

**CITY OF CARMEL-BY-THE-SEA  
HISTORIC RESOURCES BOARD  
MEETING AGENDA**

Monday, October 16, 2017  
3:30 p.m. Tour of Inspection  
4:00 p.m. Open Session

City Hall Council Chambers  
East side of Monte Verde Street  
Between Ocean and Seventh Avenues

**A. CALL TO ORDER AND ROLL CALL**

BOARD MEMBERS:

ERIK DYAR, CHAIR  
KATHRYN GUALTIERI, VICE CHAIR  
LYNN MOMBOISSE  
THOMAS HOOD  
ALEX HEISINGER

**B. TOUR OF INSPECTION**

Shortly after 3:30 p.m., the Board will leave City Hall for an on-site Tour of Inspection. The public is welcome to follow the Historic Resources Board on its tour of the subject sites. The Board will return to City Hall at 4:00 p.m., or as soon thereafter as possible.

**C. PLEDGE OF ALLEGIANCE**

**D. APPEARANCES**

Anyone wishing to address the Board on matters within the jurisdiction of the Board may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Board's agenda will not receive action at this meeting, but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as established by the Board. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

**E. CONSENT AGENDA**

1. Consideration of the minutes of August 21, 2017 Historic Resources Board Meeting.

**F. ITEM**

- |  |   |
|--|---|
| <ol style="list-style-type: none"><li>1. MA 17-213<br/>Sandra J. Markowski, Property owner<br/>NW Cor. Santa Rita &amp; Ocean Ave<br/>Block: 66; Lots: 2, 3 &amp; 4<br/>APN: 010-039-007</li></ol> | <p>Consideration of a recommendation to the City Council to approve a Mills Act Contract (MA 17-213) for an existing historic residence located in the Single Family Residential (R-1) Zoning District.</p> |
|--|---|

2. DR 17-221/HE 17-268 (Simon)  
CVI Investors, LLC, Property owner  
NE Cor. Junipero & Ocean Ave  
Block: 68; Lots: 5-10  
APN: 010-094-002

Consideration of adding the Carmel Village Inn to the Historic Inventory and determination of consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties for modifications to the Carmel Village Inn located in the Residential and Limited Commercial (RC) Zoning District.

#### **G. DIRECTOR'S REPORT**

#### **H. DISCUSSION ITEMS**

1. SB 1069 (ADU Legislation) Impact on Historic Preservation
2. Discussion of Context Statement Update.

#### **I. BOARD MEMBER ANNOUNCEMENTS**

#### **J. ADJOURNMENT**

Any writings or documents provided to a majority of the Historic Resources Board regarding any item on this agenda will be made available for public inspection in the Planning and Building Department located at City Hall, on Monte Verde between Ocean and 7<sup>th</sup> Avenues during normal business hours.

The next regular meeting of the Historic Resources Board: Monday, November 20, 2017

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. The City of Carmel-by-the-Sea Telecommunication's Device for the Deaf/Speech Impaired (TDD) number is 1-800-735-2929.

The Sunset Center is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request to the Board Secretary. If you need assistance, please advise the Board Secretary what item you would like to comment on, and the microphone will be brought to you.

#### **AFFIDAVIT OF POSTING**

I, Marc E. Wiener, Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln, June 16, 2017.

Dated this 11th day of October 2017, at the hour of 10:00 a.m.

\_\_\_\_\_  
Marc Wiener, Community Planning and Building Director

**MINUTES  
CITY OF CARMEL-BY-THE-SEA  
HISTORIC RESOURCES BOARD  
August 21, 2017**

City Hall Council Chambers  
East side of Monte Verde Street  
Between Ocean and Seventh Avenues

**A. CALL TO ORDER AND ROLL CALL**

The meeting was called to order by Chair Erik Dyar at 4:00 p.m.

