

**CITY OF CARMEL-BY-THE-SEA  
HISTORIC RESOURCES BOARD  
SPECIAL MEETING AGENDA**

Monday, December 11, 2017  
3:15 p.m. Tour of Inspection  
4:00 p.m. Open Session

City Hall Council Chambers  
East side of Monte Verde Street  
Between Ocean and Seventh Avenues

**A. CALL TO ORDER AND ROLL CALL**

BOARD MEMBERS:

ERIK DYAR, CHAIR  
KATHRYN GUALTIERI, VICE CHAIR  
LYNN MOMBOISSE  
THOMAS HOOD  
ALEX HEISINGER

**B. TOUR OF INSPECTION**

Shortly after 3:15 p.m., the Board will leave City Hall for an on-site Tour of Inspection. The public is welcome to follow the Historic Resources Board on its tour of the subject sites. The Board will return to City Hall at 4:00 p.m., or as soon thereafter as possible.

**C. PLEDGE OF ALLEGIANCE**

**D. APPEARANCES**

Anyone wishing to address the Board on matters within the jurisdiction of the Board may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Board's agenda will not receive action at this meeting, but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as established by the Board. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

**E. CONSENT AGENDA**

1. Consideration of the minutes of October 16, 2017 Historic Resources Board Meeting.

**F. ITEM**

- |  |   |
|--|---|
| <ol style="list-style-type: none"><li>1. DS 17-289<br/>Chris &amp; Stacy Ratcliffe, Property Owners<br/>Casanova St. 3 SW of 4<sup>th</sup> Ave<br/>Block: FF; Lot(s): 29<br/>APN: 010-251-024</li></ol> | <p>Consideration of a Design Study (DS 17-289) for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District</p> |
|--|---|

2. HE 17-422  
Carmel Properties, LLC, Property Owner  
Dolores St. 2 SW of 5<sup>th</sup> Ave  
Block: 55; Lot(s): 5 & 7  
APN: 010-138-003

Historic Evaluation (HE 17-422) of a property  
located in the Service  
Commercial (SC) Zoning District.

**G. DIRECTOR'S REPORT**

**H. DISCUSSION ITEMS**

**I. BOARD MEMBER ANNOUNCEMENTS**

**J. ADJOURNMENT**

Any writings or documents provided to a majority of the Historic Resources Board regarding any item on this agenda will be made available for public inspection in the Planning and Building Department located at City Hall, on Monte Verde between Ocean and 7<sup>th</sup> Avenues during normal business hours.

The next regular meeting of the Historic Resources Board: TBD.

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. The City of Carmel-by-the-Sea Telecommunication's Device for the Deaf/Speech Impaired (TDD) number is 1-800-735-2929.

The Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request to the Board Secretary. If you need assistance, please advise the Board Secretary what item you would like to comment on, and the microphone will be brought to you.

**AFFIDAVIT OF POSTING**

I, Marc E. Wiener, Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at, the Carmel-by-the-Sea City Hall bulletin board, the Harrison Memorial Library at Ocean and Lincoln Avenues, and the Carmel Post Office and distributed to members of the media on December 8, 2017.

Dated this 8 day of December 2017, at the hour of 9:00 a.m.

\_\_\_\_\_  
Marc E. Wiener, AICP, Community Planning and Building Director

**MINUTES  
CITY OF CARMEL-BY-THE-SEA  
HISTORIC RESOURCES BOARD  
October 16, 2017**

City Hall Council Chambers  
East side of Monte Verde Street  
Between Ocean and Seventh Avenues

**A. CALL TO ORDER AND ROLL CALL**

The meeting was called to order by Chair Erik Dyar at 4:00 p.m.

PRESENT: Erik Dyar, Chair  
Alex Heisinger  
Thomas Hood  
Lynn Momboisse

ABSENT: Kathryn Gualtieri

STAFF PRESENT: Marnie Waffle, Senior Planner  
Cortina Whitmore, Historic Resources Board Secretary

**B. TOUR OF INSPECTION**

Tour of Inspection convened at 3:30 p.m.

**C. PLEDGE OF ALLEGIANCE**

Members of the audience joined the Board in the Pledge of Allegiance.

**D. APPEARANCES**

N/A

**E. CONSENT AGENDA**

1. Consideration of the minutes of the August 21, 2017 Historic Resources Board Meeting.

**Board Member Momboisse moved to approve the minutes of the August 21, 2017 Historic Resources Meeting. Motion seconded by Board Member Hood and carried the following vote: 3-0-1-1.**

AYES: COMMISSIONERS: MOMBOISSE, HOOD & DYAR  
NOES: COMMISSIONERS: NONE  
ABSENT: COMMISSIONERS: GUALTIERI

ABSTAIN: COMMISSIONERS: HEISINGER

**G. ITEM**

1. MA 17-213 (Markowski)	Consideration of a recommendation to the
Sandra Markowski, Owner	City Council to approve a Mills Act Contract
NW corner of Santa Rita & Ocean Ave.	(MA 17-213) for an existing historic residence
Block: 66; Lots: 2, 3 & 4	located in the Single Family Residential (R-1)
APN: 010-039-007	Zoning District.

Board Member Momboisse recused from Item #1, MA 17-213 (Markowski).

Marnie Waffle, Senior Planner provided property history and presented the staff report.  
Ms. Waffle answered questions from the Board.

Chair Dyar opened the public hearing.

Speaker #1: Sandra Markowski, Property owner provided further maintenance plan clarification and answered questions from the Board.

Chair Dyar closed the public hearing.

The Board held discussion and provided the applicant direction.

**Board Member Heisinger moved to approve MA 17-213 (Markowski) with the revised maintenance plan and to recommend the City Council approve the Mills Act Contract. Motion seconded by Board Member Hood and carried by the following roll call vote: 3-0-1-1.**

AYES:	COMMISSIONERS: HEISINGER, HOOD & DYAR
NOES:	COMMISSIONERS: NONE
ABSENT:	COMMISSIONERS: GUALTIERI
ABSTAIN:	COMMISSIONERS: MOMBOISSE

2. DR 17-221/HE 17-268 (Simon)	Consideration of adding the Carmel Village
CVI Investors, LLC, Property owner	Inn to the Historic Inventory and
NE corner of Junipero & Ocean Ave.	determination of consistency with the
Block: 68; Lots: 5-10	Secretary of the Interior's Standards for the
APN: 010-094-002	Treatment of Historic Properties for
	modification to the Carmel village Inn located
	in the Residential and Limited Commercial
	(RC) Zoning District.

Board Member Momboisse recused from Item #2; DR 17-221/HE 17-268 (Simon).

Marnie Waffle, Senior Planner presented the staff report and noted staff is in disagreement with Kent Seavy, City Historian's recommendation to add the Carmel Village Inn to the Historic Inventory. Ms. Waffle informed the Board of the need for two votes:

1. Consideration of adding the Carmel Village Inn to the Historic Inventory.
2. Determination of consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties for modification to the Carmel Village Inn.

Chair Dyar opened the public hearings.

Speaker #1: Arron Simon, Applicant noted his support of staff report and recommendations.

Speaker #2: Kent Seavy, Historic Preservation Consultant provided explanation for his findings and noted Jim Pruitt as a significant planner with Comstock Associates and a number of post-adobe buildings in Monterey County.

Speaker #3: Paul Davis, Project Architect added the proposed changes are appropriate regardless of the historic status.

Chair Dyar closed the public hearing.

**Board Member Hood moved to add the Carmel Village Inn to the City's Historic Inventory. The motion was seconded by Board Member Gualtieri and carried by the following roll call vote: 2-1-1-1.**

AYES:	COMMISSIONERS: HOOD & HEISINGER
NOES:	COMMISSIONERS: DYAR
ABSENT:	COMMISSIONERS: GUALTIERI
ABSTAIN:	COMMISSIONERS: MOMBOISSE

Marine Waffle presented the staff report for DR 17-221 (Simon). MS. Waffle summarized the proposed Carmel Village Inn alterations and noted the proposed changes are consistent with the Secretary of Interior Standards.

Chair Dyar opened the public hearing.

Speaker #1: Arron Simon informed the Board of his commitment to the maintenance of the Carmel Village Inn.

Speaker #2: Paul Davis, Architect provided further design details.

Speaker #3: Kent Seavey, Historic Preservation Consultant provided recommendation and was available for questions.

Chair Dyar closed the public hearing.

The Board continued discussion and provided recommendations.

**Board Member Hood moved to Issue a Determination of Consistency with the Secretary of the Interior's Standards for DR 17-221/HE 17-268 (Carmel Village Inn). The motion was seconded by Board Member Heisinger and carried by the following roll call vote: 3-0-1-1**

AYES:	COMMISSIONERS: HOOD, HEISINGER & DYAR
NOES:	COMMISSIONERS: NONE
ABSENT:	COMMISSIONERS: GUALTIERI
ABSTAIN:	COMMISSIONERS: MOMBOISSE

**G. DIRECTOR'S REPORT**

Planning Director, Mr. Wiener discussed the meeting with the Historic Context subcommittee and noted the opportunity to update the Historic Context Statement. Mr. Wiener provided the Historic Resources Board with a draft version of the Request for Proposals (RFP) to allow the Board to review and provide comments. Mr. Wiener informed the Board of upcoming Board training opportunities and provided an ADU Ordinance update.

**H. DISCUSSION ITEMS**

1. SB 1069 (ADU Legislation) Impact on Historic Preservation
2. Discussion of Context Statement Update.

Mr. Wiener provided a recap of City Council activity. The Board discussed the update of the Context Statement.

**I. BOARD MEMBER ANNOUNCEMENTS**

Board Member Momboisse provided the Board with a Handout. Board Member Hood announced an exhibit at the Murphy House.

**J. ADJOURNMENT**

There being no further business to come before the Board, the meeting was adjourned at 5:58 p.m.

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Cortina Whitmore, Historic Resources Board Secretary

ATTEST:

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Erik Dyar, Chair



CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

December 11, 2017

**To:** Chair Goodhue and Planning Commissioners

**From:** Marc Wiener, AICP, Community Planning and Building Director

**Submitted by:** Marnie R. Waffle, Senior Planner

**Subject:** Consideration of a Design Study (DS 17-289) for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District

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**Application:** DS 17-289

**APN:** 010-251-024

**Location:** Casanova 3 SW of 4<sup>th</sup>

**Block:** FF

**Lot:** 29

**Applicant:** Rod Mesquit

**Property Owner:** Chris & Stacy Ratcliffe

**EXECUTIVE SUMMARY**

The applicant is proposing to construct a new, two-and-one-half-story staircase (74 square feet) to provide internal access to all floors of the existing residence; expand an existing second story deck by 112 square feet; add two new roof dormers; and, remove an existing skylight. All exterior modifications are proposed on the rear elevation of a historic residence known as the 'Collis House'. The original bungalow was a duplex designed and constructed by M.J. Murphy.

**RECOMMENDATION**

Staff recommends that the Historic Resources Board issue a Determination of Consistency with the Secretary of the Interior's Standards.

**BACKGROUND**

The existing residence is a circa 1913 two-story, wood-framed Craftsman Bungalow known as the 'Collis House'. The property is listed at the local level of significance, under California Register Criteria 3, in the area of architecture as the first recorded residential duplex in Carmel. It is also significant as an early example of a building designed by Carmel master-builder Michael J. Murphy. The resource is representative of the theme of Architectural Development in Carmel (1888-1965) as set forth in the 2008 Carmel Historic Context Statement. A State of California DPR 523A form was prepared for the 'Collis House' in 2002 by Historic Preservation Consultant Kent L. Seavy (Attachment B).



The existing two-story residence is rectangular in plan and rests on a concrete foundation. The exterior wall cladding is a combination of wide, horizontal shiplap siding on the first floor and vertical board and batten on the second floor. The low pitched gabled roof is covered in wood shingles and is characterized by a series of elongated shaped purlins which extend to create a flat roofed pergola on the north elevation. There are three slightly projecting window bays, one on the north elevation and two on the west elevation, that are capped by narrow shed roofs with wood shingles. Fenestration is irregular with a combination of multi-paned fixed and wood casement windows, all in the Craftsman style. The Bungalow is built into a steeply rising slope on the south side of 4<sup>th</sup> Avenue. Originally the first floor was accessed from 4<sup>th</sup> Avenue while the second floor was accessed from Casanova. The residence has been little altered since the time of construction. In 1974 a retaining wall, finished with Carmel stone veneer, was constructed along Casanova for parking. The retaining wall and parking pad are currently being reconstructed. According to the project plans prepared by Rod Mesquite, the first floor is 1,196 square feet and the second floor is 1,034 square feet. The total square footage is 2,230 square feet.

## PROJECT DESCRIPTION

The applicant is proposing to construct a two-and-one-half story enclosed staircase about midway on the west (rear) elevation. Two existing windows, one at the first floor and the other at the second floor, would be removed and relocated to the west elevation of the staircase addition. The staircase addition would also include three new windows, two on the north elevation (one at the first floor and the other at the second floor) and one on the south elevation at the second floor. An existing deck at the south end of the west elevation would be expanded by 112 square feet. Two new shed roof dormers are proposed on the rear (west) roof plane. An existing skylight on the front (east) roof plane is propose to be removed.

