

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
REGULAR MEETING AGENDA**

Regular Meeting
City Hall
East Side of Monte Verde Street
Between Ocean & Seventh Avenues

October 8, 2014
Wednesday
Tour – 2:00 p.m.
Meeting – 4:00 p.m.

A. CALL TO ORDER AND ROLL CALL

Commissioners: Jan Reimers, Chair
 Michael LePage, Vice-Chair
 Keith Paterson
 Don Goodhue
 Ian Martin

B. TOUR OF INSPECTION

Shortly after 2:00 p.m., the Commission will leave the Council Chambers for an on-site Tour of Inspection of all properties listed on this agenda (including those on the Consent Agenda). The Tour may also include projects previously approved by the City and not on this agenda. Prior to the beginning of the Tour of Inspection, the Commission may eliminate one or more on-site visits. The public is welcome to follow the Commission on its tour of the determined sites. The Commission will return to the Council Chambers at **4:00 p.m.** or as soon thereafter as possible.

C. ROLL CALL

D. PLEDGE OF ALLEGIANCE

E. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS

F. APPEARANCES

Anyone wishing to address the Commission on matters not on the agenda, but within the jurisdiction of the Commission, may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Commission agenda will not receive action at this meeting but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as otherwise established by the Commission Chair. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

G. CONSENT AGENDA

Items placed on the Consent Agenda are considered to be routine and are acted upon by the Commission in one motion. There is no discussion of these items prior to the Commission action unless a member of the Commission, staff, or public requests specific items be discussed and removed from the Consent Agenda. It is understood that the staff recommends approval of all consent items. Each item on the Consent Agenda approved by the Commission shall be deemed to have been considered in full and adopted as recommended.

1. Consideration of draft minutes from September 10, 2014 Regular Meeting
2. DS 14-50 (Mussallem) Consideration of Final Design Study (DS 14-50)
San Carlos 2 SE of 13th Ave. and associated Coastal Development Permit
Blk: 142, Lots: S ½ of lots 4 & 6 application for the construction of a new
APN: 010-162-025 residence located in the Single-Family
Residential (R-1) Zoning District

H. PUBLIC HEARINGS

If you challenge the nature of the proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

1. BD 14-01 (Fronterhouse) Consideration of a Public Bench and Plaque
Gerald Fronterhouse Donation application for the installation of a bench
South side of Scenic Avenue on the Beach Bluff Pathway on Scenic Drive near
Bet. 10th and 11th Avenues Tenth Avenue
2. UP 14-04 (Barmel) Review and Possible Amendment or Revocation of
Gabriel Georis Use Permit (UP 14-04) which allowed live music at
San Carlos 2 NE of 7th Ave. an existing restaurant/bar located in the Central
Block 77; Lot 16 Commercial (CC) Zoning District
APN: 010-141-005
3. DS 14-29 (Darley) Consideration of Final Design Study (DS 14-29) and
Robert Darley associated Coastal Development Permit applications
Santa Rita 2 Southwest of 2nd Ave. for the demolition of an existing residence and
Blk 24; West ½ of Lots 1 & 3 construction of a new residence located in the
APN: 010-028-002 Single-Family Residential (R-1) Zoning District
4. DS 14-92 (Daost) Consideration of Design Study (DS 14-92) for the
Robert Daost replacement of a wood-shake roof with composition
Dolores 3 NE of 1st shingles on a residence located in the Single-Family

- | | |
|---|--|
| Blk: 6.5, Lot: S pt. of 12 & 14
APN: 010-116-016 | Residential (R-1) District |
| 5. SI 14-36 (CPines 7, LLC)
CPines 7, LLC
SE Corner of 7 th & Dolores
Blk: 91, Lots: 2, 4, 6, & 8
APN: 010-145-020 | Consideration of Sign Application (SI 14-36) for the installation of two business signs at a commercial building located in the Service Commercial (SC) Zoning District |
| 6. DS 14-17 (Debus)
Laura Debus
Monte Verde 2 SW of 9 th Ave
Blk: D, Lot: 3
APN: 010-186-017 | Consideration of Concept Design Study (DS 14-17) and associated Coastal Development Permit application for the addition of a second story to an existing residence located in the Single-Family Residential (R-1) Zoning District |
| 7. DR 14-21/UP 14-16 (Goese)
Myrna Goese
Lincoln Street 2 SW of Ocean Ave
Block: 74, Lot: 9
APN: 010-201-002 | Consideration of a Design Review (DR 14-21), Use Permit (UP 14-16), and associated Coastal Development Permit application for alterations to a commercial building located in the Central Commercial (CC) Zoning District (La Rambla Building) |
| 8. DS 14-90 (Shannon)
Carl and Dianne Shannon
Monte Verde 3 NW of 4 th Ave
Blk: II, Lots: 9 & 11;
APN: 010-223-032 | Consideration of Concept Design Study (DS 14-90) and associated Coastal Development Permit application for the construction of a new residence located in the Single-Family Residential (R-1) Zoning District |

I. DIRECTOR'S REPORT

1. Update from the Director

J. SUB-COMMITTEE REPORTS

1. Report from Sub-Committees

K. ADJOURNMENT

The next meeting of the Planning Commission will be:

Regular Meeting – Wednesday, November 12, 2014, at 4:00 p.m.

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. Carmel-by-the-Sea City Hall is an accessible facility. The City of Carmel-by-the-Sea

telecommunications device for the Deaf/Speech Impaired (T.D.D.) Number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request of the Administrative Coordinator. If you need assistance, please advise the Planning Commission Secretary what item you would like to comment on and the microphone will be brought to you.

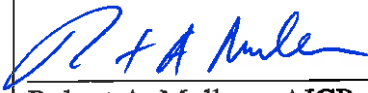
NO AGENDA ITEM WILL BE CONSIDERED AFTER 8:00 P.M. UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE PLANNING COMMISSION. ANY AGENDA ITEMS NOT CONSIDERED AT THE MEETING WILL BE CONTINUED TO A FUTURE DATE DETERMINED BY THE COMMISSION.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning & Building Department located in City Hall, east side of Monte Verde between Ocean & 7th Avenues, during normal business hours.

AFFIDAVIT OF POSTING

I, Robert A. Mullane, AICP, Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln Avenues and the Carmel Post Office and distributed to members of the media on October 2, 2014.

Dated this 2nd day of October 2014 at the hour of 4:15 p.m.



Robert A. Mullane, AICP
Community Planning and Building Director

**ITEM G1. MINUTES FROM 09/10/14 PLANNING
COMMISSION MEETING**

THIS ITEM WILL BE PROVIDED SEPARATELY

square foot detached garage. All existing site coverage would be removed and replaced with new site coverage.

The applicant's proposal includes:

- 1) the demolition of the existing two-story, split-level residence
- 2) the removal of 925 square feet of existing site coverage
- 3) the construction of a new 2,210-square foot two-story, split-level residence
- 4) the construction of a new 242-square foot detached garage in the front yard setback
- 5) the installation of 568 square feet of new site coverage, including a permeable paver driveway, a stone front porch and steps, a stone courtyard terrace, and a new permeable paver walkway

The new split-level residence and detached garage would be clad with a combination of Frasier 5" wood shingles and Fond du lac rustic stone veneer siding with a wood shake roof. All exterior doors and windows will be unclad wood, painted white.

The Planning Commission reviewed this project on September 10, 2014, and expressed general support for the design, but continued the project with a request for certain changes. The applicant has revised the design to address the recommendations made by the Planning Commission.

PROJECT DATA FOR A 6,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,460 sf (41%)	1,754 sf (29.2%)	2,452 sf (40.9%)
Site Coverage	781 sf (13%)	925 sf (15.4%)	568 sf (9.5%)
Trees (upper/lower)	4/3 (recommended)	13/7	7/3
Ridge Height (1 st /2 nd)	18 ft/24 ft	N/A - Demo	16 ft 6 in/ 21 ft 6 in
Plate Height (1 st /2 nd)	12 ft/ 18 ft	N/A - Demo	8 ft 6 in/18 ft
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	14 ft 5 in	2 ft 2 in (garage)
Composite Side Yard (house/garage)	15 ft (25%)	20 ft (33%)	15 ft 4in (25.5%)
Minimum Side Yard	3 ft.	3.5 ft.	3 ft
Rear	3 ft	10 ft	15 ft 3 in

Staff analysis:

Previous Hearing: The following is a list of recommendations made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The applicant shall remove the three non-significant Black acacia trees along the north property line. This change shall be noted on the proposed site plan and landscape plan on the Final Design Study plan set.*

Analysis: The applicant has noted on the proposed site plan that all three Black acacia trees along the north property line are to be removed. The applicant is not proposing new landscaping therefore a landscape plan is not required to be submitted.

2. *The applicant shall work with the case Planner, City Forester, and the neighbor to the north to propose an appropriate number of species of trees to be located along the north property line between the neighbor to the north and the proposed second-story. The trees will serve to screen the proposed second-story residence from the northern neighbor's courtyard and residence.*

Analysis: The case Planner, City Forester, property owner, and neighbor met on the subject property to discuss the existing trees along the northern property line and the potential for new trees to be planted to provide privacy to the northern neighbor's courtyard and residence. The neighbor has no privacy concerns with the proposed new residence, and has expressed his preference that no new trees be planted along the northern property line in order to allow more sunlight to reach his property. Staff has eliminated this prior condition from the Conditions of Approval.

3. *Prior to final building inspection, the applicant shall remove all existing gravel, brick walkway, asphalt, and rock boulders from the City ROW.*

Analysis: The applicant has noted on the proposed site plan that all existing hardscape encroachments in the City ROW will be removed. Planning staff will conduct a site visit to verify the encroachments have been removed from the City ROW prior to final inspection.

Other Project Components:

Fencing: The applicant is proposing to replace the existing 6-foot high grape stake fence along the north and south side-yard property lines and the east rear-yard property line with a 6-foot high grape stake fence. Approximately, 39 feet from the front property line located in the south side-yard, a 6-foot high fence and gate will be replaced with a new 6-foot high fence and gate.

In addition, in the front yard setback in the north side-yard, a 4-foot high fence and gate will be replaced with a new 4-foot high fence and gate.

Detached Garage: Residential Design Guideline 6.2 states that “parking facilities that maintain or enhance variety along the street edge are encouraged.” CMC 17.10.030 allows for detached garages and carports to encroach into the front and/or side yard setbacks if certain standards can be met. These include avoiding impacts on significant trees and providing diversity to the streetscape.

A garage does not currently exist on the property. A new 242-square foot detached garage is proposed to be built approximately 2 feet 2 inches from the front property line along San Carlos Street. Staff supports the location of the new garage as it provides diversity to the neighborhood streetscape and does not impact significant trees on the property. At staff’s request, the applicant has moved the proposed new garage so that it is set back more than 6 feet, specifically 6 ft 2½ in from the 40-inch diameter pine tree located in the San Carlos ROW.

Exterior Lighting: Carmel Municipal Code Section 15.36.070.B. provides exterior lighting requirements for the R-1 Zoning District. This section requires that the exterior wall-mounted lighting not to exceed 25 Watts incandescent equivalent (i.e., approximately 375 lumens) per fixture. For comparison, a 25-Watt compact fluorescent lamp (CFL) produces 1600 lumens, which is more than 4 times the City’s allowable lighting intensity. The maximum wattage of a CFL bulb that would meet the City’s 375 lumen maximum would be about 6 Watts.

The applicant is proposing 13-Watt CFL exterior lights, which produce approximately 800 lumens. This wattage generates a lighting intensity roughly equivalent to a 60-Watt incandescent bulb, which exceeds the City’s exterior lighting standards. A condition of approval has been drafted for the applicant to revise the lighting fixtures on the plan set to comply with City exterior lighting requirements.

Environmental Review:

The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – Construction or modification of a limited number of new or existing small structures. The proposed new residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans

Attachment A – Site Photographs

Facing south near the corner of San Carlos Street and 13th Ave.



Looking southeast from the corner of San Carlos Ave and 13th Street



Front of residence along San Carlos Street



New detached garage proposed in front yard setback



Attachment B – Findings for Approval

DS 14-50 (Mussallem)
 October 8, 2014
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	
Coastal Development Findings (CMC 17.64.B.1):		
13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	

Attachment C – Conditions of Approval

DS 14-50 (Mussallem)
 October 8, 2014
 Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 14-50) authorizes the demolition of the existing two-story, split-level residence, the removal of 925 square feet of existing site coverage, the construction of a new 2,210-square foot two-story, split-level residence, the construction of a new 242-square foot detached garage in the front yard setback, and the installation of 568 square feet of new site coverage.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	N/A
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If	✓

	roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	N/A
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden	✓

	mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted	N/A

	to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	N/A
	Special Conditions	
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
22.	The applicant shall remove the three non-significant Black acacia trees along the north property line.	✓
23.	Prior to final building inspection, the applicant shall remove all existing gravel, brick walkway, asphalt, and rock boulders from the City ROW.	✓
24.	The applicant shall revise the proposed exterior wall-mounted lighting to comply with Standard Condition #9, and shall provide this revision on the construction plan set submitted with the Building Permit application.	✓

*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

 Printed Name

 Date

Once signed, please return to the Community Planning and Building Department.

GENERAL NOTES

PROJECT DATA

SCOPE OF WORK:
DEMOLITION OF AN EXISTING SINGLE-FAMILY RESIDENCE.
BUILD NEW DETACHED 1-CAR GARAGE AND SINGLE-FAMILY RESIDENCE.
NEW DRIVEWAY, STONE PORCH, AND TERRACE.
TREE REMOVAL AS NOTED ON THE PLAN.

CONSTRUCTION TYPE: V-B
OCCUPANCY: R-3
FIRE SPRINKLERS: NO
WATER: CAL-AM (E)
SEWER: CARMEL AREA WASTE WATER DISTRICT (E)

TREE REMOVAL: TEN (10) NOT SIGNIFICANT
1-4" REDWOOD
5-3", 4", 12", 12", 18" MONTEREY PINE
1-4" ITALIAN STONE PINE
3-10", 7", 13" BLACK ACACIA

GRADING: NONE

SITE COVERAGE CALCULATIONS:

(E) PATIO, WALKWAYS: 622 SF
(E) DECK, ROCK PATIO: 303 SF

TOTAL (E) COVERAGE: 925 SF
*ALL (E) COVERAGE WILL BE REMOVED
*MAX. ALLOWABLE COVERAGE = 781 SF

(N) DRIVEWAY: 20 SF (PERMEABLE PAVERS)
(N) FRONT PORCH + STEPS: 129 SF (IMPERMEABLE, STONE TILE)
(N) COURTYARD TERRACE: 333 SF (IMPERMEABLE, STONE TILE)
(N) WALKWAY: 86 SF (PERMEABLE PAVERS)

TOTAL (N) COVERAGE: 568 SF
*REDUCED BY 357 SF

FLOOR AREA CALCULATIONS:

(E) HOUSE: 1,754 SF
(E) GARAGE (NONE): 0/SF

TOTAL (E) SF: 1,754 SF

(N) HOUSE, 1ST FLOOR: 1,735 SF
(N) HOUSE, 2ND FLOOR: 475 SF
(N) DETACHED GARAGE: 242 SF

TOTAL, PROPOSED SF: 2,452 SF

*NOTE: MAX. ALLOWABLE 2,460 SF

SHEET INDEX

- A1 PROJECT DATA AND SITE LOCATION
- A2 NOTES AND SPECIFICATIONS, STREET ELEVATIONS
ANNOTATED SITE SURVEY
- A3.0 SITE PLAN, DEMOLITION
- A3.1 SITE PLAN, EXISTING + PROPOSED
- A4 PROPOSED 1ST AND 2ND FLOOR PLANS
- A5 PROPOSED ROOF PLAN
- A6 FLOOR LEVEL MAP + SCHEDULES
- A7 PROPOSED BUILDING ELEVATIONS
- A8 PROPOSED BUILDING ELEVATIONS
- A9 RENDERINGS

PROJECT LOCATION

PROJECT DATA

PROPERTY ADDRESS: SAN CARLOS STREET 2 SOUTH/EAST OF 13TH AVENUE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

BLOCK/LOT: BLOCK 142, LOT 6, 1/2 OF LOT 4
A.P.N. 010-162-025-000

ZONING: R-1 SINGLE FAMILY RESIDENTIAL

OWNER: GREG AND PATRICIA MUSSALLEM
PO BOX 5144
CARMEL-BY-THE-SEA, CALIFORNIA 93921
PHONE: (831) 264-3419

ARCHITECT: **ADAM JESELNICK ARCHITECT**
3069 LORCA LANE
CARMEL, CA 93923
PHONE: (831) 620.5164 m
CONTACT: ADAM JESELNICK AIA
EMAIL: aejarch@gmail.com

SURVEYOR: RASMUSSEN LAND SURVEYING
PO BOX 3135
MONTEREY, CA 93942
PHONE: (831)375-3240

CONTRACTOR: CONTACT:
EMAIL:



1 VICINITY MAP
SCALE: N.T.S

RECEIVED
SEP 17 2014
City of Carmel-by-the-Sea
Planning & Building Dept.

ADAM JESELNICK ARCHITECT

MUSSALLEM RESIDENCE
SAN CARLOS 2 S/E 13TH AVENUE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

TITLE SHEET

07-29-2014

AS NOTED

A1

REVISION #	1	06/17/2014	PLANNING RE-SUBMITTAL
	2	07/29/2014	PLANNING RE-SUBMITTAL
	3	09/17/2014	FINAL DESIGN SUBMITTAL

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; **DO NOT SCALE DRAWINGS** FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE **2013 CALIFORNIA RESIDENTIAL BUILDING CODE (CBC)**; CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.

**CITY OF CARMEL-BY-THE-SEA
CONDITIONS of APPROVAL**

1. THE APPLICANT SHALL REMOVE THE THREE NON-SIGNIFICANT BLACK ACACIA TREES ALONG THE NORTH PROPERTY LINE. THIS CHANGE SHALL BE NOTED ON THE PROPOSED SITE PLAN/ LANDSCAPE PLAN ON THE FINAL DESIGN STUDY PLAN SET.
2. PRIOR TO FINAL BUILDING INSPECTION, THE APPLICANT SHALL REMOVE ALL EXISTING GRAVEL, BRICK WALKWAY, ASPHALT, AND ROCK BOULDERS FROM THE CITY RIGHT-OF-WAY.

SPECIFICATIONS

SPECIFICATIONS AS NOTED ON THE ARCHITECTURAL AND ENGINEERING PLANS.

GRADING / DRAINAGE NOTES

NO GRADING PROPOSED. EXISTING DRAINAGE TO REMAIN.



REVISION #	DATE	DESCRIPTION
1	06/17/2014	PLANNING RE-SUBMITTAL
2	07/29/2014	PLANNING RE-SUBMITTAL
3	09/17/2014	FINAL DESIGN SUBMITTAL

ADAM JESELNICK
ARCHITECT

MUSSALLEM RESIDENCE
SAN CARLOS 2 S/E 13TH AVENUE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

NOTES & SPECIFICATIONS

07-29-2014

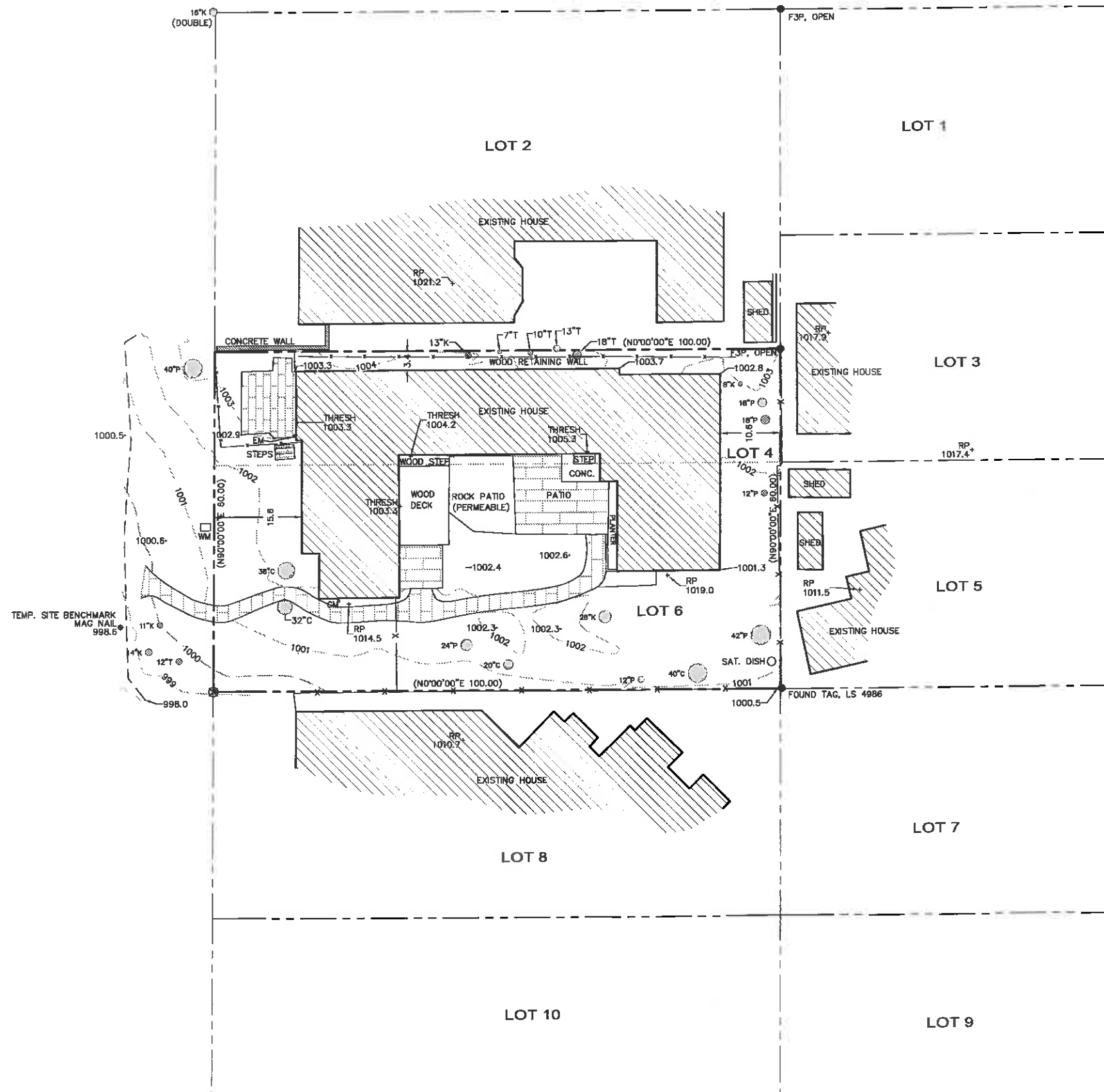
SCALE: 1/8" = 1'-0"

A2

13TH AVENUE

(A 50' WIDE CITY STREET)

SAN CARLOS STREET
(A 60' WIDE CITY STREET)



NOTES:

THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.

THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED. INFORMATION REGARDING UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES.

ELEVATIONS ARE BASED ON AN ARBITRARILY ASSUMED DATUM AS NOTED.

GROUND MAY BE MORE IRREGULAR THAN CONTOURS INDICATE.

DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.

WHERE DATA DIFFERS, PARENTHESES DENOTE RECORD DATA.

THE CROSS SYMBOL (+) MARKS THE HORIZONTAL POSITION OF THE SPOT ELEVATION SHOWN.

TREE SYMBOLS ARE DRAWN TO SCALE ONLY APPROXIMATELY.

SUFFICIENT BOUNDARY TIES WERE MADE TO GRAPHICALLY SHOWN EXISTING FEATURES; A COMPLETE BOUNDARY SURVEY WAS NOT DONE AT THIS TIME.

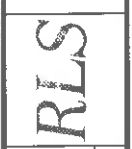
TOTAL SQUARE FOOTAGE OF 1/2 LOT 4 & LOT 6 = 6000 SQ. FT.

ABBREVIATIONS & SYMBOLS:

- | | |
|---|--------------------------------------|
| 6"C = 6" CYPRESS TREE | 6"K = 6" OAK TREE |
| 6"P = 6" PINE TREE | 6"T = 6" TREE (UNIDENTIFIED) |
| F3P = FOUND 3/4" IRON PIPE, TAGGED AS INDICATED | |
| EM = ELECTRIC METER | ⊗ SET LATH AT APPROXIMATE LOT CORNER |
| GM = GAS METER | — WOOD FENCE |
| RP = ROOF PEAK | ▭ BRICK FEATURE |
| WM = WATER METER | |

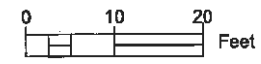
DATE OF SURVEY: MAR. 4, 2014
DRAWING SCALE: 1" = 10'
DRAWN BY: BC/GH
REVISED:

RASMUSSEN LAND SURVEYING, INC.
P.O. BOX 3135
MONTEREY, CALIFORNIA 93942
(831)375-7240 (831)375-2545 FAX



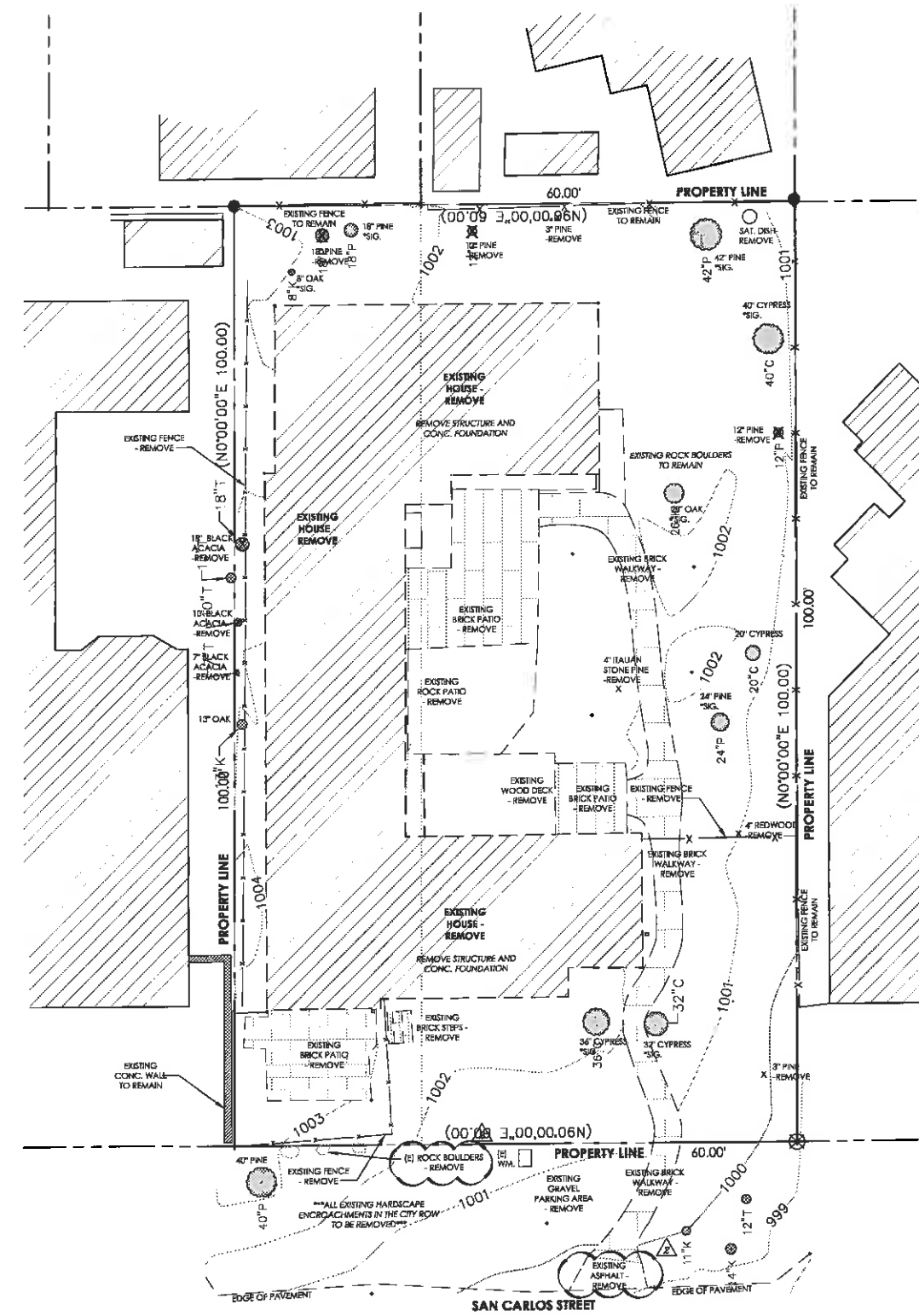
TOPOGRAPHIC SURVEY
SHOWING CURRENT CONDITIONS ON THE REAL PROPERTY DESCRIBED AS THE SOUTH 1/2 OF LOT 4 AND ALL OF LOT 6 IN BLOCK 142, ADD. NO. 2, CARMEL-BY-SEA, VOL. 1, "CITIES AND TOWNS", PG. 44-1/2, MONTEREY COUNTY RECORDS, CALIFORNIA.

PROJECT NO. 14017
PREPARED FOR: GREG NUSSALLEM



SITE PLAN NOTES:

1. TREE REMOVAL AS NOTED ON PLAN AND APPLICATION. NO CONSTRUCTION IMPACTS TO SIGNIFICANT TREES.
2. NO CHANGE TO EXISTING SITE DRAINAGE.
3. COORDINATE UTILITIES WITH PG&E, CAWD, CAL-AM, UNDERGROUND EXISTING ELECTRICAL LINE.
4. DEMOLITION OF EXISTING HOUSE AND FOUNDATION.
5. DEMOLITION OF ALL EXISTING (NON-CONFORMING) SITE COVERAGE, INCLUDING WALKWAYS, DECKS, AND STEPS.
6. EXISTING PROPERTY LINE FENCING TO REMAIN AS NOTED. REPAIR AS NEEDED WITH LIKE MATERIALS.
7. ALL EXISTING LANDSCAPE AREAS TO REMAIN.
8. *ALL* EXISTING ENROACHMENTS IN THE CITY RIGHT-OF-WAY, INCLUDING BRICK PATHWAY, ASPHALT PATH, BOULDERS, AND GRAVEL PARKING AREA SHALL BE REMOVED.
9. EXISTING SITE PLAN BASED ON SURVEY PROVIDED BY RASMUSSEN LAND SURVEYING, DATED MARCH 4, 2014



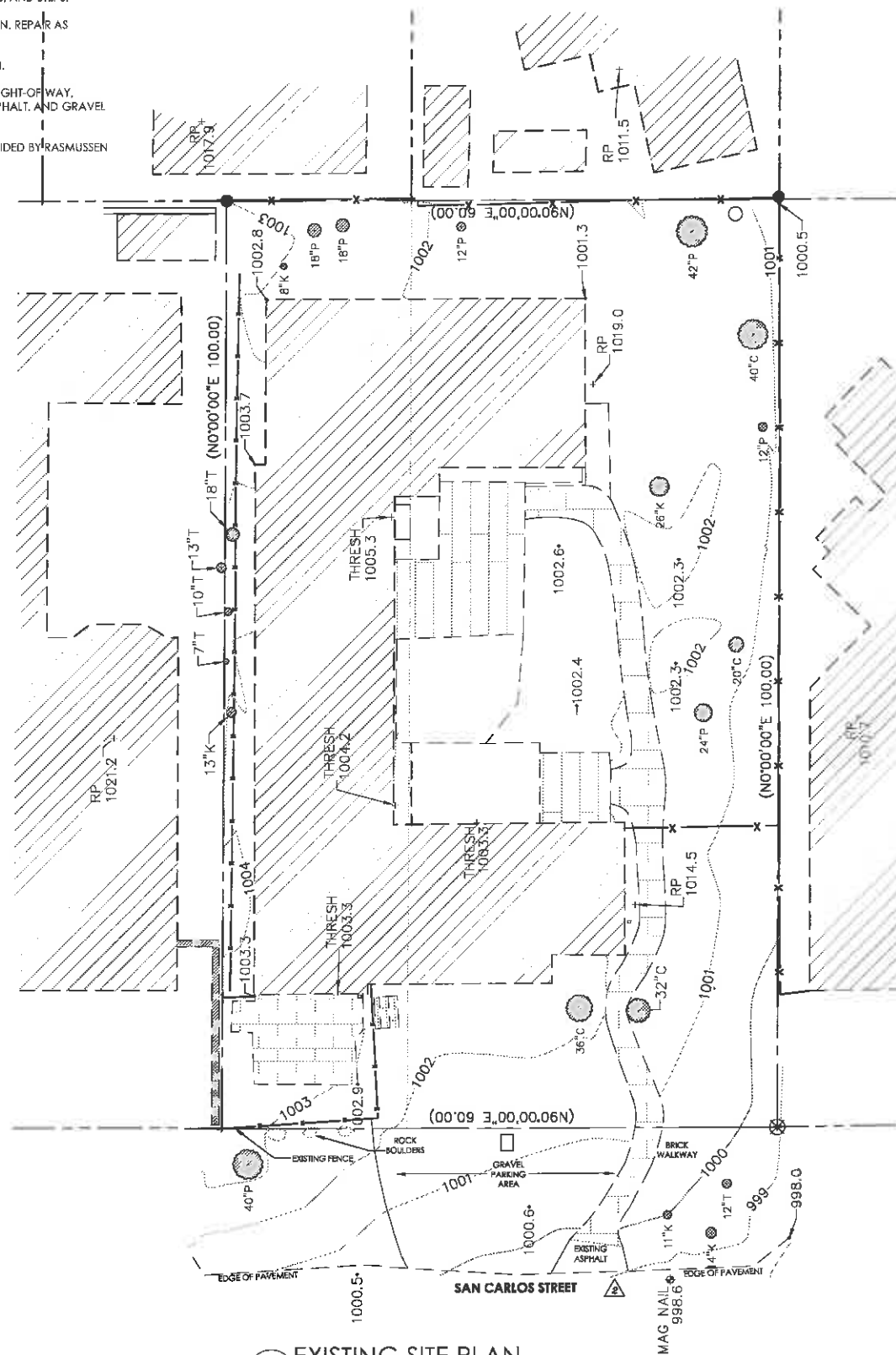
2 DEMOLITION SITE PLAN
SCALE: 1/8"=1'-0"



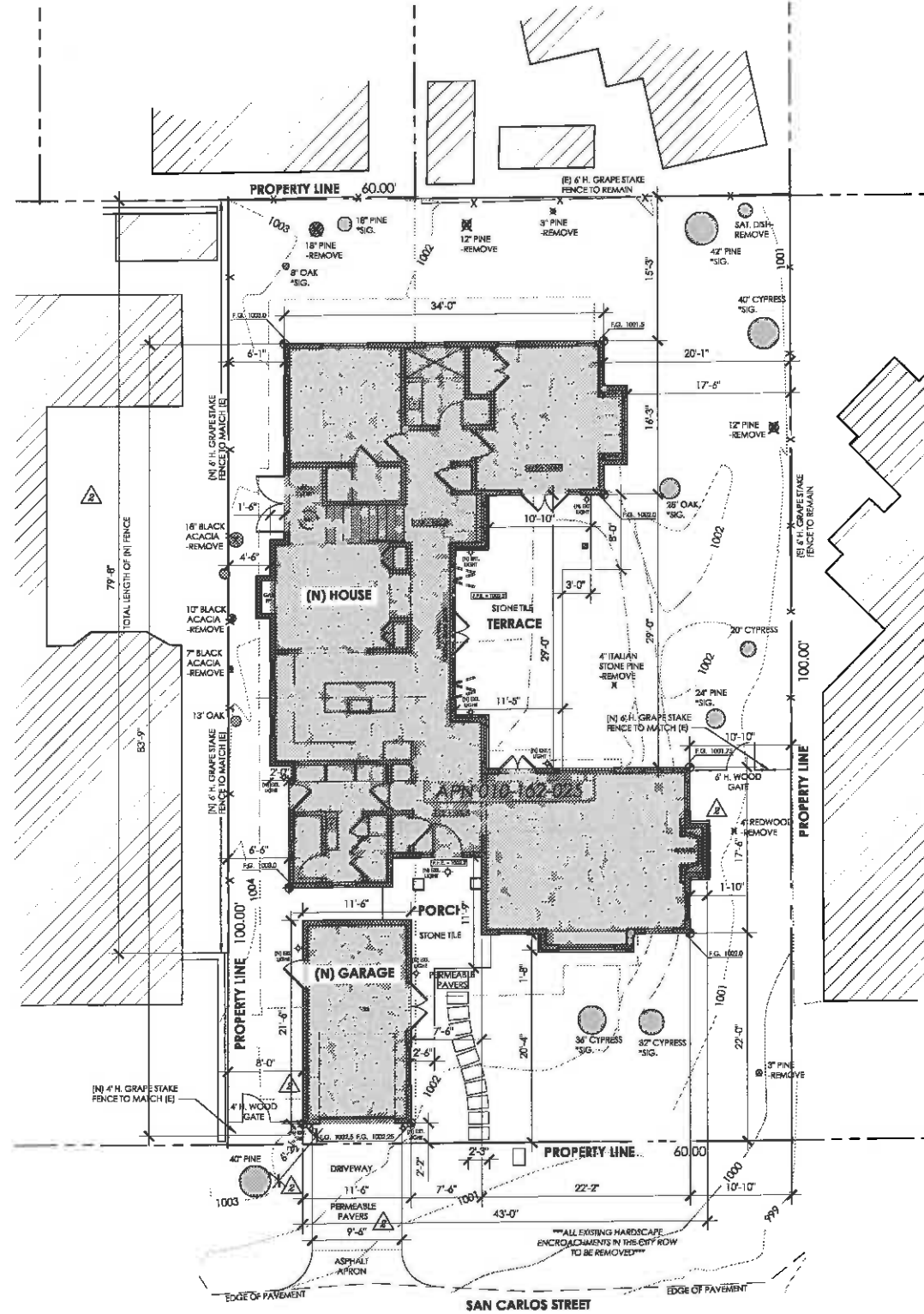
REVISION #	△	06/17/2014	PLANNING RE-SUBMITTAL
	△	07/29/2014	PLANNING RE-SUBMITTAL

SITE PLAN NOTES:

1. TREE REMOVAL AS NOTED ON PLAN AND APPLICATION. NO CONSTRUCTION IMPACTS TO SIGNIFICANT TREES.
2. NO CHANGE TO EXISTING SITE DRAINAGE.
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9. EXISTING SITE PLAN BASED ON SURVEY PROVIDED BY RASMUSSEN LAND SURVEYING, DATED MARCH 4, 2014



1 EXISTING SITE PLAN
SCALE: 1/8"=1'-0"



2 PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"

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1	06/17/2014	PLANNING RE-SUBMITTAL
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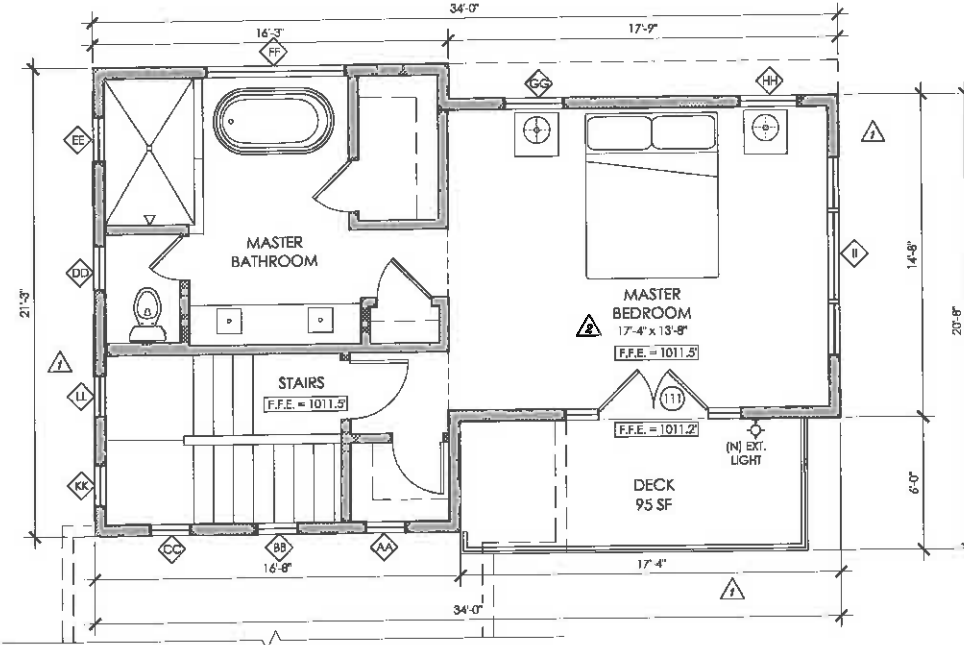
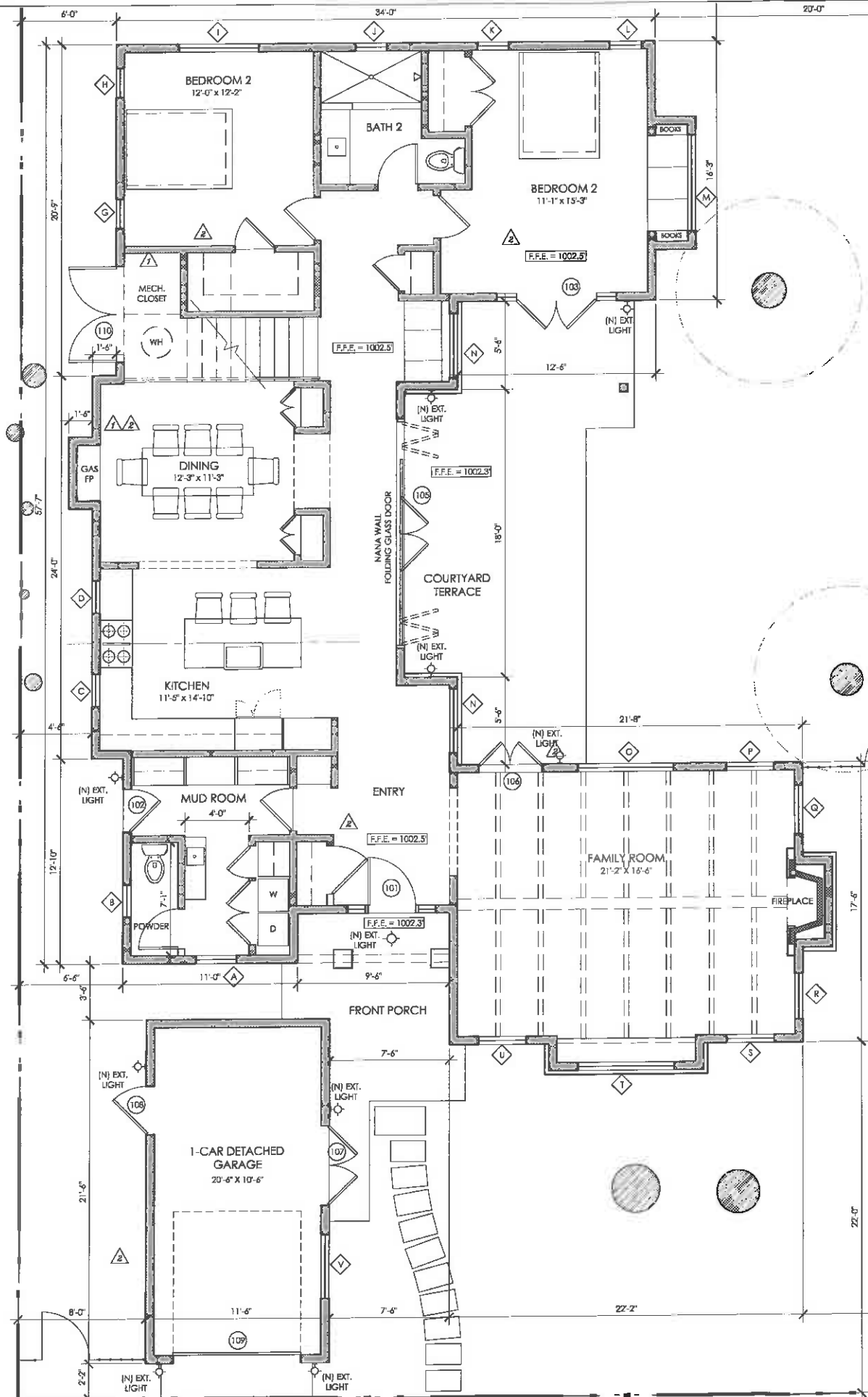
MUSSALEM RESIDENCE
SAN CARLOS 2 S/E 13TH AVENUE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING + PROPOSED SITE PLAN

07-29-2014

SCALE: 1/8" = 1'-0"

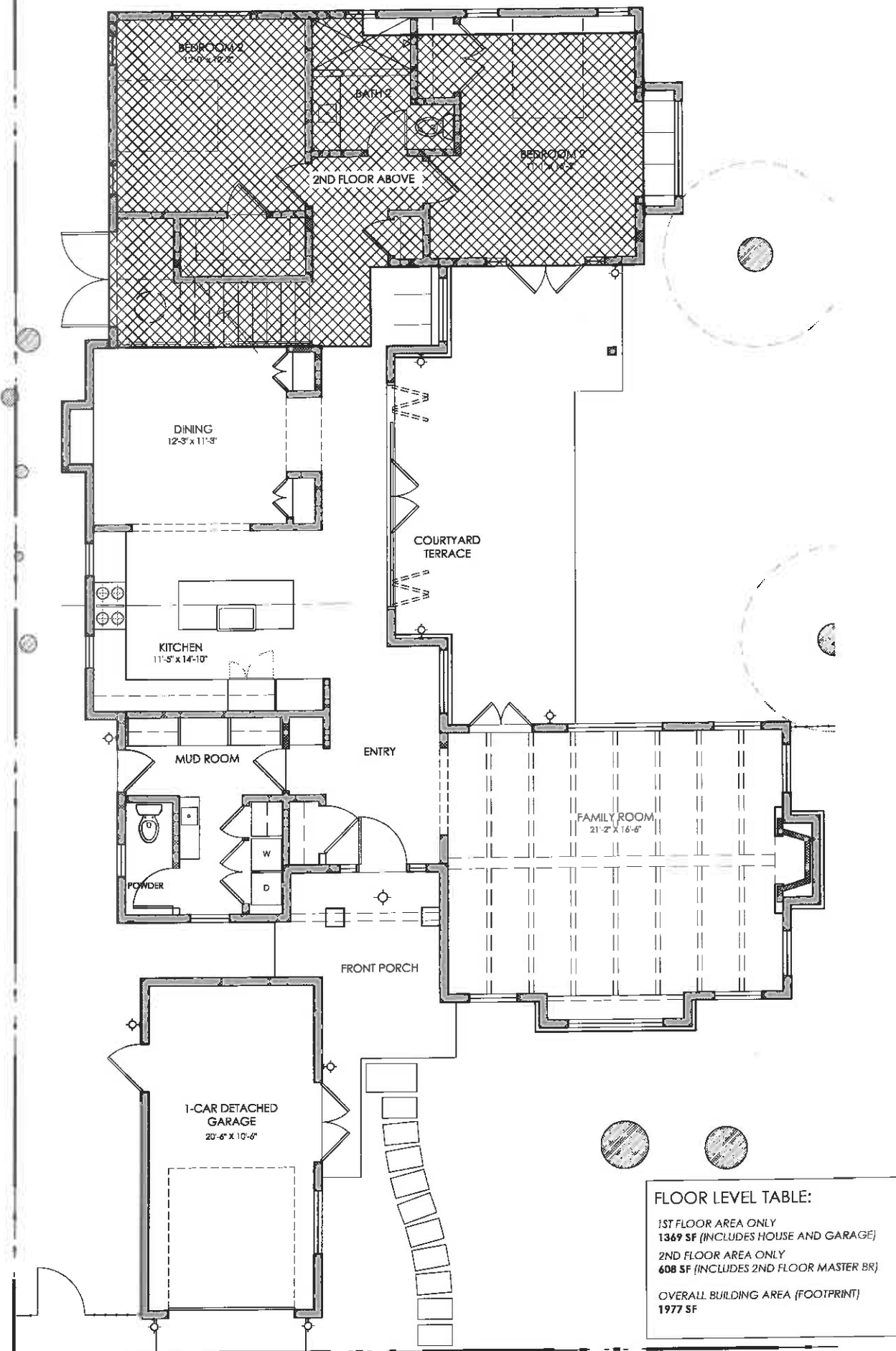
A3.1



MUSSALLEM RESIDENCE
SAN CARLOS 2 S/E 13TH AVENUE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED FLOOR PLAN
07-29-2014
SCALE: 1/4" = 1'-0"

A4



FLOOR LEVEL TABLE:

1ST FLOOR AREA ONLY	1369 SF (INCLUDES HOUSE AND GARAGE)
2ND FLOOR AREA ONLY	608 SF (INCLUDES 2ND FLOOR MASTER BR)
OVERALL BUILDING AREA (FOOTPRINT)	1977 SF

REVISION	TYPE / LETTER	SIZE (WIDTH x HEIGHT)	MATERIAL	TYPE	NUMBERED NOTES / REMARKS
1ST FLOOR					
A	2'-6" X 4'-0"		WOOD	CSMT	DUAL GLAZED
B	2'-0" X 3'-0"		WOOD	CSMT	DUAL GLAZED
C	2'-0" X 4'-6"		WOOD	CSMT	DUAL GLAZED
D	2'-0" X 4'-6"		WOOD	CSMT	SINGLE GLAZ.
E	NOT USED				
F	NOT USED				
G	2'-0" X 4'-0"		WOOD	CSMT	DUAL GLAZ
H	2'-0" X 4'-0"		WOOD	CSMT	DUAL GLAZ
I	5'-0" X 4'-3" [2 PANELS]		WOOD	CSMT	DUAL GLAZED
J	2'-0" X 2'-6"		WOOD	CSMT	DUAL GLAZED
K	2'-0" X 4'-0"		WOOD	CSMT	DUAL GLAZED
L	2'-0" X 4'-0"		WOOD	CSMT	DUAL GLAZED
M	6'-0" X 5'-0" [3 PANELS]		WOOD	XOX	DUAL GLAZED
N	4'-0" X 4'-6" [2 PANELS], GRY. 2		WOOD	XOX	DUAL GLAZED
O	6'-0" X 3'-0" [2 PANELS]		WOOD	CSMT	DUAL GLAZED
P	3'-0" X 5'-0"		WOOD	CSMT	DUAL GLAZED
Q	3'-0" X 5'-6" W/ 1'-6" CLERESTORY		WOOD	CSMT	DUAL GLAZED
R	3'-0" X 5'-6" W/ 1'-6" CLERESTORY		WOOD	CSMT	DUAL GLAZED
S	3'-0" X 5'-0"		WOOD	CSMT	DUAL GLAZ.
T	6'-0" X 5'-6" [3 PANELS]		WOOD	XCX	DUAL GLAZ.
U	3'-0" X 5'-0"		WOOD	CSMT	DUAL GLAZ.
GARAGE					
V	4'-0" X 4'-6" [2 PANELS]		WOOD	CSMT	DUAL GLAZ.
STAIRS					
AA	1'-8" X 1'-8"		WOOD	CSMT	DUAL GLAZED
BB	1'-8" X 1'-8"		WOOD	FIXED	DUAL GLAZED
CC	1'-8" X 1'-8"		WOOD	FIXED	DUAL GLAZED
MASTER BATH					
DD	2'-0" X 2'-6" [OBSCURE]		WOOD	CSMT	DUAL GLAZ
EE	2'-0" X 2'-6" [OBSCURE]		WOOD	FIXED	DUAL GLAZ
FF	6'-4" X 4'-0" [2 PANELS]		WOOD	CSMT	DUAL GLAZ
MASTER BEDROOM					
GG	2'-8" X 4'-0"		WOOD	CSMT	DUAL GLAZ
HH	2'-8" X 4'-0"		WOOD	CSMT	DUAL GLAZ
II	9'-0" X 4'-0" [3 PANELS W/ CENTER @ 4" WIDE]		WOOD	XOX	DUAL GLAZ
STAIRS					
KK	1'-8" X 1'-8"		WOOD	FIXED	DUAL GLAZED
LL	1'-8" X 1'-8"		WOOD	FIXED	DUAL GLAZED

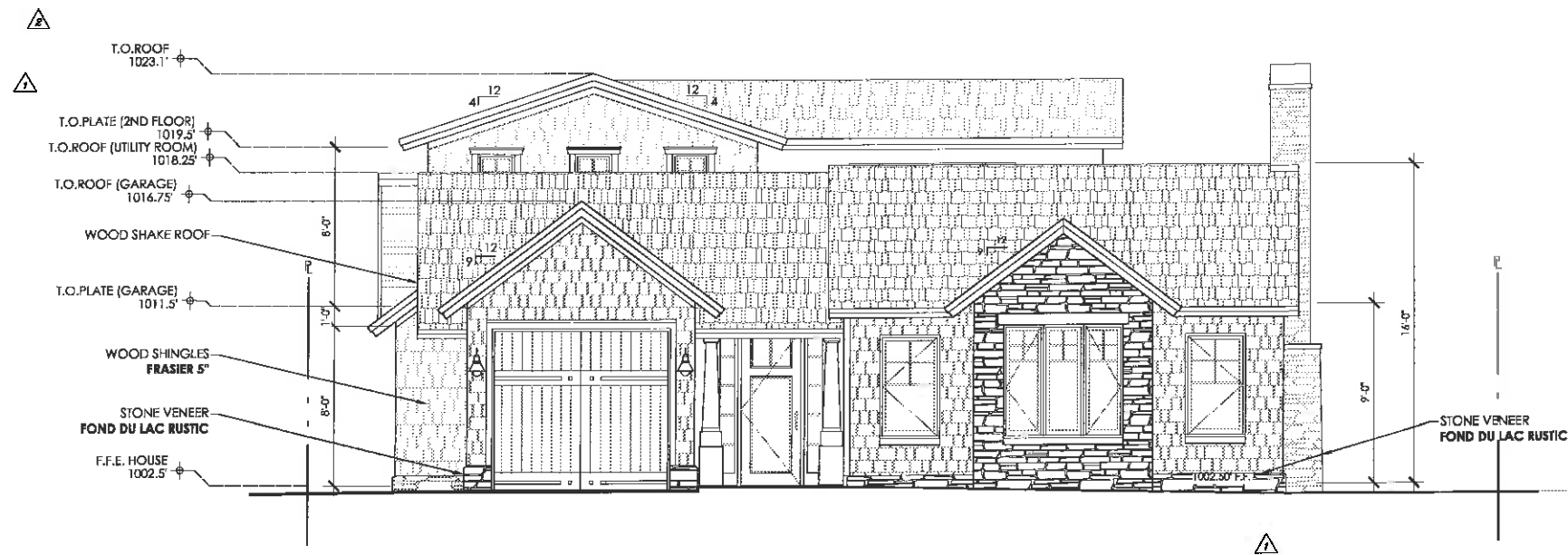
	DOOR TYPE	THICKNESS	HAND	H.W. TYPE	
1ST FLOOR					
101	3'-6" X 7'-6"	1	1/3/4 LH	1	NEW EXT. ENTRY DOOR, HALF-LITE TEMP., DUAL GLAZ.
102	2'-8" X 7'-6"	2	1/3/4 RH	1	DUTCH EXT. ENTRY DOOR, HALF-LITE TEMP., DUAL GLAZ.
103	5'-0" X 6'-8" [2 PANELS]	3	1/3/4 LHRH	1	OUT-SWING FRENCH DOOR, FULL-LITE TEMP., DUAL GLAZ. W/ 1" SIDE LIGHTS
104	NOT USED.	-	-	-	-
105	14'-0" X 8'-0" [8 PANELS]	4	1-3/4 LHRH	2	WOOD NANA WALL DOOR WITH FULL-LITE GLAZ., DUAL GLAZ.
106	4'-0" X 7'-0" [2 PANELS]	5	1/3/4 LHRH	1	OUT-SWING FRENCH DOOR, FULL-LITE TEMP., DUAL GLAZ.
107	5'-0" X 7'-0" [2 PANELS]	6	1-3/4 LHRH	1	OUT-SWING FRENCH DOOR, FULL-LITE TEMP., DUAL GLAZ.
108	3'-0" X 7'-6"	7	1/3/4 LH	-	EXT. GARAGE MAIN DOOR.
110	6'-0" X 5'-6" [2 PANELS]	8	1 1/2 LHRH	-	OUT-SWING MECH. ACCESS DOOR, SHINGLE EXTERIOR, EXHAUST VENT.
2ND FLOOR					
111	5'-0" X 6'-8" [2 PANELS]	7	1/3/4 LHRH	1	IN-SWING FRENCH DOOR, FULL-LITE TEMP., DUAL GLAZ. W/ 1'-6" W. SIDE LIGHTS
DOOR TYPE LEGEND					
TYPE 1	ENTRY DOOR, 1/2 LITE GLASS, WOOD				
TYPE 2	ENTRY DOOR, DUTCH DOOR 1/2 LITE WOOD				
TYPE 3	NANA WALL FOLDING DOOR SYSTEM, FULL LITE GLASS, WOOD				
TYPE 4	FRENCH DOORS, FULL LITE GLASS W/ SIDE LITES, WOOD.				
TYPE 5	FRENCH DOORS, FULL LITE GLASS, WOOD.				
TYPE 6	FRENCH DOORS, OUT-SWING, FULL LITE GLASS, WOOD.				
HARDWARE TYPE LEGEND					
TYPE 1	---				
TYPE 2	---				
TYPE 3	---				
ADDITIONAL NOTES:					
ALL DOORS AND WINDOWS TO BE UNCLAD WOOD, PAINTED W WHITE.					

2 DOOR + WINDOW SCHEDULES
SCALE: N.T.S.

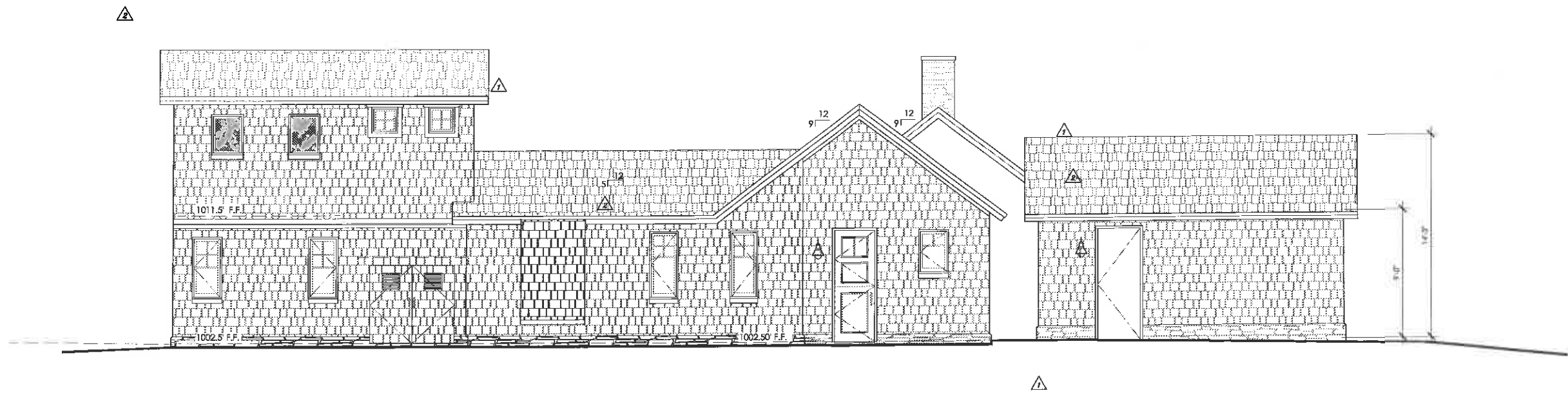
REVISION #
06/17/2014 PLANNING RE-SUBMITTAL
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09/17/2014 FINAL DESIGN SUBMITTAL

1 FLOOR LEVEL MAP
SCALE: 1/4"=1'-0"

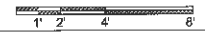
ELEVATION NOTES:
 1. ALL EXTERIOR DOORS AND WINDOWS TO BE UNCLAD WOOD, PAINTED WHITE.



