

**CITY OF CARMEL-BY-THE-SEA  
PLANNING COMMISSION  
REGULAR MEETING AGENDA**

Regular Meeting  
City Hall  
East Side of Monte Verde Street  
Between Ocean & Seventh Avenues

June 10, 2015  
Wednesday  
Tour: 2:30 p.m.  
Meeting: 4:00 p.m.

**A. CALL TO ORDER AND ROLL CALL**

Commissioners:     Don Goodhue, Chair  
                          Michael LePage, Vice-Chair  
                          Keith Paterson  
                          Jan Reimers  
                          Ian Martin

**B. TOUR OF INSPECTION**

Shortly after **2:30 p.m.**, the Commission will leave the Council Chambers for an on-site Tour of Inspection of all properties listed on this agenda (including those on the Consent Agenda). The Tour may also include projects previously approved by the City and not on this agenda. Prior to the beginning of the Tour of Inspection, the Commission may eliminate one or more on-site visits. The public is welcome to follow the Commission on its tour of the determined sites. The Commission will return to the Council Chambers at **4:00 p.m.** or as soon thereafter as possible.

**C. ROLL CALL**

**D. PLEDGE OF ALLEGIANCE**

**E. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS**

**F. APPEARANCES**

Anyone wishing to address the Commission on matters not on the agenda, but within the jurisdiction of the Commission, may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Commission agenda will not receive action at this meeting but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as otherwise established by the Commission Chair. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.



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| <p>2. CDP 15-122 (Authors and Ideas Festival Beach Event)<br/>         Jim McGillem, Carmel Ideas Foundation Carmel Beach NW of Scenic and 13<sup>th</sup> Ave.<br/>         APN: n/a (Carmel Beach)</p>   | <p>Consideration of a Coastal Development Permit (CDP 15-122) for the 9<sup>th</sup> Annual Authors &amp; Ideas Festival Beach Event, a one-day dinner on the beach for approximately 100 participants.</p>  |
| <p>3. SI 15-144 (The Forge)<br/>         Robert Profeta<br/>         SW Corner of Junipero &amp; 5<sup>th</sup> Ave.<br/>         Blk: 58, Lots: 1, 3, 5, and 7<br/>         APN: 010-098-019</p>  | <p>Consideration of a Commercial Sign (SI 15-144) application for the replacement of an existing hanging sign and the addition of a new sign monument sign located in the Service Commercial (SC) Zoning District</p>  |
| <p>4. UP 15-134 (RF Wines)<br/>         Ray Francioni<br/>         San Carlos 2 NE of 7<sup>th</sup> Ave.<br/>         Blk: 77, Lot: 16<br/>         APN: 010-141-005</p>  | <p>Consideration of a Use Permit (UP 15-134) application to establish a retail wine shop with wine tasting as an ancillary use in an existing commercial space located in the Service Commercial (SC) Zoning District</p>  |
| <p>5. DS 15-106 (Kitterman)<br/>         Chris and Kristen Kitterman<br/>         Santa Fe, 4 NW of 2<sup>nd</sup> Ave.<br/>         Blk: 14, Lot: 13<br/>         APN: 010-101-007</p>  | <p>Consideration of Concept Design Study (DS 15-106) for substantial alterations to a new single-family residence located in the Single-Family Residential (R-1) Zoning District</p>   |
| <p>6. DS 15-148 (Domicile)<br/>         Ridge Capital Investments, LLC<br/>         SW Corner of Guadalupe &amp; 3<sup>rd</sup> Ave.<br/>         Blk: 40, Lot: 1<br/>         APN: 010-024-001</p>  | <p>Consideration of a Concept Design Study (DS 15-148) and associated Coastal Development Permit application for the construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District.</p>   |
| <p>7. DS 15-105 (Corradini)<br/>         Robert Carver, AIA<br/>         4 parcels SE of 9<sup>th</sup> on Scenic Rd.<br/>         Block: A2 , Lot: S pt. of Lot 7 &amp; N pt. of Lot 8<br/>         APN: 010-302-010<br/> <b><i>Continuance to 7/8/15 Recommended</i></b></p> | <p>Consideration of a Concept Design Study (DS 15-105) and associated Coastal Development Permit application for the construction of a new residence located in the Single-Family Residential (R-1) Zoning District, Beach and Riparian Overlay (BR) District, and the Park Overlay (P) District</p> |
| <p>8. City of Carmel-by-the-Sea<br/>         Single-Family Residential (R-1) Zoning District</p>   | <p>Discussion of the review process for proposals to install natural and artificial lawns on properties in the Single-Family Residential (R-1) Zoning District</p>   |

**I. DIRECTOR'S REPORT**

1. Update from the Director
2. Discussion of the City's Centennial Anniversary and appointment of a subcommittee to work with the Centennial Committee
3. Appoint a representative from the Planning Commission to the Forest Theater Master Plan Subcommittee

**J. SUB-COMMITTEE REPORTS**

1. Report from Sub-Committees

**K. ADJOURNMENT**

The next meeting of the Planning Commission will be:

Wednesday, July 8, 2015, at 4:00 p.m. – Regular Meeting

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. Carmel-by-the-Sea City Hall is an accessible facility. The City of Carmel-by-the-Sea telecommunications device for the Deaf/Speech Impaired (T.D.D.) Number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request of the Administrative Coordinator. If you need assistance, please advise the Planning Commission Secretary what item you would like to comment on and the microphone will be brought to you.

NO AGENDA ITEM WILL BE CONSIDERED AFTER 8:00 P.M. UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE PLANNING COMMISSION. ANY AGENDA ITEMS NOT CONSIDERED AT THE MEETING WILL BE CONTINUED TO A FUTURE DATE DETERMINED BY THE COMMISSION.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning & Building Department located in City Hall, east side of Monte Verde between Ocean & 7<sup>th</sup> Avenues, during normal business hours.

**AFFIDAVIT OF POSTING**

*I, Robert A. Mullane, AICP, Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln Avenues, and the Carmel Post Office and distributed to members of the media on June 4, 2015.*

Dated this 4<sup>th</sup> day of June 2015 at the hour of 4:30 p.m.

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Robert A. Mullane, AICP  
Community Planning and Building Director

**ITEM G1. MINUTES FROM 5/13/15  
PLANNING COMMISSION MEETING**

**THIS ITEM WILL BE PROVIDED SEPARATELY**



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 10, 2015

**To:** Chair Goodhue and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director *RM*

**Submitted by:** Marc Wiener, Senior Planner

**Subject:** Consideration of a Final Design Study (DS 14-121) and associated Coastal Development Permit application for the substantial alteration of an existing residence located in the Single-Family Residential (R-1) Zoning District

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**Recommendation:**

Approve the Final Design Study (DS 14-121) subject to the attached findings and conditions

<b>Application:</b> DS 14-121	<b>APN:</b> 010-045-007
<b>Block:</b> 81	<b>Lots:</b> 17, 19 & N 1/4 of 21
<b>Location:</b> Santa Rita 6 SW of Ocean	
<b>Applicant:</b> Mark Norris, Designer	<b>Property Owner:</b> Ebrahimi +3

**Background and Project Description:**

The project site is a 9,000-square foot property (comprised of 2.25 lots) located on Santa Rita Street, six parcels southwest of Ocean Avenue. The property is developed with a 1,986-square foot two-level residence, a 216-square foot guesthouse, and a 194-square foot detached garage. A Final Determination of Historic Ineligibility for the subject residence was issued by the Community Planning and Building Department on August 27, 2014.

The applicant has submitted plans to remodel and expand the existing residence. The project includes the following components: 1) addition of a 558-square foot second story, 2) demolition of the existing one-car garage and construction of a new 426-square foot detached two-car garage, 3) new finish materials including a combination of wood-shingle siding and Carmel stone on the main residence, Carmel stone on the garage, and wood shingle siding on the guesthouse, 4) removal of

568 square feet of site coverage, and 5) construction of a 192-square foot roof-top deck at the rear of the second-story addition.

The Planning Commission reviewed this project on May 13, 2015, and accepted the design concept with recommendations/draft conditions. The applicant has complied with the recommendations made by the Planning Commission.

PROJECT DATA FOR A 9,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	3,150 sf (35%)	2,403 (26.7%)	3,124 sf (34.7%)
Site Coverage	1,053 sf (11.7)	1,621 sf (18%)	1,053 sf (11.7%)
Trees	5 Upper /4 Lower (recommended)	1/29	1/30
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18 ft/24 ft	14 ft./16 ft.	14 ft./ 24 ft.
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12 ft/18 ft	9.5 ft./ 13 ft.	9.5 ft./18 ft.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft	4 ft. (guesthouse) 37 ft. (main)	No Change
Composite Side Yard	22.5 ft (25%)	22 ft. (main)	No Change
Minimum Side Yard	3 ft	6 ft.	3 ft. (garage)
Rear	15 ft	15.5 ft.	No Change

**Staff analysis:**

**Previous Hearing:** The following is a list of recommendations made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The applicant shall withdraw the proposal for stucco and use wood siding on the main residence.*

**Analysis:** The applicant had proposed to use stucco siding on the main residence with a Carmel stone veneer on the lower level. However, the Commission had concerns with the use of stucco on this residence and directed the applicant to use wood siding. The applicant has revised the finish

materials and is now proposing wood-shingle siding. Staff notes that the residence still includes a Carmel stone veneer on the lower level, which is mainly visible only on the side and rear elevations. With regard to the detached accessory structures, the applicant is proposing to use wood-shingle siding on the guesthouse and Carmel stone on the garage. Other finish materials include a wood-shingle roof and unclad wood windows and doors.

2. *The applicant shall add roof eaves (overhangs) to the residence.*

***Analysis:*** The original design did not include roof eaves, which is consistent with the design of the current one-story residence. However, the Commission was concerned with the building mass of the front elevation caused by the addition of the second story, and recommended that the applicant include roof eaves in order to provide a horizontal element to the design. The Commission noted that not having roof eaves is appropriate for the existing one-story design, but not for the proposed two-story design. The applicant is now proposing 12-inch roof eaves on the residence as well as on the detached garage and guesthouse.

3. *Staff shall contact the northern neighbor to determine if any vegetated screening is needed in lieu of the oak tree limbs being removed.*

***Analysis:*** Staff has contacted the neighbor to discuss the potential for new landscaping. The neighbor does not feel that any landscaping is necessary at the subject location.

***Other Project Components:***

***Exterior Lighting:*** A specification sheet showing the proposed wall-mounted light fixtures is included as Attachment D. The proposed fixture has a contemporary design with down lighting. The location of the fixtures is shown on the elevation drawings and floor plans. The light fixtures are located near entrances and outdoor activity areas, as recommended by Residential Design Guideline 11.8. The proposed light bulbs are 25 watts with an output of 180 lumens, as identified in the specification sheet included in Attachment D. The style, specifications, and locations of the path lighting are included on Sheet C3 of the plan set. The proposed path lighting also meets City standards.

***Front Fence:*** The front fence consists of a 4.5-foot high lattice and a 3-foot high grape-stake fence. A photograph of the lattice fence is included in Attachment A. The applicant has included a note on Sheet C2 of the plan set that the front lattice fence will be removed. The applicant is not proposing to replace the fence.

***Environmental Review:*** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 728-square foot addition an existing 2,396-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

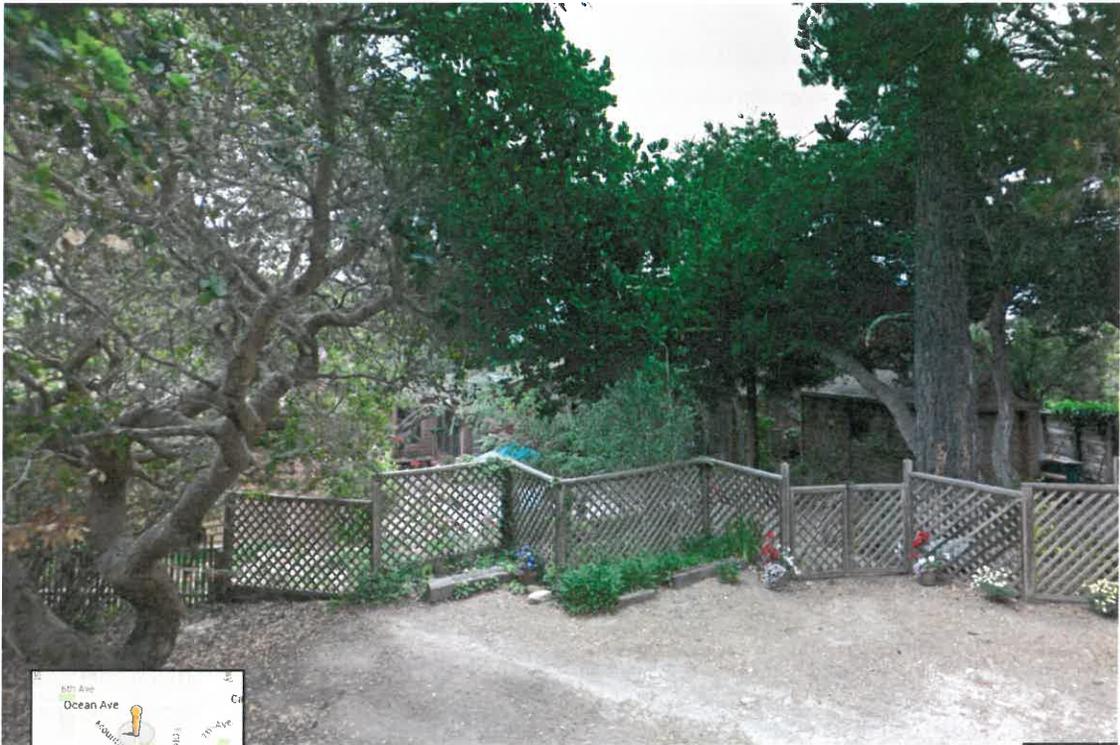
**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Lighting Specifications
- Attachment E – Project Plans

**Attachment A – Site Photographs**



East Elevation of main residence



Project site – Facing west on Santa Rita Street (See Fence)

## Attachment B – Findings for Approval

DS 14-121 (Ebrahimi +3)  
 June 10, 2015  
 Findings for Approval  
 Page 1

<b>FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)</b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):**

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

## Attachment C – Conditions of Approval

DS 14-121 (Ebrahimi +3)

June 10, 2015

Conditions of Approval

Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	<b>Authorization:</b> This approval of Design Study (DS 15-131) authorizes 1) the addition of a 558-square foot second story, 2) construction of a 192-square foot roof-top deck at the rear of the second-story addition, 3) demolition of the existing one-car garage and construction of a new 426-square foot detached two-car garage, 4) new finish materials including a combination of wood-shingle siding and Carmel stone on the main residence, Carmel stone on the garage, and wood shingle siding on the guesthouse, and 5) removal of 568 square feet of site coverage. The resultant development will be 3,264 sq ft, including the 2,586-sq ft main residence, 216-sq ft guesthouse, and 426-sq ft detached garage.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓

6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 9,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	✓

12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All	N/A

	new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	N/A
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
	<b>Special Condition</b>	
22.	The applicant shall file a lot merger with the City and Monterey County prior to the issuance of the building permit.	✓

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
 Property Owner Signature

\_\_\_\_\_  
 Printed Name

\_\_\_\_\_  
 Date

***Once signed, please return to the Community Planning and Building Department.***

# Attachment D – Lighting Specifications

The screenshot shows the Progress Lighting website interface. At the top is the Progress Lighting logo and a navigation menu with links for About Us, Products, Find A Dealer, News And Resources, and Contact Us, along with a search bar. The main content area is titled "Outdoor > Square > P5644-20". On the left is a sidebar with "Current Search Criteria" (Category, Finish, Family, Style, Room, Lights) and a list of product categories. The main product image shows a tall, square, bronze-colored outdoor light fixture. To the right of the image, the product name "P5644-20" is displayed, followed by its category, room type, finish, style, and family. A description states it is a 6" up/down square with heavy duty aluminum construction and a die cast wall bracket. The price is listed as \$272.36. Below the price are "Buy Online" and "Buy Local" buttons, and social media icons for Facebook, Twitter, Pinterest, and Email. Two expandable sections, "Technical Details" and "Additional Support", are shown below the product image. The "Technical Details" section lists specifications: Width/Diameter: 6", Height: 18", Lamp Quantity: two, Lamp Type: BR-40, Lamp Wattage (Max): 150, and a note that it may also use a 250w PAR-38 lamp. The "Additional Support" section includes links for "How to Install" and "Product Specifications". At the bottom, a "You Might Also Be Interested In" section displays four product thumbnails: P5643-20, P5643-30, P5643-31, and P5644-20.

**Progress LIGHTING**

About Us | Products | Find A Dealer | News And Resources | Contact Us | Search

Outdoor > Square > P5644-20

**P5644-20**

Category: Outdoor  
Room Type: Outdoor Lighting  
Finish: Antique Bronze  
Style: Contemporary/Modern  
Family: Square

Description: 6" up/down square with heavy duty aluminum construction and die cast wall bracket. Powder coated finish.

\$272.36

Buy Online

Buy Local

Facebook | Twitter | Pinterest | Email

**Technical Details**

Width/Diameter: 6"  
Height: 18"  
Lamp Quantity: two  
Lamp Type: BR-40  
Lamp Wattage (Max): 150  
Notes: May also use 250w PAR-38 lamp

**Additional Support**

How to Install  
Product Specifications

You Might Also Be Interested In :

P5643-20 | P5643-30 | P5643-31 | P5644-20

## Light Fixture Specifications



# Product Catalog

for consumers

[Home](#) > [Products](#) > 96646

## 96646 – 25CAM/L/BB/CD4

GE crystal clear 25 watt bent tip 4-pack



[View Larger](#)

**Base**



**Filament**





WHERE TO BUY

180 lumens providing subtle, reassuring™ light  
2500K soft white light appearance  
Add sparkle to your decorative fixtures with GE crystal clear bulbs. The clear glass and elegant filament design provide a decorative touch in fixtures where the bulb is visible. GE crystal clear decorative bulb shape compliments fixtures where the bulb is visible, like sconces and chandeliers  
Bent Tip candle with medium base for use in chandeliers and sconces  
Estimated yearly energy costs \$3.01 based on 3 hours per day \$0.11 per kWh  
Lasts 2.7 years based on 3 hours per day usage

Bulb	CA9
Base	Medium Screw (E26)
Bulb Finish	Crystal Clear
Product Code	96646
Description	25CAM/L/BB/CD4
UPC	043168966467
Primary Application	Standard

[Get more technical details](#)

### Light Bulb Specifications



RECEIVED  
SEP 29 2015  
City-by-the-Sea  
Building Dept

(S89°58'00"W 100.00)

(S89°58'00"W 100.00)

(S89°58'00"W 100.00)

(N89°58'00"W 100.00)

(S010°00'E 40.00)

(S010°00'E 40.00)

(S010°00'E 40.00)

(S010°00'E 40.00)

(S010°00'E 80.00)

(S010°00'E 80.00)

(S010°00'E 40.00)

15

18

20

21

(N89°58'00"E 100.00)

OWNER:  
EDRANIMI JAZAYERI, KOMELI & ZENHARI  
1535 MARQUAN DR., SAN JOSE, CA 95128  
STO: SANTA FEITA & E. W. OF MEXICO  
(408) 674-0410

PLANNED BY:  
NORRIS DESIGNS, ETC.  
121 LINE ON 3 WEST, SALINAS, CA 97705 • 404-2114



NOTES:

THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.

THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED. INFORMATION REGARDING UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES.

ELEVATIONS ARE BASED ON AN ARBITRARILY ASSUMED DATUM AS NOTED.

GROUND MAY BE MORE IRREGULAR THAN CONTOURS INDICATE. DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF. PARENTHESES DENOTE RECORD DATA.

THE CROSS SYMBOL (+) MARKS THE HORIZONTAL POSITION OF THE SPOT ELEVATION SHOWN.

TREE SYMBOLS ARE DRAWN TO SCALE ONLY APPROXIMATELY.

48" P = 48" DIAMETER PINE TREE

15" K = 15" DIAMETER OAK TREE

16" CYP = 16" DIAMETER CYPRESS TREE

□ = CONCRETE

E.M. = ELECTRIC METER

G.M. = GAS METER

TOW = TOP OF WALL

SNF = SEARCHED FOR LOT CORNER; NOTHING FOUND.

NOTE:

SUFFICIENT BOUNDARY TIES WERE MADE TO GRAPHICALLY POSITION EXISTING FEATURES RELATIVE TO BOUNDARY LINES; A COMPLETE BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME.

PLAN INDEX

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A1	PROPOSED SITE PLAN, HEIGHT STUDY, LOWER FLOOR PLANS
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SANTA RITA STREET  
( A 50' WIDE CITY STREET )

PROJECT TITLE: EDNANIMI PLUS 3 ADDITION

PRELIMINARY SITE ASSESSMENT

Owner's Name: Edranimi Zenhari, Jazayeri, Komeli

Planner's Signature: Christy Salido

Date: 8/7/14 SA# 14-14

RECEIVED  
MAY 29 2015  
City of Carmel-by-the-Sea  
Planning & Building Dept



DATE OF SURVEY: JUNE 27, 2014  
DRAWING SCALE: 1"=8'  
DRAWN BY: RP/AS  
REVISIONS: 5/29/15

RASMUSSEN LAND SURVEYING, INC.  
P.O. BOX 3135  
MONTEREY, CALIFORNIA 93942  
(831)375-7240 (831)375-2545 FAX

RLS

PROJECT NO. 14051 TOPO SURVEY  
LOT 17 & 18, BLOCK 61, CARMEL ADDITION NO. 5  
MONTEREY COUNTY, CALIFORNIA  
APN 010-048-007-000  
PREPARED FOR: GARY ZENHARI

TOPOGRAPHIC SURVEY

PROJECT NO. 14051 TOPO SURVEY

EDNANIMI + 3

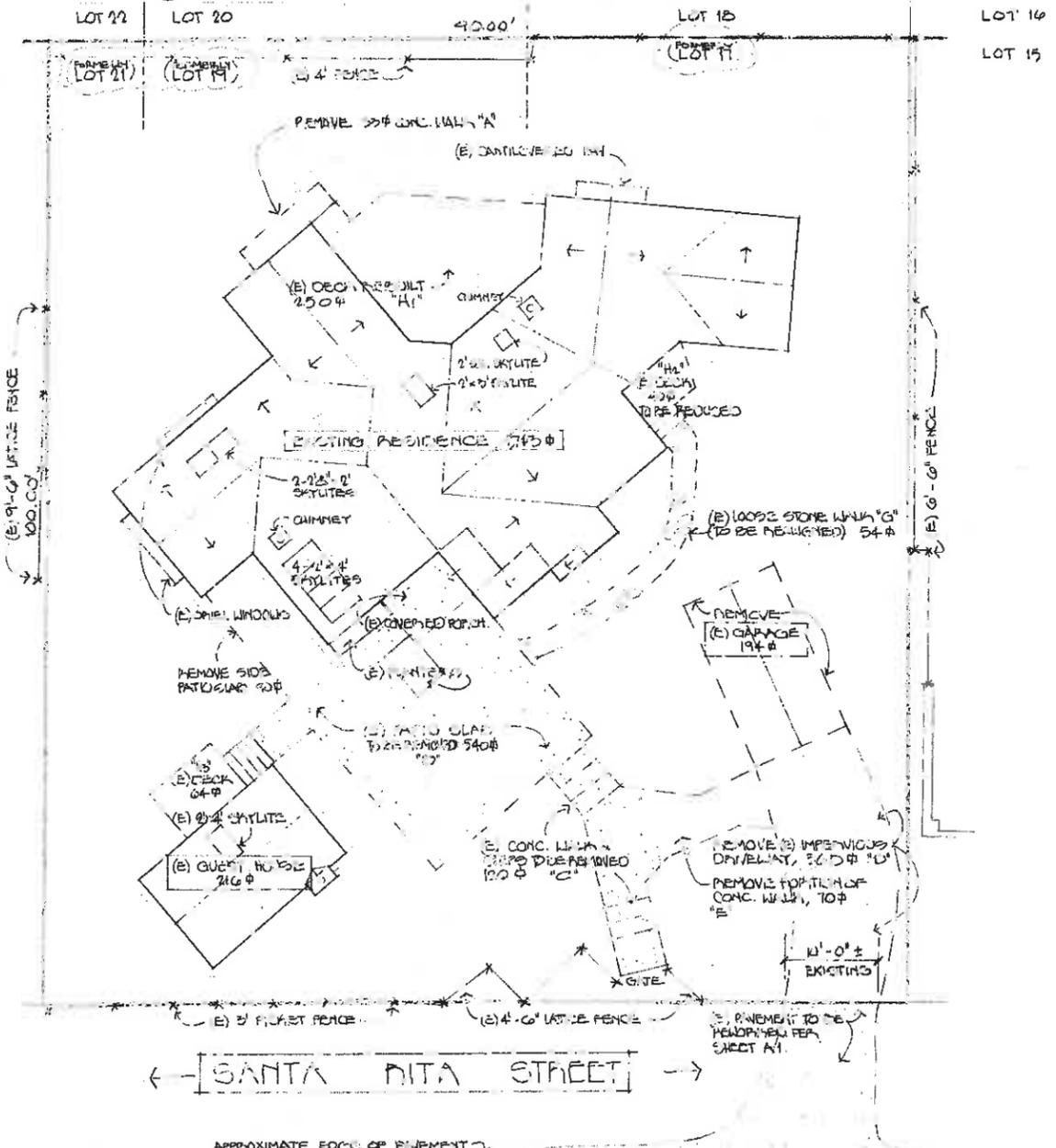
SA 14-114

**NOTES**

- C2.1 **JOB DESCRIPTION:** ADD 2-BEDROOMS, 1-BATH AND FAMILY ROOM UPSTAIRS (558 SF), ADD DECK ABOVE EXISTING DINING ROOM (276 SF), RAISE ROOF OF POYCR FOR STAIRWELL, ADD ORIEL BAY AT FOYER LANDING (12 SF); REMODEL MAIN LEVEL (APPROX. 1,000 SF) INCLUDING RELOCATION OF BATH, EXTENDING KITCHEN, RE-ADJUDGING MASTER BATH - NO LAUNDRY, AND DECREASE SIZE OF ONE BEDROOM; DEMOLISH 1-CAR GARAGE (194 SF) AND BUILD 2-CAR GARAGE (462 SF); REBUILD REAR DECK (WITH PORCH) FROM 250 TO 280 SF. NO CHANGES PROPOSED FOR FENCING OR LANDSCAPING (EXCEPT PER NOTE C2.9). REPLACE DRIVEWAY AND WALKS ON SITE. REMOVE PATIO SLAB. SEE ALSO NOTE C2.8.
- C2.2 **LOT BUILDING AREAS:**  
 LOT SIZE = 9,800 SF  
 BASE AREA (ALLOWED) = 3,150 SF + 270 SF FOR LOT MERGER = 3,420 SF  
 EXISTING BUILT AREAS = 2,438 SF, HOUSE (1,906 SF INCLUDES MECH. ROOM), COVERED PORCH (42), GUEST HOUSE (216), GARAGE (194)  
 PROPOSED DEMOLITION = (194)SF, GARAGE  
 PROPOSED ADDITIONS = 1,020 SF, UPSTAIRS (558) + GARAGE (462)  
 PROPOSED TOTAL FLOOR AREA = 2,264 SF, 3,420 - 3,264 = 156 SF LESS THAN ALLOWED.
- C2.3 **LOT COVERAGE AREAS (EXCLUSIVE OF BUILDINGS) (ALSO SEE TABLE AT RIGHT):** ALLOWED COVERAGE = 693 SF (22% OF "BASE AREA") + 360 SF (BONUS OF 4% OF LOT AREA WHEN AT LEAST HALF OF LOT COVERAGE IS OTHER THAN IMPERMEABLE) = 1,053 SF OF ALL TYPES OF SITE COVERAGE.
- C2.4 **GRADING:** CUT = 10 CY; NO FILL PROPOSED BEYOND BUILDING FOOTPRINT. NO GRADING PROPOSED BEYOND SITE BOUNDARIES. SEE ALSO STORM WATER DRAINAGE AND GRADING PLAN BY LEE AND PIERCE, INC. TO FOLLOW.
- C2.5 **EXTERIOR WALLS OF HOUSE REBUILT = 60 LF OR 25% OF THE 230 (LF). GARAGE IS ENTIRELY REPLACED. GUEST HOUSE EXTERIOR WALLS REMAIN UNCHANGED.**
- C2.6 **SEE SHEET C3 FOR LANDSCAPING PLAN.**
- C2.7 **GUEST HOUSE (G.H.) HAS NO KITCHEN NOR COOKING FACILITIES, BUT DOES HAVE A SHOWER.**
- C2.8 **EXTERIOR BUILDING LIGHTING TO BE REPLACED WITH FIXTURES WITH BULBS OF MAXIMUM 25 WATT/375 LUMEN BULBS EACH. MOUNT MAXIMUM 10' ABOVE WALKING SURFACE NEARSET BELOW THE FIXTURE. USE PROGRESS LIGHTINGS MODEL P5644-20 WITH TOP COVER P8797-01, AND INSTALL MAXIMUM 25 WATT INCANDESCENT BULB OR CFL BULB WITH MAXIMUM 375 LUMENS OUTPUT. USE 6" x 6" x 1/2" (P) x 1/2" (D) x 1/2" (W) x 1/2" (H) x 1/2" (C) x 1/2" (B) x 1/2" (S) x 1/2" (T) x 1/2" (L) x 1/2" (R) x 1/2" (U) x 1/2" (V) x 1/2" (X) x 1/2" (Y) x 1/2" (Z) x 1/2" (AA) x 1/2" (AB) x 1/2" (AC) x 1/2" (AD) x 1/2" (AE) x 1/2" (AF) x 1/2" (AG) x 1/2" (AH) x 1/2" (AI) x 1/2" (AJ) x 1/2" (AK) x 1/2" (AL) x 1/2" (AM) x 1/2" (AN) x 1/2" (AO) x 1/2" (AP) x 1/2" (AQ) x 1/2" (AR) x 1/2" (AS) x 1/2" (AT) x 1/2" (AU) x 1/2" (AV) x 1/2" (AW) x 1/2" (AX) x 1/2" (AY) x 1/2" (AZ) x 1/2" (BA) x 1/2" (BB) x 1/2" (BC) x 1/2" (BD) x 1/2" (BE) x 1/2" (BF) x 1/2" (BG) x 1/2" (BH) x 1/2" (BI) x 1/2" (BJ) x 1/2" (BK) x 1/2" (BL) x 1/2" (BM) x 1/2" (BN) x 1/2" (BO) x 1/2" (BP) x 1/2" (BQ) x 1/2" (BR) x 1/2" (BS) x 1/2" (BT) x 1/2" (BU) x 1/2" (BV) x 1/2" (BW) x 1/2" (BX) x 1/2" (BY) x 1/2" (BZ) x 1/2" (CA) x 1/2" (CB) x 1/2" (CC) x 1/2" (CD) x 1/2" (CE) x 1/2" (CF) x 1/2" (CG) x 1/2" (CH) x 1/2" (CI) x 1/2" (CJ) x 1/2" (CK) x 1/2" (CL) x 1/2" (CM) x 1/2" (CN) x 1/2" (CO) x 1/2" (CP) x 1/2" (CQ) x 1/2" (CR) x 1/2" (CS) x 1/2" (CT) x 1/2" (CU) x 1/2" (CV) x 1/2" (CW) x 1/2" (CX) x 1/2" (CY) x 1/2" (CZ) x 1/2" (DA) x 1/2" (DB) x 1/2" (DC) x 1/2" (DD) x 1/2" (DE) x 1/2" (DF) x 1/2" (DG) x 1/2" (DH) x 1/2" (DI) x 1/2" (DJ) x 1/2" (DK) x 1/2" (DL) x 1/2" (DM) x 1/2" (DN) x 1/2" (DO) x 1/2" (DP) x 1/2" (DQ) x 1/2" (DR) x 1/2" (DS) x 1/2" (DT) x 1/2" (DU) x 1/2" (DV) x 1/2" (DW) x 1/2" (DX) x 1/2" (DY) x 1/2" (DZ) x 1/2" (EA) x 1/2" (EB) x 1/2" (EC) x 1/2" (ED) x 1/2" (EE) x 1/2" (EF) x 1/2" (EG) x 1/2" (EH) x 1/2" (EI) x 1/2" (EJ) x 1/2" (EK) x 1/2" (EL) x 1/2" (EM) x 1/2" (EN) x 1/2" (EO) x 1/2" (EP) x 1/2" (EQ) x 1/2" (ER) x 1/2" (ES) x 1/2" (ET) x 1/2" (EU) x 1/2" (EV) x 1/2" (EW) x 1/2" (EX) x 1/2" (EY) x 1/2" (EZ) x 1/2" (FA) x 1/2" (FB) x 1/2" (FC) x 1/2" (FD) x 1/2" (FE) x 1/2" (FF) x 1/2" (FG) x 1/2" (FH) x 1/2" (FI) x 1/2" (FJ) x 1/2" (FK) x 1/2" (FL) x 1/2" (FM) x 1/2" (FN) x 1/2" (FO) x 1/2" (FP) x 1/2" (FQ) x 1/2" (FR) x 1/2" (FS) x 1/2" (FT) x 1/2" (FU) x 1/2" (FV) x 1/2" (FW) x 1/2" (FX) x 1/2" (FY) x 1/2" (FZ) x 1/2" (GA) x 1/2" (GB) x 1/2" (GC) x 1/2" (GD) x 1/2" (GE) x 1/2" (GF) x 1/2" (GH) x 1/2" (GI) x 1/2" (GJ) x 1/2" (GK) x 1/2" (GL) x 1/2" (GM) x 1/2" (GN) x 1/2" (GO) x 1/2" (GP) x 1/2" (GQ) x 1/2" (GR) x 1/2" (GS) x 1/2" (GT) x 1/2" (GU) x 1/2" (GV) x 1/2" (GW) x 1/2" (GX) x 1/2" (GY) x 1/2" (GZ) x 1/2" (HA) x 1/2" (HB) x 1/2" (HC) x 1/2" (HD) x 1/2" (HE) x 1/2" (HF) x 1/2" (HG) x 1/2" (HH) x 1/2" (HI) x 1/2" (HJ) x 1/2" (HK) x 1/2" (HL) x 1/2" (HM) x 1/2" (HN) x 1/2" (HO) x 1/2" (HP) x 1/2" (HQ) x 1/2" (HR) x 1/2" (HS) x 1/2" (HT) x 1/2" (HU) x 1/2" (HV) x 1/2" (HW) x 1/2" (HX) x 1/2" (HY) x 1/2" (HZ) x 1/2" (IA) x 1/2" (IB) x 1/2" (IC) x 1/2" (ID) x 1/2" (IE) x 1/2" (IF) x 1/2" (IG) x 1/2" (IH) x 1/2" (II) x 1/2" (IJ) x 1/2" (IK) x 1/2" (IL) x 1/2" (IM) x 1/2" (IN) x 1/2" (IO) x 1/2" (IP) x 1/2" (IQ) x 1/2" (IR) x 1/2" (IS) x 1/2" (IT) x 1/2" (IU) x 1/2" (IV) x 1/2" (IW) x 1/2" (IX) x 1/2" (IY) x 1/2" (IZ) x 1/2" (JA) x 1/2" (JB) x 1/2" (JC) x 1/2" (JD) x 1/2" (JE) x 1/2" (JF) x 1/2" (JG) x 1/2" (JH) x 1/2" (JI) x 1/2" (JJ) x 1/2" (JK) x 1/2" (JL) x 1/2" (JM) x 1/2" (JN) x 1/2" (JO) x 1/2" (JP) x 1/2" (JQ) x 1/2" (JR) x 1/2" (JS) x 1/2" (JT) x 1/2" (JU) x 1/2" (JV) x 1/2" (JW) x 1/2" (JX) x 1/2" (JY) x 1/2" (JZ) x 1/2" (KA) x 1/2" (KB) x 1/2" (KC) x 1/2" (KD) x 1/2" (KE) x 1/2" (KF) x 1/2" (KG) x 1/2" (KH) x 1/2" (KI) x 1/2" (KJ) x 1/2" (KK) x 1/2" (KL) x 1/2" (KM) x 1/2" (KN) x 1/2" (KO) x 1/2" (KP) x 1/2" (KQ) x 1/2" (KR) x 1/2" (KS) x 1/2" (KT) x 1/2" (KU) x 1/2" (KV) x 1/2" (KW) x 1/2" (KX) x 1/2" (KY) x 1/2" (KZ) x 1/2" (LA) x 1/2" (LB) x 1/2" (LC) x 1/2" (LD) x 1/2" (LE) x 1/2" (LF) x 1/2" (LG) x 1/2" (LH) x 1/2" (LI) x 1/2" (LJ) x 1/2" (LK) x 1/2" (LL) x 1/2" (LM) x 1/2" (LN) x 1/2" (LO) x 1/2" (LP) x 1/2" (LQ) x 1/2" (LR) x 1/2" (LS) x 1/2" (LT) x 1/2" (LU) x 1/2" (LV) x 1/2" (LW) x 1/2" (LX) x 1/2" (LY) x 1/2" (LZ) x 1/2" (MA) x 1/2" (MB) x 1/2" (MC) x 1/2" (MD) x 1/2" (ME) x 1/2" (MF) x 1/2" (MG) x 1/2" (MH) x 1/2" (MI) x 1/2" (MJ) x 1/2" (MK) x 1/2" (ML) x 1/2" (MM) x 1/2" (MN) x 1/2" (MO) x 1/2" (MP) x 1/2" (MQ) x 1/2" (MR) x 1/2" (MS) x 1/2" (MT) x 1/2" (MU) x 1/2" (MV) x 1/2" (MW) x 1/2" (MX) x 1/2" (MY) x 1/2" (MZ) x 1/2" (NA) x 1/2" (NB) x 1/2" (NC) x 1/2" (ND) x 1/2" (NE) x 1/2" (NF) x 1/2" (NG) x 1/2" (NH) x 1/2" (NI) x 1/2" (NJ) x 1/2" (NK) x 1/2" (NL) x 1/2" (NM) x 1/2" (NO) x 1/2" (NP) x 1/2" (NQ) x 1/2" (NR) x 1/2" (NS) x 1/2" (NT) x 1/2" (NU) x 1/2" (NV) x 1/2" (NW) x 1/2" (NX) x 1/2" (NY) x 1/2" (NZ) x 1/2" (OA) x 1/2" (OB) x 1/2" (OC) x 1/2" (OD) x 1/2" (OE) x 1/2" (OF) x 1/2" (OG) x 1/2" (OH) x 1/2" (OI) x 1/2" (OJ) x 1/2" (OK) x 1/2" (OL) x 1/2" (OM) x 1/2" (ON) x 1/2" (OO) x 1/2" (OP) x 1/2" (OQ) x 1/2" (OR) x 1/2" (OS) x 1/2" (OT) x 1/2" (OU) x 1/2" (OV) x 1/2" (OW) x 1/2" (OX) x 1/2" (OY) x 1/2" (OZ) x 1/2" (PA) x 1/2" (PB) x 1/2" (PC) x 1/2" (PD) x 1/2" (PE) x 1/2" (PF) x 1/2" (PG) x 1/2" (PH) x 1/2" (PI) x 1/2" (PJ) x 1/2" (PK) x 1/2" (PL) x 1/2" (PM) x 1/2" (PN) x 1/2" (PO) x 1/2" (PP) x 1/2" (PQ) x 1/2" (PR) x 1/2" (PS) x 1/2" (PT) x 1/2" (PU) x 1/2" (PV) x 1/2" (PW) x 1/2" (PX) x 1/2" (PY) x 1/2" (PZ) x 1/2" (QA) x 1/2" (QB) x 1/2" (QC) x 1/2" (QD) x 1/2" (QE) x 1/2" (QF) x 1/2" (QG) x 1/2" (QH) x 1/2" (QI) x 1/2" (QJ) x 1/2" (QK) x 1/2" (QL) x 1/2" (QM) x 1/2" (QN) x 1/2" (QO) x 1/2" (QP) x 1/2" (QQ) x 1/2" (QR) x 1/2" (QS) x 1/2" (QT) x 1/2" (QU) x 1/2" (QV) x 1/2" (QW) x 1/2" (QX) x 1/2" (QY) x 1/2" (QZ) x 1/2" (RA) x 1/2" (RB) x 1/2" (RC) x 1/2" (RD) x 1/2" (RE) x 1/2" (RF) x 1/2" (RG) x 1/2" (RH) x 1/2" (RI) x 1/2" (RJ) x 1/2" (RK) x 1/2" (RL) x 1/2" (RM) x 1/2" (RN) x 1/2" (RO) x 1/2" (RP) x 1/2" (RQ) x 1/2" (RR) x 1/2" (RS) x 1/2" (RT) x 1/2" (RU) x 1/2" (RV) x 1/2" (RW) x 1/2" (RX) x 1/2" (RY) x 1/2" (RZ) x 1/2" (SA) x 1/2" (SB) x 1/2" (SC) x 1/2" (SD) x 1/2" (SE) x 1/2" (SF) x 1/2" (SG) x 1/2" (SH) x 1/2" (SI) x 1/2" (SJ) x 1/2" (SK) x 1/2" (SL) x 1/2" (SM) x 1/2" (SN) x 1/2" (SO) x 1/2" (SP) x 1/2" (SQ) x 1/2" (SR) x 1/2" (SS) x 1/2" (ST) x 1/2" (SU) x 1/2" (SV) x 1/2" (SW) x 1/2" (SX) x 1/2" (SY) x 1/2" (SZ) x 1/2" (TA) x 1/2" (TB) x 1/2" (TC) x 1/2" (TD) x 1/2" (TE) x 1/2" (TF) x 1/2" (TG) x 1/2" (TH) x 1/2" (TI) x 1/2" (TJ) x 1/2" (TK) x 1/2" (TL) x 1/2" (TM) x 1/2" (TN) x 1/2" (TO) x 1/2" (TP) x 1/2" (TQ) x 1/2" (TR) x 1/2" (TS) x 1/2" (TT) x 1/2" (TU) x 1/2" (TV) x 1/2" (TW) x 1/2" (TX) x 1/2" (TY) x 1/2" (TZ) x 1/2" (UA) x 1/2" (UB) x 1/2" (UC) x 1/2" (UD) x 1/2" (UE) x 1/2" (UF) x 1/2" (UG) x 1/2" (UH) x 1/2" (UI) x 1/2" (UJ) x 1/2" (UK) x 1/2" (UL) x 1/2" (UM) x 1/2" (UN) x 1/2" (UO) x 1/2" (UP) x 1/2" (UQ) x 1/2" (UR) x 1/2" (US) x 1/2" (UT) x 1/2" (UU) x 1/2" (UV) x 1/2" (UW) x 1/2" (UX) x 1/2" (UY) x 1/2" (UZ) x 1/2" (VA) x 1/2" (VB) x 1/2" (VC) x 1/2" (VD) x 1/2" (VE) x 1/2" (VF) x 1/2" (VG) x 1/2" (VH) x 1/2" (VI) x 1/2" (VJ) x 1/2" (VK) x 1/2" (VL) x 1/2" (VM) x 1/2" (VN) x 1/2" (VO) x 1/2" (VP) x 1/2" (VQ) x 1/2" (VR) x 1/2" (VS) x 1/2" (VT) x 1/2" (VU) x 1/2" (VV) x 1/2" (VW) x 1/2" (VX) x 1/2" (VY) x 1/2" (VZ) x 1/2" (WA) x 1/2" (WB) x 1/2" (WC) x 1/2" (WD) x 1/2" (WE) x 1/2" (WF) x 1/2" (WG) x 1/2" (WH) x 1/2" (WI) x 1/2" (WJ) x 1/2" (WK) x 1/2" (WL) x 1/2" (WM) x 1/2" (WN) x 1/2" (WO) x 1/2" (WP) x 1/2" (WQ) x 1/2" (WR) x 1/2" (WS) x 1/2" (WT) x 1/2" (WU) x 1/2" (WV) x 1/2" (WW) x 1/2" (WX) x 1/2" (WY) x 1/2" (WZ) x 1/2" (XA) x 1/2" (XB) x 1/2" (XC) x 1/2" (XD) x 1/2" (XE) x 1/2" (XF) x 1/2" (XG) x 1/2" (XH) x 1/2" (XI) x 1/2" (XJ) x 1/2" (XK) x 1/2" (XL) x 1/2" (XM) x 1/2" (XN) x 1/2" (XO) x 1/2" (XP) x 1/2" (XQ) x 1/2" (XR) x 1/2" (XS) x 1/2" (XT) x 1/2" (XU) x 1/2" (XV) x 1/2" (XW) x 1/2" (XX) x 1/2" (XY) x 1/2" (XZ) x 1/2" (YA) x 1/2" (YB) x 1/2" (YC) x 1/2" (YD) x 1/2" (YE) x 1/2" (YF) x 1/2" (YG) x 1/2" (YH) x 1/2" (YI) x 1/2" (YJ) x 1/2" (YK) x 1/2" (YL) x 1/2" (YM) x 1/2" (YN) x 1/2" (YO) x 1/2" (YP) x 1/2" (YQ) x 1/2" (YR) x 1/2" (YS) x 1/2" (YT) x 1/2" (YU) x 1/2" (YV) x 1/2" (YW) x 1/2" (YX) x 1/2" (YY) x 1/2" (YZ) x 1/2" (ZA) x 1/2" (ZB) x 1/2" (ZC) x 1/2" (ZD) x 1/2" (ZE) x 1/2" (ZF) x 1/2" (ZG) x 1/2" (ZH) x 1/2" (ZI) x 1/2" (ZJ) x 1/2" (ZK) x 1/2" (ZL) x 1/2" (ZM) x 1/2" (ZN) x 1/2" (ZO) x 1/2" (ZP) x 1/2" (ZQ) x 1/2" (ZR) x 1/2" (ZS) x 1/2" (ZT) x 1/2" (ZU) x 1/2" (ZV) x 1/2" (ZW) x 1/2" (ZX) x 1/2" (ZY) x 1/2" (ZZ)**
- C2.9 **ELECTRIC SERVICE TO BE 200 AMPS WITH SERVICE METER IN EXISTING LOCATION (G.H.). SUPPLY TO NEW GARAGE TO RUN UNDERGROUND.**
- C2.10 **WATER CONSERVATION IMPROVEMENTS: THE 4-TOILETS WILL BE ULTRA HIGH EFFICIENCY TOILETS AND THE DISHWASHER WILL BE HIGH EFFICIENCY WITH MAXIMUM 5.8 GALLONS PER CYCLE DURING WASHING OF POTS AND PANS.**
- NOTES CONTINUE ON NEXT SHEET

EXISTING SITE COVERAGE		PROPOSED SITE COVERAGE			
KEY	DESCRIPTION	AREA IN SQ FT	KEY DESCRIPTION	AREA IN SQ FT	
<b>SEMI-PERMEABLE COMPONENTS</b>					
"G"	SEMI-PERMEABLE FRONT SAND PATH	54	"G"	SEMI-PERMEABLE FRONT SAND PATH	84
TOTAL (E) SEMI-PERMEABLE AREA		54	TOTAL PROPOSED SEMI-PERMEABLE AREA		84
<b>PERMEABLE COMPONENTS</b>					
"H1"	REAR DECK	250	"H1"	REAR DECK	280
"H2"	FRONT DECK	40	"H2"	LANDRY DECK (REDUCE TO STEPS)	20
"H3"	GUEST HOUSE DECK	64	"H3"	GUEST HOUSE DECK	64
TOTAL (E) PERMEABLE COMPONENTS		354	TOTAL PROPOSED PERMEABLE COMPONENTS		364
<b>IMPERMEABLE COMPONENTS</b>					
"A"	CONCRETE WALK REAR	33	"A"	CONCRETE WALK REAR	33
"B"	CONCRETE PATIO	540	"B"	CONCRETE PATIO COURT YARD WALKS	120
"C"	CONCRETE WALK AND STEPS	120	"C"	CONC WALK TO FRONT GATE, REDUCED	72
"D"	ASPHALT DRIVEWAY	360	"D"	ASPHALT DRIVEWAY	360
"E"	CONCRETE WALK TO DRIVE	70	"E"	CONCRETE WALK TO DRIVE	70
"F"	SIFF PATIO SLAB	90	"F"	PATIO SLAB	90
TOTAL EXISTING IMPERMEABLE AREA		1,213	IMPERMEABLE AREA REMOVED = (553)		
TOTAL SITE COVERAGE (E)		1,621	IMPERMEABLE AREA PROPOSED = (192)		
TOTAL SITE COVERAGE ALLOWED		1,027	TOTAL SITE COVERAGE PROPOSED		1,643
REMOVE SITE COVERAGE FOR MIN COMPLIANCE (556)		1,027 - 556 = 471	1,027 - 556 = 471		
THEREFORE, "SITE COVERAGE" IS IN COMPLIANCE			1,027 - 556 = 471		

SEE ALSO NOTE (C2.3)



EXISTING LOT PLAN  
 SITE PLAN WITH SITE COVERAGE & DEMOLITION  
 1/8" = 1'-0"  
 0' 5' 10' 15' 20' 25'

NOTES  
 LOCATION = SANTA RITA, 6 SOUTH WEST OF OCEAN  
 APN = 010-045-007-000  
 BLOCK = 51, LOTS 17 & 19 & PORTION OF 21 TO BE MERGED INTO A SINGLE PARCEL  
 SEE TOPOGRAPICAL SURVEY BY PANGLOSS FOR CONTROLS.

REVISION:  
 1  
 2

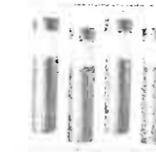
DESIGN, DRAFTING & PERMIT EXPEDITIONS  
 MARK EDWIN MORRIS  
 424 - 2114

HOME EXPANSION  
 EDWINI PLAN 2  
 CARMEL - BY - TRF. - 35A

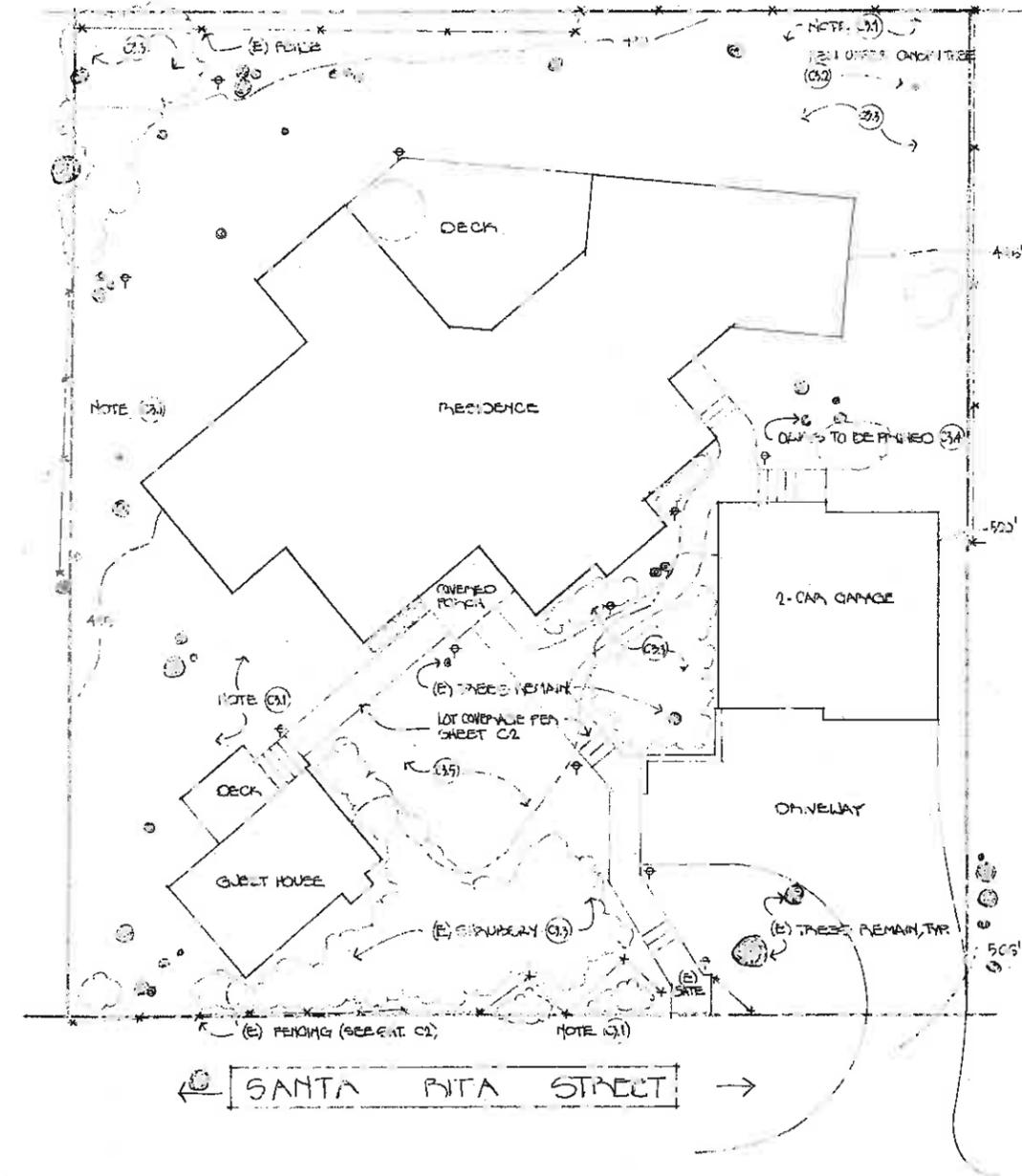
Job 1114  
 SHEET 2 OF 10

**NOTES**

- C3.1 REMOVE ALL IVY AND VINCA ON SITE AND IN THE RIGHT OF WAY IN FRONT OF THE SITE PER RECOMMENDATION OF THE CITY FORESTER.
  - C3.2 PLANT AN UPPER CANOPY TREE IN THE NORTHERN CORNER OF THE SITE PER PLAN AND BEST PRACTICE.
  - C3.3 EXISTING SHRUBBERY IS SPARSE IN MOST AREAS AND NO CHANGE IS PROPOSED.
  - C3.4 THE OAKS BEHIND THE GARAGE WILL BE PROPERLY PRUNED WITH CITY PERMIT AND UNDER THE SUPERVISION OF AN ARBORIST.
  - C3.5 THE FRONT YARD (WHERE THE PATIO SLAB HAS TO BE REMOVED) WILL BE COVERED IN APPROXIMATELY 3" OF REDWOOD CHIPS/MULCH.
  - C3.6 YARD LIGHTING TO BE BY INDIVIDUAL PHOTO SWITCHED PATH LIGHTS, MAX 18" TALL, MAX 15 WATTS OR MAXIMUM 225 LUMENS AND SPACED NO CLOSER THAN 10' APART. USE "LAMPS PLUS" STYLE #22426, 11" TALL x 2-1/2" DIAMETER, 5 LUMENS (APPROX 1/2 WATT) LED LIGHT WITH FROSTED ACRYLIC LENS AND SOLAR CELL BATTERY RECHARGER BUILT-IN.
- SEE: CONTINUE ON NEXT SHEET



**LANDSCAPE/PATH LIGHTING**  
 PUN - 1/2" HOLES  
 NOTE C3.6  
 "LAMPS PLUS" STYLE #22426 (MAX  
 RADIUS MODEL # GL27.2B)  
 SPACED NO CLOSER THAN 10' APART



**LANDSCAPE PLAN**  
 1/8" = 1'-0"  
 0' 5' 10' 15' 20' 25'



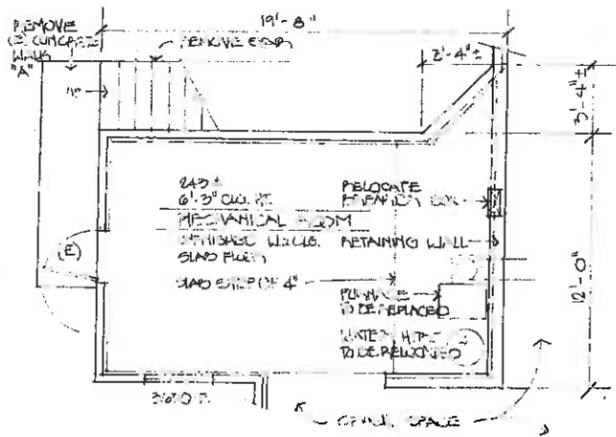
REVISION:  
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**MARK EDWIN MORRIS**  
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HOME EXPANSION  
**IONAHAM PLUS 3**  
 CAMEL - 704 - 712 - 88A

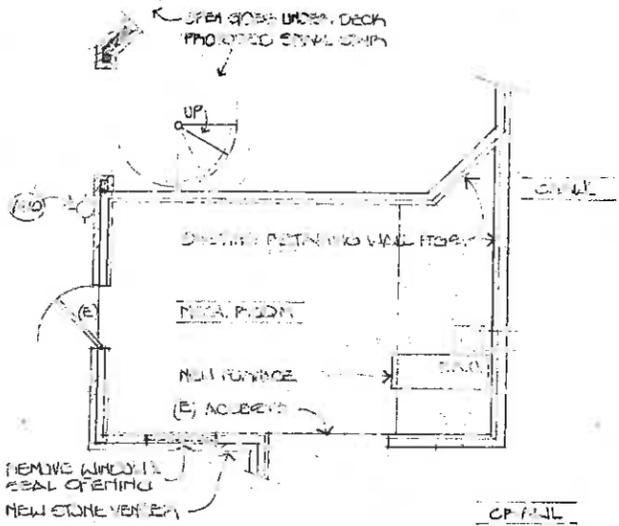
JOB SHEET 141 OF 10



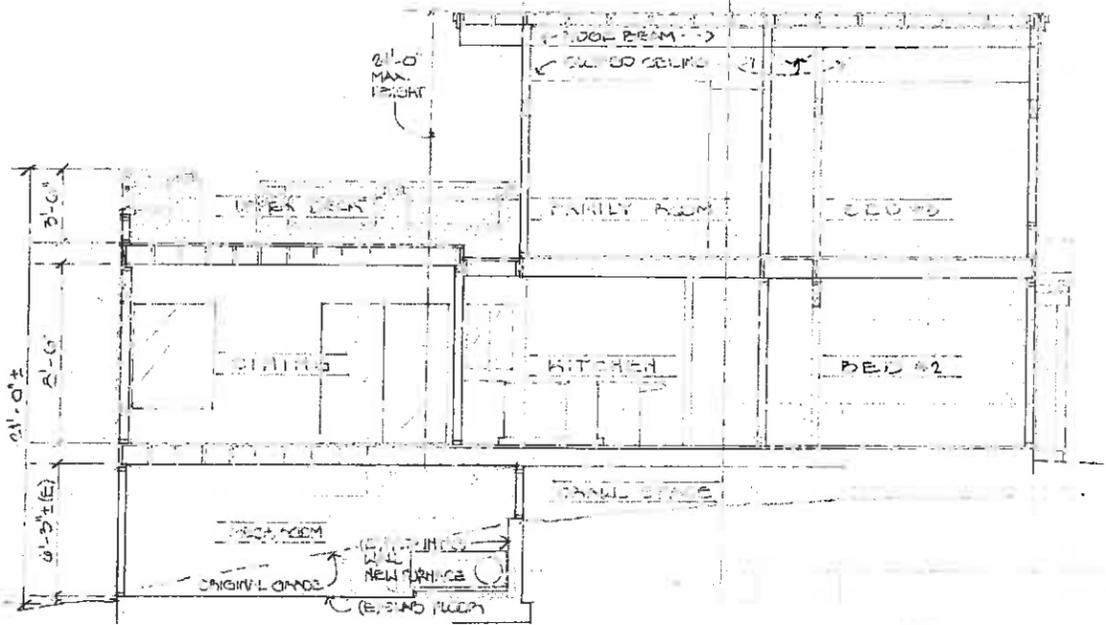


(B) HISTORICAL ROOM FROM EXISTING MEDIA

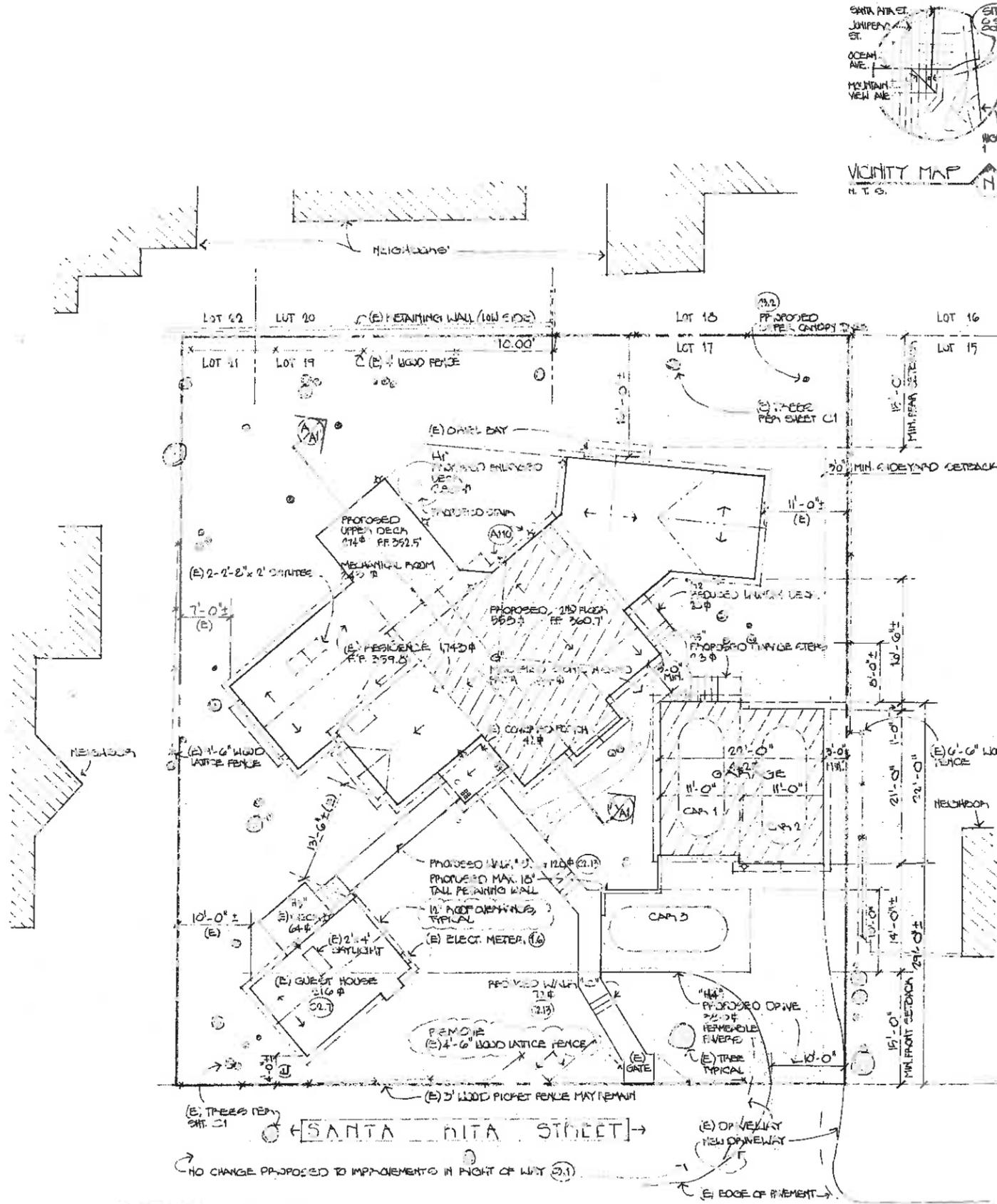
FLOOR PLAN  
1/4" = 1' - 0"



