

**CITY OF CARMEL-BY-THE-SEA  
PLANNING COMMISSION  
MEETING AGENDA**

Regular Meeting  
City Hall  
East Side of Monte Verde Street  
Between Ocean & Seventh Avenues

February 14, 2018  
Wednesday  
Tour: 2:00 p.m.  
Meeting: 4:00 p.m.

**A. CALL TO ORDER AND ROLL CALL**

Commissioners: Michael LePage, Chair  
Julie Wendt  
Gail Lehman  
Stephanie Locke

**B. TOUR OF INSPECTION**

Shortly after **2:00 p.m.**, the Commission will leave the Council Chambers for an on-site Tour of Inspection of all properties listed on this agenda (including those on the Consent Agenda). The Tour may also include projects previously approved by the City and not on this agenda. Prior to the beginning of the Tour of Inspection, the Commission may eliminate one or more on-site visits. The public is welcome to follow the Commission on its tour of the determined sites. The Commission will return to the Council Chambers at **4:00 p.m.** or as soon thereafter as possible.

**C. ROLL CALL**

**D. PLEDGE OF ALLEGIANCE**

**E. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS**

**F. VICE CHAIR ELECTION**

**G. APPEARANCES**

Anyone wishing to address the Commission on matters not on the agenda, but within the jurisdiction of the Commission, may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Commission agenda will not receive action at this meeting but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as otherwise established by the Commission Chair. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

## **H. CONSENT AGENDA**

Items placed on the Consent Agenda are considered to be routine and are acted upon by the Commission in one motion. There is no discussion of these items prior to the Commission action unless a member of the Commission, staff, or public requests specific items be discussed and removed from the Consent Agenda. It is understood that the staff recommends approval of all consent items. Each item on the Consent Agenda approved by the Commission shall be deemed to have been considered in full and adopted as recommended.

1. Draft minutes from the January 10, 2018 Planning Commission Meeting **(p. 5)**
  
2. DS 17-441 (Lasher)  
Holdren Lietzke Architecture, Architect  
Camino Real, 3 NE of 13th Ave  
Block: AA; Lot: 18  
APN: 010-281-013  
Consideration of a Final Design Study (DS 17-441) and associated Coastal Development Permit for the demolition of an existing residence and construction of a new 1,800 square-foot two-story residence located in the Single-Family Residential (R-1) Zoning District. **(p. 14 )**
  
3. DS 16-483 (Purvis)  
Aengus Jeffers, Agent  
4 Oak Knoll Way  
Block: 2, Lot(s): 2  
APN: 009-201-016  
Consideration of a Final Design Study (DS 16-483) and associated Coastal Development Permit for demolition of an existing residence and construction of a new 2,300 square-foot residence with detached garage in the front yard setback, located in the Single-Family Residential (R-1) Zoning District. **(p. 35 )**

## **I. PUBLIC HEARINGS**

If you challenge the nature of the proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

1. Trash Receptacle Replacement  
City of Carmel-by-the-Sea  
Downtown and Devendorf Park  
Block: n/a; lot: n/a  
APN: n/a  
Consideration of a Pilot Project to replace existing trash receptacles in and around Devendorf Park with new combined trash and recycling receptacles. **(p. 62)**

2. CDP 16-315 (Carmel-by-the-Sea)  
North Dunes Carmel Beach  
North of Ocean Ave/West of San Antonio  
Block: n/a; lot: n/a  
APN: n/a  
Annual update on the North Dunes restoration project and consideration of an amendment to the Coastal Development Permit (CDP 16-315) allowing for the removal of additional trees in the North Dunes. The Planning Commission will be making recommendations to the City Council.  
**(p. 71)**
  
3. DS 17-443 (Nelson)  
Erik Dyar, Architect  
SW Corner of Camino Real & 13<sup>th</sup> Avenue  
Block: DD, Lot(s): 1 & 3  
APN: 010-284-001  
Consideration of a Final Design Study (DS 17-443) and associated Coastal Development Permit for ground-level and two-story additions to an existing single story residence located in the Single-Family Residential (R-1) Zoning District.  
**(p. 89)**
  
4. DS 18-009 (Scattini)  
Claudio Ortiz, Designer  
SW Cor. Of Guadalupe and 1<sup>st</sup> Ave.  
Block: 16; Lot: 1  
APN: 010-026-001  
Consideration of Concept Design Study (DS 18-009) and associated Coastal Development Permit for demolition of an existing residence, construction of a new 1,800 square-foot two-story residence located in the Single-Family Residential (R-1) Zoning District. **(p. 118 )**
  
5. DS 17-429 (Nai)  
Samuel Pitnick, Architect  
SE corner of 10th and Torres Street  
Block: 120; Lot: 1  
APN: 010-331-001  
Consideration of combined Concept and Final Design Study (DS 17-429) and associated Coastal Development Permit for the remodel of an existing residence and addition of 864 square feet. The project site is located in the Single-Family Residential (R-1) Zoning District. **(p. 142 )**
  
6. DS 17-398/VA 18-021 (Quan)  
Justin Pauly, Architect  
SW corner of 6th and Carpenter Street  
Block: 64; Lot: 1  
APN: 010-033-005  
Consideration of Concept Design Study (DS 17-398), Variance (VA 18-021) and associated Coastal Development Permit for demolition of an existing residence, construction of a new 1,800 square-foot two-story residence located in the Single-Family Residential (R-1) Zoning District.  
**(p. 180 )**
  
7. UP 18-029/DR 18-028/SI 18-030 (Yeast of Eden)  
John Hill, Business Owner  
Carmel Plaza  
Block: 78; Lots: All  
APN: 010-086-006  
Consideration of a Use Permit (UP 18-029), Design Review (DR 18-028) and Sign (SI 18-030) application for the establishment of a full-line restaurant (Yeast of Eden) and associated exterior storefront alterations and signage for a commercial space located in the Carmel Plaza.  
**(p. 215 )**

**J. DIRECTOR'S REPORT**

1. Update on Planning Activities

**K. BOARD MEMBER ANNOUNCEMENTS**

**L. ADJOURNMENT**

The next meeting of the Planning Commission will be: Wednesday, March 14, 2018

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. Carmel-by-the-Sea City Hall is an accessible facility. The City of Carmel-by-the-Sea telecommunications device for the Deaf/Speech Impaired (T.D.D.) Number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request of the Administrative Coordinator. If you need assistance, please advise the Planning Commission Secretary what item you would like to comment on and the microphone will be brought to you.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning & Building Department located in City Hall, east side of Monte Verde between Ocean & 7<sup>th</sup> Avenues, during normal business hours.

**AFFIDAVIT OF POSTING**

*I, Marc Wiener, Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln Avenues and the Carmel Post Office.*

Dated this 9<sup>th</sup> day of February, 2018 at the hour of 4:00 p.m.

\_\_\_\_\_  
Marc Wiener, AICP  
Community Planning and Building Director

**CITY OF CARMEL-BY-THE-SEA**  
**PLANNING COMMISSION REGULAR MEETING MINUTES**  
**January 10, 2018**

**A. CALL TO ORDER AND ROLL CALL FOR TOUR OF INSPECTION**

PRESENT: Commissioners: Wendt, Lehman, Locke, & LePage

ABSENT: Goodhue

STAFF PRESENT: Marc Wiener, Community Planning & Building Director  
Marnie Waffle, Senior Planner  
Catherine Tarone, Assistant Planner  
Matthew Sundt, Contract Planner  
Cortina Whitmore, Planning Commission Secretary

**B. TOUR OF INSPECTION**

The Commission convened at 2:45 p.m. and then toured the following sites:

- DR 17-482 (Leidig/Draper), Dolores 2 SW of 5<sup>th</sup> Ave.; Blk: 55, Lot(s): 5 & 7
- DS 17-372 (Ayres), Casanova St., 3 SE of 10<sup>th</sup> Ave.; Blk: E, Lot(s):8
- DS 17-441 (Lasher), Camino Real. 3 NE of 13<sup>th</sup> Ave.; Blk: AA, Lot:18
- DS 17-443 (Nelson), SW corner of Camino Real & 13<sup>th</sup>; Blk: DD, Lot(s): 1 & 3
- DS 16-483 (Purvis), 4 Oak Knoll Way; Blk: 2; Lot: 2
- DS17-294 (Stepanek), Guadalupe 4 NE of 3<sup>rd</sup> Ave.; Blk: 22, Lot: 14
- DS 17-212 (Budden), Torres 3 NW of 1<sup>st</sup> Ave.; Blk:7, Lot: 5 (*Visit if necessary*)

**C. ROLL CALL**

Chairman Goodhue called the meeting to order at 4:15 p.m.

**D. PLEDGE OF ALLEGIANCE**

Members of the audience joined Commission Members in the Pledge of Allegiance.

**E. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS**

N/A

**F. APPEARANCES**

Speaker #1: Barbara Livingston, President of the Carmel Resident's Association announced the "Shape of Water" lecture scheduled for January 25, 2018 will meet in the Vista Lobos Community Room at 5:00 p.m.

**G. CONSENT AGENDA**

Items placed on the Consent Agenda are considered to be routine and are acted upon by the Commission in one motion. There is no discussion of these items prior to the Commission action unless a member of the Commission, staff, or public requests specific items be discussed and removed from the Consent Agenda. It is understood that the staff recommends approval of all consent items. Each item on the Consent Agenda approved by the Commission shall be deemed to have been considered in full and adopted as recommended.

1. Draft minutes from the December 13, 2017 Planning Commission Meeting. **(p.5)**
  
2. UP 17-442 (Holman Ranch)                      Consideration of a Use Permit (UP 17-442)  
Liz Bolar, Representative                      application for the establishment of a new wine  
SW corner of 7<sup>th</sup> & San Carlos                      tasting room located in the Service Commercial  
Block: 91; Lot(s): ½ of 3                      (SC) Zoning District. **(p.13)**  
APN: 010-145-001  
*(Item pulled for discussion)*
  
3. DS 17-372 (Ayres)                              Consideration of Final Design Study (DS 17-  
Greg Klein, Architect                              372) and associated Coastal Development Permit  
Casanova St., 3 SE of 10<sup>th</sup> Ave.                      for demolition of an existing residence,  
Block: E; Lot: 8                              construction of a new 1,600 square-foot single-  
APN: 010-185-015                              family residence, and 200 square-foot detached  
garage in the front yard setback, located in the  
Single-Family Residential (R-1) Zoning District.  
**(p.42)**
  
4. DS 17-212 (Budden)                              Consideration of a Final Design Study (DS 17-  
RT Budden, Owner                              212) and associated Coastal Development Permit  
Torres 3 NW of 1<sup>st</sup>.                              for a second story addition to an existing single  
Block: 7; Lot: 5                              story residence located in the Single-Family  
APN: 009-132-007                              Residential (R-1) Zoning District. **(p.69)**

**Commissioner Locke motioned to approve Consent Items #1; Draft minutes from the December 13, 2017 Planning Commission meeting with correction, Consent Item #3 DS 17-372 (Ayres) and Consent Item #4 DS 17-212 (Budden). Commissioner Lehman seconded the motion which carried the following vote: 4-0-1-0.**

AYES                      COMMISSIONERS: LEHMAN, WENDT, LOCKE & LEPAGE  
NOES:                      COMMISSIONERS: NONE  
ABSENT:                      COMMISSIONERS: GOODHUE  
ABSTAIN:                      COMMISSIONERS: NONE

Vice Chair LePage opened the public hearing for Item #2 UP 17-442 (Holman Ranch).

Speaker #1: Barbara Livingston voiced objection to the proposed project citing the approval contradicts the City's Wine Tasting Policy.

Speaker #2: Mike Brown expressed opposition to UP 17-442 and suggested the City place a cap on the number of allowable wine tasting establishments.

Speaker #3: Rich Pepe agreed with Ms. Livingston and Mr. Brown's comments and recommended a workshop to further discuss the Wine Tasting Policy.

Vice Chair LePage noted UP 17-442 (Holman Ranch) was previously heard and received unanimous support from the Planning Commission.

Marc Wiener, Planning Director clarified the findings the decision was based upon and noted the City currently has 15 stand-alone wine tasting rooms.

Speaker #4: Liz Bolar, Applicant clarified the location selection and noted Holman Ranch is committed to Carmel and community.

Vice Chair LePage closed the public hearing.

The Planning Commission held brief discussion and restated reasons for Planning Commission support.

**Commissioner Locke motioned to approve UP 17-442 (Holman Ranch). Commissioner Wendt seconded the motion which carried the following vote: 4-0-1-0.**

AYES: COMMISSIONERS: WENDT, LEHMAN, LOCKE & LEPAGE  
NOES: COMMISSIONERS: NONE  
ABSENT: COMMISSIONERS: GOODHUE  
ABSTAIN: COMMISSIONERS: NONE

## **H. PUBLIC HEARINGS**

1. DS 17-294 (Stepanek) Consideration of a Final Design Study ( DS 17-294) and associated Coastal Development Permit for the demolition of an existing single-family residence and construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District. (p.88)  
Jeff Crockett, Architect  
Guadalupe 4 NE of 3<sup>rd</sup> Ave.  
Block: 22; Lot: 14  
APN: 010-022-013

Commissioner Wendt recused from DS 17-294 (Stepanek).

Marnie Waffle, Senior Planner presented the staff report and noted staff recommends approval.

Speaker #1: Jerry Stepanek, Property Owner described design revisions made to accommodate the neighbors and noted the proposed patio is in the same location as the current patio and will face a shed. Mr. Stepanek also noted the proposed fence and addition of a second gate will mitigate privacy and noise concerns.

Vice Chair LePage opened the public hearing.

Speaker #2: Mo Massoudi, neighbor to the south voiced potential noise concerns with the proposed patio and expressed privacy concerns due to the proximity of the patio to the Massoudi's bedroom. Mr. Massoudi answered questions from the Commission. Mr. Massoudi noted he is more concerned with noise impacts and stated he is not agreeable to the installation of sound-proof windows.

Speaker #3: Jeff Crockett, Project Architect informed the Planning Commission the alternative designs provided to the Stepaneks by the Massoudis are not functional for the project and noted the Stepanek's have complied with all the requests made by the Planning Commission.

Vice Chair LePage closed the public hearing.

The Commission held discussion. Commissioner Lehman reiterated the Stepanek's willingness to replace the Massoudi's windows and noted the concessions made by the Stepanek's to accommodate the neighbors. Commissioner Locke recognized the complexities of this situation and noted the proposed patio will be located in the existing patio's footprint and stated the sound proof windows and second gate will help mitigate noise and privacy concerns. Commissioner LePage also acknowledged the noise concerns however noted the City has Municipal Ordinances to regulate noise impacts. Commissioner LePage asked Mr. Stepanek directly if he is willing to pay for the installation of sound proof windows at the Massoudi residence. Mr. Stepanek confirmed he is willing to pay for the installation of windows and noted the addition of a second gate to further mitigate noise concerns.

**Commissioner Lehman moved to approve DS 17-294 (Stepanek) with the special conditions the Applicant shall pay for the installation of three sound-proof glass bedroom windows along the north side of the neighbor's residence and to install an additional gate with connecting fence to the proposed fence in addition to special conditions as presented by staff. Motion seconded by Commissioner Locke and carried the following vote: 3-0-1-1.**

AYES:	COMMISSIONERS: LOCKE, LEHMAN & LEPAGE
NOES:	COMMISSIONERS: NONE
ABSENT:	COMMISSIONERS: GOODHUE
ABSTAIN:	COMMISSIONERS: WENDT

- |   |  |
|---|--|
| 2. DS 16-483 (Purvis)<br>Aengus Jeffers, Agent<br>4 Oak Knoll Way<br>Block: 22; Lots: 2<br>APN: 010-022-013 | Consideration of a Concept Design Study (DS 16-483) and associated Coastal Development Permit for demolition of an existing residence and construction of a new residence located in the Single-Family Residential (R-1) Zoning District. <b>(p.105)</b> |
|---|--|

Matthew Sundt, Contract Planner presented staff report and noted staff recommends approval.

Speaker #1: Laura Lawrence, Agent clarified design revisions, project grading requirements and noted a reduction of site coverage.

Speaker #2:Carolynn Abst, Project Architect clarified the design and answered questions from the Commission.

Speaker #3: Mr. Purvis, Property Owner commented his neighbors are not in town often.

Speaker #4: Jim Kimble, neighbor to the south indicated at present he did not have concerns with the proposed project however suggested the Applicant provide adequate drainage to mitigate any potential run-off problems.

Speaker #5: Susan Manchester, neighbor to the southwest expressed drainage concerns and suggested natural plants and landscape to mitigate run-off.

Vice Chair LePage closed the public hearing.

Planning Director, Marc Wiener informed the Commission and audience the City requires a drainage plan during the building permit plan check review phase of a project.

The Commission held discussion. Commissioners Locke and Wendt spoke in favor of the project and did not note any obvious impacts to the neighbors and requested solar shading. Commissioner Lehman voiced support for the contemporary design. Vice Chair LePage commented the design will provide diversity and noted garage placement limitations due to existing trees on site and expressed concern with the number of skylights.

Matthew Sundt, Project Planner clarified the building height is under the 18 foot limit.

Vice Chair LePage reopened the public hearing.

Speaker #2: Ms. Abst, Architect noted the proposed skylights are located in limited use rooms however will install solar shading.

Vice Chair LePage closed the public hearing.

**Commissioner Wendt moved to approve Concept Design DS 16-483 (Purvis) subject to staff conditions and findings as presented with direction from the Planning Commission. Motion seconded by Commissioner Lehman and carried the following roll call vote: 4-0-1-0.**

AYES: COMMISSIONERS: LOCKE, WENDT, LEHMAN & LEPAGE  
NOES: COMMISSIONERS: NONE  
ABSENT: COMMISSIONERS: GOODHUE  
ABSTAIN: COMMISSIONERS: NONE

3. DS 17-443 (Nelson) Consideration of a Concept Design Study (DS 17-443) and associated Coastal Development Permit for a two-story addition to an existing single story residence located in the Single-Family Residential (R-1) Zoning District. (p.132)  
Erik Dyar, Architect  
SW corner of Camino Real & 13<sup>th</sup>  
Block: DD; Lot(s): 1 & 3  
APN: 010-284-001

Marnie Waffle, Senior Planner presented the staff report and noted staff recommends approval.

Speaker #1: Erik Dyar, Architect summarized design elements and expressed willingness to hand-dig around a small encroachment if necessary.

Vice Chair LePage opened the public hearing.

Speaker #2: Pat Handler, neighbor to the south expressed concern with potential view impacts to the kitchen and master bedroom.

Speaker #1: Erik Dyar, Architect noted the majority of the house is setback.

Vice Chair LePage closed the public hearing.

The Commission held brief discussion. Commissioner Lehman complemented the architect on the design. Commissioner Locke voiced support for the design. Commissioner Wendt noted she appreciates the design and that the house will not be demolished. Vice Chair LePage suggested the architect introduce a horizontal element to the second story and garage and provided the Applicant with the direction to meet with the neighbor to address concerns. Commissioner LePage requested that the Planning Commission visit the neighboring residence to determine impacts.

**Commissioner Lehman motioned to accept Concept Design DS 17-443 (Nelson) as presented with the direction from the Planning Commission and staff recommended draft conditions. Motion seconded by Commissioner Wendt and carried the following roll call vote: 4-0-1-0.**

AYES: COMMISSIONERS: LOCKE, WENDT, LEHMAN & LEPAGE  
NOES: COMMISSIONERS: NONE  
ABSENT: COMMISSIONERS: GOODHUE  
ABSTAIN: COMMISSIONERS: NONE

4. DS 17-441 (Lasher) Consideration of a Concept Design Study (DS 17-441) and associated Coastal Development Permit for the demolition of an existing residence and construction of a new residence located in the Single-family Residential (R-1) Zoning District. **(p.157)**  
Craig Holdren, Architect  
Camino Real, 3 NE of 13<sup>th</sup> Ave.  
Block: AA; Lot: 18  
APN: 010-281-013

Marc Wiener, Planning Director presented the staff report and noted no privacy or view impacts however noted the mass and bulk from the front elevation appears too large and recommended lowering the structure one foot or more.

Speaker #1: Craig Holdren, Architect summarized the contemporary cottage design and explained how the house is designed around a significant tree. Mr. Holdren noted the proposed garage is located within the side setbacks.

Vice Chair LePage opened the public hearing seeing no speakers Vice Chair LePage closed the public hearing.

The Commission held brief discussion. The Commission spoke in favor of the design and complemented the architect.

**Commissioner Locke moved to approve Concept Design Study DS 17-441 (Lasher) subject to the findings and draft conditions with the direction to eliminate draft condition #1; the Applicant shall consider a reduction of height of the one story element on the front elevation. Motion seconded by Commissioner Lehman and carried the following roll call vote: 4-0-1-0.**

AYES: COMMISSIONERS: LEHMAN, WENDT, LOCKE & LEPAGE  
NOES: COMMISSIONERS: NONE  
ABSENT: COMMISSIONERS: GOODHUE  
ABSTAIN: COMMISSIONERS: NONE

5. DR 17-482 (Leidig/Draper) Preliminary concept review of a proposal (DR 17-482) to demolish an existing commercial building in order to construct a new two-story mixed-use building with an underground garage. The project site is located in the Service Commercial (SC) Zoning District **(p.171)**  
Erik Dyar, Architect  
Dolores 2 SW of 5<sup>th</sup> Ave.  
Block: 55; Lot(s): 5 & 7  
APN: 010-138-003

Marc Wiener, Planning Director presented the staff report. Mr. Wiener provided a brief property history and summarized the proposed design.

Speaker #1: Erik Dyar, Project Architect provided further design details, answered questions from the Commission and noted a 3D rendering will be prepared and presented to the Commission.

Vice Chair LePage opened the public hearing,

Speaker #2: Will Bowlus, President of the Carmel Art Association informed the Commission that the Art Association is working closely with Mr. Dyar and voiced support for the project.

Speaker #3: Johnny and Janelle Apodaca, Business Owners voiced support for the project.

Speaker #4: Michael Draper, Property Owner expressed his excitement about the multi-use project and Erik Dyar's involvement.

Vice Chair LePage closed the public hearing.

The Commission held discussion and provided the following preliminary comments:

- Provide a colored 3D rendering of the project and streetscape rendering the will show the relationship between the project and the surrounding neighborhood. Consider a model for the project.
- Consider varying the building height between the two, mixed use buildings (the project site and the Del Dono Court project to the north); and
- Provide details for the pedestrian corridors and consider using the passages as an opportunity to display art.

## **I. DIRECTOR'S REPORT**

### **1. Update on Planning Activities**

Marc Wiener noted the City Council authorized the Planning Commission to update the Residential and Commercial Design Guidelines. The Commission scheduled a Planning Commission Special Meeting, January 31, 2018 at 4:00 p.m. to discuss updates.

## **J. BOARD MEMBER ANNOUCEMENT**

N/A

**K. ADJOURNMENT**

There being no further business, Vice Chair LePage adjourned the meeting at 7:05 p.m.

The next meeting of the Planning Commission is scheduled:

Wednesday, February 14, 2018 at 4:00 p.m. – Regular Meeting

SIGNED:

\_\_\_\_\_  
Donald Goodhue, Planning Commission Chair

ATTEST:

\_\_\_\_\_  
Cortina Whitmore, Planning Commission Secretary



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

February 14, 2018

**To:** Chair LePage and Planning Commissioners

**From:** Marc Wiener, AICP, Community Planning and Building Director

**Submitted by:** Catherine Tarone, Assistant Planner

**Subject:** Consideration of a Final Design Study (DS 17-441) and associated Coastal Development Permit for the demolition of an existing single-family residence and the construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District.

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**Application:** DS 17-441

**APN:** 010-281-013

**Location:** Camino Real 3 NE of 13<sup>th</sup> Avenue

**Block:** AA

**Lot:** 18

**Applicant:** Holdren-Lietzke Architecture

**Property Owner:** Mark & Shari Lasher

### **EXECUTIVE SUMMARY**

The applicant is requesting approval of a Final Design Study and associated Coastal Development Permit for the demolition of an existing, one-story 909-square foot single family residence and detached garage and the construction of a new, two-story 1,800-square foot single family residence and detached garage in the R-1 Single Family Residential District.

### **RECOMMENDATION**

Approve the Final Design Study (DS 17-441) and associated Coastal Development Permit subject to the attached findings and conditions.

### **BACKGROUND AND PROJECT DESCRIPTION**

The project site consists of a single-family dwelling with a detached garage on a 4,000-square foot lot, located on Camino Real, 3 northeast of 13th Avenue. The existing dwelling and detached garage total 909 square feet. The applicant is proposing to demolish the existing one-story residence and detached garage and construct a new 1,600-square foot two-story residence with a 200-square foot detached garage. The proposed residence is clad with stucco siding, unclad wood windows and doors, and a slate roof.

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 SF (45%)	909 SF	1,800 SF
Site Coverage	396 SF/556 SF	Unknown	556 SF
Trees (Upper/Lower)	3/1	1/6	1/6
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18'/24'	Unknown	17'-3"/22'-2"
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12'/18'	Unknown	12'-6"/18'-6"
Setbacks	Minimum Required	Existing	Proposed
Front	15'	Unknown	41'
Composite Side Yard	10' (25%)	Unknown	9'6"*
Minimum Side Yard	3'	Unknown	3'
Rear	15'/3'***	Unknown	3'

\*Chimney encroaches into composite side-yard setback.

\*\*\*The rear setback is three feet for those portions of structures less than 15 feet in height.

**Previous Hearing:** The following are recommendations made by the Planning Commission at the January 10, 2018 Planning Commission meeting and a staff analysis of how the applicant has revised the design to comply with the recommendations.

1. *The applicant shall reduce the two-story plate height by 6 inches so that it conforms to the City's plate height standards.*

Staff Analysis: The applicant has complied with this requirement and has reduced the project's upper-floor plate height to comply with the maximum allowed plate height of 18 feet. The height between the upper-floor final floor and the upper-floor plate is now 7'-6" and the upper-floor plate height is set at an elevation of 520'-1."

2. *The applicant shall remove the fireplace from the 10-foot composite side-yard setback.*

Staff Analysis: The applicant has complied with this requirement and has moved the proposed stone and stucco fireplace outside of the 10-foot composite side-yard setback as shown on sheet A1.1 of the plans.

**Tree Limb Removal:** The applicant is proposing to remove one limb of a 19" oak tree located near the center of the property. The Forestry Department has reviewed the plans and, based on the overall canopy, health and size of the tree, has determined that the limb can be removed without harming the tree. A condition has been drafted requiring the applicant to obtain a tree removal permit prior to Final Approval.

The Forestry Department also noted that the new foundation for the proposed residence will be located within the six-foot protection zone of this oak tree. To mitigate impacts to the oak tree, the Forestry Department is requiring that a condition be placed on the project that if any significant roots are discovered, the architect/engineer must re-design the footing of the residence's foundation to accommodate the significant roots. Staff has drafted a condition of approval reflecting this requirement.

**Finish Details:** The finish details of the detached garage and residence include stucco siding, a slate roof in "China Multicolor," exposed cedar rafter tails, wood windows and French doors set in stained cedar trim panels and a glass railing at the second-story balcony on the south elevation. On the front (west) elevation of the garage and residence, stained cedar trellises will be mounted above the entrances and the garage door will be a cedar. The chimney on the south elevation will consist of a stone veneer base and a stucco upper-portion.

**Barbeque:** The applicant is proposing to install a barbeque in the rear south side yard setback. The Municipal Code requires that barbecues shall be located at least 3 feet from all rear and side property lines. Staff has drafted a condition of approval that the applicant shall move the barbeque outside of the side-yard setback to be at least 3 feet from the side and rear property lines.

**Lighting:** The City's Residential Design Guidelines, Section 11.8, states an objective to, *"Preserve the low nighttime lighting character of the residential neighborhoods. Use lights only where needed for safety and at outdoor activity areas,...point lights downward to reduce glare and avoid light pollution, and locate and shield fixtures to avoid glare and excess lighting as seen from the neighboring properties and from the street."*

The applicant is proposing 3 exterior lights that are attached to the wall of the residence and garage. Wall-mounted light fixtures are proposed to be wall sconces with frosted glass and a maximum brightness of 25 watts. Since the wall sconce lighting is not entirely shielded, the proposed lighting does not comply with the Residential Design Guidelines. Staff has drafted a condition of approval that the lantern lighting shall be entirely shielded as well as down-facing and 25 watts (approx. 375 lumens) or less.

The applicant is also proposing to mount four total shielded, 325-lumen LED, light sconces, two on each of the trellises attached to the front elevations of the residence and garage. This fixture is shielded, down-facing and meets the 375-lumen requirement. While staff typically discourages lighting to be mounted from arbors, since the lighting will be mounted no higher

than 10 feet above the ground and since the arbors are attached to the building, staff can support this proposal.

Eight landscape lights are proposed at the rear yard and front yard patios of the property and at the property's entrance. Each landscape light is 200 lumens in brightness and is shielded and down-facing which meets the City's code requirements. However, the Municipal Code requires that landscape lighting be spaced at least 10 feet apart and the proposed lighting is closer than 10 feet. Staff has drafted a condition of approval that the landscape lighting must be spaced at least 10 feet apart.

**Fence:** The applicant is proposing a new cedar fence along all property lines. The cedar fence will be solid and will be 4 feet high in the front setback and 5 feet high (maximum of 6 feet) in the rear and side setbacks. These materials and heights comply with the Municipal Code's requirements. The applicant is also proposing two four-foot-high stone columns at the entry gate which comply with the maximum stone column height of 6 feet.

**Driveway:** The applicant is proposing to install a 9-foot wide permeable paver driveway with turf installed in the middle portion which decreases the property's site coverage. While formal lawns are not allowed in the City of Carmel, the Planning Commission does typically approve the use of turf on driveways as a means of reducing site coverage.

**Decomposed Granit Front Pathway:** The applicant is proposing a to install a 4-foot-wide decomposed granite pathway in the city-owned right-of-way. The City's Right-of-Way Design Guidelines allow, "*a narrow crushed Decomposed Granite pathway from the street to the property entrance.*" The applicant is proposing to install a 4-foot wide decomposed granite pathway that flares to 7.5 feet where it meets Camino Real. In staff's opinion, the flared portion does not comply with the Right-of-Way Design Guidelines which requires a narrow pathway. Staff has drafted a condition of approval that the applicant shall narrow the decomposed granite pathway in the right-of-way to 4 feet in width maximum.

**Landscape Plan:** The Forestry Department has reviewed and approved the proposed landscape plan.

**Public ROW:** The City Right-of-Way (ROW) is free of any encroachments.

***Environmental Review:*** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of one single-family residence in a residential zone, and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans



Front Elevation – Facing East



Existing Residence – Facing West



**Staking and Flagging from the January PC meeting. Final height is not depicted, but 2nd-story plate height will be 6" lower than the pictured staking and flagging as per Commission requirements.**



**Staking and Flagging from the January PC meeting. Final height is not depicted, but 2nd-story plate height will be 6" lower than the pictured staking and flagging as per Commission requirements.**

## Attachment B – Findings for Approval

DS 17-441 (Lasher)  
 February 14, 2018  
 Findings for Approval  
 Page 1

<b>FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)</b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the General Plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):**

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

## Attachment C – Conditions of Approval

DS 17-441 (Lasher)

February 14, 2018

Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	<b>Authorization:</b> This approval of Design Study (DS 17-441) authorizes the applicant to demolish the existing single story residence and construct: 1) a new 1,600-square-foot residence; 2) a 200-square-foot detached garage; 3) unclad wood windows and doors; 4) a slate roof and stucco siding; 5) A new barbecue in the side yard; 6) a 4-foot high solid cedar fence punctuated by 4-foot-high stone columns in the front yard and a 5-foot high cedar fence in the side and rear yards; 7) a new, 10-foot wide, permeable paver driveway with turf in the center; 8) a new 4-foot wide decomposed granite entry walkway in the right-of-way; 9) new exterior lighting fixtures and landscape lighting; 10) new landscaping.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	<b>All foundations within 15 feet of significant trees shall be excavated by hand.</b> If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit	✓

	<p>will be suspended and all work stopped until an investigation by the City Forester has been completed.</p> <p>Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.</p>	
7.	<p>Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square-foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.</p>	✓
8.	<p>The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.</p>	✓
9.	<p>Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.</p>	✓
10.	<p>All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.</p>	N/A
11.	<p>The Carmel stone façade on the chimney and front columns shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted.</p>	✓
12.	<p>The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.</p>	N/A
13.	<p>The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding,</p>	✓

	and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A
20.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the	✓

	Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
21.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
22.	Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
23.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
	<b>Special Conditions</b>	
24.	The applicant shall submit a limb removal permit for the removal of the limb from the oak tree in the south side yard.	✓
25.	If any significant roots are discovered, the architect/engineer must re-design the footing of the residence's foundation to accommodate the significant roots.	✓
26.	The applicant shall move the barbeque outside of the side-yard setback to be at least 3 feet from the side and rear property lines.	✓
27.	The style of the wall-mounted lighting shall be revised to be entirely shielded as well as down-facing and 25 watts (approx. 375 lumens) or less.	✓
28.	The landscape lighting shall be spaced at least 10 feet apart.	✓
29.	The applicant shall narrow the decomposed granite pathway in the right-of-way to 4 feet in width maximum.	✓

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
 Property Owner Signature

\_\_\_\_\_  
 Printed Name

\_\_\_\_\_  
 Date

***Once signed, please return to the Community Planning and Building Department.***

# LASHER RESIDENCE

ABBREVIATIONS			
AB	ANCHOR BOLT	HDR	HEADER
ALT	ALTERNATE	HORZ	HORIZONTAL
APPROX	APPROXIMATE	INT	INTERIOR
ARCH	ARCHITECT	JST	JOB
BD	BOARD	MAK	HANDBURN
BLDG	BUILDING	M.B.	MACHINE BOLT
BH	BEAM	M.I.F.	MALLEABLE IRON FASHER
BTM	BOTTOM	MNM	MINKUM
BTWN	BETWEEN	N.L.C.	NOT IN CONTRACT
CLR	CLEAR	N.T.S.	NOT TO SCALE
COL	COLUMN	OV	OVER
CONC	CONCRETE	O.C.	ON CENTER
CONC. BLK	CONCRETE BLOCK	O.H.	OVER HANG/OVER HEAD
CONN.	CONNECTION	PL	PLATE
CONST.	CONSTRUCTION	P.I.	PANEL INDEX
CONT.	CONTINUOUS	P.T.D.F.	PRESSURE TREATED D.F.
CTR	CENTER	PLY	PLYWOOD
CTSK	COUNTERSINK	REIN	REINFORCING
DBL	DOUBLE	REQD	REQUIRED
D	DIAMETER	RDWD	REDWOOD
DIA.	DIAMETER	S.B.	SOLID BLOCKING
DRG	DRAWING	S.O.	SLAB ON GRADE
ED	EXISTING	SCHD	SCHEDULE
E.N.	EDGE NAILING	SHIT	SHEET
EQ	EQUAL	SM	SHIM
EXP	EXPANSION	SPCS	SPECIFICATIONS
EXT	EXTERIOR	STD	STANDARD
F.F.	FINISH FLOOR	STH	SYMMETRICAL
F.G.	FINISH GRADE	T.E.G.	TONGUE & GROOVE
F.N.	FINISH NAILING	T.N.	TOR NAIL
FNDR	FOUNDATION	T.O.C.	TOP OF CONCRETE
FLR	FLOOR	T.O.F.	TOP OF FLOOR
F.O.C.	FACE OF CONCRETE	T.S.	TUBE STEEL
F.O.M.	FACE OF MASONRY	U.O.N.	UNLESS OTHERWISE NOTED
F.O.S.	FACE OF STUD	VERT	VERTICAL
FTG	FOOTING	W	WELD
GA	GAUGE	W.M.	WELDED WIRE MESH
GALV	GALVANIZED	W.P.M.	WELDED PIPE MESH
G.L.	GALVANIZED IRON		
G.L.A.M.	GLUE LAMINATED		
G.P.S.D.	GYPSON BOARD		

**OWNERSHIP NOTES**

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY HOLDREN LETZKE ARCHITECTURE HEREINAFTER REFERRED TO AS "DESIGNERS" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE DESIGNERS HEREBY STATE THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE DESIGNERS DISCLAIM ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS, THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNERS FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

**PLUMBING & ELECTRICAL NOTES**

FOR ALL NEW PLUMBING AND ELECTRICAL ITEMS:

- SEE ELECTRICAL & PLUMBING NOTES FOR FLOW RATE & FLUSH CAPACITY REQUIREMENTS OF PLUMBING FIXTURES.
- HOLDREN ALL NEW CIRCUITS TO ELECTRICAL PANEL.
- ALL KITCHEN & BATHROOM ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION
- ALL BEDROOM ELECTRICAL OUTLETS SHALL HAVE AFCI PROTECTION
- PROVIDE NEW SEWER BACKFLOW VALVE IN SEWER LINE AHEAD OF ANY FIXTURES.
- PROVIDE TWO SHALL-APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN LIMITED TO SUPPLYING WALL & CTR. SPACE OUTLETS.
- PROVIDE SEPARATE BRANCH CIRCUITS AT EACH BEDROOM WITH THE REQUIRED ARC-Fault CIRCUIT INTERRUPTERS.
- PROVIDE HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP IN EACH BEDROOM, HALLWAY & WHERE INDICATED.
- SMOKE DETECTORS SHALL BE INTER-CONNECTED TO SOUND AN ALARM AUDIBLE IN ALL BEDROOMS.
- USE WATER RESISTANT G-PSM WALL BOARD BEHIND NEW TILE SHOWER & SINKS.
- INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILING SHALL BE I.C. RATED BY UL OR OTHER APPROVED AGENCY.
- UNDERGROUND ALL PLUMBING & POWER LINES TO THE (N) RESIDENCE. ANY EXTERIOR LIGHTING SHALL BE BURIED IN CONDUIT & INSTALLED PER CURRENT ELECTRICAL CODE REQUIREMENTS.

**GENERAL NOTES**

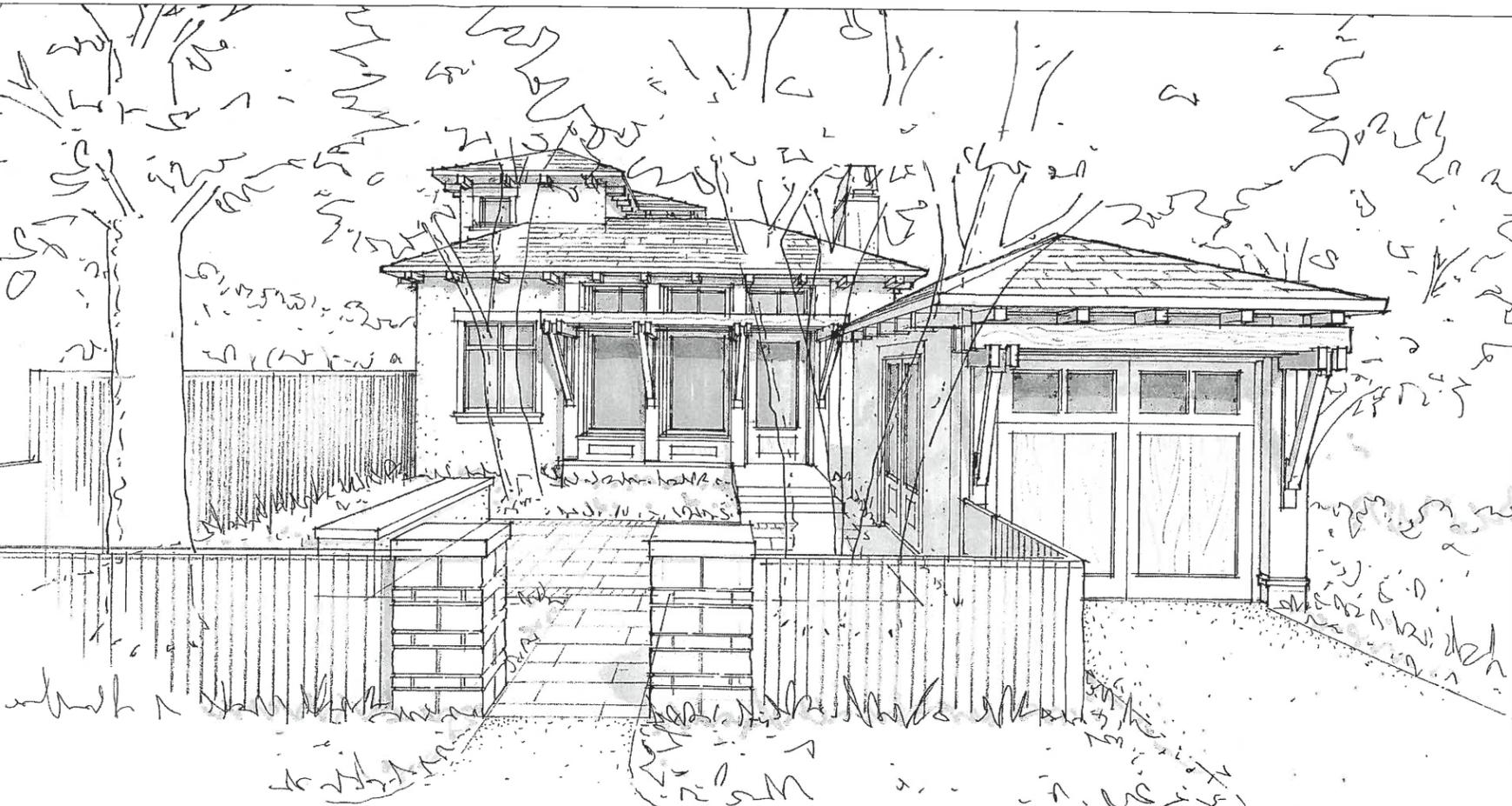
- CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE REASONABLE CARE AND COMPETENCE IN THE EXECUTION OF THE CONSTRUCTION PROCESS AND PRODUCT. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE DESIGNERS SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION THE IF FELT NECESSARY.
- WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL NOTICES/EGGE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWS, ORDERS OR ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNERS IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE IN VIOLATION WITH ANY SUCH REQUIREMENTS. (2007 C.B.C.)
- RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK AND SHALL ADHERE TO ALL FEDERAL, LOCAL, STATE & OSHA SAFETY REGULATIONS.
- INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER FEDERAL/STATE CONSUMER PROTECTION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- ADDITIONAL: THE CONTRACTOR FURTHER AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE DESIGNERS FROM AND AGAINST ALL CONSEQUENTIAL DAMAGES / LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNERS OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF WORK.
- ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GLUE LAMINATED BEAMS AND PREPARED TRUSSES, JOISTS & DOORS, FINISH CARPENTRY. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO INFORM AND ADVISE THE DESIGNER AND/OR DESIGNER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.
- CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND BINDING.
- CONSTRUCTION, BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- SHIMLAR CONDITIONS: CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SHIMLAR CONSTRUCTION.
- DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- TECHNICAL SPECIFICATIONS: ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

**FIRE SAFETY REQUIREMENTS**

- DEFENSIBLE SPACE REQUIREMENTS - MANAGE COMBUSTIBLE VEGETATION WITHIN A MIN. OF 100 FEET OF STRUCTURES (OR THE PROPERTY LINE). LIMB TREES 6 FEET UP FROM GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS.
- FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - THE RESIDENCE & DETACHED GARAGE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD.
- SMOKE ALARMS - (SINGLE FAMILY DWELLING) - WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/SMOKE ALARM SYSTEM IS INSTALLED IN LEVEL OF SLEEPING QUARTERS SMOKE ALARMS REQUIRED BY THE UFG THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT.
- ROOF CONSTRUCTION - IGBO CLASS 'A' ROOF ASSEMBLY CONSTRUCTION.

**SPECIAL INSPECTIONS**

SEE STRUCTURAL SHEETS FOR SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT.  
CONTRACTOR SHALL COORDINATE FORMS AND PROCEDURES WITH THE BUILDING DEPARTMENT



**PROJECT NOTES**

- BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2016 EDITION OF THE CALIFORNIA BUILDING, CALGREEN, ENERGY, PLUMBING & MECHANICAL CODES, 2016 IBC, NFPA FIRE CODE & ANY AMENDMENTS OF FREEDOM CITY OR COUNTY.
- PROTECT ALL TREES DURING CONSTRUCTION PER CITY TREE PROTECTION STANDARDS.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 2500 PSI.
- ALL REINFORCING STEEL SHALL CONFORM TO THE A.S.T.M. A615 GRADE 60 UNLESS OTHERWISE NOTED ON PLANS. WELDED WIRE FABRIC; WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A105-1R.
- LUMBER SPECIES AND GRADES SHALL CONFORM TO THE FOLLOWING U.O.N.: MAXIMUM MOISTURE CONTENT OF LUMBER SHALL BE 19%. ALL DOUGLAS FIR LUMBER WHICH IS EXPOSED TO WEATHER SHALL BE PRESURE TREATED. ALL GRADING SHALL CONFORM TO THE RULES AND REGULATIONS OF THE PUBLIC, R.A. & A.P.A. PLYWOOD SHALL BE D.F. CONFORMING TO U.S. PRODUCT STANDARDS PS-114 WITH EXTERIOR GRADE STAMPED A.P.A. SEE FRAMING PLANS FOR ADDITIONAL REQUIREMENTS.
- WALL CONSTRUCTION SHALL COMPLY WITH CBC SECTION R602 (FOR CONVENTIONAL CONSTRUCTION).
- NAILING TO BE IN COMPLIANCE WITH CBC TABLE R602.3.1
- ALL MANUFACTURER'S INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.
- THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER AND THE CITY OF CARMEL WITH A COPY OF THE CIP-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- PLASTERING WITH GYPSUM PLASTER SHALL NOT BE LESS THAN 3-COATS WHEN APPLIED OVER METAL LATH OR WIRE FABRIC LATH. USE MIN. 5/8" 3-LB. LATH AND PAN-HEAD SCREWS TO SECURE LATH TO THE WOOD FRAMING.
- WATER AND ATTACHMENT SCREWS SHALL BE MADE IN USA AND MATERIAL LABEL TAGS SHALL BE PROVIDED TO OWNER UPON REQUEST PRIOR TO INSTALLATION.

**SURVEY NOTE**

A LETTER FROM THE SURVEYOR THAT THE ROOF HEIGHT IS IN COMPLIANCE WITH THE APPROVED PLAN SHALL BE PROVIDED TO THE CITY OF CARMEL-BY-THE-SEA BUILDING SAFETY DIVISION PRIOR TO ROOF SHEATHING INSPECTION.

**NOTES**

- TREE PROTECTION SHALL BE IN PLACE PRIOR TO BUILDING PERMITS BEING ISSUED.
- A FIRE-CONSTRUCTION SITE MEETING IS REQUIRED WITH THE GENERAL CONTRACTOR, SHORING CONTRACTOR, ENGINEER OF RECORD AND CITY BUILDING OFFICIAL.
- QUALIFIED ENGINEER TO PROVIDE WRITTEN OBSERVATION AND APPROVAL OF SHORING WALL INSTALLATION.

**PROJECT DATA**

**SCOPE OF WORK:** DEMOLITION OF (E) SINGLE STORY SINGLE FAMILY RESIDENCE AND REMODEL OF ATTACHED SINGLE CAR GARAGE. CONSTRUCTION OF NEW TWO STORY SINGLE FAMILY RESIDENCE.

**SITE DESCRIPTION:** LOT 18, BLOCK AA, DEL MONTE HEIGHTS No. 6, VOLUME 2, CITIES AND TOWNS, PAGE 93, RECORDS OF MONTEREY COUNTY

**TREE INFORMATION:** TWO 5" NON-NATIVE TREES TO BE REMOVED

**OCCUPANCY GROUP:** RESIDENCE; R-3  
GARAGE: U-B

**TYPE OF CONSTRUCTION:** V-B

**SETBACKS**

REQUIRED FRONT SETBACKS = 15'-0"  
PROPOSED FRONT SETBACKS: (E) GARAGE (TO REMAIN): 14'-4"  
(N) RESIDENCE: 41'-0"  
REQUIRED (N) RESIDENCE SIDE SETBACKS = TOTAL OF 25% OF SITE WIDTH = 10'-0"  
PROPOSED (N) RESIDENCE SIDE SETBACKS = MINIMUM 11'-0" IN ALL LOCATIONS  
NO CHANGE TO (E) GARAGE SIDE SETBACKS

**SITE AREA:** 4,000 S.F.  
(E) RESIDENCE & GARAGE = 909 S.F. (TO BE REMOVED)

1,600 S.F. MAIN HOUSE  
200 S.F. GARAGE  
1,800 S.F. BASE FLOOR AREA ALLOWED

**NEW FLOOR AREA:**  
MAIN FLOOR = 1,256 S.F.  
UPPER FLOOR = 544 S.F.  
GARAGE = 200 S.F.  
TOTAL = 1,800 S.F.

**SITE COVERAGE ALLOWED:** 22%

SITE COVERAGE ALLOWED = 996 S.F.  
+ 4% ADD'L SITE COVERAGE = 160 S.F.  
956 S.F. ALLOWED

(275 S.F. REQUIRED TO BE SEMI-PERMIABLE)

SEMI-PERMIABLE DRIVEWAY: 83 S.F.  
BACK DOOR LANDINGS: 91 S.F.  
FRONT WALK/PILLARS: 61 S.F.  
SEMI-PERMIABLE FRONT PATIO: 190 S.F.  
FLAGSTONE FRONT STEPS/PATIO: 115 S.F.  
556 S.F.

**PROJECT TEAM**

**OWNER:** MARK & SHARI LASHER  
1301 45TH ST.  
SACRAMENTO, CA 95819  
PH: 916-429-2610

**ARCHITECT:** HOLDREN LETZKE ARCHITECTURE  
225 CANNERY ROW, SUITE A  
MONTEREY, CA 93940  
PH: 831-649-6001

**SURVEYOR:** MONTEREY BAY ENGINEERS, INC.  
607 CHARLES AVE. SUITE B  
SEASIDE, CA 93955  
PH: 831-899-1094

**SHEET INDEX**

- ARCHITECTURAL / SURVEY**
- A1.0 COVER SHEET, PROJECT DATA
  - C1 TOPOGRAPHIC MAP
  - C2 ANNOTATED TREE SURVEY
  - A1.1 SITE PLAN
  - A2.1 FLOOR & ROOF PLANS
  - A3.1 EXTERIOR ELEVATIONS
- LANDSCAPE**
- L-1 SITE LIGHTING / LANDSCAPE PLAN

**RECEIVED**

**JAN 16 2018**

City of Carmel-by-the-Sea  
Planning & Building Dept.

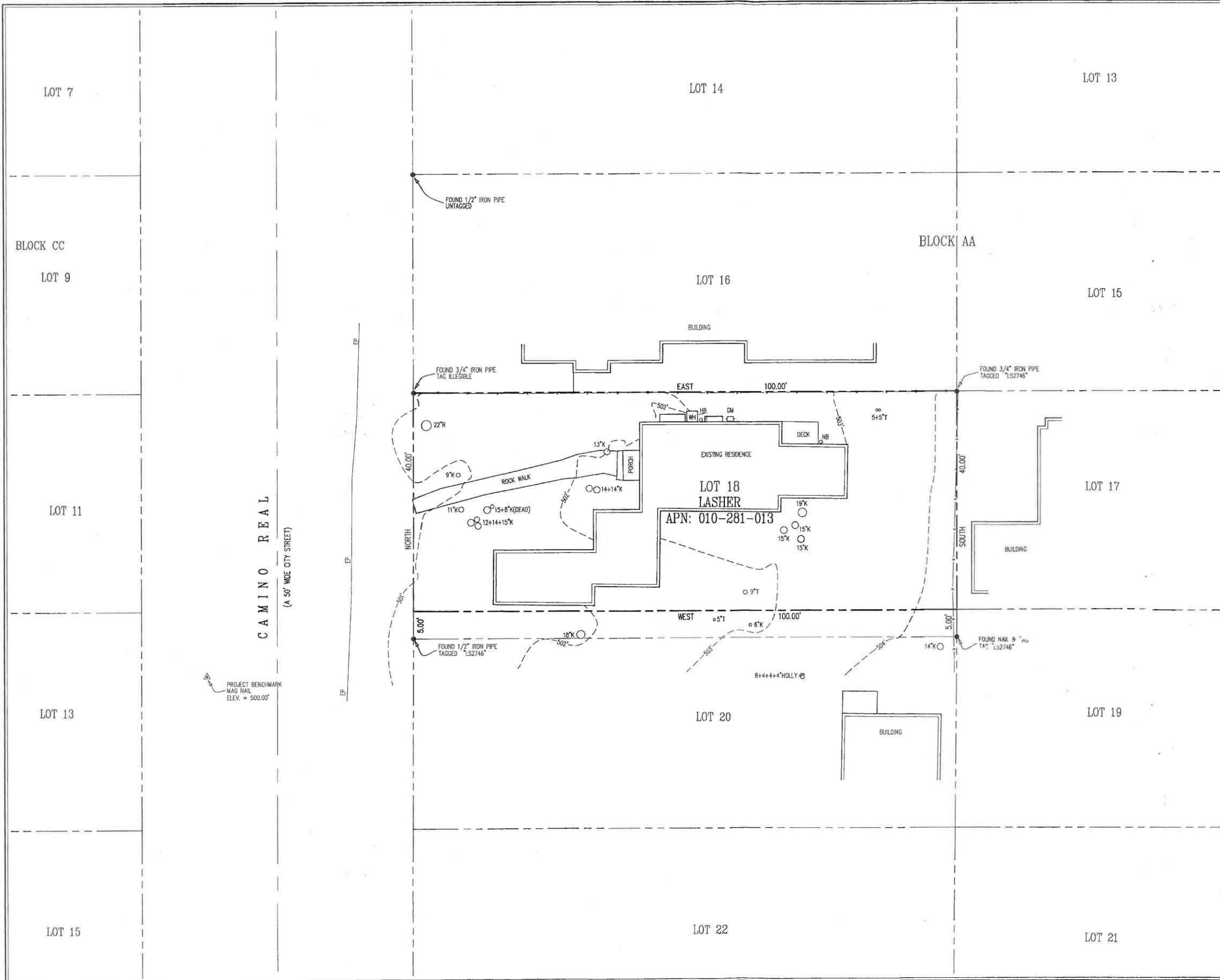
**HOLDREN+LETZKE ARCHITECTURE**  
225 CANNERY ROW - SUITE A  
MONTEREY, CA 93940  
PH: 831.649.6001  
FAX: 831.649.6003  
www.hl-arc.com

DATE:	1/16/18
SCALE:	
DRAWN:	LL
JOB NUMBER:	17.15
REVISION:	

COVER SHEET, PROJECT DATA

**LASHER RESIDENCE**

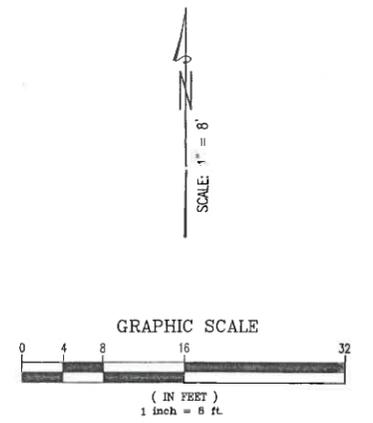
CAMINO REAL 3 NORTH EAST OF 13TH  
CARMEL, CA 93921  
A.P.N. 010-281-013



- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. BOUNDARY DATA SHOWN IS FROM THE RECORDS. A RECORD OF SURVEY (VOLUME 1 SURVEYS, PAGE 138) WAS RECORDED IN 1976 FOR A 3 FOOT LOT LINE ADJUSTMENT WITH LOT 20. THE CURRENT DEEDS AND THE ASSESSORS MAP DO NOT ACKNOWLEDGE THE NEW LOT LINE.
  - DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
  - CONTOUR INTERVAL = 1 FOOT.
  - DENOTES A FOUND MONUMENT AS NOTED.
  - TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.
  - ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. MONTEREY BAY ENGINEERS MAG NAIL IN STREET. ELEVATION = 500.00'

**LEGEND:**

---	FENCE LINE
EP	EDGE OF PAVEMENT
GM	GAS METER
HB	HOSE BIB
K	OAK
R	REDWOOD
T	TREE
WH	WATER HEATER



**TOPOGRAPHIC SURVEY**

OF  
**LOT 18, BLOCK AA**  
**DEL MONTE HEIGHTS No. 6**  
**VOLUME 2, CITIES & TOWNS, PAGE 33**

---

CITY OF CARMEL BY THE SEA    COUNTY OF MONTEREY    STATE OF CALIFORNIA

PREPARED FOR  
**MARK & SHARI LASHER**

---

BY  
**MONTEREY BAY ENGINEERS, INC.**  
 607 Charles Ave Suite B    Seaside, California 93955  
 Phone: (831) 899-7899

SCALE: 1" = 8'    JOB No. 17-085    AUG 2017  
 FIELD: END & CMW    DRAWN BY: END & RNT



**HOLDREN+LIETZKE  
ARCHITECTURE**

225 CANNERY ROW - SUITE A  
MONTEREY, CA 93940

Ph: 831.649.6001

Fax: 831.649.6003

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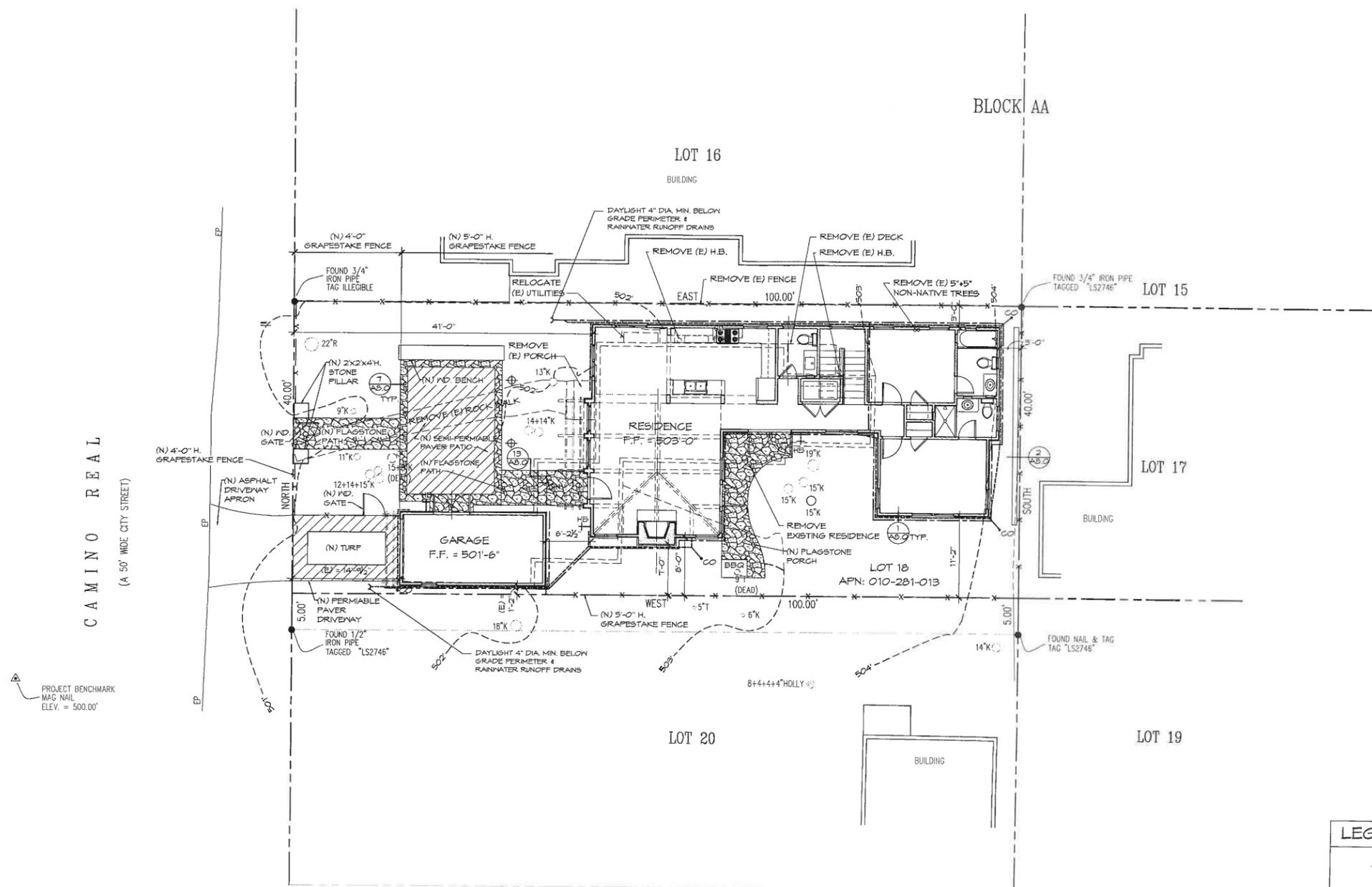
DATE: 1/16/18

SCALE: 1/8" = 1'-0"

DRAWN: LL

JOB NUMBER: 17.15

REVISION



**SITE / DRAINAGE PLAN**

SCALE: 1/8" = 1'-0"



NOTE: SEE LANDSCAPE PLAN  
FOR ADDITIONAL INFORMATION

**LEGEND:**

- ⊕ FL PATH LIGHT - SEE LANDSCAPE PLAN
- + HB HOSEBIB
- ICVB IRRIGATION CONTROL VALVE BOX
- x- DENOTES AN (E) WOOD FENCE
- DENOTES SITE IMPROVEMENTS
- - - DENOTES PROPERTY LINE
- CO CLEAN-OUT
- CB CATCH BASIN w/DECORATIVE IRON GRATE
- ⊙ WATER METER
- TRENCH DRAIN w/DECORATIVE IRON GRATE
- )-)-) DAYLIGHT OPENING
- FOUNDATION DRAIN - SEE FDN. DRAINAGE DETAIL, 1, SHEET AS.0
- SHALLOW RAINWATER RUNOFF DRAIN

**NOTES:**

1. ELEVATION DATUM IS ASSUMED.
2. DISTANCES AND ELEVATIONS ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
3. RECORD DATA IS SHOWN IN PARENTHESIS (.....)
4. CHECK FOR DIRECTION OF TREE GROWTH IN FIELD WHERE PERTINENT TO LOCATION OF IMPROVEMENTS.
5. DAYLIGHT 4" DIA. MIN. BELOW GRADE PERIMETER & RUNOFF DRAINS - PROVIDE SILT TRAP FOR ALL DRAIN OUTLETS IN PUBLIC RIGHT-OF-WAY.
6. CONTOUR INTERVAL = 1'-0"

SITE / DRAINAGE PLAN

**LASHER RESIDENCE**

CAMINO REAL 3 NORTH EAST OF 13TH  
CARMEL, CA 93921

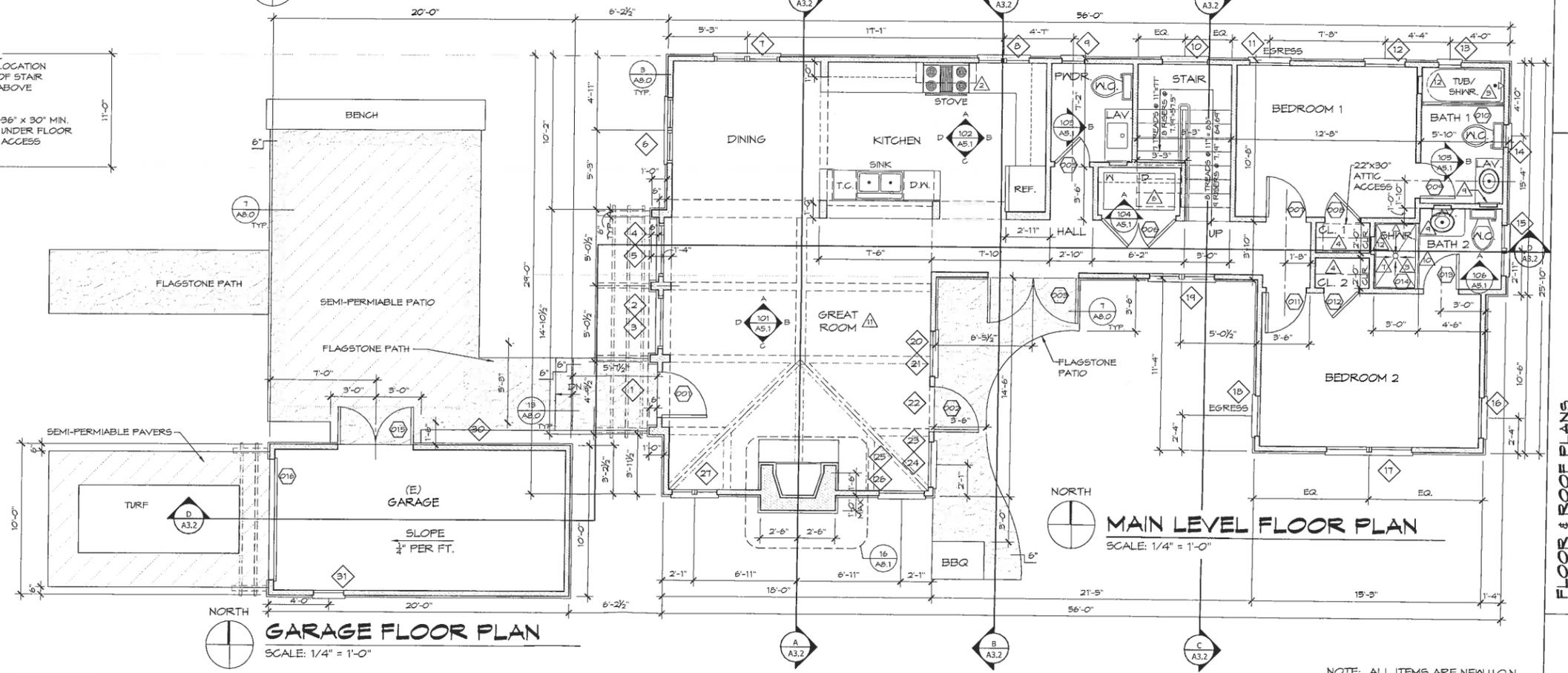
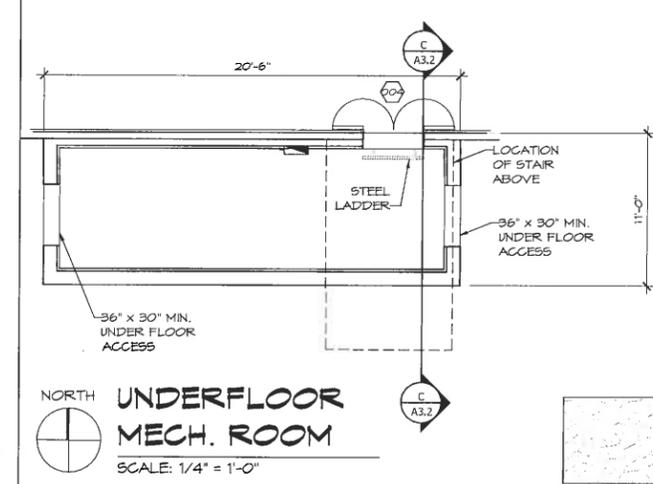
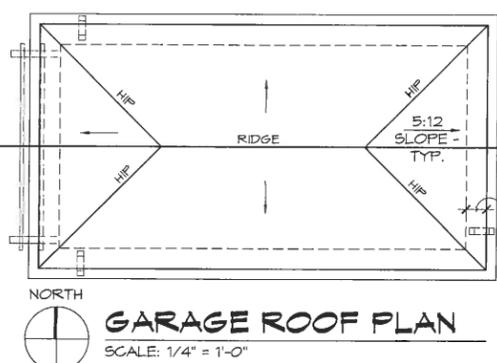
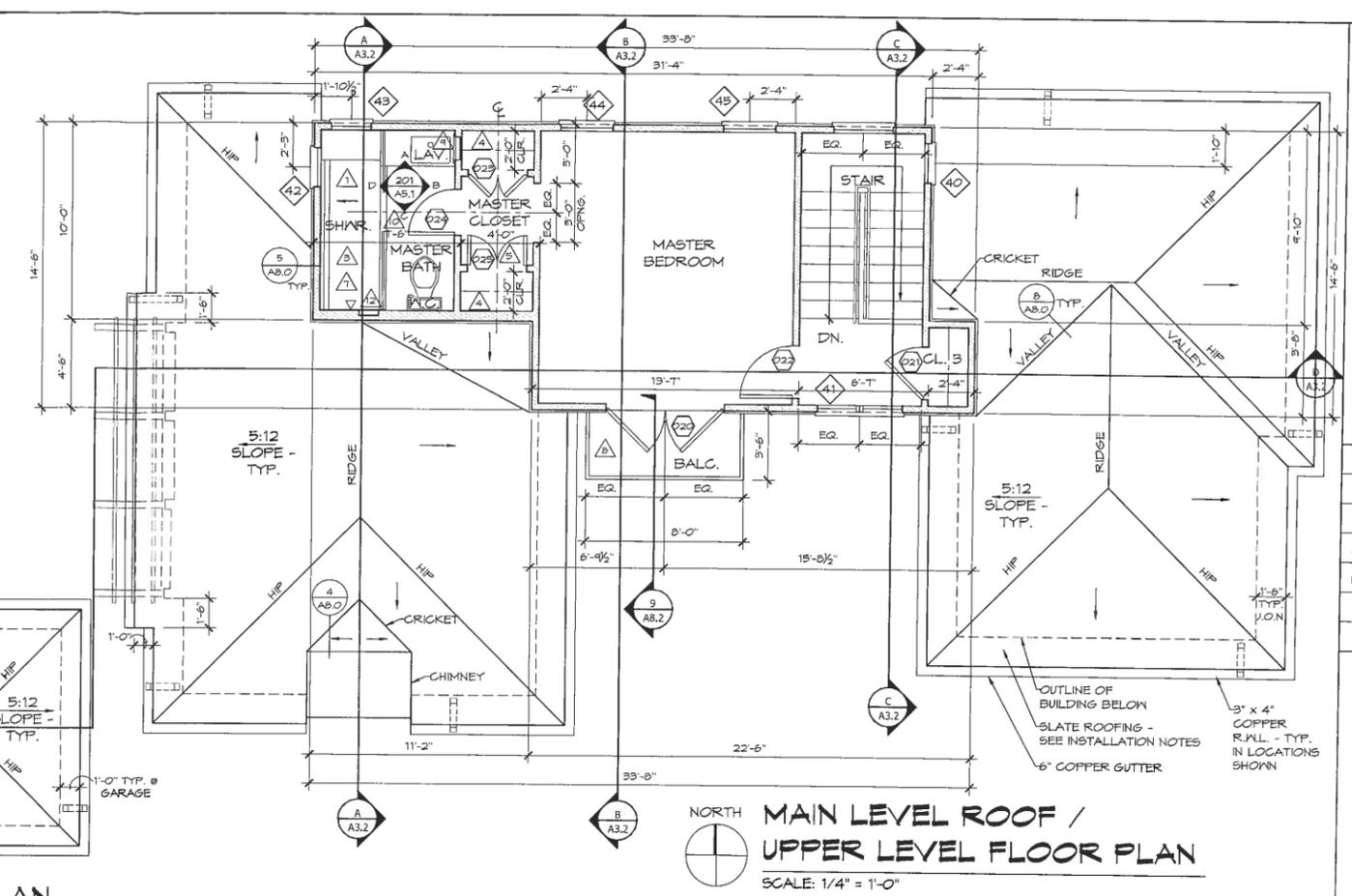
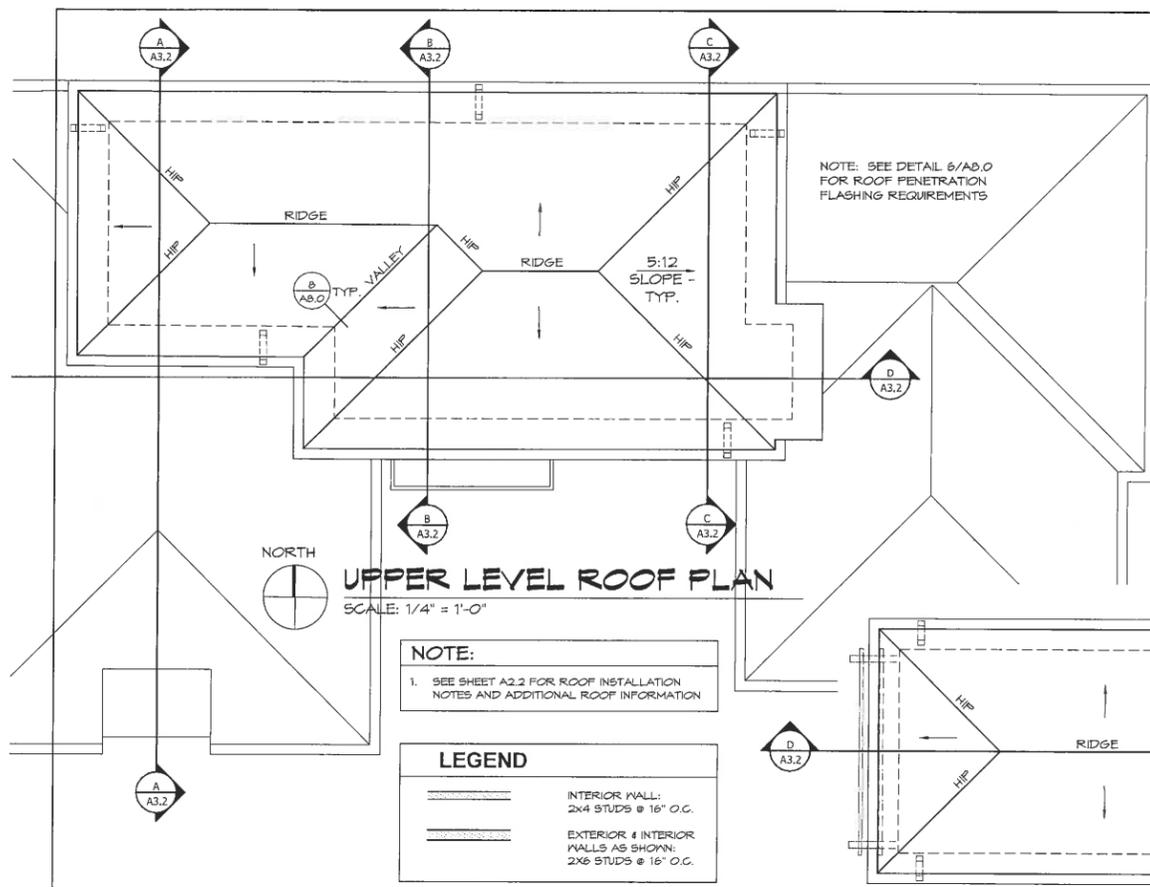
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**A1.1**  
30



**HOLDREN+LIETZKE  
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Ph: 831.649.6001  
Fax: 831.649.6003  
www.hl-arc.com

DATE: 1/16/18  
SCALE: 1/4"=1'-0"  
DRAWN: LL  
JOB NUMBER: 17.15  
REVISION:



- KEY NOTES**
- INSTALL SCHLITZER KERDI-LINE (www.kerdi-line.com - OR APPROVED EQUAL) LINEAR FLOOR DRAIN @ MASTER SHOWER.
  - VENT HOOD THROUGH WALL.
  - TILE TO MIN. 12" A.F.F. USE DENGSHIELD TILE BACKER BY GEORGIA PACIFIC @ ALL TILE SURFACES.
  - POLE IVSHELF ABOVE - PAINT TO MATCH WALLS.
  - CLOSET SYSTEM BY OTHERS - SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
  - RECESS WALL FOR PLUMBING AND VENT REQUIREMENTS.
  - SLOPE SHOWER FLOOR TO DRAIN.
  - TEMPERED GLASS RAIL TO 42" ABOVE DECK SURFACE BELOW.
  - 14" N. x 24" H. x 9" D. MEDICINE CHEST
  - 3/4" TEMPERED GLASS SHOWER ENCLOSURE - PROVIDE CONTINUOUS RIGID ANCHORING AT TOP AND BOTTOM
  - LEVEL 4 FINISH ON ALL DRYWALL SURFACES - TYPICAL
  - NICHE AT SHOWER - SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

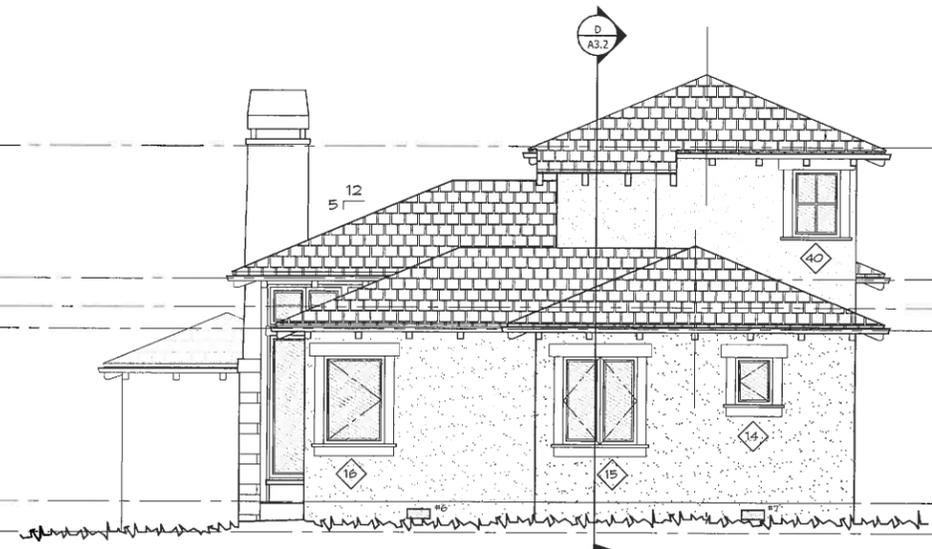
**FLOOR & ROOF PLANS**  
**LASHER RESIDENCE**  
CAMINO REAL, 3 NORTH EAST OF 13TH  
CARNEL, CA 93921  
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NOTE: ALL ITEMS ARE NEW U.O.N.

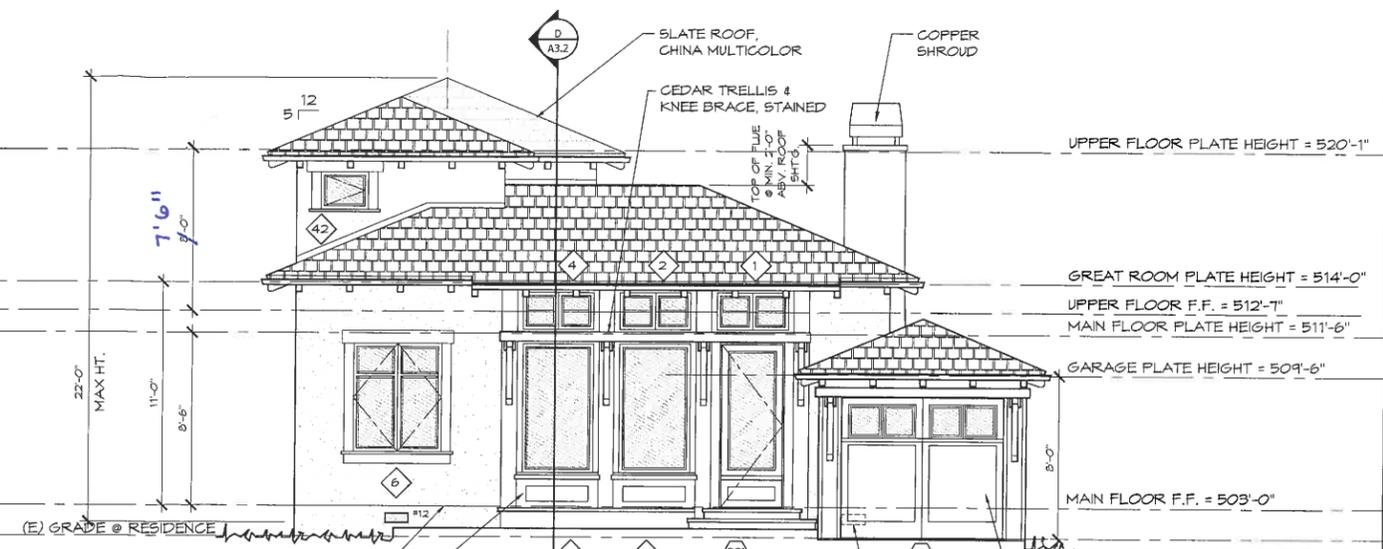


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**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

UPPER FLOOR PLATE HEIGHT = 520'-1"  
GREAT ROOM PLATE HEIGHT = 514'-0"  
UPPER FLOOR F.F. = 512'-7"  
MAIN FLOOR PLATE HEIGHT = 511'-6"  
GARAGE PLATE HEIGHT = 509'-6"  
MAIN FLOOR F.F. = 503'-0"  
GARAGE FINISH SLAB @ FRONT = 501'-6"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

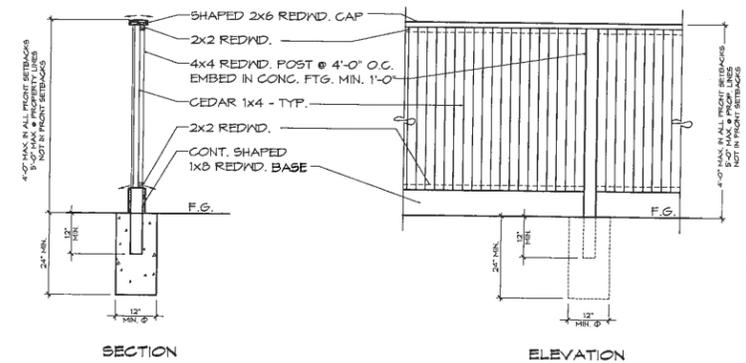
UPPER FLOOR PLATE HEIGHT = 520'-1"  
GREAT ROOM PLATE HEIGHT = 514'-0"  
UPPER FLOOR F.F. = 512'-7"  
MAIN FLOOR PLATE HEIGHT = 511'-6"  
GARAGE PLATE HEIGHT = 509'-6"  
MAIN FLOOR F.F. = 503'-0"  
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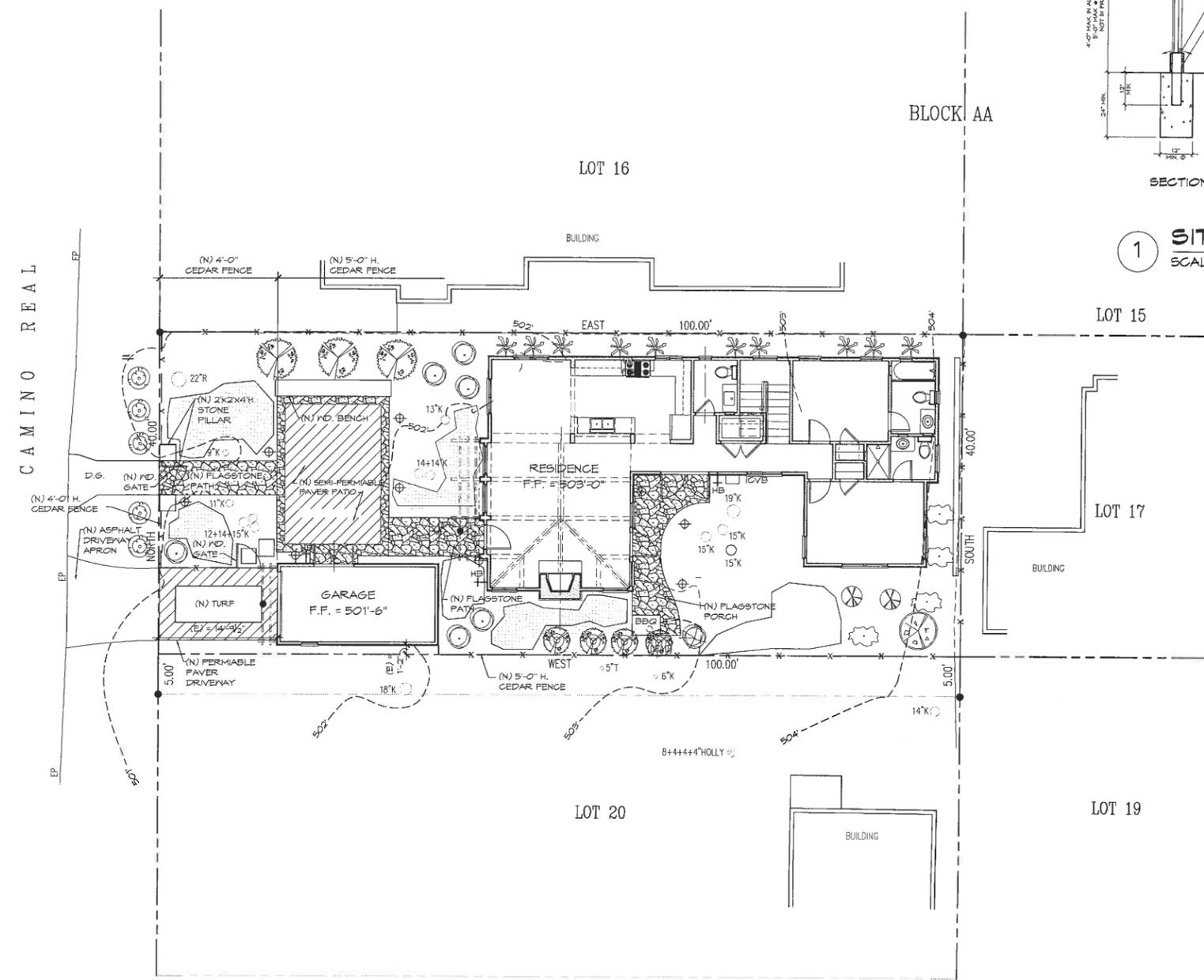
**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

UPPER FLOOR PLATE HEIGHT = 520'-1"  
GREAT ROOM PLATE HEIGHT = 514'-0"  
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**EXTERIOR ELEVATIONS**  
**LASHER RESIDENCE**  
CAMINO REAL 3 NORTH EAST OF 13TH  
CARMEL, CA 93921  
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1 SITE FENCE DETAIL  
SCALE: 1/2" = 1'-0"



LEGEND



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"  
0 4 8 16

(5) PATH LIGHTS -  
3 WATT/200 LUMEN LED  
LARGE MUSHROOM LOW VOLTAGE BRONZE  
LANDSCAPE COPPER BOLLARD,  
LAMPS PLUS STYLE #2C494  
MARKED SUITABLE FOR DAMP OR  
SUITABLE FOR NET LOCATIONS



(4) WALL SCONCE, SHIELDED  
4 WATT / 325 LUMEN LED  
BRONZE IV FROSTED GLASS  
PROGRESS MODEL: P5644-20  
SQUARE DOWNWARD LIGHT OUTDOOR WALL  
MOUNT FIXTURE. MARKED SUITABLE FOR  
DAMP OR SUITABLE FOR NET LOCATIONS



(3) WALL SCONCE, SHIELDED BULB,  
DOWNWARD LIGHT, 25 WATT MAX  
FROSTED GLASS  
MODEL: ELK 42181/1-LED SAN  
GABRIEL  
MARKED SUITABLE FOR DAMP OR  
SUITABLE FOR NET LOCATIONS



PLANT LIST & SYMBOL KEY

VACCINIUM OVATUM	⊕
CARPENTERIA CALIFORNICA	⊙
RHODODENDRON	⊕
CORNUS NUTTALLI	⊕
CAMELLIA SASANKUA SETSUJOKKA	⊕
RIBES VIBURNIFOLIUM	⊕
THYMUS	⊕
DUCHESNIA INDICA	⊕
NEPHROLEPS GORDIFOLIA	⊕
LAVANDULA SP.	⊕
DODONAEA V.	⊕

LEGEND:

⊕ HB	HOSEBIB
□ ICVB	IRRIGATION CONTROL VALVE BOX
— X —	DENOTES AN (E) HOOD FENCE
— — —	DENOTES SITE IMPROVEMENTS
— — — — —	DENOTES PROPERTY LINE
□ CB	CATCH BASIN W/DECORATIVE IRON GRATE
⊕	WATER METER

NOTES:

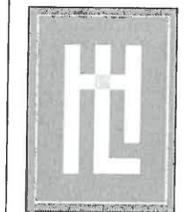
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- DAYLIGHT 4" DIA. MIN. BELOW GRADE PERIMETER
- RUNOFF DRAINS - PROVIDE SILT TRAP FOR ALL DRAIN OUTLETS IN PUBLIC RIGHT-OF-WAY.
- CONTOUR INTERVAL = 1'-0"

NOTES

- ALL OUTDOOR LIGHTING SHALL BE LABELED "SUITABLE FOR DAMP" OR "SUITABLE FOR NET LOCATIONS".
- ALL OUTDOOR LIGHTING SHALL HAVE MOTION SENSORS.