1 PROPOSED WEST (STREET) ELEVATION
 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



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ADAM JESELNICK
 ARCHITECT

MUSSALLEM RESIDENCE
 SAN CARLOS 2 S/E 13TH AVENUE
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

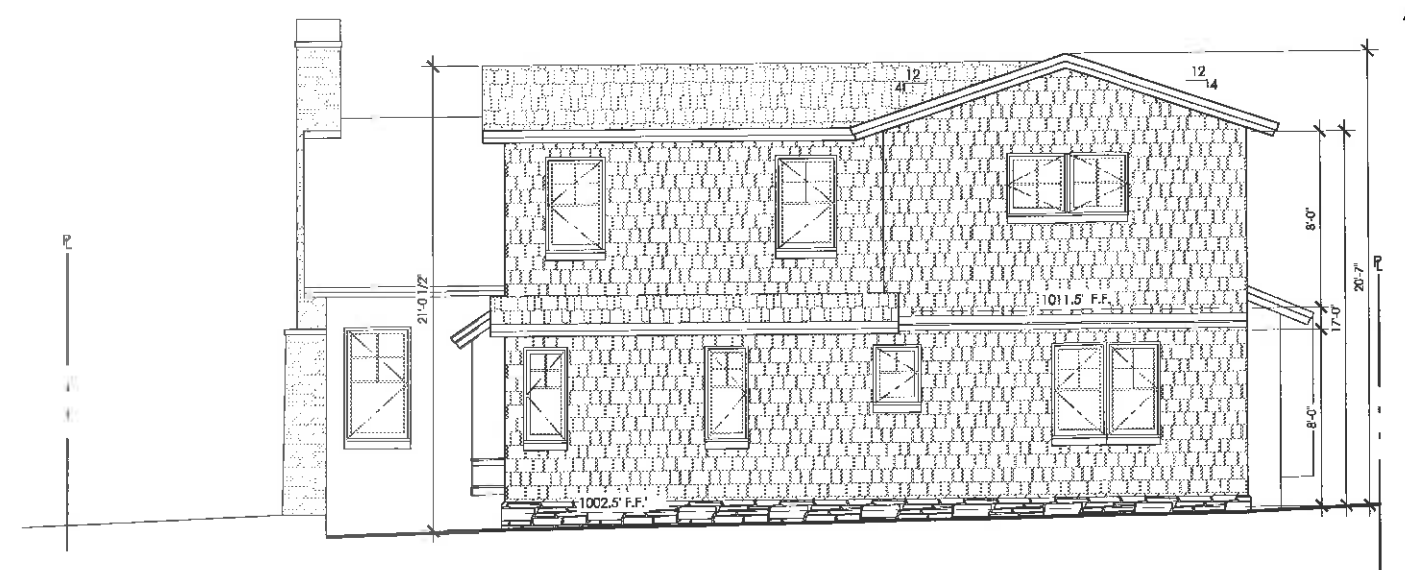
PROPOSED BUILDING ELEVATIONS

07-29-2014

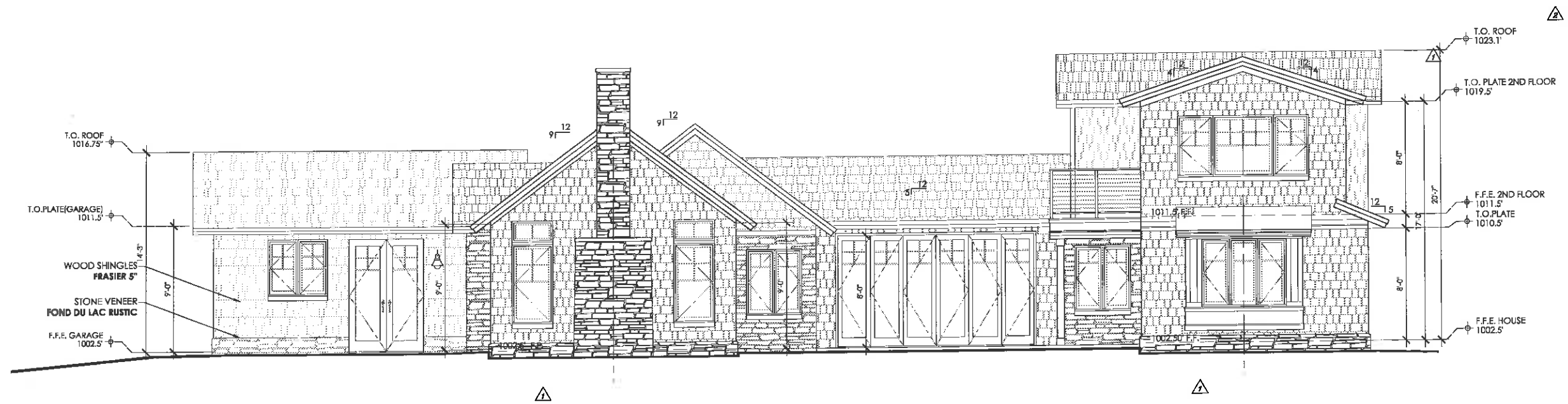
SCALE: 1/4" = 1'-0"

A7

ELEVATION NOTES:
 1. ALL EXTERIOR DOORS AND WINDOWS TO BE UNCLAD WOOD, PAINTED WHITE.



1 PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

ADAM JESELNICK
 ARCHITECT

MUSSALLEM RESIDENCE
 SAN CARLOS 2 S/E 13TH AVENUE
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

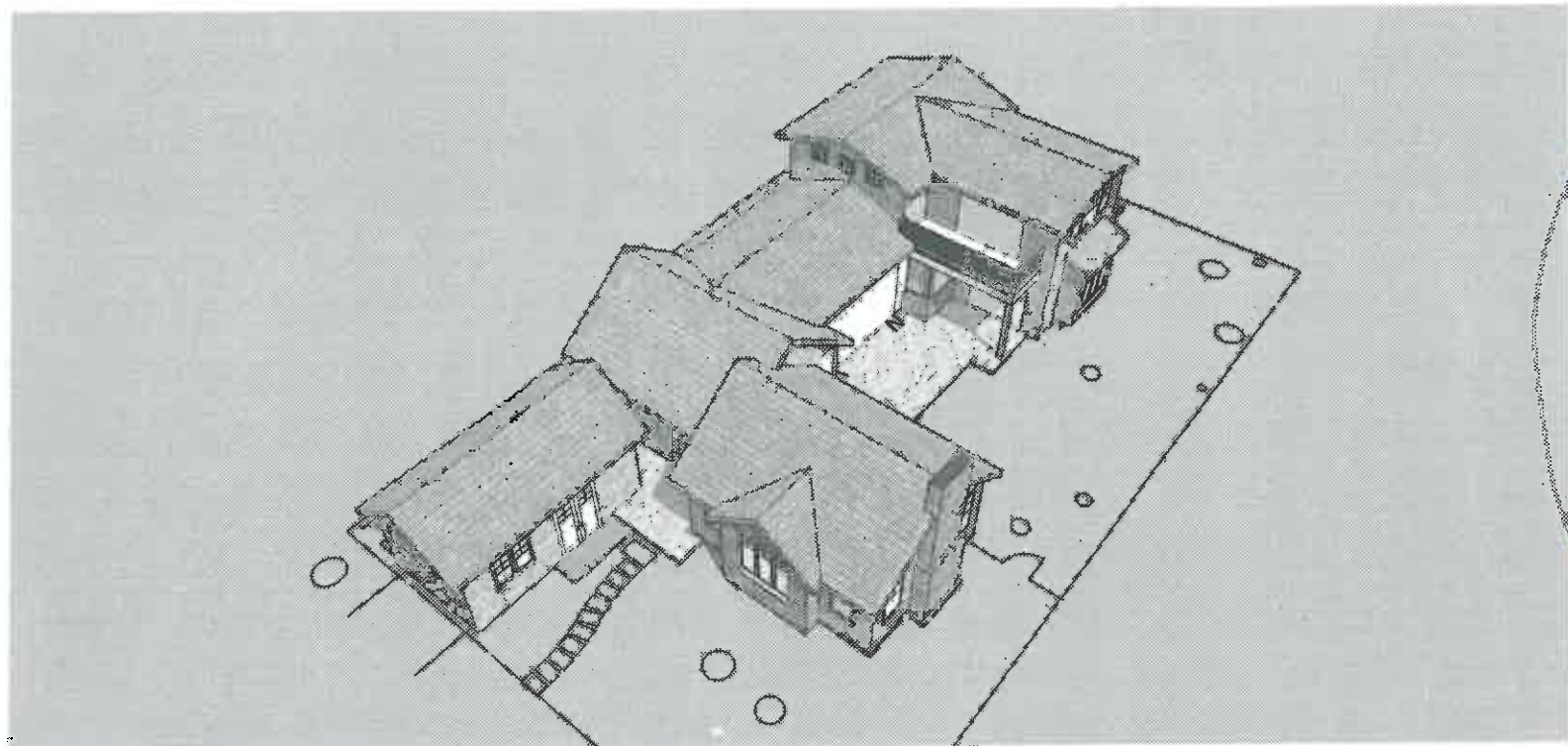
PROPOSED BUILDING ELEVATIONS

07-29-2014

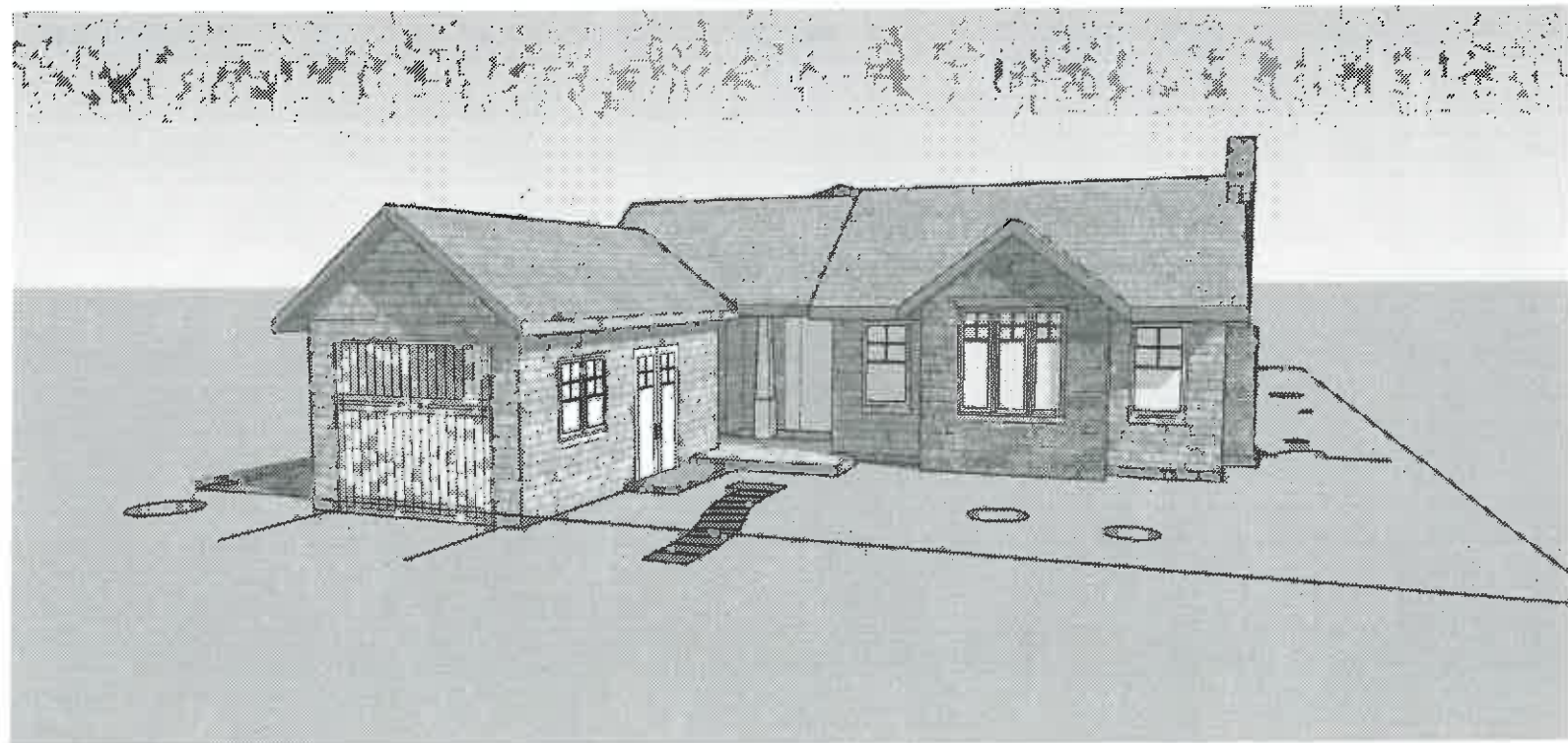
SCALE: 1/4" = 1'-0"

A8

REVISION #	DATE	DESCRIPTION
1	06/17/2014	PLANNING RE-SUBMITTAL
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3	09/17/2014	FINAL DESIGN SUBMITTAL



1 PROPOSED BIRDS EYE VIEW
SCALE: N.T.S.



2 PROPOSED FRONT ELEVATION FROM STREET LEVEL
SCALE: N.T.S.

illegible

KICHLER
Lighting Solutions

Seaside Collection
Outdoor Wall 1L Fluorescent
1101204 (Standard Name)

Product Description:
This fixture is designed for outdoor use. It features a weather-resistant, die-cast aluminum housing with a clear polycarbonate lens. The fixture is designed for use with 1-foot fluorescent tubes. The fixture is designed for use with 1-foot fluorescent tubes. The fixture is designed for use with 1-foot fluorescent tubes.

Technical Information:

Finish Description:	ALUMINUM
Lamp Included:	NO
Voltage:	120V
Dimensions:	8 1/2" H x 6 1/2" W
Weight:	1.5 lbs
Material:	ALUMINUM
Finish:	POWDER COATED
Mounting:	WALL MOUNT
Light Source:	FLUORESCENT
Number of Bulbs:	1
Lamp Type:	T8
Max Watt:	40W
Ordering #:	1101204
Height:	8 1/2"
Overall Height:	8 1/2"
Collection:	Seaside Collection
Finish:	POWDER COATED

Project: _____
Type: _____
Ordering #: _____
Comments: _____

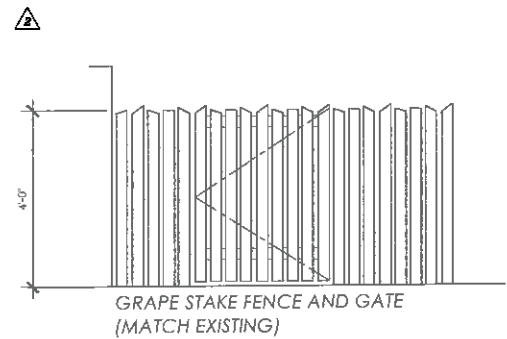
13W? lumen level too high

EXTERIOR LIGHTING SPECIFICATION



FOND DU LAC NATURAL STONE THIN VENEER

3 STONE VENEER
SCALE: N.T.S.



4 FENCE ELEVATION
SCALE: 1/2" = 1'-0"

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CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

October 8, 2014

To: Chair Reimers and Planning Commissioners
From: Rob Mullane, AICP, Community Planning and Building Director *RM*
Submitted by: TJ Wiseman, Contract Planner
Subject: Consideration of a Public Bench and Plaque Donation and Coastal Development Permit application for the installation of a bench on the Beach Bluff Pathway on Scenic Road near Tenth Avenue

Recommendation:

Approve the installation of a new bench at the proposed location for BD 14-01 along Scenic Road

Application: BD 14-1 **APN:** 010-294-001
Block: N/A **Lot:** N/A
Location: South side of Scenic Avenue between 10th and 11th Avenues
Applicant: Gerald Fronterhouse **Owner:** City of Carmel-by-the-Sea

Background and Project Description:

The City allows funds for public benches to be donated to the City along with small memorial plaques on a limited basis. The applicant is proposing to donate funds for a public bench and plaque to be located on the Beach Bluff Pathway along Scenic Road between Tenth and Eleventh Avenues. The proposed bench is to be made out of wood and stone and would include a back rest.

This application is presented along with a proposal for the Planning Commission to consider the approval of five new bench sites along Scenic Road. The Beach Bluff Pathway experiences a high amount of foot traffic, and the benches are an important pathway amenity. The installation of additional benches has been discussed among staff, Forest and Beach Commission, and Planning Commission over the past several years.

In July 2011, City Forester Mike Branson presented a staff report to the Forest and Beach Commission that included sixteen potential locations for new benches along Scenic Road (see

Attachment A). The Forest and Beach Commission was asked to review these locations and recommend a subset of these locations for acceptable future bench locations. The Forest and Beach Commission selected five sites between 8th Avenue and the City limits as appropriate sites for future benches with the acknowledgement that final approval of new bench sites is at the discretion of the Planning Commission. A map of the five sites recommended by the Forest and Beach Commission is included as Attachment B. The location proposed by the applicant for a new bench correlates to one of these five sites.

Staff Analysis:

The City's Public Way Design Standards indicate that the Planning Commission has discretion over the design and siting of furniture in the public Right-of-Way. The Commission considers whether the location and design are appropriate and whether it serves a public need.

Staff has reviewed the proposed dedication, and it does meet the requirement of the honoree, Mrs. Gretchen Fronterhouse, being a local resident since 1985. Site photographs of the proposed bench location are included as Attachment C, while an aerial photograph of the proposed location is included as Attachment D. As noted above, the proposed location conforms to one of the six sites for future benches recommended by the Forest and Beach Commission.

The Planning Commission should consider the appropriateness of this site, as well as the four other approved sites by the Forest and Beach Commission, for future bench installations along the Scenic Avenue Beach Bluff Pathway. If appropriate, the Planning Commission may provide direction for approval of all five bench sites recommended by the Forest and Beach Commission.

Alternatives:

If there are concerns about the siting of this bench, the Commission can deny the application and direct staff to work with the applicant to find a more suitable location. The Commission may also provide direction on alternative locations for the other four, Forest and Beach Commission-recommended sites along Scenic Road or may defer action on these other bench locations to a future Planning Commission meeting or to a case by case basis.

Environmental Review:

The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – Construction or modification of a limited number of new or existing small structures. The proposed bench does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Staff Report, July 28, 2011
- Attachment B – Scenic Road Bench Map
- Attachment C – Site Photographs
- Attachment D – Aerial Photograph

MEMORANDUM

TO: Tom Leverone, Chairperson
Members of the Forest and Beach Commission

FROM: Mike Branson, City Forester

DATE: 28 July 2011

SUBJECT: Provide the Planning Commission a Recommendation on Potential New Bench Locations along the Scenic Road Pathway

The City of Carmel Planning Commission is responsible for the approval of any new bench that is to be placed on city property including proposals along the Scenic Road pathway. The Planning Commission has asked the Forest and Beach Commission to look at the pathway and make a recommendation to them on possible sites that are appropriate for future bench locations. The Planning Commission still has the responsibility to review and approve or deny applications for new benches.

At the May meeting, commissioners reviewed the proposed bench location maps and the 16 sites that had some agreement of being possible sites. After discussion the commission determined a site visit would be appropriate before approving a specific location. I have attached the master map of the possible locations and a simple breakdown of the number of locations for each block.

Eighth to Ninth – three locations

Ninth to Tenth – one location

Tenth to Eleventh – four locations

Eleventh to Twelfth – two locations

Twelfth to Thirteenth – four locations

Thirteenth to Santa Lucia – one location

Santa Lucia to Martin – one location

Chairperson LEVERONE opened and closed the public hearing. No appearances.

Comments from the Commission: Better signage needed and increased enforcement, no action taken.

2. Receive presentation on a proposal to build a community garden in Rio Park.

John Sapp gave his presentation regarding a community Garden in Rio Park. Martha Morrill handed out a hard copy of the presentation.

No public comments.

It was moved by Chairperson LEVERONE and seconded by Commissioner HORNIK to approve the conceptual idea of a Community Garden in Rio Park. The motion carried by the following roll call vote:

AYES:	FORD, HORNIK, LEVERONE
NOES:	BOARDMAN
ABSTAINED:	NONE
ABSENT:	KADIS

3. Provide the Planning Commission a recommendation on potential new bench locations along the Scenic Road Pathway.

Mike Branson, City Forester gave his presentation.

Chairperson LEVERONE opened and closed the public hearing. No public present.

Following discussion, a vote will be made on each block (see exhibit):

1. Scenic Road between 8th and 9th: (Three possible bench locations Bench #1 is the Bench starting at 8th Avenue)

Bench #1 - YES: Ford, Leverone, NO: Boardman, Hornik

Bench #2 - YES: Ford, Leverone, NO: Boardman, Hornik

Bench #3 - NO: Boardman, Ford, Hornik, Leverone

2-2
2-2
0-4

2. Scenic Road between 9th and 10th. (One possible location)

Bench #4 - YES: Hornik; NO: Boardman, Ford, Leverone

1-3

3. Scenic Road between 10th and 11th. (Four possible bench locations)

Bench #5 - NO: Boardman, Hornik, Ford, Leverone

Bench #6 - YES: Boardman, Hornik, Ford; NO: Leverone

Bench #7 - YES: Boardman, Hornik, Ford, Leverone (Must be east of pathway - street side)

Bench #8 - YES: Ford, NOES: Boardman, Hornik, Leverone

4-0
3-1

4-0

4. Scenic Road between 11th and 12th (Two possible locations)

Bench #9 - YES: Boardman, Ford, Hornik, Leverone

Bench #10 - YES: Boardman; NOES: Ford, Hornik, Leverone

1-3

4-0

1-3

2²

5. Scenic Road between 12th and 13th. (Four possible locations)

~~Bench #11~~ - NO: Boardman, Ford, Hornik, Leverone

Bench #12 - YES: Yes, Boardman, Ford, Leverone; NO: Hornik (North of wall, west side of path)

~~Bench #13~~ - NO: Boardman, Ford, Hornik, Leverone

~~Bench #14~~ - NO: Boardman, Ford, Hornik, Leverone

0-4

3-1

0-4

0-4

0-4

6. Scenic Road between 13th and Santa Lucia. (One possible location)

Bench #15- NO: Boardman, Ford, Hornik, Leverone

7. Santa Lucia and City Limits

Bench #16 Boardman, Ford, Hornik, Leverone (Must be on street side)

4-0

It was moved by Chairperson LEVERONE, and seconded by Commissioner FORD to forward a recommendation regarding possible locations for benches to the Planning Commission as requested. The motion carried by the following roll call vote:

AYES:	BOARDMAN, FORD, HORNİK, LEVERONE
NOES:	NONE
ABSTAINED:	NONE
ABSENT:	KADIS

4. Review and provide comments to the Planning Commission on locating a cigarette butt collector box near the Del Mar restroom.

It was moved by Chairperson LEVERONE and seconded by Commissioner FORD to forward comments and recommendation to the Planning Commission as requested;

Comments are as follows: Who will be responsible for emptying the box?
Who will be responsible for cleaning the box?
Concerned about smoldering fires inside the box.
Concerned about the smell of the box.
Concerned that if the ashes for the box are dumped into the trash, this may cause a fire hazard.

Recommendation: Allow the butt collector box for a six month trial bases.

The motion carried by the following roll call vote:

AYES:	BOARDMAN, FORD, LEVERONE
NOES:	HORNİK
ABSTAINED:	NONE
ABSENT:	KADIS

Scenic Road Bench Map 2014



Attachment C – Site Photographs



n

Beach Bluff Pathway between 10th and 11th Avenues



Proposed bench site west side of footpath

Attachment D – Aerial Photograph

- ★ - Proposed Bench
- - Existing Benches





CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

October 8, 2014

To: Chair Dallas and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director RM

Submitted by: Marc Wiener, Senior Planner

Subject: Review and Possible Amendment or Revocation of Use Permit (UP 14-04) which allowed live music at an existing restaurant/bar located in the Central Commercial (CC) Zoning District

Recommendation:

Determine the appropriate action

Application:	UP 14-04	APN:	010-141-005
Location:	San Carlos 2 NE of 7 th Ave. (Carmel Square Courtyard)		
Block:	77	Lot:	16
Applicant:	Gabriel Georis (Barmel)	Property Owner:	Sue Anne Kallay

Background and Project Description:

On April 17, 2014, the Planning Commission approved a Live Music Permit (UP 14-04) for a new restaurant bar named Barmel. Staff notes that the original proposed business named was Mundaka's High Tide Bar. The owner of Barmel is Mr. Gabriel Georis, who also owns the adjacent restaurant named Mundaka.

At the April 2014 meeting, Mr. Georis requested to have amplified music consisting of jazz, country, and rock bands. The Commission was concerned that the amplified music would exceed the allowed noise limit of 55 decibels (dBA) as measured at the property lines (CMC 9.16.035). Nevertheless, the Commission approved the permit with a condition that live music could only be played between the hours of 5:00 p.m. to 9:00 p.m. on Thursday, Friday, and Saturday. In addition, Special Condition #5 states that any two violations within a 12-month period shall require revocation of the Use Permit by the Planning Commission.

Staff notes that the Commission took into consideration the location of Barmel, which is unlikely to create noise impacts in that it is located at the back of the Carmel Square Courtyard and is approximately 50 feet from San Carlos Street. In addition, there are also no residential uses within the vicinity that could be impacted. The April 17, 2014 staff report is included as Attachment A and the adopted special conditions are included as Attachment B.

At the September 10, 2014 Planning Commission meeting, two Carmel residents testified during the Public Appearance portion of the meeting expressing concern that Barmel was not abiding by the requirements of its Live Music Permit. An e-mail was also submitted to the City by another Carmel resident expressing similar concerns on September 5, 2014. It has been indicated that Barmel may be playing live music beyond the allowed days and hours of the permit, and that the music is exceeding the allowed decibel level. Concerns were also raised regarding the recorded music that Barmel is playing throughout the week. Staff notes that Municipal Code Section 9.16.040 allows recorded music without a permit, but prohibits the noise level from exceeding 55 decibels (dBA) as measured at the property lines. An additional complaint was that Barmel is both hosting and promoting dancing, in violation of CMC Chapter 9.16 Entertainment in Liquor Establishments.

In response to the complaints that were received regarding Barmel, the Live Music Permit (UP 14-04) has been scheduled for review by the Planning Commission. It should be noted that the Police Department has no documented reports of noise violations at Barmel over the past three months.

Alternatives: The Commission may revoke the Live Music Permit, or could require amendments to the conditions as deemed necessary to achieve compliance with the City's Live Music Ordinance. In addition, the Commission may also continue the review of the permit with a request that staff continue to monitor the situation.

Environmental Review: The live music Use Permit was previously determined to be categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines.

ATTACHMENTS:

- Attachment A – Staff Report (dated 4/17/14)
- Attachment B – Conditions of Approval (dated 4/17/14)
- Attachment C – Correspondence regarding Barmel
- Attachment D – CMC Chapter 9.16

Staff notes that Mundaka restaurant has a separate Live Music Permit (UP 12-14) that permits acoustic guitar and piano music Sunday through Wednesday, between the hours of 7:00 p.m. to 9:00 p.m.

Staff analysis:

Noise Sensitive Uses and Evaluation: Since the Live Music Ordinance (CMC 9.16) was adopted in 2006, the majority of Live Music permits issued by the City have been for instrumental music that is not amplified. This proposal, however, would be for live bands with amplified music. The Municipal Code does not prohibit amplified music, but it does place limitations on the noise levels and hours that music can be played. Pursuant to CMC 9.16.035, the allowed noise limit for live music is 55 decibels (dBA) as measured at the property line and is restricted to the hours of 12:00 p.m. to 10:00 p.m.

Staff met with the applicant on April 7, 2014, and conducted an acoustical analysis to evaluate the potential noise levels. Staff directed the applicant play recorded music from within the restaurant space while measuring the noise level at the property lines using a decibel meter. The recorded music reached a maximum noise level of 80-90 dBA from within the restaurant space, which was relatively loud and which was used to model noise levels expected to be generated by live bands. With the front door open, music at the 80-90 dBA level from within the space reached a maximum decibel level of 50 dBA at the San Carlos Street property line and 55 dBA at the northern property line adjacent to Wells Fargo Bank.

Staff notes that Mundaka's High Tide Bar is located at the back of the Carmel Square Courtyard and is approximately 50 feet from San Carlos Street. The surrounding buildings within 200 feet of the project site are primarily occupied by retail uses, as shown on the land use plan included as Attachment B. The proposed location may be appropriate for amplified music, in that it is set back 50 feet from San Carlos Street, is not adjacent to residential uses, and is buffered by the surrounding buildings.

Staff could support a Live Music Permit (UP 14-04) to allow amplified music with a condition that the noise levels not exceed 55 dBA as measured at any property line and that the music cease by 10:00 p.m. as required by CMC 9.16.035. Staff also notes that pursuant to CMC 9.16.030.B.3, "*any three violations within any 12-month period shall require revocation of the use permit by the Planning Commission.*" Code Compliance staff and Police Department personnel would conduct spot checks to ensure compliance with the project's conditions of approval.

Alternatives: Staff has prepared draft findings and conditions of approval for the Planning Commission's consideration. Alternatively, the Planning Commission could deny the request for live music, could revise the conditions to prohibit amplified music, or could require additional changes as deemed necessary to achieve compliance with the City's Live Music Ordinance.

Environmental Review: The application qualifies for a Class 3 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 exemptions include projects involving limited new construction projects and conversion of small structures.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Surrounding Uses Map
- Attachment E – Applicant Correspondence

Attachment B – Conditions of Approval (4/17/14)

Amended & Approved by PC on 4/17/14

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

UP 14-04

Gabriel Georis (Mundaka's High Tide Bar)

San Carlos 2 NE of 7th Ave. (Carmel Square Courtyard)

Block 77 Lot 16

APN: 010-141-005

AUTHORIZATION:

1. This use permit authorizes amplified live music to be played from within Mundaka's High Tide Bar, pursuant to CMC 9.16 and the conditions of this permit.
2. Live music is permitted to be played between the hours of 5:00 p.m. to 9:00 p.m. on Thursday, Friday, and Saturday only. ~~10:00 p.m., seven days per week.~~
3. Per CMC Section 9.16, the maximum noise level allowed from live music activities located on the property shall not exceed 55 dBA as measured at any of the property lines.

SPECIAL CONDITIONS:

4. A summary sheet of basic Use Permit requirements (allowed days, allowed hours, special mitigations) shall be posted on the premises and shall be available upon request by any enforcement officer of the City.
5. Any ~~three~~ two violations within any 12-month period shall require revocation of the Use Permit by the Planning Commission.
6. This Use Permit shall become void and of no further force or effect if the use is not initiated within six months and/or upon termination or discontinuance of the use for any period of time exceeding six months.
7. Violations of the terms of this Use Permit or other ordinances of the City may constitute grounds for revocation of this Use Permit and the associated business license by the Planning Commission.

8. Upon termination or revocation of this use permit and/or business license for any reason, the use shall immediately cease and shall not be re-established without issuance of a new use permit.

9. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

***Acknowledgement and acceptance of conditions of approval.**

Applicant Signature

Printed Name

Date

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

Attachment C - Correspondence regarding Barmel

Rob Mullane

From: chardy824@gmail.com
Sent: Wednesday, September 10, 2014 6:18 PM
To: Rob Mullane; Marc Wiener
Subject: Comments re: Barmel
Attachments: Barmel Comments - Hardy 9-10-2014.docx

Rob and Marc,

For your convenience, attached is a document that reflects most if not all of the issues and concerns I raised at today's PC meeting regarding Barmel. This is changed slightly to more accurately reflect the statements I made, a little different from the copy I left with your clerk today upon addressing the commission.

Thank you for listening and for considering these concerns as you bring the permit issue back to the PC for re-consideration.

Regards,
Carolyn Hardy

Sent from Windows Mail

RECEIVED

SEP 10 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

**Comments to PC re: Barmel
September 10, 2014**

I come to you today to share my concerns regarding Barmel. You issued them a live music permit, and I am concerned that this facility is not operating within the restrictions of their use permits and whose activities may be in violation of our Municipal Code. I too have witnessed loitering by Barmel's place of business when I went to Tommy's Wok to pick up food. People were standing outside with their drinks and smoking. Does the bar have a responsibility for serving alcohol that is consumed outside of its business in public?

At your April 17 meeting, the applicant came before you and said he would not be doing any hard rock, heavy metal or intense rock and roll type music. He intended to work with the jazz and classical organizations to bring in jazz and classical musicians. And he intended to have musicians play for a dinner crowd at tables in the bar.

What it is evolving into is exactly what Commissioner Dallas (now Councilman Dallas) was concerned about: that this would become a bar and night club. Barmel's Facebook postings bear that out:

Sky Country played through September 4th

Thursday posting: "Who's ready to party tonight? Grab your dancing shoes 'cause we're sending **Sky Country** off on tour in style. Come join us and give these boys a proper farewell! Music 7 – 9 Happy Hour 3 – 7 So get here early for dinner and drinks and find your spot on the dance floor!"

Another posting for Saturday September 6th

Atomixx (Atomixx is a band who plays at Planet Gemini, the Monterey nightclub)

Live music rock reggae hip hop

Early show DJ BBB before from 6-7:30

Atomixx 7:30-9:30

DJ BBB after 9:30-11:30

I believe Municipal Code 9.16.020 would apply and it states in part, **"it is unlawful for any person to conduct or maintain or permit to be conducted or maintained public dances or any form of entertainment in or on any premises where alcoholic beverages are sold and served to the public within a period of time starting four hours before the commencement of such dance or entertainment, and ending at 2:00 a.m. of the next calendar day following the commencement of such dance or entertainment.**

Barmel has published its September calendar of events that shows entertainment nightly, from DJ four nights a week to live bands three nights a week. I also question whether DJs spinning much is a permitted activity. And I question whether the existing floor plan is the plan that was presented to staff with the application.

I think you were misled by the applicant and that he was less than forthcoming with his plans. That was also evident when the day after you permitted Mundaka's High Tide bar the live music permit, he changed the name to Barmel.

I think this establishment is becoming something you did not intend for it to be. And I request that you call this use permit back in and take another look at it to review at your next meeting to address these concerns.

Additionally, on April 17th planning staff said the issue and number of bars in Carmel is not well-defined and there needs to be more discussion and a future agenda item for that purpose. I would strongly urge you to address this issue. With the changes afoot for a new "movement in Carmel" time is of the essence.

Chapter 9.16
ENTERTAINMENT IN LIQUOR ESTABLISHMENTS

Sections:

- [9.16.010](#) Definitions.
- [9.16.020](#) Dances and Other Public Entertainment.
- [9.16.030](#) Playing Musical Instruments.
- [9.16.035](#) Monitoring and Enforcement.
- [9.16.040](#) Recorded Music.
- [9.16.050](#) Exemption.

9.16.010 Definitions.

For the purposes of this chapter the term “musical instrument” means and includes any and all instruments commonly used in orchestras, but shall not include radio or television sets. (Ord. 2013-03 (Exh. A), 2013; Ord. 2013-01 § 1, 2013; Ord. 2008-07, 2008; Ord. 2005-04 § 1, 2005; Ord. 79-21 § 24, 1979; Ord. 23 N.S. § 1, 1942; Ord. 216 § 3, 1939; Code 1975 § 1002).

9.16.020 Dances and Other Public Entertainment.

Except as provided in CMC [9.16.030](#) and [9.16.050](#), it is unlawful for any person to conduct or maintain or permit to be conducted or maintained public dances or any form of entertainment in or on any premises where alcoholic beverages are sold and served to the public within a period of time starting four hours before the commencement of such dance or entertainment, and ending at 2:00 a.m. of the next calendar day following the commencement of such dance or entertainment. (Ord. 2013-03 (Exh. A), 2013; Ord. 2013-01 § 1, 2013; Ord. 2008-07, 2008; Ord. 2005-04 § 1, 2005; Ord. 2003-06 § 1, 2003; Ord. 74 C.S. § 1, 1963; Code 1975 § 1000).

9.16.030 Playing Musical Instruments.

A. General Exemption for Private and/or Temporary Uses. The Director of Community Planning and Building may authorize the playing of musical instruments with or without vocal accompaniment in conjunction with the sale or serving of alcohol during private (nonpublic) events and during temporary uses/special events open to the public, located on private property. All such events shall comply with CMC [17.14.050\(G\)\(1\)](#), noise restrictions. The Director shall authorize no more than four public events per calendar year, per property. Proposals exceeding this amount shall require a use permit consistent with all requirements established in subsection (B) of this section.

- a. Require changes in the noise mitigation plan;
- b. Establish new permit conditions on hours, days, or operational characteristics; or
- c. Revoke the permit.

Any three violations within any 12-month period shall require revocation of the use permit by the Planning Commission.

Use permits authorizing live music shall expire 10 years from the date of issuance. Staff has the authority to either re-issue the permit or forward it to the Planning Commission for a decision.

6. Live music permits shall not include karaoke activities. (Ord. 2013-03 (Exh. A), 2013; Ord. 2013-01 § 1, 2013; Ord. 2008-07, 2008; Ord. 2005-04 § 2, 2005; Ord. 2003-06 § 1, 2003; Ord. 216 § 2, 1939; Code 1975 § 1001).

9.16.035 Monitoring and Enforcement.

A. Noise Limits Related to Live Music. On properties authorized to hold live music events per this chapter, the maximum noise levels allowed from live music activities located on the property shall be as follows:

1. For venues in the RC district or located within 300 feet of any R-1 district property: 50 db-A as measured at the exterior of the building or yard in which the live music is performed and no more than 45 db-A as measured at the property line of any other site in the vicinity of the use.
2. For venues on any other CC or SC district property: 55 db-A as measured at the property line.

B. Sound measurements shall be made using a sound level meter calibrated for the A-weighted scale. Periods with intermittent, exterior, peak noises from the surrounding environment above the allowed decibel limits (e.g., passing automobiles, pedestrians in conversation) that occur while music is being played shall not be used for compliance measurements.

C. For live music venues where there is a contiguous noise-sensitive use, the maximum noise level allowed from live music activities located on the property shall not exceed 40 db-A as measured inside the building occupied by the noise-sensitive use. (Ord. 2013-03 (Exh. A), 2013; Ord. 2013-01 § 1, 2013; Ord. 2008-07, 2008; Ord. 2005-04 § 2, 2005).

9.16.040 Recorded Music.

It is unlawful for any person, firm, business, or corporation located in any CC, SC, RC or R-4 land use district to play or permit to be played recorded or reproduced music on private property at a volume that produces a sound level exceeding 55 db-A as measured at the property line or produces more than 40 db-A inside any building occupied by a noise-sensitive use as defined in CMC [9.16.030\(B\)\(2\)](#). (Ord. 2013-03 (Exh. A), 2013; Ord. 2013-01 § 1, 2013; Ord. 2008-07, 2008; Ord. 2005-04 § 2, 2005; Ord. 2003-06 § 1, 2003; Ord. 274 C.S. § 1, 1972; Code 1975 § 1003).

9.16.050 Exemption.

The Sunset Community and Cultural Center Theater and the attached buildings and grounds are exempt from the provisions of CMC [9.16.020](#) and [9.16.030](#); provided, however, that any such public consumption of alcoholic beverages at Sunset Community and Cultural Center allowed by this exemption shall be permitted only if it is by persons attending events booked at Sunset Center and is provided by Sunset Center-approved concessionaires. (Ord. 2013-03 (Exh. A), 2013; Ord. 2013-01 § 1, 2013; Ord. 2008-07, 2008; Ord. 2005-04 § 2, 2005; Ord. 2003-06 § 1, 2003).

Proposed finish materials include plaster siding, wood half-timbers, a brick wainscot, a flat clay tile roof, and wood windows and doors. The design includes a proposal for a 4-foot high grape-stake fence with stone columns at the front of the property and the replacement of the 6-foot high wood fence along the side and rear property lines.

The Planning Commission first reviewed this project on May 15, 2014, and continued it with a request for certain changes. The Commission's primary concern was with the similarity in style between the proposed residence and the adjacent residence to the west, which was also designed and built by the project applicant, Mr. Robert Darley.

In response to the recommendations made at the May 2014 meeting, the applicant revised the design by reducing the roof pitch from 16:16 to 12:16, lowered the building height by 2'-3", and revised several roof elements on the front elevation. The Planning Commission reviewed the revised proposal on August 13, 2014, and again continued the project with a request for certain changes to address the similarity in style between the neighboring residences. The Planning Commission specifically requested that the applicant further reduce the roof pitch and height of the proposed building.

PROJECT DATA FOR THE RECONFIGURED 4,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 (45%)	1,221 sf (30%)	1,700* sf residence, 200 sf garage
Site Coverage	556 sf (13.9%)	1,388 sf (34.7%)	296 sf (7.4%)
Trees (upper/lower)	5/4 trees	4/0 trees	4/1 trees
Ridge Height (1 st /2 nd)	18 ft./24 ft.	14.2 ft.	13.5 ft./19 ft. 10 in.
Plate Height (1 st /2 nd)	12 ft./18 ft.	10.8 ft.	8 ft./12ft.
Setbacks	Minimum Required	Existing	Proposed
Front	10 ft.	24 ft.	10 ft. (garage)
Composite Side Yard	12.5 ft. (25%)	14.8 ft. (29.6%)	18.5 ft. (37%)
Minimum Side Yard	3 ft.	3 ft. (garage)	6.5 ft. (residence) 3 ft. (garage)
Rear	15 ft.	3 ft. (garage)	18 ft.
* Includes a bonus of 225 sf for basement floor area			

Staff analysis:

Previous Hearings: The following is a list of recommendations made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The applicant shall reduce the roof pitch and lower the height of the building to further differentiate the proposed residence from the adjacent residence to the west.*

Analysis: At the August 13, 2014 meeting, the Planning Commission expressed concern with the similarity in style between the proposed residence and the adjacent residence to the west (western residence). The Commission requested that the applicant reduce the pitch of the roof and height of the proposed residence to address the issue.

The applicant has complied with this request by reducing the roof pitch from 12:12 to 9:12 and lowering the height from 21'-3" to 19'-10". Staff notes that the western residence has a 12:16 roof pitch and an approximate height of 21'-2". Sheet A-2.2 of the plan set depicts the proposed residence and includes a dashed line delineating the building profile of the previous two design proposals that were reviewed by the Planning Commission. Staff notes that the height of the residence has been lowered 3'-8" from the original proposal reviewed by the Planning Commission in May 2014.

The applicant has made changes to the design throughout the process and in staff's opinion, the most recent proposal adequately addresses the recommendation for differentiating the residence. A letter from the applicant, included as Attachment D, provides additional detail from the applicant's perspective on how the two neighboring residences are different from each other. Included with the letter is a streetscape photograph, which shows a colored rendering of the proposed residence next to the neighboring residences to the east and west of the project site. The streetscape photograph demonstrates the differentiation in style between the proposed residence and the western residence.

Other Project Components:

Landscape Plan/Fence: The applicant has included a landscape plan which includes new drought-tolerant landscaping on the property. Included in the landscape plan is a proposal for new fencing around the perimeter of the property. The applicant had previously proposed a 3-foot high brick wall at the front of the property. However, at the May 2014 meeting, staff noted that the proposed wall would be very similar in style to the brick wall on the adjacent property to the west, and recommended that the applicant revise the design to use a different material.

The applicant has complied with this recommendation and is now proposing a 4-foot high grape-stake fence with 4-foot high stucco columns. In addition, the applicant is also proposing to replace the existing 6-foot high solid wood fence along the side-yard property lines and the south rear-yard property with a mostly-solid 6-foot high wood fence.

Exterior Lighting: Carmel Municipal Code Section 15.36.070.B. provides exterior lighting requirements for the R-1 Zoning District. This section requires that the exterior wall-mounted lighting not to exceed 25-watts incandescent equivalent (i.e., approximately 375 lumens) per fixture, and that landscape lighting not exceed 15 watts (i.e., approximately 225 lumens) per fixture. Staff notes that the wattage requirements are based on the lumen output of an incandescent bulb. In comparison, a 6.25 watt compact fluorescent lamp (CFL) produces 375 lumens.

Sheet L-1.1 of the plan set identifies the wattage of wall-mounted lighting as 25 watts and the landscape lighting as 15 watts, but does not identify the proposed type of light-bulb. It does however; contain a note identifying the lumen output. A condition has been drafted requiring the applicant to identify the type of the light-bulbs that will be used on the construction plan set, so that staff can confirm that the proposed lights are consistent with the maximum allowed lumen levels.

Alternatives: Staff has prepared draft findings and conditions of approval for Commission consideration. The Planning Commission may approve the design as proposed or may provide direction on necessary revisions. The Commission may also deny the Design Study application, which would give the applicant the option of appealing to the City Council.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – Construction or modification of a limited number of new or existing small structures. The proposed new residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Applicant Letter and Streetscape Photograph
- Attachment E – Project Plans

Attachment A – Site Photographs



Front of project site – Facing south on 2nd Ave (Original Story-Poles)



Adjacent Lot to west with similar style residence – Facing southwest on 2nd Ave

Attachment B – Findings for Approval

DS 14-29 (Darley)
 October 8, 2014
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City’s design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project’s use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City’s objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	
Coastal Development Findings (CMC 17.64.B.1):		
13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	

Attachment C – Conditions of Approval

DS 14-29 (Darley)
 October 8, 2014
 Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 14-29) as conditioned authorizes the construction of a new two-story 1,900-square foot residence including: a 945-square foot main level, a 530-square foot upper level, a 225-square foot basement, and a 200-square foot detached garage as shown on the August 13, 2014 approved plans. Finish materials include plaster siding, wood half-timbers, a brick wainscot, a wood shake or shingle roof, and wood windows and doors. All work shall be consistent with the October 8, 2014 approved plans.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction,	✓

	the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	N/A
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden	✓

	mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the	N/A

	Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
	Special Condition	
22.	The applicant shall identify the proposed type of light-bulbs on the construction plan set submitted with the Building Permit application.	✓

*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

 Printed Name

 Date

Once signed, please return to the Community Planning and Building Department.

HORAN | LLOYD

ANTHONY T. KARACHALE
STEPHEN W. DYER
MARK A. BLUM
JAMES J. COOK
ELIZABETH C. GIANOLA
JEROME F. POLITZER
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(1929-2012)

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SEP 10 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

September 10, 2014

City of Carmel Planning Commission
PO Box G
Carmel, CA 93921

**RE: 2nd Avenue, 2 Southwest of San Rita Street
Concept Design Study (DS 14-29)**

Dear Honorable Commissioners:

This firm represents Robert H. Darley, owner of the above-referenced property. The hearing before you on October 8, 2014, will be Mr. Darley's third time appearing before you with a redesign of a single family residential dwelling unit that has been modified pursuant to your direction. Mr. Darley has consistently complied with your direction; however, he is concerned that any further changes will result in a shift in and muddling of the French Country architectural style, which would be inconsistent with the City's Residential Design Guidelines ("Guidelines").

In the past hearings on this application, there has been a great deal of focus on a single Guideline principle without a comprehensive review of his development project's consistency with other key provisions and guidelines and without acknowledging competing interests within them. His proposal meets the City Code and Guidelines, and the restrictions within them have already severely limited his artistic talent.

It is uncontroverted that Mr. Darley has prepared an architectural design that meets the following requirements set forth in the City Code and Guidelines:

1. Conforms to all zoning standards applicable to the site (City Code Chapter 17.10);

City of Carmel Planning Commission
September 10, 2014
Page 2

2. Designed to preserve trees (City Code §17.10.010.A);
3. Contributes to the neighborhood character (City Code §17.10.010.B);
4. Is compatible with, and sensitive to, the natural features and built environment of the site and the surrounding area (City Code §17.10.010.C);
5. Maintains Carmel's enduring principles of modesty and simplicity and avoids box-like buildings (City Code §17.10.010.D);
6. Relates to a human scale in their forms (City Code §17.10.010.E);
7. Preserves reasonable access to light, air and open space for surrounding properties (City Code §17.10.010.E);
8. Respects the privacy of neighbors (City Code §17.10.010.G);
9. Keeps building form, materials and details simple and visually restrained (Guideline 9.2);
10. Uses building details to provide interest and not exaggerate the scale of a building (Guideline 9.3);
11. Uses authentic architectural details, integral elements of the overall building design concept (Guideline 9.4);
12. Uses "natural" building materials (Guideline 9.5); and
13. Avoids the use of synthetic materials (Guideline 9.6).

In summary, it is undisputed that all zoning requirements, including setbacks and height, were met. Additionally, Mr. Darley does not propose to remove any of the four oak and redwood trees on the property. Mr. Darley also carefully designed the residence to provide privacy for his adjacent neighbors.

These requirements limit the location and size of the residential dwelling unit.

City of Carmel Planning Commission
September 10, 2014
Page 3

The additional constraints on the design such as – must be subordinate to the environment; not be box-like; be compatible with the neighborhood; and must complement the character of the structure and the neighborhood -- limit the design of the residential dwelling unit, and Mr. Darley’s design has met all of these requirements.

The remaining issue appears to be associated with “diversity of styles”. Specifically, Key Principle 2 in the Guidelines, which states, “Promote diversity of *styles*. Within the framework of the design traditions, a range of architectural designs can occur. In fact, repetition of a single *style* in a block should be avoided.” Guideline 9.1 states, “A new building should be different in *style* from building on nearby and abutting properties.”

However, guideline also states that the style cannot be so different that it is incompatible with the neighborhood. Moreover, building forms, materials and details cannot contrast strongly with neighboring buildings. (Guideline 9.2.) Also, the roof material must be within the context of the neighborhood. (Guideline 9.8.) That is, there appears to be some subjective and arbitrary juncture where style and materials are diverse enough to avoid repetition, but not too diverse to be in contrast with the neighboring buildings or be incompatible with the neighborhood.

Despite these competing interests, which can only be determined on a subjective, arbitrary basis, Mr. Darley’s design meets the “diversity” guideline. The key word in the Key Principle 2 and Objective 9.1 is “styles”, i.e., the architectural style of the residence. Mr. Darley proposes a different architectural style than the adjacent properties. Specifically, he proposes French Country architectural style; whereas, the property to the west is Worcestershire Tudor architecture. The French Country architectural style, which is modest and simple, provides the feeling of rustic warmth and comfort. The Worcestershire Tudor architectural style, which creates the look of a medieval English manor, is intended to accentuate the medieval feel of the house. The look and feel of the two architectural styles clearly distinguish the two residential structures. It is important to note that European style homes within the City are acknowledged in the City’s General Plan.¹

Please see the photographs included as Exhibit A, which show a rendering of the proposed French Country style structure against the existing Worcestershire Tudor style structure, as viewed from the street. The key differences in the architectural features as well as materials and colors are provided for you below:

¹ The City’s General Plan states as follows: In the 1920s and 1930s several European Revival styles became popular.

City of Carmel Planning Commission
September 10, 2014
Page 4

Worcestershire Tudor:

- Medieval English manor
- Predominant roof line
- Steeply pitched roof with clay tile
- Multi-gable roof lines
- Massive chimney
- Narrow decorative windows in groups of two and three with leaded small diamond patterned oak windows
- Decorative half-timber frame with red bricks

French Country:

- Softer “country” appearance
- Lower pitched roof of clay-tiles
- Mustard stucco siding with brick lower wainscot
- Large single and double leaded square patterned windows
- Regular size chimney sloped at the base
- Shed style gable at front upper level

These different architectural elements, colors and materials clearly distinguish the two structures so that the proposed design is not repetitive, yet not so much that they contrast with one another. Guideline 9.7, as provided below, allows for different materials to be used to create diversity:

When the houses to either side of a site are constructed of similar materials, use a different material, consistent with Carmel’s design traditions, in order to achieve diversity in appearance.

It is important to point out that any further modification of the design will be in direct conflict with the Guideline’s Key Principle 3, *Be consistent with an individual building*. The principle states in part,

Consistency in design throughout an individual building is very important. This is an essential ingredient of the design traditions of Carmel.

Changing architectural elements and muddling the style would be inconsistent with this Key Principle. Specifically, further changing the roof pitch and ridge height would be inconsistent with Key Principle 3.

City of Carmel Planning Commission
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Page 5

Given that Mr. Darley's design has met the significant restrictions set forth in the City Code and Guidelines, we request that the Planning Commission approve his design. Mr. Darley has already demonstrated his ability to create original designs, each with a distinct and unique identity.

Please do not hesitate to contact me if you have any questions or require additional information.

Respectfully submitted,


Pamela H. Silkwood

PHS/dkp

Cc: Marc Wiener
Client

4826-9367-4525, v. 2

Exhibit A



Darley Residence
Carmel By The Sea, California







DATE	REVISION

SCOPE OF WORK:

- 1) Demolition of an Existing 1,221 S.F. One-Story Residence with a Detached One Car Garage 189 S.F.
- 2) Construction of a New Two-Story Single Family Dwelling with a Detached One Car Garage

OWNER: ROBERT DARLEY
 PO Box 1811
 CARMEL, CA. 93921
 Phone: (831) 601-5233

SITE INFORMATION:

2nd AVENUE, 2 SW OF SANTA RITA STREET
 CARMEL BY THE SEA, CALIFORNIA

A.P.N.: 010-028-002-000
 Occupancy: R3, U1
 Constr. Type: VN
 Zoning Designation: R1
 Property Area: 4,000 S.F.

BUILDING DATA:

RESIDENCE	PROPOSED
Main Floor	945 S.F.
Garage	200 S.F.
	1,145 S.F.
Upper Floor	696 S.F.
Upper Stairs	- 35 S.F.
Bay Window	- 10 S.F.
Area Under 5'	- 118 S.F.
	533 S.F.
Total Floor Area Above Grade	1,678 S.F. (Allowed 1,800 S.F.)
BASEMENT	
Basement Bonus	100 S.F. (Bonus)
122 S.F. Un-used Area Above Grade Bonus (When used at Basement)	122 S.F. (Bonus)
	222 S.F.
Basement	379 S.F.
Basement Stairs	- 35 S.F.
	- 222 S.F. (Bonus)
	122 S.F.
Floor Area Ratio	1,800 S.F.
Building Site Coverage	1,145 S.F. 28.6%

SITE COVERAGE	PROPOSED	EXISTING
Entry Walk	30 S.F. Stepping Stone	
Driveway up to 8' wide	94 S.F. D.G.	538 S.F. Concrete
Motor Court	266 S.F. D.G.	
Front Patio		655 S.F.
Rear Patio		195 S.F.
	296 S.F.	1,388 S.F.

Cut: 114 Cu.Yd. Approx. (Basement)
 Fill: 18 Cu.Yd. Approx.

Trees To Be Removed: None
 Water company: CALAM
 Water Management: MPWMD

SITE INFORMATION 1

PROPOSED PLANS

SHEET G-1.1	TITLE SHEET- PROPOSED SITE PLAN
SHEET C-1.1	TOPOGRAPHIC SURVEY
SHEET C-1.2	SITE DEVELOPMENT PLANS
SHEET A-1.1	PROPOSED MAIN & UPPER FLOOR PLAN
SHEET A-1.2	PROPOSED UPPER ROOF PLAN
SHEET A-2.1	PROPOSED EXTERIOR ELEVATIONS
SHEET A-2.2	PROPOSED STREET PROFILE - BUILD SECTION
SHEET L-1.1	PROPOSED LANDSCAPE - LIGHTING PLAN



P.O. Box 2094 Carmel, CA. 93921
 Ph: 831.521.5924 Fax: 270.682.9960
 Mail: FormaStudio@comcast.net

DARLEY RESIDENCE
 2nd AVENUE, 2 SW OF SANTA RITA STREET
 CARMEL BY THE SEA, CALIFORNIA

Job Number: 2014-11
 Date: 08-04-14
 Revision:
 Drawn By: AA

Sheet Number
G-1.1

of: Sheets

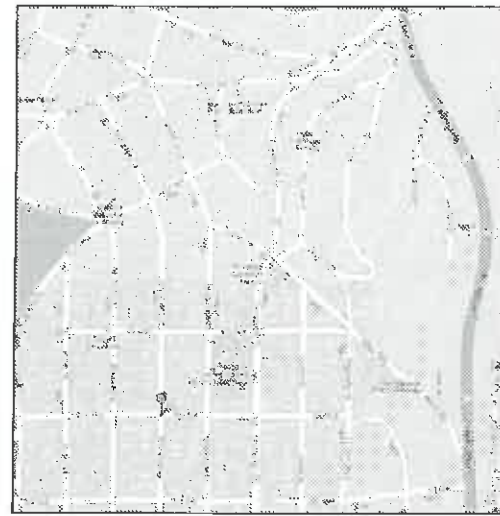
INDEX- SITE PLAN

DARLEY RESIDENCE

2nd AVENUE, 2 SW OF SANTA RITA STREET

CARMEL BY THE SEA, CALIFORNIA

NEW RESIDENCE



VICINITY MAP 5

APPLICABLE CODES FOR THIS PROJECT:

- 2013 California Building Code (CBC)
- 2013 California Residential Code (CRC)
- 2013 California Fire Code (CFC)
- 2013 California Plumbing Code (CPC)
- 2013 California Mechanical Code (CMC)
- 2013 California Electrical Code (CEC)
- 2013 California Energy Code (CEC)
- 2013 California County Code (MCC)

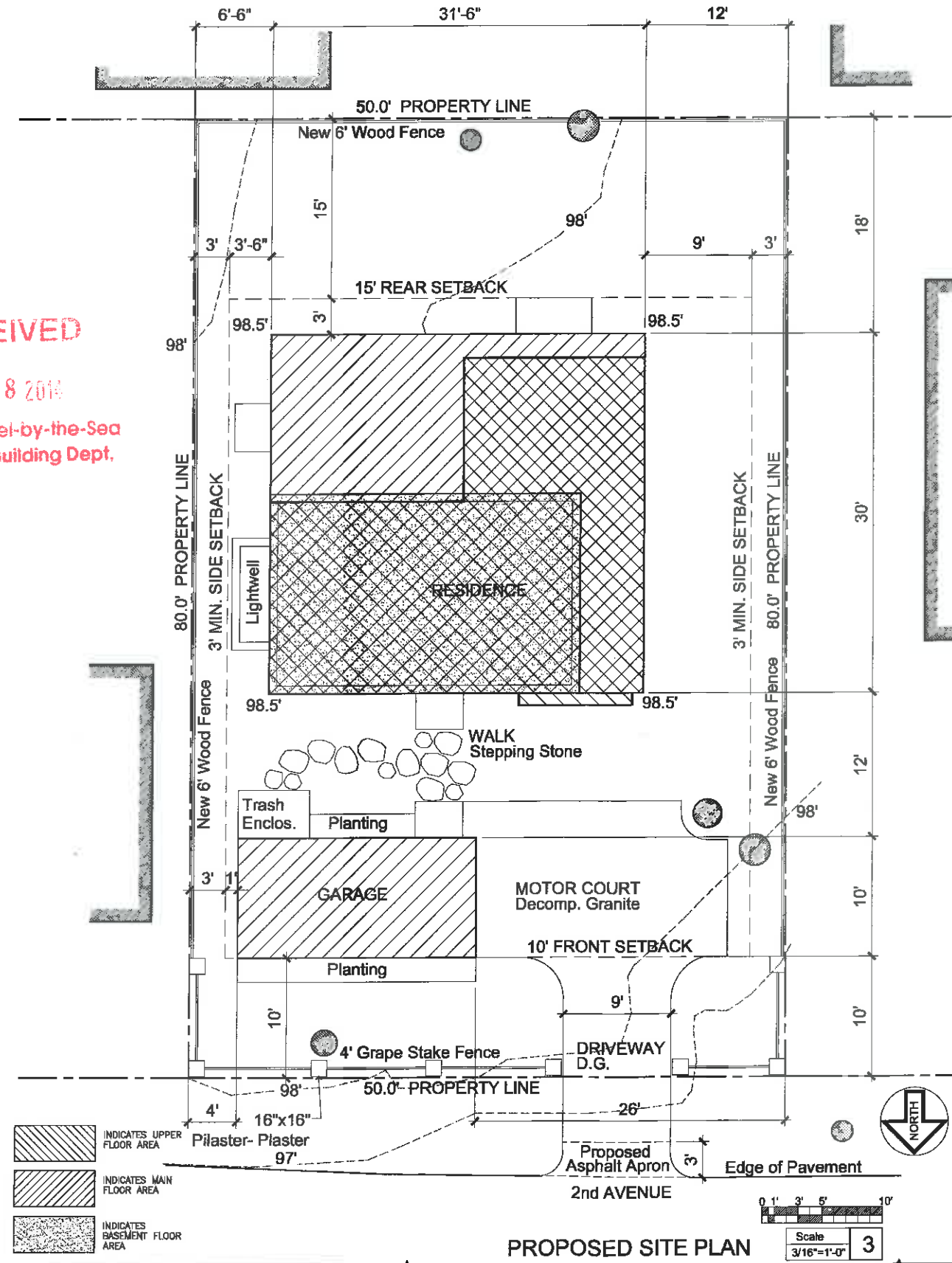
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SEP - 8 2014

City of Carmel-by-the-Sea
 Planning & Building Dept.