PROPOSED MECHANICAL ROOM FLOOR PLAN  
1/4" = 1' - 0"



HEIGHT STUDY SECTION VIEW  
1/4" = 1' - 0"



PROPOSED POOF & SITE PLAN  
1/2" = 1' - 0"  
SEE TOPOGRAPHIC SURVEY BY PARMESEN FOR CONCEPTS  
APPROXIMATE CENTER OF SETBACK

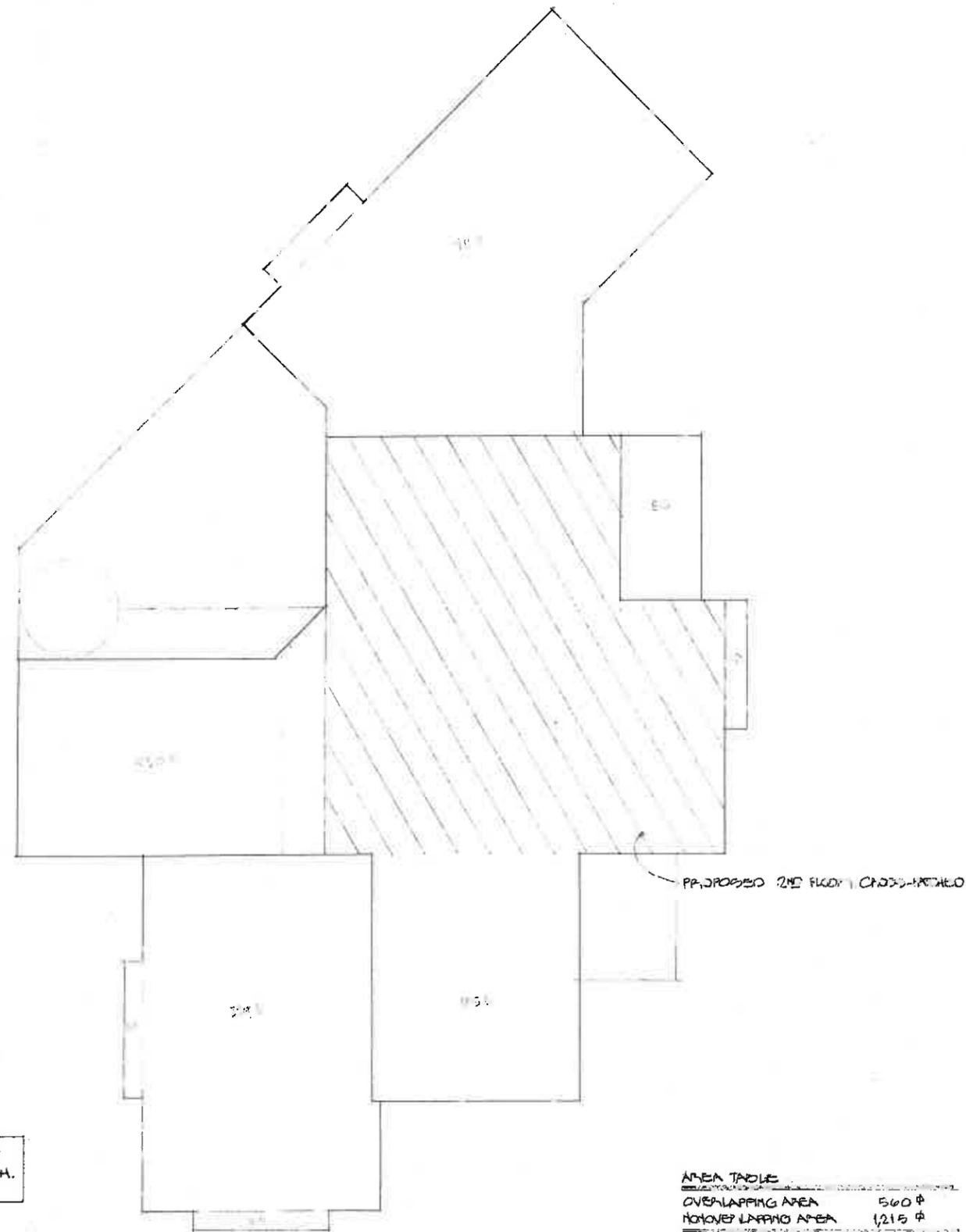
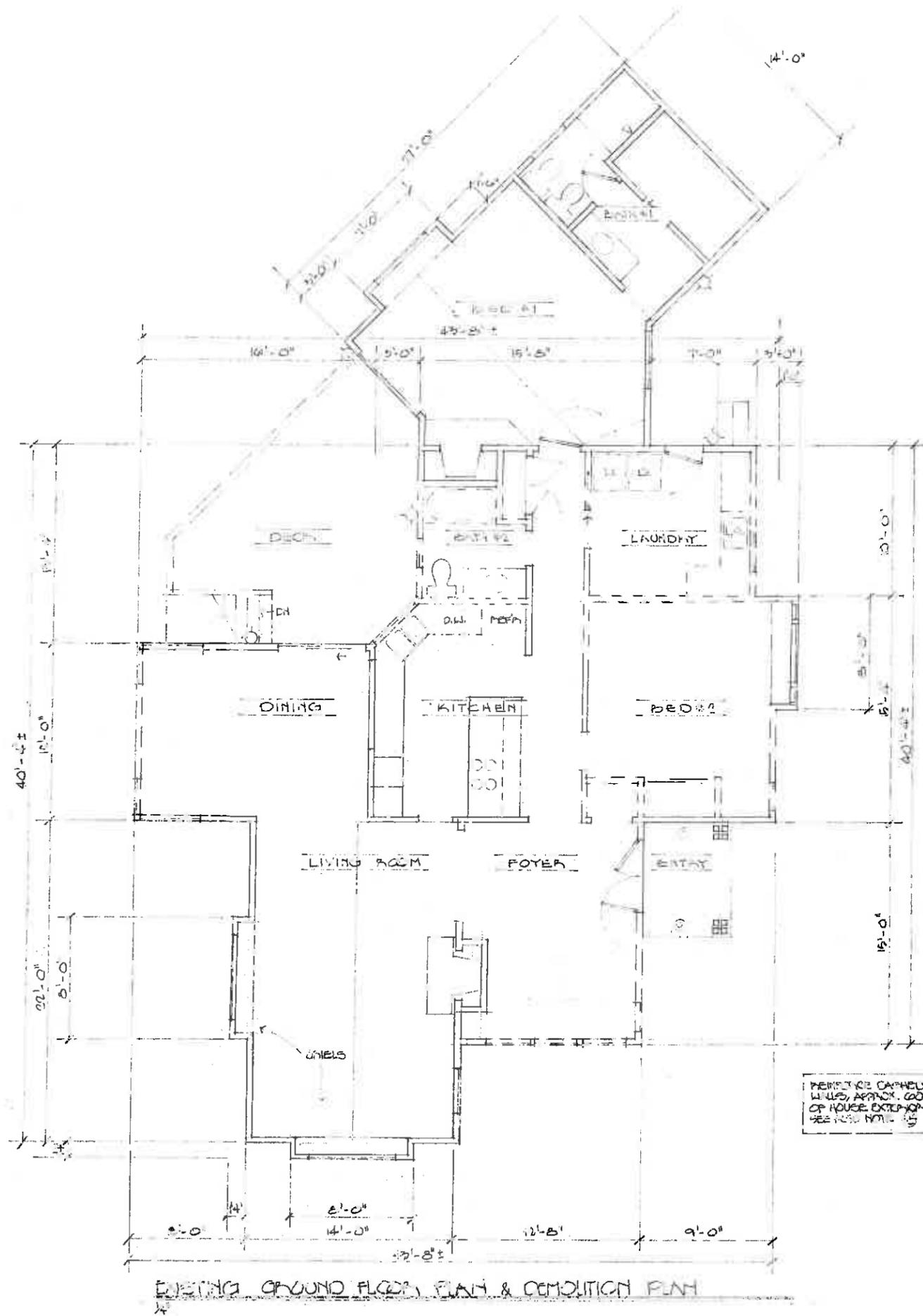
LOCATION: SANTA RITA, S.W. OF OCEAN AVE.  
APN: 010-045-007-000  
BLOCK: 81, LOTS 17, 18 & PART OF 21 TO BE REDEVELOPED

AVERAGE GRADE ELEVATION FOR VOLUMETRICS  
HOUSE: 2.84  
GARAGE: 0.23  
GUEST HOUSE: 1.3  
SEE ALSO SHT. 2

DESIGN, DRAFTING & PERMIT EXPERTISE  
**MARK EDWIN MORRIS**  
424 - 2114

HOME BUSINESS  
**EDWINI PLUS 7**  
LAWEL, BY THE BAY

JOB 1444  
SHEET 2 OF 10



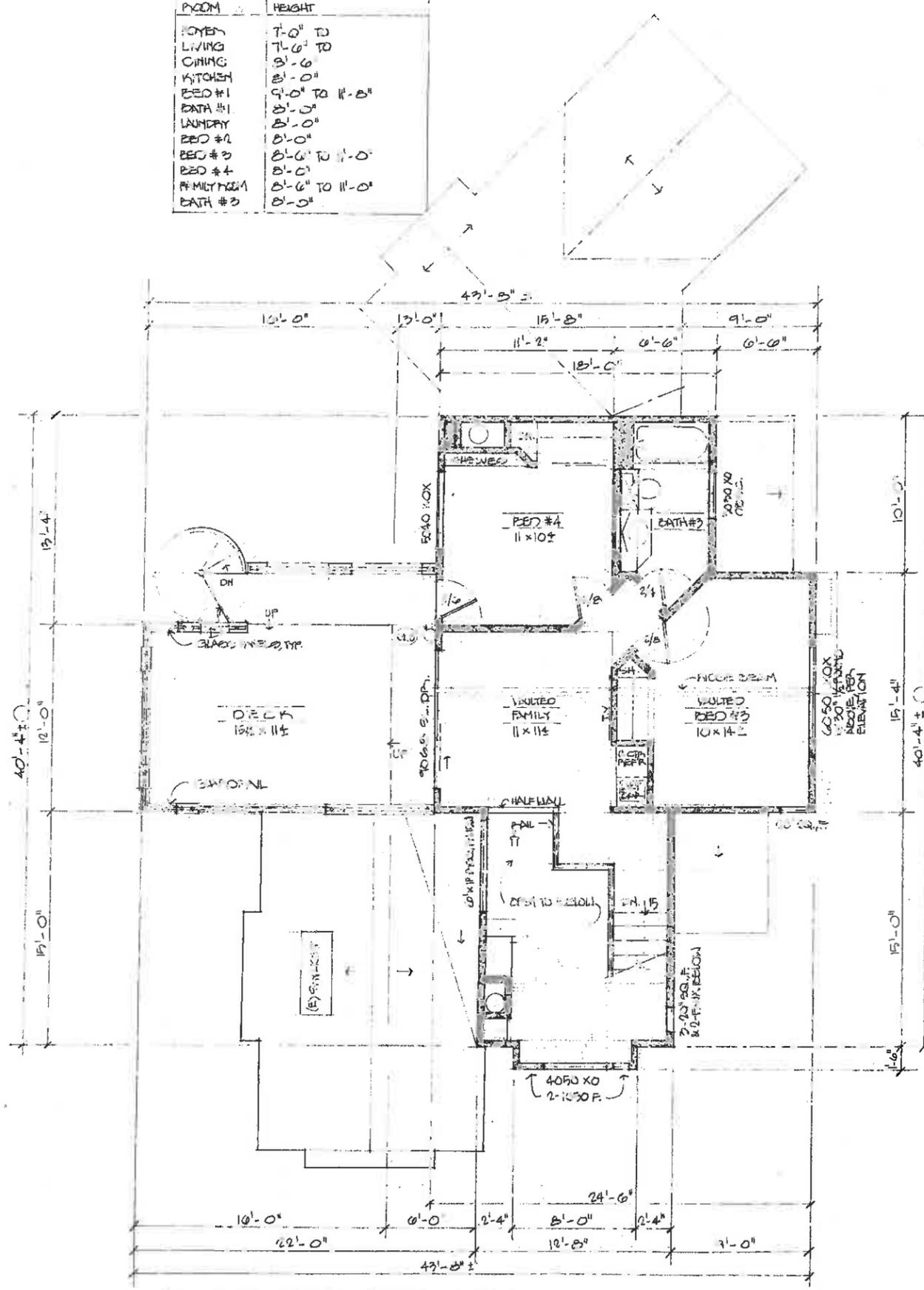
AREA TABLE

OVERLAPPING AREA	500 #
NONOVERLAPPING AREA	1215 #
AVERAGE GRADE ELEVATIONS	
HOUSE	2.84'
GA. ROE	0.27'
GUEST HOUSE	1.80'

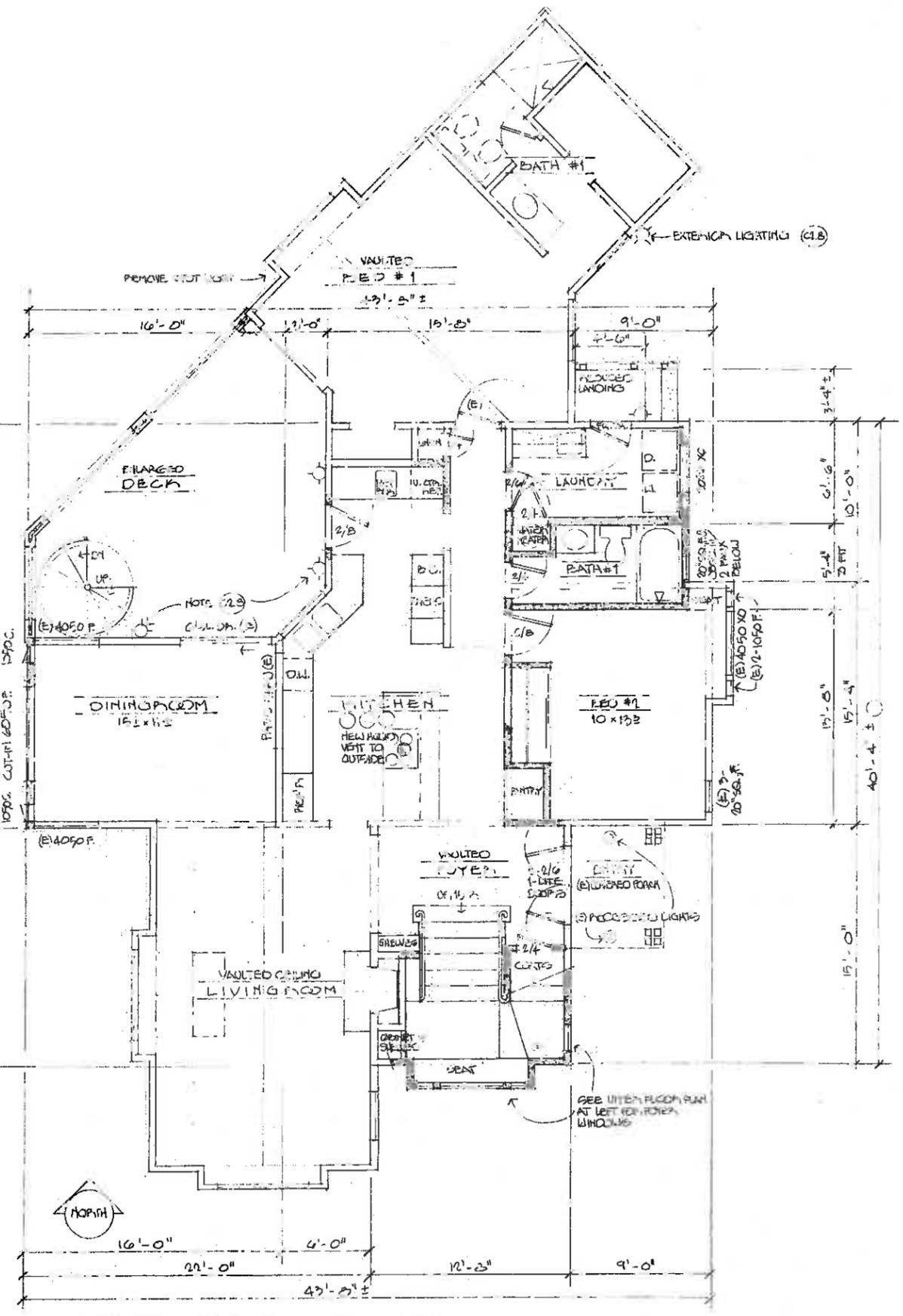


CILING HEIGHT SCHEDULE

ROOM	HEIGHT
LOBBY	7'-0" TO
LIVING	7'-6" TO
DINING	8'-6" TO
KITCHEN	8'-0" TO
BED #1	9'-0" TO 11'-0"
BATH #1	8'-0" TO
LAUNDRY	8'-0" TO
BED #2	8'-0" TO
BED #3	8'-6" TO 11'-0"
BED #4	8'-0" TO
FAMILY ROOM	8'-6" TO 11'-0"
BATH #2	8'-0" TO



PROPOSED UPPER FLOOR PLAN



PROPOSED GROUND FLOOR PLAN


  
 DESIGN, DRAFTING & PERMIT EXPEDITORS  
**MARK EDWIN NORRIS**  
 414 - 214

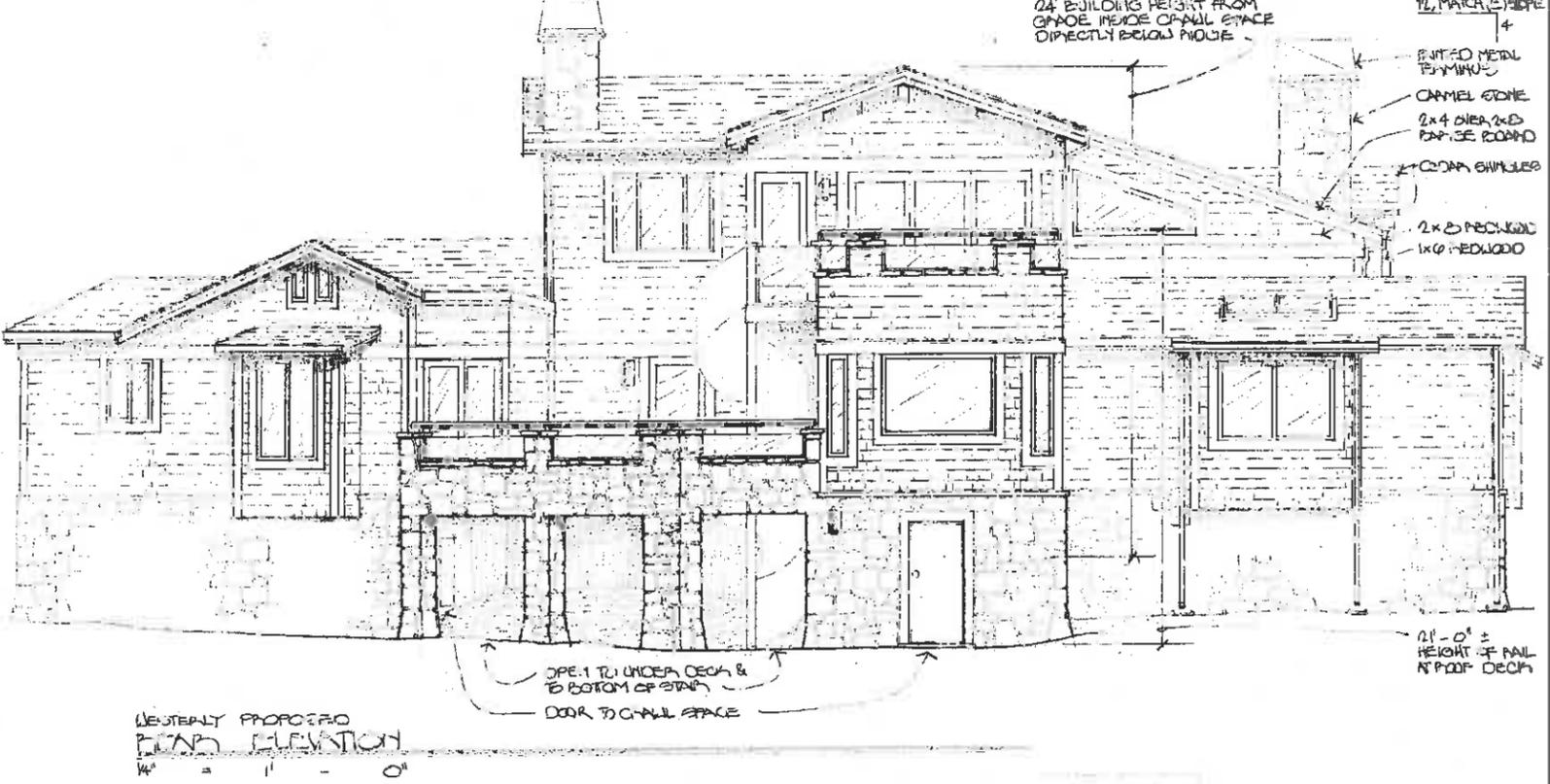
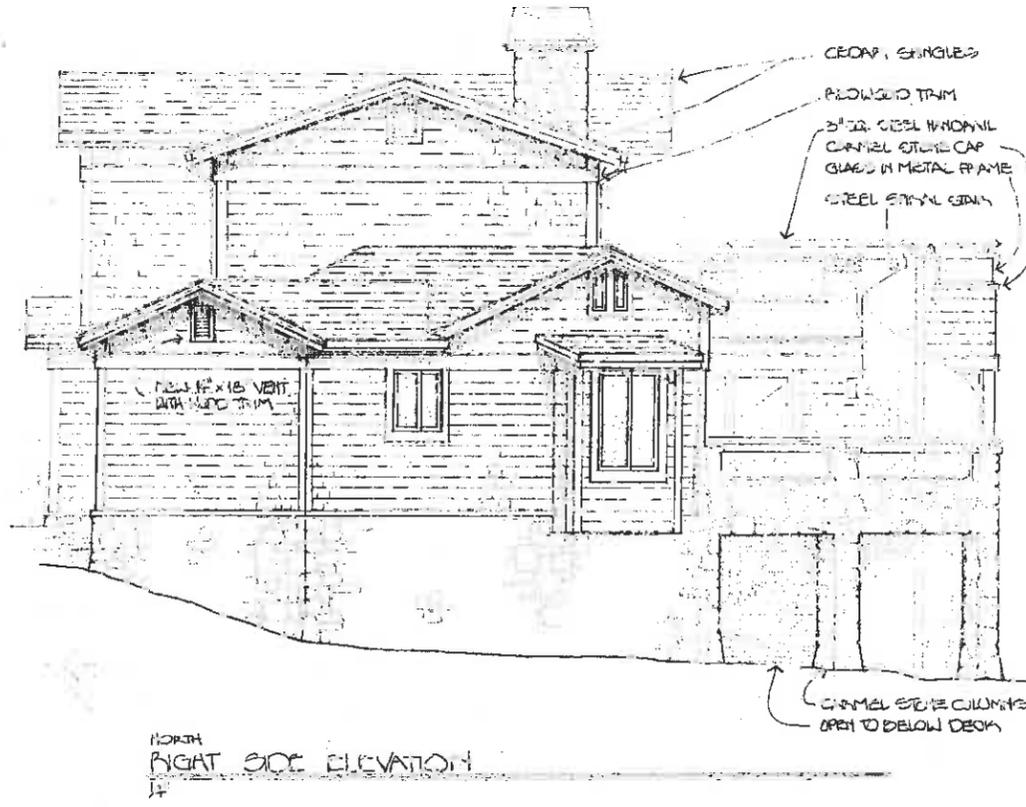
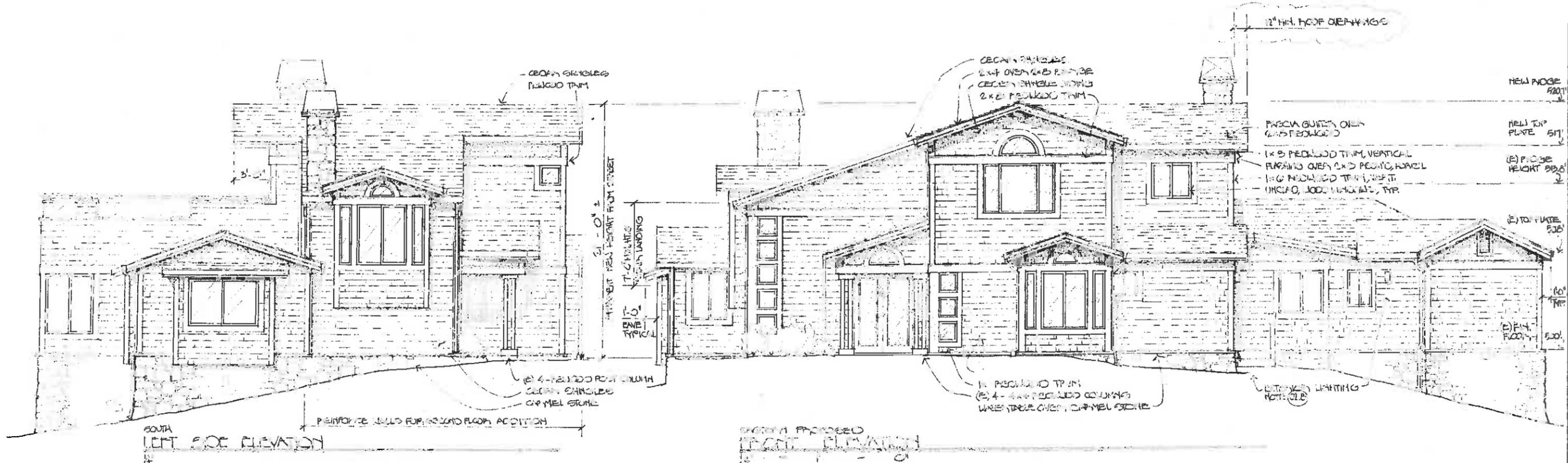
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HOME EXPANSION  
**EDWIN FLORIS**  
 CAMEL-BY-THE-SEA

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Job # 144  
 GREAT A OF 10





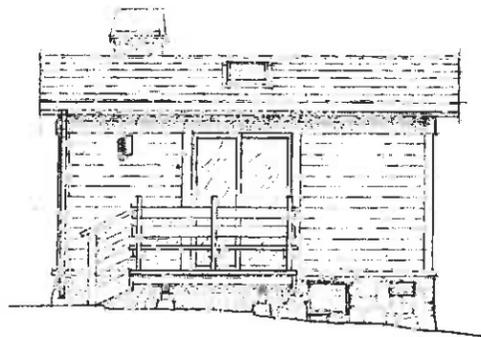
**EXTERIOR WALL LIGHTS**  
 1. PLAN SYMBOL NOTE (E) 1.8  
 PROGRESS LIGHTING MODEL PS44-10 WITH MAXIMUM 25 WALL MOUNTED LIGHT BULBS OR CFL EQ. MAXIMUM 375 WATTS OUTPUT; USE GFS BUB, PRODUCT CODE 96646 1/1 DESCRIPTION: 25 CAN/1/66/304 CAN BULB 1/1 MEDIUM BASE E26 (E26)

REVISION  
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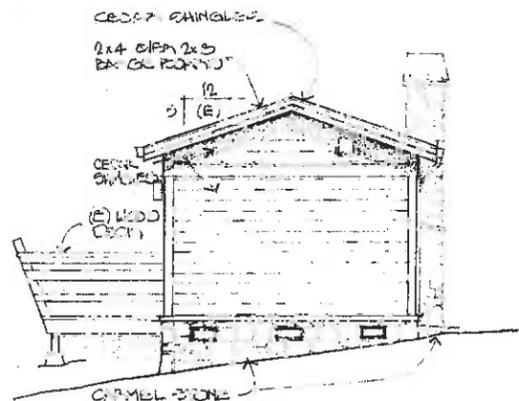
DESIGN, DRAFTING & PERMIT EXPEDITIONS  
 MARK EDWIN NORRIS  
 474 - 2114

HOME EXPRESSION  
 EDWIN PLUS 3  
 CAMEL - BY T.S. - 800

Job #14  
 SHEET 4 OF 6

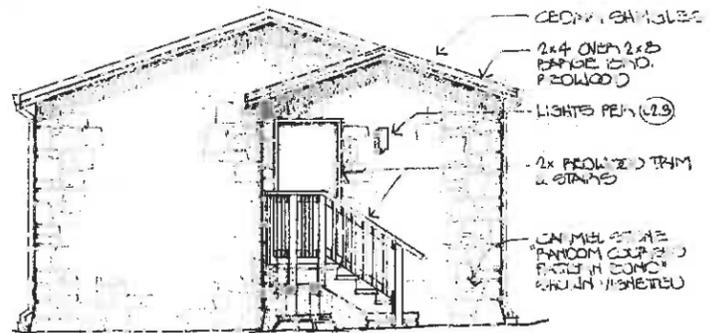


PROPOSED WESTERN  
FRONT ELEVATION  
1/4" = 1' - 0"



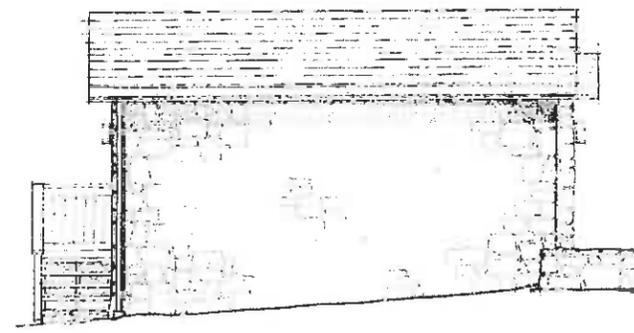
PROPOSED EASTERN  
LEFT SIDE ELEVATION  
1/4" = 1' - 0"

UNGLAZED WOOD LINCOLNS, TYPICAL  
PAINTED STEEL  
TERMINAL CAP

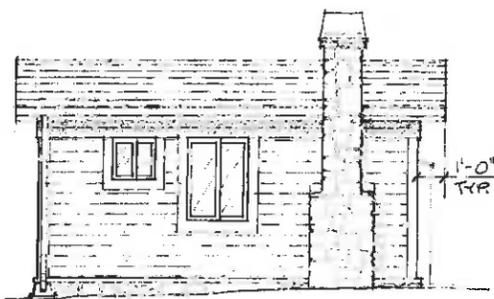


PROPOSED WESTERN  
FRONT ELEVATION  
1/4" = 1' - 0"

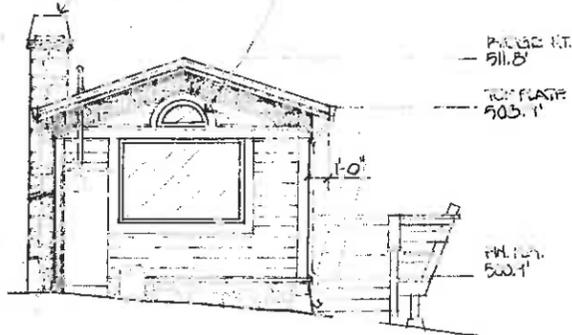
CECOM SHINGLES  
2x4 OVER 2x8  
BRIDGE AND  
PROWOOD  
LIGHTS PER (23)  
2x PROWOOD TRIM  
& STAIRS  
ON MILL OF THE  
PANOON CORP. 2x2  
PART IN CORNER  
SHOULD BE HIGHLIGHTED



PROPOSED EASTERN  
LEFT SIDE ELEVATION  
1/4" = 1' - 0"

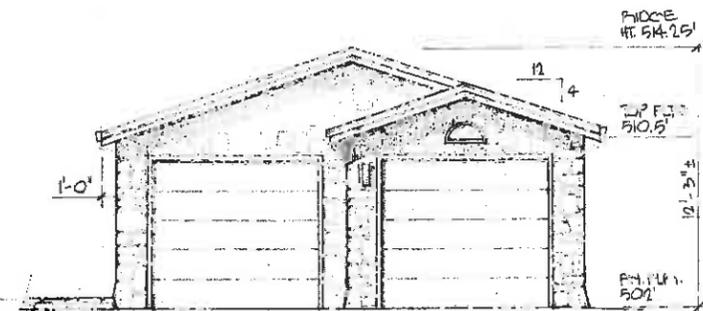


PROPOSED WESTERN  
FRONT ELEVATION  
1/4" = 1' - 0"



PROPOSED NORTHERN  
FRONT SIDE ELEV.  
1/4" = 1' - 0"

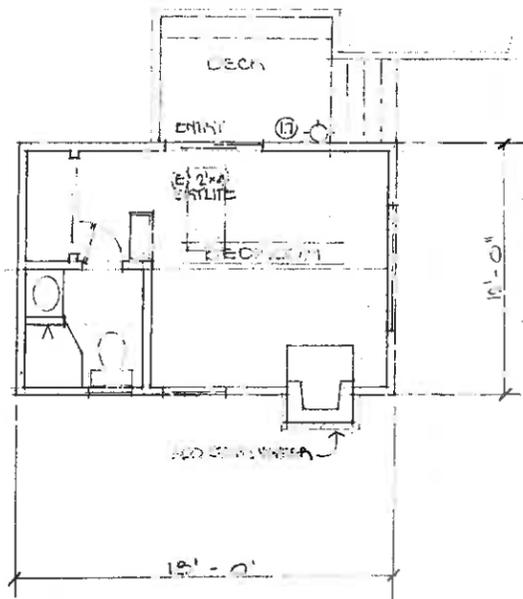
PAGE HT. 911.8'  
TOP FLATE 905.1'  
FIN. HT. 500.1'



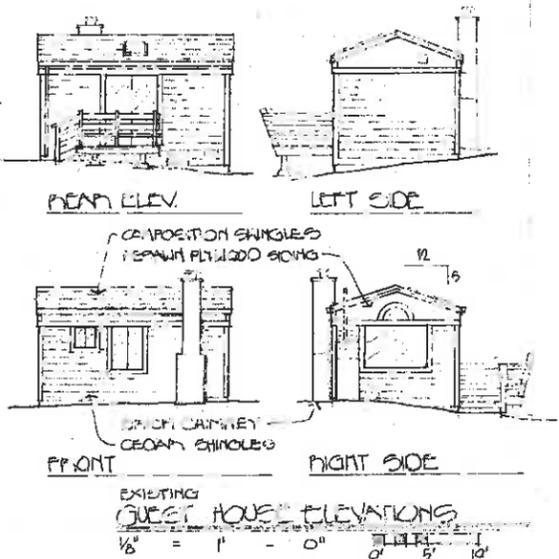
PROPOSED EASTERN  
FRONT ELEVATION  
1/4" = 1' - 0"



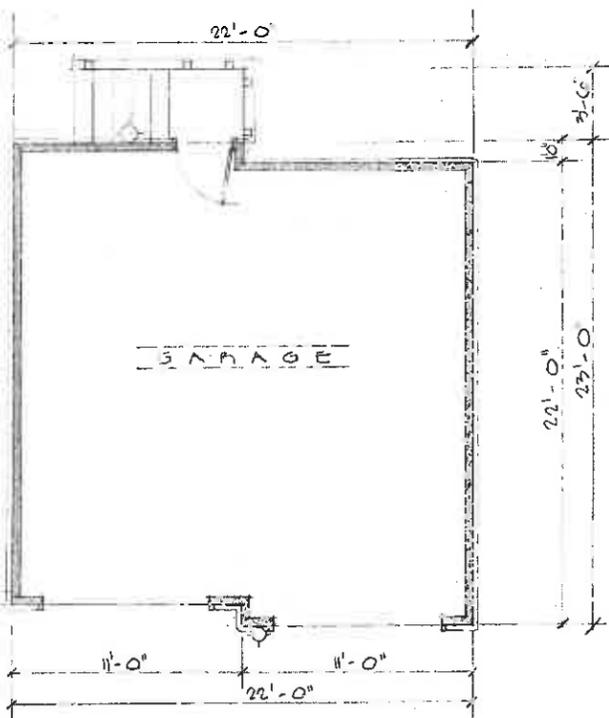
PROPOSED NORTHERN  
RIGHT SIDE ELEVATION  
1/4" = 1' - 0"



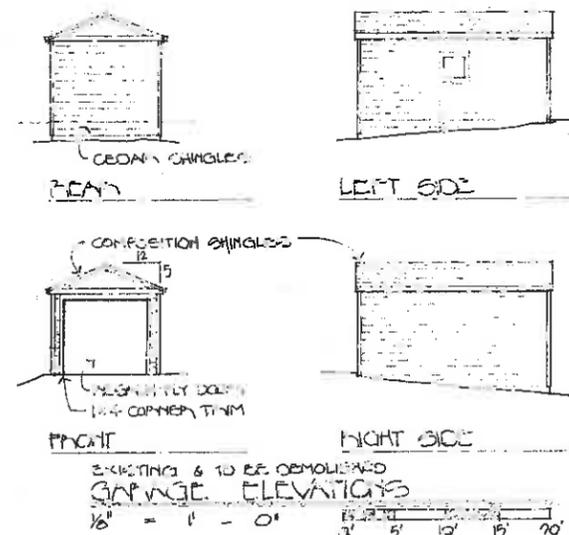
EXISTING  
GUEST HOUSE  
1/4" = 1' - 0"



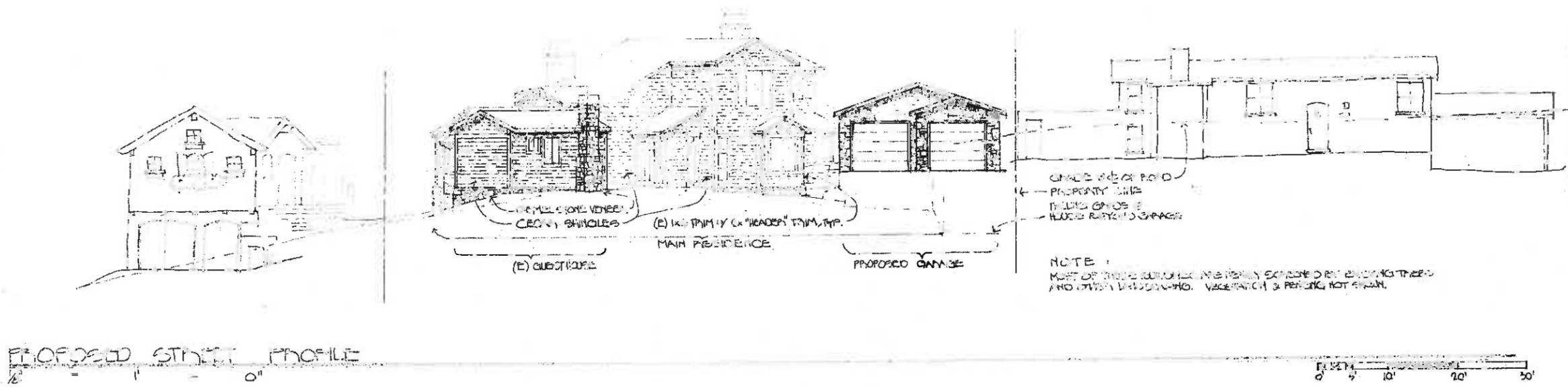
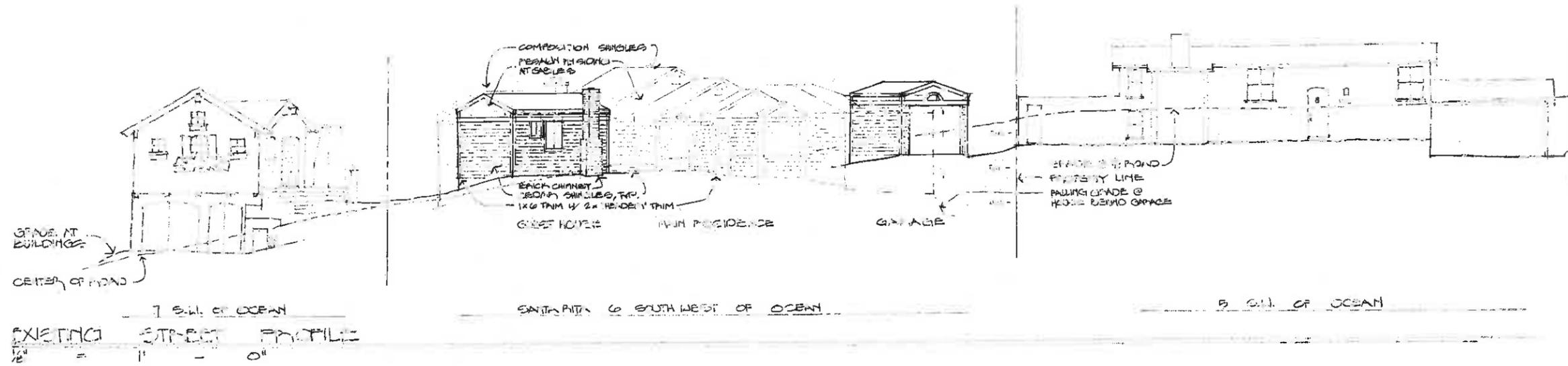
EXISTING  
GUEST HOUSE ELEVATIONS  
1/8" = 1' - 0"



PROPOSED  
GARAGE FLOOR PLAN  
1/4" = 1' - 0"



EXISTING & TO BE DEMOLISHED  
GARAGE ELEVATIONS  
1/8" = 1' - 0"





REVISION  
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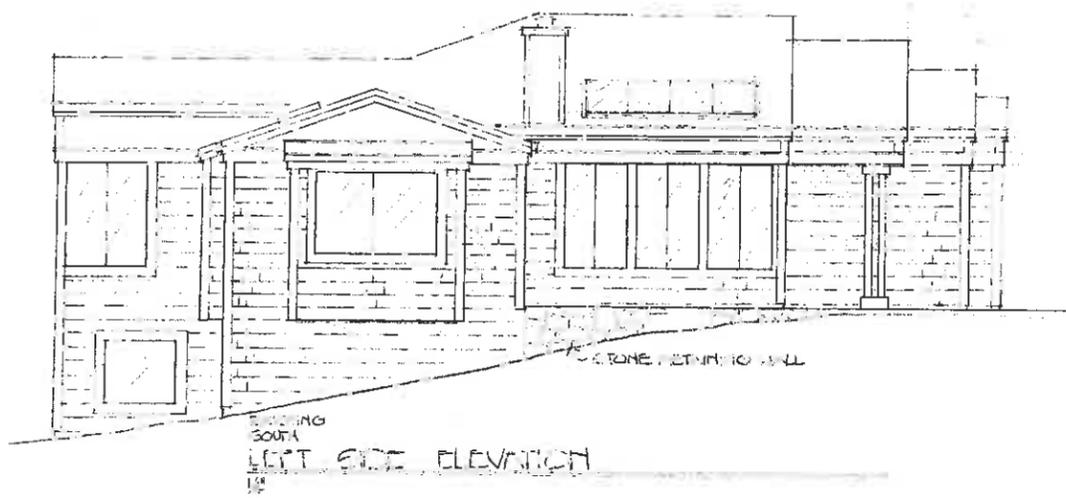
DESIGN, DRAFTING & PERMIT EXPEDITIONS  
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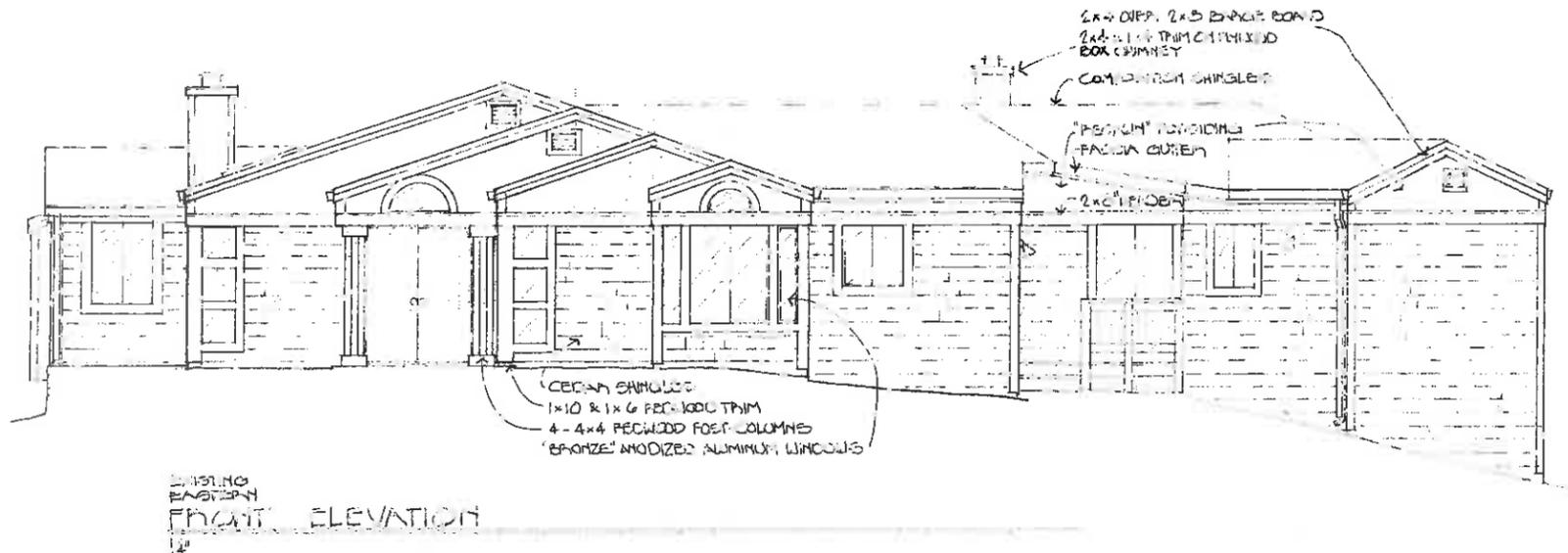
HOME EXPLORE!  
**EDWINI PLUS 2**  
 OFF-BL-EST-THE-CEN

Job 1144  
 SHEET 4 OF 10

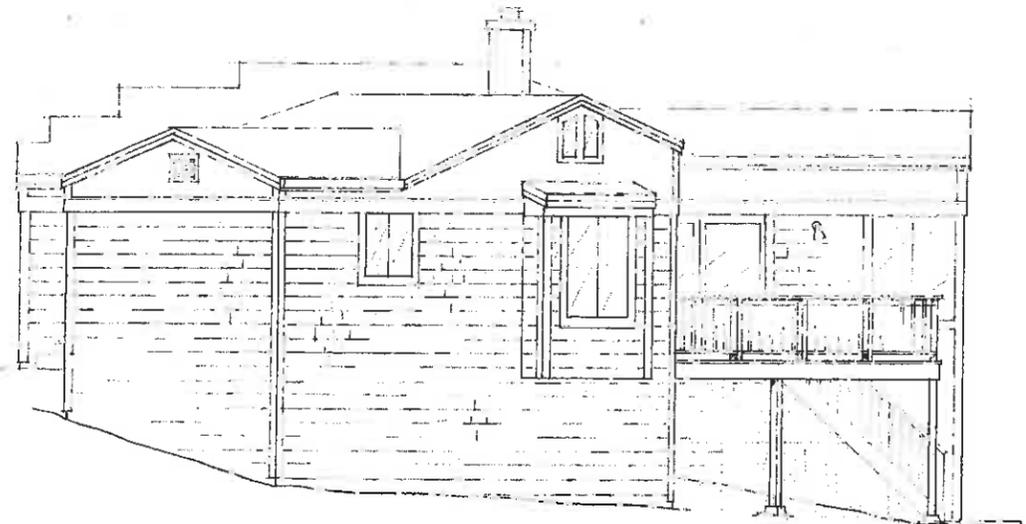




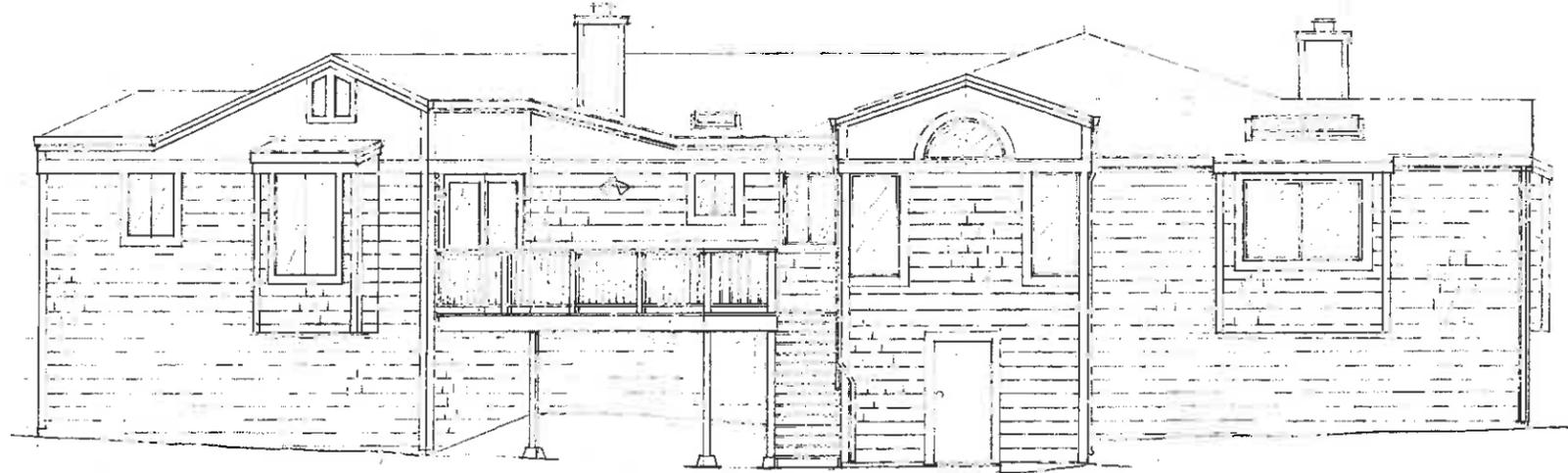
EXISTING SOUTH LEFT SIDE ELEVATION  
1/4"



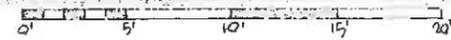
EXISTING EASTERN FRONT ELEVATION  
1/4"



EXISTING NORTH WESTERN RIGHT SIDE ELEVATION  
1/4"



EXISTING WESTERN REAR ELEVATION  
1/4" = 1' - 0"



REVISION:  
1  
2

DESIGN, DRAFTING & PERMIT EXPEDITIONS  
MARK EDWIN MORRIS  
424 - 2114

HOME EXPANSION  
FOR THE PLUS D  
OFFICE: 424-2114

JOB 414  
SHEET 17 OF 10





CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 10, 2015

**To:** Chair Goodhue and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director RM

**Submitted by:** Marc Wiener, Senior Planner

**Subject:** Consideration of a Final Design Study (DS 15-131) and associated Coastal Development Permit application for the demolition of an existing residence and construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District

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**Recommendation:**

Approve the Final Design Study (DS 15-131) subject to the attached findings and conditions.

**Application:** DS 15-131

**APN:** 010-154-015

**Block:** 131

**Lots:** 2 & 4

**Location:** SE Corner of Dolores and 11<sup>th</sup>

**Applicant:** Dana Annereau

**Property Owner:** Yeslek Dolores I, LLC

**Background and Project Description:**

The project site is an 8,000-square foot property (two lots) located at the southeast corner of Dolores Street and Eleventh Avenue. The property is developed with a 2,880-sq ft two-story residence and a 1,242-sq ft one-story, detached accessory structure that includes a garage and guesthouse. A Determination of Historic Ineligibility was issued by the City on April 23, 2014.

The applicant has submitted plans to demolish the existing residence and accessory structure in order to construct a new 3,200-square foot two-story residence, which includes a 2,208-square foot ground level, a 551-square foot second level, and a 441-square foot garage. Staff notes that the applicant is requesting to merge the two lots, which makes the property eligible for a floor area bonus of up to three percent of the site area, or 240 square feet.

Finish materials include wood-shingle siding, a wood-shake roof, a Carmel stone veneer around the foundation and on the chimney, and unclad wood windows and doors. Other project components include: 1) a rear patio with a 7-foot high outdoor gas fireplace, 2) a new 4-foot high grape-stake fence with spaced pickets along the north and west street-facing property lines and a 6-foot high solid wood fence along the rear and side property lines, 4) and a new 7-foot high entry arbor along the fence on the 11<sup>th</sup> Avenue frontage.

The Planning Commission reviewed this project on May 13, 2015, and accepted the design concept with recommendations/draft conditions. The applicant has complied with the recommendations made by the Planning Commission.

<b>PROJECT DATA FOR A 8,000 SQUARE FOOT SITE:</b>			
<b>Site Considerations</b>	<b>Allowed</b>	<b>Existing</b>	<b>Proposed</b>
Floor Area	2,960 sf (37%)*	4,130 sf (51%)	3,200 sf (40%)
Site Coverage	971 sf (12%)	2,880sf (57%)	904 sf (11.3%)
Trees	5 Upper /4 Lower	2/9	1/7
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18 ft/24 ft	Max. 1 <sup>st</sup> floor: 11 ft Max. 2 <sup>nd</sup> floor: 23 ft	Max. 1 <sup>st</sup> floor: 18 ft Max. 2 <sup>nd</sup> floor: 22.5 ft
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12 ft/18 ft	Max. 1 <sup>st</sup> floor: 9 ft Max. 2 <sup>nd</sup> floor: 18 ft	Max. 1 <sup>st</sup> floor: 12 ft Max. 2 <sup>nd</sup> floor: 18 ft
<b>Setbacks</b>	<b>Minimum Required</b>	<b>Existing</b>	<b>Proposed</b>
Front	15 ft	20 ft.	18 ft (residence)
Composite Side Yard	20 ft (25%)	13 ft.	Min: 17.5 ft (34.4%)
Minimum Side Yard	3 ft (Interior Side) 5 ft (Street Side)	Min. Interior: 13 ft Min. Street: 0 ft	Min. Interior: 18.5 ft Min. Street: 5 ft
Rear	3 ft (one story) 15 ft (two-story)	Min: 0 ft (one story) Min: 40 ft (two story)	Min: 3 ft (one story) Min: 21 ft (two story)
*up to 3,200 square feet permitted with lot merger bonus			

**Staff analysis:**

**Previous Hearing:** The following is a list of recommendations made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The applicant shall revise the design to eliminate the stucco and use wood siding.*

**Analysis:** The applicant has revised the finish materials and is now proposing to use wood-shingle siding on the main residence. The lower level would be clad with a Carmel stone veneer that is primarily visible on the rear and side elevations. In staff's opinion, the use of wood-shingle siding is a substantial improvement over stucco and will reduce the appearance of building mass, which was one of the Commission's primary concerns. Staff notes that the applicant is proposing to use Carmel stone around the entire garage and wood-shingle siding on the guesthouse. With regard to other finish materials, the applicant is proposing wood-shingle roofing and unclad wood doors and windows.

2. *The applicant shall add roof eaves to the residence.*

**Analysis:** The Planning Commission noted that the front of the residence had a flat vertical appearance and recommended that the applicant add roof eaves to provide horizontal relief. The applicant has added 1-foot eaves to the north and south ends of the main residence; however, the front elevation still does not include an eave.

3. *The applicant shall submit a landscape plan for Final Planning Commission review that includes a proposal to remove ivy from the site.*

**Analysis:** The applicant has included a landscape plan on Sheet L1 of the plan set that includes a note that all ivy will be removed from the site and City ROW. In addition, the landscape plan includes a proposal for new drought tolerant vegetation on the property and in the City ROW.

**Other Project Components:**

**Exterior Lighting:** The applicant is proposing two types of exterior wall-mounted lighting, as shown on Sheet A3 of the plan set. On the north and west street-facing elevations, the applicant is proposing to use a recessed fixture with an output of 3 watts and 104 lumens. A total of six of these fixtures are proposed, including two above the main entry door, two above the garage door,

and two above the door on the west elevation. Staff supports the proposed number and location of the recesses fixtures, as the output would be low and the fixtures would not be visible.

The applicant is proposing a separate type of light fixture on the walls surrounding the courtyard. The proposed fixture has an output of 5 watts and 205 lumens. A separate specification sheet for these light fixtures is included as Attachment D. A total of five of these fixtures are proposed, including four on the walls surrounding the interior courtyard and one above the south elevation second-story balcony that faces the courtyard. Staff supports the design and location of the fixtures, as they are well below the maximum output of 25 watts and 375 lumens, and are contained within the courtyard area and not visible to the public way. Staff notes that the location of all wall-mounted fixtures is shown on the elevation drawings on sheets of A4 and A5 of the plan set. The applicant is not proposing any path lighting.

