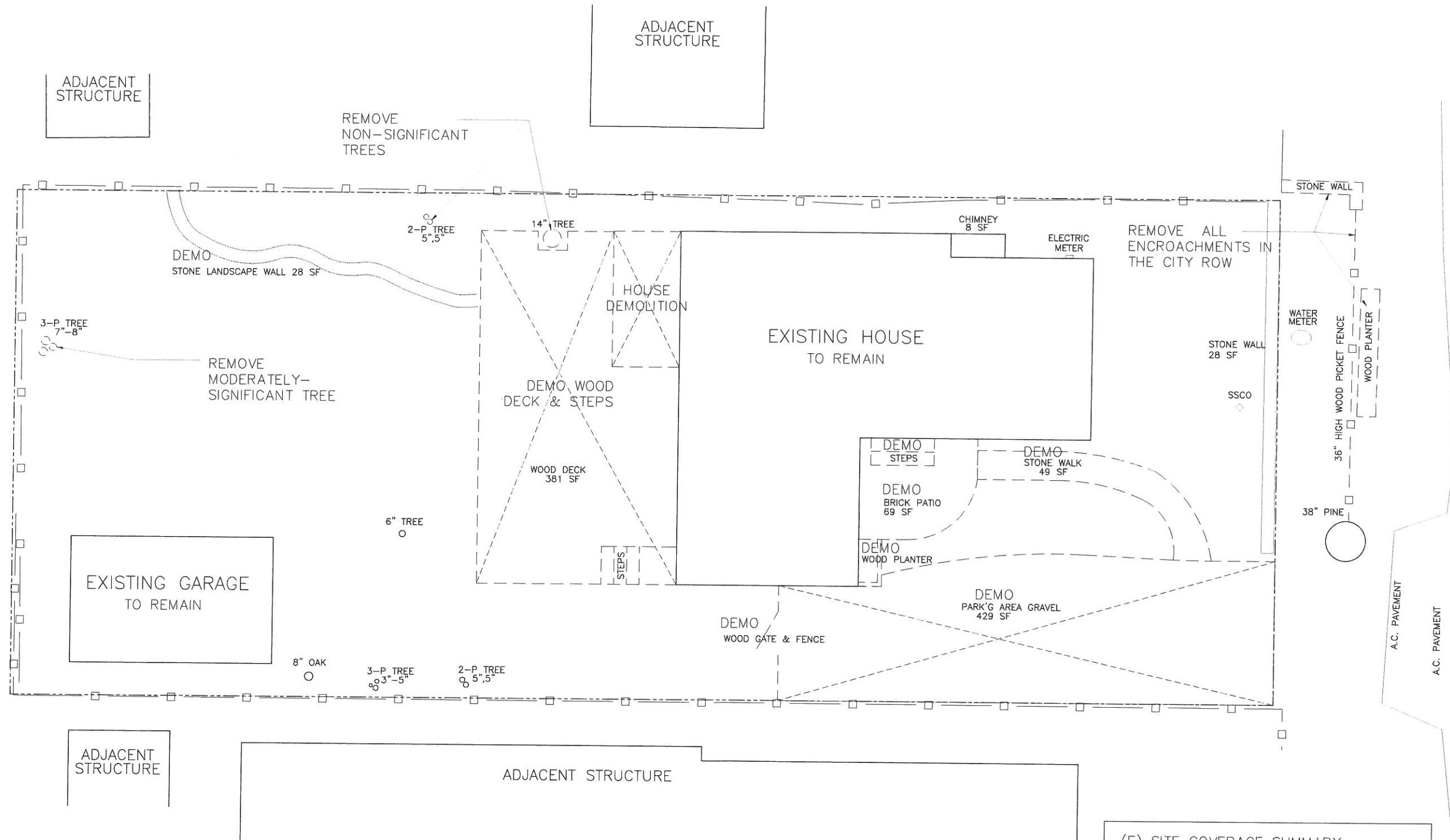
APPROVED BY:  
 GUY R. CIRAUDO  
 P.L.S. No. 8703

**LANDSET**  
 ENGINEERS, INC.  
 ENGINEERING - LAND PLANNING  
 SURVEYING - ENVIRONMENTAL CONSULTING  
 520-B CRAZY HORSE CANYON ROAD, SALINAS, CA 93907

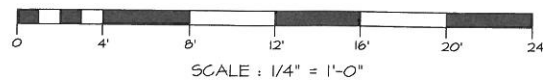
APN 010-275-008  
**TOPOGRAPHIC MAP**  
 OF  
**LOT 17 IN BLOCK "Q"**  
**VOL. 1 OF "CITIES AND TOWNS" AT PAGE 45 1/2**  
 CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA  
 FOR  
 MS. MARTHA WEBSTER

SITE LOCATION: CAMINO REAL 2 NW OF 11TH AVE. CARMEL-BY-THE-SEA, CA			SCALE: 1"=8'
OWNER: MARTHA WEBSTER CAMINO REAL 2 NW OF 11TH AVE. CARMEL-BY-THE-SEA, CA			DATE: FEBRUARY 2014
			JOB NO. 1296-01
No.	DATE	BY	REVISION
	02/14/14	ZJK	RELEASED TO CLIENT
SHEET 1			OF 1 SHEETS

THE SIZE OF SHEET DRAWING AND SPECIFICATIONS IS LIMITED BY THE SPACE AVAILABLE. THE DIMENSIONS OF THE SHEET ARE NOT TO SCALE. THE DIMENSIONS OF THE SHEET ARE NOT TO SCALE. THE DIMENSIONS OF THE SHEET ARE NOT TO SCALE. THE DIMENSIONS OF THE SHEET ARE NOT TO SCALE. THE DIMENSIONS OF THE SHEET ARE NOT TO SCALE.



**(E) SITE DEMOLITION PLAN**



**(E) SITE COVERAGE SUMMARY:**

<b>TO REMAIN-</b>	
STONE WALL-FRONT YARD	28 SF
CHIMNEY	8 SF
<b>TO REMAIN SUBTOTAL</b>	<b>36 SF</b>
<b>TO DEMO-</b>	
STONE WALL-REAR YARD	28 SF
STONE WALK	49 SF
BRICK PATIO	69 SF
WOOD DECK & STAIR	381 SF
GRAVEL DRIVEWAY	429 SF
<b>TO DEMO SUBTOTAL</b>	<b>956 SF</b>
<b>TOTAL (E) SITE COVERAGE</b>	<b>992 SF</b>

REVISION	No.

CONSULTANT:



**ERIC MILLER ARCHITECTS, INC.**  
 157 GRAND suite 106 PACIFIC GROVE, CA 93950  
 PHONE (831)372-9410 • FAX (831)372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

(E) SITE DEMOLITION PLAN

JOB NAME: Webster Residence  
 Camino Real 2 NW of 11th Avenue  
 Carmel, California  
 APN 010-275-008-000

DATE: 8-8-14

SCALE: AS NOTED

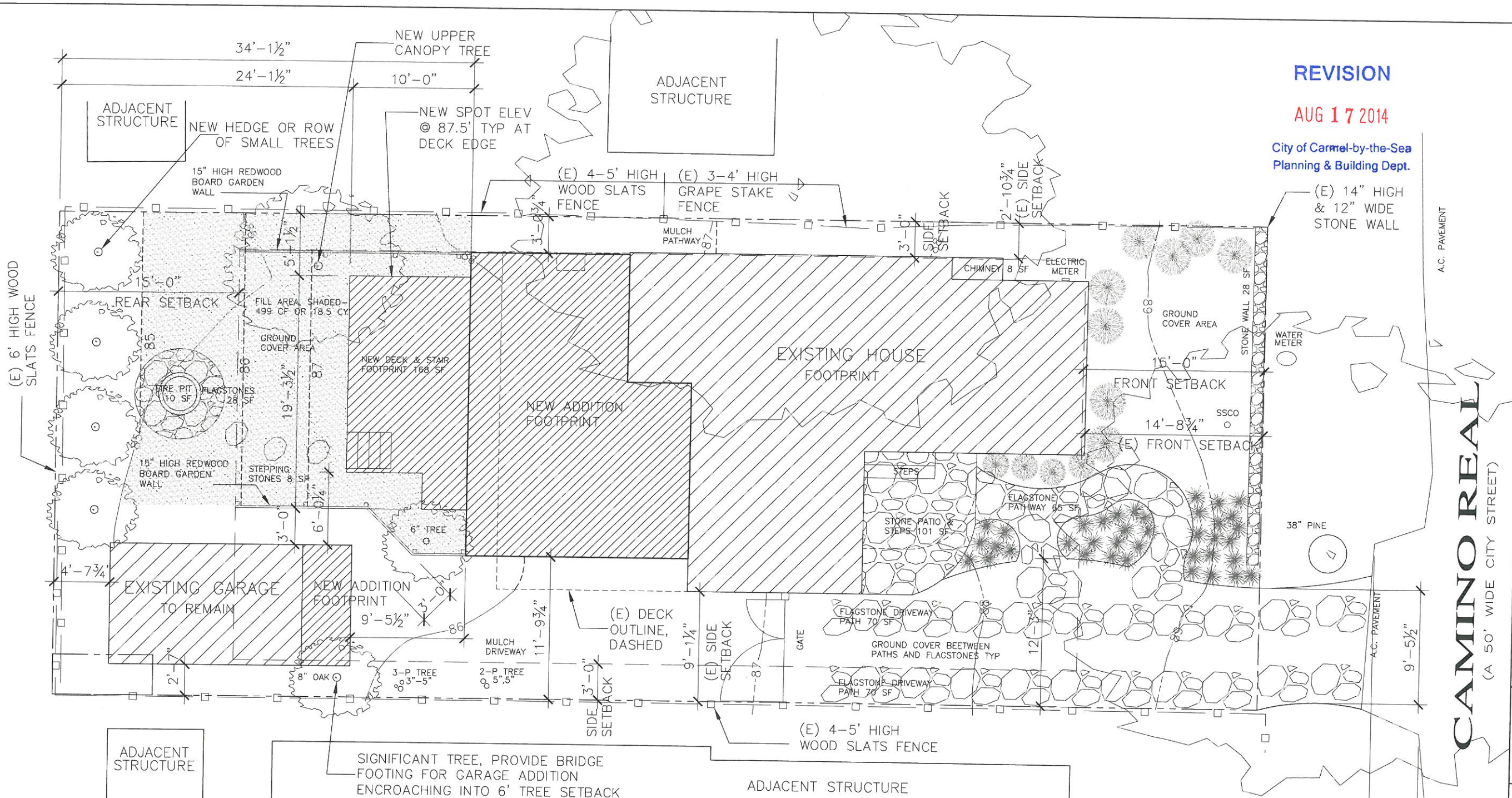
DRAWN: AD

JOB NUMBER: 13.23

**A1.1**  
 SHEET OF

Half-Size on 12x18

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AUG 17 2014

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Planning & Building Dept.

**CAMINO REAL**  
(A 50' WIDE CITY STREET)

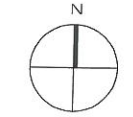
**SITE COVERAGE SUMMARY:**

<b>(E) TO REMAIN-</b>	
STONE WALL-FRONT YARD (IMP)	28 SF
CHIMNEY (IMP)	8 SF
TO REMAIN SUBTOTAL	36 SF
<b>NEW ITEMS-</b>	
FLAGSTONE PATHWAY (S-P)	65 SF
FLAGSTONE DRIVEWAY PATHS (S-P)	140 SF
STONE PATIO (IMP)	101 SF
WOOD DECK & STAIR (PER)	168 SF
FIRE PIT & FLAGSTONES (10SF IMP, 28SF S-P)	38 SF
STEPPING STONES (S-P)	8 SF
NEW ITEMS SUBTOTAL	520 SF

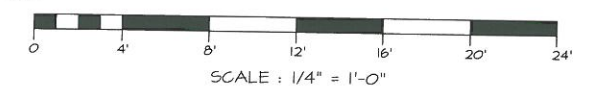
TOTAL SITE COVERAGE	556 SF
ALLOWED 396 SF+160 SF(BONUS) =	556 SF
TOTAL (PER) & (S-P) COVERAGE =	259 SF
(BEFORE BONUS)	
OR 65% OF ALLOWED SITE COVERAGE-	396 SF
(PER) - PERVIOUS	
(IMP) - IMPERVIOUS	
(S-P) - SEMI-PERVIOUS	
FILL QUANTITY = 18.5 CY (SEE SHADED AREA)	
CUT QUANTITY = 0 CY	

**LEGEND :**

- NEW CONTOUR LINE 86
- EXISTING CONTOUR LINE 86
- REMOVED CONTOUR LINE 86

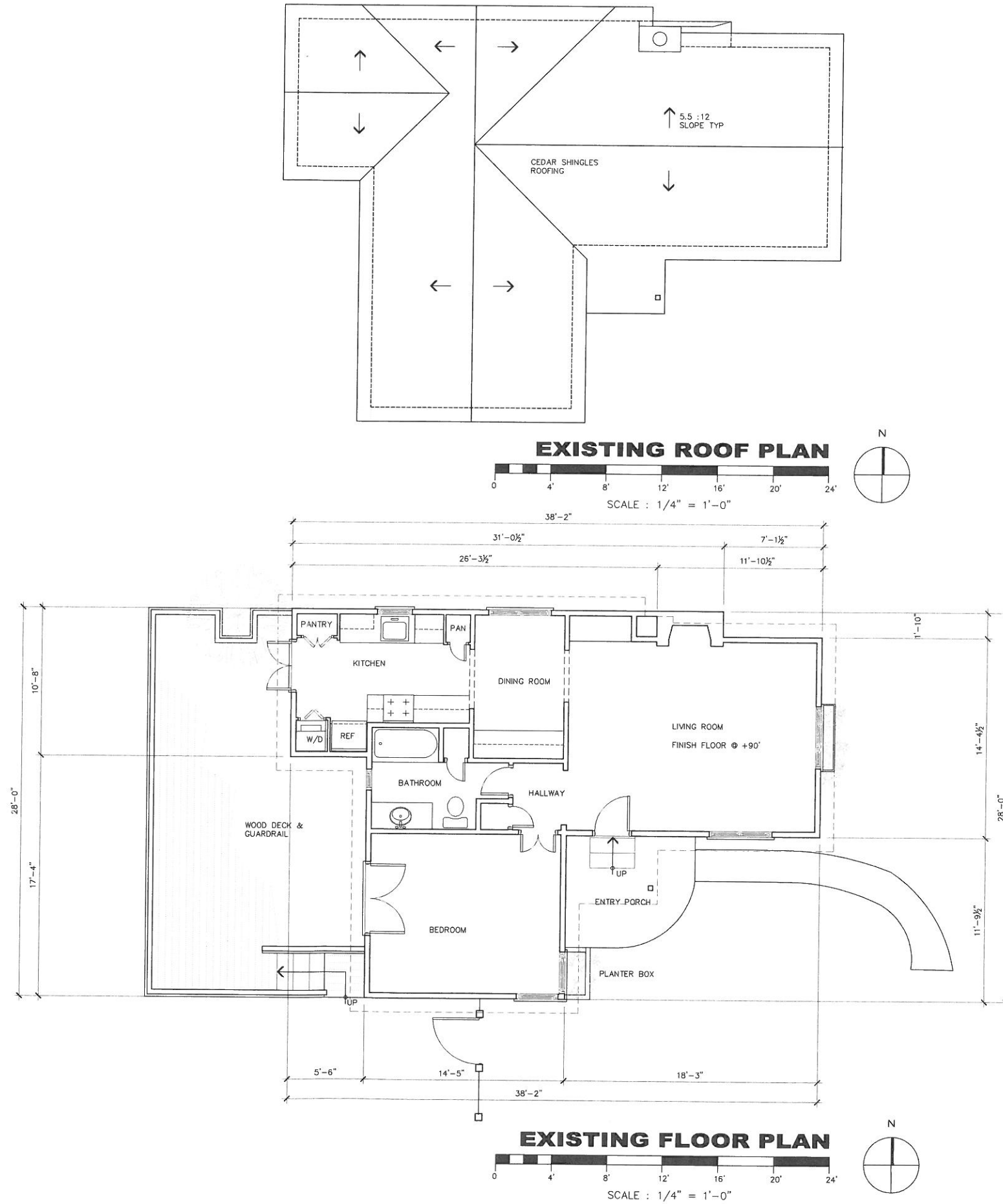


**PROPOSED SITE PLAN**



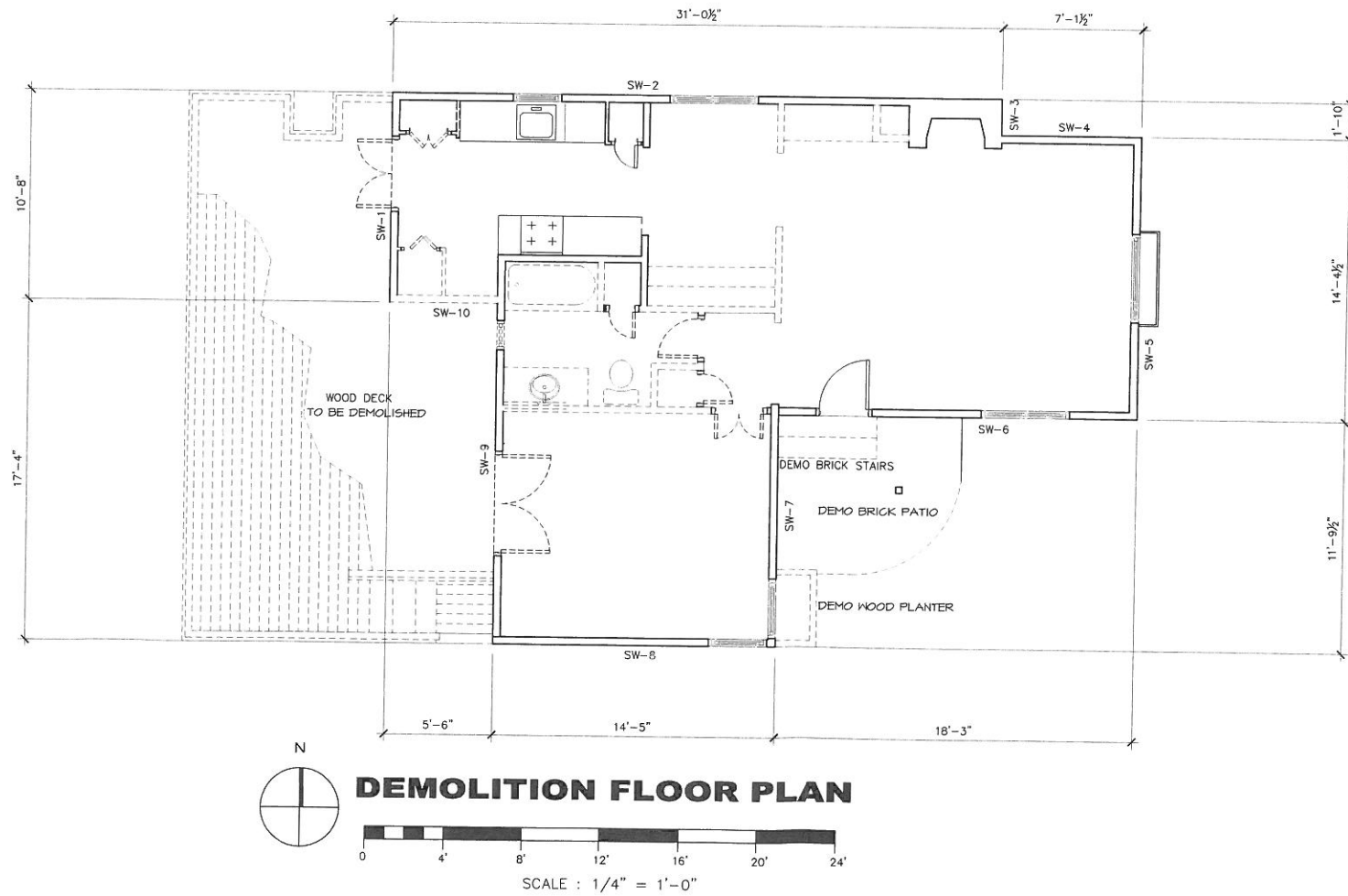
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<p>PROPOSED SITE PLAN</p> <p>JOB NAME: Webster Residence Camino Real 2 NW of 11th Avenue Carmel, California APN 010-275-008-000</p>		
DATE: 8-8-14		
SCALE: AS NOTED		
DRAWN: AD		
JOB NUMBER: 13.23		
<p><b>A1.2</b> 173</p> <p>SHEET OF</p>		

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ARCHITECT	
EXISTING PLANS JOB NAME: Webster Residence Camino Real 2 NW of 11th Avenue Carmel, California APN 010-275-008-000	
DATE:	8-8-14
SCALE:	AS NOTED
DRAWN:	AD
JOB NUMBER:	13.23
<b>A2.0</b> SHEET OF	

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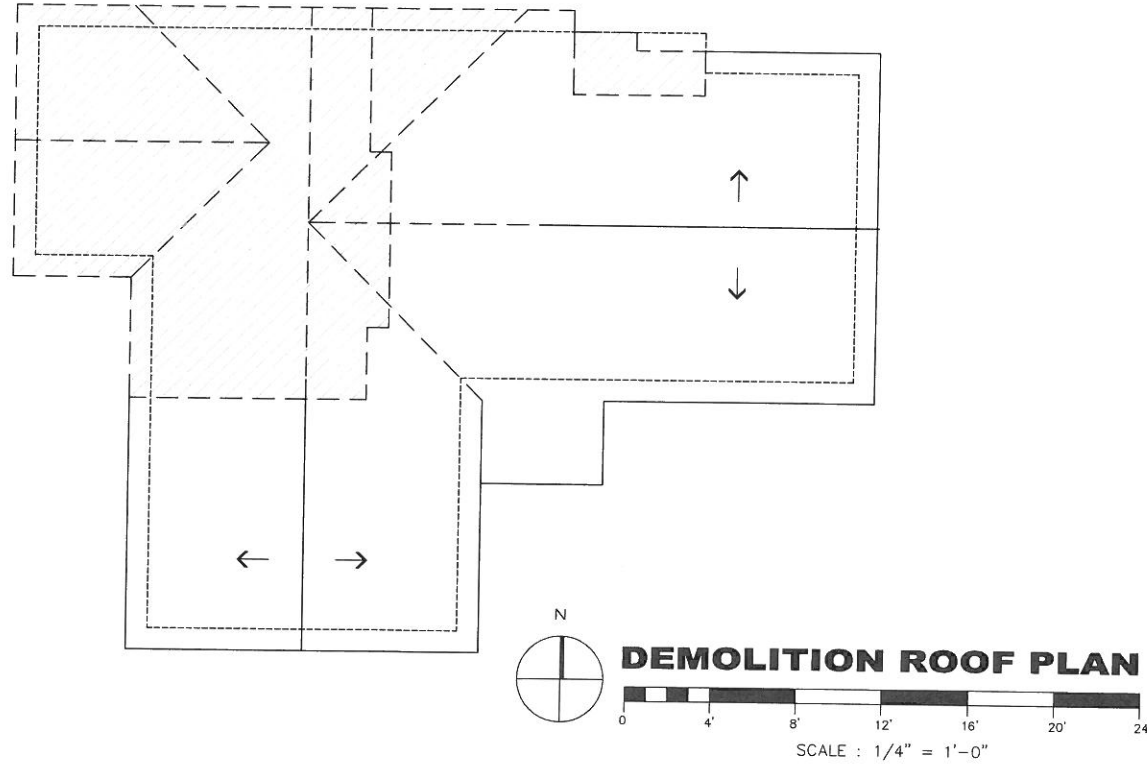


**STRUCTURAL WALL DEMOLITION DATA**

LENGTH OF WALLS TO REMAIN, SW-1 TO SW-9	= 126'-10"
LENGTH OF WALLS TO DEMOLISH, SW-10	= 5'-6" OR 4%

**LEGEND**

	EXISTING WALL TO REMAIN
	DEMO WALLS DOORS & MISC.
	ROOF DEMO



REVISION	No.

