

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
SPECIAL MEETING AGENDA**

Special Meeting
City Hall
East side of Monte Verde Street
Between Ocean & Seventh Avenues

April 17, 2014
Thursday
Tour – 2:15 p.m.
Meeting – 4:00 p.m.

I. CALL TO ORDER AND ROLL CALL

Commissioners: Steve Dallas, Chair
Jan Reimers, Vice-Chair
Don Goodhue
Michael LePage
Keith Paterson

II. TOUR OF INSPECTION

Shortly after 2:15 p.m., the Commission will leave the Council Chambers for an on-site Tour of Inspection of all properties listed on this agenda (including those on the Consent Agenda). The Tour may also include projects previously approved by the City and not on this agenda. Prior to the beginning of the Tour of Inspection, the Commission may eliminate one or more on-site visits. The public is welcome to follow the Commission on its tour of the determined sites. The Commission will return to the Council Chambers at **4:00 p.m.** or as soon thereafter as possible.

III. ROLL CALL AND REORGANIZATION OF COMMISSION OFFICERS

IV. PLEDGE OF ALLEGIANCE

V. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS

VI. APPEARANCES

Anyone wishing to address the Commission on matters not on the agenda, but within the jurisdiction of the Commission, may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Commission agenda will not receive action at this meeting but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as otherwise established by the Commission Chair. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

VII. CONSENT AGENDA

Items placed on the Consent Agenda are considered to be routine and are acted upon by the Commission in one motion. There is no discussion of these items prior to the Commission action unless a member of the Commission, staff, or public requests specific items be discussed and removed from the Consent Agenda. It is understood that the staff recommends approval of all consent items. Each item on the Consent Agenda approved by the Commission shall be deemed to have been considered in full and adopted as recommended.

1. Consideration of draft minutes from March 11, 2014 Regular Meeting
2. Consideration of draft minutes from March 25, 2014 Special Meeting – Workshop
3. AD 14-02
Bench Dedication
Randell Bishop
Mission Trails field adjacent
to Flander’s Mansion
Administrative Determination (AD 14-02) for
the proposed site of a new bench in Mission
Trail Nature Preserve
4. DS 14-13 (Assemi)
Cheryl Assemi
Casanova Street, 4 SE of 12th
Block 134; Lot 8
APN: 010-175-017
Consideration of a Final Design Study (DS 14-
13) application for alterations to an existing
residence located in the Single-Family
Residential (R-1) Zoning District

VIII. CONSENT AGENDA (PULLED ITEMS)

(This is a placeholder to be used only in the event that one or more items are pulled from the consent agenda.)

IX. PUBLIC HEARINGS

If you challenge the nature of the proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

1. DS 13-120 (Tope)
Andrew & Lara Tope
Forest Road 2 NW of 7th Ave.
Block 83; Lot 7
APN: 010-041-007
Consideration of a Final Design Study (DS 13-
120) application for alterations to an existing
residence located in the Single-Family
Residential (R-1) Zoning District

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| <p>2. DS 14-14 (Hawley)
 Charles Hawley
 Santa Fe St. 5 SW of 8th Ave.
 Block 100; Lots 9 & 11
 APN: 010-053-003</p> | <p>Consideration of Concept Design Study (DS 14-14) and Coastal Development Permit applications for the demolition of an existing structure and construction of a new residence located in the Single-Family Residential (R-1) Zoning District</p> |
| <p>3. DS 13-149 (Sturdivant)
 Nicki & Don Sturdivant
 Camino Real 7 NE of Ocean
 Block FF; Lots 20 & 22
 APN: 010-251-027</p> | <p>Consideration of a Design Study (DS 13-149) for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District</p> |
| <p>4. DR 14-08 (Bell)
 James & Catherine Bell
 Mission 3 NE of 8th Ave.
 Block 89; Lots 14 & N ¼
 of 16
 APN: 010-087-016</p> | <p>Consideration of a Preliminary Design Concept for the construction of a new single-family residence located in the Residential and Limited Commercial (RC) District</p> |
| <p>5. UP 14-03 (The Tea House)
 James Bull
 NE Corner of Mission & 7th
 (Carmel Plaza)
 Block 78; Lots All
 APN: 010-086-006</p> | <p>Consideration of a Use Permit (UP 14-03) to establish a specialty restaurant in an existing commercial space located in the Central Commercial (CC) Zoning District</p> |
| <p>6. UP 14-09 (Windy Oaks Winery)
 Jim Schultze
 Lincoln 4 NE of 6th Ave.
 Block 55; Lots 10 & 12
 APN: 010-138-019</p> | <p>Consideration of a Use Permit (UP 14-09) to establish a retail wine shop with wine tasting as an ancillary use in an existing commercial space located in the Central Commercial (CC) Zoning District</p> |
| <p>7. UP 14-04 (Mundaka's High Tide)
 Gabriel Georis
 San Carlos 2 NE of 7th Ave.
 Block 77; Lot 16
 APN: 010-141-005</p> | <p>Consideration of a Use Permit (UP 14-04) to allow live music at an existing restaurant/bar located in the Central Commercial (CC) Zoning District</p> |
| <p>8. Resolution 14-01
 Capital Improvement Plan
 Review</p> | <p>Review of the FY 2014/15 Capital Improvement Plan (CIP) for consistency with the General Plan</p> |

X. DIRECTOR'S REPORT

XI. ADJOURNMENT

The next two meetings of the Planning Commission will be:

Special Meeting – Thursday, May 15, 2014, at 4:00 p.m.

Regular Meeting – Wednesday, June 11, 2014, at 4:00 p.m.

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. Carmel-by-the-Sea City Hall is an accessible facility. The City of Carmel-by-the-Sea telecommunications device for the Deaf/Speech Impaired (T.D.D.) Number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request of the Administrative Coordinator. If you need assistance, please advise the Planning Commission Secretary what item you would like to comment on and the microphone will be brought to you.

NO AGENDA ITEM WILL BE CONSIDERED AFTER 8:00 P.M. UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE PLANNING COMMISSION. ANY AGENDA ITEMS NOT CONSIDERED AT THE MEETING WILL BE CONTINUED TO A FUTURE DATE DETERMINED BY THE COMMISSION.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning & Building Department located in City Hall, E/s Monte Verde between Ocean & 7th Avenues, during normal business hours.

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION – MINUTES
SPECIAL MEETING OF MARCH 11, 2014**

I. CALL TO ORDER AND ROLL CALL FOR TOUR OF INSPECTION

PRESENT: Commission Members: LePage, Paterson, and Reimers, Vice Chair
Goodhue, and Chair Dallas

ABSENT: None

STAFF PRESENT: Rob Mullane, AICP, Community Planning & Building Director
Marc Wiener, Senior Planner
Bryce Ternet, Contract Planner
T. J. Wiseman, Contract Planner
Daryl Betancur, Acting Commission Secretary

II. TOUR OF INSPECTION

The Commission convened at 2:45 p.m. and then toured the following sites:

1. (DR 13-40) Greg Schultz: Lincoln 4 NE of 6th, Block 55; Lot 14
2. (DS 13-136) Cal & Carol Daks: SW Cor. Lincoln & 3rd, Block 32; Lot 1
3. (DS 13-146) Cathryn Carlson: NE Cor. Ocean and Carpenter, Block 64; Lots 2, 3, 4 & 5
4. Gas Explosion Site: SW Cor. Guadalupe and 3rd; Block 40; Lot 1
5. (DS 13-96/VA 14-01) Joan Buchanan: Acacia 4 SW of Flanders, Block 102; Lot 22
6. (UP 14-02) Tudor Wines: NW Cor. of Mission and 7th; Block 77, Lots 15, 17, 19 & 21

III. ROLL CALL

Chairman Dallas called the meeting to order at 4:00 p.m. All Commissioners were present.

IV. PLEDGE OF ALLEGIANCE

Members of the audience joined the Commission in the pledge of allegiance.

V. ANNOUNCEMENTS/ EXTRAORDINARY BUSINESS

Daryl Betancur, Deputy City Clerk, notified the public about the upcoming City election on April 8, 2014, and announced that voters may deliver their ballots to City Hall or return them by mail.

VI. APPEARANCES

1. Jeffrey Blair, Blair Estate Tasting Room, commented on the staff report for UP 13-7 that was discussed at the February 11, 2014 Planning Commission meeting and wanted to clarify that Blair Estate is a separate business from Shale Canyon and that each of these adjacent wine tasting rooms have separate Use Permits.
2. Karen Williams, resident, spoke regarding concerns she has with excessive lighting in the City. She provided a list of locations that appear to be violating City lighting regulations.
3. Barbara Livingston, resident and CRA President, concurs with statements of Ms. Williams. She also wanted to make sure that interior lighting violations are addressed too.
4. John Prader, Shale Canyon Vineyards. Concurs with comments by Mr. Blair, and provided a letter noting their concerns with not being considered as two separate tasting room establishments.
5. Steve Whaler, resident, concurs with construction project on San Antonio that has been underway for an excessively long time.

Rob Mullane, Community Planning and Building Director, noted that he would refer the lighting concerns and the associated list of addresses to Code Compliance staff for follow-up. Mr. Mullane also noted that correspondence previously submitted by Mr. Jeffery Blair was distributed to the Planning Commission, and clarified that UP 13-07 was continued at the February 11, 2014, with no action affecting the respective Use Permits for the Blair Estate and Shale Canyon wine tasting establishments. Mr. Mullane also clarified that complaints related to Code Compliance can be received anonymously. Mr. Mullane provided information on the City's regulations for construction noise and duration of construction.

VII. CONSENT AGENDA

1. Consideration of draft minutes from February 11, 2014 Regular Meeting

Chair Dallas noted that staff had distributed a slightly revised set of minutes for this meeting. No other comments by the Commission or the public.

Commissioner PATERSON moved to approve the consent agenda. Motion seconded by Commissioner LEPAGE and carried by the following roll call vote:

AYES: COMMISSIONERS: LEPAGE, PATERSON, REIMERS,
GOODHUE & CHAIR DALLAS

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: NONE

ABSTAIN: COMMISSIONERS: NONE

VIII. CONSENT AGENDA (PULLED ITEMS)

No items.

IX. PUBLIC HEARINGS

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| 1. UP 13-17
Firok Shield
San Carlos 3 SE of 5th
Block 57; Lot(s) 10 | Request for the Re-Consideration of a Use Permit (UP 13-17) to establish a retail wine shop with wine tasting as an ancillary use in an existing commercial space located in the Central Commercial (CC) Zoning District |
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Marc Wiener, Senior Planner, presented the staff report and clarified what the item for consideration was. Mr. Wiener noted that three letters regarding this items were received by staff and had been provided to the Commission. Mr. Wiener noted that the City did receive an appeal of the Planning Commission's approval of this item.

Chair Dallas opened the public hearing.

Speaker #1: Mark Manzoni, Manzoni Vineyards, spoke in support of the reconsideration and recommended a moratorium on new wine tasting rooms until the Wine Tasting Policy is revised.

Speaker #2: Paul Owen, resident, with comments on the application. Spoke in support of not having the application reconsidered.

Speaker #3: Firok Shield, applicant, provided some history and information on the application process and his proposal. He spoke in support of the application and against reconsidering the application.

Speaker #4: Barbara Livingston, resident and CRA President, spoke in support of reconsidering the application. She noted that requirements for an 02 license and for Monterey County wines are crucial components to include in the revised policy.

Speaker #5: Jack Galante, Galante Vineyards and the Wine Walk, noted that the Wine Walk has conferred on the wine tasting policy and this application. He noted that a Type 02 License is required for a tasting room and discussed the differences between a wine tasting room and a liquor store or wine tasting bar.

Speaker #6: Marie Antoinette, co-applicant, provided additional information on the proposed licensing for the proposal. They currently have a Type 17/20 license, but would be securing a Type 02 license.

Speaker #6: Jeffrey Blair, Blair Estate Tasting Room, spoke about TTB and ABC licensing requirements.

Seeing no other speakers, Chair Dallas closed the public hearing. The Commission discussed the request.

Commissioner **LEPAGE moved to deny the reconsideration. Motion seconded by Commissioner REIMERS and carried by the following roll call vote:**

AYES: COMMISSIONERS: LEPAGE, REIMERS, and CHAIR DALLAS
NOES: COMMISSIONERS: PATERSON and GOODHUE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

The Chair explained the rationale for his vote, and noted that because of the appeal, the proposal would be considered by the City Council.

2. AD 14-01 Consideration of an Administrative Determination
Bench Dedication (AD 14-01) for the acceptability of a public bench
Linda Smith(Friends of Spike) dedication to an animal recognition group in the
E/s Lincoln Bet. 3rd & 4th Single-Family Residential (R-1) Zoning District

T.J. Wiseman, Contract Planner, presented the staff report and summarized the request.

Chair Dallas opened the public hearing.

Speaker #1: Carol Daks, resident and neighbor, spoke in support of the request.

Seeing no other speakers, Chair Dallas closed the public hearing. The Commission had a brief discussion of the request.

Commissioner **PATERSON moved to accept the plaque to Spike. Motion seconded by Commissioner REIMERS and carried by the following roll call vote:**

AYES: COMMISSIONERS: GOODHUE, LEPAGE, PATERSON,
REIMERS, and CHAIR DALLAS
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

3. UP 14-02 Consideration of a Use Permit (UP 14-02) to
Jon Sapp (Tudor Wines) establish a retail wine shop with wine tasting as an
NW Cor. of Mission Street ancillary use in an existing commercial space located
and 7th Avenue in the Central Commercial (CC) Zoning District and
Block 77; Lot 15, 17, 19 & 21 Consideration of an Application for a Commercial
Sign (SI 14-11) (Tudor Wines)

Commissioner Reimers recused herself from the discussion because she owns property in proximity to the project site and left the dais.

Mr. Mullane noted some observations from the Tour of Inspection and some questions that had come up regarding the respective floor area for the tasting room component and the retail component and then turned over the presentation to Bryce Ternet, Contract Planner.

Mr. Ternet, presented the staff report and summarized the request, and noted that the applicant should clarify the floor area questions. The Commission had questions on the proposed signage. Mr. Ternet noted that staff prefers the flatter option for the main sign. The Commission reiterated their question on the respective floor areas.

Chair Dallas asked the applicant to address the Commission.

Jon Sapp, representative for Tudor Wines, provided additional information on the proposed seating. He noted that all areas other than the bar are retail areas. He noted that he provided information on hours of operation for other wine tasting establishments in Carmel. He clarified that the serving size is proposed to be 2 oz not 1 oz as noted in the staff report. He clarified the current signage preference for the applicant and that there are two directory signs also proposed.

The Commission had concerns regarding the feasibility of all of the back area being used for retail display. The Commission also noted that drawing was not to scale and that the proposed seating was not too small to be functional, and the bar would fit a lower number of seats than what was shown. The Commission had questions on the feasibility of storing wines in this location. The Commission asked about the location of the vineyards and the winery. Mr. Sapp noted that the grapes are from Monterey County, but the winery is in Paso Robles.

Chair Dallas opened the public hearing.

Speaker #1: Scott Caraccioli, Caraccioli Cellars and Wine Walk by the Sea, spoke in opposition to the request.

Speaker #2: Kim Stemler, Monterey County Vintners and Growers Association, spoke in opposition to the request. Noted that the City's Wine Tasting Policy encourages both grapes from Monterey County as well as the winery being located in Monterey County.

Speaker #3, Barbara Livingston, noted questions regarding the retail display areas and the proposed hours of operation. She noted concurrence with the points raised by Ms. Stemler.

Speaker #4, Jon Sapp, representative for Tudor Wines, read a letter from David Fink in support of the request.

Seeing no other speakers, Chair Dallas closed the public hearing. Mr. Mullane noted that cross sections are included in the staff report. Mr. Mullane sought clarity on the hours of operation is the Commission opts to approve the project. He also provided additional information on the signage and the floor area break-down. The Commission had a brief discussion of the request and noted their concerns. The Chair noted that the legal dispute that one of the speakers noted is not pertinent to Commission's consideration of the request.

Commissioner PATERSON moved to deny the application. Motion seconded by Commissioner LEPAGE and carried by the following roll call vote:

AYES:	COMMISSIONERS: LEPAGE, PATERSON, GOODHUE, & CHAIR DALLAS
NOES:	COMMISSIONERS: NONE
ABSENT:	COMMISSIONERS: NONE
ABSTAIN:	COMMISSIONERS: REIMERS

The Commission took a brief recess, following which, Commissioner Reimers returned to the dais.

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| 4. DS 13-148 | Consideration of a Plan Revision application for |
| Fiallo/Martinez | alterations to an approved Design Study (DS 13-148) |
| W/s San Antonio 5 S Ocean | |
| Block C1, Lot(s) 5 | |

Chair Dallas reconvened the meeting.

Marc Wiener, Senior Planner, presented the staff report and summarized the request. The Commission had questions on the existing approved design including the stone wainscoting; these questions were addressed by Mr. Wiener.

Chair Dallas asked the applicant to address the Commission.

Philippe Tardivet of Montblanc Construction, general contractor, went over the project status and request. He addressed a question on the chimneys.

Mr. Wiener went over the request regarding the chimneys in comparison to the 2 chimneys that were previously approved. The south elevation chimney would be a metal flue.

Chair Dallas opened the public hearing. There were no speakers. Chair Dallas closed the public hearing.

Commissioner LEPAGE moved to accept the application as submitted with conditions of approval identified by staff. Motion seconded by Commissioner REIMERS and carried by the following roll call vote:

AYES:	COMMISSIONERS: LEPAGE, PATERSON, GOODHUE,
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REIMERS & CHAIR DALLAS

NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

- 5. DS 13-136 Consideration of Final Design Study (DS 13-136)
Cal & Carol Daks and Coastal Development Permit applications for the
SW Cor. Lincoln & 3rd construction of a new residence located in the Single-
Blk 32; Lot 1 Family Residential (R-1) Zoning District

Mr. Wiener presented the staff report including a summary of the issues that arose at the last meeting, the revisions to the project to address these issues, and that staff had received letters in support of the application from various neighbors. He noted that the applicant may want to revise the gable by the chimney.

Chair Dallas asked the applicant to address the Commission.

Terry Latasa, Project Architect, went over the project revisions and clarified the request for further revising the gable behind the chimney as well as the plan for the parking pad. The fireplace would be Carmel stone clad.

Chair Dallas opened the public hearing.

Speaker #1: James Gill, neighbor, spoke in support of the application.

Speaker #2: James Nagel, neighbor, spoke in support of the application, and read a letter in support of the project from another neighbor, Donald and Renata Winsch.

Speaker #3: Joanna Owens representing William Taromina, neighbor, spoke in support of the application.

Speaker #4: Amy Jeffrey, neighbor, spoke in support of the application.

Seeing no other speakers, Chair Dallas closed the public hearing. The Commission had a brief discussion of the request.

Commissioner **PATERSON moved to approve the application. Motion seconded by Commissioner LEPAGE and carried by the following roll call vote:**

AYES: COMMISSIONERS: LEPAGE, PATERSON, GOODHUE,
REIMERS, & CHAIRMAN DALLAS
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

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| 6. DS 13-96/VA 14-01
Joan Buchanan
Acacia 4 SW of Flanders
Block 102; Lot 22 | Consideration of a Design Study (DS 13-96) and
Variance (VA 14-01) for the addition of an attached
garage to an existing residence located in the Single-
Family Residential (R-1) Zoning District |
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Mr. Wiener presented the staff report including a summary of the request and the reason for the Variance. Mr. Wiener noted the deck's encroachment onto the neighboring property and that a condition of approval is recommended by staff to address this issue and that additional site coverage be removed, potentially with grass-crete at the front of the property. Mr. Wiener noted that staff received a letter from a neighbor expressing concerns about untidy conditions and potential fire hazards. Mr. Wiener noted that staff could look into this and work with the applicant to resolve any problems.

Chair Dallas asked the applicant to address the Commission.

Glenn Warner, project architect, noted concurrence with most of the conditions of approval except for Condition #21 (site coverage reduction); he suggested a waffle grid instead of wood chips. Mr. Warner also noted an objection to Condition #24 (addressing the deck encroachment) and wanted to know if they could get relief on that. He noted that he had a couple letters in support of the project from neighbors and presented these to the Commission. He noted that if they need to comply with Condition #24, they would cut back the area of the deck.

Chair Dallas opened the public hearing.

Speaker #1: Joan Buchanan, applicant, had questions about the letter received by staff today and spoke in support of the request. Mr. Wiener provided her with a copy of the letter.

Seeing no other speakers, Chair Dallas closed the public hearing. The Commission had a brief discussion of the request.

Commissioner LEPAGE moved to accept the application with conditions recommended by staff and with the change to Condition #21 to remove the concrete in the front area of the lot and replace it with a combination of grass-crete and wood chips that is acceptable to staff.

Prior to the vote, Chair Dallas asked the applicant if they accepted the revised conditions of approval. Mr. Warner requested an additional revision to Condition #21 and the driveway portion (approximately 10-feet in width) to be allowed to be an impervious surface such as paving stones. In response to Mr. Warner's input, the Commission amended the motion as follows:

Commissioner LEPAGE moved to accept the application with conditions recommended by staff and with the change to Condition #21 to remove the concrete in the front area of the lot and allow an impermeable paved area for the driveway with a combination

of grass-crete and wood chips elsewhere in the front that is acceptable to staff. Amended motion seconded by Chair DALLAS and carried by the following roll call vote:

AYES: COMMISSIONERS: LEPAGE, PATERSON, GOODHUE,
REIMERS, & CHAIRMAN DALLAS
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

7. DS 13-146 Consideration of a Design Study application for the
Cathryn Carlson installation of fiberglass windows and exterior siding
NW Cor. Ocean & Carpenter changes on an existing residence located in the
Blk 64; Lots 2, 3, 4 & 5 Single-Family Residential (R-1) District.

T.J. Wiseman, Contract Planner, presented the staff report and summarized the request. She distributed a table regarding site coverage for the Commission’s consideration, as this was not included in the staff report, but excess site coverage was noted as a concern during the Tour of Inspection. She also provided a color handout of the proposed siding to the Commission.

The Commission had questions on the new window material.

Chair Dallas asked the applicant to address the Commission.

Cathryn Carlson, property owner/applicant, summarized the request and presented the window sample to the Commission. She noted her concurrence with the conditions of approval recommended by staff.

Chair Dallas opened the public hearing.

Speaker #1: Jerry Stefanik, builder working with applicant, spoke in support of the request. He noted that the proposed windows would fit the style of the building better than wood windows.

Chair Dallas asked the applicant about the trees that are proposed for removal. Ms. Carlson pointed these out: one in the entry courtyard and an acacia tree on the Ocean Avenue frontage and that replacement plantings were not required. She also clarified for the Commission the proposed window changes and which window was to be enlarged.

Seeing no other speakers, Chair Dallas closed the public hearing. The Commission had a brief discussion of the request and noted overall support for the proposal. Commissioner Goodhue had concerns regarding the aesthetic of the garage doors and would have preferred that a redesign to the doors was included. Chair Dallas noted a preference to include a requirement to plant one new upper-canopy trees. Commissioner LePage noted that the site is currently substantially over on amount of site coverage and that a possible location for a

new upper-canopy tree would be near the northeast corner of the property with the removal of some of the concrete in that area. He would like to see some of the site coverage removed. Commissioner Paterson concurred that this was an opportunity to reduce the site coverage and that removing a substantial amount of the concrete in the driveway area would improve the appearance of the property. He recommended a new condition of approval to this effect.

Commissioner **LEPAGE moved to accept the application with modification to the special conditions to remove the concrete from the front of the property and work with staff to come up with a design that substantially lessens the paving in that area and with the additional special condition that an upper canopy tree be added in the northeast corner of the property. Motion seconded by Commissioner PATERSON and carried by the following roll call vote:**

AYES:	COMMISSIONERS: GOODHUE, LEPAGE, and PATERSON
NOES:	COMMISSIONERS: REIMERS and CHAIR DALLAS
ABSENT:	COMMISSIONERS: NONE
ABSTAIN:	COMMISSIONERS: NONE

Prior to the vote, the Chair asked the applicant to note concurrence with the revised special conditions. Ms. Carlson noted her concern with the requirement to remove site coverage. The Chair asked staff to comment on the revised conditions. Mr. Mullane noted that this was a Design Study and therefore changes to the project or conditions of approval related to aesthetics and better compliance with the City's Design Guidelines are appropriate. The Chair asked the applicant if she understood and agreed to the terms of conditions set forth in the revised special conditions. The applicant expressed that she was not sure she was in agreement with the revised special conditions. For clarification, Mr. Mullane repeated the motion and its revised conditions of approval. Ms. Carlson noted that she understood the motion. After further discussion on possible options for this item, Ms. Carlson noted her agreement with the conditions of approval and her willingness to work with staff on the specifics of the type of material that would be used in the driveway and garage area.

8. DR 13-40	Consideration of a Design Review (DR 13-40)
Greg Schultz	application for exterior alterations to a property
Lincoln 4 NE of 6 th	located in the Service Commercial (SC) Zoning
Block 55; Lot 14	District

Mr. Wiener presented the staff report and summarized the request. He noted staff's concerns with the outdoor fire-pits, as these could be a code compliance issue.

Chair Dallas asked the applicant to address the Commission.

Claudio Ortiz, project designer, went over the project concept and its components. He noted the applicant's preference to have some variation in the brick pattern or design between the proposed area of work and the adjacent courtyard to the east.

Chair Dallas opened the public hearing.

Speaker #1: Greg Schultz, property owner, spoke in support of the project and the need for the project.

Seeing no other speakers, Chair Dallas closed the public hearing.

The Commission was in support of the proposed building remodel. The Commission had questions regarding whether the adjacent property owner that shares the courtyard was in support of the application and a concern whether the proposed balcony enlargement could be allowed given the non-conforming use on the second story. The Commission supported the proposed water feature and could support two, rather than three, fire pits in the patio. Mr. Mullane noted that staff would research whether the balcony could be expanded and accessibility requirements that would be applied to the project.

Commissioner **PATERSON moved to continue the project with reference to the possible redesign of the balcony and the courtyard. Motion seconded by Commissioner REIMERS and carried by the following roll call vote:**

AYES:	COMMISSIONERS: LEPAGE, PATERSON, GOODHUE, REIMERS & CHAIR DALLAS
NOES:	COMMISSIONERS: NONE
ABSENT:	COMMISSIONERS: NONE
ABSTAIN:	COMMISSIONERS: NONE

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| 9. UP 14-04
Gabriel Georis
San Carlos 2 NE of 7 th
Blk 77; Lot 16 | Consideration of a Use Permit Amendment (UP 14-04) application to amend the hours of operation and allow for live music at an existing restaurant/bar located in the Central Commercial (CC) Zoning District (<i>Continued to 4/17/14</i>) |
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This item was continued to the special meeting of April 17, 2014.

XI. DIRECTOR'S REPORT

1. Status Report on Implementation Actions related to the Shoreline Management Plan and Forestry Management Plan

Mr. Mullane provided a brief update on the status of the implementation of these plans and recent City Council direction on implementation. Commissioner Reimers noted that the minutes distributed by staff as part of this item lacked a revision that was made by the Commission prior to approval. Mr. Mullane confirmed that the version provided was not the final version and that he would ensure that the final minutes are distributed.

Mr. Mullane also went over recent City Council actions and decisions and reminded the Commission of the upcoming Council consideration of the FY 2014-2015 budget.

XII. ADJOURNMENT

There being no further business to come before the Commission, the meeting was adjourned by Chair Dallas at 6:10 p.m.

The next meeting of the Planning Commission will be a special meeting on Tuesday, March 25, 2014.

Daryl Betacur
Acting Planning Commission Secretary

ATTEST:

Steve Dallas, Chairman

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION – MINUTES
SPECIAL MEETING OF MARCH 25, 2014**

I. CALL TO ORDER AND ROLL CALL FOR TOUR OF INSPECTION

PRESENT: Commission Members: LePage, Paterson, and Reimers, Vice Chair
Goodhue, and Chair Dallas

ABSENT: None

STAFF PRESENT: Rob Mullane, AICP, Community Planning & Building Director
Marc Wiener, Senior Planner

II. ROLL CALL

Chairman Dallas called the meeting to order at 4:02 p.m.

III. PLEDGE OF ALLEGIANCE

Members of the audience joined the Commission in the pledge of allegiance.

IV. ANNOUNCEMENTS/ EXTRAORDINARY BUSINESS

Chair Dallas announced that this would be moved to the end of the agenda to facilitate an earlier start for the first discussion item and allow for more participation by Mr. Jeff Anadon with the California ABC.

V. DISCUSSION ITEMS

- | | |
|-------------------------------|--|
| 1. Wine Tasting Policy Update | Discussion on the City’s Wine Tasting
Policy and State Alcohol Beverage
Control licensing requirements |
|-------------------------------|--|

Commissioner Reimers recused herself from the discussion because she owns property with a pending tasting room application and left the dais.

Marc Wiener, Senior Planner, presented the staff report including a summary of issues with the current Wine Tasting Policy: 1) space configuration and seating arrangements; 2) not presenting a bar-like appearance; 3) hours of operation; 4) source of grapes and location of winery; 5) type of licensing to be required; 6) number of wine shops allowed per block.

Rob Mullane, Community Planning and Building Director, stated that initial intent of the workshop was to report on ABC licensing requirements. However, the Commission may also provide input on the Policy, which staff will take into account as the Policy is reviewed

in more detail through future workshops and hearings. Mr. Mullane noted that Jeff Anadon, Licensing Agent with the California Department of Alcoholic Beverage Control, was in attendance to answer questions on the requirements.

Jeff Anadon, spoke on behalf of the Department of Alcoholic Beverage Control. Mr. Anadon answered questions from Commissioners on licensing types and requirements.

Chairman Dallas opened the item for public comment at 4:25 p.m. in regards to ABC licensing.

Speaker #1: Jack Galante, Galante Vineyards, asked about Dup. 02 licensing and the number of Dup. 02 licenses a winery could have. Mr. Anadon responded.

Chairman Dallas closed this portion of the public comment at 4:29 p.m. and thanked Anadon for his time.

Chairman Dallas reopened the item for public comment in regards to the Wine Tasting Policy.

Speaker #1: Scott Scheid, Scheid Vineyards, stated the importance of requiring a tasting room to have a Type 02 license or a 42 license. He also suggested that the policy specify the type of licensing they want the Use Permit holder to have and specify that the Use Permit applicant be the same person that secures the associated ABC license.

Speaker #2: Carolyn Hardy, resident, summarized her support to tighten the current policy. She supports limiting hours by closing at 7 p.m., 1 oz maximum pours, no seating, limit on applications per year, and a city-wide cap.

Speaker #3: Anna Russell, De Tierra Vineyards, reported that the seating in the tasting room is very important to make customers feel comfortable and allow them to engage with staff.

Speaker #4: Jeffrey Blair, Blair Estate Tasting Room, stated that each winery in the state of California can have one duplicate Type 02 license. Mr. Blair supports the retention of seating in the tasting room for the customers to have a learning experience. He states a 7 p.m. closing time is too early.

Speaker #5: Jack Galante. Galante Vineyards, addressed the importance of providing seating and allowing a closing time past 7 p.m. to accommodate the customer especially out of state visitors.

Speaker #6: Celeste White, with Wine Walk and White Pages Communications, supports preserving a Monterey County focus for the policy. She also supports a moratorium while the policy is revised.

Speaker #7: Barbara Livingston, Carmel Residents Association, expressed support for a moratorium and a cap on number of tasting rooms.

Speaker #8: Rich Pepe, Vino Napoli, also noted his support for a moratorium. He stated that limiting seating or hours will not help with the policy issues. He also suggests 02 license from a Monterey County Vineyard should only licensing, tasting rooms be required to have their own bathroom, and that a tasting room can only operate solely as a tasting room.

Speaker #9: Brian Foucht, representing Hahn Winery, posed questions to the Commission on regarding the process, he also suggested that a checklist to be part of the application process, and asked about transfer of an existing Use Permit.

Speaker #10: Monta Potter, Chamber of Commerce, spoke to the positive impact that existing tasting rooms in Carmel have had on other businesses in Carmel.

Speaker #11: Jim Heisinger, attorney for applicant Jim Schultz with Windy Oak Winery, requested that any moratorium include an exemption for applications that are in process.

Mr. Mullane provided a response to the questions from Mr. Foucht.

Mr. Weiner stated Windy Oaks and Surf N' Sand applications are deemed complete and possibly also Wyland Gallery's application.

Commissioner **PATERSON moved to recommend to City Council an emergency moratorium on new wine tasting rooms with the exception of those deemed complete to be excluded from moratorium. Motion seconded by Commissioner LEPAGE and carried by the following roll call vote:**

AYES:	COMMISSIONERS: LEPAGE, PATERSON, GOODHUE & CHAIRMAN DALLAS
NOES:	COMMISSIONERS: NONE
ABSENT:	COMMISSIONERS: NONE
ABSTAIN:	COMMISSIONERS: REIMERS

Commissioner Reimers returned to the dais at 5:16 p.m.

- | | |
|---|--|
| 2. Carmel Resort Inn Re-Use Concept Review
Chadmar Corporation
Carpenter & Guadalupe Streets bet. 1 st & 2 nd
Block 17 (northern four-fifths), Lots 1-16 | Discussion on the proposed redevelopment of the northern four-fifths of Block 17 to include the demolition of an existing 25-unit motel and construction of 16 new single-family residences on individual lots |
|---|--|

Commissioner LePage and Chair Dallas recused themselves as they own property within 500 feet of the project site and accordingly left the dias at 5:17 p.m. Vice Chair Goodhue presided over the item.

Mr. Mullane stated that a conceptual review is an opportunity for the applicant to receive feedback from the Commission.

Mr. Weiner presented a brief staff report noting the concept of the project and the materials submitted thus far by the applicant.

Jonathan Sapp, agent for Chadmar Group, addressed the Commission and presented an overview of the project for the 16 proposed homes. The commission had comments and questions on designs of homes and traffic from the new driveways accessing Carpenter Street. Mr. Sapp stated that CalAm and the Water Management District staff have stated that there will be enough water for project. He noted that traffic could be addressed through greater setbacks.

Vice Chair Don Goodhue opened the item for public comments.

Speaker #1: Barbara Livingston noted that this was a very important project that should be carefully designed and considered. She supports mixed-size lots, use of wood primarily instead of stucco, and the need for shared common spaces.

Speaker #2: Carolyn Hardy expressed her concern with adding eight new driveways to Carpenter and having the project look much like an ordinary subdivision.

Speaker #3: Adam Jeselnick stated his support for redevelopment as residential neighborhood and differentiation in design.

There being no other appearances, Vice Chair Goodhue closed the public meeting.

Mr. Mullane clarified that the development will be considered as whole but will also require approval of individual design studies and other permits. He noted that the CEQA review path was to be determined. He explained that the City has processes for a specific plan or a community plan, and that a community plan may be needed to evaluate the development, although such a process would not be staff's preference. Mr. Mullane stated that the applicant can use this feedback from the Commission and come back for a another conceptual review with more concrete plans to determine if the Commission would like to move forward without requiring a community plan. The property has previously been deemed as non-historic, but will need to have a re-evaluation since such determinations are good for five years.

The Commission provided conceptual comments including the following: 1) that there should be varying lot sizes; 2) that there should be variation in home design and that only 5 or 6 floor plans does not provide sufficient variety; 3) that traffic hazards resulting from driveways on Carpenter Street should be addressed by minimizing the number of driveways

on Carpenter; and 4) build time. One commissioner noted that compliance with the City's Design Guidelines may not be adequate and the effort beyond that will be needed to make development Carmel-like.

Vice Chair Goodhue reopened the item for public comments to allow Mr. Sapp to respond to the comments made by the Commission.

Mr. Sapp states that his group is in a very preliminary stage of the project. He wanted to present the project to the Commission so they are aware of the project and appreciates the feedback. The homes will not look like an ordinary subdivision. The intent is to submit all applications together to be reviewed at once but will have separate site plans and permits for each home.

Vice Chair Goodhue closed the public meeting.

The Commission reiterated the importance of not having the homes look like an ordinary subdivision and their support for different lot sizes.

Commissioner LePage and Chair Dallas returned to the dias at 6:08 p.m.

IV. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS

Chair Dallas acknowledged Roxanne Ellis and thanked her for taking the meeting minutes. He also passed along his thanks to Daryl Betancur for stepping in as Commission Secretary for the last few months.

Mr. Mullane stated that Mr. Betancur has accepted a new position closer to his home and will start the new position once the City's election is complete.

VI. APPEARANCES

Chair Dallas opened the public comment at 6:09 p.m. Seeing no speakers, Chair Dallas closed the public comment at 6:09 p.m.

VI. ADJOURNMENT:

There being no further business to come before the Commission, the meeting was adjourned by Chair Dallas at 6:10 p.m.

The next meeting of the Planning Commission will be Thursday, April 17, 2014.

Roxanne Ellis
Acting Planning Commission Secretary

ATTEST:

Steve Dallas, Chairman



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

April 17, 2014

To: Chair Dallas and Planning Commissioners
From: Rob Mullane, AICP, Community Planning and Building Director RM
Subject: Consideration of an Administrative Determination (AD 14-02) for the proposed site of a new bench in Mission Trail Nature Preserve

Recommendation:

Direct staff regarding the acceptability of a new dedicated bench location

Application:	AD 14-02	APN:	N/A
Location:	Mission Trails field adjacent to Flanders Mansion		
Block:	N/A	Lots:	N/A
Applicants:	Randell Bishop		

Background and Project Description:

The applicant, Randell Bishop, wishes to purchase and dedicate a bench in the Mission Trail Nature Preserve. The bench would be located in the upper field adjacent to the Flanders Mansion. There is an existing, neighbor-provided bench in disrepair at this location. Mr. Bishop has served as a volunteer for many years as a Friend of Mission Trail Preserve and desires this location to honor his life-long partner, Robert Boger, a dedicated hiker and consistent caretaker of the preserve.

Staff Analysis:

The City's Bench Donation Guidelines, included in Resolution No. 2005-14 (Attachment A), have several requirements for anyone wishing to donate or dedicate a bench on City property. These Guidelines provide direction regarding bench style, the required payment for bench donations, maintenance procedures, location, and information on who may donate or dedicate a bench.

The applicant is a long-time resident of Carmel, as was the honoree. The applicant proposes to

purchase a new, five-foot teak bench that meets the criteria for material and style in compliance with the City's preferred bench contracted with Country Casual manufacturers.

The guideline under consideration for the Planning Commission concerns the proposal for a new bench location in the City.

Guideline #8 states:

Any bench in a new location must comply with the direction contained in Policy and Standards for Public Way Design – C97-02 – Section D. Furniture in the Public Way.

Policy and Standards for Public Way Design C-97-02-D. states:

The Planning Commission shall review the design and siting of furniture in the public way (e.g. benches, newspaper racks, cigarette butt containers, fountains, drinking fountains and tables.) The Commission will determine whether a location or placement is appropriate based on 1) demonstrated need, 2) public safety, 3) pedestrian flow, 4) access to parked vehicles, 5) existing structures located in the sidewalk area, 6) the architecture of the area, 7) location of underground utilities and 8) the type of business that the furniture will impact.

Staff's analysis of the project's compliance with each of these requirements follows:

- 1) The proposed bench would replace a non-authorized, dilapidated bench at the same location. The need has been established as this is a well-used bench. The path where this bench would be located is at the top of the field, close to Flanders Mansion. This is a natural place to rest and enjoy an unobstructed view of Carmel Mission and the bay.
- 2) Safety would not likely be a concern since the bench would be located slightly off the trail and in view of other park users.
- 3) This bench would not impede any pedestrian traffic as it would be slightly off-trail.
- 4) The bench would be close to parking for Flanders Mansion and also within walking distance to parking along Martin Road.
- 5) N/A
- 6) The adjacent Flanders Mansion is an historic structure, and the proposed bench would be simple and solid in style and, therefore, compatible with this landmark.
- 7) N/A
- 8) N/A

In staff's opinion, this Mission Trail Nature Preserve field-site is appropriate and meets all of the above criteria for a new bench location. The applicant has agreed to the cost of purchasing and

installing a new bench. The bench dedication is appropriate given both of these residents' appreciation of and contribution to the Mission Trail Nature Preserve. Staff recommends accepting this donation and approving the location as proposed.

Alternatives: Staff supports the proposed bench location. If the proposed location of the bench is not approved, Planning Commission should provide direction on an alternative location in Mission Trails Nature Preserve.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to CCR Section 15301 (Class 1) – Existing Facilities. The replacement of the bench involves minimal work and would not result in any significant environmental impact.

ATTACHMENTS:

- Attachment A – Resolution 2005-14, including Bench Donation Guidelines
- Attachment B – Applicant Letter
- Attachment C – Images of Proposed Plaque
- Attachment D – Proposed Bench Location
- Attachment E – Letter of Support from Cindy Lloyd

CITY OF CARMEL-BY-THE-SEA

CITY COUNCIL

RESOLUTION NO. 2005-14

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA REVISING POLICY NO. C89-41 - ACCEPTANCE OF DONATIONS AND GIFTS TO THE CITY, INCLUDING BENCH DONATION GUIDELINES

WHEREAS, the City places benches throughout Carmel-by-the-Sea for residents and visitors to use; and

WHEREAS, inquiries are received about placing recognition plaques on an existing public bench; and

WHEREAS, a bench donor or a person recognized on a plaque should have a connection to Carmel-by-the-Sea or the official City Sphere of Influence; and

WHEREAS, the donation value threshold requiring City Council approval has not been increased since 1994.

NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA DOES:

1. Amend Policy No. C89-41 "Acceptance of Donations and Gifts to the City" and Bench Donation Guidelines to include the following:
 - A. Any person wanting to donate a new bench or take responsibility of an existing bench must live in or memorialize someone who has lived in Carmel-by-the-Sea or in the sphere of influence.
 - B. Existing benches may receive plaques with a donation amount of \$750 to be placed in the City park bench deposit account.
 - C. The Public Works Department will maintain a list for bench availability on a first come first served basis, a record of donors, potential donors, bench locations and styles, and plaque wording (should replacement be required).
 - D. Increase the threshold for donation value requiring City Council approval from \$500 to \$1,000.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF
CARMEL-BY-THE-SEA this 1st day of March 2005, by the following roll call vote:

AYES: COUNCIL MEMBERS: Bethel, Cunningham, Hazdovac, Rose,
McCloud

NOES: COUNCIL MEMBERS: None

ABSENT: COUNCIL MEMBERS: None

SIGNED:

Sue McCloud, Mayor

ATTEST:

Karen Crouch, City Clerk

BENCH DONATION GUIDELINES

- 1. Donation amounts for new benches will cover the purchase, shipping and associated installation costs of the bench at cost plus 20%, as well as purchase and engraving of a recognition plaque. The City will provide assembly, installation and maintenance of the bench. All benches are the property of the City of Carmel-by-the-Sea.**
- 2. Bench style, whether manufactured or City made, will be determined by the City Administrator as appropriate for the selected location. The City Administrator must approve all engraved plaques prior to installation.**
- 3. Donation funds will be deposited in the Park Bench Deposit Account. Any donation amount exceeding the actual costs of the donated bench shall remain in the deposit account for future purchases by the City.**
- 4. Benches destroyed or damaged beyond reasonable repair shall be removed by the City. Replacement will proceed as follows:**
 - a) The donor will be contacted by mail and allowed to purchase a replacement bench within 30 days.**
 - b) If the donor cannot be located or declines to replace the bench the City will allow another donor from a waiting list the opportunity to replace the bench. The original donor plaque will be placed on the "Scroll of Gifts to the City" in the City Hall lobby.**
- 5. The Public Works Department will maintain a list for bench availability on a first come first served basis, a record of donors, potential donors, bench locations and styles, and plaque wording (should replacement be required).**
- 6. Any person wanting to donate a new bench or take responsibility for an existing bench must live in or memorialize someone who has lived in Carmel-by-the-Sea or in the sphere of influence.**
- 7. Existing benches may receive plaques with a donation amount of \$750 to be placed in the City park bench deposit account.**
- 8. Any bench in a new location must comply with the direction contained in Policy and Standards for Public Way Design - C97-02 - Section D. Furniture in the Public Way (attached hereto)**

Margi Perotti
Code Enforcement Officer

-----Original Message-----

From: Randell Bishop [mailto:robindell@att.net]
Sent: Wednesday, December 12, 2012 12:52 PM
To: Margi Perotti
Subject: Memorial Bench

Dear Ms. Perotti,

My partner of 50 years, Robert Boger, died in June and I would like to place a bench in his honor in the Mission Trails Nature Preserve as it was his favorite place and we have walked our dogs through the park since it opened back in the 70's. Could you give me an idea how much the teak benches cost?

Sincerely, Randell Bishop

In Loving Memory
Of
Robert F. Boger
1942 - 2012

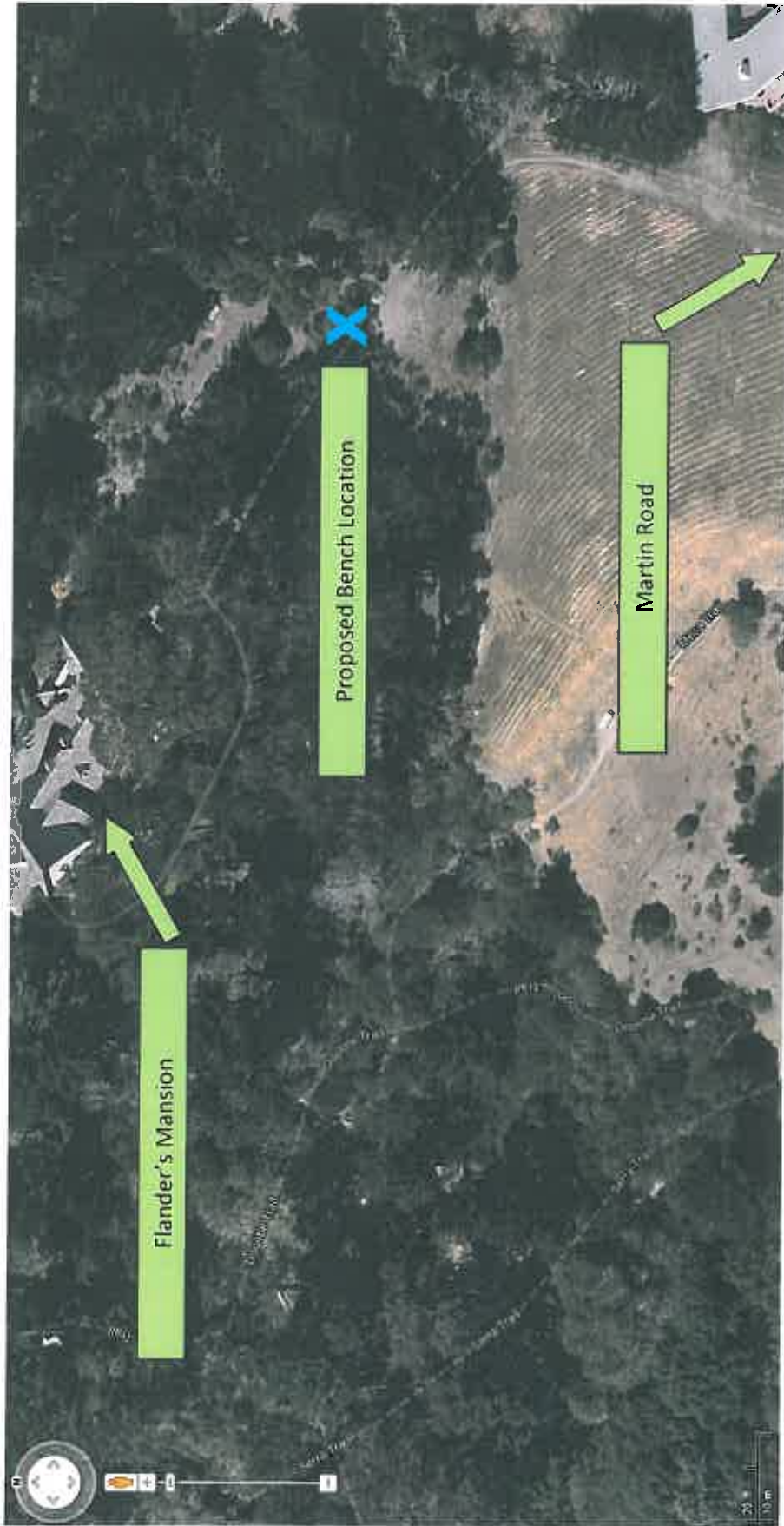
Proposed plaque



Existing, unapproved bench and pad



View from proposed bench site



Mission Trail Nature Preserve

Attachment E – Lucinda (Cindy) Lloyd Letter

Randell Bishop, a Carmel native was born in the old Peninsula Community Hospital in 1943. He shared his life with partner, Robert Boger, for 50 years, all of them in Carmel. When Robert died in June 2012, Randell hoped to memorialize him with a bench in Mission Trail Nature Preserve. Randell chose MTNP because it was a special place for both of them.

Randell and Robert's long history of daily walks together in Mission Trail Park, as it was called then, started when the park was opened to the public in 1972. Sharing their walks with their iconic Welsh Corgi dogs, they became familiar with each nuance of the property and friendly with other walkers.

Robert made it his personal habit to carry a plastic grocery bag with him. While walking their dogs, Robert always picked up any bits and pieces of rubbish he found. At that time, the upper bridge off the Mountain View entrance was a gathering spot for teenagers. Cans, cigarette packets and other rubbish were discarded on the trail and in the canyon below. Robert was always there with his plastic bag at the ready, gathering those cast off items, cleaning up the park.

They enjoyed taking rest stops at various benches throughout the park, perhaps sharing a picnic snack, chatting with friends or just enjoying the views, wildlife and serenity of Nature. Forty years of park walks together certainly earned them the respect of those who came to love the Mission Trail as they did. Forty years of picking up trash, quietly, without seeking recognition, just doing it for the love of the park, earned Robert the gratitude of those who noticed his actions.

When Robert passed away, Randell searched for a way to honor his friend, partner and husband. A bench in Mission Trail Nature Preserve located in a place special to them both was, and is, his choice.

Randell's hope is that the Planning Commission will grant his application request.

RECEIVED

APR 04 2014

**City of Carmel-by-the-Sea
Planning & Building Dept.**



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

April 17, 2014

To: Chair Dallas and Planning Commissioners
From: Rob Mullane, AICP, Community Planning and Building Director RM
Submitted by: Bryce Ternet, Contract Planner
Subject: Consideration of Design Study (DS 14-13) application for the alteration of an existing residence located in the Single-Family Residential (R-1) District

Recommendation:

Approve the Design Study (DS 14-13) subject to the attached findings and conditions of approval

Application:	DS 14-13	APN:	010-175-017
Block:	134	Lot:	8
Location:	Casanova Street, 4 SE of 12 th Avenue		
Applicant:	Ron Marlette	Property Owner:	Cheryl Assemi

Background and Project Description:

The project site is located on Casanova Street four parcels southeast of Twelfth Avenue. The property is developed with a one-story residence that is clad with wood-panel siding, composition-shingle roofing and wood windows. There is an existing, detached 182-square foot garage located in the front setback of the property.

The applicant is proposing to remodel and expand the existing residence. The project includes the following features:

- A 188-square foot addition to the rear of the residence
- A 20-sq ft addition to the rear of the detached one-car garage to comply with parking requirements

- Reduction in site coverage (primarily by the removal of existing graveled area) in order to comply with allowable site coverage
- Relocation of trash enclosure outside of the front-yard setback

Due to the limited scope of this project, staff has scheduled this application for final review. However, if the Commission has concerns or issues that cannot be addressed at this hearing, the project could be continued to a second meeting.

PROJECT DATA FOR THE 4,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	1,044 sf * (26%)	1,252 sf* (31%)
Site Coverage	556 sf (13.9%)	725 sf (18.1%)	556 sf (13.9%)
Trees (upper/lower)	2/7 trees	2/7 trees	2/7 No Change
Ridge Height (1 st /2 nd)	18/24 ft.	12.5 ft.	13 ft.
Plate Height (1 st /2 nd)	12/18 ft.	7.7 ft.	7.7 ft No Change
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	28 ft.	28 ft**, No Change
Composite Side Yard	10 ft. (25%)	10 ft. (25%)	10 ft (25%), No Change
Minimum Side Yard	3 ft.	3 ft.	3 ft, No Change
Rear	3 ft.	32 ft.	12 ft
*Includes 182 square feet for parking			
** Detached garages may encroach into front setback.			

Staff Analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

The site contains nine trees, eight of which are classified as significant. The applicant is not proposing to remove any of the trees on the property. The proposed addition at the rear of the residence would be located within the 6-foot setback of two significant trees located on the east side of the property. The City Forester has reviewed the proposal and does not have any

concerns as long as the addition's footings are hand excavated, as required by Standard Condition #6.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 pertain to maintenance of *"privacy of indoor and outdoor spaces in a neighborhood"* and maintenance of *"view opportunities."*

The proposed alterations to the residence are minimal and would not create any new privacy or view impacts to neighboring properties. The applicant is proposing to build a 188 square foot addition at the rear of the residence. Staff notes no privacy impacts posed by the rear addition to the residence.

The applicant is also proposing to modify the detached garage and re-arrange site coverage in the form of gravel placement on the property. These components do not pose impacts on the privacy of the adjacent properties.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.5 encourage a building's mass to relate *"to the context of other homes nearby"* and to *"minimize the mass of a building as seen from the public way or adjacent properties."* Residential Design Guideline 7.6 states an objective to *"avoid design treatments that produce a top-heavy appearance such as large cantilevered building elements."*

The applicant is proposing to expand the residence by 188 square feet and the detached garage by 20 feet. The proposed addition to the residence is located at the rear of the residence and would not increase the appearance of building mass to the street. The addition to the rear of the detached garage would not significantly increase the appearance of the structure's mass. Staff notes that the resultant residence would still be within the allowed the floor area maximum for the site.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 states that *"building forms should be simple. Basic rectangles, L or U-shapes are typical"* and *"basic gable and hip roofs are traditional and their use is encouraged,"* and *"in general, moderately pitched roofs (4:12 to 6:12) are preferred."*

In staff's opinion, the applicant has appropriately integrated the rear addition into the existing residence without creating a "busy" or complicated appearance. The additions would have a gabled roof design with a 12:4.5 pitch to match the existing residence.

Finish Materials: Residential Design Guideline 9.4 states that *"when design details and surface materials are selected, they should be used throughout the full exterior of the building to maintain consistency."*

The applicant is proposing wood-shingle siding, composition-shingle roofing, and unclad wood windows and doors to match the existing residence. The proposed use of finish materials is consistent with Residential Design Guideline 9.4.

Site Coverage/Landscaping: The applicant is proposing to reduce the site coverage from 725 to 556 square feet to bring the property into compliance with the allowed site coverage. A special condition has been drafted requiring that the site coverage be brought into compliance as indicated on the site plans. No other changes in landscaping are proposed for the property.

Environmental Review:

The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions for Approval
- Attachment D – Project Plans

Attachment A – Site Photographs

Public ROW and detached garage facing west on Casanova Street



Front of property facing west on Casanova Street



Rear of the property facing east



Attachment B – Findings for Approval

DS 14-13 (Assemi)
 April 17, 2014
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	
Coastal Development Findings (CMC 17.64.B.1):		
13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
14. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment C – Conditions of Approval

DS 14-13 (Assemi)
 April 17, 2014
 Conditions of Approval
 Page 1

Approval Conditions		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 14-13) authorizes alterations to an existing residence as shown on the approved plans dated March 24, 2014. The alterations include a 188-sq ft, single-story addition to the rear of the residence, a 20-sq ft addition to the rear of the detached garage, the relocation of the trash enclosure to the rear of the garage, and a reduction in site coverage primarily by the removal of existing graveled areas. The resultant residence is 1,252 sq ft in size, including the 910-sq ft main building, a 202-sq ft, detached garage, and a 140-sq ft entry deck. The resultant site coverage is 556 sq ft. All work shall conform to the approved plans except as conditioned by this permit.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	N/A
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If	✓

	any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the project plans as approved by the Planning Commission on April 17, 2014, prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use nonreflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
12.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any	✓

	liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
13.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	N/A
14.	This project is subject to a volume study.	N/A
15.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
16.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	N/A
17.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
18a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A

18b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
19.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
Special Conditions		
20.	Prior to issuance of the Certificate of Occupancy the applicant shall remove 169 square feet of site coverage as indicated on the approved plans.	✓

*Acknowledgement and acceptance of conditions of approval.

