

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
REGULAR MEETING AGENDA**

Regular Meeting
City Hall
East Side of Monte Verde Street
Between Ocean & Seventh Avenues

November 12, 2014
Wednesday
Tour – 2:30 p.m.
Meeting – 4:00 p.m.

A. CALL TO ORDER AND ROLL CALL

Commissioners: Jan Reimers, Chair
 Michael LePage, Vice-Chair
 Keith Paterson
 Don Goodhue
 Ian Martin

B. TOUR OF INSPECTION

Shortly after 2:30 p.m., the Commission will leave the Council Chambers for an on-site Tour of Inspection of all properties listed on this agenda (including those on the Consent Agenda). The Tour may also include projects previously approved by the City and not on this agenda. Prior to the beginning of the Tour of Inspection, the Commission may eliminate one or more on-site visits. The public is welcome to follow the Commission on its tour of the determined sites. The Commission will return to the Council Chambers at **4:00 p.m.** or as soon thereafter as possible.

C. ROLL CALL

D. PLEDGE OF ALLEGIANCE

E. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS

F. APPEARANCES

Anyone wishing to address the Commission on matters not on the agenda, but within the jurisdiction of the Commission, may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Commission agenda will not receive action at this meeting but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as otherwise established by the Commission Chair. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

- | | |
|---|--|
| <p>4. DS 14-72 (Levett)
Dennis Levett
Monte Verde 3 NE of 4th
Blk: 32, Lot: 16
APN: 010-222-007</p> | <p>Consideration of Final Design Study (DS 14-72) and associated Coastal Development Permit application for the construction of a new residence located in the Single-Family Residential (R-1) Zoning District</p> |
| <p>5. DS 14-43 (Jarve)
John and Jacque Jarve
Scenic Road 1 SE of 9th Ave
Blk: A-2, Lots: portions of Lots 2 & 3
APN: 010-302-015</p> | <p>Consideration of Final Design Study (DS 14-43) and associated Coastal Development Permit application for the construction of a new residence located in the Single-Family Residential (R-1), Park Overlay (P), and Beach and Riparian (BR) Overlay Zoning Districts</p> |
| <p>6. DS 14-64 (Webster)
Martha Webster
Camino Real 2 NW of 11th Ave
Blk: Q, Lot: 17
APN: 010-275-008</p> | <p>Consideration of Final Design Study (DS 14-64) and associated Coastal Development Permit application for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District</p> |
| <p>7. DS 14-96 (Domicile Capital)
Domicile Capital, LLC
9th Ave. 2 NE of Monte Verde
Blk: 94, Lots: west ½ of Lots 17 & 19
APN: 010-193-008</p> | <p>Consideration of Concept Design Study (DS 14-96) and associated Coastal Development Permit application for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District</p> |
| <p>8. DR 14-30/UP 14-18 (Carmel Coffee and Cocoa Bar)
Mathew Porgess
SE Corner of Ocean and Mission
(Carmel Plaza – Spaces 121 & 122)
Blk: 78, Lots: All
APN: 010-086-006</p> | <p>Consideration of Design Review (DR 14-18) and Use Permit (UP 14-30) applications for exterior alterations and the expansion of an existing restaurant located in the Central Commercial (CC) Zoning District (Carmel Coffee and Cocoa Bar)</p> |

I. DIRECTOR'S REPORT

1. Update from the Director
2. Review and possible amendment to the Planning Commission Rules of Procedure

J. SUB-COMMITTEE REPORTS

1. Report from Sub-Committees

K. ADJOURNMENT

The next meeting of the Planning Commission will be:

Regular Meeting – Wednesday, December 10, 2014, at 4:00 p.m.

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. Carmel-by-the-Sea City Hall is an accessible facility. The City of Carmel-by-the-Sea telecommunications device for the Deaf/Speech Impaired (T.D.D.) Number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request of the Administrative Coordinator. If you need assistance, please advise the Planning Commission Secretary what item you would like to comment on and the microphone will be brought to you.

NO AGENDA ITEM WILL BE CONSIDERED AFTER 8:00 P.M. UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE PLANNING COMMISSION. ANY AGENDA ITEMS NOT CONSIDERED AT THE MEETING WILL BE CONTINUED TO A FUTURE DATE DETERMINED BY THE COMMISSION.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning & Building Department located in City Hall, east side of Monte Verde between Ocean & 7th Avenues, during normal business hours.

AFFIDAVIT OF POSTING

I, Robert A. Mullane, AICP, Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln Avenues and the Carmel Post Office and distributed to members of the media on November 6, 2014.

Dated this 6th day of November 2014 at the hour of 4:15 p.m.

Robert A. Mullane, AICP
Community Planning and Building Director

**ITEM G1. MINUTES FROM 10/8/14 PLANNING
COMMISSION MEETING**

THIS ITEM WILL BE PROVIDED SEPARATELY

The proposed additions would include finish materials of vertical board and cedar shake siding, wood windows, and a wood-shingle roof, all to match the finish materials on the existing residence. The decks on the first and second floors would be tile with wood supports and stainless-steel cable-railing. There is also a 7-foot high stone fireplace proposed near the rear southwest corner of the property.

The Planning Commission reviewed this project on October 8, 2014, and continued it with a request for certain changes, primarily to address the concerns that were raised by the northern neighbor. The applicant has revised the design to address the recommendations made by the Planning Commission.

PROJECT DATA FOR THE 4,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	1,381 sf (35%)	1,775 sf (45%) - 1,477 sf residence, - 298 sf garage
Site Coverage	556 sf (13.9%)*	1,627 sf (40.7%)	789 sf (19.7%)
Trees (upper/lower)	3/1 trees (recommended)	0/0 trees	1/1 trees
Ridge Height (1 st /2 nd)	18 ft./24 ft.	16.5 ft.	16.5 ft./21.5 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	9.5 ft.	9.5 ft./17 ft.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	15.5 ft.	No Change
Composite Side Yard	10 ft. (25%)	4.5 ft. (11.3%)	No Change
Minimum Side Yard	3 ft.	1 ft. 6 in.	No Change
Rear	3 ft. (1st-story) 15 ft. (2nd-story)	34 ft. (residence),	28 ft. (new addition) 36 ft. (residence/new decks)
*Includes a 4% bonus if 50% of all coverage is permeable or semi-permeable			

Staff analysis:

Previous Hearing: The following is a list of recommendations made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The plate height of the second-story office shall be lowered to 7 feet. The applicant shall eliminate the window on the east side of the office and shall eliminate the window on the north side of the second-story bathroom.*

Analysis: At the October 8, 2014 meeting, the neighbor to the north, Ms. Diana Wilks, expressed concern with the impact that would be created by the proposed second-story addition. The above-noted recommendations were made to mitigate the impacts. Ms. Wilks has indicated to staff that the design revisions are acceptable, but requested that the applicant provide a privacy screen during construction. The applicant submitted an e-mail to staff on November 3, 2014, included as Attachment D, agreeing to install the privacy screen during construction. A condition has been drafted to address the privacy screen.

2. *The applicant shall work with staff on removing additional site coverage. A revised site coverage reduction plan shall be submitted for final Planning Commission review.*

Analysis: In the first staff report, it was noted that the property has 1,627 square feet of site coverage and exceeds the allowed site coverage of 556 square feet by 1,071 square feet. The applicant had proposed to remove 799 square feet coverage, but staff recommended that they remove more to bring the property closer to compliance. The applicant has submitted a site coverage reduction plan on Sheet C-1.3 of the plan set, and is now proposing to remove 838 square feet of site coverage.

3. *The applicant shall provide a landscape plan for final review that includes a provision for one new upper-canopy and one new lower-canopy tree.*

Analysis: The applicant has provided a landscape plan on Sheet L-1.1 of the plan set that proposed two new lower-canopy oak trees at the front of the property and one new upper-canopy tree at the rear. A condition has been drafted to ensure installation and maintenance of these trees.

Other Project Components:

Exterior Lighting: The location of the light fixtures is depicted on the site plan and elevation drawings. In addition, the style and wattage of the light fixtures are shown on Sheet C-1.3 of the plan set. The plan set notes that the wattage will be 25 watts maximum for the wall-mounted fixtures and 15 watts for the path lighting; however, no bulb type, specific wattage, or

lumen level is noted. This should be clarified by the applicant and noted on the construction plan set. A condition of approval has been drafted to address this requirement.

Public ROW: The City Right-of-Way (ROW) at the front of the property is approximately 14 feet wide between the front property line and edge of pavement along Monte Verde. It is unpaved and appears natural. However, there are existing encroachments in the ROW such as rocks, gravel, and boulders. Sheet C-1.3 of the plan set includes a note that these encroachments will be removed. A condition has been drafted to ensure the removal of ROW encroachments.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 401-square foot addition an existing 1,381-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Applicant E-mail
- Attachment E – Project Plans

Attachment A – Site Photographs



Project Site – Front of residence facing west on Monte Verde Street



Story Poles (2nd proposal) - Facing south from northern neighbor's property (dated: 9/3/14)

Attachment B – Findings for Approval

DS 14-17 (Debus)
 November 12, 2014
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	
Coastal Development Findings (CMC 17.64.B.1):		
13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	

Attachment C – Conditions of Approval

DS 14-17 (Debus)
 November 12, 2014
 Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 14-17) authorizes: 1) a 394-square foot addition to an existing 1,381-square foot residence, which includes a new 348.5-square foot second story addition with a rear balcony, 2) the removal of 838 square feet of site coverage, 3) the construction of a 7-foot high outdoor fireplace near the rear southwest corner of the property, 4) the installation of two new lower-canopy trees and one new upper-canopy tree, and 6) the removal of encroachments from the City Right-of-Way as depicted on the November 12, 2014 approved plans.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction,	✓

	the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	N/A
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden	✓

	mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the	N/A

	Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	N/A
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
	Special Conditions	
22.	The applicant shall plant and maintain two new lower-canopy trees and one new upper-canopy tree of substantial size and caliber and of a species approved by the City Forester. The location, size, and species of these trees shall be noted on the plan set submitted with the Building Permit application. Prior to final inspection, the trees shall be planted. These trees should be located approximately 10 feet from any building.	✓
23.	The applicant shall install a privacy screen along the north property line during construction to provide protection to the northern neighbor's property. The applicant shall work with staff on the design and location of the screen.	✓
24.	Prior to final inspection, the applicant shall remove 838 square feet of site coverage from the property as indicated on the November 12, 2014, approved plan set.	✓
25.	With regard to the light fixtures, the applicant shall include the specific bulb type, wattage, and lumen level on the construction plan set.	✓
26.	Prior to final inspection, the applicant shall remove the existing encroachments from the City ROW including the rocks and boulders.	✓

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

Attachment D – Applicant E-mail

Marc,

I discussed Ms. Wilks' request to install a privacy screen during construction with Steve and Laurie Key.

They agree that it is a reasonable request.

We hereby agree to install screening on the north property/fence line prior to beginning second story construction.

I will get the screen height, location and fabric sample approved by you or another Carmel representative prior to commencing any work.

Please let me know if you need any additional information.

Thanks again for your time and assistance on this project.

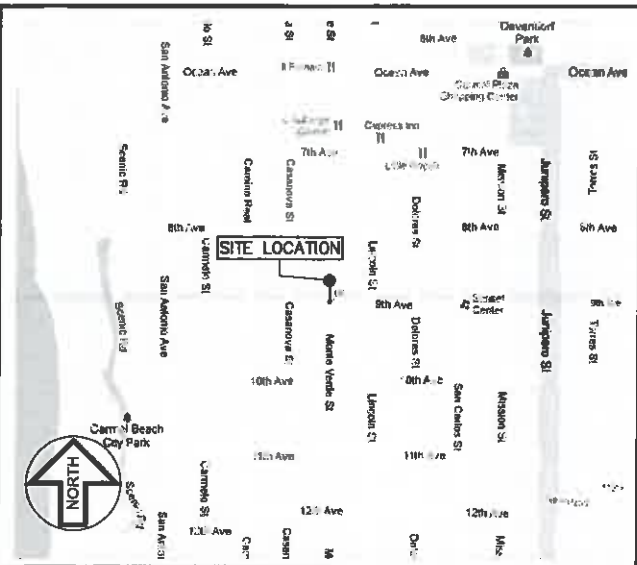
Sincerely,

Jon

Jon Sather Erlandson, architect

Post Office Box 7108

Carmel, California 93921



VICINITY MAP

No Scale

4

Debus-Key Residence

Monteverde Street, 2 SW of 9th Street
Carmel By The Sea - California

PROJECT DESCRIPTION:
Remodel and renovation of existing single family residence with a 2nd story addition.
Site Improvements.

LOCATION:
Monteverde St. 2 SW of 9th
Carmel By The Sea, California 93921

OWNER:
Laura Debus
2558 Merlot Ln
Livermore, CA 94550

PROPERTY INFORMATION:
Assessor's Parcel Number: 010-166-017
Lot Area: 4,000 SF
Zoning: R-1

UTILITY PROVIDERS:

GAS AND ELECTRICITY:
Pacific Gas & Electric

WATER SERVICE:
CalAm

SEWER SERVICE:
Carmel Wastewater

PROJECT INFORMATION

1

ARCHITECTURAL DRAWINGS

SHEET G-1.1	TITLE SHEET- PROJECT INFORMATION- SITE PLAN
SHEET C-1.1	SITE SURVEY
SHEET C-1.2	EXISTING SITE COVERAGE
SHEET C-1.3	PROPOSED SITE PLAN
SHEET C-1.4	PROPOSED SITE MAP, GRADING & STREET PROFILE
SHEET A-1.1	PROPOSED FIRST & SECOND FLOOR PLANS
SHEET A-1.2	PROPOSED DEMOLITION PLAN
SHEET A-1.3	PROPOSED ROOF PLAN
SHEET A-2.1	PROPOSED EXTERIOR ELEVATIONS
SHEET A-3.1	SITE DETAILS
SHEET L-1.1	LANDSCAPE PLAN

SHEET EX-1.1	EXISTING FLOOR-ROOF PLAN
SHEET EX-2.1	EXISTING EXTERIOR ELEVATIONS

- 2013 CA Building Code (Based on 2006 International Building Code)
- 2013 CA Fire Code (Based on 2006 International Fire Code)
- 2013 CA Plumbing Code (Based on 2006 Uniform Plumbing Code)
- 2013 CA Mechanical Code (Based on 2006 Uniform Mechanical Code)
- 2013 CA Electrical Code (Based on 2005 National Electrical Code)
- 2013 CA Residential Code
- 2013 CA Energy Code

CONSTRUCTION TYPE:
TYPE V NON-RATED

OCCUPANCY:
TYPE R-3/U

FLOOR AREAS	EXISTING	PROPOSED	
Main Floor Living Area	1,083.0 sf	1,128.4 sf	
Garage	298.0 sf	298.0 sf	
Fireplace Footprint	7.5 sf		7.5 sf
Front Covered Porch	29.0 sf		29.0 sf
Side Covered Porch	24.0 sf		0.0 sf
Second Floor Living Area	—	348.5 sf	
Second Floor Stairs	—		74.9 sf
Second Floor Bay Windows	—		15.3 sf
TOTAL FLOOR AREA	1,434.0 sf	1,774.9 sf	126.7 sf
		Building Area	Added for Volume

Trees to be Removed: NONE

Grading:
CUT 117 Cubic Feet (4.3 CY)
FILL 184 Cubic Feet (6.8 CY)
NET 67 Cubic Feet (2.5 CY) EXPORT

SITE COVERAGE	EXISTING	PROPOSED
SITE COVERAGE (See Site Plan)	1,627 sf Impervious 0 sf Pervious	541 sf Impervious 248 sf Pervious
TOTALS:	1,627 sf	789 sf (838 sf Reduction)

RECEIVED

OCT 22 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

DRAWING INDEX

3

PROJECT DATA

2

DATE	REVISION

Jon Sather Erlandson Architect - C11925
Junipero St. 2 South West of 4th Ave., Carmel By The Sea



MAIL: Jon Sather Erlandson, Architect Post Office Box 7108 Carmel, California 93921
Phone: (831) 625-6163 Facsimile: (831) 625-1578 Email: jon@jserlandson.com

Debus-Key Residence

Monteverde St. 2 SW of 9th
Carmel by The Sea, California

Job Number
2013-08

Drawn By:

Date
03-18-2014

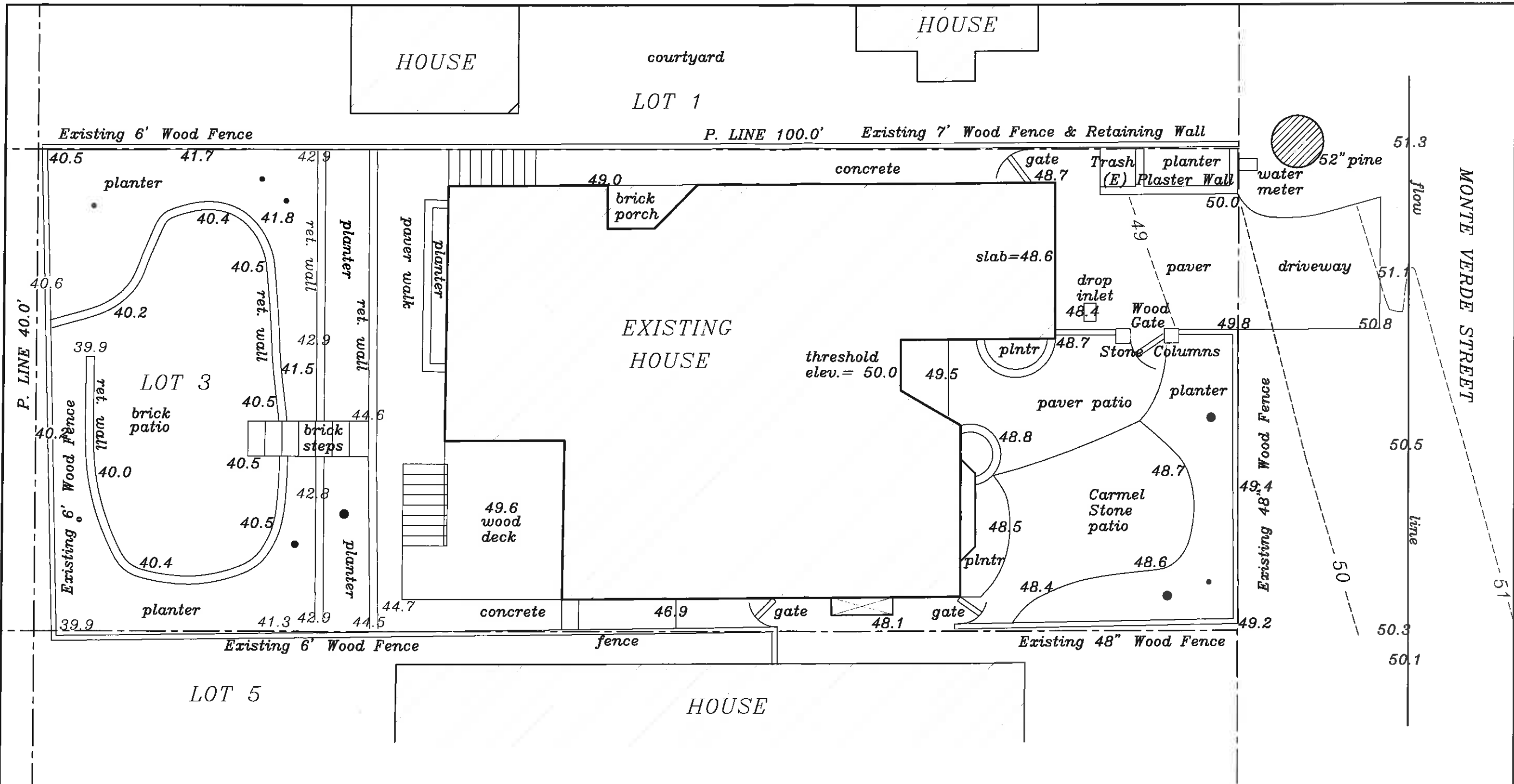
Revisions
10-20-2014

Sheet Number

G-1.1

of Sheets

INDEX-SITE PLAN



DATE	REVISION

Jon Sather Erlandson Architect - C11925
 Junipero St. 2 South West of 4th Ave., Carmel By The Sea
 MAIL: Jon Sather Erlandson, Architect Post Office Box 7108 Carmel, California 93921
 Phone: (831) 625-6163 Facsimile: (831) 625-1578 Email: jon@jonerlandson.com

Debus-Key Residence
 Monteverde St. 2 SW of 9th
 Carmel by The Sea, California

NOTES:

1. Elevation datum is assumed.
2. Points found or set are so indicated, others are shown for reference only.
3. Record data is shown in parenthesis (.....)
4. Check for direction of tree growth in field where pertinent to location of improvements.
5. Distances and elevations are expressed in feet and decimals thereof.
6. Only native trees 6" or larger have been located.
7. Easements may exist that don't show on this map.
8. Relationship of topographic features to boundary lines is approximate.



APN 010-186-017

TOPOGRAPHIC MAP

of Lot 3, Block D, as shown on Map of Addition No. 1 to Carmel-by-the-Sea, Monterey County, California.

Prepared for:

LAURA DEBUS

Jon D. Hagemeyer Licensed Land Surveyor
 Carmel, California.

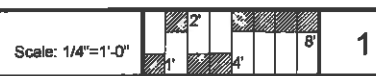
Scale: 1" = 4' W.O. 5622 September, 2013

Job Number 2013-08	Drawn By:
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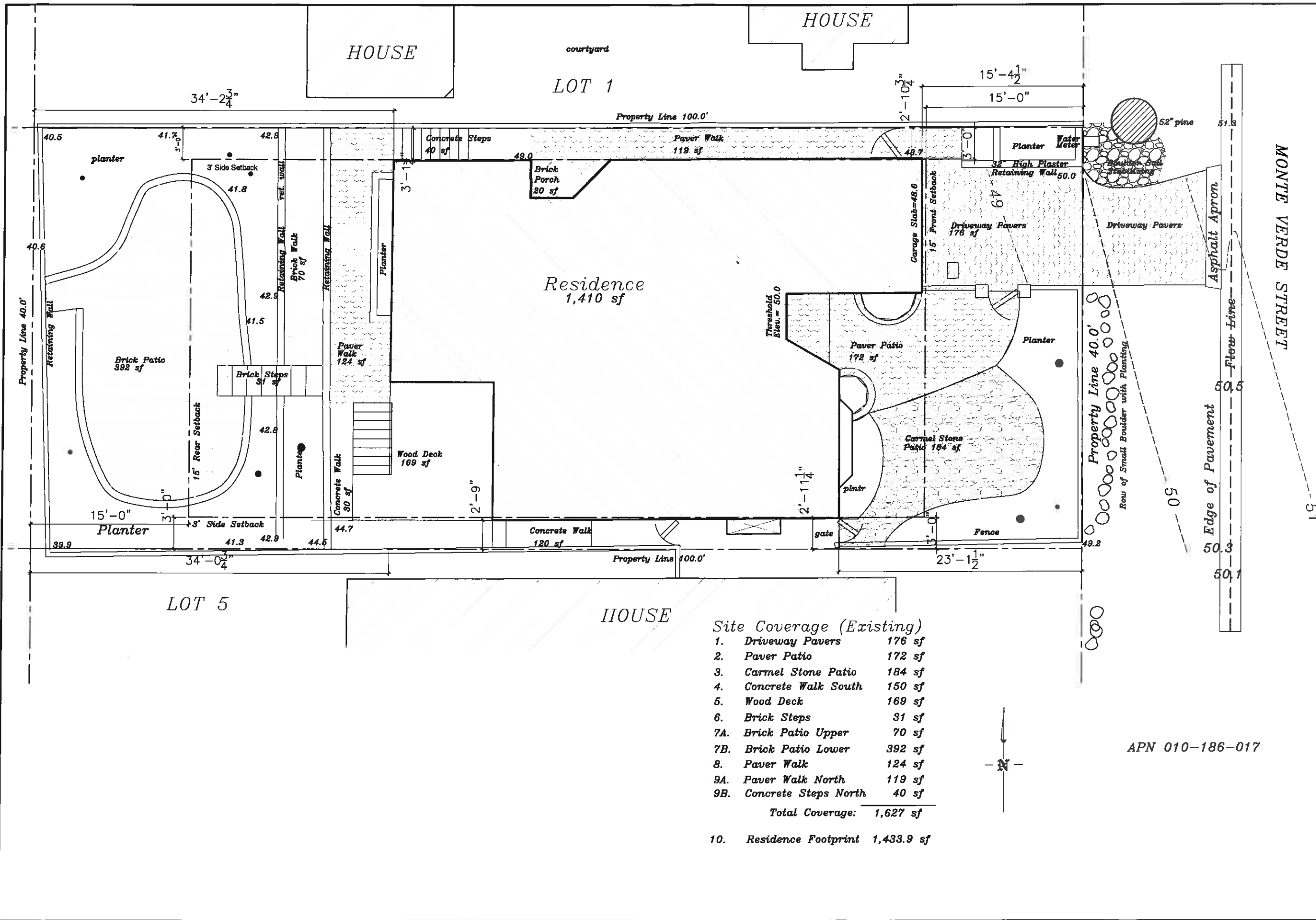
Date 03-18-2014	Revisions 10-20-2014
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SITE SURVEY

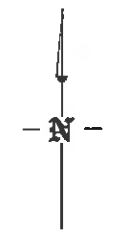


SITE SURVEY 20



Site Coverage (Existing)

1. Driveway Pavers	176 sf
2. Paver Patio	172 sf
3. Carmel Stone Patio	184 sf
4. Concrete Walk South	150 sf
5. Wood Deck	169 sf
6. Brick Steps	31 sf
7A. Brick Patio Upper	70 sf
7B. Brick Patio Lower	392 sf
8. Paver Walk	124 sf
9A. Paver Walk North	119 sf
9B. Concrete Steps North	40 sf
Total Coverage: 1,627 sf	
10. Residence Footprint	1,433.9 sf



APN 010-186-017

EXISTING SITE COVERAGE

Scale: 1/4"=1'-0"

1

DATE	REVISION

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Debus-Key Residence
 Monteverde St. 2 SW of 9th
 Carmel by The Sea, California


Job Number 2013-08	Drawn By:
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Date 03-18-2014	Revisions 10-20-2014
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Sheet Number
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 of Sheets

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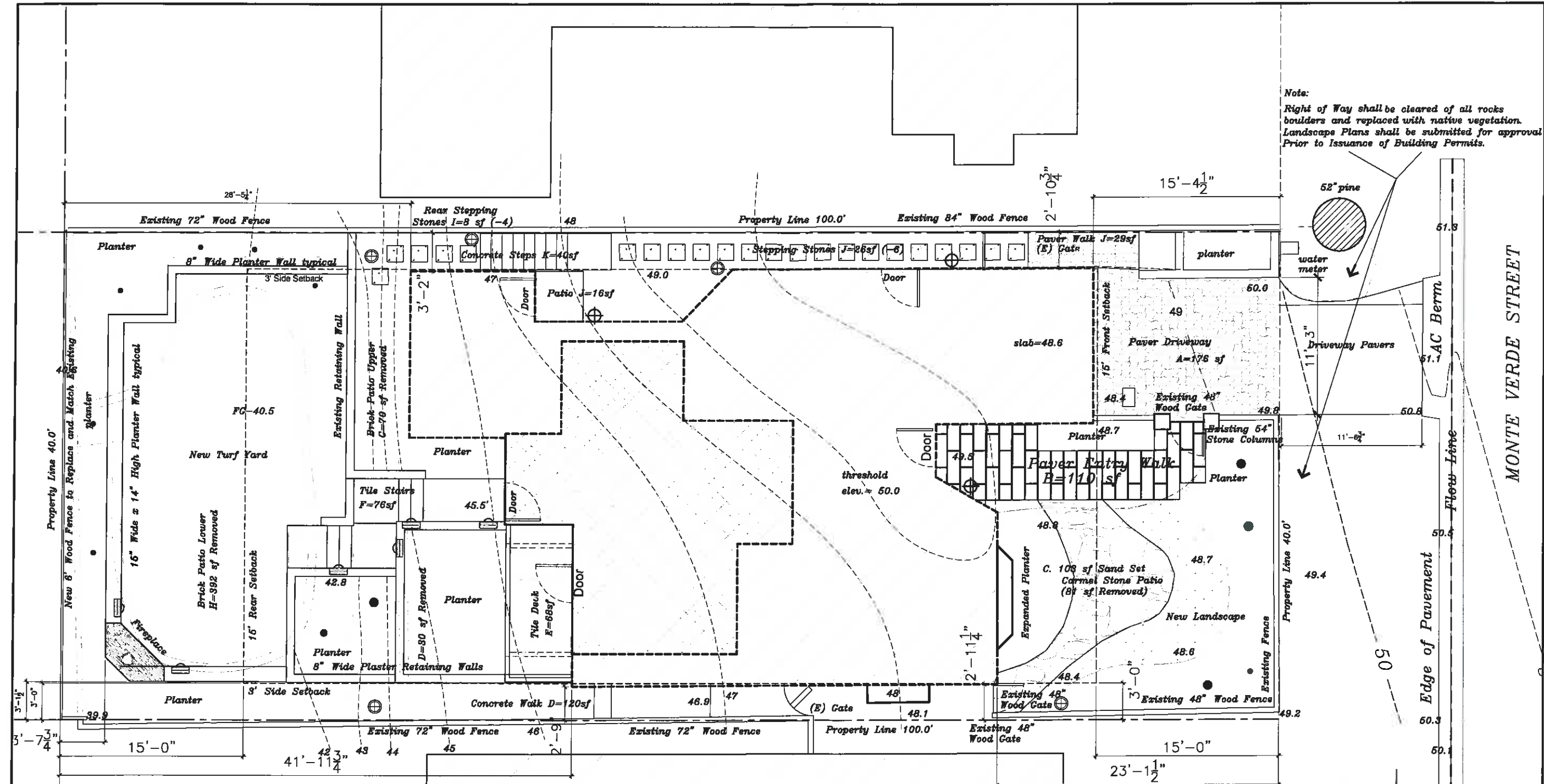
Debus-Key Residence
 Monteverde St. 2 SW of 8th
 Carmel by The Sea, California

Job Number: 2013-08
 Drawn By: [Signature]

Date: 03-18-2104
 Revisions: 9-16-2014

Sheet Number: **C-1.3**
 of: [Blank] Sheets

PROPOSED SITE PLAN 22



Note:
 Right of Way shall be cleared of all rocks boulders and replaced with native vegetation. Landscape Plans shall be submitted for approval Prior to Issuance of Building Permits.




Site Coverage (Existing)

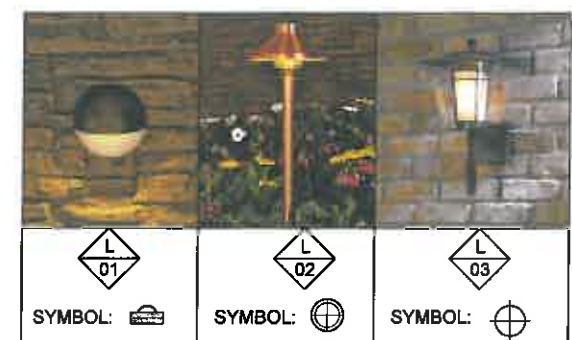
1. Driveway Pavers	176 sf
2. Paver Patio	172 sf
3. Carmel Stone Patio	184 sf
4. Concrete Walk South	150 sf
5. Wood Deck	169 sf
6. Brick Steps	31 sf
7A. Brick Patio Upper	70 sf
7B. Brick Patio Lower	392 sf
8. Rear Paver Walk	124 sf
9A. North Pavers & Porch	119 sf
9B. Concrete Steps North	40 sf
Total Coverage:	1,627 sf

Site Coverage (Proposed)

A. Driveway Pavers	176 sf
B. Paver Entry Patio	110 sf (62 sf Reduced) (-30)
C. Carmel Stone Patio	103 sf (81 sf Removed)
D. Concrete Walk South	120 sf (30 sf Removed)
E. Tile Deck	68 sf (101 sf Reduced)
F. Tile Steps	76 sf (-45 sf Increase)
G. Brick Patio Upper	0 sf (70 sf Removed)
H. Brick Patio Lower	0 sf (392 sf Removed)
I. Rear Stepping Stones	9 sf (115 sf Reduced)
J. North Pavers & Porch	71 sf (48 sf Reduced)
K. Concrete Steps North	40 sf
L. Backyard Fireplace	16 sf (-16 sf Increase)
Total Coverage:	789 sf (838 sf Reduced)

SITE LIGHTING SYMBOLS:

-  BRONZE RECESSED DOWN LIGHT, 15 WATT MAXIMUM
-  PEDESTAL DOWN-LIGHT, 15 WATTS MAXIMUM
-  WALL MOUNTED DOWN-LIGHT 25 WATTS MAXIMUM.



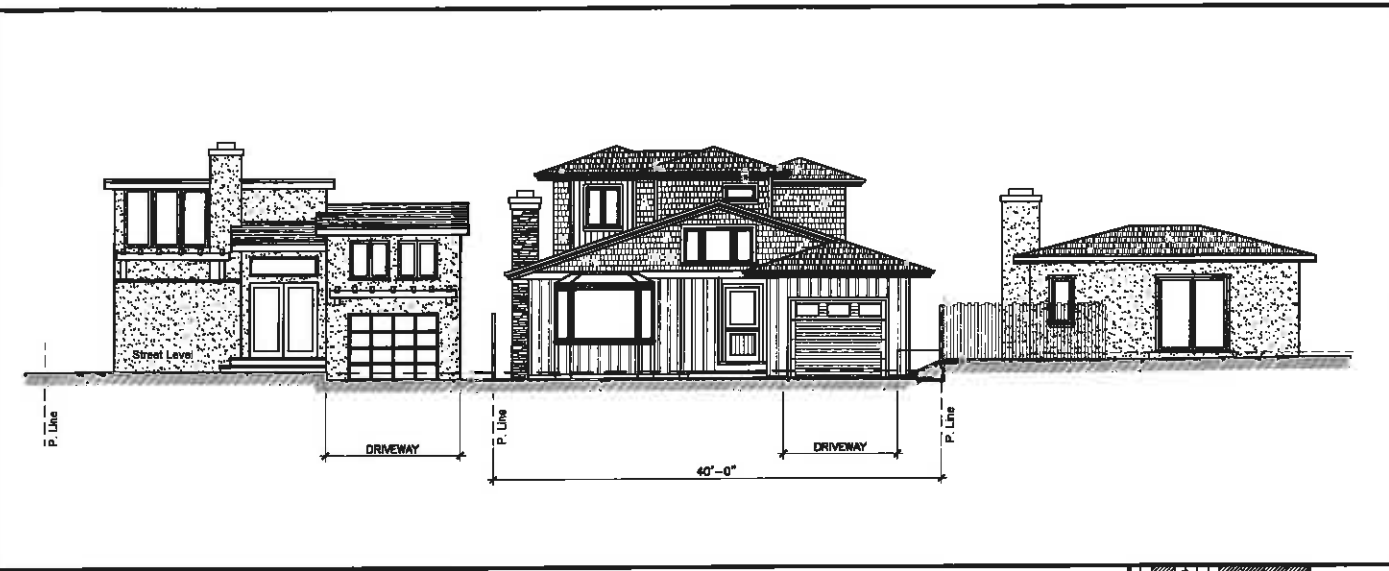
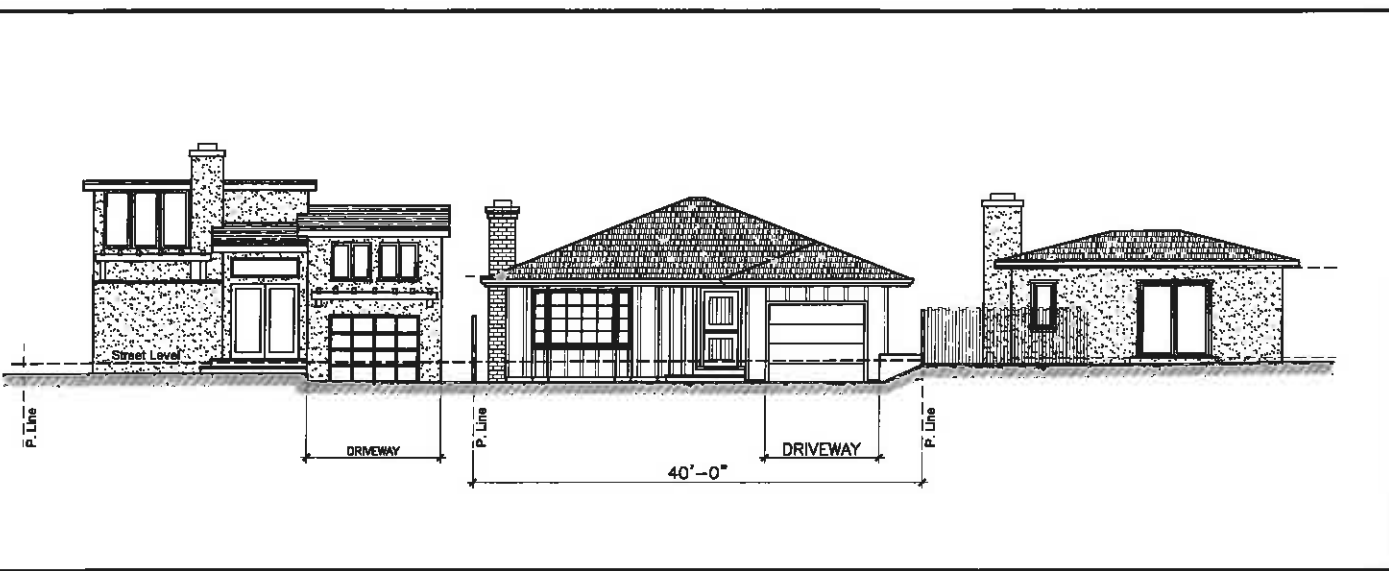
PROPOSED SITE LIGHTING

PROPOSED SITE PLAN

Scale: 1/4"=1'-0"



DATE	REVISION



EXISTING STREET PROFILE

Scale: 1/8"=1'-0"



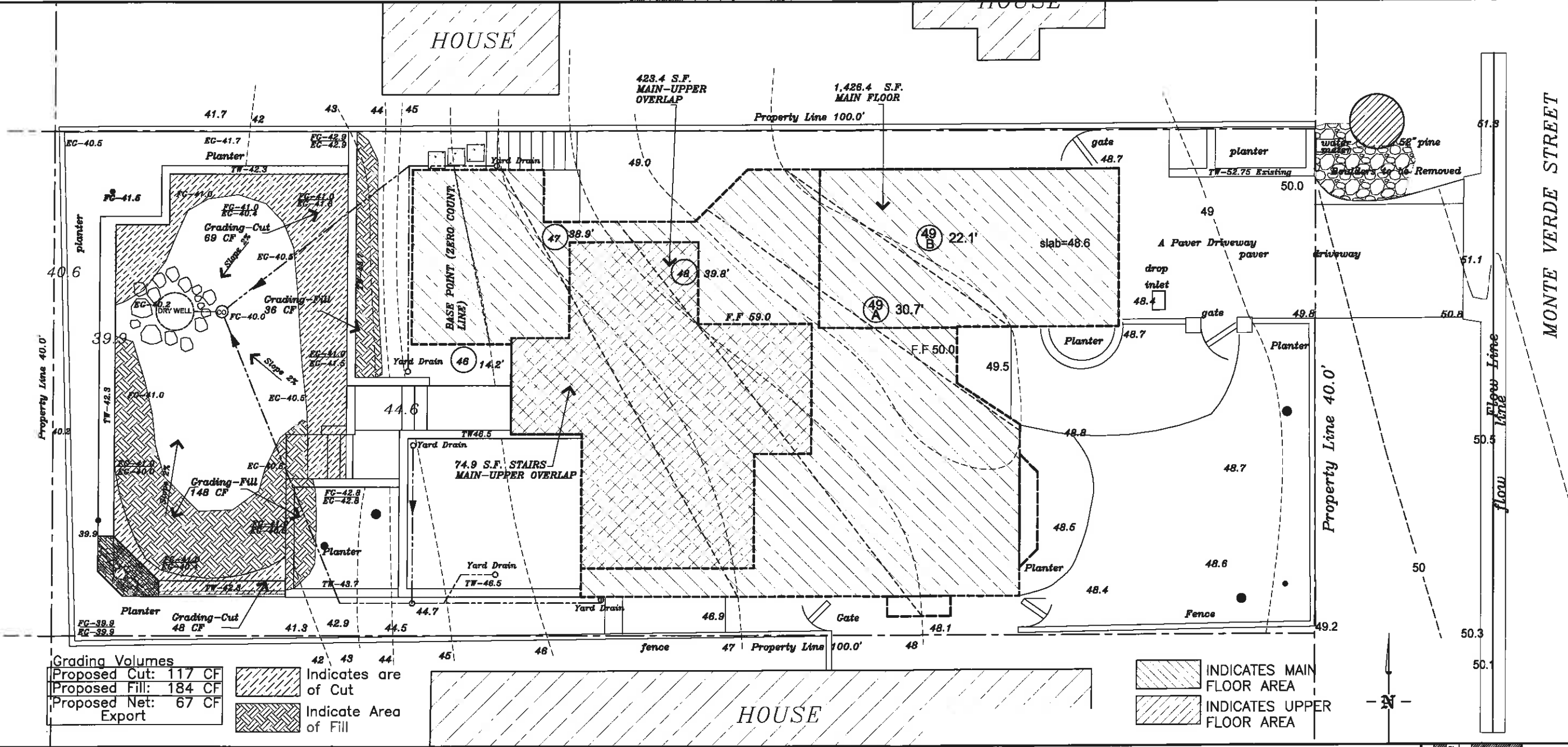
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PROPOSED STREET PROFILE

Scale: 1/8"=1'-0"



2



Grading Volumes

Proposed Cut: 117 CF
Proposed Fill: 184 CF
Proposed Net: 67 CF Export

Indicates are of Cut
Indicate Area of Fill

INDICATES MAIN FLOOR AREA
INDICATES UPPER FLOOR AREA

PROPOSED FLOOR MAP PLAN & GRADING PLAN

Scale: 1/4"=1'-0"



3

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Debus-Key Residence
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 Carmel by The Sea, California

Job Number: 2013-08
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Date: 03-18-2014
 Revisions: 10-20-2014

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PROPOSED FLOOR MAP

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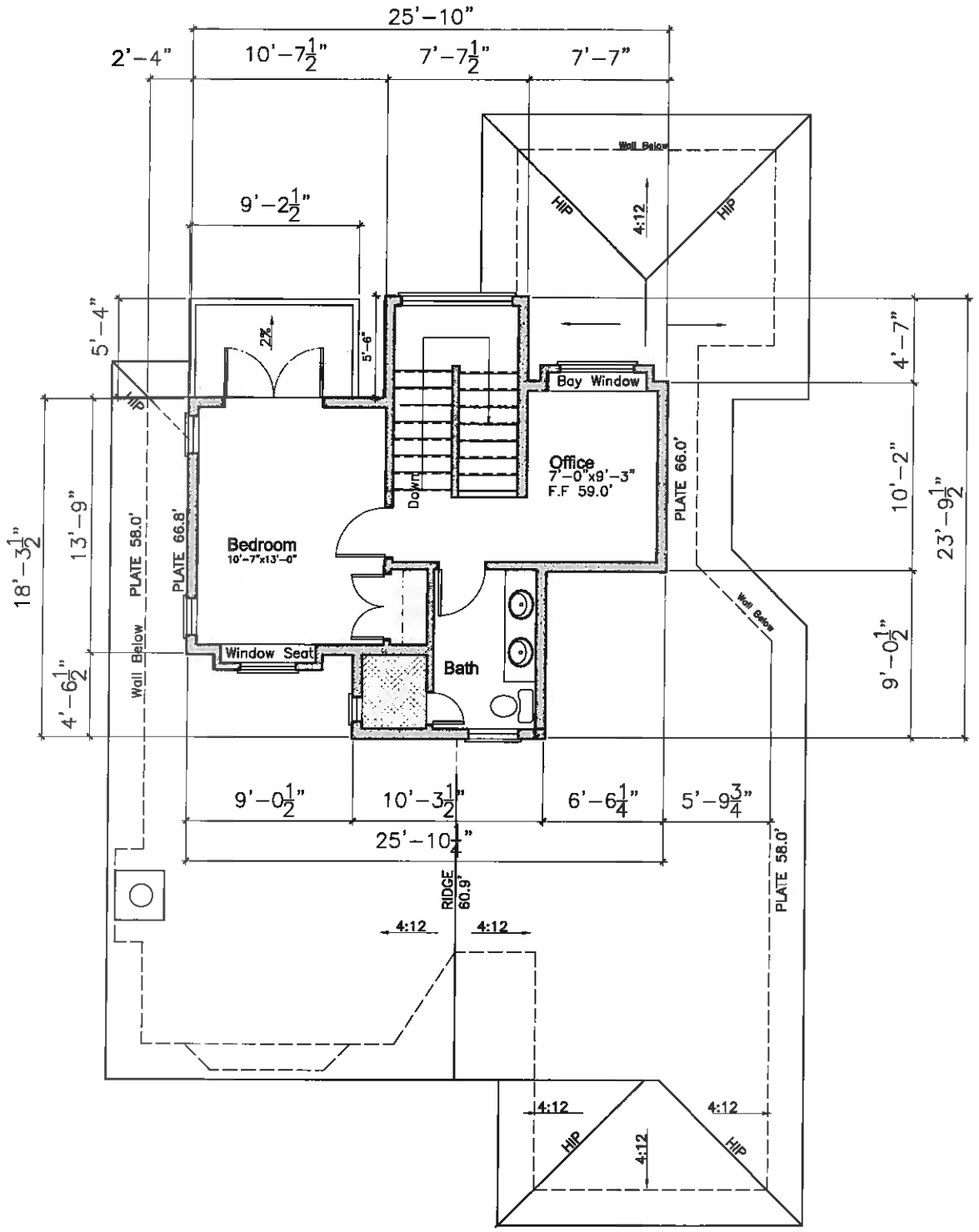
Debus-Key Residence

Carmel by the Sea, California
 Monteverde St. 2 SW of 8th

Job Number: 2013-08
 Drawn By:

Date: 03-18-2014
 Revisions: 10-20-2014

Sheet Number:
A-1.1
 of Sheets

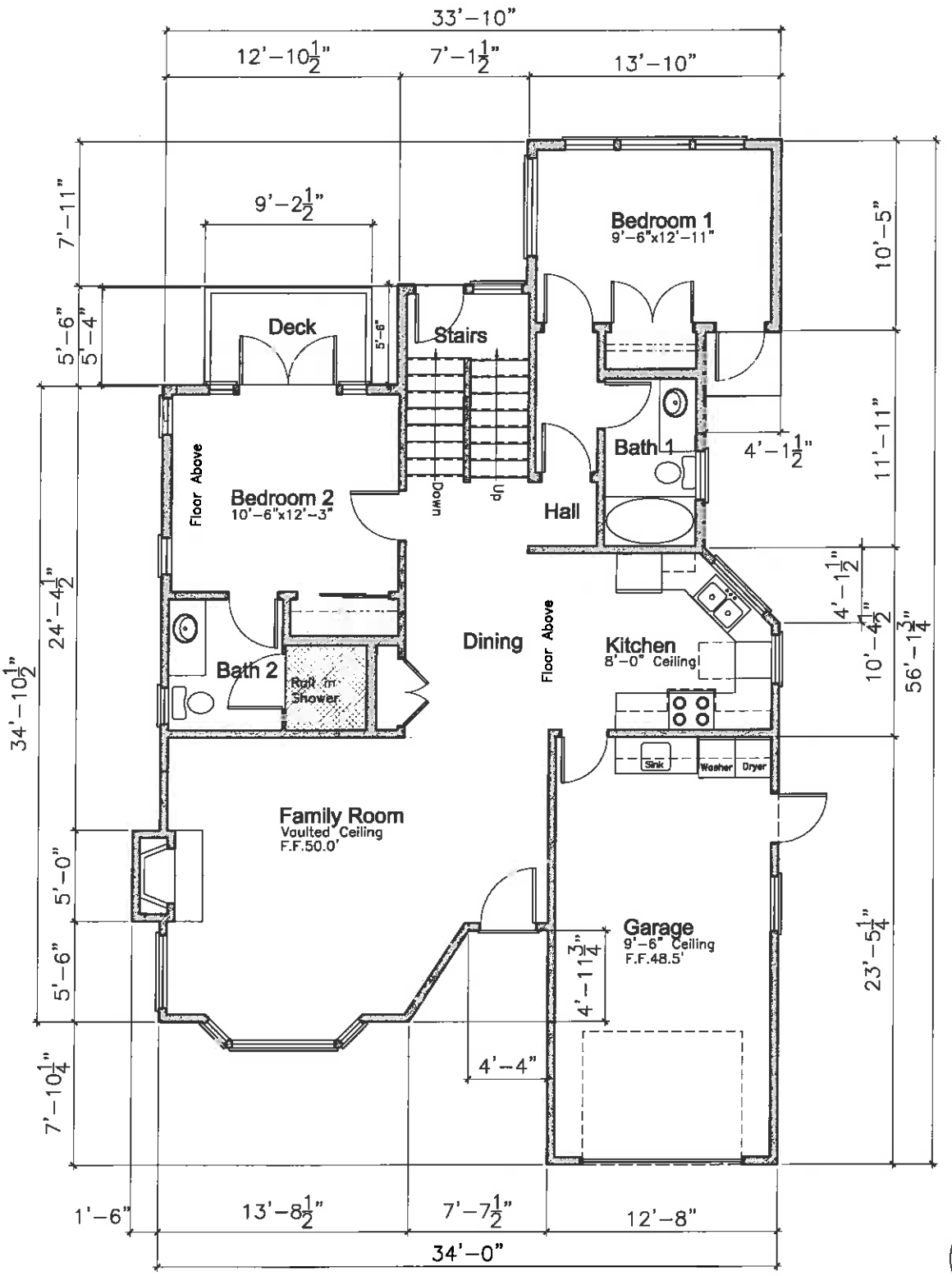


GROSS Second Floor Area: 423.4 SF
 Second Floor Stairs: 74.9 SF
 NET Second Floor Area: 348.5 SF



PROPOSED SECOND FLOOR PLAN

Scale: 1/4"=1'-0"



First Floor Living: 1,128.4 SF (excludes Fireplace)
 Garage Area: 298.0 SF
 1st Floor Total: 1,426.4 SF
 2nd Floor Total: 348.5 SF (excludes Bay Windows)
 Total Building: 1,774.9 SF
 Fireplace: 7.5 SF
 Bay Windows: 10.1 SF
 Total for Volume: 1,792.5 SF



PROPOSED FIRST FLOOR PLAN

Scale: 1/4"=1'-0"

DATE	REVISION

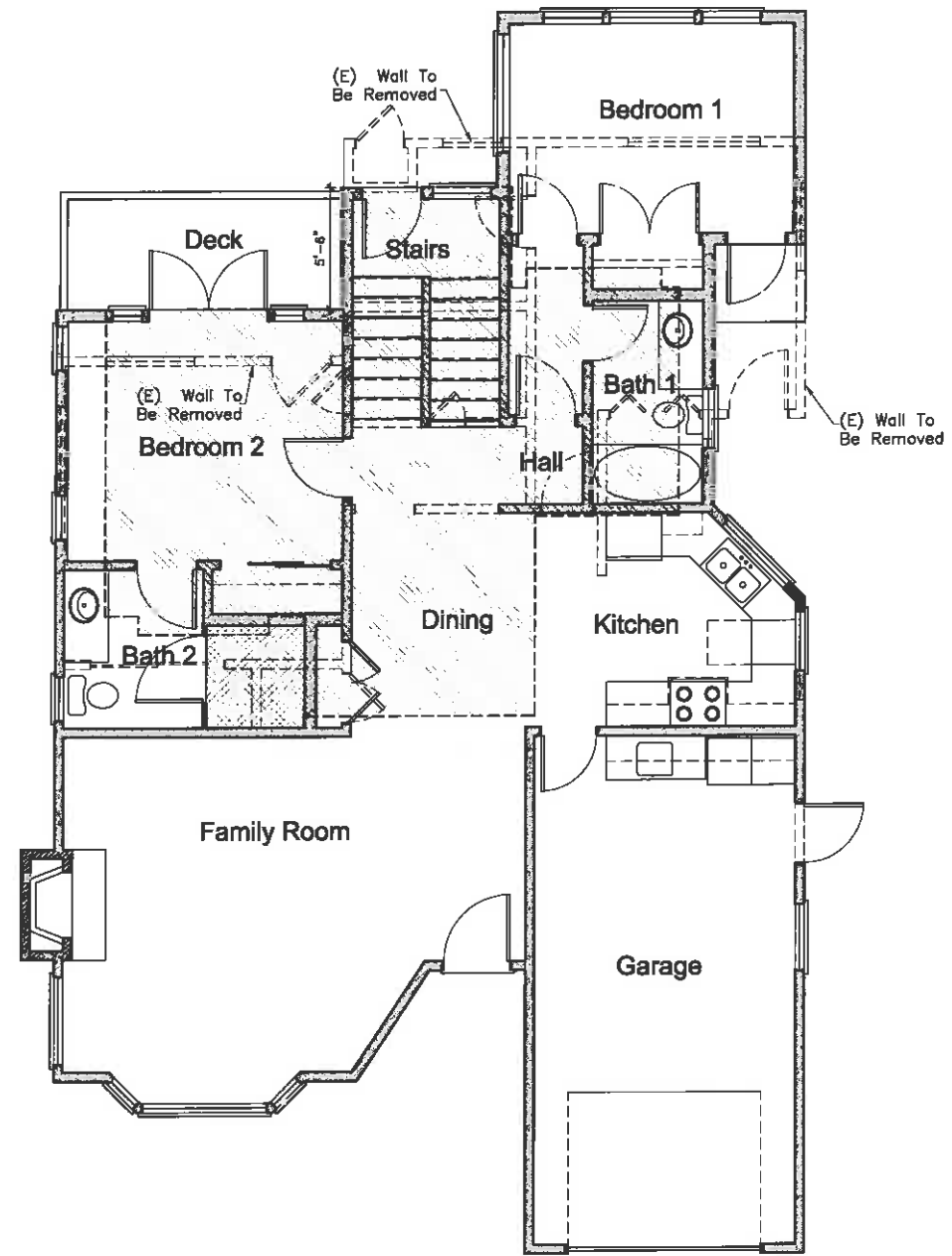
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Debus-Key Residence
 Carmel by the Sea, California

Montavere St. 2 SW of 8th



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2013-08

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10-20-2014

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PROPOSED DEMOLITION PLAN

Scale: 1/4"=1'-0"



1

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Montevideo St. 2 SW of 8th
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Job Number
2013-08

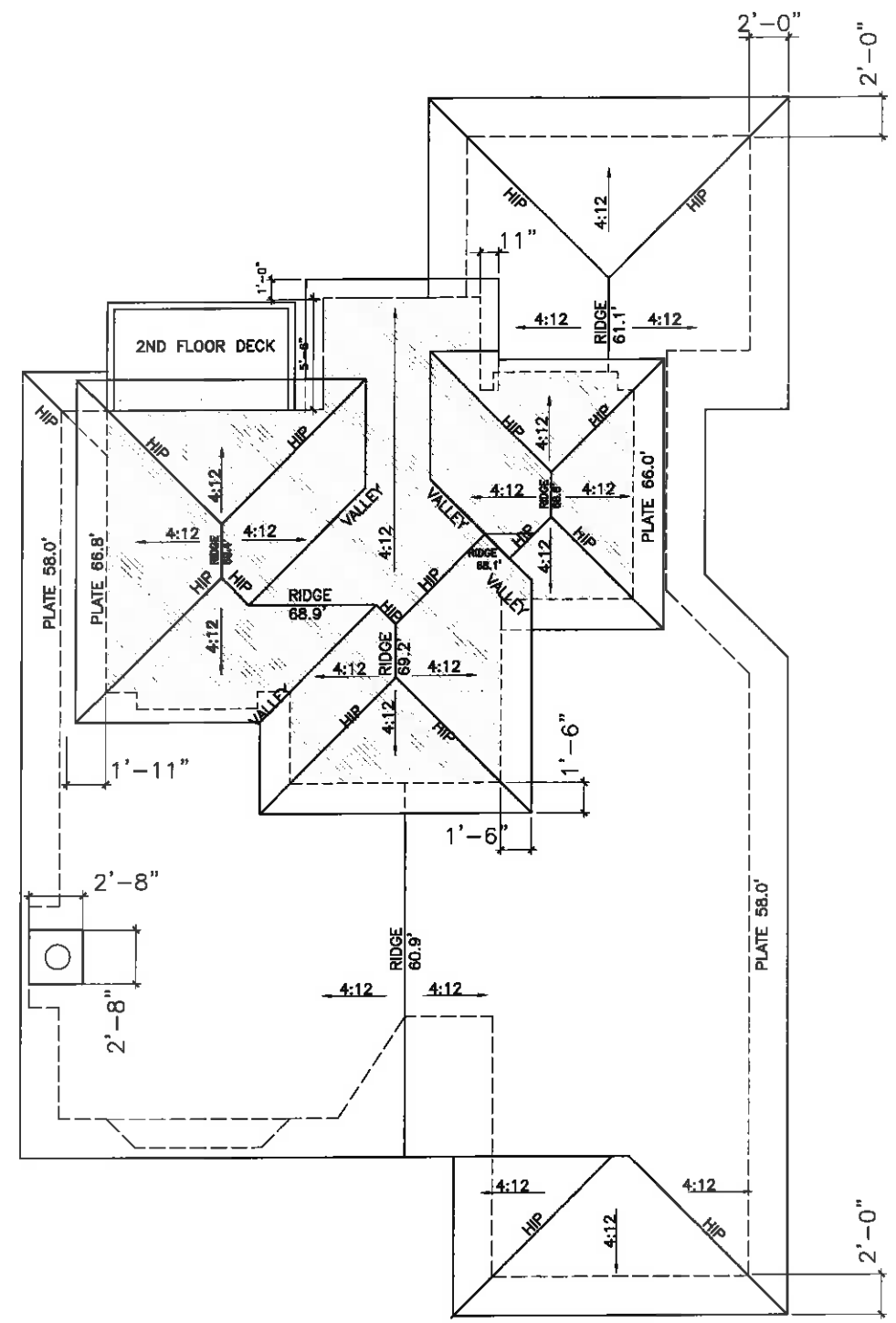
Drawn By:

Date
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Revisions
10-20-2014

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PROPOSED ROOF PLAN 26



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Debus-Key Residence
 Monteverde St. 2 SW of 8th
 Carmel by The Sea, California

Job Number
2013-08

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Date
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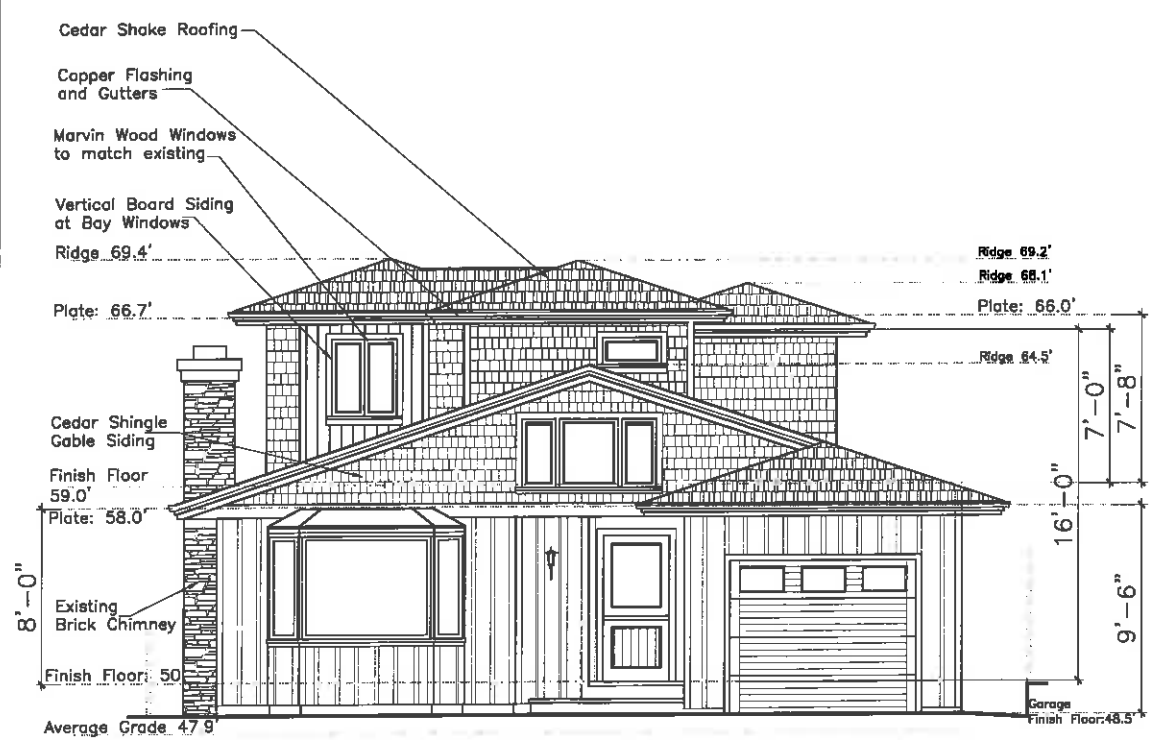
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 of Sheets

EXTERIOR ELEVATIONS 27



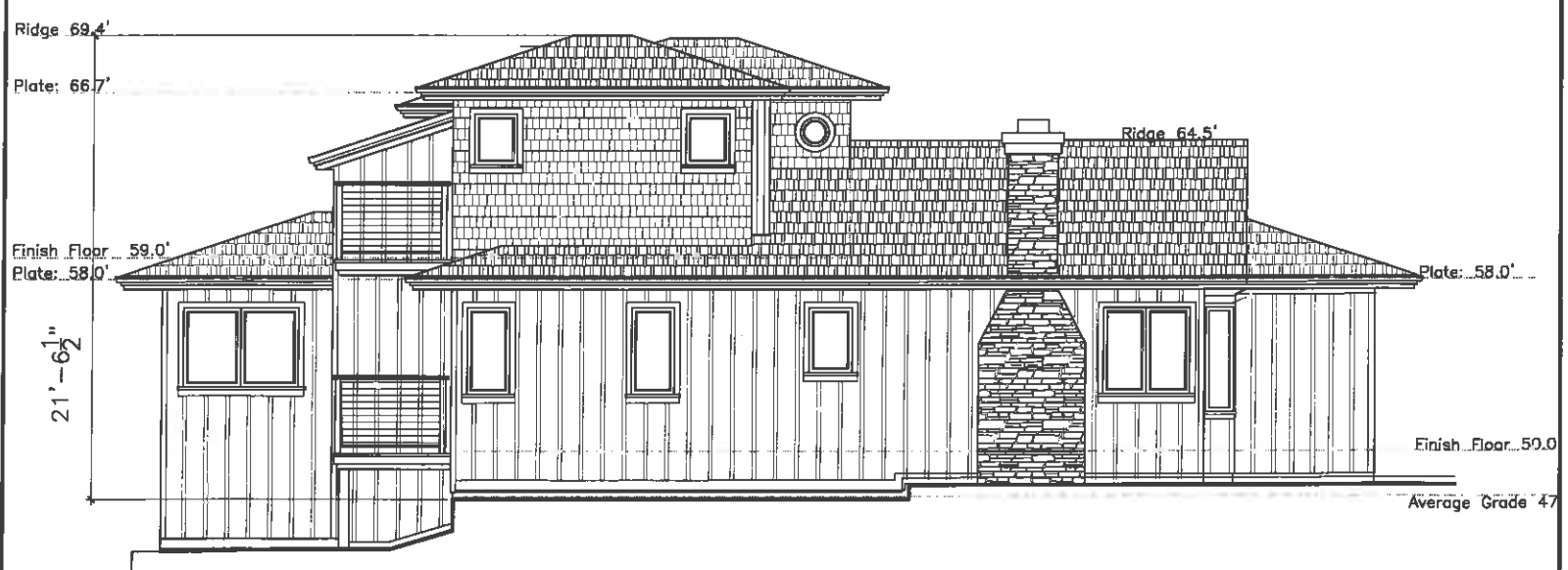
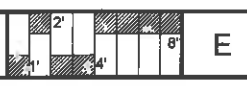
PROPOSED NORTH EXTERIOR ELEVATION

Scale: 1/4"=1'-0"



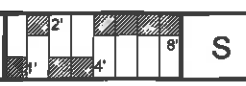
PROPOSED EAST EXTERIOR ELEVATION

Scale: 1/4"=1'-0"



PROPOSED SOUTH EXTERIOR ELEVATION

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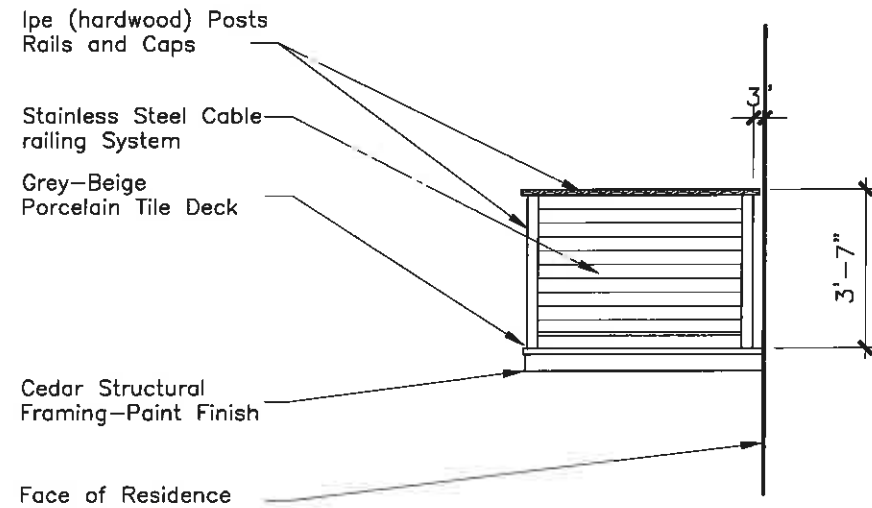


PROPOSED WEST EXTERIOR ELEVATION

Scale: 1/4"=1'-0"



DATE	REVISION

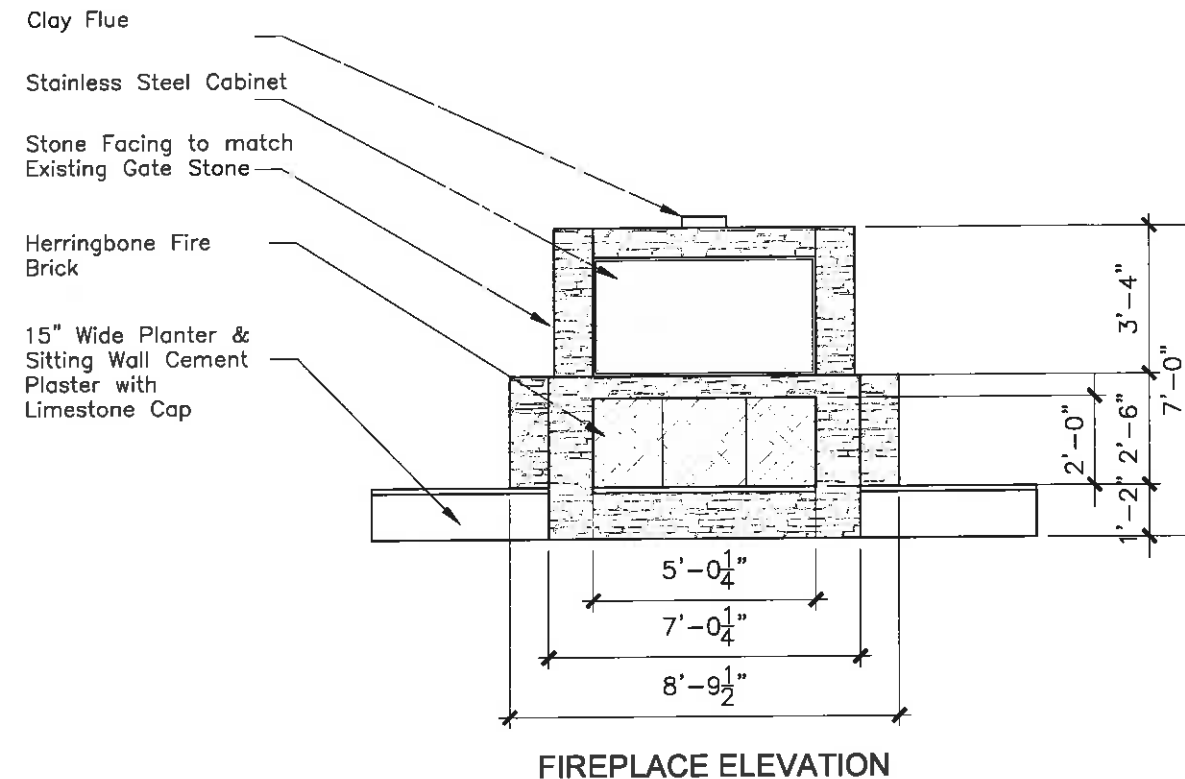
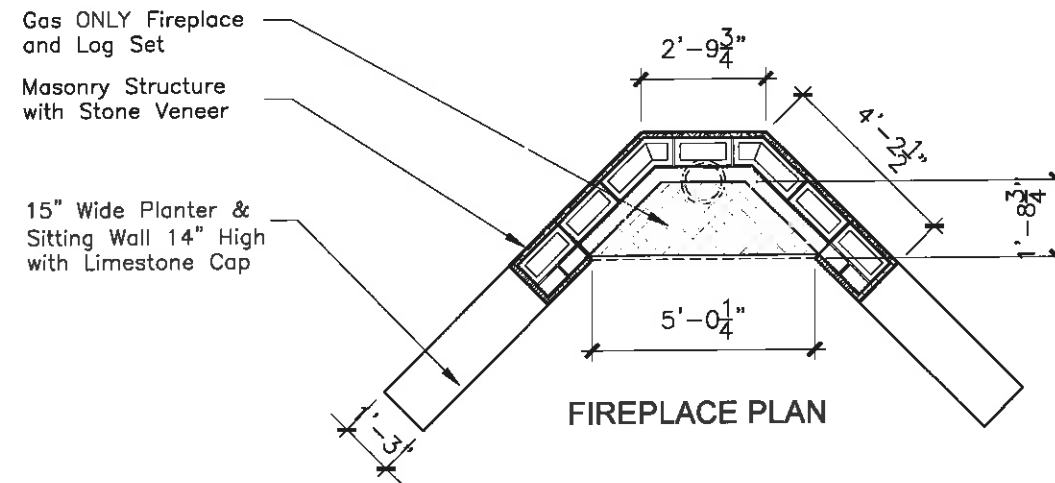


DECK HANDRAIL DETAIL

Scale: 1/2=1'-0"



1

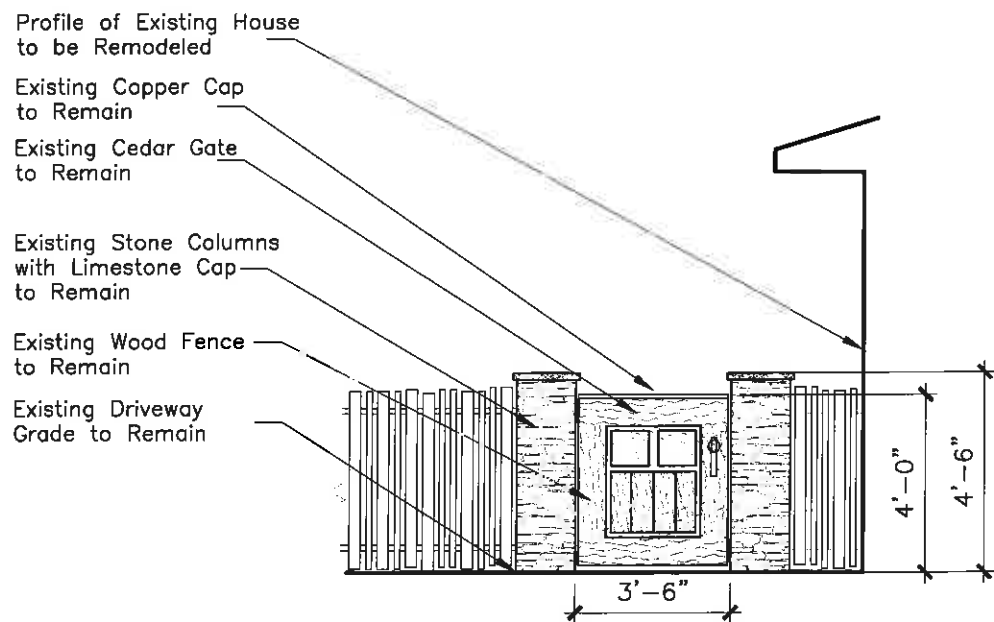


PROPOSED OUTDOOR FIREPLACE DETAILS

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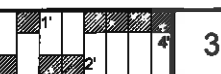


2



ELEVATION of EXISTING ENTRY GATE, COLUMNS and FENCE

Scale: 1/2=1'-0"



3

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Montevideo St. 2 SW of 8th
Carmel by The Sea, California

Job Number
2013-08

Drawn By:

Date
03-18-2014

Revisions
10-20-2014

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A-3.1
of: Sheets

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Debus-Key Residence

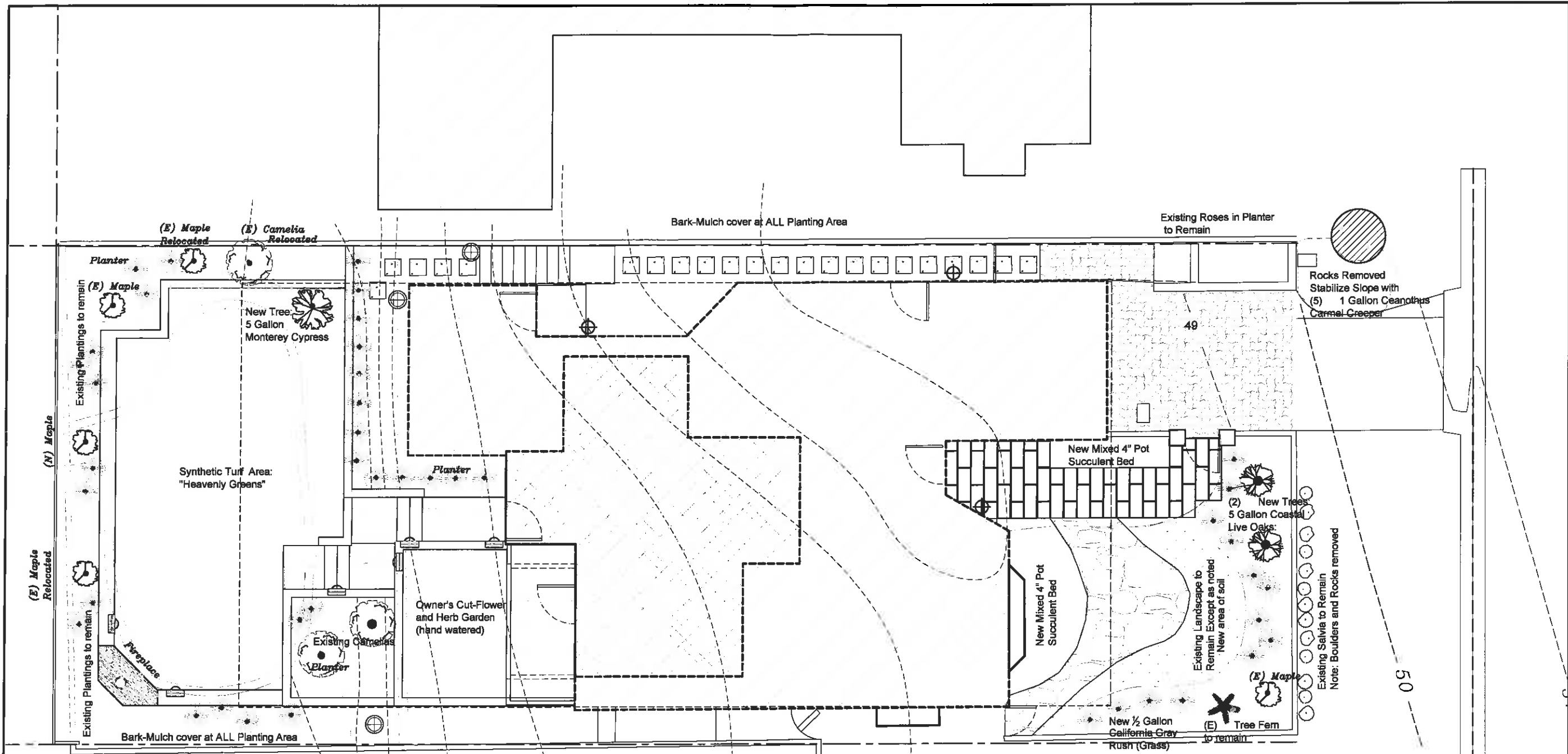
Monteverde St. 2 SW of 8th
 Carmel by The Sea, California

Job Number: 2013-08
 Drawn By:

Date: 03-18-2104
 Revisions: 10-20-2014

Sheet Number: **L-1.1**
 of: Sheets

LANDSCAPE PLAN 29

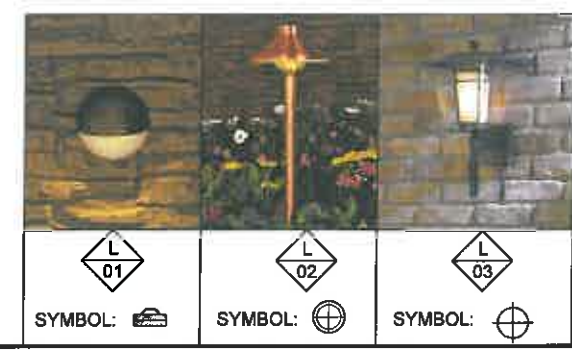


PLANT SYMBOL:
 New 1/2 Gallon California Gray Rush (Grass)

- LANDSCAPE and IRRIGATION NOTES
- Existing Landscapes shall remain unless specifically Designated otherwise hereon.
 - Install bark-mulch cover at ALL Planting and exposed soil areas.
 - All planting areas shall have drip irrigation unless specifically designated otherwise.
 - Irrigation Controller shall be equipped with a rain-sensor.

SITE SYMBOLS:

- BRONZE RECESSED DOWN LIGHT, 15 WATT MAXIMUM
- PEDESTAL DOWN-LIGHT, 15 WATTS MAXIMUM.
- WALL MOUNTED DOWN-LIGHT 25 WATTS MAXIMUM.



PROPOSED SITE LIGHTING

PROPOSED LANDSCAPE PLAN

Scale: 1/4"=1'-0"



1



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OCT 22 2014

City of Camel-by-the-Sea
Planning & Building Dept.



- 2) Convert pillars, located on both sides of the existing stucco seat wall, into planters
- 3) Replace existing leggy Escallonia hedge with a new hedge, that will be a minimum of 6 ft tall at installation and be maintained to keep the seat wall clear of branches
- 4) Rejuvenate all planting areas with organic compost, loosening the existing compacted soil to a minimum of 12 inches depth
- 5) Plant new trees
- 6) Powerwash existing patio flagstone per City of Carmel specifications
- 7) Install a new carved redwood memorial sign to honor the founders of the garden
- 8) Coordinate planting efforts with the City's ramp remodel efforts
- 9) Repair any broken light fixtures
- 10) Upgrade the irrigation to include the purchase and installation of an ET Smart Controller and weather station as well as replacing the existing, broken irrigation emitters with new drip irrigation lines and emitters for water conservation.