## STAFF ANALYSIS

**Historic Evaluation Summary:** The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. The proposed alterations were reviewed by the City's Historic Preservation Consultant and a Phase II Historic Assessment was prepared. The Assessment includes an analysis of the proposed changes based on the Secretary of the Interior's Standards for the Treatment of Historic Properties (Attachment C). The Assessment concludes that the project, as shown on the project plans stamped received on November 16, 2017, would not cause a significant change to the listed historic building and would not create a significant adverse effect on the environment. Therefore, the project would be consistent with the Secretary of Interior's Standards.

**Secretary of the Interior's Standards:** The *Secretary of the Interior's Standards for the Treatment of Historic Properties* identify four primary treatment approaches to historic buildings: Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation is the recommended standard of treatment for this project. Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations and additions

while preserving those portions of features which convey it's historical, cultural, or architectural values. Based on the Phase II Historic Assessment prepared by Historic Preservation Consultant Mr. Kent Seavey, the project is consistent with the Secretary's Standards for Rehabilitation. The proposed addition and exterior modifications will be at the rear of the residence and will not impact the primary elevation.

Standard #9 states, *"New additions, exterior alterations, or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."* The exterior wall cladding of the staircase addition would be differentiated from the existing wall cladding through the use of flat horizontal wood siding at the first floor and 1-inch wider vertical battens at the second floor. Alternatively, the applicant is proposing a board over board option at the second floor with outer boards spaced the same distance as the width of the existing battens. The modified wall cladding would also be used on the sides of the new roof dormers and for the extended deck railing. The roofing material for the staircase addition and the new roof dormers is proposed to be copper. The three new windows on the north and south elevations of the staircase addition would have a different muntins pattern to distinguish original from new.

**Alternatives:** The staff recommendation is to issue a determination that the application is consistent with the Secretary's Standards. Alternatively, the Board could require modifications to the plans intended to make the exterior modifications more compatible with the historic residence, in which case the application could be continued. Also, the Board could find the application inconsistent with the Secretary's Standards, which would result in either the applicant withdrawing the project, or require additional CEQA analysis to evaluate impacts on historic resources.

**Environmental Review:** The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. If the alterations are deemed consistent with the Standards, potential historic resource impacts under CEQA do not require further analysis. Staff recommends that the proposed alterations be found consistent with the Secretary of the Interior's Standards and therefore, additional environmental analysis would not be required.

#### **ATTACHMENTS:**

- Attachment A – Conditions of Approval
- Attachment B – DPR 523A Form for 'Collis House'
- Attachment C – Phase II Historic Assessment
- Attachment D – Secretary of the Interior's Standards
- Attachment E – Project Plans

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

DS 17-289 (Ratcliffe)  
Casanova 3 SW of 4<sup>th</sup>  
Block: FF; Lot: 29  
APN: 010-251-024

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**AUTHORIZATION:**

1. This Determination of Consistency for DS 17-289 (Ratcliffe) authorizes the construction of a new, two-and-one-half-story staircase (74 square feet) to provide internal access to all floors of the existing residence; expansion of an existing second story deck by 112 square feet; the addition two new roof dormers; and, the removal of an existing skylight. All work shall conform to the plans dated received November 16, 2017 except as modified by the special conditions below and shall conform to the Secretary of the Interior's Standards for Rehabilitation.

**SPECIAL CONDITIONS:**

2. The horizontal flat wood siding and vertical board & battens on the staircase addition, new roof dormers and extended deck railing shall be differentiated from existing materials on the historic residence as specified on the approved plans.
3. The two existing windows on the west elevation at the new staircase addition shall be reused in their approximate original locations on the new staircase addition.
4. On the construction drawings, the applicant shall identify the dimensions of existing historic windows and new windows, including the muntins pattern, to ensure that the new windows are properly differentiated.
5. Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the City's Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. A Building Permit will not be issued until this meeting has occurred.
6. Trees shall be protected during construction by methods approved by the City Forester. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in

diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.

\*Acknowledgement and acceptance of conditions of approval.

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Property Owner Signature

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Printed Name

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Date

***Once signed, please return to the Community Planning & Building Department.***

PRIMARY RECORD

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

NRHP Status Code \_\_\_\_\_

551

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_

Reviewer \_\_\_\_\_

Date \_\_\_\_\_

Page 1 of 2

Resource Name or #: (Assigned by recorder) *Collis Hse.*

P1. Other Identifier: \_\_\_\_\_

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Monterey*  
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad \_\_\_\_\_

Date \_\_\_\_\_

T \_\_\_\_\_

R \_\_\_\_\_

1/4 of \_\_\_\_\_

1/4 of Sec \_\_\_\_\_

B.M. \_\_\_\_\_

c. Address: \_\_\_\_\_

City *Carmel-by-the-Sea*

Zip *93921*

d. UTM: (Give more than one for large and/linear resources) \_\_\_\_\_

mE/ \_\_\_\_\_

mN \_\_\_\_\_

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

*3 SW of 4th, w/side Casanova (Blk FF Lot 29)*

Parcel No. *010-251-024*

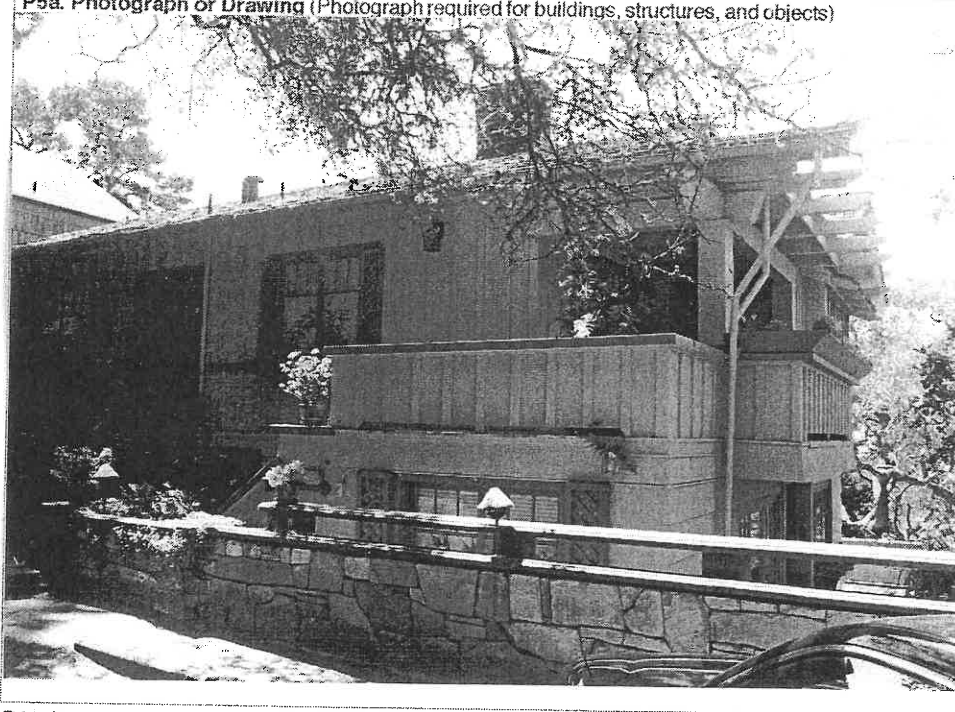
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

*A two-story, wood-framed Bungalow, basically rectangular in plan, resting on a concrete foundation. The exterior wall cladding is a combination of wide, horizontal shiplap siding on the first floor, and vertical board-and-batten on the second. The low-pitched front gabled roof is covered in wood shingle and is characterized by a series of elongated shaped purlins, including those that make up a flat roofed pergola, all on the north (front) elevation. There are three slightly projecting window bays, one on the facade (north) and two on the w/side elevation. They are capped by narrow shed roofs, w/wood shingle. The pergola is on the east side of the facade, and is carried by massive square posts and beams. The low porch rail, under the pergola, is closed w/the same board-and-batten pattern as found on the building envelope. There is a brick, interior chimney, centered on the ridge line, towards the north end of the house. Fenestration is irregular, with a combination of multi-paned fixed and wood casement type windows, all in Craftsman style. A retaining wall was constructed along the Casanova elevation for parking in 1974. It is faced w/a Carmel stone veneer. The bungalow duplex is built into a steeply rising slope on the south side of 4th Ave. The first floor is accessed from 4th, while the second story is accessed from Casanova. The parcel has several mature oak trees in its naturally landscaped setting.*

b. Resource Attributes: (List attributes and codes) *HP3 - Multiple Family Property*

Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)

*Looking SW at e/side elev., & n/facing facade, 8/15/01, #1887-13*

P6. Date Constructed/Age and Sources

☐ Prehistoric ☒ Historic ☐ Both

*1913E Gertrude E. Rendtorff*

P7. Owner and Address

*Clarence J. Bennett Trust  
P.O. Box 1183  
Douglas, AZ 85608*

P8. Recorded by: (Name, affiliation, and address)

*Kent L. Seavey  
Preservation Consultant  
310 Lighthouse Ave.  
Pacific Grove, CA 93950*

P9. Date Recorded: *5/7/2002*

P10. Survey Type: (Describe)

*Carmel Historic Resource Inventory - 2001*

P11. Report Citation: (Cite survey report and other sources, or enter "none")

Attachments

☐ NONE

☐ Location Map

☐ Sketch Map

☐ Continuation Sheet

☒ Building, Structure, and Object Record

☐ Archaeological Record

☐ District Record

☐ Linear Feature Record

☐ Milling Station Record

☐ Rock Art Record

☐ Artifact Record

☐ Photograph Record

☐ Other: (List)

# BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Page 2 of 2

NRHP Status Code

5S1

Resource Name or #: (Assigned by recorder) *Collis Hse.*

B1. Historic Name:

B2. Common Name:

B3. Original Use: *duplex residence*

B4. Present Use: *residence*

B5. Architectural Style: *Bungalow*

B6. Construction History: (Construction date, alterations, and date of alterations)

*Constructed ca. 1913; foundation work 1949 (Cbp# 1898); deck replacement, in kind, 1966 (Cbp# 4505); retaining wall added for parking along Casanova 1974 (Cbp# 74-60); deck repair and add. 1985 (Cbp#85-128)*

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date :

Original Location:

B8. Related Features:

B9a. Architect: *designer/M.J. Murphy*

b. Builder: *M.J. Murphy*

B10. Significance: Theme: *Architectural Development*

Area: *Carmel by-the-Sea*

Period of Significance: *1903-1940*

Property Type: *multiple family residence*

Applicable Criteria: *CR3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

*The Collis Hse. is significant under California Register criteria 3, in the area of architecture as the earliest identified duplex type family residence in Carmel. It is also significant as an early example of building design by Carmel master-builder, Michael J. Murphy. According to a deposition made on 9/14/70, by Gertrude E. Rendtorff, a Carmel resident since 1909, The Collis hse. was constructed between 1913 and 1915, by M.J. Murphy, and was very unusual for its time, as there were no duplex houses in Carmel. She noted that Collis was a jeweler from Pasadena who spent the summers in Carmel with his family. The residence has been little altered since its time of construction, and that work has been limited to deck repair and replacement, with some deck addition. Murphy clearly separated the floors by his use of differing exterior wall cladding, and his symmetrical treatment of the 4th Ave. entry, a central doorway flanked by similar multi-paned windows. It is covered by the base of the second floor porch. The upper floor, reached off Casanova, is typical of the Bungalow form in that it has a partial-width open porch, covered w/a pergola w/exposed, decorative beams and purlins, and Craftsman style windows. Murphy's siting of the duplex on a steep slope allowed for entrances from differing directions, north and east. The west elevations of both floor enjoyed ocean views. This well designed vacation duplex is a precursor to vacation homes that became more prevalent in the 1920s.*

*Michael J. Murphy (1885-1949), its designer-builder, came to Carmel in 1902. Two years later Frank Devendorf hired him to be the builder for the Carmel Development Company. Murphy went on to become the most prolific builder in Carmel's history, with as many as 350 structures to his credit. In 1914 he opened his own contracting firm, and in 1924 began a building supply business. Murphy did as much to give Carmel its basic architectural character than any other person. The Collis hse. clearly reflects the findings of, and is consistent with the 1997 Carmel Historic Context Statement, under the theme of architectural development.*

B11. Additional Resource Attributes: (List attributes and codes) *HP3 - Multiple Family Property*

B12. References:

*Carmel bldg. records, Carmel Planning Dept. City Hall, Carmel*

*Carmel Historic Context Statement 1997*

*Rendtorff, Gertrude, deposition on origin & ownership of the Collis Hse. 9/14/70*

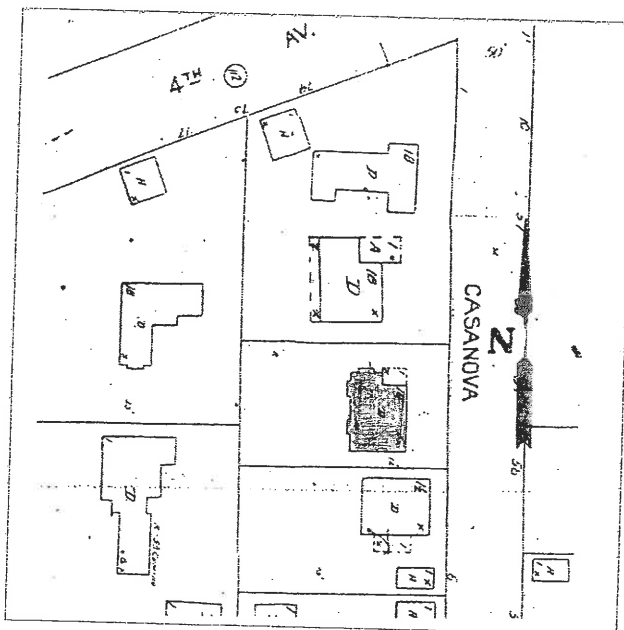
*Sanborn fire insurance map of Carmel, 1924*

B13. Remarks: *Zoning R-1*  
*CHCS (AD)*

B14. Evaluator: *Kent Seavey*

Date of Evaluation: *5/7/2002*

(This space reserved for official comments.)



