

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
MEETING AGENDA**

Regular Meeting
City Hall
East Side of Monte Verde Street
Between Ocean & Seventh Avenues

June 13, 2018
Wednesday
Tour: 1:30 p.m.
Meeting: 4:00 p.m.

A. CALL TO ORDER AND ROLL CALL

Commissioners: Michael LePage, Chair
Gail Lehman, Vice Chair
Julie Wendt, Commissioner
Stephanie Locke, Commissioner
Christopher Bolton, Commissioner

B. TOUR OF INSPECTION

Shortly after **1:30 p.m.**, the Commission will leave the Council Chambers for an on-site Tour of Inspection of all properties listed on this agenda (including those on the Consent Agenda). The Tour may also include projects previously approved by the City and not on this agenda. Prior to the beginning of the Tour of Inspection, the Commission may eliminate one or more on-site visits. The public is welcome to follow the Commission on the tour of the determined sites. The Commission will return to the Council Chambers at **4:00 p.m.** or as soon thereafter as possible.

C. ROLL CALL

D. PLEDGE OF ALLEGIANCE

E. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS

F. APPEARANCES

Anyone wishing to address the Commission on matters not on the agenda, but within the jurisdiction of the Commission, may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Commission's agenda will not receive action at this meeting but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as otherwise established by the Commission Chair. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

G. CONSENT AGENDA

Items placed on the Consent Agenda are considered to be routine and are acted upon by the Commission in one motion. There is no discussion of these items prior to the Commission action unless a member of the Commission, staff, or public requests specific items be discussed and removed from the Consent Agenda. It is understood that the staff recommends approval of all consent items. Each item on the Consent Agenda approved by the Commission shall be deemed to have been considered in full and adopted as recommended.

H. PUBLIC HEARINGS

If you challenge the nature of the proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

1. DR 18-184 (Carmel Police Department)
City of Carmel-by-the-Sea
SE Cor. Of Junipero & 4th Ave
Bock: 48, Lots: 1, 2, 4 & 6
APN: 010-096-013
Consideration of Design Review (DR 18-184) application for a remodel and addition of 2,554 square feet to the Carmel Police Department. The Planning Commission will review this project for the purpose of making recommendations to the City Council on the issuance of the final permit. **(p. 5)**
2. DR 18-077 (Ipsen)
Adam Jeselnick, Architect
E/S Lincoln Between 5th & 6th Avenues
Block: 55, Lot(s): 10 & 12
APN: 010-138-019
Consideration of a Design Review (DR 18-077) and associated Coastal Development Permit for additions and alterations to an existing courtyard located at Lincoln Lane in the Service Commercial (SC) Zoning District. **(p. 30)**
3. DS 18-124 (Brown)
Steven Brown, Property Owner
8th Ave, 3 SE of Monte Verde
Block: 94; Lots 1 & 3
APN: 010-193-020
Consideration of Design Study (DS 18-124) for the construction of a fence that exceeds the allowed 6-foot height limit along the rear property boundary of a lot located in the Single-Family Residential (R-1) Zoning District. **(p. 64)**
4. DR 18-132 (The Getaway)
CVI Investors, LLC, Property Owner
NE Cor. Of Junipero & Ocean
Block: 68, Lot(s): 5-10
APN: 010-094-002
Consideration of Design Review (DR 18-132) for year-round exterior, string lighting around a hotel patio at The Getaway (formerly The Village Inn) located in the Residential and Limited Commercial (RC) Zoning District. **(p. 90)**

5. DS 17-240 (Hall)
Neal Kruse, Designer
Dolores, 2 NE of 2nd Ave
Block: 10, Lot(s): 13-16
APN: 010-126-007
Consideration of a Concept Design Study (DS 17-240) and associated Coastal Development Permit for additions to an existing residence and the demolition and construction of a new detached garage located in the Single-Family Residential (R-1) Zoning District. **(p. 104)**

6. DS 18-066 (Lombardo)
Tony & Susan Lombardo, Property Owners
Lincoln, 2 SW of 5th
Block: 54; Lot: 5
APN: 010-212-020
Consideration of a Concept Design Study (DS 18-066) and associated Coastal Development Permit for the construction of a new, two-story 1,940-square foot single-family residence with basement and attached garage on a vacant lot, located in the Single-Family Residential (R-1) Zoning District. **(p. 138)**

7. DS 18-149 (McCallister)
June Sillano, Architect
Scenic, 3 NW of 8th
Block: C-2; Lot: 11
APN: 010-312-014
Consideration of a combined Concept and Final Design Study (DS 18-149) and associated Coastal Development Permit for additions and modifications to an existing residence located in the Single-Family Residential (R-1) and Beach and Riparian Overlay (BR) Zoning Districts. **(p. 168)**

8. DS 18-110 (Cox)
Darren Davis, Designer
NW Cor. Of Santa Rita & 2nd Ave
Block: 15, Lot(s): 19 & S. ½ of 17
APN: 010-027-009
Consideration of a combined Concept and Final Design Study (DS 18-110) and associated Coastal Development Permit for additions to an existing residence located in the Single-Family Residential (R-1) Zoning District. **(p. 194)**

9. DS 18-137 (Sandvick)
Craig Holdren, Architect
Carmelo, 3 SW of 9th Ave
Block: V, Lot(s): 5
APN: 010-277-003
Consideration of a Concept Design Study (DS 18-137) and associated Coastal Development Permit for the demolition of an existing one-story residence and the construction of a new two-story residence located in the Single-Family Residential (R-1) Zoning District. **(p. 225)**

10. UP 18-113 (All About the Chocolates)
Dennis Joshi, Business Owner
Dolores, 4 SE of Ocean
Block: 12; Lot: 76
APN: 010-146-011
Consideration of a Use Permit (UP 18-113) to expand an existing candy store and add the use of a specialty restaurant (coffee shop) at space located in the Central Commercial (CC) Zoning District. **(p. 262)**

11. UP 18-192/DR 18-204 (Sur La Table) Consideration of Use Permit (UP 18-192) and
Jim Hoepfl, Architect Design Review (DR 18-204) applications for a
SW Cor. Ocean & Junipero, Carmel Plaza kitchen supply retail store (Sur La Table) with
Block: 78; Lots: All a space that exceeds 5,000 square feet in size
APN: 010-086-006 and includes cooking classes located in the
Central Commercial (CC) Zoning District.
(p. 275)

I. DIRECTOR'S REPORT

1. Update on Planning Activities

J. BOARD MEMBER ANNOUNCEMENTS

K. ADJOURNMENT

The next meeting of the Planning Commission will be: Wednesday, July 11, 2018

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. Carmel-by-the-Sea City Hall is an accessible facility. The City of Carmel-by-the-Sea telecommunications device for the Deaf/Speech Impaired (T.D.D.) Number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request of the Administrative Coordinator. If you need assistance, please advise the Planning Commission Secretary what item you would like to comment on and the microphone will be brought to you.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning & Building Department located in City Hall, east side of Monte Verde between Ocean & 7th Avenues, during normal business hours.

AFFIDAVIT OF POSTING

I, Marc Wiener, Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln Avenues and the Carmel Post Office.

Dated this 8th day of June, 2018 at the hour of 4:00 p.m.

Marc Wiener, AICP
Community Planning and Building Director



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 13, 2018

To: Chair LePage and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Subject: Consideration of Design Review (DR 18-184) application for a remodel and addition of 2,554 square feet to the Carmel Police Department. The Planning Commission will review this project for the purpose of making recommendations to the City Council on the issuance of the final permit.

Application: DR 18-184 **APN:** 010-096-013
Location: SE Cor. Of Junipero and 4th Avenue.
Block: 48 **Lot(s):** 1, 2, 4 & 6
Applicant/Property Owner: City of Carmel-by-the-Sea

EXECUTIVE SUMMARY:

The City Council is seeking input from the Planning Commission on the design of the proposed remodel and expansion of the Carmel Police Department. The main level of the Police Department Building is 3,720 square feet in size and is proposed to be expanded to 6,274 square feet.

RECOMMENDATION:

Provide recommendations to the City Council on the design.

BACKGROUND AND PROJECT DESCRIPTION:

The Carmel Police Department is located at the southeast corner of Junipero Street and 4th Avenue in the Multi-Family Residential (R-4) Zoning District. The building was constructed in 1966 and requires modernization to accommodate current police needs. Specifically, the dispatch room needs to be reconfigured, and the building needs to be expanded to accommodate adequately-sized evidence processing and property rooms. As conceived, the modernization would also include a utility room, an emergency operations center (EOC)/training room, and additional offices. The building must also be upgraded to meet current building code and Americans with Disability Act (ADA) accessibility requirements.

On November 27, 2017, the City Council considered several schematic design options and directed staff to proceed with the option that renovates 391 square feet inside the building and expands the building by 2,554 square feet. Funding for construction of the project was authorized by the City Council for the Fiscal Year 18/19 Budget and Capital Improvement Plan. Per the City Council's direction, preliminary plans have been prepared for the proposed Police Department renovation. The project has gone before the Forest and Beach Commission for the issuance of a tree removal permit and for recommendations pertaining to trees and landscaping associated with the project. The project is now being referred to the Planning Commission for input on the design before it goes back to the City Council to issue the final permit.

The proposed additions are located on the west and south elevations of the Police Department and have a contemporary-style design with a flat roof. The addition on the west side of the building would be located within the existing planter wall footprint at the property line with no setback, and includes three offices, an EOC/training room, and a possible patio with an open roof. The addition near the southeast corner of the building would be located on an existing patio deck and would include the evidence, property and utility rooms. The existing building exterior finish materials include stucco siding below finished floor grade, aluminum-framed windows, clad with horizontal wood siding, with an option for a stone, stucco or tile below finished floor grade; and would include new aluminum-framed windows and a membrane roof. The north elevation will not be altered, however, the mansard roof will receive new wood-shake roofing and the exterior walls will be repainted. In the interior, the renovation will modify the existing dispatch room, and lobby/conference room, with a new ADA-compliant bathroom.

Forest and Beach Commission Review: On May 10, 2018 the Forest and Beach Commission authorized the removal of 11 'non-significant' trees necessary for the expansion and renovation of the Police Department. The Forest and Beach Commission recommended that staff return with a tree and landscaping planting plan to include a new tree near the northwest corner of the building and 3-4 trees in the sidewalk adjacent to the building, which may require a reconfiguration of the sidewalk curb.

STAFF ANALYSIS:

Zoning District: The subject property is located in the Multi-Family Residential (R-4) District. City Municipal Code Section 17.12.040 states that Residential and Limited Commercial (RC) District design regulations, such as height, floor area, and setbacks apply to new development in the R-4 District. Public facilities are a permitted use in the R-4 Zoning District (CMC 17.08.040).

Zoning Compliance: The proposed project complies with the floor area, building coverage, height, setback, and parking standards as explained below.

Floor Area: The Carmel Police Department is attached to the Public Works building and is technically considered a single 23,370 square-foot building on multiple lots totaling 51,500 square feet. The maximum allowed floor area is 80% of the lot size or 41,200 square feet. With the proposed additions, the building would be expanded to 22,572 square feet and is well below the allowed floor area for this property.

Of important note is that the Police Department Building (not including Public Works) currently contains 3,720 square feet on the main (upper) level and a two-level basement totaling 7,204 square feet. The proposed addition is 2,554 square feet and will expand the main level to 6,274 square feet.

Building Height: The maximum allowed building height in this zoning district is 26 feet. The southwest corner is the tallest portion of the building and would have a height of 23.5 feet with the new addition.

Setbacks: Because this is a corner site, the north property line is considered the “front” property line for setback purposes, and has a minimum required setback of 5 feet. The setback on the north side of the building will be maintained at the existing 22 feet from the north property line, with the exception of a small addition on this elevation, which would have a setback of 17.5 feet.

The new addition to the building in the planter would have a zero setback along the western (side) property line. The Zoning Code requires a 5 foot side setback for at least 50% of the lot, while the remaining 50% can be at the property line. The project site is comprised of several lots, and the proposed addition meets the 50% side-yard setback standards when considering the entire property.

The setback on the south (rear) elevation would be reduced from 95 to 77 feet from the south property line. The design complies with the setback standards, which requires a minimum of 10 feet from the south property line.

Design Standards and Guidelines:: The following is a list of pertinent excerpts from the City’s Zoning Code and Commercial Design Guidelines addressing development in the Commercial District followed by a Staff response on how the project addresses each standard.

The basic standard of review in the commercial district is whether the project constitutes an improvement over existing conditions – not whether the project just meets minimum standards. (CMC 17.14.100)

Staff Response: In staff's opinion, the project would be a an improvement over the existing conditions. The proposed renovation will improve the aesthetics of the building, while enhancing the functionality and accessibility.

Commercial Design Guideline Section A states that: *"Modifications to buildings should respect the history and traditions of the architecture of the commercial districts."* and *"New Buildings should not imitate styles of the past but strive to achieve compatibility with the old."*

Guidelines Section E states that *"building materials and colors should respect traditions already established in the commercial district. The use of richly detailed wood, tile, molding, corbels, brick and stone are encouraged."*

Staff supports the contemporary-style (modern) design of the building and concludes that it is consistent with the Commercial Design Guidelines. The proposed design is compatible with the surrounding neighborhood and does not imitate styles of the past, which may be typical of other architectural styles such as Spanish or European revival.

The proposal for horizontal wood siding is appropriate for this building and consistent with the Design Guideline recommendation for natural materials. The Commission should consider whether the base should consist of stone, stucco or tile. The architect will bring material samples to the meeting for the Planning Commission to review.

Commercial Design Guideline A.8 recommends avoiding the use of mansard roofs. While the proposed mansard roof will not be completely eliminated, it will be screened by the new additions will be much less visible to the public way, with the exception of the north elevation.

Commercial Design Guideline E sates that *"improvements to property that incorporate trees and other living plant materials attractively arranged and maintained are desirable."* Furthermore, Design Guideline A.6 states that *"long blank walls should be avoided and building facades should be broken up visually to reflect the rhythm of typical storefronts, i.e. alterations, entrances, offsets every twenty or thirty feet."*

The Forest and Beach Commission reviewed the project and recommended that 3-4 new trees be planted in the sidewalk and one at the northwest corner of the building. However, it should be noted that there is currently a planter with several small trees on the west side of the building that will be eliminated with the expansion. As an option, the architect could potentially set the building back a few feet from the west elevation without significantly compromising the office space. This would soften the building mass through landscaping and setback

accommodations. While it is not within the purview of the Planning Commission to consider cost, it is important to note that the current proposal to build the structure at the property line would make use of an existing foundation wall. Shifting the addition back by a few feet will require a new foundation.

In addition to setting back the west elevation wall a few feet, the enclosed patio located at the northwest corner of the building could also potentially be eliminated from the design. This would shorten the wall length of the west elevation from 76 to 54 feet and would reduce the building mass near the edge of the property. The Planning Commission should provide input on these design options.

Environmental Review: The project qualifies for a Class 32 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development Projects) of the State CEQA Guidelines. Class 32 exemptions consist of projects characterized as in-fill development meeting the conditions described in Section 15332. The project is consistent with the General Plan and Zoning design standards for the Multi-Family Residential (R-4); the project is located within the city limits on an 51,500 square foot-lot and is surrounded by urban uses; the project site has no value as habitat for endangered, rare or threatened species; the project would not result in any significant effects related to traffic, noise, air quality or water quality; and, the project site can be adequately served by all required utilities and public services. Furthermore, no additional trip generation is anticipated; as the use of the building is being maintained as a police department and no additional staffing is being added in response to the expansion of the building.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Project Plans



Photo 1. Carmel PD south elevation



Photo 2. Carmel PD looking northeast

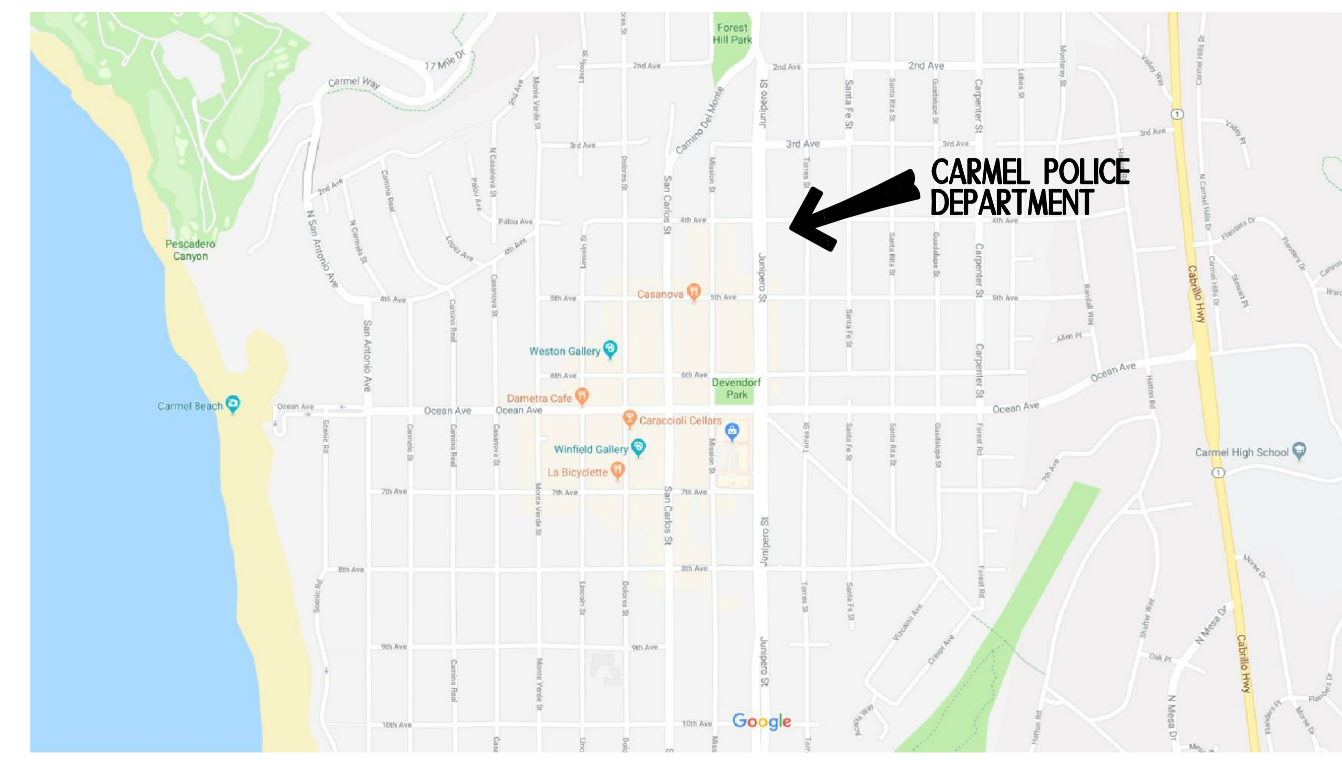


PD west elevation



Photo 3. PD north elevation

LOCATION MAP



PROJECT DATA

- PROJECT: ADDITIONS AND RENOVATIONS, CITY OF CARMEL-BY-THE-SEA POLICE DEPARTMENT
- LOCATION: JUNIPERO ST. AND 4TH AVE., CARMEL-BY-THE-SEA, CALIFORNIA
- BUILDING OWNER: CITY OF CARMEL-BY-THE-SEA
P.O. BOX CC, CARMEL-BY-THE-SEA, CA 93921 831-620-2054
- ASSESSOR'S PARCEL NUMBER: 010-096-013
- ZONING: R-4 - EXISTING, NO CHANGE
- LOT SIZE: 51,500 SF - EXISTING, NO CHANGE
- BUILDING SITE COVERAGE: 30,641 EXISTING
40,444 PROPOSED
- OCCUPANCY: "B" (EXISTING AND NEW); "S-2" (ENCLOSED GARAGE)
- CONSTRUCTION TYPE: V-B
- NUMBER OF STORIES: 2 STORIES, PLUS BASEMENT
- BUILDING AREA: 22,084 SF EXISTING
24,630 SF PROPOSED
- FIRE SPRINKLER SYSTEM: FIRE SPRINKLER NEW ADDITIONS ONLY
- FIRE ALARM SYSTEM: EXISTING MONITORED SYSTEM, NEW ADDITIONS TO TIE IN
- CODES:
 - 2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART I, TITLE 24 C.C.R.
 - 2016 CALIFORNIA BUILDING CODE, VOLUMES 1 & 2; PART 2, TITLE 24 C.C.R.
 - 2016 CALIFORNIA ELECTRICAL CODE; PART 3, TITLE 24 C.C.R.
 - 2016 CALIFORNIA MECHANICAL CODE; PART 4, TITLE 24 C.C.R.
 - 2016 CALIFORNIA PLUMBING CODE; PART 5, TITLE 24 C.C.R.
 - 2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.
 - 2016 CALIFORNIA ENERGY CODE, PART 6
 - 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R.
 - TITLE 19, C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
 - 2016 NFPA 13 & NFPA 12 - NATIONAL FIRE ALARM CODE (CA. AMENDED)
 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- COMPLIANCE WITH CFC CHAPTER 14, FIRE SAFETY DURING CONSTRUCTION & DEMO AND CFC CHAPTER 33, SAFETY DURING CONSTRUCTION WILL BE ENFORCED.
- THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.

PROJECT SUMMARY

	EXISTING	PROPOSED	NOTES:
LOT AREA:	51,500 SF	NO CHANGE	LOT FOR POLICE DEPT. AND PUBLIC WORKS ONLY.
FLOOR AREA			
POLICE DEPT. GROUND FLOOR:	3,120 SF	6,214 SF	BUILDING IN SCOPE
POLICE DEPT. 1ST BASEMENT:	3,602 SF	NO CHANGE	
POLICE DEPT. 2ND BASEMENT:	3,602 SF	NO CHANGE	
PUBLIC WORKS GARAGE:	12,046 SF	NO CHANGE	
PUBLIC WORKS OFFICE:	350 SF	NO CHANGE	
TOTAL:	23,310 SF	25,924 SF	
LOT COVERAGE:	20,846 SF	22,512 SF	
IMPERVIOUS SURFACE:	17,806 SF	15,734 SF	
SETBACKS:			
FRONT:	35'-0" & 5'-0"	NO CHANGE	PER CITY STANDARDS, LONGER OF 2 SIDES FOR CORNER LOT: 4TH AVENUE
REAR:	0'-0"	NO CHANGE	
SIDE (TORRES):	VARIES 0'-0" TO 100'-0"	NO CHANGE	
SIDE (JUNIPERO):	VARIES 15'-6" TO 36'-0"	VARIES 0'-0" TO 36'-0"	
GRADING:	N/A		

ABBREVIATIONS

- AB. ANCHOR BOLT
- ACC. ACCESSIBLE
- ADJ. ADJUSTABLE, ADJACENT
- A.F.F. ABOVE FINISHED FLOOR
- ARCH. ARCHITECT, ARCHITECTURAL
- BLKG. BLOCKING
- BM. BEAM
- B.V. BOTTOM
- CL. CENTERLINE
- CLG. CEILING
- C.J. CONSTRUCTION JOINT
- D. DEEP
- DET, DTL. DETAIL
- DEMO. DEMOLISH, DEMOLITION
- D.F. DOUGLAS FIR
- DN. DOWN
- DR. DOOR
- D.S. DOWNPOUT
- E. EAST
- (E). EXISTING
- E.J. EXPANSION JOINT
- ELEC. ELECTRICAL
- EQ. EQUAL
- EXP. EXPANSION, EXPOSED
- F.B.O. FURNISHED BY OWNER
- F.H. FIRE HYDRANT
- FL, FLR. FLOOR
- F.O. FACE OF
- F.O.S. FACE OF STUD
- GA. GAUGE
- G.C. GENERAL CONTRACTOR
- G.I. GALVANIZED IRON
- G.H.B. GYPSUM WALL BOARD
- GYP BD. GYPSUM WALL BOARD
- H. HIGH
- HDWD. HARDWOOD
- H.M. HOLLOW METAL
- HT. HEIGHT
- INCL. INCLUDING
- I.B.C. INSTALL BY CONTRACTOR
- INSUL. INSULATION
- INV. INVERT
- JT. JOINT
- LAM. LAMINATE
- MAX. MAXIMUM
- M.B. MACHINE BOLT
- MECH. MECHANICAL
- MFR. MANUFACTURER
- MIN. MINIMUM
- MTL. METAL
- N. NORTH
- (N). NEW
- N.I.C. NOT IN CONTRACT
- N.T.S. NOT TO SCALE
- O/. OVER
- O.G. ON CENTER
- O.C.E.M. ON CENTER EACH WAY
- P.A.F. POWDER ACTUATED FASTENER
- P.H. PAINT HARDWARE
- P.I.P. POURED IN PLACE
- PT. POINT
- P.T.D.F. PRESSURE TREATED DOUGLAS FIR
- PTN. PARTITION
- RAD. RADIUS
- R.F. REINFORCING
- RM. ROOM
- R.O. ROUGH OPENING
- S. SOUTH
- S.B. SOLID BLOCKING
- S.C. SOLID CORE
- S.S. STAINLESS STEEL
- SHTG. SHEATHING
- SIM. SIMILAR
- STRUC. STRUCTURAL
- SYM. SYMMETRICAL
- T&G. TONGUE AND GROOVE
- THK. THICK
- T.O., T/TYP. TOP OF TYPICAL
- U.O.N. UNLESS OTHERWISE NOTED
- V.B. VAPOR BARRIER
- V.I.F. VERIFY IN FIELD
- W. WEST, WIDE
- W. WITH
- W/O. WITHOUT
- W.O. WHERE OCCURS
- W.W.F. WELDED WIRE FABRIC

LIST OF DRAWINGS

- ARCHITECTURAL**
- A0.1 TITLE SHEET
 - A1.1 EXISTING SITE PLAN
 - A1.2 PROPOSED SITE PLAN
 - A2.1 DEMO FLOOR PLAN - 2ND BASEMENT
 - A2.2 PROPOSED FLOOR PLAN - 2ND BASEMENT
 - A2.3 DEMO FLOOR PLAN - 1ST BASEMENT
 - A2.4 PROPOSED FLOOR PLAN - 1ST BASEMENT
 - A2.5 DEMO FLOOR PLAN - GROUND FLOOR
 - A2.6 PROPOSED FLOOR PLAN - GROUND FLOOR
 - A2.7 ROOF PLAN
 - A2.10 SCHEDULES
 - A3.0 STREET ELEVATIONS
 - A3.1 EXISTING BUILDING ELEVATIONS
 - A3.2 EXISTING BUILDING ELEVATIONS
 - A3.3 PROPOSED BUILDING ELEVATIONS
 - A3.4 PROPOSED BUILDING ELEVATIONS
 - A3.5 BUILDING SECTIONS
 - A3.6 BUILDING SECTIONS
 - A3.7 BUILDING SECTIONS
 - A4.10 REFLECTED CEILING PLAN - 1ST BASEMENT
 - A4.11 REFLECTED CEILING PLAN - GROUND FLOOR
 - A4.1 DOOR AND WINDOW TYPES

- ELECTRICAL**
- E0.1 SYMBOLS, ABBREV., LIGHT FIXTURE SCHEDULE, CODES, STANDARDS, NOTES & SHEET INDEX
 - E5.2 LIGHTING PLAN - PARTIAL UPPER FLOOR
 - E5.2A LIGHTING PLAN - PARTIAL UPPER FLOOR

GENERAL NOTES:

- SCOPE OF WORK:
 - A. THE RELOCATION OF EXISTING ELECTRICAL AND COMMUNICATION EQUIPMENT NEAR THE DISPATCH ROOM INTO THE BASEMENT COMMUNICATIONS ROOM. THE DISPATCH ROOM WILL INCORPORATE THE OLD ELECTRICAL CLOSET AND RECEIVE NEW FLOOR, WALL FINISHES, AND LIGHT FIXTURES AS NECESSARY.
 - B. A NEW BUILDING ADDITION INCLUDING NEW PROPERTY ROOM, EVIDENCE ROOM AND ASSOCIATED STORAGE ROOMS LOCATED IN THE EXISTING RAISED PLANTER AREA AT THE SOUTHWEST CORNER OF THE POLICE STATION.
 - C. A NEW BUILDING ADDITION INCLUDING OFFICES AND AN E.O.G. AND TRAINING ROOM LOCATED IN THE EXISTING RAISED PLANTER AREA AT THE SOUTHWEST CORNER OF THE POLICE STATION.
 - D. A NEW EGRESS CORRIDOR AND DOORS FROM THE BASEMENT LEVEL.
 - E. ADA UPGRADES TO THE MAIN ACCESSIBLE ENTRANCE.
 - F. A NEW ACCESSIBLE RESTROOM AND;
 - G. HAZMAT TESTING AND ABATEMENT IN THE EXISTING E.O.G. LOCATED ON THE FIRST BASEMENT LEVEL.
- ALL BIDDERS SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. VERIFY ALL GOVERNING DIMENSIONS AND EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF THIS WORK IS IN ANY WAY DEPENDENT. REPORT IN WRITING TO THE ARCHITECT IF ANYTHING IS FOUND THAT DEVIATES FROM THESE DRAWINGS.
- DO NOT SCALE THE DRAWINGS. IF UNABLE TO DETERMINE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING.
- PERFORM ALL WORK IN ACCORDANCE WITH THE RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION. CONFORM TO ALL CITY, COUNTY, STATUTES, AND ORDINANCES. PROMPTLY REPORT ANY DISCREPANCIES AND OMISSIONS IN THE CONTRACT DOCUMENTS TO THE ARCHITECT.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY
- NO WORK IS PROPOSED THAT WILL REQUIRE MODIFICATION TO THE SITE OR IMPACT EXISTING STORM WATER DRAINAGE. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS NOT REQUIRED.
- PROJECT DOES NOT INCLUDE ASBESTOS ABATEMENT.
- ALL WORK INDICATED IS INCLUDED IN THE BASE BID U.O.N.
- BID ALTERNATES: NONE

SYMBOLS

- KEYED NOTE
- DETAIL SHEET LOCATION
- SECTION SHEET LOCATION
- ELEVATION SHEET LOCATION
- WALL ELEVATED SHEET LOCATION

PLANNING SUBMITTAL FOR:
ADDITIONS AND RENOVATIONS
AT:
CARMEL POLICE DEPARTMENT

JUNIPERO STREET AND 4TH AVENUE,
CARMEL-BY-THE-SEA, CALIFORNIA

OWNER
CITY OF CARMEL-BY-THE-SEA
P.O. BOX CC
CARMEL-BY-THE-SEA, CALIFORNIA 93921
CONTACT: LISA LEO 831.620.2059

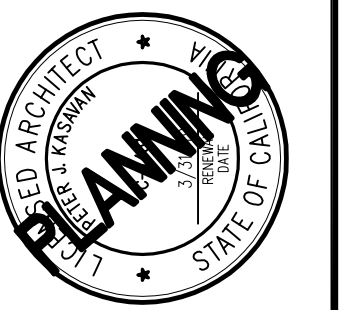
ARCHITECT
KASAVAN ARCHITECTS
60 W. MARKET STREET, SUITE 300
SALINAS, CALIFORNIA 93901
831.424.2232

MECHANICAL/PLUMBING ELECTRICAL
AXIOM ENGINEERS
22 LOWER RAGSDALE DR., SUITE A
MONTEREY, CALIFORNIA 93940
831.649.8000

AURUM CONSULTING ENGINEERS, INC.
60 GARDEN COURT, SUITE 210
MONTEREY, CALIFORNIA 93940
831.646.3330

STRUCTURAL
DONALD C. URFER & ASSOCIATES, INC
2715 PORTER STREET
SOQUEL, CALIFORNIA 95073
831.476.3681

KASAVAN ARCHITECTS
60 W. Market St., Suite 300
Salinas, California 93901
Voice 831.424.2232 Fax 831.424.2501



CONSULTANTS

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REVISIONS:

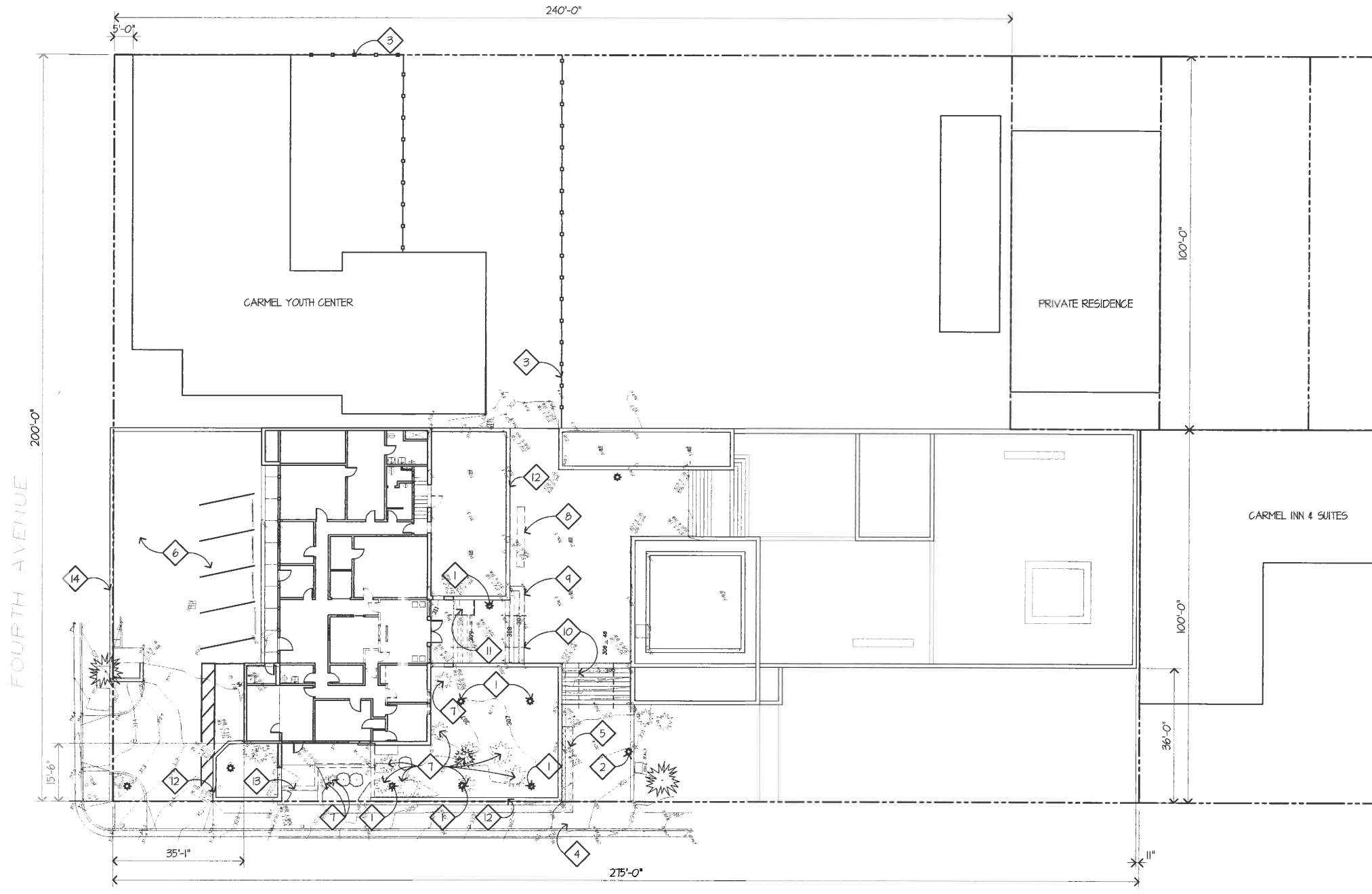
DESCRIPTION
CITY OF CARMEL-BY-THE-SEA POLICE DEPARTMENT
AT:
JUNIPERO AVE AND 4TH AVE
CARMEL-BY-THE-SEA, CA 93923
TITLE SHEET

SHEET NUMBER

A0.1

DATE: 10 MAY 2018

JOB DRAWN
1112 CADD



GENERAL NOTES

1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
2. SEE SHTS INDICATED AND STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. FOR COMPLETE SCOPE OF WORK.
3. CONTRACTOR SHALL CLEAN ALL EXT. AREAS AT THE END OF EACH WORKDAY.

KEYED NOTES

- 1 (E) SITE LIGHT FIXTURE TO BE REMOVED
- 2 (E) SITE LIGHT FIXTURE TO REMAIN
- 3 (E) 5'-0" H. WOOD PICKET FENCE TO REMAIN
- 4 (E) CONC. WALK TO REMAIN
- 5 REMOVE PORTION OF (E) CONC. WALK FOR NEW PLANTER
- 6 (E) PARKING
- 7 (E) TREE TO BE REMOVED
- 8 (E) BENCH TO BE REMOVED
- 9 (E) CONCRETE STEPS TO BE REMOVED
- 10 (E) NON-ADA HANDRAIL TO BE REMOVED
- 11 (E) CONCRETE LANDING AND RAILING TO BE REMOVED
- 12 (E) CEMENT PLASTER RETAINING WALL TO REMAIN
- 13 (E) CEMENT PLASTER RETAINING WALL TO BE REMOVED
- 14 (E) 4'-0" H. HORIZONTAL WOOD FENCE ON CEMENT PLASTER RETAINING WALL TO REMAIN

LEGEND

- (E) GRADE
- (E) TO BE DEMOLISHED
- (E) TREE, TO REMAIN, U.O.N.
- PATH OF TRAVEL (P.O.T.), AS INDICATED, IS A COMMON BARRIER FREE ACCESS ROUTE W/O ANY ABRUPT VERTICAL CHANGES EXCEEDING 1" AND IS AT LEAST 48" WIDE. THE CROSS-SLOPE DOES NOT EXCEED 2% & SLOPE IN THE DIRECTION OF TRAVEL IS 5% MAX. U.O.N.
- PROPERTY LINE

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 San Jose, California 95101
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REVISIONS:

NO.	DESCRIPTION

DESCRIPTION
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE AND 4TH AVE
 CARMEL-BY-THE-SEA, CA 93923
EXISTING SITE PLAN

SHEET NUMBER
A11
 DATE: 18 MAY 2018
 DRAWN BY: 1712
 CHECKED BY: 13
 CADD



SITE PLAN

SCALE: 1/8" = 1'-0"
 20 0 20 40 FEET

1

② BLDG B - GARAGE

AREA / OCCUPANCY:

S-2: GARAGE = 11,160 SF

IF = (F/P - 0.25) W/30 (CBC 506.3.3)

BLDG.	F	P	W	IF
B	215	506	27	0.15

W = (120x25 + 45x30) / 215 = 27
 IF = (215/506 - 0.25) 27/30 = 0.67

BASIC ALLOW. AREA / FLOOR

S-2 = 13,500 SF

Aa = A_T + (NS x IF) (CBC 506.2.1)

OCCUP.	A _T	NS	IF	Aa (SF)
S-2	13,500	13,500	0.15	15,525

S-2 A_a = 13,500 + (13,500 x 0.15)
 = 13,500 + (2,025)
 = 15,525 SF

① BLDG A - POLICE STATION/OFFICES/TRAINING

UPPER FLR AREA/OCCUPANCY:

B: OFFICES = 6,274 SF

INTERMEDIATE FLR AREA/OCCUPANCY:

B: OFFICES = 3,602 SF

BASEMENT AREA/OCCUPANCY:

B: OFFICES = 3,602 SF

IF = (F/P - 0.25) W/30 (CBC 506.3.3)

BLDG.	F	P	W	IF
A	207	420	30	0.24

W = 30
 IF = (207/420 - 0.25) 30/30 = 0.24

BASIC ALLOW. AREA / FLOOR

B = 9,000 SF

TOTAL ALLOW. AREA / FLOOR

B = 11,160 SF

Aa = [A_T + (NS x IF)] x S_a (CBC 506.2.3)

OCCUP.	A _T	NS	IF	Aa (SF)	S
B	9,000	9,000	0.24	15,525	2

B A_a = [9,000 + (9,000 x 0.24)] x 2
 = [9,000 + (2,160)] x 2
 = 11,160 x 2
 = 22,320 SF

BUILDING ANALYSIS

BLDG. (STORY)	HEIGHT (FT)	ALLOW. HEIGHT (FT)	OCCUP.	CONST. TYPE	ACTUAL AREA PER FLR (SF)	ALLOWABLE AREA (PER FLOOR)		REMARKS
						BASIC (SF)	TOTAL (SF)	
A (2)	27'	40'	B	V-B	6,274	9,000	SEE NOTE ①	3 HOUR FIRE WALL BWN BLDG A & BLDG B. IF APPEARS THERE ARE (E) PENETRATIONS THAT DO NOT MEET THE REQUIREMENTS, NEEDS EVALUATION
B (0)	7'-4"	40'	S-2	V-B	12,046	13,500	SEE NOTE ②	BASEMENT

FIRE RESISTANCE RATING

FIRE RESISTANCE RATING FOR BLDG ELEMENTS (TBL 601)							
CONST. TYPE	PRIMARY STRUCT. FRAME	BEARING WALLS EXTERIOR	BEARING WALLS INTERIOR	NON-BEARING WALLS EXTERIOR	NON-BEARING WALLS INTERIOR	FLOOR & SECONDARY MEMBERS	ROOF & SECONDARY MEMBERS
V-B	0 HR.	0 HR.	0 HR.	0 HR.	0 HR.	0 HR.	0 HR.

GENERAL NOTES

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- CONTRACTOR SHALL CLEAN ALL EXT. AREAS AT THE END OF EACH WORKDAY.

KEYED NOTES

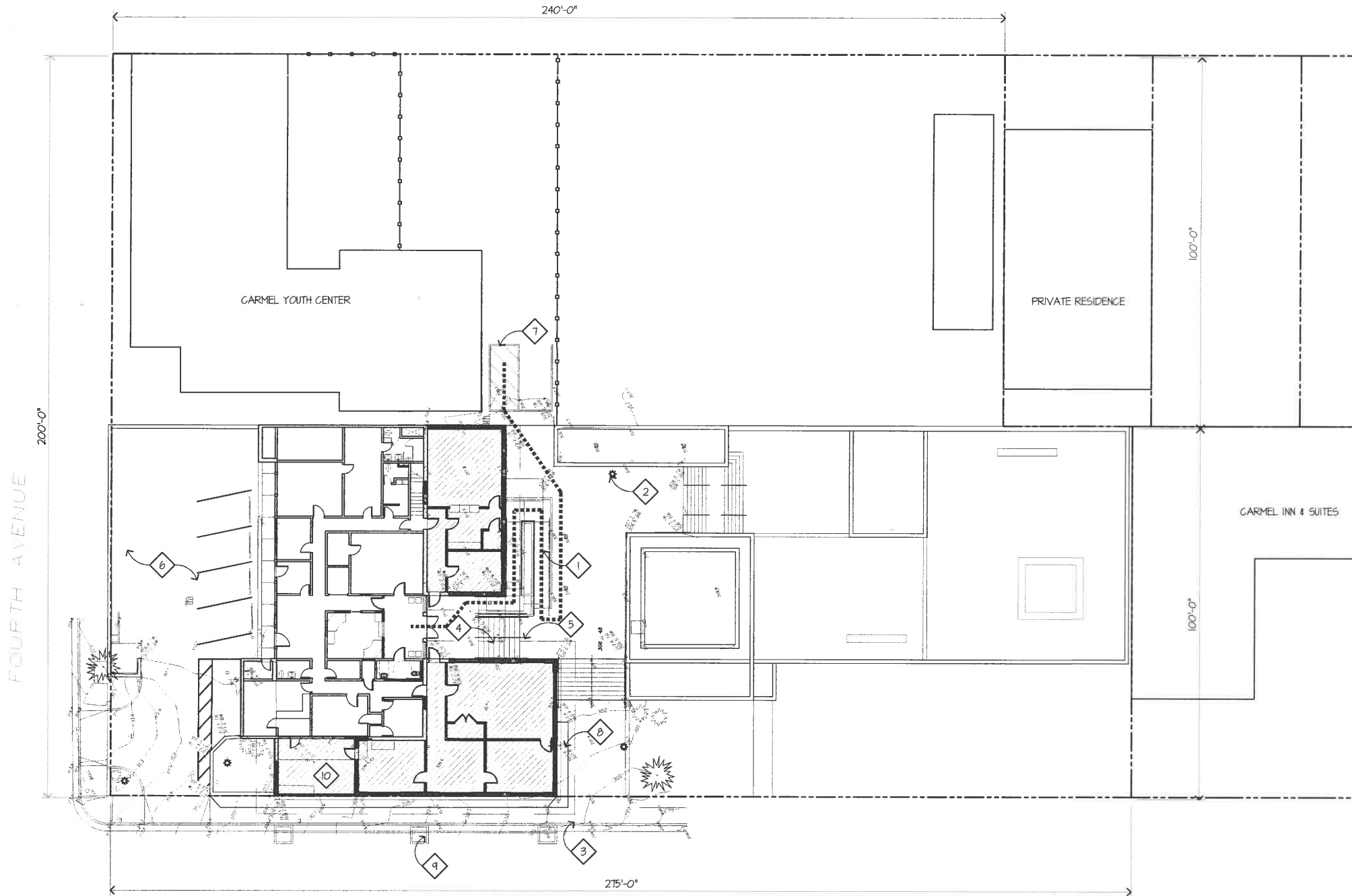
- ① (N) ADA COMPLIANT CONCRETE RAMP, SEE DTL.
- ② (E) LIGHT FIXTURE TO REMAIN
- ③ (E) CONC. WALK TO REMAIN
- ④ (N) CONCRETE STEPS
- ⑤ (N) ADA COMPLIANT RAILING, SEE DTL.
- ⑥ (E) PARKING
- ⑦ (N) ADA VAN PARKING SPACE, SEE DTL.
- ⑧ (N) PLANTING AREA
- ⑨ PROPOSED STREET TREE WELL (3)
- ⑩ (N) PATIO, SEE FLOOR PLAN

LEGEND

- (E) GRADE
- AREA OF NEW ADDITION
- (E) PAVING
- (N) CONCRETE PAVING
- (E) TREE
- PATH OF TRAVEL (P.O.T.), AS INDICATED, IS A COMMON BARRIER FREE ACCESS ROUTE W/O ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/4" AND IS AT LEAST 48" WIDE. THE CROSS-SLOPE DOES NOT EXCEED 2% & SLOPE IN THE DIRECTION OF TRAVEL IS 5% MAX. U.O.N.
- PROPERTY LINE

PARKING TABULATION

LOT:	SPACES			
	STANDARD	STANDARD ACCESSIBLE	VAN ACCESSIBLE	TOTAL
LOT #1: EXISTING	4	0	0	4
LOT #2: (N) VISITOR	0	0	1	1
TOTAL # OF SPACES:				5



SITE PLAN

SCALE: 1/16" = 1'-0"



1

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 San Mateo, California 94061
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 Fax 831.424.2501



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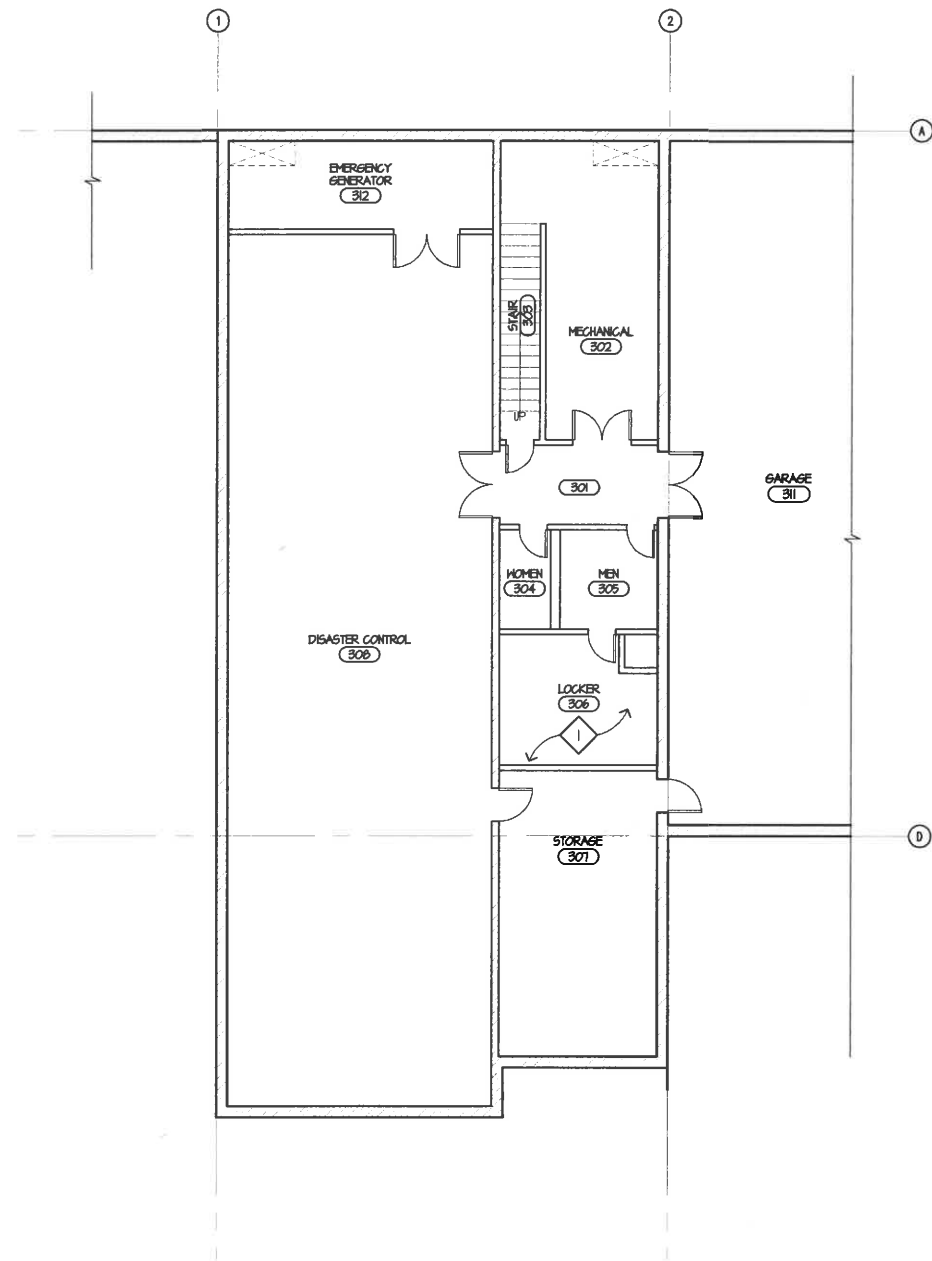
REVISIONS:

DESCRIPTION
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE AND 4TH AVE
 CARMEL-BY-THE-SEA, CA 93923
PROPOSED SITE PLAN

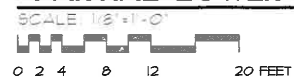
SHEET NUMBER

A12

DATE: 10 MAY 2010
 JOB: 112
 DRAWN: 14
 CADD



PARTIAL LOWER FLOOR PLAN (DEMO)



GENERAL NOTES

1. EVERYTHING SHOWN IS (E) U.O.N.
2. DEMOLITION: REMOVE ALL ITEMS AND FINISHES IN WAY OF (N) WORK

KEYED NOTES

- 1 SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE

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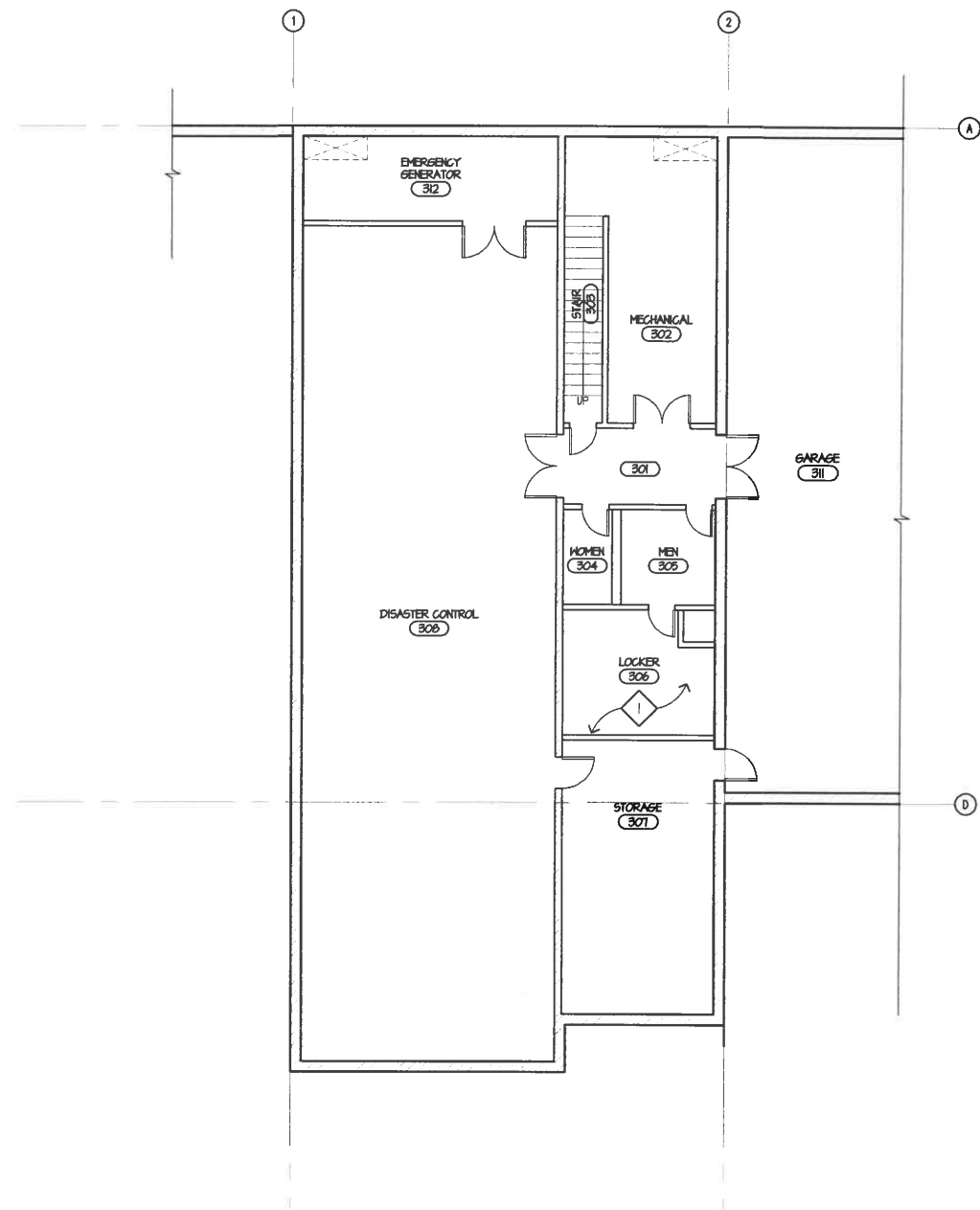
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**CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT**
AT:
JUNIPERO AVE AND 4TH AVE.
CARMEL-BY-THE-SEA, CA 93923
PARTIAL LOWER FLOOR PLAN (DEMO)

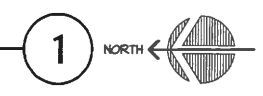
SHEET NUMBER
A2.1
DATE: 10 MAY 2018
JOB: m2 15 DRAWN: CADD



KEYED NOTES
 ⬠ SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE

LEGEND
 — (E) FRAMED WALL, NO CHANGE
 — (E) CONCRETE WALL, NO CHANGE
 — (N) WALL, SEE WALL TYPES, SHT. A--

PROPOSED LOWER LEVEL FLOOR PLAN
 SCALE: 1/8"=1'-0"
 0 2 4 8 12 20 FEET



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 Salinas, California 93901
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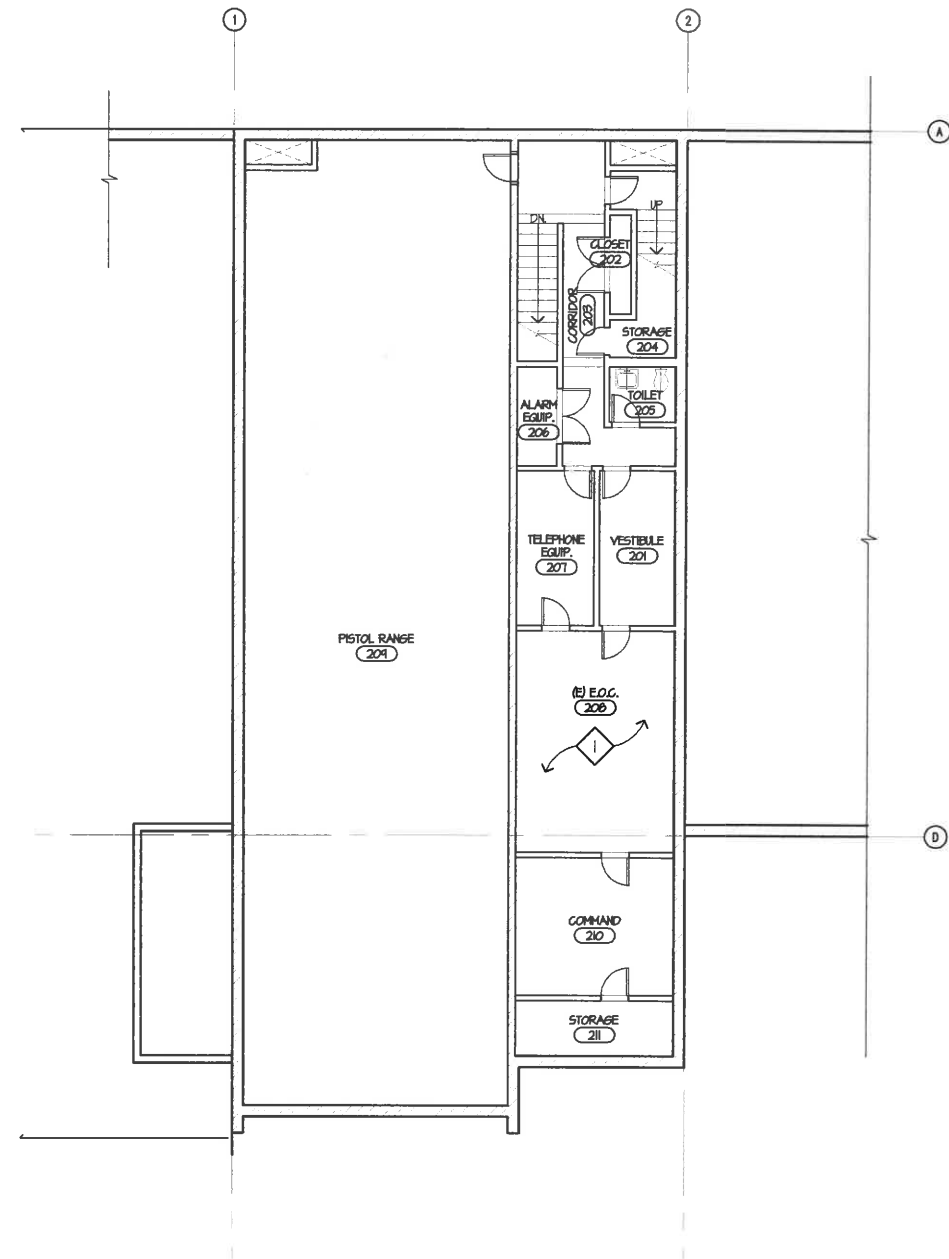


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REVISIONS:

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**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE. AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
PROPOSED LOWER FLOOR PLAN

SHEET NUMBER
A2.2
 DATE: 10 MAY 2010
 16
 CAD



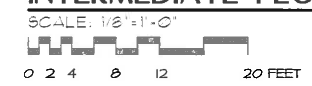
GENERAL NOTES

1. EVERYTHING SHOW IS (E) U.O.N.
2. DEMOLITION: REMOVE ALL ITEMS AND FINISHES IN WAY OF (N) WORK

KEYED NOTES

- 1 HAZMAT ABATEMENT, SEE REPORT AND SPEC

INTERMEDIATE FLOOR PLAN (DEMO)



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 Sausalito, California 94901
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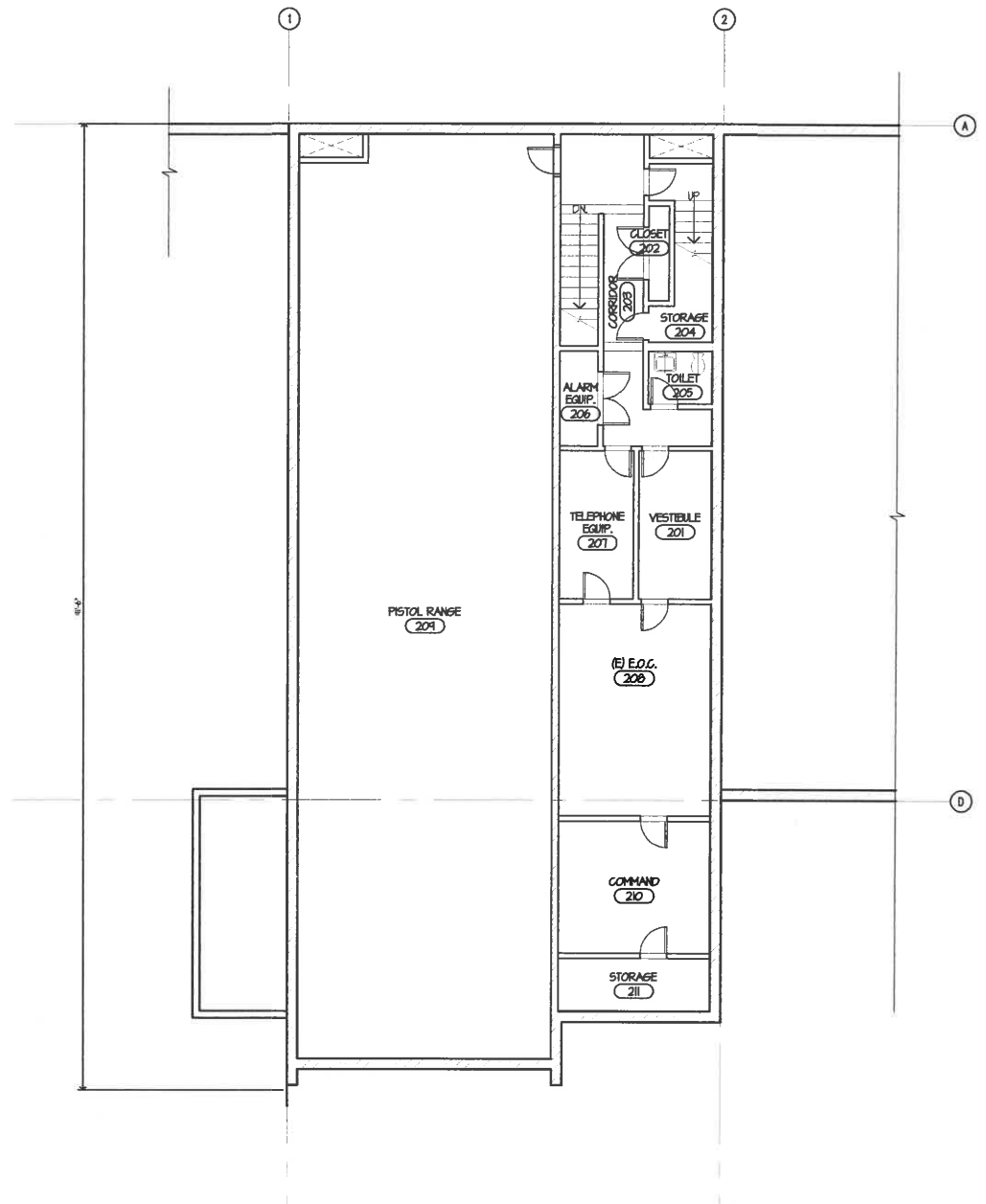
REVISIONS:

DESCRIPTION
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE AND 4TH AVE
 CARMEL-BY-THE-SEA, CA 93923
INTERMEDIATE FLOOR PLAN (DEMO)

SHEET NUMBER

A2.3

DATE: 10 MAY 2010
 JOB: 17
 DRAWN: CADD



KEYED NOTES
 1 SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE

LEGEND
 (E) FRAMED WALL, NO CHANGE
 (E) CONCRETE WALL, NO CHANGE
 (N) WALL, SEE WALL TYPES, SHT. A--

PROPOSED INTERMEDIATE LEVEL FLOOR PLAN
 SCALE: 1/8"=1'-0"
 0 2 4 8 12 20 FEET



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 Voice 831-424-2232 Fax 831-424-2501



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REVISIONS:

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 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
PROPOSED INTERMEDIATE FLOOR PLAN

SHEET NUMBER

A2.4

DATE: 18 MAY 2010

1/12 18 DRAWN: GADD

GENERAL NOTES

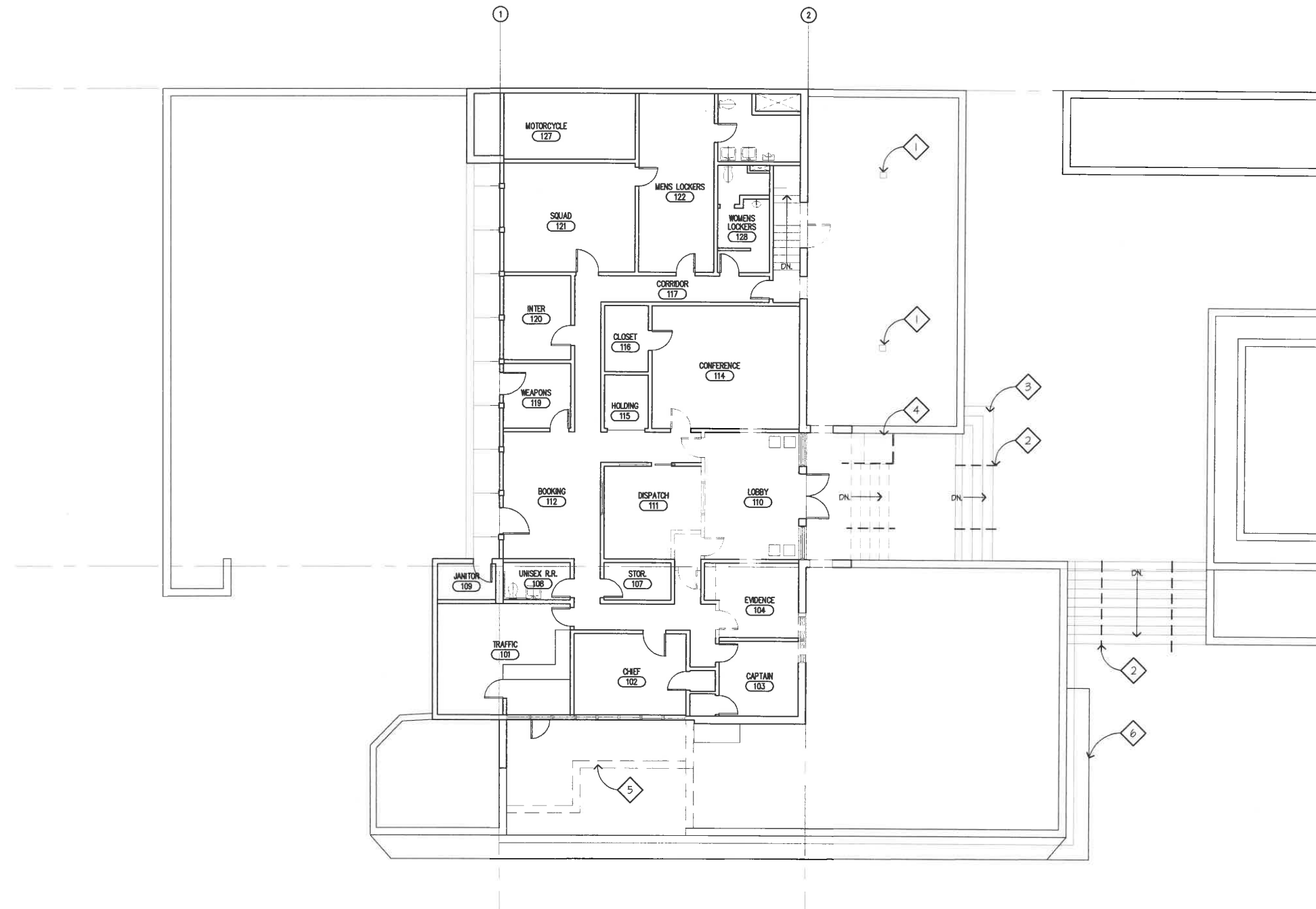
1. EVERYTHING SHOWN IS (E) U.O.N.
2. DEMOLITION: REMOVE ALL ITEMS AND FINISHES IN WAY OF (N) WORK

KEYED NOTES

- 1 (E) DRAIN TO BE CAPPED SEE PLUMBING SHTS.
- 2 (E) RAILING TO BE REMOVED
- 3 (E) STAIRS TO BE REMOVED
- 4 (E) CONCRETE LANDING TO BE REMOVED
- 5 (E) RETAINING WALL TO BE REMOVED
- 6 REMOVE PORTION OF (E) SIDEWALK FOR NEW PLANTER

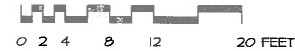
LEGEND

- ==== (E) FRAME WALL, NO CHANGE
- DEMOLITION OF ITEMS PER THIS CONTRACT



UPPER LEVEL FLOOR PLAN (DEMO)

SCALE: 1/8" = 1'-0"



1



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 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
UPPER LEVEL FLOOR PLAN (DEMO)

SHEET NUMBER

A2.5

DATE: 10 MAY 2016

JOB: m2 19 DRAWN: CADD

GENERAL NOTES

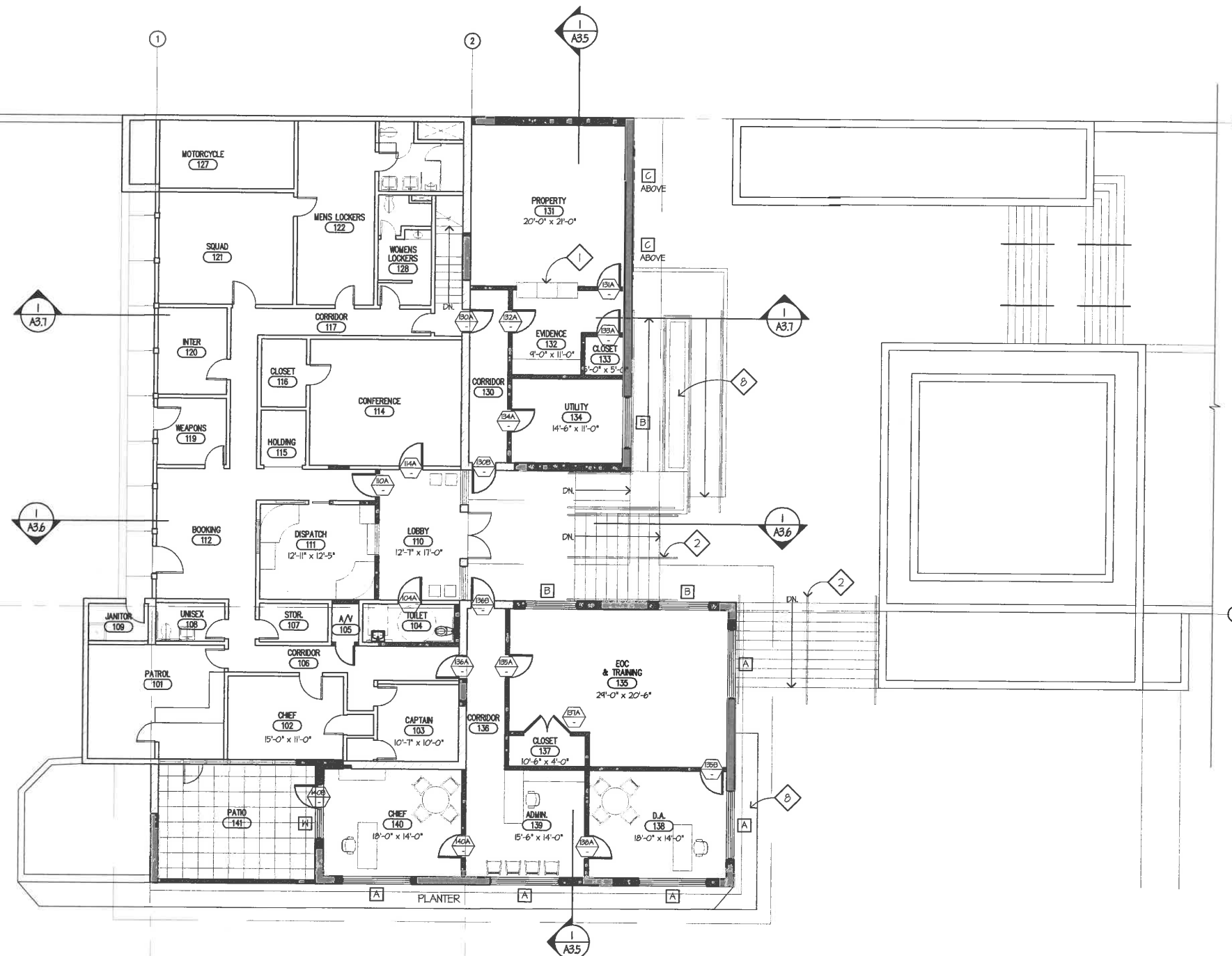
- EVERYTHING SHOWN IS (E) U.O.N.
- DIMS. ARE TO CENTERLINE OF INT. PARTITIONS, U.O.N.

KEYED NOTES

- 1 HEAVY DUTY EVIDENCE LOCKERS, SEE SPEC & INT. ELEVS.
- 2 NEW MTL. HAND RAILS, SEE SITE PLAN
- 3 ELECTRICAL PANELS, SEE ELECT. DWGS.
- 4 FIRE EXTINGUISHER CABINET & 2A10BC FIRE EXTINGUISHER W/ VALID CERTIFICATION TAG ATTACHED.
- 5 FIRE RISER, SEE FIRE PROTECTION DWGS.
- 6 SOFFIT ABOVE, SEE RCPS
- 7 R.W.L. @ GRADE, SEE DTL. 1/A5.B U.O.N.
A. R.W.L. IN WALL, SEE ROOF PLANS & DTL.
B. R.W.L. @ STORM DRAIN, SEE DTL.
- B NEW PLANTER

LEGEND

- (E) FRAMED WALL, NO CHANGE
- (E) CONCRETE WALL, NO CHANGE
- (N) WALL, SEE WALL TYPES, SHT. A-1
- CASEWORK, SEE INT. ELEVS.
- X ROOM ROOM NAME
XXX ROOM NUMBER
- AXX X DOOR NUMBER
X HARDWARE GROUP, SEE SPEC'S.
- X WINDOW - SEE WINDOW TYPES SHT. AT.1



PROPOSED UPPER LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"
0 2 4 8 12 20 FEET

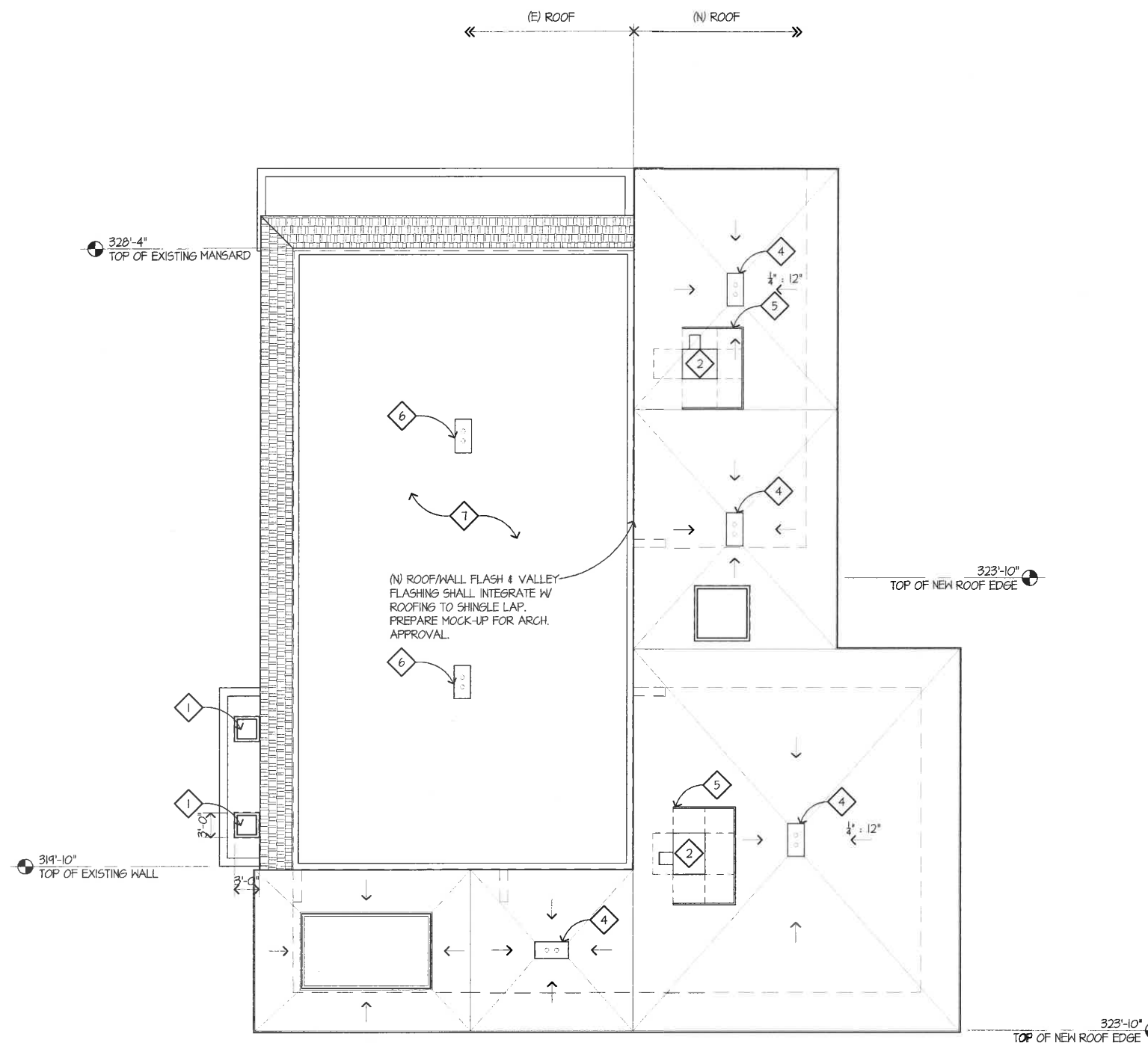


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DESCRIPTION
**CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT**
AT:
JUNIPERO AVE. AND 4TH AVE.
CARMEL-BY-THE-SEA, CA. 93923
PROPOSED UPPER LEVEL FLOOR PLAN

SHEET NUMBER
A2.6
DATE: 18 MAY 2018
JOB: 20 SPARKY
ITZ CAD



GENERAL NOTES

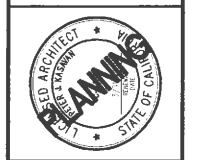
1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.

KEYED NOTES

- 1 (E) SKYLIGHT.
- 2 (N) MECH. EQUIP, SEE MECH. & PLUMB. DWGS.
- 3 (N) PLUMBING VENT, SEE PLUMB. DWGS.
- 4 (N) ROOF DRAIN, SEE PLUMB. DWGS.
- 5 EQUIPMENT SCREEN
- 6 (E) ROOF DRAIN, PROVIDE NEW RIGID INSULATION TO DRAIN
- 7 RE-ROOF

LEGEND

- (N) MEMBRANE ROOFING
- OUTLINE OF BUILDING FOOTPRINT BELOW
- (E) SHINGLE MANSARD ROOFING, REPLACE DAMAGED SHINGLES AS REQUIRED.
- (E) LOW SLOPE ROOFING, REPAIR AS NECESSARY



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REVISIONS:

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**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923

ROOF PLAN

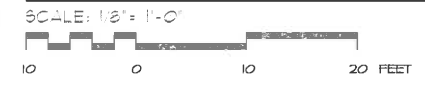
SHEET NUMBER

A2.7

DATE: 10 MAY 2010
 JOB: T12 21 DRAWN: GADD



ROOF PLAN



1

DOOR SCHEDULE

DOOR NUMBER	DOOR TYPE	OPENING SIZE	DETAIL	FIRE RATING	SIGNAGE SEE 3/A6.3	HARDWEAR TYPE	REMARKS
104A	1	3'-0"x7'-0"					
110A	2	3'-0"x7'-0"					
114A	1	3'-0"x7'-0"					
130A	2	3'-0"x7'-0"					
130B	3	3'-0"x7'-0"					
131A	1	3'-0"x7'-0"					
132A	1	3'-0"x7'-0"					
133A	1	3'-0"x7'-0"					
134A	1	3'-0"x7'-0"					
135A	1	3'-0"x7'-0"					
135B	1	3'-0"x7'-0"					
136A	2	3'-0"x7'-0"					
136B	3	3'-0"x7'-0"					
137A	4	6'-0"x7'-0"					
138A	1	3'-0"x7'-0"					
140A	1	3'-0"x7'-0"					
140B	3	3'-0"x7'-0"					

NOTE:
DOOR HARDWARE GROUPS
SEE FLOOR PLANS

AXXX ← DOOR NUMBER
 X ← HARDWARE GROUP

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 Voice 831.424.2232 Fax 831.424.2501



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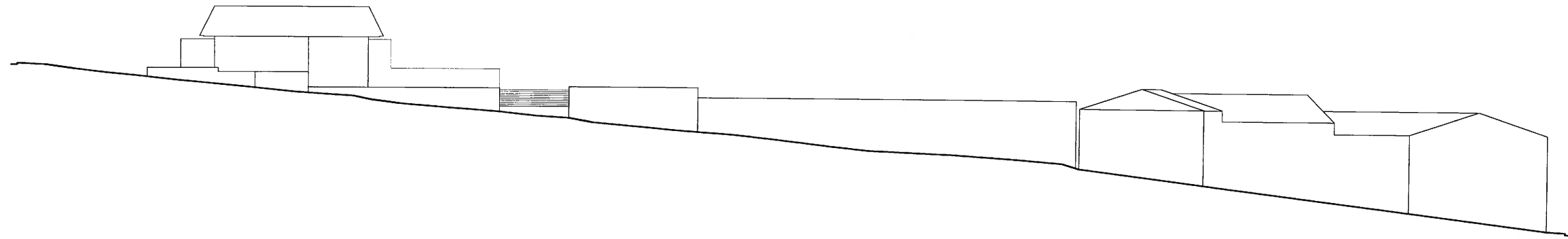
REVISIONS:

DESCRIPTION:
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 JUNIPERO AVE. AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923

SCHEDULES

SHEET NUMBER
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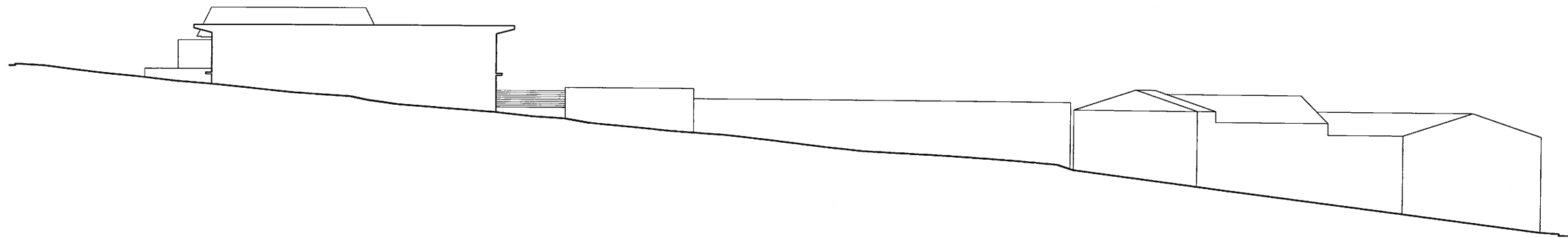
DATE: 18 MAY 2018
 JOB: 1712 22 DRAWN: GADD



EXISTING STREET ELEVATION (JUNIPERO)

SCALE: 1/16"=1'-0"

2



PROPOSED STREET ELEVATION (JUNIPERO)

SCALE: 1/16"=1'-0"

1



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REVISIONS:

DESCRIPTION
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
STREET ELEVATIONS

SHEET NUMBER

A3.0

DATE: 10 MAY 2016

DATE: 28 MAY 2016
 T12 CADD

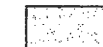
GENERAL NOTES

1. EVERYTHING SHOWN IS (E) U.O.N.

KEYED NOTES



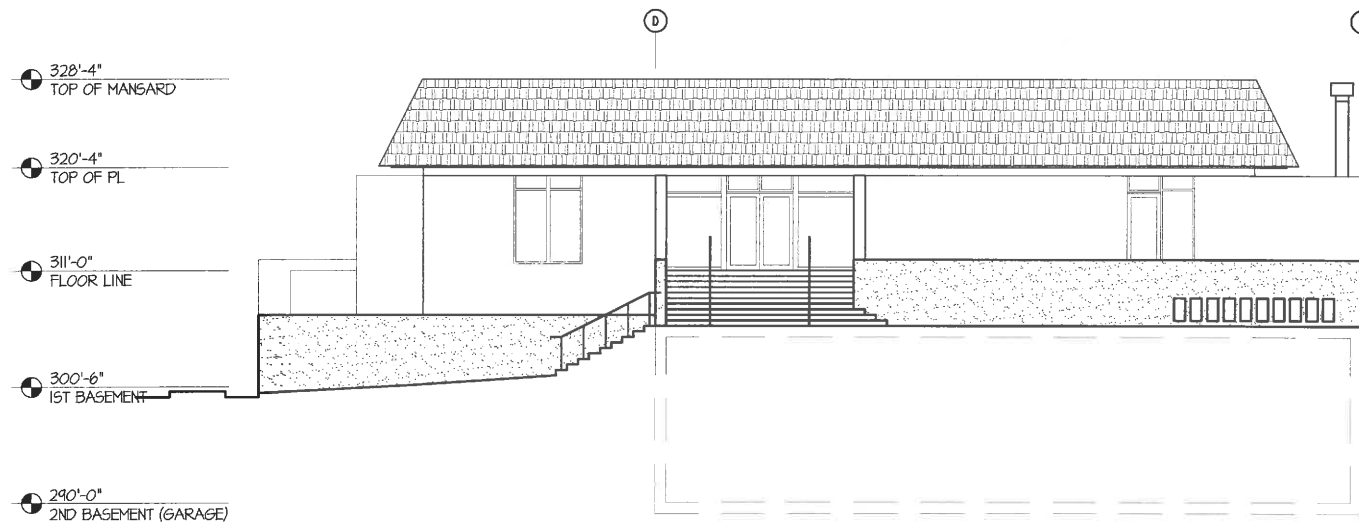
LEGEND



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FINISH: PAINT



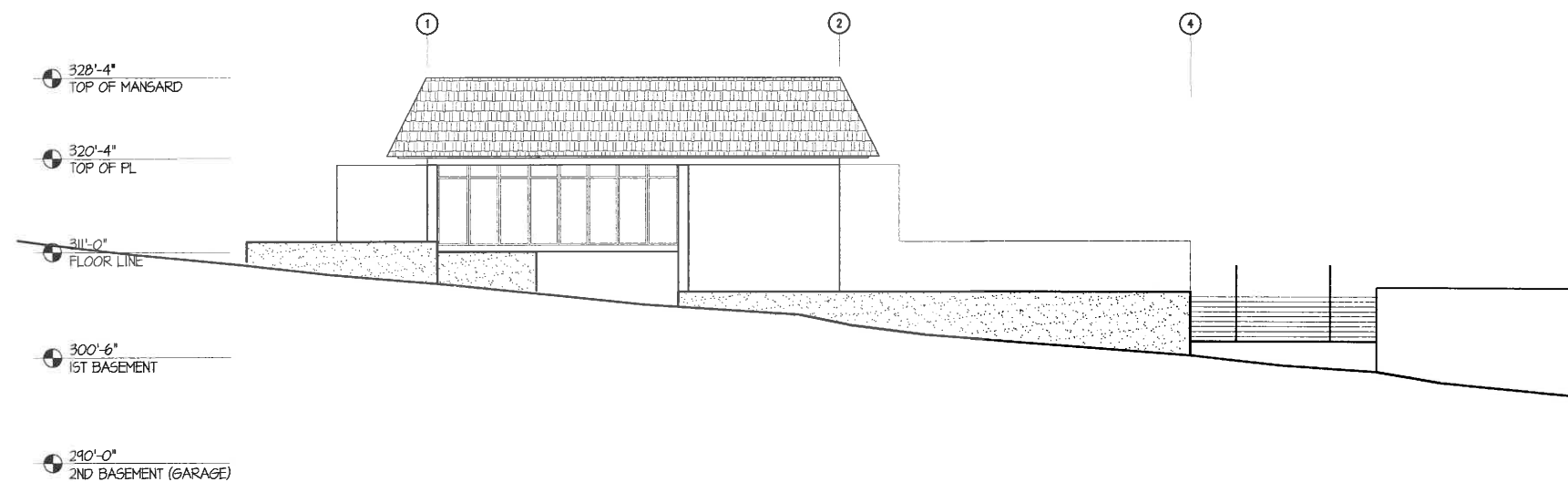
EXISTING SHINGLE ROOFING
FINISH: PENETRATING SEALER



SOUTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

2



WEST EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

1



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POLICE DEPARTMENT**
JUNIPERO AVE AND 4TH AVE.
CARMEL-BY-THE-SEA, CA 93923
EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER

A3.1

DATE: 18 MAY 2018

JOB: m2 24
DRAWN: CADD

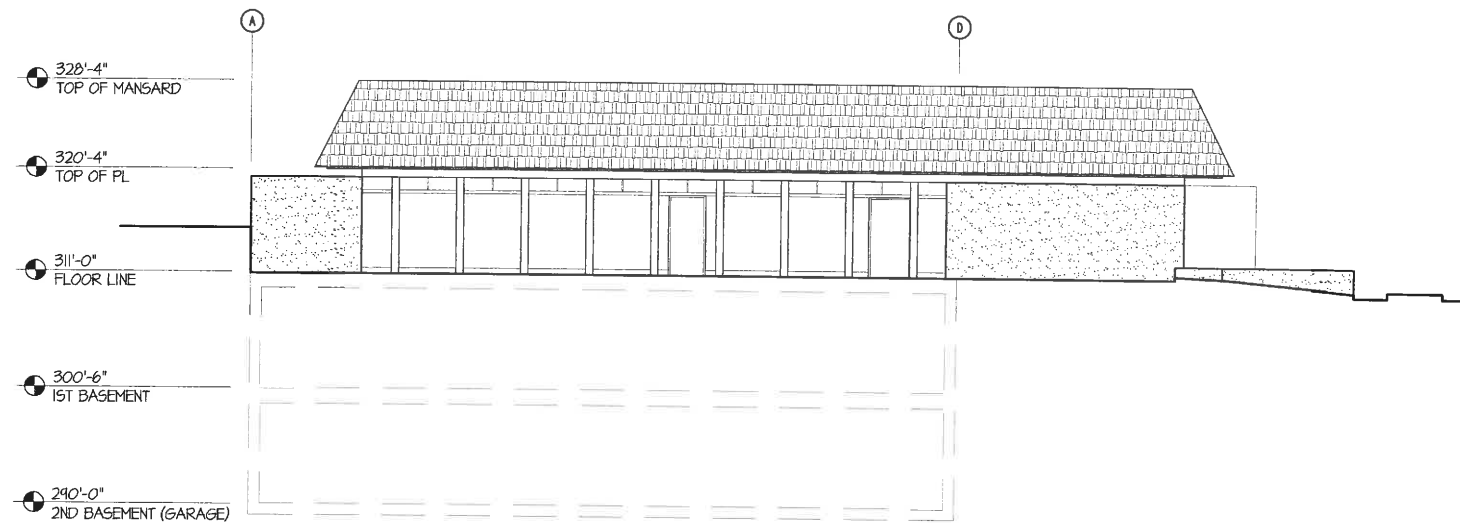
GENERAL NOTES

I. EVERYTHING SHOW IS (E) U.O.N.

KEYED NOTES

1

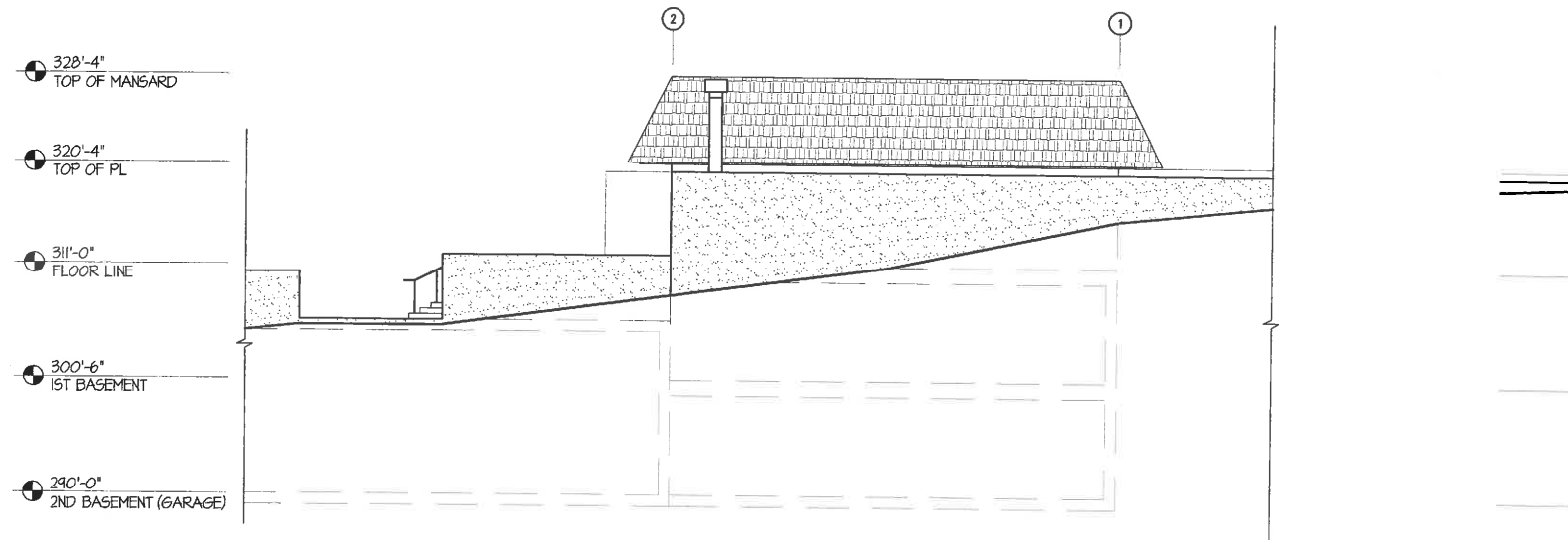
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NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

2





EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

1

LEGEND

-  CEMENT PLASTER
FINISH: PAINT
-  EXISTING SHINGLE ROOFING
FINISH: PENETRATING SEALER

KASAVAN ARCHITECTS
60 W. Market St., Suite 300
Voice 831.424.2232
Salinas, California 93901
Fax 831.424.2501



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DESCRIPTION
**CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT**
AT:
JUNIPERO AVE AND 4TH AVE
CARMEL-BY-THE-SEA, CA 93923
EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER

A3.2

DATE: 10 MAY 2010

JOE [Signature]

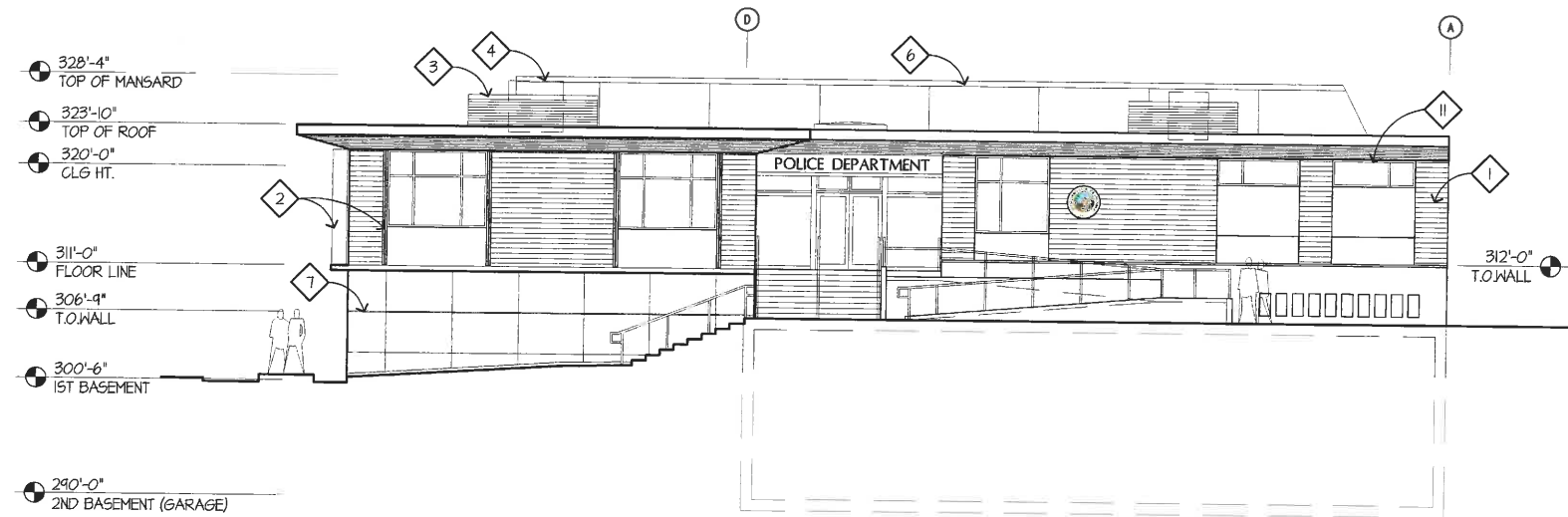
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GENERAL NOTES

I. EVERYTHING SHOWN IS (E) U.O.N.

KEYED NOTES

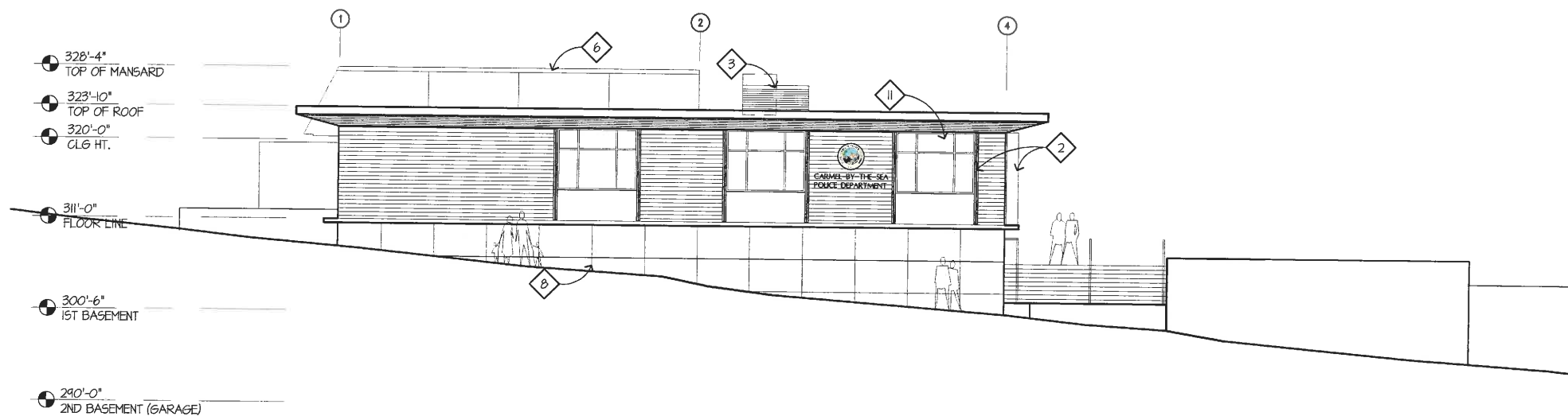
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- 2 GLULAM SHADING DEVICE, STAIN AND SEAL
- 3 MECHANICAL EQUIPMENT SCREEN
- 4 MECHANICAL EQUIPMENT, SEE MECHANICAL DWGS. - FACTORY FINISH
- 5 LIGHTING FIXTURE, SEE ELECTRICAL DWGS.
- 6 MTL. CAP FLASHING, SEE SECTIONS & DTL.- FACTORY FINISH
- 7 CEMENT PLASTER CONTROL JOINT, TYP.
- 8 CEMENT PLASTER EXPANSION JOINT
- 9 SIGNAGE
- 10 HOLLOW METAL DOORS & FRAMES- PAINT
- 11 ALUM. DOORS, FRAMES, WINDOWS- SEE PLANS- FACTORY FINISH
- 12 EXISTING WOOD SHINGLES - REPAIR AS NEEDED AND FINISH TO MATCH (E)



SOUTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

2



WEST EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

1

LEGEND

- CONCRETE COLUMN CURB FINISH: PENETRATING SEALER
- WOOD CLADDING FINISH: PENETRATING SEALER
- CEMENT PLASTER FINISH: PAINT
- EXISTING SHINGLE ROOFING FINISH: PENETRATING SEALER

KASAVAN ARCHITECTS
60 W. Market St., Suite 300
Salinas, California 93901
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**CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT**
AT:
JUNIPERO AVE AND 4TH AVE
CARMEL-BY-THE-SEA, CA 93923
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER
A33
DATE: 18 MAY 2016
JOB: 210
DRAWN: CADD



GENERAL NOTES

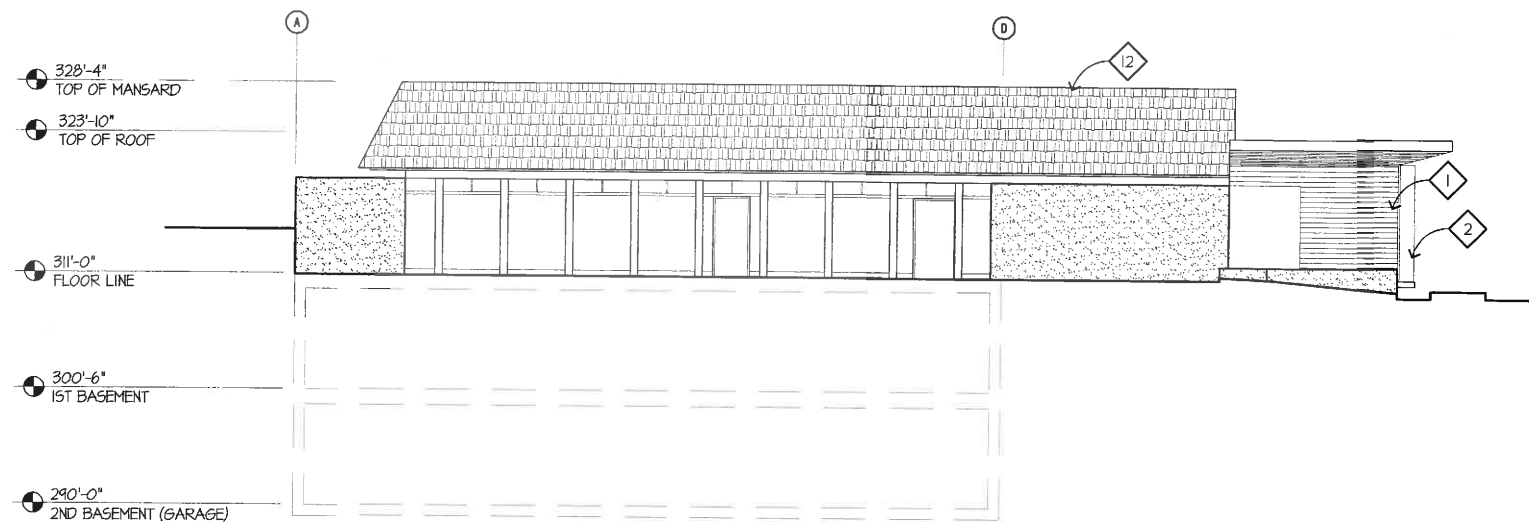
I. EVERYTHING SHOW IS (E) U.O.N.

KEYED NOTES

- 1 EXPOSED CEDAR WOOD SIDING, STAIN AND SEAL
- 2 GLULAM SHADING DEVICE, STAIN AND SEAL
- 3 MECHANICAL EQUIPMENT SCREEN
- 4 MECHANICAL EQUIPMENT, SEE MECHANICAL DWGS. - FACTORY FINISH
- 5 LIGHTING FIXTURE, SEE ELECTRICAL DWGS.
- 6 MTL. GAP FLASHING, SEE SECTIONS & DTL.- FACTORY FINISH
- 7 CEMENT PLASTER CONTROL JOINT, TYP.
- 8 CEMENT PLASTER EXPANSION JOINT
- 9 SIGNAGE
- 10 HOLLOW METAL DOORS & FRAMES- PAINT
- 11 ALUM. DOORS, FRAMES, WINDOWS- SEE PLANS- FACTORY FINISH
- 12 EXISTING WOOD SHINGLES - REPAIR AS NEEDED AND FINISH TO MATCH (E)

LEGEND

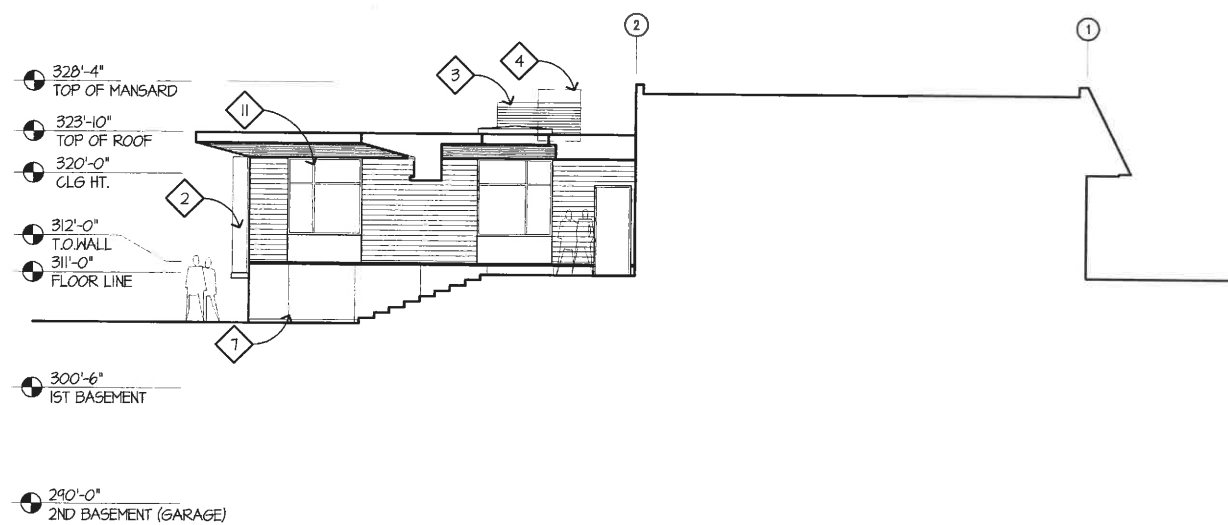
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FINISH: PENETRATING SEALER



NORTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

2



EAST EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

1



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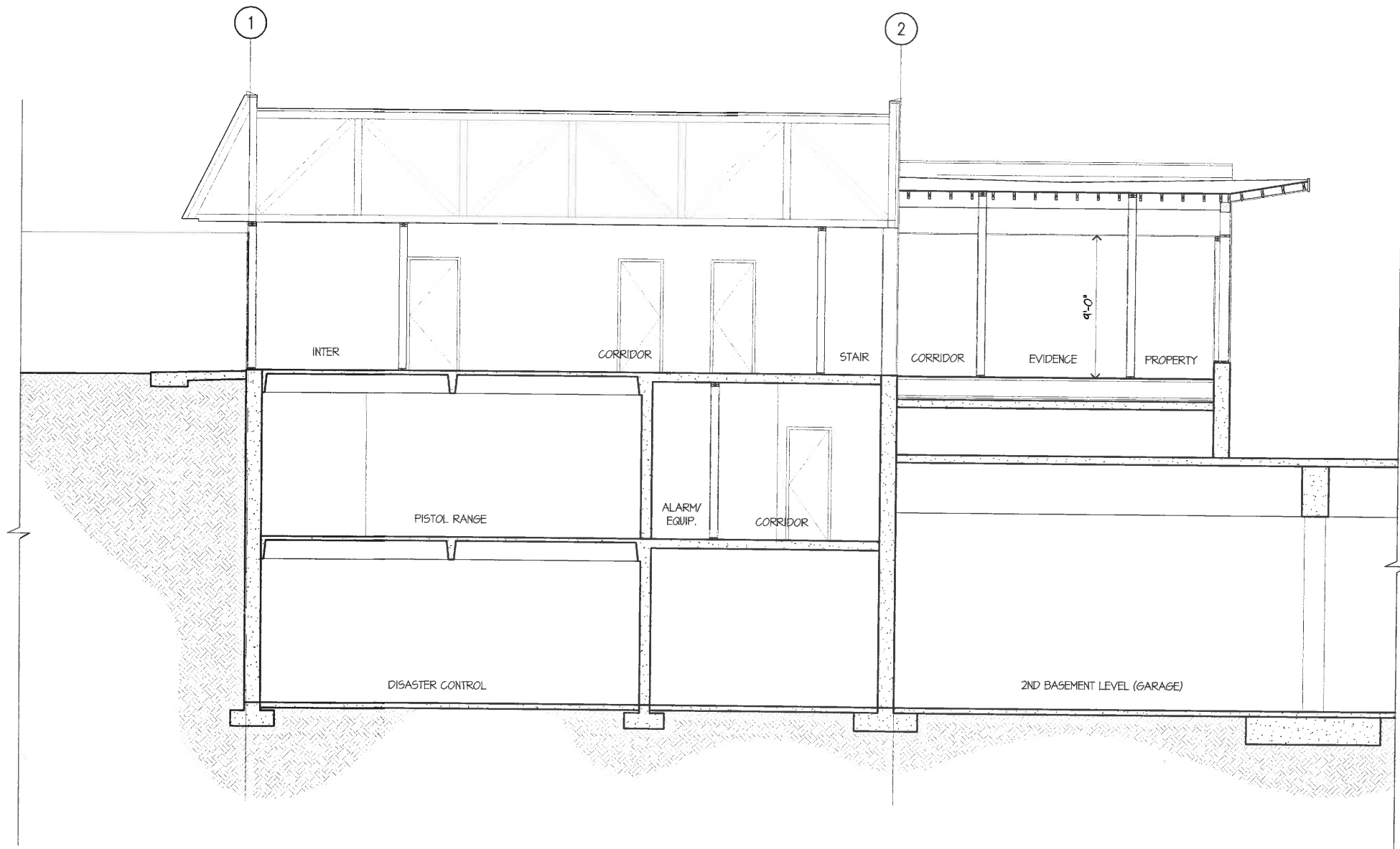
REVISIONS:

DESCRIPTION
**CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT**
AT:
JUNIPERO AVE AND 4TH AVE
CARMEL-BY-THE-SEA, CA 93923
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A3.4

DATE: 16 MAY 2016
1:27 PM
112 CAD



SECTION THROUGH EVIDENCE
SCALE: 1/4" = 1'-0"

1



CONTENTS

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REVISIONS:

DESCRIPTION
**CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT**
AT:
JUNIPERO AVE AND 4TH AVE.
CARMEL-BY-THE-SEA, CA. 93923
BUILDING SECTIONS

SHEET NUMBER

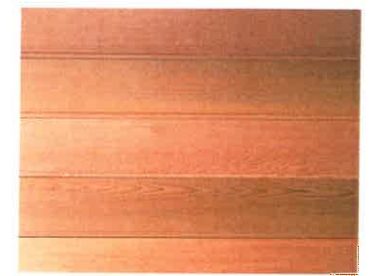
A3.7

DATE: 10 MAY 2010

28 (DRAWN)
M2 (CADD)



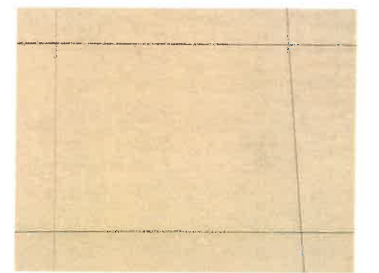
5 ACCENT PLASTER OR PORCELAIN TILE



1 CEDAR SIDING



EXTERIOR CANOPY LIGHTING



2 SMOOTH CEMENT PLASTER



6 EQUIPMENT SCREEN



3 GLULAM SHADING DEVICES



4 ALUMINUM WINDOWS



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 13, 2018

To: Chair LePage and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Marnie R. Waffle, Senior Planner

Subject: Consideration of a Design Review (DR 18-077) for additions to an existing commercial building and alterations to an existing courtyard and intra-block walkway located at Lincoln Lane in the Service Commercial (SC) Zoning District.

Application: DR 18-077

APN: 010-138-019

Location: E/S Lincoln between 5th & 6th Avenues

Block: 55

Lot(s): 10 & 12

Applicant: Adam Jeselnick

Property Owner: Kent & Yvette Ipsen Revocable Trust

EXECUTIVE SUMMARY

The applicant is requesting to construct additions to an existing commercial building and make alterations to an existing courtyard and intra-block walkway located at Lincoln Lane in the Service Commercial (SC) Zoning District. The additions include, a new Americans with Disabilities Act (ADA) restroom accessible from the courtyard; enclosing the existing external staircase/breezeway which provides access to the second floor and serves as an intra-block walkway; expansion of the existing second floor to accommodate a new residential apartment; and, a minor expansion of an existing ground floor office space. A portion of the ground floor commercial space and all of the second floor office space are proposed to be converted to a residential use. The courtyard modifications include Americans with Disabilities Act (ADA) accessibility upgrades, new patios, new hardscape, new residential terrace and relocation of the existing intra-block walkway.

RECOMMENDATION

Staff recommends that the Planning Commission approve the Design Review application subject to the enclosed Findings for Approval and Conditions of Approval (Attachments 2 and 3).

BACKGROUND AND PROJECT DESCRIPTION

The project site is 8,000 square feet in size and is located on the east side of Lincoln Street between 5th and 6th Avenues. The site is developed with two, single-story commercial buildings surrounding a courtyard; the south building includes a two-story element to the rear of the property. An existing intra-block walkway provides a pedestrian connection between Lincoln and Dolores Streets.

Prior Planning Commission Hearing: On May 9, 2018 the Planning Commission reviewed the proposed project and expressed the following concerns:

- 1) The removal of the existing intra-block walkway;
- 2) The loss of existing landscaped areas at the front of the property;
- 3) The conversion of a portion of the courtyard to private residential use; and,
- 4) The appropriateness of the light fixture style.

The Planning Commission continued the project with a request for revisions to address their concerns. Per the Planning Commission's recommendations, the project has been revised to retain the both the intra-block walkway and one of the two landscaped areas at the front of the property. A full analysis of the revised project is provided below.

Project Description: The applicant is proposing to upgrade the courtyard to meet Americans with Disabilities Act (ADA) standards. The ADA upgrades include a new, 70-square foot publicly accessible restroom adjacent to the north building and two new wheelchair lifts (one at the front of the property and the other at the rear of the courtyard). Other improvements to the courtyard include,

- 1) Replacing one of the existing landscape planters along Lincoln Street with a new patio, including replacing the low brick wall with a new stone veneer wall and adding a railing;
- 2) Removing existing trees and raised planters in the center of the courtyard and installing new limestone paving;
- 3) Reconfiguring the outdoor seating including installation of a new, low wall with fire element and a new steel trellis;
- 4) Adding a private terrace to the rear of the courtyard for a new, ground floor residential apartment; and,
- 5) Relocation of the existing intra-block walkway between Lincoln and Dolores in order to provide an enclosed staircase and elevator for access to a new upper floor residential apartment. In order to accommodate the relocation of the intra-block walkway, 213 square feet would be removed from the restaurant building (Building 1).