***Environmental Review:*** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15302 (Class 2) – Replacement of Reconstruction. The project includes the demolition of an existing single-family residence and separate guest house, and the construction of a replacement single-family residence in a residential zone, and therefore qualifies for a Class 2 exemption. Moreover, there would be a net floor area reduction of 970 sq ft on the site and a reduction in overall intensity of use with the elimination of the guest house. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Lighting Specifications
- Attachment E – Project Plans

**Attachment A – Site Photographs**



Project Site – Facing Southeast on 11<sup>th</sup> Ave



Project Site – Facing Northeast on Dolores Street

## Attachment B – Findings for Approval

DS 15-131 (Yeslek Dolores I, LLC)  
 June 10, 2015  
 Concept Findings  
 Page 1

<b><u>FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)</u></b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):**

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

## Attachment C – Conditions of Approval

DS 15-131 (Yeslek Dolores I, LLC)

June 10, 2015

Conditions of Approval

Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	<b>Authorization:</b> This approval of Design Study (DS 15-131) authorizes the demolition of an existing 2,880-square foot residence and 1,242-square foot accessory structure, and 2) the construction of a new 3,200-square foot two-story residence, which includes a 2,208-square foot ground level, a 551-square foot second level, and a 441-square foot garage. Finish materials include wood-shingle siding, a wood-shake roof, a Carmel stone veneer around the foundation and on the chimney, and unclad wood windows and doors. Other project components include: 1) a rear patio with a 7-foot high outdoor gas fireplace, 2) a new 4-foot high grape-stake fence with spaced pickets along the north and west street-facing property lines and a 6-foot high solid wood fence along the rear and side property lines, 4) and a new 7-foot high entry arbor along the fence on the 11 <sup>th</sup> Avenue frontage.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓

5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 8,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern	✓

	shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓

19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	N/A
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
<b>Special Condition</b>		
22.	The applicant shall file a lot merger with the City and Monterey County prior to the issuance of the building permit.	✓

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

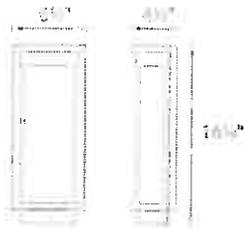
***Once signed, please return to the Community Planning and Building Department.***

# VITRINE – model: WS-W32512/W32516

## LED Outdoor



WS-W32512



WS-W32516

Fixture Type:

Catalog Number:

Project:

Location:

RECEIVED

MAY 20 2015

City of Carmel-by-the-Sea  
Planning & Building Dept.

### PRODUCT DESCRIPTION

Raindrops falling gently on the window pane. This stunning effect is the result of concealed LEDs illuminating from above while casting a warm beam through clear hammered seeded, mouth blown optic glass. The durable body and minimalist design complement a multiplicity of architectural styles. Perfect for indoor and outdoor settings in luxury homes and resorts.

### FEATURES

- Wet location listed, IP65 rated
- Clear hammered seeded mouth blown glass
- Dimming with electronic low voltage (ELV) dimmer
- No transformer or driver required
- 80,000 hour rated life
- Color Temp: 3000K
- CRI: 90

### SPECIFICATIONS

**Construction:** Aluminum with clear seeded glass

**Light Source:** High output LED

**Dimming:** Dims to 10% with an electronic low voltage (ELV) dimmer

**Mounting:** Mounts directly to junction box

**Finish:** Bronze (BZ), Graphite (GH)

**Standards:** ETL & cETL listed.

### ORDER NUMBER

Model	Length	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W32512	12 1/2"	10W	120V	100	100	BZ
WS-W32516	14 1/2"	10W	120V	100	100	GH

Example: WS-W32516-BZ

### REPLACEMENT GLASS

Model	Fixture
RPL-GLA-32512	WS-W32512
RPL-GLA-32516	WS-W32516

### Back Plate Dimensions:

Model	Dimension
WS-W32512	10 3/4" L x 6 1/2" W x 5/8" H
WS-W32516	14 3/4" L x 6 1/2" W x 5/8" H

modernforms.com  
Phone (800) 526.2588  
Fax (800) 526.2585

Headquarters/Eastern Distribution Center  
44 Harbor Park Drive  
Port Washington, NY 11050

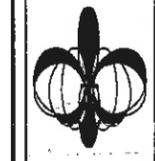
Central Distribution Center  
1600 Distribution Ct  
Lithia Springs, GA 30122

Western Distribution Center  
1750 Archibald Avenue  
Ontario, CA 91760

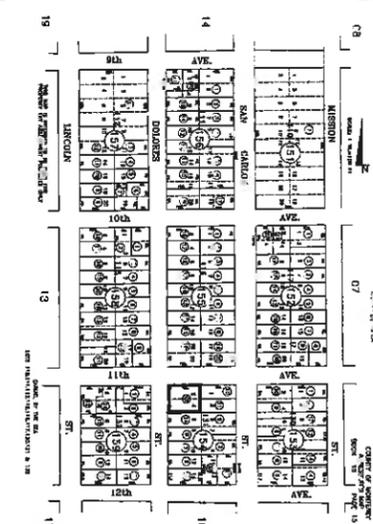
REVISIONS	BY
4-10-15	D
4-22-15	D
5-20-15	D

**DANA ANNENEAU**  
 Building & Design  
 721 Spruce St., Pacific Grove, CA 93950 375-2353

**WALTER RESIDENCE**  
 SITE CORNER OF DOLORES ST. & 11<sup>TH</sup> AVE.  
 BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA  
 APN: 010-154-015-000



Date	2-4-15
Scale	
Drawn	
Job	5-2015
Sheet	A1
Of 10	Sheets

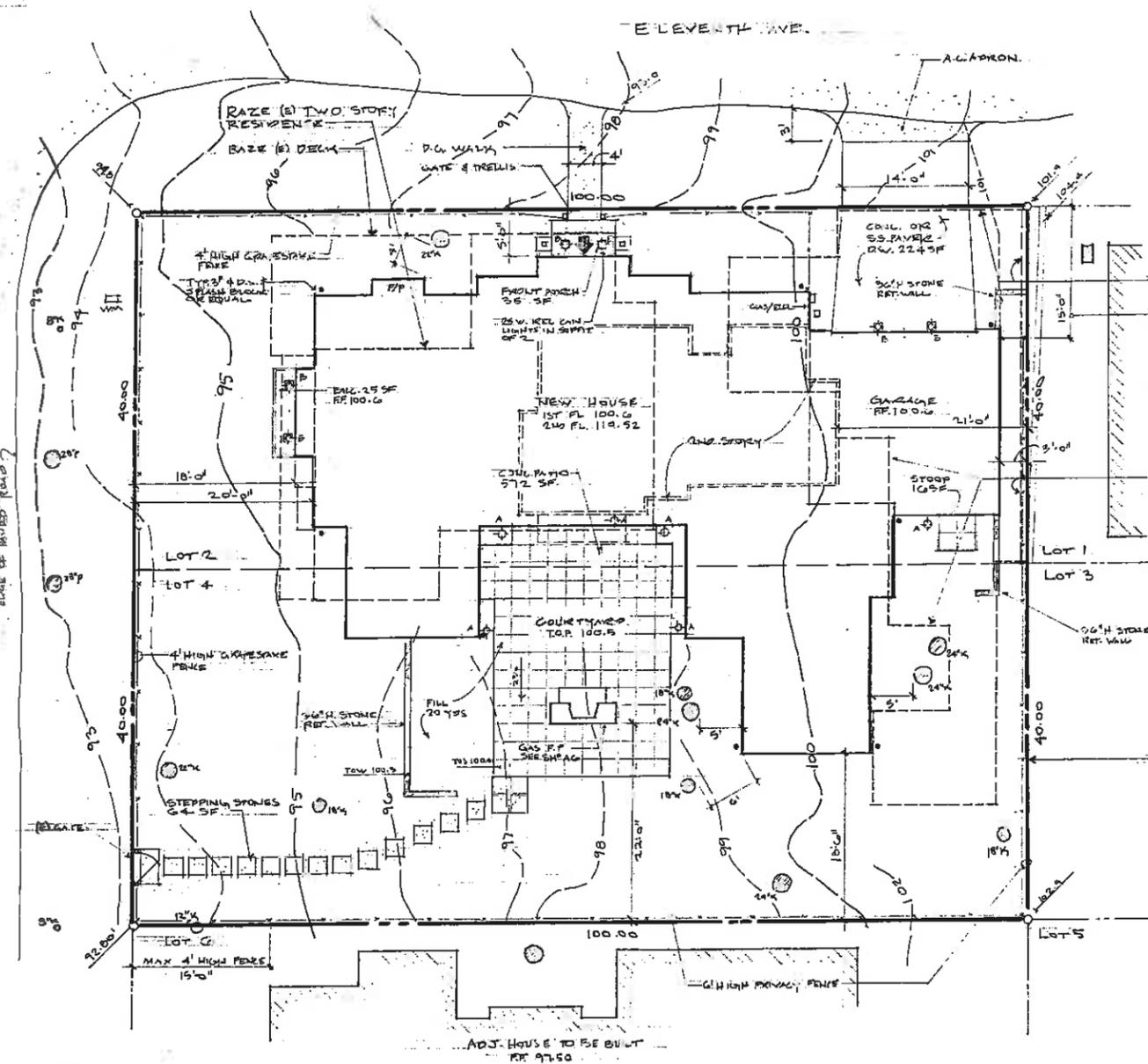


**YSELEK DOLORES 1, LLC**  
 c/o The Walter Group, Inc.  
 140 Lakeside Avenue, Suite 230  
 Seattle, WA 98122

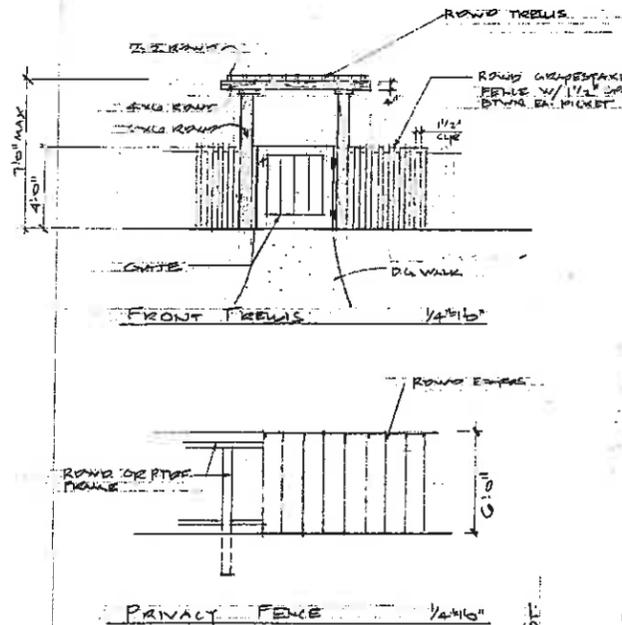
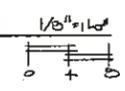
**RECEIVED**  
 MAY 20 2015  
 City of Carmel-by-the-Sea  
 Planning & Building Dept.

**PLAN INDEX**

- A1 SITE PLAN
- 0 PRELIMINARY SITE ASSESSMENT
- A2 FIRST STORY FLOOR PLAN
- A3 SECOND STORY FLOOR PLAN
- A4 NORTH & WEST EXTERIOR ELEVATIONS
- A5 SOUTH & EAST EXTERIOR ELEVATIONS
- A6 ROOF PLAN
- A7 FLOOR LEVEL MAP
- A8 EXIST. SITE PLAN WITH TAKE DOWN & DEMOLITION
- A9 PROPOSED STREET ELEVATIONS
- A10 EXISTING STREET ELEVATIONS



**SITE PLAN**



**FLOOR AREA**

PROPOSED FIRST STORY	2700 SF
PROPOSED SECOND STORY	551
PROPOSED GARAGE	441
<b>TOTAL</b>	<b>3700 SF</b>

**SITE COVERAGE (MAX 904 SF)**

DESCRIPTION	PERM	IMPERM
SS. PAVED DRV.	192	
CONC. PAVT. AREA	35	
24" H. STEPPING STONES	64	25
CONC. PATIO		571
STOOP		16
<b>TOTAL</b>	<b>286</b>	<b>646</b>
	<b>932 SF</b>	

- NOTES**
1. SEE V. UTRENE WS 252512, 20E W/ 15' W. S. G. (SHPAS)
  2. SEE SH 400 FOR EXIST. SITE & TAKE DOWN PLAN
  3. EXIST. 20' YRS. FILL 20' YRS.
  4. ALLOWED FLOOR AREA (8000 SF LOT) 2960 SF
  5. 11.10.040.02A INCREASE 33% 2960 SF MAX
  6. ALLOWED SITE COVERAGE 27% 704 SF
  7. 11.10.040.02C INCREASE 1.52 704 SF
  8. 904 SF MAX
  9. 95' EAST CONTOURS
  10. 95' PROPOSED CONTOURS.

**LEGEND:**

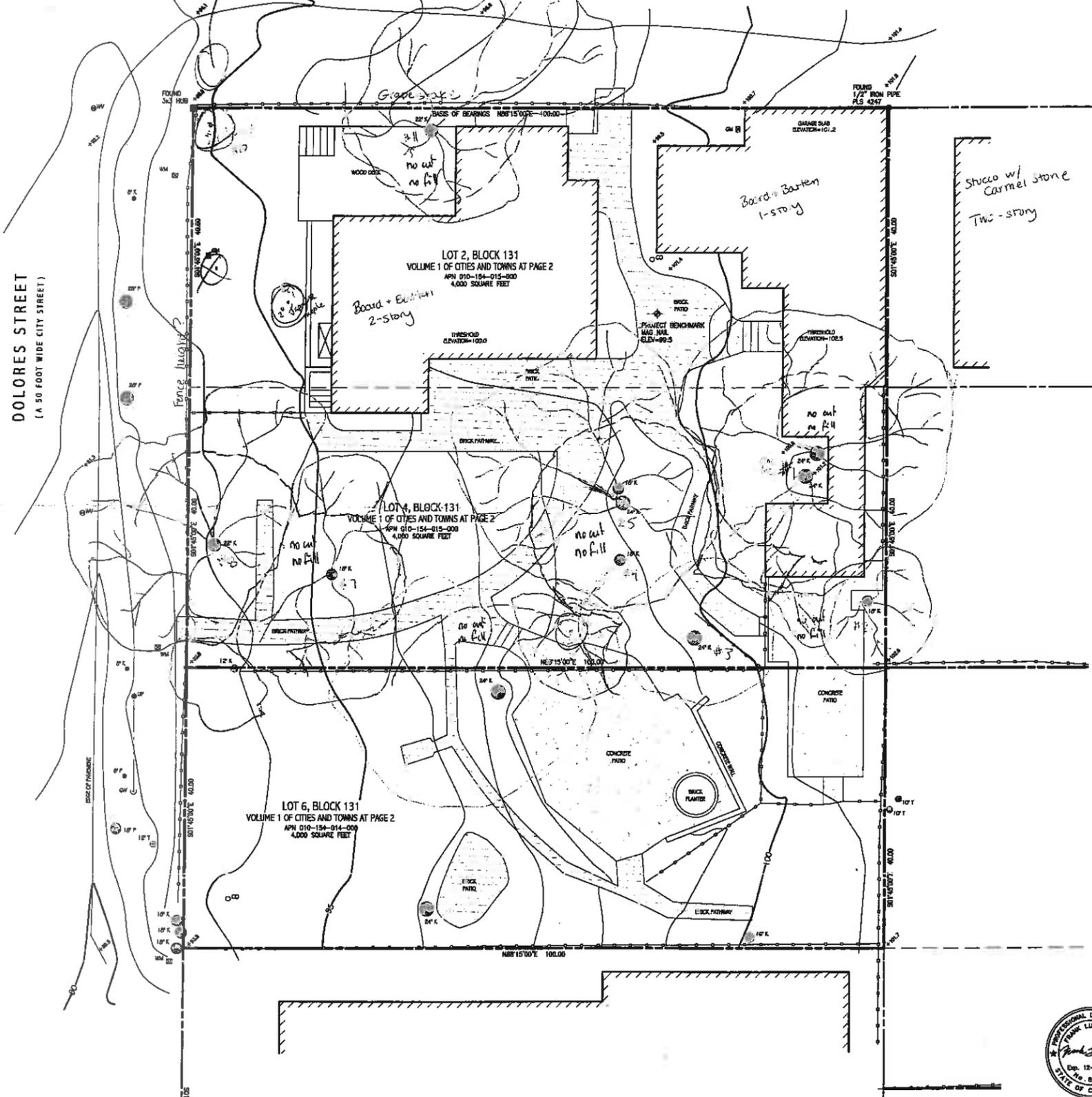
- RECORD BOUNDARY
- - - RECORD RIGHT OF WAY
- - - RECORD LOT LINE
- ⊕ PROJECT BENCHMARK
- 50 — CONTOUR (MAJOR)
- CONTOUR (MINOR)
- EDGE OF PAVEMENT
- DRIVEWAY
- EDGE OF DRIVEWAY
- FLOWLINE
- BUILDING OUTLINE
- ⊗ CHIMNEY
- THRESHOLD ELEVATION
- DECK
- CONC PAD
- STEP
- PLANTER
- WATER LINE
- ⊕ WV WATER VALVE
- ⊕ WM WATER METER
- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN-OUT
- STORM DRAIN
- STORM DRAIN MANHOLE
- AREA DRAIN
- STORM DRAIN CATCH BASIN
- ELECTRIC LINE
- UTILITY POLE
- GUY WIRE
- ELECTRIC VAULT
- UTILITY VAULT
- STREET LIGHT
- STREET LIGHT
- GAS METER
- WOOD FENCE
- WIRE FENCE
- CHAIN LINK FENCE
- STREET SIGN
- SIGN POST
- MAIL BOX
- BOLLARD
- BLOCK WALL
- BLOCK RETAINING WALL
- ROCK RETAINING WALL
- STACKED BLOCK WALL
- CARMEL STONE
- ⊕ T TREE WITH SIZE AND TYPE
- A ACACIA
- C CYPRESS
- K OAK
- P PINE
- R REDWOOD
- T TREE
- SPOT ELEVATION

*Double story horizontal siding*

*Single story horizontal wood siding*

**DOLORES STREET**  
(A 50 FOOT WIDE CITY STREET)

**ELEVENTH AVENUE**  
(A 50 FOOT WIDE CITY STREET)



**RECEIVED**  
FEB 11 2015  
City of Carmel-by-the-Sea  
Planning & Building Dept.

N  
SCALE 1"=8'

0 8 16 24 32

- RECORD DESCRIPTION:**  
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CARMEL-BY-THE-SEA, COUNTY OF MONTEREY, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
Lots 2, 4 and 6, in Block 131, as said Lots and Block are shown on that certain Map entitled, "Carmel-by-the-Sea", filed March 7, 1902 in Volume 1, Maps of "Cities and Towns", of Page 2, Monterey County Records.  
APN: 010-154-014-010-154-015
- BASIS OF BEARINGS:**  
THE BEARINGS OF NORTH 89° 15' 00" EAST AS SHOWN ON THE MAP FILED IN VOLUME 28, PAGE 78, OF SURVEYS, AS FOUND MONUMENTED AND SHOWN HEREON IS THE BASIS OF BEARINGS FOR THIS SURVEY.
- BENCHMARK:**  
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 99.5 HAS BEEN ASSIGNED TO A MAG NAIL FOUND IN THE BRICK PATIO OF LOT 2 AS SHOWN HEREON.
- NOTES:**
1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORDED DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS. (SEE VOLUME 28, PAGE 78 OF SURVEYS AND VOLUME 1, PAGE 2 OF CITIES & TOWNS FOR RECORDED DATA.)
  2. ENCUMBRANCES OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
  3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
  4. CONTOUR INTERVAL = ONE FOOT.
  5. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND WALLS ARE SHOWN HEREON APPROXIMATE ONLY DUE TO IRREGULAR SHAPES OF IRMA, BRICK FACING, POP-OUTS, BULL-NOSE CORNERS, ETC.
  6. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE ENDS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
  7. MUCH OF THE TOPOGRAPHIC INFORMATION SHOWN ON THIS MAP WAS PREPARED BY OTHERS. A BEST EFFORT ATTEMPT WAS MADE TO CORRECT THE WORK PERFORMED BY THE VARIOUS SOURCES. ALL WORK PERFORMED AND PREPARED BY OTHERS SHOULD BE CONSIDERED SUBJECT TO VERIFICATION.
  8. THIS MAP CORRECTLY REPRESENTS AN INTERPRETATION OF A SURVEY PREPARED BY OTHERS, COMBINED WITH A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN MAY OF 2014.

**TOPOGRAPHIC SITE SURVEY**

OF  
**Lots 2, 4 and 6 in Block 131**  
as shown on the map entitled  
**"Carmel-by-the-Sea"**  
filed March 7, 1902

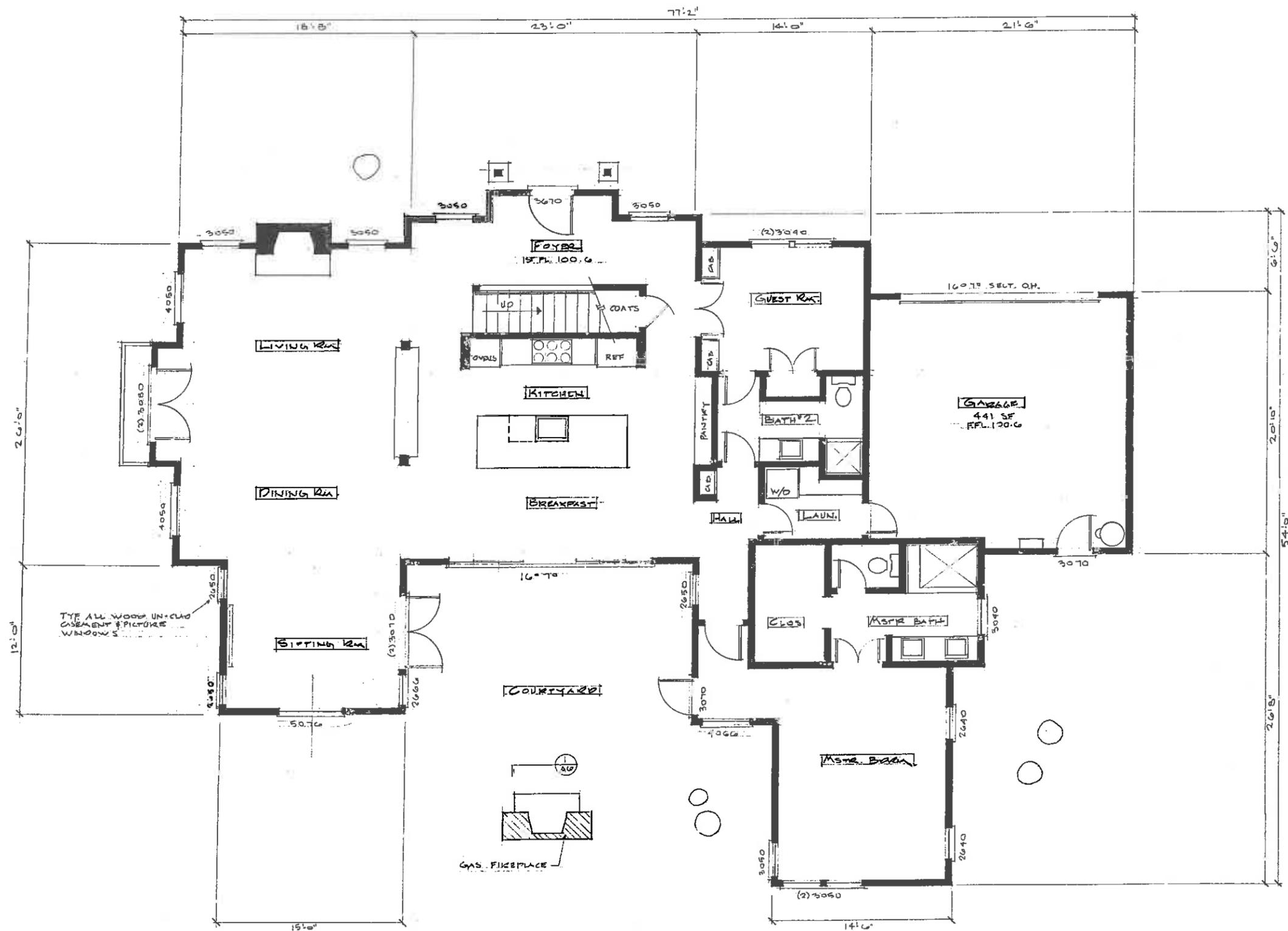
In the Office of the County Recorder of Monterey County, California  
PER  
VOLUME 1 OF CITIES AND TOWNS AT PAGE 2  
PREPARED FOR  
**Joe Walter**

BY  
**LUCIDO SURVEYORS**  
Boundary and Construction Surveys · Topographic and Planimetric Mapping  
ALTA Surveys and GIS Database Management · Land Planning and Consulting

HOME OFFICE: 2 SAUCITO AVENUE, DEL REY OAKS, CALIFORNIA 93940  
FIELD OFFICE: 245 FOAM STREET, SUITE 210, MONTEREY, CALIFORNIA 93940

SCALE: 1"=8' PROJECT No. 1288 MAY 2014  
CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA





FIRST STORY 2208 SF

REVISIONS	BY
4-10-15	0
4-22-15	0
5-10-15	0

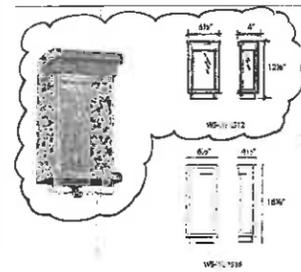
**DANA ANNENEAU**  
 Building & Design  
 721 Spruce St., Pacific Grove, CA 93950 376-2353

WALTER RESIDENCE  
 S/E CORNER DOLORES ST. & 11<sup>TH</sup> AVE.  
 BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA  
 APN: 010-154-015-000



Date	5-19-15
Scale	
Drawn	
Job	05-2015
Sheet	A2
Of	45

**VITRINE** - model: WS-W32512/W32516  
LED Outdoor



Fixture Type:  A  
Catalog Number:   
Project:   
Location:

**PRODUCT DESCRIPTION**  
Raindrops falling gently on the window pane. This shimmering effect is the result of concealed LEDs illuminating from above while casting a warm beam through clear hand-blown seeded, mouth-blown optic glass. The durable body and minimalist design complements a multiplicity of architectural styles. Perfect for indoor and outdoor settings in luxury homes and resorts.

**SPECIFICATIONS**  
Construction: Aluminum with clear seeded glass  
Light Source: High output LED  
Dimming: Dimmable to 10% with an electronic low voltage (ELV) dimmer  
Mounting: Mounts directly to junction box  
Finish: Bronze (BZ), Graphite (GH)  
Standards: ETL & cETL listed

- FEATURES**
- Wet Location Rated, IP65 rated
  - Clear hand-blown seeded mouth-blown glass
  - Dimming with electronic low voltage (ELV) dimmer
  - No transformer or driver required
  - 50,000 hour rated life
  - Color Temp: 2700K
  - CRI: 90

**ORDER NUMBER**

Model	Length	Height	Voltage	LED Lumens	Drivers	Finish
WS-W32512	36"	12 1/2"	120V	2700	2	BZ
WS-W32516	36"	15 1/2"	120V	2700	2	BZ

**REPLACEMENT GLASS**

Model	Finish
RPL-GLA-32512	WS-W32512
RPL-GLA-32516	WS-W32516

**Back Plate Dimensions**

Model	Dimension
WS-W32512	10 1/2" x 6 1/2" x 1 1/2"
WS-W32516	14 1/2" x 6 1/2" x 1 1/2"



**Forever Bright**  
**SPECIFICATION FEATURES**

**Finish:** Our naturally etched finishes will withstand the test of time. All finishes are individually treated featuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind."

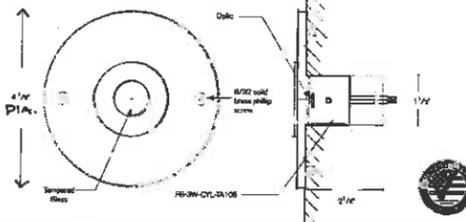
**Electrical:** Available in 0-15V or 120V

**Labels:** ETL Standard Wet Label C-ETL

**The Venetian GDG Series**

**DESCRIPTION**

Model#: SPJ-GDG-30W-5  
Engine: F33-3W-CYL-3A105 (standard)  
Lumens: 105  
Optic: Wide Angle Flood  
Color Temp: 2700K  
Electrical: 0-15V, 120V  
Mounting: Recessed  
LED: Nichia

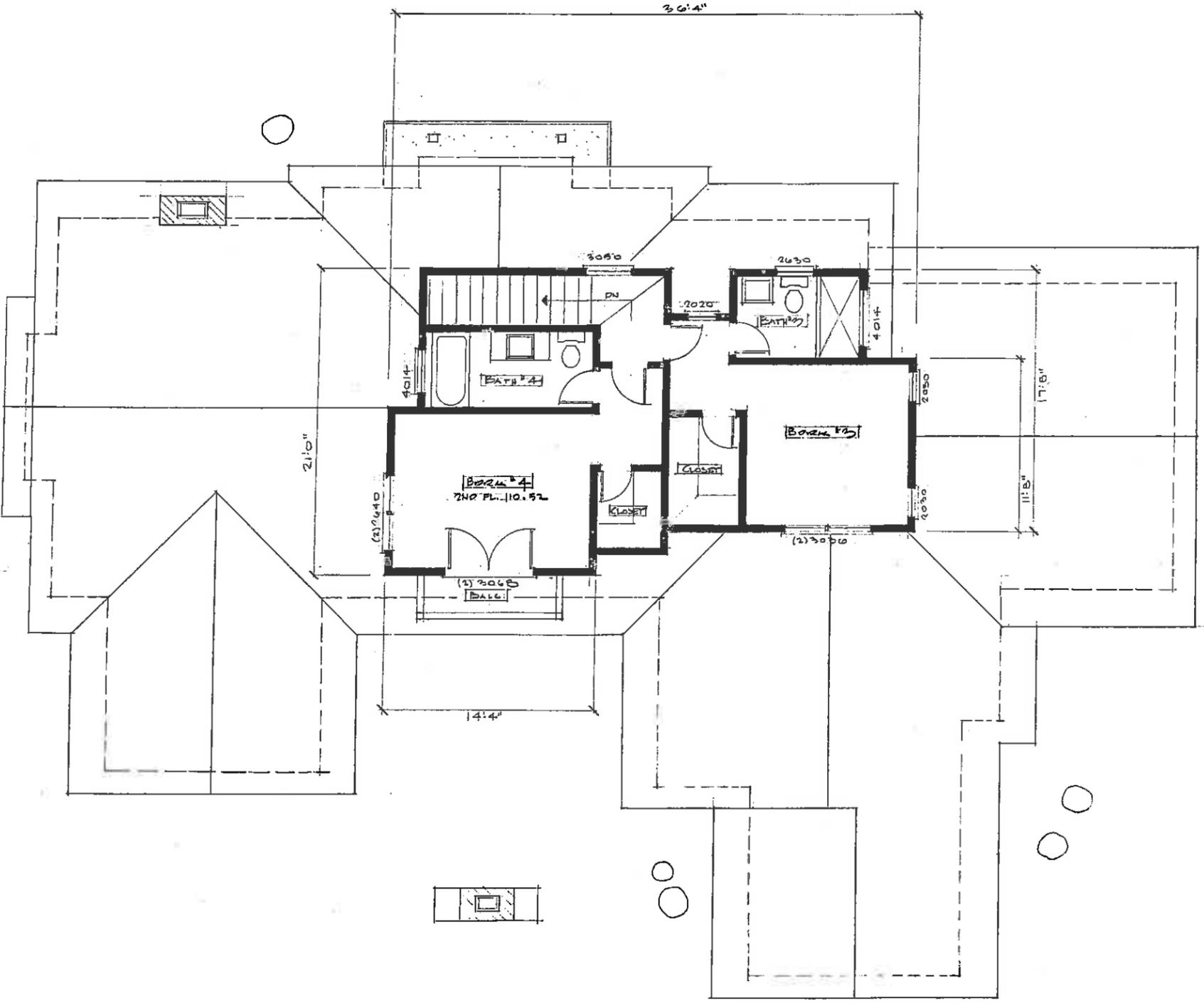


**ORDERING INFORMATION**

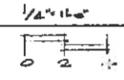
Model#	Finish	Wattage	Optics	Lumens	Color Temp.	Electrical
SPJ-GDG-30W-5	MBR	3W	WIDE ANGLE FLOOD	105	2700K	0-15V

F = Frosted    MB = Matte Black    SW = Wide Angle Flood  
 B = Bronze    S = Seeded    WP = Wide Angle Flood  
 AS = Antique Brass    I = Ivory    SW = Wide Angle Flood  
 BL = Black (Back)    P27 = P27-PAK    SW = Wide Angle Flood  
 SL = Silver (Back)    P30 = P30-PAK    SW = Wide Angle Flood

WWW.SPJLIGHTING.COM



SECOND STORY 551 SF

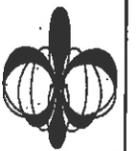


**REVISIONS**

REVISIONS	BY
3-19-15	D
4-10-15	D
4-22-15	D
5-20-15	D

**DANA ANNENEAU**  
Building & Design  
721 Spruce St., Pacific Grove, CA 93950 376-2983

WALTER RESIDENCE  
S/E CORNER OF DOLORES ST. & 11<sup>TH</sup> AVE.  
BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA  
APN: 010-154-015-000



Date: 2-3-15  
Scale:  
Drawn:  
Job: 05-2015  
Sheet: A3  
Of: 46

REVISIONS	BY
4-22-15	D
5-7-15	D

**DANA ANNEREAU**  
 Building & Design

721 Spruce St., Pacific Grove, CA 93950 376-2383

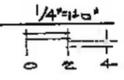
WALTER RESIDENCE  
 S/E CORNER OF DOLORES ST. & 11<sup>TH</sup> AVE.  
 BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA  
 APN: 010-154-015-000



Date 4-10-15  
 Scale  
 Drawn  
 Job 05-2015  
 Sheet  
 Or



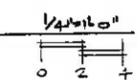
WEST ELEVATION



**FINISH NOTES**  
 SIDING: CEDAR SHINGLES  
 WINDOWS: WOOD UNICAD CASEMENT  
 TRIM: 2" ROUND BIRCH MOLD  
 FASCIA: 2x8 ROUNDS  
 GUARDRAILS: PAINTED, ATL. OR WOOD  
 STONE: COURSED AND ROUGHLY SQUARED

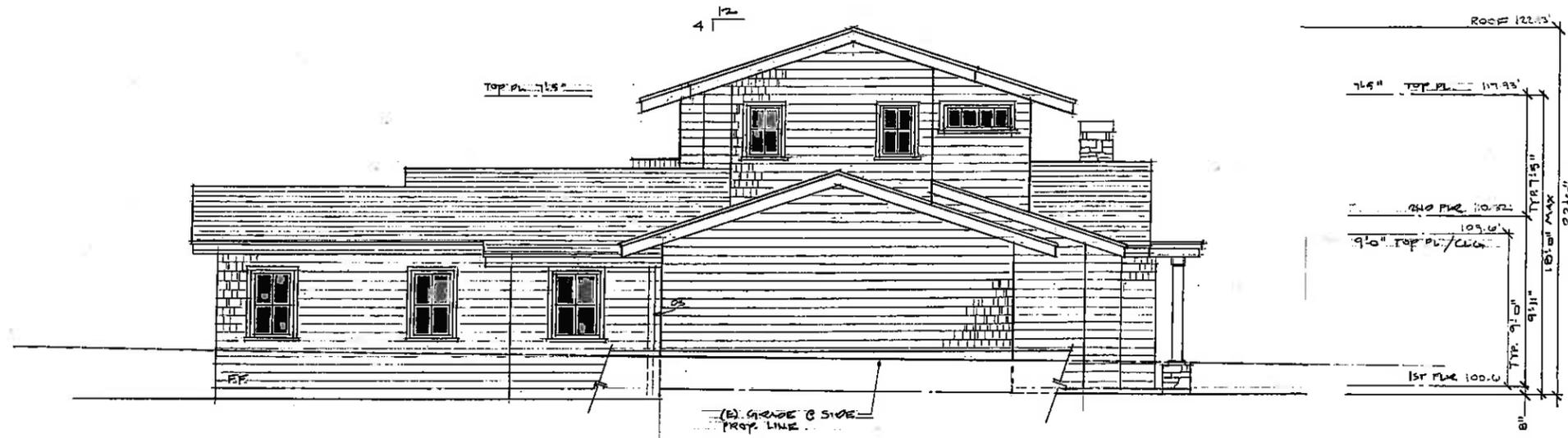


NORTH ELEVATION

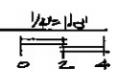


REVISIONS	BY
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5-20-15	0

**DANA ANNÉREAU**  
 Building & Design  
 721 Spruce St., Pacific Grove, CA 93950 375-2353



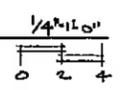
EAST ELEVATION



**FINISH NOTES**  
 SIDING: CEDAR SHINGLES  
 WINDOWS: WOOD UN-CLAD CASSETT  
 TRIM: 2" REDWOOD BRICK MOLD  
 FASCIA: 2x8 REDWOOD  
 GUARDRAILS: PAINTED MET. OR WOOD  
 STONES: COURSED AND ROUGHLY SQUARED



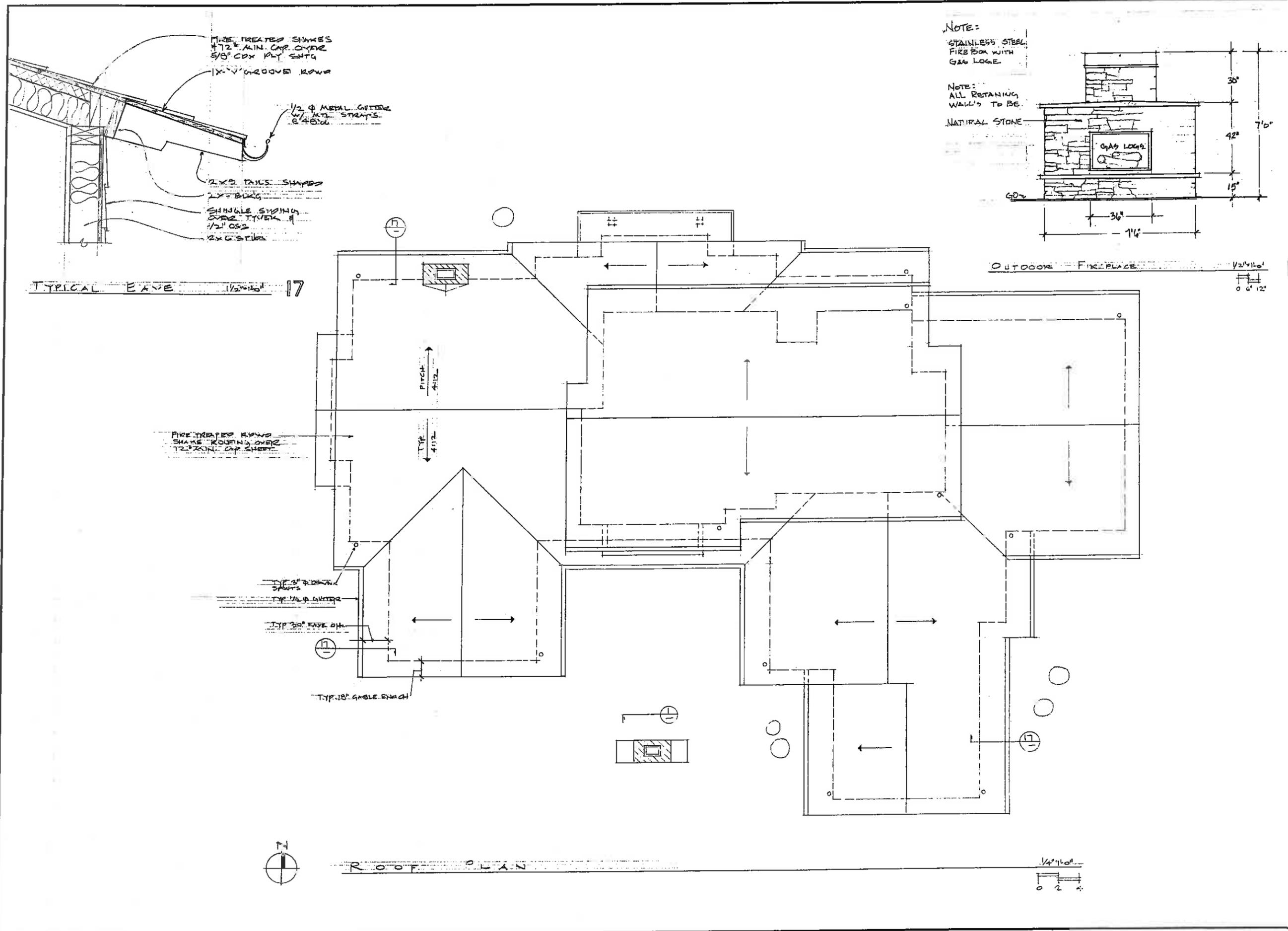
SOUTH ELEVATION



WALTER RESIDENCE  
 S/E CORNER OF DOLORES ST. & 11<sup>TH</sup> AVE.  
 BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA  
 APN: 010-154-015-000



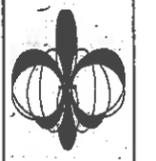
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 Job 05-2015  
 Sheet **A5**  
 Of 48



REVISIONS	BY
4-22-15	0
5-20-15	0

**DANA ANNENEAU**  
Building & Design  
721 Sycamore St., Pacific Grove, CA 93950 375-2333

**WALTER RESIDENCE**  
S/E CORNER OF DOLORES ST. & 11<sup>TH</sup> AVE.  
BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA  
APN: 010-154-015-000



Date	4-10-15
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Job	05-2015
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Of	Sheets

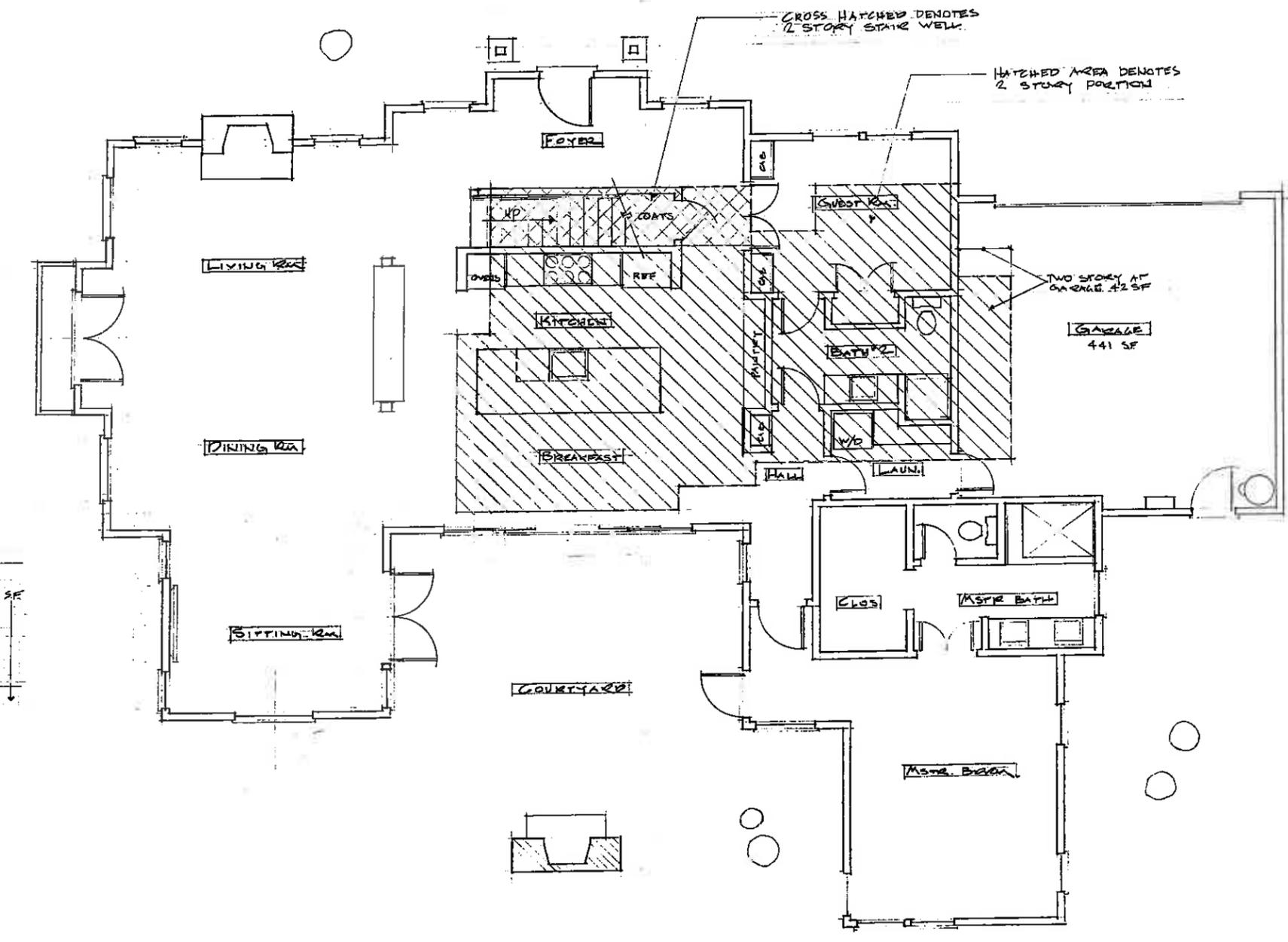
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5-20-15	D

**DANA ANNEREAU**  
 Building & Design  
 721 Spruce St., Pacific Grove, CA 93950 376-2383

**WALTER RESIDENCE**  
 S/E CORNER OF DOLORES ST. & 11<sup>TH</sup> AVE.  
 BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA  
 APN: 010-154-015-000



Date 5-19-15  
 Scale  
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 Job 05-2015  
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 of 5 sheets



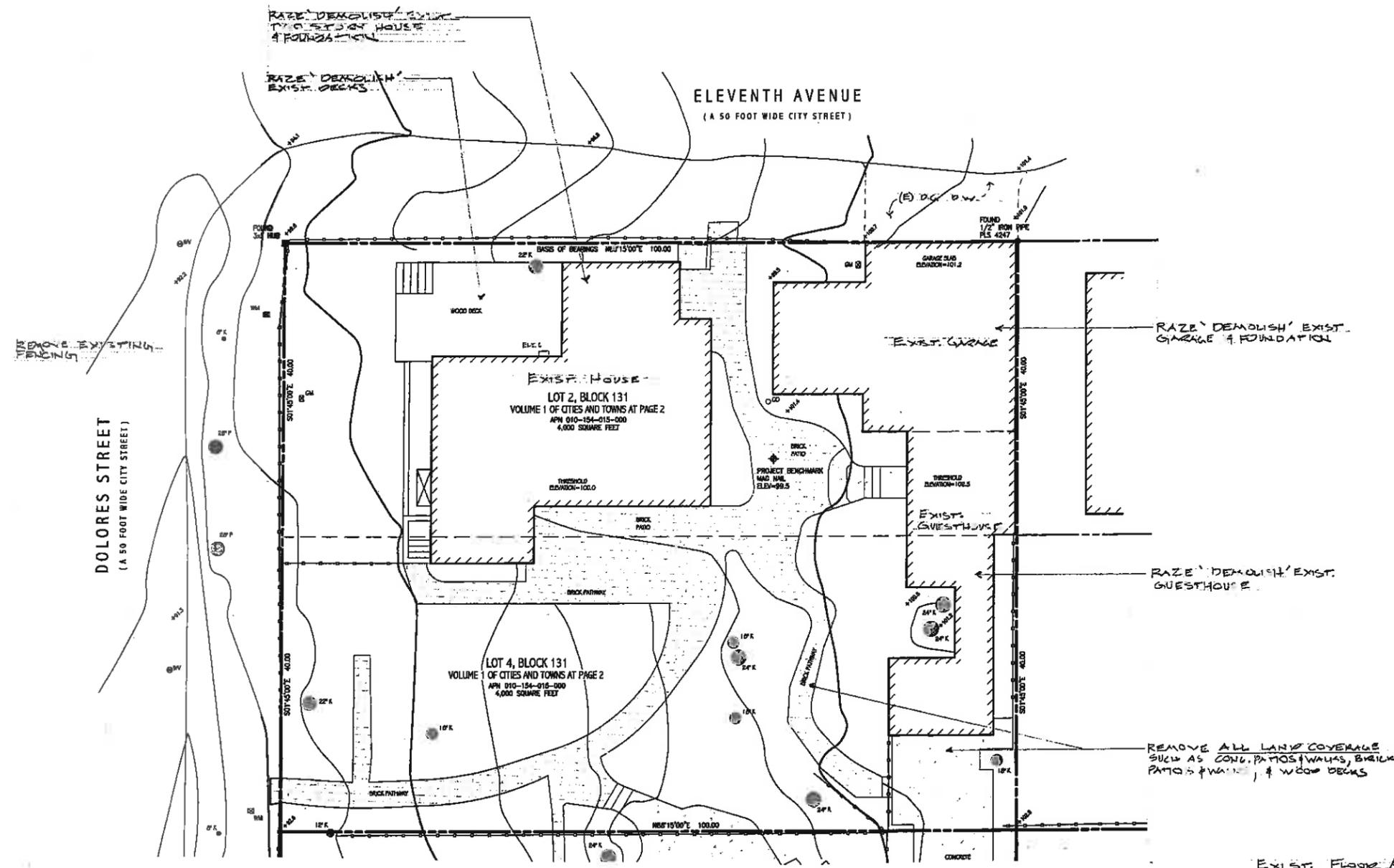
**FLOOR LEVEL TABLETION**

ONE STORY ELEMENTS	
FIRST STORY HOUSE	1699 SF
GARAGE	399
TWO STORY ELEMENTS	
FIRST STORY HOUSE	509
SECOND STORY HOUSE	551
GARAGE (2ND STORY)	42
<b>TOTAL</b>	<b>3200</b>

FIRST STORY w/ FLOOR LEVEL MAP

REVISIONS	BY
5-20-15	✓

**DANA ANNEREAU**  
 Building & Design  
 721 Square St., Pacific Grove, CA 93950 375-2535



EXISTING SITE PLAN W/ TAKE-DOWN & DEMOLITION

EXIST. FLOOR AREA

EXIST. HOUSE	1ST STORY	1179 SF
	2ND STORY	1099
	BASEMENT	662
EXIST. GUESTHOUSE		840
EXIST. GARAGE		390
	TOTAL EXIST.	4122 ±

- NOTES
1. DEMOLITION TO COMPLY W/ CAL GREEN
  2. BMP'S REQ'D

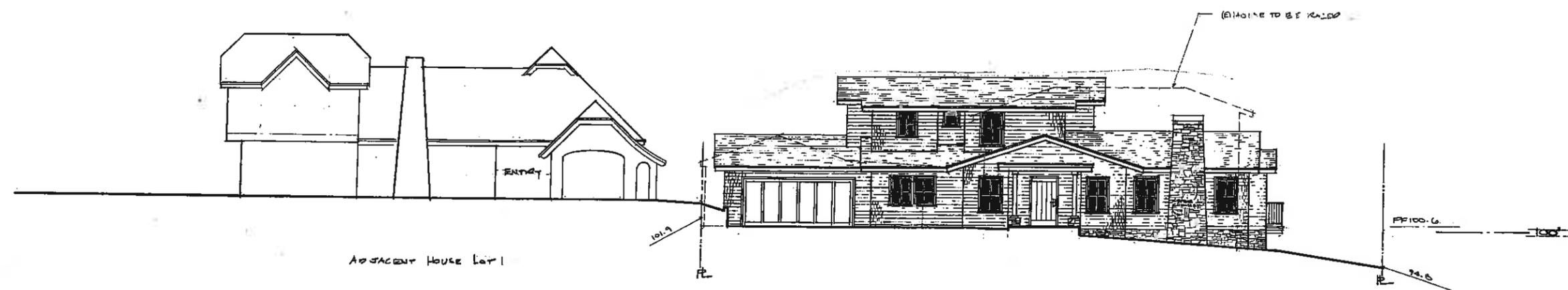
WALTER RESIDENCE  
 S/E CORNER OF DOLORES ST. & 11<sup>TH</sup> AVE.  
 BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA  
 APN: 010-154-015-000



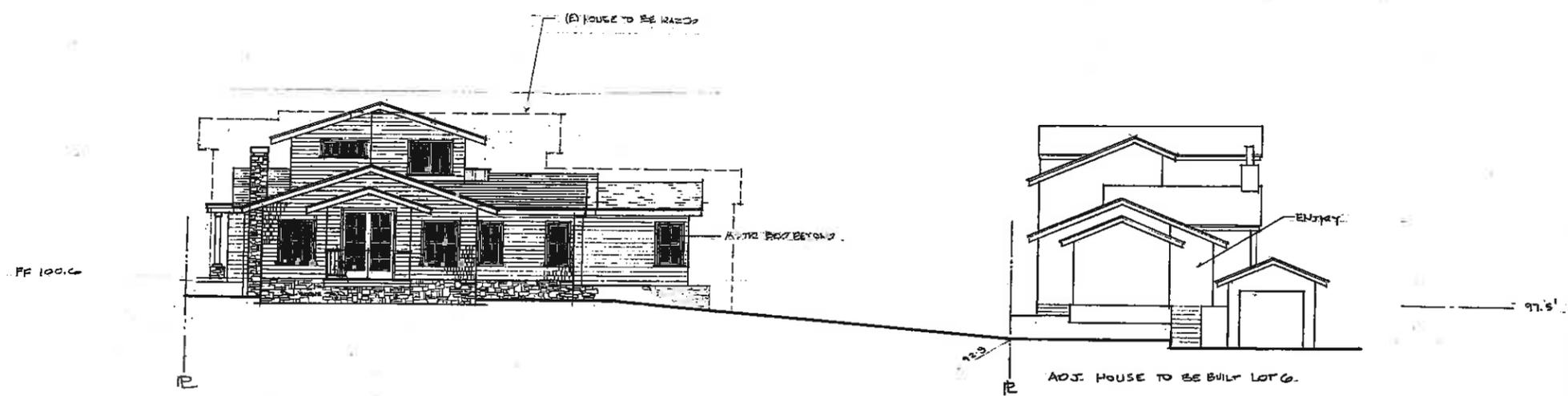
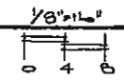
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 Job 05-2015  
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 A88  
 Of 51

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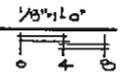
**DANA ANNIREAU**  
 Building & Design  
 721 Spruce St., Pacific Grove, CA 93950 378-2333



ELEVENTH AVENUE ELEVATION



PROPOSED DOLORES STREET ELEVATION



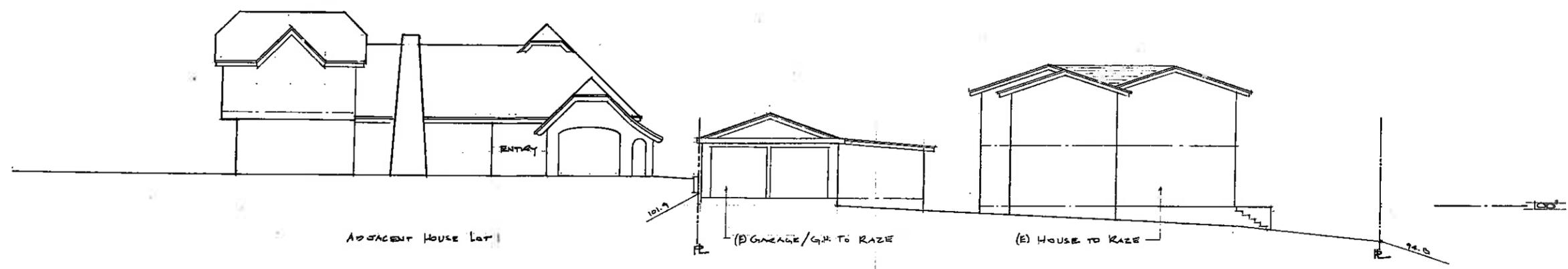
WALTER RESIDENCE  
 S/E CORNER OF DOLORES ST. & 11<sup>TH</sup> AVE.  
 BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA  
 APN: 010-154-015-000



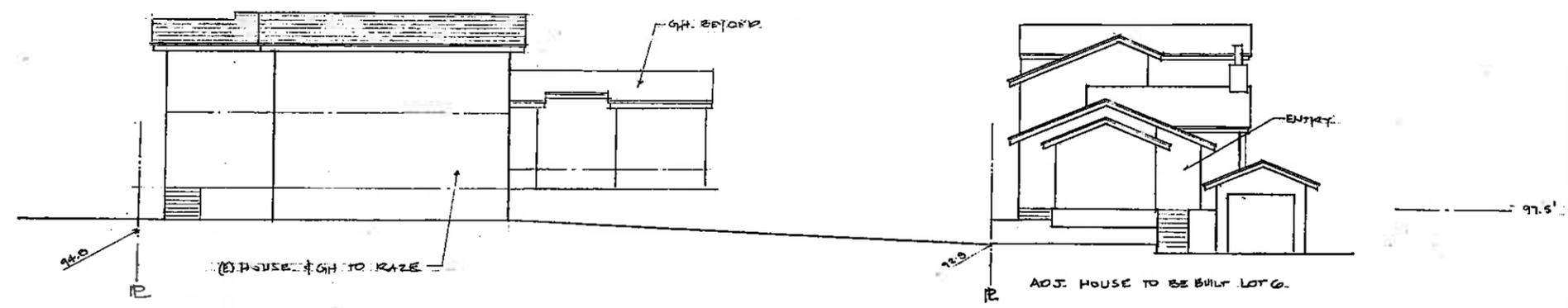
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Of	52

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5-20-15	D

**DANA ANNIREAU**  
 Building & Design  
 721 Bogue St., Pacific Grove, CA 93950 376-2353



EXISTING ELEVENTH AVENUE ELEVATION 1/8"=1'-0"

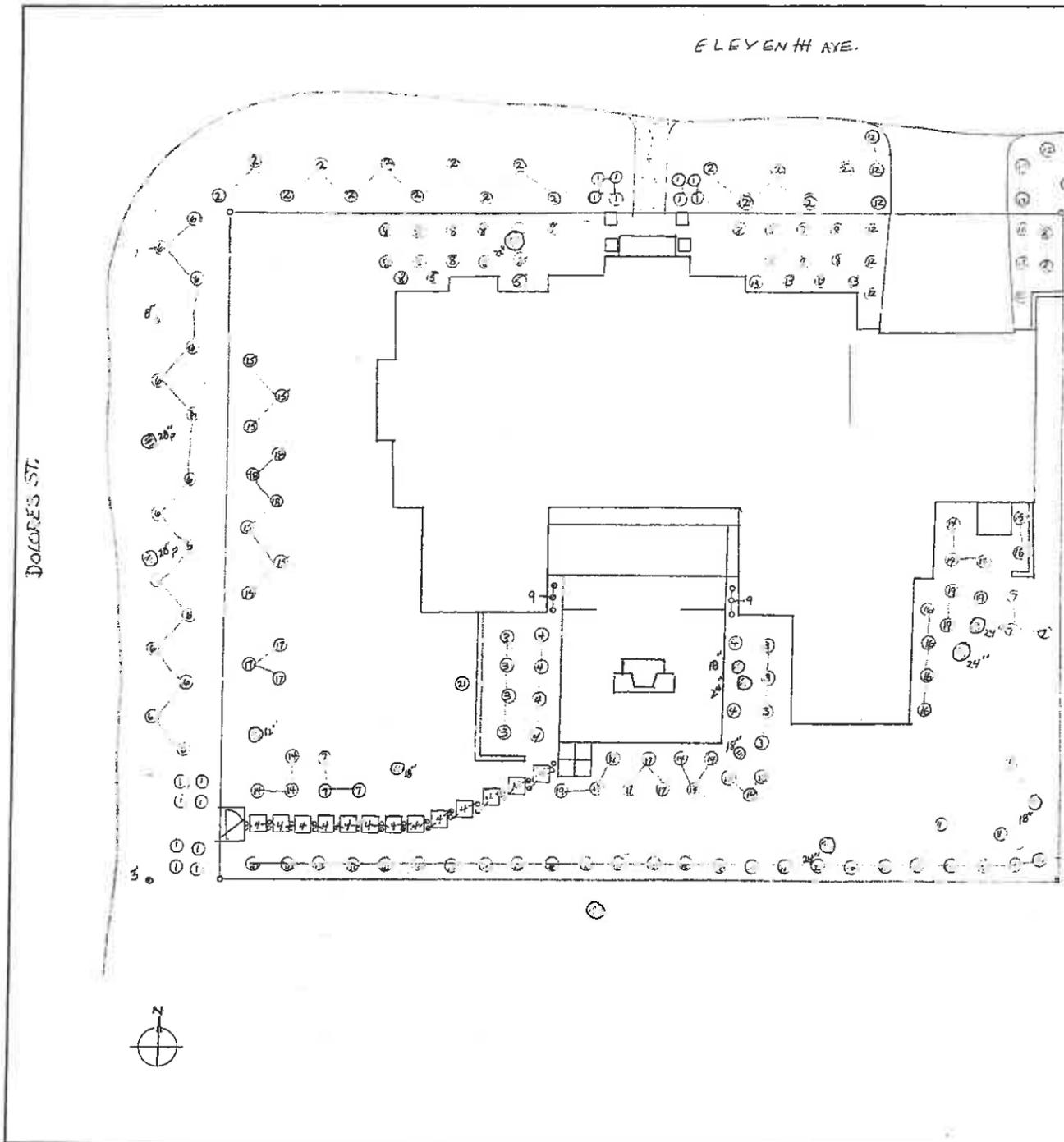


EXISTING DOLORES STREET ELEVATION 1/8"=1'-0"

WALTER RESIDENCE  
 S/E CORNER OF DOLORES ST. & 11<sup>TH</sup> AVE.  
 BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA  
 APN: 010-154-015-000



Date	4-10-15
Scale	
Drawn	
Job	05-2015
Sheet	A10



Symbol	Size	Number	Common Name	Botanical Name
1	1 Gal	16	Yarrow	Achillea millefolium
2	5 Gal	19	Lily of the Nile	Agapantha africanus
3	5 Gal	8	Kangaroo Paw	Antigonon hybridus
4	1 Gal	6	Thrift	Armeria asarifolia
5	5 Gal	2	Apple Blossom Camellia	Camellia sasanqua
6	5 Gal	15	Carmel Creeper	Ceanothus griseus horizontalis
7	1 Gal	6	Breath of Heaven	Coleonema pulchrum
8	1 Gal	18	Australian Fuchsia	Correa dusty bell
9	1 Gal	6	African Iris	Dietes Bicolor
10	5 Gal	25	Hop Seed	Dodonea viscosa
11	5 Gal	3	Pride of Madeira	Echium candicans
12	1 Gal	12	Fl seabene	Erigeron karwinskianus
13	5 Gal	4	Garden Hydrangea	Hydrangea macrophylla
14	5 Gal	6	English lavender	Lavandula angustifolia
15	5 Gal	6	Mallow	Lavatera assurgentiflora
16	1 Gal	6	Statice	Limonium perezi
17	5 Gal	6	Beard tongue	Penstemon heterophyllus
18	5 Gal	6	Mexican Sage	Salvia leucantha
19	5 Gal	6	Sage	Salvia microphylla hot lips
20	4"	28	Creeping Thyme	Thymus polytrichus britannicus
Espeller				
21	5 Gal	1	NCN	Camellia sasanqua

Substitutions may be made due to availability and or quality of the plants. The substitutions will be plants with the same or better water usage.