KENT L. SEAVEY  
310 LIGHTHOUSE AVENUE  
PACIFIC GROVE, CALIFORNIA 93950  
(831) 375-8739

November 8, 2017

Mr. Marc Weiner/ Planning Director  
Carmel Planning & Building Dept.  
P.O. Drawer G  
City of Carmel-by-the-Sea

Dear Mr. Weiner:

**Introduction:**

This Focused Phase II Historic Assessment has been prepared on behalf of Chris and Stacey Ratcliffe as part of an application for additions and alterations to a two-story single family residence, with habitable attic space, listed as an historic building. The subject property is located 3 SW of 4th Ave., w/side of Casanova, (APN# 010-251-024), in Carmel (see photos, plans & drawings provided).

**Historical Background & Description**

The subject property is an altered 1913 two-story, wood-framed Craftsman/bungalow Style residence. Carmel building records show there was foundation work in 1949; in kind deck replacement in 1966 (CBP #4505); a retaining wall added for off street parking along Casanova in 1974 (CBP# 74-60) and deck repair and addition in 1985 (CBP# 85-128). Currently the off-street parking space is being rebuilt, under permit (MCBP#17-229). The previous changes appear to be consistent with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, under the Standard for Rehabilitation

The property is listed at the local level of significance, under California Register criteria 3, in the area of architecture as the first recorded residential duplex in Carmel, designed by Carmel master-builder M.J. Murphy. It falls under the theme of Architectural Development in Carmel (1888-1965), established in the 2008 Carmel Historic Context Statement. Its period of significance is 1913 (see California DPR 523 documentation provided).

Character-defining features of the property include its two-story height; rectangular plan; horizontal ship-lap wood-siding on the ground floor and vertical board-and-batten on the second; low-pitched gabled roof system with Craftsman Style detailing, including a large projecting pergola over the open front (north) porch, having a closed rail with the same board-and-batten treatment as the building envelope, and slightly overhanging the lower unit. Fenestration is irregular, with a combination of multi-paned fixed and casement type Craftsman Style wood windows. The two-tired Craftsman/bungalow duplex is built into a steeply rising slope on the west side of Casanova Street. The ground unit was originally accessed from 4<sup>th</sup> Ave., and the upper unit from Casanova. Several mature trees surround its informally landscaped setting.

### **Evaluation:**

The owner proposes to, (1) add a two-and-one-half-story, enclosed staircase about midway along the west (rear) elevation, with single windows on the first and second floors. (2) Add two shed-roofed dormers to the rear roof plane, to bring light and air into the existing attic space. (3) The addition will require the removal of two original windows on the ground and upper floor of the rear elevation. These will be reused on the west elevation of the staircase. (4) An existing skylight on the SE side of the east facing roof plane will be removed. The new parking pad on the Casanova St. elevation is in construction, as permitted. All new work will be undertaken in conformance with the *The Secretary of the Interior's Standards for the Treatment of Historic Properties, under the Standard for Rehabilitation*.

*The Secretary of the Interiors Standards for the Treatment of Historic Properties* Identify four primary treatment approaches to historic buildings. They are Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation would be the recommended standard of treatment for the subject property, Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The Secretary's Standards encourages "placing a new addition on a non-character-defining elevation." and locating alterations to historic properties in areas where previous alterations already exist.



The 1992 National Park Service *Illustrated Guidelines for Rehabilitating Historic Buildings*, states that “The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.”

In this instance, the rehab work is on a secondary (rear) elevation, with all character-defining features of the historic property retained. The proposed additions/alterations are on an inconspicuous area of the building envelope, screened from neighboring homes and any roadway by dense foliage. The proposed enclosed staircase and roof dormer additions are proportionate in size and scale in relationship to the historic building envelope.

The proposed new elements will reflect the existing historic building fabric for continuity of design. the work will be compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. This is consistent with Rehabilitation Standard #2 and #5. If removed in future, the essential form and integrity of the historic residence will be unimpaired, consistent with Standards #9 and #10 (se photos, plans & drawings provided).

### **Impacts of the Proposed Project:**

The owner has proposed the following additions for contemporary usage.

#### **EAST ELEVATION (primary)**

The only proposed change for this elevation is the removal of a non historic skylight, located in the roof-plane towards the south, with roof repair to match the existing roof covering.

#### **NORTH ELEVATION (primary)**

No changes are proposed for this elevation.

## WEST ELEVATION (secondary)

The proposed new enclosed, shed-roofed staircase will be essentially centered on the building envelope along this elevation. Two existing original windows will be reused, in their approximate original locations, in the new construction.

The proposed wall cladding will be a combination of horizontal, flush board siding, the same dimension as the original ship-lap siding, on the ground floor, and either vertical board-and-batten, with a wider batten than on the original building envelope, or vertical board-on-board wood siding, both to clearly differentiate the old from the new.

A single shed-roof dormer/window will be located on the north side of the new enclosed staircase, with a shed/roof dormer of five banded windows on the south side of the staircase. The new windows will bring light and air into the attic space.

The proposed treatments are consistent with those recommended in the *Secretary's Standards for Rehabilitation*, to assure that the character-defining features of the historic building are not radically changed, and that the new construction is compatible with the site, preserving the historic relationship between building, landscape features and open space (see photos, and plans & drawings provided). If the proposed additions are removed in future, the essential form and integrity of the historic property and its environment would be unimpaired, consistent with Rehabilitation Standard #10 (see copy of Rehabilitation Standards provided). The proposed additions and alterations will not significantly affect the historic resource.

## SOUTH ELEVATION (secondary)

No changes are proposed for this elevation.

The Collis House was officially listed May 25, 2005 on the Carmel Inventory of Historic Resources at the local level of significance for its architectural Craftsman/bungalow design by Carmel master-builder Michael J. Murphy, and as the earliest identified duplex type family residence constructed in Carmel. Its period of significance is 1913.

The subject property is in its original location and setting. The residence retains a high degree of historic integrity in its materials and workmanship, through the design of Carmel master builder M.J. Murphy. The property evokes a strong sense of time and place and of feeling and association with the early building traditions of Carmel-by-the-Sea.

As proposed, the work shall reuse, to the extent feasible, any available historic building material, and where necessary match required replacement features, in kind. New work will be clearly differentiated from the old, but compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. If removed in future, the essential form and integrity of the historic resource and its environment will be unimpaired.

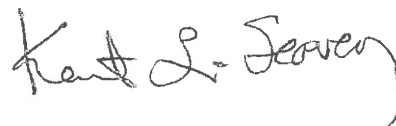
### **Conclusion:**

The proposed work on the subject property will be executed consistent with the *Secretary's Standards for Rehabilitation*, with the least possible loss of historic material so that the remaining character-defining features of the resource will not be obscured, damaged or destroyed. The proposed alterations are reversible. As proposed the new work will not cause a significant change to the listed historic building and will not create a significant adverse effect on the environment.

### **Mitigation**

The proposed project is in conformance with the *Secretary of the Interiors Standards for the Treatment of Historic Properties* under the *Standard for Rehabilitation*. (see documentation, photos and plans & drawings provided). No mitigation is required.

Respectfully Submitted,

A handwritten signature in dark ink, appearing to read "Kent L. Seaver". The signature is written in a cursive, flowing style with a long, sweeping tail on the last name.

3 SW of 4<sup>th</sup> Ave., w/side of Casanova Street-Carmel



Photo #1. Looking NE at the west elevation. Note the two windows, between the bays, proposed for reuse. Kent Seavey, November, 2017

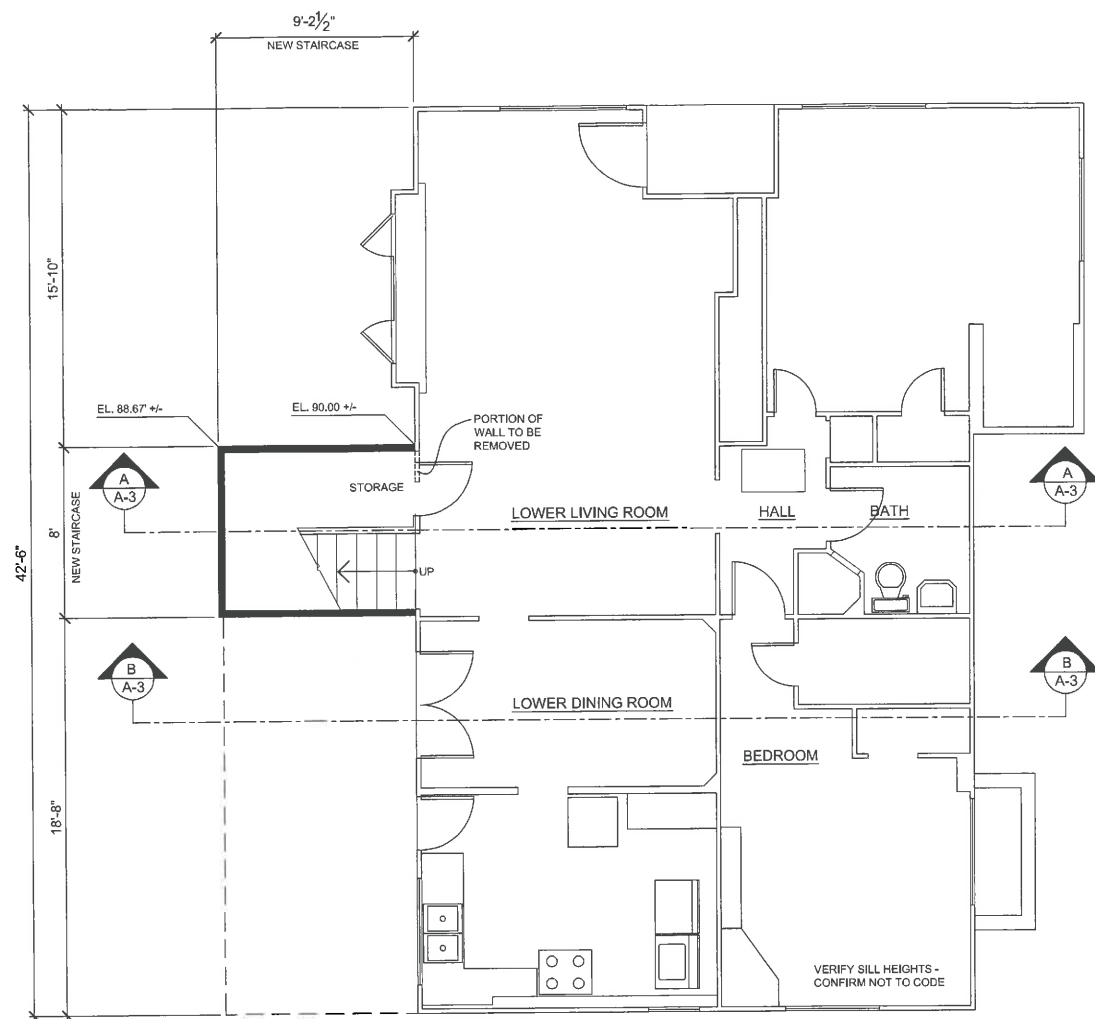


Photo #2. Looking SE through the informal landscape setting along the west side of the residence, Kent Seavey, November, 2017.

**SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF  
HISTORIC PROPERTIES**

1. "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."
2. "The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."
3. "Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."
4. "Most properties change over time; changes that have acquired historic significance in their own right shall be retained and preserved."
5. "Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."
6. "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, and pictorial evidence."
7. "Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."
8. "Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."
9. "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."
10. "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."