The project also includes the conversion of 1,047 square feet of ground floor commercial space for a new residential apartment. The ground floor would be expanded by 211 square feet to provide an enclosed staircase and elevator access to the second floor. On the second floor, the

existing 787 square foot office space would be converted to a residential apartment and 209 square feet would be added. In the basement, the existing floor area would be converted from commercial storage to residential use and expanded by 109 square feet. The existing chimney would be removed. A total of two new apartment units would be provided. Lastly, 57 square feet would be added to an existing ground floor office space.

Façade improvements at Lincoln Lane would include, new horizontal wood siding at the second floor to match the siding at the ground floor; a new glass railing at the second floor deck; new stone on the restaurant building (to replace the existing brick); new aluminum clad wood windows painted black; a new slate tile roof; three new skylights; and, new exterior light fixtures (refer to Attachment 4).

STAFF ANALYSIS

Courtyards and Intra-Block Walkways: CMC Section 17.14.170 (Open Space Courtyards and Intra-Block Walkways) provides definitions and standards for courtyards and intra-block walkways. Subsection D states,

“Existing courtyards and intra-block walkways are to be conserved as an essential element of the City’s design character and shall not be removed. All proposals to alter the size, location or configuration of a courtyard or intra-block walkway require review by the Planning Commission. Generally, such changes shall be approved only if the Commission finds that the proposed change would be an improvement over existing conditions such as improving public access, allowing for creation of a new or better link with courtyards or walkways nearby or eliminating a safety hazard.”

The Commercial Design Guidelines encourage courtyards and intra-block walkways as important design features of the commercial district providing pedestrians *“the anticipation of the unusual, swift and gratifying shifts in prospect and often intriguing connecting routes between two or more streets defining a block”*. The Guidelines encourage a continuity of architecture, colors and materials within a courtyard and that the size of the courtyard be compatible with the size of the building site. Lastly, the Guidelines encourage flower boxes under display windows and formal flowerbeds.

Courtyard Modifications: The applicant is proposing modifications to the existing 1,845-square foot courtyard which would update the appearance and improve accessibility to persons with disabilities. New limestone pavers would replace the existing brick throughout the courtyard (refer to Attachment 4, Sheet A5.1 for material sample). Outdoor seating adjacent to the restaurant building would be more clearly defined and covered with a steel trellis. A low wall with integrated fire element would define the edge of the outdoor seating area.

At the rear of the courtyard, the applicant is proposing a new private terrace enclosed with a low stone wall for use by the ground floor residential apartment. The private terrace would be approximately 272 square feet in size and would be partially enclosed by a low 36 inch wall. A fountain is proposed on the west side of the wall (refer to Attachment 4, Sheets A1.1 & A5.1).

Landscaping in the Commercial District: CMC Section 17.14.130 states, *“All site area not counted as building coverage shall be considered open space.”* CMC Section 17.34.080 sets forth the landscape standards for commercial districts and states, *“A minimum of 50 percent of the required open space on each site shall be landscaped. Landscaping may include nonliving materials such as garden benches, water features and patterned paving treatments as long as the combined total area of such plant alternatives is not used as more than 25 percent of the required landscaping on any site. All landscaping improvements shall include upper canopy trees on-site and/or in the sidewalk in front of the property whenever possible.”*

The Commercial Design Guidelines also encourage landscaping in the commercial districts. Guideline G states, *“...site design should provide for additional trees”* and *“permanently installed planter boxes are encouraged”* and *“flower boxes under display windows, hanging baskets of floral displays in intra-block walkways, and forma flowerbeds in courtyards are frequent and encouraged.”*

The applicant is proposing to retain 285 square feet of landscaping on the north side of the courtyard entry and incorporate 21 square feet on the south side of the courtyard entry at the new south patio. Additional opportunities for landscaping within the courtyard include four landscape planters totaling approximately 100 square feet; two of the planters would include fruitless olive trees. Within the private terrace, an additional two fruitless olive trees would be planted and approximately 47 square feet of landscaping would be provided.

Intra-block Walkway: An existing intra-block walkway that provides access between Lincoln and Dolores would be relocated north of the adjacent office space. 213 square feet of the existing restaurant building would be removed to facilitate the relocated walkway. Relocating the intra-block walkway would facilitate enclosing the exterior staircase which would provide access to the second floor residential apartment.

Residential Uses in the Commercial District: Residential Uses up to 22 dwelling units to the acre are a permitted use in the Service Commercial (SC) Zoning District (CMC Section 17.14.030, Schedule II-B). Two new apartment units are proposed on an 8,000-square foot lot resulting in 11 dwelling units to the acre. CMC Section 17.14.040.N (Multi-Family Dwellings) contains the standards for residential units in the commercial districts. The following standards are applicable to this project:

- 1) The minimum size of any residential units shall be 400 square feet.

- 2) For two-unit residential developments, the floor area of the smaller unit shall be at least 40 percent of the size of the larger unit.

The ground floor residential apartment would be 1,258 square feet with a 980-square foot basement. The second floor residential apartment would be 996 square feet. Both units meet the criteria for multi-family dwellings.

CMC Section 17.14.050.F states, *"...all newly constructed second story floor area, including area in new buildings, remodeled buildings and replacement, rebuilt or reconstructed buildings, shall be occupied by residential dwellings only and shall not be used for any commercial land use..."*.

The proposed conversion of commercial floor area on the second floor to a residential use is consistent with this Section.

With regards to the conversion of commercial floor area to a residential use on the ground floor, Staff notes that CMC Section 17.14.050.A states, *"No existing residential dwelling unit shall be converted or demolished unless replacement housing is provided in accordance with the findings established in CMC 17.64.040, Demolition and Conversion of Residential Structures."* CMC Section 17.14.050.G also states, *"No existing residential dwelling unit occupying floor space at any level above the first story of any structure shall be converted to any commercial use."*

Should the Planning Commission approve the conversion of existing ground floor commercial space to an apartment, the residential use would be required to be maintained in perpetuity unless replacement housing was provided.

Floor Area Ratio: The basic floor area ratio allowed for one-story buildings in the SC district is 95 percent of the site area; for two-story buildings it is 135 percent of the site area. Using the more conservative 95 percent floor area ratio for an 8,000 square foot lot, a total of 7,600 square feet is allowed. The proposed project would be 5,957 square feet excluding the basements (7,240 square feet including the two basements). Staff notes that CMC Section 17.14.140 (Floor Area Ratio) excludes underground floor space within a basement when the area is not used for commercial purposes. The project meets the allowable floor area ratio.

Parking: CMC Section 17.38.020.C (Minimum Off-Street Parking) requires 1 parking space for every 600 square feet of commercial floor area and 1 parking space for each permanent residential use. The existing 5,413-square foot commercial building (excluding the 1,298-square foot noncommercial basement) requires 9 parking spaces. There is currently no on-site parking.

The proposed project would have 3,493 square feet of commercial floor area (a reduction of 1,920 square feet) and two permanent residential uses. The required parking for the proposed project would be 8 parking spaces.

Other Improvements: The applicant is also proposing minor modifications to the façade and fenestration of the commercial buildings including new aluminum clad wood windows painted black and new doors. New French doors are proposed on the west elevation to provide access to the new south patio and a new stone veneer would be applied to the south elevation of the vacant restaurant space. Color renderings are provided on Sheets A4.0 and 4.1 and material samples are provided on Sheet A5.1 (refer to Attachment 4).

Environmental Review: The project qualifies for a Class 1 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. Class 1 exemptions include additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet whichever is greater. The 443 square feet of additions (net) are less than 50 percent of the existing 6,711-square foot commercial building.

ATTACHMENTS

- Attachment 1 – Site Photographs
- Attachment 2 – Findings for Approval
- Attachment 3 – Conditions of Approval
- Attachment 4 – Project Plans



South planter proposed to be a new patio



North planter proposed to be a new patio



Existing courtyard entry from Lincoln Avenue



Existing courtyard



Existing courtyard



Location of proposed residential units



Existing Intra-Block Walkway at the rear of Lincoln Lane



Existing Alley's on either side of Lincoln Lane (South and North)



Existing sidewalk along Lincoln Avenue

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR APPROVAL

DR 18-077 (Ipsen Trust)
Lincoln Lane
E/S Lincoln between 5th & 6th Avenues
Block: 55; Lot(s): 10 & 12
APN: 010-138-019

PROJECT DESCRIPTION

Consideration of a Design Review (DR 18-077) for additions totaling 443 square feet (net) and alterations to an existing courtyard located at Lincoln Lane in the Service Commercial (SC) Zoning District.

FINDINGS OF FACT:

1. The project site is located on the east side of Lincoln Street between 5th and 6th Avenues in the Service Commercial (SC) Zoning District. The lot is currently developed with two commercial buildings surrounding a courtyard. The existing building is approximately 6,711 square feet in size.
2. On February 20, 2018 a Design Review application was submitted and on May 30, 2018 revised project plans were submitted for additions totaling 443 square feet (net), conversion of existing commercial space to two residential units and alterations to the existing courtyard. The project also includes minor modifications to the façade and fenestration and relocation of an existing intra-block walkway.
3. Pursuant to CMC Section 17.14.010 (Purpose), the purpose of the Service Commercial (SC) Zoning District is to provide an appropriate location for services, offices, residential and limited retail activities that primarily serve local needs. Mixed uses of commercial and residential activities are appropriate throughout this district.
4. The project qualifies for a Class 1 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. Class 1 exemptions include additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet whichever is greater. The 443-square feet of additions (net) are less than 50 percent of the existing 6,711-square foot commercial building.

FINDINGS FOR DECISION:

1. The project constitutes an improvement over existing site conditions pursuant to CMC 17.14.100 (Design Review and the Basic Review Standard).
2. The project conforms to applicable zoning standards including, floor area, height, and setbacks.

FINDINGS FOR DESIGN REVIEW APPROVAL (CMC 17.58.060.B):

3. The project, as conditioned, conforms to the applicable policies of the General Plan and the Local Coastal Program.
4. The project, as conditioned, complies with all applicable provisions of Title 17.
5. The project, as conditioned, is consistent with applicable Commercial Design Guidelines.

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

DR 18-077 (Ipsen Trust)
Lincoln Lane
E/S Lincoln between 5th & 6th Avenues
Block: 55; Lot(s): 10 & 12
APN: 010-138-019

PROJECT DESCRIPTION

Consideration of a Design Review (DR 18-077) for additions totaling 443 square feet (net) and alterations to an existing courtyard located at Lincoln Lane in the Service Commercial (SC) Zoning District.

STANDARD CONDITIONS

- 1. Authorization.** Approval of this Design Review (DR 17-365) application authorizes the applicant to construct improvements at Lincoln Lane as described in the June 13, 2018 Planning Commission staff report and as generally depicted on the approved plan set dated received May 30, 2018.
- 2. Codes and Ordinances.** The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
- 3. Permit Validity.** This Commercial Design Review approval shall be valid for a period of 18 months from the date of action by the Planning Commission or, if appealed, final action by the City Council.
- 4. Landscape Plan.** All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless

otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.

5. **Tree Removals.** Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.
6. **Significant Trees and Tree Roots.** All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.
7. **Water Use.** Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.
8. **Modifications.** The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.
9. **Skylights.** All skylights shall be constructed of non-reflective glass to minimize the amount of light and glare visible from adjoining properties. All skylight flashing shall match the roof color or be painted to match. Skylight shades shall be installed to reduce visible light transmission during the hours of darkness.
10. **Stone Facades (including chimneys).** Stone façades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to full installation of stone during construction, the applicant shall install a 10-square foot section on the building and

schedule an inspection with Planning staff to ensure conformity with City standards. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by Planning staff.

11. Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.

12. Storm Water Drainage Plan. The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.

13. Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.

14. USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)

15. Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.

16. Indemnification. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any

liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature Printed Name Date

Once signed, please return to the Community Planning and Building Department.

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE **2016 CALIFORNIA BUILDING CODE** (CBC); CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER AND TENANT. VERIFY WITH OWNER AND TENANT WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLAN A.1.1 FOR ADDITIONAL NOTES.
6. FIRE ALARM AND FIRE SPRINKLER SYSTEM - NONE EXISTING. NEW FIRE ALARM AND SPRINKLER SYSTEMS TO BE SUBMITTED UNDER SEPARATE PERMIT AND SHALL COMPLY WITH THE CALIFORNIA FIRE CODE, SECTION 903 AND 907.
7. PLUMBING SPECIFICATIONS TO BE PROVIDED AS A DEFERRED SUBMITTAL.

SHEET INDEX

- A0.1 PROJECT DATA, SITE LOCATION, AND EXISTING SITE PHOTOGRAPHS
- A-- EXISTING SITE SURVEY
- A1.0 EXISTING AND DEMOLITION SITE PLAN
- A1.1 PROPOSED ARCHITECTURAL SITE PLAN

- A2.0 EXISTING FLOOR PLANS - GROUND AND UPPER FLOORS
- A2.1 PROPOSED FLOOR PLANS - GROUND AND UPPER FLOORS
- A2.2 EXISTING AND PROPOSED BASEMENT FLOOR PLANS
- A2.3 EXISTING AND PROPOSED ROOF PLANS
- A3.1 EXISTING AND PROPOSED ELEVATIONS
- A3.2 EXISTING AND PROPOSED STREET ELEVATIONS
- A3.3 EXISTING AND PROPOSED ELEVATIONS
- A3.4 EXISTING AND PROPOSED ELEVATIONS
- A3.5 EXISTING AND PROPOSED ELEVATIONS
- A3.6 EXISTING AND PROPOSED ELEVATIONS
- A4.0 PROPOSED RENDERINGS
- A4.1 PROPOSED RENDERINGS

- A5.1 DESIGN SPECIFICATIONS AND MATERIALS



2 EXISTING SITE PHOTOGRAPHS

SCOPE OF WORK

MINOR COMMERCIAL DESIGN REVIEW AND BUSINESS LICENSE TO INCLUDE: CONVERT EXISTING GROUND FLOOR SPACE AND 2ND FLOOR OFFICES TO (2) RESIDENTIAL APARTMENTS, NEW ROOF DECK, NEW ADA SHARED RESTROOM, AND MINOR EXTERIOR FACADE IMPROVEMENTS TO INCLUDE NEW DOORS, WINDOWS, SKYLIGHTS, HARDSCAPE, AND ACCESSIBILITY UPGRADES.

CONSTRUCTION TYPE:	V-B	
OCCUPANCY:	BUSINESS (EXISTING & PROPOSED)) ASSEMBLY 'A-3' (EXISTING & PROPOSED) RESIDENTIAL (R-3) (PROPOSED)	
OCCUPANCY CATEGORY:	TYPE II (NO CHANGE)	
FIRE SPRINKLERS:	NONE EXISTING. PROPOSED FIRE SPRINKLER AND ALARM SYSTEM. DEFERRED SUBMITTAL FOR BUILDING PERMIT.	
WATER:	CAL-AM	
SEWER:	CARMEL AREA WASTEWATER DISTRICT	
TREE REMOVAL:	AS NOTED ON EXISTING SITE PLAN	
LOT SIZE:	8,000 SQUARE FEET (.1837 ACRES)	
FLOOR AREA RATIO:	MAXIMUM 7,600 SF (1-STORY BUILDINGS)	
FLOOR AREA, EXISTING:		
	BUILDING 1, MAIN LEVEL:	2,377 SF (RESTAURANT + OFFICE)
	BUILDING 2, MAIN LEVEL:	2,249 SF (SHOPS 1-5)
	BUILDING 2, UPPER LEVEL:	787 SF (OFFICE)
	BASEMENT (BOTH BUILDINGS):	1,298 SF (STORAGE)
	TOTAL:	6,711 SF
FLOOR AREA, PROPOSED:		
	BUILDING 1, MAIN LEVEL:	2,291 SF (RESTAURANT + OFFICE)
	BUILDING 2, MAIN LEVEL:	2,460 SF (SHOPS 1-3, APT. A/B)
	BUILDING 2, UPPER LEVEL:	996 SF (APT. B)
	BASEMENT:	1,407 SF (APT. A/B, KITCHEN STORAGE)
	TOTAL:	7,154 SF
SITE COVERAGE:		
	EXISTING BUILDINGS:	4,626 SF
	EXISTING COURTYARD:	1,852 SF
	EXISTING STEPS, WALKWAYS:	754 SF
TOTAL:		7,232 SF (90.4%)
	PROPOSED BUILDINGS:	4,751 SF
	COURTYARD:	1,749 SF
	PATIOS:	183 SF
	STEPS, WALKWAYS:	754 SF
TOTAL:		7,437 SF (92.9%)
BUILDING HEIGHT:	20.25' (EXISTING)	24.00' (PROPOSED) MAX. HEIGHT 30'

PROJECT DATA

PROPERTY ADDRESS: BLOCK 55, LOTS 8 AND 10
E/S LINCOLN STREET BETWEEN 5TH AND 6TH
CARMEL-BY-THE-SEA, CALIFORNIA 93921

A.P.N. **010-138-019**

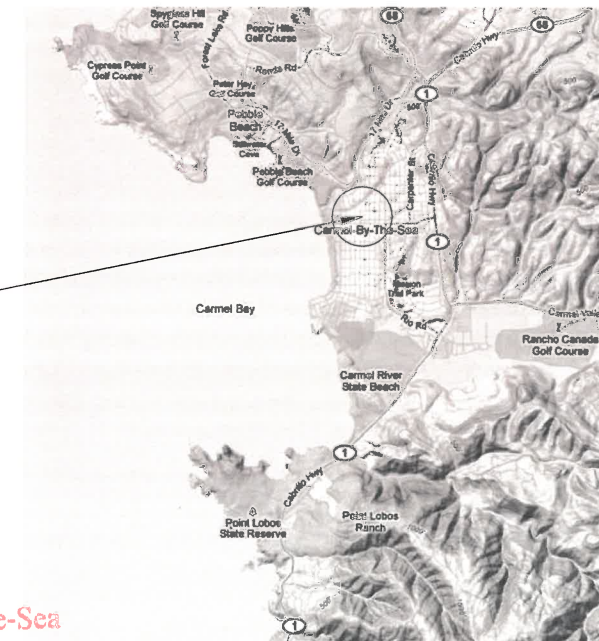
ZONING: **SERVICE COMMERCIAL**

DESIGN PERMIT: **DS 18-077**

OWNER: **KENT AND YVETTE IPSEN**
1535 GIAMMONA LANE
WALNUT CREEK CA 94596
PHONE: (925) 595-8720

ARCHITECT: **ADAM JESELNICK ARCHITECT**
3069 LORCA LANE
CARMEL-BY-THE-SEA, CA 93921
PHONE: (831) 620.5164
CONTACT: ADAM JESELNICK
EMAIL: aejarch@gmail.com

SURVEYOR: **LANDSET ENGINEERS, INC.**
520-B CRAZY HORSE CANYON ROAD
SALINAS, CA 93907
PHONE: 831.443.3801
CONTACT: GUY GIRAUDO
EMAIL: ggirauado@landseteng.com



RECEIVED
MAY 29 2018
City of Carmel-by-the-Sea
Planning & Building Dept.

1 VICINITY MAP
SCALE: N.T.S



ADAM JESELNICK
ARCHITECT



LINCOLN LANE
LINCOLN STREET E/S BETWEEN 5TH AND 6TH
CARMEL-BY-THE-SEA, CALIFORNIA

TITLE SHEET

2-15-2018

AS NOTED

A0.1

#72
E=94.78

30'

A.P.N.: 010-138-014
LOT 8

A.P.N.: 010-138-003
LOT 7

RL=117.65*



LINCOLN STREET
(A 60' WIDE CITY STREET)

PROJECT BENCHMARK
#68
E=94.53

BUILDING
(APPROX. 2,377 S.F.)

DOC. NO. 2017-037884
(0.1837 ACRES)
(8,000.00 SQ.FT.)

BUILDING
(APPROX. 2,264 S.F.)

(VOL. 1-C&T-PG. 2)
BLOCK 55

CARMEL ART ASSOCIATION

A.P.N.: 010-138-004

GENERAL NOTES:

- 1) ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS THE MOST WESTERLY CONTROL POINT #68 LOCATED AT THE WESTERLY EDGE OF PAVEMENT OF LINCOLN STREET, ELEVATION=94.53', AS SHOWN.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN. TREE CANOPIES ARE NOT SHOWN OR LOCATED.
- 4) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (11/17/17) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- 5) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
- 6) BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) & PUSHOUTS ARE NOT SHOWN.

LEGEND:

- PROPERTY BOUNDARY LINE
- - - ADJACENT PROPERTY BOUNDARY LINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- - - MINOR CONTOUR LINE (1' INTERVAL)
- - - FENCE (TYPE AS MARKED)
- [Pattern] ASPHALT CONCRETE SURFACE
- [Pattern] PORTLAND CEMENT CONCRETE SURFACE
- [Pattern] BRICK SURFACE
- [Pattern] PAVEMENT SURFACE
- [Pattern] ROCK SURFACE
- x=99.02EG SPOT ELEVATION
- x=94.95FL FLOWLINE
- △ SURVEY H&V CONTROL POINT
- FF, RL FINISH FLOOR, RIDGELINE
- TREE (TYPE AND SIZE AS MARKED)
CENTER OF SYMBOL IS APPROX. CENTER OF TREE

A.P.N.: 010-138-019

TOPOGRAPHIC MAP
OF
THE CERTAIN PARCEL DESCRIBED IN GRANT
DEED DOCUMENT #2017037884
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
FOR
ADAM JESELNICK ARCHITECT

SCALE: 1"=8'
DATE: NOVEMBER 2017
JOB NO. 1741-01

SHEET **1**
OF **1** SHEETS

No.	DATE	BY	REVISION
	11/30/17	FR	RELEASED TO CLIENT

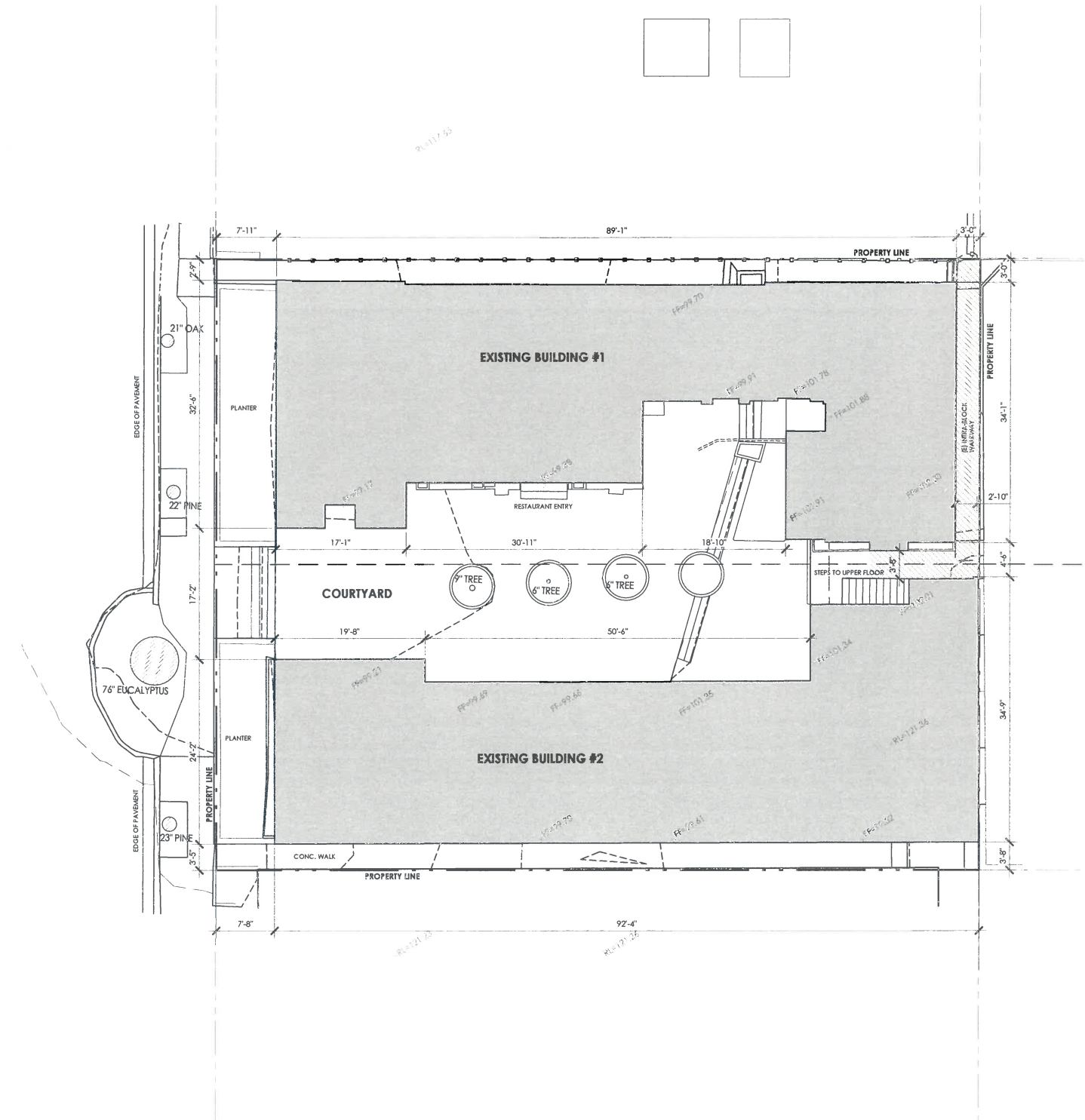


APPROVED BY:
Guy R. Girardo
GUY R. GIRARDO
P.L.S. No. 8703



SITE PLAN NOTES

1. NO GRADING UNLESS APPROVED BY THE CITY BUILDING OFFICIAL.
2. EXISTING SITE UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
3. EXISTING ACCESSIBLE ROUTES OF TRAVEL FROM PARKING AND PUBLIC WAY DO NOT EXCEED 5% MAX. SLOPE IN DIRECTION OF TRAVEL OR COMPLY AS A RAMP, AND 2% MAX. CROSS SLOPE.
4. NEW WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR ABRUPT CHANGES IN LEVEL EXCEEDING 1/2", AND SHALL BE A MINIMUM OF 48" IN WIDTH. SOME EXISTING SURFACES WILL REMAIN. SEE UNREASONABLE HARDSHIP EXEMPTION FORM.



1 EXISTING SITE AND UTILITY PLAN
SCALE: 1/8" = 1'-0"

RECEIVED

MAY 23 2018

City of Carmel-by-the-Sea
Planning & Building Dept

SITE COVERAGE CALCULATIONS

	EXISTING	PROPOSED
COURTYARD	1,845 SF	1,548 SF
COURTYARD: APARTMENTS	-	201 SF
COURTYARD PLANTERS	125 SF	160 SF
STREET PLANTER 1	283 SF	258 SF
STREET PLANTER 2	216 SF	21 SF
STREET TERRACE AREA 2	-	195 SF
INTRA-BLOCK WALKWAY	221 SF	138 SF

ADAM JESELNICK
ARCHITECT



LINCOLN LANE
LINCOLN STREET E/S BETWEEN 5TH AND 6TH
CARMEL-BY-THE-SEA, CALIFORNIA

EXISTING
SITE PLAN

4-5-2018

AS NOTED

A1.0

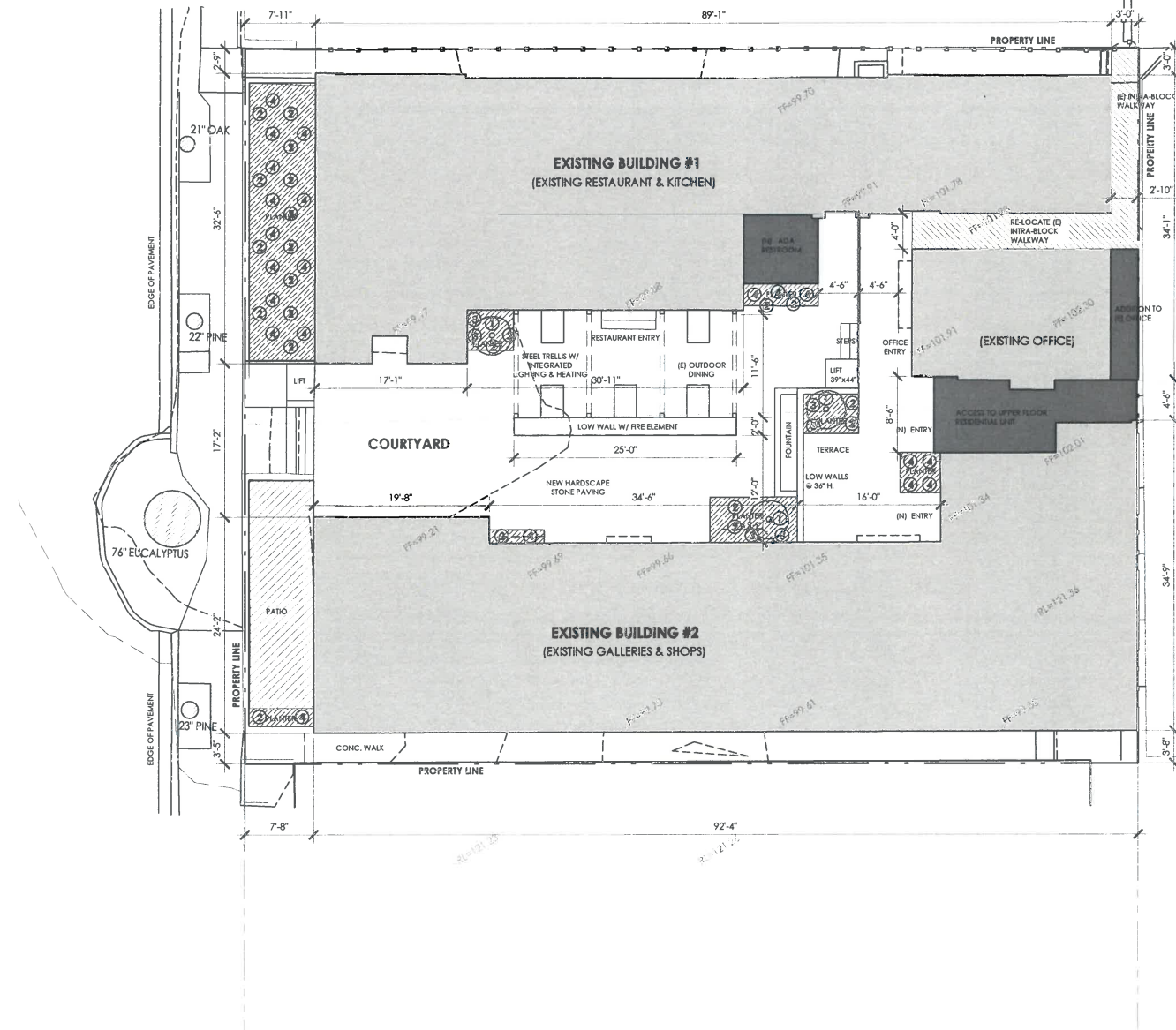
REVISION #



3/27/2018 PLANNING REVISIONS
5/22/2018 PLANNING RE-SUBMITTAL

SITE PLAN NOTES

1. NO GRADING UNLESS APPROVED BY THE CITY BUILDING OFFICIAL.
2. EXISTING SITE UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
3. EXISTING ACCESSIBLE ROUTES OF TRAVEL FROM PARKING AND PUBLIC WAY DO NOT EXCEED 5% MAX. SLOPE IN DIRECTION OF TRAVEL OR COMPLY AS A RAMP, AND 2% MAX. CROSS SLOPE.
4. NEW WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR ABRUPT CHANGES IN LEVEL EXCEEDING 1/2", AND SHALL BE A MINIMUM OF 48" IN WIDTH. SOME EXISTING SURFACES WILL REMAIN. SEE UNREASONABLE HARDSHIP EXEMPTION FORM.



1 PROPOSED ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

SITE COVERAGE CALCULATIONS

	EXISTING	PROPOSED
COURTYARD	1,345 SF	1,548 SF
COURTYARD: APARTMENTS	-	201 SF
COURTYARD PLANTERS	125 SF	160 SF
STREET PLANTER 1	283 SF	258 SF
STREET PLANTER 2	216 SF	21 SF
STREET TERRACE AREA 2	-	195 SF
INTRA-BLOCK WALKWAY	221 SF	138 SF

LANDSCAPE PLAN NOTES:

1. NO CONSTRUCTION IMPACTS TO SIGNIFICANT TREES. (E) TREES IN THE CITY R.O.W. TO BE PROTECTED THROUGHOUT CONSTRUCTION PER CITY FORESTER'S RECOMMENDATIONS.
2. REFER TO ARCHITECTURAL SITE PLAN FOR ALL INFORMATION REGARDING SITE COVERAGE, FINISH GRADES.
3. ALL NEW PLANTINGS INSTALLED ON-SITE TO BE NATIVE AND/OR DROUGHT-RESISTANT SPECIES. PLANTS TO BE INSTALLED IN AN INFORMAL ARRANGEMENT IN CONFORMANCE WITH THE CITY OF CARMEL RESIDENTIAL DESIGN GUIDELINES.
4. THREE LOWER CANOPY TREES (FRUITLESS OLIVES) TO BE INSTALLED AS SHOWN ON LANDSCAPE PLAN.
4. NEW EXTERIOR SCONCE LIGHT FIXTURES PROPOSED, SPECIFICATION PROVIDED SHEET A5.1.

PLANT SPECIES LIST:

1. WILSON FRUITLESS OLIVE / *Olea europaea 'Wilsonii'*
2. CALIFORNIA OAT GRASS / *Danthonia californica*
3. CREEPING RED FESCUE / *Festuca rubra*
4. COMMON LAVENDER / *Lavandula angustifolia*

ADAM JESELNICK
ARCHITECT



LINCOLN LANE
LINCOLN STREET E/S BETWEEN 5TH AND 6TH
CARMEL-BY-THE-SEA, CALIFORNIA

PROPOSED
SITE PLAN

4-5-2018

AS NOTED

A1.1

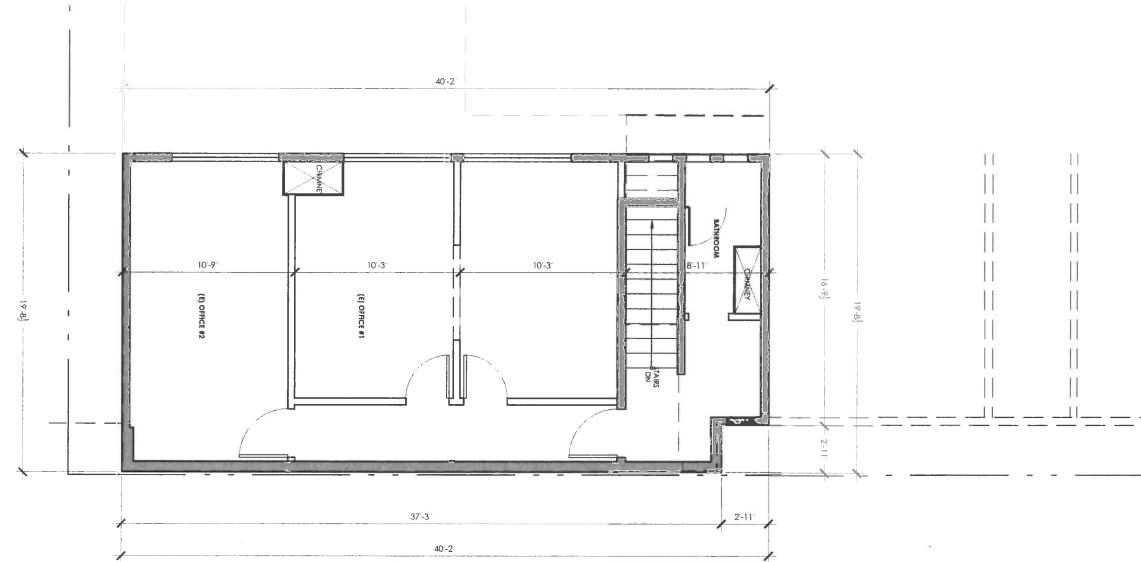
REVISION #



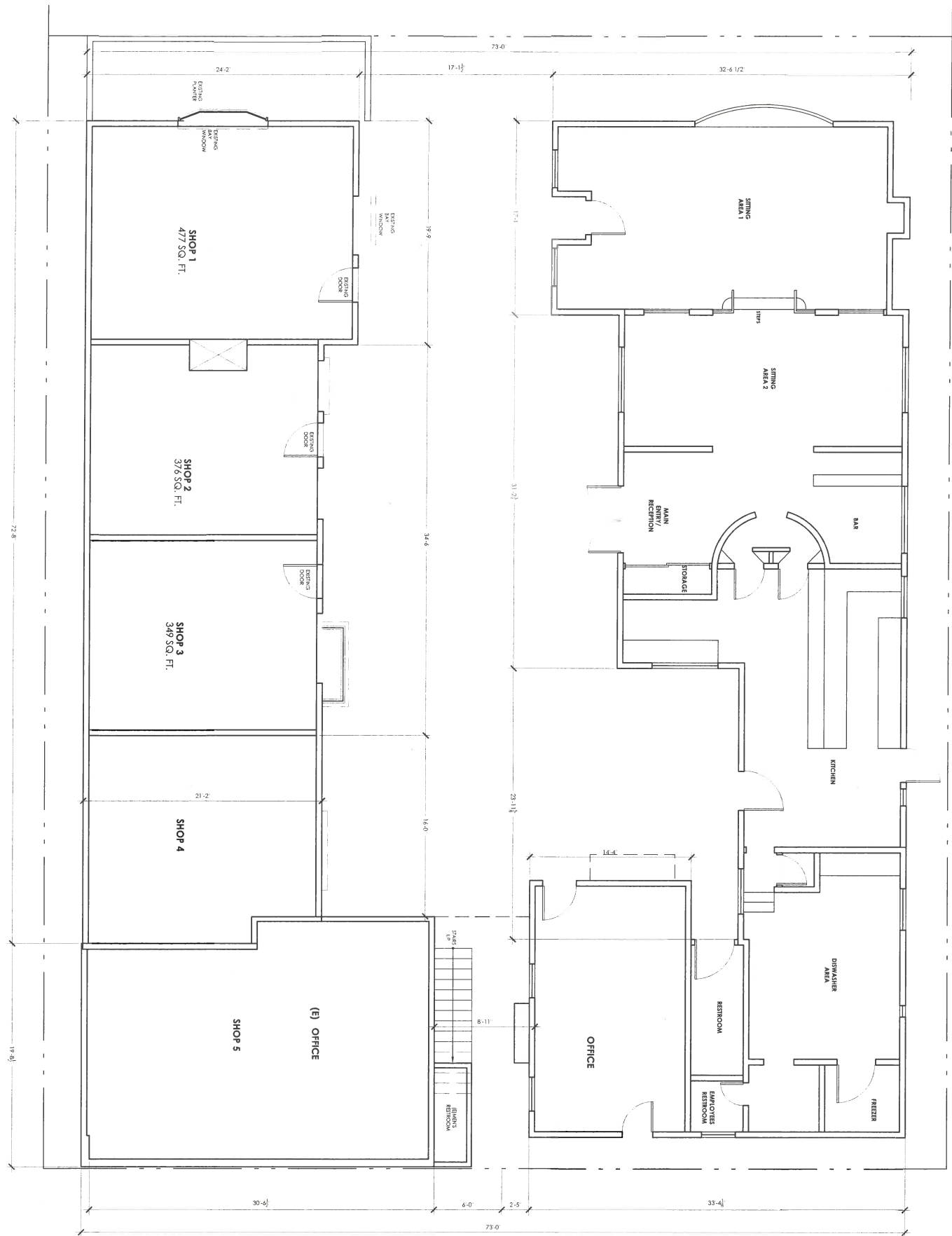
3/27/2018 PLANNING REVISIONS
5/22/2018 PLANNING RE-SUBMITTAL

	USE OF BUILDING	EXISTING	PROPOSED	DIFFERENCE	NEW USE	
FIRST FLOOR	BUILDING 1					
	SITTING AREA 1	521 SF	-	=	RESTAURANT	
	SITTING AREA 2	322 SF				
	MAIN ENTRY/RECEPTION	179 SF				
	BAR	88 SF				
	KITCHEN	482 SF				
	DISWASHER AREA	277 SF	809 SF	739 SF	-70 SF	
	FREEZER	50 SF				
	EMPLOYEES RESTROOM	78 SF		0 SF	-78 SF	WALKWAY
	RESTROOM	65 SF		0 SF	-65 SF	
	NEW RESTROOMS	-		172 SF	+172 SF	RESTROOMS
	NEW COVERED WALKWAY	-		118 SF	+118 SF	WALKWAY
	SHOP 6 (ARCH. OFFICE)	328 SF		364 SF	+36 SF	
TOTAL BUILDING 1	2377 SF		2503 SF	+126 SF		
BUILDING 2						
SHOP 1 (VACANT)	477 SF				SHOP 1 (TBD)	
SHOP 2 (VACANT)	376 SF		1202 SF	=		
SHOP 3 (ART GALLERY)	349 SF					
SHOP 4 (SKIN CARE)	397 SF		1258 SF	+190 SF		
SHOP 5 (CLOTHING SHOP)	650 SF					
TOTAL BUILDING 2	2249 SF		2439 SF	=190 SF		
BASEMENT 2ND	BUILDING 2					
OFFICES (VACANT)	787 SF		996 SF	+209 SF	APARTMENT A	
BUILDING 1						
MECHANICAL/STORAGE	427 SF		427 SF	=	-	
BUILDING 2						
MECHANICAL/STORAGE	871 SF		980 SF	+84 SF	RESIDENTIAL APT.	

3 FLOOR AREA CALCULATION



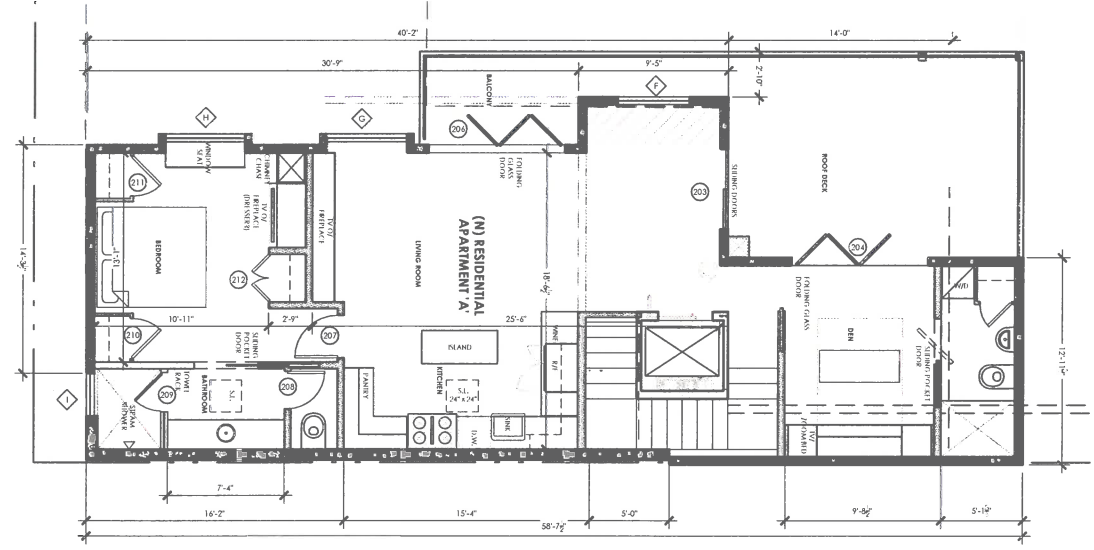
2 EXISTING SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



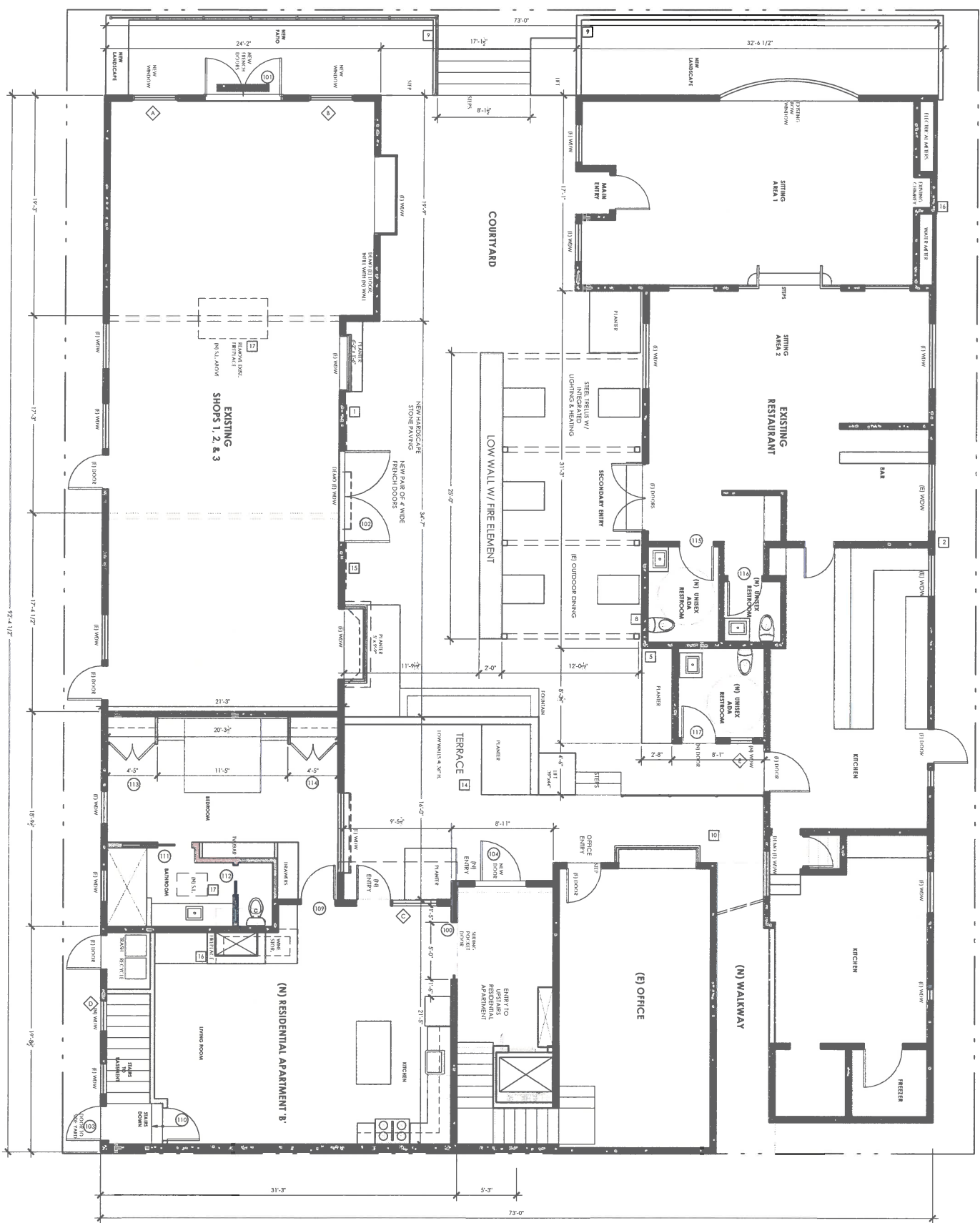
1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

USE OF BUILDING	EXISTING	PROPOSED	DIFFERENCE	NEW USE
BUILDING 1				
SITTING AREA 1	521 SF	1110 SF	=	RESTAURANT
SITTING AREA 2	322 SF			
MAIN ENTRY/RECEPTION	179 SF			
BAR	88 SF	809 SF	739 SF	-70 SF
KITCHEN	482 SF			
DISWASHER AREA	277 SF			
FREEZER	50 SF			
EMPLOYEES RESTROOM	78 SF			
RESTROOM	65 SF	0 SF	-65 SF	WALKWAY
NEW RESTROOMS	-	70 SF	+70 SF	ADA R.R.
NEW COVERED WALKWAY	-	[78 SF]	+78 SF	WALKWAY
SHOP 6 (ARCH. OFFICE)	315 SF	372 SF	+57 SF	-
TOTAL BUILDING 1	2377 SF	2291 SF	-86 SF	NET. DECREASE
BUILDING 2				
SHOP 1 (VACANT)	477 SF	1202 SF	=	SHOP 1 (TBD)
SHOP 2 (VACANT)	376 SF			
SHOP 3 (ART GALLERY)	349 SF			
SHOP 4 (SKIN CARE)	397 SF	1258 SF	+211 SF	RESIDENTIAL APT.
SHOP 5 (CLOTHING SHOP)	650 SF	2460 SF	+211 SF	
BUILDING 2ND				
OFFICES (VACANT)	787 SF	996 SF	+209 SF	APARTMENT A
BUILDING 1				
MECHANICAL/STORAGE	427 SF	427 SF	=	-
BUILDING 2				
MECHANICAL/STORAGE	871 SF	980 SF	+109 SF	RESIDENTIAL APT.

3 FLOOR AREA CALCULATION



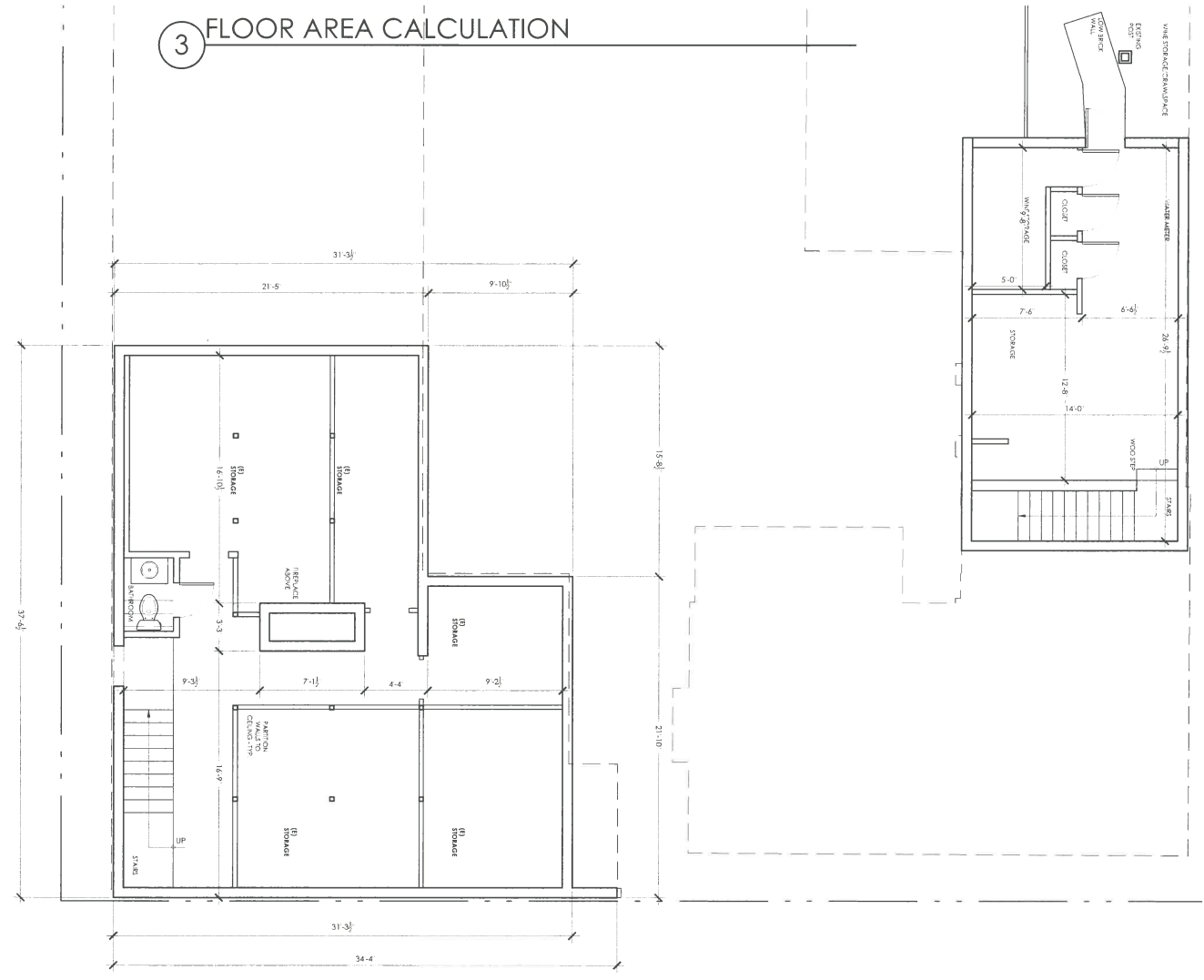
2 PROPOSED SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



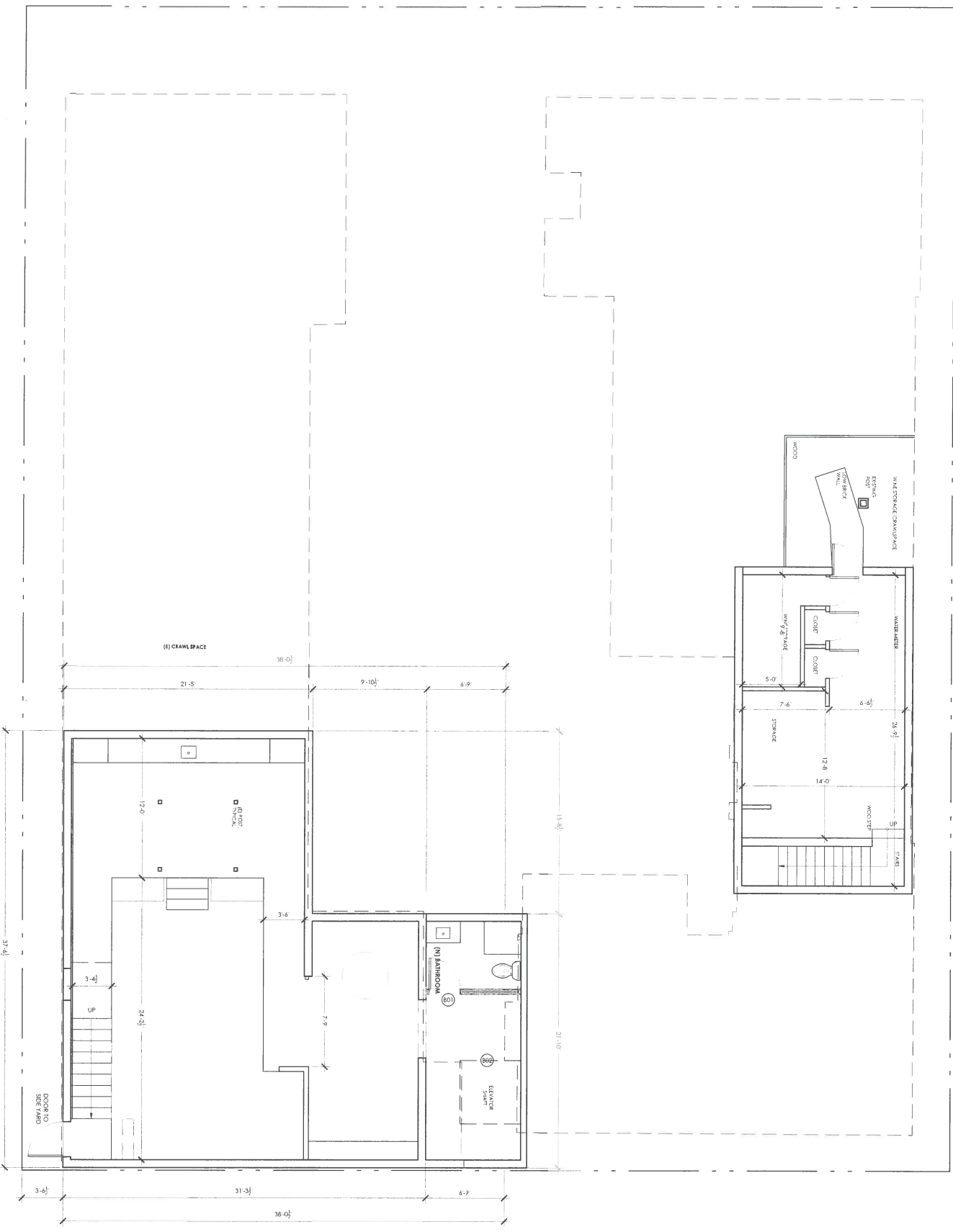
1 PROPOSED FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

	USE OF BUILDING	EXISTING	PROPOSED	DIFFERENCE	NEW USE	
FIRST FLOOR	BUILDING 1					
	SITTING AREA 1	521 SF	-	=	RESTAURANT	
	SITTING AREA 2	322 SF				
	MAIN ENTRY/RECEPTION	179 SF	1110 SF			
	BAR	88 SF				
	KITCHEN	482 SF	809 SF	739 SF	-70 SF	-
	DISWASHER AREA	277 SF				
	FREEZER	50 SF				
	EMPLOYEES RESTROOM	78 SF		0 SF	-78 SF	WALKWAY
	RESTROOM	65 SF		0 SF	-65 SF	
	NEW RESTROOMS	-		172 SF	+172 SF	RESTROOMS
	NEW COVERED WALKWAY	-		118 SF	+118 SF	WALKWAY
SHOP 6 (ARCH. OFFICE)	328 SF		364 SF	+36 SF	-	
TOTAL BUILDING 1	2377 SF		2503 SF	+126 SF		
BUILDING 2	SHOP 1 (VACANT)	477 SF	1202 SF	=	SHOP 1 (TBD)	
	SHOP 2 (VACANT)	376 SF				
	SHOP 3 (ART GALLERY)	349 SF				
	SHOP 4 (SKIN CARE)	397 SF	1258 SF	+190 SF	RESIDENTIAL APT.	
	SHOP 5 (CLOTHING SHOP)	650 SF	2439 SF	=190 SF		
		2249 SF				
2ND	BUILDING 2					
	OFFICES (VACANT)	787 SF	996 SF	+209 SF	APARTMENT A	
BASEMENT	BUILDING 1					
	MECHANICAL/STORAGE	427 SF	427 SF	=	-	
	BUILDING 2					
MECHANICAL/STORAGE	871 SF	980 SF	+84 SF	RESIDENTIAL APT.		

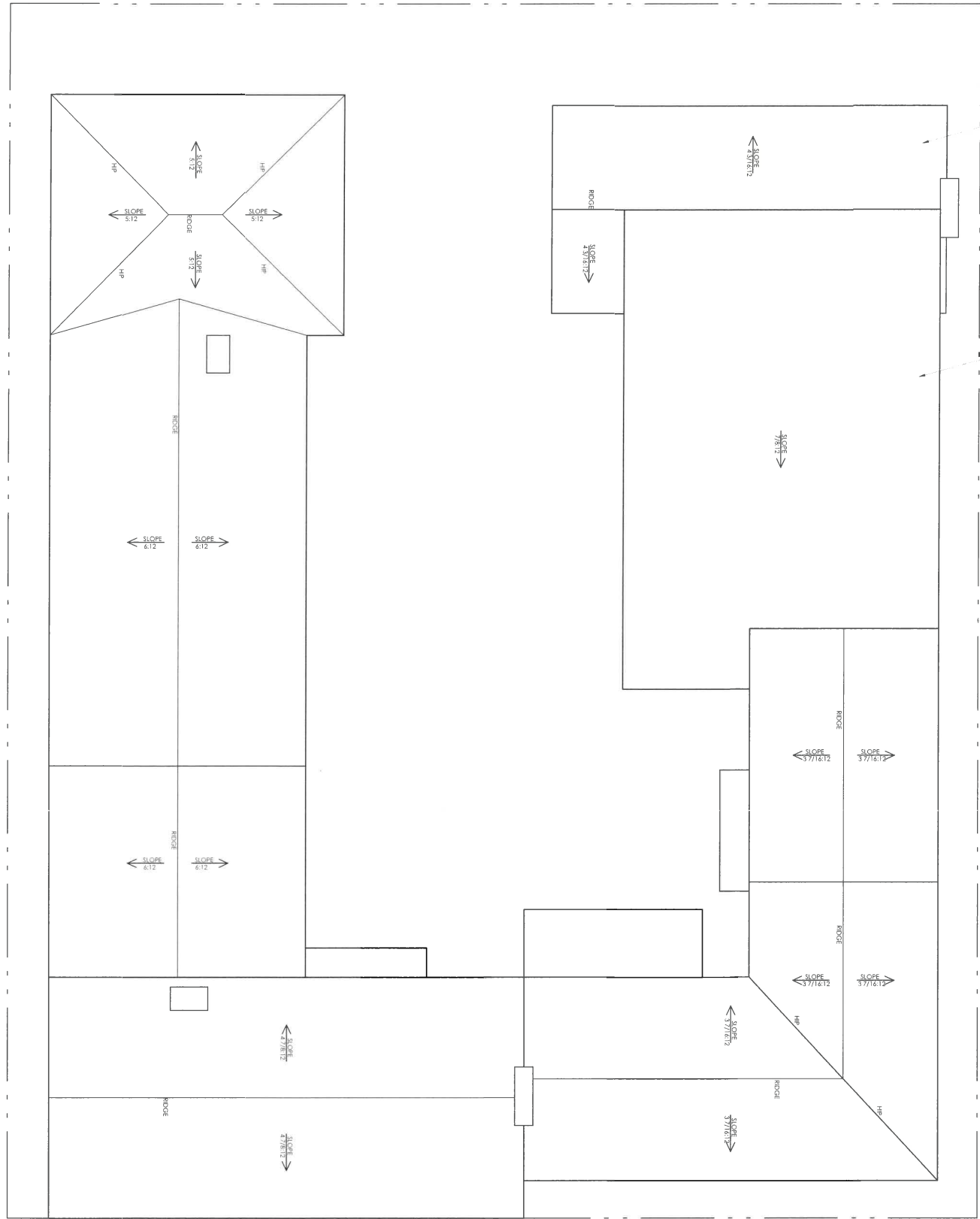
3 FLOOR AREA CALCULATION



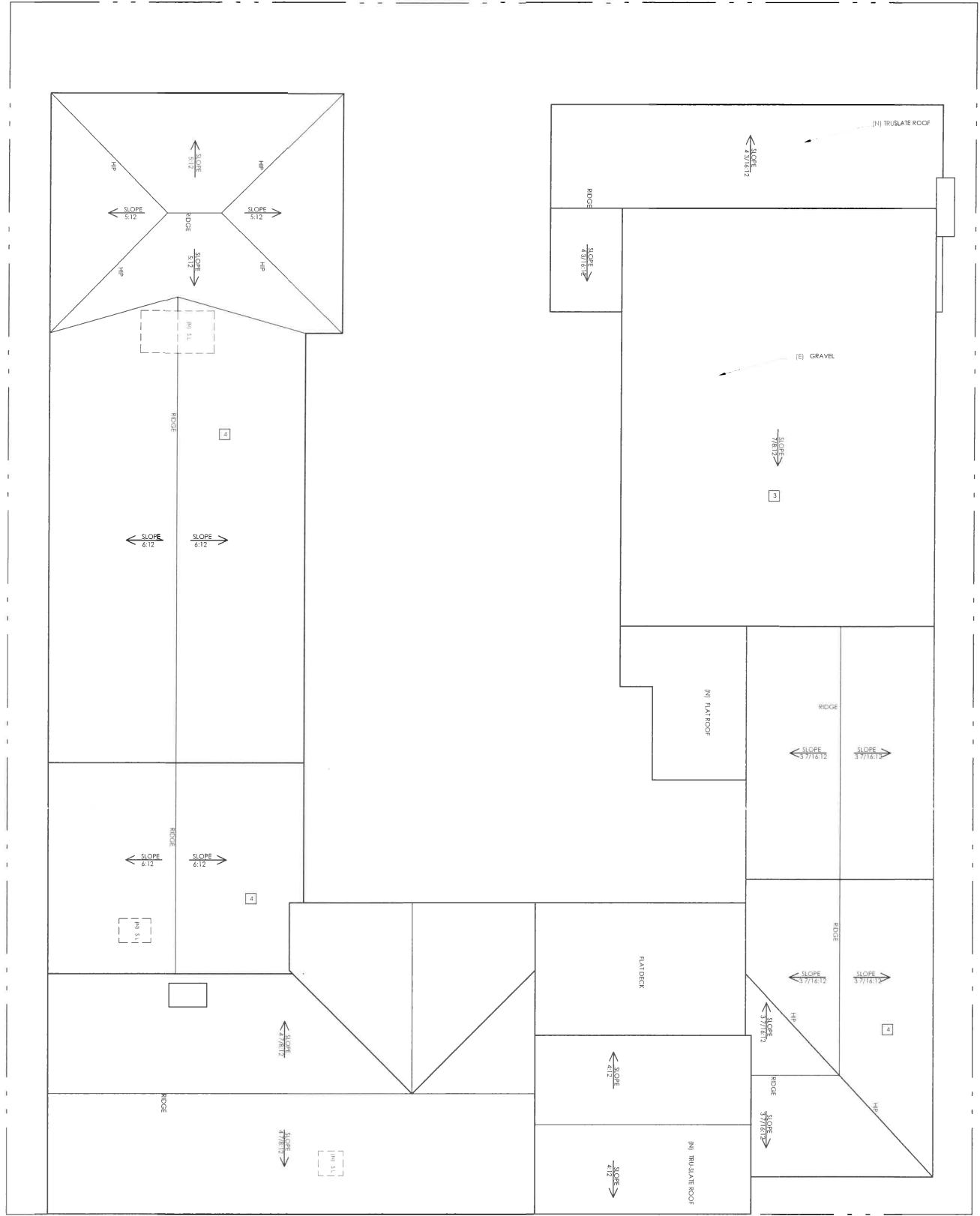
1 EXISTING BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 PROPOSED BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"



1 EXISTING ROOF FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 PROPOSED ROOF PLAN PLAN
SCALE: 3/16" = 1'-0"

REVISION #



3/27/2018 PLANNING REVISIONS
5/22/2018 PLANNING RE-SUBMITTAL

ADAM JESELNICK
ARCHITECT



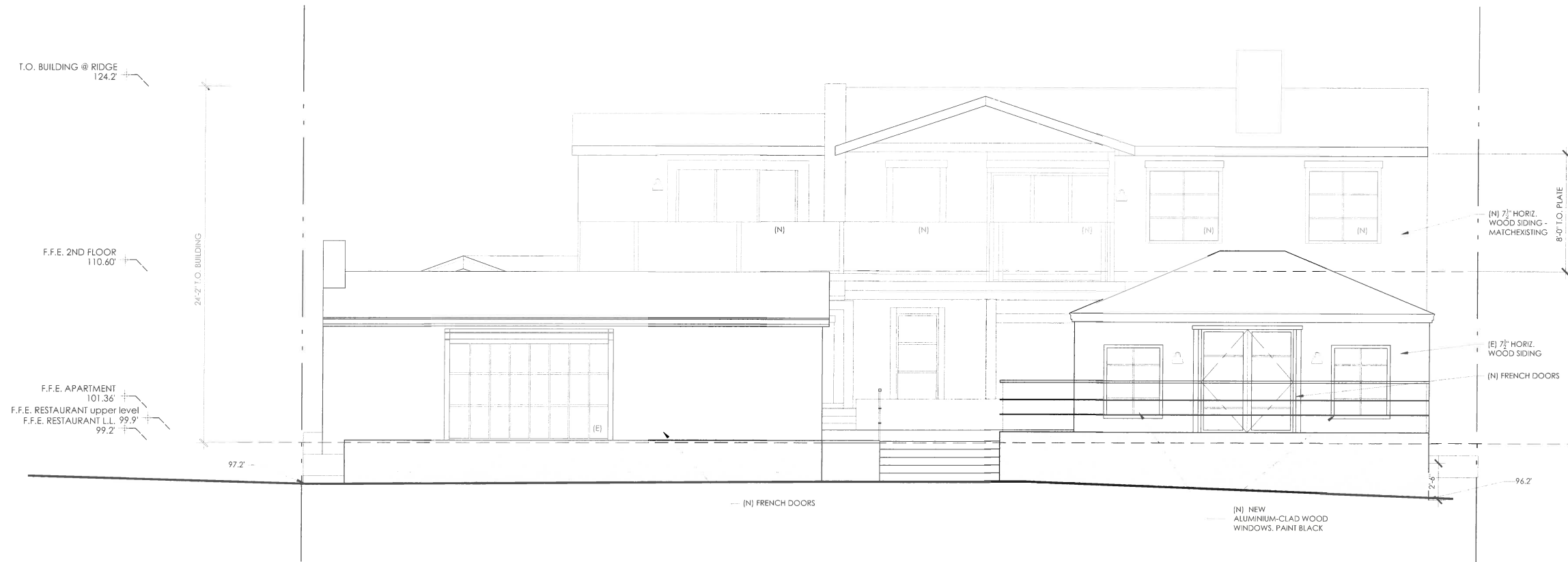
LINCOLN LANE
LINCOLN STREET E/S BETWEEN 5TH AND 6TH
CARMEL-BY-THE-SEA, CALIFORNIA

EXISTING +
PROPOSED
ROOF PLANS

4-5-2018

AS NOTED

A2.3



2 PROPOSED WEST (STREET) ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING WEST (STREET) ELEVATION
SCALE: 1/4" = 1'-0"

REVISION #



3/27/2018 PLANNING REVISIONS
5/22/2018 PLANNING RE-SUBMITTAL



ADAM JESELNICK
ARCHITECT



LINCOLN LANE
LINCOLN STREET E/S BETWEEN 5TH AND 6TH
CARMEL-BY-THE-SEA, CALIFORNIA

EXISTING AND
PROPOSED
ELEVATIONS

4-5-2018

AS NOTED

A3.1



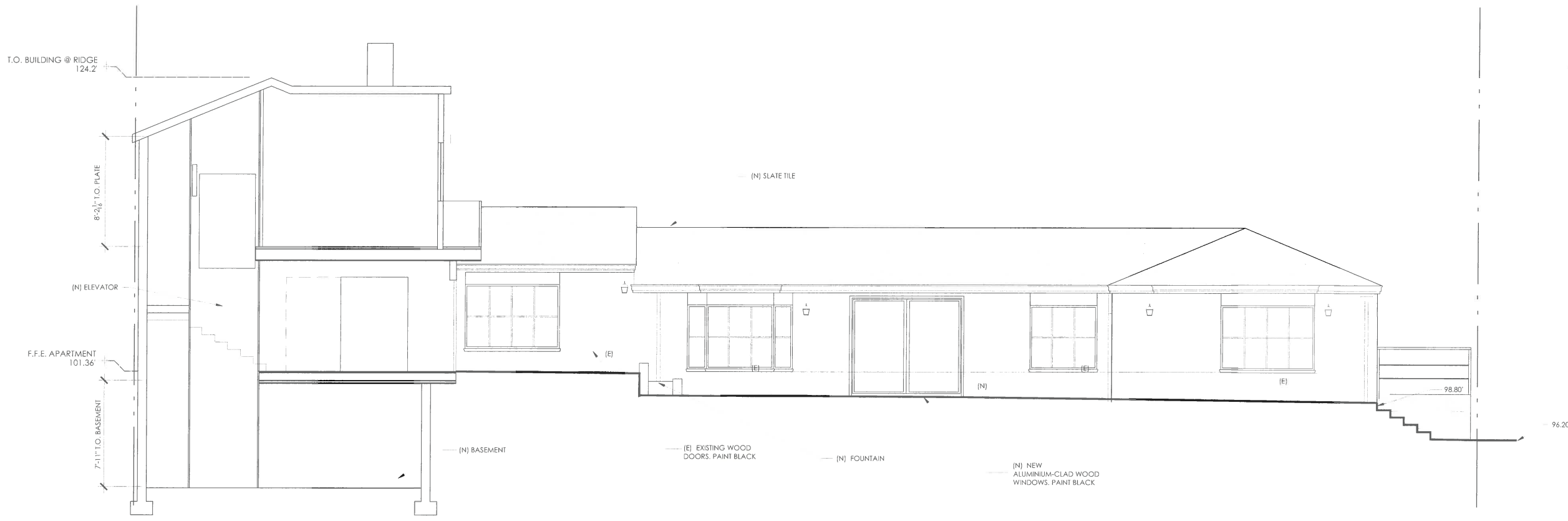
LINCOLN LANE
LINCOLN STREET E/S BETWEEN 5TH AND 6TH
CARMEL-BY-THE-SEA, CALIFORNIA

EXISTING AND
PROPOSED
ELEVATIONS

4-5-2018

AS NOTED

A3.2



2 PROPOSED NORTH COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"

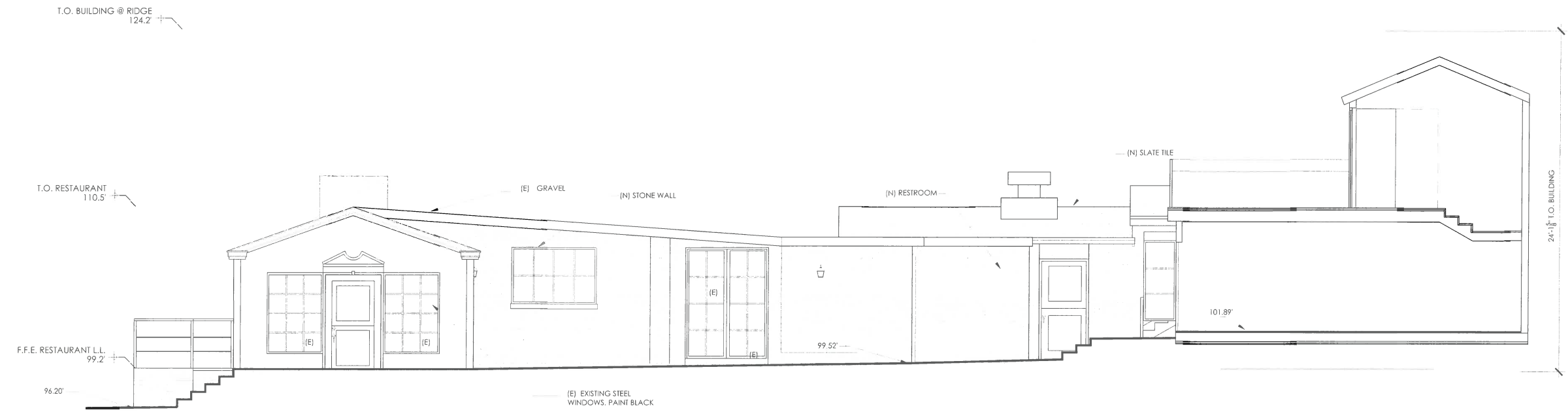


1 EXISTING NORTH COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"

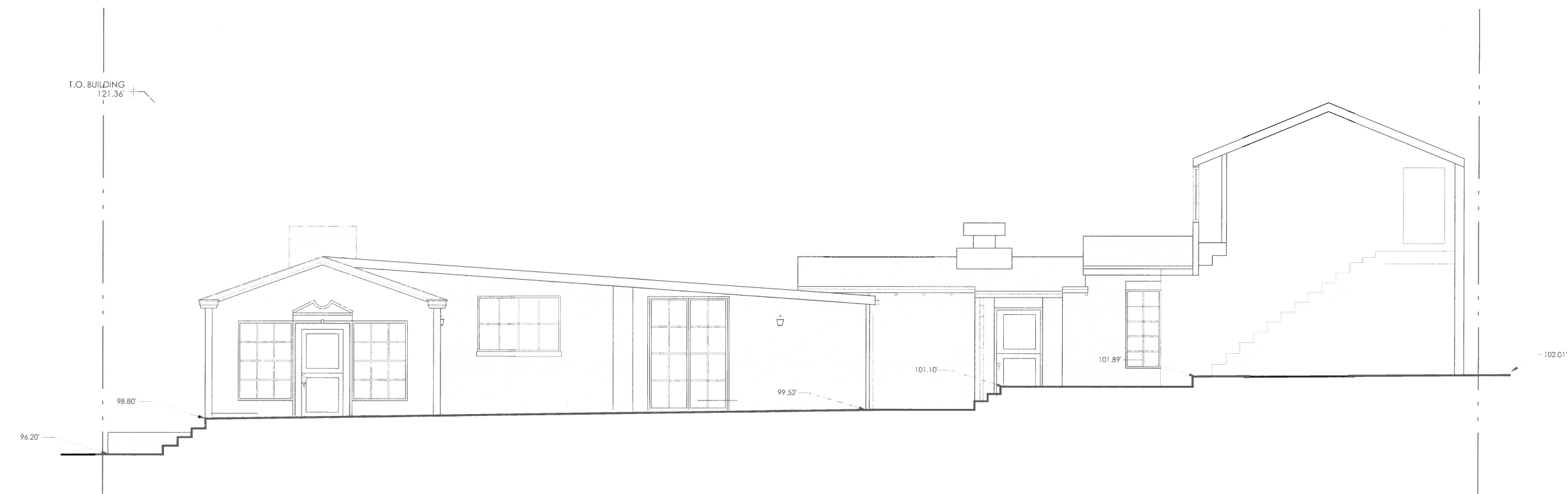
REVISION #



3/27/2018 PLANNING REVISIONS
5/22/2018 PLANNING RE-SUBMITTAL



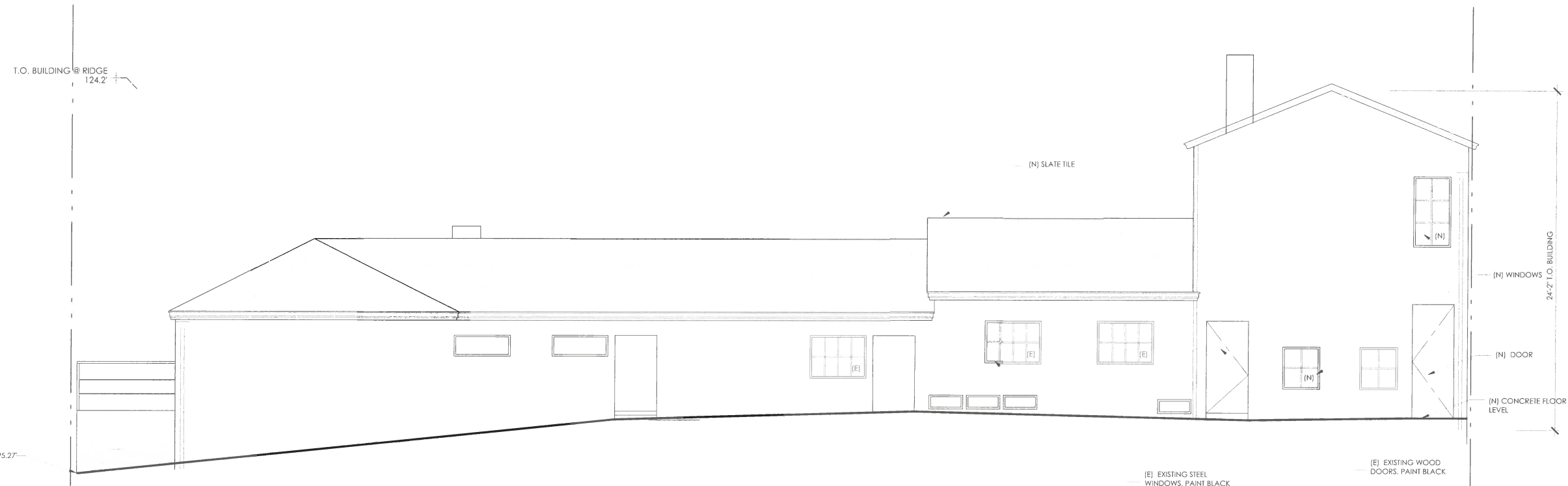
2 PROPOSED SOUTH COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"



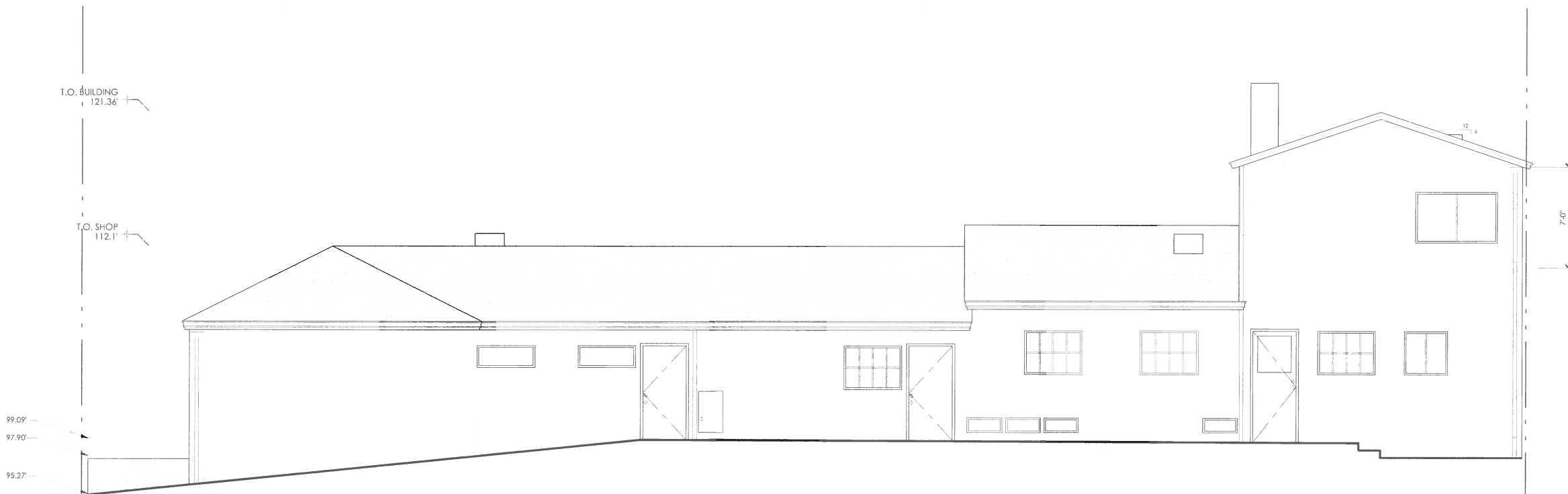
1 EXISTING SOUTH COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"

REVISION #

1	3/27/2018	PLANNING REVISIONS
2	5/22/2018	PLANNING RE-SUBMITTAL



2 PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REVISION #	DATE	DESCRIPTION
1	3/27/2018	PLANNING REVISIONS
2	5/22/2018	PLANNING RE-SUBMITTAL

ADAM JESELNICK
ARCHITECT



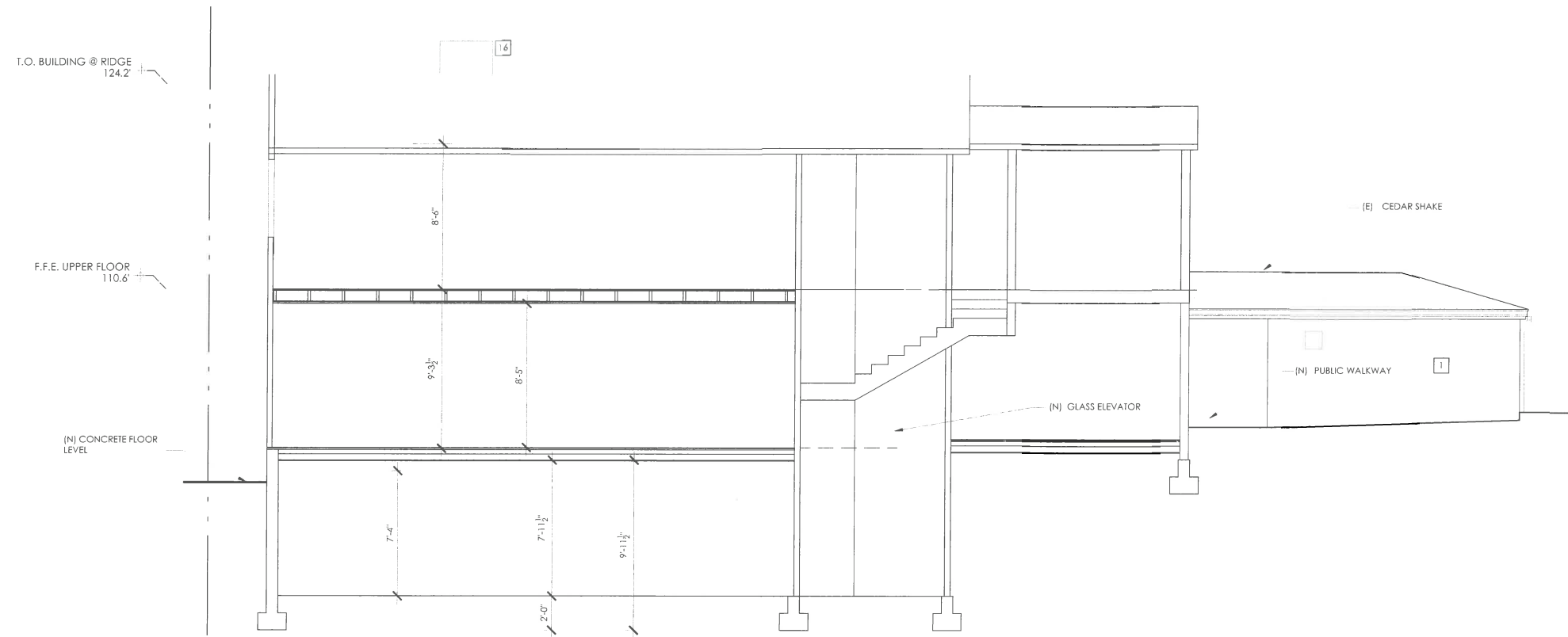
LINCOLN LANE
LINCOLN STREET E/S BETWEEN 5TH AND 6TH
CARMEL-BY-THE-SEA, CALIFORNIA

EXISTING AND
PROPOSED
ELEVATIONS

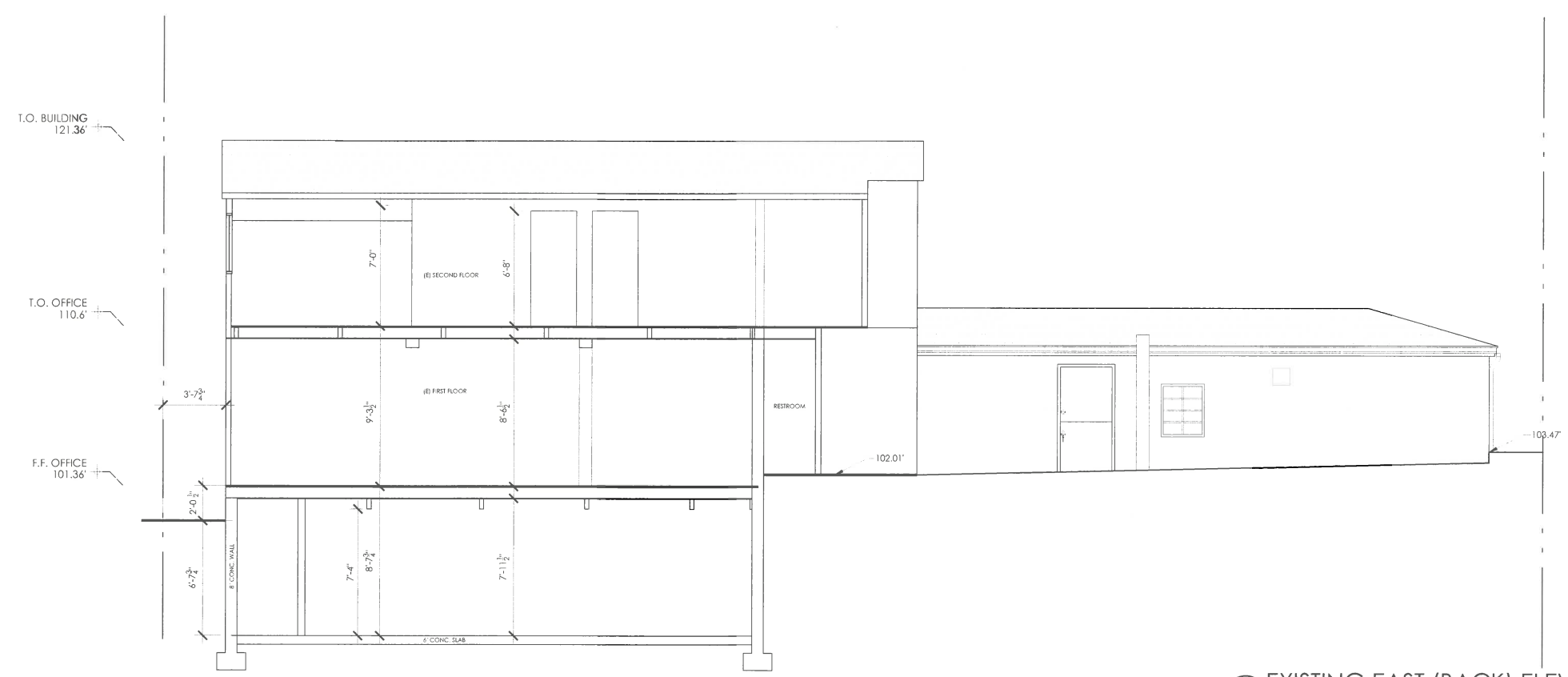
4-5-2018

AS NOTED

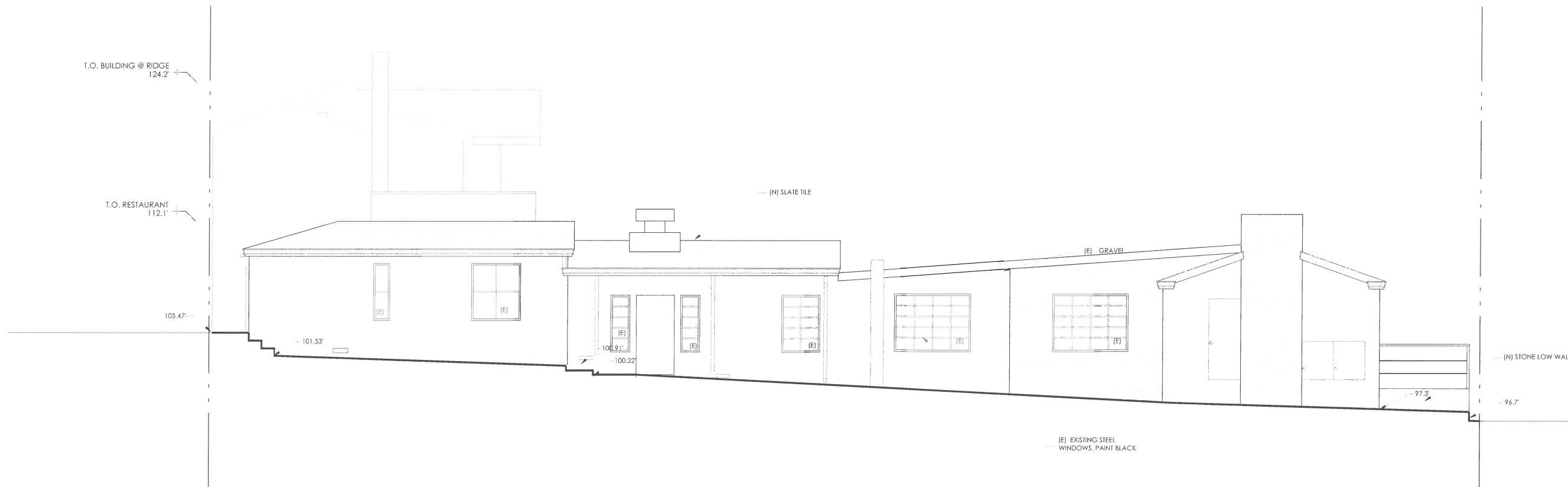
A3.4



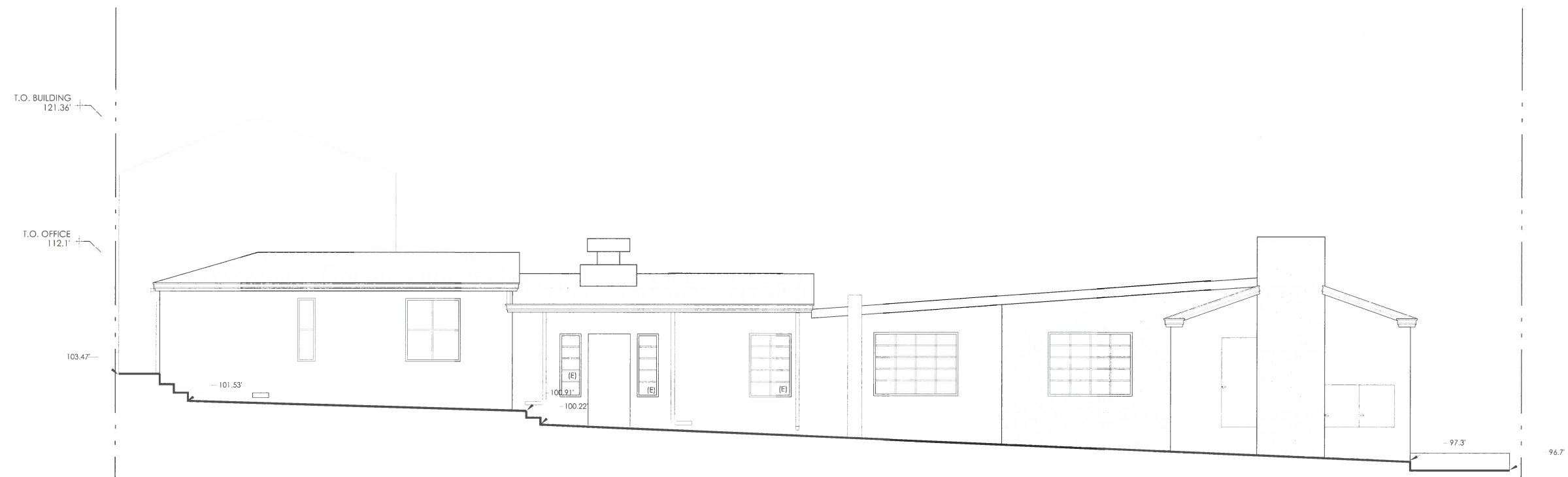
2 PROPOSED EAST (BACK) ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING EAST (BACK) ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REVISION #	DATE	DESCRIPTION
1	3/27/2018	PLANNING REVISIONS
2	5/22/2018	PLANNING RE-SUBMITTAL

ADAM JESELNICK
ARCHITECT



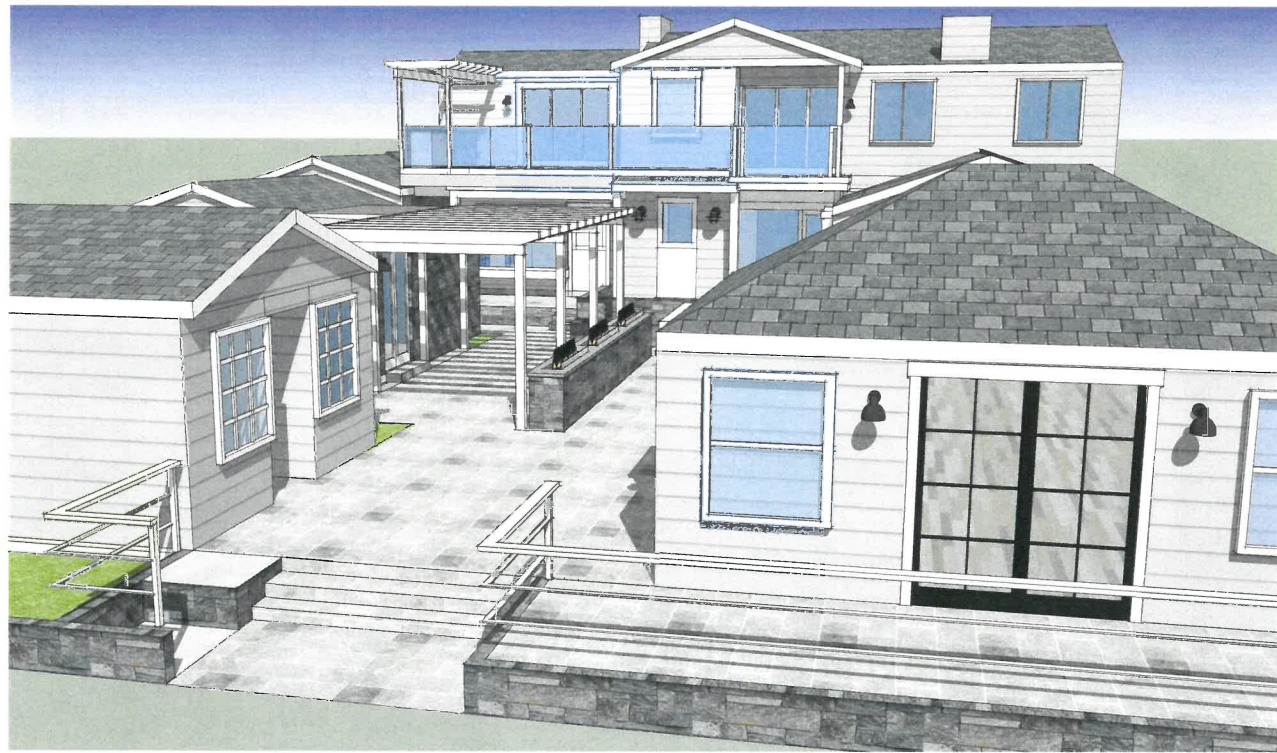
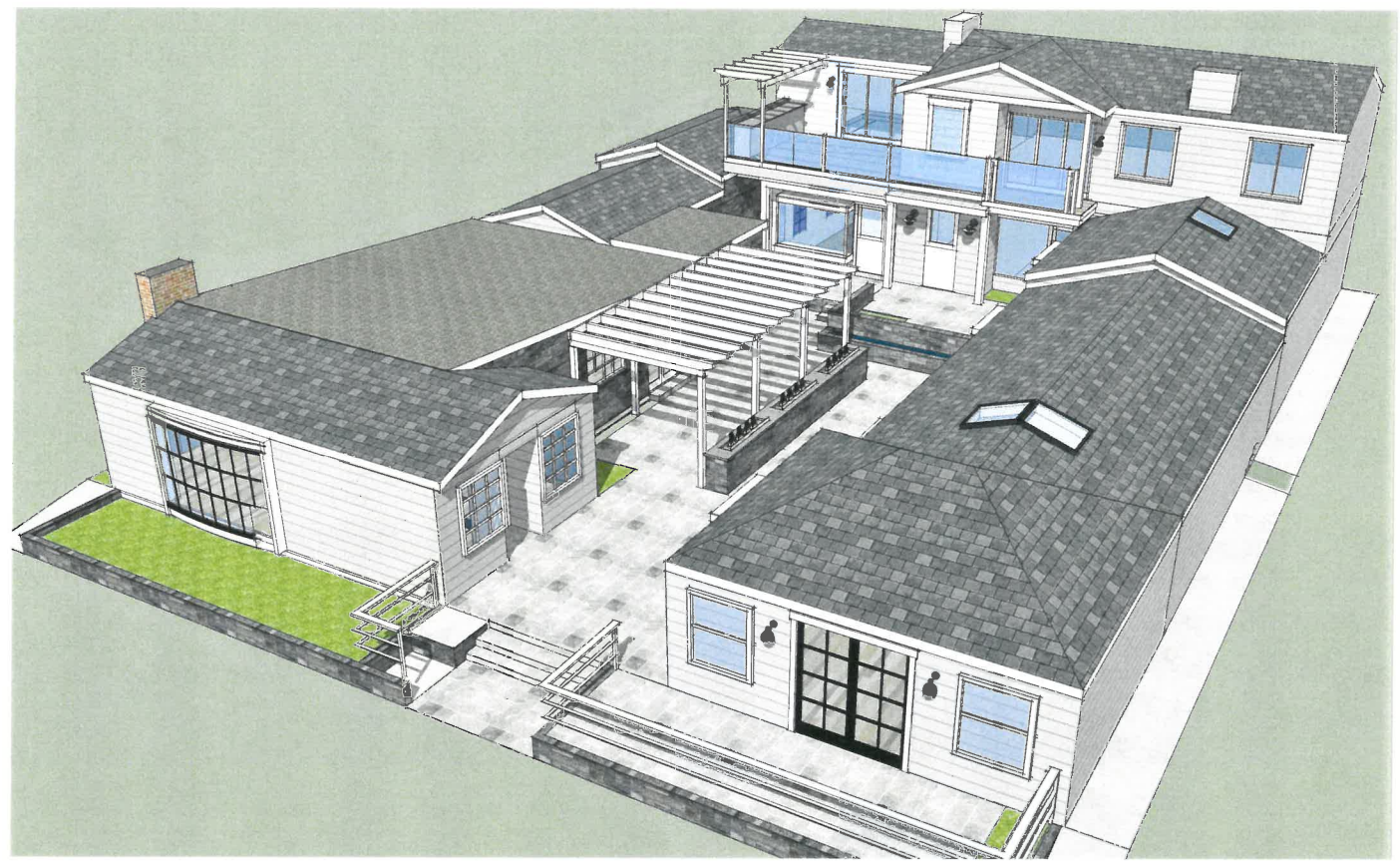
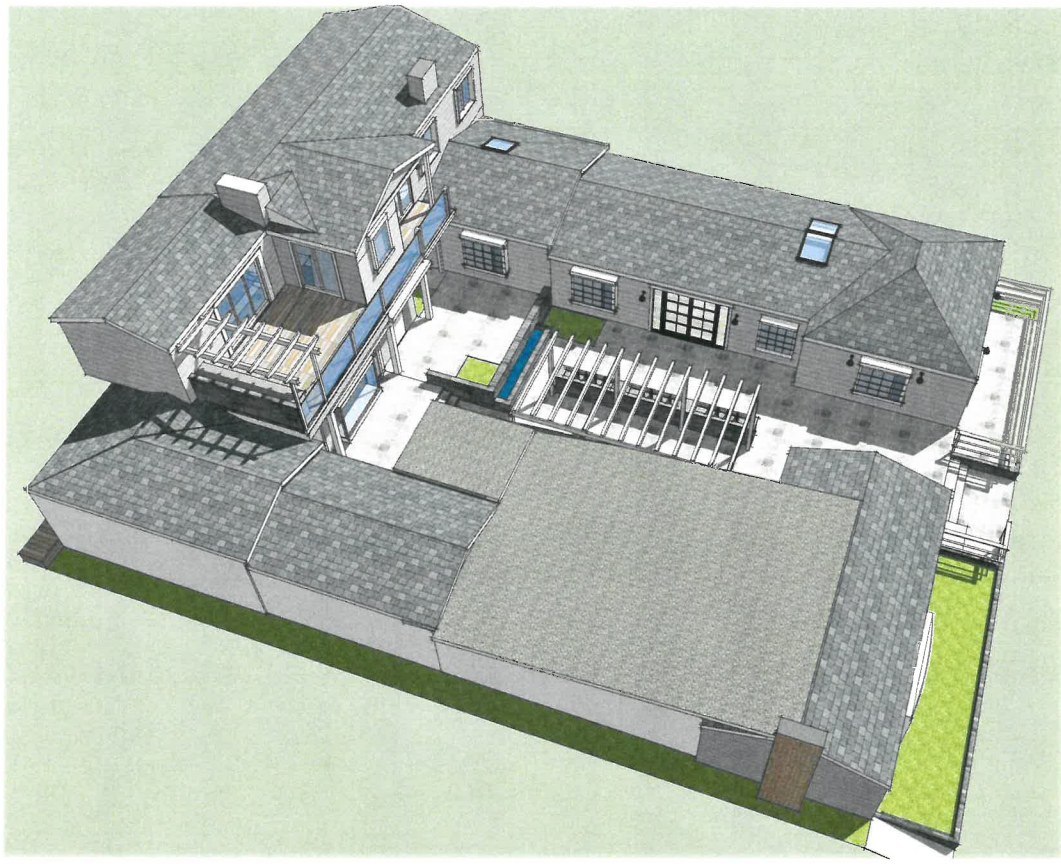
LINCOLN LANE
LINCOLN STREET E/S BETWEEN 5TH AND 6TH
CARMEL-BY-THE-SEA, CALIFORNIA

EXISTING AND PROPOSED ELEVATIONS

4-5-2018

AS NOTED

A3.6



1 PROPOSED SITE RENDERINGS
NOT TO SCALE

ADAM JESELNICK
ARCHITECT



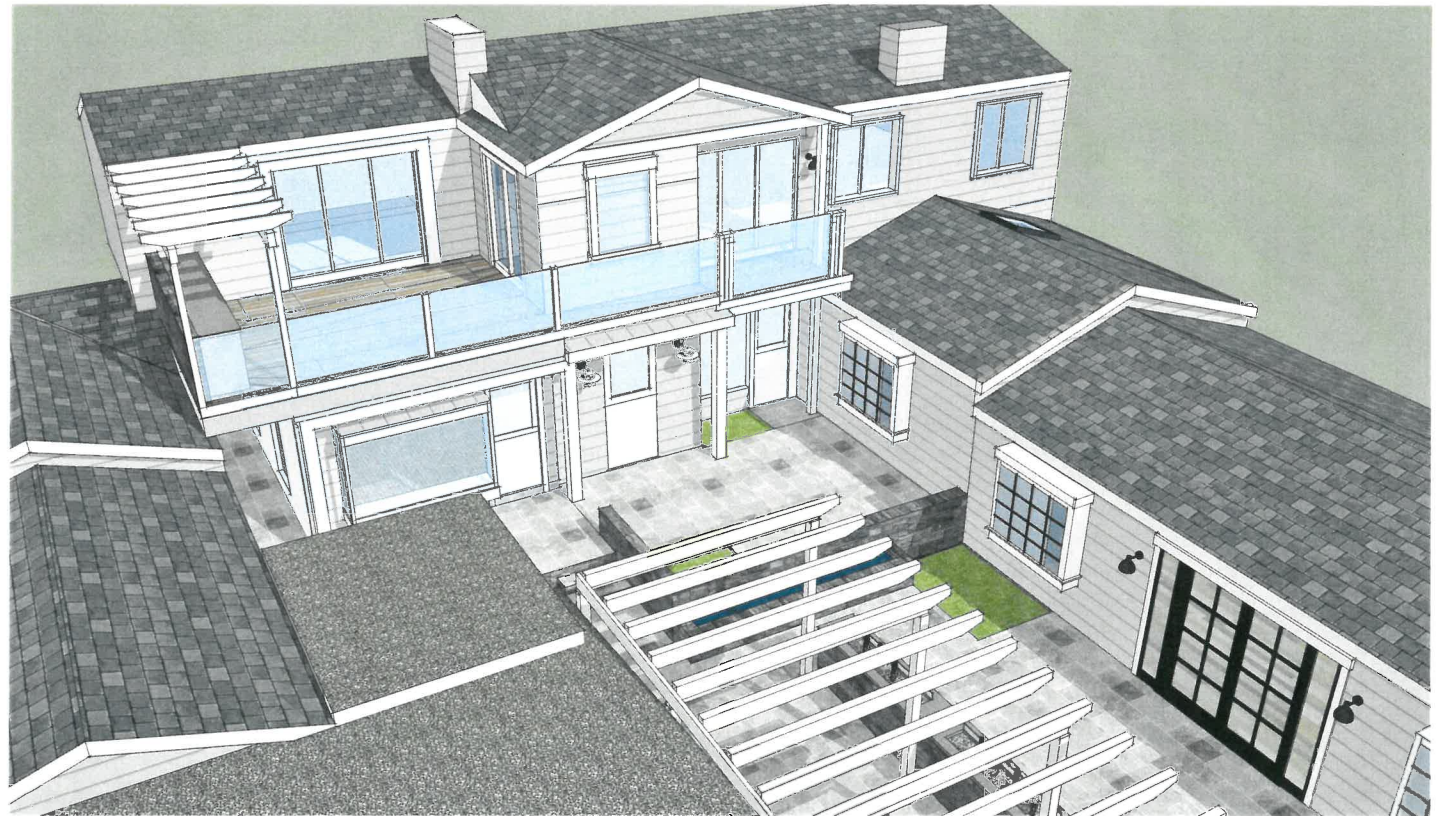
LINCOLN LANE
LINCOLN STREET E/S BETWEEN 5TH AND 6TH
CARMEL-BY-THE-SEA, CALIFORNIA

PROPOSED
RENDERINGS

2-15-2018

AS NOTED

A4.0



ADAM JESELNICK
ARCHITECT



LINCOLN LANE
 LINCOLN STREET E/S BETWEEN 5TH AND 6TH
 CARMEL-BY-THE-SEA, CALIFORNIA

PROPOSED
 RENDERINGS

2-15-2018

AS NOTED

A4.1

1 PROPOSED SITE RENDERINGS
 NOT TO SCALE

REVISION #



3/27/2018 PLANNING REVISIONS
 5/22/2018 PLANNING RE-SUBMITTAL

EXTERIOR NOTES AND SPECIFICATIONS

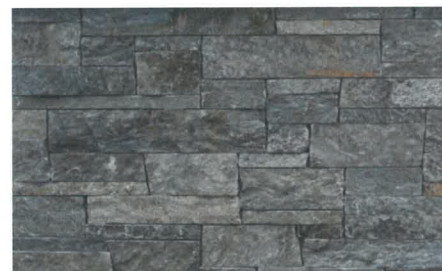
- REFER TO ARCHITECTURAL FLOOR PLANS AND ELEVATIONS FOR ALL INFORMATION NOT SPECIFIED THIS SHEET.
- NO CHANGE TO EXISTING ROOF MATERIAL OR SIDING. ALL FINISH MATERIALS TO MATCH EXISTING UNLESS NOTED.
- CONCEPTUAL COURTYARD SEATING PLAN SHOWN FOR REFERENCE ONLY. NO CHANGE TO EXISTING RESTAURANT USE PERMIT THIS APPLICATION.



NEW PAINTED STEEL RAILINGS, CUSTOM FABRICATION
WHITE (RAILINGS AT SEATING AREA)



NEW SLATE ROOFING, TRUSLATE CHARCOAL
(REPLACE ALL EXISTING CEDAR SHAKE ROOFS)



NEW THIN STONE VENEER, MONTANA ROCKWORKS,
MACGREGOR LAKE (LOW PLANTER WALLS, WALLS)



STONE UNIVERSE, INDIAN BLUESTONE
(COURTYARD HARDSCAPE, STEPS, LANDINGS)

2 EXTERIOR MATERIALS

REVISION #		DATE	DESCRIPTION
3/27/2018		3/27/2018	PLANNING REVISIONS
5/22/2018		5/22/2018	PLANNING RE-SUBMITTAL



3 EXTERIOR DOORS, TYPICAL



4 LIGHT FIXTURE SPECIFICATIONS

NOT TO SCALE

SCONCE LIGHTS AT ENTRY DOORS - QTY: 12

HUBBARDTON FORGE
PRODUCT SPECIFICATIONS

Mason Large Outdoor Sconce

Base Item #323005		
Configured Item #382006-1004		
CLASSIFICATION		
FRESH	Coastal Black - 10	GLASS Clear Glass (2M)
LAMPING	Incandescent	

OPTIONS

FRESH	GLASS	LAMPING
Coastal Black - 10	Clear Glass (2M)	Incandescent
Coastal Natural Iron - 20		
Coastal Mahogany - 31		
Coastal Bronze - 75		
Coastal Dark Bronze - 77		
Coastal Burnished Steel - 78		

SPECIFICATIONS

Mason Large Outdoor Sconce
Base Item # 323005
Configured Item # 382006-1004
CLASSIFICATION: 1004

Outdoor sconce with thick blown glass ball, aluminum, large.

- Handcrafted in order by skilled artisans in Vermont, USA
- Features limited warranty when installed by professional installer
- Features our robust Coated Outdoor Finish specifically formulated to resist some of the toughest environmental conditions
- US Patent D.728.852

Dimensions

Height	15.00"
Width	11.50"
Projection	12.50"
Product Weight	4.20 lbs
Net Weight	5.50" x 13.00"
Vertical Mounting Height	15.00 lbs
Shipping (DIM) Weight	46.00 lbs

Installation

Incandescent Lamping
Socket: G-9 Halogen
Bulb: G-9, 50W Watt
Number of Bulbs: 1 (Included)
ES Flame Retardant: N

Location Rating
Outdoor Wet
Safety Rating
UL, CUL, listed

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STEP LIGHTING AT STAIRS, COURTYARD ENTRY - QTY: 9

Model: WL-LED100
LEDme® Step Light

WAC LIGHTING
Responsible Lighting®

Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION
Horizontal rectangular LEDme® Step Light. Designed for safety and style on patios, decks, porches, walkways and building perimeters.

Features

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- Direct wiring, no driver required
- Low profile, flush to wall, unobtrusive with no visible hardware
- 40,000 hour rated life
- Ballast and wiring hidden in wall, minimum 1/2" depth
- IP64 rated. Protected against high pressure water jets
- Up to 200 fixtures can be connected in parallel
- Regulable LED module
- 3 year WAC Lighting product warranty

FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- Direct wiring, no driver required
- Low profile, flush to wall, unobtrusive with no visible hardware
- 40,000 hour rated life
- Ballast and wiring hidden in wall, minimum 1/2" depth
- IP64 rated. Protected against high pressure water jets
- Up to 200 fixtures can be connected in parallel
- Regulable LED module
- 3 year WAC Lighting product warranty

CREDS NUMBER

Model #	Light Color	Finish
WL-LED100	Warm White	SS
WL-LED100P	Warm White	SS
WL-LED100	Warm White	SS
WL-LED100	Warm White	SS

Example: WL-LED100P-WW-SS

Specifications

Construction: One-piece aluminum or 316 marine grade cast stainless steel

Power: Direct wiring, no driver required

Light Source: 5000K CCT Warm White High Power LED, CRI 85

Mounting: 1/2" x 2" x 2" 1/2" box with minimum 1/2" depth

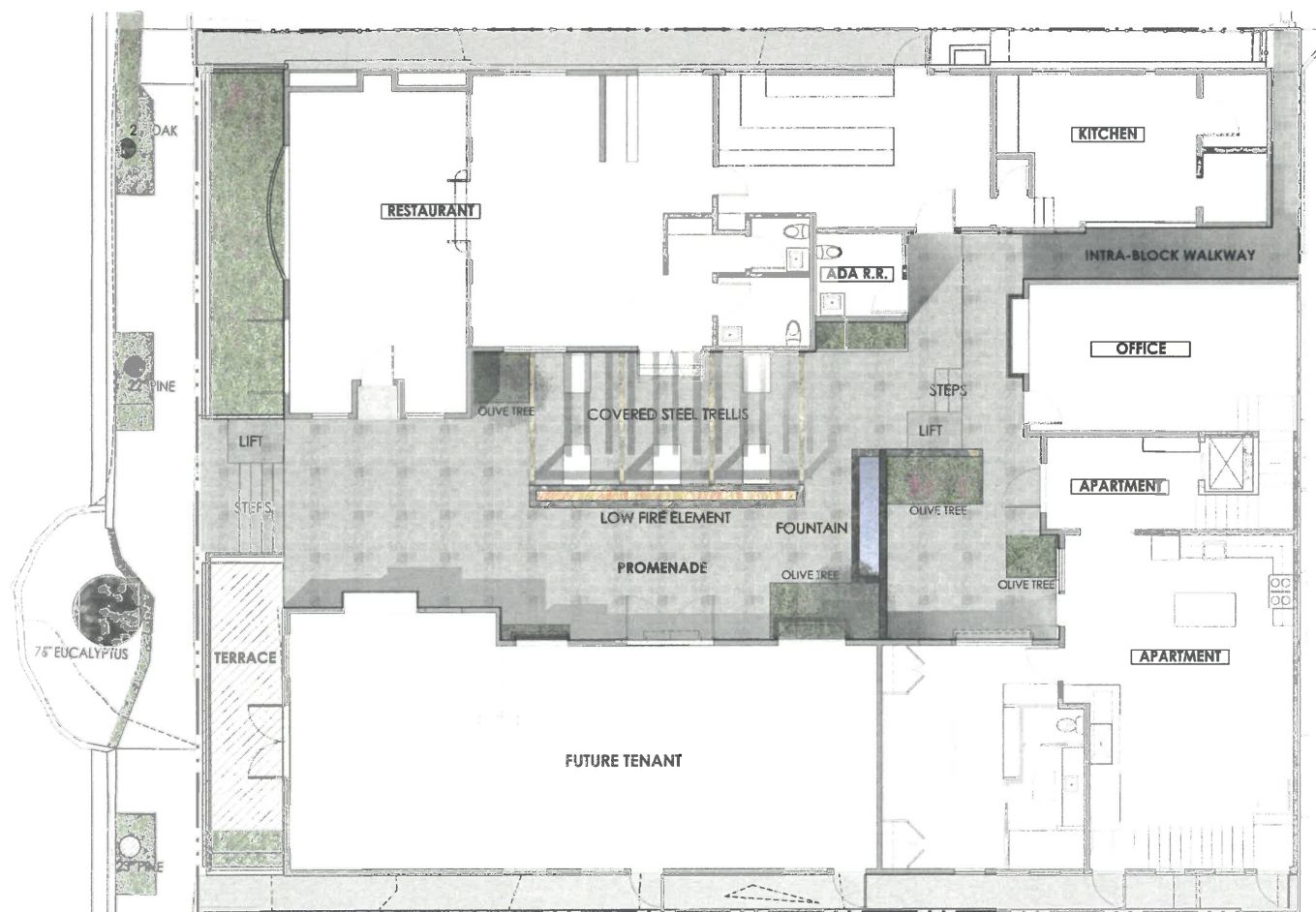
Finish: SS, PW, BR

Warranty: 3 Year

DISTRIBUTION

Headquarters/Eastern Distribution Center	Central Distribution Center	Western Distribution Center
1500 Park Drive P.O. Box 1000 P.O. Box 1000 P.O. Box 1000	1500 Park Drive P.O. Box 1000 P.O. Box 1000 P.O. Box 1000	1700 Park Drive P.O. Box 1000 P.O. Box 1000 P.O. Box 1000

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. © 2018 WAC Lighting



1 SITE COURTYARD RENDERING

SCALE: 1/8" = 1'-0"

ADAM JESELNICK
ARCHITECT



LINCOLN LANE
LINCOLN STREET E/S BETWEEN 5TH AND 6TH
CARMEL-BY-THE-SEA, CALIFORNIA

SPECIFICATIONS
+ MATERIALS

2-15-2018

AS NOTED

A5.1

submitted a letter included as Attachment 1 explaining his reasons for constructing the privacy fence. The privacy fence extends for 41 linear feet and is located approximately 6 inches back from the existing shared fence, which serves as the applicant's rear-yard fence and the south neighbor's side-yard fence (see the parcel map in Attachment 3). The lower portion of the fence is 6' tall and solid and composed of white vinyl, while the upper portion is an approximately 2'-1" high lattice topped by a 3.4' wide, 7" high wooden arbor consisting of two perpendicular timbers and six parallel crossbeams. Additionally, the applicant is proposing to grow climbing plants on the arbor.