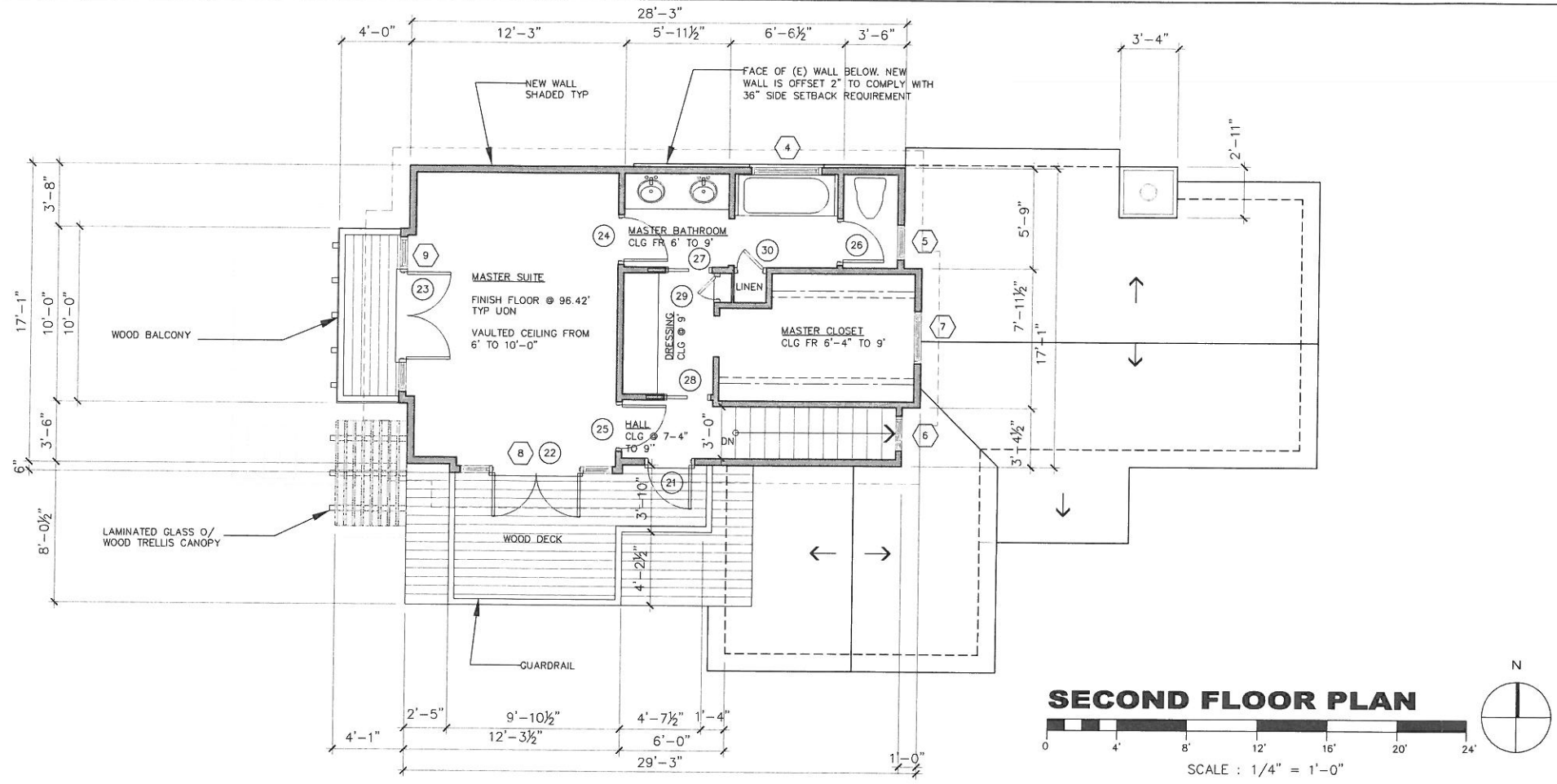
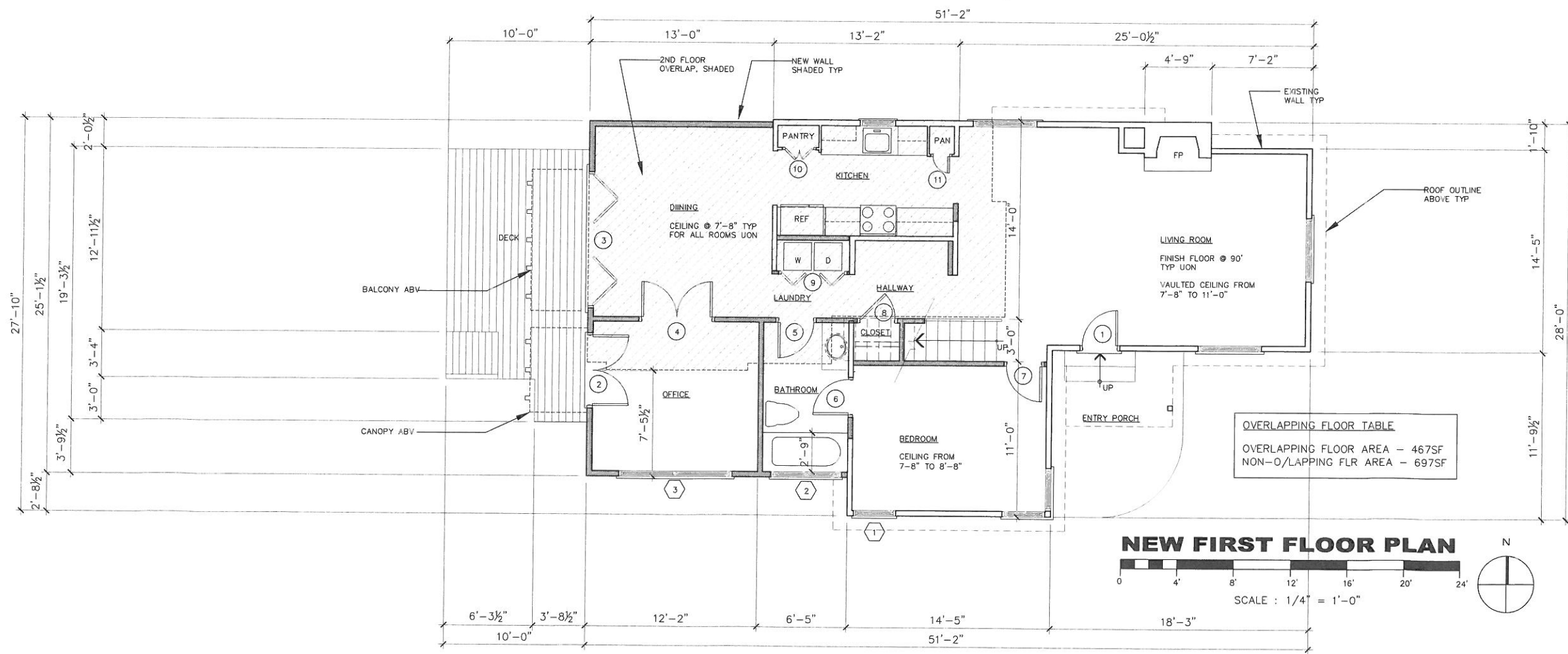
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DEMOLITION PLANS  
 JOB NAME: Webster Residence  
 Camino Real 2 NW of 11th Avenue  
 Carmel, California  
 APN 010-275-008-000

DATE: 8-8-14  
 SCALE: AS NOTED  
 DRAWN: AD  
 JOB NUMBER: 13.23

**A2.1**  
 SHEET OF

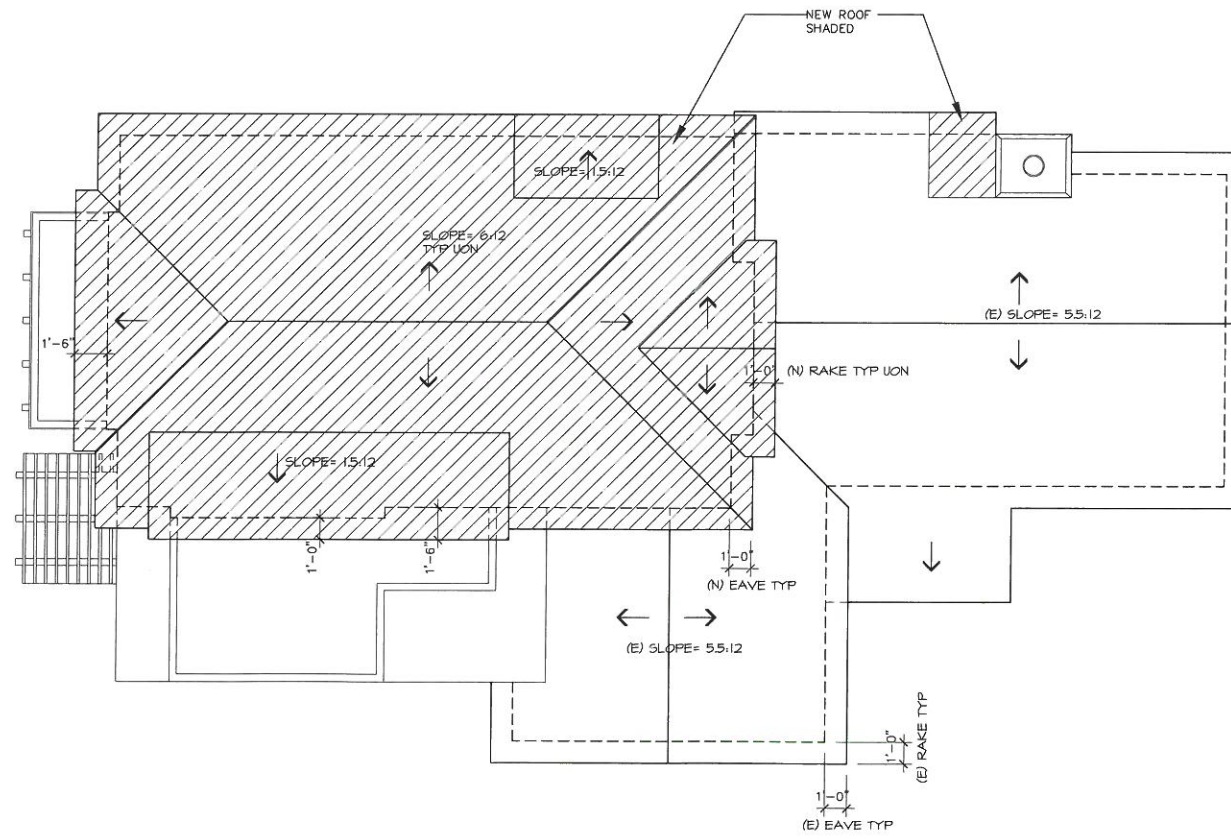
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PROPOSED FLOOR PLANS		
JOB NAME: Webster Residence Camino Real 2 NW of 11th Avenue Carmel, California APN 010-275-008-000		
DATE:	8-8-14	
SCALE:	AS NOTED	
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JOB NUMBER:	13.23	
<b>A2.2</b> SHEET OF 176		



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**NEW ROOF PLAN**



SCALE : 1/4" = 1'-0"



**REVISION**

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Planning & Building Dept.

REVISION	No.

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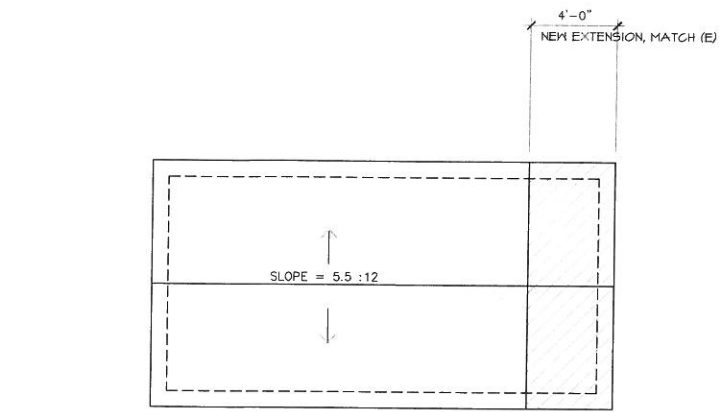
PROPOSED ROOF PLAN

JOB NAME: **Webster Residence**  
 Camino Real 2 NW of 11th Avenue  
 Carmel, California  
 APN 010-275-008-000

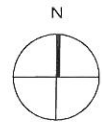
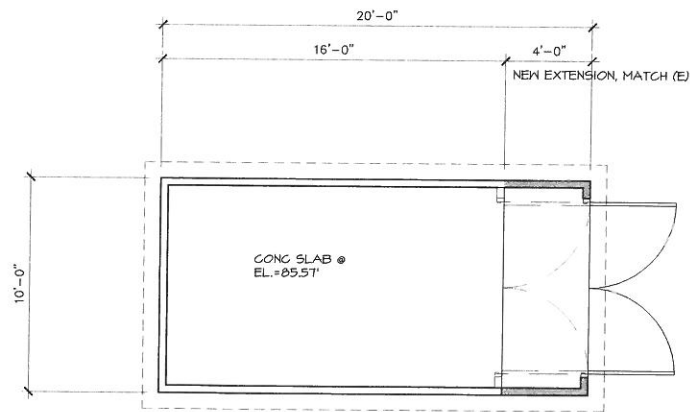
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 JOB NUMBER: 13.23

**A2.3**  
 SHEET OF 177

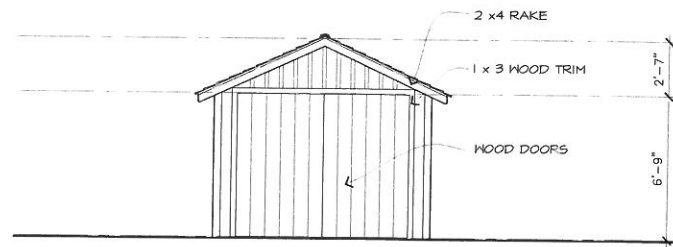
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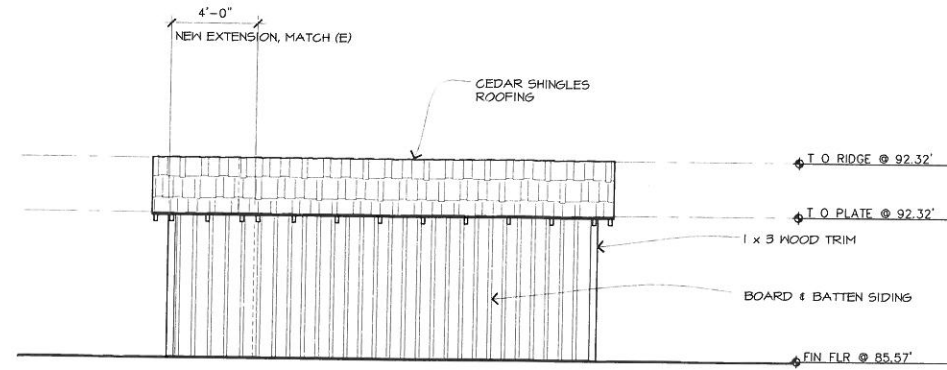
ROOF PLAN



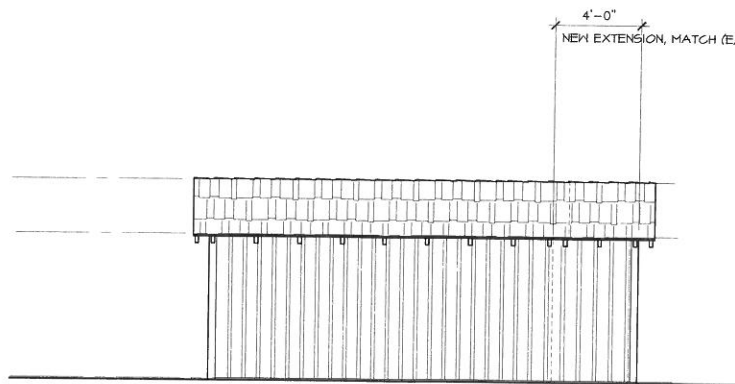
FLOOR PLAN



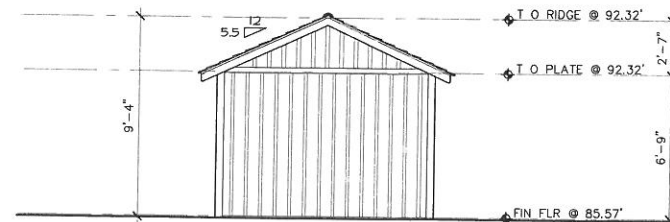
FRONT / EAST



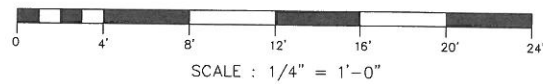
RIGHT SIDE / NORTH



LEFT SIDE / SOUTH



REAR / WEST



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(E) GARAGE PLANS & EXT ELEV

JOB NAME: Webster Residence  
 Camino Real 2 NW of 11th Avenue  
 Carmel, California  
 APN 010-275-008-000

DATE: 8-8-14

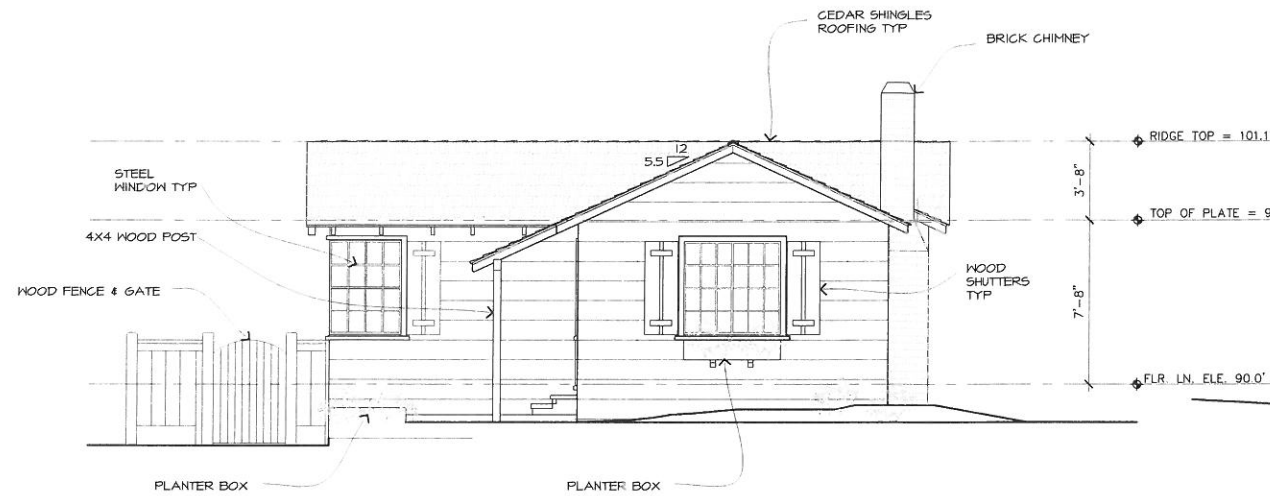
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DRAWN: AD

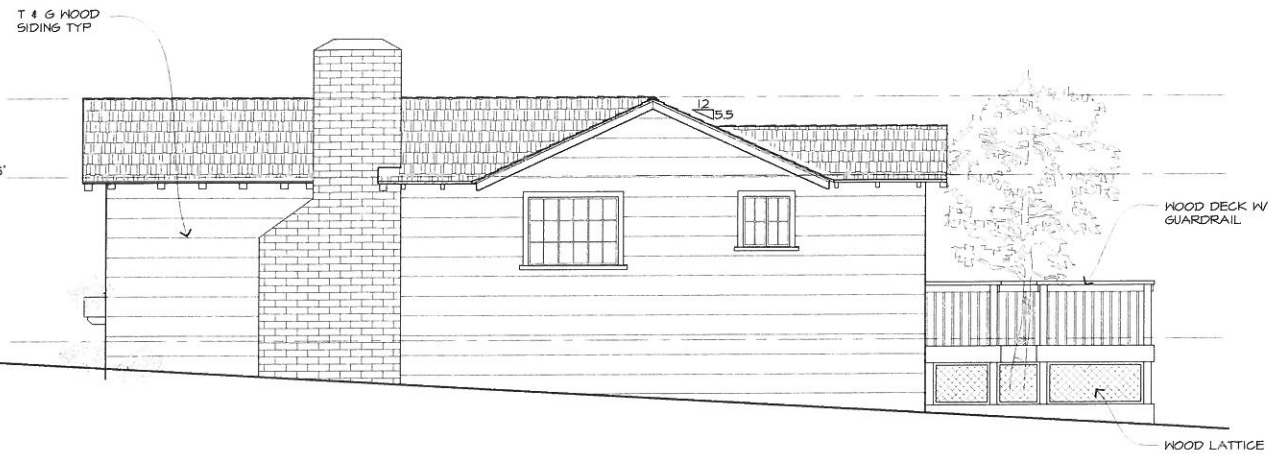
JOB NUMBER: 13.23

**A2.4**  
 SHEET OF

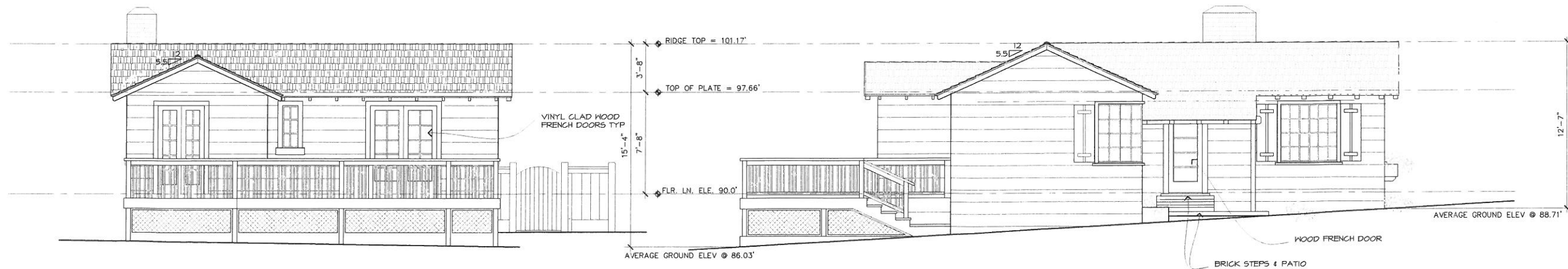
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**FRONT / EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT SIDE / NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR / WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**LEFT SIDE / SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

REVISION	No.