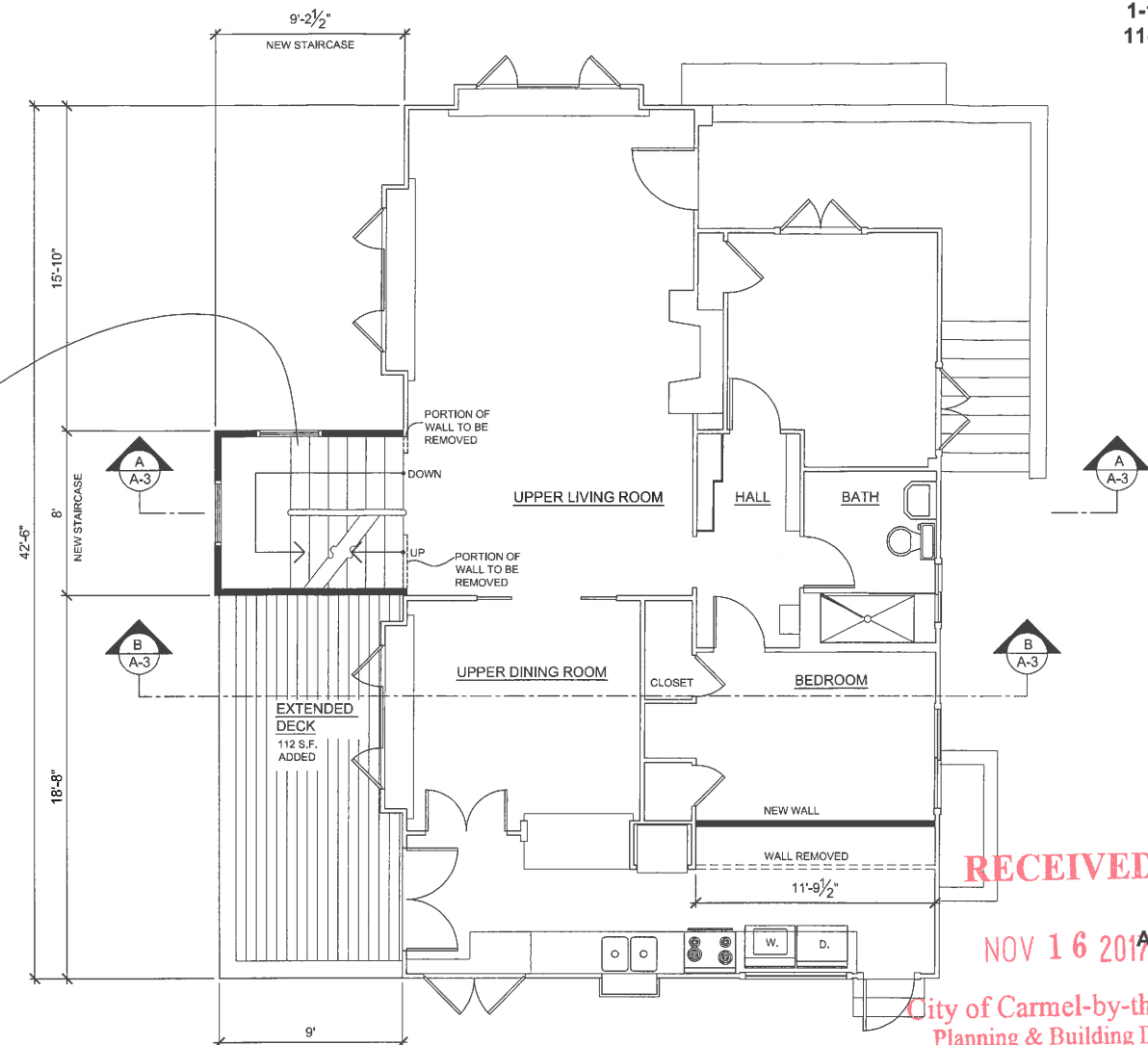
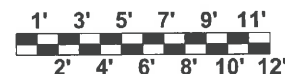
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NEW LOWER FLOOR PLAN

1196 SQUARE FEET PLUS 73.7 S.F. FOR NEW STAIRCASE

SCALE: 1/4" = 1' - 0"



NEW UPPER FLOOR PLAN

1034 SQUARE FEET

SCALE: 1/4" = 1' - 0"



## TWO STORY EXISTING RESIDENCE WITHOUT INTERNAL CIRCULATION. ADDING NEW STAIRCASE

### PROJECT INFORMATION

PROPERTY OWNER: CHRIS & STACY RATCLIFFE  
SITE LOCATION: CASANOVA 3 SW of 4th  
BLOCK FF LOT(S) ALL LOT 29  
ASSESSOR'S PARCEL NUMBER: 010-251-024-000  
MAILING ADDRESS: 520 PINECONE DRIVE, SCOTTS VALLEY, CA 95066  
TELEPHONE: 206-643-5794

SCOPE of PROJECT: EXTEND AN EXISTING DECK,  
ADD A MULTI-STORY STAIRCASE ADDITION,  
REMOVE AN EXISTING SKYLIGHT AND  
ADD TWO NEW ROOF DORMERS.  
RELOCATING KITCHEN / BEDROOM WALL

### CONSULTANTS

CIVIL ENGINEERING: MONTEREY BAY ENGINEERS, INC.  
607 CHARLES AVENUE, SUITE B  
SEASIDE CA 93955  
TEL. (831) 899-7899

### WALL LEGEND:

EXISTING WALLS  
WALLS TO BE REMOVED  
NEW WALLS

SEE PLANS AND SECTIONS FOR  
HEIGHTS & LENGTHS

### PROJECT DESCRIPTION:

ADDING A MULTISTORY STAIRCASE.  
ADDING TWO NEW ROOF DORMERS.  
REMOVING AN EXISTING SKYLIGHT.  
REMOVAL OF PULL LADDER  
RELOCATING KITCHEN WALL  
EXTENDING AN EXISTING DECK,

SEE NOTES ON SHEETS A-5 & A-6 FOR  
FINISH MATERIALS FOR HISTORIC  
COMPLIANCE.

### BUILDING AREA - 2 STORIES

LOWER FLOOR SQUARE FOOTAGE: 1196  
UPPER FLOOR SQUARE FOOTAGE: 1034  
ATTIC SPACE LESS THAN FIVE FEET OF CLEARANCE  
TOTAL (E) SQUARE FOOTAGE: 2230  
ADDITIONAL SQUARE FOOTAGE: STAIRCASE 73.7 S.F.  
PROPOSED SQUARE FOOTAGE: 2303.7 (3% INCREASE)  
ALLOWED SQUARE FOOTAGE: 2565.9375

### SITE COVERAGE (LOT SIZE: 6,375 S.F.)

(E) HOUSE, GROUND LEVEL: 1,196 S.F.  
(E) DECKS: 984 S.F.  
(E) TOTAL: 2180 S.F. (34.2% LOT COVERAGE)  
(N) STAIRCASE: 73.7 S.F.  
(N) UPPER DECK EXTENSION: 112 S.F.  
(N) TOTAL: 2180 + 73.7 + 112 = 2,365.7 S.F. (37.1%)

### SHEET INDEX

SHEET A-1, PROJECT INFORMATION AND DESCRIPTIONS,  
NEW FLOOR PLANS  
SHEET A-2, ROOF PLAN, ATTIC PLAN  
SHEET A-3, BUILDING SECTIONS  
SHEET A-4, NOT ASSIGNED  
SHEET A-5, EXISTING AND NEW EXTERIOR ELEVATIONS  
(NORTH & WEST)  
SHEET A-6, EXISTING AND NEW EXTERIOR ELEVATIONS  
(SOUTH)  
SHEET 5, TOPOGRAPHIC SURVEY

### RATCLIFFE RESIDENCE

Casanova 3 SW of 4th  
Carmel By The Sea, California

RECEIVED

NOV 16 2017 APN: 010-251-024

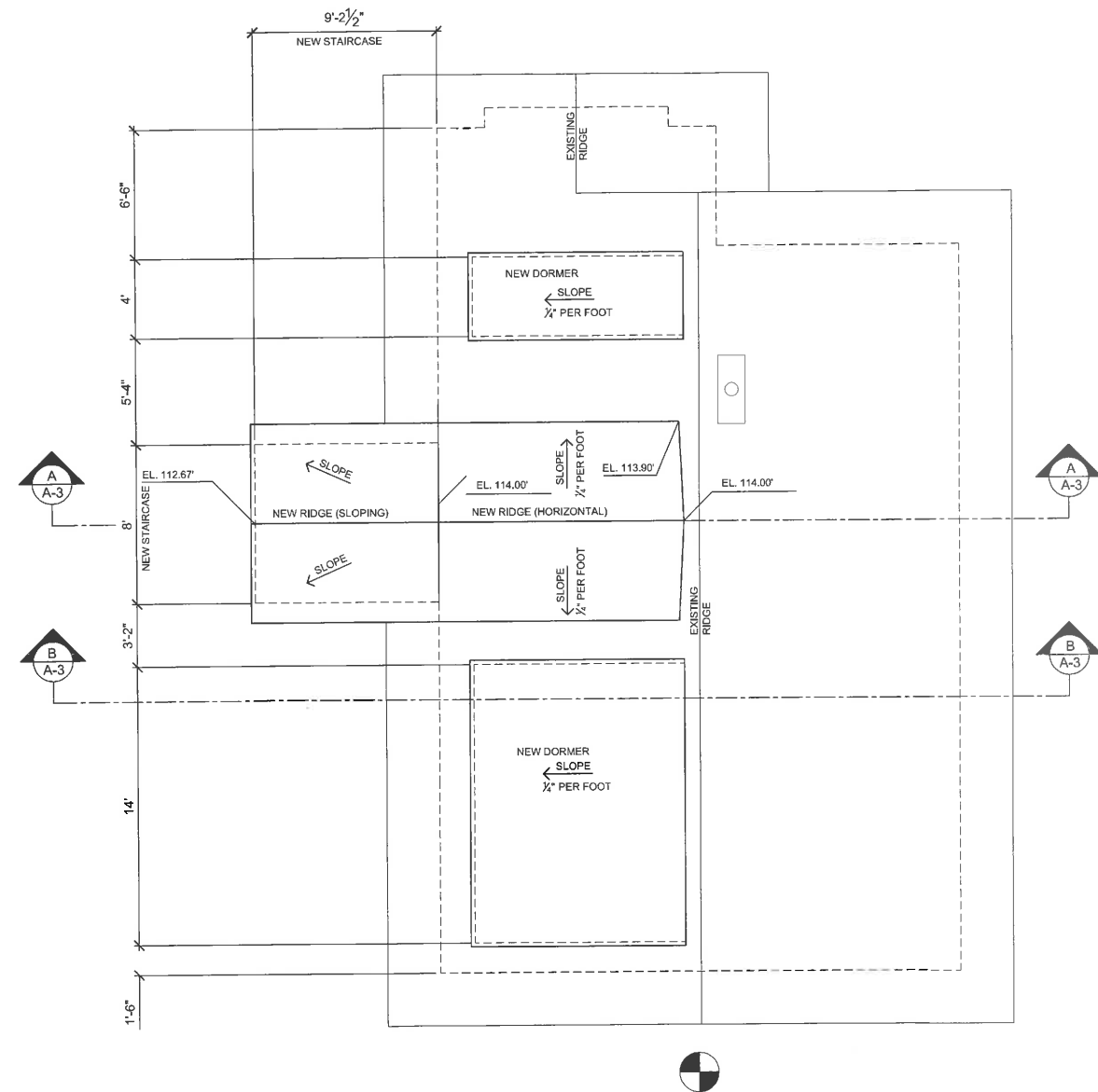
City of Carmel-by-the-Sea  
Planning & Building Dept.