The neighboring property owner to the south has submitted a letter (included as Attachment 2), objecting to the height, visibility, material and proximity of the fence. On November 27, 2017, the Code Enforcement officer issued a Notice of Violation for constructing the fence without permits. The applicant submitted a Design Study application for the fence on March 27, 2018. According to CMC 17.10.030, all fences that exceed 6 feet in height require approval by the Planning Commission.

Staff analysis

Although the Residential Design Guidelines have rigorous standards for height, design and materials of front-yard fences and arbors, the Guidelines do not provide standards for rear-yard fences that are not visible from the street. In regard to privacy, Residential Design Guideline 5.1 recommends preserving significant trees to screen views into adjacent properties. In regard to protection of views, Residential Design Guidelines 5.1 to 5.3 encourage maintaining views through a property to natural features and protecting and preserving the light, air and open space of surrounding properties. The Guidelines discourage incorporating tall or bulky building elements near the property line.

The 8'-8" privacy fence and trellis does appear tall from the ground-level rear yard of the neighboring property to the south because it rises, at maximum, 4'-6" above the shared 6-foot-high fence (see the south neighbor's photographs included as Attachment 2). The privacy fence is located only 6" from the property line and is only approximately 4 feet from the south neighbor's upper-floor oriel window as documented by the photographs submitted by the south neighbor included as Attachment 2. The Planning Commission will have the opportunity to view the fence from the south neighbor's property as part of the Tour of Inspection on the day of the Planning Commission meeting.

Despite the mass that the privacy fence presents to the south neighbor, in staff's opinion, the south neighbor's elevated upper and lower decks and large upper-floor oriel window that face the applicant's property create a justifiable need for additional privacy screening. Residential

Design Guideline 5.1 recommends locating windows and balconies such that they avoid overlooking active indoor and outdoor use areas of adjacent properties, preserving significant trees that will help to screen views into adjacent properties and screening patios and terraces. The walking surface of south neighbor's lower deck is elevated between 5 and 6 feet above grade and is located approximately 5 feet from the shared fence. Consequently, the walking surface of the lower deck is located near the top of the 6-foot-high fence and the railing is between 2 and 3 feet above the existing shared fence (See Attachment 1 for a photograph of the lower deck in relation to the 6-foot-high shared fence). Additionally, although the neighbor's second-story terrace and spa is set back approximately 13.5 feet from the property line, it overlooks the applicant's rear yard and residence (See Attachment 3 for elevation drawings of the neighboring residence to the south). Finally, the neighbor's large second-story oriel window faces the applicant's property and is located 3 feet from the property line. Consequently, the applicant is requesting to keep the new privacy fence to mitigate existing privacy impacts to his ground-floor dining room, bedroom, and second-floor master bedroom and bathroom.

The applicant states he is requesting a vinyl fence to limit the need to maintain the fence over time as the 6" separation from the neighbor's fence will make the south neighbor's side difficult to maintain. The Residential Design Guidelines recommend that fences be composed of natural materials such as wood, stone or wrought iron. The neighboring property owner to the south has expressed concern regarding the vinyl material of the privacy fence. Staff notes that while vinyl is not a material encouraged by the City's Residential Design Guidelines, the City does not regulate the color fences and so the white color of the fence does not violate the City's regulations. If the Commission has a concern regarding the vinyl material of the fence, it can require the applicant to remove the vinyl fence and reconstruct it with natural materials.

In staff's opinion, the height of the privacy fence and the width of the trellis is warranted in order to adequately screen the applicant's property from the overlooking oriel window and 2nd-story deck on the neighboring property as well as provide privacy from the 5- to 6-foot-high elevated lower deck located only 5 feet from the property line. Staff recommends that the Planning Commission approve the applicant's request for an 8'-1" high privacy fence topped by a 7" horizontal arbor only where the fence overlaps with the south residence and elevated deck but require that the privacy fence be stepped down to 6 feet topped by a 1-foot-high trellis where it overlaps with the ground-level rear yard of the south neighbor.

Alternatively, the Planning Commission could approve the applicant's request to maintain the existing privacy fence as built, or the Commission could deny the application and require the removal of the privacy fence.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Structures including fences. The proposed 8'-8" tall privacy fence is considered an accessory or appurtenant structure and so is exempt from environmental review.

ATTACHMENTS:

- Attachment 1 – Applicant’s Letter, Plans and Photographs
- Attachment 2 – Letter of Concern from South Neighbor
- Attachment 3 – Parcel Map and south neighboring property's building elevations

June 7, 2018

Steven Brown

Mr. Catherine Tarone
City of Carmel-by-the-Sea
Community Planning and Building Department
Post Office Drawer CC
Carmel-by-the-Sea, CA 93921

RE: Incomplete Letter
DS 18-124 (Brown)
8th Avenue, 3 SE of Monte Verde Street
Block 94, Lots 1 & 3, APN 010-193-020

Dear Ms. Tarone,

In response to your letter dated April 20, 2018 with respect to our design study application, I offer the following:

#1. I will drop off the referral fee today.

#2. Privacy is our primary objective with our fence. Through our neighbor's inappropriate behavior, he has managed to completely violate our privacy. Building a fence is the most reasonable way to get this back. The property directly South of ours is an elevated two-story home. Because of its elevation, the upper and lower decks have vantage points that look directly down into our ground floor dining room, bedroom and also directly into our second-floor master bedroom and bathroom. Our neighbor has a hot tub on their upper deck. We have witnessed our neighbor on a number of occasions looking directly into our home while using his hot tub. He faces our home, rather than enjoying the view of the ocean to the West. My wife comes to Carmel alone or with girlfriends and feels threatened by this behavior.

Our neighbors fence borders the property line to the South. Their fence is 73" tall and follows the downward slope of the property. Our fences have a 6" separation between them. The solid portion of our fence is 71" tall, 2" lower than our neighbors fence. I've added a dashed line on the elevation view of our fence that shows the height of their fence. Our fence is installed level, and steps down as the property slopes rather than following the slope of the property. At varying points, the solid portion of our fence is anywhere from 2" below to 10" above their fence. The upper portion of our fence is open lattice with a trellis on top. The lattice portion of our fence sits anywhere from 30" – 40" above their fence. We have two existing Honeysuckle vines and are training them to infill along the lattice and trellis portion of the fence. This vegetation should completely cover the fence within the year. Beyond our fence, the neighbor has a lower porch. The

elevation of this porch looks directly into our ground floor dining room and bedroom. Other than impeding their view into our home, the fence doesn't affect their view whatsoever. This fence is located on the North side of their property. The sun comes from the South. This fence has no impact on light with respect to their yard.

#3. Our fence is located 7'-5" from the back of our house.

#4. I've made a slight revision to the elevation drawing depicting our fence and now show the trellis portion of the fence.

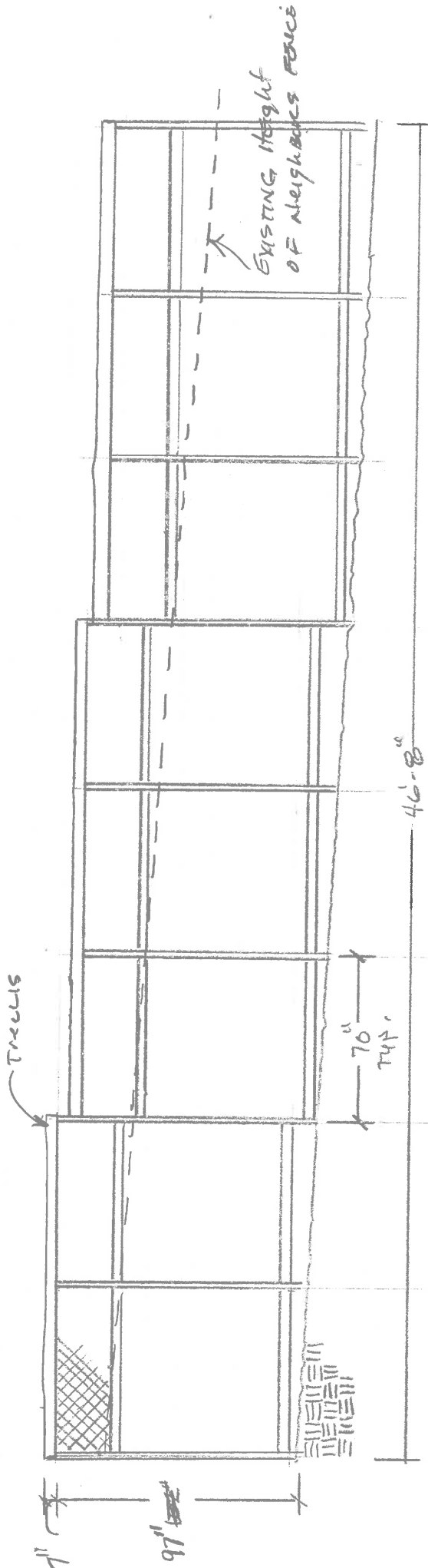
#5. Our fence is constructed of both wood and vinyl. The solid lower portion of the fence is vinyl. With this portion of the fence having a 6" separation from the neighbor's fence, we will be unable to maintain their side of the fence. With this in mind, we thought it would be best to use a maintenance free material. This is consistent with the lattice as well. The trellis is constructed of wood and painted white. The trellis will be completely cover with vegetation and require minimal maintenance.

#6. If approved, we will obtain the necessary permits and inspection required.

I've included a couple additional pictures with this submittal for your review. Let me know if you have any additional questions.

Respectfully,

Steven Brown



RECEIVED

MAY 07 2018

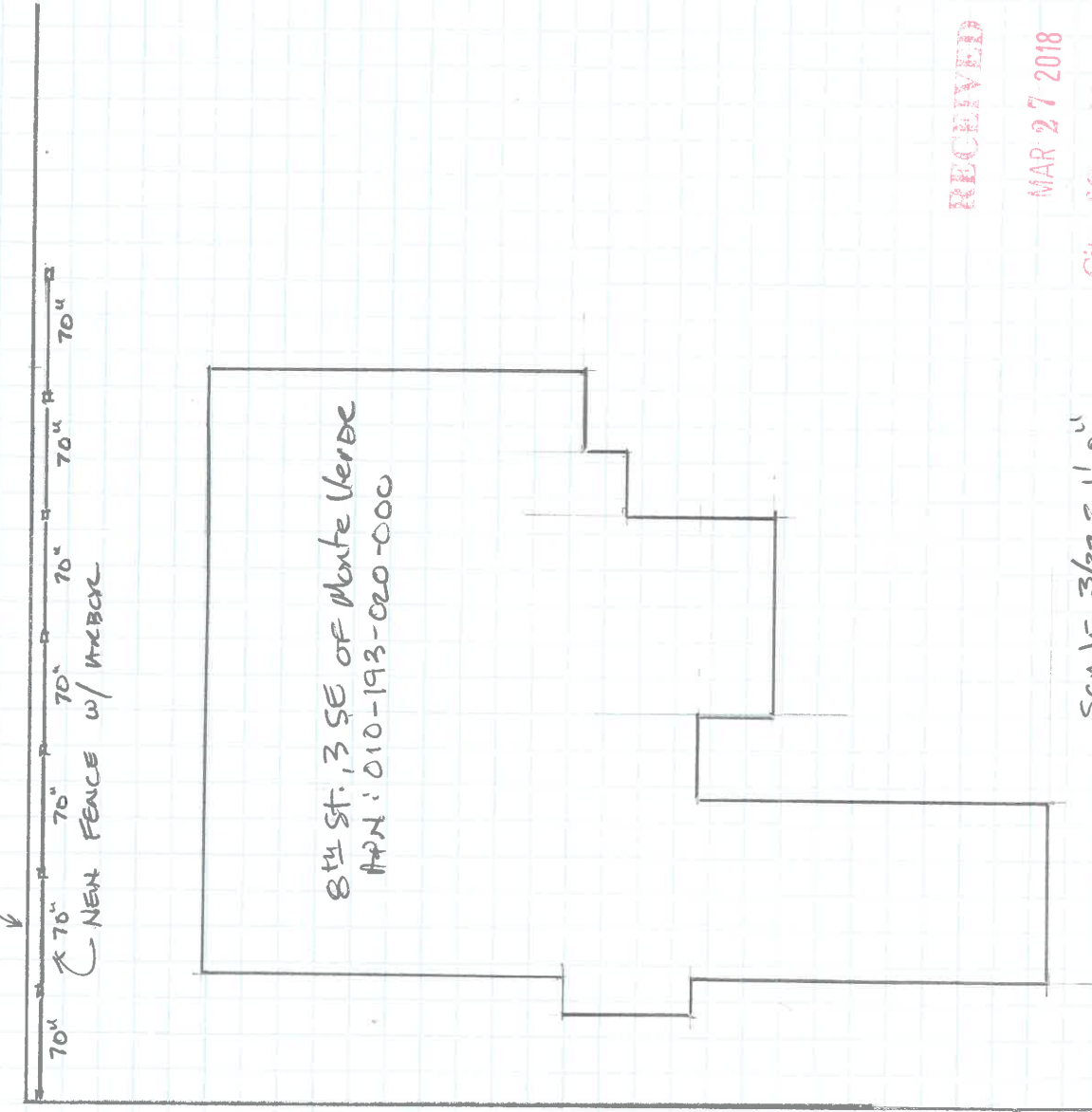
City of Carmel-by-the-Sea
 Planning & Building Dept.

NEW FENCE
 w/ AR-BOR

SOUTH

EXISTING FENCE

NEW FENCE W/ HATCH



RECEIVED

MAR 27 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

SCALE 3/32" = 1'-0"

NORTH



RECEIVED

MAR 27 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

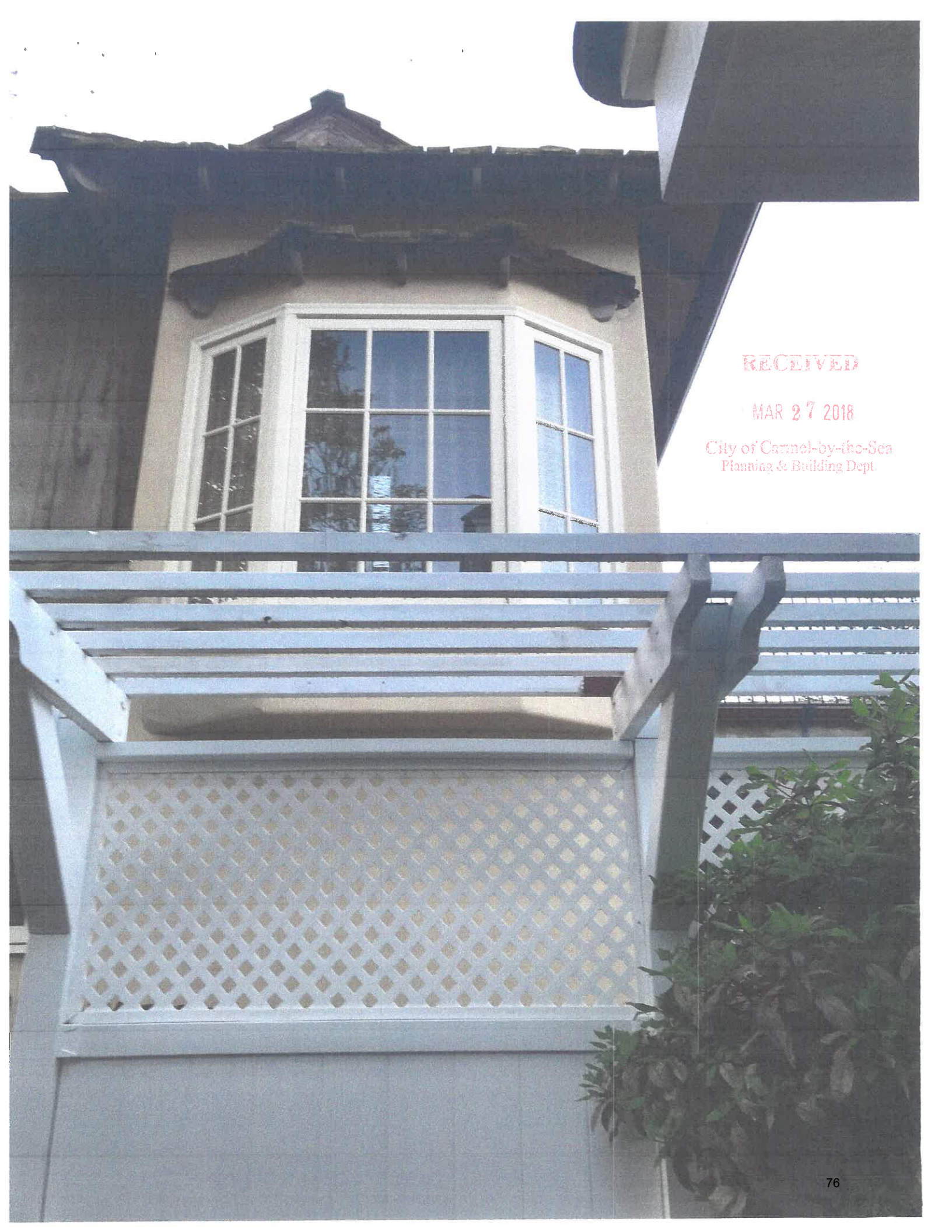




RECEIVED

MAR 27 2018

City of Carmel-by-the-Sea
Planning & Building Dept.



RECEIVED

MAR 27 2018

City of Carmel-by-the-Sea
Planning & Building Dept.



Lower

level

40

April 6, 2018
Burton and Maud Goldfield
Lincoln 2SW of 8th
Carmel by the Sea, CA 93921

City of Carmel by the Sea Community Planning and Building Department
P.O. Drawer G
Carmel by the Sea, CA 93921
Planning Commission
c/o Catherine Tarone, Assistant Planner
City of Carmel-by the Sea

RECEIVED

APR 10 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

Code Compliance #17283

Dear Catherine,

On or about August 1, 2017 our neighbors on the adjoining property Steven Brown and Donna Anderson began erecting a large structure on our mutual property line without a permit or notification of any kind. The structure became a vertical fence that exceeds 8.5 ft high with a horizontal "arbor" at the top that which exceeds 3.4 feet in length. Additionally, significant bracing is used to support this horizontal structure.

I initiated numerous correspondences with the property owner beginning on August 17, 2017 which was rebuffed and then ignored, expressing my concern about the structure. On November 22, 2017, I met with Al Fasulo, Contract Code Compliance, and was assured the issue would be addressed and that the structure was, in fact, out of compliance. A "Notice of Violation" was sent to the owners on November 27, 2017.

Over nine months after the initial construction, the structure remains. I respectfully request that the code be enforced and the structure be removed. I have provided the following pictures for perspective from my home.

1. **Figure 1 and 1a.** The vertical structure looms large (4ft 6 in) over the existing wooden fence that has been in place for over 15 years. This view is from the bedroom patio in my back yard. This structure is an eyesore disrupting the natural beauty of the gardens.
2. **Figure 2.** The horizontal structure which is 3.4 ft is supported by an extensive set of braces and unsightly supports.
3. **Figure 3.** The structure rises to a level where it is 47 inches from my window. This is clearly more than a fence. The current view speaks for itself. This is not something anyone would want to look at from their window.

I understand their desire for privacy, however all attempts at an amicable resolution were ignored. I am disappointed that it has come to this, but I would appreciate the rules being followed since absolutely nothing has changed with the exterior of our home, garden, or existing fence for seventeen years. This has caused great stress to my wife and me.

I can be contacted at _____ or _____

Respectfully,

Burton M. Goldfield

Maud Carol Goldfield

- cc. Al Fasulo Code Compliance Officer
- cc. Marc Wiener, AICP, Community Planning & Building Director
- cc. Glen Mozingo, City Attorney

RECEIVED

APR 2011
City of Carmel
Planning & Development

Figure 1

←
4ft 6in
→

Figure 1 and 1a. The vertical structure looms large (4ft 6 in) over the existing wooden fence that has been in place for over 15 years. This view is from the bedroom patio in my back yard. This structure is an eyesore disrupting the natural beauty of the gardens.

Figure 1a

<-----4ft 6in----->

Figure 1 and 1a. The vertical structure looms large (4ft 6 in) over the existing wooden fence that has been in place for over 15 years. This view is from the bedroom patio in my back yard. This structure is an eyesore disrupting the natural beauty of the gardens.

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City of Carmel-by-the-Sea
Planning & Building Dept.

Figure 2



Figure 2. The horizontal structure which is 3.4 ft is supported by an extensive set of braces and unsightly supports.

A photograph showing a white lattice fence. A yellow funnel is placed over one of the lattice openings, and a thick, yellow stream of liquid is being poured through it. The fence is made of white plastic or metal slats. The background shows some green foliage.

Figure 3

. **Figure 3.** The structure rises to a level where it is 47 inches from my window. This is clearly more than a fence. The current view speaks for itself. This is not something anyone would want to look at from their window.



Fwd: Carmel House

1 message

Burton Goldfield <...>
To: afasulo@ci.carmel.ca.us, Burton Goldfield <...>

Wed, Nov 22, 2017 at 11:44 AM

Hi Al,

Thank you for your visit today. Below are the correspondence I have had with the new neighbors located at 8th Ave. 2 SW of Lincoln concerning the fence that was built on our adjoining property line. I live at Lincoln 2 SW of 8th. Please feel free to contact me anytime at [redacted] Their contact information is below.

Regards,

Burton

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City of Carmel-by-the-Sea
Planning & Building Dept.

----- Forwarded message -----

From: Burton Goldfield <...>
Date: Thu, Nov 2, 2017 at 6:47 PM
Subject: Re: Carmel House
To: Leah <...>
Cc: Burton Goldfield <...>

Hi Leah,

It has been over two months since my last email. The fence has been virtually untouched during the period and neither Carol nor I have received a call or correspondence.

Please understand I am only asking that you comply with local regulations and nothing more. We have a wonderful neighborhood and we have all paid a great deal for the privilege of living here. I originally reached out in order to address this directly with you. Unfortunately, at this point, I am not sure there is much to discuss.

I would greatly appreciate you bringing the fence into compliance within the next two weeks. Thank you for your understanding.

Regards,

Burton

On Thu, Aug 17, 2017 at 8:25 PM, Burton Goldfield <...> wrote:
I Dear Leah,

Thanks for the quick response. Good news-- we are not selling the house. We decided we love it too much, and so are hoping to spend more time here.

As for the fence-- the zoning requirements are very strict in Carmel. (We just spent \$1,000 on permits just to change the toilets in our own house!). So, it will have to be addressed sooner or later. The maximum height allowed anywhere is 6 ft. I definitely understand the privacy issue and concerns.

Carol's cell is [redacted] and her email is [redacted]. Hopefully we can get together when we are all down. I understand you are dog lovers too.

Burton



City of Carmel-by-the-Sea
COMMUNITY PLANNING AND BUILDING DEPARTMENT
POST OFFICE DRAWER G
CARMEL-BY-THE-SEA, CA 93921
(831) 620-2010 OFFICE

NOTICE OF VIOLATION

November 27, 2017

Steven Brown and Donna Anderson

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City of Carmel-by-the-Sea
Planning & Building Dept.

**Re: Rear Yard Fence Height Violation at 8th Avenue 2 SW of Lincoln Street
Block 94, Lots 1, 3 & 4; APN: 010-193-020**

Dear Mr. Brown and Ms. Anderson:

It has been called to the attention of the City of Carmel-by-the-Sea that you have constructed a rear yard fence in violation of the City's Zoning Standards (17-10 R-1 District Design Regulations.) A check of your property file failed to indicate there was approval for this illegal fence height.

The following municipal code is being provided for your information:

Chapter 17.10
R-1 DISTRICT DESIGN REGULATIONS

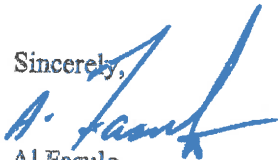
E. Fences and Walls.

1. Height. Fences and walls meeting the standards in Table 17.10-G may be approved through track one design review. Approval of taller fences and walls require approval from the Planning Commission.

You are hereby directed to maintain the approved rear yard fence height according to the Municipal Code of 6 feet, by or before December 27, 2017 and call for an inspection to verify this has been mitigated.

Your cooperation is greatly appreciated. If you have any questions or concerns regarding this matter, please contact me at (831) 620-2026. If you would like to correspond via email, my address is afasulo@ci.carmel.ca.us

Sincerely,

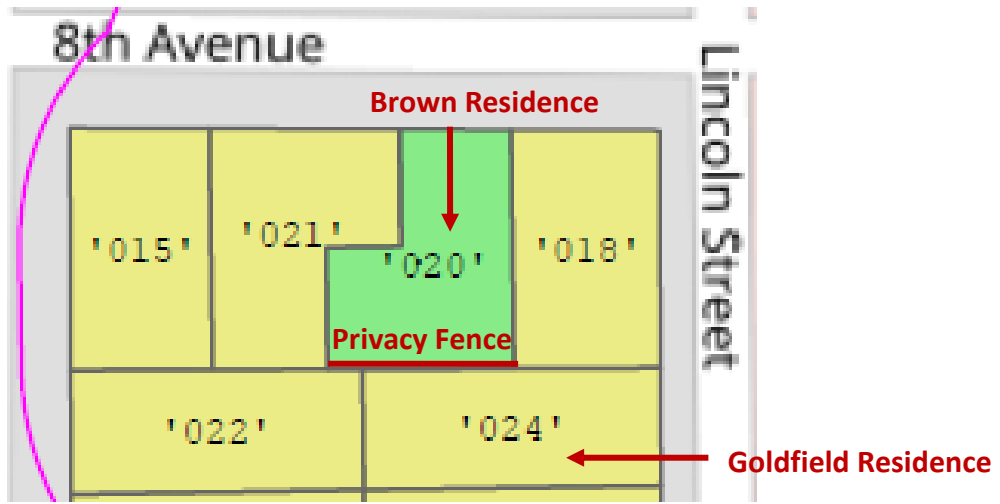


Al Fasulo

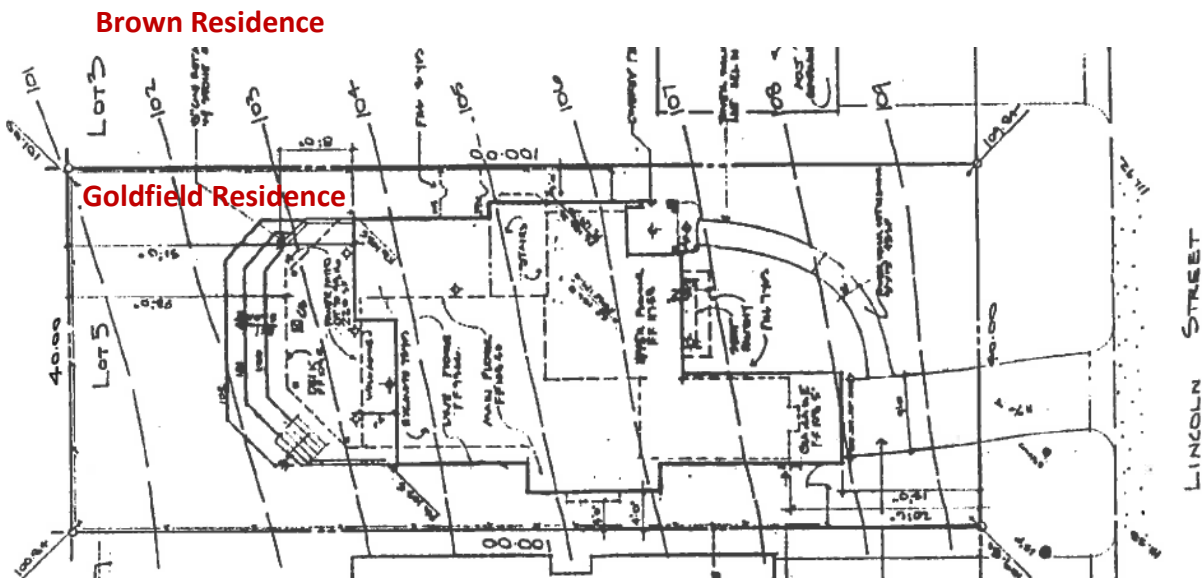
Contract Code Compliance Office

cc: Marc Wiener, AICP, Community Planning & Building Director
Glen Mozingo, City Attorney
Dick Bower, MS, CBO, FM, Building Official

Parcel Map

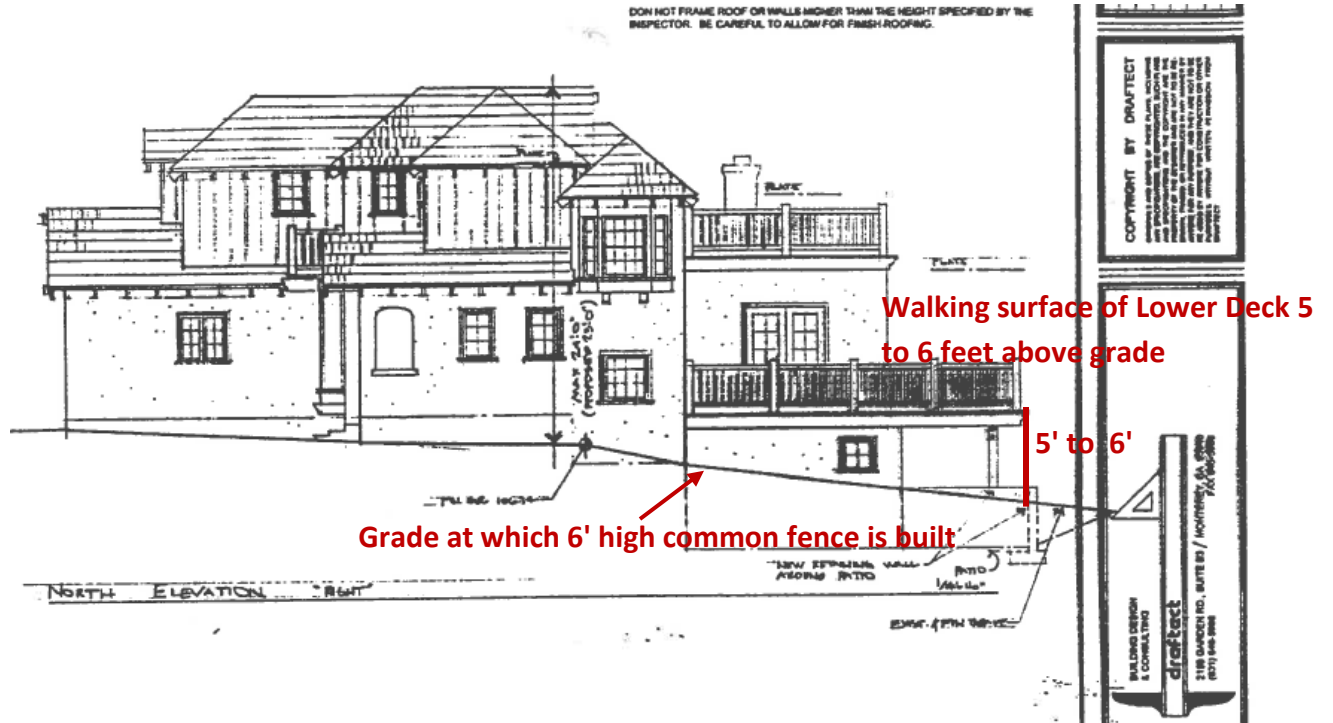


Site Plan of Goldfield Residence approved in 1998 as part of Design Stud Application DS 98-53

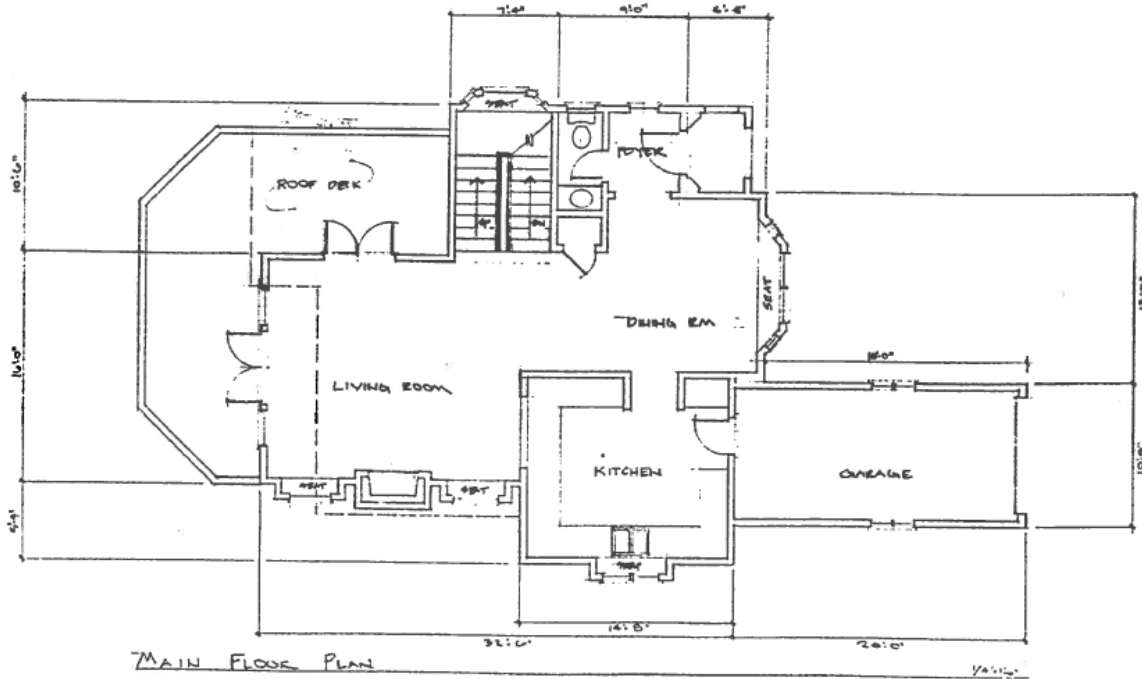
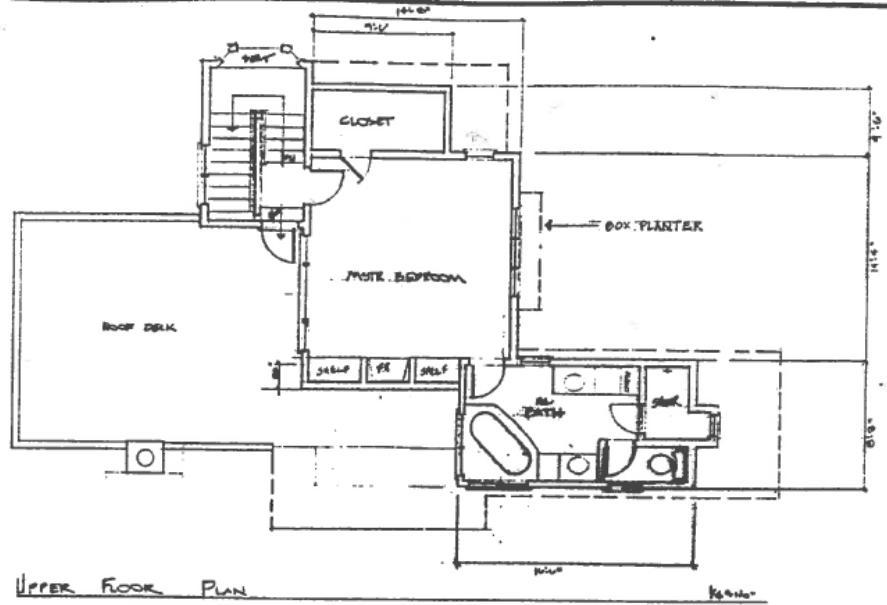


Parcel Map and Elevation Drawings of South Neighboring Residence

North Elevation of the Goldfield Residence facing the Brown Residence



Parcel Map and Elevation Drawings of South Neighboring Residence



DATE	12/15/10
PROJECT	2010-10-10
NO.	1010
REV.	1010

COPYRIGHT BY DRAFT
 I hereby certify that the above is a true and correct copy of the original drawings as shown to me by the architect and that I have not altered or modified in any way the same. I am not responsible for any errors or omissions in the drawings or for any consequences that may result therefrom. I am not responsible for any construction or other work that may be done in accordance with the drawings or for any consequences that may result therefrom.

DESIGNER
 ARCHITECT
 118 HAZEN RD. SUITE 101 / MONTEVIELO, CA 94020
 (415) 448-0000

NEW RESIDENCE FOR:
 SCOTT GREEN
 2 S.W. OF 8TH ON LINCOLN ST.
 LOT 8, BLOCK 94, CARMEL BY THE SEA
 (831) 375-1581

SCALE	AS SHOWN
DATE	12/15/10
PROJECT	2010-10-10
NO.	1010
REV.	1010



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 13, 2018

To: Chair LePage and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Marnie R. Waffle, Senior Planner

Subject: Consideration of a Design Review (DR 18-132) application for year-round exterior, string lighting around a hotel patio at The Getaway (formerly The Village Inn) located in the Residential and Limited Commercial (RC) Zoning District

Application: DR 18-132

APN: 010-094-002

Location: NE Corner of Junipero and Ocean

Block: 68

Lot(s): 5-10

Applicant: Arron Simon

Property Owner: CVI Investors, LLC

EXECUTIVE SUMMARY

The applicant is requesting approval of a Design Review application to allow for year-round exterior, string lighting around a hotel patio at The Getaway located on the northeast corner of Junipero and Ocean.

RECOMMENDATION

Staff recommends that the Planning Commission approve the Design Review application.

BACKGROUND AND PROJECT DESCRIPTION

The Getaway hotel recently completed exterior improvements including the construction of a new outdoor patio on the south elevation of the hotel lobby (refer to Attachment 1). The applicant is requesting Design Review approval to install string lights above the new patio on a year-round basis. The lights would be commercial grade LED string lights with vintage Edison-style light bulbs in warm white. Each string of lights contains 24 LED bulbs and emits 48 watts of power (refer to Attachment 4). The applicant is proposing to install up to two strands on metal poles located on the south and west sides of the new patio. The string lights would be powered by hard-wired, exterior electrical outlets.

Prior Planning Commission Review of String Lights: In April of this year, the Planning Commission reviewed Design Review applications for year-round string lighting at Paseo San Carlos and Bell Tower Court. Staff recommended denial of these applications based on the decorative nature of the lighting; the level of illumination when combined with existing light sources; and, improper installation of the lights. The Planning Commission denied both requests for Design Review approval and the property owner subsequently removed the string lights. In its deliberation the Commission indicated that it could potentially support string lights when used for outdoor activity areas, such as outdoor seating at a restaurant.

Staff has evaluated the current Design Review approval for consistency with the same policies, guidelines and ordinances and is recommending approval of the patio string lights at The Getaway, with the application of conditions of approval. As further detailed below, the proposed string lights would provide illumination to a new outdoor space that is not currently lit.

STAFF ANALYSIS

The City's lighting policy states that permanent exterior lighting is permissible only through Planning Commission approval of a Design Review application. The following policies, guidelines and ordinances regulate lighting in the village.

Carmel General Plan: The Land Use & Community Character Element of the Carmel General Plan contains policy P1-54 which states, "Limit exterior lighting to prevent glare and preserve the traditional low levels of illumination during hours of darkness."

Staff Analysis: The Getaway hotel recently completed construction of a new outdoor patio on the south elevation of the hotel lobby. There are currently no light fixtures installed to illuminate this area. The applicant is proposing approximately 75 feet of string lighting along the perimeter of the patio. Staff estimates this would require one and one-half sets of string lights resulting in approximately 72 watts (the equivalent of 300 incandescent watts and 4,600 lumens). The proposed string lights are also dimmable.

The string lights would be visible from Ocean Avenue and Junipero Street; however, the hotel patio is setback a significant distance from Ocean Avenue and is buffered with landscaping. The lights would be most visible from Junipero Street although only a very small portion is proposed to be located on the west side of the patio with the majority of the lights oriented towards the hotel parking lot.

In order to preserve the traditional low level of lighting during the hours of darkness consistent with General Plan Policy P1-54, Staff recommends that only 1 set of string lights be installed to illuminate the patio. LED lighting emits a brighter light and limiting the amount of lighting to

one strand would reduce the proposed lighting level to 48 watts (the equivalent of 200 incandescent watts and 3,000 lumens).

Commercial Design Guidelines: The Commercial Design Guidelines contain the following three statements relative to lighting:

Section H: Lighting should be the minimum required for public safety.

Section H.1: Harsh, unscreened, flashing, blinking, garish lights and entry lights on motion sensors are inappropriate as are wall washing, landscape lighting and tree lighting.

Section H.2: Lighting fixtures should be discrete or compatible in design with the building and site.

Staff Analysis:

The proposed string lights would be the sole source of illumination of the hotel patio. The vintage Edison-style bulbs are a warm white color temperature with a maximum of 2 watts per bulb. The lights would not be considered harsh and would not flash or blink. The vintage Edison-style design of the string lights is intended to complement the updated design of the hotel and the contemporary patio which contains wood bench seating and a gas fire pit. The proposed lights are consistent with the Commercial Design Guidelines.

Carmel Municipal Code: Municipal Code Section 15.36.070 contains the lighting requirements for commercial buildings. The Municipal Code states that all light fixtures shall not be directed toward the public right-of-way and lighting intensity shall not exceed eight-candlefoot power at a point two feet beyond storefront windows. Additionally, Municipal Code Chapter 8.32 adopts the 2016 California Fire Code which states the following:

- 1) **Extension cords.** Extension cords and flexible cords shall not be a substitute for permanent wiring. Extension cords and flexible cords shall not be affixed to structures, extended through walls, ceilings or floors, or under doors or floor coverings, nor shall such cords be subject to environmental damage or physical impact. Extension cords shall be used only with portable appliances.
- 2) **Temporary wiring.** Temporary wiring for electrical power and lighting installations is allowed for a period not to exceed 90 days. Temporary wiring methods shall meet the applicable provisions of the California Electrical Code.

Staff Analysis: The proposed string lights would be supported by a steel guide wire suspended between metal poles that extend above the metal railing that encloses the patio. The light

bulbs would not be shielded or down facing; however, each bulb would not exceed 2 watts and the string lights could be dimmed which would further limit the level of illumination. Staff notes that a portion of the string lights are proposed to be located along the public sidewalk on Junipero Street; however the lights would be partially screened by an existing street tree. If the Planning Commission has concerns about spillover of light onto the public sidewalk, the application could be conditioned to prohibit the placement of lights on the west elevation of the patio.

Hard-wired exterior electrical outlets have been installed at the new patio to provide a safe power source for the proposed string lights. Additionally, staff has included Special Condition No. 6 (refer to Attachment 3) that prohibits the use of extension cords.

Environmental Review: The proposed project is exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15301 which includes minor alterations to private structures involving no expansion of the existing use of the site as a hotel.

ATTACHMENTS:

- Attachment 1 – Site Photographs
- Attachment 2 – Findings for Approval
- Attachment 3 – Conditions of Approval
- Attachment 4 – Project Plans and Light Specifications



Photo 1. New Outdoor Patio @ The Getaway (formerly The Village Inn)



Photo 2. South Elevation of New Outdoor Patio @ The Getaway
(formerly The Village Inn)



Photo 3. Hard-wired Exterior Electrical Outlets

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR APPROVAL

DR 18-132 (CVI Investors, LLC)
The Getaway, formerly The Village Inn
NE Corner of Junipero Ave & Ocean Ave
Block: 68, Lot(s): 5-10
APN: 010-094-002

CONSIDERATION

Consideration of a Design Review (DR 18-132) application for year-round exterior, string lighting around a hotel patio at The Getaway (formerly The Village Inn) located in the Residential and Limited Commercial (RC) Zoning District.

FINDINGS OF FACT

1. The project site is located at the northeast corner of Junipero Avenue and Ocean Avenue in the Residential and Limited Commercial (RC) Zoning District.
2. On April 4, 2018, the applicant submitted a Design Review application to install exterior lighting around a new outdoor patio on the south elevation of the hotel lobby.
3. Carmel Municipal Code Section 17.58.030 (Commercial Design Review) establishes a Track One Design Review process for exterior design changes in the Residential and Limited Commercial (RC) Zoning District.
4. City Council Policy 95-09 requires Planning Commission approval of permanent exterior lighting changes.
5. This Track One Design Review application is exempt from the requirements of the California Environmental Quality Act (Class 1 – Existing Facilities).

FINDINGS FOR DECISION

1. The project, as conditioned, conforms to the applicable policies of the General Plan and the Local Coastal Program.
2. The project, as conditioned, complies with all applicable provisions of the Carmel Municipal code.

3. The project, as conditioned, is consistent with applicable Commercial Design Guidelines.
4. The project, as conditioned, constitutes an improvement over existing conditions.

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

DR 18-132 (CVI Investors, LLC)
The Getaway, formerly The Village Inn
NE Corner of Junipero Ave & Ocean Ave
Block: 68, Lot(s): 5-10
APN: 010-094-002

PROJECT DESCRIPTION

Consideration of a Design Review (DR 18-132) application for year-round exterior, string lighting around a hotel patio at The Getaway (formerly The Village Inn) located in the Residential and Limited Commercial (RC) Zoning District.

STANDARD CONDITIONS

1. Approval of this Design Review (DR 18-132) application authorizes the installation of year-round exterior, string lighting around the hotel patio at The Getaway (formerly The Village Inn) as represented in the project plans and light specifications dated received by Community Planning & Building on April 4, 2018. Any modifications to the type, style, number, or illumination level of the string lights shall first require review by the Community Planning & Building Department. Substantial changes may require review by the Planning Commission.
2. This Commercial Design Review approval shall be valid for a period of 18 months from the date of action by the Planning Commission or, if appealed, final action by the City Council.
3. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

SPECIAL CONDITIONS

4. Unless otherwise modified by these conditions of approval, the string lights shall be consistent with the lighting specifications submitted on April 4, 2018 and shall be installed and maintained in accordance with the manufacturers specifications. Each individual bulb shall not exceed 2 watts as stated in the specifications.
5. The string lights shall not be spliced to reduce the length of the lights.
6. At no time shall extension cords be used to extend the length of the string lights. The string lights shall be plugged directly into an approved, hard-wired exterior electrical outlet.
7. At any time following installation of the string lights, the City may require the preparation of a photometric plan if illumination levels appear to exceed the maximum allowed under this approval and/or if complaints regarding excessive light or glare are filed with the City.

***Acknowledgement and acceptance of conditions of approval.**

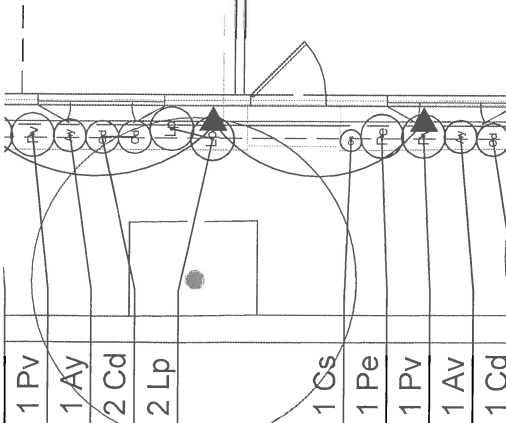
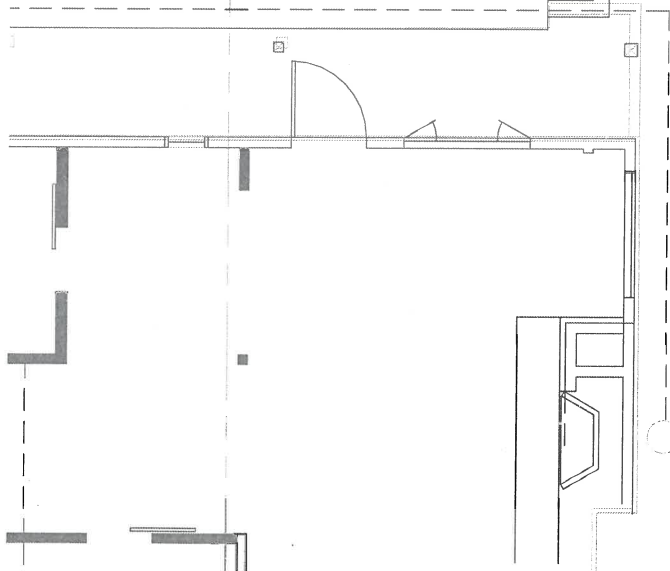
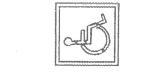
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Applicant Signature	Printed Name	Date
_____	_____	_____
Property Owner Signature	Printed Name	Date



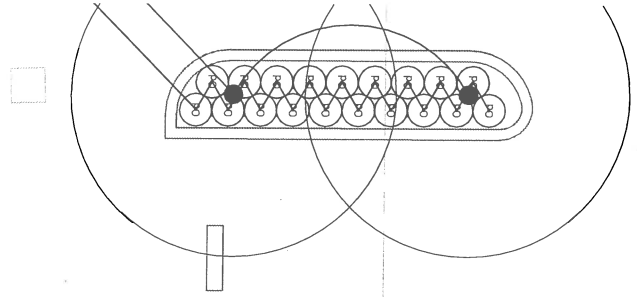
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Planning & Building Dept.



- 1 Pv
- 1 Ay
- 2 Cd
- 2 Lp
- 1 Cs
- 1 Pe
- 1 Pv
- 1 Av
- 1 Cd



Post to be made of the same railing material, design and color.
 Top of post ~ 8' above top of wall at the low portion of the wall. Intent is to have the top of post in line with the eave of the roof.

Bistro Lights

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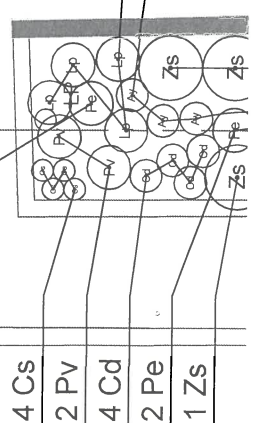
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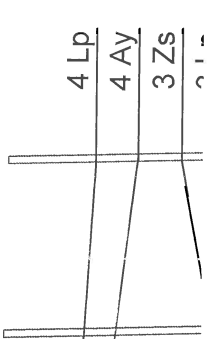
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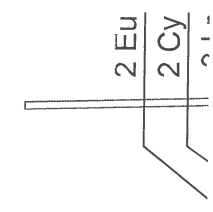
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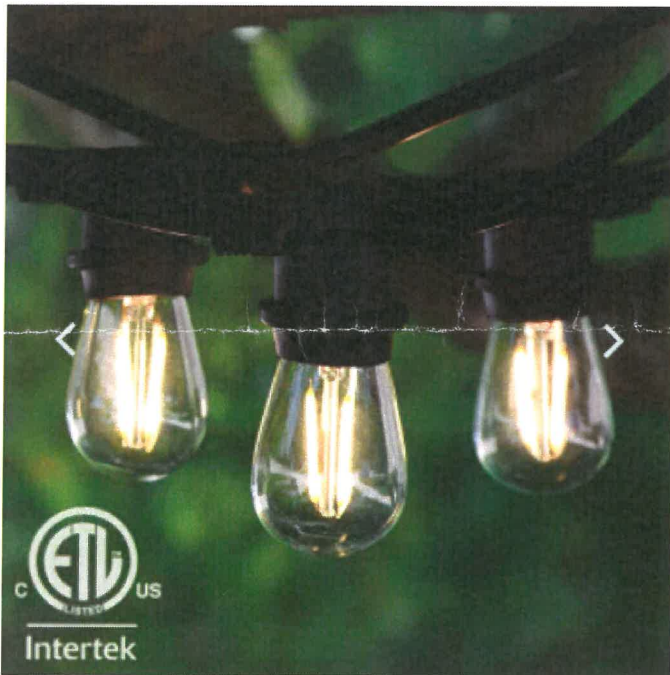
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- 2 Eu
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48 ft Black Commercial Medium String Light & LED S14 Vintage Warm White Bulbs

ITEM #: RM48BKLEDS4S14

0 reviews for this product

\$177.95

One of our most popular bulb design is the S14 sign bulb. This LED vintage version of the bulb is combined with a commercial grade cord to create the perfect Edison-style outdoor string light set! The warm vintage glow and the efficiency of LED are paired with our most popular cord that's great for year-round use.

- Set includes one black cord and 24 bulbs (2 watts each).
- Color temperature: 2800K (Warm white similar to incandescent bulbs).
- End-to-end connection.
- Dimmable.
- If not mounting to a structure, support strand with a steel guide wire.
- Save on shipping and buy extra bulbs now.

QUANTITY

In Stock

ADD TO CART

ADD TO WISHLIST



Facebook

+

Email + More



Product Specs

Product Reviews

Shipping Info

- Comes with 24 of the LED S14 vintage bulbs which are rated at 2 watts with a medium/E27 base.
- Clear glass with LED Edison style filaments.
- Bulb color temperature: 2800K. Warm white is similar to regular incandescent bulbs.
- Bulb size: 1.5" wide and 2" high (3" high with base).
- Average bulb life: 25,000 hours.
- Medium base is 1" wide.
- Dimmable
- 24" spacing between sockets. 24 sockets per cord. Total length is 48 feet which includes 12" of lead and tail cord. (lead and tail cord is the amount of plain cord from the plugs to where the first and last sockets starts)
- If one bulb burns out, the rest stay lit.
- These strands can be plugged end-to-end. You can plug 10 strands max using LED bulbs due to voltage drop.
- Two wire cord with two prong plug.
- Manufactured with 14-gauge wire and high-quality sockets.
- PVC socket forms a tight weatherproof seal around the bulb.
- For indoor or outdoor use and typically permanent installation.
- ETL listed for commercial use.
- Assembly required. Bulbs will need to be screwed in.

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APR 04 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

Galvanized Steel Cable Guide Wire - 60 ft

ITEM #: ACCBL060

★★★★★ 5/5 [Read all 9 reviews](#)

\$29.95

Use this steel cable guide wire to add extra support for our light strings, especially for the commercial grade.

- 60 ft. includes 1 snap hook (attached) and 1 loose cable clip.
- 1/16 in. diameter.
- Easily cuttable.
- Need more cable clips? [Click here to buy.](#)

QUANTITY

1

In Stock

ADD TO CART

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Email + More

f t e p G+

Product Specs

Product Reviews

Shipping Info

- Galvanized steel 60 ft cable with 1 attached snap hook and 1 loose cable clip (to grip looped end).
- 1/16 in diameter. Working load limit of 100 lbs.
- No tools required for using clip. Push/release button on cable clip allows quick adjustment.
- Easily cuttable with wire cutters.
- For outdoor use and weather resistant.
- **WARNING!** Do not use for overhead lifting and never exceed working load limit. Not intended as a safety device or in any application to support human weight.
- This cable is intended to be used with our string lights that need additional support.

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APR 04 2018

City of Carmel-by-the-Sea
Planning & Building Dept.



CITY OF CARMEL-BY-THE-SEA

Planning Commission Staff Report

June 13, 2018

To: Chair LePage and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Marnie R. Waffle, Senior Planner

Subject: Consideration of a Concept Design Study (DS 17-240) and associated Coastal Development Permit for additions to an existing residence and the demolition and construction of a new detached garage located in the Single-Family Residential (R-1) Zoning District.

Application:	DS 17-240	APN:	010-126-007
Location:	Dolores Street, 2 NE of 2 nd Avenue	Lot(s):	14 & 16 + 40' of 13 & 15
Block:	10	Property Owner:	Karyl Hall
Applicant:	Neal Kruse		

EXECUTIVE SUMMARY

The applicant is requesting approval of a Concept Design Study and associated Coastal Development Permit to construct a 126-square foot dining room addition and to demolish an existing, single car detached garage and construct a new 400-square foot detached two-car garage. Existing site coverage would be reduced by 966 square feet. The project is located on Dolores Street 2 NE of 2nd Avenue in the R-1 Single Family Residential District.

RECOMMENDATION

Staff recommends that the Planning Commission approve the Concept Design Study (DS 17-240) and associated Coastal Development Permit subject to the attached Findings for Concept Acceptance and Recommendations/Draft Conditions (Attachments 3 and 4).

BACKGROUND AND PROJECT DESCRIPTION

The project site is currently developed with a 2,057-square foot one-story residence and 182-square foot detached garage located within the front yard setback. A 345-square foot Accessory Dwelling Unit is currently under construction on the property. The site is 11,200 square feet in size and contains a total of 14 trees; 3 additional trees are located in the City right-of-way. A Final Determination of Historic Ineligibility was issued on March 22, 2017.

The applicant is proposing to construct a 126-square foot dining room addition and demolish the existing, 187-square foot detached single car garage to construct a new, 400-square foot detached two-car garage. Other minor alterations include an 11-square foot addition at the bathroom and the removal of a 9-square foot closet. The net additional square footage would total 341 square feet. The expanded residence would be 2,185 square feet and the total floor area, including all structures on the property, would be 3,026 square feet. The maximum permitted floor area is 3,480 square feet.

The construction of a new two-car detached garage would require the removal of approximately 57 cubic yards of soil which translates to 7-8 one-way truck trips (based on 8 cubic yards per load).

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass and scale related to the project. However, the Commission may provide input on other aspects of the design.

STAFF ANALYSIS

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourages preserving significant trees and minimizing impacts on established trees; protecting the root systems of all trees to be preserved; and, maintaining a forested image on the site.

The site contains ten Coast Live Oak trees, two Monterey Cypress trees, one Monterey Pine and one Incense Cedar; three additional Monterey Pine trees are located in front of the property within the City right-of-way. The applicant has obtained a tree removal permit to remove the Incense Cedar and one 18 inch Monterey Pine located within the City right-of-way. Removal of the Monterey Pine in the right-of-way is necessary to facilitate the new detached garage.

In order to maintain the 6-foot root protection zone around an existing 17 inch Coast Live Oak the applicant is proposing to shift one-half of the garage into the front yard setback by 4'-4". Draft Condition No. 1 requires the applicant to submit a Variance application for the setback encroachment. Additionally, Draft Condition No. 2 requires that all foundations within 15 feet of significant trees be excavated by hand. The City Forester is not requiring the planting of additional trees. With the application of conditions of approval, the proposed project meets the objectives of preserving the forest character.

Privacy and Views: Residential Design Guidelines 5.1 through 5.3 encourages designs that preserve reasonable privacy for adjacent properties and maintain view opportunities to natural features.

Staff has not identified any view or privacy impacts as a result of the proposed project.

Parking and Access: Residential Design Guidelines 6.1 through 6.7 encourages subordinate parking facilities that do not dominate the design of the house or site; minimizing the amount of paved surface for a driveway; positioning garages to maximize open space, views and privacy; and, minimizing visual impacts.

The project site currently contains a single-car detached garage located 5 feet from the front property line. The garage is 12'-7" in height and is approximately 187 square feet. The applicant is proposing to demolish the existing garage and construct a 400-square foot detached two-car garage. For lots greater than 8,000 square feet, the Municipal Code requires two on-site parking spaces.

One-half of the new garage would comply with the required 15-foot setback from the front property line while the other half would be setback 10'-8" in order to preserve and protect an existing 17 inch Coast Live Oak tree. Draft Condition No. 1 requires the applicant to submit a Variance application for the setback encroachment. The new garage would be 12'-10" in height.

The two-car garage would be off-set approximately 4 feet and would present two, single car garage doors to the street. The exterior finishes of the new garage would be differentiated to present the look of two, single car garages rather than one two-car garage. One-half of the new garage would be finished with board and batten wood siding while the other half would be finished with Carmel stone. The driveway would be broken up into two 9-foot wide driveways with 12 inches of planting space between them. The driveways would be finished with interlocking pavers set in sand. The project meets the objectives of parking and access.

Mass and Bulk: Residential Design Guidelines 7.1 through 7.7 encourages a building's mass to relate to the context of other homes nearby; minimize the mass of a building as seen from the public way or adjacent properties; and, relate to a human scale in its basic forms.

The existing residence is a one-story and the proposed dining room addition is also one-story. The height of the addition would be 14'-9" and would not be visible from the street.

The proposed garage would be 20 feet wide by 20 feet deep and has been designed to complement the architectural style of the existing residence. The front elevation would be offset by 4 feet between the two garage doors to break up the building plane. The scale is appropriate for an 11,200-square foot lot and the encroachment into the front 15-foot setback is minimal. The proposed project meets the objectives of mass and bulk.

Building and Roof Form: Residential Design Guidelines 8.1 through 8.5 encourages traditional building forms; using restraint with variations in building planes; using simple roof forms that are in proportion to the scale of the building; and, roof eave lines that are low in scale.

The existing single story residence has 9:12 roof pitches and the dining room and bathroom additions would maintain the same roof pitch. The additions would occur behind the existing residence and would not be visible from the street.

The proposed garage would have two, 9:12 pitched gabled roofs with a swooping roof element on the north elevation to provide a covered entry to the garage. The project meets the objectives of building and roof form.

Site Coverage: Existing site coverage includes gravel and stone paths as well as stone stairs and patios totaling 2,167 square feet. The applicant is proposing to reduce existing site coverage by 966 square feet by replacing the gravel with mulch and removing and/or reducing the size of existing stone patios. New site coverage would include two 9-foot wide driveways finished with interlocking pavers set in sand and new stone landings and stairs leading to/from the garage.

Right-of-way Character: Residential Design Guidelines 1.5 through 1.7 encourages maintaining an informal open space character of the right-of-way; maintaining trees and natural vegetation; and, designing parking areas to reinforce the forest image.

The existing right-of-way contains three trees and informal plantings and is in a natural state. As noted above, an existing 18 inch Monterey Pine has been approved for removal to facilitate the new garage. Approximately six stepping stones are located within the right-of-way just outside the existing gate. Draft Condition No. 3 requires the removal of this encroachment prior to final inspection. The proposed project meets the objectives of maintaining the informal character of the street.

Finish Details: The exterior wall cladding of the dining room and bathroom additions would be board and batten wood siding to match the existing residence. The exterior wall cladding of the new garage would be board and batten wood siding for one-half of the garage and Carmel stone for the other half. Draft Condition No. 4 requires a broken course/random pattern or similar consistent with the Residential Design Guidelines and requires that all stone be wrapped around building corners and terminated at inside corners or another logical stopping point to provide a finished appearance. The roof would be finished with CertainTeed Presidential Shake Mountain Timber composition shingle roofing. Refer to Attachment 6 for material specifications. Draft Condition No. 5 requires the use of non-reflective glass for the new skylight in the dining room and the installation of a solar shade (refer to Attachment 4).

Environmental Review: The project qualifies for a Class 1 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. Class 1 exemptions include additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet whichever is greater. The project proposes a net increase of 341 square feet which is less than 50 percent of the existing 2,680

square feet of floor area.

ATTACHMENTS

- Attachment 1 – Project Data Table
- Attachment 2 – Site Photographs
- Attachment 3 – Findings for Concept Acceptance
- Attachment 4 – Conditions of Approval
- Attachment 5 – Project Plans
- Attachment 6 – Material Specifications

PROJECT DATA TABLE

PROJECT DATA FOR A 11,200 SQUARE FOOT SITE			
Site Considerations	Allowed	Existing	Proposed
Floor Area	3,480 SF (31%)	2,680 SF	3,026 SF
Site Coverage	766 SF/1,214 SF	2,167 SF	1,201 SF
Trees (Upper/Lower)	*	3/11	3/10
Ridge Height (1 st /2 nd)	18'/24'	<18'/NA	No change
Plate Height (1 st /2 nd)	12'/18'	12'/NA	No change
Setbacks	Minimum Required	Existing	Proposed
Front	15'	44'-8"	No change
Composite Side Yard	20' (25%)	27'-6"	No change
Side Yard	3'	4'	No change
Street Side Yard	N/A	N/A	N/A
Rear	15'/3'***	17'	No change
Detached Garage			
Setbacks	Minimum Required	Existing	Proposed
Front	15'	5'	10'-8"/15'
Side	3'	5'-10"	4'
Ridge Height	18'	12'-7"	12'-10"
Plate Height	12'	9'	8'-9"

*As determined by the Forest and Beach Commission

**The rear setback is three feet for those portions of structures less than 15 feet in height.



Photo 1. Existing Single Car Detached Garage (Dolores Street)



Photo 2. Rear Elevation of Existing Detached Garage



Photo 3. Location of Dining Room Addition



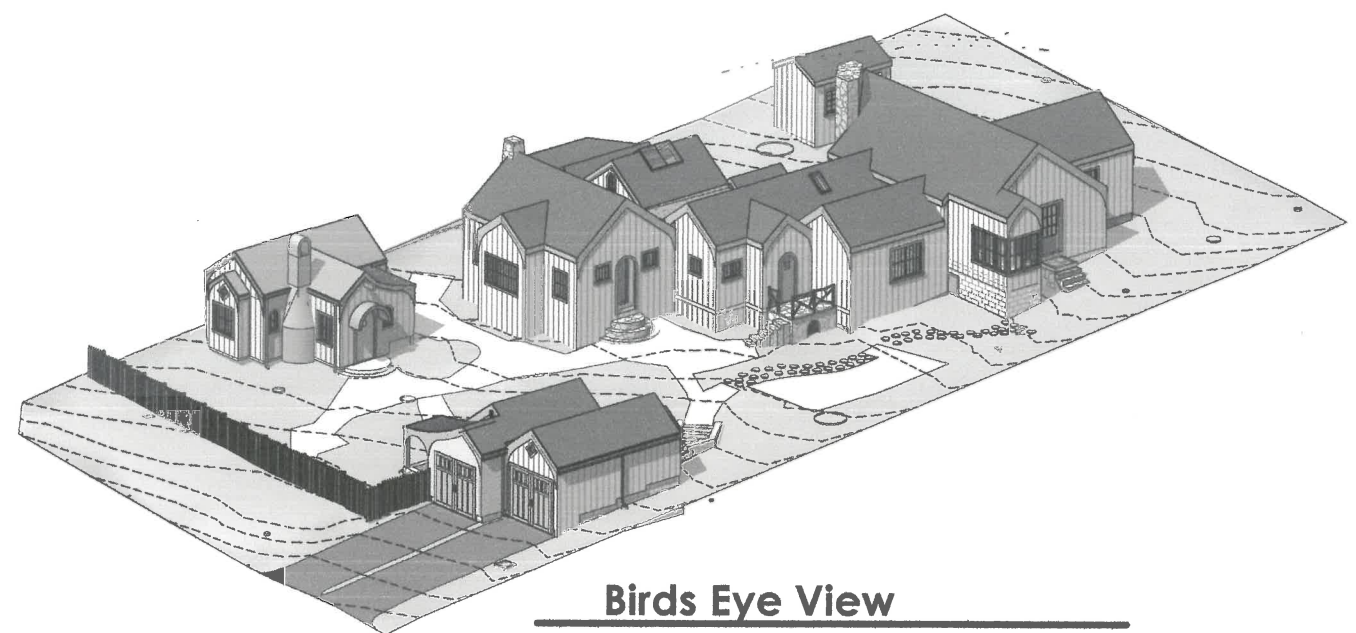
Photo 4. Location of Dining Room Addition

FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE		
For each of the required design study findings listed below, staff has indicated whether the concept plans submitted support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate decision-making by the Planning Commission. Findings checked "yes" may or may not be discussed in the staff report depending on the issues.		
CMC Section 17.68.040.A – Concept Phase Approval Findings	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits or variances consistent with the Zoning Ordinance.	✓	
2. The project is consistent with the City’s design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project’s use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on-site and in the public right-of-way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple building forms, a simple roof plan and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City’s objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are set back a minimum of six feet from significant trees.	✓	
CMC Section 17.64.010.B - Coastal Development Permit Findings	YES	NO
1. Local Coastal Program Consistency: The project, as described in the application and accompanying materials, as modified by the conditions of approval, conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Recommendations/Draft Conditions	
No.	
1.	Variance. The applicant shall submit a Variance application for the encroachment of the garage into the front yard setback.
2.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.
3.	Right-of-Way Encroachments. All right-of-way encroachments shall be removed prior to final inspection of the project.
4.	Stone Facades (including chimneys). Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee.
5.	Skylights. All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color. Skylight shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.

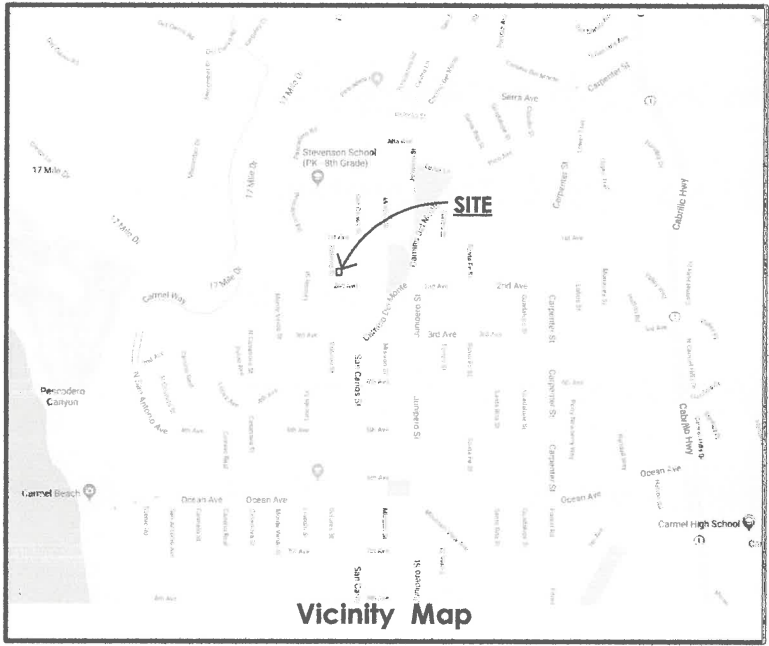
ABBREVIATIONS

- A.B. ANCHOR BOLT
- A.C. ASPHALT CONCRETE
- AC. ACRE
- ADJ. ADJUSTABLE
- ALT. ALTERNATE
- ALUM. ALUMINUM
- BD. BOARD
- BLK. BLOCK
- BLDG. BUILDING
- BLKG. BLOCKING
- BM. BEAM
- BOT. BOTTOM
- BTWN. BETWEEN
- C. CASEMENT
- C.A. COMBUSTION AIR
- C.B. CONCRETE BLOCK
- C.F.M. CUBIC FEET/MIN.
- C.J. CONTROL JOINT
- C.O. CASSED OPENING
- CL. CENTERLINE
- CLO. CLOSET
- CLG. CELLING
- CLR. CLEAR
- COL. COLUMN
- CONC. CONCRETE
- CONN. CONNECTION
- CONST. CONSTRUCTION
- CONT. CONTINUOUS
- CSMT. CASSEMENT
- CTSK. COUNTERSINK
- D. DRYER
- D.F. DOUGLAS FIR
- D.S. DOWN SPOUT
- DBL. DOUBLE
- DIA. DIAMETER
- DIM. DIMENSION
- DN. DOWN
- DR. DOOR
- (E) EXISTING
- E.N. EDGE NAILING
- E.O. EDGE OF
- EA. EACH
- ELEC. ELECTRICAL
- ENCL. ENCLOSURE
- EXIST. EXISTING
- EXT. EXTERIOR
- F. FIXED
- F.A.U. FORCED AIR UNIT
- F.H.M.S. FLAT HEAD MACHINE SCREW
- F.H.W.S. FLAT HEAD WOOD SCREW
- F.P. FIRE PLACE
- F.W. FIELD WALLING
- F.O. FACE OF
- F.O.S. FACE OF STUD
- F.P. FIREPLACE
- FIN. FINISH
- FIXT. FIXTURE
- FLR. FLOOR
- FLUR. FLUORESCENT
- FOUND. FOUNDATION
- FTG. FOOTING
- G. GAS
- G.B. GRADE BEAM
- G.D. GARBAGE DISPOSAL
- G.L.B. GLUE LAMINATED BEAM
- GALV. GALVANIZED
- GL. GLASS
- GRD. GRADE
- GYP. BD. GYPSUM BOARD
- H.B. HOSE BIBB
- H.C. HOLLOW CORE
- HDR. HEADER
- HDM. HARDWOOD
- HDMR. HARDWARE
- HGR. HANGER
- H.L. HALF LITE
- HT. HEIGHT
- INCAND. INCANDESCENT
- INSUL. INSULATION
- INT. INTERIOR
- JOIST
- JOINT
- LAV. LAVATORY
- M.C. MEDICINE CABINET
- M.B. MACHINE BOLT
- M.L.W. MALLEABLE IRON WASHER
- MANUF. MANUFACTURER
- MAS. MASONRY
- MAX. MAXIMUM
- MIN. MINIMUM
- N/A. NOT APPLICABLE
- NAT. NATURAL
- NOM. NOMINAL
- OVER
- O.C. ON CENTER
- O.H. OVER HANG
- OBSC. OBSCURE
- OPER. OPERABLE
- FLATE PLATE
- P.D.F. POWDER DRIVEN FASTENER
- P.T.D.F. PRESSURE TREATED DOUGLAS FIR
- PLYWD. PLYWOOD
- PRF-PAB. PREFABRATED PROPERTY
- R. RISER
- REFR. REFRIGERATOR
- REINF. REINFORCEMENT
- REQ'D. REQUIRED
- REQ.MT. REQUIREMENT
- RET. RETAINING
- RM. ROOM
- RWD. REDWOOD
- S.C. SOLID CORE
- SECT. SECTION
- S.H. SINGLE HUNG
- S.L. SKY LIGHT
- S & P. SHELF & POLE
- S.V. SHEET VINYL
- S.W. SOLID WOOD
- SHT. SHEET
- SHTG. SHEATHING
- SHWR. SHOWER
- SIM. SIMILAR
- SL. SLIDING
- SPCS. SPACES
- SQ. SQUARE
- S.S. SELECT STRUCTURAL
- STL. STEEL
- T. TREAD
- T.B. TOWEL BAR
- T & G. TONGUE & GROOVE
- T.N. TOE NAIL
- T.P.D. TOILET PAPER DISPENSER
- TEMP. TEMPERED
- TRK. TRUCK
- TYP. TYPICAL
- U.C. UNDER CABINET LIGHT STRIP
- U.S. UTILITY SINK
- V.B. VAPOR BARRIER
- U.O.N. UNLESS OTHERWISE NOTED
- VERT. VERTICAL
- W/ WITH
- W.A. WARM AIR REGISTER
- W.C. WATER CLOSET
- W.H. WATER HEATER
- W. WASHER
- W.W.H. WELDER WIRE MESH
- WD. WOOD
- WDO. WINDOW



Birds Eye View

Scale:



Vicinity Map

SHEET INDEX (Planning Application)		
SHT. NO.	SHEET NAME	Sheet Issue Date
T-1	Title Sheet	5/21/2018
C1	Topographic Map	5/21/2018
C2	Proposed Site Area Takeoff	5/21/2018
C3	Existing Site Area Takeoff	5/22/2018
C4	Tree survey	5/21/2018
L1	Landscape & Lighting Plan	5/21/2018
A1	Existing Site Plan	5/21/2018
A2	Demolition Site Plan	5/21/2018
A3	Proposed Site Plan	5/21/2018
A4	Existing Residence Floor Plan	5/21/2018
A5	Residence Demolition Floor Plan	5/21/2018
A6	Proposed Residence Floor Plan	5/21/2018
A8	Proposed Residence Roof Plan	5/21/2018
A10	Proposed Garage Floor Plan & Roof Plan	5/21/2018
A11	West Street Elevations	5/21/2018
A12	South Exterior Elevations	5/21/2018
A13	East Exterior Elevations	5/21/2018
A14	North Exterior Elevations	5/21/2018
A15	3D Views - Dining	5/21/2018
A16	3D Views - Garage	5/21/2018

Project Description
 THE SCOPE OF WORK IS LIMITED TO AN INTERIOR CONVERSION OF A CLOSET TO A MASTER BATHROOM.
 ALL ASPECTS OF THE PROPOSED WORK COMPLY WITH ZONING DEVELOPMENT STANDARDS.
 EXTERIOR MATERIALS SHALL MATCH THE EXISTING RESIDENCE.
 NO TREES SHALL BE REMOVED.

Designer
 Neal Owen Kruse Design
 P.O. Box 7239
 Carmel-by-the-sea, CA 93921
 Tel: 831-625-3118
 Fax: 831-625-0216
 nkruse@pacbell.net

NEAL OWEN KRUSE DESIGN
 P.O. BOX 7239 TEL: (831) 625-3118
 CARMEL, CA 93921 FAX: (831) 625-0216
 nkruse@pacbell.net
 Business License Number: 00002014

PROJECT PLANNING DATA	
OWNER:	KARYL HALL APN: 010-126-007-000
PROJECT ADDRESS:	2 n/e of 2nd Avenue on Dolores
SUBDIVISION NAME & LOT NUMBER	Block 10, Lot: 14 & 16, 40' of 13 & 15
APPLICANT NEAL KRUSE	(831) 625-3118 nkruse@pacbell.net PO BOX 7239, CARMEL, CA 93921
DESIGNER: NEAL KRUSE	(831) 625-3118 nkruse@pacbell.net PO BOX 7239, CARMEL, CA 93921
PROJECT SCOPE:	(N) DINING ROOM ADDITION, (N) 2 CAR GARAGE, MINOR CHANGES TO BUILDING EXTERIOR
ZONING:	R-1
NEW GARAGE - OCCUPANCY CLASS	OCCUPANCY GROUP: R-3/U TYPE OF CONSTRUCTION: V-8 STORIES: 1
CODE	PROJECT SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, PLUMBING, CODE EDITION: MECHANICAL, ELECTRICAL, FIRE & ENERGY CODES - Applicable Codes: 2016 CRC, CPC, CMC, CEC, and Energy Code.
HISTORICAL	HISTORICAL SITE: NO HISTORICAL RESIDENCE: HOUSE BUILT IN 1929
TREES	TREES: PERMIT # 3233
PARKING	REQUIRED FOR RESIDENCE: TWO PARKING SPACES
FIRE	SPRINKLER SYSTEM: NOT REQUIRED - EXISTING HOUSE NOT SPRINKLERED FIRE RETARDANT ROOF: CLASS A MATERIAL REQUIRED - MATCH EXISTING WOOD SHINGLE ROOFS
SOILS & SITE	ARCHAEOLOGICAL SENSITIVITY: HIGH - SEE ARCHAEOLOGICAL REPORT BY SUSAN MORLEY - MARCH 2014

RECEIVED

MAY 23 2018

City of Carmel-by-the-Sea
 Planning & Building Dept.

Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
Track 2 Planning Submittal

PROJECT DESCRIPTION:
 TRACK 2 RESIDENCE ADDITION AND REMODEL

APN - 010-126-007-000

LOTBLK:
 BLOCK 10, LOT 14 & 16, 40' OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
Karyl Hall

Copyright
 Neal Owen Kruse
 5/23/2018 2:02:32 PM
 Architectural Works
 and
 Technical Graphics

SQUARE FOOTAGE DATA - EXISTING	
BUILDING SITE AREA:	11,200.00
TOTAL EXISTING MAIN HOUSE FLOOR AREA:	2,057.00
ADU FLOOR AREA:	345.00
DOUBLE GARAGE:	182.00
STORAGE SHED:	96.00
TOTAL EXISTING FAR:	2,680.00
ALLOWED FAR:	3,480.00
SITE COVERAGE	
SEMI-PERMEABLE:	197.00
PERMEABLE:	472.00
IMPERMEABLE:	1498.00
EXISTING RESIDENTIAL COVERAGE:	2167.00

SQUARE FOOTAGE DATA - PROPOSED	
BUILDING SITE AREA:	11,200.00
TOTAL PROPOSED MAIN HOUSE FLOOR AREA:	2,048.00
BATH ADDITIONS:	11.00
DINING ADDITION:	126.00
ADU FLOOR AREA:	345.00
DOUBLE GARAGE:	400.00
STORAGE SHED:	96.00
SUBTRACT (E) GARAGE:	-187.00
LESS HALL AND BATH AREA REMOVED FOR DINING ROOM:	-9.00
TOTAL PROPOSED FAR:	2,830.00
ALLOWED FAR:	3,480.00
SITE COVERAGE	
SEMI-PERMEABLE:	235.00
IMPERMEABLE:	893.00
IMPERMEABLE STEPPING STONES:	73.00
TOTAL PROPOSED RESIDENTIAL SITE COVERAGE:	1,201.00
ALLOWED:	766-1214 - Min. 607 Permeable

SITE COVERAGE REDUCTION REQUIREMENTS	
NEW SQUARE FOOTAGE ADDED TO BUILDING SITE	
DINING ROOM:	131.00
NEW GARAGE:	400.00
LESS EXISTING GARAGE:	-187.00
BATHROOM DEMO:	-9.00
BATHROOM ADDITION:	11.00
TOTAL ADDED SQUARE FOOTAGE:	346.00
SITE COVERAGE DELETION REQUIRED:	692.00
EXISTING SITE COVERAGE:	2167.00
NEW SITE COVERAGE:	1201.00
ACTUAL SITE COVERAGE REDUCTION:	-966.00
REQUIRED SITE COVERAGE REDUCTION:	-692.00

ISSUANCE:
 Date: 5/21/2018

Project No:
 Plot Date:
 Plot Scale:
 File Name:

Designed by: Neal Owen Kruse
 Dwn by: NOK
 Cld by: Neal Owen Kruse

Sheet Title:
Title Sheet

Sheet:
T-1

Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
Track 2 Planning Submittal

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000

LOT/BLK:
 BLOCK 10, LOT 14 & 16, 47 OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
Karyl Hall

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 Neal Owen Kruse
 5/23/2018 7:47:28 AM
 Architectural Works
 and
 Technical Graphics

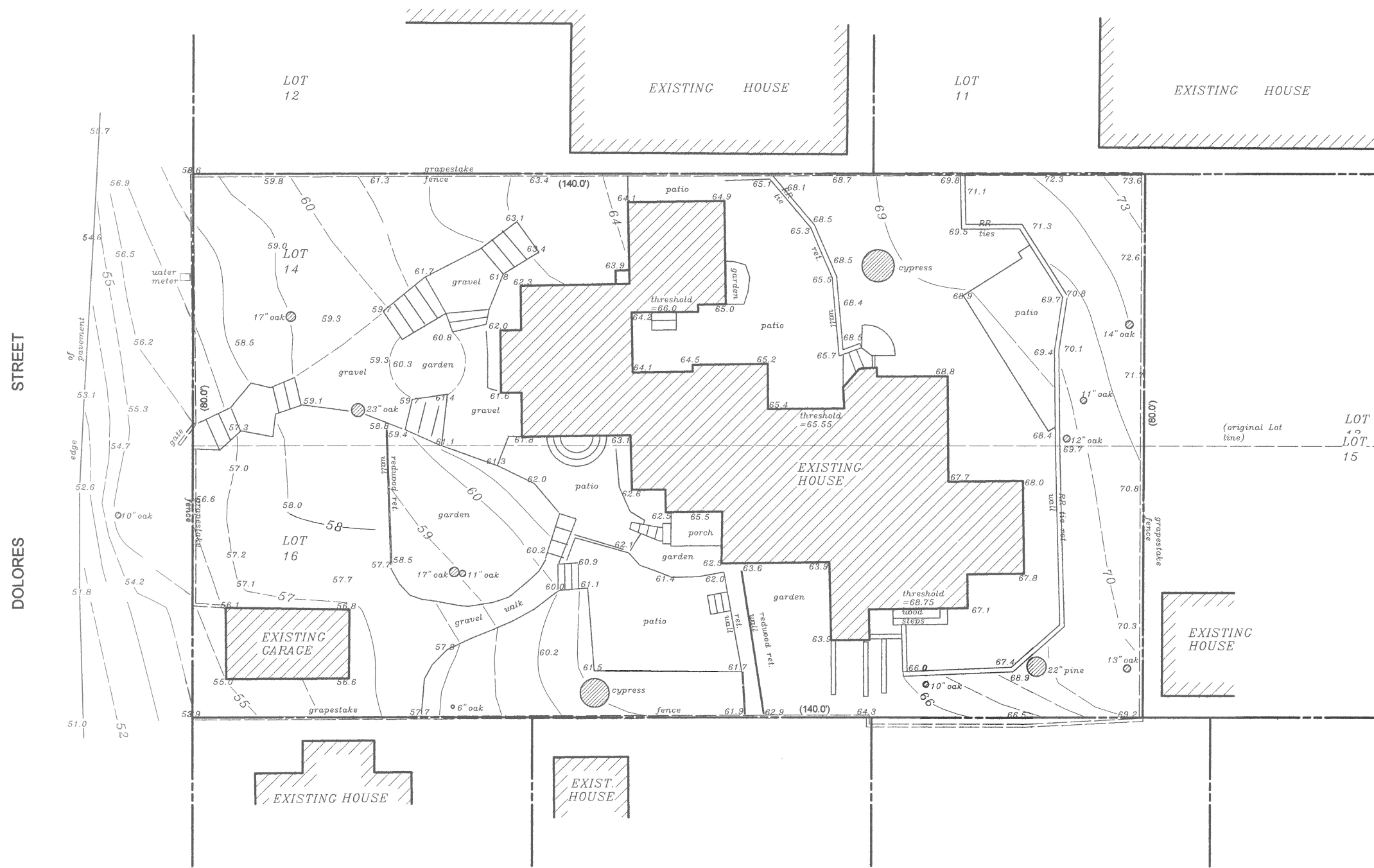
Issuance:
 Date 5/21/2018

Project No:
 Plot Date:
 Plot Scale:
 File Name:

Designed by: Neal Owen Kruse
 Drawn by: AMK
 Check by: Neal Owen Kruse

Sheet Title:
Topographic Map

Sheet:
C1



DOLORES STREET



NOTES:

1. Elevation datum is assumed.
2. Points found or set are so indicated, others are shown for reference only.
3. Record data is shown in parenthesis (.....)
4. Check for direction of tree growth in field where pertinent to location of improvements.
5. Distances and elevations are expressed in feet and decimals thereof.
6. Only native trees 6" or larger have been located.
7. Easements may exist that don't show on this map.
8. Relationship of topographic features to boundary lines is approximate.

APN 010-126-007
TOPOGRAPHIC MAP

of Lots 14 & 16 and the West 40 feet of Lots 13 & 15, Block 10, Addition 4 to Carmel, Carmel-by-the-Sea, Monterey County, California.

Prepared for:
KARYL HALL

Scale: 1" = 8' W.O. 5745 February 2017

Not for Construction

Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
Track 2 Planning Submittal

PROJECT DESCRIPTION:
TRACK 2 RESIDENCE ADDITION AND REMODEL

APN - 010-126-007-000

LOT/BLK:
BLOCK 10, LOT 14 & 15, 47 OF 13 & 15

PROJECT LOCATION:
2nd NE of 2nd on Dolores St.
Carmel-by-the-sea, CA

Owner:
Karyl Hall

Copyright
Neal Owen Kruse
5/23/2018 1:03:15 PM
Architectural Works
and
Technical Graphics

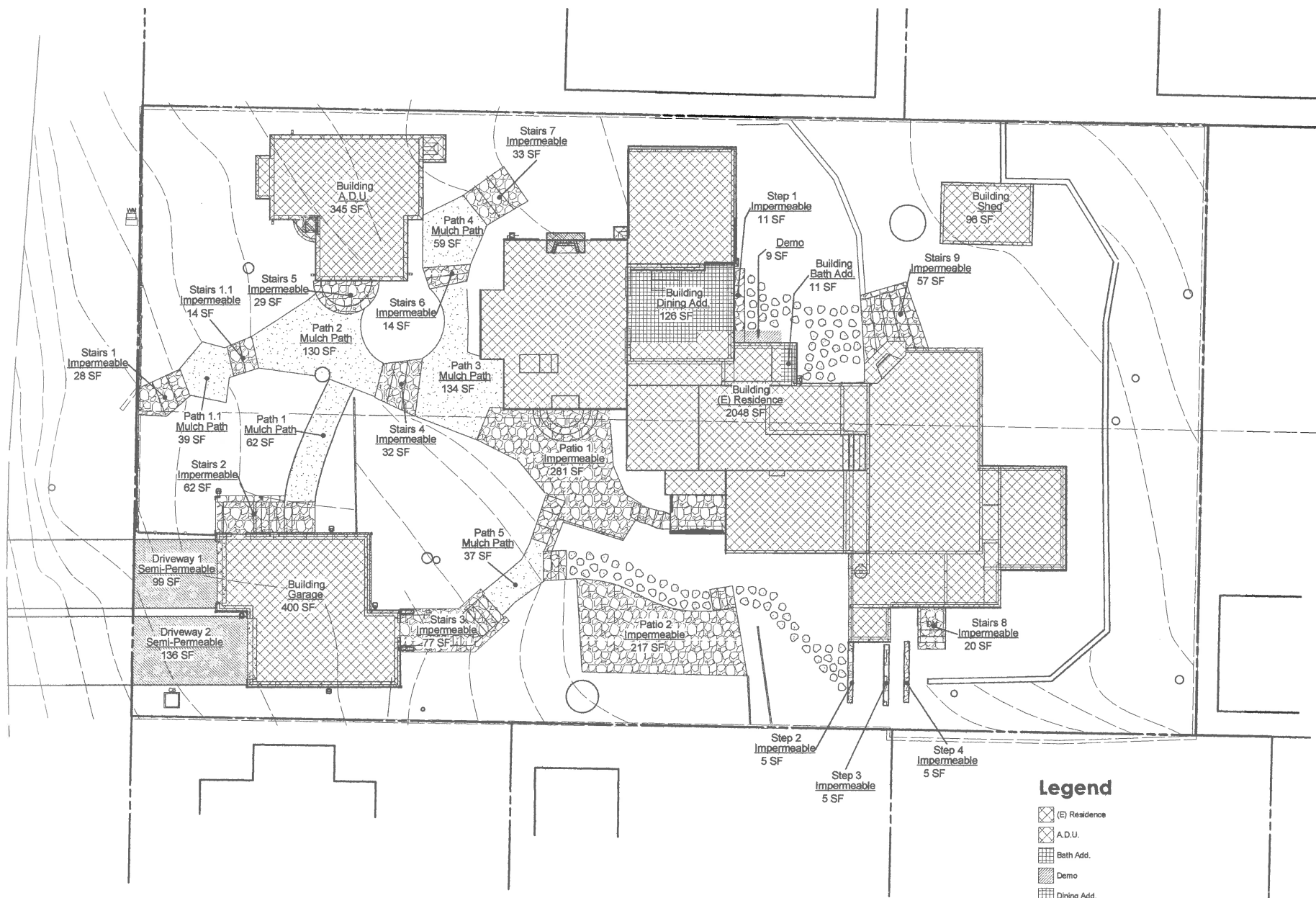
Issuance:
Date 5/21/2018

Project No:
Plot Date:
Plot Scale:
File Name:

Designed by: Neal Owen Kruse
Dwn by: KMH
Cld by: Neal Owen Kruse

Sheet Title:
Proposed Site Area Takeoff

Sheet
C2



Proposed Site Area Plan

Scale: 1/8" = 1'-0"

Legend

- (E) Residence
- A.D.U.
- Bath Add.
- Demo
- Dining Add.
- Garage
- Impermeable
- Mulch Path
- Semi-Permeable
- Shed

Building Area Schedule		
Comments	Name	Area
Building	(E) Residence	2048 SF
Building	A.D.U.	345 SF
Building	Bath Add.	11 SF
Building	Dining Add.	126 SF
Building	Garage	400 SF
Building	Shed	96 SF
Grand total: 6		3026 SF

Mulch Path Area Schedule		
Comments	Name	Area
Path 1	Mulch Path	62 SF
Path 1.1	Mulch Path	39 SF
Path 2	Mulch Path	130 SF
Path 3	Mulch Path	134 SF
Path 4	Mulch Path	59 SF
Path 5	Mulch Path	37 SF
Grand total: 6		461 SF

Semi-Permeable Area Schedule		
Comments	Name	Area
Driveway 1	Semi-Permeable	99 SF
Driveway 2	Semi-Permeable	136 SF
Grand total: 2		235 SF

Impermeable Area Schedule		
Comments	Name	Area
Patio 1	Impermeable	281 SF
Patio 2	Impermeable	217 SF
Stairs 1	Impermeable	28 SF
Stairs 1.1	Impermeable	14 SF
Stairs 2	Impermeable	62 SF
Stairs 3	Impermeable	77 SF
Stairs 4	Impermeable	32 SF
Stairs 5	Impermeable	29 SF
Stairs 6	Impermeable	14 SF
Stairs 7	Impermeable	33 SF
Stairs 8	Impermeable	20 SF
Stairs 9	Impermeable	57 SF
Step 1	Impermeable	11 SF
Step 2	Impermeable	5 SF
Step 3	Impermeable	5 SF
Step 4	Impermeable	5 SF
Grand total: 16		893 SF

97 stepping stones @ .75 SF each = 73 SF
Demo floor area = 9sf

Not for Construction

Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
**Track 2 Planning
 Submittal**

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000
 LOT/BLK:
 BLOCK 16, LOT 14 & 15, 4P OF 15 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
Karyl Hall

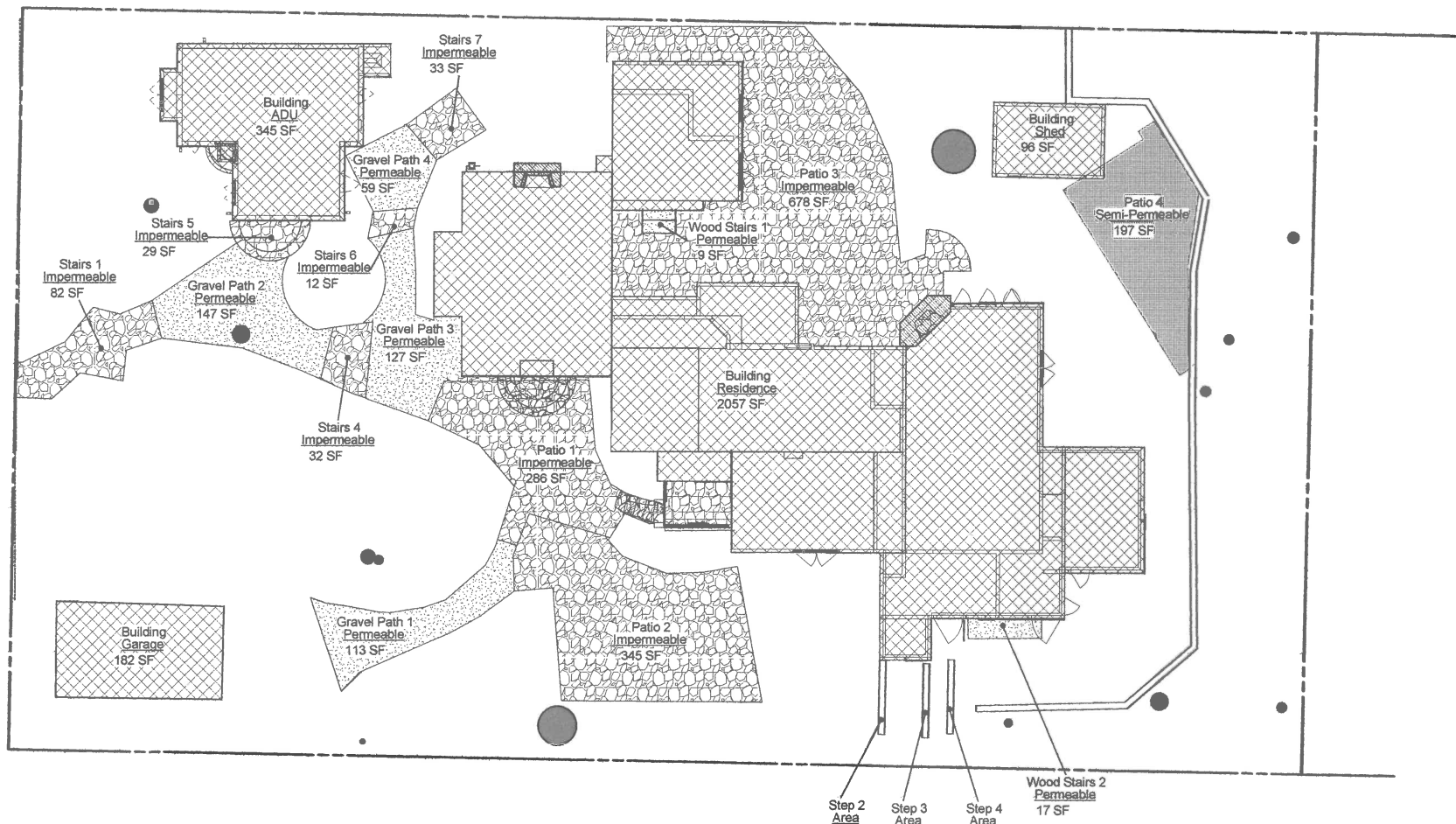
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Issuance:
 Date: 5/22/2018

Project No:
 Plot Date:
 Plot Scale:
 File Name:
 Designed by: Neal Owen Kruse
 Drawn by: FOMK
 Cld by: Neal Owen Kruse

Sheet Title:
**Existing Site
 Area Takeoff**

Sheet:
C3



(E) Building Area

Comments	Name	Area
Building	ADU	345 SF
Building	Garage	182 SF
Building	Residence	2057 SF
Building	Shed	96 SF
Grand total:	4	2880 SF

(E) Permeable Area

Comments	Name	Area
Gravel Path 1	Permeable	113 SF
Gravel Path 2	Permeable	147 SF
Gravel Path 3	Permeable	127 SF
Gravel Path 4	Permeable	59 SF
Wood Stairs 1	Permeable	9 SF
Wood Stairs 2	Permeable	17 SF
Grand total:	6	472 SF

(E) Semi-Permeable Area

Comments	Name	Area
Patio 4	Semi-Permeable	197 SF
Grand total:	1	197 SF

(E) Impermeable Area

Comments	Name	Area
Patio 1	Impermeable	286 SF
Patio 2	Impermeable	345 SF
Patio 3	Impermeable	678 SF
Stairs 1	Impermeable	82 SF
Stairs 4	Impermeable	32 SF
Stairs 5	Impermeable	29 SF
Stairs 6	Impermeable	12 SF
Stairs 7	Impermeable	33 SF
Grand total:	8	1498 SF

- Legend**
- ADU
 - Garage
 - Impermeable
 - Permeable
 - Residence
 - Semi-Permeable
 - Shed

Existing Site Area Plan

Scale: 1/8" = 1'-0"

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C:\Jobs\NOK - Half middle\c3\Res - Track 2\WD\1.dwg

Consultants:

Seal:

Revisions:
 # | Date | Description

PROJECT STATUS
 Track 2 Planning
 Submittal

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000
 LOTBLK:
 BLOCK 10, LOT 14 & 16, 49' OF 15 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
 Karyl Hall

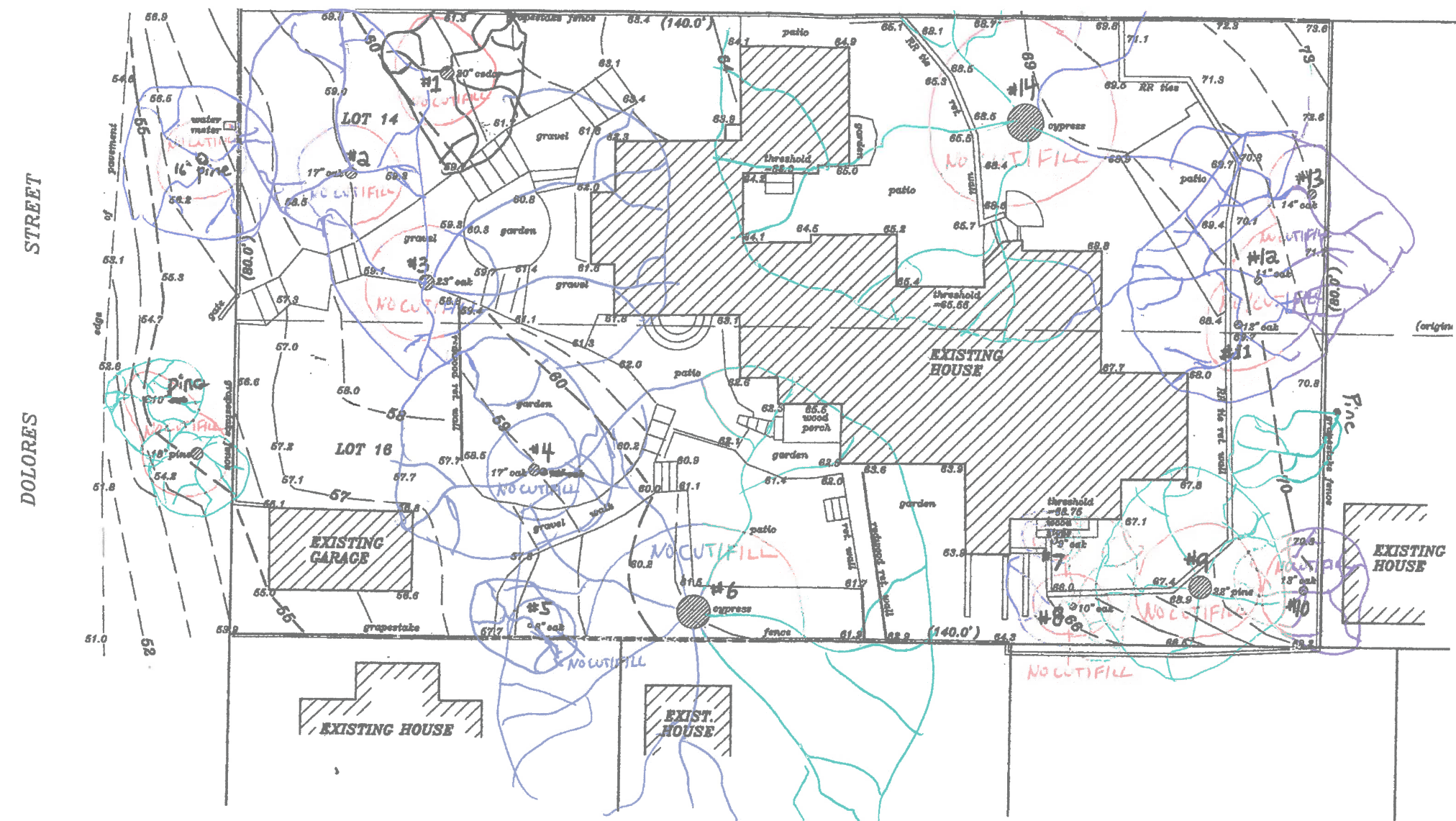
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Issuance:
 Date: 5/21/2018

Project No:
 Plot Code:
 File Name:
 Designed by: Neal Owen Kruse
 Drawn by: JOKK
 Ckd by: Neal Owen Kruse

Sheet Title:
 Tree survey

Sheet:
C4



- NOTES:**
1. Elevation datum is assumed.
 2. Points found or set are so indicated, others are shown for reference only.
 3. Record data is shown in parenthesis (.....)
 4. Check for direction of tree growth in field where pertinent to location of improvements.
 5. Distances and elevations are expressed in feet and decimals thereof.
 6. Only mature trees 6" or larger have been located.
 7. Easements may exist that don't show on this map.
 8. Relationship of topographic features to boundary lines is approximate.



This map correctly represents a survey made by me or under my direction in February, 2017.