DIVISION 1 - GENERAL REQUIREMENTS

- 1.1 THE WORK TO BE DONE BY EACH CONTRACTOR INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION AND COMPLETION OF THIS PROJECT, INCLUDING SITEWORK. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL COMPLY WITH THE FOLLOWING:
 - 1.1.1 THESE NOTES AND DRAWINGS.
 - 1.1.2 ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS LISTED IN THESE DOCUMENTS.
 - 1.1.3 WORKMANSHIP SHALL MEET NORMAL PROFESSIONAL STANDARDS OF THE TRADE AND SHALL MEET THE DESIGNER'S AND OWNER'S SATISFACTION WITHIN THE STANDARDS NORMALLY PROVIDED BY VARIOUS TRADES.
 - 1.1.4 INSTALLATION OF EQUIPMENT AND MATERIAL SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR APPLICABLE ASSOCIATION STANDARDS.
 - 1.1.5 ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED, AND SHALL BE EQUAL TO OR SUPERIOR TO THOSE ITEMS SPECIFIED IF A SUBSTITUTION IS APPROVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE DESIGNER'S PRIOR WRITTEN APPROVAL.
- 1.2 SITE VERIFICATION - EACH CONTRACTOR AND SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFORMATION AND CONDITION OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING PROSECUTION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL UNUSUAL CONDITIONS ENCOUNTERED ON THE SITE DURING THE COURSE OF CONSTRUCTION EXCEPT THOSE BELOW EXISTING SLABS OR GRADE OF WHICH THE CONTRACTOR MAY NOT HAVE KNOWLEDGE. ALL SUCH EXISTING CONDITIONS SHALL BE INCORPORATED INTO THE CONTRACTOR'S BID PROPOSAL, WHETHER SHOWN ON THE DRAWINGS OR NOT. ANY INACCURACIES OR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGNER IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK PERFORMED.
- 1.3 CONSTRUCTION DOCUMENTS
 - 1.3.1 THESE DRAWINGS ARE INTENDED AS A GUIDE ONLY FOR CONSTRUCTION. DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED BY THE DESIGNER.
 - 1.3.2 THE CONTRACTOR IS FULLY RESPONSIBLE FOR OBSERVATION OF CONSTRUCTION AND PROPER EXECUTION OF WORK SHOWN ON THE DRAWINGS, AS WELL AS FOR PERFORMANCE OF WORK ON THIS PROJECT. THE DESIGNER IS NOT RESPONSIBLE FOR METHODS USED, SAFETY DIAL IN, OR ABOUT THE JOB SITE OR FOR THE QUALITY OF PERFORMANCE OF CONSTRUCTION WORK.
 - 1.3.3 THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL MATERIAL TAKE-OFFS FROM THESE DOCUMENTS. HE MUST VERIFY DIMENSIONS OF ALL EXISTING OR BUILT-IN ITEMS.
 - 1.3.4 THE DESIGNER IS NOT RESPONSIBLE FOR ANY DEVIATION FROM OR INTERPRETATION OF CONSTRUCTION DOCUMENTS MADE BY THE CONTRACTOR WITHOUT OBTAINING WRITTEN DIRECTION FROM THE DESIGNER FIRST.
 - 1.3.5 THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNTIL THEY ARE REVIEWED BY A QUALIFIED PLAN CHECK EXAMINER AND STAMPED "APPROVED" BY THE BUILDING DEPARTMENT AND A BUILDING PERMIT IS ISSUED.
- 1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL THE DESIGNER'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- 1.5 ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.
- 1.6 NEW AND REPAIR WORK IN THIS PROJECT WHICH ENCOMPASSES SIMILAR ITEMS IN EXISTING WORK SUCH AS STUCCO, DRYWALL, EAVES AND FASCIA, TRIM, GUTTERS AND DOWNSPOUTS, ELECTRICAL SWITCHING AND RECEPTACLE PLATES, AND OTHER ITEMS, SHALL MATCH EXISTING MATERIAL, INSTALLATION, FINISH, AND COLOR UNLESS OTHERWISE NOTED.
- 1.7 ALL TRADES SHALL AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE THE JOB IN A BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.
- 1.8 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMUM DISRUPTION. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING SERVICES ARE TEMPORARILY CUT OFF. TEMPORARILY RE-ROUTE ANY UTILITIES REQUIRED BY THE OWNER FOR CONTINUOUS SERVICE.
- 1.9 THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONS, EXISTING CONSTRUCTION, AND ADJACENT PROPERTY, AND TO ENSURE THE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD, INCLUDING ANY SHORING DESIGN DRAWINGS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL PROVIDE, AT HIS OWN EXPENSE, ERECTION BRACING AND DRAWINGS REQUIRED BY LAW, OSHA, OR FOR GENERAL SAFE CONSTRUCTION PRACTICES.
- 1.10 THE DESIGNER RESERVES THE RIGHT TO HAVE ANY WORK NOT DONE CORRECTLY AS PER DRAWINGS, SPECIFICATIONS, CONTRACT, OR ANY OTHER MEANS OF COMMUNICATION CORRECTED AT NO ADDITIONAL COST TO OWNER.
- 1.11 THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.



	INDICATES UPPER FLOOR AREA
	INDICATES MAIN FLOOR AREA
	INDICATES BASEMENT FLOOR AREA

PROPOSED SITE PLAN

Scale 3/16"=1'-0"
 3

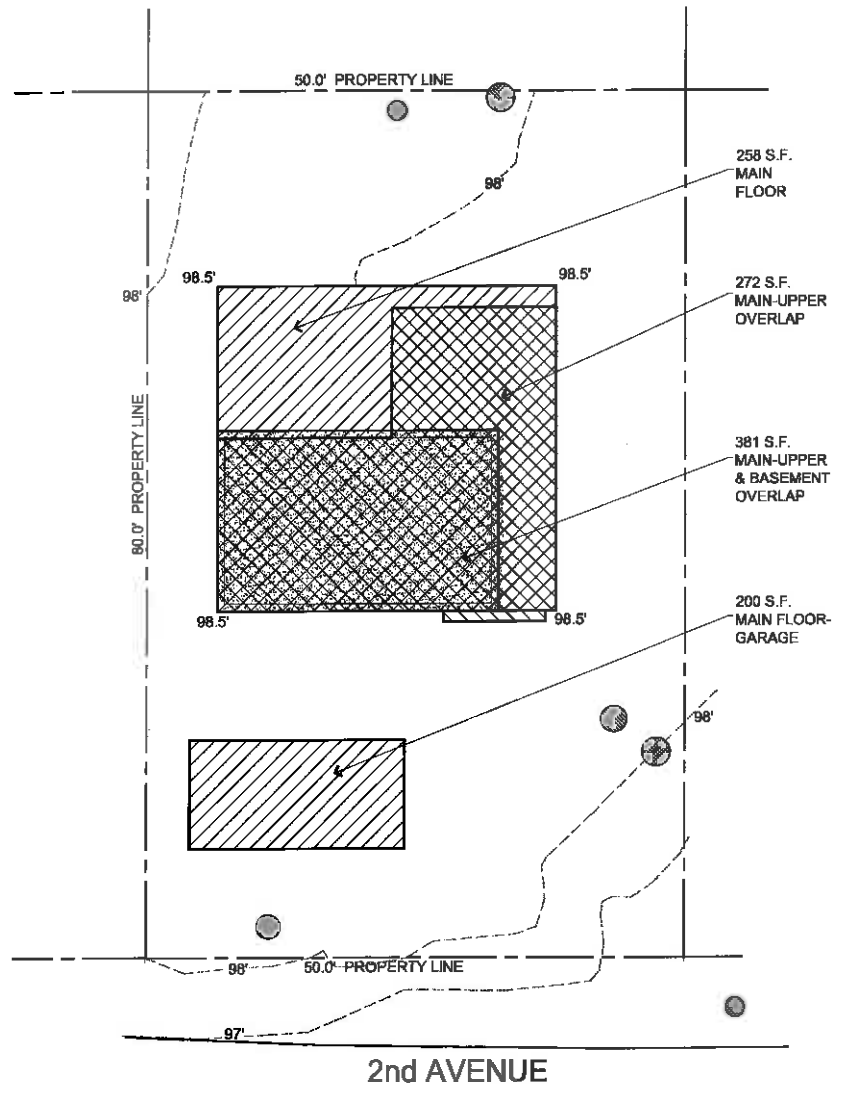
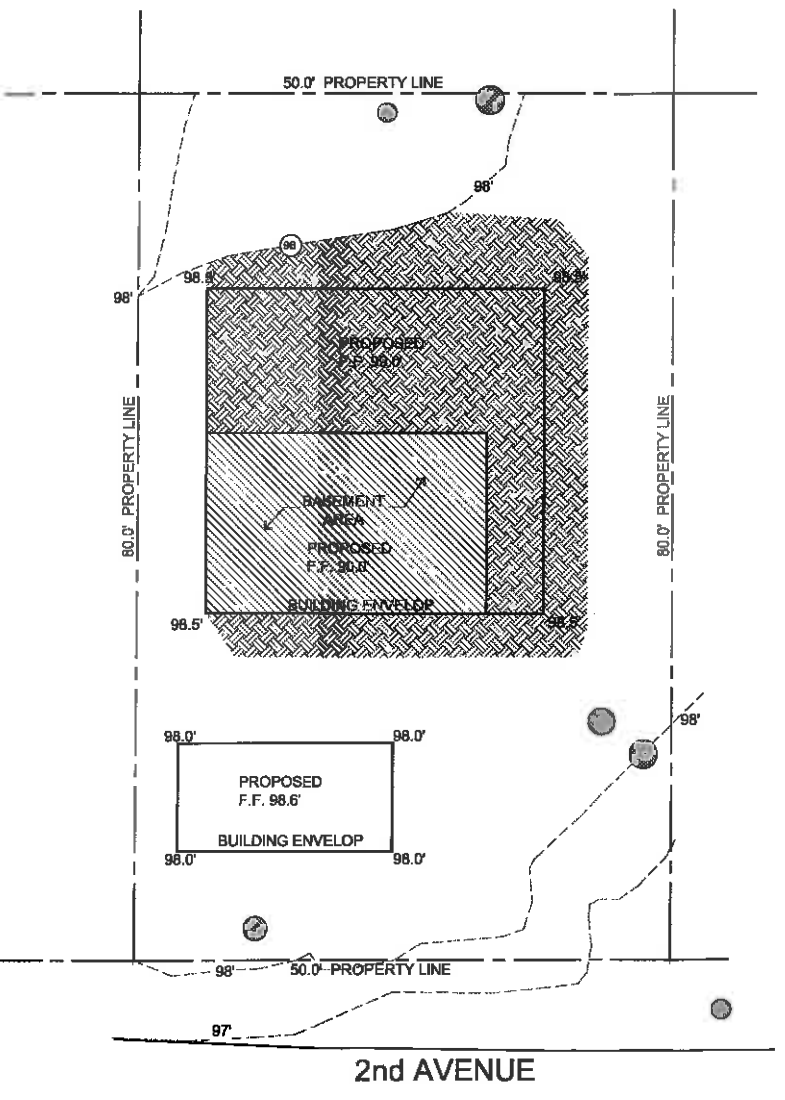
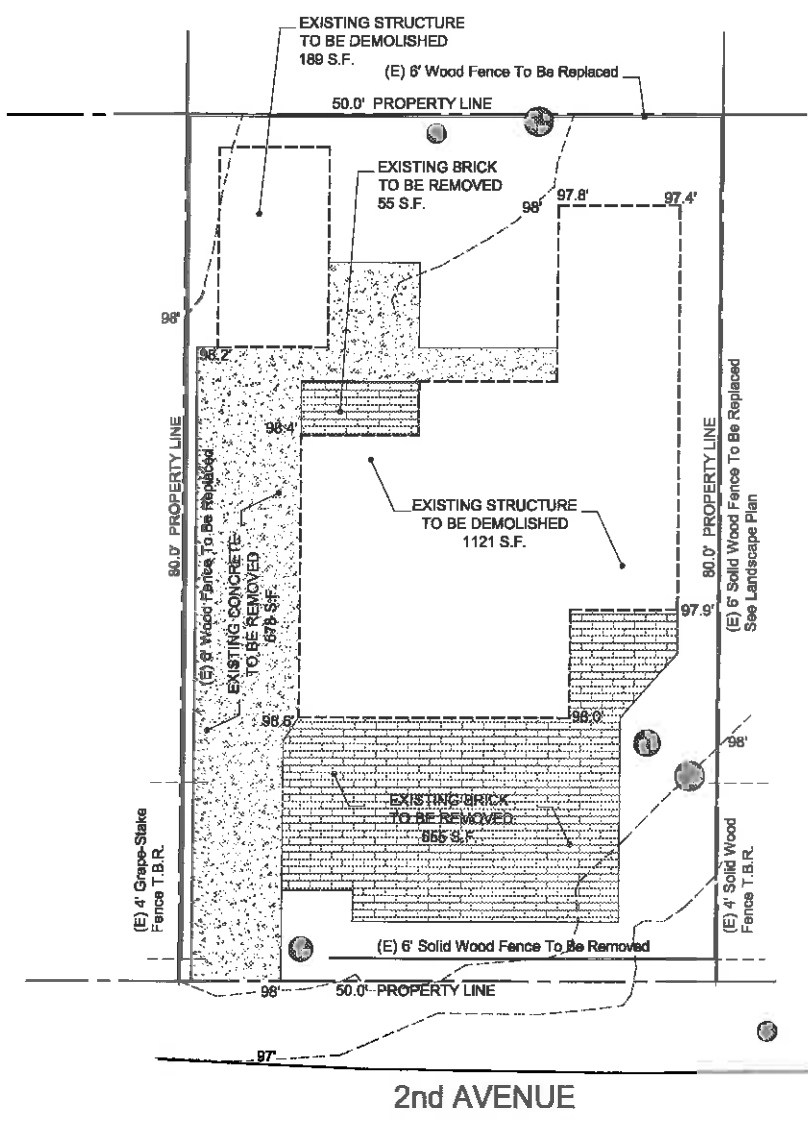
SHEET INDEX 2

DATE	REVISION

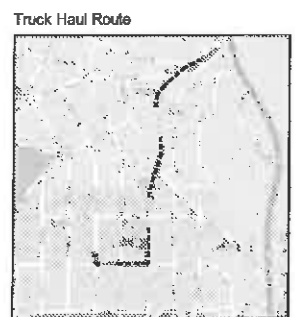


P.O. Box 2094 Carmel, CA 93921
 Ph 831.521.5624 Fx 270.662.9603
 Mail: FormaStudio@comcast.net

DARLEY RESIDENCE
 2nd AVENUE, 2 SW of SANTA RITA STREET
 CARMEL BY THE SEA, CALIFORNIA



(E) STRUCTURE TO BE REMOVED
PROPOSED DEMOLITION PLAN
 Scale 1/8"=1'-0" **1**

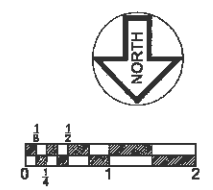


PROPOSED GRADING PLAN
 Scale 1/8"=1'-0" **2**

Cut: 114 Cu.Yd. Approx. (Basement)
 Fill: 18 Cu.Yd. Approx.
 Approximately export grading volume 96 Cu.Yd.
 Truck Load = 18 Cu.Yd.
 Total Trips = 6

- INDICATES AREA OF CUT
- INDICATES AREA OF FILL

- INDICATES UPPER FLOOR AREA
- INDICATES MAIN FLOOR AREA
- INDICATES BASEMENT FLOOR AREA



PROPOSED SITE MAP PLAN
 Scale 1/8"=1'-0" **3**

Job Number	2014-11
Date	09-04-14
Revision	
Drawn By	AA

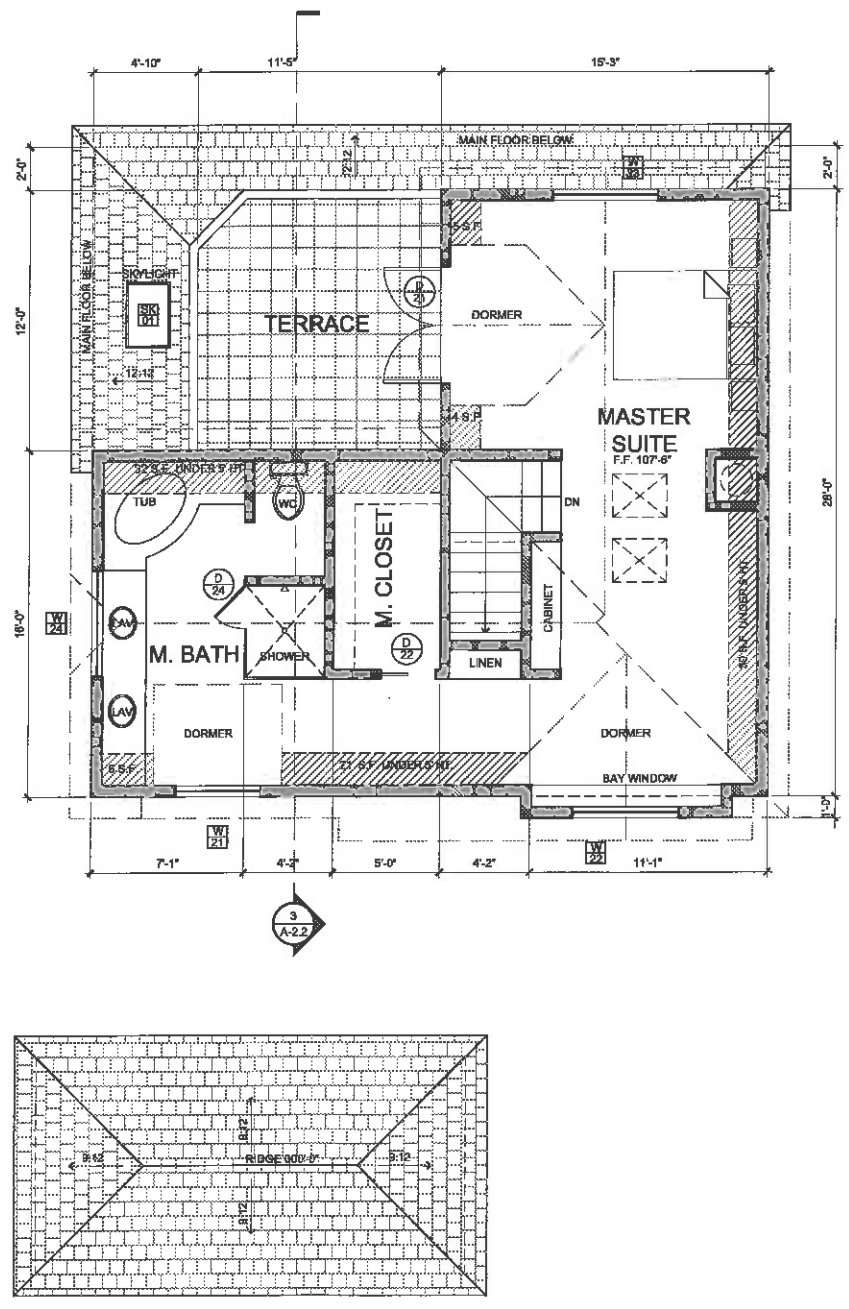
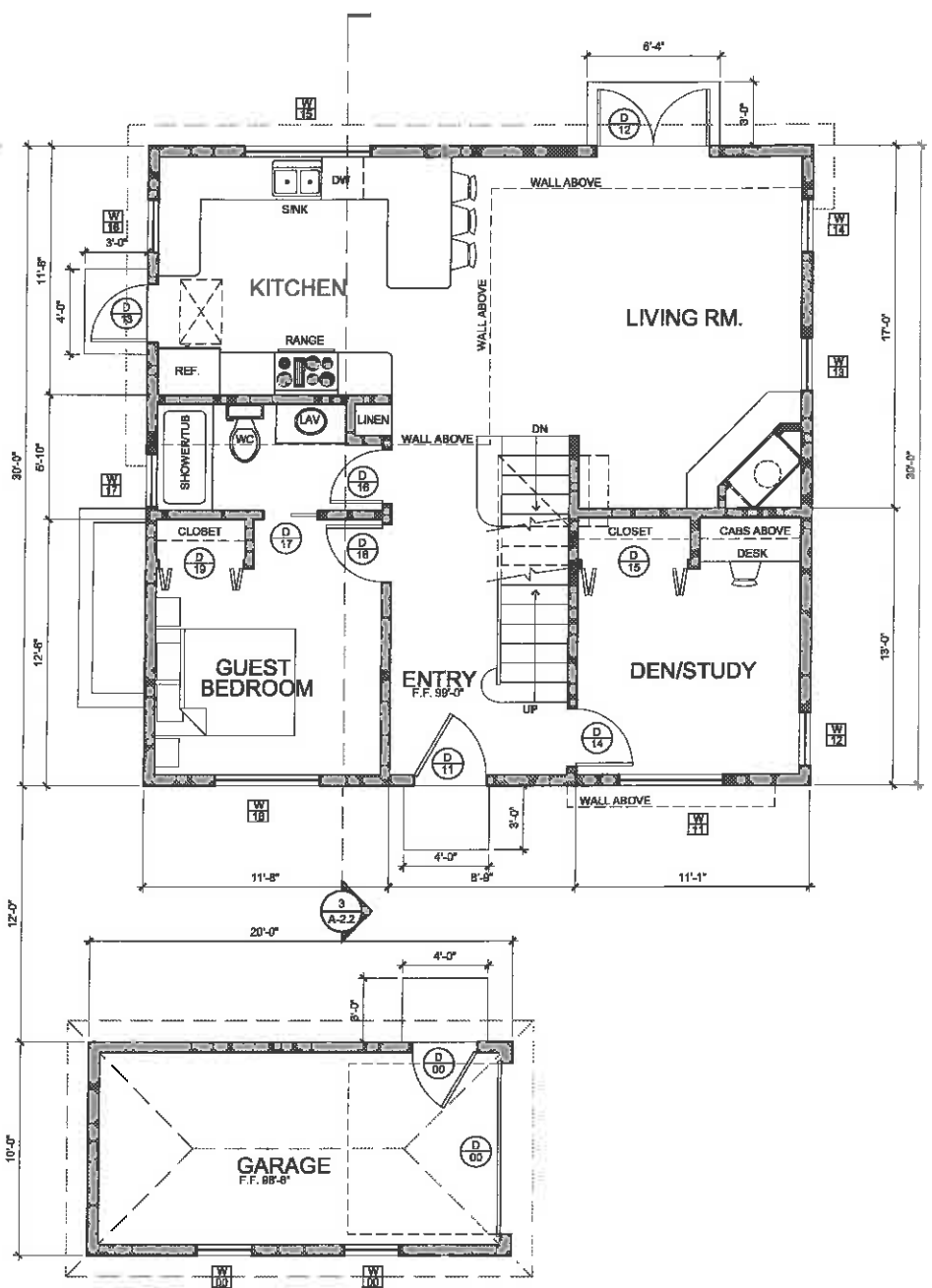
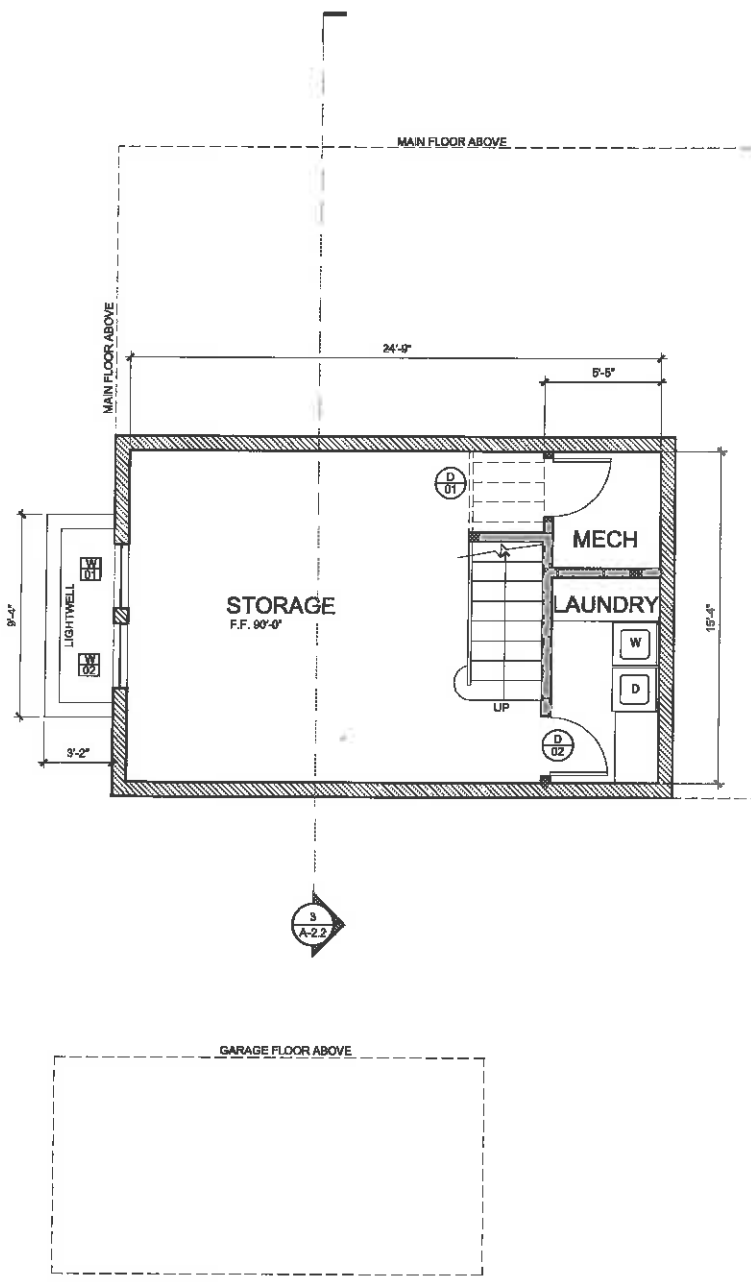
Sheet Number	C-1.2
of	Sheets
SITE DEVELOPMENT	

DATE	REVISION

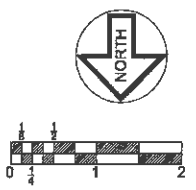


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DARLEY RESIDENCE
 2nd AVENUE, 2 SW of SANTA RITA STREET
 CARMEL BY THE SEA, CALIFORNIA



WALL LEGEND
 (N) 2x FRAMED WALL
 (E) FRAMED WALL TO REMAIN
 (E) TO BE REMOVED



Job Number	2014-11
Date	09-04-14
Revision	
Drawn By	AA

Sheet Number
A-1.1
 of: Sheets
FLOOR PLANS

DATE	REVISION



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DARLEY RESIDENCE
 2nd AVENUE, 2 SW of SANTA RITA STREET
 CARMEL BY THE SEA, CALIFORNIA

Job Number	2014-11
Date	09-04-14
Revision	
Drawn By	AA

Sheet Number

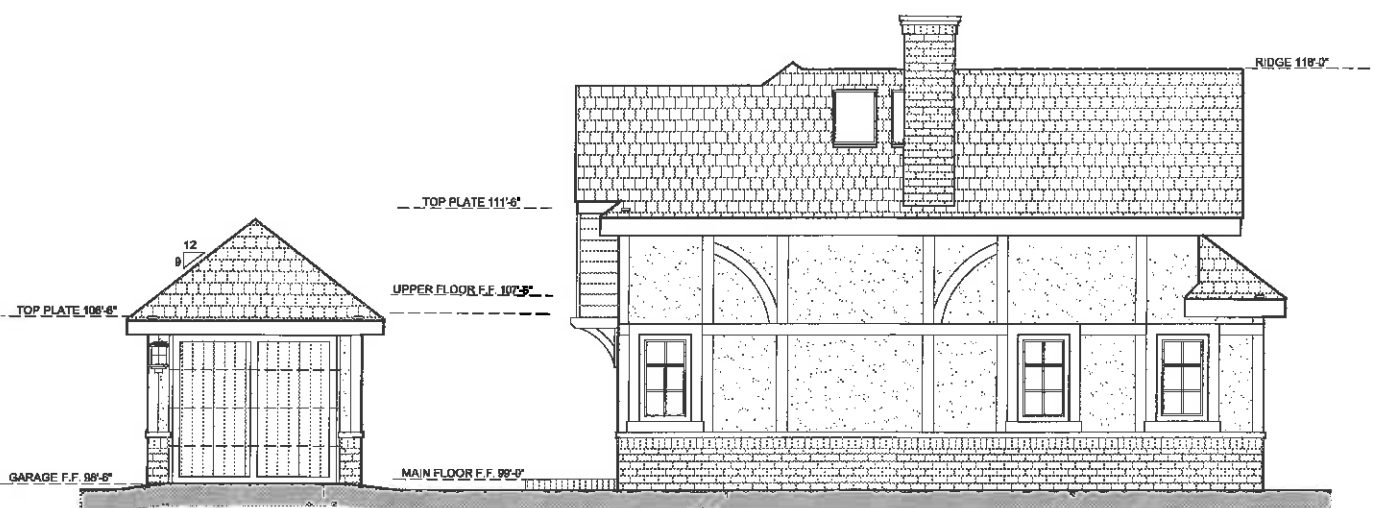
A-2.1

of: Sheets

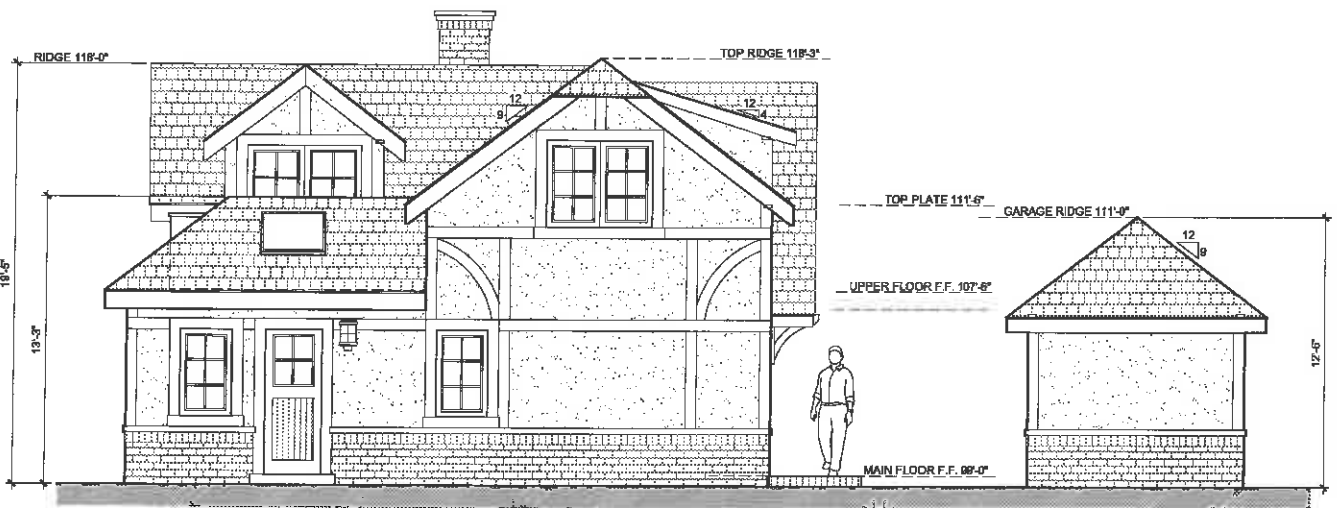
EXTERIOR ELEVATIONS



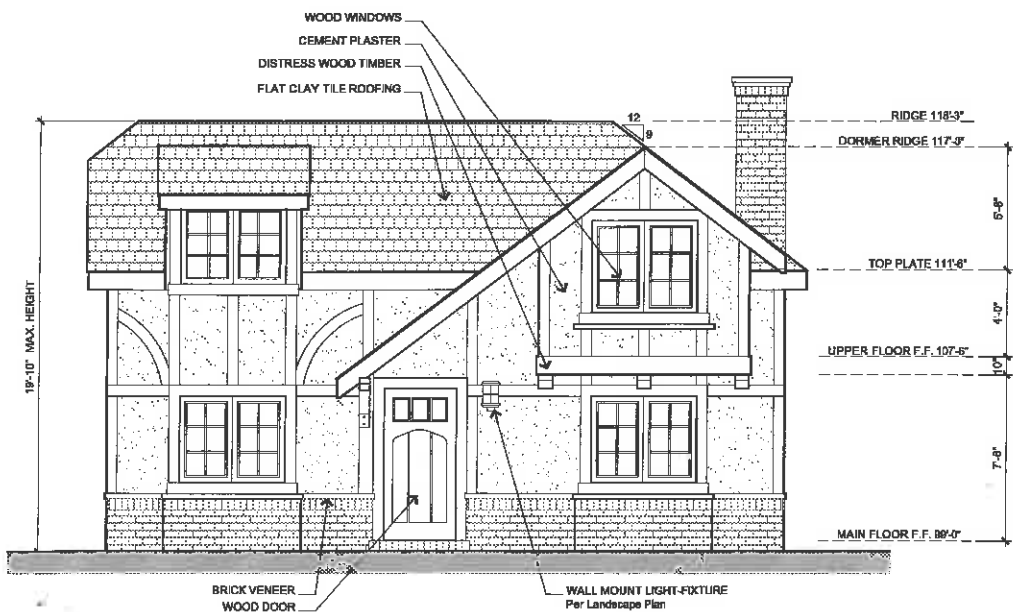
PROPOSED SOUTH ELEVATION Scale 1/4"=1'-0" S



PROPOSED WEST ELEVATION Scale 1/4"=1'-0" W



PROPOSED EAST ELEVATION Scale 1/4"=1'-0" E



PROPOSED NORTH ELEVATION Scale 1/4"=1'-0" N



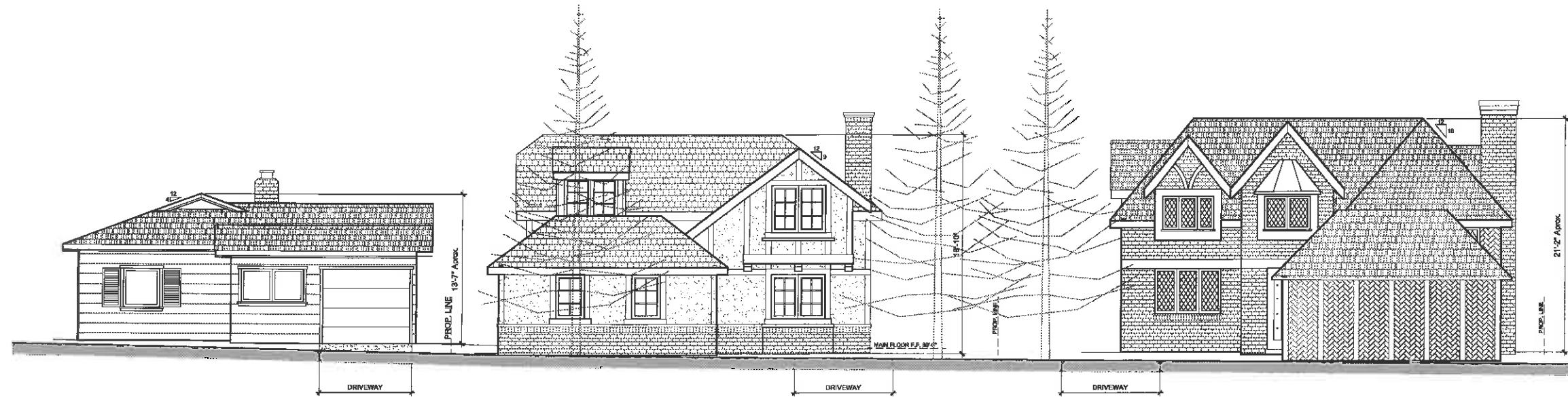
THIS DRAWING IS THE PROPERTY OF FORMA DESIGN STUDIO. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FORMA DESIGN STUDIO.

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DATE	REVISION



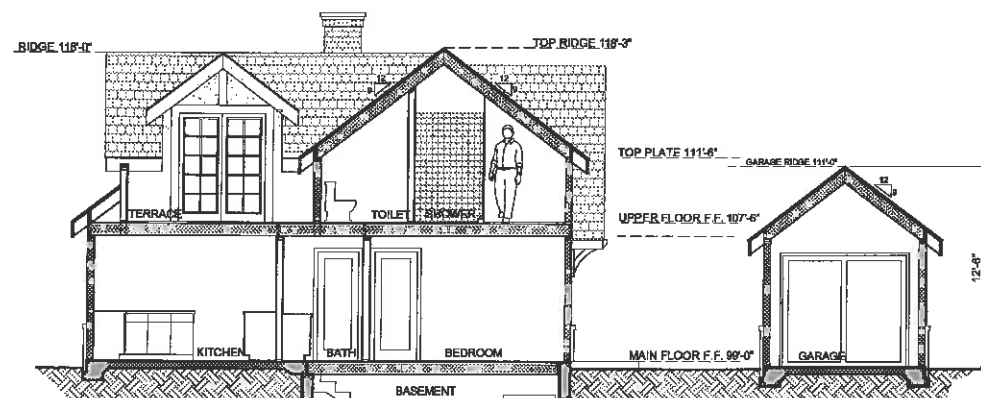
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STREET PROFILE ELEVATION

Scale
 3/16"=1'0" 1

DARLEY RESIDENCE
 2nd AVENUE, 2 SW of SANTA RITA STREET
 CARMEL BY THE SEA, CALIFORNIA



BUILDING SECTION

Scale
 3/16"=1'0" 3



BUILDING DESIGN REVISIONS

Scale
 3/16"=1'0" 2

Job Number	2014-11
Date	09-04-14
Revision	
Drawn By	AA

Sheet Number

A-2.2

of: Sheets

STREET PROFILE-RENDERS

DATE	REVISION



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DARLEY RESIDENCE

2nd AVENUE, 2 SW of SANTA RITA STREET
 CARMEL BY THE SEA, CALIFORNIA

Job Number	2014-11
Date	09-04-14
Revision	
Drawn By	AA

Sheet Number

L-1.1

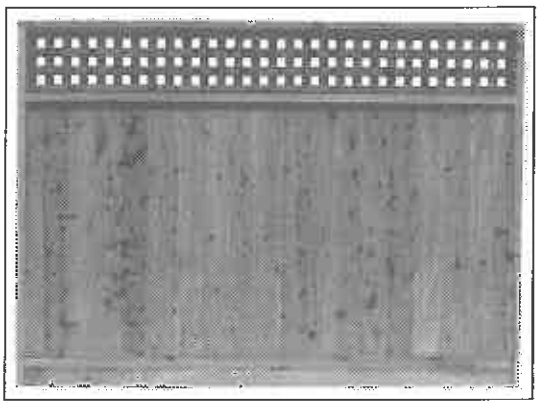
of Sheets

LANDSCAPE-LIGHTING PLAN

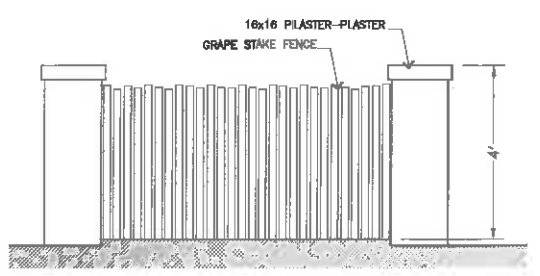
- EXTERIOR LIGHTING NOTES:**
1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING AND OR ACCESSORY BUILDING SHALL NOT BE HIGHER THAN 10 FEET ABOVE THE GROUND AND NOT EXCEED 25 WATTS (APPROX. 375 LUMENS) IN POWER PER FIXTURE.
 2. LANDSCAPE LIGHTING SHALL NOT EXCEED 18 INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (APPROX. 225 LUMENS) PER FIXTURE AND SHALL NOT BE SPACED CLOSER THAN 10 FEET APART. LANDSCAPE LIGHTING SHALL NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE.
 3. ALL EXTERIOR LIGHTING SHALL BE DIRECTED DOWNWARD. LUMINARIES SHALL BE SCREENED FOR VIEW.
 4. ALL EXTERIOR LIGHTING SHALL BE ON PHOTO-SENSOR CIRCUITS WITH TIMER OVERRIDE.
- SITE SYMBOLS:**
- BRONZE RECESSED DOWN LIGHT, SEE FIXTURE SPECS.
 - PEDESTAL DOWNLIGHT, SEE FIXTURE SPECS.
 - WALL MOUNTED LIGHT, SEE FIXTURE SPECS.
 - EQUIPMENT REFERENCE SYMBOL FOR SPECIFICATIONS DETAILS
 - LIGHTING REFERENCE SYMBOL FOR SPECIFICATIONS FOR DETAILS



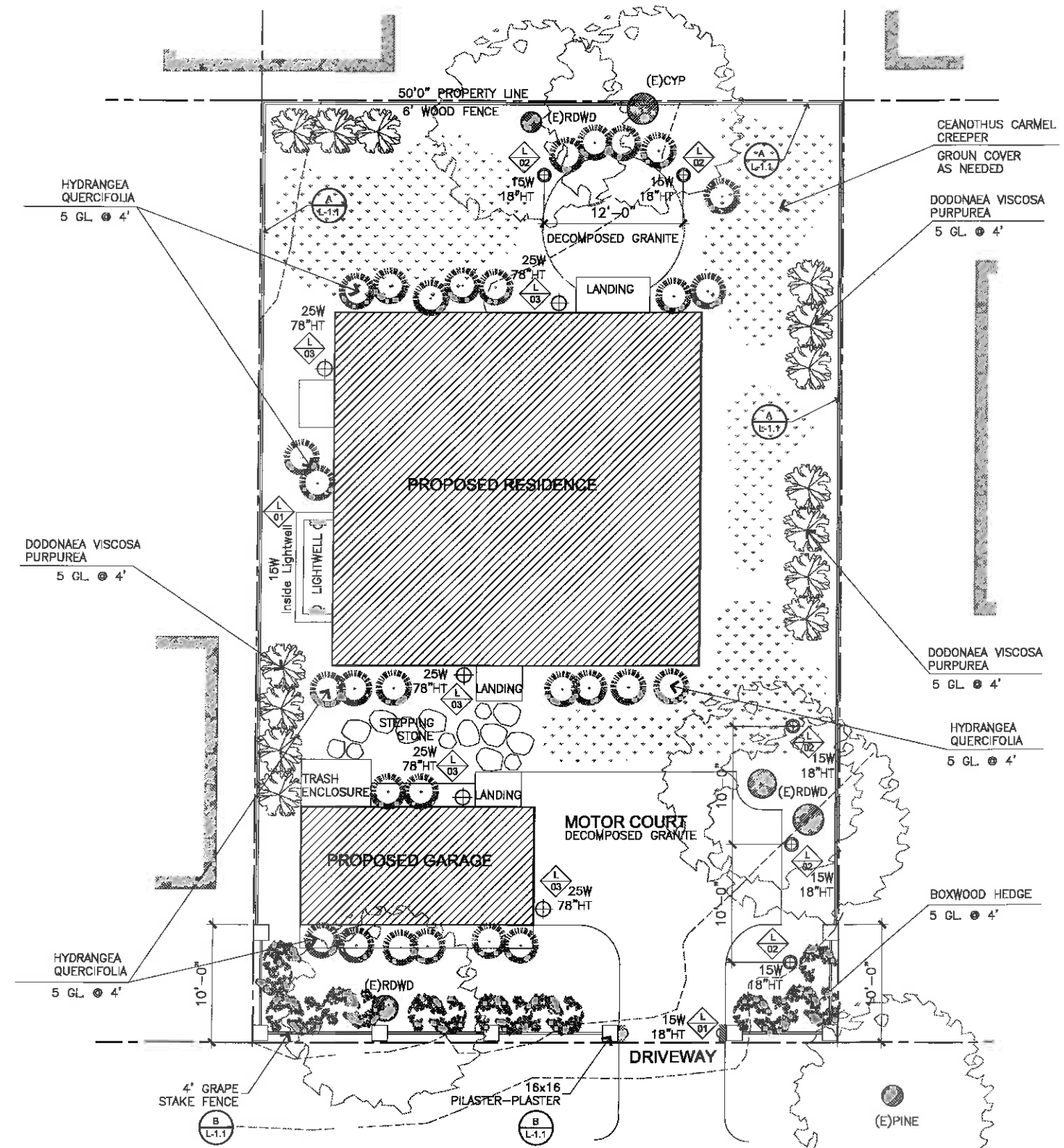
- FX Mollusque Splendeur or Similar
- FX Joli Soidet or Similar
- Hubbardton Forge Lighting Beacon Hall Medium or Similar



6' x 8' WOOD FENCE PANEL, TYP. **A**



FRONT FENCE **B**



INDICATES NEW CONSTRUCTION AREA



PROPOSED LANDSCAPE & LIGHTING PLAN

Scale
 3/16"=1'-0" **1**

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CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

October 8, 2014

To: Chair Reimers and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director RM

Submitted by: Christy Sabdo, Contract Planner

Subject: Consideration of a Design Study (DS 14-92) for the replacement of a wood-shake roof with composition shingles on a residence located in the Single-Family Residential (R-1) District

Recommendation:

Deny the Design Study (DS 14-92) for the replacement of a wood-shake roof with composition shingles

Application:	DS 14-92	APN:	010-116-016
Block:	6.5	Lot:	S ¼ of Lot 12 & Lot 14
Location:	Dolores 3 NE of 1 st		
Applicant:	Warren Knox	Owner:	Robert Daost

Background and Project Description:

The project site is located on Dolores Street three parcels northeast of 1st Ave. and is developed with a two-story residence that is clad with wood shingles and that has a wood-shake roof.

The applicant is requesting to replace the existing wood-shake roof with composition shingles. On January 25, 2012, the Planning Commission determined that all requests for replacement of wood shingles/shakes with composition shingles should be reviewed by the Commission. The Commission wanted to ensure that the use of composition shingles would not negatively impact community character.

Staff analysis:

Roofing Material: Section 9.8 of the City's Residential Design Guidelines states the following:

Roof materials should be consistent with the architectural style of the building and with the context of the neighborhood.

- *Wood shingles and shakes are preferred materials for most types of architecture typical of Carmel (i.e., Arts and Crafts, English Revival and Tudor Revival).*
- *Clay tile, slate and concrete tile may be considered appropriate on some structures (i.e., Spanish and Italian Revival, Monterey Colonial, French Revival, etc.)*
- *Composition shingles that convey a color and texture similar to that of wood shingles may be considered on some architectural styles characteristic of more recent eras.*
- *Metal, plastic and glass roofs are inappropriate in all neighborhoods.*

The existing wood shake-roof is deteriorated and in need of replacement. The applicant is proposing to replace the wood shakes with GAF Grand Canyon lifetime designer composition shingles (color: Mission Brown). A site photograph is included as Attachment A, and staff has included a photograph of the proposed roofing as Attachment B. The subject residence is clad with wood shingles and has a moderately-pitched hipped roof design that is somewhat visually prominent from the street.

When making a decision on the use of composition-shingle roofing, the Planning Commission should consider neighborhood context, the architectural style of the building, and the characteristics of the proposed composition shingle. Staff notes that in certain instances, the Planning Commission has approved the replacement of wood roofing material with composition shingles, typically when the composition shingles are compatible with other homes in the neighborhood and when the roof is not highly visible from the street (i.e. flat roofs).

Staff recommends that the Planning Commission deny the proposal for composition shingle roofing, as it would be inconsistent with Residential Design Guideline 9.8. This recommendation is based on the inability of the selected composition shingle to convey a color and texture similar to that of wood. Staff notes that the Community Planning and Building Department would be able to approve a re-roofing application to replace the existing wood-shake roofing with new wood shakes or shingles.

Alternatives:

Alternatively, the Planning Commission could note its support for the proposed roofing material or some other non-wood roofing. In the case that the Commission accepts the proposed material, staff would approve the request. In the case of support of some other non-wood

roofing material, the Commission should give as much specific direction as possible to enable the applicant to revise the application accordingly, and then staff would be able to approve the revised request.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 1) – Existing Facilities.

ATTACHMENTS:

- Attachment A – Site Photograph
- Attachment B – Roofing sample

Attachment A – Site Photograph

Project Site – Facing east on Dolores St.



Attachment B – Proposed Composition Shingle Color

Mission Brown





CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

October 8, 2014

To: Chair Reimers and Planning Commissioners
From: Rob Mullane, AICP, Community Planning and Building Director *RM*
Submitted by: Christy Sabdo, Contract Planner
Subject: Consideration of Commercial Signage (SI 14-36) for the Event Center in the Service Commercial (SC) Zoning District

Recommendation:

Review Sign Application (SI 14-36) and approve the application or direct revisions

Application: SI 14-36 **APN:** 010-145-020
Block: 91 **Lots:** 2, 4, 6, & 8
Location: SE Corner of 7th & Dolores
Applicant: Adam Jeselnick **Property Owner:** CPines 7, LLC

Background and Project Description:

On August 27, 2014, the applicant, Adam Jeselnick, submitted a Sign Permit for one exterior sign on the Event Center building and two associated directional/parking signs on the property. The proposed signage would replace the wall-mounted signage located, in years past, on both the north and west facing stucco walls of the Event Center, and would replace the two existing directional/parking signs located at both the 7th Avenue and Dolores Street driveway entrances.

The proposed exterior wall-mounted sign would wrap-around the Event Center building on the SE corner of 7th and Dolores with the copy being "Seventh & Dolores." The exterior business sign would be installed as individual metal letters (power-coated dark bronze) to be mounted on stand-off's 2-inches from the face of the white stucco wall. The copy "Seventh" would be 15.31 sq ft (2' 11" in height and 5' 3" in length) and would be installed on the north-facing corner of the building fronting 7th Ave., and the copy "& Dolores" would be 9.5 sq ft (1' x 6" in height x 6' 4" in length) and would be installed on the west-facing corner of the building

fronting Dolores Street. The applicant is also proposing two associated directional/parking signs to include: 1) a new driveway sign that is 3 sq ft (1' x 3') that would be located at the 7th Avenue entrance with the copy being, "Exit Only," and 2) a new driveway sign that is 3 sq ft (1' x 3') that would be located at the Dolores Street entrance with the copy being, "Valet Parking Only, Violators Will Be Towed." The two directional/parking signs would be 3 sq ft in area made of metal and mounted on 4 x 4 pressure-treated redwood posts.

Previously-installed signs at this location have exceeded the City's administrative sign approval authority. The applicant has provided a historical (c. 1970) photograph of the building that depicts a wall-mounted sign with copy on two street frontages, similar to the current proposal (refer to Attachment A). In addition, in March 2010, the City Planning Commission approved Sign Permit SI 10-5 (Jan De Luz Home), which was for a 12-sq ft wall-mounted single business sign and multiple parking signs.

Staff analysis:

Purpose: Carmel Municipal Code (CMC) Section 17.40.010 encourages: *"business signs that are simple in graphic design, informative of the business use, and compatible in color and design with adjoining structures."* CMC 17.40.030.C restricts administrative (staff-level) approval of business signs to a single sign for each business.

Permit Process: CMC 17.40.020.B Planning Commission Approval, states:
Signs which, in the opinion of the Director, require exception from the standards described in this chapter shall be reviewed by the Planning Commission. The Planning Commission also shall review all business signs painted, etched or otherwise applied to glass, all signs made of plastics, fabric or imitation wood and all signs of architectural, cultural, and historical significance. The Commission may grant exceptions only to the number, location, and design of business signs.

The following criteria must be satisfied to grant the exception:

- 1. Number. Additional business signs may be permitted in unusual circumstances such as, but not limited to, a business that has entrances on two different public rights-of-way.*
- 2. Location. Signs shall clearly identify the business entrance. Signs shall be pedestrian-oriented except for gas stations and motels that are recognized by the City as predominately vehicle-oriented business. Clutter from business signs at street frontages shall be avoided. Sign clutter along street frontages from multiple businesses within a courtyard or building shall be avoided.*

3. *Design. Any exceptions to design standards shall retain compatibility with the design, color, and scale of the building.*

Business Signs: CMC 17.40.030 states that business signs shall be:

1. *Informative of the business name and use. The business name shall be the primary design feature on the sign, and all logos and other graphics shall be subordinate to the business name;*
2. *Simple in design. Any creative graphic depictions should be related to the business use and in scale with sign text;*
3. *Oriented toward the pedestrian environment within the commercial district;*
4. *Compatible in design, color, size and scale to the business storefront, adjoining structures and surroundings; and*
5. *Made of permanent and natural materials such as wood, wrought iron, ceramic or stone unless otherwise approved by the Planning Commission.*

Staff is referring the Commercial Sign application to the Planning Commission because the proposed wall-mounted sign and two associated directional signs exceed City staff's administrative authority for exterior business signs and for parking signs (refer to CMC 17.40.030 C and CMC 17.40.050 C). The applicant's proposed wall-mounted sign exceeds 6 square feet (the maximum area allowed for a wall-mounted sign), exceeds the allowed number of exterior business signs (one), and does not meet the standard for the location of exterior business signs, which should be located as close as possible to the business entrance. In addition, the two proposed directional/parking signs exceed two square feet, which is the maximum size allowed for administrative approval of parking signs.

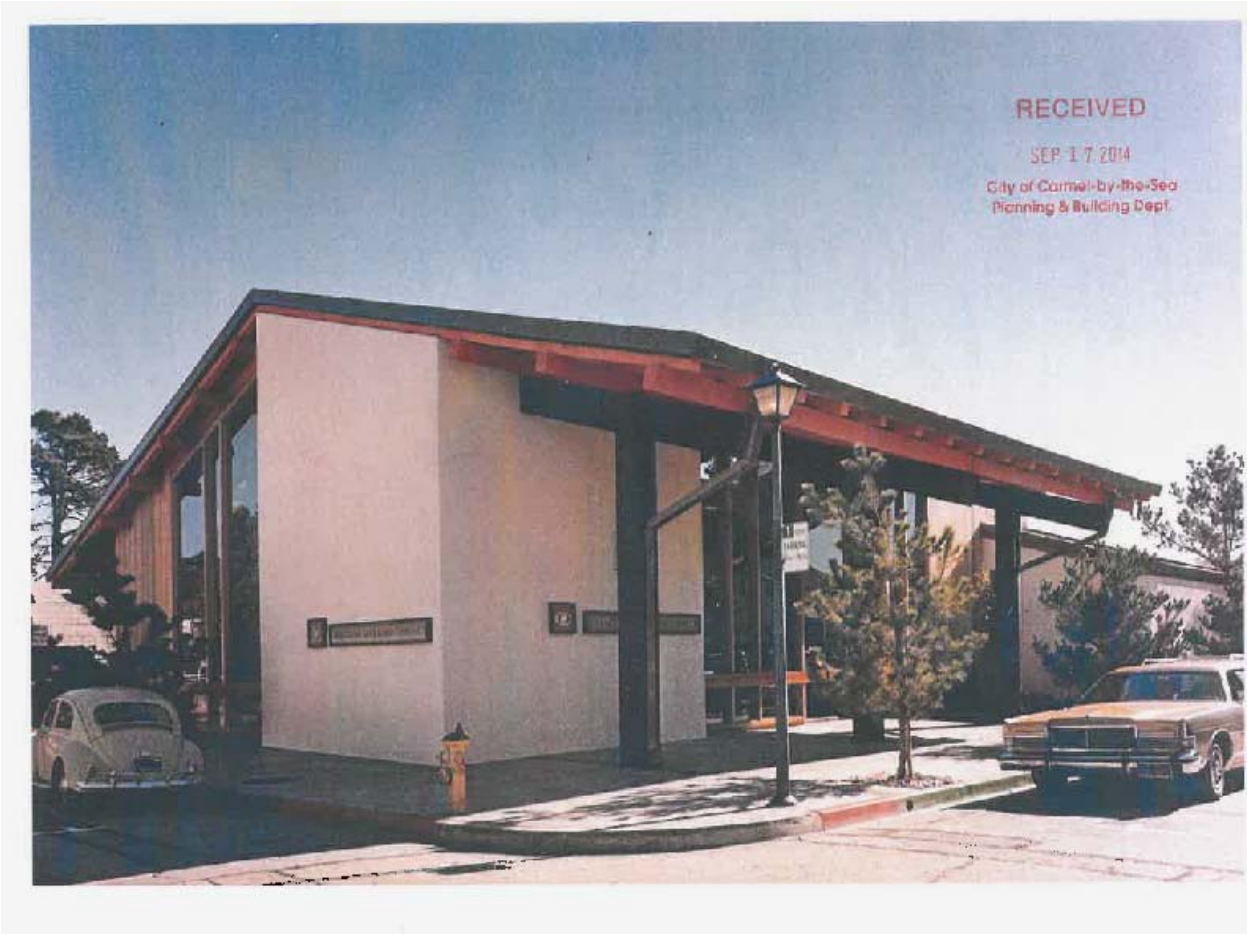
Alternatives: The Planning Commission may approve the applicant's proposed commercial signage, or the Planning Commission could direct staff to approve the application with specific direction. If substantial changes are desired by the Commission, direction could be provided to the applicant and the item continued.