CONSULTANT:

  
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 157 GRAND AVENUE SUITE 106 PACIFIC GROVE, CA 93950  
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ARCHITECT

(E) EXTERIOR ELEVATIONS

JOB NAME: Webster Residence  
 Camino Real 2 NW of 11th Avenue  
 Carmel, California  
 APN 010-275-008-000

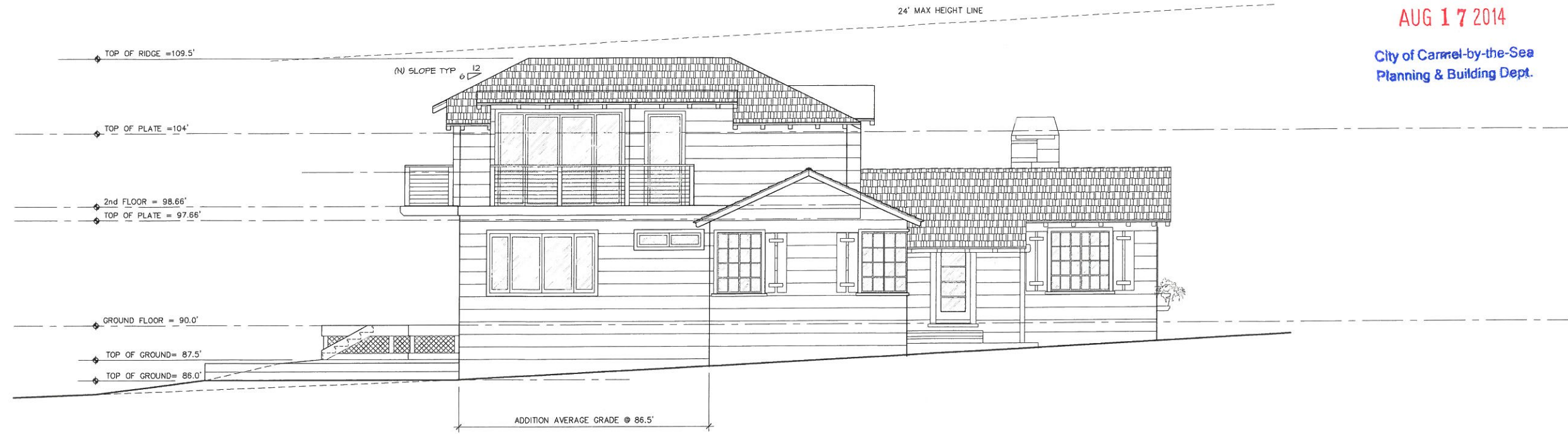
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 JOB NUMBER: 13.23

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SHEET OF

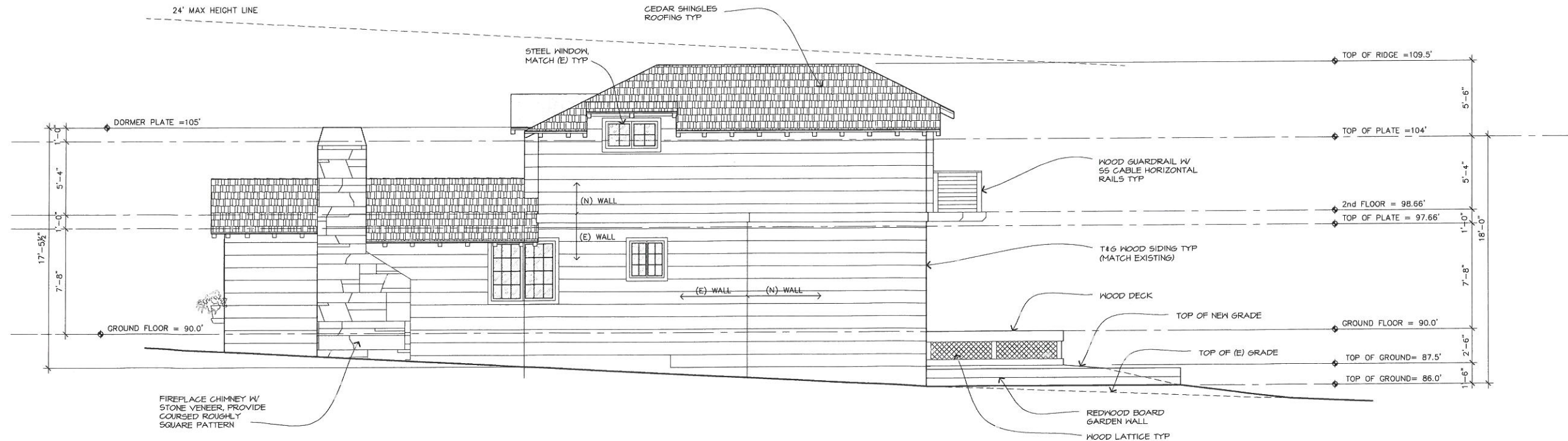
J:\13 Jobs\1323 Webster\1323A3-1.dwg, 8/17/2014 10:35:46 AM

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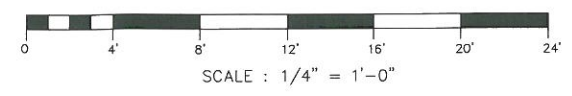
**REVISION**  
**AUG 17 2014**  
 City of Carmel-by-the-Sea  
 Planning & Building Dept.



NOTE: SEE NORTH ELEVATION FOR NOTES AND DIMENSIONS NOT NOTED  
**LEFT SIDE / SOUTH ELEVATION**



**RIGHT SIDE / NORTH ELEVATION**



**SHEET NOTES:**  
 1. ALL ITEMS SHOWN ARE NEW TYPICAL, UNLESS OTHERWISE NOTED.

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CONSULTANT:

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ARCHITECT

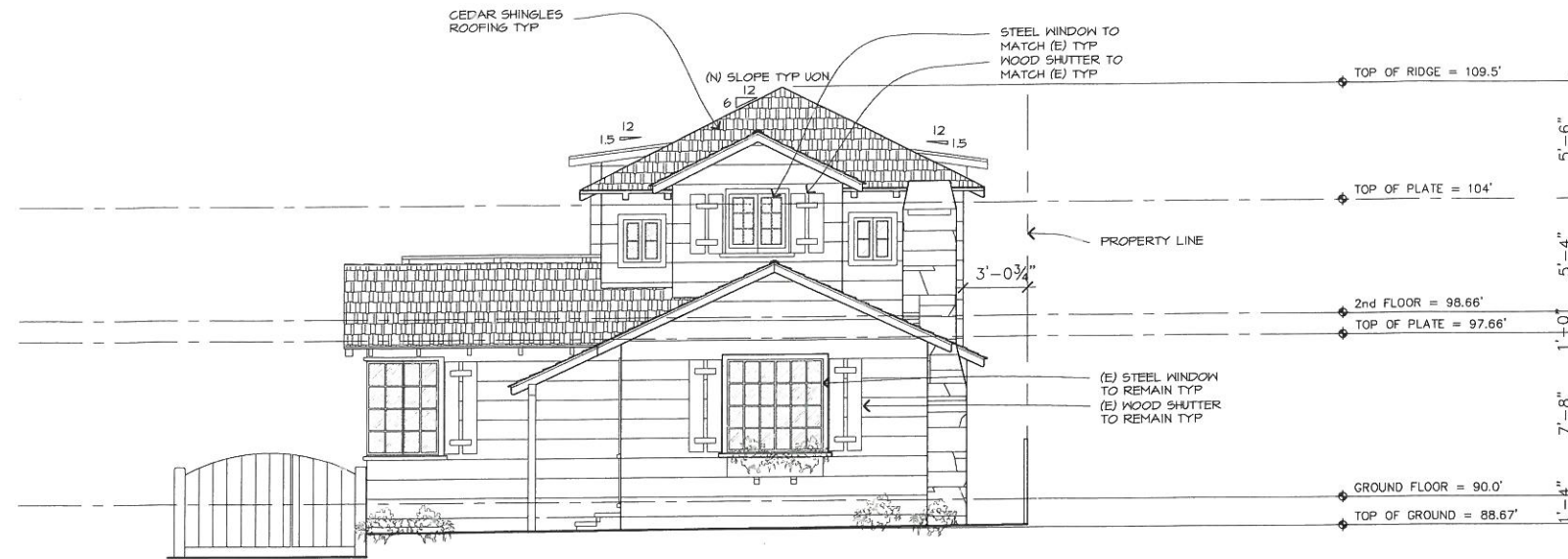
**PROPOSED EXTERIOR ELEVATIONS**

**JOB NAME:** Webster Residence  
 Camino Real 2 NW of 11th Avenue  
 Carmel, California  
**APN 010-2715-008-000**

**DATE:** 8-8-14  
**SCALE:** AS NOTED  
**DRAWN:** AD  
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**A3.1**  
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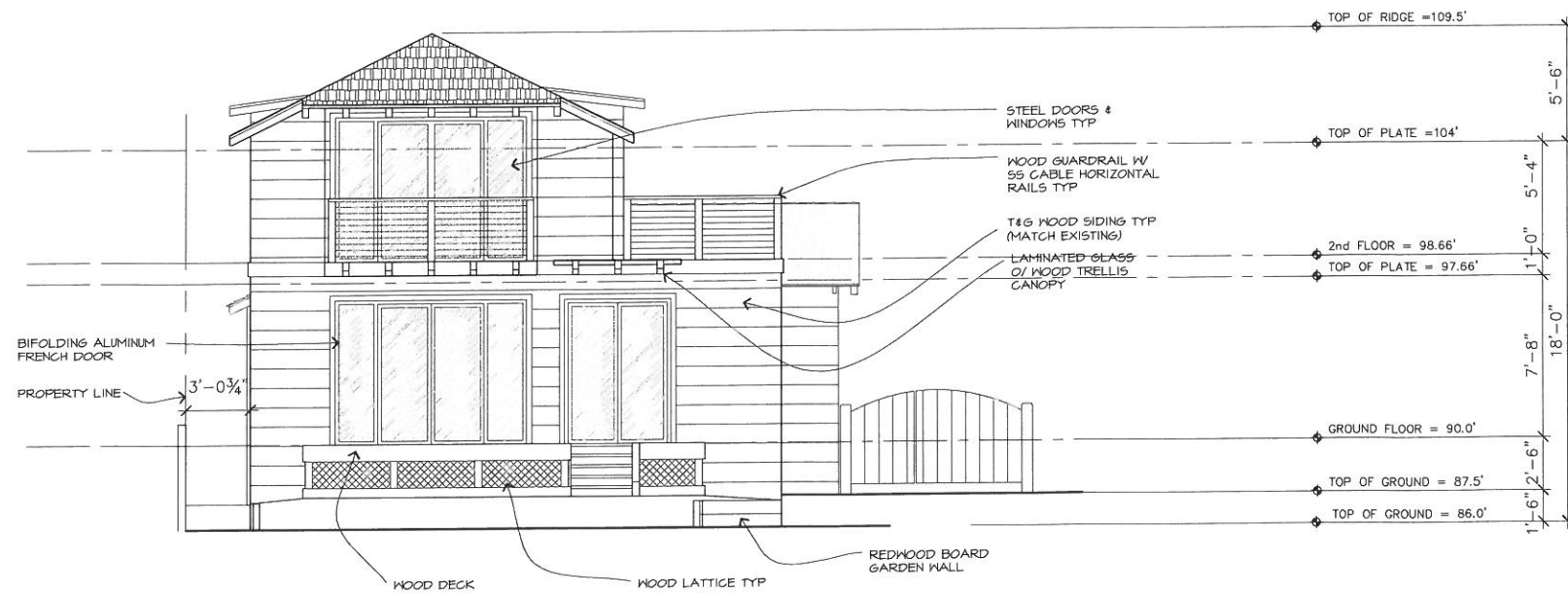


**FRONT / EAST ELEVATION**

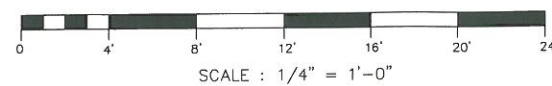
**REVISION**

**AUG 17 2014**

City of Carmel-by-the-Sea  
Planning & Building Dept.



**REAR / WEST ELEVATION**



**SHEET NOTES:**  
1. ALL ITEMS SHOWN ARE NEW TYPICAL, UNLESS OTHERWISE NOTED.

REVISION	No.

CONSULTANT:

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PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

**PROPOSED EXTERIOR ELEVATIONS**  
JOB NAME: **Webster Residence**  
Camino Real 2 NW of 11th Avenue  
Carmel, California  
APN 010-275-008-000

DATE: 8-8-14  
SCALE: AS NOTED  
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JOB NUMBER: 13.23

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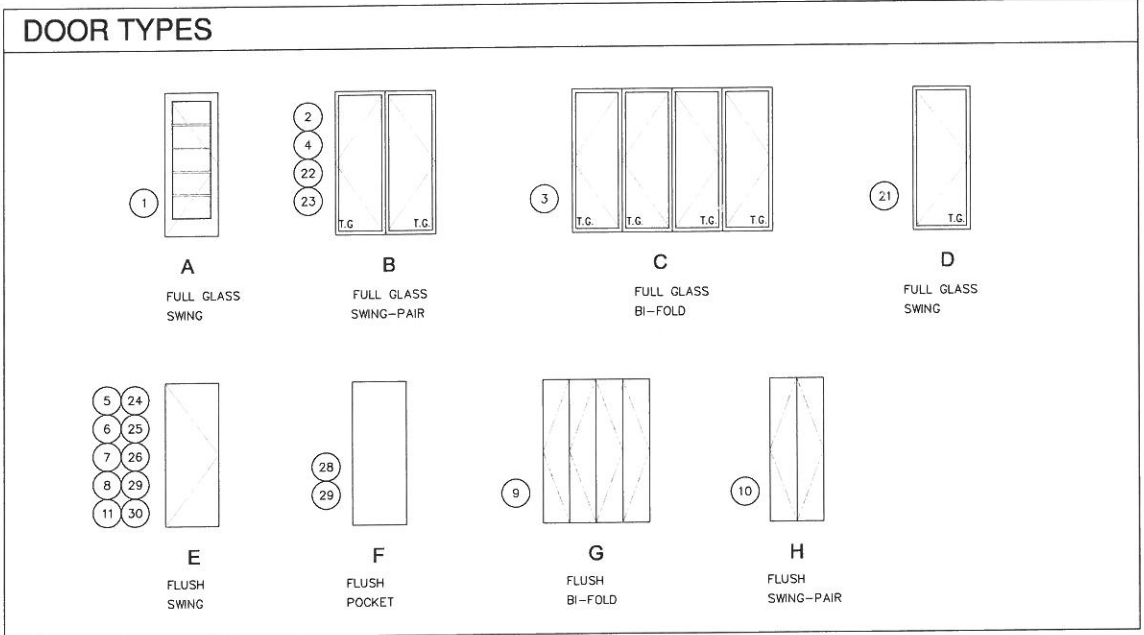
DOOR SCHEDULE											
DOOR NO.	TYPE	SIZE WIDTH x HEIGHT	LOCATION	THKNS.	DOOR MAT.	FRAME MAT.	HEAD DETAIL	JAMB DETAIL	THRSHD DETAIL	REMARKS	
FIRST FLOOR											
1	A	2'-8" x 6'-8"	LIVING ROOM	1-3/4"	SC WOOD	WOOD	-	-	-		
2	B	5'-0" x 6'-8"	OFFICE	1"	STEEL	STEEL	-	-	-		
3	C	9'-4" x 6'-8"	DINING ROOM	1-1/4"	ALUM	ALUM	-	-	-		
4	B	5'-0" x 6'-8"	OFFICE	1"	STEEL	STEEL	-	-	-		
5	E	2'-6" x 6'-8"	BATHROOM	1-3/4"	SC WOOD	WOOD	-	-	-		
6	E	2'-6" x 6'-8"	BATHROOM	1-3/4"	SC WOOD	WOOD	-	-	-		
7	E	2'-6" x 6'-8"	BEDROOM	1-3/4"	SC WOOD	WOOD	-	-	-		
8	E	2'-6" x 6'-8"	CLOSET	1-3/8"	HC WOOD	WOOD	-	-	-		
9	G	4'-6" x 6'-8"	LAUNDRY	1-3/8"	HC WOOD	WOOD	-	-	-		
10	H	2'-6" x 6'-8"	PANTRY	1-3/8"	HC WOOD	WOOD	-	-	-		
11	E	1'-6" x 6'-8"	PANTRY	1-3/8"	HC WOOD	WOOD	-	-	-		
SECOND FLOOR											
21	D	2'-6" x 6'-8"	HALL	1"	STEEL	STEEL	-	-	-		
22	B	5'-0" x 6'-8"	MASTER SUITE	1"	STEEL	STEEL	-	-	-		
23	B	5'-0" x 6'-8"	MASTER SUITE	1"	STEEL	STEEL	-	-	-		
24	E	2'-6" x 6'-8"	MASTER SUITE	1-3/4"	SC WOOD	WOOD	-	-	-		
25	E	2'-6" x 6'-8"	MASTER SUITE	1-3/4"	SC WOOD	WOOD	-	-	-		
26	E	2'-6" x 6'-8"	TOILET	1-3/4"	SC WOOD	WOOD	-	-	-		
27	F	2'-6" x 6'-8"	DRESSING	1-3/8"	HC WOOD	WOOD	-	-	-		
28	F	2'-6" x 6'-8"	DRESSING	1-3/8"	HC WOOD	WOOD	-	-	-		
29	E	1'-6" x 6'-8"	DRESSING	1-3/8"	HC WOOD	WOOD	-	-	-		
30	E	1'-6" x 6'-8"	LINEN	1-3/8"	HC WOOD	WOOD	-	-	-		

ABBREVIATIONS:  
 SC- SOLID CORE  
 HC- HOLLOW CORE  
 ALUM- ALUMINUM

### DOOR NOTES

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.:

- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- PROVIDE WEATHERSTRIPPING FOR ALL EXTERIOR DOORS.
- ALL WOOD DOORS SHALL BE SOLID CORE.
- ALL DOOR GLAZING TO BE TEMPERED.
- REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
- REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS NOT LESS THAN 4% OF AREA'S BEING VENTED.

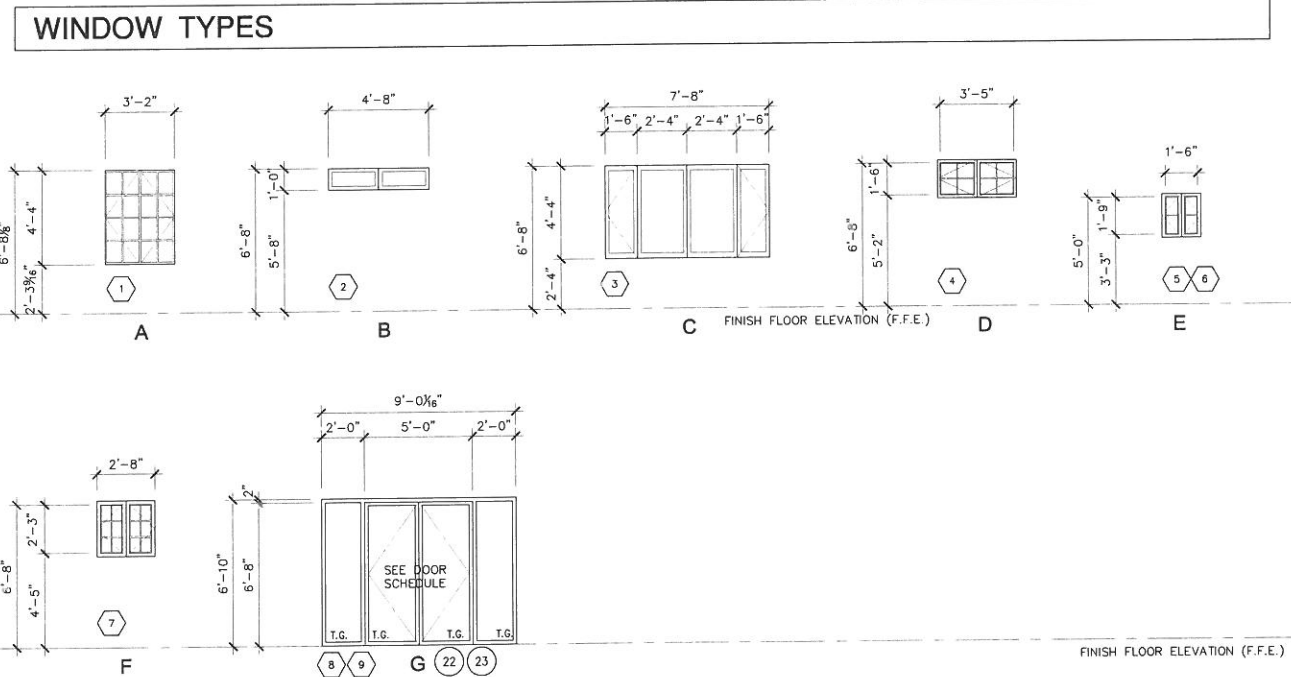


WINDOW SCHEDULE										
W.D.W. NO.	TYPE	SIZE W x H	ROOM NUMBER	ROOM NAME	GLAZING	FRAME MAT.	STYLE	WINDOW DETAILS	REMARKS	
					HEAD	JAMB	SILL			
1	A			BEDROOM	SINGLE	STEEL	CSM	-	-	MATCH EXISTING
2	B			BATHROOM	SINGLE	STEEL	SLIDER	-	-	
3	C			OFFICE	SINGLE LAM.	STEEL	CSM	-	-	
4	D			MASTER BATHROOM	SINGLE	STEEL	HOPPER	-	-	
5	E			TOILET	SINGLE	STEEL	CSM	-	-	
6	E	SEE WINDOW TYPES		HALL/STAIR	SINGLE	STEEL	FIXED	-	-	
7	F			CLOSET	SINGLE	STEEL	CSM	-	-	
8	G			MASTER SUITE	SINGLE LAM.	STEEL	FIXED-AWNING	-	-	TEMPERED GLASS
9	G			MASTER SUITE	SINGLE LAM.	STEEL	FIXED-AWNING	-	-	TEMPERED GLASS

### WINDOW NOTES

ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.:

- EGRESS WINDOWS SHALL HAVE SILL HEIGHT AT 44" A.F.F. MAXIMUM.
- METAL WINDOWS UNLESS OTHERWISE NOTED.
- ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CRC, SECTION R308.3. ALL INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE REQUIREMENTS OF CPSC 16, CFR 1201 OR ANSIZ 97.1.
- SEE WINDOW TYPES ON THIS PAGE FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CRC R303 AND EGRESS PER CRC R310.
- ALL WINDOW GLAZING SHALL BE LOW-E.
- CONTACT ARCHITECT, OWNER & INTERIOR DESIGNER FOR SPECIFICATION & APPLICATION, PRIOR TO MANUFACTURING.
- ALL STOREFRONT CHANNELS TO BE PAINTED STEEL.