Staff analysis:

The proposed project is consistent with the City's General Plan/Coastal Land Use Plan. Objective 07-1 of the Open Space and Conservation Element states: "Use, maintain and enhance publicly owned land for the benefit of Carmel residents." The purpose of the proposed Garden Refurbishing Plan is to maintain and enhance the garden within Piccadilly Park by replacing unhealthy plants with new plants, rejuvenating the soil, and adding new small trees. The project does not include the removal of existing trees, but will involve thinning the Redwood and Catalina Ironwood trees and removing dying or dangerous branches. Minor alterations to the hardscape within the park include the removal of the stucco cap on the existing half-circle seat wall at the west end of the park, and the replacement of this seat wall with a veneer Carmel stone wall. In addition, the existing pillars at both ends of this wall would be converted into planters.

The purpose of the Garden Refurbishing Plan is to maintain and enhance the park, but to also more closely reflect the original plan for Piccadilly Park prepared by Walter Guthrie. The proposed project does not include the ramp remodel project being coordinated by the City; however, the maintenance and enhancement of the landscaping near the ramp will be coordinated with the ramp remodel project.

The applicant is proposing a new memorial sign (See Note #9 on the plan) that would honor the founders of the garden. Staff will review the new memorial sign when the applicant submits for the Sign Application. The applicant has indicated that the new redwood sign would be smaller, but similar in design to the existing "Welcome to Piccadilly Park" sign located at the park's entrance.

The City Forester has reviewed the refurbishing plan and finds it acceptable.

The project does not involve construction or reconstruction in a public way, specifically the Dolores ROW, and therefore does not require consistency review with the City's Policy and Standards for Public Way Design.

Staff asks the Planning Commission to review the Piccadilly Park Garden Refurbishing Plan and offer recommendations on the proposal before staff completes the review of the project.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Garden Refurbishing Plan

Attachment A – Site Photographs

Linear greenbelt in the Dolores ROW, east of Piccadilly Park



Entrance to Piccadilly Park, looking southwest.



Existing sign, "Welcome to Piccadilly Park"



Looking west at Piccadilly Park from the sidewalk



DATE:

09-15-2014

SCALE:

1/4" = 1'-0"

DRAWN BY:

MCW

PROJECT TITLE:

Piccadilly Park
Lot 11, Block 75

Dolores Westside
between Ocean & 7th
Carmel-by-the-Sea, CA
APN: 010-147-019



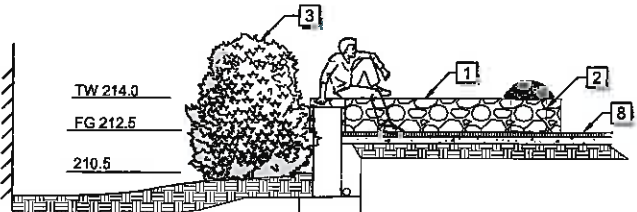
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GARDEN
REFURBISHING
PLAN

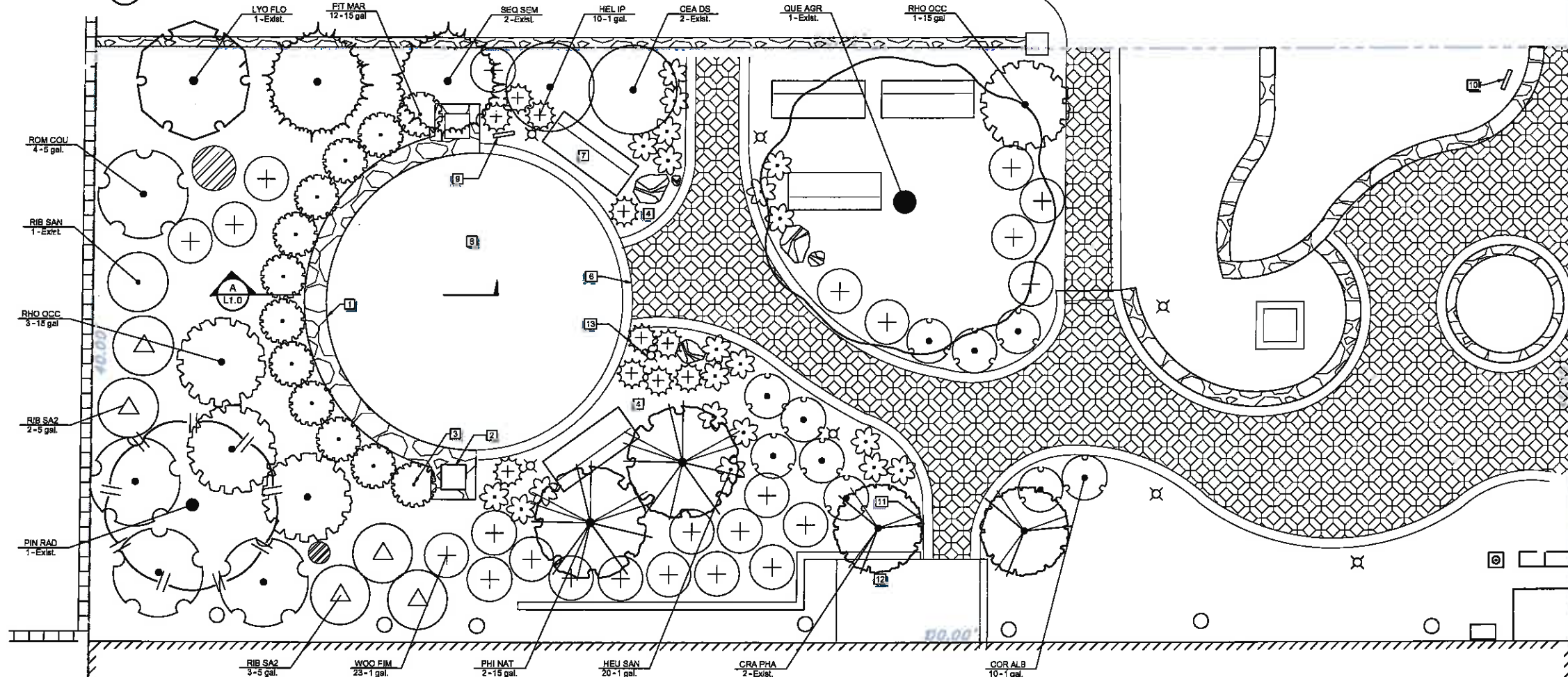
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SHEET #

L1.0



(A) SECTION AT FLAGSTONE TERRACE



(B) PLAN VIEW

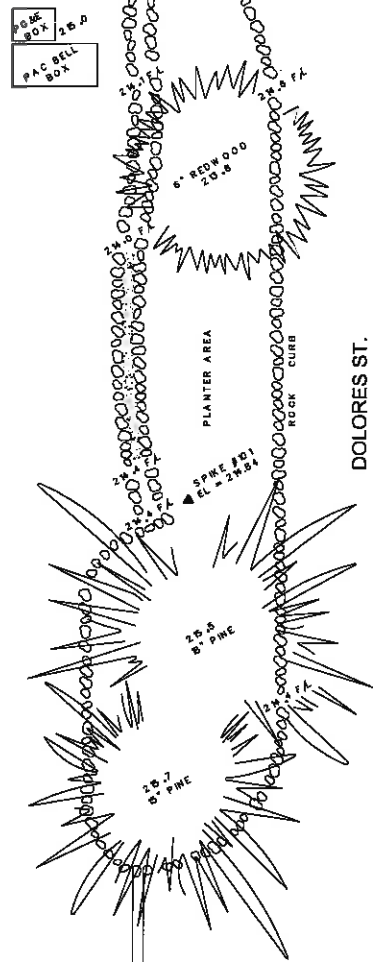
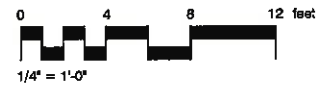
NOTES:

Base map:
No formal legal survey was taken. This preliminary plan is prepared on a hand-drafted base map and may not be to scale. This plan is conceptual and is not intended to be used as a construction document.

Existing Plant Material:
Existing trees and shrubs shown on this map shall remain and be protected. Existing Pine tree, Redwood trees and the Catalina Ironwood tree shall be thinned and any dying or dangerous branches shall be removed.

Tree and Shrub Planting:
Tree and shrub selection shall consider the original plant palette by previous landscape architect Walter Guthrie, but take in account the increased size of shady areas because of matured existing trees.

Irrigation Repair:
Irrigation upgrade shall include the purchase and installation of an ET Smart Controller and weather station as well as replacing the existing, broken irrigation emitters with new drip irrigation lines and emitters for water conservation.



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Existing seat wall; remove existing cap and veneer wall with Carmel stone, as intended by previous landscape architect
2	Convert pillars into planters
3	Replace existing leggy Escallonia hedge with a new hedge, that shall be min. 6 ft. tall at installation (to omit guard rail) and be maintained to keep seat wall clear of branches
4	Rejuvenate all planting areas with organic compost, loosening the existing compacted soil to a min. of 12 inches depth
7	Existing bench, typ.
8	Powerwash existing patio flagstone per City of Carmel specifications
9	Carved redwood memorial sign; match existing signage style.
10	Existing handcarved sign
11	Coordinate planting efforts with ramp remodel efforts by City of Carmel.
12	Existing irrigation controller location
13	Repair any broken light fixtures

PLANT SCHEDULE

TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT.
CRA PHA	2	Washington Hawthorn / Crataegus phenopyrum	Exist.
LYO FLO	1	Catalina Ironwood / Lyonothamnus floribundus	Exist.
PHI NAT	2	Natchez Mock Orange / Philadelphus x virginialis 'Natchez' alt. Cornus florida 'Eddie's White Wonder'	15 gal.
PIN RAD	1	Monterey Pine / Pinus radiata	Exist.
QUE AGR	1	Coast Live Oak Multi-Trunk / Quercus agrifolia	Exist.
SEQ SEM	2	Coast Redwood / Sequoia sempervirens	Exist.
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT.
CEA DS	2	California Lilac / Ceanothus x 'Dark Star'	Exist.
COR ALB	10	White Correa / Correa alba	1 gal.
HEL IP	10	Hellebore / Helleborus x nigerrimithil 'Ivory Prince'	1 gal.
HEU SAN	20	Coral Bells / Heuchera sanguinea 'White Cloud'	1 gal.
PIT MAR	12	Tawhiwhi / Pittosporum tenuifolium 'Marjorie Channon'	15 gal.
RHO OCC	4	Western Azalea / Rhododendron occidentale	15 gal.
RIB SA2	5	Red Flowering Currant / Ribes sanguineum	5 gal.
RIB SAN	1	Red Flowering Currant / Ribes sanguineum	Exist.
ROM COU	4	Maille Poppy / Romneya coulteri	5 gal.
WOO FIM	23	Giant Chain Fern / Woodwardia fibrata	1 gal.



EXISTING CARMEL STONE WALL TO BE MATCHED TO FACE EXISTING CIRCULAR SEATWALL



EXISTING SIGN DESIGN TO BE MATCHED WITH NEW SIGN

RECEIVED

SEP 15 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

DR-14-27C



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

November 12, 2014

To: Chair Reimers and Planning Commissioners
From: Rob Mullane, AICP, Community Planning and Building Director *RM*
Subject: Consideration of a Temporary Sign Permit (SI 14-42) for the Carmel Public Library Foundation in the Park Overlay (P) Zoning District

Recommendation:

Review Sign Application (SI 14-42) and approve the application or direct revisions

Application: SI 14-42 **APN:** 009-530-004
Block: U.S. **Lots:** 39
Location: Southwest side of Rio Road at Ladera Drive
Applicant: Amy Donohue, Carmel Public Library Foundation
Property Owner: Roman Catholic Diocese of Monterey

Background and Project Description:

The Larson Field fence along the southwest side of Rio Road has historically been used for display of banners. In recent months, staff has noted an increase in banner display activity over and above what has historically been permitted on the site. Community Planning and Building staff have worked cooperatively with the staff from the Carmel Mission Basilica, which owns the Larson Field property, to address non-compliant banners and adhere to the previously-established limits on banner display.

The controlling permit for the banner displays at the Larson Field fence is SI 04-15. This permit was issued in October 2004, and allowed up to 5 banners to be displayed each year with each display up to 15 days. It did not allow simultaneous display of two or more banners. As part of the permit approval and as noted in the staff report (included as Attachment A), a list of requested banner displays over a 2-year period was identified. The list included the following banner display organizations:

- Friends of Harrison Memorial Library (August)
- Church of the Wayfarer (April)
- All Saints Episcopal Church (2 displays: late October, and November)
- Temple Beth Israel (September display)

The 2004 permit had a 2-year duration, with the understanding that the permit would be reviewed and potentially re-approved by the Commission for subsequent 2-year periods. Staff was unable to locate any such subsequent permit requests or approval.

In 2013, a separate banner display request (SI 13-06) was processed and approved. That request was from the Carmel Public Library Foundation and was for a banner display for a fundraising event for the Foundation. SI 13-06 was reviewed by both the Planning Commission and the City Council, and was approved by the Council on April 2, 2013. The approval included four conditions of approval, including a limitation on the size to 8ft by 3 ft, the use of a non-shiny fabric (with vinyl specifically prohibited), and a display period of 30 days. The approval was for a single event/display, rather than an annual or repeated display. The City Council staff report for SI 13-06 is included as Attachment B.

Over the last year or so, City staff has been working with staff from the Carmel Mission Basilica to address unpermitted banner displays at the Larson Field fence. After researching the permit history for the Larson Field fence banner displays, City staff encouraged the Carmel Mission Basilica staff to submit a new application for a banner display program as was done in 2004. In early October of this year, City staff informed the Carmel Mission Basilica staff that no further banner displays would be allowed for the rest of the calendar year, as the banner display for 2014 far exceeded 5 displays, which was the annual limit last established by a City permit.

On October 30, 2014, City staff noted a new banner had been installed: that for the Library Foundation (see Attachment C). This banner had been installed without a City permit and without prior approval of the Carmel Mission. The banner was vinyl and had dimensions of 9 ft by 2 ft 9 in, for a total area of 24.75 sq ft. City staff met with Amy Donohue of the Library Foundation last week, informed Ms. Donohue that the banner was unpermitted, and recommended that she authorize City staff to bring a banner request to the Planning Commission for action. The Carmel Mission staff as representatives of the property owner have also authorized the processing of the request.

Staff analysis:

Temporary Sign Regulations: Carmel Municipal Code (CMC) Chapter 17.40 regulates signage. Specific standards for temporary signs are set forth in Section 17.40.070. The City also has a banner policy (City Policy C95-07, included at Attachment D), which regulates banners in certain public areas, including the Ocean Avenue median, Sunset Center, and Harrison Memorial Library. None of the standards in Section 17.40.070 specifically address banner signs, and as such, banners on private property are generally discouraged. However, Section 17.40.020 Permit Process, also allows for Planning Commission review and approval of signs, which: *“in the opinion of the Director, require exception from the standards described in this chapter.”*

Request and Process: The request is for a 9 ft by 2 ft 9 in (24.75 sq ft) banner for the Carmel Public Library Foundation. The banner would be displayed at the Larson Field Fence on the southwest side of Rio Road. The requested banner display location is on private property owned by the Carmel Mission. As a location on private property, the appropriate review standards for this request are those set forth in the Section 17.40.070 Standards for Permitted Temporary Signs. Staff is referring this banner request to the Planning Commission because it does not meet these standards. Staff also notes other banner display requests at this location have been reviewed by the Planning Commission. These requests have been either for a 15-day duration or a 30-day duration.

The Commission should review the Foundation’s request and determine if it is appropriate. As was done in the past, the Commission may want to attach conditions of approval to any granting of the banner display request. These could include conditions related to the duration of the display, the type of material for the banner, and the size of the banner. Staff notes that changes to either the size or the allowed materials for the banner would result in additional expenses to the applicant, as the banner that is requested to be displayed has already been fabricated.

Alternatives: The Planning Commission may approve the requested banner, may approve it with appropriate conditions of approval, or may deny the request.

Environmental Review: The application qualifies for a Class 11 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15311 of the

State CEQA Guidelines. Class 11 exemptions include placement of minor structures accessory to existing commercial, industrial, or institutional facilities, including on-premise signs.

ATTACHMENTS:

- Attachment A – Planning Commission Staff Report for SI 04-15
- Attachment B – City Council Staff Report for SI 13-06
- Attachment C – Photo of Library Foundation Banner on Larson Field Fence
- Attachment D – City Policy C95-07

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

STAFF REPORT

TO: CHAIRMAN STRID AND PLANNING COMMISSIONERS
FROM: NATHAN SCHMIDT, ASSISTANT PLANNER
DATE: 13 OCTOBER 2004
SUBJECT: AMENDMENT TO THE CARMEL MISSION SIGN PERMIT
S/S RIO ROAD BETWEEN LAUSEN ROAD AND AHERTON
DRIVE

I. RECOMMENDATION

Approve the application with conditions.

II. BACKGROUND

The Carmel Mission has historically displayed temporary banners on the Larson Field fence for charitable events that occur within the City limits. Because these banners exceed the maximum size and letter requirements a temporary sign permit from the Planning Commission was issued on August 11, 2004. Before this temporary permit was issued, such banners did not receive Commission review and have been in violation of the zoning code.

The temporary sign permit allows specific temporary banners to be displayed on the Larson Field fence that advertise special events of interest to City residents. Under the current permit a total of four banners may be displayed twice each over a two-year period beginning August 12, 2004 and ending August 11, 2006. Each banner will be limited to 50 square feet in area and the letter size will be limited to twelve inches in height. The banners will be displayed for no more than 15 days each and the content must relate to events that are relevant, or of interest, to Carmel residents. These limitations ensure that for most of the year the fence will be free of banners.

The four approved banners include the following:

Organization	Approximate Date (Month) of Use
Friends of Harrison Memorial Library	August, 2004 – 2006
Church of the Wayfarer	April, 2005-2006
All Saints Episcopal Church	November 2004-2005
Temple Beth Israel	September 2004-2005

III. PROJECT DESCRIPTION

The applicant has requested an amendment to the temporary sign permit issued on August 11, 2004. This amendment would add an additional event to the approved four-event calendar as shown above. This fifth event, the All Saints Day School Fall Festival, would occur during the last weeks of October. The banner would be placed on the fence at Larson field and would be required to reflect the previously approved conditions for a temporary sign.

IV. EVALUATION

Adding a fifth event to the sign permit would raise the total number of weeks when a banner is displayed to ten. Although staff recognizes that displaying any banners at this location is an exceptional deviation from the basic sign code provisions, the proposed addition does not appear to conflict with the general concept of the original permit. For most weeks of the year, the fence would still be free of banners.

V. CONDITIONS OF APPROVAL

1. This permit replaces the approval granted by the City on 11 August 2004
2. The Mission may request review and renewal of the permit by the Planning Commission after two years.
3. Any amendments to the permit shall require Planning Commission approval. Any signs not in compliance with the permit shall require Planning Commission review.
4. Maximum sign area shall be 50 square feet and maximum letter size shall be twelve inches across any dimensions.
5. All signs shall have a white background with letters of red, blue or black. No more than two colors shall be used on any sign.
6. No sign lighting is authorized. No sign appurtenances such as streamers or balloons are authorized.
7. Signs shall be mounted securely to the Larson Field fence and shall be maintained in an attractive manner.

8. Sign content and the duration of the installation shall be as established in the Carmel Municipal Code. Signs shall announce only events that are of particular interest to citizens of Carmel-by-the-Sea.
9. Except as specified in this permit, all temporary signs shall comply with City standards for temporary signs as stated in the Carmel Municipal Code.

CITY OF CARMEL-BY-THE-SEA

STAFF REPORT

TO: MAYOR BURNETT AND MEMBER OF THE CITY COUNCIL

FROM: MARC WIENER, ASSOCIATE PLANNER

THROUGH: JASON STILWELL, CITY ADMINISTRATOR

DATE: 2 APRIL 2013

SUBJECT: CONSIDERATION OF AN APPLICATION FOR TEMPORARY
BANNERS AT HARRISON MEMORIAL LIBRARY AND AT THE
CARMEL MISSION FOR THE CARMEL PUBLIC LIBRARY
FOUNDATION'S ANNUAL FUNDRAISING CAMPAIGN.

BACKGROUND

The Carmel Public Library Foundation provides the majority of funds for books, materials, programs and services for the Harrison Memorial Library. The Foundation is requesting approval to install a banner on the second-story balcony of the library facing Ocean Avenue and another banner along Rio Road on the fence of Larson Field advertising an "Evening with Rick Reilly" (A benefit for the Carmel Public Library Foundation).

The banner requested at Harrison Memorial Library is 7' x 2' and the banner on the Larson Field fence is 8' x 3'. The Design of the proposed banners is attached. The applicant is requesting to install the banners 30 days prior to the event. The event is scheduled to take place on 9 May 2013.

City Council Policy C95-07 addresses temporary banners for public events. The Department of Community Planning and Building may approve banners at pre-approved locations such as the Ocean Avenue median, Devendorf Park and the Sunset Center. Proposals for banners in locations other than those specified in the policy require City Council approval with recommendations from the Planning Commission. Appropriate banners include those advertising City events and activities, local community activities and other events that will benefit the City.

EVALUATION

On 13 March 2013 the proposed banners were reviewed by the Planning Commission. The Commission supported the two proposed locations and the request to display the banners 30 days prior to the event. The Commission also recommended that the banner proposed at Larson Field be reduced in size (from 80 to 24 square feet) and that the applicant use non-vinyl, natural looking materials. The applicant has complied with these recommendations.

At the meeting staff expressed concern with “busy” appearance of the proposed design, including the text and size of the photo image. The Commission recommended that the design of the banner be simplified, but was not specifically concerned with the image. Some of the original text has been eliminated and the font sizes have been altered to simplify the design. However, the photo image still remains as originally proposed.

RECOMMENDATION

Approve the application with the following special conditions.

SPECIAL CONDITIONS

1. The banners are permitted at the Harrison Memorial Library and the fence at Larson Field as indicated.
2. That the banner at the library shall be limited to the dimensions of 7' x 2' (14 square feet). The banner on the fence along Rio Road shall have dimensions of 8' x 3' (24 square feet).
3. The banners shall be made of a natural-looking, non-shiny fabric. Vinyl is not permitted.
4. The banners are approved for a maximum duration of 30 days prior to the event.

Attachment C – Photograph of Requested Banner



View from Rio Road looking southwest

CITY OF CARMEL-BY-THE-SEA

POLICY C95-07 Updated 5/7/13

BANNERS ON PUBLIC PROPERTY

PURPOSE:

To establish a policy outlining the procedure for application and review of the design, style, appropriate locations, duration of display, installation and removal of banners on public property in the City of Carmel-by-the-Sea.

POLICY:

The City of Carmel-by-the-Sea supports the concept of displaying decorative banners on public property for the purpose of promoting a festive atmosphere and informing residents and visitors of local events. The City typically encourages up to two events sharing the banner poles at any given time. In limited circumstances staff may authorize the exclusive use of the banner poles as outlined in the application procedures. Display of banners is limited to the following areas:

1. Ocean Avenue median
2. Sunset Center property
3. Devendorf Park
4. Harrison Memorial Library (library sponsored events only)
5. Other locations as may be determined by the Community Activities and Cultural Commission from time-to-time; provided, however, that all such exceptions are referred to the City Council for its prior approval.

GUIDELINES:

Approval Authority:

The Community Planning and Building Department shall have the authority to review and approve or deny applications for public display of banners in accordance with following guidelines:

Guidelines for Appropriate Events:

Banners may be approved only for the following types of events:

1. City events and activities;
2. City co-sponsored events/activities;
3. Community events/activities which take place within Carmel-by-the-Sea City limits;
4. Events that, in the judgment of staff, that will provide significant cultural and economic benefit to the City.

Staff may refer a proposed event to the Community Activities and Cultural Commission if it is unclear whether it qualifies under the four types of events outlined above.

DURATION:

Banners may be displayed for up to seven days prior to the beginning of the event, and may be displayed for no more than three days following the event's conclusion. Banners may be displayed at Harrison Memorial Library for a maximum of 30 days prior to the event. It shall be the responsibility of the Department of Community Planning and Building to coordinate, as needed, the installation and removal of the banners with other City Departments.

INSTALLATION, MONITORING, AND REMOVAL:

A private contractor, designated by the City, shall have sole responsibility for the installation, removal, and return of all banners to the applicant.

The Department of Community Planning and Building shall have the responsibility for monitoring and insuring that, while placed on public property, the condition and appearance of all stanchions and banners are consistently maintained to meet the community's aesthetic standards. It is the policy of the City to only install American flags or other City banners during specific events (4th of July, Memorial Day, etc.).

APPLICATION PROCEDURE:

Applications for the review of proposed banner installations are available in the Department of Community Planning and Building at City Hall. Completed applications may be submitted up to one year but not less than 45 days prior to the requested installation date. If two events request the same dates, the banner poles shall be shared and the banners shall be displayed consistent with the standards outlined in #9 – *Calendar* above. If more than 2 events request the same dates, staff will give preference to those events or organizations that have had the fewest display days in the past 12 months. Preference for exclusive use of banner poles may be given to events or organizations that request the fewest number of days per year. The Community Activities and Cultural Commission shall be advisory to staff on the use of the banner poles.

Within 60 days of the installation date the City will notify the applicant of whether the banners have been approved and whether the banner poles will be shared with another event.

LIABILITY, PROPERTY DAMAGE:

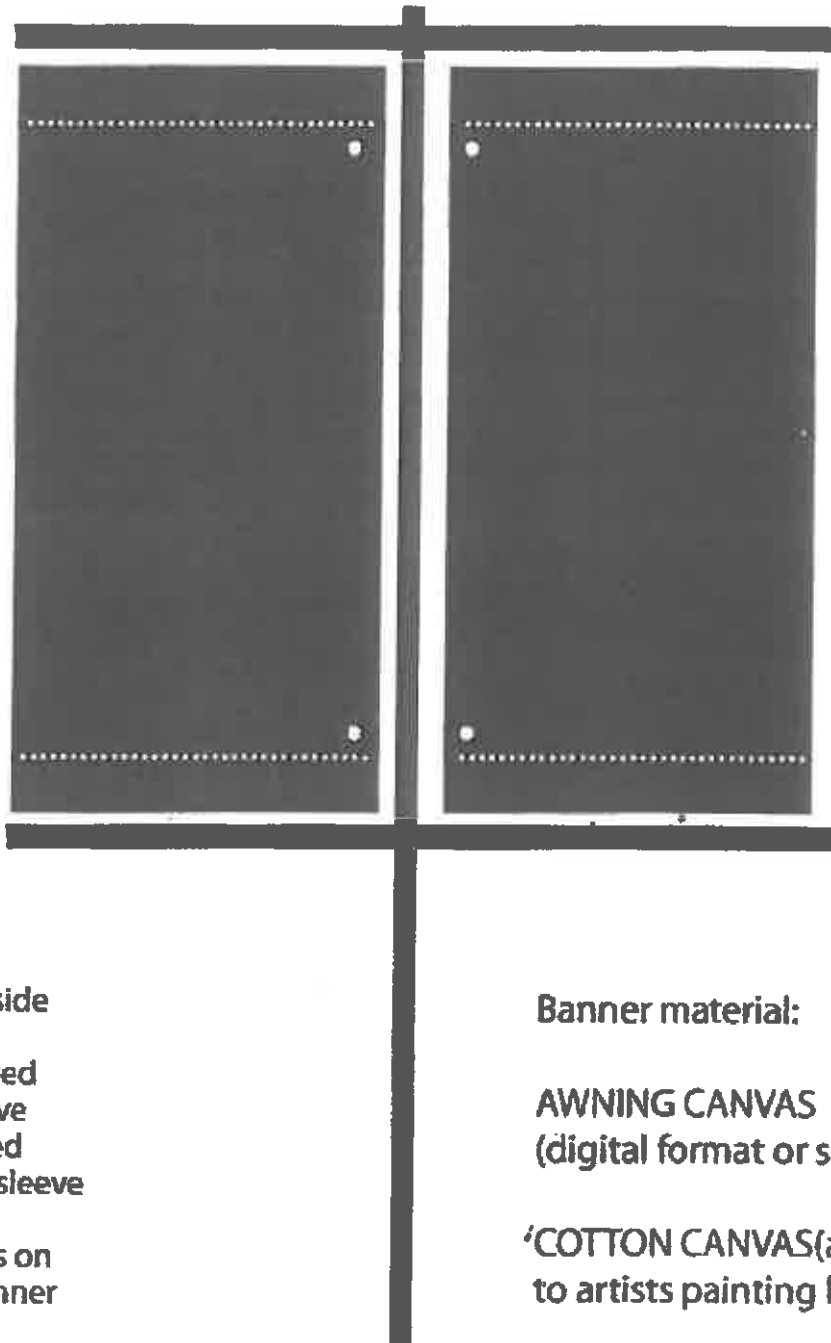
Each applicant, its successors and assigns shall hold the City of Carmel-by-the-Sea and its officers and employees harmless from any claims due to theft, vandalism, damage or loss of its banners, due to any cause whatsoever, and from any and all claims, actions and demands of third parties of any kind, character and description arising out of or due to the display of banners approved hereunder.

DOUBLES - 2 double sided banners PER POLE

(OCEAN AVENUE ONLY)

30"

30"



3" pole sleeve
to stitch line

3" pole sleeve
to stitch line

banner length
should not
exceed 72"
in length

grommet one side
of banner.
grommets placed
below top sleeve
grommet placed
above bottom sleeve

both grommets on
ONE side of banner

Banner material:

AWNING CANVAS
(digital format or silkscreening)

COTTON CANVAS(applicable
to artists painting by hand)



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

November 12, 2014

To: Chair Reimers and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director RM

Submitted by: Marc Wiener, Senior Planner

Subject: Consideration of Final Design Study (DS 14-21) and associated Coastal Development Permit for the construction of a new residence located in the Single-Family Residential (R-1) Zoning District and Very High Fire Hazard Severity Zone

Recommendation:

Approve the Design Study (DS 14-21) and the associated Coastal Development Permit subject to the attached findings and conditions

Application:	DS 14-21	APN:	010-126-021
Location:	NE Corner of Dolores and 2 nd Ave.		
Block:	10	Lots:	West ½ of lots 18 & 20
Applicant:	Safwat Malek, Architect	Property Owner:	Kathleen Gordon

Background and Project Description:

The project site is located at the northeast corner of Dolores Street and Second Avenue and is developed with a 406-square foot, two-story structure that includes a garage on the lower level and a dwelling unit on the upper level. The site is a re-subdivided corner lot with dimensions of 50' x 80', and as a re-subdivided lot, has different setback requirements than a standard residential lot.

The owner has submitted plans to demolish the existing 406-square foot residence and construct a new two-story residence. The proposed residence would be 1,800 square feet in size, which includes 1,380 square feet on the ground level and 420 square feet on the upper level. The 1,380-square foot ground-level area includes a 220-square foot, attached garage.

The proposed residence would include plaster siding with a vegetated “living wall” system on the west and south street-facing elevations. The applicant is also proposing a metal roof, wood windows and doors, and a glass railing around the upper-level balcony. The residence would also include rooftop solar panels, which are not subject to design review. Staff notes that the solar panels are noted as solar skylights. Staff has requested that the applicant provide additional information on these solar panels at the meeting.

The Planning Commission reviewed this project conceptually on May 15, 2014, and for final review on July 9, 2014. At the July 2014 meeting, the Planning Commission continued the project with a request for certain changes, primarily to address the impact to the eastern neighbor. The applicant has revised the design to address the recommendations made by the Planning Commission.

PROJECT DATA FOR THE RECONFIGURED 4,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	406 sf (10%)	1,790 sf (44.7%) 1,580 sf residence, 210 sf garage
Site Coverage	556 sf (13.9%)*	486 sf (12%)	369 sf (9.2%)
Trees (upper/lower)	3/1 trees (recommended)	1/1 trees	2/1 trees
Ridge Height (1 st /2 nd)	18 ft./24 ft.	20 ft.	14 ft./21 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	17 ft.	11 ft./18 ft.
Setbacks	Minimum Required	Existing	Proposed
Front	10 ft.	65 ft.	23.5 ft.
Composite Side Yard	12.5 ft. (25%)	30 ft. (60%)	12.5 ft. (25%)
Minimum Side Yard	9 ft. /3 ft. (street/interior)	3 ft. (street) 27 ft. (interior)	9 ft. (street) 4 ft. (interior)
Rear	3 ft. (1st-story) 15 ft. (2nd-story)	3 ft.	3 ft. 3 in. (1st-story) 15 ft. (2nd-story)
*Includes a 4% bonus if 50% of all coverage is permeable or semi-permeable			

Staff analysis:

Previous Hearing: The following is a list of recommendations made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The applicant shall revise the design to mitigate the view impact to the eastern neighbor's property.*

Analysis: At the July 2014 meeting, the Planning Commission determined that the proposed new residence, in particular the second story, would significantly impact the eastern neighbor's view. The Commission directed the applicant to revise the design address the issue. The applicant has reduced the size of the second story and reduced its north-to-south length by 9-feet 6-inches. The second story was originally 31.5 feet long, but has been reduced to 22 feet long. The height of the second story has also been reduced from 22 to 21 feet. In addition to the view impacts, the eastern neighbor had also raised concerns with the privacy impact that would be created by a proposed balcony located on the south and east elevations of the second story. The applicant has eliminated this balcony.

The eastern neighbors, James and Michelle Fay, have submitted a letter which supports the revisions that have been made, but requests that the applicant lower the height of the first floor bedroom and newly located garage by 18 inches (Attachment E). The bedroom and garage are located at the south end of the residence. Staff notes that the plate height of these two building elements is 9.5 feet, and the applicant could potentially lower the plate height to 8 feet without significantly impacting the design. As noted in the neighbors' letter, the plate height of these two building elements is 18 inches higher than the 8-foot plate used throughout the rest of the lower level.

Staff supports the eastern neighbors' request to lower the plate height to 8 feet. Residential Design Guideline 7.7 encourages using low plate heights and states that "*interior wall heights should generally not exceed 8 feet.*" Lowering the plate height would be consistent with this guideline and would further mitigate the impact to the eastern neighbor's property created by the new residence. A condition has been drafted to address the plate height of the southerly bedroom and garage.

2. *The applicant shall provide more specific details on the living wall system or revise its design to address the Commission's concerns about the long-term health and viability of the vegetation.*

Analysis: The applicant had originally proposed a living wall system that would be supported by a metal grid. The metal grid was going to be painted to match the house and would be planted with bougainvillea. The Commission was concerned with the long-term viability of the living wall and the appearance of the metal grid if the bougainvillea did not survive.

To address the concerns that were raised by the Commission, the applicant is now proposing 2"x 2" redwood trellises along the west and south elevation walls that would be used to support the vegetation. In addition, several planter boxes are also proposed below the first-story windows. The trellis covers less of the wall than the original proposal and would be constructed of wood. Staff supports the proposed design changes as the trellises and planters would be compatible with the residence if the vegetation dies. A sample of the trellis material will be available for review by the Planning Commission at the meeting.

3. *The applicant shall include an alternative elevation drawing depicting the roof with wood shingles or shakes.*

Analysis: With regard to roofing material, Design Guideline 9.8 states that "wood shingles and shakes are preferred materials for most types of architecture typical of Carmel" and "composition shingles that convey a color and texture similar to that of wood shingles may be considered on some architectural styles characteristic of more recent eras."

At the July 2014 meeting, staff recommended that the applicant use wood roofing as it would be consistent with Residential Design Guideline 9.8 and it would incorporate additional wood into the design in conjunction with the plaster siding. The applicant, however, is still requesting that the Commission approve a material other than wood and is now proposing a metal roof that presents the appearance of wood as indicated in the letter included as Attachment D. A sample will be available for the Commission to review at the meeting.

Staff notes that since this project was last reviewed in July 2014, the Planning Commission has reviewed several proposals for composition shingle-roofing and established a roofing subcommittee. The Commission may reconsider the proposal for composition-shingle roofing based on these recent discussions. However, staff still supports the use wood or tile roofing on this residence, which presents a more natural appearance. A condition has been drafted requiring that the applicant use either wood or tiles.

4. *The applicant shall provide a sample of the proposed stucco siding to include the color.*

Analysis: At the July 2014 meeting, it was indicated by the applicant that the residence would be pink and that the color would be blended in with the plaster siding. The Commission had

concerns about the appearance of this house in that color, and requested that the applicant provide a plaster sample with the color. The applicant has provided a sample, which will be available at the meeting for review. Staff supports the proposed color, which is a muted shade of pink.

Other Project Components:

Fence: The applicant is proposing a 4-foot high meandering grape-stake fence along the west and south property frontages. The plans note that the vertical stakes would have tight spacing. An elevation drawing of the fence is depicted on Sheet A-2.2 of the plan set. Staff notes that the existing 6-foot high fence along the east side-yard property line and the north rear-yard property line would be retained.

Exterior Lighting: The style and wattage of the light fixtures is shown on Sheet A-1.0 of the plan set. The plan set notes that the wattage will be 25 watts maximum for the wall mounted fixtures; however, no bulb type or lumen level is noted. This should be clarified by the applicant and noted on the construction plan set. A condition of approval has been drafted to address this requirement.

The location of the wall-mounted light fixtures is depicted on the elevation drawings on Sheet A-2.0 of the plan set and on the electrical plan on Sheet E-1.1 of the plan set. Staff notes that there are inconsistencies between the elevation drawings and electrical plan with regard to the number and location of the light fixtures. In addition to this issue, the electrical plan depicts more light fixtures than are necessary. For example, there are two fixtures shown at the front of the garage and three fixtures shown above the glass doors facing the east patio. A condition has been drafted requiring the applicant to work with staff on reducing the number of light fixtures and to revise the elevation drawing and electrical plans to be consistent prior to submitting the construction plan set.

The landscape plan does not include a proposal for any landscaping lighting. However, if any is proposed, the applicant is required to depict this on the construction plan set, and the lighting must meet the requirements of Standard Condition #9.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – Construction or modification of a limited number of new or existing small structures. The proposed new residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Applicant Letter
- Attachment E – Neighbor Letter
- Attachment F – Project Plans

Attachment A – Site Photographs



Project site – Facing east on Dolores Street



Project site – Facing north on Dolores Street (from City ROW)



Project site – Facing north on Dolores Street



Eastern neighbor's west facing window

Attachment B – Findings for Approval

DS 14-21 (Gordon)
 November 12, 2014
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. As conditioned, the project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. As conditioned, the project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

<p>8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.</p>	<p>✓</p>	
<p>9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.</p>	<p>✓</p>	
<p>10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.</p>	<p>✓</p>	
<p>11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.</p>	<p>✓</p>	
<p>12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.</p>	<p>✓</p>	
<p>Coastal Development Findings (CMC 17.64.B.1):</p>		
<p>13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.</p>	<p>✓</p>	

Attachment C – Conditions of Approval

DS 14-21 (Gordon)
 November 12, 2014
 Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 14-21) authorizes the demolition of a 406-square foot two-story existing residence and construction of a new two-story 1,800-square foot residence as shown on the November 12, 2014 approved plan set. Finish material include pink-colored plaster siding, unclad wood windows, a wood roof, and a trellis on the west and south elevation used to support vegetation. The project includes the construction of a new 4-foot high meandering grape-stake fence on the west and south side of the property.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction,	✓

	<p>the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.</p>	
7.	<p>Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.</p>	✓
8.	<p>The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the project plans as approved by the Planning Commission on July 9, 2014, prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.</p>	✓
9.	<p>Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.</p>	✓
10.	<p>All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.</p>	N/A
11.	<p>The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.</p>	N/A

12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant	N/A

	shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	N/A
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	
	Special Conditions	
21.	The applicant shall plant and maintain one new upper-canopy tree of substantial size and caliber and of a species approved by the City Forester. The location, size, and species of this tree shall be noted and called out as new on a revised landscape plan, and this plan shall be submitted with the Building Permit application plan set. Prior to issuance of the Certificate of Occupancy the trees shall be planted on site located approximately 10 feet from any building.	✓
22.	The applicant shall lower the plate height of the lower level southerly bedroom and garage by 18 inches.	✓
23.	The roofing material shall consist of either wood or tiles. The applicant shall revise the construction drawings submitted with the building permit application to reflect this requirement.	✓
24.	With regard to the wall-mounted light fixtures, the applicant shall include the specific bulb type and lumen level on the construction plan set. Prior to submitting the construction plan set, the applicant shall work with staff to	✓

	reduce the number of wall-mounted light fixtures. The elevation drawings and electrical plan shall be consistent with each other on the construction plan set.	
--	--	--

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

Attachment D - Applicant Letter

October 19, 2014

Marc Weiner, Senior Planner

City of Carmel-By-The-Sea

RE: Reply to application Completeness for Final Review (3rd Meeting)

Design Study Application DS 14-21 (Gordon)

NE Corner of Dolores and 2nd Ave

Blk 10, Lot20 APN: 010-126-021

Dear Marc:

RE: 1a "The applicant shall revise the design to mitigate the view impact to the eastern neighbor's property." We reduced the second story by 9' 6", totally eliminated the balcony on the south side and reduced the roof height by one foot by changing the roof pitch from 4 in 12 to 3 in 12.

RE: 1b "The applicant shall provide more specific details on the proposed living wall system to address the Commission's concerns about the long-term health and viability of the vegetation." With the total redesign of the residence, the living wall has been eliminated. We have used window boxes and free standing trellises in the new landscape plan.

RE: 1c "The applicant shall include an alternative elevation drawing showing the roof with wood shingles or shakes." The current elevations submitted show a shingle roof.

Re: 1d "The applicant shall provide a sample of the proposed stucco siding to include the color for evaluation by staff and the Planning Commission." Please see the color board.

RECEIVED

OCT 22 2014

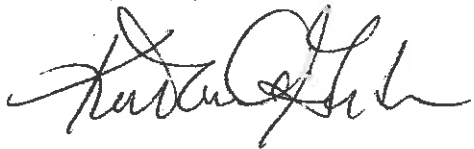
City of Carmel-by-the-Sea
Planning & Building Dept.

To the Carmel Planning Commission:

My priority for the roof on the new home that I will occupy is that it be a sustainable, energy star material that does not contain toxic or carcinogenic chemicals. This eliminates wood roofs from my plans. I will not contribute to toxic runoff into the soil around my home and ultimately into our ocean. After extensive research, I have selected a Matterhorn shake roof that is energy star certified, and sustainable. It is very realistic looking and I submit a sample supplied by the manufacturer.

In February 2014, the Department of Ecology of the State of Washington published the results of an investigation of toxic chemicals in roof runoff in Publication No 14-03-003. I submit the abstract of this study with this letter.

Respectfully,

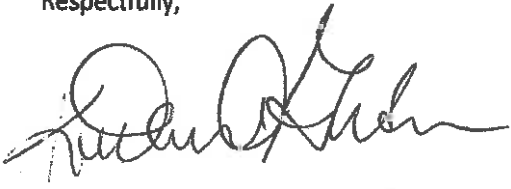
A handwritten signature in black ink, appearing to read 'Kathleen A. Gordon', written in a cursive style.

Kathleen A. Gordon

Re: 2 "If you intend for this project to receive Final Review at the next Planning Commission meeting, then you must submit the associated landscape and lighting plan." The completed landscape and lighting plan are attached.

If there are any further requirements that need to be addressed please contact Safwat Malek or me at 831-625-2017.

Respectfully,

A handwritten signature in black ink, appearing to read 'Kathleen A. Gordon', written in a cursive style.

Kathleen A. Gordon

Abstract

From February through April 2013, the Washington State Department of Ecology collected runoff from 18 constructed roofing panels following 10 rain events for contaminant analysis. Analysis of the runoff included total and dissolved metals (arsenic, cadmium, copper, lead, and zinc) and organic compounds [polycyclic aromatic hydrocarbons (PAHs), phthalates, and polybrominated diphenyl ethers (PBDEs)].

Ecology identified significantly higher concentrations of three metals in runoff from several roofing panels when compared to the glass control panels. Most notably, concentrations of total arsenic, copper, and zinc were significantly higher in the following roofing panels than in the glass control panels: treated cedar shakes (arsenic and copper), copper (copper), Zincolume® (zinc), and EPDM (zinc).

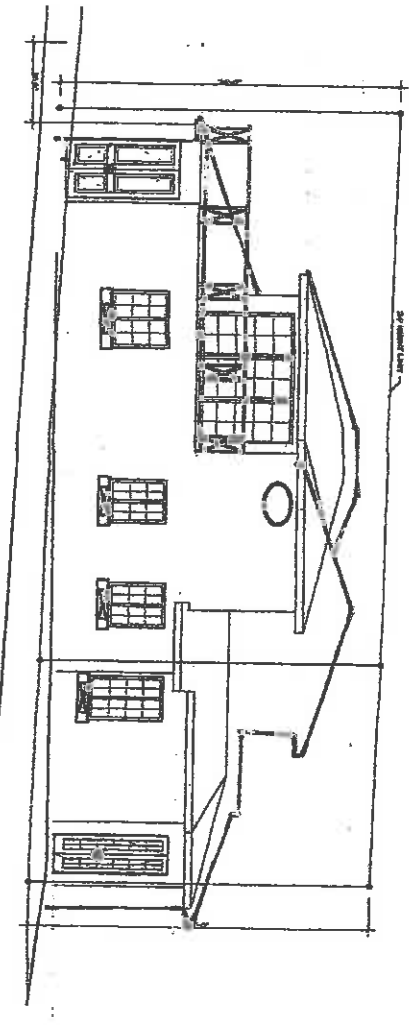
- Arsenic levels in runoff from the treated wood shake panel ranged from 692 to 4,690 ug/L, and copper levels ranged from 601 to 3,190 ug/L.
- Copper levels in runoff from the copper panel ranged from 1,035 to 3,380 ug/L.
- Zinc levels in runoff from the Zincolume® panel ranged from 38 to 322 ug/L.
- Zinc levels in runoff from the EPDM panel ranged from 44 to 313 ug/L.

Ecology compared concentrations of metals in runoff with concentrations used to estimate releases to the Puget Sound basin in Ecology's 2011 study. With two exceptions, concentrations ranged from two-fold to two orders of magnitude higher in Ecology's 2011 study than were found in this 2013 study. However, runoff concentrations used to estimate releases to the Puget Sound basin in 2011 were based on roofing systems, rather than roofing materials alone.

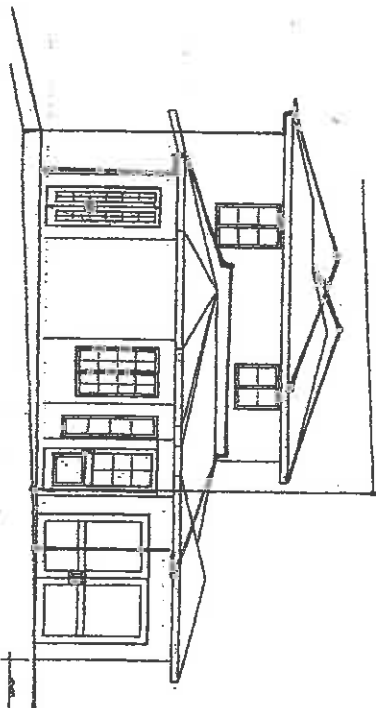
The new roofing materials in this study did not leach PAHs or PBDEs to the runoff. With one exception (treated cedar shake panel), the new roofing materials evaluated did not leach phthalates.

Runoff from the roofing panels from 10 additional rain events were sampled in late 2013 and early 2014. Those results will be described in a separate report.

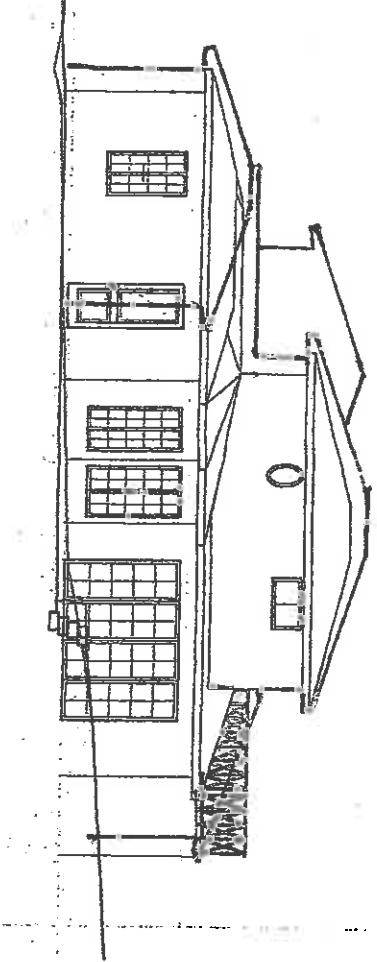
Leaching analysis of copper and galvanized steel coupons (samples), with and without post-manufactured applied coatings, indicated that the coatings reduced the copper and zinc leaching, despite problems with the leaching methodology.



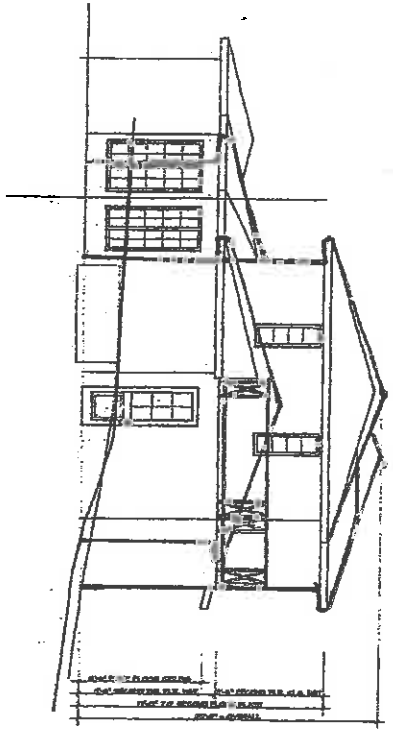
1 - elevation - west



2 - elevation - south



3 - elevation - east



4 - elevation - north

Red is old plan
 Black is new scheme

New/Revised elevation is Black - Demons having accommodations to Mr Fay's request to maintain filtered view & solar access
 Old elevation shown in Red

a2.0 Exterior Elevations	DRAWING:	DATE: 08.21.14 BY: AD SHOWN CHECK: JPB	PROJECT: new residence ADDRESS: Gordon Residence NE corner of 2nd & Dolores Ave. Carmel, California	A.P.N. - 010-126-021-000	SCALE:	SHEET:	REVISION:
	a2.0	Exterior Elevations	DATE: 08.21.14 BY: AD SHOWN CHECK: JPB	PROJECT: new residence ADDRESS: Gordon Residence NE corner of 2nd & Dolores Ave. Carmel, California	A.P.N. - 010-126-021-000	SCALE:	SHEET:

September 7, 2014

To Jan Reimers, Chair and Planning commissioners of the City of Carmel-by-the-Sea, CA:

Proposed Action: Consideration of Concept Design Study DS 14-21

Project Location: NE corner of Dolores Street and Second Avenue.

Parcel Description: Block 10. West 50 feet of lots 18 and 20

Applicant: Safwat Malek, Architect

Dear Commissioners:

I respectfully submit this letter to summarize the revisions we have made of my proposed residence to accommodate the Fay's concerns. Although, Mr. Fay alleges that I proposed a one story residence, this was never in my plans and never stated this to anyone. The proposed design has always been a two story home because the best view on this property is from the current west facing apartment window that is nine feet from the North property line on the second floor. All preliminary designs shown to the Fay's have had two stories and I do not comprehend how he could have been surprised to not notice this until the story poles were put up. He continues to pursue a solution that I restrict my design to one story to preserve all of his views. Design guideline 5.1 states that "the desire to maximize view opportunities from one's own property must be balanced with consideration of respecting views of others." We have moved the first floor northward the maximum allowed by code and decreased the size of the second floor bedroom enabling us to give Mr. Fay 9'6" of the 10' he requested. We share the ocean view and we have spent days and weeks together attempting to meet all of Mr. Fay's desires.

My first design with Mr. Malek contained two floors and was set to the North side of the lot to maintain the filtered sunset view from the Fay's deck. When Mr. Malek submitted this design, he were told the city had 'decided to enforce the setbacks for Re-subdivided corner lots." This required an expensive re-design. The second floor setbacks moved to 15' from the North side, The first floor 15' from the south side and an additional 5' from the west side of the lot to comply with code. We were told by staff that we could accomplish this by moving it East to within 3' of the east property line. In consideration of the Fays, we moved the house to 12' from the property line. The initial 17' disappeared to comply with the city's code on the west side and to comply with Policy P1-65-" Avoid designs that are insensitive to the designs of neighboring buildings."

In Mr. Fay's meeting in July just prior to the Planning Commission Meeting Mr. Fay pointed to the area to the east of the then living room and indicated he felt that was ample space in that area to expand. To comply with the city's setback on the North, we moved the home South and designed a South deck to cut off the roofline to maintain as much of their filtered view as possible. We were informed by staff

that the current garage and apartment could not be grandfathered and must be moved or torn down and brought up to code. We took these actions to comply with Design Guidelines 5.1, 5.2 and 5.3. Our compliance with the code led to the changes in the setbacks that the Fays found offensive and inconsiderate.

With respect to Mr. Fay's suggestion that, "If a second story is needed, then the existing two story home would not obstruct the filtered ocean views from the Fay Property." he suggests, "it is reasonable for the proposed design to use the existing footprint of the second story on the Northwestern corner of the property which is rotated 90 degrees from the proposed design's first story as a footprint".

Unfortunately, as much as it would solve Mr. Fay's objections, this solution is not available to us due to the city's code. He also acknowledges that they have "de facto consented to that building and its orientation, location and volume." He feels that this building could be used as a model solution for the second story. The current area of the existing apartment is 15.5' by 13' and could not reasonably contain a bedroom, bathroom and closet.

Of note, the east facing window in the current unit is a door that has an equivalent 'sill height' of 12' 9". We have proposed an east facing window on the second floor with a sill height of 14' 6" above plate out of which I will see the underside of my roof. I am absolutely committed to preserving this oak because I find it the best view on this lot from the first floor and have oriented my living room and dining area on the first floor to maximize my view of this tree. All of my windows directed to this area are below the Fay's living area and only face their foundation and laundry door which are blocked from my view by the fence which will remain.

Mr. Malek informed us of Mr. Fay's objection to 5' sill height and wished it raised 6". As currently proposed the window glazing will start at 5'3.5" and due to the 7'6" ceiling height in this area have glass 1'7.5" allowing me to receive filtered morning light. My designer and I felt this request was extremely restrictive because it would allow very minimal, if any, filtered morning light because the glass would decrease to 1'2.5". Mr. Fay maintains that I agreed to his desire before I ever heard his wishes. I ask the Planning Commission to consider my wish for cross ventilation and access to filtered morning light in my bedroom. The oak is directly in front of this window. When we decreased the size of the bedroom and moved it North to address the Fay's request to move the second story North by 10' we also decreased the width of this window by 30". This area is shaded by a tree canopy and many branches. The sill height is in the middle of my forehead and my view will be of the eaves of my home.

I appreciate Mr. Fay's research into the principles of Feng Shui. Unfortunately, his comments were based on inadvertent misinformation because on June 5, 2014 when he was available to meet, I was unable to get someone to cover me at work. My designer, Karen Nelson, had a previous commitment. She and I have followed the principles of Feng Shui in the design of the interior and exterior space in this home. There is no bed on the East wall. A desk will be under the window on the east wall and two armoires, one on each side of the window. The current sill height was selected to follow design guideline 5.1, "locate windows and balconies such that they do not overlook active indoor and outdoor use areas of the adjacent property." This window will look out to the underside of the roof as stated.

The oval window in the bathroom has moved 18" north and will be glazed with opaque or etched glass because I need natural light for applying makeup. The east window in the shower was removed as he requested and relocated to the south side. I thank Mr. Fay for this request because it provides more privacy better light in the bathroom.

We have addressed Mr. Fay's concerns for solar access by moving the second floor north by 9'6" and lowering the roof pitch. Please see the attached elevation with the old roof line marked in red above the new roof elevation. We eliminated the south balcony entirely as he requested. The design changes he requested impacted the roof area that was needed for the solar panels and made it necessary to move the garage to Second Avenue to accommodate some solar panels. This does increase the cost to install these because I now need multiple transformers. I again must thank Mr. Fay because my elderly neighbor and I will now more safely enter the home and I will no longer be backing out onto a very busy street with right-of-way traffic coming around a blind corner. In redesigning the home to meet his demands, he has provided me with a safer entry and driveway. The relocation of the garage to Second Avenue also increases his and his guests' privacy when on his deck and when entering and leaving his property. There is a 3' setback required here and we have provided 3' 6" for the length of the garage and will then have a garden with organic dwarf lemon trees to further screen their privacy on their walk to their back yard.

To address design guideline 4.0, Open Space, Site Coverage and Setbacks, we have done our best to meet the Fay's concerns, create an interesting foot print and maintain a "sense of discovery along the street" by creating a curved fence line and wandering pathway to the front door and around the property with stepping stones in our landscape design.

Safwat Maiek, my architect, and Karen Nelson, my designer, are both very competent and highly respected in their respective fields both locally and nationally. They were selected because I admire their work in design and sustainable building. We have worked with an open mind together and individually to address the Fay's concerns and to comply with the city code. I believe they have done an excellent design. They were able to add a grey water tank for landscape maintenance after moving the garage. It has been forwarded to Mr. Fay and we have been awaiting his reply. We have met most all of his desires and I believe there is a valid explanation when we could not.

I have lived in this neighborhood for thirty-nine years and until this incident we have all worked together to settle all our concerns by speaking directly to each other. His current renters are lovely people and I desire to do nothing detrimental to this lovely neighborhood. I wish to build a, sustainable, energy efficient home with a first floor that is meets ADA guidelines to enable me to live out the rest of my life among wonderful people.

Respectfully,

Kathleen Gordon

MAP SHOWING HOMES WITH COMPOSITION SHINGLE ROOF



November 3, 2014

Via Email

Marc Wiener
Senior Planner
City Hall
Planning Commission
Monte Verde between Ocean and 7th Avenue
Carmel-by-the-Sea, CA 93921

RECEIVED

NOV 03 2014
City of Carmel-by-the-Sea
Planning & Building Dept.

Proposed Action: Consideration of Concept Design Study (DS 14-21) and associated Coastal Development Permit application for the construction of a new residence located in the Single-Family Residential (R-1) Zoning District

Project Location: NE Corner of Dolores and 2nd Avenue – Proposed Home Design Plan by Kathy Gordon

Parcel Description: Block; 10 Lot (s) W/s 18 & 20

Applicant: Safwat Malek, Architect

Dear Mr. Wiener:

This letter provides follow up comments to the Concept Design Study and associated Coastal Development Permit application for the construction of a new residence (the "Proposed Design") at the northeast corner of Dolores Street and 2nd Avenue by Ms. Kathy Gordon (the "Gordon Property"), that was considered by the Planning Commission at a hearing on May 15, 2014 (the "First Hearing"), which application was continued at the First Hearing, and at a hearing on July 9, 2014 (the "Second Hearing").

My wife and I own the property at 2NE of Dolores on 2nd Avenue (the "Fay Property"), which is adjacent to the Gordon Property. The Gordon Property is west of the Fay Property, and thus between the Fay Property and the ocean and views of the forest and open space. We acquired our property in November 2007.

History

The detailed history of the matter is set forth in the previously delivered letters to you and the Planning Commission dated May 13, 2014 (the "First Fay Letter") and June 17, 2014 (the "Second Fay Letter").

As a result of the First Hearing, the Planning Commission (the "Commission") directed Mr. Malek to make certain changes to the Proposed Design that address a limited set of matters raised in the First Fay Letter and other issues. I met Mr. Malek on June 5, 2014, to review the proposed changes to the

Proposed Design made in response to the Commission's direction. Those items, summarized in the First Fay Letter, were modestly helpful insofar as they addressed a small set of our concerns. **Importantly, the proposed changes to the Proposed Design did not address the key matter to maintain the filtered views of the ocean from the Fay Property, which will also help maintain the solar access to the property, and maintain the privacy of the active indoor and outdoor use areas of the Fay Property.**

Mr. Malek confirmed to me in a meeting on June 5 that he would not voluntarily make any further modifications.

At the Second Hearing, the Commission concurred with our concerns about the most critical adverse impacts and passed a resolution that the "applicant shall revise the design to mitigate the view impact to the eastern neighbor's property" (the "View Resolution").

The revised proposed design does move the southern second story wall northward 9'-6", and completely removes the southern second story balcony, both of which help to meet the Commission's requirements. The new proposed design, however, adds two new structures, a first floor southern bedroom and a garage. Both of these rooms have excessive plat heights compared to the balance of the design and Carmel guidelines and style, resulting in ridge heights that obstruct the views to be mitigated pursuant to the View Resolution. While, the revised plan allegedly lowers the roof pitch on the new structures by 1"per 12", this change does not relate to a previous plan submitted to the Commission that included these rooms, so a review of these impacts should be *de novo*, and in any event, this change does not satisfy the requirements of the View Resolution.¹

On several occasions, I have attempted to contact Mr. Malek to conclude this matter prior to the next hearing, but have not been provided a cooperating response. While at the Second Hearing I offered to cooperate in advance of the final hearing, Mr. Malek now refuses to do so. An email from his colleague directed me to the Planning Department.

Relief Requested

The proposed changes to the Proposed Design by Mr. Malek do not satisfy the requirements of the Commission's motion passed at the Second Hearing, namely that the:

- **Applicant shall revise the design to mitigate the view impact to the eastern neighbor's property [the Fay Property]**

The material adverse impacts caused by the proposed design, even as revised, and the impacts to the views, solar access, privacy, and enjoyment of the Fay Property are described in detail in the First Fay Letter and Second Fay Letter, which letters are incorporated herein. In an effort to continually focus the matters at issue and drive the parties to a conclusion, this letter focuses on the key outstanding deficiencies of the new proposal that necessitate further direction from the Committee to satisfy the requirements of the View Resolution.

While the proposed design does have several improvements, there remains one key obstruction type to preserving the views required by the Commission. This obstruction is the ridge height of the southern

¹ We reserve the right to provide additional comments on proposed changes to the Proposed Design as the application process proceeds, particularly if the proposed changes are further modified or if other facts and circumstances arise.

first floor bedroom and the newly proposed garage. **These two ridge lines are directly in the pathway of the view required to be preserved by the View Resolution.**²

The ridge heights are primarily a consequence of the plate heights of the two first floor structures that impact the views, notwithstanding the 3" in 12" slope of the roof. These plate heights are unusually high on any basis.³ The unusually tall plate heights can be seen on page 13 of the applicant's submission, which page is reproduced with notes added as Figure 1, attached hereto (delivered as a separate pdf file).

First, the bedroom plate height of 9'-6" is above the height of 8' recommended by the Design Guidelines. It is also higher than the balance of the first floor of the home, which is 8'-6". Varying the plate height on a single floor is an atypical design. Furthermore, given the horizontal span of the room plus the vaulted ceilings, the abnormally high plate height creates a disproportionate scale to the bedroom - beyond a normal human scale. Similarly, the unusually high plate height of the garage is out of scale with the balance of the first floor, and needlessly tall for garage. Typical plate heights for garages in the Carmel style are 8' and can even be 7'.

Ms. Malek claims in his submission that the ridge height has been reduced from the original design to eliminate the impact to the views, however, this incremental reduction is measured against an out-of-date design submitted prior to being directed by the Commission to preserve the views at issue and that did not include these two new structures (the southern bedroom and southern garage). It was never suggested by either the Commission or me that the ridge heights were insufficient by a mere 1" or that the views would be preserved with a 1" change, or a 1' change from a design that is substantially different from the current proposal, thus claiming such a change now is sufficient is in fact inadequate and, arguably disingenuous. Now that the Commission has passed the View Resolution, the ridge lines, even reduced an immaterial 1" by 12" as noted, are direct obstructions to the views and cause the plan to fail to comply with the requirements for a final approval.

Fortunately, there are at least two simple, modest solutions that remove this obstruction as required by the View Resolution, which may also be used in combination.

² The Fay Property includes a family room, sun deck patio, breakfast room, kitchen and small office that face south and west. These rooms and the sun deck patio enjoy filtered views of the ocean. Solar access for part of the year is also along this view-line (and further obstructed in winter months by the Proposed Design).

Given the opportunity to enjoy filtered ocean views, we spend a great deal of time in the south and west facing rooms. These views are partly enabled by the Fay Property's higher living floor elevation compared to the Gordon Property. Because of this change in elevation, we were comfortable acquiring the Fay Property even though at the time only a small home was on the Gordon Property.

Along with the concentrated light and sun provided to these rooms and the sun deck patio, these views were key attributes that drew us to acquire the property several years ago. We value greatly our time in these rooms enjoying the filtered ocean views, light and sun, views of the tree canopy, along with the cool ocean breeze, that in combination is uniquely Carmel-by-the-Sea. Therefore, we have a very strong interest in preserving these views.

³ It is peculiar that the two new structures that were wholesale added to the design in this most recent iteration have plate heights that are different from the rest of the house. The other main attribute of these two new structures is that they are the only structures directly in the sight lines to be preserved by the View Resolution. Surely, then, these new structures were not designed with unusual heights with the intention of blocking the views, as they were only added to help meet a requirement to preserve the views per the View Resolution. Thus, it could be posited that these new structures, as late add-ons to the design, were not fully reviewed to identify their disconnectedness with the balance of the design. And, if they had been so reviewed, it would be quite natural for an associate draftsman to correct the design by reducing the plate heights of these two new rooms to match the existing house design without controversy.

- **The simplest solution is to lower the plate height by 18”.** Our assessment is that the views required to be preserved by the View Resolution would be sufficiently preserved with this modification in combination with the previously requested and agreed changes to the design.
 - A simple modification to frame the bedroom and garage the same height as the rest of the house, which is the traditional method for houses, and framing the walls with a standard 8’ plate, also removes the obstruction by lowering the ridge height 18”. This modification will bring the bedroom and garage in to the same height and scale of the rest of the house, thus, in fact, improving the continuity of the design. See Figure 2 attached hereto (delivered as a separate pdf file) for an illustration of how this may be accomplished with minimal effort.
- **A second alternative solution is to lower the overall elevation of the home by 18”.** As proposed, the southern elevation rests on new fill and is thus raised approximately 18”.
 - The Design Guidelines recommend homes be set down on the elevation rather than raised on new fill. The northern portion of the proposed design is down set, thus there is already an intention to excavate and increasing the depth to address the obstruction is possible and a reasonable accommodation given the existing plans.

Neither of these solutions impacts the use of the property to the owner, as the bedroom size is unchanged and the ceiling inside remains vaulted. Also critical is that neither of these solutions impact the enjoyment, structure, flow, or architecture of the house. Neither of these solutions impacts the view lines of the home, and particularly they do not impact in any way the views and enjoyment from the second story or the upper balcony. Further, these solutions also bring the design in to better compliance with the Carmel Design Guidelines and Carmel style (e.g., minimizing the actual and perceived scale of the garage and house).

Both of these solutions were previously provided to Mr. Malek. Additionally, a combination of these solutions can be used, e.g., 12” reduction of the plate height plus a 6” reduction in the elevation, to meet the requirement of the Commission.

I also offered to pre-review the revision to clear the plan prior to the final hearing to facilitate an efficient completion of this matter. Mr. Malek has not been responsive to my several offers to cooperate, and has submitted the revised proposal to the Commission without notice to me as the neighbor-in-interest. Further, he has failed to provide a copy of the submitted material or return my inquiry after the Commission Staff had kindly informed me of his submission.

Accordingly, and again, my only recourse is to raise these matters to the Commission and request a requirement that the ridge height of the southern first floor bedroom and the garage be reduced 18”.

Summary

The Proposed Design, while showing improvements, continues to fail to satisfy the requirements of the View Resolution. The Proposed Design continues to adversely impact the filtered ocean views from, solar access to, open space provided to, and privacy of the Fay Property. Lowering the ridge height of the southern first floor bedroom and the garage will resolve this issue. And, fortunately, there are very modest viable solutions available to Mr. Malek, which we would be pleased to detail to him, that will maintain views required by the View Motion, and we look forward to your direction to Mr. Malek in accordance herewith.

Please feel free to contact us any time at 650-464-8939, or ifay9144@charter.net. Thank you for your attention to this matter.

Respectfully submitted,

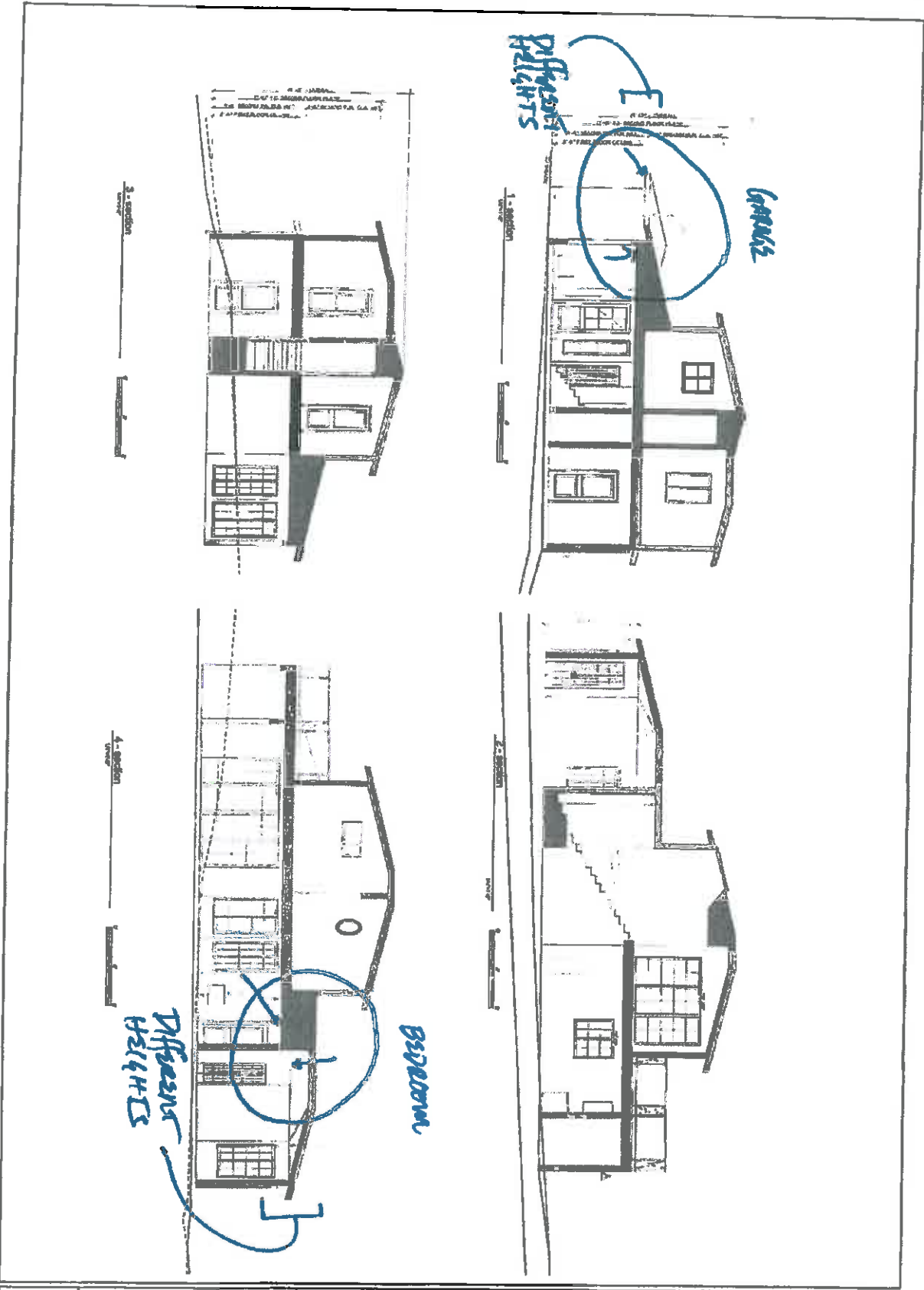
/s/ James D. Fay _____

James D. Fay

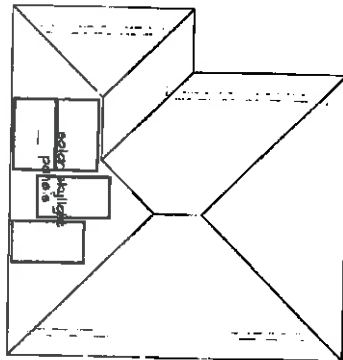
/s/ Michelle Fay _____

Michelle Fay

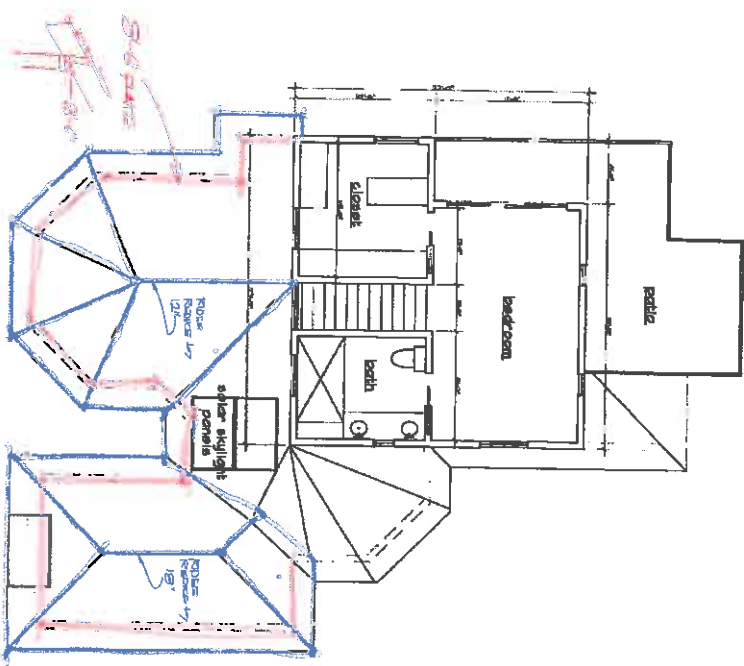
FIGURE 1



SHEET a3.0	DRAWING EVIDENCE	DATE 02.22.14	TYPE new residence	A.P.N. - 010-126-021-000	REVIEW BY DATE	REASONS
		DESIGNED BY AE BROWN	PROJECT Gordon Residence NE corner of 2nd & Dolores Ave. Carmel, California	CHECKED BY DATE		

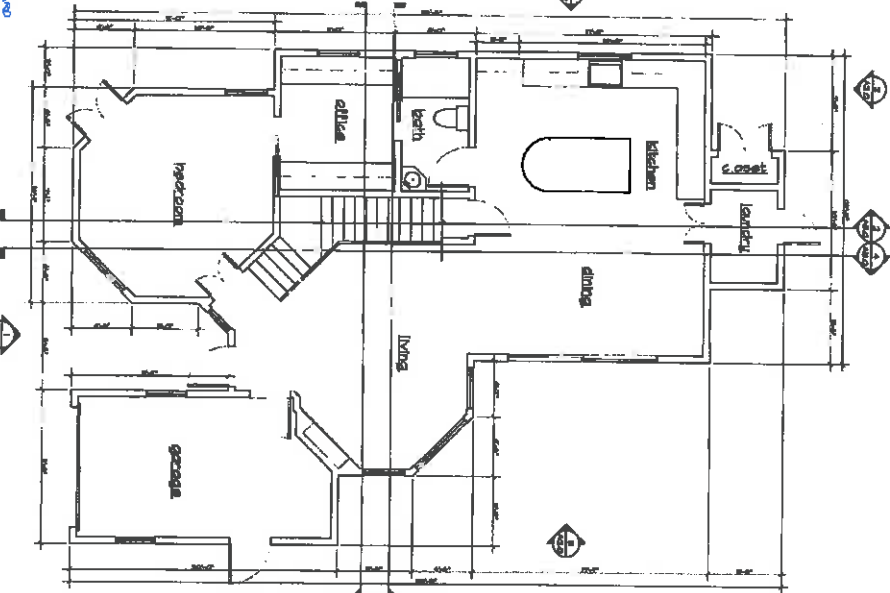


3 - roof plan - (ridge beam elev. = 128.57)



2 - second floor plan - (fin. floor elev. = 118.27)

skylight should be fixed - see note
skylight panels in roof should be fixed to structure
** Also provide stairs in roof and be fixed to structure*
height to 8'0\"/>



1 - ground floor plan - (fin. floor elev. = 108.75)

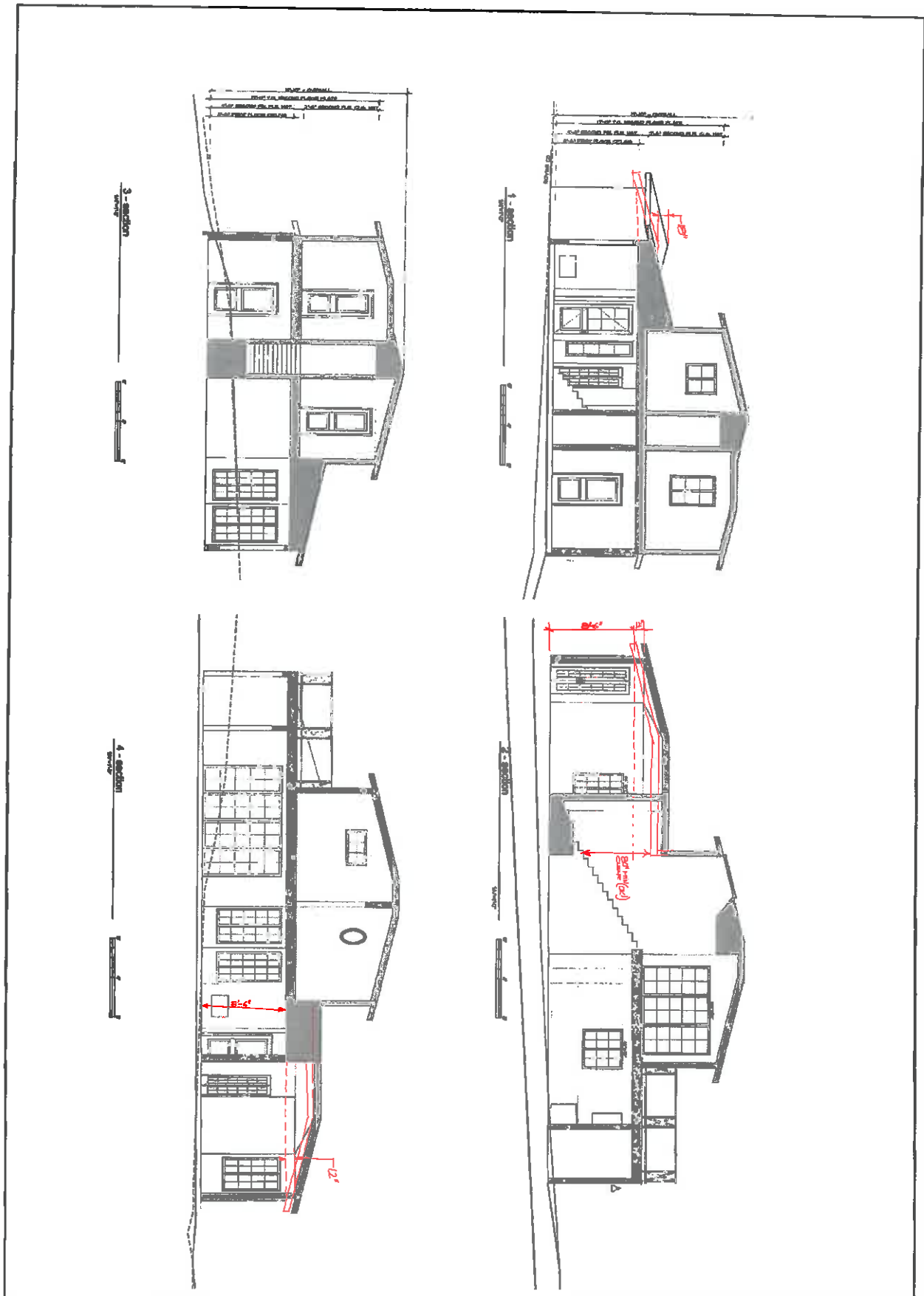
- GENERAL NOTES:**
- ALL WORK SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE DRAWINGS.
 - ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE MECHANICAL, ELECTRICAL AND PLUMBING CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE STRUCTURAL CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE FIRE CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE ENERGY CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE ENVIRONMENTAL CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE SAFETY CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE HEALTH CARE CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE EDUCATION CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE TRANSPORTATION CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE RECREATION CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE AMUSEMENT CODES.
 - ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE OTHER CODES.

skylight wall mounted fixture

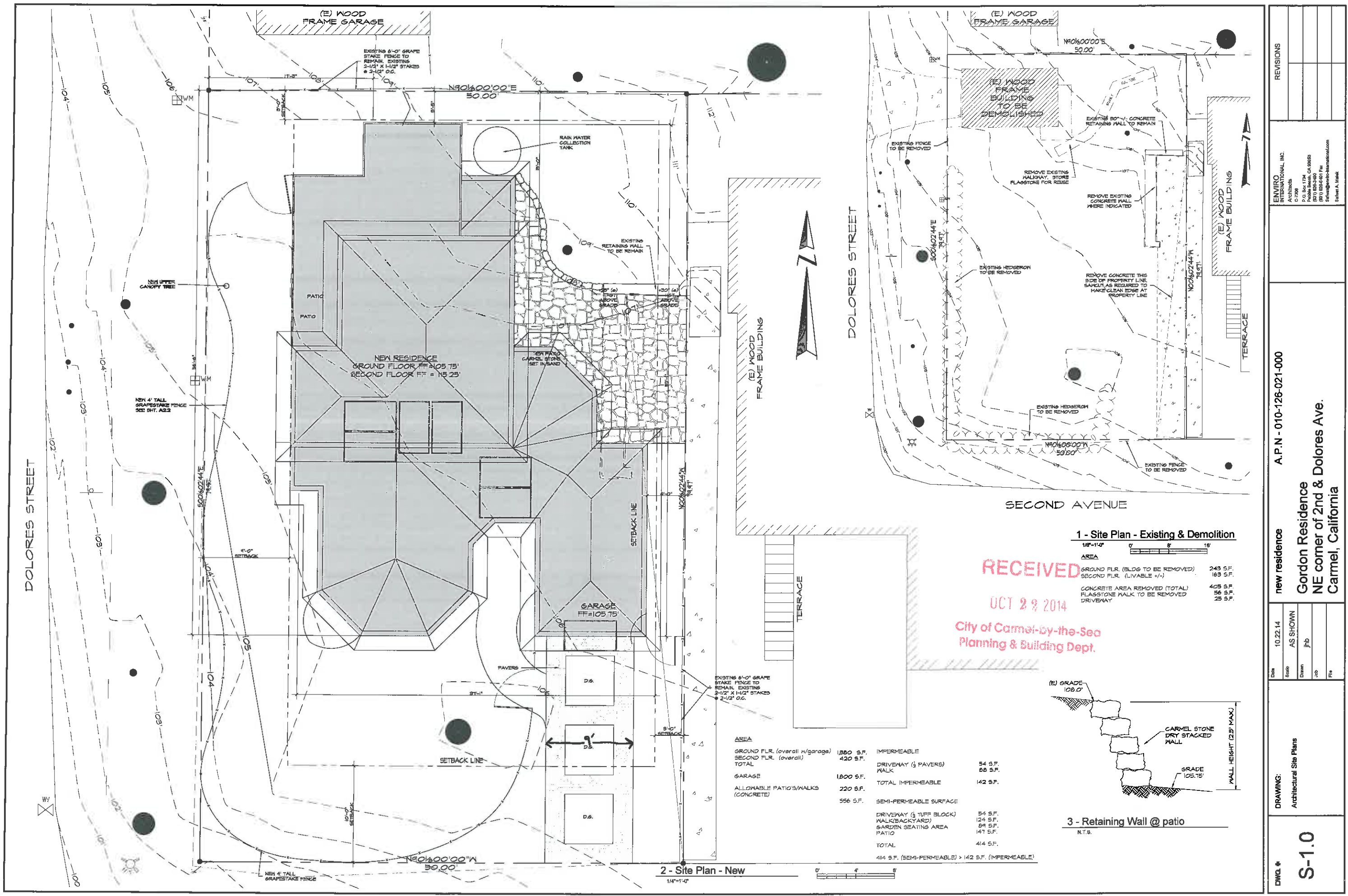


skylight recessed fixture

DWG. #	DRAWN BY	DATE	PROJECT	APN	OWNER	DESIGNER	REVISIONS



DWG. # a3.0	DRAWING: Exterior	DATE 10.22.14	PROJECT new residence	A.P.N. - 010-128-021-000	ENGINEER BRUCE W. BROWN, INC. Architects 700 N. 1st St. Foster City, CA 94404 (650) 999-0000 www.bwbrown.com	REVISIONS <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>								
DRAWN AS SHOWN	CHECKED JTB	Gordon Residence NE corner of 2nd & Dolores Ave. Carmel, California												



AREA	IMPERMEABLE	SEMI-PERMEABLE SURFACE
GROUND FLR. (overall w/garage)	1380 S.F.	
SECOND FLR. (overall)	420 S.F.	
TOTAL	1800 S.F.	
GARAGE	1800 S.F.	
ALLOWABLE PATIO'S/WALKS (CONCRETE)	220 S.F.	
	556 S.F.	
		SEMI-PERMEABLE SURFACE
		DRIVEWAY (1/2 TUFF BLOCK)
		WALK/BACKYARD
		GARDEN SEATING AREA
		PATIO
		TOTAL
		414 S.F.
		444 S.F. (SEMI-PERMEABLE) > 142 S.F. (IMPERMEABLE)

RECEIVED
OCT 29 2014
City of Carmel-by-the-Sea
Planning & Building Dept.