Environmental Review: The application qualifies for a Class 11 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15311 of the State CEQA Guidelines. Class 11 exemptions include placement of minor structures accessory to existing commercial, industrial, or institutional facilities, including on-premise signs.

ATTACHMENTS:

- Attachment A – Historical Photograph of the Subject Building
- Attachment B – Rendering of Wall-Mounted Sign and Locations for Directional Signs
- Attachment C – Sign Plan Set

Attachment A – Historical Photograph



Project Site at SE Corner of 7th Avenue and Dolores Street

Attachment B Rendering of Wall-Mounted Sign and Location of Other Signage



SEP 16 2014

City of Carmel-by-the-Sea
Planning & Building Dept.



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SEP 16 2014

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EXISTING SIGN AT PARKING LOT EXIT: SEVENTH STREET

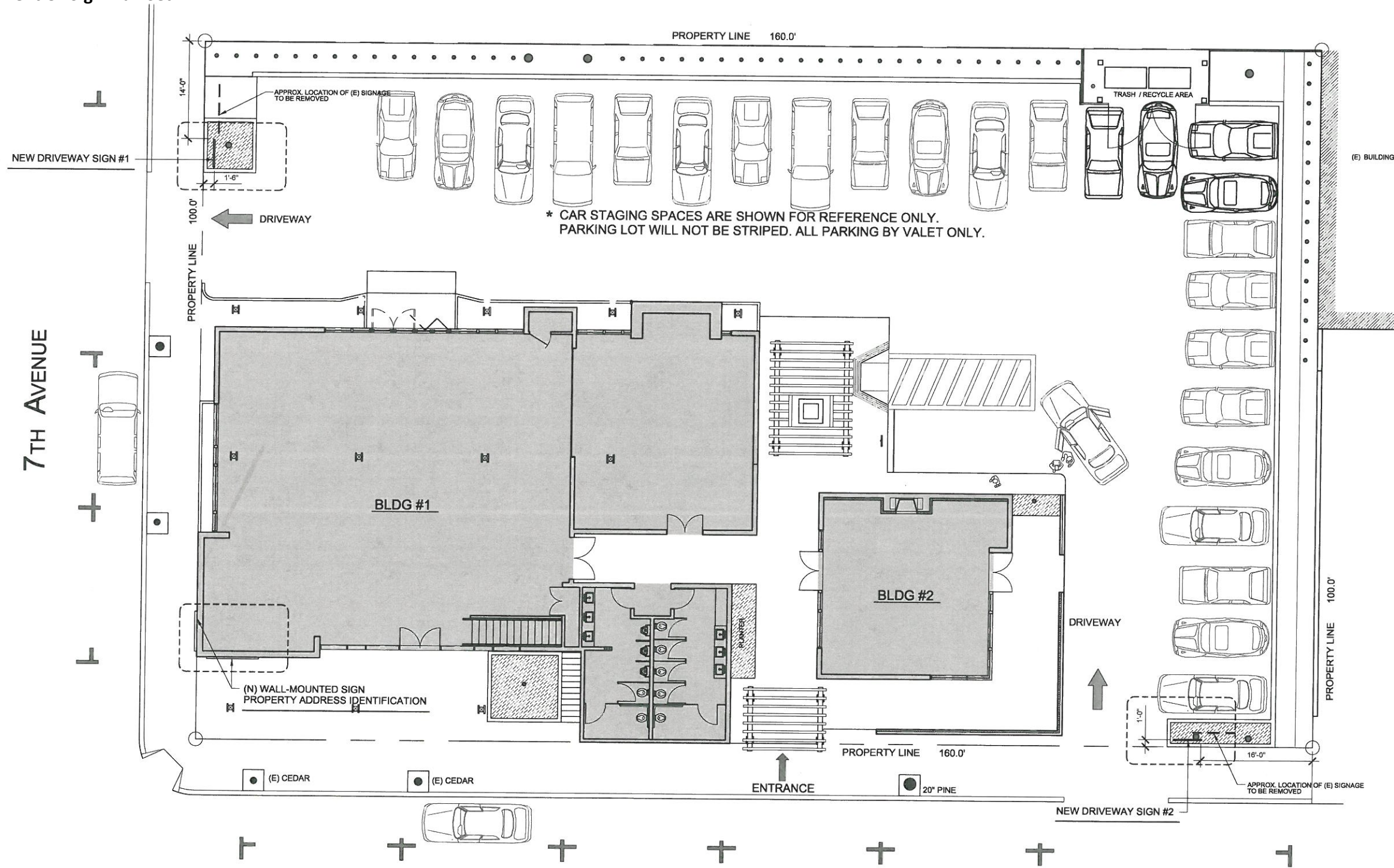


EXISTING SIGN AT PARKING LOT EXIT : SEVENTH STREET

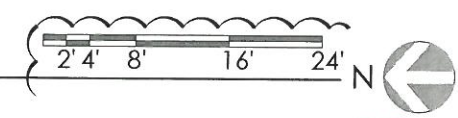


EXISTING SIGN AT PARKING LOT ENTRANCE: DOLORES STREET.

Attachment C - Sign Plan Set



1 PROPOSED SIGN SITE PLAN
SCALE: 1/16" = 1'-0"



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SEP 16 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

SIGNAGE

ADAM JESELNICK
ARCHITECT

C PINES 7, LLC
BLOCK : 91, LOT: 20 APN: 010-145-020-000
CARMEL-BY-THE-SEA, CALIFORNIA

SITE PLAN-
SIGNAGE

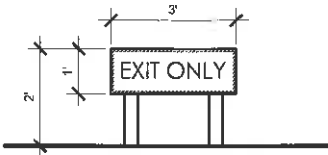
9-15-2014

1/16" = 1'-0"

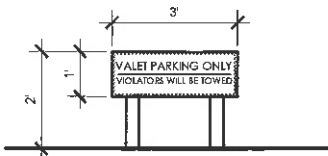
S1

SIGNAGE NOTES

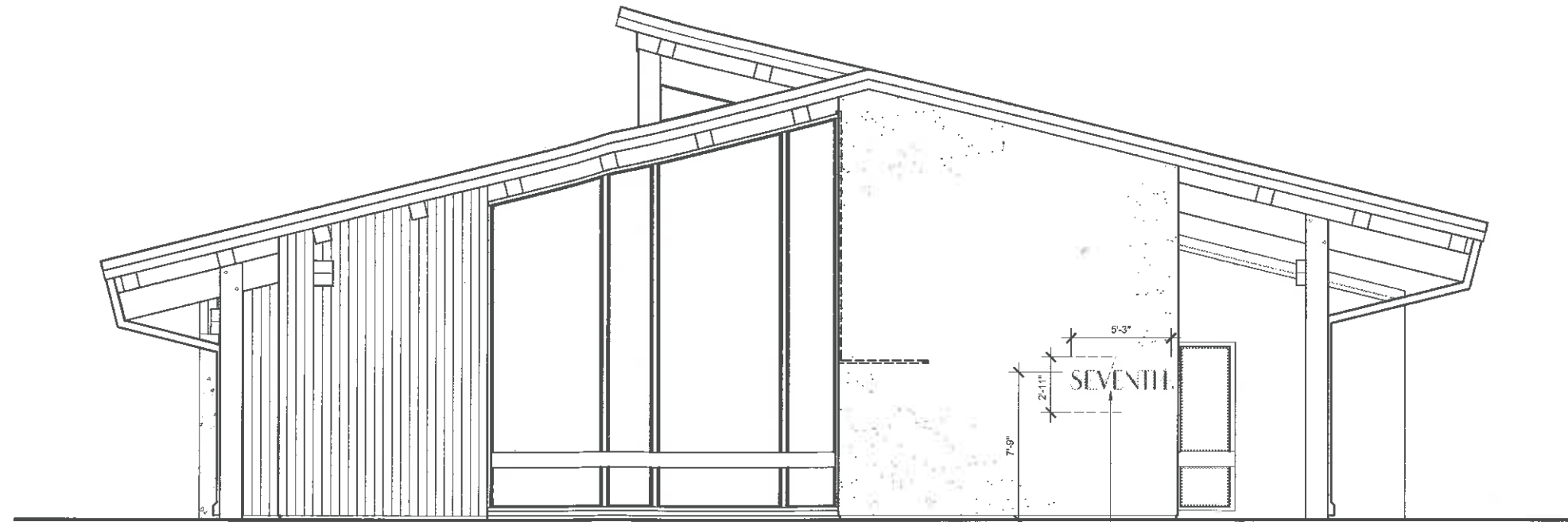
1. NEW PROPERTY ADDRESS IDENTIFICATION SIGNS TO BE INSTALLED IN SAME BUILDING WALL LOCATION AS PREVIOUS SIGNAGE.
2. NEW DRIVEWAY ENTRY AND EXIT SIGNS TO BE INSTALLED IN THE SAME APPROXIMATE LOCATION AS PREVIOUS SIGNAGE.
3. BUILDING WALL-MOUNTED SIGNS TO BE INSTALLED AS INDIVIDUAL LETTERS, CUT OUT OF METAL AND MOUNTED ON STAND-OFFS 2" FROM FACE OF WALL.
4. DRIVEWAY ENTRY AND EXIT SIGNS TO BE MADE OF METAL AND MOUNTED ON 4X4 PRESSURE-TREATED REDWOOD POSTS.
5. NO SIGN LIGHTING PROPOSED.



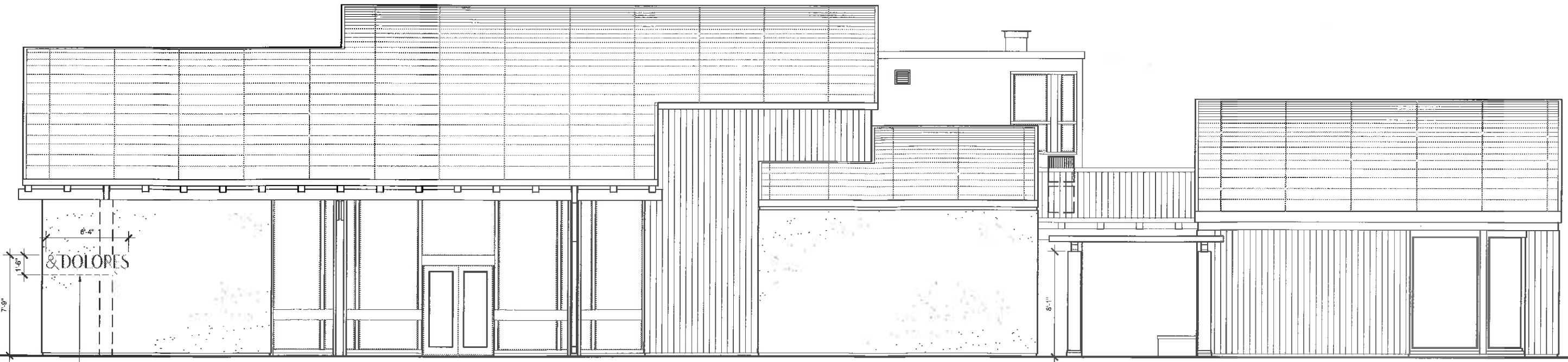
1 PROPOSED DRIVEWAY SIGN #1
SCALE: 1/4" = 1'-0"



2 PROPOSED DRIVEWAY SIGN #2
SCALE: 1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION - PROPERTY ADDRESS SIGN
SCALE: 1/8" = 1'-0"



BLDG #1

WEST ELEVATION

BLDG #2

4 PROPOSED WEST ELEVATION - PROPERTY ADDRESS SIGN
SCALE: 1/8" = 1'-0"

SIGNAGE

ADAM JESELNICK
ARCHITECT

C PINES 7, LLC
BLOCK : 91, LOT: 20 APN: 010-145-020-000
CARMEL-BY-THE-SEA, CALIFORNIA

ELEVATIONS-SIGNAGE

9-15-2014

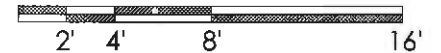
AS NOTED

S2

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SEP 17 2014

City of Carmel-by-the-Sea
Planning & Building Dept.



SI 14-36



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

October 8, 2014

To: Chair Reimers and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director *RN*

Submitted by: TJ Wiseman, Contract Planner
Marc Weiner, Senior Planner

Subject: Consideration of Concept Design Study (DS 14-17) and associated Coastal Development Permit application for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District

Recommendation:

Accept the Conceptual Design Study (DS 14-17) and the associated Coastal Development Permit subject to the attached findings and recommendations/draft conditions

Application:	DS 14-17	APN:	010-186-017
Location:	Monte Verde 2 Southwest of 9 th Avenue		
Block:	D	Lot:	3
Applicant:	Jon Erlandson, Architect	Property Owner:	Laura Debus

Background and Project Description:

The project site is located on Monte Verde Street two parcels southwest of Ninth Avenue. The site is developed with a 1,381-square foot one-story residence with an attached garage. A Preliminary Determination of Historic Ineligibility was issued by the Community Planning and Building Department on September 9, 2014.

The applicant has submitted plans to expand the existing 1,381-square foot residence to 1,775 square feet, which includes the addition of a second story. The proposed residence would include 1,426 square feet on the ground level and 348.5 square feet on the upper level.

The proposed additions would include finish materials of vertical board and cedar shake siding, wood windows, and a wood-shingle roof, all to match the finish materials on the existing residence. The decks on the first and second floors would be tile with wood supports and stainless-steel cable-railing. There is also a 7-foot high stone fireplace proposed for the rear yard.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass, and scale related to the project. However, the Commission may provide input on other aspects of the design. Staff notes that the adjacent neighbor to the north has expressed concern with the design, as indicated in the letter included as Attachment D.

PROJECT DATA FOR THE 4,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	1,381 sf (35%)	1,775 sf (45%) - 1,477 sf residence, - 298 sf garage
Site Coverage	556 sf (13.9%)*	1,627 sf (40.7%)	829 sf (20.7%)
Trees (upper/lower)	3/1 trees (recommended)	0/0 trees	1/1 trees
Ridge Height (1 st /2 nd)	18 ft./24 ft.	16.5 ft.	16.5 ft./21.5 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	9.5 ft.	9.5 ft./17 ft.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	15.5 ft.	No Change
Composite Side Yard	10 ft. (25%)	4.5 ft. (11.3%)	No Change
Minimum Side Yard	3 ft.	1 ft. 6 in.	No Change
Rear	3 ft. (1st-story) 15 ft. (2nd-story)	34 ft. (residence),	28 ft. (new addition) 36 ft. (residence/new decks)
*Includes a 4% bonus if 50% of all coverage is permeable or semi-permeable			

Staff analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “*a forested image on the site*” and for new construction to be at least six feet from significant trees.

The site contains no trees. The City Forester recommends planting one new upper-canopy tree and one new lower-canopy tree. A condition has been drafted regarding this recommendation.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 state that “*designs should preserve reasonable solar access to neighboring parcels*” and “*maintain privacy of indoor and outdoor spaces in a neighborhood*” and “*maintain view opportunities.*”

The adjacent neighbor to the north, Diana Wilkes, submitted two letters to the City on June 9th and 10th, 2014, which are included as Attachment D. In her letters, Ms. Wilkes has expressed concern that the proposed second-story addition would impact her solar access and privacy, and has requested that the residence be re-designed to mitigate the impact. The applicant has worked with staff and the northern neighbor on this issue and has revised the second-story design to address the concerns. The second story was reduced in size and shifted in a southwest direction, away from the northern neighbor’s property, to mitigate the impact. The footprint of the original second-story proposal is outlined on the roof of the applicant’s residence and will be reviewed by the Planning Commission during the Tour of Inspection to assess the modifications that were made.

Staff visited the northern neighbor’s residence on two separate occasions to evaluate the potential impact of the proposed addition. With regard to solar access and views, staff notes that the proposed two-story addition will be visible from the northern neighbor’s south-facing living room window and from the courtyard patio on the south side of her property. However, in staff’s opinion, the proposed two-story addition will not significantly impact solar access to the northern neighbor’s property; however, it would partially obstruct views of the large pine tree to the west. With regard to privacy, the applicant is proposing one small bathroom window on the north elevation of the second story. Staff recommends that the applicant use obscure glass to mitigate potential privacy impacts created by this window. A condition has been drafted to address this recommendation.

The Planning Commission will have the opportunity to visit both the project site and the Wilkes’ property during the Tour of Inspection. If the Commission has concerns, it could require that the applicant re-design the residence to address the impact.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.6 encourage a building's mass to relate *"to the context of other homes nearby"* and to *"minimize the mass of a building as seen from the public way or adjacent properties."* Further, these guidelines state that *"a building should relate to a human scale in its basic forms."*

The northern neighbor has expressed concern with the proposed design of the second story as discussed in the previous section. The Commission should consider whether the issues (i.e. solar access, views, etc.) associated with the building mass are significant and require that the project be revised.

With regard to the street view, staff notes that the proposed second story would be set back approximately 40 feet from the front property line, which is consistent with the recommendation to present a one-story height to the street. Furthermore, there is a mix of one- and two-story homes in the subject neighborhood. A two-story residence would not present substantial compatibility impacts based on the existing neighborhood context. Staff notes that the proposed residence appears to be in scale and compatible with the architectural style of the neighboring residences.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 state that *"Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roof with low plate lines can be used on two-story buildings."* The Guidelines emphasize using *"restraint"* and *"simplicity"* in building forms, which should not be complicated, and roof lines, which should *"avoid complex forms."*

The proposed residence would include a hipped-roof design with a moderate 4:12 pitch, which matches the roof pitch of the existing residence. The proposed addition is architecturally compatible with the existing residence and does not create a complicated building design. Staff notes that the profile and appearance of the original one-story residence would be maintained with the proposed design. Staff supports the overall design of the residence.

Site Coverage: Residential Design Guideline 4.1 states that *"A significant portion of each site should remain as landscaped open space"* and to *"minimize the amount of hard surfaces in order to maintain a sense of open space and provide space for planting."*

This 4,000 square-foot site is allowed 576 square feet of coverage if half this amount is permeable. Currently, the property has 1,627 square feet of site coverage and exceeds the allowed site coverage by 1,051 square feet. CMC 17.10.3.C.2.b states, *"Sites with excess site coverage may add floor area consistent with Section 17.10.C.2: Exterior Volume, only when excess site coverage will be reduced at the rate equal to two times the amount of floor area*

added to the site or to the amount that complies with the site coverage limits, whichever is less.”

To comply with the above noted requirement, the applicant is proposing to remove 799 square feet of site coverage by eliminating the rear patio, reducing the rear deck, front walk, and front patio, and replacing the concrete walk on the north side-yard with stepping stones. With these reductions, there would still be 829 square feet of remaining site coverage, which exceeds the allowed coverage by 253 square feet.

With development projects of this scope, the City typically requires that non-conforming site coverage be reduced beyond the minimum requirement to bring the property closer to compliance. Staff notes that Municipal Code Section 17.58.050 grants authority to staff and the Planning Commission to ensure site conformance by conditioning the Design Study approval.

In staff's opinion, there is sufficient opportunity to further reduce the site coverage. For example, there is a 243 square-foot patio at the front of the residence that could be further reduced to simple stepping stones. A condition has been drafted requiring the applicant to work with staff on further reducing the site coverage to an extent directed by the Planning Commission.

Public ROW: The City Right-of-Way (ROW) at the front of the property is approximately 14 feet wide between the front property line and edge of pavement along Monte Verde. It is unpaved and appears natural. However, there are existing encroachments in the ROW such as rocks, gravel, and boulders. Sheet C-1.3 of the plan set includes a note that these encroachments will be removed. A condition has been drafted regarding the removal of ROW encroachments.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 401-square foot addition an existing 1,381-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

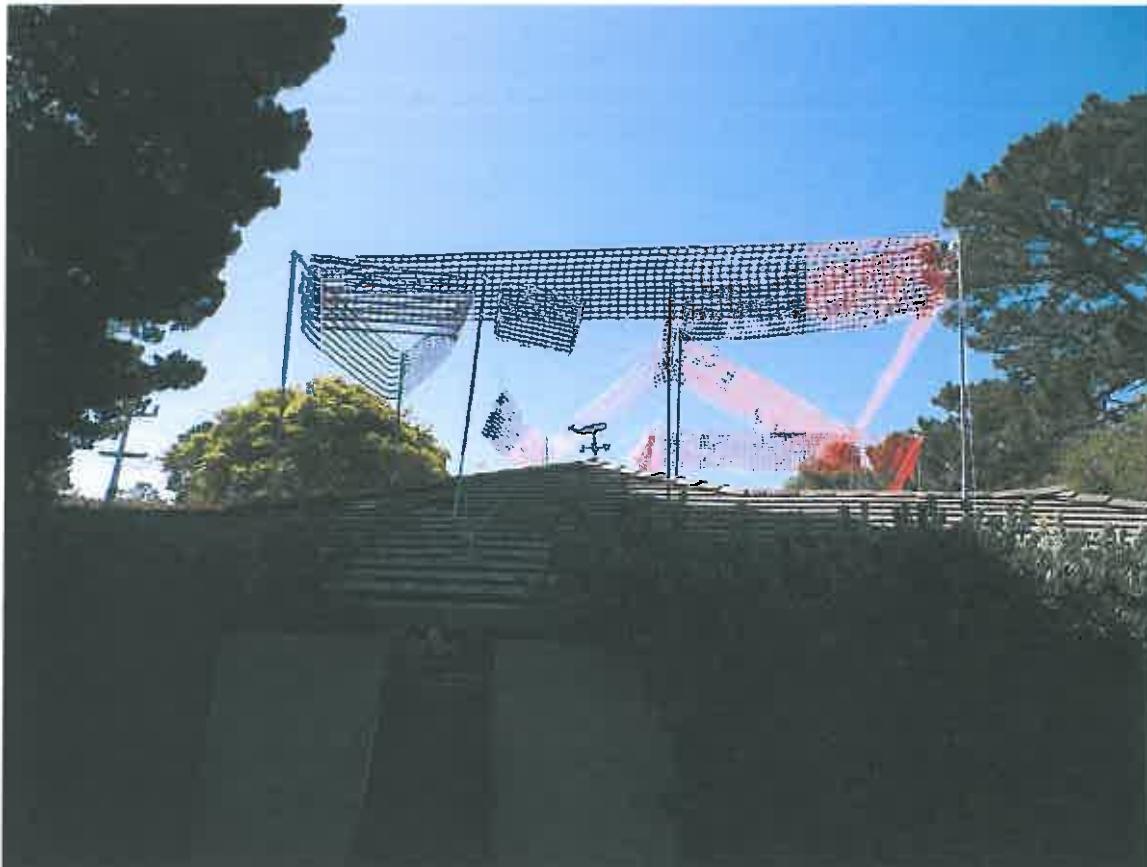
ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Draft Recommendations/Conditions
- Attachment D – Correspondence from Neighbor
- Attachment E – Project Plans

Attachment A – Site Photographs



Project Site – Front of residence facing west on Monte Verde Street



Story Poles (1st proposal) - Facing south from northern neighbor's property (dated: 6/14/14)



Story Poles (2nd proposal) - Facing south from northern neighbor's property (dated: 9/3/14)

Attachment B – Findings for Concept Acceptance

DS 14-17 (Debus)
 October 8, 2014
 Concept Findings
 Page 1

FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment C – Recommendations/Draft Conditions

DS 14-17 (Debus)

October 8, 2014

Recommendations/Draft Conditions

Page 1

Recommendations/Draft Conditions		
No.		
1.	The applicant shall provide a landscape plan for final review that includes a provision for one new upper-canopy and one new lower-canopy tree.	
2.	Prior to final Planning inspection, the applicant shall remove the encroachments in the City Right-of-Way as indicated on the project plans.	
3.	The applicant shall work with staff on removing additional site coverage by an amount specified by the Planning Commission. A revised site coverage reduction plan shall be submitted to the Community Planning and Building Department and reviewed by staff prior to submitting a Building Permit application.	

Attachment D - Correspondence from Neighbor

Monday June 9, 2014

**To: TJ Wiseman – Contract Planner
From: Diana Wilks – (916) 995-1855**

Please add this to your file on 2 SW Monte Verde at 9th, Carmel-by-the-sea.

I am the neighbor adjoining the proposed project @ 2 SW Monte Verde at 9th. I am on the SW corner of Monte Verde at 9th. After looking at the plans, I had requested a meeting with the architect, which happened this morning.

I explained to Jon that I found it strange that I was not notified by him for input and, only found out by seeing orange markings on the roof and then going to City Hall and finding that this had been a project on-going since last October. Apparently, several other neighbors, less impacted had been informed.

This second story has very negative impact on me, and my property. Jon confirmed the wall, will be about 8 feet high (on top of the roof) and 17 ½ feet long. This will take all of the sky away from the living room / dining room / kitchen and master bedroom. So much light will be gone. Visually, the addition feels like it is in my yard... it is so very close.

I have walked the neighborhood and cannot find anything like what is being proposed. I am a full-time resident and this is my only home.

I moved here more than six years ago for the beauty and solitude of Carmel. My experience thus far has not been disappointing. Please don't allow this project to go forward as it is being proposed. I do not know the people of 2 SW Monte Verde, as they seem to not be here often.

Thank you for your consideration. I would appreciate it for you to come and take a look at the proposed project.

**Thank you,
Diana Wilks**

RECEIVED

JUN 09 2014

**City of Carmel-by-the-Sea
Planning & Building Dept.**

Tuesday June 10, 2014

To: City Planners
From: Diana Wilks

I am writing in reference to project 2 SW Monte Verde at 9th. I am the neighbor adjoining at the SW corner of Monte Verde and 9th. After looking at the plans, I requested a meeting with the architect, which happened yesterday.

I explained to Jon Erlandson, the architect that I found it strange I had not been notified by him or the neighbors for input on the proposed construction. And, only found out by seeing orange markings on the roof, and then going to City Hall and finding this had been a project on going since last October. It has gone through plan check with TJ Wiseman. Apparently, several other neighbors, less impacted had been informed.

This second story addition will have a very negative impact on me, and my property. Jon confirmed that the wall will be about 8 feet high (on top of the existing roof) and 17 1/2 feet long. This will take all the sky away from the living room/ dining room/ kitchen and master bedroom. So much light will be gone; I have nine large windows/ glass doors all facing the proposed expansion. My house has been designed toward the courtyard with water a feature. Visually, the addition feels like it is in my yard...it is so very close.

I have walked the neighborhood and cannot find anything like what is being proposed. I am a full-time resident and this is my only home. I moved here more than six years ago for the beauty and solitude of Carmel. My experience thus far has not been disappointing.

Please don't allow this project to go forward as it is being proposed. I do not know the people of 2 SW Monte Verde, as they seem to not be here often. Thank you for your consideration. I would appreciate your coming to take a look at the proposed project as seen from my home.

Thank you,



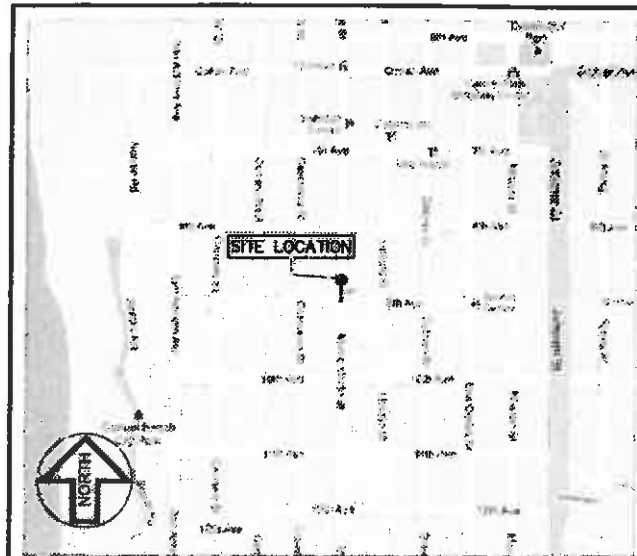
Diana Wilks
(916) 995-1855
1 SW Monte Verde and 9th
Carmel by the Sea

Mailing:
100 Dolores at 5th
Carmel, CA 93923

RECEIVED

JUN 10 2014

City of Carmel-by-the-Sea
Planning & Building Dept.



Debus-Key Residence

Monteverde Street, 2 SW of 9th Street
Carmel By The Sea - California

PROJECT DESCRIPTION:
Remodel and renovation of existing single family residence with a 2nd story addition.
Site Improvements.

LOCATION:
Monteverde St. 2 SW of 9th
Carmel By The Sea, California 93921

OWNER:
Laura Debus
2558 Merlot Ln
Livermore, CA 94550

PROPERTY INFORMATION:
Assessor's Parcel Number: 010-186-017
Lot Area: 4,000 SF
Zoning: R-1

UTILITY PROVIDERS:

GAS and ELECTRICITY:
Pacific Gas & Electric

WATER SERVICE:
CalAm

SEWER SERVICE:
Carmel Wastewater

DATE	REVISION

Jon Sather Erlandson Architect - C11925
 Junipero St. 2 South West of 4th Ave., Carmel By The Sea
 MAIL - Jon Sather Erlandson, Architect Post Office Box 7108 Carmel, California 93921
 Phone: (831) 625-6163 Facsimile: (831) 625-1578 Email: jon@jonerlandson.com



VICINITY MAP

No Scale

4

PROJECT INFORMATION

1

ARCHITECTURAL DRAWINGS

SHEET G-1.1	TITLE SHEET- PROJECT INFORMATION- SITE PLAN
SHEET C-1.1	SITE SURVEY
SHEET C-1.2	EXISTING SITE COVERAGE
SHEET C-1.3	PROPOSED SITE PLAN
SHEET C-1.4	PROPOSED SITE MAP, GRADING & STREET PROFILE
SHEET A-1.1	PROPOSED FIRST & SECOND FLOOR PLANS
SHEET A-1.2	PROPOSED DEMOLITION PLAN
SHEET A-1.3	PROPOSED ROOF PLAN
SHEET A-2.1	PROPOSED EXTERIOR ELEVATIONS
SHEET A-3.1	SITE DETAILS

SHEET EX-1.1	EXISTING FLOOR-ROOF PLAN
SHEET EX-2.1	EXISTING EXTERIOR ELEVATIONS

- 2013 CA Building Code (Based on 2006 International Building Code)
- 2013 CA Fire Code (Based on 2006 International Fire Code)
- 2013 CA Plumbing Code (Based on 2006 Uniform Plumbing Code)
- 2013 CA Mechanical Code (Based on 2006 Uniform Mechanical Code)
- 2013 CA Electrical Code (Based on 2005 National Electrical Code)
- 2013 CA Residential Code
- 2013 CA Energy Code

CONSTRUCTION TYPE:
TYPE V NON-RATED

OCCUPANCY:
TYPE R-3/U

FLOOR AREAS	EXISTING	PROPOSED	
Main Floor Living Area	1,083.0 sf	1,128.4 sf	
Garage	288.0 sf	288.0 sf	
Fireplace Footprint	7.5 sf		7.5 sf
Front Covered Porch	29.0 sf		29.0 sf
Side Covered Porch	24.0 sf		0.0 sf
Second Floor Living Area		348.5 sf	
Second Floor Stairs			74.9 sf
Second Floor Bay Windows			15.3 sf
TOTAL FLOOR AREA	1,434.0 sf	1,774.9 sf	126.7 sf
		Building Area	Added for Volume
Trees to be Removed: NONE			
Grading:			
CUT 117 Cubic Feet (4.3 CY)			
FILL 184 Cubic Feet (6.8 CY)			
NET 67 Cubic Feet (2.5 CY); EXPORT			

SITE COVERAGE	EXISTING	PROPOSED
SITE COVERAGE (See Site Plan)	1,627 sf Impervious 0 sf Pervious	684 sf Impervious 128 sf Pervious
TOTALS:	1,627 sf	829 sf (799 sf Reduction)

RECEIVED

SEP 24 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

Job Number
2013-08

Drawn By:

Date
03-18-2014

Revisions
9-16-2014

Sheet Number
G-1.1
of: Sheets

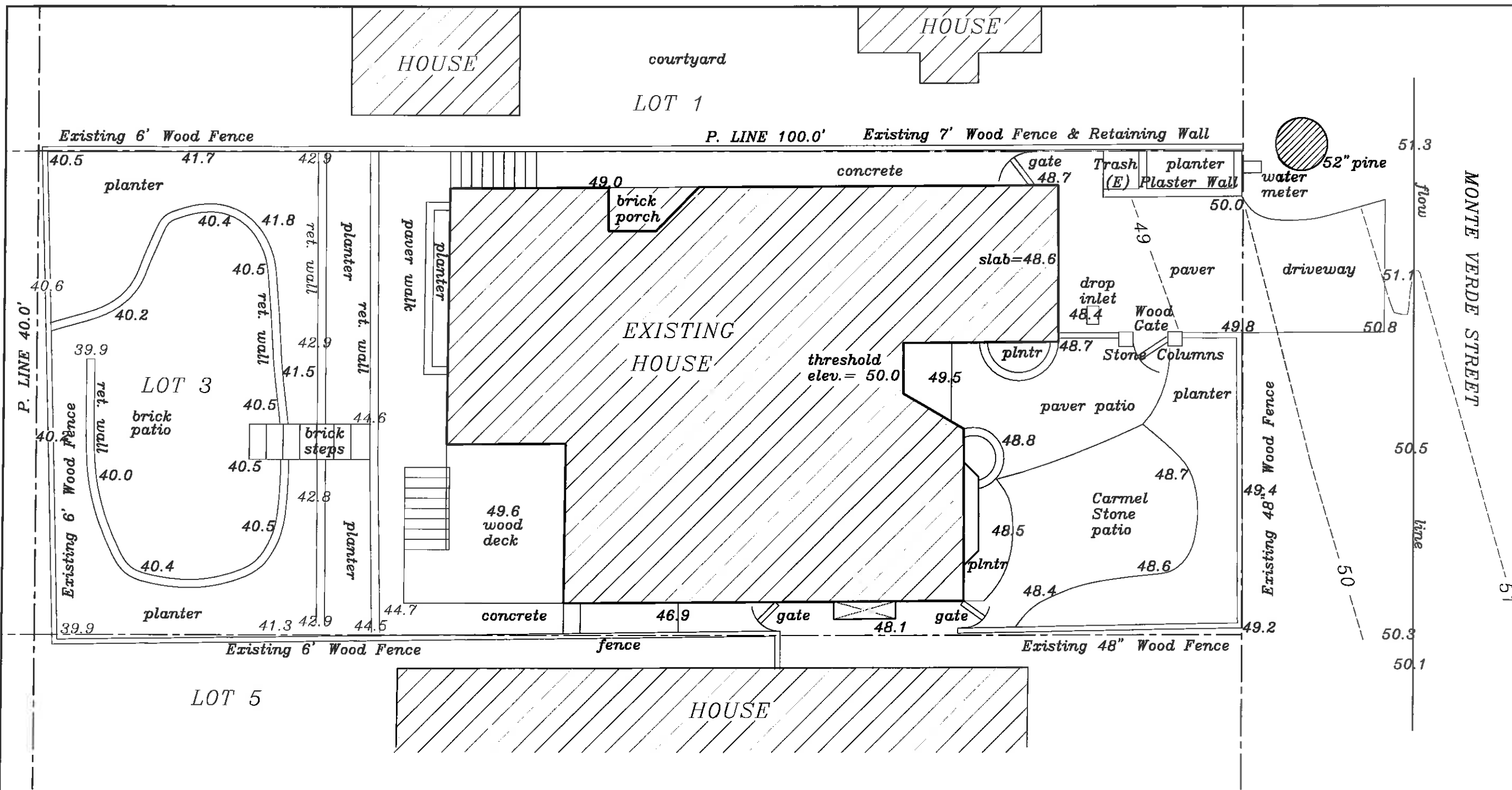
DRAWING INDEX

3

PROJECT DATA

2

INDEX-SITE PLAN 08

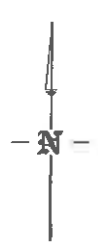


DATE	REVISION

Jon Sather Eriandson Architect - C11925
 Junipero St. 2 South West of 4th Ave., Carmel By The Sea
 MAIL: Jon Sather Eriandson, Architect, Post Office Box 7108, Carmel, California, 93921
 Phone: (831) 825-8163 Facsimile: (831) 825-1578 Email: jon@jonandson.com

Debus-Key Residence
 Monterey St. 2 SW of 9th
 Carmel by The Sea, California

- NOTES:**
1. Elevation datum is assumed.
 2. Points found or set are so indicated, others are shown for reference only.
 3. Record data is shown in parenthesis (.....)
 4. Check for direction of tree growth in field where pertinent to location of improvements.
 5. Distances and elevations are expressed in feet and decimals thereof.
 6. Only native trees 6" or larger have been located.
 7. Easements may exist that don't show on this map.
 8. Relationship of topographic features to boundary lines is approximate.



APN 010-186-017

TOPOGRAPHIC MAP

of Lot 3, Block D, as shown on Map of Addition No. 1 to Carmel-by-the-Sea, Monterey County, California.

Prepared for:

LAURA DEBUS

Jon D. Hagemeyer Licensed Land Surveyor
 Carmel, California.
 Scale: 1" = 4' W.O. 5622 September, 2013

Job Number 2013-08	Drawn By:
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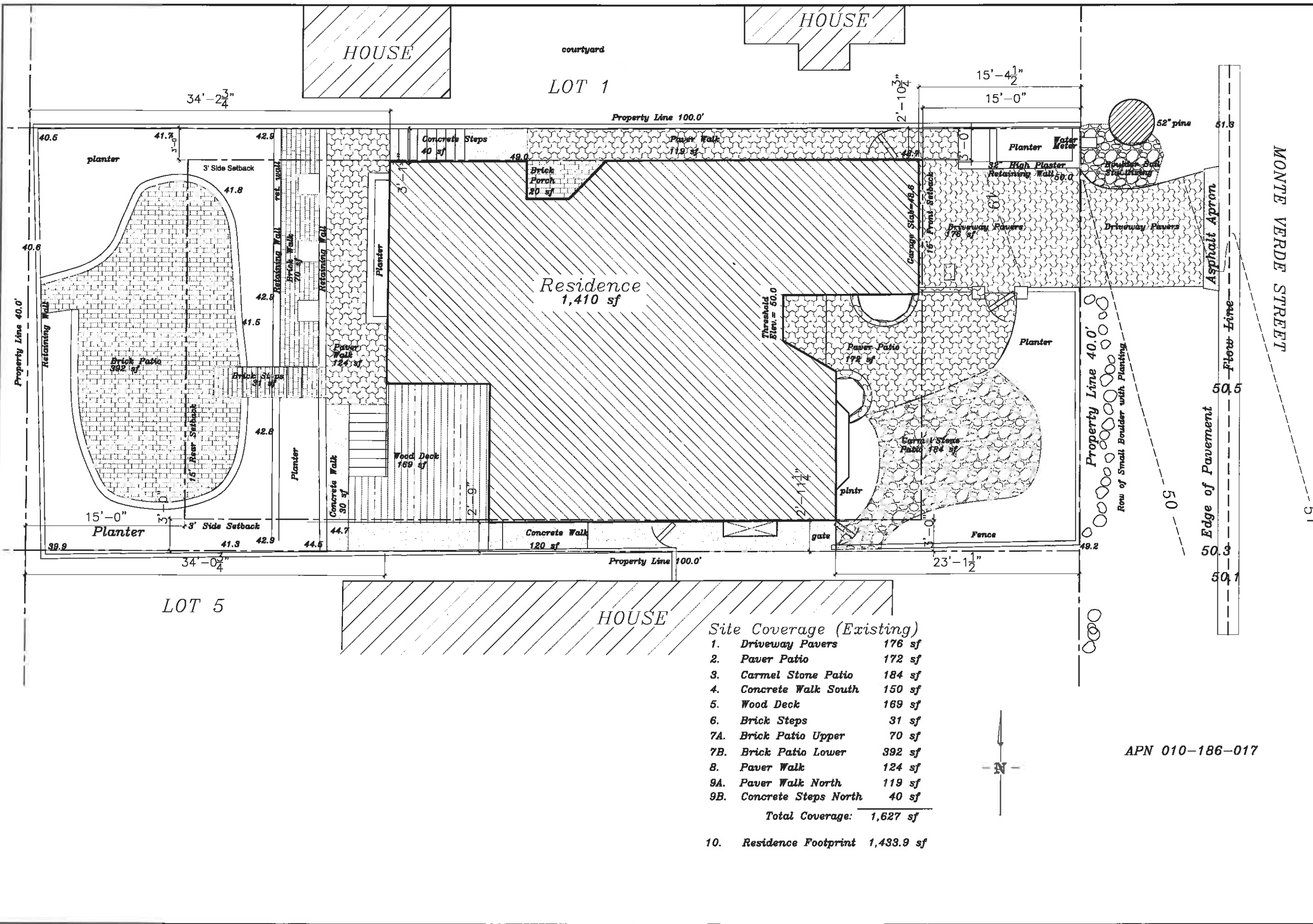
Date 03-18-2014	Revisions 9-18-2014
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Sheet Number C-1.1	of 	Sheets
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SITE SURVEY

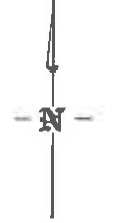


SITE SURVEY 109



Site Coverage (Existing)

1. Driveway Pavers	176 sf
2. Paver Patio	172 sf
3. Carmel Stone Patio	184 sf
4. Concrete Walk South	150 sf
5. Wood Deck	169 sf
6. Brick Steps	31 sf
7A. Brick Patio Upper	70 sf
7B. Brick Patio Lower	392 sf
8. Paver Walk	124 sf
9A. Paver Walk North	119 sf
9B. Concrete Steps North	40 sf
Total Coverage: 1,627 sf	
10. Residence Footprint	1,433.9 sf



APN 010-186-017

DATE	REVISION

Jon Sather Erlandson Architect - C11925
 Junipero St. 2 South West of 4th Ave., Carmel By The Sea
 MAIL: Jon Sather Erlandson, Architect Post Office Box 7108 Carmel, California 93921
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Debus-Key Residence
 Monteverde St. 2 SW of 9th
 Carmel By The Sea, California

Job Number 2013-08	Drawn By:
-----------------------	-----------

Date 03-18-2014	Revisions 9-16-2014
--------------------	------------------------

Sheet Number C-1.2	of: Sheets
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EXISTING SITE COVERAGE

Scale: 1/4"=1'-0" 1

DATE	REVISION

Jon Sather Erlandson Architect - C11925
 Junipero St. 2 South West of 4th Ave., Carmel By The Sea
 MAIL: Jon Sather Erlandson, Architect, Post Office Box 7108, Carmel, California 93921
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Debus-Key Residence

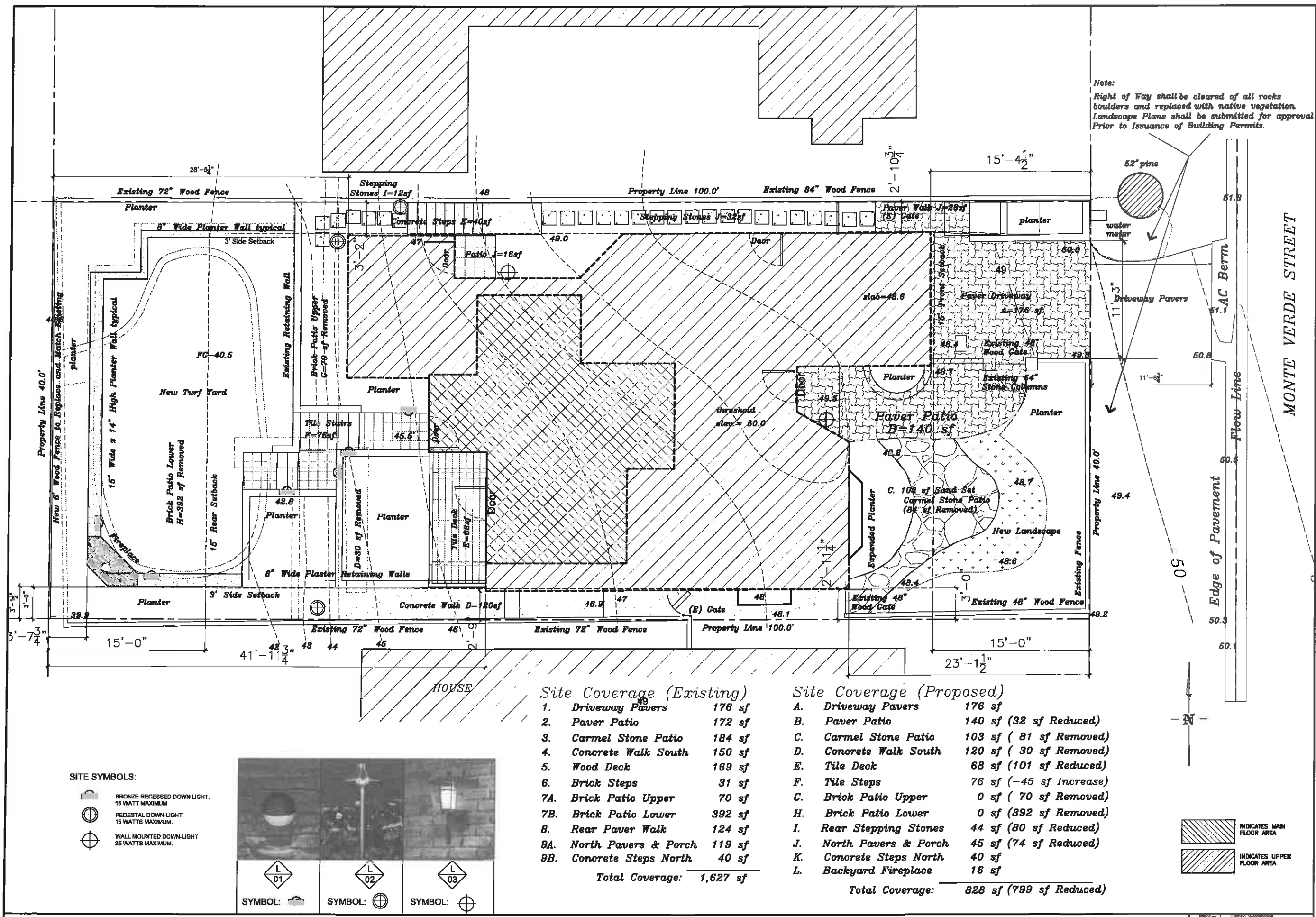
Monteverde St. 2 SW of 8th
Carmel by The Sea, California

Job Number: 2013-08
 Drawn By: [Signature]

Date: 03-18-2104
 Revisions: 9-16-2014

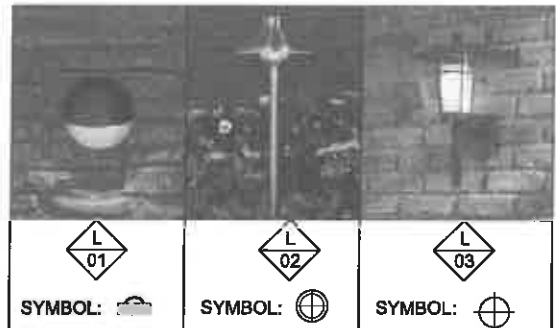
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 of: [] Sheets

PROPOSED SITE PLAN



Note:
 Right of Way shall be cleared of all rocks boulders and replaced with native vegetation. Landscape Plans shall be submitted for approval Prior to Issuance of Building Permits.

- SITE SYMBOLS:**
- BRONZE RECESSED DOWN LIGHT, 15 WATT MAXIMUM
 - PEDESTAL DOWN-LIGHT, 15 WATTS MAXIMUM.
 - WALL MOUNTED DOWN-LIGHT 25 WATTS MAXIMUM.



PROPOSED SITE LIGHTING

Site Coverage (Existing)

1. Driveway Pavers	176 sf
2. Paver Patio	172 sf
3. Carmel Stone Patio	184 sf
4. Concrete Walk South	150 sf
5. Wood Deck	169 sf
6. Brick Steps	31 sf
7A. Brick Patio Upper	70 sf
7B. Brick Patio Lower	392 sf
8. Rear Paver Walk	124 sf
9A. North Pavers & Porch	119 sf
9B. Concrete Steps North	40 sf
Total Coverage:	1,627 sf

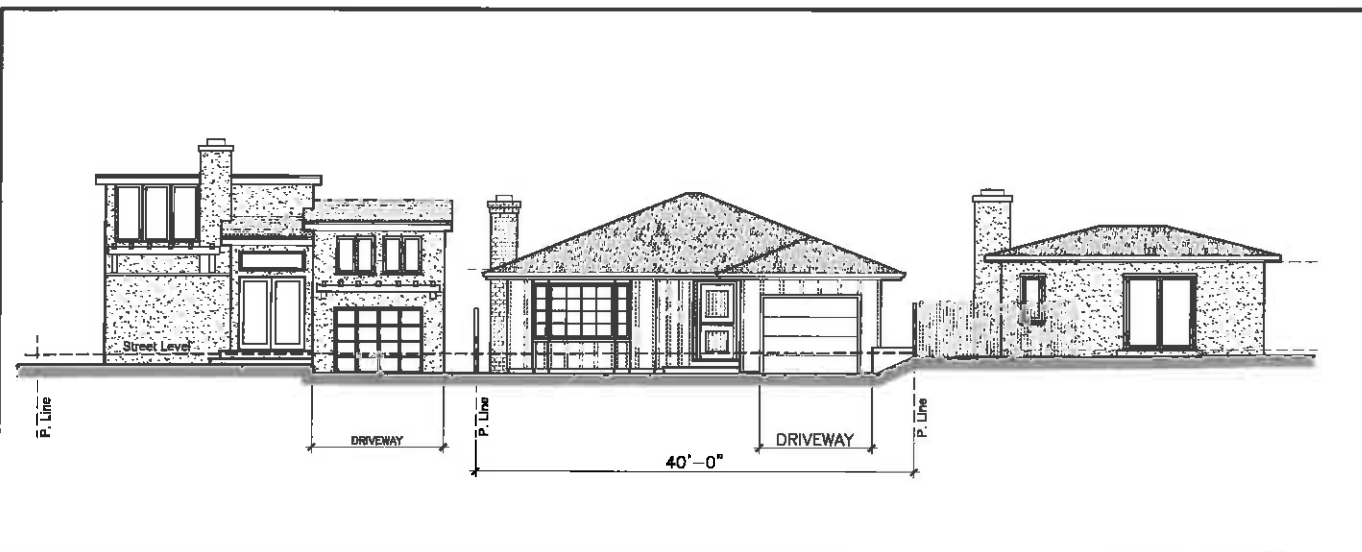
PROPOSED SITE PLAN

Site Coverage (Proposed)

A. Driveway Pavers	176 sf
B. Paver Patio	140 sf (32 sf Reduced)
C. Carmel Stone Patio	103 sf (81 sf Removed)
D. Concrete Walk South	120 sf (30 sf Removed)
E. Tile Deck	68 sf (101 sf Reduced)
F. Tile Steps	76 sf (-45 sf Increase)
G. Brick Patio Upper	0 sf (70 sf Removed)
H. Brick Patio Lower	0 sf (392 sf Removed)
I. Rear Stepping Stones	44 sf (80 sf Reduced)
J. North Pavers & Porch	45 sf (74 sf Reduced)
K. Concrete Steps North	40 sf
L. Backyard Fireplace	16 sf
Total Coverage:	828 sf (799 sf Reduced)

INDICATES MAIN FLOOR AREA
 INDICATES UPPER FLOOR AREA

Scale: 1/4"=1'-0" 1



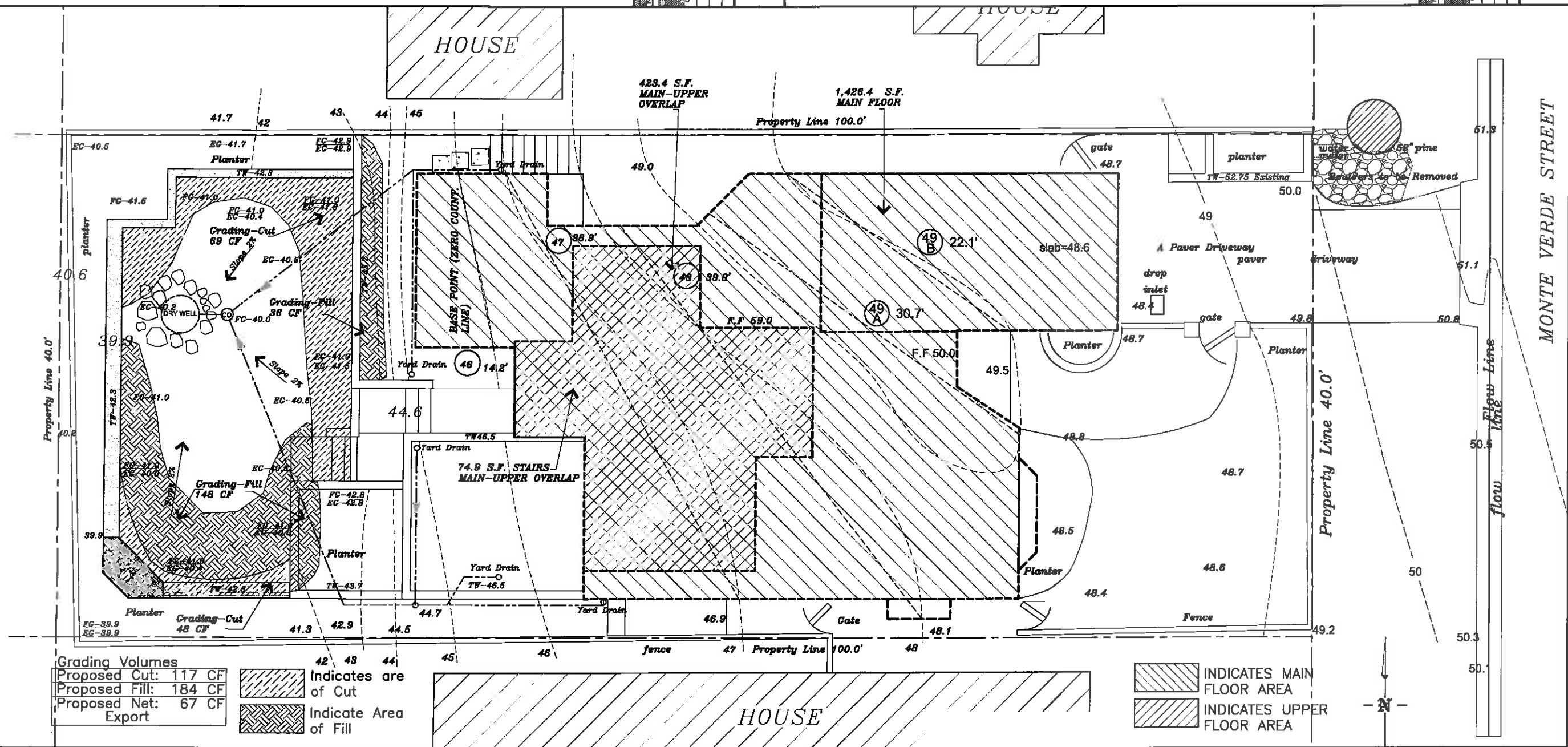
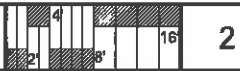
EXISTING STREET PROFILE

Scale: 1/8"=1'-0"



PROPOSED STREET PROFILE

Scale: 1/8"=1'-0"



Grading Volumes

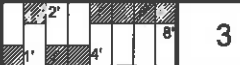
Proposed Cut:	117 CF
Proposed Fill:	184 CF
Proposed Net:	67 CF Export

Indicates are of Cut
Indicate Area of Fill

INDICATES MAIN FLOOR AREA
INDICATES UPPER FLOOR AREA

PROPOSED FLOOR MAP PLAN & GRADING PLAN

Scale: 1/4"=1'-0"



DATE	REVISION

Jon Sather Erlandson Architect - C11925
 Junipero St. 2 South West of 4th Ave., Carmel By The Sea
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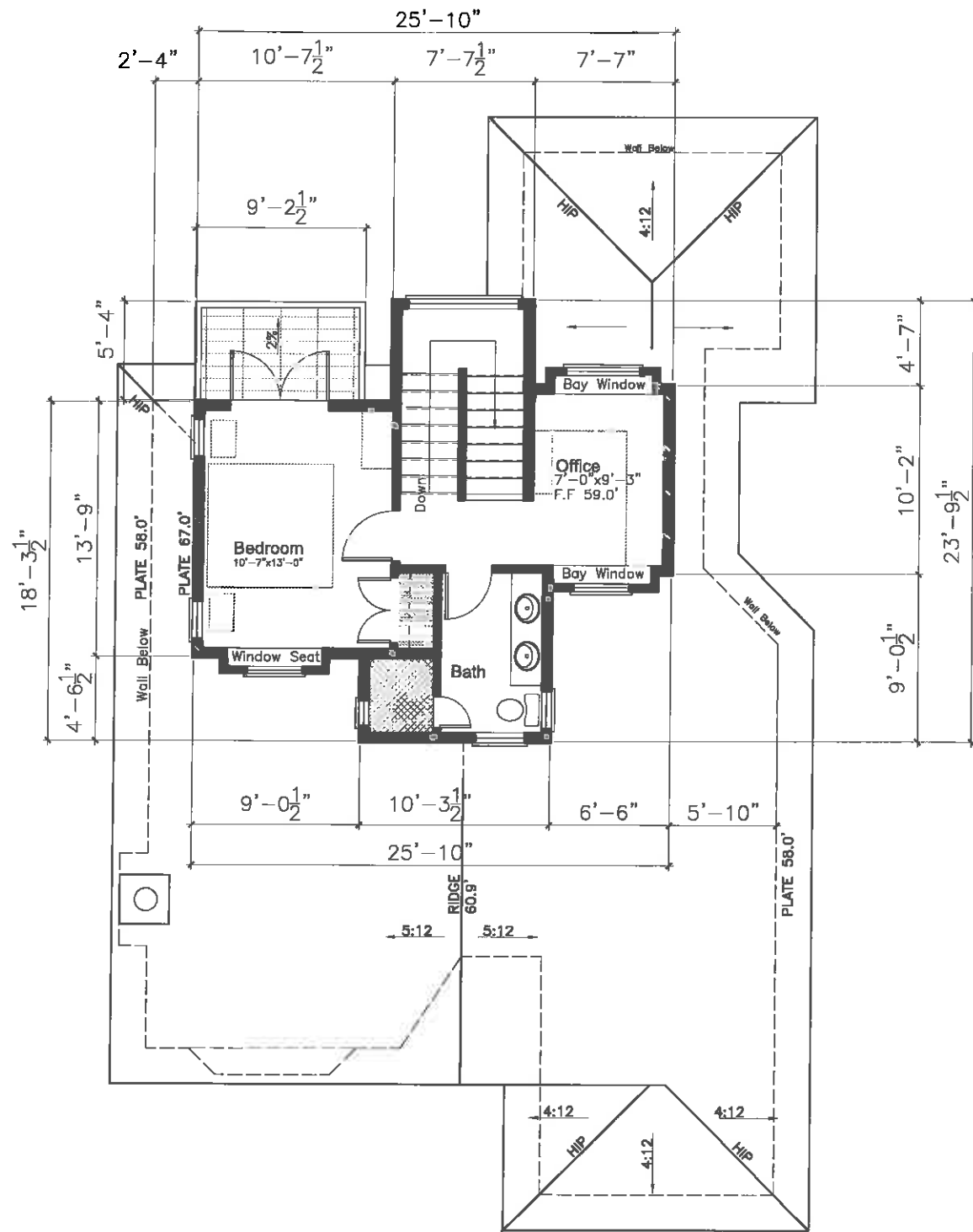
Debus-Key Residence
 Monteverde St. 2 SW of 8th
 Carmel by The Sea, California