REVISION	No.

**ERIC MILLER ARCHITECTS, INC.**  
 157 GRAND suite 106 PACIFIC GROVE, CA 93950  
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

**DOOR & WINDOW SCHEDULES**  
 JOB NAME: Webster Residence  
 Camino Red 2 NW of 11th Avenue  
 Carmel, California  
 APN 010-275-008-000  
 DATE: 8-8-14  
 SCALE: AS NOTED  
 DRAWN: AD  
 JOB NUMBER: 13.23

**A4.1**  
 SHEET OF



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

September 10, 2014

**To:** Chair Reimers and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director *RM*

**Submitted by:** Marc Wiener, Senior Planner

**Subject:** Consideration of Concept Design Study (DS 14-43) and associated Coastal Development Permit application for the construction of a new residence located in the Single-Family Residential (R-1), Park Overlay (P), and Beach and Riparian (BR) Overlay Zoning Districts

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**Recommendation:**

Accept the Conceptual Design Study (DS 14-64) and the associated Coastal Development Permit subject to the attached findings and recommendations/draft conditions

<b>Application:</b> DS 14-43	<b>APN:</b> 010-302-015
<b>Location:</b> Scenic Road 1 SE of 9 <sup>th</sup> Ave	
<b>Block:</b> A-2	<b>Lots:</b> 2 & 3
<b>Applicant:</b> Eric Miller, Architect	<b>Property Owner:</b> John and Jaque Jarve

**Background and Project Description:**

The project site is located on Scenic Road one parcel southeast of Ninth Avenue. The site is developed with a 3,182-square foot residence that is clad with vertical wood siding. The residence has an upper level and a partially sub-grade lower level. There is a 100-square foot "Highway Easement" at the front of the property that has been deducted out of the buildable site area. A Preliminary Determination of Historic Ineligibility was issued by the Community Planning and Building Department on September 4, 2014.

The applicant has submitted plans to demolish the existing residence and construct a new two-level residence. The proposed residence would be 2,631 square feet in size, which includes 1,901 square feet on the upper main level and 730 square feet in the lower basement level. The basement level includes a one-car garage and two bedrooms. There is a 264-square foot sub-grade patio/light-well area proposed at the front (west) side of the two bedrooms that can

be accessed through both bedrooms and includes stairs for egress. The applicant is proposing a 6-foot wide planter with 6-inch high stone walls that is at the top of the sub-grade patio and is located in front yard. Staff has conferred with the City's Building Official and determined that the proposed planter would likely eliminate the need for a guardrail around the sub-grade patio.

The proposed residence is designed with contemporary style architecture and includes a combination of glass, stucco, stone, and a copper standing-seam metal roof. A colored three-dimensional rendering is included with the plan set in Attachment E. As depicted in the rendering, the residence would include a substantial amount of glass.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass, and scale related to the project. In addition, staff also has included an analysis of the proposed architectural style.

<b>PROJECT DATA FOR THE RECONFIGURED 5,302-SQUARE FOOT SITE:</b>			
<b>Site Considerations</b>	<b>Allowed</b>	<b>Existing</b>	<b>Proposed</b>
Floor Area	2,215 sf (41.7%)*	3,182 sf (60%)	2,631 sf (49.6%)** 1,901 sf 1 <sup>st</sup> - floor 505 sf basement 225 sf garage-basement
Site Coverage	556 sf (13.9%)	1,285 sf (24.8%)	695 sf (13.9%)
Trees (upper/lower)	4/3 trees (recommended)	2/2 trees	2/2 trees
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18 ft.	28 ft.	17 ft.
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12 ft./18 ft.	N/A	12 ft.
<b>Setbacks</b>	<b>Minimum Required</b>	<b>Existing</b>	<b>Proposed</b>
Front	15 ft.	18 ft.	16 ft.
Composite Side Yard	20 ft. (25%)	23 ft. (28.7%)	9 ft. (11.2%)
Minimum Side Yard	3 ft.	3 ft.	3 ft.
Rear	3 ft. (1st-story)	3 ft.	3 ft.
*Includes the deduction of 100 square feet of buildable area for a road easement			
**Include 730-square foot basement bonus			



**Staff analysis:**

**Architectural Style:** Residential Design Guideline 9.0 states an objective to “*promote diversity of architectural styles that are also compatible with the village-in-a-forest context*” and notes that “*a design that creates individual character while also maintaining compatibility with the character of the neighborhood, is encouraged*” and “*a design that incorporates innovation and the use of skilled workmanship is encouraged.*”

In staff’s opinion, the proposed new residence complies with the guideline objectives of promoting architectural diversity, individual character, and innovation in design. The proposed residence may also be compatible with several other homes along Scenic Road that are designed with a large amount of glazing and contemporary style architecture. However, staff is concerned that the proposed design may conflict with other guideline objectives, such as Guideline 9.12, which states that “*large picture windows facing the street are discouraged*” and Guideline 9.8, which discourages the use of metal roofs. The Commission should consider whether the proposed design is appropriate and consistent with the objectives of the City’s Residential Design Guidelines.

**Forest Character:** Residential Design Guidelines 1.1 through 1.4 encourage maintaining “*a forested image on the site*” and for new construction to be at least six feet from significant trees.

The site contains two upper-canopy Monterey cypress trees, one of which is classified as a significant. The City Forester has not yet evaluated whether any additional trees should be planted on site. A recommendation from the City Forester will be included for the final Planning Commission review.

The applicant is proposing to remove a total of six non-significant trees and shrubs from the property. A condition has been drafted requiring the applicant to obtain a Tree Removal Permit prior to final Planning Commission Review.

**Privacy & Views:** Residential Design Guidelines 5.1 through 5.3 set forth objectives to: “*maintain privacy of indoor and outdoor spaces in a neighborhood*” and “*organize functions on a site to preserve reasonable privacy for adjacent properties*” and “*maintain view opportunities.*”

The proposed new residence would be approximately 3 feet lower than the existing residence and is therefore unlikely to create new view impacts to neighboring properties. The street

elevation on Sheet A-3.3 of the plan set includes a profile of the existing building for comparison to the proposed building.

With regard to privacy, staff has some concerns with the potential privacy impacts that could be created by the large amount of glass. The majority of the glass would be located at the front of the residence, making it unlikely to impact the privacy of the adjacent residences to the side and rear of the project site. However, the large amount of glass creates a lack of privacy on the front elevation for both the resident and the public.

Staff notes that the existing residence also contains a large amount of glass on the front elevation, but the glass is tinted. The Commission could condition the approval of this Design Study with a requirement for tinted glass to enhance privacy. The applicant has also indicated the intent to use an electronically controlled opaque glass system. The Planning Commission has previously reviewed a similar proposal for skylights, which has been referred to as smart-glass. Some concerns with this proposal are that it could give the residence a bright white appearance. In addition, the glass is controlled by the property owner and there is no assurance that it will be used. The applicant intends to discuss the product at the meeting and has indicated that there could be alternative color options other than white for glass.

**Mass & Bulk:** Residential Design Guidelines 7.1 through 7.6 encourage a building's mass to relate *"to the context of other homes nearby"* and to *"minimize the mass of a building as seen from the public way or adjacent properties."* Further, these guidelines state that *"a building should relate to a human scale in its basic forms."*

The proposed new residence would appear low in scale and is smaller than the existing residence that is intended to be demolished. Staff notes that the residence would be 2,631 square feet in size; however, 730 square feet would be located below grade and qualifies as basement space.

**Building & Roof Form:** Residential Design Guidelines 8.1 through 8.3 state that *"Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roof with low plate lines can be used on two-story buildings."* The Guidelines emphasize using *"restraint"* and *"simplicity"* in building forms, which should not be complicated, and roof lines, which should *"avoid complex forms."*

The proposed residence would include a hipped roof design with a shallow 2:12 pitch. The overall building and roof forms appear visually interesting, but are not overly complicated. Staff supports the overall footprint and layout of the residence; however, the Commission should consider the proposed architectural style.

**Garage & Driveway:** Design Guideline 6.1 states that *“garages that are subordinate design elements...and not visible to the street are encouraged.”* Design Guideline 6.7 states that *“in limited circumstances a garage may be located under a structure when the visual impacts will be minimized”* and *“the driveway may not dominate the front garden and may not create a ramp effect or introduce tall or massive retaining walls.”*

The property slopes up from the street with the proposed residence located above the street grade. The proposed design places the garage below the residence, with the floor of the garage located approximately 5 feet below the street grade. The driveway requires retaining walls that would be at a maximum of 7 feet near the front of the garage. Staff notes that the existing residence has a partially sub-grade garage located at the approximately same location, as do several other residences along Scenic Road.

As proposed, the garage would appear subordinate to the main residence as encouraged by the guidelines. In staff’s opinion the proposal to place the garage below the residence is appropriate for the topography of the property. The alternative would be to locate the garage at the same elevation as the main residence.

**Setbacks:** The composite side-yard setback is the sum of the two side-yard setback and must equal 25% of the lot width. The subject property has a composite setback requirement of 20 feet. Staff notes that the majority of the residence meets this requirement; however, there is one small area of the building that has a composite setback of only 9 feet. A condition has been drafted requiring the applicant to correct this issue prior to final Planning Commission review.

In addition, the applicant is proposing a 6-foot wide planter with a 6-inch high wall, which would be located in the front-yard setback. Staff notes that walls are permitted in the front-yard setback and therefore the proposed planter design is permissible. Furthermore, the proposed planter will eliminate the need for a guardrail around the sub-grade patio/light well and will include landscaping.

**Public ROW:** The edge of Scenic Road is at the front property line. There is currently landscaping at the front of the property that provides a buffer from the road as shown in the photograph included as Attachment A. The applicant has indicated the intent to install new landscaping in this area, which will be reviewed at the final Planning Commission review.

**Alternatives:** Staff has included draft findings that the Commission can adopt if the Commission accepts the overall design concept, including the architectural style of the building. However, if the Commission does not support the design, then the Commission could continue the application with specific direction given to the applicant.

***Environmental Review:*** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – Construction or modification of a limited number of new or existing small structures. The proposed new residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Draft Recommendations/Conditions
- Attachment D – Applicant Letter
- Attachment E – Project Plans

**Attachment A – Site Photographs**



**Project site – Facing northeast on Scenic Road**



**Project site – Facing southeast on Scenic Road**

## Attachment B – Findings for Concept Acceptance

DS 14-43 (Jarve)  
 September 10, 2014  
 Concept Findings  
 Page 1

<b>FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)</b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	TBD	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	TBD	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):**

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

**Attachment C – Recommendations/Draft Conditions**

DS 14-43 (Jarve)

September 10, 2014

Recommendations/Draft Conditions

Page 1

<b>Recommendations/Draft Conditions</b>		
<b>No.</b>		
1.	The applicant shall apply for and obtain a Tree Removal Permit for the removal of the six non-significant trees prior to final Planning Commission review.	
2.	The applicant shall revise the design to meet the composite setback requirement.	





ERIC MILLER  
ARCHITECTS

July 8, 2014

Mr. Marc Wiener  
Senior Planner  
City of Carmel Planning & Building Department  
POB Drawer G  
Carmel, CA 93921

REVISION

JUL 9 2014

City of Carmel-by-the-Sea  
Planning & Building Dept.

Re: Scenic Road 1 SE of 9<sup>th</sup> Avenue  
Blk A-2, Lots 2 & 3; APN: 010-302-015

Dear Mr. Wiener,

The lot at Scenic Road and 9<sup>th</sup> Avenue has an existing two-story wood framed residence with a lower level one car garage. The proposed demolition includes the whole house, paving, wood landscape steps, gates and wood shed. The property line fences will remain and new gates will be added to the side yards.

The new house proposed for the site will be a one story contemporary home with basement and sloped driveway to a basement garage. The building height will be significantly lower than the existing house and scaled to be consistent with the adjacent homes in that neighborhood. The flat roofs and basement with lower level patios make it possible to propose a roof height significantly lower than the maximum allowable height. The house is sited to protect existing Cypress trees, rights-of-way, neighbors' views and privacy.

The elegant detailing of stone and stucco will complement existing homes in the neighborhood. The low sloping patina copper roof will blend with colors of the natural environment for the neighbors' views over the house. The eaves and visible wood on the project will be mahogany. The viewing windows and glass guardrails facing the ocean view are consistent with multiple homes along Scenic, including the existing house to be demolished. The site walls with terraced planting beds will screen the lower level spaces from Scenic Road views while adding privacy to the basement spaces.

Sincerely,

Eric Miller, AIA

# JARVE RESIDENCE

## SCENIC 1 SE OF 9TH CARMEL-BY-THE-SEA, CA 93921

REVISION	No.
REVISION 6/20/14	
REVISION 7/2/14	

CONSULTANT:

**RECEIVED**  
AUG 29 2014  
City of Carmel-by-the-Sea  
Planning & Building Dept.

**ERIC MILLER ARCHITECTS, INC.**  
157 GRAND AVENUE SUITE 106 PACIFIC GROVE, CA 93950  
PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

ARCHITECT

**COVER SHEET**

JOB NAME: Jarve Residence  
Scenic 1 S/E of 9th,  
Carmel-by-the-Sea, CA 93921  
A.P.N.: 010-302-015

DATE:	4/22/14
SCALE:	N.T.S.
DRAWN:	CJM
JOB NUMBER:	19.20

A-0.1

SHEET OF

### OWNERSHIP NOTES

**OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:**

1. TITLE AND ALL COPYRIGHT PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.

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### TREE REMOVAL

NINE TREES ARE PROPOSED FOR REMOVAL, INCLUDING (2) 2" TREES, (2) 6" TREES, (1) 12" TREE, (1) 12" PINE AND (1) 5-FRAME TREE

### PROJECT INFORMATION

**OWNER:** JOHN AND JACQUE JARVE  
71 FLOOR CIRCLE  
ATHERTON, CA 94027

**ADDRESS:** SCENIC 1 SE OF 9TH AVENUE  
BLOCK A-2, LOTS 2 & 3

**ARCHITECT:** ERIC MILLER ARCHITECTS, INC.  
157 GRAND AVENUE, SUITE 106  
PACIFIC GROVE, CA 93950

### PROJECT DATA

**PROJECT DESCRIPTION:**  
DEMOLITION OF EXISTING HOUSE, DECKS AND PAVING. PROPOSED CONSTRUCTION OF NEW ONE-STORY RESIDENCE WITH BASEMENT, 3 BEDROOMS, 3-1/2 BATHS, 1-CAR GARAGE IN THE BASEMENT, AND RETAINING WALLS.

**ADDRESS:** SCENIC 1 SE OF 9TH AVENUE  
CARMEL-BY-THE-SEA, CA 93928

**LOT SIZE:** 5,202 S.F. - 100 S.F. = 5,202 S.F.

**ZONING:** R-4 DISTRICT

**BLOCK:** A-2

**LOTS:** 2 & 3

**A.P.N.:** 010-302-015-000

**OCCUPANCY GROUP:** (R) FOR HOUSE AND (U) FOR GARAGE

**TYPE OF CONSTRUCTION:** (V-B)

SETBACKS	ALLOWED	PROPOSED
FRONT	5.0' MIN.	5.0'
SIDES	25% OF SITE WIDTH (MIN. 5 FEET)	5.0' MIN, 20.0' TOTAL
REAR	5.0' MIN.	5.0'
MAX. BUILDING HEIGHT	18'-0"	12'-6 1/4"
MAXIMUM ALLOWED F.A.R.	2.216 S.F. ABOVE GRADE	2.825 S.F. IV BASEMENT
MAXIMUM ALLOWED SITE COVERAGE	649.60 S.F.	645.00 S.F.

### EXISTING FLOOR AREA

FIRST FLOOR	1,465.0 S.F.
BASEMENT	722.5 S.F.
GARAGE - BASEMENT	442.0 S.F.
<b>TOTAL EXISTING FLOOR AREA :</b>	<b>5,182.5 S.F.</b>
STAIRWELL - FIRST FLOOR	88.5 S.F.
STAIRWELL - BASEMENT	88.5 S.F.
<b>TOTAL STAIRWELL AREA :</b>	<b>177.0 S.F.</b>

### PROPOSED FLOOR AREA

FIRST FLOOR	1,401.0 S.F.
BASEMENT	809.0 S.F.
GARAGE - BASEMENT	225.0 S.F.
<b>TOTAL PROPOSED FLOOR AREA :</b>	<b>2,691.0 S.F.</b>
STAIRWELL - FIRST FLOOR	148.0 S.F.
STAIRWELL - BASEMENT	236.0 S.F.
<b>TOTAL STAIRWELL AREA :</b>	<b>484.0 S.F.</b>

### EXISTING SITE COVERAGE

DRIVEWAY	267.0 S.F.
CONCRETE WALKS / PATIOS	866.0 S.F.
SITE WALLS / CURBS	54.0 S.F.
WOOD SHED / UTILITIES	56.0 S.F.
WOOD STEPS	37.0 S.F.
<b>TOTAL EXISTING SITE COVERAGE :</b>	<b>1,280.0 S.F.</b>
ELEVATED WOOD DECK :	178.6 S.F.

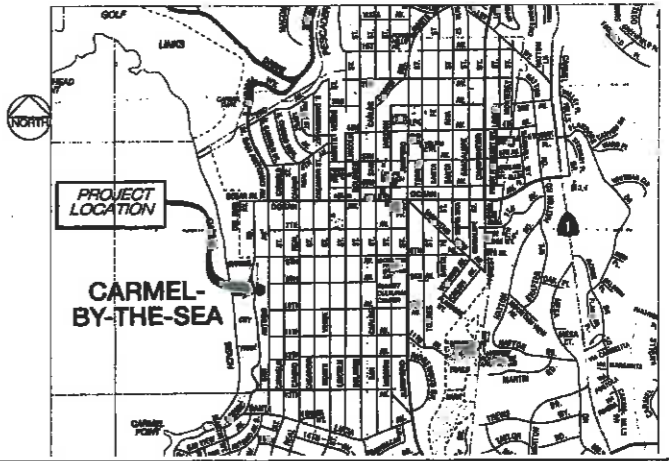
### PROPOSED SITE COVERAGE

<b>PERVIOUS COVERAGE:</b>	
DRIVEWAY	160.0 S.F.
PAVED PATHWAYS	159.0 S.F.
DECKS/PLANTERS	129.0 S.F.
<b>TOTAL PERVIOUS COVERAGE :</b>	<b>429.0 S.F.</b>
<b>IMPERVIOUS COVERAGE:</b>	
STEPS/LANDINGS	55.0 S.F.
SITE WALLS	14.0 S.F.
FIRE TABLE AREA	54.0 S.F.
SFA	44.0 S.F.
<b>TOTAL IMPERVIOUS COVERAGE :</b>	<b>272.0 S.F.</b>
<b>TOTAL PROPOSED SITE COVERAGE :</b>	<b>645.0 S.F.</b>

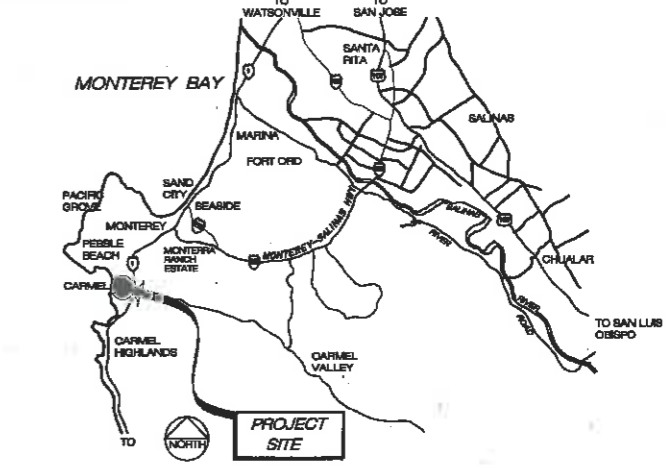
### SHEET INDEX

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A-1.2	PROPOSED SITE PLAN
A-2.1	PROPOSED FIRST FLOOR PLAN
A-2.2	PROPOSED BASEMENT FLOOR PLAN
A-2.3	PROPOSED ROOF PLAN
A-2.4	PROPOSED FLOOR AREA DIAGRAM
A-3.1	PROPOSED EXTERIOR ELEVATIONS
A-3.2	PROPOSED EXTERIOR ELEVATIONS
A-3.3	STREET ELEVATIONS
A-4.1	PROPOSED DOOR SCHEDULE
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CIVIL	
C-1	PRELIMINARY GRADING AND DRAINAGE PLAN
C-2	PRELIMINARY EROSION CONTROL & DETAILS