Drawn by: ROD MESQUIT

P.O. BOX 3464, Carmel By The Sea, CA 93921-3464  
831-624-7272

SHEET  
A-1

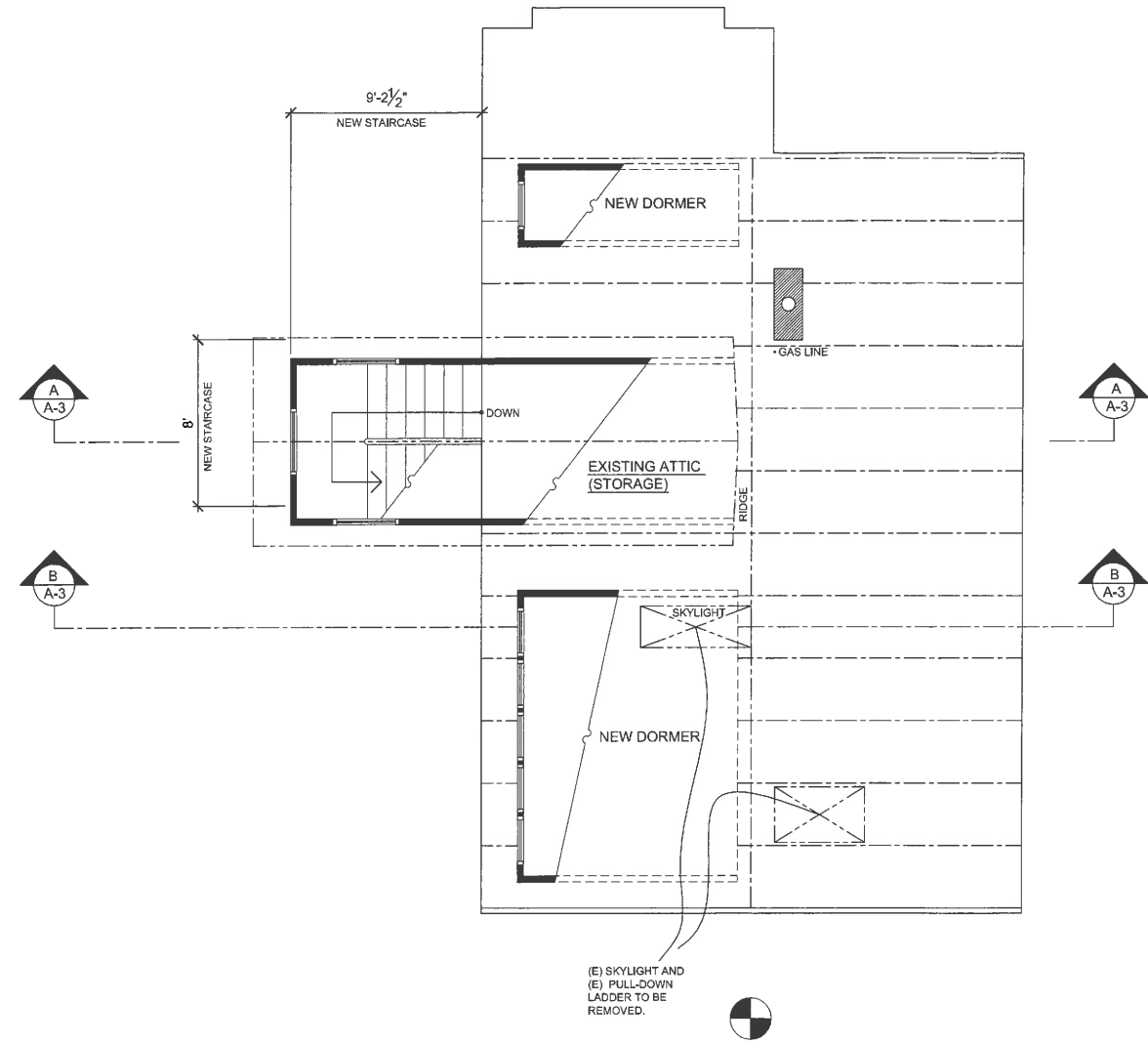
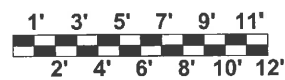
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ROOF PLAN



SCALE: 1/4" = 1' - 0"



EXISTING ATTIC W/ NEW STAIRS FOR ACCESS



SCALE: 1/4" = 1' - 0"

APN: 010-251-024

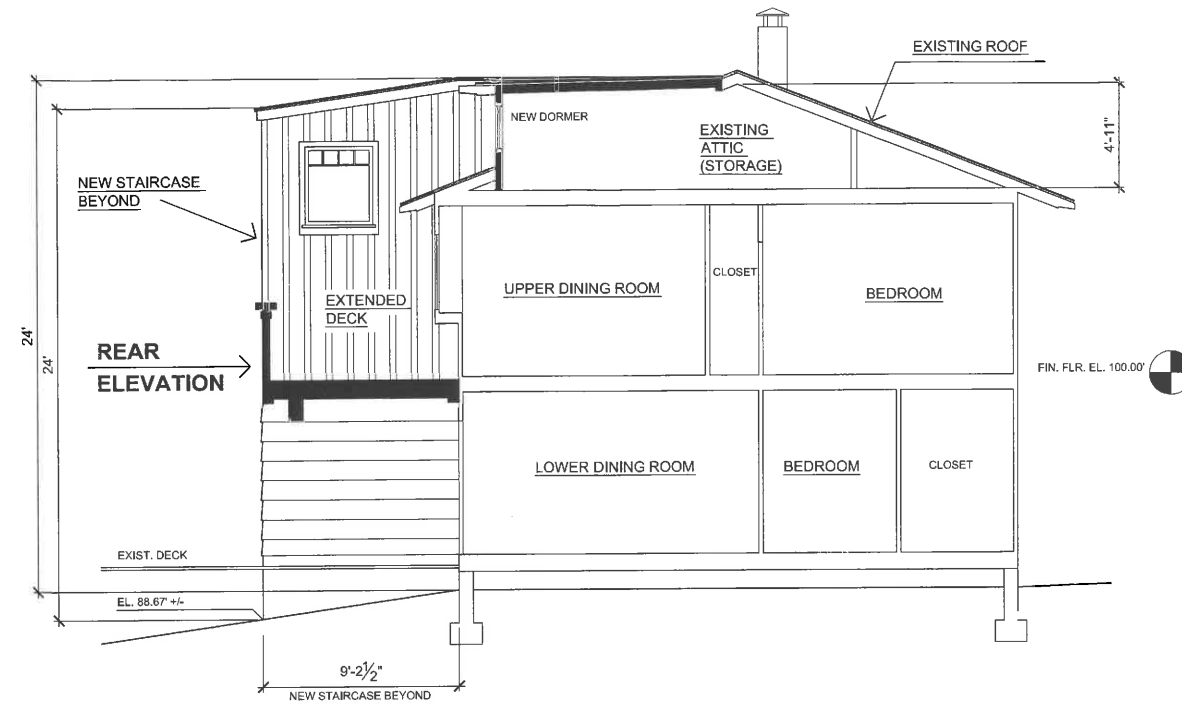
**RATCLIFFE RESIDENCE**  
Casanova 3 SW of 4th  
Carmel By The Sea, California

**Drawn by: ROD MESQUIT**  
P.O. BOX 3464, Carmel By The Sea, CA 93921-3464  
831-624-7272

**SHEET**  
**A-2**

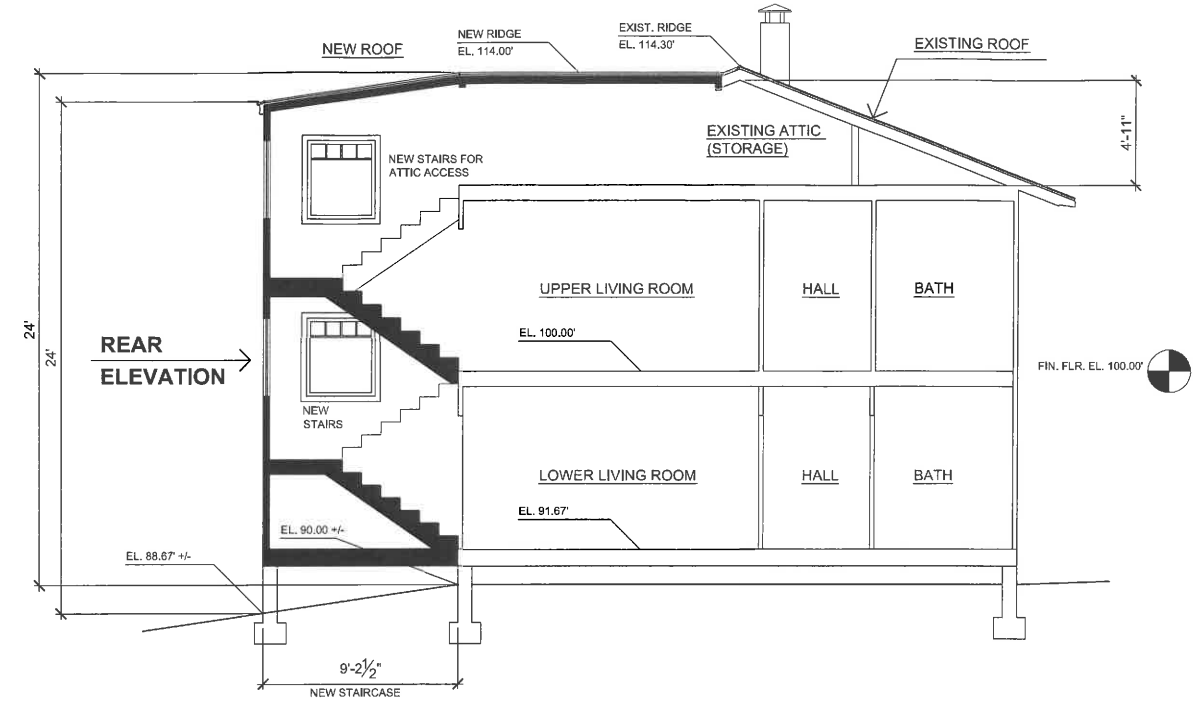
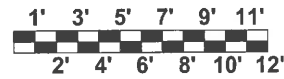
1-10-17  
11-15-17

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SECTION "B"

SCALE: 1/4" = 1' - 0"



SECTION "A"

SCALE: 1/4" = 1' - 0"

APN: 010-251-024

**RATCLIFFE RESIDENCE**  
Casanova 3 SW of 4th  
Carmel By The Sea, California

Drawn by: **ROD MESQUIT**  
P.O. BOX 3464, Carmel By The Sea, CA 93921-3464  
831-624-7272

**SHEET**  
**A-3**  
24

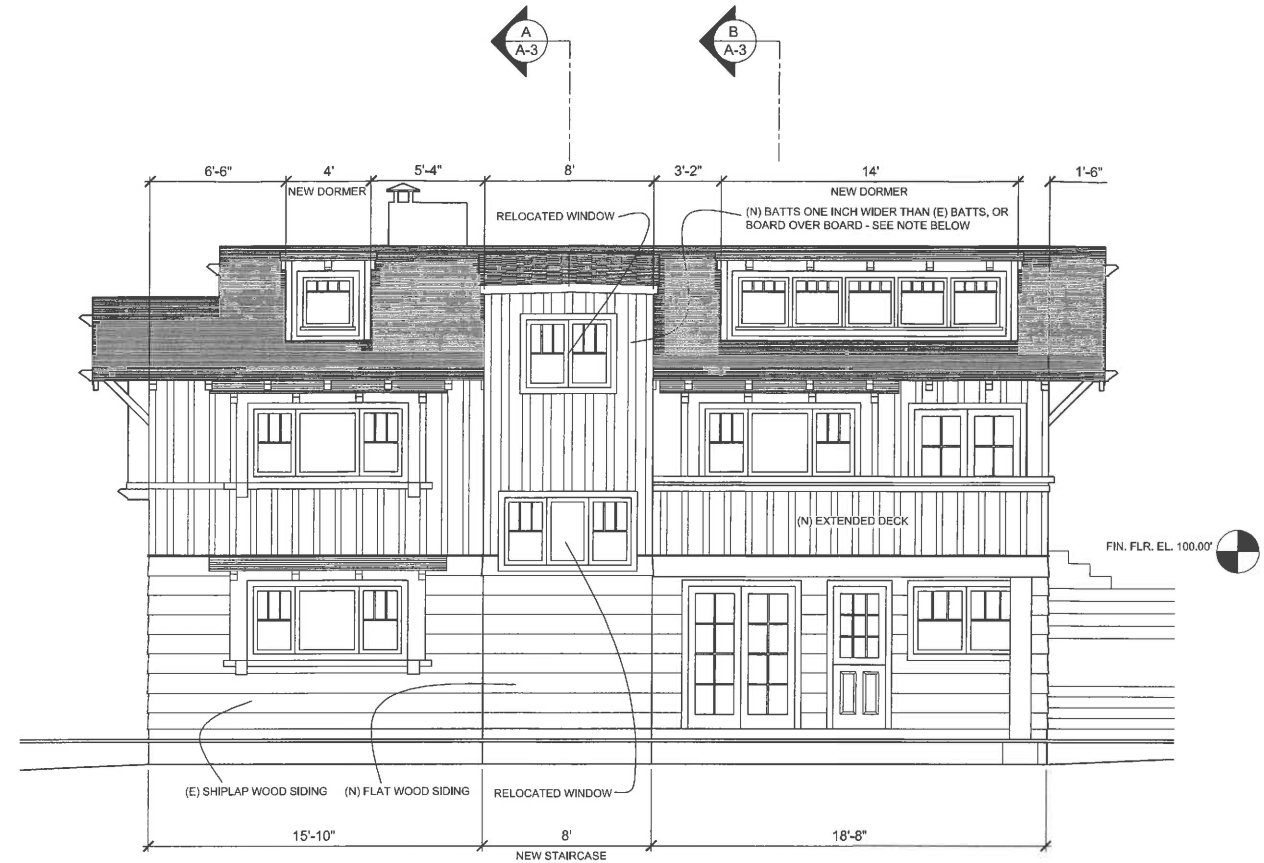


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EXISTING REAR (WEST) ELEVATION

SCALE: 1/4" = 1' - 0"



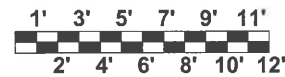
PROPOSED REAR (WEST) ELEVATION

SCALE: 1/4" = 1' - 0"



EXISTING SIDE (NORTH) ELEVATION

SCALE: 1/4" = 1' - 0"