Job Number: 2013-08
 Drawn By:

Date: 03-18-2014
 Revisions: 9-16-2014

Sheet Number
C-1.4
 of: Sheets

PROPOSED FLOOR MAP



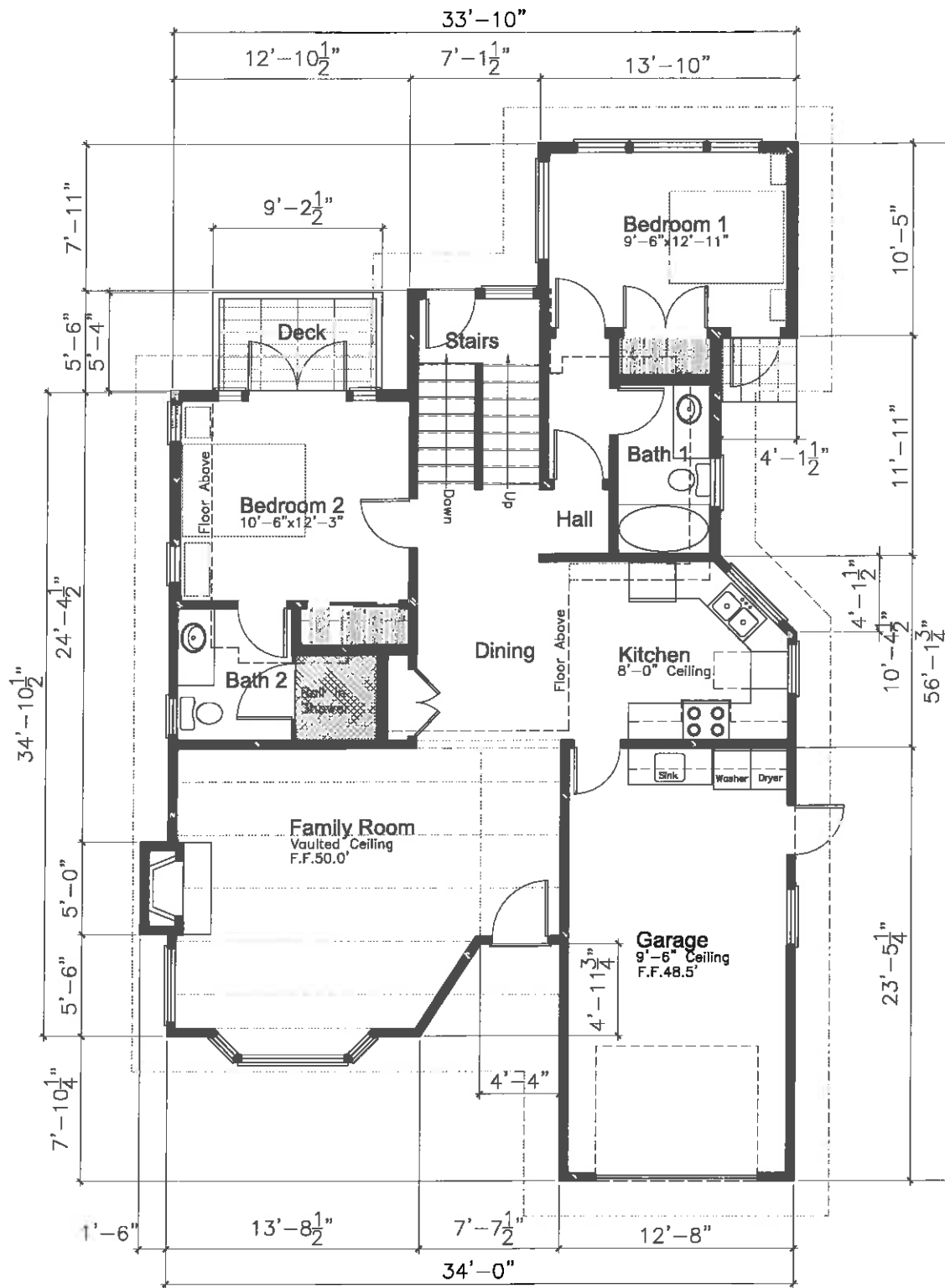
GROSS Second Floor Area: 423.4 SF
 Second Floor Stairs: 74.9 SF
 NET Second Floor Area: 348.5 SF

PROPOSED SECOND FLOOR PLAN

Scale: 1/4"=1'-0"



2



First Floor Living: 1,128.4 SF (excludes Fireplace)
 Garage Area: 298.0 SF
 1st Floor Total: 1,426.4 SF
 2nd Floor Total: 348.5 SF (excludes Bay Windows)
 Total Building: 1,774.9 SF
 Fireplace: 7.5 SF
 Bay Windows: 15.3 SF
 Total for Volume: 1,797.7 SF

PROPOSED FIRST FLOOR PLAN

Scale: 1/4"=1'-0"



1

DATE	REVISION



Jon Sather Erlandson Architect - C11925
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Debus-Key Residence
 Carmel by the Sea, California

Monteverde St. 2 SW of 8th

Job Number: 2013-08
 Drawn By:

Date: 03-18-2014
 Revisions: 8-16-2014

Sheet Number:
A-1.1
 of: Sheets

DATE	REVISION

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Debus-Key Residence
 Carmel by the Sea, California

Monteverde St. 2 SW of 9th

Job Number
2013-08

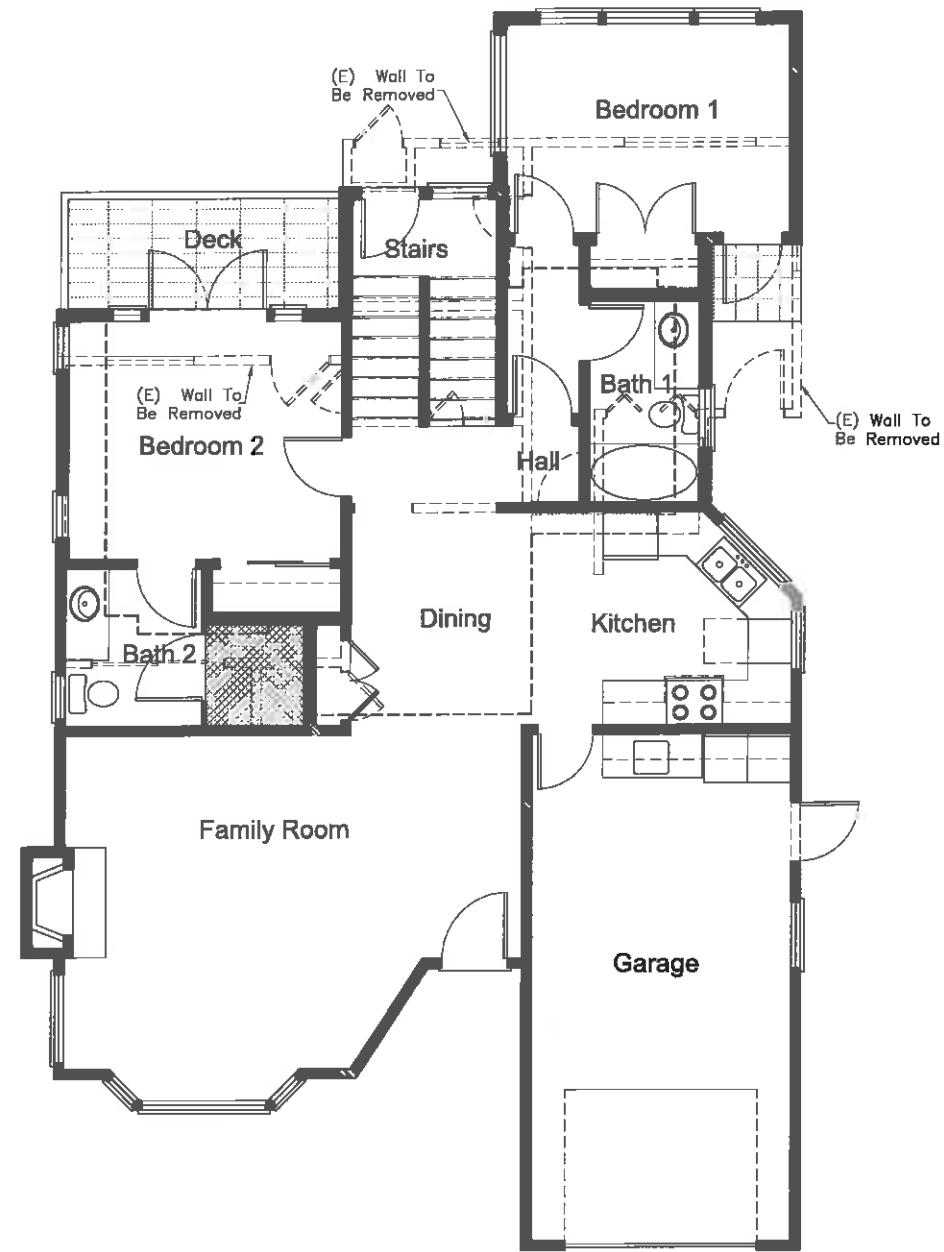
Drawn By:

Date
03-18-2014

Revisions
9-16-2014

Sheet Number
A-1.2
of: Sheets

DEMOLITION PLAN



PROPOSED DEMOLITION PLAN

Scale: 1/4"=1'-0"



1

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Jon Sather Erlandson Architect - C11925
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Debus-Key Residence

Monteverde St. 2 SW of 9th
 Carmel By The Sea, California

Job Number
2013-08

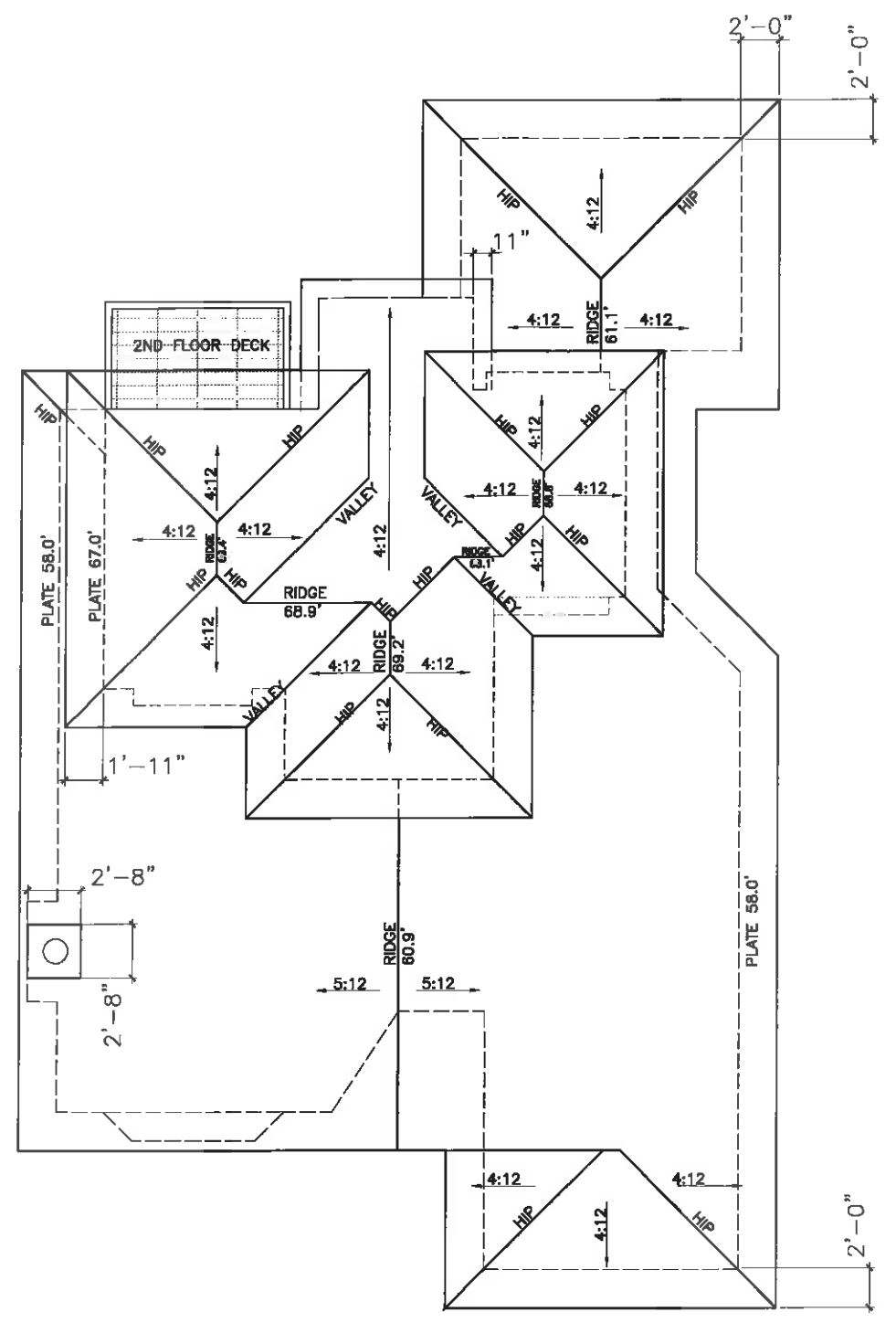
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Date
03-18-2014

Revisions
9-16-2014

Sheet Number
A-1.3
 of Sheets

PROPOSED ROOF PLAN 15



2

PROPOSED ROOF PLAN

Scale: 1/4"=1'-0"

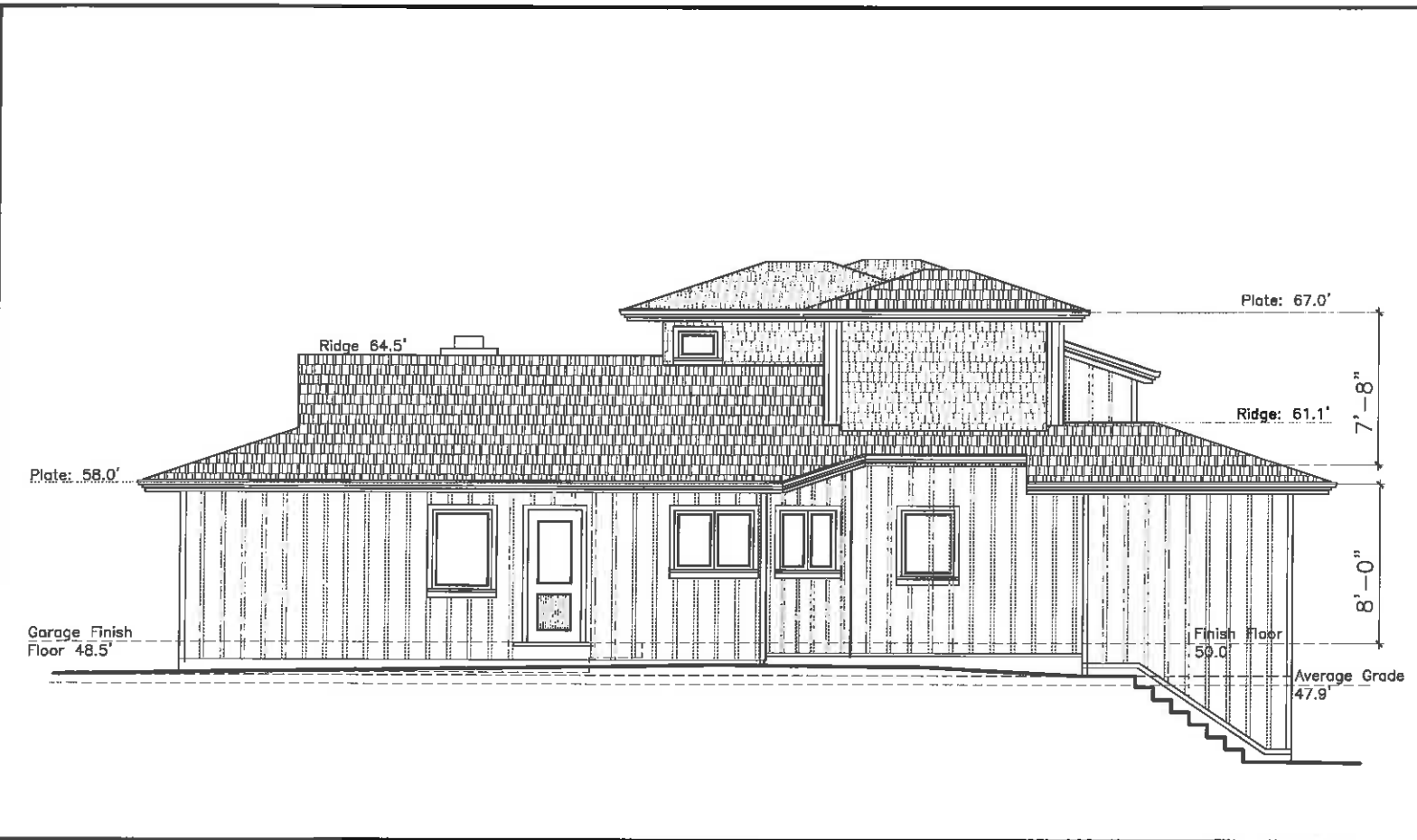


DATE	REVISION

Jon Sather Erlandson Architect - C11925
 Junipero St. 2 South West of 4th Ave., Carmel By The Sea

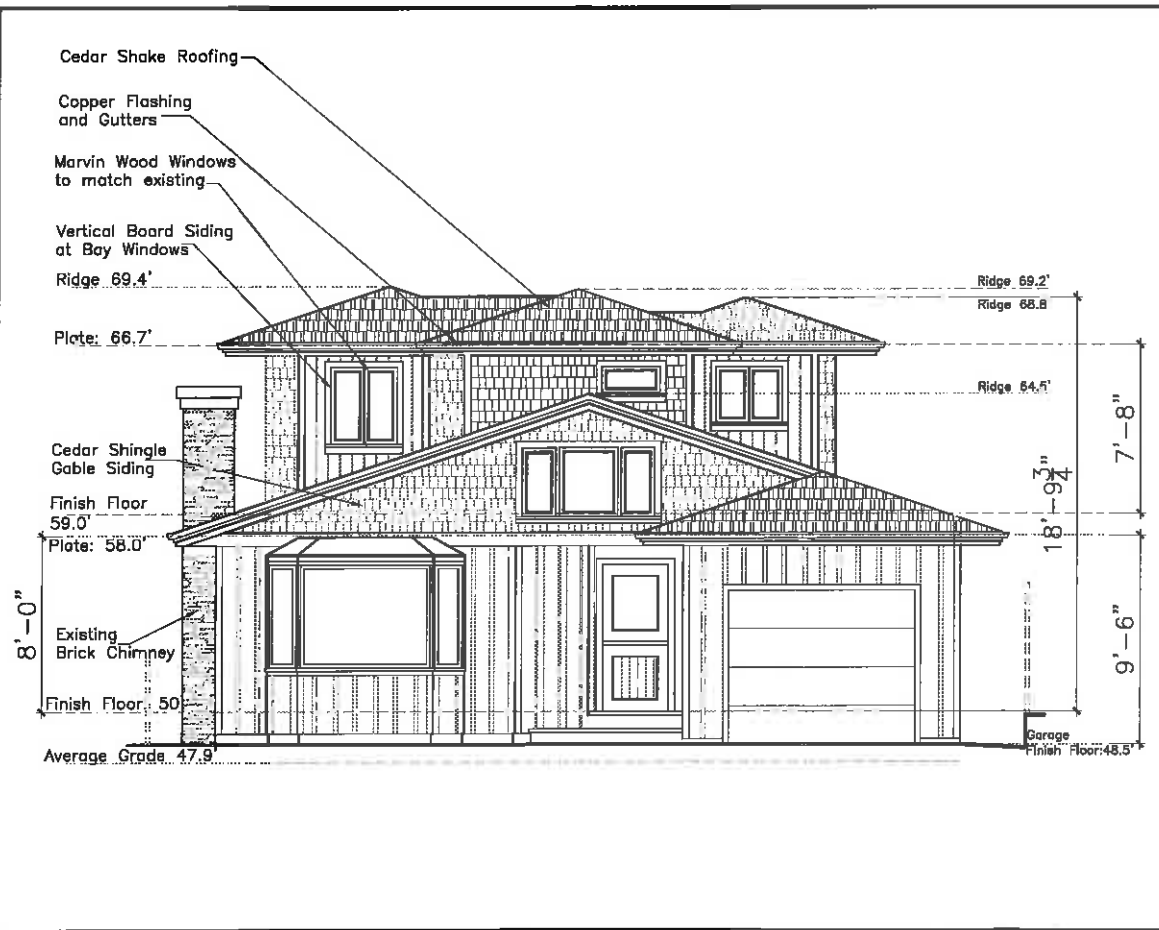
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MAIL: Jon Sather Erlandson, Architect Post Office Box 7108 Carmel, California 93921
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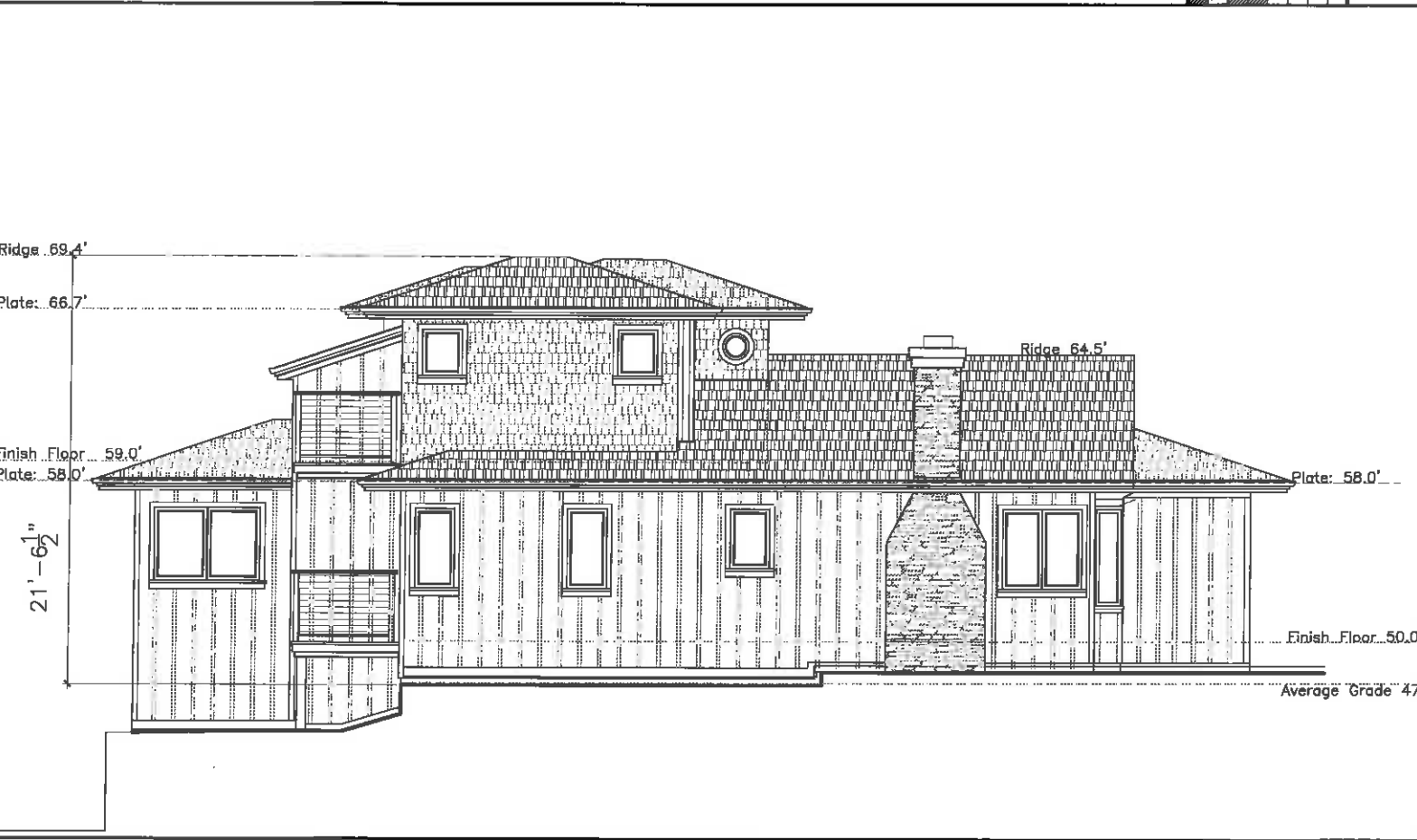
PROPOSED NORTH EXTERIOR ELEVATION

Scale: 1/4"=1'-0" N



PROPOSED EAST EXTERIOR ELEVATION

Scale: 1/4"=1'-0" E



PROPOSED SOUTH EXTERIOR ELEVATION

Scale: 1/4"=1'-0" S



PROPOSED WEST EXTERIOR ELEVATION

Scale: 1/4"=1'-0" W

Debus-Key Residence
 Monteverde St. 2 SW of 9th
 Carmel by The Sea, California

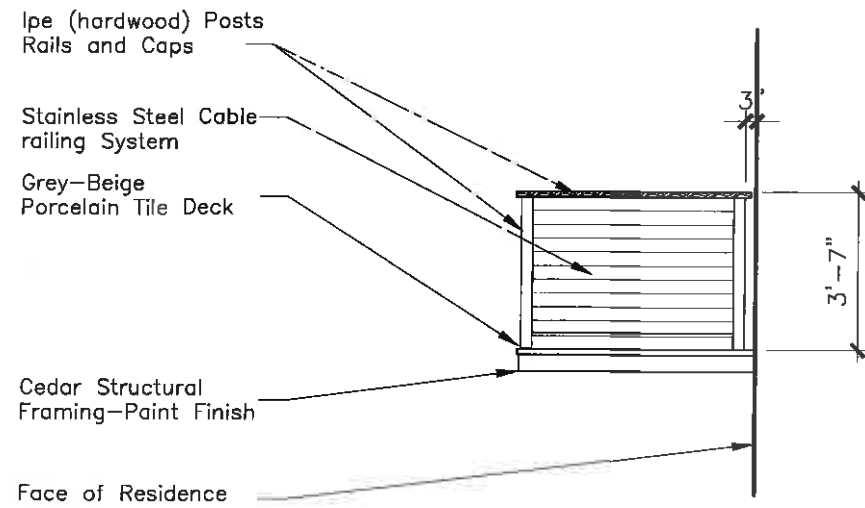
Job Number: 2013-08
 Drawn By:

Date: 03-18-2014
 Revisions: 9-16-2014

Sheet Number: **A-2.1**
 of: Sheets

EXTERIOR ELEVATIONS

DATE	REVISION

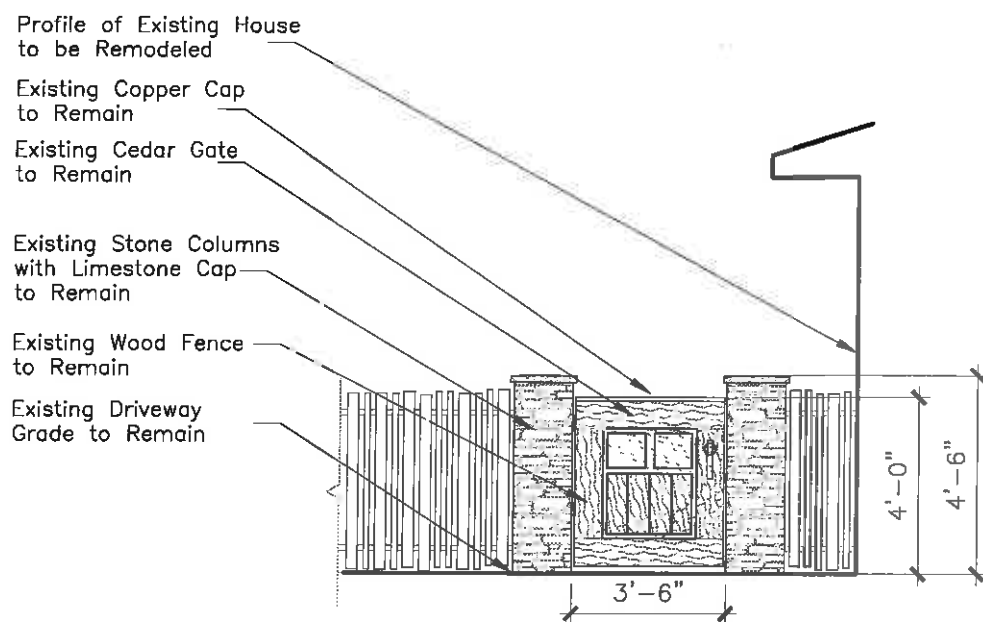


DECK HANDRAIL DETAIL

Scale: 1/2=1'-0"



1

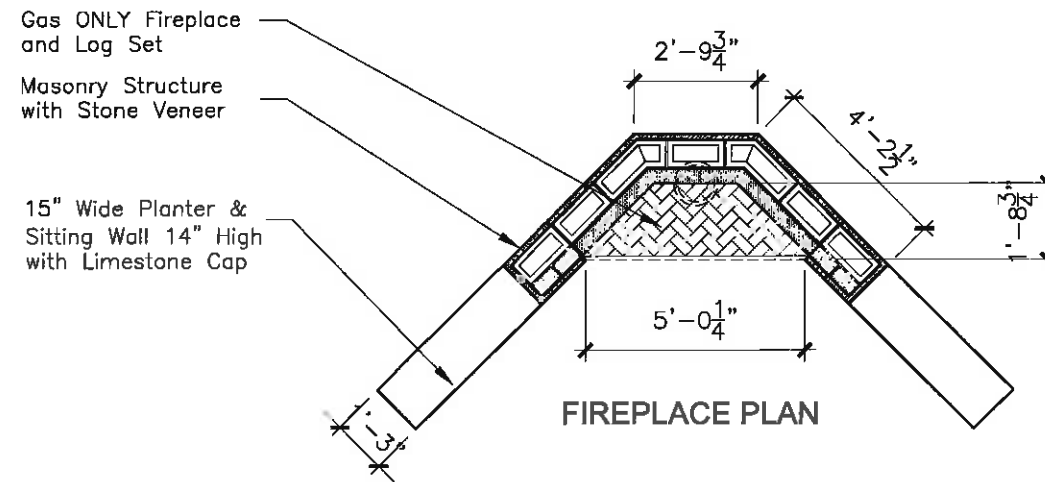


ELEVATION of EXISTING ENTRY GATE, COLUMNS and FENCE

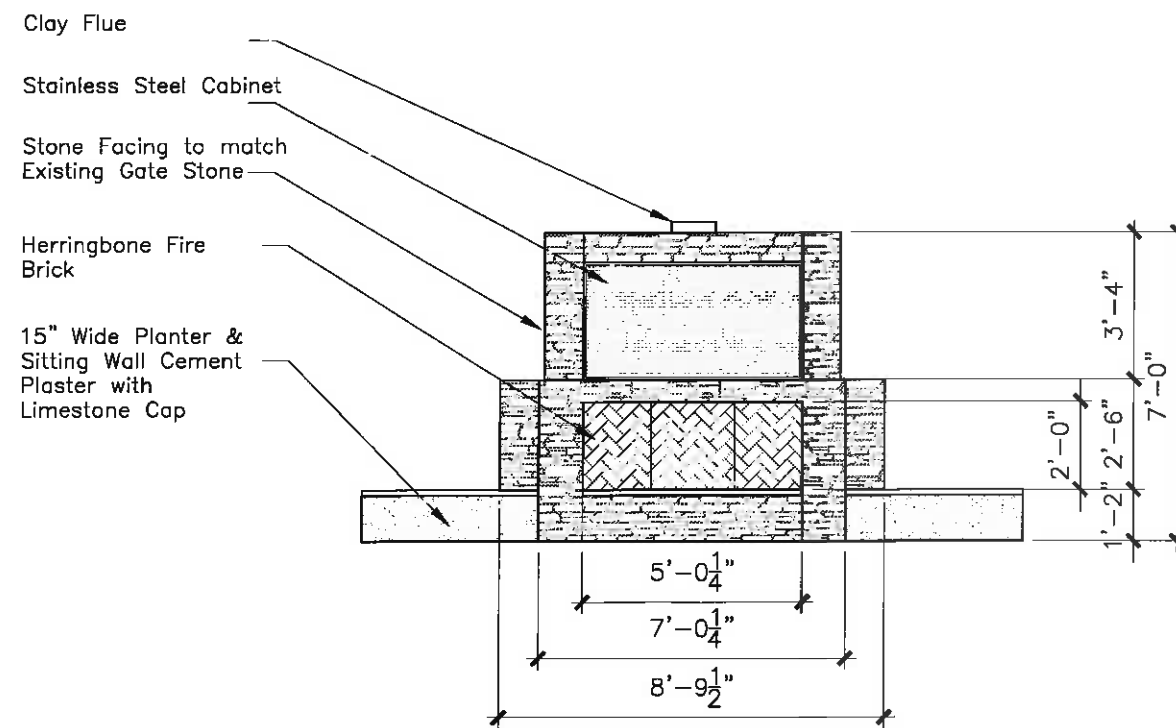
Scale: 1/2=1'-0"



3



FIREPLACE PLAN



FIREPLACE ELEVATION

Scale: 1/2=1'-0"



2

Jon Sather Erlandson Architect - C11925
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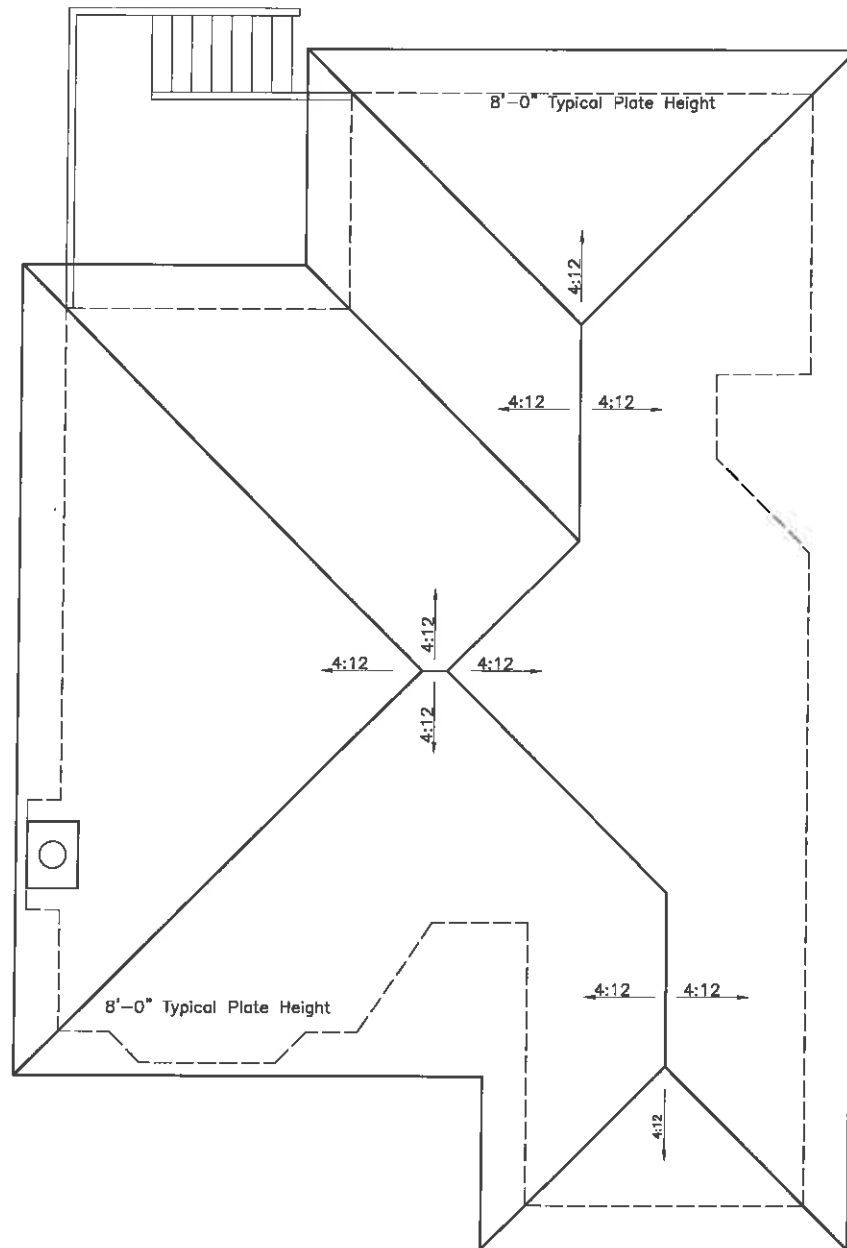
Debus-Key Residence
 Monteverde St. 2 SW of 9th
 Carmel by The Sea, California

Job Number: 2013-08
 Drawn By:

Date: 03-18-2014
 Revisions: 9-16-2014

Sheet Number:
A-3.1
 of: Sheets

SITE DETAILS

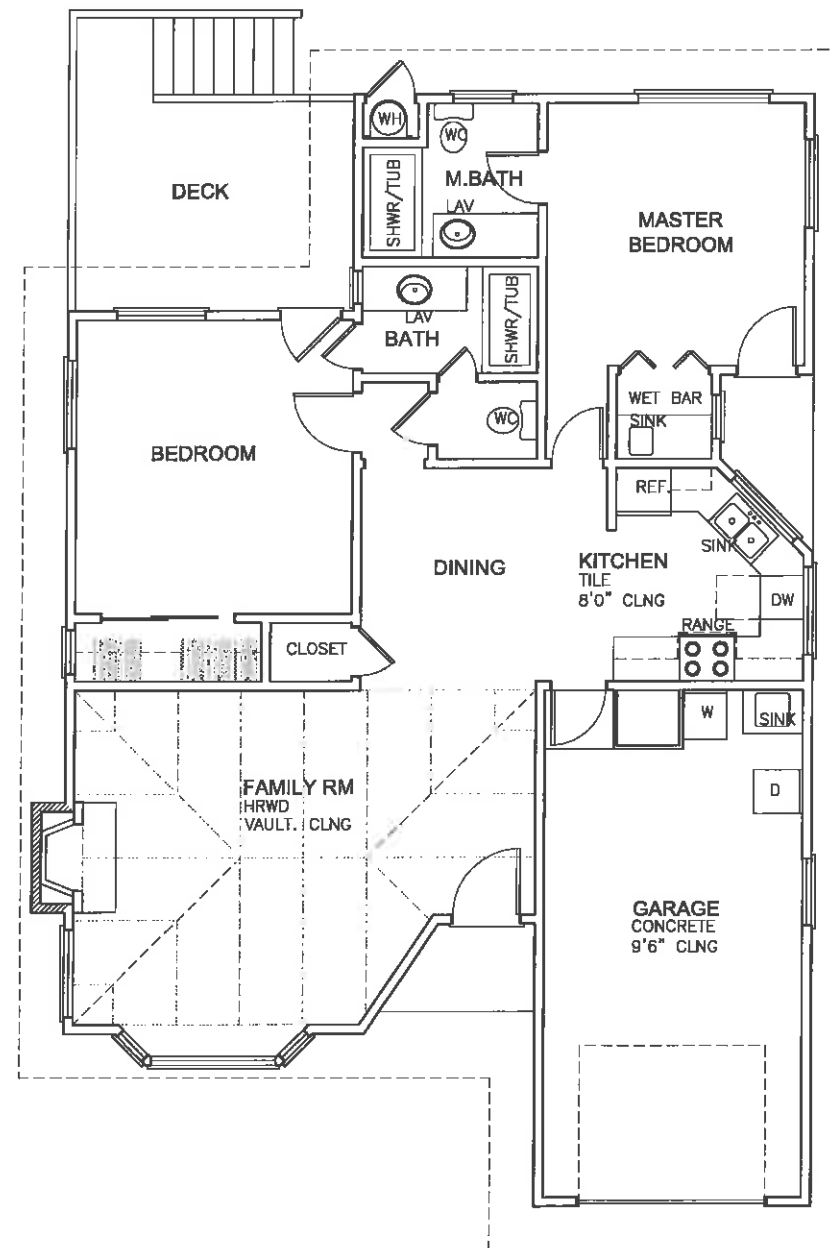


EXISTING FLOOR PLAN

Scale: 1/4"=1'-0"



2



EXISTING FLOOR PLAN

Scale: 1/4"=1'-0"



1

DATE	REVISION

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Debus-Key Residence
 Montaville St. 2 SW of 9th
 Carmel by The Sea, California

Job Number
2013-01

Drawn By:

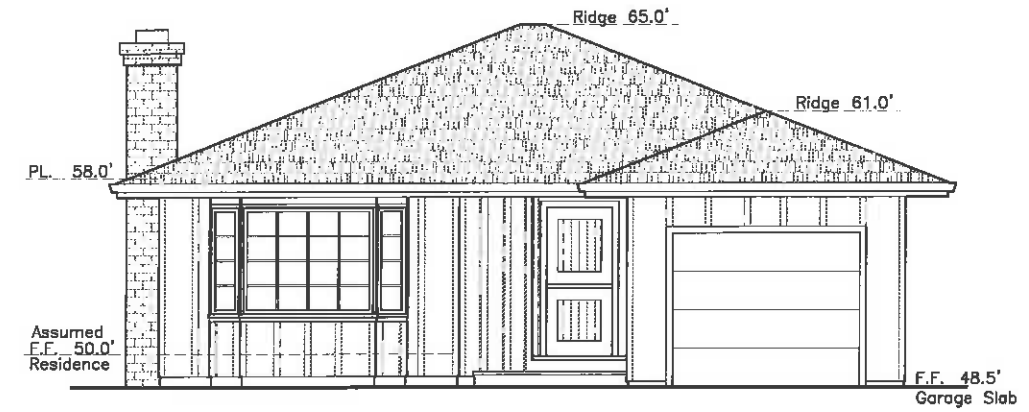
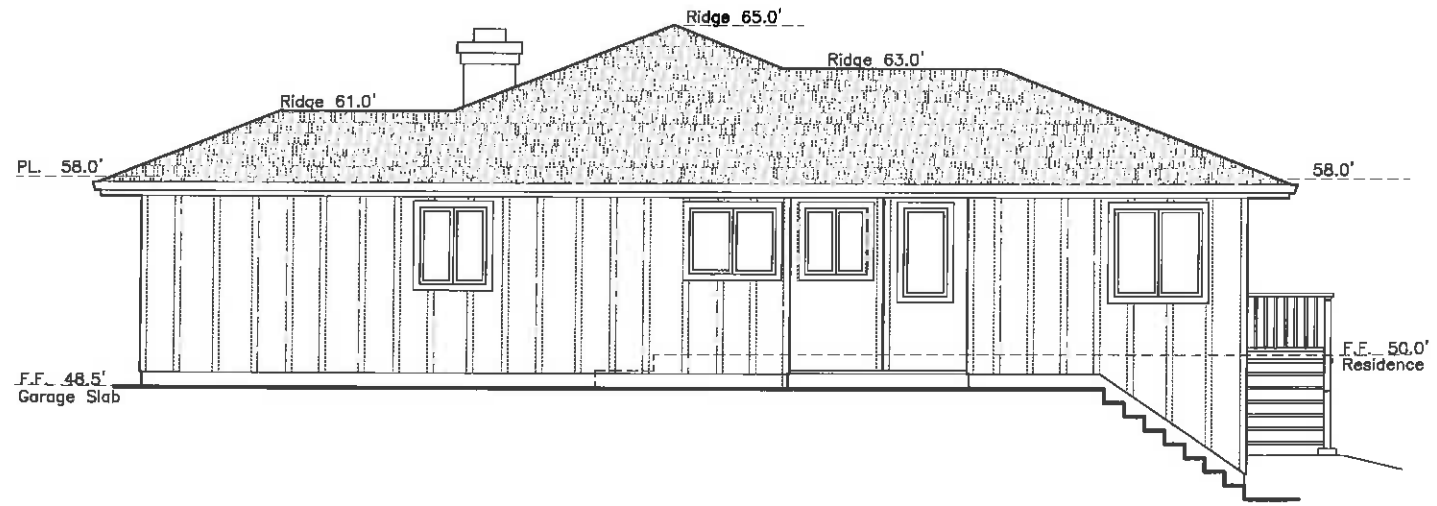
Date
02-02-14

Revisions
9-16-2014

Sheet Number
EX-1.1
of: Sheets

EXISTING FLOOR-ROOF PLAN

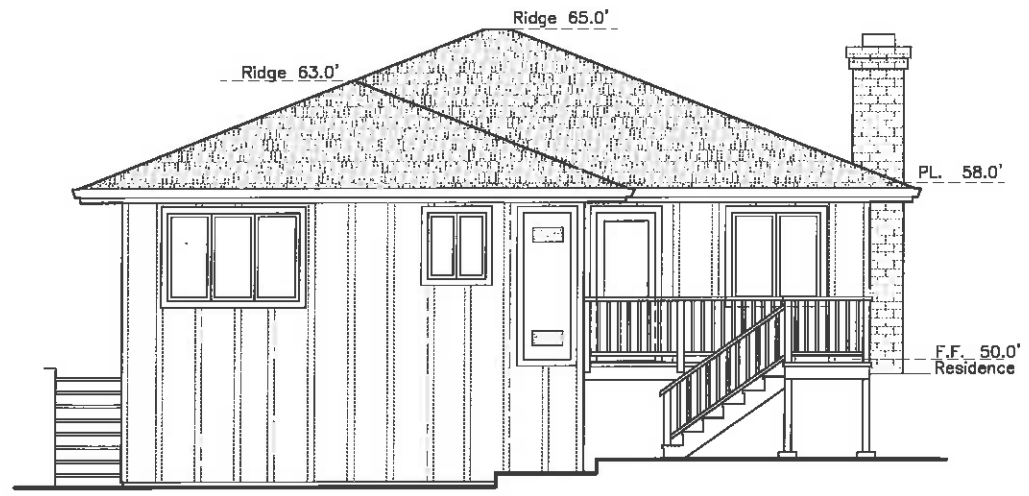
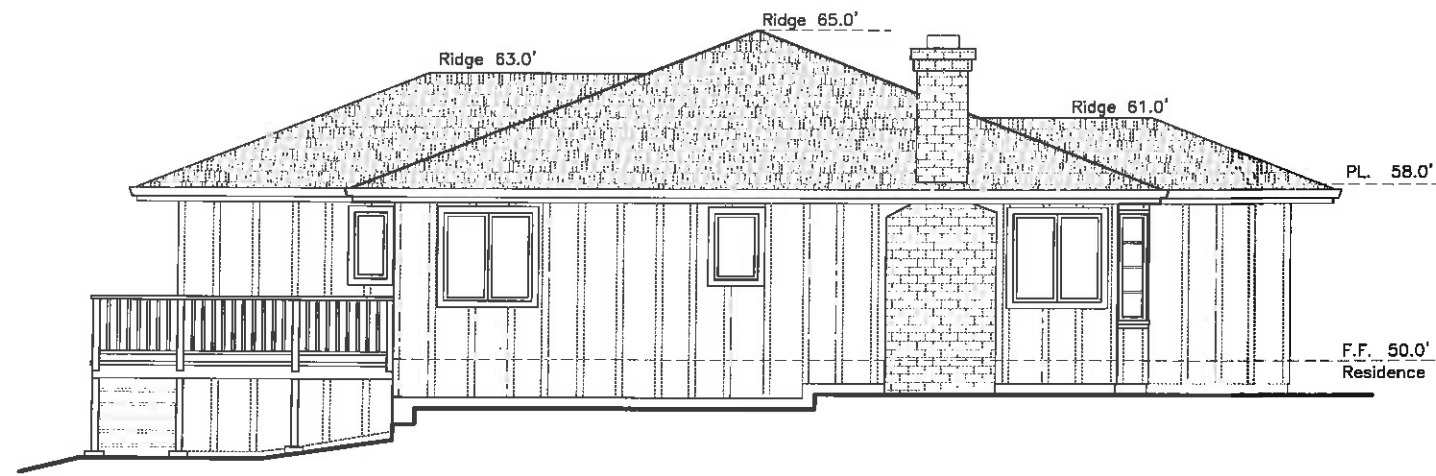
DATE	REVISION



Existing North Elevation

Existing East Elevation

Scale: 1/4"=1'-0" 1



Existing South Elevation

Existing West Elevation

Scale: 1/4"=1'-0" 2

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Debus-Key Residence

Montaverde St. 2 SW of 9th
 Carmel by The Sea, California

Job Number
 2013-01

Drawn By:

Date
 02-02-14

Revisions
 8-16-2014

Sheet Number
EX-2.1
 of: Sheets

EXISTING EXT. ELEVATIONS



CITY OF CARMEL-BY-THE-SEA

Planning Commission

October 8, 2014

To: Chair Reimers and Board Members

From: Rob Mullane, AICP, Community Planning and Building Director RM

Submitted by: Marc Wiener, Senior Planner

Subject: Consideration of a Design Review (DR 14-21), Use Permit (UP 14-16), and associated Coastal Development permit application for alterations to a historic commercial building located in the Central Commercial (CC) Zoning District

Recommendation:

Approve the Design Review (DR 14-21), Use Permit (UP 14-16), and associated Coastal Development Permit subject to the attached findings and conditions

Application: DR 14-21/UP 14-16 **APN:** 010-201-002
Block: 74 **Lot:** 9
Location: Lincoln Street 2 southwest of Ocean Ave
Applicant: Cynthia Spellacy, Stoker and Allaire (Architect)
Property Owner: Myrna Goese

Background:

This project site is located on Lincoln Street two parcels southwest of Ocean Avenue, and is developed with a two-story Spanish Eclectic-style commercial building that was built in the mid-1920s and is named the La Rambla Building. The building includes two apartments on the upper level and commercial space on the lower level. On January 30, 2003, the building was added to the City's Historic Resources Inventory.

Unsafe conditions were noted by the City's Building Official in February 2014, and access to the La Rambla Building has been restricted to allow the necessary repairs. The property owner is currently in the process of renovating the building to address the safety issues. In addition to

addressing safety issues, the renovation project includes a proposal for the following alterations to the building:

- The addition of 462 square feet to the rear of the existing 3,356-square foot building, including the addition of 195 square feet to the upper-level apartments, 197 square feet to the lower level commercial space, and 70 square feet to the basement. The new additions include the removal of several rear windows.
- Included with the addition would be the construction of an elevator shaft near the northwest corner of the building
- Installation of a new 24' x 6' ridge skylight
- Replacement in-kind of the second-story wood railing on the west (rear) elevation
- Installation of new stairs with a wrought-iron railing on the west (rear) elevation of the building. The stairs provide access to the rear garden area.
- Alterations to the rear garden area to include new landscaping, a paver patio, and a raised tile patio
- Replacement in-kind of the Ladrillo type tile in the breezeway

PROJECT DATA FOR A 4,000-SQUARE FOOT SITE (CC ZONING DISTRICT):			
Site Considerations	Allowed	Existing	Proposed
Floor Area	5,400 sf (135%)	3,015 sf (74%)*	3,477 sf (87%)*
Building Coverage	3,200 sf (80%)	1,956 sf (48%)	2,189 sf (54%)
Ridge Height (1 st /2 nd)	30 ft.	31 ft.	No Change
Parking Requirement	3 spaces (required)	0 spaces	0 spaces
Setbacks	Minimum Required	Existing	Proposed
Front	0 ft.	0 ft.	No Change
Rear	0 ft.	47 ft.	No Change
Side Yard	0 ft.	0 ft.	No Change
* Does not include breezeway.			

Staff analysis:

CEQA: The California Environmental Quality Act requires environmental review for alterations to historic resources that are not consistent with the Secretary's Standards. If the alterations are consistent with the standards, potential historic resource impacts under CEQA do not require further analysis. A Phase II Historic Evaluation was prepared for this project and concluded that the alterations would be consistent with the Secretary of the Interior's Standards.

On September 15, 2014, the Historic Resources Board (HRB) issued a Determination of Consistency with the Secretary's Standards, with special conditions, for the proposed alterations to this historic residence. The HRB special conditions are included with the project conditions for the Planning Commission's approval of this project. One of the special conditions requires that the Ladrillo tile in the breezeway be replaced with new tile to match existing, and another condition requires that one of the west (rear) elevation arched windows be re-used. Staff notes that the minutes from the September 2014, HRB meeting, have not yet been adopted; however, staff can address questions on the HRB's action and discussion.

Building Modifications: Municipal Code Section 17.14.010 states that the basic standard of review in the Commercial Districts is whether *"the project constitutes an improvement over existing conditions – not whether the project just meets minimum standards."* In addition, Commercial Design Guideline A.1 states that: *"Modifications to buildings should respect the history and traditions of architecture of the commercial districts. Basic elements of design integrity and consistency throughout each building should be preserved or restored."*

The proposed renovation project will address the unsafe conditions that were identified by the City's Building Official in February 2014, and will be an overall improvement to the site. The exterior modifications will primarily occur at the rear of the La Rambla Building and will not impact the historic integrity of the front building facade.

The project includes the addition of 195 square feet to the upper-level apartments and 197 square feet to the lower level commercial space, which includes the addition of a new elevator shaft. Other modifications to the building include the addition of a 24' x 6' ridge skylight, installation of new stairs and railing at the rear of the building, and the in-kind replacement of the Ladrillo tile in the breezeway.

In addition to the building modifications, the applicant is also proposing alterations to the rear garden area that include new landscaping, a paver patio, and a raised tile patio. A condition has been drafted requiring the applicant to submit a landscape plan with the construction plan set.

Use Permit Requirement: Municipal Code Section 17.14.050.D states that: *“Any construction resulting in a net increase in the amount of commercial floor area shall require a conditional use permit and coastal development permit authorizing such increase. Prior to authorizing such increase, the Planning Commission shall make all findings listed in CMC 17.64.100, Increase in Commercial Floor Area, Commercial Spaces or Business.”*

The project includes a proposal for a 197-square foot expansion of the lower-level commercial space, which includes the addition of 51 square feet for the elevator shaft. The findings for a Use Permit approval from CMC 17.64.100 are included in Attachment B. With regard to water use, staff notes that Finding C prohibits the development from resulting in a net increase in water use for the site. The applicant has worked with the Monterey Peninsula Water Management District and submitted documentation to the City, indicating that the water credits for the proposed 197-square foot expansion of the commercial space will be provided through retrofitting of existing water fixtures located in the two upper-level apartments.

With regard to parking requirements, Finding D requires that the proposal is consistent with the City’s off-street parking requirements as specified in Municipal Code Chapter 17.38. This section of the code states that *“proposed additions of floor area, new shops or dwelling units, or other similar changes in land use resulting in a net increase in parking requirements, as set forth in this chapter, shall provide all required parking generated by the new activities on the site.”*

The project site does not contain any off-street parking; however, staff notes that the proposed additions to the building would not result in an increase in parking requirement for the site. The lower-level commercial space is currently 1,350 square feet in size and is required to have 3 off-street parking spaces based on the size of the commercial space. The applicant is proposing to expand the commercial space to 1,547 square feet in size, which does not increase the parking requirement based on the minimum parking requirements provided in Municipal Code Section 17.38.020.C. In addition, no off-street parking is required for apartments in the Central Commercial (CC) Zoning District (CMC 17.14.060), and therefore the addition of 195 square feet to the apartments does not increase the parking requirement.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 462-square foot addition an existing 3,015-square foot commercial building, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photograph
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans

Attachment A – Site Photograph



Project site – Front of La Rambla Building facing west on Lincoln Street

Attachment B – Findings for Approval

DR 14-21/UP 14-16 (Goese)

October 8, 2014

Findings for Approval

For each of the required findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project constitutes an improvement over existing site conditions pursuant to CMC 17.14.010	✓	
General Use Permit Findings (CMC 17.64.010)		
2. The proposed use is not in conflict with the General Plan.	✓	
3. The proposed use will comply with all applicable zoning standards.	✓	
4. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.	✓	
5. The proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, street capacity and fire protection.	✓	
6. The proposed use will not be injurious to public health, safety or welfare and provides adequate ingress and egress.	✓	
7. The proposed use will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.	✓	
8. The proposed use will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.	✓	
Increase in Commercial Floor Area Findings (CMC 17.64.100)		
9. That the proposed development has been found consistent with Chapter 17.30 CMC related to the demolition of structures.	✓	
10. That the proposed development has been found consistent with CMC 17.14.050(A), (E) and (F), related to the demolition and conversion of residential uses;	✓	
11. That the proposed development has been found consistent with CMC 17.50.040, Effects of Allocation, related to water consumption.	✓	
12. That parking will be provided to serve all new development on the site consistent with the provisions of Chapter 17.38 CMC, Off-Street Parking	✓	

Requirements.		
13. That all existing nonconformities on the property have been identified, that the proposal would not increase, expand or create any non-conformities, and that the proposal has been found consistent with Chapter 17.36 CMC, Nonconforming Uses and Buildings.	✓	
14. That the approximate square foot areas devoted to residential space, commercial space, landscaping and parking have been designated for guidance in reviewing any design plans that may be necessary and that such areas have been found consistent with Chapter 17.14 CMC, Commercial Zoning Districts.	✓	

Attachment C – Conditions of Approval

DR 14-21/UP 14-16 (Goese)

October 8, 2014

Conditions of Approval

Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Review (DR 14-21) and Use Permit (UP 14-16) authorizes: 1) the addition of 462 square feet to the rear of the building that includes the re-use of one west elevation arched window, 2) replacement of Ladrillo tiles in the breezeway with matching tiles, 3) installation of a new 24' x 6' ridge skylight, 4) replacement in-kind of the second-story wood railing on the west (rear) elevation, 5) installation of new stairs with a wrought-iron railing on the west (rear) elevation of the building and 6) Alterations to the rear garden area to include new landscaping, a paver patio, and a raised tile patio, as depicted on the October 8, 2014 approved plan set.	✓
2.	The project shall be constructed in conformance with all requirements of the local zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If	✓

	any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
10.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
11.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the	✓

	applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
12.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
13.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
14a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A
14b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
HRB Special Conditions		
15.	Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.	✓

16.	The applicant shall re-use one of the west (rear) elevation arched windows on the southerly addition as depicted on the September 15, 2014 approved plan set.	✓
17.	The Ladriollo tile in the breezeway shall be replaced with new tile to match existing as reviewed by the Historic Resources Board at the September 15, 2014 meeting. The working plan set shall include a note that the tile will be replaced to match existing.	✓
18.	The applicant shall retain the two light fixtures in the breezeway. The construction plan set shall include a note that the light fixtures will be retained.	✓
Special Condition		
19.	The applicant shall submit a landscape plan with the construction plan set to be reviewed by Planning Staff and the City Forester prior to the issuance of the building permit.	✓

*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

 Printed Name

 Date

Once signed, please return to the Community Planning and Building Department.