PRESENT: Erik Dyar, Chair  
Kathryn Gualtieri  
Thomas Hood  
Lynn Momboisse

ABSENT: Alex Heisinger

STAFF PRESENT: Marc Wiener, Planning Director  
Marnie Waffle, Senior Planner  
Cortina Whitmore, Historic Resources Board Secretary

**B. TOUR OF INSPECTION**

Tour of Inspections convened at 3:00 p.m.

**C. PLEDGE OF ALLEGIANCE**

Members of the audience joined the Board in the Pledge of Allegiance.

**D. APPEARANCES**

N/A

**E. CONSENT AGENDA**

1. Consideration of the minutes of June 19, 2017 Historic Resources Board Meeting.

**Board Member Gualtieri moved to approve the minutes of August 21, 2017 Historic Resources Meeting with corrections. Motion seconded by Board Member Momboisse and carried the following vote: 4-0-0-1.**

AYES: COMMISSIONERS: GUALTIERI, MOMBOISSE, HOOD & DYAR  
NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: HEISINGER  
ABSTAIN: COMMISSIONERS:

**G. ITEM**

1. DR 16-477 (Goodhue/Fink)  
David Fink, Project Applicant  
Dolores 4 NW of 7<sup>th</sup> Ave.  
Block: 75; Lots: 13  
APN: 010-147-003

Consideration of a Design Review (DR 16-477) application to construct a second-story addition above an existing one-story building located in the Central Commercial (CC) and Downtown Conservation (DC) Overlay District.

Marc Wiener, Planning Director presented the staff report.

Chair Dyar opened the public hearing seeing

Speaker #1: Jeffery Fink, Project Architect provided property history, summarized the design, material selections and answered questions from the Historic Resources Board.

Chair Dyar closed the public hearing.

The Board held discussion. Board Members Gualtieri and Momboisse expressed reservations with the proposed concrete material and with the contemporary design of the building in the Downtown Conservation Overlay District. Board Member Hood noted the opportunity to differentiate the building. Chair Dyar concluded the Board discussion and voiced support of the proposed materials. The Board provided the direction for the applicant to simplify the trellis and redesign the windows on the north elevation.

**Board Member Hood motioned to Issue a Determination of Consistency for DR 16-477 (Goodhue/Fink) with established Downtown Conservation District Design Context with the recommendations; to revise the windows on the north elevation, explore matching the color of the lower and upper trellises and ensure the front elevation trellis is consistent with the contemporary design of the building. Motion seconded by Board Member Gualtieri and carried by the following roll call vote: 4-0-0-1.**

AYES: COMMISSIONERS: MOMBOISSE, GUALTIERI, HOOD & DYAR  
NOES: COMMISSIONERS: NONE  
ABSENT: COMMISSIONERS: NONE  
ABSTAIN: COMMISSIONERS: HEISINGER

2. MA 17-213 (Markowski)  
Sandra J. Markowski, Property Owner  
NW corner of Santa Rita & Ocean Ave.  
Block: 66; Lots: 2, 3 & 4  
APN: 010-154-011

Consideration of a Resolution to add a historic resource to the Carmel Register and consideration of a recommendation to the City Council to approve a Mills Act Contract (MA 17-213) for an existing historic residence located in the Single Family Residential (R-1) Zoning District.

Board Member Momboisse recused herself from MA 17-213 (Markowski).

Marnie Waffle, Senior Planner presented the staff report and noted staff support.

Chair Dyar opened the public hearings.

Speaker #1: Applicant/Owner Ms. Markowski clarified maintenance plans and answered questions from the Board.

Chair Dyar closed the public hearing.

The Board held discussion and provided the following maintenance plan recommendations:

- Remove the gutters from the scope of work;
- Add foundation vents;
- Add copper flashing at roof dormers;
- Add perimeter drain;
- Add percolation pit;
- Add replacement of the existing wood deck with a Carmel flagstone terrace; and
- Add vent to the existing shed.