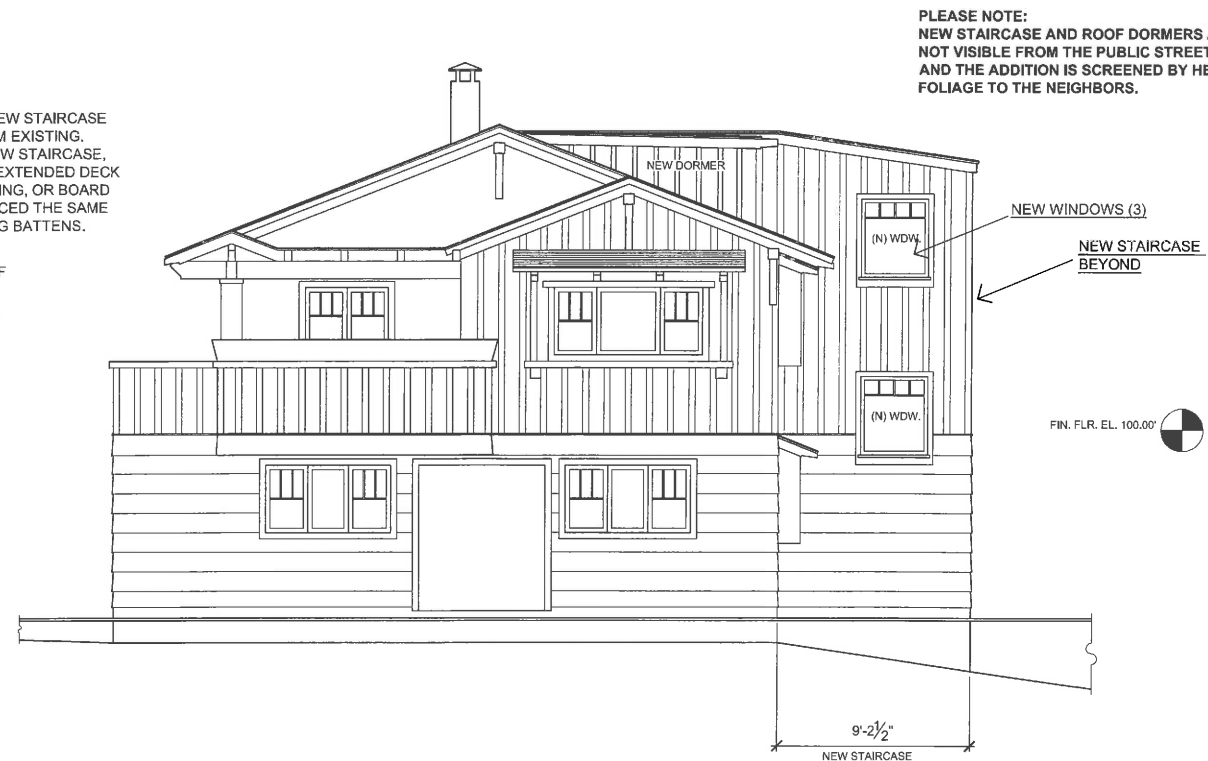


NOTE

1. NEW HORIZONTAL WOOD SIDING AT NEW STAIRCASE SHALL BE FLAT TO DIFFERENTIATE FROM EXISTING.
2. NEW VERTICAL WOOD BATTENS AT NEW STAIRCASE, ROOF DORMERS AND RAILING FOR THE EXTENDED DECK SHALL BE ONE INCH WIDER THAN EXISTING, OR BOARD OVER BOARD WITH OUTER BOARDS SPACED THE SAME DISTANCE AS THE WITH OF THE EXISTING BATTENS.

NEW COPPER ROOFING OVER NEW ROOF DORMERS AND NEW STAIRCASE.

NEW WINDOWS (3) SHALL BE SIMILAR TO EXISTING WINDOWS. MUNTIN PATTERN DIFFERENT.



PROPOSED SIDE (NORTH) ELEVATION

SCALE: 1/4" = 1' - 0"

1-10-17  
11-15-17

**RATCLIFFE RESIDENCE**  
Casanova 3 SW of 4th  
Carmel By The Sea, California

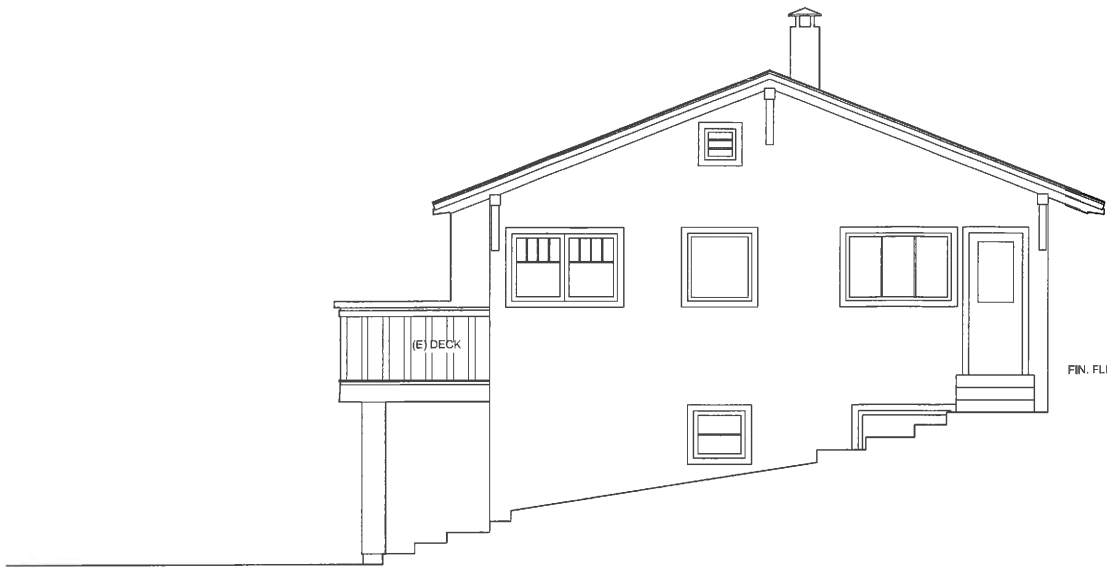
APN: 010-251-024

Drawn by: **ROD MESQUIT**  
P.O. BOX 3464, Carmel By The Sea, CA 93921-3464  
831-624-7272

**SHEET**  
**A-5**  
25

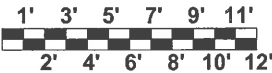
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1-10-17  
11-15-17



EXISTING SIDE (SOUTH) ELEVATION

SCALE: 1/4" = 1' - 0"



**NOTE**

1. NEW HORIZONTAL WOOD SIDING AT NEW STAIRCASE SHALL BE FLAT TO DIFFERENTIATE FROM EXISTING.
2. NEW VERTICAL WOOD BATTENS AT NEW STAIRCASE, ROOF DORMERS AND RAILING FOR THE EXTENDED DECK SHALL BE ONE INCH WIDER THAN EXISTING, OR BOARD OVER BOARD WITH OUTER BOARDS SPACED THE SAME DISTANCE AS THE WITH OF THE EXISTING BATTENS.

NEW COPPER ROOFING OVER NEW ROOF DORMERS AND NEW STAIRCASE.

NEW WINDOWS (3) SHALL BE SIMILAR TO EXISTING WINDOWS. MUNTIN PATTERN DIFFERENT.



PROPOSED SIDE (SOUTH) ELEVATION

SCALE: 1/4" = 1' - 0"

PLEASE NOTE:  
NEW STAIRCASE AND ROOF DORMERS ARE NOT VISIBLE FROM THE PUBLIC STREET, AND THE ADDITION IS SCREENED BY HEAVY FOLIAGE TO THE NEIGHBORS.

**RATCLIFFE RESIDENCE**

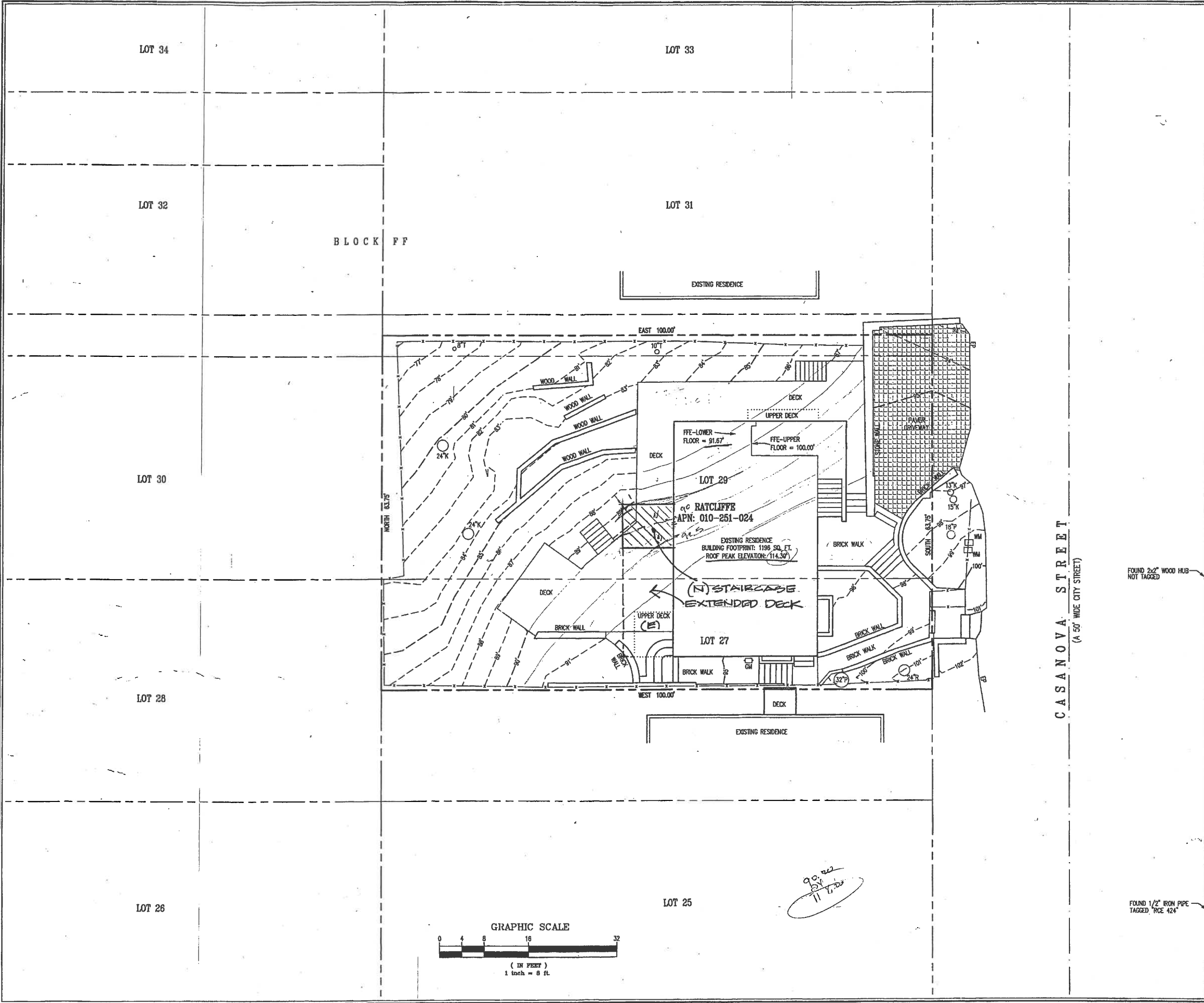
Casanova 3 SW of 4th  
Carmel By The Sea, California

APN: 010-251-024

**Drawn by: ROD MESQUIT**

P.O. BOX 3464, Carmel By The Sea, CA 93921-3464  
831-624-7272

SHEET  
**A-6**



- NOTES:**
1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
  2. DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
  3. ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. THE BENCHMARK IS THE FINISHED FLOOR OF THE UPPER FLOOR. ELEVATION = 100.00'.
  4. CONTOUR INTERVAL = 1 FOOT.
  5. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.
  6. FINISHED FLOOR ELEVATIONS ARE MEASURED AT THE THRESHOLD OF EXTERIOR DOORS.
  7. THIS PROPERTY MAY BE AFFECTED BY EASEMENTS THAT ARE NOT SHOWN ON THIS MAP.
  8. THE BUILDING FOOTPRINT AREA INCLUDES THE SPACE UNDER THE EXTERIOR STAIRCASE TO THE UPPER FLOOR.
  9. ● DENOTES A FOUND MONUMENT AS NOTED.