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Seal:

Revisions:
 # Date Description

PROJECT STATUS
 Track 2 Planning
 Submittal

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000
 LOTBLK:
 BLOCK 16, LOT 14 & 15, 40' OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
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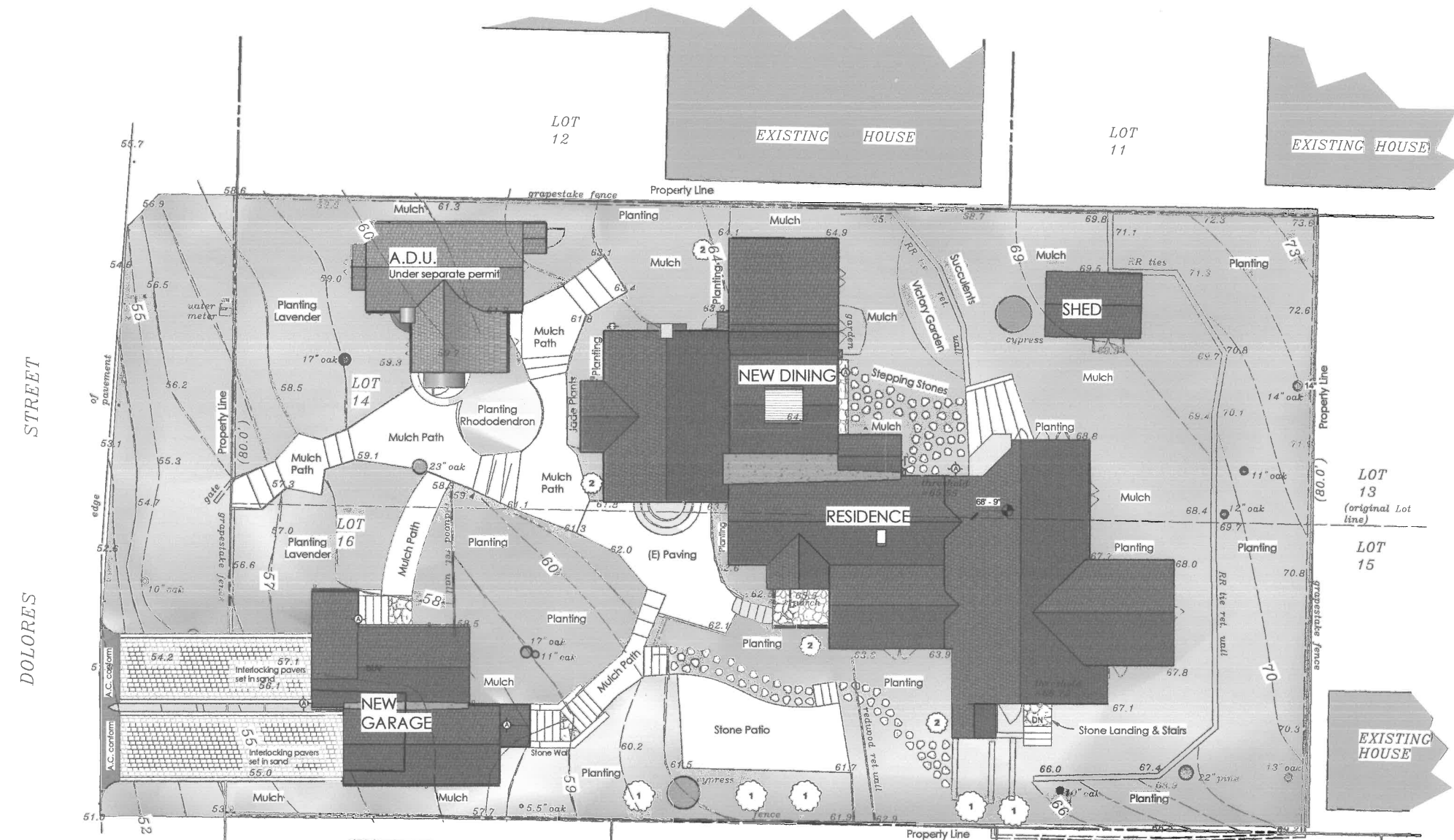
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 Date 5/21/2018

Project No:
 Plot Date:
 Plot Scale:
 Plot Name:

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 Drawn by: KAM
 Check by: Neal Owen Kruse

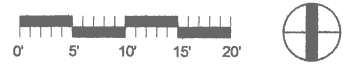
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 Landscape &
 Lighting Plan

Sheet:
L1



LANDSCAPE & LIGHTING PLAN

Scale: 1/8" = 1'-0"



Planting Index	
Botanical Name	Common Name
1 Podocarpus	Japanese Yew
2 Taxus baccata	English Yew

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C:\Jab\NICK - Hall residence\Hall Res - Track 2\WD\DW

Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
Track 2 Planning Submittal

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000

LOT/BLK:
 BLOCK 10, LOT 14 & 15, 47 OF 15 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
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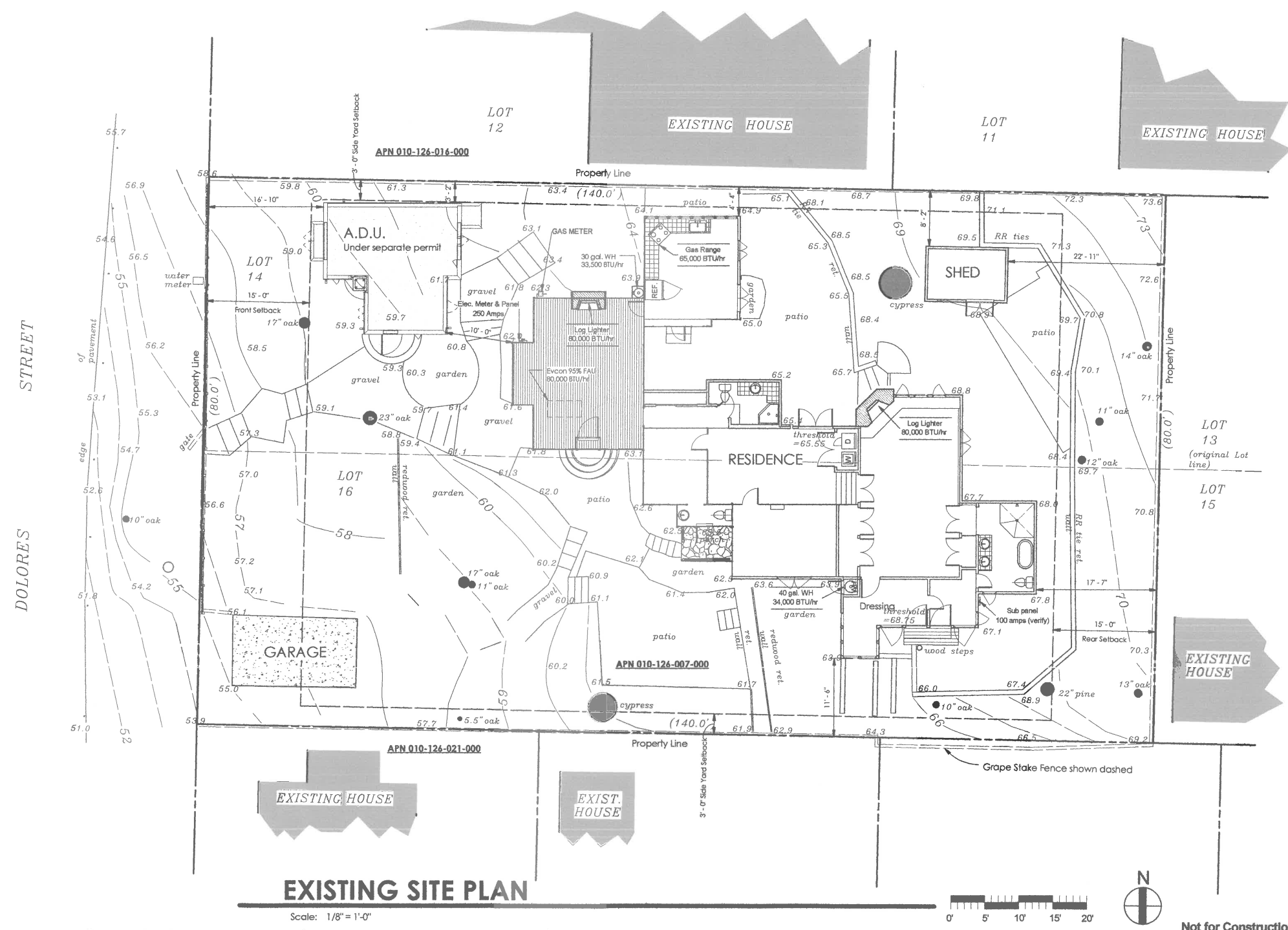
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 Date 5/21/2018

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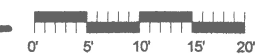
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Existing Site Plan

Sheet:
A1



EXISTING SITE PLAN

Scale: 1/8" = 1'-0"



Not for Construction

Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
 Track 2 Planning
 Submittal

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000

LOTBLK:
 BLOCK 18, LOT 14 & 15, 40' OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
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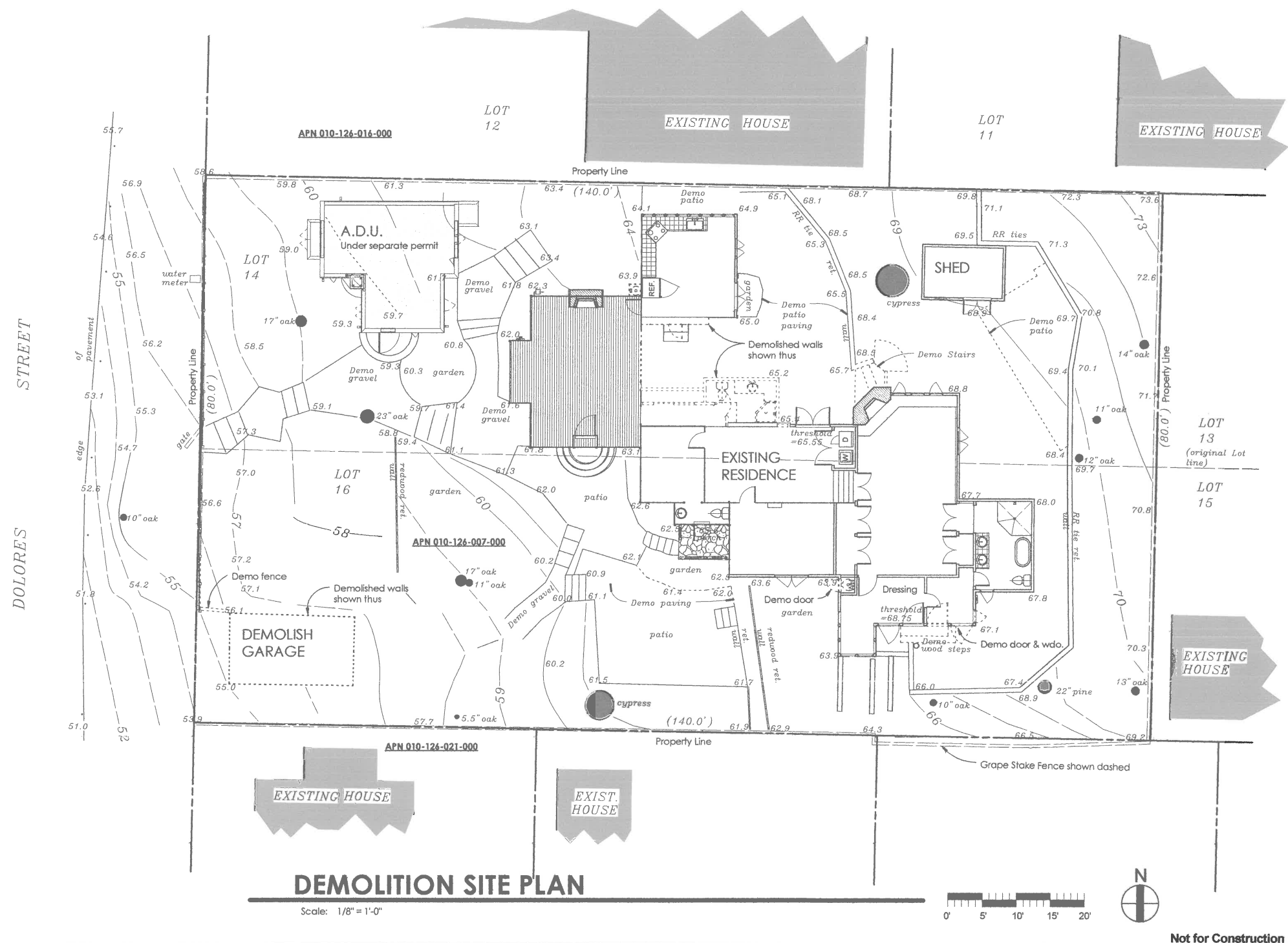
Issuance:
 Date 5/21/2018

Project No:
 Plot Date:
 Plot Scale:
 File Name:

Designed by: Neal Owen Kruse
 Drawn by: RMK
 Check by: Neal Owen Kruse

Sheet Title:
 Demolition Site Plan

Sheet:
 A2



DEMOLITION SITE PLAN

Scale: 1/8" = 1'-0"



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Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
 Track 2 Planning
 Submittal

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000
 LOTBLK:
 BLOCK 10, LOT 14 & 15, 47 OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
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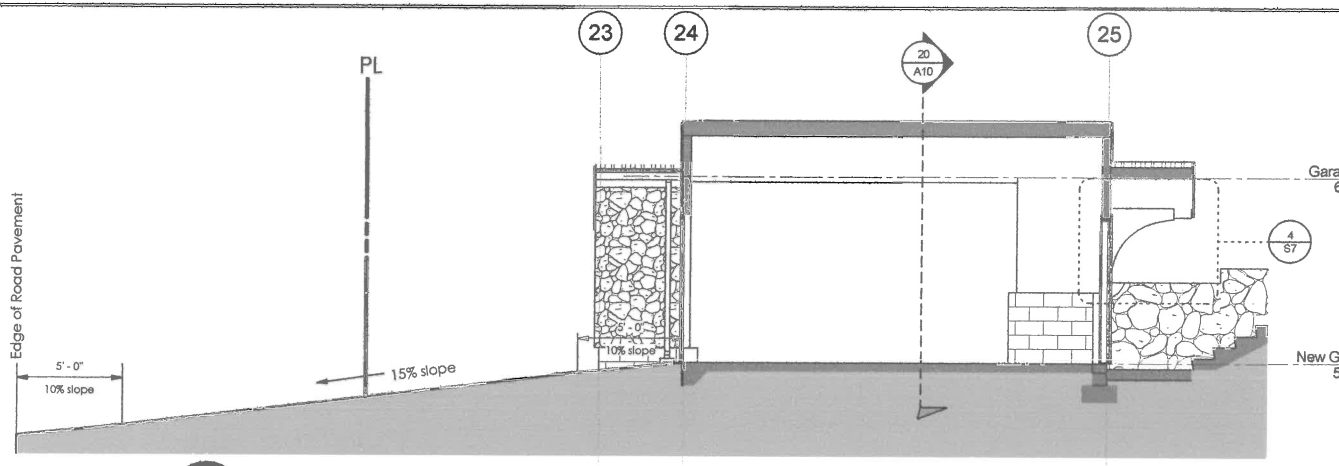
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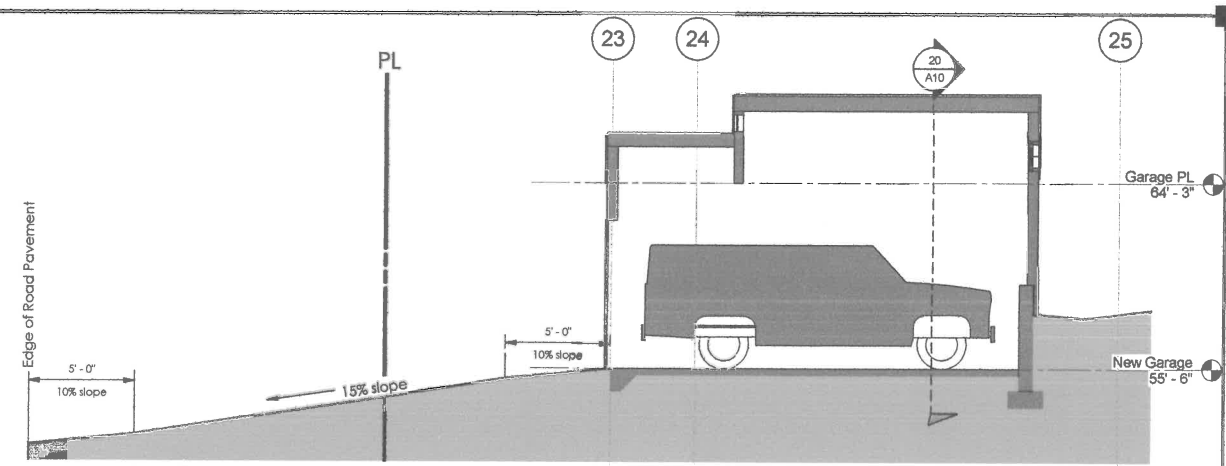
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Sheet Title:
Proposed Site Plan

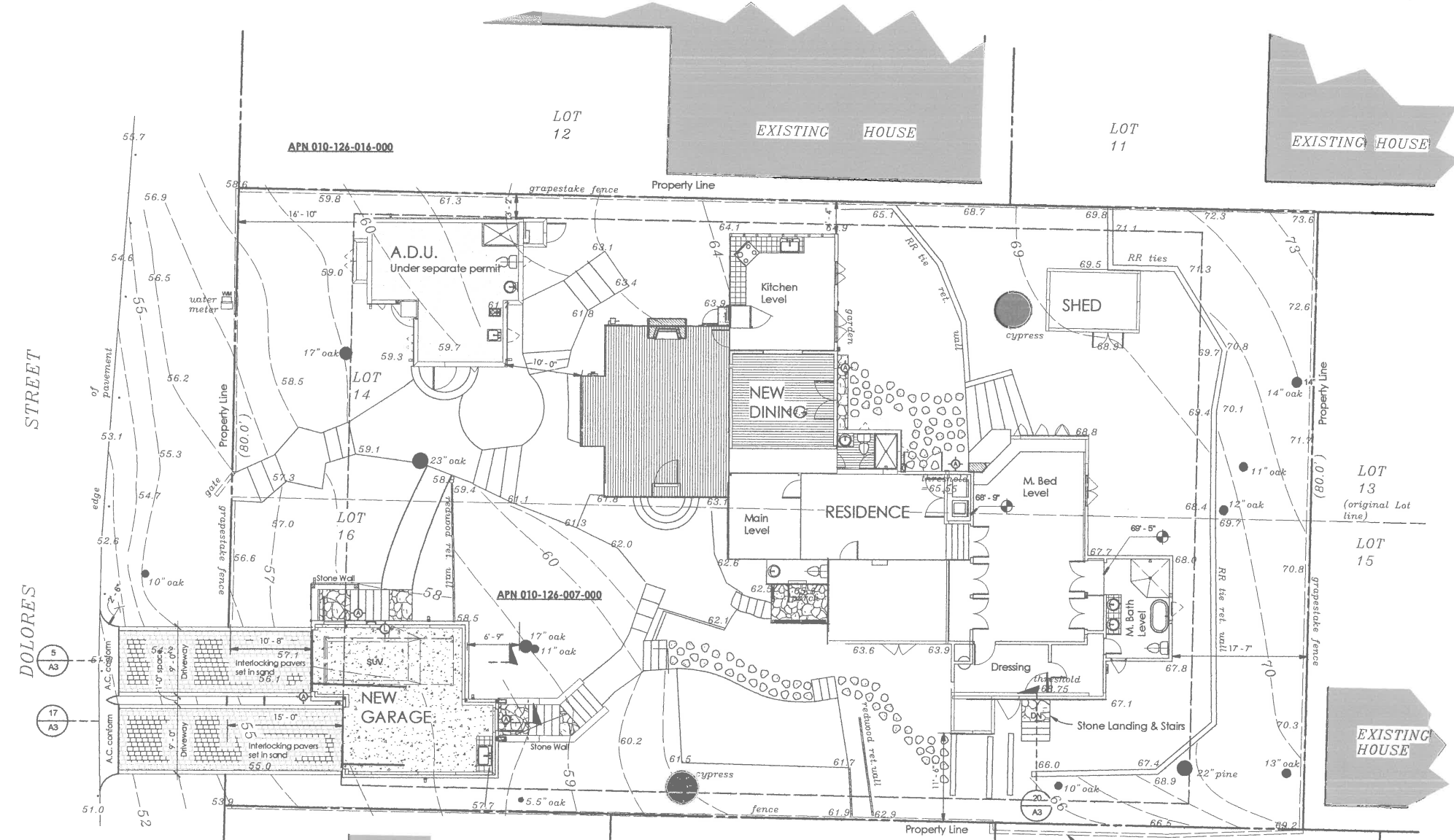
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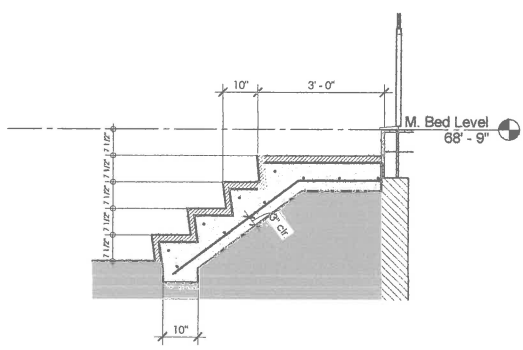
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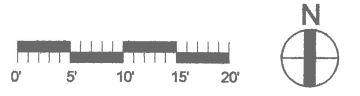
5 North Garage Site Section
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PROPOSED SITE PLAN
 Scale: 1/8" = 1'-0"



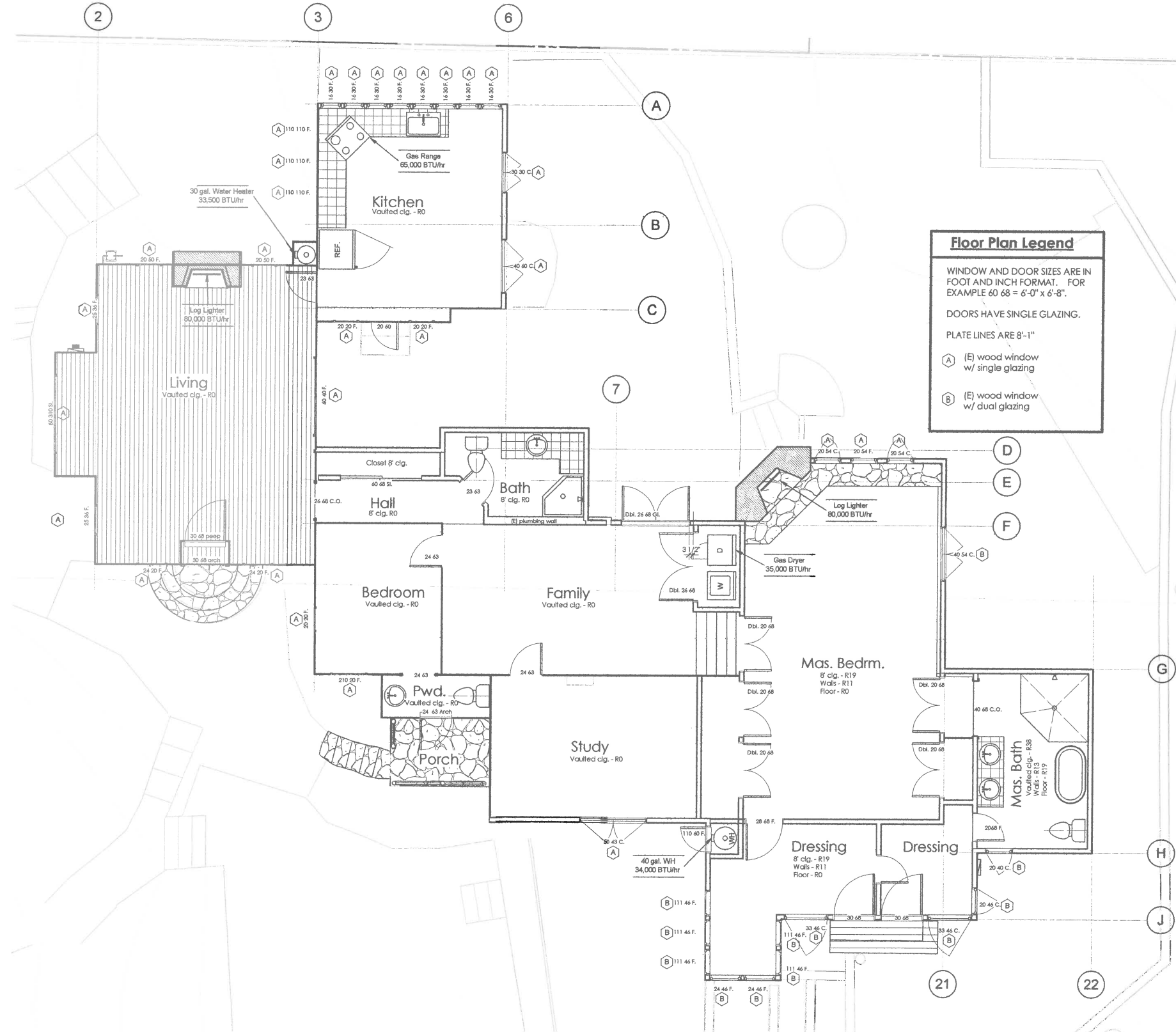
20 Stairs at Dressing
 Scale: 1/2" = 1'-0"



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ABBREVIATIONS

A.B.	ANCHOR BOLT
A.C.	ASPHALT CONCRETE
AC.	ACRE
ADJ.	ADJUSTABLE
ALT.	ALTERNATE
ALUM.	ALUMINUM
BD.	BOARD
BLK.	BLOCK
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
BOT.	BOTTOM
BTWN.	BETWEEN
C.	CASEMENT
C.A.	COMBUSTION AIR
C.B.	CONCRETE BLOCK
C.F.M.	CUBIC FEET/MIN.
C.J.	CONTROL JOINT
C.O.	CASED OPENING
CL.	CENTERLINE
CLO.	CLOSET
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CSMT.	CASHEMENT
CTSK.	COUNTERSINK
D.	DRYER
D.F.	DOUGLAS FIR
D.S.	DOWN SPOUT
DBL.	DOUBLE
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DR.	DOOR
(E)	EXISTING
E.N.	EDGE NAILING
E.O.	EDGE OF
EA	EACH
ELEC.	ELECTRICAL
ENCL.	ENCLOSURE
EXIST.	EXISTING
EXT.	EXTERIOR
F.	FIXED
F.A.U.	FORCED AIR UNIT
F.H.M.S.	FLAT HEAD MACHINE SCREW
F.H.W.S.	FLAT HEAD WOOD SCREW
F.P.	FIRE PLACE
F.W.	FIELD WALLING
F.O.	FACE OF
F.O.S.	FACE OF STUD
F.P.	FIREPLACE
FIN.	FINISH
FIXT.	FIXTURE
FLR.	FLOOR
FLUR.	FLUORESCENT
FOUND.	FOUNDATION
FTG.	FOOTING
G.	GAS
G.B.	GRADE BEAM
G.D.	GARBAGE DISPOSAL
G.L.B.	GLUE LAMINATED BEAM
GALV.	GALVANIZED
GL.	GLASS
GRD.	GRADE
GYP. BD.	GYP. BOARD
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HDR.	HEADER
HDWD.	HARDWOOD
HDWR.	HARDWARE
HGR.	HANGER
H.L.	HALF LITE
HT	HEIGHT
INCAND.	INCANDESCENT
INSUL.	INSULATION
INT.	INTERIOR
JST.	JOIST
JT.	JOINT
LAV.	LAVATORY
M.C.	MEDICINE CABINET
M.B.	MACHINE BOLT
M.I.W.	MALLEABLE IRON WASHER
MANUF.	MANUFACTURER
MAS.	MASONRY
MAX.	MAXIMUM
MIN.	MINIMUM
N/A	NOT APPLICABLE
NAT.	NATURAL
NOM.	NOMINAL
O.	OVER
O.C.	ON CENTER
O.H.	OVER HANG
OBS.	OBSOLETE
OPER.	OPERABLE
PLATE	PLATE
P.D.F.	PRESSURE DRIVEN FASTENER
P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
PLYWD.	PLYWOOD
PRE-FAB	PREFABRICATED
PROP.	PROPERTY
R.	RISER
REFR.	REFRIGERATOR
REINF.	REINFORCEMENT
REQ'D.	REQUIRED
REQ.MT.	REQUIREMENT
RET.	RETAINING
RM.	ROOM
RWD.	REDWOOD
S.C.	SOLID CORE
SECT.	SECTION
S.H.	SINGLE RUNG
S.L.	SKY LIGHT
S & P.	SHELF & POLE
S.V.	SHEET VINYL
S.W.	SOLID WOOD
SHT.	SHEET
SHTG.	SHEATHING
SHWR.	SHOWER
SIM.	SIMILAR
SL.	SLIDING
SPCS.	SPACES
SQ.	SQUARE
S.S.	SELECT STRUCTURAL
STL.	STEEL
T.	TREAD
T.B.	TONE BAR
T & G.	TONGUE & GROOVE
T.N.	TOE NAIL
T.P.D.	TOILET PAPER DISPENSER
TEMP.	TEMPERED
THK.	THICK
TYP.	TYPICAL
U.C.	UNDER CABINET LIGHT STRIP
U.S.	UTILITY SINK
V.B.	VAPOR BARRIER
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
W/	WITH
W.A.	WARM AIR REGISTER
W.C.	WATER CLOSET
W.H.	WATER HEATER
W.	WASHER
W.N.H.	WELDER WIRE MESH
WO.	WOOD
WDO.	WINDOW



Floor Plan Legend

WINDOW AND DOOR SIZES ARE IN FOOT AND INCH FORMAT. FOR EXAMPLE 60 68 = 6'-0" x 6'-8".

DOORS HAVE SINGLE GLAZING.

PLATE LINES ARE 8'-1"

(A) (E) wood window w/ single glazing

(B) (E) wood window w/ dual glazing

EXISTING RESIDENCE FLOOR PLAN

Scale: 1/4" = 1'-0"



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NEAL OWEN KRUISE DESIGN
 P.O. BOX 739 TEL: (811) 625-5119
 CARMEL, CA 93021 FAX: (811) 625-0218
 neal@owenkruse.com
 Business License Number: 000025014

Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
 Track 2 Planning
 Submittal

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 011-126-007-000

LOT/BLK:
 BLOCK 18, LOT 14 & 15, 47 OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
 Karyl Hall

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Issuance:
 Date: 5/21/2018

Project No:
 Plot Date:
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 File Name:

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 Ckd by: Neal Owen Kruse

Sheet Title:
 Existing
 Residence
 Floor Plan

Sheet:
A4

Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS

Track 2 Planning
 Submittal

PROJECT DESCRIPTION:

TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000

LOTBLK:
 BLOCK 10, LOT 14 & 15, 47 OF 13 & 15

PROJECT LOCATION:

2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:

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Project No:

Plot Date:

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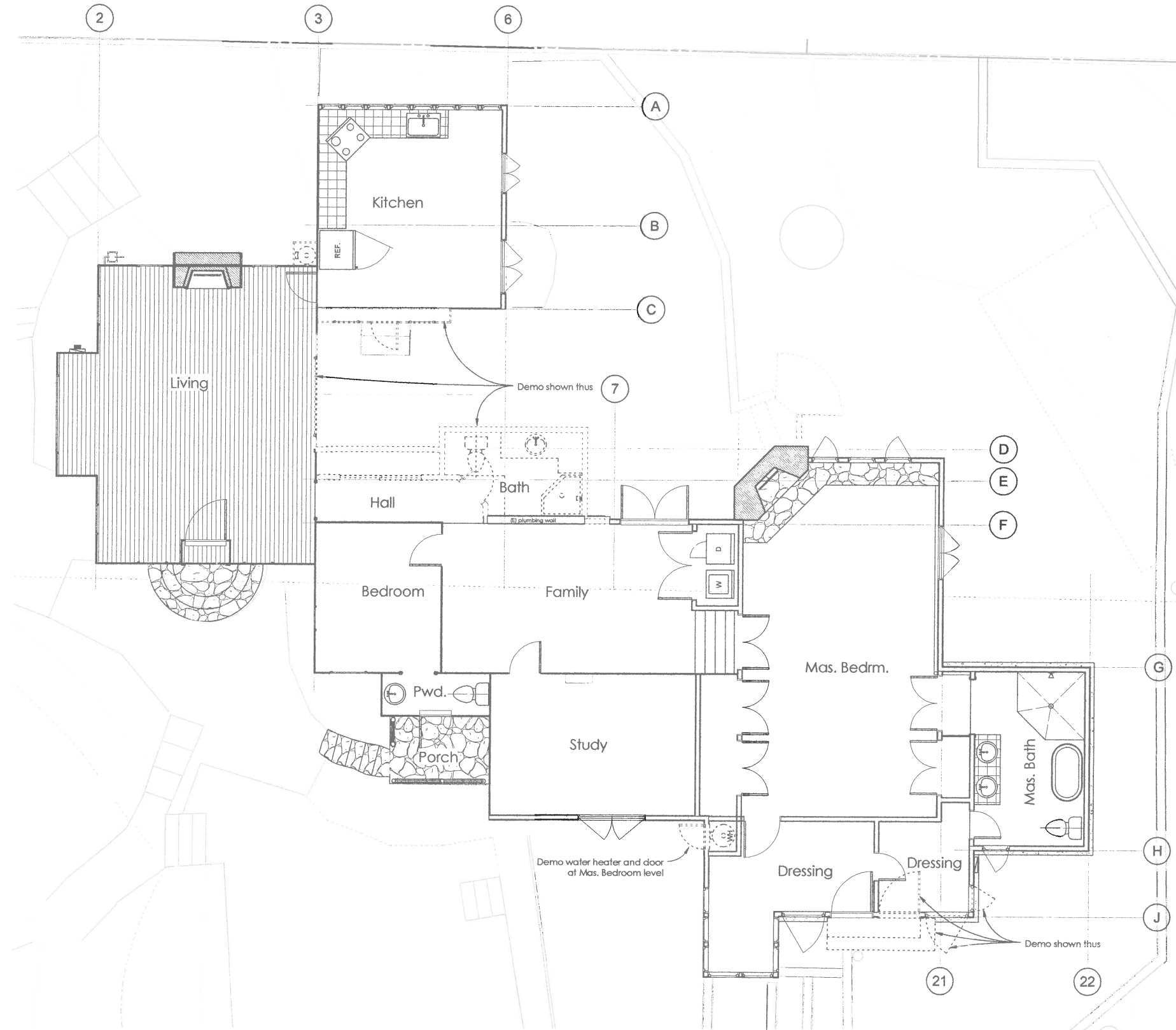
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 Drawn by: JMK
 Ckd by: Neal Owen Kruike

Sheet Title:

Residence
 Demolition
 Floor Plan

Sheet:

A5



RESIDENCE DEMOLITION FLOOR PLAN

Scale: 1/4" = 1'-0"



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WINDOW SCHEDULE									
Mark	Operation	Type	Manufacturer	Model Series	Window Frame Size		Material	Finish	Type Comments
					Width	Height			
1	Radius Top Casement		Sierra Pacific Window	Sedona	18"	24"	Wood	Paint	Dual pane clear glass
2	Radius Top Casement		Sierra Pacific Window	Sedona	24"	36"	Wood	Paint	Dual pane clear glass
4	Radius Top Casement		Sierra Pacific Window	Sedona	15"	30"	Wood	Paint	Dual pane clear glass
5	Rotated Fixed	G	Sierra Pacific Window	Sedona	12"	12"	Wood	Paint	Dual pane clear glass
6	Radius Top Fixed		Sierra Pacific Window	Sedona	18"	24"	Wood	Paint	Dual pane clear glass

DOOR SCHEDULE							
Mark	Thickness	Description	Operation	Door Type	Width	Height	Frame Material
33	1 3/8"	9 lite raised panel door			3'-0"	6'-8"	
56	1 3/4"	9 Lite Full Glass Double Door			2'-6"	6'-8"	
57	0"	Cased Opening			5'-0"	6'-8"	
58	0"	Cased Opening			9'-0"	8'-0"	
87	1 1/2"	Sectional Overhead door w/ glass			8'-0"	7'-0"	
88	1 1/2"	Sectional Overhead door w/ glass			8'-0"	7'-0"	
89	1 3/4"	Arch Top Entry Door w/ glass			3'-0"	6'-8"	
91	1 3/4"	Arch Top Entry Door w/ glass			3'-0"	6'-8"	
93	1 1/2"	Access Door, match siding			1'-10"	2'-6"	
95	0"	Cased Opening			10'-0"	8'-0"	
96	1 1/2"	Access Door, match siding			2'-0"	6'-0"	

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 neal@owenkruse.com
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Consultants:

Seal:

Revisions:
 # | Date | Description

PROJECT STATUS
 Track 2 Planning
 Submittal

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000

LOTBLK:
 BLOCK 18, LOT 14 & 15, 47 OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
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Owner:
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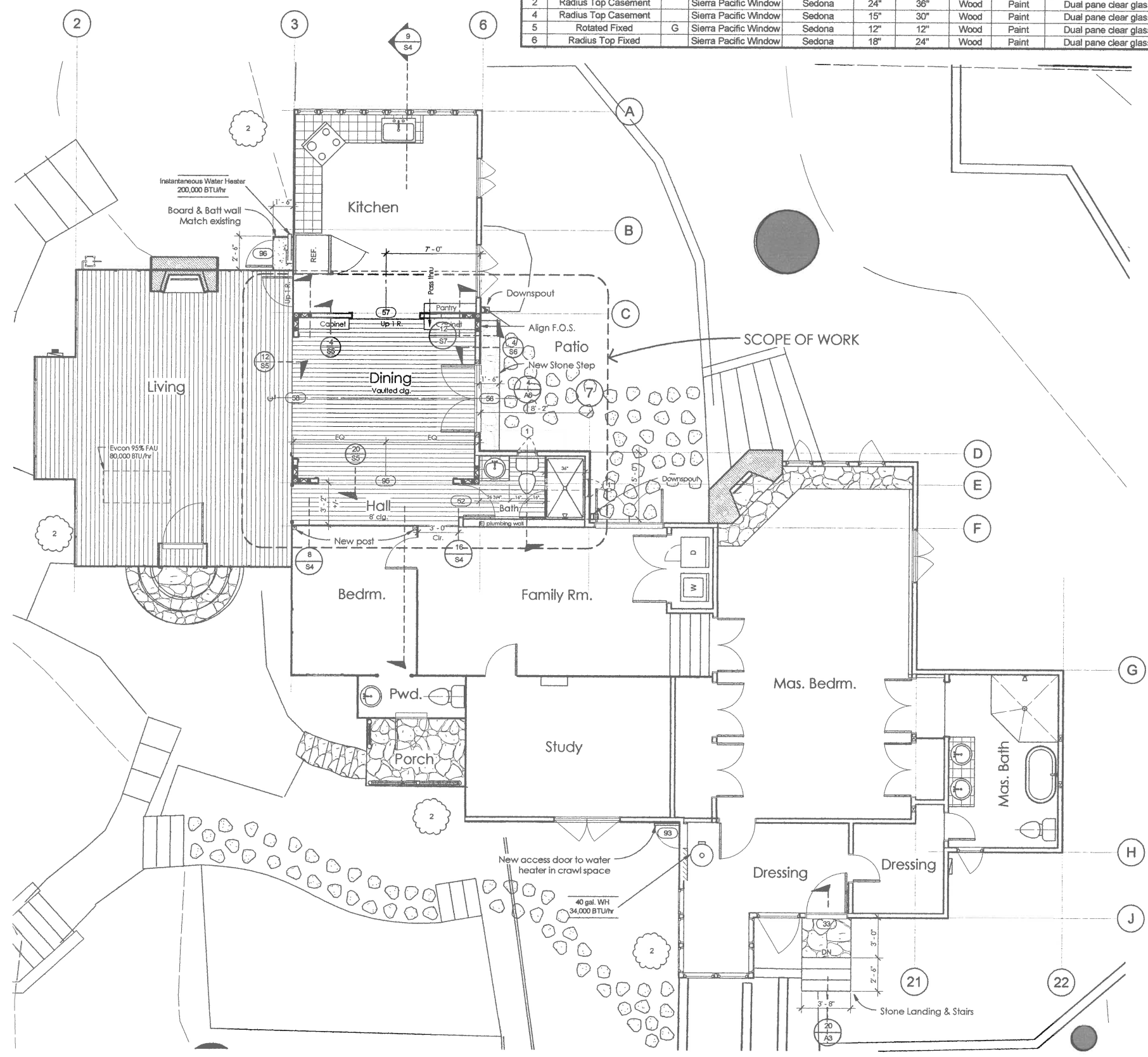
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 Drawn by: KMK
 Ckd by: Neal Owen Kruse

Sheet Title:

Proposed
 Residence
 Floor Plan

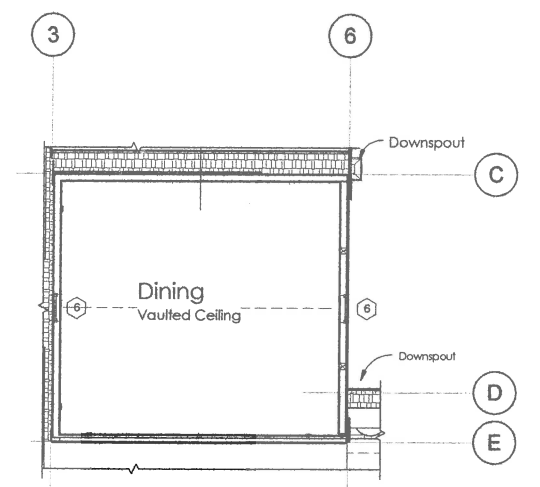
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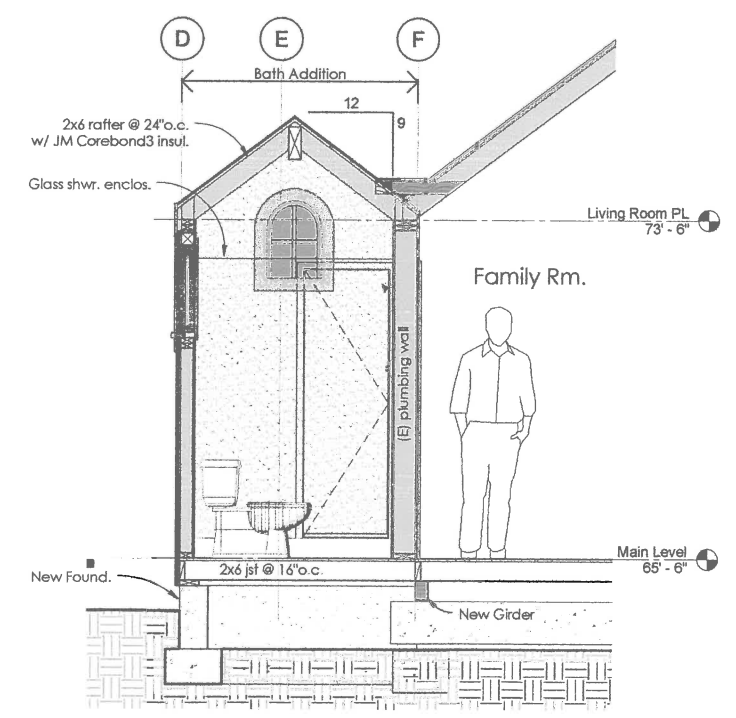
PROPOSED RESIDENCE FLOOR PLAN

Scale: 1/4" = 1'-0"



UPPER PLAN - DINING

Scale: 1/4" = 1'-0"



Section at Bath

Scale: 1/2" = 1'-0"

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 nkruse@neal.com
 Business License Number: 000022914

Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
**Track 2 Planning
 Submittal**

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000

LOTBLK:
 BLOCK 10, LOT 14 & 16, 47 OF 19 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
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Owner:
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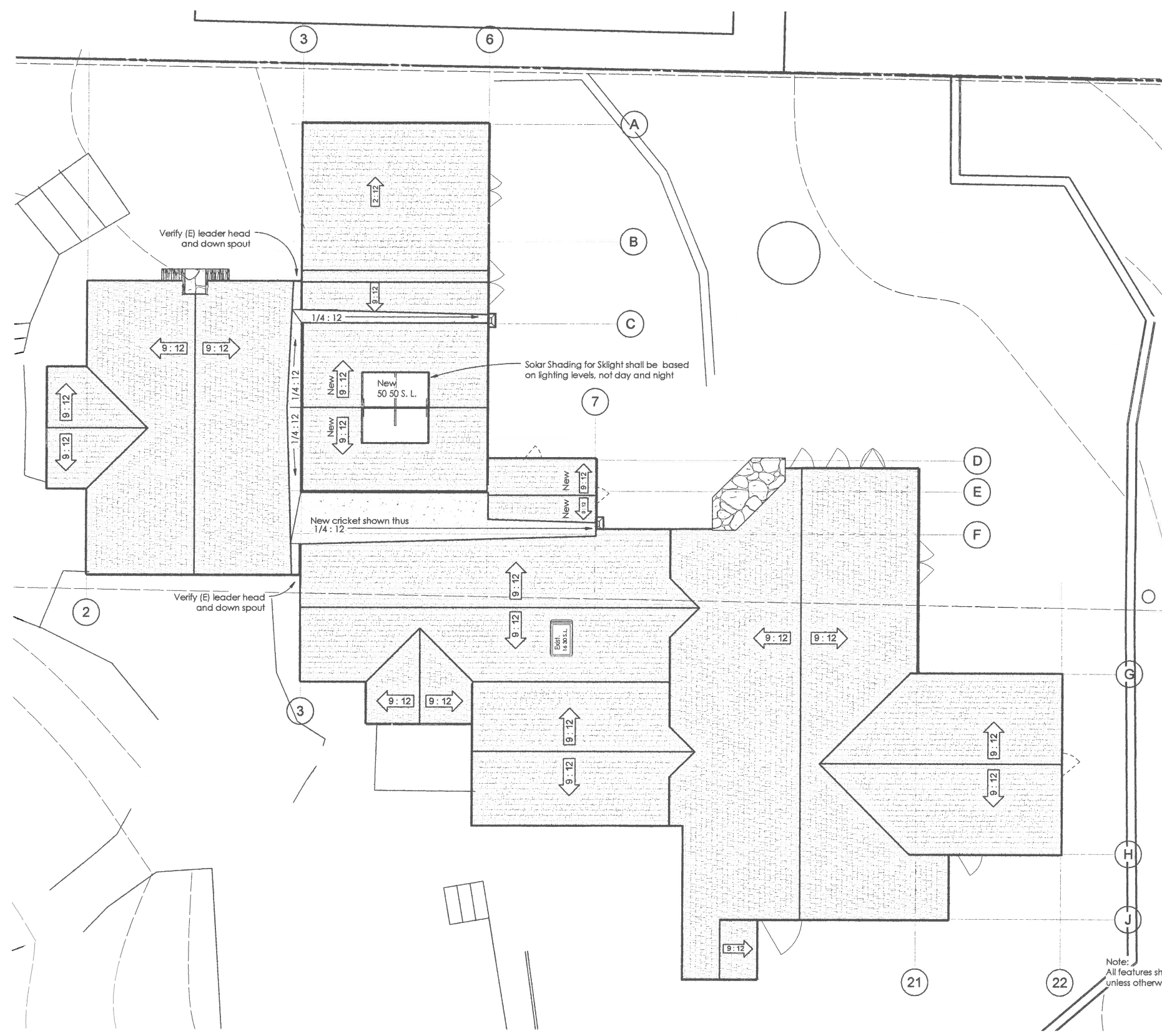
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 Date: 5/21/2018

Project No:
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Designed by: Neal Owen Kruse
 Drawn by: KMK
 Chd by: Neal Owen Kruse

Sheet Title:
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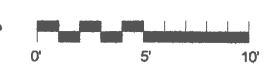
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Note:
 All features shown are existing
 unless otherwise noted.

PROPOSED RESIDENCE ROOF PLAN

Scale: 1/4" = 1'-0"



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Consultants:

Seal:

Revisions:
 # Date Description

PROJECT STATUS
**Track 2 Planning
 Submittal**

PROJECT DESCRIPTION:
**TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL**

APN - 010-126-007-000
 LOT/BLK:
 BLOCK 10, LOT 14 & 16, 40' OF 15 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
Karyl Hall

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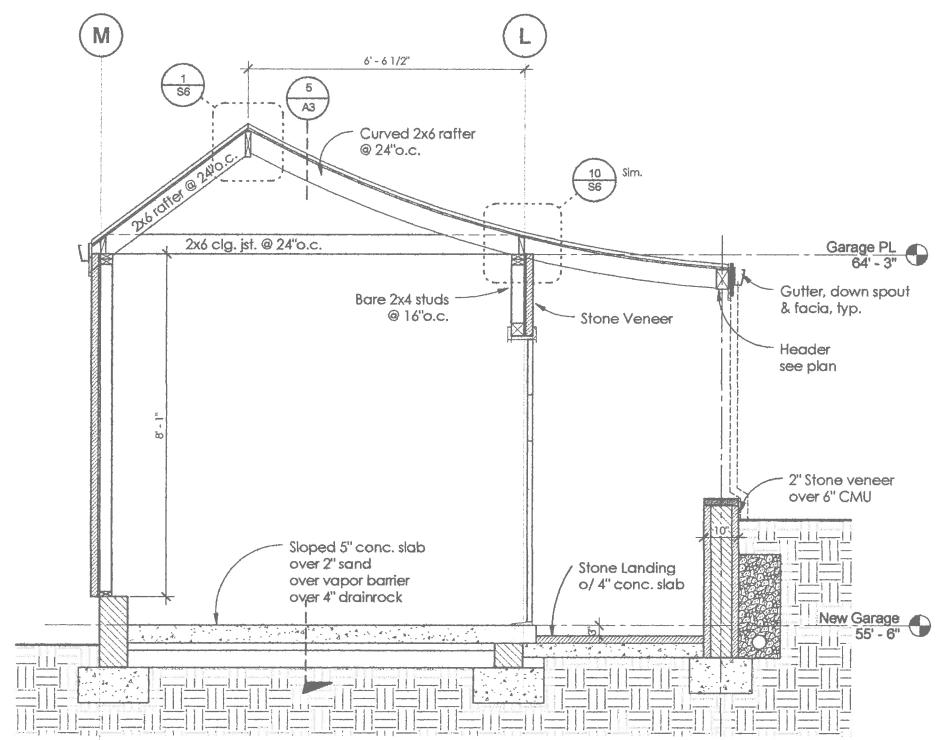
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 Date: 5/21/2018

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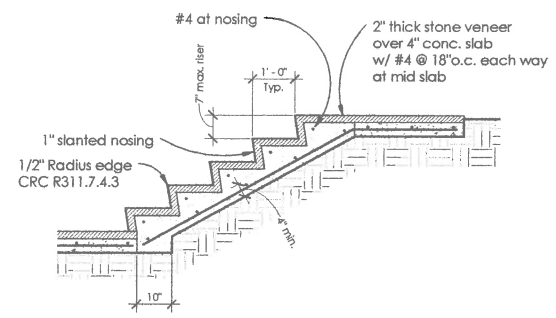
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 Drawn by: KMK
 Cld by: Neal Owen Kruse

Sheet Title:
**Proposed
 Garage Floor
 Plan & Roof
 Plan**

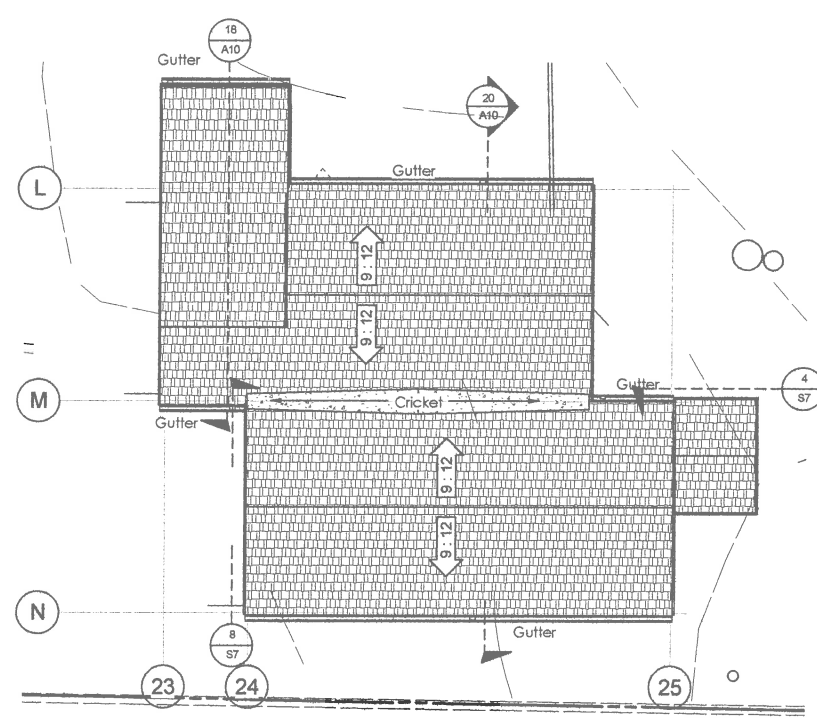
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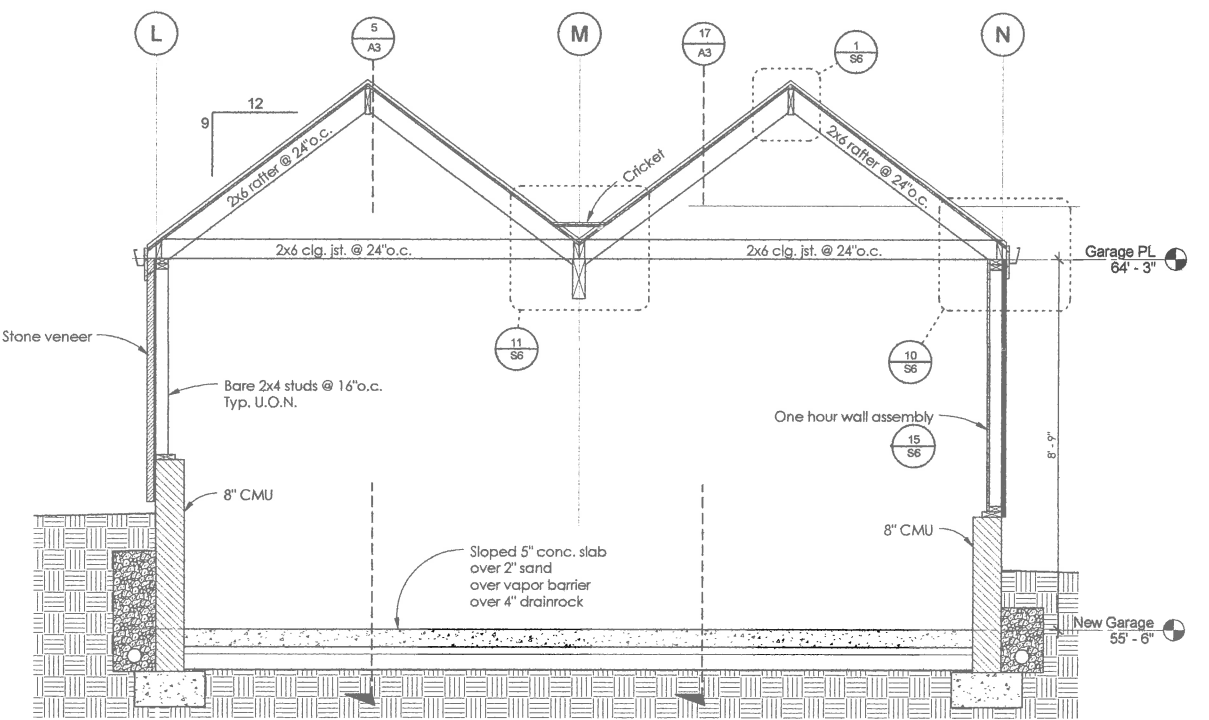
18 Garage Stair Section
 Scale: 1/2" = 1'-0"



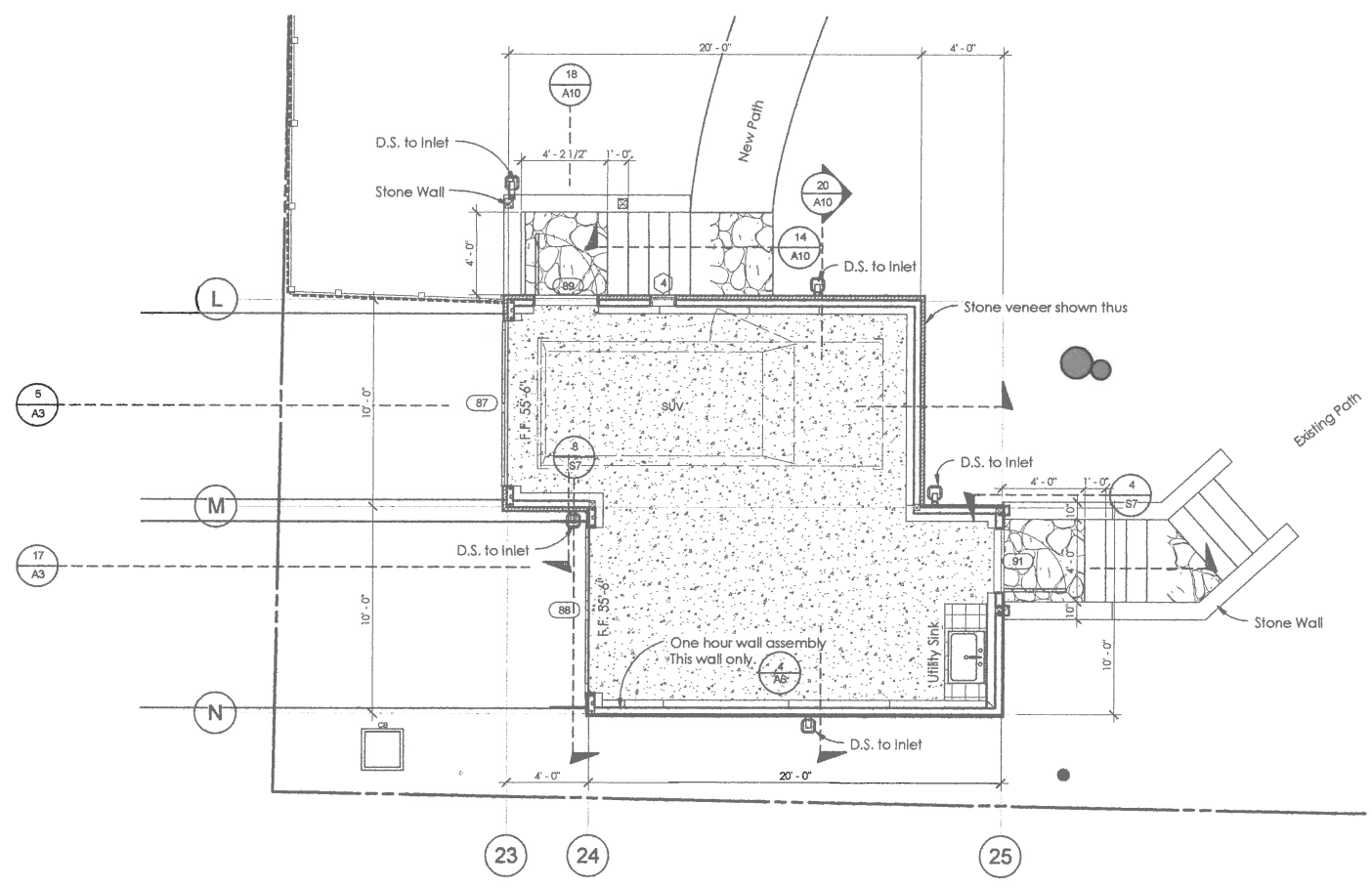
14 Stone Stairs
 Scale: 1/2" = 1'-0"



GARAGE ROOF PLAN
 Scale: 1/4" = 1'-0"



20 Building Section at Garage
 Scale: 1/2" = 1'-0"



PROPOSED GARAGE FLOOR PLAN
 Scale: 1/4" = 1'-0"

FLOOR PLAN NOTES
 1. See sheet A6 for door and window schedules



Not for Construction

C:\Jobs\NOK - Hall residence\Hall Res - Track 2\WD.dwg

Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
Track 2 Planning Submittal

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000
 LOT/BLK:
 BLOCK 10, LOT 14 & 16, 47 OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
Karyl Hall

Typical New Exterior Materials

GENERAL
 All new material shall match existing materials as much as possible.

ROOFING
 CertainTeed Presidential Shake Mountain Timber composition shingle roofing.

SIDING
 Board and Batt wood siding.

STONE
 Carmel Stone.

Copyright:
 Neal Owen Kruse
 5/23/2018 2:17:50 PM
 Architectural Works
 and
 Technical Graphics

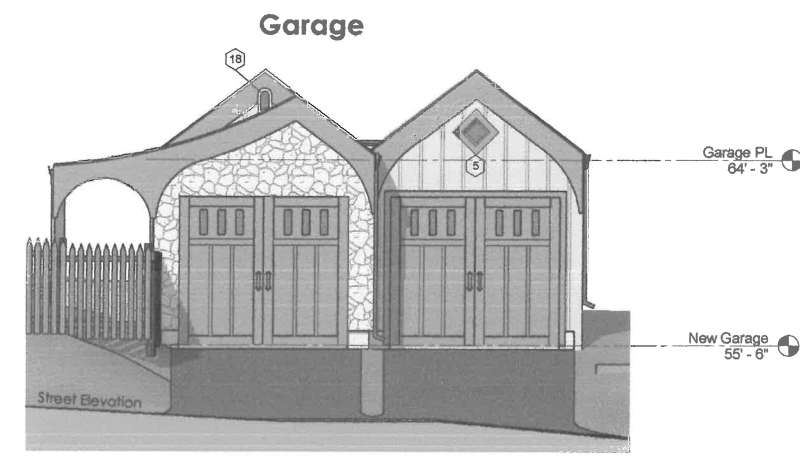
ISSUANCE:
 Date: 5/21/2018

Project No:
 Plot Date:
 Plot Scale:
 File Name:

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 Drawn by: JMK
 Cld by: Neal Owen Kruse

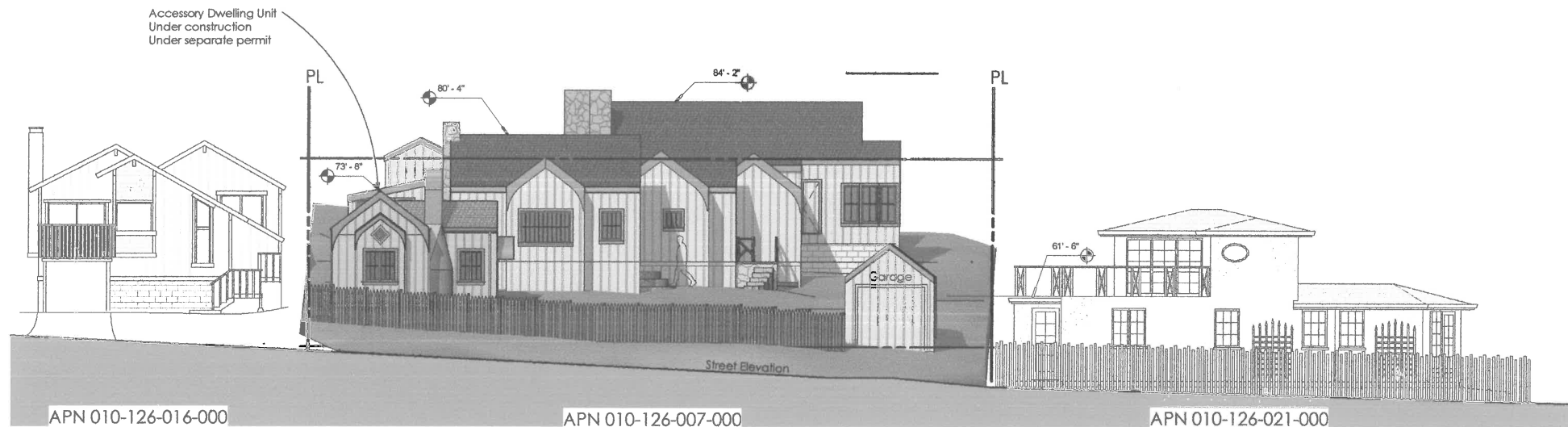
Sheet Title:
West Street Elevations

Sheet:
A11



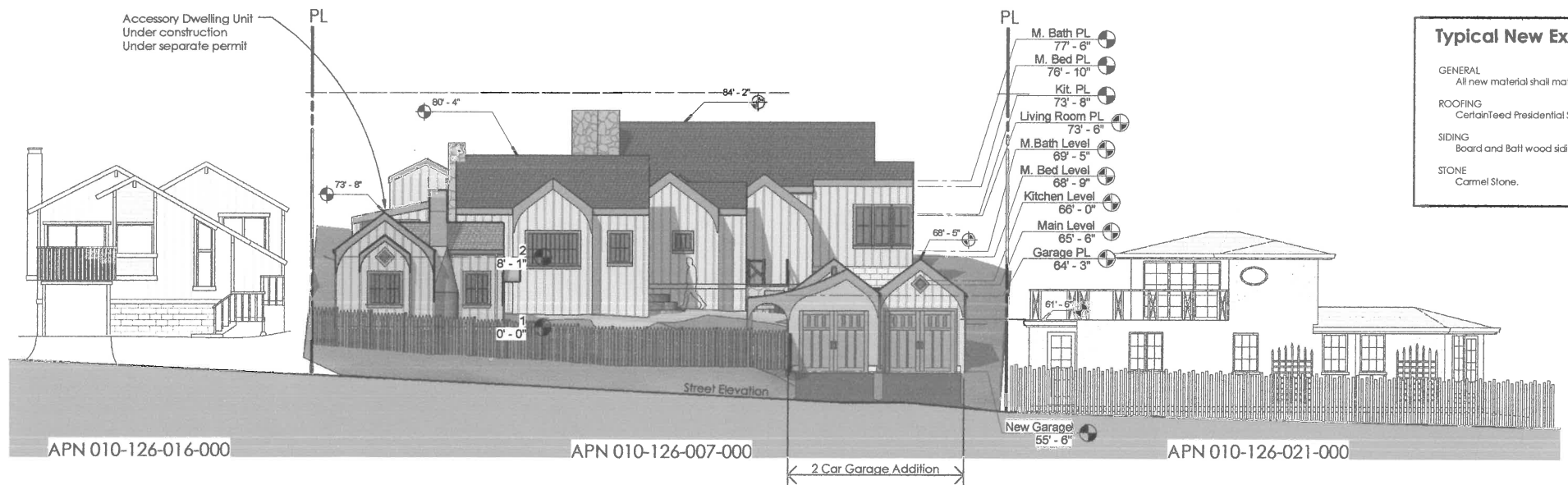
Proposed West Elevation

Scale: 1/4" = 1'-0"



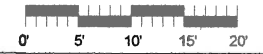
Existing West Street Elevation

Scale: 1/8" = 1'-0"



Proposed West Street Elevation

Scale: 1/8" = 1'-0"



Not for Construction

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Consultants:

Revisions:

#	Date	Description
1		
2		

PROJECT STATUS
**Track 2 Planning
 Submittal**

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000
 LOTBLK:
 BLOCK 10, LOT 14 & 15, 47 OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
Karyl Hall

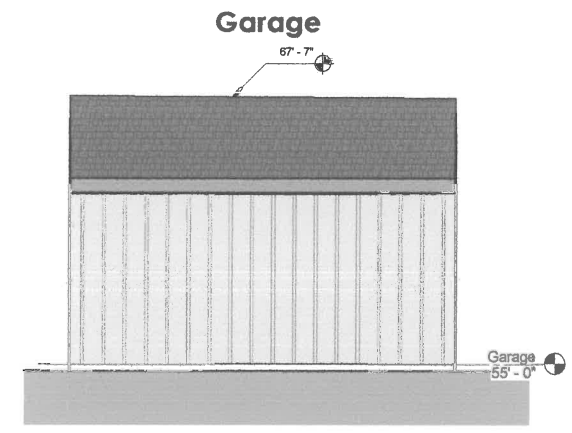
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 Architectural Works
 and
 Technical Graphics

Issuance:
 Date: 5/21/2018

Project No:
 Plot Date:
 Plot Scale:
 File Name:
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 Dwn by: NOK
 Ckd by: Neal Owen Kruse

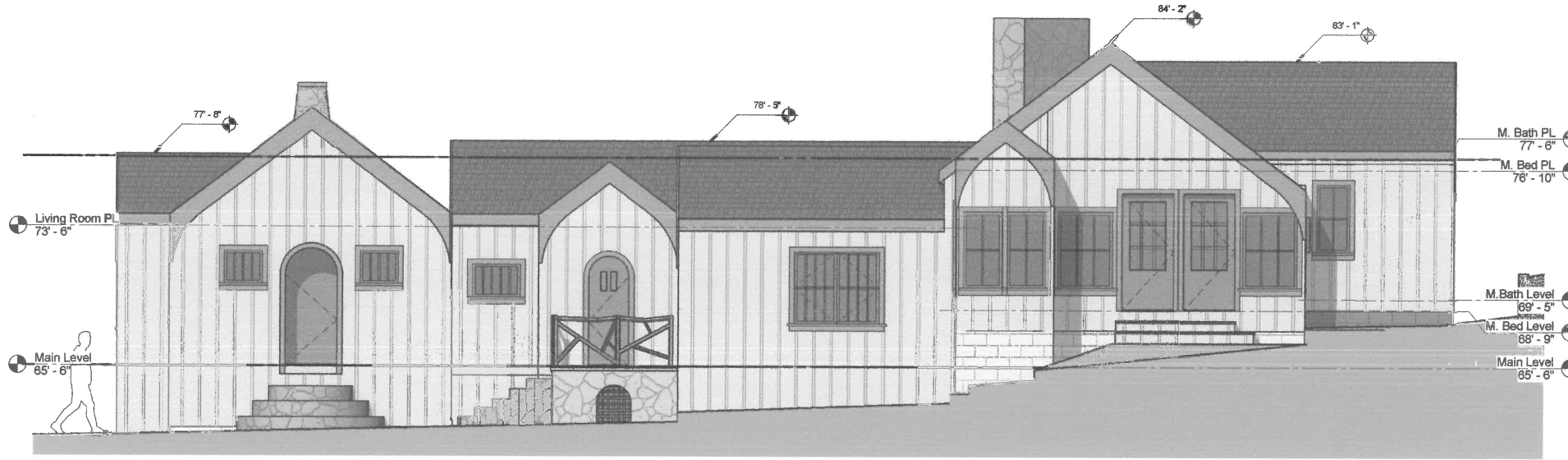
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**South Exterior
 Elevations**

Sheet:
A12



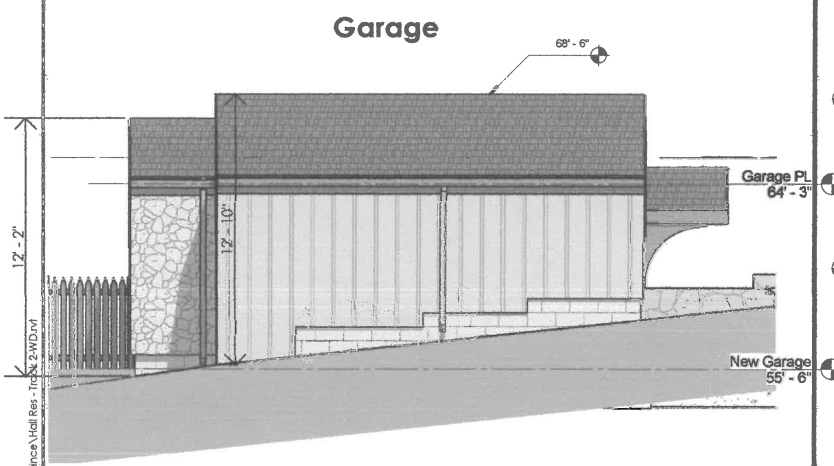
Existing South Elevation

Scale: 1/4" = 1'-0"



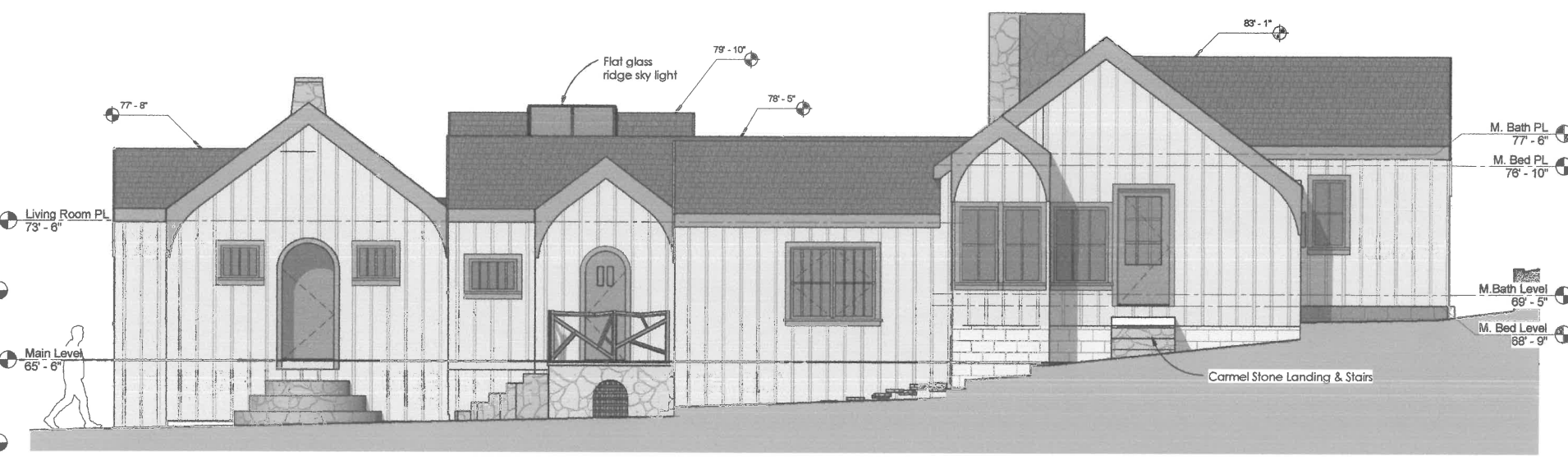
Existing South Elevation - Residence

Scale: 1/4" = 1'-0"



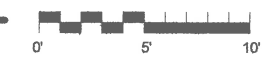
Proposed South Elevation

Scale: 1/4" = 1'-0"



Proposed South Elevation - Residence

Scale: 1/4" = 1'-0"



Not for Construction

Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
**Track 2 Planning
 Submittal**

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000

LOTBLK:
 BLOCK 10, LOT 14 & 15, 47' OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
Karyl Hall

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 Neal Owen Kruse
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 Architectural Works
 and
 Technical Graphics

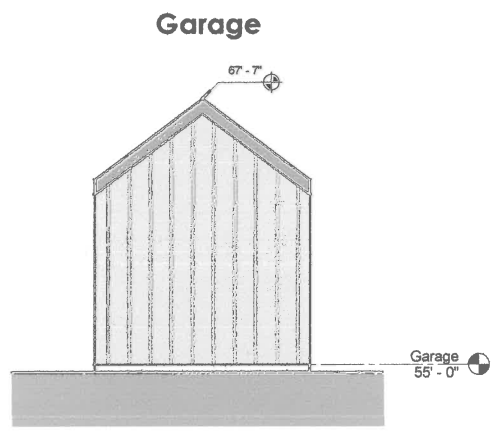
Issuance:
 Date 5/21/2018

Project No:
 Plot Date:
 Plot Scale:
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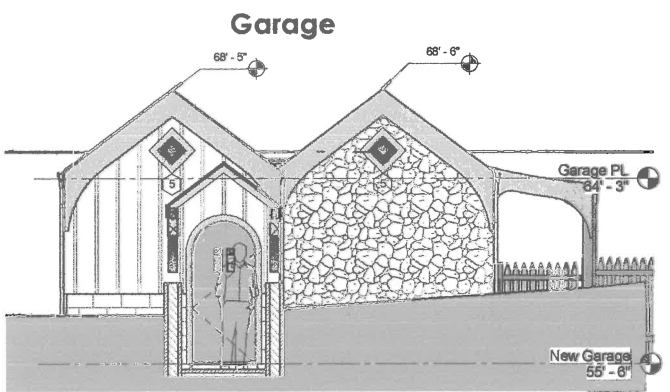
Designed by: Neal Owen Kruse
 Drawn by: RMBK
 Cld by: Neal Owen Kruse

Sheet Title:
**East Exterior
 Elevations**

Sheet
A13



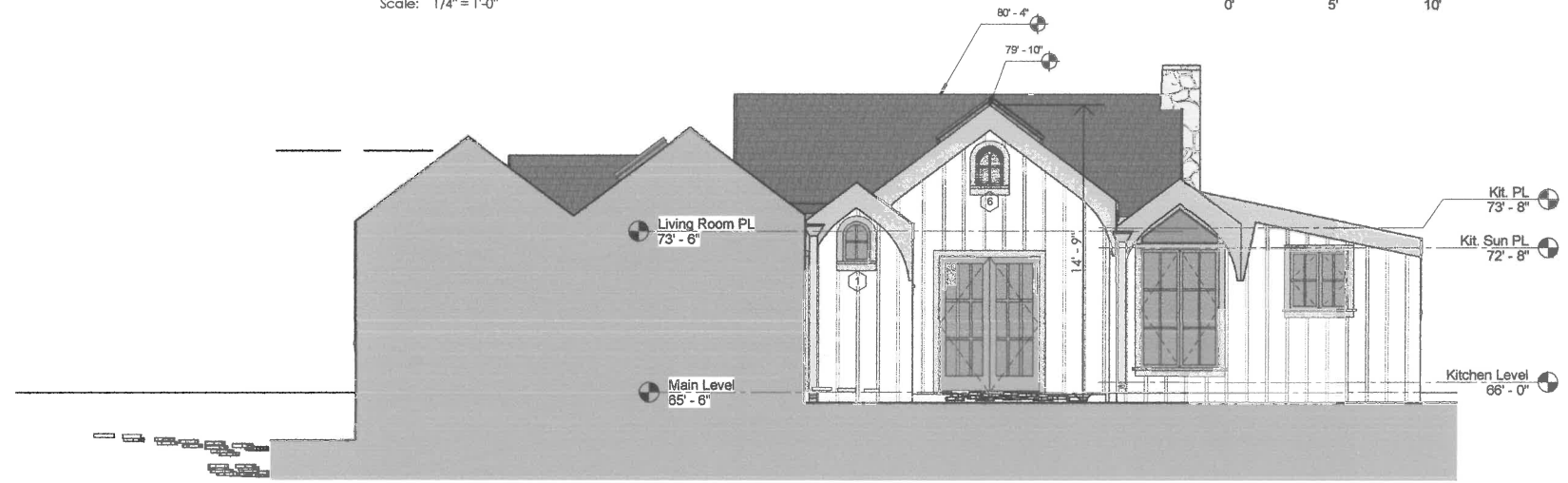
Existing East Elevation
 Scale: 1/4" = 1'-0"



Proposed East Elevation
 Scale: 1/4" = 1'-0"



Existing East Elevation - Residence
 Scale: 1/4" = 1'-0"



Proposed East Elevation at Courtyard
 Scale: 1/4" = 1'-0"



Proposed East Elevation - Residence
 Scale: 1/4" = 1'-0"

Not for Construction

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Consultants:

Seal:

Revisions:

#	Date	Description

PROJECT STATUS
**Track 2 Planning
 Submittal**

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000

LOT/BLK:
 BLOCK 19, LOT 14 & 16, 47 OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
Karyl Hall

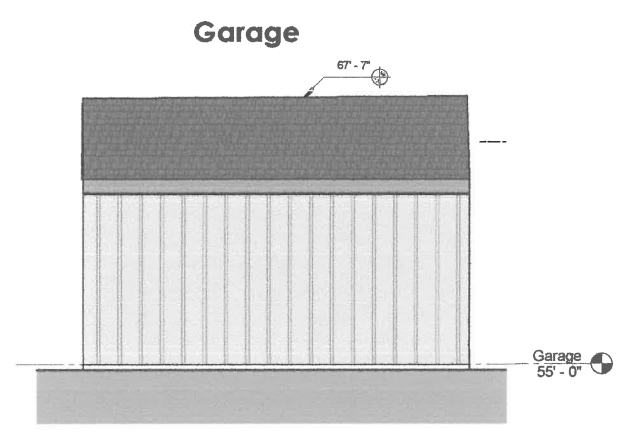
Copyright
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 Architectural Works
 and
 Technical Graphics

Issuance:
 Date: 5/21/2018

Project No:
 Plot Date:
 Plot Scale:
 File Name:
 Designed by: Neal Owen Kruse
 Drawn by: KMK
 Cld by: Neal Owen Kruse

Sheet Title:
**North Exterior
 Elevations**

Sheet:
A14



Existing North Elevation

Scale: 1/4" = 1'-0"

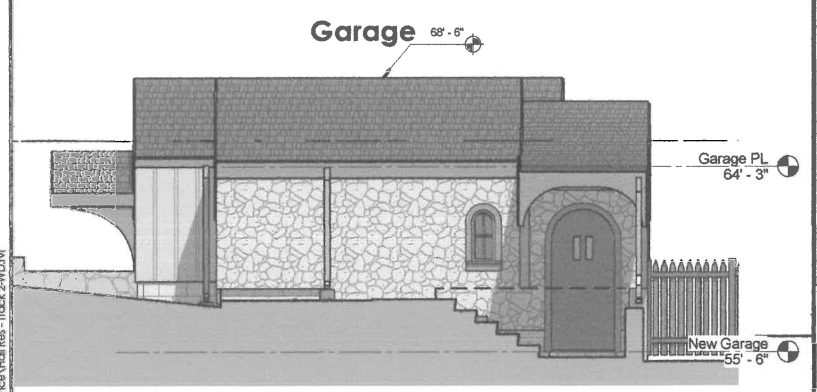


Existing North Elevation - Residence

Scale: 1/4" = 1'-0"

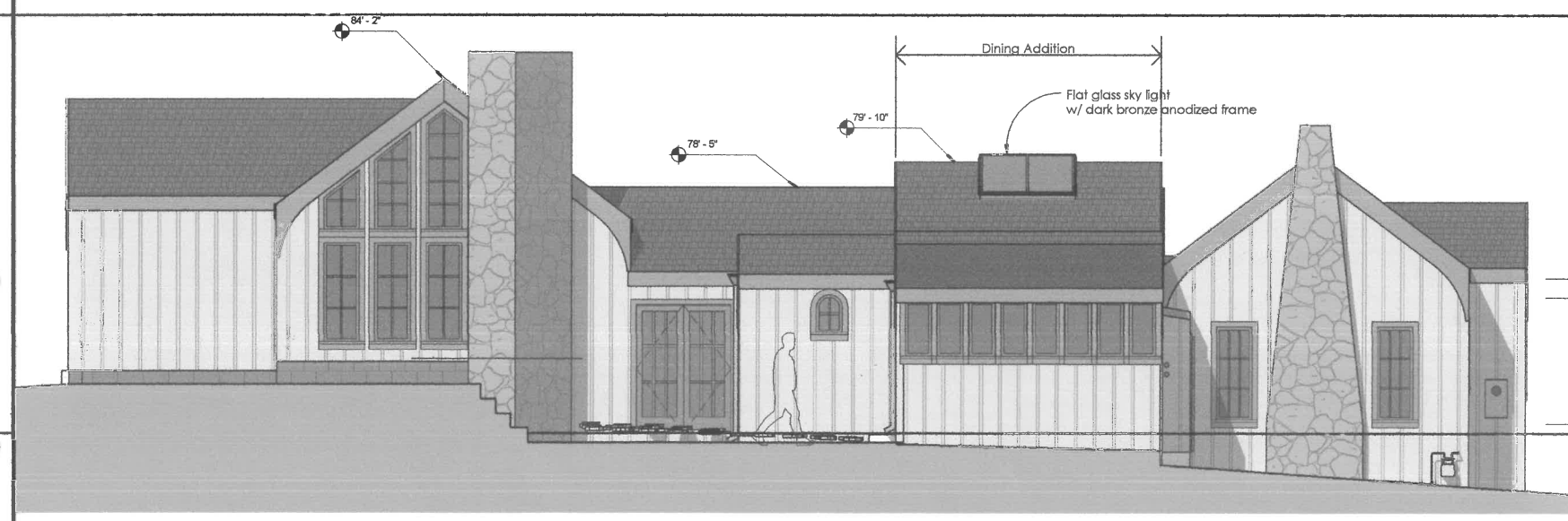
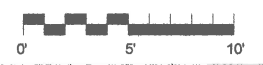


- Kit. PL 73' - 8"
- Living Room PL 73' - 6"
- Kit. Sun PL 72' - 8"
- Kitchen Level 66' - 0"
- Main Level 65' - 6"



Proposed North Elevation

Scale: 1/4" = 1'-0"



Proposed North Elevation - Residence

Scale: 1/4" = 1'-0"



- Kit. PL 72' - 8"
- Kit. Sun PL 72' - 8"
- Kitchen Level 66' - 0"
- Main Level 65' - 6"

Not for Construction

C:\Users\NOK - Hall\residence\Visual Files - Track 2\WD.DWG

Consultants:

Seat:

Revisions:
 # | Date | Description

PROJECT STATUS
 Track 2 Planning
 Submittal

PROJECT DESCRIPTION:
 TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000

LOTBLK:
 BLOCK 10, LOT 14 & 15, 47 OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
 Karyl Hall

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 Neal Owen Kruse
 5/23/2018 10:17:25 AM
 Architectural Works
 and
 Technical Graphics

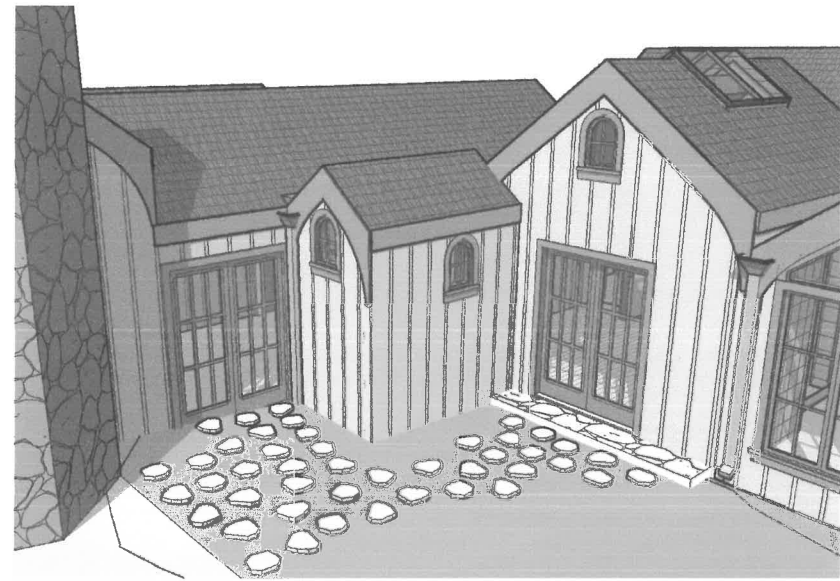
Issuance:
 Date: 5/21/2018

Project No:
 Plot Date:
 Plot Scale:
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 Drawn by: NOK
 Ckd by: Neal Owen Kruse

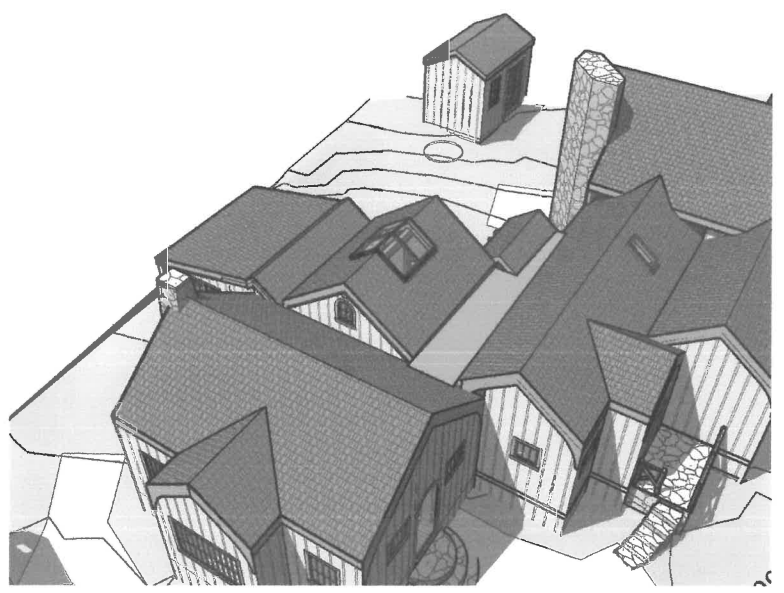
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 3D Views -
 Dining

Sheet:
A15



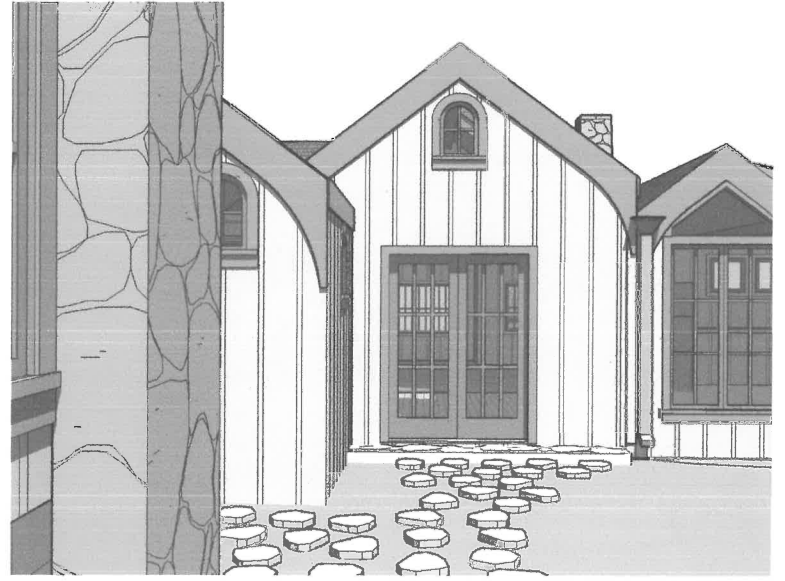
Dining 5

Scale:



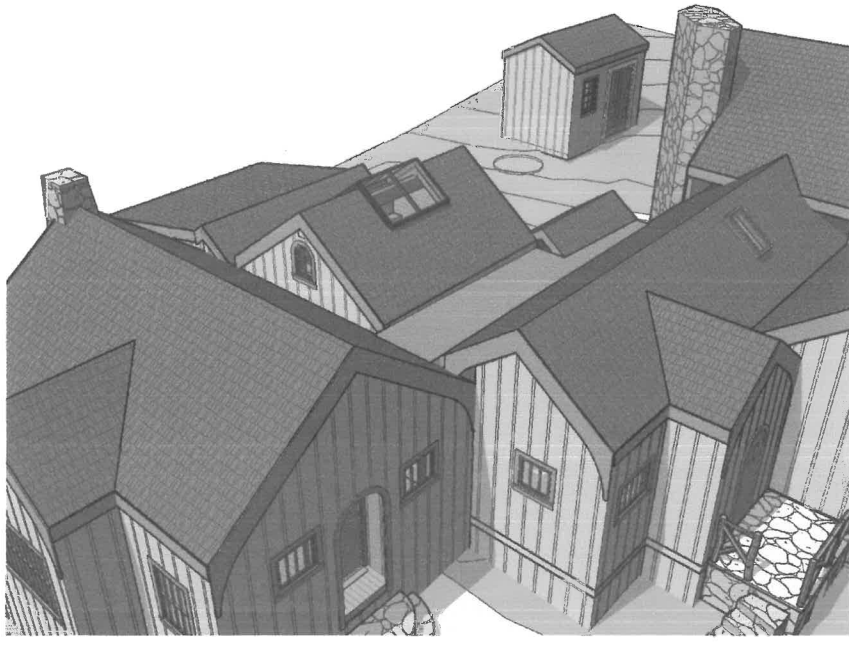
Dining 4

Scale:



Dining 3

Scale:



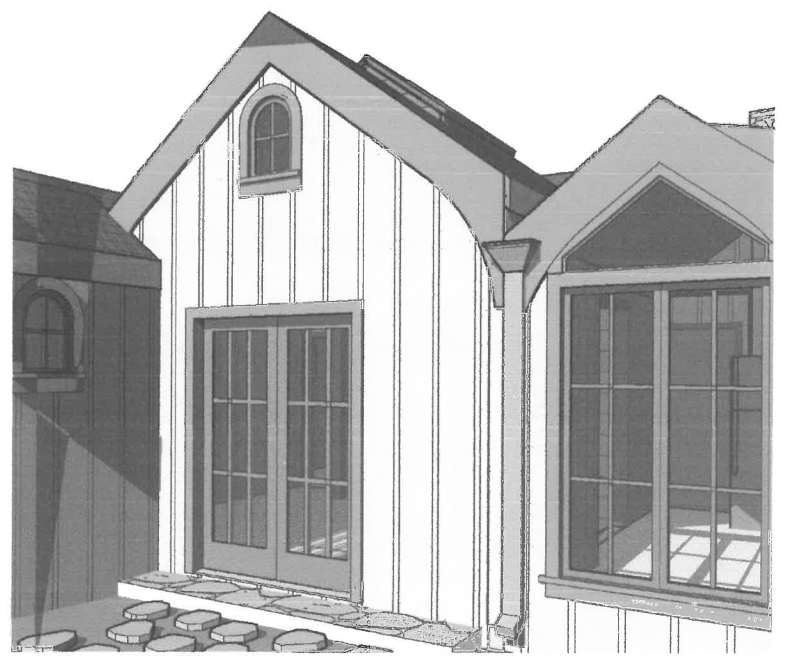
Dining SW

Scale:



Dining 2

Scale:



Dining 1

Scale:

Not for Construction

NEAL OWEN KRUSE DESIGN
 P.O. BOX 7228 TEL: (831) 825-3118
 CARMEL, CA 93021 FAX: (831) 825-4219
 nkruse@pacbell.net
 Business License Number: 000025014

Consultants:

Seat:

Revisions:

#	Date	Description

PROJECT STATUS

Track 2 Planning
 Submittal

PROJECT DESCRIPTION:

TRACK 2
 RESIDENCE
 ADDITION AND
 REMODEL

APN - 010-126-007-000

LOTBLK:
 BLOCK 10, LOT 14 & 15, 40' OF 13 & 15

PROJECT LOCATION:
 2nd NE of 2nd on Dolores St.
 Carmel-by-the-sea, CA

Owner:
Karyl Hall

Copyright
 Neal Owen Kruse
 5/23/2018 10:17:51 AM
 Architectural Works
 and
 Technical Graphics

Issuance:
 Date: 5/21/2018

Project No:
 Plot Date:
 File Name:
 Designed by: Neal Owen Kruse
 Own by: KMK
 Ctd by: Neal Owen Kruse

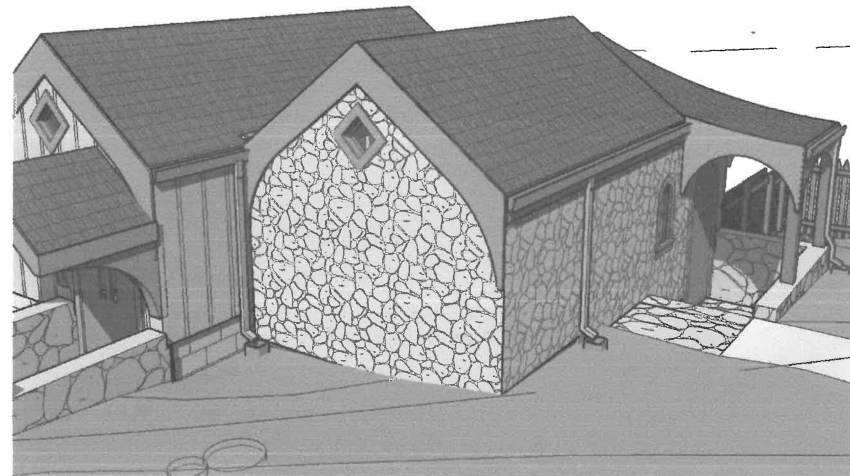
Sheet Title:
**3D Views -
 Garage**

Sheet:
A16



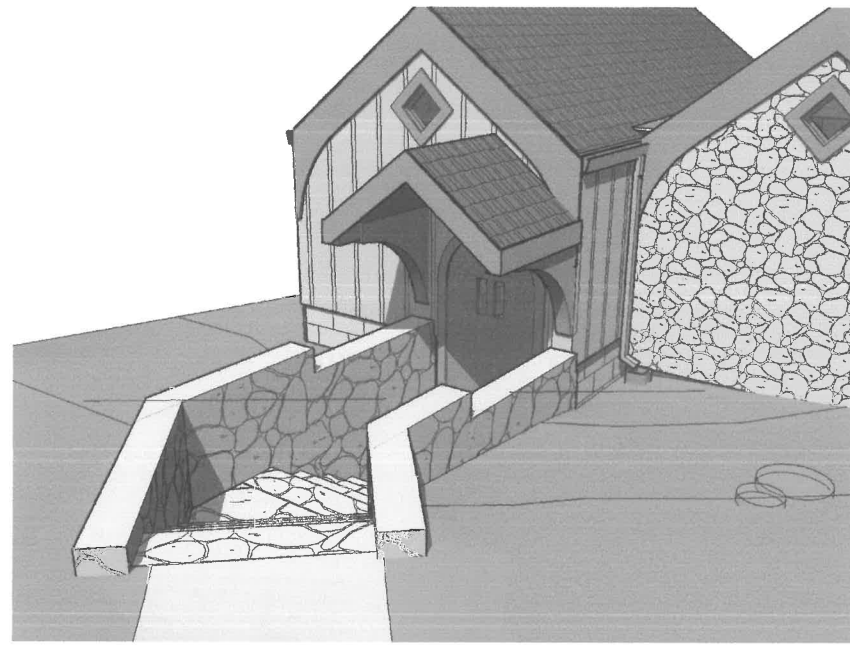
Garage - NE

Scale:



Garage rear corner

Scale:



Garage rear roof

Scale:



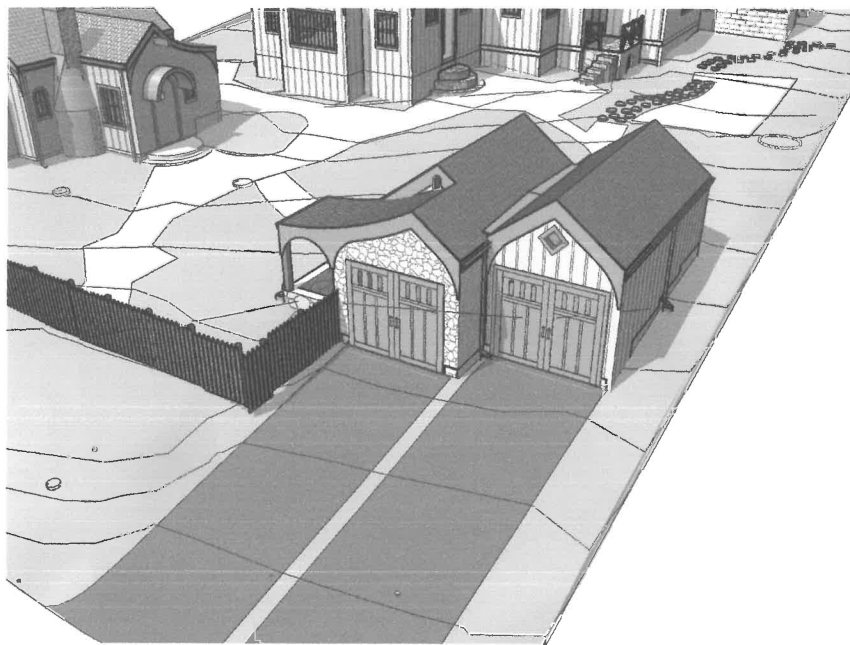
Bird's Eye Entry

Scale:



Garage rear

Scale:



Garage Bird's Eye

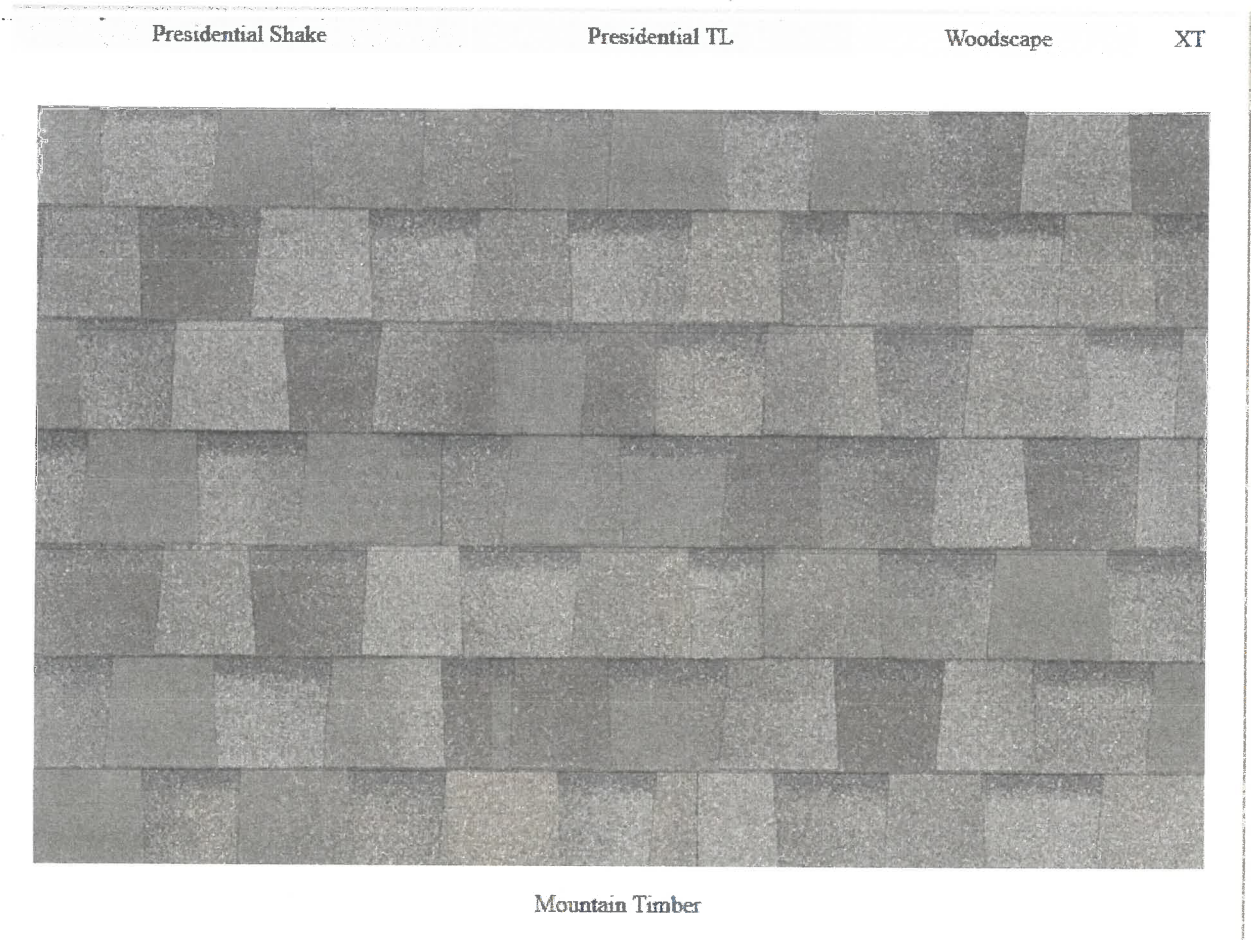
Scale:

Not for Construction

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KARYL HALL – TRACK 2 APPLICATION – DINING BATH ADDITION/REMDODEL 5-23-18

Roofing – Presidential – Certainteed – MOUTAIN TIMBER



http://www.materials-world.com/shingles/certainteed/landmark_series/sub_MountainTimber.htm

RECEIVED

MAY 23 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

KARYL HALL – TRACK 2 APPLICATION – DINING BATH ADDITION/REMDODEL 5-23-18

Black Diamond Concrete Pavers - VICTORIAN

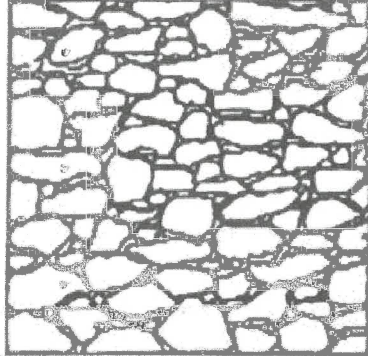


RECEIVED

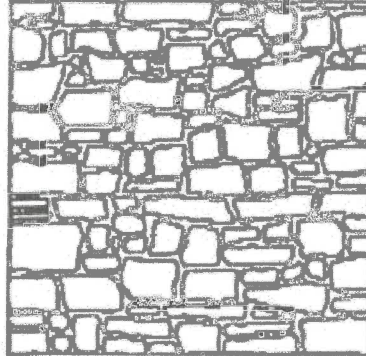
MAY 23 2018

City of Cannel-by-the-Sea
Planning & Building Dept.

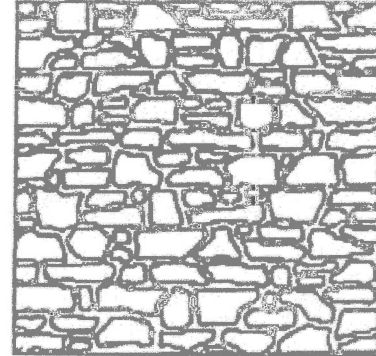
Rubble and Roughly Squared Stone Masonry



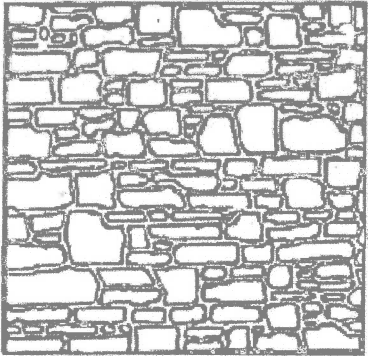
Appropriate: Uncoursed field stone and rough or common rubble.



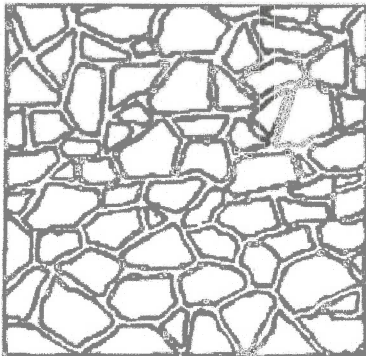
Appropriate: Uncoursed and roughly squared



Appropriate: Coursed field stone and rough or common rubble



Appropriate: Coursed and roughly squared



Inappropriate: Uncoursed cobweb or polygonal rubble



RECEIVED

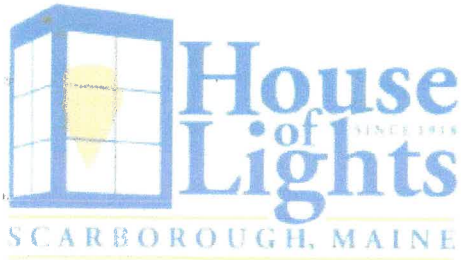
MAY 23 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

KARYL HALL – TRACK 2 APPLICATION – DINING BATH ADDITION/REMODEL 5-23-18

Light fixture **"A"**

Lamps not to exceed 25 Watts – HEAVY FROSTED GLASS



(207) 883-0174
sales@houseoflights.com

418 Payne Rd,
Scarborough ME
04074

Lamping:

Bulbs: (1) x Medium 100
Watt (Not Included)

Dimensions:

23.50" Tall x 0.00" Wide

Manufacturer Information:

Arroyo Craftsman
VB-9AM-RB



5D01HX

Please see our lighting consultants with any questions regarding this fixture. We are available for lighting design, on-site consultations, and welcome the opportunity to create beautiful lighting effects in your home or business!

\$604.00

TYPE "A"



RECEIVED

MAY 23 2018

**City of Carmel-by-the-Sea
Planning & Building Dept.**



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 13, 2018

To: Chair LePage and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Subject: Consideration of a Concept Design Study (DS 18-066) and associated Coastal Development Permit for the construction of a new, two-story, 1,940 square-foot single-family residence with basement and attached garage on a vacant lot, located in the Single-Family Residential (R-1) Zoning District.

Application: DS 18-066

APN: 010-212-020

Location: Lincoln Street, 2 southwest of 5th

Block: 54

Lot: 5

Applicant: Eric Miller Architect

Property Owner: Anthony and Susan Lombardo

EXECUTIVE SUMMARY

The applicant is proposing to build a new, two-story, 1,940 square-foot, single-family residence with basement and attached garage on a standard 4,000 square-foot vacant lot.

RECOMMENDATION

Accept the Concept Design Study DS 18-066 (Lombardo) and the associated Coastal Development Permit subject to the attached Findings for Concept Acceptance and Recommendations/Draft Conditions.

BACKGROUND AND PROJECT DESCRIPTION

The property is a 4,000 square-foot vacant lot that is developed as a parking lot, historically used by the Christian-Scientist reading room located on the adjacent lot to the south. The applicant has submitted plans to construct a new 1,940 square-foot, two-story, Mediterranean-style residence. The residence includes 384 square feet in the basement, 878 square feet on the first floor, and 678 square feet on the second floor. A 324 square-foot roof-top deck is proposed, accessed via an exterior staircase on the south elevation. The applicant proposes an attached garage that includes a car lift to accommodate two cars.

The design includes an enclosed second-story balcony on the front elevation and a second story 4-foot wide balcony on the rear elevation. A partially enclosed first-story patio is proposed the rear of the residence.

The construction of the home will require removal of approximately 625 cubic yards of soil (“cut”). The proposed cut will translate to approximately 78 one-way truck trips (based on 8 cubic yards per load). In addition, engineered soils will be required. This will add an additional 10 one-way truck trips.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass and scale related to the project. However, the Commission may provide input on other aspects of the design.

STAFF ANALYSIS

Neighborhood Context: The Residential Design Guidelines state that *“when planning a project in Carmel, one should define a basic design approach that will meet the owner’s needs and at the same time be compatible with the neighborhood.”* Design Guidelines 9.1 states that *“a design that creates individual character while also maintaining compatibility with the character of the neighborhood, is encouraged.”*

The Lincoln Street neighborhood is somewhat unique, in that it has a mix of development types. On the west side of Lincoln Street there are two parking lots, the Christian Science Reading Room, the First Murphy House, and a one-story residence. On the east side of the street there are mix of one and two-story commercial buildings with a variety of architectural styles. In staff’s opinion, design and massing may be out of character with the neighborhood context. The Commission should evaluate the compatibility of the proposed new Mediterranean-style residence with this neighborhood.

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining *“a forested image on the site”* and for new construction to be at least six feet from significant trees.

The City Forester has identified 4 trees on the property, including two 12-inch oaks and one 24-inch pine on the north side of the property, as well as one eucalyptus near the rear. On May 10, 2018, the Forest and Beach Commission approved the removal of the westerly oak as well as pruning of the easterly oak and pine in order to accommodate the new residence. The Commission required that the applicant plant one new 60” box oak. The City Forester does not recommend that any additional trees be planted on the project site.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 state, *“maintain privacy of indoor and outdoor spaces in a neighborhood”, “maintain view opportunities, and “Position a building to screen active areas of adjacent properties when feasible, locate windows and balconies such that they avoid overlooking active indoor and outdoor uses area of adjacent properties.”*

At this time staff has not identified any view impacts associated with this project. The story poles have been up for several months and no neighboring properties owners have come forward expressing concern with potential view impacts.

With regard to privacy, the project includes a partially enclosed first-story patio on the rear elevation, a second-story balcony on the rear elevation that is only 4 feet wide, and a 324 square-foot roof deck. The rear patio and balcony will not likely create privacy impacts; however, there is some potential for privacy impacts associated with the rooftop deck. Of important note is that the deck would be screened from neighboring properties by the roof structure and is set back several feet from the outer walls of the residence. The owner of the property to the south west, occupied by the Happy Landing Inn, has expressed concern with potential privacy impacts associated with the rooftop deck and the overall building mass. No other neighbors have come forward to express concern. The Planning Commission will have the opportunity to evaluate the privacy situation during the tour of inspection.

Building Mass & Bulk: Residential Design Guidelines 7.0 state that *“a building should contribute to the character of the neighborhood and should not dominate the street or neighboring properties”* and *“should relate to the context of other homes nearby.”*

The proposed residence is 1,940 square feet in size, which includes 1,556 square feet of above-grade floor area and 384 square feet below grade in the basement. The building is proposed to be 23.5 feet high at the highest point along the roof (maximum allowed: 24 feet). In staff’s opinion, the proposed residence appears relatively large in comparison to the other developments in the area, in particular when evaluating the story poles.

Contributing to the appearance of building mass is the balcony on the front elevation, which is enclosed by walls and a roof, but the window bays have been left open. The architect has not included this building element in the floor area calculations because the window bays are open (making it not fully enclosed). CMC 17.10.030.D *“Floor area means the total gross square footage included within the surrounding exterior walls of all floors contained within all enclosed buildings on a building site whether finished or unfinished.”* In staff’s opinion, this balcony element should count as floor area under the City’s code definition, which will likely require

that this building element be eliminated and will result in the second story being set back farther from the street. The applicant is also proposing an enclosed first-story patio at the rear of the residence, in which one wall has been left open. Leaving one wall open is more consistent with the requirement that the space not be enclosed, and this could potentially be exempted from the floor area calculations.

On the rear (west) elevation, the rooftop deck and associated railing contributes to the appearance of building mass. The west elevation is not visible from the street, however, the neighbor to the southwest has expressed concern with the appearance of this elevation and feels that it looms over their property.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.5 state that *“building forms should be simple. Basic rectangles, L or U-shapes are typical”, “A form with a horizontal emphasis is preferred”, “Roof forms should be composed of just a few simple planes”, “Avoid complex roof forms that call attention to the design or add unnecessary detail.”* The Guidelines emphasize using *“restraint”* and *“simplicity”* in building forms, which should not be complicated, and roof lines, which should *“avoid complex forms.”*

In staff’s opinion, the proposed design meet the requirements of the Design Guidelines with regard to building and roof form. The applicant has worked with staff to simplify the overall design by eliminating bay windows and other design elements. The rooftop deck does add complexity to the roof design, but is not easily detectable from public view. However, the roof deck and associated furniture such as umbrellas, heater, etc., can likely be seen from the side and rear elevations.

Alternatives: Staff has included draft Findings for Approval that the Commission can adopt if the Commission accepts the overall design concept, including the architectural style of the building. However, if the Commission does not support the design, then the Commission could continue the application with specific direction given to the applicant.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the demolition of an existing single family residence and the construction of a new single family residence in a residential zone and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment 1 – Site Photographs
- Attachment 2 – Findings for Approval
- Attachment 3 – Recommendations/Draft Conditions
- Attachment 4 – Neighbor Letter
- Attachment 5 – Project Plans

PROJECT DATA FOR A 4,000 SQUARE-FOOT SITE			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 SF (45%)	NA	1,940 SF* 1,556 Above Grade 384 Basement
Site Coverage	396 SF/556 SF	NA	556 SF
Trees (Upper/Lower)	3/1	2/2	1/2
Ridge Height (1 st /2 nd)	18'/24'	NA	12'-6"/23'-6"
Plate Height (1 st /2 nd)	12'/18'	NA	9'-6"/18'
Setbacks	Minimum Required	Existing	Proposed
Front	15'	NA	21'
Composite Side Yard	10' (25%)	NA	10'
Minimum Side Yard	3'	NA	3'-6"
Rear	15'/3'	NA	20'



View of project site, looking northwest



View from Happy Landing Inn patio, looking northeast.

FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE		
For each of the required design study findings listed below, staff has indicated whether the concept plans submitted support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate decision-making by the Planning Commission. Findings checked "yes" may or may not be discussed in the staff report depending on the issues.		
CMC Section 17.68.040.A – Concept Phase Approval Findings	YES	NO
1. As conditioned, the project conforms with all zoning standards applicable to the site, or has received appropriate use permits or variances consistent with the Zoning Ordinance.	✓	
2. The project is consistent with the City’s design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project’s use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on-site and in the public right-of-way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple building forms, a simple roof plan and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	TBD	
5. The project is consistent with the City’s objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	TBD	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are set back a minimum of six feet from significant trees.	✓	
CMC Section 17.64.010.B - Coastal Development Permit Findings	YES	NO
1. Local Coastal Program Consistency: The project, as described in the application and accompanying materials, as modified by the conditions of approval, conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Recommendations/Draft Conditions		
No.		
1.	The applicant shall include the second-story front balcony in the floor area calculations.	

Lombardo (DS 18-066)

Shari Lasher <sharilasher@gmail.com>

Tue, Jun 5, 2018 at 4:25 PM

To: Marnie Waffle <mwaffle@ci.carmel.ca.us>, mwiener@ci.carmel.ca.usCc: mlasher@lasherauto.com

These are our comments for your report. Thank you!

Regarding the Lombardo Residence review:

As neighbors to the South West of the Lombardo Residence we are greatly concerned over the height of the proposed roof deck patio. On the current set of drawings it appears that the roof top deck will result in a direct view into the room interiors and courtyard of The Happy Landing Inn.

The Inn will be converted into a private residence beginning in November 2018. In part, this conversion is occurring due to significant construction projects being planned on two sides of the property.

We are hoping that we will not be forced to plant mature trees and/or erect a privacy fence just to maintain our existing level of privacy.

We are requesting additional review of the proposed upper deck to ensure privacy for both properties.

Please see additional email containing accompanying photographs.

Thank you,

Mark and Shari Lasher

Sent from my iPhone

Shari LaForest Lasher, PsyD

On Jun 5, 2018, at 3:20 PM, Mark Lasher <mlasher@lasherauto.com> wrote:

From: Marnie R. Waffle <mwaffle@ci.carmel.ca.us>

Sent: Monday, June 04, 2018 10:35 AM

To: mlasher@lasherauto.com

Cc: Marc Wiener <mwiener@ci.carmel.ca.us>; Marnie Waffle <mwaffle@ci.carmel.ca.us>

Subject: Lombardo (DS 18-066)

[Quoted text hidden]





REVISION	No.

LOMBARDO RESIDENCE

Lot 5 Block 54 Lincoln Street Carmel by the Sea, California CA

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

ARCHITECT

COVER SHEET
 JOB NAME: Lombardo Residence
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

DATE: 5/31/18
 SCALE: N.T.S.
 DRAWN: DM
 JOB NUMBER: 17.08

A-0.1
 151 SHEET OF

GENERAL NOTES

- CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL:** IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND THE ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL NOTICES/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2016 C.B.C.)
- CONSTRUCTION RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- JOB SITE SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION:** THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/ DAMAGES/LOSSES/AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP:** THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- EXISTING CONDITION:** CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS' CONDITION AND EXISTING AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- CONSTRUCTION NOTES:** ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES:** THIS PROJECT SHALL COMPLY WITH THE TITLE 24 AND 2016 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA GREEN BUILDING CODE (CIBC) AND CALIFORNIA TITLE 24 ENERGY CODE.

PROJECT DATA

ADDRESS: LOT 5 BLOCK 54 LINCOLN STREET
CARMEL BY THE SEA, CA 93921

PROJECT DESCRIPTION: CONSTRUCTION OF A NEW 2,040 S.F. S.F.D. WITH BASEMENT & ATTACHED GARAGE CONSIST OF: 384 S.F. BASEMENT, 476 S.F. MAIN FLOOR, 680 S.F. UPPER FLOOR, 524 S.F. ROOF DECK, 64 S.F. STAIRS TO ROOF DECK AND 556 S.F. OF HARDSCAPE.

LOT SIZE: 4,000.0 S.F.
 ZONING: RI
 A.P.N.: 010-212-020-000
 TYPE OF CONSTRUCTION: (V-B)

SETBACK

FRONT 15' MAX.
 REAR 15' MAX.
 SIDE 25% OF LOT WIDTH - 10' MAX.

BUILDING HEIGHT - 2ND STORY PLATE HT. - 18'
 MAX ROOF HT. - 24.0'

LOT AREA	4,000 S.F.
PROPOSED FLOOR AREA	
UPPER FLOOR AREA	678 S.F.
MAIN FLOOR AREA	878 S.F.
BASEMENT FLOOR AREA	384 S.F.
TOTAL	1,940 S.F.

PROJECT TEAM

OWNER: ANTHONY & SUSAN LOMBARDO
 226 OAK STREET
 SALINAS CALIFORNIA 93901
 PH: 831-751-2330

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
 157 GRAND AVE. SUITE 106
 PACIFIC GROVE, CA 93950
 PH: 831-372-0410
 CONTACT: LUYEN VU

SURVEYOR: LUCIDO SURVEYORS
 2 SAUCITO AVENUE
 DEL REY OAKS, CA 93940
 PH: 831-620-5032
 CONTACT: FRANK LUCIDO JR.

CIVIL: LANDSET ENGINEERS, INC.
 520-B CRAZY HORSE CANYON ROAD
 SALINAS, CA 93901
 PH: 831-448-6470
 CONTACT: GUY GIRAUDO

LANDSCAPE: ENVIRONMENTAL PLANNING & DESIGN, INC.
 LANDSCAPE ARCHITECTURE
 34 WILLOW STREET
 SALINAS, CALIFORNIA 93901
 PH: 831-596-6664
 CONTACT: MARION WEAVER

ARBORIST: URBAN FORESTER
 1231 MILES AVENUE
 PACIFIC GROVE, CA 93940
 PH: 831-373-7086
 CONTACT: FRANK ONO

SHEET INDEX

ARCHITECTURAL

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A-1.2	PROPOSED SITE SECTION
A-2.0	BASEMENT PLAN
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A-2.2	UPPER FLOOR PLAN
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A-7.1	MATERIAL COLOR SAMPLE

TOPO SURVEY

1	TOPOGRAPHIC SITE SURVEY
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CIVIL

C1	COVER SHEET
C2	TOPOGRAPHIC MAP / EXISTING CONDITION
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C4	GRADING & DRAINAGE PLAN - BASEMENT FLOOR
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C6	EROSION & SEDIMENT CONTROL PLAN
C7	STANDARD PLANS & CONSTRUCTION DETAILS

LANDSCAPE

L1.0	PLANTING PLAN
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OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL 'COPYRIGHT' PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER. HEREINAFTER REFERRED TO AS 'THE ARCHITECT' WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.
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- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

TREE REMOVAL

* ONE (1) 9" OAK TREE TO BE REMOVED

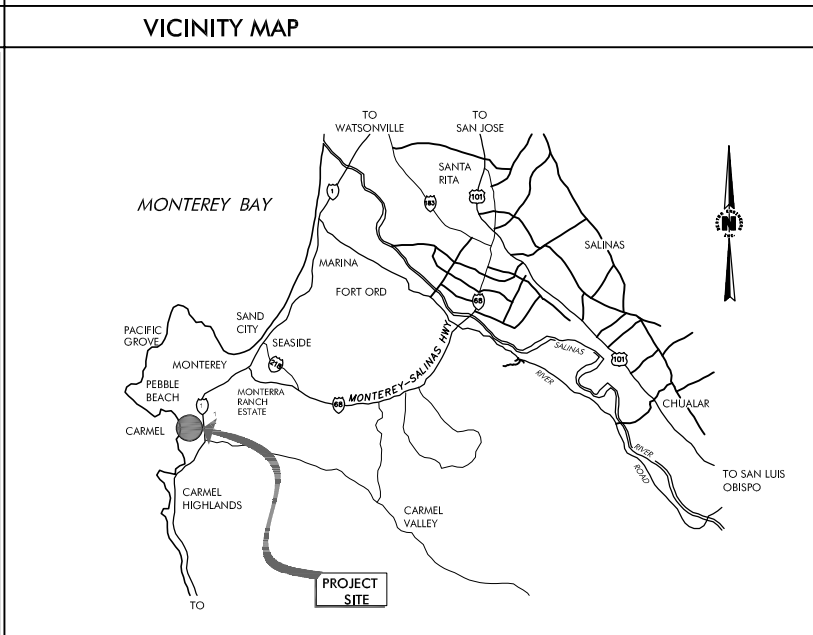
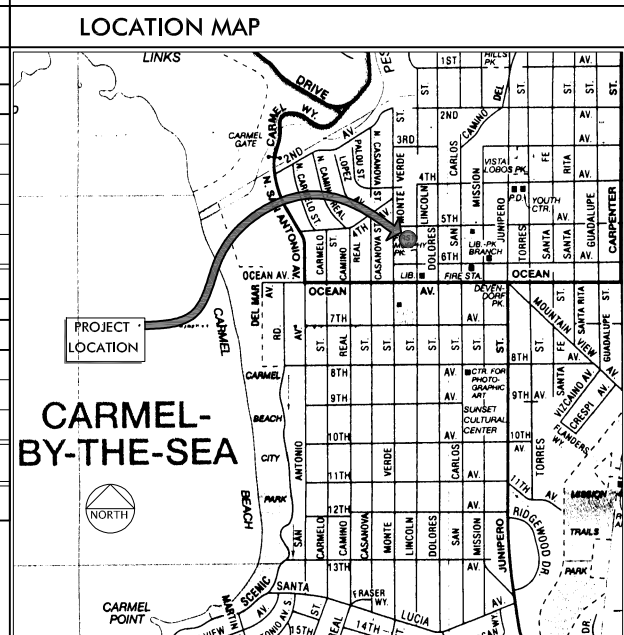
GRADING

CUT: APPROX. 625 C.Y.
 FILL: 0 C.Y.
 SURPLUS: APPROX. 625 C.Y.