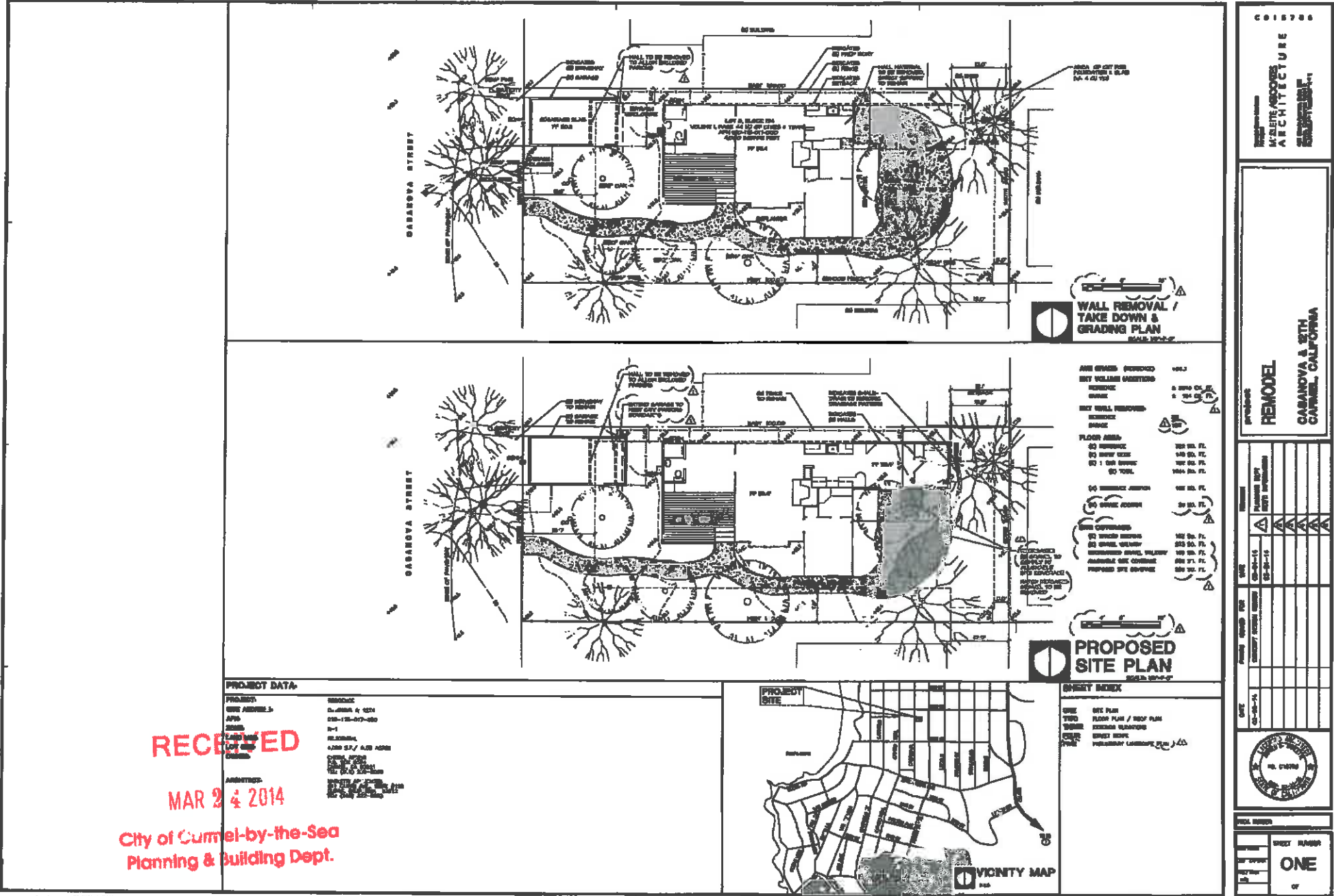
 Property Owner Signature

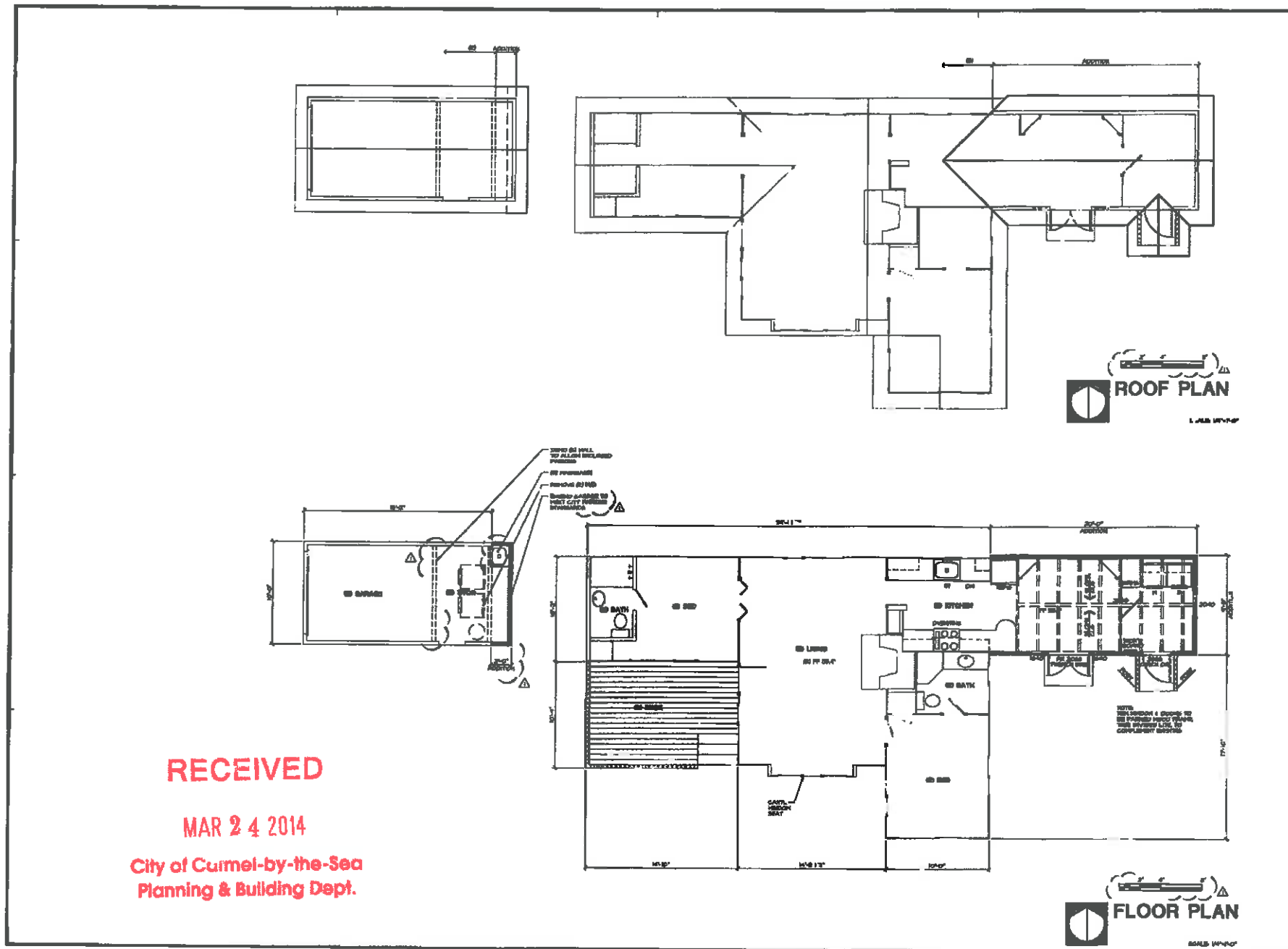
 Printed Name

 Date

Once signed, please return to the Community Planning and Building Department.

Attachment D - Plan Set





PROJECT: REMODEL

ARCHITECT: MURIEL ARBORE ARCHITECTURE
 1010 MARINA BLVD
 CARMEL, CA 95006

CLIENT: CASANOVA & SETH
 CARMEL, CALIFORNIA

DATE: 02-05-14

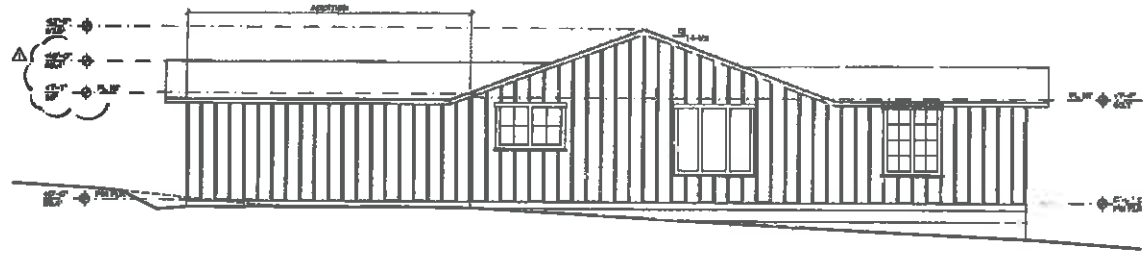
PROJECT NUMBER: 14-001

SCALE: 1/8" = 1'-0"

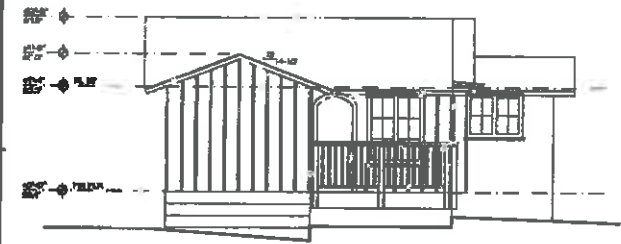
NO. SHEETS: 2

SHEET NUMBER: TWO

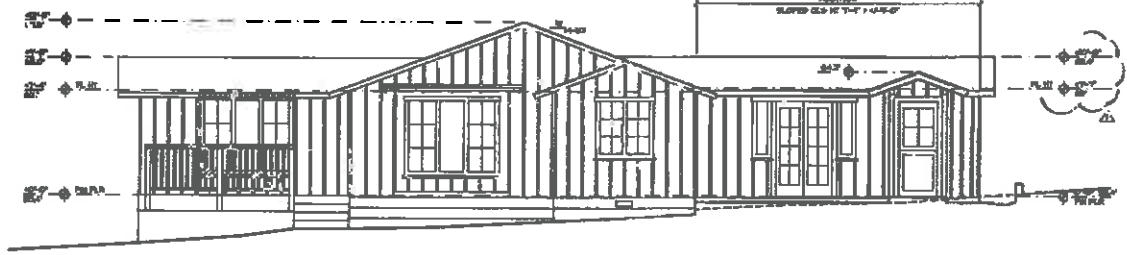
PLATE: 1, 2, 3, 4 : DRAWING TITLE: C_3R_FLOOR.dwg



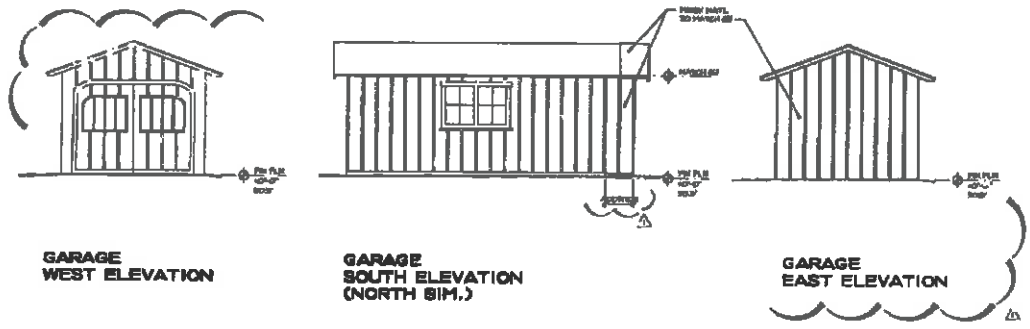
NORTH ELEVATION



WEST ELEVATION



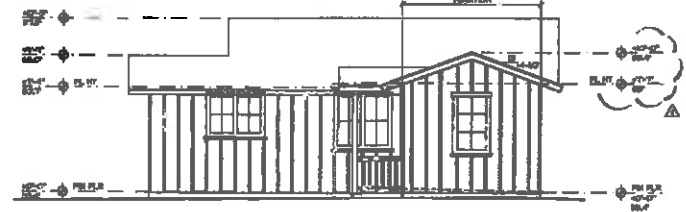
SOUTH ELEVATION



GARAGE WEST ELEVATION

GARAGE SOUTH ELEVATION (NORTH SIDE)

GARAGE EAST ELEVATION



EAST ELEVATION

RECEIVED

MAR 24 2014

EXTERIOR ELEVATIONS

PROJECT: REMODEL
 ADDRESS: CAMAROVA & 15TH
 CAMARIL, CALIFORNIA

ARCHITECT: L'AMARCA ARCHITECTURE
 ARCHITECTURE
 15000 CAMARIL BLVD.
 CAMARIL, CA 94923

DATE: 02-20-14
 02-20-14

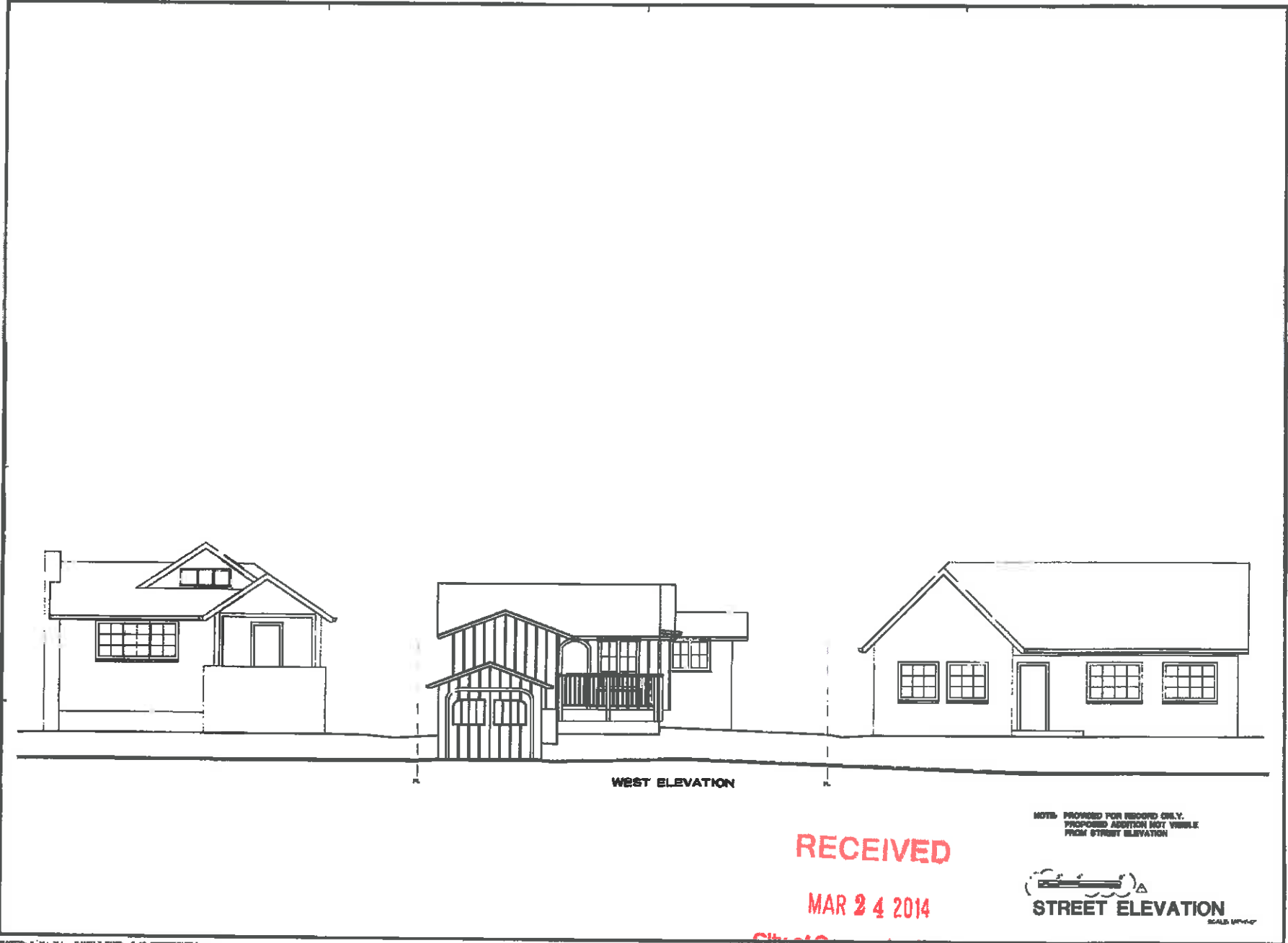
SCALE: AS SHOWN

NO. 01238

SHEET NUMBER: THREE

02/20/14 08:00 AM C:\B\B\B\B

City of Camaril-by-the-Sea
 Planning & Building Dept.



WEST ELEVATION

RECEIVED
MAR 24 2014

City of Carmel-by-the-Sea
 Planning & Building Dept.

NOTE: PROVIDED FOR RECORD ONLY.
 PROPOSED ADDITION NOT VISIBLE
 FROM STREET ELEVATION

STREET ELEVATION
 SCALE 1/8"=1'-0"

PLAT 230-6-34-234 DAWD T. NAME: C.S.R. STREETScape

C 1 0 3 2 6

ARCHITECT
 MALETTE/BOONIS
 ARCHITECTURE
 1000 AVENUE 101
 CARMEL, CA 95008

PROJECT
REMODEL
 CASANOVA & 4TH
 CARMEL, CALIFORNIA

NO.	DATE	BY	DESCRIPTION
1	12-12-13	MALETTE/BOONIS	CONCEPT DESIGN
2	12-12-13	MALETTE/BOONIS	CONCEPT DESIGN
3	12-12-13	MALETTE/BOONIS	CONCEPT DESIGN
4	12-12-13	MALETTE/BOONIS	CONCEPT DESIGN
5	12-12-13	MALETTE/BOONIS	CONCEPT DESIGN

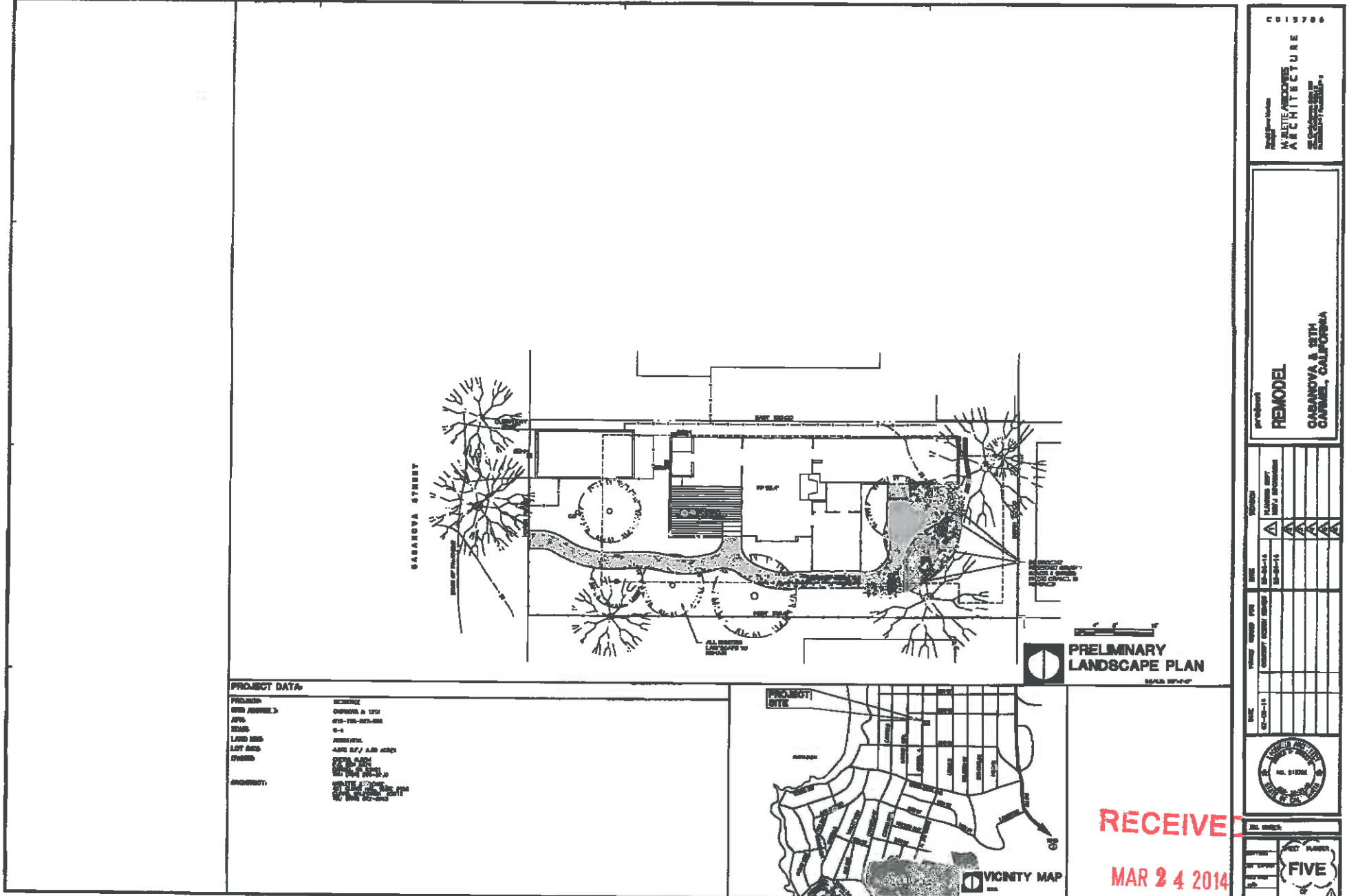
CITY OF CARMEL
 PLANNING & BUILDING DEPARTMENT

FILE NUMBER: _____

PROJECT NUMBER: **FOUR**

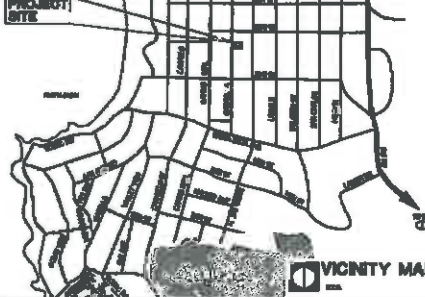
DATE: _____

BY: _____



PROJECT DATA

PROJECT: REMODEL
 SITE ADDRESS: CASANOVA & 8TH
 APN: 010-110-017-001
 ZONE: C-1
 LAND USE: RESIDENTIAL
 LOT AND SUBDIVISION: 4.00 AC. (1.71 AC. 2.29 AC.)
 PROJECT: 100% LANDSCAPE PLAN
 PREPARED BY: [Signature]
 DATE: 03/12/14
 SCALE: 1/8" = 1'-0"



RECEIVED
MAR 24 2014

PROJECT: REMODEL
 CASANOVA & 8TH, CARMEL, CALIFORNIA

ARCHITECT:
WHITE PAGES ARCHITECTURE
 1000 W. CALIFORNIA ST., SUITE 100
 CARMEL, CA 95008
 TEL: 831.923.1111

NO.	DATE	DESCRIPTION
1	03-12-14	100% LANDSCAPE PLAN

PL01101 - 3/12/14.dwg



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

April 17, 2014

To: Chair Dallas and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director *RM*

Submitted by: Marc Wiener, Senior Planner

Subject: Consideration of a Concept Design Study (DS 13-120) and associated Coastal Development Permit applications for the alteration of an existing residence located in the Single-Family Residential (R-1) District

Recommendation:

Accept the Conceptual Design Study (DS 13-120) and the associated Coastal Development Permit subject to the attached findings and recommendations/draft conditions

Application: DS 13-120 **APN:** 010-041-007

Block: 83 **Lot:** 7

Location: Forest Rd. 2 parcels northwest of 7th Ave.

Applicant/Property Owners: Andrew and Lara Tope

Background and Project Description:

The project site is located on Forest Road, two parcels northwest of Seventh Avenue. The property is developed with a one-story residence that is clad with horizontal-wood siding and is 936 square feet in size. The front fence is located 30 feet behind the front property line. The front portion of the property is overlaid with decomposed granite and is used as a parking area. A Determination of Historic Ineligibility for the subject residence was issued by the Community Planning and Building Department on September 9, 2013.

The applicant's proposal is to construct a 421-square foot bedroom addition and a 104-square foot deck at the front (southeast) corner of the residence. The also project includes 1) the addition of an entry trellis near the front door, 2) the removal of 141 square feet of site

coverage, 3) the relocation of the parking pad behind the front-yard 15-foot setback, and 4) new landscaping at the front of the property.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass, and scale related to the project. However, the Commission may provide input on other aspects of the design such as architectural detailing and finish materials.

PROJECT DATA FOR A 6,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2, 150 sf (41%)	1,136 sf (29.4%)*	1,157 sf (32.8%)*
Site Coverage	781 sf (13%)	831 sf (26%)	672 sf (13%)
Trees (upper/lower)	4/3 (recommended)	0/6	0/5
Ridge Height (1 st /2 nd)	18 ft.	16 ft.	17.5 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	11 ft	12 ft.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	64.5 ft.	48.5 ft.
Composite Side Yard	15 ft. (25%)	6 ft. (32.5%)	No Change
Minimum Side Yard	3 ft.	3 ft.	No Change
Rear	3 ft.	3 ft.	No Change
* Includes 200-square foot parking pad			

Staff Analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

The site contains six lower-canopy trees, four of which are classified as significant. One non-significant tree would be removed in the area of the proposed addition. A condition has been drafted requiring the applicant to obtain a tree removal permit prior to the issuance of a building permit.

The site does not contain any upper-canopy trees. The City Forester recommends that one additional new upper-canopy tree be planted on the property. A draft condition is included regarding this recommendation.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 pertain to maintenance of *“privacy of indoor and outdoor spaces in a neighborhood”* and *“organize functions on a site to preserve reasonable privacy for adjacent properties”* and maintain of *“view opportunities.”*

Staff has not identified any view impacts associated with this project. With regard to privacy, the applicant is proposing a deck on the south side of the addition that would be located 3.5 feet from the side-yard property line and 8 feet from the adjacent residence to the south. In staff’s opinion, the deck could create a privacy impact to the southern neighbor’s north facing windows, which are located in the area of the proposed deck. A condition has been drafted requiring that the deck be eliminated from the south side of the residence to address the potential privacy impact.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.5 encourage a building’s mass to relate *“to the context of other homes nearby”* and to *“minimize the mass of a building as seen from the public way or adjacent properties.”*

The applicant is proposing to expand the front of the residence by 421 square feet. The addition would be set back 48 feet from the front property line, which would help reduce the appearance of mass to the street. Staff notes that the residence would still be 573 square feet below the allowed floor area with the proposed addition. With regard to mass and bulk, the proposed addition is consistent with Design Guidelines 7.1 through 7.5.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 states that *“building forms should be simple. Basic rectangles, L or U-shapes are typical”* and *“basic gable and hip roofs are traditional and their use is encouraged”* and *“in general, moderately pitched roofs (4:12 to 6:12) are preferred.”*

The proposed addition is integrated into the existing residence without creating a “busy” or complicated appearance. The addition would have a gabled roof design with a 5:12 pitch to match the existing residence.

Finish Materials: Residential Design Guideline 9.4 states that "*when design details and surface materials are selected, they should be used throughout the full exterior of the building to maintain consistency.*"

The applicant is proposing horizontal-wood siding, composition-shingle roofing, and unclad wood windows and doors to match the existing residence. The proposed use of finish materials is consistent with Residential Design Guideline 9.4.

Property Frontage/Landscaping: The front of the property is developed with a decomposed granite parking area that is approximately 500 square feet in size. The front fence is located approximately 30 feet back from the front property line and is behind the parking area. At the request of staff, the applicant is proposing to improve the property frontage by planting new landscaping at the front of the property and by reducing the width of the driveway to 14 feet at the property line by eliminating 94 square feet of decomposed granite. There are also rocks in the City ROW that the applicant intends to relocate to inside the property line.

Staff supports the proposal to improve the front of the property; however, in staff's opinion, the proposed plan for the property frontage improvements is incomplete and needs additional work. A condition has been drafted that the applicant work with Planning Staff and the City Forester on revising the plan to include more landscaping at the front of the property and to further reduce the width of the driveway. After conferring with, the landscape plan would be returned to the Planning Commission for final approval.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Recommendations/Draft Conditions
- Attachment D – Project Plans

Attachment A – Site Photographs

Project site facing southwest on Forest Road (decomposed granite parking area)



Front of residence, area of proposed addition



Attachment B – Findings for Concept Acceptance

DS 13-120 (Tope)
 April 17, 2014
 Concept Findings
 Page 1

FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.		✓
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.		✓
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment C – Recommendations/Draft Conditions

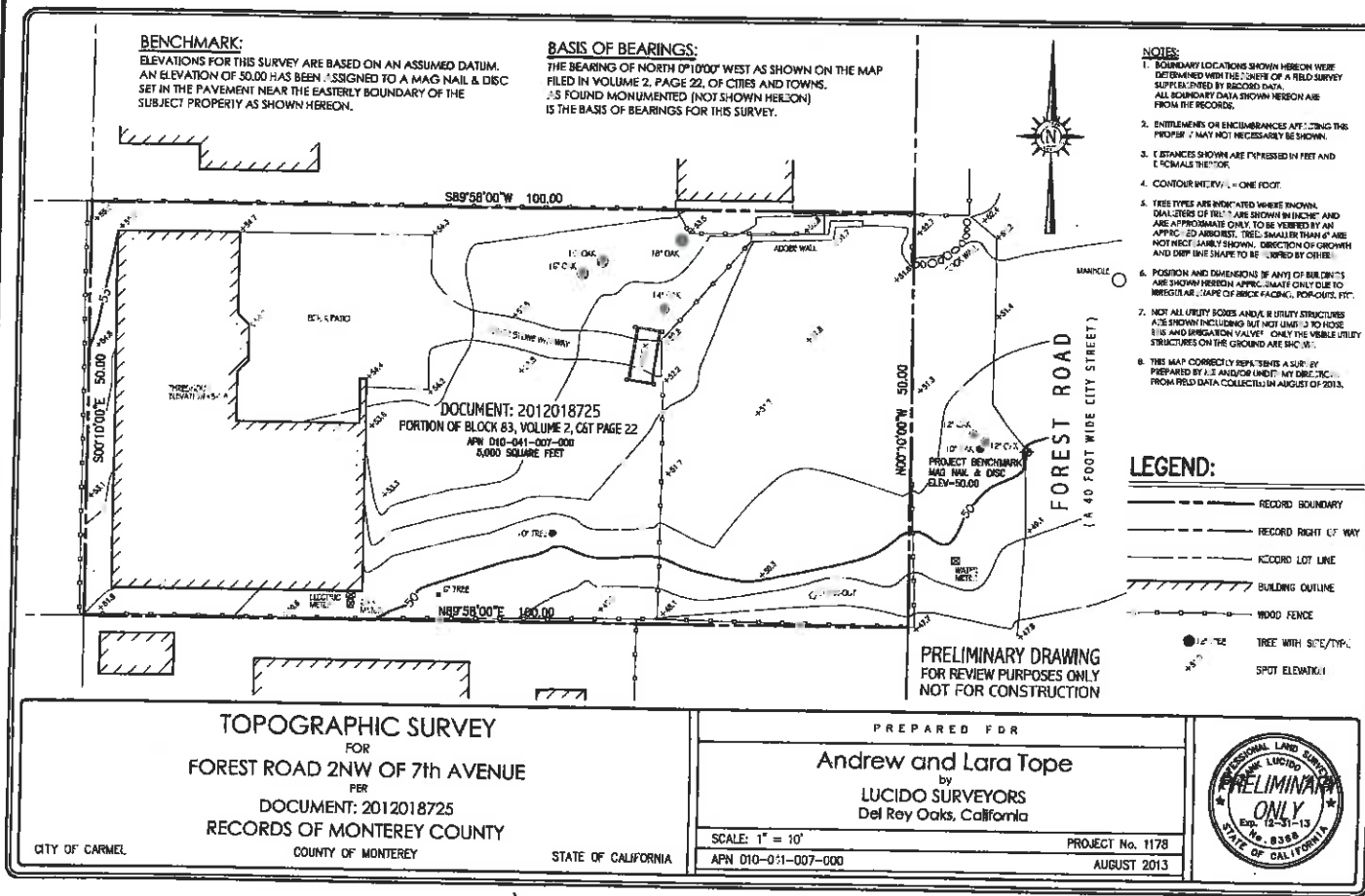
DS 13-120 (Tope)

April 17, 2014

Recommendations/Draft Conditions

Page 1

Recommendations/Draft Conditions	
No.	
1.	The applicant shall submit include one new upper-canopy redwood tree of substantial size and caliber in the project landscaping. The proposed tree and shall be included on the landscape plans submitted for final Planning Commission review.
2.	The portion of the deck on the south side of the addition shall be withdrawn. The revision shall be reflected on the set of plans submitted for final Planning Commission review.
3.	Prior to final building inspection, the applicant shall remove the existing rocks located in the City ROW as indicated on the project plans. The rocks shall be noted as proposed for removal on the site and landscape plans submitted for final Planning Commission review.
4.	The applicant shall submit a revised landscape plan that includes additional landscaping at the front of the property and the further reduction of the decomposed granite driveway and parking area at the front of the property for final Planning Commission review.



AN ADDITION AND REMODEL TO THE RESIDENCE OF:

ANDREW AND LARA TOPE

FOREST ROAD 2NW OF 7TH AVENUE

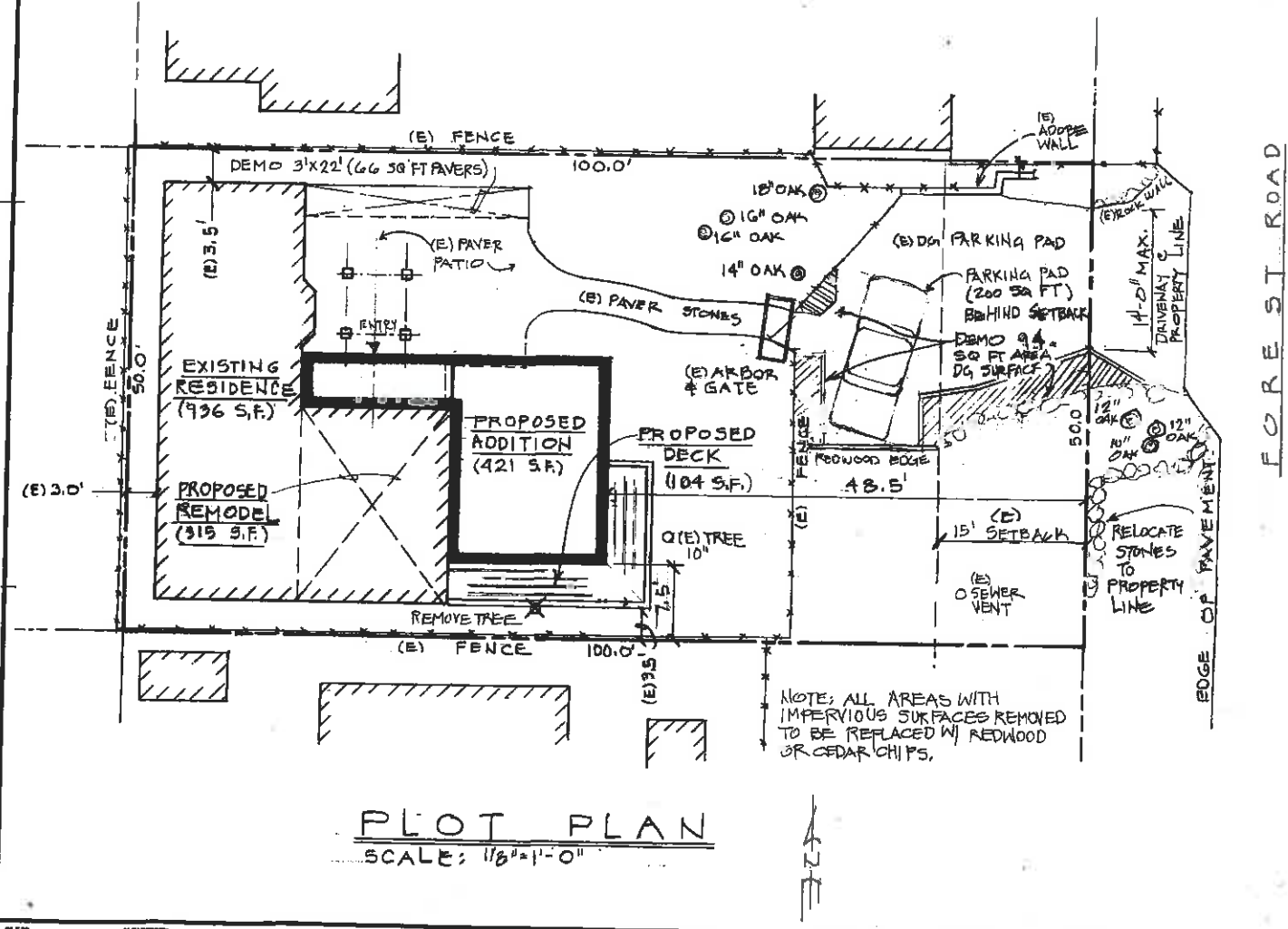
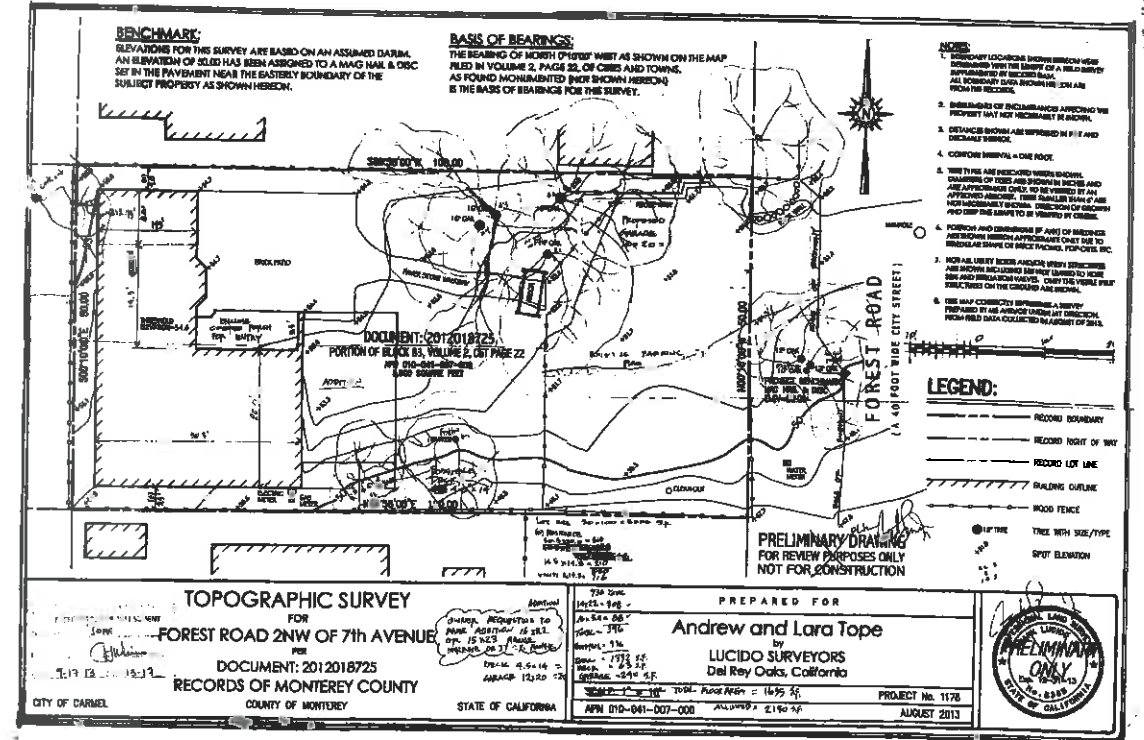
CITY OF CARMEL CALIFORNIA

A.P.N.: 010-041-007

RECEIVED

MAR 31 2014

City of Carmel-by-the-Sea
Planning & Building Dept.



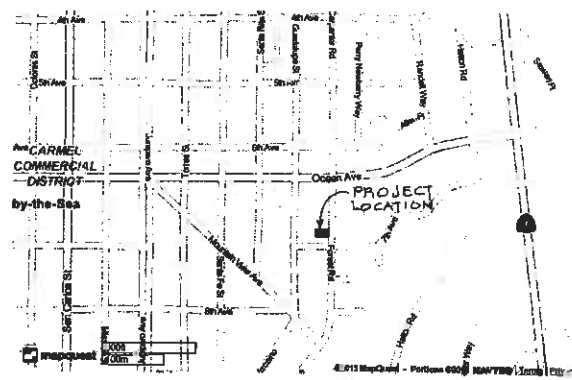
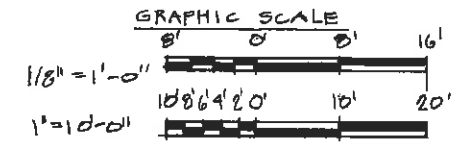
TOPE PROPERTY PLANNING ASSESSMENT
LOT SIZE: (50 X 100) = 5000 SQ. FT.

EXISTING FLOOR AREA COVERAGE
EXISTING RESIDENCE AND 200 SQ. FT. PARKING PAD: 1138 SQ. FT.
EXISTING 1138 SQ. FT. / 2160 SQ. FT. ALLOWED: EXISTING COMPLIANT

PROPOSED FLOOR AREA COVERAGE
PROPOSED COVERAGE INCLUDING 200 SQ. FT. PARKING PAD: 1857 SQ. FT.
PROPOSED 1557 SQ. FT. / 2160 SQ. FT. ALLOWED: ADDITION COMPLIANT

EXISTING IMPERVIOUS LOT COVERAGE
TOTAL: 1013 SQ. FT. TOTAL - 200 SQ. FT. PARKING PAD = 813 SQ. FT.
EXISTING 813 SQ. FT. / 673 SQ. FT. ALLOWED: EXISTING NON-COMPLIANT
REMOVAL OF IMPERVIOUS SURFACE REQUIRED

IMPERVIOUS SURFACE MODIFICATIONS
EXISTING TOTAL COVERAGE: 813 SQ. FT.
ADDITIONAL COVERAGE DECK: +104 SQ. FT.
PATIO REMOVAL FOR ADDITION: -85 SQ. FT.
IMPERVIOUS SURFACE REMOVAL: -160 SQ. FT. (66+94)
REMAINING IMPERVIOUS COVERAGE: 672 SQ. FT.
PROPOSED IMPERVIOUS COVER AFTER MODIFICATION = 672 SQ. FT. / 673 SQ. FT. ALLOWED, COMPLIANT AFTER MODIFICATIONS



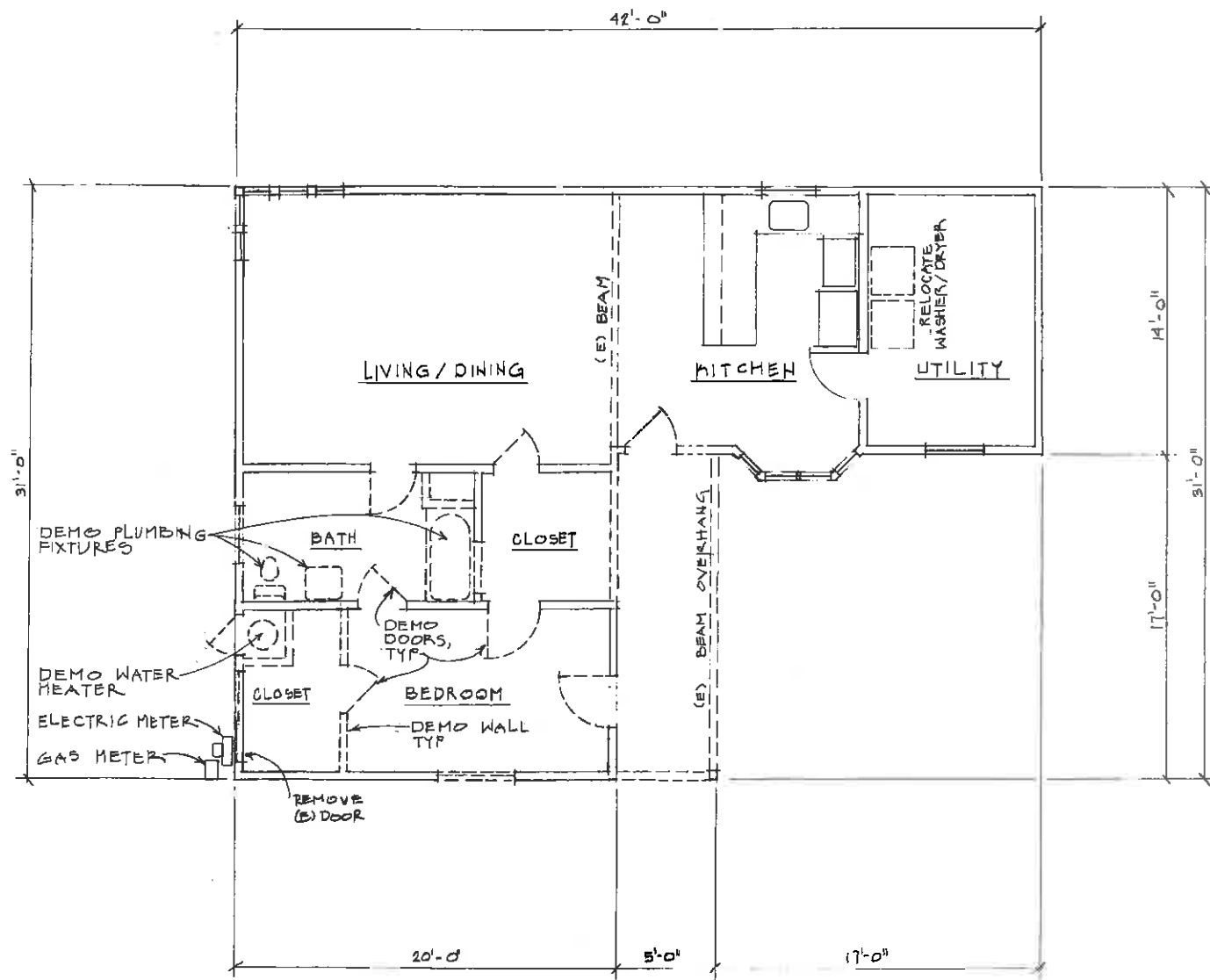
REVISIONS	BY

TULLIS DESIGN & DRAFTING
1208 SAN MIGUEL CANYON ROAD
WATSONVILLE CALIFORNIA 95076
(531) 769-9232

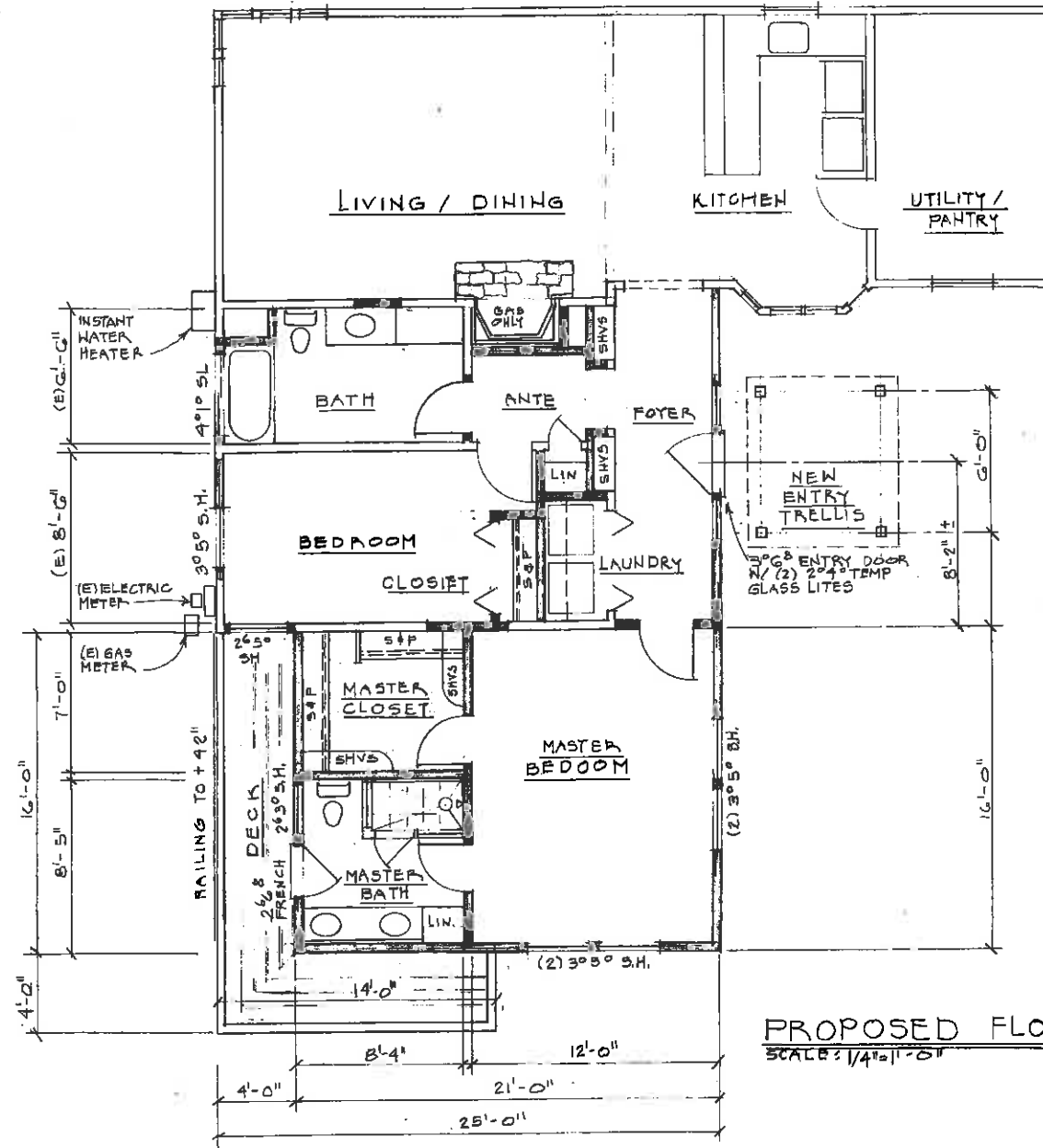
AN ADDITION AND REMODEL TO THE RESIDENCE OF:
ANDREW AND LARA TOPE
FOREST ROAD 2NW OF 7TH AVENUE
CITY OF CARMEL CALIFORNIA
A.P.N.: 010-041-007

TOPOGRAPHIC SURVEY
PLOT PLAN, NOTES

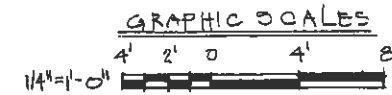
Date 10/20/13
Scale NOTED
Drawn JT
Job TOPE
Sheet
Of 3 Sheets



EXISTING / DEMOLITION FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"



REVISIONS	BY

12/16/13 JT
TULLIS DESIGN & DRAFTING
 1208 SAN MIGUEL CANYON ROAD
 WATSONVILLE CALIFORNIA 95076
 (931) 763-8232

AN ADDITION AND REMODEL TO THE RESIDENCE OF:
ANDREW AND LARA TOPE
 FOREST ROAD 2NW OF 7TH AVENUE
 CITY OF CARMEL CALIFORNIA
 A.P.N.: 010-041-007

EXISTING / DEMOLITION
 FLOOR PLAN & PROPOSED
 FLOOR PLAN

Date	10/20/13
Scale	1/4"=1'-0"
Drawn	JT
Job	TOPE
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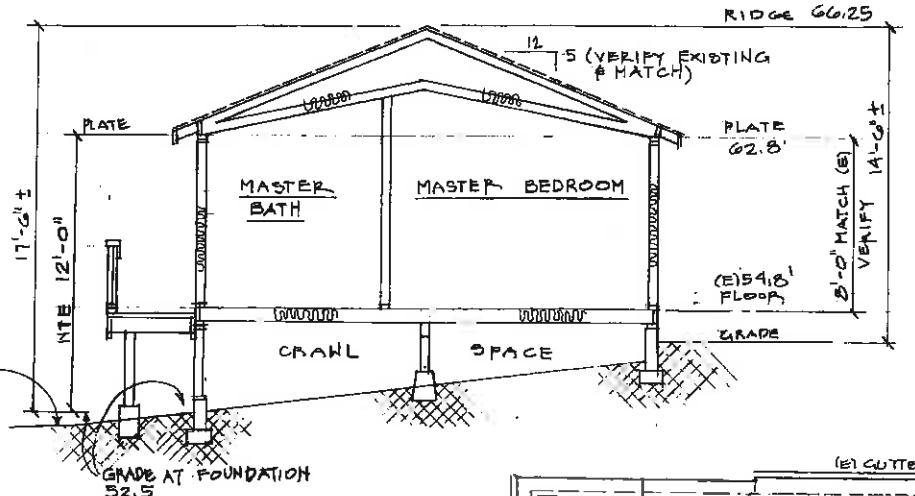
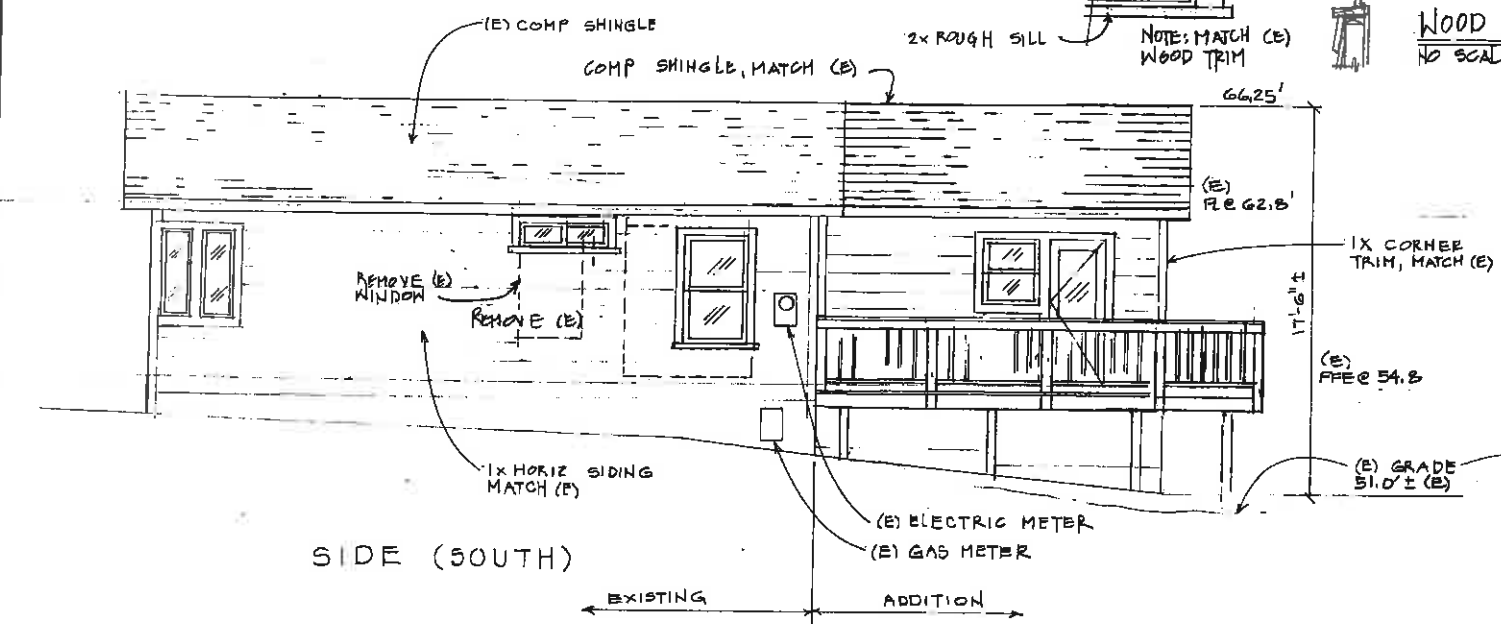
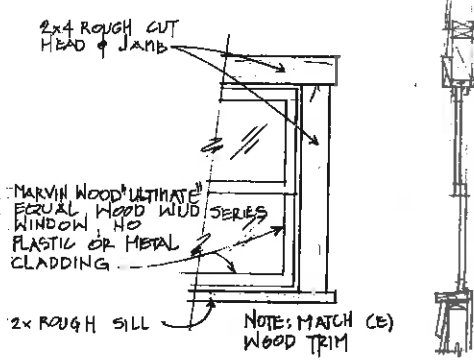
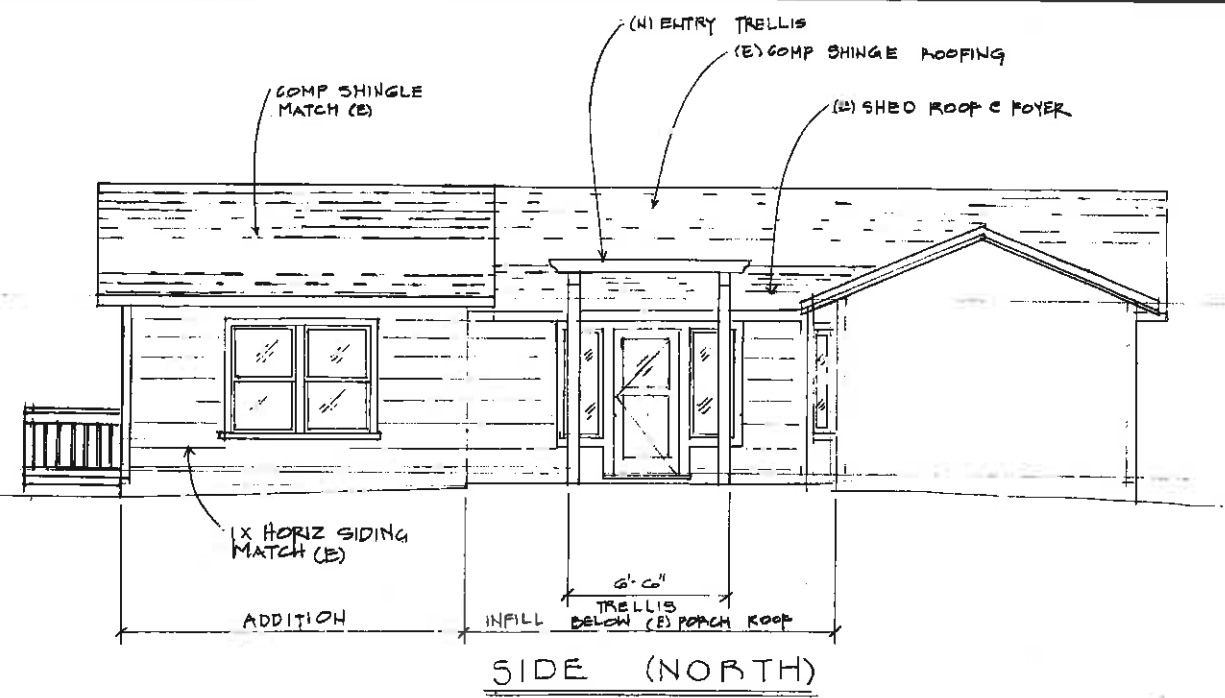
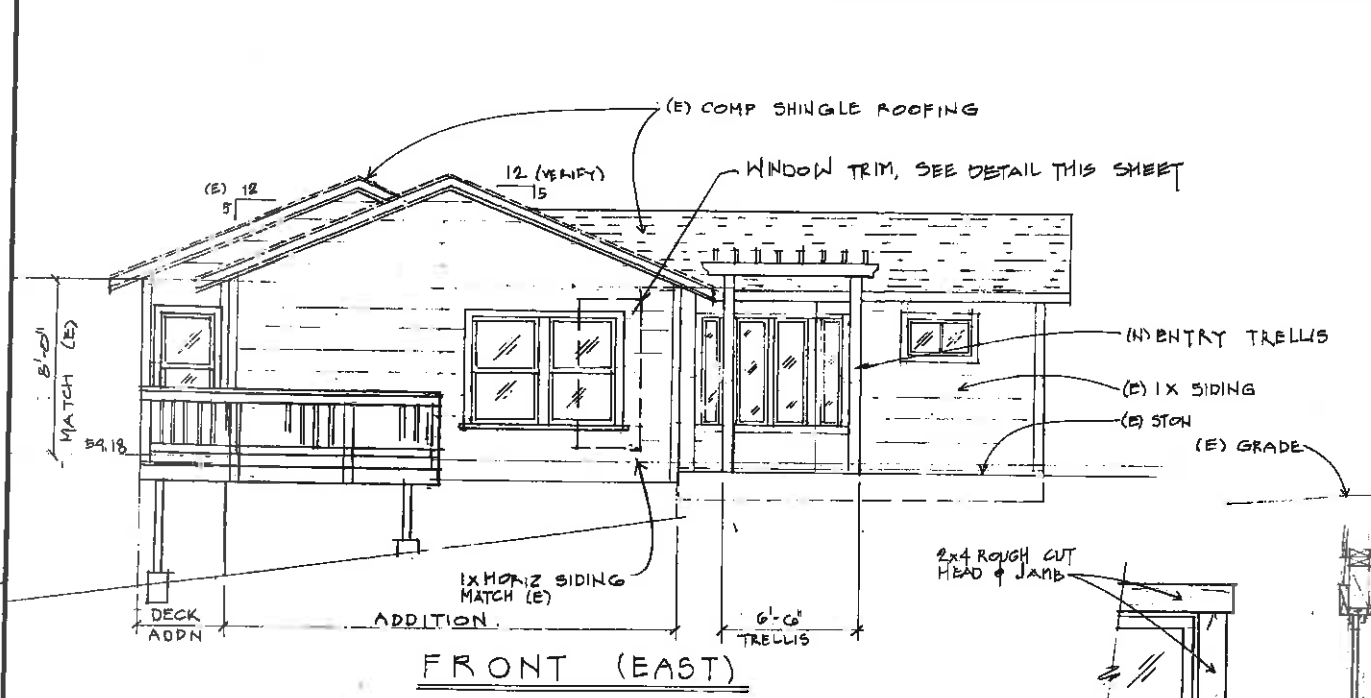
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 () 763-9232