AREA	TO BE REMOVED	TO REMAIN
GROUND FLR. (BLDG TO BE REMOVED)	243 S.F.	
SECOND FLR. (LIVABLE +/-)	163 S.F.	
CONCRETE AREA REMOVED (TOTAL)	405 S.F.	
FLAGSTONE WALK TO BE REMOVED	56 S.F.	
DRIVEWAY	25 S.F.	

REVISIONS

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Senviro@enviro-international.com
Salvatore A. Malar

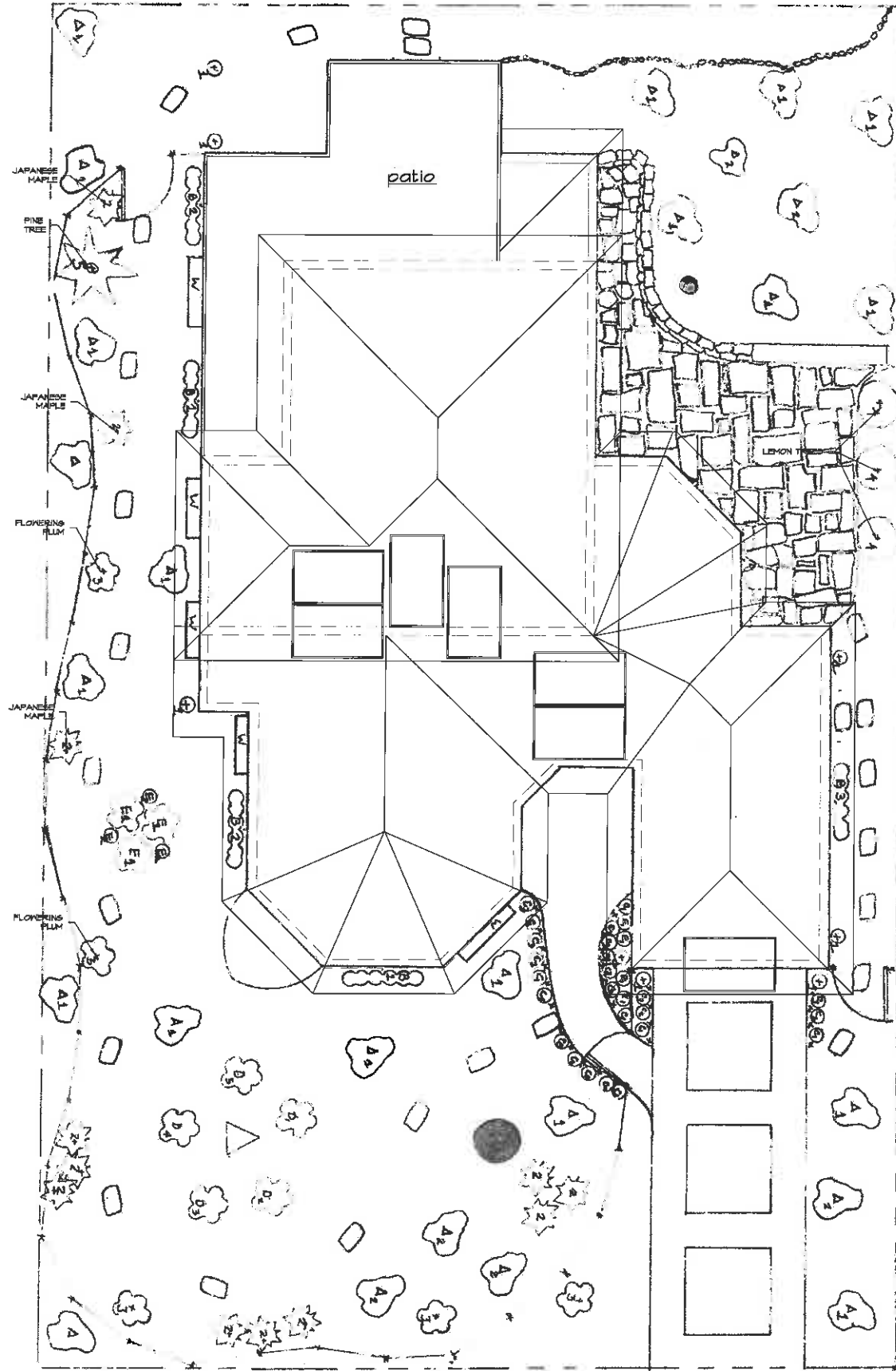
new residence A.P.N - 010-126-021-000

Gordon Residence
NE corner of 2nd & Dolores Ave.
Carmel, California

Date	Scale	Drawn	Job	File
10.22.14	AS SHOWN	jhb		

DRAWING: Architectural Site Plans

DWG. # **S-1.0**

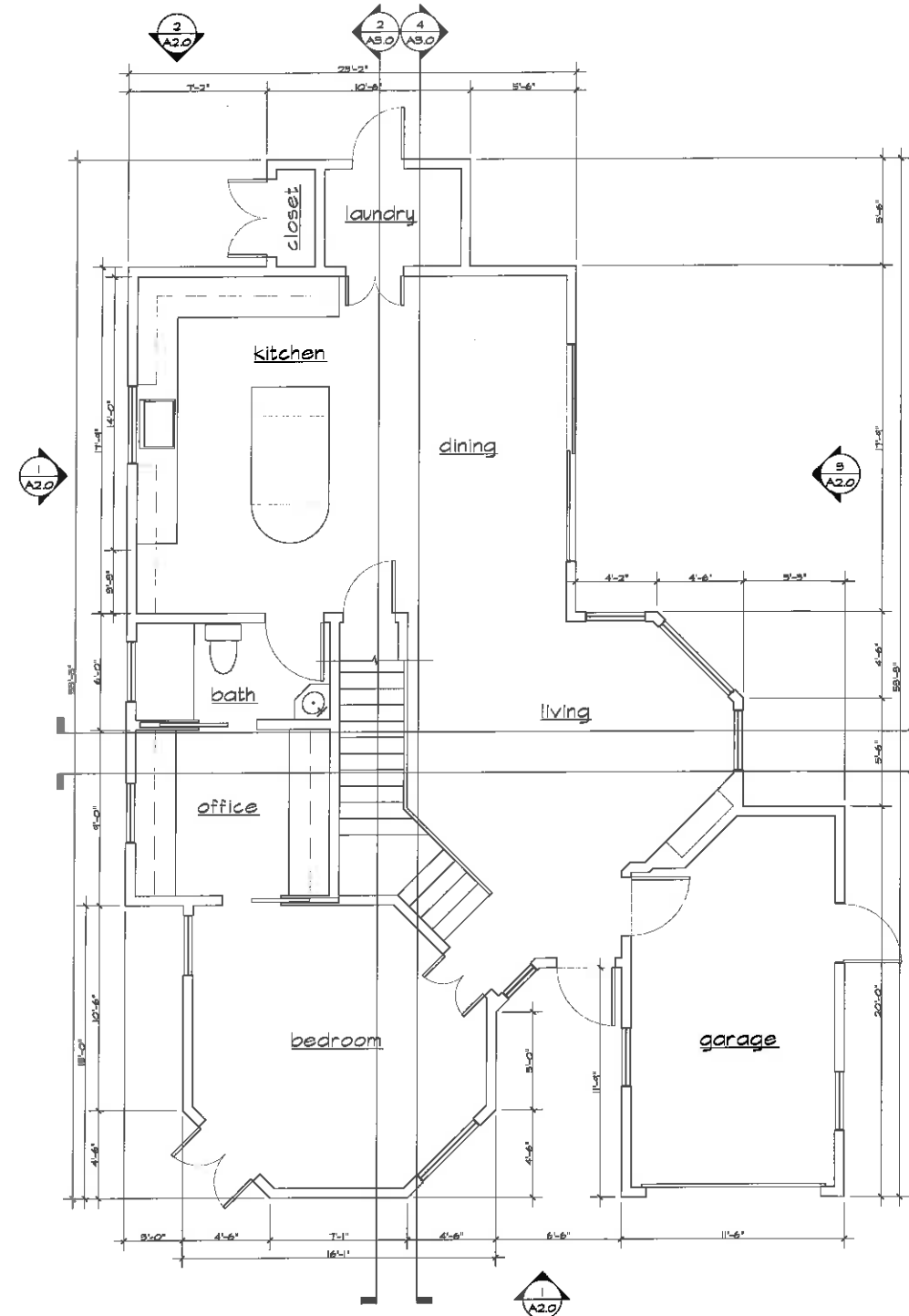
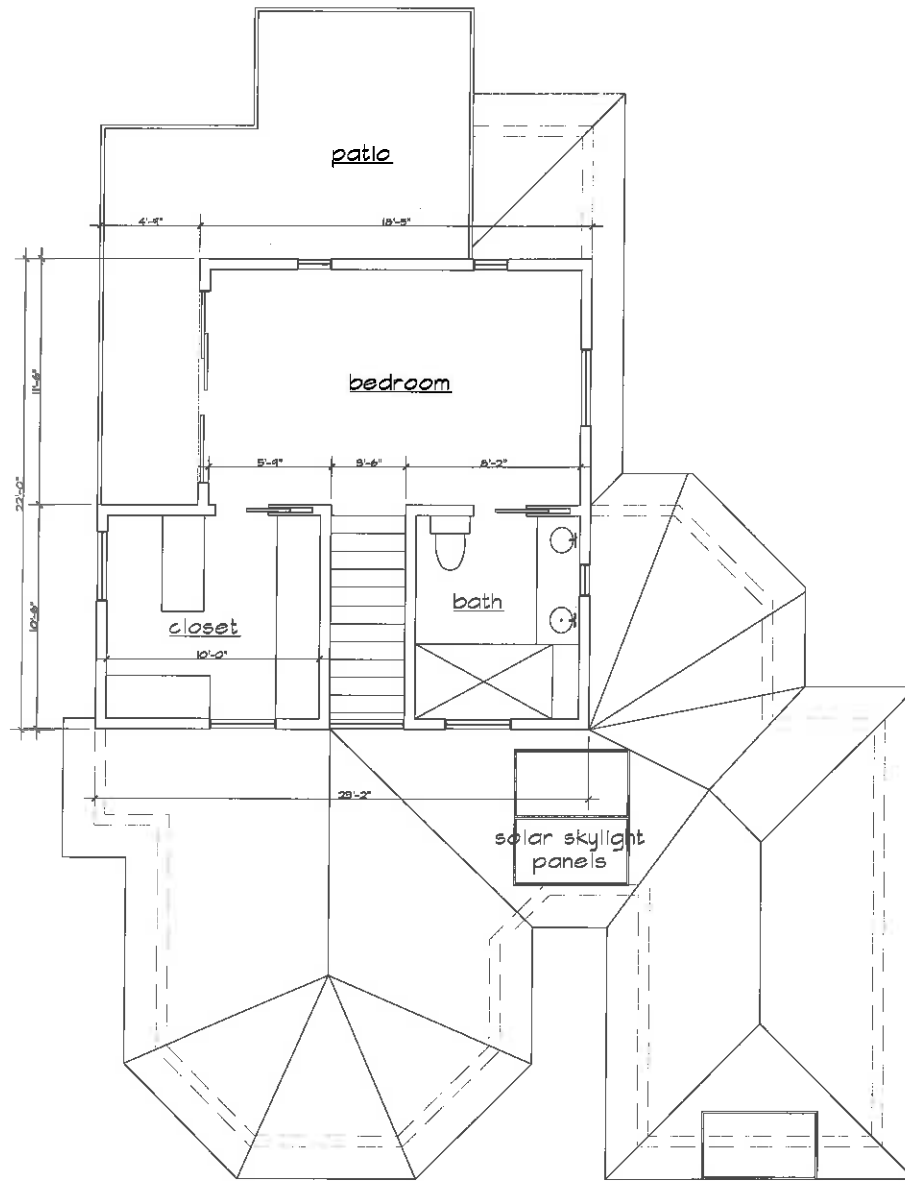
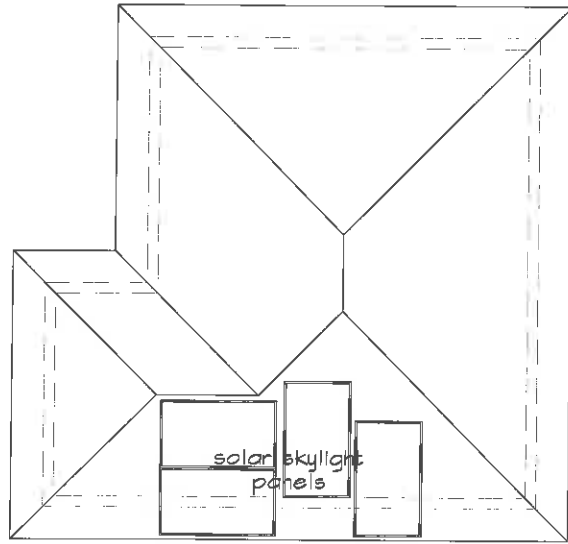


Trees		Shrubs Continued	
1	Dwarf Italian Cypress	C1	Amelia Maritime 'Sea Pink'
2	Japanese Maple	C2	Amelia Ungrated Red
3	Semi-Dwarf Purple Leaf Flowering Plum	C3	Amelia 'Siberian Red'
4	Major Lemon	C4	Amelia 'Balsam Lace'
5	Uppercanopy Monterey Pine	K	Green Dwarf Mondo Cypress
Shrubs		D1	Wild Rose Shrub 'Rugosa'
A1	Carmel Creeper 'Cneor'	D2	Wild Rose Shrub 'Kardana'
A2	Carmel Creeper 'Vergasop'	D3	Wild Rose Shrub 'Lafica'
B1	Bougainvillea 'Barbara Karet'	D4	Wild Rose Shrub 'Mullerana'
B2	Bougainvillea 'San Diego Red'	D5	Wild Rose Shrub 'Carmel'
B3	Bougainvillea 'New River'	E1	Agapanthus 'Creskop'
		E2	Agapanthus 'Liliput'

Kathy Gordon
Scale 1/4" = 1'-0"

Landscape Plans Selections
September 22, 2014

DWG. #	L-1.0	DRAWING: LANDSCAPE PLAN	Date	10.22.14	new residence	A.P.N. - 010-126-021-000	ENVIRO INTERNATIONAL, INC. Architects C-1048 P.O. Box 1724 Folsom Blvd., CA 95603 (925) 928-5407 Fax Central@enviro-international.com Salvador A. Barick	REVISIONS
			Scale	AS SHOWN				
			Drawn	jhb				
			Job					
			File					



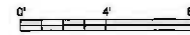
3 - roof plan - (ridge beam elev. = 126.5')



2 - second floor plan - (fin. floor elev. = 115.25')



1 - ground floor plan - (fin. floor elev. = 105.75')



GENERAL PROJECT NOTES:

- MOST RESTRICTIVE EXISTING GRADE ELEVATION IS 105' AS NOTED
- NEW RESIDENCE FINISH FLOOR ELEVATION IS 105'
- ROOF PITCH IS 3/12
- WINDOWS TO BE JELD-WYN - "TRADITION PLUS WOOD WINDOW" SERIES SIZED/OPERATION/DIVISIONS AS NOTED IN ELEVATION DRAWINGS. COLOR TO BE "FRENCH VANILLA" W/ BRICK MOLD.
- RESIDENCE EXTERIOR TO BE SMOOTH FINISH PLASTER W/ INTEGRAL COLOR
- LIVING WALL TO BE CONSTRUCTED IN CONFIGURATION FROM REDWOOD AS SHOWN
- EXTERIOR LIGHTING WHERE SHOWN
- DRIVEWAY TO BE SEMI PERMEABLE
- INTERIOR DOOR & WINDOW HARDWARE TO BE BRUSHED CHROME



◊ exterior wall mounted fixture

◊ exterior recessed fixture

EXTERIOR WALL MOUNTED LIGHT FIXTURE

VAXCEL LIGHTING
TOOTY FRANKLIN 1 OUTDOOR WALL SCORPE
W/ MOTION DETECTOR AND PHOTOCELL
OIL RUBBED BRONZE FINISH
MAXIMUM WATTAGE = 25W



◊ FIXTURE TO BE FLUSH MOUNTED IN SOFFIT - TRIM AND LENS TO BE FLUSH WITH SOFFIT FINISHED SURFACE
◊ FIXTURE T.B.D. - MAXIMUM WATTAGE = 25W

REVISIONS

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S.enviro@enviro-international.com
Robert A. Mark

A.P.N. - 010-126-021-000

new residence

Gordon Residence
NE corner of 2nd & Dolores Ave.
Carmel, California

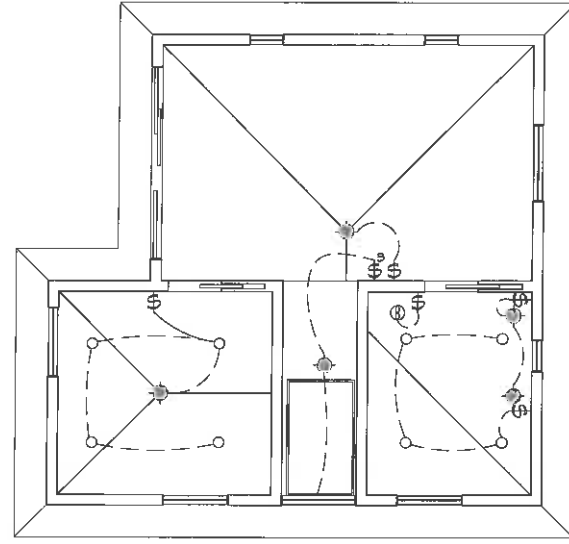
Date	Scale	AS SHOWN	Drawn	File
10.22.14			jhb	

DRAWING:

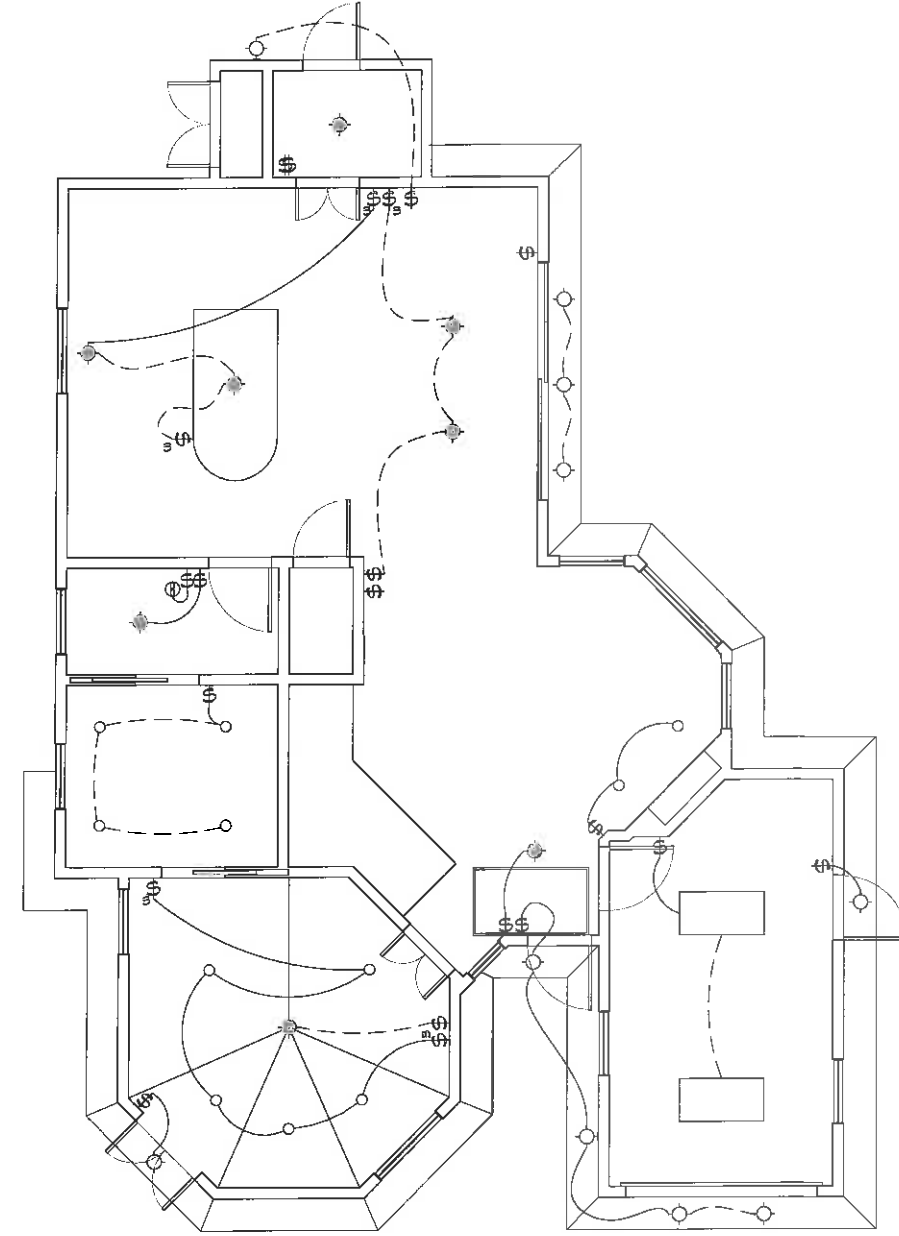
Plans

DWG. #

a1.0



2 - second floor - reflected ceiling plan
1/4"=1'-0"



1 - ground floor - reflected ceiling plan
1/4"=1'-0"

LEGEND					
Ⓢ	SWITCH	A.F.F. Ⓢ	DUPLEX	A.F.F. ▼	TELEPHONE JACK
Ⓢ _S	3-WAY SWITCH	A.F.F. Ⓢ	G.F.I. DUPLEX	A.F.F. ▼	DATA JACK
○	RECESSED CAN FIXTURE INTERIOR	A.F.F. Ⓢ	QUAD	Ⓢ	CABLE T.V.
⊙	SURFACE MOUNTED FIXTURE - INTERIOR	A.F.F. Ⓢ	G.F.I. QUAD	A.F.F. ⊕	THERMOSTAT
⊙	EXTERIOR RECESSED FIXTURE	VOLTAGE A.F.F. Ⓢ	220V OUTLET	W.P. Ⓢ	WEATHER PROOF COVER G.F.I.

Date	10.22.14
Scale	AS SHOWN
Drawn	jhb
Job	
File	

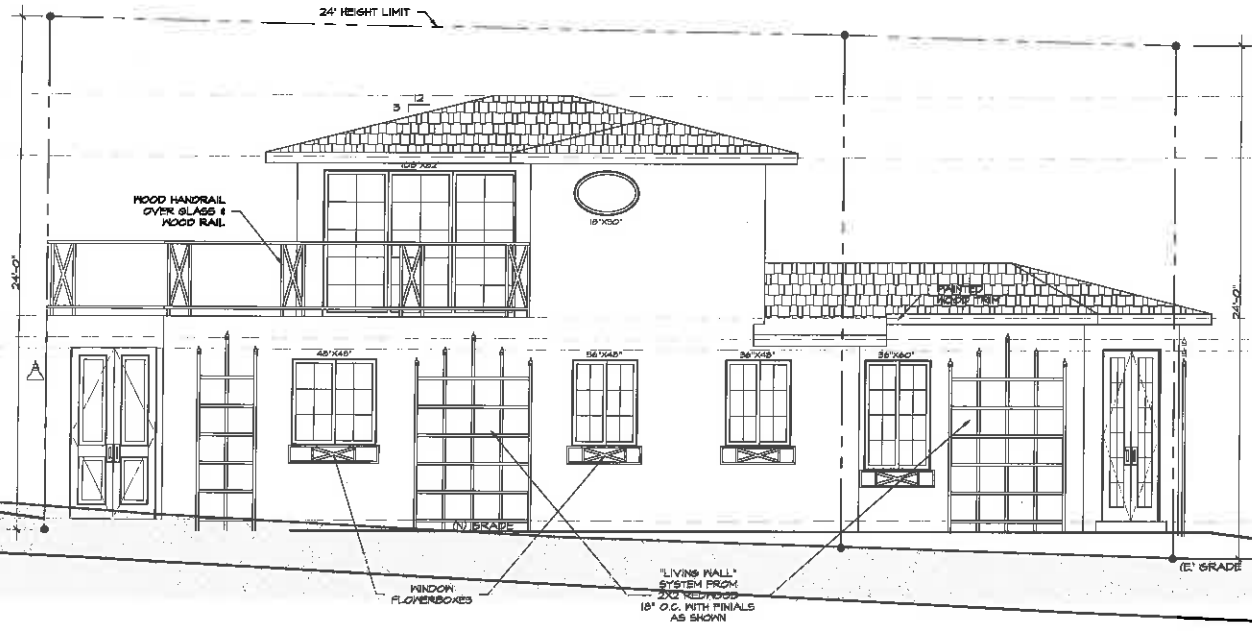
DRAWING:
Electrical - Reflected Ceiling Plans

DWG. #
e1.1

new residence
Gordon Residence
NE corner of 2nd & Dolores Ave.
Carmel, California

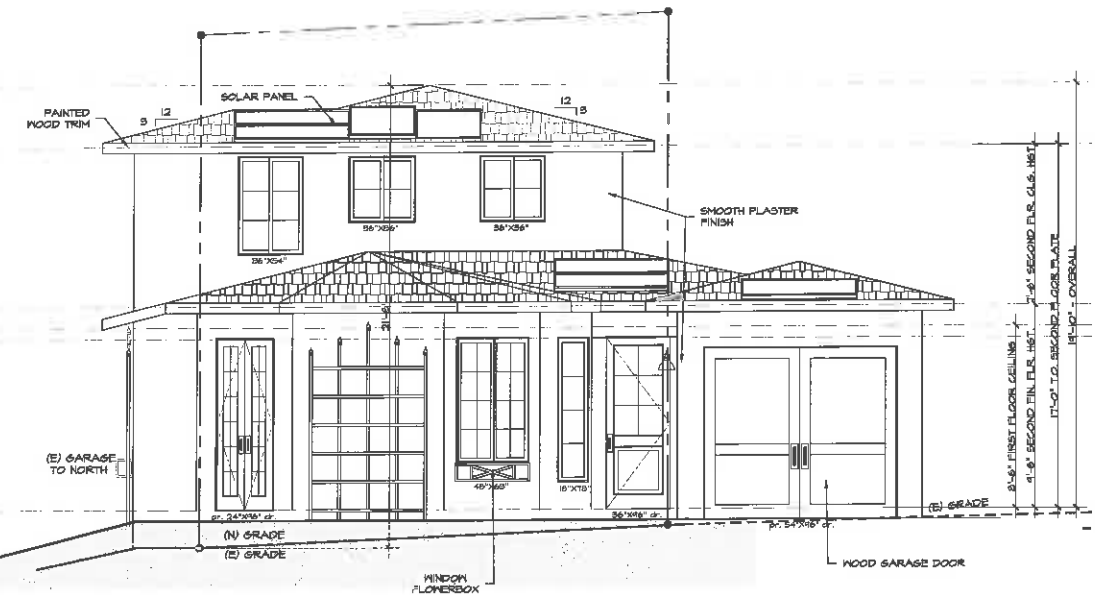
ENVIRO INTERNATIONAL, INC.
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Robert A. Mink

REVISIONS	

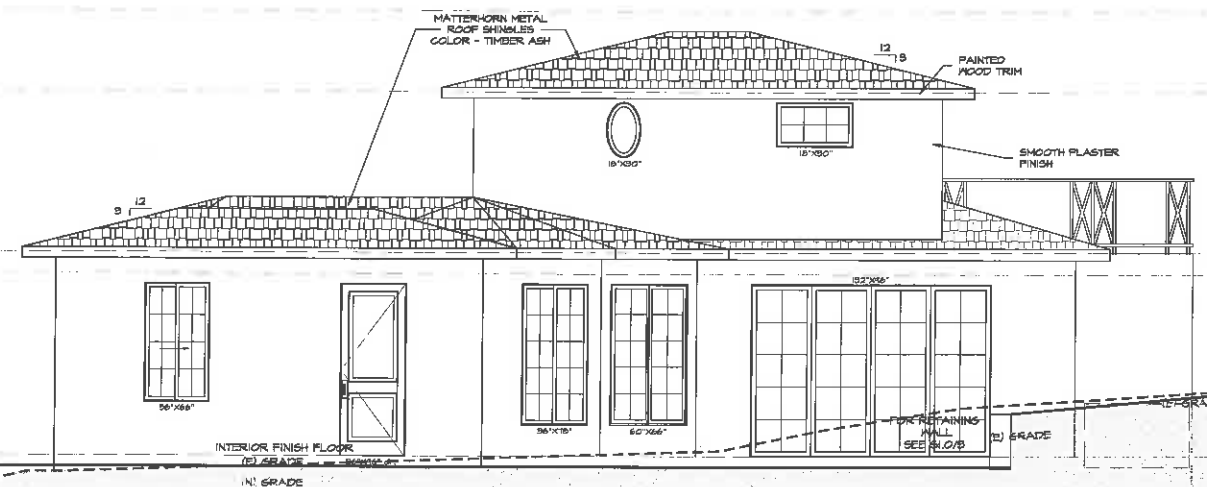


1 - elevation - west
1/4"=1'-0"

RIDGE BEAM ELEVATION (25.6')
SECOND FLOOR PLATE ELEVATION (22.75')
SECOND FLOOR FINISH FLR. ELEV. (19.25')
GROUND FLOOR PLATE ELEV. (14.25')

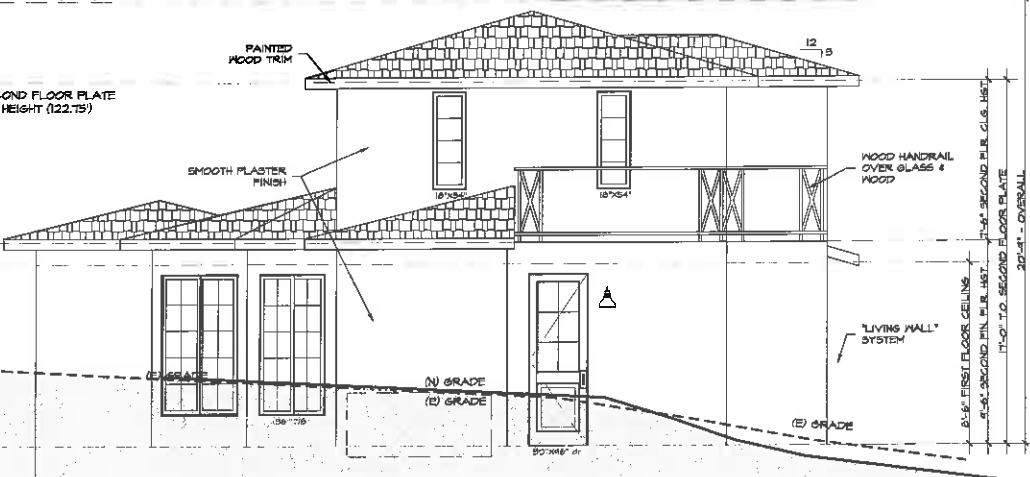


2 - elevation - south
1/4"=1'-0"



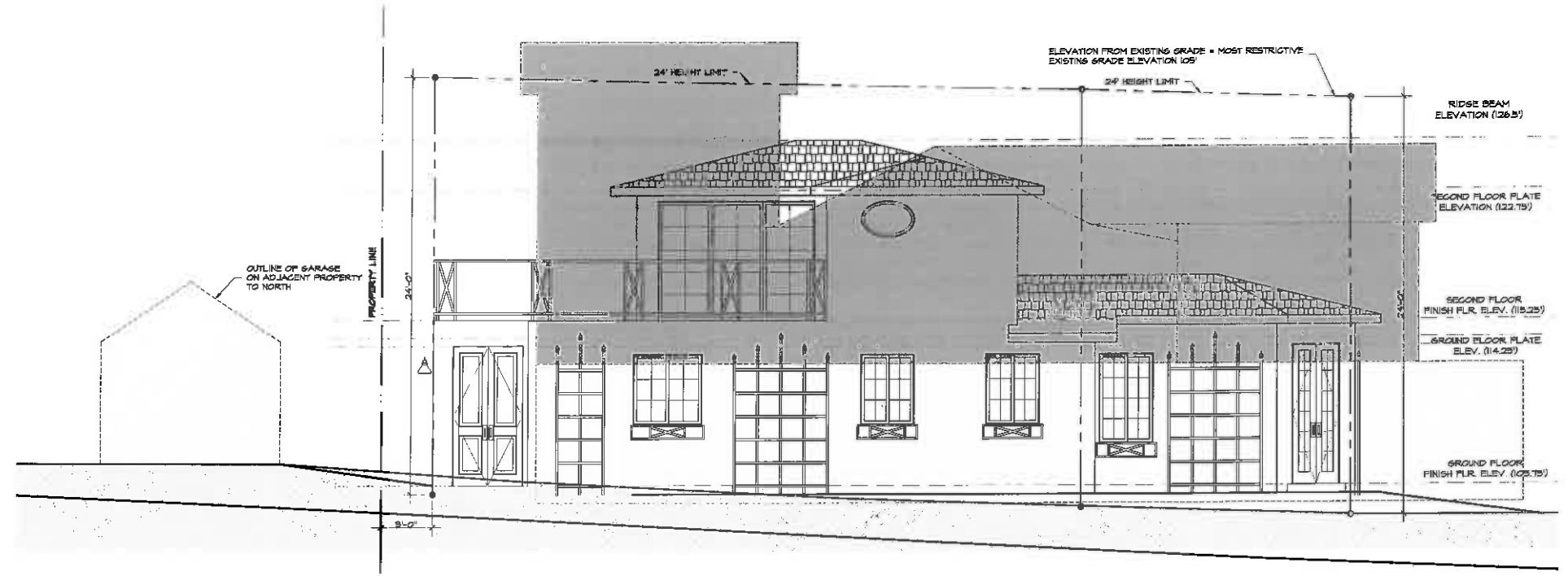
3 - elevation - east
1/4"=1'-0"

RIDGE BEAM ELEVATION (26.5')
SECOND FLOOR PLATE HEIGHT (22.75')
SECOND FLOOR FINISH FLR. ELEV. (19.25')
GROUND FLOOR PLATE ELEVATION (14.25')

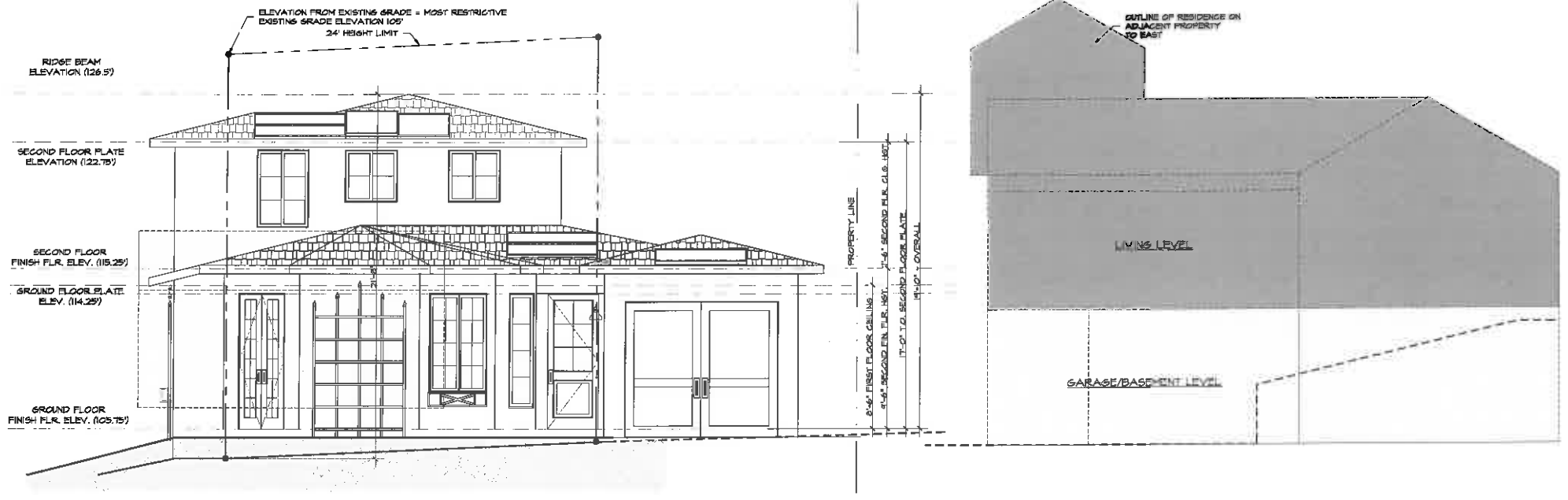


4 - elevation - north
1/4"=1'-0"

DWG. #	a2.0				
	DRAWING: Exterior Elevations				
Date	10.22.14	Scale	AS SHOWN	Drawn	jhb
Revised		Drawn		Job	
		File			
new residence		A.P.N - 010-126-021-000			
Gordon Residence NE corner of 2nd & Dolores Ave. Carmel, California					
ENVIRO INTERNATIONAL, INC. Architects C-7368 P.O. Box 1734 Folsom Beach, CA 95523 (916) 928-5407 Fax Serving@enviro-international.com Steven A. Vahlek					
REVISIONS					

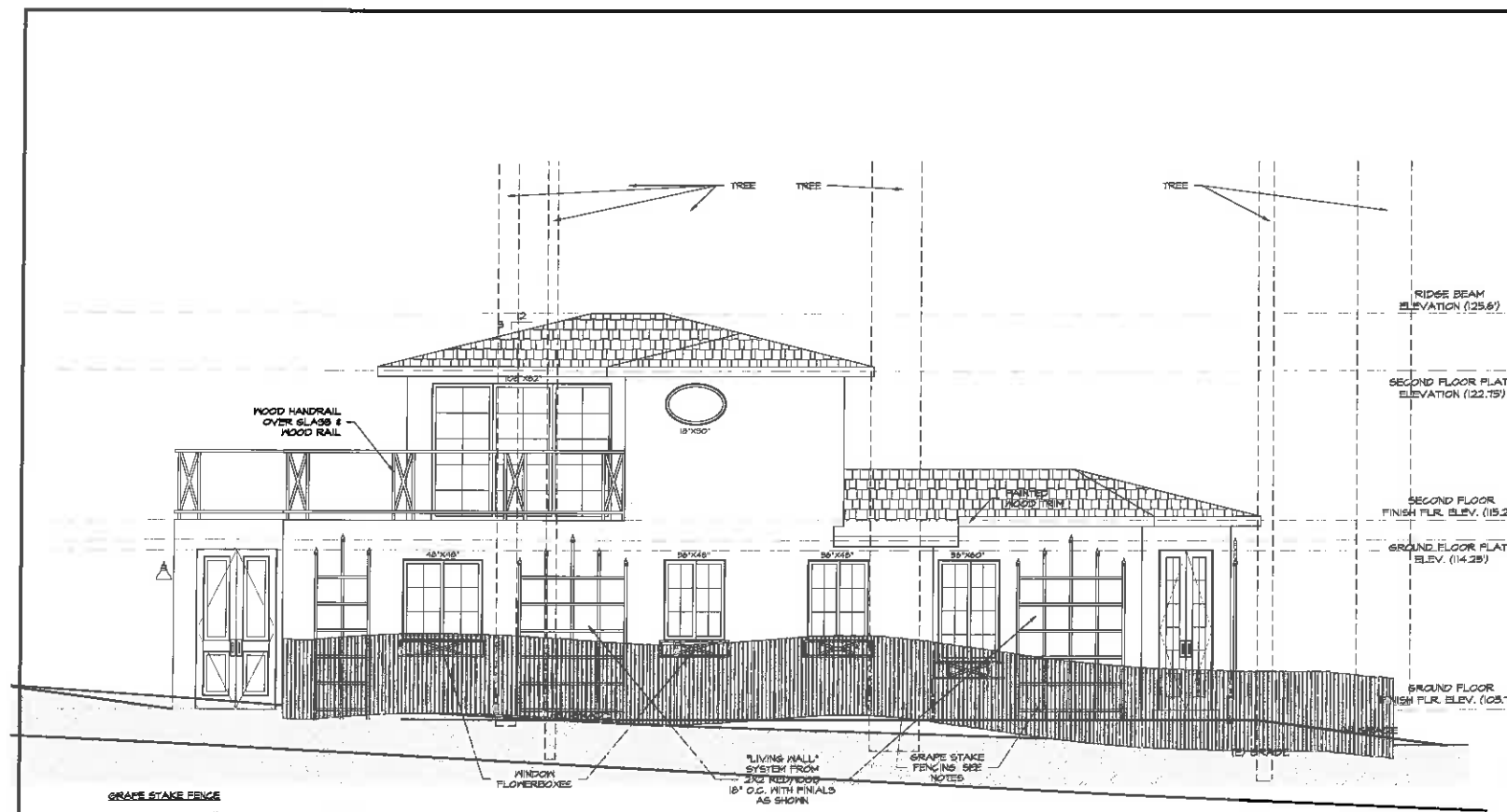


1 - elevation - streetscape on Dolores



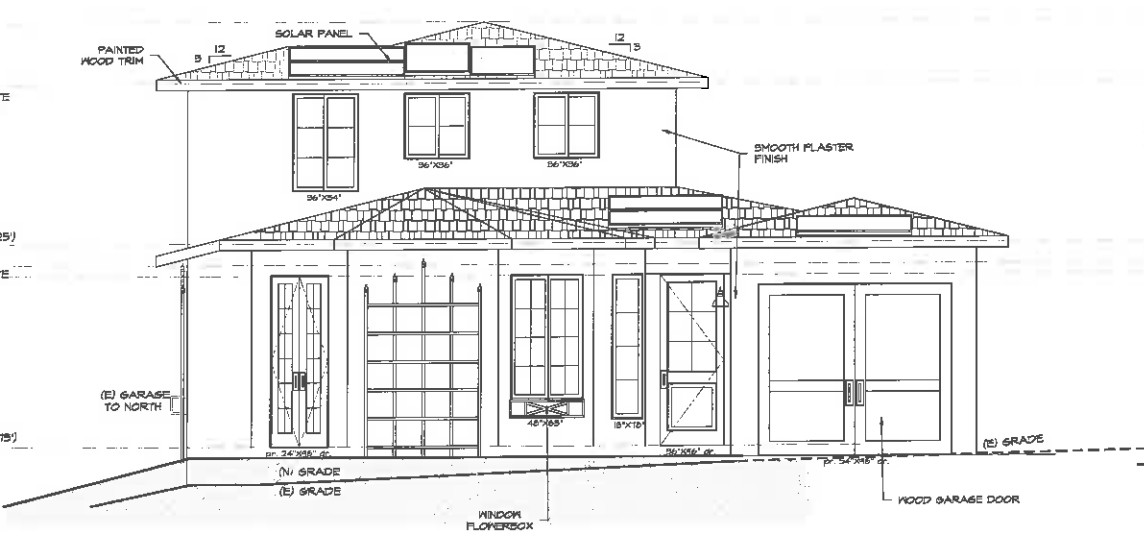
2 - elevation - streetscape on 2nd avenue

DWG. #	a2.1	
	DRAWING: Exterior Elevations	
Date	10.22.14	AS SHOWN
Scale		jhb
Drawn		
Job		
File		
new residence A.P.N. - 010-126-021-000		
Gordon Residence NE corner of 2nd & Dolores Ave. Carmel, California		
ENVIRO INTERNATIONAL, INC. Architects P.O. Box 1724, CA 95005 Tel: (831) 828-5400 (831) 828-5401 Fax Salvador@enviro-international.com Salvador A. Molok		
REVISIONS		

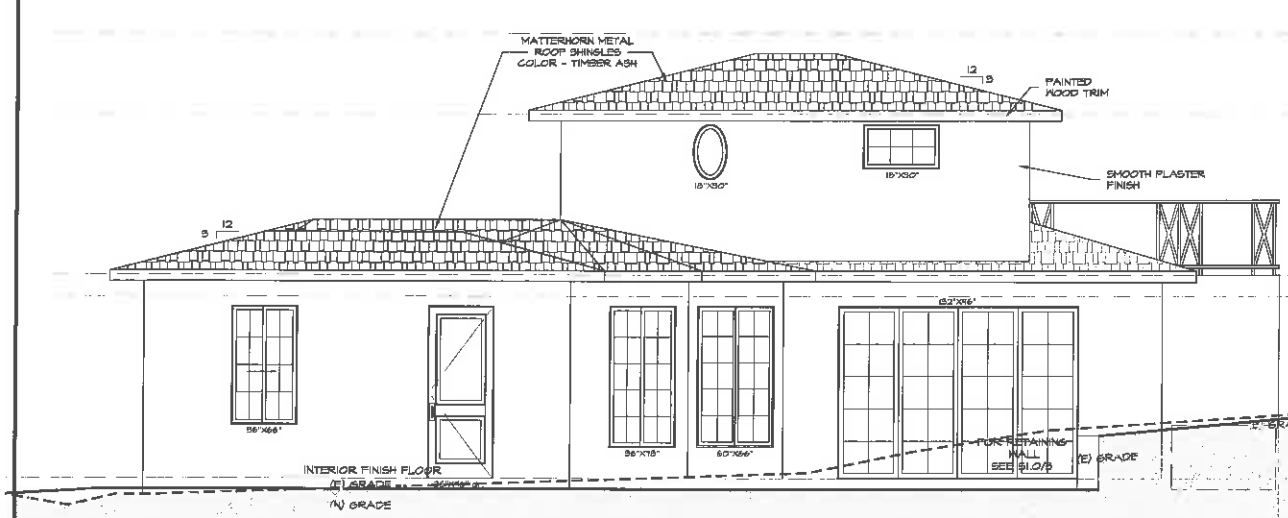


1 - elevation - west
1/4"=1'-0"

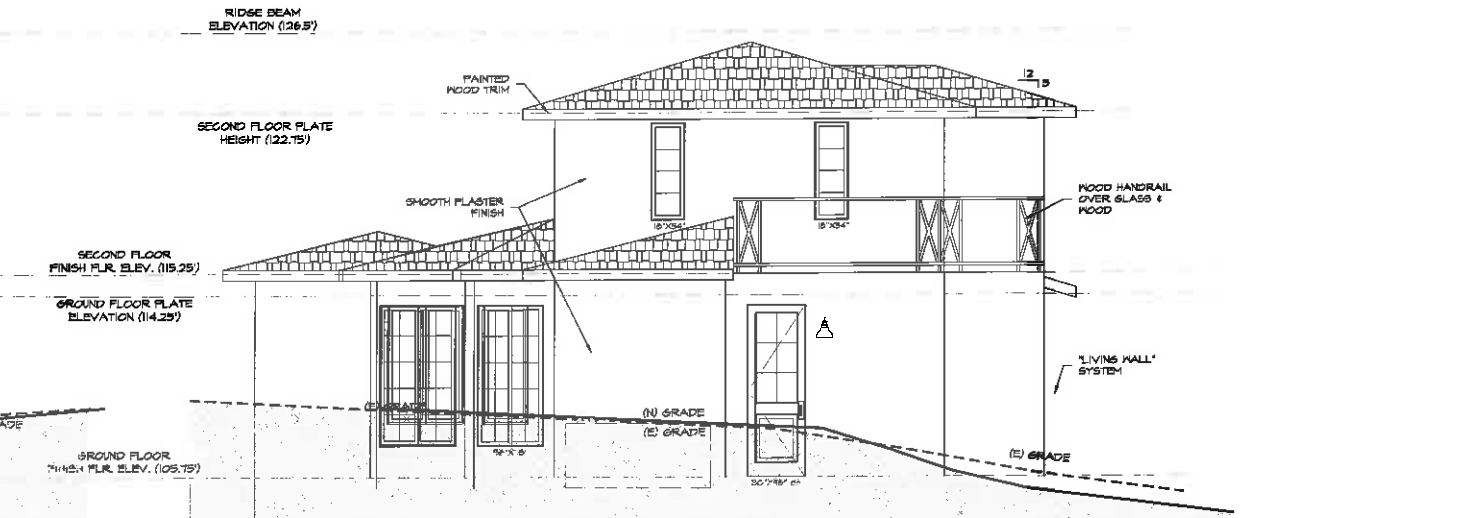
GRAPE STAKE FENCE
 FENCE HEIGHT 4'-0" ABOVE ADJACENT GRADE
 MATERIAL HAND SPLIT 2"x2" CEDAR GRAPESTAKES
 BRACING VERTICAL STAKES TO BE SPACED TIGHT
 SUPPORT 4"x5" REDWOOD POSTS @ 46" O.C.
 HORIZONTAL 2"x4" REDWOOD
 BOTTOM RAIL - 3" ABOVE GRADE
 TOP RAIL - 36" ABOVE GRADE



2 - elevation - south
1/4"=1'-0"



3 - elevation - east
1/4"=1'-0"



4 - elevation - north
1/4"=1'-0"

NO.	REVISIONS

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 (408) 261-9447 Fax
 Staff@enviro-international.com
 Steven A. Makit

A.P.N - 010-126-021-000

new residence

Gordon Residence
 NE corner of 2nd & Dolores Ave.
 Carmel, California

Date	Scale	Drawn	Job	File
10.22.14	AS SHOWN	jhb		

DRAWING:
Exterior Elevations

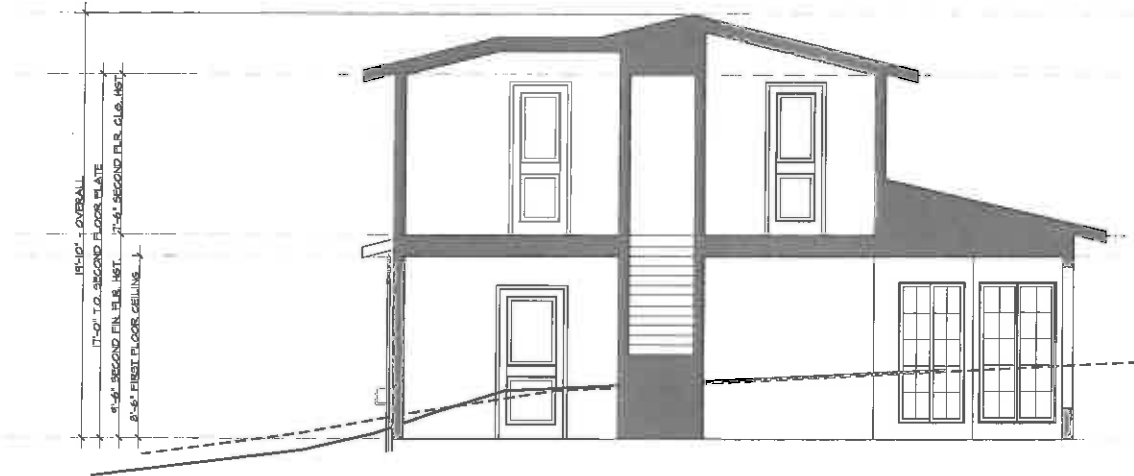
DWG. #
a2.2



1 - section
1/4"=1'-0"



2 - section
1/4"=1'-0"



3 - section
1/4"=1'-0"



4 - section
1/4"=1'-0"

REVISIONS	

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Sara A. Webb

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new residence
Gordon Residence
NE corner of 2nd & Dolores Ave.
Carmel, California

Date	10.22.14
Scale	AS SHOWN
Drawn	jhb
Job	
File	

DRAWING:
Sections

DWG. #
a3.0



Gordon Residence

NE corner of Dolores & 2nd Ave., Carmel, CA.

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Gordon Residence

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Gordon Residence

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Gordon Residence

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The Planning Commission reviewed this project on September 10, 2014, and continued it with a request for certain changes. The applicant has revised the design to address the recommendations made by the Planning Commission.

PROJECT DATA FOR THE RECONFIGURED 4,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	N/A	1,800 sf (37.6%) 1,600 sf residence 200 sf garage
Site Coverage	556 sf (13.9%)*	N/A	524 sf (13.1%)
Trees (upper/lower)	3/1 trees (recommended)	0/8 trees	0/7 trees
Ridge Height (1 st /2 nd)	18 ft./24 ft.	N/A	13 ft./20 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	N/A	10.5 ft./17 ft.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	N/A	15 ft. residence** 0 ft. detached garage
Composite Side Yard	10 ft. (25%)	N/A	11 ft.
Minimum Side Yard	3 ft.	N/A	3 ft. (main residence) 2 ft. (detached garage)
Rear	3 ft. (1st-story) 15 ft. (2nd-story)	N/A	29 ft.
*Includes a 4% bonus if 50% of all coverage is permeable or semi-permeable			
**Chimney permitted to encroach 2 feet into 15-foot front-yard setback			

Staff analysis:

Previous Hearing: The following is a list of recommendations made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The applicant shall work with staff to explore options to minimize the impact to the adjacent northern property.*

Analysis: At the September 2014 Planning Commission meeting, it was identified that the two-story portion of the building was located 3 feet from the north property line and potentially created an impact the adjacent residence to the north. The Commission directed the applicant

to work with staff on revising the design to mitigate the impact and indicated that the two-story portion of the building should be shifted farther away from the neighboring residence to the north. The applicant has revised the design by shifting the two-story portion of the building an additional 2-feet 9-inches south. The two story portion of the building now has a side-yard setback of 5-feet 9-inches from the north property line, which is an improvement over the original proposed 3-foot setback. In addition, the landscape plan on Sheet D-7 of the plan set includes a new row of Leland Cypress trees along the north property line that will help screen the building. The Commission should review whether these revisions adequately address the potential impact to the northern neighbor. The original proposed site plan is included as Attachment E for comparison.

2. *The detached garage shall be shifted 6 inches south to provide a 2-foot setback from the north property line.*

Analysis: The applicant has originally proposed a 1.5-foot setback from the north side-yard property line. The Planning Commission recommended that the garage be shifted at least 6 inches to provide a 2-foot setback from the north property line. The purpose of the increased setback is to allow for future access and maintenance of the north side of the garage. The applicant has complied with this recommendation by shifting the garage 6 inches south.

Exterior Lighting: Design Guideline 11.8 recommends using lights: *“Only where needed for safety and at outdoor activity areas. Appropriate locations may include building entries, gates, terraces, walkways and patios.”*

The applicant depicts the proposed wall-mounted lights on the elevation drawings and on the site plan. The locations of the proposed light fixtures are consistent with the above guidelines. The site plan notes that the fixtures will be 25 watts and 210 lumens. A specification sheet on the bulb type is also included as Attachment D.

Fence Design: The site plan indicates a new 6-foot high solid wood fence along the side and rear property lines and a new 4-foot high wood grape-stake fence along the front (west) property line. An elevation drawing of the front fence is shown on Sheet D-5 of the plan set. Staff notes that side-yard fences located in the 15-foot front-yard setback are permitted to be a maximum height of 4 feet. The site plan notes that the portion of the fence along the north property line in the front-yard setback will be 4 feet high, but does not include a note regarding the fence along the south property line. A condition has been drafted requiring that the portion of the fence in the front-yard setback along the south property line also be a maximum of 4 feet high.

The site plan indicates that a new 6-foot high fence will be installed along the rear (east) property line. The eastern neighbor has requested such a fence in this area to ensure privacy. A condition has been drafted requiring that a rear fence be installed, as indicated on the site plan.

Public ROW: There are currently no encroachments in the City Right-of-Way (ROW) at the front of the property. The project includes a proposal for a new 18-inch high retaining wall in the City ROW along the north side of the driveway, which would require an encroachment permit. The applicant has indicated that the proposed wall would likely be necessary due to the grading that is proposed in the area of the garage. A condition has been drafted requiring the applicant to obtain an encroachment permit for the wall. However, the condition also includes a requirement that the applicant work with staff on exploring options that would eliminate or shorten the retaining wall, and potentially eliminate the need for an encroachment permit..

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – Construction or modification of a limited number of new or existing small structures. The proposed new residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Light Bulb Specifications
- Attachment E – Original Site Plan
- Attachment F – Project Plans

Attachment A – Site Photographs



Project site – Facing east on Monte Verde Street



Project site – Back southeast corner of property with 35% slope



Photo taken from project site – Adjacent residence to south



Photo taken from project site – Adjacent residence to north

Attachment B – Findings for Approval

DS 14-72(Levett)
 November 12, 2014
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

<p>8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.</p>	<p>✓</p>	
<p>9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.</p>	<p>✓</p>	
<p>10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.</p>	<p>✓</p>	
<p>11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.</p>	<p>✓</p>	
<p>12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.</p>	<p>✓</p>	
<p>Coastal Development Findings (CMC 17.64.B.1):</p>		
<p>13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.</p>	<p>✓</p>	

Attachment C – Conditions of Approval

DS 14-72 (Levett)
 November 12, 2014
 Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 14-72) authorizes the construction of a new 1,800-square foot two-story residence, which includes 1,174 square feet on the ground level, 433 square feet on the upper level, and a 200-square foot detached garage located in the front-yard setback. Finish materials include plaster siding on the lower level and board and batten siding on the upper level, a wood-shake roof, as well as unclad wood windows and doors. The residence shall be consistent with the November 12, 2014 approved plans.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction,	✓

	the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	N/A
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden	✓

	mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the	✓

	Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Special Conditions		
22.	The applicant shall revise the fence plan to indicate that the portion of the fence along the south property line in the 15-foot front-yard setback will have a maximum height of 4 feet. The change shall be reflected on the working plan set.	✓
23.	Prior to final building inspection, the applicant shall install a 6-foot high solid wood fence along the rear (east) property line.	
24.	Prior to the final inspection, the applicant shall apply for and obtain an encroachment permit for the proposed 18-inch high retaining wall in the City right-of-way. The applicant shall first work with staff to explore options that eliminate the need for the retaining wall.	✓

*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

 Printed Name

 Date

Once signed, please return to the Community Planning and Building Department.

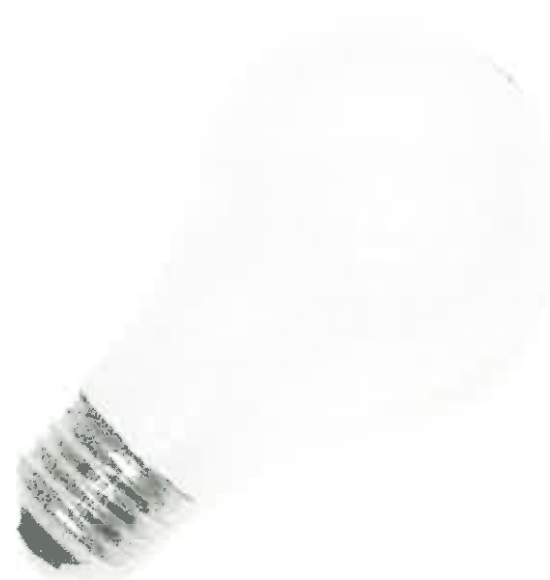


Volume Discounts
for your Business

Shop All Categories

Search Search Help

Light Bulbs > General Purpose Light Bulbs > A19 > **GE 97492 (25AW)**



Mouse-over or click for large photo



GE Incandescent Light Bulb

25 watt - 120 volt - A19 - Medium Screw (E26) Ba

\$1.99

Quantity:

+ ADD TO CART

Specifications

eLightBulbs Part #: **GL97492**

Manufacturer: **GE**

Manufacturer Part #: 97492

Manufacturer Desc.: **25A/W**

Case Size: 24 (\$47.76/Case)

The pricing of \$1.99 is per item, not case

Compare with other Brands

Ships
10/27

PHILIPS

RECEIVED

OCT 13 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

Light Output: 210 lumens

Energy Used: 25 watts

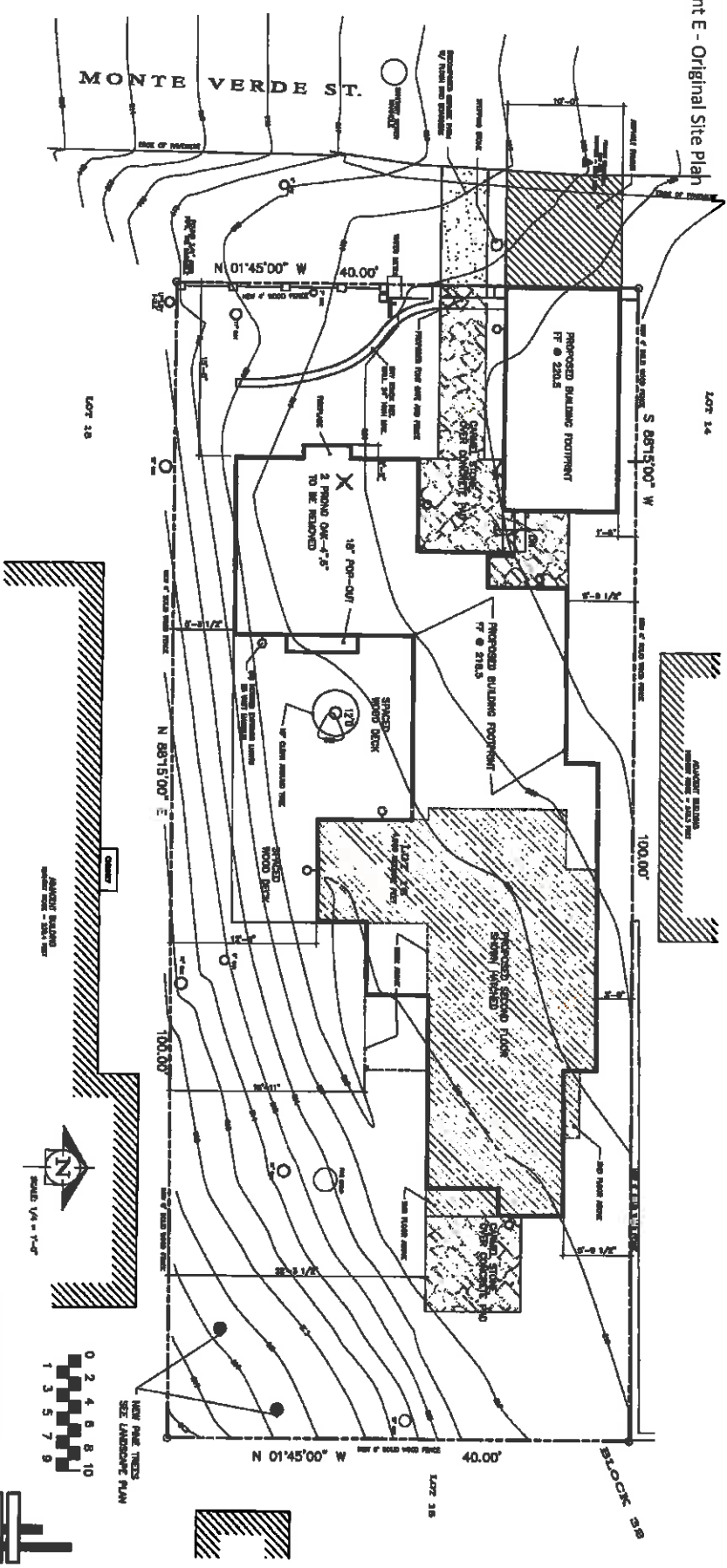
Average Lifetime: 2,500 hours

Volts: 120

Bulb Type: A19

Base Type: Medium Screw (E26)

Filament Type: CC6



PROJECT INFORMATION

MONTE VERDE STREET 3 W/E OF 4TH AVE.
 CANYON BY THE SEA, CA 93921
 CARNEL LOT 16, BLOCK 32
 A.P.N. 010-222-007
 SITE AREA: 4,000 S.F. 0.0918 ACRES
 PROPOSED TREE REMOVAL (1)
 PROPOSED TREE PLANTING (2)
 PROPOSED GRADING: 80 CY CUT
 ZONING: R-1
 MAXIMUM BUILDING HEIGHT = 24'

OWNER INFORMATION

DENNIS A LUNETT
 P. O. Box 4915
 CANYON BY THE SEA, CA 93921
 ALLOWED: 45.0 % 1,800 S.F.
 PROPOSED:
 FIRST FLOOR RESIDENCE 1,174 S.F.
 SECOND FLOOR RESIDENCE 433 S.F.
 GARAGE 200 S.F.
 TOTAL: 46.0 % 1,800 S.F.

HARDSCAPE COVERAGE

ALLOWED: 22% OF BASE FA = 396 S.F.
 50% PERVIOUS BONUS:
 4% OF SITE AREA = 160 S.F.
 = 556 S.F.
 PROPOSED:
 DRIVEWAY 0 S.F.
 FRONT WALKS 146.0 S.F.
 SOUTH DECK 297.0 S.F.
 EAST PATIO 82.0 S.F.
 TOTAL 525.0 S.F.

SHEET INDEX

- D1..... PROPOSED SITE PLAN
- D2..... SURVEY - NOV 2013
- D2.1... SURVEY - JAN 2006
- D3..... FLOOR PLANS
- D4..... FLOOR PLANS DIMENSIONED
- D5..... EXTERIOR ELEVATIONS
- D6..... ROOF PLAN
- D7..... LANDSCAPE PLAN
- D8..... STREETSCAPE
- D9..... GRADING PLAN

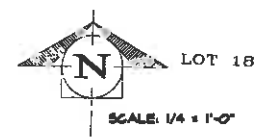
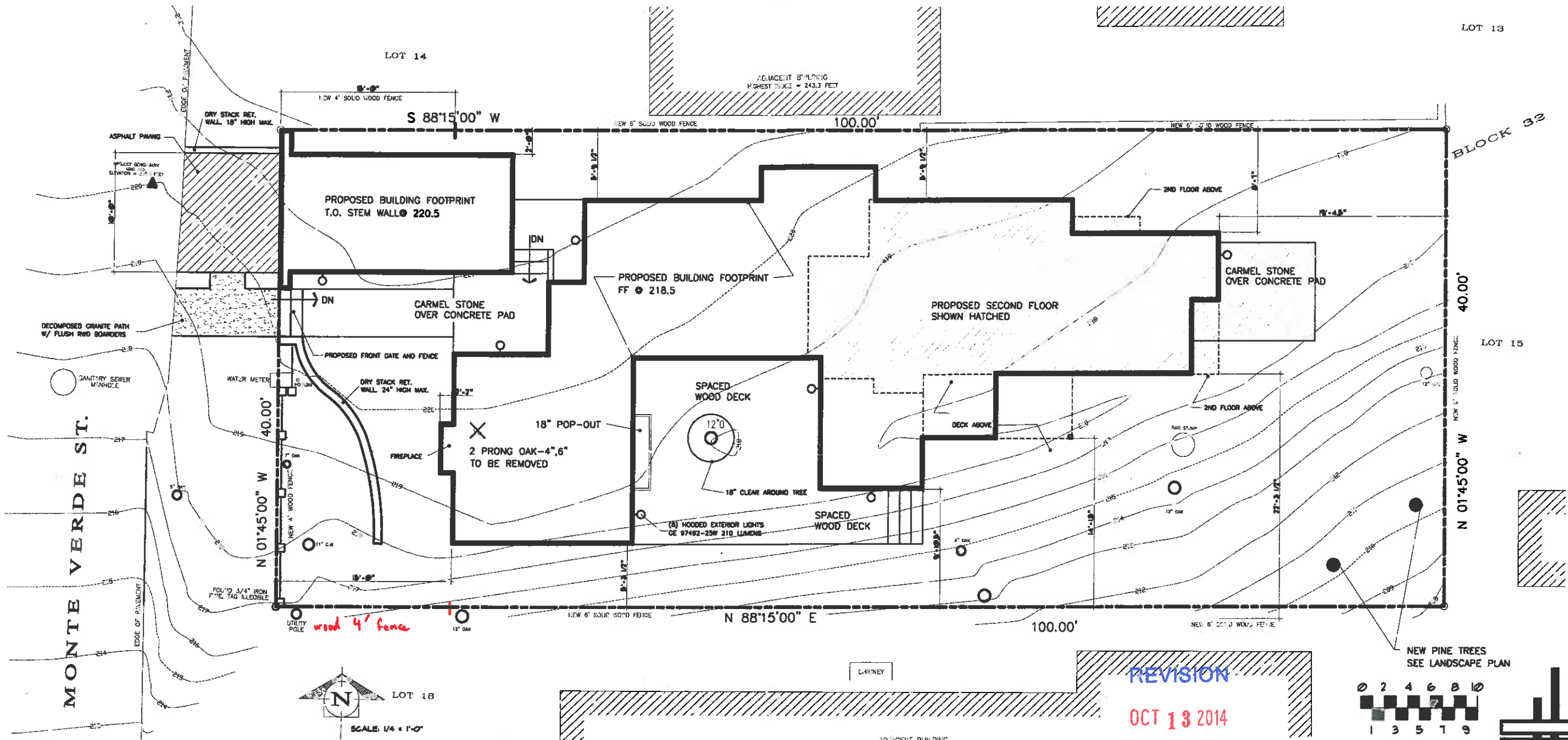
Proposed SITE PLAN

JOHN MANDURRABO
 Design Studios
 1406
 08-04-14

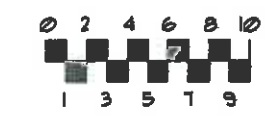
REVISION

AUG 20 2014 VICINITY MAP
 City of Carmel-by-the-Sea
 Planning & Building Dept.

MONTE VERDE RESIDENCE
 MONTE VERDE ST 3 NE OF 4TH AVE
 CARMEL BY THE SEA, CA
 A.P.N. 010-222-007



REVISION
OCT 13 2014



PROJECT INFORMATION

MONTE VERDE STREET 3 N/E OF 4TH AVE.
CARMEL BY THE SEA, CA 93921

CARMEL LOT 16, BLOCK 32
APN. 010-222-001

SITE AREA: 4,000 S.F. 0.0918 ACRES

PROPOSED TREE REMOVAL (1)
PROPOSED TREE PLANTING (2)
PROPOSED GRADING: 80 CY CUT

ZONING: R-1

MAXIMUM BUILDING HEIGHT = 24'

OWNER INFORMATION

DENNIS A LEVETT
P. O. Box 4915
CARMEL BY THE SEA, CA 93921

FLOOR AREA

ALLOWED: 45.0 %	1,800 S.F.
PROPOSED:	
FIRST FLOOR RESIDENCE	1,132 S.F.
SECOND FLOOR RESIDENCE	468 S.F.
GARAGE	200 S.F.
TOTAL: 45.0 %:	1,800 S.F.

HARDSCAPE COVERAGE

ALLOWED: 22% OF BASE FA = 396 S.F.
50% PERVIOUS BONUS:
4% OF SITE AREA = 160 S.F.
556 S.F.

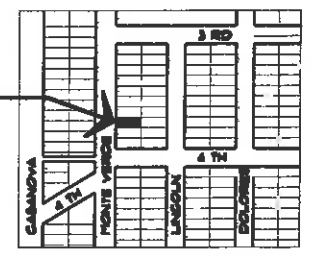
PROPOSED:

DRIVEWAY	0 S.F.
FRONT WALKS IMPERVIOUS	145.0 S.F.
SOUTH DECK PERVIOUS	291.0 S.F.
EAST PATIO IMPERVIOUS	82.0 S.F.
TOTAL	524.0 S.F.