SITE COVERAGE

ALLOWED	556.0 S.F.
PROPOSED IMPERVIOUS COVERAGE	
REAR PATIO, FIRE PLACE & COLUMN	1600 S.F.
OUTDOOR BATH & WALLS	300 S.F.
SITE WALLS & CURBS	680 S.F.
SITE STAIRS & LANDING	280 S.F.
STEPPING STONES	320 S.F.
TOTAL IMPERVIOUS COVERAGE	3180 S.F.
PROPOSED PERVIOUS COVERAGE	
DRIVEWAY	840 S.F.
WALKWAYS	1340 S.F.
TRASH ENCLOSURE	200 S.F.
TOTAL IMPERVIOUS COVERAGE	2800 S.F.
TOTAL PROPOSED SITE COVERAGE	556.0 S.F.

ROOF DECK & STAIRS	
ROOF DECK	322.0 S.F.
STAIRS TO ROOF DECK	60.0 S.F.

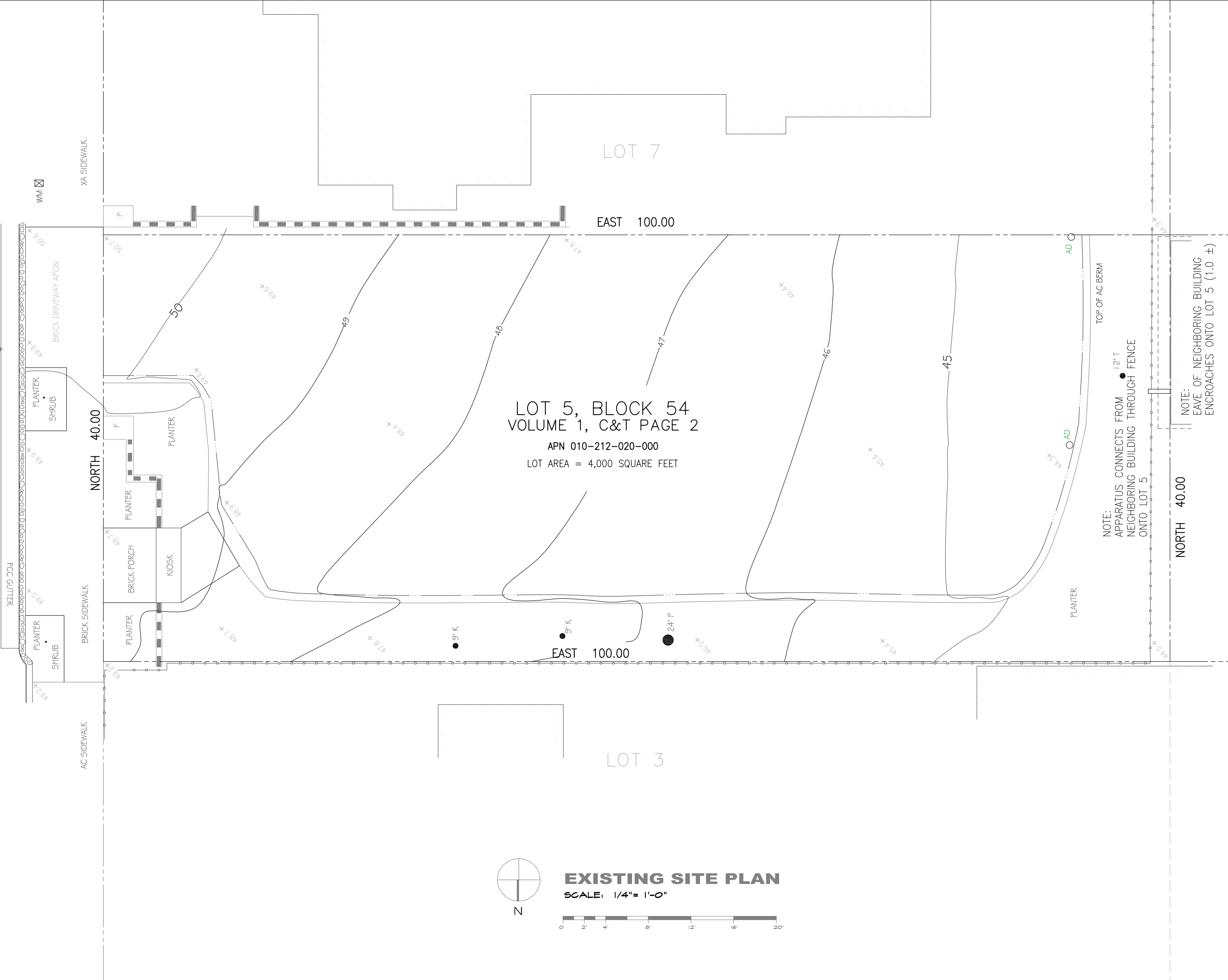


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LINCOLN STREET (A 60 FOOT WIDE CITY STREET)

PROJECT BENCHMARK
MAG NAIL
ELEV=50.0



EXISTING SITE PLAN

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

EXISTING SITE PLAN
 JOB NAME:
Lombardo Residence
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

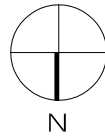
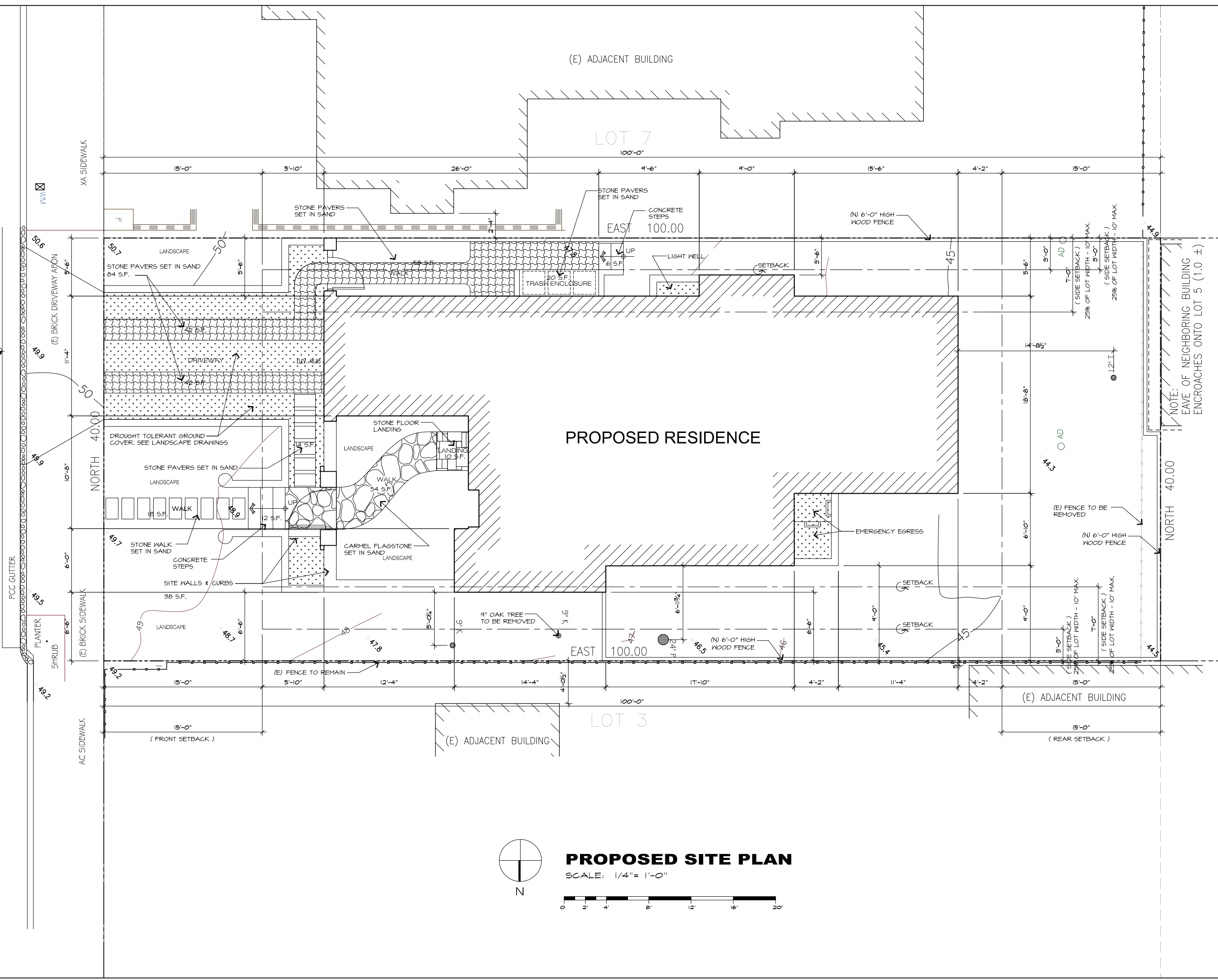
DATE: **5/9/18**
 SCALE: **1/4"=1'-0"**
 DRAWN: **CAD**
 JOB NUMBER: **17.08**

A-1.0
 152 SHEET OF

LINCOLN WIDE CITY STREET

(A 60 FOOT WIDE CITY STREET)

PROJECT BENCHMARK
MAG NAIL
ELEV=50.0



PROPOSED SITE PLAN

SCALE: 1/4" = 1'-0"



NOTE:
EAVE OF NEIGHBORING BUILDING
ENCROACHES ONTO LOT 5 (1.0 ±)

REVISION	No.

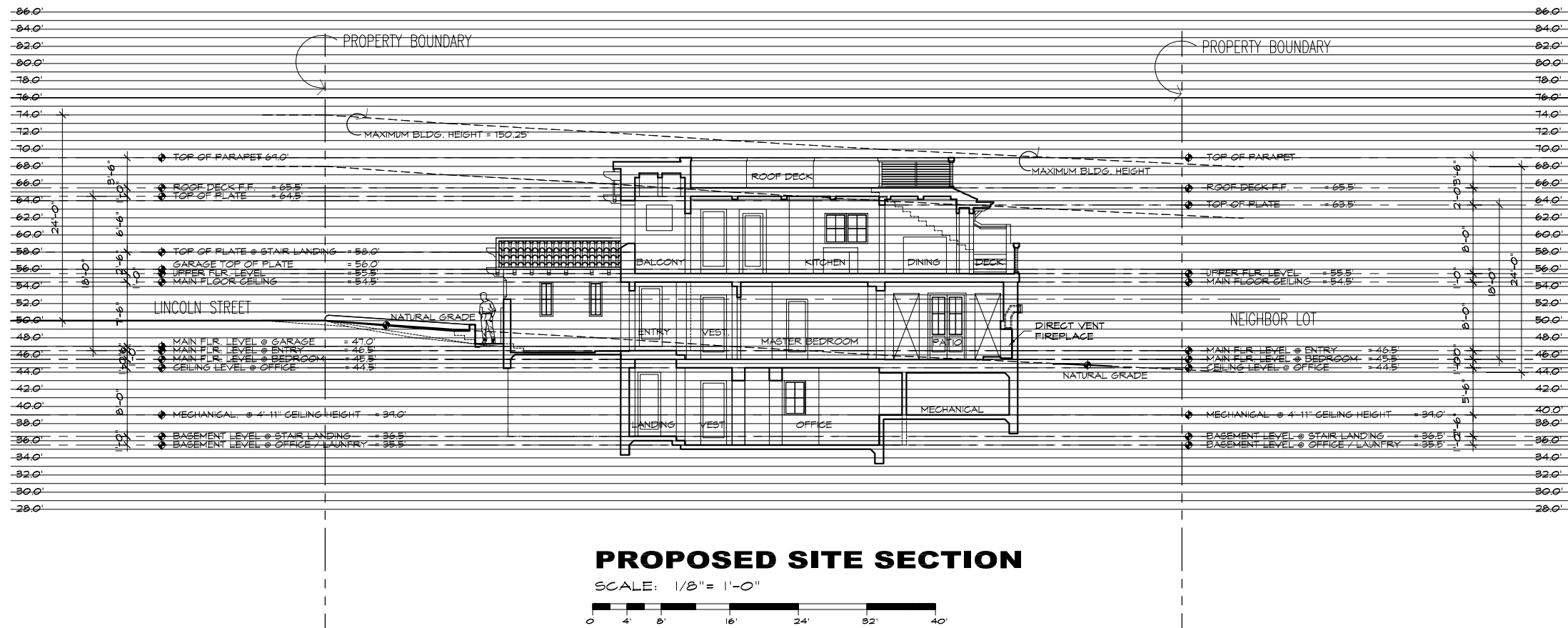
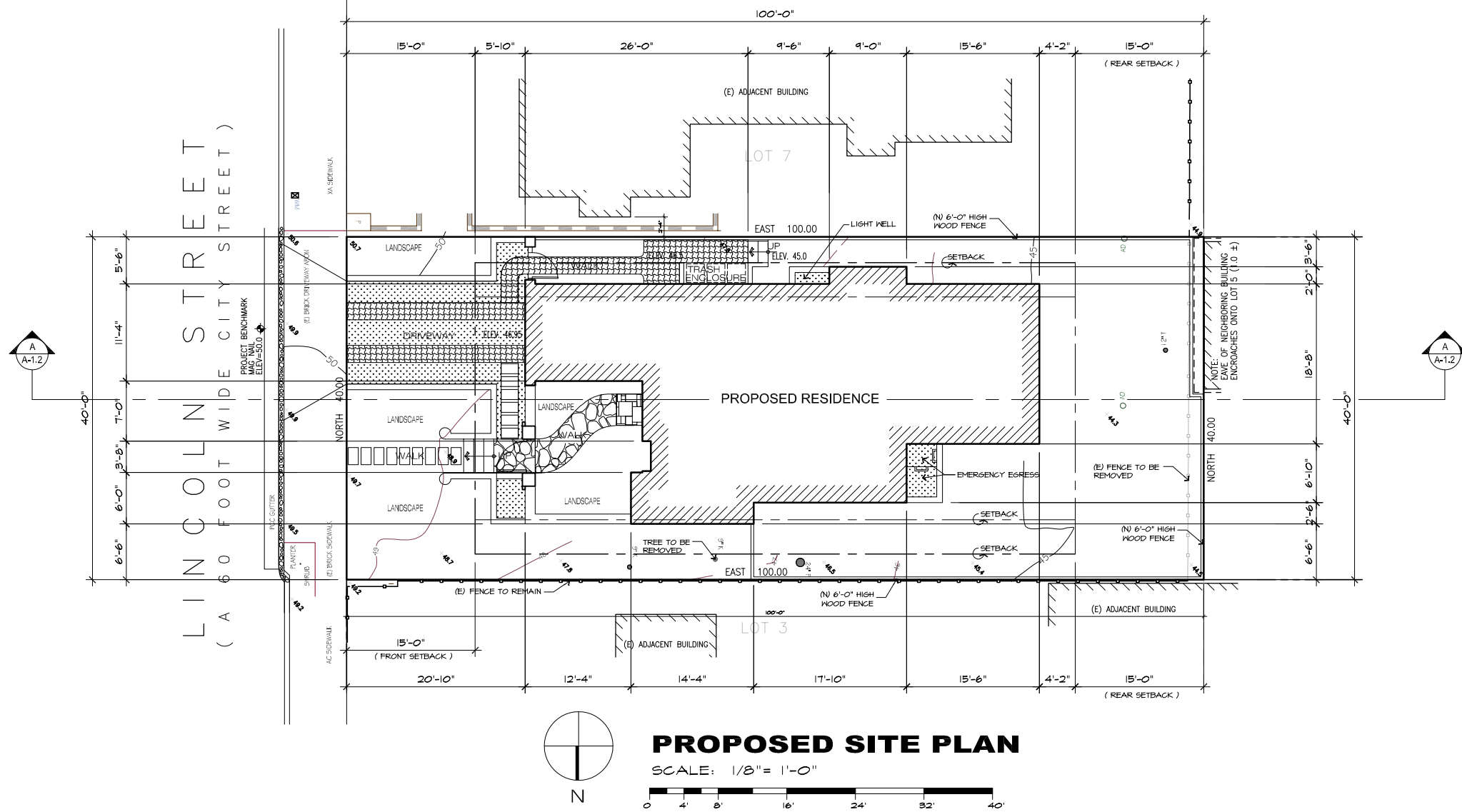
ARCHITECT	ERIC MILLER ARCHITECTS, INC.
ARCHITECT	211 HOFFMAN AVENUE MONTEREY, CA 93940
ARCHITECT	PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

PROPOSED SITE PLAN
JOB NAME: Lombardo Residence
JOB NAME: Lot 5 Block 54 Lincoln Street
JOB NAME: Carmel, By-The-Sea, CA
JOB NAME: APN: 010-212-020-000

DATE:	5/31/18
SCALE:	1/4"=1'-0"
DRAWN:	DM
JOB NUMBER:	17.08

A-1.1
153 SHEET OF

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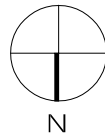
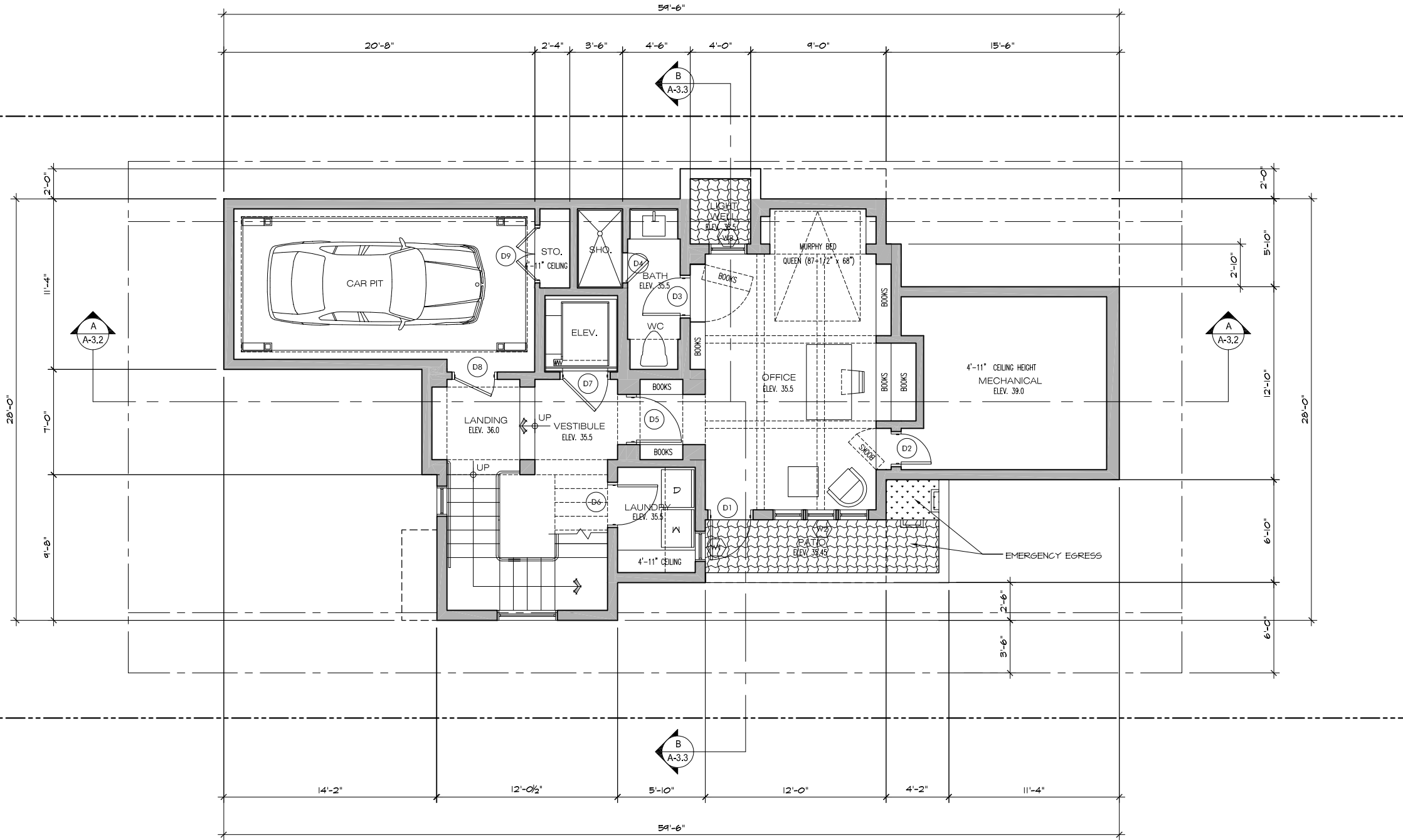
CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

PROPOSED SITE SECTION

JOB NAME:
Lombardo Residence
Lot 5 Block 54 Lincoln Street
Carmel, By-The-Sea, CA
APN: 010-212-020-000

DATE: 5/31/18
SCALE: 1/8" = 1'-0"
DRAWN: DM
JOB NUMBER: 17.08



BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISION	No.

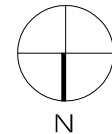
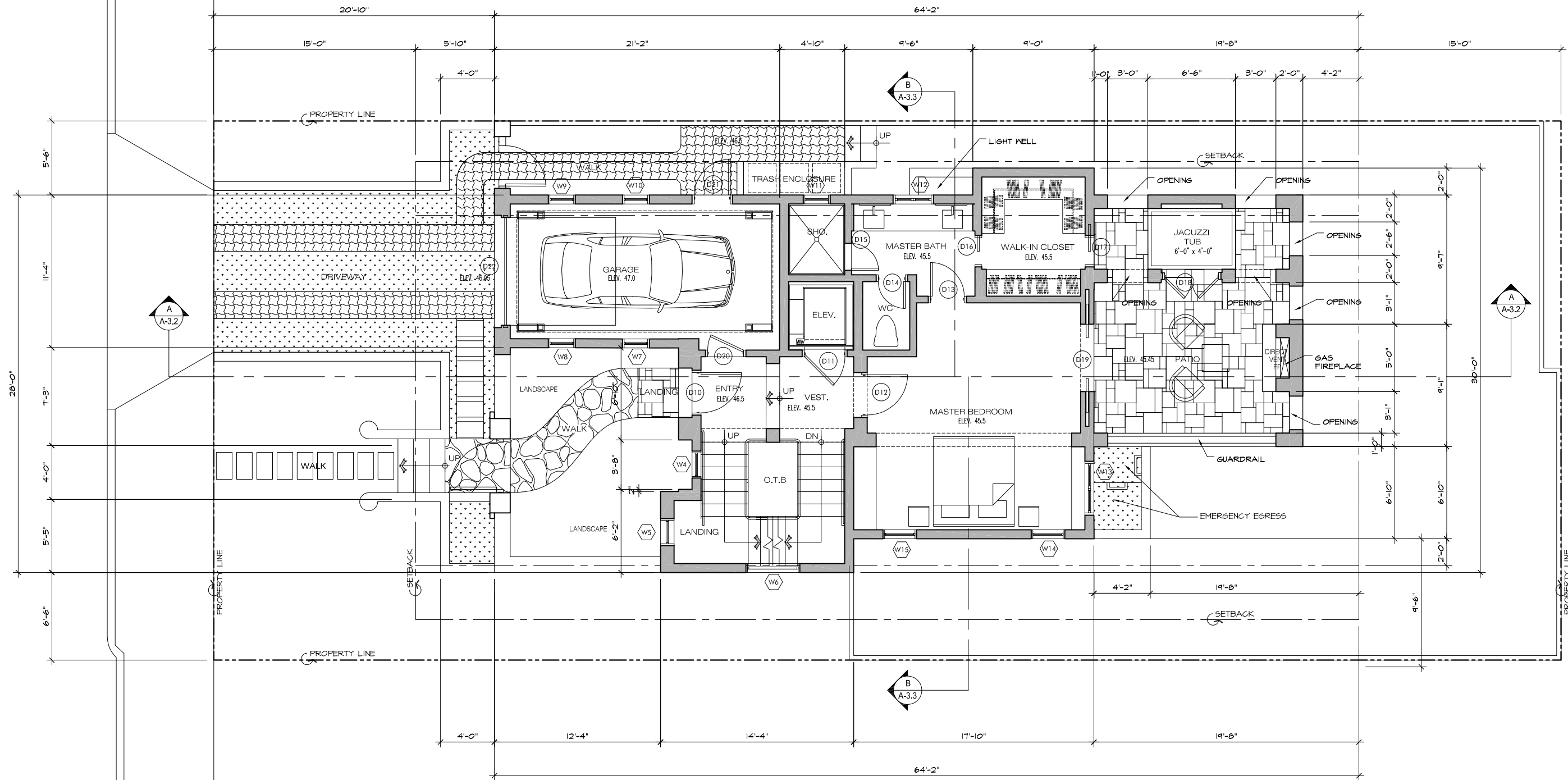
CONSULTANT:

ARCHITECT
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 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

BASEMENT FLOOR PLAN
 JOB NAME: Lombardo Residence
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

DATE: 5/31/18
 SCALE: 1/4" = 1'-0"
 DRAWN: DM
 JOB NUMBER: 17.08



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

MAIN FLOOR PLAN

JOB NAME: **Lombardo Residence**
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

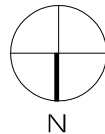
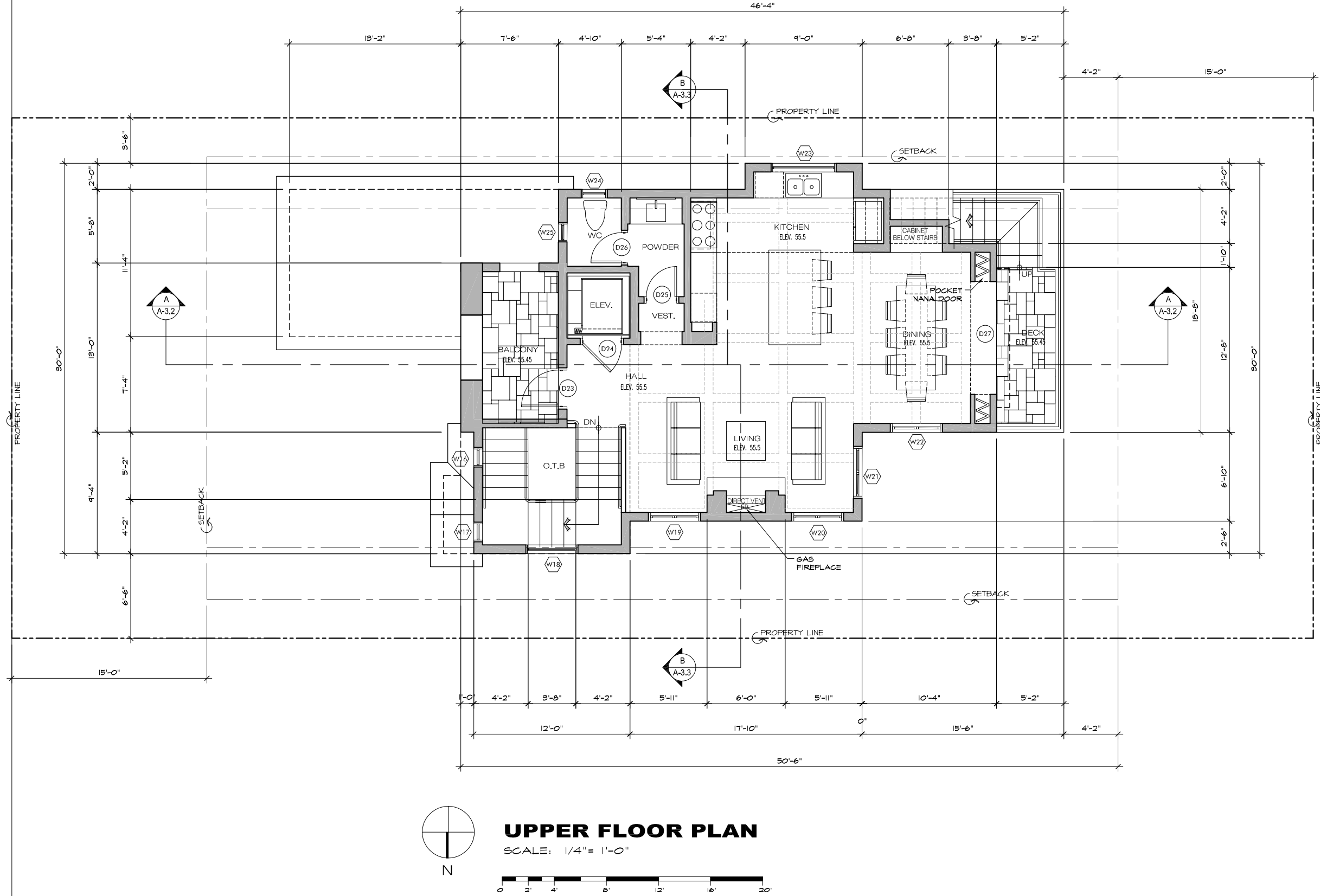
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JOB NUMBER: 17.08

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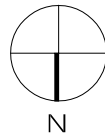
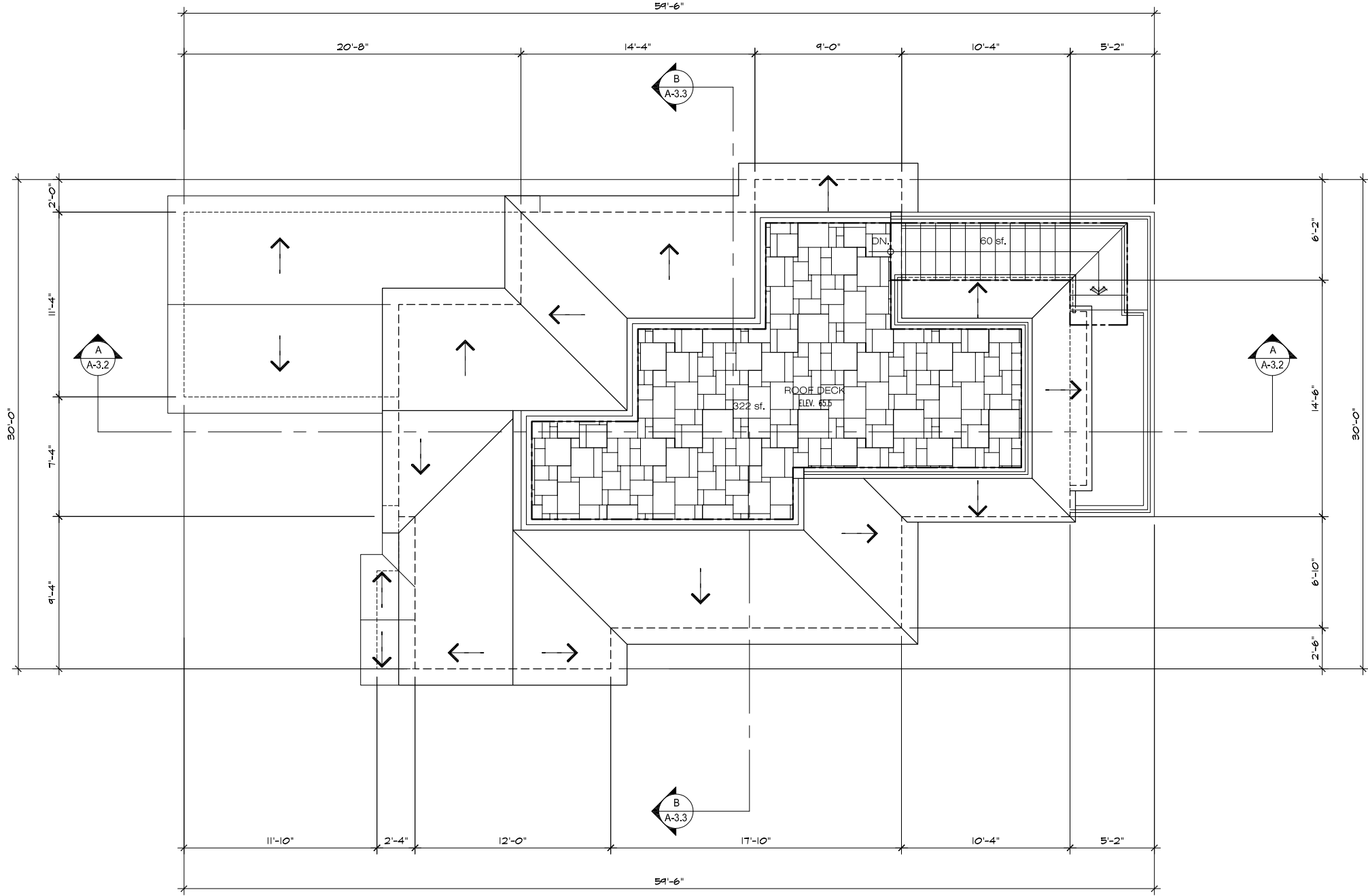
REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

UPPER FLOOR PLAN
 JOB NAME:
Lombardo Residence
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

DATE:	5/31/18
SCALE:	1/4"=1'-0"
DRAWN:	DM
JOB NUMBER:	17.08



ROOF PLAN

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ROOF PLAN
 JOB NAME:
Lombardo Residence
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

DATE: 5/31/18

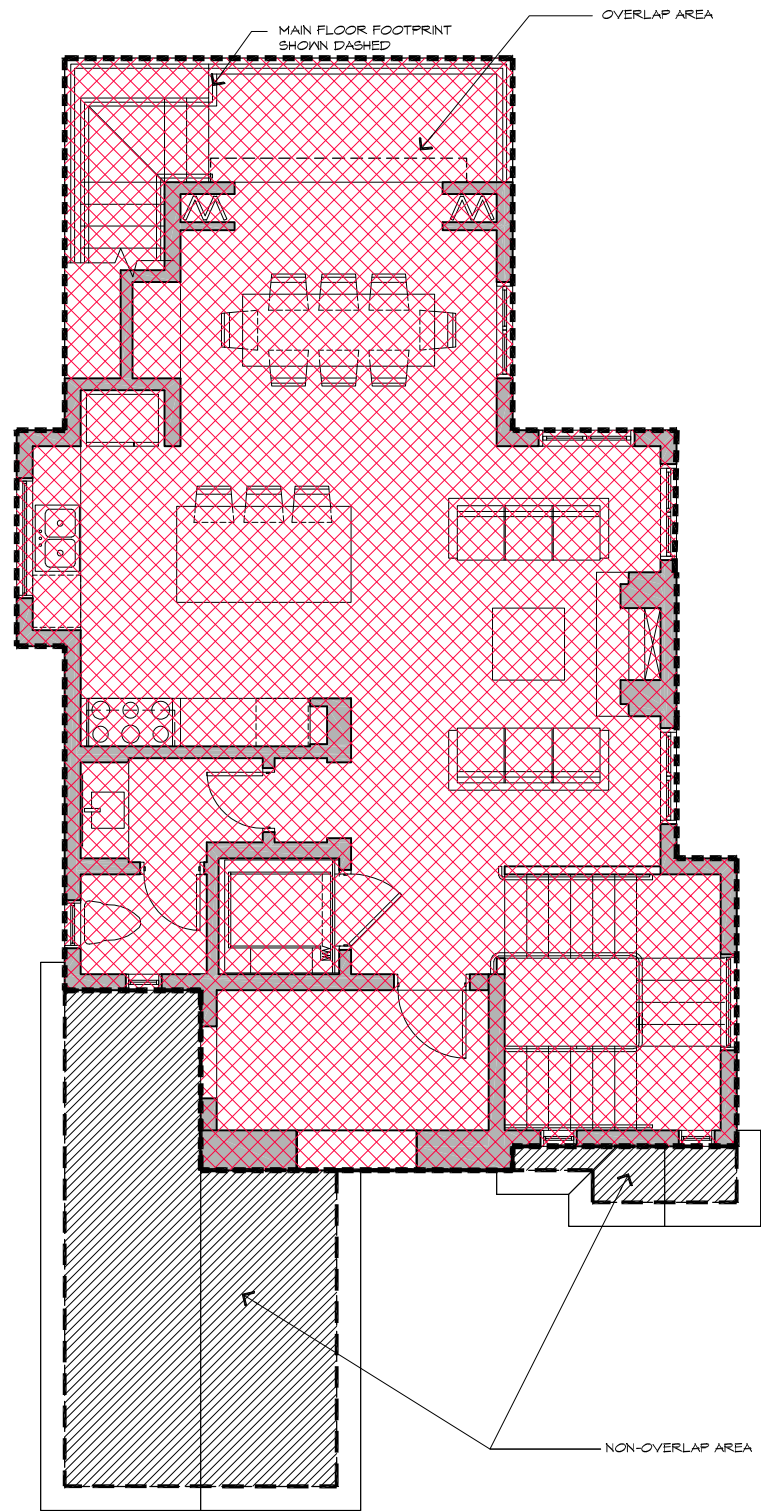
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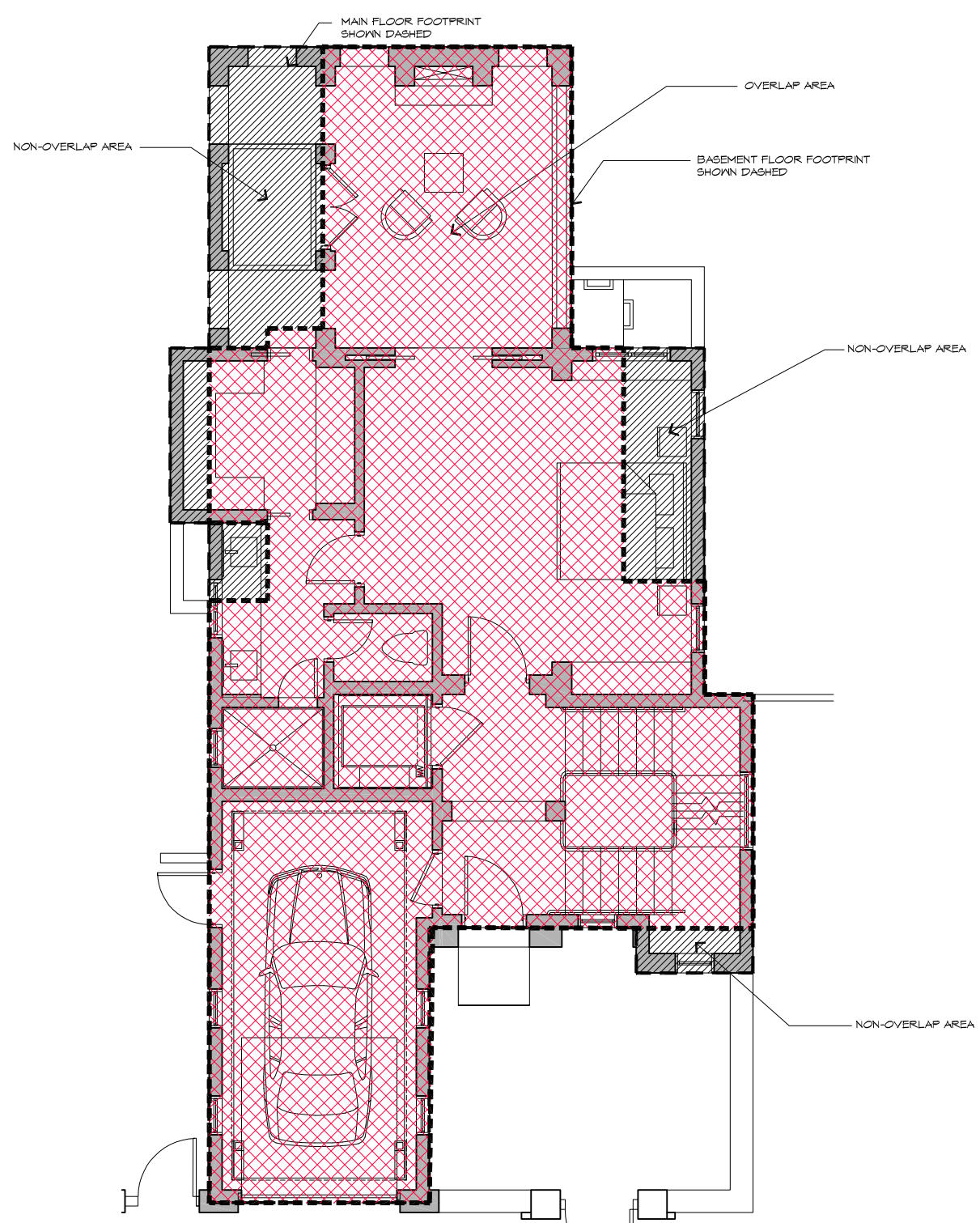
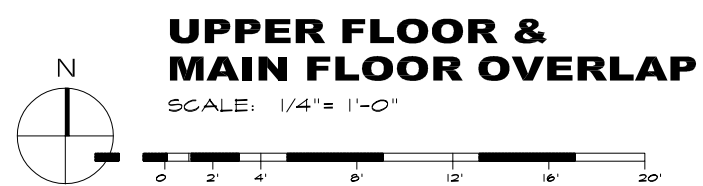
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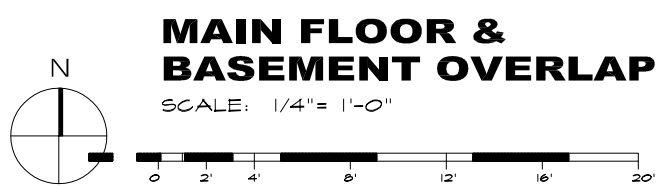
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OVERLAPPING FLOOR TABLE	
OVERLAPPING FLOOR AREA	= 1,074 SF.
NON-OVERLAPPING FLOOR AREA	= 208 SF.



OVERLAPPING FLOOR TABLE	
OVERLAPPING FLOOR AREA	= 1,092 SF.
NON-OVERLAPPING FLOOR AREA	= 184 SF.



LEGEND	
	OVERLAPPING FLOOR AREA
	NON-OVERLAPPING FLOOR AREA

REVISION	No.

CONSULTANT:

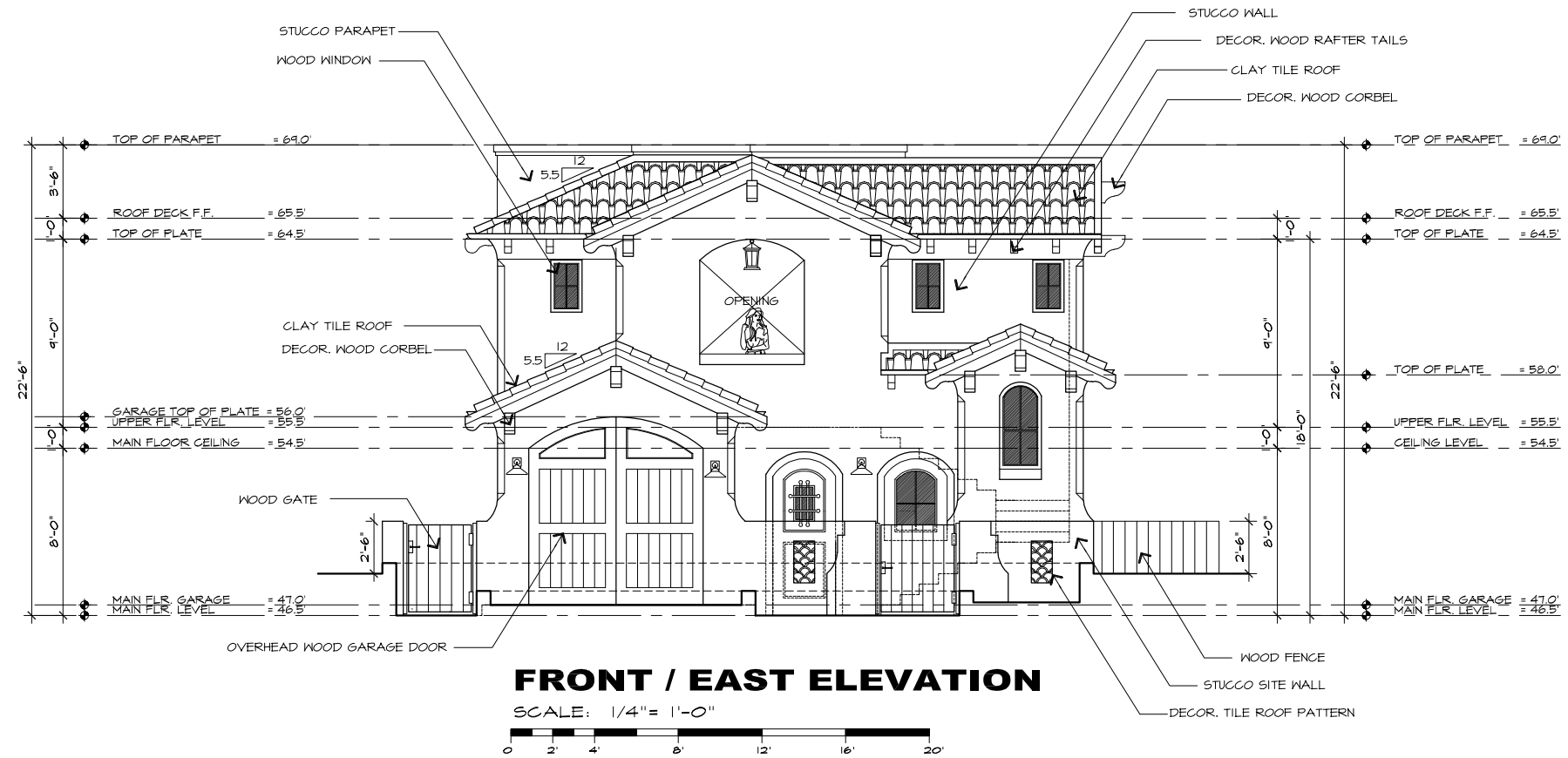
ARCHITECT
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 211 HOFFMAN AVENUE MONTEREY, CA 93940
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FLOOR AREA OVERLAP & DO NOT OVERLAP

JOB NAME:
Lombardo Residence
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

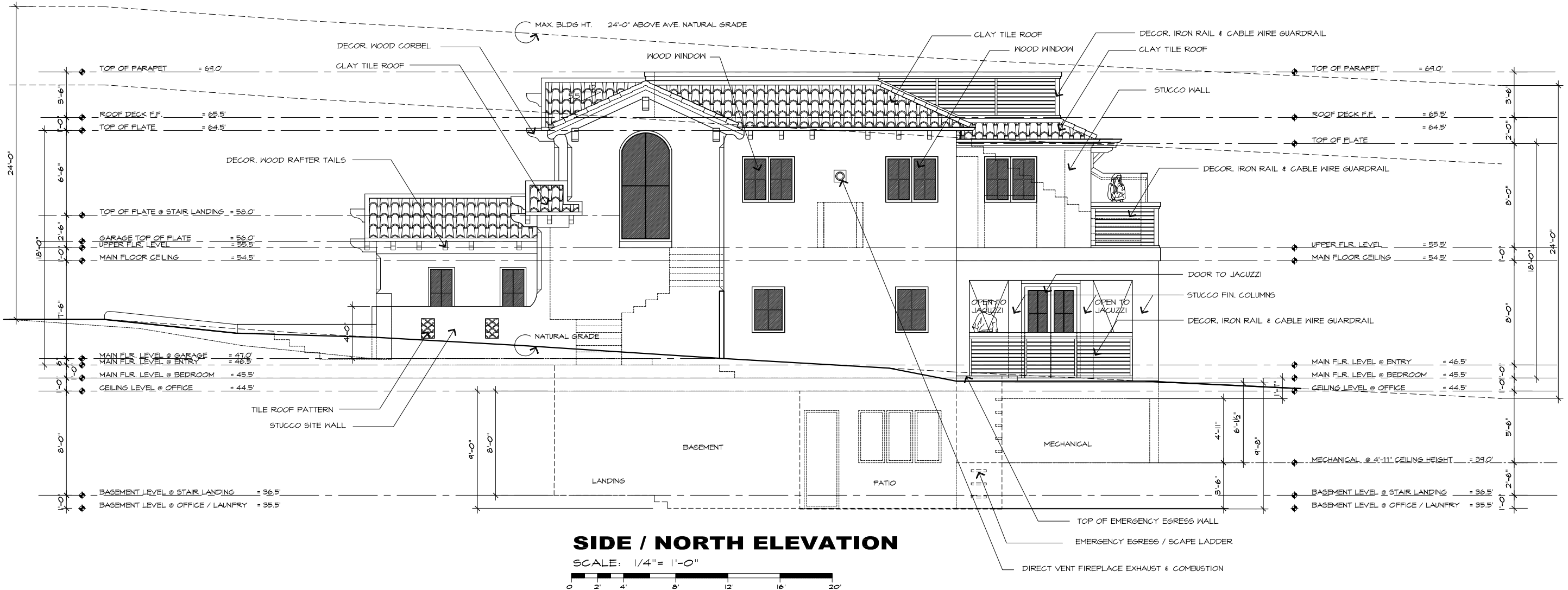
DATE: 5/31/18
 SCALE: 1/4"=1'-0"
 DRAWN: DM
 JOB NUMBER: 17.08

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FRONT / EAST ELEVATION

SCALE: 1/4" = 1'-0"
0 2' 4' 8' 12' 16' 20'



SIDE / NORTH ELEVATION

SCALE: 1/4" = 1'-0"
0 2' 4' 8' 12' 16' 20'

REVISION	No.

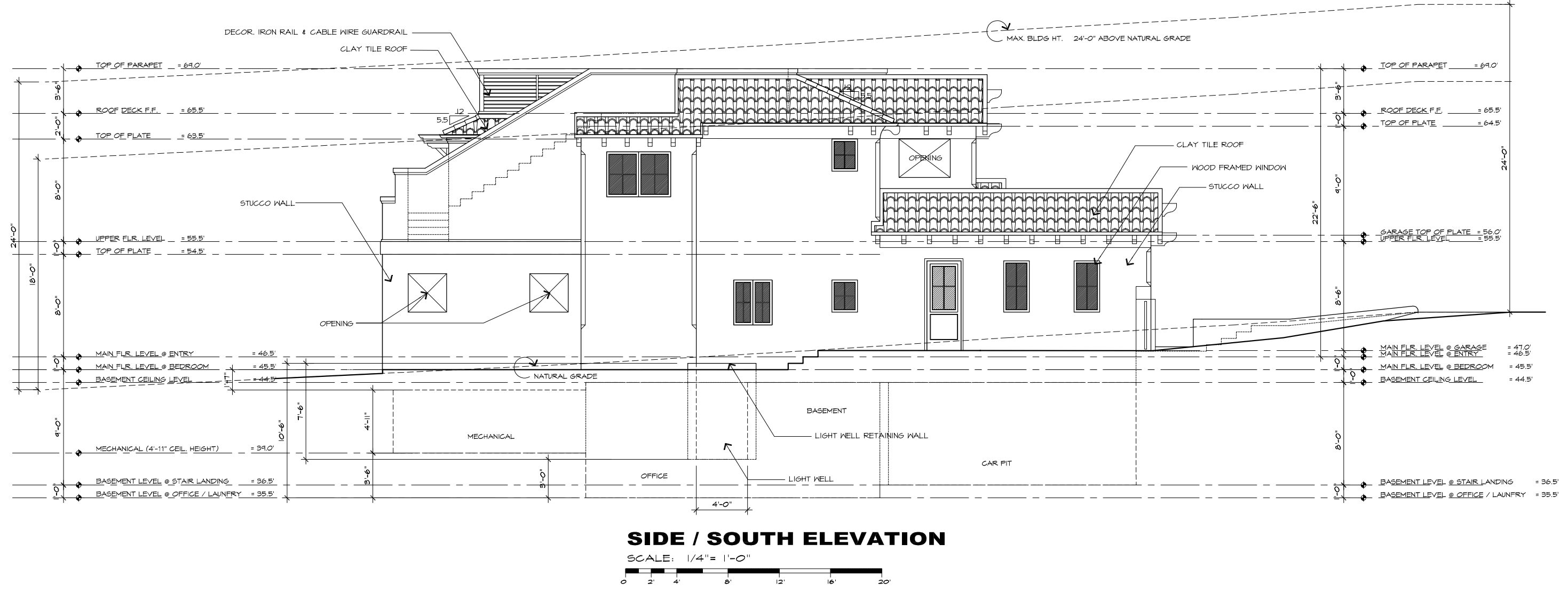
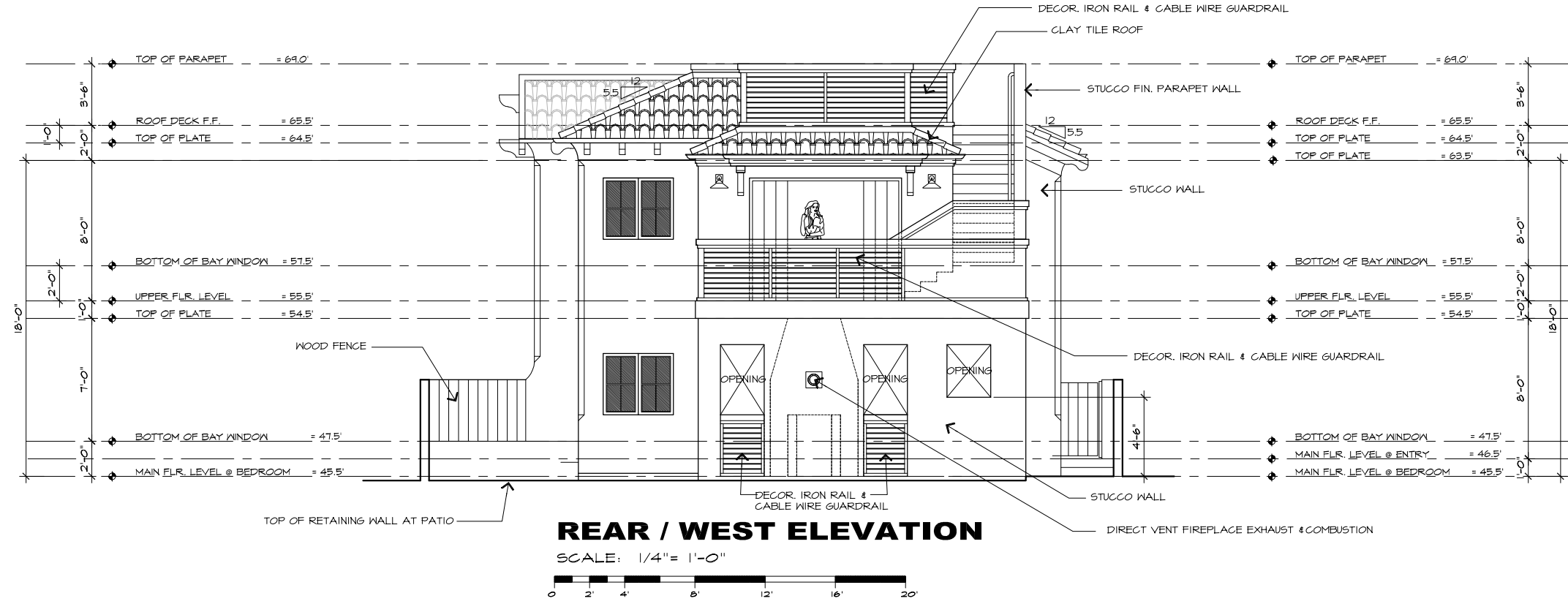
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EXTERIOR ELEVATIONS

JOB NAME:
Lombardo Residence
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

DATE: 5/31/18
 SCALE: 1/4"=1'-0"
 DRAWN: DM
 JOB NUMBER: 17.08



REVISION	No.

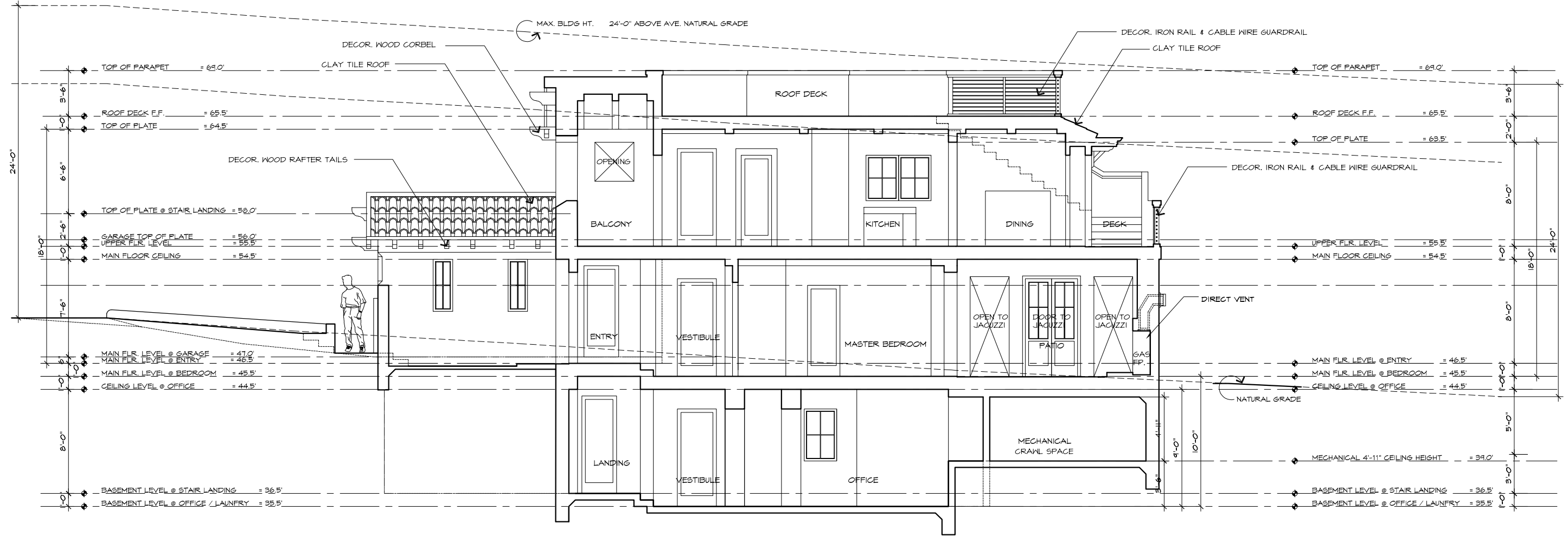
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ARCHITECT

EXTERIOR ELEVATIONS
JOB NAME: **Lombardo Residence**
Lot 5 Block 54 Lincoln Street
Carmel, By-The-Sea, CA
APN: 010-212-020-000

DATE: 5/31/18
SCALE: 1/4" = 1'-0"
DRAWN: DM
JOB NUMBER: 17.08



LONGITUDINAL SECTION 'A' - 'A'

SCALE: 1/4" = 1'-0"



REVISION	No.

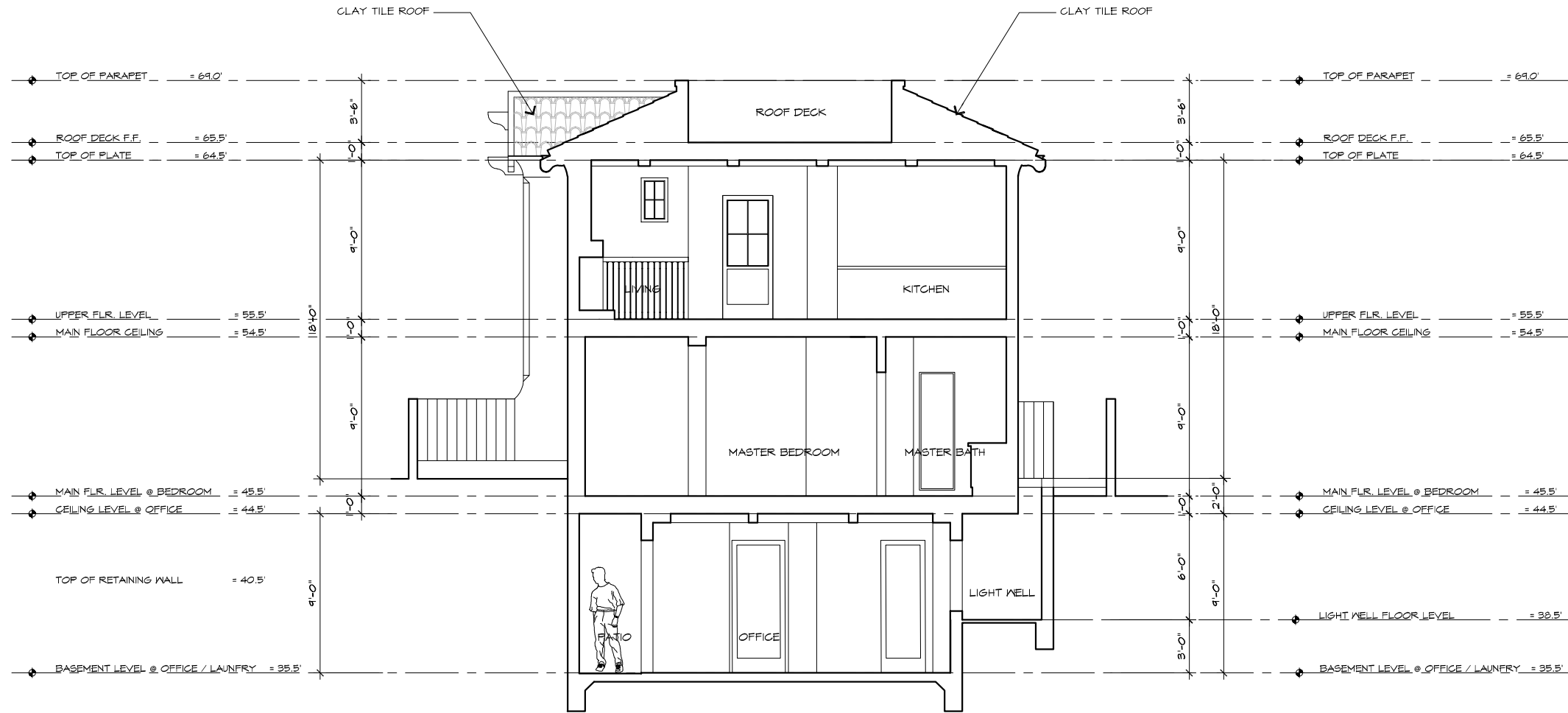
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LONGITUDINAL SECTION 'A' - 'A'
 JOB NAME: **Lombardo Residence**
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

DATE: 5/31/18
 SCALE: 1/4"=1'-0"
 DRAWN: DM
 JOB NUMBER: 17.08

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CROSS SECTION 'B' - 'B'

SCALE: 1/4" = 1'-0"



REVISION	No.

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CROSS SECTION 'B' - 'B'

JOB NAME:
Lombardo Residence
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

DATE: 5/31/18

SCALE: 1/4" = 1'-0"

DRAWN: DM

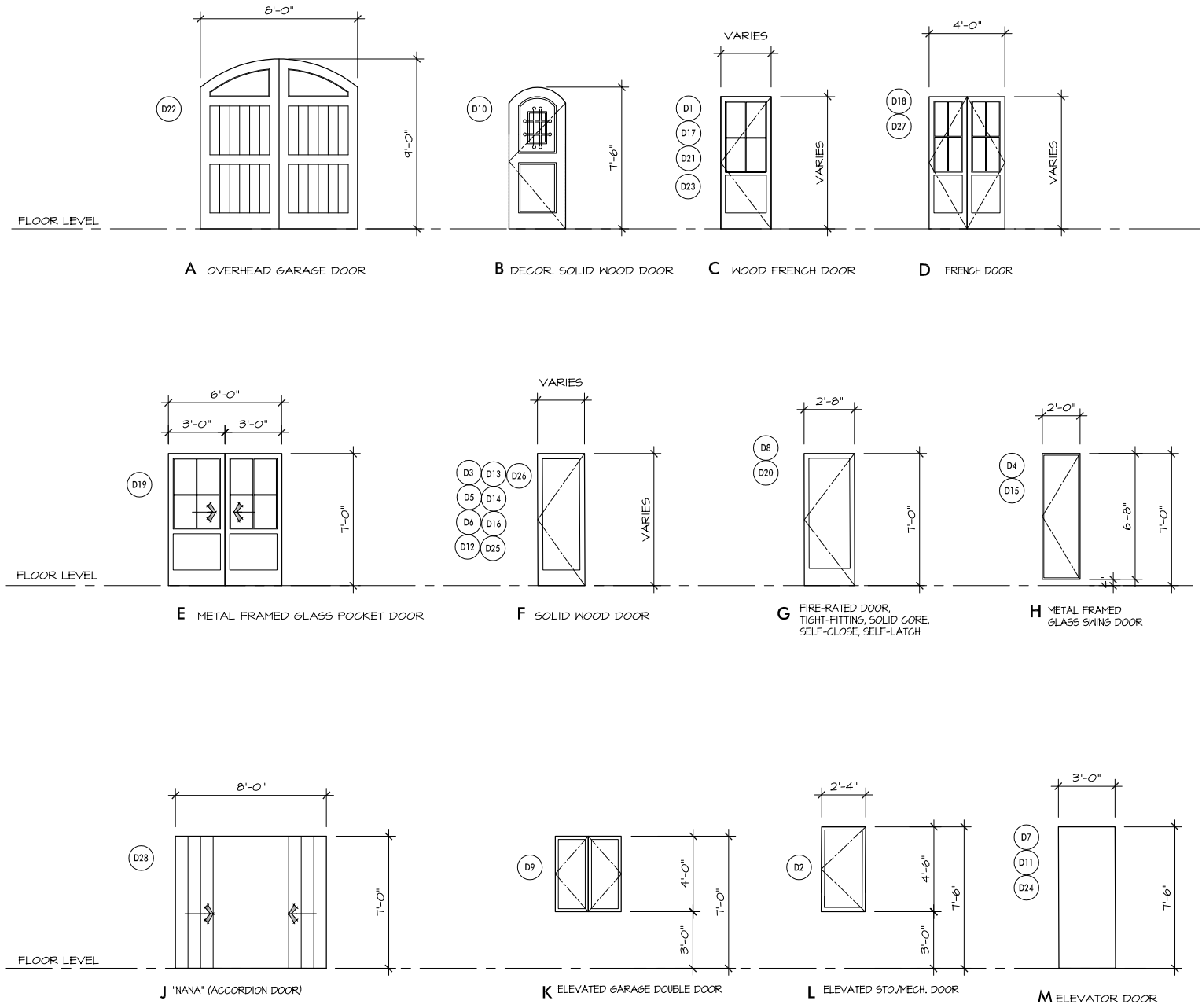
JOB NUMBER: 17.08

A-3.3
 163 SHEET OF

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DOOR SCHEDULE										
DOOR NO.	TYPE	SIZE W x H	LOCATION	THKNESS	DOOR MATL.	FRAME MATL.	HEAD DETAIL	JAMB DETAIL	THRSHD DETAIL	REMARKS
Basement										
D1	C	2'-8" x 7'-6"	OFFICE	1-3/4"	WOOD	WOOD	-	-	-	WOOD FRENCH DOOR
D2	L	2'-4" x 4'-6"	STORAGE and MECH'L.	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D3	F	2'-6" x 7'-6"	BATH	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D4	H	2'-0" x 6'-8"	SHOWER	1-3/4"	WOOD	WOOD	-	-	-	METAL FRAMED FROSTED GLASS SHOWER DOOR
D5	F	3'-0" x 7'-6"	VESTIBULE	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D6	F	2'-6" x 7'-6"	VEST / LAUNDRY	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D7	M	3'-0" x 7'-6"	ELEVATOR				-	-	-	(Per Manufacturer's)
D8	G	2'-8" x 7'-0"	CARPIT	1-3/4"	WOOD	WOOD	-	-	-	FIRE-RATED DOOR, TIGHT-FITTING, SOLID CORE, SELF-CLOSE, SELF-LATCH
D9	K	PR 1'-9" x 4'-0"	STORAGE @ CARPIT	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
Main Floor										
D10	B	3'-0" x 7'-6"	ENTRY	1-3/4"	WOOD	WOOD	-	-	-	DECOR. SOLID WOOD DOOR (ARCH TOP)
D11	M	3'-0" x 7'-6"	ELEVATOR				-	-	-	(Per Manufacturer's)
D12	F	2'-8" x 7'-0"	MASTER BEDROOM	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D13	F	2'-6" x 7'-0"	MASTER BATH	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D14	F	2'-0" x 7'-0"	TOILET	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D15	H	2'-0" x 7'-0"	SHOWER		GLASS	METAL	-	-	-	METAL FRAMED FROSTED GLASS SHOWER DOOR
D16	F	2'-4" x 7'-0"	WALK-IN-CLOSET	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D17	C	2'-4" x 7'-0"	WALK-IN-CLOSET	1-3/4"	GLASS	WOOD	-	-	-	WOOD FRAMED TEMPERED GLASS DOOR
D18	D	PR 2'-0" x 7'-0"	JACUZZI TUB		GLASS	METAL	-	-	-	METAL FRAMED TEMPERED GLASS FRENCH DOOR
D19	E	PR 3'-0" x 7'-0"	MASTER BEDRM. to PATIO		GLASS	WOOD	-	-	-	METAL FRAMED TEMPERED GLASS POCKET DOOR
D20	G	2'-8" x 7'-0"	ENTRY to GARAGE	1-3/4"	WOOD	WOOD	-	-	-	FIRE-RATED DOOR, TIGHT-FITTING, SOLID CORE, SELF-CLOSE, SELF-LATCH
D21	C	2'-8" x 7'-0"	GARAGE	1-3/4"	GLASS	WOOD	-	-	-	SOLID WOOD W/ TEMPERED GLASS DOOR
D22	A	8'-0" x 9'-0"	GARAGE	1-3/4"	WOOD	WOOD	-	-	-	OVERHEAD GARAGE WOOD DOOR (ARCH TOP)
Upper Floor										
D23	C	2'-10" x 7'-0"	HALL TO BALCONY	1-3/4"	GLASS	WOOD	-	-	-	SOLID WOOD TEMPERED GLASS DOOR
D24	M	3'-0" x 7'-6"	ELEVATOR				-	-	-	(Per Manufacturer's)
D25	F	2'-4" x 7'-0"	PONDER	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D26	F	2'-4" x 7'-0"	TOILET	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD SWING DOOR
D27	J	8'-0" x 7'-0"	DINING		WOOD	WOOD	-	-	-	NANA DOOR

DOOR TYPES



DOOR NOTES:

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.:

- SHALL BE 2'-0" x 6'-8" MINIMUM.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- PROVIDE (2) PAIR- 4-1/2" x 4-1/2" BUTTS ON ALL DOORS.
- ALL HARDWARE TO HAVE USIOB FINISH (OIL RUBBED BRONZE).

—THE ENTRY DOOR HARDWARE TO BE USE SHALL BE REMINGTON STYLE (DARK BRONZE) BY EMTEK PRODUCTS INC.

—ALL FRENCH DOORS AND EXTERIOR DOORS HARDWARE TO BE USE SHALL BE CODY LEVER STYLE #5 PLATE (DARK BRONZE) BY EMTEK PRODUCTS INC.

—ALL INTERIOR PASSAGE DOORS TO BE USE SHALL BE BRONZE E66 KNOB (DARK BRONZE) BY EMTEK PRODUCTS INC.

- ALL FIRE RATED DOORS SHALL HAVE PEMKO 588D (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.

- ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.

- SHALL BE SOLID CORE.

- ALL DOOR GLAZING SHALL BE DOUBLE PANE AND TEMPERED.

- ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC, SECTION 2407.

- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE DOUBLE PANE INSULATING GLASS WITH A MINIMUM OF ONE TEMPERED PANE, AND HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 251.

- REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.

- REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.

- EXTERIOR DOORS SHALL BE APPROVED NON COMBUSTIBLE CONSTRUCTION OR IGNITION - RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/4" THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1/2" THICK, SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES.

- ALL GLAZING IN DOORS SHALL BE DOUBLE PANE AND TEMPERED GLASS.

REVISION	No.

CONSULTANT:

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ARCHITECT

DOOR SCHEDULE and NOTES

JOB NAME:
Lombardo Residence
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

DATE: 5/31/18

SCALE: AS NOTED

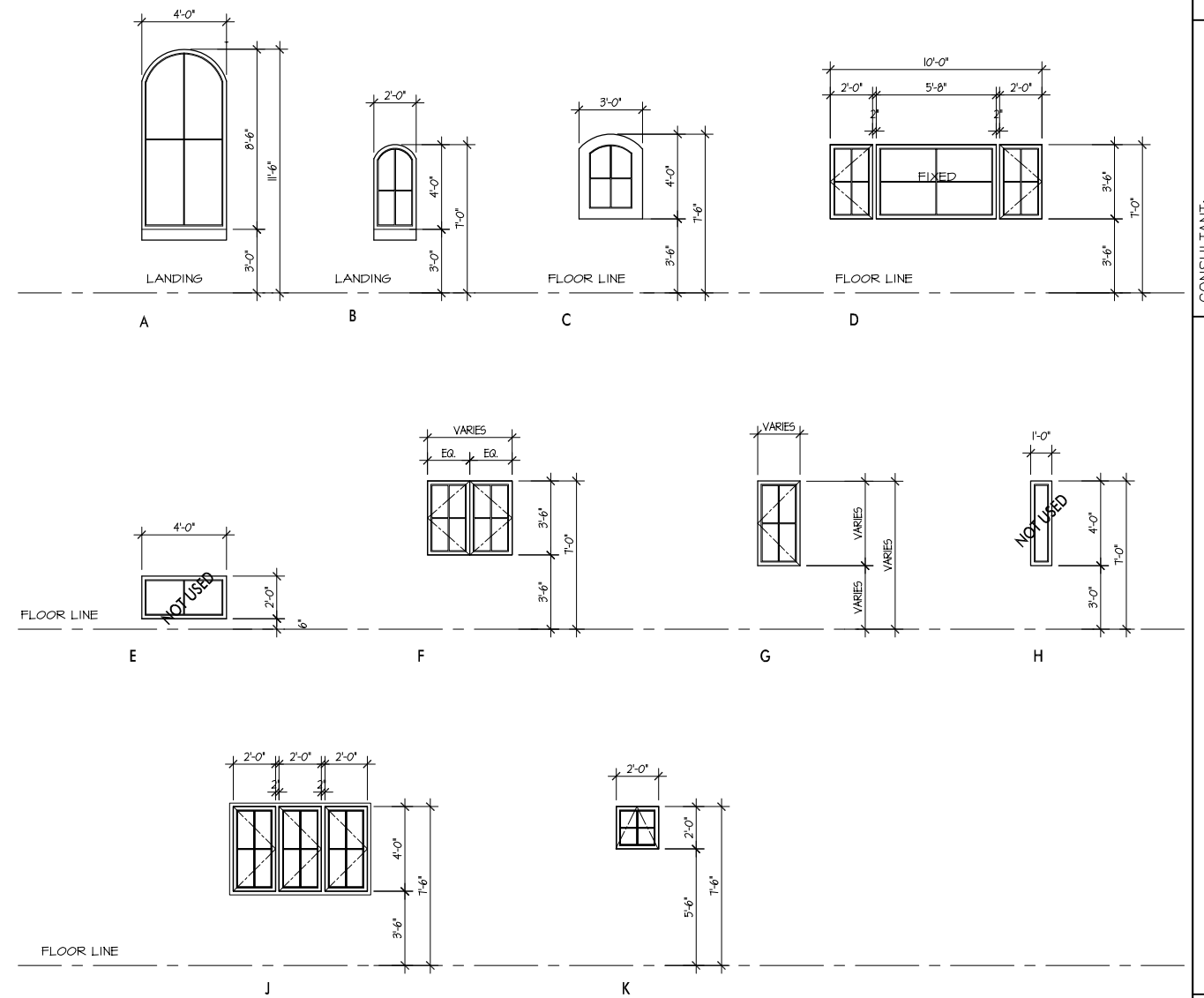
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WINDOW SCHEDULE														
WDW. NO.	TYPE	SIZE		LOCATION		GLAZING	FRAME MAT.	STYLE	WINDOW DETAILS			HEAD HEIGHT ABOVE F.F.	SILL HEIGHT ABOVE F.F.	REMARKS
		WIDTH	HEIGHT	ROOM NUMBER	ROOM NAME				HEAD	JAMB	SILL			
Basement														
W1	K	2'-0"	2'-0"		LAUNDRY	DOUBLE	WOOD	TOP HUNG	-	-	-	7'-6"	5'-0"	TEMPERED GLASS
W2	J	3'0" PR	2'-0"	4'-0"	OFFICE	DOUBLE	WOOD	TOP HUNG	-	-	-	7'-6"	3'-6"	TEMPERED GLASS
W3	G	2'-6"	4'-0"		OFFICE	DOUBLE	WOOD	CASEMENT	-	-	-	7'-6"	3'-6"	TEMPERED GLASS
Main Floor														
W4	C	3'-0"	4'-0"		STAIRWELL	DOUBLE	WOOD	FIXED	-	-	-	7'-6"	3'-6"	TEMPERED GLASS
W5	B	2'-0"	4'-0"		STAIRWELL LANDING	DOUBLE	WOOD	FIXED	-	-	-	7'-0"	3'-0"	TEMPERED GLASS
W6					NOT USED									
W7	G	2'-0"	4'-0"		GARAGE	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-0"	
W8	G	2'-0"	4'-0"		GARAGE	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-0"	
W9	G	2'-0"	4'-0"		GARAGE	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-0"	
W10	G	2'-0"	4'-0"		GARAGE	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-0"	
W11	G	2'-0"	2'-6"		MASTER BATHROOM	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	4'-6"	TEMPERED GLASS
W12	F	PR 1'-6"	3'-6"		MASTER BEDROOM	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W13	F	PR 2'-0"	3'-6"		MASTER BEDROOM	DOUBLE	WOOD	FIXED	-	-	-	7'-0"	3'-6"	
W14	G	2'-6"	3'-6"		MASTER BEDROOM	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W15	G	2'-6"	3'-6"		MASTER BEDROOM	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
Upper Floor														
W16	G	1'-6"	2'-6"		STAIRWELL	DOUBLE	WOOD	FIXED	-	-	-	8'-0"	5'-6"	TEMPERED GLASS
W17	G	1'-6"	2'-6"		STAIRWELL	DOUBLE	WOOD	FIXED	-	-	-	8'-0"	5'-6"	TEMPERED GLASS
W18	A	4'-0"	8'-6"		STAIRWELL	DOUBLE	WOOD	FIXED	-	-	-	11'-6"	3'-0"	TEMPERED GLASS
W19	F	PR 2'-0"	3'-6"		LIVING RM.	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W20	F	PR 2'-0"	3'-6"		LIVING RM.	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W21	F	PR 2'-0"	3'-6"		LIVING RM.	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W22	F	PR 2'-0"	3'-6"		DINING	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W23	F	PR 2'-0"	3'-6"		KITCHEN	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	TEMPERED GLASS
W24	G	2'-0"	2'-6"		TOILET	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	4'-6"	
W25	G	1'-6"	2'-6"		TOILET	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	4'-6"	

WINDOW TYPE



WINDOW NOTES

- ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.:
- EGRESS WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" A.F.F.
 - STAINED WOOD WINDOWS WITH STONE TRIM AND SILLS, U.O.N.
 - ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CRC, SECTION R308.3. ALL INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE REQUIREMENTS OF CPSC 16, CFR 1201 OR ANSIZ 911.
 - SEE WINDOW TYPES ON THIS PAGE FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CRC R303 AND EGRESS PER CRC R310.
 - ALL WINDOW GLAZING SHALL BE LOW-E.
 - CONTACT ARCHITECT, OWNER & INTERIOR DESIGNER FOR SPECIFICATION & APPLICATION, PRIOR TO MANUFACTURING.

REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

WINDOW SCHEDULE and NOTES:

JOB NAME: **Lombardo Residence**
 Lot 5 Block 54 Lincoln Street
 Carmel, By-The-Sea, CA
 APN: 010-212-020-000

DATE: 5/31/18
 SCALE: AS NOTED
 DRAWN: CCR
 JOB NUMBER: 17.08

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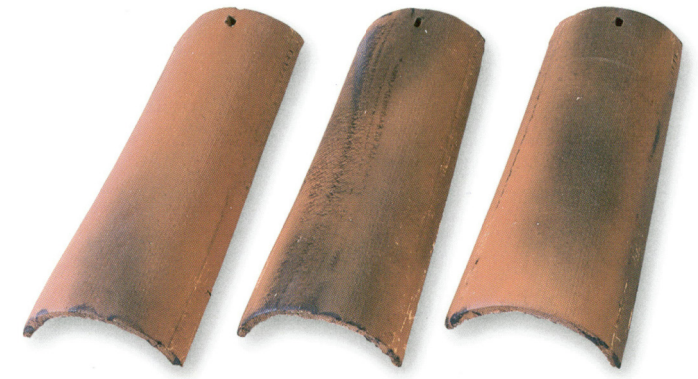
10 SITE WALL ACCENT



7 COPPER GUTTER & DOWNSPOUT



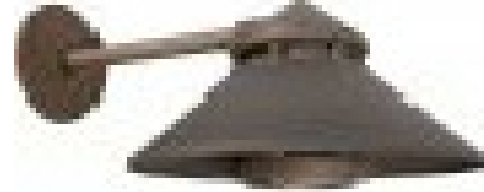
4 WINDOW SAMPLE



1 ROOF TILE SAMPLE



11 METAL RAIL & CABLE WIRE GUARDRAIL



12" DIAMETER SHADE SHOWN IN NATURAL FINISH (AGED IN PLACE) WITH COPPER RINGS

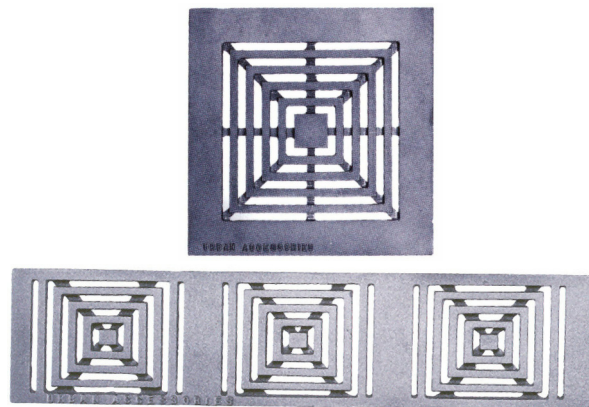
8 EXTERIOR WALL LIGHT



5 MAIN ENTRY DOOR



2 STUCCO SAMPLE



12 TRENCH & AREA DRAIN



9 GARDEN & PATH LIGHTS



6 WOOD GARAGE DOOR



3 INTERLOCKING PAVERS

REVISION	No.

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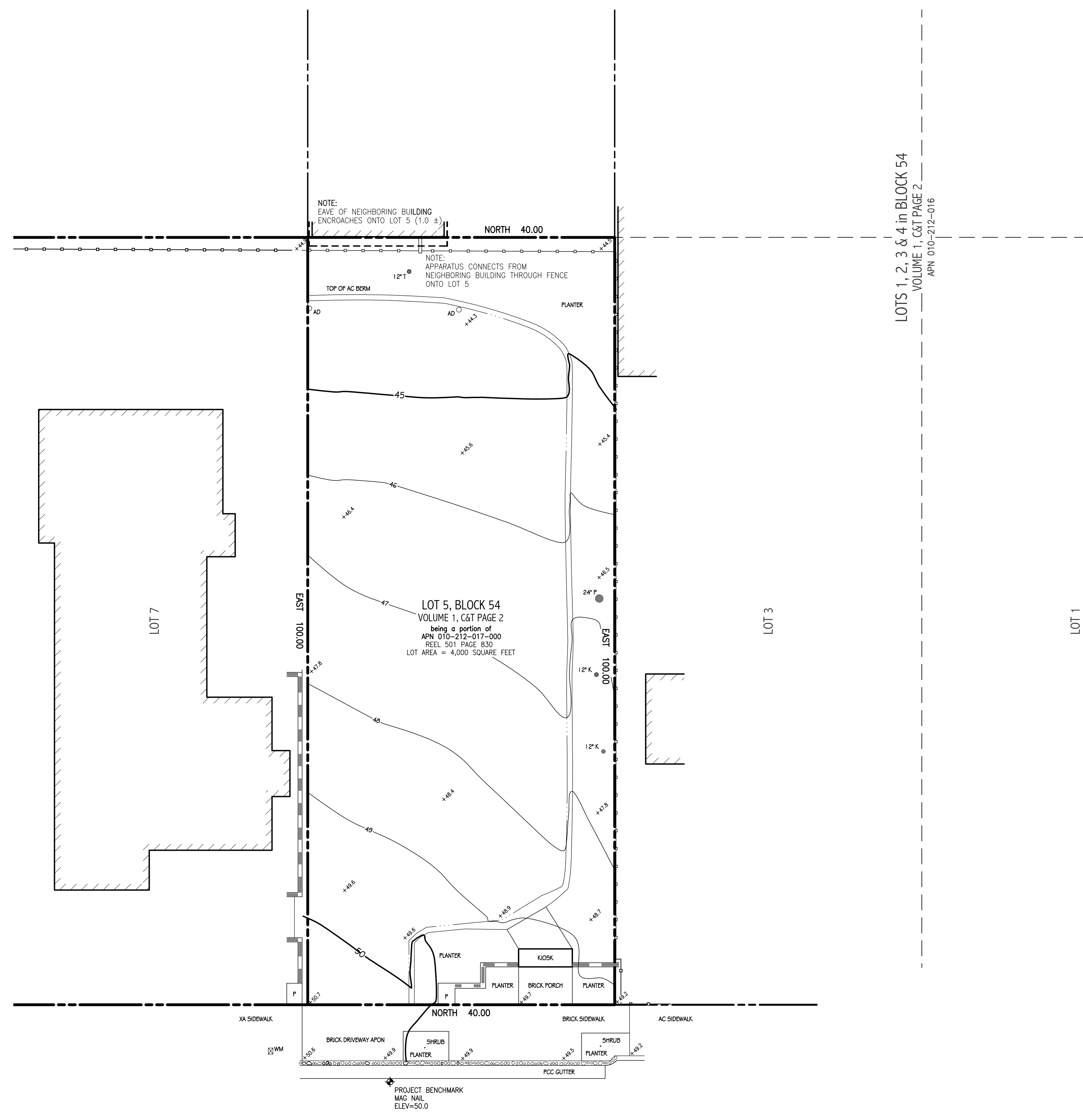
MATERIAL COLOR SAMPLE

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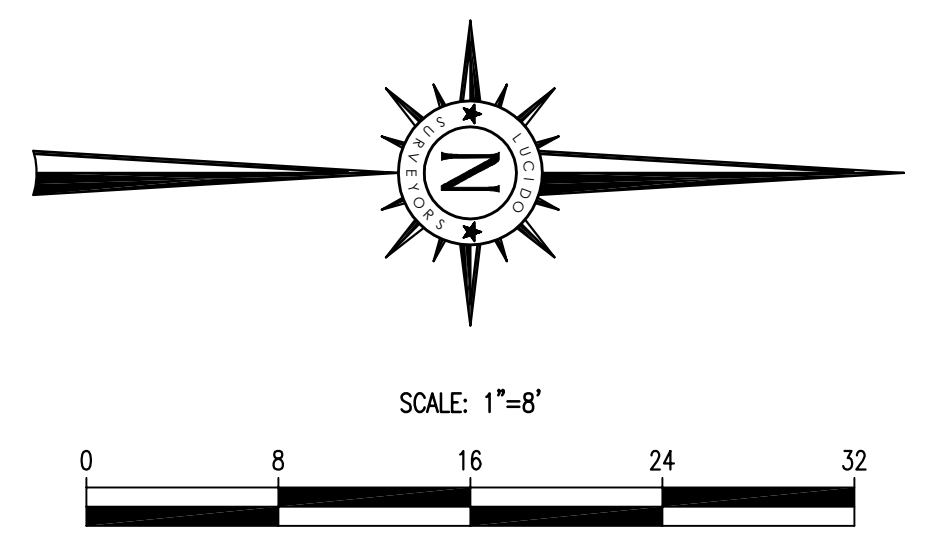
DATE: 5/31/18
 SCALE: N.T.S.
 DRAWN: DM
 JOB NUMBER: 17.08

LEGEND:

	APPROXIMATE RECORD BOUNDARY		PILLAR
	RECORD RIGHT OF WAY		BLOCK RETAINING WALL
	RECORD LOT LINE		ROCK CURB
	RECORD CENTERLINE		STACKED BLOCK WALL
	RECORD EASEMENT LINE		CARMEL STONE
	RECORD SETBACK		DISABLED PARKING
	OLD RECORD LINE		STANDARD PARKING STALL
	PROJECT BENCHMARK		ASPHALT CONCRETE
	CONTOUR (MAJOR)		CARMEL STONE
	CONTOUR (MINOR)		CORRUGATED METAL PIPE
	EDGE OF PAVEMENT		CONCRETE PAD
	LIP OF GUTTER		DECOMPOSED GRANITE
	FACE OF CURB		EXPOSED AGGREGATE
	BACK OF CURB		HIGH DENSITY POLY ETHYLENE
	BACK OF SIDEWALK		PORTLAND CEMENT CONCRETE
	EDGE OF DRIVEWAY		PAVER STONE
	FLOWLINE		POLY VINYL CHLORIDE
	BUILDING OUTLINE		REINFORCED CONCRETE PIPE
	CHIMNEY		TRASH ENCLOSURE
	APPROXIMATE FLOOR ELEVATION		EDGE OF FOLIAGE
	DECK		TREE WITH SIZE AND TYPE
	CONCRETE PAD		ACACIA
	STEP		CYPRESS
	PLANTER		OAK
	WATER LINE		PALM
	WATER VALVE		PINE
	WATER METER		REDWOOD
	FIRE HYDRANT		TREE
	HOSE BIB		SPOT ELEVATION
	IRRIGATION CONTROL VALVE		
	SANITARY SEWER LINE		
	SANITARY SEWER MANHOLE		
	SANITARY SEWER CLEAN-OUT		
	STORM DRAIN		
	STORM DRAIN MANHOLE		
	AREA DRAIN		
	STORM DRAIN CATCH BASIN		
	ELECTRIC LINE		
	UTILITY POLE		
	GUY WIRE		
	ELECTRIC VAULT		
	UTILITY VAULT		
	ELECTRIC METER		
	STREET LIGHT		
	LAMP POST		
	GAS LINE		
	GAS METER		
	TELEPHONE LINE		
	TELEPHONE STANDARD		
	CABLE TELEVISION LINE		
	CABLE TELEVISION BOX		
	WOOD FENCE		
	WIRE FENCE		
	CHAIN LINK FENCE		
	STREET SIGN		
	SIGN POST		
	MAIL BOX		
	BOLLARD		



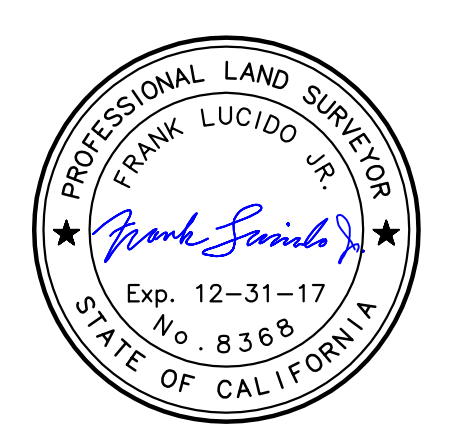
LINCOLN STREET
(A 60 FOOT WIDE CITY STREET)



- BENCHMARK:**
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL SET IN THE PAVEMENT NEAR THE EASTERLY BOUNDARY OF THE SUBJECT PROPERTY AS SHOWN HEREON.
- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL (IF ANY) = ONE FOOT.
 - TREE TYPES (IF ANY) ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
 - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 - THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN MAY OF 2017.

TOPOGRAPHIC SITE SURVEY

OF
LOT 5 in BLOCK 54
as shown in
Volume 1 of Cities and Towns at Page 2
being a portion of APN 010-212-017-000
PREPARED FOR
Mr. Anthony Lombardo



BY
LUCIDO SURVEYORS
Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting
2 Saucito Avenue
DEL REY OAKS, CALIFORNIA 93940
info@lucidosurveyors.com
(831) 620-5032
SCALE: 1"=8" PROJECT No. 1909 MAY 15, 2017
CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA



CITY OF CARMEL-BY-THE-SEA

Planning Commission Staff Report

June 13, 2018

To: Chair LePage and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Subject: Consideration of a combined Concept and Final Design Study (DS 18-149) and associated Coastal Development Permit for additions and modifications to an existing residence located in the Single-Family Residential (R-1) and Beach and Riparian Overlay (BR) Zoning Districts.

Application: DS 18-149	APN: 010-312-014
Location: Scenic, 3 NW of 8 th	
Block: C-2	Lot(s): 11
Applicant: International Design Group	Property Owner: Craig & Diana McCallister

EXECUTIVE SUMMARY

The applicant is requesting approval of a combined Concept and Final Design Study and associated Coastal Development Permit to construct a 371 square-foot addition connecting the detached garage to the main residence. The project includes architectural changes to the residence and conversion of a portion of the two-car garage into a living space.

RECOMMENDATION

Staff recommends that the Planning Commission approve the combined Concept and Final Design Study (DS 18-149) and associated Coastal Development Permit subject to the attached Findings for Approval and Conditions of Approval (Attachments 3 and 4).

BACKGROUND AND PROJECT DESCRIPTION

The project site is a 5,333 square-foot lot developed with a 1,879 square-foot residence and detached two-story two-car garage and guesthouse, clad with stucco siding. A Final Determination of Historic Ineligibility was issued on June 20, 2017.

The applicant is proposing to construct an addition connecting the main residence to the garage and to convert a portion of the garage into a bedroom. The additions would total 371 square feet and the expanded residence would be 2,250 square feet. Other project components include: 1) modifications to the roof design and raising the height by 4', 2) replacing the stucco with wood-shingle siding, 3) installation of a slate roof, 4) new wood doors and windows, 5) installation of several dormer and bay windows, 6) two new gas fireplaces and associated

chimneys, 7) a new first-story patio at the rear of the residence, 8) site coverage modifications that will bring the site into compliance with allowed limited and include a new paver driveway, 9) new landscaping, and 10) a new 6-foot high wood fence and stone entry arbor behind the front-yard setback.

Staff has scheduled this application for a combined concept and final review. If the Commission has concerns that cannot be addressed at one meeting the project can be continued to another hearing.

STAFF ANALYSIS

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourages preserving significant trees and minimizing impacts on established trees; protecting the root systems of all trees to be preserved; and, maintaining a forested image on the site.

The site contains one upper cypress tree, however, several cypress are located near the property boundaries on neighboring properties. The proposed new addition is located approximately 6-8 feet from two cypress located on the adjacent property to the north. The Forestry Department has reviewed the proposal and determined that the addition is adequately set back and will not likely impact these trees.

The Forestry Department recommends that at least one new lower canopy tree be planted on the site. A condition has been drafted requiring the applicant to plant one lower-canopy tree and that the applicant work with staff to determine if potentially another lower-canopy tree can be planted either on site or in the City right-of-way.

Privacy and Views: Residential Design Guidelines 5.1 through 5.3 encourages designs that preserve reasonable privacy for adjacent properties and maintain view opportunities to natural features.

Staff has not identified any privacy impacts associated with the project. Staff notes that there does not appear to be any significant ocean views through the property, as there are several cypress trees at the rear of the property and a large acacia at the front that screen potential ocean views. The proposed two-story addition is located behind the existing two-story garage/guesthouse and will not obstruct neighboring views. The roof modifications that increase the height of the one-story element, and addition of two chimneys, will not likely impact neighboring view.

Mass and Bulk: Residential Design Guidelines 7.1 through 7.7 encourages a building's mass to relate to the context of other homes nearby; minimize the mass of a building as seen from the public way or adjacent properties; and, relate to a human scale in its basic forms.

The proposed addition is two-story, but is compatible with the existing residence and does not increase the overall appearance of building mass. The modifications to the rear one-story portion of the residence will increase the height by 4 feet; however, in staff's opinion the design is consistent with the Design Guidelines pertaining to mass and bulk and will be an overall improvement to the aesthetics of the residence.

Building and Roof Form: Residential Design Guidelines 8.1 through 8.5 encourages traditional building forms; using restraint with variations in building planes; using simple roof forms that are in proportion to the scale of the building; and, roof eave lines that are low in scale. Guideline 8.3 states to *"limit the number of subordinate attachments, such as dormers, to avoid cluttered design."*

The existing residence has simple building and roof forms. The proposed modifications will increase the complexity of the overall design, but in staff's opinion, are still architecturally appropriate and not overly complicated. The applicant is proposing 10 dormer windows, 3 of which are on the rear elevation. Two bay windows are also proposed including one on the front elevation. While these windows add some architectural variety and interest, the Commission should consider whether the number of dormer or bay windows should be reduced to simplify the roof design and be more consistent with the above guideline

Site Coverage/Landscaping: The applicant is proposing to reduce the site coverage from 1004 square feet to 710 square feet. New site coverage includes a 305 square-foot paver driveway at the front of the property, a 161 square foot patio/terrace at the rear of the residence, a new spa, pathways and landings. The site coverage will be in compliance with the maximum allowed for the property.

The applicant has included a conceptual landscape plan depicting new landscaping at the front and rear of the property. A condition has been drafted requiring the applicant to submit and receive final approval for the landscape plan prior to the issuance of the building permit. Included on the concept landscape plan is a 5' wood fence on top of an 18" stone wall and an arched stone entry arbor. This fence and arbor would be located behind the 15' front-yard setback. A new 4' high wood fence and sliding gate is proposed on the front property line in addition to the fence at the rear. A condition has been drafted requiring the applicant to provide elevation details of the front fence.

Right-of-way Character: Residential Design Guidelines 1.5 through 1.7 encourages maintaining an informal open space character of the right-of-way; maintaining trees and natural vegetation; and, designing parking areas to reinforce the forest image.

There is an existing fence located in the City right-of-way. A condition has been drafted requiring that this fence be removed, as indicated on Sheet A1.0 of the plan set.

Finish Details: The exterior wall cladding would include new wood-shingle siding. The existing wood-shake roof will be replaced with natural slate. All windows and doors will be unclad wood. Staff supports the proposed finish materials and finds that they are consistent with the Design Guideline recommendations for natural finish materials. The overall proposal will improve the aesthetics of the residence over existing conditions.

Environmental Review: The project qualifies for a Class 1 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. Class 1 exemptions include additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet whichever is greater. The 371 square-foot addition meets either criteria.

ATTACHMENTS

- Attachment 1 – Project Data Table
- Attachment 2 – Site Photographs
- Attachment 3 – Findings for Approval
- Attachment 4 – Conditions of Approval
- Attachment 5 – Project Plans

PROJECT DATA TABLE

PROJECT DATA FOR A 5,333 SQUARE FOOT SITE			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,257 SF (42%)	1,879 SF	2,250 SF
Site Coverage	496 SF/710 SF	1,004 SF*	710 SF
Trees (Upper/Lower)	3/1	1/0	2/1
Ridge Height (1 st /2 nd)	18'/18'	13'-6"/19'	13'-6"/19' (at existing residence) 17'-5"/17'-5" at addition
Plate Height (1 st /2 nd)	12'/18'	11'-6"/NA	15'-7" /16'-1"
Setbacks	Minimum Required	Existing	Proposed
Front	15'	5'-10" at garage 43' at residence	5'-10" at garage 25' at residence
Composite Side Yard	13'-4" (25%)	9'	12'-2"
North Side Yard	3'	3'-10"	3'-1" (at addition)
South Side Yard	3'	5'-2"	5'-2"
Rear	15'/3'***	26'-6"	25'

*All existing site coverage to be removed.

**The rear setback is three feet for those portions of structures less than 15 feet in height.



Photo 1. Project site looking west



Photo 2. Project site looking west (story poles)

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45)		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. As conditioned, the project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees unless otherwise agreed upon by the City Forester.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	

10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):

1. Local Coastal Program Consistency: The project conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. Approval of Design Study (DS 18-149) authorizes the construction of additions to an existing residence totaling 371 square feet. 371 square feet and the expanded residence would be 2,250 square feet. Other project components include: 1) modifications to the roof design and raising the height by 4', 2) replacing the stucco with wood-shingle siding, 3) installation of a slate roof, 4) new wood doors and windows, 5) installation of several dormer and bay windows, 6) two new gas fireplaces and associated chimneys, 7) a new first-story patio at the rear of the residence, 8) site coverage modifications that will bring the site into compliance with allowed limited and include a new paver driveway, 9) new landscaping, and 10) a new 6-foot high wood fence and stone entry arbor behind the front-yard setback. The project shall conform to the June 13, 2018, approved unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Landscape Plan. All new landscaping shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. <u>The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.</u>	✓
5.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate. All remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. The City Forester or his/her designee may reduce the area of hand digging it if is determined that a significant tree would not be impacted. If any tree roots larger than two inches (2") are encountered during construction,	✓

	the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2”) in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12”) of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓
8.	Modifications. The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for compliance with the approved plans prior to final inspection.	✓
9.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground. All fixtures shall be shielded and down facing.	✓
10.	Skylights. All skylights shall be constructed of non-reflective glass to minimize the amount of light and glare visible from adjoining properties. All skylight flashing shall match the roof color or be painted to match. Skylight shades shall be installed to reduce visible light transmission during the hours of darkness.	✓
11.	Stone Facades (including chimneys). Stone façades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to full installation of stone during construction, the applicant shall install a 10-square foot section on the building and schedule an inspection with Planning staff to ensure conformity with City standards. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by Planning staff.	✓
12.	Unclad Wood Frame Windows. The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓

13.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	Driveway. The driveway material shall extend beyond the property line into the public right-of-way as needed to connect to the paved street edge. A minimal asphalt connection (typically 3 feet) at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	Volume Study. This project is subject to a volume study.	✓
16.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
17.	Storm Water Drainage Plan. The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
18.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
19.	Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public	N/A

	Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	
20.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
21.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Special Conditions		
22.	Tree Planting Required. The applicant shall plant at least one lower-canopy on-site and shall work with the City Forester to determine if an additional lower-canopy tree can be planted on the property or in the City right-of-way. Final location shall be determined in consultation with the City Forester.	✓
23.	Removal of Right-of-Way Encroachments. The applicant shall remove the fence right-of-way encroachments prior to final inspection.	✓
24.	Fencing. Prior to the issuance of the building permit, the applicant shall submit elevation drawings for the front property line fence and gate for approval by the Community Planning and Building Department.	

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature Printed Name Date

Once signed, please return to the Community Planning and Building Department.

PLANNING INFO.

- PROPERTY OWNER:
CRAIG & DIANA MCCALLISTER
3RD NW OF 8TH ON SCENIC ROAD
CARMEL, CA. 93923
PH. (949) 719-0770
- PROJECT ADDRESS:
3RD NW OF 8TH ON SCENIC ROAD
CARMEL, CA. 93923
- PROJECT SCOPE:
REMODEL & ADDITION TO (E) SINGLE FAMILY
RESIDENCE & GARAGE
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 010-312-014
- LEGAL DESC.: LOT: 14 BLOCK: C2
- ZONE: R-1-B
- STORIES: 2
- MAX BLDG. HT: 18 FT
- GRADING: TBD
- TREE REMOVAL: NONE
- TOPOGRAPHY: SLOPED
- PROJECT CODE COMPLIANCE:
2016 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE,
CALIFORNIA GREEN BUILDING CODE & 2016 CALIFORNIA ENERGY CODE

■ LOT AREA: 5,333 S.F. (0.12 Ac.)

■ F.A.R. CALCULATIONS

MAIN BUILDING	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL
MAIN FLOOR	1115	-19	368	1464
UPPER FLOOR	0	0	210	210
GARAGE	396	-188	0	208
GUEST SUITE	368	0	0	368
TOTAL	1879	-207	578	2250

■ F.A.R. ALLOWED: 2258 SF
 ■ F.A.R. PROPOSED: 2250 SF

$$5,333 \times \left[0.45 - \frac{(5,333-4,000) \times 0.2}{1,000} \right] = 2,257.67$$

■ LOT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL	
TERRACES	368	-368	161	161	IMPERVIOUS
DRIVEWAY	587	-587	305	305	PERMEABLE
LANDINGS	15	-15	81	81	IMPERVIOUS
FOOTPATH	34	-34	127	127	PERMEABLE
SPA	0	0	36	36	IMPERVIOUS
EASEMENT*	157	0	0	157	N/A
TOTAL	1004	-1004	710	710	

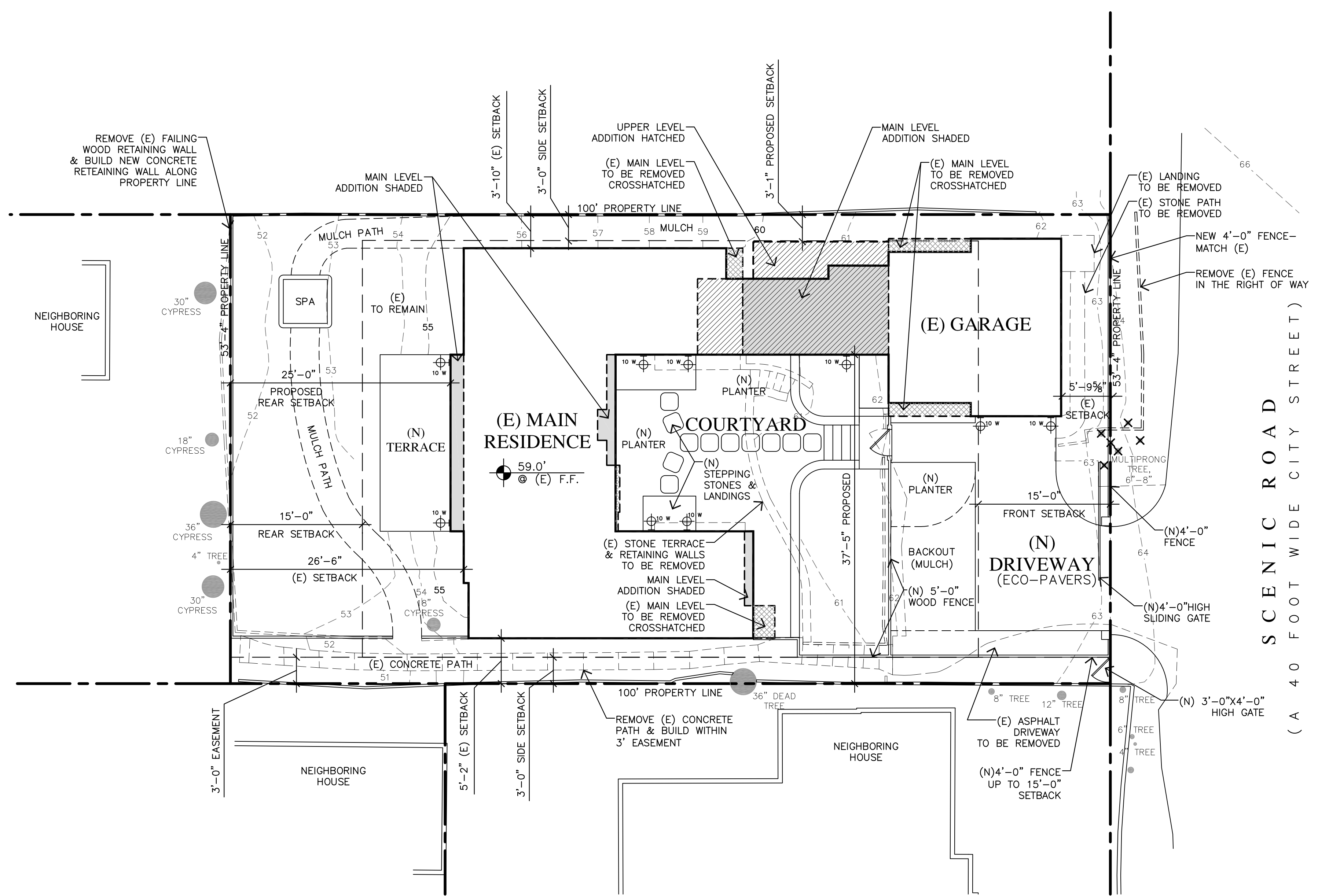
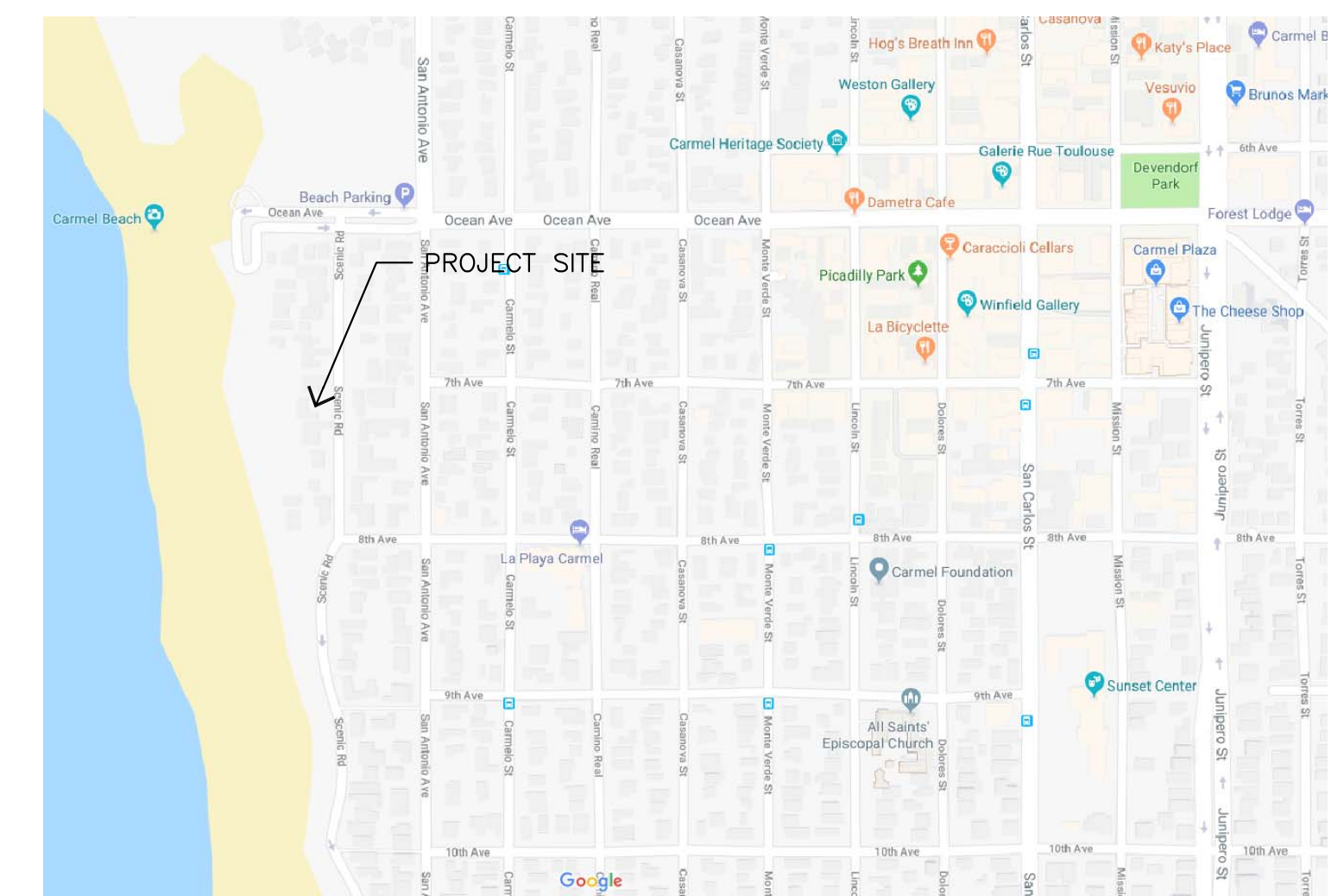
*EASEMENT HARDSCAPE NOT INCLUDED IN COVERAGE CALCULATIONS

22% OF BASE FLOOR AREA + 4% OF LOT SIZE
 $2,256 \times 0.22 = 496.3$
 $5,333 \times 0.04 = 213.3$
 TOTAL ALLOWED = 710 SF

■ LOT COVERAGE ALLOWED: 710 SF
 ■ LOT COVERAGE PROPOSED: 710 SF (432 SF PERMEABLE) (278 SF IMPERVIOUS)

VICINITY MAP

N.T.S.



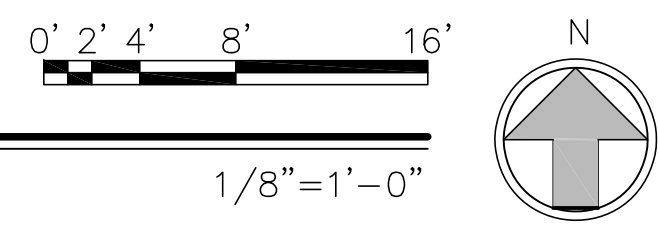
EXTERIOR LIGHTING LEGEND

⊕ 10 W = WALL MOUNTED DOWNLIGHT LIGHT FIXTURE 10 WATTS



FIXTURE 'A'
 25 WATTS MAXIMUM WITH SENSORS, LAMPER HEIGHTS-1 BY MINKA LAVERY

SITE PLAN



JUN A. SILLANO, AIA

 ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
 PACIFIC GROVE CA.
 93950

PH ■ (831) 646-1261
 FAX ■ (831) 646-1290
 EMAIL ■ jemidg@jemidg.com
 WEB ■ www.jemidg.com

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STAMPS:

PROJECT/CLIENT:
MCCALLISTER RESIDENCE

PROJECT ADDRESS:
**3RD NW OF 8TH ON SCENIC RD
 CARMEL, CA 93923**

APN: 010-312-014

DATE: MARCH 13, 2018
 DESIGN APPROVAL

- REVISIONS:
- △ 5-15-18
 - △
 - △
 - △
 - △
 - △
 - △

SITE PLAN

SHEET NO.
A1.0

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93923**

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DESIGN APPROVAL

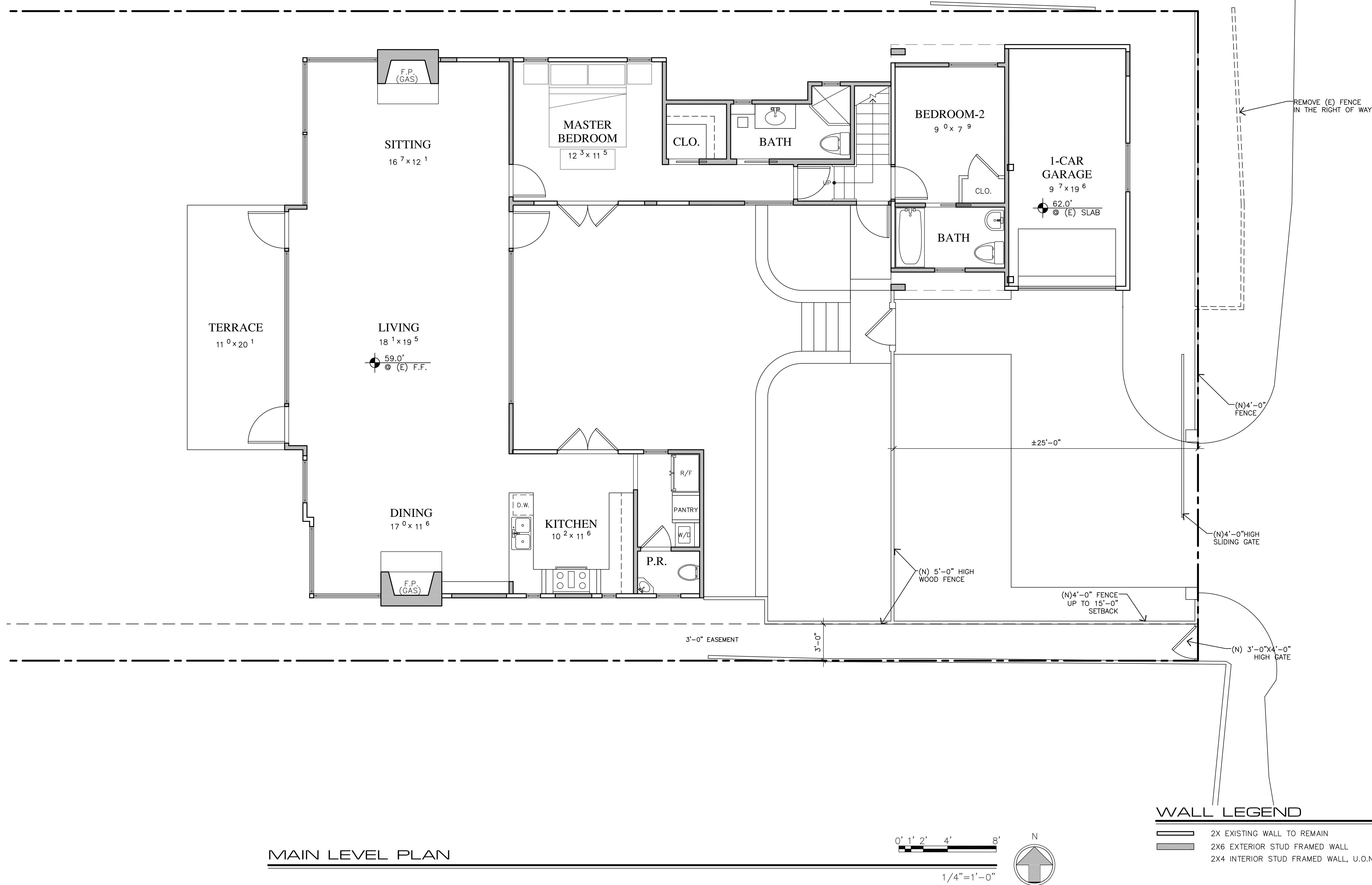
REVISIONS:

△	5-15-18
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**MAIN LEVEL
PLAN**

SHEET NO.