LEGEND

⊕	PATH LIGHTING, 15' T., COPPER (8 TOTAL)
⊕	WALL SCONCE
⊕	TRELLIS MOUNTED DOWNLIGHT (2 TOTAL)



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SITE PLAN

**LASHER RESIDENCE**  
CAMINO REAL, 3 NORTH EAST OF 13TH  
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**LEGEND:**

- FENCE LINE
- EP ..... EDGE OF PAVEMENT
- GM ..... GAS METER
- HB ..... HOSE BIB
- K ..... OAK
- R ..... REDWOOD
- T ..... TREE
- WH ..... WATER HEATER

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NOV 15 2017

City of Carmel-by-the-Sea  
Planning & Building Dept

SCALE 1" = 8'

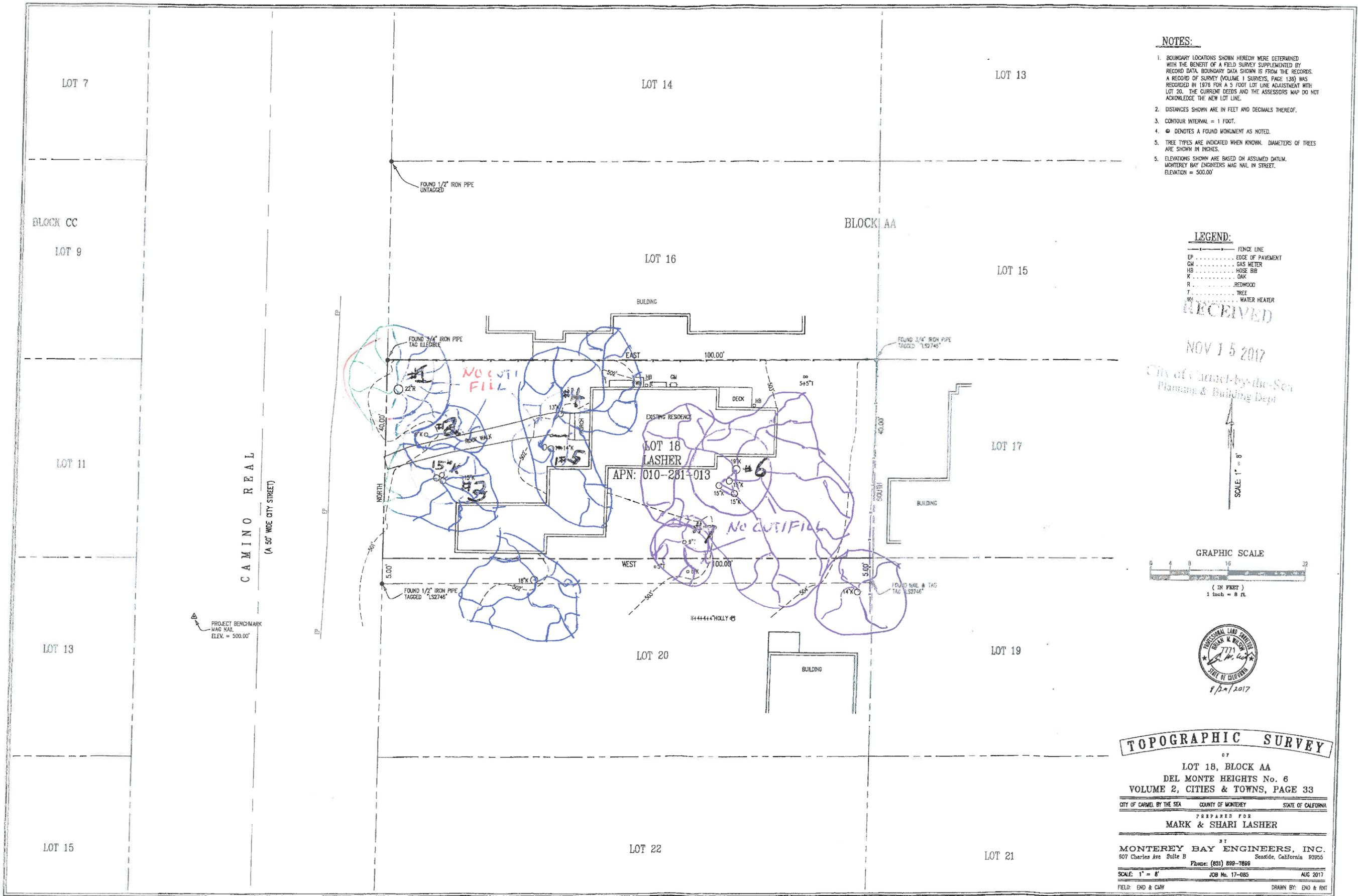


**TOPOGRAPHIC SURVEY**

OF  
LOT 18, BLOCK AA  
DEL MONTE HEIGHTS No. 6  
VOLUME 2, CITIES & TOWNS, PAGE 33

CITY OF CARMEL BY THE SEA COUNTY OF MONTEREY STATE OF CALIFORNIA  
PREPARED FOR  
**MARK & SHARI LASHER**

BY  
**MONTEREY BAY ENGINEERS, INC.**  
607 Charles Ave Suite B Seaside, California 93956  
Phone: (831) 899-7899  
SCALE: 1" = 8' JOB No. 17-085 AUG 2017  
FIELD: END & CMW DRAWN BY: END & RNT





CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

February 14, 2018

**To:** Chair Michael LePage and Planning Commissioners

**From:** Marc Wiener, AICP, Community Planning and Building Director

**Submitted by:** Matthew Sundt, Contract Planner

**Subject:** Consideration of a Final Design Study (DS 16-483) and associated Coastal Development Permit for demolition of an existing residence and construction of a new residence, located in the Single-Family Residential (R-1) Zoning District.

---

**Application:** DS 16-483 (Purvis)                      **APN:** 009-201-016  
**Block:** 2 (Paradise Park)                              **Lot:** 2  
**Location:** 4 Oak Knoll Way  
**Applicant:** Aengus Jeffers/Agent                      **Property Owner:** Bob and Consuelo Purvis

**Executive Summary:** The applicant is proposing to demolish an existing residence on a 5,490 square foot lot, and construct a new 2,306 square-foot, single-story residence, with a detached 200 square-foot garage set at an angle in the front-yard setback. The Planning Commission reviewed this project on January 10, 2018, and accepted the design concept, but requested that the applicant evaluate an alternative placement of the proposed detached garage.

This matter is presented as a Consent Item, but it is within the purview of the Planning Commission to select to pull this item from Consent for continued discussion on the garage.

**Recommendation:** Approve the Final Design Study (DS 16-483) and associated Coastal Development Permit subject to the attached Findings for Approval and Conditions of Approval.

**Background and Project Description:** The applicant has submitted plans to demolish the existing residence and construct a new 2,306 square-foot, single-story contemporary-style residence that includes a detached garage in the front-yard setback. The proposed project includes a 100 square-foot basement, which is exempt from the floor area calculations (17.10.030.D); access to the basement is via exterior step on the east side of the residence.

PROJECT DATA FOR A 5,490 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,306 sf	2,113 sf	2,306 sf
Site Coverage	507 sf / 726 sf <sup>1</sup>	1,476 sf	726 sf
Trees	3 Upper /1 Lower (recommended)	9 Coast live oak 1 Pittisporum 1 Unidentified	None
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> flr)	18'/24'	NA	16' to 17'-6" at top of clearstory roof elements
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> flr)	12'/ 18'	NA	Parapet height at 13'
Setbacks	Minimum Required	Existing	Proposed
Front	15'	NA	15' (residence) 1'- 3" to 4' (garage at angle)
Composite Side Yard	20' (25%)	NA	15'-3"
Minimum Side Yard	3'	NA	5'-3"
Rear	15' (3' allowed if bldg. height not over 15')	NA	15'

### Staff analysis

**Previous Hearing:** The Planning Commission requested that the applicant consider an alternative placement of the garage for design reasons and to address potential view impact relative to the neighbor to the east.

In response to the Commission’s concern, the applicant has submitted an alternative garage configuration that places the garage in a traditional “foursquare” configuration perpendicular to the street. Refer to Attachment C – *Alternative Garage Design*. This alternative placement increases the garage setback from the east property boundary from 3’-6” to 5’-6”, decreases the garage setback from the 14-inch oak tree from four feet to 3.5 feet, and increases distance to an 8-inch oak tree from 6’-9” to 7’-6”. This configuration also “pinches” the pedestrian access to the front entry by creating a very narrow (4-foot wide) courtyard between the garage and front entrance.

<sup>1</sup> 726 sq.ft. total allowed site coverage if no more than 50% of site coverage is impervious.

Staff conducted a site visit to verify the alternative garage design and to review the potential view impacts associated with the residence to the east. Under existing conditions the view the adjacent neighbor has is that of an existing fence and upper elevations of the existing Purvis residence, and the dense oak tree canopy in the neighbor's front yard. Neither garage configuration will impact this neighbor's view. Furthermore, the "foursquare" configuration would place the garage closer to the 14-inch oak tree, and in staff's opinion does not improve the overall design. For these reasons staff supports the original proposal for angled garage.

### **Other Project Components:**

***Finish Details:*** Design Guideline 9.4 states, "*Architectural details should appear to be authentic, integral elements of the overall building design concept.*" Design Guideline 9.5 encourages the use of natural materials such as wood in conjunction with stucco. Design Guideline 9.8 states, "*Roof materials should be consistent with the architectural style of the building and with the context of the neighborhood*".

The most prominent design features include the clean face associated with flat, integral colored plaster, rectangular, clear and translucent glass windows in bronze cladding, dry-stacked Carmel stone veneer, shed skylights, stained wood garage door with bronze inserts, bronze cladding front door with stained wood inserts, and bronze standing-seam metal roofing on the skylights.

The architectural style of the neighborhood includes a mix of modern, cottage, ranch, and non-descript architectural styles. Exterior finishes on homes in the neighborhood includes a wide variety of materials to include stucco, wood shingles, horizontal boards, stone, brick, and board and batten. Roof material is predominantly composite shingle. In staff's opinion, the proposed design is appropriate for the neighborhood.

***Exterior Lighting:*** Municipal Code Section 15.36.070.B.1 states that all exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture. Additionally, the City's Residential Design Guidelines, Section 11.8, states an objective to "*locate and shield fixtures to avoid glare and excess lighting as seen from neighboring properties and from the street.*"

The applicant is proposing lighting fixtures as shown in the Project Plans – Page Site 2. Staff notes that the Planning Commission encourages down-lit lights instead of the lantern-style to be more in conformance with the Residential Design guidelines; proposed lighting is down-lit. In staff's opinion, the proposed residence meets the objectives of the municipal code and Residential Design Guidelines 11.8.

**Landscaping:** The current plans include reference to a variety of plant species compatible with the existing trees. However, a more detailed landscape plan identifying specific plants will be required to be submitted as part of the building plans submittal, and will be reviewed by the Planning Department and City Forester.

**Environmental Review:** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of one single-family residence in a residential zone, and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Findings for Approval
- Attachment B – Conditions of Approval
- Attachment C – Alternative Garage Design
- Attachment D – Original Project Plans

## Attachment A – Findings for Approval

DS 16-483 (Purvis)  
 February 14, 2018  
 Page 1

<b>FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45)</b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. As conditioned, the project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees unless otherwise agreed upon by the City Forester.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):**

1. Local Coastal Program Consistency: The project conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

## Attachment B – Conditions of Approval

DS 16-483 (Purvis)

February 14, 2018

Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	<b>Authorization:</b> This approval of Design Study (DS 16-483) authorizes the applicant to, 1) demolish an existing residence, 2) construct a new 2,306 square-foot, single-story residence, with a detached 200 square-foot garage in the front-yard setback set at an angle, 3) a 100 square foot basement with exterior staircase, 4) flat roof with parapets, 5) three clearstory roof elements, 6) roof-mounted solar panels, and 7) 10 skylights.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	<b>All foundations within 15 feet of significant trees shall be excavated by hand.</b> If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓

7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 7,000-square-foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	<b><u>All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties.</u></b> The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The Carmel stone façade on the chimney and front columns shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted.	N/A
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	N/A
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of	✓

	all such actions by the parties hereto.	
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A
20.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓



**THE LAW OFFICE OF AENGUS L. JEFFERS**

A Professional Corporation  
215 West Franklin Street, Fifth Floor  
Monterey, California 93940

Phone: (831) 649-6100  
Fax: (831) 325-0150  
Email: aengus@aengusljeffers.com

January 30, 2018

**VIA HAND DELIVERY**

Planning Commission  
City of Carmel-by-the-Sea  
Community Planning and Building  
P.O. Drawer G  
Carmel-by-the-Sea, CA 93901

**Re: DS 16-483: Final Residential Design Study - Track 2 for Purvis - 4 Oak Knoll Way, Carmel-by-the-Sea (APN 009-201-016)**

Dear Honorable Members of the Planning Commission:

I am writing on behalf of our clients, Bob and Consuelo Purvis (“Applicant”) and their Track 2 Design Study Application (File Number DS 16-483) for property located at 4 Oak Knoll Way in Carmel-by-the-Sea (the “Property”). The Applicant’s objective is to replace an existing, nonconforming, home with a fresh but modest contemporary residence (the “Project”).

The purpose of this letter is to thank the Planning Commission for your support of the project and your appreciation of the architectural work of Carolyn Abst of Case+Abst Architects (“Architect”), and to respond to your request to review and consider an alternative placement for the proposed garage (attached).

At the Planning Commission Hearing on January 10, 2018, the Commission accepted the Applicant’s Concept Design with revised recommendations and draft conditions. The Commission requested that an alternative placement for the garage be considered as part of the Final Design Review. The request was made, in part, to address the setback of the garage to the shared property line with the neighbor to the east and to consider that same neighbor’s view out of their front window.

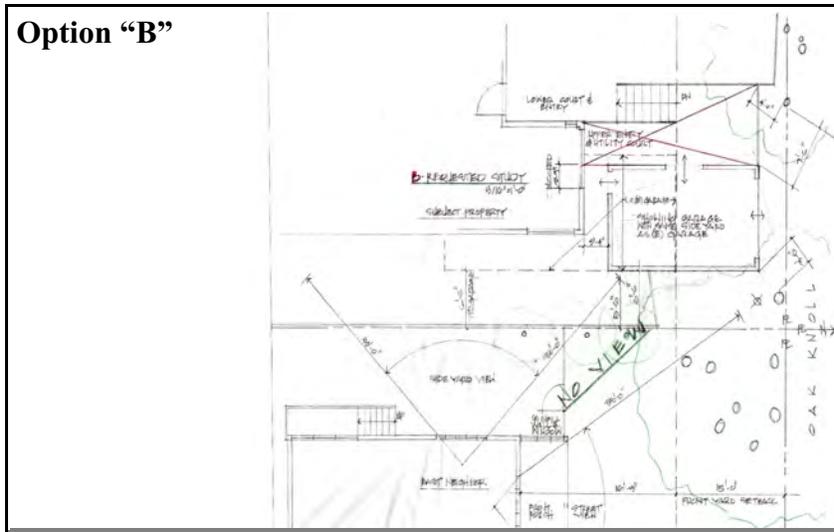
**Garage Placement**

**Option “A”.** As stated above, the Applicant’s objective for the Project is to replace the existing nonconforming home with the street’s only contemporary design. Further, the Property will be brought into compliance with the City’s modern zoning requirements in terms of setback, volumetric, and coverage compliance.

The Project is not a traditional “foursquare” design. The modern design includes a detached single-car garage positioned at an angle, as shown in Option “A”. The angled siting of the garage adds visual interest of form, shadows, colors, and textures that appear different from adjacent



Purvis Resubmittal (DS 16-483)  
January 30, 2018  
Page 3



**Option “B”.** This Option shows the detached garage placed in a more traditional “foursquare” configuration perpendicular to the street, which is inconsistent with the Applicant’s and Architect’s modern design goals.

This Option sets the garage 5.5 feet from the shared property line with the neighbor to the east. This Option decreases the setback from the 14-inch oak from 4 feet to 3.5 feet and places the

front fence 4 feet from another oak tree. The orthogonal placement of the garage also “pinches” the pedestrian access by creating a very narrow courtyard between the garage and front entrance that makes everyday access with groceries, luggage or yard equipment awkward. Lastly, the garage limits the available light into the third bedroom window.

### Conclusion

Carmel Municipal Code section 17.10.010.K states that designs in the R-1 zoning district should respect views enjoyed by neighboring parcels. This objective is intended to balance the private rights to views from all parcels that will be affected by a proposed building or addition. Further, no single parcel should enjoy a greater right than other parcels except the natural advantages of each site’s topography. Buildings which substantially eliminate an existing significant view enjoyed on another parcel should be avoided.

The angled garage placement of the proposed garage respects the views enjoyed by the neighboring parcels. The angled siting of the garage adds visual interest of form, shadows, colors, and textures and presents the perception of a lesser volume because our eyes see in perspective, visually reducing volumes more quickly than one continuous long wall. Because the eastern neighbor’s views to the north and west are obscured by fencing and screening vegetation, the angled garage does not affect their views over existing conditions. Overall, the oak trees on the Applicant’s property and in the right-of-way present a challenge to siting the garage. However, the Applicant’s proposed garage placement represents the best alternative, consistent with the Applicant’s and Architect’s modern design goals.

Purvis Resubmittal (DS 16-483)  
January 30, 2018  
Page 4

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In closing, we very much appreciate your guidance on the Project along with City Planning Staff's responsive communications during the processing of the Project application. We hope that you agree that the final design presents a substantial opportunity to bring the Property into compliance with existing land use regulations while respecting the modern design concept. If you have any questions, please do not hesitate to contact me at (831) 649-6100.

Kind Regards,



Aengus L. Jeffers

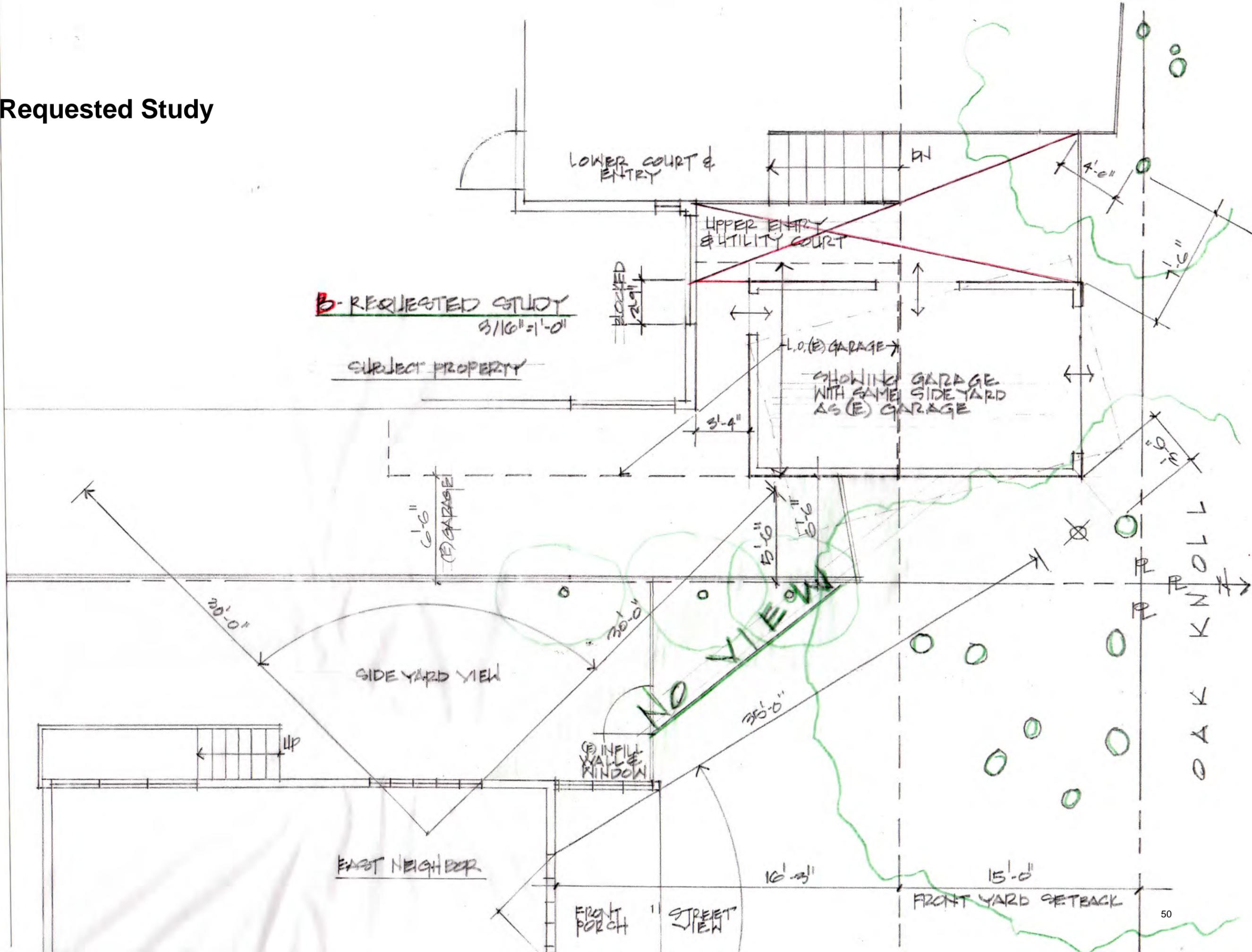
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Attachments

cc: Matthew Sundt, Planner



Purvis  
DS 16-483  
Option "B" - Requested Study





**VICINITY MAP**



**CUT AND FILL CALCULATIONS**

House: 6,354.0 cubic feet (235 cubic yards) of removed soil  
 Site: 620 cubic feet (23 cubic yards) of removed soil  
 Garage: 426.0 cubic feet (15.8 cubic yards) of added fill

**#1.** 6,354.0  
 + 620.0  
 6,974.0 cu. ft. removed

**#2** 6,974.0 cu. ft. removed  
 - 426.0 cu. ft. added  
**6,548.0 Total Cubic Feet Removed (242.2 Cubic Yards)**

**PROJECT INFO**

**APPLICANT / OWNER** DR. ROBERT PURVIS & CONSUELO PURVIS  
**PLANNING APPLICATION #** PSA-16-437

**PROJECT NAME / ADDRESS** PURVIS RESIDENCE  
 4 OAK KNOLL WAY

**ASSESSOR PARCEL NUMBER** 009-201-016  
**BLOCK / LOT** 2PP / 2

**LOT SIZE** 5,490 SF  
**OCCUPANCY** R-3

**SCOPE OF WORK**  
 1. DEMOLITION & REMOVAL OF EXISTING HOUSE & ATTACHED GARAGE.  
 2. CONSTRUCTION OF NEW HOUSE & DETACHED GARAGE.  
 3. HARDSCAPE & LANDSCAPE IMPROVEMENTS.

**CONSTRUCTION TYPE** TYPE V-B, FULLY SPRINKLERED

**APPLICABLE CODES**  
 2016 California Building Code  
 2016 California Energy Code  
 2016 California Electric Code  
 2016 California Mechanical Code  
 2016 California Plumbing Code  
 2016 California Green Building Standards Code  
 2016 California Energy Code  
 2016 California Fire Code D  
 2016 California Residential Code

**SUMMARY**

	Allowed:	Existing	Proposed	Change
Existing Lot Size (square feet):	5,490			
Zoning:	R-1			
Base Floor Area (sqft)	2,306	2,113	2,306	193
Basement	100	0	100	100
Site Coverage (22% of base floor area) (sqft)	507			
Bonus Coverage (if more than 50% semi-permeable)	219			
Total Site Coverage (sqft)	726	1,476	726	(750)
Total		3,589	3,132	(457)
Front Setback (feet)	15		15	15.00
Side Setback (25% of lot width) (feet)	15.25		15.25	15.25
Rear Setback (feet)	15		15	15.00

**PROJECT DIRECTORY**

**ARCHITECT & LANDSCAPE** CASE + ABST ARCHITECTS  
 21995 ANSEL COURT  
 JENNER, CA 95450  
 CA@CASEABST-ARCHITECTS.COM  
 707.847.3438

**LAND USE ATTORNEY** THE LAW OFFICE OF AENGUS L. JEFFERS  
 215 WEST FRANKLIN STREET, 5TH FLOOR  
 MONTEREY, CALIFORNIA 93940  
 AEL@LUS.AENGUSLJEFFERS.COM  
 831.649.6100

**GENERAL CONTRACTOR** LEVEL 5 CONSTRUCTION  
 2094 SUNSET DRIVE  
 PACIFIC GROVE, CA 93950  
 CPLEVELS@EARTHLINK.NET  
 831.373.2523

**STRUCTURAL ENGINEERS** P M DUNN ENGINEERING, INC.  
 2511 GARDEN ROAD, SUITE B-150  
 MONTEREY, CA 93940  
 DUNNENGINEERING@COMCAST.NET  
 831.393.1607

**MECHANICAL ENGINEER** MONTEREY ENERGY GROUP  
 26465 CARMEL RANCHO BLVD. #8  
 CARMEL, CA 93923  
 INFO@MEG4.COM  
 831.372.8328

**CIVIL ENGINEERING & LAND SURVEYING** MONTEREY BAY ENGINEERS, INC.  
 607 CHARLES AVENUE, SUITE B  
 SEASIDE, CA 93955  
 MBAYENGR@MBAY.NET  
 831.659.7899

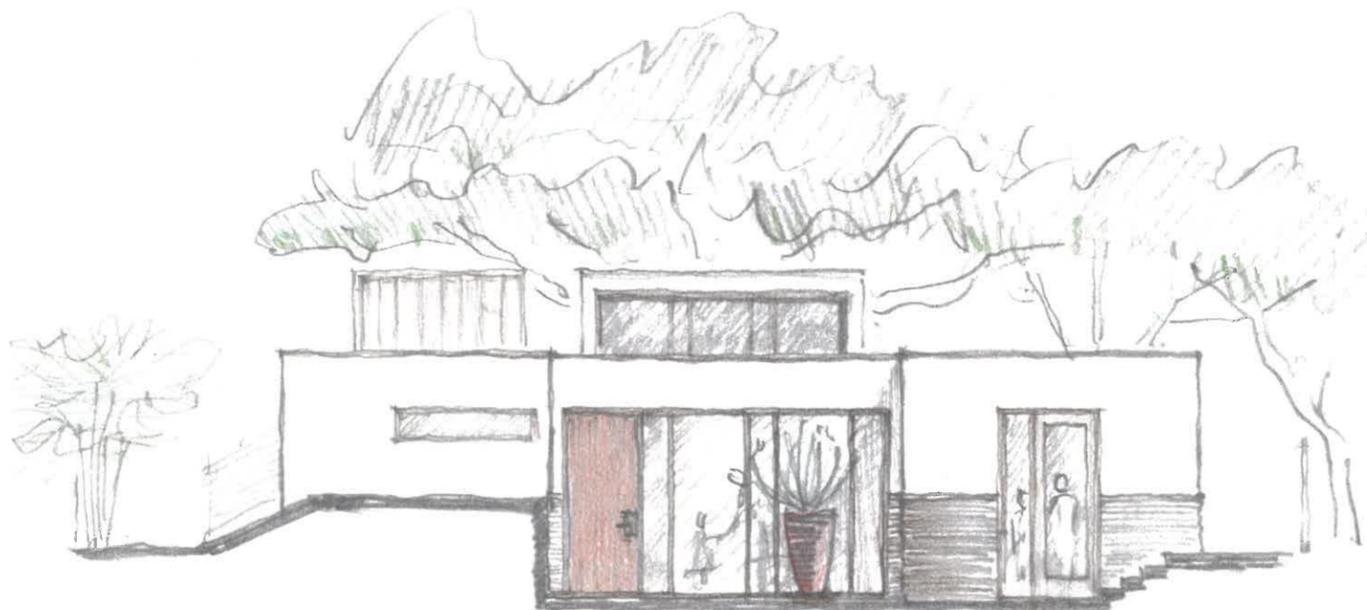
**SCOPE OF WORK**

NEW SINGLE-STORY RESIDENCE WITH NEW BELOW-GRADE 100 SF BASEMENT AND NEW DETACHED GARAGE. HOUSE INCLUDES LIVING & DINING SPACES, KITCHEN, MASTER SUITE WITH LAUNDRY, AND TWO GUEST BEDROOMS AND BATHS.

**DRAWING INDEX**

- C1 COVER SHEET WITH PROJECT DATA
- SITE 1 - TOPOGRAPHIC SURVEY  
 - LOCATIONS OF NEW HOUSE VS. EXISTING-TO-BE-DEMOLISHED HOUSE
- SITE 2 - COVERAGE DIAGRAM  
 - EXTERIOR LIGHTING
- A1 [NEW] FLOOR PLAN WITH SPOT ELEVATIONS
- A2 [NEW] ROOF PLAN
- A3 [NEW] ELEVATIONS
- A4 [NEW] SECTIONS / ELEVATIONS
- A5 - COLOR & MATERIAL IMAGES
- A6 - DOOR & WINDOW ELEVATIONS
- A7 [N] & [E] STREET ELEVATIONS
- A8 [EXISTING] FLOOR PLAN  
 [EXISTING] ELEVATIONS

**RECEIVED**  
**DEC 18 2017**  
 City of Carmel-by-the-Sea  
 Planning & Building Dept.



**NORTH ELEVATION**

Consultant:

Project:

PURVIS  
 RESIDENCE

For:

At: 4 OAK KNOLL WAY  
 CARMEL, CA

Date: 10/18/2017

Project Number:

Scale:

REVISIONS / Issue Date

REVISIONS / Issue Date	DATE
1. PLANING	10/18/17

Sheet Title:

**COVER SHEET**

Sheet Number:

C1

Consultant:  
MONTEREY BAY ENGINEERING  
AND SURVEYING

Project:  
PURVIS  
RESIDENCE

For:  
At 4 OAK KNOLL WAY  
CARMEL, CA

Date: NOV 18, 2011

Project Number:

Scale: 1/4" = 1'-0"

REVISIONS / Issue Date

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/18/11

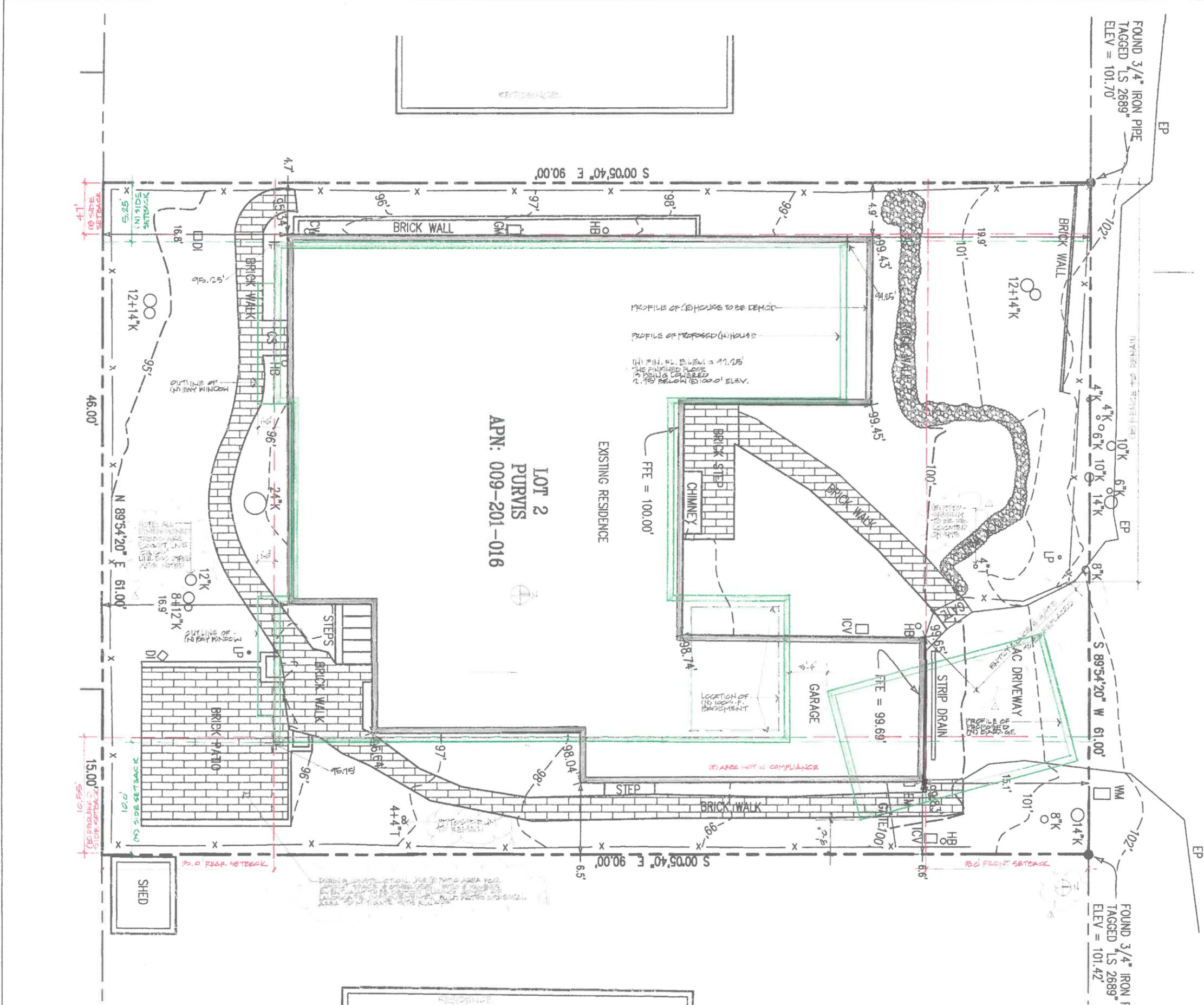
Sheet Title:

- TOPOGRAPHIC SURVEY
- LOCATIONS OF (D) HOUSE VS. (E) TO-BE-DEMO-LISHED HOUSE

Sheet Number:

SITE 1

**NOTE**  
• ALL WALKS & DRIVEWAYS TO BE REMOVED  
• SIDE & REAR FENCES TO REMAIN  
• ROCK WALLS TO BE REMOVED  
• SOIL EXCAVATED FOR BASEMENT & LOWERING NORTH WALL OF GARAGE TO BE USED AS EXHAUSTED FILL AT NEW RAISED GARAGE & DRIVEWAY



LOT 2  
PURVIS  
APN: 009-201-016

PROFILE OF (E) HOUSE TO BE DEMO'D

PROFILE OF PROPOSED (H) HOUSE

(H) FIN. FL. ELEV. = 41.25  
THE FINISHED FLOOR  
TO BE 2' BELOW 100.00' ELEV.

LOCATION OF (E) 100.00' F. BASEMENT

(E) AREA NOT IN COMPLIANCE

4'-0" SIDE SETBACK

46.00'

N 89°54'20" E 61.00'

15.00' SIDE SETBACK

10.00' SIDE SETBACK

15.00' REAR SETBACK

FOUND 3/4" IRON PIPE  
TAGGED LS 2689°  
ELEV = 101.70'

FOUND 3/4" IRON PIPE  
TAGGED LS 2689°  
ELEV = 101.42'



Consultant:

Project:

PURVIS  
RESIDENCE

For:

At 4 GALE KNOLLWAY  
CARMEL, CA

Date: NOV. 13, 2017

Project Number:

Scale: 1/4" = 1'-0"

REVISIONS / Issue Date

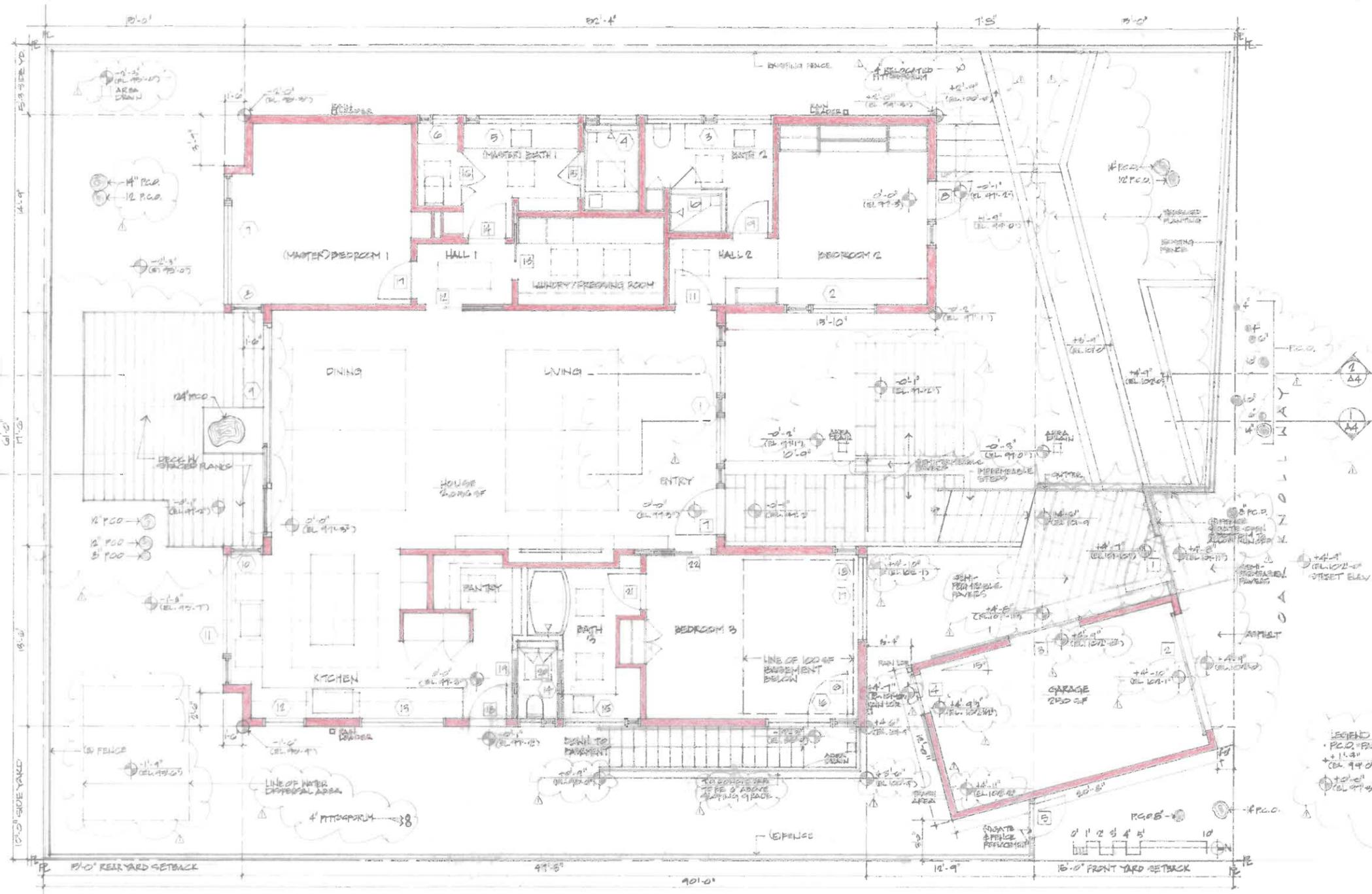
NO.	DESCRIPTION	DATE
1	ISSUING PUBLIC	12/15/17

Sheet Title:

NEW FLOOR PLAN  
SPOT ELEVATIONS

Sheet Number:

AI

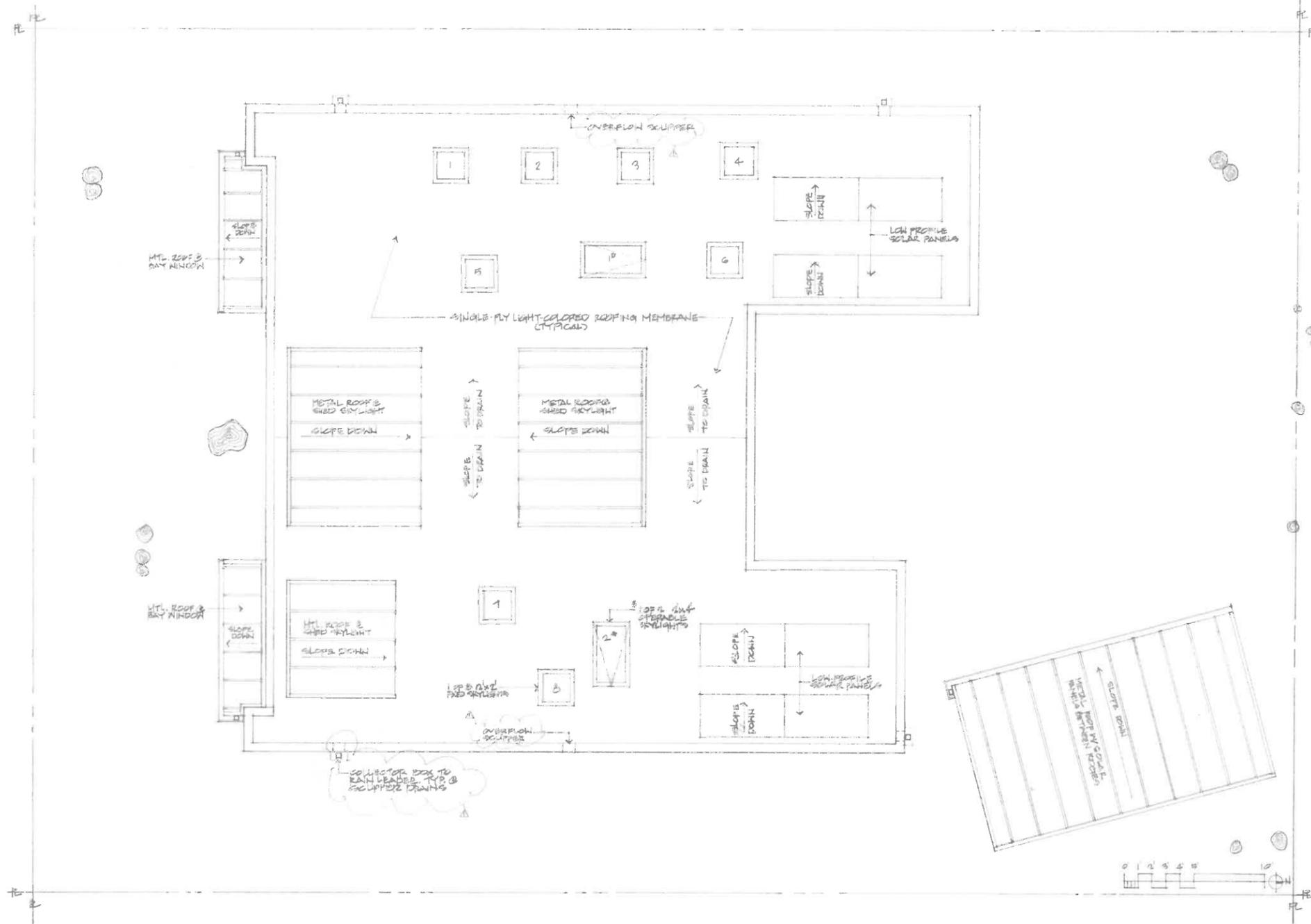


**CUT AND FILL CALCULATIONS**

House: 6,354.0 cubic feet (235 cubic yards) of removed soil  
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 - 426.0 cu. ft. added  
 6,548.0 Total Cubic Feet Removed (242.2 Cubic Yards)



Consultant:

Project:  
PURVIS  
RESIDENCE

For:  
  
At: 4 OAK HOLL WAY  
CARMEL CA

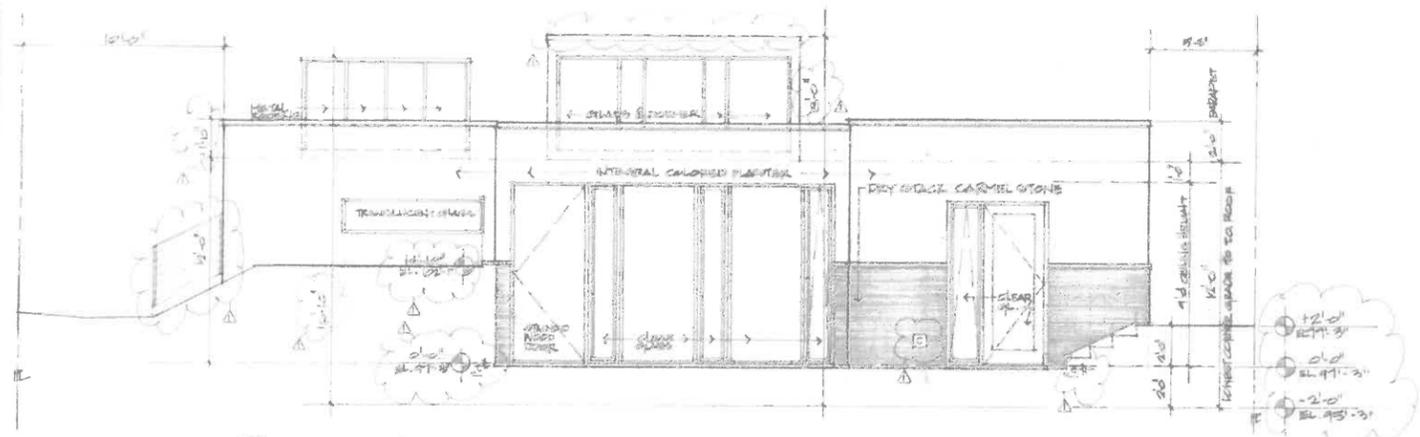
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Project Number: ---  
Scale: 1/8" = 1'-0"

REVISIONS / Issue Date

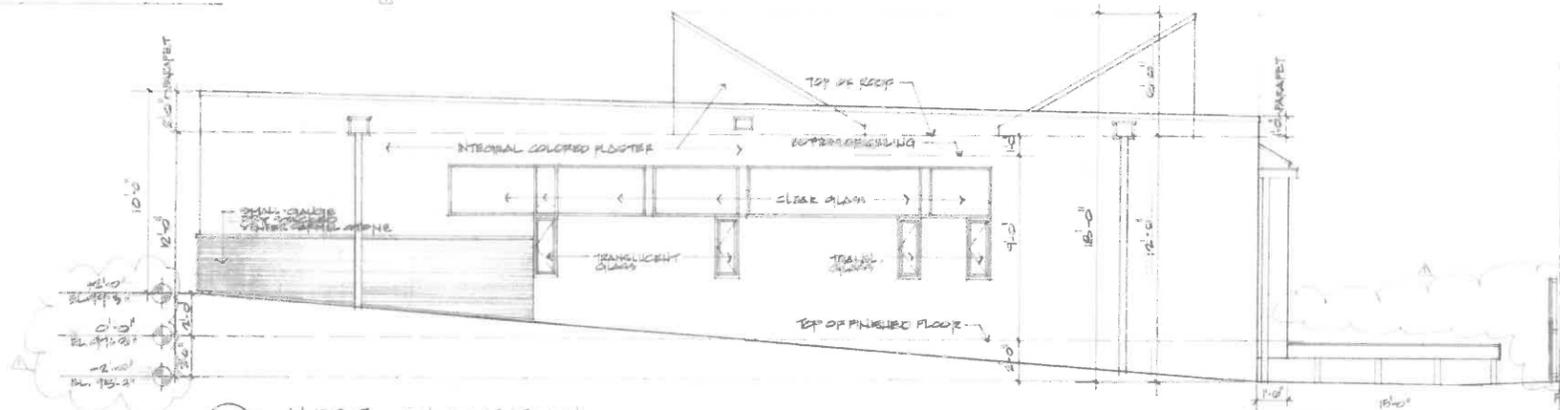
NO.	DESCRIPTION	DATE
1	PLANNING APPROV.	12/18/17

Sheet Title:  
PROPOSED  
ROOF PLAN

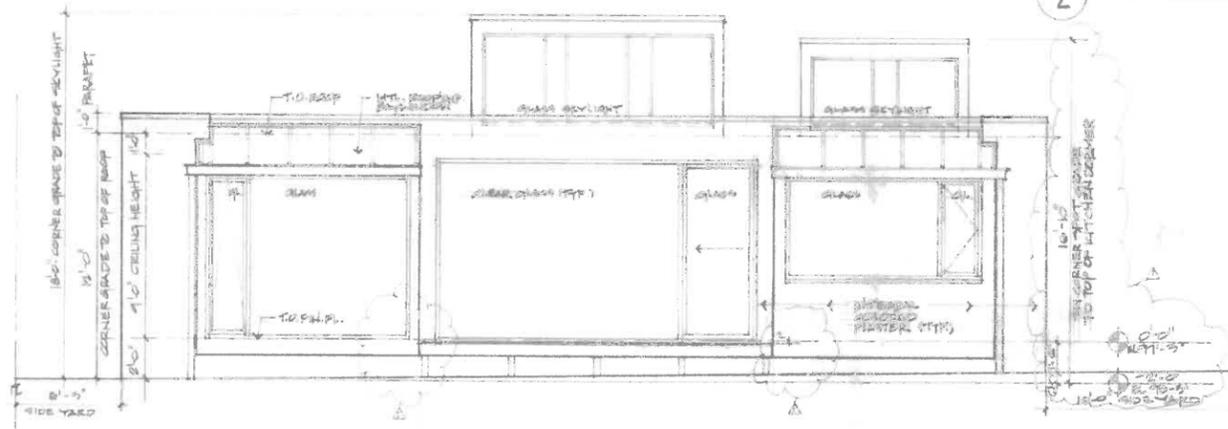
Sheet Number:  
A2



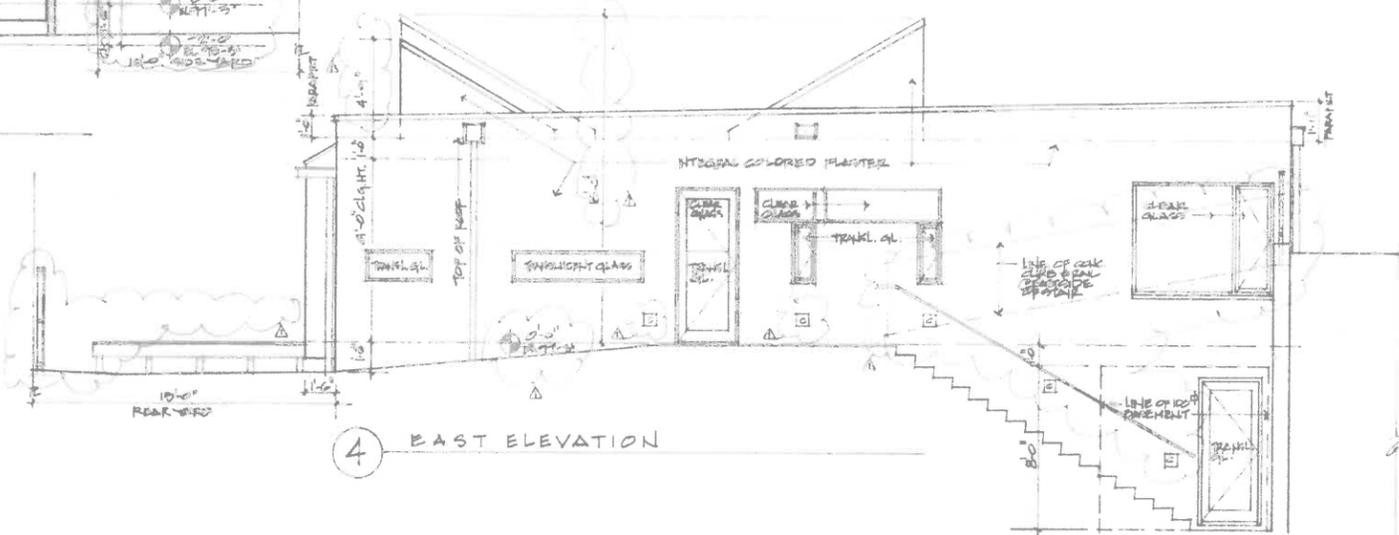
1 NORTH ELEVATION



2 WEST ELEVATION



3 SOUTH ELEVATION



4 EAST ELEVATION

Consultant:

Project:  
**PURVIS  
RESIDENCE**

For:

At: **OAK KNOLL WAY  
CARMEL, CA**

Date: **NOV. 15, 2011**

Project Number:

Scale: **1/4"=1'-0"**

REVISIONS / Issue Date

1	PLANNING APPLIC.	12.2.11
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Sheet Title:

**PROPOSED  
ELEVATIONS**

Sheet Number:

**A3**



**PROPOSED COLORS AND MATERIALS**

1. Small-scale dry-stack Carmel Stone veneer at street-facing elevations.



2. Blomberg, or equivalent, metal window and door systems in bronze finish.



3. Bronze finish standing-seam metal roof at shed skylights, gutters, and rain leaders.



5. Clapay Modern Series stained wood with bronze accents at garage door.



7. Semi-permeable Pavers  
Cut concrete pavers with dry stack stones set on edge between pavers.



4. Integral-color plaster finish on exterior walls that do not have stone veneer.



6. Velux low-profile fixed and operable skylights  
Two 2' x 4' operable skylights & Eight 2' x 2' fixed skylights. Skylights at the flat roof are visually screened by parapets.



Solar Powered "Fresh Air" Skylights  
Fixed Skylights

Consultant:

Project:

PURVIS HOUSES

For:

ROOP & COMPANY  
PURVIS

At:

4 OAK KNOLL WY.  
CARMEL, CA.

Date: DECEMBER 13, 2011

Project Number: ---

Scale: AS SHOWN

REVISIONS / Issue Date

NO.	DESCRIPTION	DATE

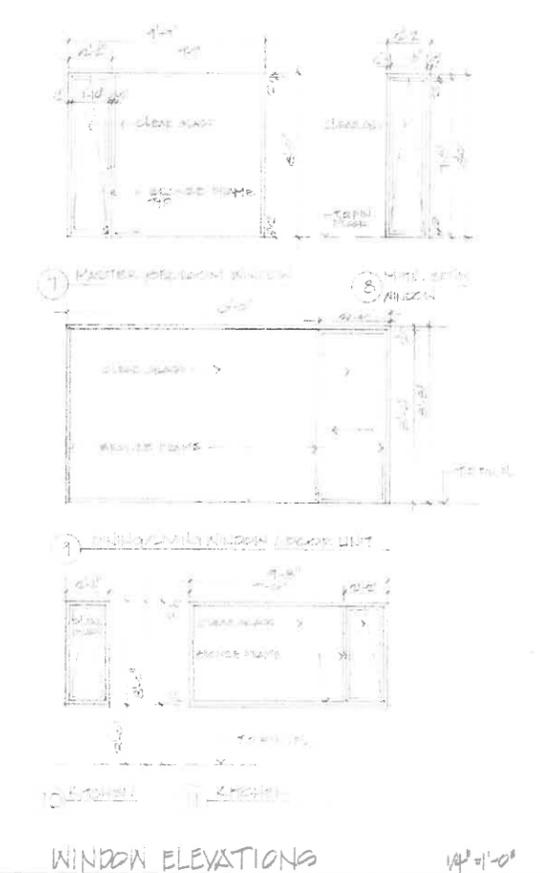
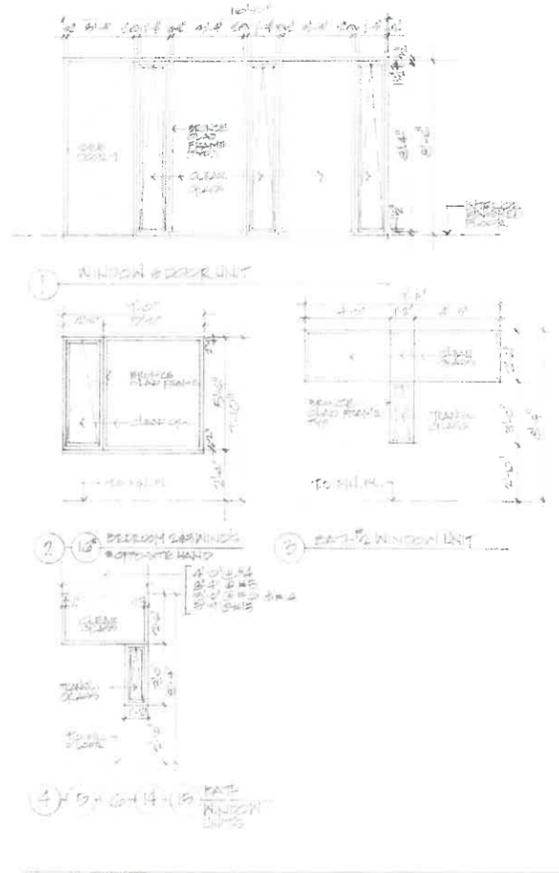
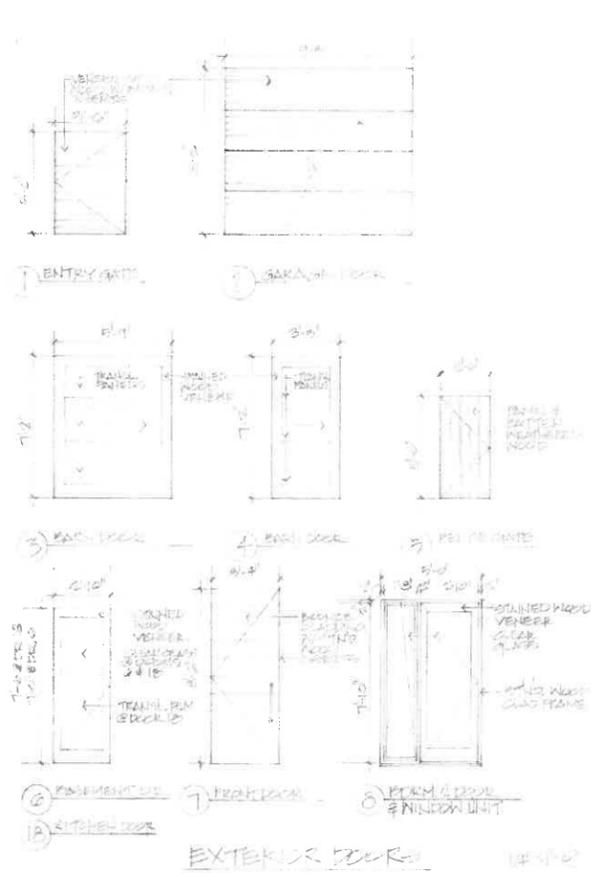
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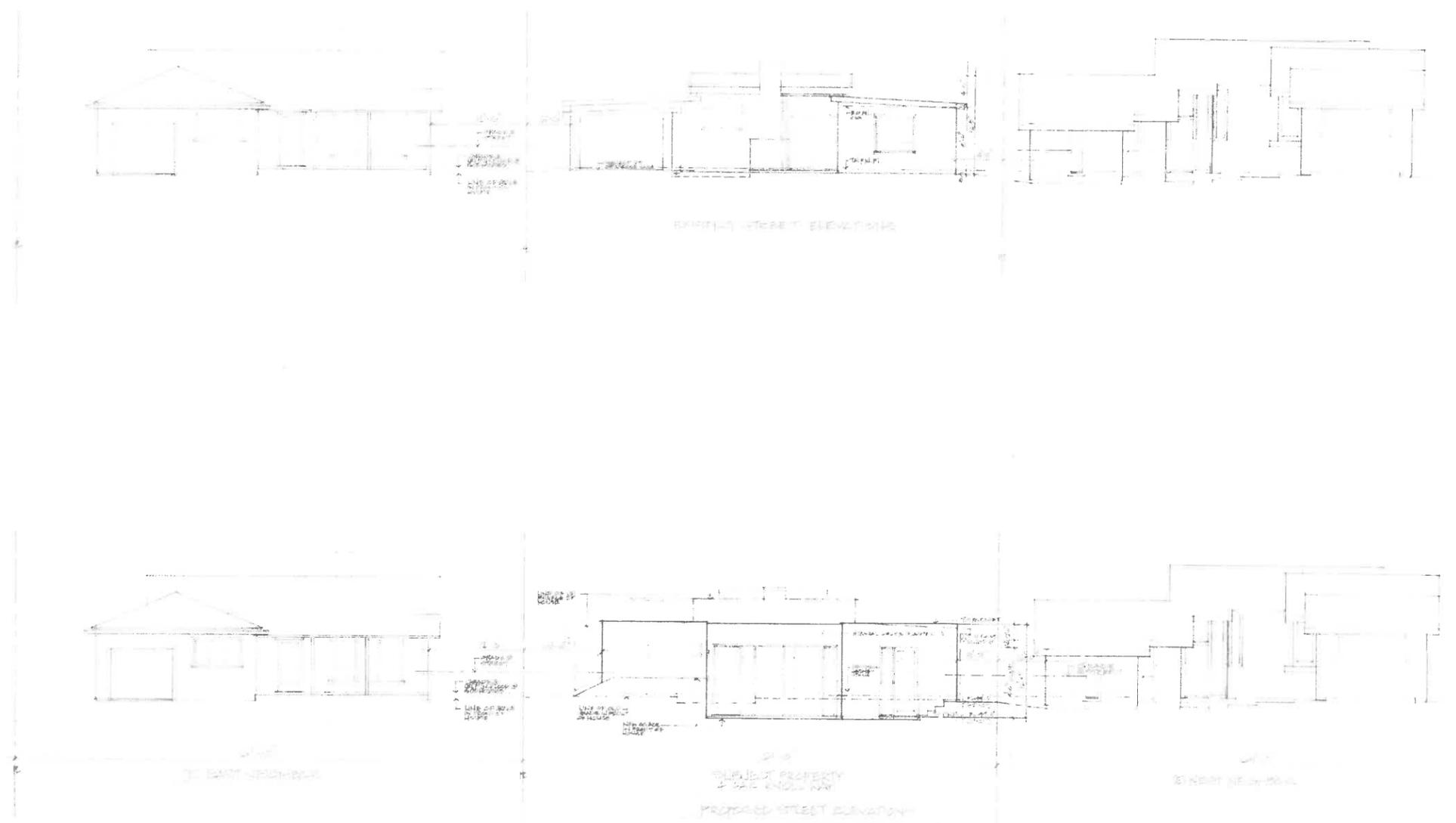
PROPOSED COLORS  
& MATERIALS

DOOR & WINDOW  
ELEVATIONS

Sheet Number:

A5





Consultant:

Project:

PURVIS  
RESIDENCE

For:

ROD & CONNOR  
PURVIS

At:

4 OAK KNOLL WAY  
CARMEL, CA

Date:

NOV 13, 2011

Project Number:

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Scale:

1/8" = 1'-0"

REVISIONS / Issue Date

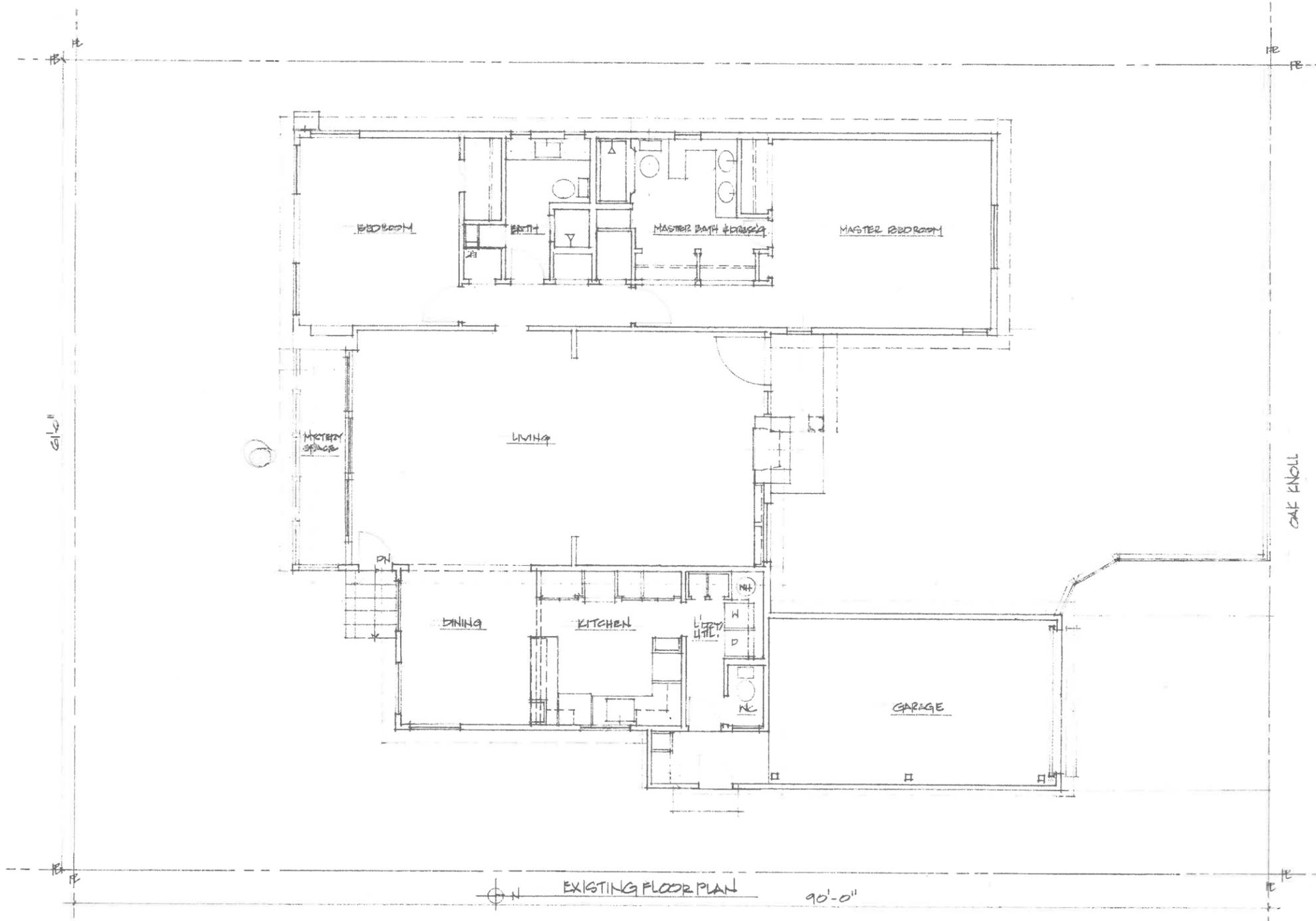
NO.	REVISIONS / Issue Date	DATE
1	ISSUE FOR PERMITS	11/13/11

Sheet Title:

STREET  
CONTEXT  
ELEVATIONS

Sheet Number:

A6



Consultant:

Project:

PURVIS  
RESIDENCE

For:

At 4 OAK KNOLL WAY  
CARMEL, CA

Date: NOV 16, 2011

Project Number:

Scale: 1/4" = 1'-0"

REVISIONS / Issue Date

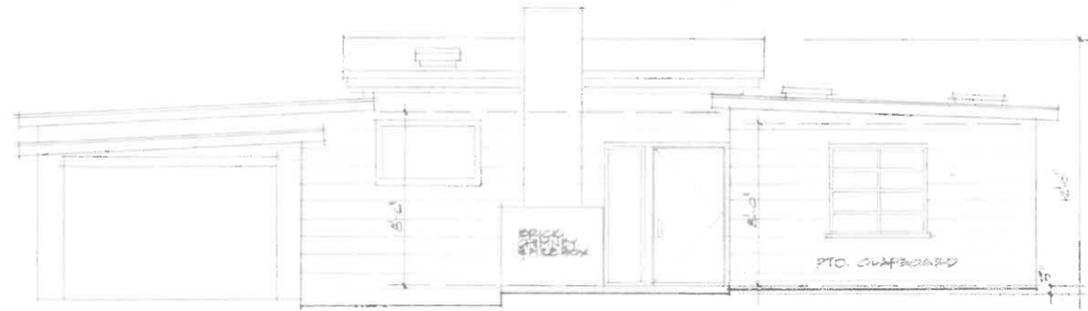
REVISIONS / Issue Date	BY
PRELIMINARY APPROVAL	12/16/11

Sheet Title:

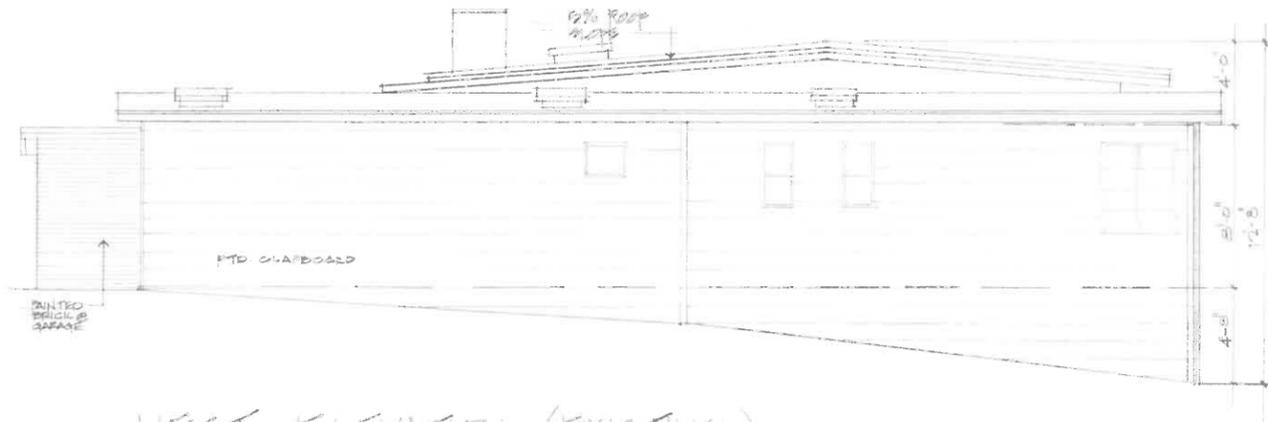
EXISTING  
FLOOR PLAN

Sheet Number:

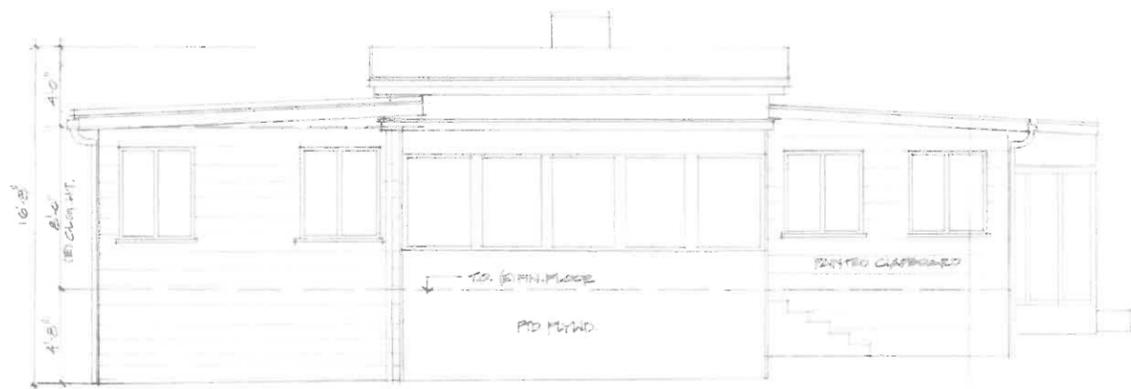
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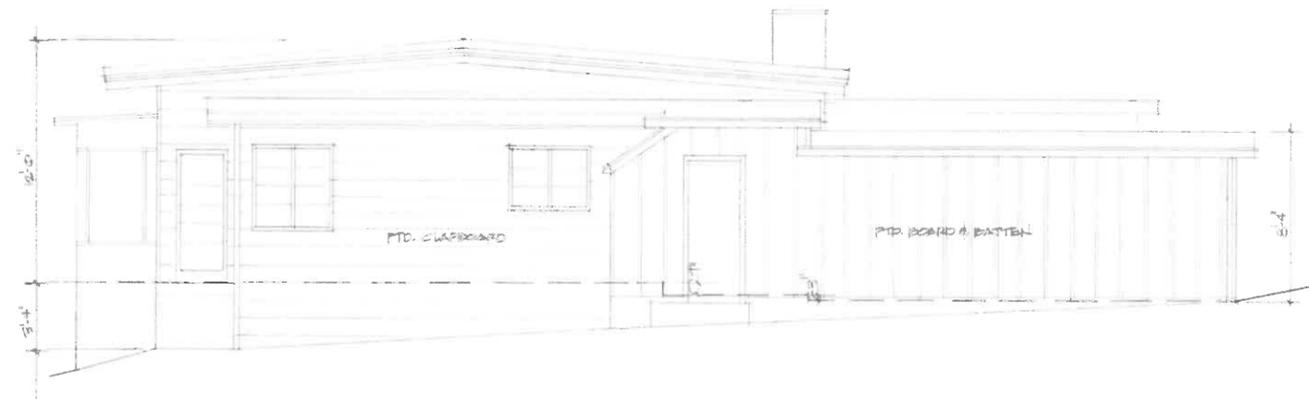
NORTH ELEVATION (EXISTING)  
SCALE: 1/4" = 1'-0"



WEST ELEVATION (EXISTING)  
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION (EXISTING)  
SCALE: 1/4" = 1'-0"



EAST ELEVATION (EXISTING)  
SCALE: 1/4" = 1'-0"

Consultant

Project

PURVIS  
RESIDENCE

For

At 4 OAK KNOLL WAY  
CARMEL, CA

Date: NOV 13, 2007

Project Number:

Scale: 1/4" = 1'-0"

REVISIONS / Issue Date

1. REVISION APPROV. 12.15.07

Sheet Title:

EXISTING  
ELEVATIONS

Sheet Number:

AB



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

February 14, 2018

**To:** Chair LePage and Planning Commissioners

**From:** Marc Wiener, AICP, Community Planning and Building Director

**Submitted by:** Agnes Topp, Environmental Compliance Manager

**Subject:** Consideration of a Pilot Project to replace existing trash receptacles in and around Devendorf Park with new combined trash and recycling receptacles.

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**Recommendation:**

Provide direction to the Community Planning and Building Director and City Administrator on the preferred style for combined trash and recycling receptacles for the Devendorf Park Pilot Project.

**Background and Purpose:**

The City of Carmel-by-the-Sea has been granted \$10,000 from the CalRecycle Beverage Container Recycling City/County Payment Program to “provide opportunities for beverage container recycling.” Currently there are no recycling receptacles in public areas in downtown, with the exception of the Sunset Center, and two old and poorly indicated recycling stations in Devendorf Park. The City intends to use this funding to purchase combined trash and recycling receptacles, which will be placed in and around Devendorf Park as part of a pilot program. The program will increase our waste diversion from public areas, which will help the City maintain compliance with State recycling mandates.

The vast majority of public area trash receptacles in downtown are the “squirrel” receptacles (aka squirrel cans), which have a 15-gallon capacity and a price of \$800 each (for materials and Public Works staff time for assembly), thus costing approximately \$53 per gallon of capacity. Sunset Center has “Pyramid” style trash receptacles, which have a capacity of 22 or 32 gallons and a price ranging from \$890 to \$1,070 each, respectively, thus costing \$33 to \$38 per gallon of capacity.

Combined trash and recycling receptacles are the preferred option for successful recycling because contamination is often associated with standalone recycling receptacles, which results in all of the contents of the container having to be disposed as trash. Combined receptacles are also preferred because they reduce the clutter associated with having separate trash and recycling receptacles.

According to the City's Policy and Standards for Public Way Design, the Planning Commission reviews the design and siting of furniture in the public way to determine whether the proposed design and location are appropriate, and is advisory to the Community Planning and Building Director and City Administrator. Staff has provided three options for the Planning Commission to consider. The options identified were considered most compatible with the downtown, and are compared based on cost per gallon of trash and recycling capacity.

### **Staff Analysis**

Staff has identified three options for combined trash and recycling container design that appear to be appropriate for public areas in downtown Carmel-by-the-Sea. See Attachments A for design details and B for photographs.

*Option 1: Custom "Pyramid" Double-Stream Receptacle:* This is staff's preferred option based on the architectural style and wood finish that would match existing receptacles at Sunset Center. Because this design would be custom made for Carmel-by-the-Sea, no photograph is available of the double-stream receptacle; however, design specifications and photographs of the single-stream receptacle are provided for reference.

There are two capacity options available for the double-stream receptacle: 2 x 22 gallons or 2 x 35 gallons, which would provide significantly more capacity than the existing trash receptacles in the downtown area. The smaller double-stream receptacle has dimensions of 39 inches wide x 22 inches deep x 34 inches tall, and the larger receptacle is 44 inches wide x 26 inches deep x 34 inches tall. Country Casual Teak is the manufacturer of these receptacles and is also the manufacturer of the City's benches. The price of the double-stream receptacle is \$1,475 for the smaller unit and \$2,565 for the larger one, thus costing \$34 to \$37 per gallon of capacity. As a design option the City could brand these receptacles with the traditional squirrel insignia that is used on trash receptacles throughout the downtown.

Option 2: "Colonial" Double-Stream Receptacle: This double-stream receptacle is similar to receptacles that were recently installed in Pacific Grove. This receptacle option has dimensions of 54 inches wide x 28 inches deep x 39 inches tall and a capacity of 2 x 36 gallons. This is a heavy duty steel receptacle with several color options, including black and bronze, as shown on the photographs in Attachment B. The price of the double-stream receptacle is \$1,813, thus costing \$25 per gallon of capacity. It is staff's opinion that this is a less natural looking option and thus may be less desirable, although it would be more long-lasting.

Option 3: "Squirrel" Receptacle with Blue Lid: The squirrel receptacles currently used in the downtown do not lend themselves to a double-stream design; however, a second squirrel receptacle with a blue lid and "please recycle / bottles and cans" language could be placed adjacent to existing squirrel receptacles in City parks. Recycling and trash receptacles would need to be collocated in order to minimize contamination of the recycling stream. While a squirrel recycling receptacle would match those currently used in the downtown, its capacity would be less than half of the other design options and is the most costly.

### **Devendorf Park Pilot Project**

There are currently 12 squirrel receptacles located in and around Devendorf Park, as well as two old recycling stations. Five of the 12 squirrel receptacles are located on the sidewalk to the south and west of the park. The combined capacity of the 12 squirrel receptacles is 180 gallons.

The proposed Devendorf Park Pilot Project would install 5 combination trash and recycling receptacles, and would remove all but two squirrel receptacles. Three of the combined receptacles would be installed in the park, and two on the sidewalk to the south and west of the park. Assuming the larger capacity "Pyramid" style receptacles are used, their combined capacity would be nearly double at 350 gallons.

The Devendorf Park Pilot Project will assess the maintenance needs of the combination receptacles, contamination levels in the recycling side of the receptacles, and public use as compared to the two remaining squirrel receptacles. Upon a successful pilot project, staff would return to the Planning Commission to seek approval to extend the combination receptacles to additional downtown locations.

**Environmental Review:** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15311 (Class 11) – Accessory Structures.

- Attachment A –Design Specifications for Options 1 and 2
- Attachment B – Double-Stream Receptacle Options Photographs

# Attachment A - Specifications

## Option 1 – Custom “Pyramid” Combination Receptacle, 2 x 35 gallon capacity.

### Classic Receptacle with Cans/Bottles Recycling Lid

Solid teak Pyramid cans and bottles recycling receptacle provides an elegant solution to the practical issue of recycling collection.

Features pyramid finials on corner posts and distinctive pedimented top rails.

Lid is fabricated with tongue-and-groove construction and features a 5 in. dia. hole to accept cans and/or bottles.

Receptacle includes a custom-engraved plastic plaque. Maximum of 24 characters per line and 3 lines of text. Allow an additional 2 weeks for delivery.

Includes two 35-gallon durable containers.