**IRRIGATION NOTES:**  
 All plants will be irrigated with a drip irrigation system. The system to consist of an anti-siphon device to separate house from irrigation water. An electric smart controller will be used to initiate the electric valves. Each valve will have a filter and a pressure regulator to maintain a constant flow of water. A rain sensor will be used to automatically shut off the system when moisture is detected. It shall be installed as per manufacturers direction.

**PLANTING NOTES:**  
 All plants will be planted with a mixture of 70% native soil, and 30% planter mix. Each plant will be fertilized with a timed released fertilizer as per manufacturers directions. All plants being planted will have the root ball slightly above ground level, and a dish will be made slightly higher than the root ball to help hold the moisture.  
 A mulch of small wood chips will be used 1" to 2" thick to help retain the moisture in all planting areas.

WALTER RESIDENCE S/E CORNER OF DOLORES ST. & 11TH AVE. BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA		
SCALE: 1/8" = 1'	APPROVED BY:	DRAWN BY: SQ
DATE: 5/19/15		REVISED:
		DRAWING NUMBER: 1

REVISIONS	BY

**DANA ANNENEAU**  
 Building & Design  
 721 Spruce St., Pacific Grove, CA 93950 376-3353

WALTER RESIDENCE  
 S/E CORNER OF DOLORES ST. & 11TH AVE.  
 BLOCK 131, LOTS 2 & 4, CARMEL BY THE SEA  
 APN: 010-154-015-000

Date
Scale
Drawn
Job
Sheet
Of



The proposed project is a remodel and expansion of the existing residence. The project includes the following components: 1) addition of a 318-sq ft second story with a shed roof and west-facing dormer, 2) construction of a new 242-sq ft detached one-car garage with board and batten siding and a hipped roof, 3) removal of one arbutus tree to accommodate the new garage, 4) removal of 568 square feet of site coverage, including the existing arbor structure, 5) replacement of the existing asphalt driveway with pavers and replacement “in-kind” of the asphalt driveway apron, 6) replacement of the existing 6-ft grape stake fence with a 4-foot tall grape stake fence along the 8th Avenue frontage, and 7) changes to certain exterior materials of the residence including the following items:

- a. Replacement of existing composition roofing with cedar shake roofing
- b. repair and replacement of existing historic windows as needed,
- c. new wood windows and shingle siding on the second story addition to match those installed as part of a previously-approved addition at the rear of the home, and
- d. wood French doors and metal guard railing on the north side of the proposed second-story addition.

The Planning Commission reviewed and approved the conceptual design of this project on April 8, 2015. The proposed alterations to the existing residence were well received by the Commission. In response to the privacy concerns raised by the northwest and east neighbors, the Commission, as conditions of Concept Design Study approval, directed the applicant to work with the neighbors to try to resolve these concerns. The Commission also noted concerns regarding potential effects to the root system of a tree on the neighboring property to the west, and directed the applicant to investigate relocating the proposed garage structure closer to the existing residence. After the April 8<sup>th</sup> Planning Commission meeting, staff was contacted by the property owner to the west regarding impacts to the same tree. The Planning Commission noted that the privacy impact issues would be revisited during the Tour of Inspection prior to consideration of the final design. The Planning Commission further commented that exterior finish materials would be differentiated from the historic portion of the residence by matching the non-historic portion of the residence, consistent with the Determination of Consistency granted by the Historic Resources Board on February 26, 2015.

**Staff Analysis:**

**Previous Hearing:** The following is a list of recommendations and conditions of Concept Design approval made by the Planning Commission and a staff analysis on how the applicant has or has not revised the design to comply with the recommendations:

1. *The applicant shall work with the owner of an adjoining parcel to the northwest to address privacy impacts resulting from the size of the dormer windows on the second-story. Potential design remedies may include reducing the glazing area and/or the use of obscured glass.*

**Analysis:** The applicant has been in communication with the neighbor to the northwest: Tom Ashburn, regarding his concerns of privacy issues from an existing window and from the windows of the new addition. The applicant provided Mr. Ashburn with an opportunity to visit the project site, and furnished a set of plans with a description of the project. According to the applicant, Mr. Ashburn seemed satisfied with the current proposal. Staff has not received any further comments from Mr. Ashburn.

2. *The applicant shall work with the owner of the adjoining parcel to the east to address privacy impacts resulting from the east-facing second-story French doors and guard rail.*

**Analysis:** The applicant has been in communication with the neighbor to the east, regarding their concerns. The neighbor to the east also had privacy concerns related to the intended use of the proposed east-facing second-story French doors and railing. The applicant provided plans demonstrating that the railing is a guard rail protecting the doorway opening, and a balcony, where people might congregate, is not proposed. Staff has not received any further comments from this neighbor.

3. *The applicant shall consider relocating the proposed garage closer to the existing residence to reduce impacts within the root zone of a tree located on the neighboring parcel west of the site in proximity to the footprint of the proposed garage.*

**Analysis:** The applicant contacted the City Forester to review the placement of the proposed garage on the site. After the Planning Commission meeting, the property owner of the adjoining parcel to the west, Alison Abbo, contacted staff with concerns regarding potential impacts to the tree on her property that is in proximity to the proposed garage. The City Forester was contacted by both the applicant and staff to discuss alternative placement of the garage to avoid excavation impacts to the tree or alternative methods of foundation construction if needed. The City Forester found that the placement of the garage as currently proposed provides the greatest clearance of significant tree root systems on and off the site, and has recommended Special Condition #22 to better ensure that the off-site tree is protected during construction. Ms. Abbo appeared to be satisfied with this response.

4. *While not included in the Planning Commission’s motion, comments made by Commissioners during the meeting noted that the proposed exterior materials shall differentiate between historic and non-historic (previously-altered) portion of the historic resource.*

**Analysis:** Staff has reviewed the Final Design Study plans. The applicant proposes to install wood windows with trim and sills to match the existing wood windows currently located at the non-historic rear of the residence. Window cut sheets and architectural details have been provided on Sheet 12 of the plan set (Attachment D).

PROJECT DATA FOR THE 6,700-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,653.2 sf (39.6%)	2,292 sf (34.2%)	2,652 sf (39.6%)
Site Coverage	852 sf (12.7%)*	1,683 sf (25.1%)	852 sf (12.7%)
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18 ft/ 24 ft	14.71 ft/NA	No change/24 ft
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12 ft/ 18 ft	8.06 ft/NA	No change/16.44 ft
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft	27 ft 6 in (house)	22 ft (garage)
Composite Side Yard	>17 ft (25%)	30 ft 6 in (43%)	23 ft 6 in (33.1%)
Minimum Side Yard	3 ft	3 ft	No change
Rear	3 ft./15 ft**	3 ft 6 in	No change

\* Allowable site coverage with bonus, if 50% or more of the site coverage is permeable.

\*\*The rear setback is three feet for those portions of structures less than 15 feet in height.

**Other Project Components:**

**Fencing:** The existing six-foot high grape stake fence along the south (front) property line would be replaced with a new four-foot grape stake fence. The existing fence along the west, north, and east property lines (associated with DS 14-15 approved February 25, 2014) would remain unchanged.

**Exterior Lighting:** Carmel Municipal Code (CMC) Section 15.36.070.B. provides exterior lighting requirements for the R-1 Zoning District. This section requires that the exterior wall-mounted lighting not to exceed 25 Watts incandescent equivalent (i.e., approximately 375 lumens) per fixture. The project includes new exterior lighting fixtures on the entrance and side door of the garage.

Lighting locations are shown on the proposed site plan (Sheet 2), and elevations (Sheet 5). Lighting specifications are included on Sheet 12 of the proposed plans. The lighting specifications show that the proposed carriage lamp bulb sockets are rated at 60 watts; however, as noted on Sheet 5, 25 watt incandescent bulbs with a luminosity of 180 lumens are proposed within the fixtures. Therefore, the proposed exterior lighting meets the City's exterior lighting requirements.

**Finish Materials:** Residential Design Guideline 9.2 states an objective to: *"Avoid Visual Complexity. Too many different materials or excessive details create a busy appearance and should be simplified."*

The proposed exterior finishes are a combination of uncomplicated wood board and batten and shingle siding to mimic the exterior materials and finishes present on the existing residence. The general concept of proposed exterior materials finishes would be consistently applied throughout the addition and garage, and therefore, the proposed finishes do not create a "busy" appearance and would be consistent with the objectives of Design Guideline 9.2.2.

Residential Design Guideline 9.4 states that *"when design details and surface materials are selected, they should be used throughout the full exterior of the building to maintain consistency."*

The proposed project includes the use of wood cedar shake roofing materials on the addition and also proposes replacing the existing composition shingle roofing materials with cedar shake for consistency. The plans note that all new windows and doors would match the "colors, materials, and styles" of existing windows and doors on the north elevation. These finishes are shown on the proposed elevations on Sheet 5 of the plan set, and architectural details are provided on Sheet 12 of the proposed plans. The proposed shingle siding on the second-story addition mimics the dimensions of existing shingles at the rear of the residence. These dimensions are smaller in size and with a denser pattern than the "barn shingle" style on the historic residence, and thus, are differentiated from the historic siding materials. Likewise, board and batten siding is proposed for the new garage, which also is differentiated from the existing materials and finishes of the historic building, consistent with the Secretary of the Interior's standards.

A “salvage and reuse plan” is required for this project to clearly indicate that existing materials (i.e., siding, windows, doors) shall be: 1) preserved, 2) repaired when preservation is not possible, and 3) replaced in-kind only when absolutely necessary. All repaired and replaced windows are to be, to the extent feasible, replaced with available historic building materials, and where necessary to match the material and design of the existing historic windows. Special Condition #23 is included to ensure implementation of these requirements of the HRB.

***Environmental Review:*** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project has been determined to be consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995). Additionally, the proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans

**Attachment A – Site Photographs**

**Residence**



**Residence**



**Residence and Driveway**

**Attachment A – Site Photographs**



**Public Right-of-Way**



**Public Right-of-Way**

**Attachment A – Site Photographs**



**View of Staking Near 3NE Monte Verde**

## Attachment B – Findings for Approval

DS 14-99 (Ryan)  
 June 10, 2015  
 Findings for Approval  
 Page 1

<b>FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)</b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees. Additionally, conditions of approval are required to ensure that construction	✓	

impacts would not occur to significant trees resulting from excavation for the new garage and resurfaced driveway.		
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	
<b>Coastal Development Findings (CMC 17.64.B.1):</b>		
13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	

## Attachment C – Conditions of Approval

DS 14-99 (Ryan)  
 June 10, 2015  
 Conditions of Approval  
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	<p><b>Authorization:</b> As shown on the approved plans, this approval of Design Study (DS 14-99) authorizes: 1) addition of a 318-sq ft second story with a shed roof and west-facing dormer, 2) construction of a new 242-sq ft detached one-car garage with board and batten siding and a hipped roof, 3) removal of one arbutus tree to accommodate the new garage; removal of 568 square feet of site coverage, including the existing arbor structure, 4) replacement of the existing asphalt driveway with pavers, 5) replacement “in-kind” of the asphalt driveway apron, 6) replacement of the existing 6-ft grape stake fence with a 4-foot tall grape stake fence along the 8th Avenue frontage, and 7) changes to certain exterior materials of the residence including the following items:</p> <ul style="list-style-type: none"> <li>a. Replacement of existing composition roofing with cedar shake roofing;</li> <li>b. repair and replacement of existing historic windows as needed,</li> <li>c. new wood windows and shingle siding on the second story addition to match those installed as part of a previously-approved addition at the rear of the home, and</li> <li>d. wood French doors and metal guard railing on the north side of the proposed second-story addition.</li> </ul>	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping shall be shown on a landscape plan and shall be submitted with the construction plan set to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all ivy will be removed from the site; 2) all new landscaping shall be 75% drought-tolerant; and 3) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer.	✓

5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed	N/A

	by planning staff on site to ensure conformity with City standards.	
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All	N/A

	new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
	<b>Special Conditions</b>	
22.	Prior to the onset of excavation for the garage and pavement removal, a trench shall be hand-excavated along the west line of the garage footprint and driveway under the direction of the City Forester. The intent of this condition of approval is to ensure that project-related impacts to the tree on the adjacent parcel to the west are avoided. Construction activities on the main structure would be able to proceed while, or prior to, meeting this condition of approval.	✓
23	Prior to issuance of the building permit, a “salvage and reuse plan” is required for this project to clearly indicate that existing materials (i.e., siding, windows, doors) shall be: 1) preserved, 2) repaired when preservation is not possible, and 3) replaced in-kind only when absolutely necessary. All repaired and replaced windows are to be, to the extent feasible, replaced with available historic building materials, and where necessary to match the material and design of the existing historic windows.	

DS 14-99 (Ryan)  
June 10, 2015  
Conditions of Approval  
Page 5

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

***Once signed, please return to the Community Planning and Building Department.***



DATE	REVISION
11-05-14	A
12-19-14	A
08-09-15	A
	B
	C
	D
	E
	F

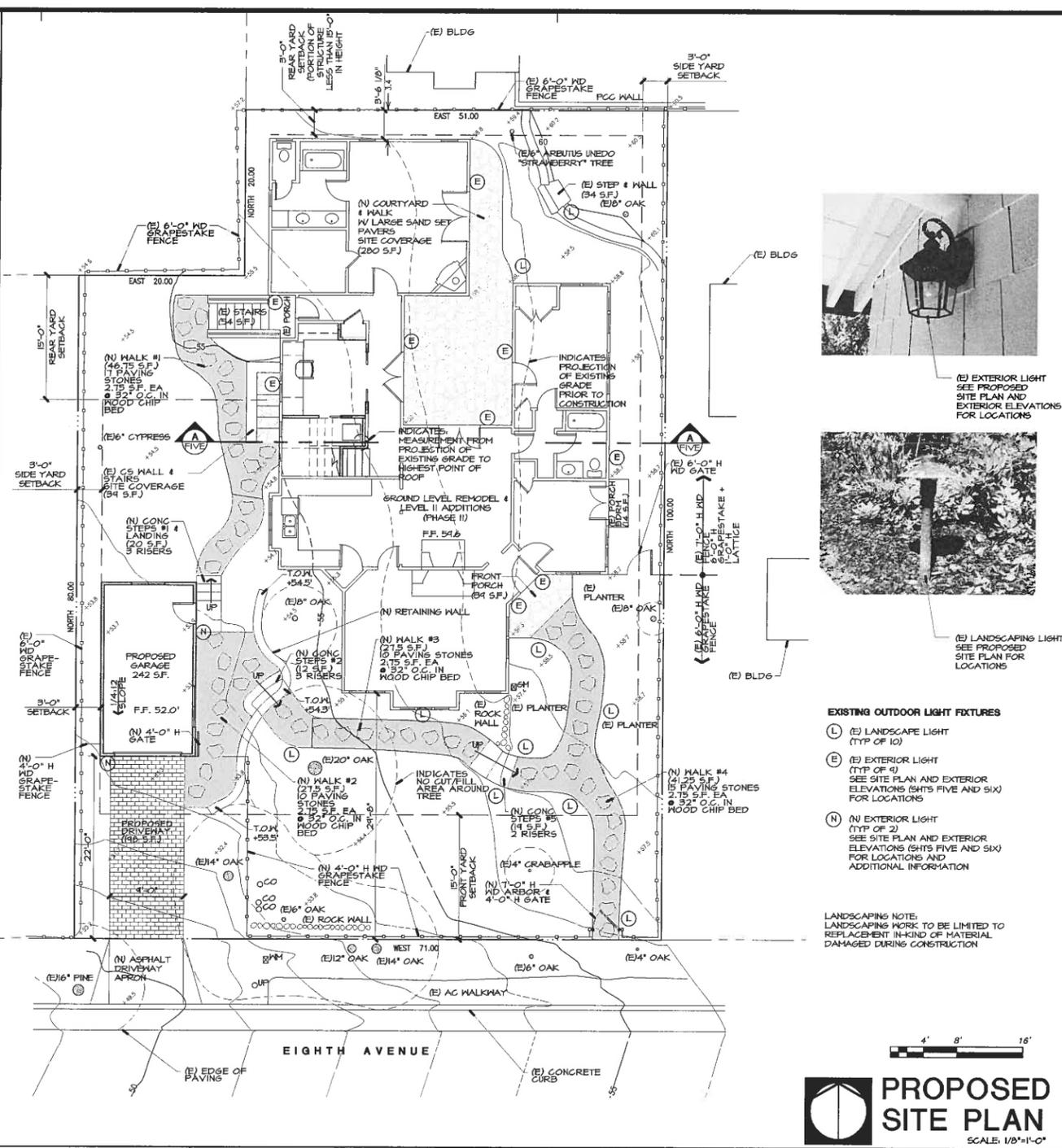
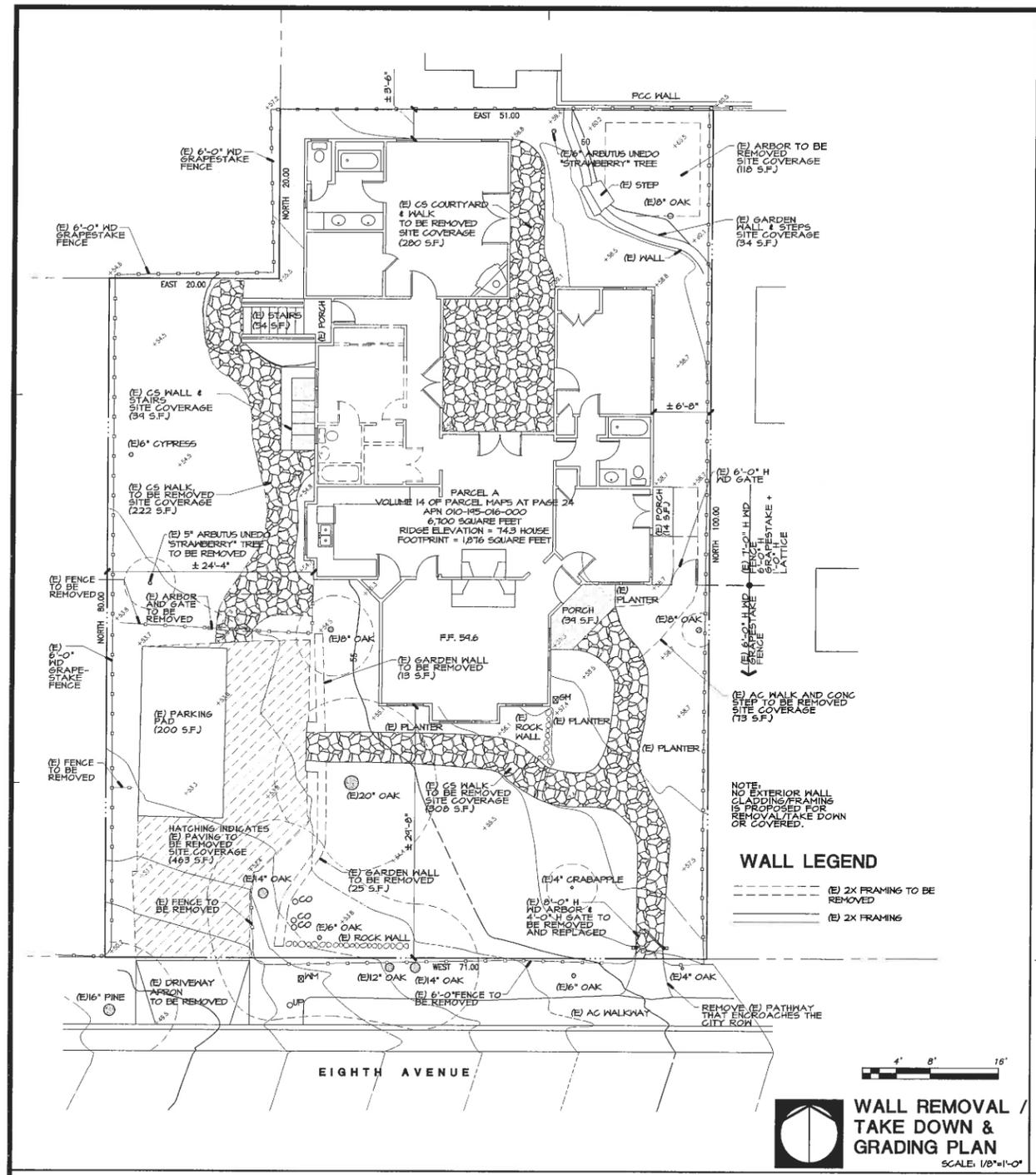
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08-09-15	FINAL DESIGN REVIEW

DATE	PRINTS ISSUED FOR
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08-09-15	FINAL DESIGN REVIEW



PROJ. NUMBER: 14-012 RYANCARMEL

SHEET NUMBER  
**TWO**  
 OF 72



**SITE DATA:**

AVG GRADE (RESIDENCE)	RESIDENCE	AVG GRADE
+56.7		

EXT WALL REMOVED:	RESIDENCE	PERCENT
RESIDENCE	0%	

FLOOR AREA:	ALLOWABLE	2,653 SQ. FT.
EXISTING		
BASEMENT	216 SQ. FT.	
LEVEL I	1,876 SQ. FT.	
PARKING (PAD)	200 SQ. FT.	
TOTAL	2,292 SQ. FT.	
PROPOSED		
BASEMENT	216 SQ. FT.	
LEVEL I	1,876 SQ. FT.	
LEVEL II	318 SQ. FT.	
GARAGE	242 SQ. FT.	
TOTAL	2,652 SQ. FT.	360 SQ. FT. ADDED FLR AREA

BUILDING COVERAGE:	BUILDING	1,876 SQ. FT.
GARAGE	242 SQ. FT.	
TOTAL	2,118 SQ. FT.	

**SITE COVERAGE:**

ALLOWABLE SITE COVERAGE	852
EXISTING	
A.C. PAVING (LESS PARKING PAD)	463 SQ. FT.
WALKWAYS, STAIRS, GARDEN WALLS, COURTYARD, ETC.	1,102 SQ. FT.
ARBOR	118 SQ. FT.
TOTAL	1,683 SQ. FT.
REMOVED	<1,223 SQ. FT.>
IMPERMEABLE	
EXISTING: (CARMEL STONE)	
STAIRS/PORCH	54 S.F.
WALL/STAIRS	39 S.F.
FRONT PORCH	39 S.F.
PORCH (BDRM)	14 S.F.
COURTYARD	280 S.F.
STEPS/GARDEN WALL	34 S.F.
(E) TOTAL:	460 S.F.

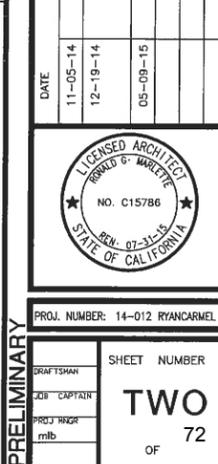
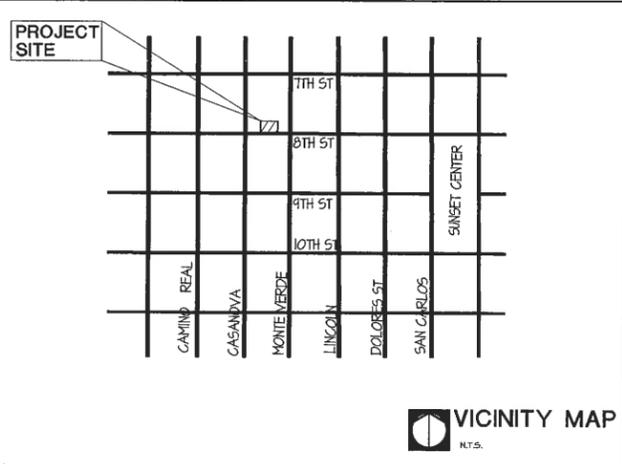
**WALL LEGEND**

WALL TYPE	DESCRIPTION
(E) 2X FRAMING TO BE REMOVED	(E) 2X FRAMING TO BE REMOVED
(E) 2X FRAMING	(E) 2X FRAMING

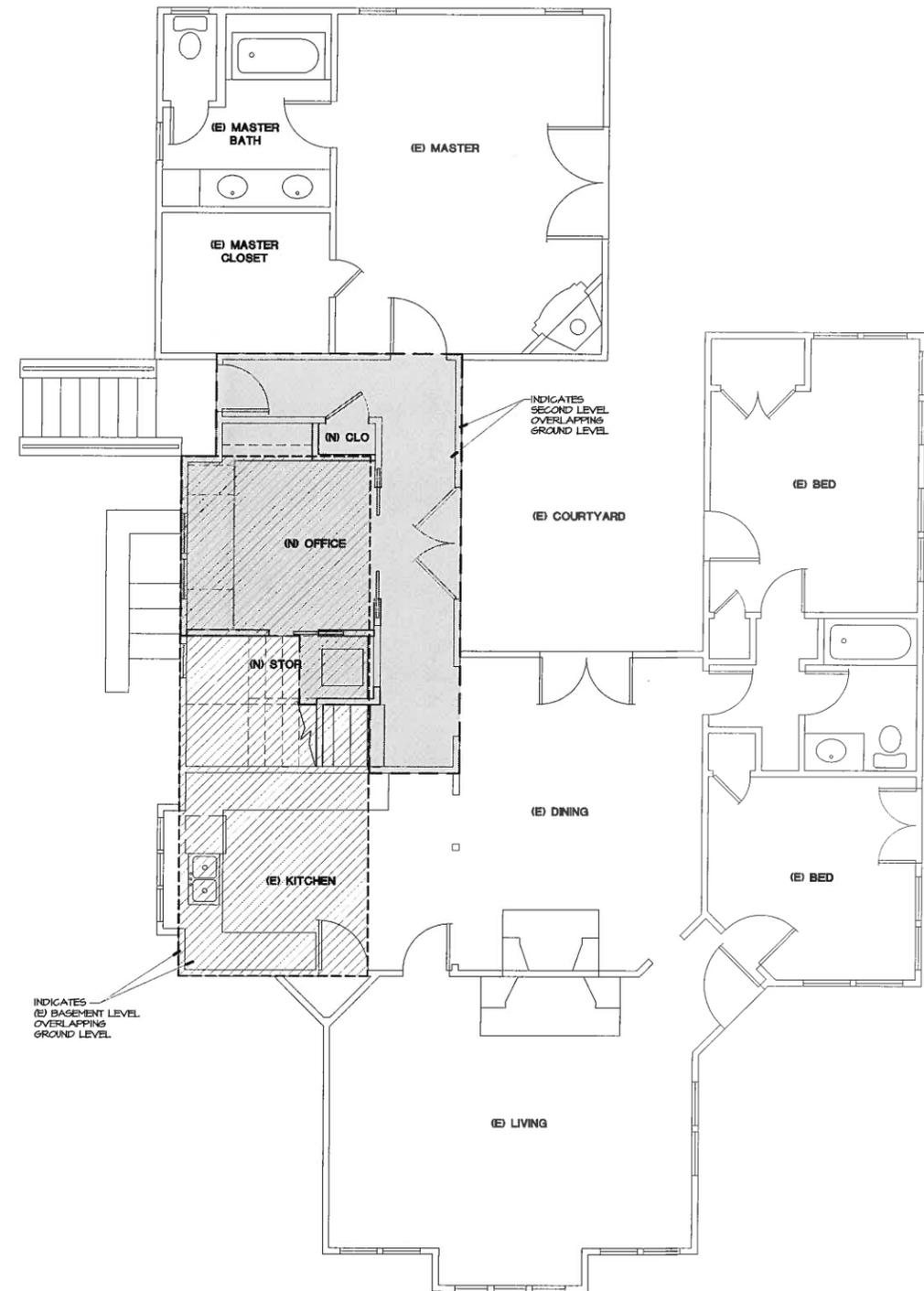
**WALL REMOVAL / TAKE DOWN & GRADING PLAN**  
 SCALE: 1/8"=1'-0"

**PROJECT DATA:**

**PROJECT:** RESIDENCE  
**SITE ADDRESS:** 8TH AVENUE BETWEEN MONTE VERDE & CASANOVA  
 010-195-018  
**APN:** R-1  
**ZONE:** R-1  
**LAND USE:** RESIDENTIAL  
**LOT SIZE:** 6,700 S.F. / ±.15 ACRES  
**OWNER:** MICHAEL & MARY KAY RYAN  
 P.O. BOX 2886  
 CARMEL, CA 93921-2686  
 TEL: (831) 293-8950  
**ARCHITECT:** MARLETTE ASSOCIATES  
 451 CLOVIS AVE., SUITE #125  
 CLOVIS, CALIFORNIA 93612  
 TEL: (559) 322-8883







FLOOR OVERLAP AREA:  
 NON-OVERLAP 1,437 SQ. FT.  
 TOTAL OVERLAP 439 SQ. FT.

2" 4" 8"  
**FLOOR LEVEL MAP**  
 SCALE: 1/4"=1'-0"

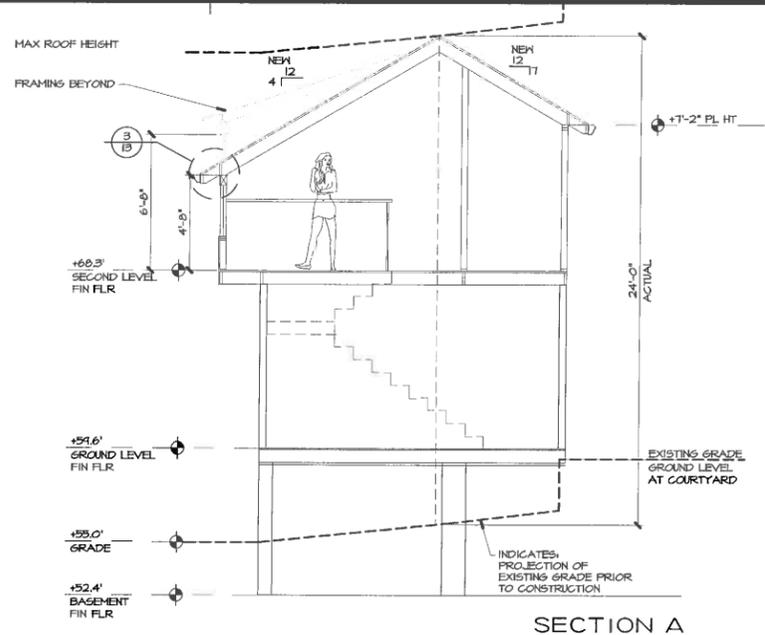
PRELIMINARY  
 C 0 1 5 7 8 6  
 Ronald Gene Marlette  
 Principal  
**MARLETTE ASSOCIATES**  
 ARCHITECTURE  
 451 Oak Avenue, Suite 125  
 Carmel, California 93917  
 PH: 559.322.8883 Fax: 559.322.8885

PRELIMINARY  
 Project  
**REMODEL**  
**8TH AVE. BTWN MONTE VERDE & CASANOVA**  
**CARMEL, CALIFORNIA**

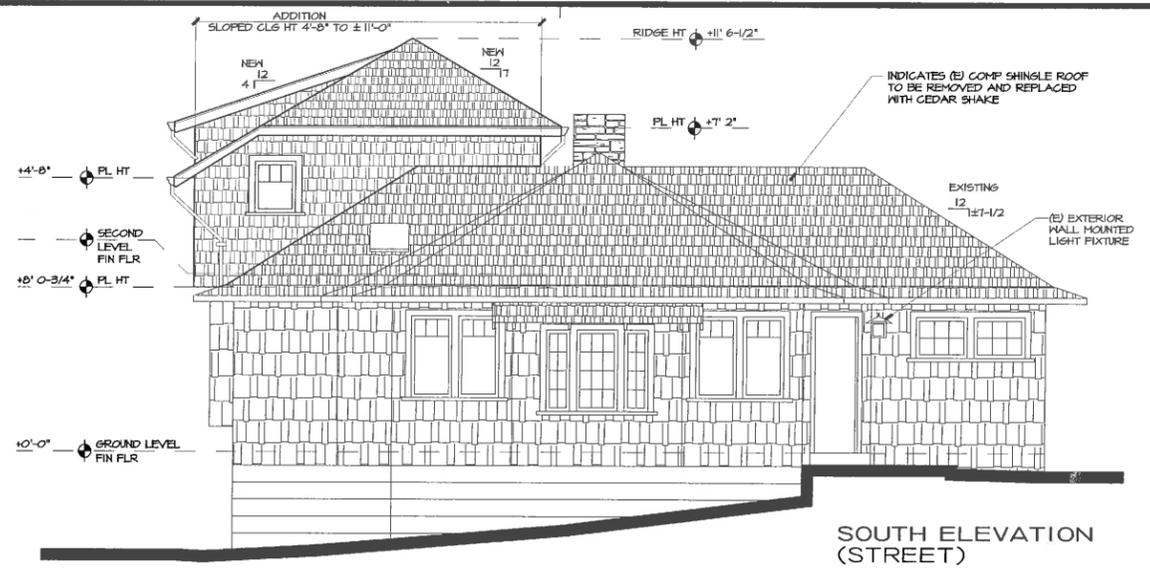
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LICENSED ARCHITECT  
 RONALD G. MARLETTE  
 NO. C15786  
 EXPIRES 07-31-19  
 STATE OF CALIFORNIA

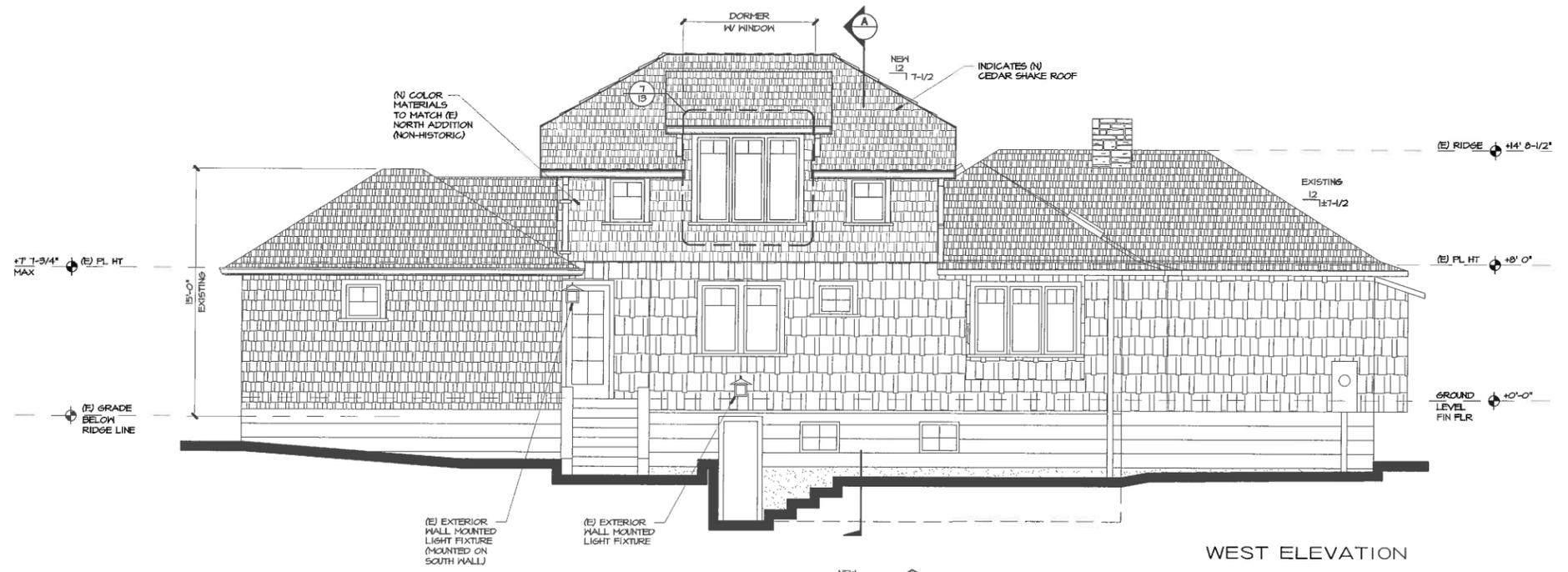
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 SHEET NUMBER  
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 OF



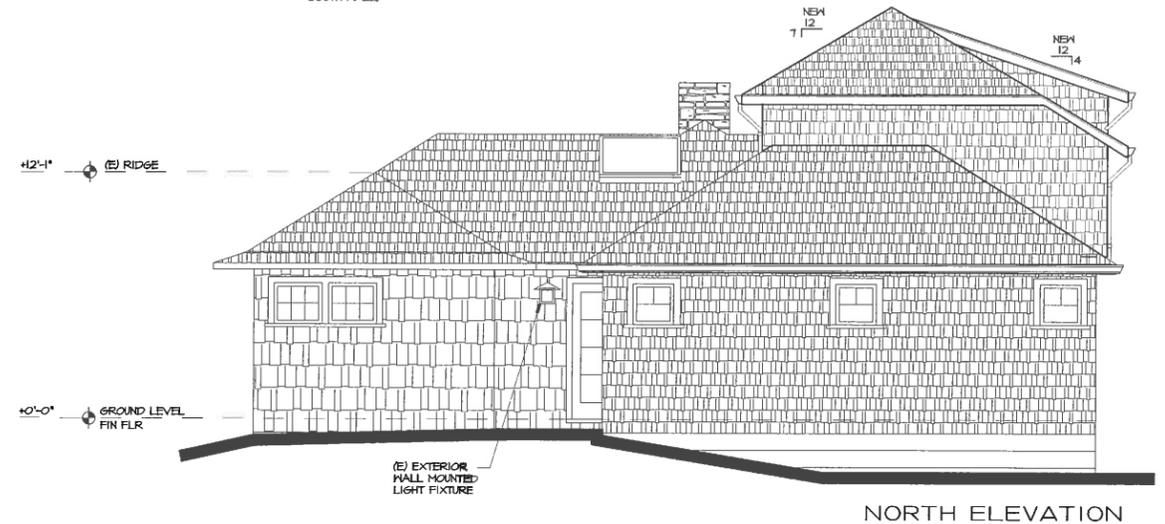
SECTION A



SOUTH ELEVATION (STREET)



WEST ELEVATION



NORTH ELEVATION

AVE GRADE SEE SHEET TWO



NEW EXTERIOR ELEVATIONS  
SCALE 1/4"=1'-0"

PRELIMINARY  
C 0 1 5 7 8 6  
Principal  
RONALD GENE MARLETTE  
MARLETTE ASSOCIATES  
ARCHITECTURE  
151 Oaks Avenue, Suite 125  
Carmel, CA 95021  
PH: 559.322.8885 Fax: 559.322.8885

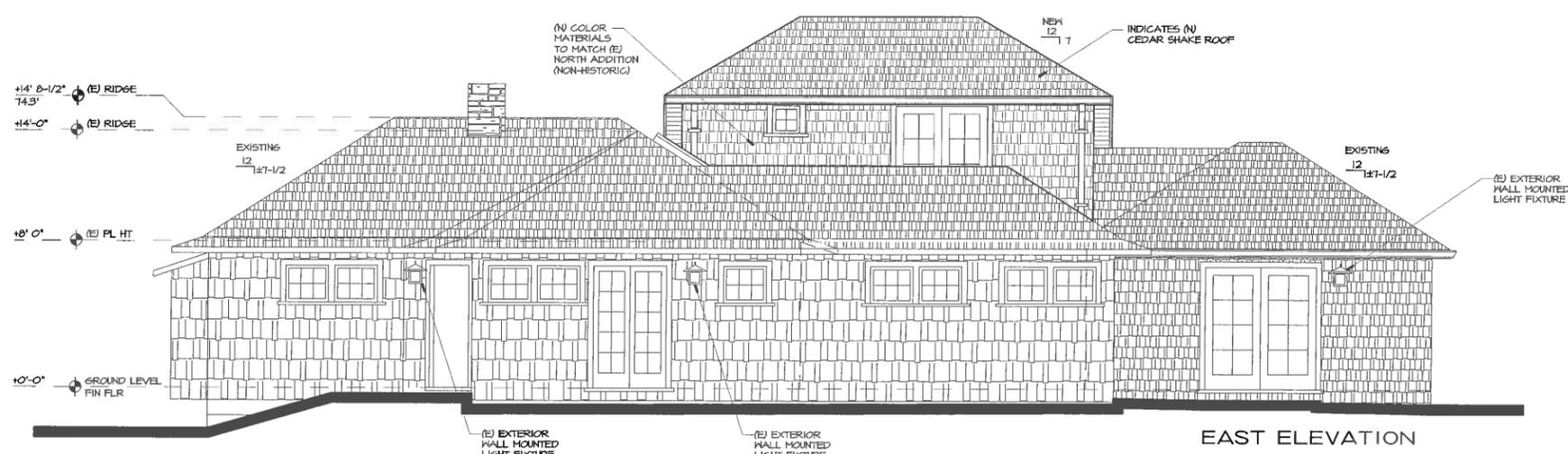
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Project  
**REMODEL**  
8TH AVE. BTWN MONTE VERDE & CASANOVA  
CARMEL, CALIFORNIA

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PROJ. NUMBER: 14-012 RYANCARMEL

PROJ. NUMBER	SHEET NUMBER
14-012 RYANCARMEL	FIVE
	OF 75

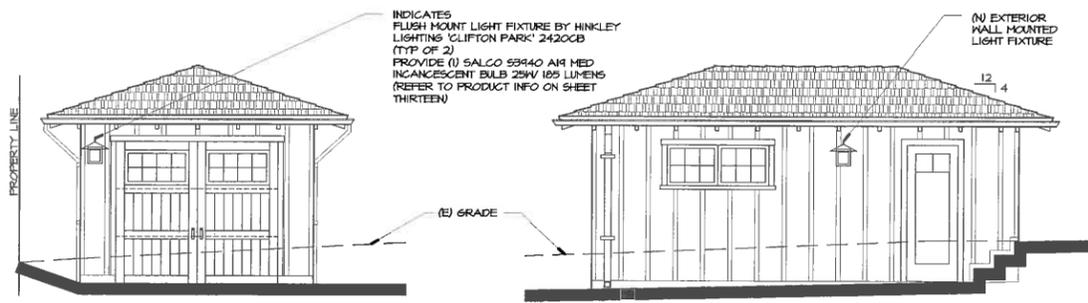


EAST ELEVATION



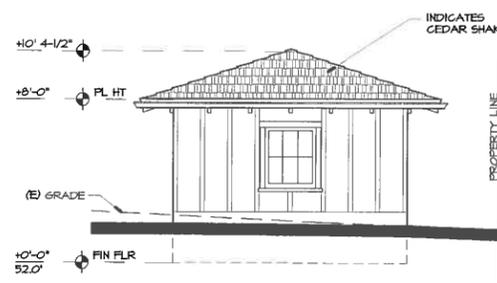
COURTYARD ELEVATION

NOTES:  
 1. ALL NEW EXTERIOR DOORS & WINDOWS TO MATCH COLORS MATERIALS, STYLE OF (E) NORTH ADDITION.  
 2. SEE SITE PLAN FOR EXTERIOR FENCE INFORMATION AND LOCATIONS.

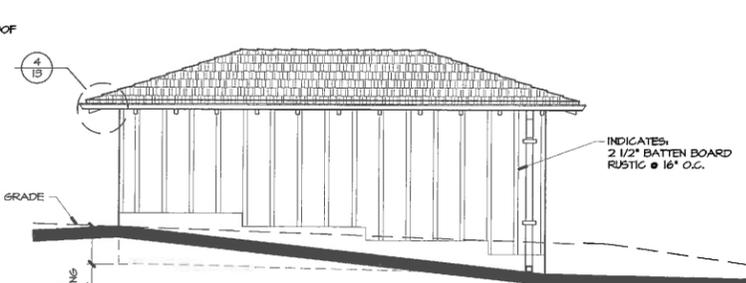


SOUTH ELEVATION

EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

AVE GRADE: SEE SHEET 'TWO'  
 EXT VOLUME (ADDITION): SEE SHEET 'TWO'



NEW EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

PRELIMINARY

C 0 1 5 7 8 6

Principal  
 Ronald Gene Marlette  
**MARLETTE ASSOCIATES**  
 ARCHITECTURE  
 451 Oak Avenue, Suite 125  
 Carmel, CA 93921  
 Tel: 559.322.8880 Fax: 559.322.8885

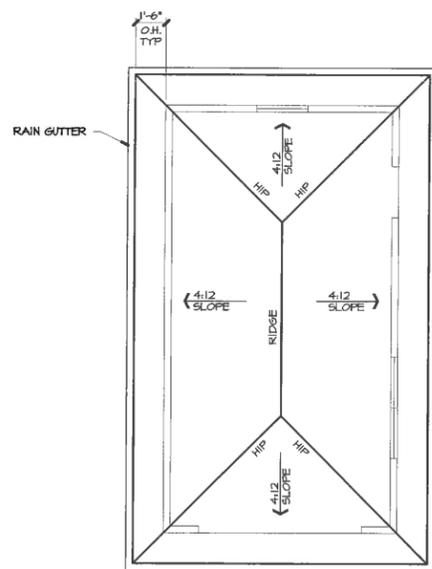
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**REMODEL**  
 8TH AVE. BTWN MONTE VERDE & CASANOVA  
 CARMEL, CALIFORNIA

REVISION	DATE	PRINTS ISSUED FOR
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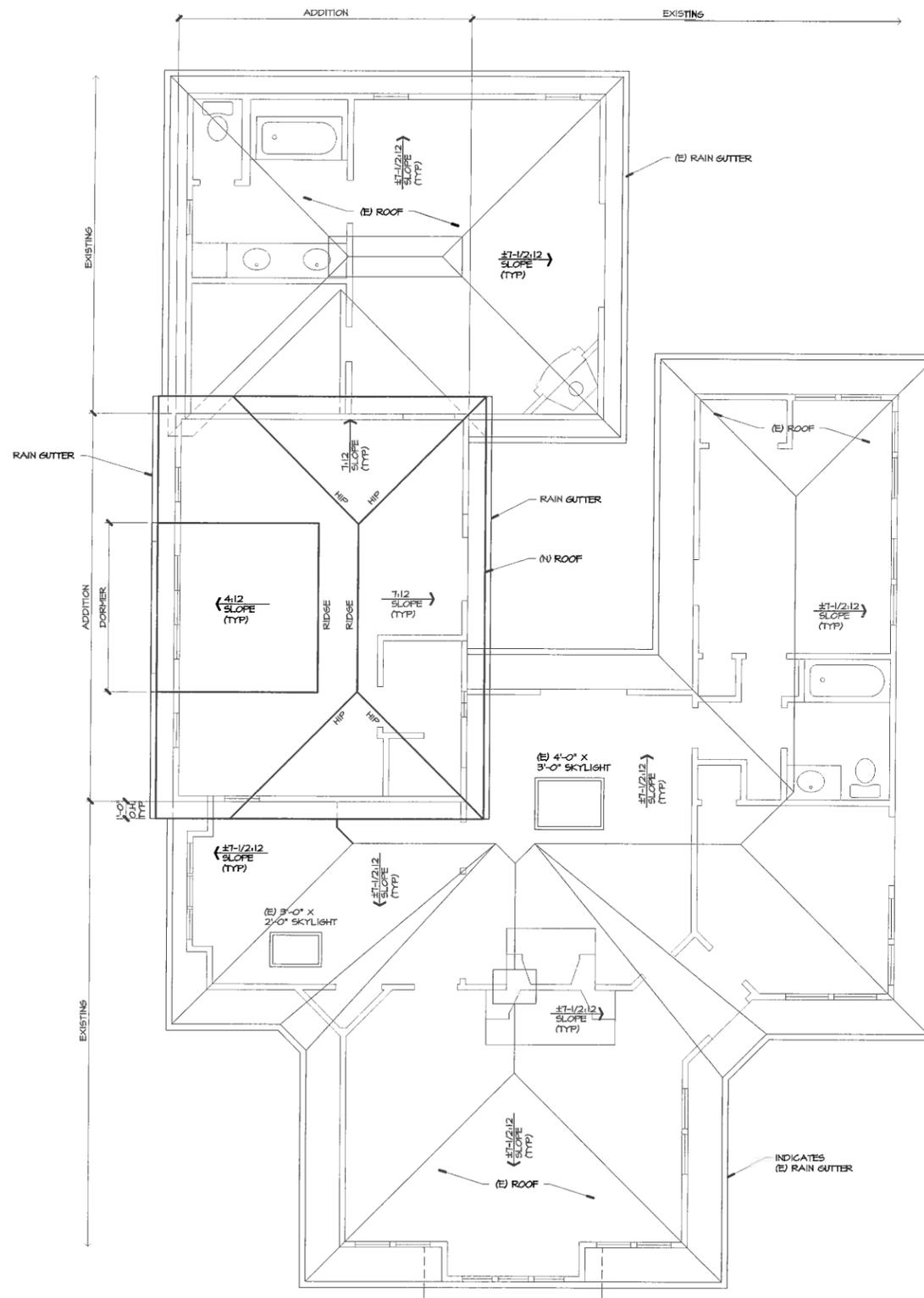
PRELIMINARY

PROJ. NUMBER: 14-012 RYANCARMEL

DRAFTSMAN	SHEET NUMBER
209 CAPTAIN	<b>SIX</b>
PROJ. PRIOR	OF 76
THD	



 **GARAGE ROOF PLAN**  
SCALE: 1/4"=1'-0"



 **HOUSE ROOF PLAN**  
SCALE: 1/4"=1'-0"

PRELIMINARY

C 0 1 5 7 8 6  
Principal  
**MARLETTE ASSOCIATES ARCHITECTURE**  
451 Clark Avenue, Suite 125  
Carmel, California 93921  
Tel: 559.322.8883 Fax: 559.322.8885

Project  
**REMODEL**  
**8TH AVE. BTWN MONTE VERDE & CASANOVA**  
**CARMEL, CALIFORNIA**

PRELIMINARY

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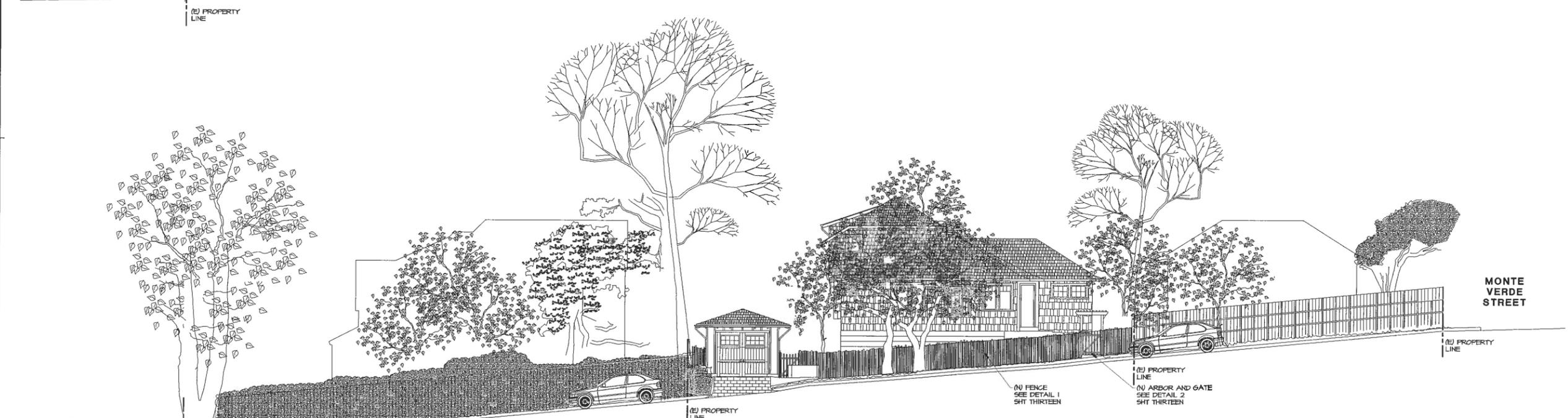
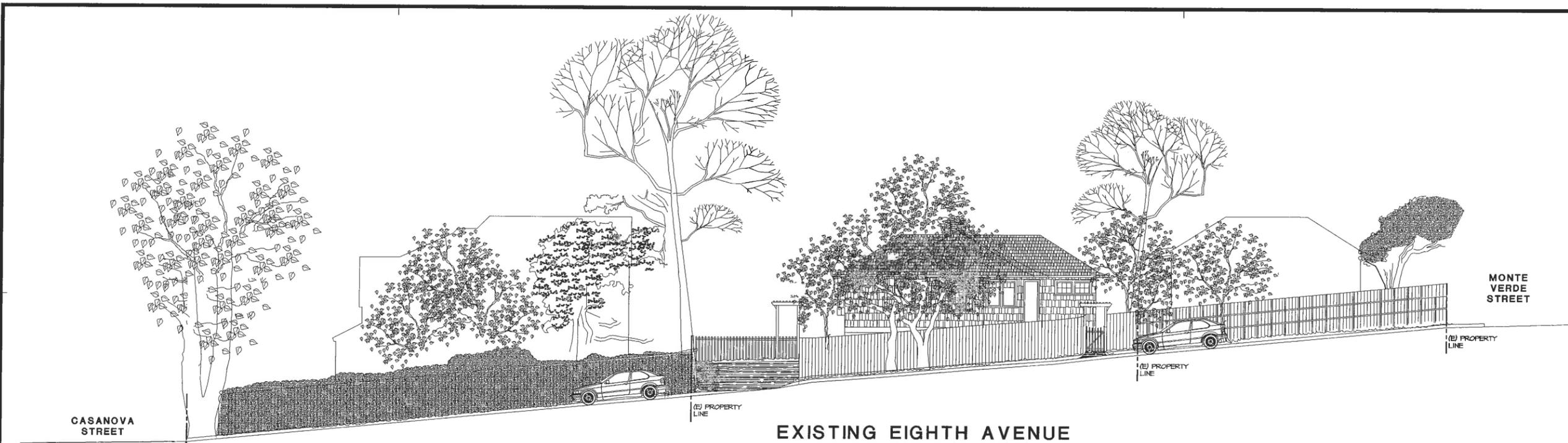
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PROJ. NUMBER: 14-012 RYANCARMEL

DESIGNER	SHEET NUMBER
2018 CAPTAIN	<b>SEVEN</b>
PROJ. MGR	77
TRND	OF

PRELIMINARY



**STREET ELEVATION**

SCALE: 1/8"=1'-0"

PRELIMINARY

C 0 1 5 7 8 6  
 Ronald Gene Marlette  
 Principal  
**MARLETTE ASSOCIATES**  
 ARCHITECTURE  
 451 CLEVELAND AVENUE, SUITE 125  
 CARMEL, CALIFORNIA 95021  
 PH: 559.322.8883 FX: 559.322.8885

project  
**REMODEL**  
**8TH AVE. BTWN MONTE VERDE & CASANOVA**  
**CARMEL, CALIFORNIA**

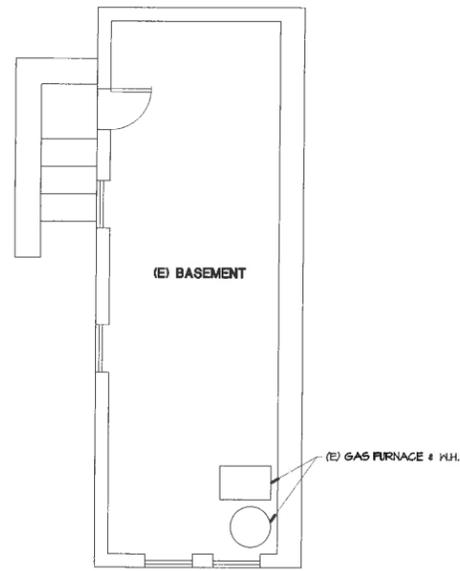
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DATE	PRINTS ISSUED FOR
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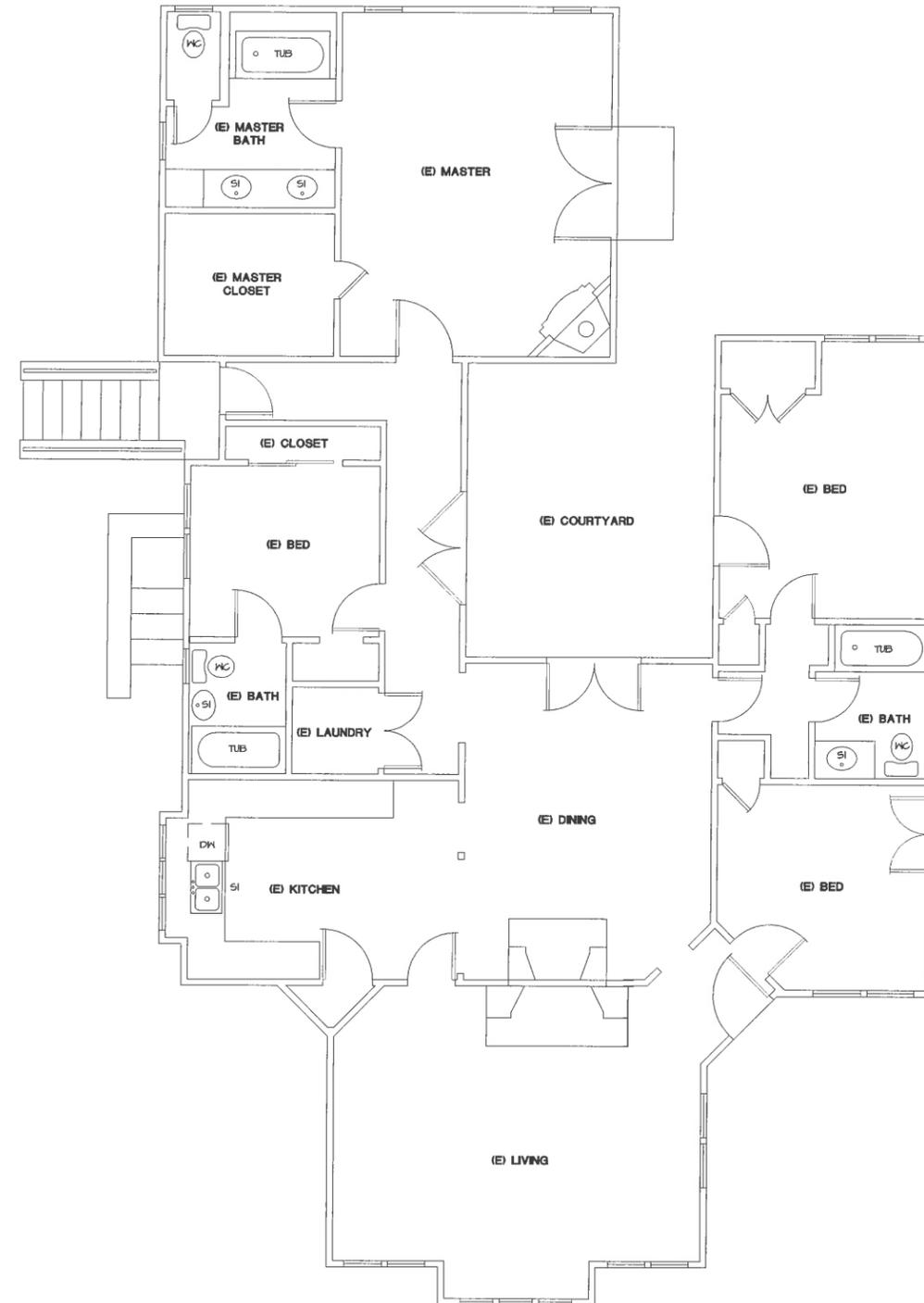