THE LA RAMBLA BUILDING



Stocker & Allaire
General Contractors, Inc.
Lic. # 000787

21 Marinella Court, Monterey, CA 93940
PH: (831) 875-1800 Fax: (831) 875-1400

2 SW OF OCEAN ON LINCOLN
CARMEL, CA. 93923

APN: 010-801-002

JUNE 26, 2014

THE LA RAMBLA BUILDING
COVER SHEET &
PROJECT DATA

PROJECT DATA

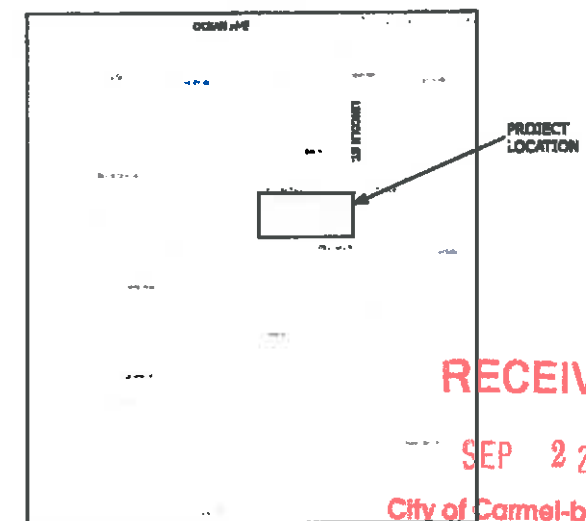
PROPERTY OWNER:	MYRNA GOESE P.O. BOX 1628 LOS ALTOS, CA 94025 PH: (831) 889-8801	MAX BUILDING HEIGHT:	30 FT.
PROJECT ADDRESS:	2 SW OF OCEAN ON LINCOLN CARMEL, CA. 93923	TREE REMOVAL:	(1) 48" STUMP
APPLICANT:	CYRTHA SPELLACY STOCKER & ALLAIRE, INC. 21B MANDEVILLE CT. MONTEREY, CA. 93940 PH: (831) 875-1800	GRADING:	FOUNDATION = 67 CY CUT SITE = 0 CY CUT
A.P.#:	010-801-002	LOT SIZE:	4,000 SQ. FT. (.082 AC.)
ZONING:	CC	BUILDING COVERAGE ALLOWED:	4,000 SF 80%
LOT/BLOCK:	LOT: 8 BLK: 74	BUILDING COVERAGE EXISTING:	(E) BUILDING = 1,894.0 SF (E) STAIRS & WALLS = 122.8 SF TOTAL = 2,016.8 SF
PROJECT CODE COMPLIANCE:	2013 CBC, CRC, GPC, CEC, CMC, CFC, CALIFORNIA ENERGY CODE, & GREEN BUILDING CODE	BUILDING COVERAGE PROPOSED:	(E) BUILDING = 1,894.0 SF + ADDITION = 221.0 SF (E) STAIRS & WALLS = 122.8 SF - REMOVAL = 118.8 SF + ADDITION = 181.0 SF TOTAL = 2,179.0 SF
OCCUPANCY GROUP:	M, R-3	FLOOR AREA ALLOWED:	4,000 SF 136% (2-STORY) 5,400 SF
CONSTRUCTION TYPE:	V		
TOPOGRAPHY:	SLOPING TO WEST		

FLOOR AREA EXISTING:	MAIN LEVEL COMMERCIAL SPACE 1 = 770.5 SF COMMERCIAL SPACE 2 = 579.5 SF BREEZEWAY = 241.0 SF UPPER LEVEL APARTMENT 1 = 730.0 SF APARTMENT 2 = 676.0 SF MEZZANINE = 142.0 SF BASEMENT GARDEN SHOP = 118.5 SF TOTAL = 3,353.5 SF
FLOOR AREA PROPOSED:	MAIN LEVEL COMMERCIAL SPACE 1 = 770.5 SF + ADDITION = 55.5 SF COMMERCIAL SPACE 2 = 579.5 SF BREEZEWAY = 241.0 SF + ADDITION = 90.5 SF ELEVATOR = 61.0 SF UPPER LEVEL APARTMENT 1 = 730.0 SF + ADDITION = 104.0 SF APARTMENT 2 = 676.0 SF MEZZANINE = 142.0 SF + ADDITION = 40.0 SF ELEVATOR = 61.0 SF BASEMENT ADA BATH = 80.0 SF LAUNDRY = 77.0 SF ELEVATOR = 61.0 SF TOTAL = 3,816.0 SF

DESCRIPTION

- RENOVATION OF AN EXISTING MIXED USED BUILDING WHICH INCLUDES:
- RENOVATION OF EXISTING COMMERCIAL SPACE 1 WITH 55 SF ADDITION.
 - RENOVATION OF EXISTING COMMERCIAL SPACE 2.
 - NEW ELEVATOR TO SERVE BOTH STORIES AND BASEMENT.
 - RENOVATION OF EXISTING APARTMENT 1 WITH A 104 SF ADDITION OVER EXISTING LOWER LEVEL.
 - RENOVATION OF EXISTING APARTMENT 2.
 - REMODEL EXISTING BASEMENT TO INCLUDE ADA BATH, LAUNDRY, MECHANICAL AND STORAGE AREAS.
 - IMPROVEMENTS TO BACK GARDEN AREA TO INCLUDE NEW STAIRS, GRAVEL PATHS, RAMP-POW-AND-POURRAIN.
 - REMOVAL OF (1) 48" STUMP.
 - 67 CY OF CUT FOR NEW FOUNDATIONS.
- MATERIALS
- ROOFING: EXISTING COMPOSITION SHINGLES
 - SIDING: PAINTED PLASTER TO MATCH EXISTING
 - WINDOWS: PAINTED WOOD & METAL TO MATCH EXISTING
 - RAILINGS: PAINTED WOOD & METAL TO MATCH EXISTING

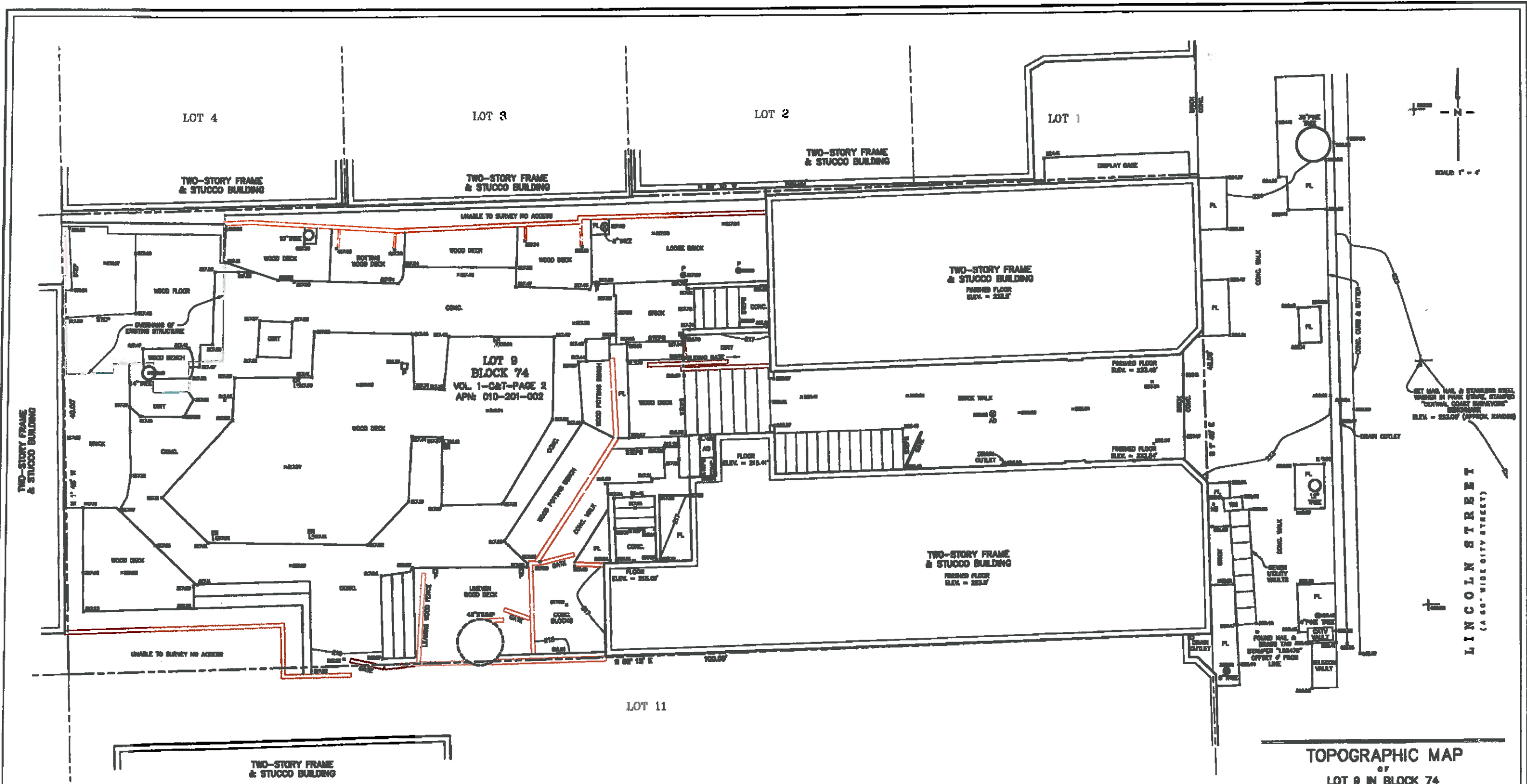
VICINITY MAP



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SEP 2 2014
City of Carmel-by-the-Sea
Planning & Building Dept.

Revisions:	
- 6/26/14 PLANNING UPDATES	

A0.0



NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
- ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" IN THE PARK STRIPE OF LINCOLN STREET. ELEVATION = 223.00 FEET (ASSUMED).
- CONTOUR INTERVAL = ONE FOOT.

LEGEND:

- AD AREA DRAIN
- ER ELECTRICAL RISER
- HS NOSEGRIP
- P PILLAR
- WM WATER METER
- DENOTES WOOD FENCE
- DENOTES METAL CANOPY
- DENOTES CONC. RETAINING WALL

TOPOGRAPHIC MAP
 OF
 LOT 9 IN BLOCK 74
 AS SHOWN ON THE MAP OF
 CARMEL-BY-THE-SEA
 VOL. 1 - CITIES & TOWNS - PG. 2
 OFFICIAL RECORDS OF MONTEREY COUNTY
 CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA

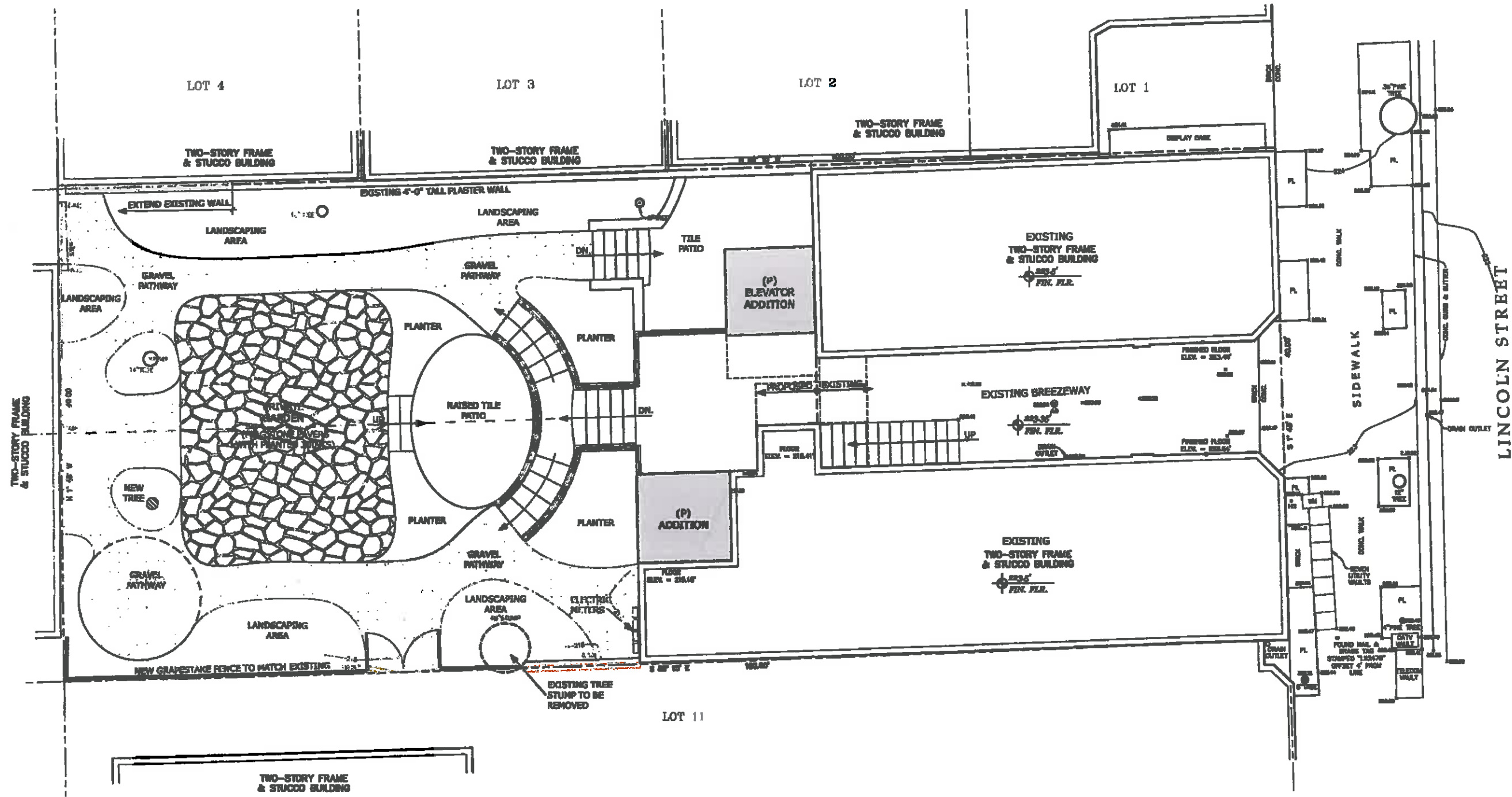
PREPARED FOR
Stocker & Allaire

BY
CENTRAL COAST SURVEYORS
 8 HARRIS COURT, SUITE 2-11 MONTEREY, CALIFORNIA 93940
 Phone (831) 384-8830
 Fax (831) 384-8831

SCALE: 1" = 4' JOB No. 13-87 DECEMBER 2013

APN 010-201-002





NOTES:

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- ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). PROJECT BENCHMARK IS A BRASS NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" IN THE PARK STRIPE OF LINCOLN STREET. ELEVATION = 223.00 FEET (ASSUMED)
- CONTOUR INTERVAL = ONE FOOT.

LEGEND:

- AD AREA DRAIN
- ER ELECTRICAL RISER
- HB HOSEBOX
- P PILLAR
- WM WATER METER
- DENOTES WOOD FENCE
- ==== DENOTES METAL CANOPY
- ===== DENOTES CONC. RETAINING WALL

SITE LEGEND

- FOOTPRINT OF EXISTING STRUCTURE
- AREA OF PROPOSED ADDITION
- AREA OF PROPOSED REMOVAL

SITE PLAN

scale: 1/4"=1'-0"



Stocker & Allaire
 General Contractors, Inc.
 Lic. # 804787
 51 MacArthur Court, Monterey, CA 93940
 PH: 831.576.4370 Fax: 831.576.1400

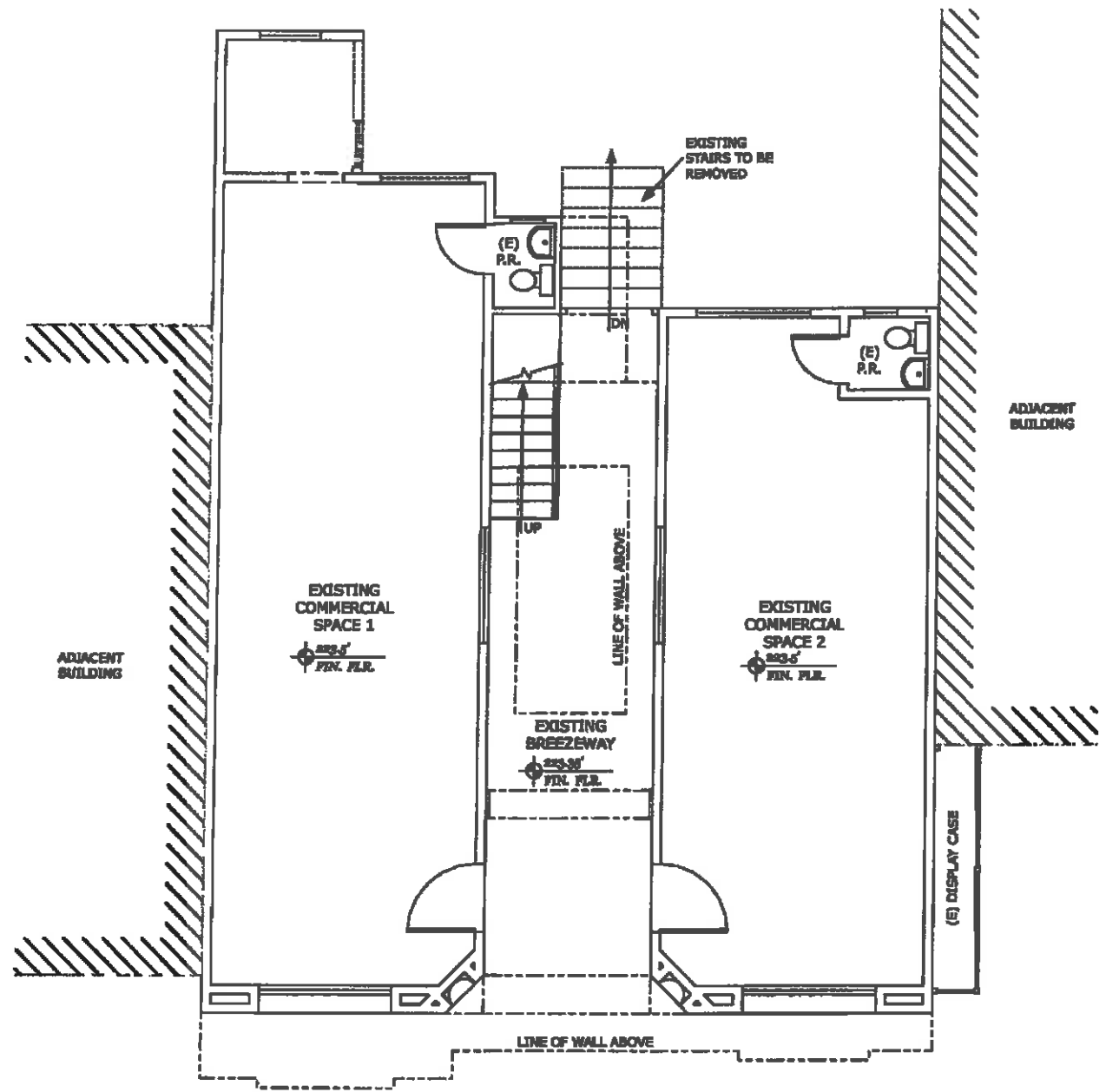
2 SW OF OCEAN ON LINCOLN
 CARMEL, CA. 93923
 APN: 010-201-002
 JUNE 26, 2014

THE LA RAMBLA BUILDING
SITE PLAN

REVISIONS:

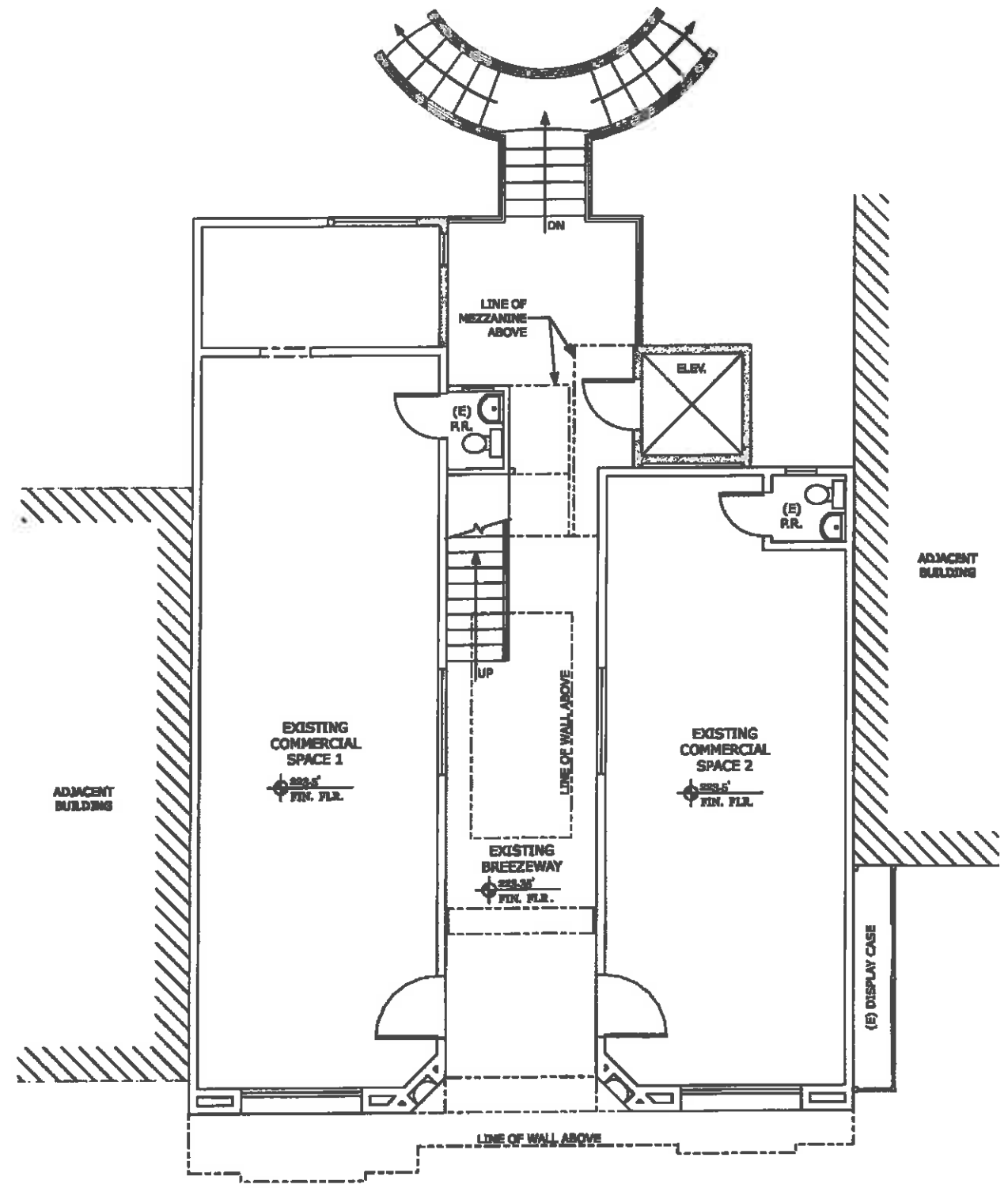
8/28/14	PLUMBING UPDATES

A1.0



MAIN LEVEL EXISTING/DEMO FLOOR PLAN

scale: 1/4"=1'-0"



PROPOSED MAIN LEVEL FLOOR PLAN

scale: 1/4"=1'-0"



WALL LEGEND

- EXISTING WALLS TO REMAIN
- PROPOSED WALLS TO BE REMOVED
- EXISTING RETAINING WALL
- PROPOSED WALLS TO BE ADDED

Stocker & Allaire
 General Contractors, Inc.
 Lic. # 80477
 87 Mendocino Court, Menlo Park, CA 94025
 PH: 650.326.1600 Fax: 650.326.1600

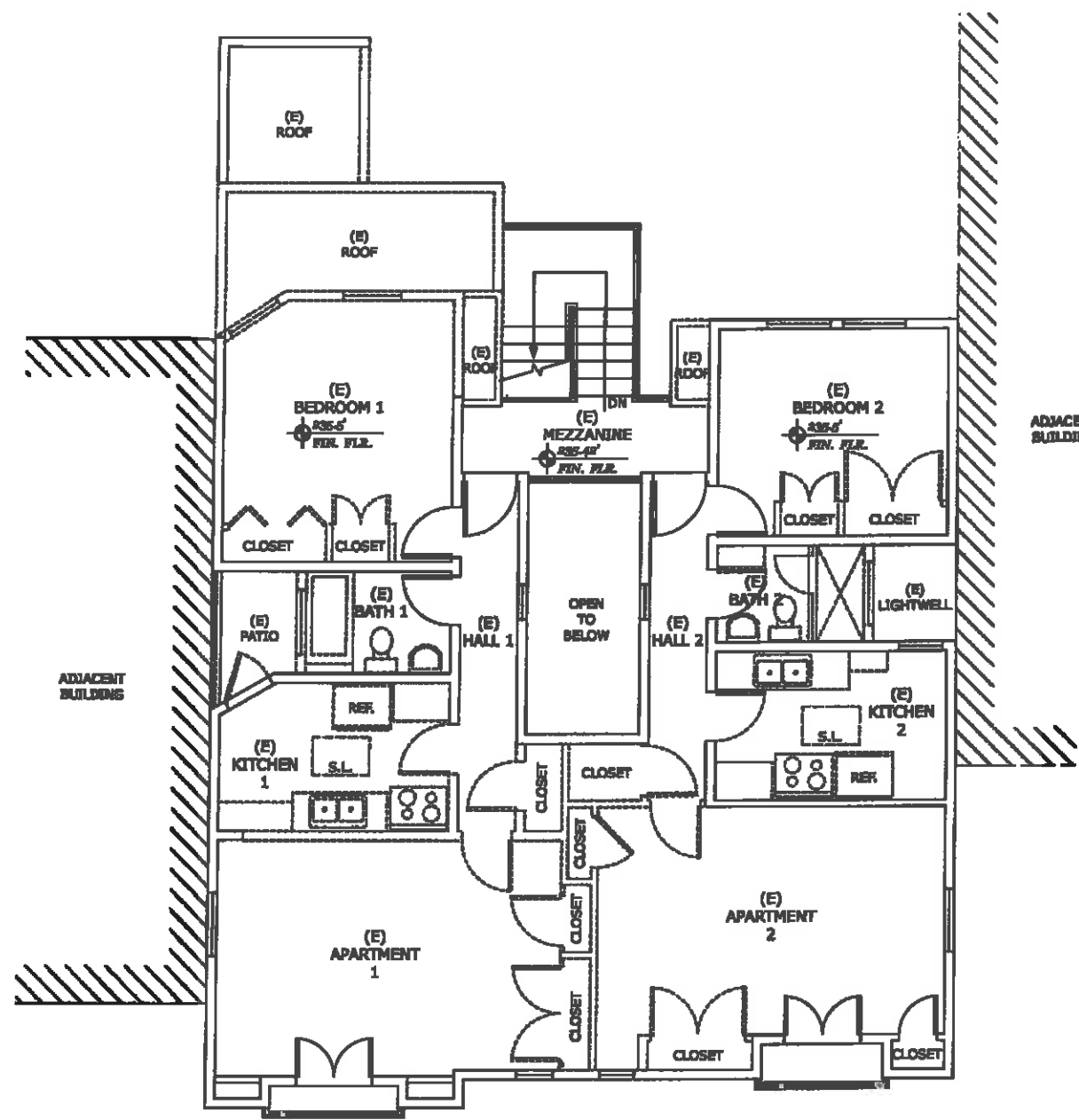
2 SW OF OCEAN ON LINCOLN
 CARMEL, CA. 93923
 JUN 26, 2014
 APN: 010-301-002

THE LA RAMBLA BUILDING
MAIN LEVEL PLANS

Revisions:

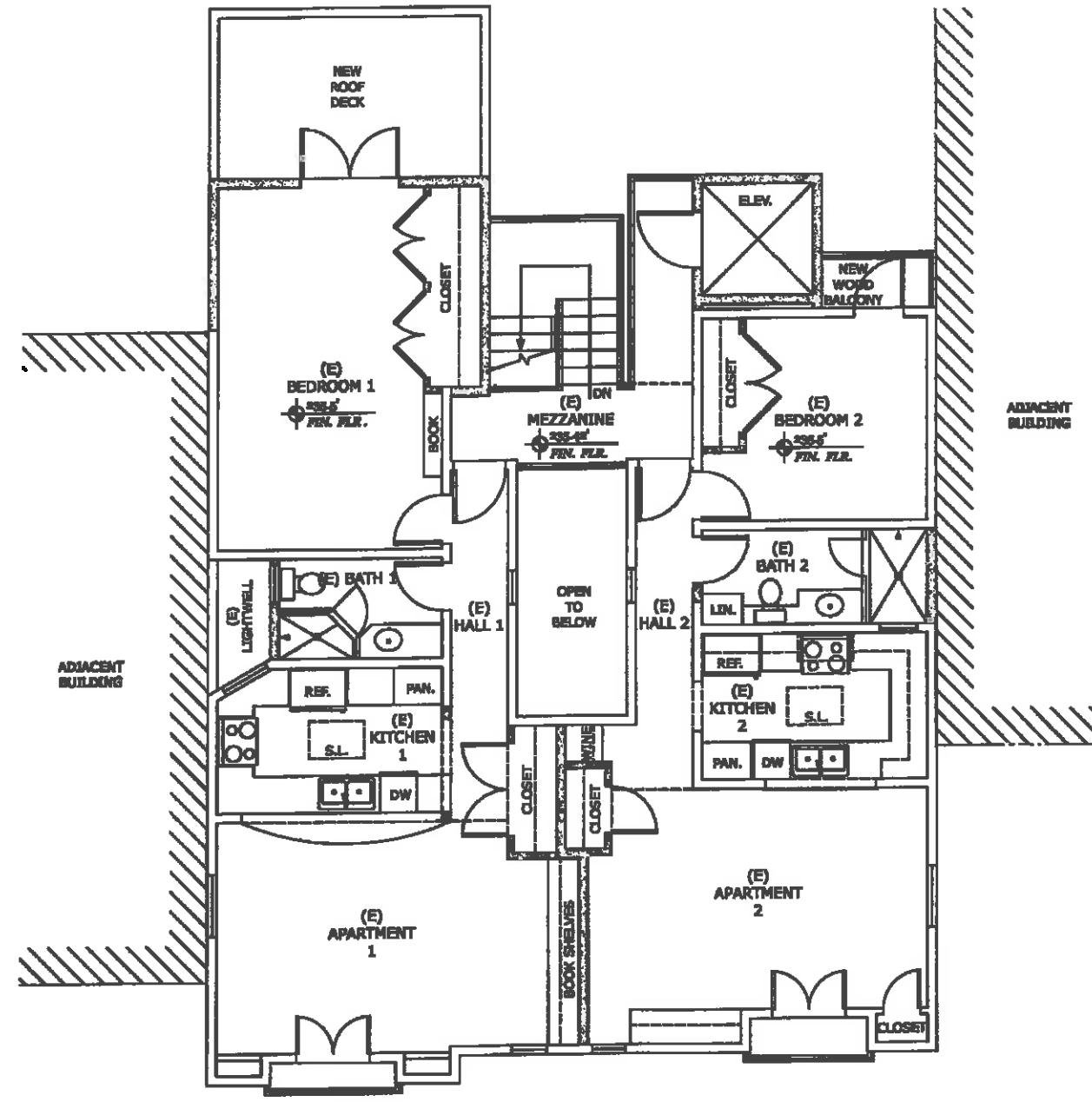
8/28/14	PLANNING UPDATES

A2.0



UPPER LEVEL EXISTING/DEMO FLOOR PLAN

scale: 1/4"=1'-0"



PROPOSED UPPER LEVEL FLOOR PLAN

scale: 1/4"=1'-0"



WALL LEGEND

- EXISTING WALLS TO REMAIN
- PROPOSED WALLS TO BE REMOVED
- EXISTING RETAINING WALL
- PROPOSED WALLS TO BE ADDED

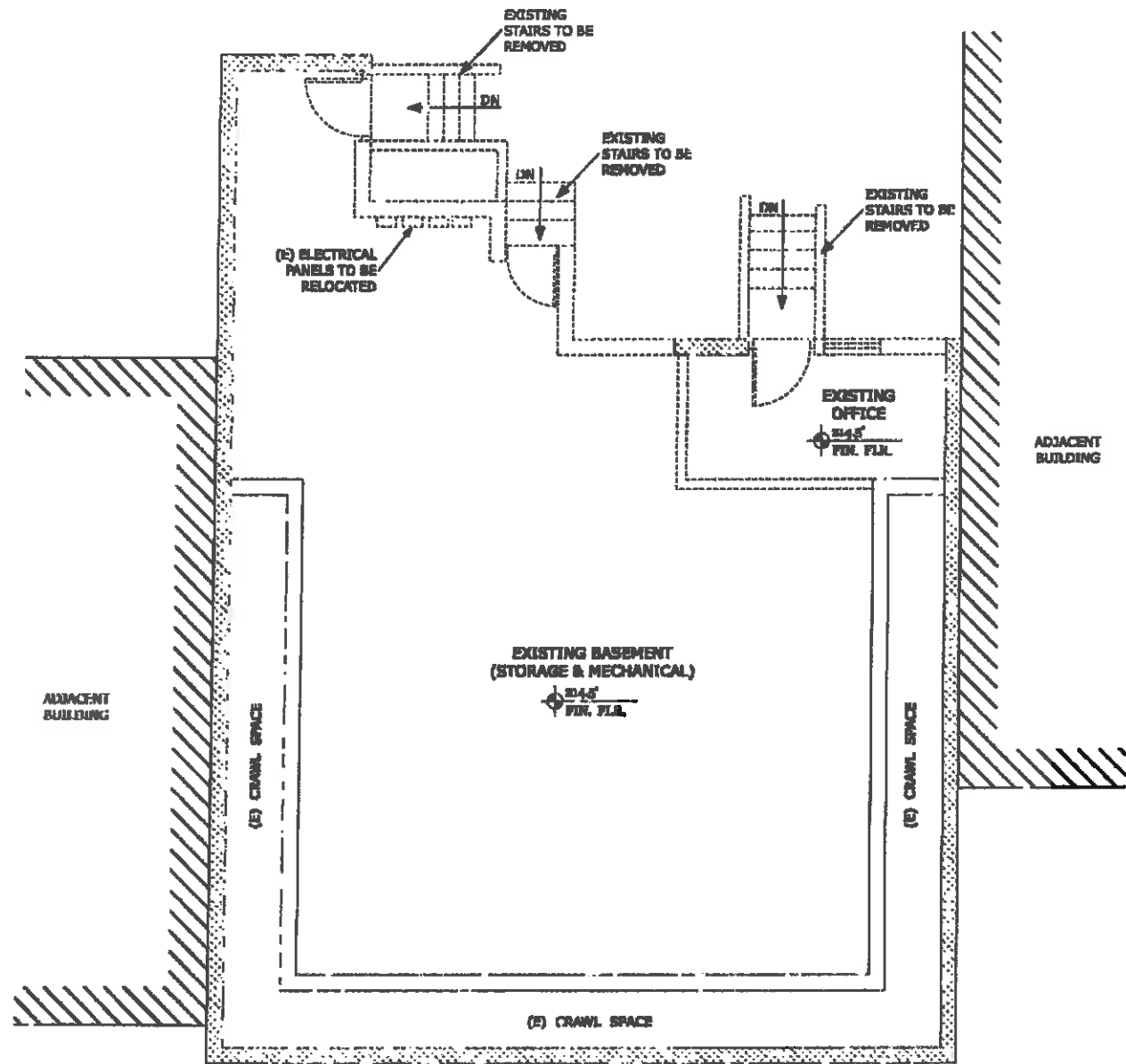
Stocker & Allaire
 General Contractors, Inc.
 Lic. # 82477
 81 Mendocino Court, Menlo Park, CA 94025
 Ph: 650.325.1330 Fax: 650.325.1400

2 SW OF OCEAN ON LINCOLN
 CARMEL, CA. 93923
 JUN 26, 2014
 APN: 010-201-002

THE LA RAMBLA BUILDING
UPPER LEVEL PLANS

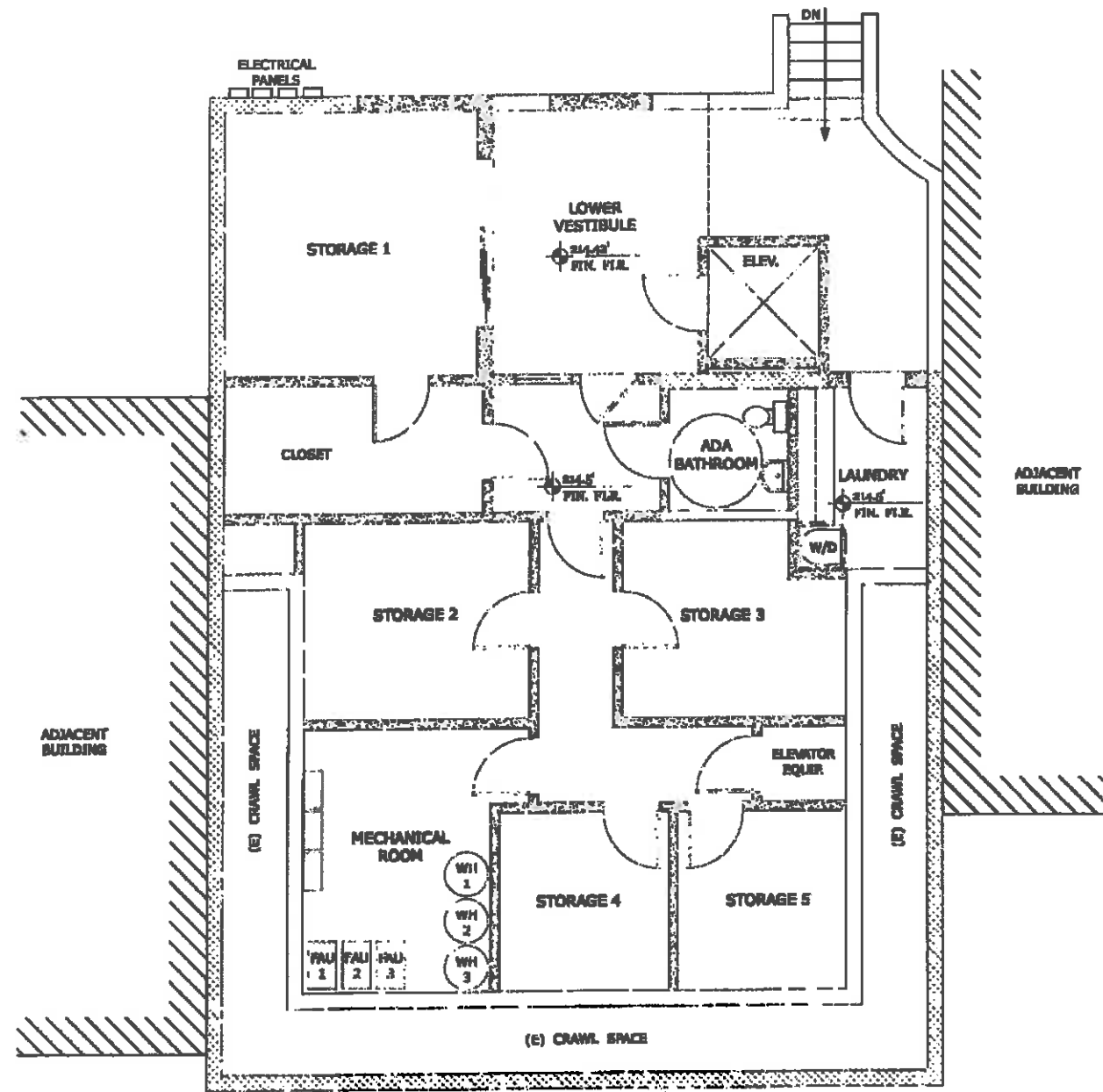
Revisions:
 - 8/28/14 PLANNING UPDATES

A3.0



LOWER LEVEL EXISTING/DEMO FLOOR PLAN

scale: 1/4"=1'-0"



PROPOSED LOWER LEVEL FLOOR PLAN

scale: 1/4"=1'-0"



WALL LEGEND

- EXISTING WALLS TO REMAIN
- PROPOSED WALLS TO BE REMOVED
- EXISTING RETAINING WALL
- PROPOSED WALLS TO BE ADDED

Stocker & Allaire
General Contractors, Inc. Lic. # 804787
31 Marshall Court, Menlo Park, CA 94025
PH 650.325.1000 Fax 650.325.1400

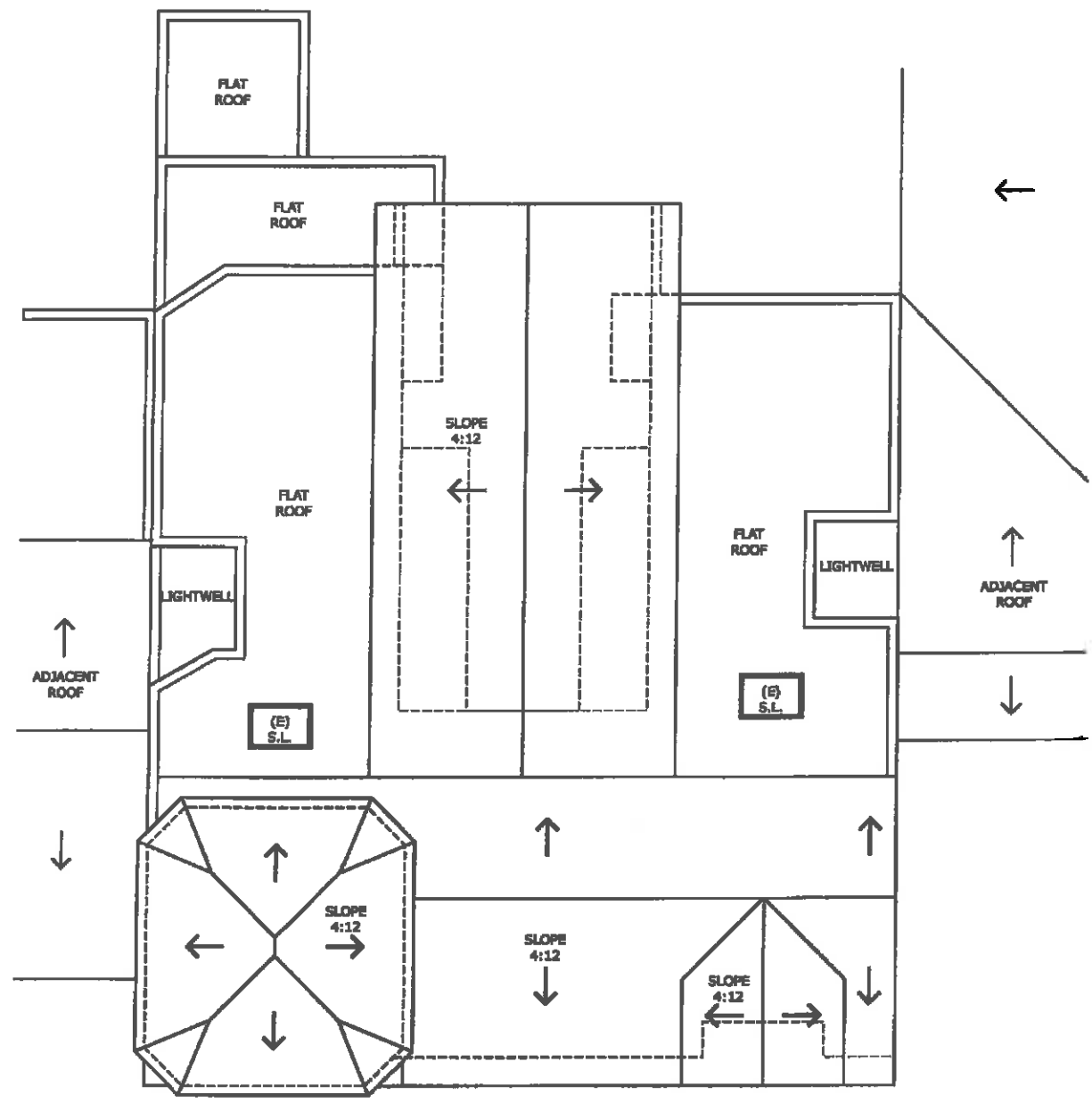
2 SW OF OCEAN ON LINCOLN
CARMEL, CA. 93923

JUNE 26, 2014 APN: 010-801-002

THE LA RAMBLA BUILDING
LOWER LEVEL & PLANS

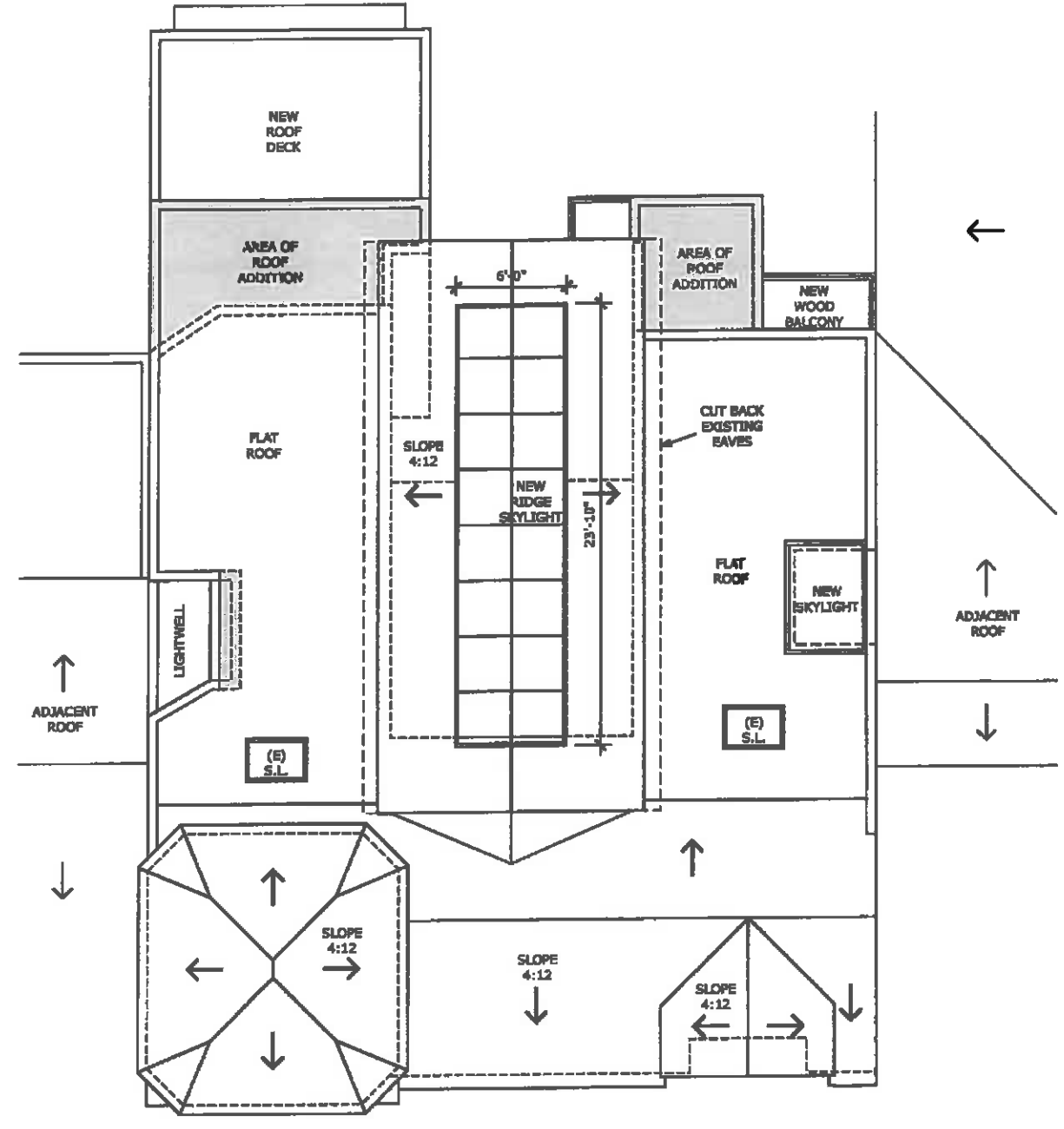
Revisions:
- 8/28/14 PLUMBING UPDATES

A4.0



EXISTING ROOF PLAN

scale: 1/4"=1'-0"



PROPOSED ROOF PLAN

scale: 1/4"=1'-0"



ROOF LEGEND

AREA OF ROOF TO BE ADDED OR MODIFIED

Stocker & Allaire
 General Contractors, Inc.
 Lic. # 80477
 21 Mendocino Court - Monterey, CA 93940
 PH: 831.276.1800 Fax: 831.276.1400

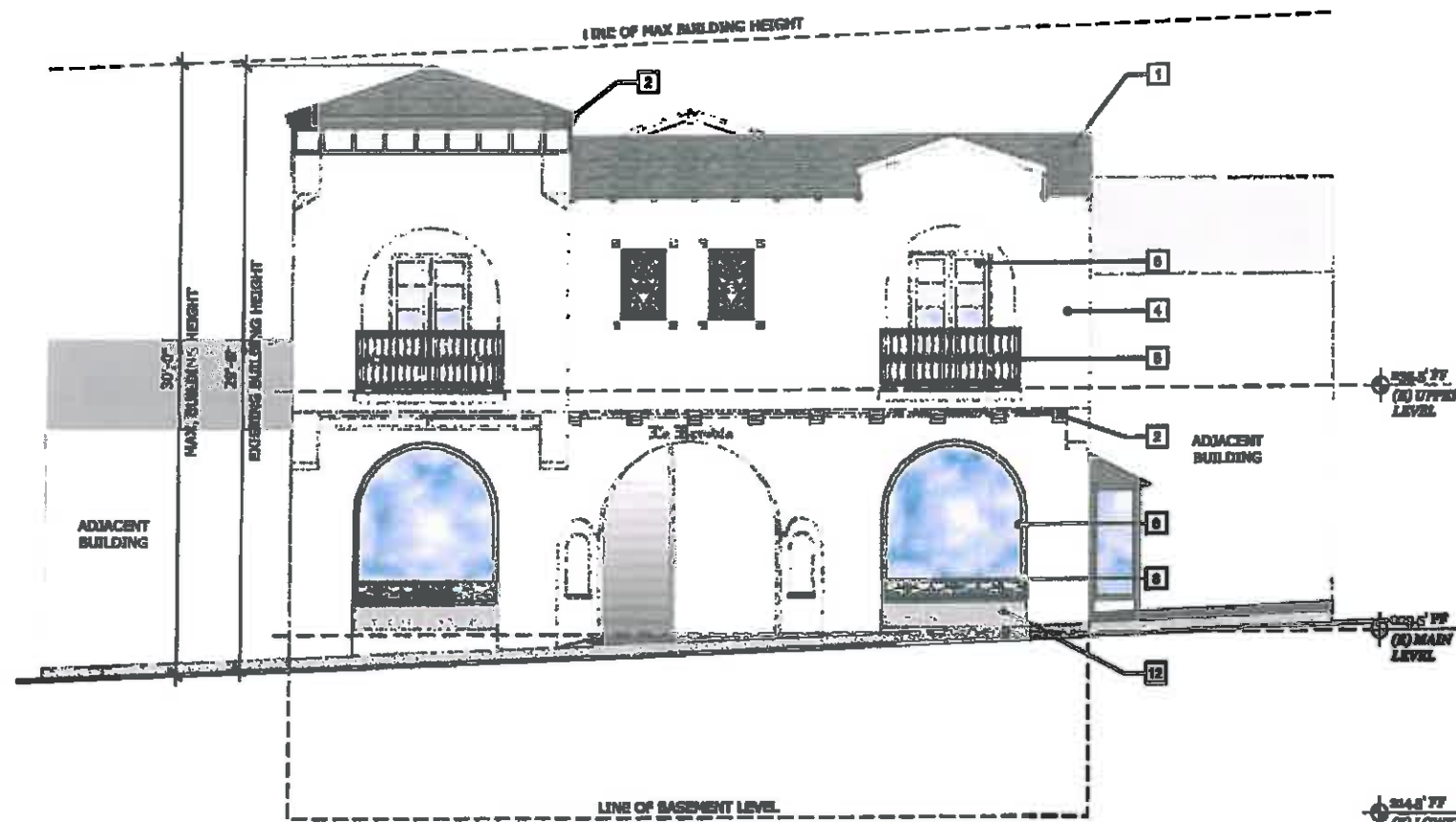
2 SW OF OCEAN ON LINCOLN
 CARMEL, CA. 93923
 JUNE 26, 2014
 APN: 010-201-002

THE LA RAMBLA BUILDING
PROPOSED
UPPER LEVEL & ROOF PLAN

Revisions:

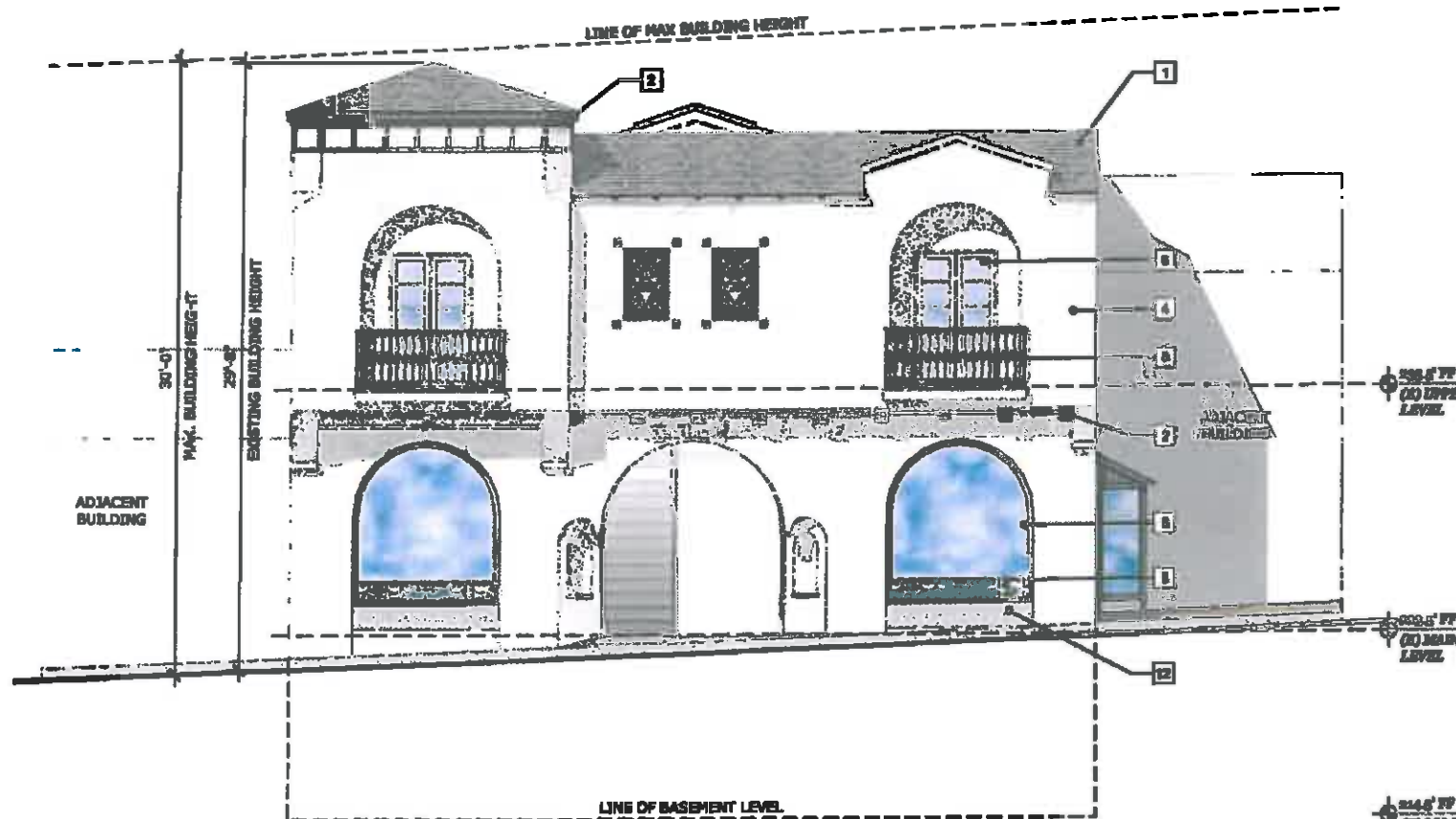
5/28/14	PLUMBING UPDATES

A5.0



EXISTING EAST (FRONT) ELEVATION

scale: 1/4"=1'-0"



PROPOSED EAST (FRONT) ELEVATION

scale: 1/4"=1'-0"

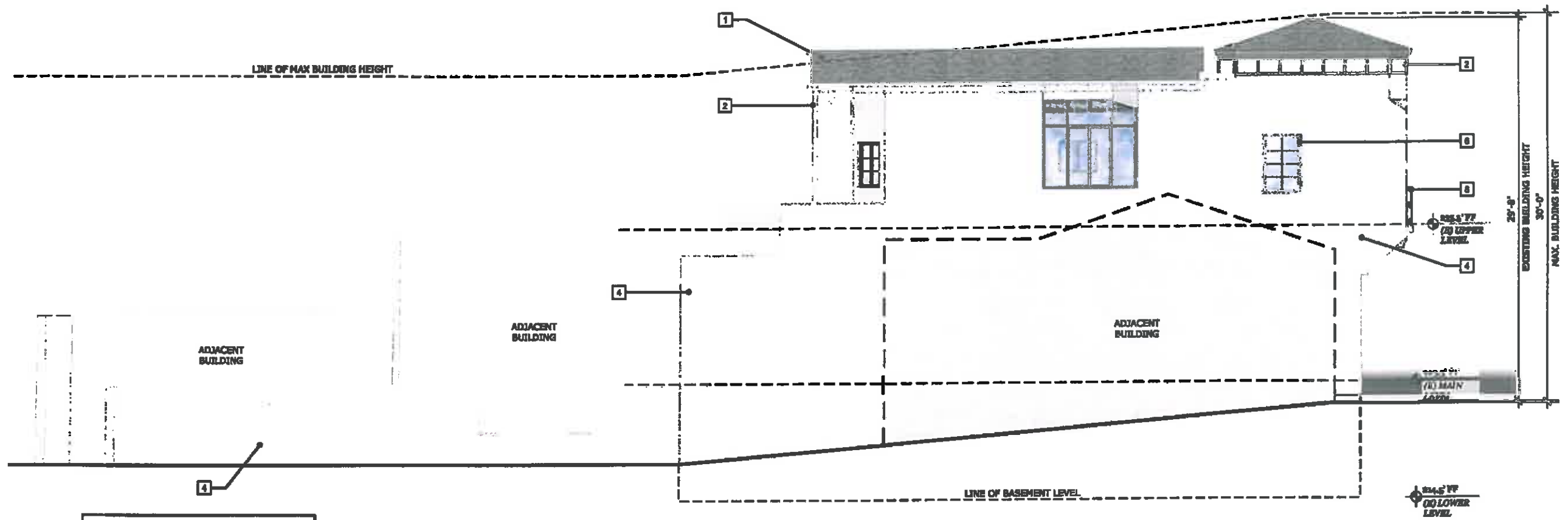
MATERIAL LEGEND

- 1 EXISTING COMPOSITION SHINGLE ROOFING
- 2 EXISTING PAINTED WOOD FASCIA, TRIM, & CORBELS.
- 3 NEW PAINTED WOOD FASCIA, TRIM, & CORBELS TO MATCH EXISTING.
- 4 EXISTING PAINTED EXTERIOR PLASTER.
- 5 NEW PAINTED EXTERIOR PLASTER TO MATCH EXISTING.
- 6 EXISTING PAINTED WOOD DOORS & WINDOWS.
- 7 NEW PAINTED WOOD DOORS & WINDOWS TO MATCH EXISTING.
- 8 EXISTING PAINTED IRON RAILINGS.
- 9 NEW PAINTED IRON RAILINGS.
- 10 EXISTING PAINTED WOOD RAILINGS.
- 11 NEW PAINTED WOOD RAILINGS TO MATCH EXISTING.
- 12 EXISTING DECORATIVE TILE
- 13 NEW PAINTED METAL SKYLIGHT

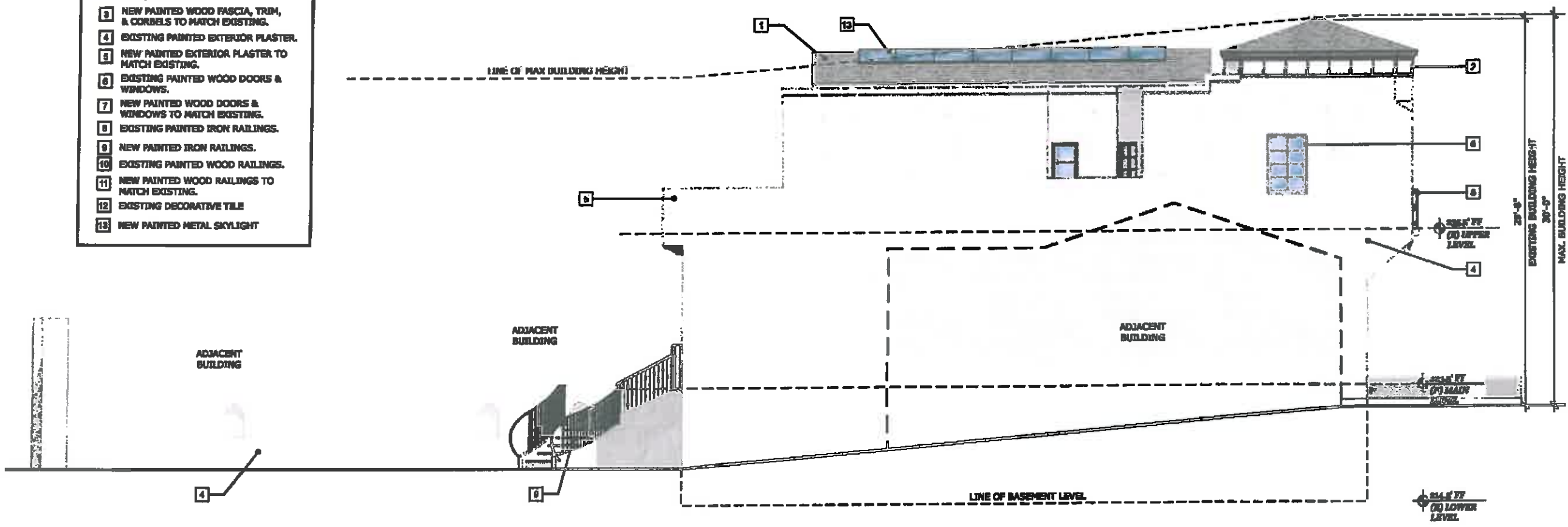
NOTE:
ALL ADJACENT BUILDINGS SHOWN ARE APPROXIMATE AND FOR REFERENCE ONLY.