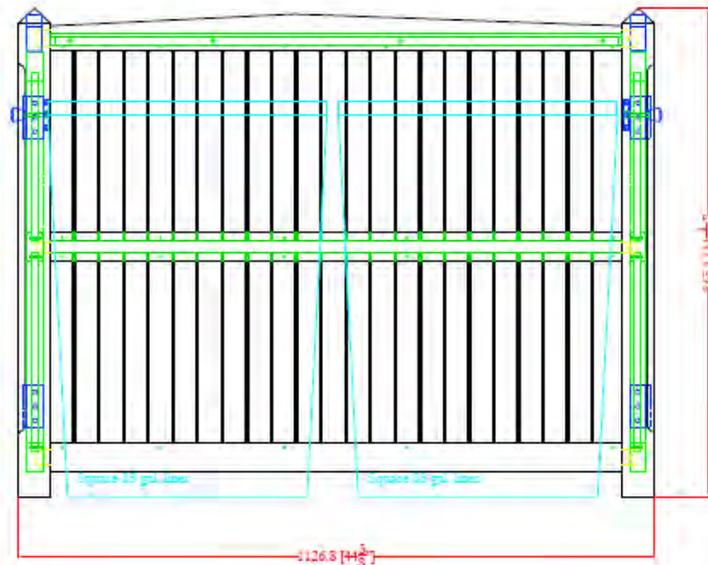
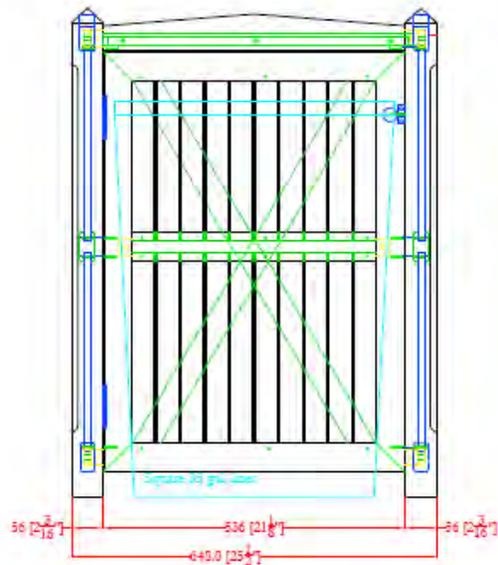
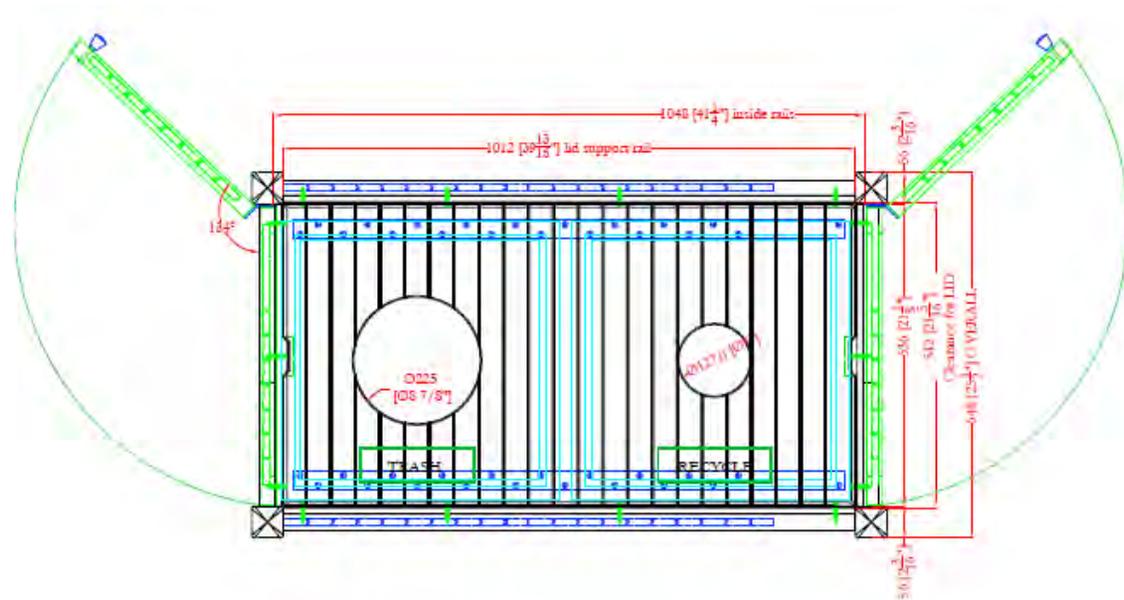
### Our Outdoor Receptacles are Built to Last

Constructed of the highest quality teak wood from countries with an official commitment to manage their timber resources sustainably.

Traditional mortise and tenon joinery held together with wooden dowels are combined with stainless steel hardware to ensure quality construction that will withstand a lifetime of use.

The high oil content of teak makes it virtually immune to rot, allowing for superior performance in marine environments.

Easy assembly.



Option 2 – “Colonial” Combination Receptacle, 2 x 36 gallon capacity.

8	7	6	5	4	3	2	1
Standard Steel Top Dual Receptacle		<b>36-Gallon Extra Heavy Dual Colonial Recycle Bin</b>					
 <p>Sample of Available Plaques</p> <div style="display: flex; justify-content: space-around;"> <div style="border: 1px solid black; padding: 2px; text-align: center;">  Paper  </div> <div style="border: 1px solid black; padding: 2px; text-align: center;">  Trash  </div> </div> <div style="display: flex; justify-content: space-around; margin-top: 5px;"> <div style="border: 1px solid black; padding: 2px; text-align: center;">  Plastic  </div> <div style="border: 1px solid black; padding: 2px; text-align: center;">             Cans/Bottles  </div> </div> <div style="display: flex; justify-content: space-around; margin-top: 5px;"> <div style="border: 1px solid black; padding: 2px; text-align: center;">             Recyclables  </div> </div>		<p>All steel heavy duty welded construction recycle bin with galvanneal spun steel top with two heavy stainless steel cable anchors and heavy duty rotary molded 36-gallon polyethylene liner and anchor kit. Painted with our Zinc Advantage paint system that includes rich primer and super TGIC Polyester paint (See page 2 for available colors and Super TGIC Finish details). Manufactured in Indiana.</p> <p style="text-align: center;"><b>Steel Recycle Bin Body Specifications</b></p> <ul style="list-style-type: none"> <li>• Overall size: w28 1/2" wide x 54" long x 39" tall</li> <li>• Main body 22 7/8" (two rings)</li> <li>• Slat width 22 3/8"</li> <li>• Slats: 3/8" x 1" flat steel</li> <li>• Gap between slats 3/4"</li> <li>• Weight (weight is an average with options) 300 pounds</li> </ul> <p style="text-align: center;"><b>Steel Spun Top Specifications</b></p> <ul style="list-style-type: none"> <li>• Diameter: 21 1/2"</li> <li>• Opening: 11"</li> <li>• Material: 16 gauge galvanneal steel (Material thickness may vary during spinning operation)</li> <li>• Design: Centered funnel design to catch trash with the outer surface inclined to eliminate the 60% of precipitation.</li> </ul>					
		<p style="text-align: center;"><b>Liner Specifications</b></p> <p>36-gallon round heavy rotary molded liner standard, approximately 1/8 thick wall with cut in hand grips and optional drain holes.</p> <p style="text-align: center;"><b>Recycle Plaque/Label Options</b></p> <p style="text-align: right;">See Web for Options Pricing</p> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p><b>Material Options</b></p> <ul style="list-style-type: none"> <li>• 18 Gauge Laser cut Stainless Steel</li> <li>• Vinyl Labels</li> </ul> <p><b>Text Options:</b></p> <ul style="list-style-type: none"> <li>• PLASTIC</li> <li>• CANS/BOTTLES</li> <li>• PAPER</li> <li>• RECYCLING</li> <li>• Cans/Bottles</li> </ul> <p><b>Anchor Options:</b></p> <ul style="list-style-type: none"> <li>• Pre-drilled anchor Holes</li> <li>• 3/8" Zinc Plated Anchor Bolt and Lead Anchor</li> <li>• 3/8" Zinc Plated Washer</li> </ul> </div> <div style="width: 45%;"> <p><b>Top Options:</b></p> <p>Steel Top (Standard) </p> <p>Steel Top, LG Rain Guard </p> <p>Steel Top, LG Ash Urn </p> </div> </div>					
<p>With Large Rain Guard Top &amp; Stainless Steel Plaques</p> 		<p>OCCOutdoors, Inc. Warranty: 20 Years Structural and one year paint when installed and maintained properly. We agree to repair or replace, any items determined to be defective. Items specifically not covered by this warranty include vandalism, man-made or natural disasters, lack of maintenance, normal weathering or wear and tear due to public abuse.</p> <p><b>NOTES:</b></p> <ol style="list-style-type: none"> <li>1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.</li> <li>2. ALL DIMENSIONS ARE CONSIDERED TPUC AND REFLECT MANUFACTURER'S SPECIFICATIONS</li> <li>3. DO NOT SCALE DRAWING.</li> </ol> <p>This document contains OCC Outdoors Proprietary Information. No intellectual copyright or license is granted by OCC Outdoors in connection with it. It is delivered on the express condition that the document and the information contained in it shall be treated as confidential, shall not be used for and purpose other than that for which it is hereby delivered (the use and maintenance of the product supplied). It shall not be disclosed in whole or part to third parties and shall not be duplicated in any manner without OCC Outdoors's prior approval.</p>					
<p><b>OCC Outdoors Products</b>                  PH: 1-800-821-7670                  EMAIL - occcontact@occoutdoors.com Fax:                  1-317-862-9422</p>		<p><b>Part #: Recy-EHCol-FT-(2)36</b></p>				<p><b>36-Gallon Extra Heavy Duty Dual Colonial Recycle Bin</b></p>	
<p>Date: 3/20/17 Page 1 of 2 v 1.0</p>							
8	7	6	5	4	3	2	1

## Attachment B – Photographs

Option 1 – Custom “Pyramid” Combination Receptacle (no photograph of the combination unit available, single-unit photographs provided for reference)



Option 2 – “Colonial” Combination Receptacle  
(black and bronze color options)



Option 3 – Blue-lid “Squirrel” Can  
(blue color may be adjusted)





In November 2017, the City Council received an annual update on the North Dunes habitat restoration (Attachment D). Based on input from Ms. Canepa, the City Council requested that the CDP be brought back before Council for an amendment to the CDP to allow for the removal of additional live trees. The Council requested that the Forest and Beach Commission and Planning Commission first review and provide input on the proposed CDP amendment.

**STAFF ANALYSIS:**

**Biologist Recommendations:** Ms. Canepa has conducted a tree survey of the North Dunes (Attachment B) and determined that there are a total of 101 trees with greater than 2” diameter including: 50 Monterey cypress, 16 Monterey pines, 34 Coast live oaks, and 1 Eucalyptus. Of those trees, 62 have a greater than 8” diameter including: 37 Monterey cypress, 8 Monterey pine, 16 Coastal live oak, and 1 Eucalyptus.

Ms. Canepa recommends the removal of up to 20 live trees including: 18 Monterey Cypress and 2 Monterey pines. The recommendation for 20 trees includes the 5 that were approved for removal with the original CDP. Up to 13 Monterey cypress would be removed from the central area of the North Dunes, primarily because these trees impede the growth of native dunes plants such as Tidestrom lupine, which is listed as an endangered species by the State of California and the U.S. Government. A maximum of 5 Cypress are proposed for removal in the area adjacent to the Del Mar Parking Lot (aka Cypress Grove); some need to be thinned out, while others are too close to the utility poles. Ms. Canepa recommends strategic planting of 3 to 5 new replacement Cypress trees in the area adjacent to the Del Marl Parking Lot. Ms. Canepa is also proposing to remove 2 Monterey pine trees near the northwest corner of the North Dunes, primarily because they impact the adjacent Tidestrom lupine. The Conditions of approval have been revised (Attachment A) to authorize the removal of up to 18 Cypress and 2 Monterey pine trees at the specified locations.

In addition to removing up to 20 trees, Ms. Canepa recommends that Condition #5 be amended. The condition currently prescribes that acacia be trimmed to a height of 2 to 3 feet. It is recommended that this condition be revised so that the height be trimmed to 6-8 feet. According to Ms. Canepa, trimming to a range of 2 to 3 feet would destroy the base of the acacia, which is necessary to maintain the base of the acacia for dune stability. Condition #5 has been revised accordingly (Attachment A).

Staff notes that the Friends of the Carmel Forest have reviewed Ms. Canepa's report and submitted recommendations (Attachment D). The Friends of Carmel Forest are generally supportive of Ms. Canepa's recommendations, but recommend that less trees be removed.

**Policy Considerations:** When the City Council reviewed this North Dunes restoration in November 2017, it reviewed General Plan - Coastal Resource Element Policy P5-25, which states:

*“Continue the use of Monterey Cypress as the predominant tree species on the beach bluff and North Dunes. The exact number of trees may vary over time, but whenever a tree dies or is lost during a storm, replacement trees should be planted in approximately the same location. Maintain a low-to-medium density of trees (40 to 60 trees) in the North Dunes.”*

The Council determined that the primary objective of this policy was that Monterey Cypress be the predominant tree species and that a tree density of 40 to 60 trees be maintained. In staff's opinion, the proposed CDP amendment would comply with these General Plan objectives.

**Environmental Review:** On June 2, 2009, the Carmel-by-the-Sea City Council adopted an Initial Study/Mitigated Negative Declaration (IS/MND) for the approval of the Del Mar Master Plan and associated North Dunes Restoration Plan. The scope of work included in CDP 16-315 is intended to implement the North Dunes Restoration Plan and will not result in new significant environmental impacts or a substantial increase in the severity of impacts previously analyzed in the 2009 IS/MND, therefore, the 2009 IS/MND provides adequate environmental analysis of this project.

**ATTACHMENTS:**

- Attachment A – Amended Conditions of Approval
- Attachment B – Canepa Report
- Attachment C – Friends of the Forest Letter
- Attachment D – City Council Report (11/7/17)



5. Acacia removal includes removal and treatment of acacia shrubs except where such vegetation removal would destabilize the foredunes. In the foredune area, the height of the acacia shrubs will be reduced to 6 to 8 feet in height in order to maintain dune stability. ~~substantially (to approximately 2 to 3 feet in height).~~

**SPECIAL CONDITIONS:**

6. For each year of the permit, the City shall maintain a list of specific activities carried out under the permit and by June 30<sup>th</sup> of each year provide a year-end summary of such activities to the Public Works Director and Community Planning and Building Director for distribution to, presentation before, and comment by the Forest and Beach Commission and the Planning Commission.
7. In August or September 2021, prior to the expiration of the initial term of the CDP, the activities authorized under this CDP will be reviewed by the Planning Commission at a duly-noticed public hearing where the CDP will be considered for extension and renewal for an additional 5-year period or some other term acceptable to the Planning Commission. As part of the extension request, an updated biological assessment may be prepared and provided for the Planning Commission to review.
8. Prior to individual tree removal or stump removal activities, the project biologist shall evaluate the potential impact to dunes to ensure that potential impacts to the dunes are either minimal or can be mitigated.
9. In the event of unanticipated issues associated with the project, this permit may be scheduled for reconsideration by the Planning Commission to amend the permit or conditions as necessary.
10. The City shall work with the volleyball community to relocate the volleyball courts in a westerly direction in order to protect the adjacent Tidestrom's lupine.
- ~~11. During the course of the 5 year period CDP, the City's biologist shall study and make a recommendation as to whether the Cypress trees along the eastern edge of the current volleyball courts should be removed in order to protect the Tidestrom's lupine. The proposed tree removal would require a subsequent CDP.~~

## **Carmel North Dunes Restoration Update - Dec 2017 - Jan 2018**

***Pebble Ridge Vineyard Volunteer Crew (5)*** supervised by Joey Canepa/staff

Iceplant pulling/stacking/removal (7 days – Dec 2017)

40 CY (10 truck loads) via ATV/tarp “canoe” (Mike Tope assisted)

Raked/Removed non-native debris (58)40# bags=2320 pounds

(acacia leaves, eucalyptus, desiccated iceplant, conicosia)

Acacia Cutting, Haul-Out, Chipping- NW boundary/boardwalk, ocean bluff

(John Ley Tree Services- 6 days, Joey Canepa/staff)

Updated Tree Survey (GPS data, DBH, tree numbers) - Dec 2018

101 Trees >2 in. DBH (30 trees <8 in. DBH, 51 trees ≥ 8 in. DBH)

(50 Monterey Cypress, 16 Monterey Pine, 34 Coast Live Oak, 1 Eucalyptus)

Tree Summary /Removal Recommendations will be presented to

F & Beach Comm. (Jan), Planning Comm. (Feb), City Council (Mar)

## Restoration Plans for Acacia Removal Areas

Acacia removal zones include more square footage than anticipated due to uneven topography (slopes/swales/drainages), compared to level areas on the restoration maps. This additional footage might increase clean up and restoration costs. The removal areas look rather devastated and contain scattered acacia stumps that have been treated to prevent re-sprouting. Cabling/signage needs to be installed as soon as possible to prevent trespass and possible harm to pedestrians.

Acacia removal zones will be raked free of debris. Natural recruitment of native species is expected, but will be augmented with plantings to stimulate habitat recovery. Plantings will include coastal strand species (low-growing herbaceous annuals and perennials) and dune scrub (shrub) species at appropriate densities according to location and soil quality. Coastal dune shrubs, such as coffeeberry, tree lupine, dune buckwheat, mock heather and coyote bush will be planted against the remaining acacia shrubs on the leeward side of the dune bluffs for aesthetics and habitat enhancement. Some areas near the boardwalk and NW boundary fences will be planted with forest understory shrubs, including *Ceanothus* (CA lilac), *Ribes* (flowering currant), and *Mimulus* (monkeyflower), allowing open sandy areas to remain for potential colonization of the endangered Tidestrom's lupine. There will be ongoing control of any acacia re-sprouts and invasive grass germination, especially *Ehrharta erecta*, erect veldt grass and *Bromus diandrus*, ripgut brome.

It is known that an acacia shrub can produce over 11,000 seeds per year that tolerate high salinity. It is likely that seed from the North Dunes acacia are

dispersing along the Carmel coastline via birds and ocean waves, and inadvertently colonizing pristine coastal habitat. We will experiment with the gradual replacement of the slope acacia with native *Salix lasiolepis* (Arroyo Willow) via stem cuttings from nearby sources such as Mission Trail Nature Preserve. These stem cuttings can thrive along the beach slopes if there is sufficient fresh water, providing valuable habitat for bird and insects. Willow stands should be naturally delimited by wind shear and the higher, drier areas of the dune.

### **Proposed Adjustment to Conditions of Approval #5**

Large stands of non-native acacia were removed to the ocean bluffs, where the remaining acacia on the beach slope were retained for erosion control. The cut acacia stems varied from 2 inches to 8 inches in diameter. The larger shrubs had broad canopies and many limbs. Therefore, trimming the remaining acacia along the bluff to a height of 2-3 feet as specified in Attachment F. Conditions of Approval (CDP 16-315) proved more complex than anticipated. For aesthetics, the bluff acacia was removed down to the next lower terrace (ocean side), managing for a height of approximately 6-8 feet to preserve greenery at the top. This height was preferable to leaving a 2-3 foot hedge of dead stems at the top of the bluff that would be ugly as well as hazardous.

## Carmel North Dunes Tree Survey and Biological Recommendations

In December 2017, a tree survey was completed at the Carmel North Dunes by Joey Canepa, Sally Schultz and Cameron Chabre. The objectives were to number and map every tree/ sapling at the North Dunes using GPS coordinates, to assess tree health and measure DBH (tree diameter at 4.5 ft). Prior surveys were done in 2011 and 2012 that did not record all trees within the 8 acre project area, but provided valuable baseline information (L. Kovach, Polaris Consulting, M. Branson, city forester). At this time, site conditions have changed, and trees have germinated, aged, died, and hazardous trees have been removed. It is important to evaluate which trees should be removed to meet the requirements of the North Dunes Restoration and Management Plan; to recreate a self-sustaining native dune habitat with thriving populations of the special status species, while providing safe visitor access and enjoyment of the dunes.

The December Tree Survey found four tree species on site: *Cupressus macrocarpa* (Monterey cypress), *Pinus radiata* (Monterey pine), *Quercus agrifolia* (Coast live oak) and *Eucalyptus globulus* (Blue gum). The tree survey did not include numbers or percent cover of the invasive, non-native *Acacia longifolia* (Sydney golden wattle) which was scheduled for removal in the restoration plan. The acacia removal is nearly complete in all areas but the viewing platform. Acacia removal extends to the ocean bluff, where acacia shrubs remain to reduce bluff erosion. Many of the previously occupied acacia areas have been raked free of acacia debris by volunteer crews.

**TABLE 1** includes current tree numbers at the North Dunes site. There are 101 trees greater than 2 inches in diameter at breast height; including 50 Monterey cypress, 16 Monterey pine, 34 Coast live oaks and 1 Eucalyptus. The large, non-native Eucalyptus tree at the corner of San Antonio and Ocean Avenues shall remain, designated as a heritage tree by the City. If the more mature trees are considered, the total tree number is much reduced. There are a total of 62 trees that measure at least 8 inches in diameter; including 37 Monterey cypress, 8 Monterey pine, 16 Coast live oak and the 1 Eucalyptus. The General Plan for the City of Carmel recommends maintaining a density of 40-60 trees at the North Dunes Site.

Looking forward to best management practices for the North Dunes site, it is apparent that removal of at least 18 of the planted Monterey cypress should occur, specifically those trees that suppress native dune plant growth and germination by creating excess shade and detritus in areas of high quality sand. Some of the planted cypresses are damaged, diseased, or located too close to utility poles. Others are spindly trees in densely planted clusters of Monterey cypress, which were never thinned and pruned for optimal growth.

The Monterey pines and Coast live oaks onsite should be allowed to occupy approximately the same density and location they currently occupy. Still recommended is the removal of 2 (of 4) juvenile Monterey pines, previously designated for removal, that are adjacent to the highest density *Lupinus tidestromii* cluster on the site. Tidestrom's lupine is a special status species that is federally endangered. Natural recruitment of pines within the Pine Grove may increase following recent acacia and iceplant removal, and should be evaluated for appropriate location to achieve project goals once saplings reach 2 inches DBH.

## Carmel North Dunes Tree Survey and Biological Recommendations

**The attached map** includes the specific trees recommended for removal. The removal of 18 Monterey cypress and 2 Monterey pines will reduce the mature tree density (> 8 inches DBH) to 51 trees, within the recommended density of 40-60 trees in the North Dunes. These tree removals (and adequate fencing) in the pristine dune areas will allow native plant recruitment to succeed and thrive in the project area.

The large areas of acacia removal should be cleared of acacia debris and planted as soon as possible with native coastal strand and central dune scrub species, along with forest understory species in the NW corner of the project. Areas with high quality, pristine white sands should remain open and protected with no more than 15-25% percent cover of native coastal strand vegetation to encourage recruitment from adjacent *Lupinus tidestromii* plants and the success of future Tidestrom's lupine plantings.

### **Suggested Tree Replacement Policy**

Map replacement of 3-5 cypress in the Cypress Corridor along Ocean Avenue, to fill in gaps created by senescing or removed trees. Follow suggestions by Tom Moss, coastal biologist, in regards to planting within the forest management zone along Ocean Avenue, and spacing for aesthetics and tree vigor.

No replacement of the three large cypress trees along San Antonio Avenue, regular maintenance to prune hazardous limbs.

No replacement of dying or removed Monterey pines in the forested boardwalk area. Allow natural decomposition to occur under existing pines. Depending on sand quality for special status species, coastal strand and central dune scrub species, removal of two more previously approved juvenile pines may need to occur. See map.

Routine maintenance of the larger coast live oaks onsite, limb up as needed to remove invasive grasses, allow natural decomposition beneath oak canopy. Possible oak planting in 4<sup>th</sup> Avenue drainage north of boardwalk if natural recruitment is not observed.

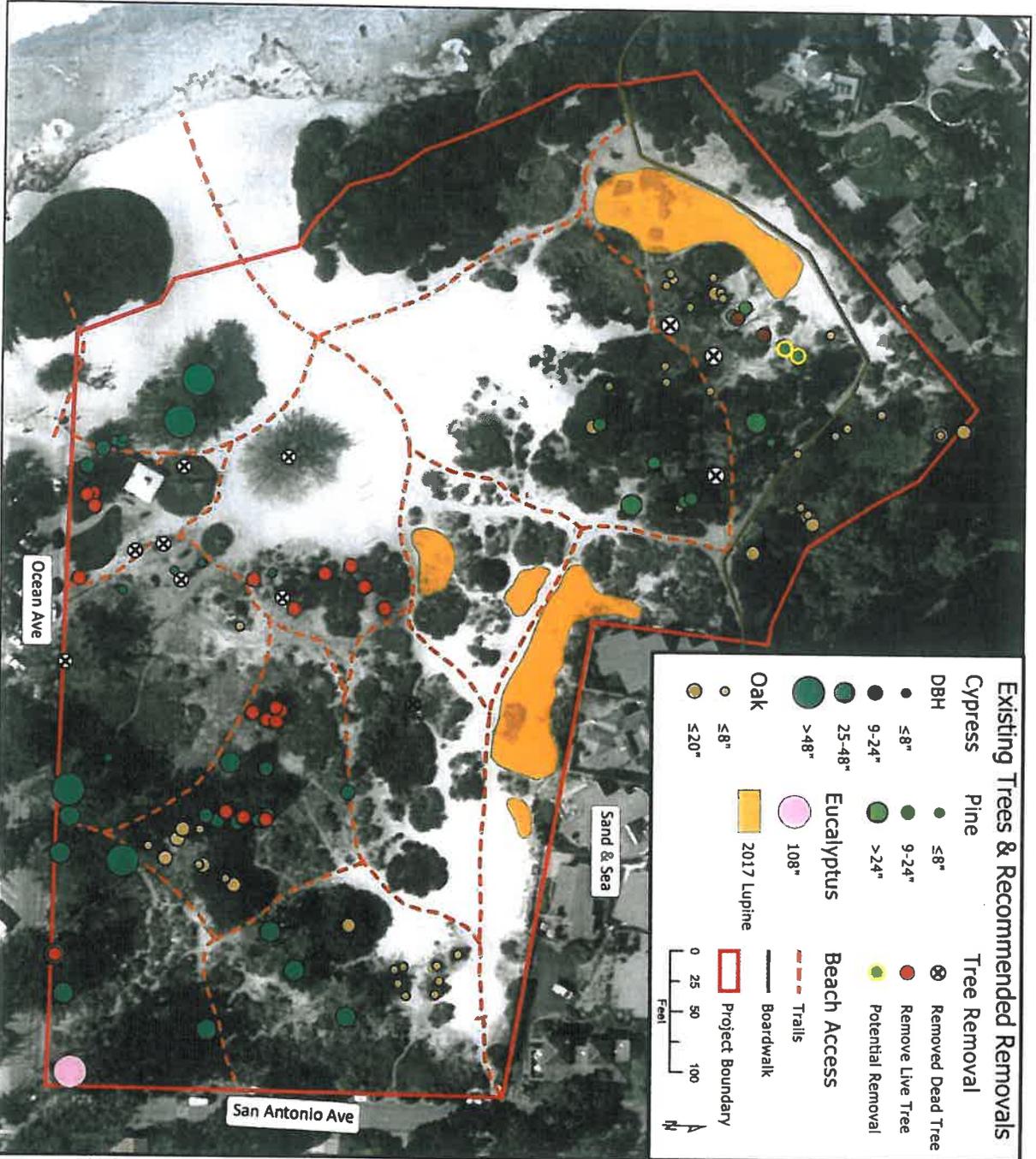
*Joey Dorrell-Canepa*

Project Biologist

Carmel North Dunes Restoration Project

TREE SURVEY - CARMEL NORTH DUNES (December 2017)

<b>Table 1. Existing Trees and Recommended Removals</b>							
<b>SPECIES</b>		<b>TOTAL TREES</b>		<b>REMOVALS</b>		<b>REMAINING TREES</b>	
		< 8 inches DBH	≥ 8 inches DBH	< 8 inches DBH	≥ 8 inches DBH	< 8 inches DBH	≥ 8 inches DBH
<i>Cupressus macrocarpa</i> Monterey Cypress	<b>CUMA</b>	<b>13</b>	<b>37</b>	<b>-8</b>	<b>-10</b>	<b>5</b>	<b>27</b>
<b>Total</b>			<b>50</b>		<b>-18</b>		<b>32</b>
<i>Pinus radiata</i> Monterey Pine	<b>PIRA</b>	<b>8</b>	<b>8</b>	<b>-1</b>	<b>-1</b>	<b>7</b>	<b>7</b>
<b>Total</b>			<b>16</b>		<b>-2</b>		<b>14</b>
<i>Quercus agrifolia</i> Coast live oak	<b>QUAG</b>	<b>18</b>	<b>16</b>	<b>no removals</b>		<b>18</b>	<b>16</b>
<b>Total</b>			<b>34</b>				<b>34</b>
<i>Eucalyptus globulus</i> Blue gum	<b>EUGL</b>		<b>1</b>	<b>no removal</b>			<b>1</b>
<b>Total</b>							<b>1</b>
<b>TOTAL (All Species)</b>		<b>39</b>	<b>62</b>	<b>-9</b>	<b>-11</b>	<b>30</b>	<b>51</b>
<b>Grand Total</b>			<b>101</b>		<b>-20</b>		<b>81</b>
<b>TOTAL removals = 20 trees</b>							
DBH = Tree diameter at breast height (4.5 feet)				20% of existing trees			
Circumference of tree = $\pi d$							
$\pi = 3.1416$ , $d$ =tree diameter							



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 January, 2018

## City of Carmel: North Dunes

Existing Trees and Recommended Removals  
 January 2018



## FRIENDS OF CARMEL FOREST

*The cultivation of trees is the cultivation of the good, the beautiful and the ennobling in man.*  
- J. STERLING MORTON

### **North Dunes Tree Removals and Replacements** *February 7, 2018*

- The LCP calls for trees to be replaced 1-for-1.
- While General Plan Policy P5-25 states that the density be maintained at 40-60 trees, it also states that the exact number of trees may vary from time to time. Nowhere does it recommend removing healthy trees.
- In the past, more than 1-for-1 trees were planted in the North Dunes to ensure survival. Due to this unusual circumstance, we are making the following recommendations:

#### **PINE GROVE**

1. REMOVE – 2 Monterey Pines. There are four adolescent pines in a row. Shift one to the west - select the pine that is not faring well and one small pine with pitch canker. Keep the currently marked, small healthy pine.
2. KEEP – Retain any new volunteers in the Pine Grove.

#### **CENTER DUNES**

1. Note that Cypress trees in the center of North Dunes closest to San Antonio act as a buffer to high velocity wind blowing sand onto the street and into people's homes. An example is sand blowing over Canyon Del Rey onto Highway 1.
2. REMOVE – 6 Cypress just east of Volleyball area.
3. REMOVE – 1 center Cypress in west cluster.
4. REMOVE – 2 interior suppressed center Cypress in east cluster nearest to the oak trees. Retain healthy exterior trees.
5. Do not limb up, but remove dead wood.

#### **ALONG OCEAN AVENUE**

1. REMOVE – 3 Cypress removals in the bath area are reasonable.
2. KEEP – The low-lying Cypress just east of baths acts as a safety buffer to protect people from utility cables. These cables are a hazard and need some form of protection if the Cypress is to be removed. We recommend that this Cypress stay – it may be aesthetically interesting in maturity.
3. PLANT – 4 Cypress in Cypress grove meadow.
4. PLANT – 1 Cypress by trash bin on Ocean Avenue.

#### **GENERAL**

1. Fill in sand to the edge of the sidewalk to eliminate pedestrian hazard due to drop off.
2. Fill in sand inside all exposed Cypress roots along Ocean Avenue.
3. Consider extending cable fencing from the bench overlook on the corner of San Antonio all the along the edge of the sidewalk to the first Cypress tree.
4. Review stumps as they may be a tripping hazard.
5. To increase habitat, manage access from Sea & Sand.
6. Designate a pathway from 4<sup>th</sup> to the restrooms.
7. We do not approve of any tree removals or future tree removals other than listed above. Start slow on any tree removals. Consider trimming first.



# CITY OF CARMEL-BY-THE-SEA

## CITY COUNCIL

### Staff Report

SR 2017-  
November 7, 2017  
Orders

<b>TO:</b>	Honorable Mayor and City Council Members
<b>SUBMITTED BY:</b>	Marc Wiener, AICP, Community Planning and Building Director
<b>APPROVED BY:</b>	Chip Rerig, City Administrator
<b>SUBJECT:</b>	Receive an annual progress report on the North Dunes restoration project (CDP 16-315) and provide policy direction.

### RECOMMENDATION

1. Receive annual progress report on the North Dunes restoration project (CDP 16-315) and authorize staff to continue with implementation of the Plan as outlined in this Council Report.
2. Provide policy direction to staff on future amendments to the CDP or General Plan.

### BACKGROUND / SUMMARY

#### PURPOSE:

On September 14, 2016, the Planning Commission approved a 5-year Coastal Development Permit (CDP) authorizing restoration activities in the North Dunes. The scope of work contained within the CDP is based on the 2009 City Council adopted North Dunes & Del Mar Dunes Habitat Restoration Plan, which sets forth restoration goals, protocol, and monitoring measures for the degraded dune areas. Staff is providing the City Council with an annual update on the progress of the North Dunes restoration and is seeking policy direction.

#### BACKGROUND:

In 1995, the North and Del Mar Dunes were designated as Environmentally Sensitive Habitat Area (ESHA) following a report by Jones and Stokes, "Final Results of the Environmentally Sensitive Habitat Area Study Conducted for the City of Carmel". ESHAs are defined in the City's Local Coastal Program/ Land Use Plan (LCP/LUP) and in the California Coastal Act of 1976 as "any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem, and which could be easily disturbed or degraded by human activities and developments." In a more natural setting, ESHAs would be self-sustaining and would not need active management. However the North Dunes area is an isolated remnant of a larger environmentally-sensitive area, surrounded by urban development. Active management is essential, if this habitat is to be protected and preserved.

The Jones and Stokes study identified Tidestrom's lupine (*Lupinus tidestromii*) and the California black legless lizard (*Anniella pulchra*) to be present in the central dune scrub in the North Dunes. Tidestrom's lupine is listed as an endangered species by the State of California and the U.S. Government. The lupine's natural habitat is coastal sand dunes, and the lupine is found in less than 20 locations in California. The California black legless lizard is listed by the State of California as a species of special concern. It has been losing its habitat to human activities such as agriculture, housing development, land development and recreation, and by the introduction of exotic plants such as ice plant.

The Coastal Resources Element of the City's General Plan calls for the development and implementation of a restoration plan for the North Dunes. In September 2009, the "North Dunes & Del Mar Dunes Habitat Restoration Plan" was adopted by the City Council and was later certified by the California Coastal Commission as an appendix to the City's General Plan and incorporated into the Carmel Local Coastal Plan (LCP). The North Dunes & Del Mar Dunes Habitat Restoration Plan describes in detail the biological resources of the last remaining dune areas within the City limits, sets forth restoration goals, protocol, and monitoring measures for the degraded dune areas. The mission of the habitat restoration and management program is to recreate a self-sustaining native dune habitat with thriving populations of the special status species, while providing safe visitor access and enjoyment of the dunes.

The North Dunes & Del Mar Dunes Habitat Restoration Plan was reviewed by the Forest and Beach Commission and Planning Commission on several occasions prior to being adopted by the City Council in 2009. During the review the process the issue of tree removal was considered and restoration policies were drafted in a manner that is consistent with the City's General Plan and Shoreline Management Plan. The North Dunes & Del Mar Dunes Habitat Restoration Plan recommends maintaining and replacing Monterey Cypress trees adjacent to Ocean Avenue, but that the Monterey Cypress near the center of the North Dunes and the Monterey Pines at the north end of the North Dunes not be replaced if removed due to disease and death. The Planning Commission and Forest and Beach Commission staff reports associated with the adoption of the Restoration Plan indicate that the policy issues related to tree removal were raised at the public hearings.

*Coastal Development Permit (CDP 16-315)*: On September 14, 2016, the Planning Commission approved CDP 16-315 for restoration activities in the North Dunes, consistent with the objectives outlined in the 2009 North Dunes & Del Mar Dunes Habitat Restoration Plan. In the fall of 2014, the City retained Contract Biologist, Ms. Joey Canepa, to prepare and implement the habitat restoration plan associated with the CDP. The objectives of the North Dunes habitat restoration are to eliminate all non-native plant species, restore the native dune scrub, expand the population of Tidestrom's lupine, and the quantity and quality of available habitat for Black Legless lizards, establish a trail system to provide safe visitor access without compromising the health of the dune habitat and provide interpretation of the North Dunes habitat to enhance the visitors experience and knowledge of the Carmel dunes. The CDP's scope of work includes the following:

- Removal of ice-plant and Conococia
- Removal of acacia in the dune area
- Removal of other invasive plants – annual weeds and possible Tidestrom's lupine hybrids
- Trimming of acacia back and lower along the beach bluff to minimize intrusion into the dunes and open views to the ocean
- Management of endangered and sensitive species
- Removal of trees – dead, hazardous, and limited number of healthy trees (in key restoration areas)
- Removal of stumps (limited number) and monitoring of impacts and benefits
- Use of mechanized equipment (ATV, backhoe, stump grinder, etc.) to facilitate tree and invasive removals, cable fence installation, and maintenance requirements under direction of the project biologist.
- Seed collection and seedling propagation (Tidestrom's lupine under Department of Fish and Wildlife permit)
- Seed sowing and seedling planting
- Protection/fencing of Tidestrom's lupine areas and other sensitive recovery areas
- New Signage
- Maintenance of structures ie. boardwalk, signage, fencing, tree pruning
- Monitoring (annual reports to Forest and Beach Commission, Planning Commission, and City Council) and gauging progress on performance standards
- Adjustments/Adaptive Management

The CDP provides for the Project Biologist, Ms. Canepa, to manage the habitat restoration through a phased approach over a period of 5 years. This approach allows the larger project to be divided into manageable sizes and spreads cost over time. Ms. Canepa has utilized low or no-cost labor from various local organizations, schools, and other private contractors to accomplish specific tasks under the direction of the Project Biologist. The CDP requires that an annual progress report be provided to the Forest and Beach Commission, Planning Commission and City Council. For expediency, the City Council is being provided with the progress report prior to review by the Forest and Beach Commission and Planning Commission.

## ANNUAL PROGRESS REPORT:

The City's Project Biologist, Ms. Canepa, has submitted an annual progress report (Attachment 1) that provides an analysis of the program's success and an overview of project achievements. Project success is primarily based on measurements (transect data) of native vs. non-native vegetative ground cover in relation to success criteria established by the CDP. In order to estimate current ground cover, Ms. Canepa used the line intercept method, which samples and measures vegetation cover along a 100-foot long measuring tape (transect) in various areas of the North Dunes. Below is a summary of project success criteria and an analysis of how project is currently meeting these goals. This success criteria is established by the North Dunes & Del Mar Dunes Habitat Restoration Plan and is included in the CDP.

1. *Success is met when invasive, non-native species are reduced to no more than 10% cover in the project area over five years.*

Results: In 2016, the ground cover of non-native vegetation was estimated to be 35%. In 2017, the average percent ground cover of non-native vegetation (all transects) is 19%. The non-native ground cover has been reduced by 16%. The project does not yet meet the standard of 10% non-native ground cover, however, this standard is to be met after five years and the project is still only in the first year.

2. *Success is met when the number of native dune species is restored to 50% native cover within five years.*

Results: In 2016, the ground cover of native vegetation was estimated to be 25%. In 2017, the average percent ground cover of native vegetation (all transects) is 51%. This represents a 26% increase in native vegetation ground cover and meets the 50% benchmark.

3. *The number of native dune species shall be restored to a minimum of 30 species within five years.*

Results: There were 26 native species found onsite, which is very close to the desired goal of 30 native species.

4. *Establish 1,000 Tidestrom's Lupine in the North Dunes (10 locations with at least 100 plants each).*

Results: A permit was obtained from the Department of Fish and Wildlife for first-year activities of seed collection and propagation. Ms. Canepa estimates that at the start of the project there were approximately 500 Tidestrom's Lupine in the North Dunes and that this number has been increased by 25% over the past year. However, some of the newly vegetated areas will not survive and it is anticipated to be a 3-4 year process to reach 1,000 Tidestrom's Lupine. The Tidestrom's Lupine should be self-sustaining once this population number of 1,000 plants is reached.

Conclusion: In addition to meeting these established success criteria, other project components that have been completed include the installation of 1,650 linear feet of cable and stake/rope fencing, removal of 40 cubic yards of ice plant, and removal of 5,950 pounds of weeds. In the annual progress report, Ms. Canepa concludes that the first year of habitat restoration exceeded expectations likely due to an abundant rain year. The prolific and consistent rainfall resulted in robust vegetative growth and great establishment for all plants onsite. Perhaps just as importantly, there were many new seedlings germinating beneath established native plants, indicating regeneration from seed dispersal-the hallmark of successful restoration, sustainable habitat.

Recommendations: Ms. Canepa has made certain recommendations for the program that would require a subsequent CDP. With regard to tree management, she recommends to designate selective live tree removal to enable restoration efforts, remove the Monterey Cypress trees (unspecified number) east of the volleyball courts, and map locations for limited replacement trees in designated forest areas. She also recommends designing main entrances to the North Dunes along Ocean and San Antonio Avenues, and the design and installation of interpretive signage.

These recommendations need to be worked out with staff, as well as the Forest and Beach Commission and Planning Commission. As described in the following section, the City Council may provide policy direction as to whether a subsequent CDP or General Plan amendment should be pursued. It should be noted that processing a subsequent CDP or General Plan amendment would not interfere with the current restoration efforts.

## POLICY CONSIDERATIONS:

The City's General Plan contains several goals, objectives, and policies regarding management of the North Dunes ESHA. The approved CDP is consistent with policy recommendations to restore the North Dunes by improving the habitat of native plants, removing invasive horticulture species, and retaining a qualified biologist to oversee and monitor these efforts. With regard to trees in the North Dunes, General Plan Policy P5-25 states the following:

*“Continue the use of Monterey Cypress as the predominant tree species on the beach bluff and North Dunes. The exact number of trees may vary over time, but whenever a tree dies or is lost during a storm, replacement trees should be planted in approximately the same location. Maintain a low-to-medium density of trees (40 to 60 trees) in the North Dunes.”*

This Policy requires replacement of Monterey Cypress trees in the North Dunes and prescribes a specific tree density of 40-60 trees. The City's Shoreline Management Plan also contains sections that recognize Monterey Cypress trees as being important to the shoreline and North Dunes. Based on a 2012 survey, there are approximately 78 trees in the North Dunes that include: 37 Coast Live Oaks, 24 Monterey Cypress, 16 Monterey Pine trees, and 1 Eucalyptus tree. Some of these trees interfere with the growth of native dune plants. For example, there is a grove of approximately 11-12 Monterey Cypress trees located near the center of the North Dunes that will likely impede the Tidestrom's lupine. The CDP authorizes the removal of dead and hazardous trees and allows the removal or transplant of a limited number (up to 5) of healthy trees in areas that substantially interfere with restoration activities. There are also large areas of Acacia that are scheduled for removal. However, in order to ensure compliance with Policy P5-25, the CDP work-plan was conditioned to limit the overall removal of healthy trees, in particular, the Monterey Cypress. Of special note is that the Planning Commission added a special condition requiring that during the course of the 5-year CDP, the City's biologist shall study and make a recommendation as to whether the central Monterey Cypress grove, along the eastern edge of the volleyball courts, should be removed in order to protect the Tidestrom's lupine. The proposed tree removal would require a subsequent CDP. Ms. Canepa has not yet submitted a formal recommendation, but it is anticipated that she will recommend that at least some of the Monterey Cypress trees in this area be removed.

### Policy Questions:

Staff is seeking policy direction from the City Council as to whether CDP 16-315 should be revised and if the City should amend General Plan Policy P5-25. The following is a list of questions for the Council's consideration:

1. *Should the CDP be revised to allow for removal of additional Monterey Pine and Coast Live Oak trees?*

The current CDP allows for the removal of up to 5 healthy trees in key restoration areas. The tree density could be reduced to a range of 40-60 trees and still be consistent with Policy P5-25. The tree removal revision should be based on recommendations by the City's Contract Biologist and the Forest and Beach Commission. Any revisions would be reviewed by the Forest and Beach Commission and Planning Commission. The City Council could call up the amended CDP in order to be the final decision making body.

2. *Should the CDP be revised to allow for removal of Monterey Cypress trees from center of the North Dunes?*

Monterey Cypress trees could potentially be removed in the key restoration areas. However, in order to be compliant with Policy P5-25, new Monterey Cypress trees should be replanted at a 1:1 ratio in other appropriate dune areas that are less impactful to native plant species. The tree removal revision should be based on recommendations by the City's Contract Biologist and the Forest and Beach Commission. The City Council could call up the amended CDP in order to be the final decision making body.

3. *Should the City Council consider amending General Plan Policy P5-25 to allow for removal of Monterey Cypress trees and/or revise the required tree density?*

Associated amendments would also be made to the North Dunes & Del Mar Dunes Habitat Restoration Plan and the Shoreline Management Plan. Both the General Plan and the Habitat Restoration Plan are included as part of the City's Local Coastal Plan (LCP) and any amendments would require certification by the California Coastal Commission. The process would require that the proposed amendments first be reviewed by the Forest and Beach Commission and Planning Commission for input. Following this review, the amendments would be reviewed by the City Council for adoption and finally the California Coastal Commission for certification. There would also be an associated environmental review that could potentially result in the need for a Mitigated Negative Declaration or Environmental Impact Report.

Staff is seeking input and guidance from the City Council on these policy questions. Restoration work authorized under the current CDP could continue while staff concurrently works on a subsequent CDP or General Plan amendment.

#### **SEPARATE ATTACHMENTS:**

Staff has provided the following documents to the City Council under separate cover:

- Correspondence from Save our Native Dunes (SAND)
- Privately commissioned habitat restoration plan (prepared by biologist, Tom Moss)
- November 2, 2015 City Council Staff Report outlining the process of developing the North Dunes & Del Mar Dunes Habitat Restoration Plan. Included is project chronology, pertinent staff reports and meeting minutes.

#### **ENVIRONMENTAL REVIEW:**

On June 2, 2009, the Carmel-by-the-Sea City Council adopted an Initial Study/Mitigated Negative Declaration (IS/MND) for the approval of the Del Mar Master Plan and associated North Dunes Restoration Plan. The scope of work included in CDP 16-315 is intended to implement the North Dunes Restoration Plan and will not result in new significant environmental impacts or a substantial increase in the severity of impacts previously analyzed in the 2009 IS/MND, therefore, the 2009 IS/MND provides adequate environmental analysis of this project.

#### **FISCAL IMPACT**

FY 17-18: \$60,000 budgeted in the City's Capital Improvement Plan, which will cover work identified in the CDP such as seedling propagation, invasive removal, tree removal and cable fencing.

#### **PRIOR CITY COUNCIL ACTION**

The City Council adopted the Del Mar Master Plan June 2, 2009.  
The City Council received a report on the North Dunes on November 2, 2105

#### **ATTACHMENTS**

1. Annual Progress Report
2. CDP 16-315 Findings for Approval
3. CDP 16-315 Conditions of Approval



The applicant is proposing to construct a 409-square foot master bedroom addition; a 523-square foot attached two-car garage with a 285-square foot guest bedroom and 73-square foot roof deck above; and, two small additions at the front of the residence totaling 31 square feet. The residence will remain primarily one-story with the two-story element over the new garage. The proposed residence will be 2,947 square feet.

PROJECT DATA FOR A 8,000 SQUARE FOOT SITE			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,960 SF (37%)	1,889 SF	2,947 SF
Site Coverage	651 SF/971 SF	1,072 SF	703 SF
Trees (Upper/Lower)	5/4	0/9 (14 total)	None
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18'/24'	13'6"/NA	15'8"/21'2-½"
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12'/18'	10'/NA	9'5"/17'5-½"
Setbacks	Minimum Required	Existing	Proposed
Front	15'	17'2"	No change
Composite Side Yard	20' (25%)	20'	20'
Minimum Side Yard	3'	14'	12'3"
Minimum Street Side Yard	5'	7'9"	5'
Rear	15'/3'*	27'	3'

\*The rear setback is three feet for those portions of structures less than 15 feet in height.

Staff has scheduled this application for final details review. The analysis includes, feedback provided at the previous hearing, additional neighbor concerns raised after the hearing, finish details, and landscaping and exterior lighting.

## STAFF ANALYSIS

**Previous Hearing:** The following is a list of recommendations made by the Planning Commission and a staff analysis of how the applicant has responded to the recommendations.

1. *Coordinate with the south neighbor to evaluate potential impacts of the master bedroom addition as viewed from the south neighbor's window.*

**Staff Analysis:** The applicant met with the south neighbor to discuss the view concerns from the neighbor's kitchen window. The neighbor currently has direct views into the backyard of the project site. The new master bedroom addition would obstruct this view. In staff's opinion, this is not a protected view. Additionally, the north side of the south neighbor's house remains shaded and damp due to lack of sunlight. The neighbor is concerned that the addition would further exacerbate this issue. The applicant has indicated a willingness to trim the existing trees

to allow more sunlight to filter through to the north side of the neighbor's house. The Planning Commission should consider whether to include the trimming of trees as a special condition.

2. *Consider adding a horizontal band to visually separate the first and second story at the new garage.*

**Staff Analysis:** The plans have not been updated to reflect a horizontal band at the garage addition separating the first and second story; however, the applicant has indicated a willingness to incorporate such an element and the project has been conditioned accordingly (refer to Attachment C, Special Condition No. 24).

**Additional Neighbor Concerns:** Following the concept hearing staff was contacted by the new owner of the residence to the west of the project site. The owner has expressed privacy concerns with regards to the second story deck above the garage addition and has requested that the Commission visit the property prior to view the areas of concern.

**Finish Details:** The proposed additions would incorporate horizontal wood shiplap wainscot siding and vertical board and batten wood siding to match existing finishes on the residence. New roof elements would be finished with wood shingles to match existing conditions. All new windows and doors are proposed to be paint grade wood with divided lights. Condition of approval number 12 requires the windows to be unclad wood with fixed wood mullions. New exposed rafter tails would be incorporated below the roof line to match existing conditions. The sectional garage doors would have a wood finish with divided lights at the top. The existing chimney would be refinished with new stone cladding. Condition of approval number 11 requires the stone to be installed in a broken course/random or similar masonry pattern. With the application of conditions of approval, staff finds that the project is consistent with the Residential Design Guidelines Final Details Review.

**Landscape Plan/Exterior Lighting:** The applicant has provided a landscape and lighting plan (refer to Attachment D, Sheets 11 and 12) that identifies the location of new shrubs and vines as well as the location of path lights, step lights, down lights and wall sconces. The proposed light fixtures are shielded and down facing. Condition of approval number 9 restricts exterior lighting to 25 watts per fixture and limits the mounting height to no more than 10 feet from the ground. Landscape lighting is restricted to 15 watts and no more than 18 inches from the ground.

New site coverage elements are also identified and include sand set stone pavers at the front entry and all new landings and wet set stone paving for the backyard stairs. Two new 9-foot wide driveways will be finished with sand set concrete pavers.

***Environmental Review:*** The project qualifies for a Class 1 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. Class 1 exemptions include additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet whichever is greater. The 1,058 square foot addition is less than 50 percent of the existing 1,889-square foot residence.

## **ATTACHMENTS**

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans



Camino Real

Front Elevation (East)



13<sup>th</sup> Avenue

Street Side Elevation (North)



Existing Detached Garage and Driveway (13<sup>th</sup> Avenue)

Location of proposed attached two-car garage and 2<sup>nd</sup> story guest bedroom addition



East Elevation

Additions on either side of front door totaling 31 square feet

## Attachment B – Findings for Approval

DS 17-443 (Nelson)  
 February 14, 2018  
 Findings for Approval  
 Page 1 of 2

<b>FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45)</b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. As conditioned, the project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees unless otherwise agreed upon by the City Forester.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):**

1. Local Coastal Program Consistency: The project conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

## Attachment C – Conditions of Approval

DS 17-443 (Nelson)  
 February 14, 2018  
 Conditions of Approval  
 Page 1 of 4

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	<b>Authorization.</b> This approval of Design Study (DS 17-294) authorizes the demolition of an existing residence and construction of a new 1,524 square foot one-story residence and 276 square foot attached garage. The approved finish details include, stucco wall cladding; a board & batten wainscot in select locations; wood trim and wood beam diagonal braces; a sectional garage door with a wood vertical board finish and divided lights; asphalt composition shingle roof; and, new fencing.	✓
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	<b>Permit Validity.</b> This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	<b>Landscape Plan.</b> All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	<b>Tree Removal.</b> Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	<b>Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction	✓

	activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,007-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	<b>Modifications.</b> The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	<b>Exterior Lighting.</b> Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground. All fixtures shall be shielded and down facing.	✓
10.	<b>Skylights.</b> All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	<b>Stone Facades (including chimneys).</b> Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted.	✓
12.	<b>Unclad Wood Frame Windows.</b> The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	<b>Indemnification.</b> The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any	✓

	legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
14.	<b>Driveway.</b> The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	<b>Volume Study.</b> This project is subject to a volume study.	✓
16.	<b>Variance.</b> Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	<b>Hazardous Materials Waste Survey.</b> A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	<b>Storm Water Drainage Plan.</b> The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19.	<b>Archaeological Report.</b> An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A
20.	<b>Cultural Resources.</b> All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓

21.	<b>Truck Haul Route.</b> Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
22.	<b>USA North 811.</b> Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
23.	<b>Conditions of Approval.</b> All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
<b>Special Conditions</b>		
24.	<b>Horizontal Band.</b> The applicant shall add a horizontal band to visually separate the first and second story at the new garage.	✓

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
 Property Owner Signature

\_\_\_\_\_  
 Printed Name

\_\_\_\_\_  
 Date

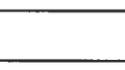
***Once signed, please return to the Community Planning and Building Department.***



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Owners:  
Hunter and Betsy Nelson  
9 Greenway Plaza, Suite 2475  
Houston, TX 77046  
(713) 249-7211

**Nelson Residence Remodel**  
Camino Real and 13th Avenue  
Carmel-by-the-Sea, California  
APN: 010-284-001



Date:  
December 26, 2017

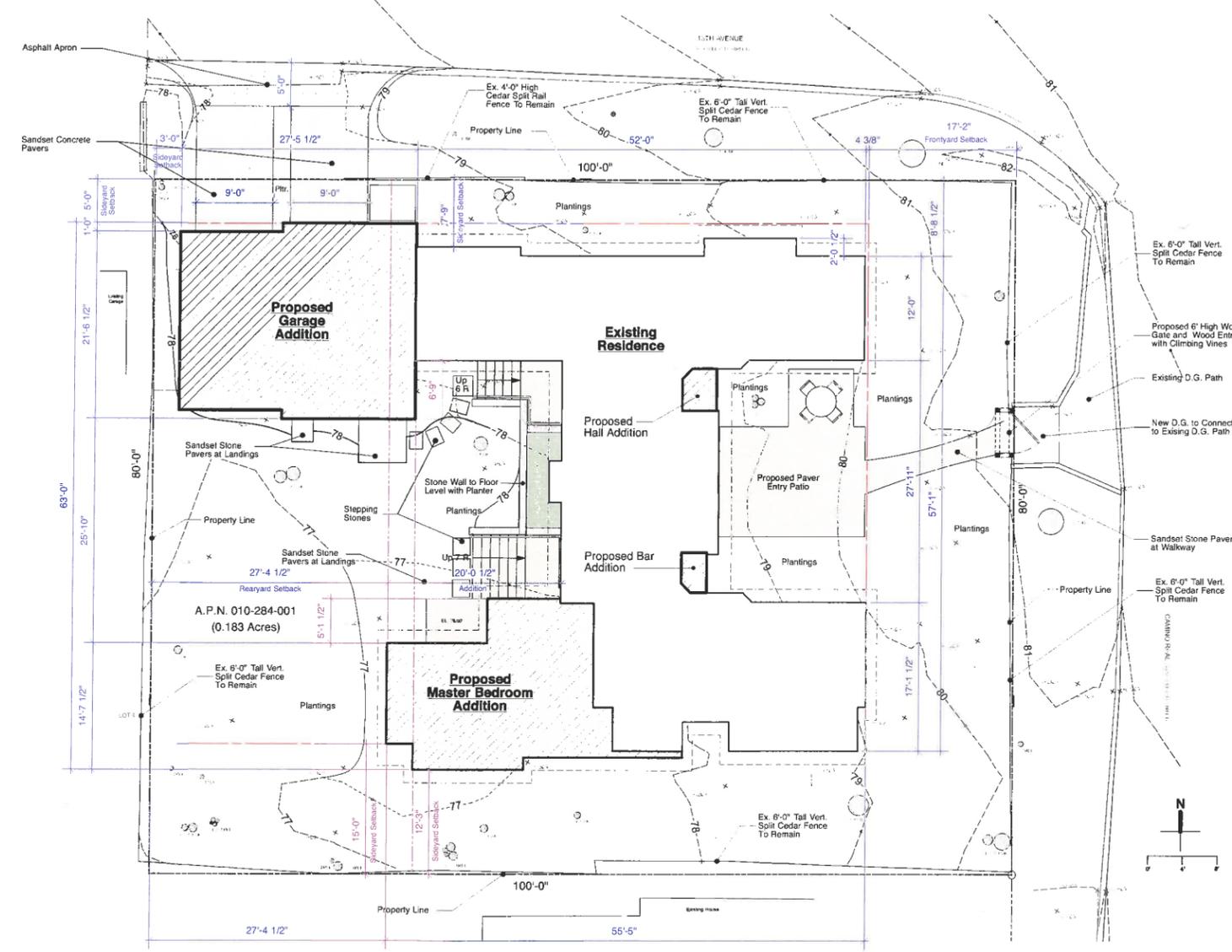


**Proposed Site Plan**

1/8" = 1'-0"



Sheet No.  
**1**  
103



**LEGEND**

- Proposed New Addition/Floor Area and Building Coverage
- Proposed Sandset Stone Patio, Landings, Stepping Stones and Walkways
- Proposed Concrete Pavers at Driveway
- Proposed Stone Clad Planter Walls
- Proposed Asphalt Driveway Apron
- Proposed Decomposed Granite (D.G.) Path
- Proposed Raised Planting Bed
- Areas of Existing Residence to be Removed
- Existing Contour To Remain
- Existing Contour After Grading
- Proposed Contour

Existing Lot Area = 8,000 sq. ft.

Existing Floor Area	
Main House	= 1,704 sq. ft.
Detached Garage	= 185 sq. ft.
<b>Total Existing Floor Area</b>	<b>= 1,889 sq. ft.</b>
Allowable Floor Area	= 2,960 sq. ft.
Proposed Floor Area	
Existing Total	= 1,889 sq. ft.
Removed Floor Area (185 sf Garage + 5 sf Hot W.H. Shed)	= -190 sq. ft.
New Attached Garage	= 523 sq. ft.
2nd Story Guest Room	= 285 sq. ft.
Master Bedroom Suite	= 409 sq. ft.
New Bar and Hall	= 31 sq. ft.
<b>Total Proposed Floor Area</b>	<b>= 2,947 sq. ft.</b>
<b>Total Net Added Floor Area</b>	<b>= 1,058 sq. ft.</b>

Existing Site Coverage	
Concrete Walkway	= 87 sq. ft.
Front Yard Brick Pavers	= 564 sq. ft.
Front Yard Rock Wall	= 15 sq. ft.
North Brick Paver Walkway	= 109 sq. ft.
North Wood Deck Steps	= 17 sq. ft.
North Gate	= 4 sq. ft.
Back Yard Pavers and Driveway	= 210 sq. ft.
Back Yard Step and Deck	= 66 sq. ft.
<b>Total Existing Site Coverage</b>	<b>= 1,072 sq. ft.</b>
Allowable Site Coverage (2,960 sf x 0.22)	= 651 sq. ft. + Max. 4% Driveway Bonus

Proposed Site Coverage	
Sandset Conc. Paver Driveway	= 69 sq. ft.
Front Yard Sand Set Stone Pavers	= 321 sq. ft.
Back Yard Stone Stepping Stones	= 63 sq. ft.
North Back Yard Stone Stairs	= 67 sq. ft.
Back Yard South Stone Stairs	= 83 sq. ft.
Stone Planter Wall	= 10 sq. ft.
Master Bedroom Stone Landing	= 36 sq. ft.
<b>Total Proposed Base Site Coverage</b>	<b>= 649 sq. ft.</b>
Sand Set Conc. Paver 9' Wide x 6' Driveway Bonus	= 54 sq. ft.
<b>Total Proposed Site Coverage</b>	<b>= 703 sq. ft.</b>
<b>Reduction of Site Coverage</b>	<b>= -369 sq. ft.</b>
<b>No Trees to Be Removed</b>	

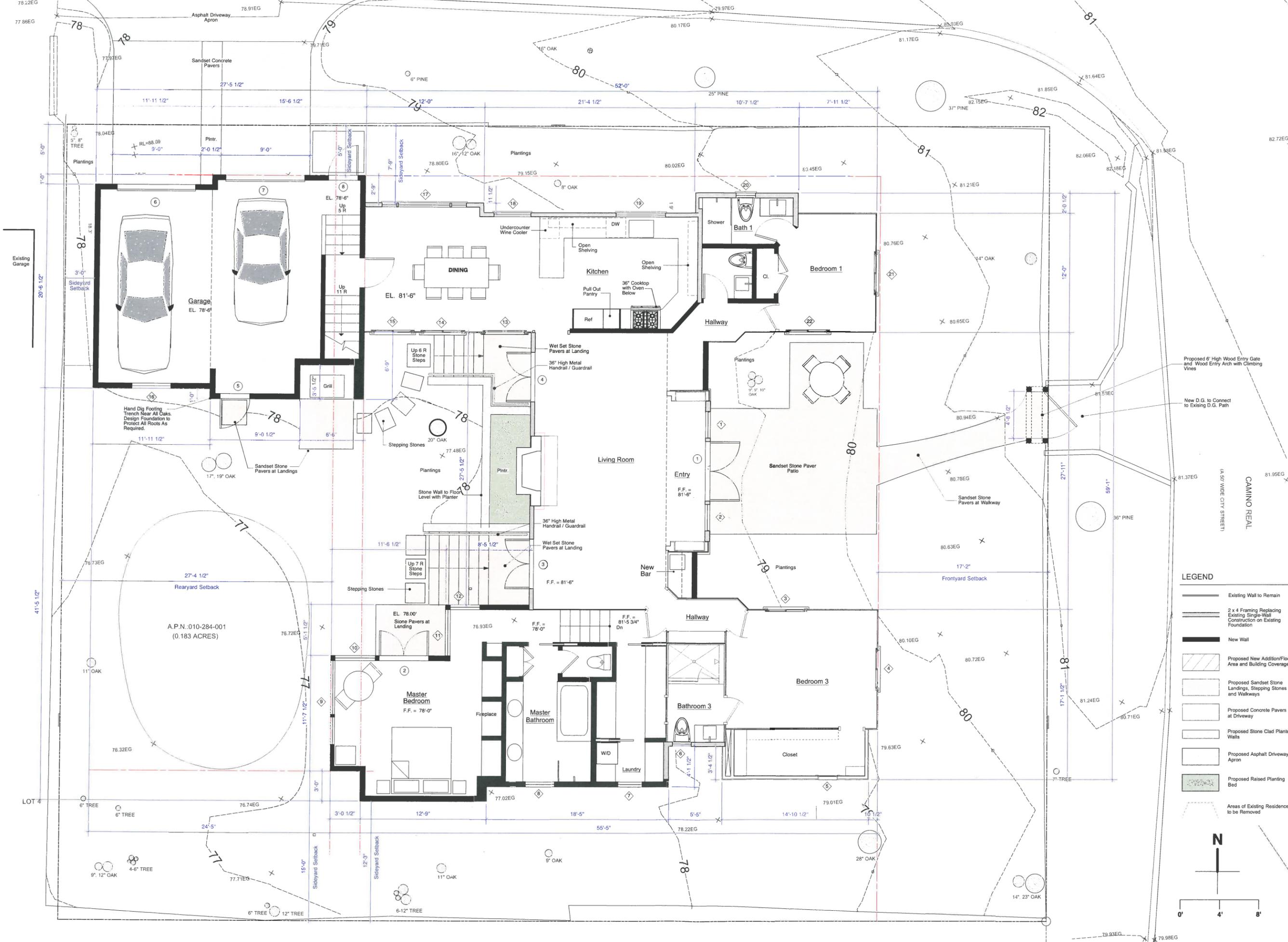
**Proposed Description**  
Remodel and Addition of Existing Single-Family Dwelling in the R-1 Zoning District. This includes a 2nd story guest room addition with deck, new attached two-car garage, Master Bedroom Suite Addition and Kitchen and Bathroom Remodel. Reduction of Site Coverage to meet Code Requirements with Addition of New Stone steps and landings in Back Yard and New Stone, Sand-set Paver Entry Patio and Walk.

**RECEIVED**

**DEC 29 2017**

City of Carmel-by-the-Sea  
Planning & Building Dept





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Owners:  
 Hunter and Betsy Nelson  
 9 Greenway Plaza, Suite 2475  
 Houston, TX 77046  
 (713) 249-7211

**Nelson Residence  
 Remodel**  
 Camino Real and 13th Avenue  
 Carmel-by-the-Sea, California  
 APN: 010-284-001

Job No.

Date:  
 December 26, 2017

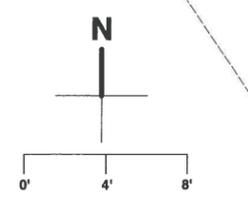
**Proposed  
 First Level  
 Plan**

1/4" = 1'-0"

Sheet No.

**3**  
 105

- LEGEND**
- Existing Wall to Remain
  - 2 x 4 Framing Replacing Existing Single-Wall Construction on Existing Foundation
  - New Wall
  - Proposed New Addition/Floor Area and Building Coverage
  - Proposed Sandset Stone Landings, Stepping Stones and Walkways
  - Proposed Concrete Pavers at Driveway
  - Proposed Stone Clad Planter Walls
  - Proposed Asphalt Driveway Apron
  - Proposed Raised Planting Bed
  - Areas of Existing Residence to be Removed



CAMINO REAL  
 (A 50' WIDE CITY STREET)  
 81.37EG  
 81.95EG

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9 Greenway Plaza, Suite 2475  
Houston, TX 77046  
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**Nelson Residence  
Remodel**  
Camino Real and 13th Avenue  
Carmel-by-the-Sea, California  
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Job No.

Date:  
December 26, 2017

**Second Floor  
Plan / First Floor  
Roof Plan  
Study No. 3b**

1/4" = 1'-0"

Sheet No.

**4**

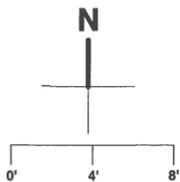
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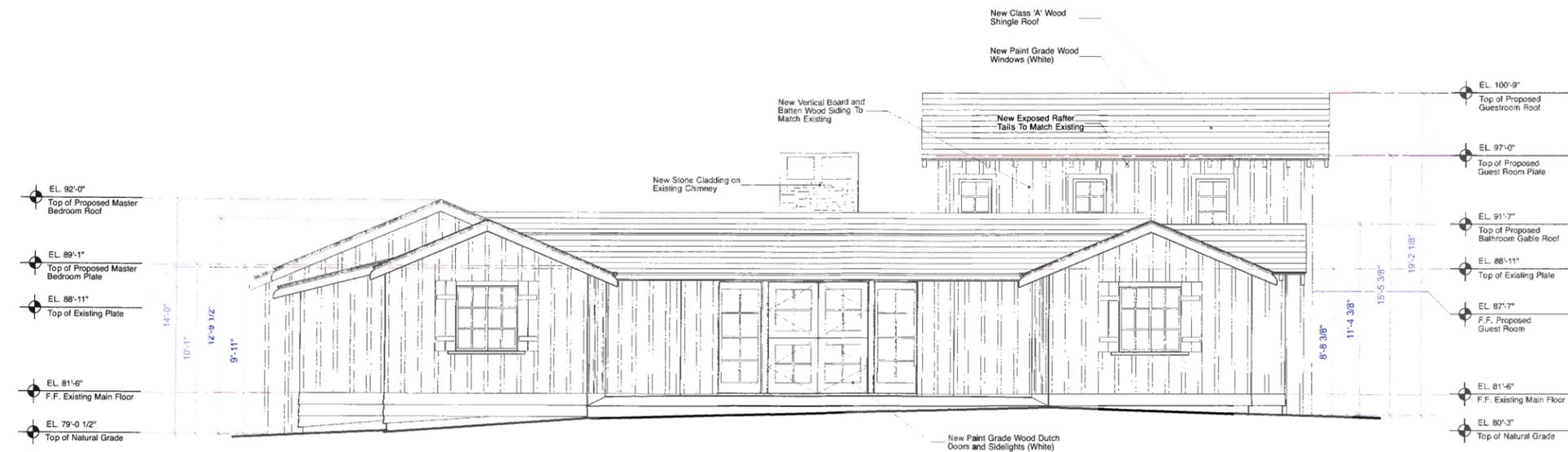


**Second Level Roof Plan**

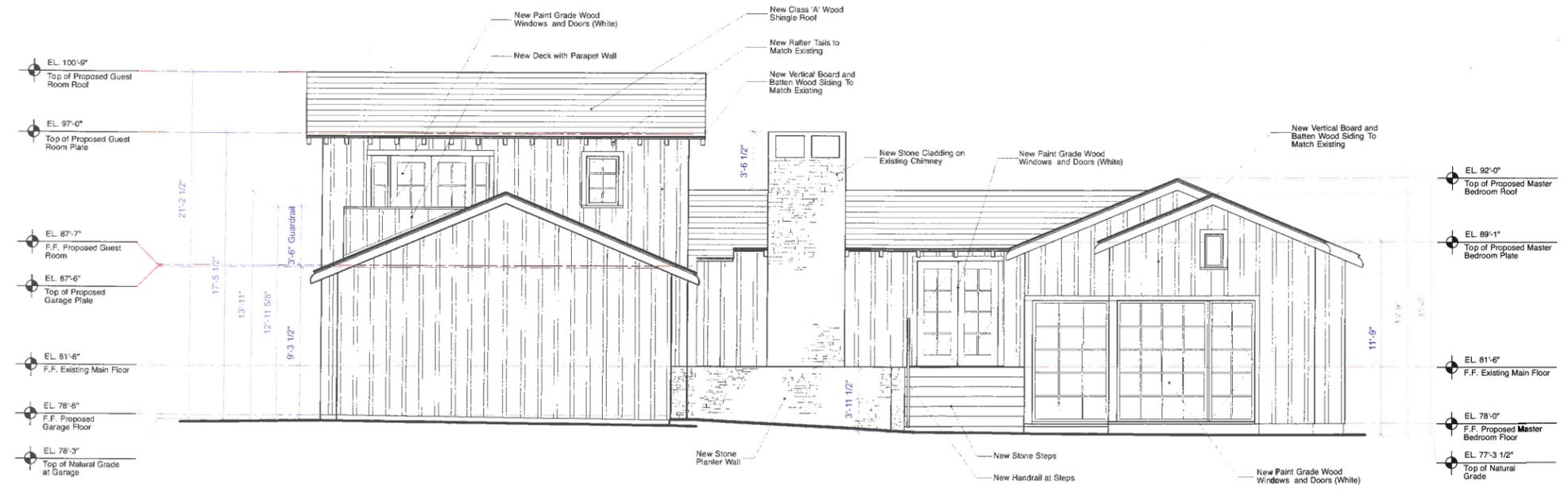
**Second Level Plan  
and First Floor Roof Plan**

**LEGEND**  
 - - - Existing Wall to Remain  
 - - - 2 x 4 Framing Replacing Existing Single-Wall Construction on Existing Foundation  
 = = = New Wall

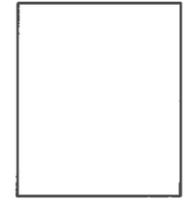




**Proposed East Elevation**



**Proposed West Elevation**



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Hunter and Betsy Nelson  
9 Greenway Plaza, Suite 2475  
Houston, TX 77046  
(713) 249-7211

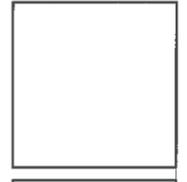
**Nelson Residence Remodel**  
Camino Real and 13th Avenue  
Carmel-by-the-Sea, California  
APN: 010-284-001

Job No.

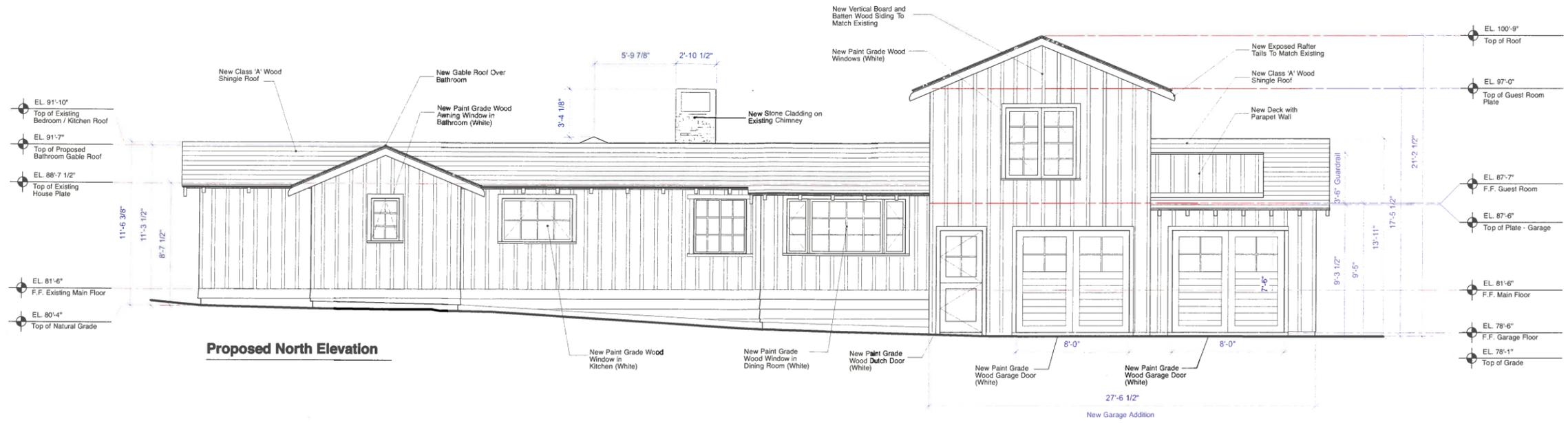
Date:  
December 26, 2017

**Proposed East and West Elevations**

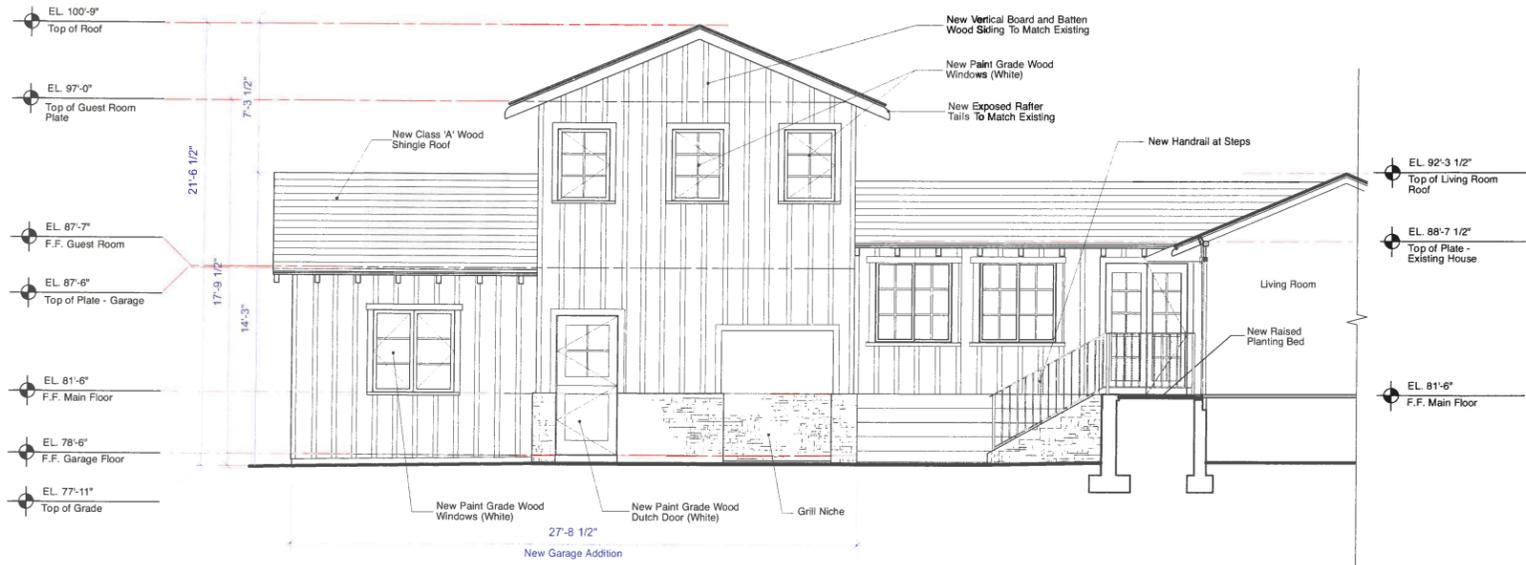
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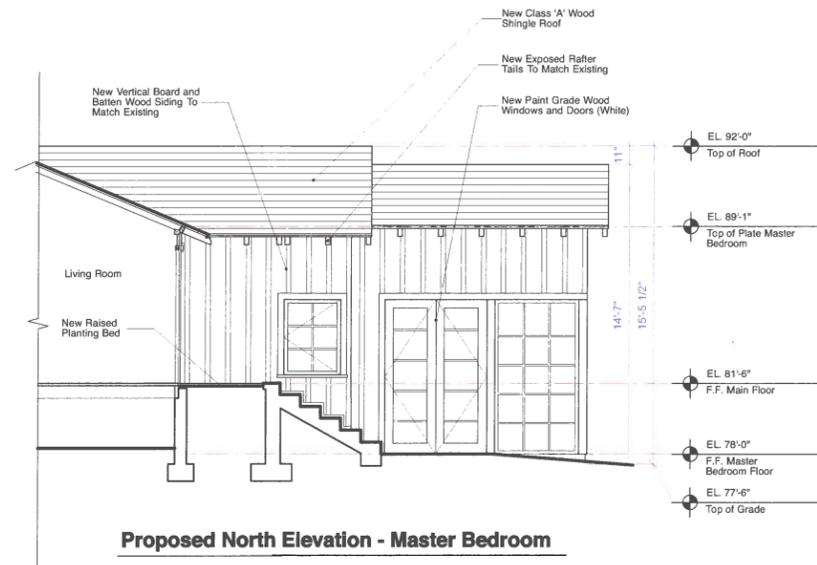
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**5**



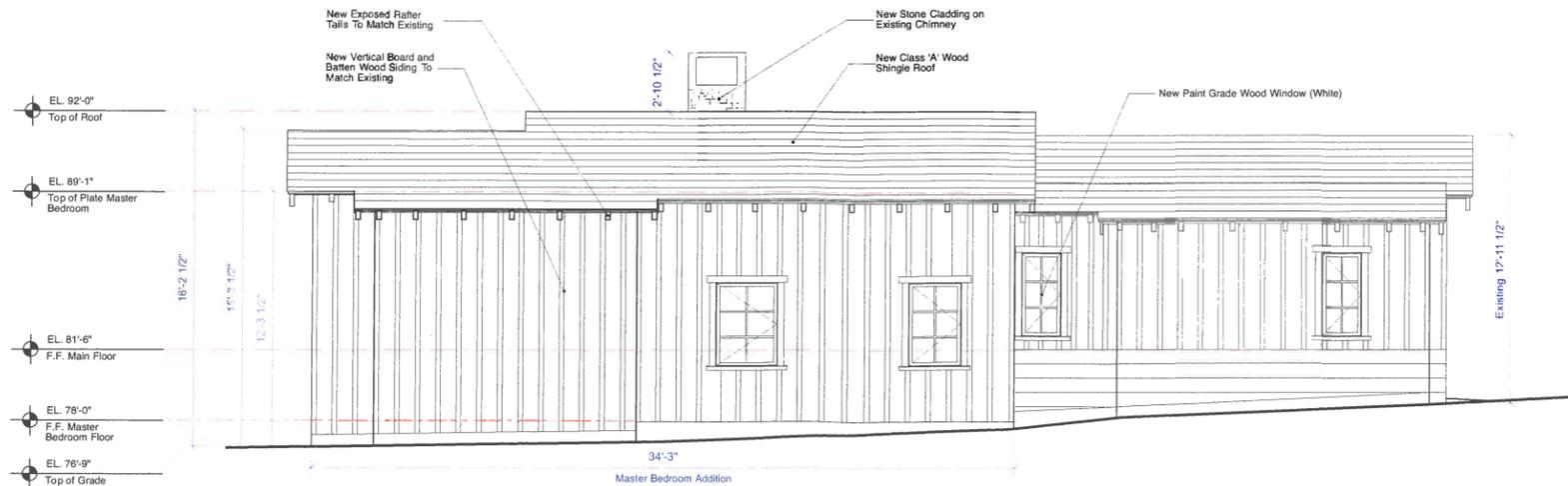
**Proposed North Elevation**



**Proposed South Elevation - Back Yard Terrace**



**Proposed North Elevation - Master Bedroom**



**Proposed South Elevation**

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Owner:  
 Mike and Margaret Ong  
 25515 Hatton Road  
 Carmel, CA 93923  
 831-250-7107

**Nelson Residence  
 Remodel**  
 Camino Real and 13th Avenue  
 Carmel-by-the-Sea, California  
 APN: 010-284-001

Job No.

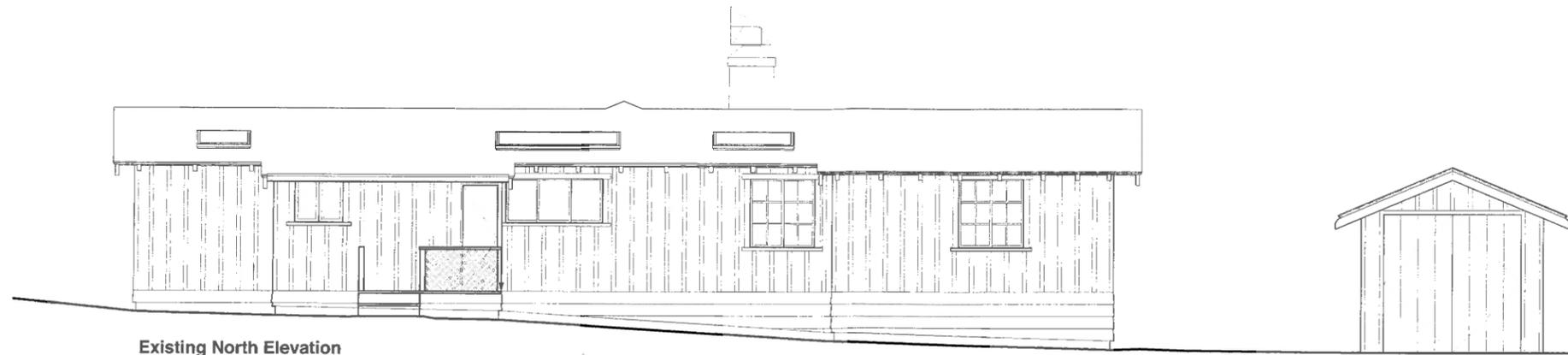
Date:  
 December 26, 2017

**Proposed  
 Exterior  
 Elevations 2**

1/4" = 1'-0"

Sheet No.