PROJ. NUMBER: 14-012 RYANCARMEL

DRAFTSMAN	SHEET NUMBER
JOB CAPTAIN	<b>EIGHT</b>
PROJ. INCH	78
DATE	OF



**EXISTING BASEMENT FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**EXISTING GROUND LEVEL FLOOR PLAN**  
SCALE: 1/4"=1'-0"

PRELIMINARY  
C O I 5 7 8 6  
Ronald Gene Marlette  
Principal  
**MARLETTE ASSOCIATES**  
ARCHITECTURE  
451 Oak Avenue, Suite 175  
Carmel, CA 95006  
Tel: 559.322.8801 Fax: 559.322.8885

PRELIMINARY  
project  
**REMODEL**  
8TH AVE. BTWN MONTE VERDE & CASANOVA  
CARMEL, CALIFORNIA

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PROJ. NUMBER: 14-012 RYANCARMEL

DRAFTSMAN	SHEET NUMBER
JOB CAPTAIN	<b>TEN</b>
PROJ. MGR	OF 79
THD	

PRELIMINARY

C 0 1 5 7 8 6

Ronald Gene Marlette  
Principal  
MARLETTE ASSOCIATES  
ARCHITECTURE  
481 Clark Avenue, Suite 125  
Carmel, California 93917  
PH: 599.327.8888 FAX: 599.327.8885

project  
**REMODEL**  
8TH AVE. BTWN MONTE VERDE & CASANOVA  
CARMEL, CALIFORNIA

PRELIMINARY

REVISION	DATE
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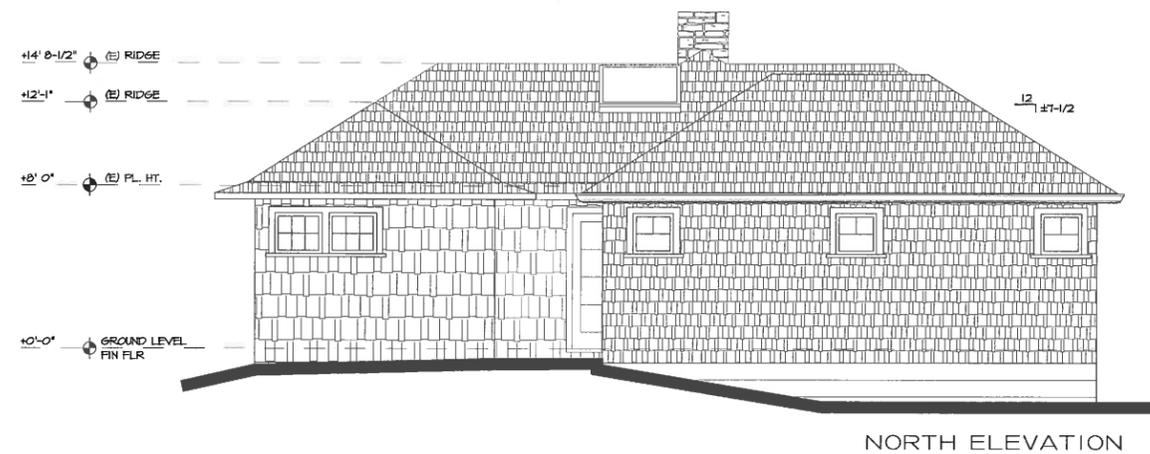
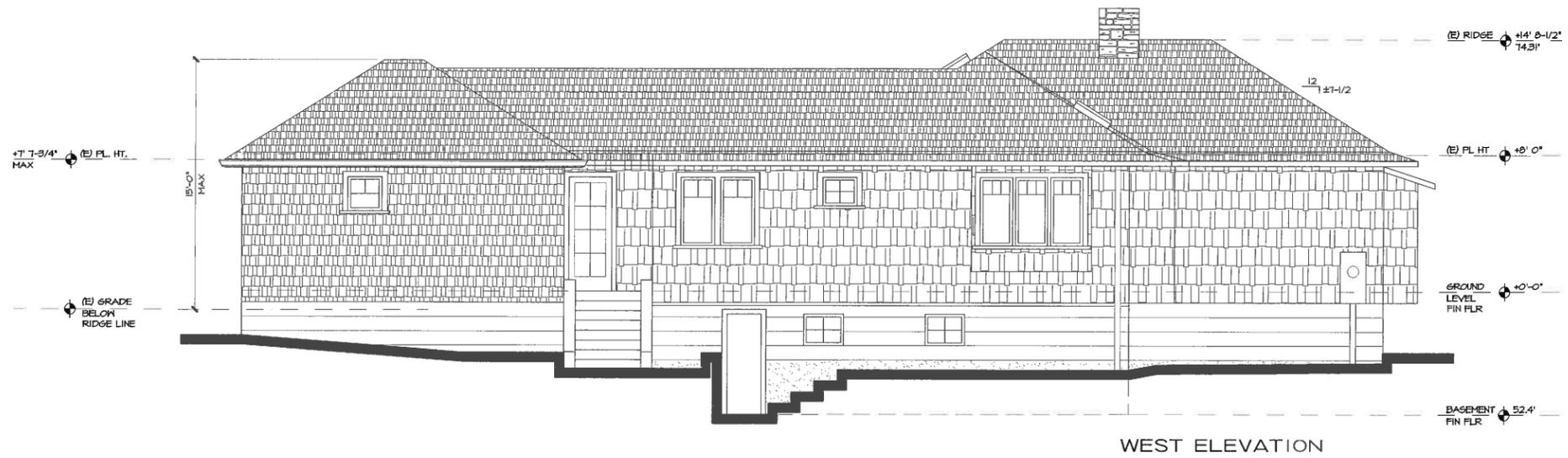
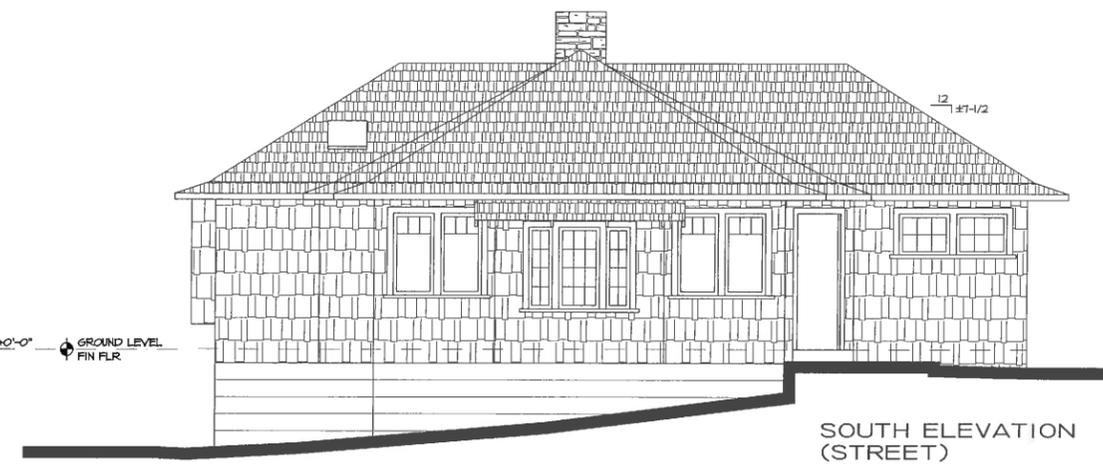
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PROJ. NUMBER: 14-012 RYANCARMEL

PRELIMINARY

DESIGNER	SHEET NUMBER
DR	<b>ELEVEN</b>
OF	80



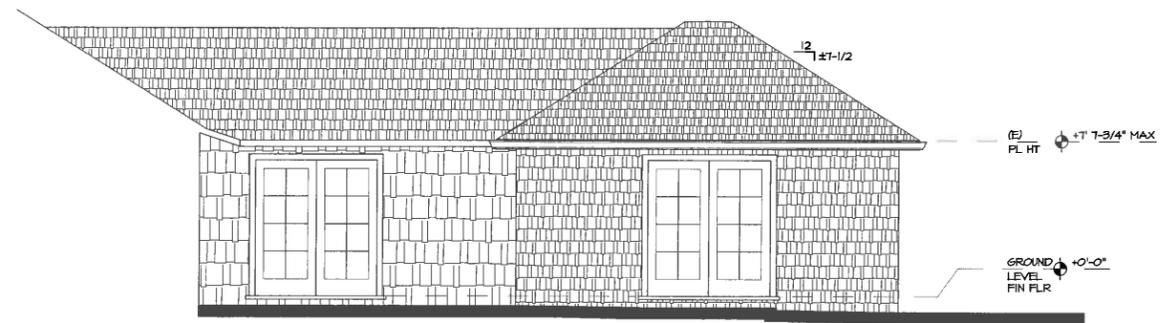
EXISTING EXTERIOR ELEVATIONS



SCALE: 1/4"=1'-0"



EAST ELEVATION



COURTYARD ELEVATION



EXISTING EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

C 0 1 5 7 8 6

Ronald Gene Markette  
Principal  
**MARLETTE ASSOCIATES  
ARCHITECTURE**  
451 Chorro Avenue, Suite 125  
Carmel, CA 95008  
PH: 559.322.8883 Fax: 559.322.8885

**REMODEL**  
8TH AVE. BTWN MONTE VERDE & CASANOVA  
CARMEL, CALIFORNIA

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LICENSED ARCHITECT  
RONALD G. MARLETTE  
NO. C15786  
EXPIRES 07-31-15  
STATE OF CALIFORNIA

PROJ. NUMBER: 14-012 RYANCARMEL

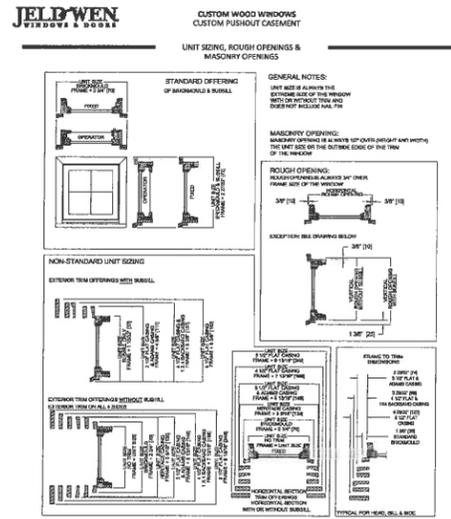
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DESIGNER	<b>TWELVE</b>
DRAWN BY	OF 81



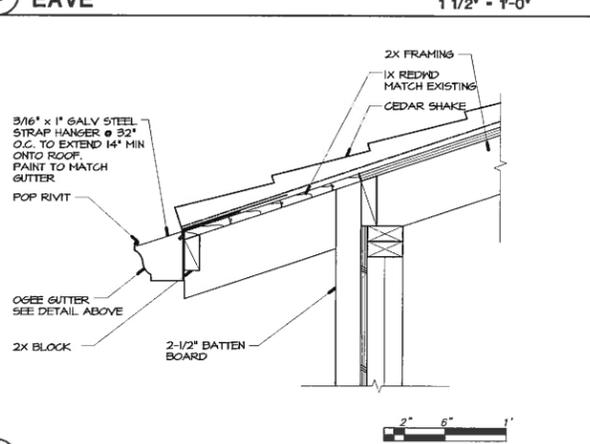
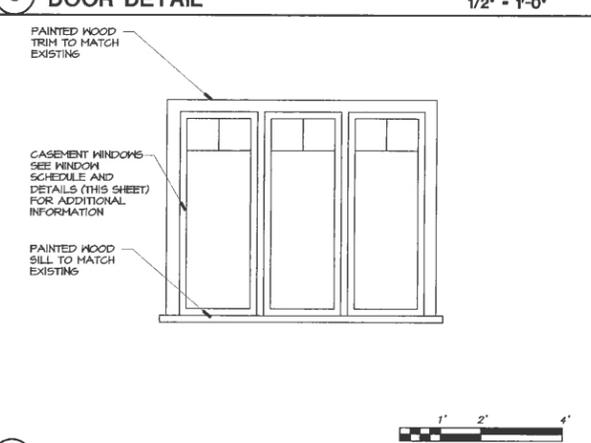
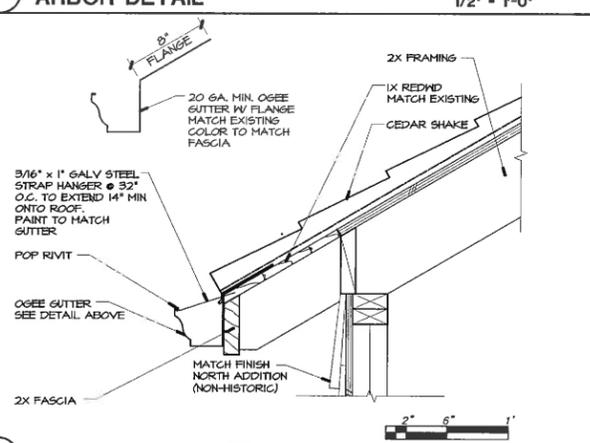
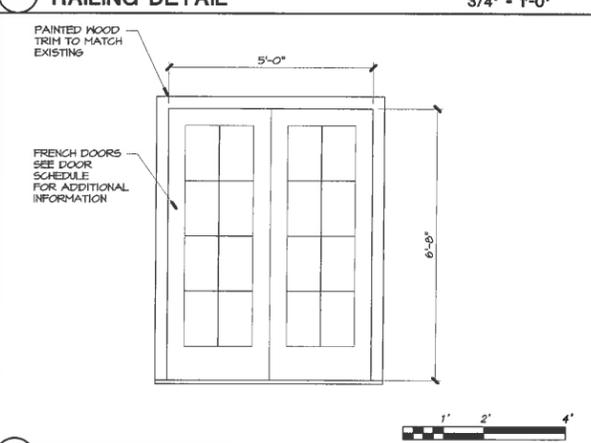
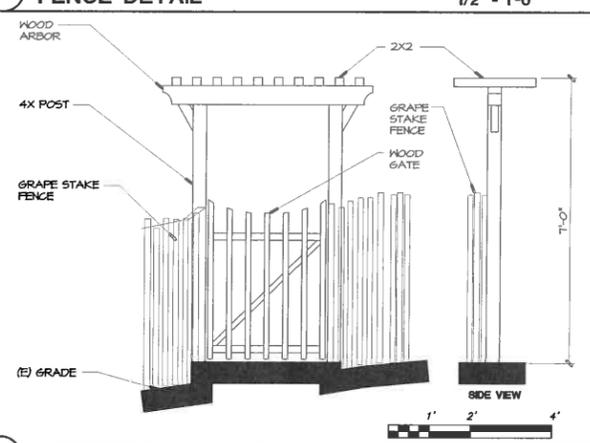
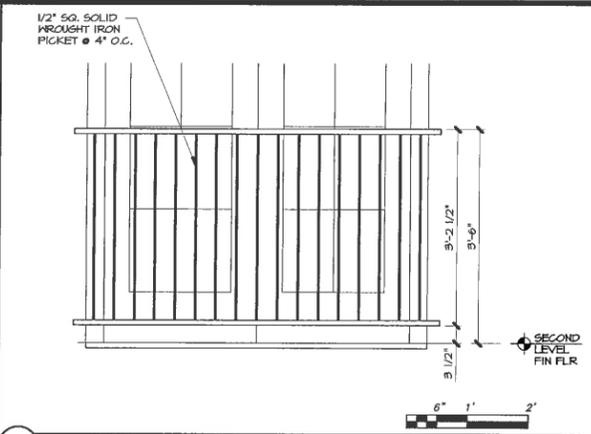
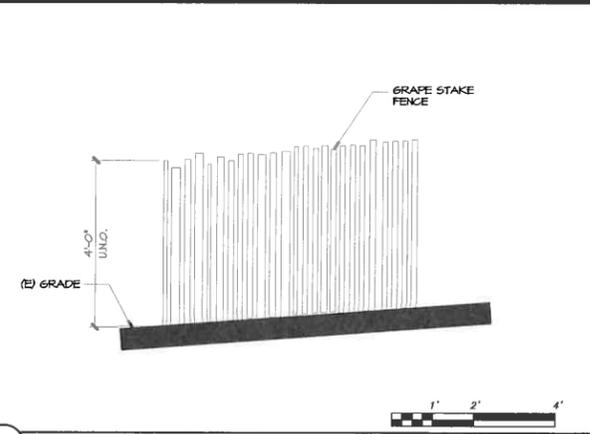
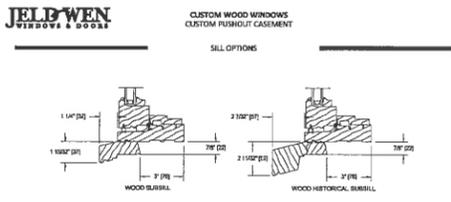
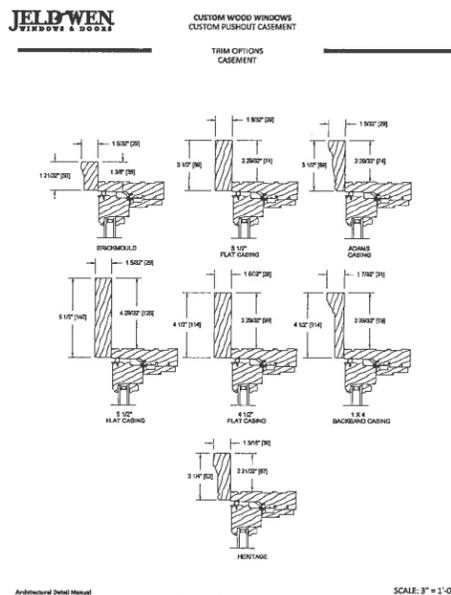
CLIFTON PARK 242DCB	
COPPER FINISH	
SMITH	3.5"
HEIGHT	10.8"
WEIGHT	2.8 LBS
MATERIAL	SOLID BRASS
GLASS	CLEAR BEVELED AND BRASS
FINISH	4.4"
SHOULDER	5.5"
SOCKET	1-1/2" MED
SHOCK	1/2" MED
SPRING	1/2" MED
SPRING	1/2" MED
TTD	4.5"
COL. CODE	1.000
LPC	6486521227

Incandescent Lamps

Wattage	Base	Part No.	Part No.	Part No.
25	E10	110-25	110-25	110-25
40	E10	110-40	110-40	110-40
60	E10	110-60	110-60	110-60
75	E10	110-75	110-75	110-75
100	E10	110-100	110-100	110-100
150	E10	110-150	110-150	110-150
200	E10	110-200	110-200	110-200
250	E10	110-250	110-250	110-250
300	E10	110-300	110-300	110-300
400	E10	110-400	110-400	110-400
500	E10	110-500	110-500	110-500
750	E10	110-750	110-750	110-750
1000	E10	110-1000	110-1000	110-1000
1500	E10	110-1500	110-1500	110-1500
2000	E10	110-2000	110-2000	110-2000
2500	E10	110-2500	110-2500	110-2500
3000	E10	110-3000	110-3000	110-3000
4000	E10	110-4000	110-4000	110-4000
5000	E10	110-5000	110-5000	110-5000
7500	E10	110-7500	110-7500	110-7500
10000	E10	110-10000	110-10000	110-10000



Architectural Detail Manual March 2013 JELD-WEN reserves the right to change specifications without notice. SCALE: NTS Page 2-5



DETAILS

**PRELIMINARY**

C 0 1 5 7 8 6

Ronald Gene Marlette  
Principal  
MARLETTE ASSOCIATES  
ARCHITECTURE  
451 Clark Avenue, Suite 125  
P.O. Box 1322, Carmel, CA 95021  
Tel: 831.922.8885

**REMODEL**  
8TH AVE. BTWN MONTE VERDE & CASANOVA  
CARMEL, CALIFORNIA

DATE	ISSUED FOR	REVISION
11-05-14	TRACT TWO APPLICATION	1
12-19-14	TRACT TWO APPLICATION RESUBMISSION	2
05-09-15	FINAL DESIGN REVIEW	3
		4
		5
		6
		7

PROJ. NUMBER: 14-012 RYANCARMEL

**LICENSED ARCHITECT**  
RONALD G. MARLETTE  
NO. C15786  
EXPIRES 07-31-16  
STATE OF CALIFORNIA

PROJ. NUMBER: 14-012 RYANCARMEL

SHEET NUMBER  
**THIRTEEN**  
OF 82

**PRELIMINARY**



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 10, 2015

**To:** Chair Goodhue and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director RM

**Submitted by:** Ashley Hobson, Contract Planner

**Subject:** Consideration of a Public Bench and Plaque Donation and Coastal Development Permit application for the installation of a bench on the Beach Bluff Pathway at the intersection of 11<sup>th</sup> Avenue and Scenic Road.

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**Recommendation:**

Approve the installation of a new bench at the proposed location for BD 15-173 on the Beach Bluff Pathway at the intersection of 11<sup>th</sup> Avenue and Scenic Road.

**Application:** BD 15-173 (Ferguson)                      **APN:** N/A, City ROW  
**Block:** N/A    **Lot:** N/A  
**Location:** West side of Scenic Avenue at the intersection with 11<sup>th</sup> Avenue.  
**Applicants:** Annabel Allen and Jerry Lambo              **Owner:** City of Carmel-by-the-Sea

**Background and Project Description:**

The City allows funds for public benches to be donated to the City along with small memorial plaques on a limited basis. The applicants, Annabel Allen and Jerry Lambo, are proposing to donate funds for a public bench and plaque to be located on the Beach Bluff Pathway at the intersection of 11<sup>th</sup> Avenue and Scenic Road. The bench would be in honor of Lady Harriet Ferguson, the mother of applicant Annabel Allen and wife of co-applicant Jerry Lambo.

The Beach Bluff Pathway experiences a high amount of foot traffic, and the benches are an important pathway amenity. The installation of additional benches has been discussed among staff, Forest and Beach Commission, and Planning Commission over the past several years. Currently there are approximately 30 benches between 8<sup>th</sup> Avenue and the southern City limits. A map of all current and proposed bench locations along Scenic Road is included as Attachment B.

The location proposed by the applicants for a new bench correlates with Location #7 on the Scenic Road Bench Map, a location that was considered and determined appropriate by the Forest and Beach Commission in their review of potential new bench locations on July 28, 2011 (refer to the

associated staff report, included as Attachment A). Staff has reviewed the location of the bench and is in support of the location. The bench is proposed to be located on the east side of the path and the applicants are requesting a bench with a stone foundation and a wood seat and back to match the adjacent bench to the North.

The applicant is requesting a plaque on the bench with the following text:

*Memories of Sunsets and Xanadu Blue  
Always in my Heart  
Lady Harriet Ferguson, 2015*

**Staff Analysis:**

The City's Public Way Design Standards indicate that the Planning Commission has discretion over the design and siting of furniture in the public Right-of-Way. The Commission should consider whether the location and design are appropriate and whether it serves a public need. The City's Acceptance of Donations and Gifts to the City Policy (No. C89-41) requires that memorial benches be adopted by someone or memorialize someone who lives in Carmel-by-the-Sea.

Staff has reviewed the proposed dedication and determined that it does meet the requirements as a memorial donation to the City. Lady Harriet Ferguson has been a property owner in Carmel-by-the-Sea since 1975, and is the owner and creator of the home called "Xanadu" along Scenic Ave. Lord and Lady Ferguson were the first couple to be married on the 18<sup>th</sup> Hole at the Lodge in Pebble Beach in 1978, and were both prominent artists working from their home in Carmel-by-the-Sea. At their "Xanadu" House, they held many prominent events at their home in Carmel throughout the 1970s and 1980s.

Site photographs of the proposed bench location are included as Attachment C, while an aerial photograph of the proposed location is included as Attachment D. As noted previously, the proposed location conforms to one of the six sites for future benches recommended by the Forest and Beach Commission. Staff recommends that the Planning Commission consider the appropriateness of this site in adjacent to existing benches along the Scenic Pathway. Additionally, staff recommends that the Planning Commission consider the appropriateness of the style of the proposed bench to complement the existing styles along Scenic Ave.

**Alternatives:**

If there are concerns about the siting of this bench or the style of the bench, the Commission could provide direction on a suitable alternative, or the Commission could deny the application. The Commission could also direct staff to work with the applicant to find a more suitable location. Currently-recommended Locations #6 and #12 have been identified for dedication sites for other pending applications; however, all other Forest and Beach Commission-recommended locations remain available.

**Environmental Review:**

The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) of the State CEQA Guidelines— Construction or modification of a limited number of new or existing small structures. The proposed bench does not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – July 28, 2011 Forest and Beach Commission Staff Report
- Attachment B – 2014 Scenic Road Bench Map
- Attachment C – Site Photographs
- Attachment D – Aerial Map

MEMORANDUM

**TO:** Tom Leverone, Chairperson  
Members of the Forest and Beach Commission

**FROM:** Mike Branson, City Forester

**DATE:** 28 July 2011

**SUBJECT:** Provide the Planning Commission a Recommendation on Potential New Bench Locations along the Scenic Road Pathway

---

The City of Carmel Planning Commission is responsible for the approval of any new bench that is to be placed on city property including proposals along the Scenic Road pathway. The Planning Commission has asked the Forest and Beach Commission to look at the pathway and make a recommendation to them on possible sites that are appropriate for future bench locations. The Planning Commission still has the responsibility to review and approve or deny applications for new benches.

At the May meeting, commissioners reviewed the proposed bench location maps and the 16 sites that had some agreement of being possible sites. After discussion the commission determined a site visit would be appropriate before approving a specific location. I have attached the master map of the possible locations and a simple breakdown of the number of locations for each block.

**Eighth to Ninth – three locations**

**Ninth to Tenth – one location**

**Tenth to Eleventh – four locations**

**Eleventh to Twelfth – two locations**

**Twelfth to Thirteenth – four locations**

**Thirteenth to Santa Lucia – one location**

**Santa Lucia to Martin – one location**

Chairperson LEVERONE opened and closed the public hearing. No appearances.

Comments from the Commission: Better signage needed and increased enforcement, no action taken.

- 2. Receive presentation on a proposal to build a community garden in Rio Park.

John Sapp gave his presentation regarding a community Garden in Rio Park. Martha Morrill handed out a hard copy of the presentation.

No public comments.

It was moved by Chairperson LEVERONE and seconded by Commissioner HORNIK to approve the conceptual idea of a Community Garden in Rio Park. The motion carried by the following roll call vote:

AYES: FORD, HORNIK, LEVERONE
NOES: BOARDMAN
ABSTAINED: NONE
ABSENT: KADIS

- 3. Provide the Planning Commission a recommendation on potential new bench locations along the Scenic Road Pathway.

Mike Branson, City Forester gave his presentation.

Chairperson LEVERONE opened and closed the public hearing. No public present.

Following discussion, a vote will be made on each block (see exhibit):

- 1. Scenic Road between 8th and 9th. (Three possible bench locations Bench #1 is the Bench starting at 8th Avenue)

Bench #1 - YES: Ford, Leverone, NO: Boardman, Hornik

Bench #2 - YES: Ford, Leverone, NO: Boardman, Hornik

Bench #3 - NO: Boardman, Ford, Hornik, Leverone

Handwritten notes: 2-2, 2-2, 0-4

- 2. Scenic Road between 9th and 10th. (One possible location)

Bench #4 - YES: Hornik; NO: Boardman, Ford, Leverone

Handwritten note: 1-3

- 3. Scenic Road between 10th and 11th. (Four possible bench locations)

Bench #5 - NO: Boardman, Hornik, Ford, Leverone

Bench #6 - YES: Boardman, Hornik, Ford; NO: Leverone

Bench #7 - YES: Boardman, Hornik, Ford, Leverone (Must be east of pathway - street side)

Bench #8 - YES: Ford, NOES: Boardman, Hornik, Leverone

Handwritten notes: 4-0, 3-1

Handwritten note: 4-0

- 4. Scenic Road between 11th and 12th (Two possible locations)

Bench #9 - YES: Boardman, Ford, Hornik, Leverone

Bench #10 - YES: Boardman; NOES: Ford, Hornik, Leverone

Handwritten note: 1-3

Handwritten note: 4-0

Handwritten note: 1-3

Handwritten circled number 2 with a superscript 2

5. Scenic Road between 12<sup>th</sup> and 13<sup>th</sup>. (Four possible locations)

~~Bench #11~~ - NO: Boardman, Ford, Hornik, Leverone

Bench #12 - YES: Yes, Boardman, Ford, Leverone; NO: Hornik (North of wall, west side of path)

~~Bench #13~~ - NO: Boardman, Ford, Hornik, Leverone

~~Bench #14~~ - NO: Boardman, Ford, Hornik, Leverone

0-4

3-1

0-4

0-4

0-4

6. Scenic Road between 13<sup>th</sup> and Santa Lucia. (One possible location)

Bench #15- NO: Boardman, Ford, Hornik, Leverone

7. Santa Lucia and City Limits

Bench #16 - Boardman, Ford, Hornik, Leverone (Must be on street side)

4-0

It was moved by Chairperson LEVERONE, and seconded by Commissioner FORD to forward a recommendation regarding possible locations for benches to the Planning Commission as requested. The motion carried by the following roll call vote:

AYES:	BOARDMAN, FORD, HORNİK, LEVERONE
NOES:	NONE
ABSTAINED:	NONE
ABSENT:	KADIS

4. Review and provide comments to the Planning Commission on locating a cigarette butt collector box near the Del Mar restroom.

It was moved by Chairperson LEVERONE and seconded by Commissioner FORD to forward comments and recommendation to the Planning Commission as requested;

Comments are as follows: Who will be responsible for emptying the box?  
Who will be responsible for cleaning the box?  
Concerned about smoldering fires inside the box.  
Concerned about the smell of the box.  
Concerned that if the ashes for the box are dumped into the trash, this may cause a fire hazard.

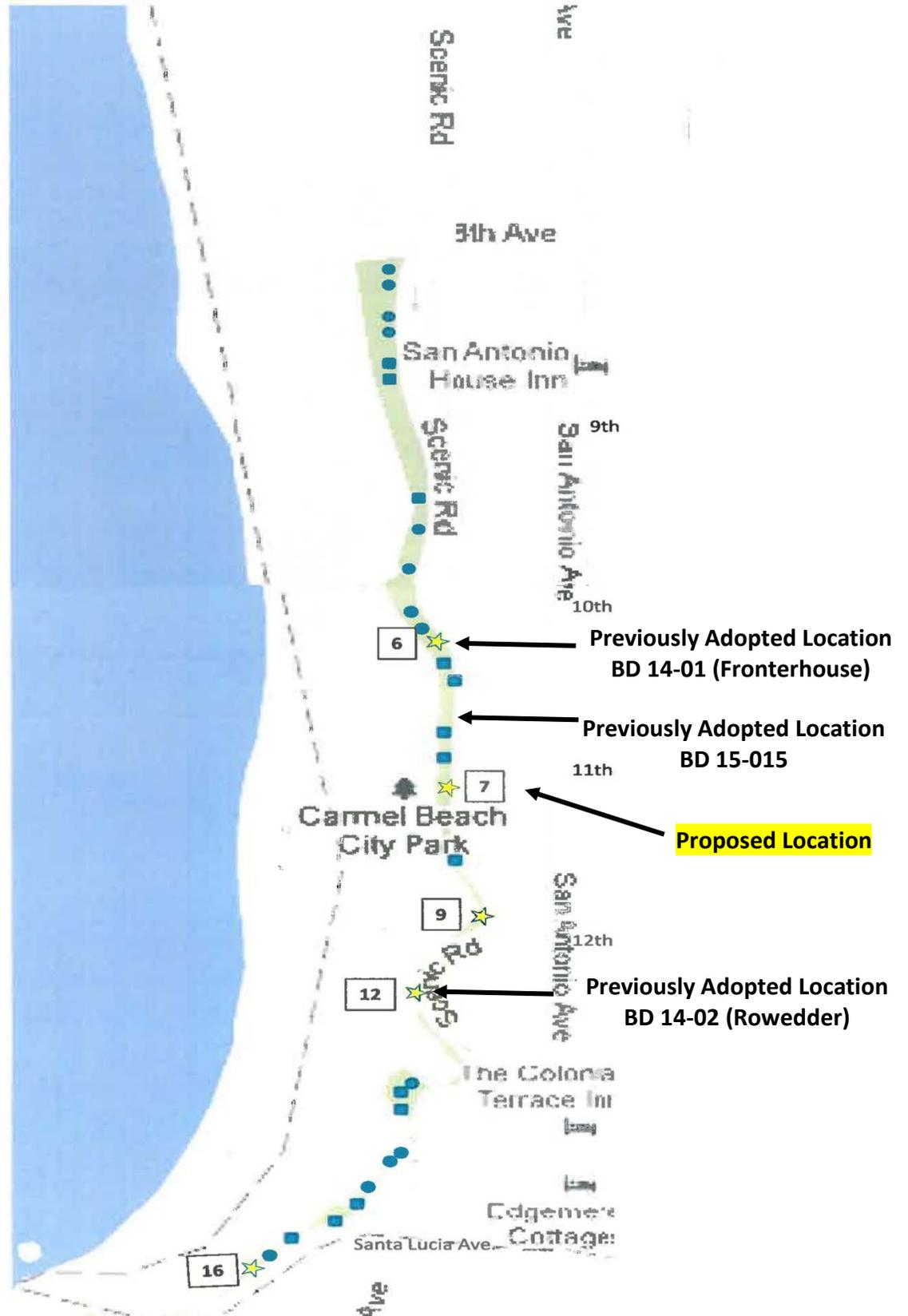
Recommendation: Allow the butt collector box for a six month trial bases.

The motion carried by the following roll call vote:

AYES:	BOARDMAN, FORD, LEVERONE
NOES:	HORNİK
ABSTAINED:	NONE
ABSENT:	KADIS

Attachment B: Scenic Road Bench Map

- Existing wood/stone bench
- Existing log bench
- ★ Forest and Beach Commission recommended



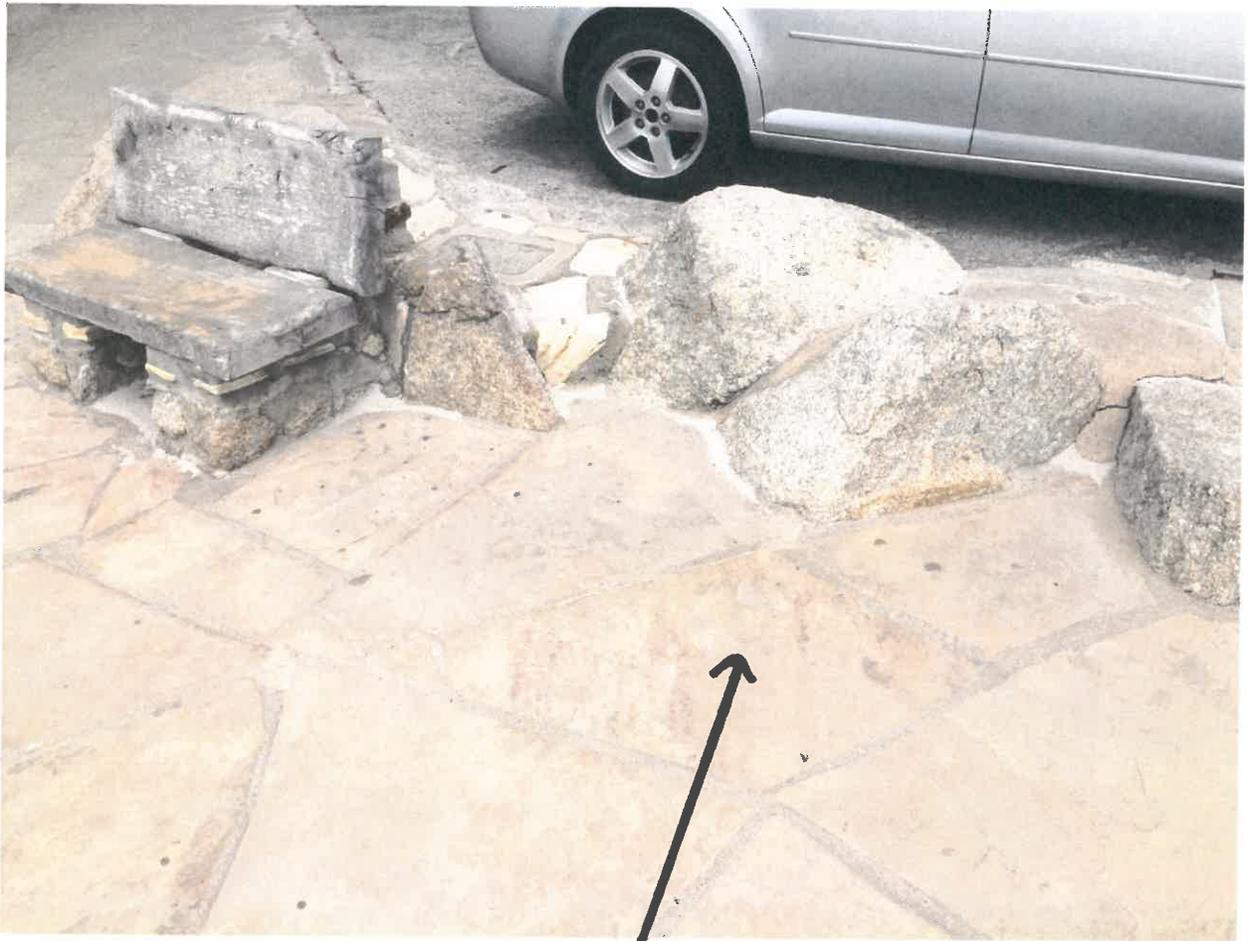
Attachment C – Site Photographs



Proposed Location

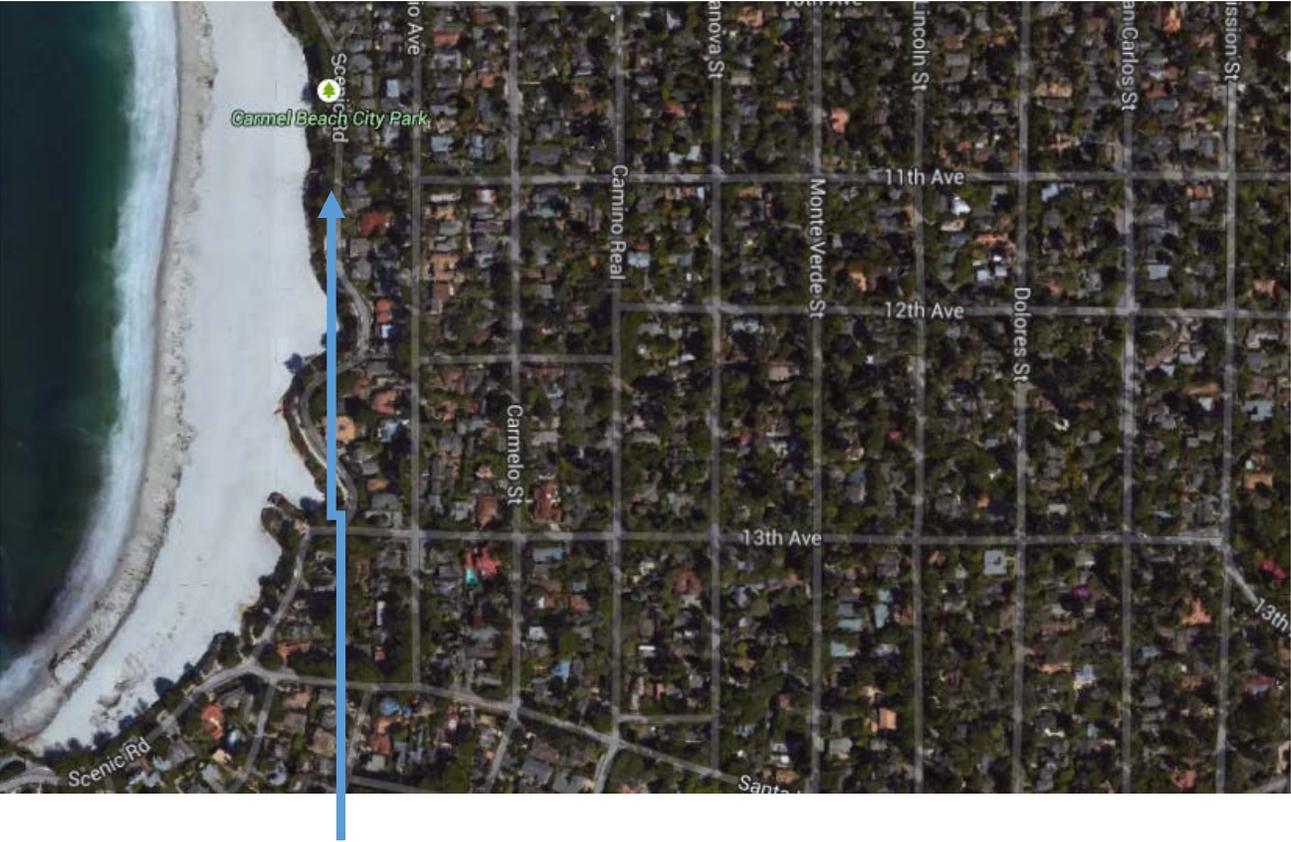


Attachment C – Site Photographs



Proposed Location

**Attachment D – Aerial Map**



**Proposed Location**



final local action by the City. The event will also require a Special Event Permit from the City Community Activities staff.

**Staff Analysis:**

**CDP Requirement:** The City's Municipal Code does not typically require a CDP for temporary events. However, as noted above, certain events do require a CDP. The most pertinent section of the Municipal Code for this determination is Section 17.52.100.I, which sets forth several criteria that must be met for an event to be exempt from a CDP. The proposed event does not comply with the second criteria, as the proposed location is not "remote with minimal demand for public use." Through the review of the CDP, there is a public hearing to provide an opportunity for public comment, and the Commission may include conditions of approval to reduce impacts of the event, including those on coastal resources.

**Impacts on Coastal Recreation:** The event would occupy a substantial area of the 13<sup>th</sup> Avenue Cove, a popular area for beach-goers at Carmel Beach. The dinner is from 6 pm to 10 pm; however, the set-up is proposed to start at 8 am, which will restrict public use of this area for most of the day. The Commission may want to apply a condition of approval to limit the allowed set-up times. Impacts on coastal access parking are also not anticipated, as most guests will walk to the event from the Playa Hotel, and a parking shuttle is proposed to pick up guests following the event.

**Impacts on Other Coastal Resources:** As the event is temporary in nature, with no gas-powered equipment or other hazardous materials and a full site clean-up required by the associated Special Event Permit, no impacts on other coastal resources are anticipated.

**Compliance with Beach Overlay Requirements:** The City's Municipal Code Section 17.20.200.L sets forth a prohibition on commercial activities in the beach and shoreline areas, including the Del Mar Parking Lot. This section of the Municipal Code states:

*17.20.200.L. Commercial Activity Prohibited on Carmel Beach Lands. It is unlawful to conduct sales or undertake commercial activities on Carmel Beach, along the bluff, or in Del Mar parking area west of Scenic Road.*

The Commission conducted an Administrative Determination last year to provide guidance to staff on what types of beach activities and events would be consistent with this Municipal Code

provision and determined that beach events for festivals would not be in conflict with Section 17.20.200.L.

**Alternatives:** Staff recommends approval of CDP 15-122. Draft findings of approval and draft conditions of approval are included as Attachments C and D, respectively. As noted above, the Commission may include any appropriate additional conditions of approval. Should the Commission have objections to the event, the Commission may also deny the application. Staff does not recommend continuing the item, as this would likely make it difficult to get through the entire permit process (and appeal periods) sufficiently in advance of the event.

**Environmental Review:** The proposed event is categorically exempt from CEQA requirements, pursuant to Section 15304 (Class 4) – Minor Alterations to Land. Item (e) in this categorical exemption is for minor temporary use of land having negligible or no permanent effects on the environment. The proposed event would last approximately four hours not including set-up and breakdown, which would occur that same day. It does not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Project Description and Site Plan Sketch
- Attachment B – CMC Sections 17.20.150 and 17.52.100
- Attachment C – Findings
- Attachment D – Conditions of Approval
- Attachment E – Correspondence Received

9<sup>TH</sup> Annual Authors & Ideas Festival Beach Event

The Carmel Ideas Foundation, a 501-c-3 (Tax ID #01-0903800), requests a Special Event Permit to hold the 9<sup>th</sup> annual Authors & Ideas Festival speaker dinner on Carmel Beach at Scenic and 13<sup>th</sup> on September 26, 2015. Our request is the same as for the preceding eight years and includes 2 parking stalls. Set-up is done by Meuse Entertainment, and Jeffrey's Grill and Catering is the caterer. Following are details from previous permit applications:

ESTIMATED ATTENDANCE: 100

HOURS: 6 to 10pm

ADMISSION IS BY PRIVATE INVITATION, WE DO NOT SELL TICKETS

We have always added the City of Carmel to our insurance for this event, as required by the City.

Our caterers bring trash cans and haul away all refuse created by our event.

A rough drawing of past set-up is attached.

We have always conformed to any and all regulations/requirements.

Set-up Requested starting at 8:00 am  
on the day of the event

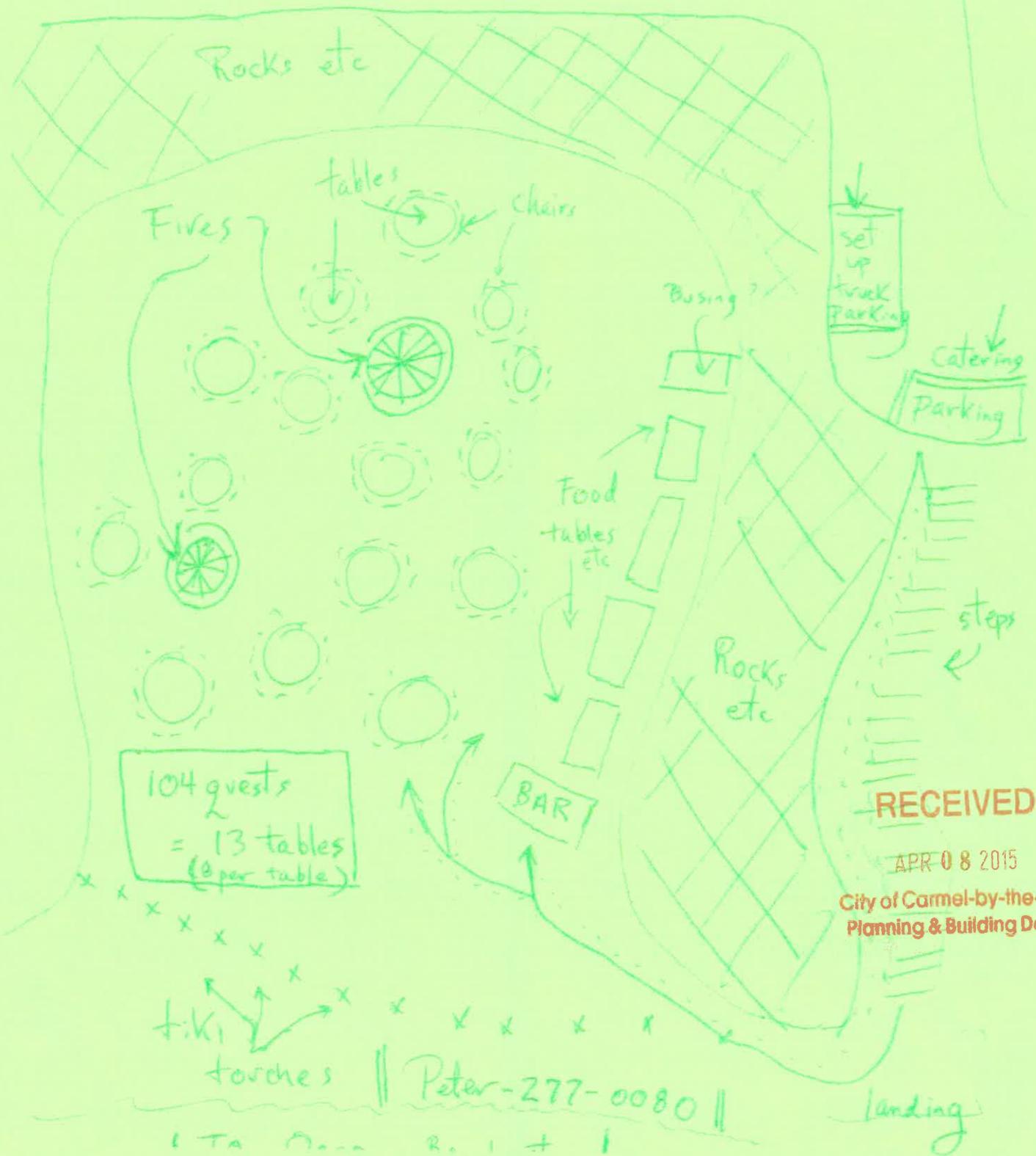
RECEIVED

APR 08 2015

City of Carmel-by-the-Sea  
Planning & Building Dept.

☆ Jim and Cindy McGillen Party ☆  
Scenic Dr.

13<sup>th</sup> st.



104 guests  
= 13 tables  
(8 per table)

RECEIVED

APR 08 2015

City of Carmel-by-the-Sea  
Planning & Building Dept.

tiki torches || Peter-277-0080 ||  
1 TA ... R. 1 + 1

**Authors and Ideas Festival Beach Event Set-up from 2014**



**RECEIVED**

APR 08 2015

**City of Carmel-by-the-Sea  
Planning & Building Dept.**

**17.20.150 Coastal Development Permit Required.** 

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Unless exempted by CMC [17.52.100](#), Development Excluded from Coastal Permit Requirements, all new development, as defined by Chapter [17.70](#) CMC, shall require a coastal development permit, in addition to any other permit(s) required by law. Development undertaken pursuant to such a permit shall conform to the plans, specifications, terms and conditions approved in granting the permit. Notice, hearing and appeal procedures shall be established in Chapter [17.52](#) CMC, Permit Procedures, and Chapter [17.54](#) CMC, Appeals.

**17.52.100 Development Excluded from Coastal Permit Requirements.** 

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This section provides a list of classes and types of development that do not require a coastal development permit. Each exemption in this list also contains limits that specify when the exemption does not apply. The following projects are exempt from the requirement to obtain a coastal development permit:

A. Categorically Excluded Development. Projects or activities specifically identified in a Categorical Exclusion Order certified by the California Coastal Commission consistent with Public Resources Code [30610](#)(e) are exempt from coastal development permit requirements.

B. Improvements to Existing Single-Family Residences. Except as provided in subsection (D) of this section, improvements to existing single-family residences are exempt from coastal development permit requirements. For purposes of this section, the terms “improvements to existing single-family residences” includes all fixtures and structures directly attached to the residence and those structures normally associated with a single-family residence, such as garages, swimming pools, fences, storage sheds and landscaping. Unless specified in a categorical exclusion order as described in subsection (A) of this section, this exemption for single-family residences shall not apply to establishment of any guesthouse or any Class III Subordinate Unit, nor to any of the classes or types of development identified in subsection (D) of this section.

C. Other Improvements. Except as provided below in subsection (D) of this section, improvements to any structure other than a single-family residence or a public works facility are exempt from coastal development permit requirements. For purposes of this section, where there is an existing structure, all fixtures and other structures directly attached to the structure and all landscaping shall be considered a part of that structure.

D. Limits on Exemptions for Single-Family Residences and other Improvements.

## Attachment B – Pertinent Excerpts of the Carmel Municipal Code

1. Improvements to a structure if the structure or improvement is located: on a beach, in a wetland, seaward of the mean high tide line, in an environmentally sensitive habitat area, in an area designated as highly scenic in a certified land use plan, or within 50 feet of the edge of a coastal bluff;
2. On property not included in subsection (D)(1) of this section, that is located within those portions of the beach and riparian overlay district that are west of North San Antonio Avenue or west of Carmelo Street;
3. Any significant alteration of landforms including removal or placement of vegetation on a beach, wetland, or sand dune, or within 50 feet of the edge of a coastal bluff, or in environmentally sensitive habitat areas;
4. The expansion or construction of water wells or septic systems;
5. In areas which the City or Coastal Commission has declared by resolution after public hearing to have a critically short water supply that must be maintained for the protection of coastal resources or public recreational use, the construction of any specified majority water using development not essential to residential use, including but not limited to swimming pools, or the construction or extension of any landscaping irrigation system or other improvement or activity inconsistent with the City's water management plan (Chapter [17.50](#) CMC);
6. On property located in significant scenic resources areas City-wide as designated by the City or Coastal Commission, any improvement that would:
  - a. Result in an increase of 10 percent or more of internal floor area of an existing structure, or
  - b. Result in an additional improvement of 10 percent or less where an improvement to the structure has previously been undertaken pursuant to this section or Public Resources Code Section [30610\(a\)](#), or
  - c. Result in an increase in height of an existing structure by more than 10 percent, and/or
  - d. Would add any significant nonattached structure such as garages, fences, shoreline protective works or docks;

## Attachment B – Pertinent Excerpts of the Carmel Municipal Code

7. Any improvement where the development permit issued for the original structure by the Coastal Commission, regional Coastal Commission, or City indicated that any future improvements would require a coastal development permit.

E. Repair and Maintenance Activities. Repair or maintenance activities that do not result in an addition to, or enlargement or expansion of, the object of those repair or maintenance activities. The exemption provided in this section shall not apply to the following extraordinary methods of repair and maintenance which require a coastal development permit because they involve a risk of adverse environmental impact:

1. Any method of repair or maintenance of a seawall, revetment, bluff retaining wall, breakwater, groin, culvert, outfall, or similar shoreline work that involves:

a. Repair or maintenance involving substantial alteration of the foundation of the protective work including pilings and other surface or subsurface structures;

b. The placement, whether temporary or permanent, of rip-rap, artificial berms of sand or other beach materials, or any other forms of solid materials, on a beach or in coastal waters, streams, wetlands, estuaries and lakes or on a shoreline protective works;

c. The replacement of 20 percent or more of the materials of an existing structure with materials of a different kind; or

d. The presence, whether temporary or permanent, of mechanized construction equipment or construction materials on any sand area, bluff, or environmentally sensitive habitat area, or within 20 feet of coastal waters or streams.

2. Any method of routine maintenance dredging that involves:

a. The dredging of 100,000 cubic yards or more within a 12-month period;

b. The placement of dredged spoils of any quantity within an environmentally sensitive habitat area, on any sand area, within 50 feet of the edge of a coastal bluff or environmentally sensitive habitat area, or within 20 feet of coastal waters or streams; or

c. The removal, sale, or disposal of dredged spoils of any quantity that would be suitable for beach nourishment in an area the City or the Coastal Commission has declared by

## Attachment B – Pertinent Excerpts of the Carmel Municipal Code

resolution to have a critically short sand supply that must be maintained for protection of structures, coastal access or public recreational use.

3. Any repair or maintenance to facilities or structures or work located in an environmentally sensitive habitat area, any sand area, within 50 feet of the edge of a coastal bluff or environmentally sensitive habitat area, or within 20 feet of coastal waters or streams that include:

- a. The placement or removal, whether temporary or permanent, of loose rip-rap, rocks, sand or other beach materials or any other forms of solid materials;
- b. The presence, whether temporary or permanent, of mechanized equipment or construction materials.

4. All repair and maintenance activities that are not exempt shall be subject to the LCP permit regulations, including but not limited to the regulations governing administrative and emergency permits. The provisions of subsection (C) of this section shall not be applicable to those activities specifically described in the document entitled "Repair, Maintenance and Utility Hookups," adopted by the Coastal Commission on September 5, 1978, unless a proposed activity will have a risk of substantial adverse impact on public access, environmentally sensitive habitat area, wetlands, or public views to the ocean.

5. Unless destroyed by natural disaster, the replacement of 50 percent or more of a single-family residence (as measured by 50 percent of the exterior walls), seawall, revetment, bluff-retaining wall, breakwater, groin or any other structure is not repair and maintenance but instead constitutes a replacement structure requiring a coastal development permit.

F. Utility Connections. The installation, testing, and placement in service or the replacement of any necessary utility connection between an existing service facility and any development which has been granted a valid coastal development permit; provided, however, that the City may, where necessary, require reasonable conditions to mitigate any adverse impacts on coastal resources, including scenic resources.

G. Structures Destroyed by Natural Disaster. The replacement of any structure, other than a public works facility, destroyed by a disaster; provided, that the replacement structure meets all the of the following criteria:

1. It is for the same use as the destroyed structure;

## Attachment B – Pertinent Excerpts of the Carmel Municipal Code

2. It does not exceed either the floor area, height, or bulk of the destroyed structure by more than 10 percent; and
3. It is sited in the same location on the affected property as the destroyed structure.

As used in this section, “structure” includes landscaping and any erosion control structure or device which is similar to that which existed prior to the occurrence of the disaster.

H. Repair, Maintenance and Utility Hook-Up Exclusions. Repair and maintenance activities, specifically described in the document adopted by the Coastal Commission on September 5, 1978, titled “Repair, Maintenance and Utility Hook-Up Exclusions from Permit Requirements” unless the proposed activity will have a risk of substantial adverse impact on public access, environmentally sensitive habitat area, wetlands or public views to the ocean.

I. Temporary Event. Temporary events as defined in this title and which meet all of the criteria in subsections (I)(1) through (I)(4) of this section:

1. The event will not occur between Memorial Day weekend and Labor Day or if proposed in this period will be of less than one day in duration including set-up and take-down; and
2. The event will not occupy any portion of a publicly or privately owned sandy beach or park area; public pier, public beach parking areas or the location is remote with minimal demand for public use, and there is no potential for adverse effect of sensitive coastal resources; and
3. A fee will not be charged for general public admission and/or seating where no fee is currently charged for use of the same area (not including booth or entry fees); or, if a fee is charged, it is for preferred seating only and more than 75 percent of the provided seating capacity is available free of charge for general public use; and
4. The proposed event has been reviewed in advance by the Director and the Director determined that it meets the following criteria:
  - a. The event will result in no adverse impact on opportunities for public use of or access to the area due to the proposed location and or timing of the event either individually or together with other temporary events scheduled before or after the particular event;

## Attachment B – Pertinent Excerpts of the Carmel Municipal Code

b. There will be no direct or indirect impacts from the event and its associated activities or access requirements on environmentally sensitive habitat areas, rare or endangered species, significant scenic resources, or other coastal resources as defined in this title;

c. The event has not previously required a coastal development permit to address and monitor associated impacts to coastal resources. For all other proposed temporary events, a coastal development permit must be obtained prior to the event.

J. Record of Permit Exemptions. The Planning Director shall maintain a record of all those developments within the Coastal Zone that have been authorized as being exempt from the requirement for a coastal development permit pursuant to this chapter. This record shall be available for review by members of the public and representatives of the California Coastal Commission. The record of exemption shall include the name of the applicant, the location of the project, and a brief description of the project and why the project is exempt. (Ord. 2004-02 § 1, 2004; Ord. 2004-01 § 1, 2004).



compliance with the City's requirements, a Coastal Development Permit has been requested and is approved.

2. The proposed project is consistent with the land use designation of the site.
3. The proposed project, as conditioned, will not generate adverse impacts to Carmel Beach or surrounding properties.
4. The proposed project, as conditioned, will not be injurious to public health, safety or welfare.
5. The Planning Commission has considered the CEQA Categorical Exemption and determines that the Categorical Exemption has been prepared in compliance with CEQA and is adequate for this project.
6. The documents and other materials that constitute the record of proceedings upon which this decision is based are in the custody of the Community Planning and Building Department of the City of Carmel-by-the-Sea located at Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, Carmel-by-the-Sea, California, 93921.



down and clean up, trash and recycling removal, and pick-up of equipment and porta-potties.

7. Following each year of the event, a post-event meeting or teleconference with the appropriate City staff shall be scheduled by the applicant to review the event and address any permit compliance issues.
8. In the event that the City receives multiple (3 or more) complaints including but not limited to those regarding violations of the conditions of this permit, the permit shall be scheduled for reconsideration by the Planning Commission. The reconsideration of the permit may include revision of the event or its conditions of approval up to and including possible revocation of the permit.

Re: CDP 15-122 (Authors and Ideas)

Leave them alone,  
what a waste of  
money this  
announcement  
is —

Daphne  
Bertero

622-7788

RECEIVED

JUN 03 2015

City of Carmel-by-the-Sea  
Planning & Building Dept

From someone  
who was born in  
Monterey and  
spent many happy  
times on the Carmel  
Beach I believe  
the city of Carmel  
is going in the  
wrong direction on  
its restrictive use  
of the beach.