A2.0



MAIN LEVEL PLAN

WALL LEGEND

	2X EXISTING WALL TO REMAIN
	2X6 EXTERIOR STUD FRAMED WALL
	2X4 INTERIOR STUD FRAMED WALL, U.O.N.



721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

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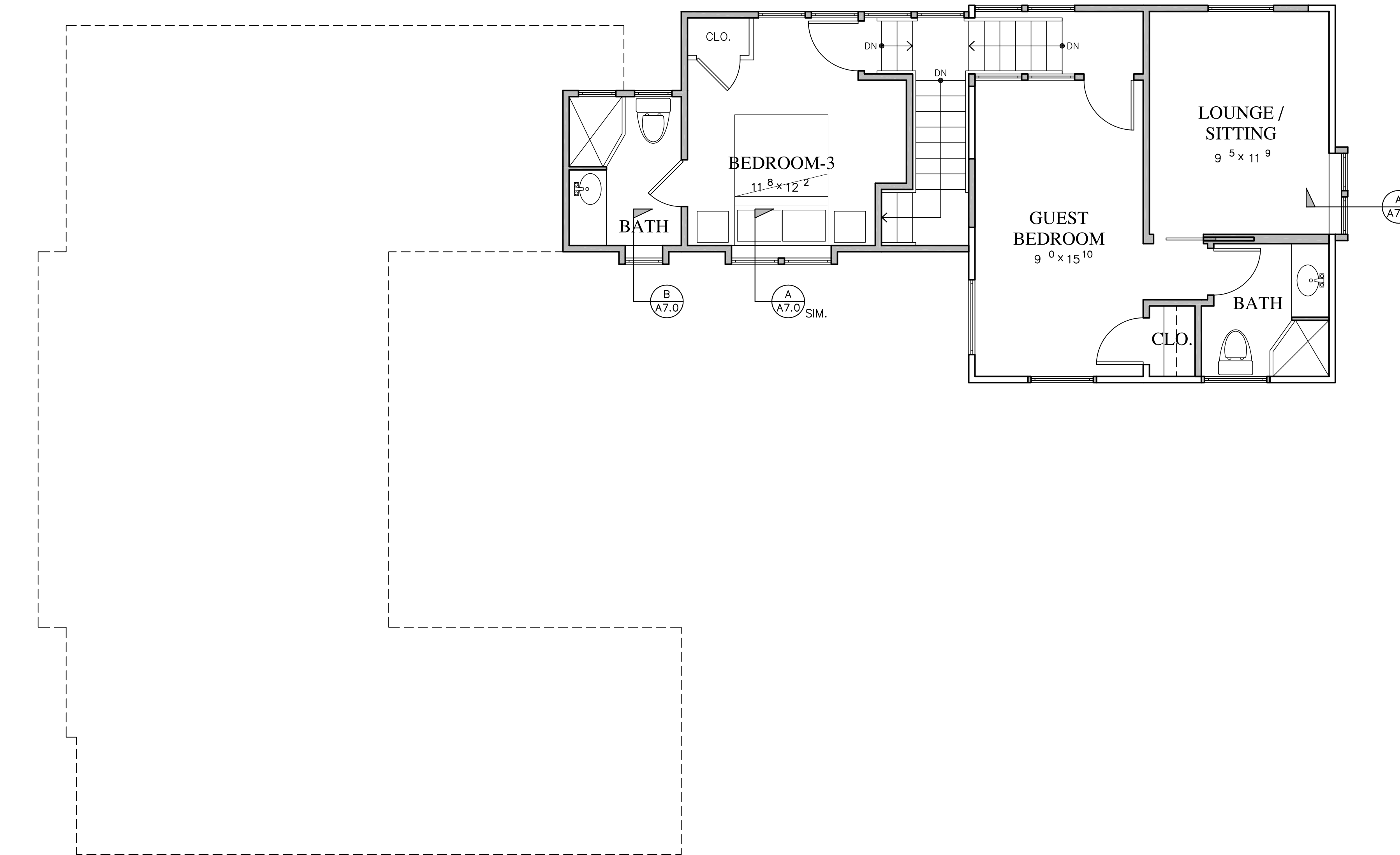
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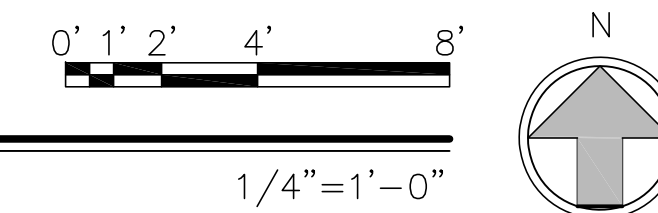
**UPPER LEVEL
PLAN**

SHEET NO.

A3.0



UPPER LEVEL PLAN



1/4" = 1'-0"

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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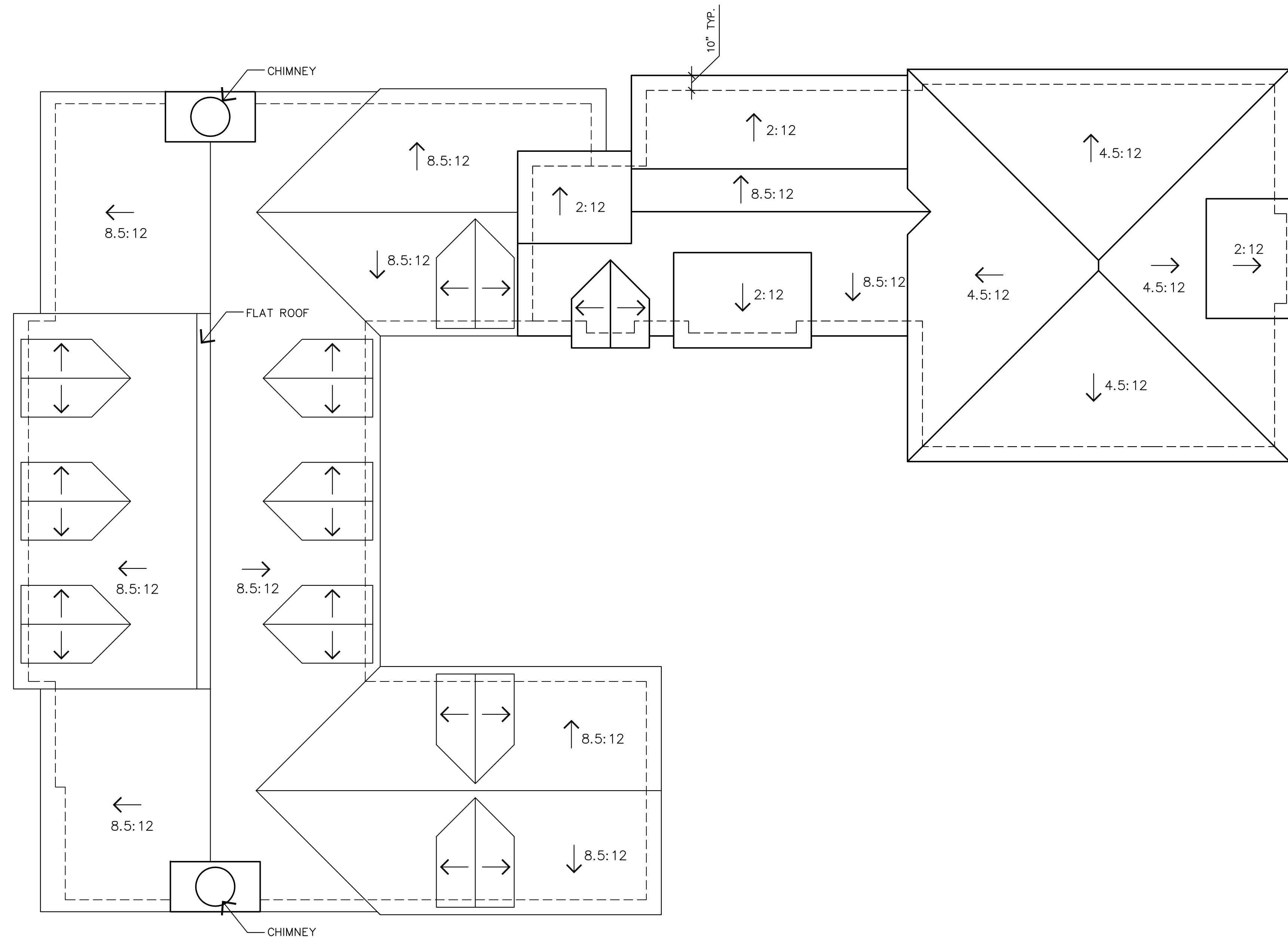
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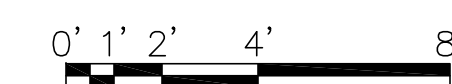
**ROOF
PLAN**

SHEET NO.

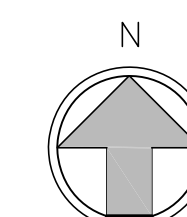
A5.0



ROOF PLAN



1/4" = 1'-0"



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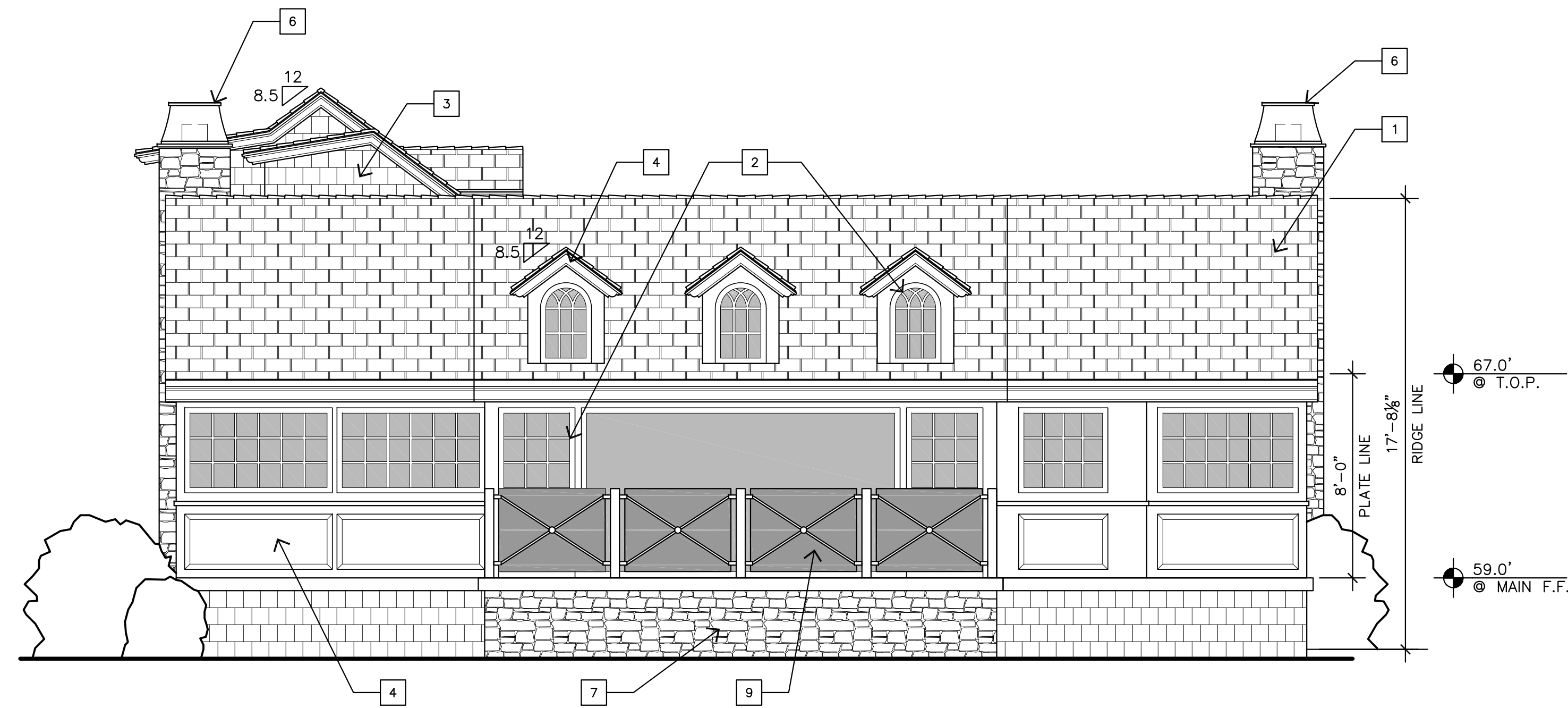
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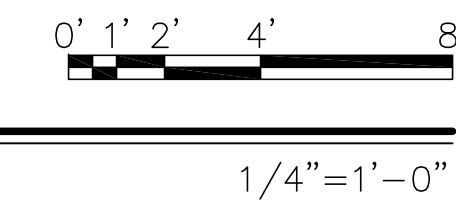
ELEVATIONS

SHEET NO.

A6.0

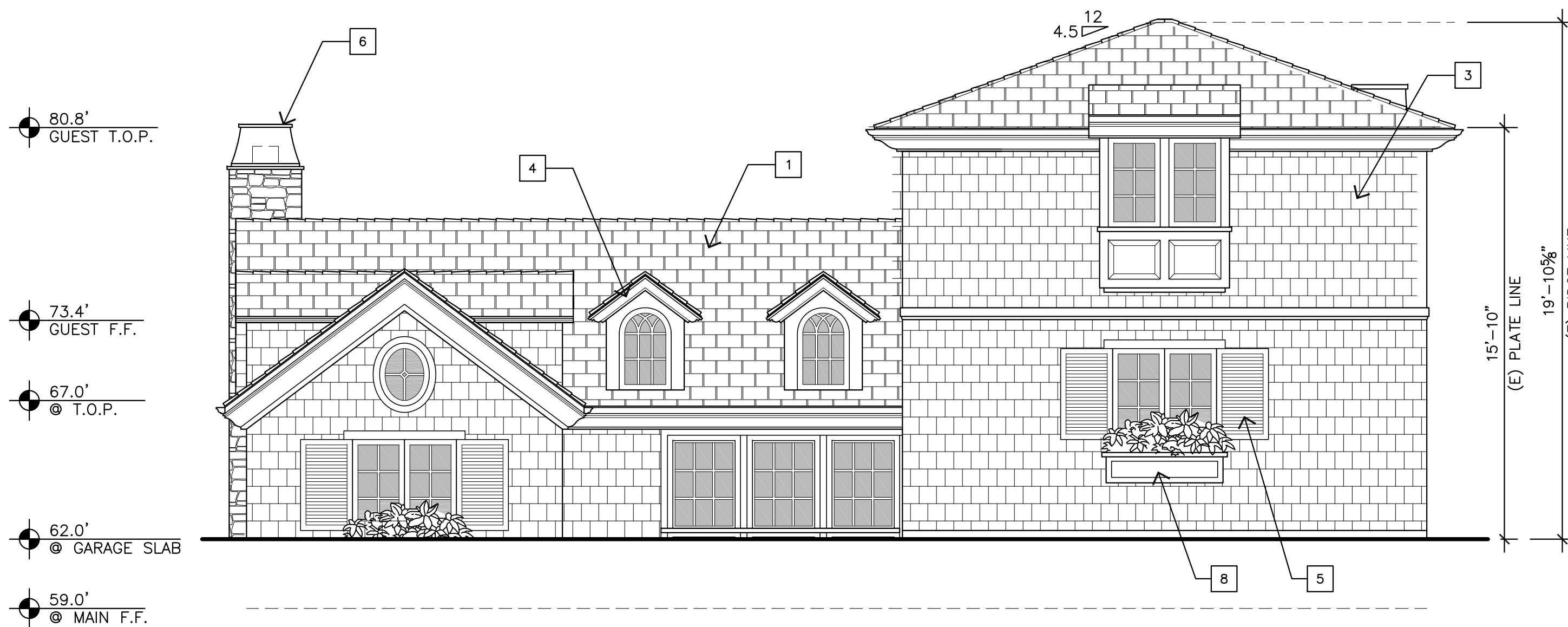


WEST ELEVATION

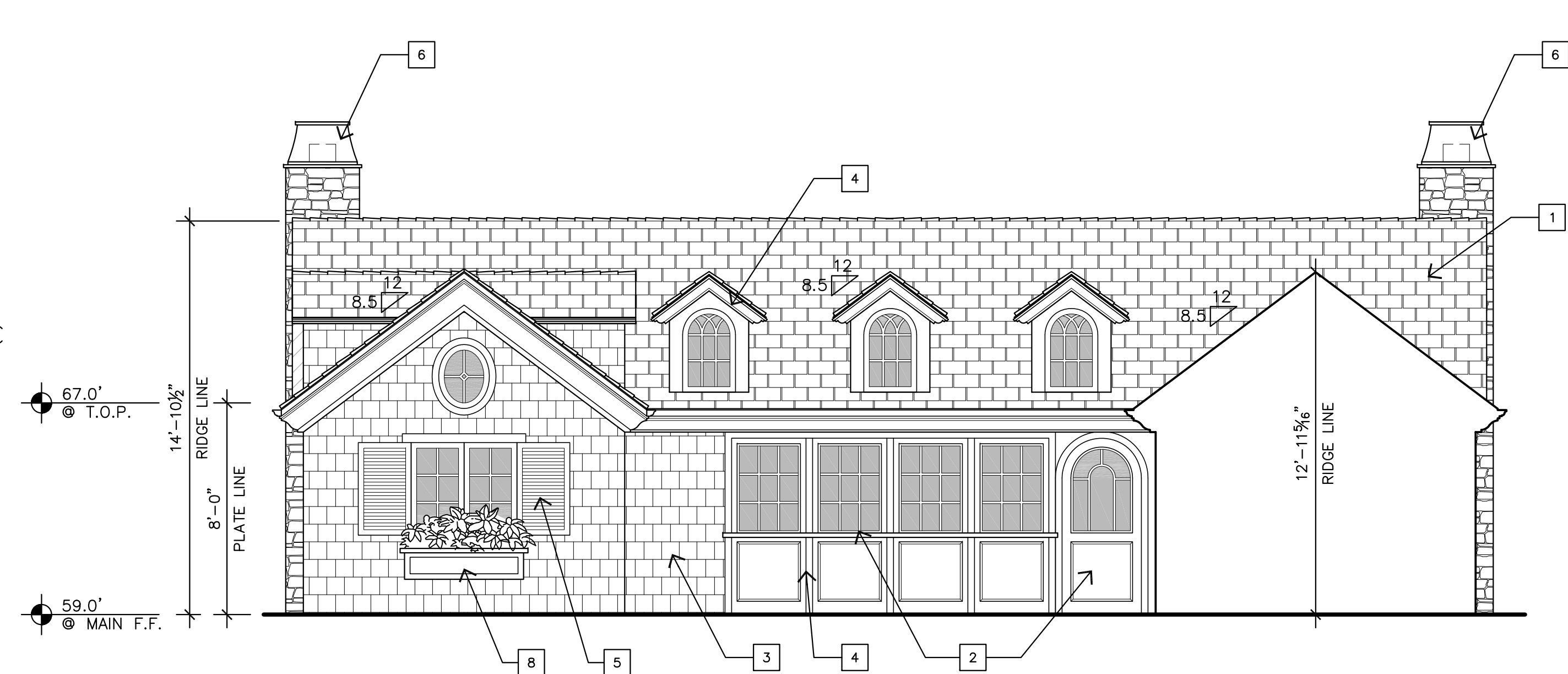
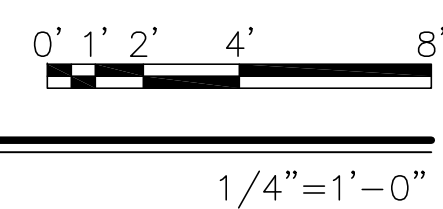


EXTERIOR FINISH LEGEND

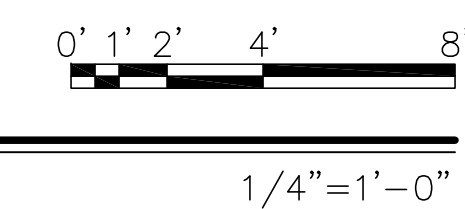
- 1 CLASS 'A' SLATE ROOF
- 2 PAINTED WOOD EXT. DOORS & WINDOWS
- 3 CEDAR SHINGLES, STAINED
- 4 PAINTED TRIM, SURROUND, SILLS, CABLES & CORNICE MOULDING
- 5 PAINTED WOOD SHUTTER
- 6 PRE-CAST CHIMNEY CAP
- 7 RANDOM STONE - ASHLAR PATTERN
- 8 PAINTED WOOD PLANTER BOX W/ COPPER LINER
- 9 BRONZE & GLASS RAILINGS
- 10 PAINTED GARAGE DOOR



EAST ELEVATION



EAST COURTYARD ELEVATION



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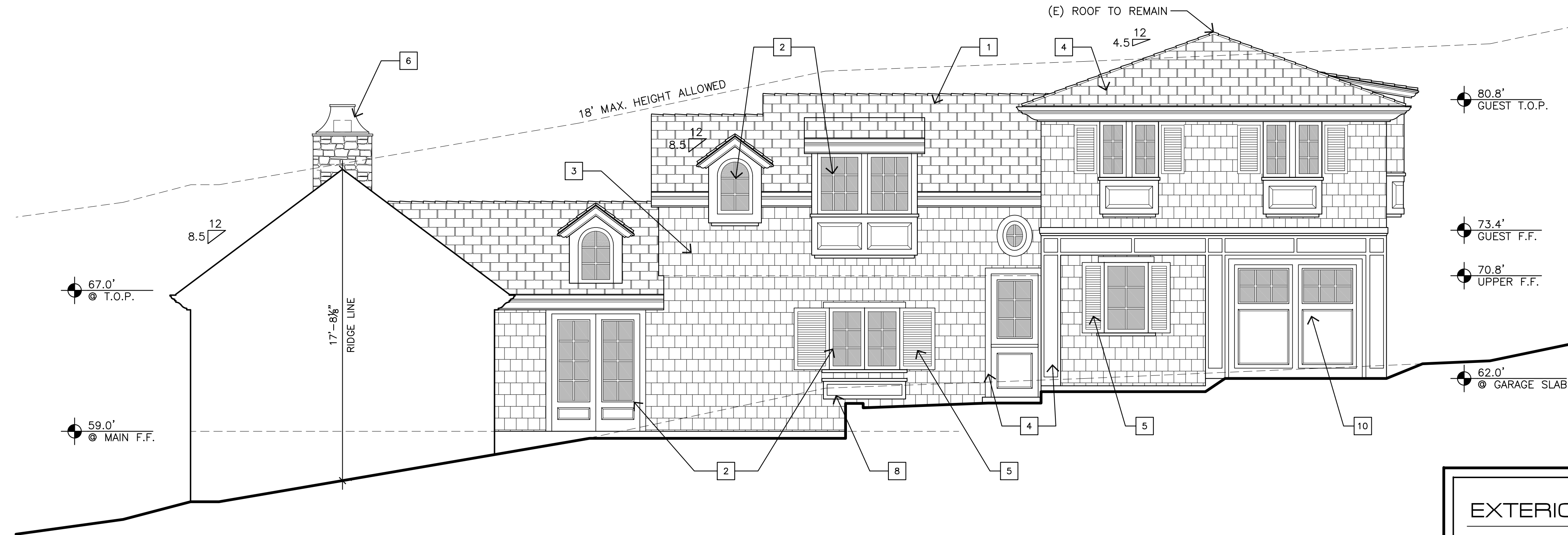
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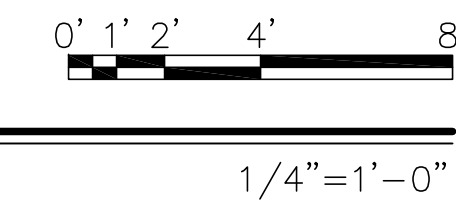
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SHEET NO.

A6.1

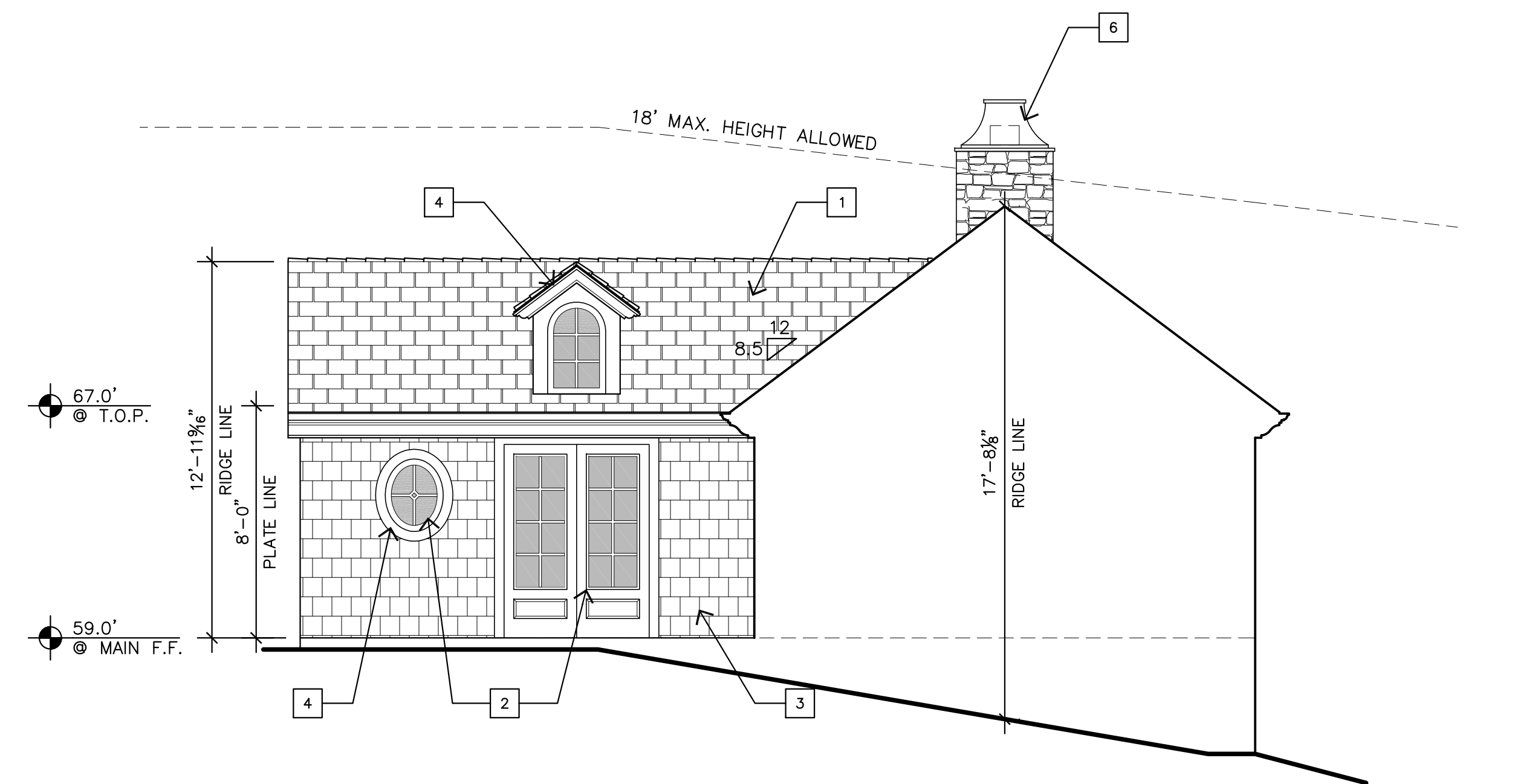


SOUTH COURTYARD ELEVATION

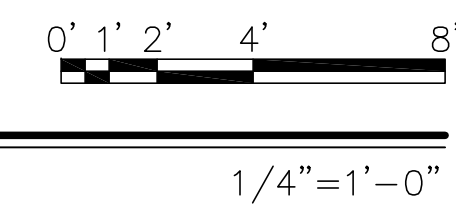


EXTERIOR FINISH LEGEND

- 1 CLASS 'A' SLATE ROOF
- 2 PAINTED WOOD EXT. DOORS & WINDOWS
- 3 CEDAR SHINGLES, STAINED
- 4 PAINTED TRIM, SURROUND, SILLS, CABLES & CORNICE MOULDING
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- 6 PRE-CAST CHIMNEY CAP
- 7 RANDOM STONE - ASHLAR PATTERN
- 8 PAINTED WOOD PLANTER BOX W/ COPPER LINER
- 9 BRONZE & GLASS RAILINGS
- 10 PAINTED GARAGE DOOR

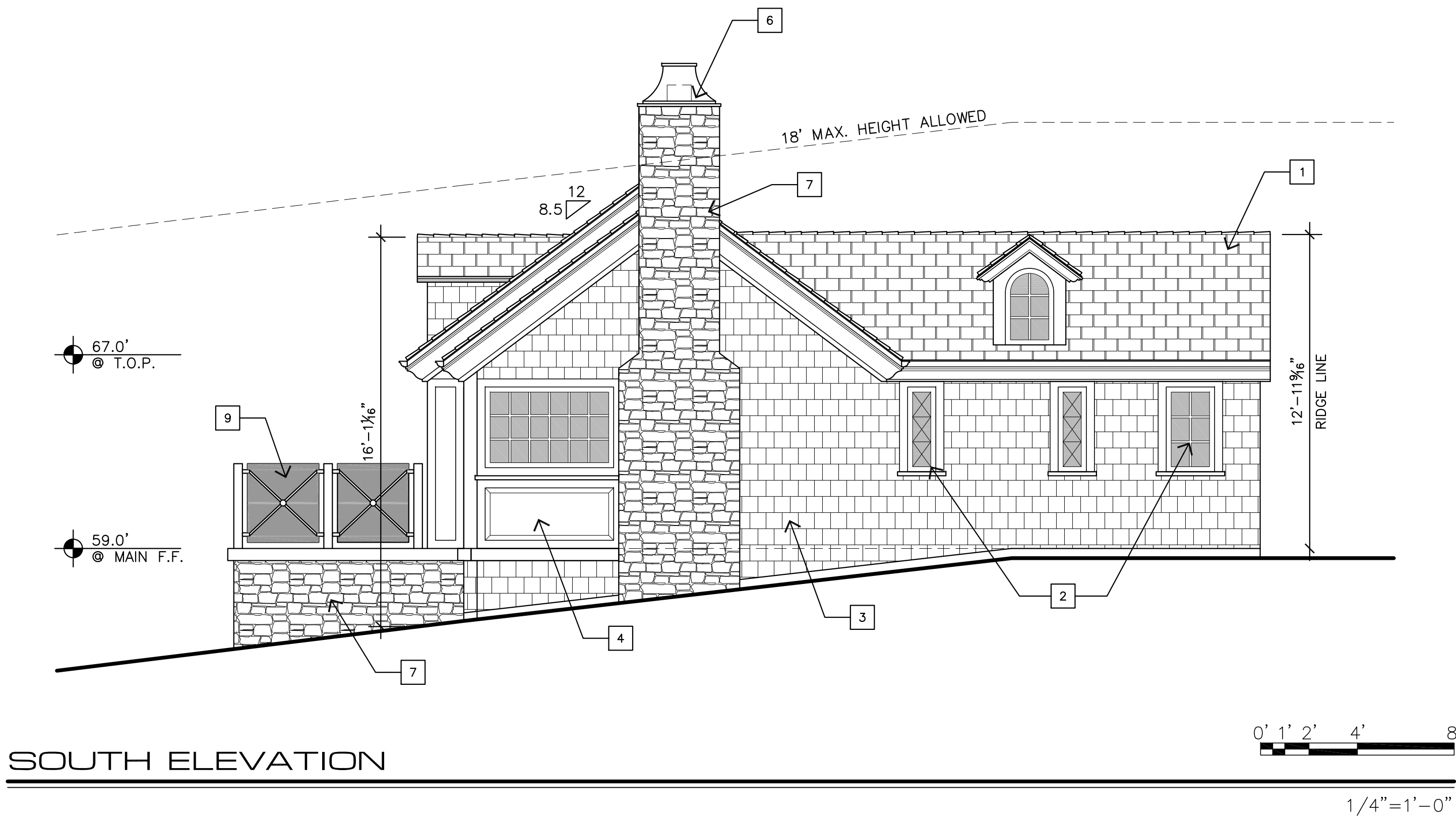


NORTH COURTYARD ELEVATION



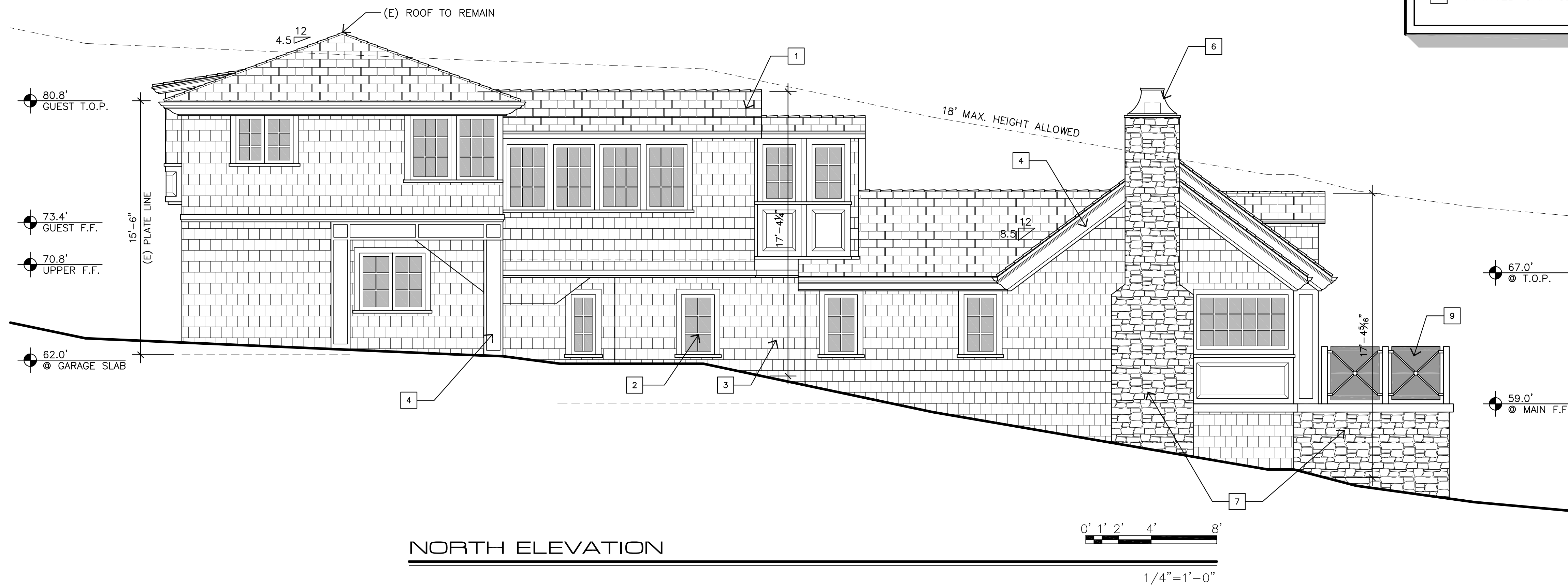
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STAMPS:



SOUTH ELEVATION

EXTERIOR FINISH LEGEND	
1	CLASS 'A' SLATE ROOF
2	PAINTED WOOD EXT. DOORS & WINDOWS
3	CEDAR SHINGLES, STAINED
4	PAINTED TRIM, SURROUND, SILLS, CABLES & CORNICE MOULDING
5	PAINTED WOOD SHUTTER
6	PRE-CAST CHIMNEY CAP
7	RANDOM STONE - ASHLAR PATTERN
8	PAINTED WOOD PLANTER BOX W/ COPPER LINER
9	BRONZE & GLASS RAILINGS
10	PAINTED GARAGE DOOR



NORTH ELEVATION

PROJECT/CLIENT:
MCCALLISTER RESIDENCE

PROJECT ADDRESS:
3RD NW OF 8TH ON SCENIC RD CARMEL, CA 93923
APN: 010-312-014

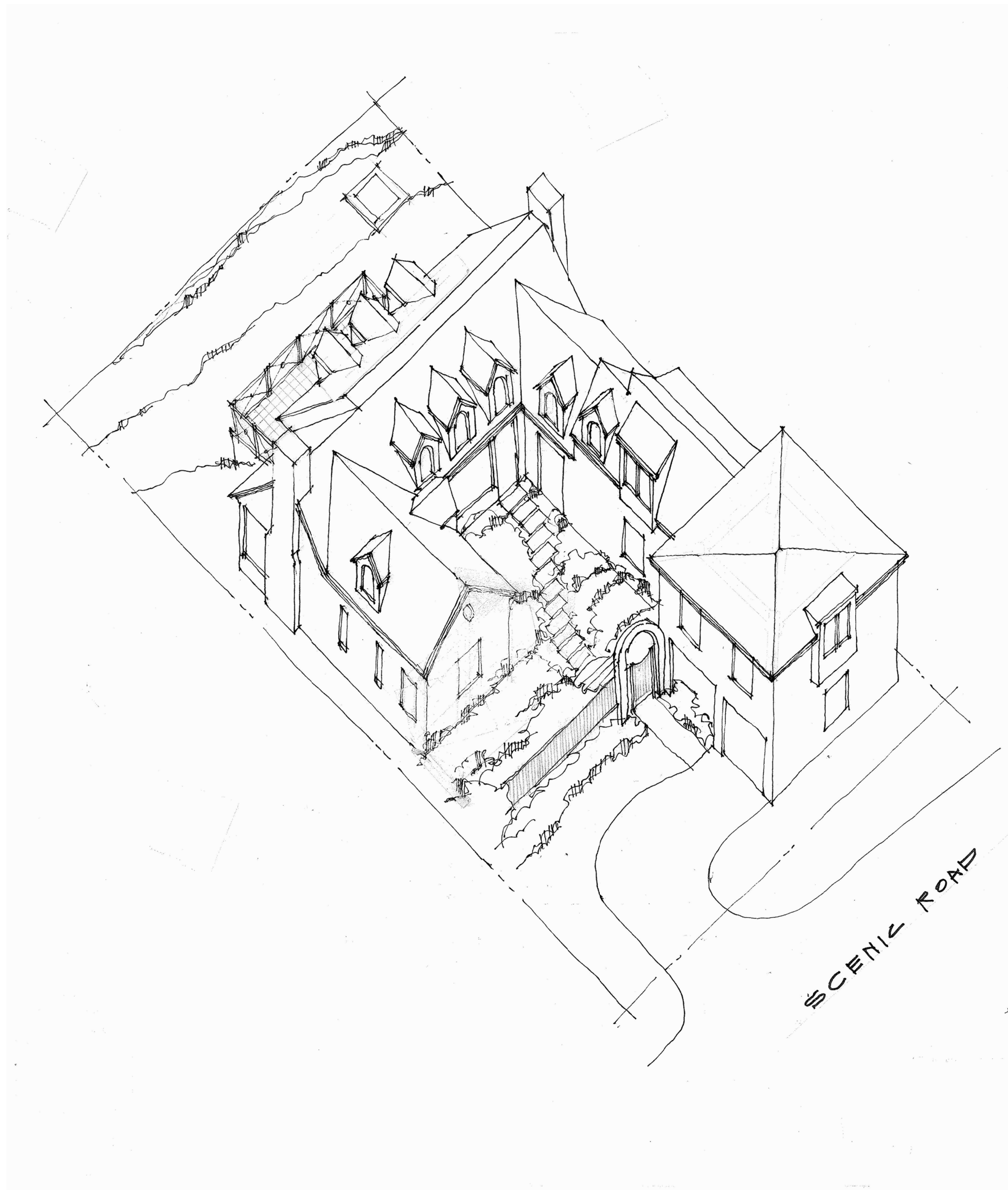
DATE: MARCH 13, 2018
DESIGN APPROVAL

REVISIONS:

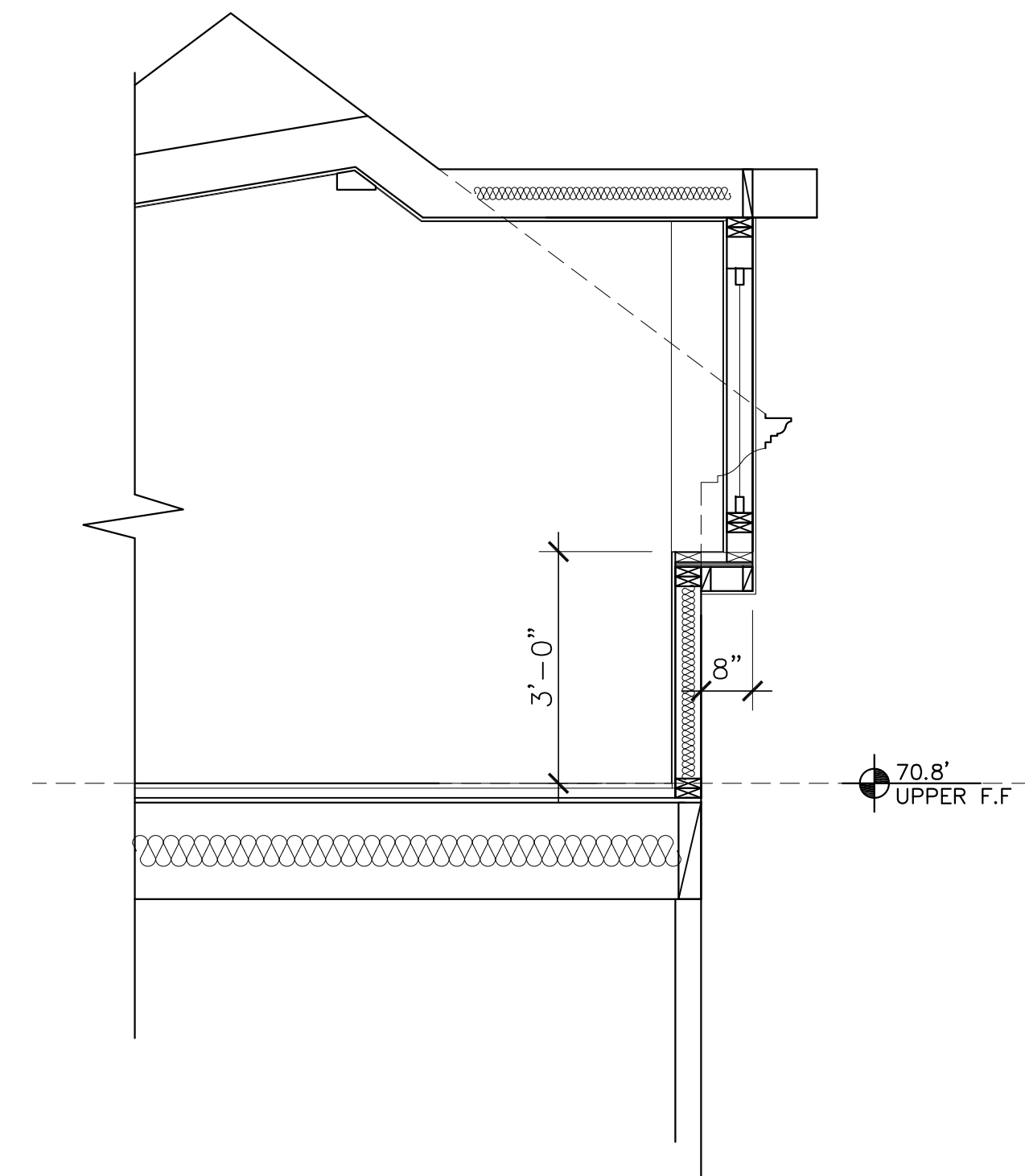
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ELEVATIONS

SHEET NO.
A6.2

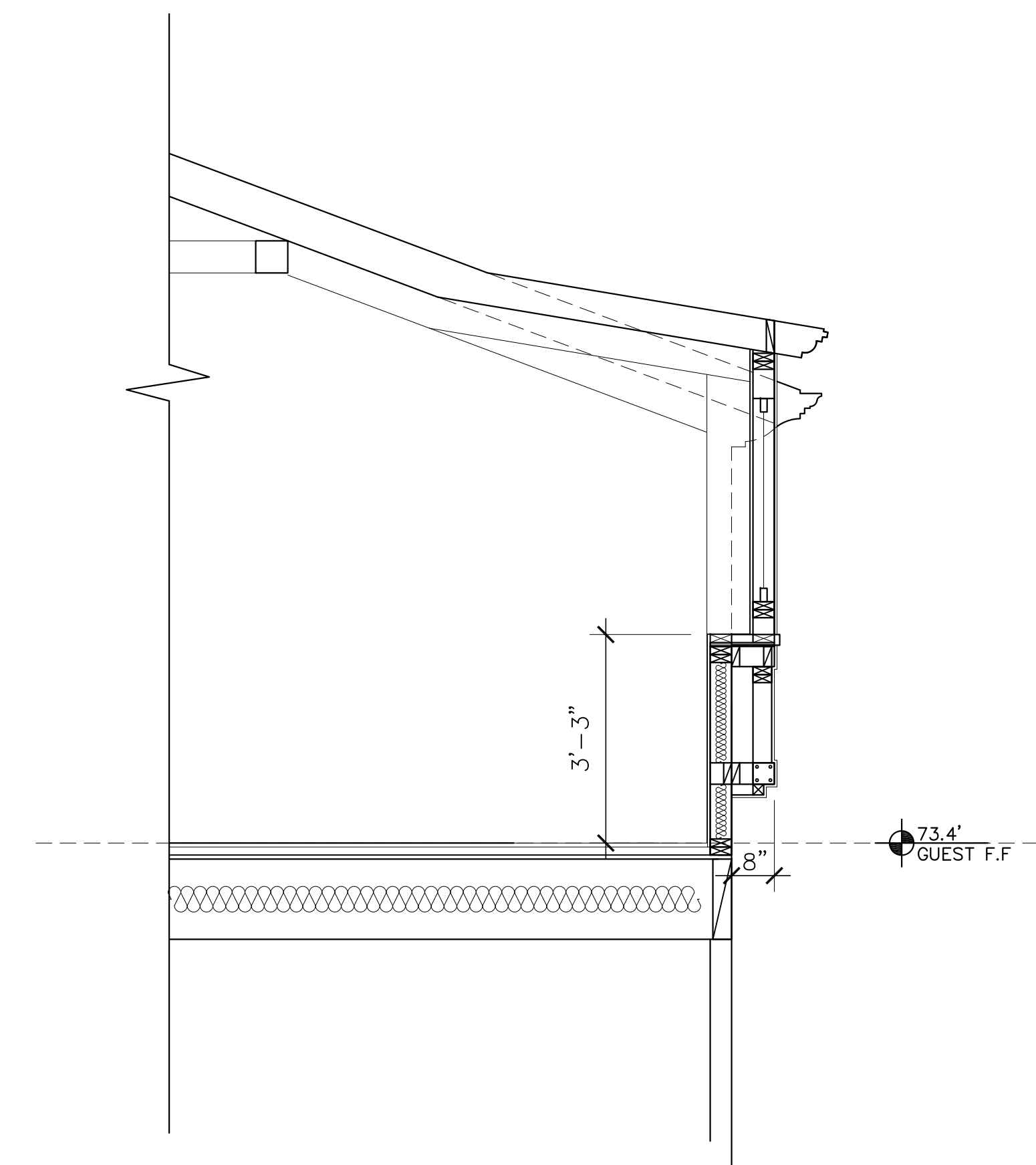


ISOMETRIC VIEW
 MC CALLISTER RESIDENCE
 5-14-18



B - SECTION

1/2"=1'-0"



A - SECTION

1/2"=1'-0"

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ISOMETRIC VIEW
 SECTIONS

SHEET NO.

A7.0



721 LIGHTHOUSE AVE
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93950

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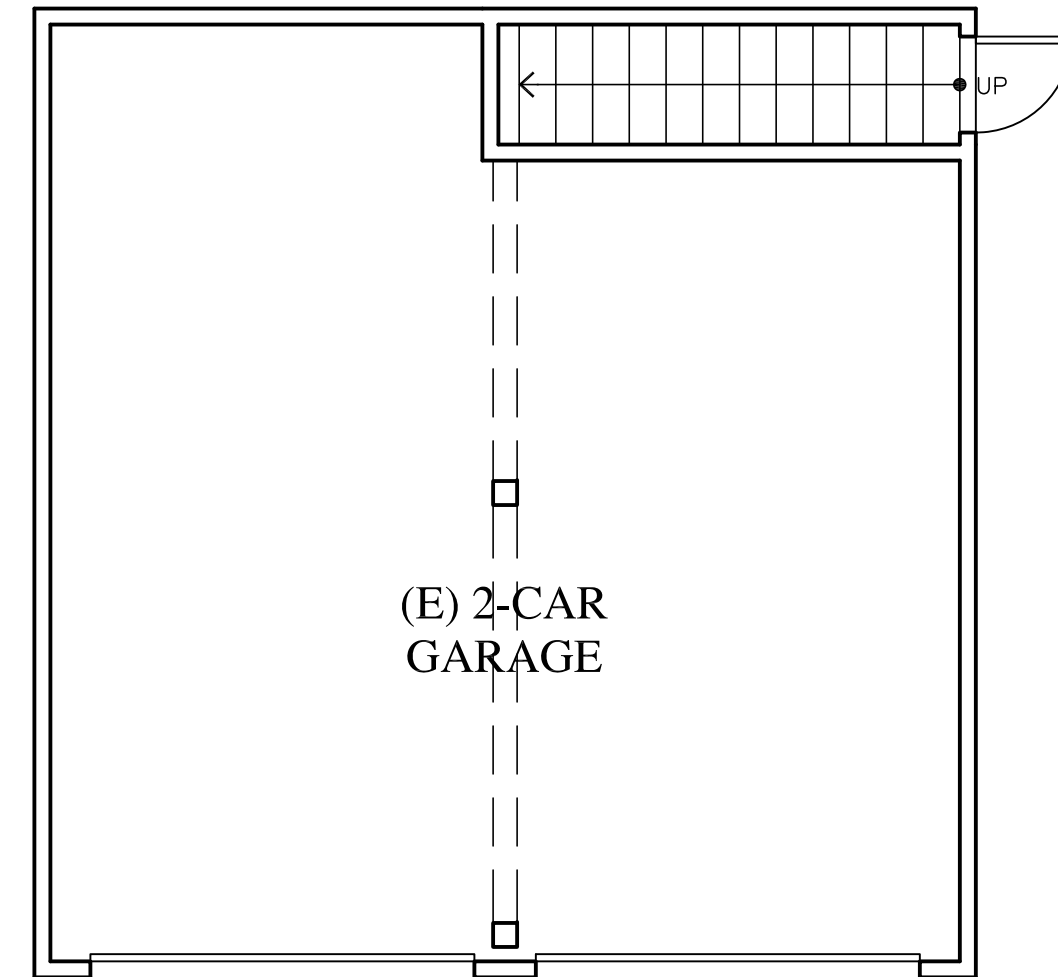
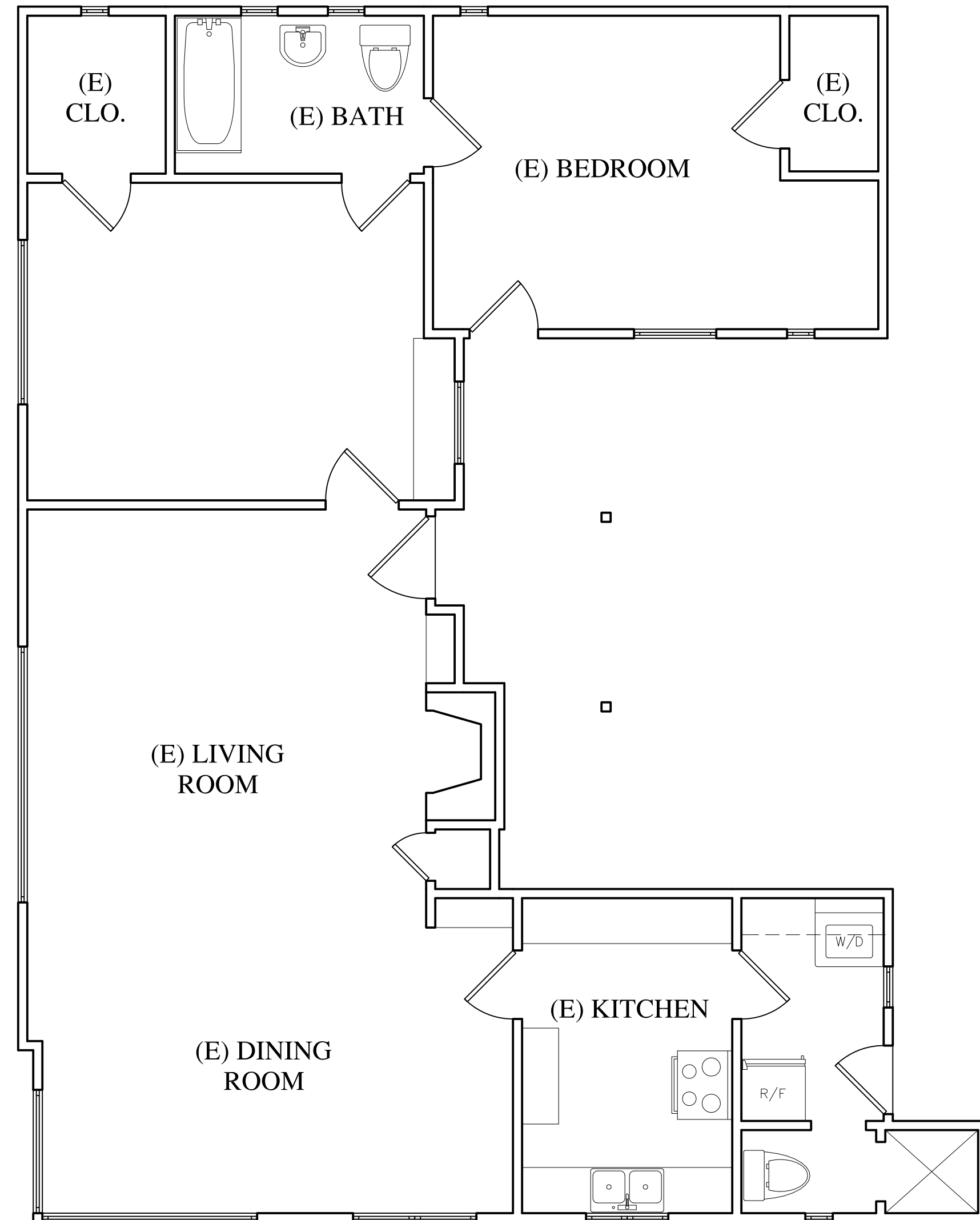
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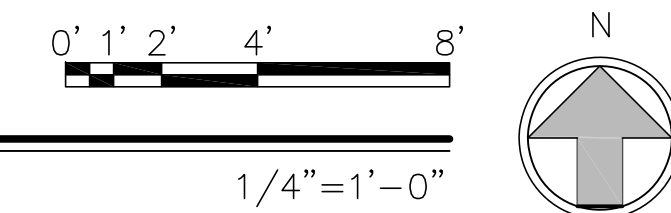
**EXISTING
MAIN LEVEL**

SHEET NO.

E2.0



EXISTING - MAIN LEVEL



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.



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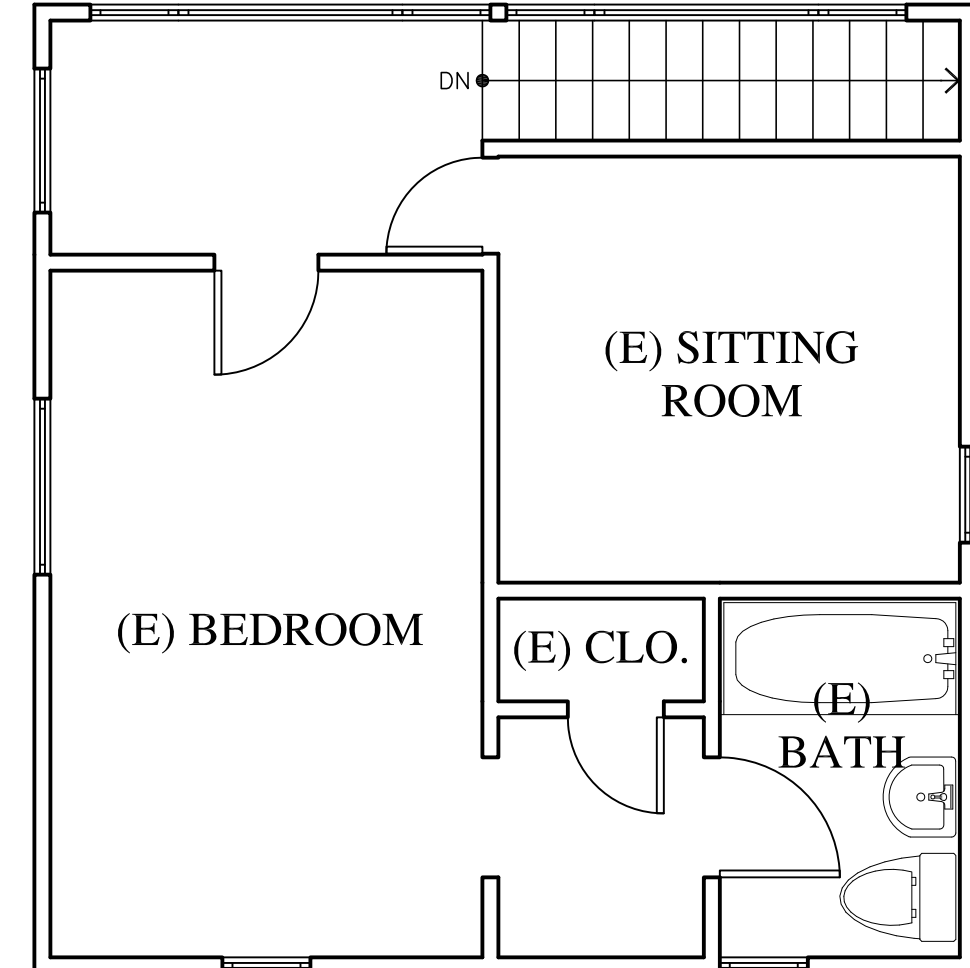
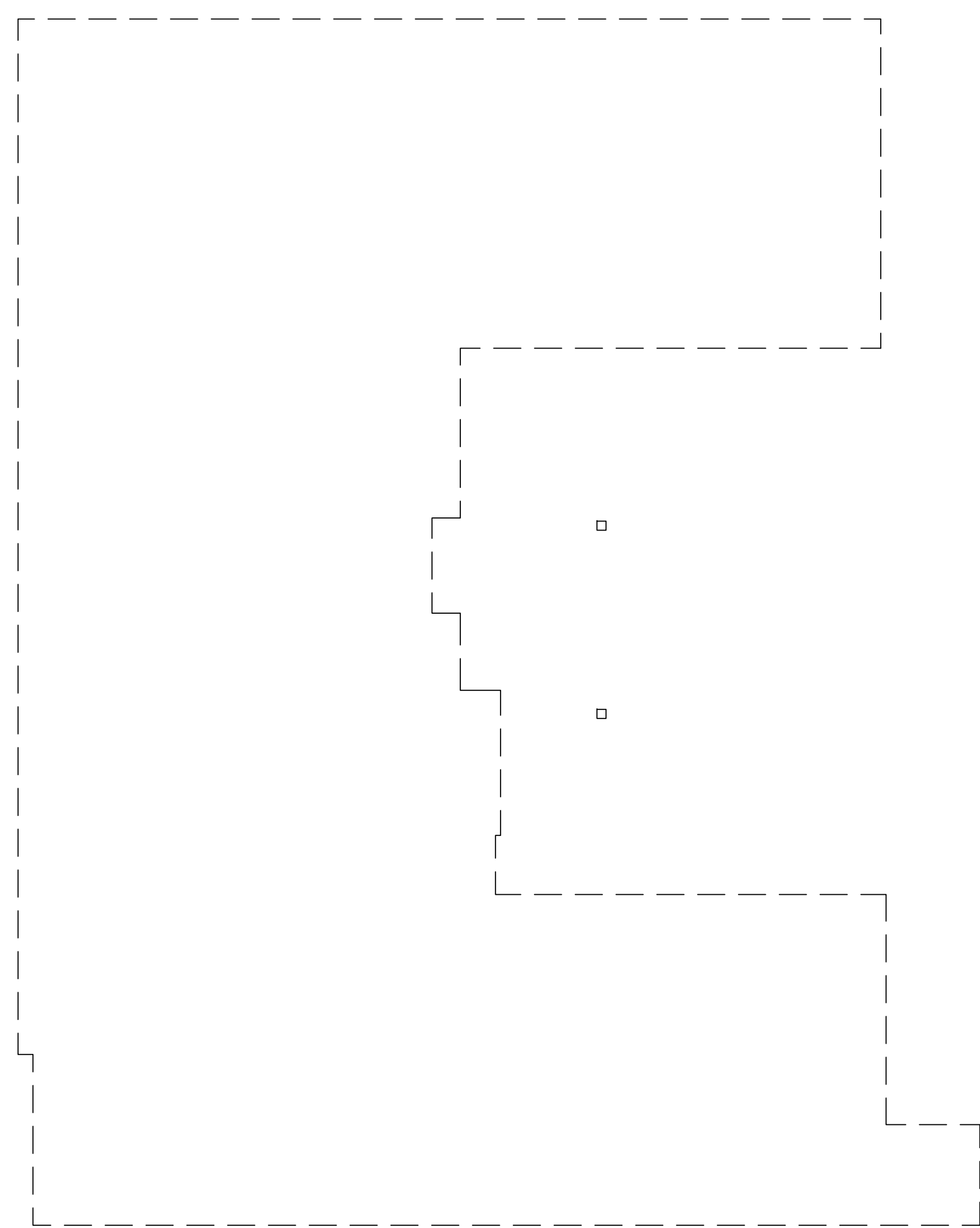
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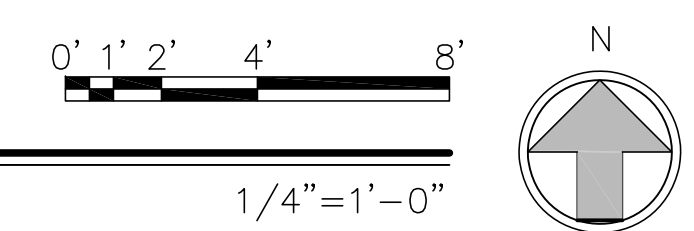
**EXISTING
UPPER LEVEL**

SHEET NO.

E3.0



EXISTING - UPPER LEVEL



1/4" = 1'-0"

WALL LEGEND

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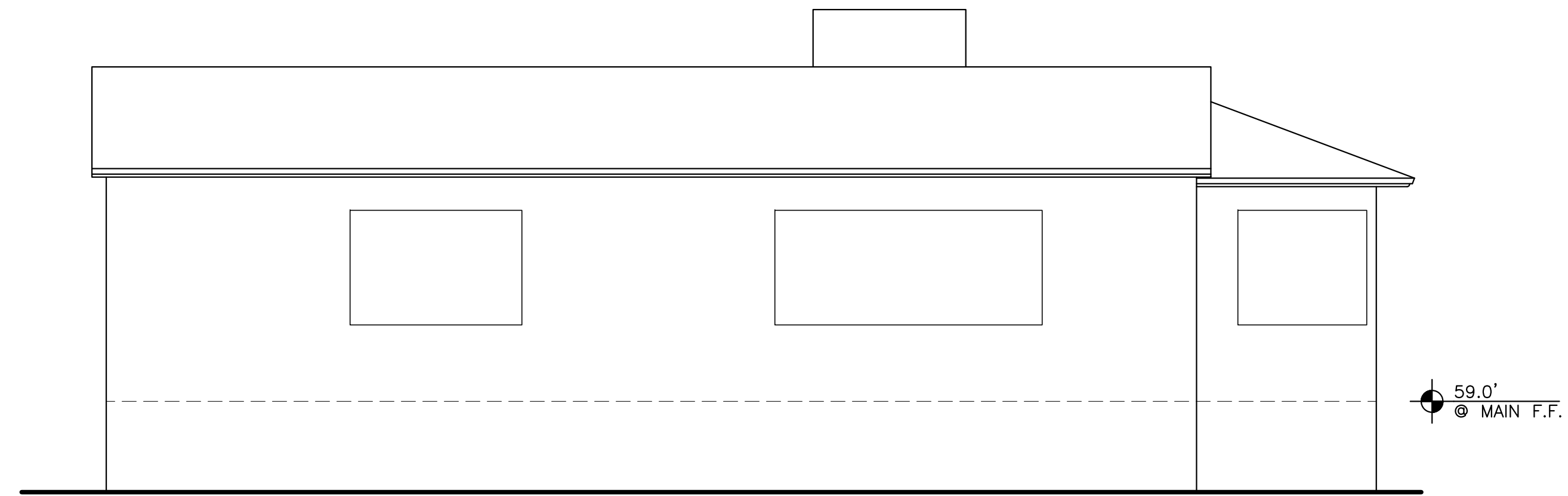
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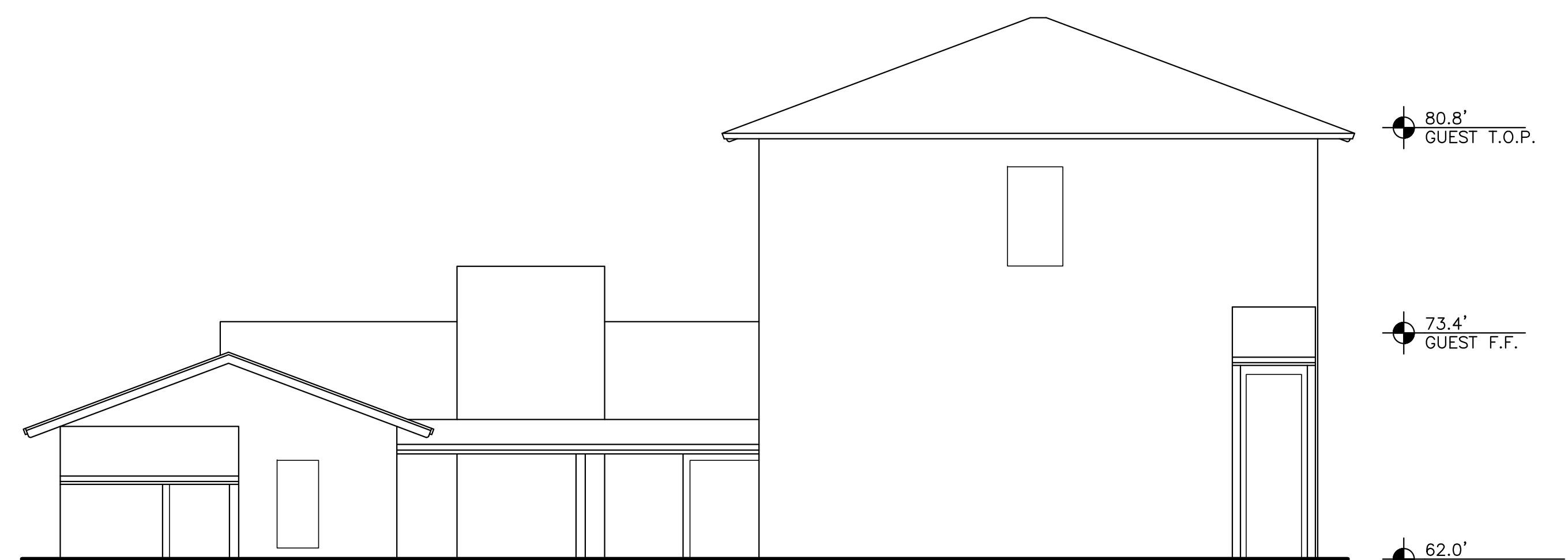
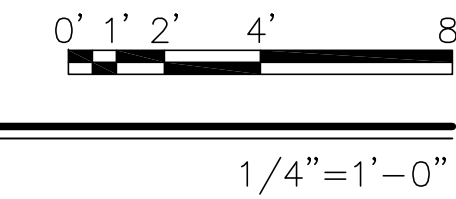
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ELEVATIONS**

SHEET NO.

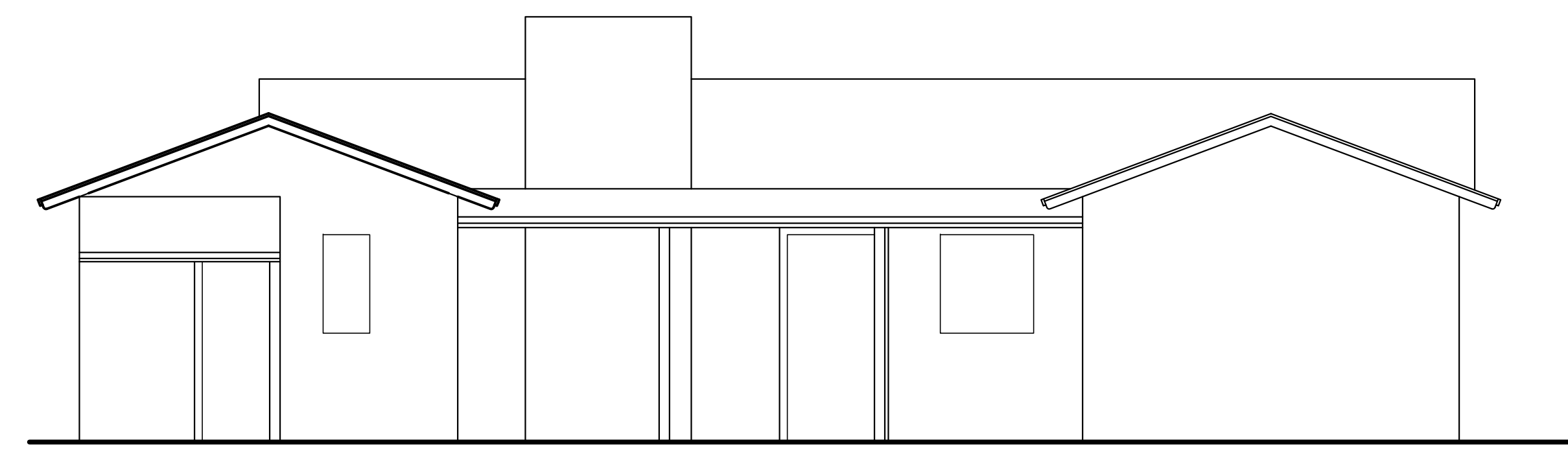
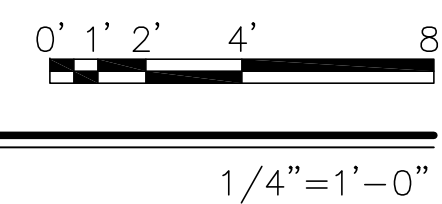
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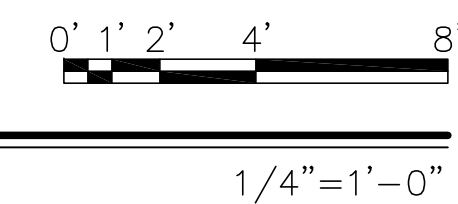
WEST ELEVATION



EAST ELEVATION



EAST COURTYARD ELEVATION





721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH ■ (831) 646-1261
FAX ■ (831) 646-1290
EMAIL ■ jemidg@jemidg.com
WEB ■ www.jemidg.com

DISCLAIMER:
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STAMPS:

PROJECT/CLIENT:

**MCCALLISTER
RESIDENCE**

PROJECT ADDRESS:

**3RD NW OF 8TH ON
SCENIC RD
CARMEL, CA
93923**

APN: 010-312-014

DATE: MARCH 13, 2018

DESIGN APPROVAL

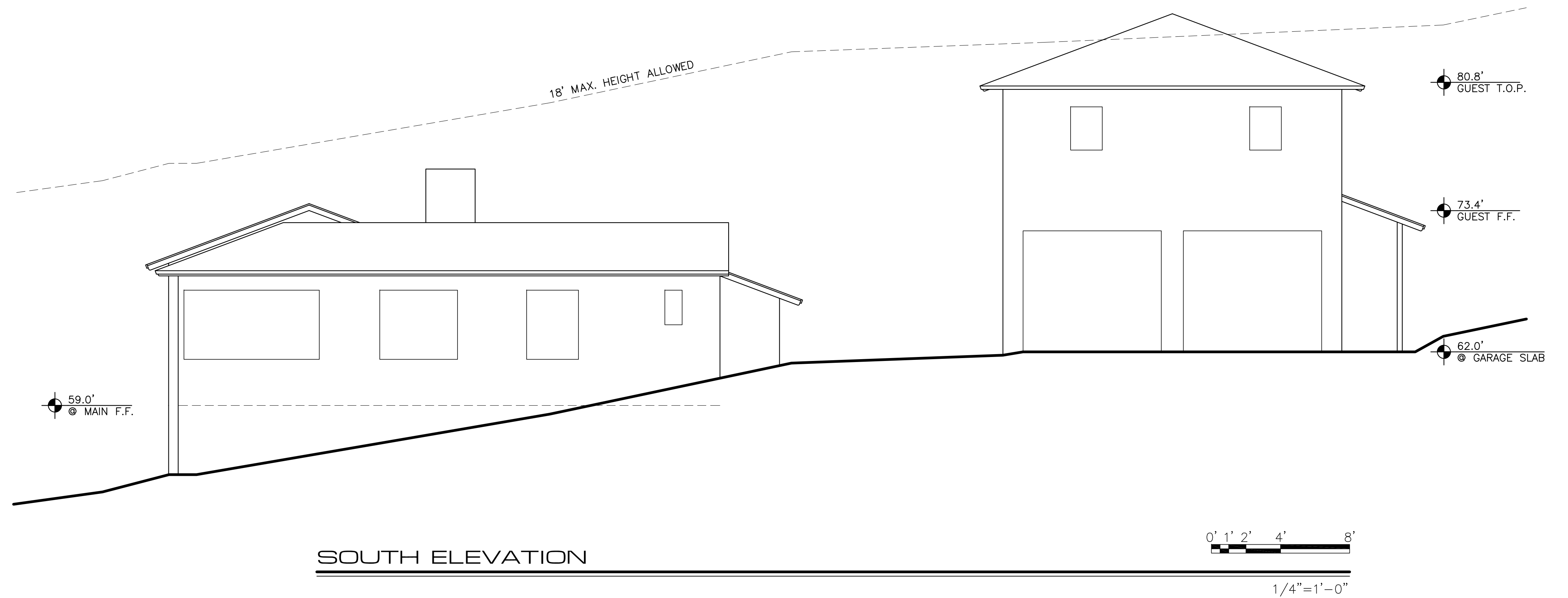
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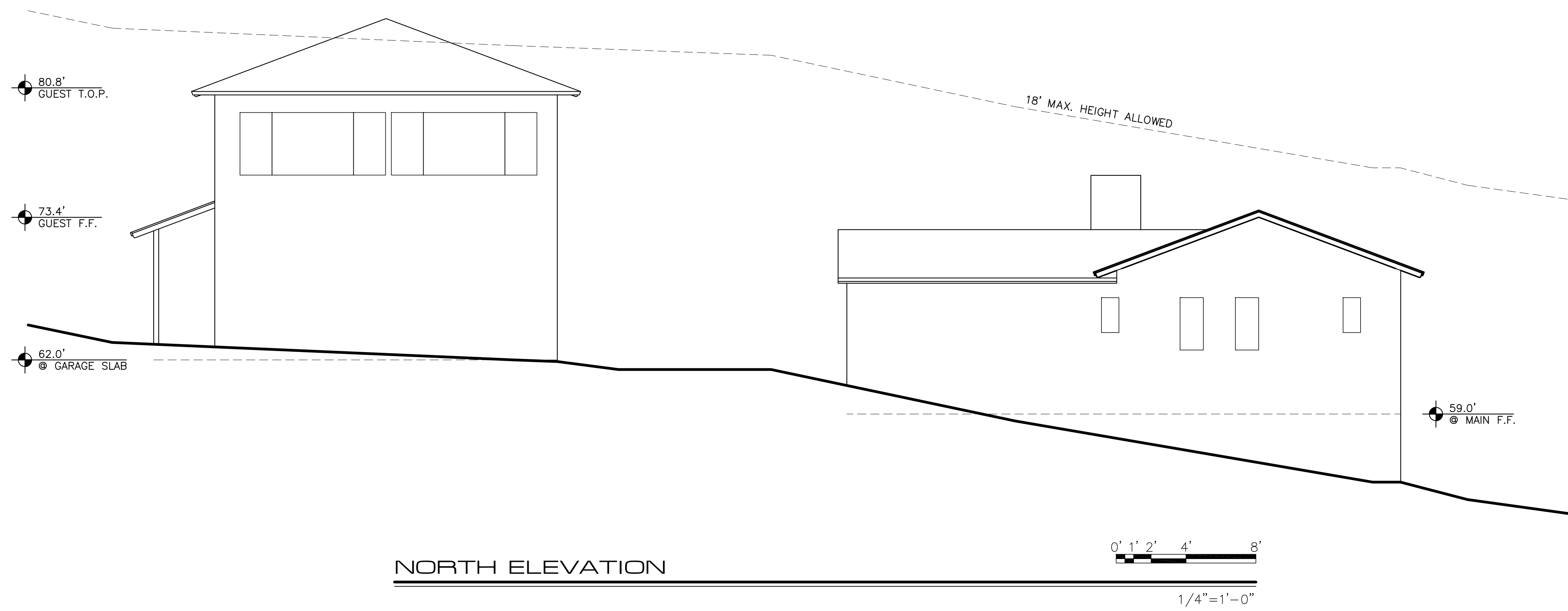
**EXISTING
ELEVATIONS**

SHEET NO.

E6.1



SOUTH ELEVATION



NORTH ELEVATION

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3RD NW OF 8TH ON
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CARMEL, CA
93923

APN: 010-312-014

DATE: ---

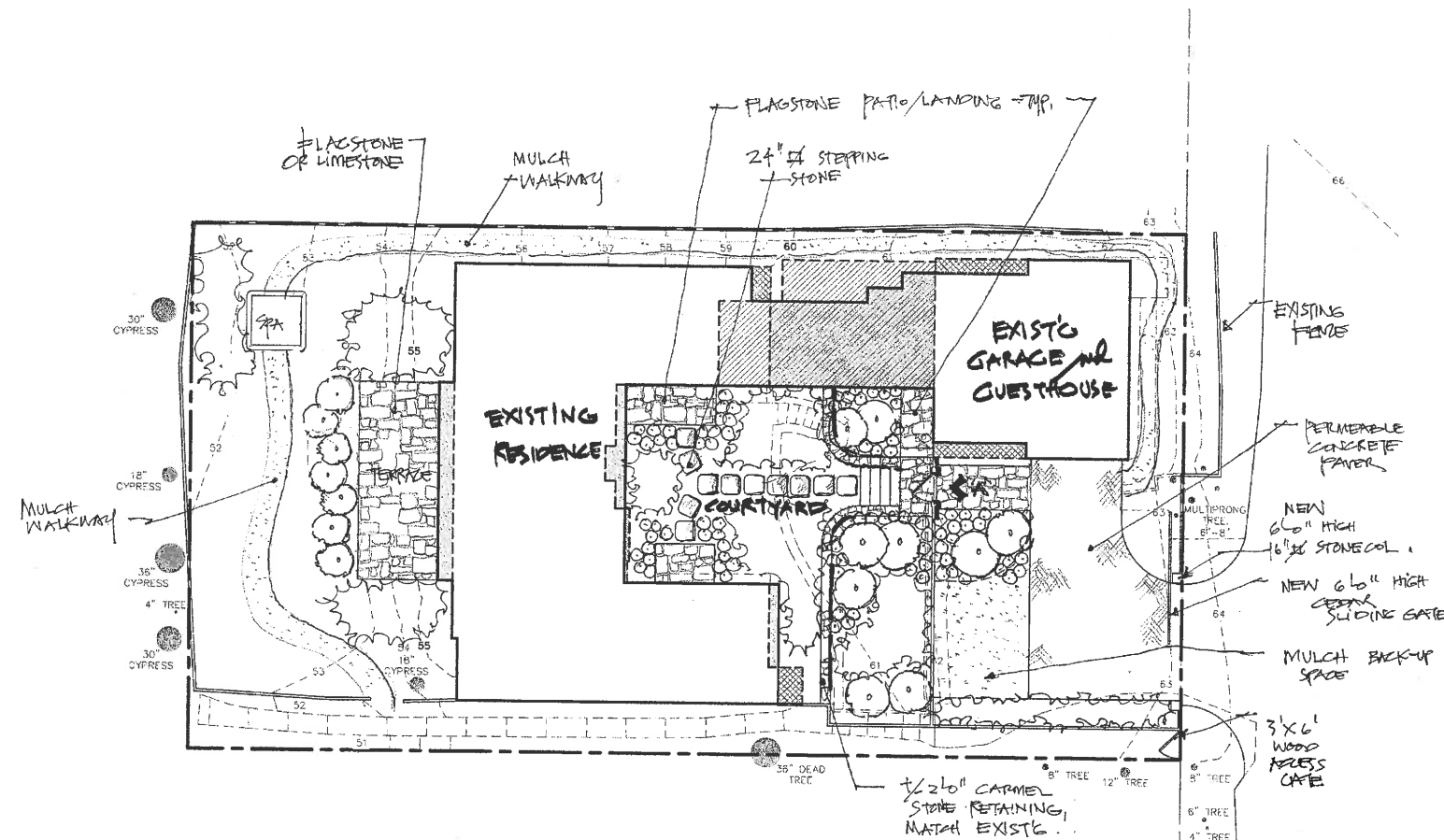
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**CONCEPTUAL
SITE PLAN**

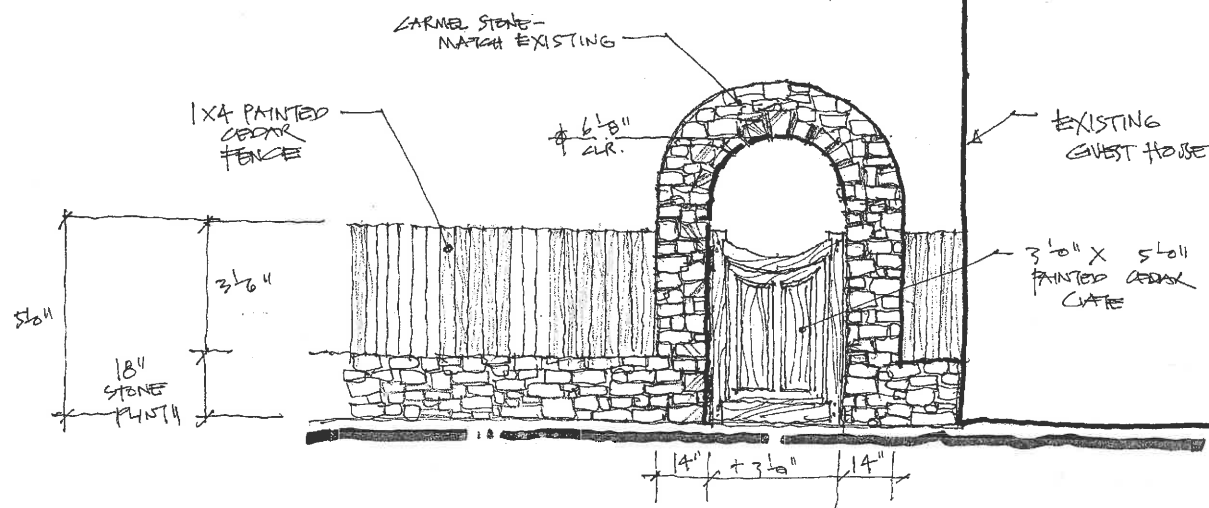
SHEET NO.

A1.1



CONCEPTUAL LANDSCAPE PLAN

1/8"sc.



'X' - GATE AND FENCE ELEVATION

1/2"sc.



CITY OF CARMEL-BY-THE-SEA

Planning Commission Staff Report

June 13, 2018

To: Chair LePage and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Marnie R. Waffle, Senior Planner

Subject: Consideration of a Combined Concept and Final Design Study (DS 18-110) and associated Coastal Development Permit for additions to an existing residence located at the northwest corner of Santa Rita Street and 2nd Avenue in the Single-Family Residential (R-1) Zoning District.

Application: DS 18-110	APN: 010-027-009
Location: NW Cor. Of Santa Rita & 2 nd Ave	
Block: 15	Lot(s): 19 & S. ½ of 17
Applicant: Darren Davis	Property Owner: James & Cheryl Cox

EXECUTIVE SUMMARY

The applicant is requesting approval of a combined Concept and Final Design Study and associated Coastal Development Permit to construct additions totaling 1,163 square feet. The additions include, a single car attached garage; master bedroom walk-in closet; laundry room; foyer at the entry; and, a bathroom. All existing site coverage would be removed and new site coverage and landscaping installed. The project is located at the northwest corner of Santa Rita Street and 2nd Avenue in the R-1 Single Family Residential District.

RECOMMENDATION

Staff recommends that the Planning Commission approve the combined Concept and Final Design Study (DS 18-110) and associated Coastal Development Permit subject to the attached Findings for Approval and Conditions of Approval (Attachments 3 and 4).

BACKGROUND AND PROJECT DESCRIPTION

The project site is currently developed with a 1,268-square foot one-story residence with a 414-square foot two-car attached garage. The property is 6,000 square feet in size and contains two significant oak trees. A Final Determination of Historic Ineligibility was issued on May 31, 2018.

The applicant is proposing to convert the existing two-car attached garage into a new master bedroom and construct an addition on the south elevation to include a new walk-in closet,

laundry room and single-car attached garage. Other minor additions include a new foyer at the entry and a new bathroom adjacent to bedroom 3 (currently a study). The additions would total 1,163 square feet and the expanded residence would be 2,431 square feet. The maximum allowed floor area is 2,460 square feet.

Staff has scheduled this application for a combined concept and final review. If the Commission has concerns that cannot be addressed at one meeting the project can be continued to another hearing.

STAFF ANALYSIS

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourages preserving significant trees and minimizing impacts on established trees; protecting the root systems of all trees to be preserved; and, maintaining a forested image on the site.

The site contains two significant oak trees (15" and 7"). The new single car garage and laundry room addition will be in close proximity to the 6-foot tree protection zone of the 15" oak tree. The applicant is proposing a cantilevered foundation at the laundry room addition to ensure there is no encroachment into the tree protection zone. Additionally, Condition of Approval No. 6 requires that all foundations within 15 feet of significant trees be excavated by hand (refer to Attachment 4). The City Forester is requiring that one upper canopy tree be planted. With the application of conditions of approval, the proposed project meets the objectives of preserving the forest character.

Privacy and Views: Residential Design Guidelines 5.1 through 5.3 encourages designs that preserve reasonable privacy for adjacent properties and maintain view opportunities to natural features.

Staff has not identified any view or privacy impacts as a result of the proposed project.

Parking and Access: Residential Design Guidelines 6.1 through 6.7 encourages subordinate parking facilities that do not dominate the design of the house or site; minimizing the amount of paved surface for a driveway; positioning garages to maximize open space, views and privacy; and, minimizing visual impacts.

The project site currently contains an attached two-car garage that is setback approximately 30 feet from the side lot line. The existing garage would be converted to a new master bedroom. Additions on the south elevation of the existing garage would include a new walk-in closet and a new single car attached garage. The single car garage would satisfy the parking requirement for one, on-site parking space. The new garage would be setback 7'-5" from the street side lot line and would be accessed from a new 9-foot wide driveway of sand set pavers. The total area

of the new driveway would be 68 square feet. The project meets the objectives of parking and access.

Mass and Bulk: Residential Design Guidelines 7.1 through 7.7 encourages a building's mass to relate to the context of other homes nearby; minimize the mass of a building as seen from the public way or adjacent properties; and, relate to a human scale in its basic forms.

The existing residence and the proposed additions are both one-story and maintain low, horizontal building forms that hug the ground. The highest ridge would be 4 inches taller than existing conditions at 15'-2" with remaining ridge heights at less than 15' (the maximum permitted is 18'). The proposed project meets the objectives of mass and bulk.

Building and Roof Form: Residential Design Guidelines 8.1 through 8.5 encourages traditional building forms; using restraint with variations in building planes; using simple roof forms that are in proportion to the scale of the building; and, roof eave lines that are low in scale.

The existing one-story building and roof form is simple and maintains a low profile. The proposed additions would maintain this simplicity. Two new roof forms, a gable over the new single car garage and a hip over the new foyer and front porch, would be added on the south elevation. A new gable roof form is also proposed on the east elevation. All new roof forms are proportionate to the residence. The project meets the objectives of building and roof form.

Site Coverage: Existing site coverage includes a gravel driveway, paver walkways and patios, and stepping stone pathways. All existing site coverage would be removed and replaced with a maximum of 781 square feet of site coverage of which 577 square feet would be permeable and 204 square feet impermeable. New site coverage elements include a 9-foot wide sand set driveway, a sand set paver walkway and patio with gas fire pit, a concrete stone porch at the front entry and concrete stone landings at bedroom 3 and the master bedroom. The remainder of the site would be landscaped. The City Forester reviewed the preliminary landscape plan and found it to be in compliance with City standards.

Right-of-way Character: Residential Design Guidelines 1.5 through 1.7 encourages maintaining an informal open space character of the right-of-way; maintaining trees and natural vegetation; and, designing parking areas to reinforce the forest image.

The project site contains City right-of-way on two sides, Santa Rita Street and 2nd Avenue. Existing encroachments include a portion of a fence and medium sized rocks along Santa Rita Street. All right-of-way encroachments will be removed as part of the project. On the 2nd Avenue frontage, an existing decomposed granite pedestrian walkway and wooden split rail fence are located along the length of the project site terminating at an asphalt pad at the existing driveway. No changes are proposed within the right-of-way along 2nd Avenue. The proposed project meets the objectives of maintaining the informal character of the street.

Finish Details: The exterior wall cladding would be a combination of stucco and stone veneer. Condition of Approval No. 11 requires a broken course/random pattern or similar consistent with the Residential Design Guidelines and requires that all stone be wrapped around building corners and terminated at inside corners or another logical stopping point to provide a finished appearance (refer to Attachment 4). The existing composition shingle roof would be replaced with Presidential Shake asphalt shingles. Copper accent roofs with a natural finish would be incorporated at the new laundry room and at the bathroom for bedroom 3. All windows would be new Sierra Pacific or equal unclad wood with double pane glass. Refer to Attachment 6 for samples of the stone veneer, roof material and new windows. Condition of Approval No. 10 requires the two new skylights to contain non-reflective glass with solar shades and flashing to match the roof color (refer to Attachment 4).

Environmental Review: The project qualifies for a Class 1 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. Class 1 exemptions include additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet whichever is greater. The 1,163 square foot addition is more than 50 percent of the existing 1,682-square foot residence but is less than 2,500 square feet.

ATTACHMENTS

- Attachment 1 – Project Data Table
- Attachment 2 – Site Photographs
- Attachment 3 – Findings for Approval
- Attachment 4 – Conditions of Approval
- Attachment 5 – Project Plans
- Attachment 6 – Material Specifications

PROJECT DATA TABLE

PROJECT DATA FOR A 6,000 SQUARE FOOT SITE			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,460 SF (41%)	1,682 SF	2,431 SF
Site Coverage	541 SF/781 SF	Unknown*	781 SF
Trees (Upper/Lower)	4/3	0/2	1/2
Ridge Height (1 st /2 nd)	18'/24'	14'-10"/NA	15'-2"
Plate Height (1 st /2 nd)	12'/18'	11'-1"/NA	10'-9"/NA
Setbacks	Minimum Required	Existing	Proposed
Front	15'	15'	15'
Composite Side Yard	15' (25%)	27'-3"	15'
Side Yard	3'	7'-7"	3'7"
Street Side Yard	5'	19'-8"	7'-5"
Rear	15'/3'***	5'	3'

*All existing site coverage to be removed.

**The rear setback is three feet for those portions of structures less than 15 feet in height.



Photo 1. Santa Rita Street Right-of-Way



Photo 2. Second Avenue Right-of-Way



Photo 3. Existing Two-Car Garage and Gravel Driveway



Photo 4. Existing Front Entry



Photo 5. East Elevation



Photo 6. East/North Elevation (Existing Study)

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45)		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. As conditioned, the project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees unless otherwise agreed upon by the City Forester.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	

10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):

1. Local Coastal Program Consistency: The project conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. Approval of Design Study (DS 18-110) authorizes the construction of additions to an existing residence totaling 1,163 square feet and associated site improvements as shown on the plans prepared by Draftect dated received May 21, 2018, unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Landscape Plan. All new landscaping shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. <u>The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.</u>	✓
5.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate. All remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. The City Forester or his/her designee may reduce the area of hand digging if it is determined that a significant tree would not be impacted. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water	✓

	Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	
8.	Modifications. The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for compliance with the approved plans prior to final inspection.	✓
9.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground. All fixtures shall be shielded and down facing.	✓
10.	Skylights. All skylights shall be constructed of non-reflective glass to minimize the amount of light and glare visible from adjoining properties. All skylight flashing shall match the roof color or be painted to match. Skylight shades shall be installed to reduce visible light transmission during the hours of darkness.	✓
11.	Stone Facades (including chimneys). Stone façades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to full installation of stone during construction, the applicant shall install a 10-square foot section on the building and schedule an inspection with Planning staff to ensure conformity with City standards. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by Planning staff.	✓
12.	Unclad Wood Frame Windows. The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of	✓

	Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
14.	Driveway. The driveway material shall extend beyond the property line into the public right-of-way as needed to connect to the paved street edge. A minimal asphalt connection (typically 3 feet) at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	Volume Study. This project is subject to a volume study.	✓
16.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
17.	Storm Water Drainage Plan. The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
18.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
19.	Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
20.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓

21.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Special Conditions		
22.	Tree Planting Required. The applicant shall plant one upper canopy on-site. Final location shall be determined in consultation with the City Forester.	✓
23.	Removal of Right-of-Way Encroachments. The applicant shall remove all right-of-way encroachments prior to final inspection.	✓

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

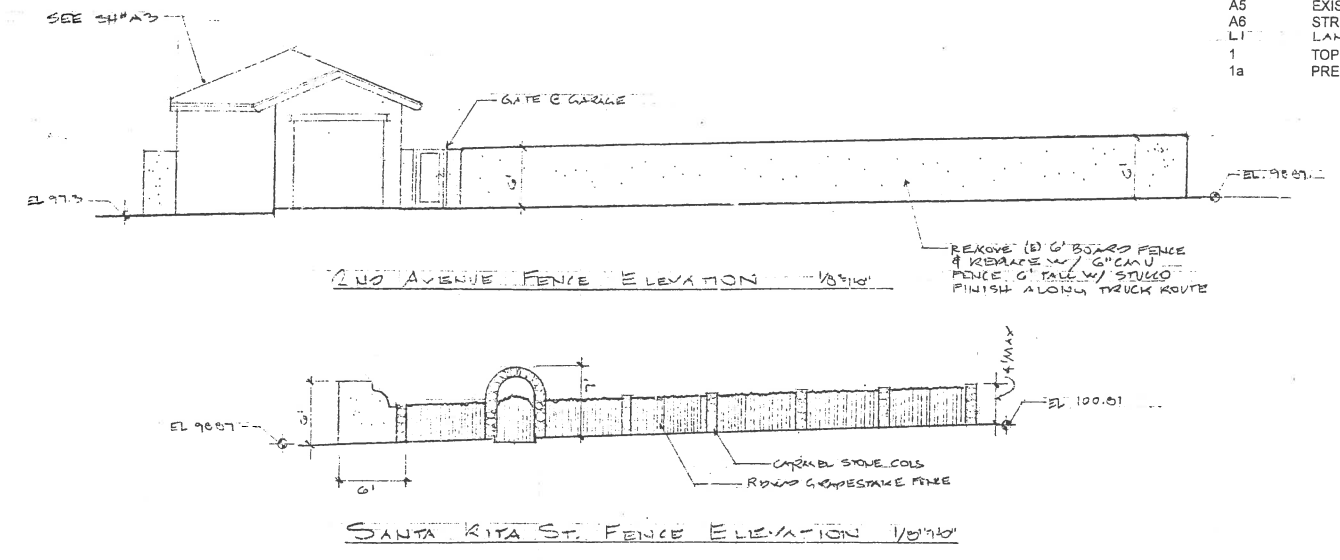
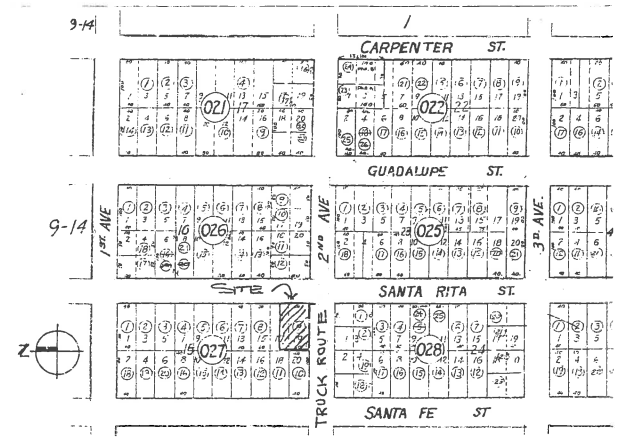
Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

PLAN INDEX

SHEET	DESCRIPTION
A1	SITE PLAN W/ TAKE DOWN
A2	PROPOSED FLOOR PLAN
A3	PROPOSED EXTERIOR ELEVATIONS
A4	PROPOSED ROOF PLAN
A5	EXISTING HOUSE PLAN, ROOF, & ELEV.
A6	STREET ELEVATIONS SCHEMATIC
L1	LANDSCAPE PLAN
1	TOPOGRAPHIC SURVEY MAP
1a	PRELIMINARY SITE ASSESSMENT MAP



FLOOR AREA (MAX 2460 SF)

EXIST. HOUSE	1265 SF
ADDITION TO HOUSE	906
ADD GARAGE	257
TOTAL	2431
LOT AREA	6000
	= 41%

FOOTPRINT CHANGE

EXIST. FOOTPRINT	1682 SF
ADD. TO FOOTPRINT	749
TOTAL	2431
	+ 45%

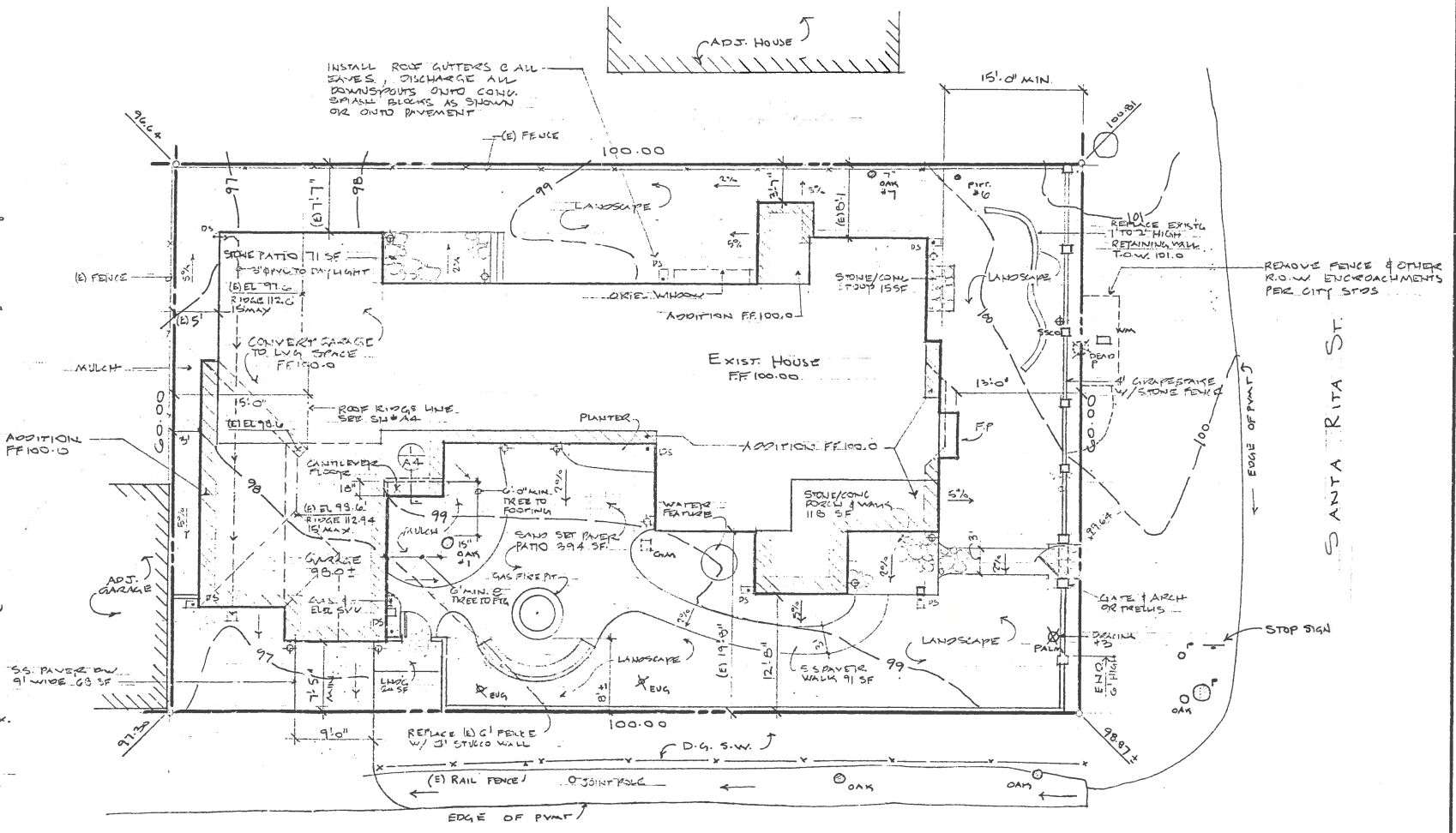
SITE COVERAGE (MAX 731 SF)

DESCRIPTION	FORM.	IMPERM.	TOTAL
PAVER DW (9x12)	65		
PAVER LN 24	24		
PAVER PATIO	294		
PAVER WALK	91		
STONE PORCH/WALK		118	
STONE STOP		15	
STONE PATIO		71	
TOTAL	577	204	731 SF

TAKE DOWN NOTES

REMOVE ALL EXISTING SITE COVERAGE INCLUDING PAVERS, PATIOS, STOPS, GRAVEL, ASPHALT, & STEPPING STONES. INSTALL NEW LAND COVERAGE AS SHOWN.

- NOTES
- NO GREASING
 - LANDSCAPE TO BE REPAIRED AS NEW
 - ED. DENOTES EYELIGHTS, 25% MAX, 375 LUMENS MAX.
 - REMOVE (2) EUGENIA TREES, (1) YEW TREE (1) PALM TREE
 - PROTECT OAK TREES
 - REMOVE ALL RIGHT OF WAY ENCROACHMENTS.



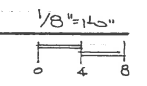
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MAY 21 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

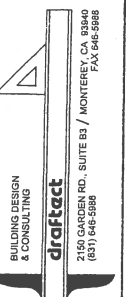


SITE PLAN W/ TAKE DOWN



REVISIONS

NO.	DATE	BY
1	2-27-18	D
2	3-13-18	D
3	4-20-18	D
4	5-15-18	D



COX RESIDENCE
N/W CORNER OF 2ND AVE. & SANTA RITA ST.
CARMEL-BY-THE-SEA
APN: 010-027-009-000 BL. 15, LOT 17, 19
PH: 562-400-0734 OR 562-480-5514

Date: 5.15.17

Scale:

Drawn:

Job: 08-2018

Sheet: 208

Of 9 Sheets

WINDOW SCHEDULE

ALL WINDOWS ARE NEW SIERRA PACIFIC OR EQUAL, ALL WOOD INTERIOR AND EXTERIOR (UN-CLAD) WITH DOUBLE PANE GLASS. SIZES AND TYPE ARE NOTED AT EACH OPENING IN FEET AND INCHES, WIDTH X HEIGHT

EXAMPLE: 2030 = 2'-0" WIDE X 3'-0" HIGH

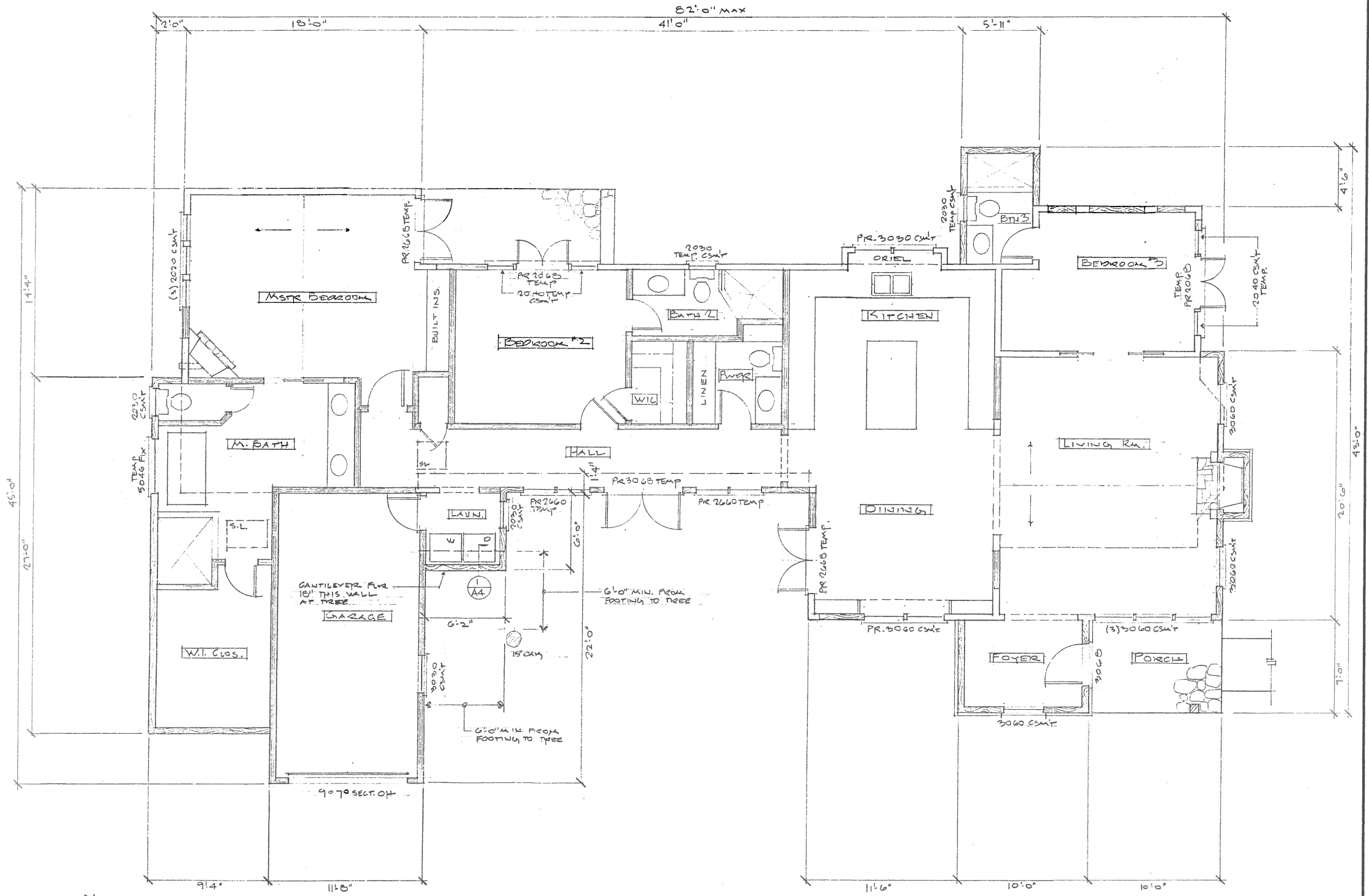
EXTERIOR DOOR SCHEDULE

ALL EXTERIOR FRENCH DOORS ARE NEW SIERRA PACIFIC OR EQUAL, ALL WOOD INTERIOR AND EXTERIOR (UN-CLAD) WITH DOUBLE PANE SAFETY TEMPERED GLASS. SIZES ARE NOTED AT EACH OPENING IN FEET AND INCHES, WIDTH X HEIGHT.