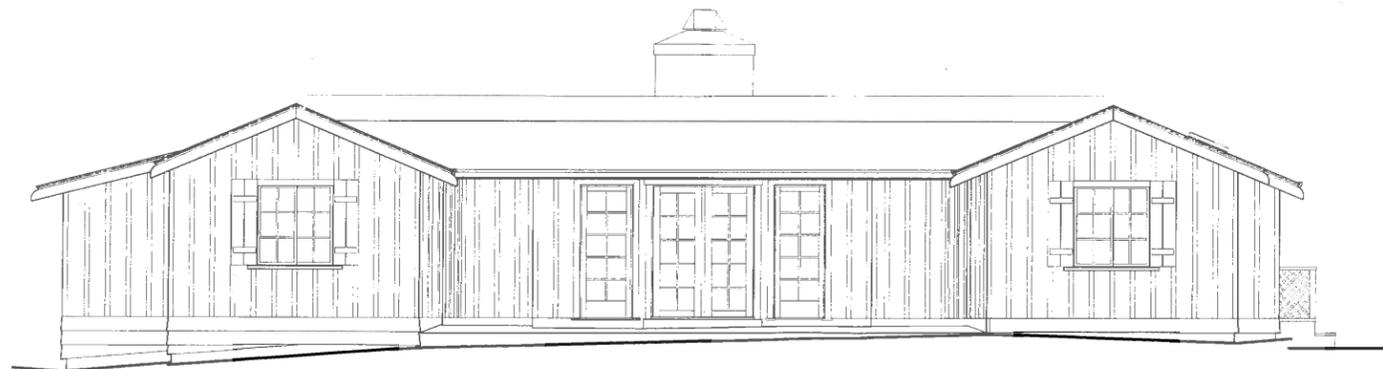
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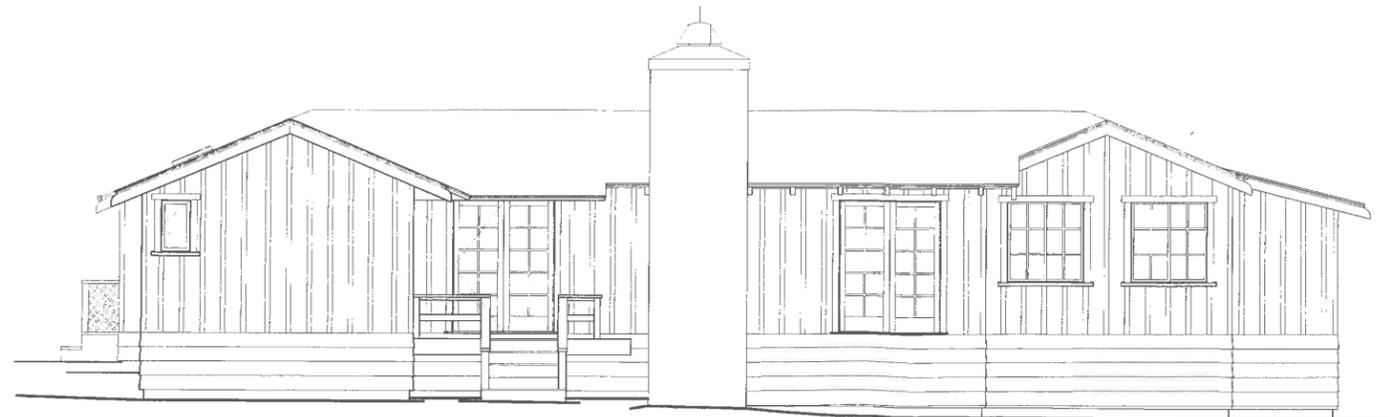
Existing North Elevation



Existing South Elevation



Existing East Elevation



Existing West Elevation

**D**  
**A**

**DYAR**  
ARCHITECTURE

P.O. BOX 4708  
CARMEL, CALIFORNIA 93921  
P: 831.913.5629  
F: 831.309.9989  
Email: info@dyararchitecture.com

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Compensation To The Architect.

Owners:  
Hunter and Betsy Nelson  
9 Greenway Plaza, Suite 2475  
Houston, TX 77046  
(713) 249-7211

**Nelson Residence  
Remodel**  
Carmelo Road and 13th Avenue  
Carmel-by-the-Sea, California  
APN: 010-284-001

Date:  
November 9, 2017

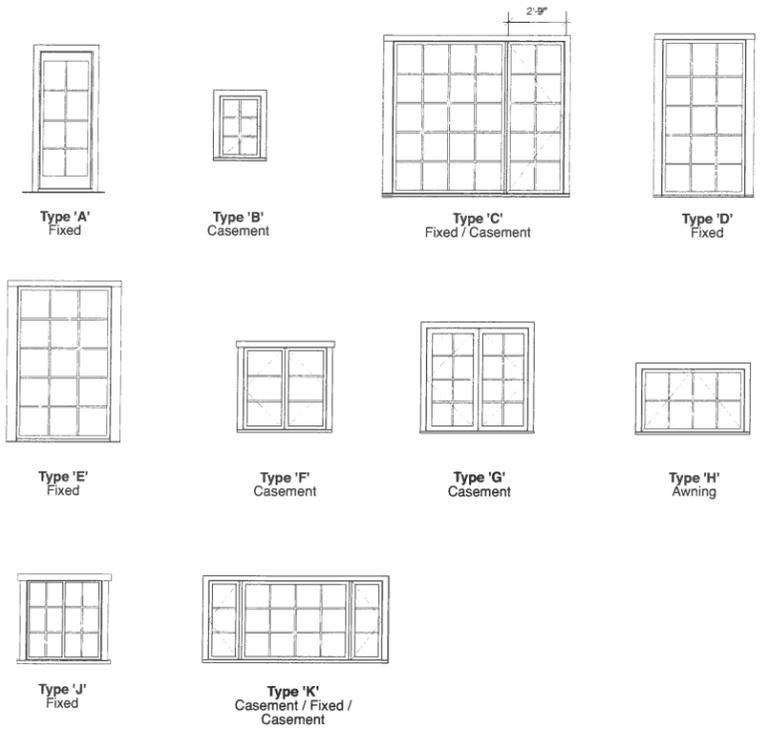
**Existing  
Exterior  
Elevations**

1/4" = 1'-0"

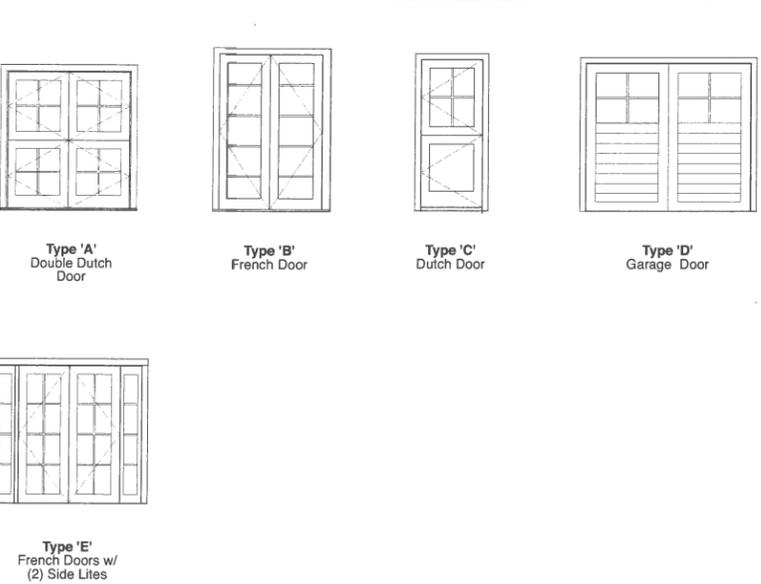
Sheet No.

**7**

**Window Types**



**Door Types**



**Window Schedule**

Window No.	Location	Width	Height	Glass Thickness	Type	Operable	Glass Type	Frame Material	Manufacturer	Remarks
1	Entry	2'-6"	6'-8"	3/4"	A	O	Insulated, Tempered	Paint Grade Wood		Fixed Sidelight
2	Entry	2'-6"	6'-8"	3/4"	A	O	Insulated, Tempered	Paint Grade Wood		Fixed Sidelight
3	Bedroom 3									Existing to Remain
4	Bedroom 3									Existing to Remain
5	Bedroom 3									Existing to Remain
6	Bathroom 3	1'-10"	4'-0"	3/4"	B	X	Insulated	Paint Grade Wood		Casement
7	Laundry	2'-6"	4'-0"	3/4"	B	X	Insulated	Paint Grade Wood		Casement
8	Master Bathroom	3'-0"	4'-0"	3/4"	B	X	Insulated	Paint Grade Wood		Awning
9	Master Bedroom	8'-5"	7'-5"	3/4"	C	OX	Insulated, Tempered	Paint Grade Wood		Fixed / Casement
10	Master Bedroom	4'-0"	7'-5"	3/4"	D	O	Insulated, Tempered	Paint Grade Wood		Fixed
11	Master Bedroom	4'-7"	7'-5"	3/4"	E	O	Insulated, Tempered	Paint Grade Wood		Fixed
12	Master Bedroom	2'-10"	3'-8"	3/4"	B	X	Insulated	Paint Grade Wood		Casement
13	Dining Room									Existing to Remain
14	Dining Room									Existing to Remain
15	Dining Room									Existing to Remain
16	Garage	4'-0"	4'-0"	3/4"	F	X	Insulated	Paint Grade Wood		Casement
17	Dining	8'-6"	4'-3"	3/4"	K	XOX	Tempered, Insulated	Paint Grade Wood		Casmt. / Fixed / Casmt.
18	Dining	3'-9"	1'-0"	3/4"	J	O	Tempered, Insulated	Paint Grade Wood		Fixed
19	Kitchen	5'-0"	3'-8"	3/4"	H	X	Tempered, Insulated	Paint Grade Wood		Casement, Crank Oper.
20	Bathroom 1	2'-0"	3'-8"	3/4"	B	X	Tempered, Insulated	Paint Grade Wood		Awning
21	Bedroom 1									Existing to Remain
22	Bedroom 1									Existing to Remain
23	Stair Hall	2'-0"	3'-0"	3/4"	B	O	Insulated	Paint Grade Wood		Fixed
24	Stair Hall	2'-0"	3'-0"	3/4"	B	O	Insulated	Paint Grade Wood		Fixed
25	Stair Hall	2'-0"	3'-0"	3/4"	B	O	Insulated	Paint Grade Wood		Fixed
26	Stair Hall	2'-6"	3'-6"	3/4"	B	X	Insulated	Paint Grade Wood		Casement
27	Stair Hall	2'-6"	3'-6"	3/4"	B	X	Insulated	Paint Grade Wood		Casement
28	Guest Bathroom	2'-6"	3'-6"	3/4"	B	X	Insulated	Paint Grade Wood		Casement
29	Guest Bathroom	2'-0"	3'-0"	3/4"	B	X	Insulated	Paint Grade Wood		Casement
30	Guest Bedroom	5'-0"	5'-0"	3/4"	G	XX	Insulated	Paint Grade Wood		Casement

**Door Schedule**

Door No.	Location	Width	Height	Thickness	Type	Door Material	Glazing Type	Frame Material	Manufacturer	Remarks
1	Entry	6'-0"	6'-8"	1 3/4"	A	Paint-Grade Wood	3/4" Tempered Insulated Glass	Paint-Grade Wood		Double Dutch Door
2	Master Bedroom	5'-0"	7'-5"	1 3/4"	B	Paint-Grade Wood	3/4" Tempered Insulated Glass	Paint-Grade Wood		French Doors
3	Living Room	5'-0"	6'-8"	1 3/4"	B	Paint-Grade Wood	3/4" Tempered Insulated Glass	Paint-Grade Wood		French Doors
4	Living Room	5'-0"	6'-8"	1 3/4"	B	Paint-Grade Wood	3/4" Tempered Insulated Glass	Paint-Grade Wood		French Doors
5	Garage	3'-0"	6'-8"	1 3/4"	C	Paint-Grade Wood	3/4" Tempered Insulated Glass	Paint-Grade Wood		Dutch Door
6	Garage (Vehicle)	8'-0"	7'-6"	1 3/4"	D	Paint-Grade Wood	3/4" Tempered Insulated Glass	Paint-Grade Wood		Retractable w/ Remote Control
7	Garage (Vehicle)	8'-0"	7'-6"	1 3/4"	D	Paint-Grade Wood	3/4" Tempered Insulated Glass	Paint-Grade Wood		Retractable w/ Remote Control
8	Garage	3'-0"	7'-0"	1 3/4"	C	Paint-Grade Wood	3/4" Tempered Insulated Glass	Paint-Grade Wood		Dutch Door
9	Guest Room	7'-3"	6'-8"	1 3/4"	E	Paint-Grade Wood	3/4" Tempered Insulated Glass	Paint-Grade Wood		French Doors w/ 12" Wide Side Lites

**D  
A**  
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(713) 249-7211

**Nelson Residence Remodel**  
Camino Real and 13th Avenue  
Carmel-by-the-Sea, California  
APN: 010-284-001

Date:  
November 9, 2017

**Door and Window Schedules**

1/4" = 1'-0"

Sheet No.

**8**

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December 26, 2017

**Existing  
and Proposed  
Camino Real  
Street  
Elevations**

1/8" = 1'-0"



Sheet No.  
**9**



**Existing Camino Real Street Elevation**  
Scale: 1/8"=1'-0"



**Proposed Camino Real Street Elevation**  
Scale: 1/8"=1'-0"



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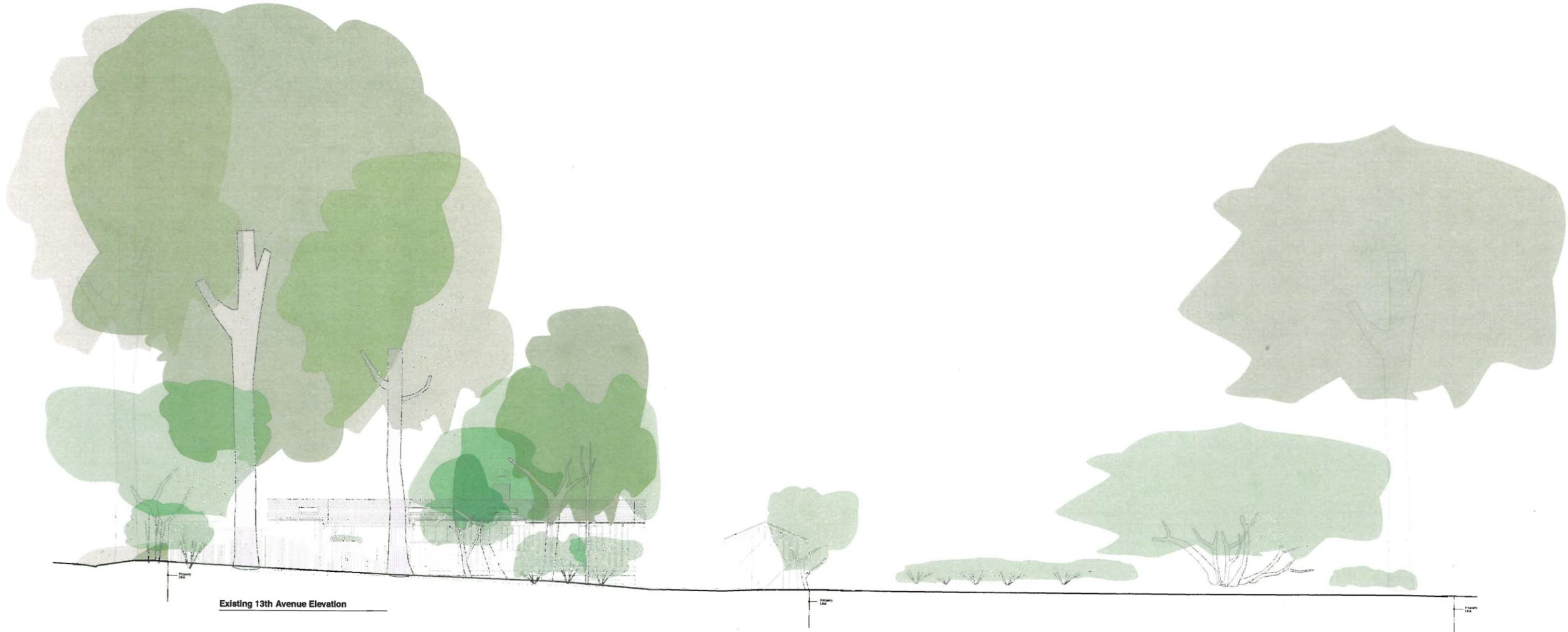
Date:  
December 26, 2017

**Existing  
and Proposed  
13th Avenue  
Elevations**

1/8" = 1'-0"

Sheet No.

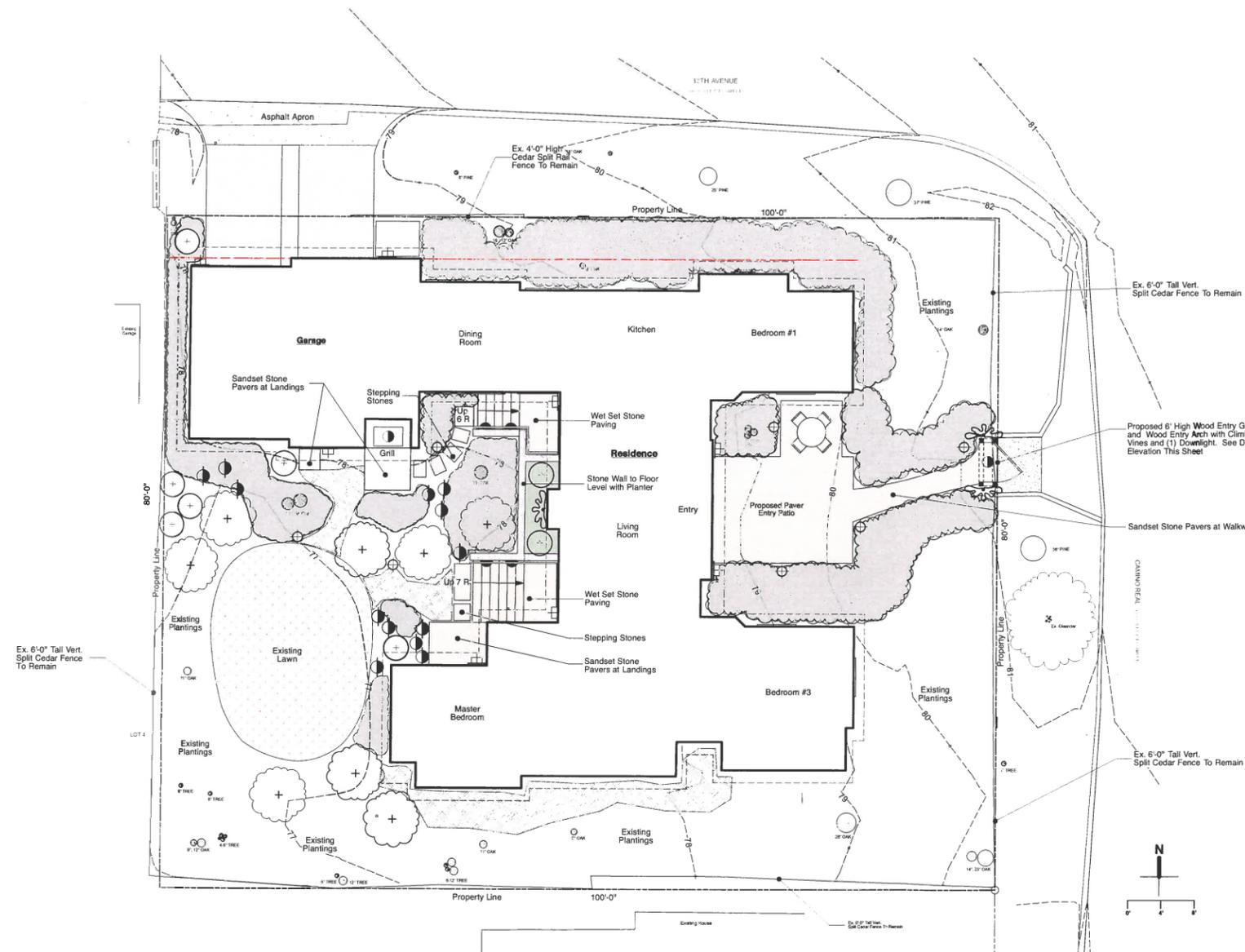
**10**



Existing 13th Avenue Elevation



Proposed 13th Avenue Elevation



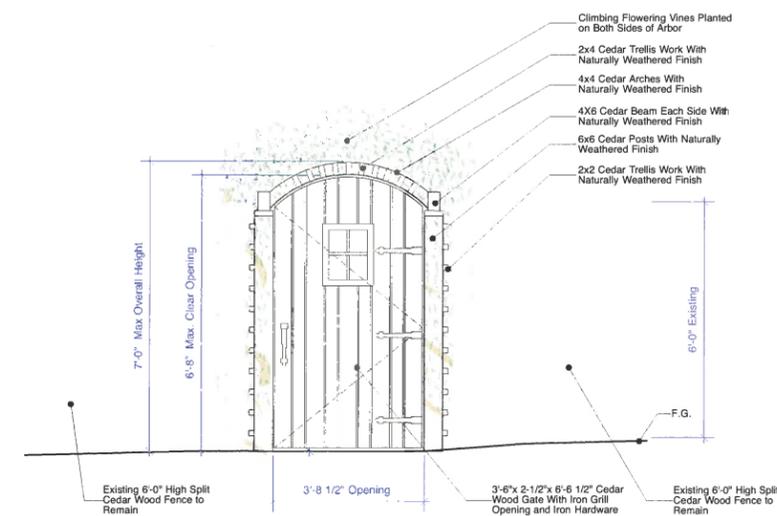
**Proposed East Elevation**

Scale: 1/8" = 1'-0"

LANDSCAPE LEGEND	
	Proposed Shredded Bark Mulch Pathway
	Proposed Sandset Stone Landings, Stepping Stones and Walkways
	Proposed Concrete Pavers at Driveway
	Proposed Stone Clad Planter Walls
	Proposed Decomposed Granite (D.G.) Path
	Proposed Raised Planting Bed

LIGHTING LEGEND	
	'Fix Luminaire GN' Copper LED Path Light (25 Watt Max. and Dark Sky Compliant)
	'Fix Luminaire MM' Copper LED Step Light (25 Watt Max. and Dark Sky Compliant)
	'Fix Luminaire VL' Copper LED Down Light (25 Watt Max. and Dark Sky Compliant)
	Copper Wall Sconce LED Down Light (25 Watt Max. and Dark Sky Compliant)

PLANT LEGEND		
SYMBOL	BOTANIC NAME	COMMON NAME
<b>SHRUBS</b>		
	Ceanothus griseus horizontalis 'Yankee Point'	Yankee Point Ceanothus
	Hydrangea Quercifolia	Oakleaf Hydrangea
<b>PERENNIALS</b>		
	Polystichum munilum	Sword Fern
	Additional Woodland Perennials by Owner	
<b>VINES</b>		
	Clematis Sp. (Species per Owner)	Clematis Vine



**Proposed Wood Garden Entry Gate and Arbor Elevation**

Scale: 1/2" = 1'-0"

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Carmel-by-the-Sea, California  
APN: 010-284-001

Job No.

Date:  
December 26, 2107

**Landscape  
and Lighting  
Plan**

As Shown

Sheet No.

**11**

FXLuminaire

Incandescent Path Lights

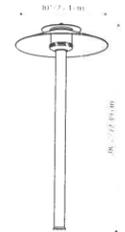


Make a statement with the GN, the companion fixture to the DM. The GN has the same elegant styling of the DM, but it's bigger and bolder. With a diameter of 10", this oversized path light is sized right for large scale spaces. This geometrically perfect design is best used in floral color palettes to bring the nighttime garden to life with its warm symmetrical glow pool of light.

**GN: Path Light**

**Perfection in Copper**  
Milled from solid copper, the GN is engineered to make a long term contribution to any fine project. Compare FX copper path lights with any other, and you will find a dramatic difference in quality of materials, precision of fit and consistency of finish.

Over time, copper produces a lovely patina with a full spectrum of earth tones to complement its natural surroundings.



Learn more about FX Luminaire path lights. Visit: [fxl.com](http://fxl.com)

FXLuminaire

Incandescent Wall Lights

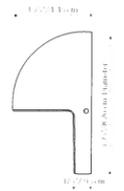


Specify the surface mounted MM when an inorganic mount is not practical. The MM fully demonstrates the micro scale of 12V halogen lens technology. The unusual parabolic reflector increases lighting efficiency while tempered glass driver optics soften the beam spread transition.

**MM: Wall Light**

**Remodel with Ease**  
The MM is a great choice for remodel projects where integral sleeving of wall lights is not feasible. A single 1/4" hole (easy to waterseal) ties the MM to the 1/2" gauge mainline.

The MM can be post mounted on deck railings to illuminate planters. This brings the nighttime deck garden to life by accenting the color and throwing shadows on the deck surface.



Learn more about FX Luminaire wall lights. Visit: [fxl.com](http://fxl.com)

FXLuminaire

Incandescent Down Lights



When a moonlighting effect is desired, specify the VL. This micro down light actually hangs from the host tree by a pinch, requiring no screws or permanent hardware. A small brass hook is also included for beam mounted applications. Milled from heavy copper and solid brass hardware, the VL incorporates a long life halogen lamp with an integral frosted lens. An elegant moonlight effect is produced when an evening breeze gently swings the VL, making large shadow patterns visible on the ground below.

**VL: Down Light**

**The Ease of Light**  
Small scale plants can become the focal point with the VL's micro moonlighting effect. Over time, the copper will produce a unique patina, allowing it to blend into the landscaping.



Learn more about FX Luminaire down lights. Visit: [fxl.com](http://fxl.com)



STONE WALL / CHIMNEY COLOR AND PATTERN



STONE PAVER



SAND-SET DRIVEWAY PAVER

Pavestone: Vintage (4 piece random Pattern).  
Color: Sierra Blend

D  
A

DYAR  
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Nelson Residence  
Remodel  
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Material Sheet  
and Exterior  
Lighting

Sheet No.

12



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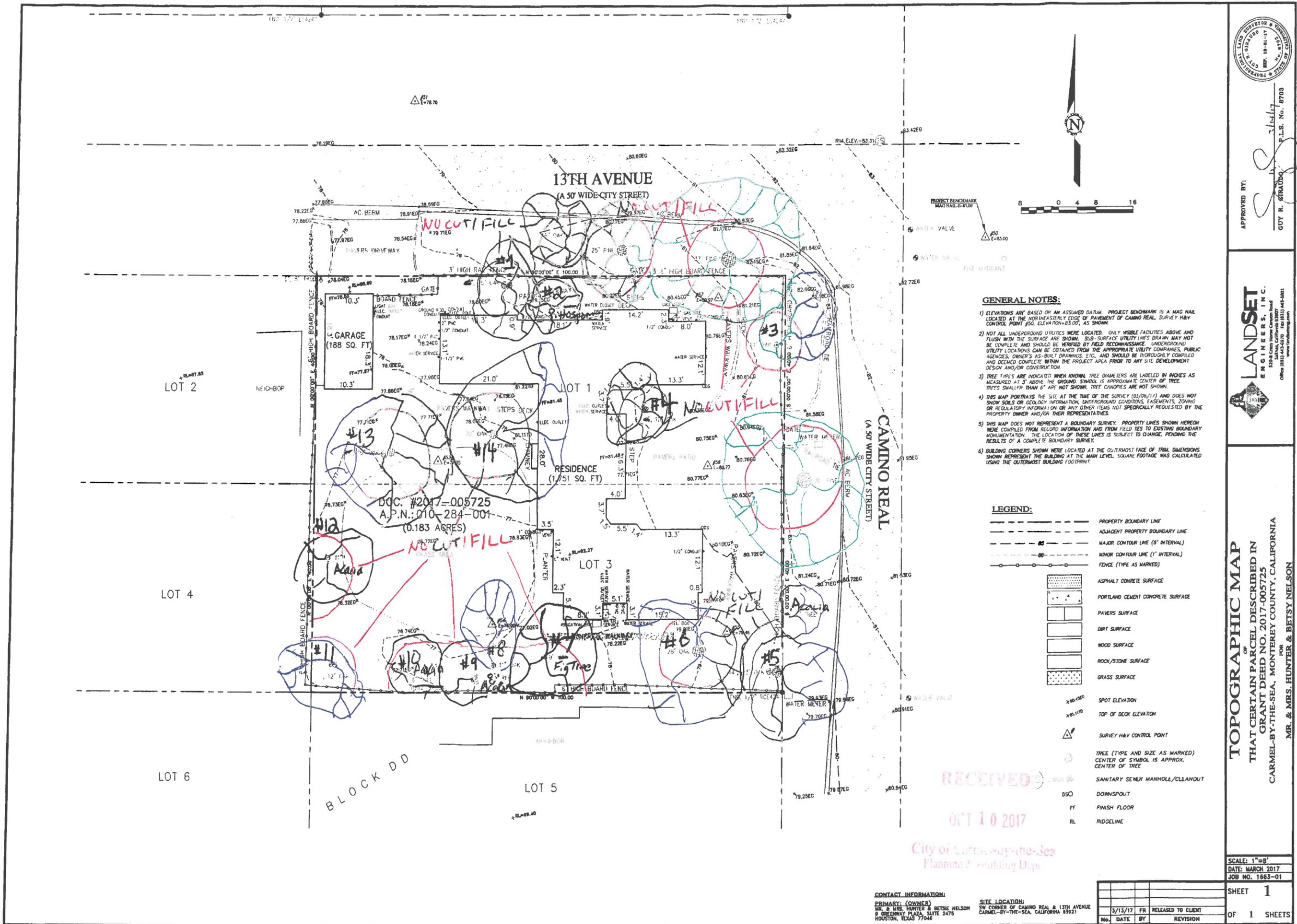
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**Preliminary Site Assessment Survey**

Not To Scale

Sheet No.

**13**



PRELIMINARY SITE ASSESSMENT REPORT

Block: DP Lot: 1 and 3
Date: October 17, 2017 Planner: Matthew Sundt Forester: Matt Feishhane

Property Owner: Hunter Sullivan
Street Location: SW corner of Camino Real and 13th Avenue

Purpose: The information contained in this Preliminary Site Assessment is meant to provide input to the applicant on potential project issues prior to project submittal.

- Location
Zoning: Single-Family Residential
Coastal Commission Appeal Jurisdiction (Y or N): No
Very High Fire Hazard Severity Zone (Y or N): No

Street and Neighborhood Character

The residences in the area represent an eclectic mix of architectural styles with varying roof types and exterior surfaces. Existing residences along the west and east sides of Camino Real near the property feature a variety of design styles (contemporary, cottage, craftsman, etc.) that include wood shingle, board and batten, stone, and stucco siding, hipped and gabled roofs, composition and wood shingled roofs, and driveways of asphalt and pavers.

The neighborhood is also characterized by upper and lower canopy trees. This lot contains a total of 14 trees to include nine Coast live oaks, one Pittosporum, one fig tree, and three Acacias. As there are numerous trees on the property the City Forester does not recommend planting additional trees.

According to CMC 17.48.070, "Removal of significant trees to facilitate construction or development is prohibited unless one of the two following findings is met:
1. That removal of the tree is required to protect public health or safety; or
2. That the following four conditions exist:
a. The existing site is vacant or is developed to an extent less than one-third of the base floor area allowed by the zoning applicable to the site; and
b. The available land area of the site not occupied by significant trees (including land within six feet of the trunk of significant trees) does not adequately and practically provide space for development of at least one-third of the base floor area allowed by the zoning for the site; and

c. The issuance of a variance for development in one or more setbacks has been considered and would not provide a remedy or would be inappropriate due to a significant overriding inconsistency with another policy or ordinance of the LCP, and
d. Failure to authorize removal of the tree(s) would deprive the owner of all reasonable economic use of the property. (Ord. 2004-02 § 1, 2004; Ord. 2004-01 § 1, 2004).

Site Conditions

- General appearance: The parcel is made up of two lots set on the original subdivision alignment and not resubdivided. There is an existing single-story, wood-framed home made with board and batten and a ship lap skirt below the floor plate. The front of the residence faces Camino Real and has a red brick terrace flanked by the two wings of the residence. The north elevation of the residence fronts 13th Avenue. A detached 188 sq.ft. garage is on the far northwest corner. A short driveway exists at this location. There is an expansive backyard on the west side of the property that is hemmed in by various tree species on the south and west boundary. The property is surrounded mostly by a tight-set paling fence, but there is also a short distance of split-rail fencing on the north boundary. There is a small deck off the west elevation facing the back yard. The adjacent residence to the south is two-story and has a deck that overlooks the subject property. To the west are two residences that flank the subject property - one residence (on the SW corner of Carmelo and 13th) is one-story and the other (Carmelo, two SW of 13th) is one-story.
Topography and drainage features: The parcel is level and has an approximately 5-foot drop towards the west.

Forest/Trees

The site contains 14 trees. There are no requirements to plant additional trees.

\*See attached Forester's Report for more information.

Potential Neighbor Impacts

- Privacy concerns (outdoor living spaces): Since neighboring residences are located near the existing property lines development of this property shall avoid locating large windows facing directly across from neighboring windows or decks. In this regard, of concern would be the neighboring homes to the south and west that have second-stories. Existing vegetation on the south boundary of the subject property has mature trees that filter views between the subject property and the residences to the south and west. Regardless, the applicant should evaluate how any proposed addition on the project site will impact privacy or views for neighboring properties or exacerbate already existing privacy concerns. The applicant should also avoid locating any exterior lighting such that it would shine directly into neighboring windows or outdoor decks. The city requires that exterior lighting mounted to buildings be downcast lighting whereby light bulbs are recessed within the fixture. In order to determine specific privacy, light, or view impacts to both the subject and neighboring properties, the City encourages the applicant to work with the immediate neighbors when designing the project.
View Concerns: Staff did not identify any view opportunities since no scenic views are offered from the project site. Distant views to the Pacific Ocean to the west from the neighboring properties on the east

side of Camino Real or north side of 13th Avenue, if any, have not been assessed. It will be incumbent upon the neighbors to consider the proposed future plans on the subject property to determine if future plans may, or may not affect a view.

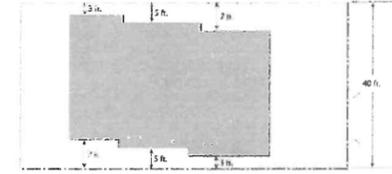
Historic Status

Is the property listed on the City's Inventory of Historic Resources? No (per Historic Preservation Consultant letter dated July 14, 2004 - copy attached).

Does the property require additional review? No, a Final Determination of Ineligibility was issued by the City on this property on October 17, 2017, and is good for an additional five years.

General Comments:

- Setbacks in the R-1 Single Family Residential Zoning District: 15 feet in the front yard, 3 feet in either side yard, and 15 feet in the rear yard for portions of the structure that are greater than 15 feet in height or 3 feet in the rear yard for portions of the structure that are less than 15 feet in height.
Additionally, setbacks in the side yard must meet the composite side yard setback requirement. According to CMC 17.10.030, "side yard setbacks may vary throughout the depth of the lot but shall not be less than 3 feet on either side or equal to less than 25% of the lot width on both sides." See the below figure.



- Site coverage includes areas where materials or structures that do not qualify as floor area cover the soil. Examples include, but are not limited to patios, walkways, driveways (the portion on the subject property), decks steps decomposed granite, gravel and hot tubs. The allowable site coverage depends upon the base floor area allowed for your site. This site is a 8,000-square-foot lot that is allowed a maximum of 2,960 square feet of floor area. The exterior site coverage is allowed to be 22% of the 2,960 square feet or 651 square feet. If 50% of the proposed site coverage is permeable, an additional amount of bonus site coverage is allowed equal to 4% of the total lot area or 971 square feet.

According to CMC 17.10.030.C.2, "Sites not in compliance with site coverage limits shall not be authorized to increase site coverage. Sites with excess coverage may add floor area consistent with subsection (D)(3) of this section, Exterior Volume, only when:

- a. The site complies with the R-1 district tree density provisions established in CMC 17.48.08(A) and all existing and new trees have sufficient space to protect the root zones and provide for new growth; and
b. Excess site coverage will be reduced at a rate equal to two times the amount of floor area added to the site, or to an amount that complies with the site coverage limits, whichever is less."

For instance, if 250 square feet will be added replacing an existing exterior paved area, an additional 250 square feet must also be removed for a total removal of 500 square feet.

- Parking Requirements: According to CMC 17.10.030(d), "On each site, a minimum of 200 square feet of base floor area and 2,200 cubic feet of exterior volume shall be reserved for each required parking space whether provided by means of a garage, carport or parking pad. Inability to provide on-site parking shall not authorize more floor area or exterior volume for other purposes in lieu of parking."
According to CMC 15.36.020.B, the lighting requirements for residences are the following:
1. All exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture.
2. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property.
3. No exterior lighting is permitted upon City property and may not be directed toward City property.
4. Flood-type lighting is prohibited at all times.

EXCEPTION: Flood-type lighting may be permitted with expressed written approval of the Planning Division and/or Building Official upon written request and used for the sole purpose of security and each fixture connected to a motion sensor. Each fixture shall be limited to 50 watts (incandescent equivalent; i.e., approximately 750 lumens) each. (Ord. 2013-07 § 1 (Exh. A), 2013; Ord. 99-04 (Exh. B), 1999).

Additionally, as part of the Planning Commission's review, the Commission requires that proposed lighting on projects be shielded and directed downward. This means that lantern style lights with clear or opaque glass are inappropriate proposals for exterior lighting. This is in order to comply with the City's Residential Design Guidelines which state the following:

"11.8 Preserve the low nighttime lighting character of the residential neighborhood

- Use lights only where needed for safety and at outdoor activity areas. Appropriate locations may include building entries, gates, terraces, walkways and patios. Lights should not be used to accent buildings or vegetation.
Use low lumen output bulbs. Floodlights and spotlights are inappropriate. Point lights downward to reduce glare and avoid "night pollution."
Locate and shield fixtures to avoid glare and excess lighting as seen from neighboring properties and from the street.
Focus a light downward to minimize glare. Avoid placing fixtures where glare would be visible to neighbors or the street."

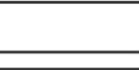
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Nelson Residence Remodel
Camino Real and 13th Avenue
Carmel-by-the-Sea, California
APN: 010-284-001



Date:
November 9, 2017



Preliminary Site Assessment Report

Not To Scale



Sheet No.

**Significant Tree Evaluation Worksheet**

Block: DD Lot(s): 1+3 APN: 010-284-001 Street Location: S/W corner Camino Real and 13th  
 Planner: Matthew Sundt Forester: Matt Feisthabel Property Owner: Hunter Sullivan  
 Recommended Tree Planting: No recommended tree planting

**Part One: Initial Screening:**

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

**A. Does the tree pose an above-normal potential risk to life and property?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
YES														
NO	X	X	X	X	X	X	X	X	X	X	X	X	X	X

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page four of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

**B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
Species	CO	OT	CO	CO	CO	CO	OT	CO	OT	OT	CO	OT	CO	CO
YES	X		X	X	X	X		X			X		X	X
NO		X					X		X	X		X		

MP - Monterey pine MC - Monterey cypress  
 BP - Bishop pine CR - Coast redwood  
 CO - Coast live oak CL - Catalina Ironwood  
 CS - California sycamore BL - Big leaf maple  
 OT - Other, Trees#2 Pittosporum, Tree #7 Fig, Trees#9, 10, 12 Acacias

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

**C. Does the tree meet the minimum size criteria for significance?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
YES	X		X	X	X	X		X			X	X	X	X
NO		X					X		X	X				

Diameter Height

Monterey pine, Monterey cypress, Bishop pine, Coast redwood	6 inches @ dbh	15 Feet
Coast live oak - single trunk tree	6 inches @ dbh	N/A
Coast live oak - cluster or multi-trunk tree measured as an average diameter of all the trunks that reach breast height	6 inches @ dbh	N/A
California sycamore, Big leaf maple, Catalina ironwood	10 inches @ dbh	25 Feet

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

**Part Two: Assessment For Tree Significance**

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

**D. What is the health and condition of the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
score	2	-	2	2	2	1	-	2	-	-	1	2	2	2

**0 points:** The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.

**1 point:** The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.

**2 points:** The tree appears healthy and in good condition.

**3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

**E. What is the overall form and structure of the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
score	2	-	2	2	2	2	-	1	-	-	2	1	2	2

**0 points:** Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.

**1 point:** The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.

**2 points:** The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.

**3 points:** The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each trunk/branch.

**F. What is the age and vigor of the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
score	2	-	2	2	2	1	-	2	-	-	1	1	2	2

**0 points:** The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.

**1 point:** The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.

**2 points:** The tree is young to middle age and shows normal vigor.

**3 points:** The tree is young to middle age and shows exceptional vigor.

**G. Are environmental conditions favorable to the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
score	2	-	2	1	2	2	-	1	-	-	1	2	2	2

**0 points:** The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.

**1 point:** The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.

**2 points:** The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

**Part Three: Final Assessment**

Please record the total points scored on pages two and three for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
Total Score	8	-	8	7	8	6	-	6	-	-	5	6	8	8

**A. Did all assessment categories in Part Two achieve a minimum score of 1-point?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
YES	X	-	X	X	X	X	-	X	-	-	X	X	X	X
NO														

**B. Are there any other factors that would disqualify a tree from a determination of significance? (Explain any 'yes' answer)**

No X Yes \_\_\_\_\_

Existing landscaping that would be good to keep:

**Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?**

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
SIGNIF	X		X	X	X	X		X					X	X
MOD SIGNIF											X	X		
NOT SIGNIF		X					X		X	X				



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Owners:  
 Hunter and Betsy Nelson  
 9 Greenway Plaza, Suite 2475  
 Houston, TX 77046  
 (713) 249-7211

**Nelson Residence Remodel**  
 Camino Real and 13th Avenue  
 Carmel-by-the-Sea, California  
 APN: 010-284-001

Date:  
 November 9, 2017

**Significant Tree Evaluation Worksheet**

Not To Scale

Sheet No



The construction of the home will require removal of 51 cubic yards of soil (“cut”) to accommodate the lower level (page 8 of the plan set shows the area of cut). The proposed cut will translate to approximately 6 to 7 one-way truck trips (based on 8 cubic yards per load).

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf	NA	1,800 sf <sup>1</sup>
Site Coverage	556 sf	NA	556 sf
Trees	3 Upper /1 Lower (recommended)	5 Monterey pine 7 Coast live Oak 8 Other species	N/A
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18’/24’	NA	Max. 1 <sup>st</sup> floor: 15’ Max. 2 <sup>nd</sup> floor: 20’
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12’/ 18’	NA	Max. 1 <sup>st</sup> floor: 10’ Max. 2 <sup>nd</sup> floor: 17’-6”
Setbacks	Minimum Required	Existing	Proposed
Front	10’	NA	16’ – 1” <sup>2</sup>
Composite Side Yard	10’ (25%)	NA	Min: 10”
Minimum Side Yard	3’	NA	Min. North Side: 5’ Min. South Side: 3’ – 3”
Rear	15’	NA	Min: 10’ – 11” First Floor Min: 16’ – 5” Second Floor

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass and scale related to the project. However, the Commission may provide input on other aspects of the design.

**Staff analysis**

**Forest Character:** Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

<sup>1</sup> This square footage is broken down above under *Background and Project Description*.

<sup>2</sup> On a corner lot the narrowest frontage facing a street constitutes the front of the property (CMC 17.06.030.N.1)

The City Forester has identified 20 trees on the property including seven Coast Live Oaks and five Monterey pines, both classified as significant trees (total of 12 significant trees). One six-inch oak is proposed to be removed. There are eight other species that are not classified as significant. These include Pittosporum, Eugenia, Black acacia, and one 19-inch Italian stone pine located near the southeast corner of the lot. All but one (the Italian stone pine) of the “insignificant” trees are proposed to be removed. A condition has been drafted that will require the Italian stone pine not be removed.

City code (CMC Section 17.34.070 - *Landscaping Standards for Residential Districts*) requires that upper and lower canopy trees be planted as a component of development projects, if needed. Because of the number of trees on the site the City Forester does not recommend that additional trees be planted. The project plans show that all remaining trees will be six feet from the proposed residence.

***Privacy & Views:*** Residential Design Guidelines 5.1 through 5.3 state, “*designs should preserve reasonable solar access to neighboring parcels*” and “*maintain privacy of indoor and outdoor spaces in a neighborhood*”, “*maintain view opportunities*, and “*Position a building to screen active areas of adjacent properties when feasible, locate windows and balconies such that they avoid overlooking active indoor and outdoor uses area of adjacent properties, and preserve significant trees that will help to screen views into adjacent properties.*”

Staff does not identify any view impacts, and ‘privacy’ issues related to the residence to the south are not determined significant because of the existing tree canopy on the south side of the property that filters the view between the second floor of the proposed new residence and the residence to the south.

To the north and east are First Avenue and Guadalupe Street, respectively, which are defacto privacy buffers. To the west there is no privacy issue as there are no windows nearest the west property boundary. Further enhancing privacy between properties to the west and south will be a six-foot tall wood fence. In staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines with regard to privacy and views and no special conditions area warranted.

***Building Mass & Scale:*** Residential Design Guidelines 7.0 Objectives include, “*maintain the massing and scale of building characteristic of Carmel, keep building scale in proportion to the area of the site, and encourage diversity in housing design reflecting the eclectic mix of styles that is*

*characteristic of Carmel.”* Design Guideline 7.7 recommends “presenting a one-story height to the street”

The neighborhood has a mix of one- and two-story residences. The proposed residence has both a one-story and two-story component with the two-story component on the west half of the residence that faces north to First Avenue. The proposed front entry is simple, with a stone veneer and arched doorway. Review of the plans indicate that the residence meets the plate and ridge height standards for both the one- and two-story elements. In staff’s opinion, the applicant has submitted a reasonable design that meets the objectives of Residential Design Guidelines.

**Building & Roof Form:** Residential Design Guidelines 8.1 through 8.5 state that “*building forms should be simple. Basic rectangles, L or U-shapes are typical*”, “*A form with a horizontal emphasis is preferred*”, “*Roof forms should be composed of just a few simple planes*”, “*Avoid complex roof forms that call attention to the design or add unnecessary detail*”, “*In general, moderately pitched roofs (4:12 to 6:12) are preferred*”. The Guidelines emphasize using “*restraint*” and “*simplicity*” in building forms, which should not be complicated, and roof lines, which should “*avoid complex forms.*”

This project achieves appropriate scale and form by use of one- and two-story elements with varied setbacks, altering exterior finishes, and placement of appurtenant features such as chimney and bay windows. The gable roof system incorporates 6:12 pitch, with five rooflines as seen from the west (First Avenue) and four rooflines as seen from the east (Guadalupe Street). In staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines.

**Site Coverage:** Per Municipal Code Section 17.10.030.C, site coverage shall be limited to a maximum of 22 percent of the base floor area allowed for the site. In addition, if at least 50 percent of all site coverage on the property is made of permeable or semi-permeable materials, an additional amount of site coverage of up to four percent of the site area may be allowed<sup>3</sup>. For this 4,000 square-foot lot the total amount of coverage allowed is 396 square feet with up to 556 square feet allowed if 50% of the site coverage is pervious. The project plans indicate there to be 556 square feet of site coverage. The project is consistent with the Municipal Code.

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<sup>3</sup> CMC 17.10.030.C.1.a, states the four percent increase to be allocated to the driveway but for a number of years Planning staff have been allowing the additional site coverage to be allocated elsewhere on the parcel.

**Skylights:** Residential Design Guidelines 9.13 and 9.14 states, *“When a skylight is to be used, it should blend with the overall building design and its visual impacts should be minimized”, “the skylight design is compatible with the architecture”, “the size of the skylight is appropriate to the lighting task”, “interior spaces have no access to exterior windows or such windows have limited access to light”, and “Skylights that will produce glare or light pollution visible to neighbors or the public should be mitigated”.*

The project includes three skylights, with one each at the garage, master bedroom closet on second floor, and one at the entry foyer. None of these face a public right-of-way and they do not appear to cause a visual impact vis-à-vis the immediate neighbors or the public. In staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines.

**Finish Details:** Design Guideline 9.5 encourages using natural materials such as wood in conjunction with stucco and Guideline 9.4 states, *“Architectural details should appear to be authentic, integral elements of the overall building design concept”*; specifically, *“details that appear to be applied as superficial elements should be avoided.”*

Finish details are not typically reviewed at the Concept stage; regardless, the Planning Commission can provide input at this time. The prominent details include the wood shingle roofing, a copper shed roof on the bay-window, round copper gutters and downspouts, Carmel stone entry, integral colored stucco, unclad wood windows, and redwood corbels and rafter tails. In staff’s opinion, the applicant’s proposed architectural details are authentic and integral elements of the design.

**Public ROW:** The City Right-of-Way (ROW) is free of any encroachments.

**Environmental Review:** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of one single-family residence in a residential zone, and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS:**

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Recommended/Draft Conditions
- Attachment D – Neighbor Correspondence
- Attachment E – Project Plans

**Attachment A – Site Photographs**

View of vacant parcel (view looking west)





View of existing residence to the south and residence to the west behind the paling fence – note there is no fence on the south boundary line to the left of the screen.

## Attachment B – Findings for Concept Acceptance

DS 18-009 (Scattini)

February 14, 2018

Page 1

<b>FINDINGS REQUIRED FOR DESIGN STUDY ACCEPTANCE (CMC 17.64.80 and LUP Policy P1-45)</b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees unless otherwise agreed upon by the City Forester.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

<p>9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.</p>	<p>✓</p>	
<p>10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.</p>	<p>✓</p>	
<p>11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.</p>	<p>✓</p>	
<p>12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.</p>	<p>✓</p>	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):**

<p>1. Local Coastal Program Consistency: The project conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.</p>	<p>✓</p>	
<p>2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.</p>	<p>✓</p>	

## Attachment C – Recommendations/Draft Conditions

DS 18-009 (Scattini)

February 14, 2018

Page 1

Recommendations/Draft Conditions		
No.		
1.	The Italian stone pine tree shall remain	



**COMMUNITY PLANNING & BUILDING DEPARTMENT  
CITY OF CARMEL-BY-THE-SEA**

**February 14, 2018**

**TO:** Chair LePage and Planning Commissioners  
**FROM:** Matthew Sundt, Contract Planner  
**SUBJECT:** Supplemental Materials for Item H.4 – DS 18-009 (Scattini)

---

Commissioners,

Please see attached correspondence from the neighbor to the north. This correspondence was made available to staff on Thursday, February 8.



Matthew Sundt &lt;msundt@ci.carmel.ca.us&gt;

---

**Scattini Residence**

---

georgina armstrong <georginaarmstrong@sbcglobal.net>  
Reply-To: georgina armstrong <georginaarmstrong@sbcglobal.net>  
To: "msundt@ci.carmel.ca.us" <msundt@ci.carmel.ca.us>

Thu, Feb 8, 2018 at 12:31 PM

Hi Matthew,

Confirming our conversation yesterday, I would like to forward the following comments on the building of the Scattini residence on the southwest corner of 1st Avenue at Guadalupe Street.

We like the architectural design of the home very much and think it will be very attractive as viewed from the street. We do have some concerns, however, that relate more to the impact the home will have in going forward. As you know, this lot has never been built on before and in thinking ahead we have identified a few areas that we feel should be resolved before the final plans are approved.

First, we live directly across the street from the Scattini property and we have a concern about our driveways being almost directly across from each other. We aren't sure if two cars backing up towards each other will be an issue or not as that can only be fully determined after the fact. On a wider street, it would not, but 1st Avenue is narrow. To remedy this concern, we would recommend, if it is at all possible, to move the residence a little closer to Guadalupe Street.

Second, we are unclear as to exactly which trees will be approved for removal. It appears from my conversation with you today that the largest of the oaks, which is appearing to be to the left of the Scattini's driveway, will remain which is great. We are unsure about the Monterey pine which is about 6 or 7 years old, but is only about 3-1/2 inches in diameter at its widest point. Since the Monterey pines have been dying in great numbers during the drought and this one is a healthy specimen, we believe that it should be left in the public right of way.

Third, we would like to see some high and low canopy trees planted somewhere on the property to replace those trees that will be removed that are in the footprint of the residence. Trees are an important feature of the Carmel landscape and have a great way of softening the impact of larger homes. This may already have been decided upon as we know that replacing trees that have been removed is a common practice of the beach & forest and planning commissions.

Fourth, and most importantly, with 1st Avenue being such a narrow street, most especially as it narrows before exiting onto Guadalupe Street, we would like to preclude any public parking along the northern edge of the Scattini's property. We have noticed when cars park there during Car Week that they impede vehicles traveling east which would normally pull over onto the shoulder, which is the public right of way, to allow an oncoming vehicle to pass. The asphalt at the edge of the street in the public right of way slopes uphill, and if a parked car or truck is not to encroach upon the street, it must abut very close to the existing trees, and those who have parked there generally never do so. If the option to move over to the shoulder is not available to vehicles traveling east, then they will need to back up if a vehicle heading west has already exited the intersection and is heading towards them.

Even prior the start of construction of the home, we have noticed vehicles parked on the 1st Avenue side of the property during the architect's and city site visits. Even though the right of way is where they could park, they always end up with most of their car in the street. Since the homeowners, once they move in, are very likely to have many visitors' cars, commercial service trucks, UPS, FedEx, etc., parking in the front of their home (especially, when a vehicle is parked in their driveway) this will become common practice. ,

In relation to the safety of pedestrians, they often use the right of way to dodge out of the way of oncoming vehicles or those coming from behind. As vehicles continually speed both up and down 1st Avenue, the public right of way along the north side of the Scattini residence is currently the only safe place for pedestrians to move to. The other side (where we live) is a foot or two above the level of the street. While no one can park there (which is good), it is not easily accessible for pedestrians to jump out of the way of a vehicle.

We strongly request, therefore, that two no-parking signs be placed close to 1st Avenue, one at the southwest corner of 1st Avenue and Guadalupe and the other at the western edge of the Scattini's property line. They would indicate: "No Parking Between Signs" which is quite common in Carmel-by-the-Sea when street parking is prohibited for reasons of safety.

We would also like to see these signs installed prior to construction for the same reasons as stated above. While there would be no issue with construction vehicles being parked on the Scattini's property, all heavy construction vehicles like bulldozers or dumpsters, as well as all construction workers vehicles should be parked on Guadalupe as it is a much wider street and can accommodate them.

Thank you, in advance, for your consideration of our concerns. We know that it is a difficult process, especially for the homeowners as they wait to get their plans approved, and we wish them well in moving forward with their beautiful new home.

Georgina & David Armstrong

**Scattini Residence**  
 New Residence  
 Carmel-by-the-Sea, California  
 A.P.N. 010-026-001  
 BLOCK: 16 LOTS: 1

RECEIVED

JAN 31 2018

City of Carmel-by-the-Sea  
 Planning & Building Dept.



**C.O.D.G.**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 P.O. BOX 3776 Carmel, CA 93921  
 PHONE: 831.926.4181  
 FAX: 831.926.4182  
 WWW.CODG.COM



REVISIONS:  
 PL. 1-18-18

REVISIONS:  
 PL. 1-18-18

**PROJECT DATA**

LOT SIZE 4,000 S.F.  
 ZONING R-1  
 A.P.N. 010-026-001  
 ADDRESS BLOCK: 16 LOT 1

FLOOR AREA		
FAR ALLOWED	1,800.0 SQ.FT.	45.0%
NO EXISTING DWELLING		
TOTAL (E) GROSS FLOOR AREA:	0.00 SQ.FT.	00.0%
PROPOSED MAIN LEVEL	1,217.0 SQ.FT.	
UPPER LEVEL	383.0 SQ.FT.	
DETACHED GARAGE	200.0 SQ.FT.	
TOTAL (P) GROSS FLOOR AREA:	1,800.0 SQ.FT.	45.0%

SITE COVERAGE		
LAND COVERAGE ALLOWED	388.0 SQ.FT.	22.0% of F.A.R.
BONUS SITE COVERAGE	180.0 SQ.FT.	4.0% of SITE
TOTAL COVERAGE ALLOWED	568.0 SQ.FT.	13.9 %
NO EXISTING SITE COVERAGE		
TOTAL EXISTING COVERAGE	00.0 SQ.FT.	
PROPOSED SITE COVERAGE		
ENTRY PORCH	19.0 SQ.FT.	
BALCONY	48.0 SQ.FT.	
TOTAL (P) IMPERVIOUS COVERAGE	67.0 SQ.FT.	
PROPOSED PERVIOUS COVERAGE		
DRIVEWAY	36.0 SQ.FT.	
ENTRY WALKWAY	25.0 SQ.FT.	
WEST PATIO	116.0 SQ.FT.	
SOUTH PATIO	217.0 SQ.FT.	
SOUTH LANDING	18.0 SQ.FT.	
TOTAL (P) PERVIOUS COVERAGE	412.0 SQ.FT.	
TOTAL PROPOSED COVERAGE	479.0 SQ.FT.	

**EXTERIOR LIGHTING NOTES**

- ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT) 1.6, APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
- LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT) 1.6, APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

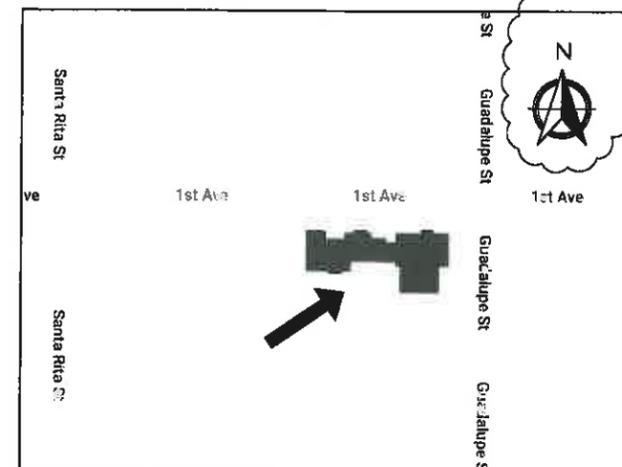
**SHEET INDEX**

- 1.0 COVER NOTES
- 2.0 PROPOSED SITE PLAN
- 2.1 TOPOGRAPHIC SURVEY
- 3.0 PROPOSED FLOOR PLANS
- 4.0 PROPOSED ELEVATIONS
- 5.0 PROPOSED ROOF PLAN
- 6.0 PROPOSED WINDOW & DOOR SCHEDULE
- 7.0 PROPOSED MATERIAL
- 8.0 PROPOSED AVERAGE NATURAL GRADE & GRADING PLAN
- 9.0 STREETSCAPE
- L1 LANDSCAPE

**SCOPE OF WORK**

- 1.0 COVER NOTES
- 2.0 PROPOSED SITE PLAN
- 2.1 TOPOGRAPHIC SURVEY
- 3.0 PROPOSED FLOOR PLANS
- 4.0 PROPOSED ELEVATIONS
- 5.0 PROPOSED ROOF PLAN
- 6.0 PROPOSED WINDOW & DOOR SCHEDULE
- 7.0 PROPOSED MATERIAL
- 8.0 PROPOSED AVERAGE NATURAL GRADE & GRADING PLAN
- 9.0 STREETSCAPE
- L1 LANDSCAPE

**VICINITY MAP** NOT TO SCALE



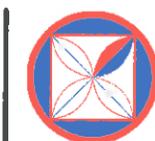
PROJECT: SCATTINI RESIDENCE  
 S/E Corner of 1st and Guadalupe  
 BLOCK: 16 LOTS: 1  
 APN: 010-026-001  
 PROJECT NO. 17-11

ISSUE: 01-02-2018  
 DRAWN BY: A.J. ORTIZ

COVER SHEET

SCALE: 1" = 1/4"

1.0



**C.O.D.G.**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 P.O. BOX 3775 Corona, CA 92621  
 OFFICE: 951.558.4148  
 WWW.CODGONLINE.COM

REVISIONS:  
 PL: 1-18-18

PROJECT:  
 SCATTINI RESIDENCE  
 S/E Corner of 1st and Guadalupe  
 BLOCK: 16 LOTS: 1  
 APN: 010-028-001  
 PROJECT NO. 17-11

ISSUE:  
 01-02-2018

DRAWN BY:  
 A.J. ORTIZ

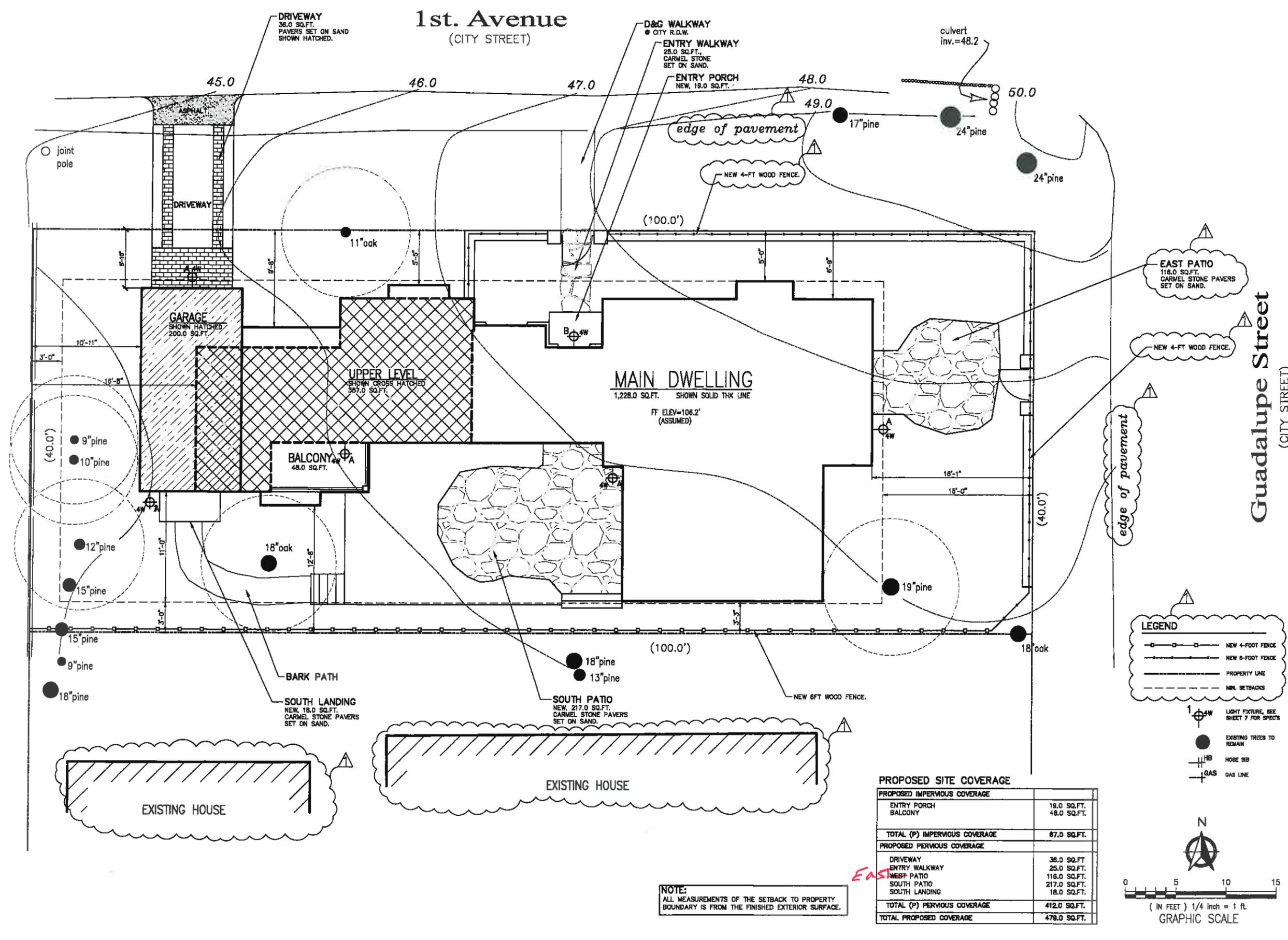
PROPOSED  
 SITE PLAN  
 SCALE: 1" = 1/4"

**2.0**

132

**1st. Avenue**  
(CITY STREET)

**Guadalupe Street**  
(CITY STREET)



**NOTE:**  
 ALL MEASUREMENTS OF THE SETBACK TO PROPERTY BOUNDARY IS FROM THE FINISHED EXTERIOR SURFACE.

**PROPOSED SITE COVERAGE**

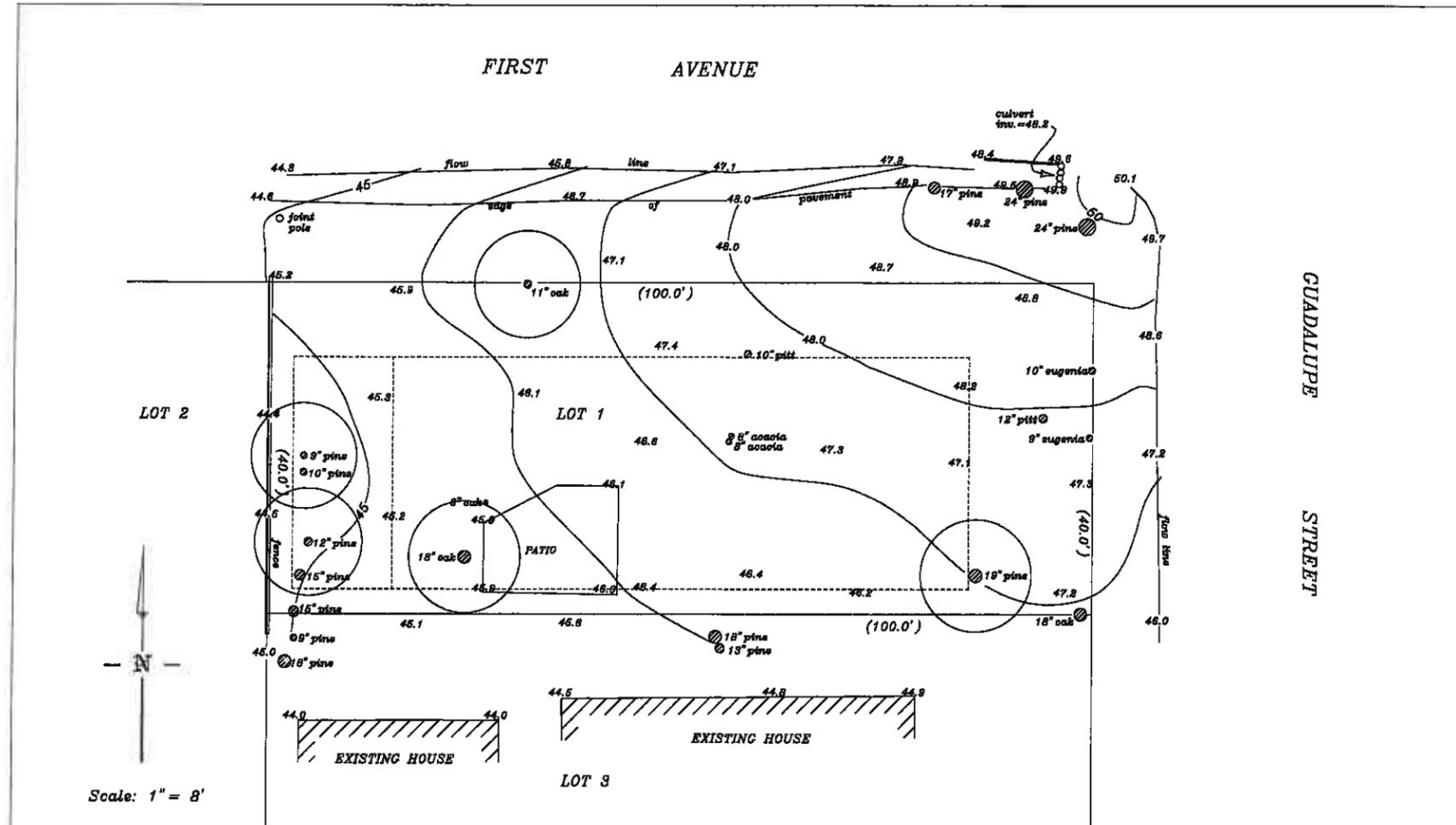
PROPOSED IMPERVIOUS COVERAGE	
ENTRY PORCH	19.0 SQ.FT.
BALCONY	48.0 SQ.FT.
<b>TOTAL (P) IMPERVIOUS COVERAGE</b>	<b>67.0 SQ.FT.</b>
PROPOSED PERVIOUS COVERAGE	
DRIVEWAY	36.0 SQ.FT.
ENTRY WALKWAY	25.0 SQ.FT.
WEST PATIO	118.0 SQ.FT.
SOUTH PATIO	217.0 SQ.FT.
SOUTH LANDING	18.0 SQ.FT.
<b>TOTAL (P) PERVIOUS COVERAGE</b>	<b>412.0 SQ.FT.</b>
<b>TOTAL PROPOSED COVERAGE</b>	<b>479.0 SQ.FT.</b>

**LEGEND**

- NEW 4-FOOT FENCE
- NEW 6-FOOT FENCE
- PROPERTY LINE
- MIN. SETBACKS
- LIGHT FIXTURE, SEE SHEET 7 FOR SPECS
- EXISTING TREES TO REMAIN
- HOSE BIB
- GAS LINE

**GRAPHIC SCALE**

( IN FEET ) 1/4 inch = 1 ft.

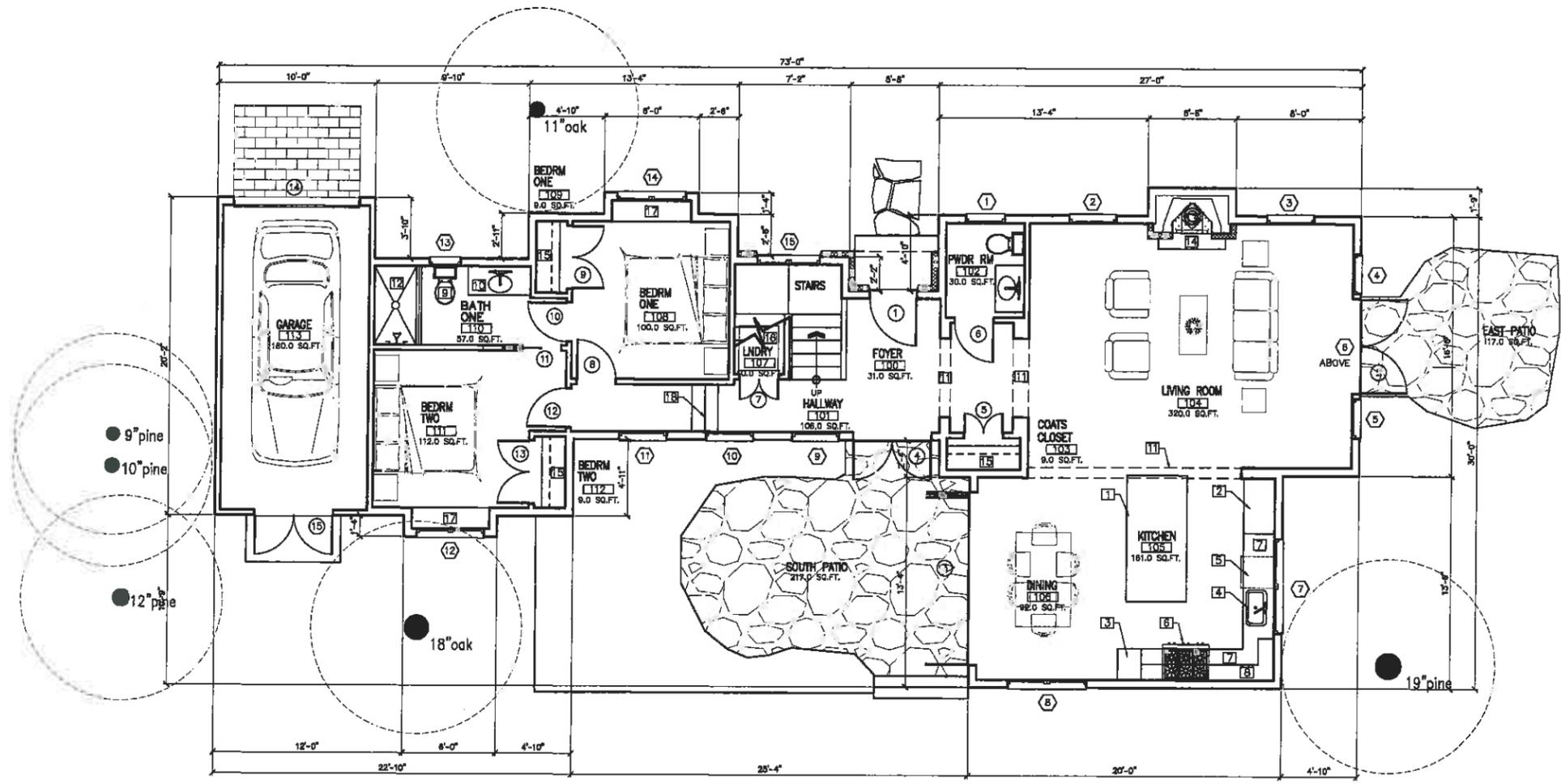


Scale: 1" = 8'

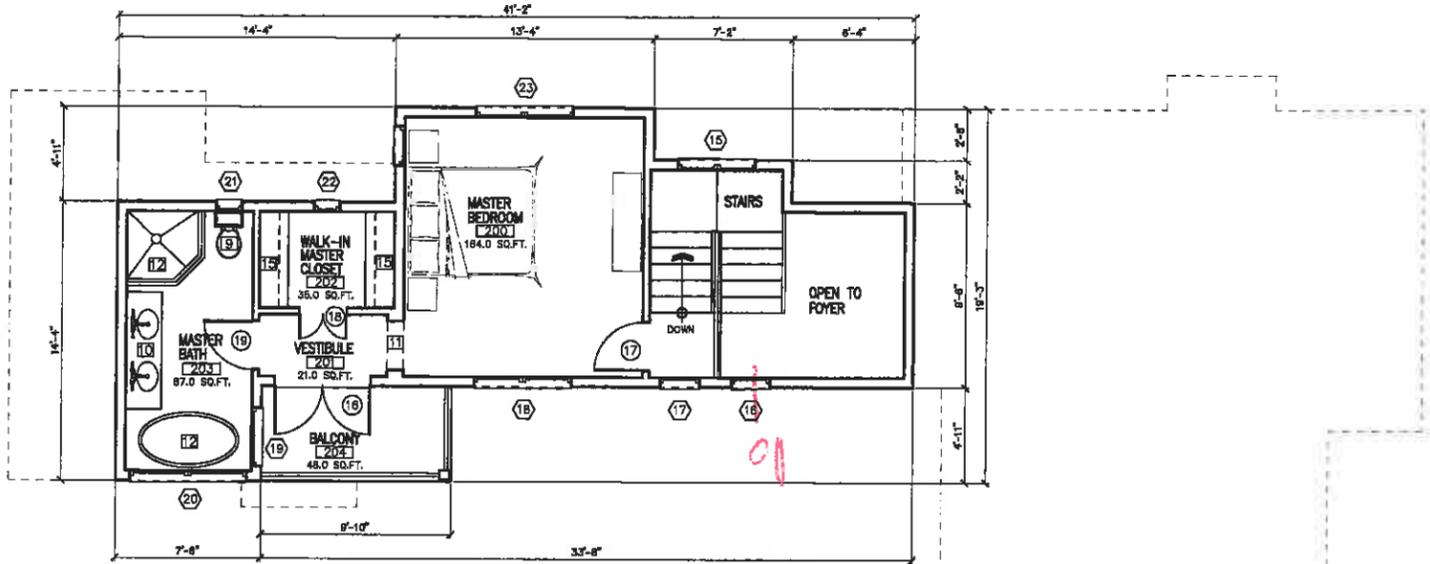
**NOTES:**

1. Elevation datum is assumed.
2. Points found or set are so indicated, others are shown for reference only.
3. Record data is shown in parenthesis (.....)
4. Check for direction of tree growth in field where pertinent to location of improvements.
5. Distances and elevations are expressed in feet and decimals thereof.
6. Only native trees 8" or larger have been located.
7. Easements may exist that don't show on this map.
8. Relationship of topographic features to boundary lines is approximate.
9. Pitt = pittosporum.

APN 010-026-001  
**TOPOGRAPHIC MAP**  
 of Lot 1, Block 18, Carmel City Subdivision,  
 Carmel, California.  
 Prepared for:  
**GREG SCATTINI**



MAIN LEVEL FLOOR PLAN



UPPER LEVEL FLOOR PLAN

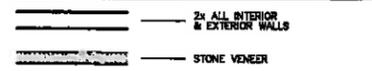
ROOM NOTES

MAIN LEVEL	
100	POWDR 8'-2" X 8'-2"
101	HALLWAY 3'-2" X 28'-2"
102	POWDR ROOM 5'-0" X 6'-0"
103	COATS CLOSET 5'-0" X 2'-0"
104	LIVING ROOM 18'-8" X 20'-8"
105	KITCHEN 12'-0" X 12'-10"
106	DINING ROOM 9'-0" X 12'-10"
107	LNDRY 5'-0" X 5'-0"
108	BEDROOM ONE 10'-0" X 10'-0"
109	CLOSET ONE 2'-0" X 2'-6"
110	BATHROOM ONE 5'-0" X 6'-0"
111	BEDROOM TWO 10'-0" X 10'-0"
112	BEDROOM TWO 12'-0" X 10'-0"
113	GARAGE 18'-0" X 18'-4"
UPPER LEVEL	
200	MASTER BEDROOM 12'-4" X 13'-4"
201	VESTIBULE 8'-0" X 6'-5"
202	MASTER CLOSET 4'-11" X 9'-0"
203	MASTER BATHROOM 5'-2" X 5'-8"
204	BALCONY 8'-10" X 4'-11"

KEY NOTES

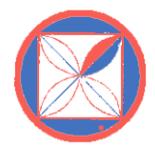
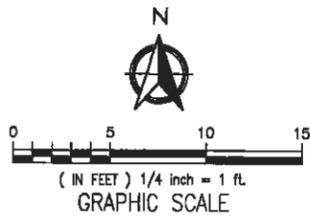
- 1 ISLAND
  - 2 30" BUILT-IN ALL REFRIGERATOR W/GLASS DOOR. PROVIDE RECESSED SINK WATER BUB & SHUT-OFF FOR ICE-MAKER.
  - 3 BUILT IN PANTRY
  - 4 KITCHEN SINK W/HARDBARE DISPOSAL. SINGLE FAUCET WITH FULL OUT.
  - 5 DISH WASHER SPACE
  - 6 24" SINK W/1/2" V. SINK
  - 7 36" BUILT-IN COUNTER TOP
  - 8 UPPER CABINETS
  - 9 NEW WATER CLOSET TO BE MAINTAIN 1.25 GALLONS PER MINUTE PER G.P.C. 408.2.1
  - 10 NEW BATHROOM SINK 30" HIGH VANITY WITH ARCHWAY
  - 11 ARCHWAY
  - 12 TUB/SHOWER - TUB - SHOWER
    - SHOWER HEAD TO BE 7'-0" FROM FINED FLOOR
    - ANTI-SCALDING VALVE AT SHOWER
    - CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIGNAL OF SHOWER COMPARTMENT OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT UNDISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVE PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 408.2). SHOWER-CONTROL VALVES OF THE PRESSURE-BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE PER CPC 408.2. DO NOT USE MORE THAN 2.0 GALLONS PER MINUTE PER CPC 408.2
  - 13 SUPERIOR FIREPLACE 36" WOOD BURNING FIREPLACE MODEL NUMBER: WFD000
  - 14 DECORATIVE HEARTH
  - 15 NEW ONE 2" ROD ONE SHEL
  - 16 WASHER SPACE. PROVIDE RECESSED WATER & DRAIN CONNECTIONS. DRYER SPACE. PROVIDE VENT TO EXTERIOR. CLOVES OVER MECHANICAL EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACKDRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14'-FEET WITH TWO ELBOWS. THIS SHALL BE REDUCED 2'-FEET FOR EVERY ELBOW IN EXCESS OF TWO. SHOW MECHANICAL EXHAUST DUCT ROUTE ON PLAN. (CPC 408.2.3)
  - 17 WINDOW SEAT
  - 18 THREE STEPS
- ⊕ DENOTES WINDOW NUMBER, SEE WINDOW SCHEDULE  
 ⊙ DENOTES DOOR NUMBER, SEE DOOR SCHEDULE

Wall Legend



Proposed Floor Area

MAIN LEVEL	1,243.00 SQ.FT.
UPPER LEVEL	357.00 SQ.FT.
GARAGE (ATTACHED)	200.00 SQ.FT.
TOTAL	1,800.00 SQ.FT.