We live on 13th  
San Antonio 13th  
and I love the  
vibrancy of the  
beach ops —



The new 5<sup>th</sup> Avenue monument sign would be a 6-square foot single-sided sign supported by two 4-inch by 4-inch wood posts that would be 3-ft in height. The sign would be installed in an existing planter box near the southwest corner of 5<sup>th</sup> and Junipero. The new monument sign would have a painted black background with routed white lettering. This sign would also include the business name along with the text “Restaurant • Libations.” Both signs would be constructed of wood and would be located near one of the three entrances (see Attachments A and B).

**Staff analysis:**

**Purpose:** Carmel Municipal Code (CMC) Section 17.40.010 encourages: *“business signs that are simple in graphic design, informative of the business use, and compatible in color and design with adjoining structures.”* CMC 17.40.030.C restricts administrative (staff-level) approval of business signs to a single sign for each business.

**Permit Process:** CMC 17.40.020.B Planning Commission Approval, states:

*Signs which, in the opinion of the Director, require exception from the standards described in this chapter shall be reviewed by the Planning Commission. The Planning Commission also shall review all business signs painted, etched or otherwise applied to glass, all signs made of plastics, fabric or imitation wood and all signs of architectural, cultural, and historical significance. The Commission may grant exceptions only to the number, location, and design of business signs.*

*The following criteria must be satisfied to grant the exception:*

- 1. Number. Additional business signs may be permitted in unusual circumstances such as, but not limited to, a business that has entrances on two different public rights-of-way.*
- 2. Location. Signs shall clearly identify the business entrance. Signs shall be pedestrian-oriented except for gas stations and motels that are recognized by the City as predominately vehicle-oriented business. Clutter from business signs at street frontages shall be avoided. Sign clutter along street frontages from multiple businesses within a courtyard or building shall be avoided.*
- 3. Design. Any exceptions to design standards shall retain compatibility with the design, color, and scale of the building.*

**Business Signs:** CMC 17.40.030 states that business signs shall be:

1. *Informative of the business name and use. The business name shall be the primary design feature on the sign, and all logos and other graphics shall be subordinate to the business name;*
2. *Simple in design. Any creative graphic depictions should be related to the business use and in scale with sign text;*
3. *Oriented toward the pedestrian environment within the commercial district;*
4. *Compatible in design, color, size and scale to the business storefront, adjoining structures and surroundings; and*
5. *Made of permanent and natural materials such as wood, wrought iron, ceramic or stone unless otherwise approved by the Planning Commission.*

Staff is referring the Commercial Sign application to the Planning Commission because the proposed signs exceed City staff's administrative approval authority for two main criteria:

1. More than one sign is proposed.
2. The locations of the proposed signs are not as close as possible to the business entrance.

In addition, the applicant is requesting an exception to the location standard for exterior business signs (CMC 17.40.030.C). According to the location standards for exterior signs, hanging signs are required to maintain a 7-ft vertical clearance from the sidewalk for pedestrians. The applicant would like to keep the existing bracket for the replacement sign in its existing location, which is approximately 5-inches below the required 7-ft vertical clearance. The Planning Commission may grant exceptions to the location of business signs as long as the criteria for "Location" is met (See Attachment E - CMC 17.40.020 Permit Process). The appropriateness of a deviation from the City's 7-ft clearance requirement at the specific location of the sign should be evaluated during the tour of inspection.

Staff supports the proposed second sign, a monument sign, due to the relatively low visibility of the existing hanging sign from Junipero. However, staff suggests the Planning Commission consider the proposed size of the new monument sign during the Tour of Inspection to determine if it is in scale with the existing setting.

In addition, staff has added a Condition of Approval to ensure that the proposed monument sign complies with the City's sign standards with respect to height.

**Alternatives:** The Planning Commission may approve the applicant's proposed commercial signage including the Conditions of Approval, or with revisions, including a reduced size for the

monument sign. The Commission may also deny the request, or continue the item with direction on revisions.

***Environmental Review:*** The application qualifies for a Class 11 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15311 of the State CEQA Guidelines. Class 11 Exemptions include placement of minor structures accessory to existing commercial, industrial, or institutional facilities, including on-premise signs. The proposed signage does not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Proposed Sign Renderings
- Attachment C – Site Plan
- Attachment D – Conditions of Approval
- Attachment E – CMC Section 17.40.020 Permit Process

**Attachment A – Site Photographs**

**Existing hanging sign on Junipero**



**Proposed location for a new monument sign at the southwest corner of 5<sup>th</sup> and Junipero**



18" x 24" x 1.5" ~~Sandblasted or Routed Wood~~ sign, double sided to fit in existing sign frame. Painted Black with White copy.



RECEIVED

APR 23 2015

City of Carmel-by-the-Sea  
Planning & Building Dept.

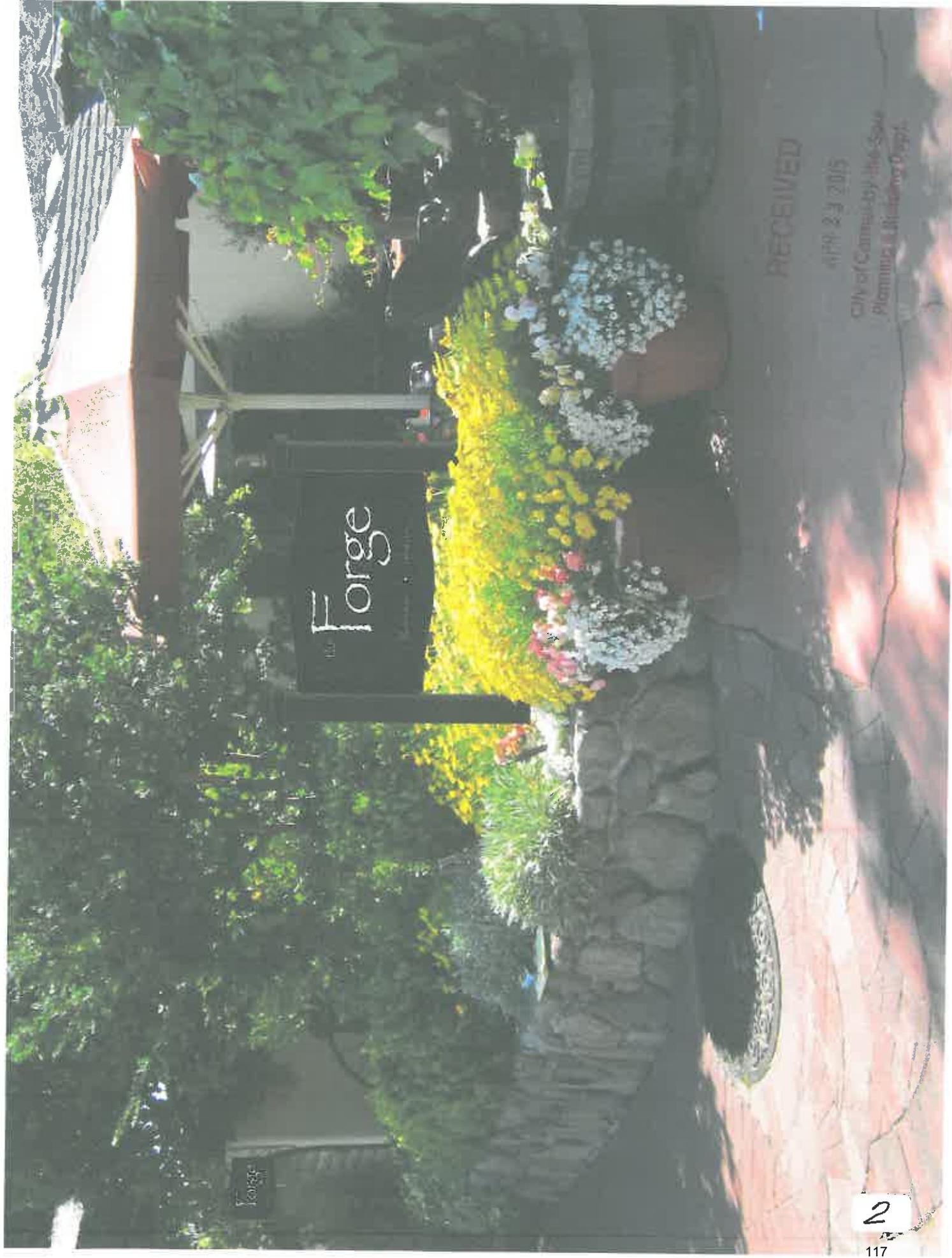
24" x 36" x 1.5" ~~Sandblasted~~ or Routed Wood single sided sign with x 2 - **3'** 4 x 4 posts. Painted Black with White Copy

RECEIVED

APR 23 2015

City of Carmel-by-the-Sea  
Planning & Building Dept.



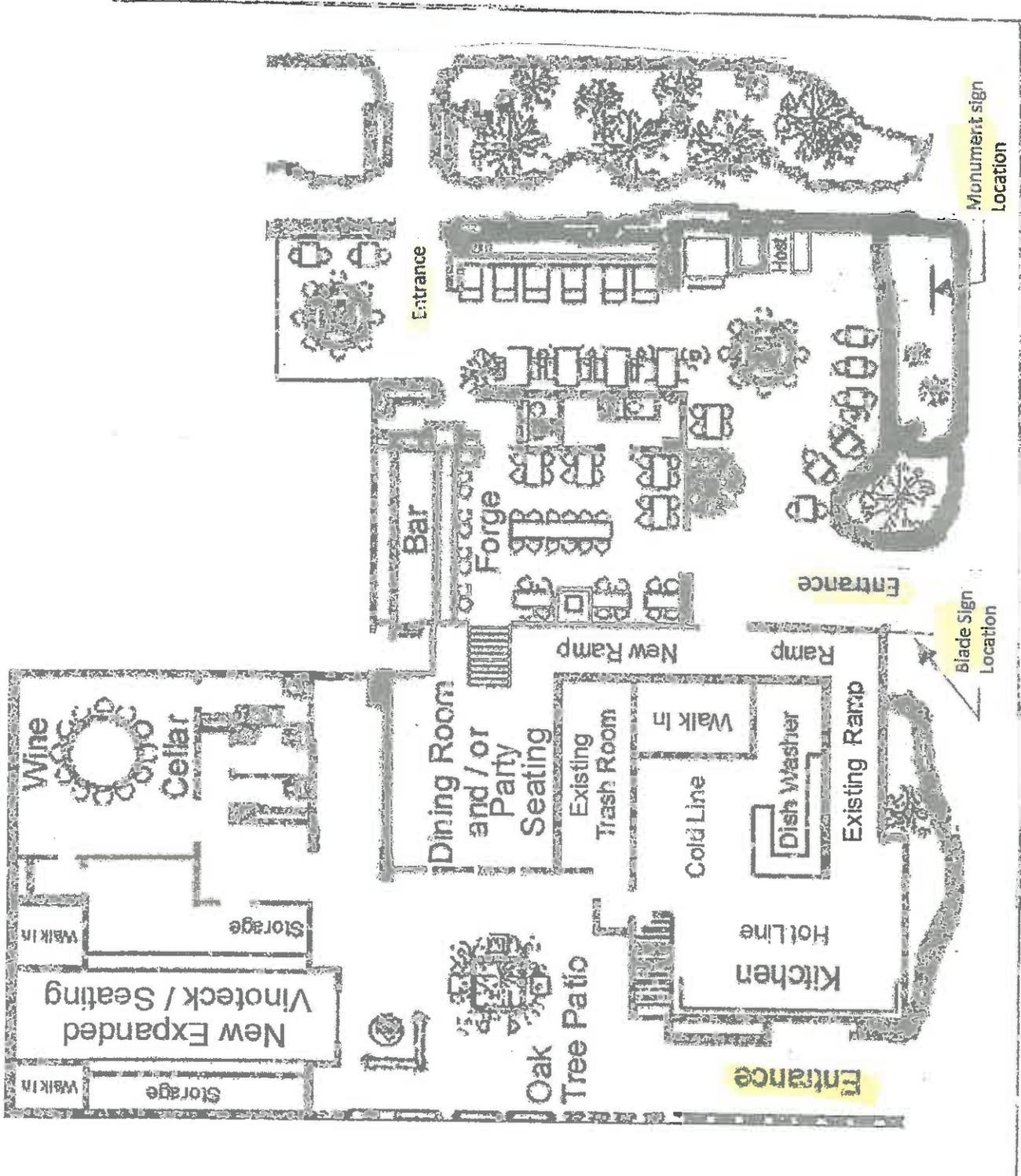


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APR 23 2015

City of Campbell - the State  
Planning & Research Dept.

2



Junipero Ave

# Forge Plot Plan

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MAY 1 2015

City of Carmel-by-the-Sea  
Planning & Building Dept.

CITY OF CARMEL-BY-THE-SEA  
DEPARTMENT OF COMMUNITY PLANNING AND BUILDING  
CONDITIONS OF APPROVAL

SI 15-144  
The Forge  
Junipero 1 SW of 5th  
Block 58, Lots 13 & 15  
APN: 010-146-002 & 010 146-017

---

**AUTHORIZATION:**

1. Sign Permit (SI 15-144) authorizes the replacement of one hanging sign on Junipero and a new monument sign in a planter box on the Junipero frontage near the southwest corner of Junipero and 5<sup>th</sup> for The Forge, as detailed and described in application SI 15-144, and the approved plans of June 10, 2015. The replacement sign material is a double-sided hanging wood sign that will be secured on the existing bracket. The sign is 18” x 24” in area (3 sq. ft.) and approximately 1.5” thick. The new monument sign material is a double-sided that will be supported by two 3-foot 4-inch by 4-inch posts. The new monument sign is 24” x 36” in area (6 sq ft) and approximately 1.5” thick. Both signs will have a black background and have routed white lettering that includes the restaurant name “The Forge” and the text “Restaurant • Libations.”

**SPECIAL CONDITIONS:**

2. The new monument sign shall comply with the City’s standards in Section 17.40.030.C, which requires monument signs to be mounted no higher than 3-ft from the ground.
3. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
Owner/Applicant Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

***Once signed, please return to the Community Planning and Building Department.***

## Attachment E - Carmel Municipal Code Section

### 17.40.020 Permit Process.

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A. Administrative Approval. Upon submittal of an application, the following signs may be approved by the Director: business signs, temporary business signs, business directories, menu boxes, take-away menu holders, real estate signs in the public right-of-way, and parking signs. In order to be approved, these signs must satisfy the purpose, objectives, and standards described in this chapter. At least once each year the Director shall report to the Planning Commission on the business signs, directories, menu boxes and take-away menu holders that have been approved through the administrative process.

B. Planning Commission Approval. Signs which, in the opinion of the Director, require exception from the standards described in this chapter shall be reviewed by the Planning Commission. The Planning Commission also shall review all business signs painted, etched or otherwise applied to glass, all signs made of plastics, fabric or imitation wood and all signs of architectural, cultural, and historical significance. The Commission may grant exceptions only to the number, location and design of business signs. The following criteria must be satisfied to grant the exception:

1. Number. Additional business signs may be permitted in unusual circumstances such as, but not limited to, a business that has entrances on two different public rights-of-way.
2. Location. Signs shall clearly identify the business entrance. Signs shall be pedestrian-oriented except for gas stations and motels that are recognized by the City as predominantly vehicle-oriented business. Clutter from business signs at street frontages shall be avoided. Sign clutter along street frontages from multiple businesses within a courtyard or building shall be avoided.
3. Design. Any exceptions to design standards shall retain compatibility with the design, color, and scale of the building.



and would include a section that meets ADA requirements. A floor plan of the subject commercial space is included as Attachment G.

On June 12, 2012, the Planning Commission approved a Use Permit (UP 12-3) for Mr. Francioni to open a retail wine shop with an ancillary use of art sales. The shop is located on Dolores Street three northeast of Seventh Avenue, in the kiosk adjacent to the Tuck Box restaurant. The wine shop was not permitted to have a tasting component, as there were already five tasting rooms on the “block” and the Commission did not want to approve a sixth tasting room, which would have been inconsistent with the Wine Tasting Policy. The staff report and conditions for this Use Permit are included as Attachment E. Staff notes that there have been some compliance issues with this other establishment’s operation and conditions of approval, with regard to serving wine from the kiosk. Mr. Francioni has indicated that he would close this wine shop if the new wine tasting room is approved.

**Staff analysis:**

**Use Permit:** CMC 17.14.040.B requires a Use Permit to be obtained for an ancillary use of 10% or more of the floor area of the primary use. In this case, the primary use would be retail sale of wine and the ancillary use would be wine tasting. The criterion for allowing an ancillary use is that it is compatible with the primary use. The Commission has determined in the past that wine tasting is an acceptable ancillary use to the retail sales of wine.

**Revised Wine Tasting Policy:** The City Council adopted a revised Wine Tasting Policy on March 3, 2015, which is included as Attachment A. Below is a summary of several of the key components of the adopted wine tasting policy followed by an analysis of the proposal’s compliance with the policy.

- *Wines originating from Monterey County Vineyards and Wineries and locating their off-site tasting rooms in Carmel are desired and strongly encouraged. The tasting room should have a Duplicate Type 02 ABC license of a primary Type 02 ABC licensed winery located within Monterey County. All wines stored, displayed, and offered for sale and tasting should have been produced in a Type 02 Bonded Winery located in Monterey County with the vast majority (i.e. 75% or more) from grapes grown in Monterey County.*

Analysis: As indicated in the applicant's letter (Attachment D), the duplicate Type 02 license for the wine tasting room would come from the Type 02 licensed winery that is based in Monterey County. The applicant notes that 100% of the wines grown and produced would be from Monterey County as well.

- *No more than three wine tasting Use Permits for new locations shall be issued within any 12-month period. To encourage diversity in the Commercial District, retail wine tasting shops located north of Ocean Avenue are strongly encouraged.*

Analysis: This Use Permit (UP 15-134) application would count as one of the three permits allowed annually. The proposed location of the wine tasting room is south of Ocean Avenue, which is inconsistent with the Policy. Staff notes that the City Council recently denied a Use Permit (UP 14-02) application for Tudor Wines, in part because it was located south of Ocean Avenue. Other reasons for the denial included the small size of the space and its layout, which were determined to be inconsistent with the Wine Tasting Policy.

One component of the revised policy is to encourage new wine shops to be located north of Ocean Avenue. The Commission should consider this guideline as it relates to the proposal for a new tasting room.

- *A wine tasting room may be permitted a limited number of special events specified through the Use Permit for the purpose of marketing and educating current and potential customers on wine.*

Analysis: The applicant has indicated to staff that no special events such as wine club meetings, promotional events, or associated functions will occur at the establishment. Condition #4 of the Authorization states that only four special events per year are permitted, subject to written authorization from the Community Planning and Building Director, but that no other additional events are permitted.

- *In order to avoid the appearance of a bar, the wine tasting service and seating area should generally be limited to no more than 30% of the floor area of the retail space. The remaining area should primarily consist of wine-related retail display.*
- *In general, the size of the retail and wine tasting area combined (office and storage excluded) should be no larger than 1,000 square feet.*

Analysis: The size of the commercial space is approximately 492 square feet, which excludes the storage rooms. The proposal includes a standing bar that is approximately 60 square feet in size. Assuming an additional area for patrons standing at the bar, staff has determined that the total tasting area would be 5' x 22' or 110 square feet, and this would comprise approximately 22% of the floor space. There would be no other tables or seats in the tasting room. The proposal is consistent with the above policy guidelines.

- *Tasting should only involve traditional wine based products such as still wines, sparkling wines or Port-type products, no other alcoholic beverages should be permitted to be tasted or purchased.*
- *The maximum serving size should be 2 ounces per serving. Customers should not be permitted to drink bottles of purchased wine in the store and no wine tasting should take place on public property.*
- *Light snacks such as cheese, crackers, and bread may be served; however, meals are not permitted.*

Analysis: The business description, included as Attachment D, indicates compliance with all of these requirements.

- *In order to encourage diversity and maintain a balanced mix of uses, no more than five establishments offering tasting should be permitted within any standard two-block area.*

Analysis: There are four wine tasting rooms in the subject two-block area, including Blair Vineyards, Shale Canyon, Manzoni Cellars, and Dawn's Dream Winery. Staff notes that Nielsen's Market also has a wine tasting component, but the business is not a tasting room. The Commission should consider whether Nielsen's Market should be considered a fifth tasting establishment in this two-block area. If so, then there would five establishments, and any additional establishment would be inconsistent with the policy recommendation of a maximum of five.

- *Night time hours should generally be limited to no later than 9:00 p.m.*

Analysis: Proposed hours are from 12:00 p.m. to 8:00 p.m. daily.

**Alternatives:** Staff has prepared draft findings and conditions of approval for Commission consideration based on the information submitted by the applicant. Special Condition #7 has been drafted requiring the applicant to obtain a Monterey County based Duplicate Type 02 ABC license, prior to implementation of the Use Permit. As an alternative, the Commission could deny the application or request revisions if the Commission finds that the proposal is not consistent with the Wine Tasting Policy or the finding required for granting a Use Permit.

**Environmental Review:** The application qualifies for a Class 3 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 exemptions include projects involving limited new construction projects and conversion of small structures. The proposed project does not present any unusual circumstances that would result in a potential significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Wine Policy
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Applicant Business Description
- Attachment E – ABC License Information
- Attachment F – UP 12-3 Staff Report and Conditions
- Attachment G – Project Plans

**City of Carmel-by-the-Sea**  
**Wine Tasting Policy**  
(Revisions Adopted 3/3/2015)

**Purpose**

To establish guidelines for the review and approval of wine tasting facilities in the Central Commercial and Service Commercial Districts in the downtown.

**Policy**

The General Plan encourages a balanced mix of uses that serve the needs of both local and non-local populations. The Planning Commission recognizes the demand for establishing wine tasting facilities but also recognizes that their proliferation could impact the balanced mix of uses that the General Plan encourages.

**Definition**

A wine tasting room is a stand-alone establishment with a Duplicate Type 02 ABC license, in which the primary purpose to encourage patrons to purchase wine for off-site consumption. Establishments should not operate as a wine bar, where the primary purpose would be for patrons to consume wine on premise other than for the purpose of wine tasting. It is recognized that tasting rooms host occasional promotions and special events to encourage sales and marketing of wine for the education and development of current and potential customers.

The following standards are recommended and shall be considered by the Planning Commission in its review of wine tasting permits:

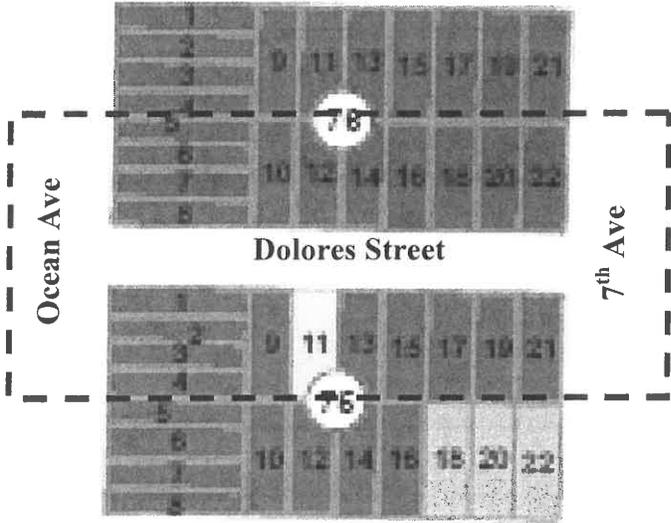
1. Wines originating from Monterey County Vineyards and Wineries and locating their off-site tasting rooms in Carmel are desired and strongly encouraged. The tasting room should have a Duplicate Type 02 ABC license of a primary Type 02 ABC licensed winery located within Monterey County. All wines stored, displayed, and offered for sale and tasting should have been produced in a Type 02 Bonded Winery located in Monterey County with the vast majority (i.e. 75% or more) from grapes grown in Monterey County.
2. No more than three wine tasting Use Permits for new locations shall be issued within any 12-month period. To encourage diversity in the Commercial District, retail wine tasting shops located north of Ocean Avenue are strongly encouraged.
3. A wine tasting room may be permitted a limited number of special events specified through the Use Permit for the purpose of marketing and educating current and potential customers on wine.
4. In order to avoid the appearance of a bar, the wine tasting service and seating area should generally be limited to no more than 30% of the floor area of the

retail space. The remaining area should primarily consist of wine-related retail display.

5. In general, the size of the retail and wine tasting area combined (office and storage excluded) should be no larger than 1,000 square feet.
6. Tasting should only involve traditional wine based products such as still wines, sparkling wines or Port-type products, no other alcoholic beverages should be permitted to be tasted or purchased.
7. The maximum serving size should be 2 ounces per serving. Customers should not be permitted to drink bottles of purchased wine in the store and no wine tasting should take place on public property.
8. Light snacks such as cheese, crackers, and bread may be served; however, meals are not permitted.
9. In order to encourage diversity and maintain a balanced mix of uses, no more than five establishments offering tasting should be permitted within any standard two-block area as depicted in Figure 1.\* For smaller blocks including Blocks 70, 71, 72, and 73; or for other blocks in which these boundaries do not apply, the Planning Commission shall consider proposals on a case by case basis that meet the intent of this density limitation.
10. Night time hours should generally be limited to no later than 9:00 p.m.
11. Wine tasting associated with other uses such as retail food, art galleries, clothing stores, and the like is discouraged.

\*For the purposes of this policy a “standard two-block area” would include all commercial spaces on both sides of a street located between the next two cross streets. The cross streets at the end of the blocks are also included up to the mid-point of each block.

**Figure 1: Example of Standard Two-block Area (max 5 wine tasting establishments)**



## Attachment B – Findings for Approval

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR APPROVAL

UP 15-134  
Ray Franscioni  
RF Wines  
San Carlos Street 2 NE of 7<sup>th</sup> Ave (Carmel Square Courtyard)  
Block 77, Lot 16  
APN: 010-141-005

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### CONSIDERATION:

Consideration of a Use Permit (UP 15-134) to establish a retail wine shop with wine tasting as an ancillary use in an existing commercial space located in the Central Commercial (CC) Zoning District

### RECITALS:

1. The commercial space is located within the Carmel Square Courtyard on San Carlos Street two parcels northeast of 7<sup>th</sup> Avenue. The commercial space is 492 square feet in size excluding storage areas on the east end of the lease area.
2. The proposed uses are classified as follows according to the North American Industrial Classification System (NAICS):  
  
Primary Use  
Retail Sales – 78% (wine, wine related merchandise)  
  
Ancillary Use  
Wine Tasting – 22%
3. Carmel Municipal Code (CMC) Section 17.14.040 requires a Use Permit for proposed ancillary uses of 10% or more. Use Permits require action by the Planning Commission.
4. The applicant applied for a Use Permit on April 20, 2015, to allow for retail wine sales with wine tasting as an ancillary use.
5. The City Council adopted a revised Wine Tasting Policy on March 3, 2015. This Use Permit (UP 15-134) application for RF Wines is subject to the revised Wine Tasting Policy.
10. The application qualifies for a Class 3 Categorical Exemption from the provisions of the

California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 exemptions include projects involving limited new construction projects and conversion of small structures.

**FINDINGS FOR DECISION:**

1. The proposed use is not in conflict with the General Plan.
2. The proposed use, as conditioned, will comply with all zoning standards applicable to the use and zoning district.
3. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.
4. The proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, street capacity and fire protection.
5. The proposed use will not be injurious to public health, safety or welfare and provides adequate ingress and egress.
6. The proposed use will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.
7. The proposed use will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.
8. With conditions applied, the proposed use would generally be consistent with the adopted Wine Tasting Policy.

**OTHER REQUIRED FINDINGS (CMC 17.64.060 – Ancillary Uses):**

1. The ancillary use of wine tasting is compatible with the primary use of retail wine sales.
2. The proposed uses will not exhibit a character of multiple, unrelated activities combined into one business.
3. The store will continue to contribute to the character and diversity of the commercial district.

## Attachment C – Conditions of Approval

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

### CONDITIONS OF APPROVAL

UP 15-134

Ray Franscioni

RF Wines

San Carlos Street 2 NE of 7<sup>th</sup> Ave (Carmel Square Courtyard)

Block 77, Lot 16

APN: 010-141-005

---

#### **AUTHORIZATION:**

1. This Use Permit authorizes the retail sale of wine with an ancillary use of wine tasting based on the following percentages. Of the 492 square feet devoted to retail sales and wine tasting, approximately 78% of this area (382 sq ft) used for retail sales, and approximately 22% of the area (110 sq ft) used for wine tasting.
2. Wine sales and tasting shall be limited to wines produced by RF Wines, LLC.
3. The business is permitted to operate between the hours of 12:00 pm and 8:00 pm daily.
4. Up to four (4) special events are allowed per year, subject to written authorization from the Community Planning and Building Director, after review of the specifics of the request. Such specific requests shall be provided in writing to the Community Planning and Building Department no less than 30 days prior to the event. No other additional events at the establishment are permitted.

#### **SPECIAL CONDITIONS:**

5. Prior to implementation of the Use Permit, the applicant shall submit a revised floor plan that more accurately identifies the percentage of the space devoted wine tasting, and shall include the area occupied by the glass washer. Staff will amend the Use Permit to reflect the revised data if it deviates from the authorization in Condition #1.
6. Tasting shall only involve traditional wine based products such as still wines, sparkling wines or Port-type products, no other alcoholic beverages should be permitted to be tasted or purchased.
7. All wines stored, displayed, and offered for sale and tasting shall have been produced by FR Wines, LLC, in a Type O2 Bonded Winery located in Monterey County with 100% of the grapes grown in Monterey County.

8. The maximum serving size shall be 2 ounces per serving. Customers are not permitted to drink bottles of purchased wine in the store, and no wine tasting shall take place on public property or in the Carmel Square Courtyard.
9. All exterior alterations and/or sign changes, and interior renovations that may require a Building Permit, shall require approval from the Department of Community Planning and Building prior to performing the work.
10. The use shall be conducted in a manner consistent with the presentations and statements submitted in the application and at the public hearing, and any change in the use which would alter the findings or conditions adopted as part of this permit shall require approval of a new Use Permit by the Planning Commission.
11. Violations of the terms of this Use Permit or other ordinances of the City may constitute grounds for revocation of this Use Permit and the associated business license by the Planning Commission.
12. Upon termination or revocation of this Use Permit and/or business license for any reason, the use shall immediately cease and shall not be re-established without issuance of a new Use Permit.
13. Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water use as compared to the previous use, this Use Permit will be scheduled for reconsideration.
14. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

***Once signed, please return to the Community Planning and Building Department.***

**RF WINES, LLC**  
86 Monterey Salinas Hwy  
Salinas, CA 93908

**RECEIVED**

**MAY 20 2015**

**City of Carmel-by-the-Sea  
Planning & Building Dept.**

**To: Department of Community Planning and Building  
City of Carmel-By-The-Sea**

**Request: Use Permit and Business License for RF Wines, LLC**  
**Applicant: Ray Francioni**  
**Address: San Carlos St between Ocean and 7<sup>th</sup>**

Letter of Intent: Ray Francioni, owner of RF Wines, LLC, propose to open a winery tasting room on San Carlos St between Ocean and 7th. The purpose of the tasting room is to increase the exposure of RF Wines, LLC, get new wine club members, and make retail sales of our wines.

Overview of RF Wines, LLC: We are a small family-owned winery, currently making about 3500 cases of wine from Monterey County. RF Wines, LLC was founded in Gonzales, CA located in Monterey County, where it has established a winery facility. Our Monterey facility will provide the Duplicate 02 license for our tasting room.

In support of our tasting room request, we can make the following salient points:

- Our focus is clearly on wine tasting, with a stand-up tasting bar which also will meet ADA requirements.
- Over 70% of the tasting room area would be devoted to retail displays of our wine and limited wine accessories such as cork screws, wine glasses, and similar items; a detailed floor plan is attached
- We will pour only tastes of wine that are 100% produced in Monterey County, and limit pours to 2 ounces or less; no other alcoholic beverages would be poured or sold. The varietals we produce for sale include Pinot Noir, Chardonnay, Cabernet Sauvignon, Merlot, Malbec, and various other varietals & blends. Our Santa Lucia Highland Vineyards produce grapes that are 100% from Monterey County.
- Food would be limited to light snacks such as cheese, crackers, and bread
- We propose to open seven days a week from 12pm-8pm each day, and anticipate having four employees, with no more than two working at a time
- With a focus on wine tasting and retail sales, we do not plan to have any special events in the tasting room
- We would provide an ABC 02 duplicate license from our Monterey County winery facility located in Gonzales, CA

In conclusion, we are a small family winery with extensive ties to Monterey County. Ray was born in Monterey County and has family ties dating back to 1886 in Monterey County. Also, we have many wine club members in the Monterey area. We believe we can make a strong positive contribution to the City of Carmel-by-the-Sea.

2 Attachments

STATE OF CALIFORNIA  
DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL  
ALCOHOLIC BEVERAGE LICENSE

WINEGROWER

VALID FROM

Jul 01, 2014

RF WINES LLC  
86 MONTEREY SALINAS HWY  
SALINAS, CA 93908-8976

EXPIRES

Jun 30, 2015

TYPE NUMBER DUP

02 532370

AREA CODE

2700 26

RENEWAL

BUSINESS ADDRESS (IF DIFFERENT) DBA: RAY FRANSCIONI WINES  
32720 RIVER RD  
GONZALES, CA 93926

CONDITIONS

OWNERS: RF WINES LLC

7



**IMPORTANT INFORMATION**

**EFFECTIVE PERIOD:** This license is effective only for the operating period shown above. A new license will be sent 4 to 6 weeks after the expiration date on your license if payment is timely. Your license status will remain in good standing for 60 days after the expiration date if the renewal payment was received timely. To check the status of your license, visit <http://www.abc.ca.gov/datport/LQSMenu.html>.

**RENEWAL NOTICES:** Renewal notices are sent to premises address unless a specific mailing address is requested. If a notice is not received 30 days before expiration date shown above, contact the nearest ABC office. To assure receipt of notices, advise your local ABC office of any change in address.

**RENEWAL DATES:** It is the licensee's responsibility to pay the required renewal fee by the expiration date shown above.

A Penalty is charged for late renewal and the license can be automatically revoked for failure to pay.

**RENEWAL PAYMENTS:** Renewal payments can be made in person by visiting your local office or sent by mail to ABC Headquarters, 3927 Lennane Drive, Suite 100, Sacramento, CA 95834. If you do not have your renewal notice, your license number and the reason for payment (ex. "renewal") must be clearly indicated on the check. You can contact your local ABC office for your renewal fee amount.

**SEASONAL LICENSES:** It is the licensee's responsibility to pay the required renewal fee prior to the next operating period.

**POSTING:** Cover this license with glass or other transparent material and post it on premises in a conspicuous place.

**CONDITIONS:** A copy of all applicable conditions must be kept on premises.

**LICENSEE NAME:** Only 10 names will be printed on each license. If there are more names associated with the license, they will be indicated by "AND XX OTHERS". All names are on file and available upon request from your local ABC office.

**DBA:** If you change your business name please notify your local ABC office.

If you have any questions regarding this license, contact your local ABC office. You can find the contact information for each district office at <http://www.abc.ca.gov/distmap.html>.

**NOTE: CONTACT YOUR LOCAL ABC OFFICE IF YOUR LICENSED PREMISES WILL BE TEMPORARILY CLOSED FOR MORE THAN 15 DAYS OR WILL BE PERMANENTLY CLOSED.**

RECEIVED

MAY 29 2015

City of Carmel-by-the-Sea  
Planning & Building Dept

**Attachment F – UP 12-3 Staff Report**

CITY OF CARMEL-BY-THE-SEA  
PLANNING COMMISSION  
AGENDA CHECKLIST

MEETING DATE: 13 June 2012

BLOCK: 76 LOT: 18

FIRST HEARING: X

CONTINUED FROM: 5/9/12

ITEM NO: UP 12-3

APPLICANT: Ray Franscioni Wines

STREAMLINING DEADLINE: 7/29/12

SUBJECT:

Consideration of a Use Permit application authorizing a wine shop with an ancillary use of an art gallery at a site located in the Central Commercial (CC) District.

ENVIRONMENTAL REVIEW:

Exempt (Class 5 – Minor Alterations in Land Use)

LOCATION:

E/s Dolores bet. Ocean & 7<sup>th</sup>

ZONING:

CC

ISSUES:

1. Is the proposal consistent with the General Plan and Zoning Ordinance?

OPTIONS:

1. Approve the application as submitted.
2. Approve the application with special conditions.
3. Continue the application with a request for additional information.
4. Deny the application.

RECOMMENDATION:

Option #2 (Approve the application with special conditions.)

ATTACHMENTS:

1. Staff Report dated 13 June 2012.
2. Application materials.

STAFF CONTACT: Marc Wiener, Associate Planner



While the featured artist could potentially change over time, the gallery portion of the business would still be required to operate as a single-artist gallery, meaning that a minimum of 80% of the art work would have to be from an individual artist while the remaining 20% could be from multiple artists (CMC 17.14). Staff has added a special condition to address this requirement.

With regards to the sale of wine, the use would strictly be a retail wine shop and would not have a tasting component. Staff notes that the Tuck Box restaurant will serve Ray Franscioni brand wines, but the wine will be served in the restaurant and not the kiosk. A special condition has been added that the business not be used for wine tasting or serving of alcohol to patrons.

**RECOMMENDATION:**

Approve the application with the attached findings and conditions.

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR DECISION

UP 12-3

Ray Franscioni

E/s Dolores bet. Ocean & 7<sup>th</sup>

Block 76 , Lot 18

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**CONSIDERATION:**

Consideration of a Use Permit application authorizing a wine shop with an ancillary use of an art gallery at a site located in the Central Commercial (CC) District.

**FINDINGS OF FACT:**

1. The retail space is located on Dolores Street three northeast of Seventh Avenue. The space is a 145 square foot kiosk located near the Tuck Box restaurant.
2. The applicant applied for a Use Permit on 15 May 2012 to allow for retail wine sales an art gallery as an ancillary use.
3. CMC Section 17.14.040 requires Planning Commission review for all Use Permits involving ancillary uses of 10% or more.
4. The application is exempt from the requirements of the California Environmental Quality Act (class 5).
5. The proposed uses are classified as follows according to the North American Industrial Classification System (NAICS):

Primary Use

Retail Sales – 75% (Wine, Wine related merchandise)

Ancillary Use

Art Gallery – 25%

**FINDINGS FOR DECISION:**

1. The proposed use is not in conflict with the General Plan.
2. The proposed use, as conditioned, will comply with all zoning standards applicable to the use and zoning district.

3. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.
4. The proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, street capacity and fire protection.
5. The proposed use will not be injurious to public health, safety or welfare and provides adequate ingress and egress.
6. The proposed use will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.
7. The proposed use will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.

**REQUIRED FINDINGS (CMC 17.64.060 – Ancillary Uses)**

1. The ancillary use of art gallery is compatible with the primary use of retail wine sales.
2. The proposed uses will not exhibit a character of multiple, unrelated activities combined into one business.
3. The store will continue to contribute to the character and diversity of the commercial district.

**SPECIAL CONDITIONS:**

1. This permit authorizes the retail sale of wine with an ancillary use of an art gallery at the percentages identified above.
2. The store is permitted to operate between the hours of 8:00 a.m. and 10:00 p.m. daily.
3. The business shall operate as a single-artist gallery as defined by CMC 17.14.040.T.
4. No wine tasting or serving of open alcoholic beverages shall occur from the subject business.
5. The applicant shall obtain any applicable licenses with the ABC prior to operation.

6. All exterior alterations and/or sign changes, and interior renovations that may require a building permit, shall require approval from the Department of Community Planning and Building prior to performing the work.
7. The use shall be conducted in a manner consistent with the presentations and statements submitted in the application and at the public hearing, and any change in the use which would alter the findings or conditions adopted as part of this permit shall require approval of a new use permit by the Planning Commission.
8. This use permit shall become void and of no further force or effect if the use is not initiated within six months and/or upon termination or discontinuance of the use for any period of time exceeding six months.
9. Violations of the terms of this use permit or other ordinances of the City may constitute grounds for revocation of this use permit and the associated business license by the Planning Commission.
10. Upon termination or revocation of this use permit and/or business license for any reason, the use shall immediately cease and shall not be re-established without issuance of a new use permit.
11. Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water use as compared to the previous use, this Use Permit will be scheduled for reconsideration.
12. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

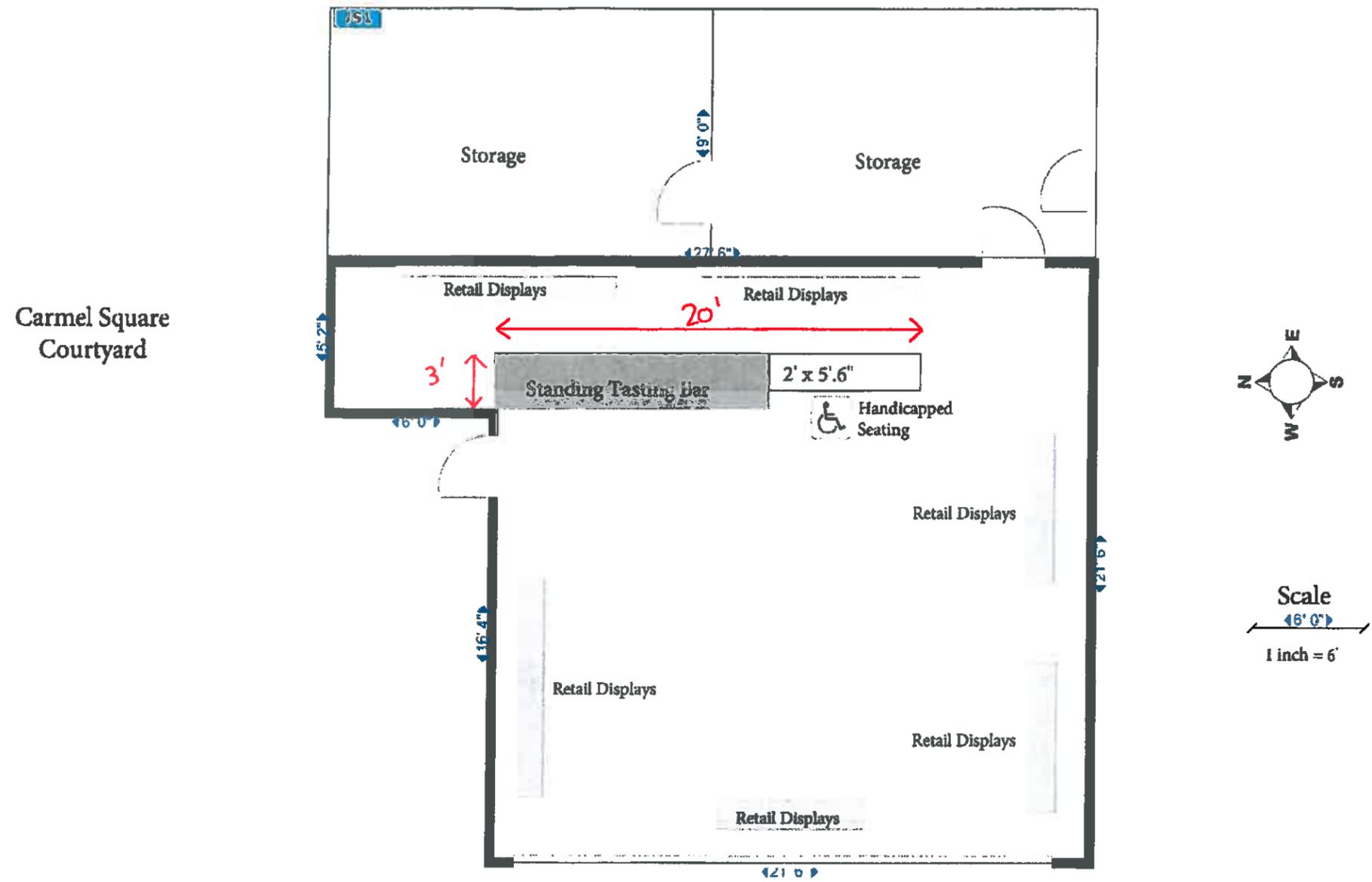
13. The wine shop shall only sell wines from the Ray Franscioni Winery.

**DECISION:**

This use permit is approved with the findings and conditions stated above.

# Carmel Square





RECEIVED  
 MAY 20 2015  
 City of Carmel-by-the-Sea  
 Planning & Building Dept.

RECEIVED  
 20 2015  
 City of Carmel-by-the-Sea  
 Planning & Building Dept.



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 10, 2015

**To:** Chair Goodhue and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director RM

**Submitted by:** Ashley Hobson, Contract Planner

**Subject:** Consideration of Concept Design Study (DS 15-106) for substantial alterations to an existing single-family residence located in the Single-Family Residential (R-1) Zoning District.

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**Recommendation:**

Accept the Concept Design Study (DS 15-106) subject to the attached findings and recommendations/draft conditions.

<b>Application:</b> DS 15-106	<b>APN:</b> 010-101-007
<b>Block:</b> 14	<b>Lot:</b> 13
<b>Location:</b> Santa Fe, 4 NW of 2 <sup>nd</sup> Ave.	
<b>Applicant:</b> Adam Jeselnick, Architect	<b>Property Owner:</b> Chris and Kristen Kitterman

**Background and Project Description:**

The project site consists of a single-family dwelling on a 4,000-square foot lot, located on Santa Fe Street, 4 parcels northwest of Second Avenue. The existing dwelling is 1,209 square feet in size and includes a 240-square foot carport and 974-square feet of existing site coverage. The site coverage consists of a brick patio, a brick retaining wall, a paved driveway, and multiple walkways.

The applicant has submitted plans to add a master bedroom and a detached garage to the single-family residence. The project components include: 1) the addition of 380-square feet to the rear of the house, 2) the removal of the existing carport and the creation of a new 252-square foot garage within the 15-foot front setback, 3) a new 4-foot high grape stake fence along the front property line, 4) a new 245-square foot deck in the rear yard, 5) a reduction of 419-square feet of site

coverage, 6) a new gas-fueled outdoor fireplace attached to the garage, 7) three new skylights, 8) new wood siding and stone cladding, 9) new painted wood windows, and 10) a new tile roof.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass and scale related to the project. However, the Commission may provide input on other aspects of the design.

<b>PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:</b>			
<b>Site Considerations</b>	<b>Allowed</b>	<b>Existing</b>	<b>Proposed</b>
Floor Area	1,800 sf (45%)	1,209 sf (30%)	1,791 sf (44.7%)
Site Coverage	556 sf*	974 sf (24%)	555 sf (14%)
Trees	3 Upper /1 Lower (recommended)	12 Trees	12 Trees
Ridge Height (1 <sup>st</sup> only)	18 ft	12 ft	12 ft
Plate Height (1 <sup>st</sup> only)	12 ft	8 ft	8 ft
<b>Setbacks</b>	<b>Minimum Required</b>	<b>Existing</b>	<b>Proposed</b>
Front	20 ft	27 ft 7 in	27 ft 7 in (residence) 1 ft 4 in (detached garage)
Composite Side Yard	10 ft (25%)	Min: 14.5 ft (36%)	Min: 14.5 ft (36%)
Minimum Side Yard	3 ft	Min. North Side: 7 ft Min. South Side: 2.5 ft North Side Garage: 3.5 ft	Min. North Side: 7 ft Min. South Side: 2.5 ft North Side Garage: 3.5 ft
Rear	15 ft	32 ft	Min: 4 ft 3 in
*Includes bonus for 50% or more permeable site coverage			

**Staff analysis:**

**Forest Character:** Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

The site contains twelve trees, one of which is classified as a significant, a Coast Live Oak which is located in the rear of the property. The project proposal does not include the removal of any trees;

however the applicant is requesting to construct a new deck around the base of the significant 8-inch diameter Oak Tree in the rear yard. The deck is proposed to be approximately 5 feet above grade at the highest point. The City Forester has reviewed the plans and determined that the deck would not have significant impacts to the growth of the tree.

The City Forester has already recommended one lower canopy tree to be planted on site. A condition has been drafted requiring the applicant to include a proposal for one new lower canopy tree on the plans submitted for final Planning Commission Review.

**Privacy & Views:** Residential Design Guidelines 5.1 through 5.3 state that *“designs should preserve reasonable solar access to neighboring parcel;” “maintain privacy of indoor and outdoor spaces in a neighborhood;”* and *“maintain view opportunities.”*

Staff has not identified any view or privacy impacts that would be created by the addition. The proposed addition would be set 2 feet below the ridge of the existing single-family dwelling, and therefore is not anticipated to create any significant view or privacy impacts to the adjacent neighbors. The proposed deck would not exceed 5 feet above the existing grade and should not allow any views into neighboring residences.

**Mass & Bulk:** Residential Design Guidelines 7.1 through 7.6 encourage a building’s mass to relate *“to the context of other homes nearby”* and to *“minimize the mass of a building as seen from the public way or adjacent properties.”* Further, these guidelines state that *“a building should relate to a human scale in its basic forms.”*

The proposed master bedroom addition would be located at the rear of the home and would not have a significant impact on the mass and bulk viewed from the street. The applicant has also reduced the height of the proposed addition to minimize the bulk and work in the context of the grade of the site, which steps down from the front property line. The new detached garage would add some additional building mass to the street elevation, but in staff’s opinion, does not present a substantial issue.

**Building & Roof Form:** Residential Design Guidelines 8.1 through 8.3 state that *“Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roof with low plate lines can be used on two-story buildings.”* The Guidelines emphasize using *“restraint”* and *“simplicity”* in building forms, which should not be complicated, and roof lines, which should *“avoid complex forms.”*

The applicant is proposing a 3:12 hipped roof on the master bedroom addition and a 3:12 gable roof on the new garage. The existing residence consists of all 3:12 hipped roofs with a flat roof over the carport. In staff's opinion, the proposed additions, including the detached garage, are compatible with the design of existing residence and would not create an overly complicated appearance.

**Detached Garage:** Residential Design Guideline 6.2 states that "*parking facilities that maintain or enhance variety along the street edge are encouraged.*" CMC 17.10.030 allows for detached garages and carports to encroach into the front and/or side yard setbacks if certain standards can be met. These include avoiding impacts on significant trees and providing diversity to the streetscape.

A new 252-square foot detached garage is proposed to be built 1-foot 4-inches from the front property line and 3-feet 6-inches from the side property line. The garage would be located approximately 8 feet from the Santa Fe Street edge of pavement. The majority of the homes on the street do not have garages set close to the street, and therefore the proposed garage would enhance variety along the street. Staff supports the location of the new garage as it would provide diversity to the neighborhood streetscape and does not impact significant trees on the property.

**Outdoor Fire Place:** The project proposal includes a 19-inch high outdoor gas-burning fireplace attached to the rear of the proposed garage. The chimney of the fireplace is proposed to be 12.5 feet high and located approximately 7 feet away from the side property line. The Building Official has reviewed the proposed location of the fireplace and has not expressed any initial concerns. The entire fireplace and chimney are proposed to be made out of Carmel Stone and the fireplace would be gas-fueled.

**Fences:** The existing fence along the front property line is 6 feet in height, which exceeds the City's 4-foot height limit. The applicant is proposing to demolish the existing 6-foot fence to replace it with a new 4-foot grape-stake fence. The existing 6-foot fence along the side and rear property lines is proposed to remain with a new section added along the south property line where there is not an existing fence.

**Public ROW:** The unimproved portion of the City Right-of-Way (ROW) between the front property line and edge of pavement is approximately 12 feet wide. The existing grape stake fence along this frontage encroaches approximately 1 foot into the City ROW. Additionally, there are brick pillars, a low brick retaining wall on the south side of the driveway, and brick steps at the front entryway onto the property that all encroach into the ROW. The applicant is proposing to remove the fence

and replace it with a 4-foot fence on the property, as well as remove all additional encroachments into the ROW.

***Environmental Review:*** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 582-square foot addition to an existing 1,209-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Draft Recommendations/Conditions
- Attachment D – Project Plans

**Attachment A – Site Photographs**



**Front of the property**



**Front Façade**

**Attachment A – Site Photographs**



**Location of Proposed Addition**

## Attachment B – Findings for Concept Acceptance

DS 15-106 (Kitterman)  
 June 10, 2015  
 Concept Findings  
 Page 1

<b>FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)</b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive	✓	

in context with designs on nearby sites.		
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	TBD	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):**

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

## Attachment C – Recommendations/Draft Conditions

DS 15-106 (Kitterman)

June 10, 2015

Recommendations/Draft Conditions

Page 1

<b>Recommendations/Draft Conditions</b>		
<b>No.</b>		
1.	The applicant shall submit a landscape plan for final Planning Commission review that includes a proposal for one new lower-canopy tree on the site.	

**GENERAL NOTES**

--

**PROJECT DATA**

SCOPE OF WORK:  
 REMODEL OF AN EXISTING SINGLE-FAMILY RESIDENCE AND ADDITION OF NEW MASTER SUITE WITH A NEW WOOD DECK. REMOVE EXISTING CARPORT AND CONSTRUCT A NEW DETACHED GARAGE. NEW ROOF, WINDOWS, AND STONE VENEER AS NOTED..

CONSTRUCTION TYPE: V-B  
 OCCUPANCY: R-3  
 FIRE SPRINKLERS: ==  
 WATER: CAL-AM (E)  
 SEWER: CARMEL AREA WASTE WATER DISTRICT (E)

TREE REMOVAL: AS NOTED  
 GRADING: < 100 CUBIC YARDS

SITE COVERAGE CALCULATIONS:

**EXISTING**  
 REAR + SIDE BRICK PATIO 579 SF  
 FRONT BRICK WALKWAY 231 SF  
 (E) DRIVEWAY 164 SF

**TOTAL, (E) COVERAGE: 974 SF**  
 \* MAX. ALLOWABLE COVERAGE = 556 SF

**PROPOSED**  
 (N) REDWOOD DECK + STAIRS 245 SF  
 (E) SIDE WALK + PATIO 211 SF  
 (N) FRONT D.G. WALKWAY 84 SF  
 (N) PERMEABLE PAVER DRIVEWAY 15 SF

PERMEABLE  
 NON-PERMEABLE  
 PERMEABLE  
 PERMEABLE

**TOTAL, (N) COVERAGE: 555 SF**

FLOOR AREA CALCULATIONS:

**EXISTING**  
 (E) HOUSE, MAIN LEVEL 969 SF  
 (E) CARPORT 240 SF

**TOTAL, (E) HOUSE 1209 SF**

(E) HOUSE, MAIN LEVEL 969 SF  
 (P) HOUSE, MASTER B.R. 380 SF  
 (P) HOUSE, WORK ROOM 190 SF  
 (P) GARAGE 252 SF

**TOTAL, (P) SF: 1,791 SF**

\*NOTE: MAX. ALLOWABLE AREA = 1800 SF

**SHEET INDEX**

- A1 PROJECT DATA AND SITE LOCATION
- A2 NOTES AND SPECIFICATIONS
- SITE SURVEY
- A3 SITE PLAN, EXISTING + PROPOSED
- A4 FLOOR PLANS, EXISTING / DEMOLITION
- A5 PROPOSED FLOOR PLANS
- A6 PROPOSED ROOF PLAN
- A7 EXISTING BUILDING ELEVATIONS
- A8 PROPOSED BUILDING ELEVATIONS

**PROJECT DATA**

PROPERTY ADDRESS: SANTA FE 4N/W 2ND AVENUE  
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

A.P.N. 010-101-007-000

ZONING: R-1 SINGLE FAMILY RESIDENTIAL

OWNER: CHRISTOPHER AND KRISTIN KITTERMAN  
 WALNUT CREEK, CALIFORNIA

ARCHITECT: **ADAM JESELNICK ARCHITECT**  
 3069 LORCA LANE  
 CARMEL, CA 93923  
 PHONE: (831) 620.5164 m  
 CONTACT: ADAM JESELNICK AIA  
 EMAIL: aejarch@gmail.com

CONTRACTOR: TBD.



PROJECT LOCATION

1 VICINITY MAP  
 SCALE: N.T.S.



ADAM JESELNICK ARCHITECT



**KITTERMAN RESIDENCE**  
 SANTA FE 4 N/W 2ND AVENUE  
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

TITLE SHEET

05-10-2015

AS NOTED

**A1**

**GENERAL NOTES**

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE. CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE **2013 CALIFORNIA RESIDENTIAL BUILDING CODE (CBC)**; CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.

**SPECIFICATIONS**

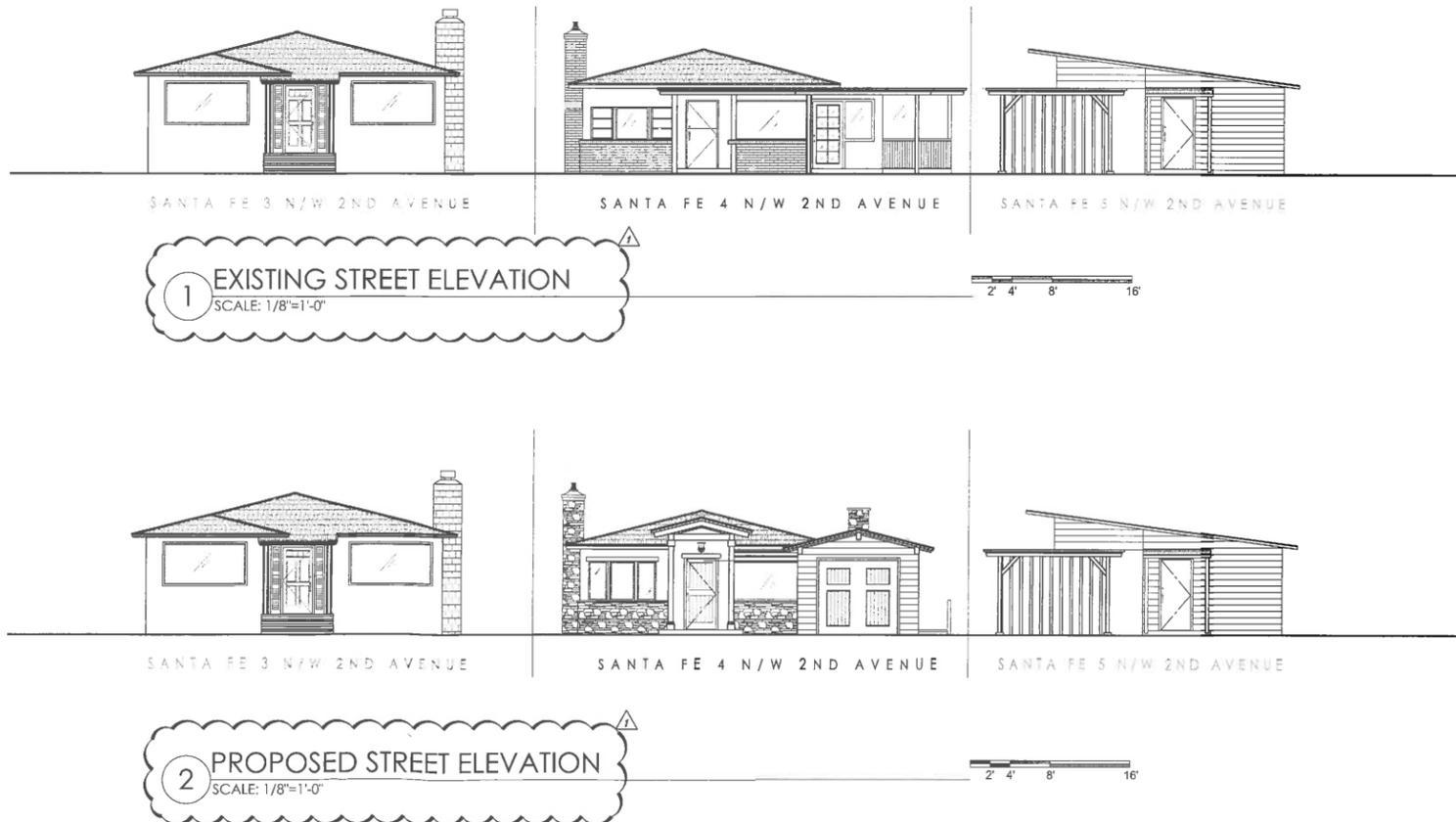
SPECIFICATIONS AS NOTED ON THE ARCHITECTURAL AND ENGINEERING PLANS.

**GRADING / DRAINAGE NOTES**

GRADING: CUT OF UNDER 100 CUBIC YARDS PROPOSED. EXISTING DRAINAGE TO REMAIN.

**CITY OF CARMEL-BY-THE-SEA  
CONDITIONS of APPROVAL**

1.