Revisions:
- 9/29/14 PLUMBING UPDATES



- MATERIAL LEGEND**
- 1 EXISTING COMPOSITION SHINGLE ROOFING
 - 2 EXISTING PAINTED WOOD FASCIA, TRIM, & CORBELS.
 - 3 NEW PAINTED WOOD FASCIA, TRIM, & CORBELS TO MATCH EXISTING.
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 - 11 NEW PAINTED WOOD RAILINGS TO MATCH EXISTING.
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 - 13 NEW PAINTED METAL SKYLIGHT



NOTE:
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General Contractors, Inc.
Lic. # 804797

THE LA RAMBLA BUILDING
ELEVATIONS

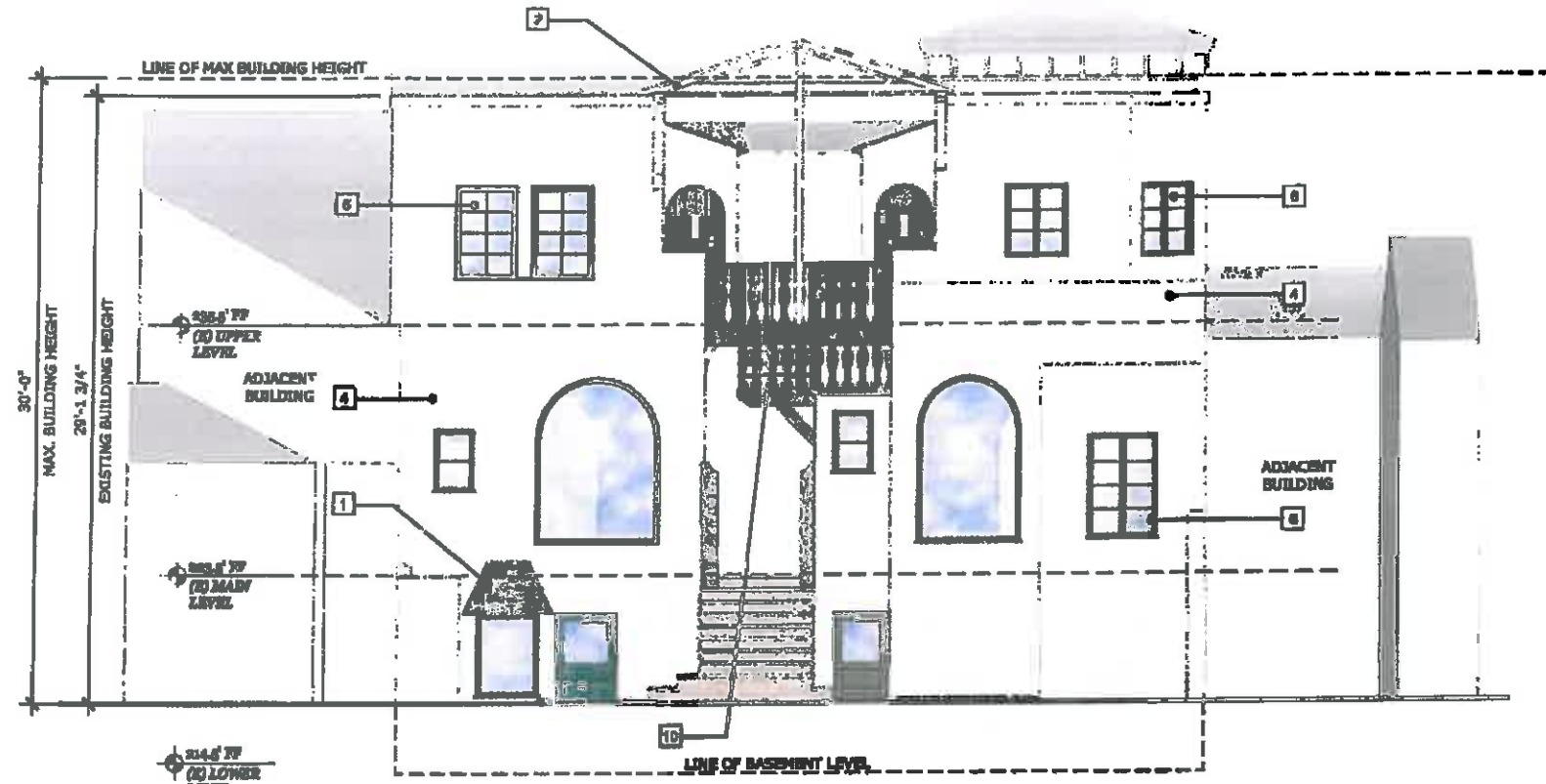
2 SW OF OCEAN ON LINCOLN
CARMEL, CA. 93923

JUNE 26, 2014 APN: 010-801-002

21 Marquette Court Monterey, CA 93940 PH 831.926.1330 FAX 831.926.1180

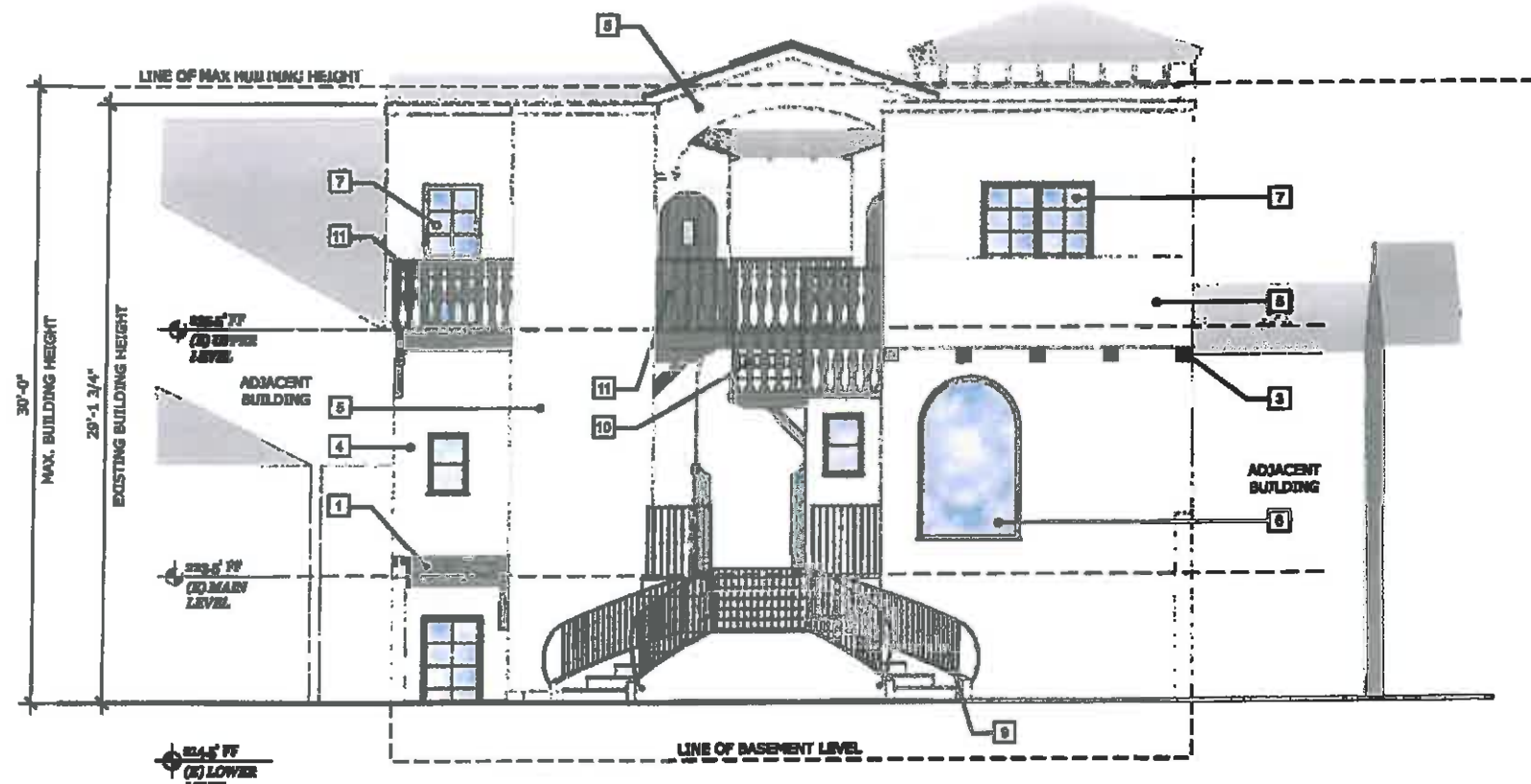
Revisions:
- 8/28/14 PLUMBING UPDATES

A6.1



EXISTING WEST (REAR) ELEVATION

scale: 1/4"=1'-0"



PROPOSED WEST (REAR) ELEVATION

scale: 1/4"=1'-0"

MATERIAL LEGEND

- 1 EXISTING COMPOSITION SHINGLE ROOFING
- 2 EXISTING PAINTED WOOD FASCIA, TRIM, & CORBELS.
- 3 NEW PAINTED WOOD FASCIA, TRIM, & CORBELS TO MATCH EXISTING.
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- 10 EXISTING PAINTED WOOD RAILINGS.
- 11 NEW PAINTED WOOD RAILINGS TO MATCH EXISTING.
- 12 EXISTING DECORATIVE TILE
- 13 NEW PAINTED METAL SKYLIGHT

NOTE:
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Stocker & Allaire
General Contractors, Inc.
Lic. # 804977

21 Marchello Court, Menlo Park, CA 94025
Ph: 650.275.1000 Fax: 650.275.1420

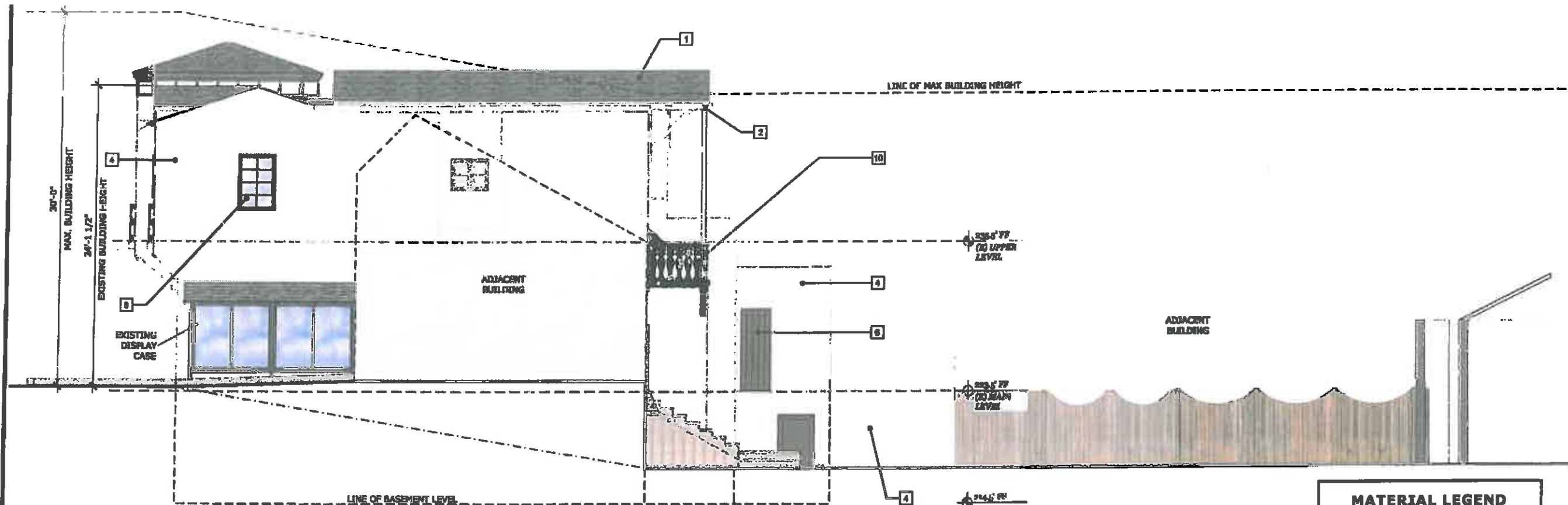
2 SW OF OCEAN ON LINCOLN
CARMEL, CA. 93923

JUNE 26, 2014 APN: 010-201-002

THE LA RAMBLA BUILDING
ELEVATIONS

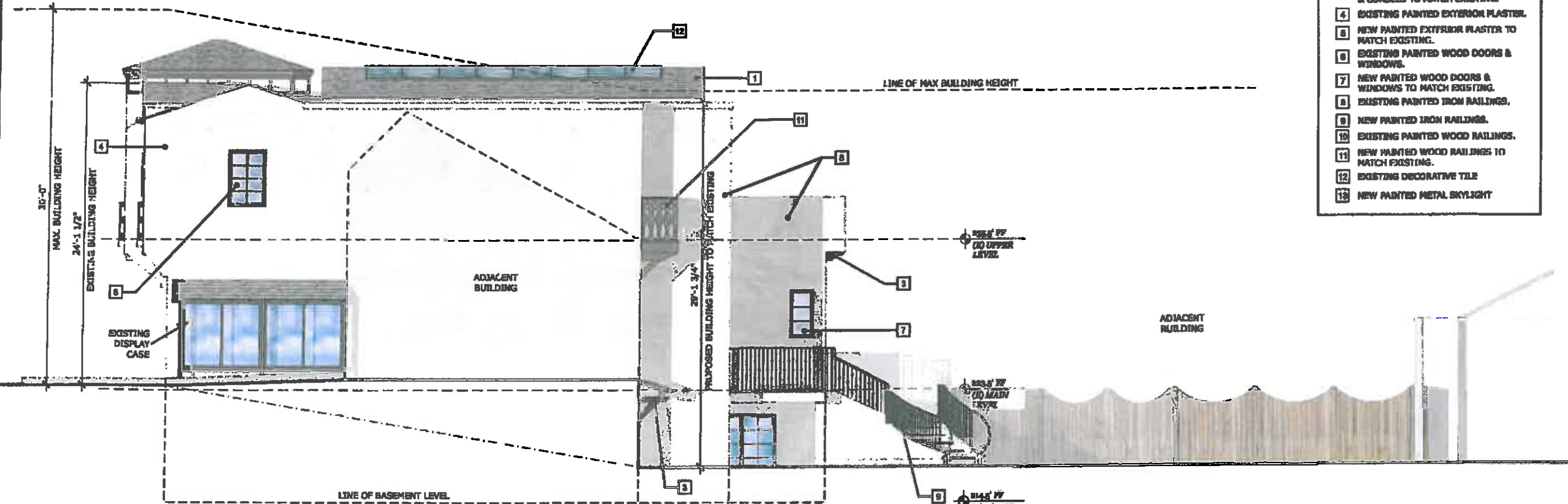
Revisions:
- 8/28/14 PLUMBING UPDATES

A6.2



EXISTING NORTH (SIDE) ELEVATION

scale: 1/4"=1'-0"



PROPOSED NORTH (SIDE) ELEVATION

scale: 1/4"=1'-0"

MATERIAL LEGEND

- 1 EXISTING COMPOSITION SHINGLE ROOFING
- 2 EXISTING PAINTED WOOD FASCIA, TRIM, & CORBELS.
- 3 NEW PAINTED WOOD FASCIA, TRIM, & CORBELS TO MATCH EXISTING.
- 4 EXISTING PAINTED EXTERIOR PLASTER.
- 5 NEW PAINTED EXTERIOR PLASTER TO MATCH EXISTING.
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- 10 EXISTING PAINTED WOOD RAILINGS.
- 11 NEW PAINTED WOOD RAILINGS TO MATCH EXISTING.
- 12 EXISTING DECORATIVE TILE
- 13 NEW PAINTED METAL SKYLIGHT

NOTE:
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Stocker & Allaire
General Contractors, Inc.
Lic. # 804797
21 Mendocino Court - Ukiah, CA 99903
PH: 805.255.1888 Fax: 805.275.1400

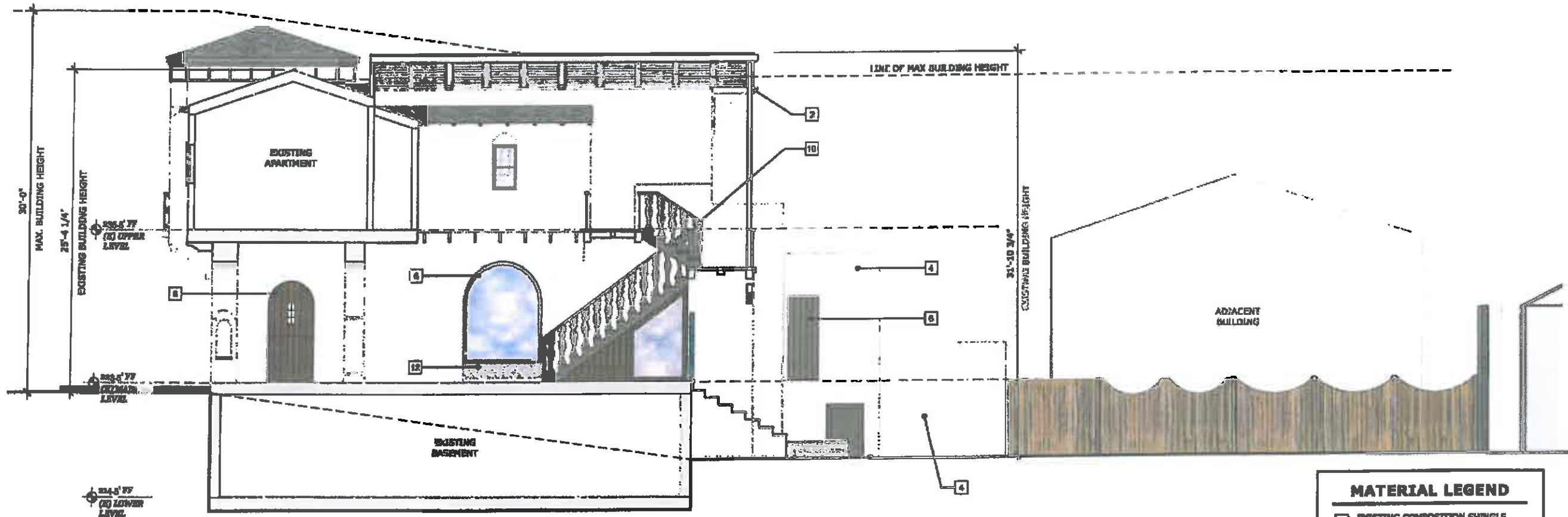
2 SW OF OCEAN ON LINCOLN
CARMEL, CA. 93923
APN: 010-201-002
JUNE 26, 2014

THE LA RAMBLA BUILDING
ELEVATIONS

REVISIONS:

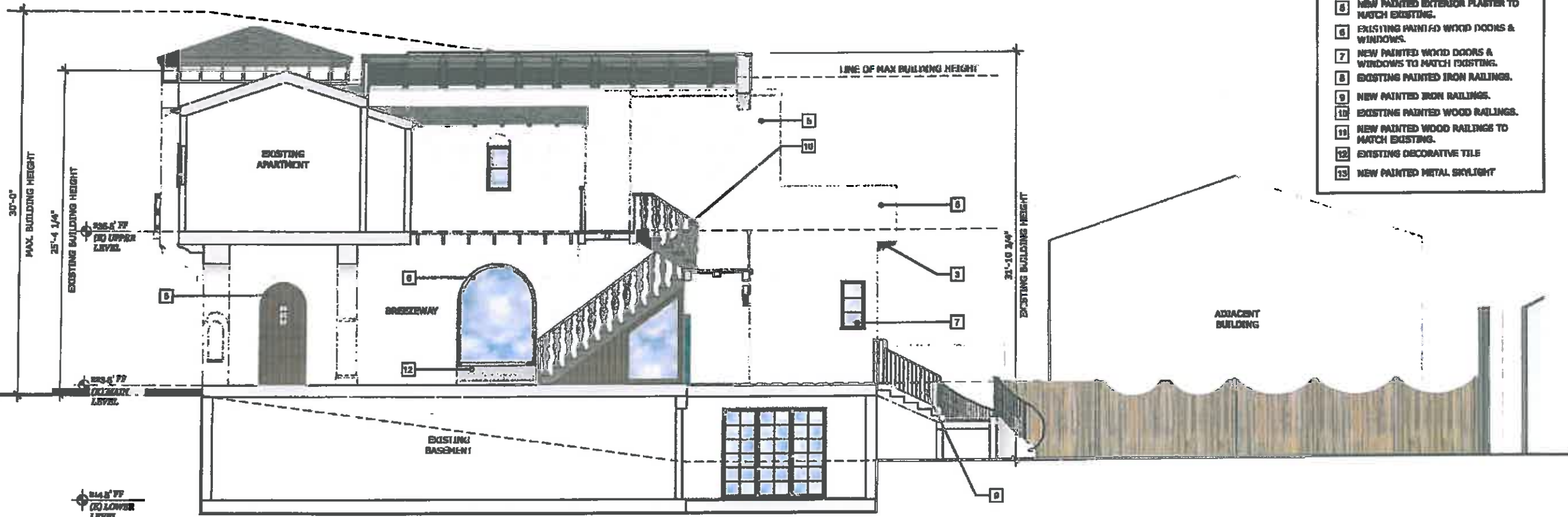
1	8/28/14 PLANNING UPDATES

A6.3



EXISTING NORTH (BREEZEWAY) ELEVATION

scale: 1/4"=1'-0"



PROPOSED NORTH (BREEZEWAY) ELEVATION

scale: 1/4"=1'-0"

MATERIAL LEGEND	
1	EXISTING COMPOSITION SHINGLE ROOFING
2	EXISTING PAINTED WOOD FASCIA, TRIM, & CORBELS.
3	NEW PAINTED WOOD FASCIA, TRIM, & CORBELS TO MATCH EXISTING.
4	EXISTING PAINTED EXTERIOR PLASTER.
5	NEW PAINTED EXTERIOR PLASTER TO MATCH EXISTING.
6	EXISTING PAINTED WOOD DOORS & WINDOWS.
7	NEW PAINTED WOOD DOORS & WINDOWS TO MATCH EXISTING.
8	EXISTING PAINTED IRON RAILINGS.
9	NEW PAINTED IRON RAILINGS.
10	EXISTING PAINTED WOOD RAILINGS.
11	NEW PAINTED WOOD RAILINGS TO MATCH EXISTING.
12	EXISTING DECORATIVE TILE
13	NEW PAINTED METAL SKYLIGHT

NOTE:
ALL ADJACENT BUILDINGS SHOWN ARE APPROXIMATE AND FOR REFERENCE ONLY.



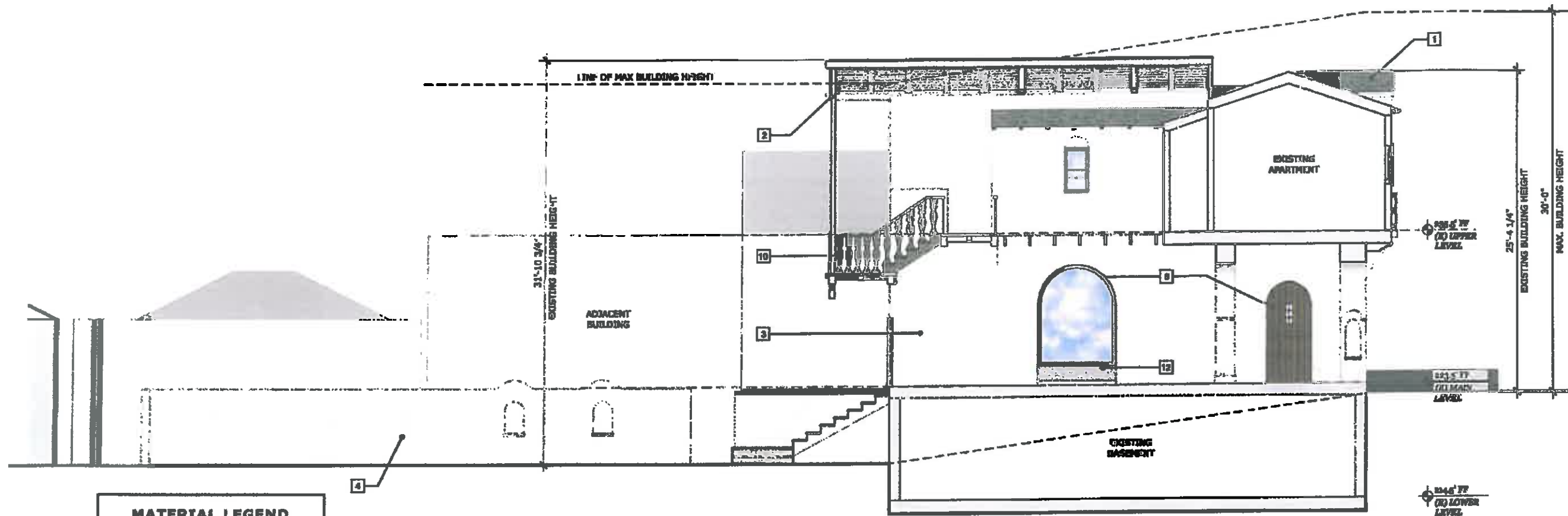
Stocker & Allaire
General Contractors, Inc.
Lic. # 204787
21 Marshall Court - Menlo Park, CA 94025
PH: 657.276.1880 Fax: 657.276.1480

2 SW OF OCEAN ON LINCOLN
CARMEL, CA. 93923
APN: 010-201-002
JUNE 26, 2014

**THE LA RAMBLA BUILDING
ELEVATIONS**

Revisions:
• 8/28/14 PLUMBING UPDATES

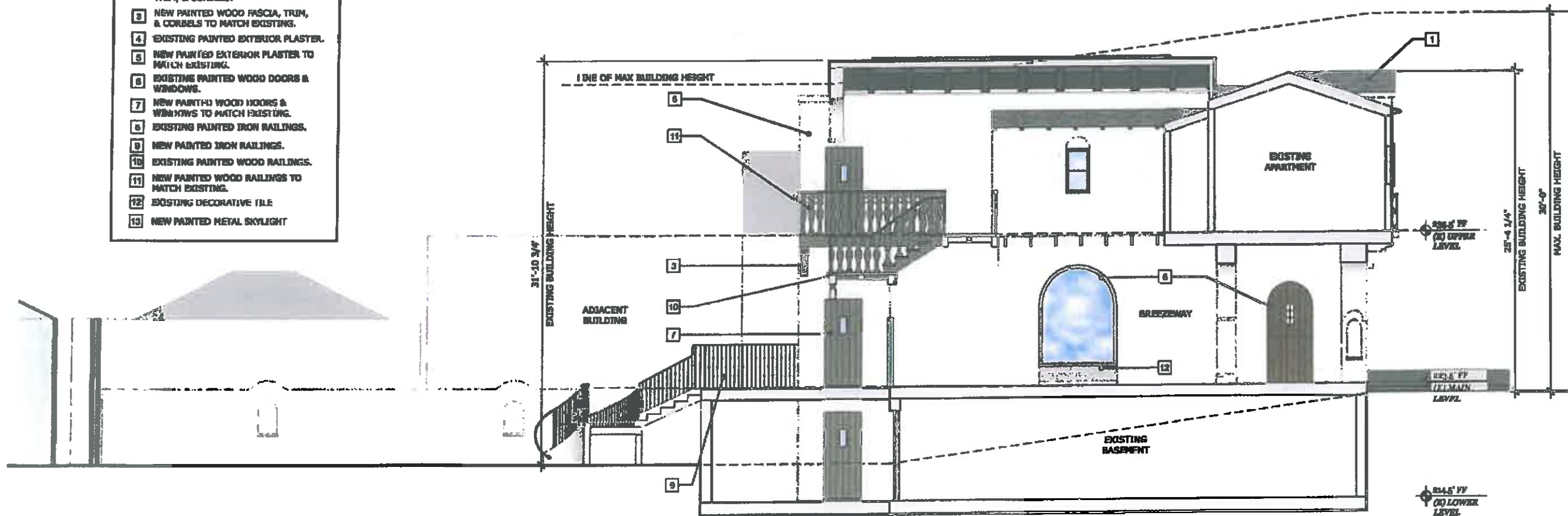
A6.4



EXISTING SOUTH (BREEZEWAY) ELEVATION

scale: 1/4"=1'-0"

MATERIAL LEGEND	
1	EXISTING COMPOSITION SHINGLE ROOFING
2	EXISTING PAINTED WOOD FASCIA, TRIM, & CORBELS.
3	NEW PAINTED WOOD FASCIA, TRIM, & CORBELS TO MATCH EXISTING.
4	EXISTING PAINTED EXTERIOR PLASTER.
5	NEW PAINTED EXTERIOR PLASTER TO MATCH EXISTING.
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7	NEW PAINTED WOOD DOORS & WINDOWS TO MATCH EXISTING.
8	EXISTING PAINTED IRON RAILINGS.
9	NEW PAINTED IRON RAILINGS.
10	EXISTING PAINTED WOOD RAILINGS.
11	NEW PAINTED WOOD RAILINGS TO MATCH EXISTING.
12	EXISTING DECORATIVE TILE
13	NEW PAINTED METAL SKYLIGHT



PROPOSED SOUTH (BREEZEWAY) ELEVATION

scale: 1/4"=1'-0"

NOTE:
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Stocker & Allaire
General Contractors, Inc.
Lic. # 80477

87 Mendocino Court Monterey, CA 93940
Ph: 831.475.1880 Fax: 831.475.1480

2 SW OF OCEAN ON LINCOLN
CARMEL, CA. 93923

JUNE 26, 2014 APN: 010-801-002

THE LA RAMBLA BUILDING
ELEVATIONS

Revisions:
- 8/28/14 PLANNING UPDATES

A6.5

The proposed residence has a contemporary-cottage architectural style. The design includes a 12:12 roof pitch with no roof eaves. With regard to finish materials, the residence includes a combination of plaster and vertical wood siding. The applicant is also proposing a zinc-metal roof, as well as unclad wood windows and doors throughout the residence.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass, and scale related to the project. However, the Commission may provide input on other aspects of the design such as the finish material, including the zinc-metal roof.

PROJECT DATA FOR THE RECONFIGURED 4,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	Not provided	1,927 sf (48%)* 1,707 sf – residence 220 sf - garage
Site Coverage	556 sf (13.9%)**	Not provided	524 sf (13.1%)
Trees (upper/lower)	3/1 trees (recommended)	0/4 trees	0/3 trees
Ridge Height (1 st /2 nd)	18 ft./24 ft.	Not provided	17 ft./24 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	Not provided	16 ft.***/18 ft.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	17 ft.	15 ft. residence
Composite Side Yard	10 ft. (25%)	18 ft.	10 ft.
Minimum Side Yard	3 ft.	3.5 ft.	3 ft.
Rear	3 ft. (1st-story) 15 ft. (2nd-story)	3.5 ft.	12 ft. (1st-story) 31 ft. (2 nd -story)
* Includes 156 square feet of bonus basement floor area			
**Includes a 4% bonus if 50% of all coverage is permeable or semi-permeable			
***Discussion on plate height in Mass and Bulk Section			

Staff analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site.”

The site contains four lower-canopy trees, three of which are classified as significant. The applicant is proposing to remove one non-significant oak tree near the front of the property. A condition has been drafted requiring the applicant to obtain a Tree Removal Permit prior to Final Planning Commission review.

The City Forester recommends that the applicant plant one new upper-canopy in the front yard or in the City right-of-way at the front of the property. A condition has been drafted regarding this recommendation.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 set forth objectives to: *“maintain privacy of indoor and outdoor spaces in a neighborhood”* and *“organize functions on a site to preserve reasonable privacy for adjacent properties”* and *“maintain view opportunities.”*

Staff has not identified any view impacts that would be created by the proposed new residence. With regard to privacy, the windows on the north elevation of the proposed residence have been dimensioned and located to avoid impacting the privacy of the adjacent residence to the north. There is also existing vegetation along the north side of the project site that provides additional privacy between the two properties.

The applicant is proposing a first-level deck on the south side of the residence that includes a planter to provide a landscape privacy hedge. The adjacent residence to the south is in close proximity to the side-yard property line, but only has one first-level window that faces the project site as shown in the photograph included in Attachment A. In addition, staff notes that no second-story decks or balconies are proposed that could impact neighboring privacy. In staff's opinion, the proposed new residence will not create any significant privacy impacts to neighboring properties.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.6 encourage a building's mass to relate *“to the context of other homes nearby”* and *“presenting a one-story height to the street is encouraged.”*

The proposed new residence is at the maximum height of 24 feet for a two-story building. However, the proposed residence appears significantly smaller than the neighboring residences to the north and south of the project site as depicted in the street elevation on Sheet A-2.4 of the plan set. The proposed residence also includes slender building forms with no roof eaves, which minimizes the appearance of mass and is consistent with the contemporary-cottage architectural style. In addition, the applicant has included volume calculations indicating that the residence is below the City's maximum allowed volume.

While staff supports the size of the residence, there are issues with the wall height on the south elevation of the front building element. The south wall is flush with the driveway retaining wall, which creates 16-foot high plate height. It should be noted that the allowed plate height for a one-story building element is 12 feet. Furthermore, the proposed chimney would extend to the bottom of the retaining wall and have a height of approximately 26.5 feet. A rendering of the south elevation is depicted on Sheet A-6.1 of the plan set, which displays the issue. A condition has been drafted requiring the applicant to work with staff on the issue prior to final review. One option is to shift the front building element a minimum of 1-2 ft north, which would break the wall plane and reduce the height of the chimney, as it would no longer be necessary to extend it to the bottom of the retaining wall.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 state that *"Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roof with low plate lines can be used on two-story buildings."* The Guidelines emphasize using *"restraint"* and *"simplicity"* in building forms, which should not be complicated, and roof lines, which should *"avoid complex forms."*

The proposed residence would have a gabled roof design with a moderate 12:12 pitch. The footprint of the building has a narrow rectangular shape. The building forms and architectural details appear restrained and do not create a complicated appearance. In staff's opinion, the design presents an attractive appearance and will add to the architectural diversity of the neighborhood.

Garage & Driveway: Design Guideline 6.1 states that *"garages that are subordinate design elements...and not visible to the street are encouraged."* Design Guideline 6.7 states that *"in limited circumstances a garage may be located under a structure when the visual impacts will be minimized"* and *"the driveway may not dominate the front garden and may not create a ramp effect or introduce tall or massive retaining walls."*

The applicant is proposing a flat-roofed garage that is partially sub-grade. As proposed, the garage would appear subordinate to the main residence as encouraged by the guidelines. The driveway would include retaining walls with a maximum height of 4 feet at the front of the garage. In staff's opinion, the retaining walls and driveway design would not create a ramp effect, nor would it dominate the front yard. The alternative would be to locate the garage at the same elevation as the main residence, which would make the garage more prominent and would present additional building mass.

Public ROW: The City Right-of-Way (ROW) at the front of the property is approximately 14 feet wide between the front property line and the edge of pavement on Monte Verde Street. The City ROW includes a large tree stump and contains excess asphalt. Sheet A-1.1 of the plan set includes a note that the excess asphalt will be removed. The City Forester has agreed to remove the tree stump as indicated on the plans. A condition has been drafted regarding the removal of the excess asphalt.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – Construction or modification of a limited number of new or existing small structures. The proposed new residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Draft Recommendations/Conditions
- Attachment D – Applicant Letter
- Attachment E – Project Plans

Attachment A – Site Photographs



Project site – Facing west on Monte Verde Street



Photo taken from project site – Neighboring residence to the south



Photo taken from project site – Facing northwest



Project site – Facing northwest on Monte Verde Street showing excess pavement in ROW

Attachment B – Findings for Concept Acceptance

DS 14-90 (Shannon)
 October 8, 2014
 Concept Findings
 Page 1

<u>FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)</u>		
<p>For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.</p>		
Municipal Code Finding	YES	NO
1. As conditioned, the project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. As conditioned, the project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and	✓	

complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.		
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment C – Recommendations/Draft Conditions

DS 14-90 (Shannon)

October 8, 2014

Recommendations/Draft Conditions

Page 1

Recommendations/Draft Conditions		
No.		
1.	The applicant shall apply for and obtain a Tree Removal Permit for the removal of one non-significant oak tree prior to final Planning Commission review.	
2.	The applicant shall provide a landscape plan for final review that includes a provision for one new upper-canopy tree either in the front yard or in the City ROW at the front of the property.	
3.	Prior to final review, the applicant shall work with staff to revise the design to address the issues identified with south elevation of the front building element.	
4.	The applicant shall remove the excess asphalt from the City ROW as indicated on the project plans. The removal of this excess asphalt shall be depicted on the landscape plan submitted prior to final Planning Commission review. The applicant shall remove the excess asphalt prior to final Planning inspection.	



City of Carmel by the Sea
Department of Community Planning and Building
Carmel by the Sea, CA 93921

Carmel Planning Staff,

The site for the Shannon Residence lies on a heavily wooded portion of Monte Verde Street at the northern edge of town. The street slopes rather prominently across the eastern boundary of the property, and the site is boxed in by two rather large double-story structures built in close proximity to their property lines. Due to the topography of the area, the different floor levels of the neighboring homes give the street a "stepped" appearance.

We have attempted to maintain the stepped appearance of the street and preserve the significant oak trees on the site by siting our proposed structure towards the northern edge of the property and allowing the gables to step down the site towards the southern property line. Varying the roof line of the house and allowing the gables to step with the site (as can be seen in the North Elevation drawing of the House) reinforces the homes relationship with it's immediate context.

The PSA notes a diversity of architectural styles in the neighborhood- with both wood and stucco houses throughout. Our design intent with the Shannon residence is to evoke the simple forms of cottages past in Carmel, yet give the house fresh and modern detailing to avoid the appearance of a home that mimics something it is not. The steeply pitched roofs and simple stepped gables recall many homes in the Carmel environs. The narrow floor plates and staggered floor plan of the home allow the significant trees on the site to flourish while also providing ample outdoor space in the rear of the property.

By minimizing the size of the upper level floor plate and placing it on the northern portion of the property, we have maintained the privacy of the southern neighbors backyard. By minimizing the amount of fenestration on the northern wall of the upper level, providing a generous setback between the upper level and the northern property line, minimizing our plate heights (7'-0" at the upper level) and offsetting the upper floor plate with the upper level of the neighboring structure...we have negated any privacy concerns with our neighbor to the north.

Sincerely,

Justin Pauly, AIA

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AUG 1 2014


**City of Carmel-by-the-Sea
Planning & Building Dept.**

Justin Pauly Architects, LLC
p 831.240.7765 | 831.846.366
http://justinpauly.com

SHANNON RESIDENCE

CARMEL, CALIFORNIA

issued: 9/4/14
 revised:
 drawn by: jtp

SYMBOL LEGEND	SHEET INDEX	GENERAL NOTES		PROJECT DATA
	A0.0 Cover Sheet A1.0 Preliminary Site Assessment A1.1 Survey/Take-Down Plan A1.2 Proposed Site Plan A1.3 Proposed Coverage/Drainage Plan A2.0 Proposed Lower Level Floor Plan A2.1 Proposed Main Level Floor Plan A2.2 Proposed Upper Level Floor Plan A2.3 Proposed Roof Plan A2.4 Calculations A3.0 Elevations A3.1 Elevations A4.1 Building Sections A5.0 Window Schedule A6.1 Renderings	<div style="color: red; font-weight: bold; font-size: 1.2em;">RECEIVED</div> <div style="color: red; font-weight: bold; font-size: 1.2em;">SEP 03 2014</div> <div style="color: red; font-weight: bold; font-size: 1.2em;">City of Carmel-by-the-Sea Planning & Building Dept</div>		OWNER: CARL & DIANE SHANNON 30 FAWN COURT SAN ANSELMO, CA SITE: MONTEVERDE (3 N/W OF 4TH) A.P.N. 010.223.032 ZONING: R-1 OCCUPANCY: R-1 (SINGLE FAMILY RESIDENCE) CONSTRUCTION TYPE: V-B SITE AREA: 4,000 SQ. FT. PROPOSED BUILDING AREA: MAIN LEVEL 1,161 SQ. FT. UPPER LEVEL 438 SQ. FT. LOWER LEVEL BASEMENT 156 SQ. FT. (includes 128 bonus area) "SINGLE STORY" 172 SQ. FT. TOTAL 1,927 SQ. FT. LOT COVERAGE: 556 SQ. FT. (P) FLOOR AREA RATIO: 48.43% (1,929 SQ. FT.) WATER SUPPLY: CAL-AM SEWER: PUBLIC BUILDING HEIGHT: 24'-0" (24'-0" ALLOWABLE) GRADING: 151 C.Y. CUT / 9 C.Y. FILL FIRE SPRINKLERS: YES TREE REMOVAL: 1 (non-significant)
	VICINITY MAP	FIRE DEPT. NOTES	GRADING & DRAINAGE NOTES	PROJECT TEAM
	 <p style="font-size: 0.8em;">SITE: Monte Verde 3 N/W of 4TH NOT TO SCALE</p>			ARCHITECT: JUSTIN PAULY ARCHITECTS 40 VIA BUENA VISTA MONTEREY CA 93940 P. 831.240.7765 jtp@justinpaulyarchitects.com CA LICENSE #C32962 TITLE-24 MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD. #8 CARMEL, CA 93923 P. 831.372.8328 F. 831.359.4173 SURVEY JON D. HAGEMEYER 25170 RANDALL WAY CARMEL, CA 93923 P. 831.624.6888 jhag@comcast.net CONSULTANT: STRUCTURAL: DEREK BONSPER PO BOX 831 CARMEL VALLEY, CA 93924 P. 831-659-3825 F. 831-659-3825 dbeck@yaho.com GEOTECHNICAL ENGINEER: GRICE ENGINEERING 561 BRUNKEN AVE. SUITE A SALINAS CA, 93901 831.422.9619 samge@bcglobal.net LANDSCAPE DESIGN: VIRIDIAN LANDSCAPE STUDIO PO BOX 389 PACIFIC GROVE, CA 93950 P. 831.648.1920 rwells@vilstudio.com
		SPECIAL INSPECTIONS/SUBMITTALS	APPLICABLE CODES	SCOPE OF WORK
			THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES AS FOLLOWS: 2013 CALIFORNIA RESIDENTIAL CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA ENERGY CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA FIRE CODE	DEMOLITION OF EXISTING SINGLE FAMILY DWELLING & GUEST HOUSE AND CONSTRUCTION OF NEW SINGLE FAMILY DWELLING ON SAME SITE

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JUSTIN PAULY ARCHITECTS

PRELIMINARY - NOT FOR CONSTRUCTION

a new residence for:
Carl & Dianne Shannon
 monte verde, 3 n/w of 4th carmel-by-the-sea, california apr: 010.223.032

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Cover Sheet

sheet 1

A0.0

of 6 sheets

issued: 9/4/14
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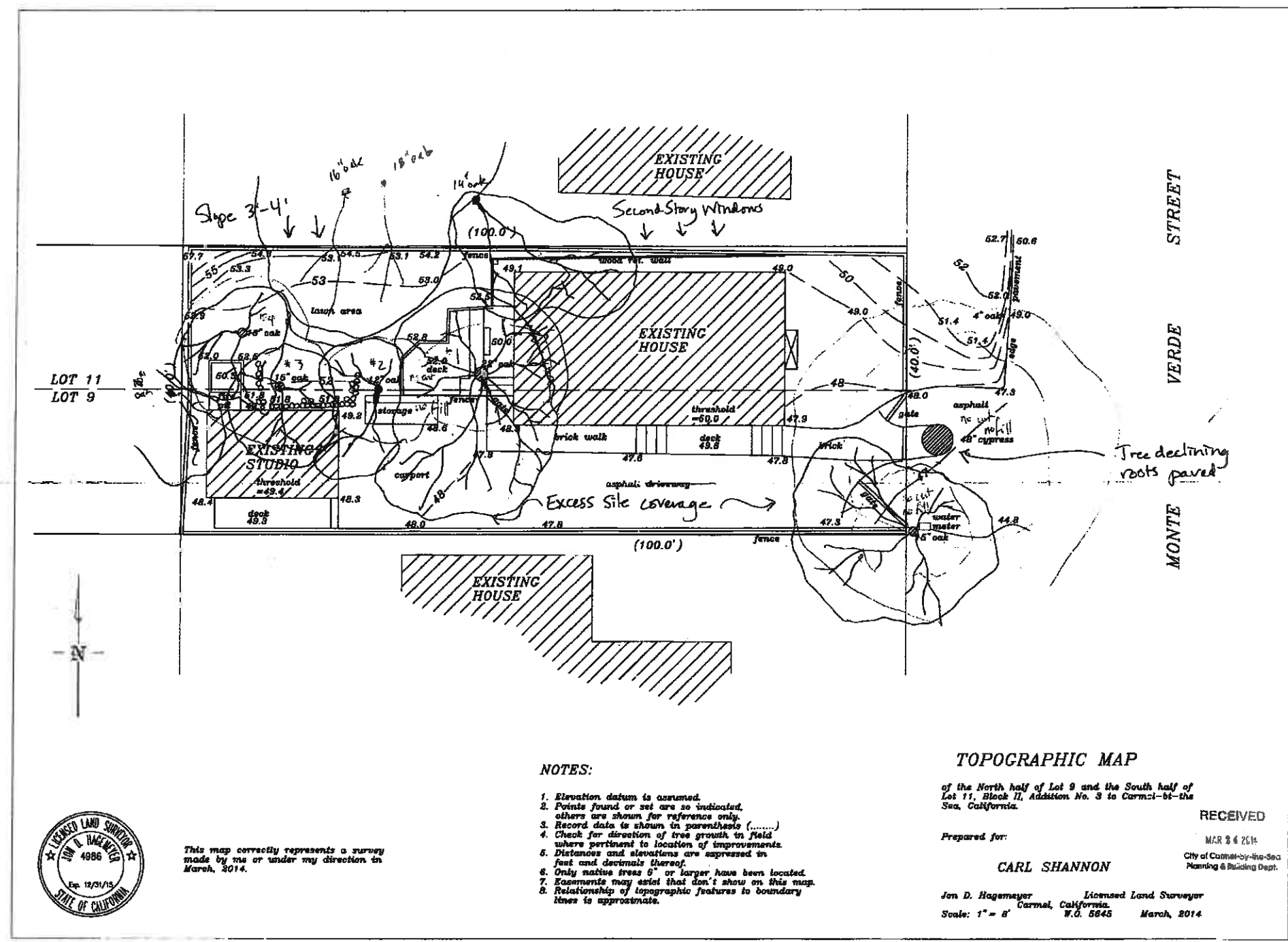
a new residence for:
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Preliminary Site Assessment

sheet 2

A1.0
 of sheets



This map correctly represents a survey made by me or under my direction in March, 2014.

NOTES:

1. Elevation datum is assumed.
2. Points found or set are so indicated, others are shown for reference only.
3. Record data is shown in parenthesis (.....)
4. Check for direction of tree growth in fields where pertinent to location of improvements.
5. Distances and elevations are expressed in feet and decimals thereof.
6. Only mature trees 6" or larger have been located.
7. Easements may exist that don't show on this map.
8. Relationship of topographic features to boundary lines is approximate.

TOPOGRAPHIC MAP

of the North half of Lot 9 and the South half of Lot 11, Block II, Addition No. 3 to Carmel-by-the-Sea, California.

Prepared for:
CARL SHANNON

Jon D. Hagemeyer
 Licensed Land Surveyor
 Carmel, California
 No. 4986 March, 2014

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MAR 24 2014
 City of Carmel-by-the-Sea
 Planning & Building Dept.

1 Preliminary Site Assessment
 SCALE: 1/8" = 1'



issued: 9/4/14
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 drawn by: jtp

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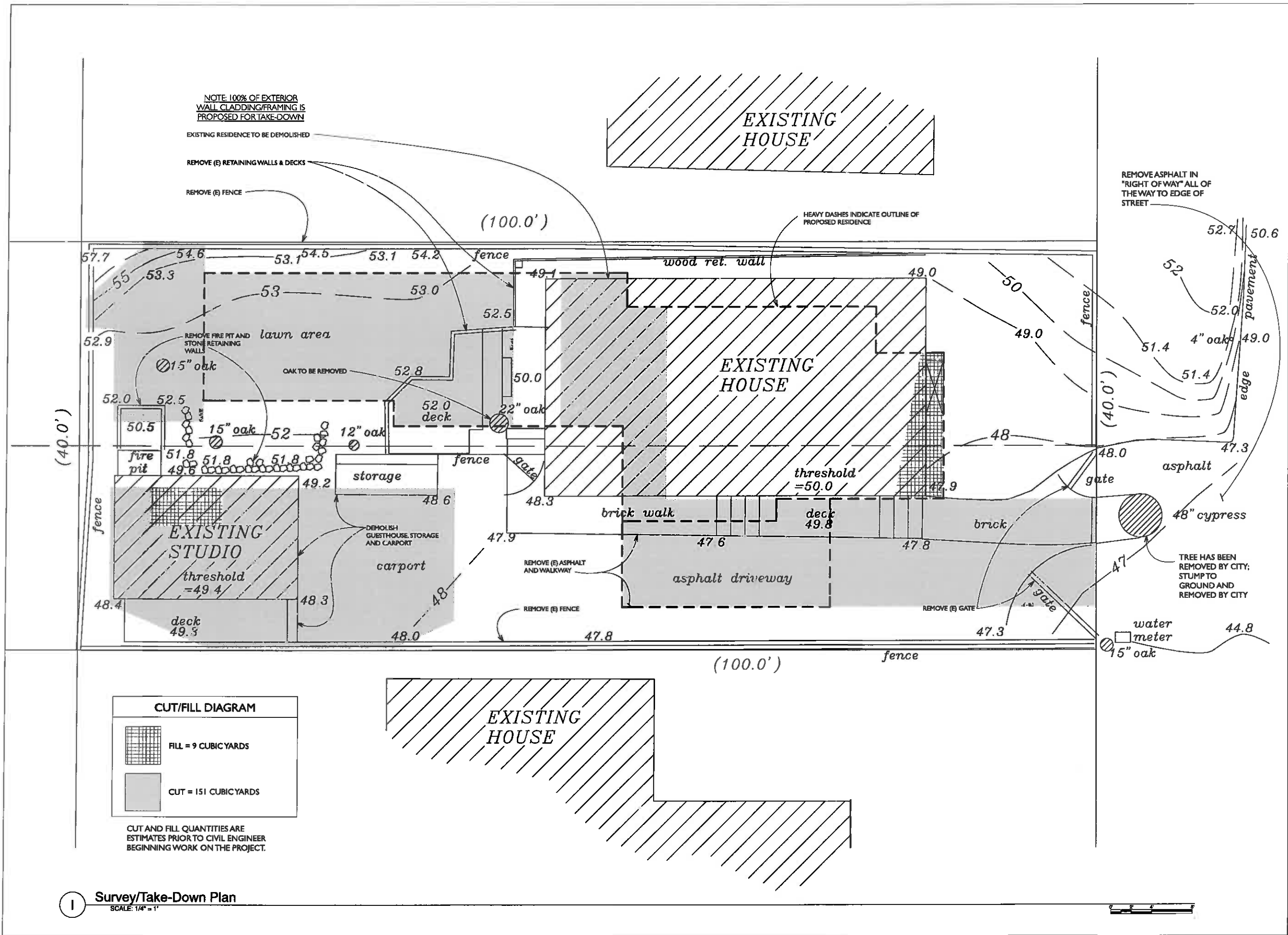
PRELIMINARY: NOT FOR CONSTRUCTION

a new residence for:
Carl & Dianne Shannon
 monte verde, 3 n/w of 4th carmel-by-the-sea, california apr: 0-10-223.032

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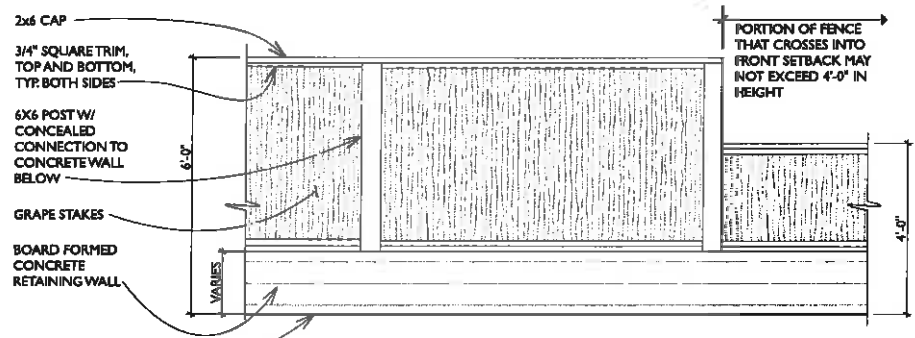
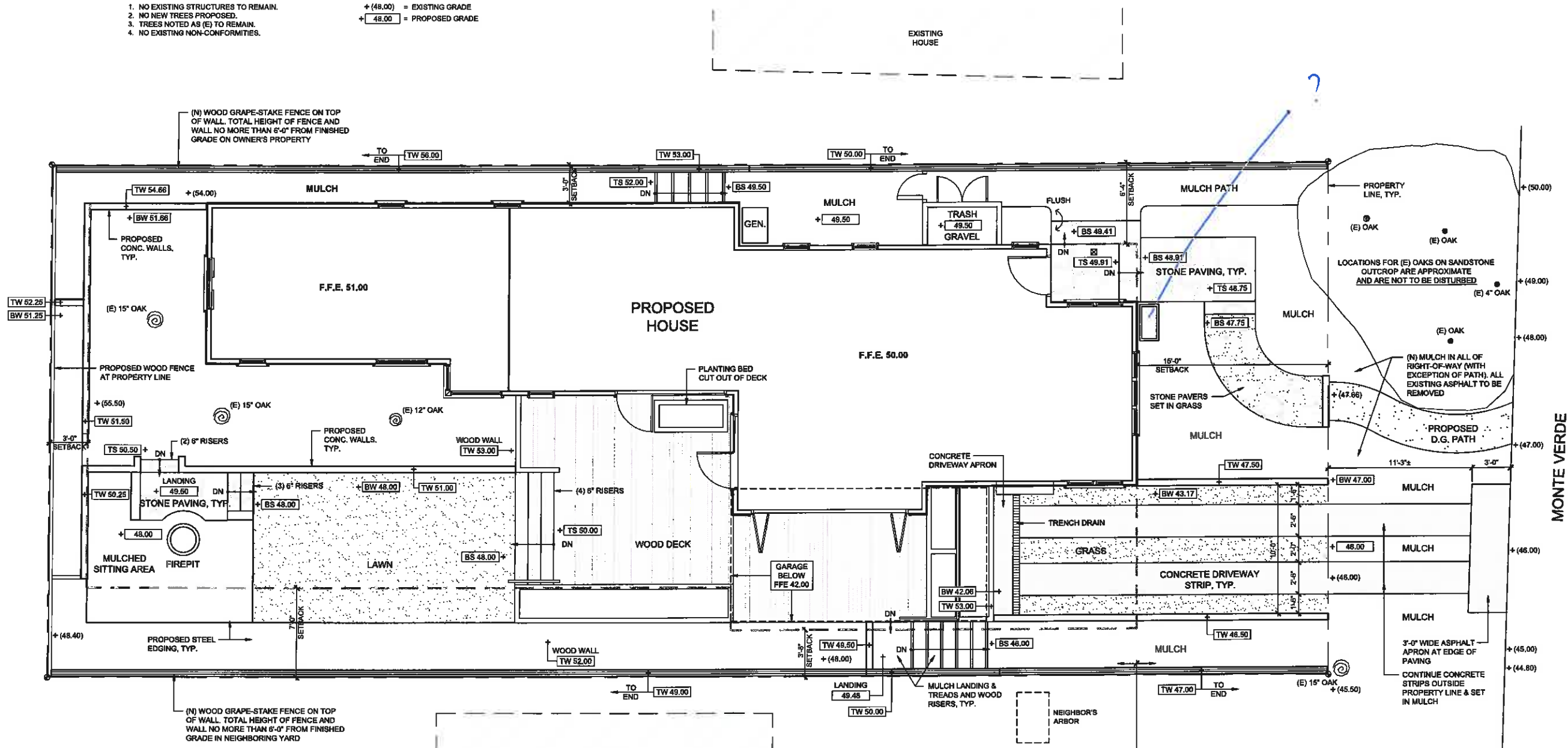
Survey/Take-Down Plan

sheet 3
A1.1
 of - sheets



- NOTES:**
1. NO EXISTING STRUCTURES TO REMAIN.
 2. NO NEW TREES PROPOSED.
 3. TREES NOTED AS (E) TO REMAIN.
 4. NO EXISTING NON-CONFORMITIES.