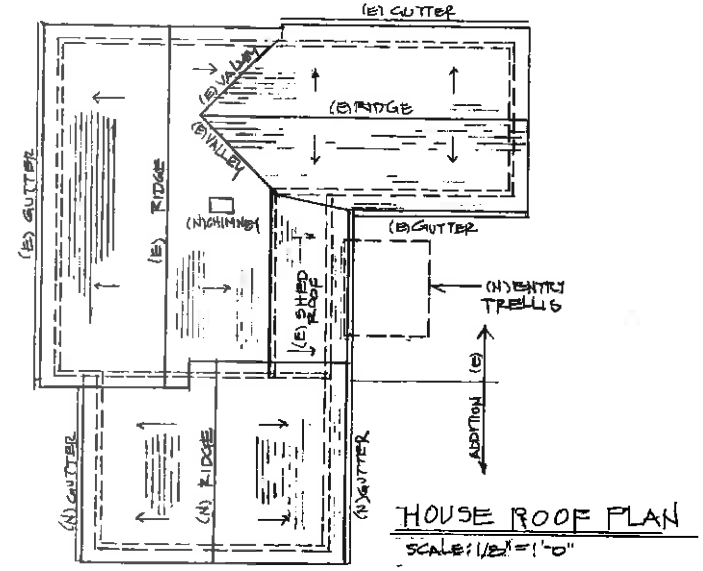
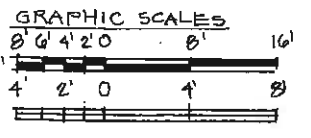
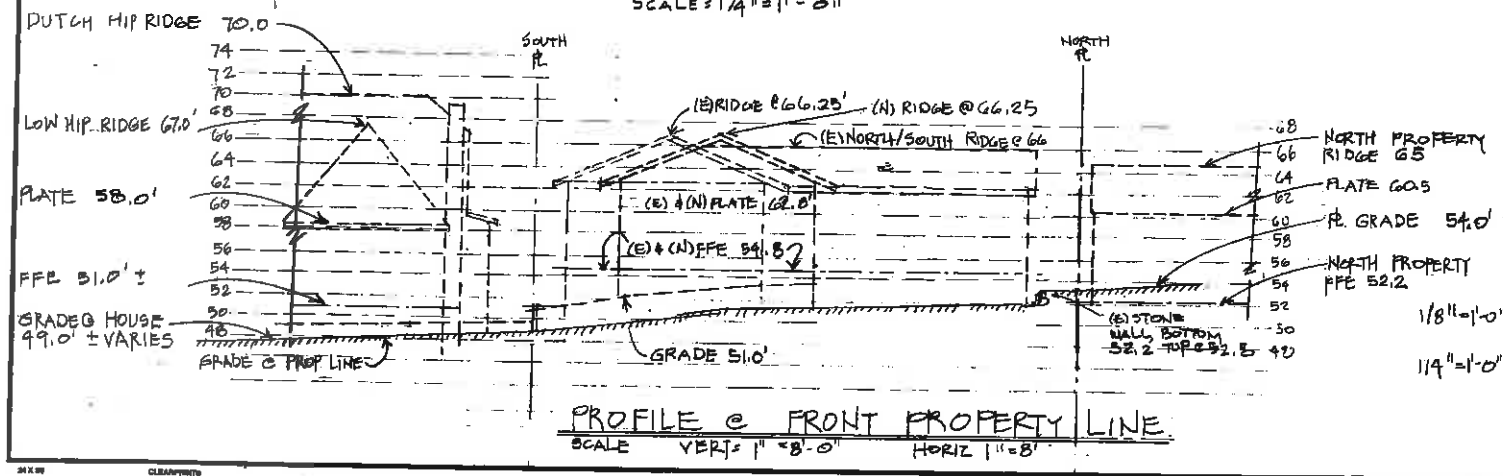
AN ADDITION AND REMODEL TO THE RESIDENCE OF:
 ANDREW AND LARA TOPE
 FOREST ROAD 2ND OF 7TH AVENUE
 CITY OF CARMEL CALIFORNIA
 A.P.N.: 010-041-007

EXTERIOR ELEVATIONS
 & SECTIONS, ROOF
 PROFILE & ROOF PLAN

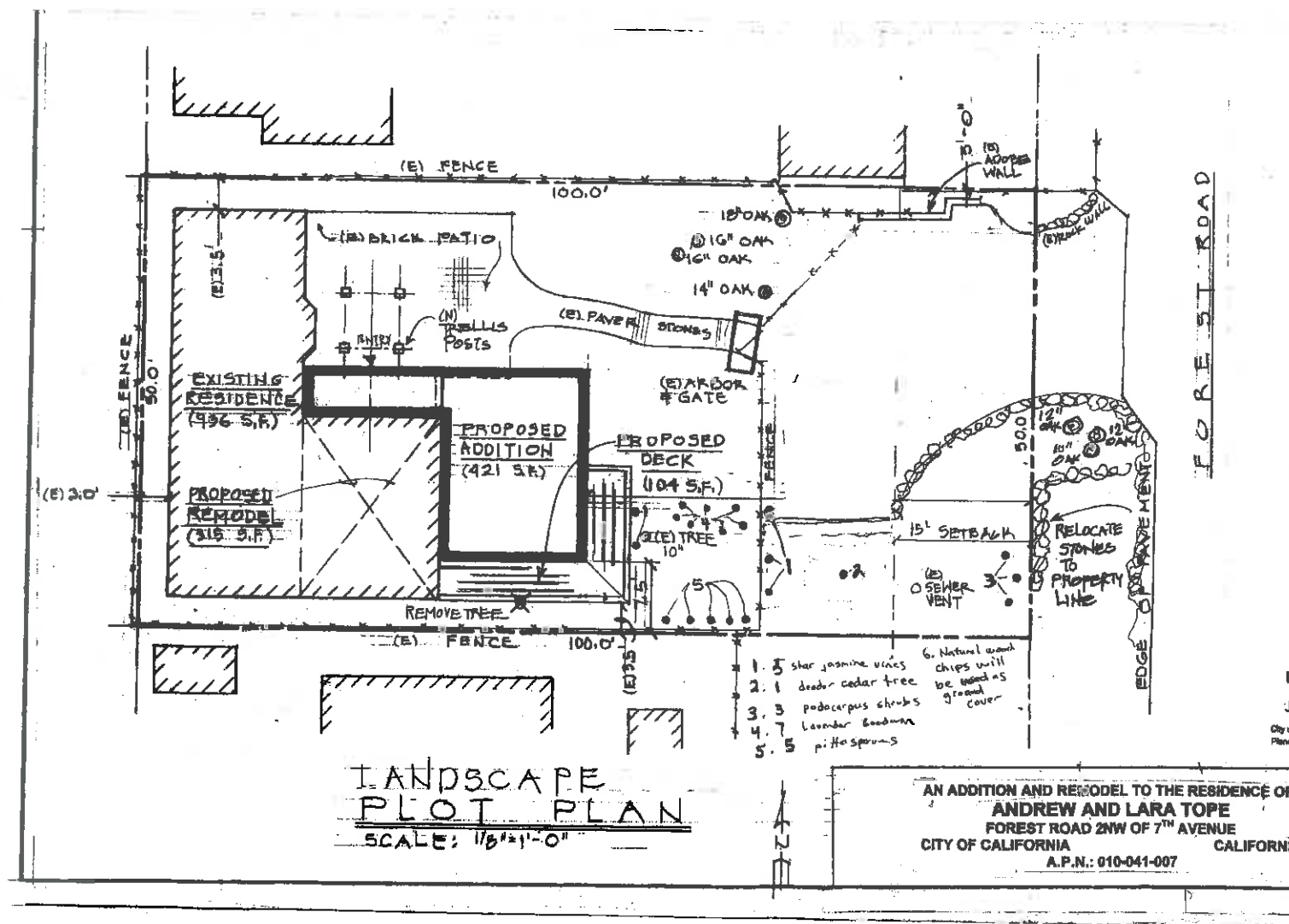
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EXTERIOR ELEVATIONS
 SCALE: 1/4" = 1'-0"



HOUSE ROOF PLAN
 SCALE: 1/2" = 1'-0"



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AN ADDITION AND REMODEL TO THE RESIDENCE OF:
 ANDREW AND LARA TOPE
 FOREST ROAD 2NW OF 7TH AVENUE
 CITY OF CALIFORNIA CALIFORNIA
 A.P.N.: 010-041-007

LANDSCAPE PLAN

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Of	Sheets



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

April 17, 2014

To: Chair Dallas and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director *RM*

Submitted by: TJ Wiseman, Contract Planner

Subject: Consideration of Concept Design Study (DS 14-14) and the associated Coastal Development Permit for the demolition of an existing, 933-square foot structure and construction of a new, 3,093-square foot single-story residence located in the Single-Family Residential (R-1) Zoning District and Very High Fire Hazard Severity Zone

Recommendation:

Accept the Conceptual Design Study (DS 14-14) and the associated Coastal Development Permit subject to the attached findings and recommendations/draft conditions

Application: DS 14-14	APN: 010-053-003
Location: Santa Fe Street, 5 Southwest of 8 th Avenue	
Block: 100	Lots: 9 & 11
Applicant: Merritt Hawley, Architect	Property Owner: Charles Hawley

Background and Project Description:

The project site is the fifth house south of Eighth Avenue on the west side of Santa Fe Street. This subject lot is in the Very High Fire Hazard Severity Zone. The 8,000-square foot property is developed with a 933-square foot, one-story residence and a detached garden shed. The property is not considered historic according to a review completed by Mr. Kent Seavey, Historic Consultant, on June 2, 2004. The site is accessed by a steep, down-sloping driveway that terminates more than ten feet below the elevation of Santa Fe Street.

The owner has submitted plans to demolish the existing residence and utilize some of the materials in the new residence. The proposed home would be single-story and 3,093 square feet in size, including 133 square feet of floor area as a basement bonus.

The proposed floor area includes 1,998 square feet on the main level, 198 square feet in the lower level, 169 square feet in the basement, a 278-square foot guesthouse, a detached one-car, 250-square foot garage, and a 200-square foot parking pad for the guesthouse. The proposed style of the residence would be similar to Mission Ranch. Proposed finish materials include painted wood horizontal siding, fire-treated cedar shake roof with shallow eaves, with wood windows and doors. The guest-house would be detached and located at the rear, interior of the site. The garage is proposed to be out of the front setback and set with ample room for a safe approach given the steep and curving nature of the driveway. Plans to grade and replace most of the driveway with turf-block are included as part of this proposal. The driveway would be changed from an approximately 25% slope to a more gradual grade, as yet to be determined.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass, and scale related to the project. However, the Commission may provide input on other aspects of the design such as architectural style and proposed finish materials.

PROJECT DATA FOR THE 8,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,960/3,947 *sf (37%,49.3%*)	933 sf (11.6%)	2,365 sf residence, 250 sf garage/200 sf parking pad, 278 sf guesthouse =(38.6%)
Site Coverage	971 sf (12%)**	1,043 sf (13%)	971 sf (12%)
Trees (upper/lower)	5/4 trees	1/5 trees	2/5 trees
Ridge Height (1 st /2 nd)	18 ft./24 ft.	22.5 ft.	17 ft. /22.5 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	10 ft.	10 ft./14.5 ft.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	15 ft.	15 ft.
Composite Side Yard	20 ft. (25%)	30 ft. (37.5%)	20 ft. (33%)
Minimum Side Yard	3 ft.	3 ft.	8.75 ft. (residence) 3 ft. (garage)
Rear	3 ft.	43 ft. (house)	12.7 ft. (residence) 9.5 ft. (guesthouse)
* Includes a bonus of 987 sf for basement floor area			
**Includes a 4% bonus if 50% of all coverage is permeable or semi-permeable			

Staff analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

The site contains six trees, four of which are classified as significant. An additional upper-canopy redwood tree is proposed as part of this application. The applicant is not proposing to remove any trees, but does intend to do some pruning of a limb overhanging the driveway and some lightening of the canopy of the oak tree near the residence as discussed with Mike Branson, City Forester. The City Forester has reviewed the project plans and has not identified any significant impacts that the proposed residence would have on the surrounding trees. The driveway excavation and grading was also discussed with Mr. Branson, and a preliminary determination that the proposed work would not result in tree impacts was made. The applicant has submitted a tree pruning application for the removal of the limb. The applicant will continue working with the City Forester to obtain the necessary permits for any tree-work. Other than the proposed upper canopy tree and a request to remove all ivy from the site and right-of-way, the City Forester does not recommend that any new trees be planted on this site.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 set forth objectives to: “maintain privacy of indoor and outdoor spaces in a neighborhood” and “organize functions on a site to preserve reasonable privacy for adjacent properties” and “maintain view opportunities.”

Staff has not identified any significant view or privacy impacts that would be created by this project. Staff notes that the proposed residence has been designed with consideration for the privacy of both the applicant and the sites’ neighbors. The orientation toward the central courtyard preserves privacy at the bedrooms. The windows along the northern edge of the site will be small clerestories that allow light while limiting inward views.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.6 encourage a building’s mass to relate “to the context of other homes nearby” and to “minimize the mass of a building as seen from the public way or adjacent properties.” Further, these guidelines state that “a building should relate to a human scale in its basic forms.”

The home is proposed to be a single-story structure with a moderate, 8:12-pitch roof and would not present any mass or bulk impacts on surrounding properties.

The proposed main residence and garage would be 2,615 square feet in size including 169 square feet of this floor area located in the basement, and an additional 278 square feet is

proposed for the guesthouse. In staff's opinion, the proposed residence is consistent with the Design Guidelines' recommendation to minimize building mass and build to human scale. A preliminary volume analysis indicates that the proposed residence would be approximately 210 cubic feet under the allowed volume.

Due to the location of the building site below street-grade, the applicant has situated the house and garage to present a welcoming and open street-facing elevation. A previous design had placed the garage in the front setback; however, the plans were revised to site the garage farther back on the site. The revised plans also present a more open front façade with windows and a view of the simple, ranch-style roof lines.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 strongly emphasize using "restraint" and "simplicity" in building forms, which should not be complicated, and roof lines, which should "avoid complex forms".

The applicant is proposing a simple and modest style of architecture with basic forms and subtle variations in plane changes. Staff feels that the design is appropriate and follows the Residential Design Guidelines' direction for meeting community consensus.

Parking: Residential Design Guidelines 6.1 through 6.5 state the preference for parking structures to "not dominate the design of the house or site" and to "minimize the amount of paved surface area of a driveway" as well as "to maximize opportunities for open space, views and privacy."

As previously mentioned, the site design locates the garage out of the front-yard setback to open the front elevation of the house. Placing the garage farther back on the site requires more driveway area. The plans also include the provision of a 200-square foot parking pad as required for the proposed guesthouse. The applicant proposes using planted turf-block for the driving surface to minimize the amount of impervious paving for the driveway and parking pad.

The current residence has a steep driveway located off of Santa Fe Street. The proposed design would re-grade the driveway to reduce the slope and provide a more permeable paving material. Staff supports this change to the paving and agrees that a less steep slope would be beneficial.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Construction or modification of a limited number of new or existing small structures.

ATTACHMENTS:

- Attachment A – Applicant Letter
- Attachment B – Site Photographs
- Attachment C – Findings for Concept Acceptance
- Attachment D – Recommended Conditions of Approval
- Attachment E – Material Cut Sheets
- Attachment F – Project Plans

FEB 10 2014

City of Carmel-by-the-Sea
Planning & Building Dept.



February 3, 2014

Marc Wiener
Community Planning & Building Department
City of Carmel by the Sea, CA 93921

Re: Design Review (Hawley Residence – SA 13-19)
Santa Fe Street, 5 Southwest of 8th Avenue
Blk 100, Lots 9 & 11

Dear Marc,

This letter is intended to accompany our design review submittal and explain our design intentions as they relate to the preliminary site assessment and existing site constraints. It also includes a plan for forest enhancement and maintenance.

We would like to replace the existing structure with a 3-bedroom residence, guest house and detached garage. The site, although ringed with stately old pines and oaks, receives quite a bit of sun. As such, we would like to arrange the buildings around a central courtyard, with the main residence closer to the street and the guest house nestled into the natural grade at the back. The lot is situated at least twelve feet below street level, so it is important that the roof forms, which will be the only visible parts of the structure from the street, are varied, compelling and made of natural materials.

We are proposing that the detached garage be located within the side setback at the north of the site. Section 17.10.030.1 of Carmel's zoning ordinance states that detached garages may be authorized to lie within the side yard setback to encourage variety and diversity in neighborhood design. The existing driveway access that passes through the right-of-way from Santa Fe Street descends fairly quickly into the site (more than a 15 foot drop). By locating the garage farther into the site, we allow a more gradual, safer passage for cars. In addition, the property line to the north is marked by a 14 foot high retaining wall and fence, meaning that the neighbor's views would be minimally impacted by our small garage.

Street & Neighborhood Character:

Right-of-way characteristics: As the site assessment identified previously, the existing right-of-way is unusual because it is as broad as a one-lane road high above the property and contains a driveway shared with our northern neighbor. An existing encroachment plan is on file with the City and has been renewed.


The Paul Davis Partnership, LLP
286 El Dorado Street
Monterey, CA 93940
831-373-2784 Fax: 831-373-7459

We plan to strip the existing ivy from the oaks and pines within the right-of-way. Because the area has a significant slope down from the street, we intend to leave the existing vegetation in place (minus invasive Genista bushes), in order to preserve its forest character. We also plan to rework the grade of the driveway so that the slopes from Santa Fe Street to the garage are more gradual. Currently, the slope approaches 25% in some places, which could cause damage to even very small cars. Where we reconstruct and re-grade the driveway, we will replace the existing asphalt with planted turf block.

The site assessment also mentioned an existing oak tree in our northern neighbor's yard with a limb that hangs low into the driveway, preventing emergency access if required. We have secured a tree-cutting permit to prune that limb.

Style and materials of neighboring houses: As noted in the site assessment, most of our neighbor's houses are stucco. The existing house on the lot is white board-and-batten siding. We plan to clad the new buildings in painted wood horizontal siding, much in the style of the Mission Ranch. The roof will be natural, fire-retardant wood shakes with shallow eaves and painted metal gutters and downspouts.

Site Conditions:

Forest Character: All six trees identified in the site assessment will remain. In fact, the house plans were developed to take advantage of their canopy, particularly at the guest house and 2nd bedroom.

Existing nonconformities: As noted, there is currently an excess of site coverage due to the unusual driveway conditions. In order to facilitate the garage in the side setback and turnaround, we are requesting a variance in the site coverage requirements. We plan to remove all existing asphalt paving at the driveway and replace it with planted turf block, which is pervious. All other hardscape will be limited to small areas of pea gravel, which is pervious, at the patios, and Carmel stones steps, salvaged from the current residence.

Topography & Drainage: The main residence and guest house were designed to take advantage of the existing contours. Because the site dips low at its southwestern edge we were able to tuck useful basement space beneath the house and create a private guest house entry and patio separate from the main courtyard.

Opportunities for sub-grade spaces: See above.

Potential Neighbor Impacts:

Privacy concerns: The buildings will be orientated around the central court to preserve privacy at the bedrooms. All windows along the northern edge of the site will be small clerestories that allow natural light, but limit views inward.

Mass, scale and 'access to light' relationships between properties: The project can be viewed as a series of interlocking traditional forms at a human scale arranged on a sloping site with a centralized focus.

Adjacent two-story near sidelines that could create 'tunnel effects': The northern wing of the house, which is almost 17 feet tall, will be located more than 18 feet from the northern property line, where the neighbor has installed a 14 foot high retaining wall and fence. This will allow ample space for a garden and arbor and should not result in any 'tunnel effect.'

Neighborhood input: We feel that the project is a benefit to the neighborhood, particularly the upgrade to the right-of-way and driveway. We will discuss the developed plans with our neighbors as necessary.

Forest Enhancement & Maintenance Plan:

As mentioned above, all six identified trees will be retained. We will plant one upper canopy tree (redwood) near the guest house patio at the southwestern portion of the site.

The site is bisected into a shadier part and a sunnier part based on the tree density. The new redwood will be planted in the shaded part of the site near several smaller oaks to create a variegated forest texture. We also intend to plant fruiting trees at the northwestern part of the site and reuse/transplant much of the mature boxwood throughout.

Tree #2, a 24" oak, is a magnificent tree with a broad canopy that we plan to protect. It may require some pruning near the second bedroom, but the roof height and form was designed to take the oak into account.

We also discussed the proximity of the pine (tree #1) at the northeastern corner of the site to the existing and proposed driveway with Carmel's arborist, who confirmed that grading and excavation within the root zone was permissible.

The right-of-way is also dense with Monterey Pines and oaks. As mentioned before, we plan to strip the invasive ivy from their trunks and remove any Genista bushes from the undergrowth. All proposed structures have been located well-outside their root zone.

After careful study of the site's constraints and opportunities as well as Carmel's design guidelines, we developed what we hope you consider an appropriate design that will only enhance its surroundings. Please consider our concept design submittal and the strategies outlined above. I am happy to answer any questions you may have.

Sincerely,

Merritt Hawley for the Paul Davis Partnership




The Paul Davis Partnership, LLP
286 El Dorado Street
Monterey, CA 93940
831-373-2784 Fax: 831-373-7459

Site Photos



Front setback, Santa Fe Street above left



Front of existing house



Steep driveway to Santa Fe Street

Attachment C – Findings for Concept Approval

DS 14-14 (Hawley)
 April 17, 2014
 Concept Findings
 Page 1

FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	TBD	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment D – Recommendations/Draft Conditions

DS 14-14 (Hawley)

April 17, 2014

Recommendations/Draft Conditions

Page 1

Recommendations/Draft Conditions	
No.	
1.	The applicant shall submit include one new upper-canopy redwood tree of substantial size and caliber in the project landscaping. The applicant shall also eliminate all ivy on the project site and the adjacent Right of Way. The proposed tree and note to remove ivy shall be included on the landscape plans submitted for final Planning Commission review.
2.	Fence dimensions and details shall be noted on the landscape plan submitted with the final Planning Commission review set of plans.
3.	The applicant shall obtain a tree pruning permit for the oak tree in the southwest corner of the property prior to final approval of the Design Study.
4.	Any needed cut and fill near trees 1, 3, 4, 5, and 6 will require prior approval or direction from the City Forester prior to commencing this work. This requirement shall be included as a note on the landscape plans submitted for final Planning Commission review.



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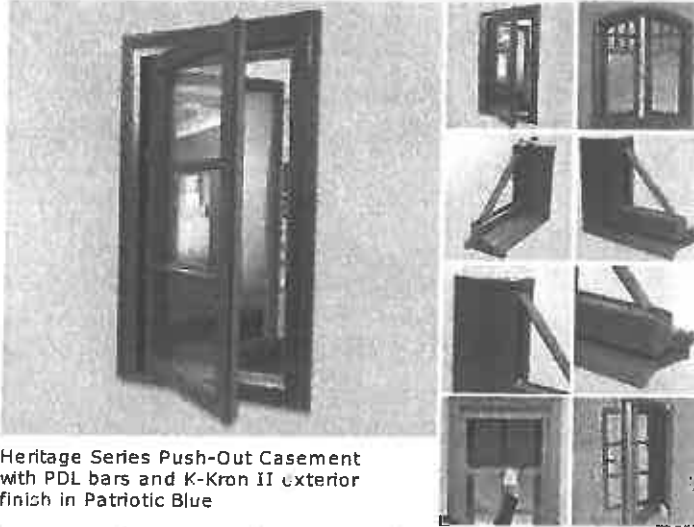


Home » Product Info » Windows » Casements » Push-Out » Heritage Series Push-Out Casements

Windows Product Lines

- All Product Lines
- VistaLuxe™**
Extruded
Aluminum/Wood
- Ultra**
Extruded
Aluminum/Wood
- Heritage**
All Wood
- Classic**
Roll-Formed
Aluminum/Wood
- Windquest**
All Vinyl
- Latitude®**
All Vinyl

Heritage Series Push-Out Casements



Heritage Series Push-Out Casement with PDL bars and K-Kron II exterior finish in Patriotic Blue

Heritage Series

- Wood interior & exterior
- Primer or K-Kron II ext finish
- 30+ exterior color options
- 10-year ltd. exterior finish warranty



FSC-COC Certified Wood Available

Heritage Series Push-Out Casements

- Lever handle allows for simple operation
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Windows

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- Crank-Out
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- Double Hungs
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- Tilt-Turns
- Folding Windows
- Accessories

Doors

OPERATIONS	EXTERIOR	INTERIOR	SIZES, 2D & 3D DRAWINGS CLR OPGS, CSI SPECS	PERFORMANCE & ENERGY DATA, GREEN	INSTALL, MAINTAIN & WARRANTIES
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Product Line

All Product Lines

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Heritage Series Inswing Patio Doors



Heritage Series Swinging Patio Doors

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INTERIOR

SIZES, 2D & 3D DRAWINGS
CLR OPGS, CSI SPECS

PERFORMANCE & ENERGY
DATA, GREEN

INSTALL, MAINTAIN
& WARRANTIES

Wood Species
Exterior Trim
Exterior
Finish/Colors

Wood Species

Wood Species

- Pine, standard
- Other species may be available upon request



Pine (standard)



Alder



Fir



Maple



Cherry



Oak



Walnut



Mahogany



Bamboo*

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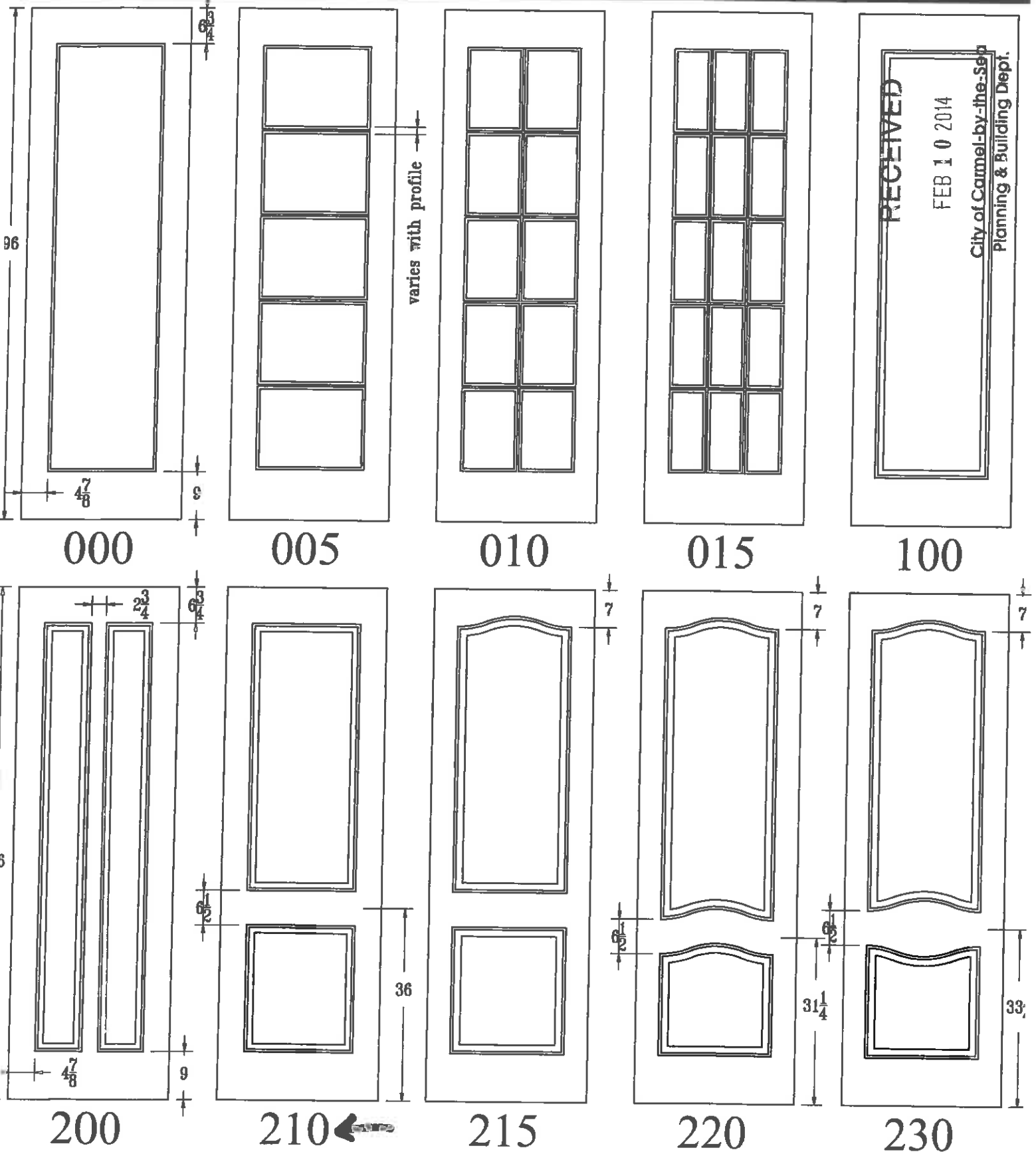
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HAWLEY RESIDENCE

5TH SOUTHWEST OF 8TH AVENUE, SANTA FE STREET, CARMEL, CALIFORNIA

Owner:
CHARLES HAWLEY

Project:
HAWLEY RESIDENCE
SANTA FE STREET, CARMEL, CA

APN: 010-053-003-000

THE PAUL DAVIS PARTNERSHIP
ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP
286 Elmore Street
Monterey, CA 93940
(831) 373-2784 FAX (831) 373-7459
EMAIL: info@pauldavispartnership.com

Drawn By: **MH**
Drawing Date: **14.2.7**
Project Number: **1332**

Revisions:

DESIGN REVIEW SUBMITTAL
A0.1 PROJECT INFO, VICINITY MAP, NOTES
PRELIMINARY SITE ASSESSMENT
C1 GRADING & DRAINAGE NOTES
C2 DEMOLITION SITE PLAN
C3 GRADING & DRAINAGE PLAN
C4 CIVIL DETAILS

A1.1 PROPOSED SITE PLAN
A2.1 PROPOSED 1ST FLOOR & BASEMENT PLAN
A2.2 ROOF PLAN
A2.3 WINDOW & DOOR SCHEDULES
A2.4 FLOOR LEVEL MAP
A3.0 PROPOSED EXTERIOR ELEVATIONS
A3.1 PROPOSED EXTERIOR ELEVATIONS
A3.2 STREET LEVEL EXTERIOR ELEVATION

Sheet Title:
COVER SHEET

REVISION

MAR 18 2014

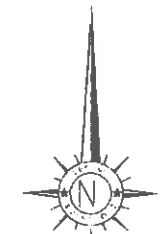
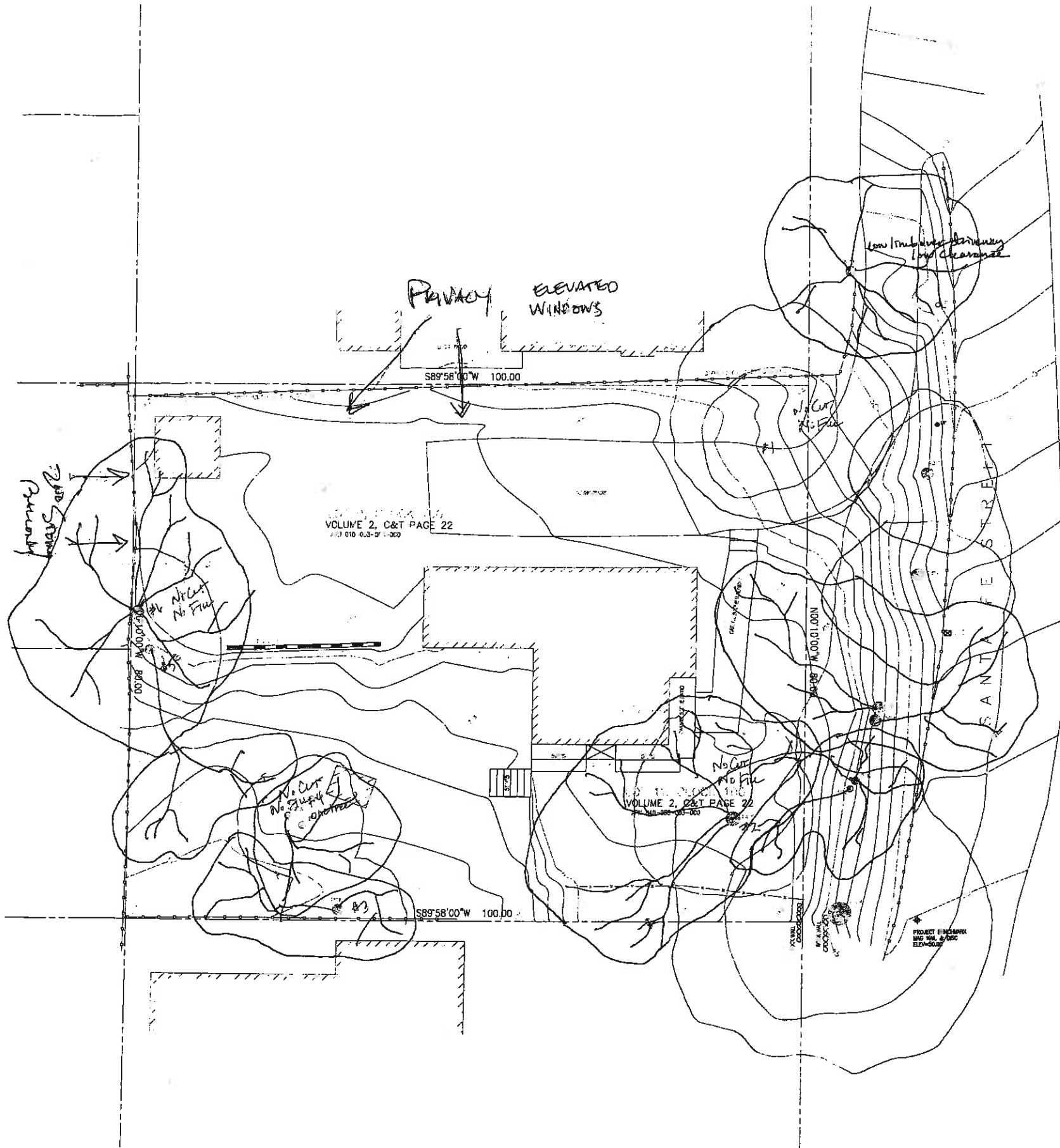
City of Carmel-by-the-Sea
Planning & Building Dept.
A0.1

MATERIALS	PROJECT DIRECTORY	DEVELOPMENT ANALYSIS
<p>CONCRETE</p> <p>CERAMIC TILE OR TILE PAVERS IN PLAN VIEW (SEE FINISH SCHEDULE)</p> <p>MASONRY</p> <p>BATT INSULATION IN SECTION</p> <p>RIGID INSULATION IN SECTION</p> <p>FINISH WOOD MEMBER IN SECTION</p> <p>CONTINUOUS WOOD MEMBER IN SECTION</p> <p>WOOD BLOCKING BETWEEN FRAMING MEMBERS IN SECTION</p> <p>PLYWOOD IN SECTION</p> <p>STEEL IN SECTION</p> <p>ACOUSTIC TILE CEILING MATERIAL IN SECTION</p> <p>EARTH IN SECTION</p> <p>SAND</p> <p>ROCKFILL</p> <p>SEE FLOOR PLANS & SECTIONS FOR ADDITIONAL LEGEND</p>	<p>PROJECT OWNER: CHARLES HAWLEY P.O. BOX 3044 MONTEREY CA 93942 (831) 949-9074</p> <p>PROJECT ARCHITECT: THE PAUL DAVIS PARTNERSHIP 286 ELDORADO STREET MONTEREY, CA 93940 (831) 373-2784 PHONE (831) 373-7459 FAX merit@pauldavispartnership.com CONTACT: MERRITT HAWLEY</p> <p>SOILS ENGINEER: GRICE ENGINEERING 561A BRUNKEN AVENUE SALINAS, CA 93801 CONTACT: JEFF OLMS</p> <p>CIVIL ENGINEER: SC ENGINEERING 128 BONIFACIO PLACE, SUITE C MONTEREY, CA 93940 (831) 647-1182 CONTACT: FRANK CAMPO</p>	<p>A.P.N. 010-053-003-000</p> <p>PROPERTY ADDRESS: 5TH HOUSE SOUTHWEST OF 8TH AVENUE, SANTA FE STREET</p> <p>ZONING: R1</p> <p>LOT SIZE: 8,000 SF</p> <p>PROJECT DESCRIPTION: DEMOLITION OF (E) HOUSE NEW 3-BEDROOM/2BATH RESIDENCE, 1BEDROOM/1BATH GUEST HOUSE & DETACHED SINGLE CAR GARAGE</p> <p>BUILDING AREAS: S.F.</p> <p>EXISTING HOUSE 833 SF</p> <p>MAIN HOUSE 2365 SF</p> <p>MAIN LEVEL (1006 SF)</p> <p>LOWER LEVEL @ BASEMENT HT (108 SF)</p> <p>BASEMENT (141 SF)</p> <p>SINGLE-CAR DETACHED GARAGE 250 SF</p> <p>PARKING PAD 200 SF</p> <p>GUEST HOUSE 878 SF</p> <p>TOTAL 3088 SF</p> <p>SITE COVERAGE:</p> <p>(E) SITE COVERAGE: 1043 SF (85.1 SF ALLOWED)</p> <p>ASPHALT DRIVEWAY (IMPERVIOUS) (708 SF)</p> <p>STONE PATIOS & STEPS (IMPERVIOUS) (277 SF)</p> <p>TOTAL (E) SITE COVERAGE: 971 SF (87.1 SF ALLOWED)</p> <p>STONE LANDING @ LIVING ROOM (47 SF)</p> <p>STONE STEPS @ GUEST HOUSE (33 SF)</p> <p>STONE PAVER PATIO @ GUEST HOUSE (102 SF)</p> <p>STONE PAVER PATIO @ COURTYARD (278 SF)</p> <p>STONE PAVER PATIO @ LIVING RM (108 SF)</p> <p>GRAVEL/PAVER PATH @ ENTRY (PERMEABLE) (66 SF)</p> <p>PLANTED PAVER @ DRIVE (PERMEABLE) (307 SF)</p> <p>TREE REMOVAL: NONE</p> <p>TREES ADDED: 1 REDWOOD</p> <p>CUT & FILL: 282 CY CUT, 73 CY FILL (NET 220 CY FILL)</p> <p>TYPE OF CONSTRUCTION: V-B, SPRINKLERED</p> <p>SPRINKLERS: REQUIRED</p> <p>APPLICABLE CODES: 2013 CALIFORNIA BUILDING CODE, 2013 CALIFORNIA MECHANICAL CODE, 2013 CALIFORNIA ELECTRICAL CODE, 2013 CALIFORNIA FIRE CODE & ENERGY CODE, 2013 CALIFORNIA RESIDENTIAL CODE, REGULATIONS FOR THE CITY OF CARMEL BY THE SEA</p>

ABBREVIATIONS	SYMBOLS	VICINITY MAP	SHEET INDEX																																																																																																																								
<table border="0" style="width: 100%;"> <tr><td>A</td><td>AND</td><td>CTR</td><td>COUNTER</td><td>H.R.</td><td>H.C.E.B.</td><td>OP</td><td>OVER</td><td>SHT</td><td>SHEET</td></tr> <tr><td>L</td><td>ANGLE</td><td>CTRK</td><td>COUNTERSINK</td><td>HSD</td><td>HARDWOOD</td><td>OR</td><td>ORBITAL</td><td>SHTD</td><td>SHEDDING</td></tr> <tr><td>AT</td><td>ARCH</td><td>CY</td><td>CUBIC YARD</td><td>HLD</td><td>HOLLOW CORE</td><td>OC</td><td>ON CENTER</td><td>SBLR</td><td>SEALAR</td></tr> <tr><td>B</td><td>BLOCK</td><td>DCL</td><td>DOUBLE</td><td>HDR</td><td>HEADER</td><td>OD</td><td>OUTSIDE DIAMETER</td><td>SCH</td><td>SEALAR OPPOSITE HAND</td></tr> <tr><td>BLD</td><td>BUILDING</td><td>DCL</td><td>DOUBLE</td><td>HWD</td><td>HARDWOOD</td><td>D.F.C.I.</td><td>DWIGBY FURNACE</td><td>S.S.</td><td>STAINLESS STEEL</td></tr> <tr><td>BLK</td><td>BLOCK</td><td>DPT</td><td>DEPART</td><td>HWR</td><td>HARDWARE</td><td>OFF</td><td>OFFICE</td><td>S.M.S.</td><td>SHIRT METAL SCREW</td></tr> <tr><td>BLDG</td><td>BUILDING</td><td>DET.</td><td>DETAIL</td><td>H.M.</td><td>HOLLOW METAL</td><td>OFF.</td><td>OFFICE</td><td>S.S.</td><td>SHIRT METAL SCREW</td></tr> <tr><td>BND</td><td>BOND</td><td>DFT</td><td>DOUBLE FINISH</td><td>H.M.</td><td>HOLLOW METAL</td><td>OFF.</td><td>OFFICE</td><td>S.S.</td><td>SHIRT METAL SCREW</td></tr> <tr><td>BOT</td><td>BOTTOM</td><td>DHS</td><td>DOUBLE HANG</td><td>H.M.</td><td>HOLLOW METAL</td><td>OFF.</td><td>OFFICE</td><td>S.S.</td><td>SHIRT METAL SCREW</td></tr> <tr><td>BOW</td><td>BOW</td><td>DHS</td><td>DOUBLE HANG</td><td>H.M.</td><td>HOLLOW METAL</td><td>OFF.</td><td>OFFICE</td><td>S.S.</td><td>SHIRT METAL SCREW</td></tr> <tr><td>BTH</td><td>BATH</td><td>DHS</td><td>DOUBLE HANG</td><td>H.M.</td><td>HOLLOW METAL</td><td>OFF.</td><td>OFFICE</td><td>S.S.</td><td>SHIRT METAL SCREW</td></tr> <tr><td>BTH</td><td>BATH</td><td>DHS</td><td>DOUBLE HANG</td><td>H.M.</td><td>HOLLOW METAL</td><td>OFF.</td><td>OFFICE</td><td>S.S.</td><td>SHIRT METAL SCREW</td></tr> </table>	A	AND	CTR	COUNTER	H.R.	H.C.E.B.	OP	OVER	SHT	SHEET	L	ANGLE	CTRK	COUNTERSINK	HSD	HARDWOOD	OR	ORBITAL	SHTD	SHEDDING	AT	ARCH	CY	CUBIC YARD	HLD	HOLLOW CORE	OC	ON CENTER	SBLR	SEALAR	B	BLOCK	DCL	DOUBLE	HDR	HEADER	OD	OUTSIDE DIAMETER	SCH	SEALAR OPPOSITE HAND	BLD	BUILDING	DCL	DOUBLE	HWD	HARDWOOD	D.F.C.I.	DWIGBY FURNACE	S.S.	STAINLESS STEEL	BLK	BLOCK	DPT	DEPART	HWR	HARDWARE	OFF	OFFICE	S.M.S.	SHIRT METAL SCREW	BLDG	BUILDING	DET.	DETAIL	H.M.	HOLLOW METAL	OFF.	OFFICE	S.S.	SHIRT METAL SCREW	BND	BOND	DFT	DOUBLE FINISH	H.M.	HOLLOW METAL	OFF.	OFFICE	S.S.	SHIRT METAL SCREW	BOT	BOTTOM	DHS	DOUBLE HANG	H.M.	HOLLOW METAL	OFF.	OFFICE	S.S.	SHIRT METAL SCREW	BOW	BOW	DHS	DOUBLE HANG	H.M.	HOLLOW METAL	OFF.	OFFICE	S.S.	SHIRT METAL SCREW	BTH	BATH	DHS	DOUBLE HANG	H.M.	HOLLOW METAL	OFF.	OFFICE	S.S.	SHIRT METAL SCREW	BTH	BATH	DHS	DOUBLE HANG	H.M.	HOLLOW METAL	OFF.	OFFICE	S.S.	SHIRT METAL SCREW	<p>DETAIL KEY DETAIL NUMBER SHEET NUMBER</p> <p>SECTION KEY SECTION NUMBER SHEET NUMBER</p> <p>INTERIOR ELEVATION KEY ELEVATION NUMBER SHEET NUMBER ARROWS INDICATE ELEVATIONS SHOWN</p> <p>ROOM NAME ROOM NUMBER</p> <p>WORK POINT, CONTROL POINT, OR DATUM POINT</p> <p>MATCHLINE</p> <p>SHEET NOTE SYMBOL (SEE SHEET NOTES TABLE)</p> <p>DOOR NUMBER (SEE DOOR SCHEDULE)</p> <p>WINDOW SYMBOL (SEE WINDOW SCHEDULE)</p> <p>EQUIPMENT SYMBOL (SEE EQUIPMENT LIST)</p> <p>REVISION</p>	<p style="text-align: center;">PROJECT LOCATION</p>	<p>DESIGN REVIEW SUBMITTAL</p> <p>A0.1 PROJECT INFO, VICINITY MAP, NOTES PRELIMINARY SITE ASSESSMENT</p> <p>C1 GRADING & DRAINAGE NOTES C2 DEMOLITION SITE PLAN C3 GRADING & DRAINAGE PLAN C4 CIVIL DETAILS</p> <p>A1.1 PROPOSED SITE PLAN A2.1 PROPOSED 1ST FLOOR & BASEMENT PLAN A2.2 ROOF PLAN A2.3 WINDOW & DOOR SCHEDULES A2.4 FLOOR LEVEL MAP A3.0 PROPOSED EXTERIOR ELEVATIONS A3.1 PROPOSED EXTERIOR ELEVATIONS A3.2 STREET LEVEL EXTERIOR ELEVATION</p>
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LEGEND:

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- RECORD CENTERLINE
- RECORD EASEMENT LINE
- OLD RECORD LINE
- PROJECT BENCHMARK
- CONTOUR (MAJOR)
- CONTOUR (MINOR)
- EDGE OF PAVEMENT
- LIP OF GUTTER
- FACE OF CURB
- BACK OF CURB
- BACK OF SIDEWALK
- EDGE OF DRIVEWAY
- FLOWLINE
- BUILDING OUTLINE
- CONCRETE PAD
- STEP
- STCP
- WATER LINE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- HOSE BIB
- IRRIGATION CONTROL VALVE
- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN-OUT
- STORM DRAIN
- STORM DRAIN MANHOLE
- AREA DRAIN
- STORM DRAIN CATCH BASIN
- ELECTRIC LINE
- UTILITY POLE
- GUY WIRE
- ELECTRIC VAULT
- UTILITY VAULT
- STREET LIGHT
- GAS LINE
- GAS METER
- TELEPHONE LINE
- TELEPHONE STANDARD
- CABLE TELEVISION LINE
- CABLE TELEVISION BOX
- WOOD FENCE
- WIRE FENCE
- CHAIN LINK FENCE
- BLOCK RETAINING WALL
- ROCK RETAINING WALL
- TREE WITH SIZE AND TYPE
- PINE
- OAK
- TREE
- SPOT ELEVATION



PREPARED BY: **Charles B. Hawley**
 DRAWN BY: **JR Whisman**
 DATE: **10/25/13** SHEET: **13-19**

RECORD DESCRIPTION:

LOT 9 AND LOT 11 IN BLOCK 100
 AS FILED IN VOLUME 2, PAGE 22 OF CITIES AND TOWNS,
 RECORDS OF MONTEREY COUNTY, CALIFORNIA,
 APN 010-053-003-000.

BASIS OF BEARINGS:

THE BEARING OF NORTH 00°10'00\"/>

BENCHMARK:

ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM.
 AN ELEVATION OF 50.00 HAS BEEN ASSIGNED TO A MAG NAIL & DISC
 SET IN THE PAVEMENT NEAR THE SOUTHEASTERLY CORNER OF THE
 SUBJECT PROPERTY AS SHOWN HEREON.

NOTES:

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS.
2. ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
4. CONTOUR INTERVAL = ONE FOOT.
5. TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6\"/>

RECEIVED

SEP 20 2013
 City of Carmel-by-the-Sea
 Planning & Building Dept.



TOPOGRAPHIC SURVEY

LOT 9 AND LOT 11 IN BLOCK 100
 VOLUME 2 OF CITIES & TOWNS AT PAGE 22
 RECORDS OF MONTEREY COUNTY

CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

Charles B. Hawley

By LUCIDO SURVEYORS Del Rey Oaks, California

SCALE: 1" = 5' PROJECT No. 1168 AUGUST 2013

APN 010-053-003-000

GENERAL NOTES

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ACCOMPANYING SPECIFICATIONS, IN ADDITION ALL WORK SHALL ALSO COMPLY WITH THE FOLLOWING:
 - LATEST REVISION OF THE MONTEREY COUNTY DESIGN STANDARDS AND SPECIFICATIONS
 - LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)
 - THE 2010 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA ELECTRICAL CODE (CEC).
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. GRADING PERMITS EXPIRE 180 DAYS FROM ISSUANCE DATE.
- THE LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- CONCRETE, ASPHALT, STRIPING, ROOT-BALLS AND OTHER DELETERIOUS MATERIAL, SHALL BE LEGALLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.
- IF ARCHAEOLOGICAL RESOURCES OR US MATERIALS 777 HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 150 FEET OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE THE CHANGE OR DEVIATION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.
- PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.

STORM DRAIN

- ALL STORM DRAIN PIPING 6"-24" SHALL BE HIGH DENSITY POLYETHYLENE TYPE-S WITH INTEGRAL BELL & SPIGOT JOINTS (ADS-N12 OR EQUAL) OR PVC (SDR 35). INSTALLATION SHALL BE PER MANUFACTURERS SPECIFICATIONS OR AS SHOWN ON PLANS.
- ALL STORM DRAIN PIPE SHALL BE RIGID, NO FLEX PIPE.

GRADING & DRAINAGE

- CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.
 - ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE (#2535), THE EROSION CONTROL ORDINANCE (#2806). ALL SOIL SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.
 - WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL.
 - MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.
 - ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GRASS COVER.
 - TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOTBALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: CONCRETE, ASPHALT CONCRETE, STRIPING, ANY AND ALL OTHER DEBRIS FROM THE SITE. EXCESS MATERIAL FROM TRENCHING AND PAVEMENT CONSTRUCTION, TREES AND ROOT BALLS, FENCING AND SPOILS FROM EXCAVATION.
 - CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
 - EARTHWORK QUANTITIES:
 - CUT = 292 CY
 - FILL = 72 CY
 - NET = 220 CY FILL
- EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.
- ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM.
 - PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
 - INVERTS OF ALL STORM DRAIN LINES CONNECTING RETAINING WALL SUB-DRAINS AND FOUNDATION SUB-DRAINS SHALL BE FIELD VERIFIED AFTER FOOTINGS ARE PLACED.
 - BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINE SHALL HAVE COMPACTION TESTS TAKEN CUT AREA AS WELL AS THE FILL AREA. TESTS SHALL MEET 90% OF THE RELATIVE COMPACTION PER ASTM D1557.
 - ALL STORM DRAIN MAINS SHALL HAVE A MINIMUM OF 12" COVER.
 - DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15) THE FOLLOWING MEASURES MUST BE TAKEN:
 - DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.
 - RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS (MONTEREY COUNTY GRADING/EROSION ORD.2806-16.12090)
 - ALL ROOF DRAINS SHALL DISCHARGE ONTO PAVED SURFACES, SPLASH BLOCKS OR BE HARD PIPED TO THE STORM DRAIN SYSTEM.
 - VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED UNDER THE PROVISIONS OF SECTION 16.08.340 TO CONTROL EROSION. (16.08.300 C.1)
 - NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION. (16.08.300 C.2)
 - PREPARATION OF GROUND FOR FILL. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY THE REMOVAL OF TOPSOIL AND OTHER UNSUITABLE MATERIALS.
 - PREPARATION OF THE GROUND. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL, AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL.
 - FILL MATERIAL PERMITTED. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILL EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.

EROSION CONTROL NOTES

AT ALL TIMES THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE SOIL EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF BERMS, SWALES, SILTING BASINS, CHECK DAMS, SILT FENCES, GRAVEL BAG BARRIERS, FIBER ROLLS, STABILIZED CONSTRUCTION ENTRANCES AND OR STABILIZING EXPOSED SLOPES. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE CITY RIGHT-OF-WAY FREE FROM DEBRIS AND DIRT. ALL BMPs SHALL BE INSPECTED MONTHLY DURING DRY PERIODS, WEEKLY DURING THE RAINY SEASON AND IMMEDIATELY BEFORE AND AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE BMP.

SILT FENCE:

- SILT FENCES SHALL BE INSTALLED ON LEVEL CONTOURS AND IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION AND SHOULD REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
- THE ENDS OF THE SILT FENCE SHOULD BE TURNED UPHILL TO PREVENT SEDIMENT LADEN RUN-OFF FROM FLOWING AROUND THE FENCE.
- SUFFICIENT AREA SHOULD EXIST BEHIND THE FENCE TO ALLOW PONDING WITHOUT FLOODING OR OVER TOPPING THE FENCE.
- SILT FENCES SHALL BE INSPECTED MONTHLY DURING DRY PERIODS, WEEKLY DURING THE RAINY SEASON AND IMMEDIATELY BEFORE AND AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE FENCE. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE UPSTREAM SIDE OF THE FENCE ONCE IT REACHES ONE THIRD OF THE FENCE HEIGHT OR IF HEAVY RAINS ARE EXPECTED.
- SILT FENCES SHALL NOT BE USED FOR CONCENTRATED FLOW.

GRAVEL BAG BARRIERS

- GRAVEL BAG BARRIERS SHALL BE INSTALLED AROUND EXISTING AND NEW STORM DRAIN INLETS AS REQUIRED TO PREVENT ANY SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM.
- GRAVEL BAG BARRIERS SHALL BE INSPECTED MONTHLY DURING DRY PERIODS, WEEKLY DURING THE RAINY SEASON AND IMMEDIATELY BEFORE AND AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE BARRIER. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE PERIMETER OF THE BARRIER.
- GRAVEL BAGS SHALL BE INSTALLED ON ALL ONSITE INLETS AND ALL INLETS IN THE PUBLIC RIGHT OF WAY WHICH ARE IMPACTED BY THE PROJECT.

CONSTRUCTION ENTRANCE

- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AS REQUIRED AT THE ENTRANCE TO THE CONSTRUCTION SITE.
- RUN-OFF FROM CONSTRUCTION ENTRANCES SHALL BE DIVERTED SO AS TO PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING DIRECTLY INTO THE STORM DRAINAGE SYSTEM.
- ALL VEHICLE LEAVING THE PROJECT SITE SHOULD PASS OVER THE CONSTRUCTION ENTRANCE AND BE CLEARED OF DIRT, MUD, OR ANY DEBRIS BEFORE ENTERING THE PUBLIC RIGHT-OF-WAY.
- ANY DIRT, MUD, OR DEBRIS DEPOSITED IN THE PUBLIC RIGHT AWAY FROM THE CONSTRUCTION SITE SHOULD BE CLEANED IMMEDIATELY.
- THE CONSTRUCTION ENTRANCE SHOULD BE INSPECTED AND MAINTAINED PERIODICALLY TO ENSURE PROPER FUNCTION.

FIBER ROLL

- FIBER ROLL SHALL BE INSTALLED ON LEVEL CONTOURS AND SHOULD REMAIN IN PLACE THROUGH THE RAINY SEASON AND OR UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
- THE ENDS OF THE FIBER ROLL SHOULD BE TURNED UPHILL TO PREVENT SEDIMENT LADEN RUN-OFF FROM FLOWING AROUND THE ROLL.
- FIBER ROLL BARRIERS SHALL BE INSPECTED MONTHLY DURING DRY PERIODS, WEEKLY DURING THE RAINY SEASON AND IMMEDIATELY BEFORE AND AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE ROLL. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE UPSTREAM SIDE OF THE ROLL.
- FIBER ROLL SHALL NOT BE USED FOR CONCENTRATED FLOW.

SLOPE STABILIZATION

- ALL EXPOSED SLOPES SHOULD TEMPORARILY STABILIZED UNTIL PERMANENT STABILIZATION CAN BE ESTABLISHED.
- TEMPORARY SLOPE STABILIZATION CAN BE ACHIEVED BY SEEDING, MULCHING AND OR PLACEMENT OF GEOTEXTILES OR MATS.

REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

LEGEND

	45	PROPOSED MAJOR CONTOUR
	44	PROPOSED MINOR CONTOUR
		EXISTING MAJOR CONTOUR
		EXISTING MINOR CONTOUR
		EXISTING FENCE
		PROPERTY LINE
	4" SD S=1% MIN	STORM DRAIN MAIN WITH SIZE (S=1%, 12" MINIMUM COVER)
		SUBDRAIN, (SEE DETAIL C/C2)
		CLEAN-OUT, (SEE DETAIL B/C2)
		AREA DRAIN, (SEE DETAIL G/C2)
		FIBER ROLL, (SEE DETAIL C/C2)

SHEET INDEX

C1	COVER & GENERAL NOTES
C2	DEMO PLAN
C3	DRAINAGE PLAN
C4	DETAILS

CHARLES HAWLEY

Project:
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SANTA FE STREET, CARMEL, CA

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Drawn By: MH
Drawing Date: 13.11.27
Project Number: 1352

Revision:
REVISION
MAR 18 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

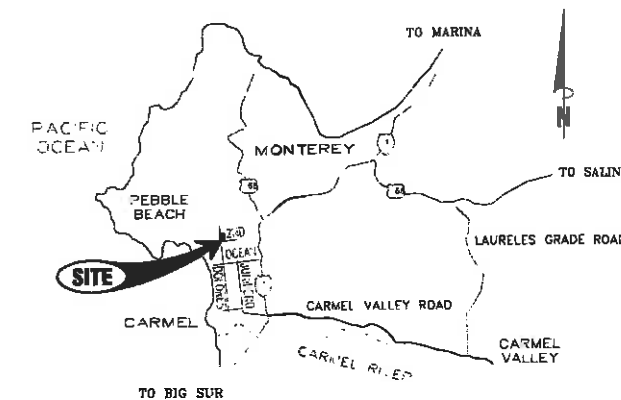
The use of these plans shall be subject to the terms, conditions, and restrictions set forth in the contract. The user of these plans shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate authorities. The user of these plans shall be responsible for obtaining all necessary approvals from the appropriate authorities.

Sheet Title:

COVER & GENERAL NOTES

Sheet Number:

C1

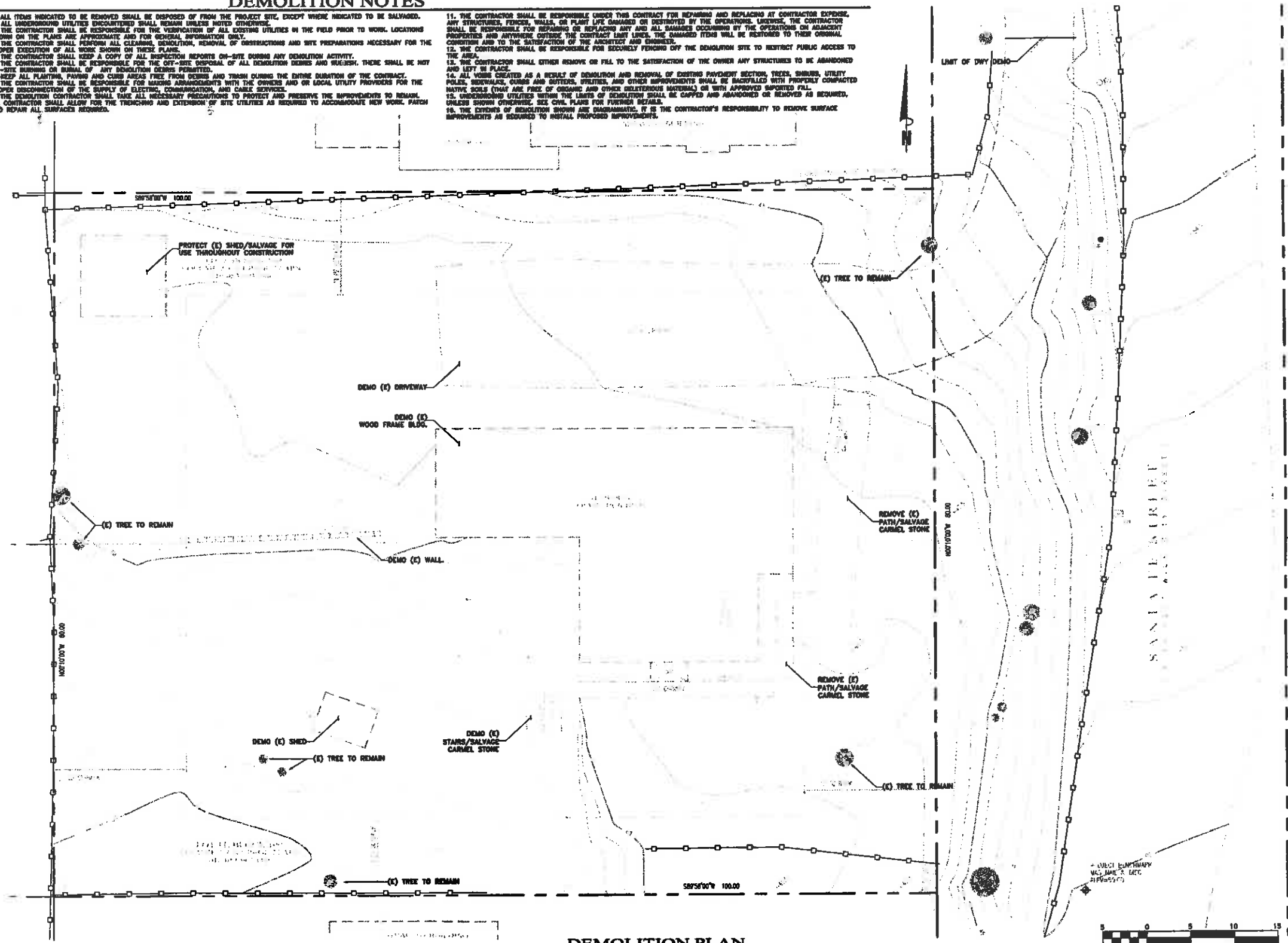


VICINITY MAP

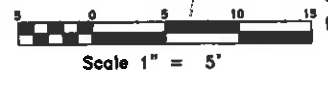
DEMOLITION NOTES

1. ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF FROM THE PROJECT SITE, EXCEPT WHERE INDICATED TO BE SALVAGED.
2. ALL UNDERGROUND UTILITIES ENCOUNTERED SHALL REMAIN UNLESS NOTED OTHERWISE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO WORK. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
4. THE CONTRACTOR SHALL PERFORM ALL CLEANING, DEMOLITION, REMOVAL OF OBSTRUCTIONS AND SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK SHOWN ON THESE PLANS.
5. THE CONTRACTOR SHALL KEEP A COPY OF ALL INSPECTION REPORTS ON-SITE DURING ANY DEMOLITION ACTIVITY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ALL DEMOLITION DEBRIS AND WASTE. THERE SHALL BE NO ON-SITE BURNING OR SHALL OF ANY DEMOLITION DEBRIS PERMITTED.
7. KEEP ALL PLANTING, PAVING AND CURB AREAS FREE FROM DEBRIS AND TRASH DURING THE ENTIRE DURATION OF THE CONTRACT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ARRANGEMENTS WITH THE OWNERS AND OR LOCAL UTILITY PROVIDERS FOR THE PROPER DISCONNECTION OF THE SUPPLY OF ELECTRIC, COMMUNICATION, AND CABLE SERVICES.
9. THE DEMOLITION CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AND PRESERVE THE IMPROVEMENTS TO REMAIN.
10. CONTRACTOR SHALL ALLOW FOR THE TRENCHING AND EXTENSION OF SITE UTILITIES AS REQUIRED TO ACCOMMODATE NEW WORK, PATCH AND REPAIR ALL SURFACES REQUIRED.

11. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT FOR REPAIRING AND REPLACING AT CONTRACTOR EXPENSE, ANY STRUCTURES, FENCES, WALLS, OR PLANT LIFE DAMAGED OR DESTROYED BY THE OPERATIONS. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES OCCURRING BY THE OPERATIONS ON ADJACENT PROPERTIES AND ANYWHERE OUTSIDE THE CONTRACT LIMIT LINES. THE DAMAGED ITEMS WILL BE RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT AND ENGINEER.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURELY FENCING OFF THE DEMOLITION SITE TO RESTRICT PUBLIC ACCESS TO THE AREA.
13. THE CONTRACTOR SHALL EITHER REMOVE OR FILL TO THE SATISFACTION OF THE OWNER ANY STRUCTURES TO BE ABANDONED AND LEFT IN PLACE.
14. ALL VOIDS CREATED AS A RESULT OF DEMOLITION AND REMOVAL OF EXISTING PAVEMENT SECTION, TREES, SHIMMS, UTILITY POLES, SIDEWALKS, CURBS AND DITCHES, UTILITIES, AND OTHER IMPROVEMENTS SHALL BE BACKFILLED WITH PROPERLY COMPACTED NATIVE SOILS (THAT ARE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIAL) OR WITH APPROVED SUPPORTED FILL.
15. UNDERGROUND UTILITIES WITHIN THE LIMITS OF DEMOLITION SHALL BE CAPPED AND ABANDONED OR REMOVED AS REQUIRED, UNLESS SHOWN OTHERWISE. SEE CIVIL PLANS FOR FURTHER DETAILS.
16. THE EXTENTS OF DEMOLITION SHOWN ARE DIAGNOSTIC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE SURFACE IMPROVEMENTS AS REQUIRED TO INSTALL PROPOSED IMPROVEMENTS.



DEMOLITION PLAN



Owner:
CHARLES HAWLEY

Project:
SANTA FE RESIDENCE
SANTA FE STREET, CARMEL, CA

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Drawn By: MH
Drawing Date: 12.11.27
Project Number: 1352

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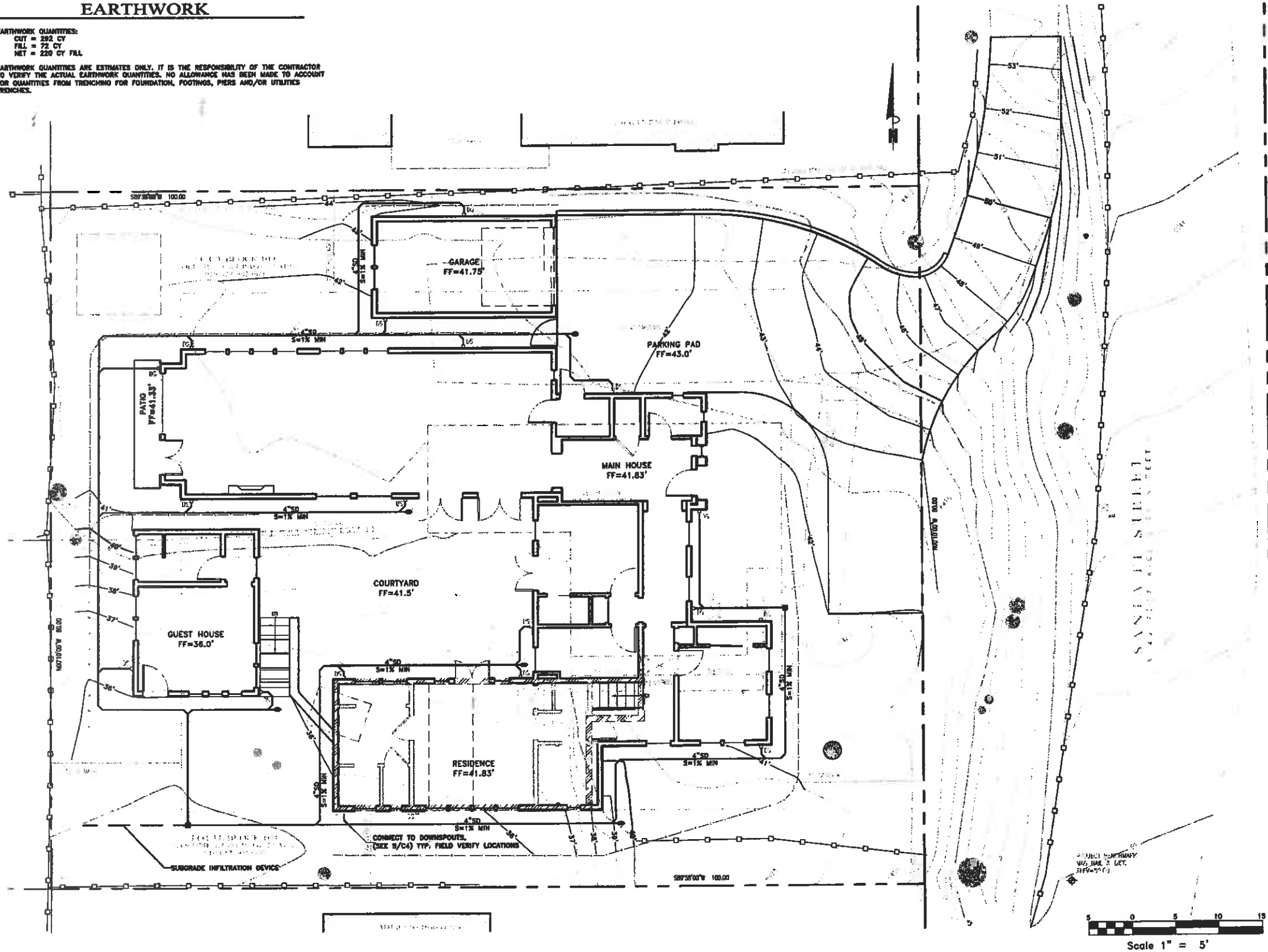
DEMO PLAN

Sheet Number:
C2

EARTHWORK

EARTHWORK QUANTITIES:
 CUT = 282 CY
 FILL = 72 CY
 NET = 210 CY FILL

EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.



Drawn By: CHARLES HAWLEY

Project: **SANTA FE RESIDENCE**
 SANTA FE STREET, CARMEL, CA

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Drawn By: MH
 Drawing Date: 13.11.27
 Project Number: 1082

Revisions:

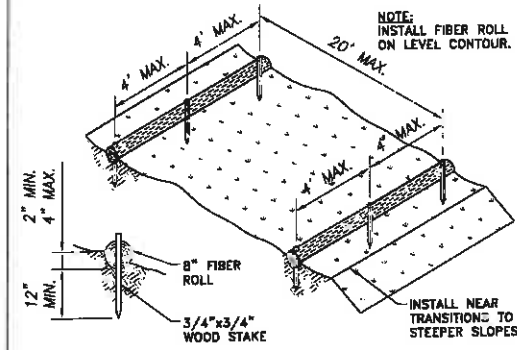
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Sheet Title:

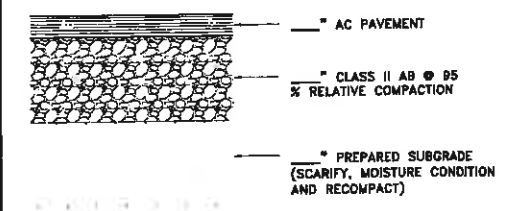
GRADING & DRAINAGE PLAN

Sheet Number:

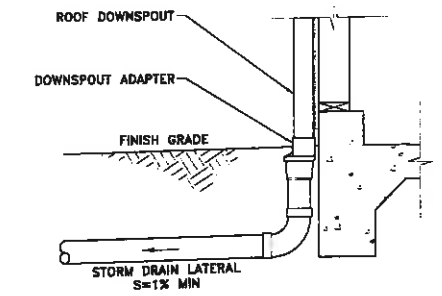
C3



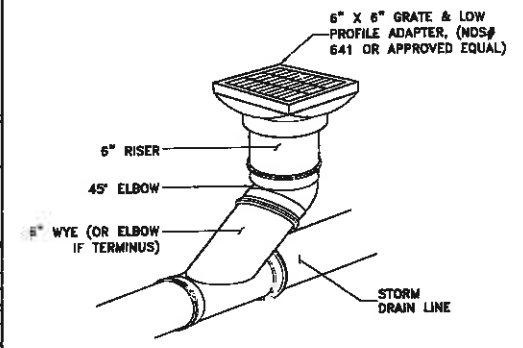
E FIBER ROLL
C4 NTS



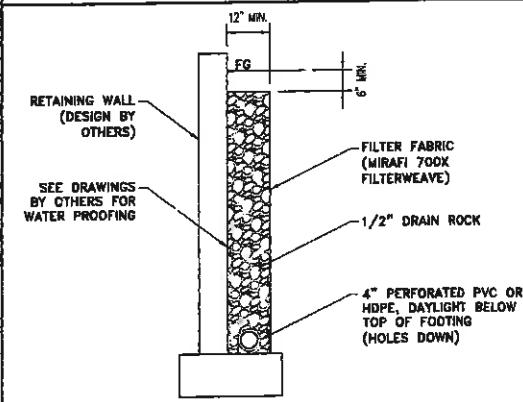
A A.C. PAVEMENT
C4 NTS



B ROOF DRAIN CONNECTION
C4 NTS



C 6" X 6" AREA DRAIN
C4 NTS



D RET. WALL SUBDRAIN
C4 NTS

Owner:
CHARLES HAWLEY

Project:
SANTA FE RESIDENCE
SANTA FE STREET, CARMEL, CA

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Drawn By: MH
Drawing Date: 13.11.27
Project Number: 1352

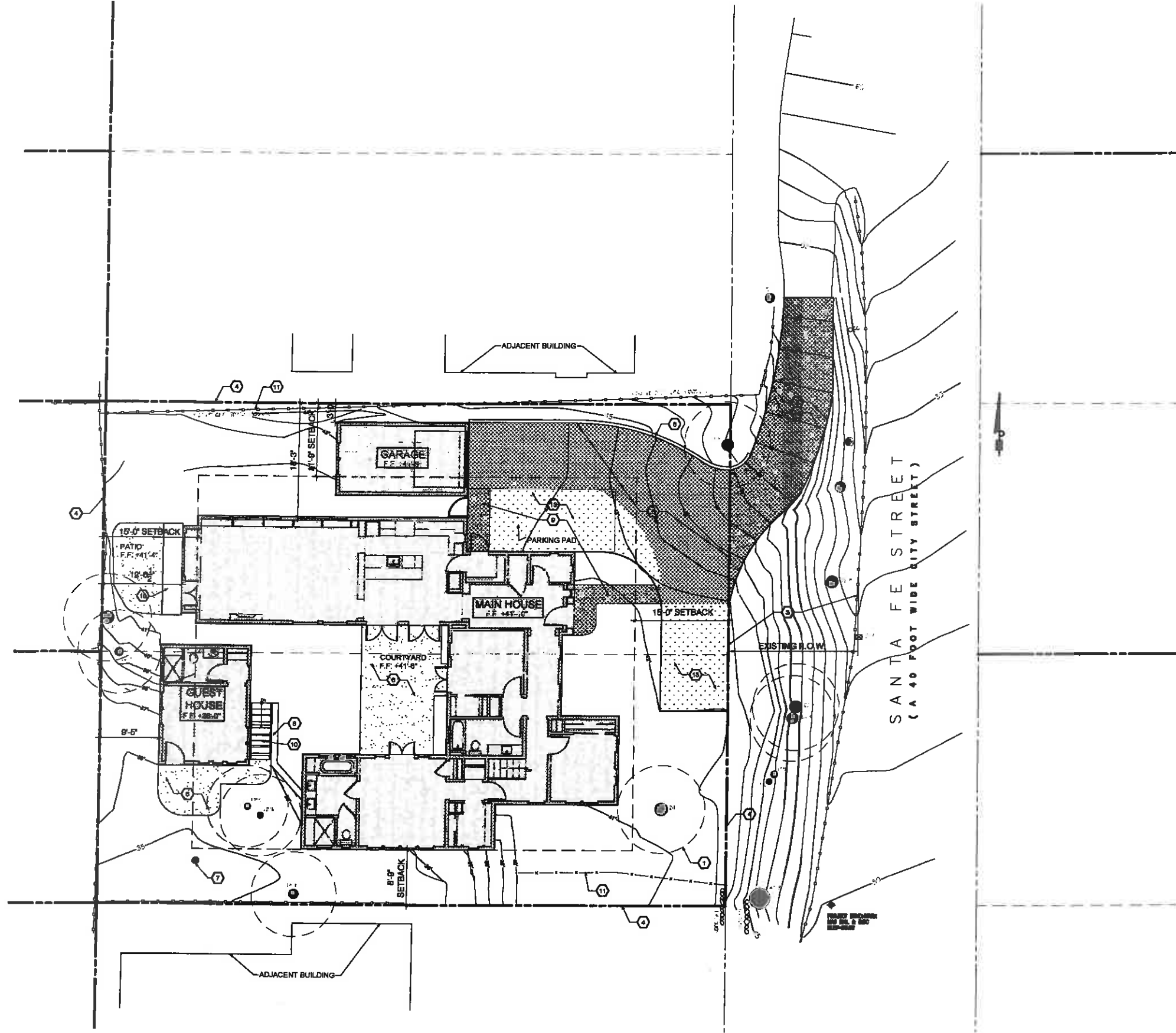
Revisions: **REVISION**

MAR 18 2014
City of Carmel-by-the-Sea
Planning & Building Dept.

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Sheet Title:
DETAILS

Sheet Number:
C4



SHEET NOTES

1. (E) 8' W ROOT ZONE, TYP.
2. (E) DRIVEWAY EASEMENT
3. (E) RIGHT OF WAY; PRESERVE (E) FOREST GROUND COVER, CLEAR IVY FROM TREES
4. PROPERTY LINE
5. (N) PLANTED TURF BLOCK @ DRIVEWAY
6. (N) STONE PAVERS @ PATIO
7. (N) UPPER CANOPY TREE PER ARBORIST RECOMMENDATION
8. RETAINING WALL w/HORIZONTAL SIDING & WOOD CAP
9. (N) GRAVEL/PAVER @ ENTRY PATH
10. (N) STONE STEPS/LANDING
11. (E) FENCE & RETAINING WALL
12. (E) FENCE
13. DROUGHT-RESISTANT GROUND COVER w/REINFORCING GRID @ PARKING PAD & TURNAROUND
14. GRAVEL/PAVER @ DRIVEWAY IN RIGHT-OF-WAY

FLOOR AREA CALCULATIONS	
LOT SIZE	8,000 SF
EXISTING FLOOR AREA	993 SF
MAX. ALLOWED FLOOR AREA	2,980 SF
PROPOSED FLOOR AREA	3,068 SF
Main house	2,985 SF (not including 45 sf of stair to basement)
Basement	180 SF
Guest house	278 SF
Garage	250 SF
Parking Pad	200 SF

Owner:
CHARLES HAWLEY

Project:
HAWLEY RESIDENCE
SANTA FE STREET, CARMEL, CA

APN: 010-053-003-000

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Drawing Date: 14.2.7
Project Number: 1352

Revisions:

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Sheet Title:
SITE PLAN

REVISION
MAR 18 2014

Sheet Number:
City of Carmel-by-the-Sea
Planning & Building Dept.

A1.1

SITE PLAN
SCALE: 1/8" = 1'-0"



SHEET NOTES

1. STONE STAIRS TO GUEST HOUSE
2. RETAINING WALL w/HORIZONTAL SIDING
3. STONE LANDING

NOTES:

1. DIMENSIONS ARE TO EDGE OF EXTERIOR FINISH UNLESS OTHERWISE NOTED

Owner:
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Project:
HAWLEY RESIDENCE
SANTA FE STREET, CARMEL, CA

APN:010-053-003-000

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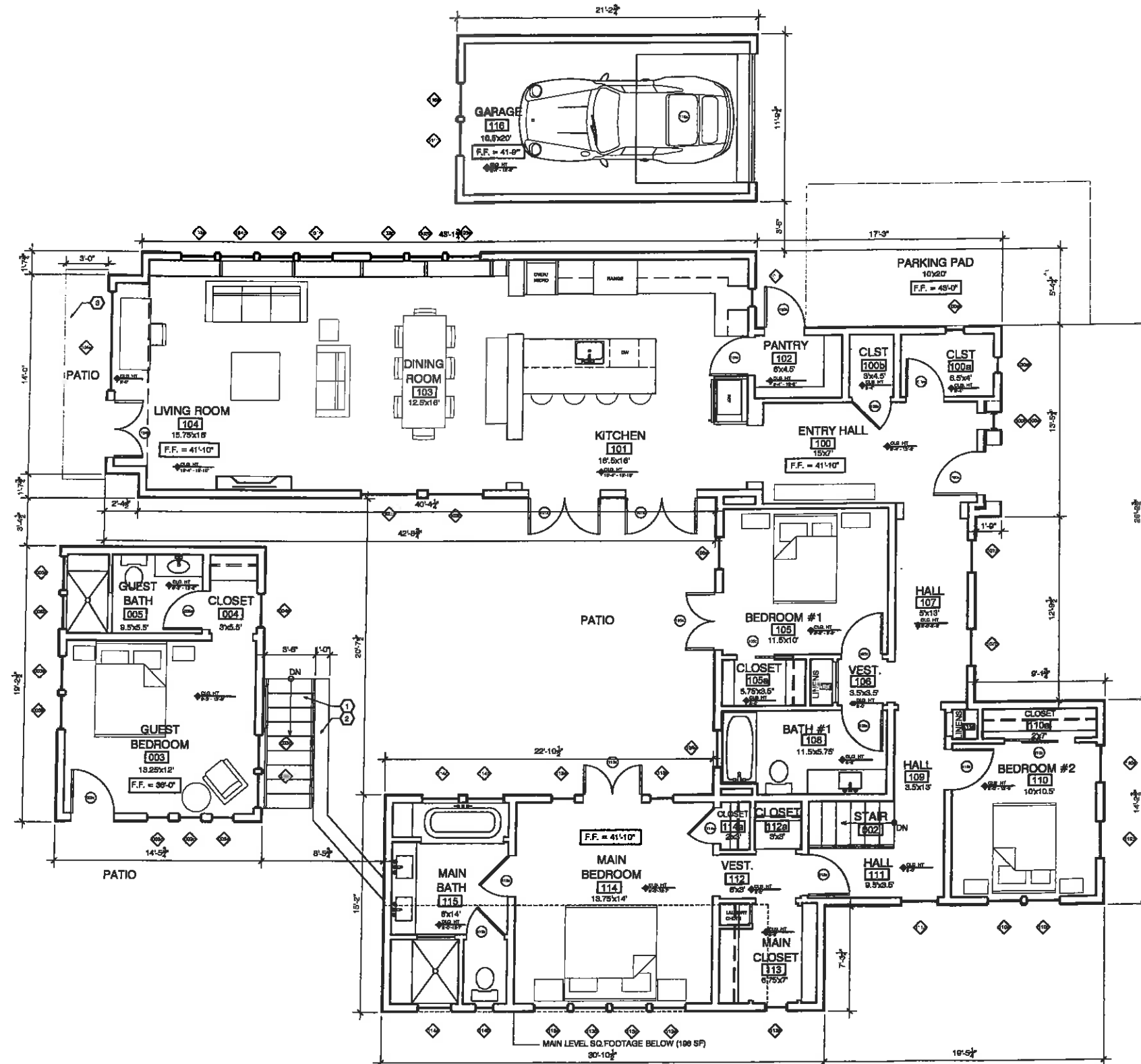
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Drawing Date: 14.2.7
Project Number: 1352

Revisions:

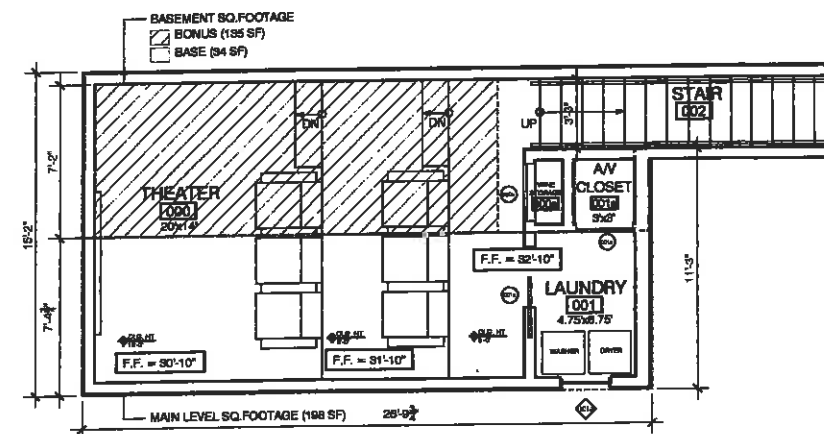
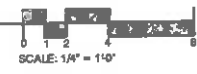
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Sheet Title:
**FIRST FLOOR PLAN
BASEMENT FLR. PLAN**

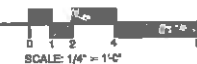
Sheet Number:



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH
PROJECT NORTH



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH
PROJECT NORTH



A2.1

SHEET NOTES

1. 5" HALF ROUND MTL GUTTER, TYP.
2. 3" Ø MTL DOWNSPOUT BELOW, TYP.
3. WOOD SHAKE ROOF
4. 8":12" SLOPE
5. 4":12" SLOPE
6. CHIMNEY w/CAP
7. CRICKET

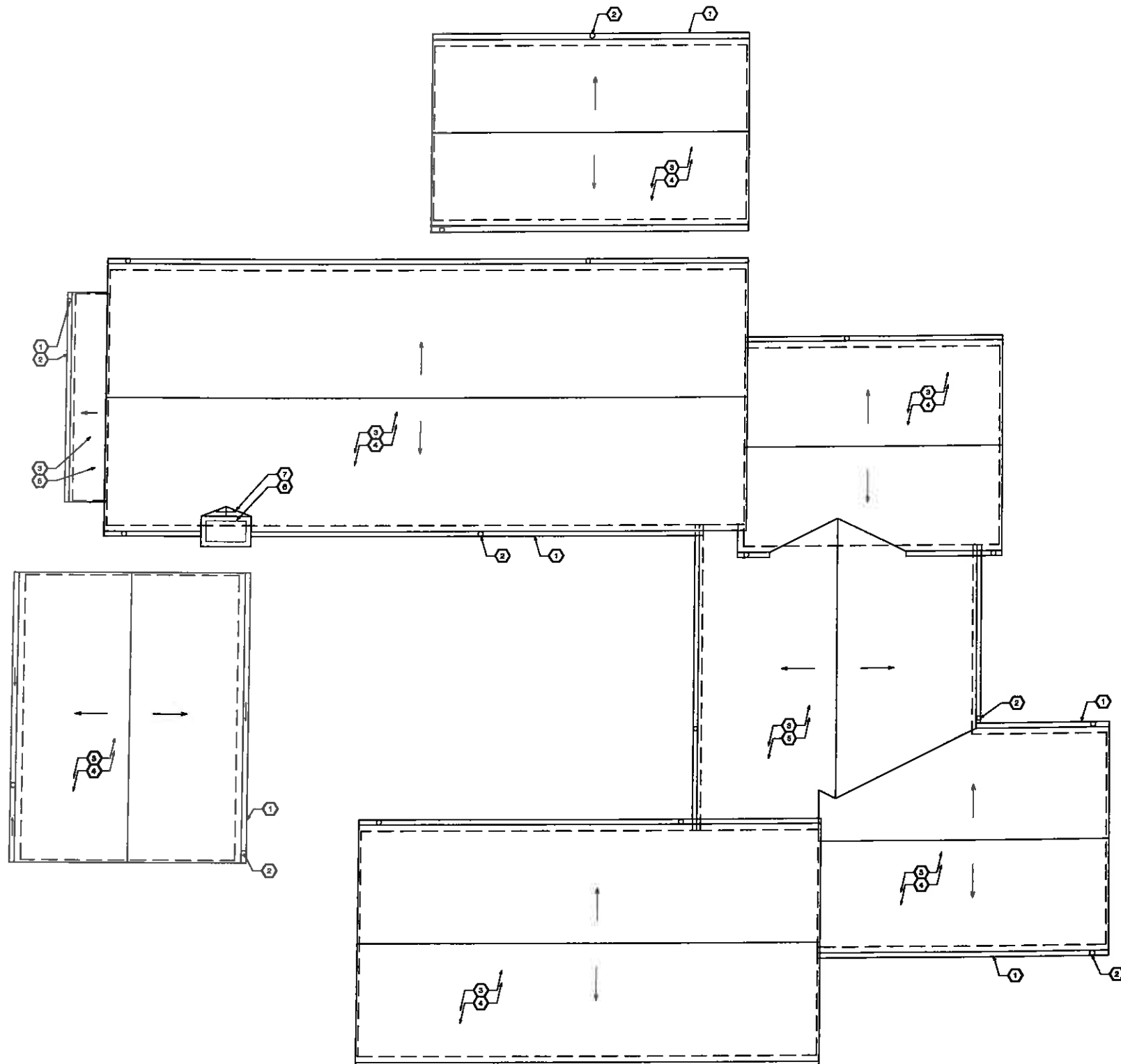
Owner:
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Project:
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APN:010-053-003-000

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Sheet Title:
ROOF PLAN

Sheet Number:

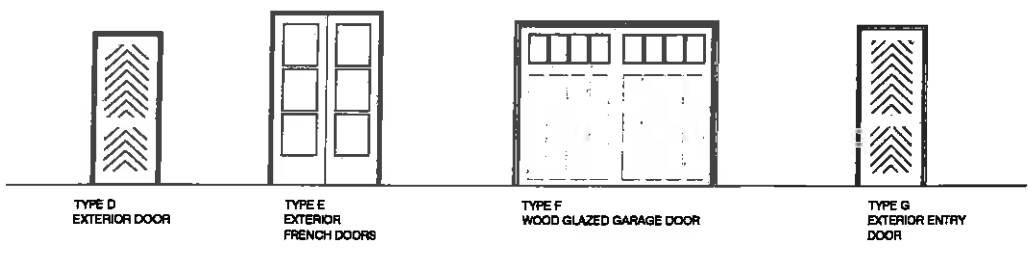


A2.2

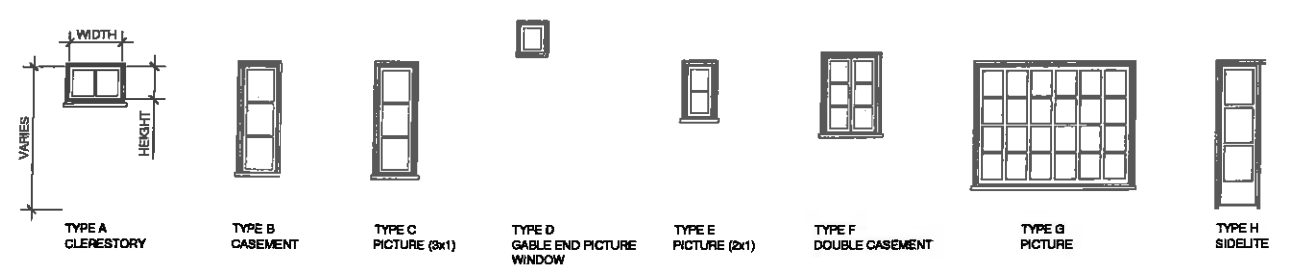
DOOR AND FRAME SCHEDULE

DOOR								Manufacturer	Model	HARDWARE		NOTES
No.	Type	SIZE			MATL	GLAZING	SET NO			KEYSIDE RM NO		
		WD	HGT	THK								
000a	A	2'-8"	6'-8"	1 3/4"	WD/GLASS	YES	---	---	---	---	Custom glazed panel	
001a	B	2'-10"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	---	
001b	C	2'-8"	6'-8"	1 3/4"	WOOD	---	---	---	---	---	---	
003a	D	3'-0"	7'-0"	1 3/4"	WOOD	---	---	---	---	---	---	
005a	C	2'-8"	6'-8"	1 3/8"	WOOD	---	Select Door	---	---	210	---	
100a	G	3'-0"	7'-4"	1 3/4"	WOOD	---	Select Door	---	---	210	---	
100aa	C	2'-8"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	---	
100b	C	2'-8"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	---	
101a	E	5'-0"	8'-0"	1 3/4"	WD/GLS	TEMPERED	---	Kolbe	---	Heritage	Spw41180-man	
101b	E	5'-0"	8'-0"	1 3/4"	WD/GLS	TEMPERED	---	Kolbe	---	Heritage	Spw41180-man	
101c	C	2'-8"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	---	
102a	D	2'-10"	6'-8"	1 3/4"	WOOD	---	Select Door	---	---	210	---	
104a	E	4'-0"	6'-8"	1 3/4"	WD/GLS	TEMPERED	---	Kolbe	---	Heritage	Custom size	
105a	E	4'-0"	6'-8"	1 3/4"	WD/GLS	TEMPERED	---	Kolbe	---	Heritage	Custom size	
105b	C	2'-10"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	---	
105c	B	2'-8"	7'-0"	1 3/8"	WOOD	---	---	---	---	---	---	
108a	C	2'-10"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	Mirror on bath side	
110a	C	2'-10"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	---	
110b	H	5'-0"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	---	
112a	C	2'-10"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	---	
113a	E	4'-0"	6'-8"	1 3/4"	WD/GLS	TEMPERED	---	Kolbe	---	Heritage	Custom size	
114a	C	2'-6"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	---	
115a	C	2'-10"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	Mirror on bath side	
115b	C	2'-8"	6'-8"	1 3/8"	WOOD	---	---	---	---	---	---	
116a	F	9'-0"	8'-0"	2"	WD/GLS	TEMPERED	---	CLOPAY	---	RESERVE COLLECTION/DESIGN 4 REC14	---	

EXTERIOR DOOR TYPES



WINDOW TYPES



DOOR & WINDOW NOTES

- Contractor to verify rough openings and jamb thickness before finalizing window order.
- Tempered or safety glass is required in the following hazardous locations (Sec. 2406.4):
 - Glazing in swinging doors except jalousies
 - Glazing in fixed and sliding panels of sliding door assemblies and panels in sliding and bi-fold closet door assemblies
 - Glazing in storm doors
 - Glazing in unframed swinging doors
 - Glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bath tubs and showers. Glazing in any portion of a building well enclosing these compartments where the bottom exposed edge of glazing is less than 60" above a standing surface.
 - Glazing in fixed or operable panels adjacent to a door where the nearest exposed edge is within a 24" arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60" above the walking surface.
 - Glazing in an individual fixed or operable panel that meets all the following conditions:
 - Exposed area of an individual pane greater than 8 sq. ft.
 - Exposed bottom edge less than 18" above the floor
 - Exposed top edge greater than 36" above the floor
 - One or more walking surfaces within the 36" horizontally of the plane of the glazing
 - Glazing in railings regardless of height above a walking surface
- All exit doors shall be operable from the inside without the use of a key, special knowledge or effort per CBC 1008.1.8. The unlatching of any leaf should not require more than one operation and must be operable without requiring the ability of grasping the operable hardware per CBC 1008.1.8.5 and 1133B.2.
- All rated doors to be positive latching and self-closing.
- "Label" shall mean "protected assemblies" as defined in CBC Section 715.1.
- All 20-minute rated assemblies shall be provided with approved gas-lasting material so installed to provide a seal where the door meets the stop on both sides and across the top.
- Fire-rated openings shall be installed strictly per manufacturer's printed instructions and shall be made available to the inspecting authorities. All openings to display floor, ceiling labels.
- At exterior doors, the maximum threshold height between landing and finish floor is 1/2-inch, and changes in level between 1/4-inch and 1/2-inch need to be achieved with a bevel that does not exceed 2 horizontal in 1 vertical. (CBC 1133B.2.4.1)

Drawn By: MH

Drawing Date: 14.2.7

Project Number: 1592

Revisions:

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Sheet Title: **WINDOW & DOOR SCHEDULES**

Sheet Number:

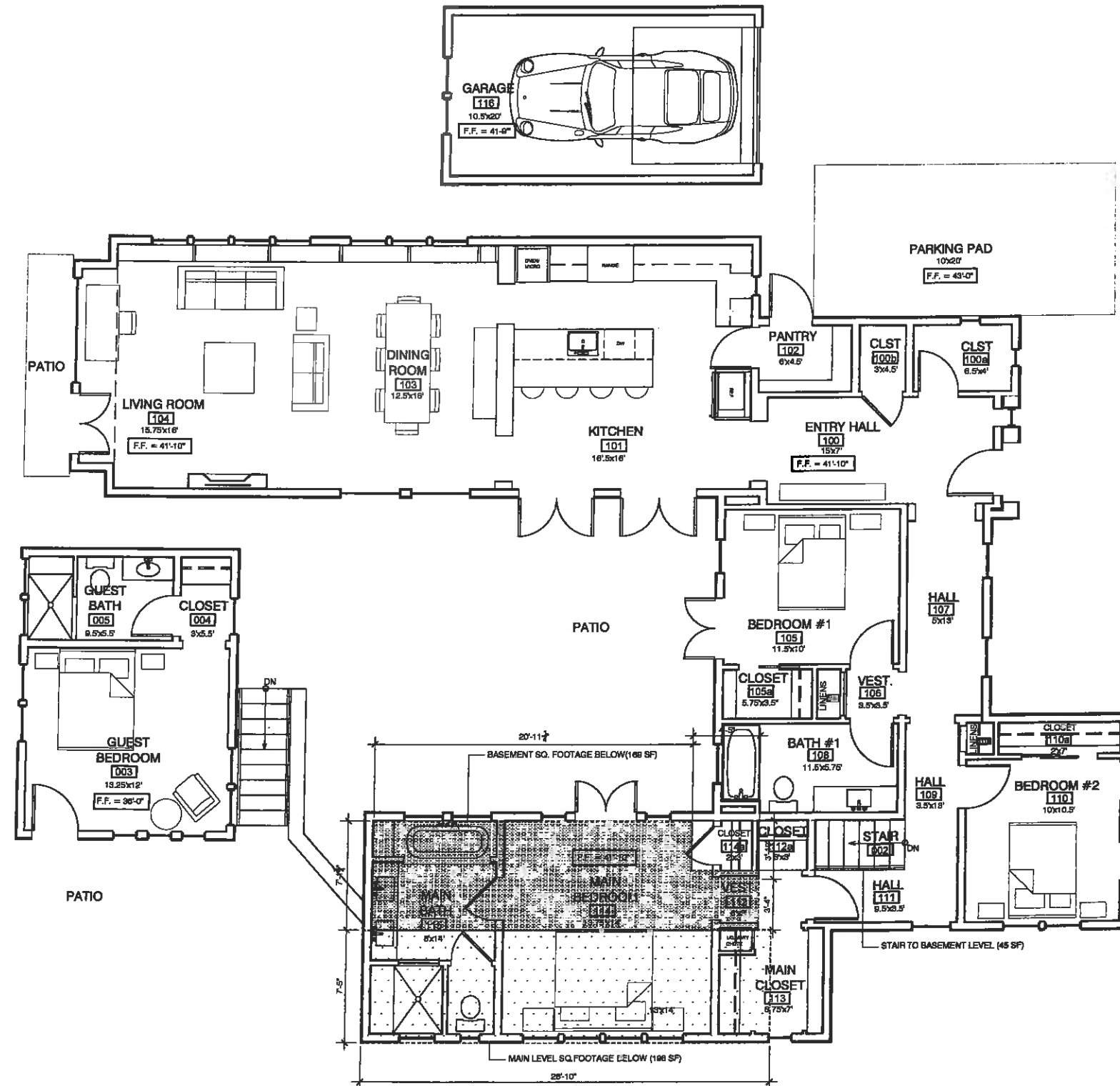
Owner:
CHARLES HAWLEY

Project:
HAWLEY RESIDENCE
SANTA FE STREET, CARMEL, CA

APN:010-053-003-000

THE PAUL DAVIS PARTNERSHIP
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FLOOR AREAS	
NON-OVERLAPPING FLOOR AREAS	2950 SF
OVERLAPPING FLOOR AREAS	734 SF

Drawn By: MH
Drawing Date: 14.2.7
Project Number: 1352

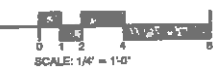
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Sheet Title:
FLR LEVEL MAP

Sheet Number:

MAIN FLOOR PLAN/FLOOR LEVEL MAP
SCALE: 1/4" = 1'-0"
PROJECT NORTH

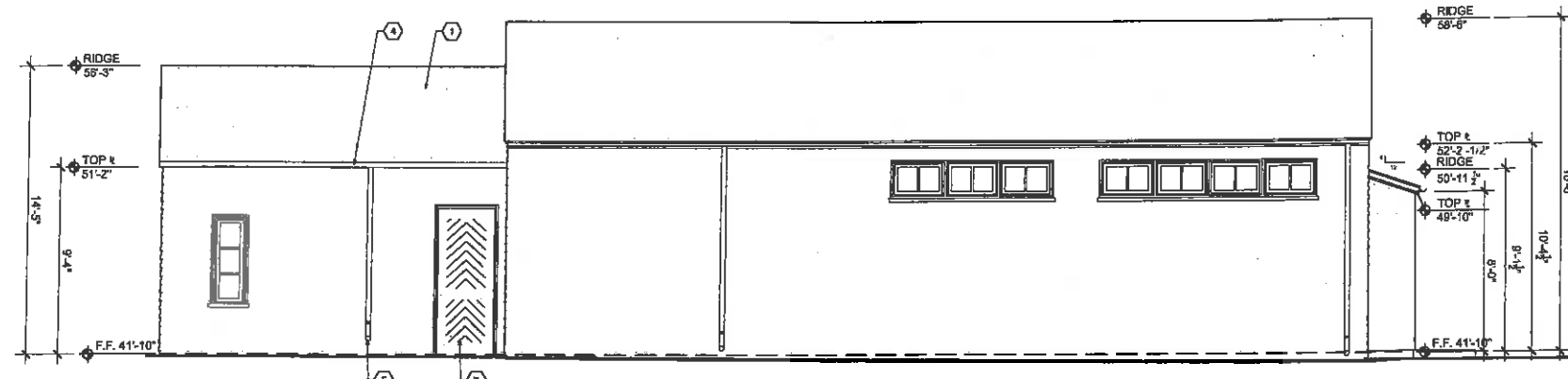
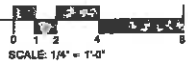


A2.4



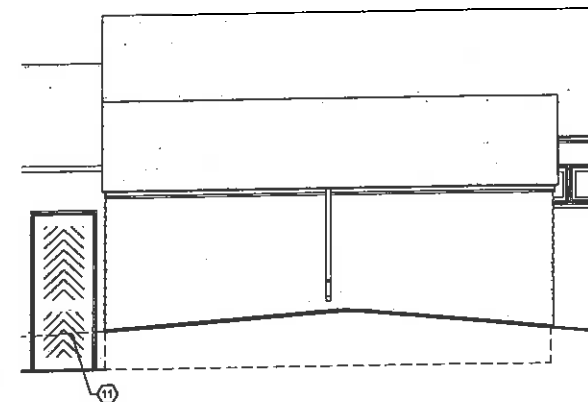
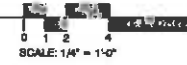
① EAST ELEVATION

SCALE: 1/4" = 1'-0"



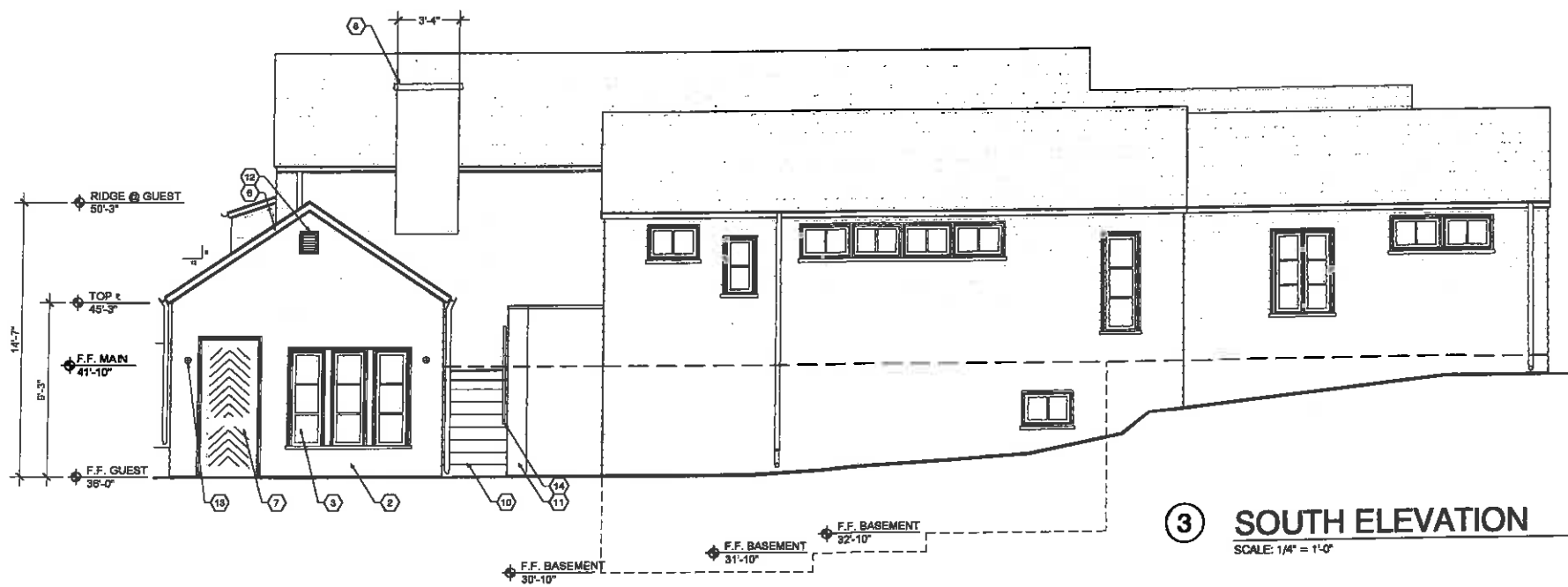
② NORTH ELEVATION

SCALE: 1/4" = 1'-0"



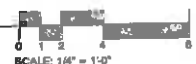
②A NORTH ELEV. @ GARAGE

SCALE: 1/4" = 1'-0"



③ SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



○ SHEET NOTES

1. SHAKE ROOF
2. 5" H HORIZONTAL WOOD SIDING, PAINTED
3. WOOD WINDOW w/WOOD SILL, PAINTED
4. METAL GUTTER, PAINTED
5. METAL DOWNSPOUT, PAINTED
6. WOOD FASCIA, PAINTED
7. WOOD DOOR, PAINTED
8. CHIMNEY w/HORIZONTAL SIDING & WD CAP
9. WD GARAGE DOOR, PAINTED
10. STONE STEPS
11. RETAINING WALL w/HORIZONTAL WD SIDING
12. FALSE RIDGE VENT, PAINTED
13. EXTERIOR SCONCE, TBD
14. METAL HANDRAIL

EXTERIOR WILDLIFE EXPOSURE

New buildings located within any Fire Hazard Severity Zone or any Wildlife-Urban Interface Fire Area designated by the local jurisdiction or in a State Responsibility Area (SRA) shall comply with the requirements of CRC Sec. R327 for exterior wildfire exposure:

- a. Prior to permit issuance, the property shall be certified to be in compliance with the vegetation management requirements prescribed in the California Fire Code Sec. 4805.
- b. Building materials, systems, assemblies, and methods of construction used to comply with exterior wildfire exposure requirements shall be approved in accordance with the quality standards given by CRC Sec. R327.3.
- c. When provided, valley flashings shall be not less than 0.019-inch (No.29 galvanized sheet gauge) corrosion-resistant metal installed over a minimum 36-inch wide underlayment consisting of one layer of 72 pound mineral-surfaced nonperforated cap sheet complying with ASTM D3909 running the full length of the valley.
- d. Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter.
- e. Vents shall not be installed on the underside of eaves and cornices, unless the vents are approved to resist the intrusion of flame and embers, the attic space is sprinklered in accordance with CBC Sec 903.3.1.1, or if the exterior wall and underside of the eave are of ignition resistant materials and the vents are located more than 12 feet from the ground or walking surface.
- f. The exposed roof deck on the underside of unenclosed eaves shall be approved noncombustible material, ignition-resistant material, one layer of 5/8" Type X gypsum board, or exterior portion of an approved one-hour wall assembly. See exceptions to this section for other alternatives.
- g. Exterior porch ceilings shall be approved noncombustible material, ignition-resistant material, one layer of 5/8" Type X gypsum board, the exterior portion of an approved one-hour wall assembly or have the horizontal underside meet the performance criteria of SFM 23-7A-3.
- h. Exterior windows and exterior glazed doors shall be multipane glazing with a minimum of one tempered pane, glass block units, have a fire-resistance rating of 20 minutes when tested in accordance with NFPA 257, or meet the requirements of SFM 12-7A-2.
- i. Exterior doors shall be of approved noncombustible construction or ignition-resistant material, solid core wood having stiles and rails not less than 1-3/8 inches thick with interior field panel thickness no less than 1-1/4 inches thick, shall have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 252, or meet the requirements of SFM 7A-1.

Owner:
CHARLES HAWLEY

Project:
HAWLEY RESIDENCE
SANTA FE STREET, CARMEL, CA

APN:010-053-003-000

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Drawn By: MHI
Drawing Date: 14.2.7
Project Number: 1352

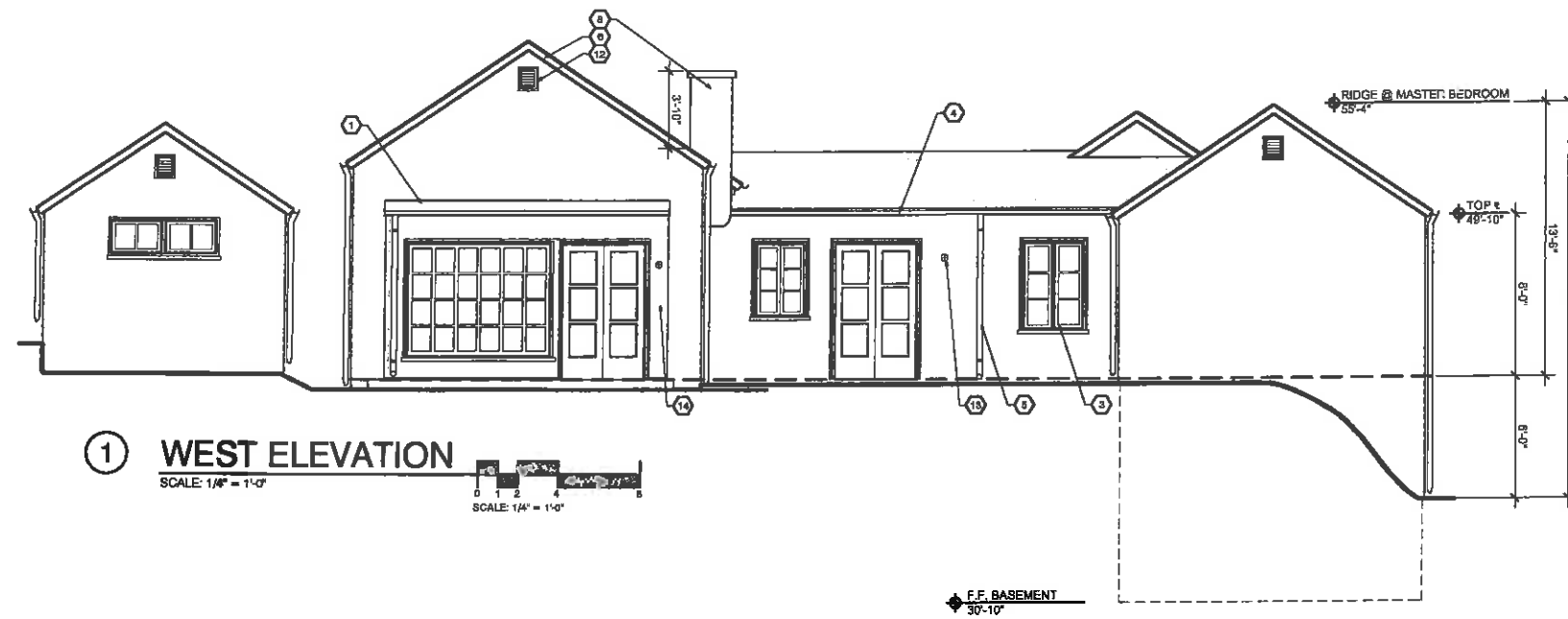
Revisions:

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Sheet Title:
EXTERIOR ELEVATIONS

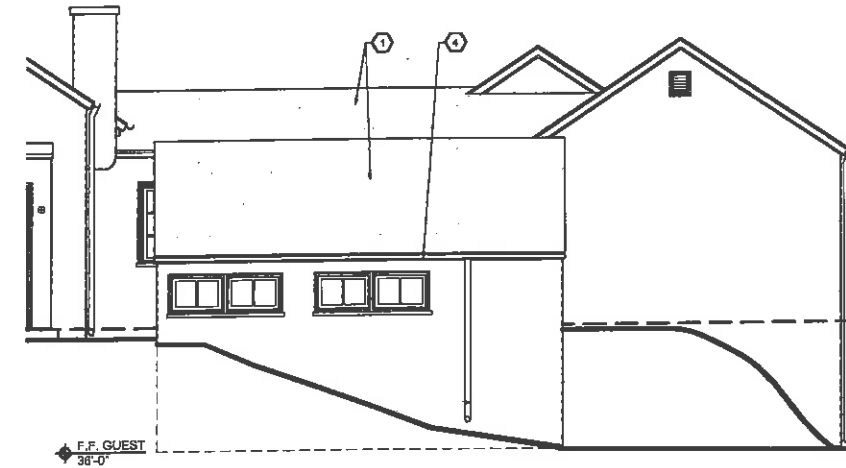
Sheet Number:

A3.0



① WEST ELEVATION

SCALE: 1/4" = 1'-0"



①A WEST ELEVATION @ GUEST HOUSE

SCALE: 1/4" = 1'-0"



② NORTH ELEVATION @ COURTYARD

SCALE: 1/4" = 1'-0"



○ SHEET NOTES

1. SHAKE ROOF
2. 5" H HORIZONTAL WOOD SIDING, PAINTED
3. WOOD WINDOW w/ WOOD SILL, PAINTED
4. METAL GUTTER, PAINTED
5. METAL DOWNSPOUT, PAINTED
6. WOOD FASCIA, PAINTED
7. WOOD DOOR, PAINTED
8. CHIMNEY w/ HORIZONTAL SIDING & WD CAP
9. WD GARAGE DOOR, PAINTED
10. STONE STEPS
11. RETAINING WALL w/ HORIZONTAL WD SIDING
12. FALSE RIDGE VENT, PAINTED
13. EXTERIOR SCIENCE, TED
14. WOOD PANELING, PAINTED

Drawn By: MH
Drawing Date: 14.2.7
Project Number: 1352

Revisions:

PRELIMINARY VOLUME CALCUTIONS			
MAX. SF ALLOWED (2,960 SF)	32,724 CF ONE STORY (2727 SF x 12)	2,178 CF TWO STORY (188 x 11)	34,902 CF ALLOWED
ACTUAL VOLUME			34,432 CF



③ SOUTH ELEVATION @ COURTYARD

SCALE: 1/4" = 1'-0"



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Sheet Title: EXTERIOR ELEVATIO

REVISION

MAR 18 2014

Sheet Number: City of Carmel-by-the-Sea
Planning & Building Dept.