SHEET INDEX:

- D1... PROPOSED SITE PLAN
- D2... SURVEY - NOV 2013
- D2.1... SURVEY - JAN 2008
- D3... FLOOR PLANS
- D4... FLOOR PLANS DIMENSIONED
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- D6... ROOF PLAN
- D7... LANDSCAPE PLAN
- D8... STREETSCAPE
- D9... GRADING PLAN

SITE



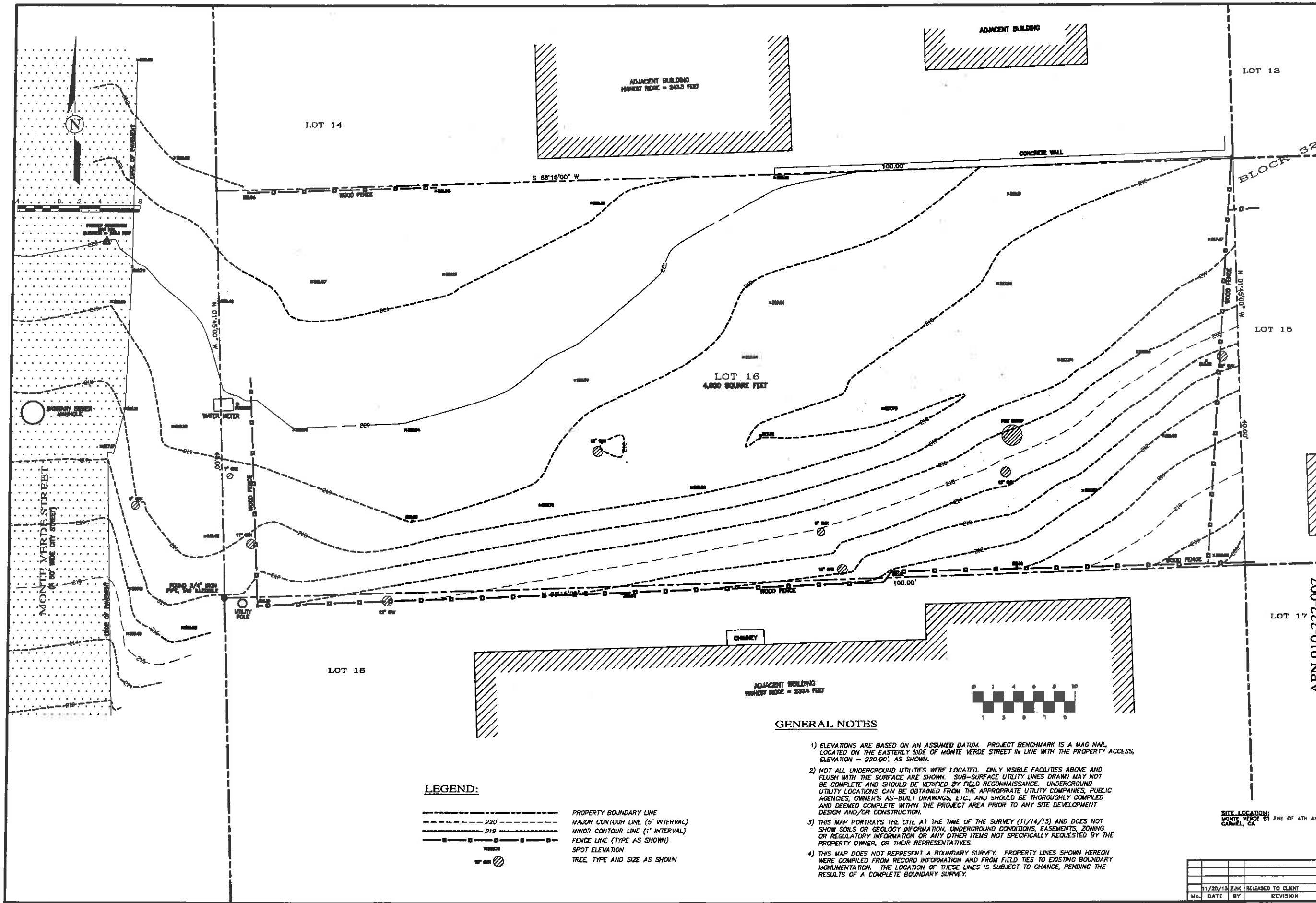
VICINITY MAP
NO SCALE

Proposed SITE PLAN

JOHN MANDURRAGO
Design Studios
P. O. BOX 77, CARMEL BY THE SEA, CA 93921 831-425-1533

1408
D1

MONTE VERDE RESIDENCE
MONTE VERDE ST 3 N/E OF 4TH AVE
CARMEL BY THE SEA, CA
A.P.N. 010-222-001



APPROVED BY:
 CITY R. GIRAUDO
 P.L.S. No. 8708

LANDSET
 ENGINEERS, INC.
 ENGINEERING - LAND PLANNING
 SURVEYING - ENVIRONMENTAL CONSULTING
 520-B CREEK HORSE CANYON ROAD, SALINAS, CA 93907

TOPOGRAPHIC MAP
 OF
 LOT 16 IN BLOCK 32
 VOL. 1 OF "CITIES AND TOWNS" AT PAGE 2
 CARMEL - BY - THE - SEA, CALIFORNIA

APN 010-222-007

SITE LOCATION:
 MONTE VERDE ST
 3RD OF 4TH AVE
 CARMEL, CA

SCALE: 1"=4'
 DATE: NOVEMBER 2013
 JOB NO. 1270-01

SHEET
D2

No.	DATE	BY	REVISION
1	11/20/13	ZJK	RELEASED TO CLIENT

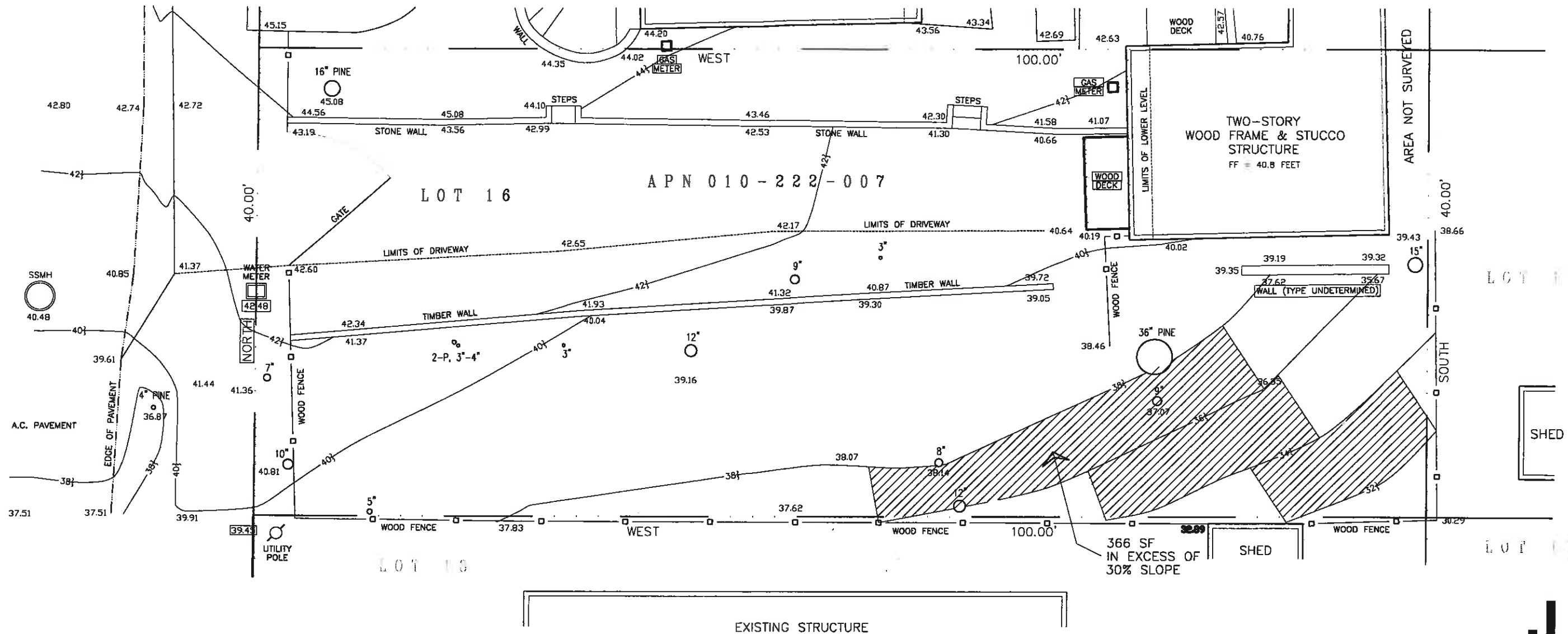
GENERAL NOTES

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS A MAG NAIL, LOCATED ON THE EASTERLY SIDE OF MONTE VERDE STREET IN LINE WITH THE PROPERTY ACCESS, ELEVATION = 220.00', AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (11/14/13) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER, OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

LEGEND:

- PROPERTY BOUNDARY LINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- FENCE LINE (TYPE AS SHOWN)
- SPOT ELEVATION
- TREE, TYPE AND SIZE AS SHOWN

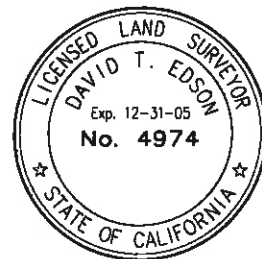




NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
- ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. TEMPORARY BENCHMARK IS FINISHED FLOOR OF NORTHERLY STRUCTURE, TAKEN AT THE FRONT ENTRY THRESHOLD, AS SHOWN.

ELEVATION = 50.0 FEET (ASSUMED)
- CONTOUR INTERVAL = TWO FEET.
- TREE TYPES ARE OAK UNLESS OTHERWISE INDICATED. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 2" ARE NOT SHOWN. MULTI-PRONGED TREES LABELED "x-P".
- BUILDING CORNERS LOCATED TO OUTSIDE FACE OF STUCCO



TOPOGRAPHIC MAP
OF
LOTS 12, 14 & 16 IN BLOCK 32
MAP OF CARMEL-BY-THE-SEA
VOLUME ONE, CITIES & TOWNS, PAGE 2
RECORDS OF MONTEREY COUNTY

CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
Chris Tescher

BY
CENTRAL COAST SURVEYORS
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940
Phone: (831) 394-4930
Fax: (831) 394-4931

SCALE: 1" = 8' JOB No. 04-218 JANUARY 2005

PREPARER: BMC

APN's 010-222-007 & 008



SURVEY

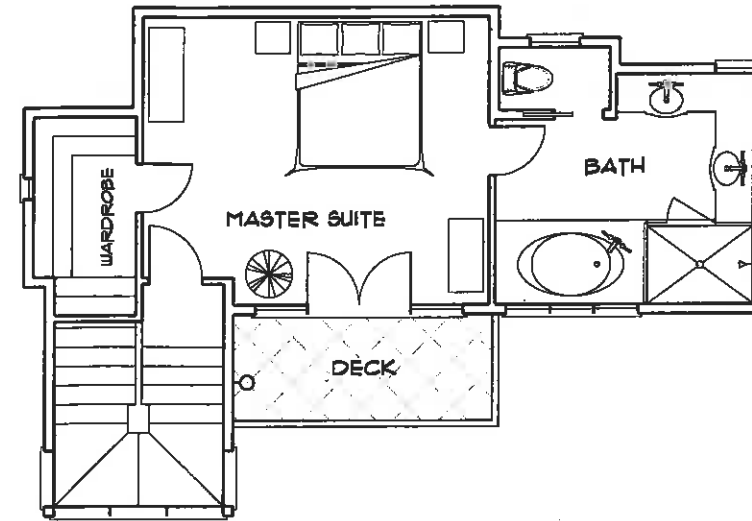
08-24-14

JOHN MANDURRAGO
Design Studios

1406
D2.1

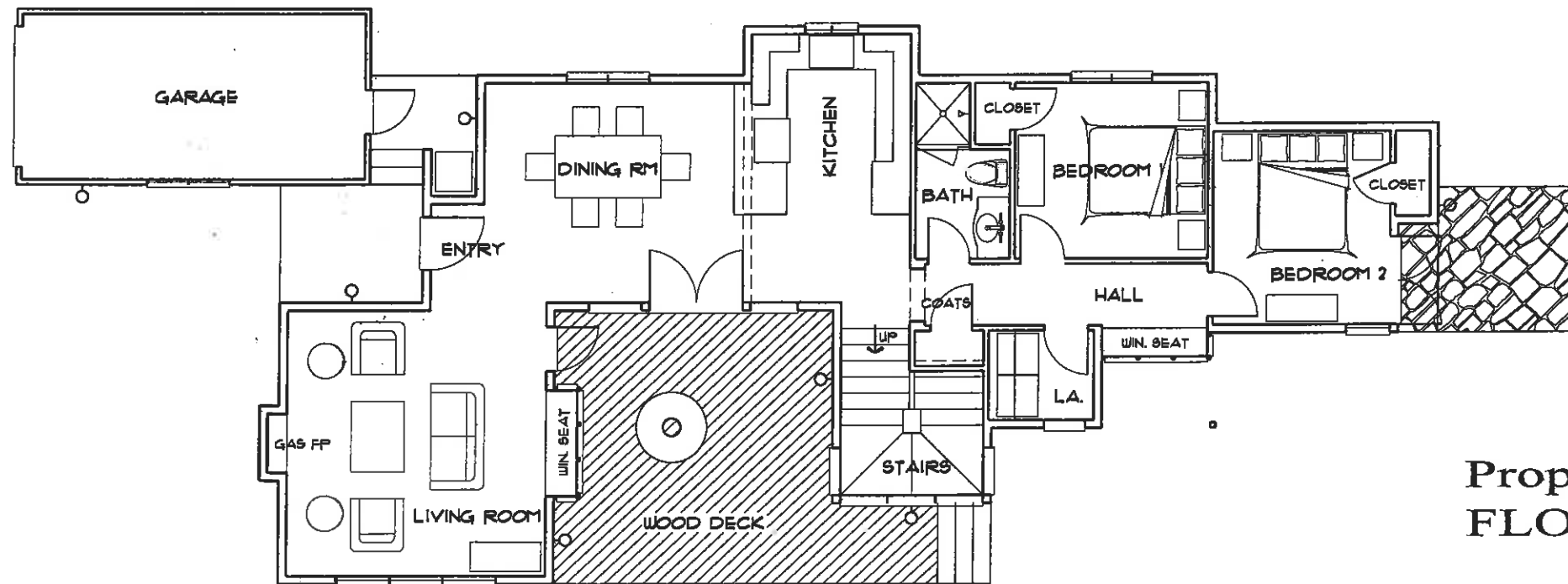
P. O. BOX 74, CARMEL-BY-THE-SEA, CA. 93921 831-625-1553

MONTE VERDE RESIDENCE
MONTE VERDE ST 3 NE OF 4TH AVE
CARMEL BY THE SEA, CA.
A.P.N. 010-222-007

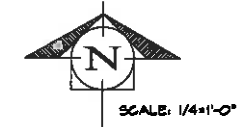


SECOND LEVEL
468 SF

200 SF



FIRST LEVEL
1,132 SF



**Proposed
FLOOR PLANS**

08-24-14

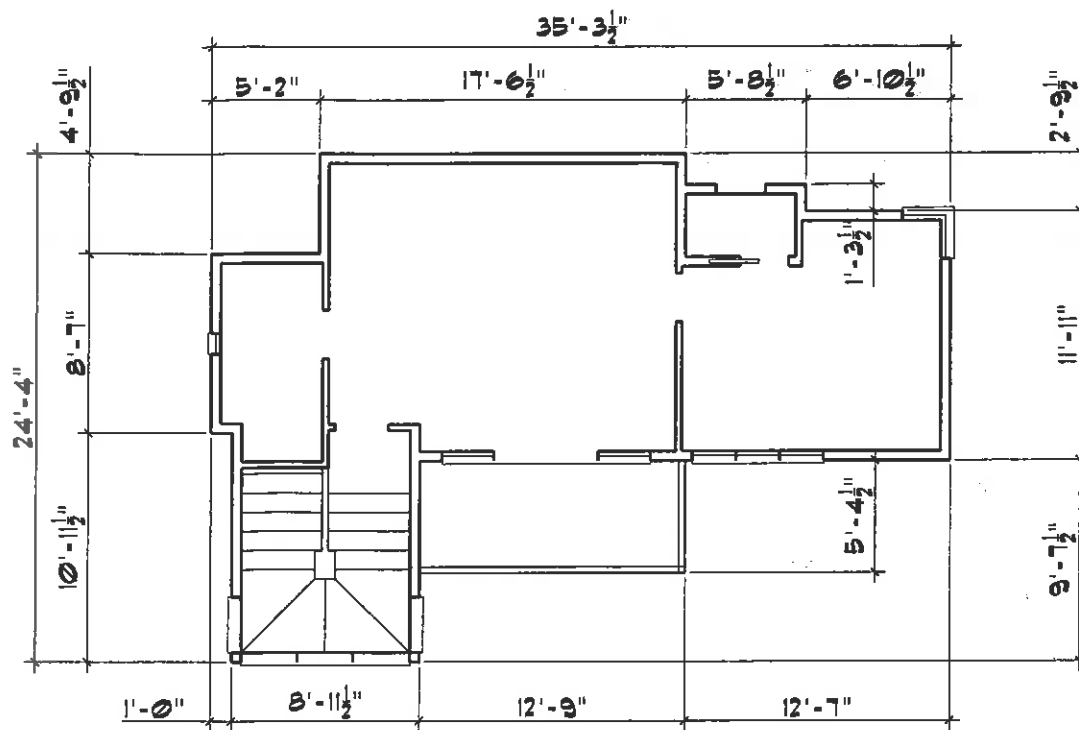
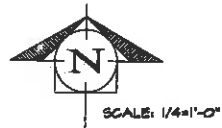
1406

JOHN MANDURRAGO
Design Studios

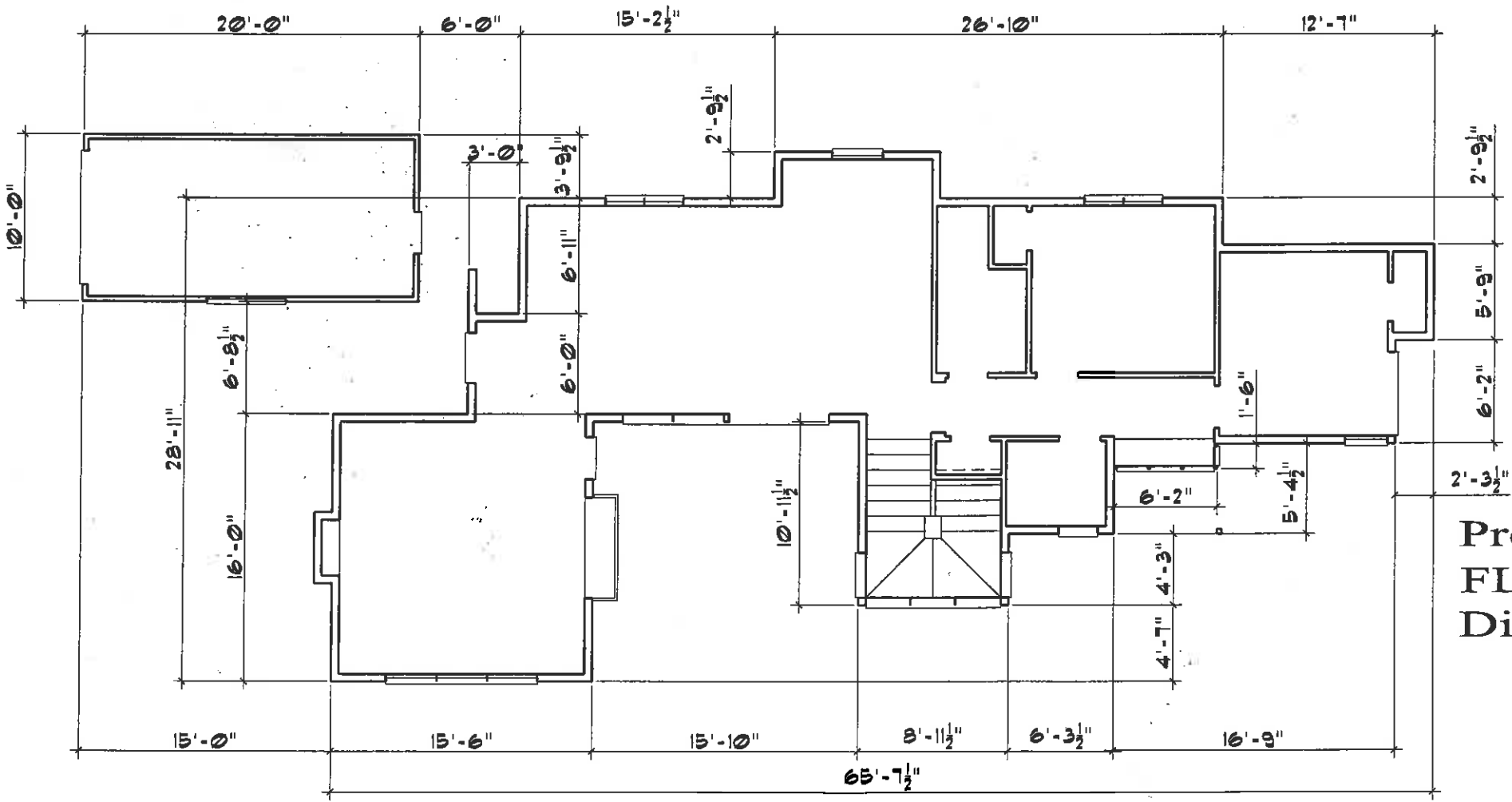
P. O. BOX "R", CARMEL, CA 93921 831-825-1553

D3

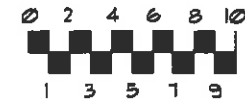
Monte Verde Residence
MONTE VERDE ST. 3 NE OF 4TH AVE
CARMEL BY THE SEA, CA.
A.P.N. 010-222-007



**SECOND
LEVEL**



FIRST LEVEL



**Proposed
FLOOR PLANS
Dimensioned**

09-24-14

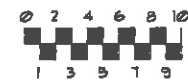
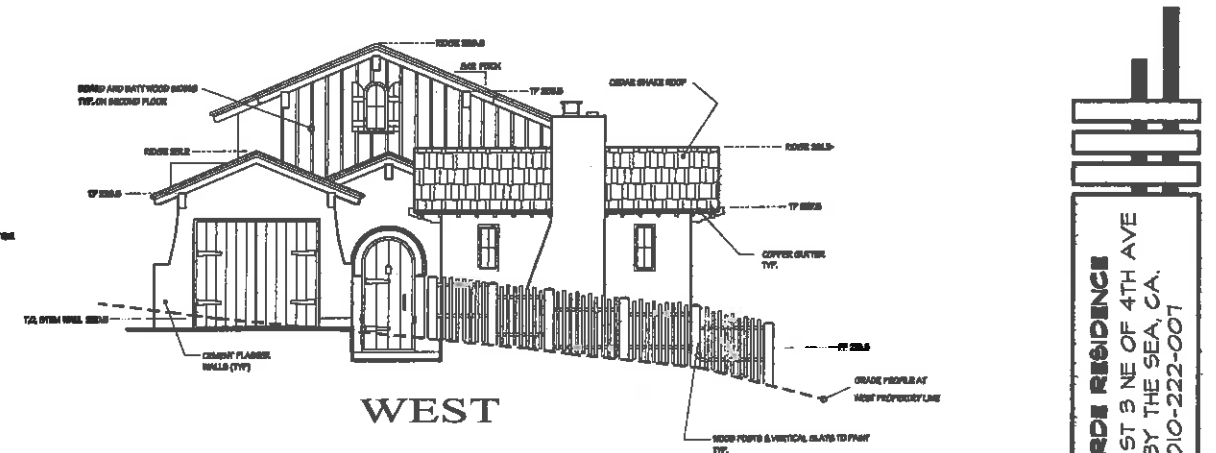
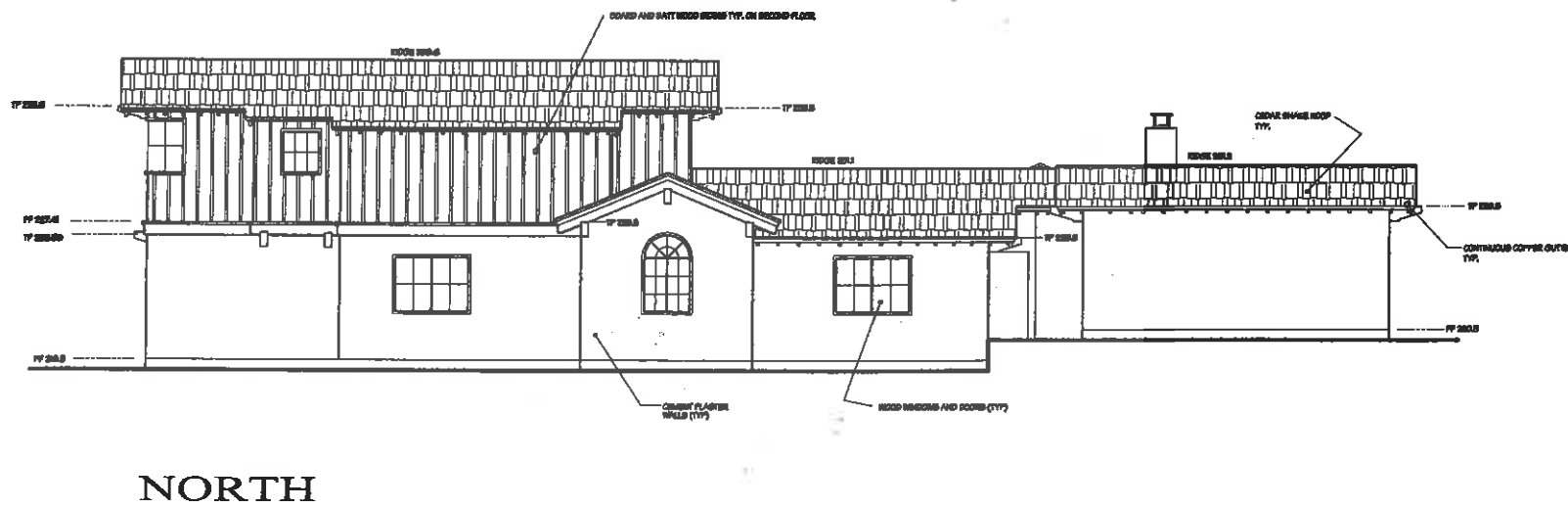
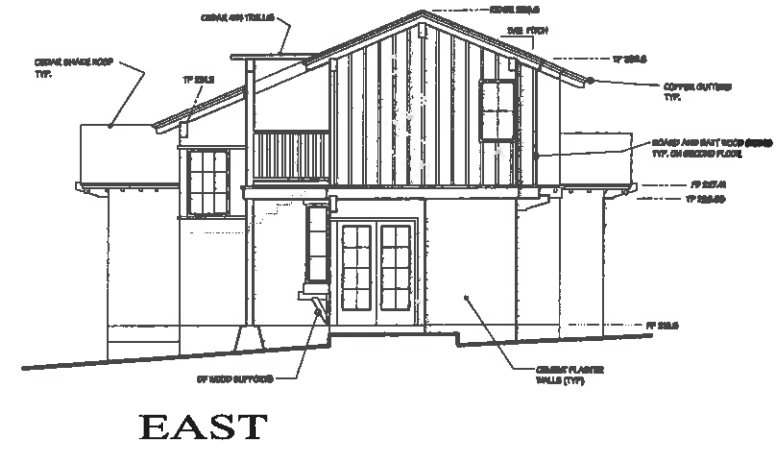
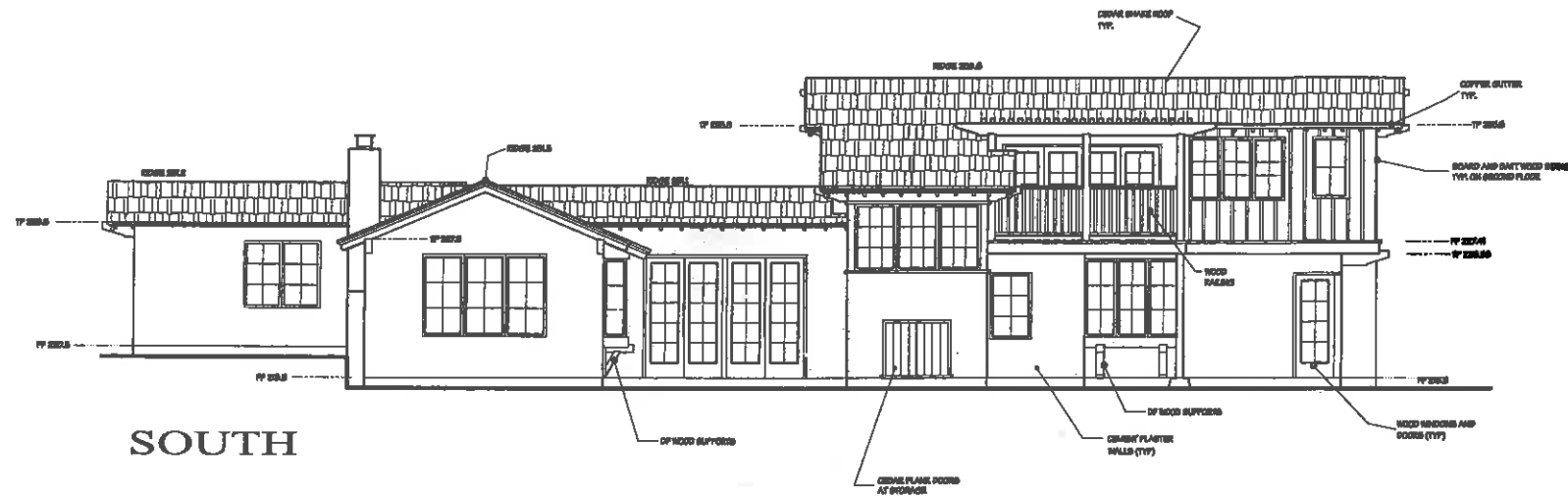
1408

D4

JOHN MANDURRAGO
Design Studios

P. O. BOX "R", CARMEL BY-THE-SEA, CA 93921 831-625-1553

MONTI VERDE RESIDENCE
MONTE VERDE ST 3 NE OF 4TH AVE
CARMEL BY THE SEA, CA
A.P.N. 010-222-007



**Proposed
ELEVATIONS**

SCALE: 3/16"=1'-0"

JOHN MANDURRAGO
Design Studios

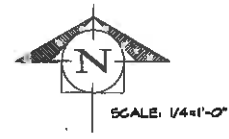
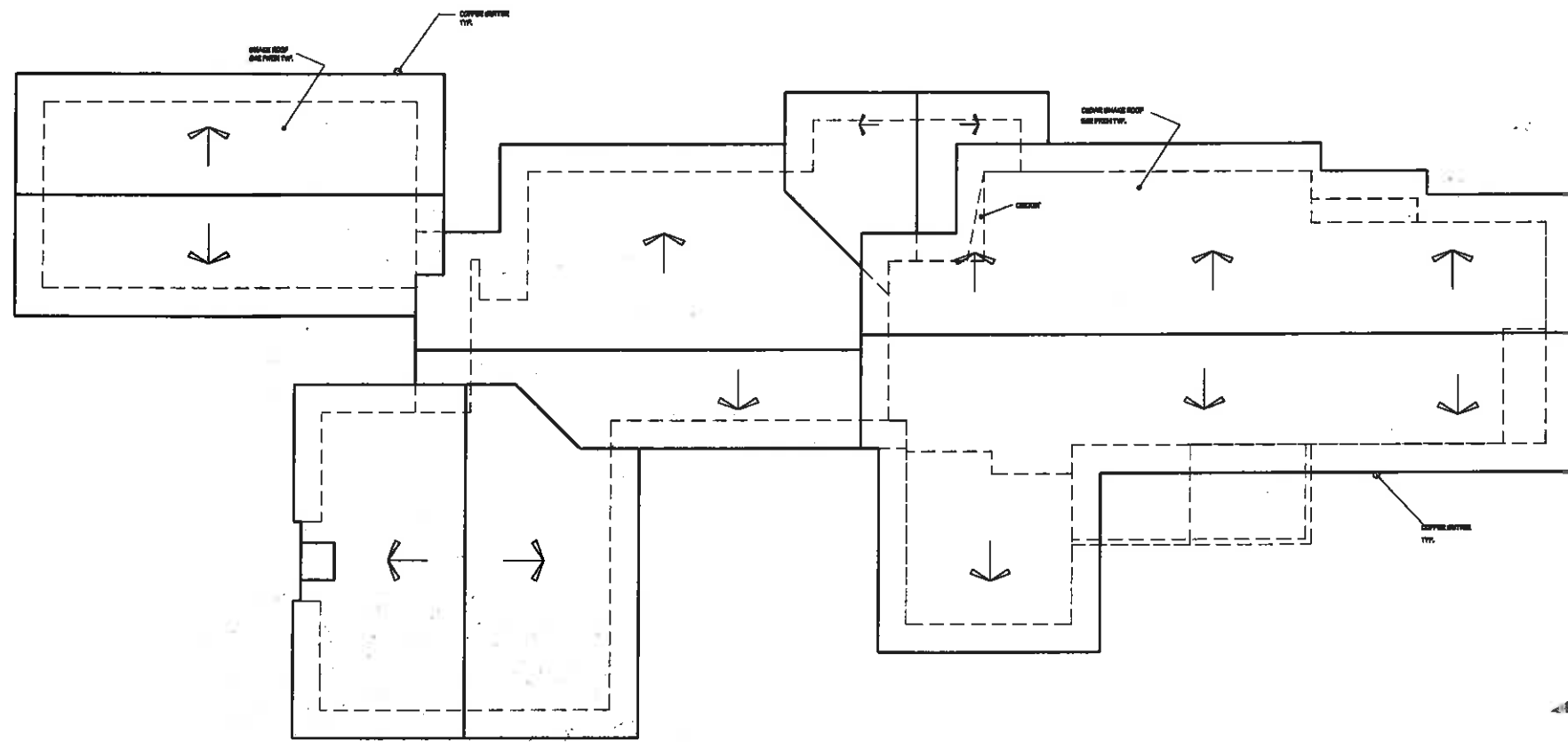
P. O. BOX "B", CARMEL BY THE SEA, CA. 93921 831-625-1553

08-24-14

MONTE VERDE RESIDENCE
MONTE VERDE ST 3 NE OF 4TH AVE
CARMEL BY THE SEA, CA.
A.P.N. 010-222-007

1406

D5



Proposed ROOF PLAN



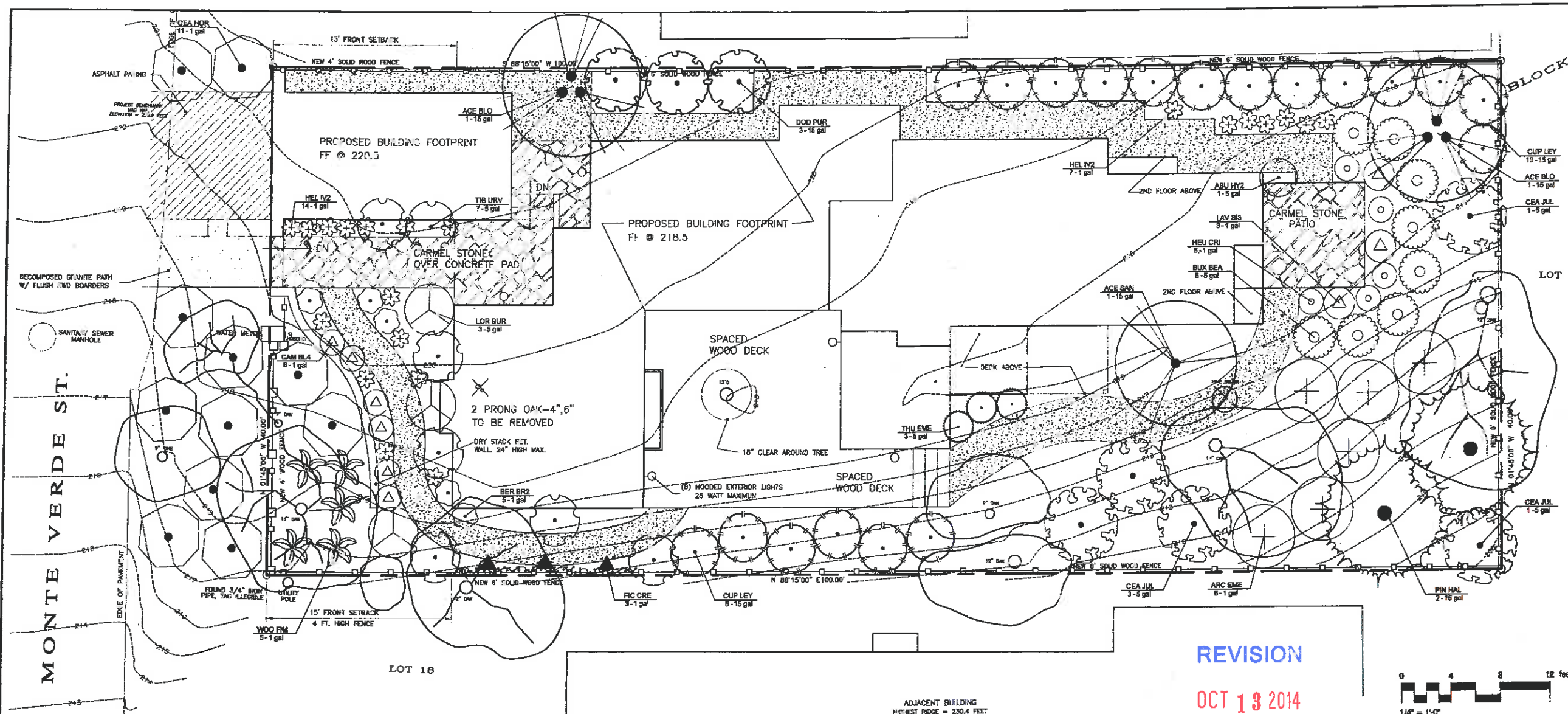
08-24-14	
JOHN MANDURRAGO <i>Design Studios</i>	1406
P. O. BOX "A", CARMEL BY THE SEA, CA. 93921 831-625-1553	D6

MONTE VERDE RESIDENCE
MONTE VERDE ST 3 NE OF 4TH AVE
CARMEL BY THE SEA, CA.
A.P.N. 010-222-007

DATE:
09/25/2014

SCALE:
1/4" = 1'-0"

DRAWN BY:
MCW

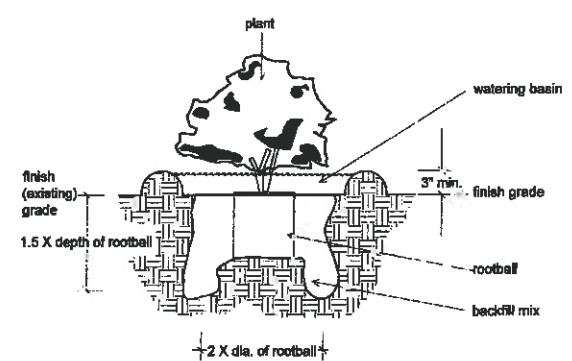


REVISION
OCT 13 2014



PLANT SCHEDULE

TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT
ACE BLO	2	Bloodgood Japanese Maple / Acer palmatum 'Bloodgood'	15 gal
ACE SAN	1	Coral Bark Maple / Acer palmatum 'Sango Kaku'	15 gal
DOD PUR	3	Purple Leaved Hopseed Bush / Dodonaea viscosa 'Purpurea'	15 gal
FIN HAL	2	Allepo Pine / Pinus halepensis	15 gal
THU EME	3	Emerald Arborvitae / Thuja occidentalis 'Emerald'	5 gal
CUP LEY	19	Leyland Cypress / Cupressocyparis leylandii	15 gal
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT
ABU HY2	1	Flowering Maple / Abutilon hybridum	5 gal
ARC EME	6	Emerald Carpet Manzanita / Arctostaphylos uva-ursi 'Emerald Carpet'	1 gal
BER BR2	3	Heartleaf Bergenia / Bergenia cordifolia 'Bressingham White'	1 gal
BLX BEA	3	Green Beauty Boxwood / Buxus microphylla japonica 'Green Beauty'	5 gal
CAM BL4	4	Siberian Bellflower / Campanula poscharskyana 'Blue Waterfall'	1 gal
CEA HOR	11	Carmel Creeper / Ceanothus griseus horizontalis	1 gal
CEA JUL	5	California Lilac / Ceanothus x 'Julia Phelps'	5 gal
FIG CRE	3	Variiegated Creeping Fig / Ficus pumila 'Variegata'	1 gal
HEL IV2	21	Hellebore / Helleborus x sternii 'Ivory Prince'	1 gal
HEU CRT	5	Crimson Curle Coral Bells / Heuchera x 'Crimson Curle'	1 gal
LAV SIS	3	Spanish Lavender / Lavandula stoechas 'Silver Anouk'	1 gal
LOR BUR	3	Burgundy Loropetalum / Loropetalum chinense rubrum 'Burgundy'	5 gal
TIB URV	7	Princess Flower / Tibouchina urvilleana	5 gal
WOO FM	11	Giant Chain Fern / Woodwardia fibrata	1 gal



1 SHRUB PLANTING DETAIL
1/4" = 1'-0" 329333-27

PLANT FERTILIZER SCHEDULE	
SIZE	NUMBER OF 20-10-5 FERTILIZER BEST PACKS
ONE GALLON PLANT	1 PACK
FIVE GALLON PLANT	2 PACKS
FIFTEEN GALLON PLANT	1 PACK PER 1/2" OF TREE TRUNK DIA OR EACH FT. OF HEIGHT OR SPREAD MAX. OF 6 PACKS.
2\"/>	

2 FERTILIZER SCHEDULE BEST PACKS
N.T.S. 329481-83

GROUND COVERS	QTY	COMMON NAME / BOTANICAL NAME	CONT	SPACING
	474 sf	Groundcover / Wood Chips Finely shredded		mulch

GENERAL NOTES:
 Contractor Responsibility:
 It is the responsibility of the Contractor to verify all existing conditions as they relate to the plan, and the plan as it relates to all existing conditions. Any discrepancy or error shall be brought to the attention of the Landscape Architect or Owner upon discovery of such discrepancy or error prior to commencing work.

PLANTING NOTES:
 Existing Plant Material:
 Existing trees shall be protected, per City of Carmel Tree Protection Standards.

Tree and Shrub Planting Procedure:
 Plants should be removed from the containers in a manner to minimize disturbance of plant and root ball. Circling roots at the periphery of the root ball should be pulled outward or pruned during planting to prevent future girdling. Plants with severe girdling shall be rejected.
 Basins should be constructed to allow retention of two inches minimum of water over the top of the root ball. Slope plantings may not require up-slope berms, but will require higher down-slope berms.
 The backfill material and root ball should be saturated to the full depth immediately after planting.
 Each plant should be placed in the hole at such a depth that, after the soil has settled, the top of the root ball will be slightly above the surrounding soil to avoid water accumulation at the crown of the plant. Backfill should be placed around the root ball and compacted gently with the end of the shovel. Backfill should be no more than 70% material from the plant hole preparation and 30% "manufactured" soil.
 Bare soil shall be covered with 1'-2" of nitrolized chipped bark mulch, or equivalent, as appropriate, except for pine needle repository/bulb area.

IRRIGATION NOTES:
 Purchase and install the ET Smart Controller and weather station. Install weather station on fascia of roof facing South or West where it can be kept clear of debris and unobstructed. Set rain gauge to 1/8".

City of Carmel-by-the-Sea
 Planning & Building Dept.

PROJECT TITLE:
Levett Residence

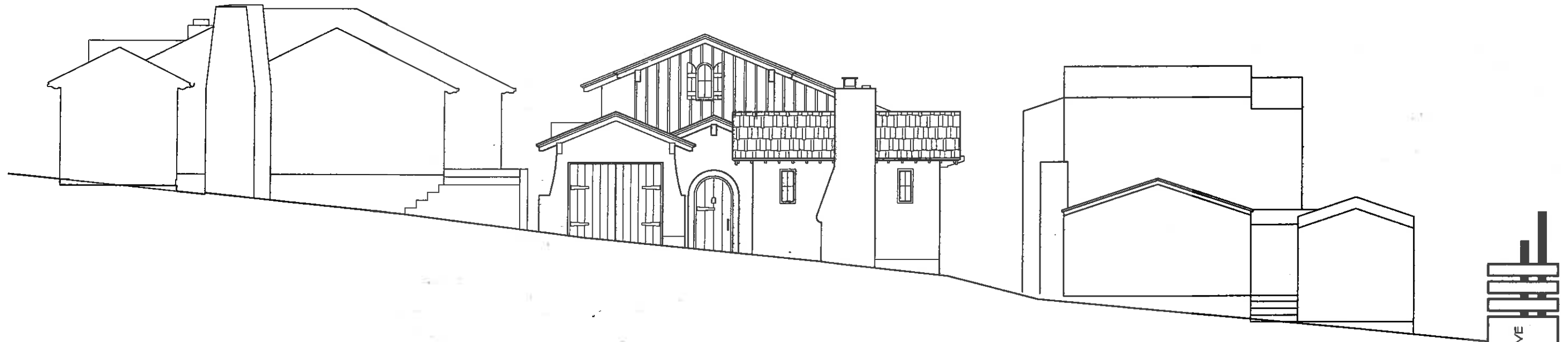
 MONTE VERDE STREET
 4 N/E OF 4TH AVE.
 CARMEL, CA 93921
 A.P.N.: #010-222-007
 CARMEL LOT 18, BLOCK 32



SHEET TITLE:
LANDSCAPE PLAN

SHEET #
D7

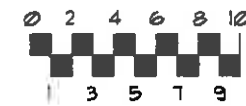
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MONTE VERDE ST - WEST

SCALE: 1/4"=1'-0"

Proposed
STREETSCAPE



09-24-14

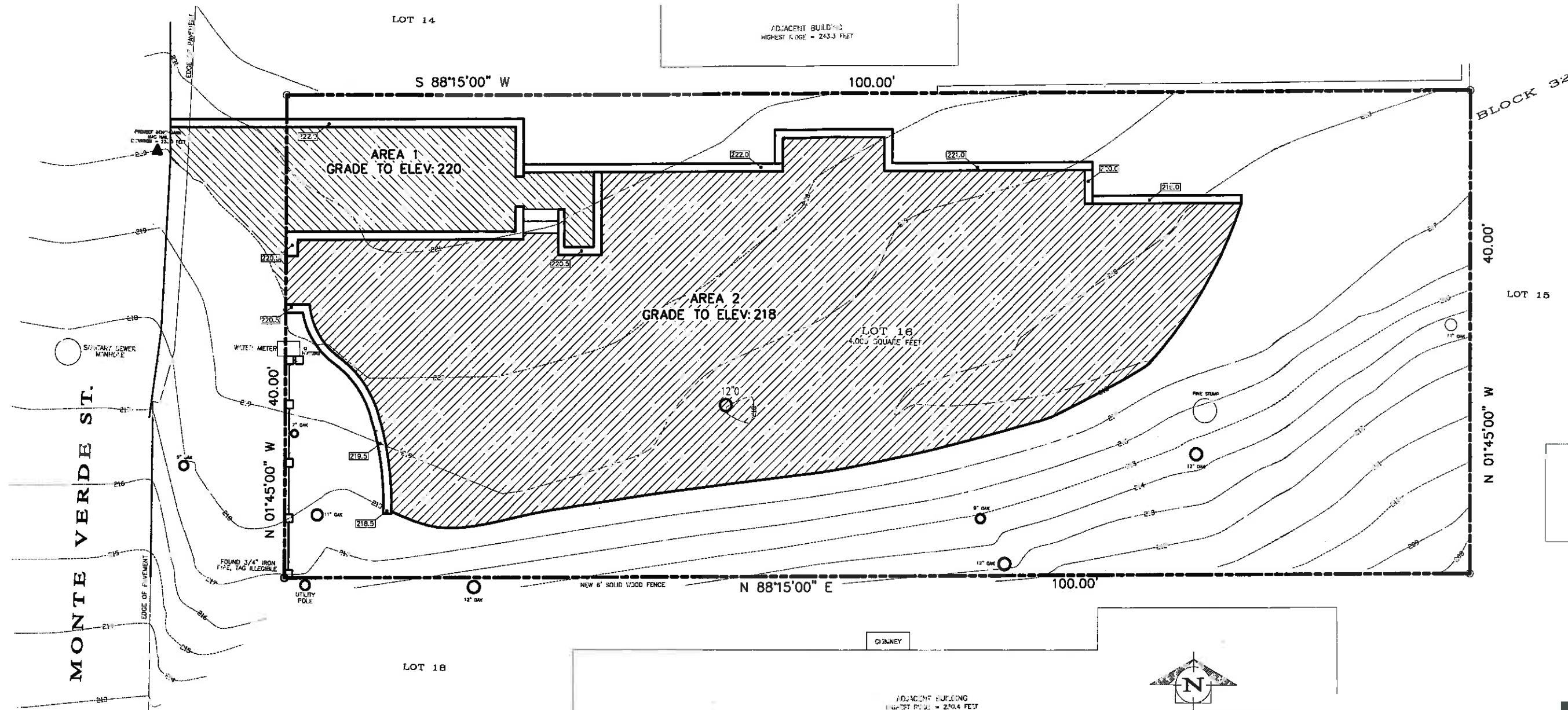
1406

JOHN MANDURRAGO
Design Studios

P. O. BOX 78, CARMEL BY-THE-SEA, CA 93921 831-925-1551

D8

MONTE VERDE RESIDENCE
MONTE VERDE ST 3 NE OF 4TH AVE
CARMEL BY THE SEA, CA.
A.P.N. 010-222-007



PROJECT INFORMATION

MONTE VERDE STREET 3 N/E OF 4TH AVE.
 CARMEL BY THE SEA, CA 93921
 CARMEL LOT 16, BLOCK 32
 A.P.N. 010-222-007
 SITE AREA: 4,000 S.F. 0.0918 ACRES
 AREA 1: 248 SF 9 CY CUT
 AREA 2: 1,521 SF 72 CY CUT
 PROPOSED GRADING: 81 CY CUT

REVISION
 OCT 13 2014
 City of Carmel-by-the-Sea
 Planning & Building Dept.

Proposed GRADING PLAN



10-13-14

JOHN MANDURRAGO
Design Studios
 P. O. BOX 707, CARMEL BY-THE-SEA, CA. 93921 831-823-1553

JOB NUMBER: 1406
 SHEET NUMBER: D9

MONTE VERDE RESIDENCE
 MONTE VERDE ST 3 N/E OF 4TH AVE
 CARMEL BY THE SEA, CA.
 A.P.N. 010-222-007



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

November 12, 2014

To: Chair Reimers and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director RM

Submitted by: Marc Wiener, Senior Planner

Subject: Consideration of Final Design Study (DS 14-43) and associated Coastal Development Permit application for the construction of a new residence located in the Single-Family Residential (R-1), Park Overlay (P), and Beach and Riparian (BR) Overlay Zoning Districts

Recommendation:

Approve the Final Design Study (DS 14-43) and the associated Coastal Development Permit subject to the attached findings and conditions

Application: DS 14-43	APN: 010-302-015
Location: Scenic Road 1 SE of 9 th Ave	
Block: A-2	Lots: 2 & 3
Applicant: Eric Miller, Architect	Property Owner: John and Jaque Jarve

Background and Project Description:

The project site is located on Scenic Road one parcel southeast of Ninth Avenue. The site is developed with a 3,182-square foot residence that is clad with vertical wood siding. The residence has an upper level and a partially sub-grade lower level. There is a 100-square foot "Highway Easement" at the front of the property that has been deducted out of the buildable site area. A Preliminary Determination of Historic Ineligibility was issued by the Community Planning and Building Department on September 4, 2012.

The applicant has submitted plans to demolish the existing residence and construct a new two-level residence. The proposed residence would be 2,631 square feet in size, which includes 1,901 square feet on the upper main level and 730 square feet in the lower basement level. The basement level includes a one-car garage and two bedrooms. There is a 264-square foot sub-grade patio/light-well area proposed at the front (west) side of the two bedrooms that can

be accessed through both bedrooms and includes stairs for egress. The applicant is proposing a 6-foot wide planter with 6-inch high stone walls that is at the top of the sub-grade patio and is located in front yard.

The proposed residence is designed with contemporary style architecture and includes a combination of glass, stucco, stone, and a copper standing-seam metal roof. A colored three-dimensional rendering is included with the plan set in Attachment F. As depicted in the rendering, the residence would include a substantial amount of glass.

The Planning Commission reviewed the design concept on September 10, 2014, and expressed support for the design. However, the Planning Commission requested that the applicant provide samples of the shades that would be used in conjunction with the glass.

PROJECT DATA FOR THE RECONFIGURED 5,302-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,215 sf (41.7%)*	3,182 sf (60%)	2,631 sf (49.6%)** 1,901 sf 1 st - floor 505 sf basement 225 sf garage-basement
Site Coverage	556 sf (13.9%)	1,285 sf (24.8%)	695 sf (13.9%)
Trees (upper/lower)	4/3 trees (recommended)	2/2 trees	2/2 trees
Ridge Height (1 st /2 nd)	18 ft.	28 ft.	17 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	N/A	12 ft.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	18 ft.	16 ft.
Composite Side Yard	20 ft. (25%)	23 ft. (28.7%)	9 ft. (11.2%)
Minimum Side Yard	3 ft.	3 ft.	3 ft.
Rear	3 ft. (1st-story)	3 ft.	3 ft.
*Includes the deduction of 100 square feet of buildable area for a road easement			
**Include 730-square foot basement bonus			

Staff analysis:

Previous Hearing: The following is a list of recommendations made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The applicant shall provide various options for the proposed shades.*

Analysis: The Planning Commission expressed support for the design of the residence at the September 2014 meeting. The Commission noted that because the residence includes a large amount of the glass, the shades would be an important architectural element of the building. The applicant agreed to bring in a few shade options for the Planning Commission to review. The applicant has provided three options, each being a woven material that is beige in color. The proposed beige color presents a natural earth-tone appearance that would be consistent with the color of the Carmel stone. Staff could support any of the three options. Samples of the shades will be available at the meeting for the Planning Commission to review.

2. *The applicant shall apply for apply for a Tree Removal Permit prior to final Planning Commission review.*

Analysis: The applicant has applied for a Tree Removal Permit for the removal of two non-significant trees and eight shrubs. The application for the permit is included as Attachment D. The permit application is currently being processed; however, the City Forester has that there will be no issues with issuing the permit.

Other Project Components:

Finish Details: The proposed residence is designed with contemporary style architecture and includes a combination of glass, stucco, stone, and a copper standing-seam metal roof. At the concept review the Planning Commission expressed support for the proposed design and the use of finish materials.

With regard to the finish materials, the applicant is proposing Carmel stone, which will incorporate a natural rustic material into the design. A photograph of the proposed stonework is included as Attachment E. The applicant is proposing a standing-seam copper roof, which is consistent with the Contemporary architectural style of the building. A sample of the stone and shades will be provided for the Planning Commission to review at the meeting.

Exterior Lighting: The location, wattage, and style of the wall-mounted light fixtures are depicted on the lighting plan shown on Sheet E-2.1 of the plan set. The plan set notes that the wattage will be 25 watts maximum for the wall mounted fixtures; however, no bulb type or lumen level is noted. This should be clarified by the applicant and noted on the construction plan set. A condition of approval has been drafted to address this requirement.

With regard to landscape lighting, Municipal Code Section 15.36.070.B.2 states that Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. A landscape lighting plan is shown on Sheet L-2 of the plan set. The plan indicates that the light fixtures meet the wattage requirements; however, the lumen level and bulb type is not identified and some of the fixtures are spaced closer than 10 feet from each other. A condition has been drafted to address these issues.

Landscape Plan: The applicant has provided a landscape plan that includes new landscaping on the property. Staff notes that the east edge of Scenic Road is at the front property line. There is currently landscaping at the front of the property that provides a buffer from the road as shown in the photograph included as Attachment A. The landscape plan depicts new landscaping at the front of the property.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – Construction or modification of a limited number of new or existing small structures. The proposed new residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Tree Removal Application
- Attachment E – Photographs of proposed stonework and Shade Material
- Attachment F – Project Plans

Attachment A – Site Photographs



Project site – Facing northeast on Scenic Road



Project site – Facing southeast on Scenic Road

Attachment B – Findings for Approval

DS 14-43 (Jarve)
 November 12, 2014
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

<p>8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.</p>	<p>✓</p>	
<p>9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.</p>	<p>✓</p>	
<p>10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.</p>	<p>✓</p>	
<p>11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.</p>	<p>✓</p>	
<p>12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.</p>	<p>✓</p>	
<p>Coastal Development Findings (CMC 17.64.B.1):</p>		
<p>13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.</p>	<p>✓</p>	

Attachment C – Conditions of Approval

DS 14-43 (Jarve)
 November 12, 2014
 Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 14-43) authorizes the demolition of an existing 3,182-square foot residence and construction of a new 2,631-square foot residence, which includes 1,901 square feet on the upper main level and 730 square feet in the lower basement level. The basement level includes a one-car garage and two bedrooms. There is a 264-square foot sub-grade patio/light-well area proposed at the front (west) side of the two bedrooms. Finish materials include a combination of glass, stucco, stone, and a copper standing-seam metal roof. The residence shall be consistent with the November 12, 2014 approved plan set.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If	✓

	the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 5,302-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	✓
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden	N/A

	mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the	N/A

	Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Special Conditions		
22.	With regard to the light wall-mounted and landscape light fixtures, the applicant shall include the specific bulb type, wattage, and lumen level on the construction plan set. The landscape lighting plan shall be revised so that all landscape lighting is spaced 10 feet or more apart. The changes shall be included on the construction plan set.	✓

*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

 Printed Name

 Date

Once signed, please return to the Community Planning and Building Department.

Attachment D - Tree Removal Application

CITY OF CARMEL-BY-THE-SEA

P.O. Box "SS"
Carmel, CA 93921
Ph: (831) 620-2070/FAX: 831-624-2132

Date Received 4/6/14
Application Fee: 5750
Receipt #: 56872

APPLICATION FOR PERMIT TO REMOVE OR PRUNE TREES FOR THE PURPOSES OF CONSTRUCTION/DEMOLITION

Location of property: Scenic 1 SE of 9th
Block: A-2 Lot: 2 and 3

Name of Property Owner: John & Jacque Jarve Name of Applicant/Contractor: Eric Miller Architects

Mailing Address 77 Flood Circle Mailing Address: 157 Grand Avenue, Ste. 106
Atherton, CA 94027 Pacific Grove, CA 93950

Phone #: 650-854-8540 Phone #: 831-372-0410

(PLEASE NOTE IF TREE(S) ARE ON CITY OR PRIVATE PROPERTY)

Number, size and species of tree(s) to be removed: 1 - 12" Pine, 1 - 12" Tree, 3 - 8" shrubs, 3 - 6" shrubs, 2 - 2" shrubs

Number, size and species of limbs/or roots to be removed: _____

Reason for removal or Pruning: New construction with lower grade level at the back and side yards.

Company Removing Tree/Limbs: To be determined City Business License # _____

You will be notified in writing the date and time that your request is scheduled for a hearing. If you or your representative is unable to attend the hearing, your application will be tabled. You may reschedule by contacting the Secretary to the Forest and Beach Commission at (831) 620-2070. You may waive your right to speak at the hearing and authorize the Forest and Beach Commission to act on your request in your absence by signing on the following line: _____ Date: _____

A SITE PLAN **MUST ACCOMPANY THIS APPLICATION AND SHOW THE FOLLOWING:**

1. Location, size and species of ALL trees on the lot.
2. Location and species of tree(s)/limb(s) to be removed or pruned
3. Footprint of the structure/proposed structure.
4. Existing and proposed site coverage.
5. ALL areas that are to remain for landscaping and the total square feet of openspace.
6. Location of areas for tree replanting - The City has adopted Design Review Guidelines which include a maximum tree density per lot. Please review the attached Policy and indicate on the site plan where you intend to plant trees necessary to comply with this guideline.
7. Will excavation other than standard footings be required as part of your construction? YES, NO. If Yes, you MUST show the area of cut, its depth and total cubic yards to be removed.

REVISION
JUL 9 2014

- > In order to properly consider your application it is necessary that the footprint of your proposed construction be clearly defined on the lot and height poles are installed prior to the Commission's Tour of Inspection. Any decision of the Forest and Beach Commission is based on information submitted with this application. If the design is altered or the location of the structure changed, another application for a tree permit is required.
- > NO WORK IS PERMITTED until you have received project approval through the Planning Commission and the issuance of a valid building permit. The Permit to remove trees must be posted on the job site when work is being performed.

Owner's Signature _____ Date: 6-25-2014
Agent for Owners: Eric Miller Architects Date: 7-8-2014

INCOMPLETE APPLICATIONS WILL BE RETURNED
Eric Miller Architects, Inc.

COLOR SAMPLES

PROJECT: JARVE RESIDENCE

RECEIVED

SEP 24 2014

City of Carmel-by-the-Sea
Planning & Building Dept.



MATERIALS: EXTERIOR WALL STONE COLOR: "CARMEL STONE" COLORS

DESCRIPTION: THIN VENEER STONE IN DRY STACK, HORIZONTAL PATTERN

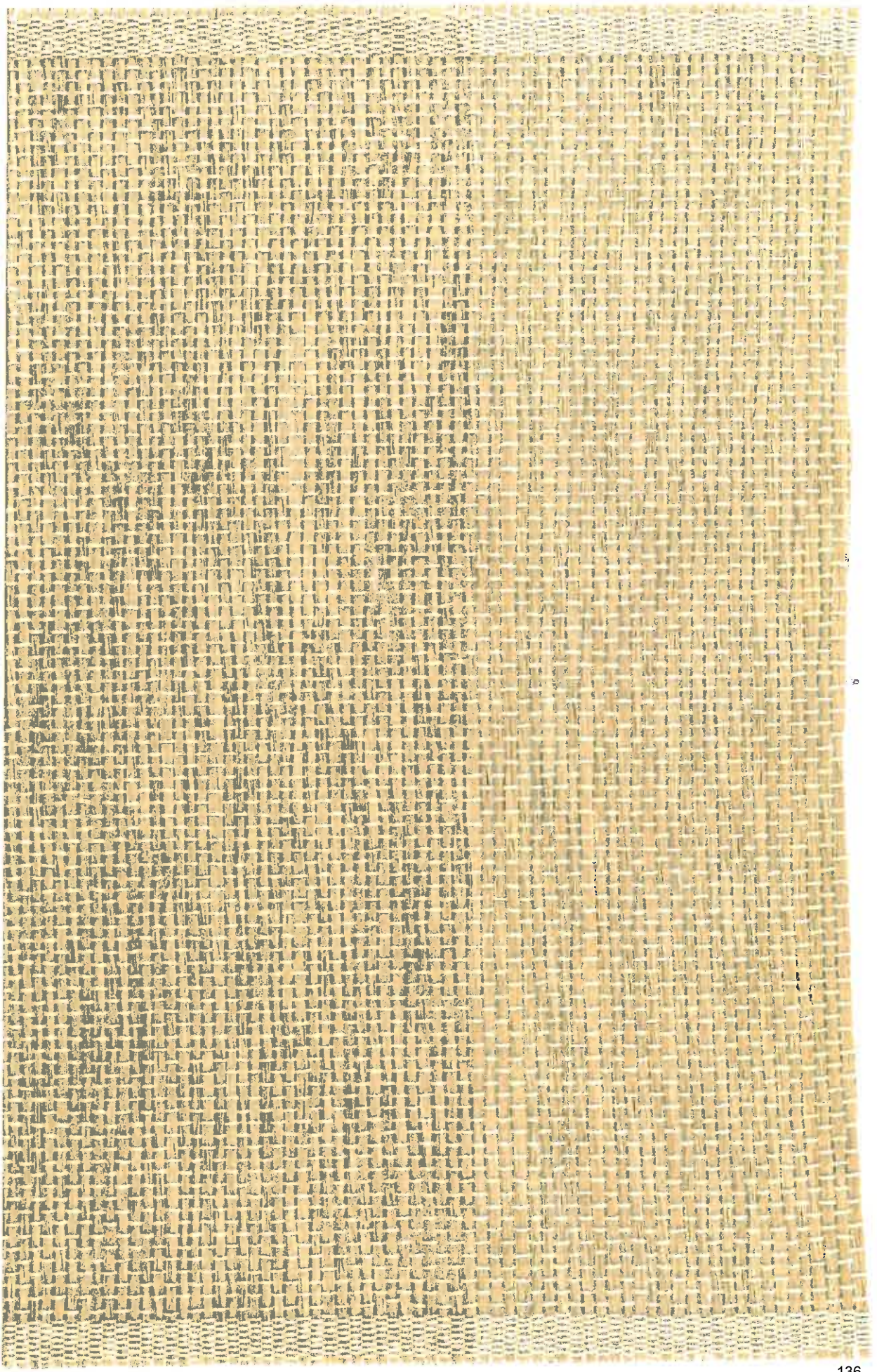
ERIC MILLER ARCHITECTS, INC., 157 Grand Avenue, Suite 106, Pacific Grove, CA 93950
Office: 831-372-0410, Fax: 831-372-7840

DS 14-43 (JARVE)

CONRAD

THE ORIGINAL

DESIGNERLINE NO. CW-M07 KALAHARI



CONRAD

THE ORIGINAL

ORIGINAL SUNSHADES NO. 1728 SAHARA

DS 14-43 (JARVE)

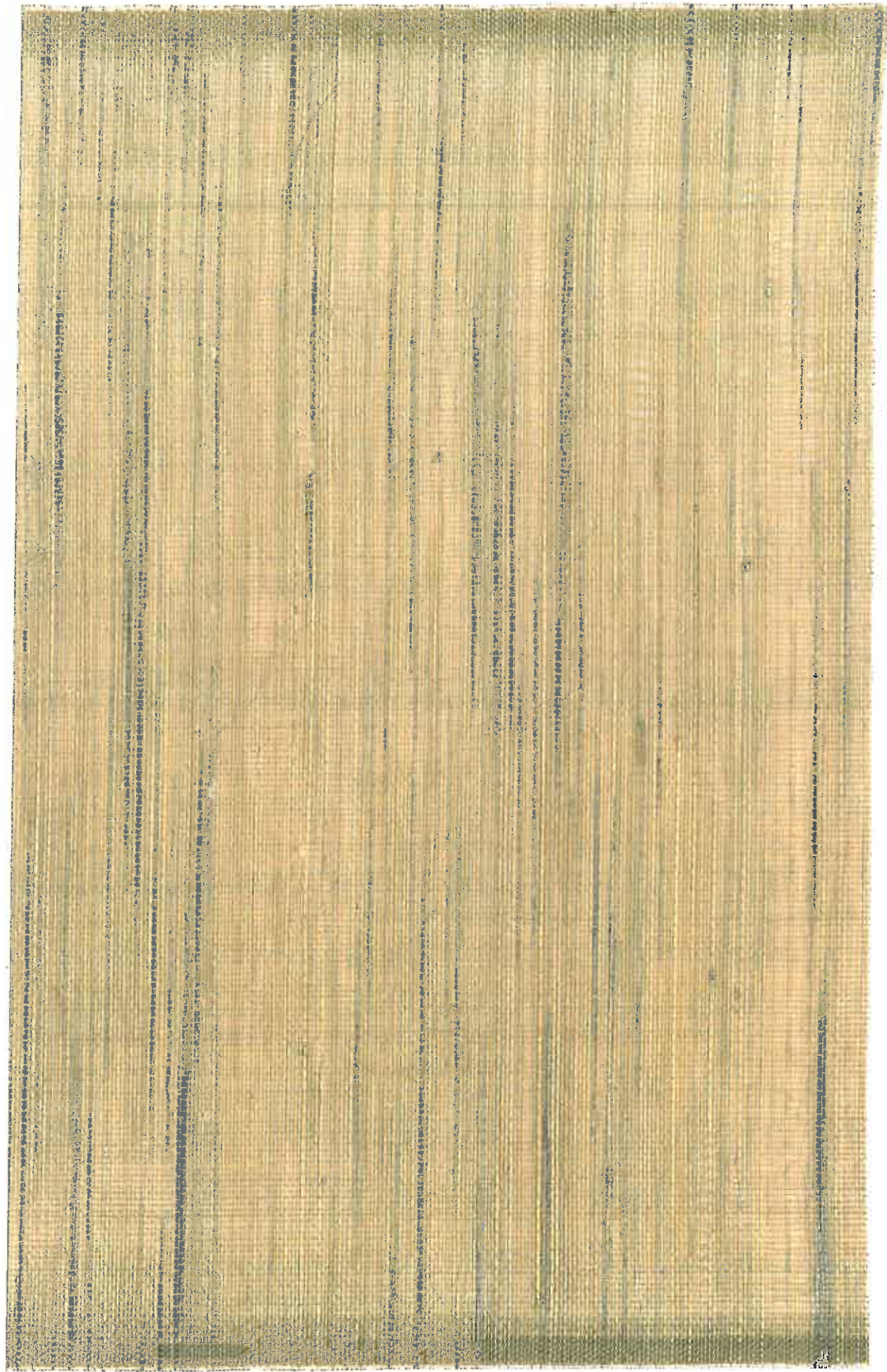


DS 14-43 (JARVE)

CONRAD

THE ORIGINAL

ORIGINAL SUNSHADES NO. 1750 LINEA



JARVE RESIDENCE

SCENIC 1 SE OF 9TH
CARMEL-BY-THE-SEA, CA 93921

REVISION	No.
REVISION 6/20/14	
REVISION 7/24/14	
REV. MASTER 9/24/14	

CONSULTANT:

OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IS THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

TREE REMOVAL

NINE TREES ARE PROPOSED FOR REMOVAL, INCLUDING (2) 2" TREES, (3) 6" TREES, (1) 12" TREE, (1) 12" PINE AND (1) 3-PRONG TREE

PROJECT INFORMATION

OWNER: JOHN AND JACQUE JARVE
11 FLOOR CIRCLE
ATHERTON, CA 94027

ADDRESS: SCENIC 1 SE OF 9TH AVENUE
BLOCK A-2, LOTS 2 & 3

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
191 GRAND AVENUE, SUITE 106
PACIFIC GROVE, CA 93950

PROJECT DATA

PROJECT DESCRIPTION:
DEMOLITION OF EXISTING HOUSE, DECKS AND PAVING. PROPOSED CONSTRUCTION OF NEW ONE-STORY RESIDENCE WITH BASEMENT, 3 BEDROOMS, 3-1/2 BATHS, 1-CAR GARAGE IN THE BASEMENT, AND RETAINING WALLS.

ADDRESS: SCENIC 1 SE OF 9TH AVENUE
CARMEL-BY-THE-SEA, CA 93921

LOT SIZE: 5302 S.F. - 100 S.F. = 5202 S.F.

ZONING: R-1 DISTRICT

BLOCK: A-2

LOTS: 2 & 3

A.P.N.: 010-302-015-000

OCCUPANCY GROUP: (R) FOR HOUSE AND (G) FOR GARAGE

TYPE OF CONSTRUCTION: (V-B)

SETBACKS	ALLOWED	PROPOSED
FRONT	5.0' MIN.	5.0'
SIDES	25% OF SITE WIDTH (MIN. 5 FEET)	5.0' MIN, 20.0' TOTAL
REAR	5.0' MIN.	5.0'
MAX. BUILDING HEIGHT	15'-0"	12'-6 1/4"
MAXIMUM ALLOWED F.A.R. =	2216 S.F. ABOVE GRADE	2825 S.F. W/ BASEMENT
MAXIMUM ALLOWED SITE COVERAGE =	645.60 S.F.	645.00 S.F.

EXISTING FLOOR AREA

FIRST FLOOR	1468.0 S.F.
BASEMENT	122.5 S.F.
GARAGE - BASEMENT	492.0 S.F.
TOTAL EXISTING FLOOR AREA :	5182.5 S.F.
STAIRWELL - FIRST FLOOR	88.5 S.F.
STAIRWELL - BASEMENT	88.5 S.F.
TOTAL STAIRWELL AREA :	177.0 S.F.

PROPOSED FLOOR AREA

FIRST FLOOR	1401.0 S.F.
BASEMENT	505.0 S.F.
GARAGE - BASEMENT	225.0 S.F.
TOTAL PROPOSED FLOOR AREA :	2631.0 S.F.
STAIRWELL - FIRST FLOOR	148.0 S.F.
STAIRWELL - BASEMENT	236.0 S.F.
TOTAL STAIRWELL AREA :	484.0 S.F.

EXISTING SITE COVERAGE

DRIVENWAY	267.0 S.F.
CONCRETE WALKS / PATIOS	866.0 S.F.
SITE WALLS / CURBS	59.0 S.F.
WOOD SHED / UTILITIES	56.0 S.F.
WOOD STEPS	57.0 S.F.
TOTAL EXISTING SITE COVERAGE :	1285.0 S.F.
ELEVATED WOOD DECK :	175.6 S.F.

PROPOSED SITE COVERAGE

PERVIOUS COVERAGE:	
DRIVENWAY	160.0 S.F.
PAVED PATHWAYS	195.0 S.F.
DECKS/PLANTERS	128.0 S.F.
TOTAL PERVIOUS COVERAGE :	423.0 S.F.

IMPERVIOUS COVERAGE:	
STEPS/LANDINGS	35.0 S.F.
SITE WALLS	114.0 S.F.
FIRE TABLE AREA	34.0 S.F.
SPA	44.0 S.F.
TOTAL IMPERVIOUS COVERAGE :	217.0 S.F.
TOTAL PROPOSED SITE COVERAGE :	645.0 S.F.

SHEET INDEX

ARCHITECTURAL

A-0.1	COVER SHEET
I	TOPOGRAPHIC SURVEY
A-1.1	DEMOLITION SITE PLAN
A-1.2	PROPOSED SITE PLAN
A-2.1	PROPOSED FIRST FLOOR PLAN
A-2.2	PROPOSED BASEMENT FLOOR PLAN
A-2.3	PROPOSED ROOF PLAN
A-2.4	PROPOSED FLOOR AREA DIAGRAM
A-3.1	PROPOSED EXTERIOR ELEVATIONS
A-3.2	PROPOSED EXTERIOR ELEVATIONS
A-3.3	STREET ELEVATIONS
A-4.1	PROPOSED DOOR SCHEDULE
A-4.2	PROPOSED WINDOW SCHEDULE
A-5.1	EXTERIOR DETAILS
A-5.2	EXTERIOR DETAILS

E2.1	FIRST FLOOR EXTERIOR LIGHTING PLAN
E2.2	BASEMENT FLOOR EXTERIOR LIGHTING PLAN

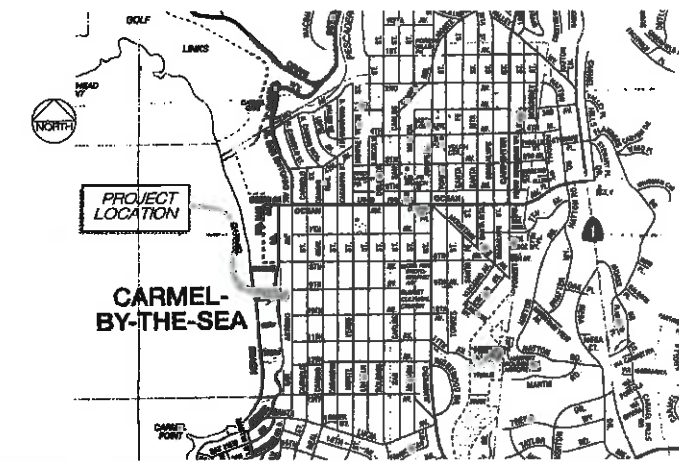
CIVIL

C-1	PRELIMINARY GRADING AND DRAINAGE PLAN
C-2	PRELIMINARY EROSION CONTROL & DETAILS

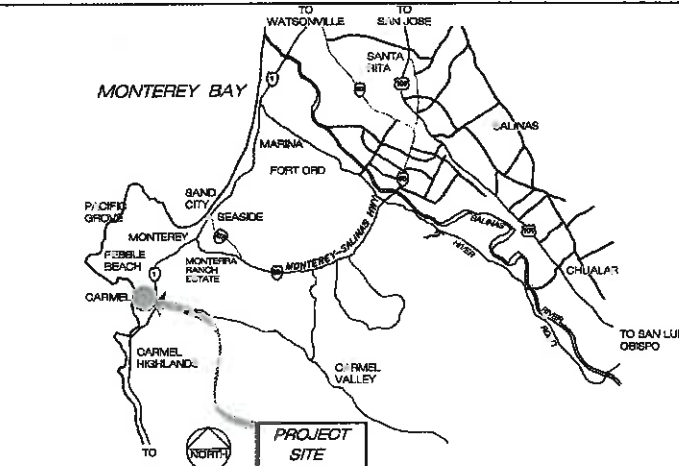
LANDSCAPE

L-1	PLANTING PLAN
L-2	IRRIGATION AND LIGHTING PLAN
L-3	NOTES

LOCATION MAP



VICINITY MAP



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SEP 24 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

ERIC MILLER ARCHITECTS, INC.
157 GRAND AVENUE SUITE 106
PACIFIC GROVE, CA 93950
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

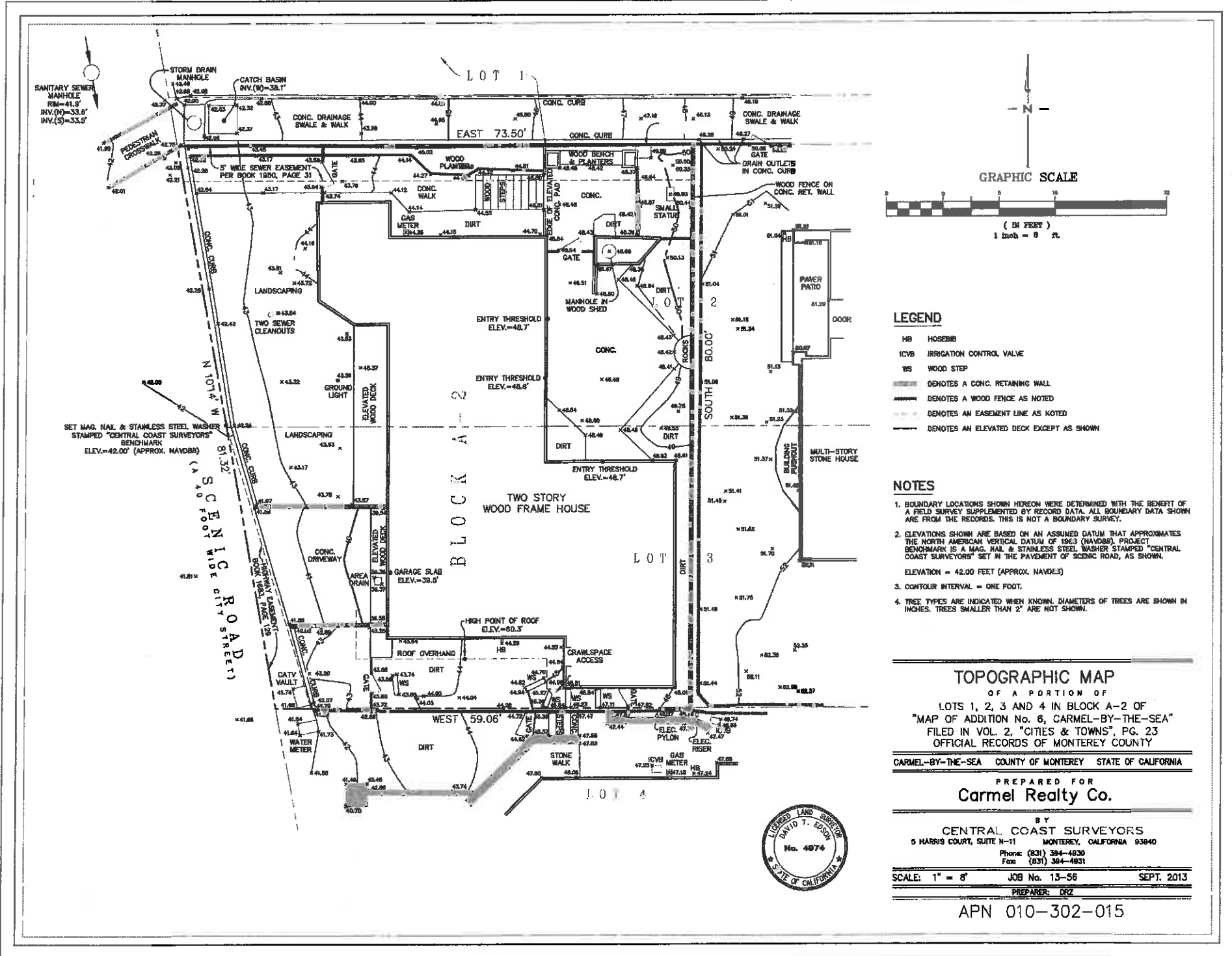
ARCHITECT

COVER SHEET

JOB NAME: Jarve Residence
Scenic 1 SE of 9th,
Carmel-by-the-Sea, CA 93921
A.P.N. : 010-302-015

DATE: 4/22/14
SCALE: N.T.S.
DRAWN: C.J.H.
JOB NUMBER: 1520

A-0.1
SHEET OF 139



LEGEND

- HB HOSEBIB
- ICVB IRRIGATION CONTROL VALVE
- WS WOOD STEP
- DENOTES A CONC. RETAINING WALL
- DENOTES A WOOD FENCE AS NOTED
- DENOTES AN EASEMENT LINE AS NOTED
- DENOTES AN ELEVATED DECK EXCEPT AS SHOWN

NOTES

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
2. ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1983 (NAVD83). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE PAVEMENT OF SCENIC ROAD, AS SHOWN.
ELEVATION = 42.00 FEET (APPROX. NAVD83)
3. CONTOUR INTERVAL = ONE FOOT.
4. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 2" ARE NOT SHOWN.