**C.O.D.G.**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 P.O. BOX 3778, CERRITOS, CA 94521  
 OFFICE: 925.468.9148  
 CLAUDIO@CODG.COM

REVISIONS:  
 1. 01-02-2018  
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 100. 01-02-2018

PROJECT: SCATTINI RESIDENCE  
 S/E Corner of 1st and Guadalupe  
 BLOCK: 16 LOTS: 1  
 APN: 010-026-001  
 PROJECT NO. 17-11

ISSUE: 01-02-2018  
 DRAWN BY: A.J.ORTIZ

PROPOSED  
**MAIN & UPPER  
 LEVEL FLOOR PLAN**  
 SCALE: 1" = 1/4"  
**3.0**



**C.O.D.G.**  
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 CLAUDIO@CODG.COM

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REVISIONS:  
 PL 1-18-18

PROJECT:  
 SCATTINI RESIDENCE  
 S/E Corner of 1st and Guardalupa  
 BLOCK: 16 LOTS: 1  
 APN: 010-026-001  
 PROJECT NO.  
 17-11

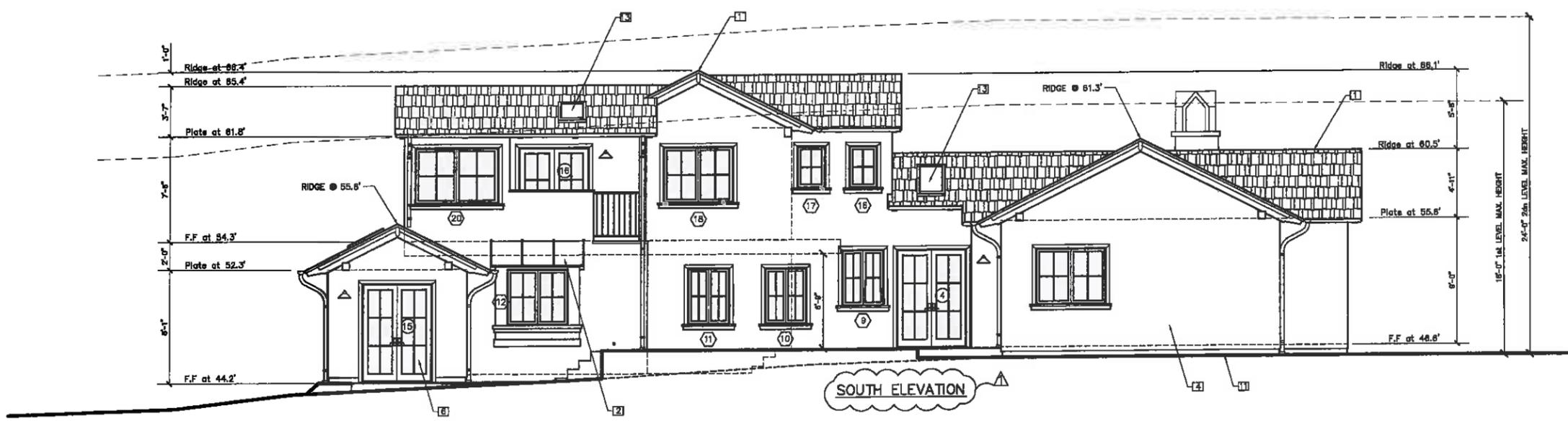
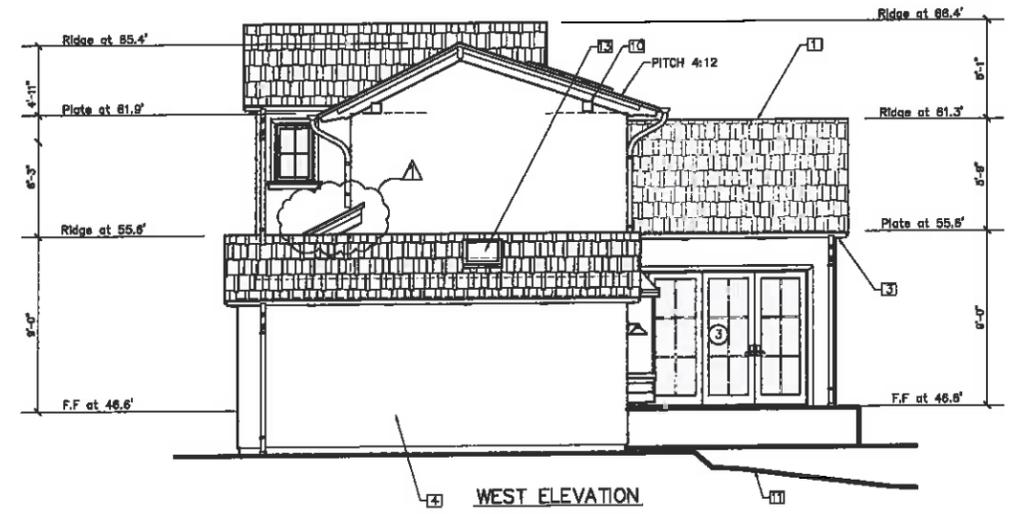
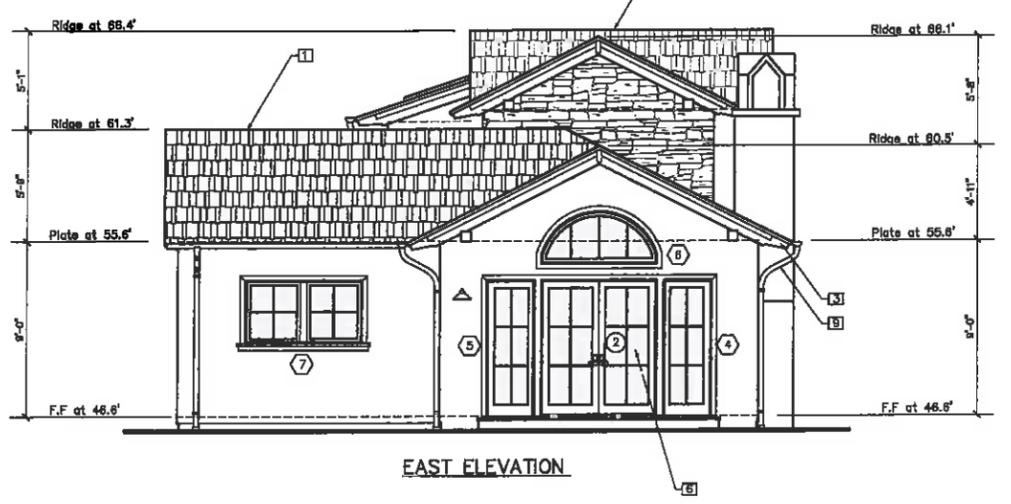
ISSUE:  
 01-02-2018  
 01-24-2018  
 DRAWN BY:  
 A. LORTIZ

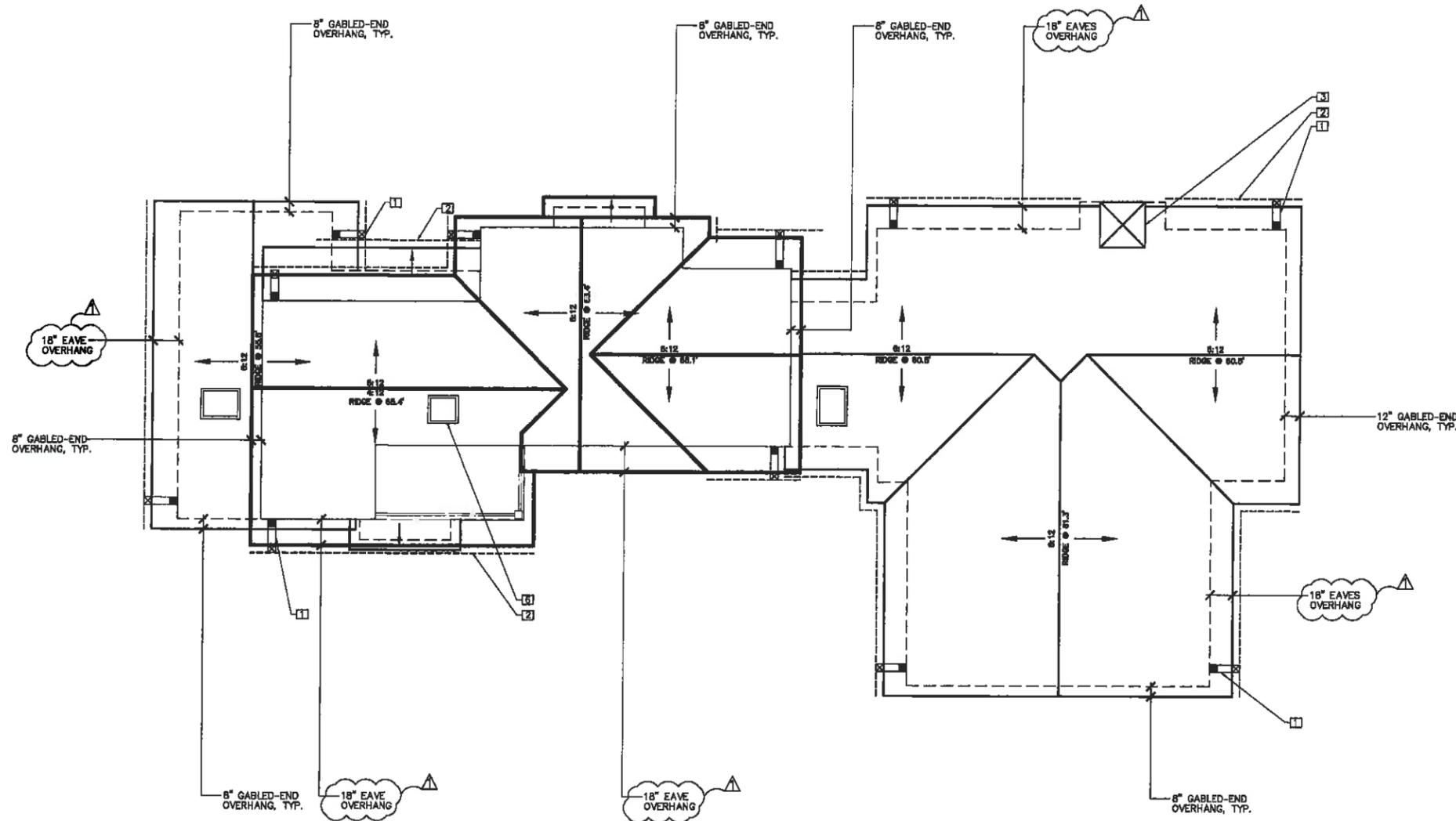
PROPOSED  
 ELEVATIONS

SCALE: 1" = 1/4"  
**4.0**

**KEY NOTES**

- 1 ROOF: 6:12 PITCH, UNLESS OTHERWISE NOTED
- 2 ROOF: COPPER
- 3 RAFTER TAILS: 4X8 SHAPPED REDWOOD RAFTERS
- 4 SIDING: CEMENT PLASTER
- 5 SIDING: STONE VENEER AT ENTRY
- 6 WINDOWS & DOORS: WOOD
- 7 ENTRY DOOR: 3-IN THK MAHOGANY STAINED
- 8 CHIMNEY: PLASTER, COPPER SHROUD
- 9 GUTTERS & DOWN SPOUT: 6-IN. ROUND COPPER CUTTERS AND 3-IN. DIA. DOWN SPOUT.
- 10 CORBELS: 6X6 RDW SHAPED
- 11 GRADE: WHERE OCCURS
- 12 LIGHT FIXTURES: COPPER, OBSCURE GLASS
- 13 SKYLIGHTS

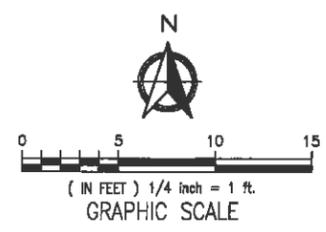
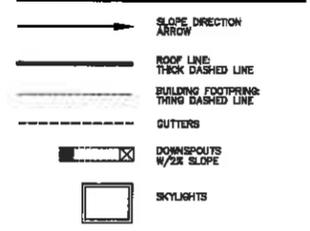




**KEY NOTES**

- 1 DOWNSPOUTS
- 2 GUTTERS 1/2" SLOPE
- 3 COPPER CHIMNEY
- 4 ROOF LINE SHOWN THICK SOLID LINE
- 5 BUILDING FOOTPRINT SHOWN THIN DASHED LINE
- 6 SKYLIGHT, SIZE VARY, FLAT GLASS

**LEGEND**



**C.O.D.G.**  
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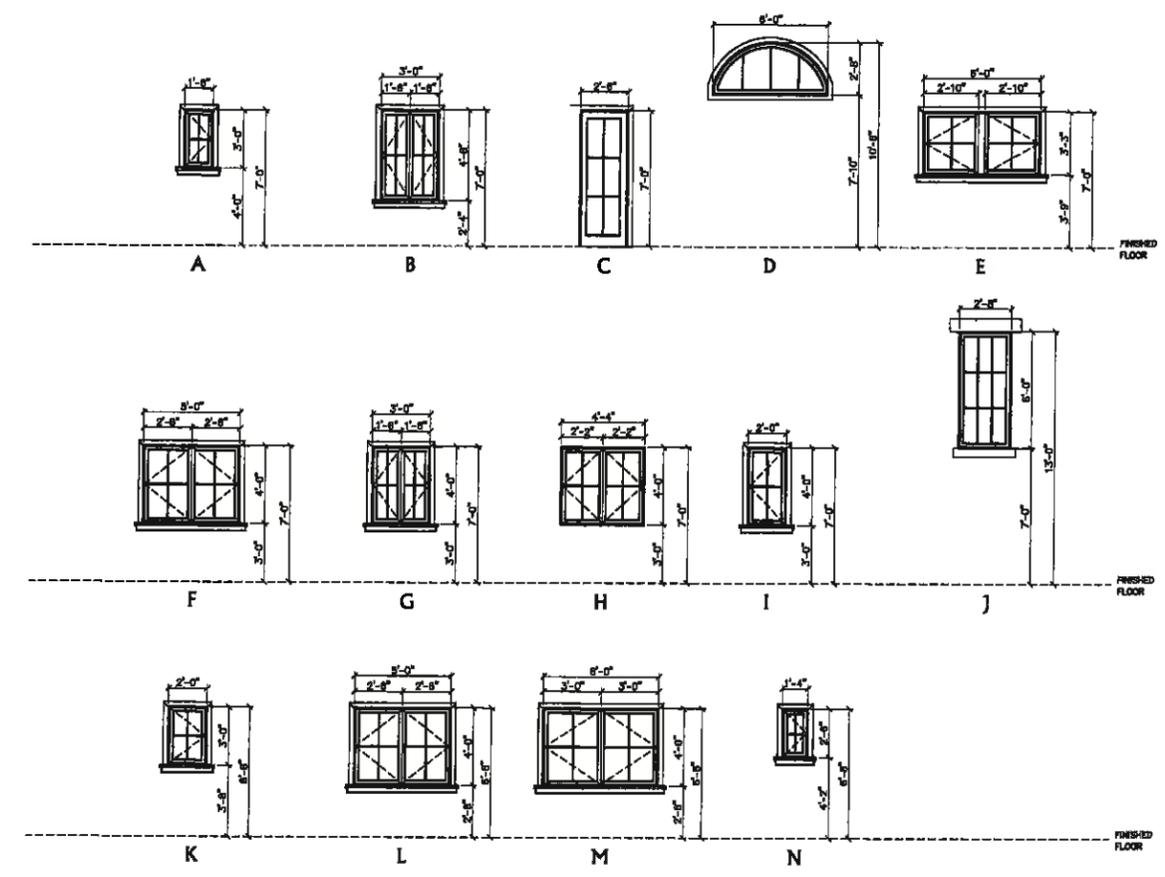
REVISIONS:  
 PL: 1-18-18

PROJECT:  
 SCATTINI RESIDENCE  
 S/E Corner of 1st and Guadalupe  
 BLOCK 16 LOTS 1  
 APN: 010-026-001  
 PROJECT NO.  
 17-11

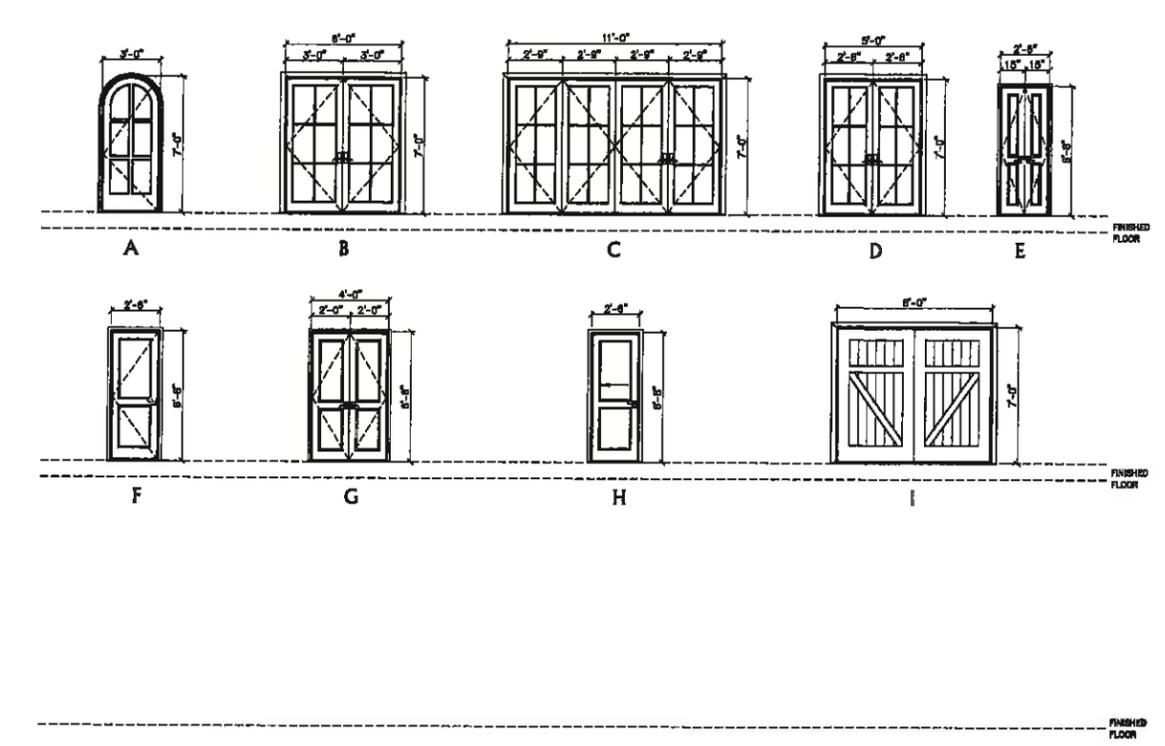
ISSUE:  
 01-02-2018  
 01-11-2018  
 DRAWN BY:  
 A.J.ORTIZ

PROPOSED  
 ROOF PLAN  
 SCALE: 1" = 1/4"  
**5.0**

Window Elevations Types



Door Elevations Types



Window Schedule

NO.	LOCATION	TYPE	SIZE / MATERIAL	FINISH	REMARKS	TEMPERED	SCREEN	GLAZING
1	POWDER ROOM	A	1'-6" X 3'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
2	LIVING ROOM	B	3'-0" X 4'-8"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
3	LIVING ROOM	C	3'-0" X 4'-8"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
4	LIVING ROOM	D	2'-8" X 7'-0"	WOOD-UNCLAD	P FIXED	YES	NO	YES (MAXIMUM U-FACTOR OF 0.32)
5	LIVING ROOM	E	2'-8" X 7'-0"	WOOD-UNCLAD	P FIXED	YES	NO	YES (MAXIMUM U-FACTOR OF 0.32)
6	LIVING ROOM	F	6'-0" X 2'-8"	WOOD-UNCLAD	P FIXED	YES	NO	YES (MAXIMUM U-FACTOR OF 0.32)
7	KITCHEN	G	6'-0" X 3'-3"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
8	DINING ROOM	H	5'-0" X 4'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
9	HALLWAY	I	3'-0" X 4'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
10	HALLWAY	J	3'-0" X 4'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
11	HALLWAY	K	3'-0" X 4'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
12	BEDROOM TWO	L	4'-4" X 4'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
13	BATHROOM ONE	M	2'-0" X 4'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
14	BEDROOM ONE	N	4'-4" X 4'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
15	STAIRS	O	2'-8" X 6'-0"	WOOD-UNCLAD	P FIXED	YES	NO	YES (MAXIMUM U-FACTOR OF 0.32)
16	STAIRS	P	2'-0" X 3'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
17	STAIRS	Q	2'-0" X 3'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
18	MASTER BEDROOM	R	5'-0" X 4'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
19	MASTER BATHROOM	S	2'-0" X 3'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
20	MASTER BATHROOM	T	6'-0" X 4'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
21	MASTER BATHROOM	U	1'-4" X 2'-6"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
22	MASTER CLOSET	V	1'-4" X 2'-6"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)
23	MASTER BEDROOM	W	5'-0" X 4'-0"	WOOD-UNCLAD	P CASEMENT CRANK-OUT	YES	YES	YES (MAXIMUM U-FACTOR OF 0.32)

Window Notes:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY C.O.D.G., INC.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
- PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.C.
- WINDOW WOOD UNITS TO BE RECEIVED.
- ALL OPERABLE WINDOWS TO HAVE SCREENS AS SPECIFY BY CLIENT.
- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- SINGLE PANE LAMINATED GLASS (1/8" THK GL - FLU-1/8" THK GL) AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1.
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTENSION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.C)

Window Manufacture:

MANUFACTURE:  
ADDRESS:  
CITY, STATE, ZIP:  
PHONE:  
FAX:

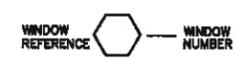
Hardware Manufacture:

MANUFACTURE:  
ADDRESS:  
CITY, STATE, ZIP:  
PHONE:  
FAX:

Glazing Legend

TYPE 1 - TEMPERED GLAZING PER C.B.C. 2406.4

Symbols



Abbreviations

- N/A NOT APPLICABLE
- G.C. GENERAL CONTRACTOR
- P PAINT
- ST STAIN
- FF FACTORY FINISH
- I.D. INTERIOR DESIGN
- S SEALED
- MFR. MANUFACTURER
- FIN. FINISH
- NAT. NATURAL

Door Schedule

NO.	LOCATION	TYPE	SIZE / MATERIAL	FINISH	REMARKS	TEMPERED	GLAZING
1	FOYER	A	3'-0" X 7'-0"	WOOD ST	2-1/4-INCH THICK SOLID CORE	OUTSIDE	NO
2	LIVING ROOM	B	PER-3'-0" X 7'-0"	WOOD ST	FLUSHED / GLASS DOOR	OUTSIDE	YES
3	DININGROOM	C	(4)-2'-9" X 7'-0"	WOOD P	FLUSHED / GLASS DOOR	OUTSIDE	YES
4	HALLWAY	D	PER-2'-6" X 7'-0"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
5	COATS CLOSET	E	PER-1'-3" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
6	POWDER ROOM	F	2'-6" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
7	LAUNDRY ROOM	E	PER-1'-3" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
8	BEDROOM ONE	F	2'-6" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
9	CLOSET ONE	G	PER-2'-0" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
10	BATHROOM ONE	F	2'-6" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
11	BATHROOM ONE	H	2'-6" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
12	BEDROOM TWO	F	2'-6" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
13	CLOSET TWO	G	PER-2'-0" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
14	GARAGE	I	8'-0" X 7'-0"	WOOD P	ROLL-UP DOOR	OUTSIDE	NO
15	GARAGE	D	PER-2'-6" X 7'-0"	WOOD P	FLUSHED / GLASS DOOR	OUTSIDE	YES
16	VESTIBULE/BALCOONY	D	PER-2'-6" X 7'-0"	WOOD P	FLUSHED / GLASS DOOR	OUTSIDE	YES
17	MASTER BEDROOM	F	2'-6" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
18	MASTER CLOSET	E	PER-1'-3" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO
19	MASTER BATHROOM	F	2'-6" X 6'-8"	WOOD P	FLUSHED / PANEL / DOOR	INSIDE	NO

Door Notes:

- PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR FINISHES TO BE 4.5%U.S.A.5% DOOR 7'-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANGED, FINISHED, AND SEALED.
- GARAGE DOORS: SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH TO BE: EXTERIOR: MFRS. INTERIOR: MFRS.
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGE LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED SINGLE GLAZING PANE.

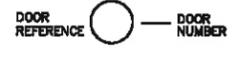
Window Manufacture:

MANUFACTURE:  
ADDRESS:  
CITY, STATE, ZIP:  
PHONE:  
FAX:

Hardware Manufacture:

MANUFACTURE:  
ADDRESS:  
CITY, STATE, ZIP:  
PHONE:  
FAX:

Symbols



Abbreviations

- N/A NOT APPLICABLE
- G.C. GENERAL CONTRACTOR
- P PAINT
- ST STAIN
- FF FACTORY FINISH
- I.D. INTERIOR DESIGN
- S SEALED
- MFR. MANUFACTURER
- FIN. FINISH
- NAT. NATURAL

Glazing Legend

TYPE 1 - TEMPERED GLAZING PER C.B.C. 2406.4



**C.O.D.G.**  
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CLAUDIOORTIZ@C.O.D.G.COM

REVISIONS:  
PROJECT: SCATTINI RESIDENCE  
S/E Corner of 1st and Guadalupe  
BLOCK: 16 LOTS: 1  
APN: 010-026-001  
PROJECT NO. 17-11

ISSUE: 01-02-2018  
DRAWN BY: A.J.ORTIZ

PROPOSED WINDOW & DOOR SCHEDULES  
SCALE: 1" = 1/4"  
**6.0**



**C.O.D.G.**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
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EXTERIOR LIGHTING FIXTURES:  
 FIXTURES MUST BE DOWNWARD FACING AND SHIELDED.  
 MUST COMPLY WITH  
 CITY OF CARMEL-BY-SEA DESIGN STANDARDS.



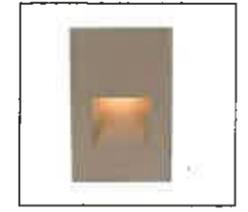
**BULB**  
 MANUFACTURE: PHILLIPS  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: 811 LED SOCKET



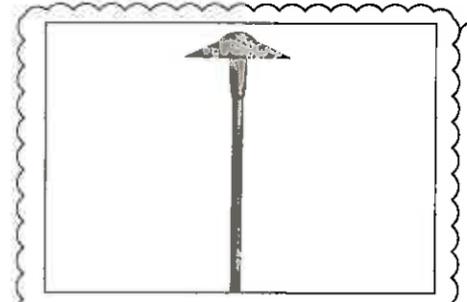
**FIXTURE A**  
 MANUFACTURE: HAMPTON BAY  
 T24 COMPLIANT: YES  
 COLOR: COPPER  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: SEE BULB  
 DIMENSIONS: 16"H X 10.5"W X 11"



**FIXTURE B**  
 MANUFACTURE: WORLD IMPORTS  
 T24 COMPLIANT: YES  
 COLOR: ANTIQUE COPPER  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: SEE BULB  
 DIMENSIONS: 16"H X 10.5"W



**FIXTURE C**  
 MANUFACTURE: WAC LEDme  
 T24 COMPLIANT: N/A  
 COLOR: BRONZE  
 WATTS: 3.9 WATTS  
 LUMENS: 68  
 BULB TYPE: LED MODULE  
 DIMENSIONS: 5"H X 3"W



**FIXTURE D**  
 MANUFACTURE: WAC LEDme  
 T24 COMPLIANT: N/A  
 COLOR: BRONZE  
 WATTS: 3.9 WATTS  
 LUMENS: 68  
 BULB TYPE: LED MODULE  
 DIMENSIONS: 21"H X 8"W



**NEW 6-FOOT FENCE**  
 MATERIAL: REDWOOD  
 FINISH: NATURAL  
 HEIGHT: 5-6 FT. VARIES



**DRIVEWAY PAVERS**  
 MANUFACTURE: CALSTONE  
 COLOR: OAK BARREL GRAY  
 INSTALLATION: SET ON SAND



**PATIO**  
 MANUFACTURE: CARMEL STONE  
 COLOR: NATURAL  
 INSTALLATION: SET ON SAND



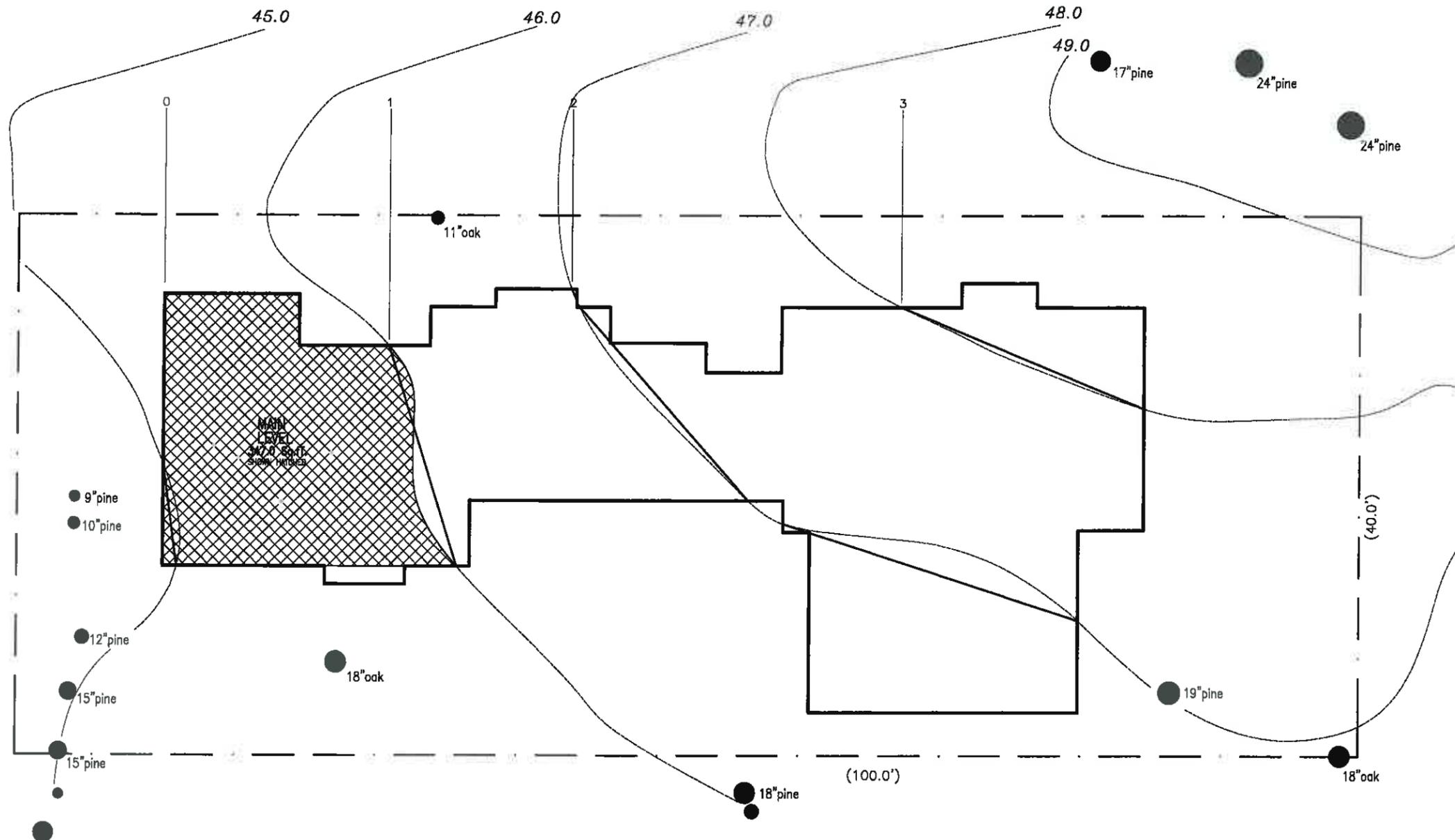
**WALKWAY**  
 MANUFACTURE: CARMEL STONE  
 COLOR: NATURAL  
 INSTALLATION: SET ON SAND

REVISIONS:  
 PL: 1-18-18

PROJECT:  
 SCATTINI RESIDENCE  
 S/E Corner of 1st and Guadalupe  
 BLOCK: 16 LOTS: 1  
 APN: 010-026-001  
 PROJECT NO.  
 177-11

ISSUE:  
 01-02-2018  
 DRAWN BY:  
 A.J.ORTIZ

PROPOSED  
 MATERIALS  
 SCALE: 1" = 1/4"  
**7.0**

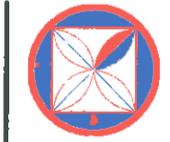
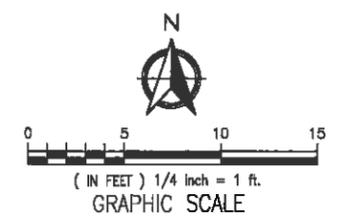


**CUT AND FILL:**  
 CUT: 51 CU.YD.  
 FILL: NONE  
 TRANSPORT: 51 CU.YD.  
 [Hatched Box] CUT SHOWN  
 [Cross-hatched Box] CROSS-HATCHED  
 [Solid Line] BUILDING FOOTPRINT

**AVERAGE NATURAL GRADE**

DWELLING AVERAGE NATURAL GRADE			97.8 FT
ELEV.	LINE	LENGTH	TOTAL
45 FT	0	7.0'	0.0'
46 FT	1	17.1'	17.1'
47 FT	2	53.0'	106.0'
48 FT	3	19.7'	59.1'
TOTAL		96.8'	182.2'

MATH:  $182.2 / 96.8 = 1.8$   
 FACTOR: = 1.8  
 A.N.G. = 45 FT + 1.8 FACTOR = 46.8 FT



**C.O.D.G.**  
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 CLAYTONORTIZDESIGN.COM

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REVISIONS:  
 PL: 1-18-18

PROJECT:  
 SCATTINI RESIDENCE  
 S/E Corner of 1st and Guadalupe  
 BLOCK: 16 LOTS: 1  
 APN: 010-026-001  
 PROJECT NO.  
 17-11

ISSUE:  
 01-02-2018  
 DRAWN BY:  
 A.J. ORTIZ

PROPOSED  
 AVERAGE NATURAL  
 GRADE & GRADING  
 PLAN  
 SCALE: 1" = 1/4"  
**8.0**



EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION



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REVISIONS:

REVISIONS:

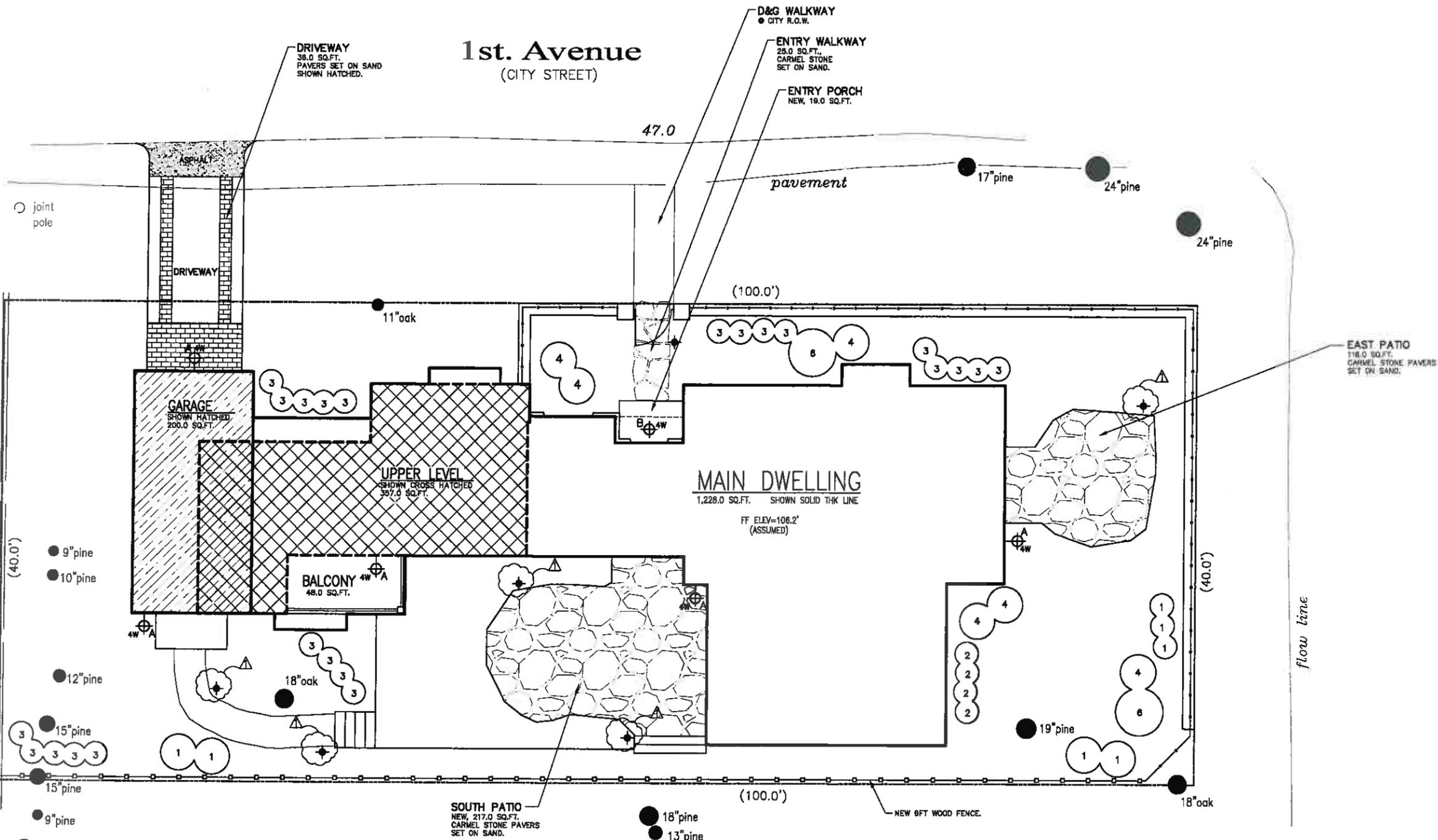
PROJECT:  
SCATTINI RESIDENCE  
S/E Corner of 1st and Guadalupe  
BLOCK: 16 LOTS: 1  
APN: 010-026-001  
PROJECT NO.  
17-11

ISSUE:  
01-16-2018  
DRAWN BY:  
A.J. ORTIZ

STREETSCAPE

SCALE: 1" = 1/4"

9.0



**LIGHT KEY**

◆ PATH LIGHT, 3 WATTS LED, SEE FIXTURE "D" ON SHEET 7  
MAY NOT BE SPACED CLOSER THAN 10- FEET APART

**EXTERIOR LIGHTING NOTES**

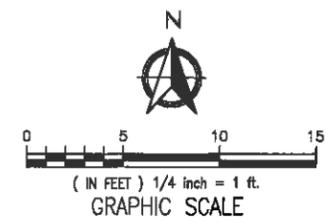
1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10- FEET ABOVE THE GROUND AND MAY NOT EXCEED 28- WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2. LANDSCAPE LIGHTING MAY NOT EXCEED 18- INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENTS; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

**IRRIGATION SYSTEM**

- 1" ANTISIPHON DEVICE
- 1" ELECTRIC VALVES
- FILTER PLUS REGULATOR FOR EACH VALVE
- ELECTRIC CONTROLLER
- EACH PLANT TO BE ON DRIP SYSTEM
- ALL PLANTS WILL BE PLANTED WITH AGRIFORM TABS FOLLOWING MANUFACTURE DIRECTIONS.
- COMPOST WILL BE MIXED WITH SOIL AT 2:1

**PLANT INDEX**

No.	BOTANICAL NAME	COMMON NAME	SIZE
1	AGAPANTHUS PETER PAN	LILY OF THE NILE	1 GAL
2	CISTUS DORIS HIBBERSON	ROCK ROSE	5 GAL
3	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GAL
4	SALVA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL
5	ROSMARINUS	ROSMARY	5 GAL
6	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL





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WWW.CODG.COM

---

REVISIONS:  
PL: 1-18-18

---

PROJECT: SCATTINI RESIDENCE  
S/E Corner of 1st and Guadalupe  
BLOCK: 16 LOTS: 1  
APN: 010-028-001  
PROJECT NO. 17-11

---

ISSUE: 01-02-2018  
DRAWN BY: A. JORTIZ

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PROPOSED LANDSCAPE

SCALE: 1" = 1/4"

11



qualify as a “basement”). The net total floor area of the property will be 1,987.5 square feet. The applicant also proposes to replace the residence's wood shingle roof with an asphalt shingle roof and install stucco siding on the addition to match the residence's existing stucco exterior. The applicant is proposing to install five new skylights on the main level of the residence; including two Vellux tube skylights on the north slope of the roof at the hall and stairway which will not emit light, as well as two 2' by 3' skylights in bath #2 and a 2' by 2' skylight in bedroom #2. New doors and windows will be wood while skylights are proposed to be aluminum-clad.

Parking is provided on a flagstone pad between the west elevation of the residence and Torres Street. Since large areas of this lot are steeply sloped, Carmel Municipal Code section 17.06.020.D requires that to calculate allowable building volume and floor area, the buildable area of a lot shall be the lot area, minus continuous portions of the site, occupying at least 10 percent of the site area, with a slope greater than 30 percent. All areas of the lot with a slope greater than 30% are shown shaded on the topographic survey of the lot included on sheet 4 of the plans. Since areas encumbered by an average slope greater than 30% must be deducted from the buildable area of this lot, the effective lot size of this property is 4,536.7 square feet. A Final Determination of Ineligibility for the City's Historic Inventory was issued on September 5, 2017.

<b>PROJECT DATA FOR A 7,000 SQUARE-FOOT SITE WITH A BUILDABLE AREA OF 4,536.7 SQUARE FEET</b>			
<b>Site Considerations</b>	<b>Allowed</b>	<b>Existing</b>	<b>Proposed</b>
Floor Area	1,992 sf	1,124 sf (24%)	1,987.5 sf (43.8%)
Site Coverage	718 sf	842 sf	718 sf
Trees	3 Upper /1 Lower (recommended)	3 upper / 13 lower	2 upper/ 12 lower (Removing 1 Non-Significant Toyon Tree and one Moderately-Significant Monterey Pine).
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> flr)	18'/24'	15'-2"/(no 2 <sup>nd</sup> floor)	15'-2"/ 20'-5"
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> flr)	12'/ 18'	13"/(no 2 <sup>nd</sup> floor)	13'/17'-6"
<b>Setbacks</b>	<b>Minimum Required</b>	<b>Existing</b>	<b>Proposed</b>
Front	15'	19' Approx.	19' Approx.
Composite Side Yard	10' (25%)	8'-6" (residence)	8'-6" (residence) 15'-6" (new addition)
Minimum Side Yard	3' (interior side) 5' (street-facing side)	3'-6" (interior side) 5' (street facing side)	3' (interior side) 5' (street facing side at

	on a corner lot)		residence) 12'-6" (street-facing side at addition)
Rear	15' (3' allowed if bldg. height not over 15')	108' (from existing residence)	85'-97' (at new addition)

Staff has scheduled this application for both conceptual and final review. If the Commission has concerns that cannot be addressed at one meeting it may continue the hearing.

**Staff analysis**

**Forest Character:** Residential Design Guidelines 1.1 through 1.4 state “existing significant upper canopy and understory trees should be preserved”, “Locate new construction to minimize impacts on established trees”, “Protect root systems of all trees to be preserved”, and maintain “a forested image on the site.” In addition, it is the policy of the City Forestry Department that new construction should be at least six feet from significant trees.

Per the Preliminary Sight Assessment (PSA) prepared in August 2017, the subject property contains 16 trees, including 10 significant oak trees, and two significant Monterey Pine trees. The applicant is proposing the removal of two trees: one non-significant toyon tree and one moderately-significant Monterey pine tree. Staff has drafted a condition of approval that the applicant shall submit a tree removal permit for the removal of both trees.

Staff notes that a 40" Monterey pine tree rated significant by the City Forester will be located 3'-2" from the proposed garage. However, when Planning Staff and the Forestry staff visited the site after the staking and flagging had been erected, the staking appears to be 1 foot away from the base of the tree and the tree itself curves toward the proposed addition, which is cantilevered on the second floor, causing it to be just a few inches from the tree. The Forestry Department has evaluated the staking and flagging and feels that the upper-story pole is too close to the Monterey pine tree. The Forestry Department is requiring that the eastern elevation move an additional one foot (12 inches) away from the pine. Staff has added a condition of approval reflecting this design mitigation.

In addition, regarding this 40" Monterey pine tree, the architect, Mr. Pitnick, has consulted an arborist who identified one significant tree root extending from this tree into the proposed area of the new garage. The project's engineer has proposed a design for the garage's foundation that bridges the tree root, which is included in Attachment D. According to Mr. Pitnick, the finished grades of the new garage and structural engineer's details have been coordinated in ordered to

properly remain above the root and not disturb it during excavation and construction. The garage's foundation will consist of an 8-inch structural slab supported by footings positioned carefully around the tree root to avoid cutting or damaging it. Between the two footings where the tree root overlaps with the wall line of the garage, a concrete beam shall be installed above the tree root to bridge the root and prevent the 8-inch structural slab from resting directly on the root. A 5-inch slab is proposed for the remainder of the garage foundation. The Assistant City Forester has reviewed the engineer's drawings to accommodate the significant root and has approved this design for the garage foundation. Staff has added an additional condition of approval to reflect this design mitigation.

**Privacy & Views:** Residential Design Guidelines 5.1 through 5.3 state that proposed new construction should *“maintain privacy of indoor and outdoor spaces...”* and *“maintain view opportunities.”*

Staff has not identified any view or privacy impacts that would be created by the construction of the proposed addition. This neighborhood is heavily forested which shields the proposed addition from view from neighboring properties. The neighbor to the east is located a significant distance from the addition, at the bottom of a slope that is covered with dense vegetation. No privacy impacts are anticipated to the east neighbor. There is no residence on the lot to the south; therefore, no privacy impacts are anticipated to the south.

The proposed addition would be visible to the neighbor to the north, who sits slightly above the project site. The home has three large windows facing south that would have a direct line of site to the proposed addition. However, since the addition is located at the rear of the residence, and is buffered from the north neighbor by the, approximately 50-foot-wide, undeveloped 10th Avenue terminus, staff does not anticipate a view impact to this neighbor.

**Mass & Bulk:** Residential Design Guidelines 7.1 through 7.6 encourage a building's mass to relate *“to the context of other homes nearby”* and to *“minimize the mass of a building as seen from the public way or adjacent properties.”* Further, these guidelines state that *“a building should relate to a human scale in its basic forms.”*

Residences in this neighborhood maintain a primarily first-story appearance from the street and are largely obscured by trees as this is a more heavily forested area. The proposed 412-square-foot upper-story addition will result in an overall higher profile since a second-story building element will be added. However, 80% of the mass of the residence is located on the lower-floor.

Additionally, this proposal reduces the height of the two-story addition by stepping the lower-floor garage down to grade, to avoid the unnecessary height and mass added by the unusable 4.5-foot-high under-floor area the existing residence sits above. Stepping the lower story down allows the height of the second-story addition to also be kept low at 20'-5" (only 5'-3" higher than the ridge height of the first floor). The mass and bulk of the proposed remodel is located toward the rear of the lot (70' from the front lot line) which decreases its visibility from the street. While the addition will be located only 3 feet from the south property line, the lot to the south is not developed and the overall height of the addition is kept low in comparison to the maximum 24-foot ridge height allowed by the Municipal Code.

In staff's opinion, the proposed upper-story remodel and addition meets the objectives of the Residential Design Guidelines, by being oriented to a human scale, and utilizing the slope of the lot to keep the profile of the second-story addition low to better blend with the primarily single-story residential character of this neighborhood.

***Building & Roof Form:*** Residential Design Guidelines 8.1 through 8.5 state that *"building forms should be simple. "Roof forms should be composed of just a few simple planes," "Avoid complex roof forms that call attention to the design or add unnecessary detail," "In general, moderately pitched roofs (4:12 to 6:12) are preferred."* Residential Design Guideline 6.1 states that, *"Facilities for parking should not dominate the design of the house or site. Garages that are not visible from the street are encouraged. Garages integrated into the building design are encouraged. Keep the mass of a garage subordinate to that of the house."*

The existing roof pitch is 3:12 and the proposed pitch on the addition will be 3:12. Two roof lines are proposed and both will be visible from Torres Street. The roof form is considered simple and is appropriate for the remodel and addition.

Previously, the only on-site parking for this residence consisted of a stone parking pad in the front yard setback facing Torres Street. The construction of an attached garage will provide on-site covered parking. The proposed 360-square-foot garage will appear subordinate to the primary residence for two reasons: first the garage will be located below the upper-floor addition and will be recessed from the wall line of the upper-floor by 18 inches. Second, the garage will be located in the northeast rear yard out of immediate view from Torres Street. In staff's opinion, the location of the garage is consistent with City's Design Guidelines regarding building form.

***Driveway Constructed Within the Un-Paved 10th Avenue Right-of-Way:*** In 2006, the City approved an encroachment permit which was recorded with the County of Monterey granting the owner permission to construct an asphalt driveway from the property line to the City street connection within the City-owned 10th Avenue right-of-way, however the driveway was never built. The applicant is now proposing to remove the existing 11-foot-wide asphalt driveway fronting on Torres Street and install a new driveway tiring off of a split asphalt driveway approach approved by the City for the property to the north (See photographs in Attachment A). Public Works staff has reviewed this proposal and has not identified any issues. Since the driveway will be located within the unpaved public right-of-way submittal of a new permanent encroachment permit is required prior to the issuance of the building permit. Additionally, staff can support the location of the driveway provided that the driveway be limited to 10 feet in width, as proposed, and be composed of asphalt, as proposed, to keep a more informal appearance and to prevent potential long-term maintenance issues that could arise from maintaining a paver driveway in the right-of-way. Staff has drafted a condition of approval requiring that the homeowners submit a new permanent encroachment permit prior to issuance of the building permit and that the applicant adjust the existing south-facing connection to the driveway paving as needed and may propose a curvilinear driveway in order to avoid existing oak trees in the right of way and adhere to a 10-foot maximum driveway width.

***Finish Details:*** Design Guideline 9.4 states, “*Architectural details should appear to be authentic, integral elements of the overall building design concept.*” Design Guideline 9.5 encourages the use of natural materials such as wood in conjunction with stucco. Design Guideline 9.8 states, “*Roof materials should be consistent with the architectural style of the building and with the context of the neighborhood.*”

The siding of the proposed addition will match the existing residence's stucco exterior siding and the railing at the reconfigured steps will match the existing wooden deck railing depicted on sheet 1 of the plans. Windows and doors will be wood-framed while the three proposed skylights will have aluminum framing.

***Replacement of Wood Shake Roof with a Composition Shingle Roof:*** The applicant is proposing to replace the existing wood shingle roofing with new CertainTeed Presidential composition shingle roofing in the 'Autumn Blend' color. The Planning Commission should consider whether the roofing should consist of wood shingles or shakes as recommended by the Residential Design Guidelines.

- Section 9.8 of the City's Residential Design Guidelines states the following: *Roof Materials should be consistent with the architectural style of the building and with the context of the neighborhood.*
  1. *Wood shingles and shakes are preferred materials for most types of architecture typical of Carmel.*
  2. *Composition shingles that convey a color and texture similar to that of wood shingles may be considered on some architectural styles characteristics of more recent eras.*

When making a decision on the use of composition-shingle roofing, the Planning Commission should consider neighborhood context, the architectural style of the building, and the characteristics of the proposed composition shingle. Staff notes that the Planning Commission has on occasion approved the replacement of wood roofing material with composition shingles in cases when the composition shingles are compatible with architectural style of the residence, not highly visible from the street (for example, for flat or low-pitched roofs), and compatible with other homes in the neighborhood.

The applicant has submitted a letter (included as Attachment E), explaining why the owners are requesting to replace the residence's existing wood shake roof with a composition shingle roof. Staff notes that 43% (15 out of 35) of residences in this neighborhood have a wood shingle roof, 20% (7 out of 35) have a gravel roof and 17% (6 out of 35) have a composition shingle roof. The subject residence is a modern single-story bungalow that does not exemplify a particular architectural design style. The residence was constructed in 1945, and has undergone numerous remodels over time. The roof is visible from Torres Street, however it is partially obscured by a large oak tree at the front of the residence. The Planning Commission should consider whether a composition-shingle roof is appropriate for this residence.

In regard to this particular residence and proposal, staff can support the installation of a composition shingle roof in the heavy presidential shingle that is proposed since the roof is minimally visible from Torres Street, the residence does not exemplify a particular architectural style, and since the applicant will have 8 total skylights that may require access to the roof to maintain them over time. However, if the Commission does not feel that a composition shingle roof is appropriate, it can require that the applicant revise the proposal to install either a wood shingle roof or one of the synthetic shake alternatives.

**Site Coverage:** Per Municipal Code Section 17.10.030.C, site coverage shall be limited to a maximum of 22 percent of the base floor area allowed for the site. In addition, if at least 50 percent of all site coverage on the property is made of permeable or semi-permeable materials, an

additional amount of site coverage of up to four percent of the site area may be allowed. Since large portions of this 7,000 square-foot lot have more than a 30% slope which must be deducted from the buildable area, the effective lot size is 4536.7 square feet, thus, the total amount of site coverage may be 438.24 square feet plus 280 square feet (4 percent of 7,000), since 50 percent of coverage is permeable for a total of 718 square feet of allowable site coverage. The project plans propose 718 square feet of site coverage (reduced from 842 square feet of existing site coverage) with 50.1% of this amount consisting of permeable paving. In staff's opinion, the proposed residence meets the requirements of the Municipal Code.

**Fencing:** Existing fencing on the property includes a 3 to 4-foot high stepped solid fence in the north front yard and a low, 3-foot-high spaced fence on the south and rear east yard. The applicant is proposing to install a new 4-foot-high grape stake fence interspersed with 7 4-foot-high stone columns along Torres Street and a for a small stretch along 10th Avenue. New grape-stake fencing and an entry gate and arbor are proposed at the east boundary. Municipal code (17.10.030.E) prohibits fence height exceeding 4 feet and column height from exceeding 6 feet in the front yard setback, which the applicant will conform to.

**Exterior Lighting:** Municipal Code Section 15.36.070.B.1 states that all exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture. Additionally, the City's Residential Design Guidelines, Section 11.8, states an objective to "*locate and shield fixtures to avoid glare and excess lighting as seen from neighboring properties and from the street.*"

The applicant is proposing lighting fixtures to match the existing lantern-style lighting fixtures on the residence as shown on the first sheet (sheet G1.0) of the project plans. This fixture accommodates a maximum 60-watt bulb, is a lantern-style light with opaque glass, and is not entirely down-facing. While this fixture does not entirely comply with the lighting standards of the Residential Design Guidelines, staff can support the proposed light fixture because no greater than a 25-watt (375 lumen) bulb shall be installed, the proposed light fixtures match the residence's existing lighting fixtures, and the glass in the lantern style lights is frosted rather than seeded or entirely transparent.

**Alternatives:** Staff has included findings that the Commission can adopt if the Commission accepts the overall design. However, if the Commission does not support the design, or does not support

the conclusion submitted by Staff, then the Commission could continue the application with specific direction given to the applicant/staff.

***Environmental Review:*** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 863.5 square foot addition to an existing 1,124 square-foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

## **ATTACHMENTS**

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Garage Foundation and Bridged Footing for Tree Root
- Attachment E – Roofing Letter
- Attachment F – Project Plans

***Nai Residence Site Photographs***



***East Front Elevation***



***Rear West Elevation and Area of Addition***



***North Side Elevation***



***South Side Elevation***



***Driveway Connection Constructed within the 10th Avenue Right-of-Way Utilized by Both the Property to the North and the Property to the South***



***Driveway Connection Constructed within the 10th Avenue Right-of-Way***



**Significant Tree Root Identified by the Project's Arborist to be located under the garage foundation.**



**The proposed addition in relation to the base of the 40" significant Monterey pine**



The proposed addition in relation to the 40" significant Monterey pine





*Rear West Elevation and Area of Addition*

## Attachment B – Findings for Approval

DS 17-429 (Nai)  
 February 14, 2018  
 Findings for Approval  
 Page 1

<b><u>FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)</u></b>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
<b>Municipal Code Finding</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the General Plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

**COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):**

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

## Attachment C – Conditions of Approval

DS 17-429 (Nai)

February 14, 2018

Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	<b>Authorization:</b> This approval of Design Study (DS 17-429) authorizes the applicant to construct: 1) an 863.5 square-foot addition to an existing residence consisting of a 91-square-foot main level addition, a 412.5 square-foot upper-level addition and a lower-level 360 square-foot attached garage addition to the rear of the property. Features include 2) wood clad windows and stucco siding, 3) Presidential shake composition shingle roofing, 4) a 4-foot high solid grape stake fence punctuated by 4-foot-high stone columns, 5) construction of a new 10-foot-wide asphalt driveway within the 10th Avenue right-of-way, 6) a low wood retaining wall in the rear yard, 7) new wood steps to access an existing bedroom, 8) the installation of stone veneer to the existing brick chimney.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	<b><u>All foundations within 15 feet of significant trees shall be excavated by hand.</u></b> If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to	✓

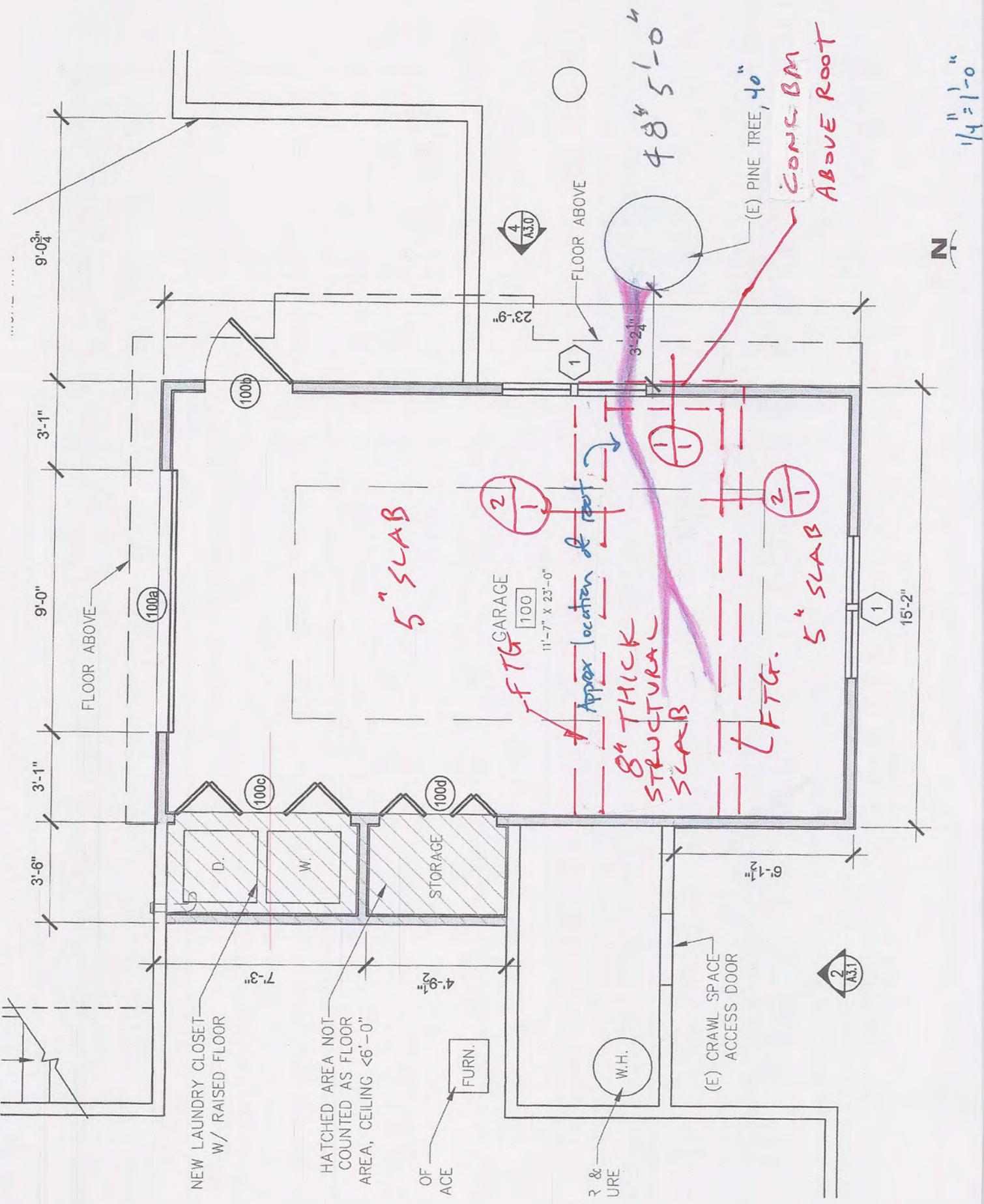
	<p>be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed.</p> <p>Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.</p>	
7.	<p>Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 7,000-square-foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.</p>	✓
8.	<p>The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.</p>	✓
9.	<p>Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.</p>	✓
10.	<p><b><u>All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties.</u></b> The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.</p>	✓
11.	<p>The Carmel stone façade on the chimney and front columns shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted.</p>	✓
12.	<p>The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.</p>	N/A
13.	<p>The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit,</p>	✓

	or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A
20.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be	✓

	significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
21.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
22.	Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
23.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
<b>Special Conditions</b>		
24.	The applicant shall submit a tree removal permit for the removal of the 34" pine tree and the toyon tree.	✓
25.	The property owners shall submit a new permanent encroachment permit application prior to issuance of the building permit, for the location of the driveway within the 10th Avenue right-of-way.	✓
26.	The driveway shall be limited to 10 feet in width, shall be composed of asphalt to keep a more informal appearance. The applicant shall be permitted to adjust the existing south-facing connection to the driveway paving as needed and may propose a curvilinear driveway in order to avoid existing oak trees in the right of way and adhere to a 10-foot maximum driveway width.	✓
27.	The applicant shall move the eastern elevation of the addition an additional one foot (12 inches) away from the 40" Monterey pine.	✓
28.	The applicant shall construct the foundation of the garage to protect and prevent harm to an existing significant Monterey pine tree root located directly under the garage foundation. The garage foundation will bridge the tree root as shown on the Garage Foundation plan dated 12/13/17. The applicant shall include on the building plan set a rendering of this garage foundation plan which	✓



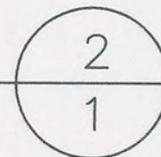
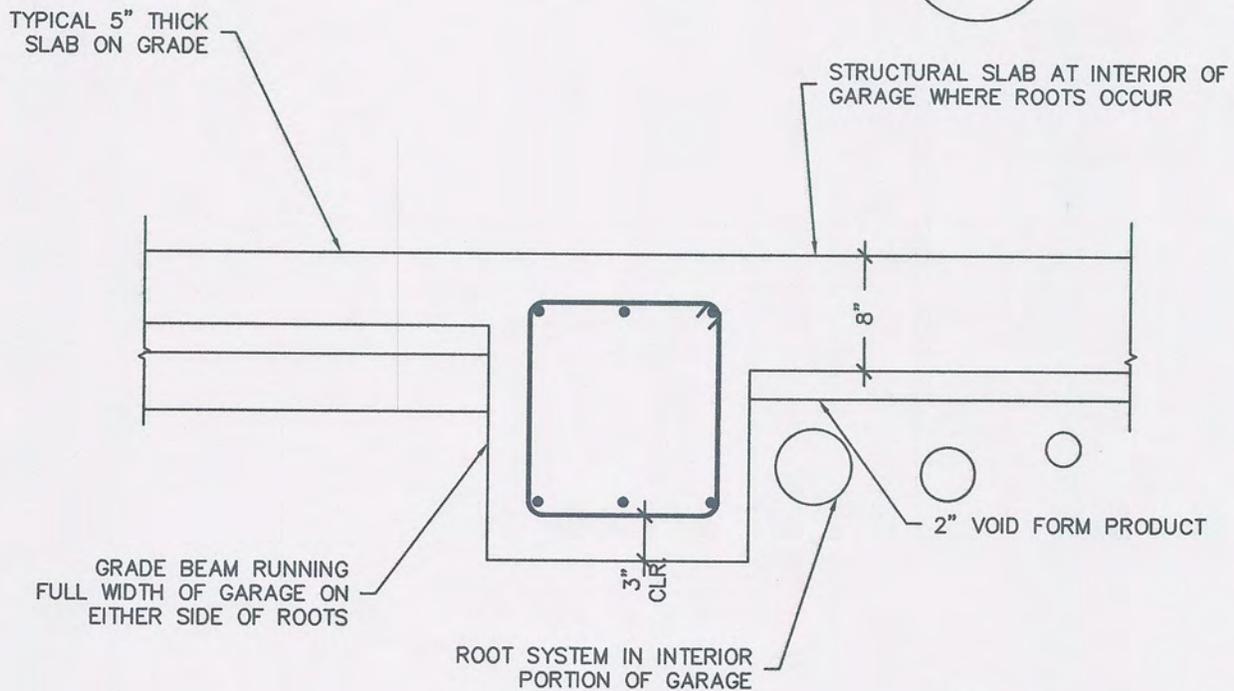
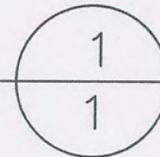
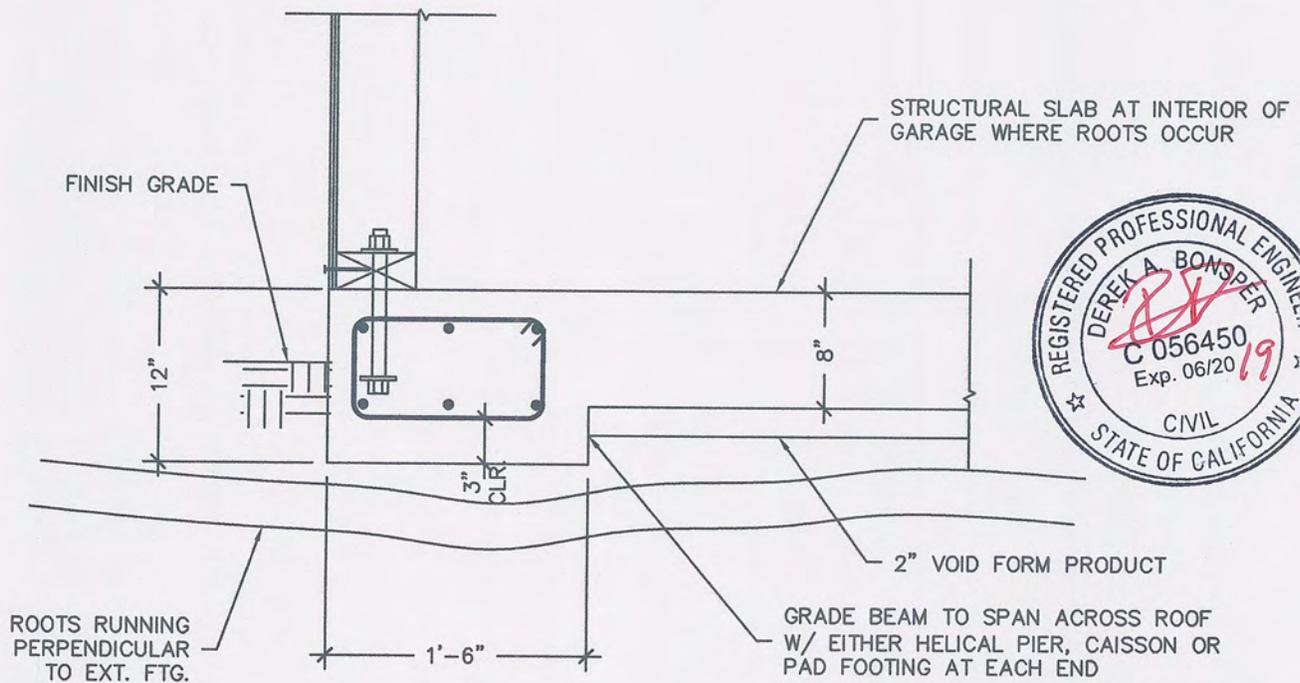
Nai Residence - 12/13/17



1/4" = 1'-0"  
N

DATE: 12-18-2017

SHEET 1 OF 1



PROJECT: NAI RESIDENCE, TORRES 1 SE OF 10TH. CARMEL, CA 93921

# Attachment E - Roofing Letter

SAMUEL PITNICK ARCHITECTS, INC.  
PO Box 22412, Carmel, CA 93922  
(t) 831.241.1895 (e) samuelpitnick@gmail.com (w) samuelpitnick.com

City of Carmel-by-the-Sea  
Planning Department & Planning Commission  
Re: Nai Residence (DS 17-429)

February 5, 2018

To the Carmel Planning Department & Planning Commission,

The following letter and attached documents address the proposed asphalt shingle roof for the Nai Residence (DS 17-429) and provide reasoning behind the decision to use this product in lieu of a wood shake roof.

The existing roof is composed of wood shake shingles however this material has proven to be a significant maintenance issue for the Nai's over the years. We are proposing to install new asphalt shingles over the existing home and new addition which in our opinion, and that of the roofing contractors we've spoken with, is a more appropriate application.

We are proposing an asphalt shingle roof for the following reasons:

1. A wood shake roof poses a much more serious fire hazard. Not only for the wood shingles but also for their tendency to hold a lot of debris (needles, leaves, pine cones) from the surrounding trees which acts as fuel for fire.
2. There is a very low slope roof over the existing kitchen which is not suitable for a wood shake roof. This part of the roof already leaks severely because the wood shingles are unable to shed the water properly.
3. The existing wood shake has failed prematurely as it's the wrong application for the overall roof which has a slope of 3:12. Wood shake is recommended for steeper roofs.
4. Wood shake roofs require significantly more maintenance and have a much shorter lifespan.

We are proposing to use Certainteed's Presidential Shake Triple Laminate asphalt shingle in the 'Autumn Blend' color. This is a high-quality asphalt product that is thicker than traditional asphalt shingles which creates a look more closely resembling wood shingles. The Autumn Blend has a nice mix of brown hues which creates a more natural look and also compliments the design of the existing house.

Included in this letter are a series of photos that show neighboring homes along Torres that all have an asphalt shingle roof. These examples are just within a few blocks of the Nai Residence. All throughout the City of Carmel there are many instances of asphalt shingle roofs being installed.

We hope that the City Planning Department and members of the Planning Commission will recognize the benefit of using a high-quality asphalt shingle roof and support this proposed material and project as a whole.

Sincerely,



Samuel Pitnick

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication in any medium, in whole or in part, is prohibited. This is to the plans and specifications remains with the architect without prejudice. Users comply with these plans and specifications shall consult prima facie evidence of the accuracy of these restrictions.

**PROPOSED MATERIALS**

NOTE: ALL NEW MATERIALS TO MATCH EXISTING HOUSE.



ASPHALT SHINGLE ROOF:  
CERTAINTED PRESIDENTIAL SHAKE TL 'AUTUMN BLEND'



STUCCO SIDING



WOOD RAILING



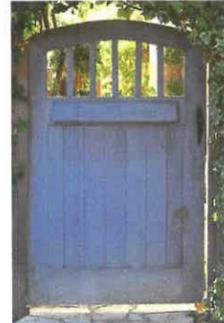
WOOD FRAMED WINDOW, PLANTER BOX & EXPOSED WOOD BEAMS



GRAPE STAKE FENCE W/  
STONE PILLARS (SAME STONE AT CHIMNEY)



EXTERIOR DOORS & LIGHTING



GATE AT FRONT YARD



STONE PAVERS



P.T. WOOD RETAINING WALL

**GENERAL NOTES**

1. CONTRACTOR TO FIELD VERIFY SURVEY AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".

**EXISTING SITE PHOTOS**



VIEW FROM 10TH & TORRES LOOKING SOUTHEAST



VIEW FROM 10TH AVE. LOOKING SOUTH



VIEW OF PROPOSED DRIVEWAY



VIEW OF REAR YARD LOOKING SOUTH

**SHEET INDEX**

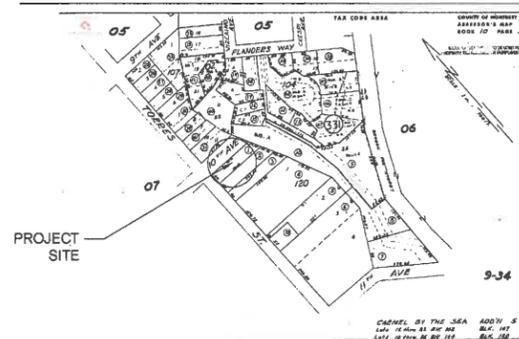
- G1.0 PROJECT INFORMATION
- G1.1 GRADING & CONSTRUCTION MANAGEMENT PLAN
- G1.2 BEST MANAGEMENT PRACTICES
- G1.3 SURVEY
- A1.0 SITE PLAN
- A1.1 LOT COVERAGE CALCULATIONS
- A2.0 EXISTING & DEMOLITION FLOOR PLANS
- A2.1 PROPOSED FLOOR PLANS
- A2.2 EXISTING & PROPOSED ROOF PLANS
- A3.0 BUILDING ELEVATIONS
- A3.1 BUILDING ELEVATIONS
- A3.2 BUILDING ELEVATIONS
- A3.3 STREET VIEW ELEVATIONS

**BUILDING CODE INFO**

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

**PARCEL MAP**



**VICINITY MAP**



**SCOPE OF WORK**

CONSTRUCTION OF A NEW 883.5 SF TWO STORY ADDITION. THE ADDITION INCLUDES A ONE CAR GARAGE ON THE LOWER LEVEL, NEW BATHROOM AT THE MAIN HOUSE LEVEL, AND A MASTER BEDROOM, BATHROOM, AND WALK-IN CLOSET AT THE NEW UPPER LEVEL.

SCOPE OF WORK ALSO INCLUDES A PARTIAL REMODEL OF THE EXISTING KITCHEN.

EXTERIOR SCOPE OF WORK INCLUDES REMOVAL OF AN EXISTING ASPHALT DRIVEWAY IN THE FRONT YARD, CONSTRUCTION OF A NEW DRIVEWAY OFF OF 10TH AVE., LOW P.T. WOOD RETAINING WALL IN THE REAR YARD, NEW WOOD STEPS TO ACCESS AN EXISTING BEDROOM, AND REPLACEMENT OF THE EXISTING WOOD SHINGLE ROOF WITH A NEW CLASS 'A' RATED ASPHALT SHINGLE ROOF.

NO LANDSCAPING IS BEING PROPOSED.

**PROJECT TEAM**

OWNER	JOHN & ELISE NAI 821 BERTRAM STREET WALNUT CREEK, CA 94598 PHONE: (925) 330-0129
ARCHITECT	SAMUEL PITNICK ARCHITECTS, INC. LICENSE # C-34362 PO BOX 22412, CARMEL, CA 93922 PHONE: (831) 241-1895 SAMUELPITNICK@GMAIL.COM
SURVEYOR	CENTRAL COAST SURVEYORS DAVE EDSON 5 HARRIS CT, MONTEREY, CA 93940 PHONE: (831) 394-4930
ARCHAEOLOGIST	(PREVIOUSLY PREPARED IN 2006 BY MARY DOANE)
ARBORIST	FRANK ONO, F.O. CONSULTING 1213 MILES AVE., PACIFIC GROVE, CA PHONE: (831) 373-7086

**PROJECT INFORMATION**

PROPERTY ADDRESS	TORRES, 1 S.E. OF 10TH AVENUE CARMEL-BY-THE-SEA, CA 93923 BLOCK: 120 LOT: 1
APN	010-331-001-000
ZONING	R-1 (SINGLE FAMILY RESIDENTIAL)
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE U / GARAGE

**BUILDING INFORMATION & LOT COVERAGE**

LOT SIZE	7,000 SF PER MONTEREY COUNTY ASSESSOR
EFFECTIVE LOT SIZE (LESS THAN 30% SLOPE PER CMC SECTION 17.06.020.D)	4,536.7 SF
ALLOWABLE BASE FLOOR AREA	1,992 SF
(E) FLOOR AREA:	1,124 SF
(P) FLOOR AREA:	
(E) HOUSE	1,124 SF
(P) MAIN LEVEL ADDITION	91 SF
(P) UPPER LEVEL ADDITION	412.5 SF
(P) GARAGE	360 SF
TOTAL	1,987.5 SF
ALLOWABLE LOT COVERAGE	438.24 SF (22% BASE FLOOR AREA)
ALLOWABLE COVERAGE W/ BONUS	718.24 SF (4% SITE AREA)
(E) LOT COVERAGE:	842 SF (47.5% PERMEABLE)
(P) LOT COVERAGE:	718 SF (50.1% PERMEABLE) (SEE SHEET A1.1 FOR MORE INFO)

**MISCELLANEOUS**

WATER SOURCE	CAL AM
WASTE DISPOSAL SYSTEM	SEWER - C.A.W.D.
TREES TO BE REMOVED	(1) 8" TOYON TREE (1) 34" PINE TREE
GRADING ESTIMATES	
(P) GRADING CUT	10.5 CU.YDS.
(P) GRADING FILL	10.5 CU.YDS. (BALANCED)
(E) PARKING	1 SPACE (UNCOVERED)
(P) PARKING	1 SPACE (COVERED)

**RECEIVED**

**JAN 16 2018**

City of Carmel-by-the-Sea  
Planning & Building Dept.

NOT FOR CONSTRUCTION

NAI RESIDENCE  
REMODEL &  
ADDITION

TORRES, 1 S.E. OF 10TH  
CARMEL-BY-THE-SEA,  
CA 93923



SAMUEL PITNICK ARCHITECTS, INC.  
P.O. BOX 22412, CARMEL, CA 93922  
PHONE: (831) 241-1895  
EMAIL: SAMUELPITNICK@GMAIL.COM

REVISIONS DATE

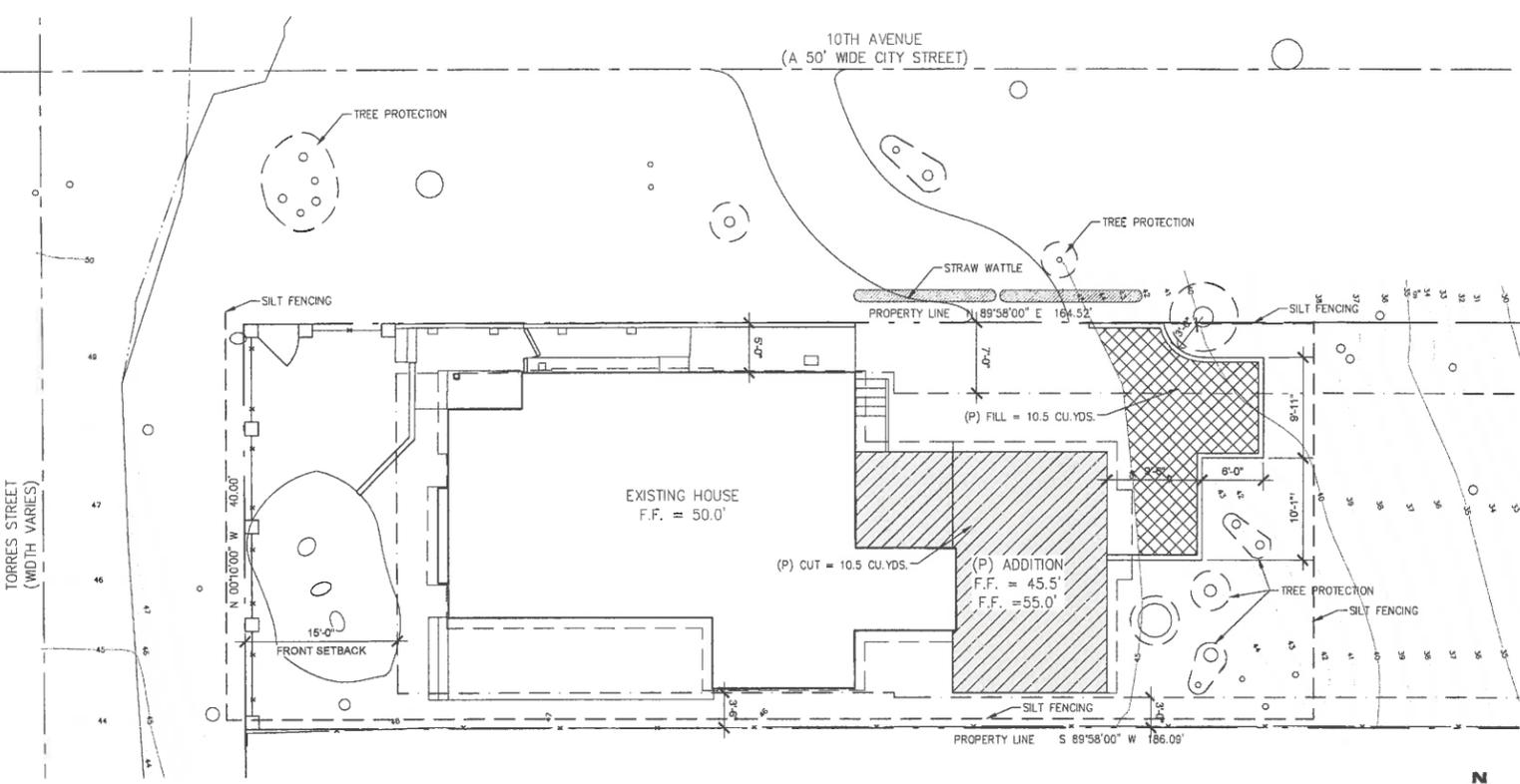
ARCHITECTURAL

PROJECT  
INFORMATION

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

**G1.0**

01/14/2018



**1 CONSTRUCTION MANAGEMENT & GRADING PLAN**  
SCALE: 1/8" = 1'-0"

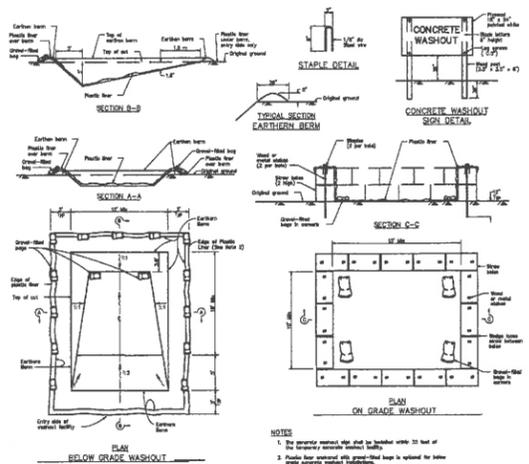
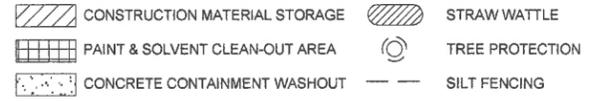
**CONSTRUCTION MANAGEMENT NOTES**

- TREE PROTECTION SHALL BE IN PLACE PRIOR TO ANY PERMITS BEING ISSUED.
- ALSO SEE BEST MANAGEMENT PRACTICES NOTES ON SHEET G1.2

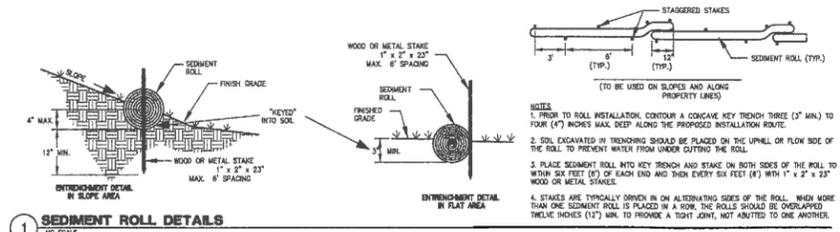
**GRADING LEGEND:**



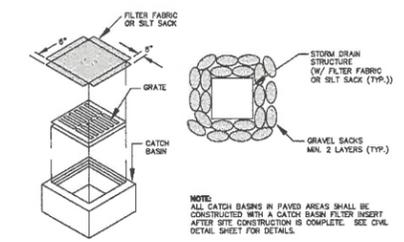
**CONSTRUCTION MANAGEMENT LEGEND:**



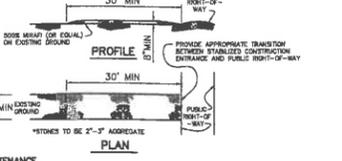
**5 CONCRETE WASHOUT AREA**  
NO SCALE



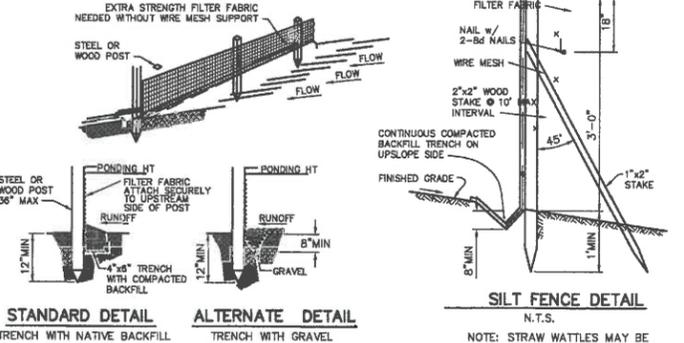
**1 SEDIMENT ROLL DETAILS**  
NO SCALE



**2 FABRIC INLET PROTECTION**  
NO SCALE



**3 CONSTRUCTION ENTRANCE**  
NO SCALE



**4 SILT FENCE DETAIL**  
NO SCALE

**EROSION CONTROL NOTES**

- ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGHOUT THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
- ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.
- THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 15 AND APRIL 15. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.
  - RUNOFF FROM THE SITE SHALL BE OBTAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
  - EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
  - THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
  - CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE SANTA LUCIA PRESERVE.
- AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, AN IMMEDIATE REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LOADING RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- WITH THE APPROVAL OF THE ENGINEER, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.

**EROSION AND SEDIMENT CONTROL MEASURES**

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENuded SLOPES, SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.
- APPLY STRAW WITH TACKIFIER TO ALL DISTURBED AREAS. AFTER SEEDING, ANCHOR STRAW IN SLOPES BY TRACK ROLLING, AS SHOWN ON THIS SHEET.

- IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER; 2) BLOWN STRAW; 3) TACKIFIER AND MULCH.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.

**EMPLOYEE TRAINING**

- STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
  - SPILL PREVENTION AND RESPONSE;
  - LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
  - GOOD HOUSEKEEPING;
  - FINES AND PENALTIES;
  - MATERIAL MANAGEMENT PRACTICES.
- USUALLY OBSERVE AND MAINTAIN BMPs AS FOLLOWS:
  - INSPECT BMPs:
    - WEEKLY, AND
    - WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
    - WITHIN 48 HOURS AFTER EACH STORM EVENT.
  - REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
  - SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SLUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
  - TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
  - REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
  - REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

**NON-STORM WATER DISCHARGES**

- NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
- MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT EJECTOR CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
- HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:
  - FIRE HYDRANT FLUSHING,
  - IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,
  - PIPE FLUSHING AND TESTING,
  - WATER TO CONTROL DUST,
  - UNCONTAMINATED GROUND WATER FROM DEWATERING,
  - OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.
- THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:
  - THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD
  - THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT
  - THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN
  - THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT
  - THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS
  - THE DISCHARGE IS MONITORED AND MEETS THE APPLICABLE NALS AND NELS
  - THE DISCHARGER REPORTS THE SAMPLING INFORMATION IN THE ANNUAL REPORT
- IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.

**NAI RESIDENCE REMODEL & ADDITION**

TORRES, 1 S.E. OF 10TH CARMEL-BY-THE-SEA, CA 93923



**SAMUEL PITNICK ARCHITECTS, INC.**  
P.O. BOX 22412, CARMEL, CA 93927  
PHONE: (831) 241-1885  
EMAIL: SAMUEL.PITNICK@GMAIL.COM

REVISIONS	DATE

ARCHITECTURAL  
GRADING & CONSTRUCTION MANAGEMENT

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

**G1.1**

01/14/2018

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**PAINTING AND PAINT REMOVAL**

**PAINTING CLEANUP:**

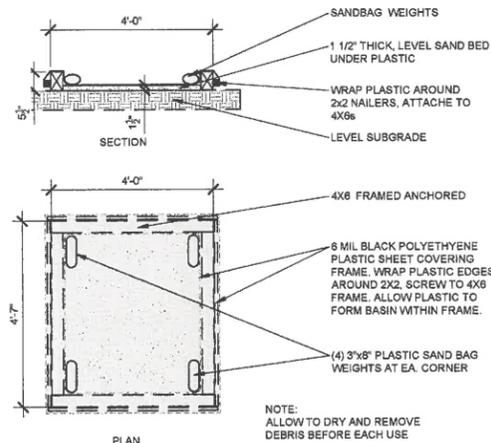
1. NEVER CLEAN BRUSHES OR RINSE PAINT CONTAINERS INTO A STREET, GUTTER, STORM DRAIN, OR SURFACE WATERS.
2. FOR WATER-BASED PAINTS, PAINT OUT BRUSHES TO THE EXTENT POSSIBLE. RINSE TO THE SANITARY SEWER ONCE YOU HAVE GAINED PERMISSION FROM THE LOCAL WASTEWATER TREATMENT AUTHORITY. NEVER POUR PAINT DOWN A DRAIN.
3. FOR OIL-BASED PAINTS, PAINT OUT BRUSHES TO THE EXTENT POSSIBLE AND CLEAN WITH THINNER OR SOLVENT IN PROPER CONTAINER. FILTER AND REUSE THINNERS AND SOLVENTS. DISPOSE OF RESIDUE AND UNUSABLE THINNER / SOLVENTS AS HAZARDOUS WASTE.