A3.1

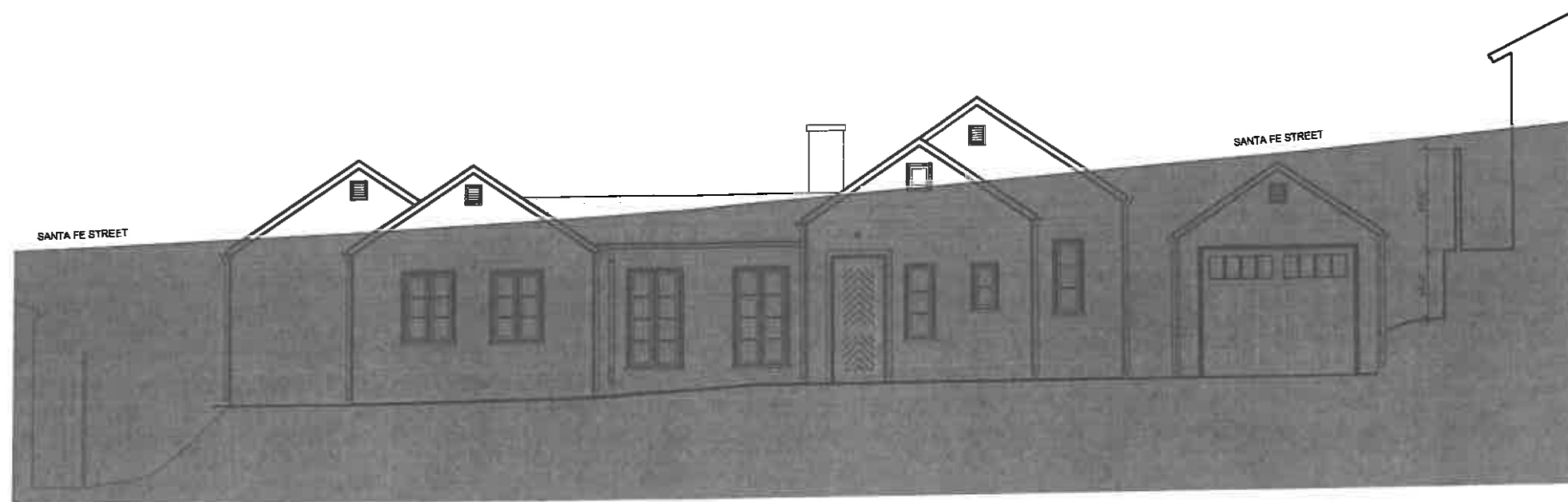
Owner:
CHARLES HAWLEY

Project:
**HAWLEY
RESIDENCE**
SANTA FE STREET, CARMEL, CA

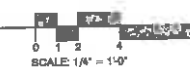
APN:010-059-003-000

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① **STREET LEVEL PROFILE**
SCALE: 1/4" = 1'-0"



Drawn By: MH
Drawing Date: 14.2.7
Project Number: 1352

Revisions:

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Sheet Title:
**STREET LEVEL
EXTERIOR ELEVATION**

Sheet Number:

A3.2



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

April 17, 2014

To: Chair Dallas and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director RM

Submitted by: Marc Wiener, Senior Planner

Subject: Consideration of a Final Design Study (DS 13-149) and associated Coastal Development Permit for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District

Recommendation:

Approve the Design Study (DS 13-149) and the associated Coastal Development Permit subject to the attached findings and conditions

Application:	DS 13-149	APN:	010-251-027
Block:	FF	Lots:	20 & 22
Location:	Camino Real 7 NE of Ocean Ave		
Applicant:	Anatoly Ostretsov	Property Owners:	Nicki & Don Sturdivant

Background and Project Description:

This project site is located on Camino Real, seven properties northeast of Ocean Avenue, and is developed with a two-story residence that was originally built in 1913. On May 31, 2002, the residence was added to the City's Historic Inventory. The residence is historically significant for being an early example of Craftsman-style architecture in Carmel, designed by master builder: Michael J. Murphy.

The applicant is proposing to remodel and expand the residence. The project includes the following features:

- Addition of 508 square feet of ground-level living space to the rear of the residence (note: wood shingle siding would be differentiated from historic portions of the residence)
- Addition of 24 square to the second story by enclosing the balcony on the south elevation
- Application of a stone veneer around the garage and wood railing above garage to be replaced with metal balusters
- Conversion of a garage parking space to a living space, which includes the removal of one of the existing garage doors and replacement with a glass door
- Replacement of the single remaining garage door with a new wood door
- Replacement of the window on the second-story bay, and in-fill of apex window with wood shingles to match existing (note: window bay will not be replaced)
- Replacement of the existing composition-shingle roofing with wood shakes

Due to the limited scope of this project, staff has scheduled this application for final review. However, if the Commission has concerns or issues that cannot be addressed at this hearing, the project could be continued to a second meeting.

PROJECT DATA FOR A 8,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	3, 300 sf (41%)*	2,755 sf (34.4%)	3,272 sf (40.9%)
Site Coverage	875 sf (10.9%)	1,415sf (17.7%)	832 sf (10.4%)
Trees (upper/lower)	5/4 (recommended)	0/16	0/16
Ridge Height (1 st /2 nd)	18 ft./24 ft.	16 ft./24 ft.	12.5 ft**/No Change
Plate Height (1 st /2 nd)	12 ft./18 ft.	12 ft./18 ft.	9.5 ft.** /No Change
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	15.5 ft.	No Change
Composite Side Yard	20 ft. (25%)	26 ft. (32.5%)	No Change
Minimum Side Yard	3 ft.	12 ft.	No Change
Rear	15 ft.	38 ft.	32 ft.
* Includes 3% bonus for lot merger and 100 square foot basement bonus			
**Ridge and plate heights of new one-story addition			

Staff analysis:

CEQA: The California Environmental Quality Act requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. If the alterations are consistent with the standards, no review of potential historic resource impacts under CEQA is required.

On March 17, 2014, the Historic Resources Board (HRB) issued a Determination of Consistency with the Secretary's Standards, with special conditions, for the proposed alterations to this historic residence. The HRB special conditions are included with the project conditions for the Planning Commission's approval of this project. Staff notes that the minutes from the March 2014, HRB meeting, have not yet been adopted.

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining "a forested image on the site" and for new construction to be at least six feet from significant trees.

The site contains sixteen trees located on the property, six of which are classified as significant. The applicant is not proposing to remove any of the trees on the property. However, the proposed addition at the rear of the residence would encroach approximately 3 feet into the 6-foot setback of a group of significant oak trees. The City Forester supports the proposal with a requirement that the applicant use a bridged footing for the portion of the structure that is located within the 6-foot tree setback. Special Condition #26 includes a requirement for a bridged footing.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 pertain to maintenance of "privacy of indoor and outdoor spaces in a neighborhood" and maintenance of "view opportunities."

Staff has not identified any privacy impacts that would be created with the proposed remodel and addition. With regard to view impacts, the proposed one-story addition at the rear of the residence would be 9 feet lower than the existing two-story residence and would not create any view impacts to neighboring properties.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.5 encourage a building's mass to relate "to the context of other homes nearby" and to "minimize the mass of a building as seen from the public way or adjacent properties."

The proposed addition is at the rear of the residence and would not increase the appearance of building mass to the street. Furthermore, the proposed addition would be one story and is low in scale compared to the existing two-story residence.

Staff notes that the adjacent neighbor to the north has expressed concern with the additional building mass added by the rear addition. The proposed addition would extend the north wall of the residence 10.5 feet in easterly direction; however, the addition would not extend the building footprint in a northerly direction, towards the neighbor's property. Staff also notes that the portion of the residence that neighbor has expressed concern with is 12 feet high. In staff's opinion, the proposed addition would not create a significant impact to the northern neighbor.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 states that *"building forms should be simple. Basic rectangles, L or U-shapes are typical"* and *"basic gable and hip roofs are traditional and their use is encouraged"* and *"in general, moderately pitched roofs (4:12 to 6:12) are preferred."*

Several alterations have occurred to the rear of the residence over time that are not characteristic of Craftsman-style design and do not appear to be the work of master-builder, Michael J. Murphy. The proposed addition at the rear of the residence would simplify the building form and roof design in comparison to the existing conditions. Staff notes that the HRB was supportive of the alterations to the rear of the residence.

Finish Materials: Residential Design Guideline 9.4 states that *"when design details and surface materials are selected, they should be used throughout the full exterior of the building to maintain consistency."*

The existing residence is clad with un-staggered wood shingles that measure approximately 16" x 6" (l x w). The applicant is proposing to use a staggered shingle pattern with shingles that are 10" x 4" to differentiate the addition from the historic part of the residence. A condition has been drafted to ensure implementation of this requirement pursuant to the review of the project by the HRB.

The applicant is proposing to use a stone veneer around the garage. Staff notes that the garage was built in 1994, and is not considered historically significant. For the HRB's review of this project, staff supported the use of stone on the garage as it further differentiates the 1994

garage addition from the historic portions of the residence, as recommended by Secretary of the Interior Standard #9.

While the Planning Commission typically does not review projects based on the Secretary of the Interior's standards, staff notes that such differentiation of it is important to understand why certain finish materials are often intentionally proposed for additions to historic buildings. Staff also notes that if the Commission has concerns with the use of the stone, the applicant could differentiate the garage by using a different type of wood-shingle, as proposed with the rear addition.

The applicant is proposing to terminate the stone at the northwest outer corner of the garage. If the Commission supports the stone, then staff would recommend that the stone veneer be carried along the entire north side of the garage where it can terminate into grade, which appears more structural than terminating the stone at the front northwest corner of the garage.

Parking: CMC 17.10.030.F requires a minimum of one parking space per primary dwelling on sites of 8,000 square feet or less in area. A minimum of two parking spaces per primary dwelling is required on sites larger than 8,000 square feet. As part of the Design Study review, the Planning Commission should consider the adequacy of parking (both on- and off-street) on a site-specific basis, and may require that additional off-street parking be required.

The subject lot is 8,000 square feet in size, and hence, one parking space would meet the City's minimum parking requirements. However, the residence is currently developed with a two-car garage. The applicant is proposing to expand the residence from 2,755 to 3,272 square feet, and to convert one of the two parking spaces into an exercise room. Staff notes that the residence would contain three bedrooms.

The adequacy of a 1-car garage for a residence of this size should be considered by the Planning Commission. Staff notes that the proposed driveway is approximately 20 feet long and could provide capacity to park an additional car on the property in a tandem parking arrangement with the garage. However, the parking space would be located in the 15-foot front-yard setback. In staff's opinion, two conforming parking spaces should be maintained at this site as currently exists.

Site Coverage/Landscaping: The applicant is proposing to reduce the site coverage from 1,415 to 832 square feet to bring the property into compliance with the allowed site coverage. A special condition has been drafted requiring that the site coverage be brought into compliance as indicated on the plans.

With regard to landscaping, the project plans note that the applicant is proposing to maintain the existing landscaping on the property. Standard Condition #4 requires the applicant to submit a landscape plan prior to the issuance of a building permit. For this project, the landscape plan would document what is currently on the property as well as what is proposed in the public ROW along San Carlos Street. The City Forester and Community Development Director will evaluate the landscape plan to determine if it is consistent with City standards.

Public ROW: With regard to the public ROW, Residential Design Guideline 1.7 states that *“natural soil, shredded bark and wood chips are preferred surface materials. Gravel is prohibited”* and *“only the City is authorized to add paving or boulders in the public right-of-way.”*

The public ROW at the front of the property contains a 10-inch high rock wall and a 5-foot wide brick pathway. Photographs in of the public ROW at the front of the property are included as Attachment A.

The project plans include a proposal to remove the rock wall, but do not indicate that the brick pathway will be removed. A condition has been drafted requiring that the rock wall be removed. The condition also requires that the applicant either remove the brick pathway or secure an encroachment permit for its retention. The Planning Commission is advisory to the City Administrator and/or City Council on the encroachment permit.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans

Attachment A – Site Photographs

Project site facing east on Camino Real - Residence



Project site facing east on Camino Real - Garage



Rear of residence, area of addition



Attachment B – Findings for Approval

DS 13-149 (Sturdivant)
 April 17, 2014
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	
Coastal Development Findings (CMC 17.64.B.1):		
13. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
14. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment C – Conditions of Approval

DS 13-149 (Sturdivant)
 April 17, 2014
 Conditions of Approval
 Page 1

Approval Conditions		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 13-149) authorizes alterations to an existing two-story 2,755-square foot residence as shown on the approved plans. The alterations include the demolition of 15 sq ft of floor area on the main floor, an addition of 508 sq ft to the main floor at the rear of the residence, a 24-sq ft addition to the upper floor, and the conversion of the two-car garage to a one-car garage. The project also includes a reduction in site coverage of 583 sq ft for a resultant site coverage of 832 sq ft. All work shall conform to the approved plans except as conditioned by this permit.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If	✓

	any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 8,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the project plans as approved by the Planning Commission on April 17, 2014, prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use nonreflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	✓
12.	The applicant shall install unclad wood framed windows. Windows that have	✓

	been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of	N/A

	archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
	HRB Special Conditions	
21.	Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.	✓
22.	Prior to the issuance of a building permit, the final construction documents shall include a materials list and a plan with elevation keynotes that clearly identify the methodology and extent of the proposed salvage and reuse of existing building materials including all exterior walls. This "salvage and reuse plan" shall clearly indicate that materials shall be: 1) preserved, 2) repaired when preservation is not possible, and 3) replaced in-kind only when absolutely necessary.	✓
23.	The new window located on the second-story bay shall match the material and design of the existing historic windows. The wood shingles used to fill in the apex window above the bay shall match the dimensions and appearance of the shingles used on the historic portion of the residence. The applicant shall work with staff to ensure compliance with this condition.	✓

24.	The wood-shingle siding on the new addition shall be differentiated from the existing historic siding, in pattern and dimension. The new shingles shall have dimensions of 10" x 4" (l x w) to be differentiated from the historic shingles that measure 16" x 6". The construction drawings submitted with the building permit application shall include a note to indicate compliance with this condition.	✓
25.	All new windows, with the exception of the front bay, shall be differentiated from the historic windows. The applicant shall work with staff to ensure compliance with this condition.	✓
PC Special Conditions		
26.	The portion of the new addition that encroaches into the 6-foot setback of the oak trees shall include a bridged footing to protect the root system of the tree. The construction drawings submitted with the building permit application shall include specifications on the bridged footing.	✓
27.	The applicant shall revise the plans to maintain a 2-car garage. The revisions shall be included on the construction drawings submitted with the building permit application and will be verified by staff.	✓
28.	Prior to issuance of the Certificate of Occupancy the applicant shall remove 583 sq ft of site coverage as indicated on the approved plans.	✓
29.	The applicant shall remove all rocks from the public ROW at the front of the property prior to the issuance of the building permit. The applicant shall remove the existing brick pathway from the public ROW, or shall apply for an encroachment permit prior to the issuance of the building permit.	✓

*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

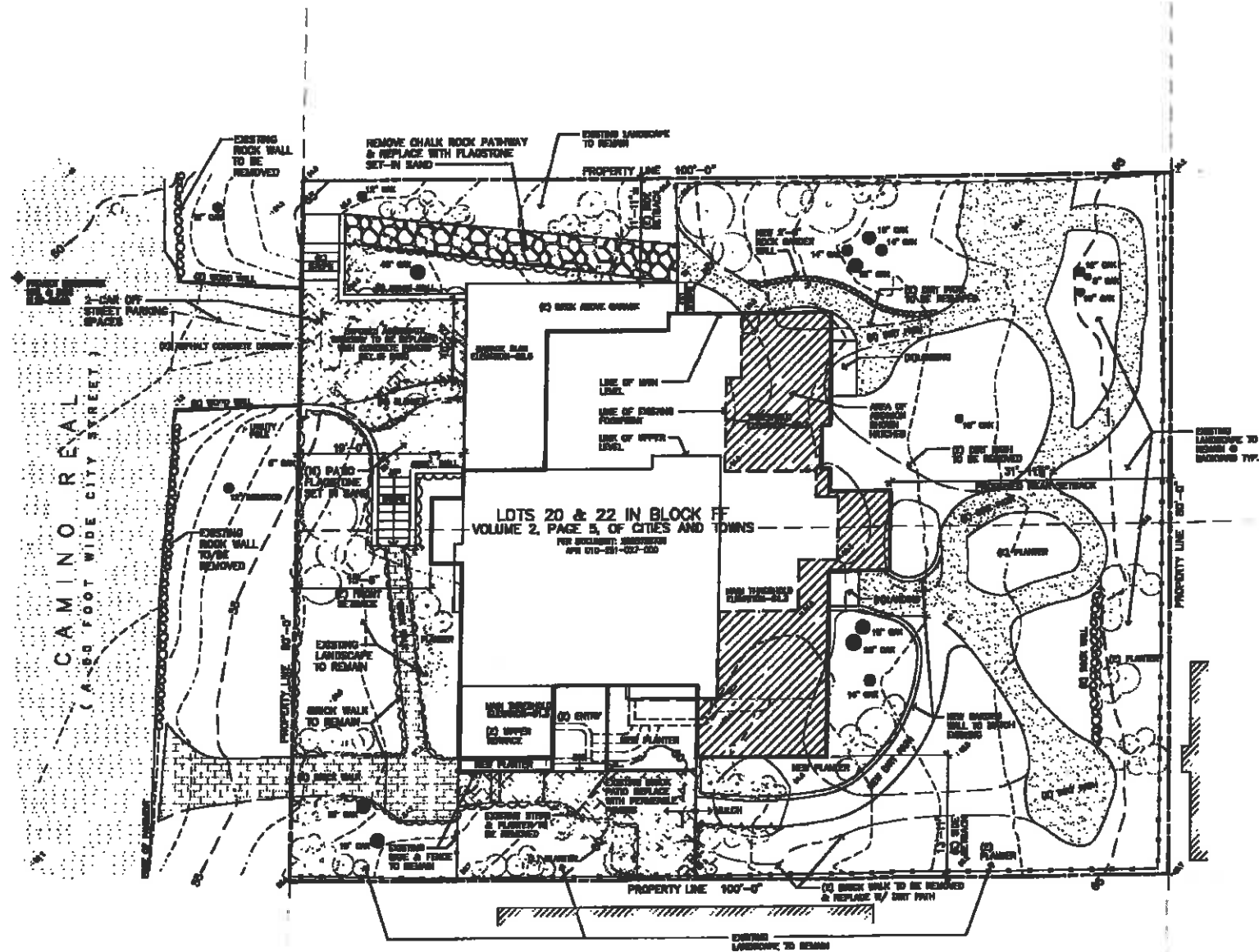
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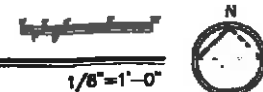
Once signed, please return to the Community Planning and Building Department.

VICINITY MAP

N.T.S



SITE / LANDSCAPE PLAN



1/8"=1'-0"

PLANNING INFO.

- PROPERTY OWNER: NICK & DON STURDIVANT
815 HEARLERTON DRIVE
NAPERVILLE, IL (60563)
PH. (830) 428-8888
- PROJECT ADDRESS: CAMINO REAL 7NE OF OCEAN
CARMEL, CA.
- PROJECT SCOPE: PROPOSED ADDITION TO MAIN LEVEL, REMODEL OF EXISTING UPPER LEVEL OF 2-STORY SINGLE FAMILY RESIDENCE WITH A BASEMENT.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 010-251-027-000
- LEGAL DESC.: LOT: BLOCK:
- ZONE: R-1
- STORES: 2 WITH BASEMENT
- MAX BLDG. HT: 24 FT
- GRADING: 5 CY CUT
- TREE REMOVAL: NONE
- TOPOGRAPHY: SLOPE
- PROJECT CODE COMPLIANCE: 2010 CBC, CMC, CPC, CFC, DEC, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING CODE, & CALIFORNIA ENERGY CODE
- ENERGY METHOD: MICROPAS V6.1, ENERGY PRO 8.0
- LOT AREA: 8,000 S.F.
- SITE COVERAGE CALCULATIONS:

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL
IMPERMEABLE:				
CONCRETE DRIVEWAY	312	(-312)	0	0
FRONT PATH (ROCK)-NORTH	184	(-184)	0	0
FRONT PATH (BRICK)-SOUTH	188	0	0	188
BACKYARD BRICK PATIO, WALKWAYS, AND LANDING	723	(-723)	72	72
SUB-TOTAL:	1415	(-1219)	72	268
SEMI-PERMEABLE:				
CONCRETE PAVEMENT DRIVEWAY (SET IN SAND)	0	0	208	208
FLAGSTONE PATHWAYS (SET IN SAND)	0	0	314	314
CONCRETE PAVEMENT PATIO (SET IN SAND)	0	0	142	142
SUB-TOTAL:	0	0	664	664
TOTAL SITE COVERAGE:	1415	(-1219)	638	832

EXISTING AND NEW DIRT WALKWAYS ARE NOT COUNTED AS COVERAGE

-SITE COVERAGE ALLOWED: 704.0 SF (22% OF GFA)
+ 171.0 SF (DRIVEWAY BONUS, 17.10.030.C.1-B)
= 875.0 SF

-EXISTING SITE COVERAGE: 1415 SF (18%)
-PROPOSED SITE COVERAGE: 832 SF (10%)

■ FLOOR AREA CALCULATIONS

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
MAIN FLOOR	1391	608	(-18)	1981
UPPER FLOOR	892	24	0	916
BASEMENT	254	211	0	465
GARAGE	488	0	(-211)	277
TOTAL	2725	743	(-229)	3,239

■ FLOOR AREA (PROPOSED): 3,272 SF
■ FLOOR AREA (ALLOWED): 3,300 SF

BASE FLOOR AREA 2,080 SF
LOT MERGER BONUS (30) (17.10.040.B.2-A) 240 SF
BASEMENT BONUS (17.10-D-IV) 100 SF

TOTAL ALLOWED: 3,300 SF (INCLUDING 100 SF IN BASEMENT)

RECEIVED

MAR 06 2014
City of Carmel-by-the-Sea
Planning & Building Dept.

JUN A. SILLANO, AIA

JOHN E. MATTHAMS

721 LIGHT-CRUISE AVE
PACIFIC GROVE CA
93950

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FAX: (831) 648-1880
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STAMP:

PROJECT/CLIENT:
NICKI AND DON STURDIVANT

PROJECT ADDRESS:
CAMINO REAL 7NE OF OCEAN CARMEL, CA.
APN: 010-251-027-000

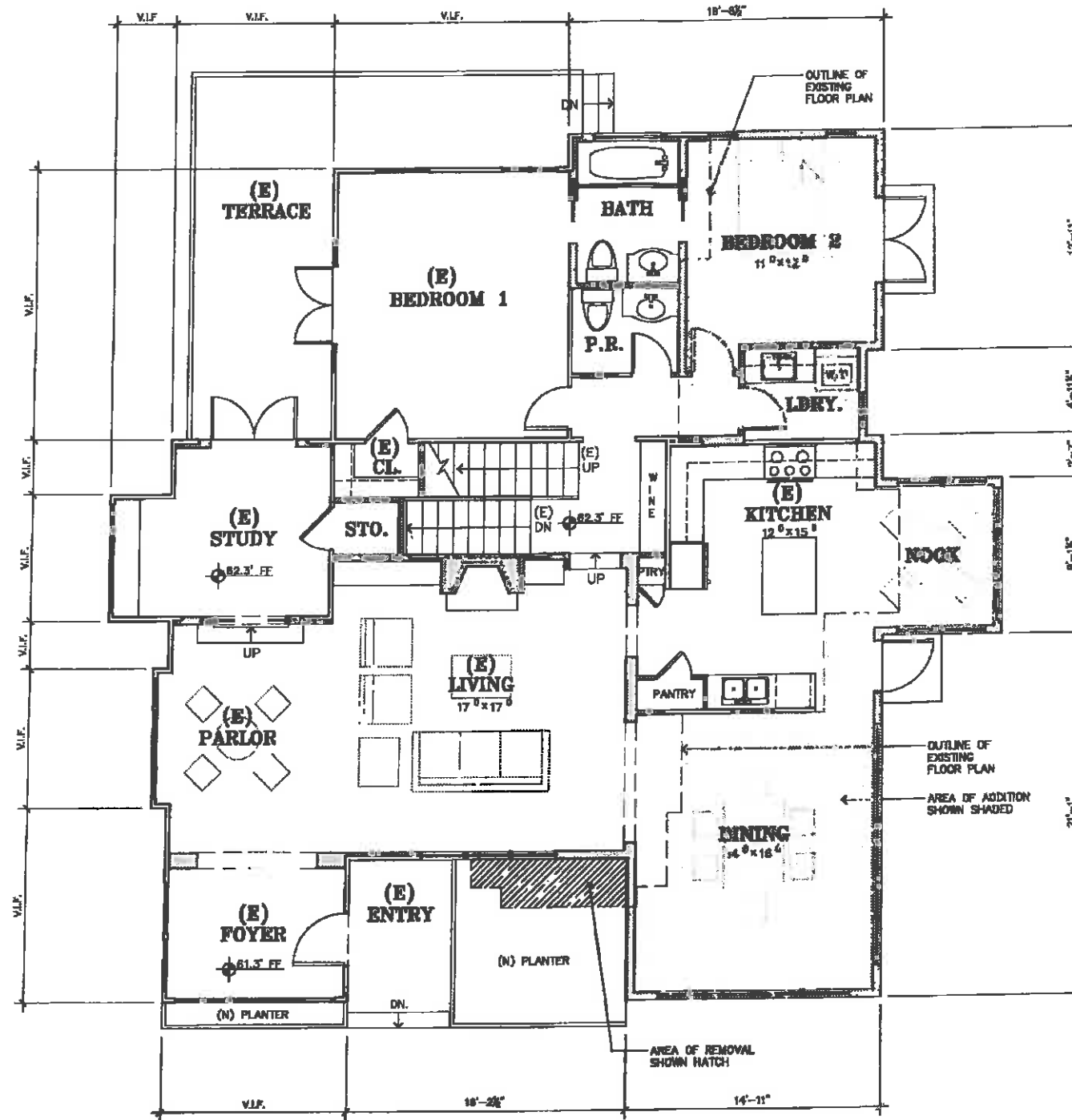
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DESIGN APPROVAL

REVISIONS:

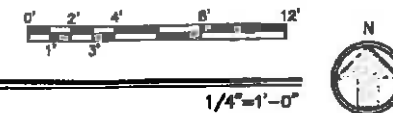
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SITE PLAN

SHEET NO.
A1.0



MAIN LEVEL PLAN



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.M.

JUN A. SILLANO, AIA



JOHN E. MATTHAMS

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PROJECT/CLIENT:

NICKI AND DON STURDIVANT

PROJECT ADDRESS:

CAMINO REAL
7NE OF OCEAN
CARMEL, CA.

APN: 010-251-027-000

DATE: 12-27-13

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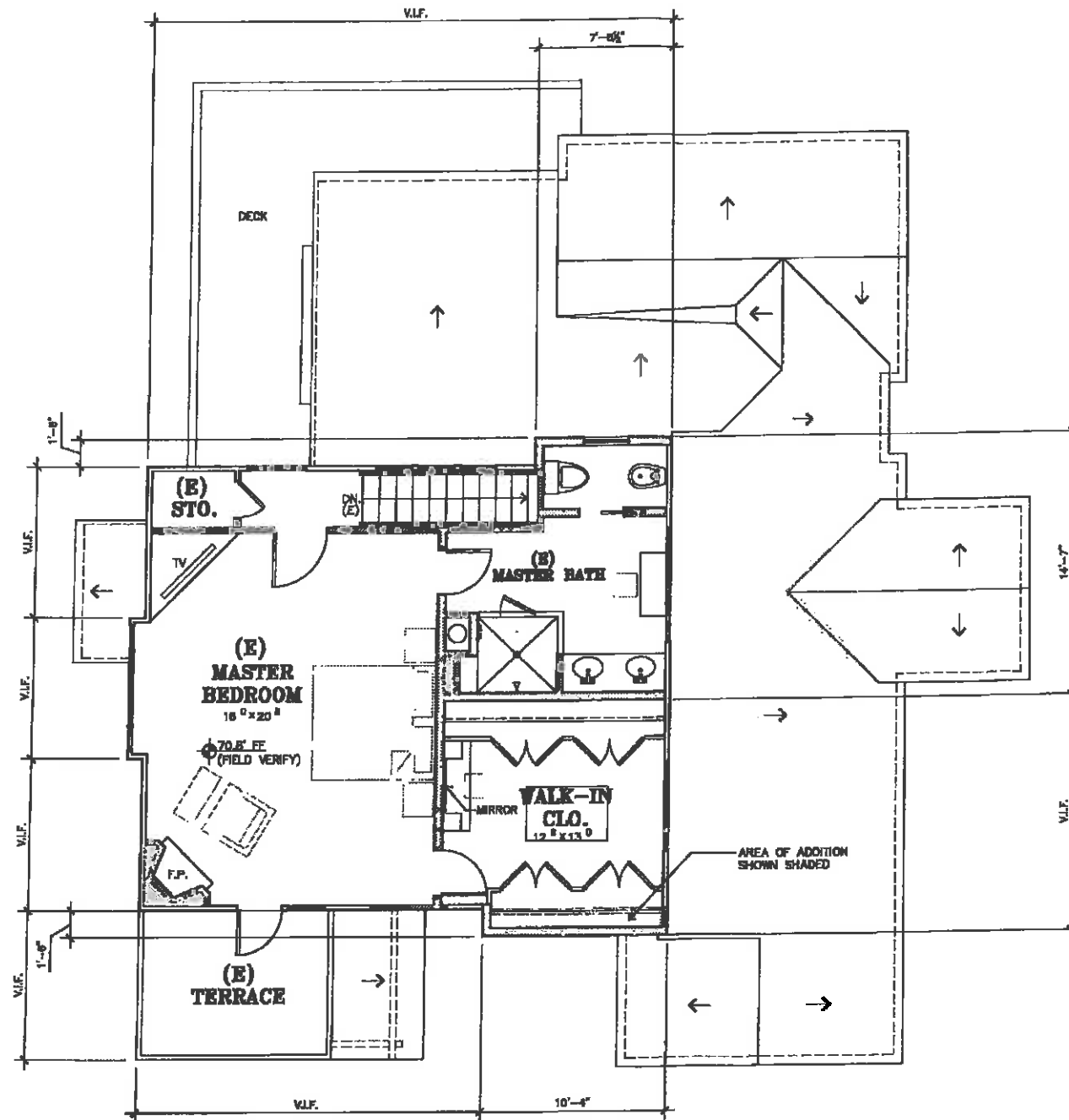
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MAIN LEVEL PLAN

SHEET NO.

A2.0



UPPER LEVEL PLAN



1/4"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X8 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, I.O.N.

JUN A. SILLAND, AIA
IDG
 ARCHITECTURE & PLANNING & INTERIOR DESIGN
JOHN E. MATTHIAS
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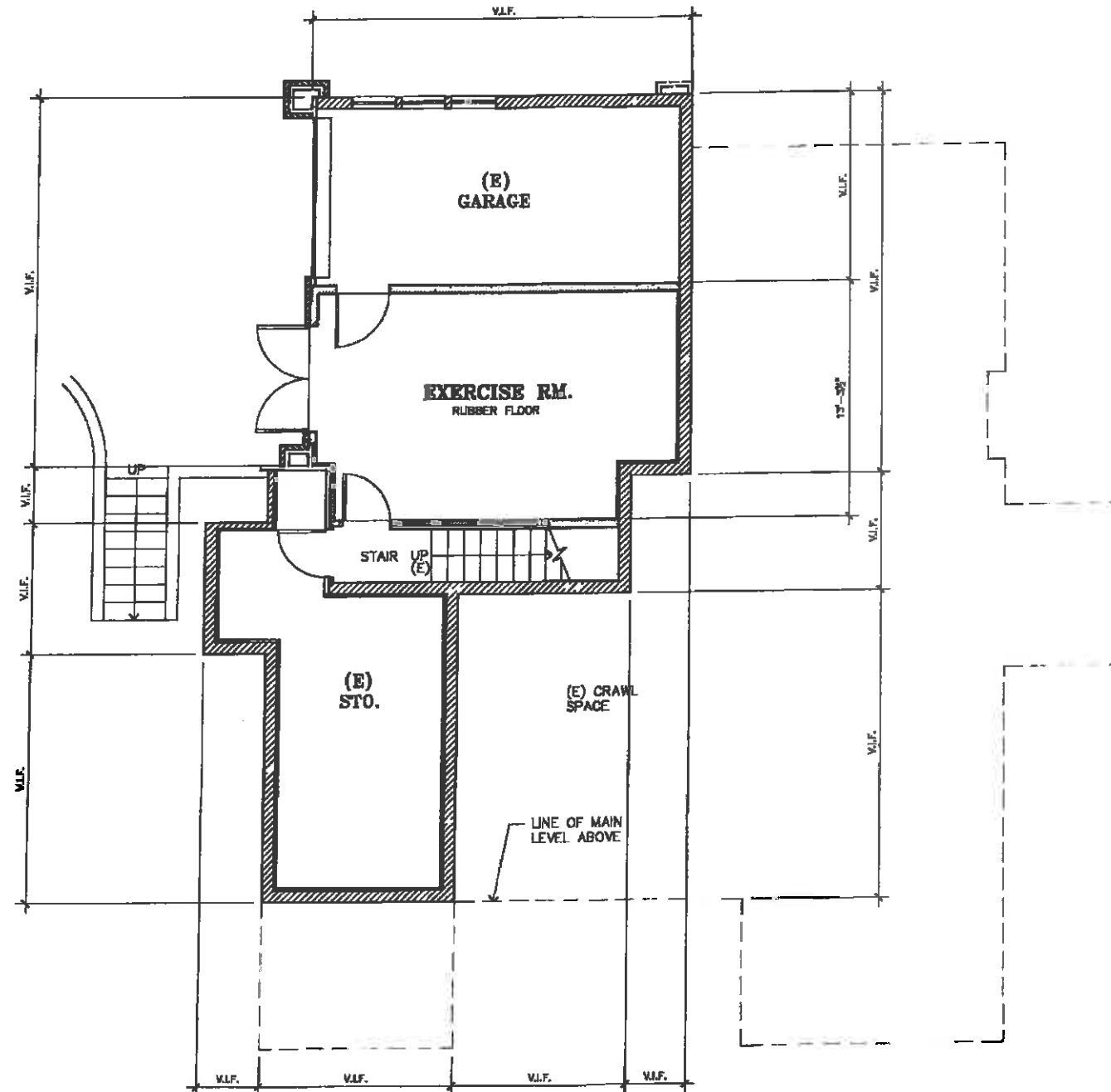
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UPPER LEVEL PLAN

SHEET NO.
A3.0



LOWER LEVEL PLAN



1/4"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

JUN A. SILLAND, AIA



JOHN E. MATTHAMS

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APN: 010-251-027-000

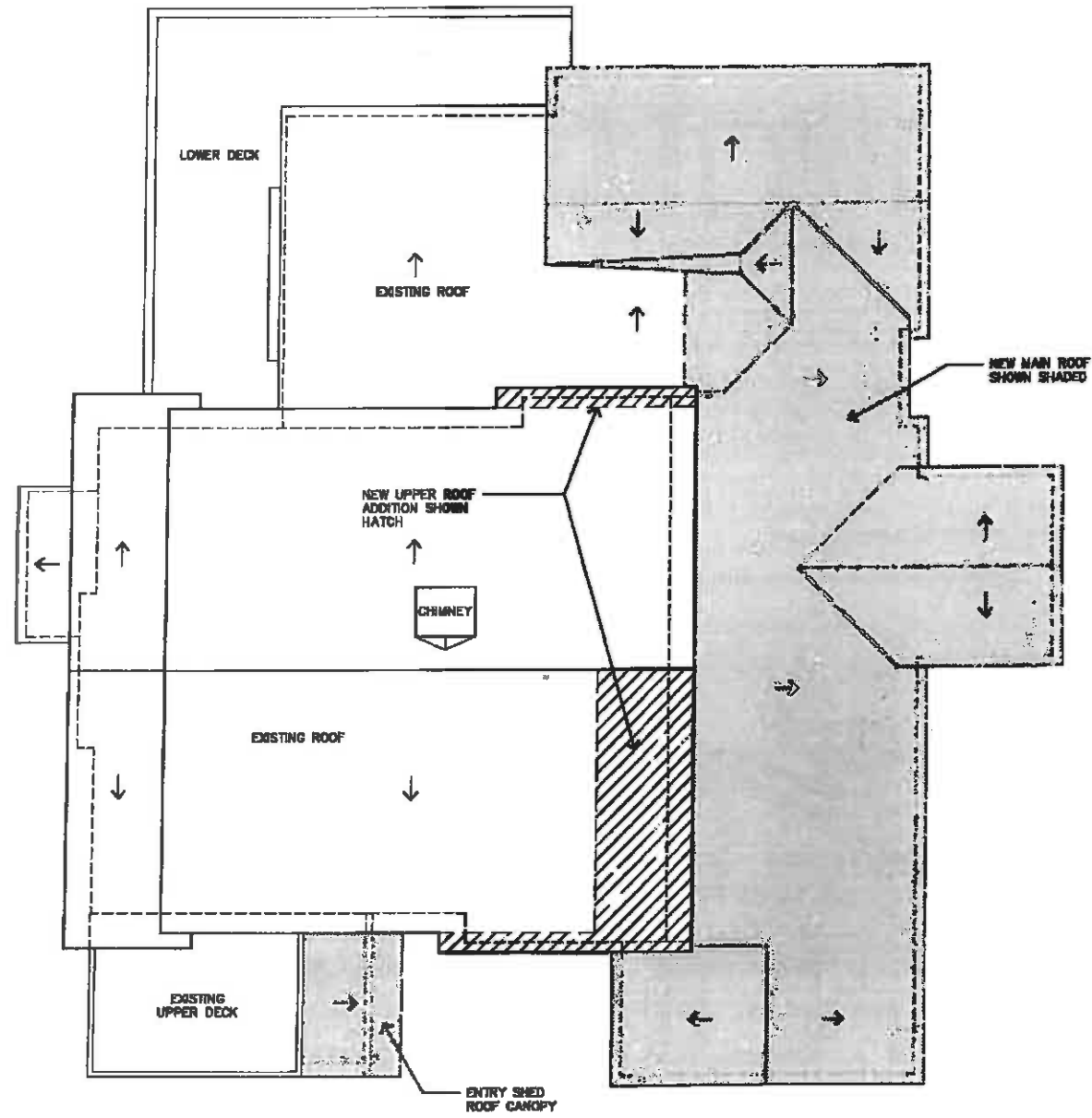
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LOWER LEVEL PLAN

SHEET NO.

A4.0



ROOF PLAN



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STURDIVANT

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7NE OF OCEAN
CARMEL, CA.

APN: 010-251-027-000

DATE: 12-27-13
DESIGN APPROVAL

REVISIONS:

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ROOF
PLAN

SHEET NO.
A5.0

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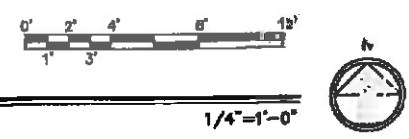
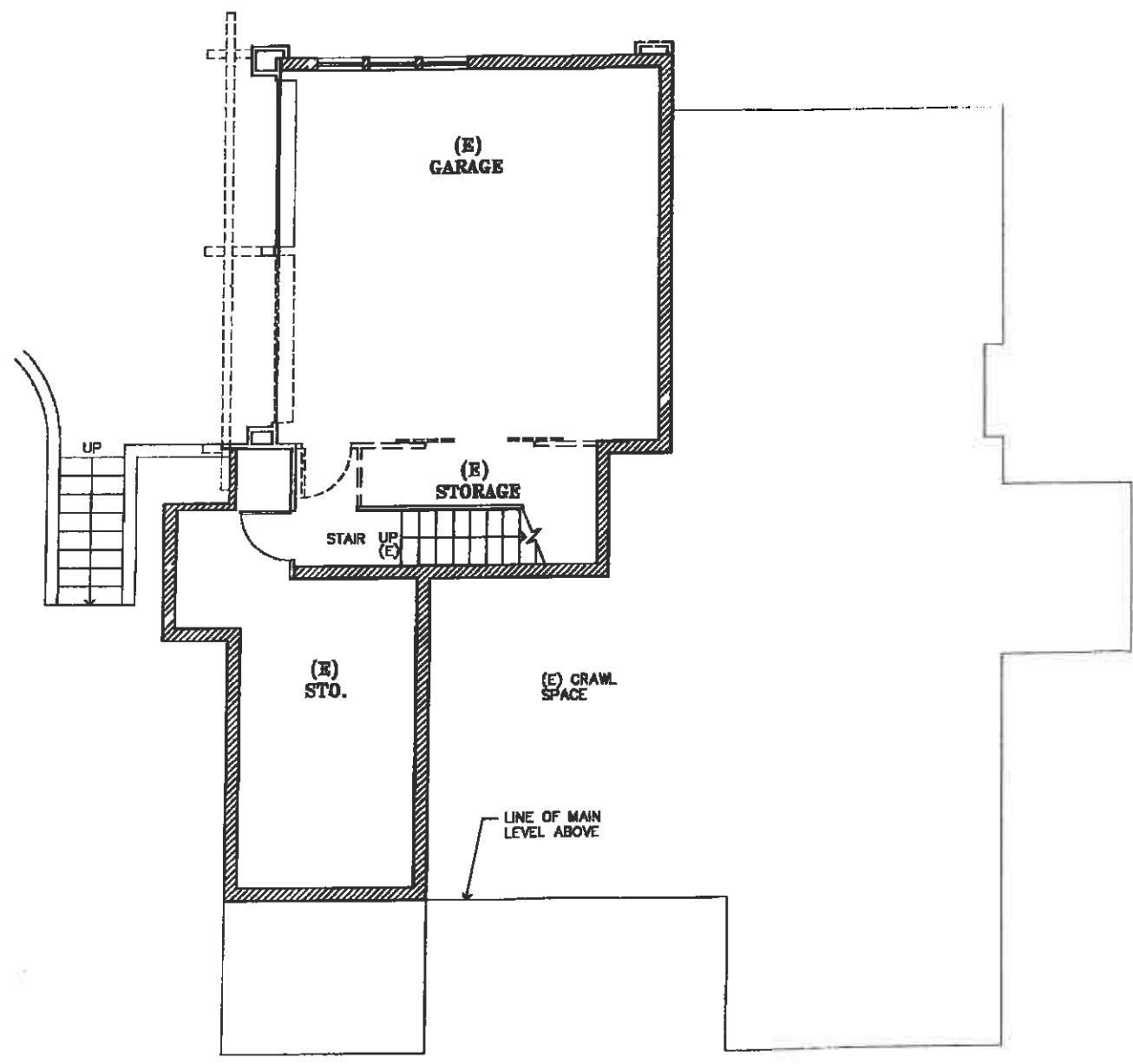
PROJECT/CLIENT:
 NICKI AND DON STURDIVANT
PROJECT ADDRESS:
 CAMINO REAL
 7NE OF OCEAN
 CARMEL, CA.
 APN: 010-251-027-000

DATE: 12-27-13
 DESIGN APPROVAL

REVISIONS:

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**LOWER LEVEL
 EXIST / DEMO**
 SHEET NO.
D3.0



LOWER LEVEL EXISTING-DEMOLITION PLAN

WALL LEGEND

	2X EXISTING WALL TO REMAIN
	(E) DOOR OR WINDOW TO BE REMOVED
	2X EXISTING WALL TO BE REMOVED



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

April 17, 2014

To: Chair Dallas and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director *RM*

Submitted by: Marc Wiener, Senior Planner

Subject: Consideration of a Preliminary Design Concept (DR 14-08) for the construction of a new single-family residence located in the Residential and Limited Commercial (RC) District.

Recommendation:

Receive a presentation from the applicant and provide conceptual review comments

Application:	DR 14-08	APN:	010-087-016
Block:	89	Lots:	14 & N ¼ of 16
Location:	Mission Street, 3 parcels northeast of 8th Ave		
Applicant:	Robert Littell	Property Owners:	James & Catherine Bell

Background and Project Description:

The project site is located on Mission Street, three parcels northeast of Eighth Avenue, in the Residential and Limited Commercial (RC) Zoning District. The lot is developed with a single-family residence and detached garage located in the front-yard setback. The lot slopes up from the street at approximately 20% and contains 18 trees.

The applicant is proposing to demolish the existing residence and construct a new two-story single-family residence. The proposed residence would be 2,150 square feet in size and would be clad with wood-shingle siding. The design includes an attached garage that is located 5 feet back from the front property line. Staff notes that the garage would be located in the 15 foot front-yard setback and would require a Variance.

The applicant has submitted this design for preliminary concept review. For projects in the commercial districts, CMC 17.14.110 encourages applicants to present preliminary concept plans to the Commission for feedback and direction prior to formally submitting an application for design review. The purpose of this meeting is to provide direction to the applicant on the proposed project.

Staff Analysis:

Zoning Standard: The project site is located in the Residential and Limited Commercial (RC) Zoning District. Single-family residences are permitted in the RC Zoning District; however, CMC Section 17.14.011 states that *“development of single-family residences in the RC district shall be consistent with the standards and criteria identified in Chapter 17.10: R-1 District Design Regulations.”* Hence, the R-1 Zoning Standards and Design Guidelines would apply to this project because the applicant is proposing a single-family residence.

Variance: On April 11, 2012, the Planning Commission reviewed a preliminary design concept for a new single-family residence at the subject property. The design of the residence was different than that being presented to the Planning Commission at this meeting. However, the original design concept was similar in that it included a proposal to locate an attached garage in the front-yard setback, which would require a Variance. Staff notes that the applicant is proposing an elevator that would be accessible from the garage.

At the April 2012 meeting, the Planning Commission supported the concept of a Variance based on the physical constraints of the property, which included the steep slope of the property and the 18 trees located on site. The Commission also supported the proposal because the connection between the main residence and garage was below grade, making the garage appear detached from the residence.

Pursuant to CMC 17.10.030.A.1, detached garages are permitted in the front-yard setback with Planning Commission approval. Staff supports the proposal to place the garage in the front-yard setback as it would reduce the need for retaining walls or a steep sloped driveway. However, staff recommends that the garage be detached to comply with the zoning requirements. Staff notes that the garage could be located 5 feet farther forward, which would provide space between the garage and residence to allow access to an elevator room.

Design: Based on preliminary analysis, staff could support the overall design concept. The proposed residence has a contemporary-style appearance with natural finish materials such as

wood-shingle siding, a stone veneer, unclad wood windows, and a wood-shingle roof. The height and mass of the building would be compatible with the surrounding buildings in the neighborhood.

Because this is a preliminary concept review, staff has not included an in-depth analysis. However, based on the preliminary plans submitted by the applicant, staff's has identified three potential issues with the design which are 1) the large amount of glazing on the south elevation, which could impact the property to the south and could create nighttime light pollution, 2) the front elevation includes eight roof ridge-lines and may appear too complicated, and 3) the proposal for an attached garage in the front-yard setback, which would require a Variance.

The Planning Commission should comment on the issues that have been identified by staff in addition to any other comments that could be helpful to the applicant as part of the preliminary concept review.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – Construction or conversion of a limited number of new or existing small structures.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Project Plans

Attachment A – Site Photographs

Project site facing northeast on Mission Street, looking up at property

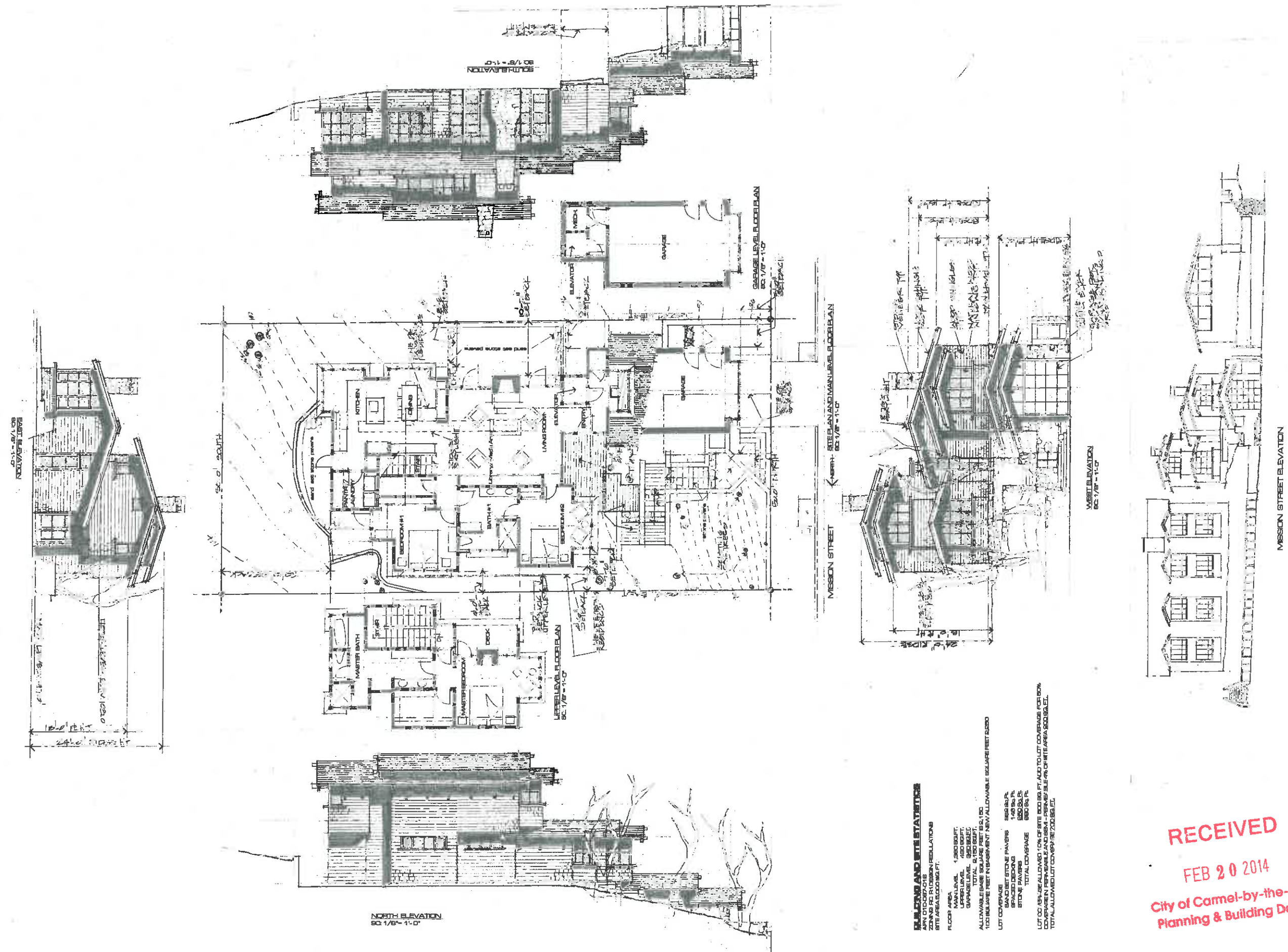


Sidewalk in front of project site - facing north on Mission Street



Project site facing east on Mission Street





BUILDING AND SITE STATISTICS

APR 01/00/07/016	APR 01/00/07/016	
ZONING R2-R1 RESIDENTIAL		
LOT AREA 6000 SQ. FT.		
FLOOR AREA		
MAIN LEVEL	1,580 SQ. FT.	986 SQ. FT.
UPPER LEVEL	880 SQ. FT.	130 SQ. FT.
DOWNER LEVEL	500 SQ. FT.	880 SQ. FT.
TOTAL	2,960 SQ. FT.	
ALLOWABLE BASE SQUARE FEET 184,180		
100 BULKHEAD FEET IN BASEMENT NEW ALLOWABLE SQUARE FEET 2000		
LOT COVERAGE		
BASEMENT STONE PAVING		986 SQ. FT.
PAVING		130 SQ. FT.
SPACED DECKING		880 SQ. FT.
STONE		880 SQ. FT.
TOTAL COVERAGE		2,960 SQ. FT.
LOT COVERAGE ALLOWED		
1000 BULKHEAD FEET ADD TO TOTAL COVERAGE PER 1000		
TOTAL ALLOWED LOT COVERAGE 300,000 SQ. FT.		
TOTAL ALLOWED LOT COVERAGE 300,000 SQ. FT.		

RECEIVED
FEB 20 2014
City of Carmel-by-the-Sea
Planning & Building Dept.

REVISIONS BY

Robert Littell Architect
P.O. BOX 2248, CARMEL, CALIF. 95018
TEL: (831) 482-6562 FAX: (831) 482-6562
THE AMERICAN INSTITUTE OF ARCHITECTS
CARMEL, CALIFORNIA

**HILL TOP HOUSE NEW RESIDENCE
FOR JAMES AND CATHERINE BELL**
3RD FIVE OF 8TH ON MISSION STREET CARMEL CALIF.
OWNER ADDRESS P.O. BOX 3757 CARMEL CALIF. 95021

Date	2/19/14
Scale	AS SHOWN
Drawn	RF
Job	
Sheet	
Of	
Sheet	



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

April 17, 2014

To: Chair Dallas and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director RM

Submitted by: Bryce Ternet, Contract Planner

Subject: Consideration of a Use Permit (UP 14-03) to establish a teahouse in an existing commercial space located in the Central Commercial (CC) Zoning District

Recommendation:

Approve Use Permit UP 14-03 subject to the attached findings and conditions of approval

Application: UP 14-03 **APN:** 010-086-006
Block: 78 **Lots:** All
Location: Ocean Avenue & Mission Street (Homescapes, Suite 112, Carmel Plaza)
Applicants: James Bull and Xuelin Han (The Tea House)
Property Owner: OWRF Carmel, LLC

Background and Project Description:

On May 12, 2010, the Planning Commission approved UP 10-5, which authorized the establishment of a retail space in excess of 5,000 square feet within the Carmel Plaza and which authorized more than one ancillary use for this space. The applicant for UP 10-5 and current occupant of the retail space is "Homescapes," a home furnishing store, which has operated in the City since 1999.

UP 10-5 identified that the ancillary use of up to 19% of the floor space would be dedicated to a full-service (full-line) restaurant. In UP 10-5, the restaurant use was foreseen to be connected to the retail store but would have a separate entrance. Additionally, it was determined that the future restaurant use would be processed under a separate Use Permit application. The UP 14-03 application for the establishment of "The Tea House at Homescapes" represents this future use foreseen within the retail space under UP 10-5.

The project site is a 1,000-square foot area within an existing commercial space in Carmel Plaza, located southeast of the intersection of Ocean Avenue and Mission Street. The site is zoned Central Commercial (CC). The applicants, James Bull and Xuelin Han, would own and operate the proposed teahouse. The teahouse would have a theme of a traditional early twentieth century Chinese teahouse. Chinese, Taiwanese, Japanese, and Indian teas would be served as hot and cold beverages. The applicant intends to additionally offer fresh fruit and vegetable drinks. Meal items would not be offered; however, condiments to teas in the form of baked goods may be offered. Additionally, tea sets, oriental tableware, linens, silks, artworks and ceramics, kitchenware, and bamboo sets would be available for purchase. The proposed hours of operation are from 10:00 a.m. to 9:00 p.m., 7 days a week. For comparison, the hours of operation for Homescapes are 8:00 a.m. to 10:00 p.m., 7 days a week.

The subject commercial space is approximately 1,000 square feet of an 11,855-square foot commercial space. A serving counter and preparation area are proposed within the space, in addition to five tables accommodating fourteen seats. Access to an existing restroom within the overall commercial space of the Homescapes store would be provided. Floor plans of the subject commercial space are included as Attachment D.

Staff analysis:

Use Permit: CMC 17.14.040.B requires a Use Permit for an ancillary use of 10% or more of the floor area of the primary use. In this case, the primary use would be the retail sale of furniture and accessories, and the ancillary use would be the sale of tea and tea-related products for both on-site and off-site consumption. The criterion for allowing an ancillary use is that it is compatible with the primary use. CMC 17.14.040.B also requires a use that combines activities falling within two or more North American Industry Classification System (NAICS) designations requires a Use Permit. The Municipal Code allows the Planning Commission to combine land use categories within a single business, when the different types of merchandise are clearly related by a common theme.

Analysis: The subject space is a 1,000-square foot portion of the existing 11,855-square foot commercial space. This represents less than 10% of the floor area of the primary use. The subject space is also less than the 19% of the overall floor area as originally was planned for the use of this retail space. However, as a home furnishing use (NAICS# 442299) and full-service restaurant use (NAICS# 722110) are proposed, a Use Permit is required.

Staff notes that the approval of UP 10-5 considered a future full-line restaurant within the retail space to be a compatible use with the home furnishings store. However, as it was noted that a separate Use Permit application for the restaurant would be required, the proposed teahouse is before the Planning Commission for consideration.

It is staff's opinion that the proposed restaurant use of a tea house, offering hot and cold teas and assorted baked products for consumption on-site or off-site would not be considered a full-line restaurant, yet would be a restaurant-related use. Staff finds the proposed use more appropriately labeled as a "Snack and Nonalcoholic Beverage Bar" (NAICS #722515) than a Full-Service Restaurant. Additionally, it is staff's opinion that a tea house would be a compatible use within the surrounding setting of the home furnishings store.

However, staff notes that the project description of UP 10-5 described the restaurant facility to be located within the retail space as having a separate entrance. The site plan submitted by the applicant on January 22, 2014, identifies a "possible future door location," located immediately adjacent to the proposed tea house area of the retail space, which would allow immediate ingress and egress to the tea house area. As the original approval of UP 10-5 identified a separate entrance for proposed restaurant uses on the site, staff has included a special condition requiring the establishment of this separate entrance.

Alternatives: Staff recommends approval of UP 14-03. Alternatively, the Planning Commission may deny the request or may require additional changes as deemed necessary to achieve compliance with the City Municipal Code.