**SITE COVERAGE:**

AREA	SQUARE FEET
HOUSE, GROUND LEVEL	1,198
HOUSE, SECOND FLOOR	1,034
DECKS	984
BRICK & PAVERS*	967

\*FIGURE ONLY INCLUDES AREA ON SUBJECT PROPERTY

- LEGEND:**
- FENCE LINE
  - EP — EDGE OF PAVEMENT
  - FPE — FINISHED FLOOR ELEVATION
  - GM — GAS METER
  - HB — HOSE BIB
  - K — OAK
  - P — PINE
  - R — REDWOOD
  - T — TREE, SPECIES NOT SPECIFIED
  - WM — WATER METER



**TOPOGRAPHIC SURVEY**  
OF  
A PORTION OF BLOCK FF  
ADDITION NO. 3 CARMEL-BY-THE-SEA  
VOLUME 2, CITIES & TOWNS, PAGE 5  
AS DESCRIBED IN  
DOCUMENT: 2016053939, OFFICIAL RECORDS  
CITY OF CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA  
PREPARED FOR  
**CHRIS & STACY RATCLIFFE**  
BY  
**MONTEREY BAY ENGINEERS, INC.**  
CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING  
807 Charles Ave Suite B Seaside, California 95665  
Phone: (831) 899-7899  
SCALE: 1" = 8'  
JOB No. 16-137  
FIELD: END & TDM  
DRAWN BY: END & TDM  
UPDATED: DEC. 8, 2016



CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

December 11, 2017

**To:** Vice-Chair Gualtieri and Board Members

**From:** Marc Wiener, AICP, Community Planning and Building Director

**Subject:** Historic Evaluation (HE 17-422) of a property located in the Service Commercial (SC) Zoning District.

---

<b>Application:</b>	HE 17-422	<b>APN:</b>	010-138-003
<b>Location:</b>	Dolores 2 SW of 5 <sup>th</sup> Avenue		
<b>Block:</b>	55	<b>Lot(s):</b>	5 & 7
<b>Applicant:</b>	Robert Leidig	<b>Property Owner:</b>	Carmel Properties, LLC

**RECCOMENATION**

Issue of a Determination of Historic Ineligibility to the subject property.

**EXECUTIVE SUMMARY**

The subject property is located on Dolores Street, 2 SW of 5<sup>th</sup> Avenue, and is developed with a one-story Post-Adobe commercial building named the Los Cortes Building. The Los Cortes Building was designed by noted architect William Cranston and was constructed in 1952. The rear of the building was modified in the late 70s. There is a parking lot at the rear of the site and the building is well under the allowed height and floor area for this site. The property owner, Robert Leidig, has indicated the intent to redevelop the site with a new mixed-use building.

In 2015, the property was under different ownership and an application was submitted to conduct a historic evaluation of the site. Historic Preservation Consultant, Kent Seavey, conducted an intensive survey and drafted a DPR 523 Form recommending that the building be added to the City's Historic Inventory under California Register criterion 3, in the area of architecture, as a very good example of the commercial design by architect William Cranston and for its employment of the Post-Adobe construction method. At the property owner's request, the decision on adding the building to the inventory was postponed.

Mr. Leidig has requested that the decision on adding the building to the Historic Inventory be referred to the Historic Resources Board and has hired Historic Preservation Consultant, Anthony Kirk, Ph.D., to conduct a separate intensive survey. Mr. Kirk has drafted a report recommending that the building not be added to the City's Historic Inventory. Staff concurs

with Mr. Kirk and recommends that a Determination of Historic Ineligibility be issued to the property.

## **STAFF ANALYSIS**

### ***Review Process***

CMC Section 17.32.040 (Eligibility Criteria for the Carmel Inventory) states that the Director and the HRB, based on recommendations of qualified professionals, shall use certain criteria in making determinations of eligibility of properties for the City's Historic Inventory. Below is a summary of the four eligibility criteria that must be met in order for the property to qualify as historically significant, followed by an analysis by staff:

### ***Criteria A. Should be representative of at least one theme included in the Historic Context Statement.***

Staff Analysis: In his analysis, Mr. Seavy states that the Los Cortes Building is "significant as a good example of Post-Adobe construction." Section 5.4 of the Historic Context Statement lists several types of architectural styles important to Carmel's development such as Craftsman, European Revival, Minimalist Traditional and Bay Region. The Historic Context Statement references Hugh Comstock's Tudor-style fairy-tale cottages as a prominent type of architecture. The Context Statement notes that the Post-Adobe method of construction was developed by Hugh Comstock, but it is not identified as being important in the City's development. Furthermore, staff concurs with Mr. Kirk who correctly points out that Post-Adobe is a construction method and not an architectural style. In staff's opinion, the style of Los Cortes Building is not representative of a significant theme of development in the City.

### ***Criteria B. Shall retain substantial integrity.***

Staff Analysis: While the front elevation is generally unaltered, there have been numerous alterations to the rear of the building as identified by Mr. Kirk. Most notable is the 1977 addition of a flat-roof element at the rear of the building, which is partially visible from the street.

### ***Criteria C. Should be a minimum of 50 years of age.***

- 1. Is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States;***
- 2. Is associated with the lives of persons important to local, California or national history;***

- 3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, an important creative individual, or possesses high artistic values; or**
- 4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.**

Staff Analysis: The Los Cortes Building was built in 1952 and meets the 50 year age requirement. However, the building does not meet any of the subsections identified under Criteria C. As stated by Mr. Kirk, the property is not associated with events that have made a significant contribution to the broad patterns of national, state, or local history; nor does it have a meaningful association with an individual who was significant in the history of the United States, California, or Carmel-by-the-Sea.

**Criteria D. To qualify for the Carmel Inventory, a historic resource eligible under California Register Criteria No. 3 (subsection (C)(3) of this section) only, should:**

- 1. Have been designed and/or constructed by an architect, designer/builder or contractor whose work has contributed to the unique sense of time and place recognized as significant in the Historic Context Statement; or**
- 2. Have been designed and/or constructed by a previously unrecognized architect, designer/builder or contractor if there is substantial, factual evidence that the architect, designer/builder or contractor contributed to one or more of the historic contexts of the City to an extent consistent with other architects, designer/builders or contractors identified within the Historic Context Statement; or**
- 3. Be a good example of an architectural style or type of construction recognized as significant in the Historic Context Statement; or**
- 4. Display a rare style or type for which special consideration should be given. Properties that display particularly rare architectural styles and vernacular/utilitarian types shall be given special consideration due to their particularly unusual qualities. Such rare examples, which contribute to diversity in the community, need not have been designed by known architects, designer/builders or contractors. Rather, rare styles and types that contribute to Carmel's unique sense of time and place shall be deemed significant.**

Staff Analysis: The Los Cortes Building meets subsection #1, as it was designed by William Cranston, who is identified as a noteworthy architect in the City's Historic Context Statement. However, in staff's opinion it does not meet the other subsections. With regard to subsections #3 and #4, the construction method is not rare and there are other better examples of Post-

Adobe construction in the City such as the L.L. Spillers Guest Cottage designed by William Cranston, the Carmel Village Inn, which was recently added to the City's Historic Inventory, and the Village Corner Restaurant Building (Attachment C – Photographs).

As stated in the Kirk report, Mr. Seavey provides no information on why the Los Cortes Building is a good example of Post-Adobe construction. Furthermore, Mr. Kirk takes issue with Mr. Seavey's statement that the subject building is "an excellent example of post WWII and Korean design in Carmel." In Mr. Kirk's opinion, there is nothing modernistic about the building, except the use of aluminum sash windows, and that use of adobe blocks is "antithetical to the very essence of mid-century modernism." Staff concurs with Mr. Kirk's assessment on this matter.

**ATTACHMENTS:**

- Attachment A – Kent Seavey Intensive Survey (DPR 523)
- Attachment B – Anthony Kirk Intensive Survey
- Attachment C – Photographs of other Post-Adobe Buildings

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION**PRIMARY RECORD**

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

NRHP Status Code \_\_\_\_\_

5S2

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_

Reviewer \_\_\_\_\_

Date \_\_\_\_\_

Page 1 of 3

Resource Name or #: (Assigned by recorder) *Los Cortes Building*

P1. Other Identifier: \_\_\_\_\_

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Monterey*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_ ; R \_\_\_\_\_ ; 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_ ; B.M. \_\_\_\_\_

c. Address: *Dolores St. 2 SW of 5th Ave.* City *Carmel-by-the-Sea* Zip *93921*

d. UTM: (Give more than one for large and/linear resources) \_\_\_\_\_ ; \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

*Lots 5 & 7 of Bk. 55*Parcel No. *010-138-003*

P3. Description (Describe resource and its improvements. Include design, materials, condition, elevations, size, setting, and boundaries)

A one-story, Post-Adobe commercial building. In a modified U-shaped plan, with the base of the U facing Dolores St., The entire bldg. rests on a concrete foundation, with an asphalt driveway through its central porte cochere, that visually ties the building together, and accesses a rear (west) parking lot, also asphalt. The exterior wall cladding is Post-Adobe, with a concrete bond beam capping the south elevation.

The hipped portion of the low-pitched intersecting hip and gable roof system faces Dolores, and has wide, overhanging eaves, a simple wide fascia with a closed soffit, and recessed lighting fixtures. The westward extending gabled wings, on the north and south ends of the building envelope, have exposed rafter-tails with a simple fascia. Two shorter gabled wings return at the rear (west) of the building, to the edge of the central driveway, that provides access to and from the rear parking lot and Dolores Street. The apexes of the gabled wings appear to be painted plywood. The total building design also provides for intimate, raised garden spaces that face the smaller offices that line their respective sides. A single, east-west running Post-Adobe bearing wall, supporting the porte cochere near its south side, provides for safe foot traffic in and out of the office spaces on the south side of the building envelope. All roof covering is in composition shingles.

P3b. Resource Attributes: (List attributes and codes) *HP6 - 1-3 story Commercial Building*P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo (View, date, accession #)

*Looking NW at east facing facade, Kent Seavey, 9/17/2015*

P6. Date Constructed/Age and Sources

☐ Prehistoric ☒ Historic ☐ Both*1932-Mo. Co. Assessor's office, and original building plans*

P7. Owner and Address

*Mr. Joseph Shabed  
1801 Century Park East, #2100  
Los Angeles, CA 90067*

P8. Recorded by: (Name, affiliation, and address)

*Kent L. Seavey  
Preservation Consultant  
310 Lighthouse Ave.  
Pacific Grove, CA 93950*P9. Date Recorded: *9/25/2015*

P10. Survey Type: (Describe)

*Intensive-CEQA required review*

P11. Report Citation: (Cite survey report and other sources, or enter "none")

*None*

Attachments

☐ NONE☒ Continuation Sheet☐ District Record☐ Rock Art Record☐ Other: (List)☐ Location Map☒ Building, Structure, and Object Record☐ Linear Feature Record☐ Artifact Record☐ Sketch Map☐ Archaeological Record☐ Mining Station Record☐ Photograph Record



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 3

NRHP Status Code

552

Resource Name or #: (Assigned by recorder) *Los Cortes Building*

B1. Historic Name: *Los Cortes Building*

B2. Common Name:

B3. Original Use: *commercial building*

B4. Present Use: *commercial building*

B5. Architectural Style: *Post-Adobe*

B6. Construction History: (Construction date, alterations, and date of alterations)

*Constructed 1952 (Mo. Co. Assessor's records); minor adds. including aluminum sliding glass door, 1976 (CBP #76-149); changed roofing from wood shake to composition 1980 (CBP# 80-26)*

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

B8. Related Features:

B9a. Architect: *William L. Cranston*

b. Builder: *Ralph L. Stean*

B10. Significance: Theme: *Commercial Development in Carmel*

Area: *Carmel-by-the-Sea*

Period of Significance: *1952*

Property Type: *1-3 story commercial building* Applicable Criteria: *CR3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

The Los Cortes Bldg. is significant under California Register criterion 3, in the area of architecture, as a very good example of the commercial design of noted Carmel architect William L. Cranston, and the building skills of contractor Ralph Stean. It is also significant as a good example of Post-Adobe construction, a local method of construction developed in Carmel in the late 1930s by village master-craftsman Hugh Cornstock.

The Post-Adobe method of construction developed by Hugh Cornstock in Carmel has historical precedents in building types from the Spanish/Mexican and early American eras, combining the masonry tradition of Southern Europe with the timber-framing methods of early American building. The adobe brick, stabilized with tituminous material for waterproofing, acted as a nogging for the horizontal and vertical timber structural supports, which were pre-routed to carry electrical and water lines. In 1948, after much experimentation Hugh Cornstock published a "how-to" book on the subject, simply called *Post-Adobe*, which was widely circulated. The building method has been used by architects, contractors, and owner-builders up to the present time for hundred of Post-Adobe residences, commercial buildings and utilitarian structures constructed in the region. The Los Cortes Bldg. is one of the few intact architect designed examples found in the Carmel.

William L. Cranston (1918-1986) was born in Manila, The Philippines, and educated in the United States, where he attended Princeton University taking a degree in architecture. Following service in WWII, Cranston came to Carmel and began designing spec. houses for local developer Frank Lloyd. In 1948 he entered into partnership with another of Lloyd's spec. designers, Thomas S. Elston. The firm of Elston & Cranston was a major contributor to the architectural development of the Carmel area from the late 1940s to 1980, when Cranston moved to Santa Rosa. Both men were modernists, whose residential work tended to reflect the Bay Area regionalist styles popular at the time.