**PAINT REMOVAL:**

4. CHEMICAL PAINT STRIPPING RESIDUE AND CHIPS AND DUST FROM MARINE PAINTS OR PAINTS CONTAINING LEAD OR TRIBUTYL TIN MUST BE DISPOSED OF AS HAZARDOUS WASTE.
5. PAINT CHIPS AND DUST FROM NON-HAZARDOUS DRY STRIPPING AND SAND BLASTING MAY BE SWEEPED UP OR COLLECTED IN PLASTIC DROP CLOTHS AND DISPOSED OF AS TRASH.

**LANDSCAPE MATERIALS**

1. CONTAIN STOCKPILED LANDSCAPING MATERIALS BY STORING THEM UNDER TARPS WHEN THEY ARE NOT ACTIVELY BEING USED.
2. STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS. COVER OR STORE THESE MATERIAL WHEN THEY ARE NOT ACTIVELY BEING USED OR APPLIED.
3. DISCONTINUE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECAST RAIN EVENT OR DURING WET WEATHER.



**1 PAINT & SOLVENT CLEAN OUT**  
SCALE: 1/2"=1'-0"

**EARTHWORK AND CONTAMINATED SOILS**

**EROSION CONTROL:**

1. SCHEDULE GRADING AND EXCAVATION WORK FOR DRY WEATHER ONLY.
2. STABILIZE ALL DENUDED AREAS, INSTALL AND MAINTAIN TEMPORARY EROSION CONTROLS (SUCH AS EROSION CONTROL FABRIC OR BONDED FIBER MATRIX) UNTIL VEGETATION IS ESTABLISHED.
3. SEED OR PLANT VEGETATION FOR EROSION CONTROL ON SLOPES OR WHERE CONSTRUCTION IS NOT IMMEDIATELY PLANNED.

**SEDIMENT CONTROL:**

4. PROTECT STORM DRAIN INLETS, GUTTERS, DITCHES, AND DRAINAGE COURSES WITH APPROPRIATE BMP'S, SUCH AS GRAVEL BAGS, FIBER ROLLS, BERMS, ETC.
5. PREVENT SEDIMENT FROM MIGRATING OFFSITE BY INSTALLING AND MAINTAINING SEDIMENT CONTROLS, SUCH AS FIBER ROLLS, SILT FENCES, OR SEDIMENT BASINS.
6. KEEP EXCAVATED SOIL ON SITE WHERE IT WILL NOT COLLECT INTO THE STREET.
7. TRANSFER EXCAVATED MATERIALS TO DUMP TRUCKS ON THE SITE, NOT IN THE STREET.

**CONTAMINATED SOILS:**

8. IF ANY OF THE FOLLOWING CONDITIONS ARE OBSERVED, TEST FOR CONTAMINATION AND CONTACT THE REGIONAL WATER QUALITY CONTROL BOARD:  
-UNUSUAL SOIL CONDITIONS, DISCOLORATION, OR ODOR  
-ABANDONED WELLS  
-BURRIED BARRELS, DEBRIS OR TRASH

**PAVING AND ASPHALT WORK**

1. AVOID PAVING AND SEAL COATING IN WET WEATHER, OR WHEN RAIN IS FORECAST BEFORE FRESH PAVEMENT WILL HAVE TIME TO CURE.
2. COVER STORM DRAIN INLETS AND MANHOLES WHEN APPLYING SEAL COAT, TACK COAT, SLURRY SEAL, FOG SEAL, ETC.
3. COLLECT AND RECYCLE OR APPROPRIATELY DISPOSE OF EXCESS ABRASIVE GRAVEL OR SAND. DO NOT SWEEP OR WASH IT INTO THE GUTTERS.
4. DO NOT USE WATER TO WASH DOWN FRESH ASPHALT CONCRETE PAVEMENT.

**SAW-CUTTING & ASPHALT / CONCRETE REMOVAL:**

5. COMPLETELY COVER OR BARRICADE STORM DRAIN INLETS WHEN SAW CUTTING. USE FILTER FABRIC, CATCH BASIN INLET FILTERS, OR GRAVEL BAGS TO KEEP SLURRY OUT OF THE STORM DRAIN SYSTEM.
6. SHOVEL, ABSORB, OR VACUUM SAW-CUT SLURRY AND SIPOSE OF ALL WASTE AS SOON AS FINISHED IN ONE LOCATION OR AT THE END OF EACH WORK DAY (WHICHEVER IS SOONER).
7. IF SAW-CUT SLURRY ENTERS A CATCH BASIN, CLEAN UP IMMEDIATELY.

**CONCRETE, GROUT AND MORTAR APPLICATION**

1. STORE CONCRETE, GROUT AND MORTAR UNDER COVER, ON PALLETS AND AWAY FROM DRAINAGE AREAS. THESE MATERIALS MUST NEVER REACH A STORM DRAIN.
2. WASH OUT CONCRETE EQUIPMENT / TRUCKS OFFSITE OR IN A CONTAINED AREA, SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL OR ONTO SURROUNDING AREAS. LET CONCRETE HARDEN AND DISPOSE OF AS GARBAGE.
3. COLLECT THE WASH WATER FROM WASHING EXPOSED AGGREGATE CONCRETE AND REMOVE IT FOR APPROPRIATE DISPOSAL OFFSITE.

**DE-WATERING**

1. EFFECTIVELY MANAGE ALL RUN-ON, ALL RUNOFF WITHIN THE SITE, AND ALL RUNOFF THAT DISCHARGES FROM THE SITE. DIVERT RUN-ON WATER FROM OFFSITE AWAY FROM ALL DISTURBED AREAS OR OTHERWISE ENSURE COMPLIANCE.
2. WHEN DEWATERING, NOTIFY AND OBTAIN APPROVAL DISCHARGING WATER TO A STREET GUTTER OR STORM DRAIN. FILTRATION OR DIVERSION THROUGH A BASIN, TANK, OR SEDIMENT TRAP MAY BE REQUIRED.
3. IN AREAS OF KNOWN CONTAMINATION, TESTING IS REQUIRED PRIOR TO THE REUSE OR DISCHARGE OF GROUNDWATER. CONSULT WITH THE ENGINEER TO DETERMINE WHETHER TESTING IS REQUIRED AND HOW TO INTERPRET RESULTS. CONTAMINATED GROUNDWATER MUST BE TREATED OR HAULED OFF-SITE FOR PROPER DISPOSAL.

**MATERIALS & WASTE MANAGEMENT**

**NON-HAZARDOUS MATERIALS:**

1. BERM AND COVER STOCKPILES OF SAND, DIRT OR OTHER CONSTRUCTION MATERIAL WITH TARPS WHEN RAIN IS FORECAST OR IF NOT ACTIVELY BEING USED WITHIN 14 DAYS.
2. USE (BUT DON'T OVERUSE) RECLAIMED WATER FOR DUST CONTROL.

**HAZARDOUS MATERIALS:**

3. LABEL ALL HAZARDOUS MATERIALS AND HAZARDOUS WASTES (SUCH AS PESTICIDES, PAINTS, THINNERS, SOLVENTS, FUEL, OIL AND ANTIFREEZE) IN ACCORDANCE WITH CITY, COUNTY, STATE AND FEDERAL REGULATIONS.
4. STORE HAZARDOUS MATERIALS AND WASTES IN WATER TIGHT CONTAINERS, STORE IN APPROPRIATE SECONDARY CONTAINMENT, AND COVER THEM AT THE END OF EVERY WORK DAY OR DURING WET WEATHER OR WHEN RAIN IS FORECAST.
5. FOLLOW MANUFACTURER'S APPLICATION INSTRUCTIONS FOR HAZARDOUS MATERIALS AND BE CAREFUL NOT TO USE MORE THAN NECESSARY. DO NOT APPLY CHEMICALS OUTDOORS WHEN RAIN IS FORECAST WITHIN 24 HOURS.
6. ARRANGE FOR APPROPRIATE DISPOSAL OF ALL HAZARDOUS WASTES.

**WASTE MANAGEMENT:**

7. COVER WASTE DISPOSAL CONTAINERS SECURELY WITH TARPS AT THE END OF EVERY WORK DAY AND DURING WET WEATHER.
8. CHECK WASTE DISPOSAL CONTAINERS FREQUENTLY FOR LEAKS AND TO MAKE SURE THEY ARE NOT OVERFILLED. NEVER HOSE DOWN A DUMPSTER ON THE CONSTRUCTION SITE.
9. CLEAN OR REPLACE PORTABLE TOILETS AND INSPECT THEM FREQUENTLY FOR LEAKS AND SPILLS.
10. DISPOSE OF ALL WASTES AND DEBRIS PROPERLY. RECYCLE MATERIALS AND WASTES THAT CAN BE RECYCLED (SUCH AS ASPHALT, CONCRETE, AGGREGATE BASE MATERIALS, WOOD, GYP BOARD, PIPE, ETC)
11. DISPOSE OF ALL LIQUID RESIDUES FROM PAINTS, THINNERS, SOLVENTS, GLUES, AND CLEANING FLUIDS AS HAZARDOUS WASTE.

**CONSTRUCTION ENTRANCES AND PERIMETER:**

12. ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM SITE AND TRACKING OFF SITE.
13. SWEEP OR VACUUM ANY STREET TRACKING IMMEDIATELY AND SECURE SEDIMENT SOURCE TO PREVENT FURTHER TRACKING. NEVER HOSE DOWN STREETS TO CLEAN UP TRACKING.

**EQUIPMENT MANAGEMENT & SPILL CONTROL**

**MAINTENANCE AND PARKING:**

1. DESIGNATE AN AREA, FITTED WITH APPROPRIATE BMP'S FOR VEHICLE AND EQUIPMENT PARKING AND STORAGE.
2. PERFORM MAJOR MAINTENANCE, REPAIR JOBS, AND VEHICLE AND EQUIPMENT WASHING OFF SITE.
3. IF REFUELING OR VEHICLE MAINTENANCE MUST BE DONE ONSITE, WORK IN A BERMED AREA AWAY FROM STORM DRAINS AND OVER A DRIP PAN BIG ENOUGH TO COLLECT FLUIDS. RECYCLE OR DISPOSE OF FLUIDS AS HAZARDOUS WASTE.
4. IF VEHICLE OR EQUIPMENT CLEANING MUST BE DONE ONSITE, CLEAN WITH WATER ONLY IN A BERMED AREA THAT WILL NOT ALLOW RINSE WATER TO RUN INTO GUTTERS, STREETS, STORM DRAINS, OR SURFACE WATERS.
5. DO NOT CLEAN VEHICLE OR EQUIPMENT ONSITE USING SOAPS, SOLVENTS, DEGREASERS, STEAM CLEANING EQUIPMENT, ETC.

**SPILL PREVENTION AND CONTROL:**

6. KEEP SPILL CLEANUP MATERIALS (RAGS, ABSORBENTS, ETC) AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
7. INSPECT VEHICLES AND EQUIPMENT FREQUENTLY FOR AND REPAIR LEAKS PROMPTLY. USE DRIP PANS TO CATCH LEAKS UNTIL REPAIRS ARE MADE.
8. CLEAN UP SPILLS OR LEAKS IMMEDIATELY AND DISPOSE OF CLEANUP MATERIALS PROPERLY.
9. DO NOT HOSE DOWN SURFACES WHERE FLUIDS HAVE SPILLED. USE DRY CLEANUP METHODS (ABSORBENT MATERIALS, CAT LITTER, AND OR RAGS)
10. SWEEP UP SPILLED DRY MATERIALS IMMEDIATELY. DO NOT TRY TO WASH THEM AWAY WITH WATER, OR BURY THEM.
11. CLEAN UP SPILLS ON DIRT AREAS BY DIGGING UP AND PROPERLY DISPOSING OF CONTAMINATED SOIL.
12. REPORT SIGNIFICANT SPILLS IMMEDIATELY. CONTRACTOR IS REQUIRED BY LAW TO REPORT ALL SIGNIFICANT RELEASES OF HAZARDOUS MATERIALS, INCLUDING OIL.

**NOT FOR CONSTRUCTION**

**NAI RESIDENCE REMODEL & ADDITION**

TORRES, 1 S.E. OF 10TH CARMEL BY THE SEA, CA 93923



**SAMUEL PITNICK ARCHITECTS, INC.**  
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REVISIONS	DATE

**ARCHITECTURAL**  
**BEST MANAGEMENT PRACTICES**

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

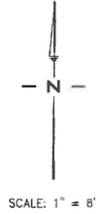
**G1.2**

01/14/2018

BLOCK 107

10TH AVENUE  
(A 30' WIDE CITY STREET)

MANHOLE



SCALE: 1" = 8'

TORRES STREET  
(WIDTH VARIES)

LEGEND:

- ICV IRRIGATION CONTROL VALVE
- P PILLAR
- SSCO SANITARY SEWER CLEANOUT
- DENOTES A 12" DIA OAK TREE (TYP.)
- DENOTES A 12" DIA. PINE TREE (TYP.)
- DENOTES A STEP
- DENOTES A ROOF OVERHANG

A PORTION OF LOT 1  
BLOCK 120  
DOCUMENT# 2016076481  
VOL. 2 - C&T - PG. 22  
APN: 010-331-001

BLOCK 120

TOPOGRAPHIC MAP

OF A PORTION OF  
LOT 1 IN BLOCK 120  
AS SHOWN ON THE  
"MAP OF ADDITION No.5 TO  
CARMEL-BY-THE-SEA  
SURVEYED AUGUST & SEPTEMBER, 1907"  
FILED IN, VOL. 2 - C&T - PG. 22  
ALSO DESCRIBED IN THE DEED  
RECORDED IN DOCUMENT #2016076481  
OFFICIAL RECORDS OF MONTEREY COUNTY

CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR  
Elise & John Nai

BY  
CENTRAL COAST SURVEYORS  
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940  
Phone: (831) 394-4930  
Fax: (831) 394-4931

SCALE: 1" = 8' JOB No. 04-108 JULY 2004

PREPARED: LLJS

APN 010-331-001

REVISED 7/20/2004: ADDED SLOPE DENSITY ANALYSIS  
UPDATED: JULY 14, 2017  
REVISED 8/10/2004: MODIFIED SLOPE AREA CALCULATIONS

NOTES:

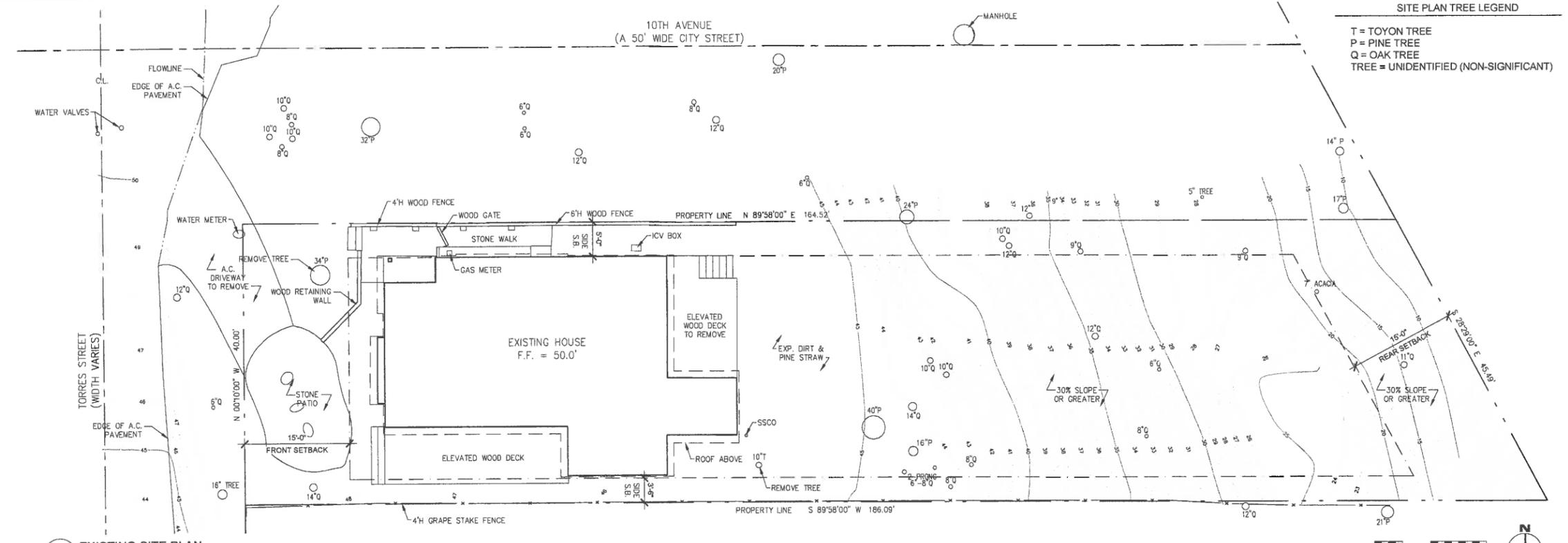
1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
2. ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. TEMPORARY BENCHMARK IS FINISHED FLOOR OF HOUSE, TAKEN AT ENTRY THRESHOLD.  
ELEVATION = 50.00 FEET (ASSUMED)
3. CONTOUR INTERVAL = ONE FOOT, EXCEPT WHERE OTHERWISE INDICATED.
4. TREE TYPES ARE OAK UNLESS OTHERWISE INDICATED. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. MULTI-PRONGED TREES LABELED "x-P".

SLOPE DENSITY TABULATION

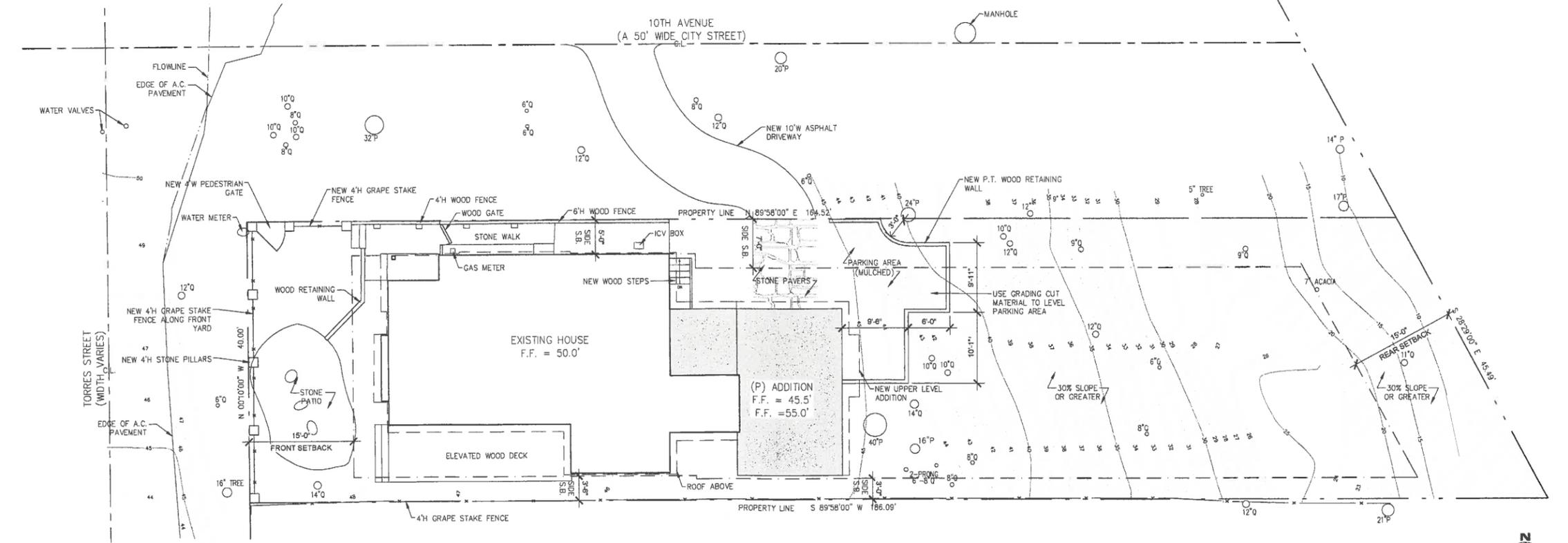
□	= SLOPE GREATER THAN 30%
TOTAL LOT AREA: 7,012.4 S.F.	
GREATER THAN 30% SLOPE:	
	2,475.7 S.F.
	35.3% OF TOTAL LOT AREA
LESS THAN 30% SLOPE:	
	4,536.7 S.F.
	64.7% OF TOTAL LOT AREA



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1 EXISTING SITE PLAN  
SCALE: 1/8"=1'-0"



2 PROPOSED SITE PLAN  
SCALE: 1/8"=1'-0"

**SITE PLAN TREE LEGEND**  
 T = TOYON TREE  
 P = PINE TREE  
 Q = OAK TREE  
 TREE = UNIDENTIFIED (NON-SIGNIFICANT)

**NAI RESIDENCE  
 REMODEL &  
 ADDITION**  
 TORRES, 1 S.E. OF 10TH  
 CARMEL-BY-THE-SEA,  
 CA 93923



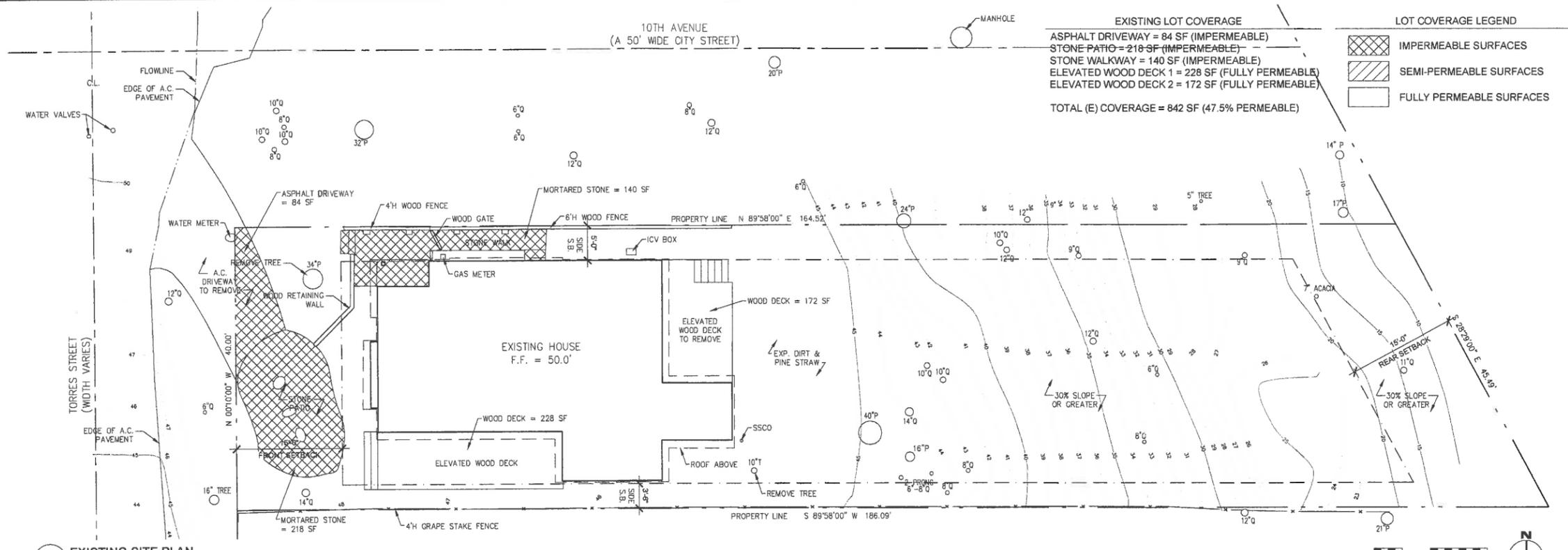
**SAMUEL PITNICK ARCHITECTS, INC.**  
 P.O. BOX 22412, CARMEL, CA 93922  
 PHONE: (831) 241-1895  
 EMAIL: SAMUEL@PITNICK.COM

REVISIONS	DATE

**ARCHITECTURAL**  
 SITE PLAN  
 Scale: SEE DWG.  
 Drawn By: SBP  
 Job: -

**A1.0**  
 01/14/2016

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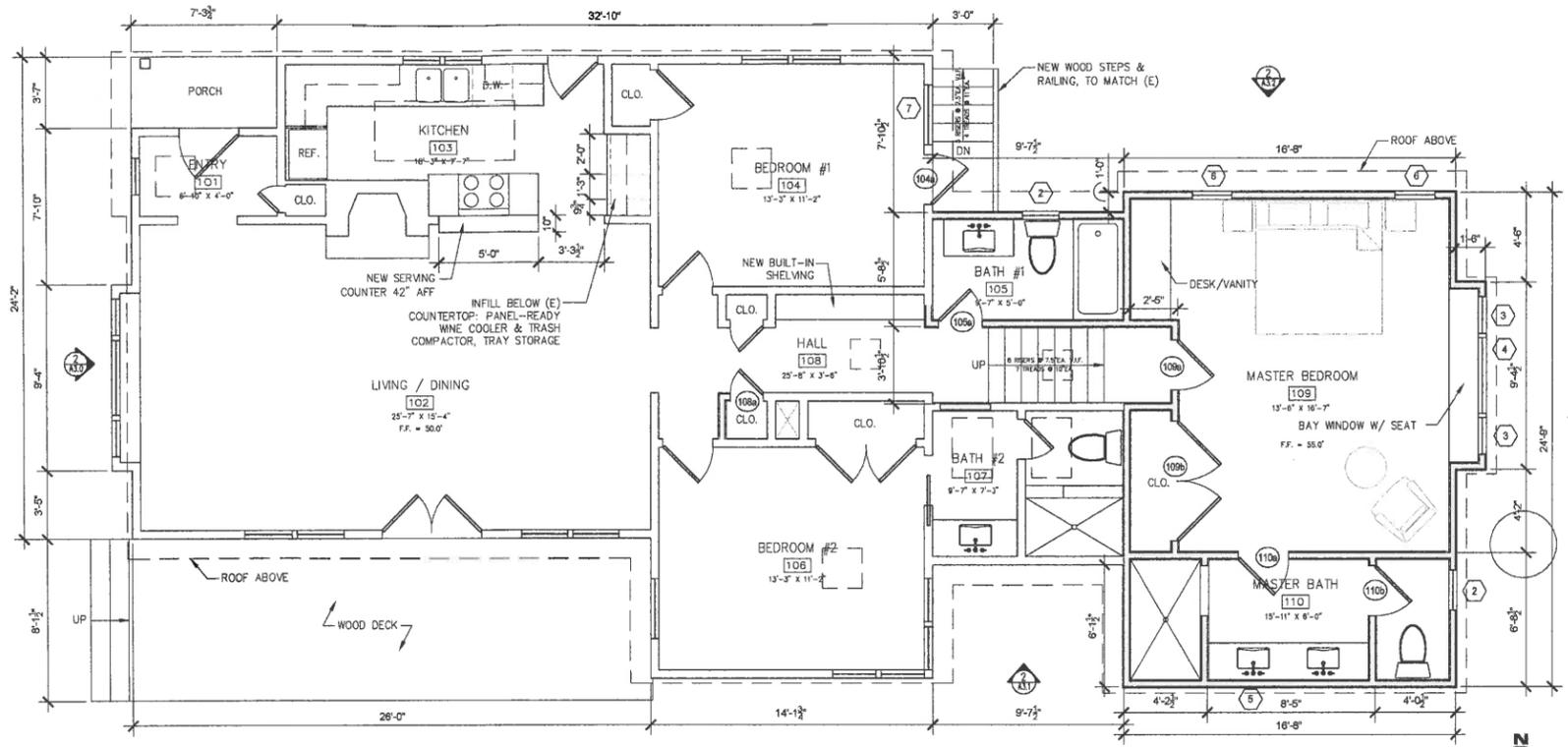




FLOOR AREA TABLE FOR EXTERIOR VOLUME CALC'S	
FLOOR AREA THAT DOES NOT OVERLAP	1,264 SF
FLOOR AREA THAT DOES OVERLAP	365 SF

WINDOW & DOOR NOTES

- ALL WINDOWS & DOORS TO MATCH (E) WINDOWS & DOORS UNLESS OTHERWISE NOTED.
- ALL WINDOWS & DOORS TO BE WOOD FRAMED.
- ALL NEW WINDOWS TO MATCH (E) WINDOW DIMENSIONS WHEN PRACTICAL AND SPACING OF ALL DIVIDED LIGHTS.
- SKYLIGHTS ARE BY "VELUX" (OR APPROVED EQUAL).
- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDERING WINDOWS & DOORS.
- ALL DIMENSIONS ARE GIVEN FOR OVERALL FRAME SIZE
- ALL HEAD HEIGHTS TO ALIGN WHERE POSSIBLE
- ALL OPERABLE WINDOWS TO BE PROVIDED WITH SCREENS.
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
  - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET ; AND
  - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR; AND
  - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; AND
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- CONTRACTOR TO PROVIDE SHOP DRAWING TO ARCHITECT FOR REVIEW PRIOR TO ORDERING DOORS AND WINDOWS.
- ALL WINDOWS TO BE DUAL GLAZED - ARGON FILLED WITH THERMAL SPACER



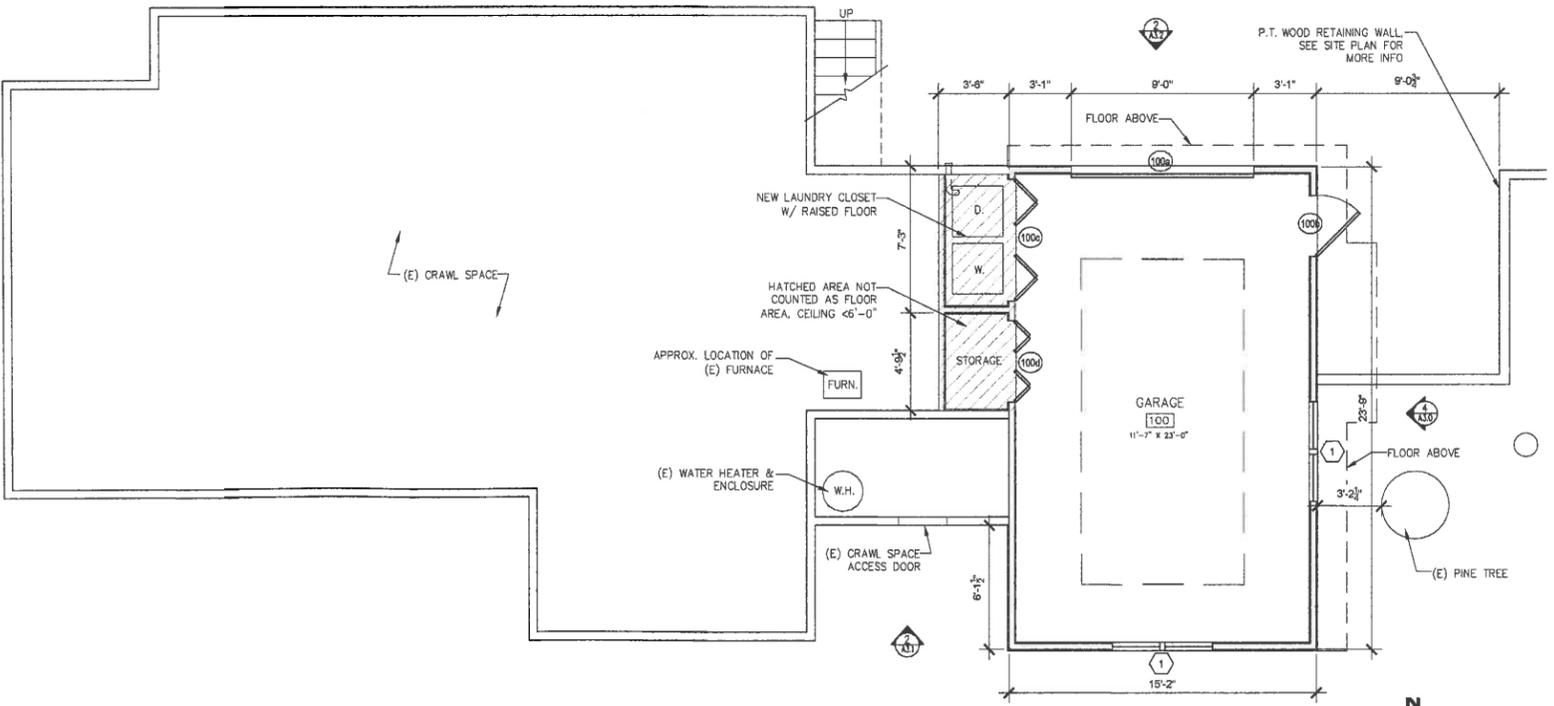
1 PROPOSED FLOOR PLAN - MAIN LEVEL  
SCALE: 1/4"=1'-0"

DOOR SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
100a	9'-0"	7'-0"	-	WOOD	WOOD	GARAGE - OVERHEAD	
100b	3'-0"	6'-8"	1.75"	WOOD	WOOD	SWING	
100c	6'-0"	5'-0"	1.75"	WOOD	WOOD	BI-FOLD	
100d	5'-0"	5'-0"	1.75"	WOOD	WOOD	BI-FOLD	
104a	2'-6"	6'-8"	1.75"	WOOD/GLASS	WOOD	SWING	
105a	2'-2"	6'-8"	1.75"	WOOD	WOOD	SWING	
108a	1'-8"	6'-8"	1.75"	WOOD	WOOD	SWING	MATCH (E) CLOSET DOOR
109a	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	
109b	6'-0"	6'-8"	1.75"	WOOD	WOOD	SWING - CLOSET	
110a	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	
110b	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	

WINDOW SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	WINDOW MTL.	FRAME MTL.	TYPE	COMMENTS
1	4'-7"	3'-9"		GLASS	WOOD	CASEMENT	
2	1'-4"	3'-10"		GLASS	WOOD	CASEMENT	REUSE (E) BATH WINDOW
3	1'-11"	3'-10"		GLASS	WOOD	CASEMENT	
4	3'-11"	3'-10"		GLASS	WOOD	FIXED	
5	3'-10"	1'-6"		GLASS	WOOD	FIXED	TRANSOM
6	1'-6"	4'-8"		GLASS	WOOD	FIXED	
7	3'-0"	3'-10"		GLASS	WOOD	CASEMENT	
8	2'-0"	2'-0"		GLASS	ALUMINUM	SKYLIGHT	
9	2'-0"	3'-0"		GLASS	ALUMINUM	SKY TUNNEL	
10	1'-6"	1'-6"		GLASS	ALUMINUM	SKY TUNNEL	
11	3'-0"	1'-6"		GLASS	WOOD	FIXED	

WALL TYPE LEGEND:  
 (E) WALL TO REMAIN  
 (R) WALL TO REMOVE  
 (P) WALL

2 PROPOSED FLOOR PLAN - LOWER LEVEL  
SCALE: 1/4"=1'-0"



NOT FOR CONSTRUCTION

NAI RESIDENCE  
REMODEL &  
ADDITION  
TORRES, 1 S.E. OF 10TH  
CARMEL-BY-THE-SEA,  
CA 93923



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REVISIONS	DATE

ARCHITECTURAL  
PROPOSED FLOOR PLANS  
Scale: SEE DWG.  
Drawn By: SBP  
Job: -

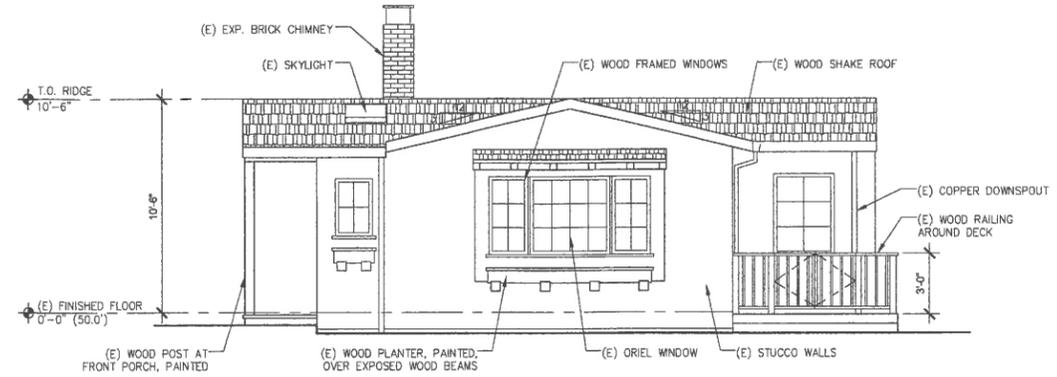
A2.1  
01/14/2018

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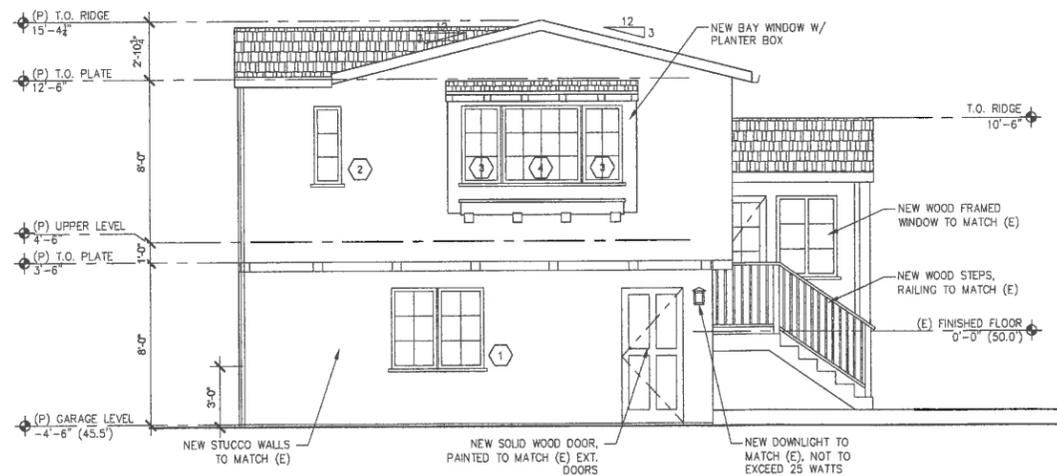
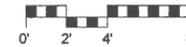
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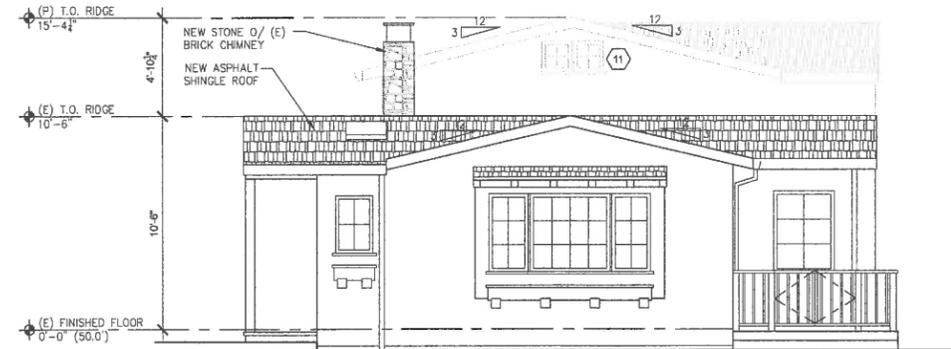
**3 EXISTING EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 EXISTING WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 PROPOSED EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



NAI RESIDENCE  
REMODEL &  
ADDITION  
TORRES, 1 S.E. OF 10TH  
CARMEL-BY-THE-SEA,  
CA 93923



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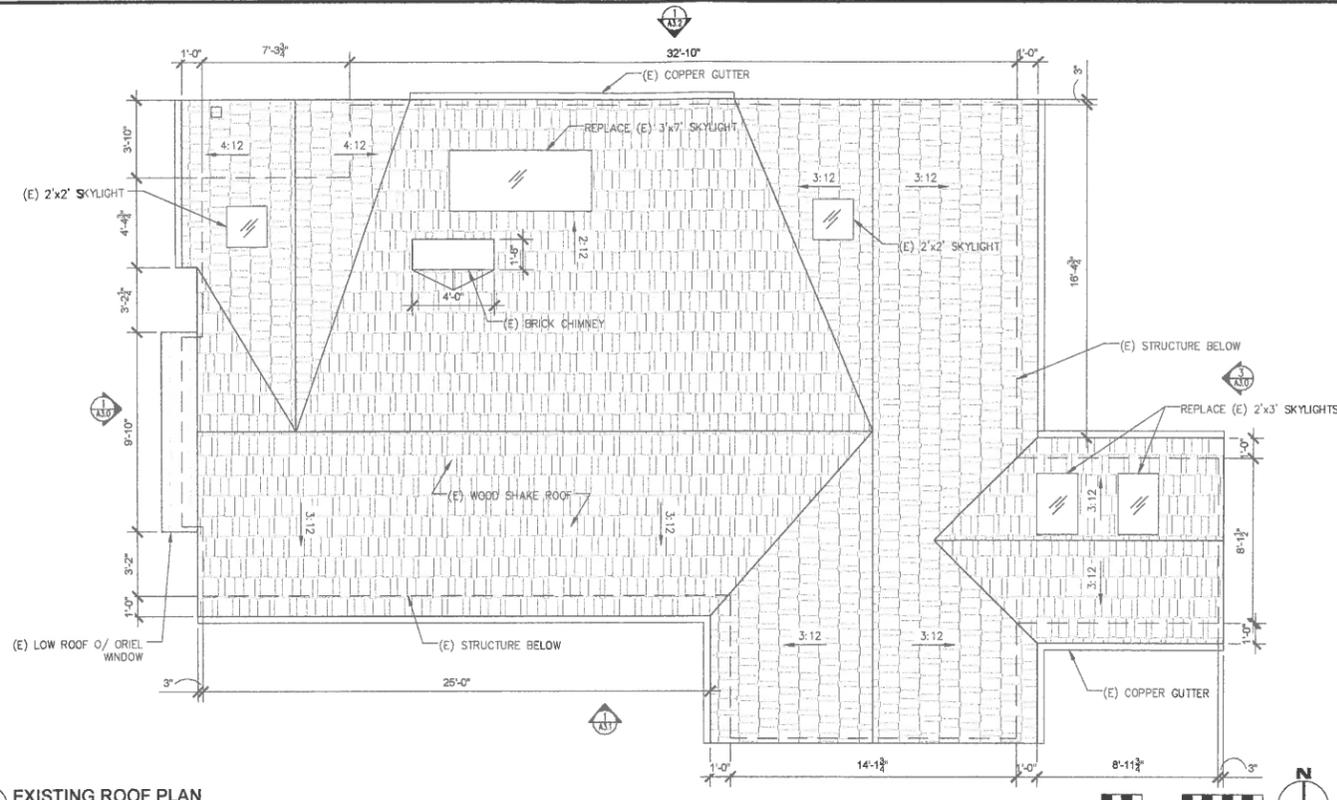
REVISIONS	DATE

ARCHITECTURAL  
BUILDING  
ELEVATIONS  
Scale: SEE DWG.  
Drawn By: SBP  
Job: -

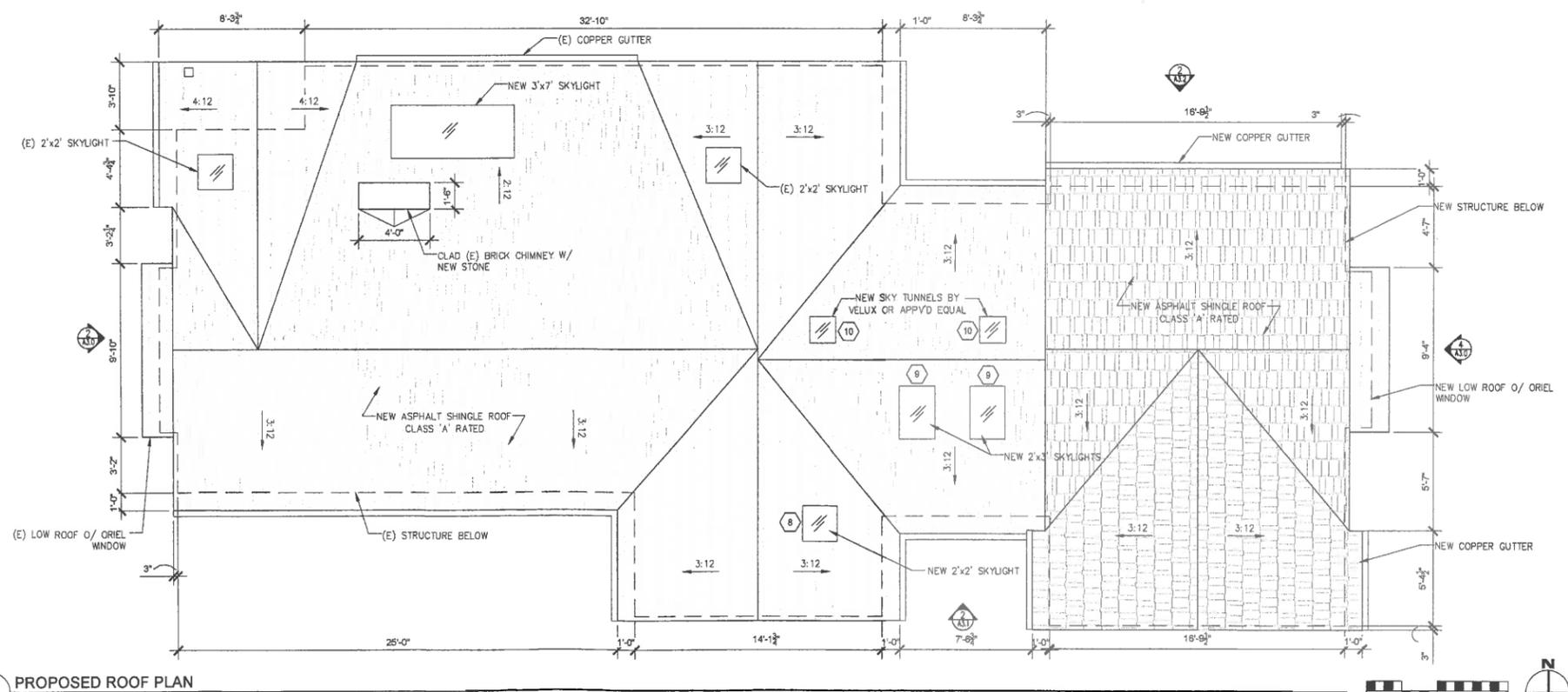
**A3.0**  
01/14/2018

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**1** EXISTING ROOF PLAN  
SCALE: 1/4"=1'-0"



**2** PROPOSED ROOF PLAN  
SCALE: 1/4"=1'-0"

0' 2' 4' 8' FOR CONSTRUCTION

NAI RESIDENCE  
REMODEL &  
ADDITION  
TORRES, 1 S.E. OF 10TH  
CARMEL-BY-THE-SEA,  
CA 93923



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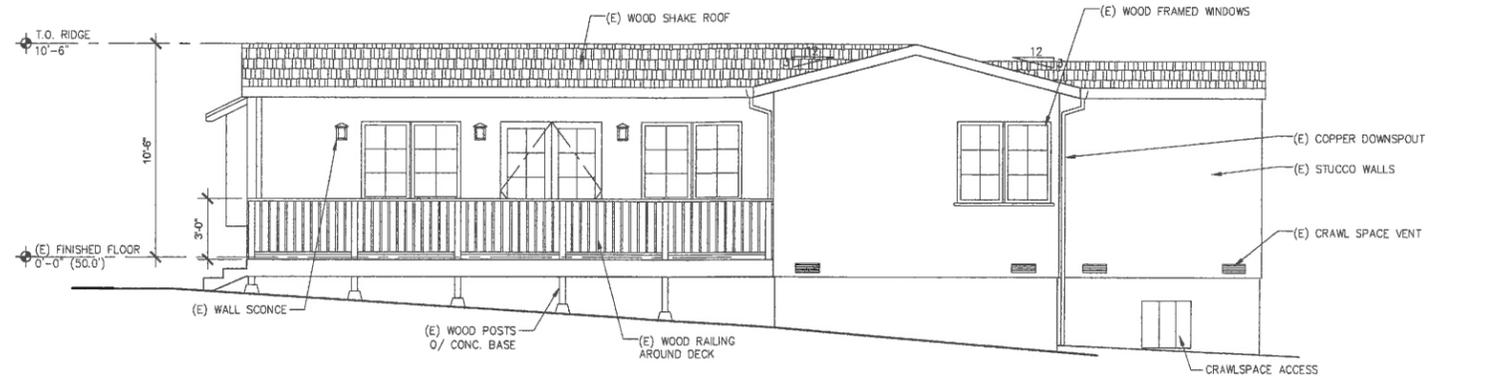
REVISIONS	DATE

ARCHITECTURAL  
EXISTING &  
PROPOSED  
ROOF PLANS  
Scale: SEE DWG.  
Drawn By: SBP  
Job: -

A2.2

01/14/2018

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1 EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



NAI RESIDENCE  
REMODEL &  
ADDITION

TORRES, 1 S.E. OF 10TH  
CARMEL-BY-THE-SEA,  
CA 93923



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REVISIONS	DATE

ARCHITECTURAL  
BUILDING  
ELEVATIONS

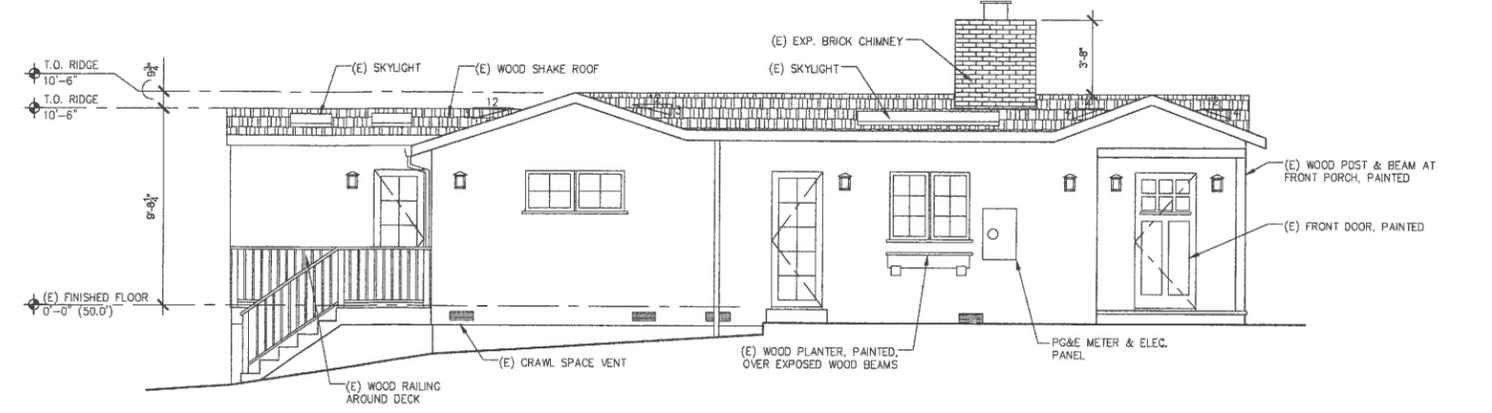
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Drawn By: SBP  
Job: -

A3.1

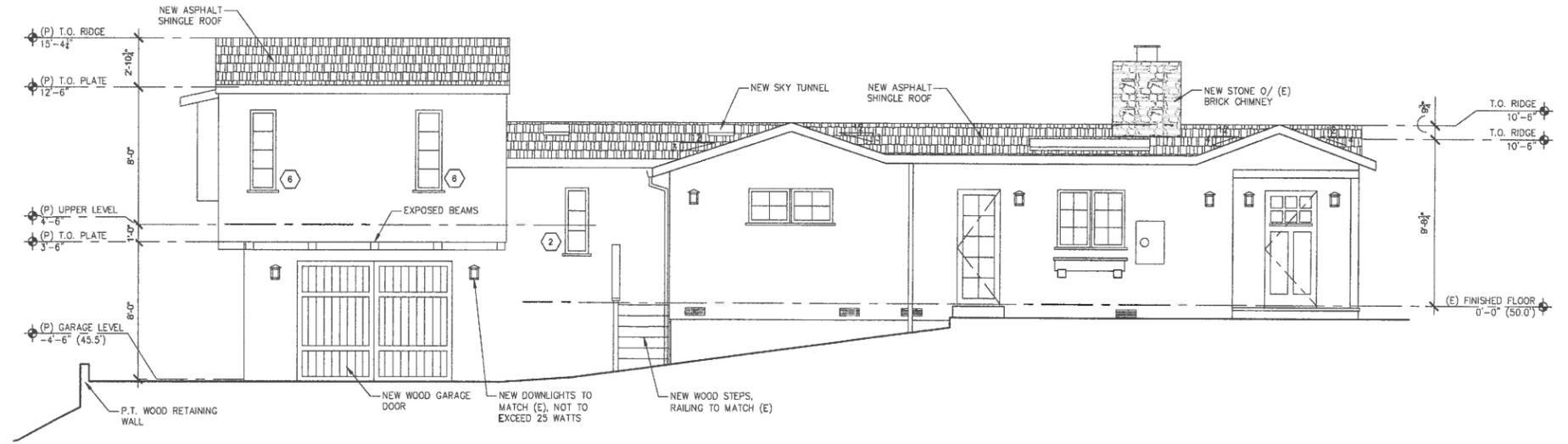
01/14/2018

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**1 EXISTING NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



NAI RESIDENCE  
REMODEL &  
ADDITION  
TORRES, 1 S.E. OF 10TH  
CARMEL-BY-THE-SEA,  
CA 93923



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EMAIL: SAMUEL@PITNICKARCH.COM

REVISIONS	DATE

ARCHITECTURAL  
BUILDING  
ELEVATIONS

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

**A3.2**

01/14/2018

NOT FOR CONSTRUCTION

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**1 EXISTING STREET VIEW ELEVATION (ALONG TORRES)**  
SCALE: N.T.S.



**2 PROPOSED STREET VIEW ELEVATION**  
SCALE: N.T.S.

**NAI RESIDENCE  
REMODEL &  
ADDITION**

TORRES, 1 S E OF 10TH  
CARMEL-BY-THE-SEA,  
CA 93923



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REVISIONS	DATE

**ARCHITECTURAL**

**STREET  
VIEW  
ELEVATIONS**

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

**A3.3**

01/14/2018

NOT FOR CONSTRUCTION



Staff has scheduled this application for conceptual review and consideration of a Variance. The purpose of the conceptual review is to consider site planning; privacy and views; and, mass and scale related to the project. However, the Planning Commission may provide input on other aspects of the design.

<b>PROJECT DATA FOR A 4,000 SF RESUBDIVIDED CORNER LOT (50' x 80')</b>			
<b>Site Considerations</b>	<b>Allowed</b>	<b>Existing</b>	<b>Proposed</b>
Floor Area	1,800 SF (45%)	Vacant site	1,800 SF (45%)
Site Coverage	396 SF/556 SF	Vacant site	556 SF
Trees (Upper/Lower)	3/1	0/9	0/9
Ridge Height (1 <sup>st</sup> /2 <sup>nd</sup> )	18'/24'	Vacant site	NA/21'-7"
Plate Height (1 <sup>st</sup> /2 <sup>nd</sup> )	12'/18'	Vacant site	9'/16'-6"
<b>Setbacks</b>	<b>Minimum Required</b>	<b>Existing</b>	<b>Proposed</b>
Front	10'	Vacant site	18'-3"
Composite Side Yard	12'	Vacant site	16'
Interior Side Yard	3'	Vacant site	10'-3"
Street Side Yard	9'	Vacant site	5'
Rear	15'*	Vacant site	12'

\*The rear setback may be reduced to 3 feet for those portions of structures that are less than 15 feet in height.

## STAFF ANALYSIS

### Variance Request:

The applicant is requesting approval of a Variance to, 1) reduce the street side yard setback on Carpenter Street from 9 feet to 5 feet; 2) allow the proposed chimney to encroach 9 inches into the reduced 5-foot setback on the street side; and, 3) allow the proposed covered porch and entry stairs to encroach 4 ½ feet into the reduced 5-foot setback on the street side. CMC Section 17.52.070 (Variances) allows minimum setback dimensions to be modified through a Variance subject to the findings listed in CMC 17.64.210 (Variance). The findings are included as Attachment B.

CMC Section 17.10.030.A (Setbacks) requires a 9-foot street side yard setback for a resubdivided corner lot. A resubdivided corner lot is defined as, "A pair of lots each measuring approximately 50 feet by 80 feet formed by a 90 degree reorientation of an existing lot line separating two lots each measuring 40 feet by 100 feet, one of which is located at the corner of a block." The difference between a standard 40' x 100' corner lot and a resubdivided 50' x 80' corner lot is that the resubdivided corner lot has a 10-foot front setback and a 9-foot street side yard setback.

Staff supports the request for a Variance due to the number of significant trees located in the center of the property. Several multi-trunk, lower canopy trees encumber the site and create a hardship for development of the property compliant with the setback standards. Reducing the

street side yard setback requirement from 9 feet to 5 feet preserves and protects the existing trees and their root systems to the greatest extent possible. Staff also notes that the street side yard setback for a standard 40' x 100' lot is 5 feet.

**Forest Character:** Residential Design Guidelines 1.1 through 1.4 encourages preserving significant trees and minimizing impacts on established trees; protecting the root systems of all trees to be preserved; and, maintaining a forested image on the site.

The site currently contains 9 Coast Live Oak trees; 7 trees have been deemed significant and 2 trees have been deemed moderately significant. An additional 7 trees are located within the City right-of-way; 5 trees are located along Carpenter Street, 1 tree is located at the corner of Carpenter and 6<sup>th</sup> Avenue and 1 tree is located along the 6<sup>th</sup> Avenue frontage. The City Forester is not recommending that additional trees be planted.

The applicant is proposing to remove a 4 inch oak tree within the City right-of-way along Carpenter Street to accommodate the proposed driveway. A draft condition of approval requires that the applicant submit an application for a tree removal permit prior to final details review that identifies the tree to be removed and any proposed limb removals to other trees either on-site or off-site.

A 22 inch Cypress tree in the City right-of-way along Carpenter Street has large roots that traverse the northeasterly corner of the lot. These roots should be evaluated by the City Forester to determine their significance. A draft condition of approval requires the protection of these roots if deemed significant by the City Forester.

**Privacy and Views:** Residential Design Guidelines 5.1 through 5.3 encourages designs that preserve reasonable privacy for adjacent properties and maintain view opportunities to natural features.

Staff has not identified any view impacts associated with the proposed residence. With regards to privacy, generous setbacks and existing vegetation preserves a reasonable amount of privacy to the south property. However, the single story residence to the west has large windows that can be seen from the project site (refer to Attachment A). An existing grapestake fence separating the properties appears to be 4 feet tall. While the project maintains generous setbacks from the property to the west and existing vegetation provides filtered views, the applicant should consider replacing the existing grapestake fence with a 5- to 6-foot tall privacy fence. The height of the fence could be reduced at locations where there are no windows and privacy would not be an issue.

**Parking and Access:** Residential Design Guidelines 6.1 through 6.7 encourages subordinate parking facilities that do not dominate the design of the house or site; minimizing the amount of paved surface for a driveway; positioning garages to maximize open space, views and privacy; and, minimizing visual impacts.

The applicant is proposing an attached, single car garage that would be set back 5 feet, 6 inches from the street side lot line along Carpenter Street and 15 feet from the south property line. The driveway is proposed to be 9 feet wide and constructed of chip seal gravel paving. Chip seal is a pavement surface treatment that combines one or more layers of asphalt with one or more layers of fine aggregate. The design of the garage door has been integrated into the building design to maintain a subordinate appearance.

**Building and Roof Form:** Residential Design Guidelines 8.1 through 8.5 encourages traditional building forms; using restraint with variations in building planes; using simple roof forms that are in proportion to the scale of the building; and, roof eave lines that are low in scale.

The building form responds to site constraints created by a cluster of trees located in the approximate center of the lot. The applicant has designed two separate building forms that are bridged by a glass front entry with roof deck above. The building steps down from north to south to follow the natural contour of the site. The main living area is located to the north (along 6<sup>th</sup> Avenue) with the garage and second floor guest bedroom located to the south (along Carpenter Street). The roof is a 6:12 pitched gable finished with standing seam metal. In staff's opinion, the design blends well in the forested setting and complements the neighborhood context.

**Mass and Bulk:** Residential Design Guidelines 7.1 through 7.7 encourages a building's mass to relate to the context of other homes nearby; minimize the mass of a building as seen from the public way or adjacent properties; and, relate to a human scale in its basic forms.

The applicant is proposing to construct a new two-story residence with a roof deck and attached garage. The residence would be 1,800 square feet in size. The first floor would contain 743 square feet of living space and a 245-square foot attached garage; the second floor would contain 812 square feet of living space (570 square feet over the main living area along 6<sup>th</sup> Avenue and 242 square feet for a bedroom over the garage along Carpenter Street). A 160-square foot roof deck would be located above the porch along Carpenter Street. The proposal for two stories is consistent with the neighborhood context, which includes a mix of one- and two-story residences.

The proposed design follows the topography of the site which has a gentle slope from north to south. The massing has been integrated into the forested image of the site by creating two separate building forms, one on each street frontage. In order to create usable outdoor living space that is not encumbered by the existing trees, the building is setback over 18 feet from 6<sup>th</sup> Avenue. While this condenses the square footage into the two-story living space, the heavily forested right-of-way provides filtered views of the project and softens the building mass.

**Site Coverage:** The project site is currently vacant and contains 9 trees. The applicant is proposing 556 square feet of site coverage as permitted by the Zoning Code. Proposed site coverage would include, impermeable concrete paving at the front porch, a portion of the driveway, a landing on the west elevation, and a landing on the north elevation leading to the

front yard patio. The front yard patio would contain a low, board formed wall with integrated bench and a fire pit. The patio would be finished with semi-permeable gravel paving. An outdoor cook station would be located at the northwest corner of the residence.

***Right-of-way Character:*** Residential Design Guidelines 1.5 through 1.7 encourages maintaining an informal open space character of the right-of-way; maintaining trees and natural vegetation; and, designing parking areas to reinforce the forest image.

The City Right-of-Way (ROW) along Carpenter Street and 6<sup>th</sup> Avenue is in a natural state with mature trees and plantings. The City ROW is free of any encroachments.

### **Environmental Review**

The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of a new single family residence in a residential zone and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

### **ATTACHMENTS**

- Attachment A – Site Photographs
- Attachment B – Findings for Variance Approval
- Attachment C – Findings for Concept Acceptance
- Attachment D – Recommendations/Draft Conditions
- Attachment E – Written Statement
- Attachment F – Justification for Variance
- Attachment G – Colored 3D Renderings
- Attachment H – Project Plans

**Attachment A – Site Photographs**

DS 17-398 (Quan)  
February 14, 2018  
Page 1 of 2

**Photo 1. Corner of Carpenter Street and 6<sup>th</sup> Avenue**



**Photo 2. 6<sup>th</sup> Avenue Frontage**



**Attachment A – Site Photographs**

DS 17-398 (Quan)  
February 14, 2018  
Page 2 of 2

**Photo 3. West Property Line/ Neighbor**



**Photo 4. South Property Line/Neighbor**



## **Attachment B – Findings for Variance**

DS 17-398 (Quan)  
February 14, 2018  
Variance Findings  
Page 1 of 1

### **CMC Section 17.64.210 (Variance)**

- A. That due to special physical circumstances applicable to the property, the strict application of the Zoning Ordinance will deprive the property of privileges enjoyed by other properties in the vicinity which were developed under the same limitations of the Zoning Ordinance;
- B. That the variance will not constitute a grant of special privilege inconsistent with limitations on other property in the vicinity and within the same zone;
- C. That the variance will not be detrimental to adjacent property or injurious to public health, safety or welfare;
- D. That the condition or situation of the property for which the variance is sought is not so general or recurrent in nature as to make reasonable or practical the formulation of a general regulation to address such condition or situation;
- E. That the situation or condition for which the variance is sought was not the result of actions of the existing or any prior owner of the property; and
- F. That granting the variance will not be in conflict with the General Plan, or the general zoning objectives of the district within which the affected property lies.

## Attachment C – Findings for Concept Acceptance

DS 17-398 (Quan)  
 February 14, 2018  
 Concept Findings  
 Page 1 of 1

<b><u>FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE</u></b>		
For each of the required design study findings listed below, staff has indicated whether the concept plans submitted support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate decision-making by the Planning Commission. Findings checked "yes" may or may not be discussed in the staff report depending on the issues.		
<b>CMC Section 17.68.040.A – Concept Phase Approval Findings</b>	<b>YES</b>	<b>NO</b>
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits or variances consistent with the Zoning Ordinance.	✓	
2. The project is consistent with the City’s design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project’s use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on-site and in the public right-of-way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple building forms, a simple roof plan and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City’s objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are set back a minimum of six feet from significant trees.	✓	
<b>CMC Section 17.64.010.B - Coastal Development Permit Findings</b>	<b>YES</b>	<b>NO</b>
1. Local Coastal Program Consistency: The project, as described in the application and accompanying materials, as modified by the conditions of approval, conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

## Attachment D – Recommendations/Draft Conditions

DS 17-398 (Quan)  
February 14, 2018  
Concept Findings  
Page 1 of 1

Recommendations/Draft Conditions	
No.	
1.	<b>West Property Line Fencing.</b> The applicant shall install a 5-6 foot tall privacy fence along the western property line to provide a reasonable amount of privacy between the project and the western neighbor.
2.	<b>Significant Tree Roots.</b> Significant trees roots associated with the 22 inch Cypress tree located in the City right-of-way along Carpenter Street shall be protected. Any improvements proposed around the tree roots shall be reviewed by the City Forester. If impacts to the roots are identified, the project shall be modified as directed by the City Forester (i.e. shifting improvements, constructing bridged footings, etc.).
3.	<b>Tree removal application.</b> The applicant shall submit a tree removal application prior to final details review that identifies any tree and/or limb proposed for removal.

**JUSTIN PAULY ARCHITECTS**



City of Carmel by the Sea  
Department of Community Planning and Building  
Carmel by the Sea, CA 93921  
re: concept review submittal, Quan Residence: SW corner of 6th & Carpenter

Carmel Planning Staff:

The site for the Quan Residence lies one block off of Ocean Avenue on a heavily wooded lot at the SW corner of 6th and Carpenter. The site slopes from north to south- losing approximately 6'-0" of height across it's 80'-0" street frontage. The interior of the site is crowded with 9 significant oaks (several of which are multi-trunked), while the perimeter of the lot contains a series of large pine and cypress trees. Even though the pines and cypress lie in the right-of-way, their large upper canopies lend a sense of enclosure to this difficult lot.

The design is a reaction to the constraints of the site. A cluster of significant oak trees essentially bifurcates the site into two buildable areas at the north and south of the property. In these areas we created two simple, cedar-clad structures linked together by a transparent bridge which allows a veiled glimpse of the protected oaks from the public right of way. The two structures have stepped floor levels in order to move with the topography of the site. The larger of the two structures is positioned in the northern half of the property and contains public spaces on the ground floor and family bedrooms above. The smaller structure is intentionally placed to the south so as to preserve the privacy and solar access of our southern neighbor. It contains a garage on the ground floor and a small guest bedroom above. The home is entered through the glazed "bridge" that connects the two structures.

Because the home is being designed for a young family with several children, it was important to the client to have a usable outdoor space. The large number of low canopied oaks at the interior portion of the lot precluded us from creating a space between the structures, thus the importance of the front yard to the overall concept of the house. It is the most open and accessible portion of the site and also provides direct access to the interior public spaces through a series of sliding glass panels on the north elevation. The front yard contains a seating area and fire pit for the adults in addition to a small flat open space for the kids to play. All of this is concealed by a low board-formed concrete wall and thoughtful planting at the north property line.

The surrounding neighborhood does not have a strong unified architectural character. Neighboring structures run the gambit from large modern houses to simple unadorned single story ranch houses and larger faux mediterranean structures from the past 10-20 years. We feel the lack of architectural character in the immediate surroundings allowed for a certain degree of design flexibility in our approach with the Quan site. We have chosen simple vernacular forms- cedar-clad rectangular boxes with simple gable roofs clad in standing seam metal. Small portions of the structure's base are constructed of board-formed concrete in order to ground the stepped masses to the site. All of the materials on the exterior of the structure are a true expression of their function without the use a false "veneers."

Sincerely,

Justin Pauly, AIA

550 hartnell st. suite h. monterey ca 93940  
ph: 831.920.1045 fx: 831.886.3660  
justinpaulyarchitects.com

**RECEIVED**

**JAN 17 2018**

**City of Carmel-by-the-Sea  
Planning & Building Dept.**

**JUSTIN PAULY ARCHITECTS**



City of Carmel by the Sea  
Department of Community Planning and Building  
re: variance request letter

**A. That due to the special physical circumstances applicable to the property, strict application of the zoning ordinance will deprive the property of privileges enjoyed by other properties in the vicinity which were developed under the same limitations of the Zoning Ordinance;**

The lot in question is a "previously subdivided" corner lot with an excessive street-side setback of 9'-0". The interior of the lot is heavily wooded with lower canopy oaks (9 in total- several of which are multi-trunk) which, in order to be protected, preclude development on a good portion of the site at the side-yard setback in question. To enforce the side-yard setback would undoubtedly require the removal of several significant oak trees. We are asking for a regular side-yard setback (5'-0") that is enforced on other corner lots in Carmel-by-the-Sea. There is a substantial wooded right-of-way, which would make the additional 4'-0" of setback area imperceptible to the public right of way.

**B. That the variance will not constitute a grant of special privilege inconsistent with limitations on other property in the vicinity and within the same zone;**

5'-0" is a typical side-yard setback for a corner lot in Carmel that had not been previously sub-divided. Properties on adjacent corners appear to have 5'-0" side yard setbacks.

**C. That the variance will not be detrimental to adjacent property or injurious to public health, safety or welfare;**

On the contrary, the variance will allow for a more generous interior side-yard setback for the western neighbor. Northern and eastern neighbors are separated from our parcel by significant right-of ways/streets in addition to several large upper canopy trees.

**D. That the condition or situation of the property for which the variance is sought is not so general or recurrent in nature as to make reasonable or practical the formulation of a general regulation to address such condition or situation;**

While many lots in Carmel are wooded, the historical lack of development on this parcel has led to the presence of 9 significant oak trees that have never been trimmed (some of which are multi-trunked with low slung canopies located in the center of the lot). This in combination with the fact that the parcel was previously sub-divided lend the lot somewhat of a singular circumstance which is unlikely to be encountered on other parcels in the City limits.

**E. That the situation or condition for which the variance is sought was not the result of actions of the existing or any prior owner of the property; and....**

As previously mentioned, the property has never been developed and the trees would appear to have been present on, and around, the lot for some time. It is, arguably this lack of development which led to the present circumstance.

**F. That granting the variance will not be in conflict with the General Plan, or the general zoning objectives of the district within which the affected property lies.**

The variance would allow for the preservation of significant trees and minimize the privacy and solar impacts on neighboring properties. We are unaware of how this, or any other impact of the requested variance could possibly be in conflict with the General Plan or zoning objectives of the City.

RECEIVED

JAN 17 2018



project name  
**The Quan  
Residence**

SW Corner of 6th and Carpenter  
Carmel, CA 93923

010-033-005

issue set

issue date 01.02.18

rev	description	date

drawing title  
**MAIN ENTRY**

drawn by: OL  
scale: 1/16"=1'-0"



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**JAN 17 2018**  
City of Carmel-by-the-Sea  
Planning & Building Dept.



project name  
**The Quan  
Residence**

SW Corner of 6th and Carpenter  
Carmel, CA 93923

010-033-005

issue set

issue date 01.02.18

rev	description	date

drawing title  
**SECONDARY ACCESS**

drawn by: OL  
scale: 1/16"=1'-0"

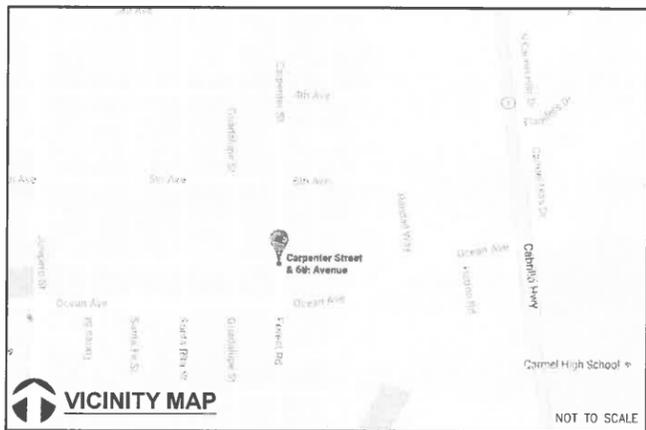
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**JAN 17 2018**  
City of Carmel-by-the-Sea  
Planning & Building Dept.



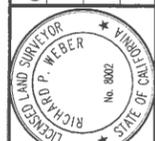


**NOTES:**

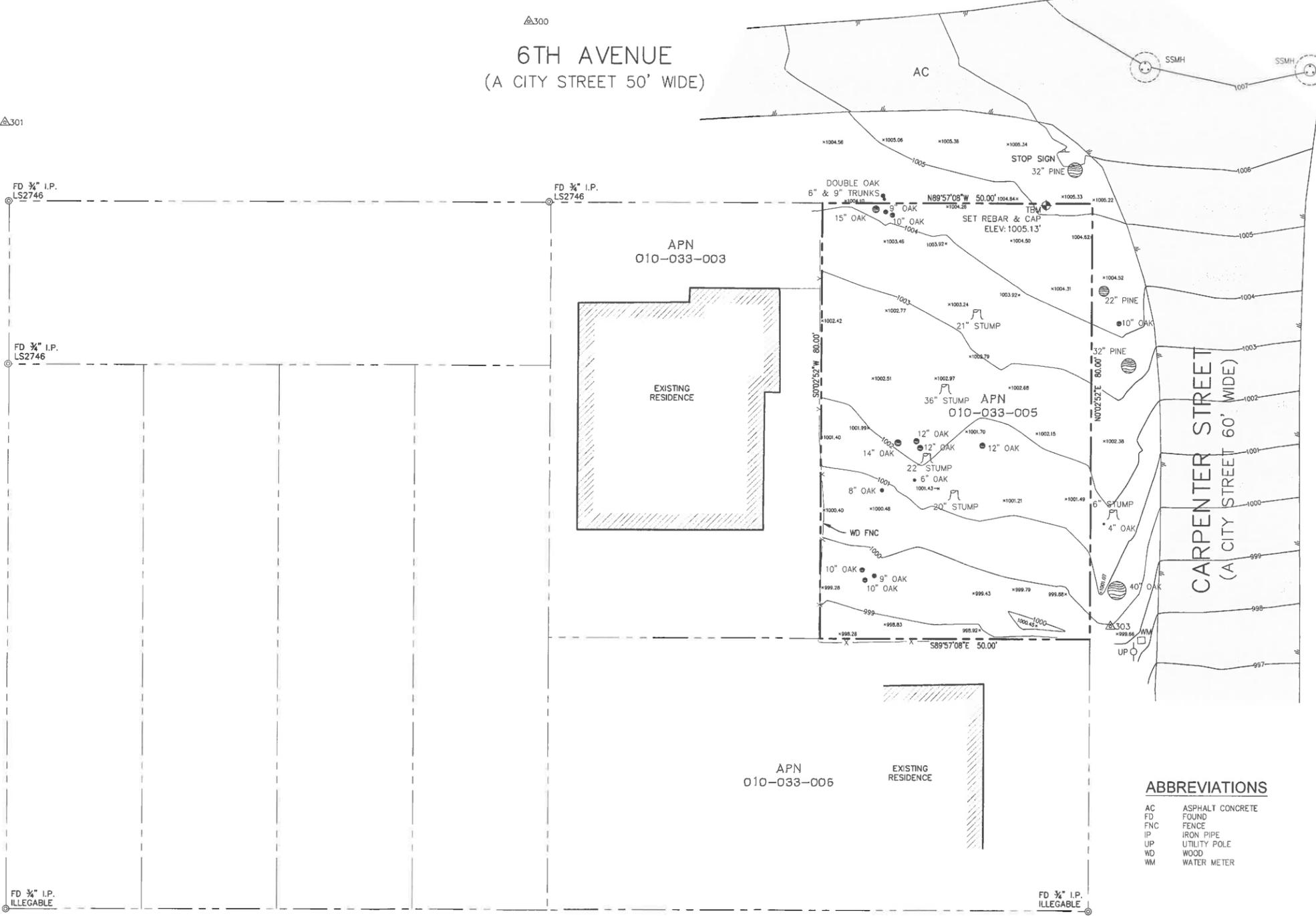
1. THIS MAP REPRESENTS A TOPOGRAPHIC SURVEY PERFORMED BY WHITSON ENGINEERS ON AUGUST 8 & 11, 2016.
2. THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE CLIENT.
3. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY SHOWN IS FROM RECORD DATA. THIS TOPOGRAPHY DOES NOT CONSTITUTE A BOUNDARY SURVEY. THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.
4. DISTANCES AND DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
5. TEMPORARY BENCHMARK TAKEN AT REBAR & CAP AT THE LOCATION SHOWN ON THIS PLAN. ELEVATION: 1005.13 (DATUM ASSUMED)
6. UNDERGROUND UTILITIES WERE NOT WITHIN THE SCOPE THIS SURVEY. THE EXISTENCE, LOCATION AND DEPTH OF ALL UTILITIES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
7. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 2" WERE NOT NECESSARILY LOCATED AS PART OF THIS SURVEY.



DATE:	08/15/16
SCALE:	1" = 10'
ENGR. ECP	
JOB NO.:	3513.00



**WHITSON ENGINEERS**  
 9699 Blue Larkspur Lane - Suite 105 - Monterey, CA 93940  
 831 649-6225 - Fax 831 373-5065  
 CIVIL ENGINEERING - LAND SURVEYING - PROJECT MANAGEMENT



**LEGEND**

100	GROUND CONTOUR
---	SUBJECT PROPERTY LINE
---	ADJACENT PROPERTY LINE
△200	CONTROL POINT
⊙	FOUND IRON PIPE, TAGGED AS NOTED
⊕	TEMPORARY BENCHMARK
+ 1000.00	SPOT GRADE
● 12" OAK	TREE
⌋	STUMP OR SNAG (DEAD)
X	FENCE
UP ○	UTILITY POLE SHOWING ARMS AND GUY WIRE
⊙	SSMH
□	UTILITY VAULT
▭	ASPHALT
▨	BUILDING

**ABBREVIATIONS**

AC	ASPHALT CONCRETE
FD	FOUND
FNC	FENCE
IP	IRON PIPE
UP	UTILITY POLE
WD	WOOD
WM	WATER METER



CALIFORNIA  
**6th & CARPENTER**  
 MAP OF CARMEL CITY  
 MONTEREY COUNTY  
 CARMEL-BY-THE-SEA  
 EASTERLY ONE-HALF OF LOT 1 AND THE NORTHERLY ONE-HALF OF LOTS 2 AND 3, IN BLOCK 64  
 APN 010-033-005  
 SHEET **1** OF 105  
 TOPO MAP

I:\Monterey Project\01011 - dls - Carpenter\01011-005-100.dwg Aug 16, 2016 10:09am

**Part One: Initial Screening:**

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

**A. Does the tree pose an above-normal potential risk to life and property?**

Tree #	1	2	3	4	5	6	7	8	9
YES									
NO	X	X	X	X	X	X	X	X	X

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page four of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for the tree care. Such trees may still be assessed for significance.

**B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?**

Tree #	1	2	3	4	5	6	7	8	9
Species	CO								
YES	X	X	X	X	X	X	X	X	X
NO									

- MP - Monterey pine
- BP - Bishop pine
- CO - Coast live oak
- CS - California sycamore
- OT - Other
- MC - Monterey cypress
- CR - Coast redwood
- CI - Catalina Ironwood
- BL - Big leaf maple

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to earn an overall score of at least 7 points in Part Two of the assessment.)

**C. Does the tree meet the minimum size criteria for significance?**

Tree #	1	2	3	4	5	6	7	8	9
YES	X	X	X	X	X	X	X	X	X
NO									

	Diameter	Height
Monterey pine, Monterey cypress, Bishop pine, Coast redwood	4 inches @ dbh	15 Feet
Coast live oak - single trunk tree	6 inches @ dbh	N/A
Coast live oak - cluster or multi-trunk tree measured as an average diameter of all the trunks that reach breast height	6 inches @ dbh	N/A
California sycamore, Big leaf maple, Catalina Ironwood	10 inches @ dbh	25 Feet

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Quan 083116 Page 2 of 5  
**Part Two: Assessment For Tree Significance**

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

**D. What is the health and condition of the tree?**

Tree #	1	2	3	4	5	6	7	8	9
score	1	2	2	2	2	1	2	1	2

- 0 points:** The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
- 1 point:** The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
- 2 points:** The tree appears healthy and in good condition.
- 3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

**E. What is the overall form and structure of the tree?**

Tree #	1	2	3	4	5	6	7	8	9
score	1	2	2	2	2	1	2	2	2

- 0 points:** Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
- 1 point:** The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
- 2 points:** The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
- 3 points:** The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each trunk/branch.

**F. What is the age and vigor of the tree?**

Tree #	1	2	3	4	5	6	7	8	9
score	2	2	2	1	1	2	2	2	2

- 0 points:** The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
- 1 point:** The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
- 2 points:** The tree is young to middle age and shows normal vigor.
- 3 points:** The tree is young to middle age and shows exceptional vigor.

**G. Are environmental conditions favorable to the tree?**

Tree #	1	2	3	4	5	6	7	8	9
score	1	1	1	2	1	1	2	2	2

- 0 points:** The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
- 1 point:** The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
- 2 points:** The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Quan 083116 Page 4 of 5  
**Part Three: Final Assessment**

Please record the total points scored on pages two and three for each tree.

Tree #	1	2	3	4	5	6	7	8	9
Total Score	5	7	7	7	6	5	8	7	8

**A. Did all assessment categories in Part Two achieve a minimum score of 1-point?**

Tree #	1	2	3	4	5	6	7	8	9
YES	X	X	X	X	X	X	X	X	X
NO									

**B. Are there any other factors that would disqualify a tree from a determination of significance? (Explain any 'yes' answer)**

No  Yes

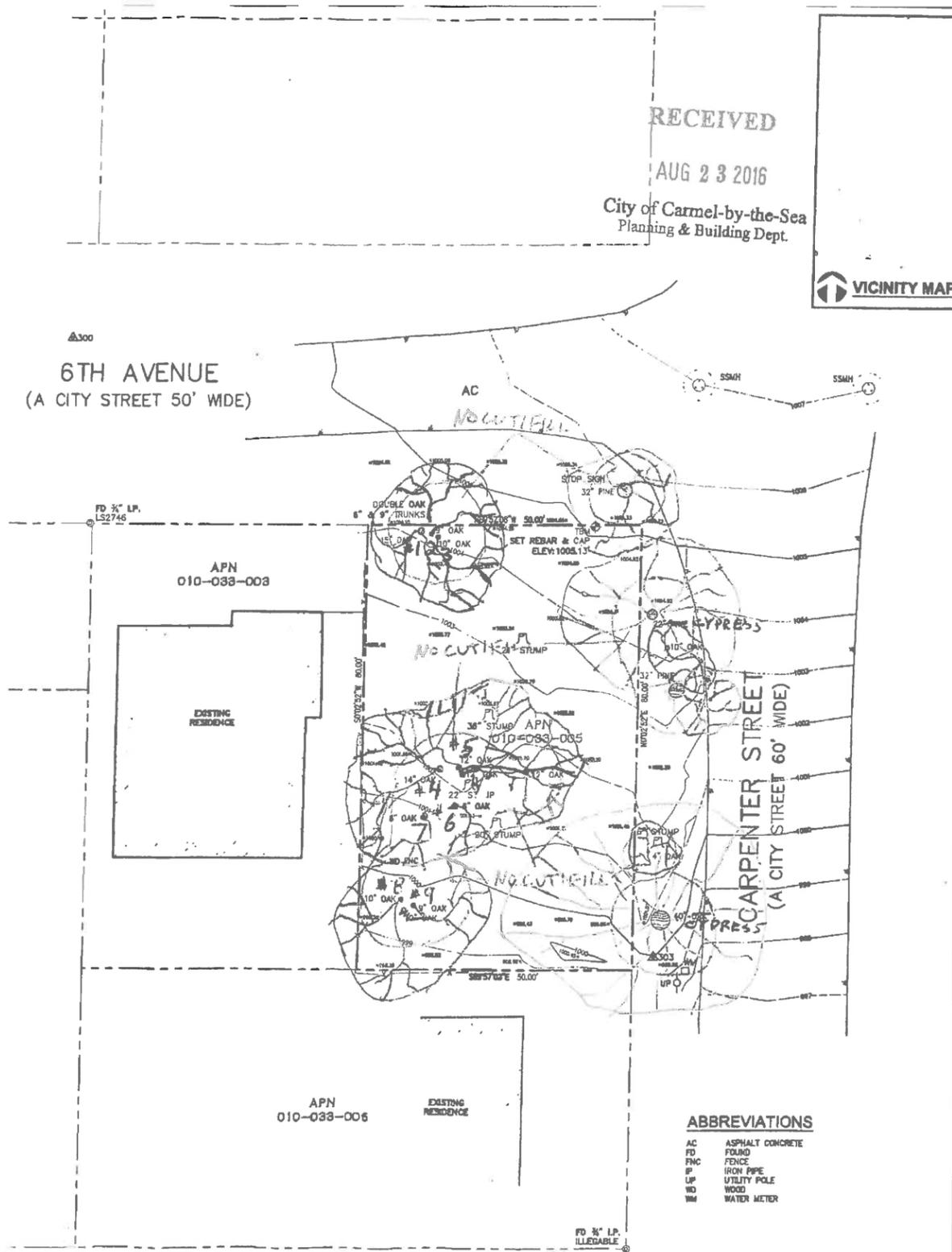
(Explanation)  
**NOTES:**

Site assessment was amended on June 7, 2017 due to additional facts related to an arborist report. Trees identified in the original report as #5, 6 and 7 were determined to be one tree. Site assessment has been updated with new tree numbers.

**Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?**

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9
SIGNIF		X	X	X	X		X	X	X
MOD SIGNIF	X					X			
NOT SIGNIF									



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 AUG 23 2016  
 City of Carmel-by-the-Sea  
 Planning & Building Dept.



issued: 1/17/18  
 revised:  
 drawn by:  
**JUSTIN PAULY ARCHITECTS**  
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 Monterey, California 93940  
 p. 831.920.1045  
 f. 831.866.3660  
 jpa@justinpaulyarchitects.com

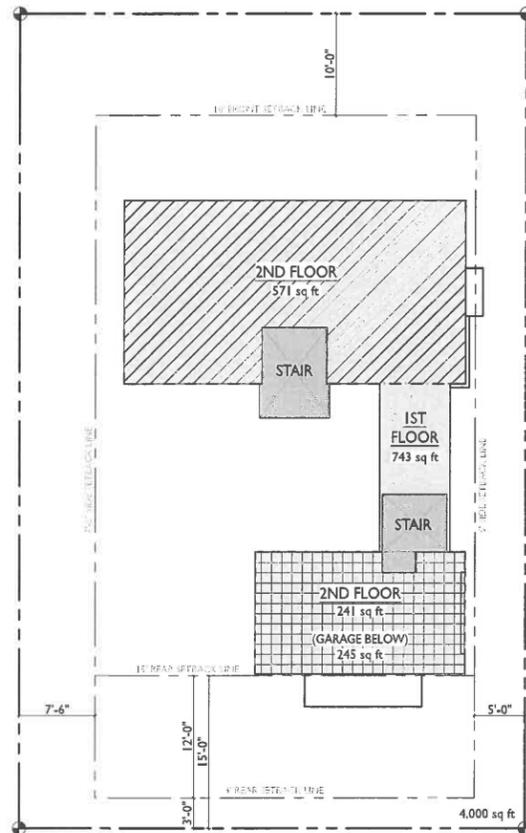
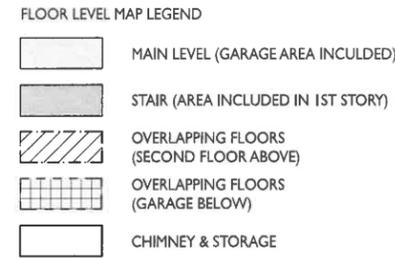
PLANNING  
 SUBMITTAL

a new residence for:  
**THE QUAN FAMILY**  
 s/w corner of 6th & carpenter  
 carmel, california  
 apn: 010-033-005

PRELIMINARY SITE  
 ASSESMENT

sheet 3  
**A1.2**  
 of -  
 sheets 196

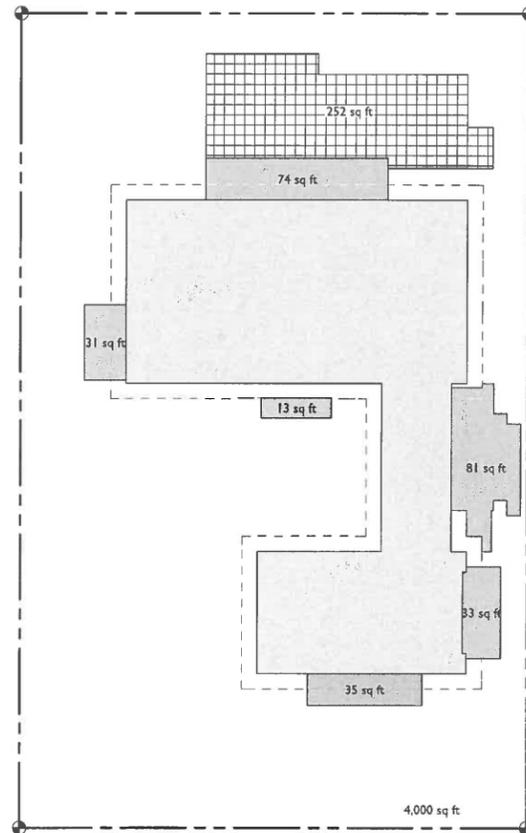
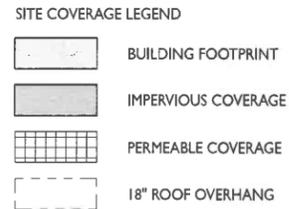
- ABBREVIATIONS**
- AC ASPHALT CONCRETE
  - FD FOUNDED
  - FNC FENCE
  - IP IRON PIPE
  - UP UTILITY POLE
  - WD WOOD
  - WM WATER METER



**3 FLOOR LEVEL MAP**  
 SCALE: 1/8" = 1'-0"

**FLOOR AREA CALCULATIONS**

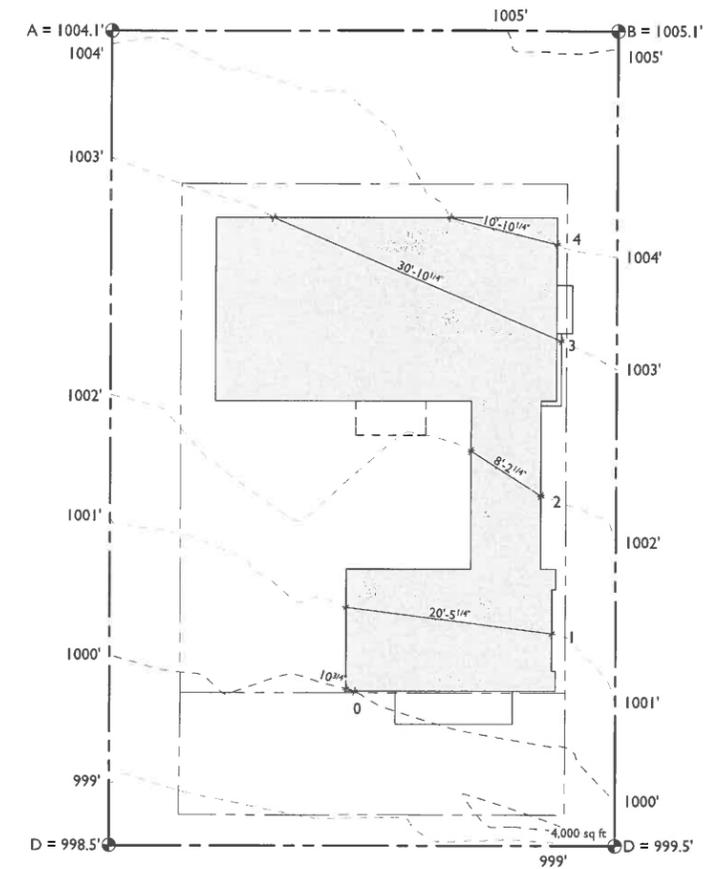
FLOOR	AREA
MAIN FLOOR	743 SQ.FT.
GARAGE	245 SQ.FT.
2ND STORY ABOVE MAIN FLOOR	571 SQ.FT.
2ND STORY ABOVE GARAGE	241 SQ.FT.
<b>TOTAL</b>	<b>1,800 SQ.FT.</b>



**2 SITE COVERAGE**  
 SCALE: 1/8" = 1'-0"

**COVERAGE SUMMARY**

ALLOWED	AREA
22% BASE FLOOR AREA	396 SQ.FT.
4% BONUS AREA FOR DRIVEWAY	160 SQ.FT.
<b>TOTAL ALLOWED</b>	<b>556 SQ.FT.</b>
PROPOSED	AREA
SEMI - PERMEABLE	252 SQ.FT.
IMPERVIOUS	267 SQ.FT.
<b>TOTAL PROPOSED</b>	<b>519 SQ.FT.</b>



**1 AVERAGE GRADE**  
 SCALE: 1/8" = 1'-0"

**AVERAGE GRADE**

LINE	LENGTH	PRODUCT
0	0.38	0
1	20.4	20
2	8.22	16
3	30.9	93
4	10.9	44
<b>TOTAL</b>	<b>71</b>	<b>173</b>
PRODUCT / LENGTH		2.4
REFERENCE HEIGHT @ 0		1000'
AVERAGE NATURAL GRADE		1002.4'

issued: 1/17/18

revised:

drawn by:

**JUSTIN PAULY ARCHITECTS**

550 North Hill St. Suite H  
 Monterey, California 93940  
 P. 831.920.1045  
 F. 831.886.3660  
 jpa@justinpaulyarchitects.com

**PLANNING  
 SUBMITTAL**

apn: 010-033-005

carmel, california

s/w corner of 6th & carpenter

a new residence for:

**THE QUAN FAMILY**

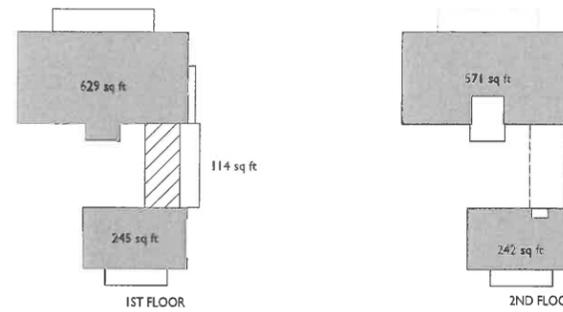
ALL DRAWINGS AND WRITTEN MATERIALS CONTAINED HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT (© JUSTIN PAULY ARCHITECTS)

**VOLUME  
 CALCULATIONS**

sheet 5

**A1.4**

of - sheets 198



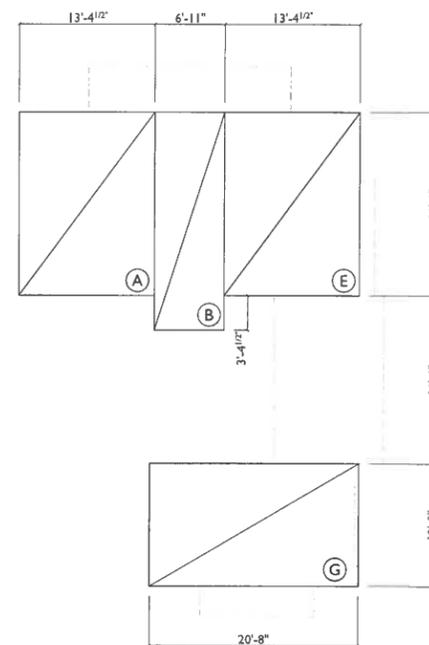
[Pattern]	ONE STORY FLOOR AREA (3:12 OR GREATER)	0 SQ. FT.
[Pattern]	ONE STORY FLOOR AREA (3:12 OR LESS)	114 SQ. FT.
[Pattern]	TWO STORY FLOOR AREA (3:12 OR GREATER)	1,686 SQ. FT.
[Pattern]	TWO STORY FLOOR AREA (3:12 OR LESS)	0 SQ. FT.
		<b>TOTAL = 1,800 SQ. FT.</b>

**ALLOWED VOLUME**

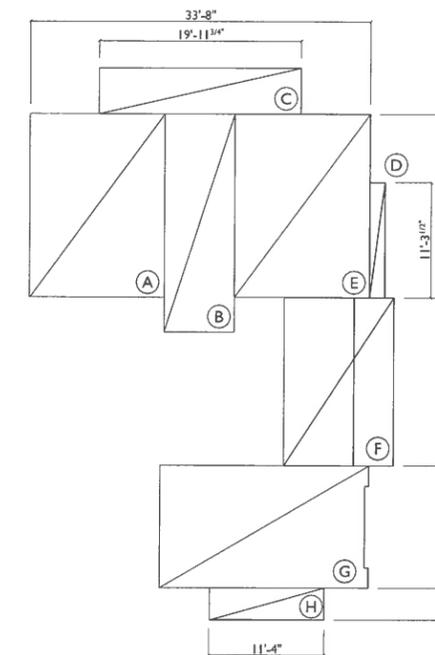
AREATYPE	PROPOSED AREA	FACTOR	ALLOWED VOLUME
ONE STORY FLOOR AREA (3:12 OR GREATER)	0 SQ. FT.	12	0 CU. FT.
ONE STORY FLOOR AREA (3:12 OR LESS)	114 SQ. FT.	11	1,254 CU. FT.
TWO STORY FLOOR AREA (3:12 OR GREATER)	1,686 SQ. FT.	11	18,546 CU. FT.
TWO STORY FLOOR AREA (3:12 OR LESS)	0 SQ. FT.	10	0 CU. FT.
<b>TOTAL</b>	<b>1,800 SQ. FT.</b>		<b>19,800 CU. FT.</b>

**PROPOSED VOLUME**

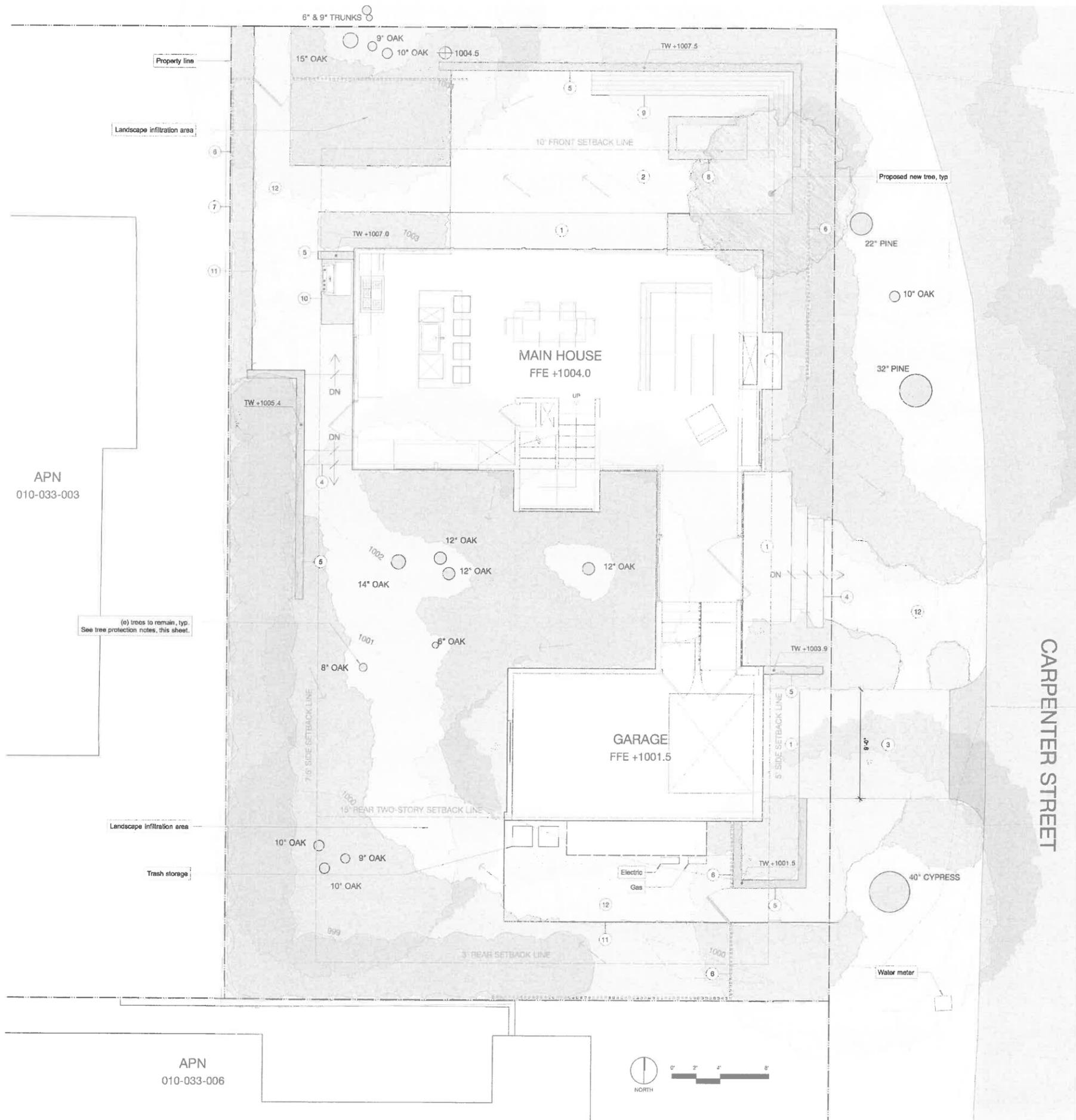
ZONE	SECTIONAL AREA	LENGTH (FT)	VOLUME
A	363 SQ. FT.	13.38	4,857 CU. FT.
B	411 SQ. FT.	6.917	2,843 CU. FT.
C	30 SQ. FT.	19.98	599 CU. FT.
D	9 SQ. FT.	11.29	102 CU. FT.
E	371 SQ. FT.	13.38	4,964 CU. FT.
F	115 SQ. FT.	16.5	1,898 CU. FT.
G	202 SQ. FT.	20.67	4,175 CU. FT.
H	10 SQ. FT.	12.23	122 CU. FT.
<b>TOTAL</b>			<b>19,560 CU. FT.</b>



**VOLUME CALC. 2ND FLOOR**  
 SCALE: 1/8" = 1'-0"



**VOLUME CALC. 1ST FLOOR**  
 SCALE: 1/8" = 1'-0"



LEGEND

- 1 Concrete paving
- 2 Gravel paving
- 3 Chip-seal gravel paving
- 4 Concrete steps
- 5 Board form concrete wall (Height varies, see exterior elevations)
- 6 Wood picket fence (Height varies, see exterior elevations)
- 7 Grape stake fence
- 8 Concrete firepit
- 9 Wood bench, Cantilever
- 10 Outdoor cook station
- 11 Steel retainer
- 12 Bark chips
- Water Flow

**BLISS**  
LANDSCAPE  
ARCHITECTURE

26344 Carmel Rancho Lane, Ste. 4U  
Carmel, CA 93923

www.blisslandscapearchitecture.com



project name

**The Quan  
Residence**

SW Corner of 6th and Carpenter  
Carmel, CA 93923

010-033-005

issue set

issue date 01.02.18

previous issue

rev	description	date

drawing title

**LANDSCAPE PLAN**

drawn by: OL  
scale: 1/4"=1'-0"

TREE PROTECTION NOTES

Tree protection shall conform with City tree protection standards. The contractor shall erect protective barricades around all trees on a private building site. These barricades shall be in place prior to the start of any construction or demolition activities. Barricades shall be upright, two-inch by four-inch planks standing a minimum of eight feet vertically, conforming to the tree, tied with wire or rope forming a maximum of one-inch space between the planks. If the tree's configuration or site conditions do not lend themselves to the installation of this type barricade, the City Forester will designate alternate tree protection methods.

# LANDSCAPE MATERIALS + FINISHES

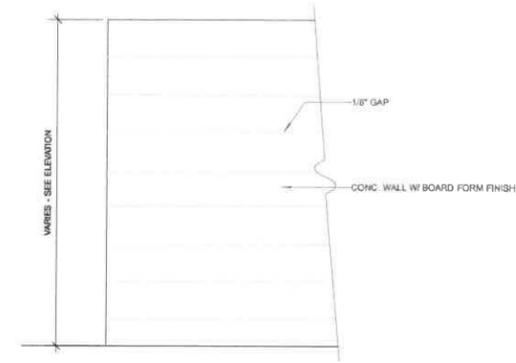
## NOTES

- 1 ALL ITEMS BELOW CORRESPOND TO NUMBERED ITEMS ON L1.0 SITE PLAN
- 2 PROVIDE MOCK-UP SAMPLES FOR ITEMS REQUESTED. MOCK UPS TO BE REVIEWED BY BLA
- 3 FOR PHOTO REFERENCES, REFER TO THIS SHEET

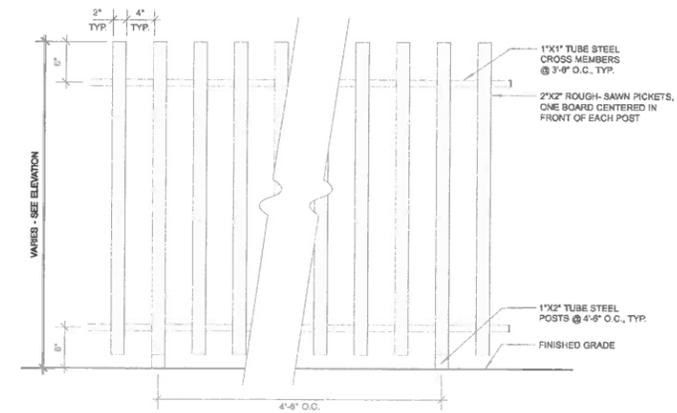
## DESIGNER/CONTRACTOR LEGEND

BLA	Bliss Landscape Architecture	GC	General Contractor
ARCH		LC	Landscape Contractor
CE	Civil Engineer		
SE	Structural Engineer		

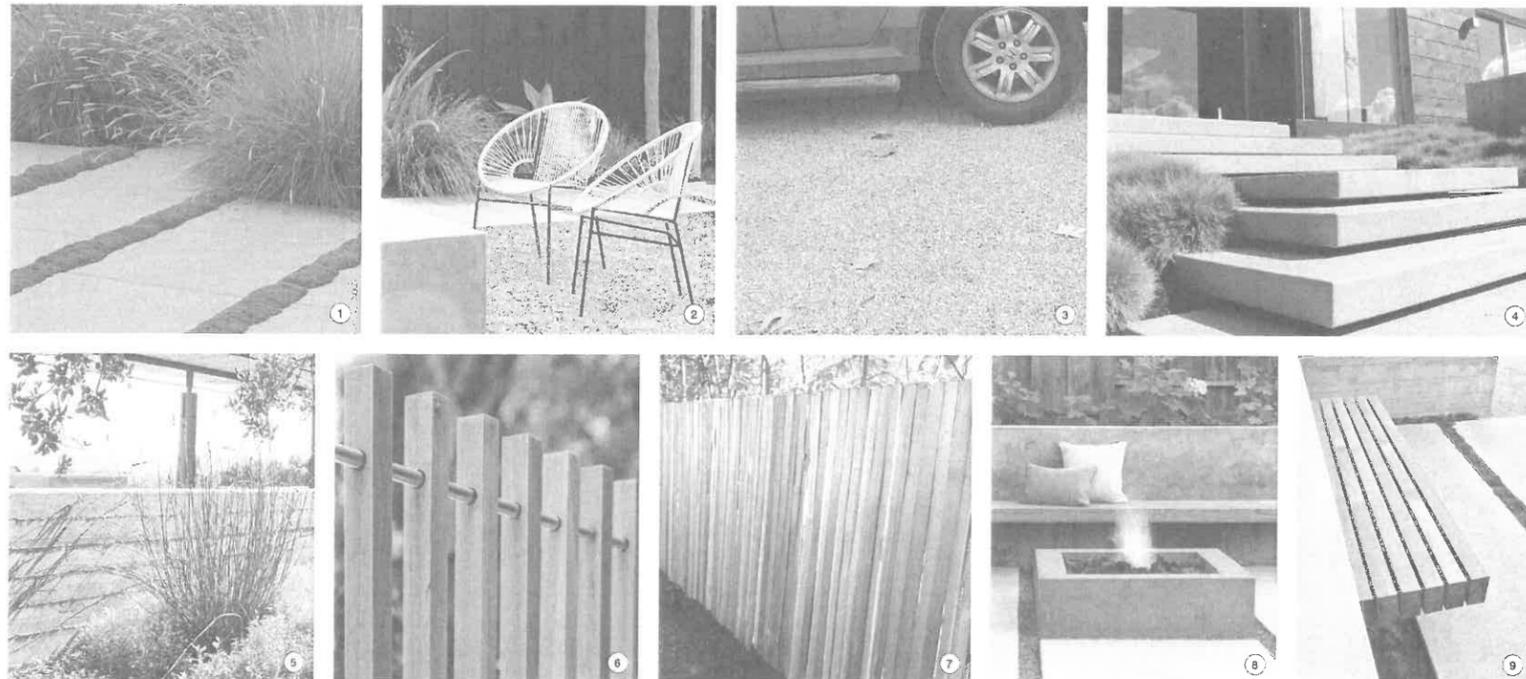
LANDSCAPE ITEM	SPECIFICATION	DESIGNER RESPONSIBLE	CONTRACTOR RESPONSIBLE	NOTES	CD DETAIL #	MOCK UP REQUIRED
1 PAVING: CONCRETE	Concrete: 4" PIP reinforced concrete paver, integral color TBD, light acid-etch finish, 1/8" radius corners TYP.	BLA	GC		L1.1	YES
2 PAVING: GRAVEL	Gravel: 3/8" clean "Yuma" gravel over compacted aggregate base per geotech report	BLA	GC+LC	Base prep by GC, Gravel prep by LC Gravel 3/8", rolled in two even courses	L1.1	YES
3 PAVING: CHIP-SEAL GRAVEL PAVING	TBD	BLA	GC		L1.1	YES
4 STEP: CONCRETE	Concrete: reinforced concrete step, integral color TBD, light acid-etch finish, 1/8" radius corners TYP. Base: compacted aggregate base per geotech report	BLA	GC		L1.1	YES
5 WALL: BOARD FORM CONCRETE	PIP concrete with decorative horizontal board-form finish, integral color TBD, Height varies, see exterior elevations. Finish: use 2" x 6" wide re-sawn wood form boards to imprint texture, no gap between boards; square edges at corners; align & level boards at all horizontals on each face; align boards on all sides of walls, ensure alignment of board coursing of imprinted texture between joints and accounting for form board shrinkage; use of form ties on visible surfaces shall be prohibited; rub down excessive protrusions between board coursing	BLA	GC	Structural retaining wall detailing by SE, Drainage by Civil Engineer	L1.1 #5	YES
6 FENCE: WOOD, PICKET	Vertical pickets: full dimension 2" x 2" WRC - STK; rough sawn finish (all sides), with semi-transparent stain finish. Height varies, see exterior elevations.	BLA	GC		L1.1 #6	YES
7 FENCE: GRAPE STAKE	Split face, 1" x 2" redwood grape stake fencing with 2" x 4" PTDF top + bottom rail and 4" x 4" PTDF posts.	BLA	GC		L1.1 #7	YES
8 FIRE PIT: CONCRETE	PIP reinforced concrete w/ smooth finish.	BLA	GC		L1.1	YES
9 BENCH: WOOD, CANTILEVER	3" x 4" S4S lpe slats with 3/8" galv. steel spacers and 3/8" galv. steel plate anchored to conc. wall. Bench to be 24" wide, with top of bench 18" above finish grade.	BLA	GC		L1.1	YES
10 OUTDOOR COOK STATION	See Architecture drawings.	ARCH	GC		-	YES
11 STEEL RETAINER	3/16" Unfinished, cold-rolled steel edge welded to verticle stakes. Steel flush with finish surface, and set 1/4" above finish grade.	BLA	GC		-	YES
12 BARK CHIP	Type TBD	BLA	LC		-	YES



5 ELEVATION DETAIL: BOARD FORM CONCRETE WALL  
1" = 1'-0"



6 ELEVATION DETAIL: VERTICAL WOOD FENCE  
1" = 1'-0"



7 ELEVATION DETAIL: SINGLE-SIDED GRAPE STAKE FENCE  
1" = 1'-0"

# BLISS LANDSCAPE ARCHITECTURE

26344 Carmel Rancho Lane, Ste. 4U  
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www.blisslandscapearchitecture.com



project name

The Quan Residence

SW Corner of 6th and Carpenter  
Carmel, CA 93923

010-033-005

issue set

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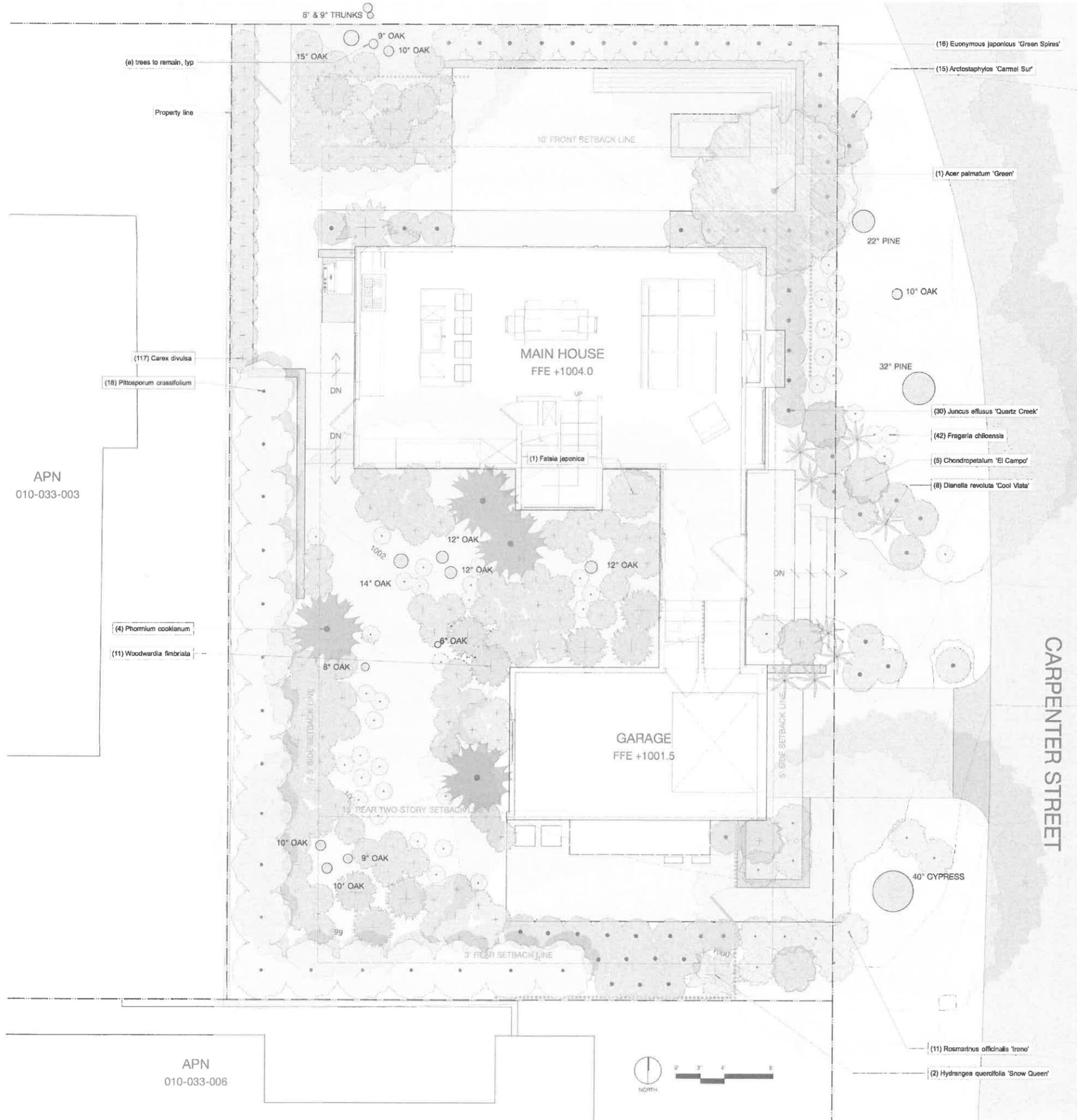
rev	description	date
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drawing title

MATERIALS & FINISHES

drawn by: OL  
scale: As shown

L1.1 200



**PLANT LEGEND**

Symbol	Quantity	Botanical Name	Common Name	Container Size
<b>TREES</b>				
	1	<i>Acer palmatum</i> 'Green'	Japanese Maple (multi-trunk)	36" box
	15	<i>Arctostaphylos</i> 'Carmel Sur'		
	1	<i>Acer palmatum</i> 'Green'		
		22' PINE		
		10' OAK		
		32' PINE		
	30	<i>Juncus effusus</i> 'Quartz Creek'	Quartz Creek Soft Rush	1 gal
	42	<i>Fragaria chiloensis</i>		
	5	<i>Chondropetalum</i> 'El Campo'		
	8	<i>Dianella revoluta</i> 'Cool Vista'		
<b>SHRUBS</b>				
	5	<i>Chondropetalum</i> 'El Campo'	Dwarf Cape Rush	5 gal
	8	<i>Dianella revoluta</i> 'Cool Vista'	Flax Lily	1 gal
	16	<i>Euonymus japonicus</i> 'Green Spires'	Green Spire Euonymus	15 gal
	1	<i>Fatsia japonica</i>	Japanese Aralia	15 gal
	2	<i>Hydrangea quercifolia</i> 'Snow Queen'	Oak-Leaf Hydrangea	15 gal
	30	<i>Juncus effusus</i> 'Quartz Creek'	Quartz Creek Soft Rush	1 gal
	4	<i>Phormium cookianum</i>	Mountain Flax	5 gal
	18	<i>Pittosporum crassifolium</i>	Karo	15 gal
	10	<i>Woodwardia fimbriata</i>	Giant Chain Fern	5 gal
<b>GROUNDCOVERS</b>				
	15	<i>Arctostaphylos</i> 'Carmel Sur'	Carmel Sur Manzanita	1 gal
	117	<i>Carex divisa</i>	Berkeley Sedge	4"
	42	<i>Fragaria chiloensis</i>	Beach Strawberry	4"
	11	<i>Rosmarinus officinalis</i> 'Irene'	Creeping Rosemary	1 gal

**PLANTING NOTES**

- Contractor shall be responsible for making themselves familiar with all underground utilities, pipes, and structures. Contractor shall take responsibility for any cost incurred due to damage of said utilities.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist in planting areas. Such conditions shall be immediately brought to the attention of the Construction Manager.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- Contractor shall submit a random soil samples from the site to a qualified soil testing lab for a horticultural suitability test and amendment recommendations. After amending topsoil to a depth of 8" (and in accordance with soil test recommendations), grade all areas smooth with no localized depressions or humps exceeding 1". Insufficient or unsuitable existing soil shall be augmented or replaced with topsoil as approved by the Landscape Architect.
- All plant material shall be approved by Landscape Architect prior to installation.
- Contractor to complete all soil amending, finish grading and removal of any and all construction debris from the planting areas before the laying out of approved plant material.
- Contractor shall layout all plants in their containers as per this Plan and receive approval from Landscape Architect prior to installation.
- Contractor shall notify Construction Manager + Landscape Architect 48 hours prior to commencement of work to coordinate project inspection schedules.
- Any plant substitutions must be approved by the Landscape Architect for approval or alternate choices.
- All plants shall be healthy, pest and disease free, free of girdling roots and well established in the container.
- Trees shall be located a minimum of 4 ft. from walls, overhangs, walks, headers and other trees within the project, unless shown otherwise.
- No plant shall be planted with rootballs or planting pits in a dry condition.
- Water all plants by handheld hose with watering wand attachment immediately after planting (no water "letting"). No plant should be out of its container more than twenty minutes before being planted and watered. Contractor shall be responsible for irrigating all new plantings until the entire project has been completed and accepted by the Owner.
- Contractor is responsible to apply sufficient but not excess irrigation to all new plantings to ensure healthy plant establishment.
- Backfill mix shall consist of 1/3 imported organic compost and 2/3 amended site soil.
- Immediately after excavation of plant pits, test drainage of pits by filling with water. Give written notification of conditions permitting the retention of water in pits for more than (3) hours. Contractor shall submit to Owner and Landscape Architect for acceptance a written proposal and cost estimate for the correction of poor drainage conditions before proceeding with planting.
- All newly planted container plants and trees shall receive watering basins 3 times the size of the root ball upon planting, unless otherwise shown on Drawings.
- Planting areas shall receive a 2" layer of composted oak leaf mulch, unless noted otherwise.
- Mulch shall be kept at a depth of 2" deep near the plant crowns and trunks, and not extend higher than 1/8" onto the crown or trunk of any newly planted plant or tree.
- All plant material shown on the Planting Plan is subject to the adverse effects of Nature including, but not limited to, fire, earthquake, flooding, freezes, drought, erosion and foraging predators. The Landscape Architect cannot, and does not, guarantee or imply warranty that specified plants will survive these Acts of Nature. All plants specified satisfy the general climatic conditions set forth by the U.S. Department of Agriculture and the Sunset Western Garden Book.



project name  
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SW Corner of 6th and Carpenter  
Carmel, CA 93923

010-033-005

issue set

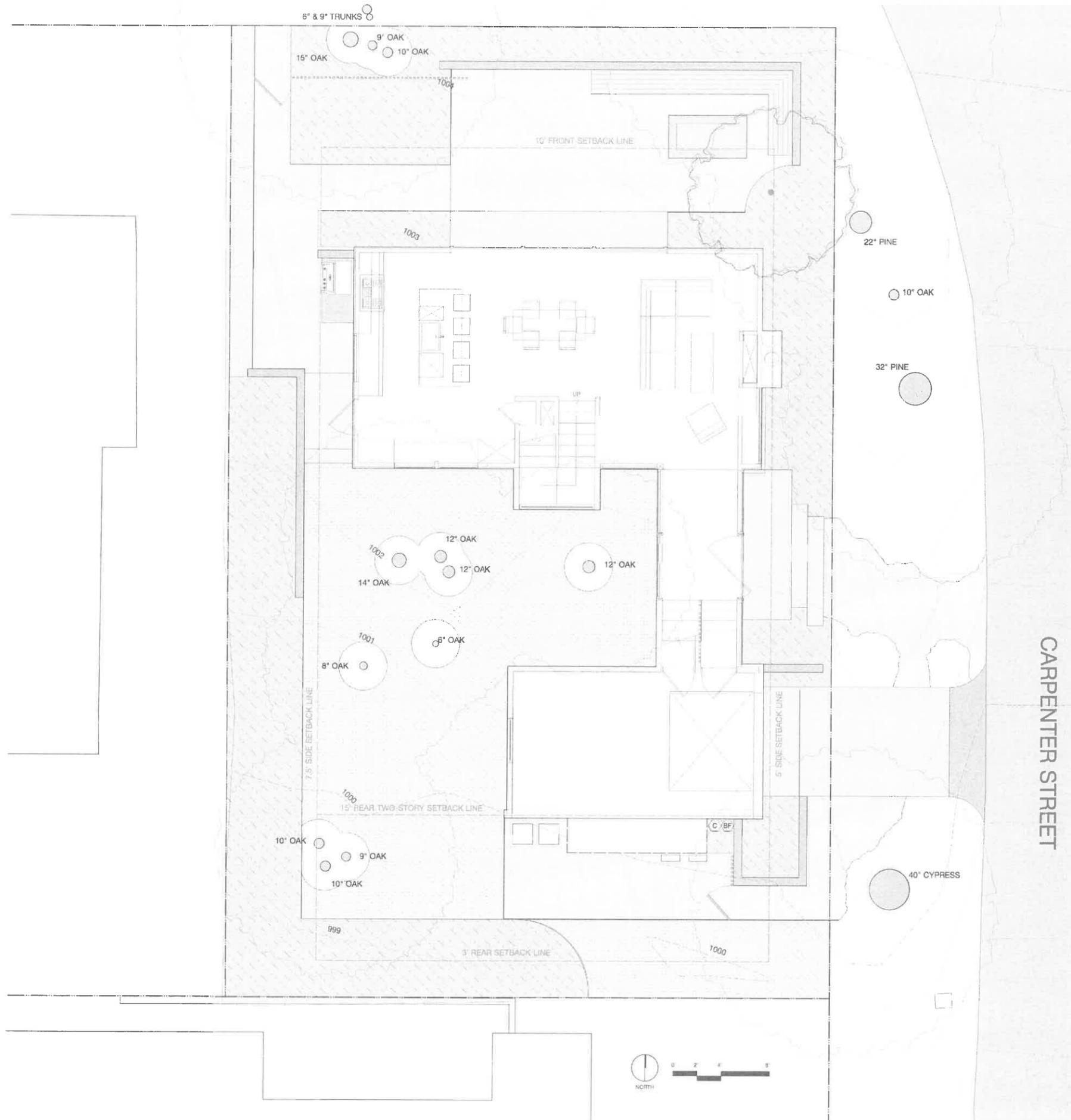
issue date 01.02.18

previous issue

rev description date

drawing title  
**PLANTING PLAN**

drawn by: OL  
scale: 1/4"=1'-0"



**IRRIGATION ZONES**

- ZONE 1: Low flow, sub-surface dripline, Toro DL2000 Dripline with Root Guard, or equivalent.
- ZONE 2: Low flow, drip emitter irrigation system for trees, shrub and grasses.
- CONTROLLER LOCATION
- BACKFLOW PREVENTER + SHUT-OFF VALVE, TBD.

**IRRIGATION NOTES**

1. This diagram is to show design intent only, it is not intended to replace a complete irrigation plan construction document and is therefore not for construction. Zones of differing water needs are indicated, exact water requirements to be determined.
2. The proposed irrigation system will provide appropriate methods of water distribution based on planting types and groups of plants with similar water needs. Because all proposed plant material has medium- to low-water requirements, the irrigation system will consist of low-flow or 'drip' system.
3. All 'drip' control valves will include in-line filtration. Trees will be irrigated on separate valves from shrubs, groundcovers and turf. Each irrigation zone will have a matched precipitation rate and will be designed to irrigate hydro zones with similar site, slope, soil, solar aspect and plant material.
4. Contractor shall be responsible for ensuring that all work is in accordance with all applicable codes and that all necessary permits are obtained.
5. Contractor shall verify available pressure, and review the following with the Landscape Architect or Owner: point of connection, backflow preventer, master shut off valve, entire irrigation system pressure regulator, controller location, power source and other information pertinent to the installation of the irrigation system.
6. Contractor to lay out piping to minimize disturbance under existing trees. No trenching shall occur within tree driplines. If a condition arises where trenching within the tree driplines is necessary, consult Landscape Architect or Owner before proceeding.
7. Materials should be Rainbird or products of an equivalent quality.
8. Wire shall be #14 minimum, U.L. Approved for direct burial.
9. All pressure lines and lateral lines shall be minimum Schedule 40.
10. Select nozzles to fit area being irrigated and to minimize overspray. Use adjustable arc nozzles in areas smaller than 90 degree angle. Nozzles to point away from Oaks.
11. 100% head to head overlap is required for all spray areas.
12. Locate remote control valves in shrub areas out of sight and adjacent to edges wherever possible. Review locations of valves with Landscape Architect or Owner prior to installation. Valve box covers to be black.
13. Install check valves on all low heads as required to prevent low head drainage.
14. Controller shall be multi programmable with repeat start times and capable of minimum 28 day cycle.
15. Contractor shall provide sleeves under walls and paving areas as needed for irrigation, electrical, and drainage lines. Provide at least two (2) 4" Schedule 40 sleeves at each location.
16. Contractor to provide Owner with warranties and operating instructions for all equipment, with a diagram coordinating numbers with site irrigation zones, and instruct Owner in controller operation.
17. Provide hose bibbs as directed by Landscape Architect or Owner. Hose bibb to be standard brass fixture mounted 12" above adjacent finish grade stake place with 3/4" galvanized pipe attached with radiator clamps. Drive stake a minimum of 3' into ground.
18. Landscape Architect to review all irrigation layout prior to installation.

**DRIP IRRIGATION NOTES**

1. The contractor shall provide a drip emitter system for all tree, shrubs and groundcover plantings as indicated on the Plan.
2. Actual layout of emitter system shall be determined by the Contractor in the field using the Planting Plan as a guide.
3. Each 15 gallon shrub shall receive three 1 GPH emitters distributed evenly around shrub, via distribution tubing.
4. Each 5 gallon shrub shall receive two 1 GPH emitters on opposite sides of shrub, via distribution tubing.
5. Each 1 gallon shrub shall receive two 1/2 GPH emitters on opposite sides of shrub, via distribution tubing.
6. Install emitters on top of the rootball and as far from the trunk of the plant as possible.
7. Distribution tubing shall be a maximum of 5' in length from 1/2" tubing to emitter. Each length of 1/2" drip tubing shall be a maximum of 25'.
8. Install 'Flush Plugs' at the end of the rigid PVC supply lines.
9. All PVC lateral pipe to drip tubing shall be 3/4".
10. The drip emitter system layout shall be approved by the Landscape Architect after planting has been completed.



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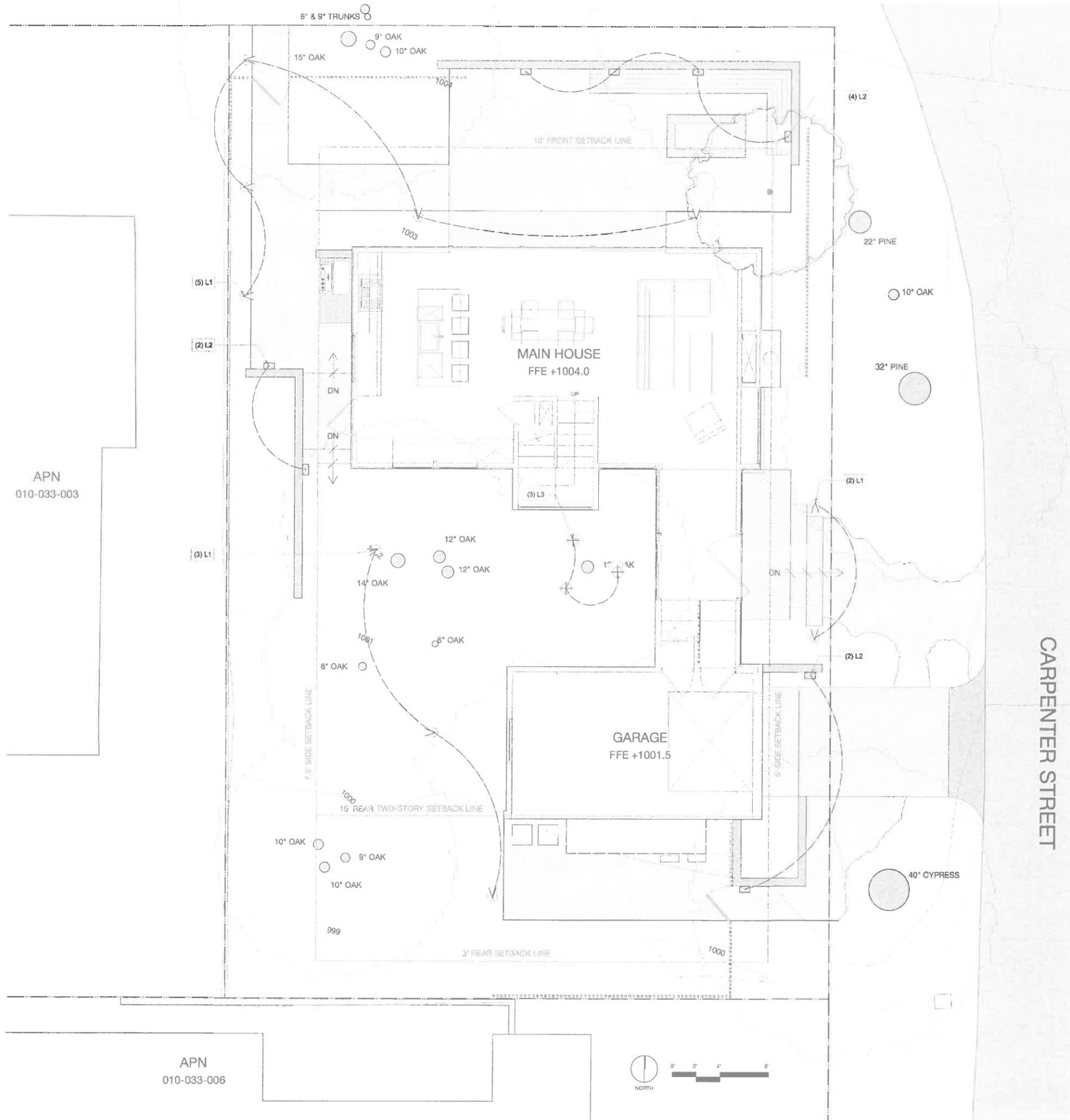
issue date 01.02.18

previous issue

rev	description	date

drawing title  
**IRRIGATION PLAN**

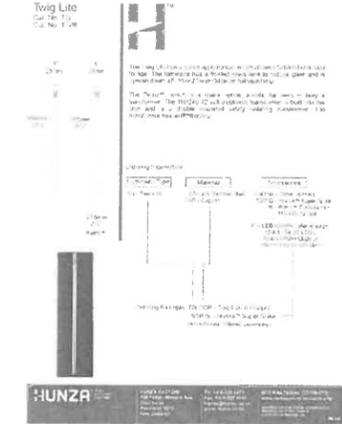
drawn by: OL  
scale: 1/4"=1'-0"



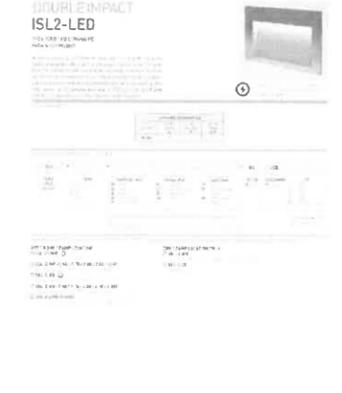
**LIGHTING LEGEND & SPECIFICATIONS**

Symbol	Quantity	Description	Brand/Model	Wattage	Notes
∇	L1 10	Path Light	Hunza- 'Twig Lite' TG COP	5W	
□	L2 8	Recessed Wall Light	Lucifer- 'Double Impact' ISL2-LED	6.5W	
⊕	L3 3	Tree Down Light	BK Lighting- 'Aristar Ring Mount Down Light' RM AR LED	7W	

L1 / Path Light



L2 / Recessed Wall Light



L3 / Tree Down Light



**EXTERIOR LIGHTING NOTES**

- Lights to be controlled with switches (S.A.D.).
- Light source shall not be visible from off-site premises.
- The lighting plan is diagrammatic and intended to show general fixture location and type. Exact location of fixtures and transformers shall be verified on site with landscape architect.
- Contractor shall coordinate with general contractor and electrical contractor for installation of conduit, sleeving, switching locations and junction boxes during other phases of work.
- All fixtures to be installed per manufacturer's specifications.
- All 'flush' fixtures to be installed level with top of paving material, gravel or plant bed mulch, unless otherwise noted.

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rev description date

drawing title  
**LIGHTING PLAN**

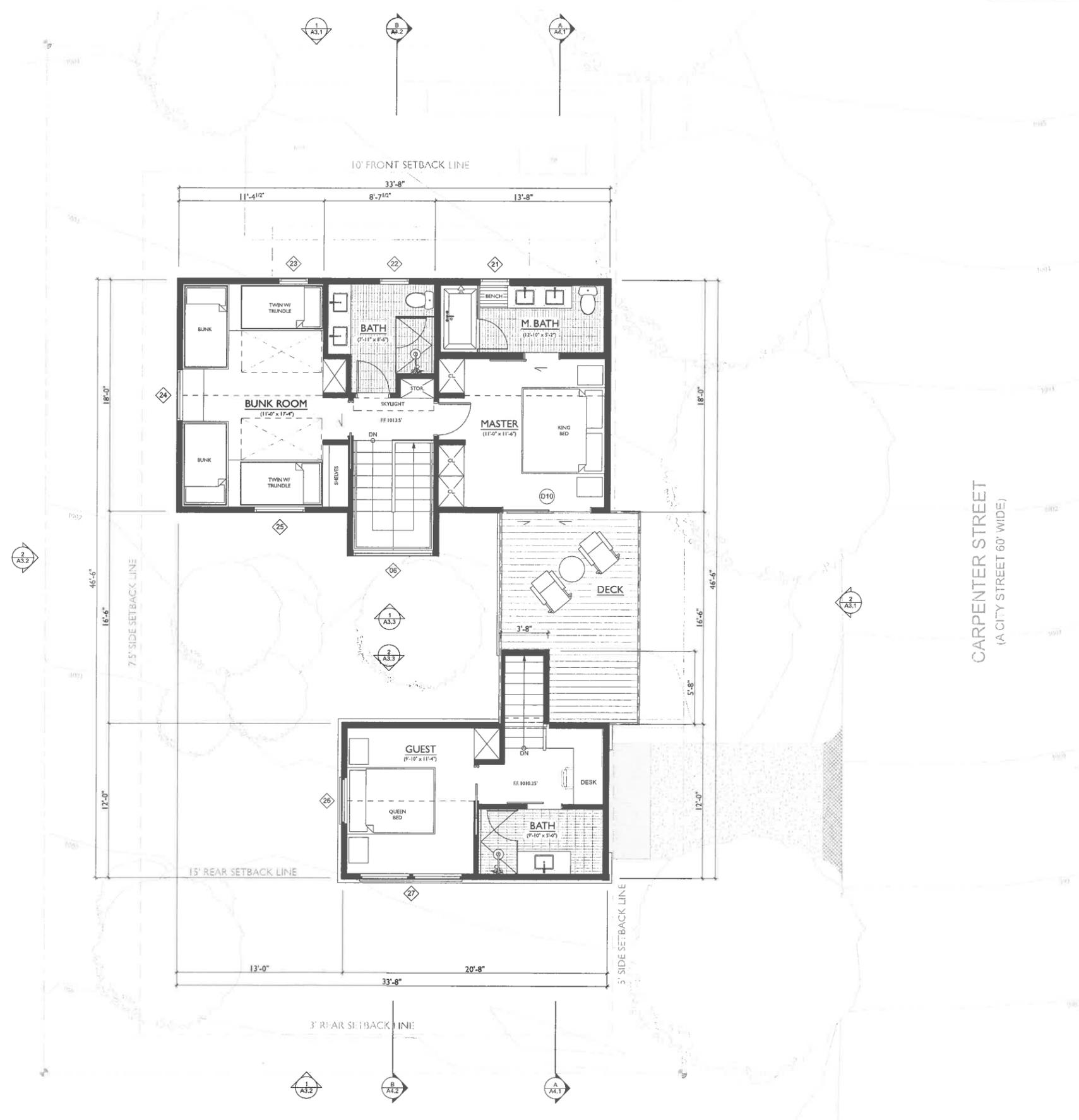
drawn by: OL  
scale: 1/4"=1'-0"



1 2nd FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLAN



issued: 1/17/18  
revised:  
drawn by:

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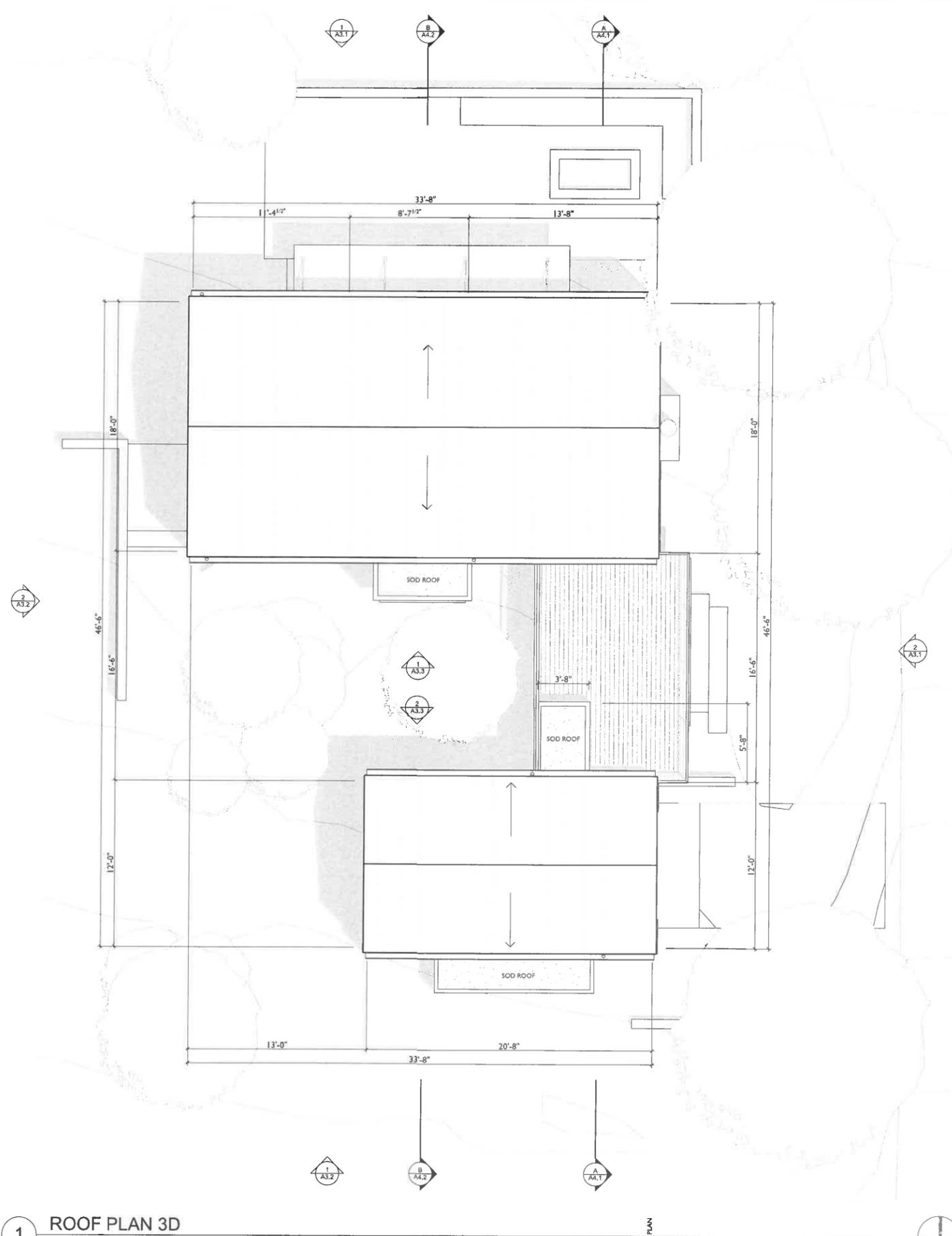
**PLANNING  
SUBMITTAL**

a new residence for:  
**THE QUAN FAMILY**  
s/w corner of 6th & carpenter  
carmel, california  
apr: 010-033.005

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SECOND FLOOR PLAN

sheet 14  
**A2.2**  
of sheets  
205



1 ROOF PLAN 3D  
SCALE: 1/4" = 1'-0"

issued: 1/17/18  
revised:  
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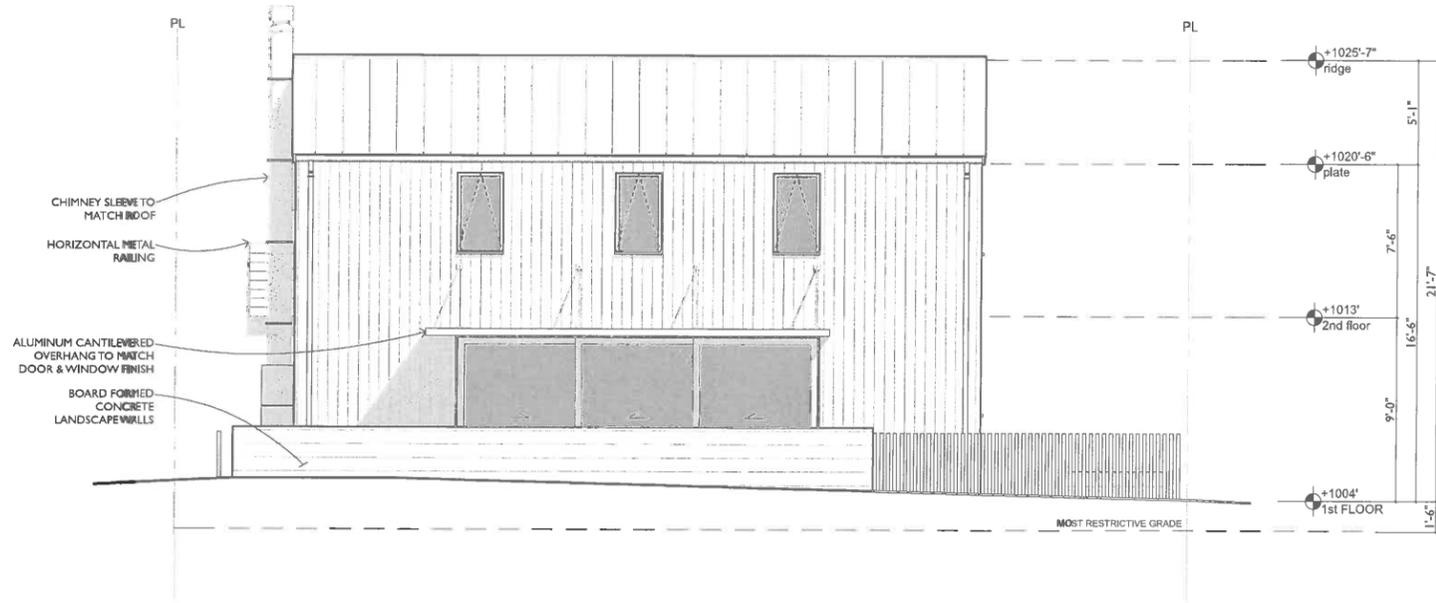
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s/w corner of 6th & carpenter  
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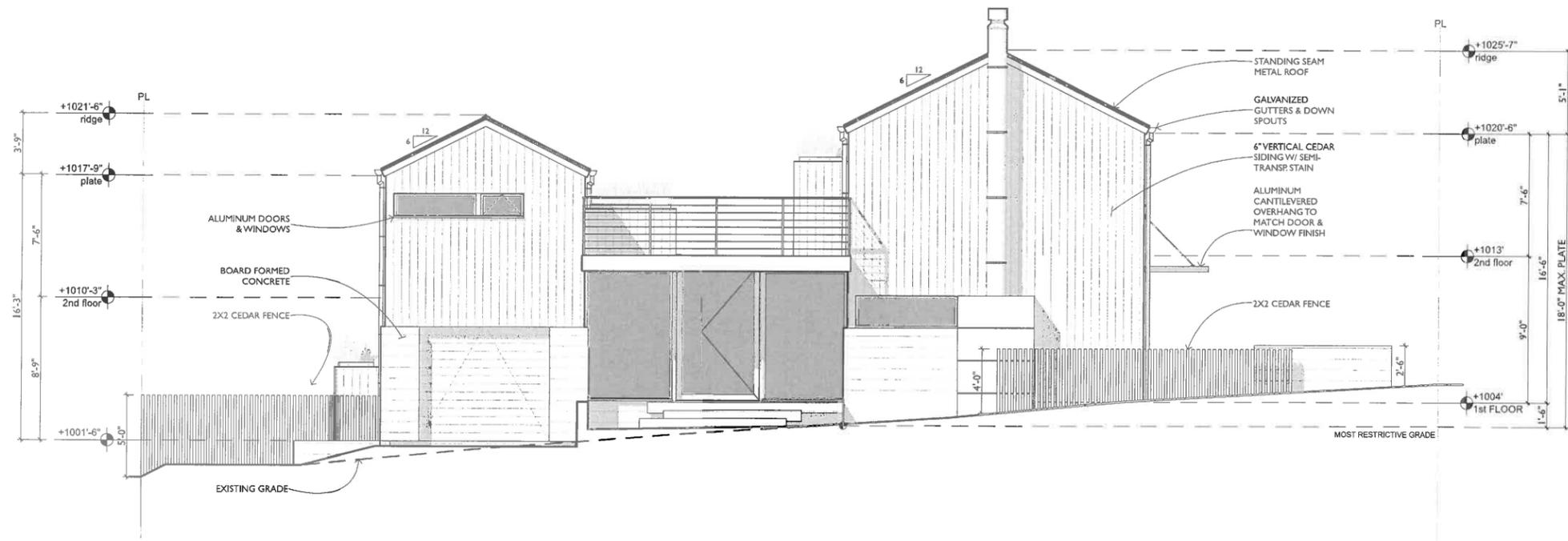
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ROOF PLAN

sheet 15  
**A2.3**  
of -  
sheets 206



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

issued: 1/17/18  
revised:  
drawn by:

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PLANNING  
SUBMITTAL

apn: 010.033.005

a new residence for:  
**THE QUAN FAMILY**  
carmel, california  
s/w corner of 6th & carpenter

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NORTH & WEST  
ELEVATIONS

sheet 16  
**A3.1**  
of -  
sheets 207

issued: 1/17/18

revised:

drawn by:

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**PLANNING  
SUBMITTAL**

apn: 010-033-005

carmel, california

a new residence for:

**THE QUAN FAMILY**

s/w corner of 6th & carpenter

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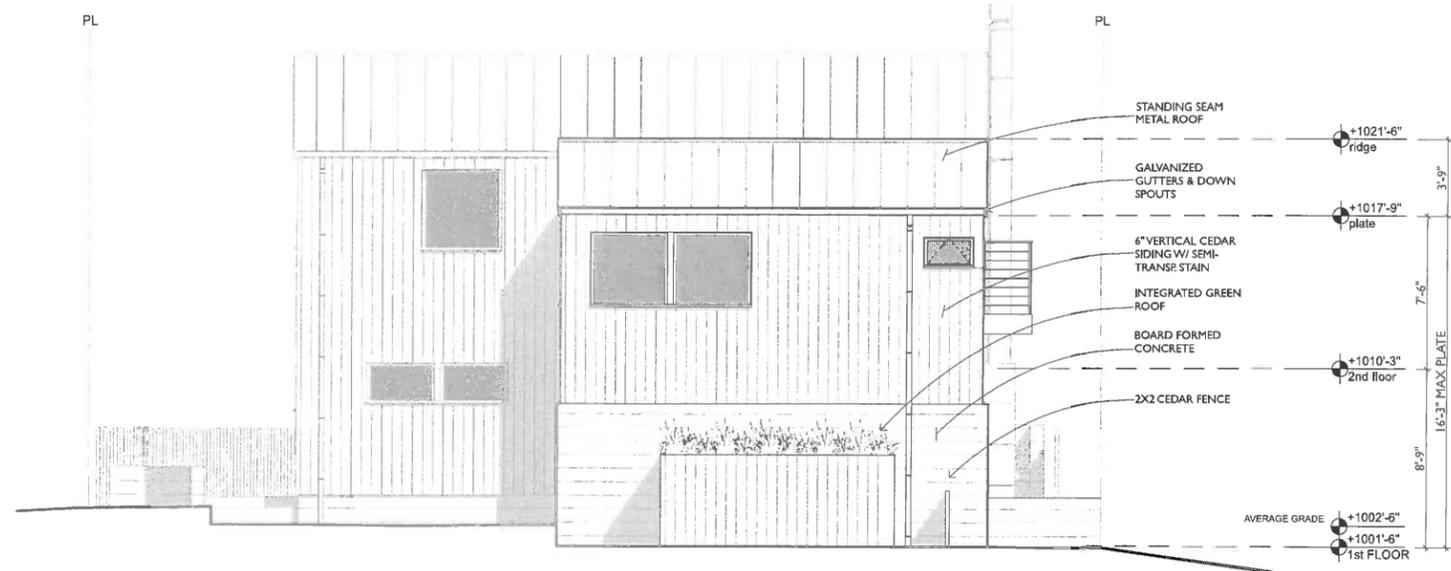
**SOUTH & WEST  
ELEVATIONS**

sheet 17

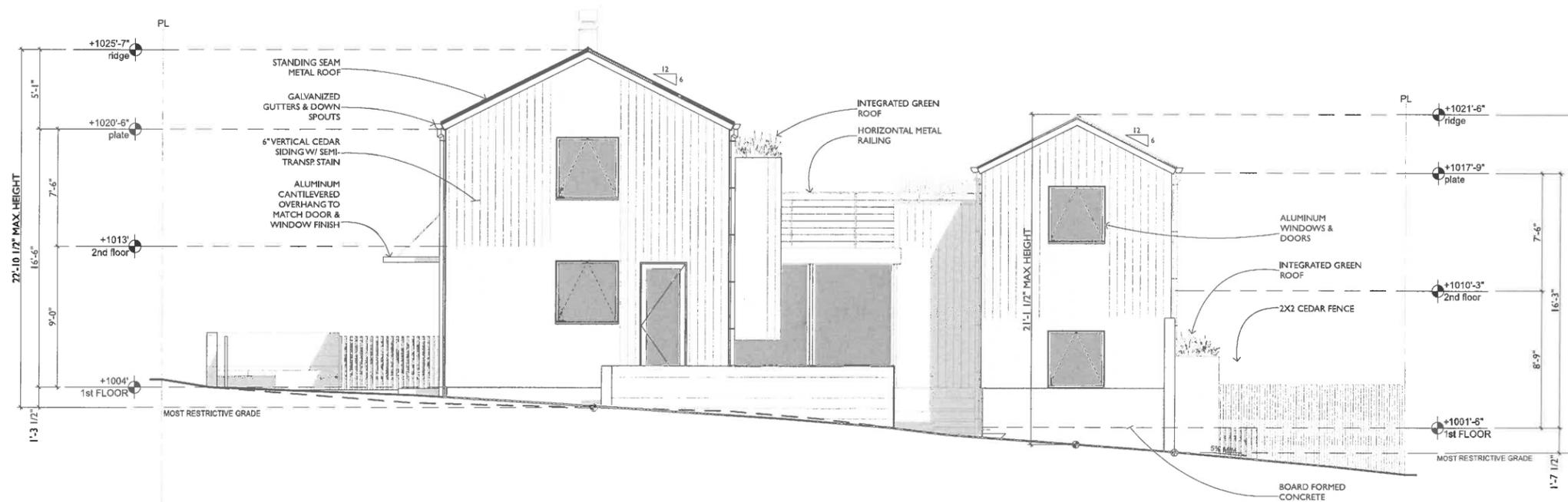
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of -  
sheets

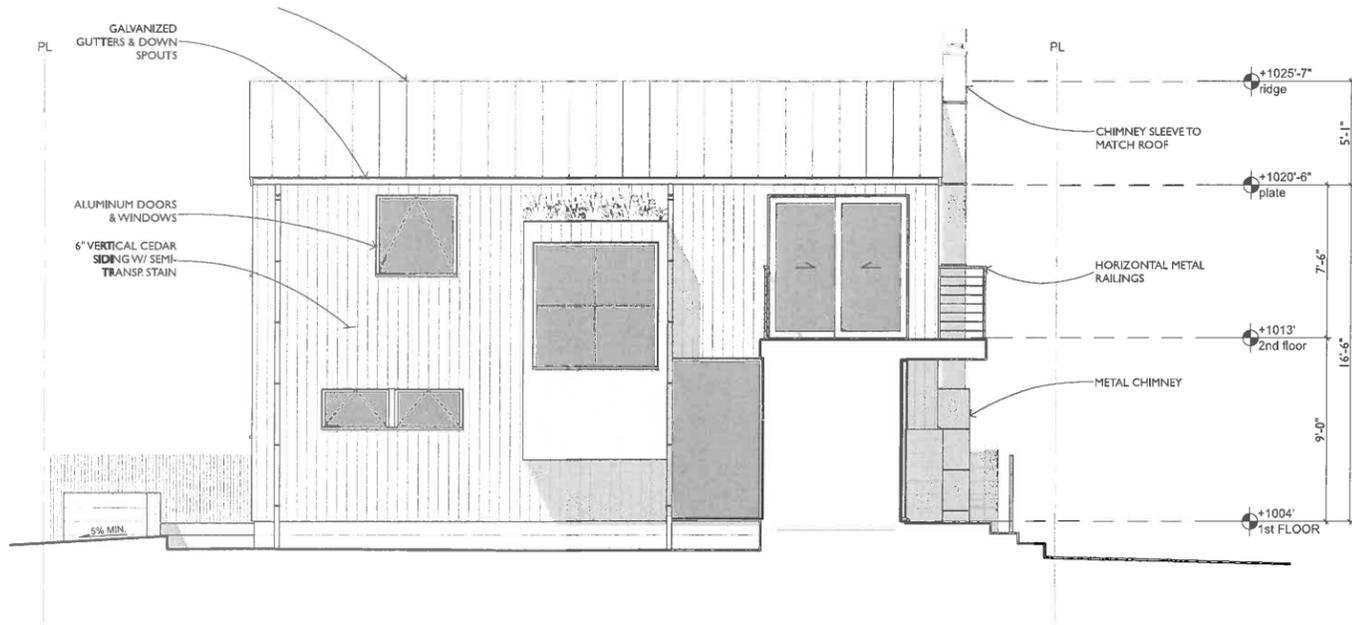
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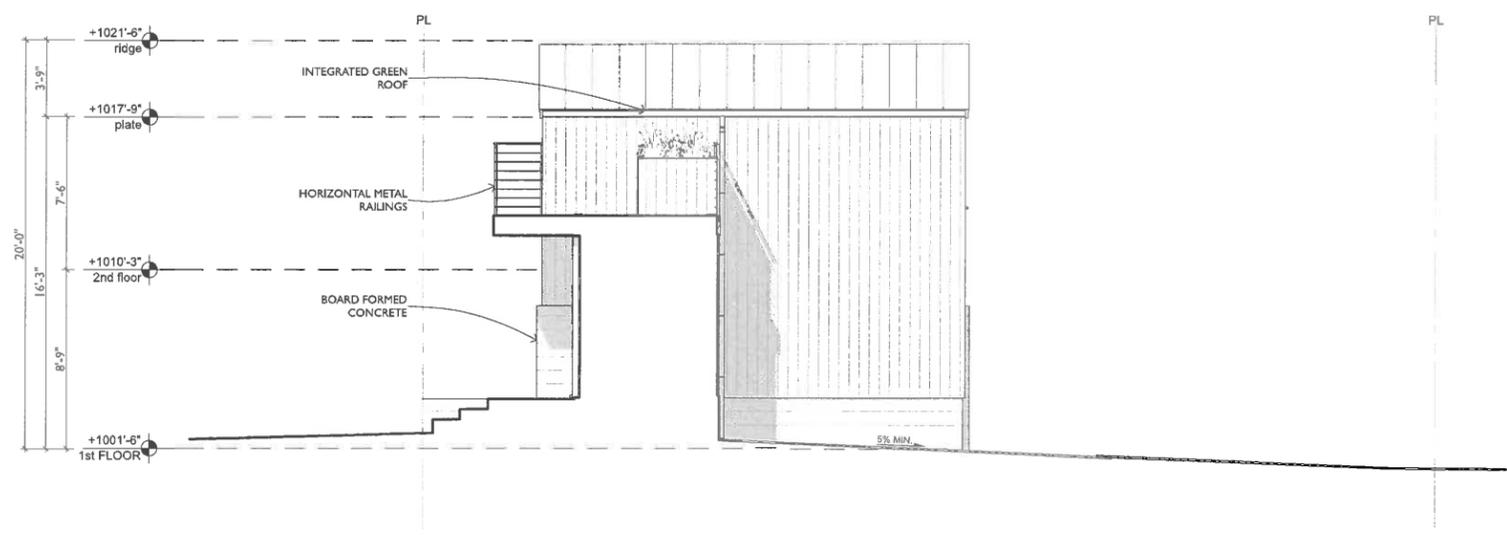
**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1** SECTION THROUGH ENTRY & SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



**2** SECTION THROUGH ENTRY LOOKING SOUTH  
SCALE: 1/4" = 1'-0"



issued: 1/17/18

revised:

drawn by:

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**PLANNING  
SUBMITTAL**

a new residence for:

**THE QUAN FAMILY**

s/w corner of 6th & carpenter

carmel, california

apn: 010.033.005

**NORTH & WEST  
ELEVATIONS  
(COURTYARD)**

sheet 18

**A3.3**

of -  
sheets

209

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revised:

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**PLANNING  
SUBMITTAL**

apn: 010.033.005

carmel, california

s/w corner of 6th & carpenter

a new residence for:

**THE QUAN FAMILY**

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**EXISTING & PROPOSED STREET ELEVATIONS (CARPENTER)**

sheet 19

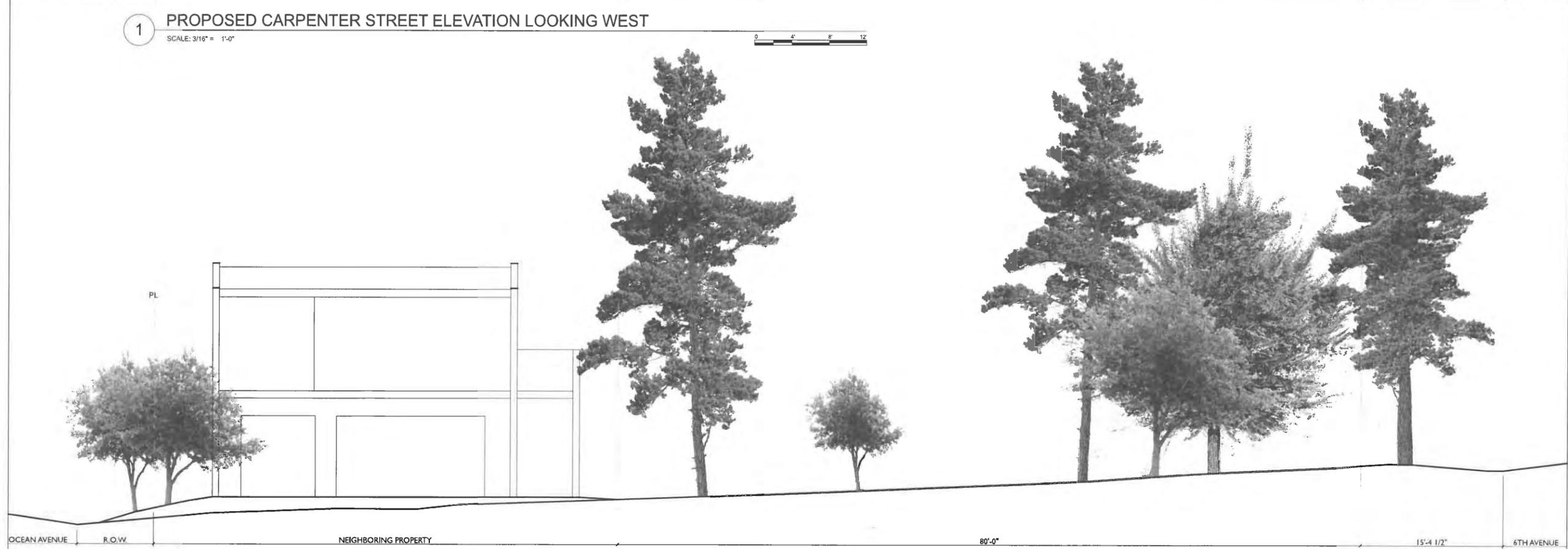
**A3.4**

of sheets

210



**1** PROPOSED CARPENTER STREET ELEVATION LOOKING WEST  
SCALE: 3/16" = 1'-0"



**2** EXISTING CARPENTER STREET ELEVATION LOOKING WEST  
SCALE: 3/16" = 1'-0"



issued: 1/17/18

revised:

drawn by:

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**PLANNING  
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apn: 010.033.005

a new residence for:  
**THE QUAN FAMILY**  
s/w corner of 6th & carpenter  
carmel, california

ALL DRAWINGS AND WRITTEN MATERIALS CONTAINED HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT (© JUSTIN PAULY ARCHITECTS)

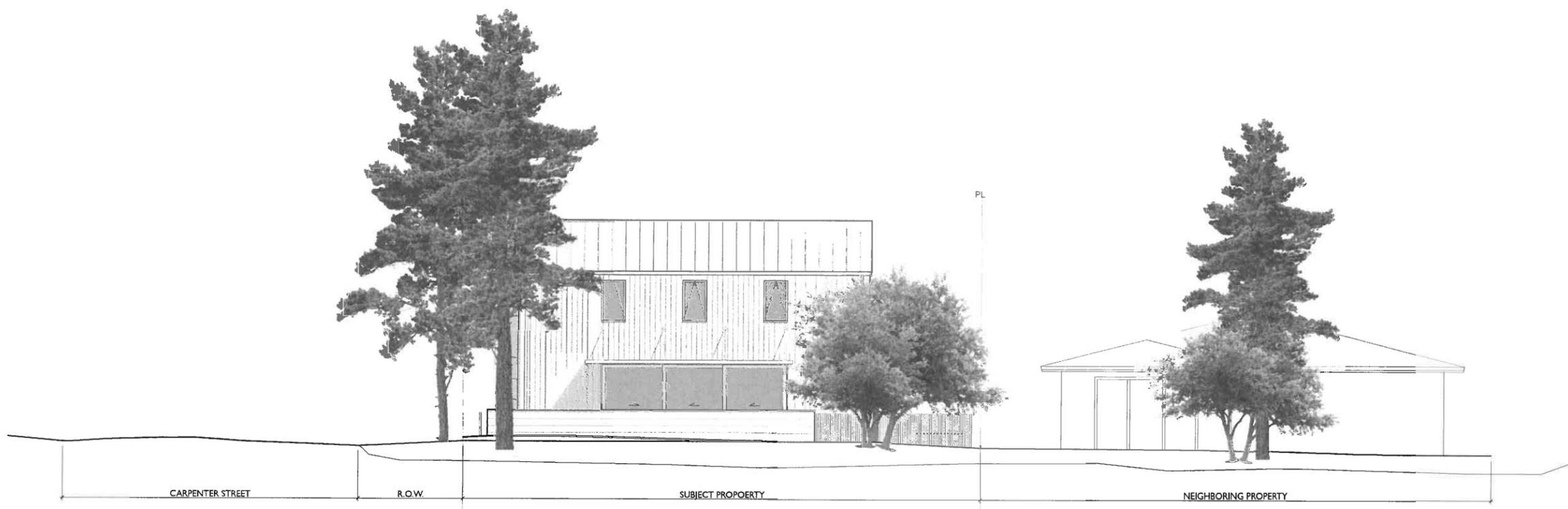
EXISTING & PROPOSED STREET ELEVATIONS (6TH AVENUE)

sheet 20

**A3.5**

of -  
sheets

211



**1** PROPOSED 6TH AVENUE ELEVATION LOOKING SOUTH

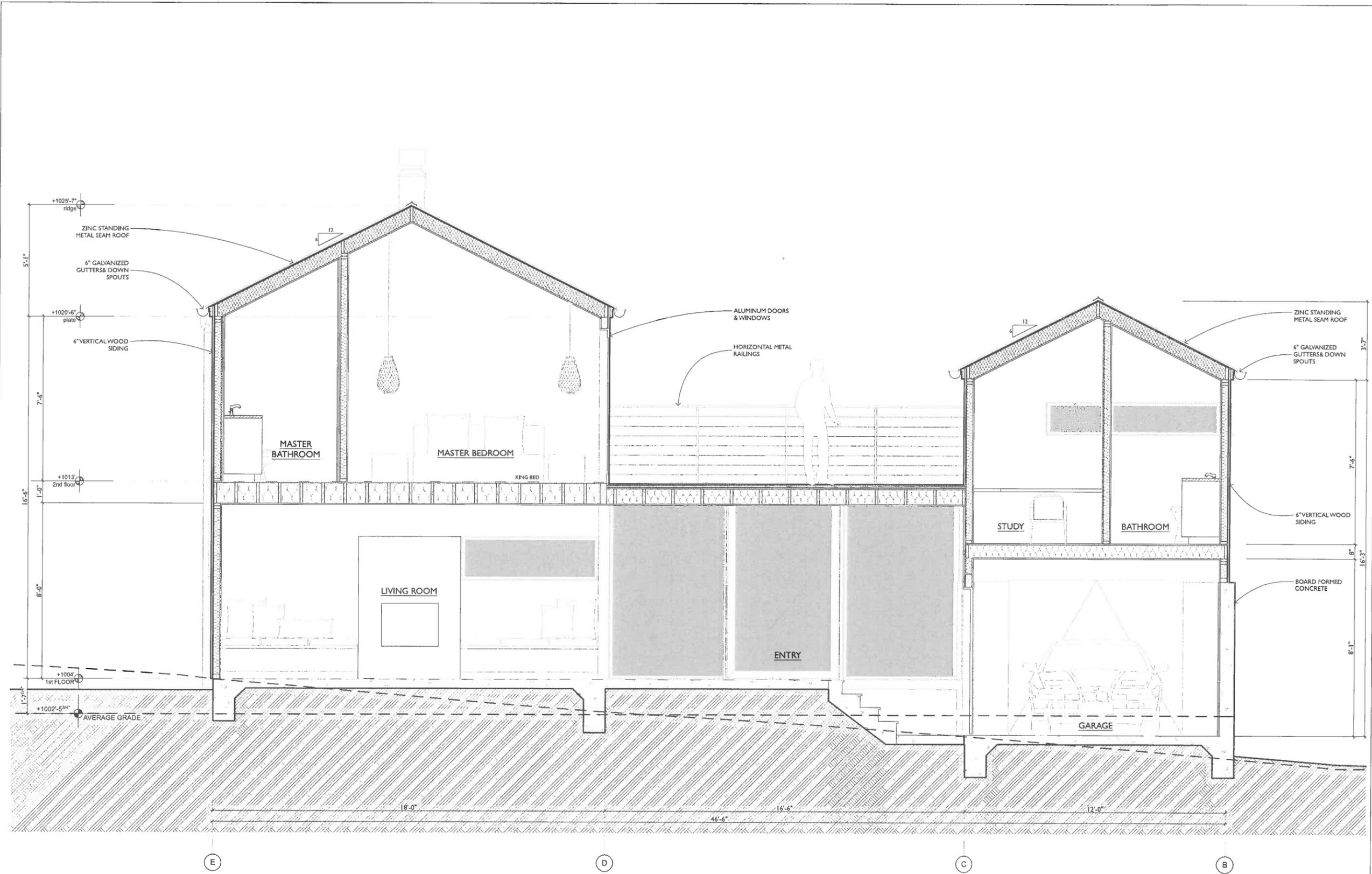
SCALE: 3/16" = 1'-0"



**2** EXISTING 6TH AVENUE ELEVATION LOOKING SOUTH

SCALE: 3/16" = 1'-0"





issued: 1/17/18  
 revised:  
 drawn by:

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 jpa@justinpaulyarchitects.com

**PLANNING  
 SUBMITTAL**

apn: 010.033.005

**THE QUAN FAMILY**  
 carmel, california

a new residence for:  
**THE QUAN FAMILY**  
 s/w corner of 6th & carpenter

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**BUILDING SECTIONS**

sheet 21

**A4.1**  
 of - sheets 212

**A SECTION**  
 SCALE: 1/2" = 1'-0"



issued: 1/17/18

revised:

drawn by:

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**PLANNING  
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apn: 010.033.005

**THE QUAN FAMILY**

carmel, california

s/w corner of 6th & carpenter

a new residence for:

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**BUILDING  
SECTIONS**

sheet 22

**A4.2**

of -  
sheets

213



**B SECTION**  
SCALE: 1/2" = 1'-0"

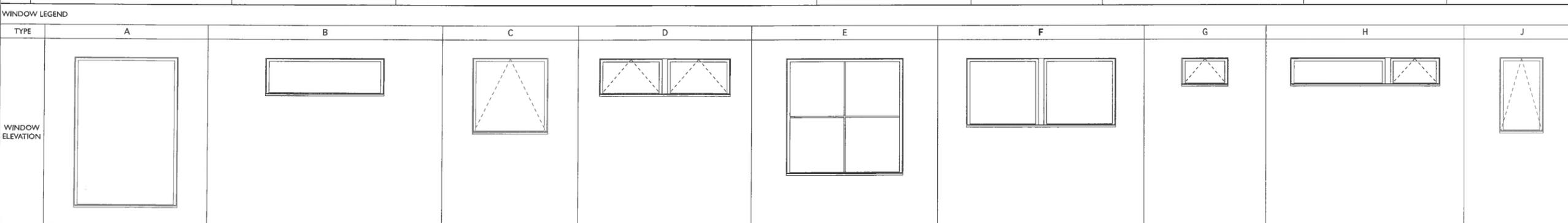
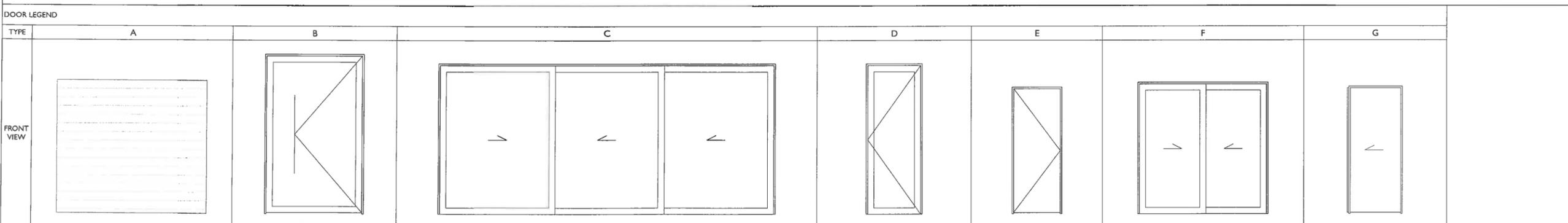


EXTERIOR DOOR SCHEDULE									
MARK	WIDTH	HEIGHT	TYPE	TEMP'D	DETAILS			HARDWARE GROUP	NOTES
					HEAD	JAMB	SILL		
D01	8'-0"	7'-0"	A						
D02	5'-1"	8'-4"	B						
D03	17'-10"	7'-11"	C						
D04	2'-10"	7'-11"	D						
D10	6'-10"	6'-11"	F						

WINDOW SCHEDULE									
MARK	SIZE		TYPE	TEMPERED	SCREEN	SHADE	HEAD HEIGHT	NOTES	
	WIDTH	HEIGHT							
01	5'-6"	8'-0"	A				8'-0"		
02	5'-3"	8'-0"	A				8'-0"		
03	6'-3 1/2"	2'-0"	B				6'-6"		
04	4'-0"	4'-0"	C				8'-1"		
05	6'-12"	2'-0"	D				6'-6"		
06	6'-3"	6'-3"	E				10'-8"		
07	4'-9"	8'-0"	A				8'-0"		
08	5'-3"	8'-0"	A				8'-0"		
09	5'-3"	8'-0"	A				8'-0"		
10	3'-8"	3'-8"	C				2'-1"		
21	2'-4"	4'-0"	J				7'-0"		
22	2'-4"	4'-0"	J				7'-0"		
23	2'-4"	4'-0"	J				7'-0"		
24	4'-0"	4'-0"	C				7'-0"		
25	4'-0"	4'-0"	C				7'-0"		
26	3'-8"	3'-8"	C				8'-5"		
27	8'-0"	3'-8"	F				0'-10"		
28	2'-6"	1'-6"	G				1'-1"		
29	8'-0"	1'-6"	H				8'-2 1/2"		

INTERIOR DOOR SCHEDULE									
MARK	WIDTH	HEIGHT	TEMP'D	TYPE	DETAILS			HARDWARE GROUP	NOTES
					HEAD	JAMB	SILL		
D05	2'-7 1/2"	6'-7"		E					
D06	2'-10"	6'-7"		F					
D07	1'-9 1/2"	6'-7"		E					
D11	2'-8"	6'-7"		G					
D12	2'-6"	6'-7"		E					
D13	2'-6"	6'-7"		E					
D14	2'-8"	6'-7"		H					
D15	2'-8"	6'-7"		G					
D16	2'-8"	6'-7"		H					

WINDOW & DOOR NOTES:  
 1. ALL WINDOWS & EXTERIOR DOORS SHALL BE FLEETWOOD ALUMINUM 3040T  
 2. ALL WINDOW SCREENS SHALL BE XXXXX  
 3. SHADES: XXXXX OR APPROVED EQUAL  
 4. HARDWARE MOUNTING HEIGHT SHALL BE BETWEEN 34" AND 44" ABOVE THE FLOOR PER CBC 11B-404.2.7.  
 5. ALL INTERIOR DOORS TO BE SOLID CORE, TYP.  
 6. GLAZING TO BE LOW E<sup>2</sup>. CONTRACTOR TO PROVIDE GLAZING SAMPLES PRIOR TO ORDERING FENESTRATION  
 7. SEE GENERAL NOTE #16 ON SHEET A0.1 FOR EGRESS WINDOW REQUIREMENTS



issued: 1/17/18  
 revised:  
 drawn by:

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**PLANNING  
 SUBMITTAL**

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WINDOW & DOOR SCHEDULES

sheet 23  
**A5.1**  
 of - sheets 214



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

February 14, 2018

**To:** Chair LePage and Planning Commissioners

**From:** Marc Wiener, AICP, Community Planning and Building Director

**Subject:** Consideration of a Use Permit (UP 18-029), Design Review (DR 18-028) and Sign (SI 18-030) application for the establishment of a full-line restaurant (Yeast of Eden) and associated exterior storefront alterations and signage for a commercial space located within a portion of Carmel Plaza in the Central Commercial (CC) Zoning District.