Environmental Review: The application qualifies for a Class 3 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 exemptions include projects involving limited new construction projects and conversion of small structures.

ATTACHMENTS:

- Attachment A – Findings for Approval
- Attachment B – Conditions of Approval
- Attachment C – Applicant Correspondence
- Attachment D – Floor Plan

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR APPROVAL

UP 14-03

The Tea House

Ocean Avenue & Mission Street (Homescapes, Suite 112, Carmel Plaza)

Block: 78, Lots: All

APN: 010-086-006

CONSIDERATION:

Consideration of a Use Permit (UP 14-03) to establish a teahouse in an existing commercial space located in the Central Commercial (CC) Zoning District

FINDINGS OF FACT:

1. The commercial space is located within Carmel Plaza at the intersection of Ocean Avenue and Mission Street. The commercial space is 1,000 square feet in size.
2. The applicant applied for a Use Permit on January 28, 2014, to allow for the establishment of a teahouse as an ancillary use. The application was deemed complete for processing on March 10, 2014.
3. CMC Section 17.14.040 requires Planning Commission review of a Use Permit for a use that combines activities falling within two or more North American Industry Classification System (NAICS) designations.
4. The proposed uses are classified as follows according to the NAICS:

Primary Use
Home Furnishings, NAICS#: 44229

Ancillary Use
Snack and Nonalcoholic Beverage Bars, NAICS#: 722515
5. The application qualifies for a Class 3 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 exemptions include projects involving limited new construction projects and conversion of small structures.

FINDINGS FOR DECISION:

1. The proposed use is not in conflict with the General Plan.
2. The proposed use, as conditioned, will comply with all zoning standards applicable to the use and zoning district.
3. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.
4. The proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, street capacity and fire protection.
5. The proposed use will not be injurious to public health, safety or welfare and provides adequate ingress and egress.
6. The proposed use will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.
7. The proposed use will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.

REQUIRED FINDINGS (CMC 17.64.060 – Ancillary Uses):

1. The ancillary use of a teahouse is compatible with the primary use of retail home furnishing sales.
2. The proposed uses will not exhibit a character of multiple, unrelated activities combined into one business.
3. The store will continue to contribute to the character and diversity of the commercial district.

Attachment B

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

UP 14-03

The Tea House

Ocean Avenue & Mission Street (Homescapes, Suite 112, Carmel Plaza)

Block: 78, Lots: All

APN: 010-086-006

AUTHORIZATION:

1. Use Permit (UP 14-03) establishes a teahouse as an ancillary use in an existing commercial space located in the Central Commercial (CC) Zoning District. The retail space totals 11,855 square feet, and the teahouse component would utilize 1,000-square foot area in the northeast corner of the main space. The teahouse would be open 7 days a week from 10:00 am to 9:00 pm.

SPECIAL CONDITIONS:

2. The applicant shall construct the new door location as indicated on the site plan dated February 19, 2014. The building permit application for this project shall identify the new doorway on the floor plan submitted for review and approval by the Community Planning & Building Director prior to the issuance of a business license.
3. The facility is permitted to operate between the hours of 10:00 p.m. and 9:00 p.m. daily.
4. No signs may be installed until the appropriate sign permit or permits have been obtained from the Community Planning and Building Department.
5. No special events are permitted with this Use Permit.
6. All exterior alterations and/or sign changes, and interior renovations that may require a building permit, require approval from the Department of Community Planning and Building prior to commencing work.
7. The use shall be conducted in a manner consistent with the presentations and statements submitted in the application and at the public hearing, as conditioned or revised prior to approval and any change in the use which would alter the findings or conditions adopted as part of this permit shall require approval of a new Use Permit by the Planning Commission.
8. This Use Permit shall become void and of no further force or effect if the use is not initiated within six months and/or upon termination or discontinuance of the use for any period of

time exceeding six months.

9. Violations of the terms of this Use Permit or ordinances of the City may constitute grounds for revocation of this Use Permit and the associated business license by the Planning Commission.
10. Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water use as compared to the previous use, this Use Permit will be scheduled for reconsideration.
11. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

*Acknowledgement and acceptance of conditions of approval.

_____	_____	_____
Applicant Signature	Printed Name	Date
_____	_____	_____
Property Owner Signature	Printed Name	Date

Once signed, please return to the Community Planning and Building Department.

Attachment C - Applicant Correspondence

To: The Planning Department of Carmel-By-The-Sea

From: The Tea Shop, in Carmel Homescapes

My name is James Bull, I have owned three restaurant previously as well as being the founder of Magic Mountain Coffee the Roastery in Vermont. My Spouse is Dr./Professor Han Xuelin, together we will own and operate the teahouse.

The principle selling will be presented as traditional Chinese teahouse with a time period designed to feel like early twentieth century.

The fare will be Chinese, Taiwanese, Japanese, and Indian teas principally with service of hot and cold beverages. We will also serve fresh fruit and vegetable drinks. The condiments to be served will be baked goods purchased from off premises.

We will offer tea sets, oriental tableware, linens, silks, artworks and ceramics, kitchenware, bamboo sets all in keeping with the theme set by Homescapes Carmel.

We hope this creates an acceptable picture of our intent.

Sincerely,

Xuelin Han



James Bull



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FEB 19 2014
City of Carmel-by-the-Sea
Planning & Building Dept.

Bryce Ternet

From: James Bull [jbull.remax@gmail.com]
Sent: Monday, February 24, 2014 2:58 PM
To: Bryce Ternet
Subject: Re: Teahouse Hours of Operation?

Bryce,

Initially 10:00 AM to 9:00 PM seven days a week with a high likelihood that they will be shortened as soon as we find a customer base and determine their preference of operating hours.

Regards,

James Bull

On Mon, Feb 24, 2014 at 11:06 AM, Bryce Ternet <btinternet@ci.carmel.ca.us> wrote:

James,

Can you please tell what the proposed hours of operation would be for the Teahouse?

-Bryce

Bryce Ternet

Contract Planner

Community Planning and Building Department

City of Carmel-by-the-Sea

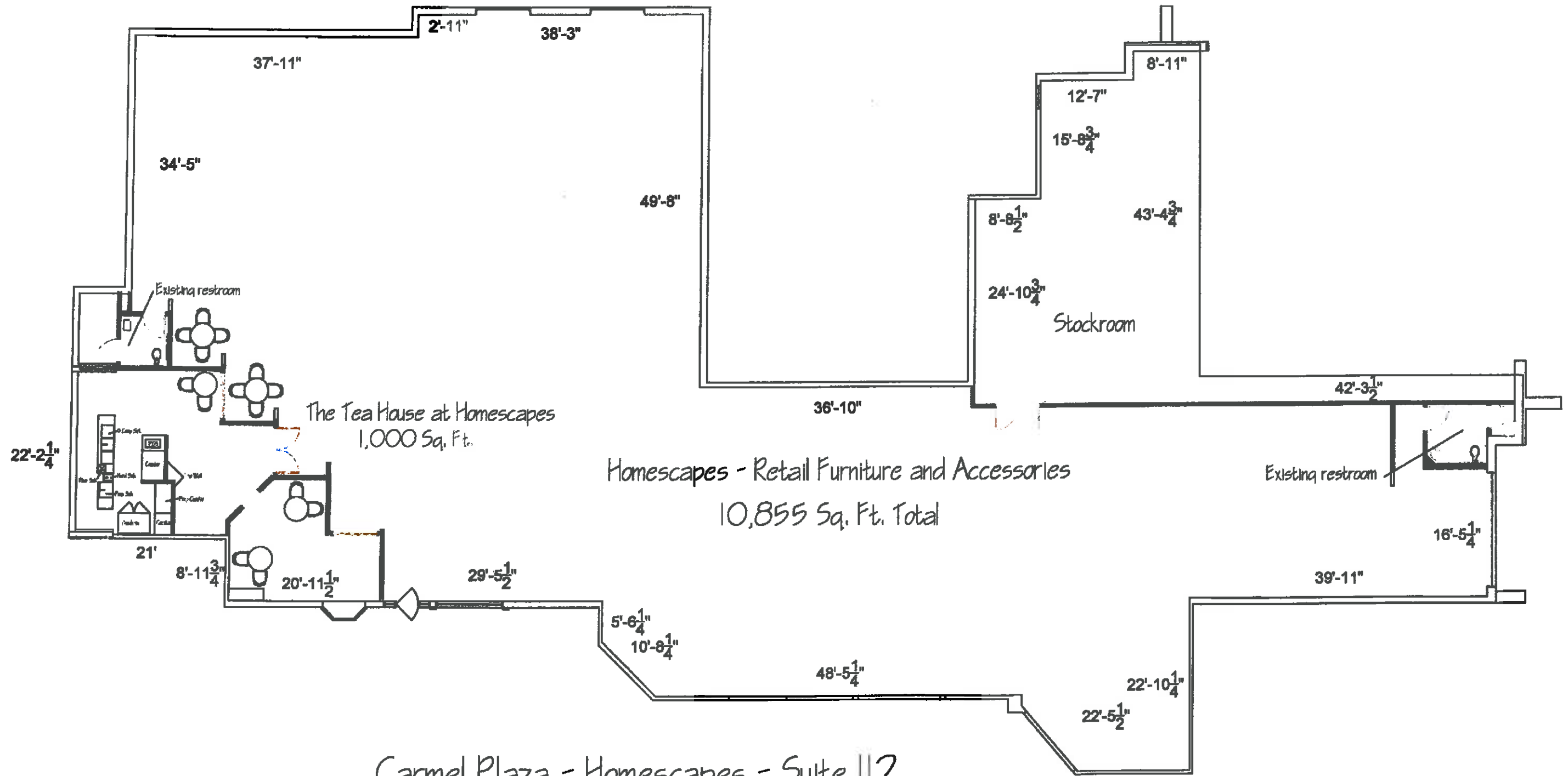
P.O. Drawer G

Carmel-by-the-Sea, CA 93921

[\(831\) 620-2010](tel:(831)620-2010)

btinternet@ci.carmel.ca.us

Attachment D - Floor Plan



Carmel Plaza - Homescapes - Suite 112
 11,855 Sq. Ft. Total (less Tea House)

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 FEB 19 2014
 City of Carmel-by-the-Sea
 Planning & Building Dept.



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

April 17, 2014

To: Chair Paterson and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director *RM*

Submitted by: Marc Wiener, Senior Planner

Subject: Consideration of a Use Permit (UP 14-09) to establish a retail wine shop with wine tasting as an ancillary use in an existing commercial space located in the Service Commercial (SC) Zoning District

Recommendation:

Determine the appropriate action. Staff has provided findings and conditions of approval should the Planning Commission choose to approve the Use Permit (UP 14-09).

Application: UP 14-09 **APN:** 010-138-019
Block: 55 **Lots:** 10 & 12
Location: Lincoln Street 4 NE of 6th Ave (Cortile San Remo Building)
Applicant: Jim Schultze (Windy Oaks) **Property Owner:** Greg Schultz

Background and Project Description:

The project site is located on Lincoln Street four parcels northeast of Sixth Avenue at Su Vecino Court. The site is developed with a two-story commercial building called the Cortile San Remo Building. The applicant, Jim Schultze, is requesting to open a wine shop with an ancillary use of wine tasting. Mr. Schultze owns the Windy Oaks Estate Winery, which has wine-producing facilities located in both Santa Cruz and Monterey Counties. Background information on Windy Oaks winery is included as Attachment D.

The applicant would sell wines produced by Windy Oaks in addition to wine-related retail items. The proposed hours of operation are from 12:00 p.m. to 8:00 p.m., 7 days a week.

The subject commercial space is approximately 677 square feet in size and would include a standing-bar that would be 12 feet long by 5 feet wide and would occupy an area that is approximately 60 square feet in size. A floor plan of the subject commercial space is included as Attachment F.

On April 1, 2014, the City Council adopted Urgency Ordinance 2014-03, which established a moratorium on wine tasting Use Permit applications that have not been deemed complete and applications that have been deemed complete but that do not include a Type 02 ABC license. Staff notes that UP 14-09 was deemed complete on March 7, 2014 and includes a proposal for a Type 02 license. It is therefore not subject to the moratorium.

Staff analysis:

Use Permit: CMC 17.14.040.B requires a Use Permit to be obtained for an ancillary use of 10% or more of the floor area of the primary use. In this case, the primary use would be retail sale of wine and the ancillary use would be wine tasting. The criterion for allowing an ancillary use is that it is compatible with the primary use. The Commission has determined in the past that wine tasting is an acceptable ancillary use to the retail sales of wine.

Wine Tasting Policy: Below is a summary of each component of the adopted wine tasting policy followed by an analysis of the proposal's compliance with the policy.

- *The primary purpose of wine tasting should be to encourage patrons to purchase wine for consumption off-site. Establishments should not operate as a wine bar where the primary purpose would be for patrons to drink wine.*
- *In order to avoid the appearance of a bar, the wine tasting service and seating area should generally be limited to no more than 30% of the floor area of the retail space.*

Analysis: The subject space is approximately 677 square feet in size, in which 465 square feet would be used for retail sales and wine tasting, while the other 212 square feet would be used for retail wine storage and a restroom. The proposed bar area would be 5 feet wide by 12 feet long and would occupy 60 square feet. There would be only two seats at the bar, which are designated for seating for disabled persons. The applicant is also proposing two chairs and a couch at the north end of the bar, which would occupy an area that is approximately 56 square feet in size.

The bar space and seating area would occupy approximately 116 square feet, or 25% of the 465-square foot retail/wine tasting area. Staff notes that the proposed business would not exceed the 30% maximum requirement for tasting/seating area and would not present the appearance of a bar.

- *Tasting should only involve traditional wine-based products such as still wines, sparkling wines or Port, no other alcoholic beverages should be permitted to be tasted or purchased.*
- *The maximum serving size should be 2 ounces per serving. Customers should not be permitted to drink bottles of purchased wine in the store, and no wine tasting should take place on public property.*
- *Light snacks may be allowed; however, appetizers and/or meals should not be permitted.*

Analysis: The applicant is proposing to only serve wine and no other alcoholic beverages. The cover letter provided by the applicant, included as Attachment D, indicates that the serving size would be pours of 2 ounces or less. The applicant is also proposing to serve light snacks such as crackers. If approved, the Use Permit would be conditioned with requirement that the samples be provided in a maximum of two ounce pours and that any food served would only include light snacks consistent with the requirements of the Wine Tasting Policy.

- *In order to encourage diversity and maintain a balanced mix of uses, one retail location offering wine tasting should not be located directly adjacent to another retail location offering wine tasting (not including restaurants). Generally, not more than five establishments offering tasting should be permitted along any one block.*

Analysis: The proposed wine shop would be located on Lincoln Street four parcels northeast of Sixth Avenue at Su Vecino Court. The proposed location meets the requirement for no more than five tasting establishments on the block, as there are no other wine tasting shops located on the subject block. Staff notes that the project site is located north of Ocean Avenue. The Planning Commission has indicated support for locating wine tasting shops north of Ocean Avenue, due to the high concentration of shops that are located south of Ocean Avenue.

With regard to location, CMC 17.40.040.J states that liquor stores are not permitted within 100 feet of the Single-Family (R-1) Residential Zoning District. Staff notes that the block located across the street, on the west side of Lincoln Street, is zoned R-1. The project site is located

approximately 130 feet from the R-1 Zoning District and therefore does not conflict with this standard. Staff also notes that the R-1 zoned property located on the west side of Lincoln Street is developed with the Pine Inn parking lot and the Christian Science building, and therefore the proposed wine tasting shop has less potential to impact neighboring residential uses.

- *Night time hours should be limited to no later than 10:00 p.m.*

Analysis: The proposed hours of operation are from 12:00 p.m. to 8:00 p.m., 7 days a week. The proposed wine shop would close two hours earlier than the maximum that is allowed under the policy.

- *Wines originating from Monterey County vineyards and wineries and locating their off-site tasting rooms in Carmel are desired and strongly encouraged.*

Analysis: The applicant has provided documentation in Attachment D indicating that the subject winery, Windy Oaks Estate, has wine-producing facilities located in both Santa Cruz and Monterey Counties. The Monterey County facility is located in Marina. However, it appears that the grapes are generally grown in Santa Cruz County, as indicated on the winery's website page which is included as Attachment E.

The applicant has provided information indicating that the Type 02 license for the Marina facility was applied for in February 2014, and is currently in process with the State Department of Alcoholic Beverage Control (ABC). The applicant has indicated that the wine shop would operate under a Duplicate 02 (ABC) tasting license from the Marina facility.

The proposed tasting room would have a Duplicate Type 02 license from Monterey County. This has been a key consideration by the City over the past several months. The wine tasting establishment would comply with the Wine Tasting Policy's guideline that the winery be from Monterey County; however, the proposal may not be consistent with the policy guideline that the vineyard be from Monterey County as the grapes are primarily grown in Santa Cruz County. The Planning Commission should discuss whether the proposal is consistent with the Wine Tasting Policy.

Alternatives: Staff has prepared draft findings and conditions of approval for Commission consideration based on the information submitted by the applicant. Special Condition #7 has

been drafted requiring the applicant to obtain a Monterey County based Duplicate Type 02 ABC license, prior to implementation of the Use Permit.

As an alternative to approving the Use Permit application, the Planning Commission could also continue the application until a Monterey County Winery Duplicate Type 02 ABC license is obtained. Alternatively, the Commission could also deny the application or request revisions if its finds that the proposal or floor layout is not consistent with the Wine Tasting Policy.

Environmental Review: The application qualifies for a Class 3 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 exemptions include projects involving limited new construction projects and conversion of small structures.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Applicant Cover Letter and ABC Application
- Attachment E – Website Page
- Attachment F – Project Plans

Attachment A – Site Photographs

Su Vecino Court facing west – Cortile San Remo building on right



Front of Cortile San Remo building – facing east on Lincoln Street



Attachment B – Findings for Approval

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR APPROVAL

UP 14-09

Jim Schultze

Windy Oaks Estate Winery

Lincoln Street 4 NE of 6th Ave (Cortile San Remo Building)

Block 55, Lots 10 & 12

APN: 010-138-019

CONSIDERATION:

Consideration of a Use Permit (UP 14-09) to establish a retail wine shop with wine tasting as an ancillary use in an existing commercial space located in the Service Commercial (SC) Zoning District

FINDINGS OF FACT:

1. The applicant, Jim Schultze, owner of Wine Oaks Estate Winery, applied for a Use Permit on February 24, 2014, to allow for retail wine sales with wine tasting as an ancillary use, and provided revised application materials on March 18, 2014, and April 8, 2014.
2. The commercial space is located in the Cortile San Remo Building, which is located on Lincoln Street, four parcels northeast of Sixth Avenue, in the Service Commercial (SC) Zoning District. The commercial space is approximately 677 square feet in size.
3. CMC Section 17.14.040 requires Planning Commission review for all Use Permits involving ancillary uses of 10% or more.
4. The proposed uses are classified as follows according to the North American Industrial Classification System (NAICS):

Primary Use

Retail Sales – 75% (wine, wine related merchandise)

Ancillary Use

Wine Tasting – 25%

5. The application qualifies for a Class 3 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 exemptions include projects involving limited new construction projects and conversion of small structures.

FINDINGS FOR DECISION:

1. The proposed use is not in conflict with the General Plan.
2. The proposed use, as conditioned, will comply with all zoning standards applicable to the use and zoning district.
3. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.
4. The proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, street capacity and fire protection.
5. The proposed use will not be injurious to public health, safety or welfare and provides adequate ingress and egress.
6. The proposed use will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.
7. The proposed use will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.
8. The proposed use is consistent with the City's adopted Wine Tasting Policy.

REQUIRED FINDINGS (CMC 17.64.060 – Ancillary Uses):

1. The ancillary use of wine tasting is compatible with the primary use of retail wine sales.
2. The proposed uses will not exhibit a character of multiple, unrelated activities combined into one business.
3. The store will continue to contribute to the character and diversity of the commercial district.

Attachment C – Conditions of Approval

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

UP 14-09

Jim Schultze

Windy Oaks Estate Winery

Lincoln Street 4 NE of 6th Ave (Cortile San Remo Building)

Block 55, Lots 10 & 12

APN: 010-138-019

AUTHORIZATION:

1. This Use Permit authorizes the retail sale of wine with an ancillary use of wine tasting based on the following percentages. Of the 677 square feet devoted to retail sales and wine tasting, 75% of this area (approximately 798 sq ft) will be used for retail sales, and 25% of the area (approximately 116 sq ft) may be used for wine tasting.
2. Wine sales and tasting shall be limited to wines produced by Windy Oaks Estate Winery.
3. The business is permitted to operate between the hours of 12:00 pm and 8:00 pm daily.
4. Up to four (4) special events are allowed per year, subject to written authorization from the Community Planning and Building Director, after review of the specifics of the request. Such specific requests shall be provided in writing to the Community Planning and Building Department no less than 30 days prior to the event.

SPECIAL CONDITIONS:

5. Tasting shall involve traditional wine based products such as still wines, sparkling wines or Port. No other alcoholic beverages are permitted to be tasted or sold.
6. The maximum serving size shall be 2 ounces per serving. Customers are not permitted to drink bottles of purchased wine in the store, and no wine tasting shall take place on public property or in the courtyard.
7. The applicant shall obtain a Type 02 Duplicate ABC license prior to and issuance of the certificate of occupancy.
8. All exterior alterations and/or sign changes, and interior renovations that may require a building permit, shall require approval from the Department of Community Planning and Building prior to performing the work.

9. The use shall be conducted in a manner consistent with the presentations and statements submitted in the application and at the public hearing, and any change in the use which would alter the findings or conditions adopted as part of this permit shall require approval of a new Use Permit by the Planning Commission.
10. This Use Permit shall become void and of no further force or effect if the use is not initiated within six months and/or upon termination or discontinuance of the use for any period of time exceeding six months.
11. Violations of the terms of this Use Permit or other ordinances of the City may constitute grounds for revocation of this Use Permit and the associated business license by the Planning Commission.
12. Upon termination or revocation of this Use Permit and/or business license for any reason, the use shall immediately cease and shall not be re-established without issuance of a new Use Permit.
13. Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water use as compared to the previous use, this Use Permit will be scheduled for reconsideration.
14. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

*Acknowledgement and acceptance of conditions of approval.

Applicant Signature

Printed Name

Date

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

WINDY OAKS

Attachment D - App Letter and ABC Documentation



RECEIVED

MAR 18 2014

City of Carmel-by-the-Sea
Planning & Building Dept.

February 24, 2014

To: Mr. Robert Mullane, AICP
Community Planning and Building Director
City of Carmel-By-The-Sea

Request: Use Permit and Business License for Jim Schultze, Windy Oaks Winery
Applicant: Jim & Judy Schultze, Windy Oaks Winery
Address: Cortile San Remo Building, Lincoln Street between 5th and 6th Avenues

Letter of Intent: Jim & Judy Schultze, owners of Windy Oaks Winery, propose to open a winery tasting room in the Cortile San Remo Building, north of Ocean Avenue. The purpose of the tasting room is to increase the exposure of Windy Oaks' wines, get new wine club members, and make retail sales of our wines.

Overview of Windy Oaks Winery: We are a small family-owned winery, currently making about 2500 cases of wine, of which about half (>1100 cases) comes from Monterey County. Windy Oaks was founded in Corralitos, just over the Monterey boundary, and has significantly expanded its operations in Monterey, where it has established a separate winery facility in Marina to make some of our Monterey wines. Our Monterey facility will provide the Duplicate 02 license for our tasting room.

For the last several years, we have partnered with Monterey pioneer Doug Meador who grows Grenache, Sauvignon Blanc, Pinot Gris and Chardonnay for us. To honor Doug and Monterey winegrowing history, we plan an historical display in our tasting room focusing on the founding and growth of Ventana Vineyards; Doug will provide many of the materials for this display.

Windy Oaks believes its future lies in Monterey, and in addition to the Monterey wines it already produces, this year will release a red blend from Monterey, as well as produce a Viognier, a Mouvedre, and a Syrah from Monterey. This tasting room is an extension of our commitment.

In support of our tasting room request, we can make the following salient points:

- Our proposed tasting room is located north of Ocean Avenue, with no other tasting rooms located in the block on either side of our location
- Our focus is clearly on wine tasting, with a stand-up tasting bar and very limited seating in our small tasting room
- Over 70% of the tasting room area would be devoted to retail displays of our wine and limited wine accessories such as cork screws, shirts and hats with our logo, and similar items; a detailed floor plan is attached
- We will pour only tastes of wine that we produce, focusing heavily on our wines from Monterey County (our other wines are from Santa Cruz Mountains), and limit pours to 2 ounces or less; no other alcoholic beverages would be poured or sold

- We propose to open seven days a week from 12pm-8pm each day, and anticipate having four employees, with no more than two working at a time
- As mentioned previously, we plan on having a small display in our tasting room showing some of the history of Monterey County wine and particularly focused on our colleague Doug Meador, who founded Ventana Vineyards and grows grapes for us
- With a focus on wine tasting and retail sales, we do not plan to have any special events in the tasting room, such as wine club meetings
- Food would be limited to very light snacks such as crackers
- We would provide an ABC 02 duplicate license from our Monterey County winery facility located in Marina

In conclusion, we are a small family winery with extensive ties to Carmel and Monterey County. Judy was born in Carmel and her parents lived on Dolores Street; many restaurants in Carmel and the rest of the county carry our wines; we are members of the Monterey County Vintners Association, and for several years Jim represented Monterey and Santa Cruz Counties on the Board of Directors of the Wine Institute. Also, we have many wine club members in the Monterey area. We believe we can make a strong positive contribution to the Carmel wine tasting experience.

3 Attachments

State of California

Department of Alcoholic Beverage Control

CERTIFICATION RE CHAPTER 15 TIED-HOUSE RESTRICTIONS

Instructions

- Type or print clearly in black or blue ink (do not use red).
- This form is to be completed by all applicants, retail and non-retail.
- This form is used to ensure compliance with tied-house laws, which generally prohibit or restrict vertical integration. These laws prohibit vertical integration of the three levels of the alcoholic beverage industry (manufacturer, wholesaler, and retailer). (Section 25500, et seq., Business & Professions Code.)

License Applicant Name (Item 1) -- Enter the name of the licensee applicant. For a limited partnership, limited liability company, or a corporation, the name of the entity.

License Type (Item 2) -- Enter the numeric designation for the applied-for license (e.g., Type 21) or a description (e.g., Off-Sale General).

Premises Address (Item 3) -- Enter the location of the proposed business.

Applicant Entity (Item 4) -- Check the box for the type of business ownership.

Certification (Items 5 & 6) -- Check the boxes that apply and explain ownerships, interests, gifts or loans.

Signature (Item 7) -- Any one signature for the certifying entity is sufficient (e.g., one general partner; one corporate officer; an LLC member, if member-run; the LLC manager, if manager-run; or LLC officer, if designated).

1. LICENSE APPLICANT NAME Strategy Partners International		2. LICENSE TYPE TYPE_02
3. PREMISES ADDRESS (Street number and name, city, zip code) 3344 Paul Davis Drive #6, Marina, CA, 93933		
4. APPLICANT ENTITY <input type="checkbox"/> SOLE PROPRIETOR <input type="checkbox"/> PARTNERSHIP <input type="checkbox"/> LIMITED LIABILITY COMPANY <input checked="" type="checkbox"/> CORPORATION		
5. CERTIFICATION		

Retail License Applicant

The above applicant, and/or any entity or person holding any direct or indirect ownership, management, or other interest in the applicant, and/or any entity or person in which the applicant holds any direct or indirect ownership, management, or other interest (including loans, loan guarantees and other indebtedness):

does does not hold any ownership or interest, directly or indirectly, in the business, property, license, or management of any alcoholic beverage producer, rectifier, importer, or wholesaler, in California or elsewhere.

Non-Retail License Applicant

The above applicant, and/or any entity or person holding any direct or indirect ownership, management, or other interest in the applicant, and/or any entity or person in which the applicant holds any direct or indirect ownership, management, or other interest (including loans, loan guarantees and other indebtedness):

does does not hold any ownership, directly or indirectly, in any retail license, or in the premises upon which such retail license is located, or in the furniture, fixtures or equipment in such business.

is is not an agent or employee of a retail licensee.

has has not furnished, given or loaned any money or other thing of value, directly or indirectly, to a retail licensee, or guaranteed the repayment of any loan or obligation owed by such retail licensee.

does does not have an interest in the manufacture, importation, or distribution of distilled spirits products in California or elsewhere.

6. EXPLAIN DETAILS IF YOU CHECKED "IS", "DOES" OR "HAS" IN ITEM 5.

Applicant is currently licensed with the CA ABC 02-380973, 17-361057 and 02-361057-1.

I have read all of the above information and certifications and declare under penalty of perjury they are true, correct, and complete.

7. PRINTED NAME OF PERSON SIGNING FORM James Kunert Schultze	TITLE President	SIGNATURE <i>James K. Schultze</i>	DATE SIGNED 3/20/14
---	--------------------	---------------------------------------	------------------------

ABC-140 (12/09)



WINDY OAKS ESTATE

WINE | WINE GROUP | EVENTS | ABOUT US | STORE | CONTACT US

FROM THE VINTNER



Mar 14 The most important part of my job as winemaker is what I do in the vineyard to ensure maximum grape quality and pristine condition at harvest. The French have a word, "vigneron," that describes someone who grows grapes and makes wine, and I think this is a good way to think about our approach. We view grape growing and winemaking as part of a single process – not two separate activities.

[click for more](#)

JOIN THE WINDY OAKS WINE GROUP

Windy Oaks Estate Wine Group Members enjoy special access to private reserve wines, along with discounted pricing on all store items.



[click for more](#)

VISIT WINDY OAKS ESTATE

We welcome you here at the winery Saturdays from noon to 5pm to taste, picnic, and explore our vineyard.



[click for more](#)

SPECIAL OFFERS

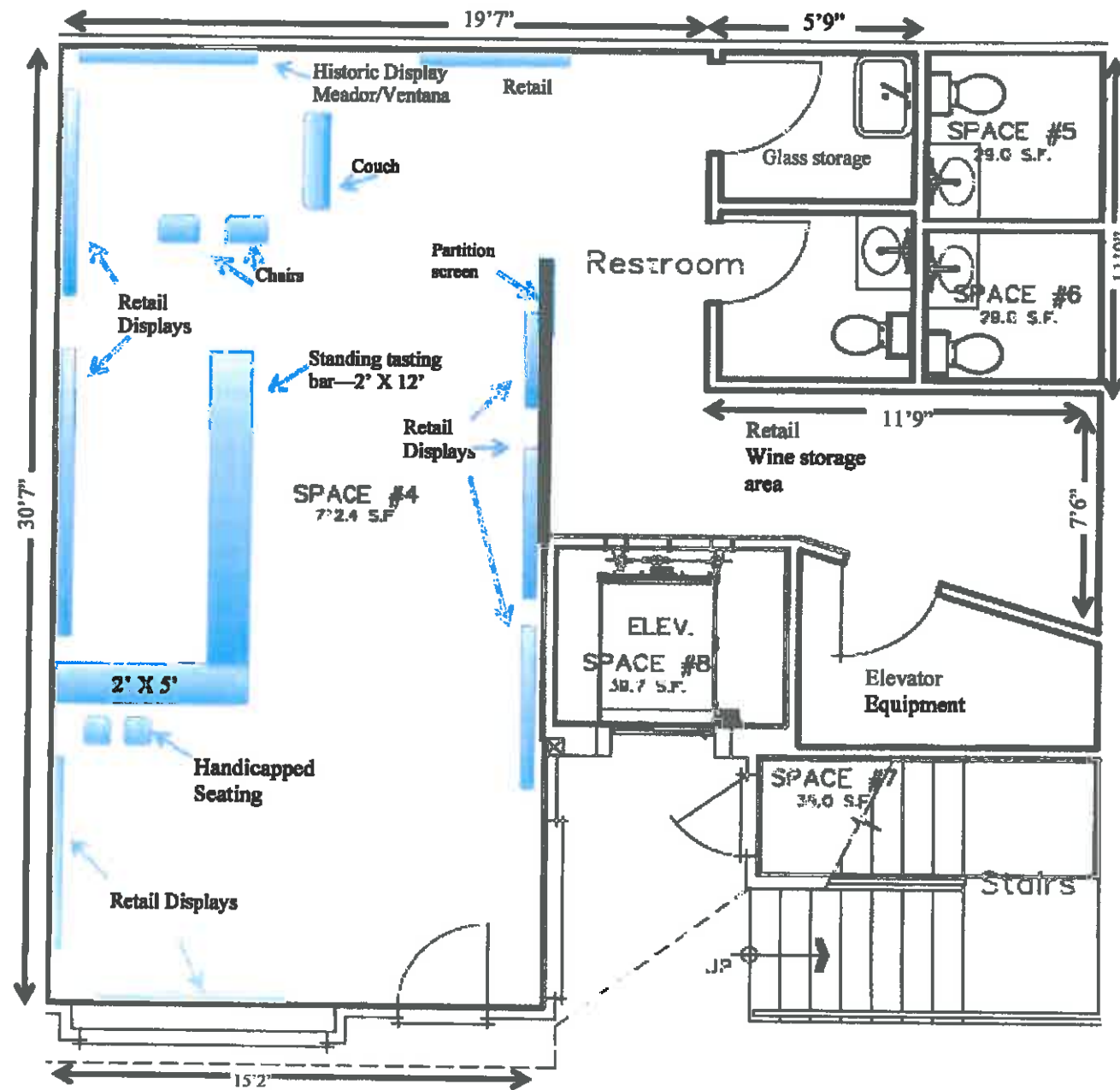


Limited Edition Windy Oaks poster
ADD TO CART \$35.00



Jeroboam of 2010 Proprietor's Reserve
ADD TO CART \$450.00

[click for more products](#)



**Windy Oaks
Proposed
Tasting Room
Space #4
Cortile San Remo
Building**

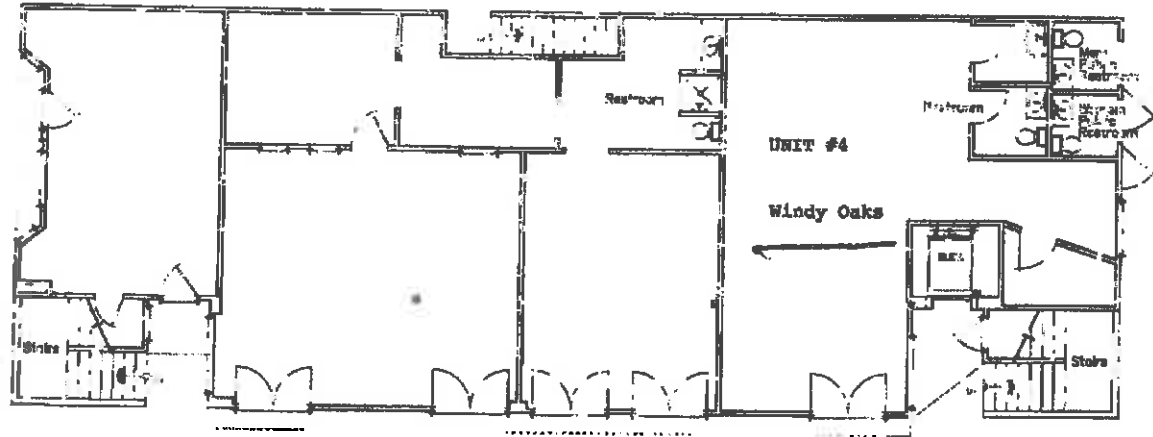
Lincoln between
5th & 6th Ave.
Carmel

RECEIVED

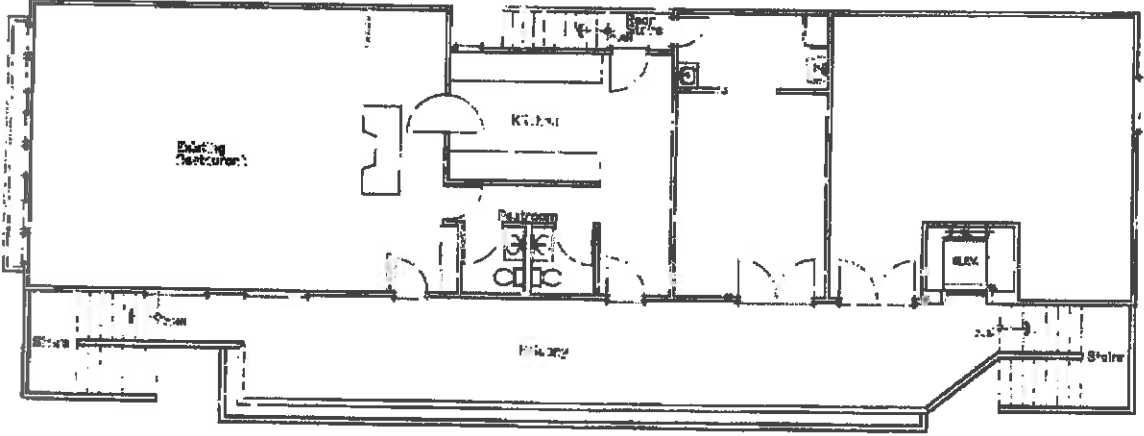
MAR 18 2014

**City of Carmel-by-the-Sea
Planning & Building Dept.**

Attachment 2



MAIN LEVEL



UPPER LEVEL



Existing Floor Area	
Main Level	4,800 SF
Upper Level	1,800 SF
Total	6,600 SF



C.O.D.C.
 COMMUNITY DEVELOPMENT
 1000 MARSHALL AVENUE
 DALLAS, TEXAS 75201
 (214) 671-1000

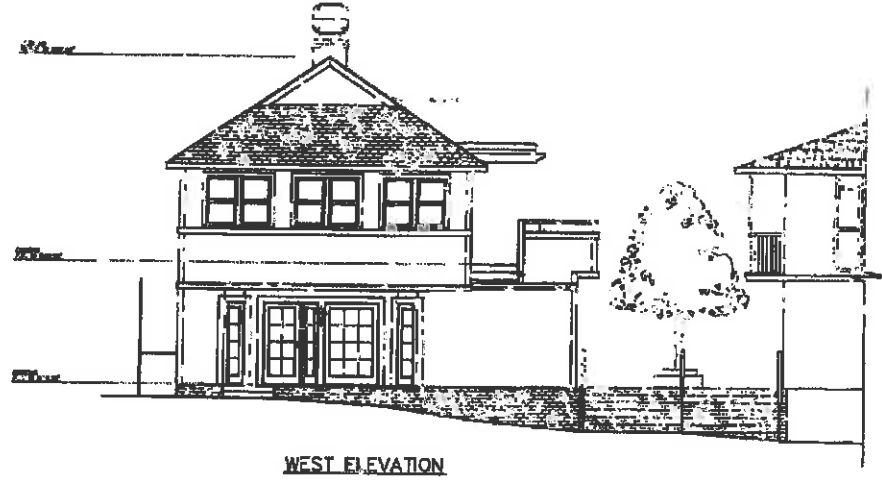
DATE: 08/11/10
 DRAWN BY: J. L. LAMAR
 CHECKED BY: J. L. LAMAR
 APPROVED BY: J. L. LAMAR

PROJECT: 1000 MARSHALL AVENUE
 1000 MARSHALL AVENUE
 1000 MARSHALL AVENUE
 1000 MARSHALL AVENUE
 1000 MARSHALL AVENUE

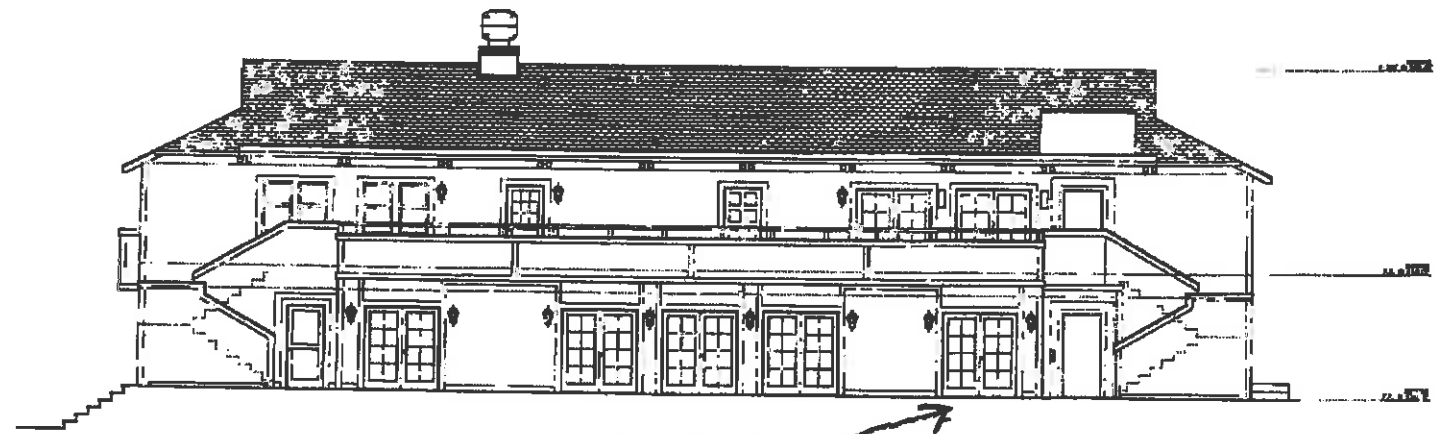
1000 MARSHALL AVENUE
 1000 MARSHALL AVENUE
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EXISTING FLOOR PLAN
2

Attachment 3



WEST ELEVATION



SOUTH ELEVATION

Windy Oaks
Unit #4



C.O.D.G.
COMMUNITY ORGANIZATION DEVELOPMENT GROUP
1225 E. 10th St.
Cedar Rapids, IA 52403
563-324-1111

OWNER
Windy Oaks
1225 E. 10th St.
Cedar Rapids, IA 52403
563-324-1111

DESIGNER
C.O.D.G.
1225 E. 10th St.
Cedar Rapids, IA 52403
563-324-1111

DATE
11-10-13
12-1-14

EXISTING ELEVATION

3



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

April 17, 2014

To: Chair Dallas and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director RM

Submitted by: Marc Wiener, Senior Planner

Subject: Consideration of a Use Permit (UP 14-04) to allow live music at an existing restaurant/bar located in the Central Commercial (CC) Zoning District

Recommendation:

Approve Use Permit (UP 14-04) subject to the attached findings and conditions

Application: UP 14-04 **APN:** 010-141-005
Location: San Carlos 2 NE of 7th Ave. (Carmel Square Courtyard)
Block: 77 **Lot:** 16
Applicant: Gabriel Georis (Mundaka's High Tide Bar) **Property Owner:** Sue Anne Kallay

Background and Project Description:

The project site is a commercial space at the rear of the San Carlos Courtyard, which is located on San Carlos Street two northeast of Seventh Avenue. The space was previously occupied by Ody's Tavern, which operated under Use Permit (UP 97-22). UP 97-22 allows a full-line restaurant with hours of operation from 8:00 a.m. to 12:00 a.m., seven days per week.

On February 24, 2014, the City issued a business license for Mundaka's High Tide Bar, a new restaurant/bar at the subject location. The license was issued to Mr. Gabriel Georis, who also owns the adjacent restaurant to the south: Mundaka.

Mr. Georis is requesting a Live Music Use Permit (UP 14-04) to allow live music to be played from within Mundaka's High Tide Bar, between the hours of 5:00 p.m. to 10:00 p.m. daily. According to the applicant, the music would include jazz, country, and rock bands. The space contains a small stage that would be used by the bands. Photographs of the interior are included as Attachment A.

Staff notes that Mundaka restaurant has a separate Live Music Permit (UP 12-14) that permits acoustic guitar and piano music Sunday through Wednesday, between the hours of 7:00 p.m. to 9:00 p.m.

Staff analysis:

Noise Sensitive Uses and Evaluation: Since the Live Music Ordinance (CMC 9.16) was adopted in 2006, the majority of Live Music permits issued by the City have been for instrumental music that is not amplified. This proposal, however, would be for live bands with amplified music. The Municipal Code does not prohibit amplified music, but it does place limitations on the noise levels and hours that music can be played. Pursuant to CMC 9.16.035, the allowed noise limit for live music is 55 decibels (dBA) as measured at the property line and is restricted to the hours of 12:00 p.m. to 10:00 p.m.

Staff met with the applicant on April 7, 2014, and conducted an acoustical analysis to evaluate the potential noise levels. Staff directed the applicant play recorded music from within the restaurant space while measuring the noise level at the property lines using a decibel meter. The recorded music reached a maximum noise level of 80-90 dBA from within the restaurant space, which was relatively loud and which was used to model noise levels expected to be generated by live bands. With the front door open, music at the 80-90 dBA level from within the space reached a maximum decibel level of 50 dBA at the San Carlos Street property line and 55 dBA at the northern property line adjacent to Wells Fargo Bank.

Staff notes that Mundaka's High Tide Bar is located at the back of the Carmel Square Courtyard and is approximately 50 feet from San Carlos Street. The surrounding buildings within 200 feet of the project site are primarily occupied by retail uses, as shown on the land use plan included as Attachment B. The proposed location may be appropriate for amplified music, in that it is set back 50 feet from San Carlos Street, is not adjacent to residential uses, and is buffered by the surrounding buildings.

Staff could support a Live Music Permit (UP 14-04) to allow amplified music with a condition that the noise levels not exceed 55 dBA as measured at any property line and that the music cease by 10:00 p.m. as required by CMC 9.16.035. Staff also notes that pursuant to CMC 9.16.030.B.3, *"any three violations within any 12-month period shall require revocation of the use permit by the Planning Commission."* Code Compliance staff and Police Department personnel would conduct spot checks to ensure compliance with the project's conditions of approval.

Alternatives: Staff has prepared draft findings and conditions of approval for the Planning Commission's consideration. Alternatively, the Planning Commission could deny the request for live music, could revise the conditions to prohibit amplified music, or could require additional changes as deemed necessary to achieve compliance with the City's Live Music Ordinance.

Environmental Review: The application qualifies for a Class 3 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 exemptions include projects involving limited new construction projects and conversion of small structures.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Surrounding Uses Map
- Attachment E – Applicant Correspondence

Attachment A – Site Photographs



Carmel Square Courtyard facing east – Project site located at rear of courtyard

Stage located within Mudaka's High Tide Bar



Bar within Mudaka's High Tide Bar



CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR APPROVAL

UP 14-04

Gabriel Georis (Mundaka's High Tide Bar)

San Carlos 2 NE of 7th Ave. (Carmel Square Courtyard)

Block 77 Lot 16

APN: 010-141-005

CONSIDERATION:

Consideration of a Use Permit (UP 14-04) to allow live music at an existing restaurant/bar located in the Central Commercial (CC) Zoning District

FINDINGS OF FACT:

1. The applicant Gabriel Georis, owner of Mundaka's High Tide Bar, submitted a Use Permit application to allow live music on February 3, 2014, and provided revised application materials on April 7, 2014.
2. Mundaka's High Tide Bar is located on San Carlos Street, two northeast of Seventh Avenue, at the rear of the San Carlos Courtyard, in the Central Commercial (CC) Zoning District.
3. Carmel Municipal Code section 9.16 establishes the standards for live music where alcoholic beverages are sold or served. The use permit is being issued under Live Music Ordinance (CMC 9.16), which was adopted by the City Council on July 2, 2013.
4. The application qualifies for a Class 3 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 exemptions include projects involving limited new construction projects and conversion of small structures.

FINDINGS FOR DECISION:

1. The proposed use is not in conflict with the General Plan.
2. The proposed use, as conditioned, will comply with all zoning standards applicable to the use and zoning district.
3. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the

General Plan.

4. The proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, street capacity and fire protection.
5. The proposed use will not be injurious to public health, safety or welfare and provides adequate ingress and egress.
6. The proposed use will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.
7. The proposed use will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.
8. The proposed use will contribute to a balanced mix of uses in the downtown.

Attachment C – Conditions of Approval

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

UP 14-04

Gabriel Georis (Mundaka's High Tide Bar)

San Carlos 2 NE of 7th Ave. (Carmel Square Courtyard)

Block 77 Lot 16

APN: 010-141-005

AUTHORIZATION:

1. This use permit authorizes amplified live music to be played from within Mundaka's High Tide Bar, pursuant to CMC 9.16 and the conditions of this permit.
2. Live music is permitted to be played between the hours of 5:00 p.m. to 10:00 p.m., seven days per week.
3. Per CMC Section 9.16, the maximum noise level allowed from live music activities located on the property shall not exceed 55 dBA as measured at any of the property lines.

SPECIAL CONDITIONS:

4. A summary sheet of basic Use Permit requirements (allowed days, allowed hours, special mitigations) shall be posted on the premises and shall be available upon request by any enforcement officer of the City.
5. Any three violations within any 12-month period shall require revocation of the Use Permit by the Planning Commission.
6. This Use Permit shall become void and of no further force or effect if the use is not initiated within six months and/or upon termination or discontinuance of the use for any period of time exceeding six months.
7. Violations of the terms of this Use Permit or other ordinances of the City may constitute grounds for revocation of this Use Permit and the associated business license by the Planning Commission.

8. Upon termination or revocation of this use permit and/or business license for any reason, the use shall immediately cease and shall not be re-established without issuance of a new use permit.

9. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

***Acknowledgement and acceptance of conditions of approval.**

_____	_____	_____
Applicant Signature	Printed Name	Date
_____	_____	_____
Property Owner Signature	Printed Name	Date

Once signed, please return to the Community Planning and Building Department.

Attachment D – Surrounding Land Use Map



Attachment E - Applicant Correspondence

Hi Marc,

I thought I would write you an email to clarify what it is we would like to ask for at the planning department meeting this month.

We are requesting a live music permit for the bar side of Mundaka the "High Tide" side. We would like to keep our existing music permit active at Mundaka as well. The plan is for us to continue to have Flamenco guitar and soft accoustic music in Mundaka during dinner hour...usually 7-9pm.

In the bar where we are requesting the new live music permit, we plan on having a variety of quality music acts that can perform in compliance with the 55 decibel level. The plan is to have jazz, country, occasional rock (nothing really heavy). I would be happy to visit the decibel thing with you anytime so we can give the planners an idea of the feasibility of this.

Let me know if there is any additional info I should provide you before the hearing. I'll call you today to check in as well.

Thanks,
Gabe Georis
Mundaka Restaurant

RECEIVED

APR 07 2014

City of Corvallis-by-the-Sea
Planning & Building Dept.

To Whom It May Concern:

I would like to present to the planning commission several ways in which we plan on running the bar located in Carmel Square in a **safer and more controlled** fashion than it was run previously.

Below is a list of some of the main differences in how we operate compared to how the place was run previously.

1. We have hired mature and professional bartenders instead of young untrained girls. This allows us to maintain much better control over all the patrons of our bar.
 - a. Our key bartenders and manager have additionally completed the LEAD training offered by the ABC
2. We have hired a weekend door person to help check ID, control the flow of customers in the bar, and keep a close eye on the outdoor courtyard
3. Our intended customer base (whom we have already attracted at Mundaka) is the local population, not a crowd from Salinas or surrounding areas.
4. We have removed the TVs and will not be showing any boxing or fighting matches. This used to instigate a lot of fighting amongst the patrons.
5. We are responsible owners and we don't operate our business under the influence.
6. We will not tolerate any illegal activities, notoriously the selling of illegal drugs, in our establishment and we have staff aware and on the lookout for any potential problems.
7. We are willing to work closely with the city and the city police department to make sure that the bar is a public asset and not a nuisance.

Cordially,

Gabriel Georis

Mundaka Restaurant and Bar

RECEIVED

MAR 13 2014

City of Carmel-by-the-Sea
Planning & Building Dept.



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

April 17, 2014

To: Chair Dallas and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director RM

Submitted by: Christy Sabdo, Contract Planner

Subject: Consideration of a review of the FY 2014/15 Capital Improvement Plan (CIP) for consistency with the General Plan.

Recommendation:

Adopt Resolution 14-01 determining that the City's FY 2014/15 Capital Improvement Plan is consistent with the General Plan.

Background and Project Description:

The purpose of the Capital Improvement Plan (CIP) is to provide the City Council and the public with a comprehensive document that lists new construction and or major maintenance to City infrastructure. These projects include such things as buildings, roads, major equipment, and large software acquisitions and enhancements. The CIP (included as Attachment B to this staff report) is a budgeting and strategic planning tool intended to address the City's capital needs for a rolling five-year period. The CIP identifies each project's scope, justification, and budget considerations. Inclusion in the CIP does not necessarily mean that a project has been approved for implementation and funding, but is provided for reference information to facilitate decision-making.

California Government Code 65401 and Carmel Municipal Code (CMC) Section 17.52.060 require that the CIP be reviewed by the Planning Commission for a determination of consistency with the General Plan. State law does not require that a CIP be consistent with the General Plan, only that a review of consistency has been performed. The purpose of this hearing is to consider whether the CIP is consistent with the General Plan. While the City's five-year CIP covers the years of 2014-2019, the Commission's determination is for the upcoming fiscal year only.

Review Process: The Commission's role is to determine if the proposed CIP is consistent with the General Plan, not to recommend specific projects to the City Council or to discuss the financial aspects of the plan. For example, the General Plan includes a policy that prohibits commercial activity on the beach. If a project in the CIP included the construction of commercial facilities on the beach, the Commission would indicate that the CIP was not consistent with the General Plan. A resolution has been drafted for the Planning Commission's consideration (Attachment A).

Staff analysis:

Staff has included an analysis on the FY 2014/15 CIP's consistency with the General Plan. The analysis has broken the CIP into six categories below and has included a recommendation as to the consistency of these projects with the General Plan. Additional analysis and input may be provided by staff at the meeting.

The six categories are:

1. Street projects
2. New construction
3. Vehicles/equipment
4. Maintenance
5. Natural resource restoration and management
6. Water resources

The corresponding page for the project description in the CIP is noted in parenthesis.

Street Projects: This category includes the patching and overlay of various streets identified within the Nichols Pavement Management Study (2013). Street improvement priorities identified in the Nichols Study were based on street condition, as determined by each street's Pavement Condition Index.

- Street and Road Projects (p. 26)

Analysis: The Circulation Element of the General Plan encourages providing and maintaining a transportation system that promotes the orderly and safe transportation of people and goods while preserving the residential character and village atmosphere of Carmel (G2-1); maintaining the current street configurations (P2-1); and implementing road maintenance and reconstruction practices that will preserve the hand-made appearance of City streets (P2-4). The proposed street projects are consistent with these goals and policies.

New Construction: The CIP includes the following design and construction projects:

- Del Mar Master Plan – Phase II Pathway (p. 23)
- Bikeway Projects (p. 31)
- Sunset Center Ramp Construction (p. 41)
- Rio Park Improvements (p. 76)
- Waterfront Area Signs (p. 79)

Analysis: The Coastal Access and Recreation Element of the General Plan encourages the development and implementation of the Del Mar Master Plan (G4-2) and the establishment of a uniform signage program for the beach and bluffs to better inform beach users of regulations governing activities on the beach (O4-5). The Circulation Element of the General Plan encourages participation in programs that promote alternative modes of transportation (O2-6), specifically to implement, bike, and local mass transit improvements when appropriate through the Capital Improvement Program (P2-29). The Public Facilities and Services Element encourages the maintenance of primary social and cultural facilities, including the Sunset Center, to exemplify the highest standards for the community and to provide public services to ensure each resident a safe, healthful, and attractive living environment (G6-1). The Open Space and Conservation Element encourages the protection, conservation, and enhancement of unique natural beauty resources (G7-1), such as Rio Park (a designated Environmentally Sensitive Habitat Area); and encourages the use and enhancement of publicly-owned land for the benefit of Carmel residents. As stated in the General Plan, Rio Park can provide habitat for native plants and animals as well as be partially developed into a park with some recreational uses (GP, p. 7-8). The proposed new construction projects are consistent with these goals and policies.

Vehicles/Equipment: The CIP includes the purchase of the following vehicles and equipment:

- IT Strategic Plan – Phase 1 (p. 12-13)
- Hydraulic Stretcher (p. 16)
- Fire Engine Lease Purchase (p. 17)
- Trash Can Refurbishment and Replacement (p. 84)
- Park Branch Library Book Return (p. 14)
- Parking Scooter (p. 18)
- Patrol Vehicles (p. 19)
- Kenwood Radio Purchase and Encryption (p. 21)
- Parking Management Study (p. 22)
- Digital Tree Database (p. 70)

- F550/chipper (p. 72)

Analysis: The Public Facilities and Services Element supports adequate levels of public services and facilities to serve the needs of the community, including police and fire protection, and refuse and sanitary disposal services (O6-2); encourages improved recycling efforts and programs (P6-9); and supports the maintenance and enhancement of services provided by the Harrison Memorial Library to the residents of Carmel-by-the-Sea and surrounding areas (P6-7). The Circulation Element encourages a parking management program to ensure that the City maintains adequate, convenient parking for residents, employees, and visitors (P2-36); and promotes the continuation of the City's strict enforcement of parking regulations (P2-37). The Open Space and Conservation Element encourages the maintenance of park and open space in a manner that encourages use and enjoyment by residents and visitors while protecting the aesthetic and environmental quality of these areas (P7-8). The proposed vehicles/equipment projects are consistent with these goals and policies.

Maintenance: The following projects are identified under the category of maintenance and upgrades:

- Sidewalk Repair (p. 32)
- PD/PW Roof/Patio Replacement (p. 43)
- City Hall Renovations (p. 54)
- Sunset Center Wood Patio Stage Replacement (p. 46)
- Sunset Center Planter Re-construction (p. 48)
- Sunset Center Roof Repairs (p. 49)
- Sunset Center Re-painting (p. 50)
- Sunset Center Door Replacement (p. 56)
- Forest Theater Renovation (p. 53)
- Park Branch Basement Restoration (p. 59)
- Picadilly Park Restroom Improvements (p. 38)
- Mission Trail Entrance (p. 83)
- Del Mar Plan sidewalk replacement (p. 63)
- Beach Stair Maintenance (p. 73)
- Beach Fire Baskets (p. 75)
- Scenic Rd. Restrooms (p. 77)

Analysis: The Circulation Element encourages providing and maintaining a transportation system and facilities that promotes the orderly and safe transportation of people and goods

(G2-1). While the Plan prohibits formal sidewalks in the R-1 district (P2-2), formal sidewalks are encouraged in the commercial district. The Public Facilities and Services Element encourages the City to provide adequate levels of public services and facilities to serve the needs of the community (O6-2), including facilities that provide City services; and encourages the maintenance of primary social and cultural facilities, including the Sunset Center and Forest Theater, to exemplify the highest standards for the community and to provide public services to ensure each resident a safe, healthful, and attractive living environment (G6-1); and supports the maintenance and enhancement of services provided by the Harrison Memorial Library to the residents of Carmel-by-the Sea and surrounding areas (P6-7). The Open Space and Conservation Element encourages the maintenance and enhancement of publicly-owned parks and areas (i.e., park and recreational facilities) for the benefit of Carmel residents (O7-1). The Coastal Access and Recreation Element of the General Plan encourages the development and implementation of the Del Mar Master Plan (G4-2); supports providing a wide variety of passive and recreational experiences for all beach users (G4-4) while permitting protection of infrastructure only when existing facilities are in danger from erosion (O4-6); and allows beach users the opportunity to enjoy a fire for warmth or cooking, while protecting the sand from degradation (O4-10). The Coastal Access and Recreation Element also supports providing adequate facilities to serve the needs of the public along the beach (G4-3). Policy P4-41 in this Element states, "Retain the current second restroom facility at Santa Lucia Avenue until it can be replaced by a permanent site." The proposed maintenance projects are consistent with these goals and policies.