**Board Member Hood moved to add MA 17-213 (Markowski) to the City's Historic Inventory with the recommendation the City Council approves the Mills Act Contract and provided additional maintenance plan revisions. The motion was seconded by Board Member Gualtieri and carried by the following roll call vote: 3-0-1-1.**

|          |                                       |
|----------|---------------------------------------|
| AYES:    | COMMISSIONERS: HOOD, GUALTIERI & DYAR |
| NOES:    | COMMISSIONERS: NONE                   |
| ABSENT:  | COMMISSIONERS: HEISINGER              |
| ABSTAIN: | COMMISSIONERS: MOMBOISSE              |

**G. DIRECTOR'S REPORT**

Planning Director, Mr. Wiener discussed the meeting with the Historic Context subcommittee and noted the opportunity to update the Historic Context Statement. Mr. Wiener provided the Historic Resources Board with a draft version of the Request for Proposals (RFP) to allow the

Board to review and provide comments. Mr. Wiener informed the Board of upcoming Board training opportunities and provided an ADU Ordinance update.

**H. DISCUSSION ITEMS**

1. Discussion of Context Statement update.

The Board held a brief discussion.

**I. BOARD MEMBER ANNOUNCEMENTS**

N/A

**J. ADJOURNMENT**

There being no further business to come before the Board, the meeting was adjourned at 5:37 p.m.

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Cortina Whitmore, Historic Resources Board Secretary

ATTEST:

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Erik Dyar, Chair



CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

October 16, 2017

**To:** Chair Erik Dyar and Board Members

**From:** Marc Wiener, AICP, Community Planning and Building Director

**Submitted by:** Marnie R. Waffle, Senior Planner

**Subject:** Consideration of a recommendation to the City Council to approve a Mills Act Contract (MA 17-213) for an existing historic residence located in the Single Family Residential (R-1) Zoning District

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**Application:** MA 17-213

**APN:** 010-039-007

**Block:** 66

**Lots:** 2, 3, 4 (S/PTS)

**Location:** NW Santa Rita St & Ocean Ave

**Property Owner:** Sandra J. Markowski

**RECOMMENDATION**

Recommend City Council approval of a Mills Act Contract.

**BACKGROUND**

The project site is located on the Northwest corner of Santa Rita Street and Ocean Avenue in the R-1 Single-Family Residential zoning district. The existing residence is known as 'Doll's House'. The cottage is approximately 1,150 square feet and is located on a 2,600 square foot lot. The primary entry to the residence faces Ocean Avenue. The residence was constructed in 1928 by designer/builder Hugh Comstock for eastern investor W.O. Swain.

At the August 21, 2017 Historic Resources Board meeting, the Board adopted a Resolution adding the property to the Carmel Register of Historic Resources and recommended City Council approval of a Mills Act contract subject to the following maintenance plan revisions:

- 1) Remove the gutters from the scope of work;
- 2) Add foundation vent(s);
- 3) Add copper flashing at roof dormers;
- 4) Add perimeter drain;
- 5) Add percolation pit;
- 6) Add replacement of the existing wood deck with a Carmel flagstone terrace; and
- 7) Add vent to existing wood shed.

The applicant has submitted a revised maintenance plan along with an explanation of changes (Attachments A and B). Upon further review of the condition of the property, the applicant is requesting that the Historic Resources Board reconsider some of the recommended revisions.

### **STAFF ANALYSIS**

The revised scope of work includes, removal of the previously proposed gutters; adding copper flashing in conjunction with replacing the roof; grading and adding a site drain, as needed; and, replacing the wood deck with landscaping. The previously proposed foundation repairs have been removed from the scope of work (Attachment A).

The applicant is requesting reconsideration of the following items:

Foundation Vents: Upon further inspection of the property, the applicant identified eight, existing foundation vents which is felt to be adequate by the applicant's contractor (Attachment B, Photos 1-8).