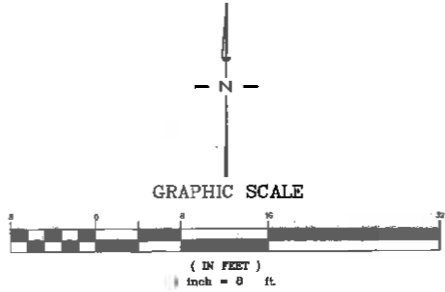
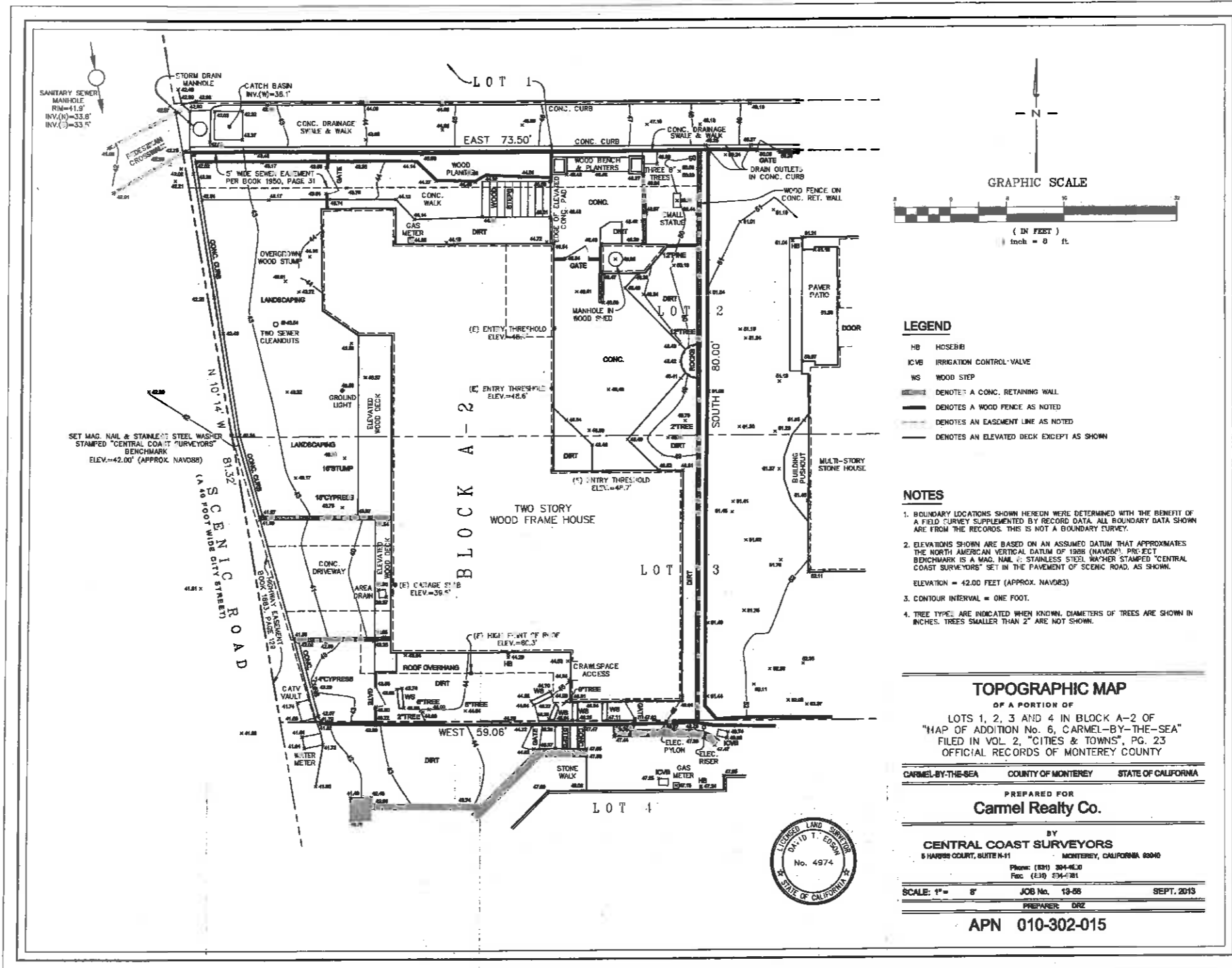
### LOCATION MAP



### VICINITY MAP



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- LEGEND**
- HB HOSEBIB
  - ICV IRRIGATION CONTROL VALVE
  - WS WOOD STEP
  - DENOTES A CONC. RETAINING WALL
  - DENOTES A WOOD FENCE AS NOTED
  - DENOTES AN EASEMENT LINE AS NOTED
  - DENOTES AN ELEVATED DECK EXCEPT AS SHOWN

- NOTES**
1. BOUNDARY LOCATIONS SHOWN HEREIN WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
  2. ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE PAVEMENT OF SCENIC ROAD, AS SHOWN. ELEVATION = 42.00 FEET (APPROX. NAVD83)
  3. CONTOUR INTERVAL = ONE FOOT.
  4. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 2" ARE NOT SHOWN.

**TOPOGRAPHIC MAP**  
 OF A PORTION OF  
 LOTS 1, 2, 3 AND 4 IN BLOCK A-2 OF  
 "MAP OF ADDITION No. 6, CARMEL-BY-THE-SEA"  
 FILED IN VOL. 2, "CITIES & TOWNS", PG. 23  
 OFFICIAL RECORDS OF MONTEREY COUNTY

CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR  
**Carmel Realty Co.**

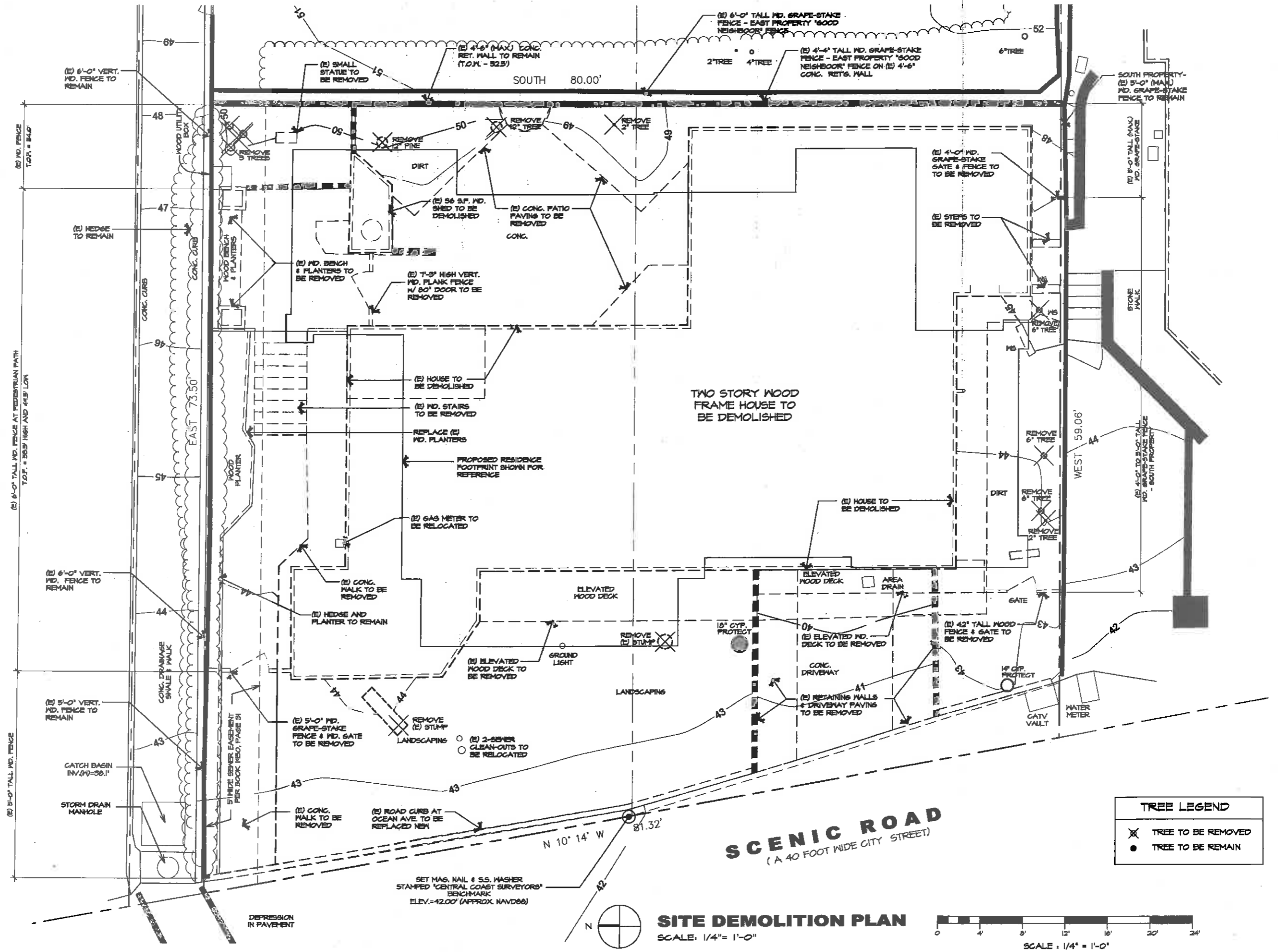
BY  
**CENTRAL COAST SURVEYORS**  
 5 HANCOCK COURT, SUITE 111 MONTEREY, CALIFORNIA 93940  
 Phone: (831) 394-4630  
 Fax: (831) 394-7381

SCALE: 1" = 5' JOB No. 13-05 SEPT. 2013  
 PREPARED BY DRZ

**APN 010-302-015**



Vellum Original



REVISION	No.
7/08/14	

CONSULTANT:

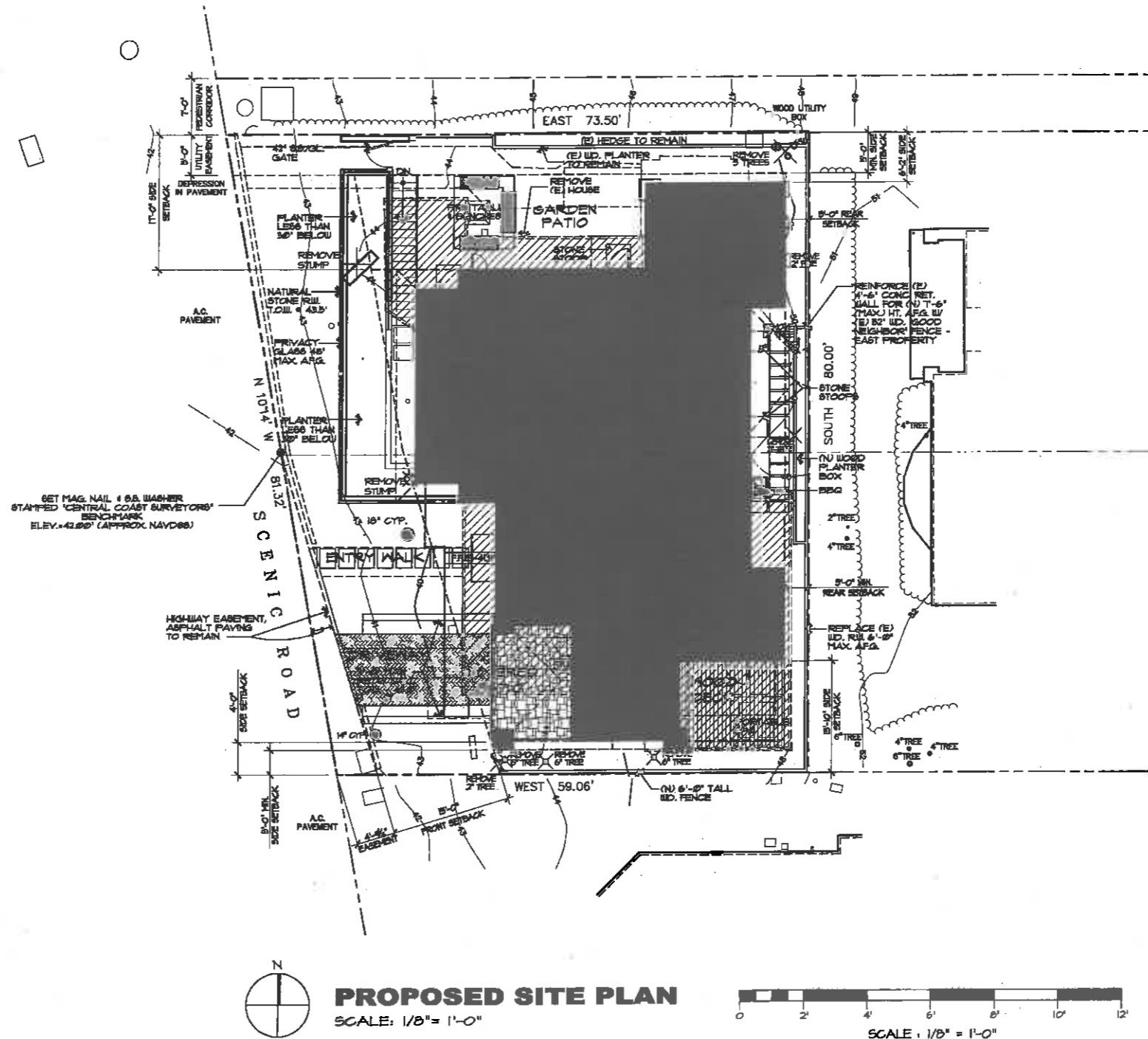
ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 157 GRAND AVENUE, SUITE 108, PACIFIC GROVE, CA 93950  
 PHONE (831) 572-0410 • FAX (831) 572-7940 • WEB: www.ericmillerarchitects.com

SITE DEMOLITION PLAN  
 JOB NAME: **Jarve Residence**  
 SCENIC 1 1/2 E of 9th,  
 Carmel-by-the-Sea, CA 93921  
 A.B.N. 211-200-0116

DATE: 4/22/14  
 SCALE: 1/4" = 1'-0"  
 DRAWN: C.H. BRN  
 JOB NUMBER: 15.20

**A-1.1**  
 SHEET OF

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GROSS AREA = 5,302.5 S.F.  
 HIGHWAY EASEMENT = 100 S.F.  
 NET AREA = 5,202.5 S.F.

TREE LEGEND	
X	TREE TO BE REMOVED
●	TREE TO BE REMAIN

REVISION	No.
REVISION 7/28/14	
REVISION 7/29/14	

CONSULTANT:

ARCHITECT  
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PROPOSED SITE PLAN  
 JOB NAME: **Jarve Residence**  
 Scenic | S/E of 4th.  
 Carmel-by-the-Sea, CA 93942  
 A.P.N. : 010-302-015

DATE: 4/22/14  
 SCALE: 1/4" = 1'-0"  
 DRAWN: C.J.H. BRM  
 JOB NUMBER: 13.20

**A-1.2**  
 SHEET OF

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1/28/14	

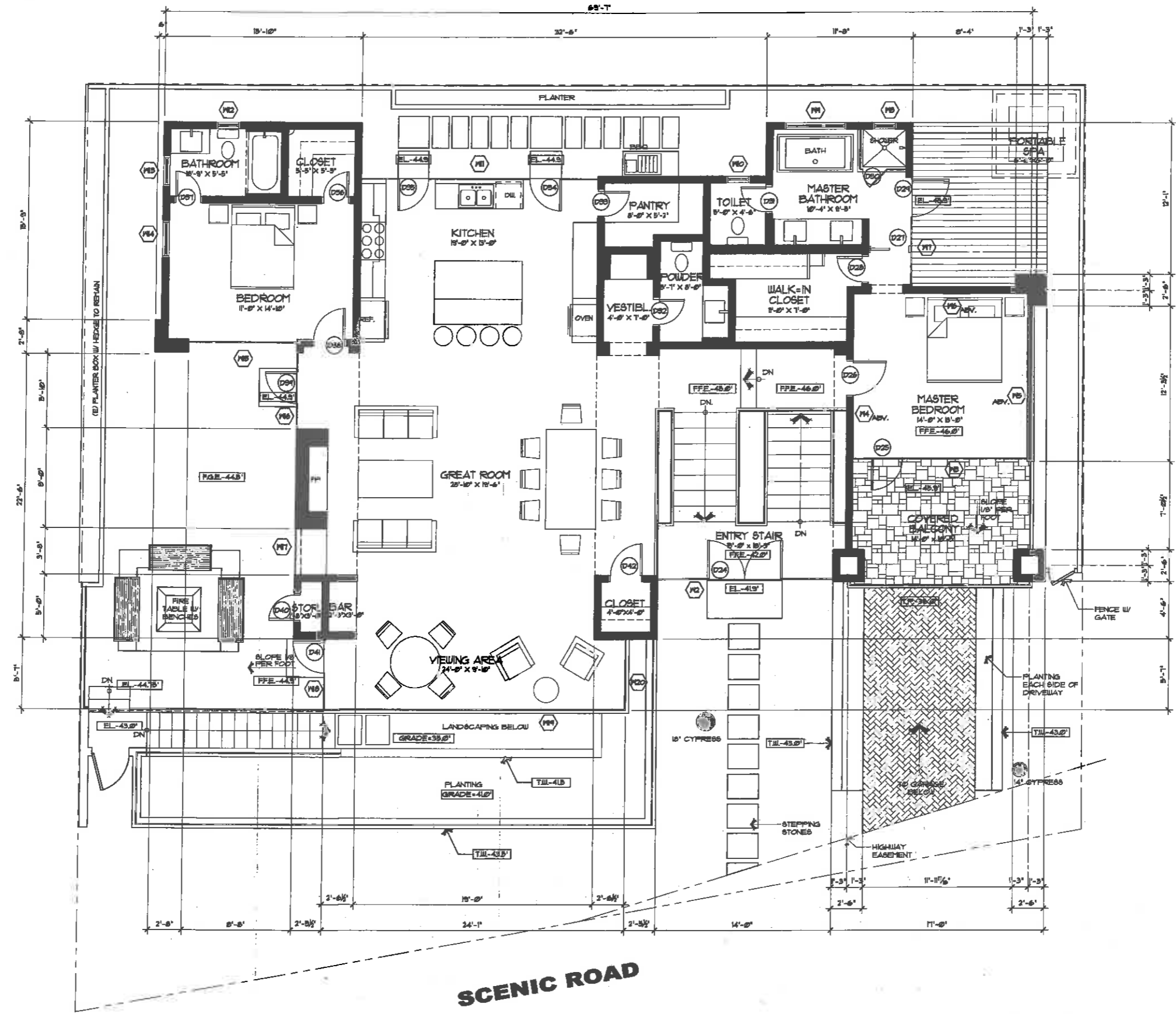
CONSULTANT:

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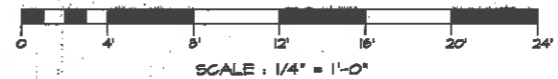
FIRST FLOOR PLAN  
 JOB NAME: **Jarve Residence**  
 Scenic 1 1/2 of 9th,  
 Carmel-by-the-Sea, CA 95021  
 A.P.N. : 010-302-015

DATE: 4/22/14  
 SCALE: 1/4" = 1'-0"  
 DRAWN: C.H.  
 JOB NUMBER: 15.20

**A-2.1**  
 SHEET OF

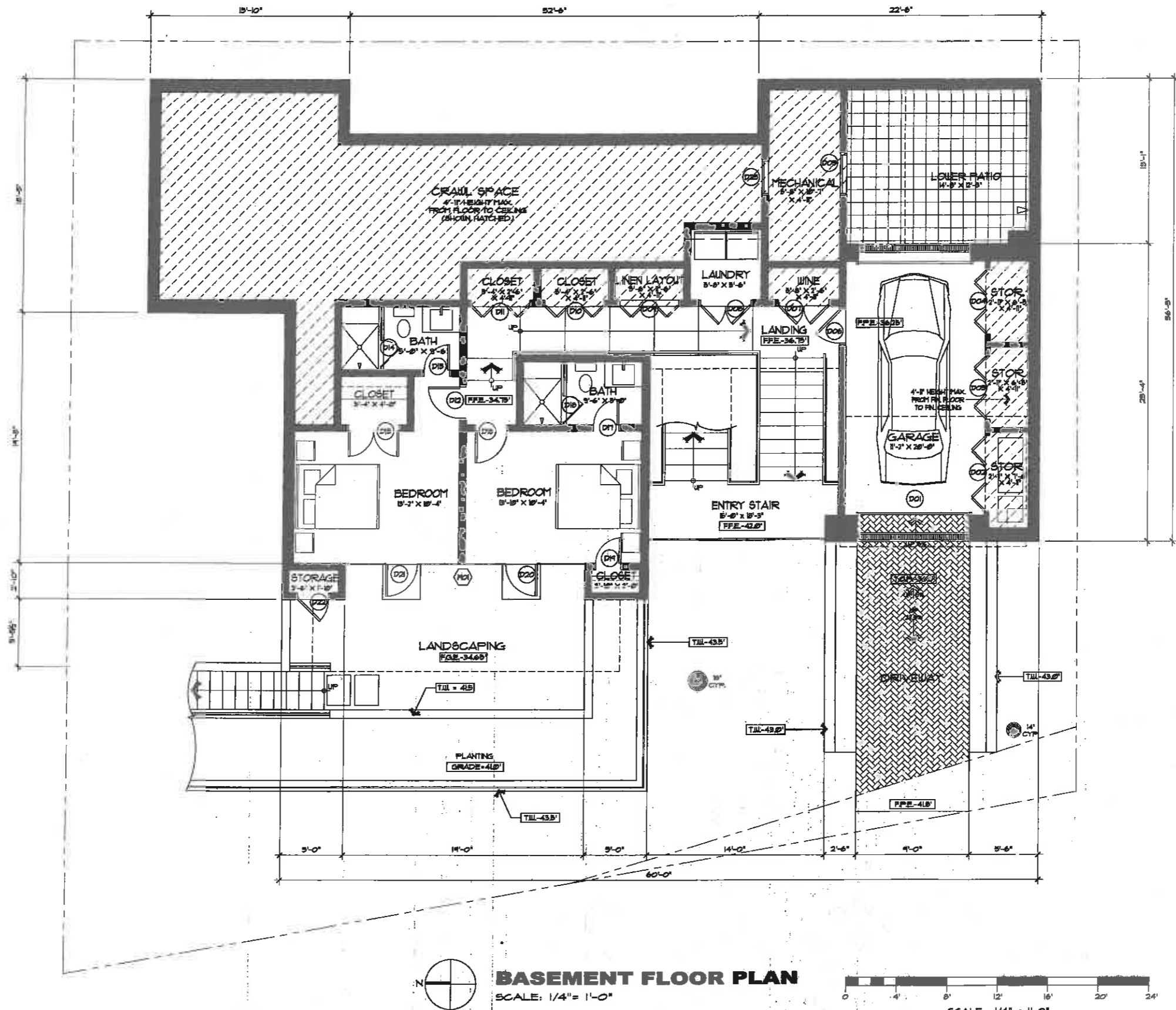


**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

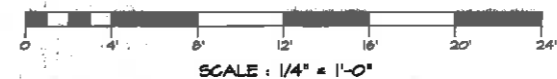


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**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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1/22/14	

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ARCHITECT

**BASEMENT FLOOR PLAN**  
 JOB NAME: **Jarve Residence**  
 Scenic | S/E of 9th.  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. : 010-802-015