EXAMPLE: PR. 3068 = 3'-0 WIDE X 6'-8" HIGH

WALL LEGEND

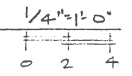
EXIST. STUD WALLS	
NEW 2x4 STUD WALLS	
NEW 2x6 STUD WALLS	



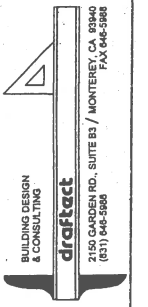
PROPOSED FLOOR PLAN

FLOOR AREA

HOUSE	2174 SF
GARAGE	297 SF



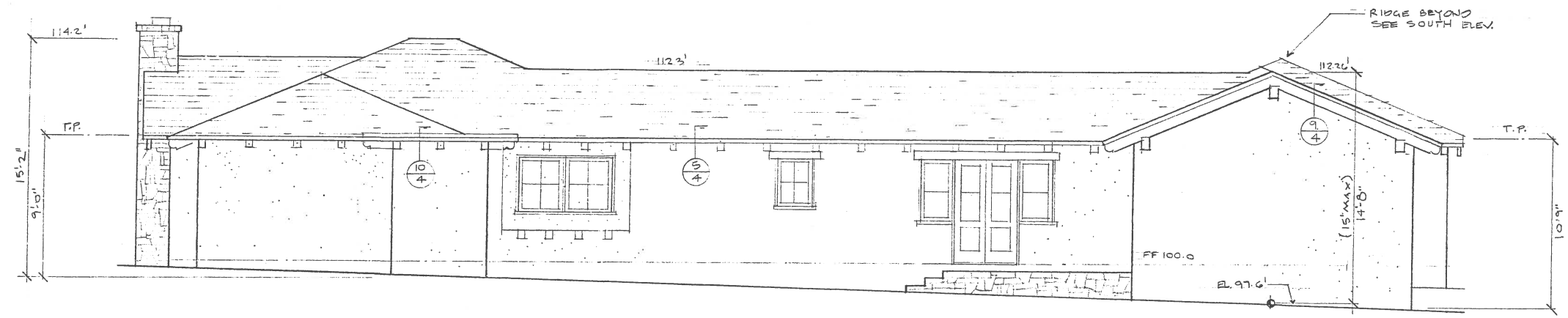
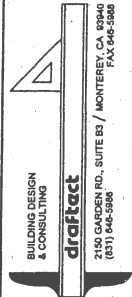
REVISIONS	BY
2-27-18	D
3-13-18	D
4-20-18	D
5-18-18	D



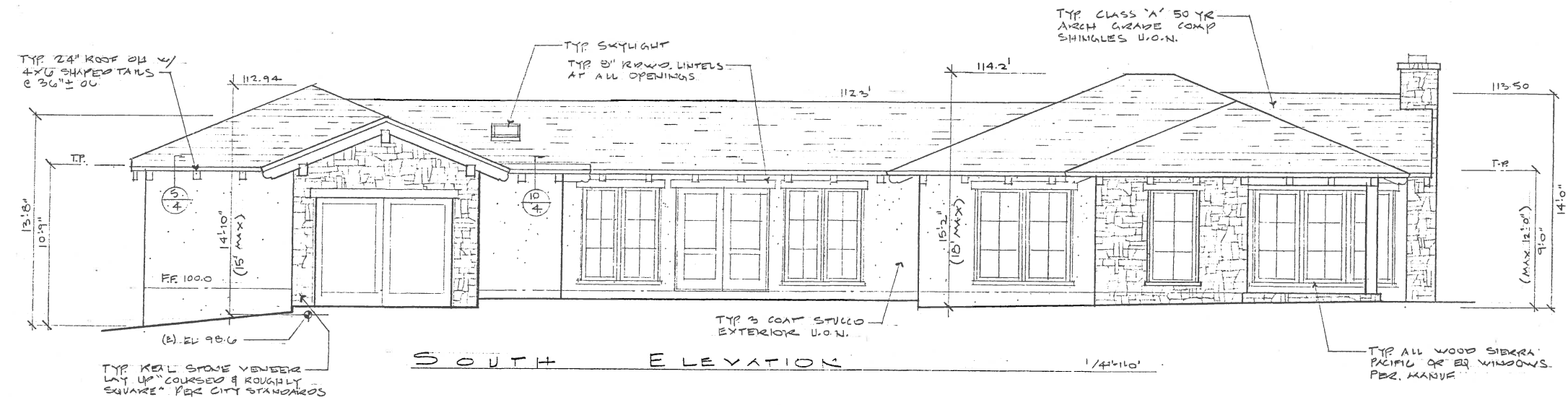
COX RESIDENCE
NW CORNER OF 2ND AVE. & SANTA RITA ST.
CARMEL-BY-THE-SEA
APN: 010-027-009-000 BL. 15, LOT 17, 19
PH: 562 400-0734 OR 562 480-5514

Date	2-5-18
Scale	
Drawn	
Job	06-2018
Sheet	209
Of	Sheets

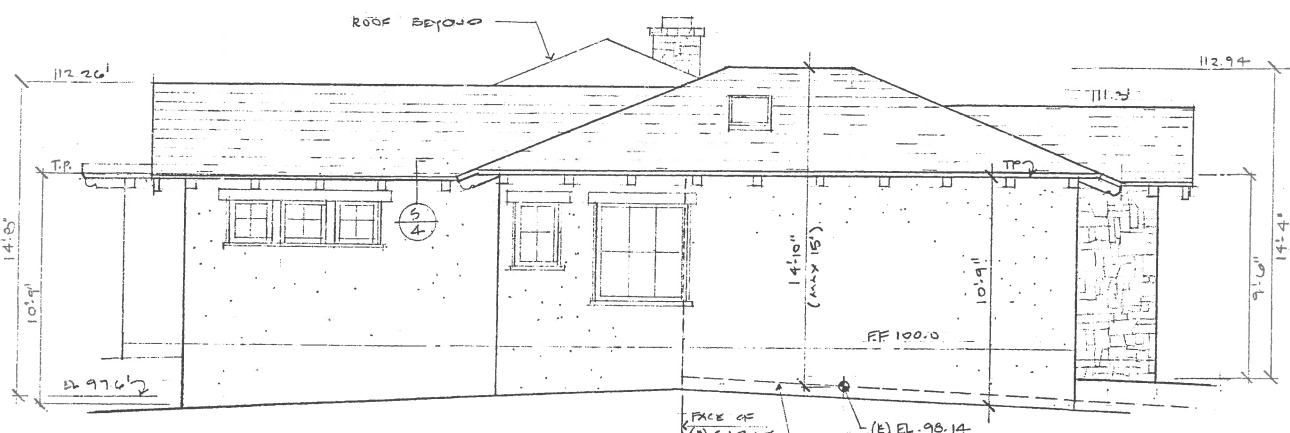
REVISIONS	BY
3-13-18	D
4-20-18	D
5-18-18	D



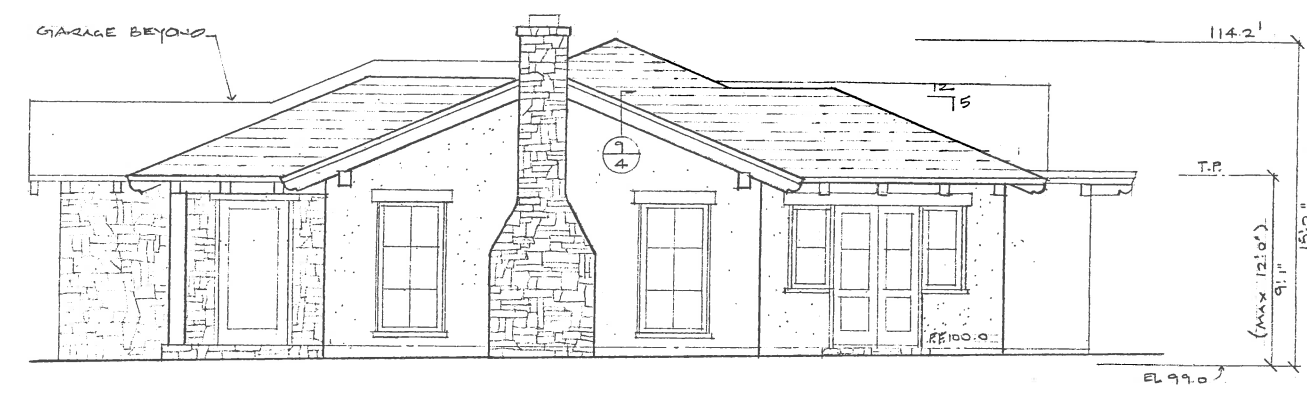
NORTH ELEVATION 1/4"=1'-0"



SOUTH ELEVATION 1/4"=1'-0"



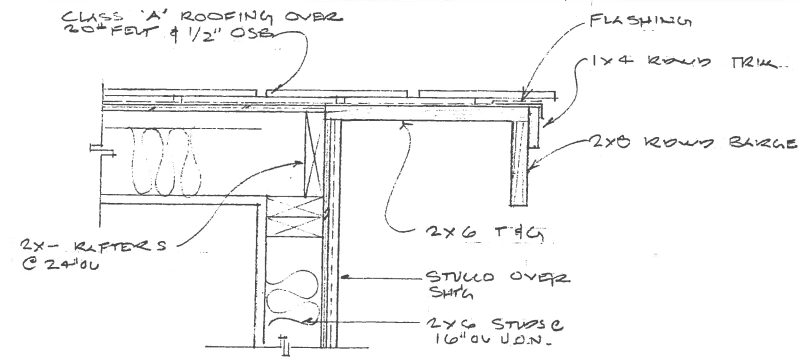
WEST ELEVATION 1/4"=1'-0"



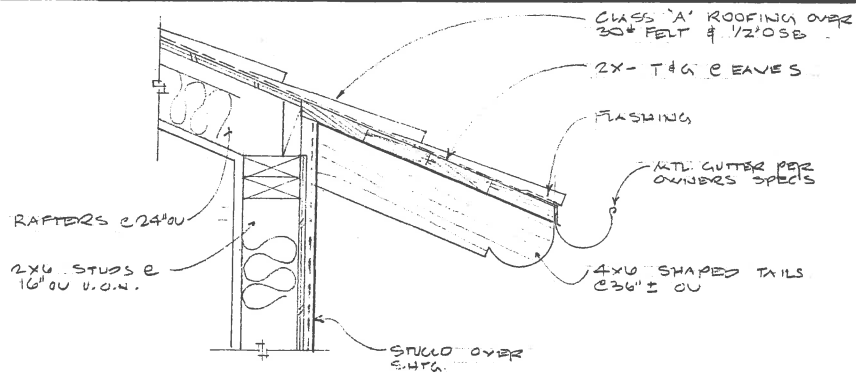
EAST ELEVATION 1/4"=1'-0"

COX RESIDENCE
 NW CORNER OF 2ND AVE. & SANTA RITA ST.
 CARMEL-BY-THE-SEA
 APN: 010-027-009-000 BL. 15, LOT 17, 19
 PH: 562 400-0734 OR 562 480-5514

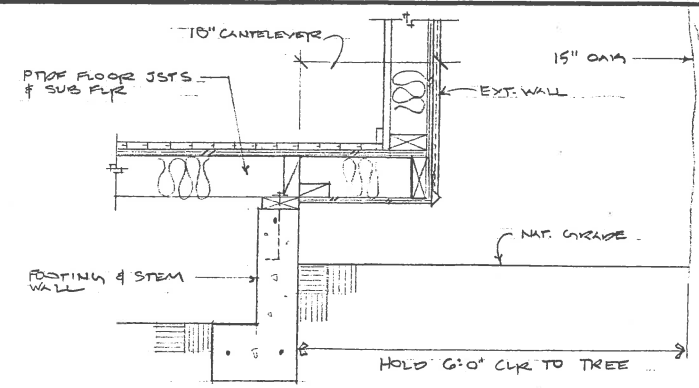
Date 2-27-18
 Scale
 Drawn
 Job 08 2018
 Sheet
 10
 Of Sheets



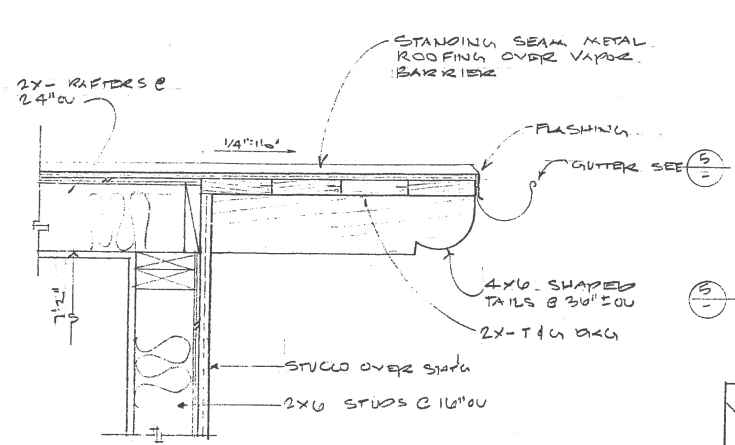
GABLE 1/2"=1'-0"



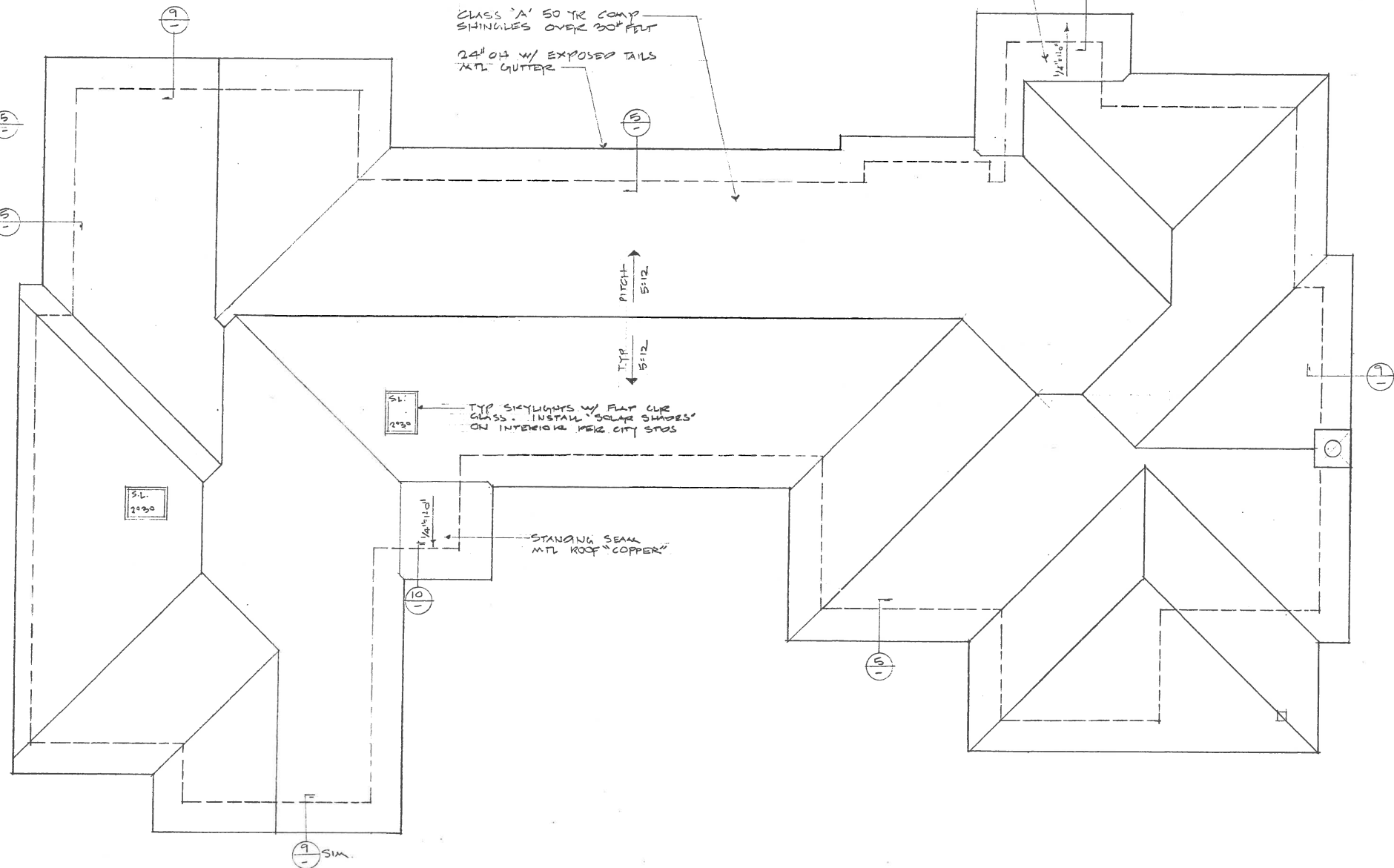
EAVE 1/2"=1'-0"



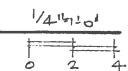
CANTILEVER AT OAK TREE 1"=1'-0"



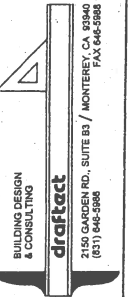
EAVE @ LAUN. & BATH #3 1/2"=1'-0"



PROPOSED ROOF PLAN



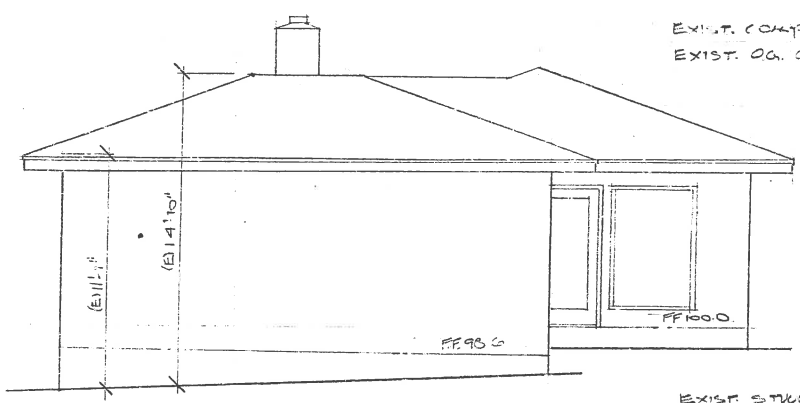
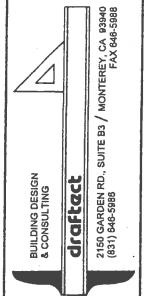
REVISIONS	BY
4-20-13	D
5-15-13	D



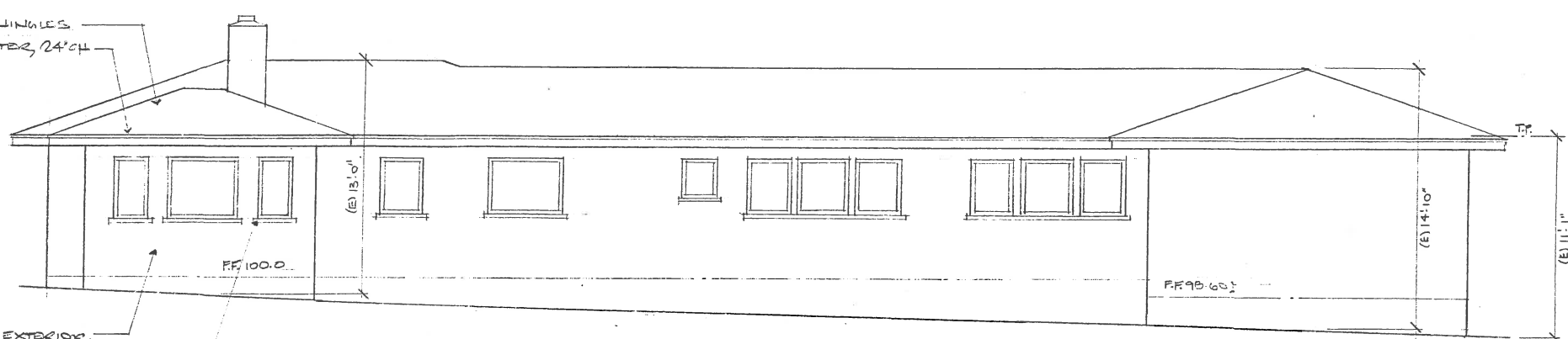
COX RESIDENCE
 N/W CORNER OF 2ND AVE. & SANTA RITA ST.
 CARMEL-BY-THE-SEA
 APN: 010-027-009-000 BL. 15, LOT 17, 19
 PH: 562 400-0734 OR 562 480-5514

Date 2-22-13
 Scale
 Drawn
 Job 08 2013
 Sheet
 Of 24 Sheets

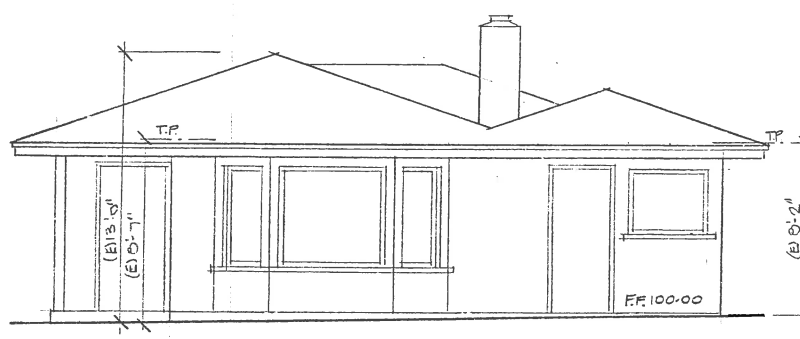
REVISIONS	BY
4-29-15	D
5-16-15	D



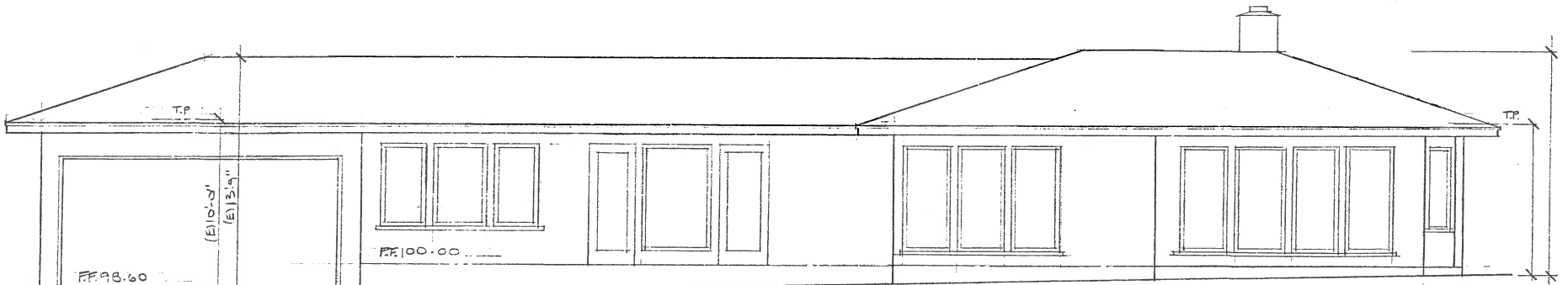
EXISTING WEST ELEVATION 1/4"=1'-0"



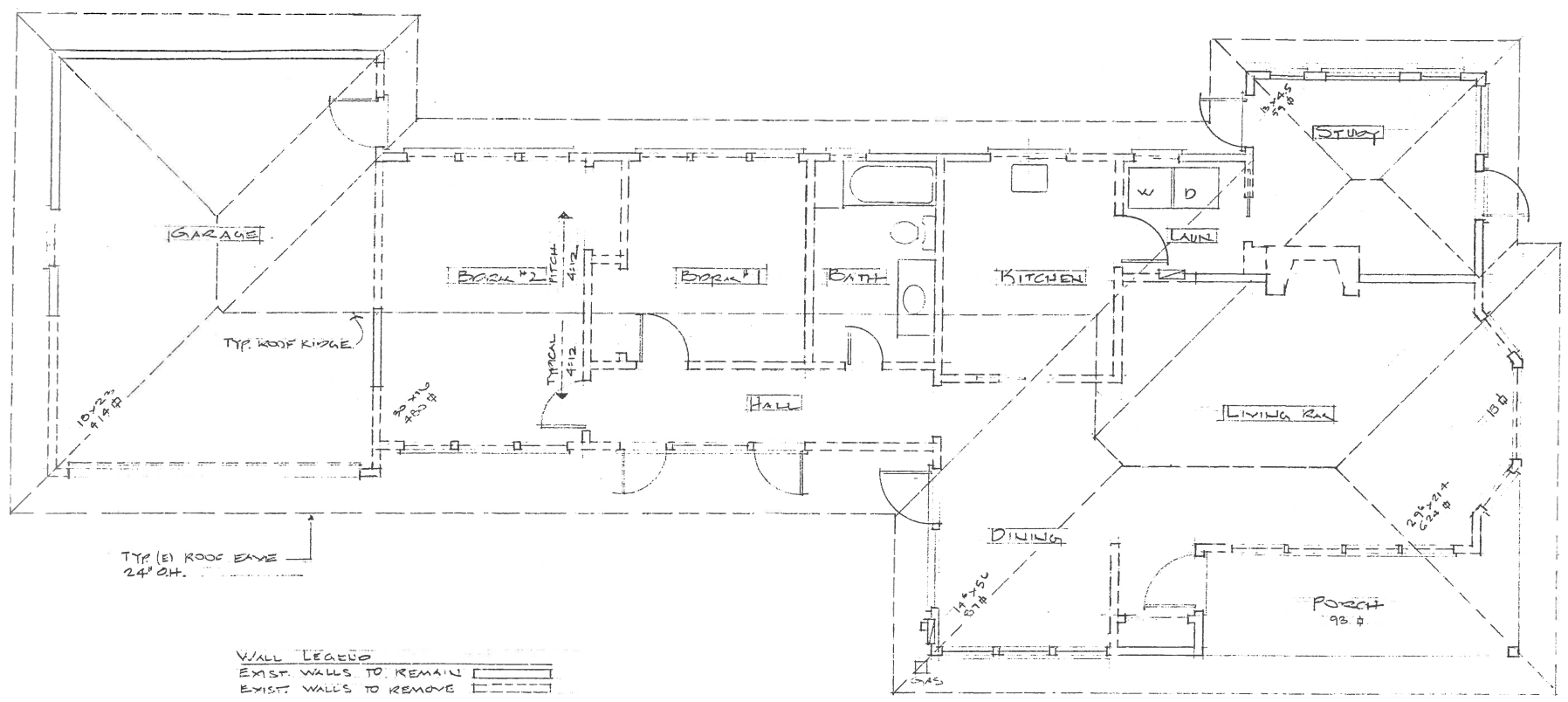
EXISTING NORTH ELEVATION 1/4"=1'-0"



EXISTING EAST ELEVATION 1/4"=1'-0"



EXISTING SOUTH ELEVATION 1/4"=1'-0"



WALL LEGEND
 EXIST. WALLS TO REMAIN
 EXIST. WALLS TO REMOVE



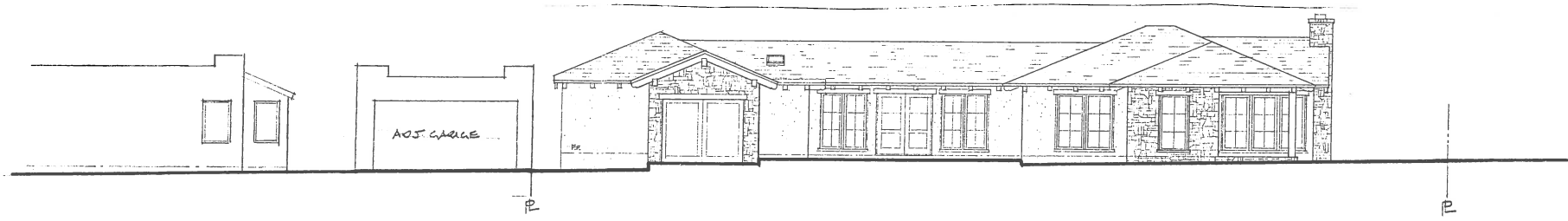
EXISTING FLOOR PLAN w/ ROOF PLAN

1/4"=1'-0"	(E) HOUSE	1265
0 2 4	(E) GARAGE	414
		1682

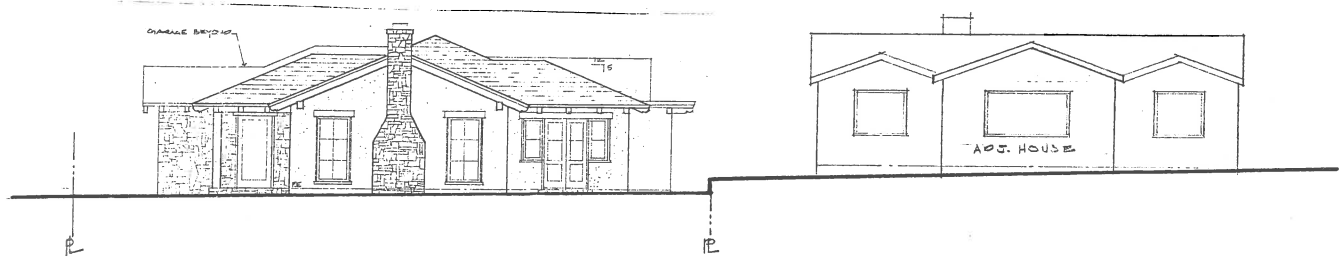
COX RESIDENCE
 N/W CORNER OF 2ND AVE. & SANTA RITA ST.
 CARMEL-BY-THE-SEA
 APN: 010-027-009-000 BL. 15, LOT 17, 19
 PH: 562-400-0734 OR 562-480-5514

Date	3-13-15
Scale	
Drawn	
Job	05-2015
Sheet	212
Of	Sheets

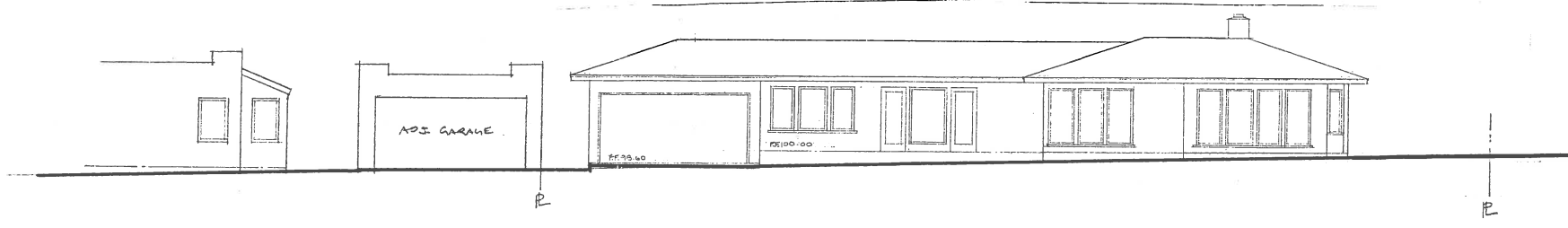
REVISIONS	BY
4-20-10	D
5-10-10	D



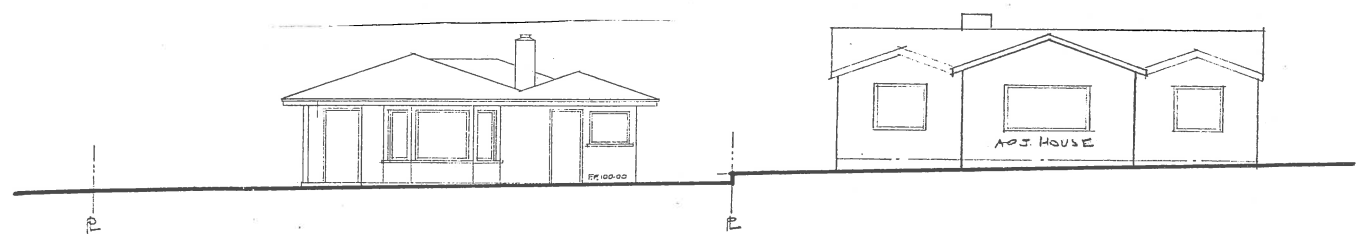
PROPOSED 2ND AVE STREET ELEV.



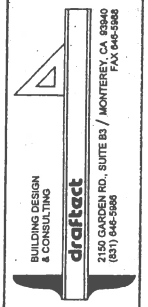
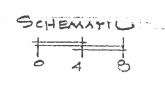
PROPOSED SANTA RITA STREET ELEV. 1/8"=1'-0"



EXISTING 2ND AVE STREET ELEV. 1/8"=1'-0"



EXISTING SANTA RITA STREET ELEV. 1/8"=1'-0"



COX RESIDENCE
 NW CORNER OF 2ND AVE. & SANTA RITA ST.
 CARMEL-BY-THE-SEA
 APN: 010-027-009-000 BL. 15 LOT 17, 19
 PH: 562 400-0734 OR 562 480-5514

Date 5-12-10
 Scale
 Drawn
 Job 08 2010
 Sheet
 2 of 3
 Of Sheets

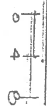
Planting List
 Cox Residence
 NW Corner 2nd & Santa Rita
 Carmel
 APN: 010-027-009-000

ABBR	NAME	SIZE	QUAN
BER	BERGENIA	1G	5
BOU	BOUGENVILLA	15G	1
CAM	CAMPANULA	1G	11
COR	CORREA AUSTRALIAN FUCHSIA	5G	37
DIE	DIETES FORTNIGHT LILLY	1G	19
FER	FERNS	5G	38
FRA	FRANCOA	5G	12
GER	GERANIUM	5G	5
HEU	HEUCHERA ALUMROOT	1G	25
HYD	HYDRANGEA	5G	9
JM	JAPANESE MAPLE ACER PALMATUM	15G	5
LAM	LOMANDRA	5G	20
LIR	LIRIOPE LILLYTURF	1G	52
MON	MONDO GRASS OPHIOPOGON JAPONICUS	1G	27
MS	PITTISPORUM MARJORIE CHANNON	15G	17
OAK	OAKLEAF HYDRANGEA QUERCIFOLIA	5G	15
POD	PODOCARPUS MACROPHYLLUS	15G	10
PODE	PODOCARPUS MACROPHYLLUS ESPALIATE	15G	1
P.P.	PITTISPORUM TOBIRA WHEELER DWF VAR	5G	21
ROS	ROSE CLIMBING BANKSIAE	15G	2

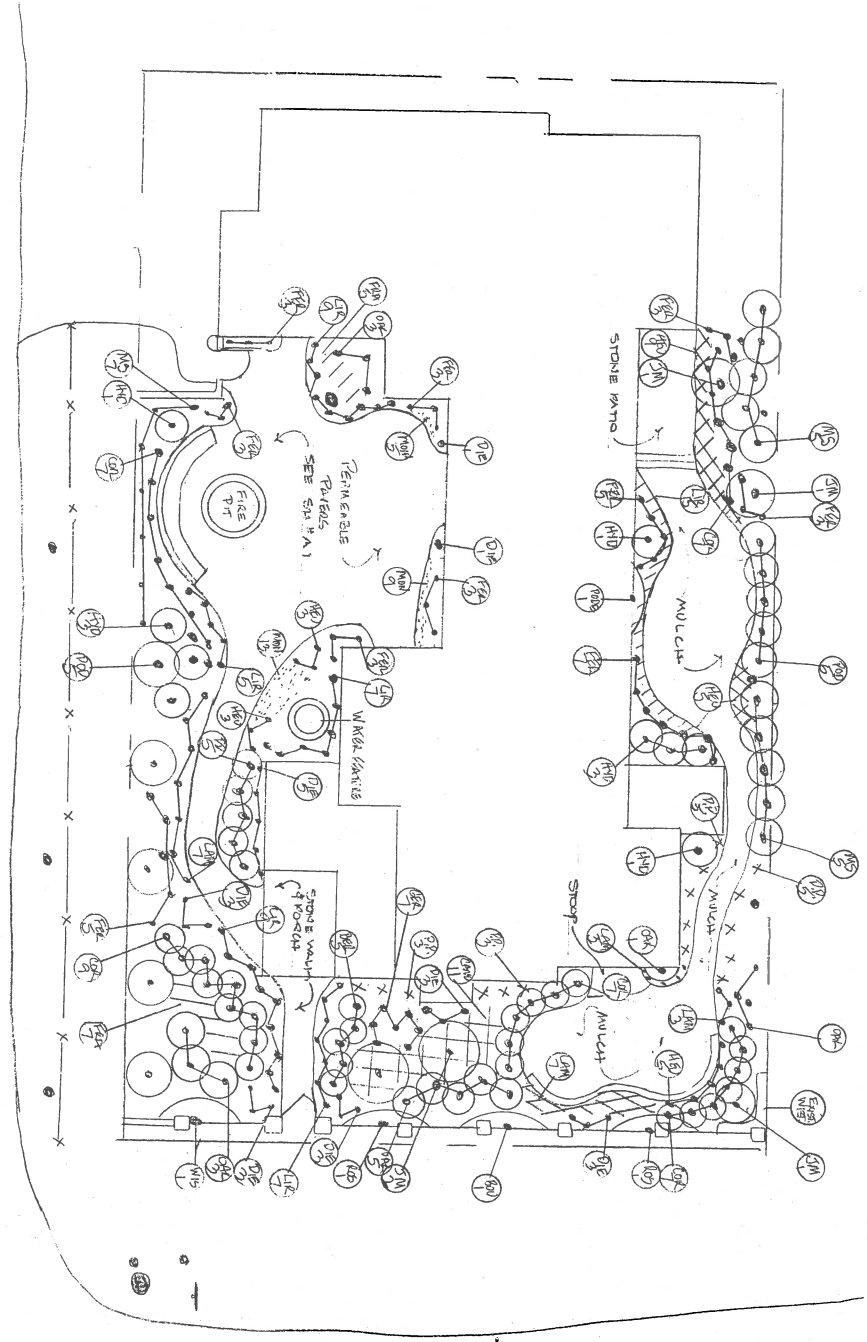
5/6/18

2nd AVE

LANDSCAPE PLAN



5/18/18
 S1618
 1/8"=1'-0"

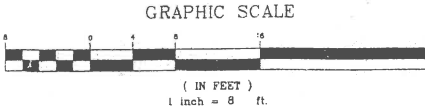
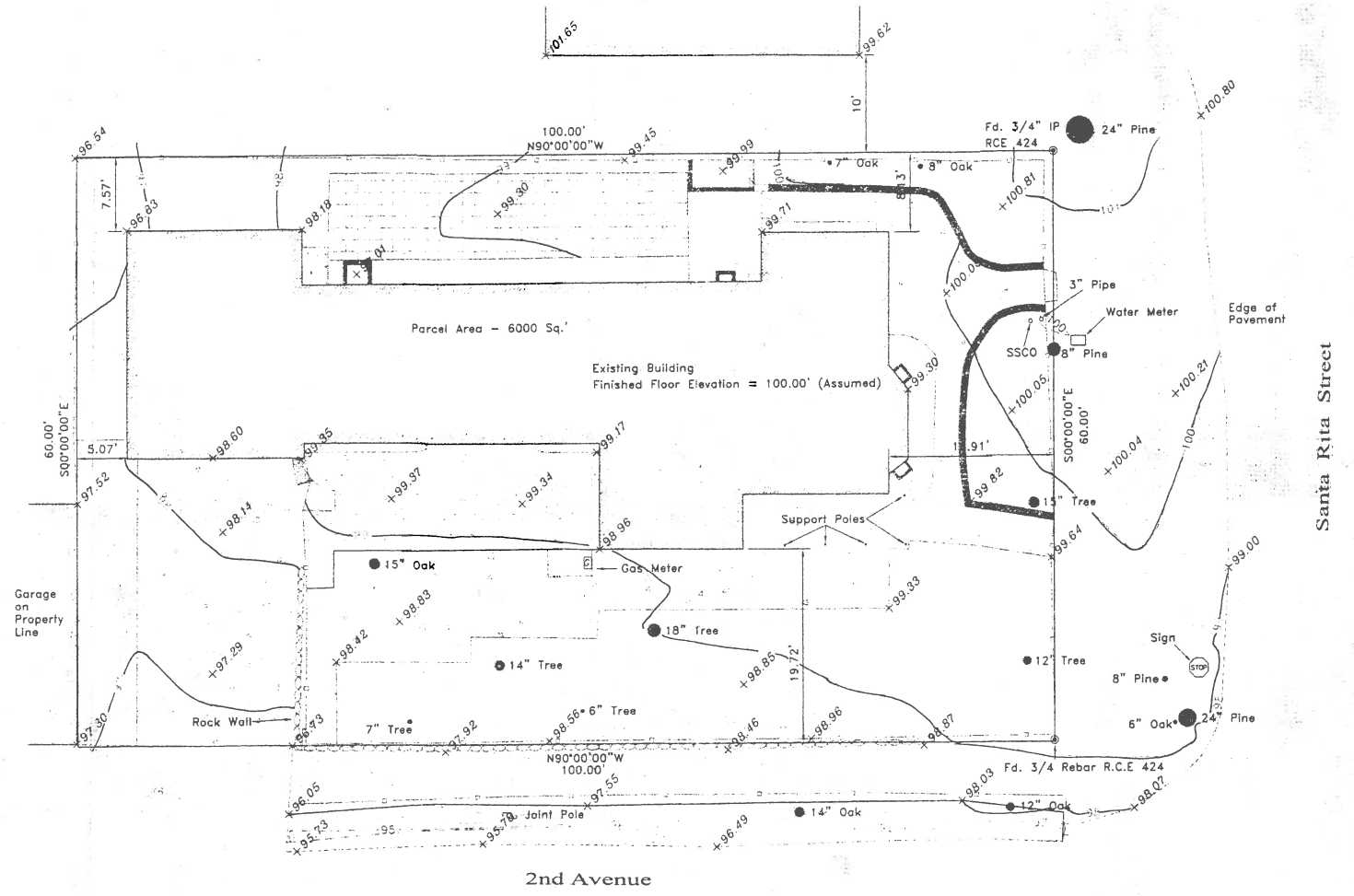


SANTA RITA

Drip Irrigation To Be Installed
 4-Valves

COX RESIDENCE
 NW CORNER 2ND & SANTA RITA
 CARMEL CA
 APN 010-027-009-000 BL15, LOT 17,19

TOWN AND COUNTRY GARDENING & LANDSCAPE
 9910 EDDY RD CARMEL CA 93923
 831-596-2707 831-675-3105

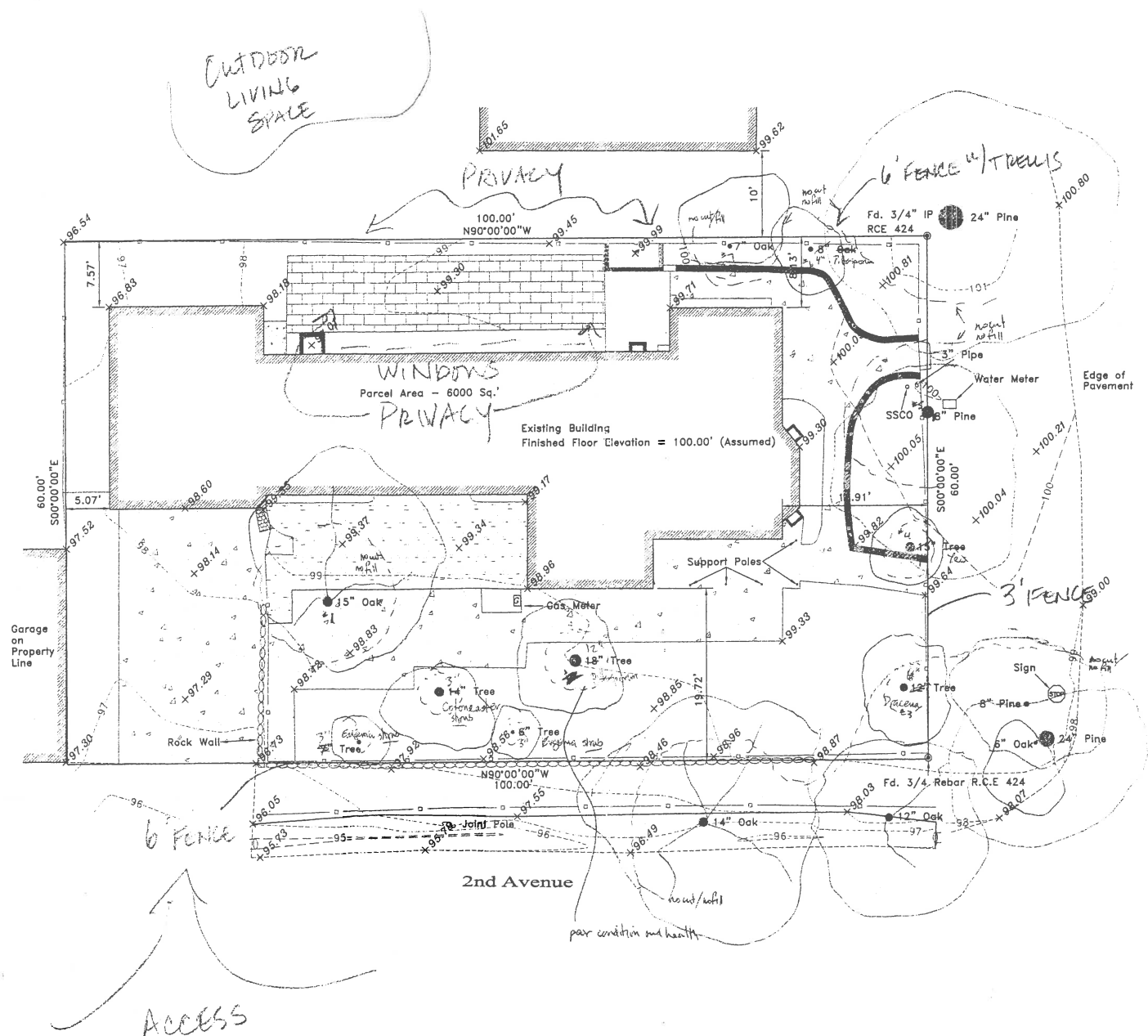


SITE PLAN

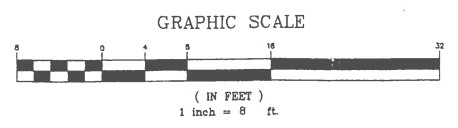
APN 010-027-009
 NW Corner of 2nd Ave. / Santa Rita St., Carmel, Ca.
 prepared for:
 Brooke Phayer

DRAWN BY : AMS APPROVED BY : MTD M. DOOLITTLE L.S. 6332	TOPOGRAPHIC SURVEYS ALTA SURVEYS BaseLine Land Surveyors Inc.	CONSTRUCTION STAKING LAND DEVELOPMENT 931-375-1293 PH. 20640 PEPAN AVENUE, SUITE 100 MONTEREY, CALIFORNIA 93940 FAX 831-373-3294
REVISION : SCALE : 1/8" = 1' DATE : 08-13-04		

SHEET 1
 OF
 1 SHEETS 2/5



PRELIMINARY SITE ASSESSMENT



SITE PLAN

APN 010-027-009
 NW Corner of 2nd Ave. / Santa Rita St., Carmel, Ca.
 prepared for:
 Brooke Phayer

CONSTRUCTION STAKING
 LAND DEVELOPMENT

TOPOGRAPHIC SURVEYS
 ALTA SURVEYS

Base Line
 Land Surveyors
 Inc.

DRAWN BY: AMS
 APPROVED BY: MTD
 M. DOOLITTLE
 L.S. 6332

REVISION:
 SCALE: 1/8" = 1'
 DATE: 08-13-04

831-373-3293 PH.
 201 HOFFMAN AVENUE, SUITE 8
 MONTEREY, CALIFORNIA 93940
 FAX 831-373-3294

SHEET 1a
 OF
 1 SHEETS 26

CARMEL STONE & Color Look



RECEIVED

MAY 09 2018

City of Carmel-by-the-Sea
Planning & Building Dept.



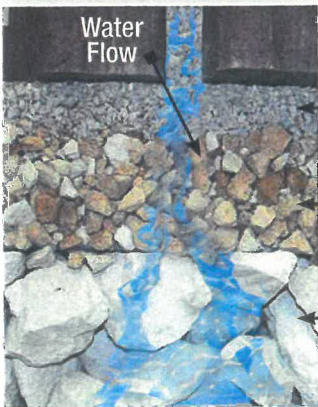
WINDOW DESIGN & COLOR OF WINDOWS

Permeable Environmentally Friendly



Permeable pavers help the environment by protecting the quality of the water supply. They reduce the amount of storm water runoff entering natural waterways.

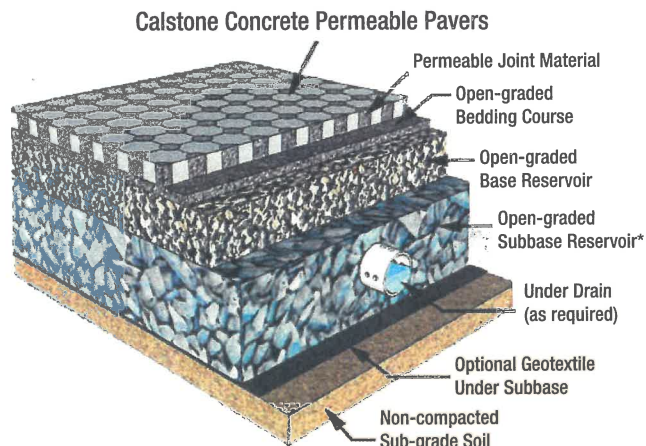
Style: Narrow Joint Quarry Stone
Color: Rustic Yellowstone



- 3 1/8 in. (80 mm) thick
Calstone Permeable Pavers
- Open-graded bedding course
- Open-graded base course (OGB)
- Open-graded subbase on non-compacted soil subgrade*

Permeable interlocking concrete pavement (PICP) with open-graded base and subbase for infiltration and storage.

* Open graded subbase may not be needed in residential applications.



Typical cross (PICP) cross section

About "Narrow Joint" Permeable Pavers

We started by developing our own small particle high flow "Fine #9" joint rock filler. Then we reengineered our permeable pavers and reduced the joint gaps by 35%. The result is a permeable interlocking concrete paving system with joint widths under 3/16" and initial infiltration rates in excess of 150"/hr.

Calstone "Fine #9" Joint Rock Must be used with Narrow Joint design

Calstone's "Fine #9" Joint Rock was specifically designed for our new "Narrow Joint" permeable paving stones and is required for all Narrow Joint installations. This joint rock can also be used with our other interlocking permeable paver products. "Fine #9" will fill joints quickly, provides improved interlock over coarser materials, and provides very high initial infiltration rates.



Style: 4x8 Narrow Joint Mission
Color: Tan Red Charcoal





Style: Narrow Joint Quarry Stone
Color: Rustic Yellowstone

Permeable Product Details

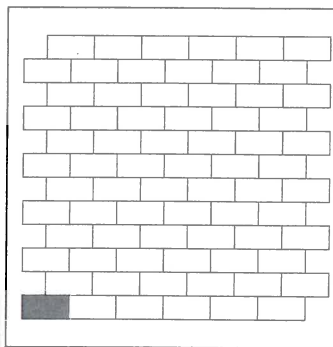
Sizes	Nominal Size	Stone FT ²	Stones Pallet	FT ² Pallet
-------	--------------	-----------------------	---------------	------------------------

4x8/6x12 Narrow Joint Permeable Mission

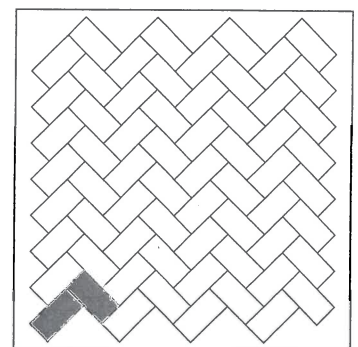
	4 x 8 (80mm)	4.64	432	93
	6 x 12 (80mm)	2.06	192	93

Other 4x8 & 6x12 Narrow Joint Permeable Mission colors are available by special order.

Patterns - Narrow Joint Permeable Mission



Running Bond
100% 4x8 or 100% 6x12



Herringbone 45 Degree
100% 4x8 or 100% 6x12

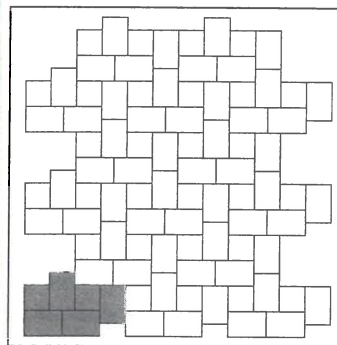
6x6/6x9 Narrow Joint Permeable Quarry Stone

	6 x 6 (80mm)	4.1	384	93
	6 x 9 (80mm)	2.8	240	87

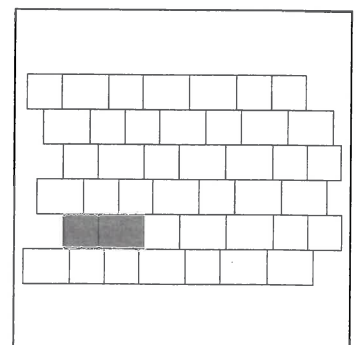
Our 6x6 and 6x9 Narrow Joint Permeable Quarry Stone are stocked in Cameron Cream, Chaco Canyon, Sequoia Sandstone, Oak Barrel, Rustic Yellowstone and Sierra Granite.

Other colors available by special order.

Patterns - Narrow Joint Permeable Quarry Stone



Old Town II
25% 6x6, 75% 6x9



Two-Way Running Bond
40% 6x6, 60% 6x9
219



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Brands > Progress Lighting > Outdoor Lighting > Progress Lighting P6085-LED

Item # bci2777840

Progress Lighting P6085-2030K9

Antique Bronze Wish LED 1 Light 13" Tall Outdoor Wall Sconce with Etched Glass Diffuser

Wish Collection

[Write a Review](#)



PROGRESS LIGHTING™

Click to Zoom



May Outdoor Lighting Sale

Save 20% on Progress Lighting Outdoor Fixtures. Use coupon LIGHTING

Offer Ends 05-31-2018

\$164.70

♥ 36

□ Compare

Originally \$274.50, You Save 40%

Finish: **Antique Bronze**

Free Shipping!

Delivered to 93940 by Tuesday, May 22nd (Change Zip)

333 In Stock

- 1 +

Add to Cart

■ Add to Project

Return & Shipping Details

Buy Now, Take 12 Months to Pay On orders of \$1,000 or more
With the Build.com Credit Card
Apply Now

Customers Also Viewed

Progress Lighting P6084-LED
(0)
Starting at \$126.00

Progress Lighting P6084
(0)
Starting at \$83.25

Progress Lighting P6085
(0)
Starting at \$112.05

Hinkley Lighting 1800
(7)
Starting at \$85.00

Progress Lighting P6079-LED
(0)
Starting at \$136.80

Hinkley Lighting 1326
(17)
Starting at \$115.00

Overview Specifications Reviews Product Q&A Matching Products

For those who desire to preserve the exterior environment, Wish maximizes aesthetics in outdoor areas. The included Dark Sky shield provides a full cut off illumination or remove for a traditional lighting effect.

Features:

- LED wall lantern includes removable dark sky shield for full cut-off illumination

Manufacturer Resources

(P6085-LED) Installation Sheet

- 120V AC replaceable LED module
- Title 24 Compliant
- Fully covered under the Progress Lighting limited warranty

(P6085-3130K9) Specification Sheet

(P6085-2030K9) Specification Sheet

Dimensions:

- Height: 12 1/2"
- Width: 9" (measured from furthest point left to furthest point right on fixture)
- Depth: 10 1/2"
- Extension: 10 1/2" (measured from mounting surface to furthest protruding point on fixture)
- HCO: 3 1/8" (height from center of outlet)
- Product Weight: 9 lbs
- Wire Length: 6"

Installation Resources

Find ideas for your bathroom, kitchen, installation tips, and many more ideas to help you on your next project in the DIY & How To Articles section.

Electrical Specifications:

- Energy Star: Yes
- Bulb Base: Integrated LED
- Bulb Type: LED
- Number of Bulbs: 1
- Watts Per Bulb: 17
- Wattage: 17
- Voltage: 120v
- Bulb Included: Yes
- Color Temperature: 3000K
- Color Rendering Index (CRI): 90
- Lumens: 1211
- CUL Rating: Damp Location
- CSA Rating: Wet Location
- Dark Sky: Yes

Related Progress Lighting Categories

- Browse by Brand
- Progress Lighting February Sale
- Progress Lighting New Product Release
- Progress Lighting Design Series
- Progress Bathroom Lighting
- Progress Outdoor Wall Lights
- Progress Lighting Pendants
- Progress Lighting Chandeliers

LED Technology:

- AC LED Light Engine - Progress Lighting uses AC (alternating current) LED light engines that eliminate the need for a driver or transformer. This results in a much more reliable light source which can last up to 60,000 hours or 30 years! Additionally, light engines are easily able to be replaced without changing the entire fixture
- 90+ CRI - The new line of Progress LED fixtures have some of the best looking light and color representation in the industry. All fixtures conform to the California Title 24 lighting standards
- Energy Star Qualified - All new Progress LED fixtures are energy star® qualified and come with a 5-year warranty. Rest assured that your new light fixture is environmentally-friendly and covered against defects
- Full Dimming - Progress LED fixtures have flicker-free dimming to 10% brightness with most ELV (electronic low-voltage) dimmers from a variety of manufacturers

Additional Progress Lighting Links

- View the Manufacturer Warranty
- Browse All Progress Lighting Products
- Progress Lighting Wish Collection

This product is listed under the following manufacturer number(s):

Progress Lighting P6085-2030K9	Progress Lighting P6085-3130K9
Antique Bronze	Black

More Than Just a Store - Your Reasons to Shop

Discover the best online deals for the P6085-LED and everything else for your home from the leading online home improvement store.

We're committed to providing you with the best assortment of Progress Lighting products with over 400 warehouses across the country.

Our knowledgeable product specialists work to bring you the best prices on every product and provide unmatched customer service. Your satisfaction is our highest priority!



Questions about Progress Lighting P6085-2030K9?

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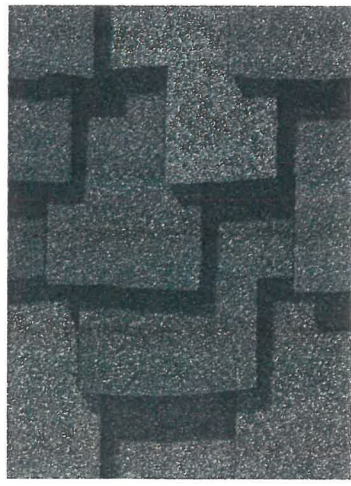


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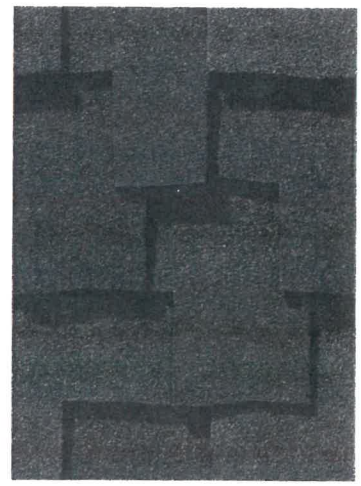
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Platinum



Shadow Gray



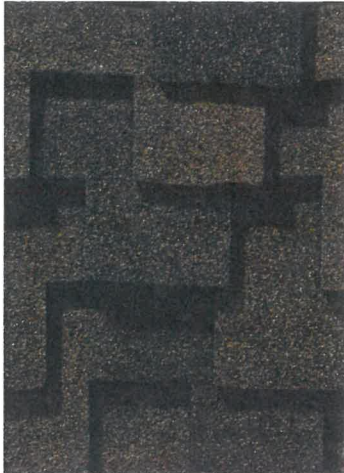
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CRRC Product ID 0668-0127



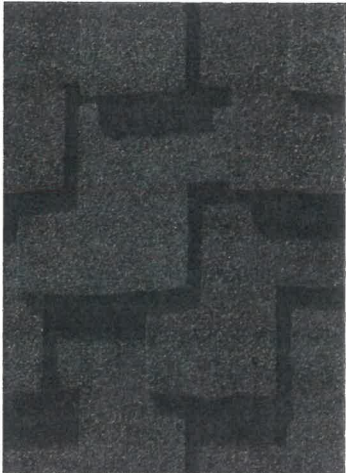
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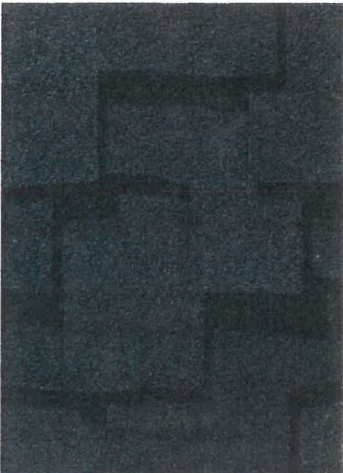
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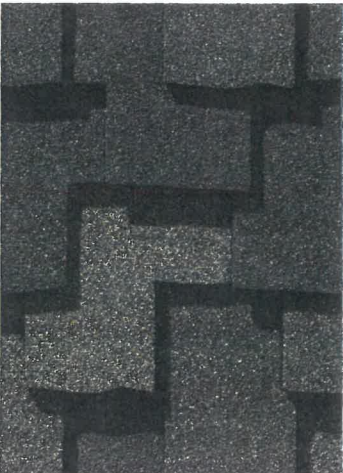
Aged Bark



Autumn Blend



Charcoal Black



Country Gray



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 13, 2018

To: Chair LePage and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Marnie R. Waffle, Senior Planner

Subject: Consideration of a Concept Design Study (DS 18-137) and associated Coastal Development Permit for the demolition of an existing single-family residence and the construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District.

Application: DS 18-137

APN: 010-277-003

Location: Carmelo Street, 3 SW of 9th Ave

Block: V

Lot(s): 5

Applicant: Craig Holdren

Property Owner: Jack & Patricia Sandvick

EXECUTIVE SUMMARY

The applicant is requesting approval of a Concept Design Study and associated Coastal Development Permit for the demolition of an existing, one-story 909-square foot single family residence with attached garage and the construction of a new, two-story 1,800-square foot single family residence with attached garage in the R-1 Single Family Residential District.

RECOMMENDATION

Accept the Concept Design Study (DS 18-137) and associated Coastal Development Permit subject to the attached Findings for Concept Acceptance and Recommendations/Draft Conditions (Attachments 3 and 4).

BACKGROUND AND PROJECT DESCRIPTION

The project site consists of a single-family dwelling with attached garage on a 4,000-square foot lot, located on Carmelo, 3 southwest of 9th Avenue. The existing dwelling with attached garage is 909 square feet. A Final Determination of Historic Ineligibility was issued for the property on November 2, 2016.

The applicant is proposing to demolish the existing one-story residence with attached garage and construct a new 1,578-square foot two-story residence with a 222-square foot attached garage. The proposed residence would have the following exterior finishes: painted horizontal lap siding and stained cedar shingle siding; stone veneer accents at the front entry; unclad

wood windows and doors; dry stacked stone veneer chimney; and, a stained cedar shake roof with copper gutters.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass and scale related to the project. However, the Commission may provide input on other aspects of the design.

STAFF ANALYSIS

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage preserving significant trees and minimizing impacts on established trees; protecting the root systems of all trees to be preserved; and, maintaining a forested image on the site.

The site contains two trees, one Acacia and one Fig; neither tree was deemed significant by the City Forester. The applicant is proposing to remove the Fig tree but retain the Acacia tree in order to maintain the existing privacy that the tree provides to the adjacent neighbors.

The project also includes the planting of two Dogwood trees, one in the front yard and one in the south side yard, and a large Camellia bush in the rear yard. Staff notes that some of the proposed new trees may actually be considered bushes (i.e. Camellia and Dodonea).

The neighbor directly to the west has expressed concerns over the planting of a tree so close to their Buckeye tree (refer to Attachment 6). The City Forester was consulted and the proposed Camellia bush at the southwest corner of the lot is not expected to harm the existing Buckeye.

The City Forester is recommending the planting of one upper canopy tree and one lower canopy tree. Draft Condition No. 1 requires the planting of the upper and lower canopy trees as well as coordinating the final location with the City Forester (refer to Attachment 4).

Privacy and Views: Residential Design Guidelines 5.1 through 5.3 encourage designs that preserve reasonable privacy for adjacent properties; maintain view opportunities to natural features that lie outside the property; and, maintain views through a property to natural features when feasible. Additionally, Carmel Municipal Code Section 17.10.010.K (Private Views) states: *“Designs should respect views enjoyed by neighboring parcels. This objective is intended to balance the private rights to views from all parcels that will be affected by a proposed building or addition. No single parcel should enjoy a greater right than other parcels except the natural advantages of each site’s topography. Buildings which substantially eliminate an existing view enjoyed on another parcel should be avoided.”*

The project site is located on the west side of Carmelo and faces east. The lot slopes approximately 6 ½ feet from east to west. The existing residence is a single story with a 3:12 hipped roof. The proposed residence would largely maintain the same building footprint but would be shifted a few feet to the south. The new second story element would be 286 square feet in size and would be centered on the north side of the residence. The second story roof

would be a front gable with a 5:12 pitch. A small 3 ½-foot deep Juliette balcony is proposed on the southwest elevation of the second story.

The neighbor directly to the west of the project has expressed privacy concerns with the second story element, the second story balcony, any potential exterior light fixture that may be installed at the balcony, and retention of the existing Acacia tree at the northwest corner of the project site. With regards to the Acacia tree, the applicant originally proposed to remove this tree but has since agreed to retain it. Draft Condition No. 2 requires that the Acacia tree be preserved and protected.

Staff visited the neighboring property to the west prior to the story pole installation to evaluate potential privacy impacts, but did not have the opportunity to revisit the site to view the story poles after installation (refer to Attachment 2, page 3). Due to the relatively small size of the balcony, as well as presence of existing vegetation, and preserving the existing Acacia tree, staff does not anticipate a privacy impact to the west neighbor.

The neighbor to the northeast has expressed view concerns with the second story element, specifically, the impact that it would have on the ocean view from their guesthouse living room. Staff visited the neighboring property prior to and after story pole installation and noted that a portion of their existing ocean view would be impacted by the second story of the proposed residence (refer to Attachment 2, page 4); however, in staff's opinion the impact would not be significant as the majority of the view is retained. Nevertheless, the applicant has expressed a willingness to evaluate shifting the second story 6-12 inches to the south to reduce the view impact (refer to Attachment 4, Draft Condition No. 3). The Planning Commission will have the opportunity to visit the project site as well as the neighboring property to the northeast during the Tour of Inspection.

Mass and Bulk: Residential Design Guidelines 7.1 through 7.7 encourages a building's mass to relate to the context of other homes nearby; minimize the mass of a building as seen from the public way or adjacent properties; and, relate to a human scale in its basic forms.

The applicant is proposing to construct a new, two-story residence. The attached garage would be set back 15 feet from the front property line while the main living area would be set back 31'-9" from the front property line. The second story element would be set back approximately 42'-6" from the front property line and would contain 276 square feet or 15% of the total square footage of the new residence. The tallest portion of the residence would be located on the north elevation where the ridge height would be 21 feet (the maximum allowed is 24 feet). The proposal for two stories is consistent with the neighborhood context which includes a mix of one- and two-story residences.

Building and Roof Form: Residential Design Guidelines 8.1 through 8.5 encourages traditional building forms; using restraint with variations in building planes; using simple roof forms that are in proportion to the scale of the building; and, roof eave lines that are low in scale.

The proposed design uses front and side gabled roof forms with a 5:12 pitch. The building form is simple and traditional; however, staff has some concerns over the proposed internal staircase being located on the front elevation and the verticality of this feature which also includes a 9-foot tall band of windows.

The proposed staircase is recessed between the front entry and the attached garage and is set back approximately 36'-3" from the front property line. The significant setback may reduce the perceived mass of this element; however, staff recommends that the applicant consider breaking up the verticality by continuing the horizontal lap siding at the main floor and applying the cedar shingles on the second floor. Staff also recommends that the scale of the windows be broken up into two smaller sets of windows rather than one large vertical band.

Site Coverage: The Municipal Code allows up to 556 square feet of site coverage if at least half (278 square feet) is comprised of permeable materials. The applicant is proposing 555 square feet of site coverage of which 336 square feet would be comprised of semi-permeable materials including a 157-square foot rear deck and steps and a 179-square foot front courtyard.

Right-of-way Character: Residential Design Guidelines 1.5 through 1.7 encourage maintaining an informal open space character of the right-of-way and maintaining trees and natural vegetation within the right-of-way.

The City Right-of-Way (ROW) along Carmelo is in a natural state with mature trees and plantings. The right-of-way does not contain any visible encroachments. The project includes a new 9-foot wide decomposed granite driveway. Staff notes that decomposed granite is not permitted in the right-of-way as a driveway material. The applicant should specify the material proposed within the right-of-way at the final details phase of the project review (refer to Attachment 4, Draft Condition No. 4).

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the demolition of an existing single family residence and the construction of a new single family residence in a residential zone and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment 1 – Project Data Table
- Attachment 2 – Site Photographs
- Attachment 3 – Findings for Concept Acceptance

- Attachment 4 – Recommendations/Draft Conditions
- Attachment 5 – Project Plans
- Attachment 6 – 3D Renderings
- Attachment 7 – Wolfe Comment Letter
- Attachment 8 – Fenton & Keller Comment Letter

PROJECT DATA TABLE

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 SF (45%)	909 SF	1,800 SF
Site Coverage	396 SF/556 SF	Unknown	555 SF
Trees (Upper/Lower)	3/1	0/0	1/1
Ridge Height (1 st /2 nd)	18'/24'	16'/NA	16'-2"/21'
Plate Height (1 st /2 nd)	12'/18'	12 ½'/NA	11'-10"/17'-8"
Setbacks	Minimum Required	Existing	Proposed
Front	15'	14'-5"	15'
Composite Side Yard	10' (25%)	7'-9"	10'
Side Yard	3'	3'	3'
Street Side Yard	N/A	N/A	N/A
Rear	15'/3'*	14'	6'-6"

*The rear setback is three feet for those portions of structures less than 15 feet in height.



Photo 1. Existing Residence



Photo 2 & 3. Existing Rear Deck



Photo 4. Ocean View from Existing Deck

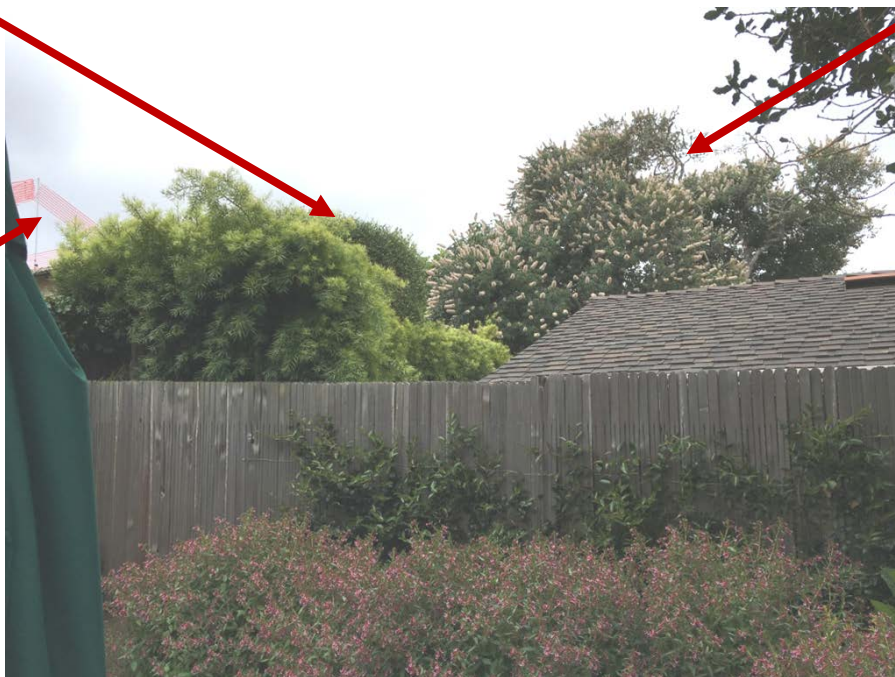
West Neighbor
(prior to story pole installation)



Acacia
Tree

Buckeye
Tree

West Neighbor
(view from the north after story pole installation)



Story
Poles

Northeast Neighbor



**Ocean
View**



FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE		
For each of the required design study findings listed below, staff has indicated whether the concept plans submitted support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate decision-making by the Planning Commission. Findings checked "yes" may or may not be discussed in the staff report depending on the issues.		
CMC Section 17.68.040.A – Concept Phase Approval Findings	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits or variances consistent with the Zoning Ordinance.	✓	
2. The project is consistent with the City’s design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project’s use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on-site and in the public right-of-way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple building forms, a simple roof plan and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City’s objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are set back a minimum of six feet from significant trees.	✓	
CMC Section 17.64.010.B - Coastal Development Permit Findings	YES	NO
1. Local Coastal Program Consistency: The project, as described in the application and accompanying materials, as modified by the conditions of approval, conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Recommendations/Draft Conditions	
No.	
1.	Tree Planting Required. The applicant shall plant one upper canopy tree and one lower canopy tree. The tree species shall be selected from the City's approved tree list. The final location shall be determined in consultation with the City Forester.
2.	Existing Acacia Tree. The applicant shall preserve and protect the existing Acacia tree located at the northwest corner of the lot.
3.	Private Ocean Views. The applicant shall evaluate shifting the second story 6"-12" to the south to reduce the view impact to the northeast neighbor (APN 010-276-018, Carmelo 2 SE of 9 th Ave).
4.	Driveway Material in the City Right-of-way. The applicant shall identify the material proposed for the portion of the driveway located within the City right-of-way. Decomposed granite is not a permitted driveway material within the right-of-way. A minimum of 3 feet of asphalt is required to be constructed at the connection to the public street.
5.	Site Drainage. Site drainage must meet the requirements of the City's drainage guidance, SOG 17-07. At a minimum, impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. A site drainage plan and BMP tracking form will need to be provided with the Building Permit application demonstrating compliance with City drainage guidelines.
6.	Cross-Section Details for Semi-Permeable Surfaces. Cross-section details will need to be provided with the Building Permit application for semi-permeable surfaces, including the sand-set flagstone surface and semi-permeable stone surface.
7.	Erosion and Sediment Control Plan. An erosion and sediment control plan, including locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access, will need to be provided with the Building Permit application.

SANDWICK RESIDENCE

ABBREVIATIONS			
AB	ANCHOR BOLT	HDR	HEADER
ALT	ALTERNATE	HGR	HANGER
APPROX	APPROXIMATE	HORIZ	HORIZONTAL
ARCH	ARCHITECT	INT	INTERIOR
BD	BOARD	JST	JOIST
BLDS	BUILDINGS	MAX	MAXIMUM
BM	BENCHMARK	M B	MACHINE BOLT
BOT	BOTTOM	M. I. F.	MALLEABLE IRON WASHER
BTFM	BETWEEN	MIN	MINIMUM
CLR	CLEAR	N. I. G.	NOT IN CONTRACT
COL	COLUMN	N. T. S.	NOT TO SCALE
CONS	CONCRETE	OF	OVER
CONG. BLK	CONCRETE BLOCK	O. C.	ON CENTER
CONN	CONNECTION	O. H.	OVER HANG/OVER HEAD
CONSTR	CONSTRUCTION	PL	PLATE
CONT	CONTIGUOUS	P. I.	PANEL INDEX
CTR	CENTER	P. T. D. F.	PRESSURE TREATED D.F.
CTRB	COUNTERSINK	PLYD	PLYWOOD
DBL	DOUBLE	REIN	REINFORCING
D. F.	DOUGLAS FIR	REQD	REQUIRED
DIA	DIAMETER	RFWD	REFUSED
DRWG	DRAWING	S. B.	SOLED BLOCKING
(E)	EXISTING	S. O. G.	SLAB ON GRADE
E. N.	EDGE FINISHING	SIGED	SCHEDULE
EA	EACH	SHT	SHEET
EQ	EQUAL	SHTS	SHEATHING
EXP	EXPANSION	SHL	SHIM
EXT	EXTERIOR	SPECS	SPECIFICATIONS
F. F.	FINISH FLOOR	SQ	SQUARE
F. G.	FINISH GRADE	STD	STANDARD
F. N.	FIELD NAILING	SYM	SYMMETRICAL
FOUND	FOUNDATION	T. & G.	TONGUE & GROOVE
FLR	FLOOR	T. N.	TOR NAIL
F. O. C.	FACE OF CONCRETE	T. O. C.	TOP OF CONCRETE
F. O. H.	FACE OF MASONRY	T. O. F.	TOP OF FINISH
F. O. S.	FACE OF STUD	T. S.	TUBE STEEL
FTS	FOOTING	TYP	TYPICAL
GA	GALVE	U. O. N.	UNLESS OTHERWISE NOTED
GALV	GALVANIZED	VERT	VERTICAL
G. L.	GULF LAMINATED	W	WALL
GULLUM	GULF LAMINATED	W/D	WIND
GYPBD	GYPSON BOARD	W. F. M.	WELDED WIRE MESH

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- HOMERUN ALL NEW CIRCUITS TO ELECTRICAL PANEL.
- ALL KITCHEN & BATHROOM ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION.
- ALL BEDROOM ELECTRICAL OUTLETS SHALL HAVE AFCI PROTECTION.
- PROVIDE NEW SEWER BACKFLOW VALVE IN SEWER LINE NEAR ANY FIXTURES.
- PROVIDE TWO SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN LIMITED TO SUPPLYING HALL & CTR. SPACE OUTLETS.
- PROVIDE SEPARATE BRANCH CIRCUITS AT EACH BEDROOM WITH THE REQUIRED ARC-FAULT CIRCUIT INTERRUPTERS.
- PROVIDE HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP IN EACH BEDROOM, HALLWAY & WHERE INDICATED.
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- USE WATER RESISTANT GYPSON BOARD BEHIND NEW TILE, SHOWER & SINKS.
- INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILING SHALL BE I.C. RATED BY UL OR OTHER APPROVED AGENCY.
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- PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL NOTIFICATION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL/NOTICES/SCOPE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNER IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2007 C.B.C.)
- RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK AND SHALL ADHERE TO ALL FEDERAL, LOCAL, STATE & O.S.H.A. SAFETY REGULATIONS.
- INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THIS CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUEST CONTRACTOR LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- NON-EMERGENCY: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE DESIGNER FROM AND AGAINST ALL CONSEQUENTIAL CLAIMS / DAMAGES / LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANUP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PROVIDING CLEANUP AND SPITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GLUE LAMINATED BEAMS AND PRE-FABRICATED TRUSSES, WINDOW & DOOR, FINISH CARPENTRY. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER AND/OR DESIGNER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.
- CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND BINDING.
- CONSTRUCTION BRACINGS & SHORINGS: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACINGS AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- SHIMLAR CONDITIONS: CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SHIMLAR CONSTRUCTION.
- DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- TECHNICAL SPECIFICATIONS: ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

FIRE SAFETY REQUIREMENTS

- DEFENSIBLE SPACE REQUIREMENTS - MANAGE COMBUSTIBLE VEGETATION WITHIN A MIN. OF 100 FEET OF STRUCTURES (OR THE PROPERTY LINE). LIMB TREES & FEET UP FROM GROUND, REMOVE LIMBS WITHIN 10 FEET OF GIMNETS.
- FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - THE RESIDENCE & DETACHED GARAGE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD.
- SMOKE ALARMS - (SINGLE FAMILY DWELLING) - WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGULAR ALARM SYSTEM IS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE USC THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT.
- ROOF CONSTRUCTION - I-20 CLASS 'A' ROOF ASSEMBLY CONSTRUCTION.

SPECIAL INSPECTIONS

SEE STRUCTURAL SHEETS FOR SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT.
CONTRACTOR SHALL COORDINATE FORMS AND PROCEDURES WITH THE BUILDING DEPARTMENT



PROJECT NOTES

- BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2016 EDITION OF THE CALIFORNIA BUILDING CODES, ALL GREEN ENERGY, PLUMBING & MECHANICAL CODES, 2016 NEC, NFPA FIRE CODE & ANY AMENDMENTS OF PRESIDING CITY OR COUNTY.
- PROTECT ALL TREES DURING CONSTRUCTION PER CITY TREE PROTECTION STANDARDS.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 2500 PSI.
- ALL REINFORCING STEEL SHALL CONFORM TO THE A.S.T.M. A615 GRADE 60 UNLESS OTHERWISE NOTED ON PLANS. WELDED WIRE FABRIC: WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A105-14.
- WOOD SPECIES AND GRADES SHALL CONFORM TO THE FOLLOWING U.O.I.: MAXIMUM MOISTURE CONTENT OF LUMBER SHALL BE 19%. ALL DOUGLAS FIR LUMBER WHICH IS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED. ALL GRADING SHALL CONFORM TO THE RULES AND REGULATIONS OF THE P.U.P.C. & A.P.C.A. PLYWOOD SHALL BE D.F. CONFORMING TO U.S. PRODUCT STANDARDS PS 1-14 WITH EXTERIOR GLUE, GRADE STAMPED A.P.F.A. SEE FRAMING PLANS FOR ADDITIONAL REQUIREMENTS.
- MASONRY CONSTRUCTION SHALL COMPLY WITH CBC SECTION R602 (FOR CONVENTIONAL CONSTRUCTION).
- NAILS TO BE IN COMPLIANCE WITH CBC TABLE R602.3.1
- ALL MANUFACTURER'S INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.
- THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER AND THE CITY OR CARMEL WITH A COPY OF THE CF-8R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- PLASTERING WITH CEMENT PLASTER SHALL NOT BE LESS THAN 3-COATS WHEN APPLIED OVER METAL LATH OR WIRE FABRIC LATH. USE MIN. GR. 34 LB. LATH AND PAN-HEAD SCREWS TO SECURE LATH TO THE WOOD FRAME.
- LATH AND ATTACHMENT SCREWS SHALL BE MADE IN USA AND MATERIAL LABEL TAGS SHALL BE PROVIDED TO OWNER UPON REQUEST PRIOR TO INSTALLATION.

SURVEY NOTE

- A LICENSED SURVEYOR SHALL SURVEY THE FOUNDATION LOCATION TO ASSURE ADEQUATE SETBACKS FROM PROPERTY LINES. A SURVEYOR'S LETTER CERTIFYING THAT THE BUILDING FOUNDATION IS PROPERLY LOCATED ON THE LOT IS REQUIRED AT THE TIME OF FOOTING REINFORCEMENT INSPECTION. FOUNDATION SHALL BE SITUATED TO PROVIDE A MINIMUM OF 3' SEPARATION BETWEEN THE PROPERTY LINE AND THE FACE OF EXTERIOR WALL COVERING.
- A LETTER FROM THE SURVEYOR THAT THE ROOF HEIGHT IS IN COMPLIANCE WITH THE APPROVED PLAN SHALL BE PROVIDED TO THE CITY OF CARMEL-BY-THE-SEA BUILDING SAFETY DIVISION PRIOR TO ROOF SHEATHING INSPECTION.

NOTES

- TREE PROTECTION SHALL BE IN PLACE PRIOR TO BUILDING PERMITS BEING ISSUED.

PROJECT DATA

SCOPE OF WORK: DEMOLITION OF (E) SINGLE STORY SINGLE FAMILY RESIDENCE AND SINGLE CAR GARAGE. CONSTRUCTION OF NEW TWO STORY SINGLE FAMILY RESIDENCE AND SINGLE CAR GARAGE.

SITE DESCRIPTION: LOT 5, BLOCK V

TREE INFORMATION: TWO EXISTING NON-SIGNIFICANT TREES TO BE REMOVED, SEE SITE PLAN 4 INITIAL SITE STUDY.

OCCUPANCY GROUP: RESIDENCE, R-1
GARAGE, U

TYPE OF CONSTRUCTION: V-B

SETBACKS

REQUIRED FRONT SETBACK = 15'-0"
PROPOSED FRONT SETBACK:
(N) GARAGE: 15'-0"
(N) RESIDENCE: 32'-0"
REQUIRED (N) RESIDENCE SIDE SETBACKS = TOTAL OF 25% OF SITE WIDTH = 10'-0"
PROPOSED (N) RESIDENCE SIDE SETBACKS = MINIMUM 10'-0" IN ALL LOCATIONS

SITE AREA: 4,000 S.F.

(E) RESIDENCE & GARAGE = 904 S.F. (TO BE REMOVED)

1,578 S.F. MAIN HOUSE
222 S.F. GARAGE
1,800 S.F. BASE FLOOR AREA ALLOWED

NEW FLOOR AREA:

MAIN FLOOR = 1,242 S.F.
UPPER FLOOR = 286 S.F.
GARAGE = 222 S.F.
TOTAL = 1,800 S.F.

SITE COVERAGE ALLOWED: 22%

SITE COVERAGE ALLOWED: 946 S.F.
4% ADDL. SITE COVERAGE: 160 S.F.
556 S.F. ALLOWED

(273 S.F. REQUIRED TO BE SEMI-PERMEABLE)

DRIVEWAY & COURTYARD PATH: 131 S.F.
SEMI PERM. BACK DECK & STEPS: 151 S.F.
SEMI PERM. COURTYARD: 174 S.F.
FRONT WALKWAY: 60 S.F.
SIDE DECK, SETPS, & WALKWAY: 22 S.F.
559 S.F.

PROJECT TEAM

OWNER:
JACK & PATRICIA SANDWICK
5672 ALGOUNG WAY
SAN JOSE, CA 95130

ARCHITECT:
HOLDREN LIETZKE ARCHITECTURE
225 CANNERY ROW, SUITE A
MONTEREY, CA 93940
PH: (831) 649-6001

STRUCTURAL ENGINEER:
LANDSET ENGINEERS, INC.
520-B CRAZY HORSE CANYON RD
SALINAS, CA 94701
PH: (831) 443-6710

MECHANICAL ENGINEER:

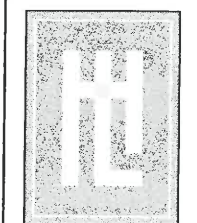
COVER SHEET, PROJECT DATA

SANDWICK RESIDENCE
CARMELO STREET, 3 SW OF 9TH AVE.
CARMEL BY THE SEA, CA
A.P.N. 010-277-003

RECEIVED
APR 10 2018
City of Carmel-by-the-Sea
Planning & Building Dept.

A0.1
237

SITE LOCATION



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.H-L-arc.com

DATE: 10-APR-2018

SCALE:

DRAWN: RLR

JOB NUMBER: 17.12

REVISION

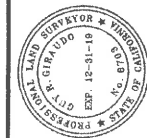


COVER SHEET, PROJECT DATA

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City of Carmel-by-the-Sea
Planning & Building Dept.

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APPROVED BY: *[Signature]*
CITY R. GIRAUDO P.L.S. No. 87703



LANDSET ENGINEERS, INC.
520 S. Coast Avenue, Suite 200
Salinas, California 95077
Office (831) 443-6670 Fax (831) 443-3911
www.landsetinc.com

A.P.N.: 010-277-003
TOPOGRAPHIC MAP
OF
LOT 5, BLOCK V AS SHOWN IN VOLUME 1
OF CITIES & TOWNS AT PAGE 45-1/2
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. JOHN & PATRICIA SANDVICK

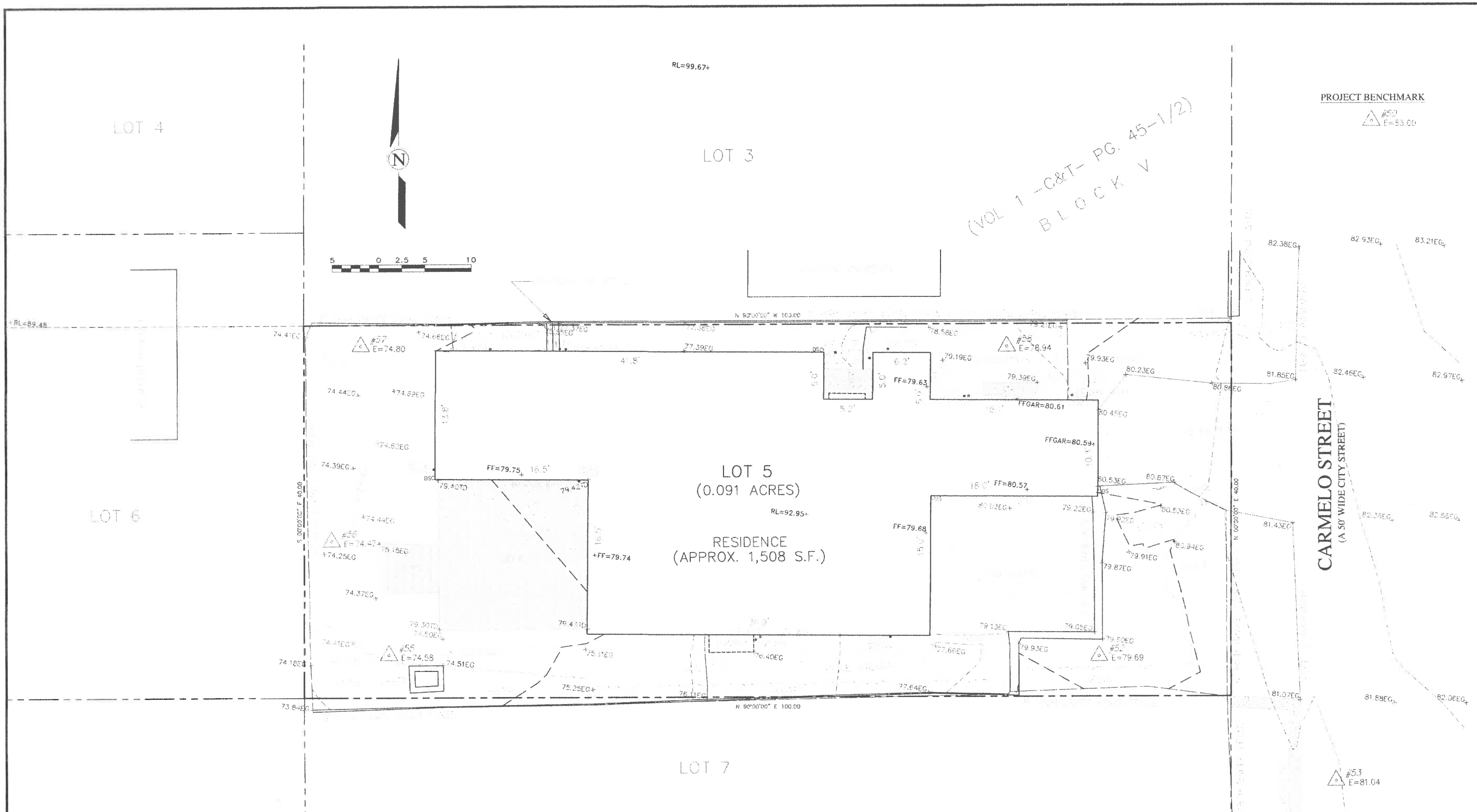
SCALE: 1"=5'			
DATE: SEPTEMBER 2017			
JOB NO. 1723-01			
SHEET 1			
OF 1 SHEETS			
No.	DATE	BY	REVISION
03/28/18	JLH	TOPOGRAPHIC MAP UPDATE	
09/06/17	FR	RELEASED TO CLIENT	

PROJECT BENCHMARK
#50
E=53.00

CARMELO STREET
(A 50' WIDE CITY STREET)

CONTACT INFORMATION:
PRIMARY: OWNER
MR. & MRS. JOHN & PATRICIA SANDVICK
5672 ALDOUN WAY
SAN JOSE, CA 95138

SITE LOCATION:
CARMELO STREET, 3 SW OF 9TH
CARMEL-BY-THE-SEA, CA



RL=99.67+

LOT 3

(VOL 1 - C&T - PG. 45-1/2)
BLOCK V



LOT 5
(0.091 ACRES)
RESIDENCE
(APPROX. 1,508 S.F.)
RL=92.95+

LOT 7

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS THE MOST APPROPRIATE CONTROL POINT #50 LOCATED ON THE WESTERN EDGE OF PAVEMENT OF CARMELO STREET, ELEVATION=53.00', AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED BY DIMENSION #5 MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN. TREE CANOPIES ARE NOT SHOWN OR LOCATED.
- THIS MAP PORTAYS THE SITE AT THE TIME OF THE SURVEY (08/31/17) AND DOES NOT SHOW 2015 OR 2016 DEVELOPMENT INFORMATION, INTERFERING CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY FOLLOWED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.

LEGEND:

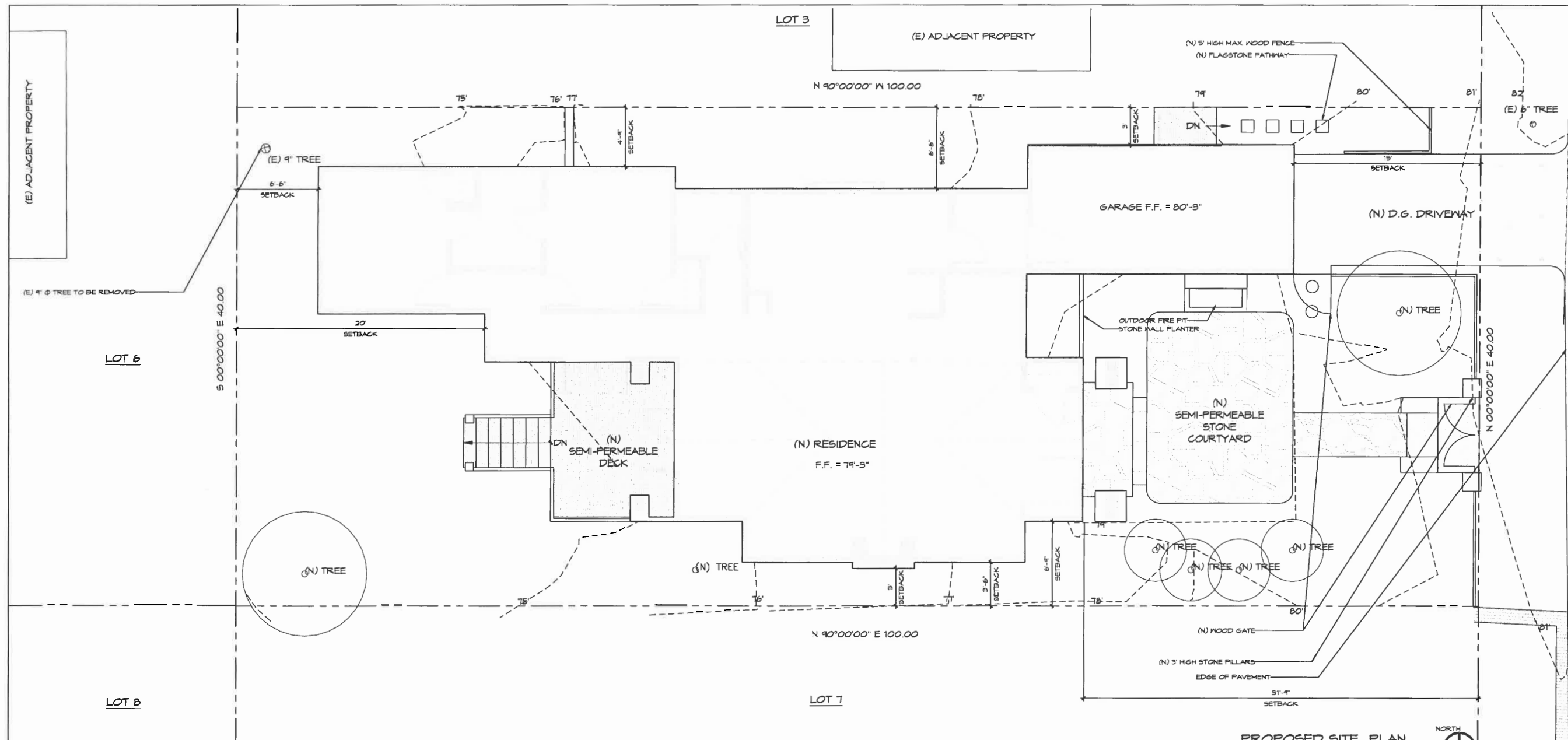
- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- MAJOR CONTOUR LINE (1' INTERVAL)
- FENCE (TYPE AS MARKED)
- ASPHALT CONCRETE SURFACE
- WOOD SURFACE
- STONE SURFACE
- DECOMPOSED GRAVEL SURFACE
- SPOT ELEVATION
- TOP OF DECK
- SURVEY M&V CONTROL POINT
- FINISH FLOOR, FLOORLINE

LOT 4

LOT 6

LOT 8

RL=94.27+



LEGEND:

	PROPERTY BOUNDARY LINE		SPACED WOOD SURFACE
	(N) 5' HIGH WOOD FENCE		SEMI PERMEABLE STONE SURFACE
	CONTOUR LINE		DECOMPOSED GRANITE SURFACE
			SANDSET FLS STONE SURFACE



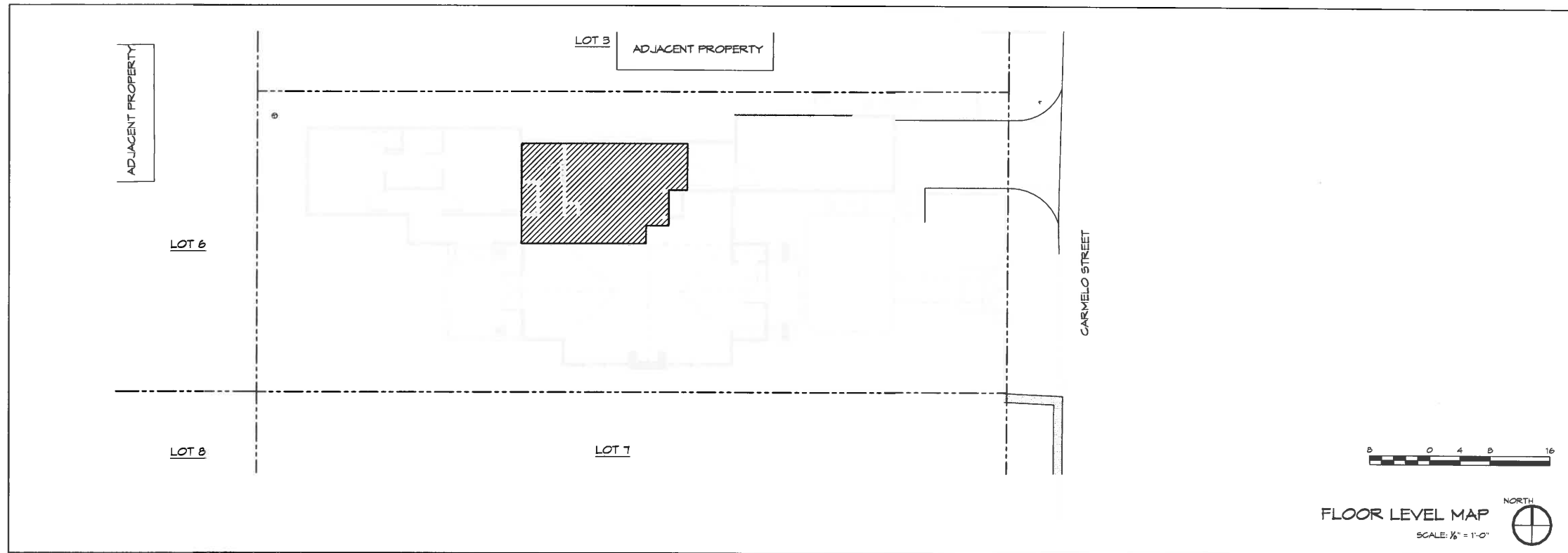
**HOLDREN+LIETZKE
ARCHITECTURE**
225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 10-APR-2018
SCALE: 1/4" = 1'-0"
DRAWN: R.R.
JOB NUMBER: 17.12
REVISION



PROPOSED SITE PLAN
SANDVICK RESIDENCE
CARMELO STREET, 3 SW OF 9TH AVE.
CARMEL BY THE SEA, CA
A.P.N. 010-277-003

A1.2
239



LEGEND

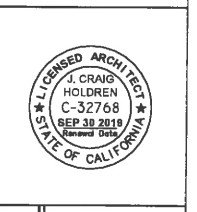
- AREA OF MAIN LEVEL
- ▨ AREA OF MAIN LEVEL THAT IS COMPLETELY OVERLAPPED BY UPPER LEVEL (NOTE: 100% OF UPPER LEVEL OVERLAPS MAIN LEVEL)
- - - - PROPERTY BOUNDARY LINE

FLOOR AREA TABLE

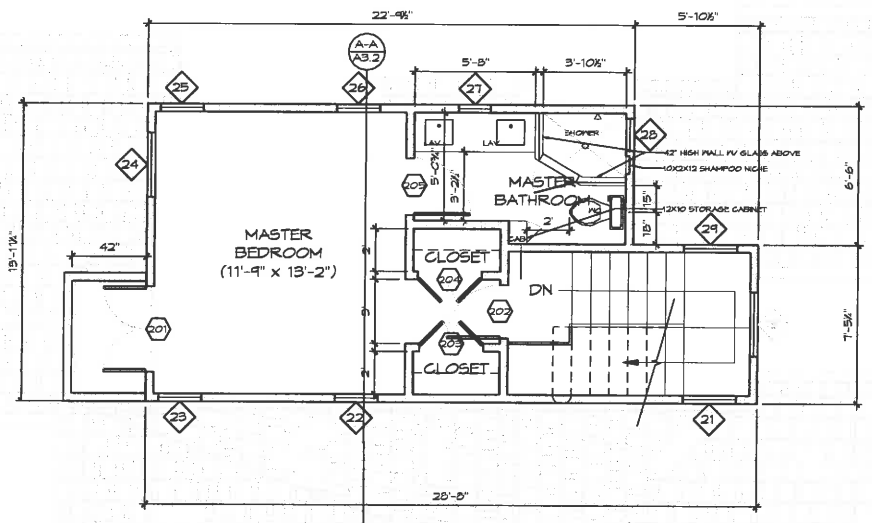
MAIN LEVEL: 1,519 S.F.
UPPER LEVEL: 276 S.F.
AREA OF UPPER LEVEL THAT OVERLAPS MAIN LEVEL: 276 S.F. (100%)

HOLDREN+LIETZKE ARCHITECTURE
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DATE: 10-APR-2018
SCALE: 1/8" = 1'-0"
DRAWN: RRR
JOB NUMBER: 17.12
REVISION:



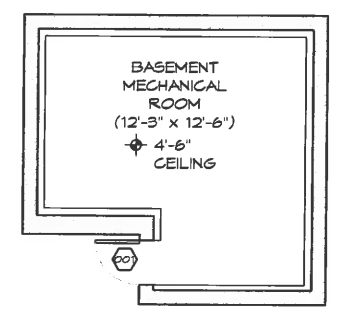
LEVEL MAP & STREET ELEVATION
SANDVICK RESIDENCE
CARMELO STREET, 3 SW OF 9TH AVE.
CARMEL BY THE SEA, CA
A.P.N. 010-277-003



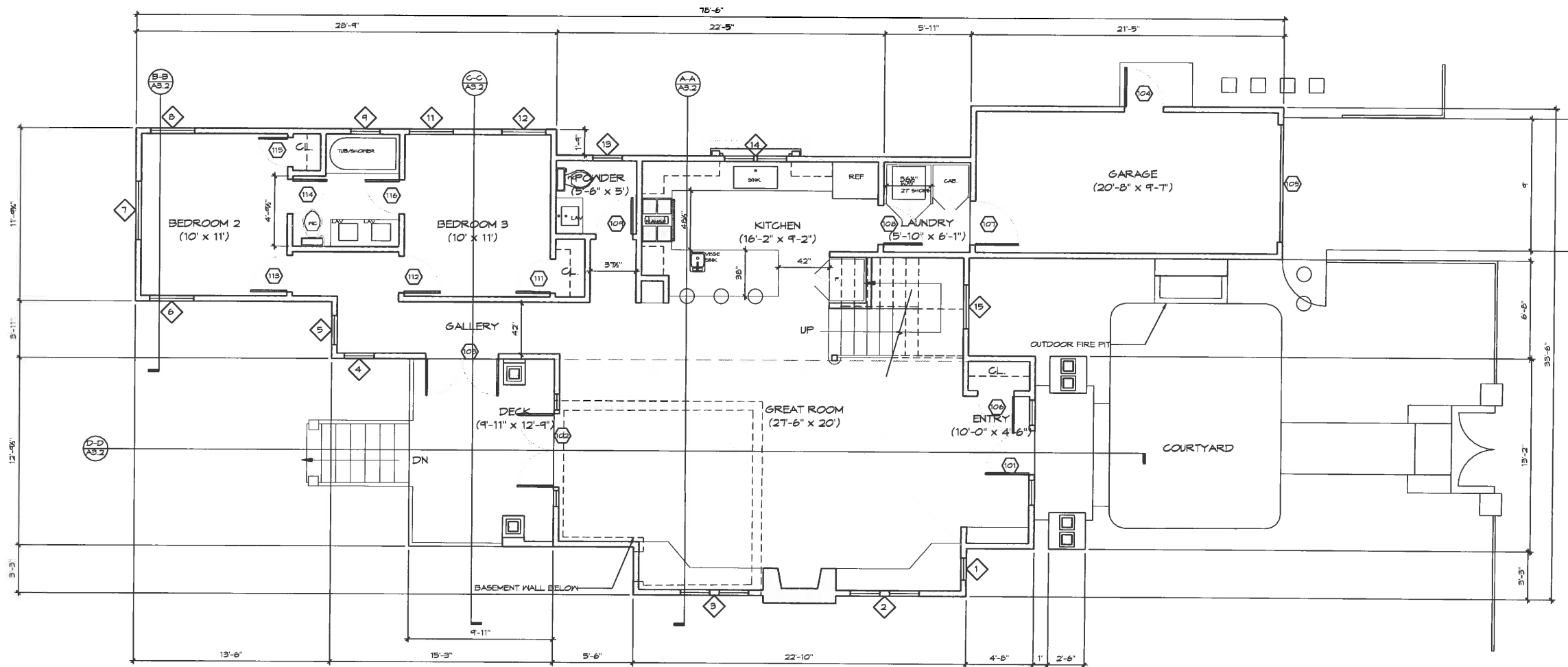
UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND:

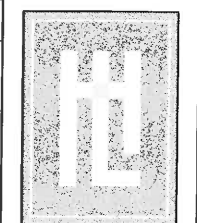
(N) 2x4 WALL



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



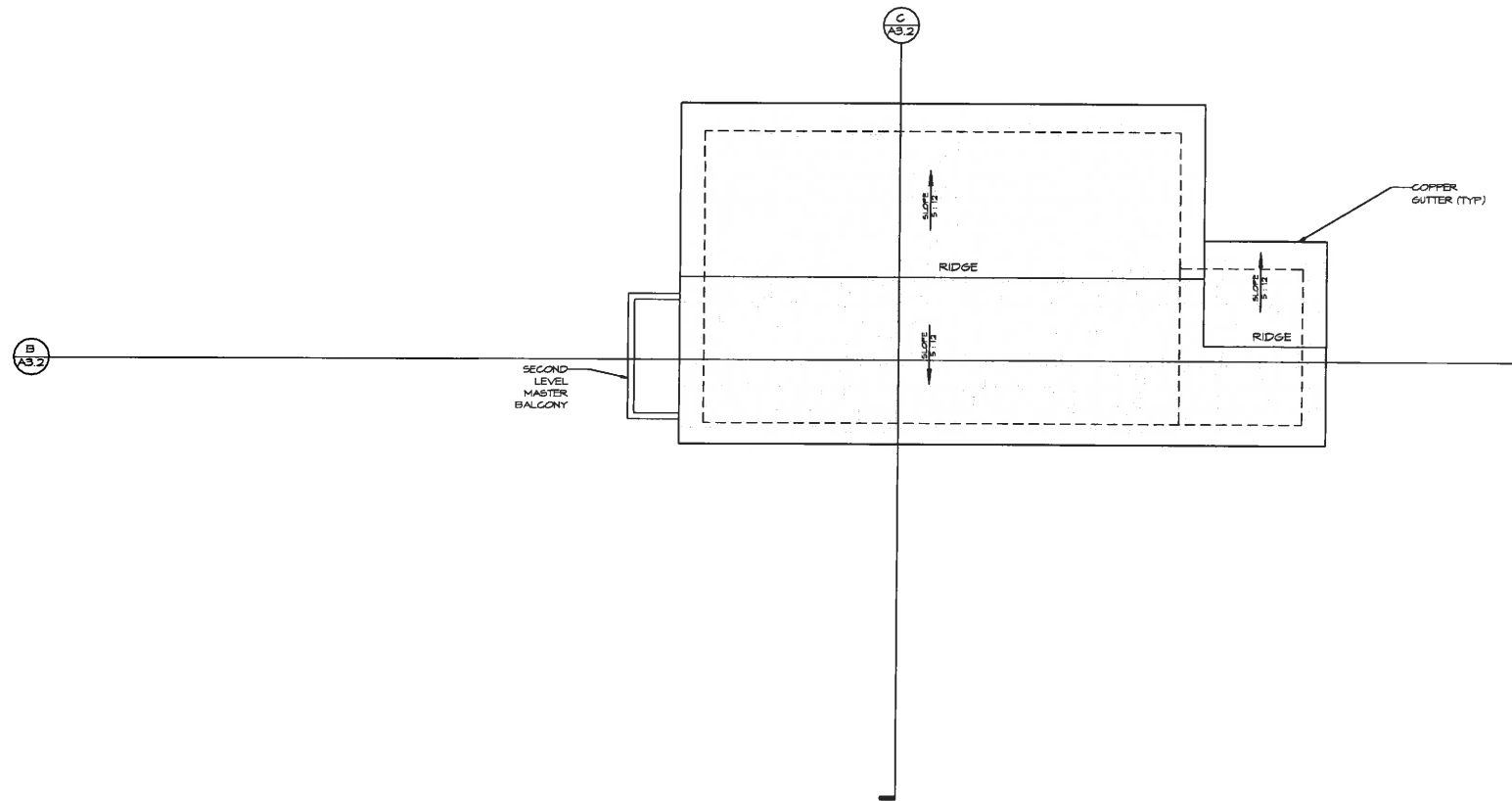
**HOLDREN+LIETZKE
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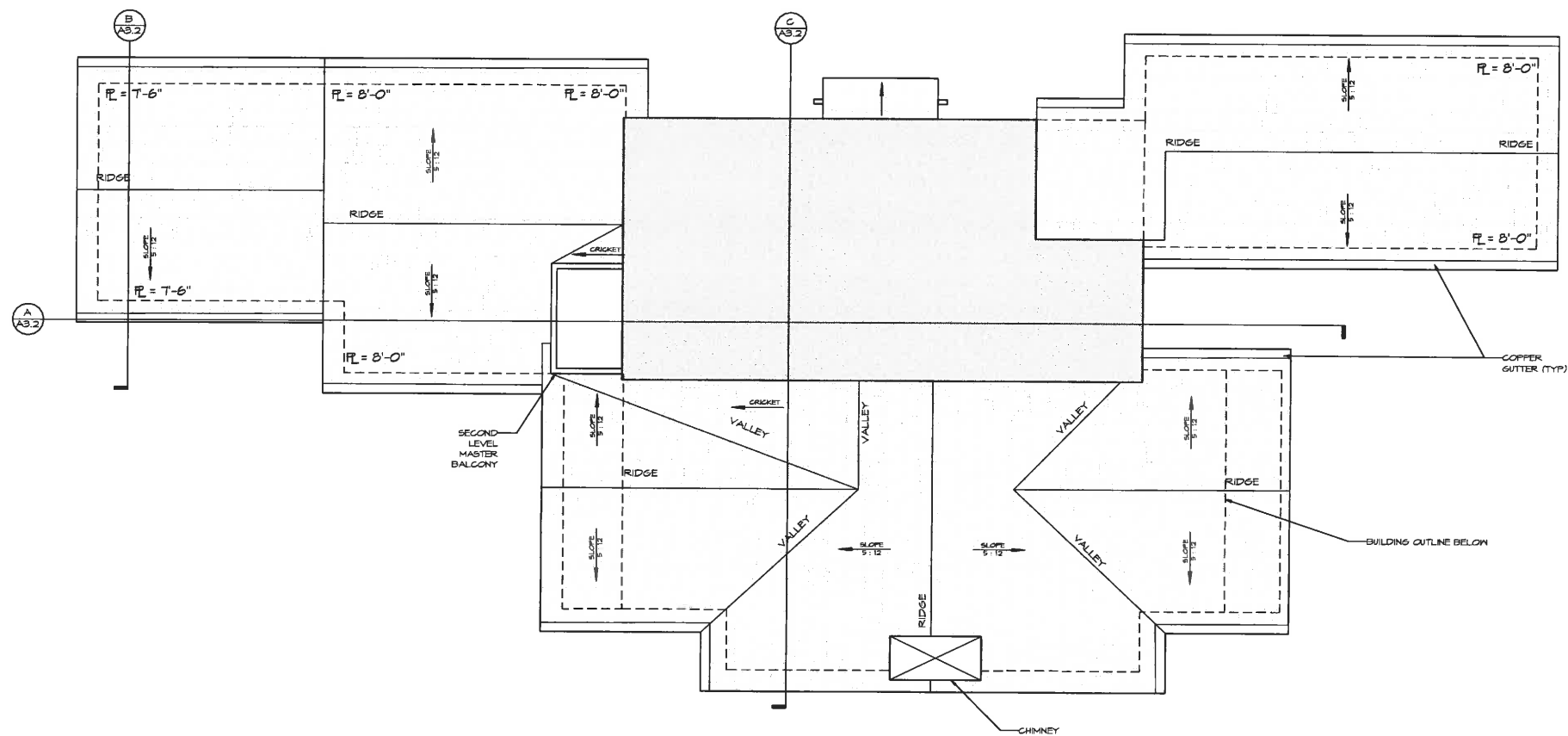
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SCALE: 1/4" = 1'-0"
DRAWN: R.R.
JOB NUMBER: 17.12
REVISION



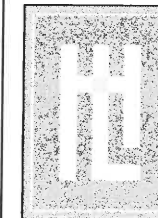
FLOOR PLANS
SANDVICK RESIDENCE
CARMELO STREET, 3 SW OF 9TH AVE.
CARMEL BY THE SEA, CA
A.P.N. 010-277-003



UPPER ROOF PLAN
SCALE: 1/2" = 1'-0"



MAIN ROOF PLAN
SCALE: 1/2" = 1'-0"



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DATE: 10-APR-2018

SCALE: 1/4" = 1' - 0"

DRAWN: R.R.