Natural Resource Restoration and Management: The following projects are identified for the restoration and management of parks and natural areas:

- Mission Trail Nature Preserve (MTNP) Vegetation Management (goats) (p. 66)
- MTNP Invasive Tree Management (p. 67)
- Urban Forest Rehabilitation (p. 71)
- Dunes Habitat Restoration (p. 80)
- Shoreline Assessment and Implementation (p. 82)

Analysis: The Open Space and Conservation Element encourages the unique natural beauty and irreplaceable natural resources of Carmel to be protected, conserved, and enhanced (G7-1). As referenced in the General Plan, the removal of invasive species within the MTNP is supported in the MTNP Master Plan. The Coastal Resource Management Element encourages mitigating degradation to the beach and the ocean caused by public use and natural forces; and encourages the establishment and implementation of a comprehensive shoreline management

program (G5-2). The proposed natural resource restoration and management projects are consistent with these goals and policies.

Water Resources: The following projects are identified for the conservation and supply of water resources:

- Storm Drain Replacement (p. 33)
- Water Conservation Projects (p. 36)
- City Hall Cistern (p. 81)

Analysis: The Public Facilities and Services Element promotes the maintenance of the City's storm drains to ensure they are functioning adequately (P6-19). The Land Use Element encourages water conservation and promotes increasing the City's available water resources and water quality (G1-6). The Open Space and Conservation Element encourages the improvement of water conservation and promotes water management techniques (O7-6). The proposed water resource projects are consistent with these goals.

ATTACHMENTS:

- Attachment A – Planning Commission Resolution 14-01
- Attachment B – Capital Improvement Plan 2014/2019

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
RESOLUTION NO. 2014-01

CONSIDERATION OF A RESOLUTION TO DETERMINE THAT THE PROPOSED
CAPITAL IMPROVEMENT PLAN IS CONSISTENT WITH THE CITY'S GENERAL PLAN

WHEREAS, The City of Carmel-by-the-Sea is a unique coastal community that prides itself on its community character; and

WHEREAS, the City has adopted a General Plan and Municipal Code that strive to protect the village character through clear policies and regulations; and

WHEREAS, pursuant to Government Code Sections 65401 and 65402, the Capital Improvement Plan (CIP) for Fiscal Year 2014/15 was reviewed by the Planning Commission; and

WHEREAS, the Planning Commission has determined that the proposed CIP is consistent with the General Plan; and

WHEREAS, the determination of consistency does not approve, deny, or modify any of the projects outlined in the CIP; and

WHEREAS, the act of determining General Plan consistency will have no impact on the environment and is not considered a project requiring compliance with the California Environmental Quality Act (Section 21065 of the California Public Resources Code).

NOW, THEREFORE, BE IT RESOLVED THAT THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA does hereby:

Determine that the 2014/15 Capital Improvement Plan is consistent with the City's General Plan.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA this 17th day of April 2014, by the following roll call vote:

AYES:
NOES:
ABSENT:

ATTEST:

SIGNED:

Marianne Grover, Admin. Coordinator

Steve Dallas, Chair



City of Carmel-by-the-Sea
Five Year Capital Improvement Plan
July 1, 2014 – June 30, 2019



March 18, 2014

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Honorable Mayor and Council members:

I am pleased to present the recommended Fiscal Year 2014-15 Capital Improvement Plan (CIP) for the City of Carmel-by-the-Sea for the period of July 1, 2014 through June 30, 2019. The CIP is a budgeting and strategic planning tool intended to address the City's capital needs for a rolling five year period. This five-year program displays a continued shift in the types of projects funded, from building new facilities to rehabilitation, deferred maintenance, and replacement of existing capital items. The underlying strategy of the CIP is to plan for necessary land acquisition, construction and maintenance of public facilities necessary for the safe and efficient provision of public services in accordance with City policies and objectives adopted in the City's General Plan.

The City of Carmel-by-the-Sea's 5-Year Capital Improvement Program is a multi-year planning instrument for the construction of new and expansion, rehabilitation, or replacement of existing City owned assets. It provides a planned systematic approach to utilizing the City's financial resources in the most responsive and efficient manner to meet its service and facility needs. The CIP includes estimates of all capital needs, and as such, provides the basis for setting priorities, reviewing schedules, developing funding policy for proposed improvements, monitoring and evaluating the progress of capital projects, and informing the public of projected capital improvements and unfunded needs. The CIP does not appropriate funds; rather, it serves as a budgeting tool, proposing Capital Budget appropriations to be recommended for adoption within the City's fiscal year 2014-2015 Operating Plan and Budget.

A Capital Improvement Plan is a guide toward the efficient and effective provision of public infrastructure and facilities. Programming capital facilities and improvements over time can promote better use of the City's limited financial resources, reduce costs and assist in the coordination of public and private development. In addition, the planning process is valuable as a means of coordinating and taking advantage of joint planning and development of facilities and infrastructure where possible. Careful management of these assets keeps the City poised for flexible and responsive strategic planning that allows the City to proactively prepare the groundwork for capital projects so when funding opportunities arise, a plan is ready to be implemented. By looking beyond year-to-year budgeting and projecting what, where, when and how capital investments should be made, capital planning enables public organizations to maintain an effective level of service for the present and future population. While the program serves as the long range plan, it is reviewed and revised annually in conjunction with the budget. Priorities may be changed due to funding opportunities or circumstances that cause a more rapid deterioration of an asset.

The CIP identifies 72 projects for the five-year period. The CIP identifies new facility construction, facility refurbishment, and infrastructure projects, and their respective funding sources, if any, to create a sound planning document. The program includes the design, construction, and major rehabilitation of capital improvements that have a long-term life span, and cost more than \$10,000. With these projects, the City Council would be investing approximately \$16.4 million over the next five years. This major investment in the City's infrastructure represents a significant commitment to our community's future and is made possible in great part from the community's support of Measure D. Measure D revenue is planned to be a source of funding for 27 projects totaling nearly \$6.7 million.

The CIP is primarily a planning document to assist in the City's long-term planning. As such, is the projects and their scopes are subject to change from year to year as the needs of the community become more defined and projects move closer to final implementation. The adoption of the CIP is neither a commitment to a particular project nor a limitation to a particular cost. As a basic tool for scheduling anticipated capital projects, it is also a key element in planning and controlling future capital financing. For this reason, the CIP includes some "unfunded" projects in which needs have been identified, but specific solutions and funding have not been determined. When adopted, the CIP provides the framework for the City's management team and the City Council with respect to investment planning, project planning and managing any debt.

The 5-Year Capital Improvement Program for Fiscal Year 2014-2015 through 2018-2019 includes various projects for the benefit of the citizens of Carmel-by-the-Sea. Each of the projects meets some or all of the following criteria:

- Elimination of potentially hazardous or unsafe conditions and potential liabilities
- Replacement of high maintenance and inefficient/ineffective infrastructure
- Improvement to and/or creation of new services to the Public
- Outside agency regulatory requirements and mandates
- Stimulation of the local economy/eliminate blighted conditions
- Compliance with the City of Carmel-by-the-Sea General Plan
- Preservation of existing assets

Each project is prioritized in accordance with the following urgency label categories.

Urgency 1: The project is urgent and/or mandated, and must be completed quickly. The City could face severe consequences if the project is delayed, possibly impacting the health, safety, or welfare of the community, or having a significant impact on the financial well being of the City. The project must be initiated or financial/opportunity losses will result.

Urgency 2: The project is very important and addressing it is necessary. The project impacts safety, law enforcement, health, welfare, economic base, and/or quality of life in the community.

Urgency 3: The project is important and would enhance the quality of life and would provide a benefit to the community.

Urgency 4: The timing of the project is less important but completion of the project would improve the community providing cultural, recreational, and/or aesthetic effects.

Urgency 5: The project would be an improvement to the community, but need not be completed within a five-year CIP.

The CIP includes a comprehensive listing of all projects contained in the Five-Year CIP and also projects beyond the Five-Year Period. Detailed project sheets are contained in the plan for all projects included in the CIP. Cost estimates have been developed for each project based on preliminary project descriptions, and include all estimated costs for land acquisition, permits and inspections, project management and

project engineering, consultant design, construction, utilities, information technology infrastructure and other associated project fees. Estimates are in today's dollars, and the future year projections have been adjusted for inflation.

The operating budget impact of proposed capital projects, including personnel, operating expenditures, capital outlay, and debt service, as applicable, are identified on the project detail sheets and considered in preparing the annual operating budget and Five-Year Financial Forecast.

Thirteen projects were or will be completed in Fiscal Year 2013-2014. These include:

- Citywide street and road resurfacing and sidewalk repair;
- Appraisal and inventorying of City artwork for insurance purposes (pending)
- Diesel exhaust filtering systems for the fire department
- Self contained breathing apparatus for fire ambulance personnel
- Cardiac monitor and defibrillator for the ambulance
- Dry weather storm water diversion
- Improvement of the storm drain at Santa Fe and Fourth
- Replacement of the railing in the Sunset Center parking lot (pending)
- Renovation of the City's tennis court (pending)
- Installation of an irrigation meter for the Fourth Avenue landscaping (pending)
- Purchase of a replacement paint/sign truck
- Purchase of a replacement police patrol vehicle
- Final payment of a lease purchase for the ambulance, sweeper, chipper truck, parking vehicle, police utility vehicle, and loader

Projects new to this CIP include:

- | | |
|---|--|
| <ul style="list-style-type: none">• IT Strategic Plan – Phase 1• Del Mar pathway• Utility undergrounding• Carpenter to Fourth storm drain repair• First Murphy house painting• Piccadilly Park restroom improvements• Sunset Center lighting console• Sunset Center digital sound board• Sunset Center ramp construction• Sunset Center awning• Scenic Pathway renovation | <ul style="list-style-type: none">• Forest Hill Park playground improvements• Martha's Way stair repair• Del Mar sidewalk replacement• Ocean Ave. landscape improvements• Mission Trail Nature Preserve vegetation management• Mission Trail Nature Preserve Rio Rd entrance reconfiguration• Beach rake• Digital tree database• Urban forest rehabilitation |
|---|--|

The schedule for Capital Improvement Projects is based on available funding, public benefit, and funding restrictions. This Five-Year Capital Improvement Plan (CIP) is submitted to the City Council to utilize in reviewing and prioritizing capital projects.

Respectfully submitted,



Jason Stilwell
City Administrator

Capital Budget Policies

(Policy No. 94-01 revised and adopted by the City Council on February 5, 2013)

The City develops an annual five-year plan for capital improvements; it includes project design, development, implementation, and operating and maintenance costs. Each project in the Capital Improvement Plan (CIP) shows the estimated capital and on-going maintenance costs, known and potential funding sources and a design/development schedule. As used in the CIP, projects include land acquisition, buildings and facilities construction; these projects do not have a cost threshold. A capital outlay (fixed asset) purchase is any single item or piece of equipment that costs more than \$10,000 and has an expected useful life exceeding one year. The development of the Capital Improvement Plan is coordinated with the development of the operating budget. The CIP is a planning document; the City Council appropriates funding for capital projects in the annual operating budget. Costs for professional services needed to implement the CIP are to be included in the appropriate year's operating budget.

Annual operating budgets should provide adequate funds for maintenance of the City's buildings and maintenance and replacement of the City's capital equipment. The City will make all capital improvements in accordance with an adopted and funded capital improvement program. Prior to ratification of the capital budget for the forthcoming year by the City Council, the Planning Commission shall review the capital improvement plan and shall advise the City Council as to its recommendations regarding the proposed capital projects in accordance with the Government Code.

Capital expenditures shall be effectively planned and controlled.

Guidelines:

1. The level of capital improvement expenditures, excluding road maintenance program expenditures and lease payments, is established at three and one-half percent (3.5%) of total revenues.
2. Funding for the road maintenance program should improve the pavement condition index.
3. The City shall maintain a Five-Year Capital Improvement Program (CIP), which shall be updated at least annually as part of the budget review process.
4. The City shall annually establish a phasing calendar for capital improvement expenditures.
5. At least ten percent (10%) of the unrestricted funds designated for capital project expenditures shall be set aside for unanticipated expenditures.
6. The City shall conduct periodic reviews of property and facilities to determine the appropriate use and disposition of said property and facilities.
7. The City shall consider the ongoing impact of operations and maintenance expenses before undertaking any capital improvement expenditure.
8. The City shall maintain a capital reserve policy as described in the Reserve Policy.
9. Public participation in the Capital Improvement Program is a priority concern for the City.
10. All projects included in the Capital Improvement Plan shall be consistent with the City's General Plan.
11. Capital projects that are not encumbered or completed during the fiscal year are required to be rebudgeted to the next fiscal year and subsequently approved by the City Council. All rebudgeted capital projects should be so noted in the proposed budget.

City of Carmel-by-the-Sea, CA

FY 2014-2015 Projects

'14/'15 thru '18/'19

PROJECTS BY DEPARTMENT

Department	Project#	Urgency	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Administrative Services								
Voice over IP Telephone System	ASD-1213-03	2		54,000				54,000
IT Strategic Plan - Phase 1	ASD-1415-01	1	307,000	6,500	6,500	6,500		326,500
Administrative Services Total			307,000	60,500	6,500	6,500		380,500
Library								
Park Branch Library Book Return	LIB-1314-01	3	7,500					7,500
Library Total			7,500					7,500
Safety: Ambulance								
Replace Ambulance Vehicle	AMB-1213-01	5				150,000		150,000
Hydraulic Stretcher	AMB-1314-01	2	17,142					17,142
Safety: Ambulance Total			17,142			150,000		167,142
Safety: Fire								
Fire Engine Lease Purchase (09/10)	FIRE-1112-03	1	70,552	70,552				141,104
Safety: Fire Total			70,552	70,552				141,104
Safety: Police								
Parking Scooter	POL-1314-01	2	40,184					40,184
Patrol Vehicles	POL-1314-02	2	89,000	56,000	93,000	130,000	65,000	433,000
GPS & License Plate Recognition	POL-1314-03	4		104,176				104,176
Kenwood Radio Purchase & Encryption	POL-1314-05	1	72,000					72,000
Parking Management Study	POL-1415-04	2	474,000	226,000				700,000
Safety: Police Total			675,184	386,176	93,000	130,000	65,000	1,349,360
Services: Public Works								
Del Mar Master Plan - Phase II Pathway	CPB-1213-02	2	60,000					60,000
Scenic: Ocean to 8th Ave. Utility Undergrounding	PW 1415-05	4					600,000	600,000
Ocean Avenue to Torres Utility Undergrounding	PW 1415-06	4					1,100,000	1,100,000
Street and Road Projects	PW-1112-01	1	976,800	976,800	976,800	976,800	976,800	4,884,000
Gardener Trucks	PW-1213-04	3		40,000	45,000			85,000
Dump Truck	PW-1213-05	3		90,000				90,000
Water Truck	PW-1213-06	2			80,000			80,000
Guadalupe to 5th Storm Drain	PW-1213-07	1		350,000				350,000
Bikeway Projects	PW-1314-01	3	50,000	140,000	140,000	140,000	140,000	610,000
Sidewalk Repair	PW-1415-01	1	75,000	75,000	75,000	75,000	75,000	375,000
Storm Drain Replacement	PW-1415-02	2	45,000	25,000	35,000	30,000	30,000	165,000
Carpenter to 4th Storm Drain	PW-1415-03	2				350,000		350,000
Services: Public Works Total			1,206,800	1,696,800	1,351,800	1,571,800	2,921,800	8,749,000

Department	Project#	Urgency	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Services: Facilities								
Water Conservation Projects	CPB-1314-01	5	10,000	10,000	10,000			30,000
First Murphy Painting	FAC- 1415-01	3				10,000		10,000
Picadilly Park Restroom Improvements	FAC 1415-02	2	10,000	30,000				40,000
Sunset Center Lighting Console	FAC 1415-03	1				19,500		19,500
Sunset Center Digital Sound Board	FAC 1415-04	2				62,500		62,500
Sunset Center Ramp Construction	FAC 1415-05	2	10,000	25,000				35,000
Sunset Center Awning	FAC 1415-06	4			10,000	35,000		45,000
PD/PW Roof/Patio Replacement	FAC-1213-01	1	75,000	500,000	500,000			1,075,000
PD/PW Re-Painting	FAC-1213-02	5			27,000			27,000
PD HVAC Replacement and Re-Roof	FAC-1213-04	1			50,000	350,000		400,000
Sunset Center Wood Patio Stage Replacement	FAC-1213-08	3	10,000					10,000
Sunset Center Bach Offices Building Re-Roof	FAC-1213-09	4			25,000			25,000
Sunset Center Planter Re-construction	FAC-1213-10	2	27,000					27,000
Sunset Center Roof Repairs	FAC-1213-11	1	75,352					75,352
Sunset Center Re-painting	FAC-1213-14	3	25,000					25,000
Harrison Memorial Library Re-painting Project	FAC-1213-16	3			28,000			28,000
Card Key Security System	FAC-1213-20	5				25,000		25,000
Forest Theater Renovation	FAC-1213-21	1	180,000		950,000			1,130,000
City Hall Renovations	FAC-1314-01	3	30,000					30,000
Scout House Renovations	FAC-1314-02	3		50,000	350,000			400,000
Sunset Center Door Replacement	FAC-1314-04	3	35,000					35,000
Park Branch Library carpeting	LIB-1112-01	4		43,000				43,000
Park Branch Library Painting - Interior	LIB-1213-03	3		22,000				22,000
Park Branch Basement Restoration	LIB-1314-02	1	75,000					75,000
Services: Facilities Total			562,352	680,000	1,950,000	502,000		3,694,352

Srvs: Forest, Parks, & Beach								
Scenic Pathway and Landscape Renovation	FPB 1415-01	2			150,000			150,000
Forest Hill Park playground improvements	FPB 1415-02	2				38,000		38,000
Martha's Way stair repair	FPB 1415-03	1				30,000		30,000
Del Mar Plan sidewalk replacement	FPB 1415-04	1	120,000					120,000
Lower Ocean landscape improvements	FPB 1415-05	4			35,000			35,000
Upper Ocean Ave. landscape improvement	FPB 1415-06	3				100,000		100,000
MTNP Vegetation Management (goats)	FPB 1415-07	2	10,000	10,000	10,000	10,000	10,000	50,000
MTNP Invasive Tree Management	FPB 1415-08	2	15,000	15,000	15,000	15,000	15,000	75,000
MTNP Rio Rd. Entrance Reconfiguration	FPB 1415-09	2			100,000			100,000
Beach Rake	FPB 1415-10	4			90,000			90,000
Digital Tree Database	FPB 1415-11	2	6,500	6,500	6,500			19,500
Urban Forest Rehabilitation	FPB 1415-12	2	5,000	5,000	5,000	5,000	5,000	25,000
F550/chipper	FPB-1112-04	3	68,000					68,000
Beach Stair Maintenance	FPB-1213-01	1	24,000	24,000	24,000	24,000	24,000	120,000
Mission Trail Park Water Tank	FPB-1213-02	3		270,000				270,000
Beach Fire Baskets	FPB-1213-04	3	7,500	7,500	5,000	5,000	12,500	37,500
Rio Park Improvements	FPB-1213-05	4	40,000	50,000	50,000			140,000
Scenic Rd. Restrooms	FPB-1213-06	3	150,000					150,000
Replace Forester Truck	FPB-1213-07	3		35,000				35,000
Waterfront Area Signs	FPB-1213-08	3	32,000	10,000				42,000
Dunes Habitat Restoration	FPB-1314-02	3	16,000	16,000	16,000	19,000	19,000	86,000
City Hall Cistern	FPB-1314-03	3	25,000					25,000
Shoreline Assessment and Implementation	FPB-1314-04	2	15,000	15,000	10,000	10,000		50,000
Mission Trail Entrance	FPB-1314-05	2	40,000					40,000
Trash Can Refurbishment and Replacement	FPB-1314-06	4	15,000					15,000
Srvs: Forest, Parks, & Beach Total			589,000	464,000	516,500	256,000	85,500	1,911,000

Department	Project#	Urgency	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
	GRAND TOTAL		3,435,530	3,358,028	3,917,800	2,616,300	3,072,300	16,399,958

City of Carmel-by-the-Sea, CA

FY 2014-2015 Projects

'14/'15 thru '18/'19

PROJECTS BY FUNDING SOURCE

Source	Project #	Urgency	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Donor Opportunity								
Sunset Center Wood Patio Stage Replacement	FAC-1213-08	3	10,000					10,000
Forest Theater Renovation	FAC-1213-21	1			475,000			475,000
Scout House Renovations	FAC-1314-02	3			175,000			175,000
Beach Fire Baskets	FPB-1213-04	3	7,500					7,500
Park Branch Library Book Return	LIB-1314-01	3	7,500					7,500
Donor Opportunity Total			25,000		650,000			675,000
GF: Capital Improvements								
Replace Ambulance Vehicle	AMB-1213-01	5				150,000		150,000
Hydraulic Stretcher	AMB-1314-01	2	17,142					17,142
Voice over IP Telephone System	ASD-1213-03	2		54,000				54,000
IT Strategic Plan - Phase 1	ASD-1415-01	1	267,000	6,500	6,500	6,500		286,500
First Murphy Painting	FAC- 1415-01	3				10,000		10,000
Sunset Center Lighting Console	FAC 1415-03	1				19,500		19,500
Sunset Center Digital Sound Board	FAC 1415-04	2				62,500		62,500
PD/PW Roof/Patio Replacement	FAC-1213-01	1			500,000			500,000
PD/PW Re-Painting	FAC-1213-02	5			27,000			27,000
PD HVAC Replacement and Re-Roof	FAC-1213-04	1			50,000			50,000
Sunset Center Bach Offices Building Re-Roof	FAC-1213-09	4			25,000			25,000
Sunset Center Planter Re-construction	FAC-1213-10	2	27,000					27,000
Sunset Center Re-painting	FAC-1213-14	3	25,000					25,000
Harrison Memorial Library Re-painting Project	FAC-1213-16	3			28,000			28,000
Card Key Security System	FAC-1213-20	5				25,000		25,000
Sunset Center Door Replacement	FAC-1314-04	3	35,000					35,000
Fire Engine Lease Purchase (09/10)	FIRE-1112-03	1	70,552	70,552				141,104
Scenic Pathway and Landscape Renovation	FPB 1415-01	2			150,000			150,000
Forest Hill Park playground improvements	FPB 1415-02	2				38,000		38,000
Martha's Way stair repair	FPB 1415-03	1				30,000		30,000
Lower Ocean landscape improvements	FPB 1415-05	4			35,000			35,000
MTNP Vegetation Management (goats)	FPB 1415-07	2			10,000		10,000	20,000
MTNP Invasive Tree Management	FPB 1415-08	2			15,000		15,000	30,000
Beach Rake	FPB 1415-10	4			90,000			90,000
Digital Tree Database	FPB 1415-11	2			6,500			6,500
Urban Forest Rehabilitation	FPB 1415-12	2			5,000		5,000	10,000
F550/chipper	FPB-1112-04	3	68,000					68,000
Beach Stair Maintenance	FPB-1213-01	1			24,000		24,000	48,000
Mission Trail Park Water Tank	FPB-1213-02	3		270,000				270,000
Beach Fire Baskets	FPB-1213-04	3			5,000		12,500	17,500
Rio Park Improvements	FPB-1213-05	4	40,000					40,000
Replace Forester Truck	FPB-1213-07	3		30,000				30,000
Park Branch Library Painting - Interior	LIB-1213-03	3		18,000				18,000
Parking Scooter	POL-1314-01	2	40,184					40,184
Patrol Vehicles	POL-1314-02	2	89,000	56,000	93,000	130,000	65,000	433,000

Source	Project #	Urgency	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GPS & License Plate Recognition	POL-1314-03	4		104,176				104,176
Parking Management Study	POL-1415-04	2	241,000	226,000				467,000
Ocean Avenue to Torres Utility Undergrounding	PW 1415-06	4					260,000	260,000
Gardener Trucks	PW-1213-04	3		40,000	45,000			85,000
Dump Truck	PW-1213-05	3		90,000				90,000
Water Truck	PW-1213-06	2			80,000			80,000
Guadalupe to 5th Storm Drain	PW-1213-07	1		350,000				350,000
Storm Drain Replacement	PW-1415-02	2			35,000		30,000	65,000
Carpenter to 4th Storm Drain	PW-1415-03	2				350,000		350,000
Ocean Ave Utility Undergrounding	PW-1415-04	3			100,000			100,000
GF: Capital Improvements Total			919,878	1,315,228	1,330,000	821,500	421,500	4,808,106

Grants

Del Mar Master Plan - Phase II Pathway	CPB-1213-02	2	60,000					60,000
Water Conservation Projects	CPB-1314-01	5	10,000	10,000				20,000
Forest Theater Renovation	FAC-1213-21	1	180,000					180,000
Scout House Renovations	FAC-1314-02	3			175,000			175,000
Del Mar Plan sidewalk replacement	FPB 1415-04	1	60,000					60,000
Scenic Rd. Restrooms	FPB-1213-06	3	150,000					150,000
Dunes Habitat Restoration	FPB-1314-02	3	16,000	16,000	16,000	19,000		67,000
City Hall Cistern	FPB-1314-03	3	25,000					25,000
Shoreline Assessment and Implementation	FPB-1314-04	2	15,000	15,000	10,000	10,000		50,000
Trash Can Refurbishment and Replacement	FPB-1314-06	4	7,500					7,500
Bikeway Projects	PW-1314-01	3		140,000	140,000	140,000	140,000	560,000
Grants Total			523,500	181,000	341,000	169,000	140,000	1,354,500

Intergovernmental

Ocean Ave Utility Undergrounding	PW-1415-04	3					850,000	850,000
Intergovernmental Total							850,000	850,000

Measure D

IT Strategic Plan - Phase 1	ASD-1415-01	1	40,000					40,000
Sunset Center Awning	FAC 1415-06	4			10,000	35,000		45,000
PD/PW Roof/Patio Replacement	FAC-1213-01	1	75,000	500,000				575,000
PD HVAC Replacement and Re-Roof	FAC-1213-04	1				350,000		350,000
Forest Theater Renovation	FAC-1213-21	1			475,000			475,000
City Hall Renovations	FAC-1314-01	3	30,000					30,000
Scout House Renovations	FAC-1314-02	3		50,000				50,000
Upper Ocean Ave. landscape improvement	FPB 1415-06	3				100,000		100,000
MTNP Vegetation Management (goats)	FPB 1415-07	2				10,000		10,000
MTNP Invasive Tree Management	FPB 1415-08	2				15,000		15,000
MTNP Rio Rd. Entrance Reconfiguration	FPB 1415-09	2			100,000			100,000
Urban Forest Rehabilitation	FPB 1415-12	2				5,000		5,000
Beach Stair Maintenance	FPB-1213-01	1				24,000		24,000
Beach Fire Baskets	FPB-1213-04	3				5,000		5,000
Rio Park Improvements	FPB-1213-05	4		50,000	50,000			100,000
Waterfront Area Signs	FPB-1213-08	3	32,000					32,000
Mission Trail Entrance	FPB-1314-05	2	40,000					40,000
Park Branch Library carpeting	LIB-1112-01	4		43,000				43,000
Park Branch Basement Restoration	LIB-1314-02	1	75,000					75,000
Kenwood Radio Purchase & Encryption	POL-1314-05	1	72,000					72,000

Source	Project #	Urgency	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Parking Management Study	POL-1415-04	2	233,000					233,000
Scenic: Ocean to 8th Ave. Utility Undergrounding	PW 1415-05	4					600,000	600,000
Street and Road Projects	PW-1112-01	1	626,800	626,800	626,800	626,800	626,800	3,134,000
Bikeway Projects	PW-1314-01	3	50,000					50,000
Sidewalk Repair	PW-1415-01	1	75,000	75,000	75,000	75,000	75,000	375,000
Storm Drain Replacement	PW-1415-02	2				30,000		30,000
Ocean Ave Utility Undergrounding	PW-1415-04	3				100,000		100,000
Measure D Total			1,348,800	1,344,800	1,336,800	1,375,800	1,301,800	6,708,000
Road Impact Fund								
Street and Road Projects	PW-1112-01	1	200,000	200,000	200,000	200,000	200,000	1,000,000
Road Impact Fund Total			200,000	200,000	200,000	200,000	200,000	1,000,000
SCC Retainage								
Sunset Center Roof Repairs	FAC-1213-11	1	75,352					75,352
SCC Retainage Total			75,352					75,352
Traffic Safety								
Street and Road Projects	PW-1112-01	1	150,000	150,000	150,000	150,000	150,000	750,000
Traffic Safety Total			150,000	150,000	150,000	150,000	150,000	750,000
Unfunded								
Picadilly Park Restroom Improvements	FAC 1415-02	2	10,000	40,000				50,000
Sunset Center Ramp Construction	FAC 1415-05	2	10,000	25,000				35,000
Del Mar Plan sidewalk replacement	FPB 1415-04	1	60,000					60,000
MTNP Vegetation Management (goats)	FPB 1415-07	2	10,000	10,000				20,000
MTNP Invasive Tree Management	FPB 1415-08	2	15,000	15,000				30,000
Digital Tree Database	FPB 1415-11	2	6,500	6,500				13,000
Urban Forest Rehabilitation	FPB 1415-12	2	5,000	5,000				10,000
Beach Stair Maintenance	FPB-1213-01	1	24,000	24,000				48,000
Beach Fire Baskets	FPB-1213-04	3		7,500				7,500
Waterfront Area Signs	FPB-1213-08	3		10,000				10,000
Trash Can Refurbishment and Replacement	FPB-1314-06	4	7,500	15,000				22,500
Ocean Avenue to Torres Utility Undergrounding	PW 1415-06	4					840,000	840,000
Storm Drain Replacement	PW-1415-02	2	45,000	25,000				70,000
Unfunded Total			193,000	183,000			840,000	1,216,000
GRAND TOTAL			3,435,530	3,374,028	4,007,800	2,716,300	3,903,300	17,436,958

FY 2014-2015 Projects

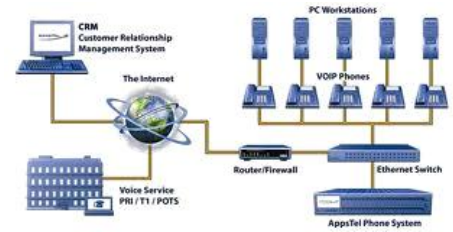
'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # ASD-1213-03
Project Name Voice over IP Telephone System

Type Equipment
Useful Life 8 years
Category Equipment: Computers
Account # 13-88353

Department Administrative Services
Contact Admin Srvs Director
Urgency 2 Very Important



Description

Total Project Cost: \$54,000

Upgrade present telephone system to incorporate more recent technology to meet the needs of staff and the calling public. Currently researching available solutions. Feature set might include conference calling, web conferencing, voicemail transcription, call forwarding, fax service via internet, soft phone support (ability to use computer as phone), unified in-box (voice, e-mail, fax), presence management (identifies if callee is available and the best means of contacting them (phone, e-mail, IM) and a multitude of reporting options.

System Requirements: Server, switches for power to the phone set, wiring, phone sets, software.

Justification

Currently, the City's telephone system operates on a legacy centrex system, with switching provided by the "telephone company," the way telephone service has been provided for many years. By moving to a VOIP or other computer based solution, the City would be able to "unify" its communications (move all communications to computer-based communication) and develop more flexibility in communicating with each other and the public.

The City would eventually save money on telephone service as we would need only a few outside lines rather than the 65 lines we have now. The placement of the funds in 2015 budget year is to allow the present Calnet2 contract to expire thus relieving the burden of AT&T penalties that are in the contract.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings		54,000				54,000
Total		54,000				54,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements		54,000				54,000
Total		54,000				54,000

Budget Impact/Other

No change.

City of Carmel-by-the-Sea, CA

Project #	ASD-1415-01
Project Name	IT Strategic Plan - Phase 1

Type	Equipment	Department	Administrative Services
Useful Life	8 years	Contact	Admin Srvs Director
Category	Equipment: Computers	Urgency	1 Critical
Account #			



Description **Total Project Cost: \$326,500**

This Capital Project is the Phase I implementation of the 2013-2017 Information Technology Strategic Plan. The encompasses four key projects that lead to the fulfillment of the Plan's short and long range objectives as detailed in the Strategic Plan.

The four projects undertaken in Phase I are website updates (Online City Hall initiative), ERP upgrades, including HR/PR system, Financial System Upgrade, Legislative Management Suite, and Permit Tracking software (ERP initiative), infrastructure upgrades of software and hardware (Security Plan initiative), and Public Safety upgrades related to hardware and software for communications and the Emergency Operations Center (EOC) (Business Continuity and Disaster Recovery initiative). The emphasis in implementing the Plan will be on cloud-based solutions.

Justification

Implementing Phase I of the City Council approved 2013-2017 Information Technology Strategic Plan and the 2014 Key Initiative to implement Phase I of the Information Technology Strategic Plan.

Individually, the projects are justified by the following:

1. Financial System Upgrade

The existing accounting software is no longer being upgraded. The City continues to receive some support but the underlying software code is outdated. While it completes tasks that have been historically needed by the City (pays bills, makes deposits, keeps a basic set of books from which financial statements can be prepared, etc.), its structure is antiquated and does not provide City staff the ability to "slice and dice" our database to facilitate, collect and analyze information to make informed decisions more efficiently.

A new system would have, among other things (1) the ability to be accessed remotely, (2) the ability to produce many more reports, along with the ability to design new reports, as needed, (3) the ability to keep track of City projects more effectively, (4) the ability to internally produce GASB 34 compliant financial statements, (5) the ability to integrate a document management system, (6) the ability to integrate with a complete Human Resources module with "self-serve" web portal access to City staff, (7) have a purchase order system that requires multi-level approval so that budget line items are not exceeded, among many other benefits.

A new financial software system would address organizational performance through a structure that is responsive to meeting internal operational needs and objectives and the delivery of high-quality customer service by implementing (1) a rigid purchase order system that is budget-constrained and requires multiple levels of approval authority, (2) a system that can be accessed remotely by staff to assist customers/citizens with issues, and (3) a reporting system that would best suit the needs of City leaders and staff by providing information that is more complete and more timely than is currently possible.

2. Human Resources/Payroll System

Currently one City employee spends between 10-12 hours per month in processing payroll and performing basic human resource, benefits reporting and administration. The amount of customer service given to employees is minimal. Additionally, department directors are responsible for supplying spreadsheet based timecards that need to be manually entered into the current payroll system, introducing the possibility of errors. The current system has minimal reporting capabilities. The new system will have the ability to perform HR analytics and assist departments with workforce management and planning.

3. Website Update

Provide better service to the world and the citizens of Carmel-by-the-Sea. The present website does not have the latest technology of social networking. This addition would make the website more user friendly and would improve emergency preparedness. The website would create an environment that will allow for simpler and cost effective updates.

4. Legislative Management Suite

The implementation of a legislative management suite to bring automation, workflow management and document management to Council agenda arena. Assists the City to become more streamlined and more transparent. The City's 2013 adopted objectives of Organizational Effectiveness and Fiscal Stability are both addressed via streamlining processes and

City of Carmel-by-the-Sea, CA

providing more transparent processes. This type of system assists in streamlining processes by (1) providing remote access, (2) providing the ability to make online annotations and approvals of legislative documents, (3) providing automatic tagging and indexing of legislative documents, (4) reducing paper consumption, (5) and providing the ability for continuous workflow between Council sessions. This type of system would also help with making the City's processes more transparent to the public by providing more automated public records access and an easy to use, self serve, online legislative portal for the public.

5. Infrastructure Hardware and Software

In general, this equipment is required in order to implement the move from terrestrial-based computing to cloud-based computing. For efficient and effective implementation of cloud-based services, switches will need to have throughput at the 1Gb/sec rate, an upgrade from the current 50-100 Mb/sec. Moving to this throughput will also be sufficient to support the move from existing telephone system to Voice over IP (VOIP) technology in the future should it be implemented in the future.

Phase I also includes needed updates to the Police Department technology in support of the EOC and key police systems:

6. Net Motion - Police Department

Implementation will allow officers to better access information in our data systems while in the field. Having officers able to constantly access information in the field will produce a more efficient work force.

7. PSAP - Police Department

The system will allow a 911 dispatcher to be on scene in the EOC improving communication and service during emergency situations as well as providing flexibility to move the EOC per the EOP.

8. JEI Recorder - Police Department

This is an essential part of the dispatch center and a working recorder is needed at times to obtain vital information from callers as well as when requested by the courts during criminal trials

Phase 1 may also include new departmental software that supports the ERP initiative:

9. Permit Tracking Software - Community Planning & Building

Planning permits are currently tracked through an outdated Microsoft Access program. Building permits are tracked through an Excel spreadsheet but all permit inspections and actual permits are prepared on a typewriter. Having an updated software system will improve customer service and enable staff to be more efficient, eliminate the need for antiquated equipment, and improve tracking and reporting.

10. Digital Tree Database

A digital tree inventory will allow staff to easily track tree removals, tree plantings, individual tree work histories by staff and contractors, and program future maintenance efforts. In the past Carmel's lack of street address has been an obstacle for utilizing tree management software products. With the advent of digital mapping and more precise GPS products, a specific street address is no longer required. The City's current grid pruning contractor has a free software product available to Carmel, but mapping the trees in the field is an expense.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Computer Software/Hardware	307,000	6,500	6,500	6,500		326,500
Total	307,000	6,500	6,500	6,500		326,500

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements	267,000	6,500	6,500	6,500		286,500
Measure D	40,000					40,000
Total	307,000	6,500	6,500	6,500		326,500

Budget Impact/Other

Phase I will draw mainly from General Fund revenues (\$260,500 in FY14-15) with some Measure D revenue (\$40,000 in FY14-15)

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Subscription Fees		29,600	29,600	29,600	29,600	118,400
Total		29,600	29,600	29,600	29,600	118,400

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Camel-by-the-Sea, CA

Project #	LIB-1314-01
Project Name	Park Branch Library Book Return



Type	Equipment	Department	Library
Useful Life	25 years	Contact	Library Director
Category	Equipment: Miscellaneous	Urgency	3 Important
Account #	13-88776		

Description **Total Project Cost: \$7,500**

This project involves replacing the book return in the Park Branch library parking lot with a new unit that includes a lighter interior transport cart with caster wheels and an ergonomically designed handle.

Justification

The interior steel transport cart of the present book return weighs approximately 100 pounds unloaded and its wheels do not swivel. The distance from the book return to the building is 105 feet; it is necessary to pull the cart around a corner to get to the building entrance. New transport carts are constructed from aluminum and weigh approximately 44 pounds. The design of the cart eliminates the need for hunching over to lift materials, the wheels swivel to turn corners easily, and it features an ergonomically designed wide handle. Employees will be able to transport heavy loads without physical strain or injury.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings	7,500					7,500
Total	7,500					7,500

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Donor Opportunity	7,500					7,500
Total	7,500					7,500

Budget Impact/Other

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # **AMB-1213-01**
Project Name **Replace Ambulance Vehicle**

Type Equipment
Useful Life 15 years
Category Vehicles
Account # 13-88821

Department Safety: Ambulance
Contact Public Safety Director
Urgency 5 Future Consideration



Description

Total Project Cost: \$150,000

Replacement of the 1998 Ambulance.

Justification

The unit being replaced is the reserve unit, and the current frontline unit will be placed as the reserve. The reserve unit will be 19 years old in 2017 while the front line unit 6 years old. The reserve unit has exceeded the expected serviceable life.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings				150,000		150,000
Total				150,000		150,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements				150,000		150,000
Total				150,000		150,000

Budget Impact/Other

The replacement of the reserve unit will provide a system with two serviceable ambulances. The current budget accounts for the operations of two units, there may be a net minor decrease in maintenance costs. Ongoing costs are annual fuel estimates with repairs anticipated to be under warranty.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Supplies/Materials	3,000	3,000	3,000	3,000	3,000	15,000
Total	3,000	3,000	3,000	3,000	3,000	15,000

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Camel-by-the-Sea, CA

Project # AMB-1314-01
Project Name Hydraulic Stretcher



Type Equipment
Useful Life 10 years
Category Equipment: Miscellaneous
Account #
Department Safety: Ambulance
Contact Public Safety Director
Urgency 2 Very Important

Description **Total Project Cost:** \$17,142
 Upgrade current Stryker Cot with the Stryker Power Pro XT for emergency medical transports.

Justification
 The Stryker Power-Pro XT provides greater safety to EMS/Fire personnel when moving and transporting patients in and out of the ambulance and raising patients from ground level to load level when moving from the scene to the ambulance. The hydraulic system dramatically reduces strenuous lifting and the associated risk of back injury to personnel.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings	17,142					17,142
Total	17,142					17,142

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements	17,142					17,142
Total	17,142					17,142

Budget Impact/Other

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FIRE-1112-03
 Project Name Fire Engine Lease Purchase (09/10)



Type Equipment	Department Safety: Fire
Useful Life 15 years	Contact Public Safety Director
Category Vehicles	Urgency 1 Critical
Account # 13-88823	

Description **Total Project Cost:** \$352,760
 Lease payment for Fire engine purchased in FY 09/10. Final payment is scheduled for July 1, 2015.

Justification

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
211,656	Equip/Vehicles/Furnishings	70,552	70,552				141,104
Total		Total					141,104

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
211,656	GF: Capital Improvements	70,552	70,552				141,104
Total		Total					141,104

Budget Impact/Other
 Some additional maintenance and fuel costs.

Prior	Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
45,000	Maintenance	15,000	15,000	15,000	15,000	15,000	75,000
Total		Total					75,000

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # POL-1314-01
Project Name Parking Scooter



Type Equipment
Useful Life 10 years
Category Vehicles
Account # 13-88531
Department Safety: Police
Contact Public Safety Director
Urgency 2 Very Important

Description **Total Project Cost: \$40,184**
 Replacement of the GO-4, Model BT-57, Three Wheel scooter with a four cylinder engine. The vehicle is gas powered and is equipped with an automatic transmission. The replacement is necessary due to the vehicle being ten years old and the amount of mileage and wear and tear on the vehicle. The replacement of this vehicle is part of the parking management plan.

Justification
 This request is to replace vehicle C-11 which was purchased in 2002 and is well beyond the five year limit. The vehicle currently has over 39,000 miles on its odometer. Because of its age and condition, a significantly greater chance of mechanical breakdown requiring costly repair can be anticipated in the not too distant future. Replacement of this vehicle will continue our policy of rotating vehicles before they become too costly to maintain and is part of the city's vehicle replacement plan.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings	40,184					40,184
Total	40,184					40,184

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements	40,184					40,184
Total	40,184					40,184

Budget Impact/Other

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # POL-1314-02
Project Name Patrol Vehicles



Type Equipment
Useful Life 5 years
Category Vehicles
Account #

Department Safety: Police
Contact Public Safety Director
Urgency 2 Very Important

Description

Total Project Cost: \$433,000

Dodge Charger Police Vehicle with automatic transmission and V-8 package: prisoner partition, double vertical gun locks, Rhino push bumper, prisoner seat, Whelan emergency light bar, lights and siren controller, siren speaker/bracket assembly, headlight flasher, center console, strobe power supply and strobe tubes, L-3 video system and mobile data terminal (MDT).

Justification

Patrol vehicles after five years of service have generally reached the 80,000 mile mark and are in need of replacement. At this age and with the accumulation of miles, a significantly greater chance of mechanical breakdown requiring costly repairs can be anticipated if vehicles are allowed to go beyond their usefulness. Replacement of vehicles will continue the City's commitment to replace vehicles after five years of service so they don't become too costly to maintain.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings	89,000	56,000	93,000	130,000	65,000	433,000
Total	89,000	56,000	93,000	130,000	65,000	433,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements	89,000	56,000	93,000	130,000	65,000	433,000
Total	89,000	56,000	93,000	130,000	65,000	433,000

Budget Impact/Other

Cost for patrol vehicles include a 3-5% cost increase per year.

2014-2015: two vehicles totaling \$89,000: a patrol vehicle (\$54,000) and an admin/detective vehicle (\$35,000).
 2015-2016: one patrol vehicle (\$56,000).
 2016-2017: two vehicles totaling \$93,000: a patrol vehicle (\$63,000) and school vehicle (\$30,000).
 2017-2018: \$130,000 for two patrol vehicles (\$65,000 each).
 2018-2019: one patrol vehicle (\$65,000).

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # POL-1314-03
Project Name GPS & License Plate Recognition

Type Equipment
Useful Life 10 years
Category Equipment: Computers
Account #

Department Safety: Police
Contact Public Safety Director
Urgency 4 Less Important



Description

Total Project Cost: \$104,176

Global Positioning System (GPS) and License plate Recognition (LPR) parking enforcement to be installed in G0-4 police parking unit. The purchase of this equipment is part of the Parking Management Plan.

Justification

Technology using Global Positioning System (GPS) and License Plate Recognition (LPR) image capture has been developed for the purpose of parking enforcement. The city purchased a unit in 2008 and requested purchasing an additional unit. Acquiring an additional unit will reduce likelihood of workers' compensation claims related to parking enforcement duties and increase parking enforcement. This item has been moved from 14/15 to 15/16 based on the direction identified during the Parking Management Study.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings		104,176				104,176
Total		104,176				104,176

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements		104,176				104,176
Total		104,176				104,176

Budget Impact/Other

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	POL-1314-05
Project Name	Kenwood Radio Purchase & Encryption



Type	Equipment	Department	Safety: Police
Useful Life	5 years	Contact	Public Safety Director
Category	Vehicles	Urgency	1 Critical
Account #	13-88539		

Description	Total Project Cost: \$104,000
<p>Encryption is the blocking of radio transmissions through a system that scrambles the signal so people with scanners cannot listen to police traffic. Encryption has been adopted as part of the county NGEN project. The encryption would be installed in 50 department radios to include, patrol handhelds, vehicles, dispatch, and EOC stations. Without encryption we will not be able to communicate with other agencies.</p>	

Justification
<p>Encryption of the radios is necessary to maintain communication with all of the other agencies in our county. Without encryption we will not be able to hear or talk to any other agencies. Encryption will be required by 2015.</p>

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
32,000	Equip/Vehicles/Furnishings	72,000					72,000
Total	Total	72,000					72,000

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
32,000	Measure D	72,000					72,000
Total	Total	72,000					72,000

Budget Impact/Other

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # POL-1415-04
Project Name Parking Management Study



Type Equipment
Useful Life 10 years
Category Equipment: Miscellaneous
Account # 13-88540
Department Safety: Police
Contact Public Safety Director
Urgency 2 Very Important

Description **Total Project Cost:** \$725,000
 Update parking environmental and management study for the City of Carmel as identified as a City Council key initiative to implement a parking management plan.

Justification
 The Walker Study was completed during the 13/14 budget year as part of the Key Initiative (Parking Management Plan). This project calls for an update of a parking management program for the City. Funding in 2014-2015 for a project identified in the planning process.

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
25,000	Equip/Vehicles/Furnishings	474,000	226,000				700,000
Total	Total	474,000	226,000				700,000

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
25,000	GF: Capital Improvements	241,000	226,000				467,000
	Measure D	233,000					233,000
Total	Total	474,000	226,000				700,000

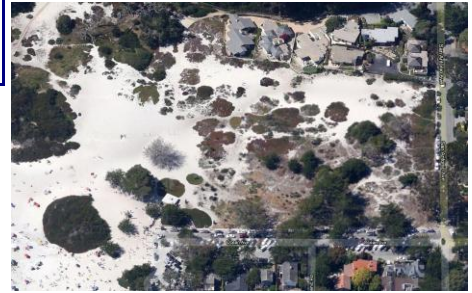
Budget Impact/Other
 Budget impacts are to be determined depending on the identified Phase II project, if any.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # CPB-1213-02
Project Name Del Mar Master Plan - Phase II Pathway



Type Improvement
Useful Life 15 years
Category Beach
Account # 13-88405
Department Services: Public Works
Contact Public Srvs Dir.
Urgency 2 Very Important

Description **Total Project Cost: \$250,000**
 The City received a \$250,000 grant from the Coastal Conservancy for the implementation of the Del Mar Master Plan. The plan has been implemented and is near completion. In the first phase of the project a pathway was constructed along San Antonio Avenue connecting Ocean and 4th Avenues. The second phase of the project would place a pathway on the beach connecting the Del Mar parking area to 8th Avenue (see FPB1415-04) and will utilize the remaining \$60,000 of grant funds allocated toward this project.

Justification
 The Del Mar Master Plan encourages improving pedestrian circulation between the north end of the Beach Bluff Pathway at 8th Avenue and the Del Mar Avenue parking lot. The City will explore options for additional grant funding, but may be required to draw from the General Fund.

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
190,000	Construction/Maintenance	60,000					60,000
Total	Total	60,000					60,000

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
190,000	Grants	60,000					60,000
Total	Total	60,000					60,000

Budget Impact/Other
 Ongoing budget impacts would be maintenance and repair pathways and walkways.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # PW 1415-05
Project Name Scenic: Ocean to 8th Ave. Utility Undergrounding



Type Improvement **Department** Services: Public Works
Useful Life 25 years **Contact** Public Svcs Dir.
Category Unassigned **Urgency** 4 Less Important
Account #

Description **Total Project Cost:** \$600,000
 This project involves undergrounding the overhead utility lines on the remaining portion of Scenic Road from Ocean Avenue to Eight Avenue.

Justification
 Undergrounding utilities would improve the aesthetics and may qualify for Rule 20A funds from PG&E if Scenic is considered as a major road or right-of-way. It could also be funded by residents through an assessment district.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance					600,000	600,000
Total					600,000	600,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Measure D					600,000	600,000
Total					600,000	600,000

Budget Impact/Other
 No impact to the City's budget.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # PW 1415-06
Project Name Ocean Avenue to Torres Utility Undergrounding



Type Improvement **Department** Services: Public Works
Useful Life 25 years **Contact** Public Srvs Dir.
Category Unassigned **Urgency** 4 Less Important
Account #

Description **Total Project Cost:** \$1,100,000

This project involves undergrounding the overhead utility lines from the City boundary from Ocean Avenue to Torres Street. The project qualifies for PG&E Rule 20A funds, recovered through electric rates upon project completion.

Justification

The project qualifies for Rule 20A funds as street, road or right-of-way adjoins or passes through a civic area or public recreation area or an area of unusual scenic interest to the general public.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance					1,100,000	1,100,000
Total					1,100,000	1,100,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements					260,000	260,000
Unfunded					840,000	840,000
Total					1,100,000	1,100,000

Budget Impact/Other

No impact.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	PW-1112-01
Project Name	Street and Road Projects



Type	Improvement	Department	Services: Public Works
Useful Life	25 years	Contact	Public Svcs Dir.
Category	Street Reconstruction	Urgency	1 Critical
Account #	13-89585		

Description **Total Project Cost: \$6,166,400**

This project involves the patching and overlay of various street identified within the Nichols Pavement Management Study (2013) based on the street's condition, as determined by its Pavement Condition Index (PCI). This assumes \$814,000 annually for maintenance to maintain an average PCI of 63.

Justification

The street improvement priorities represent data from the Nichols Pavement Study, analysis and observation from Neill Engineers and recommendations from Public Services staff. Cost estimates range from \$3.00 per square foot for a two-inch thick asphalt overlay to \$22.00 per square foot for a seven-inch thick concrete pavement repair section plus 20% for engineering and contingencies.

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
1,282,400	Planning/Design	162,800	162,800	162,800	162,800	162,800	814,000
Total	Construction/Maintenance	814,000	814,000	814,000	814,000	814,000	4,070,000
	Total	976,800	976,800	976,800	976,800	976,800	4,884,000

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
1,282,400	Measure D	626,800	626,800	626,800	626,800	626,800	3,134,000
Total	Road Impact Fund	200,000	200,000	200,000	200,000	200,000	1,000,000
	Traffic Safety	150,000	150,000	150,000	150,000	150,000	750,000
	Total	976,800	976,800	976,800	976,800	976,800	4,884,000

Budget Impact/Other

It costs less to maintain a street in good condition than to repair a street that has failed. Funding for preventative maintenance helps reduce the costs associated with deferred maintenance of roads.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Staff Cost	15,000	15,000	15,000	15,000	15,000	75,000
Supplies/Materials	5,000	5,000	5,000	5,000	5,000	25,000
Total	20,000	20,000	20,000	20,000	20,000	100,000

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	PW-1213-04
Project Name	Gardener Trucks



Type	Equipment	Department	Services: Public Works
Useful Life	15 years	Contact	Public Svcs Dir.
Category	Vehicles	Urgency	3 Important
Account #	13-88629		

Description	Total Project Cost: \$85,000
Purchase (2) medium sized 1/2-ton pick-up trucks to replace the (2) existing gardener vehicles (1) with a pick-up bed and (1) with a utility bed.	

Justification
Both existing vehicles are 15 years old and have extensive use and mileage that is excessive for their age. Each existing vehicle is used for hauling various items to conduct gardening throughout the City on the beach, in parks and along the public right-of-ways. One truck has a pick-up style bed and the other is a small flat-bed utility.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings		40,000	45,000			85,000
Total		40,000	45,000			85,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements		40,000	45,000			85,000
Total		40,000	45,000			85,000

Budget Impact/Other
Continued maintenance of the existing vehicles is increasing.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance	500	200	200	200	200	1,300
Total	500	200	200	200	200	1,300

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # PW-1213-05
Project Name Dump Truck



Type Equipment
Useful Life 15 years
Category Vehicles
Account # 13-88583
Department Services: Public Works
Contact Public Svcs Dir.
Urgency 3 Important

Description **Total Project Cost: \$90,000**
 Purchase (1) five-yard Dump Truck with hydraulic dump bed.

Justification
 The existing dump truck was purchased in 1995 and was underpowered when it was bought. Due to this situation, it has been over-loaded at times with asphalt, sand, gravel and many other materials needed to conduct repairs on City streets, storm drains etc. which has necessitated brake replacement on a regular basis and poses braking problems for the weight hauled.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings		90,000				90,000
Total		90,000				90,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements		90,000				90,000
Total		90,000				90,000

Budget Impact/Other
 Increasing costs for maintenance and repairs and increased down time for the vehicle being out of service.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance	1,000	200	200	200	200	1,800
Total	1,000	200	200	200	200	1,800

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Camel-by-the-Sea, CA

Project # PW-1213-06
Project Name Water Truck



Type Equipment
Useful Life 15 years
Category Vehicles
Account # 13-88584
Department Services: Public Works
Contact Public Srvs Dir.
Urgency 2 Very Important

Description **Total Project Cost: \$80,000**
 Purchase a new 2-ton utility truck with a 500 gallon water tank and pump for tree and/or street maintenance.

Justification
 This equipment is needed to implement the Forest Management Plan. This vehicle is used every day to haul water for tree watering and street maintenance. In addition, this vehicle is a vital piece of equipment for maintaining storm water issues and washing out culverts. It can also serve as a back-up water tender for fighting fires. The existing vehicle is a 1994 Ford. Engine life, brakes and transmission have become issues due to mileage and age.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings			80,000			80,000
Total			80,000			80,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			80,000			80,000
Total			80,000			80,000

Budget Impact/Other
 Increasing maintenance costs with vehicle age.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance	200	200	200	200	200	1,000
Total	200	200	200	200	200	1,000

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # PW-1213-07
Project Name Guadalupe to 5th Storm Drain



Type Improvement **Department** Services: Public Works
Useful Life 25 years **Contact** Public Svcs Dir.
Category Storm Drainage **Urgency** 1 Critical
Account #

Description **Total Project Cost:** \$350,000
 Re-route the existing storm drain in this area off private property onto City property for proper maintenance and to prevent flooding. This project includes the overlay of 5th Ave. between Guadalupe and Torres, thereby smoothing out an existing street.

Justification
 The current drainage line is located on private property and is maintained by the City. Accessing private property for proper maintenance is often limited and poses other difficulties. The existing piping runs under existing houses, posing another undesirable situation. This system has existed for many years and is very antiquated.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance		350,000				350,000
Total		350,000				350,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements		350,000				350,000
Total		350,000				350,000

Budget Impact/Other
 Maintenance would be part of the existing storm drain and streets programs.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance	100	100	100	100	100	500
Total	100	100	100	100	100	500

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	PW-1314-01
Project Name	Bikeway Projects



Type Improvement
Useful Life 20 years
Category Street Construction
Account # 13-89587

Department Services: Public Works
Contact Public Svcs Dir.
Urgency 3 Important

Description **Total Project Cost: \$610,000**

The Transportation Agency for Monterey County prepared the Bicycle and Pedestrian Master Plan in 2011 identified twelve bikeway projects, or six miles of bikeway improvements costing approximately \$700,000. An updated gap analysis is currently being produced to develop a plan to connect Carmel to the regional system of bicycle and pedestrian trails and will be incorporated into the Bicycle Plan and Regional Transportation Plan.

Justification

The Circulation Element of the General Plan, Policy 02-6, directs the City to promote and participate in alternative transportation programs. The City may undertake improvements to identified bikeway projects while exploring the development of additional bikeways.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design	30,000					30,000
Construction/Maintenance	20,000	140,000	140,000	140,000	140,000	580,000
Total	50,000	140,000	140,000	140,000	140,000	610,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Grants		140,000	140,000	140,000	140,000	560,000
Measure D	50,000					50,000
Total	50,000	140,000	140,000	140,000	140,000	610,000

Budget Impact/Other

Environmental review will be required for the development of bikeway paths. Once developed, new bikeway paths will increase the number of miles needing to be maintained by City staff.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # PW-1415-01
Project Name Sidewalk Repair



Type Maintenance
Useful Life 15 years
Category Street Paving
Account #
Department Services: Public Works
Contact Public Svcs Dir.
Urgency 1 Critical

Description **Total Project Cost: \$375,000**
 This project involves the removal and replacement of existing sidewalk, including the replacement of existing pavement with permeable pavers as applicable.