ADAM JESELNICK  
ARCHITECT



**KITTERMAN RESIDENCE**  
SANTA FE 4 N/W 2ND AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

NOTES + SPECIFICATIONS

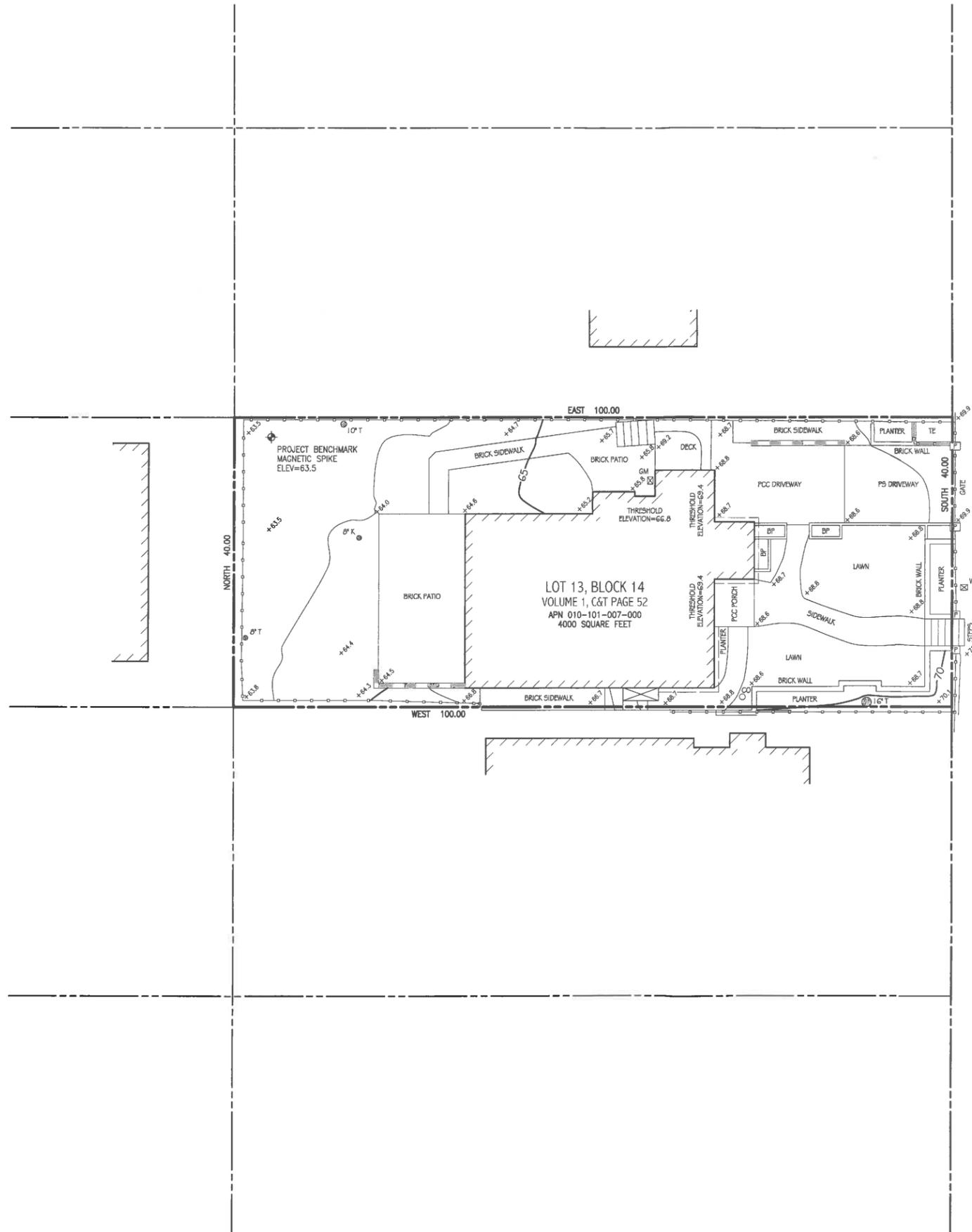
05-10-2015

1/8" = 1'-0"

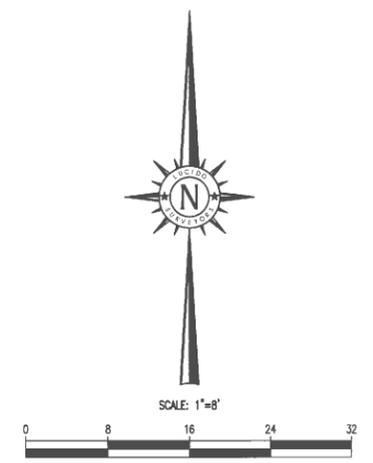
**A2**

**LEGEND:**

- RECORD BOUNDARY
- - - RECORD RIGHT OF WAY
- - - RECORD LOT LINE
- - - RECORD CENTERLINE
- - - OLD RECORD LINE
- ◆ PROJECT BENCHMARK
- 50 — CONTOUR (MAJOR)
- CONTOUR (MINOR)
- EP — EDGE OF PAVEMENT
- LIP OF GUTTER
- FACE OF CURB
- CURB AND GUTTER — BACK OF CURB
- SIDEWALK — BACK OF SIDEWALK
- DRIVEWAY — EDGE OF DRIVEWAY
- BRICK FACING
- ▭ BUILDING BUILDING OUTLINE
- ⊠ CHIMNEY
- THRESHOLD ELEVATION APPROXIMATE FLOOR ELEVATION
- DECK DECK
- CONC PAD CONCRETE PAD
- STEP STEP
- BP BRICK PLANTER
- W — WATER LINE
- ⊕ WV WATER VALVE
- ⊕ WM WATER METER
- ⊕ FH FIRE HYDRANT
- ⊕ HB HOSE BIB
- ⊕ ICV IRRIGATION CONTROL VALVE
- SS — SANITARY SEWER LINE
- MH — SANITARY SEWER MANHOLE
- CO — SANITARY SEWER CLEAN-OUT
- SD — STORM DRAIN
- MH — STORM DRAIN MANHOLE
- AD — AREA DRAIN
- ⊕ CS STORM DRAIN CATCH BASIN
- EL — ELECTRIC LINE
- ⊕ UP UTILITY POLE
- GW — GUY WIRE
- ⊕ EV ELECTRIC VAULT
- ⊕ UV UTILITY VAULT
- SL — STREET LIGHT
- LP — STREET LIGHT
- ⊕ GM GAS METER
- WF — WOOD FENCE
- ⊕ P PILLAR
- BW — BLOCK WALL
- CM CORRUGATED METAL PIPE
- CS CARMEL STONE
- DG DECOMPOSED GRANITE
- EX AGG EXPOSED AGGREGATE
- HDPE HIGH DENSITY POLY ETHYLENE
- PCC PORTLAND CEMENT CONCRETE
- PS PAVER STONE
- PVC POLY VINYL CHLORIDE
- TE TRASH ENCLOSURE
- ⊕ T TREE WITH SIZE AND TYPE
- C CYPRESS
- K OAK
- P PINE
- T TREE
- SPOT ELEVATION



**BENCHMARK:**  
 ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM.  
 AN ELEVATION OF 63.5 HAS BEEN ASSIGNED TO A MAGNETIC SPIKE  
 SET IN THE NORTHWEST CORNER OF THE SUBJECT PROPERTY  
 AS SHOWN HEREON.



**SANTA FE STREET**  
 (A 60 FOOT WIDE CITY STREET)

**RECORD DESCRIPTION:**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CARMEL BY THE SEA, COUNTY OF MONTEREY, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
 Lot 13, in Block 14, as said Lot and Block are shown on that certain map entitled, "Map of Carmel City, Monterey County, Cal., Surveyed by W.C. Little, April 1888", filed May 1, 1888 in Volume 1, Maps of "Cities and Towns", at Page 52, Monterey County Records.  
 APN: 010-101-007-000

**NOTES:**

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE REFERENCED TRACT MAP.
2. ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
4. CONTOUR INTERVAL = ONE FOOT.
5. TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
7. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
8. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN DECEMBER OF 2014.

**TOPOGRAPHIC SITE SURVEY**  
 OF  
**Lot 13 in Block 14**  
 as shown in  
**VOLUME 1 OF CITIES AND TOWNS AT PAGE 52**  
 RECORDS OF MONTEREY COUNTY  
 PREPARED FOR  
**Kristin L. Kitterman**



BY  
**LUCIDO SURVEYORS**  
 Boundary and Construction Surveys · Topographic and Planimetric Mapping  
 ALTA Surveys and GIS Database Management · Land Planning and Consulting  
 HOME OFFICE: 2 SAUCITO AVENUE, DEL REY OAKS, CALIFORNIA 93940  
 FIELD OFFICE: 245 FOAM STREET, SUITE 200, MONTEREY, CALIFORNIA 93940

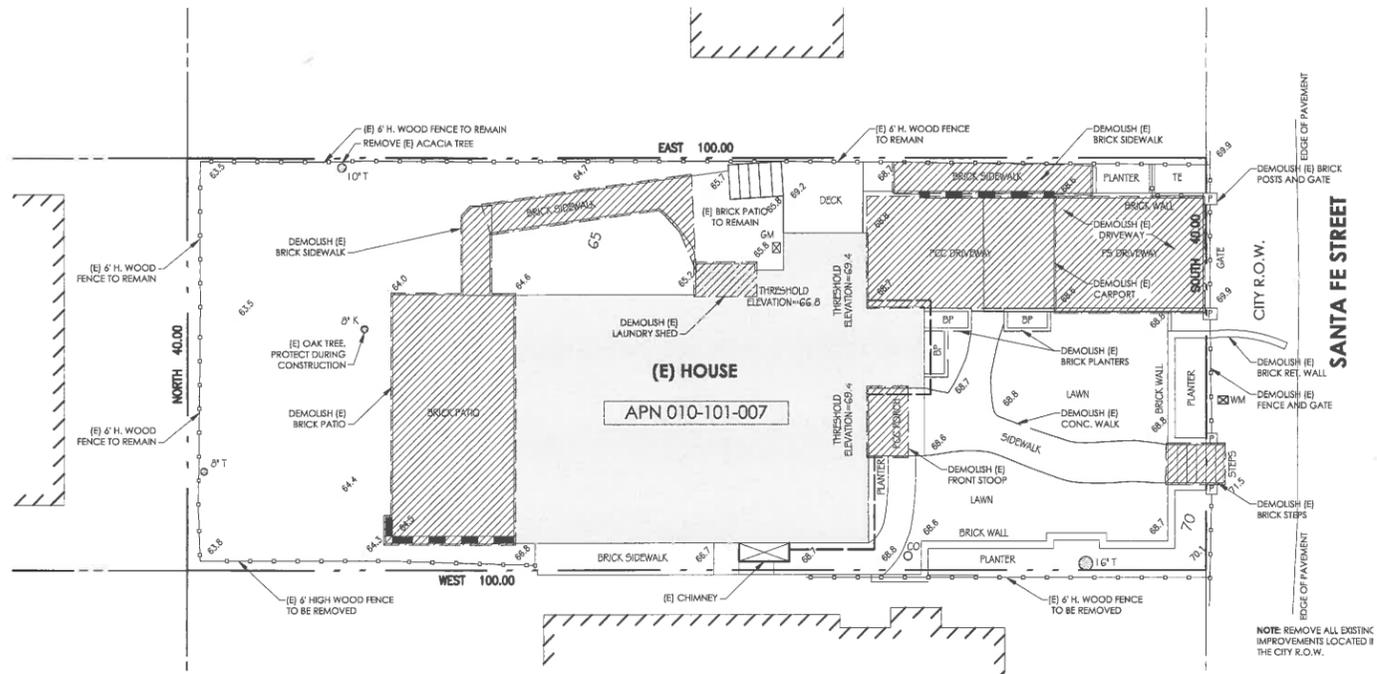
SCALE: 1"=8'      PROJECT No. 1362      DECEMBER 2014  
 CITY OF CARMEL      COUNTY OF MONTEREY      STATE OF CALIFORNIA

**SITE PLAN NOTES:**

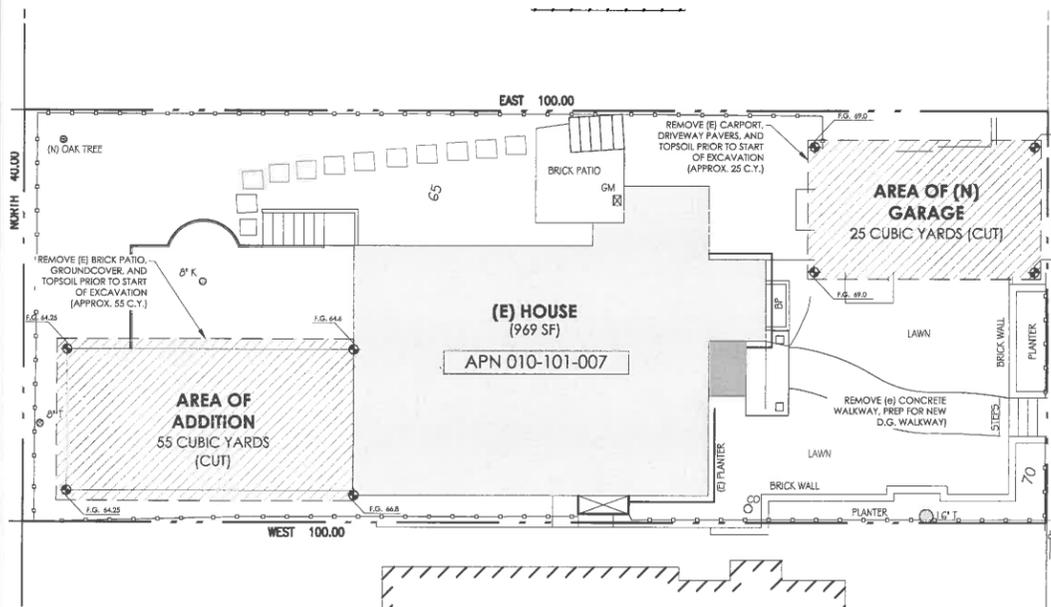
1. PROTECT EXISTING TREES AS REQUIRED. TREE REMOVAL AS NOTED ON THE PROPOSED SITE PLAN.
2. NO CHANGE TO EXISTING SITE DRAINAGE.
3. COORDINATE UTILITIES WITH PG&E, CAWD, CAL-AM, UNDERGROUND EXISTING ELECTRICAL LINE.
4. DEMOLITION LIMITED TO AREAS NOTED ON PLAN.
5. PRIOR TO FINAL BUILDING INSPECTION, THE APPLICANT SHALL REMOVE ALL EXISTING GRAVEL, FENCING, AND BRICK POSTS LOCATED IN THE CITY R.O.W. AS INDICATED. THE EXISTING GRAVEL AND IMPROVEMENTS SHALL BE NOTED AS PROPOSED FOR REMOVAL ON THE LANDSCAPE PLANS SUBMITTED TO THE PLANNING COMMISSION FOR FINAL REVIEW.

**GRADING PLAN NOTES:**

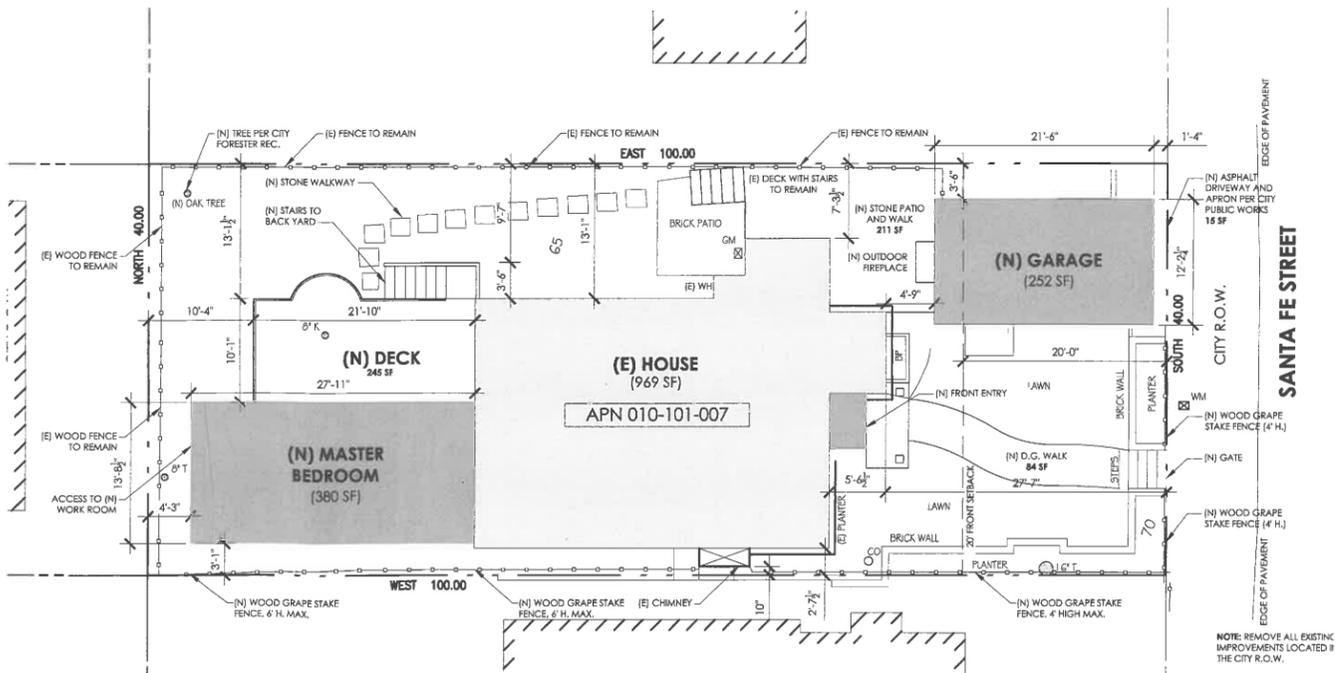
1. APPROX. 90 CUBIC YARDS OF SOIL (CUT) TO BE REMOVED FOR NEW CONCRETE FOUNDATIONS ONLY AT ADDITION AND GARAGE.
2. NO CHANGE TO EXISTING SITE DRAINAGE.



**1 EXISTING / DEMOLITION SITE PLAN**  
SCALE: 1/8"=1'-0"



**3 PROPOSED SITE GRADING PLAN**  
SCALE: 1/8"=1'-0"



**2 PROPOSED SITE PLAN**  
SCALE: 1/8"=1'-0"

ADAM JESELNICK ARCHITECT



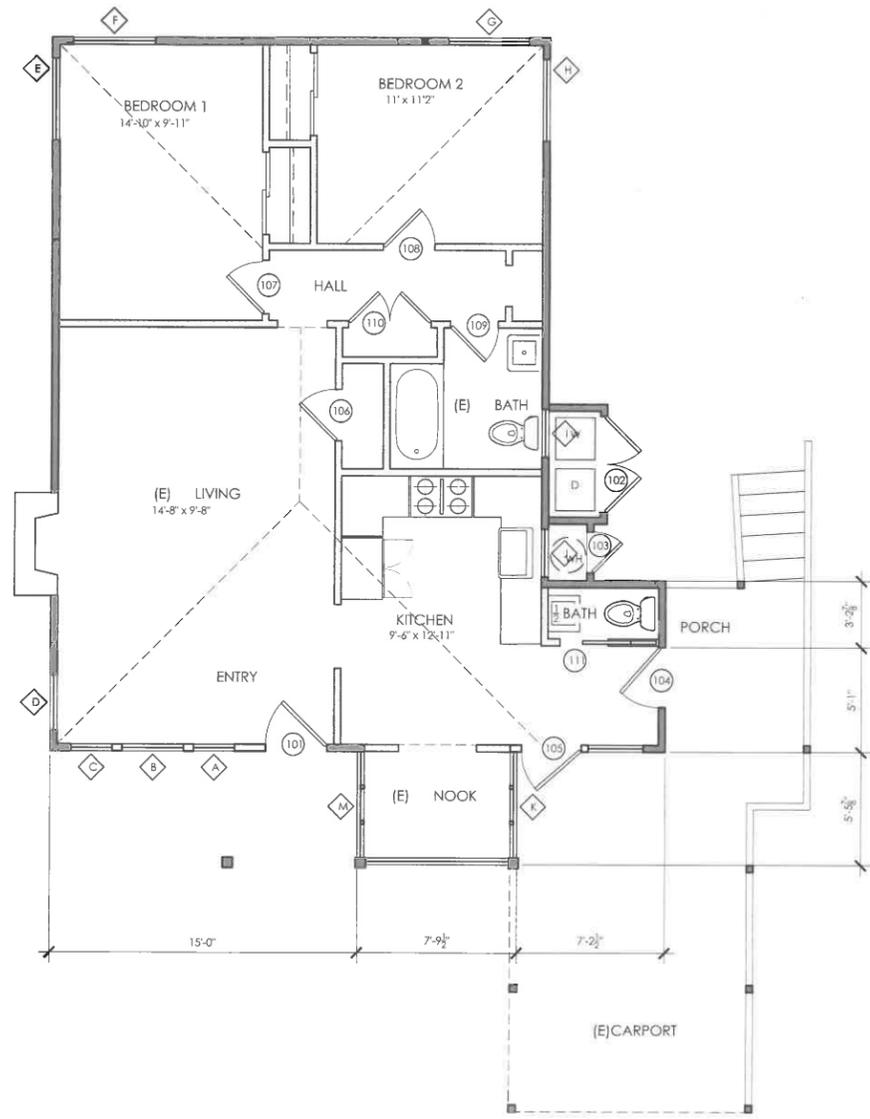
**KITTERMAN RESIDENCE**  
SANTA FE 4 N/W 2ND AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING + PROPOSED SITE PLAN

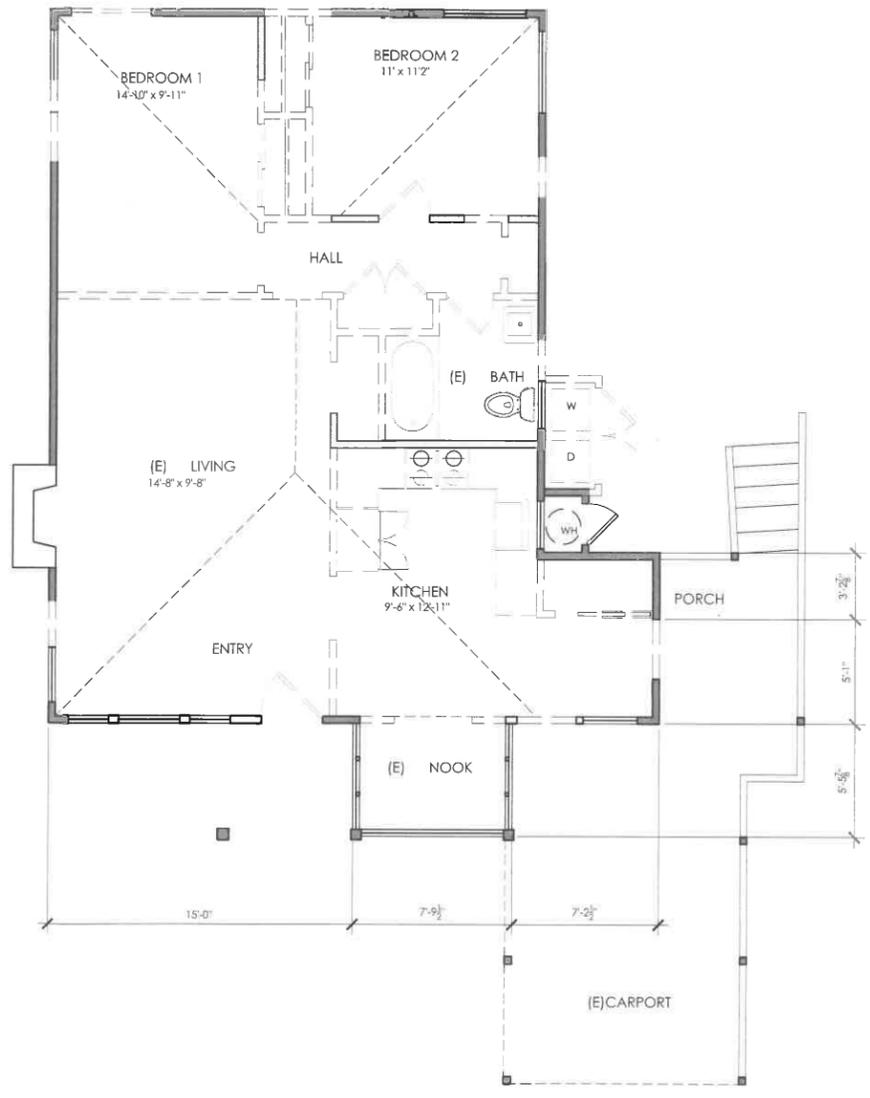
05-10-2015

1/8" = 1'-0"

**A3**



1 EXISTING FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 DEMOLITION FLOOR PLAN  
SCALE: 1/4"=1'-0"



LEGEND - DEMOLITION PLAN

- EXISTING WALLS, TO REMAIN
- - - EXISTING WALLS, TO BE DEMOLISHED

ADAM JESELNICK  
ARCHITECT



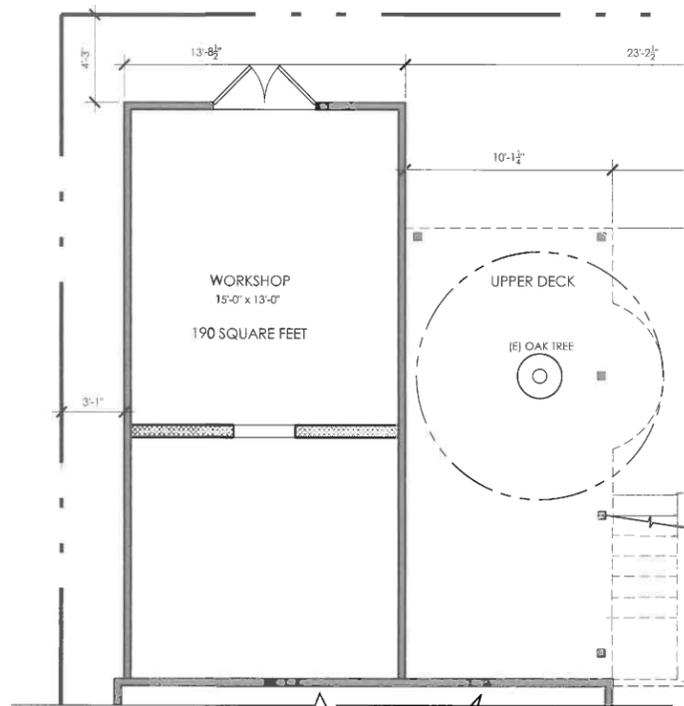
**KITTERMAN RESIDENCE**  
SANTA FE 4 N/W 2ND AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING +  
DEMOLITION  
FLOOR PLAN

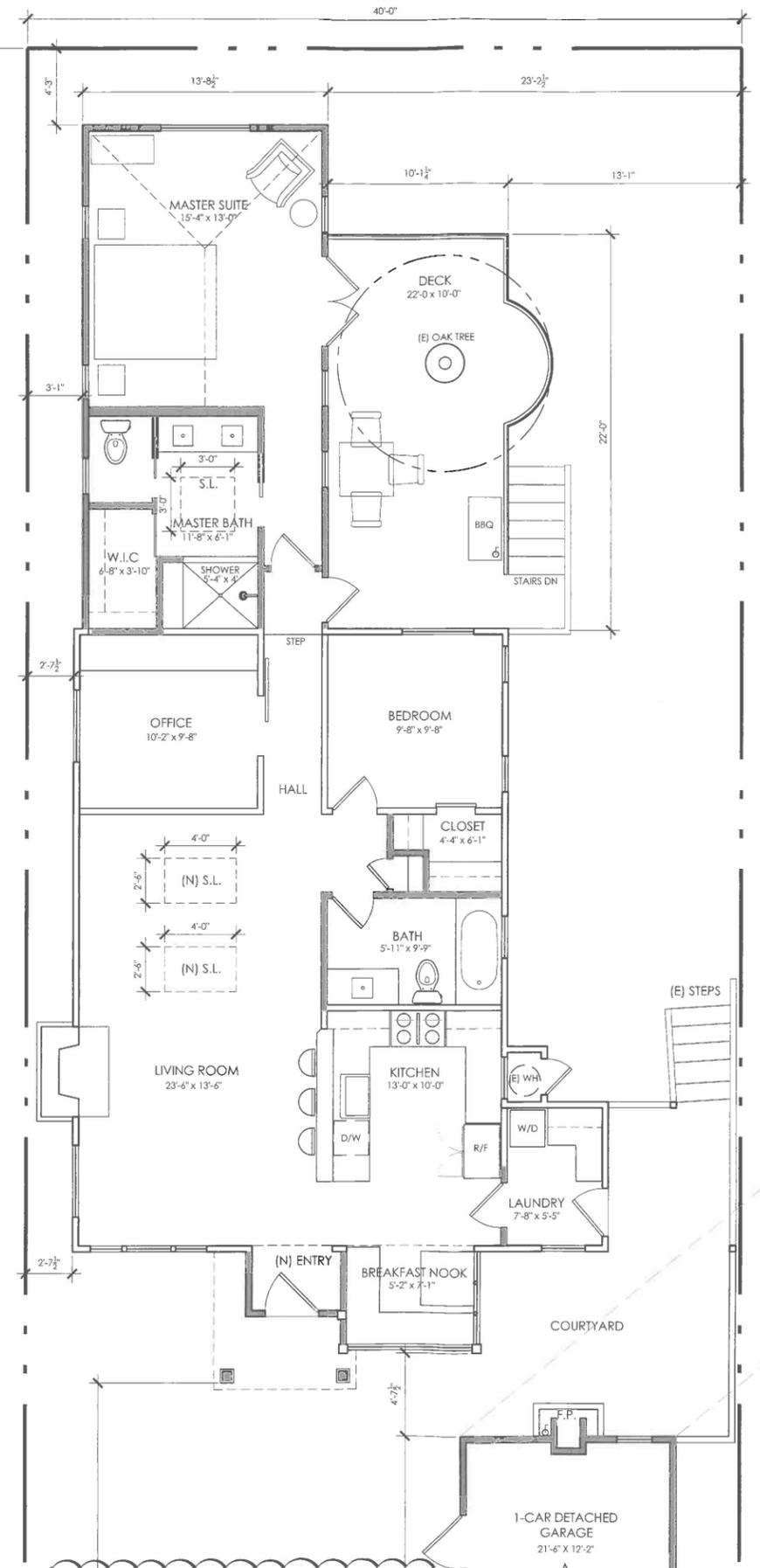
03-27-2015

1/4" = 1'-0"

A4



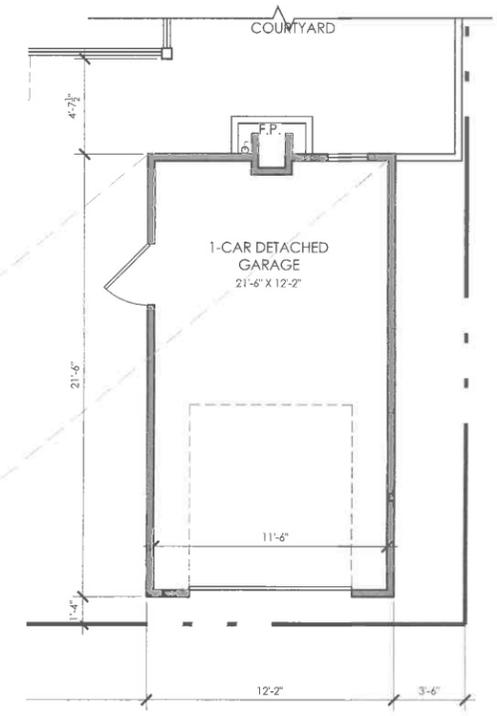
**0 PROPOSED LOWER FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
1' 2' 4' 8'



**1 PROPOSED FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
1' 2' 4' 8'

**LEGEND - PROPOSED PLAN**

- NEW WALLS, TO BE CONSTRUCTED
- EXISTING WALLS TO REMAIN



ADAM JESELNICK  
**ARCHITECT**



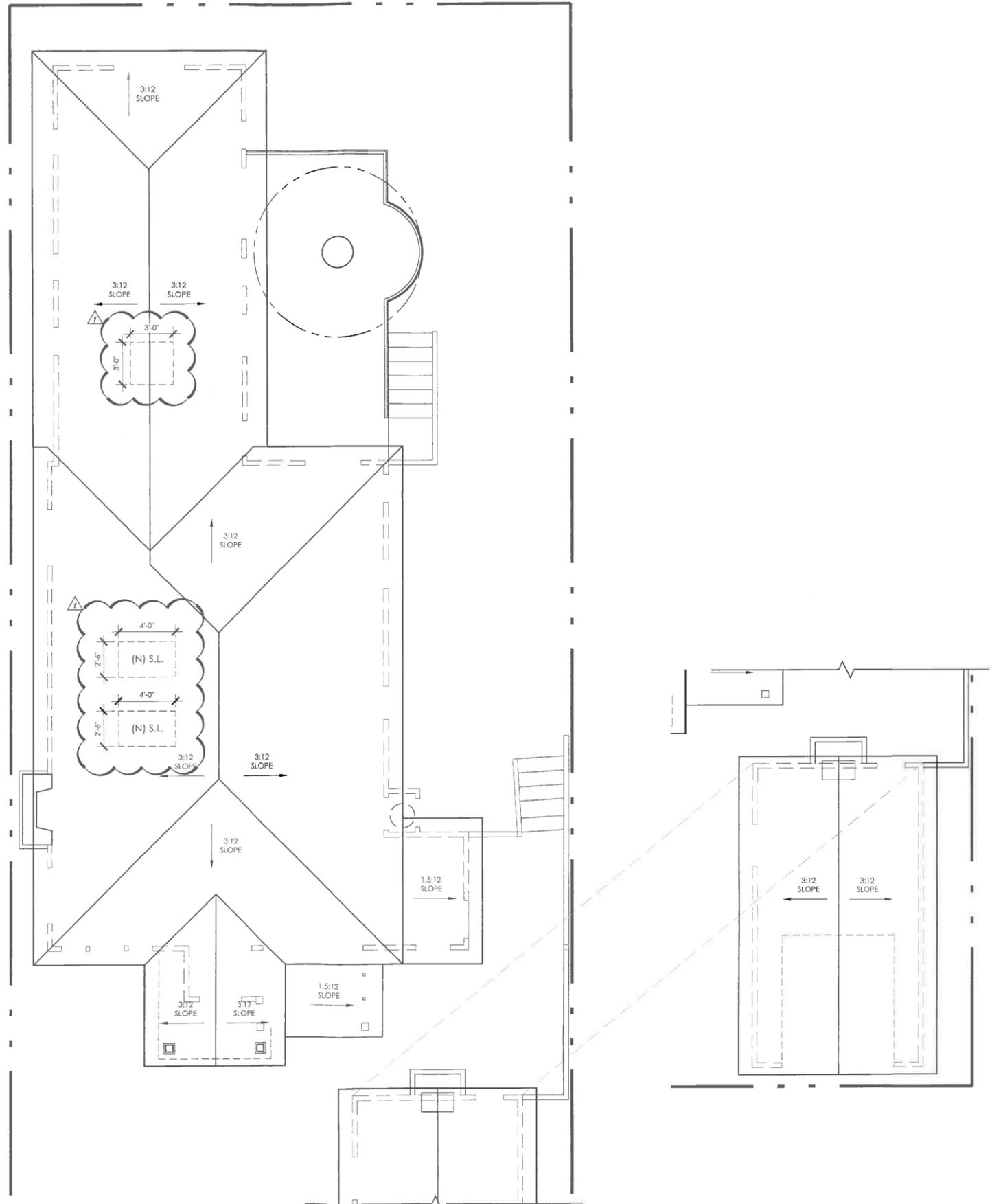
**KITTERMAN RESIDENCE**  
SANTA FE 4 N/W 2ND AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED FLOOR PLAN

05-10-2015

1/4" = 1'-0"

**A5**



1 PROPOSED ROOF PLAN  
SCALE: 1/4"=1'-0"



ADAM JESELNICK  
 ARCHITECT



**KITTERMAN RESIDENCE**  
SANTA FE 4 N/W 2ND AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED  
ROOF PLAN

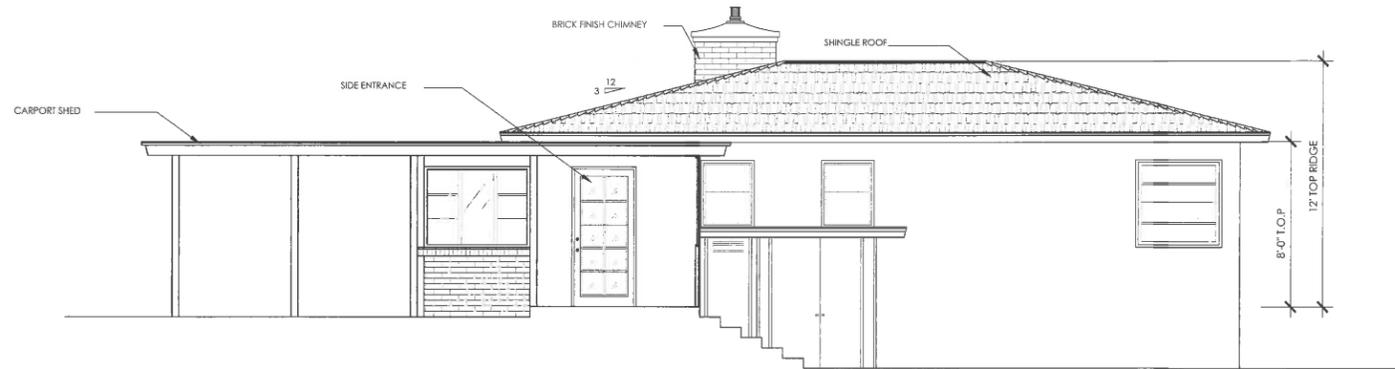
05-10-2015

1/4" = 1'-0"

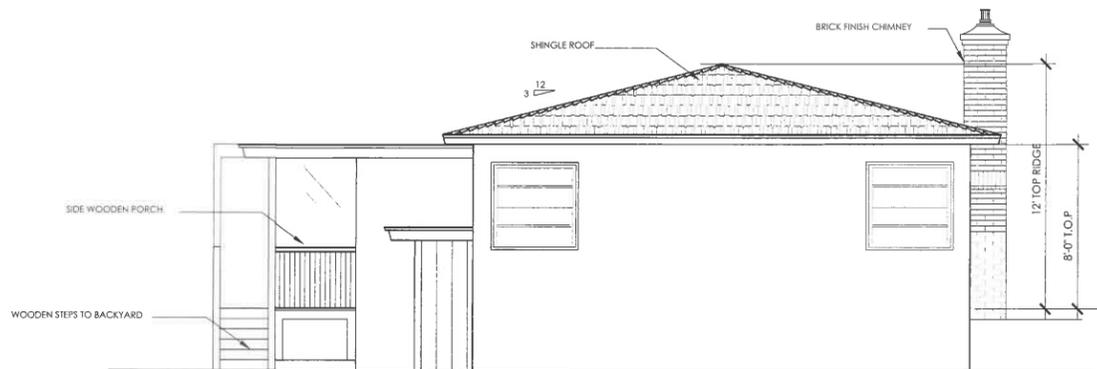
**A6**



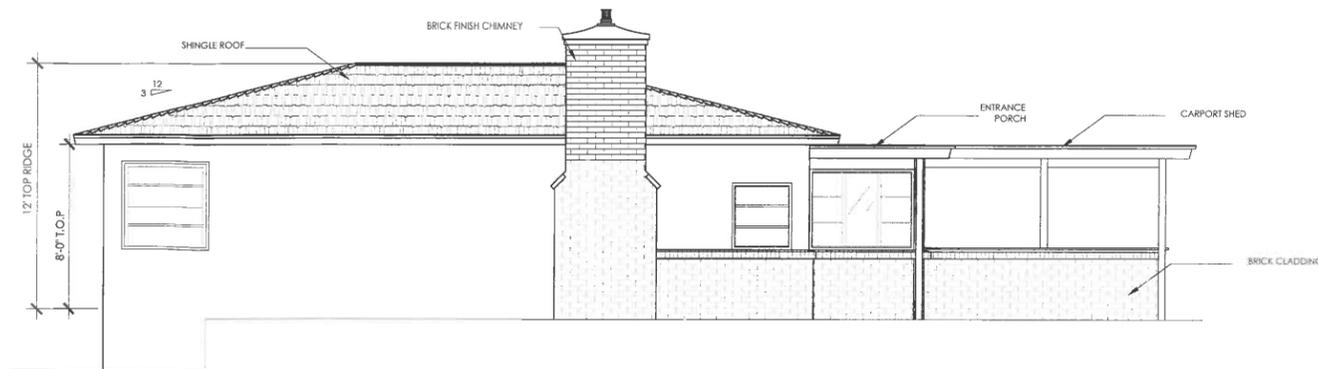
1 PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0"



2 PROPOSED NORTH ELEVATION  
SCALE: 1/4"=1'-0"



3 PROPOSED WEST ELEVATION  
SCALE: 1/4"=1'-0"



4 PROPOSED SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



ADAM JESELNICK  
ARCHITECT



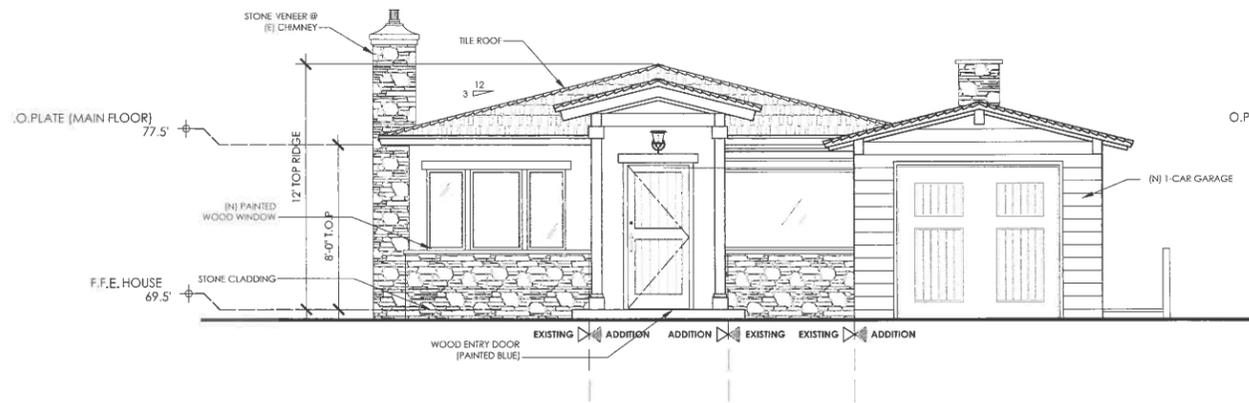
**KITTERMAN RESIDENCE**  
SANTA FE 4 N/W 2ND AVENUE  
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING  
ELEVATIONS

03-27-2015

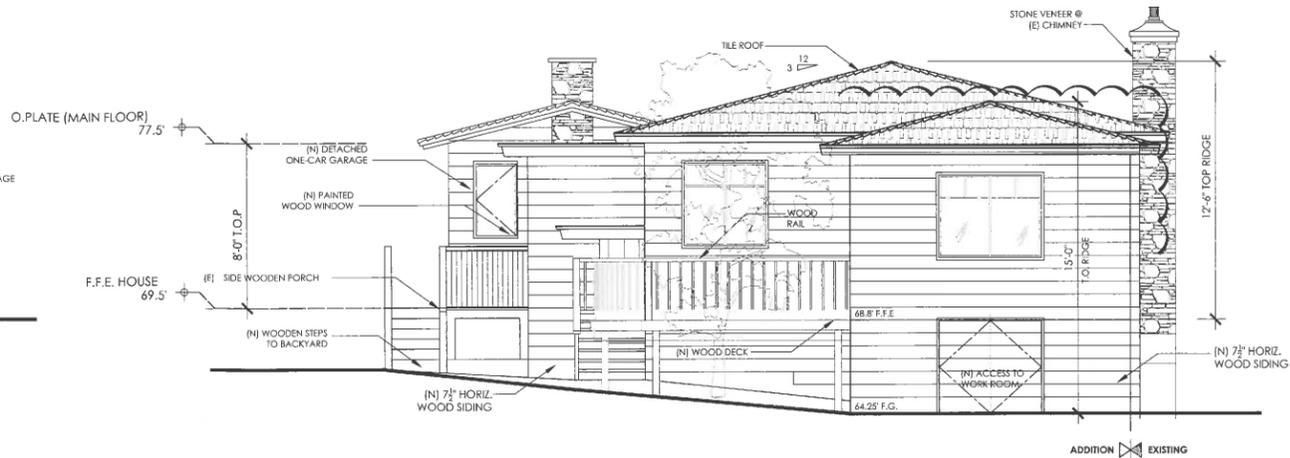
1/4" = 1'-0"

**A7**



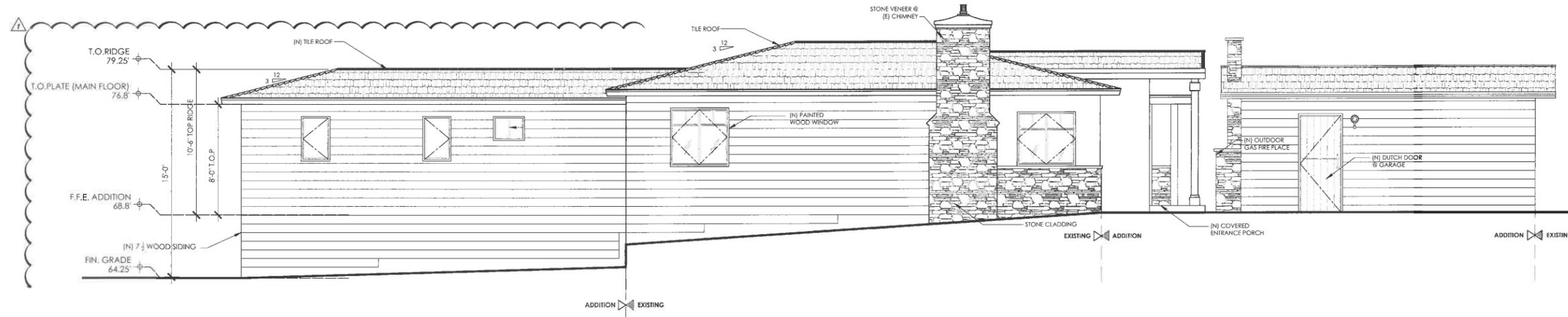
1 PROPOSED EAST ELEVATION

SCALE: 1/4"=1'-0"



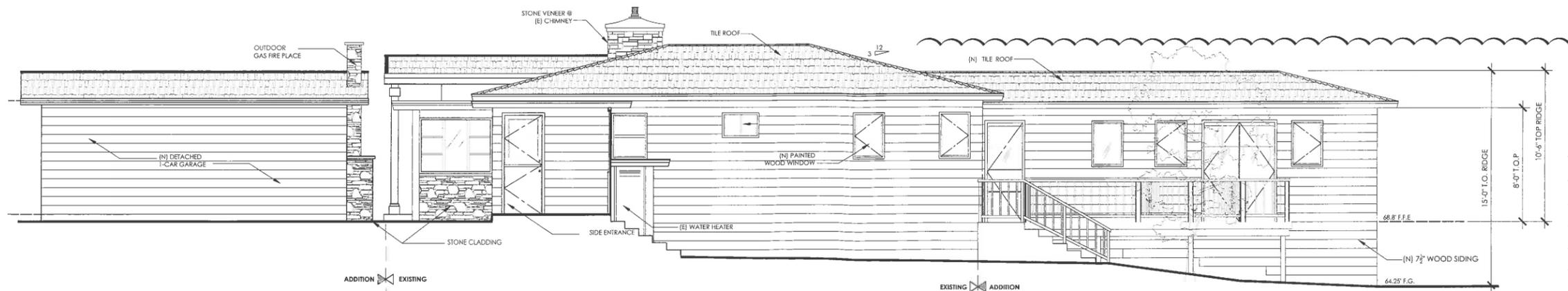
2 PROPOSED WEST ELEVATION

SCALE: 1/4"=1'-0"



3 PROPOSED SOUTH ELEVATION

SCALE: 1/4"=1'-0"



4 PROPOSED NORTH ELEVATION

SCALE: 1/4"=1'-0"



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 10, 2015

**To:** Chair Goodhue and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director RM

**Submitted by:** Ashley Hobson, Contract Planner

**Subject:** Consideration of a Concept Design Study (DS 15-148) and associated Coastal Development Permit application for the construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District.

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**Recommendation:**

Accept the Concept Design Study (DS 15-148) subject to the attached findings and recommendations/draft conditions.

<b>Application:</b>	DS 15-148	<b>APN:</b>	010-024-001
<b>Block:</b>	40	<b>Lot:</b>	1
<b>Location:</b>	SW Corner of Guadalupe & 3 <sup>rd</sup> Ave.		
<b>Applicant:</b>	Claudio Ortiz, Designer	<b>Property Owner:</b>	Ridge Capital Investments, LLC

**Background and Project Description:**

The project site is a vacant lot located on the southwest corner of Guadalupe and 3<sup>rd</sup> Ave. The property is 4,000 square feet in size and located in the Single-Family Residential (R-1) Zone. Staff notes that the property was developed with a one-bedroom cottage until a natural gas explosion occurred on March 3, 2014, which required the subsequent demolition of the home. There is currently a temporary chain-link security fence surrounding the vacant lot.

The applicant has submitted plans to build a new 1,799-sq ft single-family residence. The proposal includes a 1,599-sq ft main dwelling, and a 200-sq ft detached garage. Finish materials include stucco siding with a wood shake roof and unclad wood windows and doors. Other project components include: 1) the addition of 556 square feet of site coverage including a two new patios, multiple retaining walls and new walkways 2) a new 4-foot grape stake fence along the front of the

property and a 6-foot redwood fence along the south side of the property, and 3) a new gas-fueled fire pit on the south patio.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass and scale related to the project. However, the Commission may provide input on other aspects of the design.

<b>PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:</b>			
<b>Site Considerations</b>	<b>Allowed</b>	<b>Existing</b>	<b>Proposed</b>
Floor Area	1,800 sf (45%)	n/a	1,799 sf (45%)
Site Coverage	556 sf	n/a	555.8 sf Permeable: 897 sf
Trees	3 Upper /1 Lower (recommended)	9 Upper	7 Upper
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18 ft / 24 ft	0 ft	Max: 22 ft
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12 ft / 18 ft	0 ft	Max: 16 ft.
<b>Setbacks</b>	<b>Minimum Required</b>	<b>Existing</b>	<b>Proposed</b>
Front	15 ft	n/a	Min: 15 ft
Composite Side Yard	25% of lot width	n/a	Min: 29%
Minimum Side Yard	3 ft	n/a	Min. East Side: 5 ft (Garage), 8 ft 10 in (House) Min. West Side: 3 ft
Rear	15 ft	n/a	Min: 3 ft 10 in (garage)

**Staff analysis:**

**Forest Character:** Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

The site contains nine trees, seven of which are classified as a significant (five Coast Live Oaks and two Monterey Pines). The applicant is requesting to remove the two non-significant oak trees on the site as part of the development. The two trees are located in close proximity to the west

property line and would be removed to make space for the proposed detached garage. A condition has been drafted requiring the applicant to apply for a Tree Removal/Pruning Permit prior to final Planning Commission review.

The City Forester has already recommended one upper canopy tree to be planted on site, and staff notes that the City Forester may require replacement trees as a condition of the Tree Removal Permit. A condition has been drafted requiring the applicant to include a proposal for one additional upper canopy tree on the plans submitted for final Planning Commission Review. Any additional required replacement trees should also be noted on these plans.

**Privacy & Views:** Residential Design Guidelines 5.1 through 5.3 state that *“designs should preserve reasonable solar access to neighboring parcels;” “maintain privacy of indoor and outdoor spaces in a neighborhood;”* and *“maintain view opportunities.”*

Staff has identified a potential view concern due to the placement of the detached garage. The neighbor to the west has large windows that face towards the project site, which would overlook the side of the detached garage. Due to the sloping topography, the detached garage may appear to be excessively tall from the neighboring residence; however, staff feels that the distance between the neighboring residence and the garage would mitigate any significant impacts. With regard to privacy, staff has not identified any potential impacts. Additionally, staff notes that the new two-story portion of the proposed home would not significantly impact the privacy of the two adjacent neighbors.

**Mass & Bulk:** Residential Design Guidelines 7.1 through 7.6 encourage a building’s mass to relate *“to the context of other homes nearby”* and to *“minimize the mass of a building as seen from the public way or adjacent properties.”* Further, these guidelines state that *“a building should relate to a human scale in its basic forms.”*

The applicant is proposing to build a new single-family residence on an existing vacant site. The applicant is proposing only a small portion of the total floor area (21%) on the second floor, which helps to reduce the appearance of mass. As encouraged by Residential Design Guideline 7.1, the detached garage helps to reduce the overall mass of the primary building on the site. By following the existing topography, the proposed residence is designed to complement the grade of the site. The adjacent properties contain two-story residences, and the neighborhood consists mostly of two-story houses with varied siding styles and materials. With regard to mass and bulk, in staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines 7.1 through 7.6.

**Building & Roof Form:** Residential Design Guidelines 8.1 through 8.3 state that *"Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roof with low plate lines can be used on two-story buildings."* The Guidelines emphasize using *"restraint"* and *"simplicity"* in building forms, which should not be complicated, and roof lines, which should *"avoid complex forms."*

The applicant is proposing gable roofs for the main building elements with three shed roofs projecting over the North, West, and South elevations. The gable roofs are all proposed to be at a pitch of 8:12 with shed roofs at 3:12, 4:12, and 4.75:12. The detached garage is proposed to have a gable roof with a pitch of 8:12. The proposal includes three rooflines facing Third Avenue and one roofline facing Guadalupe Street. Staff notes that the west elevation consists of multiple rooflines of carrying pitches; however this elevation is not visible from an adjacent street. In staff's opinion, the roof is relatively simple in design and complements the architectural style of the home as well as the neighborhood context.

**Site Coverage:** Municipal Code Section 17.10.030.C.2 states that: *"Excess site coverage will be reduced at a rate equal to two times the amount of floor area added to the site, or to an amount that complies with the site coverage limits, whichever is less."*

The applicant is proposing 556 square feet of new site coverage including 61 square feet of impervious coverage and 495 square feet of pervious coverage. The proposal is in conformance with the allowable site coverage for a 4,000-sq ft lot including a bonus because 50% or more of the coverage is pervious.

**Detached Garage:** Residential Design Guideline 6.2 states that *"parking facilities that maintain or enhance variety along the street edge are encouraged."*

A new 200-square foot detached garage is proposed to be built on the west side of the property. The detached garage would not encroach into any of the required setback areas. Staff supports the location of the new garage as it provides diversity to the neighborhood streetscape and does not impact significant trees on the property.

**Outdoor Fire Pit:** The project proposal includes a 18-inch high outdoor fire pit on the patio located on the south side of the residence. The outdoor fire pit is proposed to be gas-fueled and located on the south patio.

**Public ROW:** The unimproved portion of the City Right-of-Way (ROW) between the front property line and edge of paving is approximately 25 feet wide along Second Avenue and 15 feet wide along Guadalupe Street. The applicant is proposing a new 9-foot wide driveway extending to Third Avenue.

**Alternatives:** Staff has included draft findings that the Commission can adopt if the Commission accepts the overall design concept. However, if the Commission does not support the proposed design then it could continue the application with specific direction.

**Environmental Review:** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of one single-family residence in a residential zone, and therefore qualifies for a Class 3 Exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Draft Recommendations/Conditions
- Attachment D – Project Plans

Attachment A – Site Photographs



View of Guadalupe St.

Attachment A – Site Photographs



View from 3<sup>rd</sup> Ave.

Attachment A – Site Photographs



Location of Proposed Garage and Driveway

## Attachment B – Findings for Concept Acceptance

DS 15-148 (Ridge Capital)  
 June 10, 2015 Concept  
 Findings Page 1

<b><u>FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)</u></b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive	✓	

in context with designs on nearby sites.		
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):**

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

## Attachment C – Recommendations/Draft Conditions

DS 15-148 (Ridge Capital)

June 10, 2015

Recommendations/Draft Conditions

Page 1

<b>Recommendations/Draft Conditions</b>		
<b>No.</b>		
1.	The applicant shall submit a landscape plan for final Planning Commission review that includes a proposal for one new lower-canopy tree on the site.	
2.	The applicant shall apply for a Tree Removal permit prior to final Planning Commission review.	
3.	Any additional trees required as a condition of the Tree Removal Permit shall be included on the plans for Final Review.	



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 WWW.CODRINC.COM

**CLIENT:**  
 Ridge Capital Investments, LLC  
 1010 Cass Street, Suite B4  
 Monterey CA, 93940

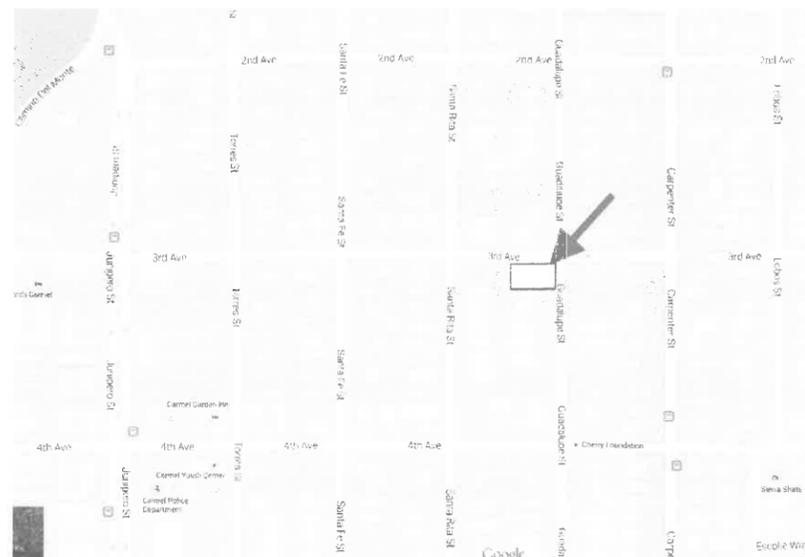
**PROJECT:**  
 Michaels-Corrigan Residence  
 S/w Corner of Guadalupe & 3rd., Carmel  
 BLOCK: 40 LOTS: 1  
 APN: 010-024-001-000  
 PROJECT NO.  
 14-14

**ISSUE:**  
 04-25-15

**PROPOSED  
 MAIN & UPPER LEVEL  
 FLOOR PLANS**

SCALE: 1" = 1/4"

**VICINITY MAP**



**SCOPE OF WORK**

1. CONSTRUCTION OF A NEW 1,599.5 SQ.FT. TWO-STORY SINGLE FAMILY DWELLING WITH A 200.0 SQ.FT. DETACHED GARAGE.
2. REMOVAL OF TWO OAK TREES ON THE WEST SIDE OF THE PROPERTY.
3. NEW RETAINING WALLS AS PER PLAN.