JOB NUMBER: 17.12

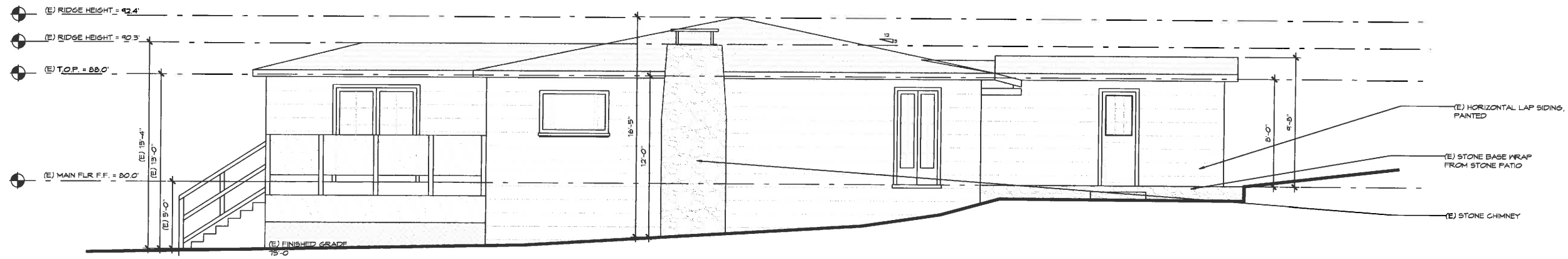
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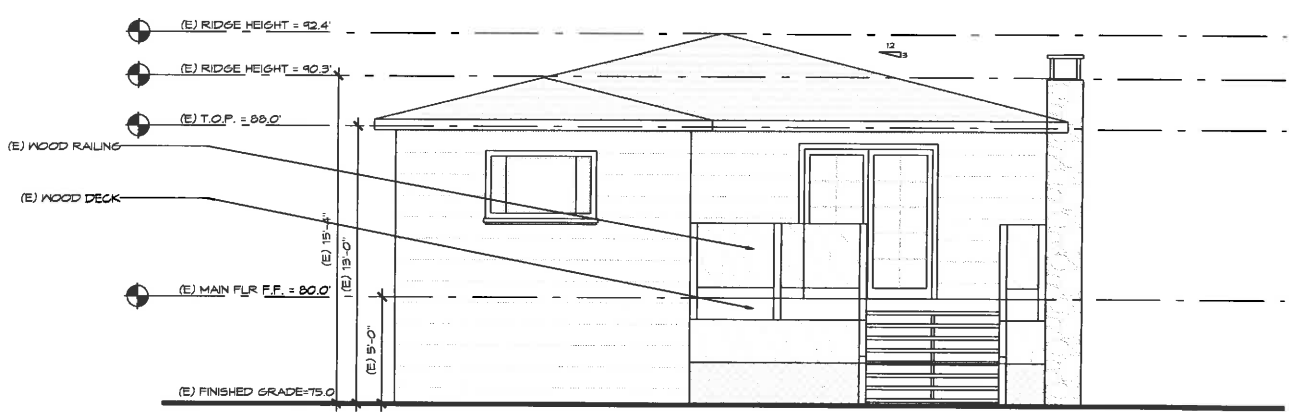
SANDVICK RESIDENCE
CARMELO STREET, 3 SW OF 9TH AVE.
CARMEL BY THE SEA, CA
A.P.N. 010-277-003

ROOF PLANS

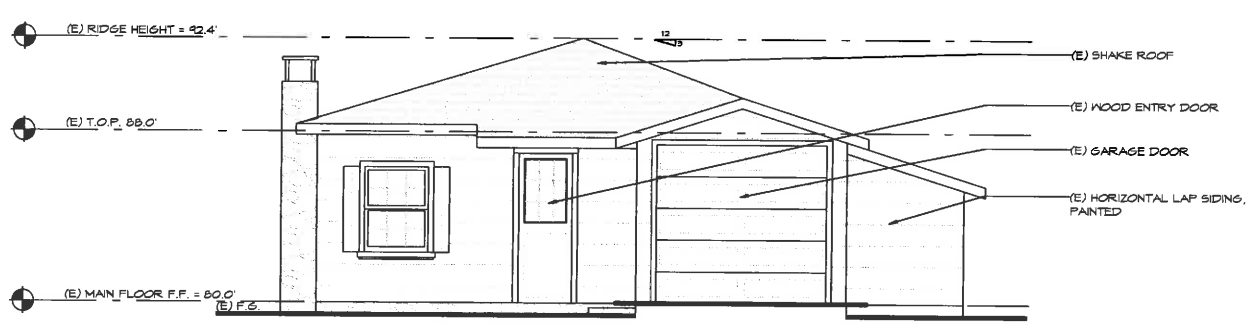
A2.3



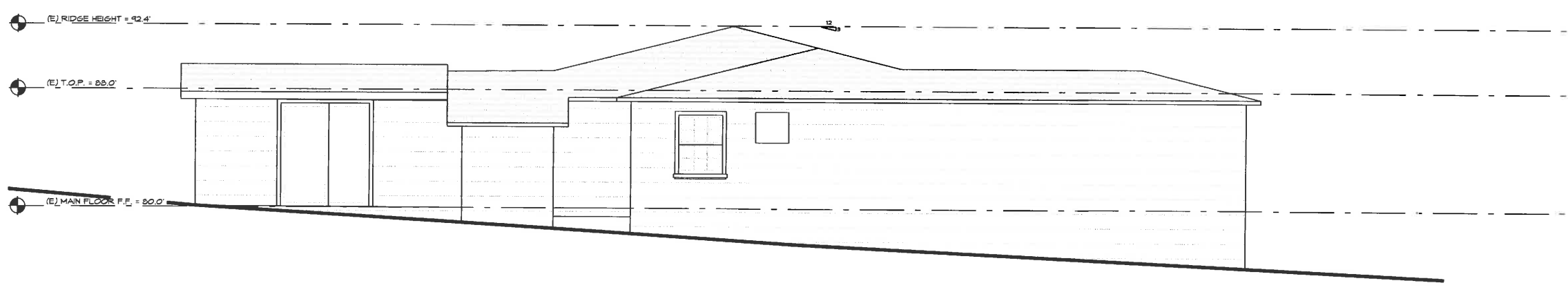
EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



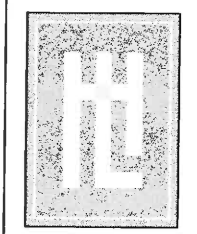
EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



**HOLDREN+LIETZKE
ARCHITECTURE**

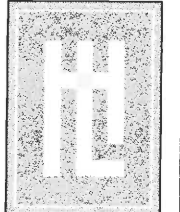
225 CANNERY ROW - SUITE A
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DATE:	10-APR-2018
SCALE:	1/4" = 1'-0"
DRAWN:	RR
JOB NUMBER:	17.12
REVISION	

EXISTING EXTERIOR ELEVATIONS

SANDVICK RESIDENCE

CARMELO STREET, 3 SW OF 9TH AVE.
CARMEL BY THE SEA, CA
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DATE: 10-APR-2016
SCALE: 1/4" = 1'-0"
DRAWN: RR
JOB NUMBER: 17.12
REVISION:



NEW EXTERIOR ELEVATIONS
SANDVICK RESIDENCE
CARMELO STREET, 3 SW OF 9TH AVE.
CARMEL BY THE SEA, CA
A.P.N. 010-277-003

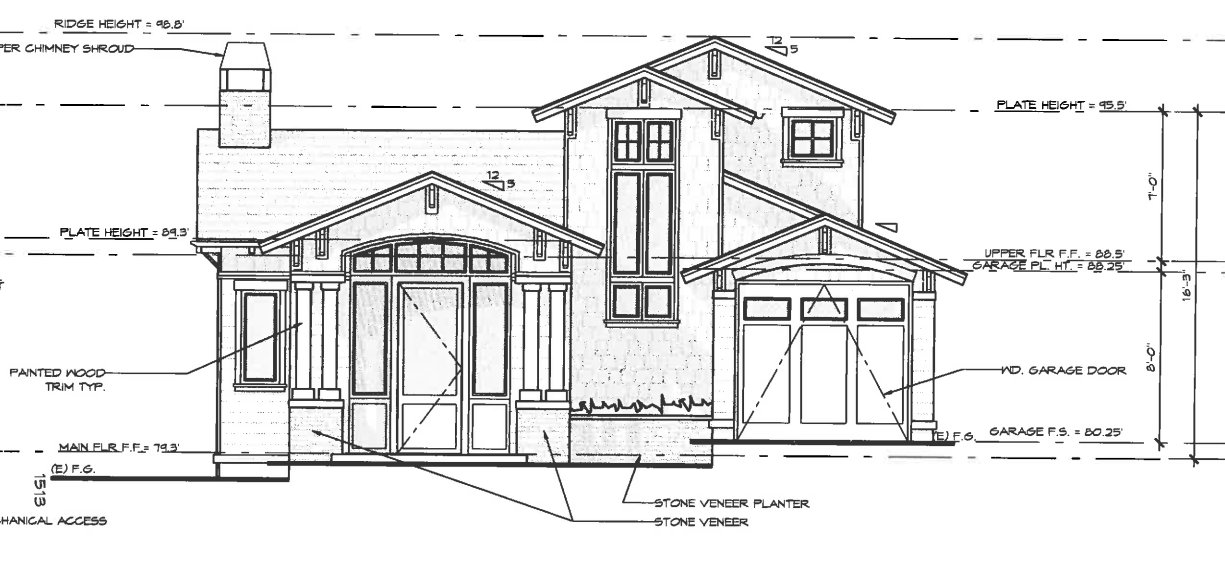
A3.2
244



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

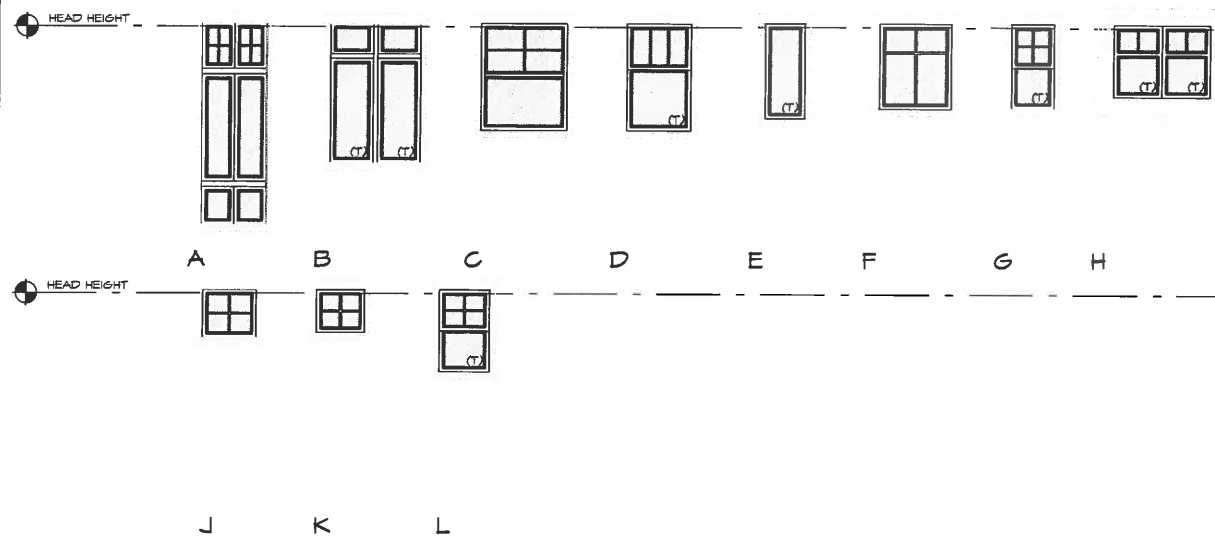


EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE



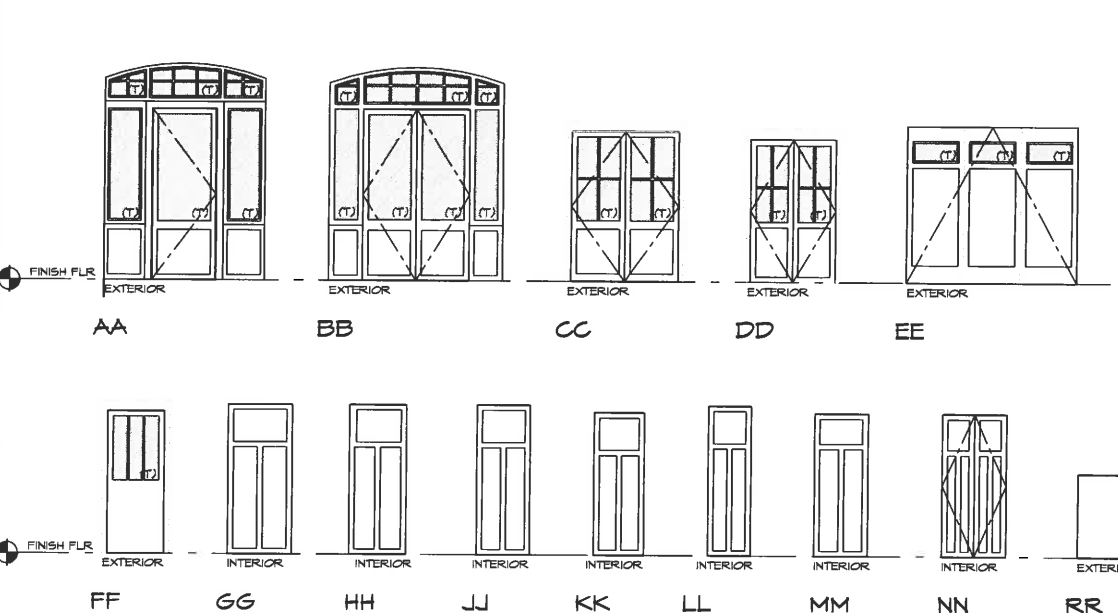
WINDOW NOTES

- FACILITATE CLEANING THE EXTERIOR FROM THE INTERIOR.
- AT DOUBLE PANE WINDOWS WITH OBSCURE GLASS INTERIOR GLAZING CAN BE CLEAR TEMPERED WITH THE EXTERIOR BEING UNTEMPERED OBSCURE.
- ALL DETAILS REFER TO SHEET A4.2 UNLESS OTHERWISE INDICATED.
- SEE FLOOR PLANS FOR WINDOW LOCATIONS.
- SEE EXTERIOR ELEVATIONS FOR WINDOW HORIZONTALS, HORIZONTALS, OPERATIONS, ETC.
- ALL DIVIDERS TO BE TRU DIVIDERS.
- WINDOW SIZES INDICATED ARE APPROXIMATE AND MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD DIMENSIONS.
- ALL OPERATING SASH TO HAVE SCREENS.
- ALL BEDROOMS SHALL HAVE AT LEAST ONE WINDOW THAT MEETS EMERGENCY EGRESS REQUIREMENTS, I.E. A MINIMUM CLEAR OPENING OF 5.7 SQ. FT., A NET OPENING WIDTH OF 1'-0", A HEIGHT OF 2'-0" AND A MAXIMUM SILL HEIGHT OF 3'-0" ABOVE FINISH FLOOR.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING FLOOR PLANS AND EXTERIOR ELEVATIONS FOR VERIFICATION OF NUMBER AND LOCATION OF "E" SASH HEREIN SCHEDULED.
- DETAILS INDICATE FIXED SASH, SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR OPERATION.
- WALL THICKNESS MAY VARY - VERIFY WALL DIMENSIONS PRIOR TO MANUFACTURING WINDOWS.

GLAZING NOTES

- ALL WINDOWS SHALL BE: DOUBLE INSULATED, CLEAR LOW-E, ARGON FILLED SOLARBAN TOXL (PPG GLASS)
- VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
- EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE & THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL. TO QUALIFY AS GLASS W/SPECIAL PERFORMANCE CHARACTERISTICS, EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS & BE VISIBLE WHEN THE UNIT IS GLAZED.
- INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE TEST SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCE. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:
 - GLAZING IN INGRESS & MEANS OF EGRESS DOORS.
 - GLAZING IN FIXED & SLIDING PANELS OF SLIDING DOOR ASSEMBLIES & PANELS IN SWINGING DOORS.
 - GLAZING IN ALL UNFRAMED SWINGING DOORS.
 - GLAZING IN DOORS & TUB ENCLOSURES.
 - GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE DRAIN OUTLET.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION & THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.

DOOR SCHEDULE



DOOR SCHEDULE

MARK	TYPE	NOMINAL DIMENSIONS	NOMINAL DIMENSIONS		GLAZING	FINISH	FRAME	CORE	HARDWARE	DETAILS (SEE SHEET A4.0 & U.C.N.)			REMARKS
			WIDTH	HEIGHT						MIN. THK.	HEAD	JAMB	
201	EXTERIOR RR	CUSTOM BASEMENT DR.	2'-8"	2'-11"	2 1/2"	N/A	-	S.G.	ENTRY	-	-	-	
101	EXTERIOR AA	CUSTOM FRONT DOOR	3'-0"	8'-0"	2 1/2"	TEMP. GLAZING	-	S.G.	ENTRY	-	-	-	TEMPERED GLAZING. SEE DOOR NOTE 3.
102	EXTERIOR BB	GREAT ROOM	3'-0"	8'-0"	2 1/2"	TEMP. GLAZING	-	S.G.	ENTRY	-	-	-	TEMPERED GLAZING. SEE DOOR NOTE 3.
103	EXTERIOR CC	GALLERY	PR. 2'-6"	7'-0"	2 1/2"	TEMP. GLAZING	-	S.G.	ENTRY	-	-	-	TEMPERED GLAZING. SEE DOOR NOTE 3.
104	EXTERIOR FF	GARAGE	3'-0"	7'-0"	2 1/2"	TEMP. GLAZING	-	S.G.	ENTRY	-	-	-	TEMPERED GLAZING. SEE DOOR NOTE 3.
105	EXTERIOR EE	GARAGE SECTIONAL	8'-0"	7'-0"	1 3/4"	TEMP. GLAZING	-	S.G.	ENTRY	-	-	-	TEMPERED GLAZING. SEE DOOR NOTE 3.
106	INTERIOR HH	COAT CLOSET	2'-6"	7'-0"	1 3/8"	N/A	-	S.G.	PASSAGE	-	-	-	
107	INTERIOR GG	LAUNDRY	3'-0"	7'-0"	1 3/4"	N/A	-	S.G.	ENTRY	-	-	-	
108	INTERIOR HH	KITCHEN	2'-6"	7'-0"	1 3/4"	N/A	-	S.G.	PASSAGE	-	-	-	
109	INTERIOR JJ	POUNDER	2'-6"	7'-0"	1 3/4"	N/A	-	S.G.	PRIVACY	-	-	-	
110													
111	INTERIOR KK	CLOSET	2'-4"	6'-8"	1 3/8"	N/A	PAINTED WOOD	PAINTED WOOD	S.G.	PASSAGE	-	-	
112	INTERIOR JJ	BEDROOM 3	2'-6"	6'-8"	1 3/4"	N/A	PAINTED WOOD	PAINTED WOOD	S.G.	PRIVACY	-	-	
113	INTERIOR JJ	BEDROOM 2	2'-6"	6'-8"	1 3/4"	N/A	PAINTED WOOD	PAINTED WOOD	S.G.	PRIVACY	-	-	
114	INTERIOR KK	J&J BATHROOM	2'-4"	6'-8"	1 3/4"	N/A	PAINTED WOOD	PAINTED WOOD	S.G.	PRIVACY	-	-	
115	INTERIOR KK	CLOSET	2'-0"	6'-8"	1 3/8"	N/A	PAINTED WOOD	PAINTED WOOD	S.G.	PASSAGE	-	-	
116	INTERIOR JJ	J&J BATHROOM	2'-4"	6'-8"	1 3/4"	N/A	PAINTED WOOD	PAINTED WOOD	S.G.	PRIVACY	-	-	
117													
118													
119													
120													
201	EXTERIOR DD	MASTER BALCONY	PR. 2'-0"	6'-8"	1-3/4"	TEMP. GLAZING	PAINTED WOOD	PAINTED WOOD	S.G.	ENTRY	-	-	TEMPERED GLAZING. SEE DOOR NOTE 3.
202	INTERIOR MM	MASTER BEDROOM	2'-6"	6'-8"	1-3/4"	N/A	PAINTED WOOD	PAINTED WOOD	S.G.	PRIVACY	-	-	
203	INTERIOR MM	MASTER BATH	2'-6"	6'-8"	1-3/4"	N/A	PAINTED WOOD	PAINTED WOOD	S.G.	PASSAGE	-	-	
204	INTERIOR NN	MASTER CLOSET	PR. 1'-6"	6'-8"	1-3/4"	N/A	PAINTED WOOD	PAINTED WOOD	S.G.	PASSAGE	-	-	
205	INTERIOR NN	MASTER CLOSET	PR. 1'-6"	6'-8"	1-3/4"	N/A	PAINTED WOOD	PAINTED WOOD	S.G.	PASSAGE	-	-	
206													
207													
208													
209													
210													

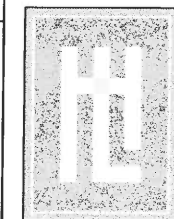
DOOR NOTES

- HARDWARE NOTES:**
ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.C.N.:
- ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.
 - SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
 - THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
 - PROVIDE 4" x 4" BUTTS ON ALL DOORS.
 - ALL HARDWARE TO HAVE FINISH PER OWNER.
 - ALL FIRE RATED DOORS SHALL HAVE PEMKO 558D (OR EQUAL) SMOKE SEALS.
- DOOR NOTES:**
- SEE EXTERIOR ELEVATIONS FOR DOOR OPERATION.
 - ALL DOOR GLAZING TO BE TEMPERED: S.G. = STAIN GRADE P.S. = PAINT GRADE MFR. = MANUFACTURER
 - TEMPERED GL. - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING.
 - VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
 - PROVIDE HEAD/JAMB/THRESHOLD EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
 - SEE DETAIL 2/- FOR TYPICAL THRESHOLD FLASHING REQUIREMENTS.

WINDOW SCHEDULE

NOTES: 1. (T) = TEMPERED GLAZING
2. WINDOW MANUFACTURER: KOLBE, MODEL: ULTRA, FINISH: MAHOGANY, OR APPROVED EQUAL

MARK	TYPE	NOMINAL DIMS (WIDTH x HEIGHT)	HEAD HT. (ABV. F.F.)	WALL THICKNESS	FRAME/ FINISH	GLAZING	LOW E	DETAILS - SEE SHEET A4.1 U.C.N.			REMARKS
								HEAD	JAMB	SILL	
1	A	1'-6" x 4'-0"	7'-8"	2x5	PTD. WD.	DOUBLE INSULATED	LOW e	-	-	-	TEMPERED GLAZING # REQUIRED LITES
2	B	(2) 2'-0" x 6'-0"	9'-7"	2x5	PTD. WD.	DOUBLE INSULATED	LOW e	-	-	-	TEMPERED GLAZING # REQUIRED LITES
3	B	(2) 2'-0" x 6'-0"	9'-7"	2x5	PTD. WD.	DOUBLE INSULATED	LOW e	-	-	-	TEMPERED GLAZING # REQUIRED LITES
4	G	2'-0" x 4'-0"	6'-0"	2x5	PTD. WD.	DOUBLE INSULATED	LOW e	-	-	-	TEMPERED GLAZING # REQUIRED LITES
5	G	2'-0" x 4'-0"	6'-0"	2x5	PTD. WD.	DOUBLE INSULATED	LOW e	-	-	-	TEMPERED GLAZING # REQUIRED LITES
6	D	3'-0" x 5'-0"	6'-6"	2x5	PTD. WD.	DOUBLE INSULATED	LOW e	-	-	-	
7	C	4'-0" x 5'-0"	6'-6"	2x5	PTD. WD.	DOUBLE INSULATED	LOW e	-	-	-	
8	D	3'-0" x 5'-0"	6'-6"	2x5	PTD. WD.	DOUBLE INSULATED	LOW e	-	-	-	
9	K	2'-0" x 2'-0"	6'-6"	2x5	PTD. WD.	DOUBLE INSULATED	LOW e	-	-	-	
10	NOT USED										
11	D	3'-0" x 5'-0"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
12	D	3'-0" x 5'-0"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
13	K	2'-0" x 2'-0"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
14	H	(2) 2'-0" x 3'-0"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
15	A FIXED	3'-0" x 9'-6"	15'-8"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
16	NOT USED										
17	NOT USED										
18	NOT USED										
19	NOT USED										
20	NOT USED										
21	J	2'-0" x 2'-6"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
22	K	2'-0" x 2'-0"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
23	K	2'-0" x 2'-0"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
24	F	3'-0" x 3'-6"	6'-8"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
25	L	2'-0" x 4'-0"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
26	L	2'-0" x 4'-0"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
27	K	2'-0" x 2'-0"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
28	K	2'-0" x 2'-0"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
29	J	2'-0" x 2'-6"	6'-6"	2x5		DOUBLE INSULATED	LOW e	-	-	-	
30	NOT USED										
31	NOT USED										
32	NOT USED										
33	NOT USED										
34	NOT USED										
35	NOT USED										

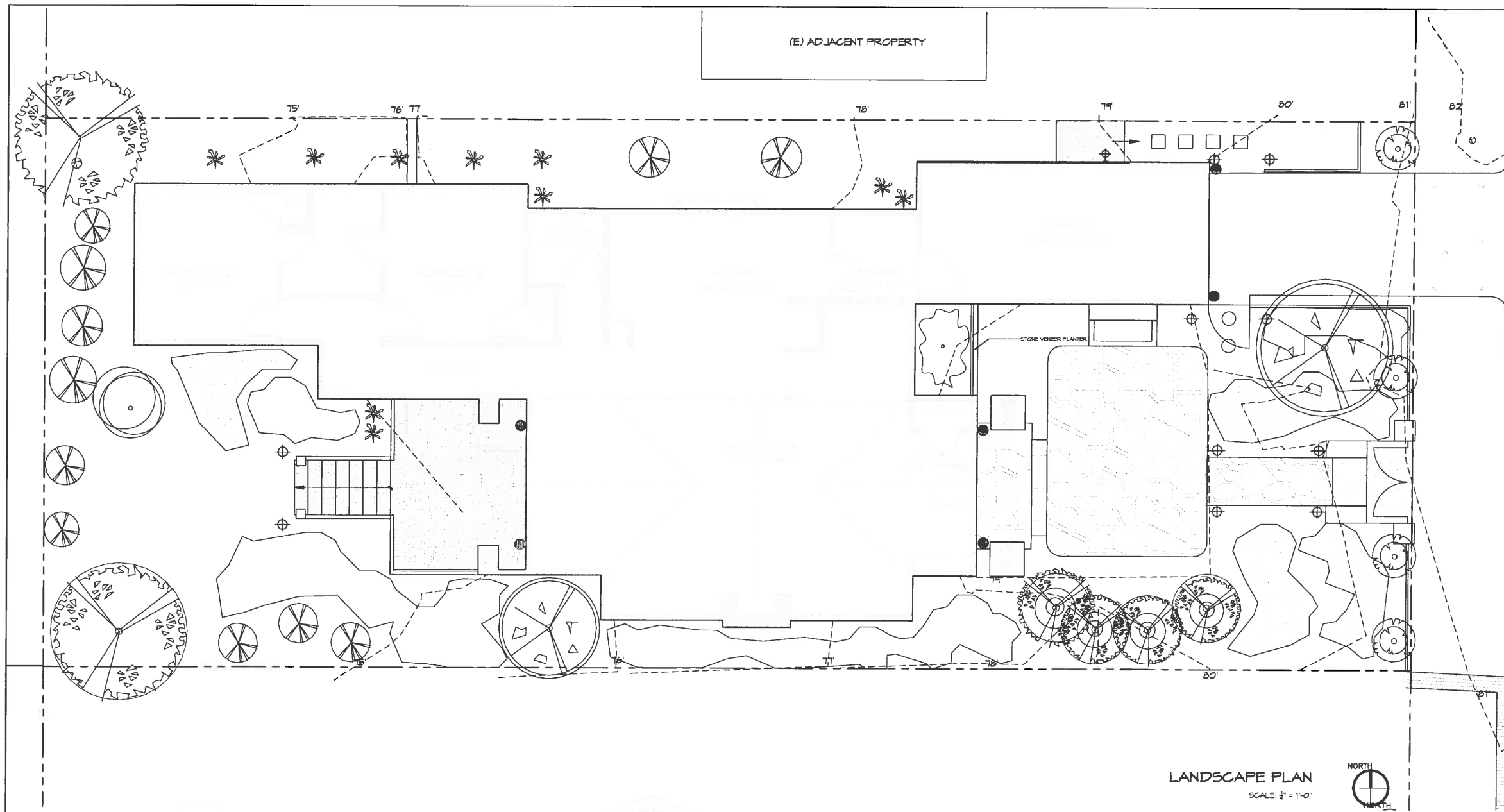


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DATE: 10-APR-2018
SCALE: 1/4" = 1' - 0"
DRAWN: RRR
JOB NUMBER: 17.12
REVISION



DOOR AND WINDOW SCHEDULE
SANDVICK RESIDENCE
CARMELO STREET, 3 SW OF 9TH AVE.
CARMEL BY THE SEA, CA
A.P.N. 010-277-003



LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"

PLANT LIST & KEY SYMBOL

VACCINIUM OVATUM	
CARPENTERIA CALIFORNICA	
ABUTILON SP.	
CORNUS NUTTALLII	
CAMELLIA SASANGUA SETSUGEKKA	
EPIMEDIUM SP.	
THYMUS	
DUGHESNIA INDICA	
NEPHROLEPIS CORDIFOLIA	
LAVANDULA SP.	
DODONEA V.	

LEGEND:

	HOSE BIB
	IRRIGATION CONTROL VALVE BOX
	DENOTES AN (E) WOOD FENCE
	DENOTES SITE IMPROVEMENTS
	DENOTES PROPERTY LINE
	CATCH BASIN W/DECORATIVE IRON GRATE
	WATER METER

NOTE:
ITEMS SHOWN ARE NEW V.O.N.

LIGHTING NOTES

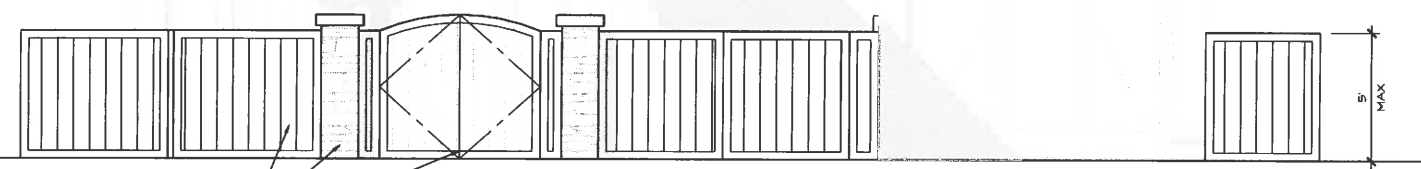
1. ALL OUTDOOR LIGHTING SHALL BE LABELED "SUITABLE FOR DAMP" OR "SUITABLE FOR WET LOCATIONS".
2. ALL OUTDOOR LIGHTING SHALL HAVE MOTION SENSORS.

LANDSCAPE NOTES

1. ELEVATION DATUM IS ASSUMED.
2. DISTANCES AND ELEVATIONS ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
3. RECORD DATA IS SHOWN IN PARENTHESIS (.....)
4. CHECK FOR DIRECTION OF TREE GROWTH IN FIELD WHERE PERTINENT TO LOCATION OF IMPROVEMENTS.
5. DAYLIGHT 4" DIA. MIN. BELOW GRADE PERIMETER & RUNOFF DRAINS - PROVIDE SILT TRAP FOR ALL DRAIN OUTLETS IN PUBLIC RIGHT-OF-WAY.
6. CONTOUR INTERVAL = 1'-0"

LIGHTING LEGEND

	(6) PATH LIGHTS - 3 WATT / 200 LUMEN LED LARGE MUSHROOM LOW VOLTAGE BRONZE LANDSCAPE COPPER BOLLARD, LAMPS PLUS STYLE #2C494 MARKED "SUITABLE FOR DAMP" OR "SUITABLE FOR WET LOCATIONS"
	(4) WALL SCONCE, SHIELDED 4 WATT / 325 LUMEN LED BRONZE W/ FROSTED GLASS PROGRESS MODEL: P5644-20 SQUARE DOWNWARD LIGHT OUTDOOR WALL MOUNT FIXTURE. MARKED "SUITABLE FOR DAMP" OR "SUITABLE FOR WET LOCATIONS"
	(3) WALL SCONCE SHIELDED BULB, DOWNWARD LIGHT 20 WATT (25 WATT MAX.) 270 LUMENS (275 LUMENS MAX.) MODEL: WS-WB0507-ORB OIL RUBBED BRONZE PANDORA 1 LIGHT LED OUTDOOR WALL SCONCE 1" WIDE MARKED "SUITABLE FOR DAMP" OR "SUITABLE FOR WET LOCATIONS"



FENCE/WALL ELEVATION
SCALE: 3/8" = 1'-0"

**HOLDREN+LIETZKE
ARCHITECTURE**

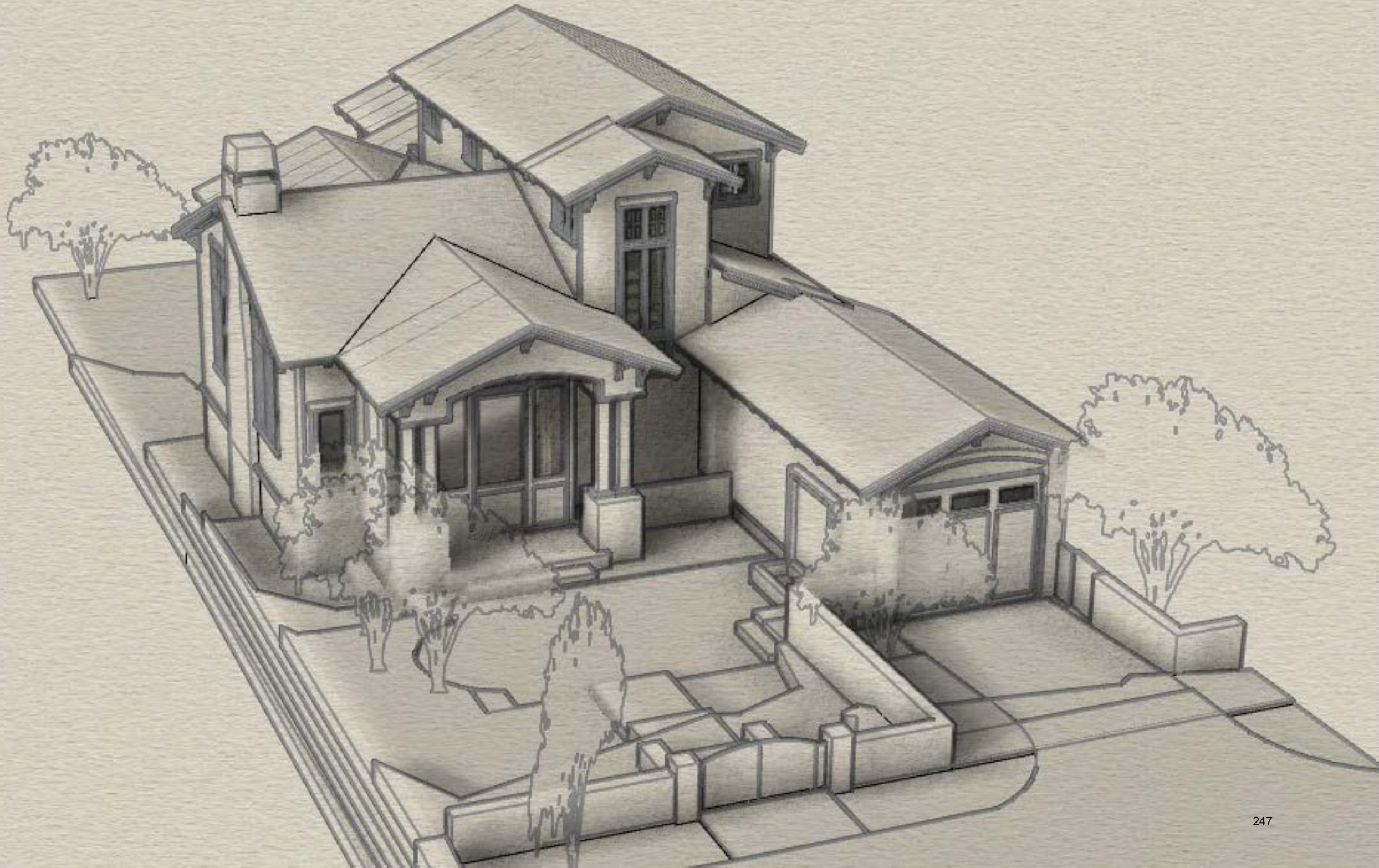
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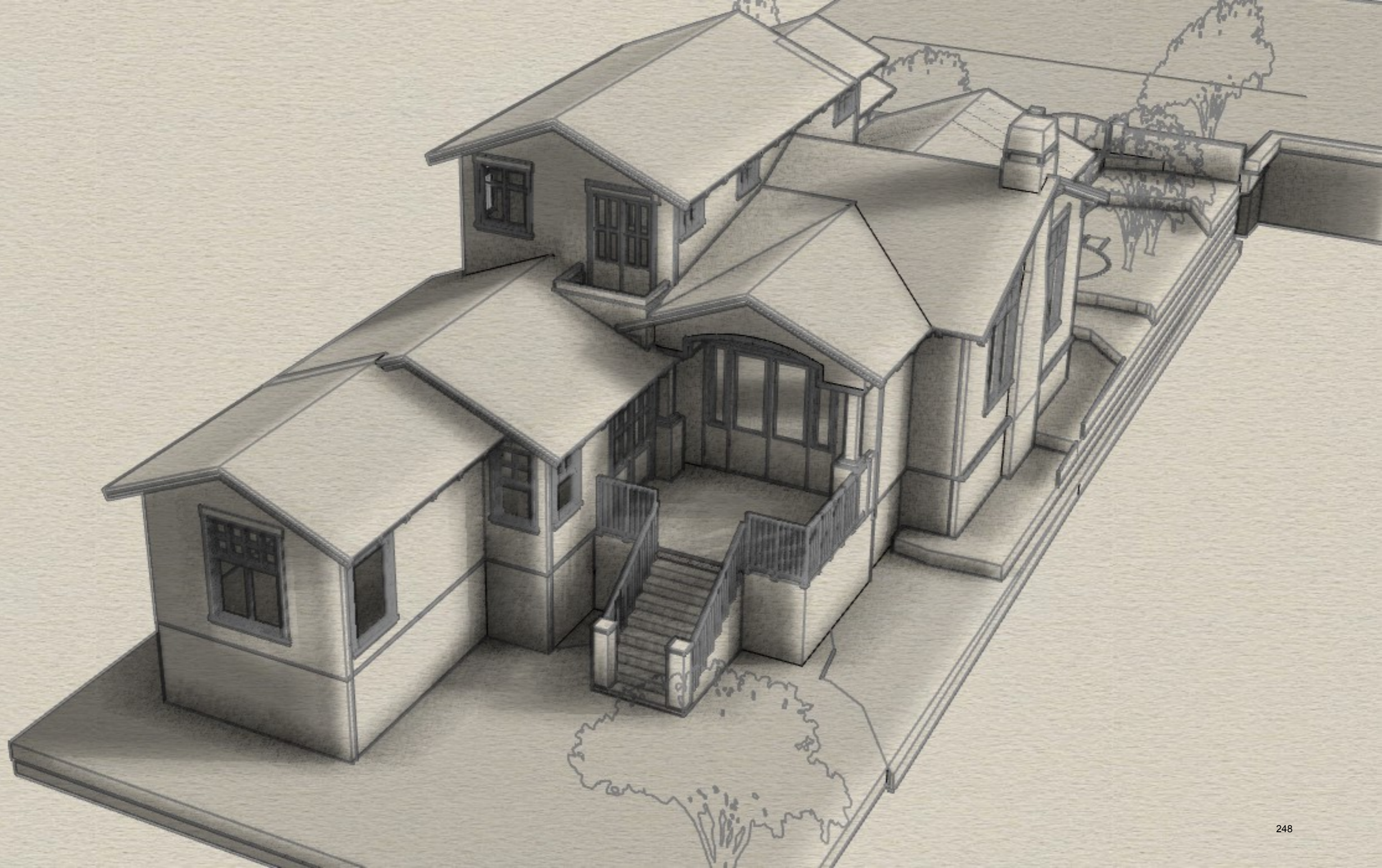
DATE: 10-APR-2018
SCALE: 1/4" = 1'-0"
DRAWN: R.R.
JOB NUMBER: 17.12
REVISION:



LANDSCAPE & LIGHTING PLAN, & FENCE/WALL ELEV.

SANDVICK RESIDENCE
CARMELO STREET, 3 SW OF 9TH AVE.
CARMELO BY THE SEA, CA
A.P.N. 010-277-003







FRAN AND CAMERON WOLFE
59 LAKEVIEW AVENUE
PIEDMONT, CALIFORNIA 94611

Project: Carmelo, 3 SW of 9th Avenue

June 3, 2018

To the Carmel-By-The-Sea Planning Commission:

Frances and Cameron Wolfe, Jr., owners of San Antonio, 2 SE of 9th Avenue submit the following comments regarding the above referenced project to members of the Planning Commission:

Major Impact and Lack of Consultation: Our property backs up directly against the proposed project and is arguably the most impacted by the project of any property in the neighborhood. Despite that, we were not included in the meeting held on April 21, 2018 to view the plans and meet the Sandvicks. When asked about our lack of notice, the architect stated it was not thought we would be interested.

We did meet with the architect subsequently on one occasion and raised a number of questions and concerns. He agreed to consult with the Sandvicks and get back to us. Since that time the architect has not returned our telephone calls or e-mails, and we have had no contact from the Sandvicks.

The photos submitted with this letter show that the new house as proposed would tower over us like a behemoth. It would result in a substantial loss of privacy, particularly to our second story bedroom and our patio.

Objection to Second Story: On the basis of its major invasion of our privacy, we ask the Planning Commission not to approve the plans for the Second Story as proposed.

Objection to Second Story Balcony: The second story balcony hanging out toward our property is particularly objectional. The house next door to the proposed project at 2 SW of 9th on Carmelo has a second story porch that has proved a major invasion of our privacy. That is particularly true of the previous owner of that home, who used that porch for loud parties late into the night. As the Sandvick home is directly behind us, the prospect of similar outdoor activities is very alarming.

Objection to Outdoor Light on Balcony: Based on not seeing detailed blueprints we can't determine whether an outdoor light is contemplated for the second story balcony. We object to the inclusion of such a light in the strongest possible terms. The porch next door (2 SW of 9th on Carmelo) to the proposed project has a light. Although an ordinance limits the wattage of outdoor lights, that ordinance proved unenforceable in the case of the previous owner of that house. No sooner was a proper light put in for the purpose of inspection than it was changed to 150 watts as

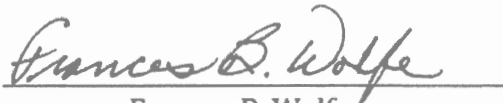
soon as the inspector left. Such a light intrudes into our bedrooms in a major way at night. Any such light should be prohibited.

Retention of Existing Tree should be a Condition of Approval: If the second story is to be constructed as proposed, we request retention of the existing tree near the rear property line be a condition of the permit. Marnie Waffle viewed the effect that tree would have from screening our downstairs master bedroom from a new second story on the Sandvick property. That is also shown in the photograph we are submitting. That photograph was taken from our second story back bedroom window. While Marnie has indicated the Sandvicks are now agreeable to retaining that tree, such retention should be mandatory for the protection of our privacy.

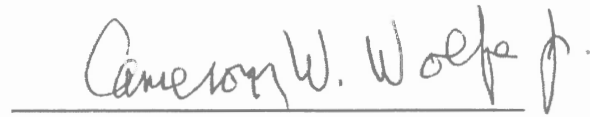
Protection of Heritage Buckeye Tree: Our photos show the beauty of the Buckeye Tree that grows on the four corners of 3 SW and 4 SW on Carmelo and 2 SE and 3 SE on San Antonio. That tree was planted more than 80 years ago by Mr. Wolfe's grandmother and is exceptionally magnificent for a Buckeye growing so close to the ocean. The plans for the Sandvick project appear to show the planting of a new tree directly under the Buckeye Tree in the SW corner of their property. Such a tree would pose a clear threat to the health of the Buckeye and should not be permitted.

Reservation of Rights: The undersigned expressly reserve the right to raise each and every one of the aforementioned points as grounds for future challenges to the proposed Sandvick Project should subsequent proceedings to challenge it be necessary.

Respectfully Submitted,



Frances B. Wolfe



Cameron W. Wolfe, Jr.

cc. Craig Holdren

Cameron + Fran Wolfe

2 San Antonio Ave, 2 SE of 9th
View from upstairs Bedroom

RECEIVED

JUN 01 2018

City of Carmel-by-the-Sea
Planning & Building Dept.



Cameron & Fran Wo lte
2 San Antonio Ave., 2 SE of 9th
View from patio

RECEIVED

JUN 01 2018

City of Carmel-by-the-Sea
Planning & Building Dept.



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DERRIC G. OLIVER

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 ext. 207

June 7, 2018

VIA EMAIL (MWIENER@CI.CARMEL.CA.US)

Carmel Planning Commission
 c/o Marc Wiener, AICP
 Community Planning and Building Director
 Carmel-by-the-Sea City Hall
 P.O. Box CC
 Carmel-by-the-Sea, CA 93921

Re: Application DS 18-137 / Carmelo St. 3 SW of 9th Ave. (APN 010-277-003)
Our File: 34156.32248

Dear Planning Commissioners:

I am writing on behalf of Carol Casey, the owner of the real property located at Carmelo Street 2 SE of 9th Avenue (APN 010-276-018) (“Casey Property”).¹ The Casey Property will be negatively impacted by loss of ocean views caused by the proposed development of the real property located at Carmelo Street 3 SW of 9th Avenue (APN 010-277-003) and owned by John and Patricia Sandvick (“Sandvick Property”) that is the subject of application DS 18-137 to demolish the existing 909 sq. ft. single-story single family residence and construct a new 1,800 sq. ft. two-story single family residence (“Project”).

By this letter, Ms. Casey objects to the Project as proposed on the grounds that it will negatively impact view sharing by significantly interfering with ocean views from the Casey Property, in violation of Carmel Municipal Code section 17.58.010.A.4 and Carmel’s Residential Design Guidelines (Design Concept Review, section 5.0).

¹ Ms. Casey also owns the adjoining parcel located at the SE Corner of 9th Avenue and Carmelo Street (APN 010-276-017) and the parcel located at 1 SE San Antonio Avenue at 9th Avenue (APN 010-277-012).

Carmel Planning Commission
June 7, 2018
Page 2

The relevant portion of the assessor's parcel map showing the Sandvick Property and the Casey Property is attached hereto and incorporated herein as **Exhibit A**. A photograph showing the Project story poles and resulting loss of ocean views from the Casey Property is attached hereto and incorporated herein as **Exhibit B**.

Based on Mr. Casey's concerns, as shown in the above referenced photograph and as further detailed in architect Brian Congleton's letter (attached hereto and incorporated herein as **Exhibit C**), and based on the Project architect's representation that the Project's second story could be moved toward the south to avoid loss of ocean views from the Casey Property, Ms. Casey respectfully requests that the Project be denied as proposed, or in the alternative, that the Project be approved with required conditions consistent with the recommendations in Mr. Congleton's letter that protect the Casey Property from loss of ocean views.

Very truly yours,

FENTON & KELLER
A Professional Corporation



Derric G. Oliver

cc: Commissioner Christopher Bolton
Commissioner Michael LePage, Chair
Commissioner Gail Lehman, Vice Chair
Commissioner Stephanie Locke
Commissioner Julie Wendt
Marnie Waffle, Planner
John S. Bridges, Esq.
Carol Casey

EXHIBIT A

CAMINO

100.	80.	40.	40.	75.	45.	40.	80.
1	1	2	3	4	5	6	15
3	5	7	9	11	13	15	17
40.	40.	40.	40.	50.	45.	40.	16
2	4	6	8	10	12	14	18
100.	100.	100.	100.	100.	100.	100.	100.
17	18	13	12	11	10	8	20
40.	40.	40.	80.	70.	70.	80.	50.
							9

CASEY
OCEAN VIEW
LOSS

CARMELO

40.	40.	100.	100.	80.
1	2	3	4	5
1	3	5	7	9
40.	40.	40.	40.	50.
2	4	6	8	10
70.	70.	70.	70.	70.
12	11	10	17	18
70.	50.	40.	40.	120.

SANDVICK

9th

10th

SAN ANTONIO

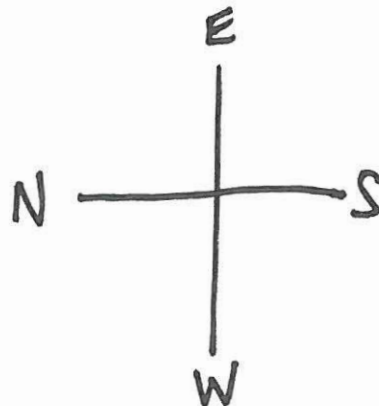


EXHIBIT B



EXHIBIT C



June 5, 2018

Lyman & Carol Casey
C/O Derric Oliver, Attorney at Law
Fenton & Keller
Post Office Box 793
Monterey, California 93942
Via email: doliver@fentonkeller.com

Dear Mr. & Mrs. Casey:

I have been asked by you and your attorney, Derric Oliver of Fenton & Keller Attorneys, to review the design of the proposed Sandvick Residence on the west side of Carmelo 3 South of Ninth Avenue in Carmel. As you have a residence across Carmelo Street to the east, you have expressed concerns about potential impacts of the proposed project on your ocean view.

The proposed new Sandvick residence is a two-story residence totaling 1,800 square feet. The second floor is 286 square feet and is a master bedroom suite and bath. The mass of the second floor will block much of your view from your home on Carmelo. The recently-erected netting shows that the second-floor master bedroom of the proposed Sandvick residence will take away much (approximately 50%) of that view.

Review of the drawings of the proposed project show that the second story north wall is approximately 6'-6" from the north property line, but the second story south wall is approximately 22'-6" from the south property line. Shifting the second floor a few feet to the south would restore most of the view that would be blocked by the current proposed design. This would still allow the Sandvicks their upper-floor bedroom with view, without significantly blocking your very narrow view cone.

I think it would be reasonable to ask the Sandvicks to modify the design, moving the second floor mass at least two feet to the south, to balance their new view opportunity with your limited existing view.

If you have questions or wish to discuss this report, please contact me. Thank you.

Sincerely,

Brian T. Congleton



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 13, 2018

To: Chair LePage and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Subject: Consideration of a Use Permit (UP 18-113) to expand an existing candy store and add the use of a specialty restaurant (coffee shop) as an ancillary use at a site located in the Central Commercial (CC) Zoning District.

Application: UP 18-113 **APN:** 010-146-011
Block: 76 **Lot:** 12
Location: Dolores St., 4 Parcels SE of Ocean Ave.
Applicants: Dennis Joshi **Property Owner:** Carmel Properties, LLC.

EXECUTIVE SUMMARY

The applicant is seeking approval of a Use Permit to expand an existing candy store and add a Specialty Restaurant as an ancillary use.

RECOMMENDATION

Approve Use Permit (UP 18-113) application subject to the attached Findings for Decision (Attachment A) and Conditions of Approval (Attachment B).

BACKGROUND AND PROJECT DESCRIPTION

The project site is located on Dolores Street, 4 SE of Ocean Avenue in a historic commercial building. The building contains three tenant spaces, including two jewelry stores and a candy store named All About the Chocolates, owned by Dennis Joshi. The candy store is 1,773 square feet in size and the jewelry store (south of the candy store) is 390 square feet.

The applicant, Dennis Joshi, has submitted a use permit application (UP 18-113) to expand the candy store into the southern jewelry store space. In addition to the expansion, the applicant is also proposing to add a Specialty Restaurant as an ancillary use that would include the service of coffee and other beverages, as well as some sandwiches and pastries. A total of 14 seats and would be added to the business space, including 10 at a bar and two 2-top tables. The existing jewelry permit at this location would be voided and jewelry would no longer be sold from the space.

Staff Analysis:

Specialty Food Store: CMC 17.68.050 defines Specialty Food Stores as: *“Retail food markets that provide a specialized and limited range of food items sold primarily for home preparation and consumptions...examples include candy, nut and confectionery stores.”*

Pursuant to Municipal Code Section 17.14.030, Specialty Food stores require the issuance of a conditional use permit. In 2016, the City Council approved a use permit (UP 15-261) to establish the existing candy store, All About the Chocolates. A new use permit is required to expand the candy store into the neighboring 390-square foot jewelry store. The new space would be remodeled to be consistent in design to the existing candy store. A use permit is also required to add a specialty restaurant as an ancillary use, as described in the following section.

Specialty Restaurant: CMC 17.68.050 defines Specialty Restaurants as: *“Restaurants providing a limited range of food products for immediate consumption on the site. These restaurants provide seating but are not required to provide table service or menus. Specialty restaurants provide, as a primary use, two or fewer of the following lines of foods: pastries and doughnuts, frozen desserts, candy and nuts, juices, and coffee and tea.”*

The proposed new beverage and food service is classified by the City’s Municipal Code as a Specialty Restaurant and is intended to complement the candy store. The Specialty Restaurant component of the business is primarily for the sale of beverages, such as coffee, tea and juice. As indicated in the list of beverage/food items to be sold (Attachment 4), a small percentage of the items would consist of sandwiches and vegetable/chicken rolls. The Code states that sales of soup, salads and sandwiches may be allowed in an amount up to 10 percent of sales, and as such, a condition has been drafted limiting the sale of these items. In addition to sandwiches, the applicant would also provide pastries made by Paris Bakery and pre-packaged cookies.

The proposal complies with the Specialty Restaurant Standards (Attachment 3) in that it has a public restroom, the total space meets the minimum size of 400 square feet and that there is a minimum of 14 seats. The proposal also complies with the standard that prohibits drive-in, fast food, take-out or formula establishments, in that the business does not meet the definition of drive-in or formula food. The Municipal Code includes a standard that the “service counter must be located within the interior of the business premises and arranged so that customers must first pass by or through the seating area to reach the counter and patron queues will be contained within the building.” The primary intent of this code section is to regulate the floor

layout by not allowing the restaurant service counters to be at the front of the business space. In this case the service counter would be set back from the front entry, behind the retail, in the smaller space previously occupied by the jewelry store. The seating will be at the rear of the larger space, currently occupied by the candy store. This application is unique, in that the primary use is a candy store and not a restaurant. In staff's opinion, this application complies with the intent of the design layout standard, which is that the counter not be at the front of the space. Furthermore, the proposal to add some food and beverage items is compatible with the candy store and will enhance the business.

Water Use: The property owner has provided documentation to staff from the Monterey Peninsula Water Management District indicating that the subject property has sufficient water credits to support the proposed use.

Environmental Review: The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Structures. The project consists of the conversion of a 390-square foot retail jewelry store to a retail candy store/specialty restaurant.

ATTACHMENTS:

- Attachment 1 – Findings for Decision
- Attachment 2 – Conditions of Approval
- Attachment 3 – Specialty Restaurant Standards
- Attachment 4 – List of Items to be Sold
- Attachment 5 – Project Plans

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR APPROVAL

UP 18-113 (All About the Chocolates)
Dolores St., 4 SE of Ocean Ave.
Block 76, Lots 12
APN: 010-146-011

PROJECT DESCRIPTION:

Consideration of a Use Permit (UP 18-113) to expand an existing candy store and add the use of a specialty restaurant (coffee shop) as an ancillary use at a site located in the Central Commercial (CC) Zoning District.

FINDINGS OF FACT:

1. The project site is located on Dolores Street, 4 parcels southeast of Ocean Avenue.
2. The applicant submitted a Use Permit application on March 16, 2018 to expand an existing specialty food store (candy store) and include a specialty restaurant as an ancillary use at a site located in the Central Commercial (CC) Zoning District.
3. The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Structures. The project consists of the conversion of a 390-square foot retail jewelry store to a retail candy store/specialty restaurant.

General Findings Required for All Use Permits (CMC 17.64.010):

4. The proposed use is not in conflict with the City's General Plan.
5. The proposed project, as conditioned, will comply with all zoning standards applicable to the use and zoning district.
6. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.
7. The proposed project will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, street capacity and fire protection.

8. The proposed project will not be injurious to public health, safety or welfare and provides adequate ingress and egress.
9. The proposed project will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.
10. The proposed project will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.

General Findings Required for Commercial Use Permits (CMC 17.64.020):

11. The proposed use will not conflict with the City's goal of achieving and maintaining a balanced mix of uses that serve the needs of both local and nonlocal populations.
12. The proposed use will provide adequate ingress and egress to and from the proposed location.
13. The capacity of surrounding streets is adequate to serve the automobile and delivery truck traffic generated by the proposed use.

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

UP 18-113 (All About the Chocolates)
Dolores St., 4 SE of Ocean Ave.
Block 76, Lots 12
APN: 010-146-011

PROJECT DESCRIPTION:

Consideration of a Use Permit (UP 18-113) to expand an existing candy store and add the use of a specialty restaurant (coffee shop) as an ancillary use at a site located in the Central Commercial (CC) Zoning District.

AUTHORIZATION:

1. **Use Permit Authorization:** This permit authorizes the operation of a 2,163-square foot Specialty Food Store (Candy Store) with an ancillary use of a Specialty Restaurant as defined in CMC Section 17.68.050. The restaurant shall specialize in the sale of beverages with a limited number of pre-packaged foods as indicated by the applicant in Attachment D.
2. The issuance of Use Permit (UP 18-113) supersedes the original Specialty Food Store Use Permit (UP 15-261).

USE PERMIT STANDARD CONDITIONS (CMC 17.14.040.I):

3. Sales of soup, salads and sandwiches may be allowed in an amount up to 10 percent of sales.
4. Adequate facilities shall be provided on-site for the closed storage of trash and garbage generated by the restaurant. The on-site storage shall be designed so that the area can be cleaned and the refuse removed without creating a public nuisance and without being placed on the sidewalks or other public ways.
 - a. The trash storage area shall be designed and maintained to prevent storm water contamination by loose trash and debris.
 - b. All drainage from adjoining roofs and pavement shall be diverted around the trash area to minimize water flow through the storage area.
 - c. The trash storage area shall be maintained in a screened or walled area to prevent off-site transport of trash.

5. At least one restroom shall be available for use by both sexes within, or conveniently adjacent to, the specific business premises and on the same property on which the full-line restaurant is located. The restroom shall comply with all provisions of the California Building and Plumbing Codes as to the required size, location and accessibility standards, and shall be available for use by both the employees and patrons of the business.
6. The restaurant shall not operate as a "Drive-in, Formula Food or Fast Food" establishment as defined in CMC Section 17.70.
7. Maximum seating capacity shall not exceed the standards in the California Building and Fire Codes or the number of seats approved by this Use Permit, whichever is less. The seating capacity shall be posted on the premises at all times.
8. Food sold for consumption off the premises shall be incidental to the primary use. Such food shall be placed in covered containers or wrapping.
 - a. Except as provided in CMC Sections 8.68.070 and 8.68.080, no restaurant shall provide prepared food to its customers in CFC-processed food packaging or polystyrene foam food packaging, nor shall any restaurant purchase, obtain, keep, sell, distribute, provide to customers or otherwise use in its business any CFC-processed food packaging or polystyrene foam food packaging. The restaurant shall comply with all other requirements in CMC Section 8.68.

USE PERMIT SPECIAL CONDITIONS:

9. Permitted hours of operation are from 7:00 a.m. to 9:00 p.m. daily.
10. The business is permitted a total of 14 seats.
11. The applicant shall obtain all necessary permits from the Monterey County Health Department prior to building permit issuance.
12. The use shall be conducted in a manner consistent with the presentations and statements submitted in the application and at the public hearing, and any change in the use which would alter the findings or conditions adopted as part of this permit shall require approval of a new Use Permit by the City.
13. This Use Permit shall become void and in no further force or effect if the use is not initiated within six (6) months of the issuance of the Certificate of Occupancy from the Building Official.

14. Violations of the terms of this Use Permit or other ordinances of the City may constitute grounds for revocation of this Use Permit and the associated business license by the Planning Commission.
15. A summary sheet of basic Use Permit requirements (allowed days, allowed hours, special mitigations) shall be posted on the premises or shall be available upon request by any enforcement officer of the City.
16. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.

GENERAL CONDITIONS:

17. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

***Acknowledgement and acceptance of conditions of approval.**

Applicant Signature

Printed Name

Date

Property Owner Signature

Printed Name

Date

17.68.050 Commercial Use Classifications.

Restaurants, Specialty. Restaurants providing a limited range of food products for immediate consumption on the site. These restaurants provide seating but are not required to provide table service or menus. Specialty restaurants provide, as a primary use, two or fewer of the following lines of foods: pastries and doughnuts, frozen desserts, candy and nuts, juices, and coffee and tea.

Food Store, Specialty. Retail food markets that provide a specialized and limited range of food items sold primarily for home preparation and consumption. Examples include such uses as:

- Bakeries;
- Candy, nuts and confectionery stores;
- Meat or produce markets;
- Vitamins and health food stores;
- Cheese stores and delicatessens.

17.14.040 Additional Use Regulations.**4. Restaurant, Specialty (Coffee Shops, Ice Cream Parlor, Etc.).**

- a. Minimum size: 400 square feet.
- b. Minimum number of customer seats on site: 14 seats. The customer seating area must be open to patron use during all hours of operation and the use must be managed to encourage on-premises consumption of food products.
- c. Sales of soup, salads and sandwiches may be allowed in an amount up to 10 percent of sales.
- d. The sale of alcohol is prohibited.
- e. Drive-in, fast food, take-out or formula establishments are prohibited.

- f. The service counter must be located within the interior of the business premises and arranged so that customers must first pass by or through the seating area to reach the counter and patron queues will be contained within the building.
- g. Outside seating may be allowed, subject to Chapter [17.58](#) CMC, Design Review.
- h. All products sold for consumption off the premises, other than frozen desserts, must be placed in covered containers or wrappings.
- i. Cooking equipment is limited to indoor stoves and ovens.
- j. Maximum number of food stores and/or restaurants located within structures fronting on Ocean Avenue allowed: 15. See also Chapter [17.56](#) CMC, Restricted Commercial Uses.
- k. The operator of the use shall be responsible for the clean-up of all on-site and off-site litter generated by the use including twice-daily clean-up of all sidewalks and gutters within 50 feet of the storefront and twice-yearly steam cleaning of this area. A practical plan for monitoring and implementing this standard shall be submitted for review with the application for use permit, and will be adopted as a condition of approval of the use.
- l. See also subsection (l)(1) of this section, All Eating and Drinking Establishments.

RECEIVED

MAY 25 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

Date: 05/25/2018

To,

The City of Carmel By The Sea

Carmel by the sea CA93942

RE: Regarding the items to be sold at addition of exiting Chocolate shop

Dear Mr. Marc Wiener,

The operation hour for the shop will be 7:00 AM to 9:00 PM

Here are the list of the items that will be sold and food preparation for those item at new addition of the space for the exiting chocolate shop.

1. Regular coffee
2. Decaf coffee
3. Café Americano
4. Café jolt
5. Café mocha
6. Café latte
7. Iced coffee
8. Espresso
9. Chai tea
10. All hot teas
11. Bottle water and juices
12. All hot teas
13. Turmeric Masala tea

All the above coffee drinks items are made in premises except for bottle water and bottle juices.

1. Croissant and other sandwiches
2. Vegetable rolls and chicken rolls

All above rolls and sandwiches are supplied By Abahha Indian cuisine barnyard Carmel California.

1. Verities of cookies
2. Specialties cookies
3. French quiche
4. French macaroon
5. Coconut macaroon
6. Verities of pastries
7. Pounds cakes

All above bakery items are supplied from Paris bakery.

1. German prepacked biscotti
2. German prepacked biscuits
3. German prepacked thins
4. German prepacked serving size bread
5. German prepacked cookies

All above prepacked item will be supplied by importer intermarket gourmet.

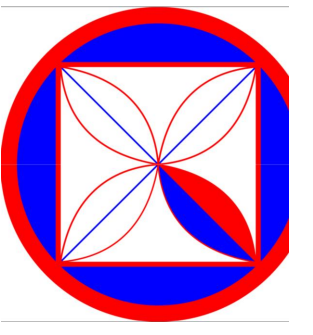
These are the list of items that will be selling from new additional to exiting chocolate store. If you have any question please don't hesitate to contact me.

Thank you,

Sincerely yours



Dennis Joshi



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REVISIONS:

PROJECT:
 ALL ABOUT THE CHOCOLATES
 DOLORES ST., 4 S/E OF OCEAN
 BLOCK: 12, LOTS: 76
 APN: 010-146-011-000
 PROJECT NO.

ISSUE:
 03-16-18
 DRAWN BY:

PROPOSED
 ADDITIONAL FLOOR
 AREA FOR
 CHOCOLATE STORE

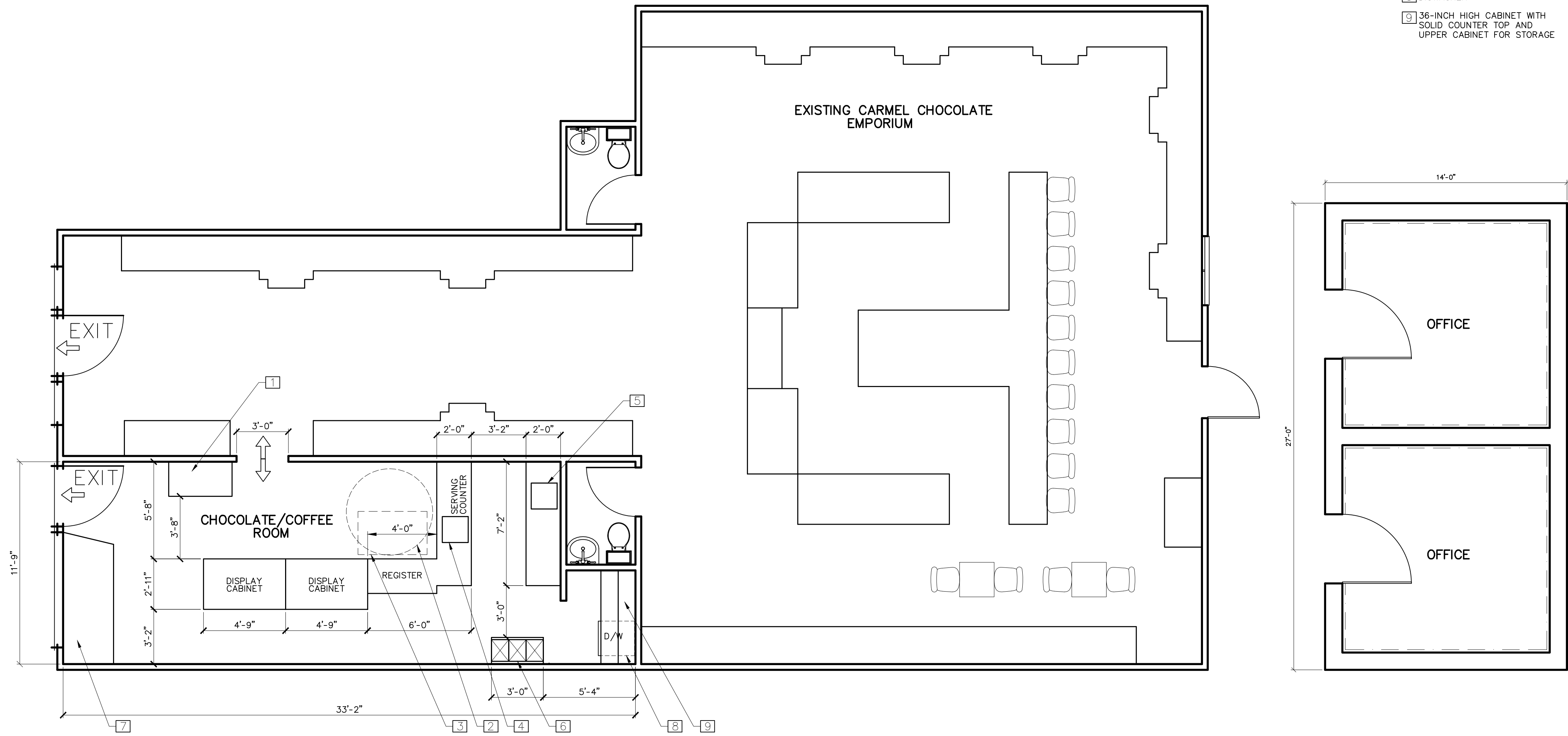
SCALE: 1/4" = 1'

A1

KEY NOTES

- 1 CONDIMENTS & RECYCLE BIN. 24"x36"
- 2 60" CLEAR FLOOR AREA
- 3 30"x48" CLEAR FLOOR OR GROUND SPACE
- 4 ESPRESSO MAKER 18"x18"
- 5 COFFEE MAKER 18"x18"
- 6 36" THREE COMPARTMENT COMMERCIAL SINK
- 7 EXISTING WINDOW DISPLAY WITH ASSORTED CHOCOLATES
- 8 DISWASHER
- 9 36-INCH HIGH CABINET WITH SOLID COUNTER TOP AND UPPER CABINET FOR STORAGE

DOLORES STREET



PROPOSED FLOOR PLAN



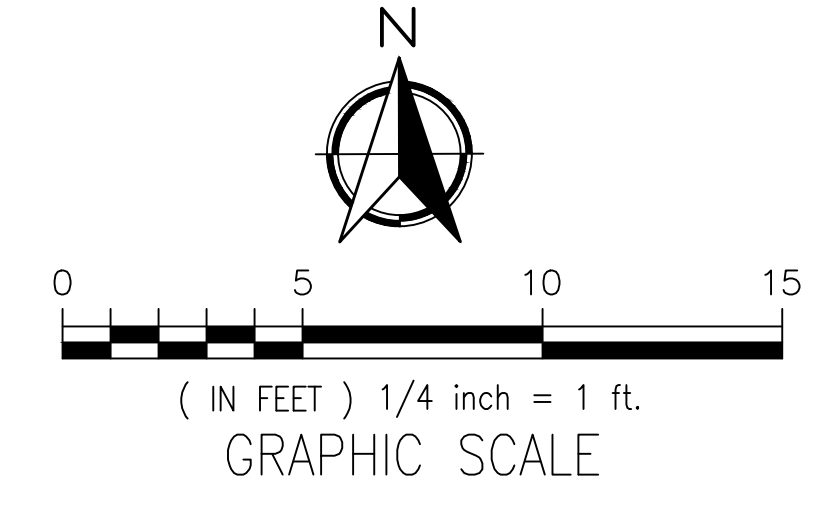
DISPLAY CABINET



WINDOW DISPLAY ASSORTED CHOCOLATES



CONDIMENTS & RECYCLE BIN. CONCEPT - SMALLER VERSION





CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 13, 2018

To: Chair LePage and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Catherine Tarone, Assistant Planner

Subject: Consideration of a Use Permit (UP 18-192) application for the relocation of an existing retail kitchenware store to a space exceeding 5,000 square feet in size and for the establishment of cooking classes and consideration of a Design Review (DR 18-204) application for storefront alterations for a business located in the Central Commercial (CC) Zoning District.

Application: UP 18-192 & DR 18-204

APN: 010-086-006

Location: SW corner of Ocean & Junipero, Carmel Plaza, Ste. 111

Block: 78

Lot(s): 1-27

Applicant: Jim Hoepfl, Project Manager

Property Owner: OWRF Carmel, LLC.

EXECUTIVE SUMMARY

The applicant is seeking approval of a Use Permit to re-locate an existing retail kitchenware store to a 5,160 square-foot space and to establish cooking classes in the new space in the Carmel Plaza located at the southwest corner of Ocean Avenue and Junipero Street within the Central Commercial (CC) Zoning District. The applicant is also seeking approval of a Design Review application for storefront alterations.

RECOMMENDATION

Approve Use Permit (UP 18-192) and Design Review (DR 18-204) application subject to the attached Findings for Decision (Attachment 1) and Conditions of Approval (Attachment 2).

BACKGROUND AND PROJECT DESCRIPTION

The project site is located in the Carmel Plaza at the southwest corner of Ocean Avenue and Junipero Street in the Central Commercial (CC) Zoning District. The applicant is proposing to relocate the existing Sur La Table kitchen retail store from a 4,202-square-foot space on the east side of Carmel plaza to a larger 5,160-square-foot tenant space located on the ground floor at the southeast end of the Plaza. The additional floor area will provide room for a kitchen in the space so that the business may offer in-store cooking classes to showcase the products they are offering. The cooking classes would be contained in approximately 1,068 square feet of the

tenant space. The proposed hours of operation will remain the same as the existing from 10:00 a.m. to 6:00 p.m. Monday through Saturday and 11:00 am to 6:00 pm on Sunday. According to CMC 17.14.040, a use permit is required for the establishment of retail spaces exceeding 5,000 square-feet in size as well as for all businesses offering personal improvement/instructional services such as cooking classes.

In addition to the relocation of the store, the applicant is proposing to remodel the facade of the storefront, removing the existing stained wood and glass paneling and installing new windows and doors, whitewashed tongue-and-groove siding, PVC paneling, and stone at the base of the storefront.

STAFF ANALYSIS

According to CMC 17.14.040.A, business spaces larger than 5,000 square require the issuance of a use permit subject to certain criteria. These use permit criteria are listed below followed by a staff analysis of how the project complies with the requirements.

1. The size of the proposed space reflects the range of retail sizes found within the immediate area. The size of the proposed space will not create a sense of monotony in storefront design or window display and will reinforce the sense of discovery and vitality engendered by frequent changes in building design, window displays and land uses.

Analysis: The Carmel Plaza as a whole is occupied by a mix of uses including retail, service uses such as salons, restaurants, and wine tasting rooms. Sur La Table is an existing business that has been located in Carmel Plaza since 2004 and it remains the only kitchenware store located in the Plaza. The proposed storefront façade will have a unique design that will differentiate Sur La Table from other businesses. The storefront has 4 separate window areas that will provide visual variety for pedestrians, offering views of the cooking classes as well as merchandise displays.

2. General Plan Policy 1-72 encourages zoning regulations that “avoid land uses of large size and scale (5,000 square feet or more) that have high traffic and parking generation rates such as retail or restaurant uses.” The proposed land use must reinforce the character of the downtown as a retail district in a residential village with unique shops and a wide variety of goods for residents and visitors. Additionally, automobile traffic generated by the use must be adequately served by the capacity of the surrounding streets.

Analysis: Carmel Plaza has an existing underground parking area with sufficient parking to meet the additional needs of the proposed retail space. The regulation of large-scale land uses is enforced through the requirement for a Use Permit subject to four required findings of approval listed in this staff report. Staff notes that the Carmel Plaza has other large-scale retail establishments such as Khaki’s (10,000 sf), Anthropologie (13,000 sf). Additionally, the building was previously occupied by the Homescapes retail space, which was approved in

2010 under Use Permit (UP 10-5). Any change in the use of this space will require the issuance of a new use permit. Therefore, in staff's opinion, the proposal to locate an existing kitchenware store within this space is consistent with other stores in the immediate area.

3. That the proposed use will not be injurious to the health, safety or welfare of the public, will provide adequate ingress and egress to and from the proposed location.

Analysis: The Building Department has reviewed the plans and has determined that adequate ingress and egress exists for the proposed classes.

4. That the proposed use will achieve a balanced mix of uses that serve the needs of both local and nonlocal populations, will be compatible with surrounding land uses, and will not conflict with the purpose of the Central Commercial which encourages a broad range of retail, residential and service uses which generate high pedestrian traffic and which do not have large space requirements.

Analysis: Sur La Table is proposing both a retail use and an instructional use which will attract visitors as well as local residents. Furthermore, it will be compatible with the newly-approved Yeast of Eden restaurant located immediately adjacent with regard to noise level and number of customers. While this use exceeds 5,000 square feet, the space was reduced in size from the original approximately 9,760-square-foot space which was split to form the 4,600 square-foot west space to be occupied by Yeast of Eden restaurant and the 5,160-square-foot Sur La Table east space. Furthermore, the new business space will only be 160 square feet more than 5,000 square feet.

5. That granting the use permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or conflict with the General Plan. That the proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, and fire protection.

Analysis: In staff's opinion, the approval of a retail space for this particular business that exceeds 5,000 square feet would not set a precedent because this shop is not seeking to expand its original use, but rather incorporate a complementary secondary use. Furthermore, the proposed uses will not make excessive demands on the provision of public services. The applicant has spoken with the Monterey Peninsula Water management district and is in the process of obtaining sufficient water credits for the installation of the kitchen.

Cooking Classes: As part of the relocation of this business, the applicant is proposing to construct a kitchen in the new space containing stove top ranges, sinks and refrigerators and a dishwasher in order to establish cooking classes offered daily for the public. A floor plan of the proposed business is included on sheet 2 of the project plans included as Attachment 6. The

applicant has included a description of the classes and a model program for the cooking classes included as Attachments 3 and 4. The cooking classes will accommodate 8 to 16 people, will be conducted by 1 or 2 instructors and will be 2 to 2.5 hours in length. The intent of the cooking classes is to showcase the products for sale in the store and allow customers to try the cooking utensils first-hand. According to CMC 17.14.040, the establishment of a personal improvement service or instructional class is a conditionally-permitted use in the Central Commercial zoning district. The Municipal Code does not set specific standards for cooking classes and only requires a 9:00 pm closing time and the submittal of an acoustical analysis for uses that propose to play music. The cooking classes will not play music nor does staff anticipate any noise impact to neighboring uses. The hours of operation are proposed to remain the same as the existing from 10:00 a.m. to 6:00 p.m. Monday through Saturday and 11:00 am to 6:00 pm on Sunday.

Additionally, CMC 17.14.040.B requires that ancillary uses be limited to no more than 10 percent of the floor area of the established primary use, and 10 percent of the window display area(s); however, the Planning Commission may allow the establishment of an ancillary use that exceeds 10% of the floor area.

According to CMC 17.64.060, the following special findings are required for approval of ancillary or accessory uses:

- A. That all proposed ancillary uses are compatible with the primary use;
- B. That the proposed land use, considered as a whole, appears to have the primary and ancillary uses united by a consistent theme and that the use will not exhibit a character of multiple, unrelated activities combined into one business; and
- C. That the use will contribute to the character of the commercial district as a residential village with a mix of unique retail and service shops.

The kitchen and classroom space will occupy 1,068 square feet (20.7% of the space) while the retail space will occupy 3,015 square feet (58.4% of the space). While the ancillary use does exceed 10% of the floor area, the floor area occupied by the kitchen use is subordinate to the primary use of kitchenware retail sales. Additionally, the proposed cooking classes are compatible with, and directly related to, the primary kitchenware retail sales use because the intent of the classes is to allow customers to try out the cooking utensils sold by Sur La Table or to teach customers that have bought a particular kitchen item techniques to best use that item. Finally, the proposed cooking classes will add to the mix of businesses in the City as the retail component caters to both residents and non-residents and the proposed cooking classes caters primarily to residents. Staff supports the approval of cooking classes as an ancillary use to complement the existing primary use of kitchenware retail sales.

Exterior Alterations - Design Review (DR 18-204): The City adopted design guidelines for the Carmel Plaza in 2001. The Introduction section of the Guidelines states that the *“guidelines are intended to encourage imaginative design and individuality of a tenant’s storefront provided that a harmonious feeling is maintained within Carmel Plaza, and the larger context of Carmel.”* The criteria of the Guidelines also notes that aluminum and glass doors and windows are acceptable provided that they have relief and articulation in the frame section, and have an industrial flouro-polymer coating or equal finish. Standard aluminum and anodized aluminum doors and windows are not allowed. The Interior Courtyard section of the Guidelines encourages materials that have a natural appearance and that blend with the surrounding environment. Plans and a full-color rendering for the facade remodel are included as Attachment 6.

Interior Courtyard Elevation: The exterior façade includes aluminum storefront windows with a 'milk white' powder coat finish. The windows measure approximately 7 feet in width by 17.5 feet in height and are designed to provide views into the kitchen area where cooking classes will be held. The applicant is also proposing to install new aluminum entry doors painted with a brick red powder coat. The plans do not indicate whether the aluminum frame of the door or windows is articulated and whether the door or windows will have an industrial flouro-polymer coating. Staff has drafted a condition of approval requiring that the applicant either propose wood or steel windows and doors, or aluminum windows and doors that have relief and articulation in the frame section. If aluminum windows and doors are selected, they shall have an industrial flouro-polymer coating per the Carmel Plaza Design Guidelines.

Additionally, the applicant is proposing to install Cedar tongue-and-groove siding in the 'whitewashed' color. The applicant is also proposing to install vertical PVC panels between each window and siding component as well as horizontal PVC panels below the cedar siding. All PVC panels will be painted 'Ivory Tusk.' PVC siding is not included in the list of acceptable wall materials in the Carmel Plaza Design Guidelines. Staff has drafted a condition of approval that the applicant shall revise the material of the PVC panels to be one of the acceptable materials: brick, stone, cement plaster (smooth steel trowel finish), ceramic tile, wood, or wrought iron.

Signage: No signage is approved as part of this Use Permit or Design Review application. The applicant shall submit a separate sign permit for the signage proposed for this business. Staff notes that the signage depicted on the plan does not meet the City’s sign standards or Carmel Plaza Design Guidelines, and will need to be reviewed by the Planning Commission at a future date.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1), Existing Facilities. The project consists of the relocation of an existing 4,202-square-foot retail kitchenware store to a larger 5,160-square-foot business space, the establishment of cooking classes as an ancillary use to the business and minor alterations to the facade of the existing storefront involving negligible or no expansion of use beyond that originally anticipated for Carmel Plaza.

ATTACHMENTS:

- Attachment 1 – Findings for Approval
- Attachment 2 – Conditions of Approval
- Attachment 3 – Written Description
- Attachment 4 – Cooking Class Program
- Attachment 5 – Site Photographs
- Attachment 6 – Project Plans

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR APPROVAL

UP 18-192 / DR 18-204 (Sur La Table)
OWRF Carmel, LLC
Location: Carmel Plaza, Suite 111
Block: 78, Lots: 1-27
APN: 010-086-006

PROJECT DESCRIPTION:

Consideration of a Use Permit (UP 18-192) and Design Review (DR 18-204) for the relocation of an existing retail kitchenware store (Sur La Table) to a space exceeding 5,000 square feet, the establishment of cooking classes as an ancillary use in the interior of the retail space, and associated exterior storefront alterations for a commercial space located within a portion of Carmel Plaza in the Central Commercial (CC) Zoning District.

FINDINGS OF FACT:

1. The project site is located within a portion of Carmel Plaza in the Central Commercial (CC) Zoning District. The lot is currently developed with a commercial shopping center comprised of five separate buildings with a communal interior courtyard and various 2nd and 3rd story walkways.
2. Sur La Table is an existing kitchenware retail store that has been located in Carmel Plaza since 2004.
3. On May 17, 2018 Use Permit and Design Review applications were submitted proposing to relocate Sur La Table from its existing 4,202 square-foot ground floor retail space in Carmel Plaza (suite 105) to an a new 5,160-square-foot tenant space in Carmel Plaza (suite 111) that is currently vacant. The project includes a Use Permit to operate the retail store in a business space that exceeds 5,000 square feet as well as for the establishment of cooking classes as an ancillary use to the retail sales of kitchenware. The cooking classes are classified as Personal Improvement/Instructional Services which require the issuance of a Use Permit by the Planning Commission. The Design Review application was submitted for consideration of associated exterior modifications to the tenant space.
4. The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1), Existing Facilities. The project consists of The project consists of the relocation of an existing 4,202-square-foot retail kitchenware store to a larger 5,160-square-foot business space, the establishment of cooking classes as an ancillary use to the business and minor alterations to the facade of the existing storefront

involving negligible or no expansion of use beyond that originally anticipated for Carmel Plaza.

FINDINGS FOR DECISION:

1. The project constitutes an improvement over existing site conditions pursuant to CMC Section 17.14.010 (Purpose).
2. The project conforms to all zoning standards applicable to the site including, floor area, height, setbacks and parking.

General Findings Required for All Use Permits (CMC 17.64.010):

3. The proposed use is not in conflict with the City's General Plan.
4. The proposed project, as conditioned, will comply with all zoning standards applicable to the use and zoning district.
5. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.
6. The proposed project will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, street capacity and fire protection.
7. The proposed project will not be injurious to public health, safety or welfare and provides adequate ingress and egress.
8. The proposed project will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.
9. The proposed project will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.

General Findings Required for Commercial Use Permits (CMC 17.64.020):

10. The proposed use will not conflict with the City's goal of achieving and maintaining a balanced mix of uses that serve the needs of both local and nonlocal populations.
11. The proposed use will provide adequate ingress and egress to and from the proposed location.

12. The capacity of surrounding streets is adequate to serve the automobile and delivery truck traffic generated by the proposed use.

Findings for Use Permit Approval of an Ancillary Use (CMC 17.64.060)

13. That all proposed ancillary uses are compatible with the primary use;
14. That the proposed land use, considered as a whole, appears to have the primary and ancillary uses united by a consistent theme and that the use will not exhibit a character of multiple, unrelated activities combined into one business; and
15. That the use will contribute to the character of the commercial district as a residential village with a mix of unique retail and service shops

Findings for Design Review Approval (CMC 17.58.060.B):

16. The project, as conditioned, conforms to the applicable policies of the General Plan and the Local Coastal Program.
17. The project, as conditioned, complies with all applicable provisions of Title 17.
18. The project, as conditioned, is consistent with applicable adopted design review guidelines for Carmel Plaza.

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

UP 18-192 / DR 18-204 (Sur La Table)
OWRF Carmel, LLC
Location: Carmel Plaza, suite 111
Block: 78, Lots: 1-27
APN: 010-086-006

PROJECT DESCRIPTION:

Consideration of a Use Permit (UP 18-192) and Design Review (DR 18-204) for the relocation of an existing retail kitchenware store to a space exceeding 5,000 square feet in size and for the establishment of cooking classes in this retail store located in the Central Commercial (CC) Zoning District.

AUTHORIZATION:

1. **Use Permit Authorization:** This permit authorizes the operation of a 5,160-square foot retail kitchenware store as defined in CMC Section 17.68.050 (Commercial Use Classifications). This Use Permit also authorizes the establishment of cooking classes as an ancillary (Personal Improvement Service/ Instructional Service) use that shall be subordinate to the primary retail use.

Design Review Authorization: This permit authorizes minor exterior facade changes including, 1) new aluminum windows; 2) a new window and wood planter on the west elevation (Mission Street) above the underground garage entry; 3) new glass storefront and steel entry doors on the west elevation (Mission Street) at the top of the existing stairs; and, 4) new steel framed windows and doors on the north elevation (interior courtyard). All improvements shall be constructed in accordance with the plans dated received by City of Carmel-by-the-Sea Planning & Building Dept on January 23, 2018, unless modified by the conditions below.

USE PERMIT STANDARD CONDITIONS (CMC 17.14.040.I):

2. **Water Use.** Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.

USE PERMIT SPECIAL CONDITIONS:

3. Permitted hours of operation are from 7:00 a.m. to 12:00 a.m. daily. No new customers shall be accepted into the restaurant after 12:00 a.m.
4. The restaurant is permitted a maximum of 96 main dining room seats, 8 private dining room seats, 15 bar seats and 40 exterior seats located within Carmel Plaza.
5. The applicant shall obtain all necessary permits from the Monterey County Health Department prior to building permit issuance.
6. The use shall be conducted in a manner consistent with the presentations and statements submitted in the application and at the public hearing, and any change in the use which would alter the findings or conditions adopted as part of this permit shall require approval of a new Use Permit by the City.
7. This Use Permit shall become void and in no further force or effect if the use is not initiated within six (6) months of the issuance of the Certificate of Occupancy from the Building Official.
8. Violations of the terms of this Use Permit or other ordinances of the City may constitute grounds for revocation of this Use Permit and the associated business license by the Planning Commission.
9. A summary sheet of basic Use Permit requirements (allowed days, allowed hours, special mitigations) shall be posted on the premises or shall be available upon request by any enforcement officer of the City.

GENERAL CONDITIONS:

10. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

***Acknowledgement and acceptance of conditions of approval.**

Applicant Signature

Printed Name

Date

Property Owner Signature

Printed Name

Date

Sur La Table

THE ART & SOUL OF COOKING

May 15, 2018

RECEIVED

MAY 17 2018

RE: SUR LA TABLE, Description of Operation for Relocated Store

City of Carmel-by-the-Sea
Planning & Building Dept

To Whom It May Concern:

For your consideration of our plan to relocate the existing Sur La Table retail store within the Carmel Plaza Shopping Center. Following are some details on the intent of the move.

For a number of years, Sur La Table has received feedback from residents of Carmel and the immediate surrounding areas that we should incorporate cooking classes into this store as we have in some of our other locations. We have been very interested in incorporating classes here but have not had the opportunity or space here to do this. The move to another space within this center is the opportunity to get into a slightly larger space and add a kitchen to offer classes. The store hours will remain the same (Mon-Sat 10am-6pm, Sun 11am-6pm) and staff will increase from two full and seven part time employees to three full-time and twenty three part-time.

These classes aren't about the recipes but are about cooking techniques and skills and of course the tools, equipment and products that will make this process easier. Sur La Table is a retail store that offers classes to compliment the products we are selling. Also, not all of the classes taught include cooking. The knife skills classes are an example of showing proper techniques and giving hands-on experience with quality knives. The classes do provide valuable information that chefs and cooks can transfer to their own kitchens but are a showcase for our product offerings.

This project will include one bathroom as per code and the following appliances that will use water:

- There are two sinks in the kitchen. There is a three compartment sink for sanitizing kitchen utensils and other cooking equipment and a two compartment sink used for food prep. The main sanitizing is done with a Hobart dishwasher (below) but a three compartment sink is required by the health department as a backup. The separate two compartment sink for food prep is also a requirement of the Health Department.
- Hobart dishwasher model LXeR 2 (cut sheet attached) for cleaning and sanitizing kitchen utensils and cooking equipment.
- There are three hand wash sinks at food prep areas, all required per code for Health. One is in the kitchen, one at the demo counter by the cash wrap where small appliances are demonstrated and food samples are handed out and one at the coffee cart where coffee machines are demonstrated and coffee sample are given out.
- High/Low ADA water fountains which are required per code.

If you should require any additional information, please let me know.

Sincerely,

Steve Ryan
Manager, Construction and Facilities
(206) 613-6085
steve.ryan@surlatable.com

Sur La Table Corporate Headquarters
6100 4th Ave South • Suite 500 • Seattle, WA 98108
(206) 613-6000

RECEIVED

MAY 17 2018

City of Carmel-by-the-Sea
Planning & Building Dept.



welcomes you to

Mother's Day Macarons

with

CHEF



THE ART & SOUL OF COOKING

How to Make Macarons

Making macarons requires only three ingredients: almond meal or flour, powdered sugar and egg whites. Other items such as cocoa powder, dried raspberries, nut powders and dried teas can be added to change the color and flavor of these delicate cookies. It's important to carefully choose ingredients and follow the preparation and baking instructions in this packet to help ensure success.

Almond Meal or Flour

Available in many supermarkets, health food stores or online. Store products in the freezer since nut flours can spoil quickly. Purchase products that contain little or no cornstarch which can cause macaron batter to crack. Another option is to buy almonds and grind to a very fine texture in a food processor, spice grinder or blender.

Powdered Sugar

Read the ingredients label carefully and purchase powdered sugar that contains little or no cornstarch. One brand available online is Miss Roben's Corn Free Powdered Sugar. You can also try grinding your own powdered sugar in a spice grinder, food processor or blender.

Egg Whites

For best results, allow egg whites to reach room temperature before whipping. Make sure that the whites contain no bits of yolk which will prevent the whites from foaming properly. A mild acid such as cream of tartar also helps egg whites foam. When measuring, keep in mind that the white from a large egg weighs approximately 1 ounce.

Flavorings

Mix dry flavorings such as dried fruit powders, teas, nut powders and cocoa with the almond meal. Mix wet ingredients such as food colorings with the egg whites once they're beaten.

Macaron Batter Mixing Techniques

Common/French/Cold Meringue

Made with room temperature egg whites. Sugar is slowly added after egg whites are beaten to the soft peak stage. This mixture is less stable and must be used immediately.

Cooked/Italian/Hot Meringue

A sugar syrup (4 parts sugar to 1 part water) is cooked to approximately 243 degrees (firm ball stage), then poured into the whipping egg whites (begin whipping egg whites when sugar syrup reaches a boil). This mixture is more stable than a cold meringue.



THE ART & SOUL OF COOKING

Important Macaron Terminology

Macaronnage

The technique of mixing flour and meringue to make macarons.

Macaronner

The technique of mixing the batter until it is firm and drips slowly when scooped.

Pied

The “foot” or small frills that form along the bottom edge of a macaron that makes the cookie distinctive and authentic. Forming the pied depends on several factors including proper macaronnage, oven temperature and rapping the baking sheet on the counter before placing it in the oven.

Macaron Tips

- To ensure consistent results, weigh all ingredients with a digital scale.
- Make sure to sift your ingredients multiple times if necessary. Dry ingredients should have a powdery texture with no lumps. The almond and powdered sugar mixture may be pulsed in a food processor to make the texture finer.
- Fold dry ingredients in 3 additions to avoid making the batter runny.
- The final macaron batter should be firm and drip slowly when scooped with a silicone spatula.
- To keep macarons consistent in size and shape, make a circle template by drawing 1-1/3-inch circles spaced at least 1/2-inch apart on the reverse side of a sheet of parchment paper cut to fit your baking sheet (see templates following the recipes).
- When piping the macaron batter, keep the tip of the pastry bag about 1/2 inch above and in the middle of the circle guide since the batter will spread.
- After piping, rap the baking sheet firmly on the counter to release any trapped air and to help form the pied.
- Dry the piped macarons for at least 30 minutes before baking. The drying process is complete when the macarons no longer stick to your finger when touched.
- To prevent macarons from burning, use a double-layered baking sheet by stacking two baking sheets on top of each other.
- Rotate the baking sheet in the oven to promote even baking.
- If macarons stick to the parchment paper after baking, pour a small amount of water underneath the parchment and allow the steam to loosen the macarons.
- Macarons can be kept sealed in an airtight container up to 1 week in the refrigerator.



THE ART & SOUL OF COOKING

Lavender Macarons with White Chocolate Ganache

Yield: 35 sandwich cookies

7 ounces powdered sugar, divided
4 ounces almond flour or meal
2 to 3 tablespoons dried lavender, finely chopped (sift as needed)
4 large (4 ounces) egg whites, room temperature
3-1/2 ounces granulated sugar
Pinch of cream of tartar
Wilton purple food coloring (optional; see note below)
1 recipe white chocolate ganache (recipe follows)

Preheat oven to 375 degrees, if baking using double-baking sheet cooking method, or pre-heat oven to 325 degrees, if using single baking sheet cooking method.

Prepare the baking sheets with the parchment paper macaron templates - line baking sheets with Silpat silicone mats and top with parchment paper templates.

Pulse one third of the powdered sugar and all the almond flour in a food processor to form a fine powder. Using a fine-sieve, sift the mixture 2 times onto a medium piece of parchment paper. Using a fine-sieve, sift remaining powdered sugar 2 times. Combine all dry ingredients with chopped lavender. Set aside.

To make the meringue: In the bowl of a stand mixer fitted with a whisk attachment, whisk whites on medium speed until foamy. Gradually add granulated sugar. Once all sugar is incorporated, and the mixture is thick, add the cream of tartar, scrape down sides of bowl, add food coloring and increase speed to high, whisking until stiff, firm, glossy peaks form.

To complete the macaronnage step, sift the almond flour mixture one-third at a time over the egg white mixture and fold using a large spatula until mixture is smooth and shiny. Once all the almond flour mixture is incorporated, check for the correct consistency, as the batter should be nicely firm, have a glossy shine and drip slowly from the spatula.

Transfer batter to a pastry bag fitted with a 1/2-inch plain round tip (#12) and pipe 1-1/3-inch rounds on parchment-lined baking sheets. Gently tap the bottom of each sheet on work surface to release trapped air. Let stand at room temperature for 15 to 30 minutes. Check for a slight crust to form on the macaron. The macarons should not stick to your finger when lightly touched.

If using the double baking sheet cooking method, place an empty baking sheet underneath the baking tray with the piped macarons.

Sur la table

THE ART & SOUL OF COOKING

Bake one sheet at a time, rotating halfway through, until macarons are crisp and firm, about 10 to 15 minutes. If the macarons are still soft inside, lower oven to 300 degrees, cover with aluminum foil and bake for a few more minutes. If the top of the macarons look crinkled, your oven temperature may be too hot.

Let macarons cool on sheets for 2 to 3 minutes and transfer to a wire rack to cool completely before filling.

Note: Use a generous amount of coloring for a bright purple color since color will fade when baked.



THE ART & SOUL OF COOKING

Mother's Day Macarons: Equipment List

Below is a list of tools you'll need to make the recipes in this packet. Please ask your Chef Instructor or a Sales Associate for assistance with these items.

Cutlery

Chef's knife
Paring knife
Cutting board

Cookware

Saucepan (small)

Bakeware

Mixing bowls (small, medium, large)
Measuring cups (liquid and dry)
Measuring spoons
Rimmed baking sheets
Parchment paper
Silpat baking mats
Cooling racks

Hand Tools / Gadgets

Sifters or fine mesh sieve
Silicone spatula
Whisk
Pastry bags
1/2 round pastry tip (#5 and #12)

Hand Tools / Gadgets - continued

Dual (instant read thermometer)
Digital scale
Silicone pastry brush
Offset spatula

Electrics

Food Processor
Stand Mixer (whisk and paddle attachments)

Food

Wilton food colorings
Vanilla extract
E. Guittard bittersweet chocolate
E. Guittard white chocolate
Rose water



Additional Macaron Resources

[I Love Macarons](#) by Hisako Ogita

[Macarons: Authentic French Cookie Recipes from the Acclaimed Chefs at Mad Mac Bakery](#) by Florian Bellanger and Ludovic Augendre

[Macarons](#) by Berengere Abraham

“Demystifying Macarons” by Helen Dujardin
<http://dl.dropbox.com/u/546793/Demystifying%20Macarons%20-%20Desserts%20Magazine.pdf>

“Macarons, Petits Fours, Small Bites by Tartelette” (Helen Dujardin)
<http://www.mytartelette.com/2009/02/recipe-index.html>

“Mastering the Art of Macarons”
<http://www.mercotte.fr/2008/03/20/desperatly-seeking-macarons/>

“French Macarons” by Martha Stewart
<http://www.marthastewart.com/recipe/french-macarons>

“The History of Macarons”
<http://www.thenibble.com/reviews/MAIN/cookies/cookies2/history-of-macarons.asp>

“Move Over, Cupcake: Make Way For the Macaron” by Neda Ulaby
<http://www.npr.org/templates/story/story.php?storyId=123566536>

SUR LA TABLE
COOKING CLASSES



welcomes you to

**Date Night: Great Food on
the Grill**

with

CHEF

Grilled Bruschetta with Spring Pea Puree and Cherry Tomatoes

The bright green pea puree topping on these delicious appetizers bursts with spring flavor. The pea puree can be made up to 2 hours in advance, covered, and chilled. Bring puree to room temperature before serving. Alternatively, this spread would be delicious served in homemade ravioli with a fresh tomato sauce.

Yield: about 16 hors d'oeuvres

1 large crusty baguette, sliced into 1/4-inch diagonal pieces
Extra-virgin olive oil, for brushing bread slices
Kosher salt
1 large garlic clove, peeled and cut in half
2 cups (8 ounces) frozen petite peas, thawed
1 tablespoon (about 4 leaves) fresh mint leaves
2 teaspoons freshly squeezed lemon juice, plus more to taste
Freshly ground black pepper
8 cherry tomatoes, halved
2 ounces Pecorino Romano, cut into thin shavings

Prepare a medium charcoal fire, preheat a gas grill to medium, or heat a large grill pan over medium heat. Brush one side of the bread slices with oil and season lightly with salt. Place bread, oiled side down, on preheated grill. Cook until lightly charred, about 2 to 3 minutes. Using tongs, transfer bread, grilled side up, to a large serving platter. Rub the grilled side of each bread slice with the cut side of the garlic clove. Set aside.

To prepare pea puree: Place peas, mint, sugar, and lemon juice in a blender and purée until very smooth. Taste and season with salt, pepper, and additional lemon juice as desired.

To serve: Transfer the pea puree to a pastry bag fitted with a #12 piping tube, or use a tablespoon. Top each bread slice with about 1 tablespoon pea puree. Top with a cherry tomato half (cut side up) and with 1 to 2 shaved pieces of Pecorino. Serve immediately.



THE ART & SOUL OF COOKING

Grilled Steak with Rioja and Black Pepper Glaze

Rioja is a region of northern Spain renowned for its wines, both red and white. Red wines from this region typically include Garnacha, Graciano, Mazuelo, and Tempranillo grapes. Spain offers many great wines at reasonable prices. When preparing this dish, select a Spanish or your favorite dry, fruity red wine that is also suitable for drinking to make this flavorful glaze.

Yield: 4 servings

Vegetable or canola oil, for brushing grill grates or pan
1 (2-inch thick; about 2-1/2 pounds) steaks such as Rib-eye, Top Sirloin or Porterhouse
1 tablespoon extra-virgin olive oil
2 tablespoons unsalted butter, divided
1 tablespoon all-purpose flour
2 large shallots peeled and thinly sliced
1 cup Rioja or other fruity, dry red wine
1 cup rich beef stock
6 sprigs fresh oregano
Kosher salt and freshly ground black pepper
3 tablespoons chopped fresh flat-leafed parsley leaves, for garnish

Allow steaks to rest at room temperature for 30 minutes. Prepare a medium-high charcoal fire, preheat a gas grill to medium-high, or heat a large grill pan over medium-high heat. Preheat oven to 375 degrees and place a rack in the center. Set a heatproof rack over a rimmed baking sheet and place next to stove top or grill. Season steak generously on all sides with salt and pepper.

Brush grill pan or grates with vegetable oil. Place steak in grill pan or on grill and sear steak for 3 to 4 minutes per side, rotating the steak 90 degrees halfway through cooking each side to create crossed grill marks. Using tongs, transfer steak to the heatproof rack and place in the oven to finish cooking to the desired degree of doneness. Remove pan from oven and tent the steak loosely with foil. Allow steak to rest for 10 minutes before carving.

Meanwhile, make a paste using 1 tablespoon of butter with the flour and set aside. Place olive oil and remaining tablespoon of butter in a medium saucepan and heat over medium heat until butter melts. Add shallots and cook, stirring constantly, until softened, about 4 to 5 minutes. Add wine, stock, and oregano and continue cooking until liquid is reduced by 2/3, about 10 to 12 minutes. Remove oregano sprigs. Taste sauce and season with salt and pepper. Stir in butter, if using. Keep sauce warm over low heat.

To serve, place steak on a cutting board with a well. Using a sharp slicing knife, slice into thick slices across the grain. Place slices on a serving platter, garnish with glaze and chopped parsley, and serve immediately. Pass any remaining glaze in a gravy boat at the table.



THE ART & SOUL OF COOKING

Date Night: Great Food on the Grill: Equipment List

Below is a list of tools you'll need to make the recipes in this packet. Please ask your Chef Instructor or a Sales Associate for assistance with these items.

Cutlery

Chef's knife
Paring knife
Serrated knife
Cutting board

Cookware

Large grill pan
Large skillet
Large pot
Medium saucepan

Bakeware

Mixing Bowls (small, medium, large)
Measuring cups (liquid and dry)
Measuring spoons
Rimmed baking sheet
Parchment paper

Electrics

Blender or Food processor

Gadgets / Hand Tools

Citrus juicer
Bench scraper
Microplane zester/grater
Silicone spatula
Wooden spoon
Silicone pastry brush
Fish spatula
Whisk
Tongs
Instant read thermometer
Garlic peeler
Garlic mincer
Portion scoop or pastry bag
Vegetable peeler
Slotted spoon/spider

Food

Extra Virgin olive oil
Black and White peppercorns
White Balsamic vinegar

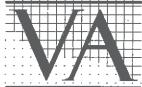
Existing Storefront Photographs



RECEIVED

MAY 17 2018

City of Carmel-by-the-Sea
Planning & Building Dept.



VANNEY ASSOCIATES INC.
ARCHITECTS & DESIGNERS
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consultant

Sur la table
THE CITY OF CARMEL
6100 W. HAVANA BOULEVARD, SUITE 100
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CARMEL PLAZA
SW CORNER OF OCEAN AND
JUNIPER AVENUES
SUITE 111
CARMEL-BY-THE-SEA, CA 93921

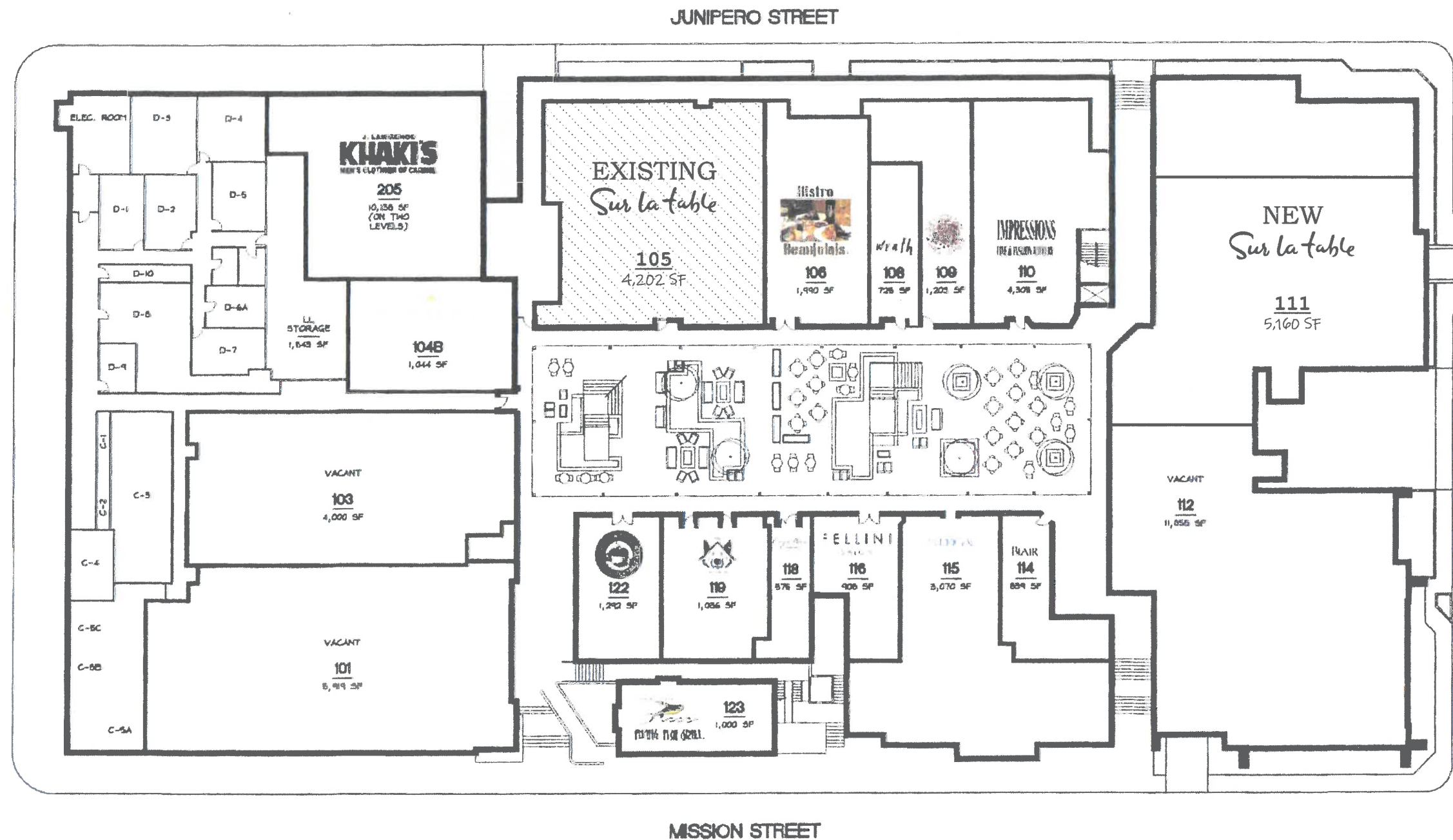
commission number 41-1017

- LL Prelim.
- LL Final
- Permit
- Bidding
- CUP 05/16/2018



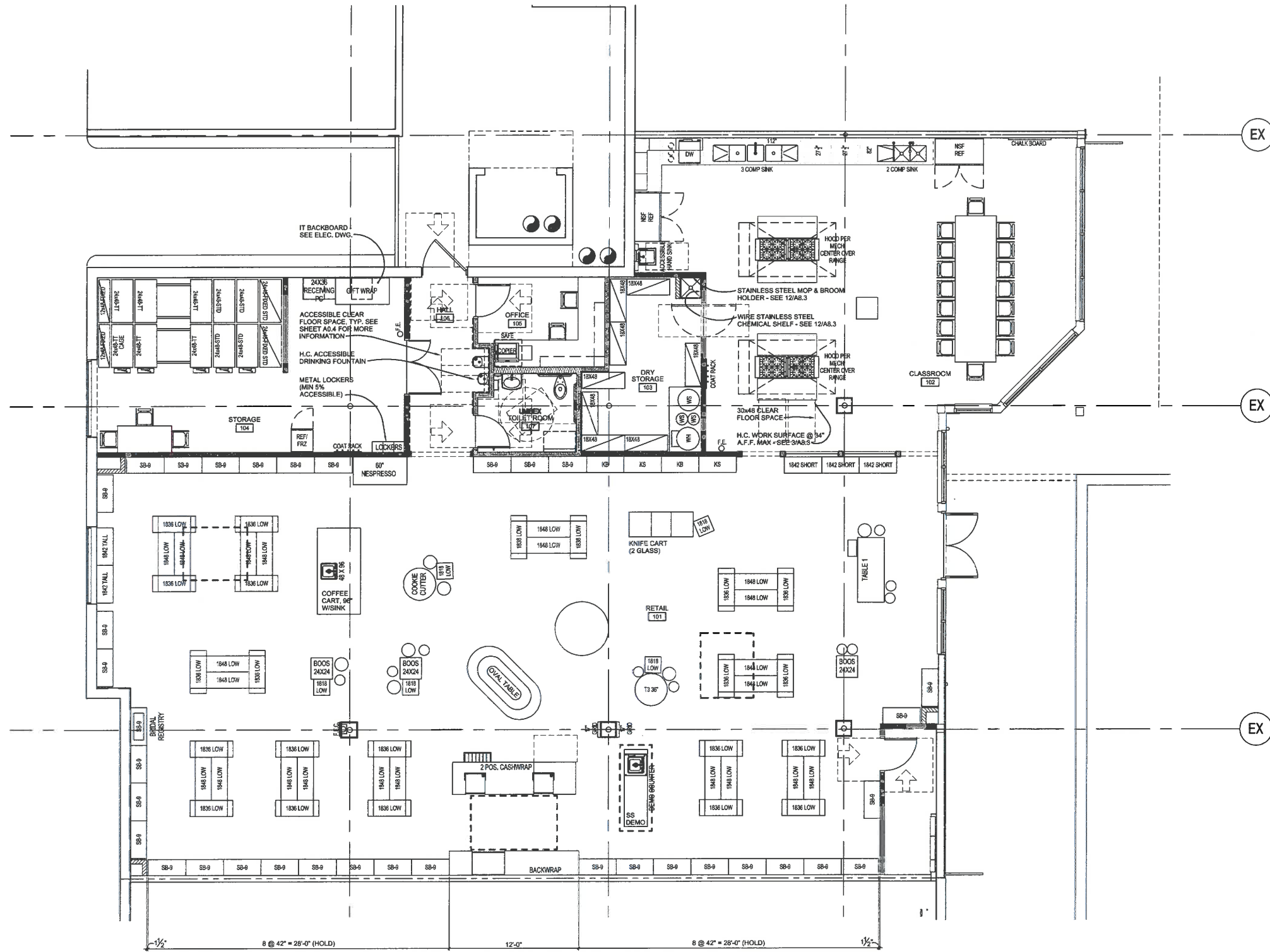
drawing title
COVER,
PROJECT
INFO.

sheet number
CUP1



1 CARMEL PLAZA - COURTYARD LEVEL LEASE PLAN
CUP1 NO SCALE





1 FIXTURE PLAN
CUP2 1/4" = 1'-0"



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10150 AVENUE SOUTH, SUITE 200
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Sur la table
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1100 AVENUE SOUTH, SUITE 200
CARMEL, CALIFORNIA 95021
TEL: 408.454.1111 FAX: 408.454.1112

CARMEL PLAZA
CORNER OF OCEAN AND
JUNIPER AVENUES
SUITE 111
CARMEL-BY-THE-SEA, CA 95021

commission number 41-1017

- LL Prelim.
- LL Final
- Permit
- Bidding
- CUP 05/16/2018



Creating the
FIXTURE
PLAN

sheet number
CUP2

MARK	DESCRIPTION	MANUFACTURER	NAME / MODEL #	COLOR / FINISH	REMARKS
P-1	PAINT	BENJAMIN MOORE	2153-70	IVORY TUSK	SEE COMMENTS BELOW FOR ADDITIONAL PAINT AND FINISH DESIGNATIONS AND LOCATIONS
WD-1	WHITWASHED T&G SIDING	-	58" CLEAR CEDAR	WHITWASHED	7 3/4" EXPOSURE W/1/2" REVEAL JOINT; WHITWASH PER APPROVED SAMPLE
SF-2	ALUMINUM STOREFRONT FRAME	KAWNEER	INTERPON POWDER COAT	MILK WHITE	USE WHEN STOREFRONT PAINTED (P-1 IVORY TUSK)
SF-3	ALUMINUM ENTRY DOOR	KAWNEER	INTERPON POWDER COAT	BRICK RED	ALUM. ENTRY AND VESTIBULE DOORS (WITH EITHER SF-1 OR SF-2)
G-1	1" TEMPERED GLASS	-	-	CLEAR	TEMPERED GLASS IN LOCATIONS REQ'D BY CODE
G-2	1" GLASS	-	-	CLEAR	UN-TEMPERED GLASS IN TRANSOMS ONLY
ST-1A	GRAY/BLACK STONE	STONE SOURCE	BASALT	INCA GRAY HONED	BASE 3/4" THICK X 6" HIGH; GC RESPONSIBLE FOR ORDERING SUFFICIENT MATERIAL TO ACCOUNT FOR SLOPED/UNEVEN PAVING
ST-1B	GROUT	CUSTOM BUILDING PRODUCTS #370	BASALT	DOVE GRAY	
	STONE	STONE SOURCE	BASALT	INCA GRAY HONED	EXTERIOR TILE - 3/8" THICK; CUT TO 12" X 24"
	GROUT	CUSTOM BUILDING PRODUCTS #370	BASALT	DOVE GRAY	



VANNEY ASSOCIATES INC.
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Carmel, CA 93921
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consultant



CARMEL PLAZA
SW CORNER OF OCEAN AND
JUNIPER AVENUES
SUITE 111
CARMEL-BY-THE-SEA, CA 93921

commission number 41-1017

- LL Prelim.
- LL Final
- Permit
- Bidding
- CUP 05/16/2018

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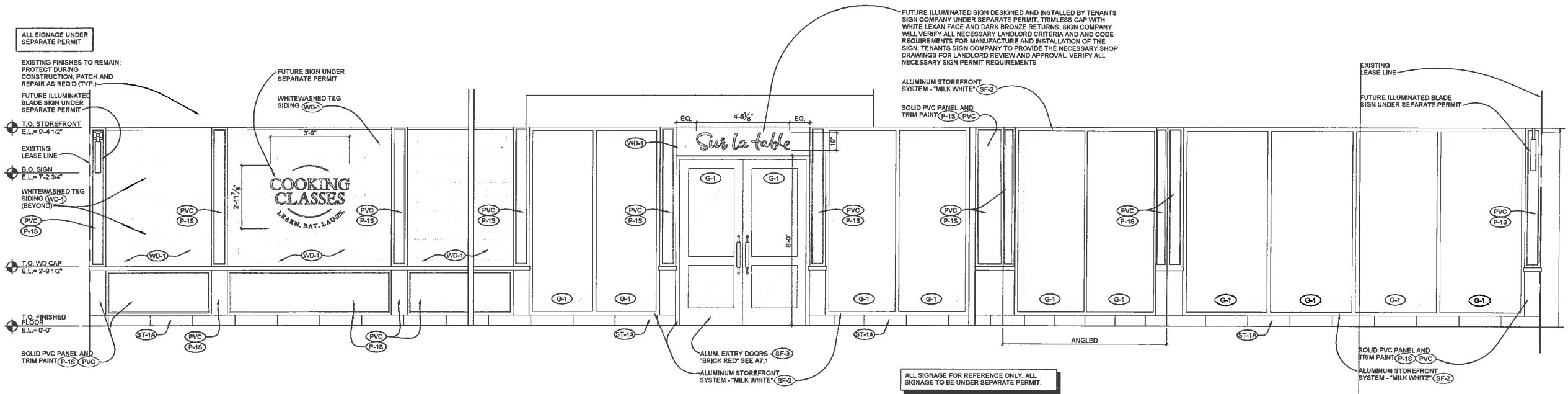
MAY 17 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

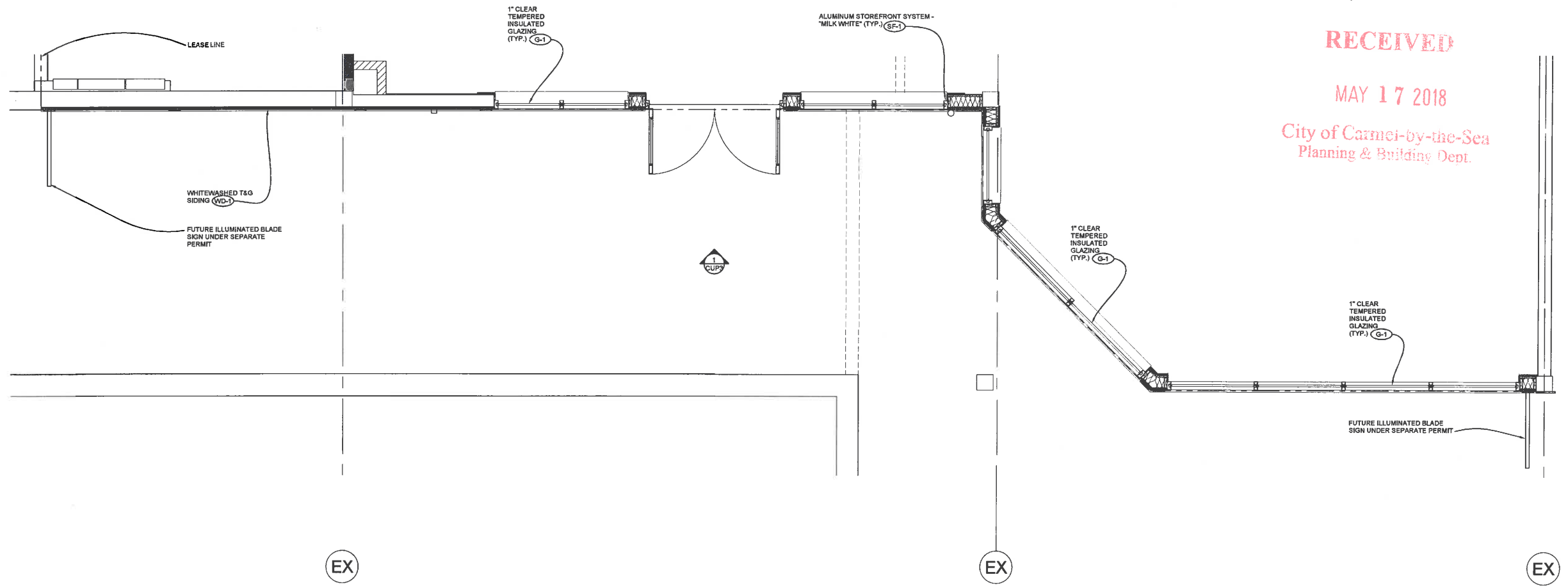


drawing title
STOREFRONT
PLAN &
ELEVATION

sheet number
CUP3



1 STOREFRONT ELEVATION - FRONT
CUP3 1/2" = 1'-0"



2 STOREFRONT PLAN
CUP3 1/2" = 1'-0"





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 Santa Ana, CA 92701
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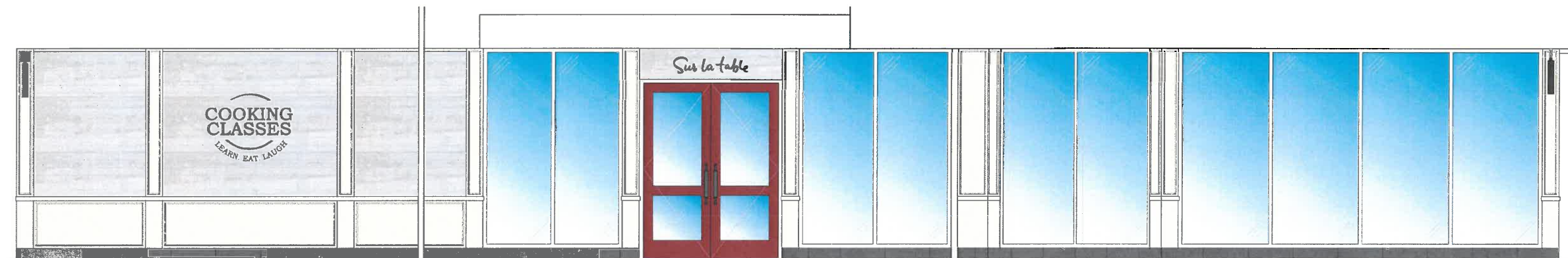
City of Carmel-by-the-Sea
 Planning & Building Dept.

Sur la table
 THE RESTAURANT
 6100 de Anza Blvd., Suite 100
 San Jose, CA 95128
 Tel: 408.951.1317

CARMEL PLAZA
 SW CORNER OF OCEAN AND
 JUNIPER AVENUES
 SUITE 111
 CARMEL-BY-THE-SEA, CA 93921

commission number 41-1017

- LI Prelim.
- LI Final
- Permit
- Bidding
- CUP 05/15/2018



1 STOREFRONT RENDERING
 CUP4 1/4" = 1'-0"



drawing title
 STOREFRONT
 RENDERING

sheet number
 CUP4