Justification
 Replacement increases the safety of pedestrains, improves water retention and improves the aesthetics of sidewalks in the business/commercial district.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design	11,250	11,250	11,250	11,250	11,250	56,250
Construction/Maintenance	63,750	63,750	63,750	63,750	63,750	318,750
Total	75,000	75,000	75,000	75,000	75,000	375,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total	Future
Measure D	75,000	75,000	75,000	75,000	75,000	375,000	0
Total	75,000	75,000	75,000	75,000	75,000	375,000	Total

Budget Impact/Other
 Replacement of existing sidewalk reduces the cost to maintain and repair aging sidewalk and reduces potential liability from trip and fall claims.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Staff Cost	0	0	0	0	0	0
Supplies/Materials	0	0	0	0	0	0
Total	0	0	0	0	0	0

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # PW-1415-02
Project Name Storm Drain Replacement



Type Improvement **Department** Services: Public Works
Useful Life 25 years **Contact** Public Srvs Dir.
Category Storm Drainage **Urgency** 2 Very Important
Account #

Description **Total Project Cost: \$165,000**

This project involves the replacement of existing storm drains throughout the City as follows:
 N/E Casanova and 11th, N/W Monte Verde and 9th, N/E Lincoln and 11th- 2014-15
 N/E Torres and 8th, N/W San Antonio and 13th- 2015-16
 Mission and 10th, Mission and 11th- 2016-17
 N/E Camino Real and 8th, Northside Mt. View to S/W Guadalupe- 2017-18
 North Casanova to 4th, N/E Camino Real and 12th-2018-19

Justification

Upgrading of the storm drains will assist in efforts to prevent flooding and help capture additional debris from entering the storm drain system.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance	45,000	25,000	35,000	30,000	30,000	165,000
Total	45,000	25,000	35,000	30,000	30,000	165,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			35,000		30,000	65,000
Measure D				30,000		30,000
Unfunded	45,000	25,000				70,000
Total	45,000	25,000	35,000	30,000	30,000	165,000

Budget Impact/Other

Storm drains are routinely cleaned of debris as part of maintenance.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance	100	100	100	100	100	500
Total	100	100	100	100	100	500

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	PW-1415-03
Project Name	Carpenter to 4th Storm Drain



Type	Improvement	Department	Services: Public Works
Useful Life	25 years	Contact	Public Svcs Dir.
Category	Storm Drainage	Urgency	2 Very Important
Account #			

Description	Total Project Cost: \$350,000
This project involves the redesign of and replacement of storm drain on E/S Carpenter between 4th and 5th.	

Justification
This project has been identified in previous drainage studies and will help minimize damage to property.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design				30,000		30,000
Construction/Maintenance				320,000		320,000
Total				350,000		350,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements				350,000		350,000
Total				350,000		350,000

Budget Impact/Other
Minimal impact to storm drain maintenance budget. However, the improvements may prevent costly damage resulting from flooding.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance	100	100	100	100	100	500
Total	100	100	100	100	100	500

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # PW-1415-04
Project Name Ocean Ave Utility Undergrounding



Type Improvement **Department** Services: Public Works
Useful Life 25 years **Contact** Public Svcs Dir.
Category Unassigned **Urgency** 3 Important
Account #

Description **Total Project Cost:** \$1,200,000
 This project involves undergrounding the overhead utility lines on Ocean Avenue from Casanova to Del Mar, including the removal of a utility pole at the corner of San Antonio. The project qualifies for PG&E Rule 20A funds, recovered through electric rates upon project completion.

Justification
 The project qualifies for Rule 20A funds as street, road or right-of-way adjoins or passes through a civic area or public recreation area or an area of unusual scenic interest to the general public.

Future
 1,200,000
Total

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total	Future
GF: Capital Improvements			100,000			100,000	200,000
Intergovernmental					850,000	850,000	Total
Measure D				100,000		100,000	
Total			100,000	100,000	850,000	1,050,000	

Budget Impact/Other
 The cost of the project is estimated to be \$1.2 million. The City has a current allocation of \$670,000 and may borrow up to five years worth of its future allocation (\$185,000) for a total cost of \$850,000. The project balance of \$400,000 could be funded by the City or by residents through an assessment district if initiated by Council.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	CPB-1314-01
Project Name	Water Conservation Projects



Type	Improvement	Department	Services: Facilities
Useful Life	25 years	Contact	Comm. Planning & Bldg Dir
Category	Unassigned	Urgency	5 Future Consideration
Account #	13-88410		

Description	Total Project Cost: \$30,000
<p>In 2011 the City Council adopted a Water Conservation Plan. The purpose of the plan is to assess the City's current water usage and identify opportunities for water conservation projects. Projects may include retrofitting City facilities and irrigation systems, public outreach and the construction of rain harvesting systems. The City would first seek out grants as a potential source of funding.</p>	

Justification
<p>In October, 2009 the State Water Control Resources Board issued a Cease and Desist Order requiring that Cal-Am cease its unauthorized diversions by December 31, 2016. With the unresolved issues related to finding a regional water solution, it is important that the City of Carmel-by-the-Sea be proactive in determining how to prepare for a restricted water supply in the future.</p>

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance	10,000	10,000	10,000			30,000
Total	10,000	10,000	10,000			30,000

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
10,000	Grants	10,000	10,000				20,000
Total	Total	10,000	10,000				20,000

Budget Impact/Other
<p>New water projects may require regular maintenance and repair.</p>

Prior	0
Total	

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC- 1415-01
Project Name First Murphy Painting



Type Improvement **Department** Services: Facilities
Useful Life 15 years **Contact** Public Svcs Dir.
Category Buildings **Urgency** 3 Important
Account #

Description **Total Project Cost: \$10,000**
 This project involves the repair of wood rot and rebuilding of window frames and repainting the First Murphy House.

Justification
 Painting is a preventative maintenance effort and will visually enhance the appearance of this historic property.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance				10,000		10,000
Total				10,000		10,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements				10,000		10,000
Total				10,000		10,000

Budget Impact/Other
 This is a one-time expense.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC 1415-02
Project Name Picadilly Park Restroom Improvements



Type Improvement **Department** Services: Facilities
Useful Life 15 years **Contact** Public Svcs Dir.
Category Buildings **Urgency** 2 Very Important
Account #

Description **Total Project Cost: \$40,000**
 This project involves improving the accessibility to the Piccadilly Park public restroom.

Justification
 Piccadilly Park is a corner park in the business district and the project would enhance the accessibility of the restroom for residents and visitors. Recommended in 2013 Facility Assessment Report.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design	10,000					10,000
Construction/Maintenance		30,000				30,000
Total	10,000	30,000				40,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Unfunded	10,000	40,000				50,000
Total	10,000	40,000				50,000

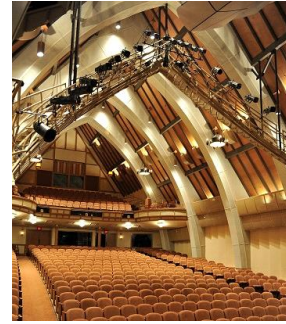
Budget Impact/Other
 Minimal to no impact on annual budget.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC 1415-03
Project Name Sunset Center Lighting Console



Type Equipment
Useful Life 10 years
Category Equipment: Miscellaneous
Account #
Department Services: Facilities
Contact Public Svcs Dir.
Urgency 1 Critical

Description **Total Project Cost: \$19,500**
 Replacement of existing lighting console that has passed end of its expected lifespan, does not operate with current technology standards, and has demonstrated critical hardware malfunctions interrupting shows in progress. The purchase of a new console is needed as soon as possible to ensure basic theatrical lighting needs are met, and our ability to support modern lighting needs requested by clients.

Justification
 Page 18, Section 7.1 of the Operating Agreement calls for this project to be a City responsibility. Current equipment is in the tenth year of use, at the end of its expected life span of 7 to 10 years; Impractical to repair or maintain; At risk for unpredictable system crashes at any time before or during a production; Uses an old floppy disk drive that is difficult to operate, program, and backup information; Uses an older Net 1 protocol vs. the current Net 2 protocol, and is not capable of operating intelligent or moving fixtures that some productions require.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings				19,500		19,500
Total				19,500		19,500

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements				19,500		19,500
Total				19,500		19,500

Budget Impact/Other
 Sunset Center Theater remains at risk of losing a production with the next system crash. Failure of current board would result in costly rental in the amount of \$400 for each production or \$3,000 per month. Sunset Center Theater will continue to operate with outdated and less desirable technology, while not being able to accommodate lighting requirements for many of our users and growing network of clients.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC 1415-04
Project Name Sunset Center Digital Sound Board



Type Equipment
Useful Life 15 years
Category Equipment: Miscellaneous
Account #
Department Services: Facilities
Contact Public Svcs Dir.
Urgency 2 Very Important

Description

Total Project Cost: \$62,500

Replacement of existing analog sound board that is near the end of its expected lifespan, becoming impractical to maintain, has outdated technology, and requires costly equipment rentals to add required features. The purchase of a new digital board will bring the theater to a current level of audio technology standards, while significantly reducing rental, maintenance, and labor costs to operate.

Justification

Page 18, Section 7.1 of the Operating Agreement calls for this project to be a City responsibility. Current equipment is in the eighth year of use, reaching the end of its expected life span of 7 to 10 years; At risk for failure that will impact a production, or put a production in jeopardy; Outdated analog technology, and often results in additional costs to rent supplemental equipment to add required effects and capacity. Bulky, with customary in-house setup requiring space that removes at least 20 sellable seats from our inventory vs. 10 seats with a new digital unit.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings				62,500		62,500
Total				62,500		62,500

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements				62,500		62,500
Total				62,500		62,500

Budget Impact/Other

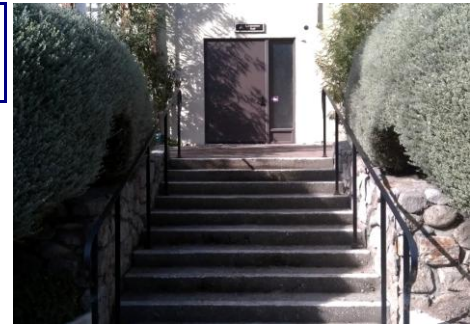
Delay will progress the inevitable wear of current board, increasing likelihood of equipment failure. Sunset Center Theater will continue to operate with outdated and less desirable technology, and incur supplemental equipment rental costs to meet audio requirements. Costs for repair/refurbishment which might otherwise be more practically applied towards purchase of a new unit. Failure of current board would result in costly rental in the amount of \$500 for each production or \$3,750 per month. Continued loss of ticket sales revenue in the amount of an average of \$800 per show.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC 1415-05
Project Name Sunset Center Ramp Construction



Type Improvement **Department** Services: Facilities
Useful Life 20 years **Contact** Public Svcs Dir.
Category Buildings **Urgency** 2 Very Important
Account #

Description

Total Project Cost: \$35,000

Construct a ramp to serve as a pedestrian walkway from the Mission Street sidewalk to Carpenter Hall. This walkway would provide ease of access for all users of the facility including those with wheelchairs, walkers, or other physical challenges

Justification

Carpenter Hall is not ADA accessible from Mission Street. The project would address needs of the public and bring this facility into compliance. ADA access to Carpenter Hall is currently only available from the exterior of the building near the north parking lot. All access from Mission Street and from inside the building are limited to stairs only. Recommended in 2013 Facility Assessment Report.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design	10,000					10,000
Construction/Maintenance		25,000				25,000
Total	10,000	25,000				35,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Unfunded	10,000	25,000				35,000
Total	10,000	25,000				35,000

Budget Impact/Other

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC 1415-06
Project Name Sunset Center Awning



Type Improvement **Department** Services: Facilities
Useful Life 15 years **Contact** Public Svcs Dir.
Category Buildings **Urgency** 4 Less Important
Account #

Description

Total Project Cost: \$45,000

Construct an awning to cover the outdoor space near the concession area. This 22' x 44' structure would be designed and built to connect to the Promenade Lobby roof and supported by the existing arbor columns. This project would provide outdoor event space and an expanded concession service area year-round.

Justification

The proposed area has an arbor with climbing plants, and is not functional to support theater or lobby events. This project proposal is in response to feedback from theater patrons as well as event organizers seeking more space and increased capacity for events in the lobby. The new outdoor space would greatly enhance Sunset Center's ability to service our current user groups, attract new business, and reach goals to upgrade concessions service. Additionally, the awning would help protect the part of the building proven to be most vulnerable to harsh weather conditions, especially wind and driving rain that has already begun to deteriorate the structure. Recommendation in 2013 Facility Assessment Report.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design			10,000			10,000
Construction/Maintenance				35,000		35,000
Total			10,000	35,000		45,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Measure D			10,000	35,000		45,000
Total			10,000	35,000		45,000

Budget Impact/Other

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1213-01
Project Name PD/PW Roof/Patio Replacement



Type Improvement **Department** Services: Facilities
Useful Life 25 years **Contact** Public Svcs Dir.
Category Buildings **Urgency** 1 Critical
Account # 13-89431-0001

Description

Total Project Cost: \$1,075,000

This project is the replacement of the water proof membrane and concrete roof/patio structure at the front of the Police Department and over the Public Works garage/shop.

Justification

This item has long been identified as a necessary and paramount matter for repairs. The existing structure is riddled with leaks that have rusted and deteriorated the reinforcing steel within the slab/roof. The structure is a vital building housing all of the Public Works equipment and personnel.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design	75,000					75,000
Construction/Maintenance		500,000	500,000			1,000,000
Total	75,000	500,000	500,000			1,075,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			500,000			500,000
Measure D	75,000	500,000				575,000
Total	75,000	500,000	500,000			1,075,000

Budget Impact/Other

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1213-02
Project Name PD/PW Re-Painting

Type Maintenance
Useful Life 15 years
Category Buildings
Account # 13- 89433

Department Services: Facilities
Contact Public Svcs Dir.
Urgency 5 Future Consideration



Description

Total Project Cost: \$27,000

This project is to paint the Police Department and Public Works buildings both interior and exterior. (This project does NOT include the interior of the shop area.)

Justification

Both of these facilities are high profile use for both City staff and the public. The last time they received a thorough painting was about 25 years ago. Peeling, chipping and fading have occurred throughout both rendering an unsightly and old, dirty appearance.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance			27,000			27,000
Total			27,000			27,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			27,000			27,000
Total			27,000			27,000

Budget Impact/Other

FY 2014-2015 Projects

'14/'15 *thru* '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1213-04
Project Name PD HVAC Replacement and Re-Roof



Type Maintenance **Department** Services: Facilities
Useful Life 15 years **Contact** Public Svcs Dir.
Category Buildings **Urgency** 1 Critical
Account # 13-89431

Description **Total Project Cost: \$400,000**
 This project would replace the old heating/cooling system on the rooftop of the Police Department.

Justification
 The new system would be a "dual-pac" type unit that provides cooling and heating throughout the building. The existing unit is outdated and too small for the workload of cooling the Police Department, especially with all the computers in use and the doors closed to maintain proper security. The existing hot-mop tar roofing is cracked and worn due to age. It is approximately 25 years old and roofing of this type is generally replaced about every 10-15 years.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design			50,000			50,000
Construction/Maintenance				350,000		350,000
Total			50,000	350,000		400,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			50,000			50,000
Measure D				350,000		350,000
Total			50,000	350,000		400,000

Budget Impact/Other
 The ventilation system would come with a manufacturer's warranty, generally one year. The roof would be warranted for approximately 5 years by the roofing contractor. Regular maintenance would be handled by City staff through their regular budget accounts.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1213-08
Project Name Sunset Center Wood Patio Stage Replacement



Type Maintenance **Department** Services: Facilities
Useful Life 25 years **Contact** Public Svcs Dir.
Category Buildings **Urgency** 3 Important
Account # 13-88691

Description **Total Project Cost: \$10,000**
 Replace the existing wood stage located outside the Bingham/Chapman rooms on the exterior patio area.

Justification
 The existing stage is approximately 30 years old and is rotted and deteriorated beyond repair. It is used regularly by occupants of the complex for rehearsals and performances on the patio. It is an integral part of the complex.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance	10,000					10,000
Total	10,000					10,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Donor Opportunity	10,000					10,000
Total	10,000					10,000

Budget Impact/Other
 Current maintenance has become a patch and repair matter as needed. Future maintenance would be less the first few years of use and then handled through regular maintenance by City staff.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1213-09
Project Name Sunset Center Bach Offices Building Re-Roof



Type Maintenance
Useful Life 25 years
Category Buildings
Account # 13-88694
Department Services: Facilities
Contact Public Svcs Dir.
Urgency 4 Less Important

Description **Total Project Cost: \$25,000**
 This building is located at the lower parking lot at the N/W corner of Mission and 10th. It was re-roofed in 1985 when the City Hall offices occupied it during the City Hall remodel. It is a composition roof and requires replacement.

Justification
 When it was done in 1985 the composition roof was expected to last about 15 years. The new materials would match the existing composition shingles.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance			25,000			25,000
Total			25,000			25,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			25,000			25,000
Total			25,000			25,000

Budget Impact/Other
 5 year contractor warranty and 10 year on the materials is normal for this type of work. Future maintenance would be minimal for at least 10 years.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1213-10
Project Name Sunset Center Planter Re-construction



Type Improvement **Department** Services: Facilities
Useful Life 25 years **Contact** Public Svcs Dir.
Category Buildings **Urgency** 2 Very Important
Account # 13-88695

Description

Total Project Cost: \$27,000

This project includes the repair/replacement of the planters and paver walkway at the main entrance to the Sunset offices off San Carlos. It also includes the removal and replacement of the stone planters that have deteriorated over time and have been displaced by tree roots outside the Carpenter Hall area at the Mission side entrance and the Cottage 16 area on Mission Street near 10th Avenue.

Justification

The stone entry planters have deteriorated with age and the tree roots have created an uneven walking surface necessitating attention. Full replacement/repair to bring the entry to new standards is recommended.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance	27,000					27,000
Total	27,000					27,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements	27,000					27,000
Total	27,000					27,000

Budget Impact/Other

Future maintenance would be substantially reduced and would fall under regular maintenance schedules in the current budgeted account.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1213-11
Project Name Sunset Center Roof Repairs



Type Maintenance
Useful Life 25 years
Category Buildings
Account # 13-88697
Department Services: Facilities
Contact Public Svcs Dir.
Urgency 1 Critical

Description **Total Project Cost: \$75,352**

The project proposal includes an infra-red analysis of the affected areas to determine the extent of the leaking. A roofing contractor would then remove roofing materials, make the necessary repairs and re-roof the affected area. Staff is aware of all the leaking areas and will supervise the project closely. The project would include downspout and gutter repairs.

Justification

Multiple roof leaks exist in the Sunset Center; analysis is needed to determine if it is a design or construction flaw. Water leakage could result in further internal damage to the facility.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance	75,352					75,352
Total	75,352					75,352

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
SCC Retainage	75,352					75,352
Total	75,352					75,352

Budget Impact/Other

With the leaks repaired the interior damage would cease. Future maintenance would be reduced. It is expected that the project would not exceed the amount proposed.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1213-14
Project Name Sunset Center Re-painting



Type Maintenance
Useful Life 15 years
Category Buildings
Account # 13-88696
Department Services: Facilities
Contact Public Srvs Dir.
Urgency 3 Important

Description

Total Project Cost: \$25,000

This project involves the east side of the complex along the Carpenter Hall area that was not part of the overall remodel and has not been painted for approximately 30 years and the north side of the complex along the pay-parking lot.

Justification

This is a deferred maintenance project. Staff has patched and spot painted for years but repaint is necessary aesthetically and to protect the surface.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance	25,000					25,000
Total	25,000					25,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements	25,000					25,000
Total	25,000					25,000

Budget Impact/Other

New paint reduces staff time for patching thereby saving time and funds for other necessities.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1213-16
Project Name Harrison Memorial Library Re-painting Project



Type Maintenance
Useful Life 15 years
Category Buildings
Account # 13-89780
Department Services: Facilities
Contact Public Svcs Dir.
Urgency 3 Important

Description **Total Project Cost:** \$28,000
 This project would be a complete paint job on the main library building exterior. All trim and walls are included. Colors would match the existing unless the City Council chooses otherwise.

Justification
 The building received a paint job about 26 years ago just before the roofing was removed and replaced repairing all the leaks. This building is a very high profile facility.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance			28,000			28,000
Total			28,000			28,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			28,000			28,000
Total			28,000			28,000

Budget Impact/Other
 Painting contractors generally don't provide a warranty, however the materials to be used would be the highest quality and any discrepancies in workmanship would be covered.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1213-20
Project Name Card Key Security System



Type Improvement
Useful Life 20 years
Category Buildings
Account # 13-88408
Department Services: Facilities
Contact Public Svcs Dir.
Urgency 5 Future Consideration

Description

Total Project Cost: \$25,000

Key card building security and access system. The system would utilize employee identification cards for facility access reducing the need to maintain keys while enhancing security and control of access. The project would include a Proximity Card Reader at each entrance, Proximity Cards for those authorized to access facilities, Installation, a Power Supply, Motion Sensor, Magnetic Locks, Operating Software, Access Control Panel, Enrollment Station, Interface Board, Wiring, and a Time Delay Button.

Justification

The existing keyed lock system to secure city facilities does not provide the necessary level of security for City facilities. The current system could face degraded security due to lost keys, key duplication, or unauthorized access-code sharing. This project can be scaled over time.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance				25,000		25,000
Total				25,000		25,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements				25,000		25,000
Total				25,000		25,000

Budget Impact/Other

None

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	FAC-1213-21
Project Name	Forest Theater Renovation



Type	Improvement	Department	Services: Facilities
Useful Life	20 years	Contact	Public Svcs Dir.
Category	Buildings	Urgency	1 Critical
Account #	13-89676		

Description	Total Project Cost: \$1,150,000
<p>Broadly defined, the scope of work includes: 1) demolition and reconstruction of all of the stage area except the existing understage concrete structure which currently houses the Children's Experimental Theater, dressing rooms, storage space, etc.; 2) demolition and reconstruction of the audience seating area; 3) demolition and reconstruction of a show production booth; 4) demolition and reconstruction of the concession building, restrooms, box office, and pathways to the various buildings, audience seating, and stage so all are ADA compliant; and 5) demolition and reconstruction of the parking area.</p>	

Justification
<p>This historic asset requires maintenance upgrades to meet current needs of the theater and to facilitate access for the visiting public. The renovation components of both phases can be segregated and accomplished at later dates based on budgetary constraints. Without certain upgrades the facility will not be useable.</p>

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
20,000	Construction/Maintenance	180,000		950,000			1,130,000
Total	Total	180,000		950,000			1,130,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Donor Opportunity			475,000			475,000
Grants	180,000					180,000
Measure D			475,000			475,000
Total	180,000		950,000			1,130,000

Budget Impact/Other
None

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1314-01
Project Name City Hall Renovations



Type Improvement
Useful Life 10 years
Category Buildings
Account # 13-89426
Department Services: Facilities
Contact Public Svcs Dir.
Urgency 3 Important

Description **Total Project Cost: \$180,000**
 This project involves fumigating City Hall, refinishing the redwood walls of the Council Chambers, cleaning the exterior of the building and replacing chairs in City Hall offices and Chambers.

Justification
 Maintenance of City Hall Chambers is needed to preserve the building while new chairs are needed for City Hall Offices and Chambers to create comfortable seating for City staff and the public. The redwood walls were last sealed in 1985.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total	Future
Construction/Maintenance	20,000					20,000	150,000
Equip/Vehicles/Furnishings	10,000					10,000	
Total	30,000					30,000	Total

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total	Future
Measure D	30,000					30,000	150,000
Total	30,000					30,000	Total

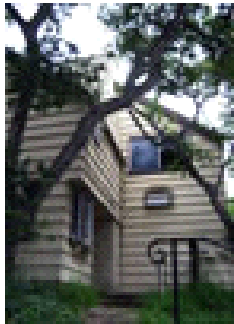
Budget Impact/Other
 This involves a one-time cost associated with the purchase of new chairs and the cost of contractual services for renovations.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	FAC-1314-02
Project Name	Scout House Renovations



Type	Improvement	Department	Services: Facilities
Useful Life	25 years	Contact	Public Svcs Dir.
Category	Buildings	Urgency	3 Important
Account #	13-89436		

Description **Total Project Cost: \$400,000**

This project involves accessibility renovations and other improvements to the Scout House. The project includes designing an exterior lift from Mission Street to the entry patio, renovating the existing restrooms, replacing the roof and gutters, electrical and plumbing repairs, exterior painting and landscaping.

Justification

An analysis of the feasibility of the upgrades was conducted in 1999 and estimated the cost of the accessibility renovations at \$284,000 and other improvements at \$87,000. Accounting for inflation, the estimated cost for these improvements would be \$391,385. Once renovated to meet accessibility requirements, the facility could be used for community and private events.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design		50,000				50,000
Construction/Maintenance			350,000			350,000
Total		50,000	350,000			400,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Donor Opportunity			175,000			175,000
Grants			175,000			175,000
Measure D		50,000				50,000
Total		50,000	350,000			400,000

Budget Impact/Other

The City currently pays for minimal preventative maintenance and security costs associated with this building.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FAC-1314-04
Project Name Sunset Center Door Replacement



Type Maintenance
Useful Life 15 years
Category Buildings
Account # 13-88698
Department Services: Facilities
Contact Public Svcs Dir.
Urgency 3 Important

Description **Total Project Cost:** \$35,000
 This project involves the installation of six new entry doors at the Sunset Center.

Justification
 The current doors are showing signs of weathering and need replaced.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings	35,000					35,000
Total	35,000					35,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements	35,000					35,000
Total	35,000					35,000

Budget Impact/Other
 Maintenance costs are currently incurred to prevent the doors from leaking.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # LIB-1112-01
Project Name Park Branch Library carpeting

Type Improvement **Department** Services: Facilities
Useful Life 20 years **Contact** Public Svcs Dir.
Category Buildings **Urgency** 4 Less Important
Account # 13-89778



Description

Total Project Cost: \$43,000

This project involves the installation of new carpet or carpet tiles in the public areas of the Harrison Library Park Branch building.

Justification

The existing carpet was installed in 1989. The high traffic areas open to the public - Youth Services, Local History and the lobby - are showing signs of wear and tear, including fraying, stains and fading. Additionally, the carpet behind the Local History desk is threadbare and there are what appears to be acid burns etched into the carpet in Youth Services.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance		43,000				43,000
Total		43,000				43,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Measure D		43,000				43,000
Total		43,000				43,000

Budget Impact/Other

None.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # LIB-1213-03
Project Name Park Branch Library Painting - Interior



Type Maintenance **Department** Services: Facilities
Useful Life 15 years **Contact** Public Svcs Dir.
Category Buildings **Urgency** 3 Important
Account # 13-89779

Description **Total Project Cost:** \$22,000
 This project involves repainting the interior of the Park Branch library.

Justification
 The interior of the Park Branch library has not been painted since 1989, when the building first opened. The paint is chipped off walls throughout the building, and the walls and baseboards are scuffed and dirty.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance		22,000				22,000
Total		22,000				22,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements		18,000				18,000
Total		18,000				18,000

Budget Impact/Other
 None

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	LIB-1314-02
Project Name	Park Branch Basement Restoration



Type	Maintenance	Department	Services: Facilities
Useful Life	n/a	Contact	Public Svcs Dir.
Category	Buildings	Urgency	1 Critical
Account #	13-88777		

Description	Total Project Cost: \$85,000
<p>This project involves determining what would be necessary to get the Park Branch Library basement in usable condition, and potentially capturing and diverting the water from the underground stream underneath the basement for use by the City. The proposed cost is based upon possible interior waterproofing and other remediation costs.</p>	

Justification
<p>The Park Branch Library basement constitutes over 1,000 square feet of unusable space. The French Drain underneath the building is backed up and that section of the building suffers from water intrusion in rainy weather. That section of the basement requires immediate remediation. It will be necessary to mitigate the water intrusion to make the environment safe and to prevent further deterioration of that section of the building.</p> <p>The 2013-2014 phase of the project is to examine alternatives to solve and remediate the problem. The 2014-2015 phase includes remediation and a placeholder for repair. The repair placeholder was refined based on the findings from the 2013-2014 study.</p>

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance	75,000					75,000
Total	75,000					75,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Measure D	75,000					75,000
Total	75,000					75,000

Budget Impact/Other

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FPB 1415-01
Project Name Scenic Pathway and Landscape Renovation



Type Maintenance **Department** Srvs: Forest, Parks, & Beach
Useful Life 20 years **Contact** Public Srvs Dir.
Category Beach **Urgency** 2 Very Important
Account #

Description **Total Project Cost:** \$150,000
 Renovation of the landscaping, irrigation, and walking surface along the Scenic Pathway.

Justification
 The Scenic Pathway is over 25 years old and is in need of an overhaul. Many of the original plantings along the path are gone and have not been replaced or the plants are suffering from low levels of maintenance and irrigation infrastructure deficiencies. The pathway surface has been worn down from heavy use and is in need of redefinition and resurfacing. Maintaining the landscaping and pathway is an implementation element of the Shoreline Master Plan and a 2014 key initiative.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design			15,000			15,000
Construction/Maintenance			135,000			135,000
Total			150,000			150,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			150,000			150,000
Total			150,000			150,000

Budget Impact/Other
 Once renovated, there will be ongoing costs to maintain the plantings and pathway by staff or through a landscape maintenance contract as well as costs of irrigation through the Del Mar tank or water meter.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance		5,000	5,000	5,000	5,000	20,000
Total		5,000	5,000	5,000	5,000	20,000

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	FPB 1415-02
Project Name	Forest Hill Park playground improvements



Type	Improvement	Department	Srvs: Forest, Parks, & Beach
Useful Life	15 years	Contact	Public Srvs Dir.
Category	Park: Forest Hills	Urgency	2 Very Important
Account #			

Description

Total Project Cost: \$38,000

This proposal is to: (1) replace the entire existing wood chip play surface with new fill material to the appropriate level for each apparatus in the playground area, (2) replace the wood border around the playground, (3) install a new wood border around the outer edge of the decomposed granite pathway and park benches to better define the pathway and keep soil from eroding onto the pathway and beneath the benches, and (4) redress, level, and compact all of the decomposed paths in the lower park. The project also includes improvements to the basketball court.

Justification

The current playground fill material has been supplemented around individual apparatus, but the entire play area is in need of new fill material to the appropriate level for playground safety. The current wood log border around the playground is original to the playground construction. It has held up well but is starting to deteriorate and is not visually pleasing. Soil tends to erode onto the pathway around the playground and benches. This is not particularly attractive and creates maintenance problems. A wood border will correct the erosion issue, simplify maintenance of the pathway, and look more attractive. The decomposed granite paths have lost their definition and other than small repairs have not been renovated since 1998.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance				38,000		38,000
Total				38,000		38,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements				38,000		38,000
Total				38,000		38,000

Budget Impact/Other

Minor annual budget costs associated with upkeep of pathway and playground equipment once renovated.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # **FPB 1415-03**
Project Name **Martha's Way stair repair**



Type Maintenance **Department** Srvs: Forest, Parks, & Beach
Useful Life 15 years **Contact** Public Srvs Dir.
Category Park Improvements **Urgency** 1 Critical
Account #

Description **Total Project Cost: \$30,000**
Repairs to the wood stairway, called Martha's Way, which lies in the 3rd Ave. right-of-way between San Carlos St. and Dolores St.

Justification
This wood and decomposed granite (DG), crib-style construction, stairway is an important pedestrian connection between San Carlos and Dolores Streets through the undeveloped 3rd Ave. right-of-way. It has many wood elements that are failing or have significant decay that need to be replaced to provide safe passage of pedestrians. The DG walking surface also needs replacement. Though not heavily used, the stairway provides a significant trail connection in this section of town and may experience more use if repaired and signage installed on San Carlos and Dolores to let people know of its existence.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance				30,000		30,000
Total				30,000		30,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements				30,000		30,000
Total				30,000		30,000

Budget Impact/Other
Once repaired, regular maintenance is required to keep the stairs free of debris and vegetation. This will either be a staff assignment or an addition to the City landscape maintenance contract. Estimate \$1,800 per year for biweekly attention.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance		1,800	1,800	1,800	1,800	7,200
Total		1,800	1,800	1,800	1,800	7,200

FY 2014-2015 Projects

'14/'15 *thru* '18/'19

City of Carmel-by-the-Sea, CA

Project #	FPB 1415-04
Project Name	Del Mar Plan sidewalk replacement



Type	Improvement	Department	Srvs: Forest, Parks, & Beach
Useful Life	20 years	Contact	Public Srvs Dir.
Category	Beach	Urgency	1 Critical
Account #			

Description	Total Project Cost: \$120,000
Replacement of the existing asphalt sidewalks on the north and south sides of Ocean Ave. between San Antonio Ave. and Del Mar Ave. with permeable pavers	

Justification
The new sidewalks will improve pedestrian safety and the appearance of the sidewalks and allow water to percolate into the soil. This sidewalk project is an implementation element of the parking policies and objectives in the Del Mar Master Plan. The sidewalk replacement project was a bid alternate for the Del Mar/Ocean Ave. parking and circulation improvement project, but was not implemented due to lack of funding. Partial grant funding from the Del Mar Master Plan improvements (CPB-1213-02) will be used for the sidewalk.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance	120,000					120,000
Total	120,000					120,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Grants	60,000					60,000
Unfunded	60,000					60,000
Total	120,000					120,000

Budget Impact/Other
The City has a \$32,000 grant for this project and up to an additional \$30,000 from under expended projects under the same grant that can be used to complete the sidewalk replacement. There is a deadline of September 30, 2014 for the funds to be spent.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FPB 1415-05
Project Name Lower Ocean landscape improvements



Type Improvement
Useful Life 15 years
Category Unassigned
Account #
Department Srvs: Forest, Parks, & Beach
Contact Public Srvs Dir.
Urgency 4 Less Important

Description **Total Project Cost: \$35,000**

Additional landscaping, mulch and irrigation along the north and south sides of Ocean Ave. between Camino Real St. and San Antonio Ave.

Justification

This section of Ocean Ave. has very little landscaping except for trees and a few large shrubs. Planting native understory ground covers will improve the appearance of this area and control weed growth.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance			35,000			35,000
Total			35,000			35,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			35,000			35,000
Total			35,000			35,000

Budget Impact/Other

After completion additional landscape maintenance will be required, including costs of irrigation. Estimate \$2,400 per year.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance				2,400	2,400	4,800
Total				2,400	2,400	4,800

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # **FPB 1415-06**
Project Name **Upper Ocean Ave. landscape improvement**



Type Improvement **Department** Srvs: Forest, Parks, & Beach
Useful Life 15 years **Contact** Public Svcs Dir.
Category Unassigned **Urgency** 3 Important
Account #

Description

Total Project Cost: \$100,000

Renovation of the landscape areas along the south side of Ocean Ave. between Forest Rd. and Junipero Ave.

Justification

The landscaping in this area, except for the large trees, is mostly past its prime or has been already removed. This area has a low level of maintenance and has some infrastructure deficiencies. This is one of the prime entrances to Carmel and it should present a positive image of the City. A draft landscape plan has been developed but has not been reviewed by all appropriate staff, City Commissions or the City Council.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance				100,000		100,000
Total				100,000		100,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Measure D				100,000		100,000
Total				100,000		100,000

Budget Impact/Other

Once completed there will be additional maintenance required. Estimate \$6,000 per year

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance			6,000	6,000	6,000	18,000
Total			6,000	6,000	6,000	18,000

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # **FPB 1415-07**
Project Name **MTNP Vegetation Management (goats)**



Type Maintenance **Department** Srvs: Forest, Parks, & Beach
Useful Life n/a **Contact** Public Srvs Dir.
Category Park: Mission Trail **Urgency** 2 Very Important
Account #

Description **Total Project Cost: \$50,000**

Use goats to control invasive plants and reduce fuel loads in four test areas within Mission Trail Nature Preserve. This has been identified as implementation item of the Mission Trail Nature Preserve Master Plan.

Justification

Invasive plants such as ivy and Genista dominate the landscape of various parts of MTNP and are difficult to eradicate by physical means. Goat grazing can reduce the level of these plants to a point where more conventional means can be used to eliminate the invasive plants from the Preserve. The grazing may also allow the desirable native plants that are being suppressed by the invasive plants to grow to their full potential. The goat grazing will also lead to a reduction in fuel loads and fire risk within the Preserve.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance	10,000	10,000	10,000	10,000	10,000	50,000
Total	10,000	10,000	10,000	10,000	10,000	50,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			10,000		10,000	20,000
Measure D				10,000		10,000
Unfunded	10,000	10,000				20,000
Total	10,000	10,000	10,000	10,000	10,000	50,000

Budget Impact/Other

This project is a pilot program to determine the overall effect of the goat grazing on the habitats of the Preserve. If successful, the project will be used annually through the Preserve, Annual cost: \$10,000 per year.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	FPB 1415-08
Project Name	MTNP Invasive Tree Management

Type	Maintenance	Department	Srvs: Forest, Parks, & Beach
Useful Life	n/a	Contact	Public Srvs Dir.
Category	Park: Mission Trail	Urgency	2 Very Important
Account #			



Description	Total Project Cost: \$75,000
Removal of large invasive trees, primarily eucalyptus and acacias, and other large non-native trees within Mission Trail Nature Preserve. This has been identified as an implementation item of the Mission Trail Nature Preserve Master Plan.	

Justification
Several large eucalyptus and acacia trees dominate the landscape in areas of Mission Trail Nature Preserve. These trees are quite large and require significant labor and equipment to remove. They are not native and are considered invasive species that need to be eradicated from the Preserve as directed in the MTNP Master Plan.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance	15,000	15,000	15,000	15,000	15,000	75,000
Total	15,000	15,000	15,000	15,000	15,000	75,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			15,000		15,000	30,000
Measure D				15,000		15,000
Unfunded	15,000	15,000				30,000
Total	15,000	15,000	15,000	15,000	15,000	75,000

Budget Impact/Other
This is a long term project with an expected annual cost of \$15,000.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # **FPB 1415-09**
Project Name **MTNP Rio Rd. Entrance Reconfiguration**



Type Improvement **Department** Srvs: Forest, Parks, & Beach
Useful Life n/a **Contact** Public Svcs Dir.
Category Park: Mission Trail **Urgency** 2 Very Important
Account #

Description **Total Project Cost:** \$100,000
 This project entails: (1) Redesign and relocate the Rio Rd. pedestrian entry to MTNP from the current service road entrance to a raised boardwalk from the Serra Trail that connects with the pedestrian crosswalk and nearby bus stop on Rio Rd. east of the current entrance; (2) new landscaping of the Rio Rd. canter medians; (3) construction of a connecting pathway from MTNP to Rio Park.

Justification
 The primary justification is to improve pedestrian and traffic safety on Rio Road. The Preserve amenities are protected and possibly enhanced by constructing a raised boardwalk instead of a compacted trail on grade through the wetlands area near Rio Rd. New landscaping of the medians will beautify this significant entrance to Carmel that is also adjacent to one of the most popular tourist destinations in Carmel, the Carmel Mission. A connector trail from MTNP to Rio Park will fulfill a City Council goal of trail connectivity and also improve safety on Rio Rd. by diverting pedestrians off of the roadway.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design			20,000			20,000
Construction/Maintenance			80,000			80,000
Total			100,000			100,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Measure D			100,000			100,000
Total			100,000			100,000

Budget Impact/Other
 Minor maintenance costs associated with upkeep of the pathways and plantings.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FPB 1415-10

Project Name Beach Rake



Type Equipment

Department Srvs: Forest, Parks, & Beach

Useful Life 10 years

Contact Public Srvs Dir.

Category Equipment: PW Equip

Urgency 4 Less Important

Account #

Description

Total Project Cost: \$90,000

Purchase of a beach rake and tractor to facilitate the removal of charcoal and other debris from Carmel Beach.

Justification

Cleanup of debris resulting from beach fires is a significant local issue. This machine will provide a means to collect charcoal remaining in fire pits as well as blown charcoal surrounding the fire area. Other trash will also be collected in the process.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings			90,000			90,000
Total			90,000			90,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements			90,000			90,000
Total			90,000			90,000

Budget Impact/Other

There will be additional service and maintenance needs for this equipment due to the harsh beach environment. Additional staffing or contract labor will be required to operate the equipment on a routine basis.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance				5,000	5,000	10,000
Staff Cost				30,000	30,000	60,000
Total				35,000	35,000	70,000

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FPB 1415-11
Project Name Digital Tree Database



Type Software or Subscription
Useful Life n/a
Category Software: Subscriptions
Account #
Department Srvs: Forest, Parks, & Beach
Contact Public Srvs Dir.
Urgency 2 Very Important

Description **Total Project Cost: \$26,000**
 Develop an electronic tree inventory and map of the Carmel urban forest using GPS and tree database software.

Justification
 A digital tree inventory will allow staff to easily track tree removals, tree plantings, individual tree work histories by staff and contractors, and program future maintenance efforts. In the past Carmel's lack of street address has been an obstacle for utilizing tree management software products. With the advent of digital mapping and more precise GPS products, a specific street address is no longer required. The City's current grid pruning contractor has a free software product available to Carmel, but mapping the trees in the field is an expense.

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
6,500	Computer Software/Hardware	6,500	6,500	6,500			19,500
Total	Total	6,500	6,500	6,500			19,500

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
6,500	GF: Capital Improvements			6,500			6,500
Total	Unfunded	6,500	6,500				13,000
	Total	6,500	6,500	6,500			19,500

Budget Impact/Other
 Developing the tree inventory for the database can be completed in one or several years. Additional cost may occur to add additional trees to the database each year.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FPB 1415-12
Project Name Urban Forest Rehabilitation



Type Improvement **Department** Srvs: Forest, Parks, & Beach
Useful Life 15 years **Contact** Public Srvs Dir.
Category Unassigned **Urgency** 2 Very Important
Account #

Description **Total Project Cost: \$30,000**
 Additional tree planting in the community in order to meet and exceed the current levels of trees being removed annually from Carmel's urban tree inventory. This project includes the cost of trees, soil and tree wells to encourage additional tree plantings.

Justification
 This is a requirement of the Forest Management Plan. Data from the annual tree inventory indicates a loss of trees, particularly upper canopy trees, over time. Additional tree planting over time, along with increased watering support, will lead to more trees growing in the forest and ensure that Carmel's urban forest has a strong future.

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
5,000	Other	5,000	5,000	5,000	5,000	5,000	25,000
Total	Total	5,000	5,000	5,000	5,000	5,000	25,000

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
5,000	GF: Capital Improvements			5,000		5,000	10,000
	Measure D				5,000		5,000
	Unfunded	5,000	5,000				10,000
Total	Total	5,000	5,000	5,000	5,000	5,000	25,000

Budget Impact/Other
 This project is supported by having a new water truck (project PW-1213-06) and additional staffing and/or contract labor for tree watering and maintenance.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Other (Insurance, Utilities)		80,000				80,000
Staff Cost	50,000	50,000	50,000	50,000	50,000	250,000
Total	50,000	130,000	50,000	50,000	50,000	330,000

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FPB-1112-04
Project Name F550/chipper



Type Equipment
Useful Life 15 years
Category Vehicles
Account # 13-88626
Department Srvs: Forest, Parks, & Beach
Contact Public Srvs Dir.
Urgency 3 Important

Description

Total Project Cost: \$68,000

Purchase one F-550 truck body/chassis with a chipper box and other required accessories (radio, reflectors, strobe lights).

Justification

The current chipper truck is 19 years old (1994) and is approaching its economic and functional life expectancy. It is the primary vehicle used by the city forestry staff to maintain Carmel's urban forest and park areas. Heavy loads and a chipper trailer are regularly hauled by this unit and it is vitally important for this vehicle to be mechanically and structurally sound to safely perform its duties.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings	68,000					68,000
Total	68,000					68,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements	68,000					68,000
Total	68,000					68,000

Budget Impact/Other

Fuel and maintenance costs associated with the chipper are included as part of vehicle and equipment maintenance.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FPB-1213-01
Project Name Beach Stair Maintenance



Type Maintenance
Useful Life 10 years
Category Beach
Account # 13-89627
Department Srvs: Forest, Parks, & Beach
Contact Public Srvs Dir.
Urgency 1 Critical

Description **Total Project Cost: \$144,000**

Many of the hardware and wood elements of the stairs along the waterfront are showing significant degradation due to salt exposure, oxidation and age. Periodic inspections by a structural engineer will also be included to assure the soundness and safety of the beach stairs.

Justification

Replacement is necessary to maintain safe public access to Carmel Beach. Continued degradation of the hardware and stair materials will lead to the increased risk of failure to key components resulting in closure of beach access and possible injury to the public.

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
24,000	Construction/Maintenance	24,000	24,000	24,000	24,000	24,000	120,000
Total	Total	24,000	24,000	24,000	24,000	24,000	120,000

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
24,000	GF: Capital Improvements			24,000		24,000	48,000
Total	Measure D				24,000		24,000
	Unfunded	24,000	24,000				48,000
	Total	24,000	24,000	24,000	24,000	24,000	120,000

Budget Impact/Other

Minor repairs to stairs are performed as needed and absorbed as part of the operational budget with repairs made by staff or outside labor as warranted.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FPB-1213-02
Project Name Mission Trail Park Water Tank



Type Maintenance **Department** Svcs: Forest, Parks, & Beach
Useful Life 25 years **Contact** Public Svcs Dir.
Category Park: Mission Trail **Urgency** 3 Important
Account # 13-89651

Description **Total Project Cost: \$270,000**
 Replacement of the old metal tank and upgrades to pump system to facilitate use by emergency equipment and for other city purposes.

Justification
 This currently an under utilized facility with a low level of use. Improvements will make this facility suitable for multiple users and retain its function as an alternate source of non-potable water within the city.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Construction/Maintenance		270,000				270,000
Total		270,000				270,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements		270,000				270,000
Total		270,000				270,000

Budget Impact/Other
 Continued degradation or lack of maintenance will result in an increased risk of failure to key components and total loss of use.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FPB-1213-04
Project Name Beach Fire Baskets



Type Equipment
Useful Life 5 years
Category Beach
Account # 13-89652

Department Srvs: Forest, Parks, & Beach
Contact Public Srvs Dir.
Urgency 3 Important

Description **Total Project Cost: \$37,500**

Each fire basket is large enough for a legal fire and is made of metal screen with handles for carrying the basket; two people can even carry it with the firewood inside. The screen holes are large enough to facilitate air flow but small enough to collect most of the charcoal from the fire. To use it, the basket is nestled down into the sand and a fire is built inside. When the fire is done or needs to be extinguished, water is poured onto the coals and the basket is lifted with the charcoal inside to a disposal site. The idea is to still allow fires, but to have the user be part of the cleanup program. Cost per basket: approx. \$250 to \$300 each.

Justification

Currently fires are allowed on the beach south of Tenth Ave. and they have to be in compliance with several fire management rules. There is no regulation on the number of fires or responsibility for cleanup of the fire pits. Fires and charcoal continues to be a topic of discussion. It is hoped that this concept can be developed into a way to manage fires and charcoal cleanup on the beach.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings	7,500	7,500	5,000	5,000	12,500	37,500
Total	7,500	7,500	5,000	5,000	12,500	37,500

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Donor Opportunity	7,500					7,500
GF: Capital Improvements			5,000		12,500	17,500
Measure D				5,000		5,000
Unfunded		7,500				7,500
Total	7,500	7,500	5,000	5,000	12,500	37,500

Budget Impact/Other

No change at this time. Potential savings in charcoal cleanup program, but this may be offset by management of the basket program. Full implementation with possible fees and/or loss of deposits, if any, may also offset management costs.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # **FPB-1213-05**
Project Name **Rio Park Improvements**



Type Improvement
Useful Life 25 years
Category Park Improvements
Account # 13-89653

Department Srvs: Forest, Parks, & Beach
Contact Public Srvs Dir.
Urgency 4 Less Important

Description **Total Project Cost: \$140,000**

Development of a plan for public use of Rio Park. The 6.24 acre Rio Park property was purchased in 1990 and is outside the city limits on the southern edge of Carmel-by-the-Sea near the Carmel Mission. Part of the property is currently used for material storage, project staging, and parking for city contractors. The remaining area is open space, willow groves, and riparian habitat; The parcel extends south across the Carmel River and borders the wastewater treatment plant. The property was paid off in 2008 and there is a deposit account with approximately \$140,000 specifically for future development of the park.

Justification

This property is an under used city facility with the potential for a variety of active and passive uses by the public.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Planning/Design	40,000					40,000
Construction/Maintenance		50,000	50,000			100,000
Total	40,000	50,000	50,000			140,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements	40,000					40,000
Measure D		50,000	50,000			100,000
Total	40,000	50,000	50,000			140,000

Budget Impact/Other

No operating budget impact from the project design but future park improvements, if any, may have ongoing maintenance costs. Partial or full development of Rio Park will require additional staffing and/or additional maintenance contracts with their associated costs. Additional equipment and vehicle may also be required.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # FPB-1213-06
Project Name Scenic Rd. Restrooms



Type Improvement
Useful Life 25 years
Category Beach
Account # 13-89430

Department Srvs: Forest, Parks, & Beach
Contact Public Srvs Dir.
Urgency 3 Important

Description

Total Project Cost: \$329,182

This project includes the removal of the existing temporary restroom facility and the construction of a new facility. The project was approved by the Planning Commission in November 2012 and the City Council authorized \$48,500 to be spent on construction drawings. The funding will come from Measure D. The City has applied for a grant from the Coastal Conservancy and expects to receive a minimum of \$100,000 to assist with the estimated \$200,000-300,000 construction cost.

Justification

Carmel Beach is a highly popular visitor destination and is world renowned for its scenic beauty. The Scenic Pathway offers a unique pedestrian experience as it meanders along the beach bluffs. The pathway is heavily used, providing a complementary experience to the sandy beach. The City's General Plan contains numerous polices regarding maintaining and enhancing access and recreational opportunities in this area.

Goal G4-3 of the General Plan encourages the City to provide adequate facilities to serve the needs of the public along the beach. Policy P4-41 states, "Retain the current second restroom facility at Santa Lucia Avenue until it can be replaced by a permanent site." Temporary restrooms were installed near the intersection of Scenic Road and Santa Lucia Avenue.

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
179,182	Construction/Maintenance	150,000					150,000
Total	Total	150,000					150,000

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
179,182	Grants	150,000					150,000
Total	Total	150,000					150,000

Budget Impact/Other

Cleaning crew is estimated to cost \$13,300 annually for service three times per day, paper product supplies, and minor maintenance.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance	13,300	13,300	13,300	13,300	13,300	66,500
Total	13,300	13,300	13,300	13,300	13,300	66,500

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project # **FPB-1213-07**
Project Name **Replace Forester Truck**

Type Equipment
Useful Life 15 years
Category Vehicles
Account # 13-88628

Department Srvs: Forest, Parks, & Beach
Contact Public Svcs Dir.
Urgency 3 Important



Description

Total Project Cost: \$35,000

Replacement of the Forester's pickup truck (Unit #2).

Justification

The current Forester truck is 12 years old (2000) and is approaching its economic life expectancy. It is the primary vehicle used by the City Forester to maintain Carmel's urban forest.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings		35,000				35,000
Total		35,000				35,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
GF: Capital Improvements		30,000				30,000
Total		30,000				30,000

Budget Impact/Other

The cost of the new truck will be offset by maintenance costs associated with this vehicle.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	FPB-1213-08
Project Name	Waterfront Area Signs



Type	Improvement	Department	Srvs: Forest, Parks, & Beach
Useful Life	10 years	Contact	Public Srvs Dir.
Category	Beach	Urgency	3 Important
Account #	13-89654		

Description	Total Project Cost: \$42,000
Design, construction, and installation of new signs along the waterfront area in order to consolidate and clarify the rules and regulations that apply to waterfront visitors and to develop a new sign program for the waterfront that is an attractive, functional, durable and a legible method of presenting the beach rules and regulations. The goal is to improve awareness and compliance with the rules. This project would include a design process and review by the Forest and Beach and the Planning Commissions before implementation.	

Justification
Current signage along the waterfront from 4th Ave. to Martin Way is a mix of sizes, materials and styles that try to convey the rules and information for beach visitors. Some of the signs are not obvious and are placed in odd places that make them easy to miss. The General Plan directs the City to "Establish a uniform signage program for the beach and bluffs to better inform beach users of regulations governing activities on the beach." (O4-5). Other parks such as Mission Trail Nature Preserve could also use new signage that provides a map and information on the park habitat and history.

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings	32,000	10,000				42,000
Total	32,000	10,000				42,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Measure D	32,000					32,000
Unfunded		10,000				10,000
Total	32,000	10,000				42,000

Budget Impact/Other
Existing signs are replaced on an as needed basis depending on the condition of the sign.

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Camel-by-the-Sea, CA

Project # **FPB-1314-03**
Project Name **City Hall Cistern**



Type Improvement **Department** Srvs: Forest, Parks, & Beach
Useful Life 15 years **Contact** Public Srvs Dir.
Category Equipment: Miscellaneous **Urgency** 3 Important
Account # 13-89428

Description

Total Project Cost: \$25,000

This project involves the installation of a cistern beneath the parking lot at City Hall for irrigation of the installed landscape improvements completed in fiscal year 2012-13.

Justification

Water conservation is a Council adopted goal for year 2014 and the use of the cistern would allow for efficient irrigation of the City Hall landscaping. A design component of the landscape renovation at City Hall included the installation of a cistern beneath the parking lot to capture rainwater from the roof gutters for irrigation of the plants. The water is currently being captured to a central point adjacent to the parking lot. Electrical conduit is also in place to support the electric needs of the pump system

Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Equip/Vehicles/Furnishings	25,000					25,000
Total	25,000					25,000

Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Grants	25,000					25,000
Total	25,000					25,000

Budget Impact/Other

Bi-annual cleaning of the cistern and pump service would be required. Rebates by water purveyors would be sought for this project.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance	1,500	1,500				3,000
Total	1,500	1,500				3,000

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	FPB-1314-04
Project Name	Shoreline Assessment and Implementation



Type	Improvement	Department	Srvs: Forest, Parks, & Beach
Useful Life	10 years	Contact	Public Srvs Dir.
Category	Beach	Urgency	2 Very Important
Account #	13-89649		

Description

Total Project Cost: \$70,000

Based on a new shoreline assessment, various site improvements will be addressed along the Carmel Beach waterfront. These improvements will entail purchasing and planting of new plant material, irrigation improvements, mulching, replacement of rails, removal of old and overgrown plants, iceplant removal, pathway repairs and improvements, and a variety of other maintenance needs.

Justification

Implementation of the Shoreline Management Plan. An assessment will identify any aesthetic and safety improvements that need to be made to the beach and pathway. Once improvements are identified and prioritized, annual maintenance efforts will be included as part of the operational budget.

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
20,000	Construction/Maintenance	15,000	15,000	10,000	10,000		50,000
Total	Total	15,000	15,000	10,000	10,000		50,000

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
20,000	Grants	15,000	15,000	10,000	10,000		50,000
Total	Total	15,000	15,000	10,000	10,000		50,000

Budget Impact/Other

Once improvements are identified and prioritized, annual maintenance efforts will be included as part of the operational budget to address repairs and improvements that may arise throughout the year as well as to maintain any improvements made in the prior year.

Prior	Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
5,000	Maintenance	5,000	5,000	5,000	5,000	5,000	25,000
Total	Total	5,000	5,000	5,000	5,000	5,000	25,000

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Camel-by-the-Sea, CA

Project # **FPB-1314-05**
Project Name **Mission Trail Entrance**



Type Improvement **Department** Srvs: Forest, Parks, & Beach
Useful Life 25 years **Contact** Public Srvs Dir.
Category Park: Mission Trail **Urgency** 2 Very Important
Account # 13-89650

Description

Total Project Cost: \$48,000

Construction of a new stairway and a properly graded ramp for pedestrian access at the Mtn. View entrance into Mission Trail Nature Preserve.

Justification

Currently, access into MTNP at the Mtn. View entrance is via a slippery slope of decomposed granite or a 20 year old, worn and failing landscape timber stairway. A new properly constructed stair system and a properly graded ramp will allow visitors to safely negotiate this difficult section of trail.

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
8,000	Construction/Maintenance	40,000					40,000
Total	Total	40,000					40,000

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
8,000	Measure D	40,000					40,000
Total	Total	40,000					40,000

Budget Impact/Other

Anticipate a bi-annual maintenance cost between \$500 -\$800 to maintain the new stairs and ramp.

Budget Items	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
Maintenance		800		800		1,600
Total		800		800		1,600

FY 2014-2015 Projects

'14/'15 thru '18/'19

City of Carmel-by-the-Sea, CA

Project #	FPB-1314-06
Project Name	Trash Can Refurbishment and Replacement



Type	Maintenance	Department	Srvs: Forest, Parks, & Beach
Useful Life	10 years	Contact	Public Srvs Dir.
Category	Unassigned	Urgency	4 Less Important
Account #	13-89655		

Description	Total Project Cost: \$62,500
This project involves the refurbishment of existing trash cans that are damaged or in need of repair as well as the addition of new trash cans designed to encourage recycling.	

Justification
There are about 200 trash cans throughout the City, many of which are in need of repair or replacement due to age and use. Many of these trash cans do not encourage recycling as all materials are comingled together. Various models of trash cans were researched. A pilot program is underway to increase recycling citywide.

Prior	Expenditures	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
47,500	Equip/Vehicles/Furnishings	15,000					15,000
Total	Total	15,000					15,000

Prior	Funding Sources	'14/'15	'15/'16	'16/'17	'17/'18	'18/'19	Total
32,500	Grants	7,500					7,500
Total	Unfunded	7,500	15,000				22,500
	Total	15,000	15,000				30,000

Budget Impact/Other
The replacement of a current trash can costs about \$300 in materials and staff labor. New trash cans can cost \$3,000. Sources of funding include the franchise agreement, grants and donor opportunities.