**EXTERIOR LIGHTING NOTES**

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10- FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

**SHEET INDEX**

1. COVER PAGE & NOTES
2. PROPOSED SITE PLAN
3. SURVEY/SITE ASSESSMENT PLAN
4. FLOOR PLANS
5. ELEVATIONS
6. ROOF PLAN, GARAGE EAST AND WEST ELEVATIONS & ANG PLAN
7. DOOR & WINDOW SCHEDULE
8. MATERIALS
- L1. LANDSCAPE PLAN

**PROJECT DATA**

LOT SIZE 4,000 S.F.  
 ZONING R-1  
 A.P.N. 010-024-001  
 ADDRESS BLOCK: 40 LOTS: 1

**FLOOR AREA**

FAR ALLOWED	1,800.0 S.F.	45.0%
<b>PROPOSED</b>		
MAIN LEVEL	1,213.2 S.F.	
UPPER LEVEL	386.2 S.F.	
DETTACHED GARAGE	200.0 S.F.	
<b>TOTAL (P) GROSS FLOOR AREA:</b>	<b>1,799.4 S.F.</b>	<b>45.0%</b>

**SITE COVERAGE**

ALLOWED	556.0 S.F.
<b>PROPOSED IMPERVIOUS COVERAGE</b>	
LANDING 1 (FLAGSTONE SET ON CONC.)	17.0 S.F.
LANDING 2 (FLAGSTONE SET ON CONC.)	8.0 S.F.
GARAGE LANDING (FLAGSTONE SET ON CONC.)	36.0 S.F.
<b>TOTAL (P) IMPERVIOUS COVERAGE</b>	<b>61.0 S.F.</b>
<b>PROPOSED PERVIOUS COVERAGE</b>	
DRIVEWAY (PAVERS SET IN SAND)	45.0 S.F.
ENTRY WALKWAY (STONE SET IN SAND)	26.8 S.F.
EAST WALKWAY (CARMEL FLAGSTONE)	10.0 S.F.
SOUTH WALKWAY (CARMEL FLAGSTONE)	5.8 S.F.
EAST PATIO (CARMEL FLAGSTONE)	84.2 S.F.
SOUTH PATIO (CARMEL FLAGSTONE)	323.0 S.F.
<b>TOTAL (P) PERVIOUS COVERAGE</b>	<b>494.8 S.F.</b>
<b>TOTAL PROPOSED SITE COVERAGE</b>	<b>555.8 S.F.</b>

# THIRD AVENUE (A 50' WIDE CITY STREET)

## LEGEND

- 100 COUNTOURS
- 100 NEW COUNTOURS
- FENCE, SEE SITE PLAN FOR HEIGHTS
- PROPERTY LINE
- MIN. SETBACKS
- HOSE BIB
- LIGHT FIXTURE, SEE SHEET 9 FOR SPEC'S
- 10"K EXISTING TREES TO REMAIN
- TREES TO BE REMOVED



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**CLIENT:**  
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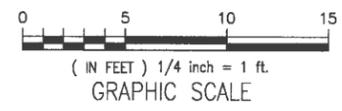
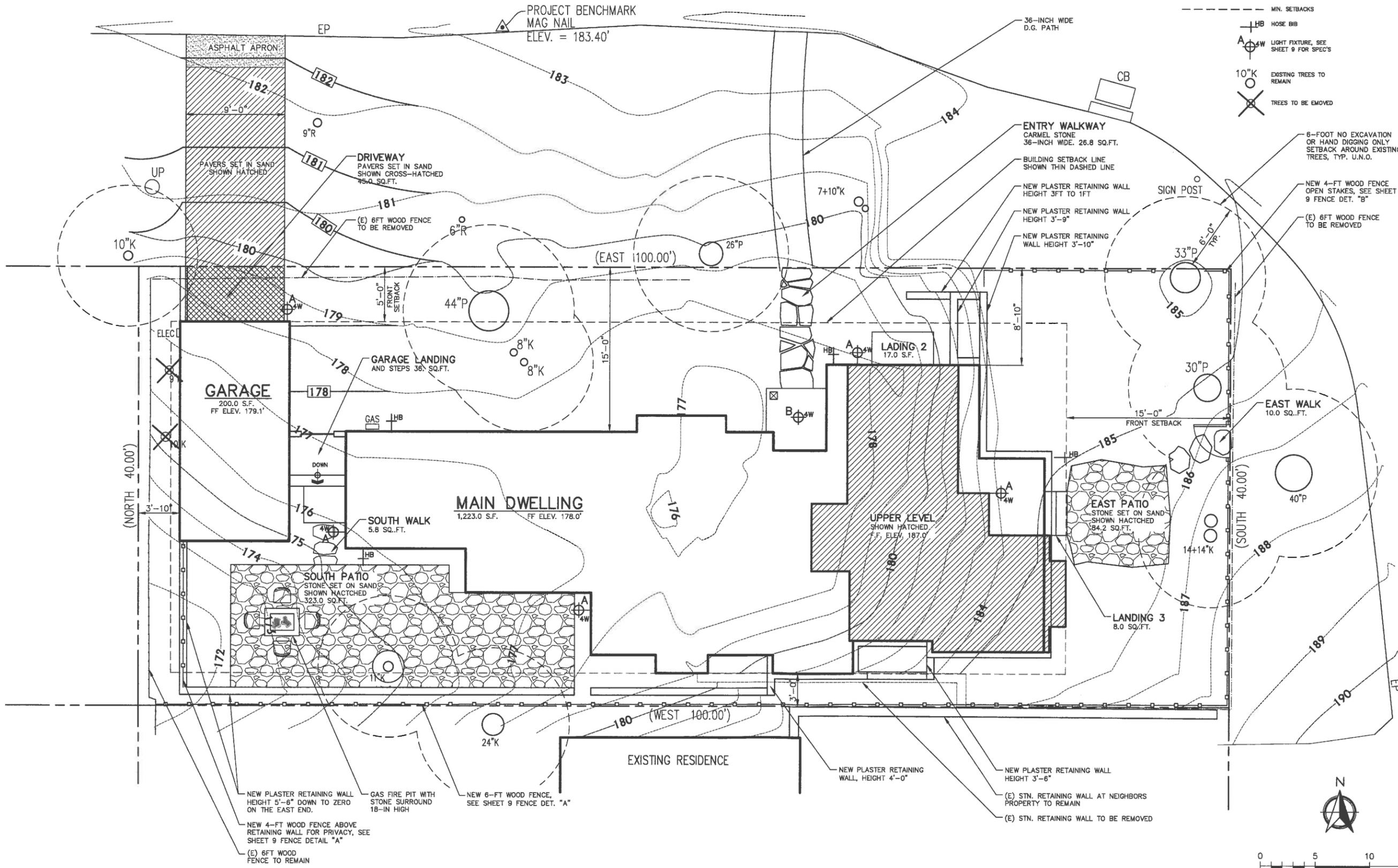
**DRAWN BY:**  
 C.O.

**PROPOSED  
 SITE PLAN**

SCALE: 1" = 1/4"

**26**

# GUADALUPE STREET (A 60' WIDE CITY STREET)



NEW PLASTER RETAINING WALL HEIGHT 5'-6" DOWN TO ZERO ON THE EAST END.  
 NEW 4'-FT WOOD FENCE ABOVE RETAINING WALL FOR PRIVACY, SEE SHEET 9 FENCE DETAIL "A"  
 (E) 6FT WOOD FENCE TO REMAIN

GAS FIRE PIT WITH STONE SURROUND 18-IN HIGH

NEW 6'-FT WOOD FENCE, SEE SHEET 9 FENCE DET. "A"

NEW PLASTER RETAINING WALL, HEIGHT 4'-0"

NEW PLASTER RETAINING WALL HEIGHT 3'-6"

(E) STN. RETAINING WALL AT NEIGHBORS PROPERTY TO REMAIN

(E) STN. RETAINING WALL TO BE REMOVED

40" P

30" P

33" P

14+14" K

187

186

185

184

183

182

181

180

179

178

177

176

175

174

173

172

171

170

169

168

167

166

77

76

75

74

73

72

71

70

69

68

67

66

33" P

30" P

CB

7+10" K

80

7+10" K

PROJECT BENCHMARK  
 MAG NAIL  
 ELEV. = 183.40'

36-INCH WIDE  
 D.G. PATH

ASPHALT APRON

9'-0"

182

9'-0"

181

PAVERS SET IN SAND  
 SHOWN HATCHED

181

DRIVEWAY  
 PAVERS SET IN SAND  
 SHOWN CROSS-HATCHED  
 75.0 SQ.FT.

181

(E) 6FT WOOD FENCE  
 TO BE REMOVED

180

5'-0" FRONT  
 SETBACK

179

178

GARAGE LANDING  
 AND STEPS 36.0 SQ.FT.

178

GARAGE  
 200.0 S.F.  
 FF ELEV. 179.1'

178

GAS

177

DOWN

176

175

SOUTH PATIO  
 STONE SET ON SAND  
 SHOWN HATCHED  
 323.0 SQ.FT.

174

173

172

171

170

169

168

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165

164

163

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161

160

MAIN DWELLING  
 1,223.0 S.F.  
 FF ELEV. 178.0'

LADING 2  
 17.0 S.F.

178

177

176

175

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EAST PATIO  
 STONE SET ON SAND  
 SHOWN HATCHED  
 184.2 SQ.FT.

185

184

183

182

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175

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173

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171

170

169

168

167

166

(WEST 100.00')

EXISTING RESIDENCE

(SOUTH 40.00')

15'-0" FRONT  
 SETBACK

185

184

183

182

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BLOCK 23

THIRD AVENUE (A 50' WIDE CITY STREET)

GUADALUPE STREET (A 60' WIDE CITY STREET)

BLOCK 40

NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. THE PROJECT BENCHMARK IS A WAGON NAIL IN THE ASPHALT CURB AS SHOWN ON THIS MAP. ELEVATION = 183.40'
- CONTOUR INTERVAL = 1 FOOT.
- TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.
- DENOTES A FOUND MONUMENT, AS NOTED.
- DENOTES A 5/4" NON-PIPE TAGGED "LS 7771"
- A CORNER RECORD WILL BE FILED WITH THE COUNTY OF MONTEREY SHOWING THE MONUMENTATION SET WITH THIS BOUNDARY SURVEY.

LEGEND:

- FENCE LINE
- CB --- CATCH BASIN
- CONC --- CONCRETE
- CP --- CORRUGATED PLASTIC PIPE
- ELEV. --- ELEVATION
- EP --- TYPE OF PAVEMENT
- IN --- INVERT
- K --- OAK
- P --- PINE
- R --- REDWOOD
- T --- TREE, SPECIES AND SPLICED
- UP --- UTILITY POLE
- WM --- WATER METER

PRELIMINARY SITE ASSESSMENT

Owner: Dominic Capital LLC  
 Preparer: Pat Corrigan  
 Date: 1/20/15 Cont: 15-30



1/13/2015

TOPOGRAPHIC SURVEY

OF  
 LOT 1, BLOCK 40  
 MAP OF CARMEL CITY  
 VOLUME 1, CITIES & TOWNS, PAGE 52

CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA  
 PREPARED FOR  
 PAT CORRIGAN

BY  
 MONTEREY BAY ENGINEERS, INC.

CIVIL ENGINEERING • SUBDIVISIONS • LAND SUBDIVISION • CONSTRUCTION STAKING  
 607 Charles Ave. Suite B Phone (831) 899-7899 Seaside, California 93055

SCALE: 1" = 8' JOB NO. 14-142 DECEMBER 2014  
 DRAWN BY: ENO & TOM

LOT 2  
 DIAMOND  
 APN: 010-024-012

LOT 4  
 D AMBROSIO  
 APN: 010-024-011

LOT 1  
 DOMINIC CAPITAL LLC  
 APN: 010-024-001

LOT 3  
 FLOWERS  
 APN: 010-024-002

Two story wood siding

Two story stucco siding

Single story stucco siding

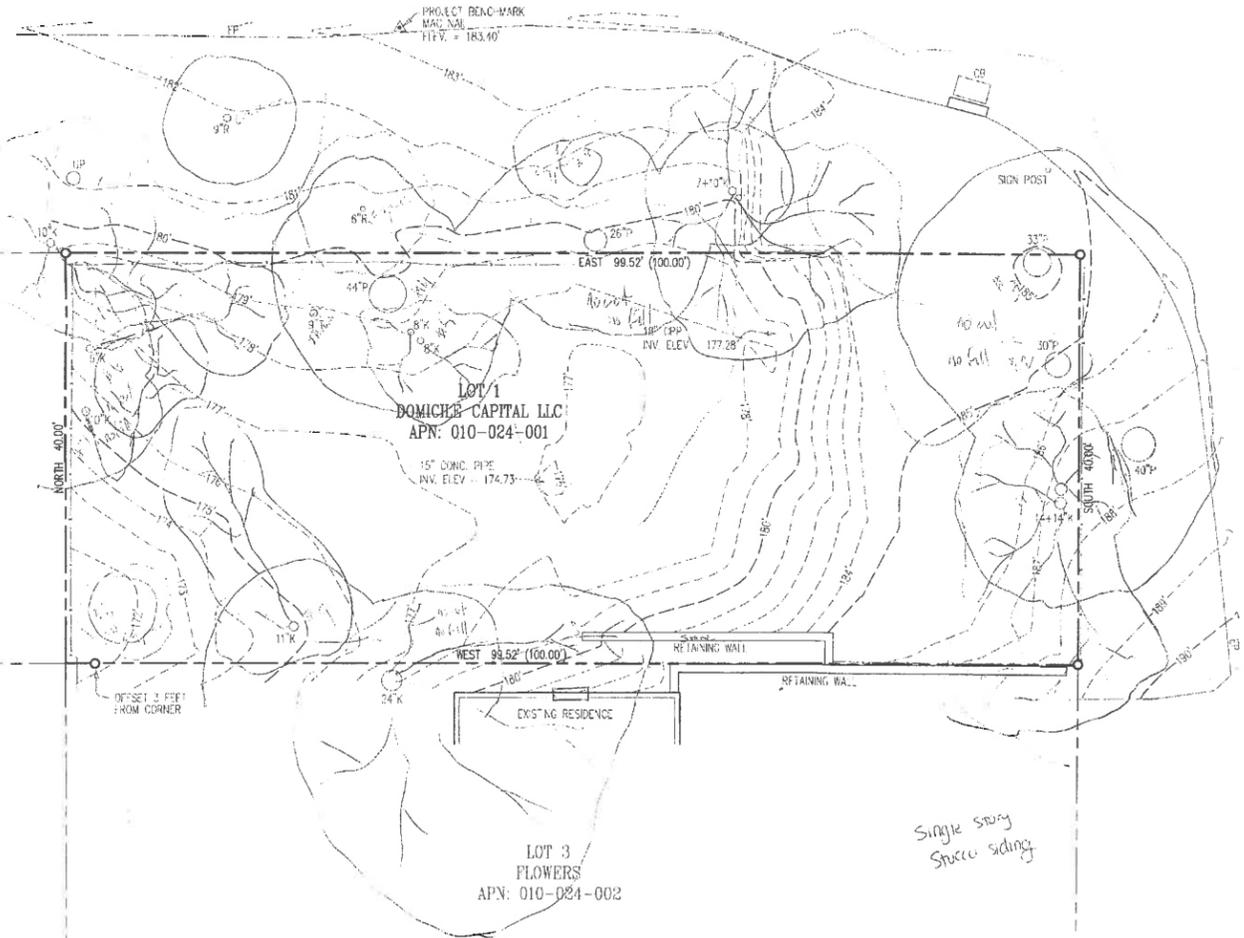
Single story stucco siding

Two story wood siding

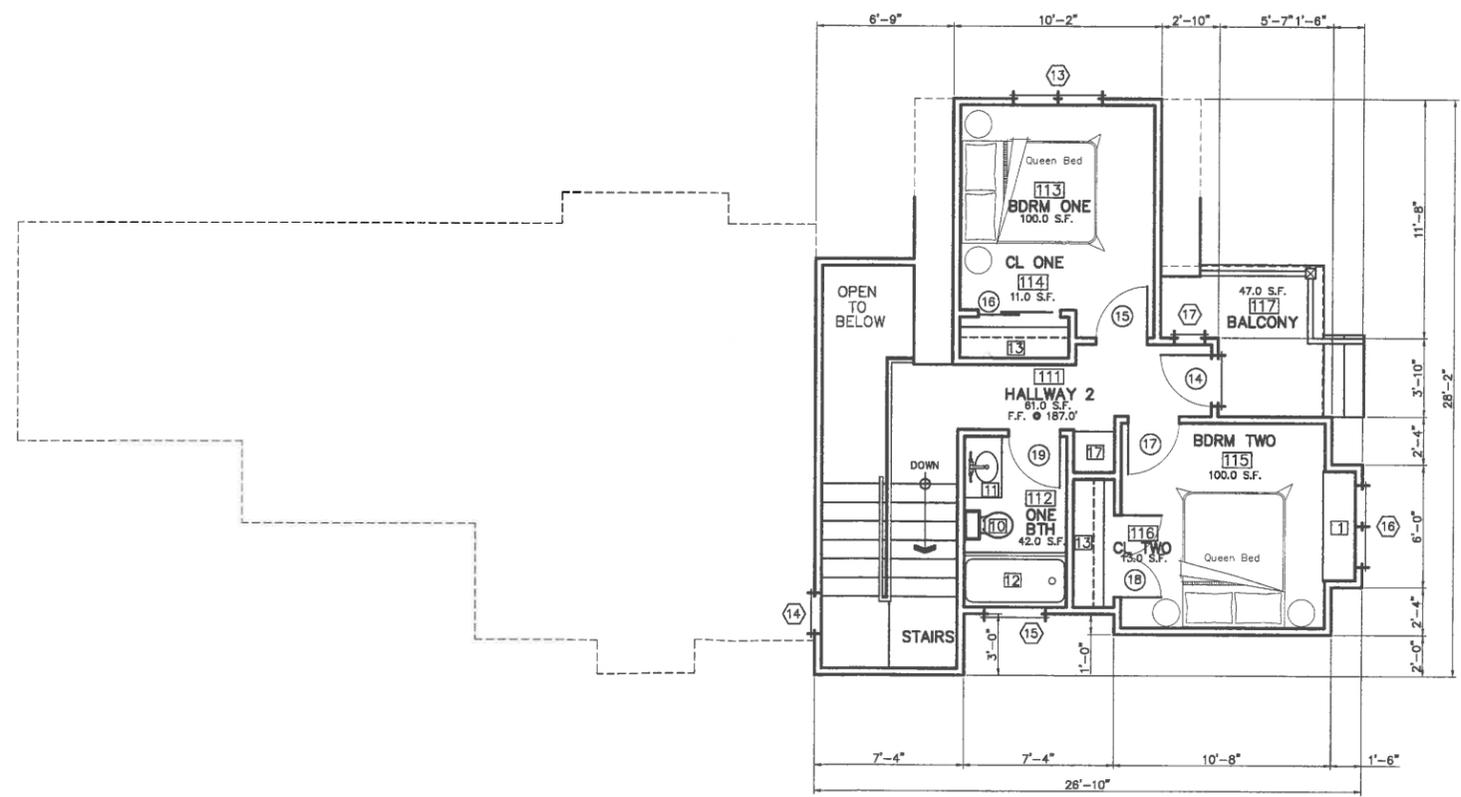
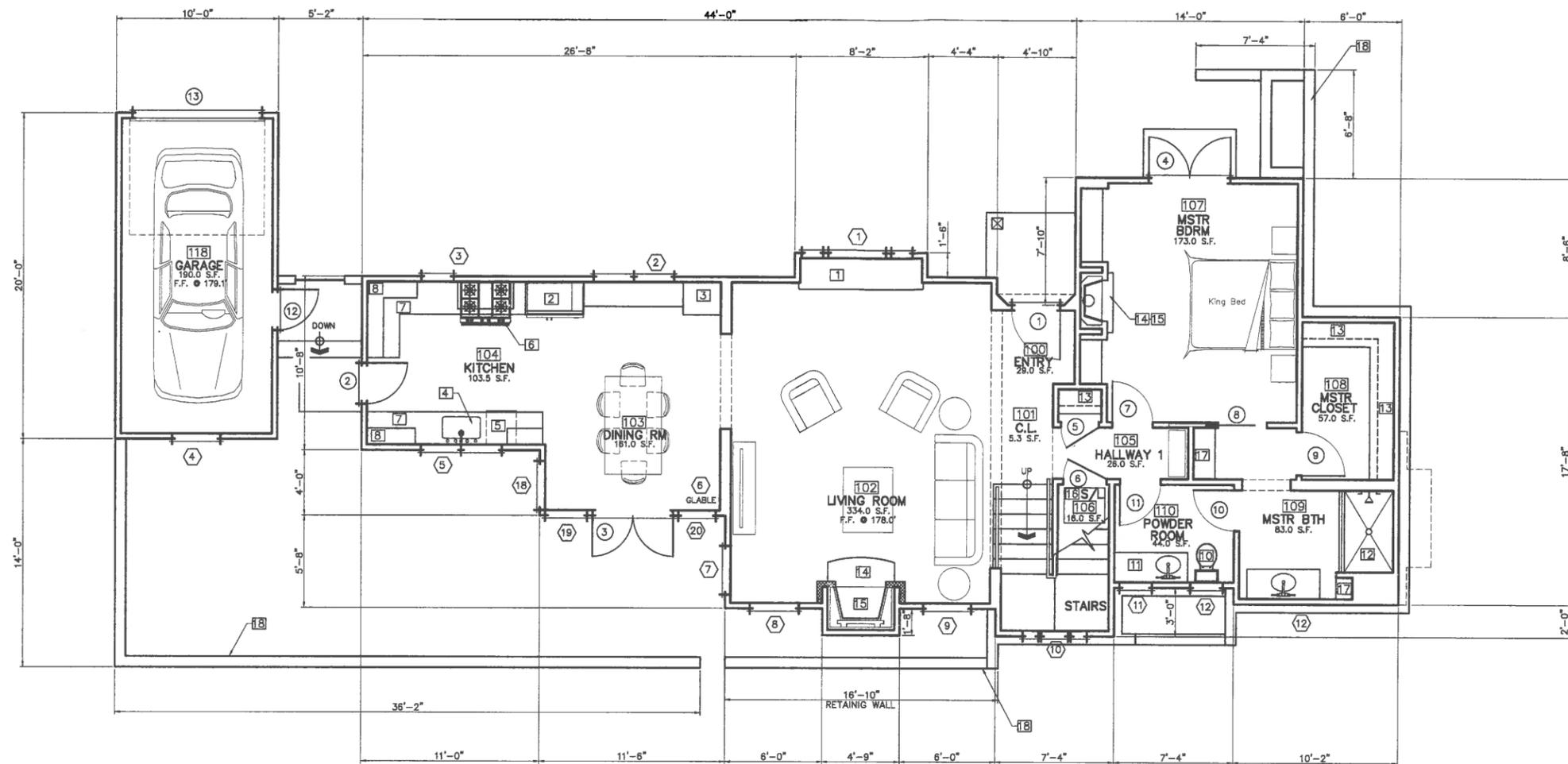
Vertical wood siding

Two story stucco siding

Stucco siding



FOUND 1/2" IRON PIPE TAGGED "LS 4986"



**ROOM NOTES**

- 100 Foyer 4'-6" X 6'-6"
- 101 COATS CLOSET 2'-0" X 4'-4"
- 102 LIVING ROOM 15'-7" X 20'-0"
- 103 DINING ROOM 8'-10" X 14'-6"
- 104 KITCHEN 9'-0" X 14'-6"
- 105 HALLWAY ONE 3'-2" X 9'-2"
- 106 STACK LAUNDRY 3'-2" X 4'-0"
- 107 MASTER BEDROOM 11'-0" X 14'-8"
- 108 MASTER CLOSET 5'-8" X 10'-0"
- 109 MASTER BATHROOM 6'-8" X 9'-6"
- 110 POWDER ROOM 6'-6" X 7'-1"
- 111 HALLWAY TWO 3'-2" X 15'-7"
- 112 BATHROOM ONE 5'-0" X 8'-4"
- 113 BEDROOM ONE 7'-4" X 11'-4"
- 114 CLOSET ONE 2'-0" X 8'-4"
- 115 BEDROOM TWO 10'-0" X 10'-0"
- 116 CLOSET TWO 2'-0" X 8'-3"
- 117 BALCONY 5'-2" X 7'-5"
- 118 GARAGE 9'-10" X 19'-4"

**KEY NOTES**

- 1 BUILT-IN WINDOW SEAT WITH BUILT-IN CAB. UNDER
- 2 36" BUILT-IN REFRIGERATOR
- 3 BUILT-IN PANTRY CABINET
- 4 KITCHEN SINK W/GARBAGE DISPOSAL
- 5 DISH WASHER SPACE
- 6 36" RANGE DUAL FUEL RANGE VENTILATED W/42" HOOD ABOVE
- 7 42" HIGH COUNTER WITH STONE SLAB TOP AND TILE BACKSPLASH
- 8 UPPER CABINETS
- 9 ISLAND 3'-4" X 4'-2"
- 10 WATER S.P. TO BE MAXIMUM 125 GALLONS PER FLUSH PER C.F.C. 422.1
- 11 BATHROOM SINK W/6-INCH HIGH VANTY WITH STONE TOP AND BACKSPLASH
- 12 SHOWER OR TUB
- 13 3" DIA. RODS & ONE 2" ROD ONE SHIELD
- 14 STONE HEARTH, FLUSH
- 15 FIREPLACE
- 16 WASHER/DRYER SPACE
- 17 BUILT-IN LINEN CAB.
- 18 RETAINING WALLS: SEE SITE PLAN FOR HEIGHTS

- ⊙ DENOTES WINDOWS, SEE WINDOW SCHEDULE
- ⊙ DENOTES DOORS, SEE DOOR SCHEDULE



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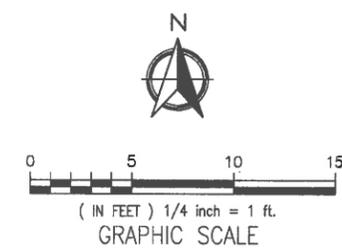
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 1010 Cass Street, Suite B4  
 Monterey CA, 93940

**PROJECT:** Michaels-Corrigan Residence  
 S/w Corner of Guadalupe & 3rd., Carmel  
 BLOCK: 40 LOTS: 1  
 APN: 010-024-001-000  
 PROJECT NO. 14-14

**ISSUE:** 04-25-15  
**DRAWN BY:** C.O.

**PROPOSED MAIN & UPPER LEVEL FLOOR PLANS**

SCALE: 1" = 1/4"



**Proposed Floor Area**

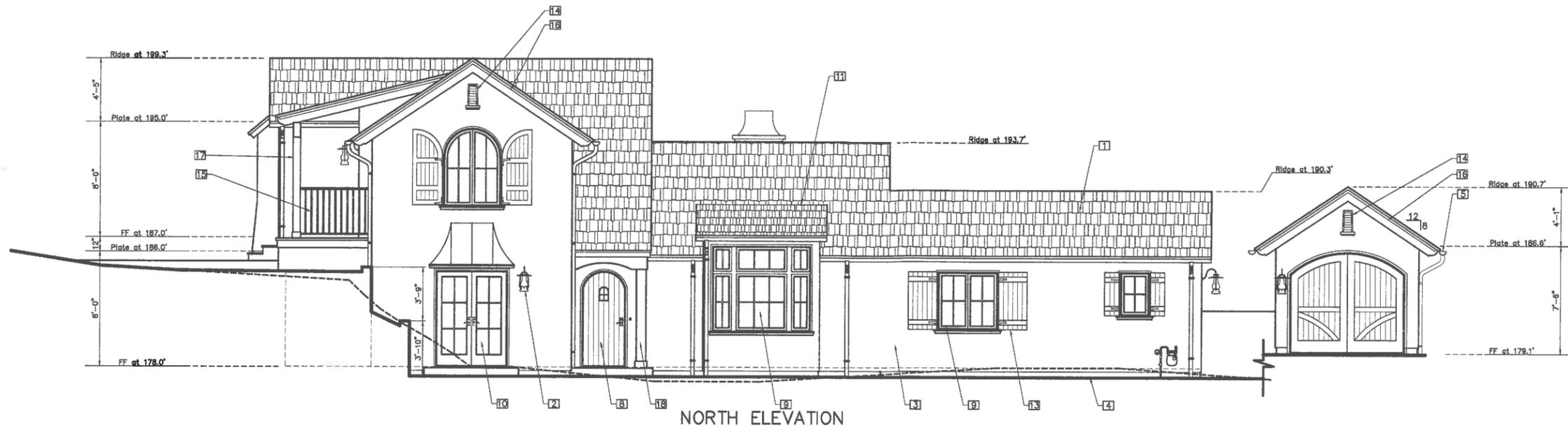
MAIN LEVEL	1,213.2 S.F.
GARAGE	200.0 S.F.
UPPER LEVEL	386.2 S.F.
<b>TOTAL</b>	<b>1,799.4 S.F.</b>



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**KEY NOTES**

- 1 ROOF: WOOD SHAKE
  - 2 LIGHT FIXTURE: F5X SPECIFICATIONS, 150 LUMENS
  - 3 SIDING: THREE COAT CEMENT PLASTER
  - 4 GRADE WHERE OCCURS
  - 5 GUTTERS: 6 INCH ROUND, COPPER, WITH A 2% SLOPE TO DOWN SPOUTS.
  - 6 DOWN SPOUTS: 3 INCH ROUND, COPPER
  - 7 COPPER CHIMNEY CAP
  - 8 ENTRY DOOR: 2-1/4-INCH THICK, STAIN DOOR
  - 9 WINDOWS (TYP.): WOOD DIVIDED LIGHTS, PAINTED
  - 10 DOORS (TYP.): WOOD DIVIDED LIGHTS, PAINTED
  - 11 SHED ROOF: WOOD SHAKE
  - 12 COPPER ROOF
  - 13 WOOD WINDOW SHUTTERS
  - 14 WOOD GABLED VENT
  - 15 WOOD GUARDRAIL, 42" HIGH
  - 16 BARGE: 4X8 RWD
  - 17 POST: 6X8 RWD OVER 8X12 BEAM
  - 18 POST: 8X8 RWD OVER 8X18 SHAPED BEAM
  - 19 RETAINING WALL SHOWN DASHED LINE
- DENOTES WINDOWS, SEE WINDOW SCHEDULE  
 ○ DENOTES DOORS, SEE DOOR SCHEDULE



**NORTH ELEVATION**



**WEST ELEVATION**



**EAST ELEVATION**



**SOUTH ELEVATION**

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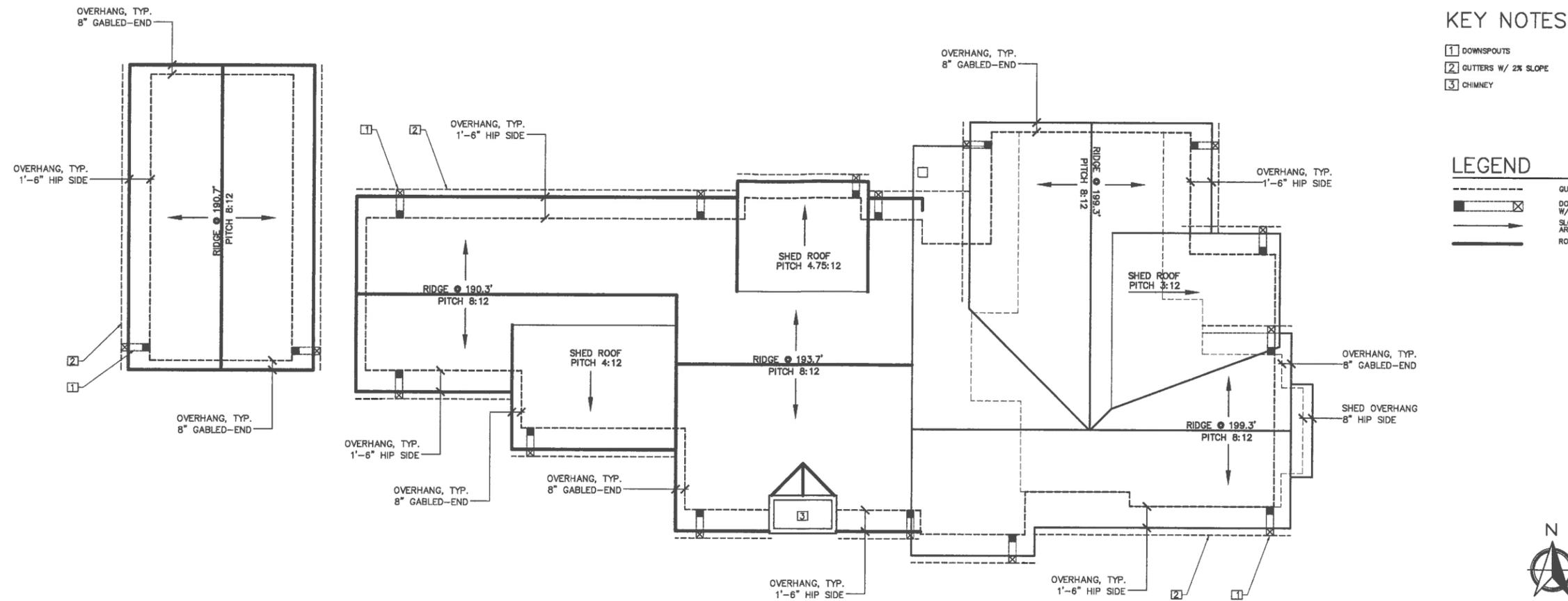
**PROJECT:**  
 Michael-Corrigan Residence  
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 BLOCK: 40 LOTS: 1  
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 PROJECT NO.  
 14-14

**ISSUE:**  
 04-25-15

**DRAWN BY:**  
 C.O.

**PROPOSED  
 ELEVATIONS**

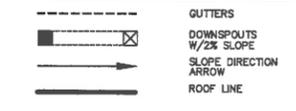
SCALE: 1" = 1/4"



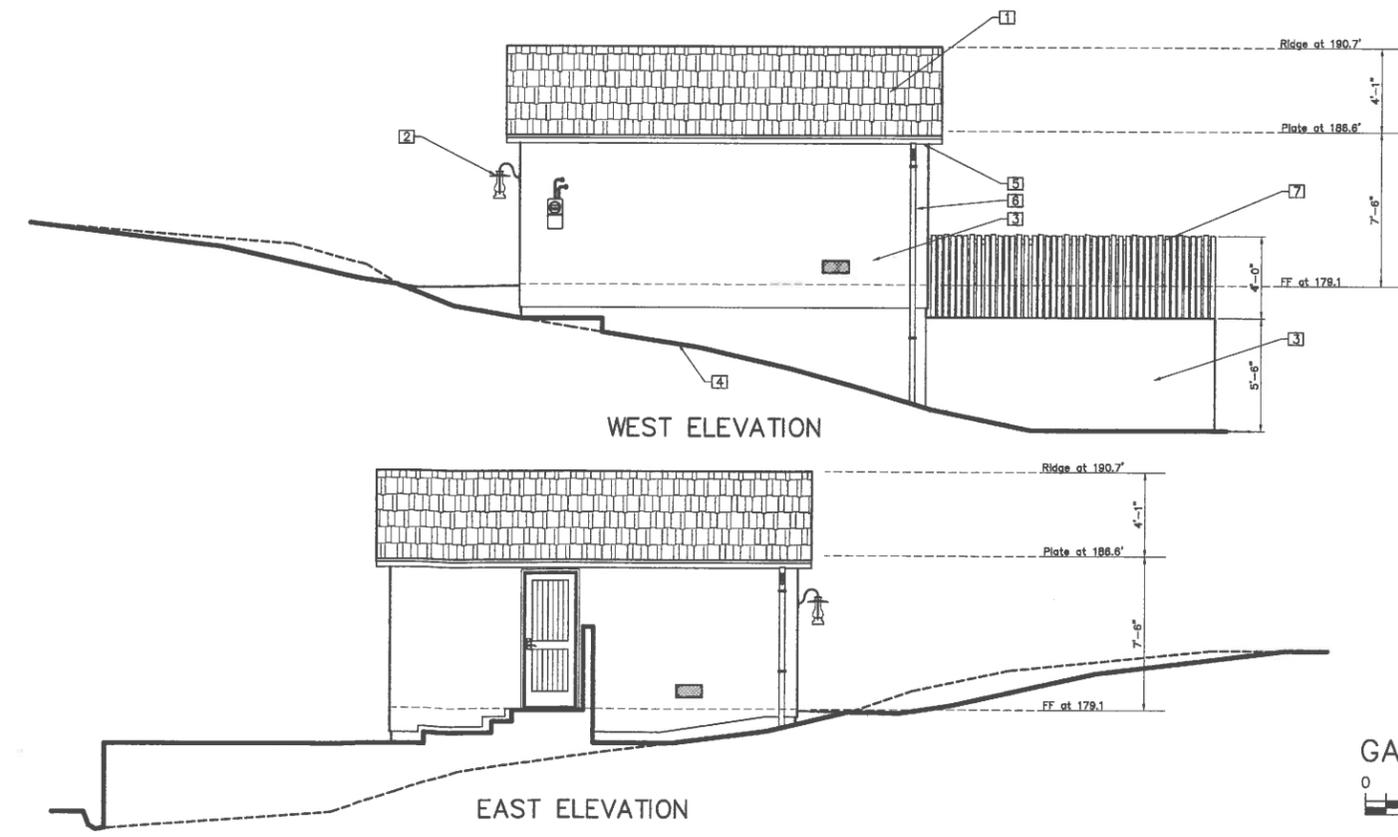
**KEY NOTES**

- 1 DOWNSPOUTS
- 2 GUTTERS W/ 2% SLOPE
- 3 CHIMNEY

**LEGEND**



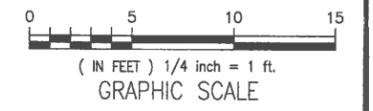
**ROOF PLAN**



**KEY NOTES**

- 1 ROOF: WOOD SHAKE
  - 2 LIGHT FIXTURE PER SPECIFICATIONS, 150 LUMENS
  - 3 SIKING: THREE COAT CEMENT PLASTER
  - 4 GRADE WHERE OCCURS
  - 5 GUTTERS: 6 INCH ROUND, COPPER, WITH A 2% SLOPE TO DOWN SPOUTS
  - 6 DOWN SPOUTS: 3 INCH ROUND, COPPER
  - 7 PRIVACY FENCE: 4FT HIGH, SEE SHEET 9 FENCE 'A'
- ⊙ DENOTES DOORS, SEE DOOR SCHEDULE

**GARAGE ELEVATIONS**



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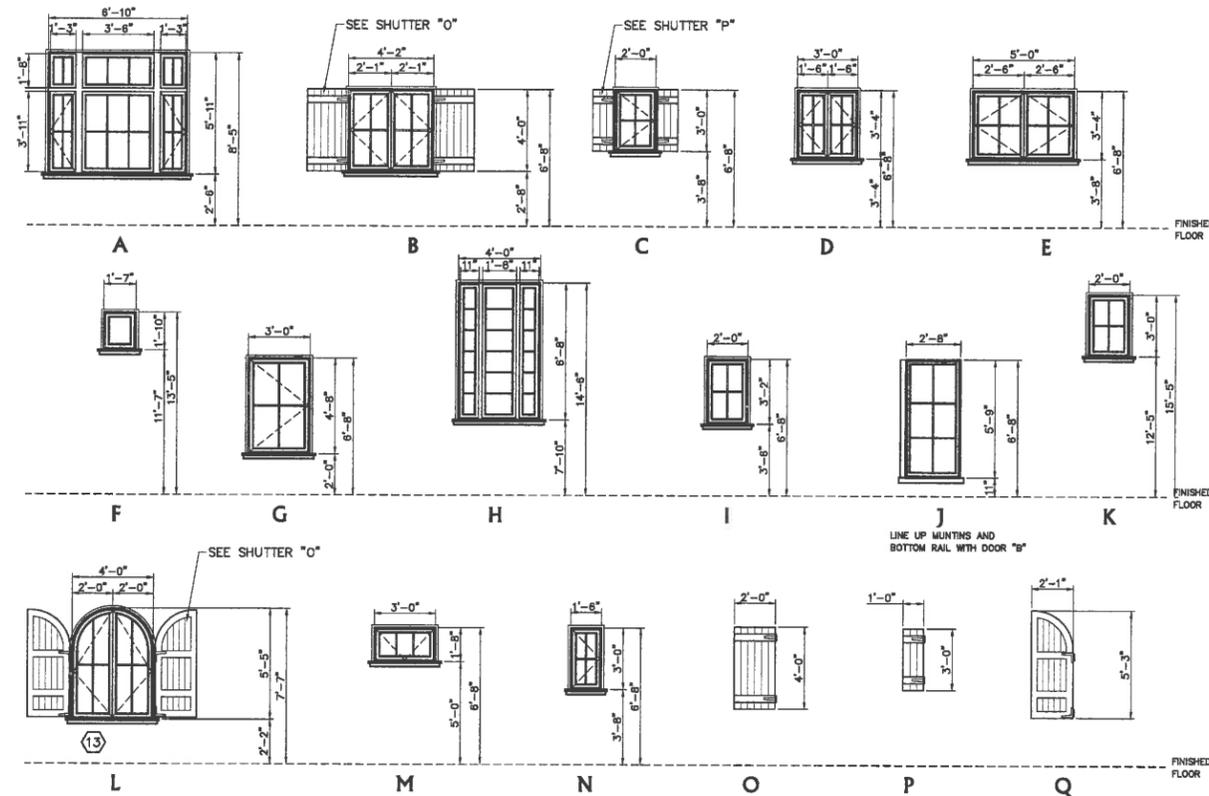
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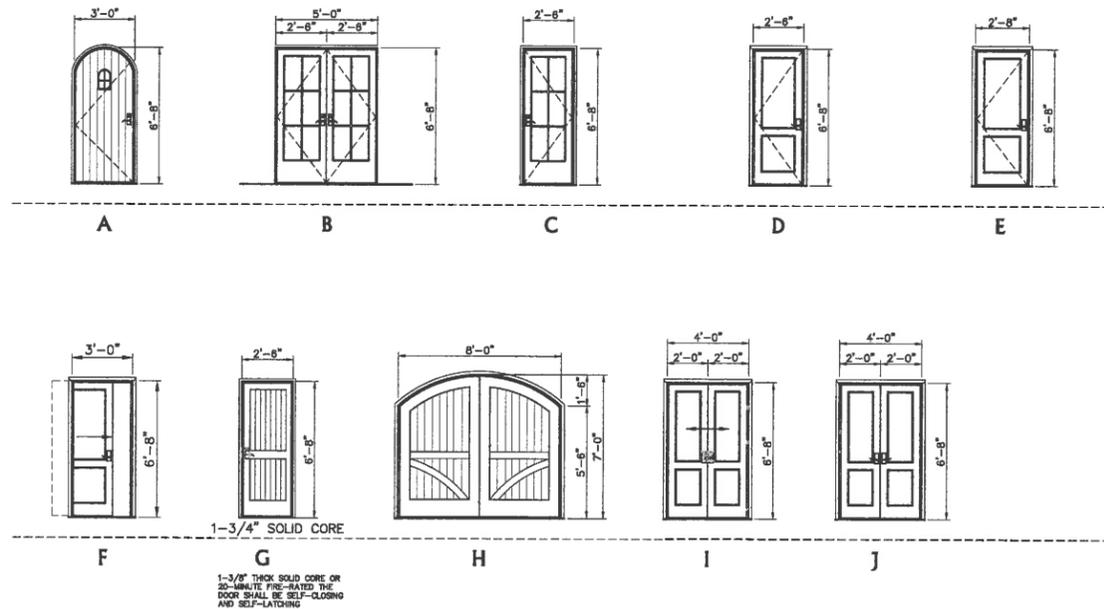
**PROPOSED  
 ROOF PLAN, GARAGE  
 ELEV & ANG PLN**

SCALE: 1" = 1/4"

## Window Elevations Types



## Door Elevations Types



## Window Schedule

NO.	LOCATION	TYPE	SIZE / MATERIAL	FINISH	REMARKS	GLAZING	TEMPERED	SCREEN	DETAIL SHEET #			
									THRESHOLD	JAMB	HEAD	
1	LIVING ROOM	A	6'-10" X 5'-11"	WOOD-CLAD	P	CASEMENT-FIXED-CASEMENT	YES	YES	NO			
2	DINING ROOM	B	5'-0" X 4'-0"		P	CASEMENT	YES	NO	NO			
3	KITCHEN	C	2'-0" X 3'-0"		P	CASEMENT	YES	NO	NO			
4	GARAGE	D	3'-0" X 3'-4"		P	CASEMENT	YES	NO	NO			
5	KITCHEN	E	5'-0" X 3'-4"		P	CASEMENT	YES	NO	NO			
6,7,8	LIVING ROOM	F	1'-7" X 1'-10"		P	FIXED	YES	YES	NO			
9	LIVING ROOM	G	3'-0" X 4'-8"		P	CASEMENT	YES	YES	NO			
10	STAIRS	H	4'-0" X 6'-8"		P	FIXED	YES	YES	NO			
11,12	POWDER ROOM	I	2'-0" X 3'-2"		P	CASEMENT	YES	NO	NO			
18,19,20	DINING ROOM	J	2'-8" X 5'-9"		P	FIXED	YES	NO	NO			
	DINING ROOM	O	2'-0" X 4'-0"		P	FIXED WOOD SHUTTER WITH FORGED IRON HINGES	-	-	-			
	KITCHEN	P	1'-0" X 3'-0"		P	FIXED WOOD SHUTTER WITH FORGED IRON HINGES	-	-	-			
13	BEDROOM ONE	L	4'-0" X 5'-5"		P	CASEMENT	YES	YES	NO			
14	STAIRS	K	2'-0" X 3'-0"		P	FIXED	YES	YES	NO			
15	BATHROOM ONE	M	3'-0" X 1'-8"		P	CASEMENT	YES	YES	NO			
16	BEDROOM TWO	K	4'-0" X 5'-5"		P	CASEMENT	YES	YES	NO			
17	HALLWAY TWO	N	1'-6" X 3'-0"		P	CASEMENT	YES	YES	NO			
	BEDROOM TWO	Q	2'-1" X 5'-3"		P	FIXED WOOD SHUTTER WITH FORGED IRON HINGES	-	-	-			

### Window Notes:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY C.O.D.G., INC.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
- PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC POLYSULFIDE OR URETHANE, AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
- WINDOW WOOD UNITS TO BE RECEIVED.
- ALL OPERABLE WINDOWS TO HAVE SCREENS, AS SPECIFY BY CLIENT.
- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- SINGLE PANE LAMINATED GLASS (1/8" THK. GL-FILM-1/8" THK. GL.) AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2" INCHES WITHOUT EXTENSION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O.)

### Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATION SHEETS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENINGS SEE ELEVATION SHEETS

### Window Manufacture:

MANUFACTURE:  
ADDRESS:  
CITY, STATE, ZIP:  
PHONE:  
FAX:

### Hardware Manufacture:

MANUFACTURE:  
ADDRESS:  
CITY, STATE, ZIP:  
PHONE:  
FAX:

### Symbols



### Abbreviations

- N/A — NOT APPLICABLE  
G.C. — GENERAL CONTRACTOR  
P — PAINT  
ST — STAIN  
FF — FACTORY FINISH  
I.D. — INTERIOR DESIGN  
S — SEALED  
MFR. — MANUFACTURER  
FIN. — FINISH  
NAT. — NATURAL

### Glazing Legend

TYPE 1 — TEMPERED GLAZING  
PER C.B.C. 2406.4

## Door Schedule

NO.	LOCATION	TYPE	SIZE / MATERIAL	FINISH	REMARKS	GLAZING	TEMPERED	DETAIL SHEET #				
								THRESHOLD	JAMB	HEAD		
1	FOYER	A	3'-0" X 6'-8"	WOOD	ST	2-1/4" THICK SOLID CORE DUCHT ENTRY	OUTSIDE	NO	NO			
2	KITCHEN	C	2'-6" X 6'-8"	WOOD	ST	FULL GLASS FRENCH DOOR	OUTSIDE	YES	YES			
3	DINING ROOM	B	PER 2'-6" X 6'-8"	WOOD	ST	FULL GLASS FRENCH DOOR	OUTSIDE	YES	YES			
4	MASTER BEDROOM	B	PER 2'-6" X 6'-8"	WOOD	ST	FULL GLASS FRENCH DOOR	OUTSIDE	YES	YES			
5	COATS CLOSET	D	2'-6" X 6'-8"	WOOD	ST	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
6	STACK LAUNDRY	E	2'-8" X 6'-8"	WOOD	ST	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
7	MASTER BEDROOM	D	2'-6" X 6'-8"	WOOD	ST	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
8	MASTER BATHROOM	F	3'-0" X 6'-8"	WOOD	ST	POCKET / PANELED DOOR	INSIDE	NO	NO			
9	MASTER CLOSET	E	2'-8" X 6'-8"	WOOD	ST	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
10	POWDER ROOM	D	2'-6" X 6'-8"	WOOD	ST	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
11	POWDER ROOM	D	2'-6" X 6'-8"	WOOD	ST	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
12	GARAGE	G	2'-8" X 6'-8"	WOOD	ST	FLUSHED / PANELED DOOR	OUTSIDE	NO	NO			
13	GARAGE	H	8'-0" X 7'-0"	WOOD	ST	(ROLL-UP) INSTALLED PER MANUFACTURE SPEC.'S	OUTSIDE	NO	NO			
14	HALLWAY TWO	C	2'-6" X 6'-8"	WOOD	ST	FULL GLASS FRENCH DOOR	OUTSIDE	YES	YES			
15	BEDROOM ONE	D	2'-6" X 6'-8"	WOOD	ST	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
16	CLOSET ONE	I	PER 2'-0" X 6'-8"	WOOD	ST	SLIDDER / PANELED DOOR	INSIDE	NO	NO			
17	BEDROOM TWO	D	2'-6" X 6'-8"	WOOD	ST	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
18	CLOSET TWO	J	PER 2'-0" X 6'-8"	WOOD	ST	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
19	BATHROOM ONE	D	2'-6" X 6'-8"	WOOD	ST	FLUSHED / PANELED DOOR	INSIDE	NO	NO			

### Door Notes:

- PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR HINGES TO BE 4.5"H. X 4.5"W. DOOR 7'-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
- GARAGE DOORS: SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH TO BE: EXTERIOR: INTERIOR: MGS:
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGES LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED SINGLE GLAZING PANE.

### Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATION SHEETS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENINGS SEE ELEVATION SHEETS

### Window Manufacture:

MANUFACTURE:  
ADDRESS:  
CITY, STATE, ZIP:  
PHONE:  
FAX:

### Hardware Manufacture:

MANUFACTURE:  
ADDRESS:  
CITY, STATE, ZIP:  
PHONE:  
FAX:

### Symbols



### Abbreviations

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FIN. — FINISH  
NAT. — NATURAL

### Glazing Legend

TYPE 1 — TEMPERED GLAZING  
PER C.B.C. 2406.4



**C.O.D.G.**  
CLAUDIO ORTIZ DESIGN GROUP, INC.  
P.O. BOX 3775 Carmel, CA 93921  
OFFICE: 831.826.4146  
CLAUDIO@CODG.COM  
WWW.CODG.COM

CLIENT: Capital Investments, LLC.  
Ridge Capital Investments, LLC.  
1010 Cass Street, Suite B4  
Monterey CA, 93940

PROJECT: Michaels-Corrigan Residence  
S/w Corner of Guadalupe & 3rd., Carmel  
BLOCK: 40 LOTS: 1  
APN: 010-024-001-000  
PROJECT NO. 14-14

ISSUE: 04-25-15

DRAWN BY: C.O.

PROPOSED WINDOW & DOOR SCHEDULES

SCALE: 1" = 1/4"



**FENCE A**

MATERIAL: REDWOOD  
 FINISH: NATURAL  
 HEIGHT: 4 FT. OR 6 FT. AS NOTED ON SITE PLAN



**FENCE B**

MATERIAL: REDWOOD  
 FINISH: NATURAL  
 HEIGHT: 4 FT. MAX.



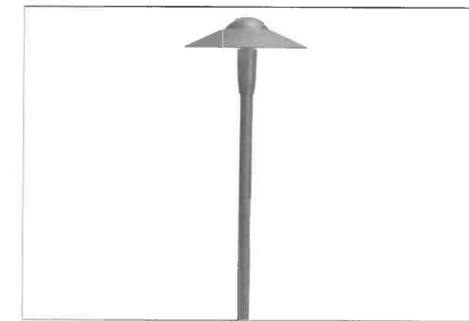
**FIXTURE A**

MANUFACTURE: CHAPMAN  
 T24 COMPLIANT: YES  
 COLOR: BRONZE  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: SEE BULB BELOW  
 DIMENSIONS: 16"H X 12"W X 18"



**FIXTURE B**

MANUFACTURE: CHAPMAN  
 T24 COMPLIANT: YES  
 COLOR: AGED BRONZE  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: SEE BULB BELOW  
 DIMENSIONS: 16"H X 12"W X 12"



**FIXTURE C**

MANUFACTURE: UNKNOW  
 T24 COMPLIANT: N/A  
 COLOR: BLACK  
 WATTS: 3 WATTS  
 LUMENS: 200  
 BULB TYPE: LED MODULE  
 DIMENSIONS: 18"H X 7"W



**BULB**

MANUFACTURE: PHILLIPS  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: B11 LED SOCKET



**DRIVEWAY PAVERS**

MANUFACTURE: CALSTONE  
 COLOR: OAK BARREL GRAY  
 INSTALLATION: SET ON SAND



**PATIO**

MANUFACTURE: CARMEL STONE  
 COLOR: NATURAL  
 INSTALLATION: SET ON SAND



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 Ridge Capital Investments, LLC.  
 1010 Cass Street, Suite B4  
 Monterey CA, 93940

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 Michaels-Corrigan Residence  
 S/W Corner of Guadalupe & 3rd., Carmel  
 BLOCK: 40 LOTS: 1  
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 14-14

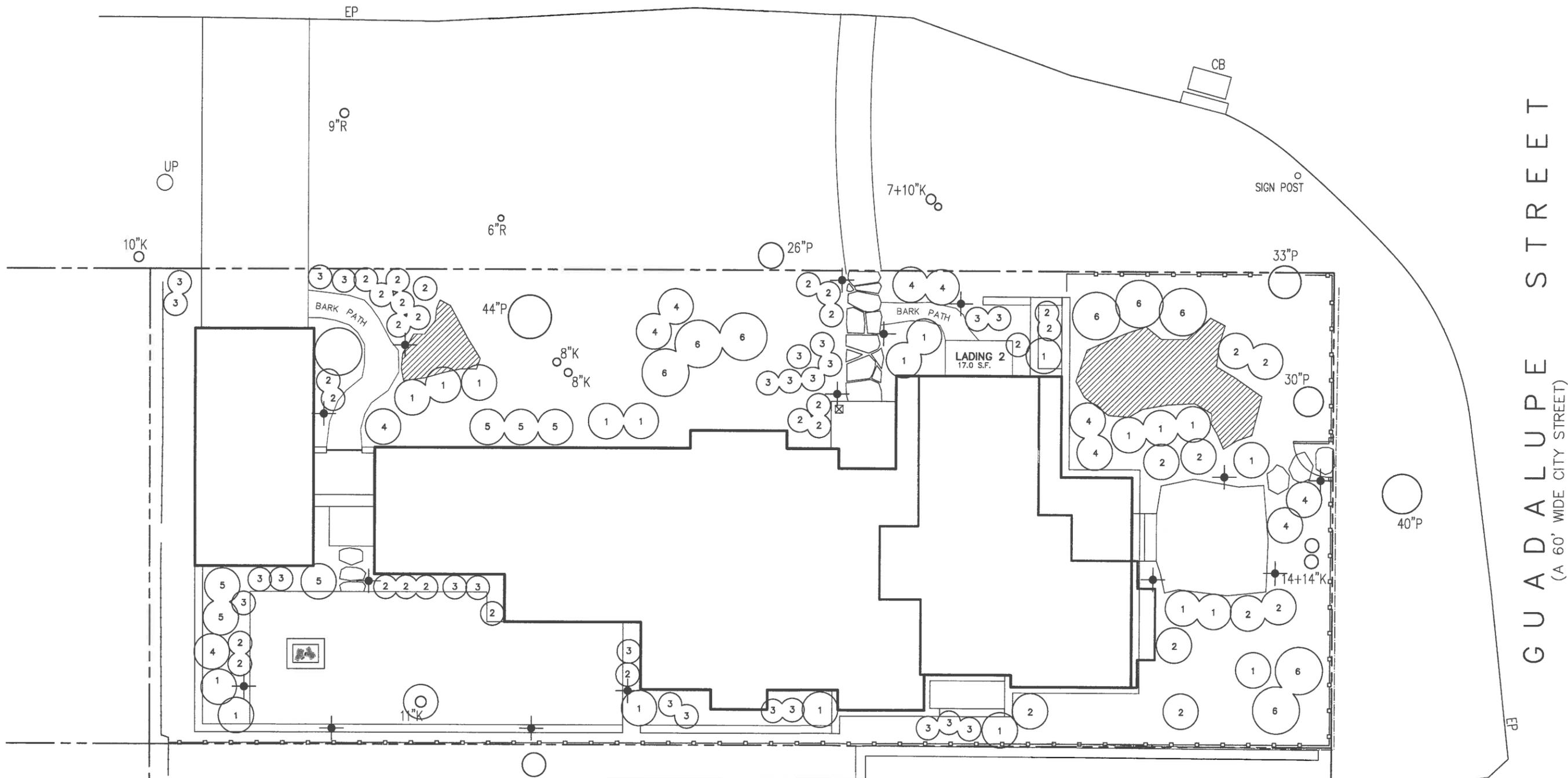
**ISSUE:**  
 04-25-15

**DRAWN BY:**  
 C.O.

**MATERIALS**

SCALE: 1" = 1/4"

# THIRD AVENUE



**EXTERIOR LIGHTING NOTES**

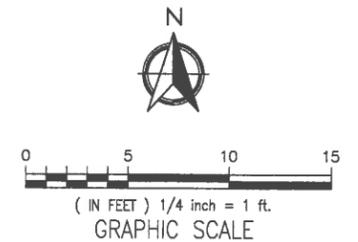
1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10- FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

**IRRIGATION SYSTEM**

1" ANTISIPHON DEVICE  
 1" ELECTRIC VALVES  
 FILTER PLUS REGULATOR FOR EACH VALVE  
 ELECTRIC CONTROLLER  
 EACH PLANT TO BE ON DRIP SYSTEM  
 ALL PLANTS WILL BE PLANTED WITH AGRIFORM TABS FOLLOWING MANUFACTURE DIRECTIONS.  
 COMPOST WILL BE MIXED WITH SOIL AT 2:1

PLANTS MAY VARY DEPENDING ON AVAILABILITY.  
 ALL PLANTS WILL BE IRRIGATED WITH DRIP IRRIGATION CONNECTED TO AN ELECTRIC VALVE AND CONTROLLER.  
 PLANTS WILL BE PLANTED WITH PLANTER MIX MIXED WITH NATIVE SOIL.

No.	BOTANICAL NAME	COMMON NAME	SIZE
1	AGAPANTHUS PETER PAN	LILY OF THE NILE	1 GAL
2	CISTUS DORIS HIBBERSON	ROCK ROSE	5 GAL
3	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GAL
4	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL
5	ROSMARINUS	ROSMARY	5 GAL
6	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL
	CAREX PANSA	CA MEADOW SEDGE	PACKS
	PATH LIGHT, 3 WATTS LED		



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 14-14

**ISSUE:**  
 04-25-15  
**DRAWN BY:**  
 C.O.

**PROPOSED  
 MAIN & UPPER LEVEL  
 FLOOR PLANS**

SCALE: 1" = 1/4"



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 10, 2015

**To:** Chair Goodhue and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director *RM*

**Submitted by:** Christy Sabdo, Contract Planner

**Subject:** Consideration of a Concept Design Study (DS 15-105) and associated Coastal Development Permit application for the construction of a new residence located in the Single-Family Residential (R-1), Park Overlay (P), and Beach and Riparian (BR) Overlay Zoning Districts

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**Recommendation:**

Continue Conceptual Design Study (DS 15-105) to a date-certain hearing of July 8, 2015

<b>Application:</b>	DS 15-105	<b>APN:</b>	010-302-010
<b>Block:</b>	A2	<b>Lot:</b>	S pt. Lot 7 & N pt. of Lot 8
<b>Location:</b>	4 SE of 9 <sup>th</sup> on Scenic		
<b>Applicant:</b>	Robert Carver, AIA	<b>Property Owner:</b>	Ronald Corradini

**Executive Summary:**

Shortly after this item was noticed for the June 10, 2015 Planning Commission meeting, concerns were voiced by neighbors regarding the design. The applicant is requesting a continuance in order to revise the plans with the intent of addressing the concerns of the neighbors.



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 10, 2015

**To:** Chair Goodhue and Planning Commissioners

**From:** Rob Mullane, AICP, Community Planning and Building Director RM

**Subject:** Discussion of the review process for proposals to install natural and artificial lawns on properties in the Single-Family Residential (R-1) Zoning District and other areas of the City

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**Recommendation:**

Discuss the review process for proposals to install lawns and artificial grass in the City and provide direction to staff.

**Executive Summary:**

The City has seen an increase in requests to install grass lawns, and has also seen an increase in installations of natural and artificial grass, some of which permitted and others unpermitted. Artificial grass, in particular, has grown in popularity with the on-going drought. The City has also seen an uptick in interest in alternative driveway and parking area surfaces, including grass-crete and other similar designs.

Lawns in the front yards or other areas visible from the public Right-of-Way (ROW) and other public locations are strongly discouraged in the City's Residential Design Guidelines. The primary guidance is in Residential Design Guideline 10.3, which states:

*Planting in areas visible from the street or other public places should continue the forest character.*

The fourth bullet point in Residential Design Guideline 10.3 states:

*Lawns visible from the street are inappropriate to the forest setting and should be avoided.*

Two Commissioners requested that a discussion item on lawns and artificial grass be placed on the Planning Commission agenda. Staff will provide an overview of recent requests and

installations, and will seek direction from the Planning Commission on any appropriate changes to the City's process for such requests.