TOPOGRAPHIC MAP

OF A PORTION OF
 LOTS 1, 2, 3 AND 4 IN BLOCK A-2 OF
 "MAP OF ADDITION No. 6, CARMEL-BY-THE-SEA"
 FILED IN VOL. 2, "CITIES & TOWNS", PG. 23
 OFFICIAL RECORDS OF MONTEREY COUNTY

CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA

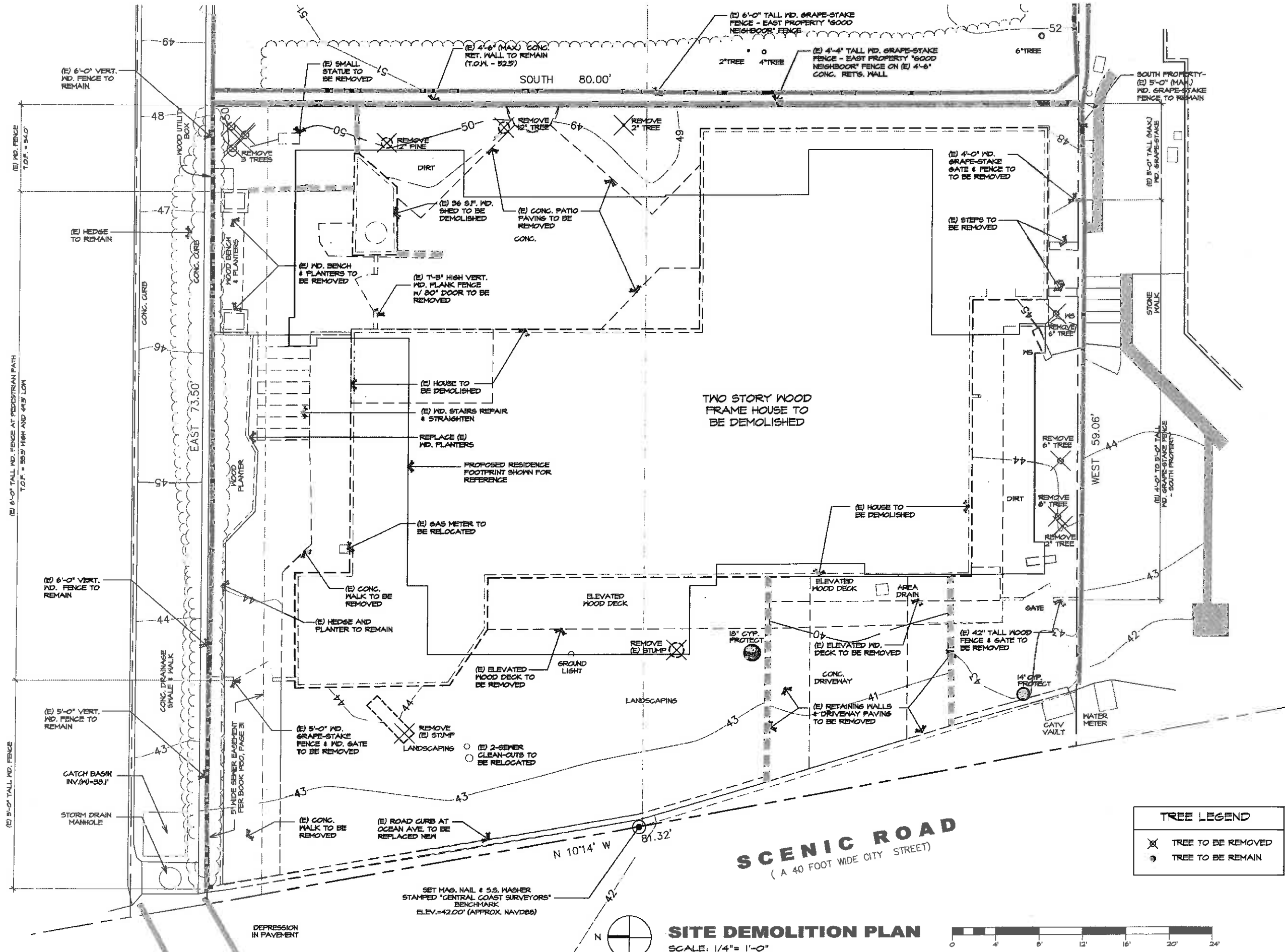
PREPARED FOR
Carmel Realty Co.

BY
CENTRAL COAST SURVEYORS
 5 HARRIS COURT, SUITE 111 MONTEREY, CALIFORNIA 93940
 Phone: (831) 394-4830
 Fax: (831) 394-4831

SCALE: 1" = 8' JOB No. 13-56 SEPT. 2013
 PREPARED: DRZ

APN 010-302-015



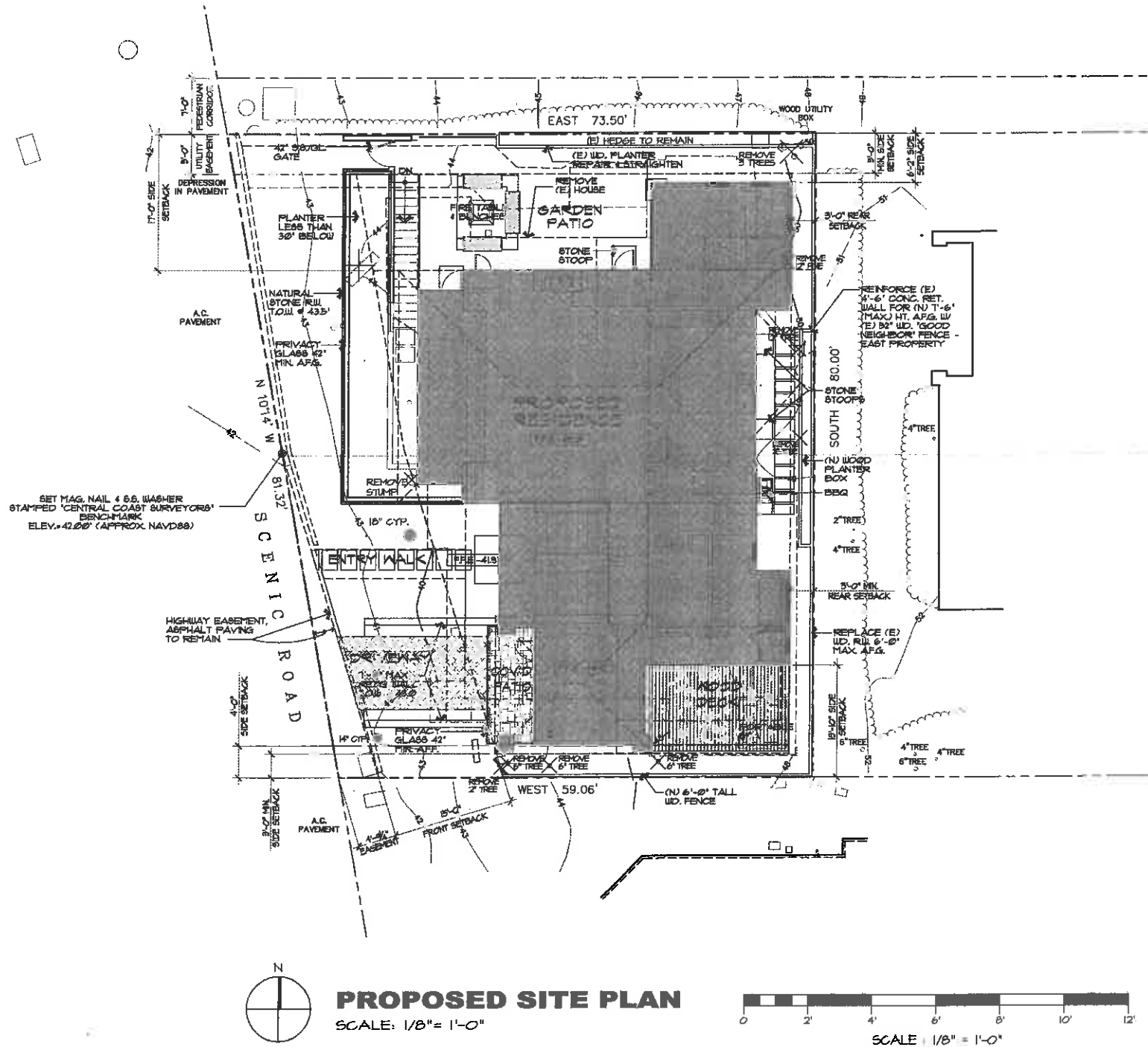


TREE LEGEND	
	TREE TO BE REMOVED
	TREE TO BE REMAIN

SITE DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



REVISION	No.
REVISION 7/08/14	
REV. MASTER 8/24/14	
CONSULTANT:	
<p>ERIC MILLER ARCHITECTS, INC. 157 GRAND AVENUE SUITE 106 PACIFIC GROVE, CA 93950 PHONE (831) 372-9410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>	
ARCHITECT	
<p>SITE DEMOLITION PLAN</p> <p>JOB NAME: Jarve Residence SCENIC 1 1/2 E of 4th, Carmel-by-the-Sea, CA 93921 A.P.N.: 010-802-015</p>	
DATE:	4/22/14
SCALE:	1/4" = 1'-0"
DRAWN:	C.J.H. BRM
JOB NUMBER:	18.20
<p>A-1.1 SHEET OF 141</p>	



GROSS AREA = 5302.5 S.F.
 HIGHWAY EASEMENT = 100 S.F.
 NET AREA = 5202.5 S.F.

TREE LEGEND	
✕	TREE TO BE REMOVED
●	TREE TO BE REMAIN

REVISION	No.
REVISION 7/29/14	
REVISION 7/29/14	
REV. MASTER 9/24/14	

CONSULTANT:

ARCHITECT

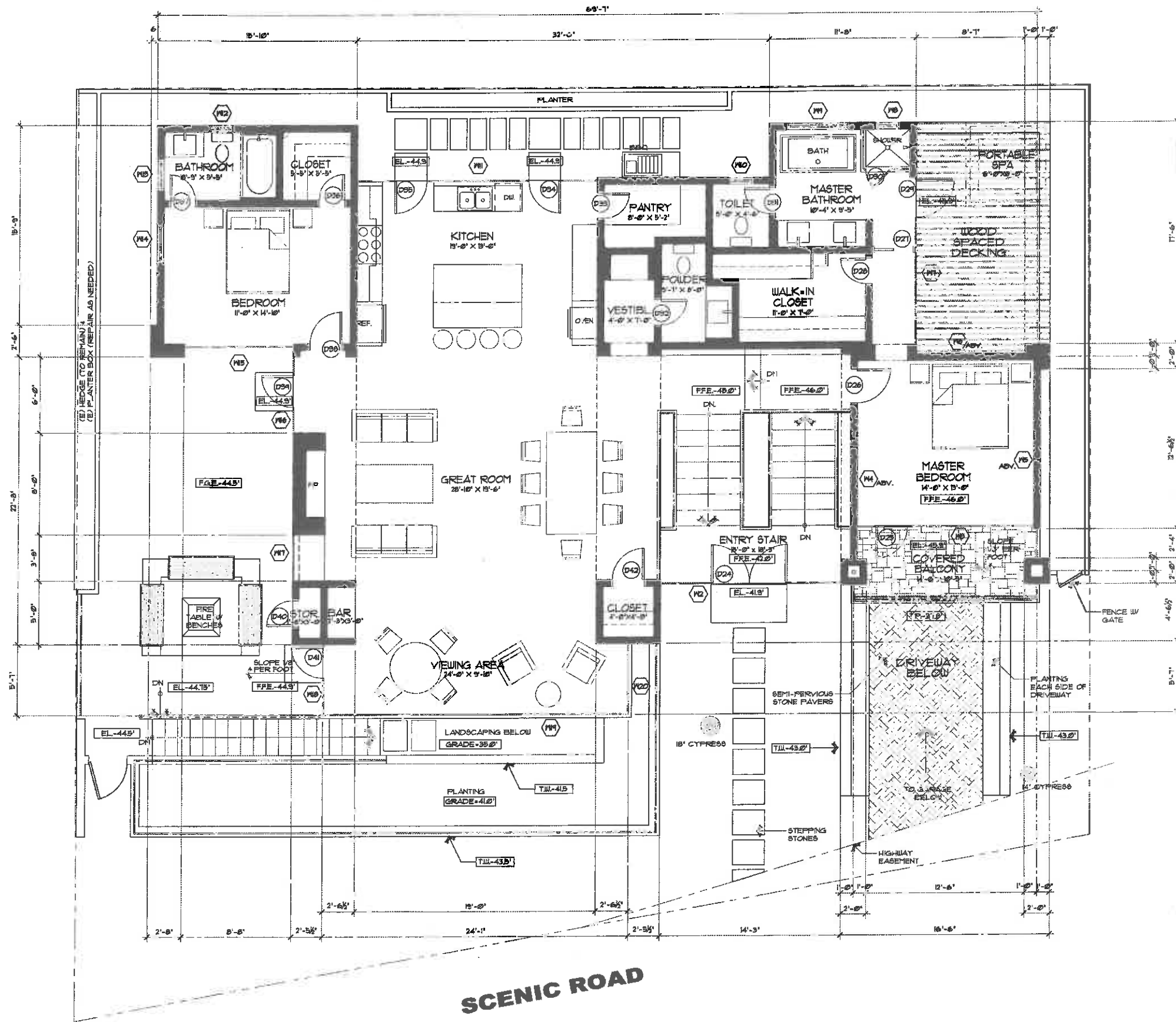
ERIC MILLER ARCHITECTS, INC.

157 GRAND suite 108 PACIFIC GROVE, CA 93950
 PHONE (811) 372-0410 • FAX (811) 372-7860 • WEB: www.ericmillerarchitects.com

PROPOSED SITE PLAN

Jarve Residence
 Scenic 1 S/E of 4th,
 Carmel-by-the-Sea, CA 95021
 A.P.N. : 010-302-015

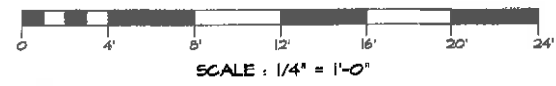
DATE:	4/22/14
SCALE:	1/4" = 1'-0"
DRAWN:	C.J.H., BRN
JOB NUMBER:	13.20



SCENIC ROAD



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISION	No.
1/28/14	
(REVISED 1/29/14)	
(REV. MASTER 9/19/14)	

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
157 GRAND AVE. SUITE 108 PACIFIC GROVE, CA 93950
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

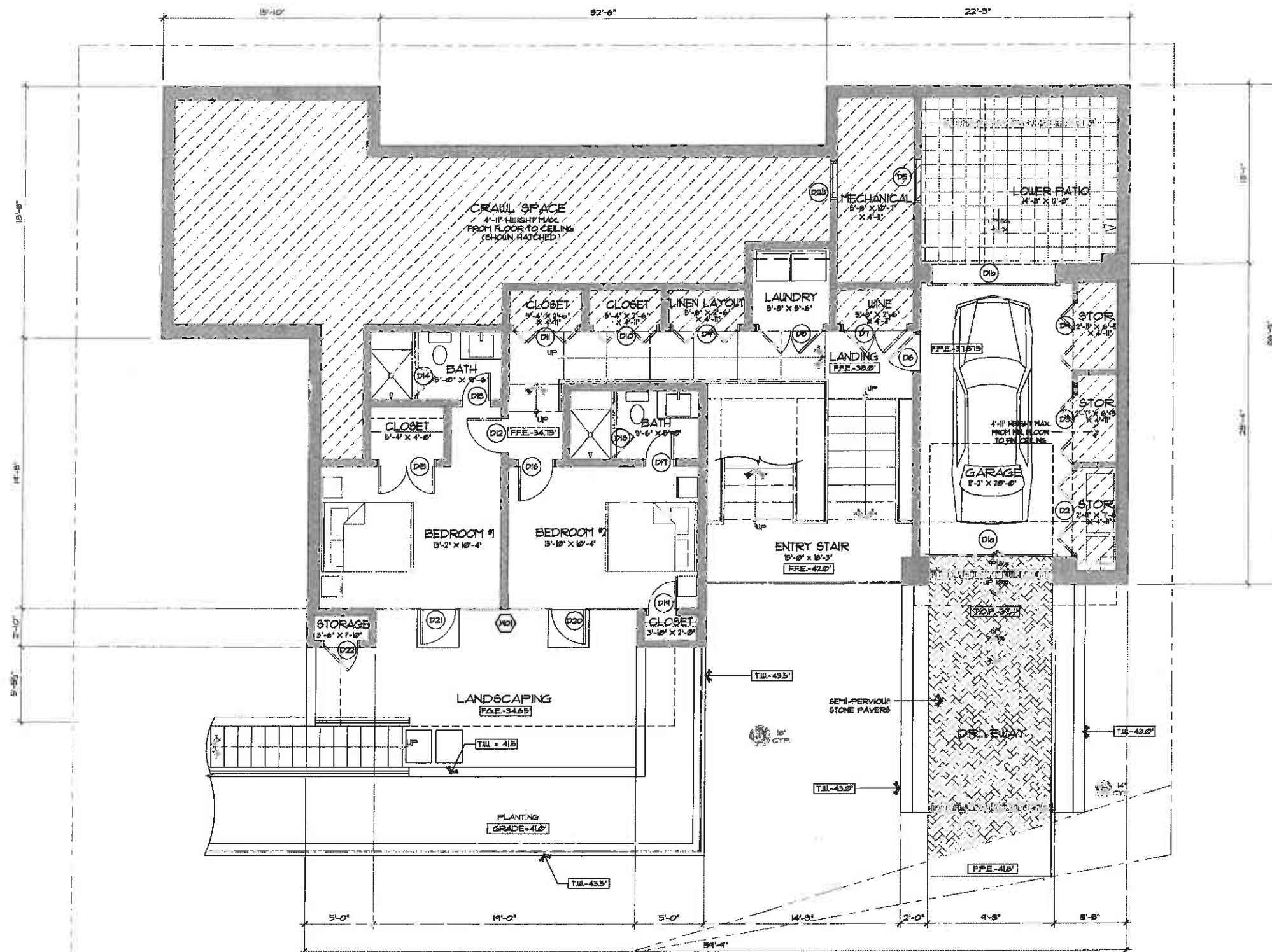
ARCHITECT

FIRST FLOOR PLAN
JOB NAME: **Jarve Residence**
SCENIC 1 S/E of 9th, Carmel-by-the-Sea, CA 93921
A.P.N.: 010-303-015

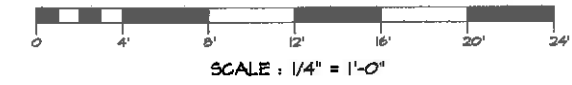
DATE: 4/22/14
SCALE: 1/4" = 1'-0"
DRAWN: C.J.H.
JOB NUMBER: 19.20

A-2.1
SHEET OF 143

REVISION	No.
1/08/14	
REV. MASTER	
9/24/14	



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
157 GRAND avenue 108 PACIFIC GROVE, CA 93950
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

BASEMENT FLOOR PLAN
JOB NAME: **Jarve Residence**
Scenic 1 S/E of 4th,
Carmel-by-the-Sea, CA 95921
A.P.N. : 010-302-015

DATE: 4/22/14
SCALE: 1/4" = 1'-0"
DRAWN: C.J.H. BRM
JOB NUMBER: 15.20

A-2.2
SHEET OF 144

REVISION	No.
1/28/14	
REV. MASTER	
3/24/14	

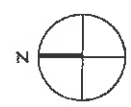
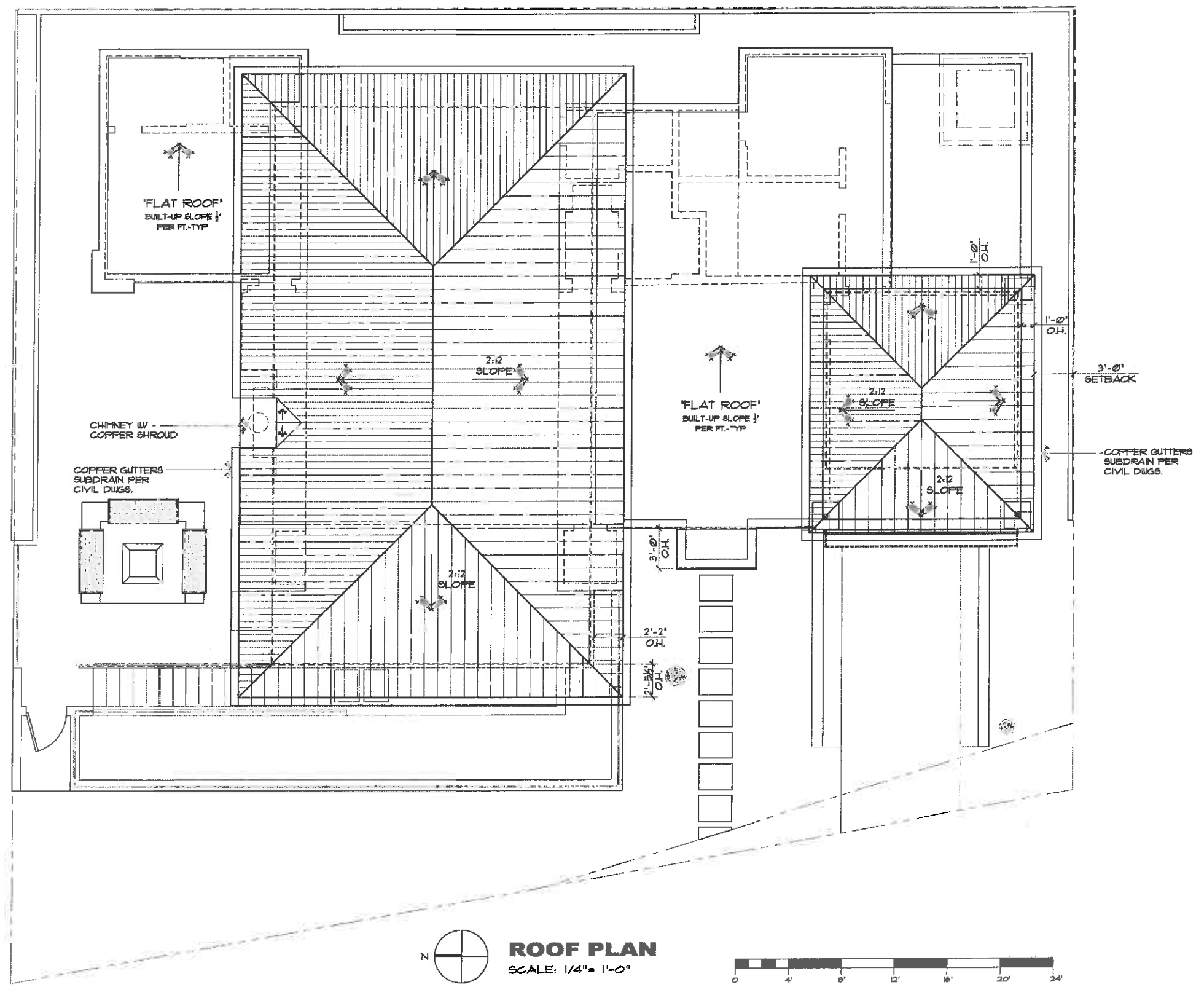
CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 157 GRAND APTS 108 PACIFIC GROVE, CA 93950
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

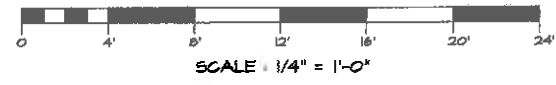
ROOF PLAN
 JOB NAME: **Jarve Residence**
 Siting: 1/5 E of 4th,
 Carmel-by-the-Sea, CA 93921
 A.P.N.: 010-302-015

DATE: 4/22/14
 SCALE: 1/4" = 1'-0"
 DRAWN: C.J.H., ERM
 JOB NUMBER: 18.20

A-2.3
 SHEET OF 145



ROOF PLAN
 SCALE: 1/4" = 1'-0"



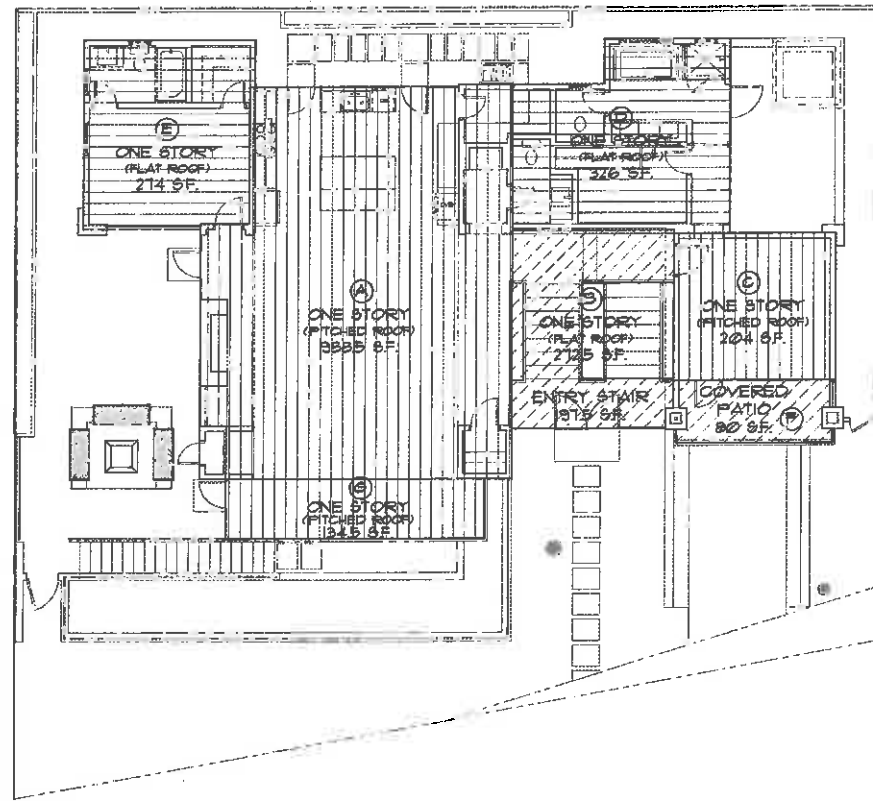
VOLUME AREA

UNIT	AREA	FFE	PLATE / EAVE		ROOF / RIDGE	
			ELEV.	HEIGHT	ELEV.	HEIGHT
A	988.5 SF.	45.0'	97.0'	12'-0"	59.25'	14'-3"
B	272.5 SF.	43.0'	54.0'	11'-0"	55.0'	12'-0"
C	204.0 SF.	46.0'	57.0'	11'-0"	58.25'	12'-3"
D	326.0 SF.	46.0'	54.0'	9'-0"	55.0'	9'-0"
E	274.0 SF.	45.0'	54.0'	9'-0"	55.0'	10'-0"
F	80 SF.	46.0'	57.0'	11'-0"	58.25'	12'-3"
G	134.5 SF.	45.0'	57.0'	12'-0"	59.25'	14'-3"

FLOOR AREA

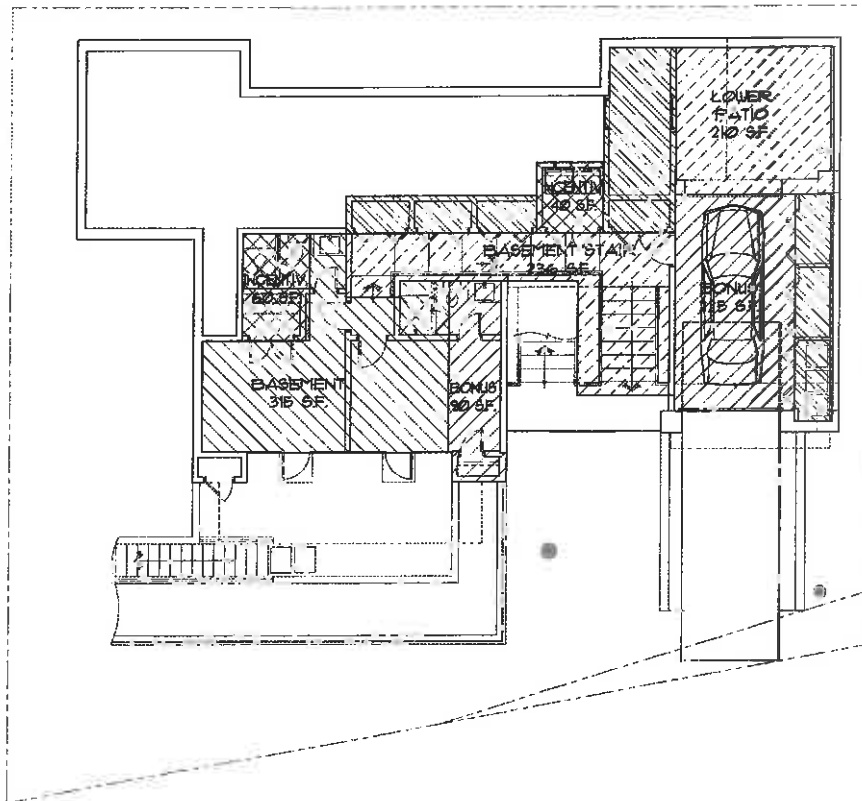
FLOOR AREA: (LIVING SPACE)	
GARAGE	225 SF.
BASEMENT FLOOR	505 SF.
FIRST FLOOR	1,901 SF.
TOTAL =	2,631 SF.

FLOOR AREA: (OPEN SPACE)	
BASEMENT - STAIR	236 SF.
ENTRY - STAIR	198 SF.
LOWER PATIO	210 SF.
TOTAL =	644 SF.



FIRST FLOOR AREA PLAN

SCALE: 1/8" = 1'-0"



BASEMENT FLOOR AREA PLAN

SCALE: 1/8" = 1'-0"

FIRST FLOOR - AREA KEY

	ONE STORY PITCHED ROOF FIRST FLOOR (LIVING SPACE) TOTAL FLOOR AREA _____ = 1,321 SF.
	ONE STORY - FLAT ROOF FIRST FLOOR (LIVING SPACE) TOTAL FLOOR AREA _____ = 600 SF.
	FIRST FLOOR (OPEN SPACE) TOTAL FLOOR AREA _____ = 271.5 SF.

BASEMENT AREA KEY

	BASEMENT (LIVING SPACE) TOTAL FLOOR AREA _____ = 315.0 SF.
	BASEMENT (LIVING SPACE-BONUS) TOTAL FLOOR AREA _____ = 315.0 SF.
	BASEMENT (LIVING SPACE-INCENTIVE) TOTAL FLOOR AREA _____ = 1000 SF.
	BASEMENT (OPEN SPACE) TOTAL FLOOR AREA _____ = 446.0 SF.
	BASEMENT (EXEMPT AREA) 4'-11" MAXIMUM CEILING HEIGHT FROM FINISH FLOOR TO FINISH CEILING. TOTAL EXEMPT AREA _____ = 248.0 SF.



REVISION	No.
REVISION 1/28/14	
REV MASTER 5/24/14	

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

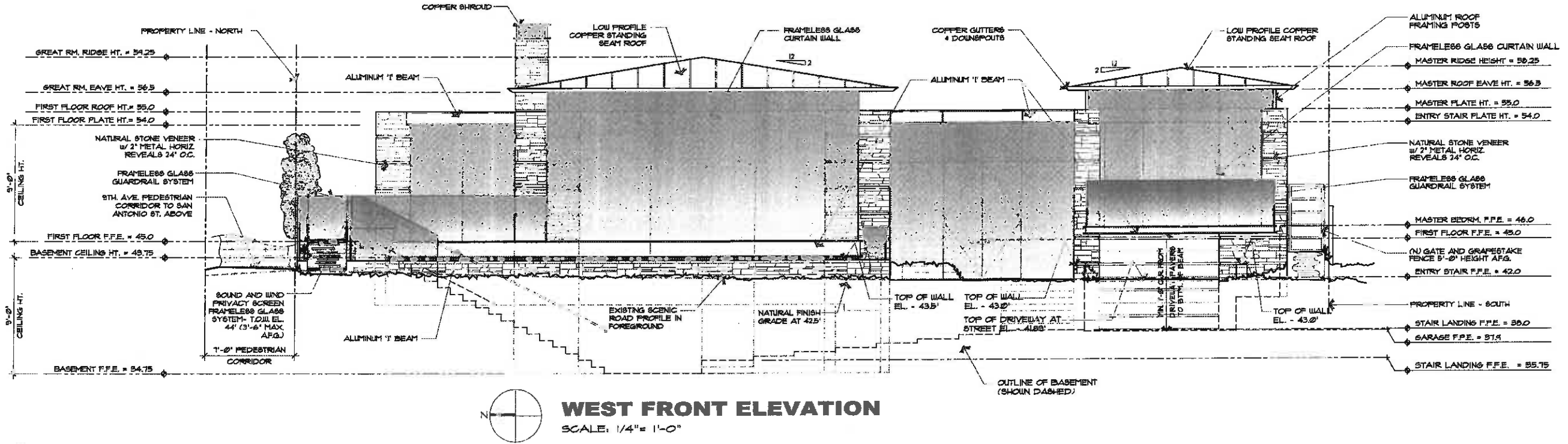
157 GRAND AVENUE 106 PACIFIC GROVE, CA 93950
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

FLOOR AREA & LEVEL PLANS

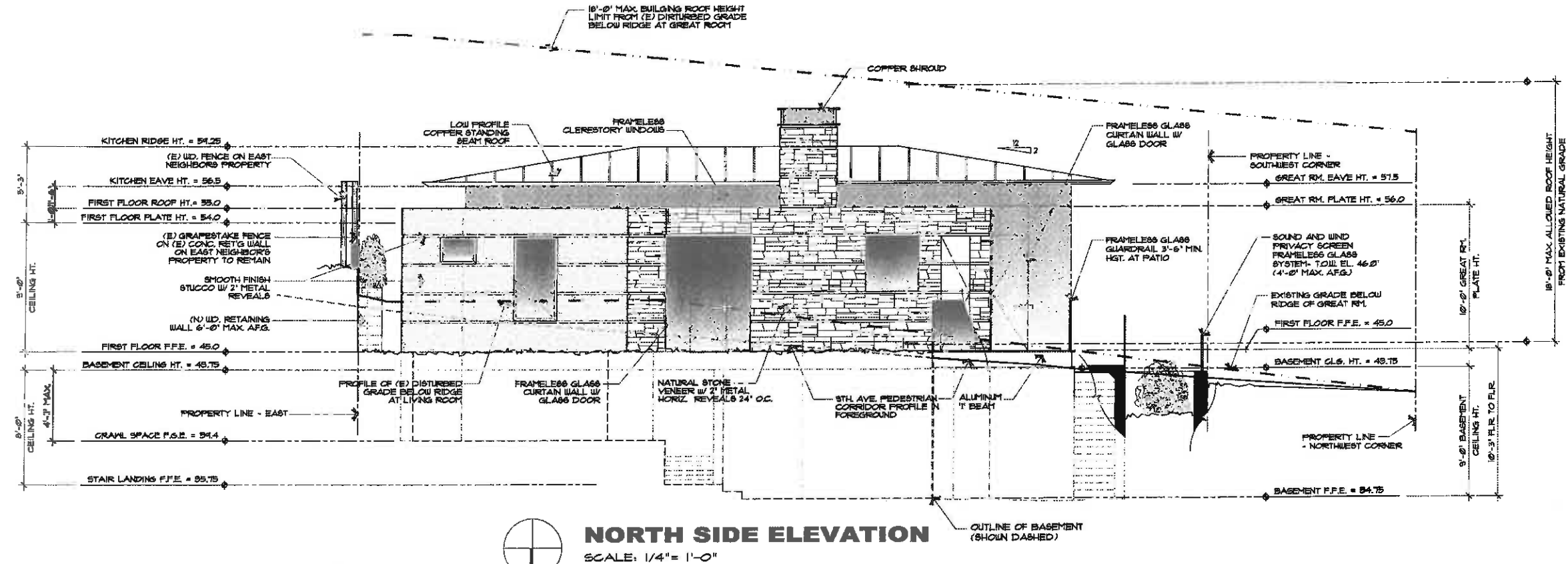
JOB NAME: **Jarve Residence**
Scenic 1 1/2 of 9th,
Carmel-by-the-Sea, CA 93921
A.P.N. : 010-502-015

DATE:	4/22/14
SCALE:	1/8" = 1'-0"
DRAWN:	CJH, BRM
JOB NUMBER:	1520

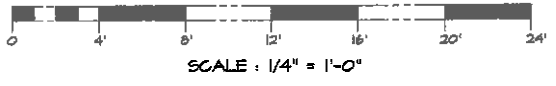
REVISION	No.
1/08/14	
REV. MASTER	
9/24/14	



WEST FRONT ELEVATION
SCALE: 1/4" = 1'-0"



NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



CONSULTANT:

ARCHITECT

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EXTERIOR ELEVATIONS

Jarve Residence
Scenic 1 1/2 of 9th.
Carmel-by-the-Sea, CA 93921
A.P.N. : 010-502-015

DATE: 4/22/14
SCALE: 1/4" = 1'-0"
DRAWN: C.J.H. BRYAN
JOB NUMBER: 13.20

REVISION	No.
1/08/14	
REV. MASTER	
9/24/14	

CONSULTANT:

ARCHITECT

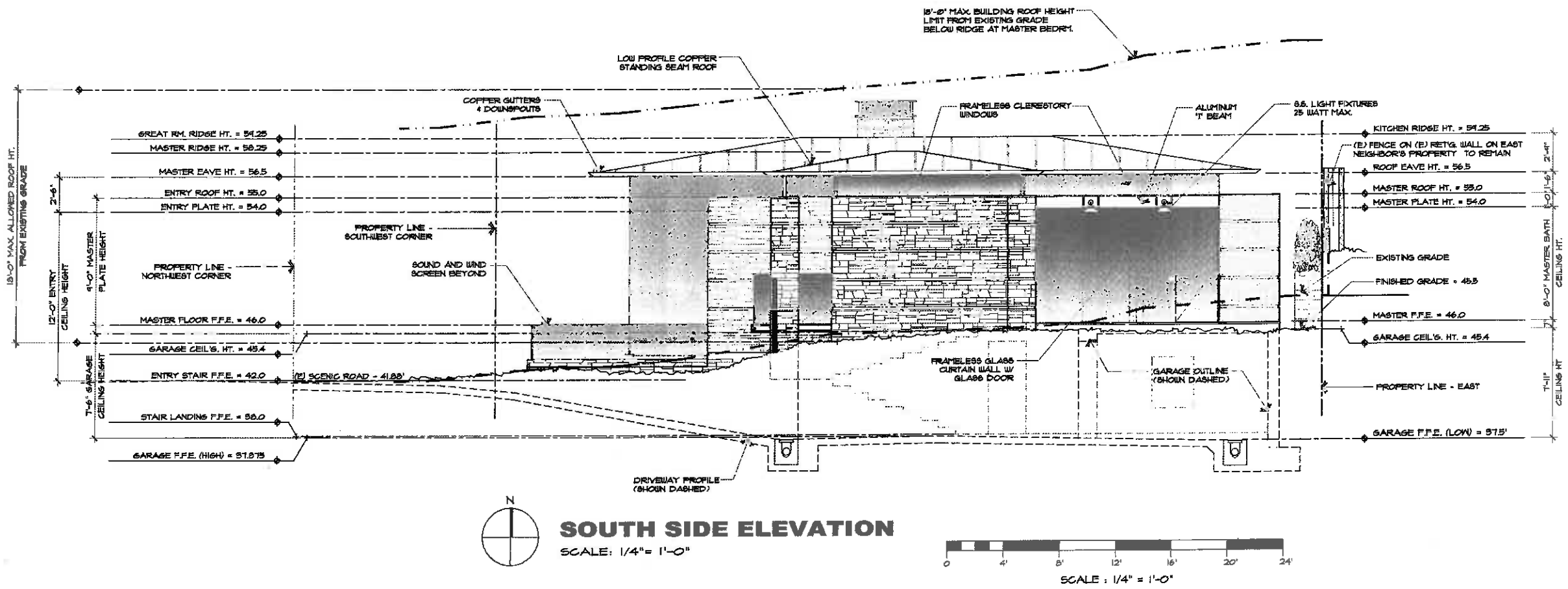
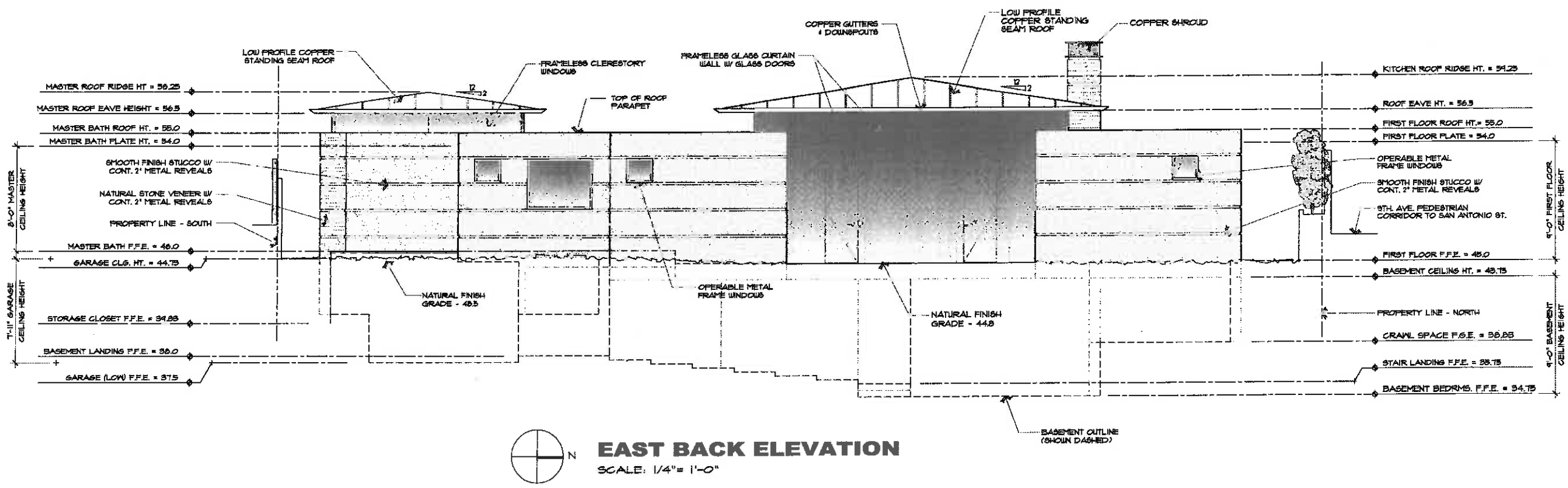
ERIC MILLER ARCHITECTS, INC.

157 GRAND suite 106 PACIFIC GROVE, CA 93950
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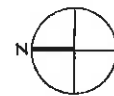
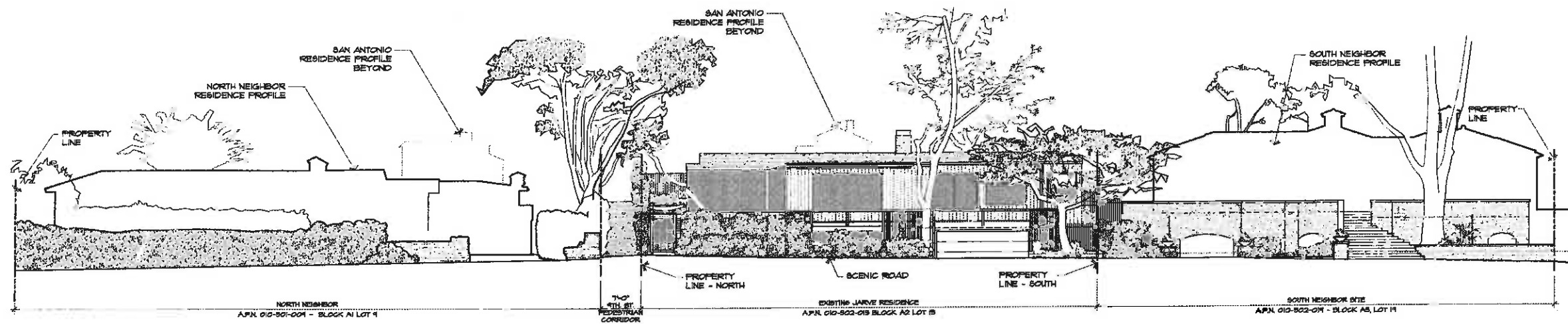
EXTERIOR ELEVATIONS

JOB NAME: **Jarve Residence**
 Scenic I, S/E of 4th,
 Carmel-by-the-Sea, CA 95021
 A.P.N.: 010-502-015

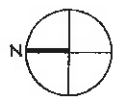
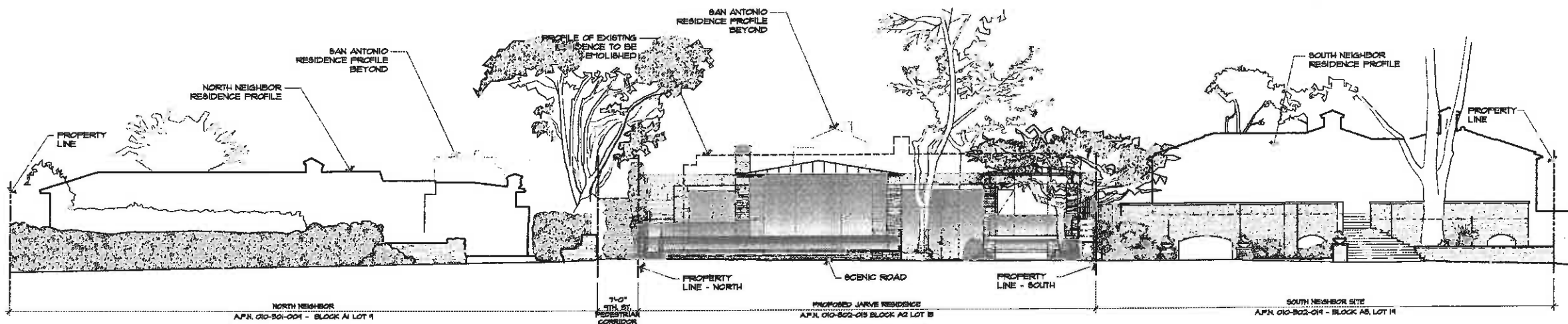
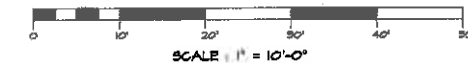
DATE: 4/22/14
 SCALE: 1/4" = 1'-0"
 DRAWN: C.J.H., B.R.M.
 JOB NUMBER: 19.20



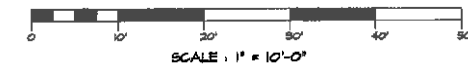
REVISION	No.
REVISION 1/28/14	
REV. MASTER 3/24/14	



SCENIC ROAD ELEVATION - EXISTING
SCALE: 1" = 10'-0"



SCENIC ROAD ELEVATION - PROPOSED
SCALE: 1" = 10'-0"



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SCENIC ROAD ELEVATION

JOB NAME: **Jarve Residence**
Scenic 1 S/E of 4th,
Carmel-by-the-Sea, CA 95021
A.P.N. : 010-502-015

DATE: 5/27/14
SCALE: 1" = 10'-0"
DRAWN: C.J.H., B.R.M.
JOB NUMBER: 19.20

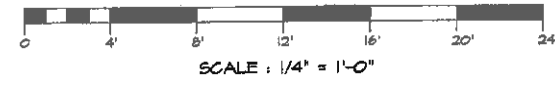
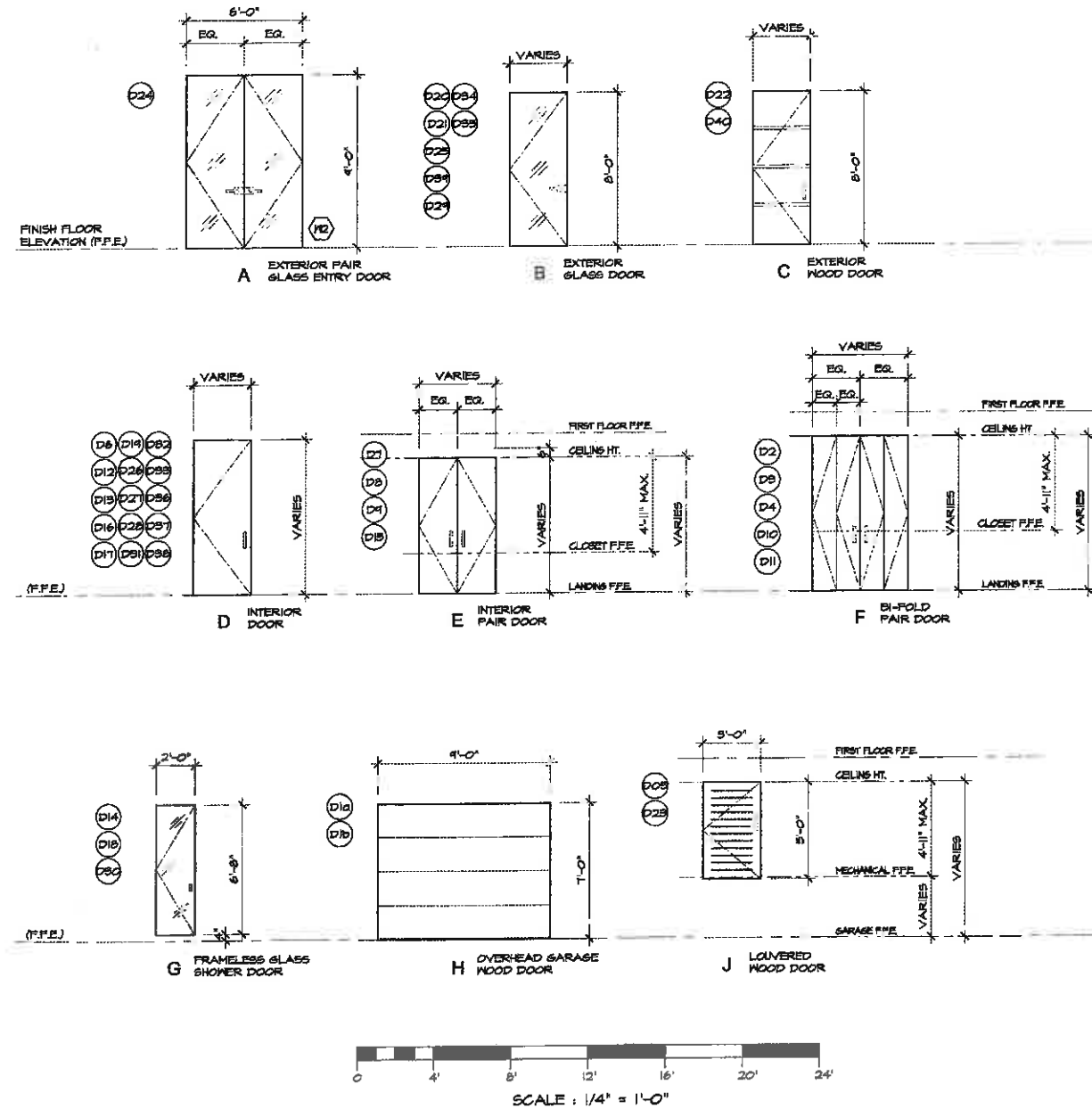
A-3.3
SHEET OF 149

DOOR SCHEDULE										
DOOR NO.	TYPE	SIZE WIDTH X HEIGHT	LOCATION	THICK.	DOOR MAT.	FRAME MAT.	HEAD DETAIL	JAMB DETAIL	THRESH DETAIL	REMARKS
			ROOM NAME							
BASEMENT FLOOR										
D1a	H	9'-0" x 7'-0"	GARAGE	2-1/4"	METAL	METAL				OVERHEAD DOOR
D1b	H	9'-0" x 7'-0"	GARAGE	2-1/4"	WOOD	WOOD				OVERHEAD DOOR
D2	F	5'-0" x 7'-0"	GARAGE	1-3/4"	WOOD	WOOD				BI-FOLD PAIR DOOR
D3	F	5'-0" x 7'-0"	GARAGE	1-3/4"	WOOD	WOOD				BI-FOLD PAIR DOOR
D4	F	5'-0" x 7'-0"	GARAGE	1-3/4"	WOOD	WOOD				BI-FOLD PAIR DOOR
D5	J	3'-0" x 5'-0"	MECHANICAL	1-3/4"	WOOD	WOOD				LOUVERED WOOD DOOR
D6	D	2'-6" x 7'-0"	STAIRWAY	1-3/4"	WOOD	WOOD				FIRE RATED DOOR, SEE DOOR NOTE 6.
D7	E	4'-0" x 7'-0"	WINE CLOSET	1-3/4"	MTL./SL.	METAL				PAIR DOOR
D8	E	4'-0" x 7'-0"	LAUNDRY CLOSET	1-3/4"	WOOD	WOOD				PAIR DOOR
D9	F	4'-6" x 5'-0"	LINEN CLOSET	1-3/4"	WOOD	WOOD				BI-FOLD PAIR DOOR
D10	F	4'-6" x 5'-0"	CLOSET	1-3/4"	WOOD	WOOD				BI-FOLD PAIR DOOR
D11	F	4'-6" x 5'-0"	CLOSET	1-3/4"	WOOD	WOOD				BI-FOLD PAIR DOOR
D12	D	2'-6" x 5'-0"	BEDROOM #1	1-3/4"	WOOD	WOOD				
D13	D	2'-0" x 5'-0"	BATHROOM #1	1-3/4"	WOOD	WOOD				
D14	S	2'-6" x 6'-4"	SHOWER	1/4"	GLASS					TEMPERED GLASS SHOWER DOOR
D15	E	4'-0" x 5'-0"	CLOSET	1-3/4"	WOOD	WOOD				PAIR DOOR
D16	D	2'-6" x 5'-0"	BEDROOM #2	1-3/4"	WOOD	WOOD				
D17	D	2'-0" x 5'-0"	BATHROOM #2	1-3/4"	WOOD	WOOD				
D18	S	2'-0" x 5'-4"	SHOWER	1/4"	GLASS					TEMPERED GLASS SHOWER DOOR
D19	D	2'-0" x 5'-0"	CLOSET	1-3/4"	WOOD	WOOD				
D20	B	2'-6" x 5'-0"	BEDROOM #2	1/2"	GLASS					TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-W1, SHT. A4.2
D21	B	2'-6" x 5'-0"	BEDROOM #1	1/2"	GLASS					TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-W1, SHT. A4.2
D22	C	2'-6" x 5'-0"	STORAGE	1-3/4"	WOOD	WOOD				EXTERIOR WOOD DOOR WITH HORIZ. METAL BANDS
FIRST FLOOR										
D23	J	3'-0" x 5'-0"	CRAWL SPACE	1-3/4"	WOOD	WOOD				LOUVERED WOOD DOOR
D24	A	6'-0" x 9'-0"	ENTRY STAIR	1/2"	GLASS					PAIR DOOR, TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-W2, SHT. A4.2
D25	B	2'-6" x 5'-0"	MASTER BEDROOM	1/2"	GLASS					TEMPERED GLASS, WEATHER-STRIPPING, SEE MOB, SHT. A4.2
D26	D	2'-6" x 7'-0"	MASTER BEDROOM	1-3/4"	WOOD	WOOD				
D27	D	3'-0" x 7'-0"	MASTER BATHROOM	1-3/4"	WOOD	WOOD				POCKET DOOR
D28	D	2'-0" x 7'-0"	MASTER CLOSET	1-3/4"	WOOD	WOOD				
D29	B	3'-0" x 5'-0"	MASTER BATHROOM	1/2"	GLASS					TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-W7, SHT. A4.2
D30	S	2'-0" x 6'-4"	SHOWER	1/4"	GLASS					TEMPERED GLASS SHOWER DOOR
D31	D	2'-0" x 7'-0"	MASTER TOILET	1-3/4"	WOOD	WOOD				
D32	D	2'-0" x 5'-0"	PONDER ROOM	1-3/4"	WOOD	WOOD				
D33	D	2'-0" x 5'-0"	PANTRY	1-3/4"	WOOD	WOOD				
D34	B	2'-6" x 5'-0"	KITCHEN	1/2"	GLASS					TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-W11, SHT. A4.2
D35	B	2'-6" x 5'-0"	KITCHEN	1/2"	GLASS					TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-W11, SHT. A4.2
D36	D	2'-0" x 5'-0"	CLOSET	1-3/4"	WOOD	WOOD				
D37	D	2'-0" x 5'-0"	BATHROOM #3	1-3/4"	WOOD	WOOD				
D38	D	2'-6" x 5'-0"	BEDROOM #3	1-3/4"	WOOD	WOOD				
D39	B	2'-6" x 5'-0"	GREAT ROOM	1/2"	GLASS					TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-W16, SHT. A4.2
D40	C	2'-0" x 5'-0"	DECK	1-3/4"	WOOD	WOOD				CUSTOM WOOD DOOR WITH HORIZ. METAL BANDS
D41	B	2'-6" x 5'-0"	VIEWING AREA	1/2"	GLASS					TEMPERED GLASS, WEATHER-STRIPPING, SEE WINDOW-W19, SHT. A4.2

DOOR NOTES

- ALL DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.G.O.N.
- SHALL BE 2'-0" X 6'-6" MINIMUM.
 - SHALL HAVE HARDWARE MOUNTED 50" TO 44" ABOVE FINISH FLOOR.
 - THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
 - PROVIDE (2) PAIR- 4-1/2" X 4-1/2" BUTTS ON ALL DOORS.
 - ALL HARDWARE TO HAVE US08 FINISH (DL RUBBED BRONZE).
 - THE ENTRY DOOR HARDWARE TO BE USE SHALL BE STAINLESS STEEL (S.S.) 316
 - ALL EXTERIOR DOOR HARDWARE TO BE S.S. 316
 - ALL INTERIOR PASSAGE DOORS TO BE USE SHALL BE S.S. 316
 - ALL FIRE RATED DOORS SHALL HAVE PERKCO 5600 (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.
 - EXTERIOR DOORS SHALL BE WEATHERSTRIPPED.
 - ALL DOORS SHALL BE SOLID CORE.
 - ALL DOOR GLAZING TO BE TEMPERED.
 - ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC, SECTION 2407.
 - EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 20 MINUTES, U.G.O.N.
 - REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
 - REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.

DOOR TYPES



REVISION	No.
REVISION 1/28/14	
REV. MASTER 3/24/14	

CONSULTANT:

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ARCHITECT

DOOR SCHEDULE

JOB NAME: **Jarve Residence**
 5000 1 5/2 of 4th.
 Carmel-by-the-Sea, CA 93921
 A.P.N. : 010-302-015

DATE:	4/17/14
SCALE:	AS NOTED
DRAWN:	C.H. BRW
JOB NUMBER:	18.20

REVISION	No.
1/22/14	
REV. MASTER	
5/24/14	

CONSULTANT:

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ERIC MILLER ARCHITECTS, INC.
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WINDOW SCHEDULE
 JOB NAME: **Jarve Residence**
 Scenic | 1/2 of 9th,
 Carmel-by-the-Sea, CA 93921
 A.P.N. : 010-502-015

DATE: 4/22/14
 SCALE: AS NOTED
 DRAWN: BH
 JOB NUMBER: 19.20

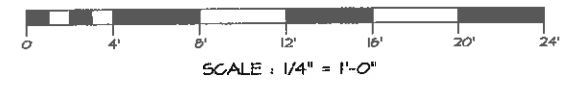
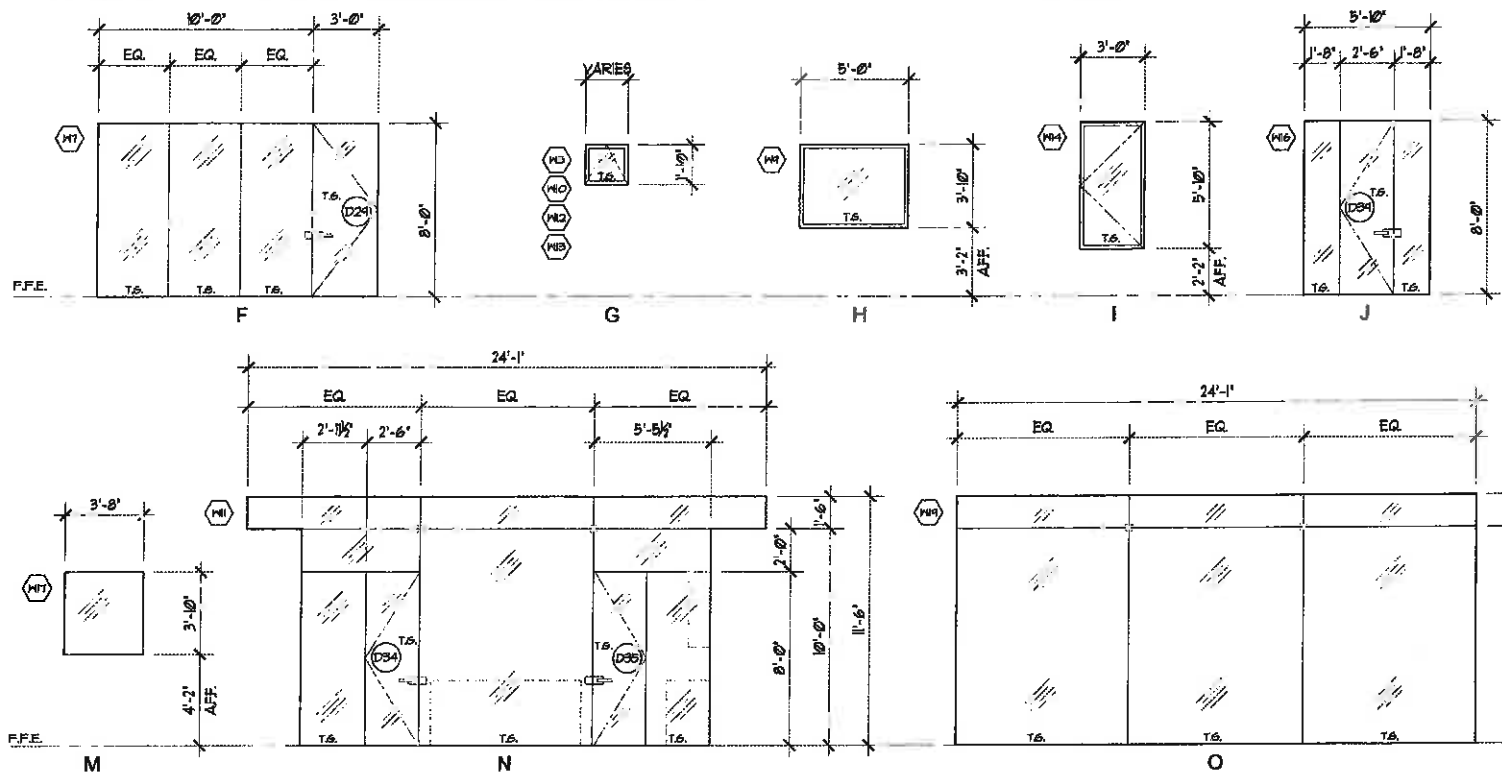
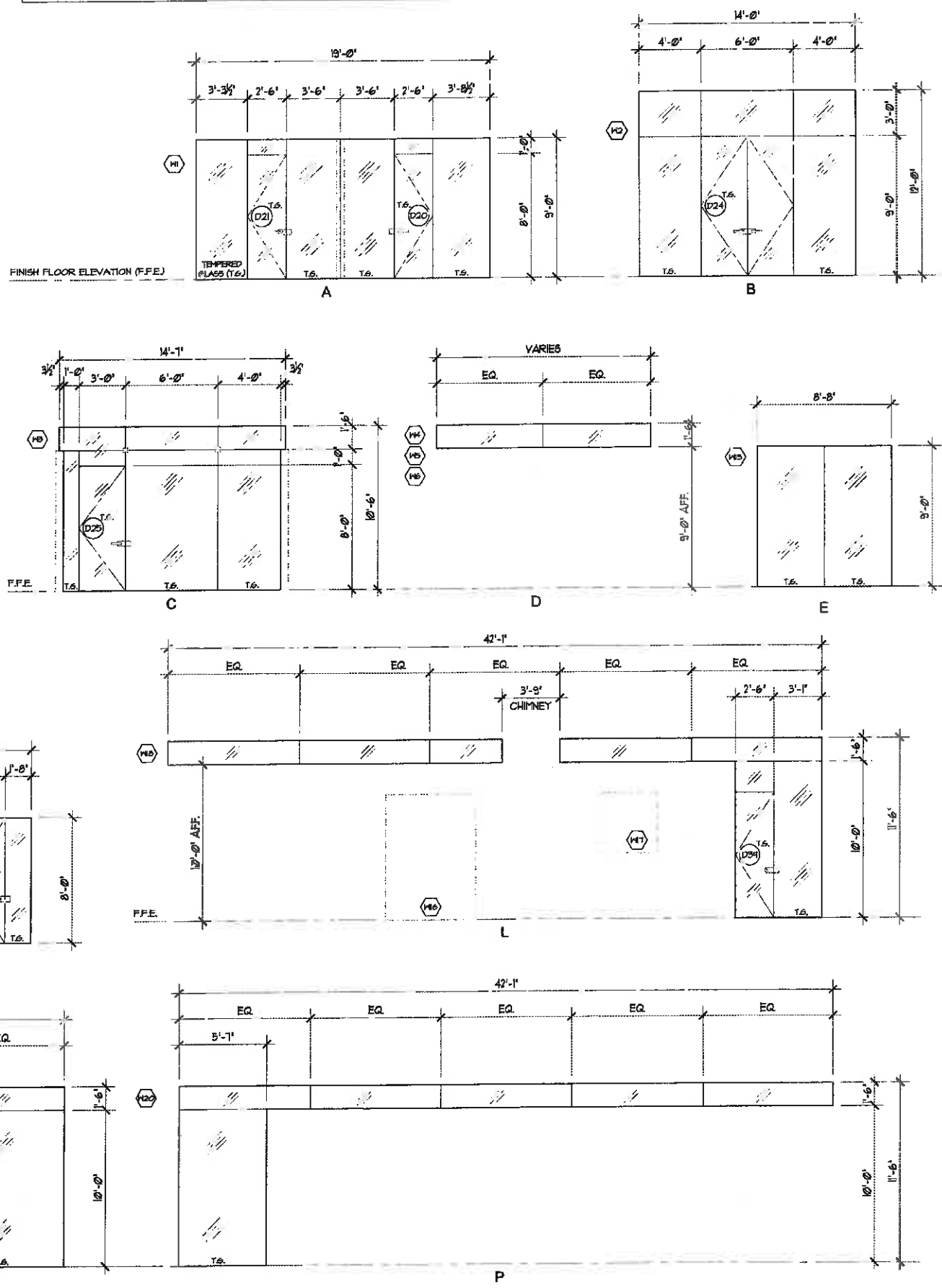
WINDOW SCHEDULE

ID#	TYPE	SIZE W x H	LOCATION		GLAZING	FRAME MAT.	STYLE	WINDOW DETAILS			HEAD HEIGHT ABOVE F.F.	SILL HEIGHT ABOVE F.F.	REMARKS
			ROOM NUMBER	ROOM NAME				HEAD	JAMB	SILL			
HA	A	14'-0" x 9'-0"		BEDROOM #1 & #2	SINGLE LAM.	NONE	FIXED	-	-	-	9'-0"	0'-0"	SEE DOOR- D20 & D21, SHT.- A4.1
HB	B	14'-0" x 12'-0"		ENTRY STAIR	SINGLE LAM.	NONE	FIXED	-	-	-	11'-0"	0'-0"	TEMPERED GLASS, SEE DOOR- D24, SHT.- A4.1
HC	C	14'-7" x 11'-6"		MASTER BEDROOM	SINGLE LAM.	NONE	FIXED	-	-	-	10'-6"	0'-0"	TEMPERED GLASS, SEE DOOR- D25, SHT.- A4.1
HD	D	13'-6" x 1'-6"		MASTER BEDROOM	DOUBLE	NONE	FIXED	-	-	-	10'-6"	9'-0"	
HE	E	13'-6" x 1'-6"		MASTER BEDROOM	DOUBLE	NONE	FIXED	-	-	-	10'-6"	9'-0"	
HF	F	10'-0" x 8'-0"		MASTER BATHROOM	SINGLE LAM.	NONE	FIXED	-	-	-	8'-0"	0'-0"	TEMPERED GLASS, SEE DOOR- D24, SHT.- A4.1
HG	G	2'-0" x 1'-10"		MASTER BATH SHOWER	DOUBLE	METAL	ANNING	-	-	-	7'-0"	5'-2"	TEMPERED GLASS
HH	H	5'-0" x 5'-0"		MASTER BATHROOM	DOUBLE	METAL	FIXED	-	-	-	7'-0"	4'-0"	TEMPERED GLASS
HI	I	2'-0" x 1'-10"		MASTER BATH TOILET	DOUBLE	METAL	ANNING	-	-	-	7'-0"	5'-2"	
HJ	J	24'-4" x 11'-6"		KITCHEN	SINGLE LAM.	NONE	FIXED	-	-	-	11'-6"	0'-0"	TEMPERED GLASS, SEE DOORS- D34 & D35, SHEET- A4.1
HK	K	2'-0" x 1'-10"		BATHROOM #3	DOUBLE	METAL	ANNING	-	-	-	8'-0"	6'-2"	
HL	L	2'-6" x 1'-10"		BATHROOM #3	DOUBLE	METAL	ANNING	-	-	-	8'-0"	6'-2"	TEMPERED GLASS
HM	M	3'-0" x 5'-10"		BEDROOM #3	DOUBLE	METAL	CASEMENT	-	-	-	8'-0"	2'-2"	EGRESS WINDOW
HN	N	8'-8" x 9'-0"		BEDROOM #3	SINGLE LAM.	NONE	FIXED	-	-	-	9'-0"	0'-0"	TEMPERED GLASS
HO	O	5'-10" x 8'-0"		LIVING ROOM	SINGLE LAM.	NONE	FIXED	-	-	-	8'-0"	0'-0"	TEMPERED GLASS, SEE DOOR- D34, SHT. A4.1
HP	P	3'-8" x 3'-10"		LIVING ROOM	DOUBLE	NONE	FIXED	-	-	-	8'-0"	3'-2"	
HQ	Q	42'-4" x 11'-6"		VIBING AREA-KITCHEN	SINGLE LAM.	NONE	FIXED	-	-	-	11'-6"	0'-0"	TEMPERED GLASS, SEE DOOR- D41, SHT. A4.1
HR	R	24'-4" x 11'-6"		VIBING AREA	SINGLE LAM.	NONE	FIXED	-	-	-	11'-6"	0'-0"	TEMPERED GLASS
HS	S	42'-4" x 11'-6"		VIBING AREA-KITCHEN	SINGLE LAM.	NONE	FIXED	-	-	-	11'-6"	0'-0"	TEMPERED GLASS

WINDOW NOTES

- ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.:
- EGRESS WINDOWS SHALL HAVE SILL HEIGHT AT 44" A.F.F. MAXIMUM.
 - METAL WINDOWS UNLESS OTHERWISE NOTED.
 - ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CRC, SECTION R308.3. ALL INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE REQUIREMENTS OF CPSC 16, CFR 1201 OR ANSI Z97.1.
 - SEE WINDOW TYPES ON THIS PAGE FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CRC R308 AND EGRESS PER CRC R310.
 - ALL WINDOW GLAZING SHALL BE LOW-E.
 - CONTACT ARCHITECT, OWNER & INTERIOR DESIGNER FOR SPECIFICATION & APPLICATION, PRIOR TO MANUFACTURING.
 - ALL CURTAIN WALL CHANNELS TO BE STAINLESS STEEL 316.

WINDOW TYPE



Veillum Original

REVISION	No.