DATE:	4/22/14
SCALE:	1/4" = 1'-0"
DRAWN:	C.H. BERN
JOB NUMBER:	1320

**A-2.2**  
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REVISION	No.
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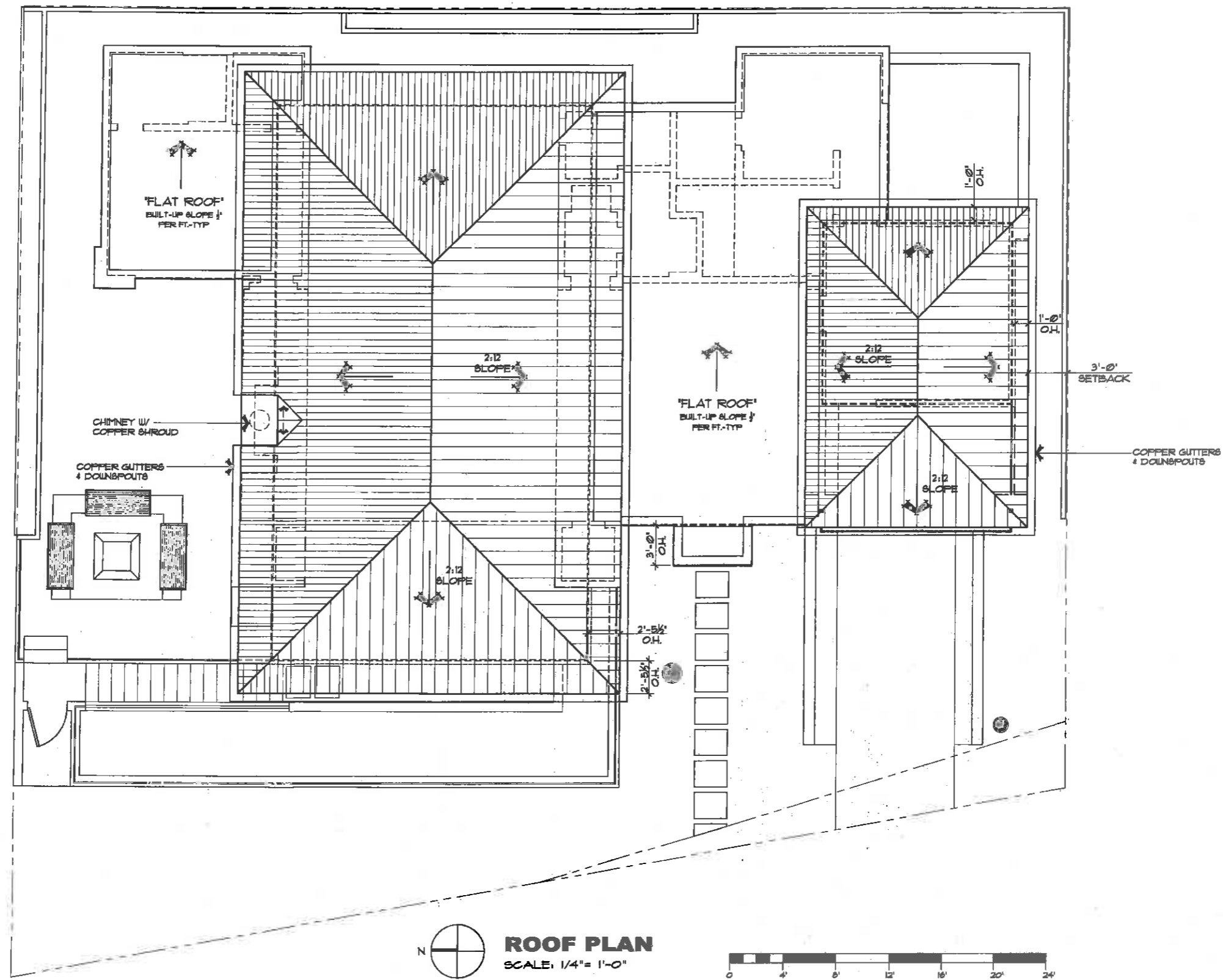
CONSULTANT:

ARCHITECT  
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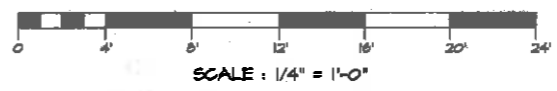
ROOF PLAN  
 JOB NAME: **Jarve Residence**  
 SCENE: 1 S/E of 4th,  
 Carmel-by-the-Sea, CA 93921  
 A.P.N.: 010-802-015

DATE: 4/22/14  
 SCALE: 1/4" = 1'-0"  
 DRAWN: C.J.H. BRW  
 JOB NUMBER: 1520

**A-2.3**  
 SHEET OF



**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"



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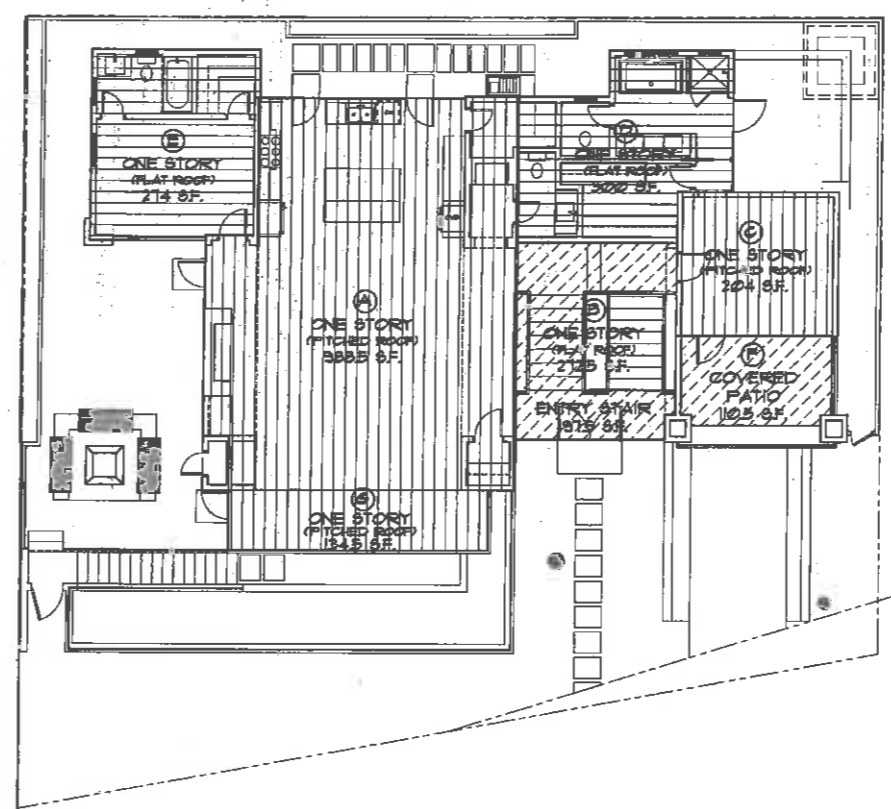
**VOLUME AREA**

UNIT	AREA	FFE	FLATE / EAVE		ROOF / RIDGE	
			ELEV.	HEIGHT	ELEV.	HEIGHT
A	988.9 SF.	48.0'	51.0'	12'-0"	58.25'	14'-3"
B	272.5 SF.	43.0'	54.0'	11'-0"	55.0'	12'-0"
C	204.0 SF.	46.0'	51.0'	11'-0"	58.25'	12'-3"
D	300.0 SF.	46.0'	54.0'	9'-0"	55.0'	9'-0"
E	214.0 SF.	45.0'	54.0'	9'-0"	55.0'	10'-0"
F	102.5 SF.	46.0'	51.0'	11'-0"	58.25'	12'-3"
G	134.5 SF.	45.0'	51.0'	12'-0"	58.25'	14'-3"

**FLOOR AREA**

FLOOR AREA: (LIVING SPACE)	
GARAGE	225 SF.
BASEMENT FLOOR	508 SF.
FIRST FLOOR	1,321 SF.
<b>TOTAL =</b>	<b>2,633 SF.</b>

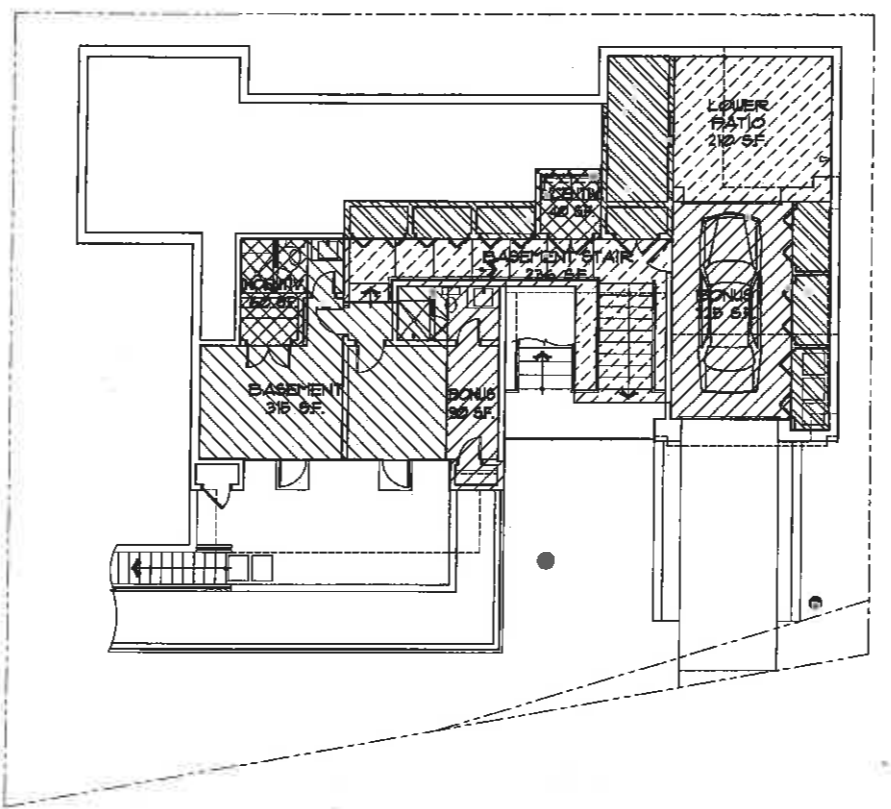
FLOOR AREA: (OPEN SPACE)	
BASEMENT - STAIR	236 SF.
ENTRY - STAIR	190 SF.
LOWER PATIO	212 SF.
<b>TOTAL =</b>	<b>644 SF.</b>



**FIRST FLOOR AREA PLAN**  
SCALE: 1/8" = 1'-0"

**FIRST FLOOR - AREA KEY**

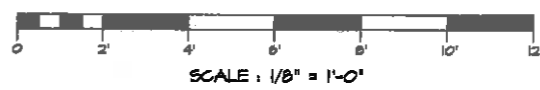
	ONE STORY PITCHED ROOF FIRST FLOOR (LIVING SPACE) TOTAL FLOOR AREA = 1,321 SF.
	ONE STORY - FLAT ROOF FIRST FLOOR (LIVING SPACE) TOTAL FLOOR AREA = 574 SF.
	FIRST FLOOR (OPEN SPACE) TOTAL FLOOR AREA = 308 SF.



**BASEMENT FLOOR AREA PLAN**  
SCALE: 1/8" = 1'-0"

**BASEMENT AREA KEY**

	BASEMENT (LIVING SPACE) TOTAL FLOOR AREA = 315.0 SF.
	BASEMENT (LIVING SPACE-BONUS) TOTAL FLOOR AREA = 35.0 SF.
	BASEMENT (LIVING SPACE-INCENTIVE) TOTAL FLOOR AREA = 100.0 SF.
	BASEMENT (OPEN SPACE) TOTAL FLOOR AREA = 446.0 SF.
	BASEMENT (EXEMPT AREA) 4'-11" MAXIMUM CEILING HEIGHT FROM FINISH FLOOR TO FINISH CEILING. TOTAL EXEMPT AREA = 248.0 SF.



CONSULTANT:

ARCHITECT

**ERIC MILLER ARCHITECTS, INC.**

157 GRAND AVE. SUITE 108 PACIFIC GROVE, CA 93950  
PHONE (831) 372-0410 • FAX (831) 372-7690 • WEB: www.ericmillerarchitects.com

FLOOR AREA & LEVEL PLANS

JOB NAME: **Jarve Residence**  
8centic 1 5/E of 9th,  
Carmel-by-the-Sea, CA 93921

DATE: 4/22/14  
SCALE: 1/8" = 1'-0"  
DRAWN: C.J.H. BRYAN  
JOB NUMBER: 13.2C

**A-2.4**  
SHEET OF

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1/28/14	

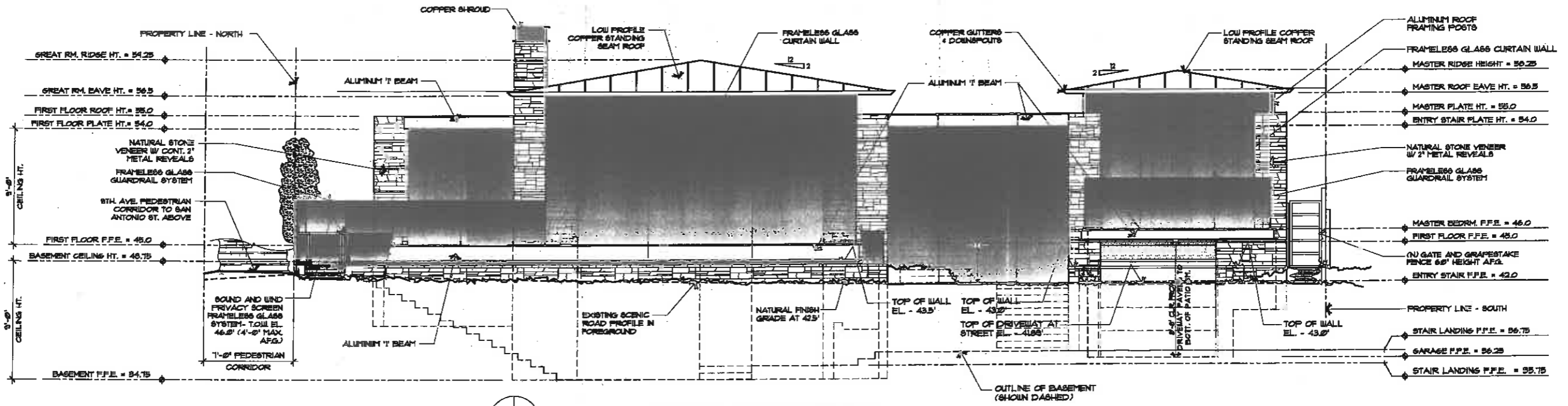
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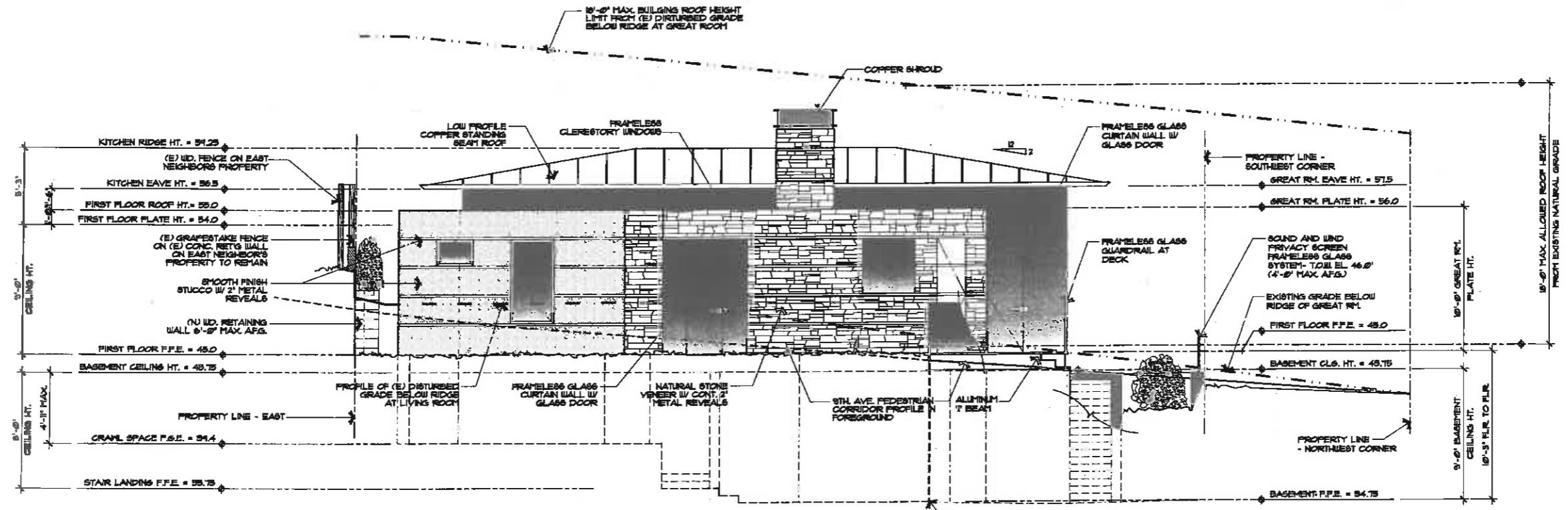
EXTERIOR ELEVATIONS  
 JOB NAME: **Jarve Residence**  
 SCENE: 1 S/E of 4th, Carmel-by-the-Sea, CA 93921  
 A.B.N. 1710-200-01E

DATE: 4/22/14  
 SCALE: 1/4" = 1'-0"  
 DRAWN: C.H. BRUN  
 JOB NUMBER: 19.20

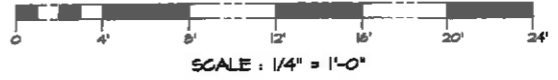
**A-3.1**  
 SHEET OF



**WEST FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

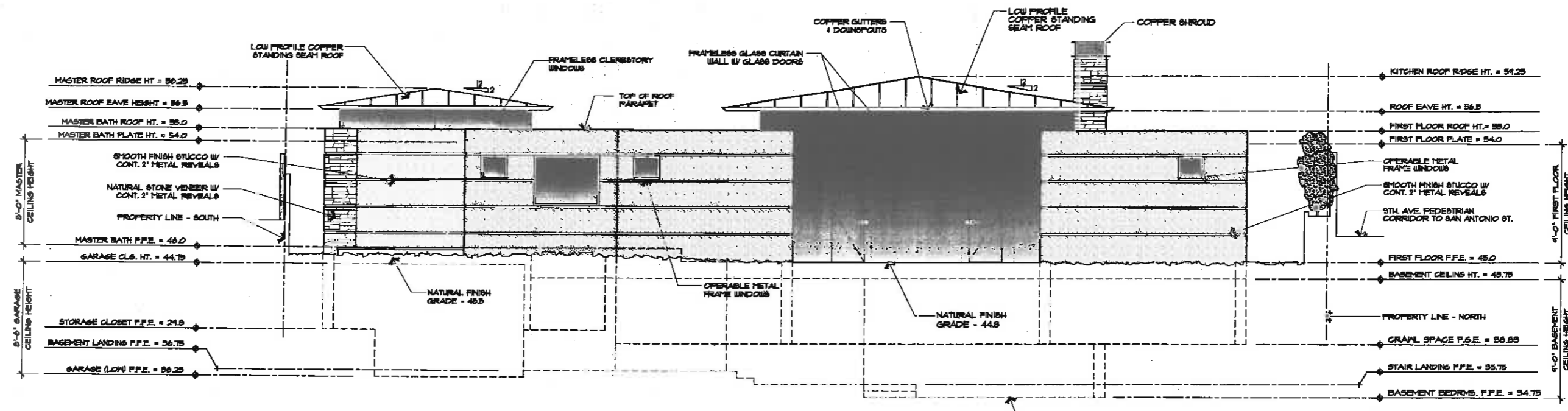


**NORTH SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"

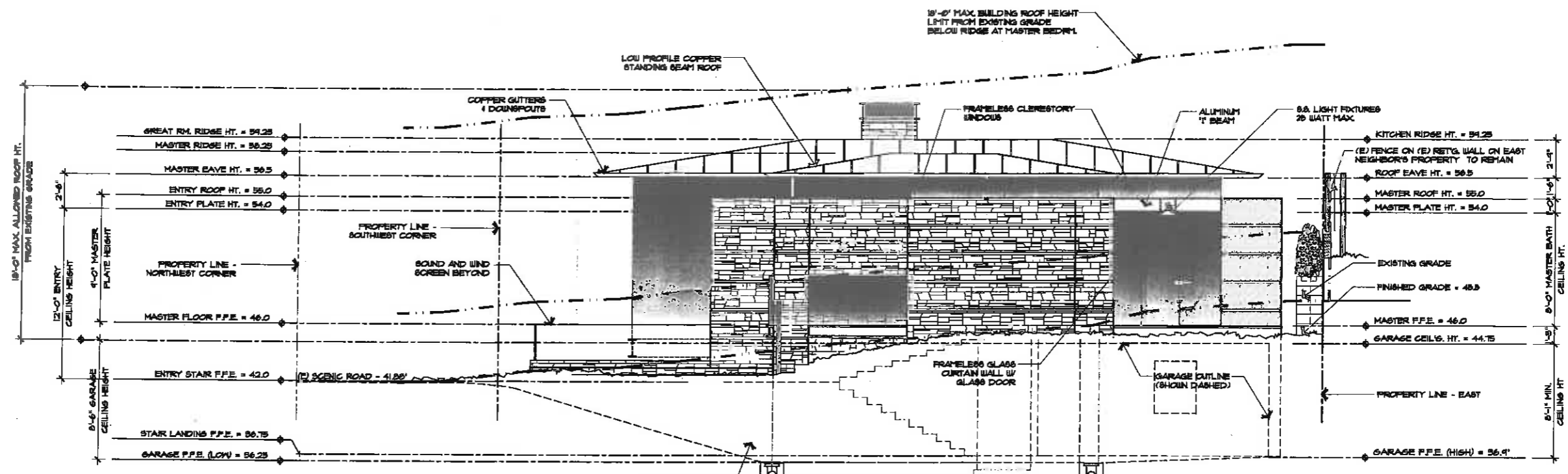


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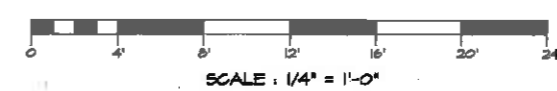
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**EAST BACK ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



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ARCHITECT

EXTERIOR ELEVATIONS  
JOB NAME: Jarve Residence

Scenic 1 5/8 of 9th,  
Carmel-by-the-Sea, CA 93921

DATE: 4/22/14

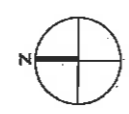
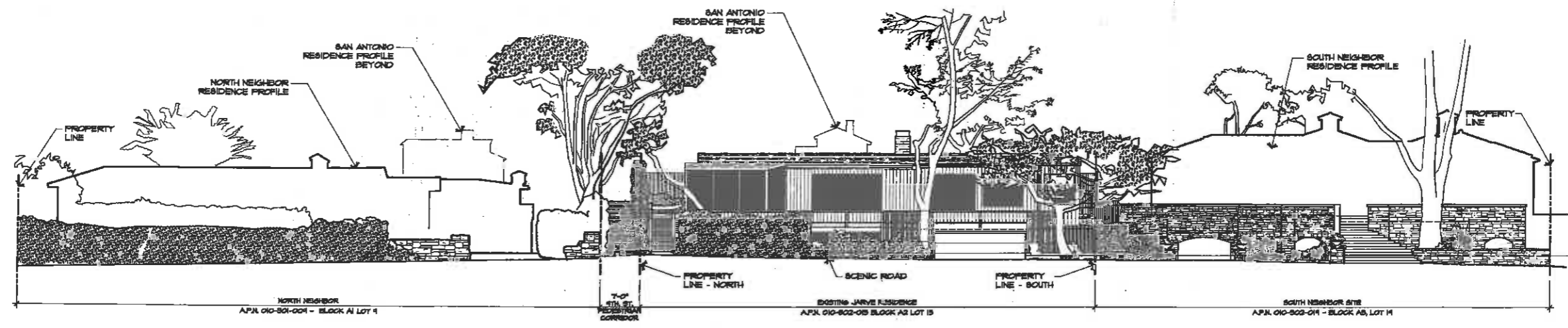
SCALE: 1/4" = 1'-0"