Percolation Pit: Upon further inspection of the property, an existing 8-inch storm drain covering a 3-inch functioning drain pipe was discovered on the east side of the property; a portion of the existing flagstone patio drains to this pipe while the remainder of the patio drains away from the house and toward an existing landscape area (Attachment B, Photos 9-14). The applicant feels that a percolation pit is not necessary but that additional grading and site drains would be added as needed.

Replace Wood Deck: The existing wood deck is proposed to be replaced with landscaping rather than a flagstone patio to avoid adverse impacts to the root systems of existing trees in the vicinity.

Wood Shed Vent: Upon further evaluation of the existing wood shed it was noted that the shed does not share a common wall with the main residence and therefore adding a vent to the shed is not necessary (Attachment B, Photo 15).

### **ATTACHMENTS**

- Attachment A – Revised Maintenance Plan
- Attachment B – Photographs of existing conditions
- Attachment C – Draft Mills Act Contract
  - Exhibit A – Legal Description
  - Exhibit B – Secretary of the Interior's Standards for the Treatment of Historic Properties



October 1, 2017

City of Carmel-by-the-Sea  
Historic Resources Board

Members of the Board:

RECEIVED

OCT 06 2017

City of Carmel-by-the-Sea  
Planning & Building Dept.

This letter is submitted in support of the included Mill's Act rehabilitation and maintenance plan revision recommended by the Board at the August 21 meeting. Please also find enclosed pictures of the property to further clarify my effort to address the specific recommendations made by the Board at that meeting.

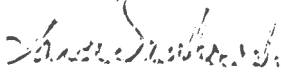
- 1) The gutters have been removed from the proposal.
- 2) Add foundation vent(s): On further survey of the property, eight foundation vents were noted. This was confirmed and documented by Mr. Wood, my contractor, who also entered and evaluated the crawl space ventilation status, and felt it to be adequate. Please note pictures #1 through #8.
- 3) Copper flashing at roof dormers has been added.
- 4) Add perimeter drain:
- 5) Add percolation pit: On further survey of the property, a previously unnoted eight inch storm drain covering a three inch functioning drain pipe was found on the east side of the property, with the surrounding patio flagstone sloping toward it. The remainder of the flagstone patio was also noted to be sloped southward, away from the house and toward the large expanse of ivy and landscaping in that area of the property. Please note pictures #9 through #14. Existing drainage system appears to be more than adequate in those areas. Further grading and site drains will be added as needed.
- 6) Add replacement of the existing wood deck with a Carmel flagstone terrace: On further survey of this area, it was noted that this deck was built over the exposed roots of both a large Monterey Pine and an Acacia tree in that area, much like the exposed roots of a Monterey Pine surrounded by sand on the west side of the property. The Assistant City Forester, Matt Feisthamel, was consulted, and he evaluated the area. In his opinion, installation of a solid flagstone terrace would be detrimental to the health of the trees and

ill-advised. A few inches of topsoil, ground cover, and plants are an acceptable alternative, and subsequently added to the plan.

7) Add vent to existing wood shed: On further evaluation, it was noted that the shed shares no common wall with the house, is completely separate, and that the shed doors do not even close fully, therefore posing no threat of condensation on the interior wall of the house. Please note picture #15.

Thank you for your kind consideration of my revised plan.

Sincerely,

A handwritten signature in black ink, appearing to read "Sandra Markowski". The signature is written in a cursive, flowing style.

Sandra Markowski

Wayne Wood Construction, Inc.