CONSULTANT:

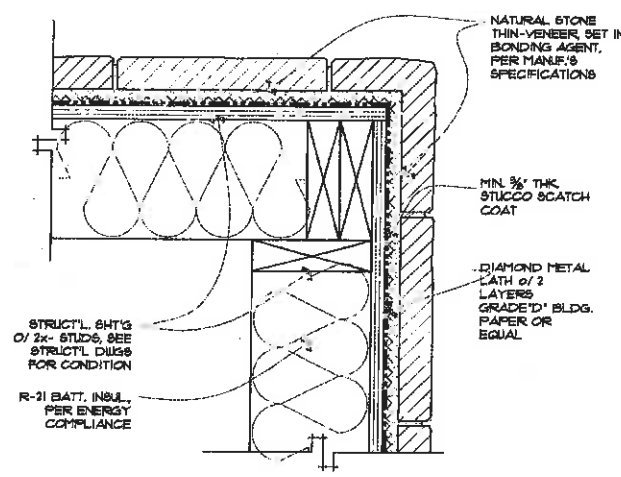
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 157 GRAND AVENUE SUITE 108 PACIFIC GROVE, CA 93950
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

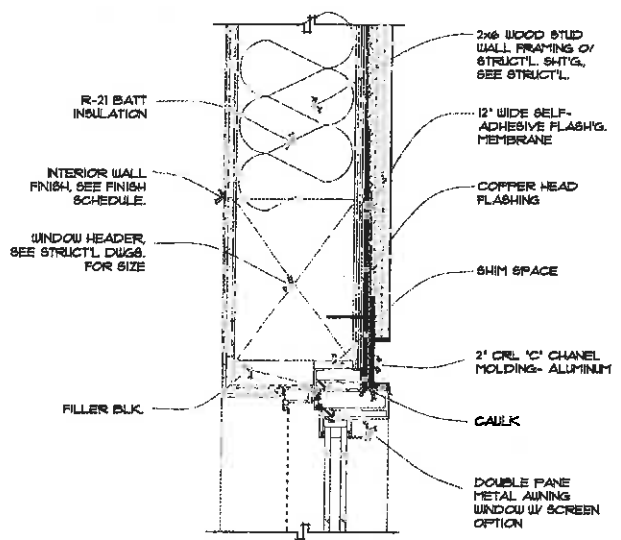
EXTERIOR DETAILS
 JOB NAME: **Jarve Residence**
 Schematic 1 5/8 of 9th.
 Carmel-by-the-Sea, CA 95021
 A.P.N.: 010-902-015

DATE: 1/24/14
 SCALE: AS NOTED
 DRAWN: BRW
 JOB NUMBER: 13.20

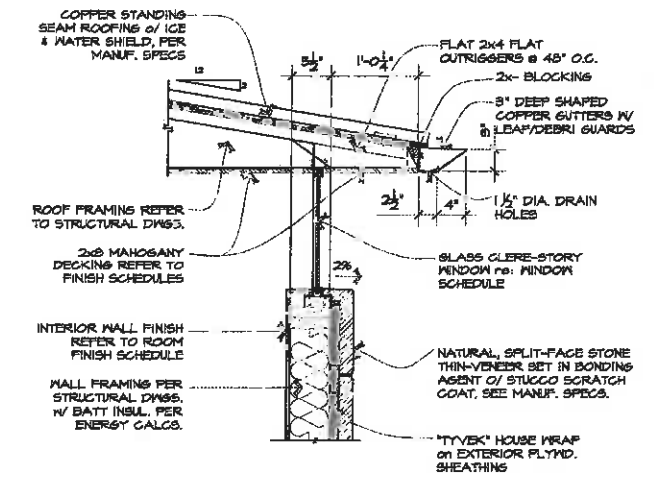
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 SHEET OF 19



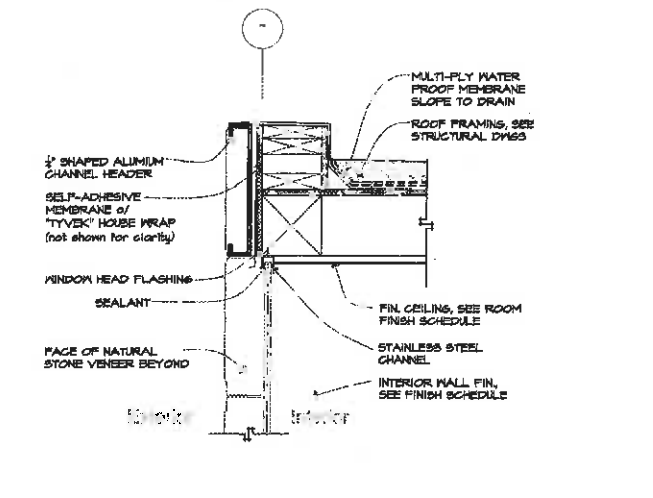
10 STONE CORNER DETAIL
 SCALE: 3" = 1'-0"



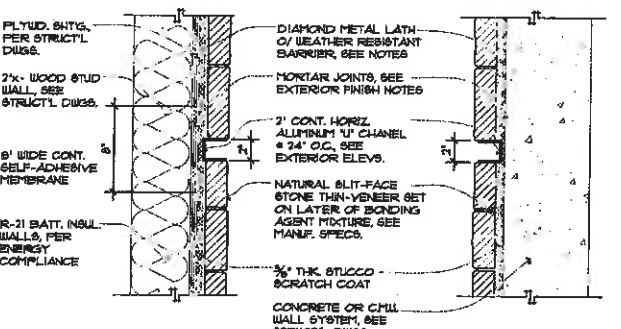
7 WINDOW HEAD DETAIL
 SCALE: 3" = 1'-0"



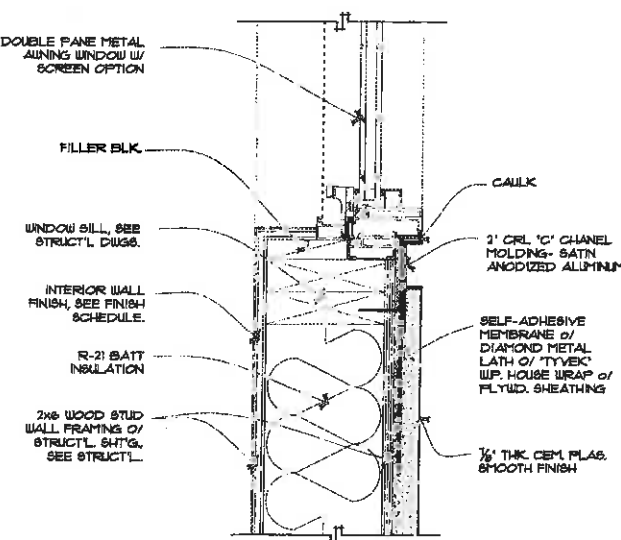
4 OVERHANG DETAIL
 SCALE: 1" = 1'-0"



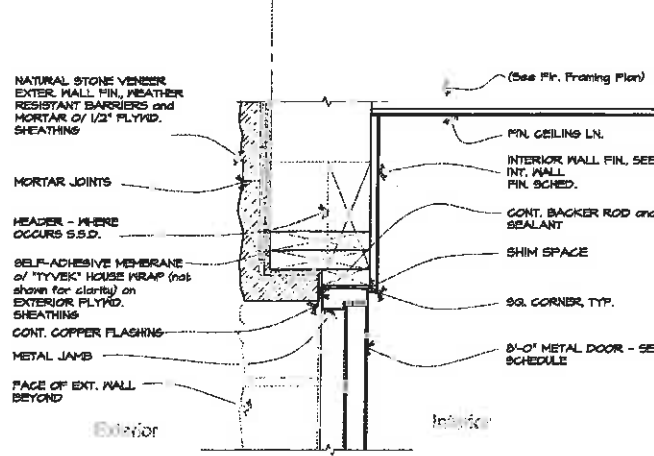
1 ALUMINUM BEAM DETAIL
 SCALE: 1-1/2" = 1'-0"



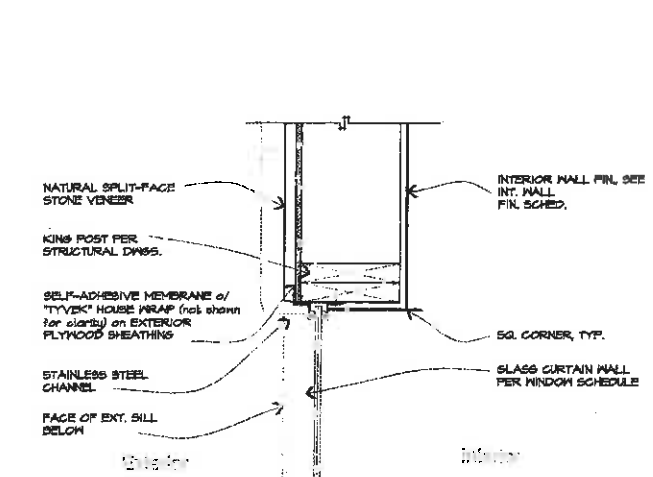
11 ALUMINUM REVEAL @ STUCCO DETAIL
 SCALE: 1-1/2" = 1'-0"



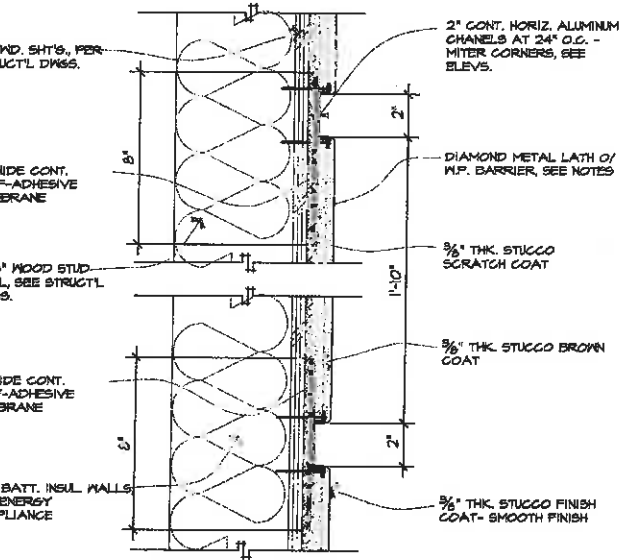
8 WINDOW SILL DETAIL
 SCALE: 3" = 1'-0"



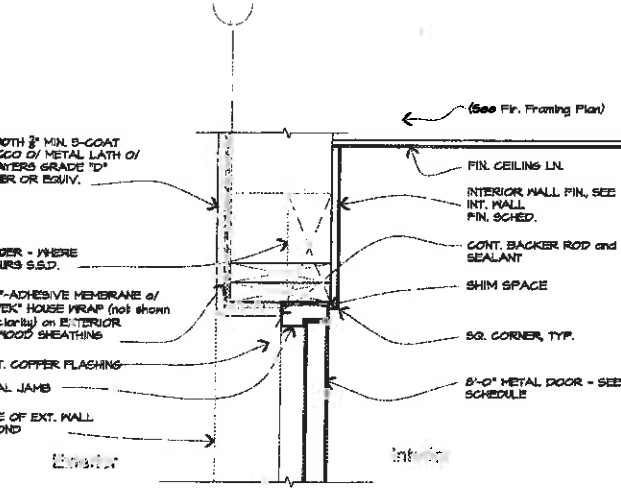
5 DOOR HEAD DETAIL
 SCALE: 1-1/2" = 1'-0"



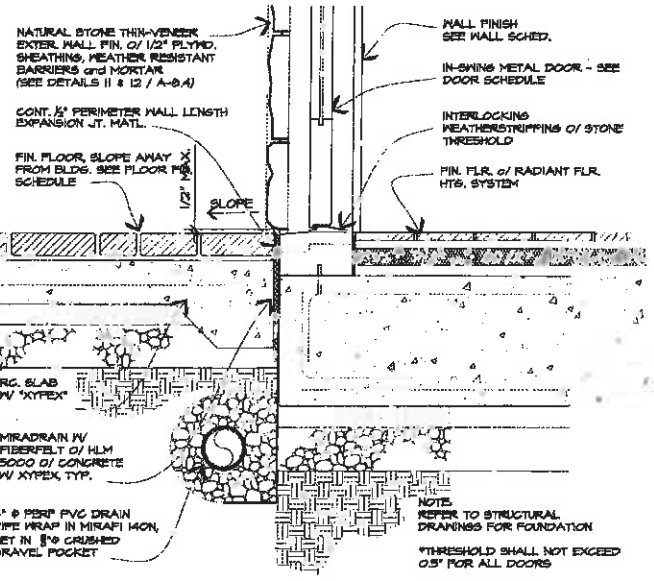
2 CURTAIN WALL HEAD
 SCALE: 1-1/2" = 1'-0"



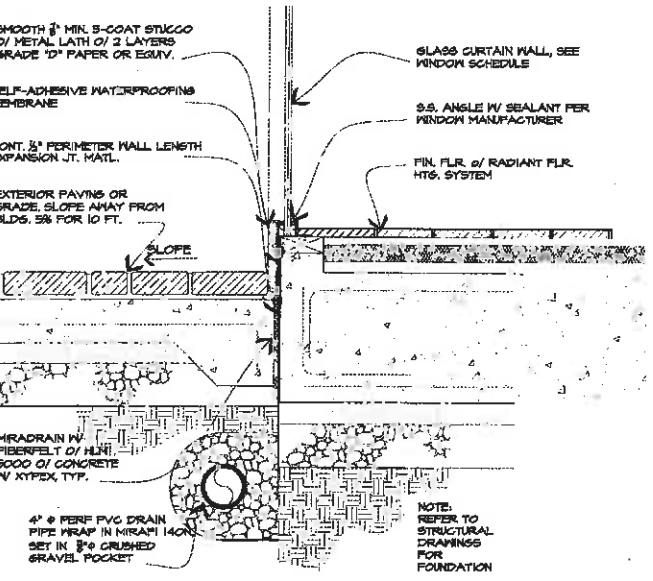
12 ALUMINUM REVEAL @ STUCCO DETAIL
 SCALE: 3" = 1'-0"



9 DOOR HEAD DETAIL
 SCALE: 1-1/2" = 1'-0"

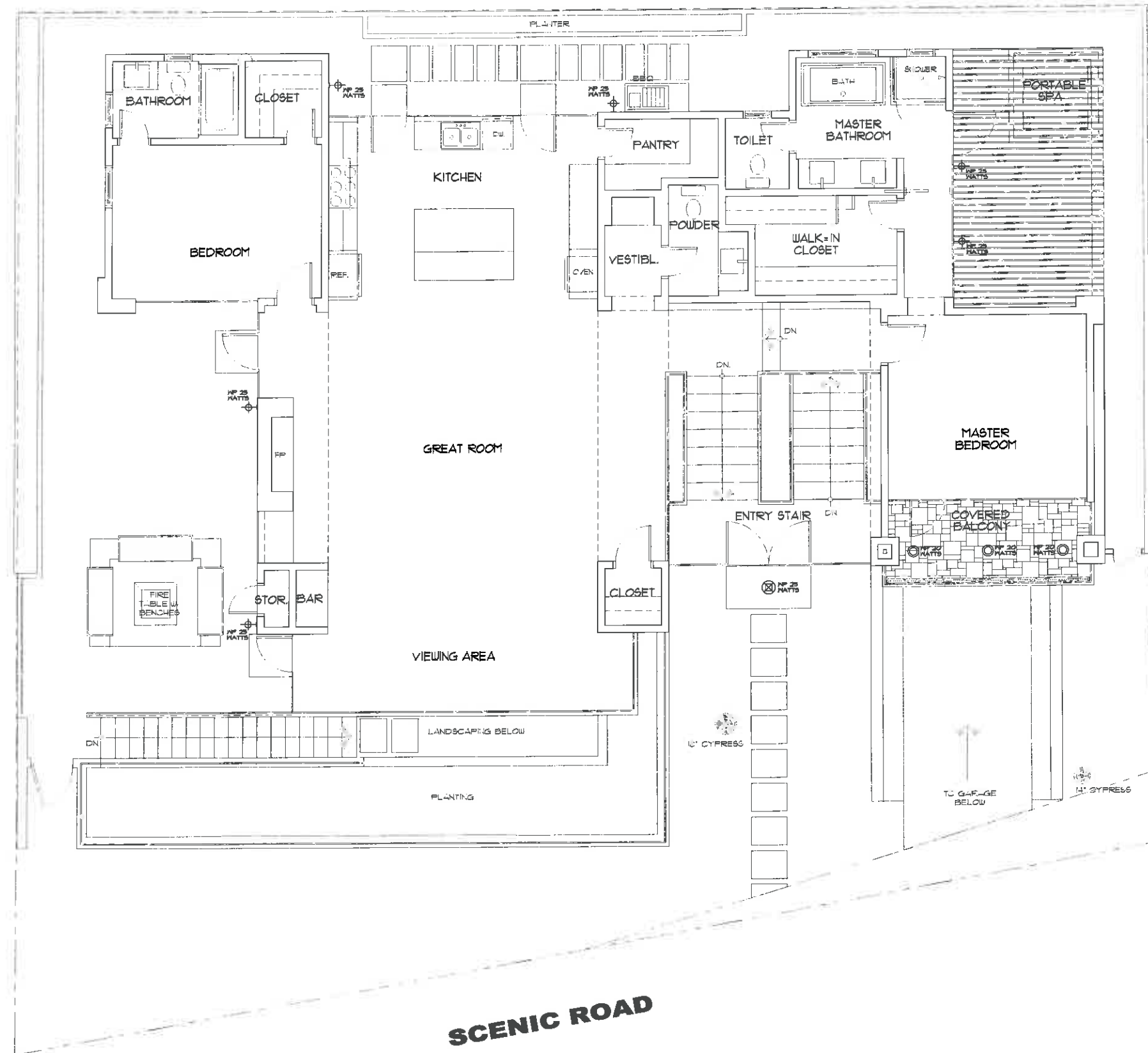


6 DOOR THRESHOLD DETAIL
 SCALE: 1-1/2" = 1'-0"



3 CURTAIN WALL SILL
 SCALE: 1-1/2" = 1'-0"

REVISION	No.
REVISION 1/28/14	
(REVISED 1/31/14)	
(REV. MASTER 3/18/14)	



LIGHT FIXTURES	
	RECESSED CAN, WATERPROOF
	WATERPROOF
	WATERPROOF CEILING LIGHT

- TITLE 24 ENERGY REQUIREMENTS:**
- KITCHENS: AT LEAST 50% OF INSTALLED WATTAGE MUST BE HIGH EFFICACY INCLUDING NOOK AREA.
 - ALL HARDWIRED LIGHTING MUST BE HIGH EFFICACY OR CONTROLLED BY A MANUAL OR MOTION ON / SENSOR IN BATHROOMS, UTILITY ROOMS, GARAGES, LAUNDRY ROOMS, HALLWAYS, STAIRS, CLOSETS (GREATER THAN 5 S.F.).
 - LIGHTING IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY LUMINARIES OR ARE CONTROLLED BY A DIMMER SWITCH OR ARE CONTROLLED BY AN OCCUPANCY SENSOR THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS AN OPTION.
 - EXTERIOR LIGHTING: HIGH EFFICACY OR MOTION SENSOR/PHOTO SENSOR.
 - EXTERIOR LIGHTING ON BUILDINGS SHALL NOT BE HIGHER THAN 10 FEET ABOVE THE GROUND AND SHALL NOT EXCEED 25 WATTS (INCANDESCENT EQUIVALENT; I.E. APPROXIMATELY 955 LUMENS) IN POWER PER FIXTURE.
 - ALL FIXTURES INSTALLED IN WET LOCATIONS SHALL BE MARKED, "SUITABLE FOR WET LOCATIONS." ALL FIXTURES INSTALLED IN DAMP LOCATIONS SHALL BE MARKED, "SUITABLE FOR WET OR DAMP LOCATIONS." PER 2013 CEC.



WALL MOUNTED EXTERIOR LIGHT FIXTURE:
LAMP: 25 WATT, MAXIMUM
FINISH: COPPER



RECESSED CAN DOWNLIGHT FIXTURE:
LAMP: 20 WATT, MAXIMUM
FINISH: WRINKLE BRONZE

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.
157 GRAND AVENUE SUITE 108 PACIFIC GROVE, CA 93950
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

FIRST FLOOR PLAN

JOB NAME: **Jarve Residence**
Scenic 1 S/E of 4th,
Carmel-by-the-Sea, CA 93921
A.P.N. : 010-302-015

DATE:	9/24/14
SCALE:	1/4" = 1'-0"
DR:WN:	C.J.H.
JOB NUMBER:	13,20

E2.1
SHEET 454

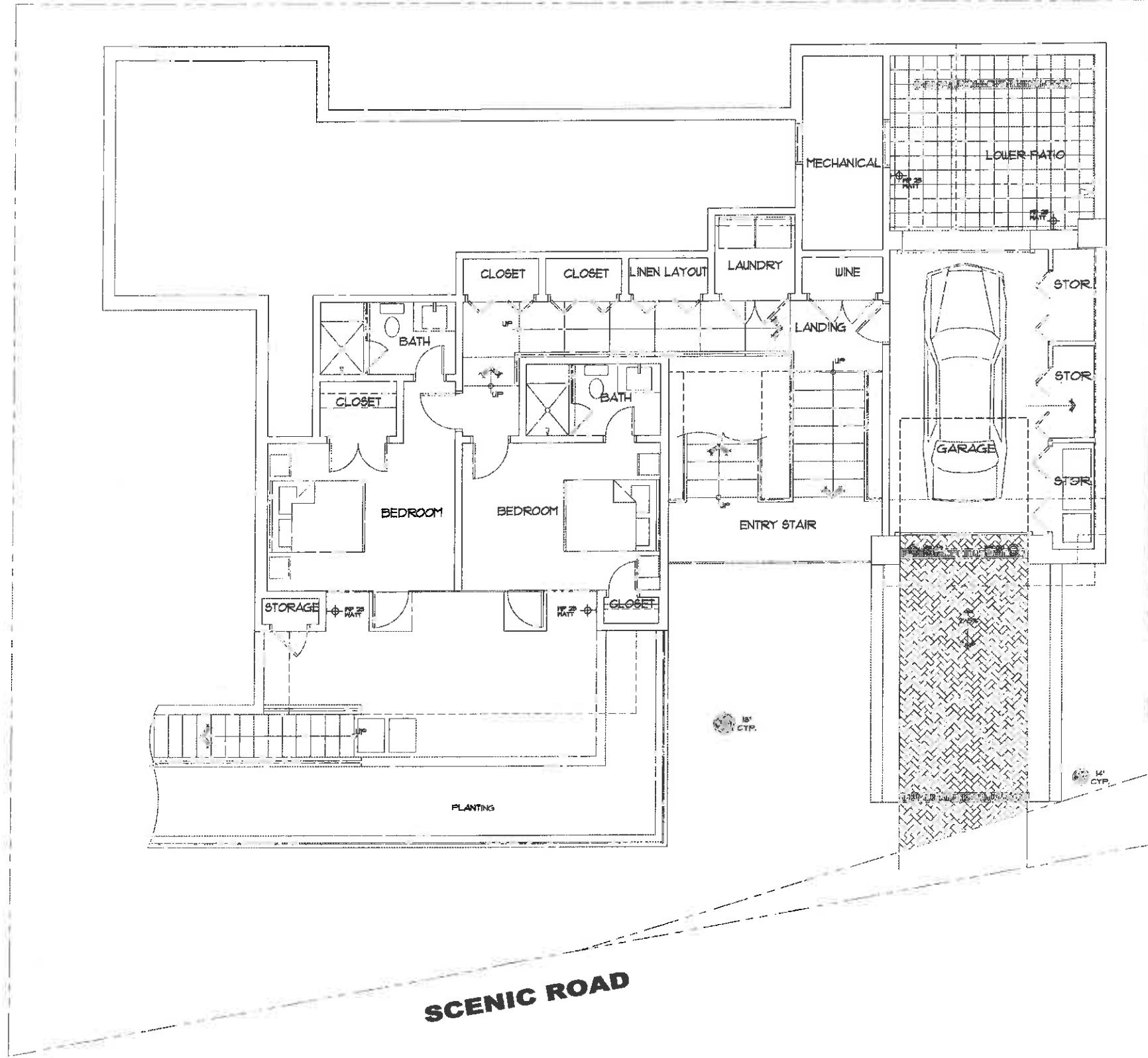


FIRST FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"



SCENIC ROAD

REVISION	No.
7/28/14	
(REVISED 7/31/14)	
REV. MASTER 9/24/14	



LIGHT FIXTURES	
	RECESSED CAN, WATERPROOF
	WATERPROOF
	WATERPROOF CEILING LIGHT

- TITLE 24 ENERGY REQUIREMENTS:**
- KITCHENS: AT LEAST 50% OF INSTALLED MATTAGE MUST BE HIGH EFFICACY INCLUDING NOOK AREA.
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CONSULTANT:

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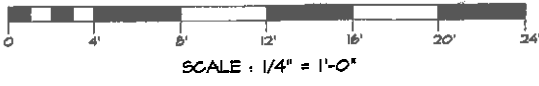
EXTERIOR LIGHTING PLAN
 JOB NAME: **Jarve Residence**
 Scale: 1 S/E of 4th, Carmel-by-the-Sea, CA 95021
 A.P.N. : 010-502-015

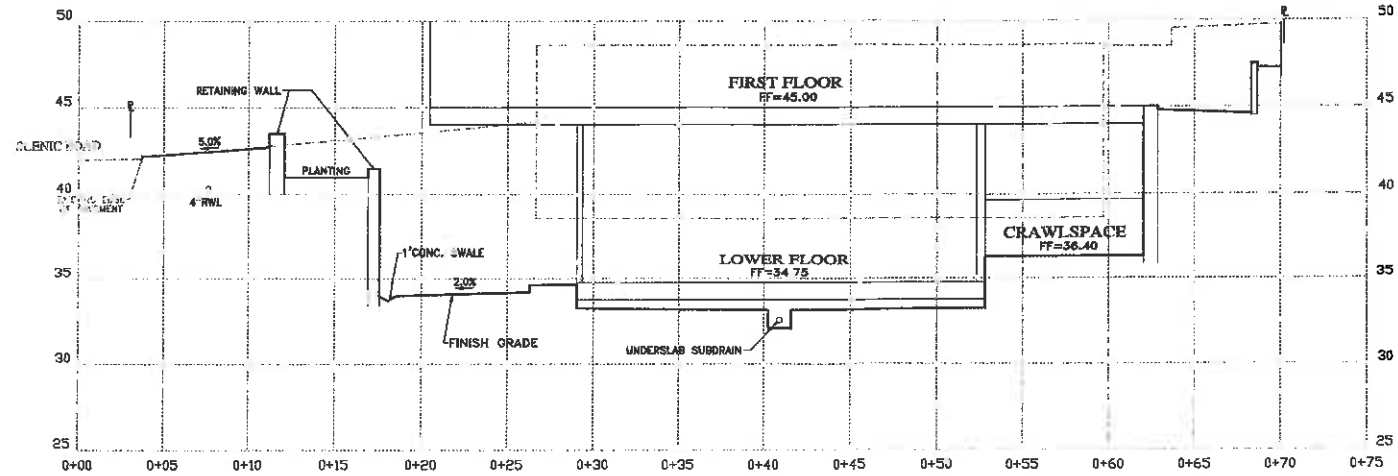
DATE: 9/22/14
 SCALE: 1/4" = 1'-0"
 DRAWN: C.H.
 JOB NUMBER: 15.20

E-2.2
 SHEET OF 155

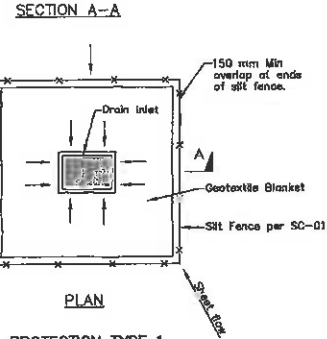
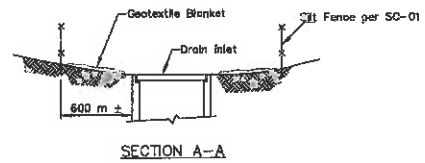


BASEMENT LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



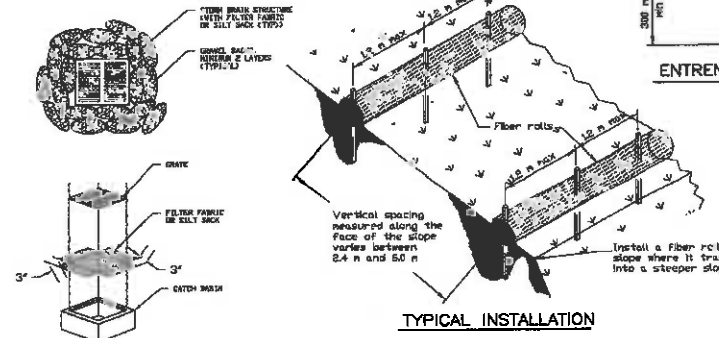
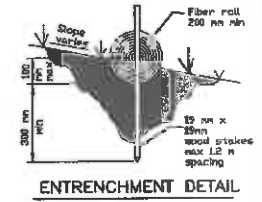


SECTION A-A
SCALE 1"=4'



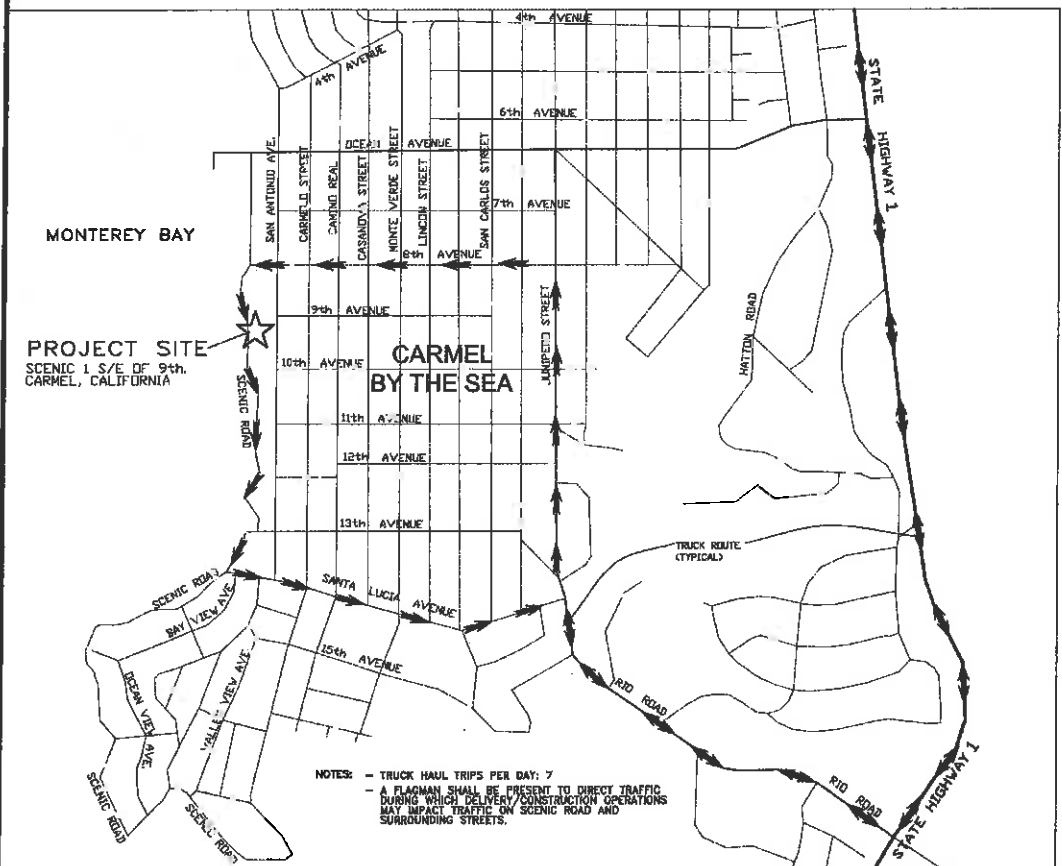
PROTECTION TYPE 1
DRAIN INLET PROTECTION

- NOTES:
1. For use in areas where grading has been completed and final soil stabilization and seeding are pending.
 2. Not applicable in paved areas.
 3. Not applicable with concentrated flows.

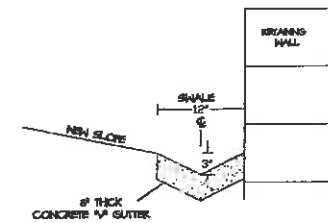


FIBER ROLL

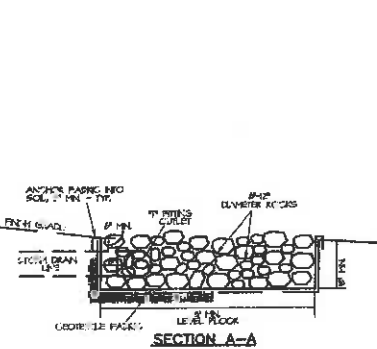
- NOTES:
1. GRAVEL BAGS SHALL BE USED ON ALL DRAINAGE INLETS, ON-SITE TOP OPENINGS AND SIDE OPENINGS.



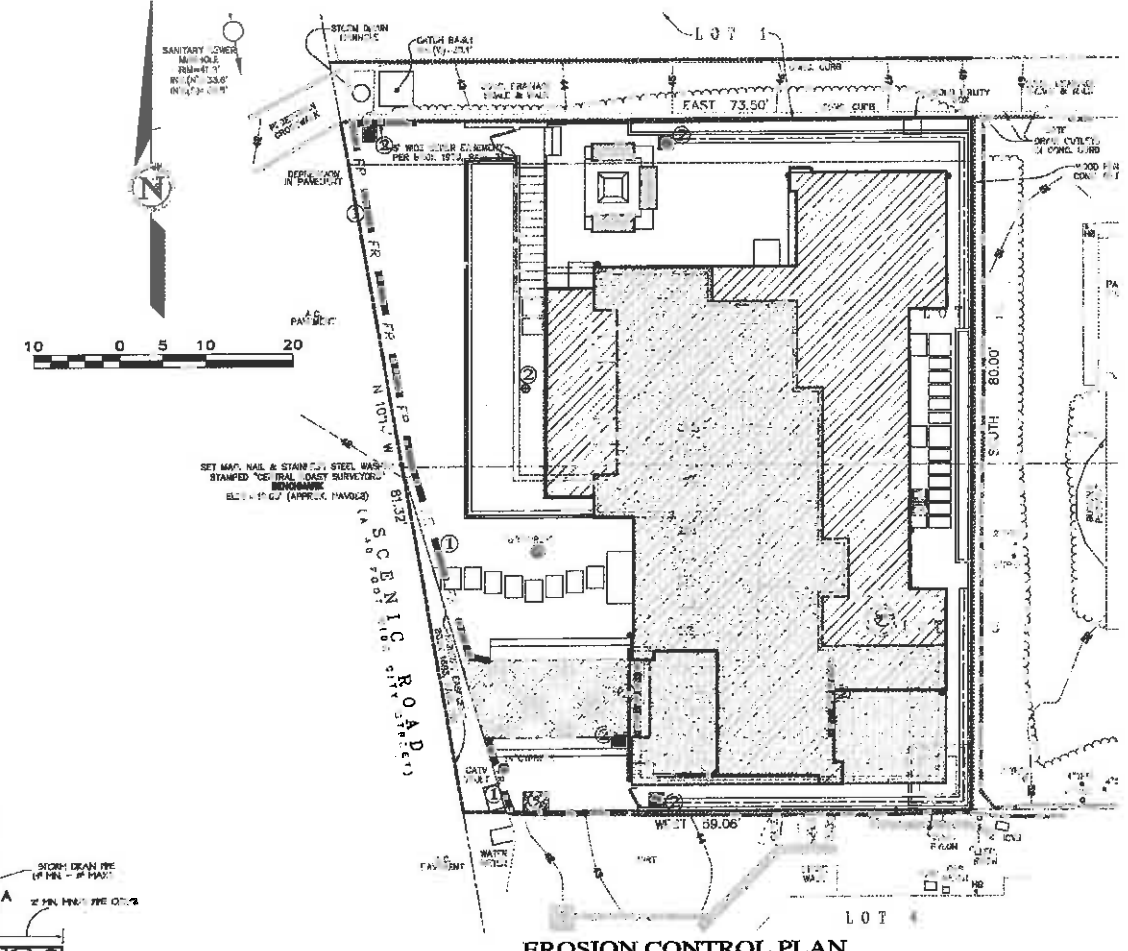
TRUCK-HAUL ROUTE & TRAFFIC CONTROL
NOT TO SCALE



CONCRETE SWALE
NOT TO SCALE



ROCK RIP-RAP
NOT TO SCALE



EROSION CONTROL PLAN
SCALE 1"=10'

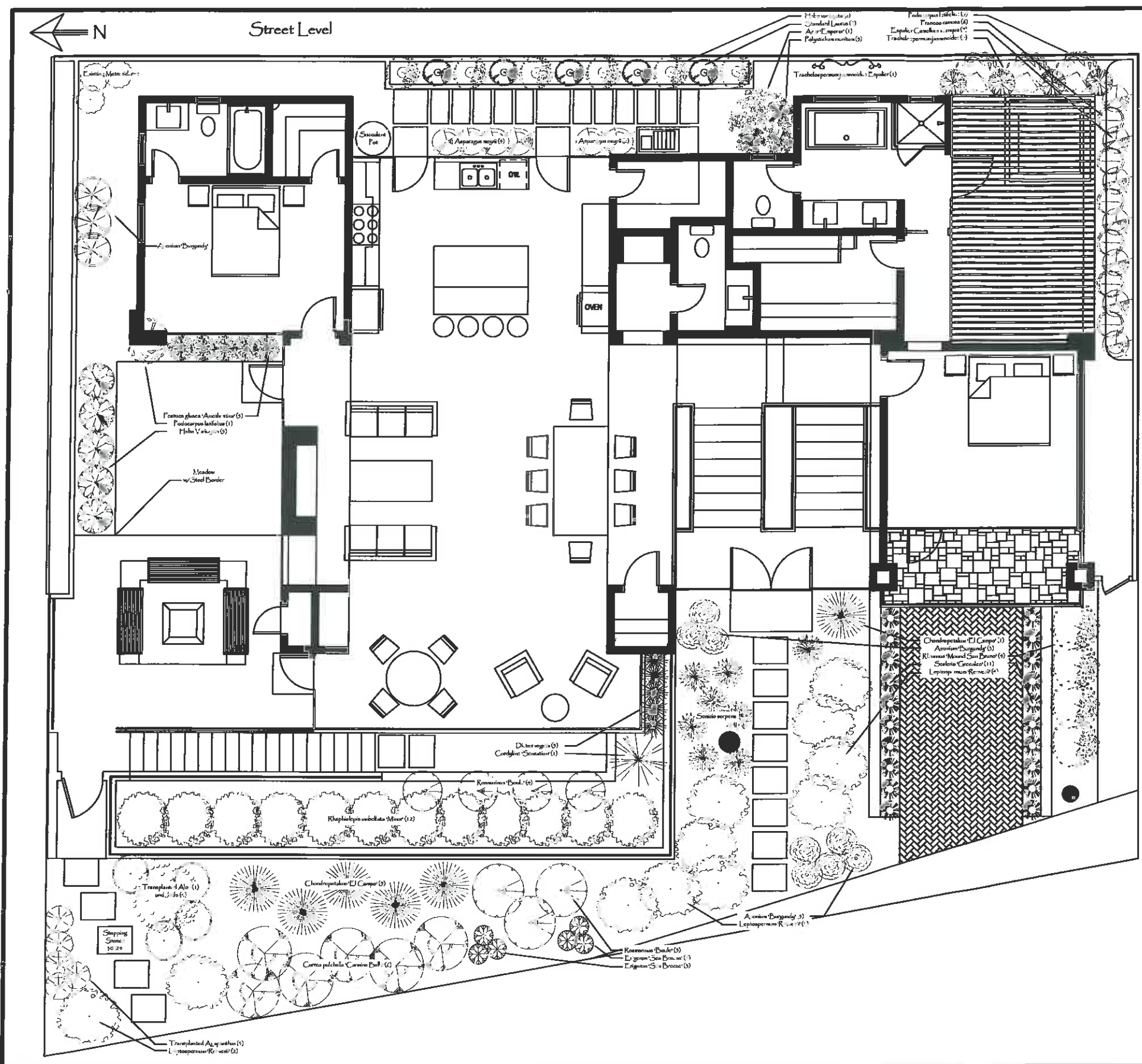


APPROVED BY:
GUY R. GIBAUDO
R.C.E. No. 56548

LANDSET ENGINEERS, INC.
ENGINEERING - LAND PLANNING
SURVEYING - ENVIRONMENTAL CONSULTING
520-B GRANT HORSE CANYON ROAD, SALINAS, CA 93807

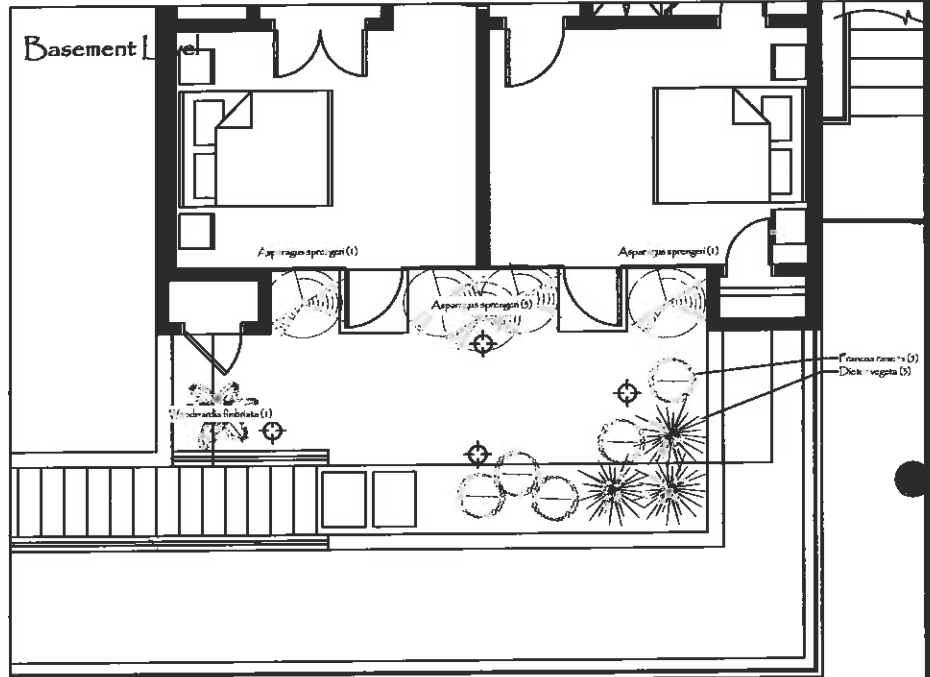
CONCEPTUAL GRADING, DRAINAGE
AND EROSION CONTROL PLAN
LANDS OF JARVE - A.P.N.: 010-302-015
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
FOR MR. & MRS. JOHN & JACQUE JARVE

SCALE: AS SHOWN	
DATE: JUNE 2014	
JOB NO. 1350-01	
SHEET	C2
OF 2 SHEETS	
No.	DATE BY REVISION
07/02/14	AMS RELEASED TO CLIENT



Jarve Plant List

QTY	Size	Botanical Name	Common Name
120	sqft	'Native Bentgrass' sod	Delta Bluegrass
1	15g	Acer palmatum 'Emporer'	Emporer Japanese Maple
8	3g	Aeonium 'Burgandy'	Aeonium
6	3g	Asparagus setiferi	Asparagus Fern
3	3g	Asparagus sprengeri	Asparagus Fern
7	15g	Camelia sasanqua 'Espalier'	Sasanqua Camelia
4	20"	Clusia tropicatum tectonum 'El Campo'	Dwf Cape Rush
1	15g	Cordyline 'Sensation'	Sensation Cordyline
6	3g	Correa pulchella 'Camino Del Sol'	Australian Fuchsia
5	1g	Dietsa vegeta	Fortnight Lily
3	3g	Dietsa vegeta	Fortnight Lily
6	1g	Erigonum glaucum 'Sea Breeze'	Sea Breeze Santa Barbara Daisy
5	1g	Festuca glauca 'Ameliasina'	Blue Fescue
11	1g	Francoa ramosa	Francoa
11	3g	Hebe variegata	Variegated Hebe
3	15g	Laurus nobilis Standard	Sweet Bay
11	15g	Leptospermum reevei	Dwf. Leptospermum
3	3g	Polystichum muritum	Sword Fern
4	24"	Podocarpus latifolius	Yew Pine
12	3g	Rhapilepis umbellata 'Minor'	Dwf. Yucca Hawthorn
4	3g	Rhamnus californica 'Mound San Bruno'	San Bruno Coffee Shrub
7	1g	Rosmarinus officinalis 'Boule'	Boule Rosemary
12	4"	Senecio serpens	Dwf. Senecio
22	1g	Scaevola 'Greek Ale'	Greek Ale Scaevola
1	15g	Trachelospermum jasminoides 'Espalier'	Night Blooming Jasmine Espalier
4	3g	Trachelospermum jasminoides	Night Blooming Jasmine
2	15g	Woodwardia frabifata	Saint Chasin Fern
		Succulenta Tot	Succulent
Transplants			
7	3G	Aeonium	
7	3G	Jade	
7	3G	Aloe	
1	24"	Agapanthus	



Michelle Comeau
Landscape Design
&
Installation
P.O. Box 6327
Carmel, Ca. 93921
Ph: 831-620-0111
F: 831-220-0105
michelle@comelandscape.com

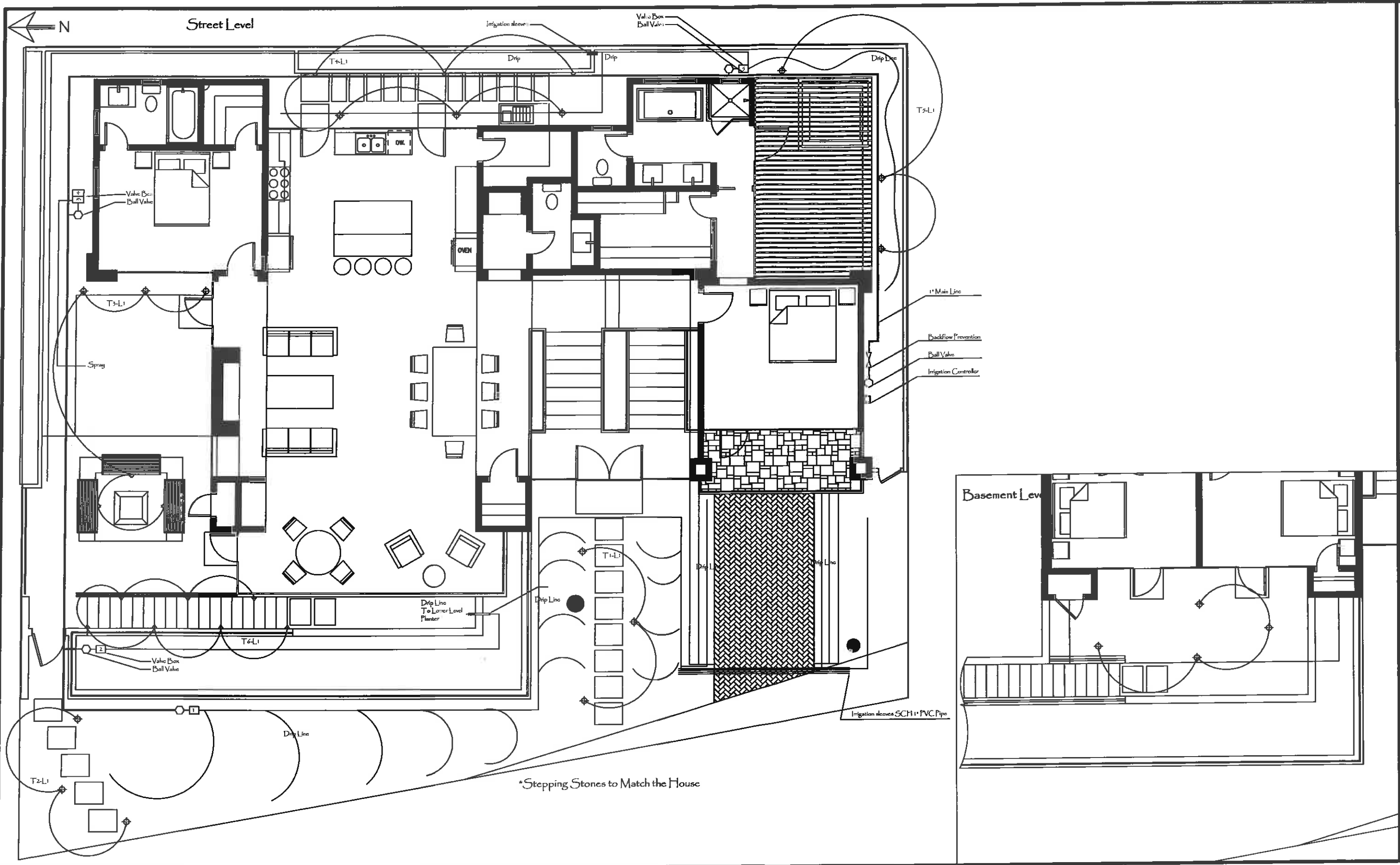
Jarve Residence
Scenic 1 S/E of 9th.
Carmel-By-The-Sea, Ca. 93921
A.P.N.: 010-302-015

Landscape Plan Prepared For:

Sheet Title:
Planting Plan
Date: 9.15.14
Scale: No Scale
Drawn By: GM
Revised: 9.24.14
9.23.14
Sheet: L-1
of 3

RECEIVED
SEP 24 2014

City of Carmel-by-the-Sea
Planning & Building Dept.



Michelle Comeau
Landscape Design
&
Installation
P.O. Box 6527
Carmel, Ca. 93921
Ph: 831-622-0111
Fax: 831-620-0109
michelle@comeau-landscape.com

Jarve Residence
Scenic 1 S/E of 9th.
Carmel-by-the-Sea, Ca. 93921
A.P.N.: 010-302-015

Landscape Plan Prepared For:

Sheet Title:
Irrigation/Lighting
Plan

Date: 9.15.14

Scale: No Scale

Drawn By: GM

Revised: 9.24.14
9.23.14

Sheet: L-2
of 3

PLANTING NOTES:

1. Plant quantities are for contractors convenience only. Contractor is responsible for actual plant quantities and shall be verified from the planting plan. To meet the planting requirements, contractor may need to engage in contract with growers to ensure plant availability.
2. Contractor to notify landscape designer in the event of plant unavailability immediately.
3. Conditions permitting, the retention of water in planting pits for more than 1 hour shall be corrected by the contractor.
4. All plant material shall match specification per species and comply with ANZSI Z601 "Standard for Nursery Stock", and shall be inspected by landscape designer.
5. Plant materials may be adjusted in the field as directed by landscape designer at no extra cost to owner.
6. Contractor shall erect tree protection barriers around existing trees to be saved on site, creating a tree protection zone, contractor shall be responsible for damage to existing trees.
7. Contractor shall provide an allowance of \$2,000 for additional material.
8. Top dress all planter areas with 2" of 1/2" redwood or fir bark dressing free of all dirt, sticks, dust or debris. Provide a 1 pint sample and source to Landscape Designer prior to ordering.
9. Erosion control blanket/jute to be applied to all slope areas according to manufacturers specifications.
10. All trees to be staked with two lodgpole stakes 10' x 2" a batter board and cinch ties, or with guy wires as necessary.
11. All plants to be planted with 1/3 top soil, 1/3 organic planting mix, 1/3 harvest supreme organic amendment.
12. All plants to be planted with organic fertilizer inoculated with appropriate mycorrhizae.
13. No plant substitutions unless approved by designer and City of Carmel.
14. All irrigation lines to be SCH 40 PVC main lines.
15. All valve wires to be sleeved with 3/4" electrical conduit, SCH 40.
16. All direct burial low voltage wires to be sleeved with 3/4" electrical conduit, SCH 40 PVC.
17. All Stepping stones to be set on individual pads of concrete, 2" thick, trowelled to the exact size of the stepping stones.

IRRIGATION LEGEND

CONTROLLER
Weathermatic SL 1600 with Smart Link Air Card, Flow Sensor and Master Valve
DRIP VALVE
1" 2911 Remote Control Valve, Nelson Plastic Valve Box
1" Brown Ball Valve, Metos
1" x .975d Wilkins Reduced Pressure w/ Y Strainer
1" Main Line, SCH-40, 1/2" Deep
3/4" B-101 Columpton Bent Neck Garden Valve

STATION #	TYPE	LOCATION
1	DRIP	Front and Driveway
2	DRIP	Restricted Planter and Lower Level
3	SPRAY	Midway
4	Extm	
5	Drop	Rear and Sides

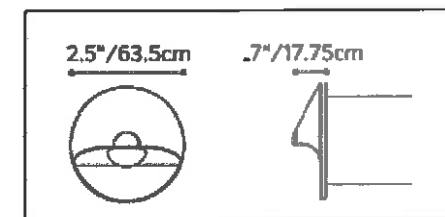
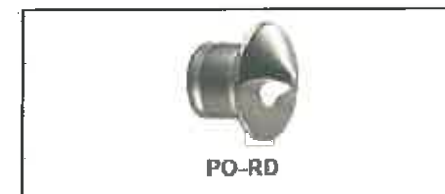
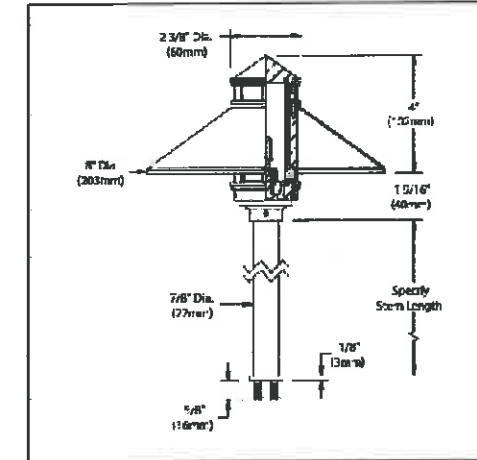
IRRIGATION TIME TABLE

SPRING (AS NECESSARY ACCORDING TO WEATHER)
VALVES 1, 2, 3, 4, 5 T, F 45 MIN

SUMMER
VALVE 5, 2, 4, 4, 5 T, F 45 MIN

FALL
VALVES 1, 2, 3, 4, 5 T, F 45 MIN

WINTER (AS NECESSARY ACCORDING TO WEATHER)
VALVES 1, 2, 3, 4, 5 T, F 45 MIN



WILKINS Model 975XL
Reduced Pressure Principle Assembly
SPECIFICATION SUBMITTAL SHEET

APPLICATION
Designed for installation on potable water lines to protect against both backflowage and backpressure of contaminated water into the potable water supply. Assembly shall provide protection where a potential health hazard exists.

FEATURES
Sizes: 1/2" □ 1" □ 1 1/2" □ 2"

OPTIONS
(Subs can be combined)
 L - less ball valves
 U - with union ball valves
 IS - with integral relief valve monitor switch
 P - for recirculated water systems
 S - with bronze "Y" type strainer
 BMS - with battery operated monitor switch
 FDC - with fire hydrant connection 2" only
 TCJ - with test cock tap
 T - with union wheel elbows
 SE - with street elbows
 FT - with integral male 45° flare SAE in at 6" ing

ACCESSORIES
 Air gap (Model AG)
 Repair kit (not for sale)
 Thermal expansion tank (Model WXTP)
 Soft sealed check valve (Model 40)
 Shock arrester (Model 1250)
 CF-SET Quick-Tie Filling Set
 Ball valve handle locks

WARRANTY
WILKINS warrants that the Model 975XL is free from defects in material and workmanship for a period of 5 years from the date of installation, provided that the assembly is installed and maintained in accordance with the instructions contained herein.

WILKINS
1000 Wilkins Drive
Carmel, CA 95021
Tel: 408-451-1200
Fax: 408-451-1201
www.wilkinsvalves.com

Lighting Legend

SYMBOL QTY NAME MODEL DESCRIPTION ACCESSORIES

- ☐ 3 FX Luminaire FX Transformer 300W See Transformer Schedule
- ☐ 1 FX Luminaire FX Transformer 600W See Transformer Schedule
- ☐ 15 FX Luminaire PO-LEDKD 3 Luminaire Wall Light
- ☐ 15 TEKA Illumination MBP-LV 20 White Pathway and Curb Lights

TRANSFORMER SCHEDULE

SYMBOL MODEL WATTAGE CAPACITY WATTAGE USED PRIMARY AREA ILLUMINATED SWITCH CODE

T1	FX-Transformer	300w	54w	Entry	SW1
T2	FX-Transformer	300w	74w	Swapping Stairs	SW2
T3	FX-Transformer	300w	84w	Courtyard	SW3
T4	FX-Transformer	300w	84w	Back Garden	SW4
T5	FX-Transformer	300w	54w	Rear Deck	SW5
T6	FX-Transformer	600w	142w	Stairway to Lower Level	SW6

TRANSFORMER DETAIL

TRANS	Line	QTY	Fixture
T1	Line 1	3	MBP-LV
T2	Line 1	3	MBP-LV
T3	Line 1	3	MBP-LV
T3	Line 2	3	PO-LEDKD
T4	Line 1	3	MBP-LV
T4	Line 2	3	PO-LEDKD
T5	Line 1	3	MBP-LV
T6	Line 1	4	MBP-LV
T6	Line 2	7	PO-LEDKD

NOTE: Transformer shall have photocell and motion control options

Michelle Comeau Design and Consulting
Landscape Design
Landscape 2020

I, Michelle Comeau, certify that this landscape and irrigation plan complies with all County Landscape Regulations and the use of low flow water conserving irrigation fixtures.

Michelle Comeau
Michelle Comeau

Michelle Comeau
Landscape Design
&
Installation

P.O. Box 6927
Carmel, Ca. 95021
P: 408-420-0111
F: 408-420-0105
michelle@comdesign.com

Jarve Residence
Scenic 1 S/E of 9th.
Carmel-By-The-Sea, Ca. 93921
A.P.N.: 010-302-015

Landscape Plan Prepared For:

Sheet Title:
Notes

Date: 9.15.14

Scale: No Scale

Drawn By: GM

Revised: 9.24.14
9.23.14

Sheet: L-3
of 3



RENDERING - SCENIC ROAD

REVISION	No.

CONSULTANT:



ERIC MILLER ARCHITECTS, INC.

167 GRAND 16th 108 PACIFIC GROVE, CA 93950
 PHONE (818) 272-6118 • FAX (818) 272-7860 • WEB: www.ericmillerarchitects.com

ARCHITECT

RENDERING

JOB NAME: Jarve Residence
 Scenic 1 S/E of 9th,
 Carmel-by-the-Sea, CA 93921
 A.P.N. : 010-802-015

DATE:	7/24/14
SCALE:	N.T.S.
DRAWN:	ES
JOB NUMBER:	010

A-7.1
 SHEET OF



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

November 12, 2014

To: Chair Reimers and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director *RM*

Submitted by: Marc Wiener, Senior Planner

Subject: Consideration of Final Design Study (DS 14-64) and associated Coastal Development Permit application for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District

Recommendation:

Approve the Final Design Study (DS 14-64) and the associated Coastal Development Permit subject to the attached findings and conditions

Application:	DS 14-64	APN:	010-275-008
Location:	Camino Real 2 NW of 11 th Ave		
Block:	Q	Lot:	17
Applicant:	Eric Miller, Architect	Property Owner:	Martha Webster

Background and Project Description:

The project site is located on Camino Real two parcels northwest of Eleventh Avenue. The site is developed with a 737-square foot one-story residence, and includes a 160-square foot detached garage located at the rear southwest corner of the property. A Determination of Historic Ineligibility was issued by the Community Planning and Building Department on June 24, 2014.

The applicant has submitted plans to expand the existing 737-square foot residence to 1,600 square feet, which includes the addition of a second story. The proposed residence would include 1,137 square feet on the ground level and 463 square feet on the upper level. The applicant is also proposing to expand the 160-square foot detached garage to 200 square feet.

With regard to finish materials, the proposed additions would include horizontal wood siding, steel windows, and a wood-shingle roof, all to match the finish materials on the existing residence. The 40-square foot garage addition would be clad with board and batten siding to match the existing garage siding material.

The Planning Commission reviewed this project on September 10, 2014, and continued it with a request for certain changes. In particular, the Planning Commission recommended that the applicant explore design options to mitigate the impact to the northern neighbor. The applicant has revised the design to address the recommendations made by the Planning Commission.

PROJECT DATA FOR THE RECONFIGURED 4,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	897 sf (22.4%)	1,800 sf (45%) 1,600 sf residence, 200 sf garage
Site Coverage	556 sf (13.9%)*	992 sf (24.8%)	556 sf (13.9%)
Trees (upper/lower)	3/1 trees (recommended)	0/5 trees	1/3 trees
Ridge Height (1 st /2 nd)	18 ft./24 ft.	14 ft.	14 ft./23 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	10. ft.	10 ft./18 ft.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	14 ft. 7 in	No Change
Composite Side Yard	10 ft. (25%)	12 ft. (30%)	No Change
Minimum Side Yard	3 ft.	2 ft. 9 in.	3 ft. (new addition)
Rear	3 ft. (1st-story) 15 ft. (2nd-story)	47 ft. 3 in.	34 ft. (new addition) 24 ft. (new deck)
*Includes a 4% bonus if 50% of all coverage is permeable or semi-permeable			

Staff analysis:

Previous Hearing: The following is a list of recommendations made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The applicant shall explore design options to mitigate the impact to the northern neighbor.*

Analysis: At the September 2014 Planning Commission meeting, the adjacent neighbors to the north, Sara and James Jungroth, expressed concern that the proposed second-story addition would impact their solar access and privacy, and they requested that the addition be re-designed. The Commission acknowledged that the previous design would have some impact on the Jungroth property, but indicated that it was not substantial. The Commission did not specifically require the applicant to re-design the project, but rather accepted the design concept with a motion for the applicant to explore design options to further mitigate the impact. The applicant has revised the design by shifting the second story 2 feet south. Staff notes that the two-story portion of the building originally had a 3-foot setback from the north property line, but would now have a 5-foot side-yard setback.

2. *The applicant shall include a note on the plan set that the north elevation bathroom window on the second story will include obscure glass for privacy.*

Analysis: The north elevation drawing on Sheet A3.1 of the plan set includes a note that the north-facing bathroom window will contain obscure glass.

3. *The applicant shall provide a landscape plan for final review that includes a provision for one new upper-canopy tree. The applicant shall submitted revised plans indicating the intent to retain the pittosporum tree at the rear of the property.*

Analysis: There is a large pittosporum tree at the rear of the property that the applicant originally proposed to remove. At the September 2014 meeting, the neighbor to the west requested that the tree be retained to provide privacy from the new two-story addition. The applicant provided testimony indicating that they were willing to preserve the tree. A revised landscape plan has been submitted indicating that the pittosporum tree will be preserved. A condition has been drafted regarding the preservation of this tree.

Staff notes that the site plan indicates that one new upper-canopy tree will be planted in the rear yard behind the residence, but does not specify the proposed type of tree. Furthermore, the landscape plan does not include a new upper-canopy tree. A condition has been drafted requiring the applicant to submit a revised landscape plan that includes the new upper-canopy tree and specifies the species of tree that will be planted.

4. *The applicant shall revise the parking design to construct the 40-square foot addition at the rear of the garage prior to final Planning Commission review.*

Analysis: The applicant is proposing a 40-square foot addition to the detached garage to provide a conforming 200-square foot parking space. In the original proposal the addition was at the front of the garage. However, staff noted that the proposed addition would be too close to an oak tree and recommended that it be constructed at the rear of the garage. The applicant has revised the design to comply with this requirement.

Exterior Lighting: With regard to wall-mounted light fixtures, Municipal Code Section 15.36.070.B.1 states that fixtures shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture. The applicant depicts the proposed wall-mounted lights on the elevation drawings and on the floor plan. The applicant is proposing three types of light fixtures, as shown in the pictures on Sheet A-2.3 of the plan set. The bulb types are identified and each has a lumen level of 360 lumens.

With regard to landscape lighting, Municipal Code Section 15.36.070.B.2 states that Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. A landscape lighting plan is shown on Sheet L-2 of the plan set. The plan indicates that the light fixtures meet the wattage requirements; however, some of the fixtures are spaced closer than 10 feet from each other. A condition has been drafted requiring the applicant to address this issue.

Public ROW: The City Right-of-Way (ROW) at the front of the property is approximately 14 feet wide between the front property line and edge of pavement along Camino Real. It is unpaved and appears natural. However, there are existing encroachments in the ROW such as the front fence, a wood planter, and a stone wall. Sheet A-1.1 of the plan set includes a note that the encroachments will be removed. A condition has been drafted regarding the encroachments.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 903-square foot addition an existing 737-square foot residence and 160-square foot garage, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans

Attachment A – Site Photographs



Project site – Facing west on Camino Real



Project site – Facing south from Jungroth rear deck (original story-poles with 3-foot setback)



Project Site – Front of residence facing west



Project Site – Rear of residence facing east

Attachment B – Findings for Approval

DS 14-64 (Webster)
 November 12, 2014
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

<p>8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.</p>	<p>✓</p>	
<p>9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.</p>	<p>✓</p>	
<p>10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.</p>	<p>✓</p>	
<p>11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.</p>	<p>✓</p>	
<p>12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.</p>	<p>✓</p>	
<p>Coastal Development Findings (CMC 17.64.B.1):</p>		
<p>13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.</p>	<p>✓</p>	

Attachment C – Conditions of Approval

DS 14-64 (Webster)
 November 12, 2014
 Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 14-64) authorizes: 1) a 863-square foot addition to an existing 737-square foot residence, which includes 400 square feet added to the ground level and a new 463-square foot upper level, 2) addition of 40 square feet to an existing 160-square foot detached garage, 3) the removal of 436 square feet of site coverage, and 4) the removal of encroachments from the City Right-of-Way as depicted on the November 12, 2014 approved plans.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester	✓

	may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	N/A
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise	✓

	superficially applied, are not permitted.	
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A

19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	N/A
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Special Conditions		
22.	The applicant shall plant and maintain one new upper-canopy tree of substantial size and caliber and of a species approved by the City Forester. The location, size, and species of this tree shall be noted on a revised landscape plan, and this plan shall be submitted with the Building Permit application plan set. Prior to issuance of the Certificate of Occupancy the trees shall be planted on site located approximately 10 feet from any building.	✓
23.	The pittosporum tree located at the rear of the property shall be maintained and preserved by the property owner.	✓
24.	Prior to final building inspection, the applicant shall remove 436 square feet of site coverage from the property as indicated on the November 12, 2014, approved plan set.	✓
25.	The landscape lighting plan shall be revised so that all landscape lighting is spaced 10 feet or more apart. The changes shall be included on the construction plan set.	
26.	Prior to final building inspection, the applicant shall remove the existing encroachments from the City ROW including portions of the front fence, a wood planter, and a stone wall.	✓

***Acknowledgement and acceptance of conditions of approval.**

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

Webster Residence Renovation

Camino Real 2 NW of 11th Avenue
Carmel, California 93921

RECEIVED

OCT 17 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

REVISION	No.
PC CONDITIONS 10-13-14	△

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
157 GRAND PACIFIC GROVE, CA 93950
PHONE (81) 372-0410 • FAX (81) 372-1940 • WEB: www.ericmillerarchitects.com

ARCHITECT

TITLE SHEET
JOB NAME: Webster Residence
Camino Real 2 NW of 11th Avenue
Carmel, California
APN 010-275-008-000

DATE: 8-8-14
SCALE: AS NOTED
DRAWN: AD
JOB NUMBER: 13.23

A0.1
SHEET OF

ABBREVIATIONS

(E)EXISTING
(N)NEW

OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

1. TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWINGS RELATED.

2. THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.

3. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.

4. IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

PROJECT TEAM

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831-620-0111 FAX: 831-620-0105
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SHEET INDEX

ARCHITECTURAL

A0.1 TITLE SHEET
1 OF 1 TOPOGRAPHIC M&P
1 OF 1 STREET PROFILE
A1.1 EXISTING SITE DEMOLITION PLAN
A1.2 PROPOSED SITE PLAN

A2.0 EXISTING PLANS
A2.1 DEMOLITION PLANS
A2.2 PROPOSED FLOOR PLANS
A2.3 NEW ROOF PLAN / LIGHTS SCHEDULE
A2.4 EXISTING GARAGE PLANS & EXTERIOR ELEVATIONS

A3.0 EXISTING EXTERIOR ELEVATIONS
A3.1 PROPOSED EXTERIOR ELEVATIONS
A3.2 PROPOSED EXTERIOR ELEVATIONS

A4.1 DOOR & WINDOW SCHEDULES

LANDSCAPE

L-1 LANDSCAPE PLAN
L-2 HARDSCAPE / IRRIGATION PLAN

PROJECT DESCRIPTION

THE EXISTING STRUCTURE IS A ONE STORY, ONE BEDROOM AND ONE BATHROOM RESIDENCE THAT HAS 737 SQ FT. ALSO, THERE IS A DETACHED GARAGE IN THE BACK YARD OF 160 SQ FT. THE RESIDENCE HAS CONSTRUCTED IN 1930 AND HAS NO HISTORIC SIGNIFICANCE.

THE EXTERIOR FINISHES ARE WOOD SIDING, WOOD SHINGLE ROOFING AND STEEL WINDOWS AND WOOD ENTRY DOOR. TWO FR. SASH DOORS ACCESSING WOOD DECK IN THE BACK OF THE HOUSE / RE VINYL CLAD DOORS. THESE DOORS WERE PART OF RENOVATION THAT HAS NOT RECORDED WITH THE CITY. CHIMNEY IS FINISHED WITH BRICK VENEER. THE GARAGE CONSIST OF THE SAME MATERIALS AS THE HOUSE. THE HOUSE IS WOOD-FR./MED. CROSS-GABLED MINIMAL TRADITIONAL STYLE RESIDENCE. IRREGULAR IN PLAN, RESTING ON A CONCRETE FOUNDATION.

RENOVATION CONSISTS OF 400 SQ FT ADDITION TO FIRST FLOOR, 463 SQ FT ADDITION TO SECOND FLOOR AND 40 SQ FT TO GARAGE. THE TOTAL ADDITION IS 903 SQ FT. ALSO INCLUDED IS AN INTERIOR RENOVATION FOR THE REST OF THE HOUSE. NEW WOOD DECKS ARE PROPOSED FOR BOTH FLOORS, ONE IN THE BACK (WEST) YARD ON THE FIRST FLOOR, AND ANOTHER ONE ON THE SECOND FLOOR FACING SOUTH (LEFT) SIDE YARD. THE PROPOSED RENOVATED RESIDENCE AND GARAGE SIZE IS 1,800 SQ FT.

PROJECT DATA

LOT SIZE: 4,000.0 S.F.
ZONING: R-1
A.P.N.: 010-275-008-000
ADDRESS: BLOCK: Q LOT: 17
OCCUPANCY GROUP: (R-3) FOR HOUSE (U) FOR GARAGE
TYPE OF CONSTRUCTION: (V-B)

EXISTING FLOOR AREA

(E) FIRST FLOOR	737 SF	
(E) GARAGE	160 SF	
(E) SIZE & F.A.R.	897 SF	22%

PROPOSED ADDITION

GARAGE ADDITION	40 SF	
FIRST FLOOR ADDITION	400 SF	
SECOND FLOOR ADDITION	463 SF	
TOTAL FLOOR ADDITION	903 SF	23%

PROPOSED NEW FLOOR AREA

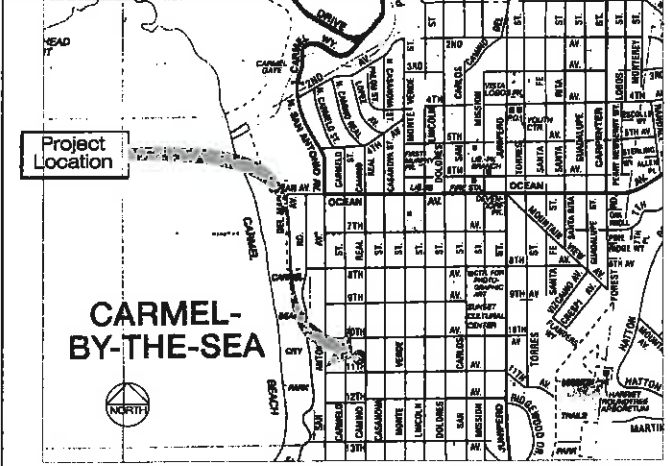
FIRST FLOOR	1,137 SF	
GARAGE	200 SF	
SECOND FLOOR	463 SF	
PROPOSED (N) FLR AREA TOTAL	1,800 SF	45%

SITE CONSIDERATIONS	ALLOWED	EXISTING	PROPOSED
FLOOR AREA	1,800 SF (45%)	897 SF (22%)	1,800 SF (45%)
SITE COVERAGE	396 SF (10%) *	992 SF (25%)	556 SF (14%)
	160 SF BONUS (4%)**		
BUILDING HEIGHT	24'	14'	24' MAX
SETBACK	MIN. REQUIRED	EXISTING	PROPOSED
FRONT	15'	14'-8 3/4"	N/A
REAR	15'	4'-3 1/2"	34'
COMPOSITE SIDE YARD	10' (25%)	12' (30%)	12' (30%)
MINIMUM SIDE YARD	3'	2'-10 3/4"	3'-0 3/4"

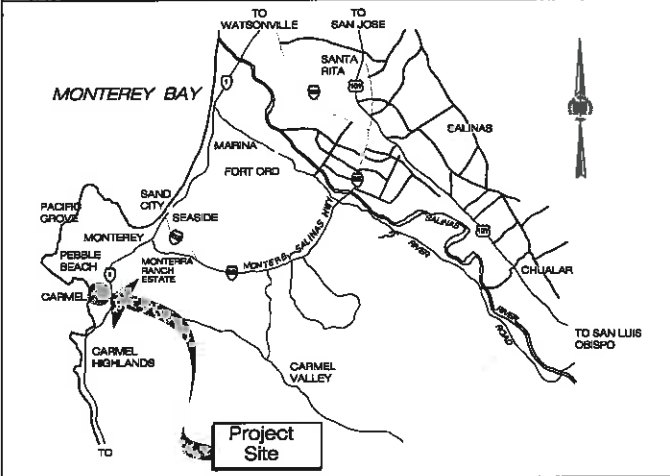
* 22% OF BASE FLOOR AREA OR APPROXIMATELY 10% OF SITE AREA
** TOTAL SITE COVERAGE ALLOWED = 556 SF (SEE A1.2 FOR SITE COVERAGE SUMMARY)

BUILDING FOOTPRINT	1,137 SF
GARAGE FOOTPRINT	200 SF
SITE COVERAGE	556 SF
BLDG./SITE COVERAGE TOTAL	1,893 SF 47%
OPEN SPACE TOTAL	2,107 SF 53%

LOCATION MAP

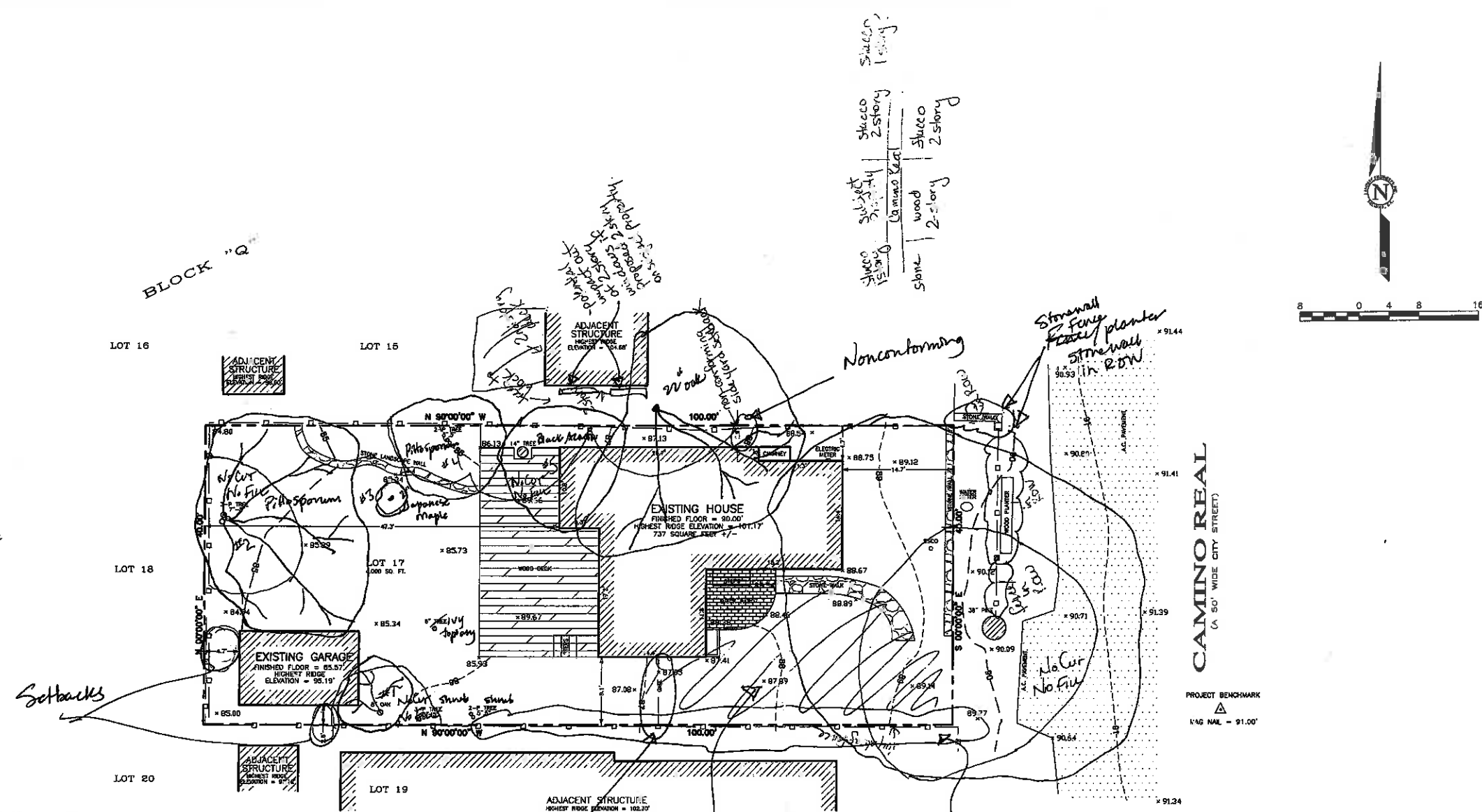


VICINITY MAP



Vellum Original

C:\Users\jml\Documents\1323232323.dwg, 10/17/2014 11:23:44 AM



PRELIMINARY SITE AGREEMENT
 CLIENT: Webster
 DATE: 5/7/14 CA 14-08

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS A MAG NAIL IN THE A.C. PAVEMENT ON THE EASTERLY SIDE OF CAMINO REAL, ACROSS FROM THE SOUTHERLY PROPERTY LINE, ELEVATION = 91.00', AS SHOWN.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE SIZES ARE MEASURED IN INCHES AT 3 FEET UP FROM THE BASE. TREES SMALLER THAN 4" ARE NOT SHOWN. MULTI PRONG TREES LABELED "X-P".
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (2/12/14) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER, OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

LEGEND:

-----	PROPERTY BOUNDARY LINE	[Pattern]	ASPHALT CONCRETE SURFACE
-----	MAJOR CONTOUR LINE (5' INTERVAL)	[Pattern]	WOOD DECK
-----	MINOR CONTOUR LINE (1' INTERVAL)	[Pattern]	STONE SURFACE
-----	WOOD FENCE	[Pattern]	BRICK SURFACE
○	SPOT ELEVATION		

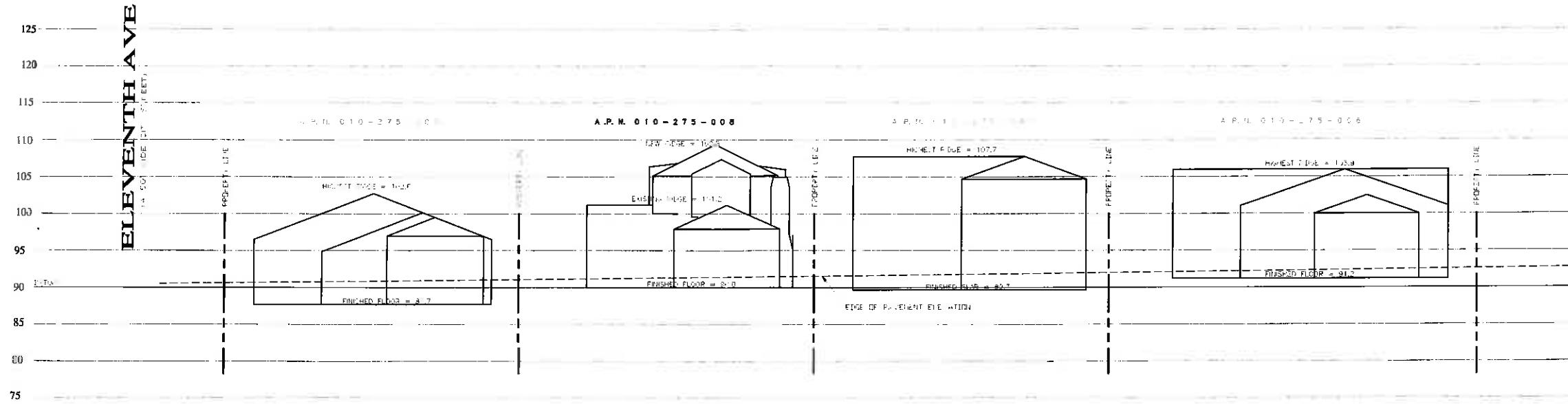
SITE LOCATION: CAMINO REAL 2 NW OF 11TH AVE. CARMEL-BY-THE-SEA, CA		City of Carmel-by-the-Sea Planning & Building Dept.	
OWNER: MARTHA WEBSTER CAMINO REAL 2 NW OF 11TH AVE. CARMEL-BY-THE-SEA, CA		SCALE: 1"=8'	
DATE: FEBRUARY 2014		JOB NO. 1296-01	
SHEET 1		OF 1 SHEETS	
No.	DATE	BY	REVISION
	02/14/14	ZJK	RELEASED TO CLIENT

APPROVED BY: [Signature]
 CITY ENGINEER
 CITY OF CARMEL-BY-THE-SEA
 PALS. No. 8703

LANDSET
 ENGINEERS, INC.
 ENGINEERING - LAND PLANNING
 SURVEYING - ENVIRONMENTAL CONSULTING
 520-B CRAZY HORSE CANYON ROAD, SALINAS, CA 93907

APN 010-275-008
TOPOGRAPHIC MAP
 LOT 17 IN BLOCK "Q"
 VOL. 1 OF "CITIES AND TOWNS" AT PAGE 45 1/2
 CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
 FOR
 MS. MARTHA WEBSTER

RECEIVED
 APR 11 2014



CAMINO REAL - STREET PROFILE
SCALE: 1" = 8' HORIZONTAL, VERTICAL

SITE LOCATION:
CAMINO REAL 2 NW OF 11TH AVE.
CARMEL-BY-THE-SEA, CA

OWNER:
MARTHA WEBSTER
CAMINO REAL 2 NW OF 11TH AVE.
CARMEL-BY-THE-SEA, CA

APN 010-275-008

STREET ELEVATION - LOOKING WEST

LOT 17 IN BLOCK "Q"
VOL. 1 OF "CITIES AND TOWNS" AT PAGE 45 1/2
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
FOR
MS. MARTHA WEBSTER

SCALE: 1"=8'
DATE: AUGUST 2014
JOB NO. 1296-01

SHEET 1

OF 1 SHEETS

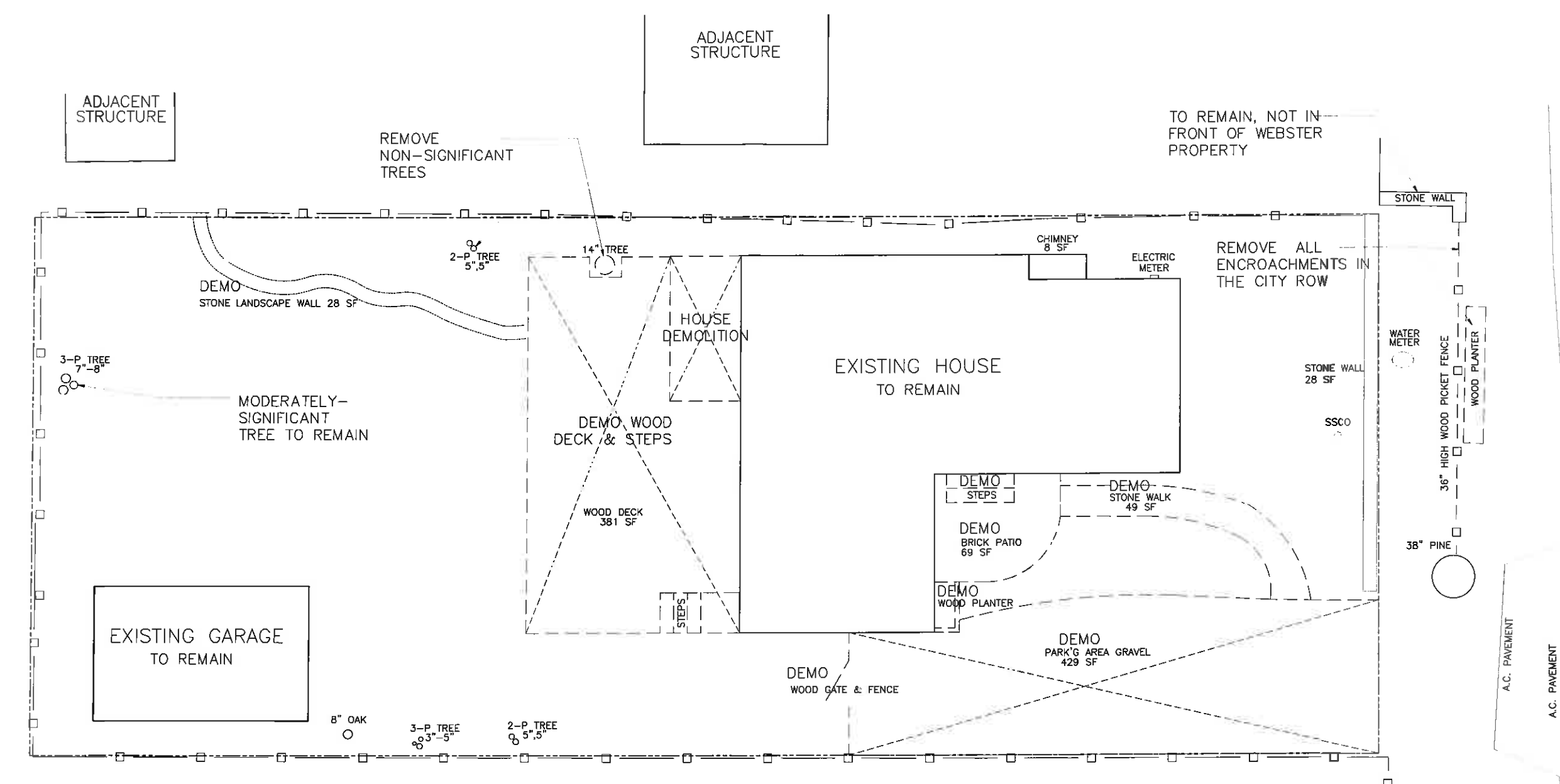
No.	DATE	BY	REVISION

LANDSET
ENGINEERS, INC.
ENGINEERING - LAND PLANNING
SURVEYING - ENVIRONMENTAL CONSULTING
50-B CRAZY HORSE CANYON ROAD, SUITE 101, CARMEL, CA 93907

APPROVED BY:
CITY R. GIRAUDO
P.L.S. No. 8703



REVISION	No.
PC CONDITIONS 10-13-14	△



CAMINO REAL
(A 50' WIDE CITY STREET)

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.