DRAWN: C.J.H. DRW

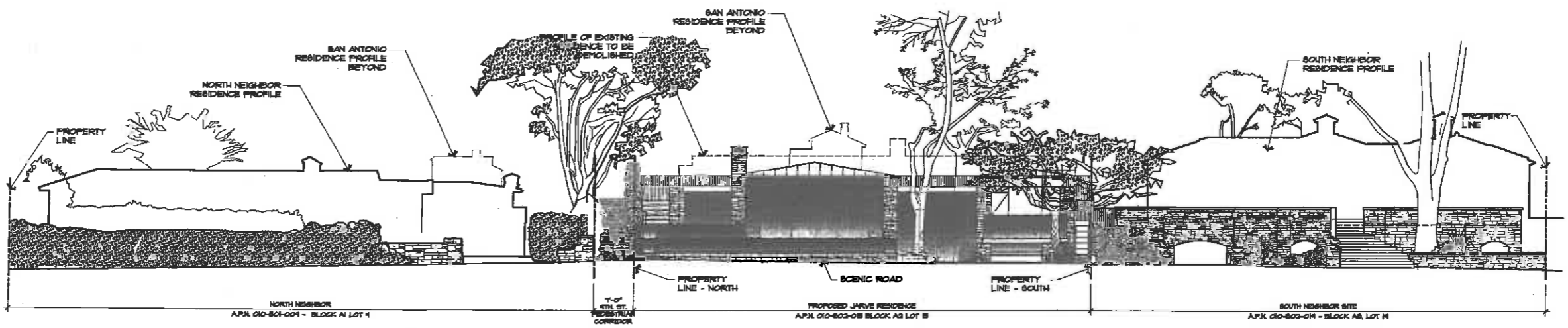
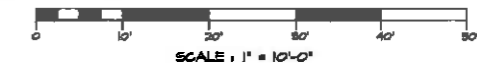
JOB NUMBER: 18.20

**A-3.2**  
SHEET OF

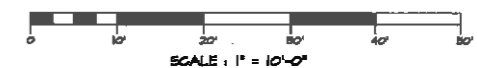
REVISION	No.
1/26/14	



**SCENIC ROAD ELEVATION - EXISTING**  
SCALE: 1" = 10'-0"



**SCENIC ROAD ELEVATION - PROPOSED**  
SCALE: 1" = 10'-0"



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ARCHITECT

SCENIC ROAD ELEVATION

JOB NAME: **Jarve Residence**  
Scenic 1 5/8 of 4th,  
Carmel-by-the-Sea, CA 93921  
A.P.N.: 010-902-015

DATE: 5/27/14  
SCALE: 1" = 10'-0"  
DRAWN: C.J.H. BRYN  
JOB NUMBER: 18.20

**A-3.3**  
SHEET OF

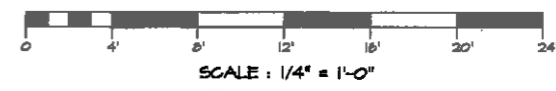
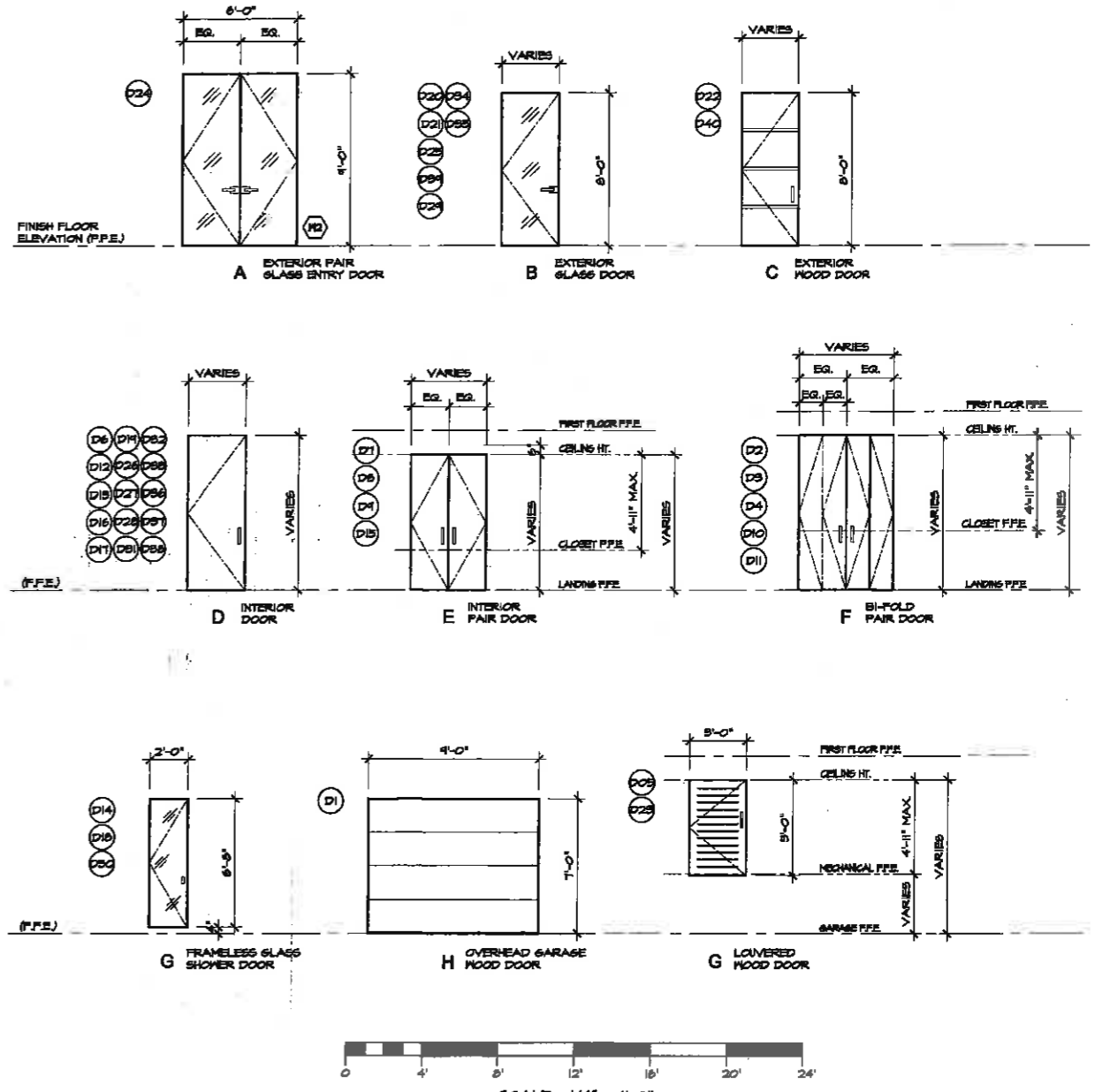
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DOOR SCHEDULE										
DOOR NO.	TYPE	SIZE WIDTH X HEIGHT	LOCATION	THICK.	DOOR MAT.	FRAME MAT.	HEAD DETAIL	JAMB DETAIL	THRESH. DETAIL	REMARKS
			ROOM NAME							
BASEMENT FLOOR										
D1	H	9'-0" x 7'-0"	GARAGE	2-1/4"	WOOD	WOOD	-	-	-	OVERHEAD DOOR
D2	F	5'-0" x 7'-0"	GARAGE	1-3/4"	WOOD	WOOD	-	-	-	BI-FOLD PAIR DOOR
D3	F	3'-0" x 7'-0"	GARAGE	1-3/4"	WOOD	WOOD	-	-	-	BI-FOLD PAIR DOOR
D4	F	3'-0" x 7'-0"	GARAGE	1-3/4"	WOOD	WOOD	-	-	-	BI-FOLD PAIR DOOR
D5	J	3'-0" x 3'-0"	MECHANICAL	1-3/4"	WOOD	WOOD	-	-	-	LOUVERED WOOD DOOR
D6	D	2'-6" x 7'-0"	STAIRWAY	1-3/4"	WOOD	WOOD	-	-	-	FIRE RATED DOOR, SEE DOOR NOTE 6.
D7	E	4'-0" x 7'-0"	WINE CLOSET	1-3/4"	MTL./GL.	WOOD	-	-	-	PAIR DOOR
D8	E	4'-0" x 7'-0"	LAUNDRY CLOSET	1-3/4"	WOOD	WOOD	-	-	-	PAIR DOOR
D9	E	4'-8" x 8'-0"	LINEN CLOSET	1-3/4"	WOOD	WOOD	-	-	-	BI-FOLD PAIR DOOR
D10	F	4'-6" x 8'-0"	CLOSET	1-3/4"	WOOD	WOOD	-	-	-	BI-FOLD PAIR DOOR
D11	F	4'-6" x 8'-0"	CLOSET	1-3/4"	WOOD	WOOD	-	-	-	BI-FOLD PAIR DOOR
D12	D	2'-6" x 8'-0"	BEDROOM #1	1-3/4"	WOOD	WOOD	-	-	-	
D13	D	2'-0" x 8'-0"	BATHROOM #1	1-3/4"	WOOD	WOOD	-	-	-	
D14	E	2'-6" x 6'-4"	SHOWER	1/4"	GLASS	-	-	-	-	TEMPERED GLASS SHOWER DOOR
D15	E	4'-0" x 8'-0"	CLOSET	1-3/4"	WOOD	WOOD	-	-	-	PAIR DOOR
D16	D	2'-6" x 8'-0"	BEDROOM #2	1-3/4"	WOOD	WOOD	-	-	-	
D17	D	2'-0" x 8'-0"	BATHROOM #2	1-3/4"	WOOD	WOOD	-	-	-	
D18	E	2'-0" x 6'-4"	SHOWER	1/4"	GLASS	-	-	-	-	TEMPERED GLASS SHOWER DOOR
D19	D	2'-0" x 8'-0"	CLOSET	1-3/4"	WOOD	WOOD	-	-	-	
D20	B	2'-6" x 8'-0"	BEDROOM #2	1/2"	GLASS	-	-	-	-	TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-M1, SHT. A4.2
D21	B	2'-6" x 8'-0"	BEDROOM #1	1/2"	GLASS	-	-	-	-	TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-M1, SHT. A4.2
D22	C	2'-6" x 8'-0"	STORAGE	1-3/4"	WOOD	WOOD	-	-	-	EXTERIOR WOOD DOOR WITH HORIZ. METAL BANDS
D23	J	3'-0" x 5'-0"	GRAVEL SPACE	1-3/4"	WOOD	WOOD	-	-	-	LOUVERED WOOD DOOR
FIRST FLOOR										
D24	A	6'-0" x 9'-0"	ENTRY STAIR	1/2"	GLASS	-	-	-	-	PAIR DOOR, TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-M2, SHT. A4.2
D25	B	2'-6" x 8'-0"	MASTER BEDROOM	1/2"	GLASS	-	-	-	-	TEMPERED GLASS, WEATHER-STRIPPING, SEE MOB, SHT. A4.2
D26	D	2'-6" x 7'-0"	MASTER BEDROOM	1-3/4"	WOOD	WOOD	-	-	-	
D27	D	3'-0" x 7'-0"	MASTER BATHROOM	1-3/4"	WOOD	WOOD	-	-	-	POCKET DOOR
D28	D	2'-0" x 7'-0"	MASTER CLOSET	1-3/4"	WOOD	WOOD	-	-	-	
D29	B	3'-0" x 8'-0"	MASTER BATHROOM	1/2"	GLASS	-	-	-	-	TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-MT, SHT. A4.2
D30	E	2'-0" x 6'-4"	SHOWER	1/4"	GLASS	-	-	-	-	TEMPERED GLASS SHOWER DOOR
D31	D	2'-0" x 7'-0"	MASTER TOILET	1-3/4"	WOOD	WOOD	-	-	-	
D32	D	2'-0" x 8'-0"	POWDER ROOM	1-3/4"	WOOD	WOOD	-	-	-	
D33	D	2'-0" x 8'-0"	PANTRY	1-3/4"	WOOD	WOOD	-	-	-	
D34	B	2'-6" x 8'-0"	KITCHEN	1/2"	GLASS	-	-	-	-	TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-MII, SHT. A4.2
D35	B	2'-6" x 8'-0"	KITCHEN	1/2"	GLASS	-	-	-	-	TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-MII, SHT. A4.2
D36	D	2'-0" x 8'-0"	CLOSET	1-3/4"	WOOD	WOOD	-	-	-	
D37	D	2'-0" x 8'-0"	BATHROOM #3	1-3/4"	WOOD	WOOD	-	-	-	
D38	D	2'-6" x 8'-0"	BEDROOM #3	1-3/4"	WOOD	WOOD	-	-	-	
D39	B	2'-6" x 8'-0"	GREAT ROOM	1/2"	GLASS	-	-	-	-	TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-M16, SHT. A4.2
D40	C	2'-0" x 8'-0"	DECK	1-3/4"	WOOD	WOOD	-	-	-	CUSTOM WOOD DOOR WITH HORIZ. METAL BANDS
D41	B	2'-6" x 8'-0"	VIEWING AREA	1/2"	GLASS	-	-	-	-	TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-M14, SHT. A4.2

DOOR NOTES

- ALL DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.G.O.U.
- 1. SHALL BE 2'-0" X 8'-0" MINIMUM.
- 2. SHALL HAVE HARDWARE MOUNTED 80" TO 44" ABOVE FINISH FLOOR.
- 3. THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- 4. PROVIDE (2) PAIR- 4-1/2" X 4-1/2" BITS ON ALL DOORS.
- 5. ALL HARDWARE TO HAVE LEAD FINISH (OR RUBBED BRONZE).
  - a. THE ENTRY DOOR HARDWARE TO BE USED SHALL BE STAINLESS STEEL (S.S.) S16
  - b. ALL EXTERIOR DOOR HARDWARE TO BE S.S. S16
  - c. ALL INTERIOR PASSAGE DOORS TO BE S.S. S16
- 6. ALL FIRE RATED DOORS SHALL HAVE PERKO 8860 (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.
- 7. EXTERIOR DOORS SHALL BE FEATHERSTRIPPED.
- 8. ALL DOORS SHALL BE SOLID CORE.
- 9. ALL DOOR GLAZING TO BE TEMPERED.
- 10. ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC, SECTION 3407.
- 11. EXTERIOR HINGERS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 20 MINUTES (U.G.O.U.)
- 12. REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
- 13. REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS NOT LESS THAN 4% OF AREA USING VENTED.

DOOR TYPES



REVISION	No.
1/26/14	

CONSULTANT:

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ARCHITECT

**DOOR SCHEDULE**  
 JOB NAME: Jarve Residence  
 Scenic 1 1/2 of 4th, Carmel-by-the-Sea, CA 93921  
 A.D.N. - 0411-2012-0415

DATE:	4/17/14
SCALE:	AS NOTED
DRAWN:	C.H. BRN
JOB NUMBER:	19.20

**A-4.1**  
SHEET OF

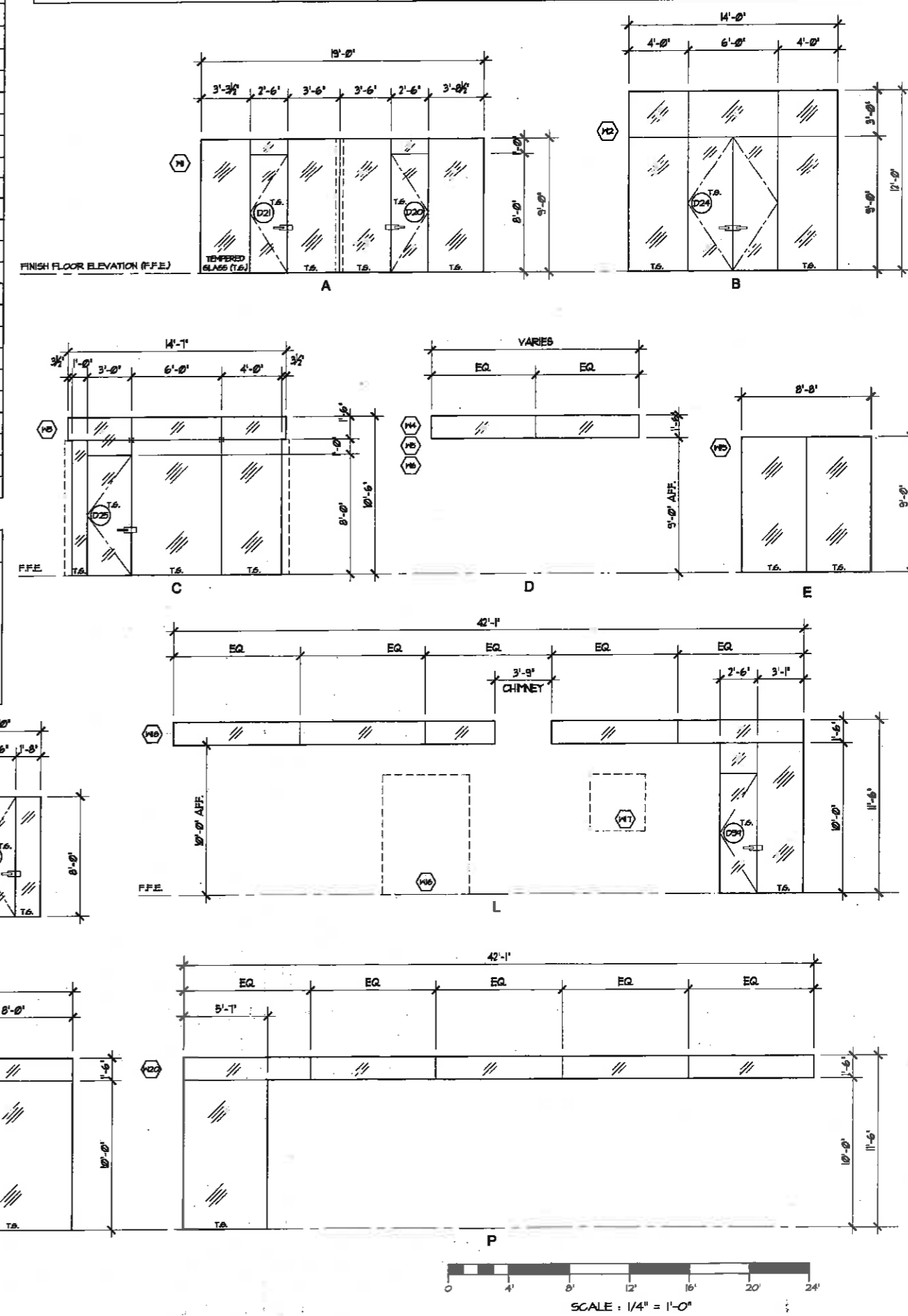
### WINDOW SCHEDULE

WIND. NO.	TYPE	SIZE W x H	LOCATION		GLAZING	FRAME MAT.	STYLE	WINDOW DETAILS			HEAD HEIGHT ABOVE F.F.	SILL HEIGHT ABOVE F.F.	REMARKS
			ROOM NUMBER	ROOM NAME				HEAD	JAMB	SILL			
W1	A	14'-0" x 9'-0"		BEDROOM #1 & #2	SINGLE LAM.	NONE	FIXED	-	-	-	9'-0"	0'-0"	SEE DOOR- D20 & D21, SHT.- A4.1
W2	B	14'-0" x 12'-0"		ENTRY STAIR	SINGLE LAM.	NONE	FIXED	-	-	-	11'-0"	0'-0"	TEMPERED GLASS, SEE DOOR- D24, SHT.- A4.1
W3	C	14'-7" x 11'-6"		MASTER BEDROOM	SINGLE LAM.	NONE	FIXED	-	-	-	10'-6"	0'-0"	TEMPERED GLASS, SEE DOOR- D25, SHT.- A4.1
W4	D	13'-6" x 1'-6"		MASTER BEDROOM	DOUBLE	NONE	FIXED	-	-	-	10'-6"	9'-0"	
W5	D	13'-6" x 1'-6"		MASTER BEDROOM	DOUBLE	NONE	FIXED	-	-	-	10'-6"	9'-0"	
W6	D	14'-7" x 1'-6"		MASTER BEDROOM	DOUBLE	NONE	FIXED	-	-	-	10'-6"	9'-0"	
W7	F	5'-7" x 8'-0"		MASTER BATHROOM	SINGLE LAM.	NONE	FIXED	-	-	-	8'-0"	0'-0"	TEMPERED GLASS, SEE DOOR- D24, SHT.- A4.1
W8	G	2'-0" x 14'-0"		MASTER BATH SHOWER	DOUBLE	METAL	AWNING	-	-	-	7'-0"	5'-2"	TEMPERED GLASS
W9	H	5'-0" x 5'-0"		MASTER BATHROOM	DOUBLE	METAL	FIXED	-	-	-	7'-0"	4'-0"	TEMPERED GLASS
W10	G	2'-0" x 14'-0"		MASTER BATH TOILET	DOUBLE	METAL	AWNING	-	-	-	7'-0"	5'-2"	
W11	N	24'-1" x 11'-6"		KITCHEN	SINGLE LAM.	NONE	FIXED	-	-	-	11'-6"	0'-0"	TEMPERED GLASS, SEE DOORS- D34 & D35, SHEET- A4.1
W12	G	2'-0" x 14'-0"		BATHROOM #3	DOUBLE	METAL	AWNING	-	-	-	8'-0"	6'-2"	
W13	G	2'-6" x 14'-0"		BATHROOM #3	DOUBLE	METAL	AWNING	-	-	-	8'-0"	6'-2"	TEMPERED GLASS
W14	I	3'-0" x 3'-10"		BEDROOM #3	DOUBLE	METAL	CASEMENT	-	-	-	8'-0"	2'-2"	EGRESS WINDOW
W15	E	8'-8" x 9'-0"		BEDROOM #3	SINGLE LAM.	NONE	FIXED	-	-	-	9'-0"	0'-0"	TEMPERED GLASS
W16	J	5'-10" x 8'-0"		LIVING ROOM	SINGLE LAM.	NONE	FIXED	-	-	-	8'-0"	0'-0"	TEMPERED GLASS, SEE DOOR- D34, SHT. A4.1
W17	H	3'-8" x 3'-10"		LIVING ROOM	DOUBLE	NONE	FIXED	-	-	-	8'-0"	3'-2"	
W18	L	42'-1" x 11'-6"		VIEWING AREA-KITCHEN	SINGLE LAM.	NONE	FIXED	-	-	-	11'-6"	0'-0"	TEMPERED GLASS, SEE DOOR- D41, SHT. A4.1
W19	O	24'-1" x 11'-6"		VIEWING AREA	SINGLE LAM.	NONE	FIXED	-	-	-	11'-6"	0'-0"	TEMPERED GLASS
W20	P	42'-1" x 11'-6"		VIEWING AREA-KITCHEN	SINGLE LAM.	NONE	FIXED	-	-	-	11'-6"	0'-0"	TEMPERED GLASS

### WINDOW NOTES

- ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.I.
- EGRESS WINDOWS SHALL HAVE SILL HEIGHT AT 44" A.F.F. MAXIMUM.
  - METAL WINDOWS UNLESS OTHERWISE NOTED.
  - ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CRC, SECTION R308.3. ALL INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE REQUIREMENTS OF CPSC 16, CFR 1201 OR ANSI Z97.1.
  - SEE WINDOW TYPES ON THIS PAGE FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CRC R303 AND EGRESS PER CRC R310.
  - ALL WINDOW GLAZING SHALL BE LOW-E.
  - CONTACT ARCHITECT, OWNER & INTERIOR DESIGNER FOR SPECIFICATION & APPLICATION, PRIOR TO MANUFACTURING.
  - ALL CURTAIN WALL CHANNELS TO BE STAINLESS STEEL 316.