- LEGEND:**
- + (48.00) = EXISTING GRADE
 - + (48.00) = PROPOSED GRADE



4 Fence Detail
SCALE: 1/2" = 1'-0"

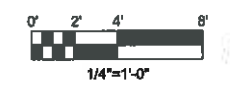
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591 Lighthouse Avenue, Ste 15
Pacific Grove, CA 93950
Phone and fax: 831.648.1920 - rwells@vlastudio.com
www.vlastudio.com



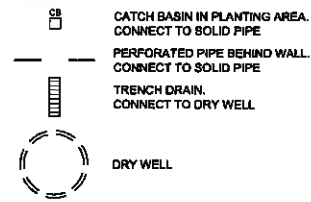
PROPOSED SITE PLAN
SHANNON RESIDENCE
MONTE VERDE, 3 NW OF FOURTH
CARMEL-BY-THE-SEA, CA 93921
APN: 010-223-032

DATE:	09.03.2014
SCALE:	1/4"=1'-0"
DESIGNED:	RW
DRAWN:	SV
REVISION:	

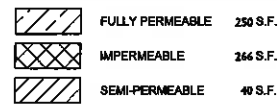
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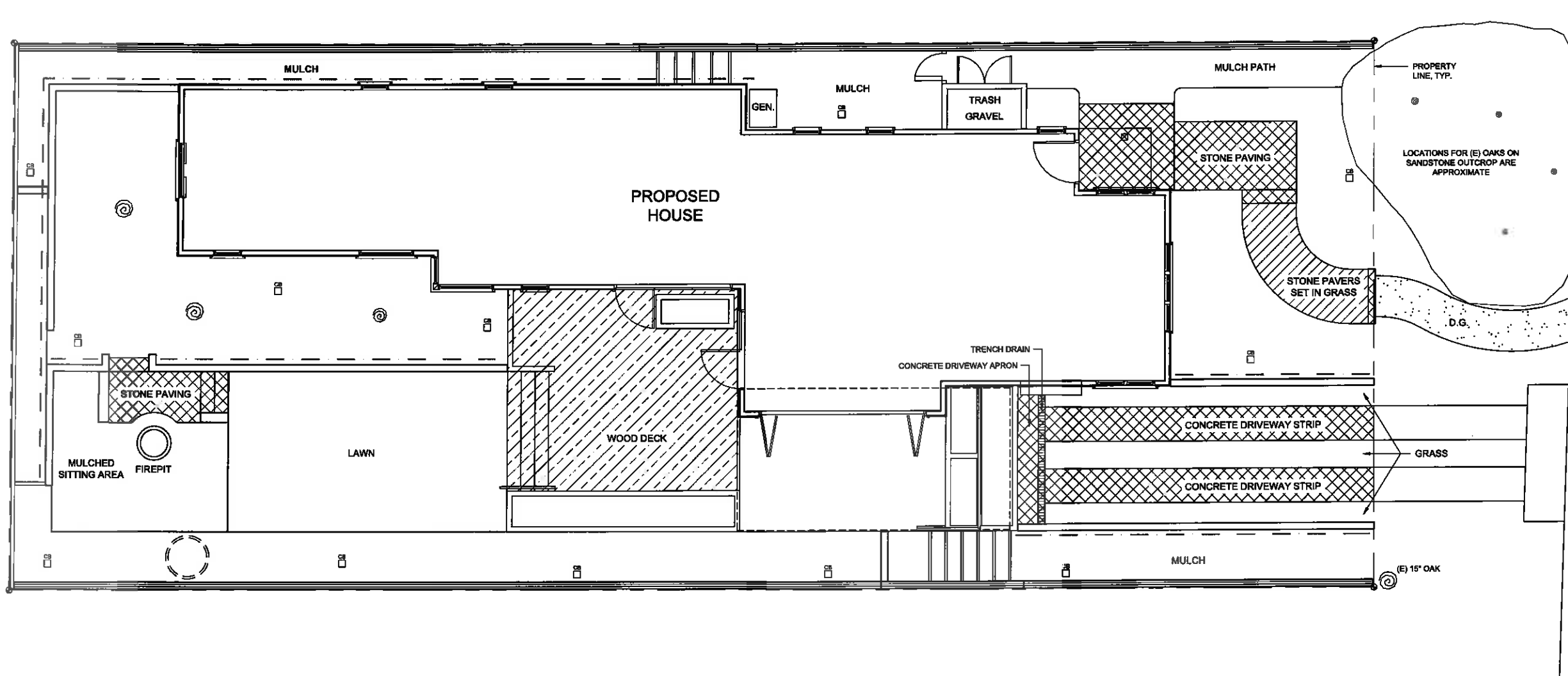
DRAINAGE LEGEND:



COVERAGE LEGEND:



NOTE:
ALL RAIN AND IRRIGATION WATER
TO BE RETAINED ON SITE.



MONTE VERDE

Viridian Landscape Architecture

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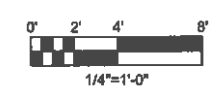


DRAINAGE/COVERAGE PLAN

SHANNON RESIDENCE
MONTE VERDE, 3 NW OF FOURTH
CARMEL-BY-THE-SEA, CA 93921
APN: 010-223-032

DATE:	09.03.2014
SCALE:	1/4"=1'-0"
DESIGNED:	RW
DRAWN:	SV
REVISION:	

A1.3



issued: 9/4/14
 revised:
 drawn by: jtp



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PRELIMINARY: NOT FOR
 CONSTRUCTION

a new residence for:

Carl & Dianne Shannon

monte verde, 3 n/w of 4th carmel-by-the-sea, california apt: 010-223-032

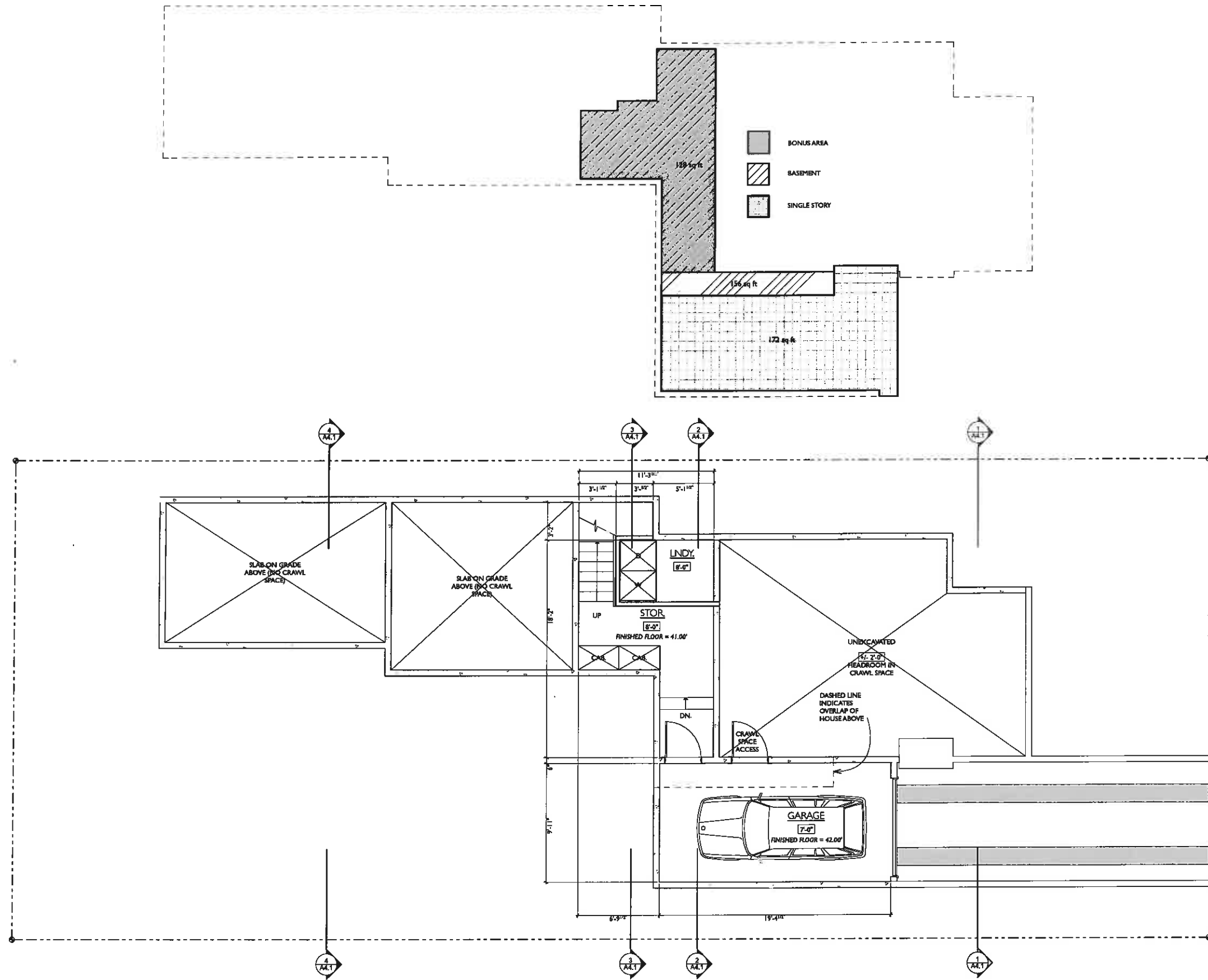
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Proposed Lower Level Floor Plan

sheet 6

A2.0

of - sheets



1 PROPOSED GARAGE PLAN
 SCALE: 1/4" = 1'-0"

issued: 9/4/14
 revised:
 drawn by: jtp

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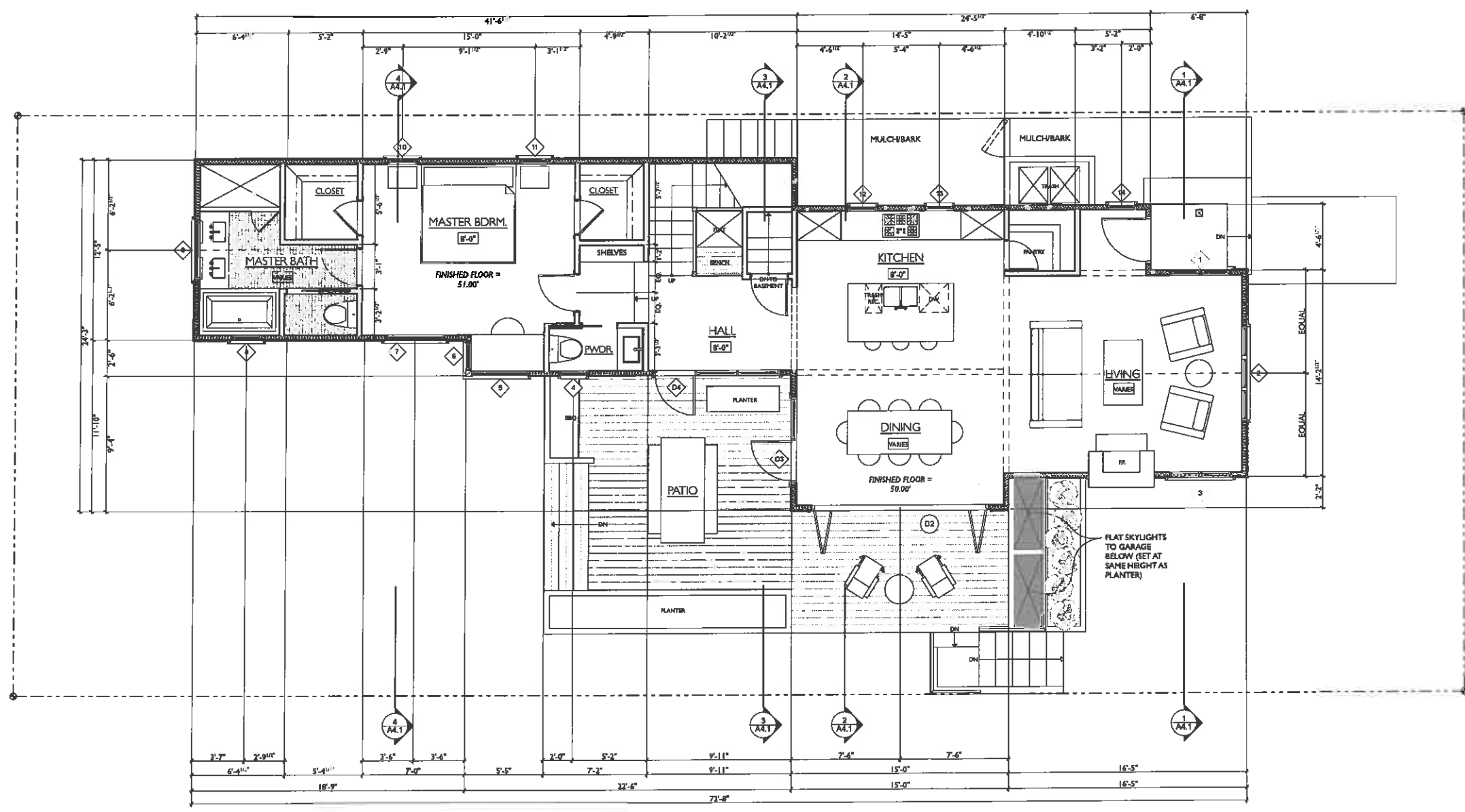
PRELIMINARY: NOT FOR CONSTRUCTION

a new residence for:
Carl & Dianne Shannon
 monte verde, 3 n/w of 4th carmel-by-the-sea, california apt: 010.223.032

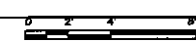
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Proposed Main Level Floor Plan

sheet 7
A2.1
 of - sheets



1 PROPOSED MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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 revised:
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PRELIMINARY: NOT FOR CONSTRUCTION

a new residence for:
Carl & Dianne Shannon
 monte verde, 3 n/w of 4th carmel-by-the-sea, california apr: 010.223.032

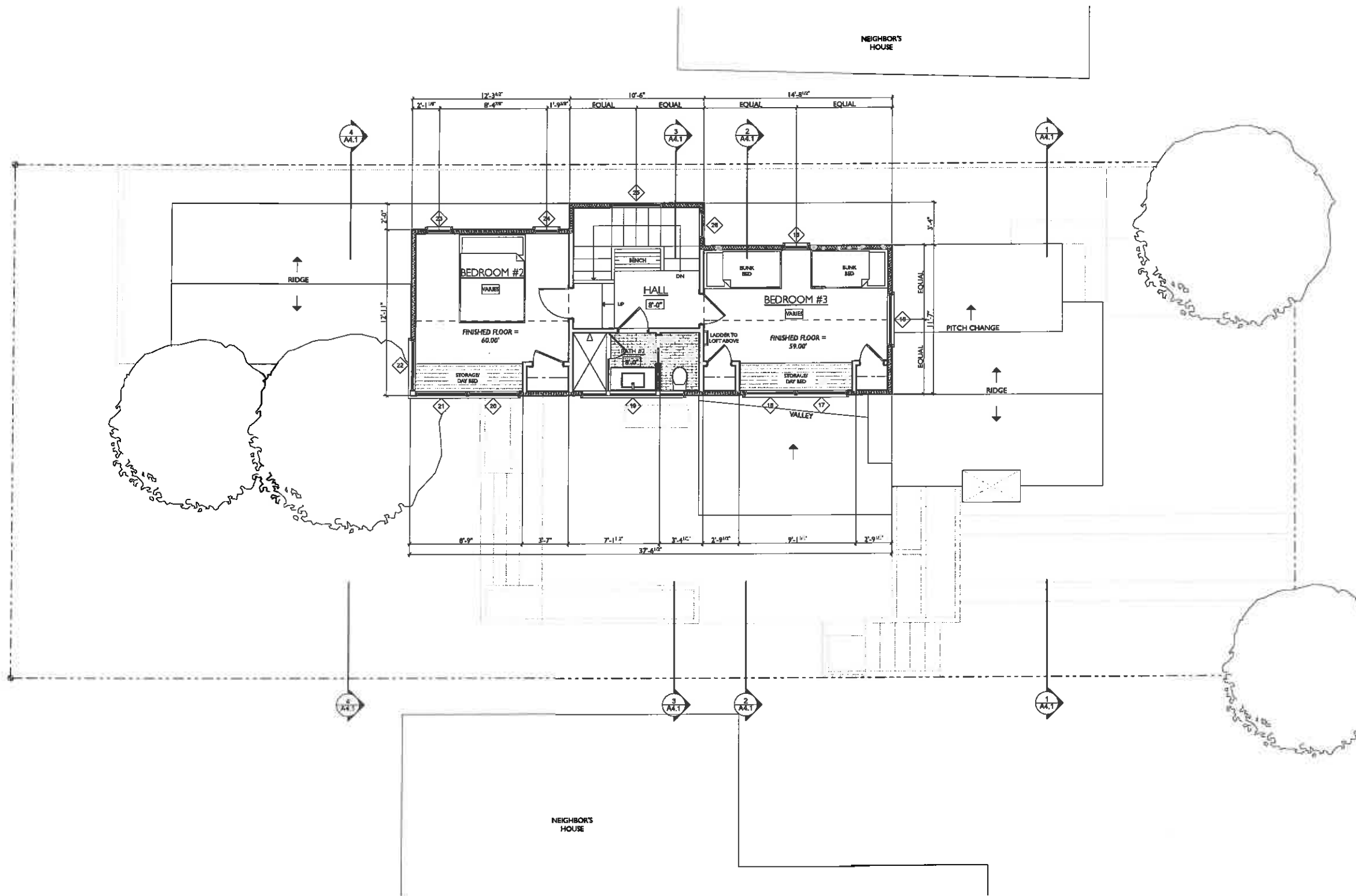
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Proposed Upper Level Floor Plan

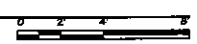
sheet 8

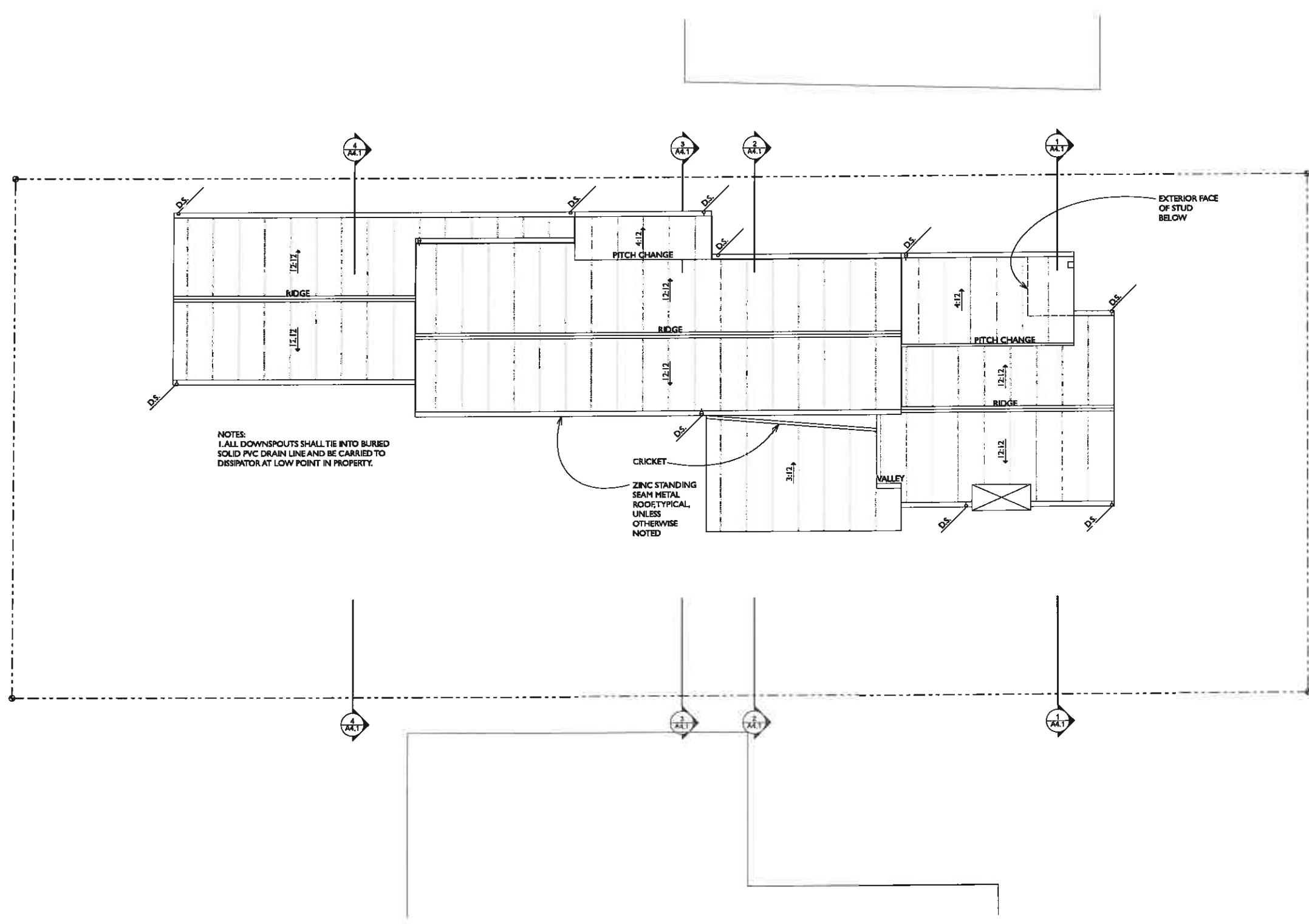
A2.2

of - sheets



1 PROPOSED UPPER LEVEL
 SCALE: 1/4" = 1'-0"





NOTES:
 1. ALL DOWNSPOUTS SHALL TIE INTO BURIED SOLID PVC DRAIN LINE AND BE CARRIED TO DISSIPATOR AT LOW POINT IN PROPERTY.

ZINC STANDING SEAM METAL ROOF, TYPICAL, UNLESS OTHERWISE NOTED

EXTERIOR FACE OF STUD BELOW

1 PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

issued: 9/4/14
 revised:
 drawn by: jtp

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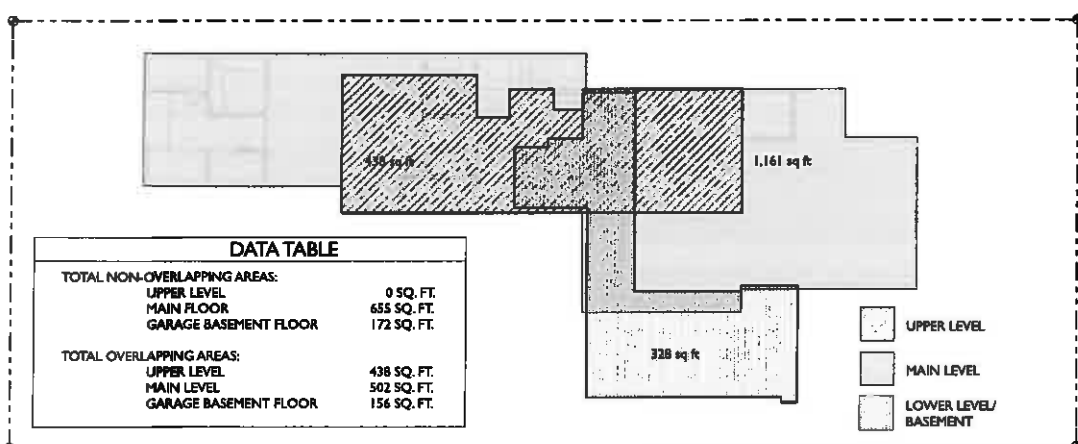
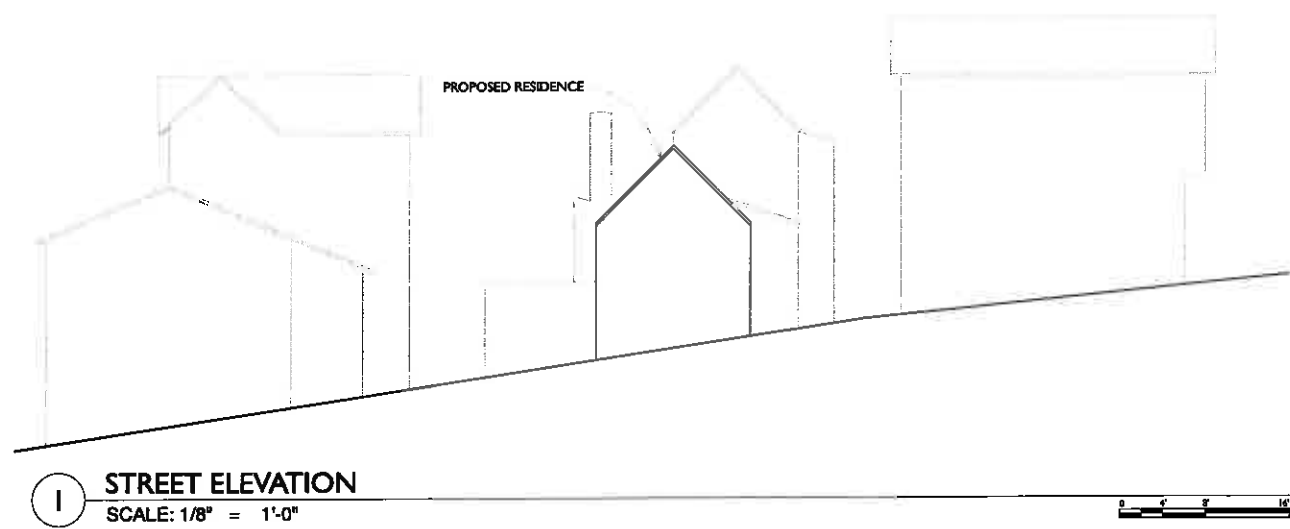
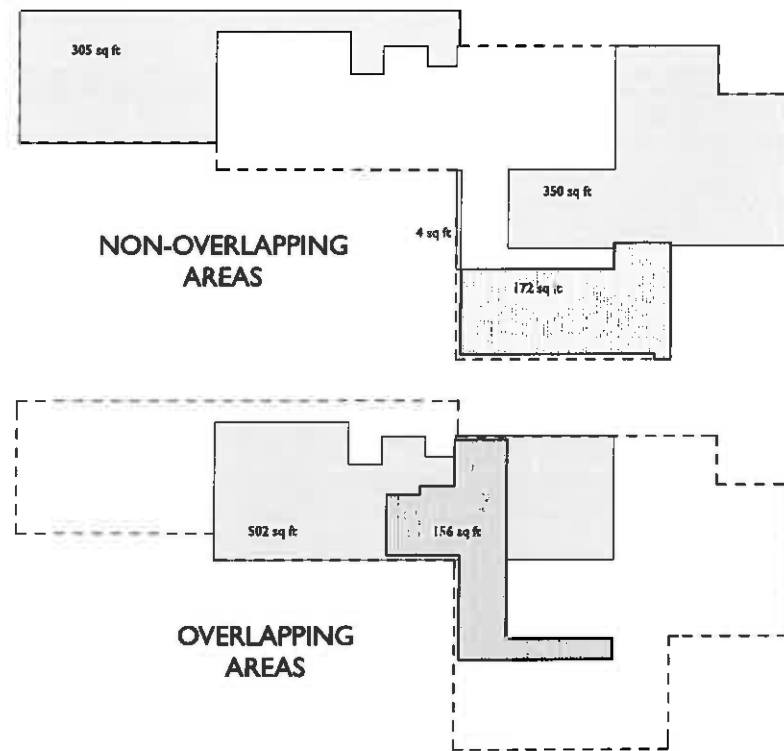
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a new residence for:
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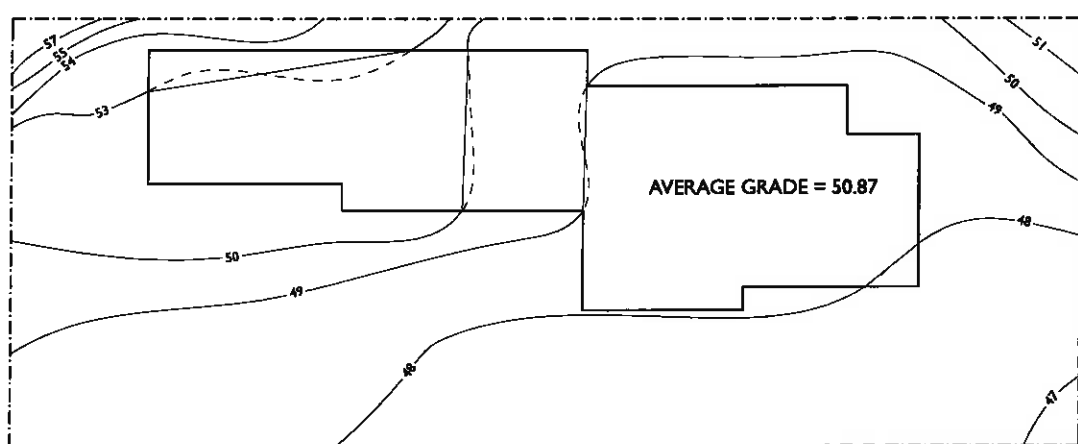
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Proposed Roof Plan

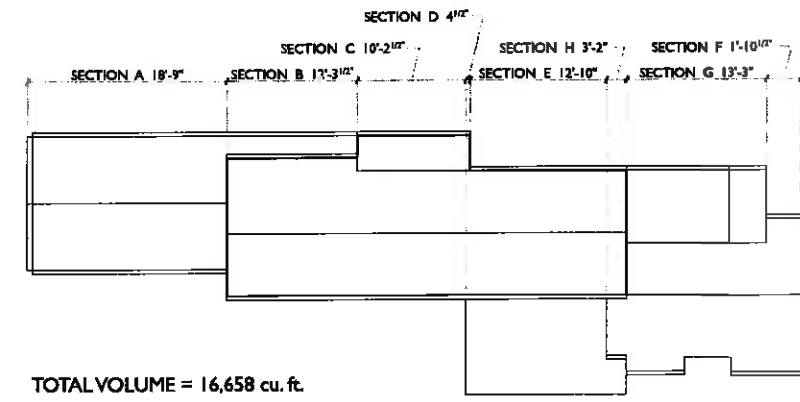
sheet 9
A2.3
 of - sheets



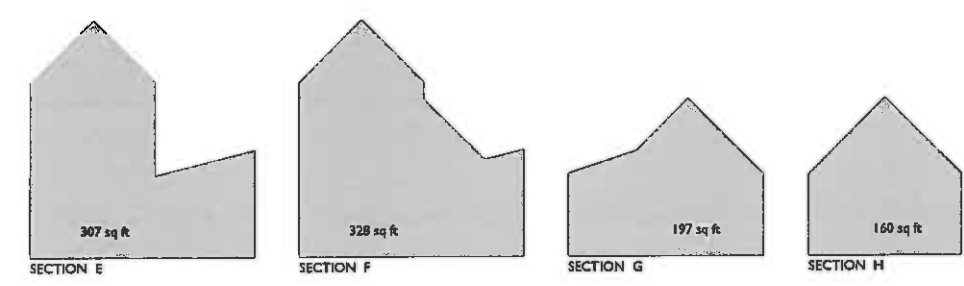
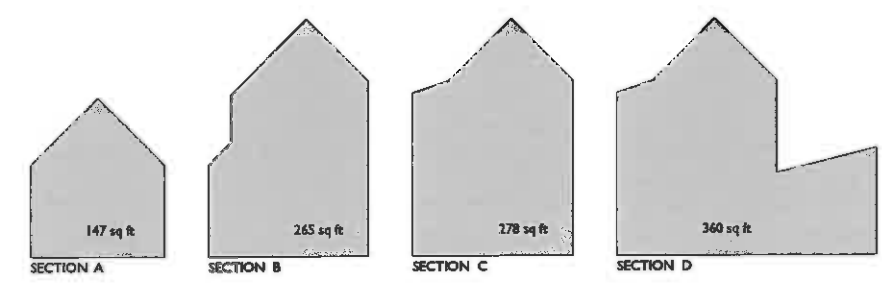
3 FLOOR AREA MAP
SCALE: 1/8" = 1'-0"



4 AVERAGE NATURAL GRADE DIAGRAM
SCALE: 1/8" = 1'-0"



TOTAL VOLUME = 16,658 cu. ft.



2 VOLUME CALCULATIONS
SCALE: 1/8" = 1'-0"

issued: 9/4/14
 revised:
 drawn by: jtp

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Calculations

sheet 10

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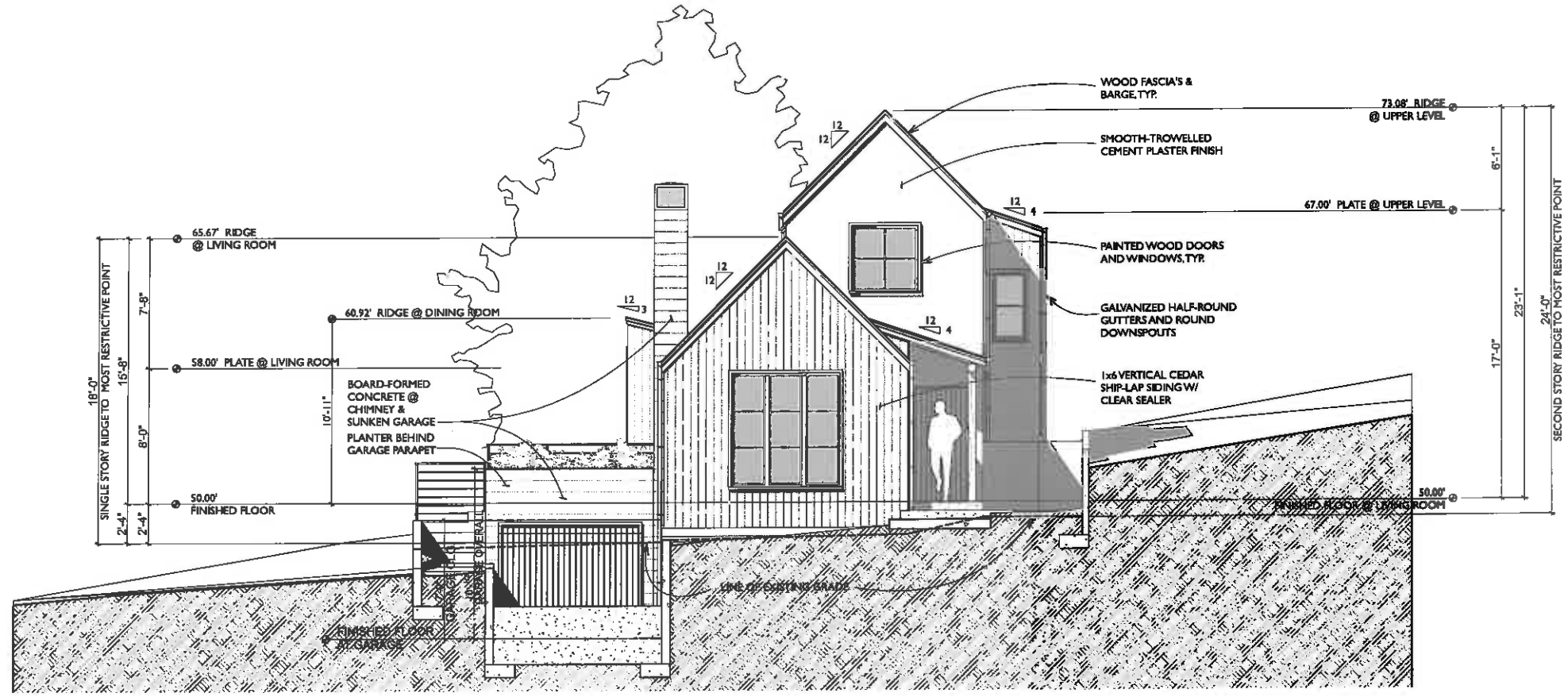
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Elevations

sheet 11

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 of - sheets



1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

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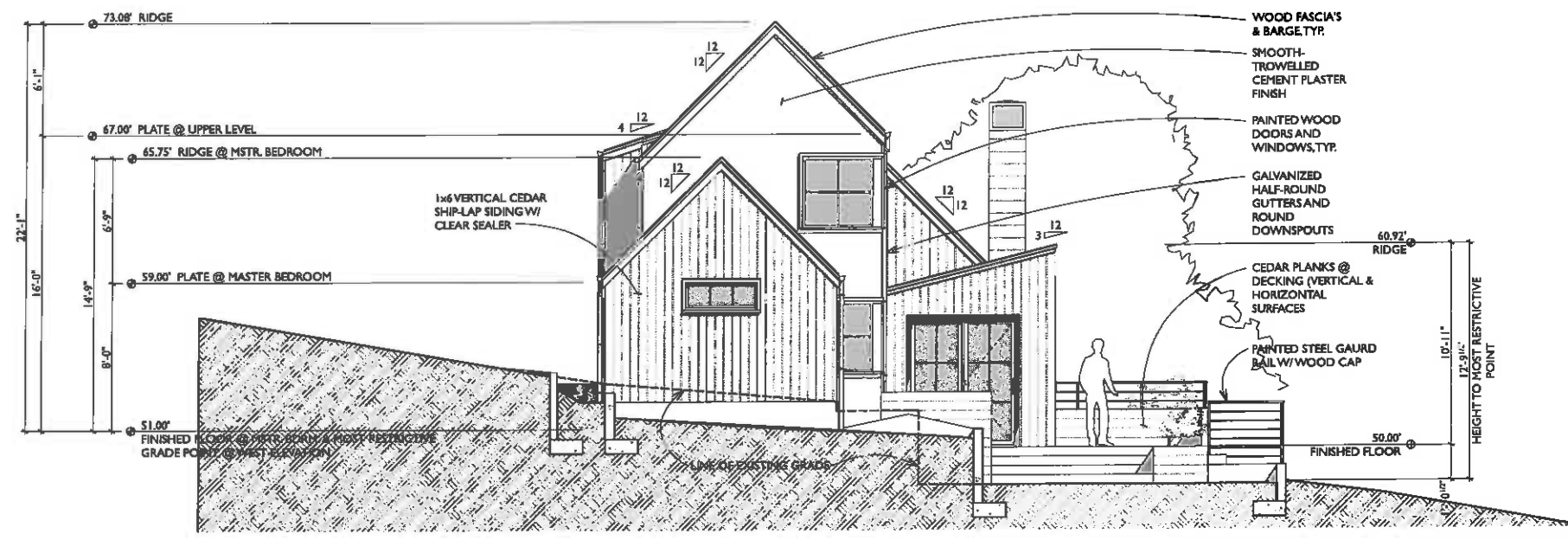
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Elevations

sheet 12

A3.1

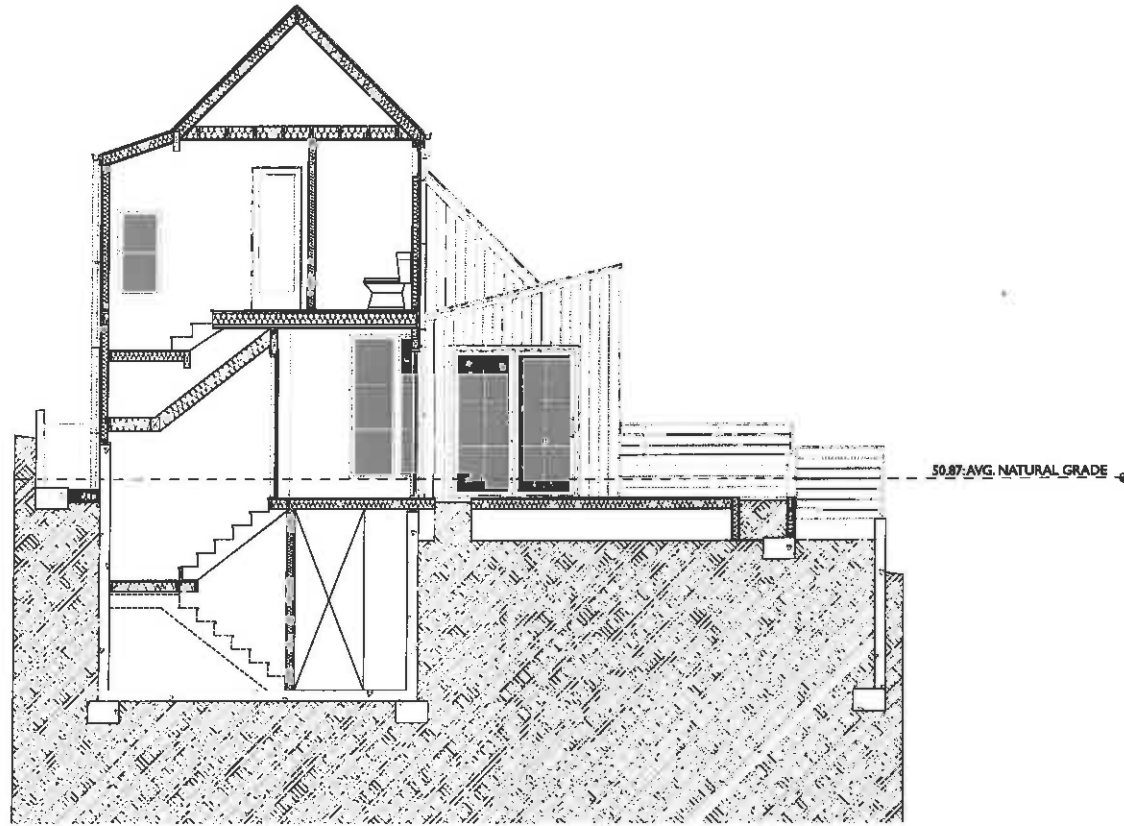
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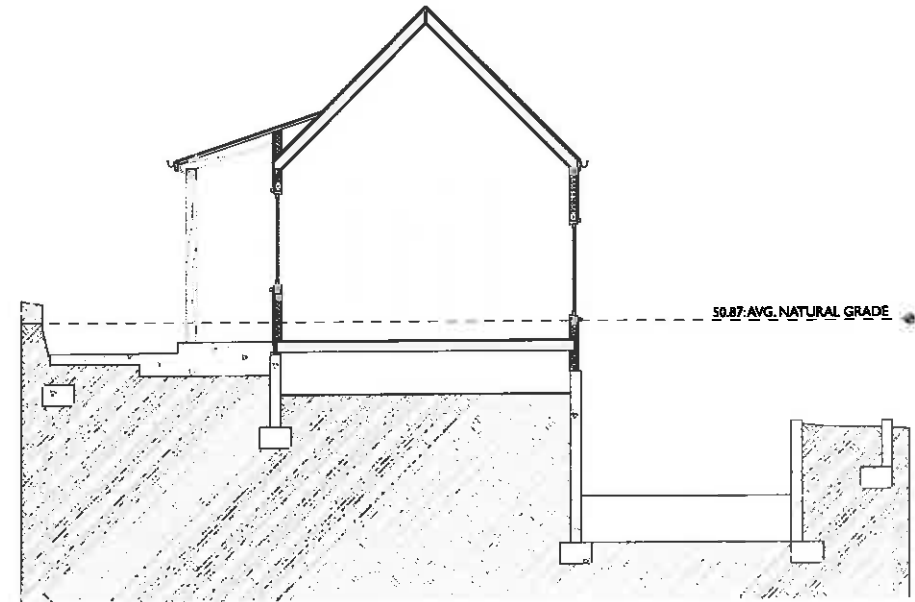
1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



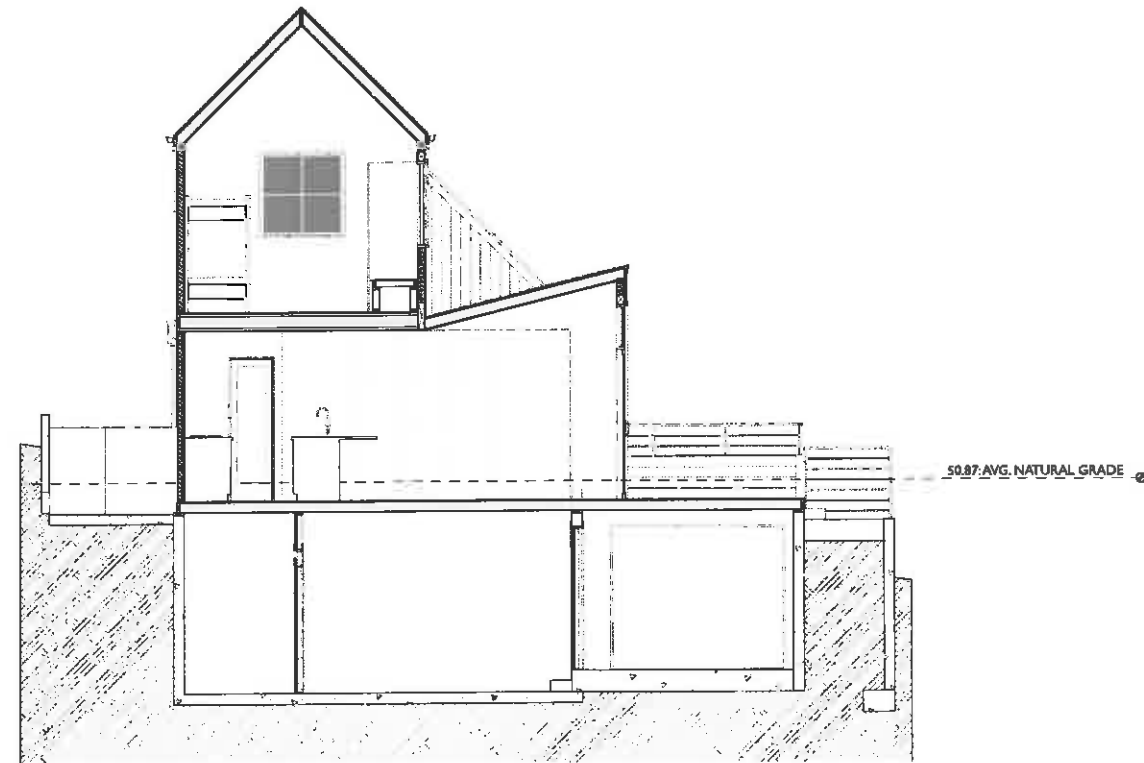
3 SECTION THROUGH STAIRS
SCALE: 1/4" = 1'-0"



1 SECTION THROUGH LIVING ROOM
SCALE: 1/4" = 1'-0"



4 MASTER BEDROOM
SCALE: 1/4" = 1'-0"



2 SECTION THROUGH KITCHEN
SCALE: 1/4" = 1'-0"

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drawn by: jtp

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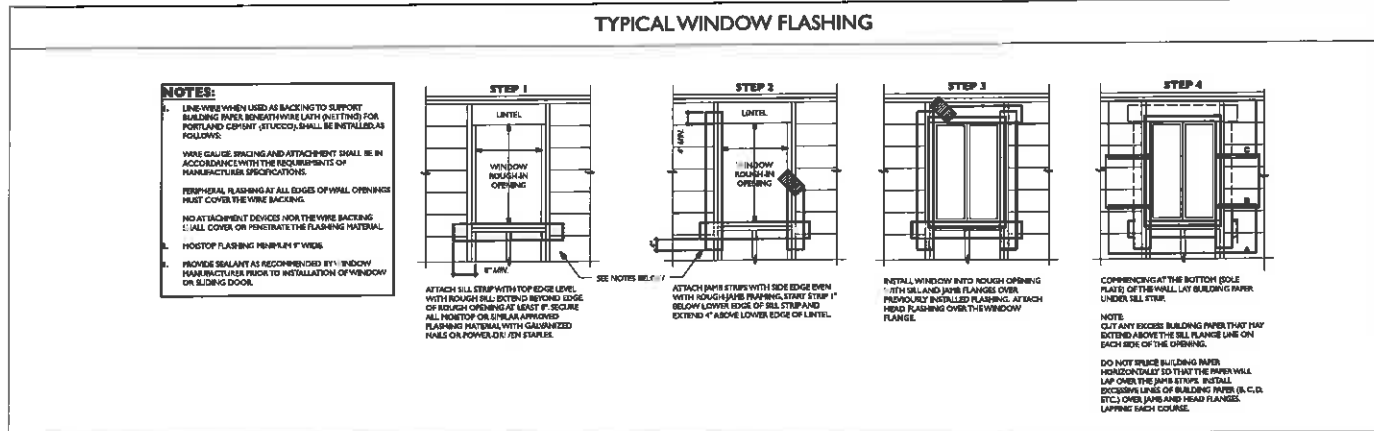
Building Sections

sheet 13

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of -
sheets

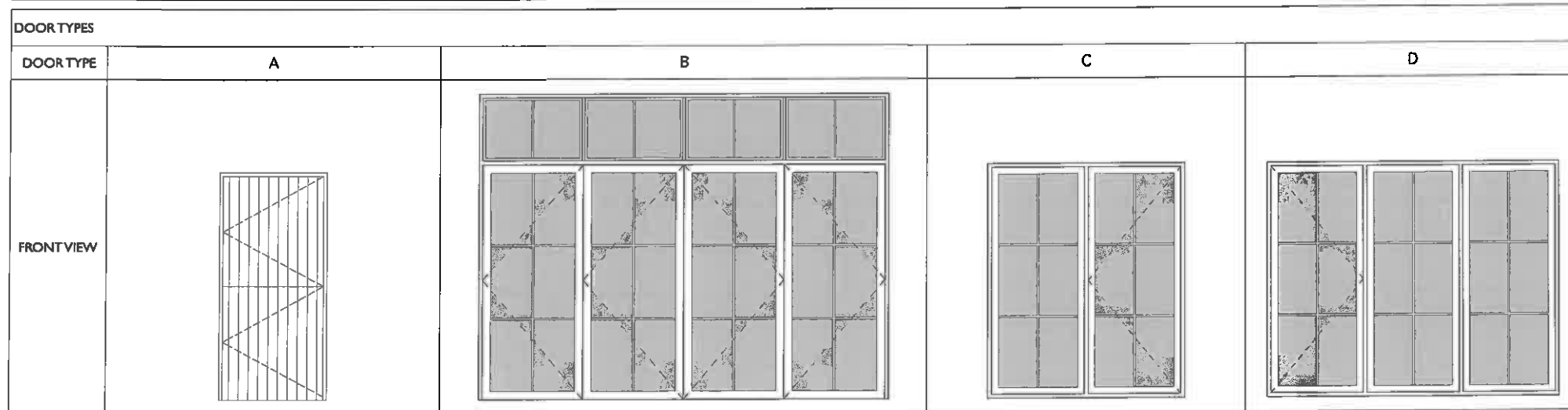
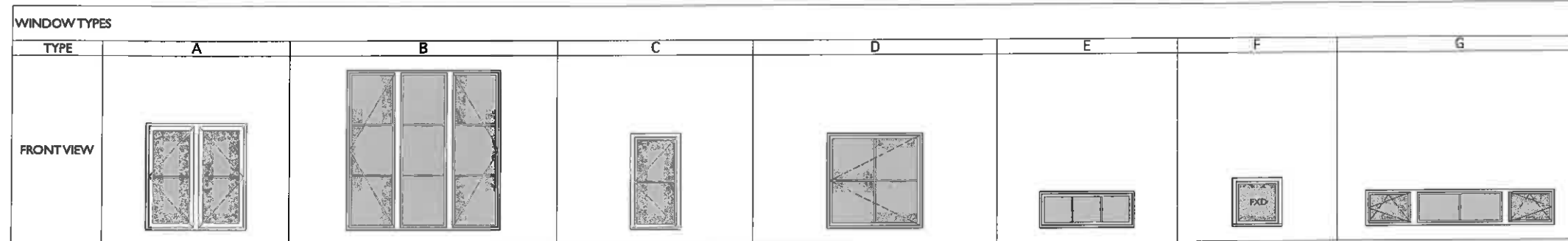
WINDOW SCHEDULE						
MARK	SIZE		TYPE	TEMPERED	NOTES	HEAD HEIGHT
	WIDTH	HEIGHT				
1	4'-3"	4'-6"	A			7'
2	6'-6"	6'-9"	B			7'-8"
3	4'-3"	4'-6"	A	YES		5'-6"
4	2'	4'	C	YES		8'
5	4'	4'	D			8'
6	2'	4'	C			8'
7	4'	4'	D			8'
8	2'	4'	C	YES		8'
9	4'	1'-6"	E			9'
10	2'	4'	C			8'
11	2'	4'	C			8'
12	2'	4'	C			7'-6"
13	2'	4'	C			7'-6"
14	2'	4'	C	YES		7'-6"
15	2'	2'	F			6'-8"
16	4'	4'	D			7'-6"
17	4'	4'	D			7'
18	4'	4'	D			7'
19	8'	1'-6"	G	YES		7'-8"
20	4'	4'	D			7'
21	4'	4'	D			7'
22	4'	4'	D			6'
23	2'	2'	F			5'
24	2'	2'	F			5'
25	4'	4'	D	YES		4'-6"
26	2'	4'	C	YES		4'-6"

DOOR SCHEDULE									
MARK	DIMENSIONS		TYPE	TEMP'D	DETAILS			HARDWARE GROUP	NOTES
	WIDTH	HEIGHT			HEAD	JAMB	SILL		
D1	3'-2 1/2"	6'-9 1/4"	A						DUTCH DOOR
D2	12'-2 1/2"	9'-1 1/4"	B	YES					
D3	5'-10 1/2"	7'	C	YES					
D4	8'-8 1/2"	7'	D	YES					



ALL EXTERIOR DOORS AND WINDOWS TO BE "LOEWEN" WOOD WINDOWS AND DOORS; COLOR TO BE DETERMINED

FRONT DOOR TO BE CUSTOM BUILT- WOOD PLANK, DUTCH STYLE DOOR, PAINT GRADE



issued: 9/4/14
revised:
drawn by: jtp

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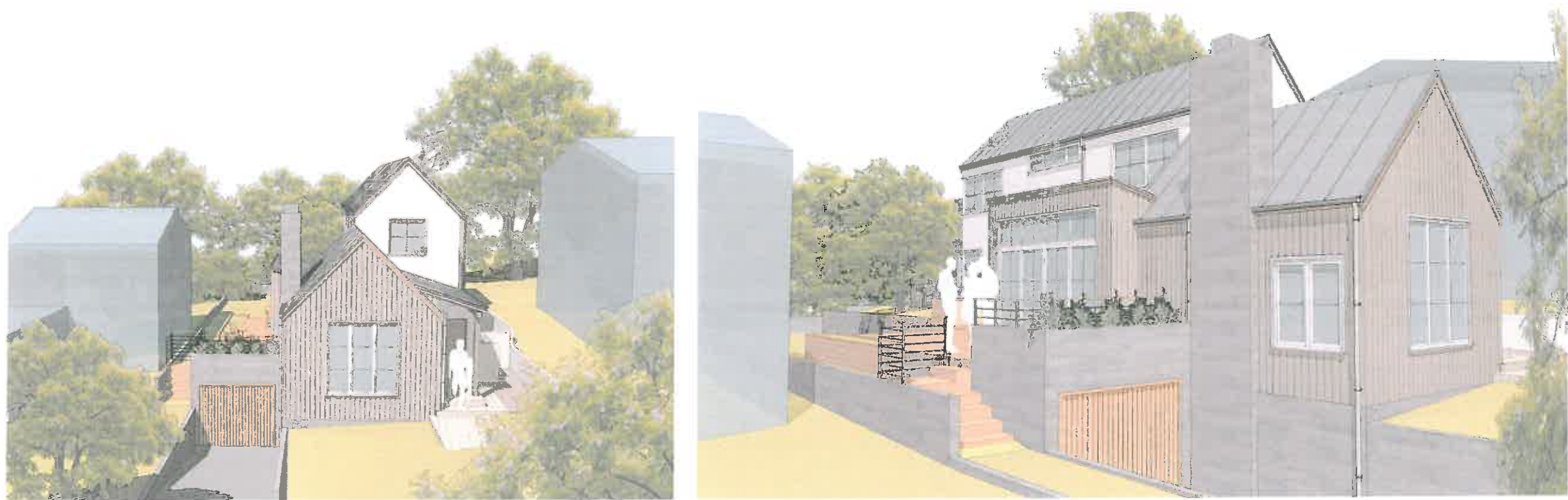
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Window Schedule

sheet 14

A5.0

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Renderings

sheet 15

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of .
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