B11. Additional Resource Attributes: (List attributes and codes) *HP6 - 1-3 story Commercial*

B12. References:

*Carmel building records, Carmel Planning Dept., Carmel.*

*Carmel Historic Context Statement, ARG-San Francisco, 2008.*

*Carmel Bldg. directories, 1953, 1956.*

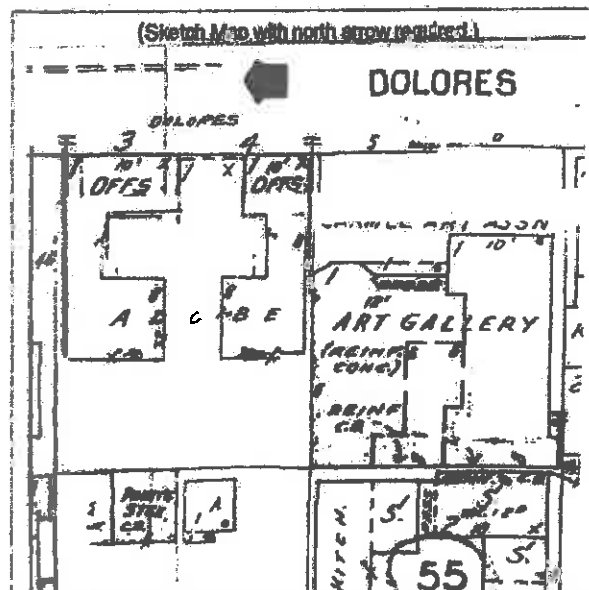
*Carmel Pine Cone, (Obit.) Tom Perry, 1/14/1971, p. 29.*

B13. Remarks: *Zoning-SC*

B14. Evaluator: *Kent Seavey*

Date of Evaluation: *9/25/2015*

(This space reserved for official comments.)



**CONTINUATION SHEET**

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

Page 3 of 3

Resource Name or #: (Assigned by recorder) *Los Cortes Building*

Recorded by: *Kent L. Seavey*

Date *9/25/2015*

☒ Continuation ☐ Update

P3 (Cont.) Fenestration is irregular, with a combination of multi-paned, wood and industrial steel fixed and casement type windows in a variety of sizes and shapes, asymetrically balanced along the Dolores St. elevation by single, wood Dutch-door entries, with glazing above. A band of narrow, horizontal wood awning type transom windows brings both light and air into these east facing office and gallery spaces. Post-Adobe faced flower boxes line the front elevation just below the window sill plates. The interior court office spaces are accessed by low, concrete steps, generally within closed, low adobe walls.

The subject property is sited adjacent to the sidewalk along the west side of Dolores St., taking advantage of the front garden landscaping of the Carmel Art Association abutting it on the south. It is located in a built up commercial district of one and two-story commercial offices, art galleries and the Carmel Post Office.

The 2008 Carmel Historic Context Statement notes, "Since it is the nature of commercial buildings that storefronts are frequently remodeled, such modifications do not necessarily compromise a buildings integrity". Such is the case with the subject property where the minor changes in fenestration, noted above are primarily on secondary elevations.

B10 (Cont.) Cranston once served as President of the Monterey Bay Chapter of the American Institute of Architects, and was a member of the Carmel Valley Master Plan committee. He and Elston were responsible for numerous school designs in the area, including the Carmel Middle School for which they won a Northern California AIA Merit Award in 1963. The employment of traditional materials in a locally derived method of construction, an economy of means to facilitate access for both foot and vehicular traffic and care in placement of parking at the rear of the facility are typical of Cranston's best commercial work in the Post-War era. The firm maintained their offices in the Los Cortes Building.

Ralph L. Stean (1918-2004) the contractor, was a native of Worcester, MA. He was educated in Detroit, Michigan, where he apprenticed with a German engineer, learning the building trade and the nature of materials. Upon completion of his studies Stean worked for his mentor for about two years, when he was asked by the large Detroit building firm, Seyborn & Schulman to head their construction department in 1937. Building early FHA housing tracts, Stean completed 600 homes in a little over three years for the firm. Active service in WWII interrupted the young builders career. In 1945 Ralph Stean came to Carmel as manager of Hugh Comstock's lumberyard. Stean became interested in adobe construction and eventually purchased Comstock's Carmel Valley adobe yard. He was a well known adobe builder throughout the Monterey Peninsula, and participated in several historic adobe restorations. Stean worked with a number of area architects and designers including William Cranston. His own work includes the innovative gull-winged Hofsas residence on Dolores between 3rd & 4th Aves., and several Post-Adobe houses.

Mr. Thomas K. Perry, the original owner of the subject property, was a Carmel attorney, who served 10 years as the Carmel City attorney between 1949-1959. He was president of the Carmel Business Association for 12 years. He moved to Monterey in 1969.

The Los Cortes Bldg. is an excellent example of post WWII and Korean war building design in Carmel. Architect William Cranston and builder Ralph Stean represent a new generation of designers and contractors entering the Carmel building market during the period, employing local materials ( adobe) to create new building forms that respectfully reflected Carmel's earlier building traditions of; a taste for simplicity which transcends the divisions of time and architectural fashion; and through attention to detail and an emphasis on fine craftsmanship. As noted in the 2008 Carmel Historic Context Statement, "Nearly every building on Ocean and Dolores contributes to the character of the historic business district." This is particularly true of the Los Cortes Building, which retains a strong sense of time and place and of feeling and association with the development of the downtown business district in the 1950s post war era. It should also be noted that the landscaping of the Los Cortes Bldg. "...characterizes the the Arts and Crafts ideal of integrating the natural environment into the overall ambience of the building site, streetscape and neighborhood". which is also consistent with the Carmel Historic Context Statement. The commercial property contributes to the understanding of the overall design character of the community, and clearly qualifies for listing in the Carmel Historic Resource Inventory at the local level of significance.

**B12 (Cont.)**

Monterey Co. Assessor's records, Mo. Co Assessor's office, Salinas.

Monterey Peninsula business directories, 1953 through 1956.

Monterey Peninsula Herald, (Obit.), William L. Cranston, 6/24/1986, p.4.

Sanborn Fire Insurance map of Carmel-by-the-Sea, 1930-1962.

Stean, Ralph, Undated biographical notes prepared by Mrs. Stean, 2004.

*Anthony Kirk, Ph.D.  
420 Alberto Way, No. 36  
Los Gatos, CA 95032  
408-827-4959*

RECEIVED

OCT 31 2017

City of Carmel-by-the-Sea  
Planning & Building Dept.

18 October 2017

Mr. Robert M. Leidig  
Managing Partner  
Leidig/Draper Properties  
5th Avenue & Dolores Street  
Carmel-by-the-Sea, CA 93923

Dear Mr. Leidig:

On 11 October 2017 I surveyed the Los Cortes Building on Dolores Street, 2 Southwest of 5th Avenue, Carmel-by-the Sea, California (APN 010-138-003), and conducted research on it. I subsequently evaluated the building for historical and architectural significance under the criteria of the California Register of Historical Resources. In my opinion the property does not meet the criteria of this register. As such, it does not appear to comprise a historical resource as defined by the California Environmental Quality Act (CEQA).

The Los Cortes Building was built in 1952 using the Post-Adobe method of construction, according to plans drawn by the Carmel architect William L. Cranston, and subsequently enlarged and altered (figure 1). The building is roughly symmetrical in plan, consisting of two generally U-shaped blocks facing one another across a driveway on the west side of Dolores Street. The base of the one block is on the south end, and the base of the other block on the north end. The building rests on a concrete perimeter foundation. The exterior walls were built using a method of construction devised in 1940 by the Carmel designer Hugh Comstock, which he stated in his 1948 book *Post-Adobe* would “improve and reduce the cost of adobe construction.” In this manner of building, redwood posts, generally eight-inches square, were placed every eight feet or so, as well as at corners, window openings and door opening. Adobe bricks were used to fill the spaces between the posts. After the structure was completed, the Los Cortes’s posts and adobe bricks were painted an off-white color. The roof system is divided into two parts, the lower section consisting of a cross-hipped roof, which is distinguished by a wide overhang with closed eaves along Dolores Street, the soffit pierced for lighting fixtures. The upper portion of the roof, covering the office space adjacent to the parking lot is cross-gabled, though the intersection of the roofs is hipped on both the north and south sides. The roof has minimal overhang at the eaves, except at the ends of the building, where the Post-Adobe walls are capped by an approximately three-foot section of poured concrete, which rises above the roof line. The roof is finished with composition shingles. Fenestration consists almost exclusively of multi-pane aluminum-sash windows in two

configurations, fixed and combination, the latter with a fixed window flanked by two casements. Three two-light hopper windows top the large window at the south end of the façade. Most of the exterior Dutch doors appear to be original; the upper leaf is glazed and the lower leaf planked. The small courtyards of the two U-shaped blocks feature adobe-block walls and are handsomely planted and well maintained. Three adobe-block planters are set under the industrial windows on Dolores Street.

The Los Cortes Building was built on a site where a private residence formerly stood. The house was moved to the northern city limits in 1948, and four years later the office building was constructed. Originally, Los Cortes consisted of two one-story U-shaped Post-Adobe buildings that were similar in size and shape, as may be seen in Sheet 7 of the Carmel Sanborn Maps for 1962. The roof system was a combination of hipped and gabled roofs and was characterized by a broad overhang and closed eaves along Dolores Street. Fenestration was asymmetrical and consisted of multi-pane aluminum-sash windows in two configurations, either fixed or combination, with a fixed window between two casements. Three two-light hopper windows capped the large window at the south end of the façade. Essentially nothing is known about the courtyards, apart what appears in early drawings. In May 1953, some months after construction came to an end, William Cranston altered the building by installing two doors to an existing office. A more significant alteration was made in the autumn of 1976, when the northern section of the building was transformed. The southern courtyard wall was rebuilt some three feet out from the original wall. The passageway that ran west of the offices lining Dolores Street was enclosed with two Post-Adobe walls some four or five feet from the corner and an entrance door installed. As part of the project, an existing adobe wall in the courtyard was raised, new aluminum-sash windows introduced, and a sliding-glass door installed. In early 1977 a Dutch door replaced a window on the west side of the courtyard in the southern block of the building. Three years later, the size of the southern courtyard was significantly diminished when a flat-roofed nine-by-fifteen-foot Post-Adobe addition was made to the eastern side. As part of the project, two large aluminum-sash windows at installed at the corner of the addition (figure 2).

■ ■ ■

The property is not associated with events that have made a significant contribution to the broad patterns of national, state, or local history; nor does it have a meaningful association with an individual who was significant in the history of the United States, California, or Carmel-by-the-Sea. In an evaluation written on September 2015 by Kent Seavey, the Los Cortes Building is said to be “a very good example of the commercial design of noted Carmel architect William L. Cranston” and to be “significant as a good example of Post-Adobe construction.” The term Post-Adobe is used in *The Historic Context Statement: Carmel-by-the-Sea* (2008) as if it were both a style and a method of construction, when it is clearly only the latter. As Hugh Comstock stated in his volume *Post-Adobe* (1948), the term is “given to a new type of construction which we developed in 1940” (underlining added). In contrast, *The Historic Context Statement* makes reference on page 49 to buildings that were designed at mid-century in styles other than the “Modern style,” such as Tudor Revival, Cape Cod, and Monterey Revival. Among

them is "A post-adobe residence, the L. L. Spillers Guest Cottage at Third and Carpenter," which "was designed in 1951 by William Cranston." No specific style is attached to this house, implying clearly that Post-Adobe is an architectural style.

Mr. Seavey provides no information on why the Los Cortes Building is a good example of Post-Adobe construction. As an example of "commercial design," the building is ostensibly modernist in style, but Mr. Seavey says little about its design qualities, limiting his characterization to two statements. He says that the building is typical of Cranston's best commercial work in the "employment of traditional materials in a locally derived method of construction, an economy of means to facilitate access for both foot and vehicular traffic and care in placement of parking at the rear of the facility." He continues on with the observation that the Los Cortes building "is an excellent example of post WWII and Korean design in Carmel." There is, in fact, nothing that is modernistic about the building except the use of aluminum-sash windows (though Mr. Seavey believes they are steel-sash windows), which was introduced in building construction in the 1930s. The employment of adobe blocks in the construction of the walls is antithetical to the very essence of mid-century modernism, which emphasized "functionalism, rationalism, and current methods of construction, in contrast with architectural styles based on historical precedents and traditional methods of building," as Cyril M. Harris states in his *Dictionary of Architecture and Construction* (2006).

Mr. Seavey also fails to address the matter of integrity in either his Description of the Los Cortes Building or in his statement of Significance, in the DPR 523A and 523B forms. Indeed, he makes no mention of any changes to the building at all. It is my opinion that the building is not architecturally significant, but it is apparent that the design of the building has been significantly altered in the two courtyards, where the form, plan, space, and structure have all changed since the original construction. The various alterations have led to a loss of both materials and workmanship. Indeed, many of the essential physical features of the courtyards no longer exist. Even if the building were indeed architecturally significant, it has lost its integrity.

Sincerely yours,

A handwritten signature in dark ink, appearing to read "Anthony Kirk". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Anthony Kirk, Ph.D.



Figure 1. Looking northwest at east side of Los Cortes Building, 11 October 2017.



Figure 2. Looking southeast toward north and west side of southern block. The flat-roof addition, with two windows, was built in 1977 and can be seen easily by pedestrians and motorists along Dolores Street.



## Attachment C – Photographs of other Post Adobe Buildings



Carmel Village Inn



Village Corner Inn



L.L. Spillers Guest House