Lic. #733784

225 Crossroads Blvd # 340

Carmel, CA 93923

Cell: 831-905-6799

Email: [lwvbuilder@sbcglobal.net](mailto:lwvbuilder@sbcglobal.net)



## Mills Act Work Plan for NW Corner of Santa Rita and Ocean Ave

| Items to be worked on                       | 2017      | 2018      | 2019      | 2020     | 2021     | 2022     | 2023     | 2024     | 2025     | 2026     | 2027     |
|---|-----------|-----------|-----------|----------|----------|----------|----------|----------|----------|----------|----------|
| Tree trimming                               | 4,300.00  |           |           |          |          |          |          |          |          |          |          |
| Replace eaves/roof overhang                 | 15,000.00 |           |           |          |          |          |          |          |          |          |          |
| Replace roof: copper flashing               |           | 28,000.00 |           |          |          |          |          |          |          |          |          |
| Termite tenting                             | 1,400.00  |           | 250.00    |          | 250.00   |          | 250.00   |          | 250.00   |          | 250.00   |
| Dry rot repair and sub treatment            |           | 1,200.00  |           |          |          |          |          |          |          |          |          |
| Basement vapor barrier                      |           | 1,600.00  |           |          |          |          |          |          |          |          |          |
| Upgrade plumbing                            | 2,000.00  | 3,000.00  | 2,000.00  | 1,000.00 |          |          |          |          |          |          |          |
| Upgrade electrical                          |           | 2,500.00  | 1,000.00  |          |          |          |          |          |          |          |          |
| Fireplace insert                            |           | 5,200.00  |           |          |          |          |          |          |          |          |          |
| Insulation                                  |           | 3,000.00  |           |          |          |          |          |          |          |          |          |
| Seismic retrofit                            |           | 2,250.00  | 2,250.00  |          |          |          |          |          |          |          |          |
| HVAC  |           | 3,500.00  |           |          |          |          |          |          |          |          |          |
| Window and door rehab                       | 3,000.00  | 8,000.00  | 3,000.00  | 1,500.00 | 1,500.00 | 1,500.00 |          |          |          |          |          |
| Install collar ties                         | 1,500.00  |           |           |          |          |          |          |          |          |          |          |
| Landscaping and maintenance                 |           | 2,500.00  | 2,500.00  | 2,500.00 | 2,500.00 | 2,500.00 | 2,500.00 | 2,500.00 | 2,500.00 | 2,500.00 | 2,500.00 |
| Paint                                       | 18,500.00 |           |           |          |          |          |          |          |          |          |          |
| Replace existing wood deck with landscaping |           |           | 10,000.00 |          |          |          |          |          |          |          |          |
| Grading and site drain as needed            |           | 8500.00   |           |          |          |          |          |          |          |          |          |

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City of Carmel-by-the-Sea  
Planning and Urban Dept



Foundation vent 1, east elevation



#2



Foundation vents 2 and 3, south elevation



Foundation vent 4, <sup>west</sup> south elevation





Foundation vent 5, crawl space door



Foundation vents 6 and 7, north elevation at deck

#6







Foundation vent 8, north elevation of Kitchen



Foundation vent 8 length





storm drain , east elevation





Location of storm drain.  
Note flagstone sloping toward the drain

Note flagstone sloping south, away from house / foundation





Note flagstone slope toward drain

Remainder of flagstone at east elevation sloping north, away from house/foundation





Note flagstone sloping south toward vegetation



Note slope of flagstone south,  
away from house





Note slope of flagstone down and away from house





Shed separate from house

## Attachment C

RECORDING REQUESTED BY:

CITY CLERK  
CITY OF CARMEL-BY-THE-SEA

WHEN RECORDED MAIL TO:

NAME: CITY CLERK  
CITY OF CARMEL-BY-THE-SEA

ADDRESS: CITY HALL  
P.O. Box CC  
CARMEL-BY-THE-SEA, CA 93921

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**CITY OF CARMEL-BY-THE-SEA  
MILLS ACT AGREEMENT  
HISTORIC PROPERTY PRESERVATION CONTRACT**

THIS AGREEMENT is made and entered into this \_\_\_th day of MONTH, 2017 by and between the CITY OF CARMEL-BY-THE-SEA a municipal corporation (hereinafter referred to as "City"), and Sandra J. Markowski (hereinafter referred to as "Owner").