---

**Application:** UP 18-029 / DR 18-028 / SI 18-030      **APN:** 010-086-006

**Location:** Carmel Plaza, Northeast corner of 7<sup>th</sup> Avenue and Mission Street

**Block:** 78      **Lot:** 1-27

**Applicant:** John C. Hill, Architect

**Property Owner:** OWRF Carmel, LLC

#### **EXECUTIVE SUMMARY**

The applicant is seeking entitlements to operate a full-line restaurant in the Carmel Plaza to be called "Yeast of Eden".

#### **RECOMMENDATION**

Approve Use Permit (UP 18-029), Design Review (DR 18-028) and Sign Permit (SI 18-030) applications subject to the attached Findings for Approval (Attachment A) and Conditions of Approval (Attachment B).

#### **BACKGROUND AND PROJECT DESCRIPTION**

The proposed full-line restaurant would be located in a 4,600 square foot vacant tenant space located on the ground level at the south end of the Carmel Plaza. The restaurant would include a total of 119 interior seats and 40 outdoor seats located in the courtyard. The interior seating includes: 96 main dining room seats, 8 private dining room seats, and 15 bar seats. The proposed hours of operation would be Sunday through Wednesday from 11:30 a.m. to 10:00 p.m. and Thursday through Saturday from 11:00 a.m. to 12:00 a.m. (midnight).

According to the applicant, the restaurant will specialize in modern and traditional elements of California cuisine and would feature a small, on-site brewery to produce a limited batch of craft beers. The brewery would produce 150 gallons at a time and feature malt and hops grown in

California. The menu will be printed daily to reflect the seasonality of a wide variety of ingredients used throughout Monterey County with a local emphasis by partnering with local farmers. The name of the restaurant will be “Yeast of Eden”.

The proposed interior improvements include new plumbing, electrical and fire suppression systems, as well as new restroom facilities and a trash enclosure. The interior décor will combine natural materials such as wood and fabric with steel and glass. As expressed by the applicant, the décor will be contemporary and sophisticated with ample use of rich natural materials and textures to reflect a unique, artisanal philosophy. The bar area will include windows allowing patrons to view the brewery.

The applicant is also proposing exterior modifications to the south, west and north elevations, as well as new signage as described in the Analysis section of this report. There are two proposed entrances, one fronting directly on the interior courtyard and the other facing Mission Street. Bi-fold doors that open onto the courtyard are proposed on the north elevation facing the interior of the Carmel Plaza. All work will be in conformance with the Carmel Plaza Storefront Design Guidelines, as described later in this report.

## **STAFF ANALYSIS**

### **Full Line Restaurant - Use Permit (UP 18-029):**

Full-line restaurants require approval of a Use Permit by the Planning Commission. According to CMC Section 17.68.050 (Commercial Use Classifications), full line restaurants provide *“a full line of prepared food and drinks using non-disposable plates, glasses and utensils for immediate consumption on the site. These restaurants provide table service to patrons of all ages who pay after eating. Takeout service may be provided.”*

CMC Section 17.14.040.1.3 (Restaurant, Full Line) establishes the criteria for a full line restaurant. Pertinent criteria are listed below, followed by a staff analysis on how the project complies with the requirements.

1. *“Any sale of alcoholic beverages shall be subordinate to this primary use” and “Substantially all foods from the standard menu shall be available for purchase during the hours that alcoholic beverages are being served.”*

Analysis: The primary use of the business will be a full-line restaurant as defined by CMC 17.68.050. The proposed restaurant would include a 5 barrel Mixed Fermentation brewery, used to make craft beers sold at the restaurant. The brewery would occupy 700 square feet of the 4,600-square foot restaurant and will not be open to the public. The proposed bar area would contain 15 seats, which would be 9% of the total number of interior and exterior seats.

The sale of alcoholic beverages would be subordinate to the restaurant and the project has been conditioned accordingly. The conditions of approval require that a full menu be available at all times that alcoholic beverages are being served. The restaurant menu is included in Attachment D.

2. *“Drive-in, formula, and fast food establishments are prohibited.”*

Analysis: The proposed restaurant would not exhibit characteristics of a drive-in, formula food, or fast food establishment as defined in CMC Section 17.70.020 (Food Use Terms). A formula food restaurant is defined as *“A business that (1) is required by contractual or other arrangements to offer standardized menus, ingredients, food preparation, employee uniforms, interior decor, signage or exterior design; or (2) adopts a name, appearance or food presentation format that causes it to be substantially identical to another restaurant regardless of ownership or location.”*

While the applicant does own other restaurants as indicated in their project description, Yeast of Eden will be unique and will not exhibit characteristics of a formula restaurant. The proposed restaurant will have a unique menu, design, and custom beers made on site. As noted in the applicant’s submittal package, the menu offerings reflect the owner’s take on California cuisine with locally sourced ingredients.

3. *“The applications, menus and plans indicate that the business will primarily be a restaurant – full line, and that no more than 20 percent of the total number of seats are at a bar or in a separate bar room.”*

Analysis: The applicant has submitted a project description and menu indicating that the business will operate primarily as a full-line restaurant (refer to Attachment D). The applicant is proposing a total of 159 seats, with 119 interior and 40 exterior seats. Of the interior seats, 15 seats are proposed to be at the bar, which is 9% of the total seats. The project proposal meets the above requirement.

4. *“Customers shall be provided with individual menus while seated at a table or counter.”*

Analysis: Condition of approval number 9 requires that the above standard is met. The applicant has also included in their project description that all patrons will be seated by host staff and presented with individual menus.

5. *Adequate facilities shall be provided on the site for the closed storage of trash and garbage generated by the use. The on-site storage shall be designed so that the area can be cleaned and the refuse removed without creating a public nuisance and without being placed on the sidewalks or other public ways. If the method of cooking used will generate hot ashes, a storage facility and disposal method shall first be approved by the Fire Department.*

**Analysis:** The applicant has provided a floor plan illustrating the location of trash storage on private property (south side of the restaurant and fronting 7<sup>th</sup> Avenue), and without creating a public nuisance without hindering public space.

**Hours of Operation:** The proposed hours of operation would be Sunday through Wednesday from 11:30 a.m. to 10:00 p.m. and Thursday through Saturday from 11:00 a.m. to 12:00 a.m. (midnight). Staff supports the restaurant staying open until midnight Thursday through Saturday, given that the activity will occur within Carmel Plaza and will be buffered from neighboring properties.

**Water Use:** The property owner has provided documentation indicating that the Carmel Plaza has approximately 3.529 acre-feet of water credit available. Also provided is a letter from the Monterey Peninsula Water Management District indicating that the proposed restaurant and brewery will require 2.42 acre-feet of water. The Carmel Plaza has sufficient water credits to support the proposed use.

**Parking:** The Carmel Plaza contains an underground parking garage with 110 parking spaces. The garage will provide adequate parking supply for the restaurant and will supplement the curbside parking, which is used by the majority of businesses in the downtown that don't have onsite parking.

**Exterior Alterations - Design Review (DR 18-028):**

The City adopted design guidelines for the Carmel Plaza in 2001. The Introduction section of the Guidelines states that the *"guidelines are intended to encourage imaginative design and individuality of a tenant's storefront provided that a harmonious feeling is maintained within Carmel Plaza, and the larger context of Carmel."* The criteria of the Guidelines also notes that aluminum and glass doors and windows are acceptable provided that they have relief and articulation in the frame section, and that large expanses of glass are not allowed. The Interior Courtyard section encourages materials that have a natural appearance and that blend with the surrounding environment.

**Mission Street Elevation:** A flight of steps from Mission Street provides access to the ground level of the Carmel Plaza, where Yeast of Eden is proposed to be located. The applicant is proposing two entry doors to the restaurant at the top of the steps. Above this door is a proposed six square-foot sign. At the street frontage at the base of the steps, and attached to an exterior wall, is a proposed blade sign that addresses the pedestrians on Mission Street. In addition, directly above the Mission Street garage entrance the existing brick wall will be removed and replaced with steel sash window and a new planter box. This new window increases the amount of natural light and fresh air entering the proposed restaurant from the west side. In staff's opinion, the proposed alterations to the Mission Street elevation will be a substantial improvement over the existing conditions, and will provide an entry to the restaurant visible from the street.

Interior Courtyard Elevation: The exterior façade includes divided-light steel windows that are designed to pull in and distribute as much light into the interior space as possible. This is vitally important for this particular Carmel Plaza tenant space as this space only has a north facing aspect thereby solar access is very limited, especially as it is a ground floor tenant space. One exterior sign is proposed on this elevation.

7<sup>th</sup> Avenue: The modifications to the 7<sup>th</sup> Avenue Elevation would be minimal. The applicant is proposing to construct a new plaster wall along the south elevation at the existing trash collection area. A new door east of the wall would also be installed to provide access to the proposed brew house. No signage is proposed on this elevation.

Outdoor Seating: CMC 17.14.220.D requires Design Review approval for outdoor seating and states that, exterior seating shall not occupy more than 10 percent of the site area or more than 30 percent of any courtyard; shall be demarcated by landscaping or other features and established to preserve a sense of openness and ease of access for pedestrian traffic; shall provide visual contact and incidental communication between patrons and passersby; structures that enhance comfort such as windscreens, heater, and exterior lighting shall be shielded from view from the public right-of-way and intra-block walkways, or shall be designed to be architecturally compatible with the character of adjacent buildings; and, hours of service will be such that it does not impact other uses in the vicinity.

The courtyard area will include a new 640 square-foot seating area that will accommodate 40 seats. The seating is delineated by both movable and permanent planters containing trees. The planters are located and designed to meet the outdoor seating requirements of the California Department of Alcoholic Beverage Control (ABC). Review of the project plans indicates that the proposed exterior seating area will not exceed the 10 percent threshold for the Carmel Plaza site or 30 percent of the courtyard.

**Sign Permit (SI 18-030):**

Signage within Carmel Plaza is subject to compliance with the Carmel Plaza Storefront Design Guidelines and Carmel Municipal Code Chapter 17.40 (Signs). The Guidelines allow for one exterior business sign (wall sign or hanging sign) per business and encourages designs that are compatible with storefronts.

The applicant is requesting approval of three exterior business signs, including two wall signs and one hanging (blade) sign (Refer to Attachment D, Sheets A.4 and A.5). The applicant is proposing a wall-mounted on the west elevation (Mission Street) above the front entry, which would be 6 square feet in size with a black background and brass lettering. The applicant is also proposing a new blade sign near the sidewalk on the west elevation, which would be less than 3 square feet in size, double-sided, and constructed of aged steel with white embossed lettering. In the interior of the Carmel Plaza the applicant is proposing back-lit sign on the north elevation, which would be 3 square feet and constructed of metal.

CMC Section 17.40.020 (Permit Process) allows the Planning Commission to grant exceptions to the number, location and design of business signs. The following criteria must be satisfied in order to grant exceptions:

1. Number. Additional business signs may be permitted in unusual circumstances such as, but not limited to, a business that has entrances on two different public rights-of-way.
2. Location. Signs shall clearly identify the business entrance. Signs shall be pedestrian-oriented. Clutter from business signs at street frontages shall be avoided. Sign clutter along street frontages from multiple businesses within a courtyard or building shall be avoided.
3. Design. Any exceptions to design standards shall retain compatibility with the design, color, and scale of the building.

Number: The applicant is requesting an exception to the maximum number of business signs allowed. The primary entrance to the restaurant is set back more than 20 feet from the top of the stairs on Mission Street. The proposed blade sign would be located at the foot of the stairs which provides access to the primary entrance of the restaurant. The wall mounted entry sign would be located directly above the main entrance, clearly identifying the point of entry. The proposed back-lit sign would be located on a portion of the steel framed glass on the north elevation. The back-lit sign would be oriented towards the interior courtyard and would not be visible from outside of the Plaza. Staff supports the request for three signs due to the multiple points of entry to the restaurant (stairs on Mission Street and interior courtyard) and the fact that none of the signs are within the same viewing plane.

Location: The blade sign and the entry sign have been located to clearly identify the business entrance which is setback more than 20 feet from the top of the stairs on Mission Street. With the application of conditions of approval, both signs would be designed and located to maintain pedestrian orientation. Condition of approval number 20 requires the blade sign to be mounted no more than 8 feet above the sidewalk and limits how far the sign can project from the wall to 30 inches. Additionally, the thickness of the sign would need to be between 1 ½ inches and 6 inches. With regards to sign clutter, there are two existing blade signs located north of the stairs and one south of the stairs (excluding the parking sign). All signs are appropriately spaced to avoid the appearance of sign clutter. The location of the proposed blade sign maintains appropriate spacing between the existing signs.

Design: The Carmel Plaza design guidelines encourage signs that are compatible with the design of the business storefront. As described above in the Design Review section, the applicant is proposing a steel window system and steel doors for the new restaurant storefront. The materials proposed for the signage include a combination of metal with brass lettering, aged steel with embossed lettering and metal with cut out letters for back-lit illumination. In staff's opinion, the sign materials are compatible with the proposed exterior modifications; however,

the back-lit illumination would not be appropriate. The Carmel Plaza design guidelines state that sign lighting shall not be designed to become part of the sign. Condition of approval number 19 requires that the back-lit illumination be eliminated.

**Environmental Review:** The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1), Existing Facilities. The project consists of the operation of a new full-line restaurant and minor alterations to an existing structure involving negligible or no expansion of use beyond that originally anticipated for Carmel Plaza.

**ATTACHMENTS:**

- Attachment A – Findings for Approval
- Attachment B – Conditions of Approval
- Attachment C – Letter of Support
- Attachment D – Project Description/Project Plans

**CITY OF CARMEL-BY-THE-SEA**

**DEPARTMENT OF COMMUNITY PLANNING AND BUILDING**

**FINDINGS FOR APPROVAL**

UP 18-029 / DR 18-028 / SI 18-030 (Yeast of Eden)  
OWRF Carmel, LLC  
Location: Carmel Plaza  
Block: 78, Lots: 1-27  
APN: 010-086-006

---

**PROJECT DESCRIPTION:**

Consideration of a Use Permit (UP 18-029), Design Review (DR 18-028) and Sign (SI 18-030) application for the establishment of a full-line restaurant (Yeast of Eden) and associated exterior storefront alterations and signage for a commercial space located within a portion of Carmel Plaza in the Central Commercial (CC) Zoning District.

**FINDINGS OF FACT:**

1. The project site is located within a portion of Carmel Plaza in the Central Commercial (CC) Zoning District. The lot is currently developed with a commercial shopping center comprised of five separate buildings with a communal interior courtyard and various 2<sup>nd</sup> and 3<sup>rd</sup> story walkways. The full-line restaurant would occupy an existing 4,600-square foot tenant space that is currently vacant.
2. On January 23, 2018 Use Permit, Design Review and Sign Permit applications were submitted proposing to open a new full-line restaurant called Yeast of Eden. The project includes a Use Permit to operate the new restaurant, Design Review for associated exterior modifications to the tenant space and a Sign Permit for new exterior signage.
3. The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1), Existing Facilities. The project consists of the operation of a new full-line restaurant and minor alterations to an existing structure involving negligible or no expansion of use beyond that originally anticipated for Carmel Plaza.

**FINDINGS FOR DECISION:**

1. The project constitutes an improvement over existing site conditions pursuant to CMC Section 17.14.010 (Purpose).
2. The project conforms to all zoning standards applicable to the site including, floor area, height, setbacks and parking.

**General Findings Required for All Use Permits (CMC 17.64.010):**

3. The proposed use is not in conflict with the City's General Plan.
4. The proposed project, as conditioned, will comply with all zoning standards applicable to the use and zoning district.
5. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.
6. The proposed project will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, street capacity and fire protection.
7. The proposed project will not be injurious to public health, safety or welfare and provides adequate ingress and egress.
8. The proposed project will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.
9. The proposed project will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.

**General Findings Required for Commercial Use Permits (CMC 17.64.020):**

10. The proposed use will not conflict with the City's goal of achieving and maintaining a balanced mix of uses that serve the needs of both local and nonlocal populations.
11. The proposed use will provide adequate ingress and egress to and from the proposed location.
12. The capacity of surrounding streets is adequate to serve the automobile and delivery truck traffic generated by the proposed use.

**Findings for Design Review Approval (CMC 17.58.060.B):**

13. The project, as conditioned, conforms to the applicable policies of the General Plan and the Local Coastal Program.
14. The project, as conditioned, complies with all applicable provisions of Title 17.
15. The project, as conditioned, is consistent with applicable adopted design review guidelines for Carmel Plaza.

**CITY OF CARMEL-BY-THE-SEA**

**DEPARTMENT OF COMMUNITY PLANNING AND BUILDING**

**CONDITIONS OF APPROVAL**

UP 18-029 / DR 18-028 / SI 18-030 (Yeast of Eden)

OWRF Carmel, LLC

Location: Carmel Plaza

Block: 78, Lots: 1-27

APN: 010-086-006

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**PROJECT DESCRIPTION:**

Consideration of a Use Permit (UP 18-029), Design Review (DR 18-028) and Sign (SI 18-030) application for the establishment of a full-line restaurant (Yeast of Eden) and associated exterior storefront alterations and signage for a commercial space located within a portion of Carmel Plaza in the Central Commercial (CC) Zoning District.

**AUTHORIZATION:**

1. **Use Permit Authorization:** This permit authorizes the operation of a 4,600-square foot full-line restaurant as defined in CMC Section 17.68.050 (Commercial Use Classifications). The restaurant shall specialize in modern and traditional elements of California cuisine as represented in the application materials and is permitted to operate a 5 barrel Mixed Fermentation brewery within no more than 700 square feet of the restaurant.

**Design Review Authorization:** This permit authorizes minor exterior alterations including, 1) a new plaster wall and new door on the south elevation (7<sup>th</sup> Avenue) above the underground garage exit; 2) a new window and wood planter on the west elevation (Mission Street) above the underground garage entry; 3) new glass storefront and steel entry doors on the west elevation (Mission Street) at the top of the existing stairs; and, 4) new steel framed windows and doors on the north elevation (interior courtyard). All improvements shall be constructed in accordance with the plans dated received by City of Carmel-by-the-Sea Planning & Building Dept on January 23, 2018, unless modified by the conditions below.

**Sign Permit Authorization:** This permit authorizes the installation of a new 6-square foot entry sign and new two sided 3-square foot blade sign on the west elevation (Mission Street). All signs shall be constructed and installed in accordance with the plans dated received by City of Carmel-by-the-Sea Planning & Building Dept on January 23, 2018, unless modified by the conditions below.

**USE PERMIT STANDARD CONDITIONS (CMC 17.14.040.I):**

2. The sale of nonfood merchandise directly related to the use may be allowed if it is determined to be incidental to the full-line restaurant. The display of nonfood merchandise shall be ancillary to the full-line restaurant.
3. Adequate facilities shall be provided on-site for the closed storage of trash and garbage generated by the full-line restaurant. The on-site storage shall be designed so that the area can be cleaned and the refuse removed without creating a public nuisance and without being placed on the sidewalks or other public ways. If the method of cooking used will generate hot ashes, a storage facility and disposal method shall first be approved by the Fire Department.
  - a. The trash storage area shall be designed and maintained to prevent storm water contamination by loose trash and debris.
  - b. All drainage from adjoining roofs and pavement shall be diverted around the trash area to minimize water flow through the storage area.
  - c. The trash storage area shall be maintained in a screened or walled area to prevent off-site transport of trash.
4. At least one restroom shall be available for use by both sexes within, or conveniently adjacent to, the specific business premises and on the same property on which the full-line restaurant is located. The restroom shall comply with all provisions of the California Building and Plumbing Codes as to the required size, location and accessibility standards, and shall be available for use by both the employees and patrons of the business.
5. Any sale of alcoholic beverages shall be subordinate to the primary use.
6. The restaurant shall not operate as a "Drive-in, Formula Food or Fast Food" establishment as defined in CMC Section 17.70.
7. Substantially all foods from the standard menu shall be available for purchase during the hours that alcoholic beverages are being served.
8. No more than 20% of the seating is permitted at a bar or in a separate bar room.
9. Customers shall be provided with individual menus while seated at a table or counter.
10. Maximum seating capacity shall not exceed the standards in the California Building and Fire Codes or the number of seats approved by this Use Permit, whichever is less. The seating capacity shall be posted on the premises at all times.

11. Food sold for consumption off the premises shall be incidental to the primary use. Such food shall be placed in covered containers or wrapping.
  - a. Except as provided in CMC Sections 8.68.070 and 8.68.080, no restaurant shall provide prepared food to its customers in CFC-processed food packaging or polystyrene foam food packaging, nor shall any restaurant purchase, obtain, keep, sell, distribute, provide to customers or otherwise use in its business any CFC-processed food packaging or polystyrene foam food packaging. The restaurant shall comply with all other requirements in CMC Section 8.68.

**USE PERMIT SPECIAL CONDITIONS:**

12. Permitted hours of operation are from 7:00 a.m. to 12:00 a.m. daily. No new customers shall be accepted into the restaurant after 12:00 a.m.
13. The restaurant is permitted a maximum of 96 main dining room seats, 8 private dining room seats, 15 bar seats and 40 exterior seats located within Carmel Plaza.
14. The applicant shall obtain all necessary permits from the Monterey County Health Department prior to building permit issuance.
15. The use shall be conducted in a manner consistent with the presentations and statements submitted in the application and at the public hearing, and any change in the use which would alter the findings or conditions adopted as part of this permit shall require approval of a new Use Permit by the City.
16. This Use Permit shall become void and in no further force or effect if the use is not initiated within six (6) months of the issuance of the Certificate of Occupancy from the Building Official.
17. Violations of the terms of this Use Permit or other ordinances of the City may constitute grounds for revocation of this Use Permit and the associated business license by the Planning Commission.
18. A summary sheet of basic Use Permit requirements (allowed days, allowed hours, special mitigations) shall be posted on the premises or shall be available upon request by any enforcement officer of the City.

**SIGN PERMIT SPECIAL CONDITIONS:**

19. The proposed black metal sign on the north elevation (interior courtyard) shall not be back-lit.

- 20. The new blade sign shall not project more than 30 inches from face of the wall. The thickness of the sign shall be no less than 1 ½ inches and no more than 6 inches. The vertical clearance of the sign shall not exceed 8 feet from the sidewalk.
- 21. The background material for the new entry sign shall be compatible with the design of the storefront. The maximum letter height shall not exceed 10 inches.

**GENERAL CONDITIONS:**

- 22. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

**\*Acknowledgement and acceptance of conditions of approval.**

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date



Mayor:  
CLYDE ROBERSON

Councilmembers:  
TIMOTHY BARRETT  
DAN ALBERT  
ALAN HAFFA  
ED SMITH

City Manager:  
MICHAEL MCCARTHY

February 8, 2018

John C. Hill  
Alvarado Street Brewery & Grill  
426 Alvarado Street  
Monterey, CA 93940

Dear Mr. Hill:

Congratulations on your recent business anniversary!

On behalf of the City of Monterey, I would like to thank you and the Alvarado Street Brewery & Grill for being a good neighbor and positive asset to the community and the City. The Alvarado Street Brewery & Grill has been an integral and important part of our successful revitalization of Monterey's Alvarado Street. Your business has attracted thousands of new visitors to downtown Monterey, thus helping them to discover Monterey's businesses located on the axis between Conference Center and historic Cooper Molera.

We are proud that since the Alvarado Street Brewery & Grill opened 4 years ago, the City has not received any community complaints nor have there been any police activities caused by your operation. You have successfully improved your marketing by having exterior seating on Alvarado, and opening the Beer Garden on Calle Principal.

Thank you for maintaining such an innovative establishment with locally sourced and thoughtfully created food and beverage choices. I wish you many years of continued success.

Best regards,

A handwritten signature in blue ink that reads "Hans Usler". The signature is fluid and cursive, with a long, sweeping tail that extends to the right.

Hans Usler  
Interim City Manager  
City of Monterey



RECEIVED

JAN 23 2018

City of Carmel-by-the-Sea  
Planning & Building Dept.

# YEAST OF EDEN

Restaurant & Brewery  
Carmel Plaza, Carmel-by-the-Sea

Use Permit Package  
January/February 2018

**The Concept**

Yeast of Eden is a restaurant that specializes in both modern and traditional elements of California cuisine and features a small, on-site brewery to produce limited batch, terrior-driven beers. The menu will utilize farm to table ingredients and incorporate culturally influenced flavors that can match the depth of beers made onsite. The brewery, considered “nano” in scale, will produce just 150 gallons at a time and feature malt and hops grown in California. Our menu will be printed daily to reflect the seasonality of a wide variety of ingredients used throughout our county, with a hyperlocal emphasis by partnering with local farmers.

**The Space**

Located on the southwest courtyard level of Carmel Plaza, the restaurant is comprised of a 96 seat main dining room, an 8 seat private dining room, a 15 seat bar, a 5 BBL Mixed Fermentation brewery, restrooms, and a fully equipped kitchen and support area. Brewery operations will be visible from the dining area behind an illuminated “bottle wall”. Contemporary and sophisticated interiors softened by the use of rich natural materials and textures reinforce the venue’s artisanal philosophy. Exterior improvements include 40 outdoor seats and new divided-lite fenestration facing the courtyard & overlooking Mission St.

**The Team**

John Hill and J.C. Hill are the developers, owners & operators of Alvarado Street Brewery & Grill, which opened in Downtown Monterey in May of 2014. The father-son team then launched Alvarado Street’s Production Brewery & Tasting Room in Salinas in early April of 2016. John Hill has over 40 years experience as an architect in hospitality design. Yeast of Eden will be his son, J.C.’s fourth restaurant to open since 2012.

**The Cuisine**

Our menu is designed to pair with the delicate acidity & nuanced flavors derived from our mixed fermentation beers. The offerings reflect our take on California cuisine, with locally sourced ingredients and culturally influenced flavors. Yeast of Eden’s menu will focus on three distinct areas; share plates, fusion tacos, and Santa Maria-style barbecue. Share plates will range from three to five items, and will revolve around the seasonality of ingredients. Fusion tacos will incorporate flavors & cooking methods that reflect the diversity of our state. Santa Maria-style BBQ was pioneered by local ranchers in the 19th century, and Yeast of Eden will utilize an authentic iron grill over charcoal briquettes & oak chips to recreate this historic, locally significant style of barbecue.

**The Service**

An educated, experienced staff trained highly in beer & food knowledge will provide full table service for guests of the restaurant. Prerequisites include ServSafe Certified, TIPS Trained (alcoholic beverage service), & Certified Beer Server. Using our current brewery restaurant as a training facility for Yeast of Eden staff, every effort will be made to ensure the highest level of service.

**The Brewery**

Yeast of Eden will house a small (“nano”) 5 barrel brewery (31 gallons per barrel) and five accompanying fermentation vessels. Each beer will undergo open fermentation in the first 48 hours, where freshly brewed “wort” will be channeled to a Coolship vessel where the natural air will inoculate the beer with wild yeast & native microflora. This will be a focal point of the brewery, where guests can witness the process and learn about how terrior is expressed in each beer. Very few breweries in the US incorporate this process, making it a distinct point of differentiation.

## Detailed Project Information

- Project Owner: OWRF Carmel, LLC  
535 Madison Avenue  
New York, NY 10022  
Contact: Gayle Speare, 831-624-0138  
gayle.speare@cis.cushwake.com
- Tenant: Impulsive Ventures, LLC (dba Yeast of Eden)  
PO Box 5903  
Carmel-by-the-Sea, CA 93921  
Contact: John C. Hill 831-620-1513  
johnhillaia@gmail.com
- Applicant: John C. Hill A.I. A.  
P O Box 5903  
Carmel-by-the-Sea, CA 93921  
Contact: John C. Hill, 831-620-2924  
johnhillaia@gmail.com
- Project Location: Carmel Plaza  
SW Corner of Ocean Avenue and Mission Street  
Carmel-by-the-Sea, CA 93921
- Previous Use: Retail Sales of Home furnishings/decor.
- Proposed Use: Restaurant, Full line and Brewery.
- Scope of Work:
  - Interior Tenant Improvements to include:
    - New Commercial Kitchen
    - New 5 BBL Brewery
    - New ADA compliant restrooms
    - Non structural partition walls
    - Built in cabinetry
    - New finishes
  - Common Area Improvements: Outdoor dining area
    - ABC Compliant barrier
    - Movable landscape planters
    - Movable chairs and tables
    - Umbrellas
  - Facade Improvements:
    - New window and planter above garage entrance on Mission St.
    - Minor loading dock walls behind the existing planter on 7th Ave.
    - New metal sash storefront and entrance system at the courtyard consistent with the 2001 Carmel Plaza Storefront Design Guidelines

### Proposed Project Area:

Floor Area:	4,600 SF
<u>Exterior Common Area:</u>	<u>640 SF</u>
Total	5,240 SF

Zone: Central Commercial (CC) Community Plan Overlay

Existing Occupancy Classification: M  
Proposed Occupancy Calculation: A-2

Construction Type: Type VB, Sprinklered

Hours of Operation: Sun.-Wed. 11:00 AM -10:00 PM  
Thur. - Sat. 11:00 AM -12:00PM

### Number of Seats:

Dining Room	96
Private Dining Room	8
Bar	<u>15</u>
Total Indoor	119
Outdoor Seating	40

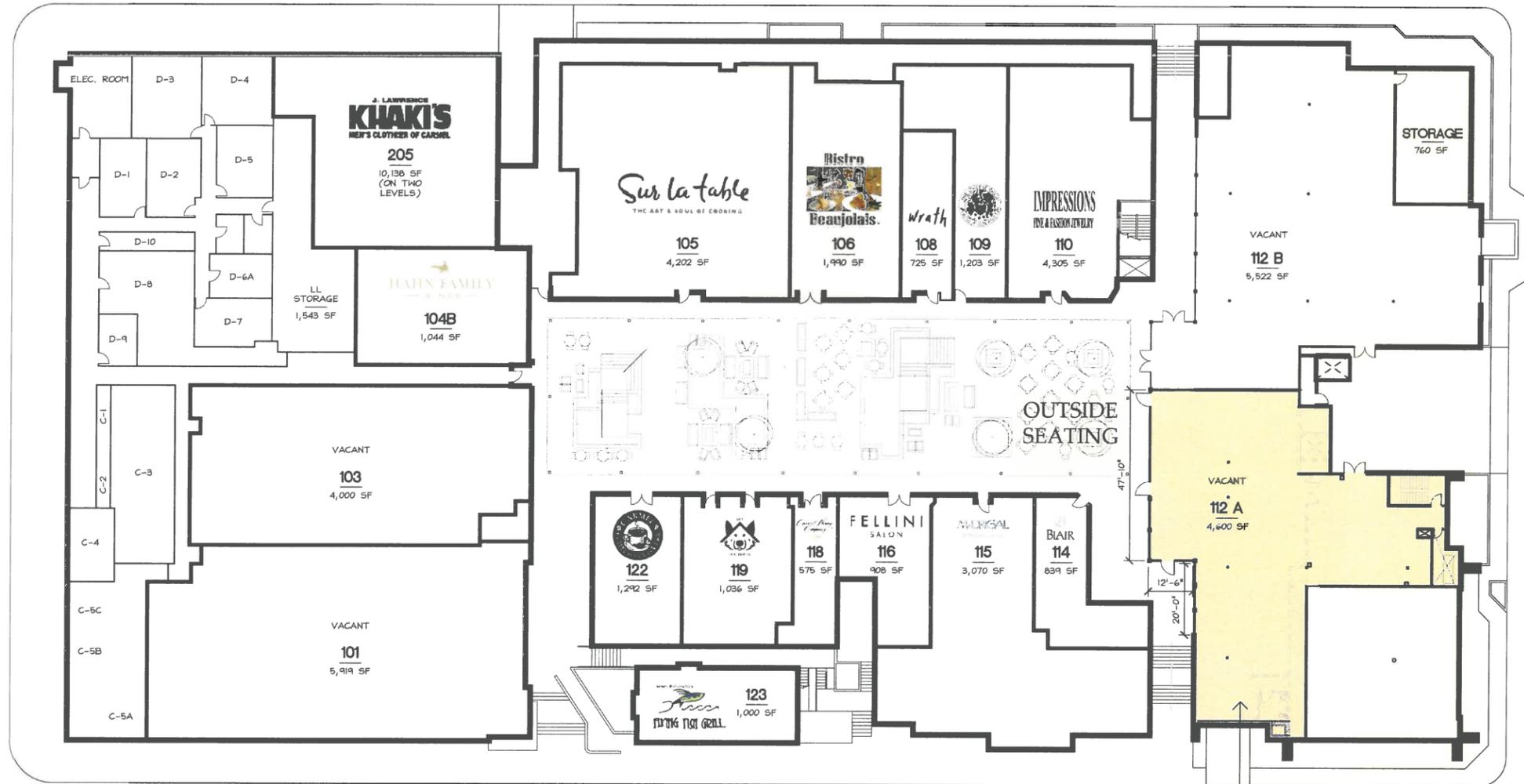
ALL DIMENSIONS AND WIDTHS MATCH AS APPEARANCE EXCEPT WHERE SHOWN OTHERWISE. WORKS OF ART, SIGNAGE AND FURNITURE ARE FOR INFORMATION ONLY AND NOT TO SCALE. THIS PLAN IS FOR INFORMATION ONLY AND NOT TO SCALE.

JOHN C. HILL  
A. I. A.

ARCHITECTURE & PLANNING  
P.O. BOX 5603 CARMEL, CALIF. 95021  
TEL 831-428-1111 FAX 831-428-2324

OCEAN AVENUE

JUNIPERO STREET



MISSION STREET

SEVENTH AVENUE

TENANT SPACE LOCATION

**YEAST OF EDEN**



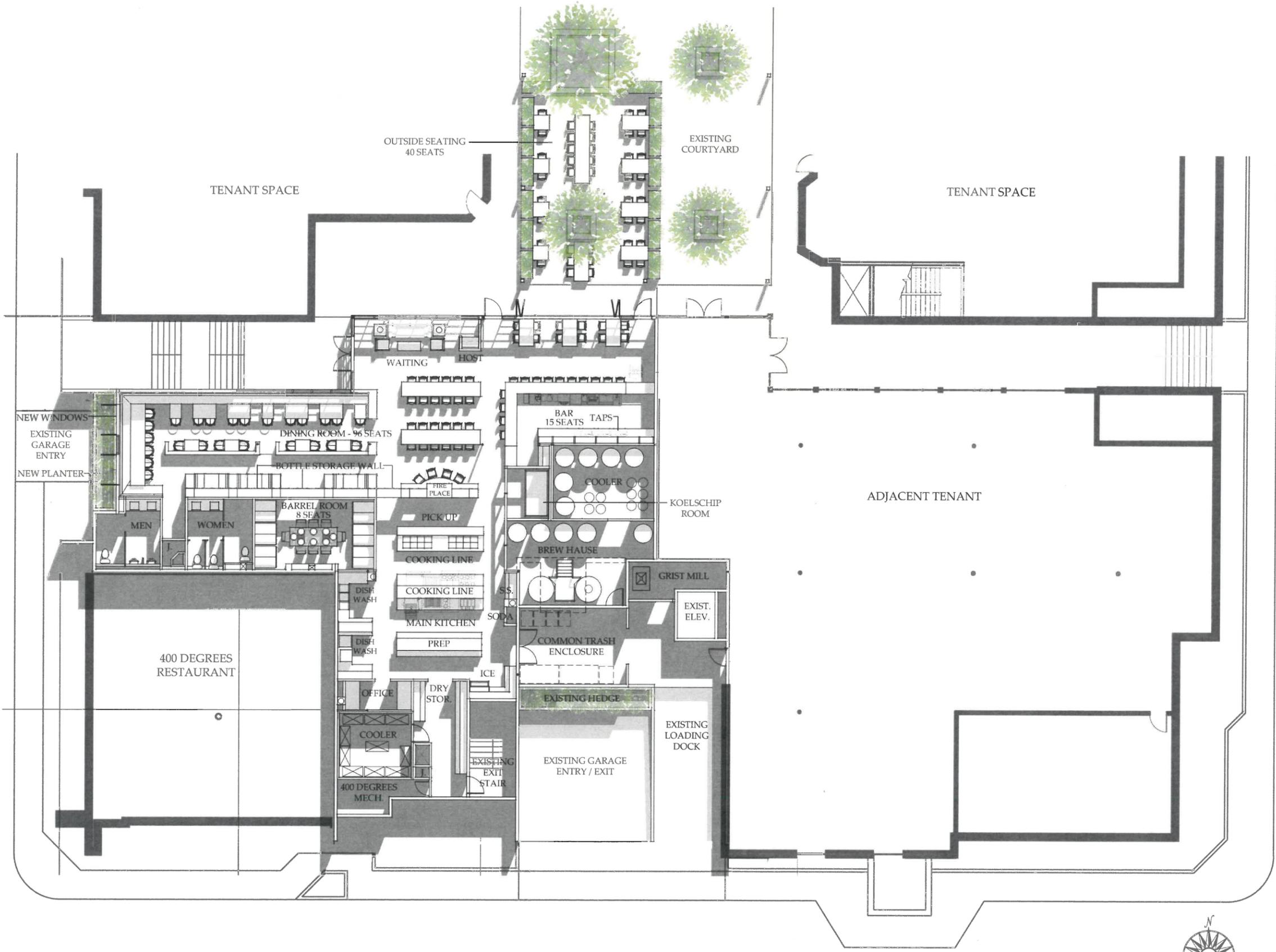
Restaurant & Brewery  
Carmel Plaza, Carmel-By-The-Sea, California

SHEET TITLE  
**OVERALL  
SITE PLAN**

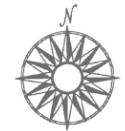
PROJECT  
DATE January 18, 2018  
SCALE  
SHEET **A.1**

ALL DRAWINGS AND NOTICES MAILED, REPRODUCED, COPIED, EITHER IN WHOLE OR IN PART, OR BY ANY MEANS, WITHOUT PERMISSION OF THE ARCHITECT, ARE PROHIBITED.

MISSION STREET



SEVENTH AVENUE



JOHN C. HILL  
A. I. A.  
ARCHITECTURE & PLANNING  
P.O. BOX 5892 CARMEL, CALIF. 95021  
TEL: 831-438-5115 CELL: 831-920-2924

**YEAST OF EDEN**  
  
 Restaurant & Brewery  
 Carmel Plaza, Carmel-By-The-Sea, California

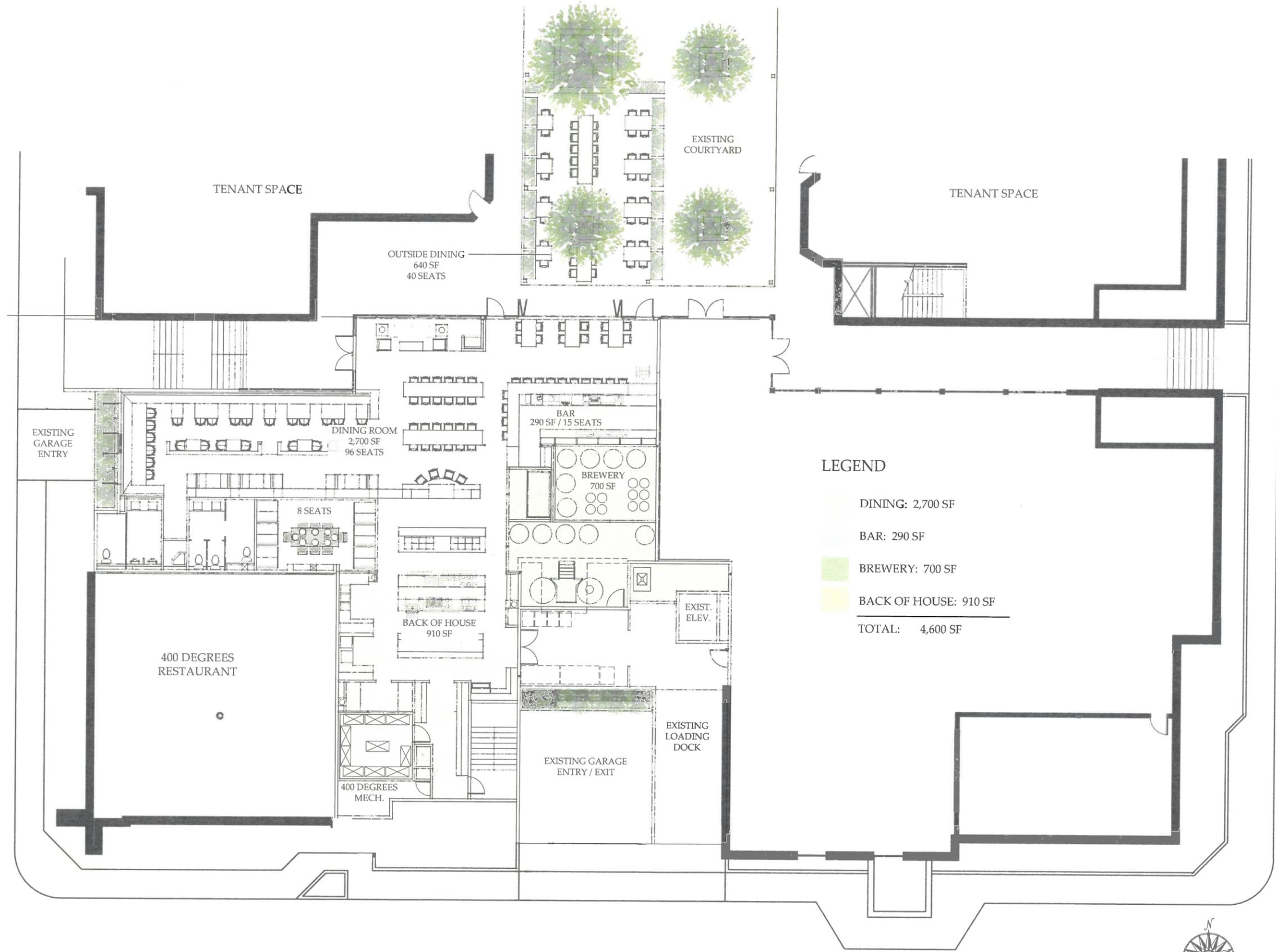
SHEET TITLE  
**PROPOSED FLOOR PLAN**

PROJECT  
DATE January 18, 2018  
SCALE  
SHEET **A.2**

**YEAST OF EDEN**  
Restaurant & Brewery  
Carmel Plaza, Carmel-By-The-Sea, California



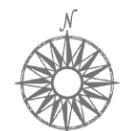
MISSION STREET



LEGEND

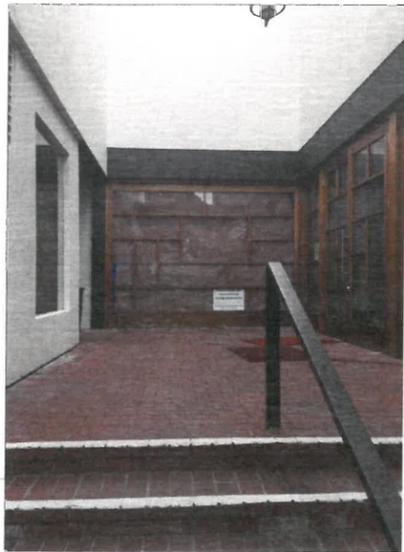
- DINING: 2,700 SF
- BAR: 290 SF
- BREWERY: 700 SF
- BACK OF HOUSE: 910 SF
- TOTAL: 4,600 SF

SEVENTH AVENUE



SHEET TITLE  
AREA PLAN

PROJECT  
DATE January 18, 2018  
SCALE  
SHEET **A.3**



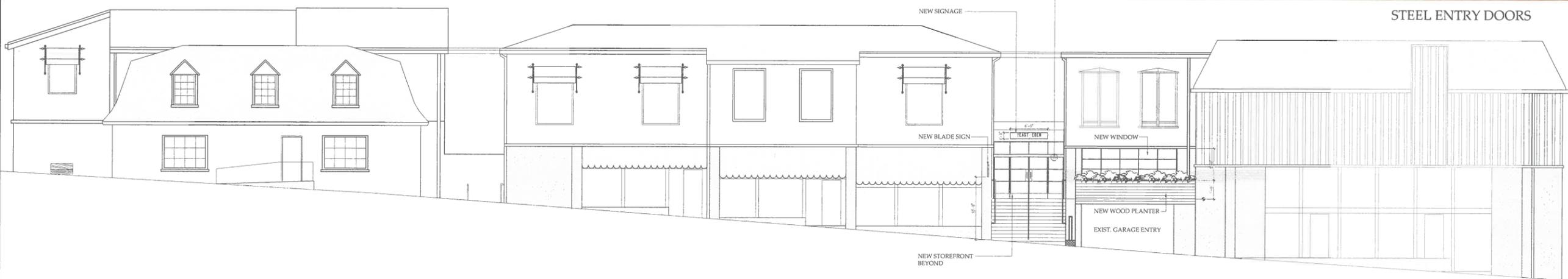
EXIST. ENTRY ELEVATION  
N.T.S.

EXIST. SOUTH ELEVATION  
N.T.S.

EXIST. WEST ELEVATION  
N.T.S.



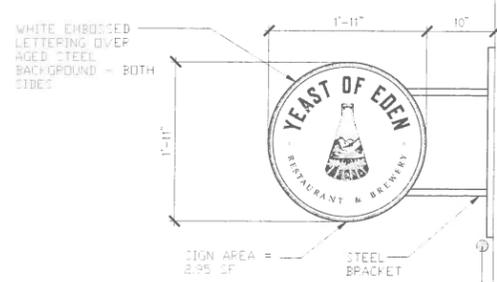
SOUTH ELEVATION - SEVENTH AVE  
SCALE: 1/8" = 1'-0"



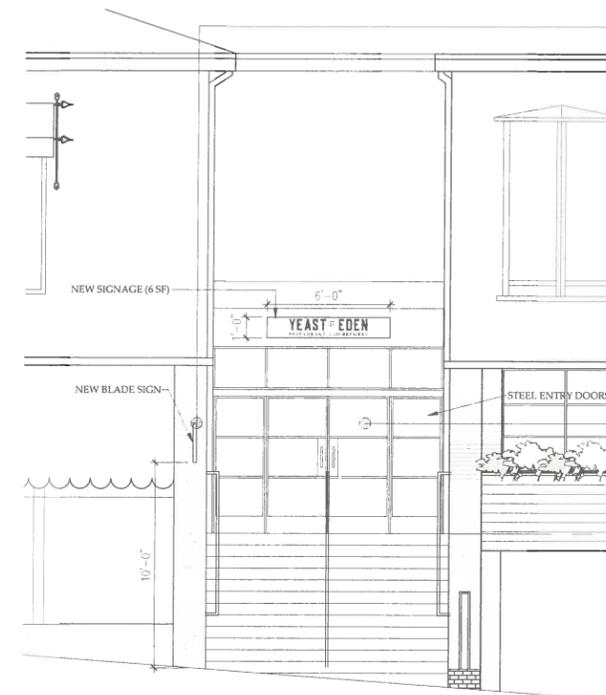
WEST ELEVATION - MISSION STREET  
SCALE: 1/8" = 1'-0"



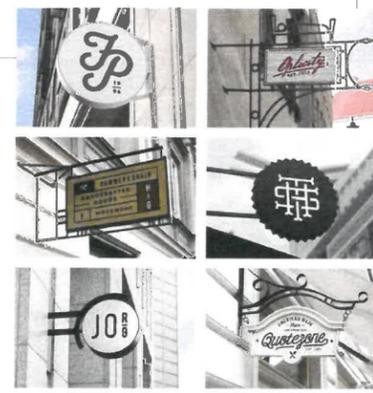
ENTRY SIGN  
SCALE: 1" = 1'-0"



BLADE SIGN  
SCALE: 1" = 1'-0"



ENLARGED ENTRY ELEVATION  
SCALE: 1/4" = 1'-0"



BLADE SIGNAGE



STEEL ENTRY DOORS

JOHN C. HILL  
A. I. A.

ARCHITECTURE & PLANNING  
P.O. BOX 5923, CARMEL, CALIF. 93921  
TEL. 831.620.1513 CELL 931.620.2924

**YEAST OF EDEN**

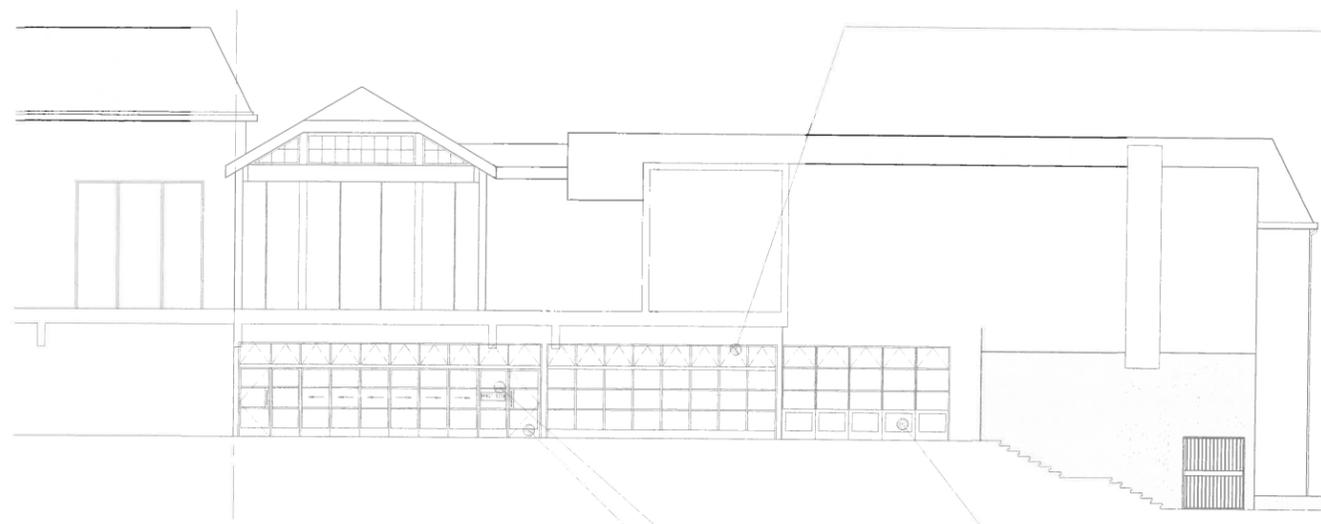
Restaurant & Brewery  
Carmel Plaza, Carmel-By-The-Sea, California

SHEET TITLE  
PROJECT  
DATE January 18, 2018  
SCALE  
SHEET **A.4**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORKS OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT



EXIST. NORTH ELEVATION  
N.T.S.



NORTH ELEVATION - COURTYARD  
SCALE: 1/8" = 1'-0"



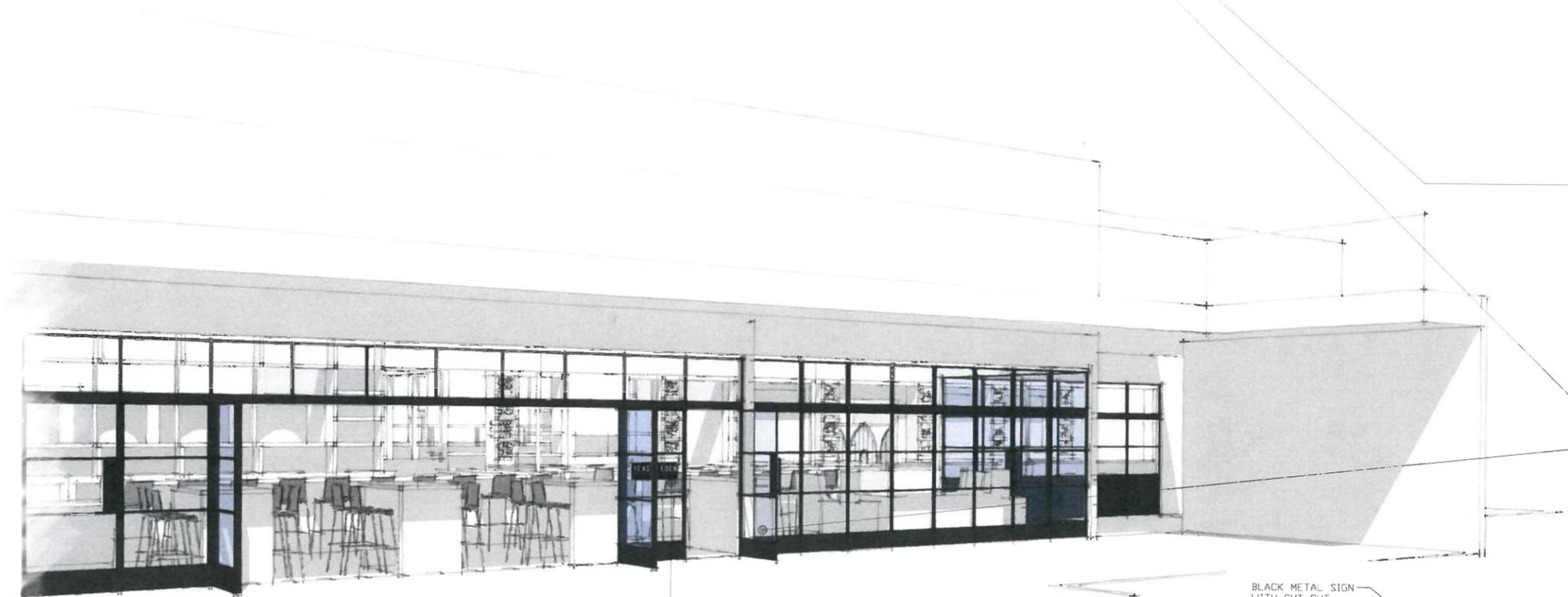
STEEL WINDOW SYSTEM



STEEL WINDOWS WITH METAL PANEL

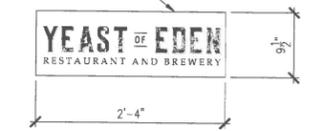


BLACK METAL SIGN, BACK LIT (3 SF)



COURTYARD PERSPECTIVE VIEW

BLACK METAL SIGN  
WITH CUT OUT  
LETTERS, BACK LIT  
SIGN AREA = 1.85 SF



SIGNAGE  
SCALE: 1" = 1'-0"



STEEL WINDOWS AND DOORS

JOHN C. HILL  
A. I. A.  
ARCHITECTURE & PLANNING  
P.O. BOX 5900, CARMEL, CALIF. 93921  
TEL 831.420.1513 CELL 831.420.1824

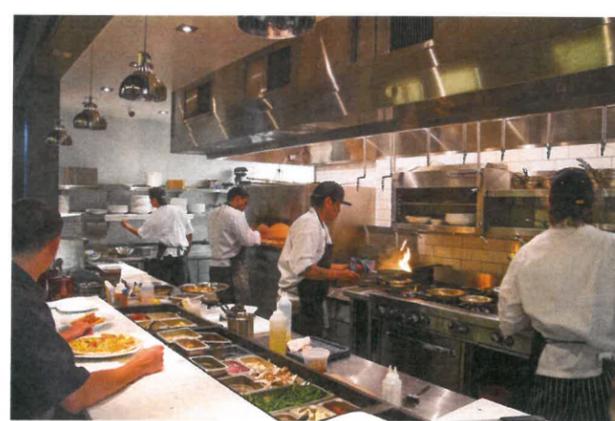
**YEAST OF EDEN**  
Restaurant & Brewery  
Carmel Plaza, Carmel-By-The-Sea, California

SHEET TITLE  
PROJECT  
DATE January 18, 2018  
SCALE  
SHEET **A.5**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORKS OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT



BREW HOUSE



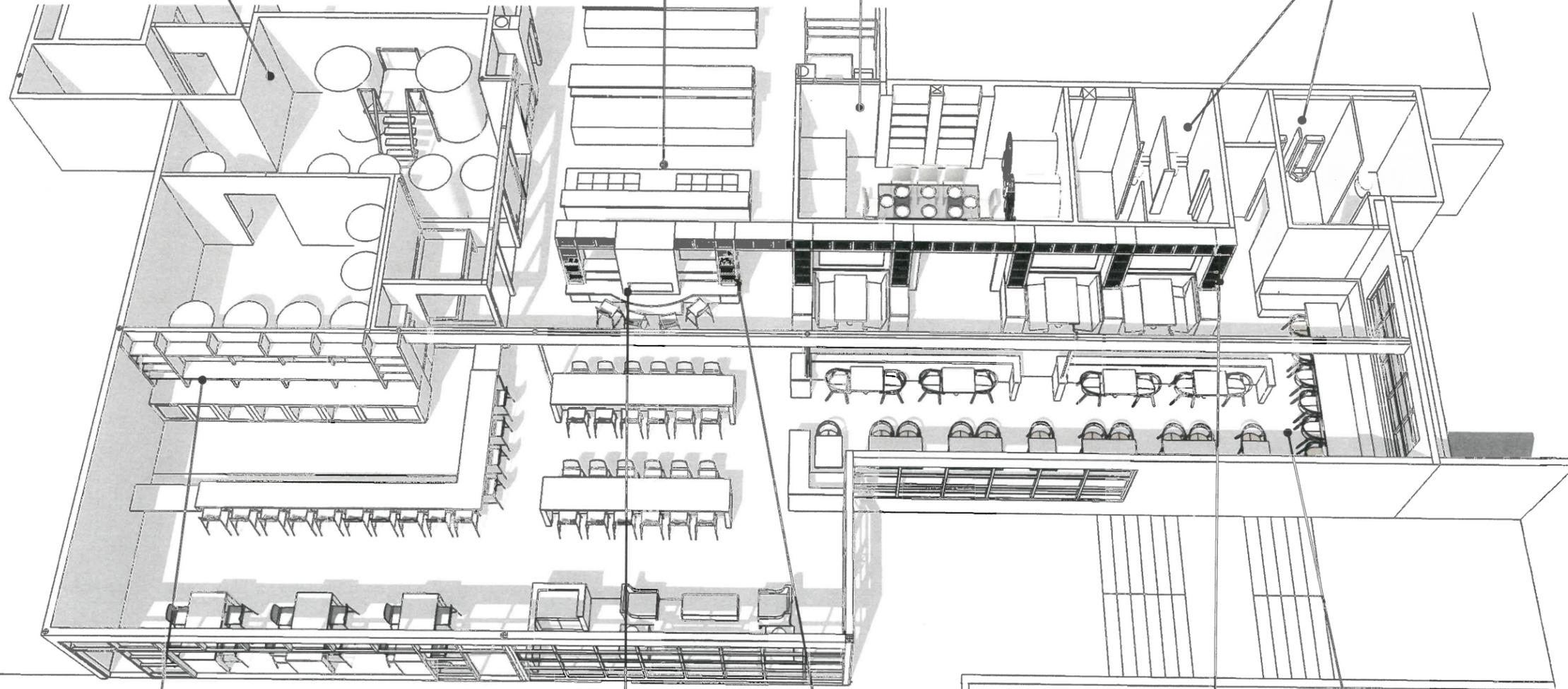
COOKING LINE



BARREL ROOM



TOILETS



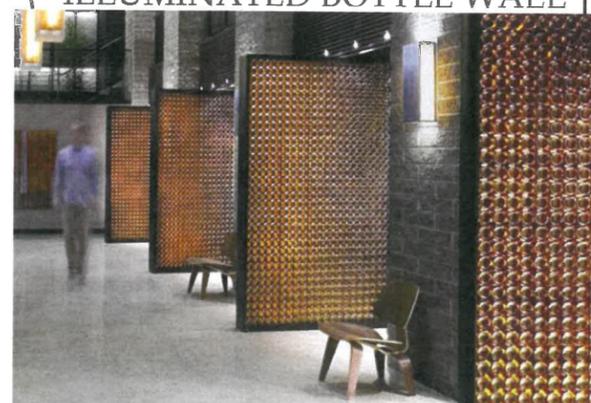
BAR VIEW TO BREWERY



FIREPLACE

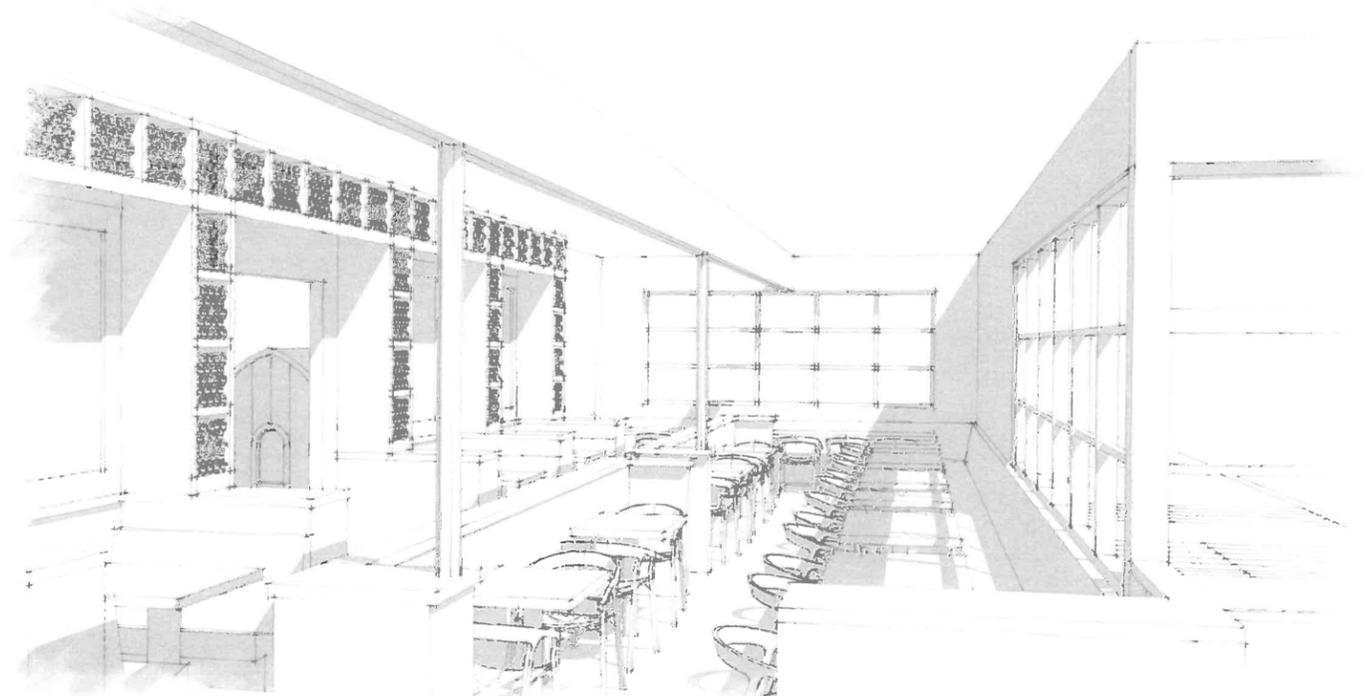
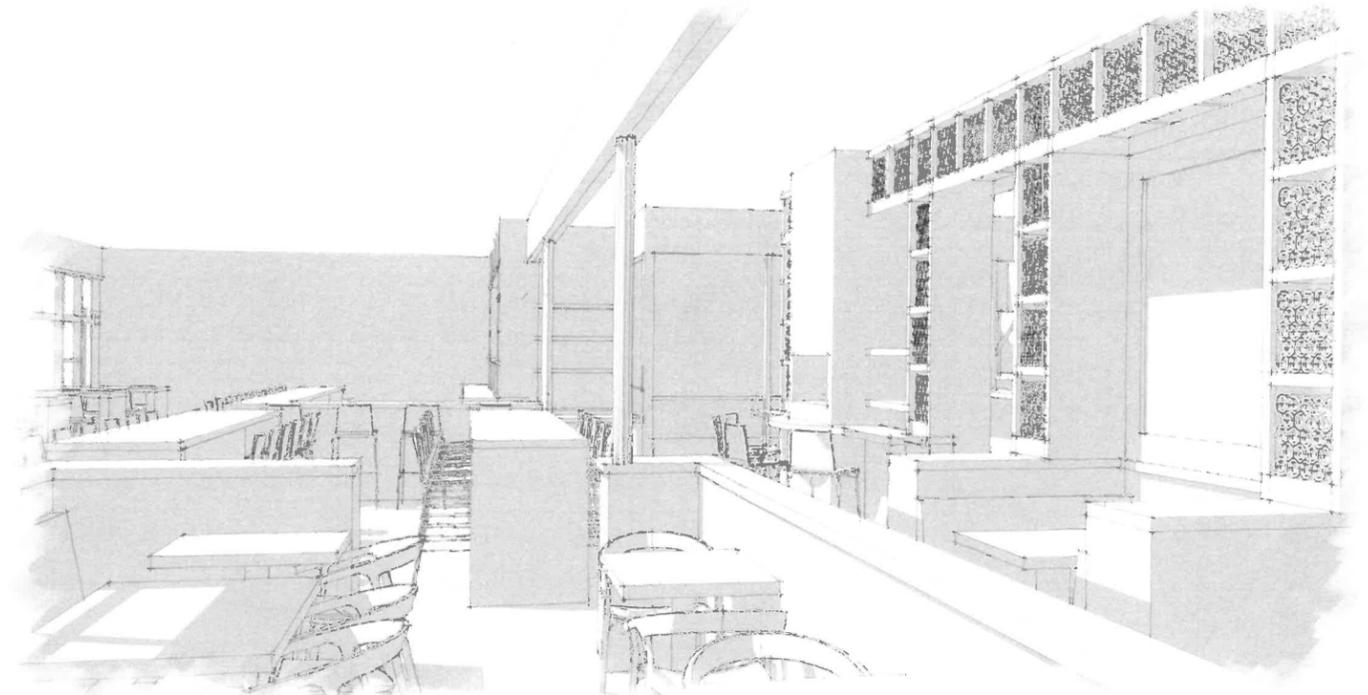
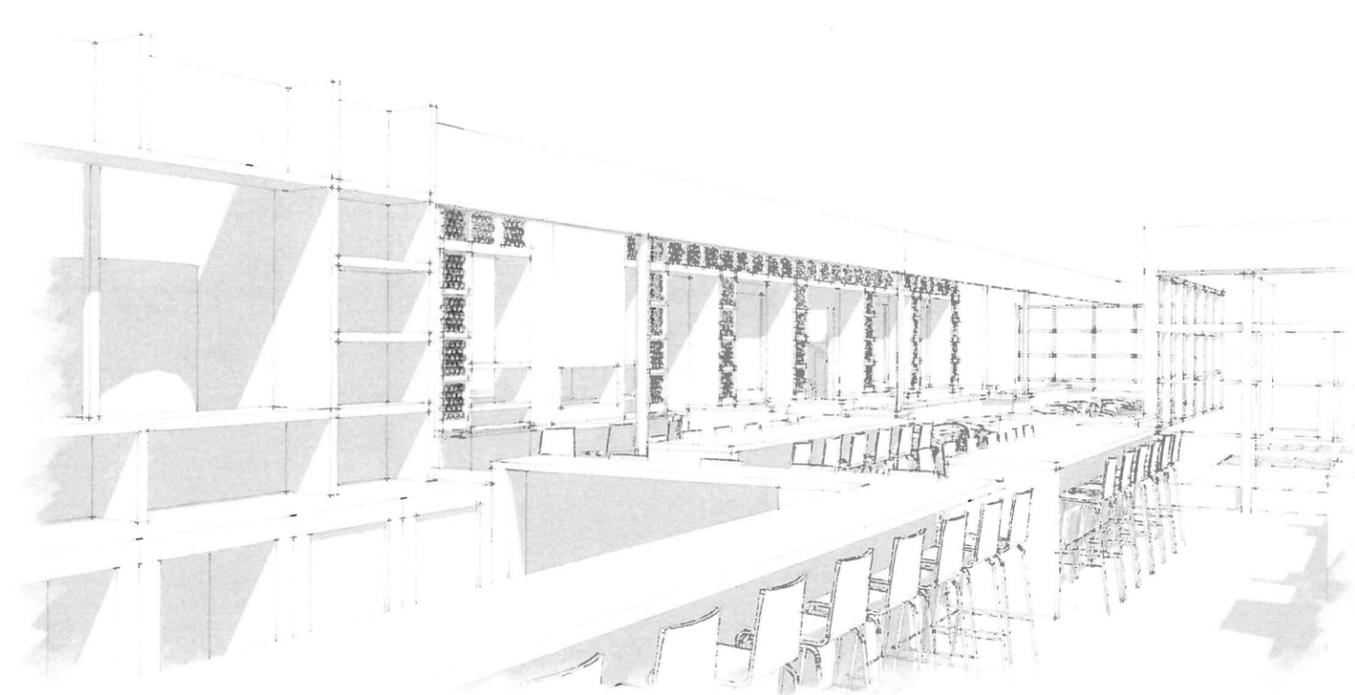


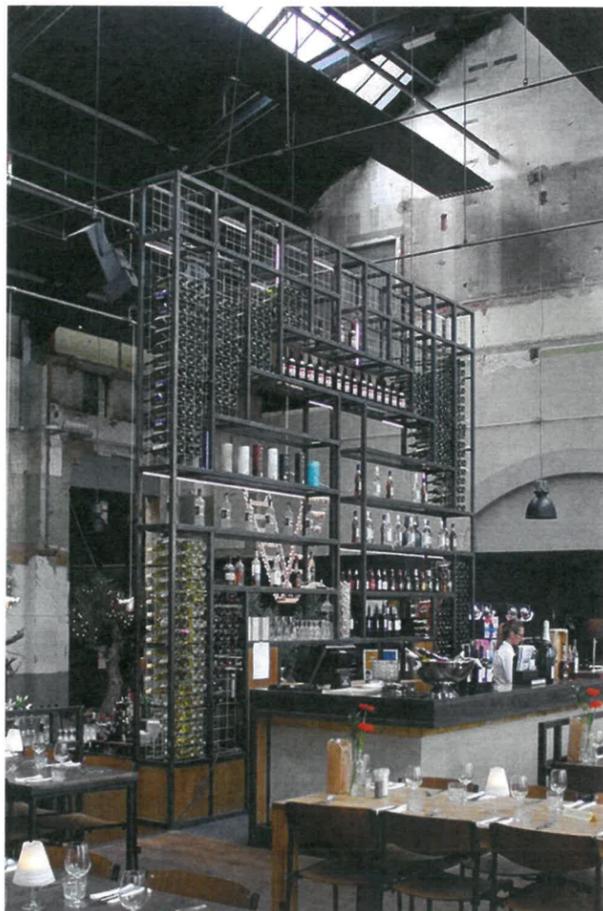
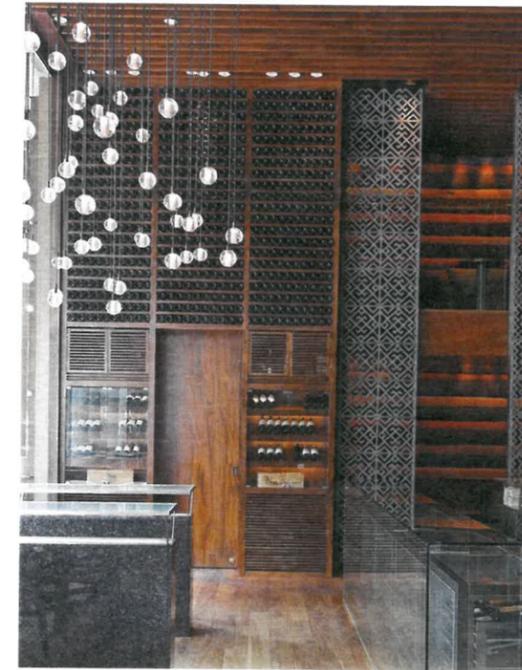
ILLUMINATED BOTTLE WALL



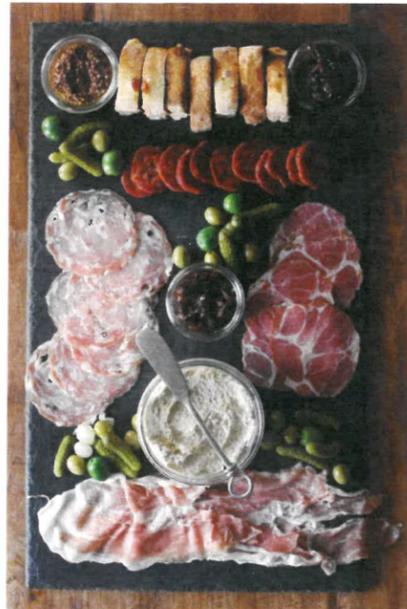
DINING ROOM







INTERIOR FINISHES  
Contemporary and sophisticated interiors softened by the use of rich natural materials and textures reinforce the venue's artisanal philosophy.



## MENU

### YEAST OF EDEN MIXED FERMENTATION BREWERY

*Our menu is designed to pair with the delicate acidity & nuanced flavors derived from our mixed fermentation beers. The offerings reflect our take on California cuisine, with locally sourced ingredients and culturally influenced flavors.*

#### SHAREABLES

**CHARCUTERIE & CHEESE BOARD - \$16**  
Chef's choice of local cheeses, house-cured meats & pickled seasonal vegetables

**PORK BELLY BAO - \$9**  
Bulgogi-style, pickled veggies, house steamed bun

**KENNEBEC CURRY FRIES - \$8**  
House cut fries, yellow curry sauce

**BOUNTY OF THE COUNTY - \$14**  
Chef's selection of seasonal greens

#### FUSION TACOS

Order comes with two tacos, all served on fresh, handmade corn tortillas.

**KOREAN BBQ - \$10**  
marinated short rib, pickled daikon, napa slaw, kimchi

**AL PASTOR - \$11**  
slow cooked, marinated pork, onion-cilantro relish, chipotle salsa

**SMOKED BRISKET - \$12**  
Oak smoked Niman ranch brisket, guacamole, cilantro, queso fresco

**TEMPURA SHRIMP - \$12**  
Wasabi ranch, napa slaw

**THAI TEMPEH - \$9**  
Vegan, mango-peanut sauce, red cabbage

**GRILLED HALIBUT - \$13**  
Monterey Bay halibut, cilantro-lime aioli, sliced jalapenos, avocado, mango slaw



#### SANTA MARIA-STYLE BBQ

*Unique to the Central Coast, and pioneered by local ranchers in the 19th century, we utilize an authentic iron grill over an open oak flame.*

**TRI TIP - \$22**  
Sliced, tender bottom sirloin cut, traditionally marinated. Served with fresh greens, garlic bread, pinto beans & pico de gallo.

**ROTISSERIE CHICKEN - \$19**  
Slow cooked, brined & traditionally marinated whole chicken. Served with fresh greens, garlic bread, pinto beans & pico de gallo.

**TOP SIRLOIN - \$28**  
Sliced, extra tender top sirloin cut, traditionally marinated. Served with fresh greens, horseradish potatoes, garlic bread & chimichurri sauce.

**LOCAL CATCH OF THE DAY - MP**  
Cooked over open oak flame, traditionally seasoned. Served with fresh greens, rice pilaf, garlic bread & pico de gallo.

#### DESSERTS

**WHITE CHOCOLATE TART - \$9**  
Valrhona white chocolate, blueberry compote

**SNICKERDOODLE SKILLET - \$10**  
Cobread cookie with ice cream & caramel sauce

**WARM GINGER BUNDT CAKE - \$9**  
Stout toffee, whipped cream