157 GRAND suite 106 PACIFIC GROVE, CA 93950
PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

ARCHITECT

(E) SITE DEMOLITION PLAN

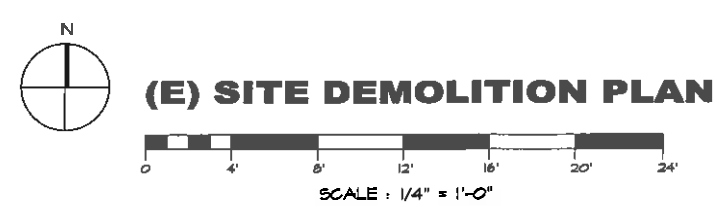
JOB NAME: Webster Residence
Camino Real 2 NW of 11th Avenue
Carmel, California
APN 010-275-008-000

DATE: 8-8-14
SCALE: AS NOTED
DRAWN: AD
JOB NUMBER: 13.23

A1.1
SHEET OF

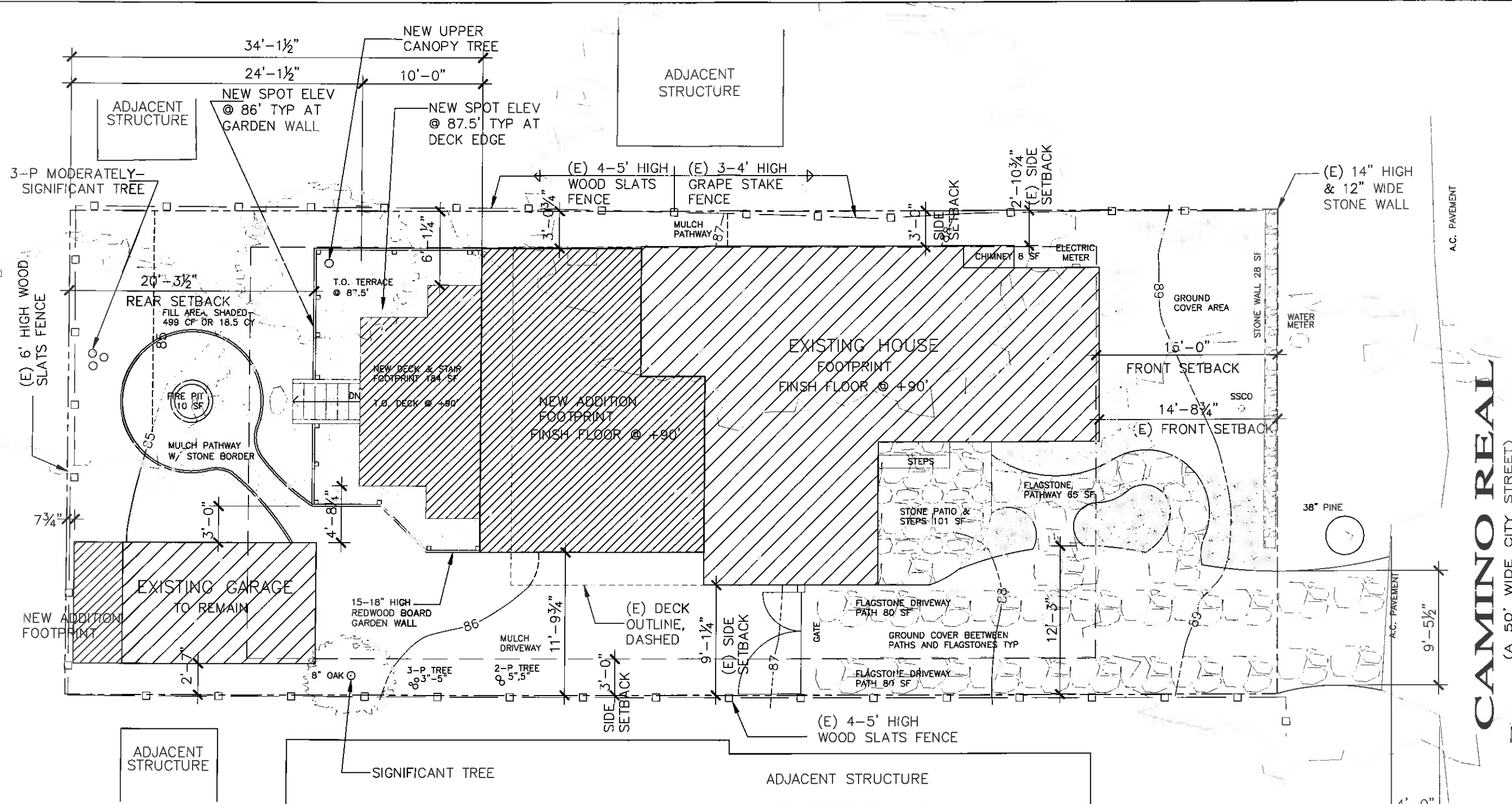
(E) SITE COVERAGE SUMMARY:

TO REMAIN-	
STONE WALL-FRONT YARD	28 SF
CHIMNEY	8 SF
TO REMAIN SUBTOTAL	36 SF
TO DEMO--	
STONE WALL-REAR YARD	28 SF
STONE WALK	49 SF
BRICK PATIO	69 SF
WOOD DECK & STAIR	381 SF
GRAVEL DRIVEWAY	429 SF
TO DEMO SUBTOTAL	956 SF
TOTAL (E) SITE COVERAGE	992 SF



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REVISION	No.
PC CONDITIONS 10-13-14	▲



SITE COVERAGE SUMMARY:

(E) TO REMAIN-	
STONE WALL-FRONT YARD (IMP)	28 SF
CHIMNEY (IMP)	8 SF
TO REMAIN SUBTOTAL	36 SF
NEW ITEMS-	
FLAGSTONE PATHWAY (S-P)	65 SF
FLAGSTONE DRIVEWAY PATHS (S-P)	160 SF
STONE PATIO (IMP)	101 SF
WOOD DECK & STAIR (PER)	184 SF
FIRE PIT	10 SF
NEW ITEMS SUBTOTAL	520 SF

TOTAL SITE COVERAGE	556 SF
ALLOWED 396 SF+160 SF(BONUS) =	556 SF
TOTAL (PER) & (S-P) COVERAGE =	249 SF
(BEFORE BONUS)	
OR 64% OF ALLOWED SITE COVERAGE-	396 SF
(PER) - PERVIOUS	
(IMP) - IMPERVIOUS	
(S-P) - SEMI-PERVIOUS	
FILL QUANTITY =	18.5 CY (SEE SHADED AREA)
CUT QUANTITY =	0 CY

LEGEND :

- NEW CONTOUR LINE (dashed line)
- EXISTING CONTOUR LINE (solid line)
- REMOVED CONTOUR LINE (dotted line)

PROPOSED SITE PLAN

SCALE: 1/4" = 1'-0"

0 4' 8' 12' 16' 20' 24'

CAMINO REAL
(A 50' WIDE CITY STREET)

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.

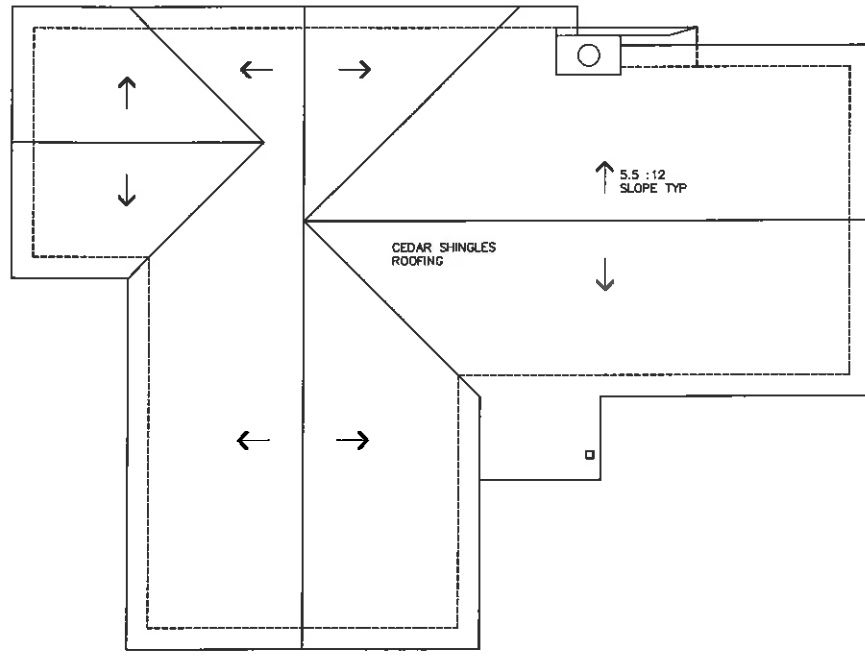
157 GRAND #SUITE 108 PACIFIC GROVE, CA 93950
PHONE (831) 972-0410 • FAX (831) 972-1640 • WEB: www.ericmillerarchitects.com

PROPOSED SITE PLAN

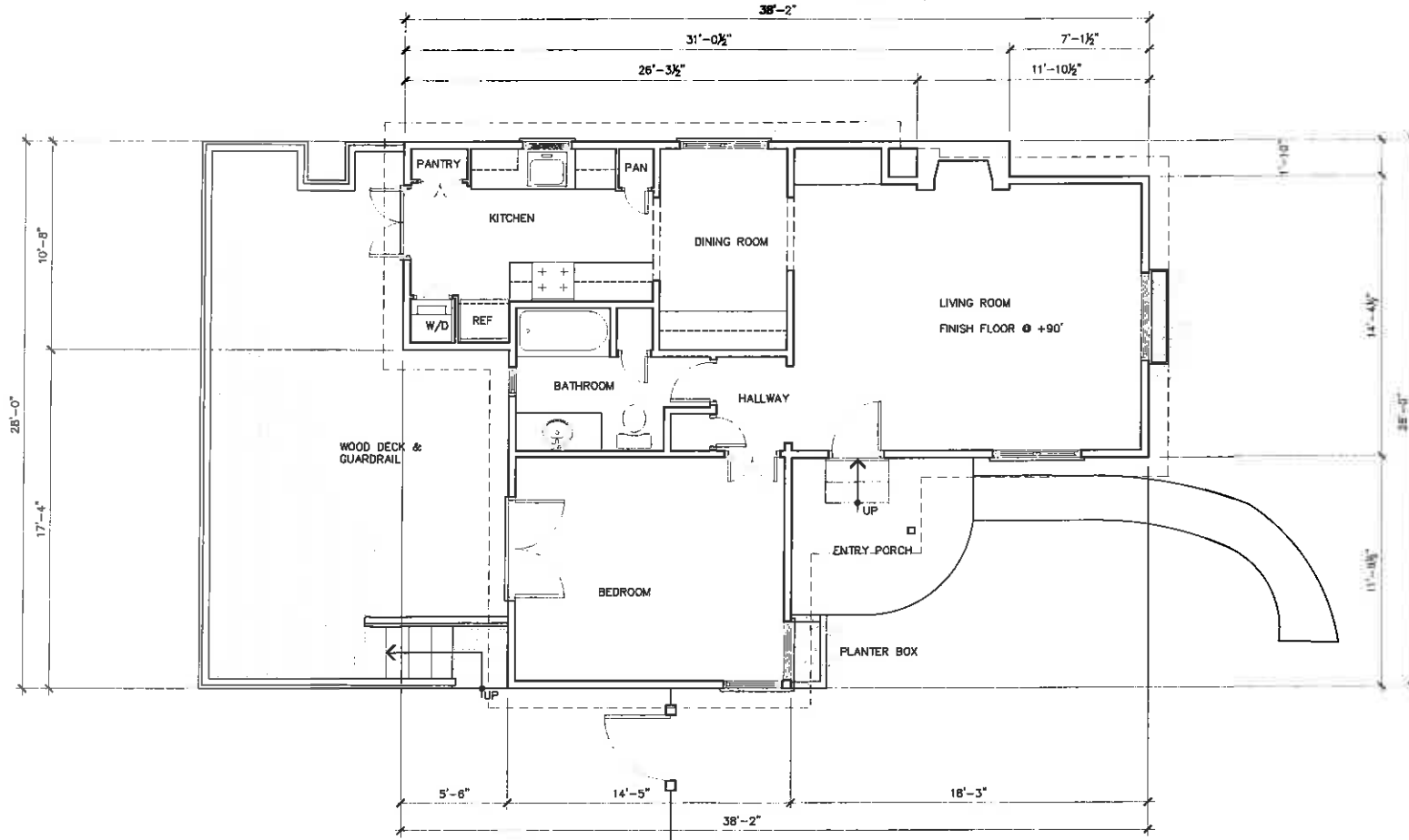
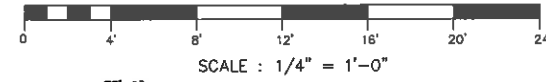
JOB NAME: Webster Residence
Camino Red 2 NW of 11th Avenue
Carmel, California
APN 010-275-008-000

DATE: 8-8-14
SCALE: AS NOTED
DRAWN: AD
JOB NUMBER: 13.23

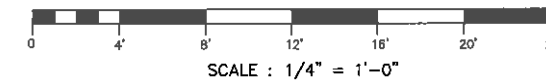
A1.2
SHEET OF



EXISTING ROOF PLAN



EXISTING FLOOR PLAN



REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 Suite 106
 157 GRAND PACIFIC GROVE, CA 93950
 PHONE (851) 372-0410 • FAX (851) 372-7840 • WEB: www.ericmillerarchitects.com

EXISTING PLANS
 JOB NAME: Webster Residence
 Camino Real 2 NW of 11th Avenue
 Carmel, California
 APN 010-275-008-000

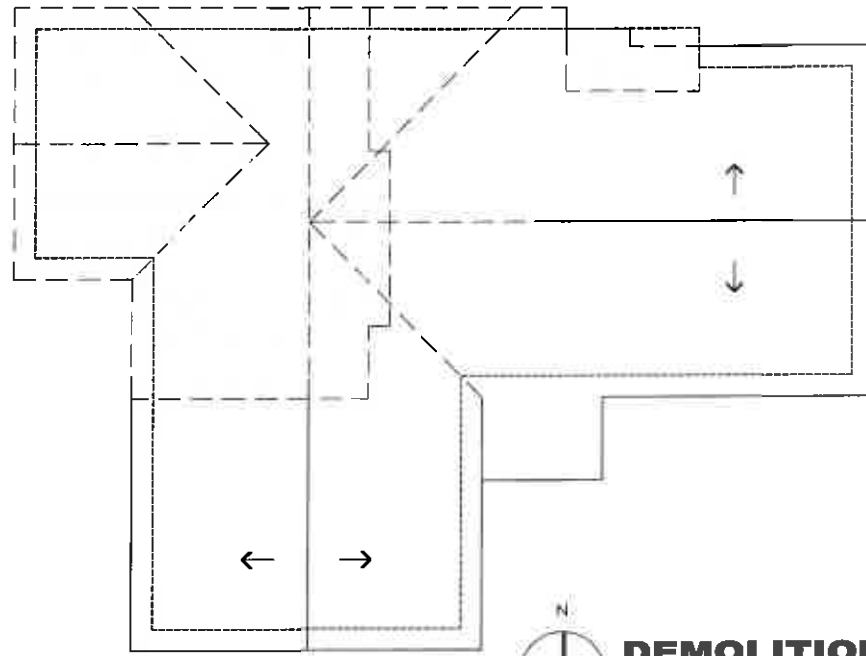
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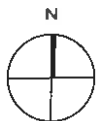
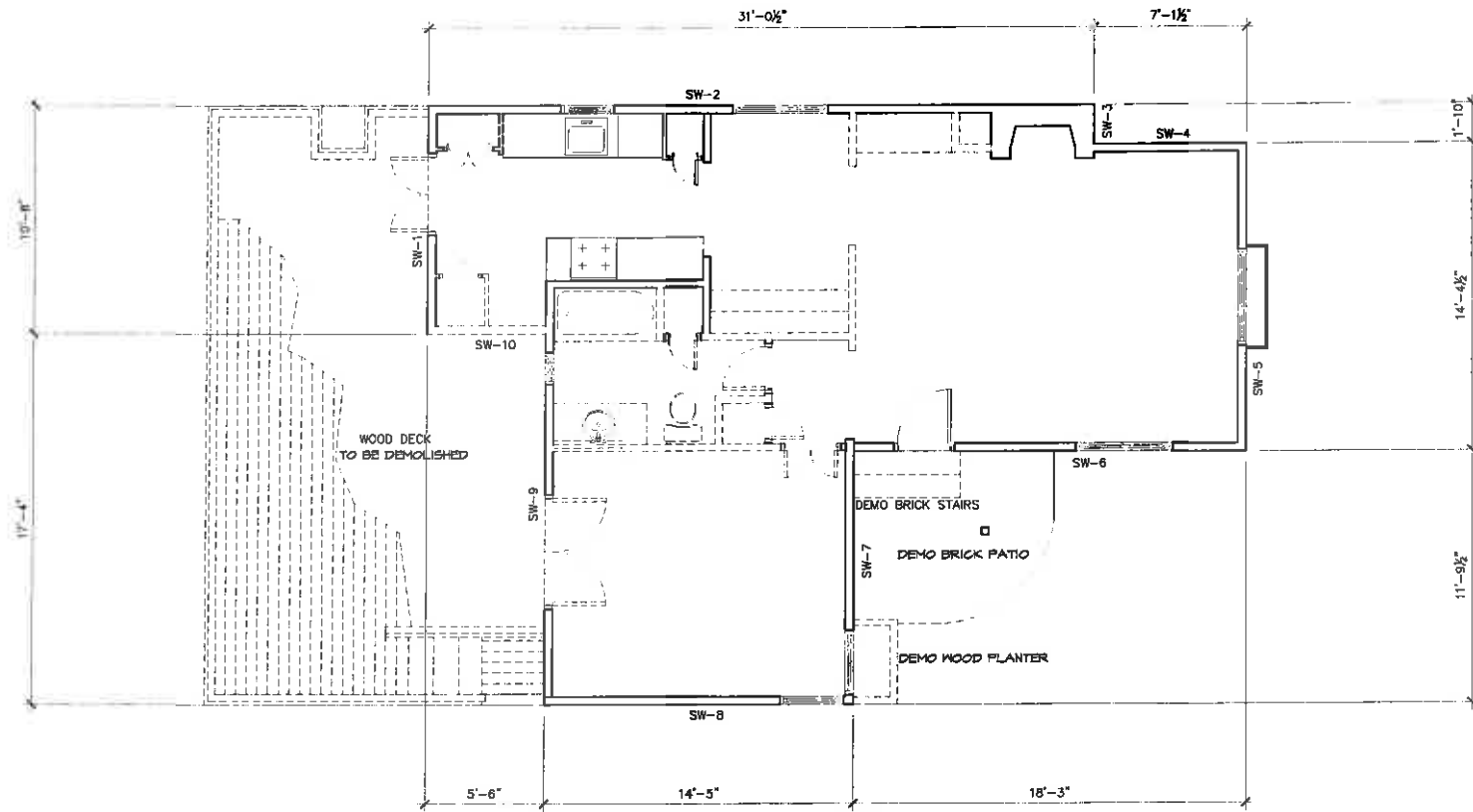
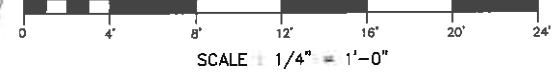
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JOB NUMBER: 13.23

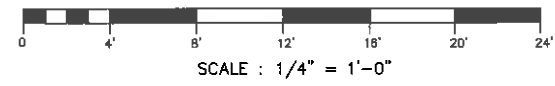
A2.0
 SHEET OF



DEMOLITION ROOF PLAN



DEMOLITION FLOOR PLAN



STRUCTURAL WALL DEMOLITION DATA
 LENGTH OF WALLS TO REMAIN, SW-1 TO SW-9 = 126'-10"
 LENGTH OF WALLS TO DEMOLISH, SW-10 = 5'-6"
 OR 4%

LEGEND

- EXISTING WALL TO REMAIN
- DEMO WALLS DOORS & MISC.
- ROOF DEMO

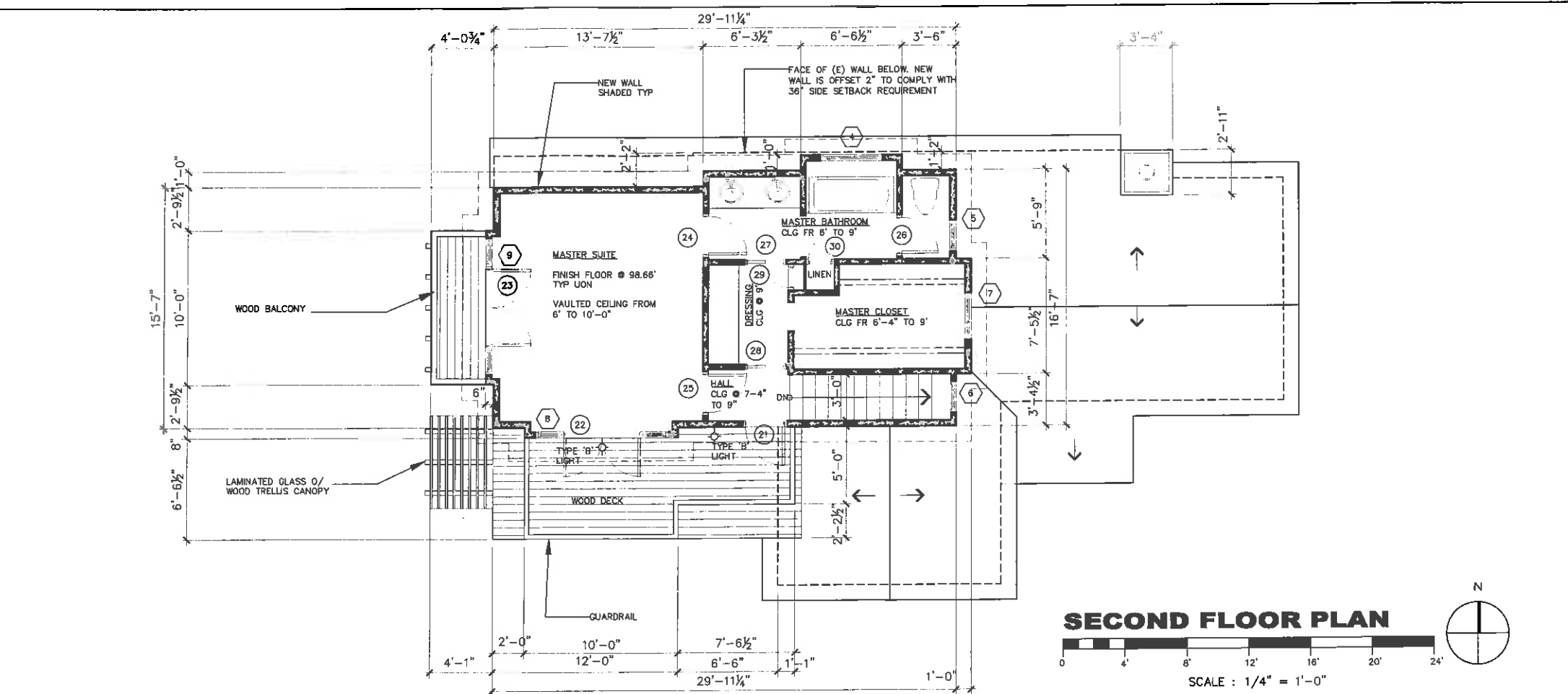
REVISION	No.

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 157 GRAND AVENUE, SUITE 105, PACIFIC GROVE, CA 93950
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

DEMOLITION PLANS
 JOB NAME: Webster Residence
 Camino Real 2 NW of 11th Avenue
 Carmel, California
 APN 010-275-008-000

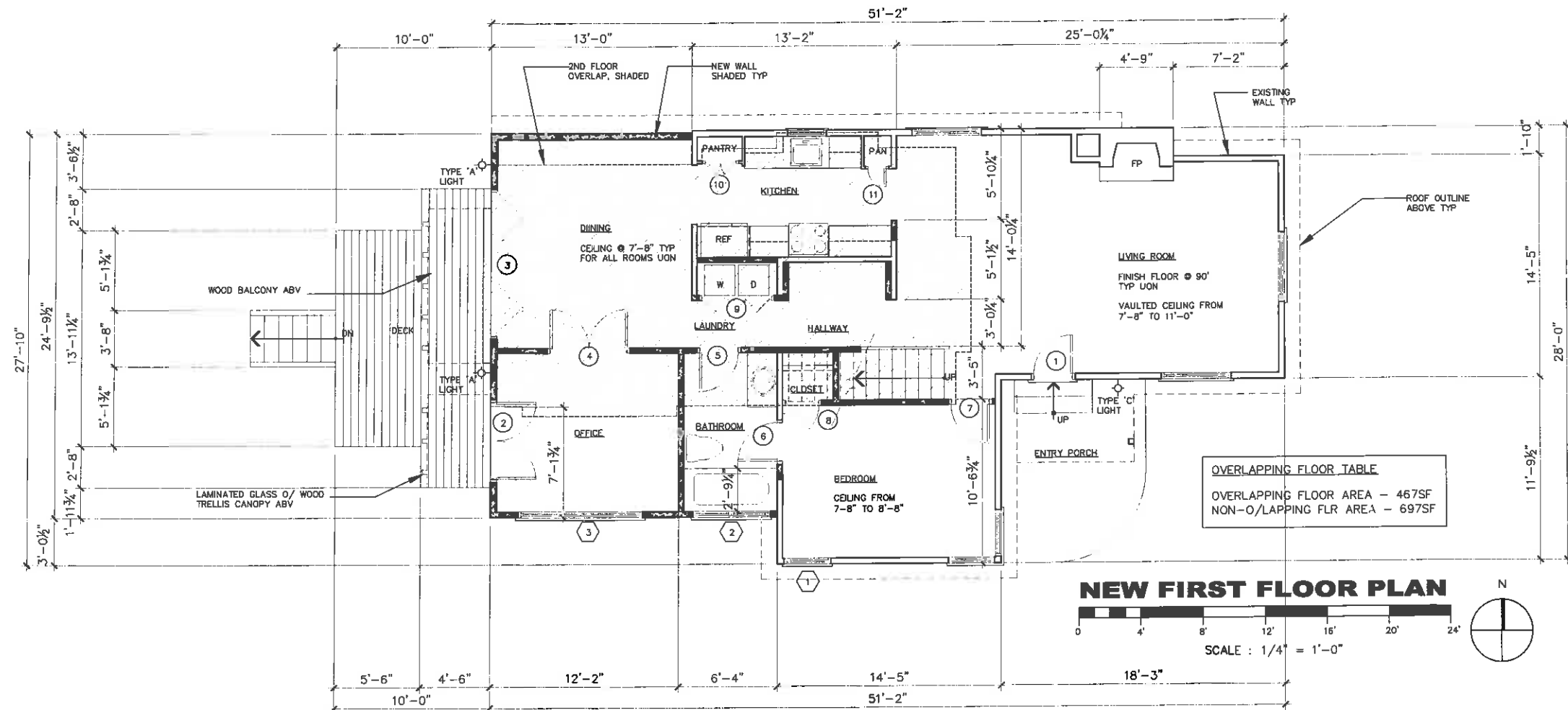
DATE: 8-8-14
 SCALE: AS NOTED
 DRAWN: AD
 JOB NUMBER: 13.23

A2.1
 SHEET OF



SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"



NEW FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

REVISION	No.
PC CONDITIONS 10-15-14	1

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 157 GRAND suite 105 PACIFIC GROVE, CA 93950
 PHONE (831) 972-0410 • FAX (831) 972-7640 • WEB: www.ericmillerarchitects.com

ARCHITECT

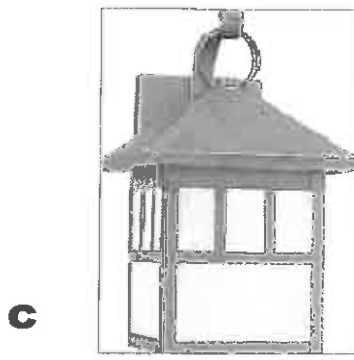
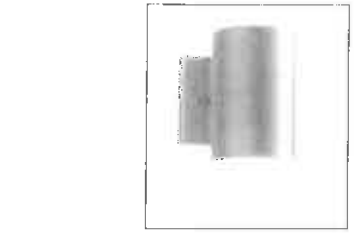
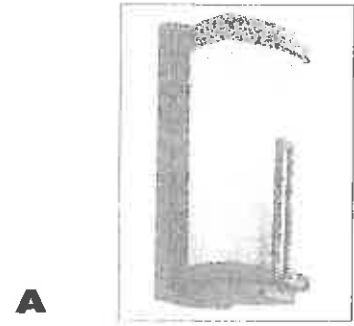
PROPOSED FLOOR PLANS

JOB NAME: Webster Residence
 Camino Real 2 NW of 11th Avenue
 Carmel, California
 APN 010-275-008-000

DATE: 8-8-14
 SCALE: AS NOTED
 DRAWN: AD
 JOB NUMBER: 13.23

A2.2
 SHEET OF

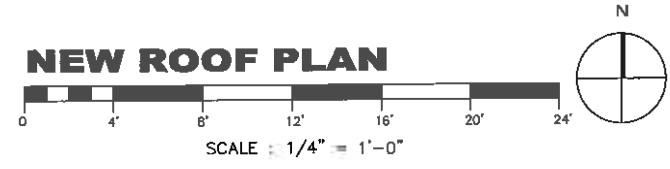
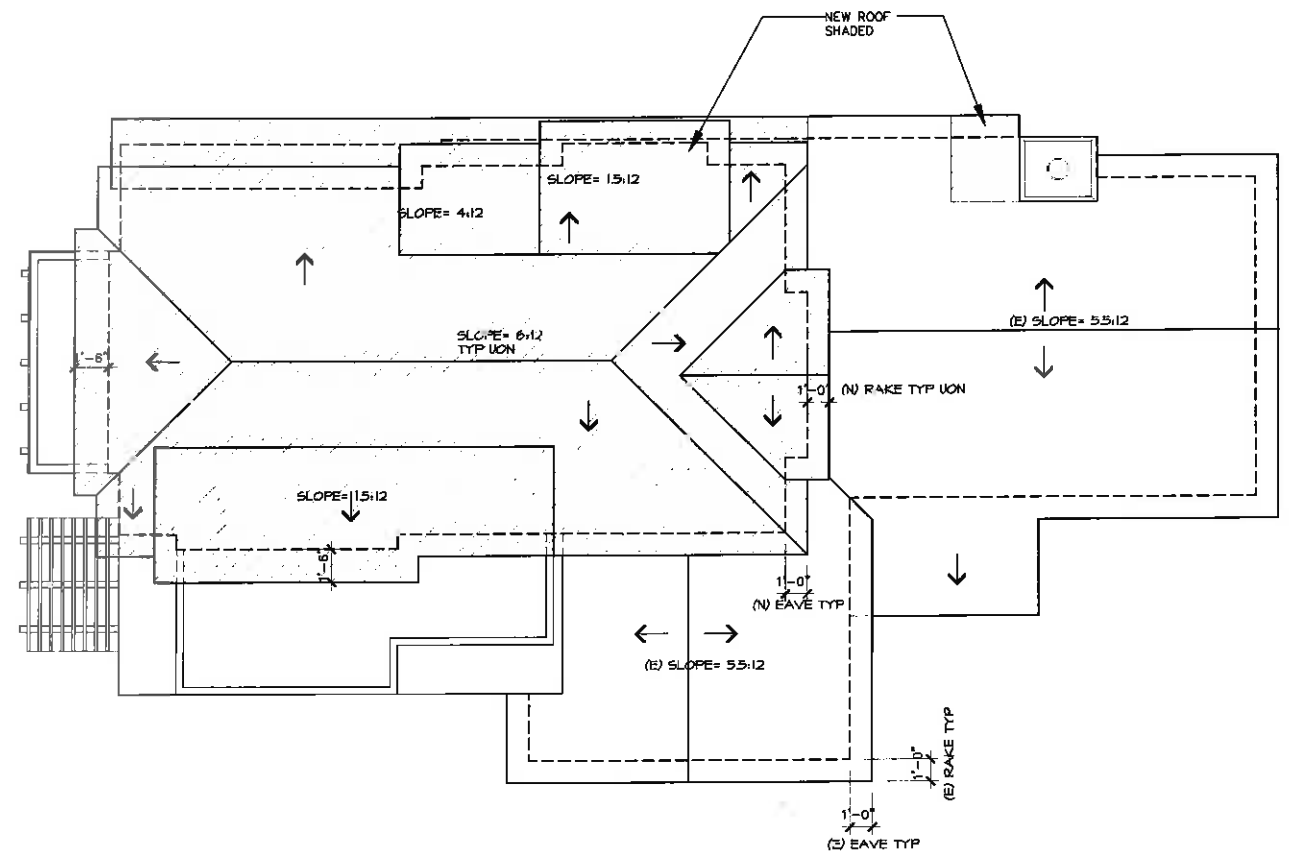
LIGHT FIXTURE TYPES



LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	LAMPS	MANUFACTURER
A	FLUORESCENT OUTDOOR WALL LANTERN, ANVIL IRON WITH /SATIN-ETCHED CASED OPAL GLASS, 6"W x 12.5"H x 5"D	(1) 6W CFL	KICHLER LIGHTING 49110AVI FL 360 LUMENS
B	WALL DOWNLIGHT LED WITH TEXTURED ARCHITECTURAL BRONZE FINISH 5"W x 7"H x 6.5"D	(1) 6W LED	KICHLER LIGHTING 111250 AZT 360 LUMENS
C	PRAIRE STATEMENT FLUORESCENT WALL SCONCE 10"W X 16.25"H X 10.75"D ANTIGUE BRONZE FINISH FRAME WITH CHAMPAGNE OPAL-ESCENT GLASS	(1) 6W CFL	SEAGULL LIGHTING PRAIRE STATEMENT 89017E-71 360 LUMENS

NOTE: SEE SHEET A2.2, A3.1 AND A3.2 FOR FIXTURE LOCATIONS

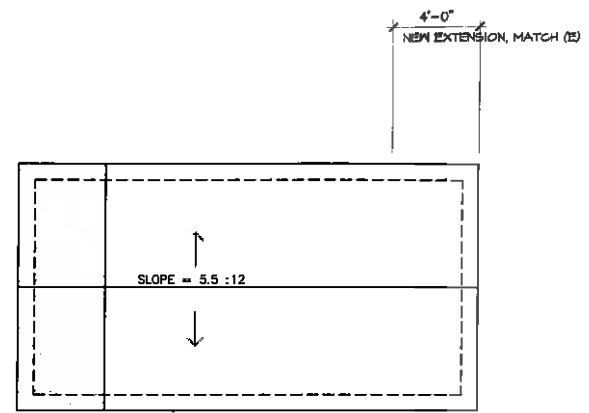


Half-Size on 12x18

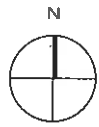
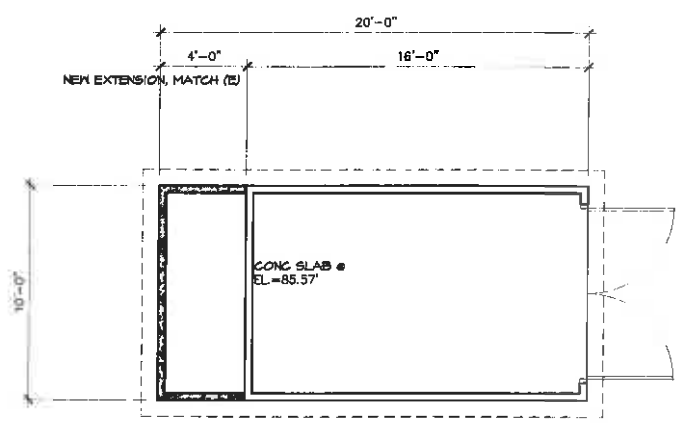
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<p>REVISION</p> <p>PC CONDITIONS 10-15-14</p>	<p>No.</p>
<p>CONSULTANT:</p>	
<p>ARCHITECT</p> <p>ERIC MILLER ARCHITECTS, INC.</p> <p>157 GRAND AVENUE SUITE 105 PACIFIC GROVE, CA 93950 PHONE (831) 372-0410 • FAX (831) 372-7640 • WEB: www.ericmillerarchitects.com</p>	
<p>NEW ROOF PLAN / LIGHTS SCHEDULE</p> <p>JOB NAME: Webster Residence Camino Real 2 NW of 11th Avenue Carmel, California APN 010-275-008-000</p>	
<p>DATE: 8-8-14</p> <p>SCALE: AS NOTED</p> <p>DRAWN: AD</p> <p>JOB NUMBER: 13.23</p>	
<p>A2.3</p> <p>SHEET OF 183</p>	

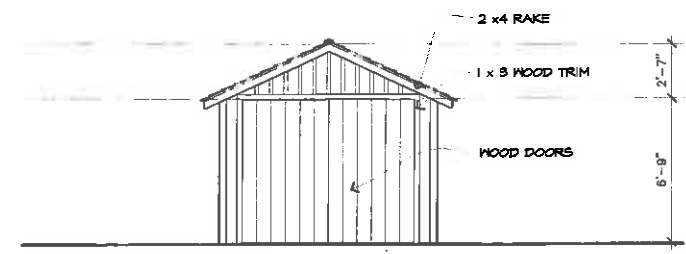
REVISION	No.
PC CONDITIONS 10-19-14	△



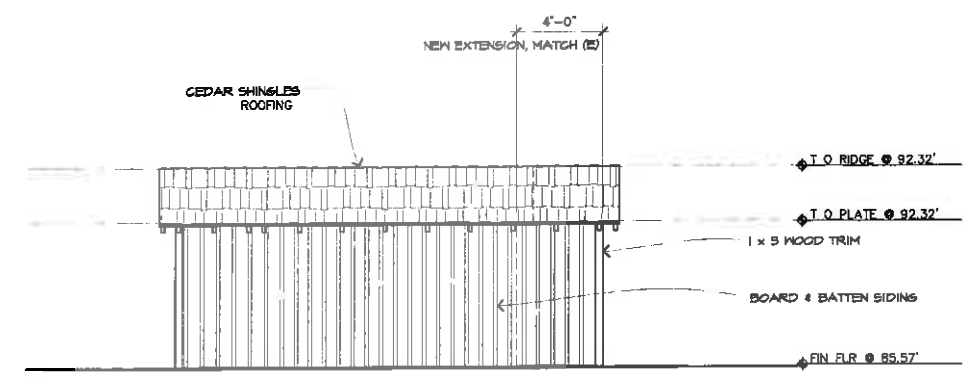
ROOF PLAN



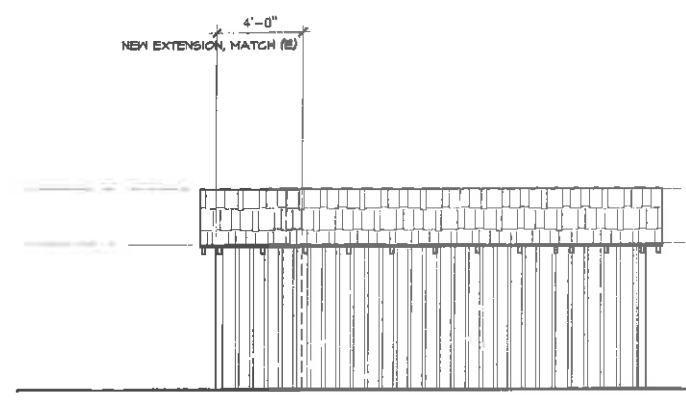
FLOOR PLAN



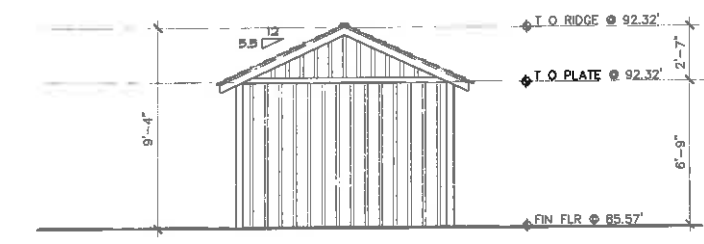
FRONT / EAST



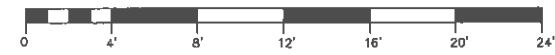
RIGHT SIDE / NORTH



LEFT SIDE / SOUTH



REAR / WEST



SCALE : 1/4" = 1'-0"

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.

157 GRAND suite 108 PACIFIC GROVE, CA 93950
PHONE (81) 372-0410 • FAX (81) 372-1640 • WEB: www.ericmillerarchitects.com

(E) GARAGE PLANS & EXT ELEV

JOB NAME: Webster Residence
Camino Real 2 NW of 11th Avenue
Carmel, California
APN 010-275-008-000

DATE:	8-8-14
SCALE:	AS NOTED
DRAWN:	AD
JOB NUMBER:	13.23

A2.4
SHEET 07

REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

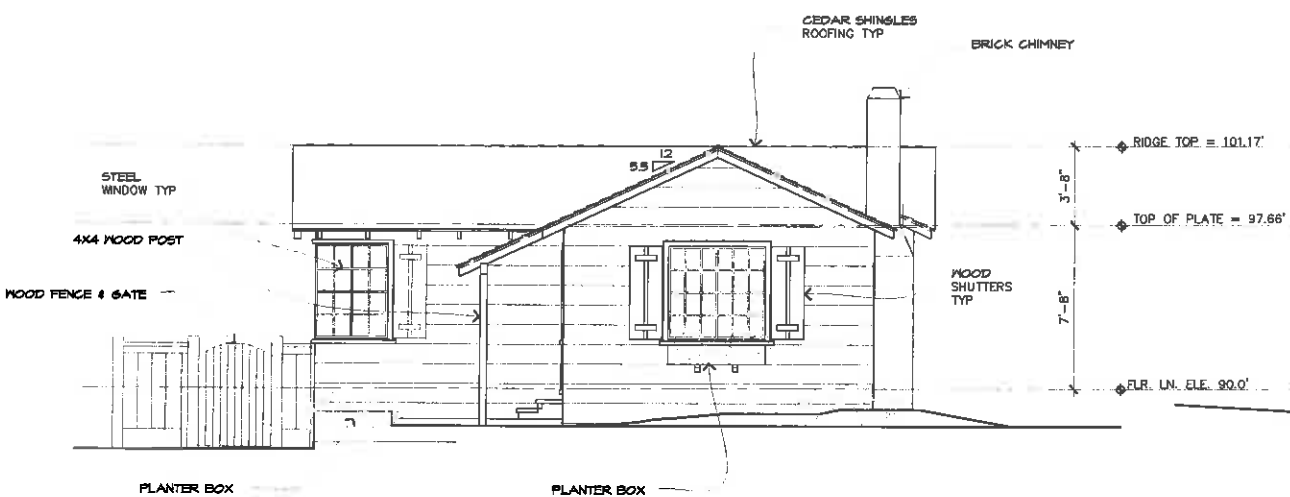
157 GRAND AVENUE SUITE 106 PACIFIC GROVE, CA 93950
 PHONE (817) 372-0410 • FAX (817) 372-7840 • WEB: www.ericmillerarchitects.com

(E) EXTERIOR ELEVATIONS

JOB NAME: Webster Residence
 Camino Real 2 NW of 11th Avenue
 Carmel, California
 APN 010-275-008-000

DATE: 8-8-14
 SCALE: AS NOTED
 DRAWN: AD
 JOB NUMBER: 13.23

A3.0
 SHEET OF



FRONT / EAST ELEVATION



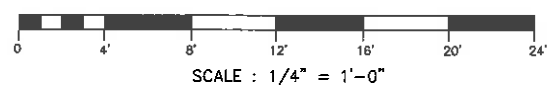
RIGHT SIDE / NORTH ELEVATION



REAR / WEST ELEVATION



LEFT SIDE / SOUTH ELEVATION



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Half-Size on 12x18

REVISION	No.
PC CONDITIONS 10-15-14	△

DOOR SCHEDULE

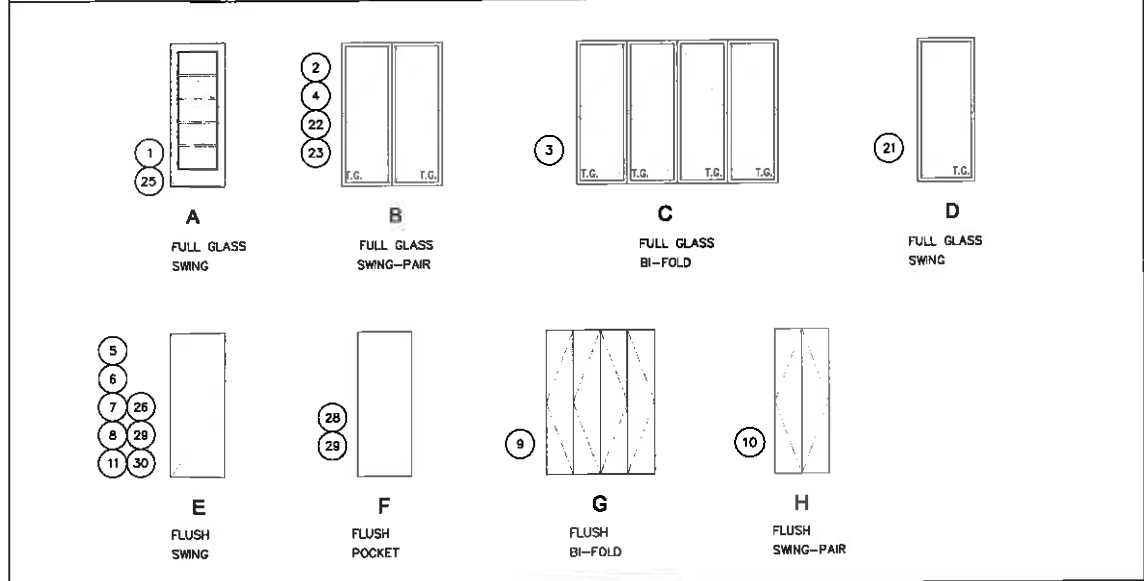
DOOR NO.	TYPE	SIZE WIDTH x HEIGHT	LOCATION	THKNS.	DOOR MAT.	FRAME MAT.	HEAD DETAIL	JAMB DETAIL	THRSHD DETAIL	REMARKS
FIRST FLOOR										
1	A	2'-8" x 6'-8"	LIVING ROOM	1-3/4"	SC WOOD	WOOD	-	-	-	
2	B	5'-0" x 6'-8"	OFFICE	1"	STEEL	STEEL	-	-	-	
3	C	9'-4" x 6'-8"	DINING ROOM	1-1/4"	STEEL	STEEL	-	-	-	
4	B	5'-0" x 6'-8"	OFFICE	1"	STEEL	STEEL	-	-	-	
5	E	2'-6" x 6'-8"	BATHROOM	1-3/4"	SC WOOD	WOOD	-	-	-	
6	E	2'-6" x 6'-8"	BATHROOM	1-3/4"	SC WOOD	WOOD	-	-	-	
7	E	2'-8" x 6'-8"	BEDROOM	1-3/4"	SC WOOD	WOOD	-	-	-	
8	E	2'-6" x 6'-8"	CLOSET	1-3/8"	HC WOOD	WOOD	-	-	-	
9	G	4'-6" x 6'-8"	LAUNDRY	1-3/8"	HC WOOD	WOOD	-	-	-	
10	H	2'-6" x 6'-8"	PANTRY	1-3/8"	HC WOOD	WOOD	-	-	-	
11	E	1'-6" x 6'-8"	PANTRY	1-3/8"	HC WOOD	WOOD	-	-	-	
SECOND FLOOR										
21	D	2'-6" x 6'-8"	HALL	1"	STEEL	STEEL	-	-	-	
22	B	5'-0" x 6'-8"	MASTER SUITE	1"	STEEL	STEEL	-	-	-	
23	B	5'-0" x 6'-8"	MASTER SUITE	1"	STEEL	STEEL	-	-	-	
24	A	2'-6" x 6'-8"	MASTER SUITE	1-3/4"	SC WOOD	WOOD	-	-	-	
25	F	2'-6" x 6'-8"	MASTER BATH	1-3/8"	HC WOOD	WOOD	-	-	-	
26	E	2'-6" x 6'-8"	TOILET	1-3/4"	SC WOOD	WOOD	-	-	-	
27	F	2'-6" x 6'-8"	DRESSING	1-3/8"	HC WOOD	WOOD	-	-	-	
28	F	2'-6" x 6'-8"	DRESSING	1-3/8"	HC WOOD	WOOD	-	-	-	
29	E	1'-6" x 6'-8"	DRESSING	1-3/8"	HC WOOD	WOOD	-	-	-	
30	E	1'-6" x 6'-8"	LINEN	1-3/8"	HC WOOD	WOOD	-	-	-	

ABBREVIATIONS:
 SC- SOLID CORE
 HC- HOLLOW CORE
 ALLIUM- ALUMINUM

DOOR NOTES

- ALL DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.:
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
 - THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
 - PROVIDE WEATHERSTRIPPING FOR ALL EXTERIOR DOORS.
 - ALL WOOD DOORS SHALL BE SOLID CORE.
 - ALL DOOR GLAZING TO BE TEMPERED.
 - REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
 - REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.

DOOR TYPES



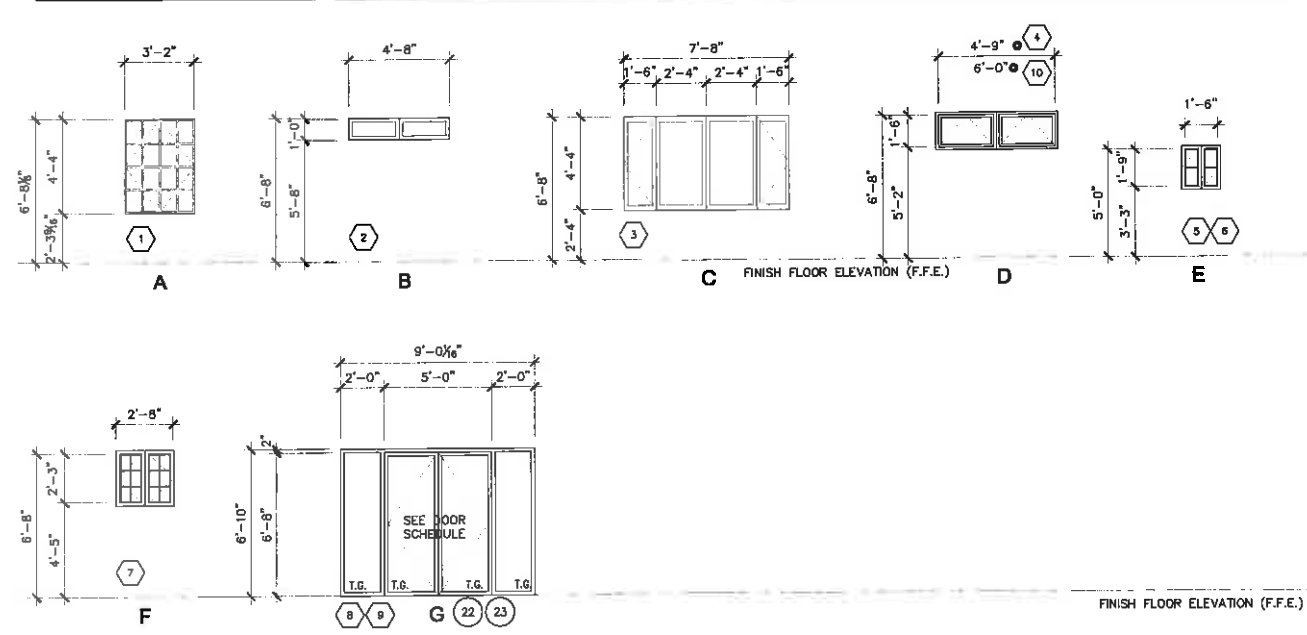
WINDOW SCHEDULE

WOW. NO.	TYPE	SIZE W x H	LOCATION		GLAZING	FRAME MAT.	STYLE	WINDOW DETAILS			REMARKS
			ROOM NUMBER	ROOM NAME				HEAD	JAMB	SILL	
1	A			BEDROOM	SINGLE	STEEL	CSM	-	-	-	MATCH EXISTING
2	B			BATHROOM	SINGLE	STEEL	SLIDER	-	-	-	
3	C			OFFICE	SINGLE LAM.	STEEL	CSM	-	-	-	
4	D			MASTER BATHROOM	SINGLE	STEEL	AWNING	-	-	-	OBSCURE GLASS
5	E			TOILET	SINGLE	STEEL	CSM	-	-	-	
6	E			HALL/STAIR	SINGLE	STEEL	FIXED	-	-	-	
7	F			CLOSET	SINGLE	STEEL	CSM	-	-	-	
8	G			MASTER SUITE	SINGLE LAM.	STEEL	FIXED-AWNING	-	-	-	TEMPERED GLASS
9	G			MASTER SUITE	SINGLE LAM.	STEEL	FIXED-AWNING	-	-	-	TEMPERED GLASS

WINDOW NOTES

- ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.:
- EGRESS WINDOWS SHALL HAVE SILL HEIGHT AT 44" A.F.F. MAXIMUM.
 - METAL WINDOWS UNLESS OTHERWISE NOTED.
 - ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CRC, SECTION R308.3. ALL INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE REQUIREMENTS OF CPSC 16, CFR 1201 OR ANSIZ 97.1.
 - SEE WINDOW TYPES ON THIS PAGE FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CRC R303 AND EGRESS PER CRC R310.
 - ALL WINDOW GLAZING SHALL BE LOW-E.
 - CONTACT ARCHITECT, OWNER & INTERIOR DESIGNER FOR SPECIFICATION & APPLICATION, PRIOR TO MANUFACTURING.
 - ALL STOREFRONT CHANNELS TO BE PAINTED STEEL.

WINDOW TYPES

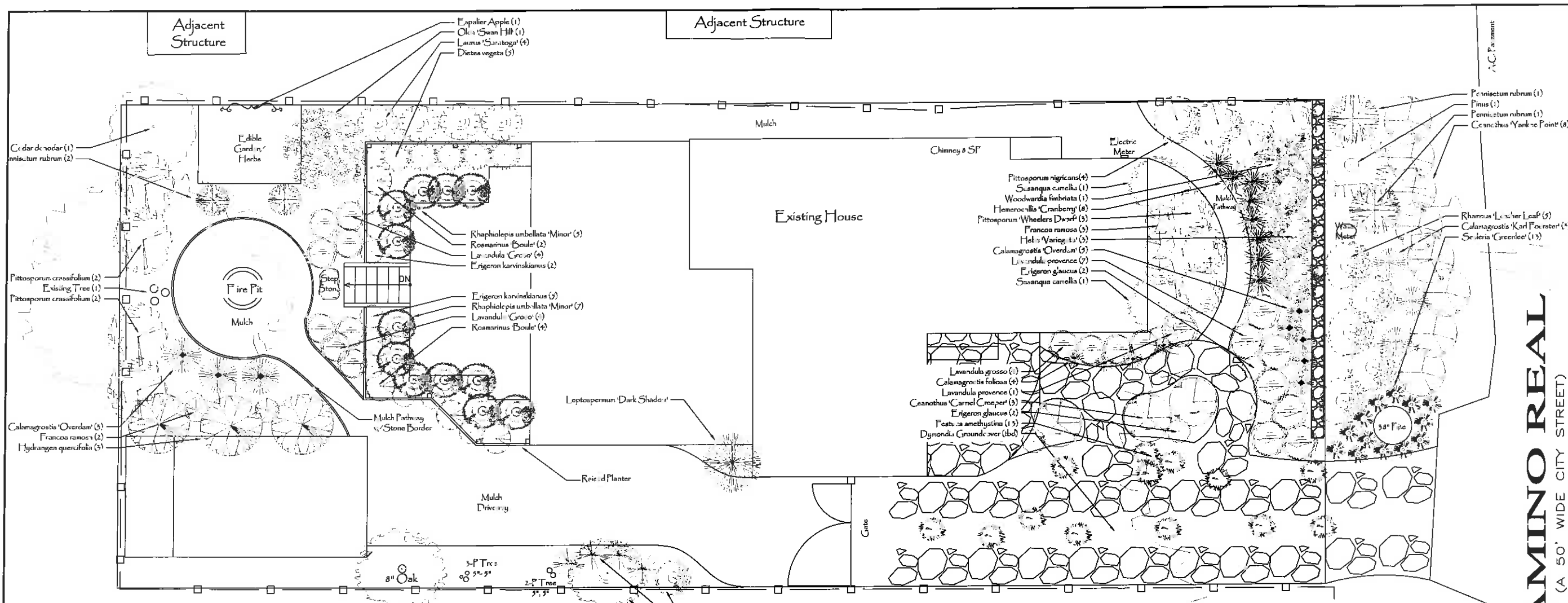


ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 157 GRAND AVENUE SUITE 106 PACIFIC GROVE, CA 93950
 PHONE (831) 972-0410 • FAX (831) 972-7840 • WEB: www.ericmillerarchitects.com

DOOR & WINDOW SCHEDULES
 JOB NAME: Webster Residence
 Camino Real 2 NW of 11th Avenue
 Carmel, California
 APN 010-275-008-000

DATE: 8-8-14
 SCALE: AS NOTED
 DRAWN: AD
 JOB NUMBER: 13.23

A4.1
 SHEET OF



Michelle Comeau
Landscape Design
&
Installation
P.O. Box 6327
Carmel, Ca. 95021
P: 831-620-0111
F: 831-620-0105
michelle@comeco.com

CAMINO REAL
(A 50' WIDE CITY STREET)

Webster Residence
Camino Real 2 NW of 11th Ave.
Carmel, Ca. 93921

Landscape Plan Prepared For:

Sheet Title:
Landscape Plan
Date: 9.15.14
Scale: 1/4" = 1'-0"
Drawn By: GM
Revised: 10.8.14
10.6.14
10.3.14
Sheet: L-1
of 2

Webster Plant List

QTY	Size	Botanical Name	Common Name
15	1 1/2"	Asplenium adnigrum	Black Fern
1	2 1/2"	Arbutus menziesii	Strawberry Tree
4	1 1/2"	Calamagrostis foliosa	Feather Reed Grass
5	1 1/2"	Calamagrostis Karl Foerster	Feather Reed Grass
5	1 1/2"	Calamagrostis Overdam	Varying Feather Reed Grass
10	1 1/2"	Ceanothus 'Carmel Creeper'	Sage Blue Ceanothus
5	1 1/2"	Ceanothus 'Carmel Creeper'	Carmel Creeper Ceanothus
3	1 1/2"	Ceanothus 'Carmel Creeper'	Carmel Creeper Ceanothus
1	1 1/2"	Cedrus deodara	Deodar Cedar
5	1 1/2"	Dietes vegeta	Water Lily
10	1 1/2"	Dymondia argentea	Silver Carpet
10	1 1/2"	Erythronium 'Sea Breeze'	Sea Breeze Sea Breeze
10	1 1/2"	Erigeron karvinkianus	Silver Daisy
15	1 1/2"	Festuca amethystina	Blue Fescue
5	1 1/2"	Francosa ramosa	Wreath
5	1 1/2"	Hebe 'Vegeta'	Wreath
8	1 1/2"	Hemerocallis 'Crabony'	Crabony Day Lily
5	1 1/2"	Hydrangea quercifolia	Oak Leaf Hydrangea
10	1 1/2"	Launaea 'Saratoga'	Saratoga Laurel
8	1 1/2"	Lavandula 'Provence'	Provence Lavender
12	1 1/2"	Lavandula 'Provence'	Provence Lavender
1	1 1/2"	Leptospermum 'Dark Shadow'	Dark Shadow Tea
1	1 1/2"	Malus 'Fly'	Fly Apple
10	1 1/2"	Pennisetum rubrum	Yucca-like Pennisetum
1	2 1/2"	Pinus	Pinus
1	2 1/2"	Pittosporum crassifolium	Pittosporum
1	2 1/2"	Pittosporum crassifolium	Pittosporum
1	2 1/2"	Pittosporum nigricans	Kalaha
5	1 1/2"	Pittosporum 'Wheeler Dwarf'	Wheeler Dwarf Pittosporum
1	1 1/2"	Rhamnus 'Leather Leaf'	Leather Leaf Rhamnus
12	1 1/2"	Rhaphiolepis 'Umbellata Minor'	Umbellata Minor
15	1 1/2"	Rosmarinus officinalis 'Boule'	Boule Rosemary
15	1 1/2"	Steris Greenleaf	Greenleaf Steris
1	1 1/2"	Woodwardia finlayana	Woods Fern

- PLANTING NOTES:**
- Plant quantities are for contractors convenience only. Contractor is responsible for actual plant quantities and shall be verified from the planting plan. To meet the planting requirements, contractor may need to engage in contract with growers to ensure plant availability.
 - Contractor to notify landscape designer in the event of plant unavailability immediately.
 - Conditions permitting, the retention of water in planting pits for more than 1 hour shall be corrected by the contractor.
 - All plant material shall match specification per species and comply with ANZSI Z601 "Standard for Nursery Stock", and shall be inspected by landscape designer.
 - Plant materials may be adjusted in the field as directed by landscape designer at no extra cost to owner.
 - Contractor shall erect tree protection barriers around existing trees to be saved on site, creating a tree protection zone, contractor shall be responsible for damage to existing trees.
 - Contractor shall provide an allowance of \$2,000 for additional material.
 - Top dress all planter areas with 2" of 1/2" redwood or fir bark dressing free of all dirt, sticks, dust or debris. Provide a 1 pint sample and source to Landscape Designer prior to ordering.
 - Erosion control blanket/jute to be applied to all slope areas according to manufacturers specification.
 - All trees to be staked with two lodgpole stakes 10' x 2" a batter board and cinch ties, or with guy wires as necessary.
 - All plants to be planted with 1/3 top soil, 1/3 organic planting mix, 1/3 harvest supreme organic amendment.
 - All plants to be planted with organic fertilizer inoculated with appropriate mycorrhizae.
 - No plant substitutions unless approved by designer and City of Carmel.
 - All irrigation lines to be SCH 40 PVC main lines.
 - All valve wires to be sleeved with 3/4" electrical conduit, SCH 40.
 - All direct burial low voltage wires to be sleeved with 3/4" electrical conduit, SCH 40 PVC.
 - All Stepping stones to be set on individual pads of concrete, 2" thick, trowelled to the exact size of the stepping stones.

IRRIGATION LEGEND
CONTROLLER
Weathermatic SL 1600 with Smart Link Air Card, Flow Sensor and Master Valve
DRIP VALVE
1" 7911 Remote Control Valve, Nelson Plastic Valve Box
1" 1/2" Brass Ball Valve Matco
1" x 3/4" Wilkins Reduced Pressure w/ Y Strainer
1" Main Line, SCH 40, 1/2" Deep
3/4" B-401 Chumpton Best Noise Garden Valve

VALVE DETAIL

STATION #	TYPE	LOCATION
1	DRIP	Front Yard
2	DRIP	Inside Property Line
3	LASER	Dymondia
4	DRIP	Edible Garden
5	DRIP	Rear Garden

IRRIGATION TIMETABLE

SPRING (AS NECESSARY ACCORDING TO WEATHER)
VALVES 1, 2, 3, 4, 5 T.F. 45 MIN

SUMMER
VALVES 1, 2, 3, 4, 5 T.F. 45 MIN

FALL
VALVES 1, 2, 3, 4, 5 T.F. 45 MIN

WINTER (AS NECESSARY ACCORDING TO WEATHER)
VALVES 1, 2, 3, 4, 5 T.F. 45 MIN

WILKINS Model 975XL
Reduced Pressure Portable Assembly

FEATURES
Size: 1/2" x 1/2" x 1/2" x 1/2"
Material: Brass
Pressure: 175 PSI
Flow: 10 GPM
Depth: 2 1/2"
Weight: 4.5 lbs

INSTALLATION
Detailed instructions for installation and operation.

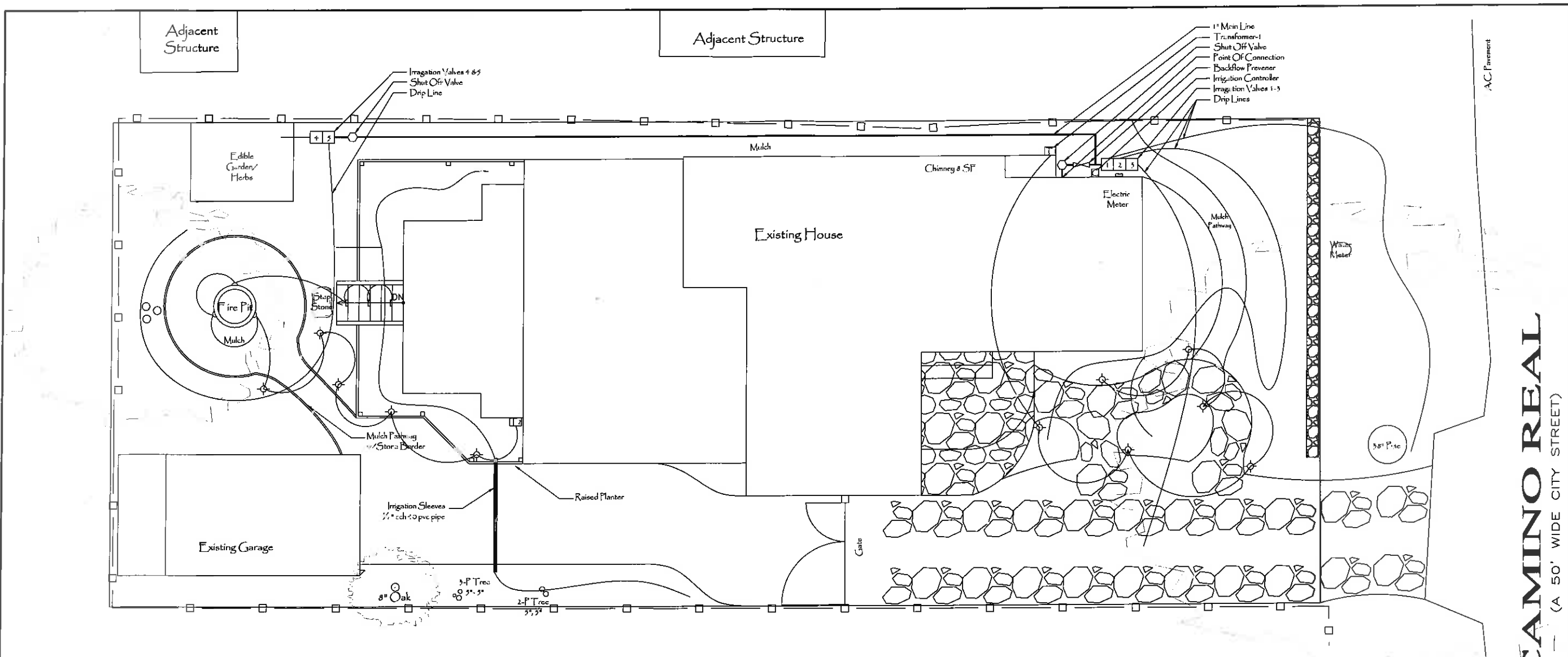
STANDARDS COMPLIANCE
List of standards and certifications.

MATERIALS
List of materials used in the assembly.

ACCEPTANCES
List of acceptance criteria.

DIMENSIONS & WEIGHTS
Detailed technical drawing with dimensions.

Page 1 of 2



CAMINO REAL
— (A 50' WIDE CITY STREET)



Michelle Comeau
Landscape Design
&
Installation
P.O. Box 6327
Carmel, Ca. 93921
P: 831-620-0111
F: 831-620-0105
michelle@caminoareal.com

Webster Residence
Camino Real 2 NW of 11th Ave.
Carmel, Ca. 93921

Lighting Legend

SYMBOL QTY MANF. MODEL DESCRIPTION ACCESSORIES

□ 2 FX Luminare FX Transformer 300W See Transformer Schedule
 ◆ 1 FX Luminare JS 1 LEDS 10 Watts-Copp. w/ Pathway Lights
 ▲ 3 FX Luminare FO 1 LEDRD 1 LEDD 10 Watts-Wall Light for Fire Pit
 ○ 3 FX Luminare UN 1 LEDS 10 Watts Wall Light-Steps leading to Fire Pit

TRANSFORMER SCHEDULE

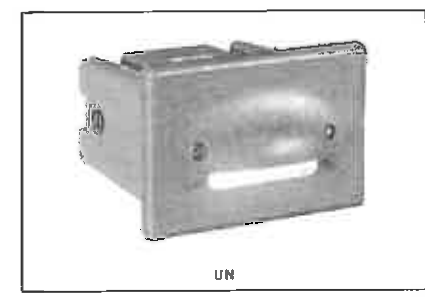
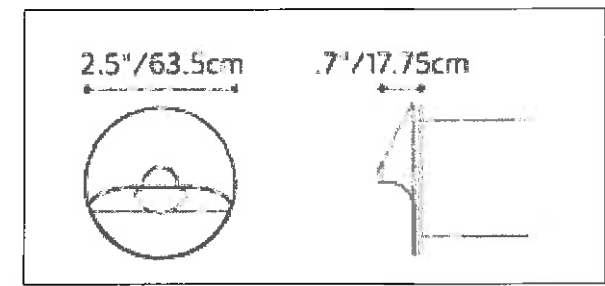
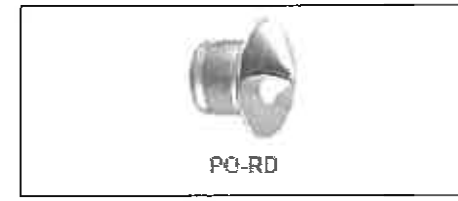
SYMBOL MODEL WATTAGE CAPACITY WATTAGE USED PRIMARY AREA ILLUMINATED SWITCH CODE

T1	FX-Transformer	300w	31w	Entry	SW1
T2	FX-Transformer	300w	34w	Back Yard	SW2

TRANSFORMER DETAIL

TRANS	Line	QTY	Feet/ft
T1	Line 1	2	FX-JS
T2	Line 1	3	FX-FX FO 1 LEDRD
	Line 2	3	FX-JS
	Line 3	3	FX-UN

NOTE: Transformer shall have photocell and motion control options



Landscape Plan Prepared For

Sheet Title:
Hardscape/
Irrigation

Date: 9.15.14

Scale: 1/4" = 1'-0"

Drawn By: GM

Revised: 10.8.14
10.6.14

Sheet: L-2
of 2



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

November 12, 2014

To: Chair Reimers and Planning Commissioners
From: Rob Mullane, AICP, Community Planning and Building Director RM
Submitted by: Marc Wiener, Senior Planner
Subject: Consideration of Concept Design Study (DS 14-96) and associated Coastal Development Permit application for the alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District

Recommendation:

Accept the Conceptual Design Study (DS 14-96) and the associated Coastal Development Permit subject to the attached findings and recommendations/draft conditions

Application:	DS 14-92	APN:	010-193-008
Location:	9th Avenue two parcels northeast of Monte Verde Street		
Block:	94	Lots:	West ½ of Lots 17 & 19
Applicant:	Jerry Case, Architect	Property Owner:	Domicile Capital LLC

Background and Project Description:

The project site is located on Ninth Avenue two parcels northeast of Monte Verde Street. The site is developed with a 1,266-square foot two-level residence, which includes 988 square feet on the upper-level and a 278-square foot garage on the lower level. There is also an unfinished crawl space on the lower level, a portion of which has a ceiling height of approximately 6 feet. A Determination of Historic Ineligibility was issued by the Community Planning and Building Department on May 29, 2014.

The applicant has submitted plans to construct a 534-square foot addition at the rear of the existing residence. The proposed addition would include two bedrooms and a bathroom, and would be clad with horizontal wood siding to match the existing residence. The project also includes a proposal for a new wood-shake roof, new windows on the north and south side elevations, construction of a new front deck, and installation of a new paver driveway,

walkways, and a rear patio. The applicant is also proposing to replace the sidewalk at the front of the property in the City right-of-way (ROW) with pavers.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass, and scale related to the project. However, the Commission may provide input on other aspects of the design.

PROJECT DATA FOR THE RECONFIGURED 4,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	1,266 sf (31.6%*)	1,800 sf (45%) 1,522 sf residence, 278 sf garage
Site Coverage	556 sf (13.9%)**	505 sf (24.8%)	556 sf (13.9%)
Trees (upper/lower)	3/1 trees (recommended)	11/2 trees	8/1 trees
Ridge Height (1 st /2 nd)	18 ft./24 ft.	17 ft./ 20 ft. 2 in.	14 ft. (new addition)/ 20 ft. 2 in.
Plate Height (1 st /2 nd)	12 ft./18 ft.	12 ft./15 ft. 10 in.	12 ft. (new addition)/ 15 ft. 10 in.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	15 ft. 8 in	No Change
Composite Side Yard	10 ft. (25%)	10 ft. (25%)	No Change
Minimum Side Yard	3 ft.	4 ft. 5 in.	5 ft. 5 in. (new addition)
Rear	3 ft. (1st-story)	30 ft.	6 ft.
*Does not include crawl space			
**Includes a 4% bonus if 50% of all coverage is permeable or semi-permeable			

Staff analysis:

Crawl Space: Municipal Code Section 17.10.030.D states that floor area is defined as the "total gross square footage included within the surrounding exterior walls of all floors contained within all enclosed buildings on a building site whether finished or unfinished" and includes "all attic, basement and storage shed spaces with five or more feet of clearance between the floor or walking surface and the ceiling or roof surface shall be counted as floor area."

The residence includes a 450-square foot unfinished crawlspace on the lower level that has a ceiling height of approximately 6 feet. Photographs of the crawl space are included in Attachment A. The applicant is proposing to deduct this portion out of the floor area calculations by lowering the ceiling height to below 5 feet.

The Planning Commission has previously allowed similar requests, typically for residences in which the crawl space cannot easily be converted into an ideal living space and when the subsequent additions to the residence do not significantly increase the building mass. Staff could support the applicant's proposal to lower the ceiling height of the crawl space as this area is partially below grade and would not be ideal as living space. In addition, the proposed one-story addition is at the rear of the residence and would not present substantial building mass to the street. A condition has been drafted to ensure that the applicant lower the ceiling height of the crawl space.

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “*a forested image on the site*” and for new construction to be at least six feet from significant trees.

The site contains thirteen trees, three of which are classified as a significant. The applicant is proposing to remove three non-significant lower-canopy trees, including one pittosporum and two oaks, and is proposing to remove one non-significant upper-canopy pine tree. A condition has been drafted requiring the applicant to apply for a Tree Removal Permit prior to final Planning Commission review. Staff notes that the City Forester may require replacement trees as a condition of the Tree Removal Permit. Any such required replacement trees would be noted on the landscape and site plans prepared for Planning Commission review of the Final Design Study.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 state that “*designs should preserve reasonable solar access to neighboring parcels*” and “*maintain privacy of indoor and outdoor spaces in a neighborhood*” and “*maintain view opportunities.*”

Staff has not identified any view impacts that would be created by the proposed two-bedroom/one-bathroom addition at the rear of the residence. With regard to privacy, the bathroom portion of the rear addition would be located 6 feet from the rear (north) property line and approximately 9 feet from the neighboring residence to the north. The neighboring residence has two windows that face the bathroom portion of the addition. To maintain privacy, no windows are proposed on the north elevation of the bathroom. Staff notes that the rear bedroom addition has one north elevation window; however, this portion of the addition would

be located 19 feet from the northern residence and is not adjacent to any neighboring windows.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.6 encourage a building's mass to relate *"to the context of other homes nearby"* and to *"minimize the mass of a building as seen from the public way or adjacent properties."* Further, these guidelines state that *"a building should relate to a human scale in its basic forms."*

The proposed addition is at the rear of the residence and is not visible from the street. As noted in the previous section, the restroom portion of the addition would be located 9 feet from the neighboring residence to the north. The neighboring residence to the north has two windows that face the addition. This portion of the addition would present some additional building mass to the northern neighbor. The northern neighbor has not contacted the City regarding the project; however, a condition has been drafted requiring the applicant to plant landscaping on the north side of the addition to screen the building from the northern neighbor's windows. If the Commission has concerns, it may also require that the applicant increase the rear setback of the restroom addition, which is currently at 6 feet from the north (rear) property line. Staff notes that a 62-square foot closet is proposed in the new addition that could be reduced in size to allow for a larger rear-yard setback.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 state that *"Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roof with low plate lines can be used on two-story buildings."* The Guidelines emphasize using *"restraint"* and *"simplicity"* in building forms, which should not be complicated, and roof lines, which should *"avoid complex forms."*

The proposed addition includes a gabled roof design with a moderate roof pitch that matches the existing residence. The proposed addition is architecturally compatible with the existing residence and does not create a complicated building design. Staff notes that the profile and appearance of the original residence would be maintained on the street elevation. Staff supports the overall design of the residence.

Public ROW: The City Right-of-Way (ROW) at the front of the property includes a 3-foot wide asphalt sidewalk and an 8-inch high rock curb. The asphalt sidewalk continues along portions of the north side of Eighth Avenue between Monte Verde and Lincoln Streets. The applicant is proposing to resurface the asphalt sidewalk in front of the residence with pavers. The replacement of the sidewalk material would require an encroachment permit. The Planning Commission is advisory to the City Administrator and/or City Council on encroachment permits. Staff recommends that the asphalt sidewalk be maintained as is, which would avoid the need

for a new encroachment permit and would provide consistency in sidewalk materials along the north side of Eighth Avenue. A condition has been drafted regarding this recommendation.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 534-square foot addition an existing 1,266-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Draft Recommendations/Conditions
- Attachment D – Project Plans



Project site (Street Elevation) – Facing north on 9th Avenue



Sidewalk in ROW at front of project site – Facing east on 9th Ave



Neighboring residence to the north – Facing north from rear yard of project site



Crawlspace below residence

Attachment B – Findings for Concept Acceptance

DS 14-96 (Domicile Capital, LLC)
 November 12, 2014
 Concept Findings
 Page 1

FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City’s design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project’s use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City’s objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

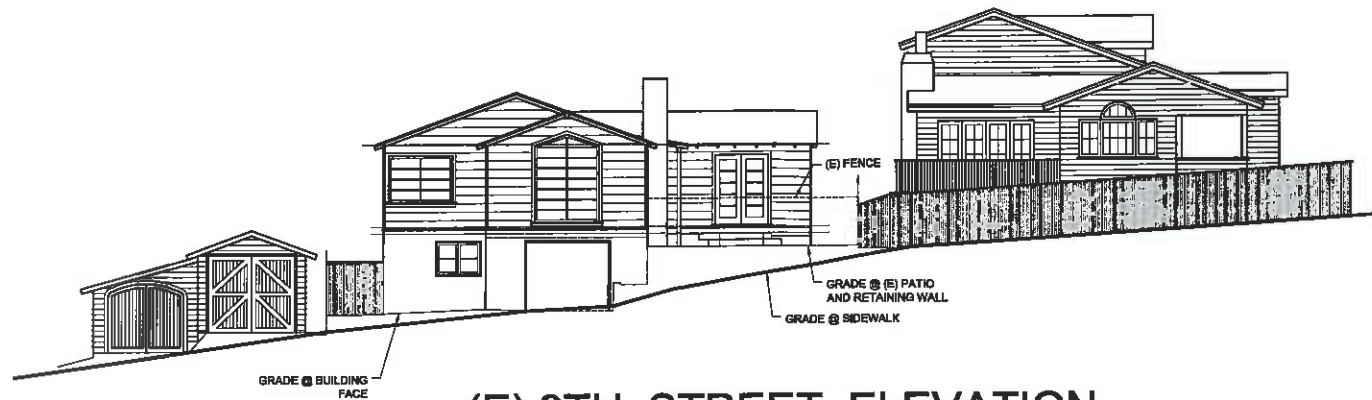
COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

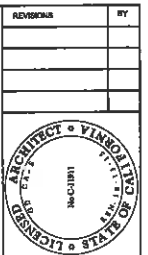
Attachment C – Recommendations/Draft Conditions

DS 14-96 (Domicile Capital, LLC)
November 12, 2014
Recommendations/Draft Conditions
Page 1

Recommendations/Draft Conditions		
No.		
1.	The applicant shall include a note on the plan set that the ceiling height of the crawl space will be lowered to less than 5 feet.	
2.	The applicant shall apply for a Tree Removal Permit for the removal of four non-significant trees prior to final Planning Commission review.	
3.	The applicant shall provide a landscape plan for final Planning Commission review that includes new landscaping on the north side of the addition to screen the building mass from the northern neighbor.	
4.	The applicant shall withdraw the proposal to resurface the asphalt sidewalk in the City ROW with pavers.	



(E) 9TH STREET ELEVATION 1/8" = 1'-0"



G David CASE
architect
P.O. BOX 3074
MONTEREY, CA 93942
TEL: 831.373.2763
gdc@casearch.com

COVER SHEET
STREET ELEVATION

A RESIDENCE REMODEL for
DOMICILE CAPITAL LLC
9TH & NE MONTE VERDE
CARMEL, CA.