### WINDOW TYPE



Vellum Original

REVISION	No.
1/20/14	

ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**  
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WINDOW SCHEDULE  
 JOB NAME: **Jave Residence**  
 DATE: 4/22/14  
 SCALE: AS NOTED  
 DRAWN: BW  
 JOB NUMBER: 13.2C

**A-4.2**  
 SHEET OF

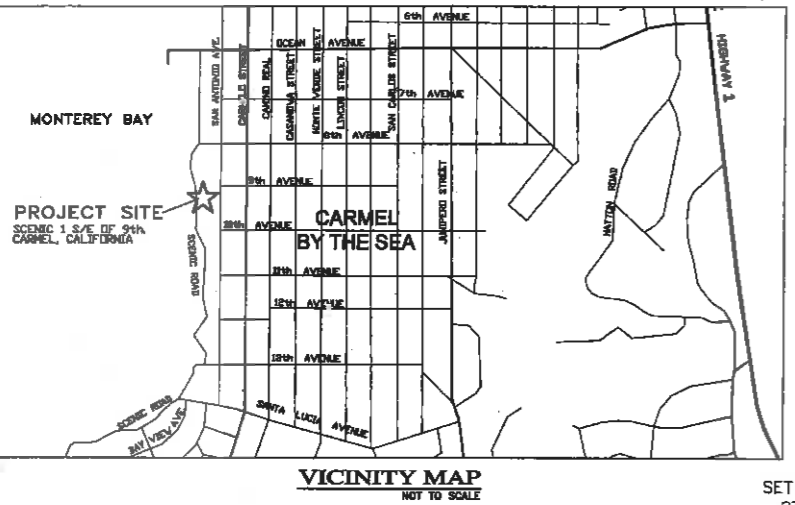
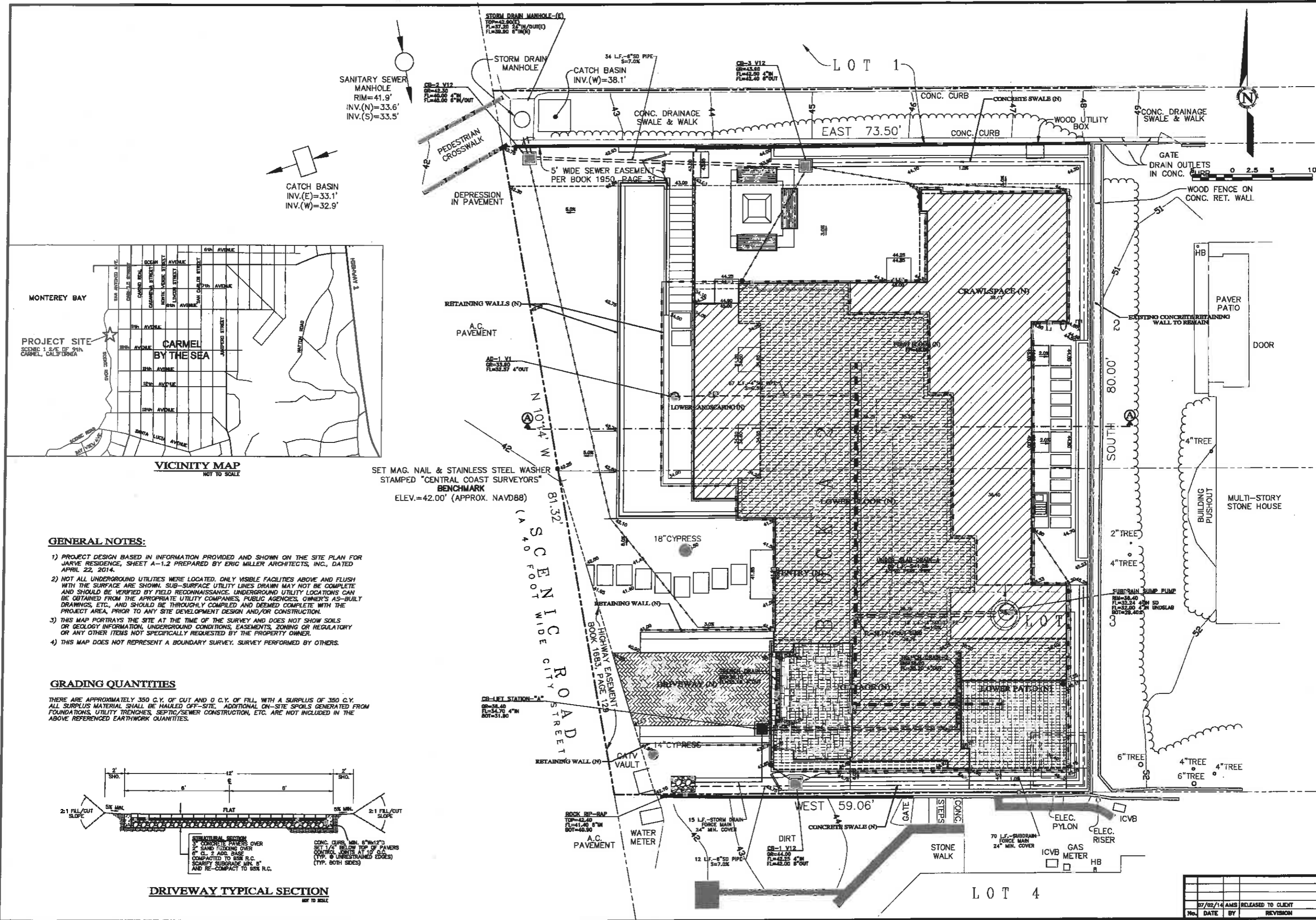


APPROVED BY:  
GUY R. GERAUDO  
E.C.E. No. 56569

**LANDSET**  
ENGINEERS, INC.  
ENGINEERING - LAND PLANNING  
SURVEYING - ENVIRONMENTAL CONSULTING

**CONCEPTUAL GRADING, DRAINAGE  
AND EROSION CONTROL PLAN**  
LANDS OF JARVE - A.P.N.: 010-302-015  
CARMEL-BY-SEA, MONTEREY COUNTY, CALIFORNIA

SCALE: 1"=5'  
DATE: JUNE 2014  
JOB NO. 1350-01  
SHEET **C1**  
OF 2 SHEETS

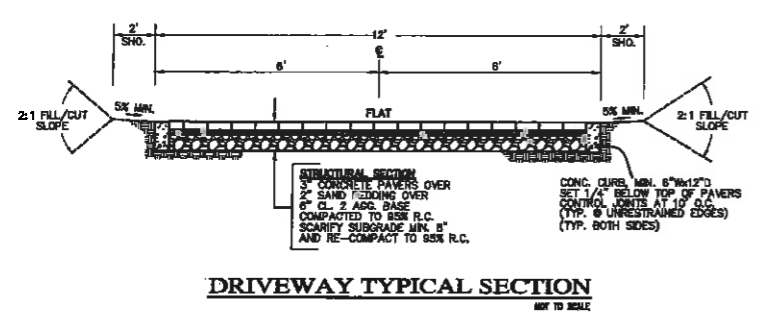


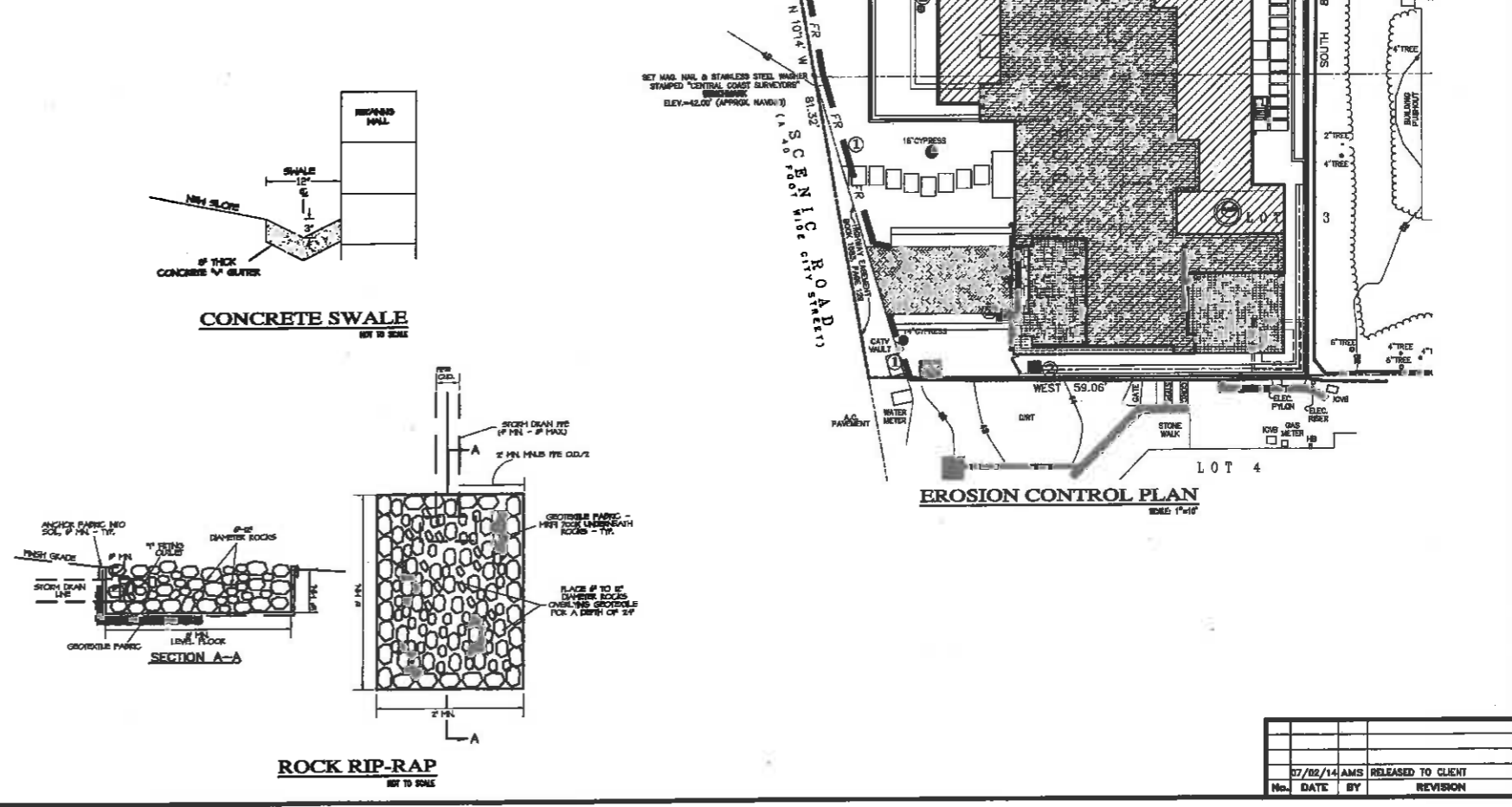
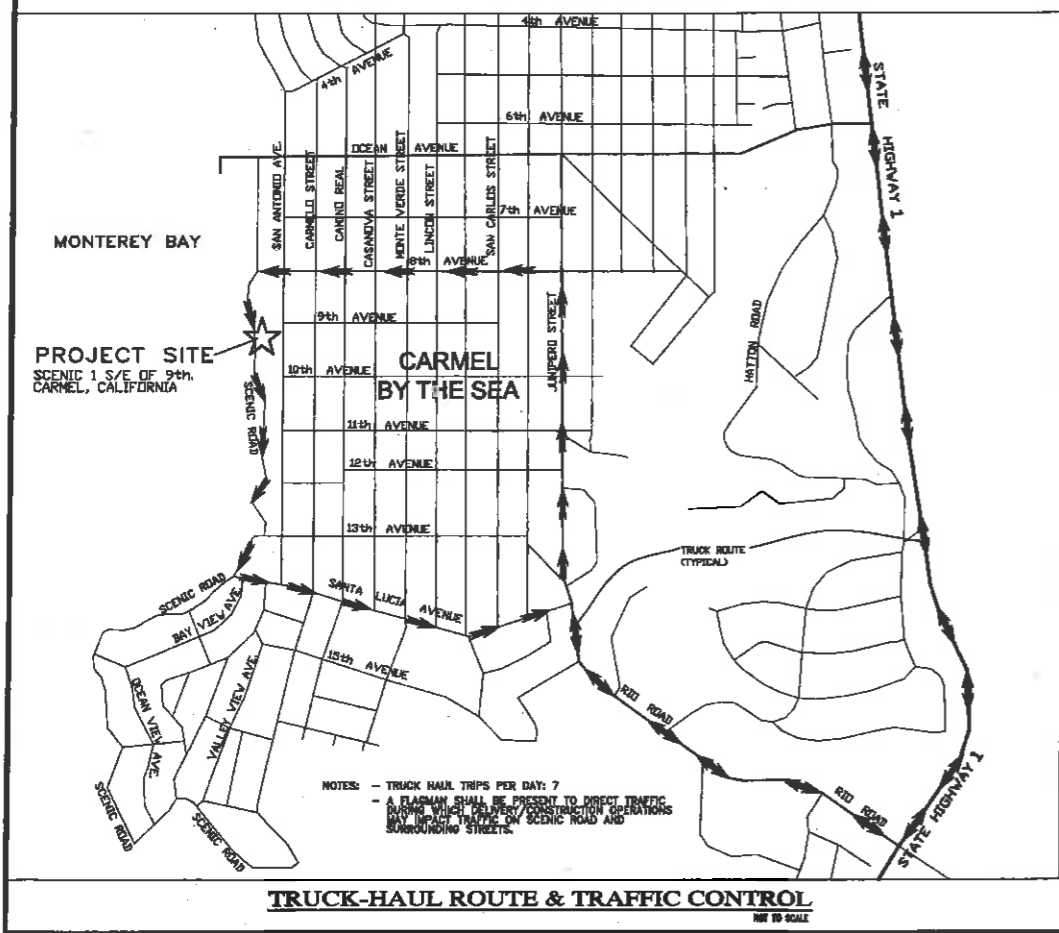
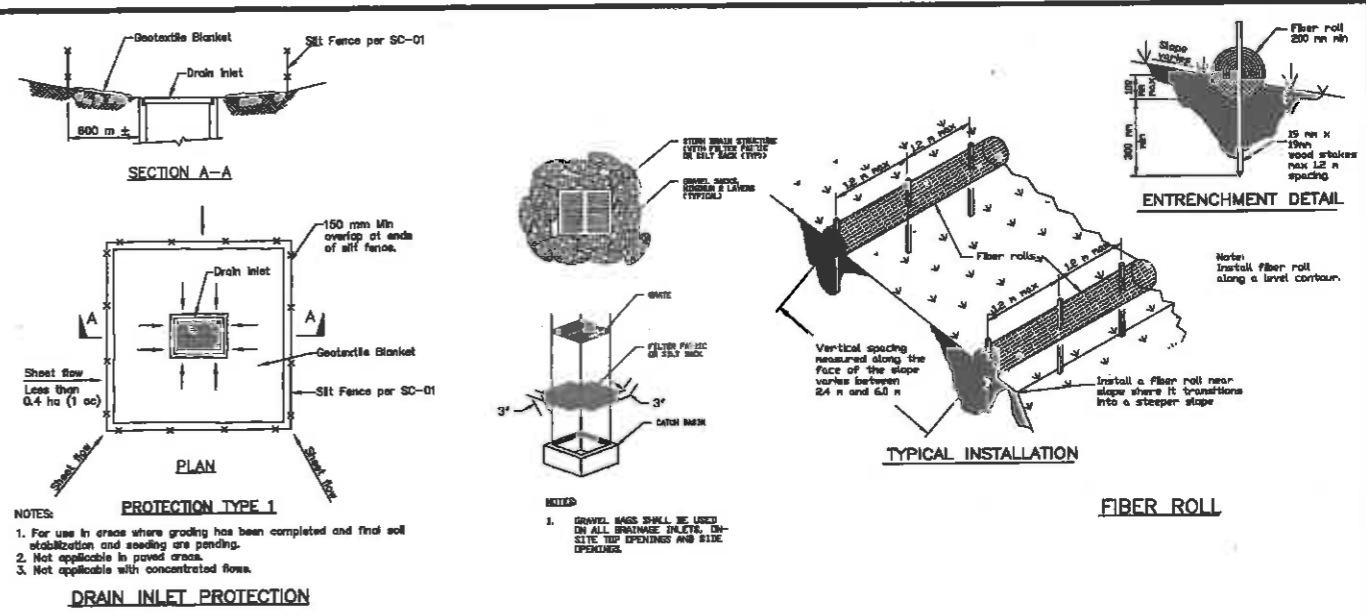
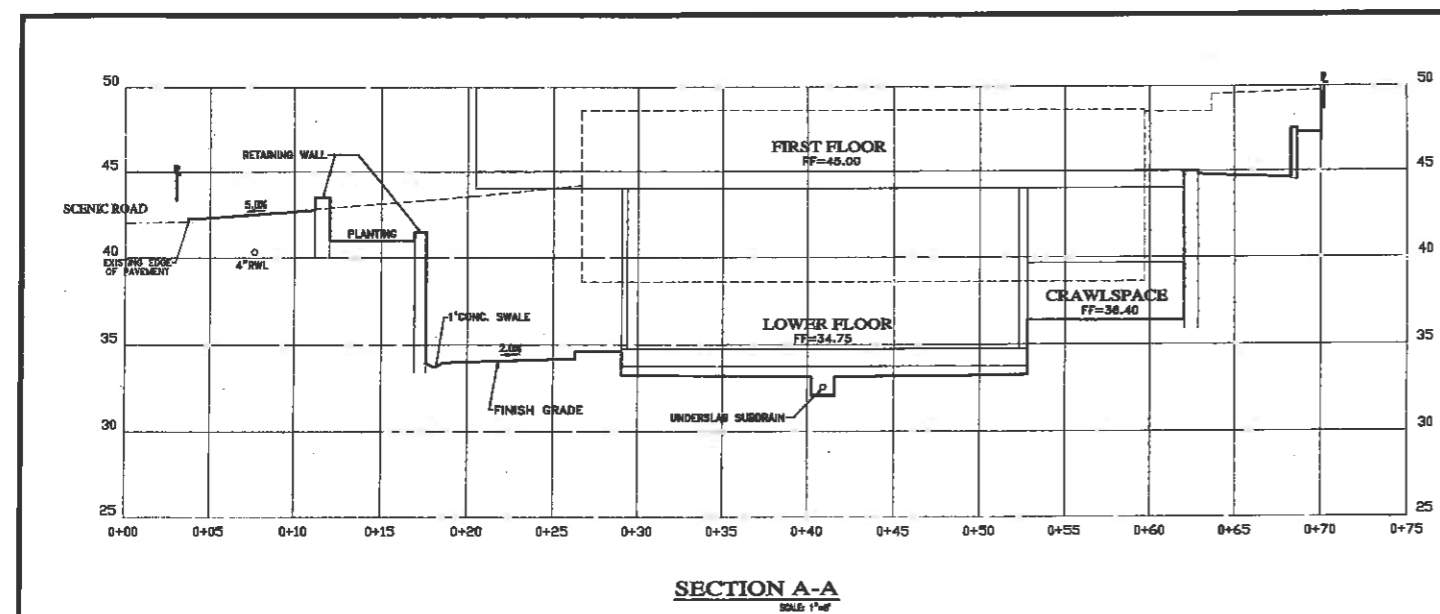
**GENERAL NOTES:**

- 1) PROJECT DESIGN BASED IN INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR JARVE RESIDENCE, SHEET A-1.2 PREPARED BY ERIC MILLER ARCHITECTS, INC., DATED APRIL 22, 2014.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- 4) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. SURVEY PERFORMED BY OTHERS.

**GRADING QUANTITIES**

THERE ARE APPROXIMATELY 350 C.Y. OF CUT AND 0 C.Y. OF FILL, WITH A SURPLUS OF 350 C.Y. ALL SURPLUS MATERIAL SHALL BE HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC/SEWER CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED EARTHWORK QUANTITIES.





APPROVED BY:  
CITY ENGINEER  
CITY OF CARMEL, CALIFORNIA  
R. GERARDO  
E.C.E. No. 66568

**LANDSET**  
ENGINEERS, INC.  
ENGINEERING - LAND PLANNING  
SURVEYING - ENVIRONMENTAL CONSULTING

**CONCEPTUAL GRADING, DRAINAGE AND EROSION CONTROL PLAN**  
LANDS OF JARVE - A.P.N.: 010-302-015  
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA

SCALE: AS SHOWN	SHEET	C2
DATE: JUNE 2014	OF 2 SHEETS	
JOB NO. 1350-01		
DATE	BY	REVISION
07/02/14	AMS	RELEASED TO CLIENT





**RENDERING - SCENIC ROAD**

REVISION	No.

CONSULTANT:

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**RENDERING**  
 JOB NAME: **Jarve Residence**  
 Scenic 1 S/E of 4th,  
 Carmel-by-the-Sea, CA 93921  
 A.P.N. : 010-302-015

DATE: 7/8/14  
 SCALE: N.T.S.  
 DRAWN: RS  
 JOB NUMBER: 15.20

**A-7.1**  
 SHEET OF