PROJECT DATA

OWNER DOMICILE CAPITAL LLC
1010 STREET, SUITE B4
MONTEREY, CA 93940
831.373.2763

LEGAL APN: D10 193 008
WEST 1/2 OF LOTS 17 AND 18, BLOCK 84
CARMEL-by-the-SEA, MONTEREY
COUNTY, CA.

OCCUPANCY RS, U1
LOT SIZE 4000 SF
TYPE OF CONSTRUCTION VB, SPRINKLERED

BUILDING DATA	LOWER FLOOR GARAGE	278 SF
	(E) UPPER FLOOR	968 SF
	(N) ADDITION	534 SF
	TOTAL	1800 SF

FLOOR AREA RATIO	ALLOWED	1800 SF
	PROPOSED	1800 SF

SITE COVERAGE	1800 SF LOT	398 SF
	BONUS FOR 60% SEMI-PERMEABLE (04 x 4000SF)	180 SF
	TOTAL ALLOWED	556 SF
EXISTING	(E) CONCRETE FRONT WALK AND PATIO	262 SF
	(E) CONCRETE DRIVEWAY	131 SF
	REAR CONCRETE WALK AND ASPHALT PATIO	112 SF
	TOTAL	505 SF
	PROPOSED (60% SHALL BE SEMI-PERMEABLE)	
(N) CONCRETE PORCH AND STEPS	71 SF	
REPLACE (E) FRONT WALK AND PATIO (SAND SET PAVERS)	181 SF	
REPLACE DRIVEWAY (SAND SET PAVERS)	131 SF	
REAR WALK AND PATIO (SAND SET PAVERS)	143 SF	
REAR CONCRETE PORCH/STEPS	20 SF	
TOTAL	556 SF	

GENERAL SCOPE OF WORK ONE STORY ADDITION TO (E) RESIDENCE

PROJECT NOTES

- PROJECT SHALL COMPLY WITH 2013 EDITIONS OF CBC, CRC, CMC, CPC, AND CEC, CEC, AND CURRENT EDITION OF MONTEREY COUNTY CODE (MCC).
- THESE PLANS SHALL BE APPROVED FOR CONSTRUCTION BY THE PLANNING AND BUILDING DEPARTMENTS AND THE PROJECT ARCHITECT. ANY DEVIATIONS FROM THE WORK DESCRIBED HEREIN MUST BE AUTHORIZED IN ADVANCE BY THE ARCHITECT AND SUBMITTED TO THE APPROPRIATE AGENCIES FOR APPROVAL. ADDITIONALLY THE PLANS ARE NOT APPROVED FOR CONSTRUCTION UNLESS THEY HAVE BEEN "WET SIGNED" BY THE ARCHITECT.

SHEET INDEX

SHEET	TITLE
A0.1	COVER SHEET; PROJ NOTES; STREET ELEVATION
A0.4	PRESITE
A1	SITE PLAN; ROOF PLAN
A2	(E) LOWER FLOOR PLAN
A2.1	(E) UPPER FLOOR PLAN
A2.2	PROPOSED UPPER FLOOR PLAN
A3	EXISTING ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS

ABBREVIATIONS NOTES, SYMBOLS

BLK	BLINDING	PR	PAIR
BM	BEAM	PTDF	PRESSURE TREATED DF
BUT	BOTTOM	REIN	REINFORCING
CLD	CEILING	SHW	SHEAR WALL SCHEDULE
CONC	CONCRETE	SHW	SHEATHING
CONT	CONTINUOUS	T. AND B.	TOP AND BOTTOM
CMU	CONCRETE MASONRY UNITS	T. AND G.	TONGUE AND GROOVE
DBL	DOUBLE	TEMP	TEMPERED
DF	DOUGLASS FIR	T.E.N.	TYPICAL EDGE NAIL
DS	DOWN SCAPING	TOP	TOP OF FINISHED PAVING
DWL	DOWEL	TOS	TOP OF SLAB
(E)	EXISTING	TYP	TYPICAL
FIN FLOOR	FRESH FLOOR	UNLESS OTHERWISE NOTED	
FOG	FOUNDATION	WD	WOOD
FOC	FACE OF CONCRETE	W.	WITH
FOB	FACE OF STUDS		
FRAMING	FRAMING		
FTD	FOOTING		
GYP BRD	GYPSEUM BOARD		
GLS	GLUE LAMINATED BEAM		
HWR	HANGER		
LNG	LONG		
MBR	MEMBER		
MIN	MINIMUM		
(N)	NEW		
OC	ON CENTER		
PLYWD	PLYWOOD		

DETAIL NUMBER
PAGE WHERE DETAIL OCCURS

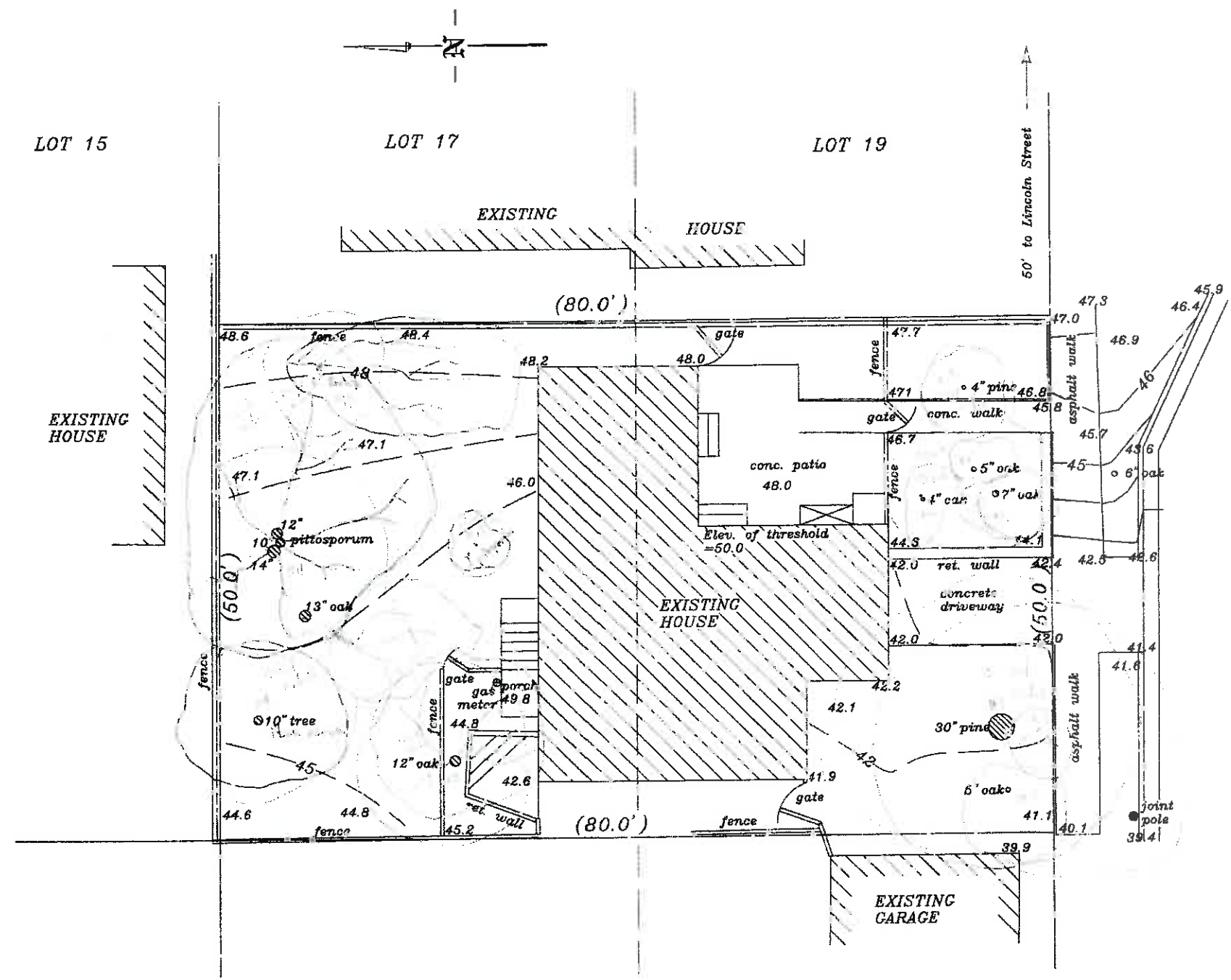
REVISION

SEP 22 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

DATE: 9/17/14
SCALE:
DRAWN: GDC
SHEET
A0.1
OF 9 SHEETS

DS 14-96



LOT 15

LOT 17

LOT 19

EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

EXISTING GARAGE

50' to Lincoln Street

NINTH AVENUE



This map correctly represents a survey made by me or under my direction in June, 2014.

NOTES:

1. Elevation datum is assumed.
2. Points found or set are so indicated, others are shown for reference only.
3. Record data is shown in parenthesis (.....)
4. Check for direction of tree growth in field where pertinent to location of improvements.
5. Distances and elevations are expressed in feet and decimals thereof.
6. Only native trees 6" or larger have been located.
7. Easements may exist that don't show on this map.
8. Relationship of topographic features to boundary lines is approximate.

REVISION

SEP 22 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

PRELIMINARY SITE ASSESSMENT
 Owner's Name: Domicile Capital
 Planner's Signature: [Signature]
 Date: 7/29/14 SA# 33-1413

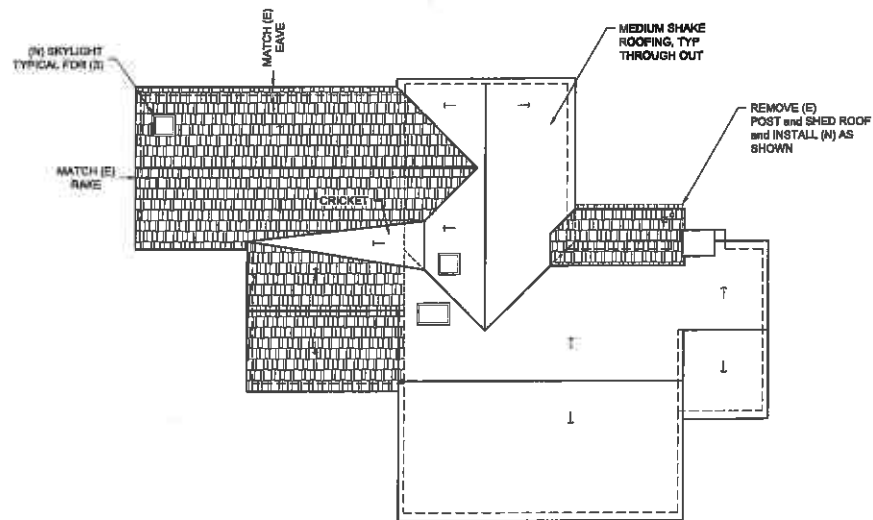
TOPOGRAPHIC MAP

of the West 1/2 of Lots 17 & 19, Block 94,
Carmel-by-the-Sea, Monterey County, California.

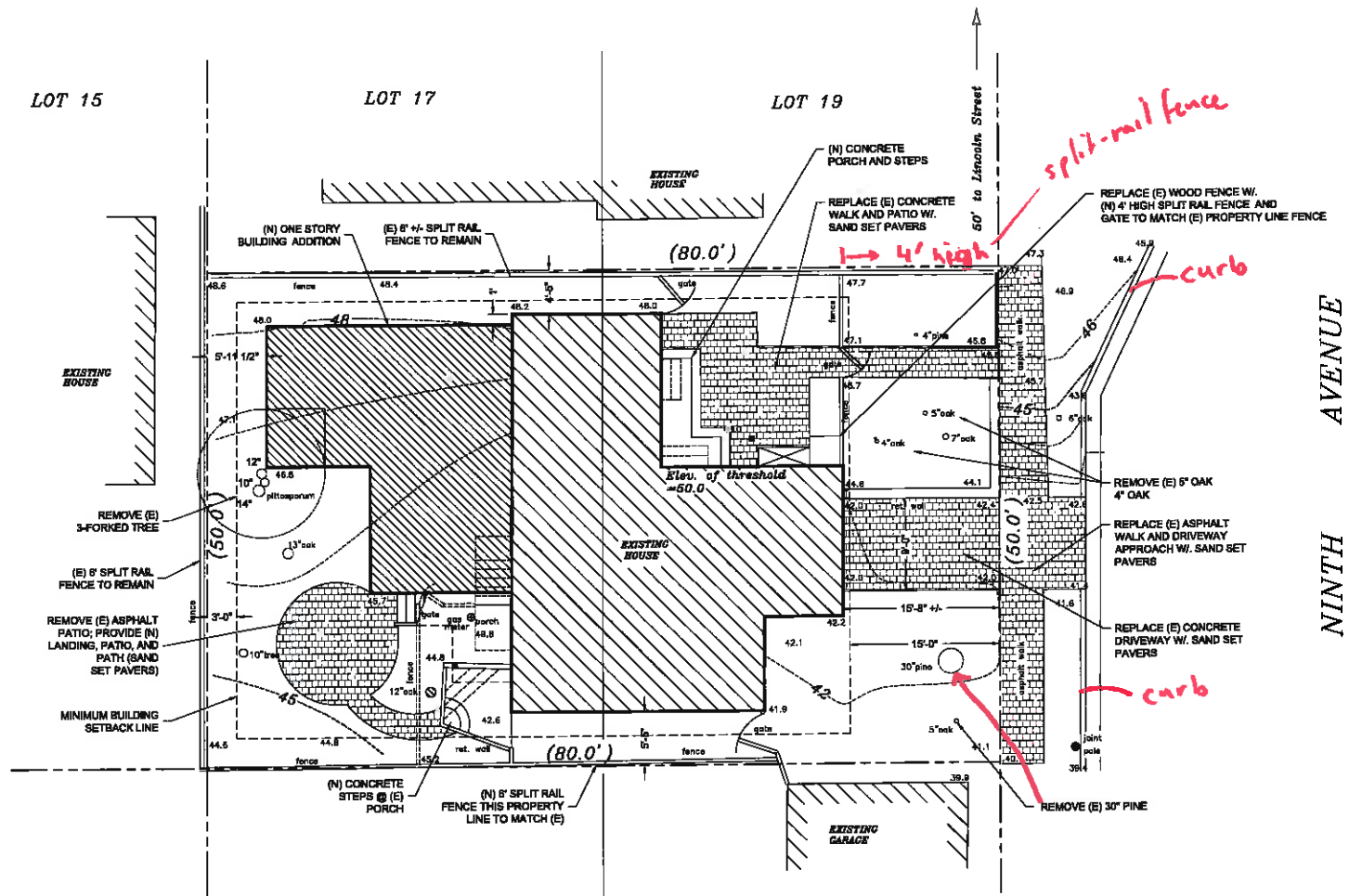
~ Prepared for ~
RIDGE CAP. INV. LLC

Jon D. Hagemeyer Licensed Land Surveyor
Carmel, California
Scale: 1" = 8' W.O. 5663 June, 2014

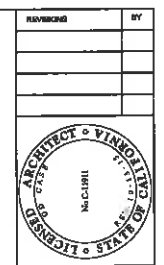
REVISED	BY	DATE
G David CASE architect P.O. BOX 3074 MONTEREY, CA 94042 TELE: 831.664.4433 C: gdc@dmcc.com		
PRESITE		
A RESIDENCE REMODEL for DOMICILE CAPITAL LLC 9TH & NE MONTE VERDE CARMEL, CA		
DATE:	8/14/14	
SCALE:		
DRAWN:	GP	
SHEET:	A0.4	
OF:		



PROPOSED ROOF PLAN
1/8" = 1'-0"



PROPOSED SITE PLAN
1/8" = 1'-0"
0 5' 10' 20'
(E) SPOT ELEVATIONS
(N) SPOT ELEVATIONS

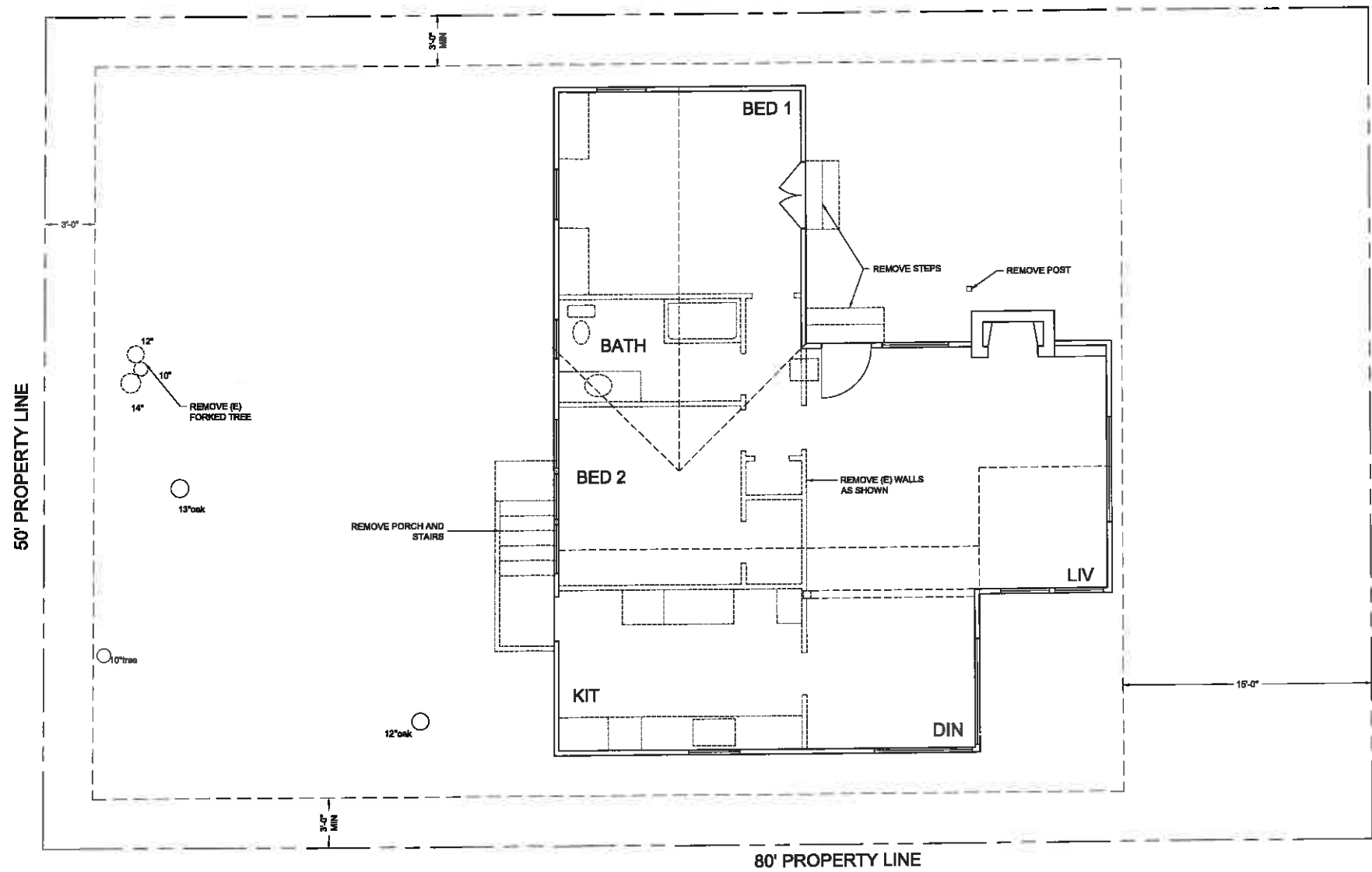



G David CASE
architect
P.O. BOX 5074
CARMEL, CA 95002
TEL: 831.923.1111
or pd@gdcase.com


**SITE PLAN
ROOF PLAN**

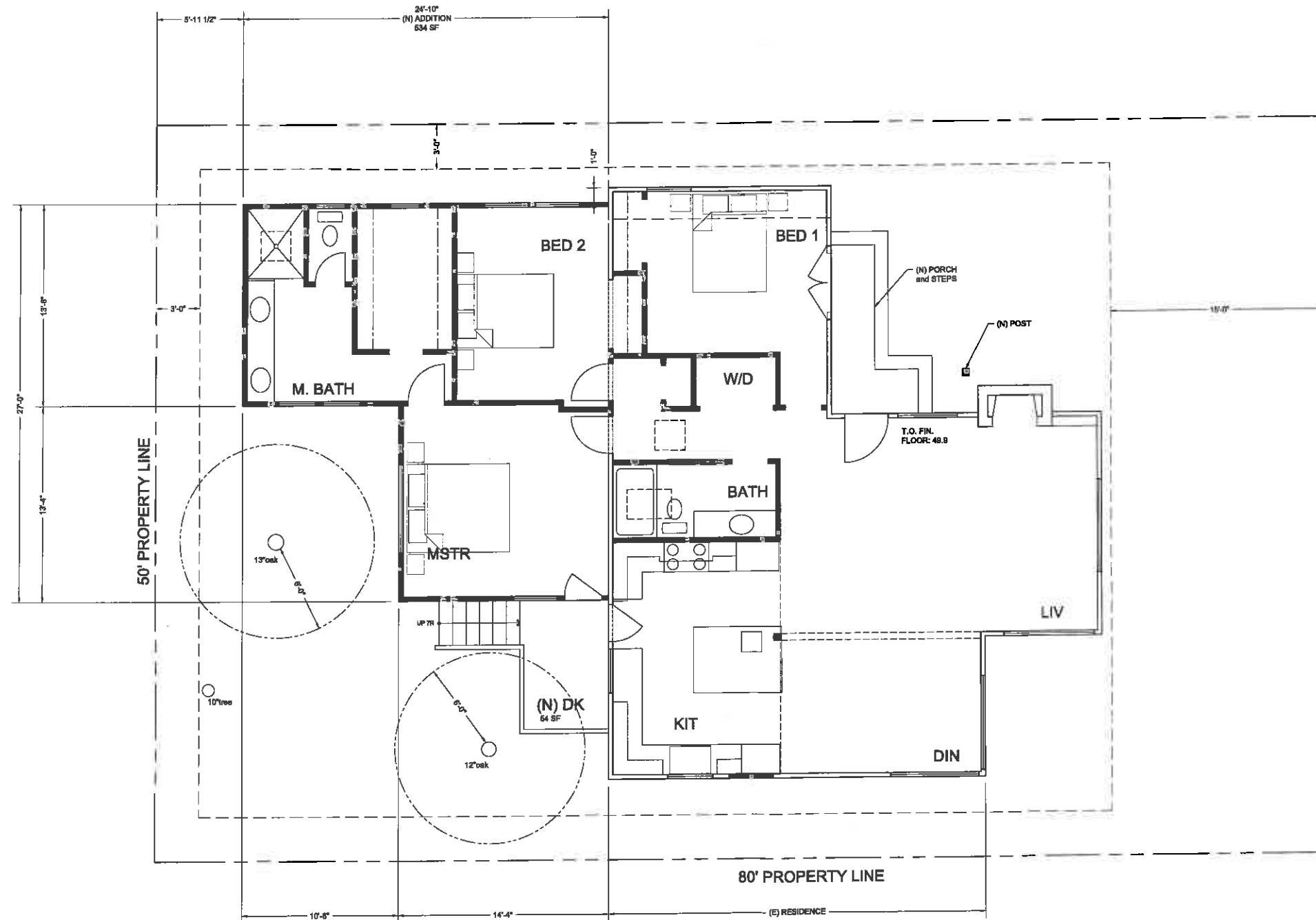
A RESIDENCE REMODEL for
DOMICILE CAPITAL LLC
9TH NE MONTE VERDE
CARMEL, CA

DATE:	8/17/14
SCALE:	
DRAWN BY:	GD
CHECKED BY:	
A1	




(E) UPPER FLOOR PLAN 1/4" = 1'-0"
 0 5' 10' 20'
 LIVING: 988 SF
 (E) WALLS TO REMAIN
 (E) WALLS TO BE REMOVED
 (N) WALLS TO MATCH (E)

REVISION	BY
	
G David CASE architect P.O. BOX 5074 MONTEREY, CA 93946 (831) 385-1111 gdc@gdcase.com	
(E) UPPER FLOOR PLAN	
A RESIDENCE REMODEL for DOMICILE CAPITAL LLC 9TH NE MONTE VERDE CARMEL, CA	
DATE:	8/14/14
SCALE:	
DRAWN:	GD
CHECKED:	
SHEET:	A2.1
PROJECT:	

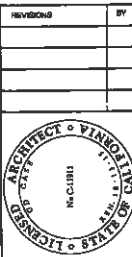


PROPOSED UPPER FLOOR PLAN 1/4" = 1'-0"



LIVING: 1622 SF

- (E) WALLS TO REMAIN
- (R) WALLS TO BE REMOVED
- (N) WALLS TO MATCH (E)



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architecture
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 MONTREY, CA 94024
 (415) 321-1111
 www.gdavidcase.com

PROPOSED UPPER FLOOR PLAN

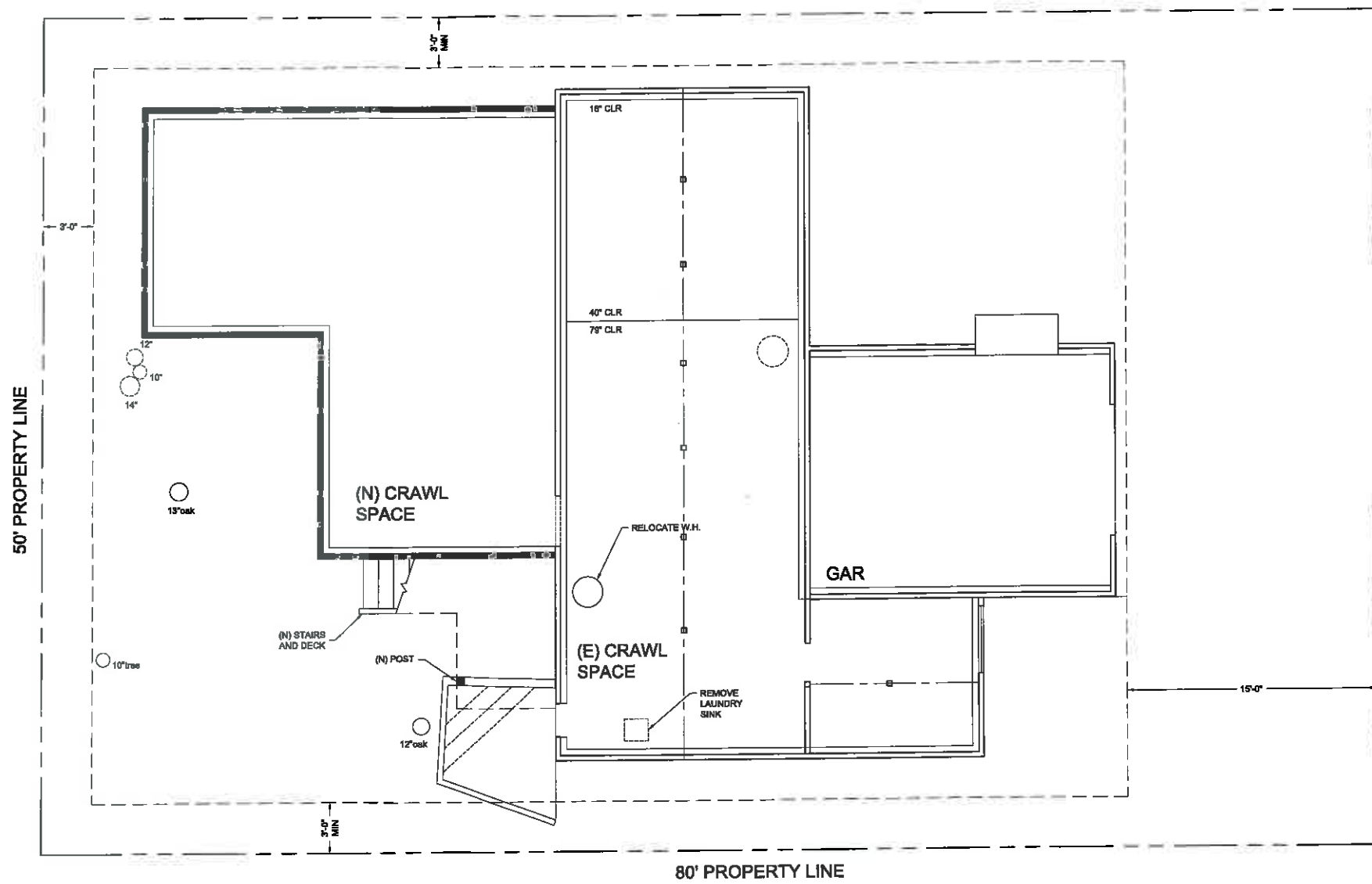
A RESIDENCE REMODEL FOR
DOMICILE CAPITAL LLC
 9TH AVE MONTE VERDE
 CARMEL, CA


DATE: 01/14/14


SCALE:

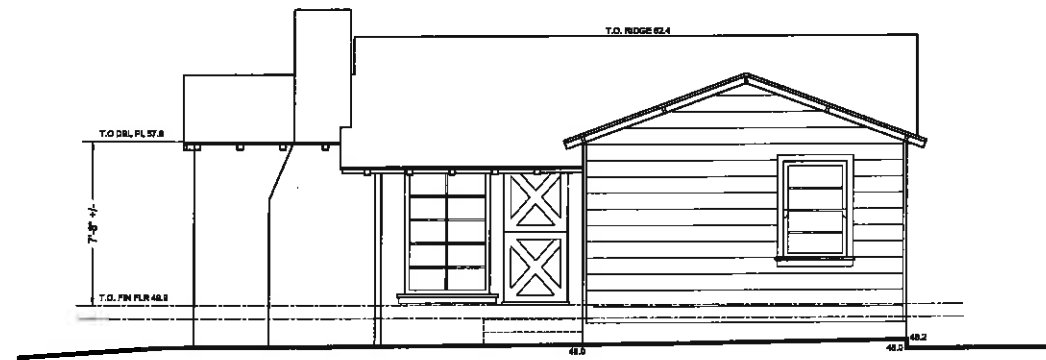
DRAWING NO:

SHEET
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 OF SHEETS

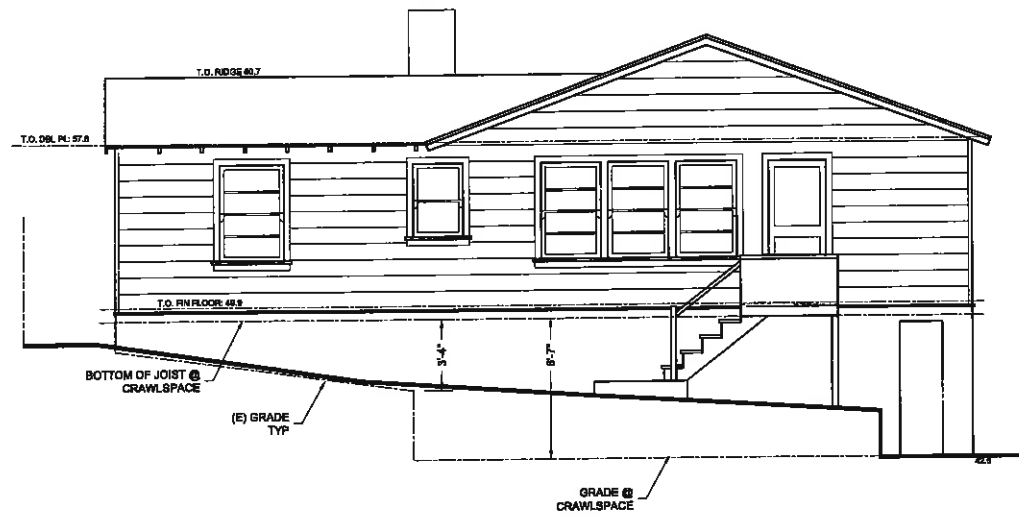



(E) LOWER FLOOR and CRAWSPACE 1/4" = 1'-0"
 0 5' 10' 20'
 GARAGE: 278 SF
 (E) WALLS TO REMAIN
 (E) WALLS TO BE REMOVED
 (N) WALLS TO MATCH (E)

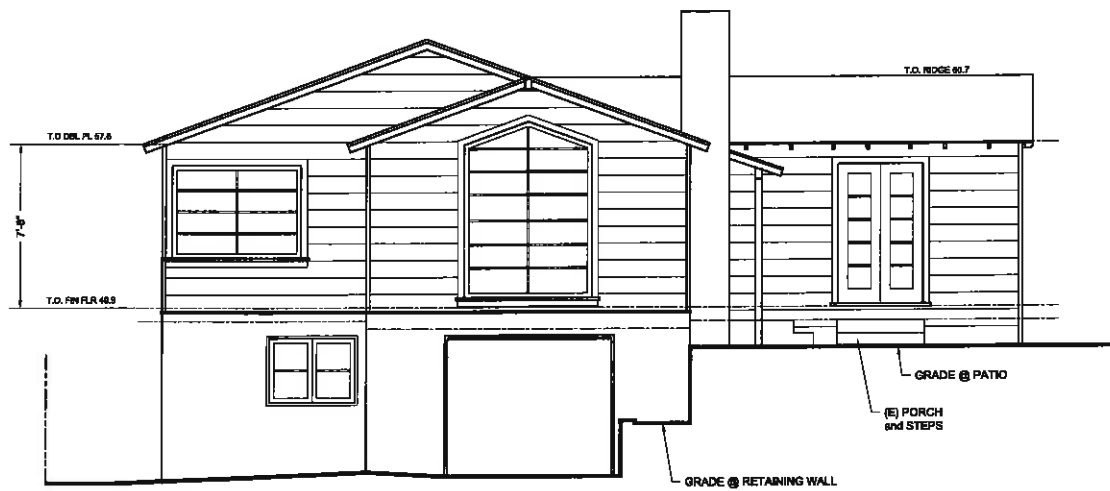
REVISIONS	BY
	
G David CASE architect <small>P.O. BOX 5074 CARMEL, CA 95008 TEL: 831.923.1111 or gdc@caseah.com</small>	
LOWER FLOOR PLAN	
A RESIDENCE REMODEL for DOMICILE CAPITAL LLC 9TH & NE MONTE VERDE CARMEL, CA	
DATE:	8/14/14
SCALE:	
DRAWN:	GD
SHEET:	A2



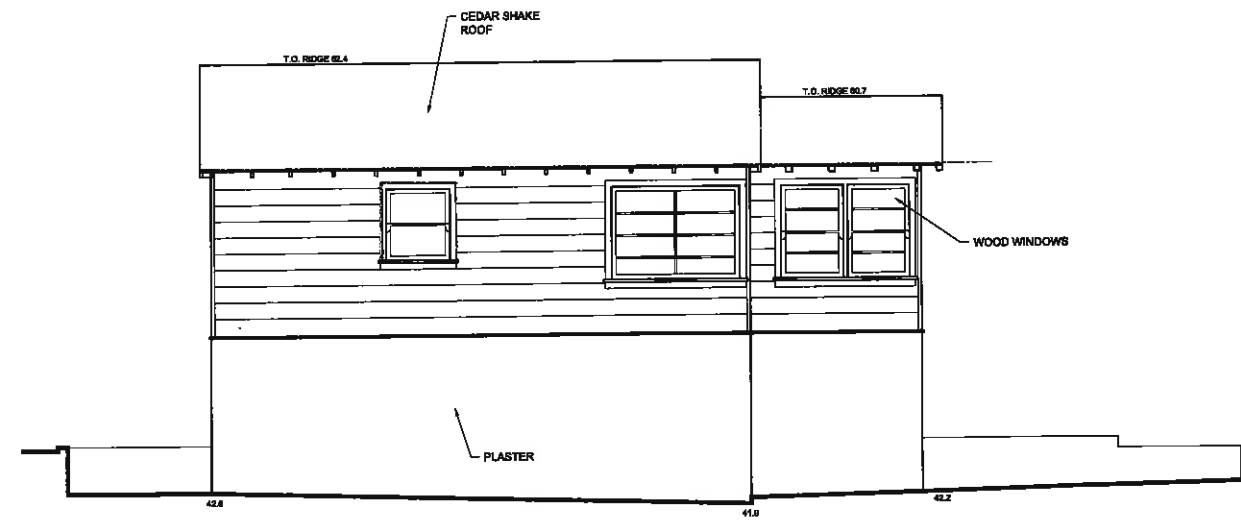
EAST ELEVATION
1/4" = 1'-0"
0 5' 10' 20'



NORTH ELEVATION
1/4" = 1'-0"

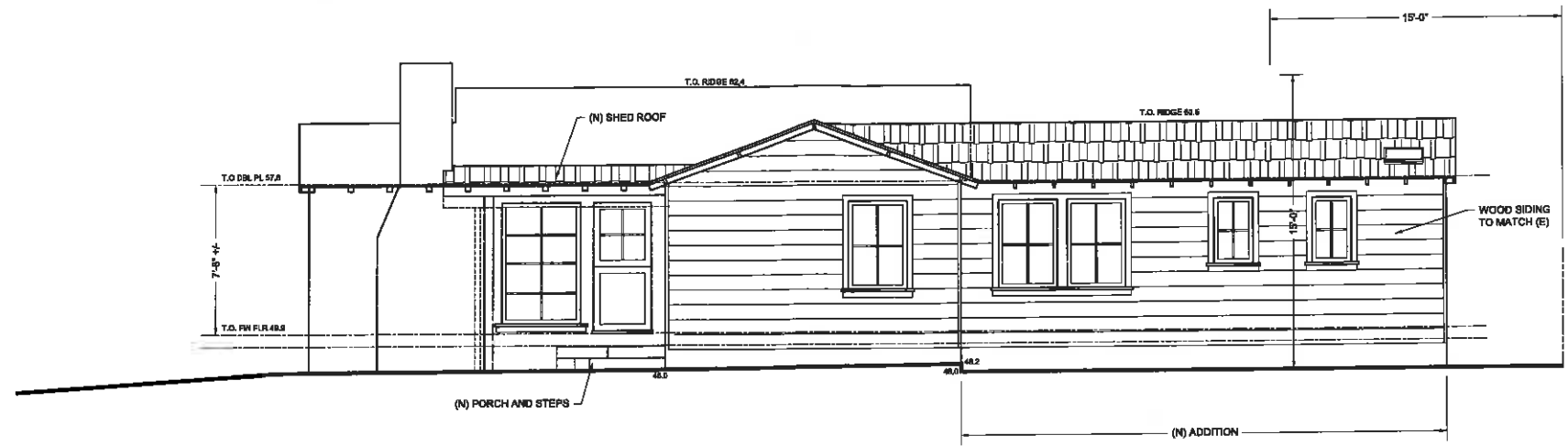


SOUTH ELEVATION
1/4" = 1'-0"

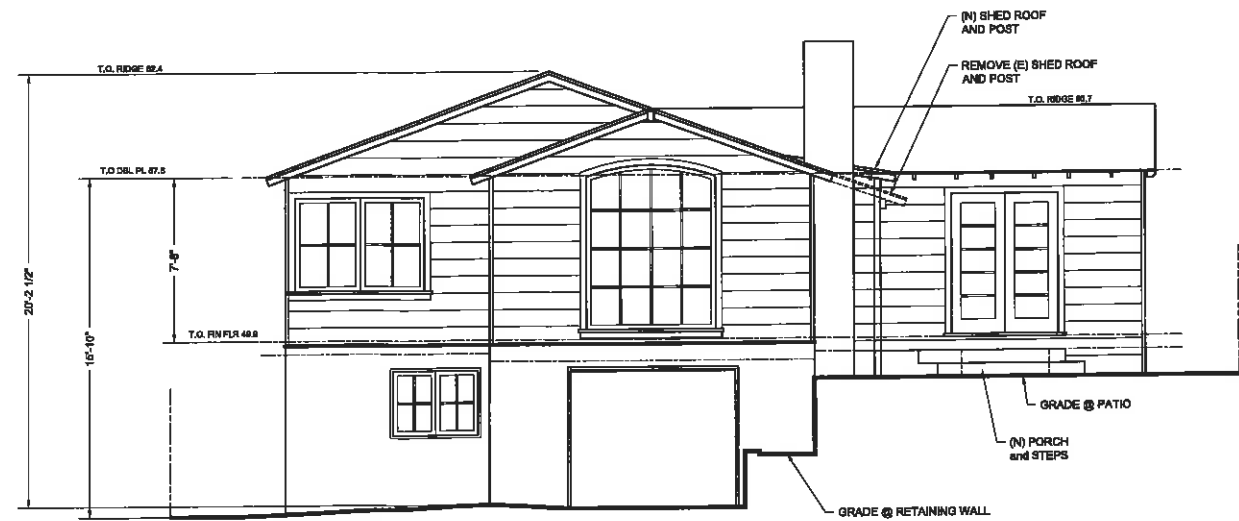


WEST ELEVATION
1/4" = 1'-0"

REVISION	BY
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EXISTING ELEVATIONS	
A RESIDENCE REMODEL for DOMICILE CAPITAL LLC 9TH - NE MONTE VERDE CARMEL, CA.	
DATE	01/17/14
SCALE	
DRAWN BY	
CHECKED BY	
IN SET	A3
OF	04 SHEETS



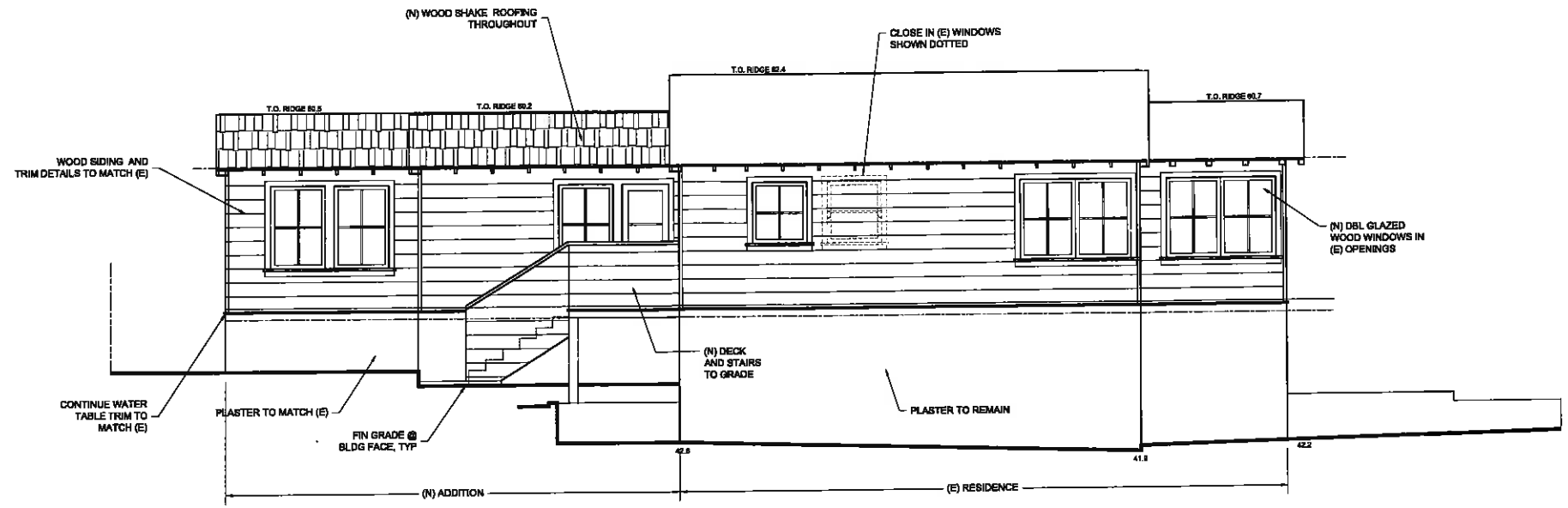
EAST ELEVATION 1/4" = 1'-0"



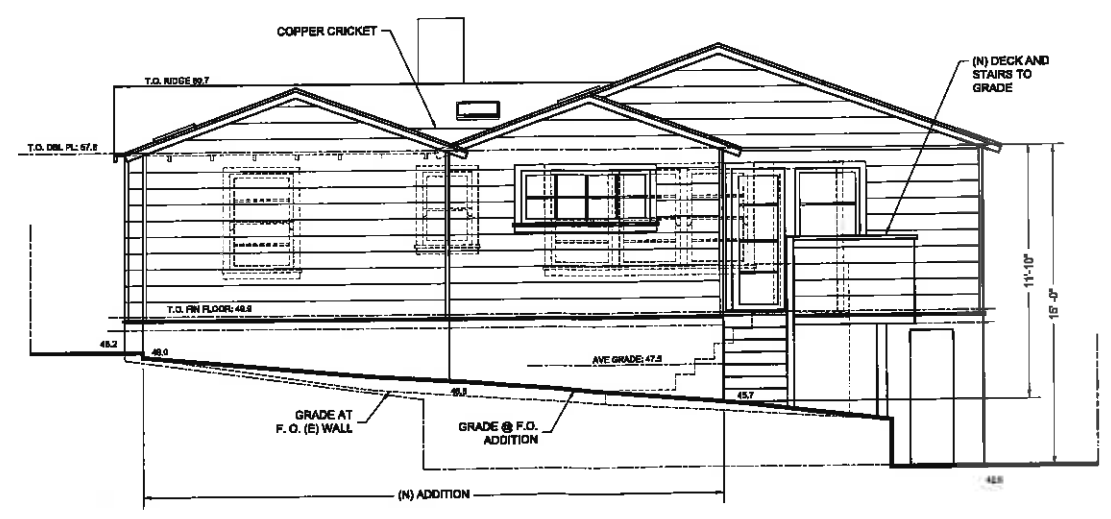
SOUTH ELEVATION 1/4" = 1'-0"



REVISION	BY
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EXTERIOR ELEVATIONS	
A RESIDENCE REMODEL for DOMICILE CAPITAL LLC 9TH NE MONTE VERDE CARMEL, CA.	
DATE:	8/17/14
SCALE:	
DRAWN:	GD
SHEET:	A3.1
OF	SHEETS



WEST ELEVATION 1/4" = 1'-0"



NORTH ELEVATION 1/4" = 1'-0"



REVISIONS	BY

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EXTERIOR ELEVATIONS

A RESIDENCE REMODEL for
DOMICILE CAPITAL LLC
 9TH & NE MONTE VERDE
 CARMEL, CA

DATE: 8/17/14
 SCALE:
 DRAWN: CD
 SHEET: **A3.2**



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

November 12, 2014

To: Chair Reimers and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director RM

Submitted by: Marc Wiener, Senior Planner

Subject: Consideration of Design Review (DR 14-30) and Use Permit (UP 14-18) applications for exterior alterations and the expansion of an existing restaurant located in the Central Commercial (CC) Zoning District

Recommendation:

Approve the Design Review (DR 14-30) and associated Use Permit (UP 14-18) subject to the attached findings and conditions

Application: DR 14-30/UP 14-18 **APN:** 010-086-006
Location: Southeast corner of Ocean Avenue and Mission Street (Carmel Plaza)
Block: 78 **Lots:** All
Applicant: Mathew Porgess (Carmel Coffee and Cocoa Bar)
Property Owner: OWRF Carmel, LLC

Background and Project Description:

The project site is located within the interior of the Carmel Plaza in a space identified as Suite 122. The applicant is proposing to enlarge an existing specialty restaurant: Carmel Coffee and Cocoa Bar, by expanding into an adjacent commercial space to the south, a space which is identified as Suite 121. The existing restaurant is 784 square feet in size and would be expanded to 1,297 square feet. The restaurant currently contains 12 seats (including sofas), but would be increased to 22 seats with the expansion. The applicant is proposing to increase the size of the dining area, kitchen, and intends to add an office at the back of the restaurant.

The project also includes a proposal for exterior alterations, which has been applied for under Design Review (DR 14-30). The proposed changes would provide consistency between the storefronts of Suite 121 and 122. The applicant has provided a description of the project, which is included in Attachment C. Staff has provided an additional summary of the exterior changes below.

East Elevation

- Construction of a new recessed entry alcove that would be approximately 6 feet wide and 4 feet deep. The applicant would reuse the existing wood door and the recessed entry alcove would include 35-inch wide windows with wood frames on both sides.
- The addition of 9-inch wide vertical wood columns at the front of the entry alcove to match the dimensions of the other storefront columns.
- The window pane to the north of the restaurant entry door would be replaced on Suite 122. The applicant is proposing the addition of 2½" wide vertical wood muntins to this window pane to match the design of the window frames on Suite 121. Staff notes that the windows frames on Suite 121 are aluminum, while the window frames on Suite 122 would be wood. The frame and the sill height of the windows on Suite 121 would be raised to match the sill height of the windows on Suite 122.
- The existing recessed entry alcove and door on Suite 121 would be eliminated and replaced by an existing aluminum window that is currently within the alcove. The relocated window would be flush with the front (east) wall.
- The addition of a 17-inch high charcoal-colored porcelain tiles at the base of the walls.
- The addition of MDF wood panels above the exterior windows. The applicant is proposing to paint these panels a light gray color referred to as "smooth stone." The trim around the panels would be brown.
- The trim on the east elevation is proposed to be painted brown.

North Elevation

- Installation of a brown-colored metal kitchen service door.
- The addition of 12" x 24" charcoal-colored porcelain tiles at the base of the walls.
- The addition of MDF wood panels above the exterior windows. The applicant is proposing to paint these panels "smooth stone" color. The trim around the panels would be brown.
- The remaining trim on the north elevation is proposed to be painted brown.

Staff Analysis:

Restaurant Use Permit: Specialty Restaurants require a Conditional Use Permit to be issued by the Planning Commission. According to CMC Section 17.68.030, specialty restaurants provide: *“A limited range of food products for immediate consumption on the site. These restaurants provide seating but are not required to provide table service or menus.”*

The restaurant currently operates under Use Permit (UP 02-05) and is permitted a maximum of 22 seats. The allowed hours are from 7:00 a.m. to 6:00 p.m. Monday through Saturday and from 8:00 a.m. to 5:00 p.m. on Sunday. The restaurant primarily offers lunch items such as sandwiches, salads, and soups. In addition to lunch items, the restaurant also offers desserts, pastries, and hot beverages such as coffee, tea, and cocoa. The original Use Permit classifies the restaurant as a Specialty Restaurant.

The applicant is proposing to maintain the existing hours, as well as the character and operation of the restaurant. However, a Use Permit amendment is required for the expansion of the restaurant. Staff notes that the restaurant is permitted 22 seats under its current Use Permit, but operates below its allowed capacity. With the expansion, the restaurant would operate at the originally permitted 22 seats. No additional water credits are required to maintain the original number of permitted seats. Staff has drafted findings and conditions, which are included as Attachments B and C, for the issuance of the new Use Permit (UP 14-18).

Storefront Design: The exterior alterations are summarized in the Project Description section of this report. The following is an analysis of the exterior alterations based on the recommendations of the Carmel Plaza Design Guidelines. Plaza Guideline 3.2 encourages storefront to have changes in wall plane, and states that *“at a minimum, each storefront is required to have a recess for entry doors.”* The restaurant currently does not have recessed entry doors, but applicant is proposing this feature to provide consistency with the guideline.

With regard to windows, the Plaza Guideline 3.4 states that *“wood, steel, and in some cases aluminum window frames are acceptable”* and *“each individual glazing panel must have vertical proportions with a minimum ratio of 1.4/1 (vertical to horizontal).”* The windows on the east (primary) storefront elevation comply with the minimum ratio requirement. The windows on the north elevation do not comply with this ratio requirement; however, these are existing windows that the applicant intends to remain.

The applicant is proposing to retain the existing aluminum windows on Suite 121 and intends to replace the window pane to the north of the entry door on Suite 122. The new window pane

would include 2½” wide wood muntin bars to match the proportions of the window frames on Suite 121. Wood-framed windows are also proposed within the new entry alcove of Suite 122. Staff recommends that the applicant use aluminum-framed windows on Suite 122 to provide consistency with the aluminum windows on Suite 121. A condition has been drafted requiring the applicant to use aluminum framed windows on Suite 122.

With regard to finish material, Plaza Guideline 3.2 states that unglazed ceramic tiles are a permitted type of wall material. The applicant is proposing 17-inch high unglazed porcelain tiles at the base of the walls. Staff notes that tile samples will be available at the meeting for Planning Commission review.

The applicant is proposing to repaint the east and north storefront elevations. Carmel Plaza Design Guideline states that *“storefront colors are required to lend a feeling of subtle, naturalistic elegance. They must blend in the natural surroundings, the base building and the adjacent storefronts.”* A dark brown color referred to as “Stewart House Brown” is proposed on the entry door, window frames, and on the columns. The applicant is also proposing to paint the new wood panels above the windows a light gray color referred to as “smooth stone.” The light gray color is also proposed near the exterior corner and on portions of the north elevation.

Staff is concerned that proposed color scheme may be inconsistent with the Carmel Plaza Guidelines. The strong contrast between the dark brown and light gray color could make the paint appear overly bright. Paint samples will be available at the meeting for the Commission to review. The Commission should determine whether the applicant should use a revised color scheme. A condition has been drafted requiring the color scheme be consistent with the Planning Commission’s direction.

Kitchen Service Door: The applicant is proposing a kitchen service door on the north elevation of the restaurant. There is an approximately 15-foot wide pathway outside the door that provides access to the Carmel Plaza from Mission Street. Photographs of this area are included as Attachment A. The location of the door and size of the pathway make it unlikely that the service door would disrupt circulation in this area. A condition has been drafted requiring the applicant to obtain authorization for the service door from the Monterey County Health Department, prior to the issuance of the building permit.

Environmental Review: The application qualifies for a Class 3 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the

State CEQA Guidelines. Class 3 exemptions include projects involving limited new construction projects and conversion of small structures.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Description
- Attachment E – Project Plans

Attachment A – Site Photographs



Project site – View from Mission Street, looking east



Project Site –North Elevation of Carmel Coffee, looking towards Mission Street



Project Site – North Elevation - Area of proposed new metal service door

Attachment B – Findings for Decision

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR DECISION

UP 14-18

OWRF Carmel, LLC (Carmel Coffee and Cocoa Bar)

Southeast Corner of Ocean Avenue and Mission St. (Carmel Plaza)

Block 78; Lots: All

APN: 010-086-006

CONSIDERATION:

Consideration of a Use Permit (UP 14-18) to enlarge an existing specialty restaurant located in the Central Commercial (CC) District

FINDINGS OF FACT:

1. The project site is located on the southeast corner of Ocean and Mission in the Central Commercial (CC) Zoning District.
2. On September 24, 2014, the applicant submitted a Use Permit application to enlarge an existing specialty restaurant at the subject location named Carmel Coffee and Cocoa Bar.
3. Carmel Municipal Code Section 17.14 Schedule II-B establishes that specialty restaurants are a conditionally permitted use and are subject to Planning Commission approval. This Use Permit (UP 14-18) supersedes all previous use permits at this location.
4. The application is exempt from the requirements of the California Environmental Quality Act (Class 3 – New Construction or Conversion of Small Structures).

FINDINGS FOR DECISION:

5. The proposed use, as conditioned, is not in conflict with the General Plan.
6. The proposed use, as conditioned, will comply with all zoning standards applicable to the use and zoning district.
7. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.
8. The proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, and fire protection.

9. The proposed use will not be injurious to public health, safety or welfare.
10. The proposed use will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.
11. The proposed use will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.

Attachment C – Conditions of Approval

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

DR 14-30/UP 14-18

OWRF Carmel, LLC (Carmel Coffee)

Southeast Corner of Ocean Avenue and Mission Street

Block: 78; Lots: All

APN: 010-086-006

PROJECT DESCRIPTION:

Consideration of Design Review (DR 14-30) and Use Permit (UP 14-18) applications for exterior alterations and the expansion of an existing restaurant located in the Central Commercial (CC) Zoning District

AUTHORIZATION:

1. This Design Review (DR 14-30) approval authorizes exterior alterations as conditioned by the Planning Commission, and as depicted on the November 12, 2014, approved plan set.
2. This Use Permit (UP 14-18) approval authorizes the enlargement of an existing 784-square foot specialty restaurant to 1,297 square feet as depicted on the November 12, 2014, approved plan set. The restaurant shall maintain its existing operation as a Specialty Restaurant as defined by Municipal Code Section 17.68.030. This Use Permit (UP 14-18) supersedes the original Use Permit (UP 02-05) for this restaurant (Carmel Coffee and Cocoa Bar).
3. A maximum of 22 seats is permitted. The customer seating area must be open to patron use during all hours of operation and the use must be managed to encourage on-premises consumption of food products.
4. The allowed days and hours of operation are from 7:00 a.m. to 6:00 p.m. Monday through Saturday and from 8:00 a.m. to 5:00 p.m. on Sunday.

STANDARD CONDITIONS:

5. The restaurant shall not operate as a "Drive-in, Formula Food or Fast Food" establishment as defined in CMC Section 17.70.
6. Food sold for consumption off the premises shall be incidental to the primary use. Such food shall be placed in covered containers or wrapping.

7. The sale of nonfood merchandise that is directly related to the use may be allowed when determined to be incidental to the primary use. The display of nonfood merchandise is prohibited.
8. Adequate facilities shall be provided on the site for the closed storage of trash and garbage generated by the use. The on-site storage shall be designed so that the area can be cleaned and the refuse removed without creating a public nuisance and without being placed on the sidewalks or other public ways. If the method of cooking used will generate hot ashes, a storage facility and disposal method shall first be approved by the Fire Department.
9. At least one restroom shall be available for use by both sexes within, or conveniently adjacent to, the specific business premises and on the same property on which the use is located. This restroom shall comply with all provisions of the State Uniform Building and Plumbing Codes as to the required size, location and accessibility standards, and shall be available for use by both the employees and patrons of the business.
10. Maximum seating capacity shall not exceed the standards in the State Uniform Building and Fire Codes, the number of seats approved by the Planning Commission through public review, or the number of seats in the previous business, whichever is less. The seating capacity shall be posted on the premises. This limit is a maximum and may be reduced by the Building Official to meet the State Uniform Building and Fire Codes.
11. Except as provided in CMC Sections 8.68.070 and 8.68.080, no restaurant shall provide prepared food to its customers in CFC-processed food packaging or polystyrene foam food packaging, nor shall any restaurant purchase, obtain, keep, sell, distribute, provide to customers or otherwise use in its business any CFC-processed food packaging or polystyrene foam food packaging. The restaurant shall comply with all other requirements in CMC Section 8.68.
12. The use shall be conducted in a manner consistent with the presentations and statements submitted in the application and at the public hearing, and any change in the use which would alter the findings or conditions adopted as part of this permit shall require approval of a new Use Permit by the City.
13. This Use Permit shall become void and in no further force or effect if the use is not initiated within six months and/or upon termination or discontinuance of the use for any period of time that exceeds six months.
14. Violations of the terms of this Use Permit or other ordinances of the City may constitute grounds for revocation of this Use Permit and the associated business license by the Planning Commission.

15. Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water use as compared to the previous use, this Use Permit will be scheduled for reconsideration.
16. A summary sheet of basic Use Permit requirements (allowed days, allowed hours, special mitigations) shall be posted on the premises or shall be available upon request by any enforcement officer of the City.
17. The applicant shall obtain all necessary permits from the Monterey County Health Department prior to building permit issuance.
18. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

SPECIAL CONDITIONS:

19. The new windows on the east elevation of Suite 122 shall include aluminum frames to be consistent with the windows on Suite 121. The applicant shall work with staff to ensure consistency in material and window-frame design. This change shall be noted on the plans submitted for the Building Permit.
20. The applicant shall revise the exterior color scheme as directed by the Planning Commission.
21. The applicant shall obtain authorization from the Monterey County Health Department for the north elevation kitchen service door prior to the issuance of the Building Permit.

***Acknowledgement and acceptance of conditions of approval.**

Applicant Signature

Printed Name

Date

Property Owner Signature

Printed Name

Date

CARMEL COFFEE AND COCOA BAR
122 Carmel Center Plaza, Courtyard Level, Carmel CA 93923

2014 COFFEE SHOP RENOVATION

PROJECT DESCRIPTION

AMEND EXISTING RETAIL USE:

Remove existing demising wall between the Carmel Coffee and Cocoa Bar (Suite 122) and Suite 121, thereby increasing the existing Suite 122 square footage of 784 SF by 513 SF, for a total of 1,297 SF.

Add 22'-6" of built-in booth seating for (15) seats and increase indoor chair seating by (4) for total of (7) chair seats, for a grand total of 22 seats. (Existing seats = 12 and existing occupancy = 22). Proposed occupancy: 22(Suite 122) + 16(Suite 121) = 38.

INTERIOR RENOVATIONS:

- Add 12"x24" porcelain floor tile in "Metro Gris" light tan color throughout suite space;
- Increase countertop length by 3'-0" and include 6'-0" of ADA countertop at 34" high;
- Add new wood paneled base cabinets throughout;
- Paint interior wall surfaces in "Smooth Stone", light gray color;
- Paint interior window and door trim in "Stewart House Brown" dark brown color;

EXTERIOR RENOVATIONS:

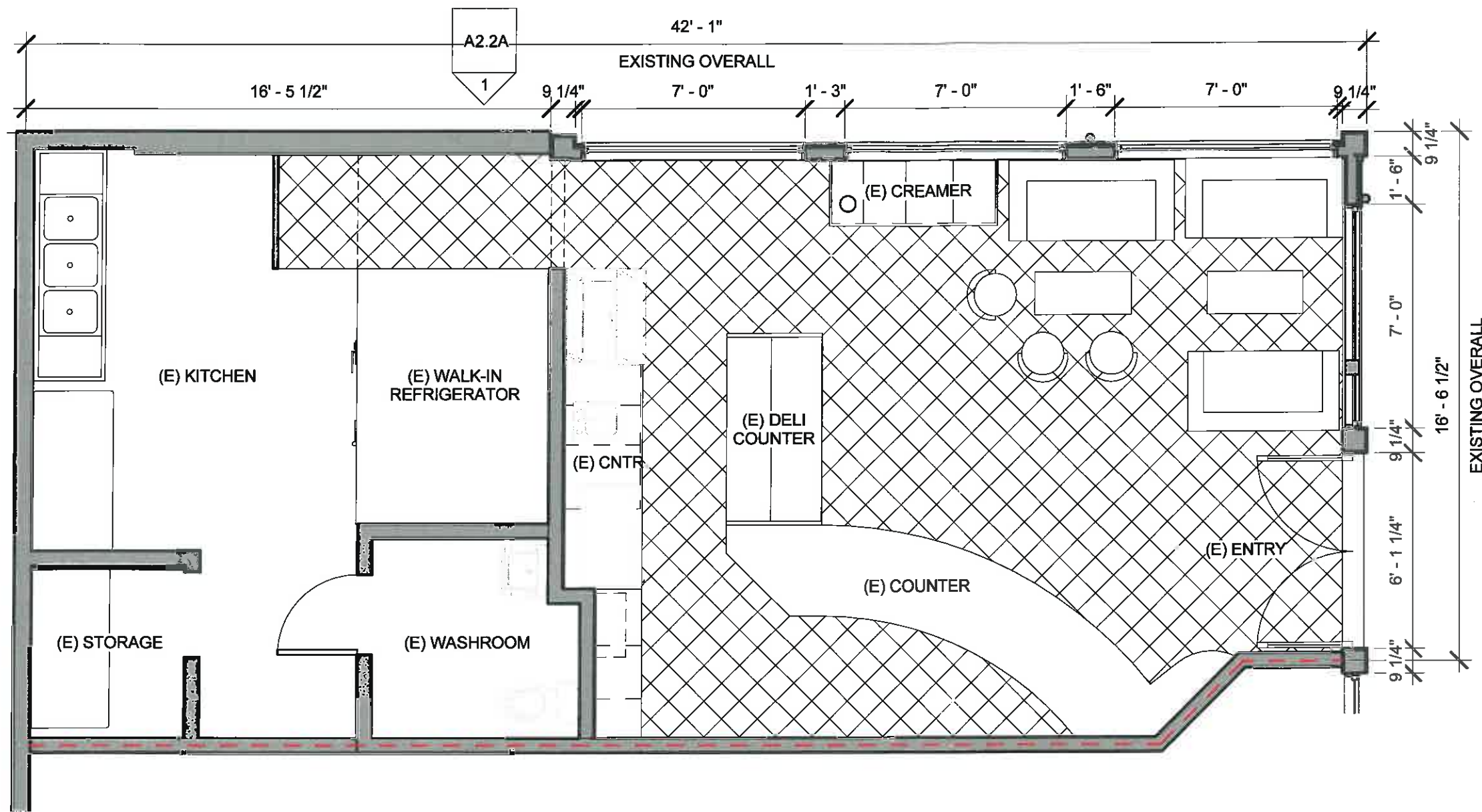
- Reuse existing doors to swing outwards into a new 6'-1 1/4" wide x 4'-1" deep recess along entrance storefront elevation, ceiling to be MDF wood panel paint with "Smooth Stone" light gray color;
- Add (2) 35" wide side windows in new recessed entry--sill heights, glazing type and wood sill, side trim and head trim to match existing wood window frames of Suite 122;
- Reuse existing aluminum frame storefront windows from Suite 121 and align sill heights to match Suite 122;
- Add 2 1/2" wide vertical wood muntins to exterior and interior window glazing at entrance exterior elevation of Suite 122 to match relocated storefront windows from Suite 121;
- Add 9 1/4" wide vertical wood trim at entry door recess to match existing columns;
- Add MDF board center panels above exterior windows and paint with "Smooth Stone" light gray color;
- Add wood trim around MDF painted center panels and paint with "Stewart House Brown" dark brown color;
- Add 12"x24" porcelain tile "Metro Charcoal" medium gray color at base of exterior walls;
- Add MDF paneling boards between windows and paint with "Smooth Stone" light gray color;
- Add 3'-0" x 7'-0" metal service door on north elevation for deliver access into existing kitchen.

Prepared by:
Matthew Evan Porges
831.238.7979

RECEIVED

SEP 24 2014

City of Carmel-by-the-Sea
Planning & Building Dept.



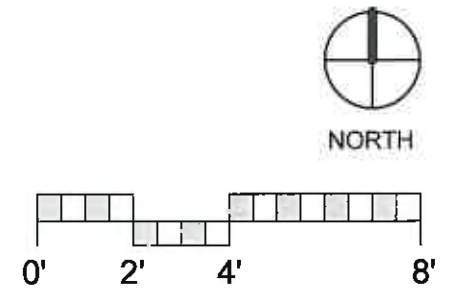
EXISTING SEATS:

(3) SOFAS =	9
CHAIRS =	3
TOTAL =	12

EXISTING OCCUPANCY: 22

1 EXISTING FLOOR PLAN *EXISTING SF SUITE 122 = 784 SF*
 1/4" = 1'-0"

RECEIVED
 SEP 24 2014
 City of Carmel-by-the-Sea
 Planning & Building Dept.

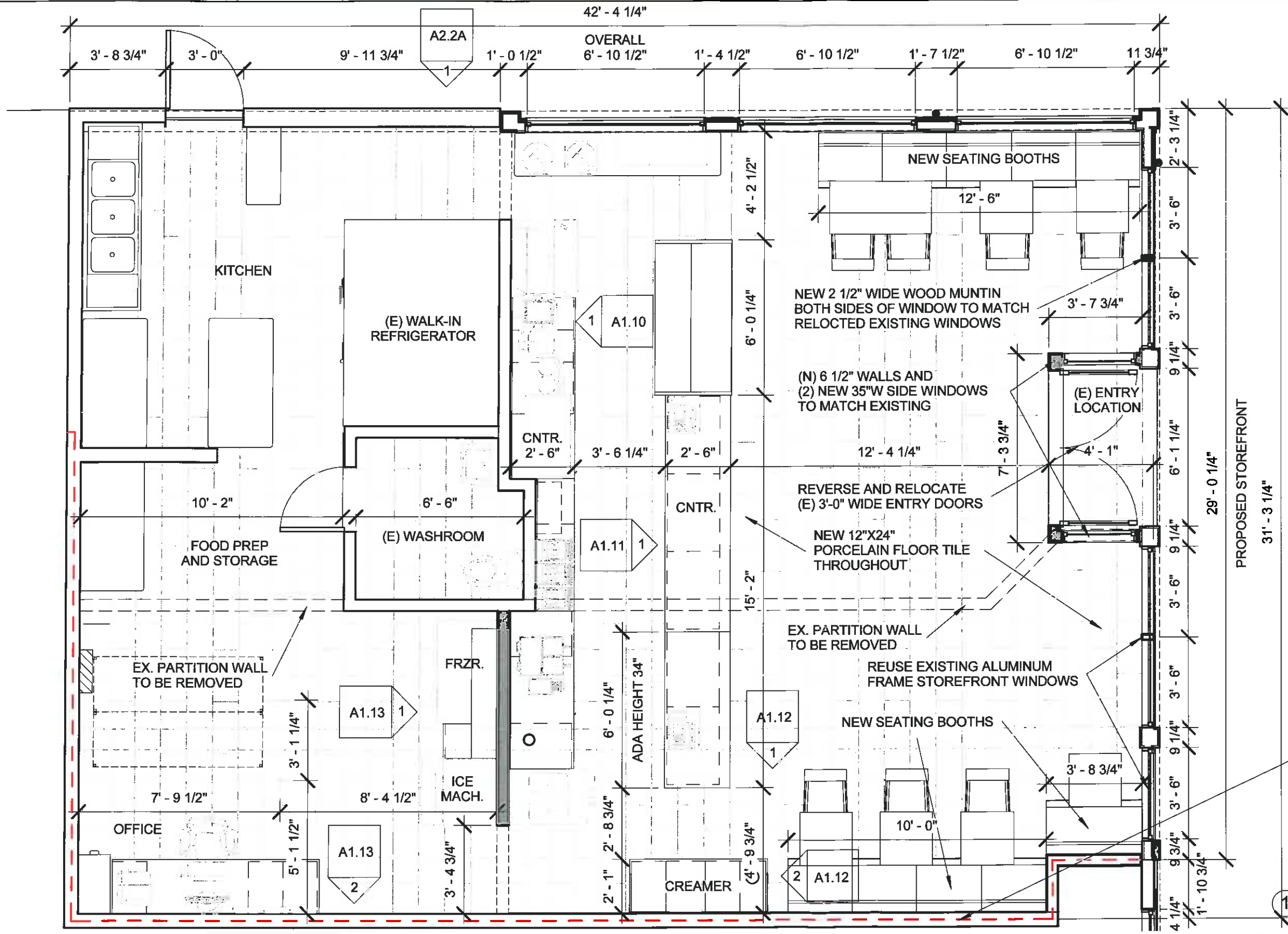


MATTHEW EVAN PORGES
 ARCHITECTURE LAND ARCHITECTURE
 831.238.7979
 matthewevanporges@gmail.com

**CARMEL COFFEE AND
 COCOA BAR
 CARMEL PLAZA**

No.	Description	Date

EXISTING FLOOR PLAN	
Project number 2014-1	A1.0 Scale 1/4" = 1'-0"
Date SEPTEMBER 23, 2014	
Drawn by MP	
Checked by MP	

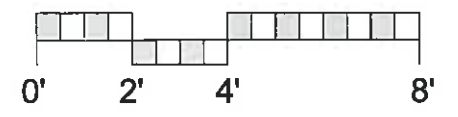


EX. SUITE 122 = 784 SF
 EX SUITE 121 = 513 SF
TOTAL COMBINED SF OF BOTH SUITES = 1,297 SF

MSP
 11.6.14

PROPOSED SEATS:
 BOOTHS = 22'-6" / 18" = 15
 CHAIRS = 7
 TOTAL = 22

PROPOSED OCCUPANCY:
 22(EX.) + 16 (EX.) = 38



① FLOOR LEVEL
 1/4" = 1'-0"

MATTHEW EVAN PORGES
 ARCHITECTURE LAND ARCHITECTURE
 831.238.7979
 matthewevanporges@gmail.com

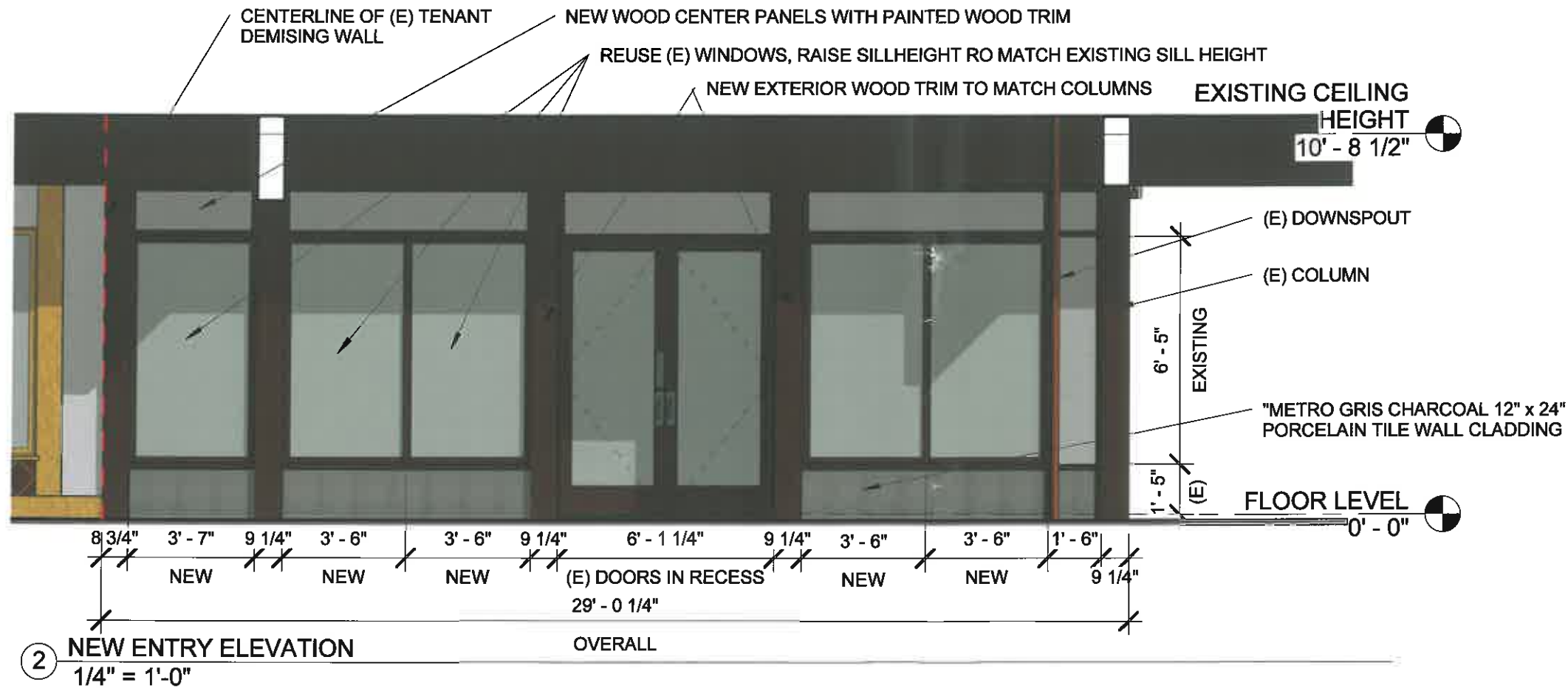
**CARMEL COFFEE AND
 COCOA BAR
 CARMEL PLAZA**

No.	Description	Date

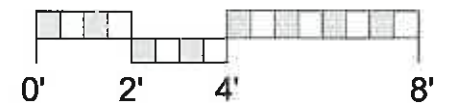
NEW FLOOR PLAN	
Project number	2014-1
Date	SEPTEMBER 23, 2014
Drawn by	MP
Checked by	MP
A1.1	
Scale 1/4" = 1'-0"	



1 EXISTING ENTRY ELEVATION
SCALE: 1/4" = 1'-0"



2 NEW ENTRY ELEVATION
1/4" = 1'-0"



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CARMEL COFFEE AND
COCOA BAR
CARMEL PLAZA

No.	Description	Date

EXISTING AND NEW ENTRY ELEVATIONS

Project number 2014-1
Date SEPTEMBER 23, 2014
Drawn by MP
Checked by MP

A2.1

Scale 1/4" = 1'-0"

T.O. PLATE SOUTH
WALL COLE HAAN
28' - 11 1/2"

SECOND FLOOR
T.O. PLATE
23' - 8 1/2"

EXISTING SECOND FLOOR
NOT PART OF RENOVATION

EXISTING DOWNSPOUT TO REMAIN

EXISTING BEAM

EXISTING WOOD T&G SIDING TO BE REMOVED

EXISTING STUCCO EXTERIOR
FINISH AND COLOR BY CARMEL
PLAZA OWNER

SECOND FLOOR
LEVEL
11' - 9 1/2"

EXISTING EXHAUST VENTS
TO REMAIN

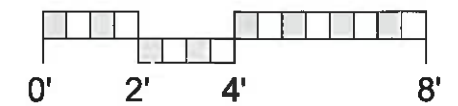
(3) EXISTING WINDOWS

EXISTING COLUMN

EXISTING STUCCO
EXTERIOR FINISH

FLOOR LEVEL
0' - 0"

① EXISTING - NORTH ELEVATION
1/4" = 1'-0"



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CARMEL COFFEE AND
COCOA BAR
CARMEL PLAZA

No.	Description	Date

EXISTING NORTH ELEVATION

Project number 2014-1
Date SEPTEMBER 23, 2014
Drawn by MP
Checked by MP

A2.2

Scale 1/4" = 1'-0"

T.O. PLATE SOUTH
WALL COLE HAAN
28' - 11 1/2"

SECOND FLOOR
T.O. PLATE
23' - 8 1/2"

EXISTING SECOND FLOOR
NOT PART OF RENOVATION

NEW WOOD CENTER PANELS
WITH PAINTED WOOD TRIM
TO MATCH EXISTING

EXISTING STUCCO COLOR BY
PLAZA OWNER

EXISTING DOWNSPOUT TO REMAIN
PAINTED TO MATCH WALL AND
BEAM COLORS

SECOND FLOOR
LEVEL
11' - 9 1/2"

EXISTING EXHAUST VENTS
TO REMAIN

EXISTING EXHAUST VENTS
TO REMAIN

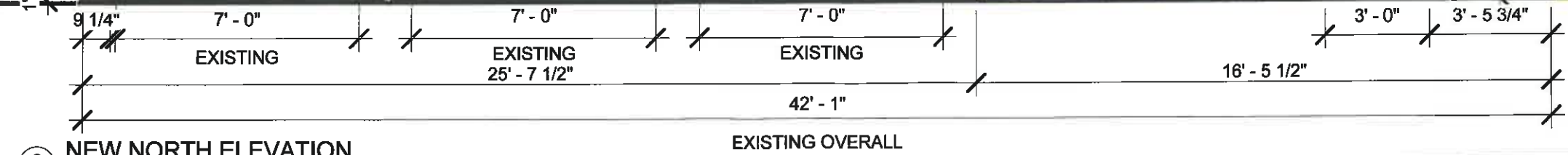
NEW 36"W METAL SERVICE DOOR

EXISTING WOOD WINDOW SILL,
SIDE AND HEAD TRIM TO REMAIN

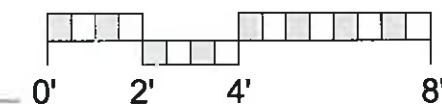
3 (E) WINDOWS
TO REMAIN

NEW "METRO GRIS CHARCOAL"
PORCELAIN TILE
WALL CLADDING

FLOOR LEVEL
0' - 0"



② NEW NORTH ELEVATION
1/4" = 1'-0"



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No.	Description	Date

NEW NORTH ELEVATION	
Project number	2014-1
Date	SEPTEMBER 23, 2014
Drawn by	MP
Checked by	MP
A2.3	
Scale 1/4" = 1'-0"	



VIEW FROM MISSION STREET



VIEW OF ENTRY STOREFRONT



VIEW OF NORTH STOREFRONT

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CARMEL COFFEE AND
 COCOA BAR
 CARMEL PLAZA

No.	Description	Date

EXISTING STOREFRONT IMAGES

Project number 2014-1
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 Checked by MP

A2.4

Scale