RECITALS

- (i) California Government Code Section 50280, et seq. (known as the Mills Act) authorizes cities to enter into contracts with the owners of qualified historic properties to provide for their appropriate use, maintenance and restoration such that these historic properties retain their historic characteristics;
- (ii) The Owner possesses fee title in and to that certain real property, together with associated structures and improvements thereon, located at the southwest corner of San Carlos Street and 12<sup>th</sup> Avenue (APN: 010-164-001), Carmel, California, (hereinafter referred to as the "Historic Property"). A legal description of the Historic Property is attached hereto, marked as Exhibit "A" and is incorporated herein by this reference;
- (iii) The property is identified as an historic resource on the City of Carmel's Register of Historic Resources;
- (iv) City and Owner, for their mutual benefit, now desire to enter into this Agreement both to protect and preserve the characteristics of historical significance of the Historic Property, and to qualify the Historic Property for an assessment of valuation pursuant to the provisions of Article 1.9 (commencing with section 439) of Chapter 3 of Part 2 of Division 1 of the California Revenue and Taxation Code.

**NOW, THEREFORE,** City and Owner, in consideration of the mutual covenants and conditions contained herein, do hereby agree as follows:

1. **EFFECTIVE DATE AND TERM.** This Agreement shall be effective and commence on 1 January 2017, unless otherwise indicated by Monterey County, and shall remain in effect for a term of ten (10) years thereafter.

2. **AUTOMATIC RENEWAL.** Each year, upon the anniversary of the effective date of this Agreement (hereinafter referred to as “annual renewal date”), one (1) year shall be added automatically to the term of this Agreement, unless timely notice of nonrenewal is given as provided in paragraph 3 of this Agreement. The total length of the contract shall not exceed twenty (20) years.
3. **NOTICE OF NONRENEWAL.** If City or Owner desires in any year not to renew this Agreement, that party shall serve written notice of nonrenewal in advance of the annual renewal date of this Agreement as follows: Owner must serve written notice of nonrenewal at least ninety (90) days prior to the annual renewal date; City must serve written notice of the nonrenewal at least sixty (60) days prior to the annual renewal date. Upon receipt by Owner of a notice of nonrenewal from the City, Owner may make a written protest. At any time prior to the annual renewal date, City may withdraw its notice of nonrenewal.
4. **EFFECT OF NOTICE OF NONRENEWAL.** If either City or Owner serves timely notice of nonrenewal in any year, and this contract is not renewed, this Agreement shall remain in effect only for the remaining nine (9) years from the last annual renewal date.
5. **VALUATION OF PROPERTY.** During the term of this Agreement, Owner is entitled to seek assessment of valuation of the Historic Property pursuant to the provisions of Chapter 3 of Part 2 of Division 1 of the California Revenue and Taxation Code.
6. **PRESERVATION OF PROPERTY.** Owner shall preserve and maintain the characteristics of historical significance of the Historic Property. Attached hereto marked as Exhibit “B”, and incorporated herein by this reference, is a list of those minimum standards and conditions for maintenance, use and preservation of the Historic Property, which shall apply to such property throughout the term of this Agreement. The Owner agrees to complete rehabilitation and/or maintenance activities of the structure and comply with such conditions as specified in Exhibit “B” including the conditions outlined by the City’s Historic Preservation Consultant. Requests for substantial revisions to the maintenance and rehabilitation plan shall be reviewed by the Historic Resources Board prior to implementation. In addition, Owner shall comply with the terms of the City’s Historic Preservation Ordinance (CMC 17.32). Owners shall not be permitted to further impede the view corridor with any new structure, such as walls, fences, or shrubbery, so as to prevent the viewing of the Historic Property from the public right-of-way.
7. **RESTORATION OF PROPERTY.** Owner shall, where necessary, restore and rehabilitate the Historic Property to conform to the rules and regulations of the Office of Historic Preservation of the State Department of Parks and Recreation, U. S. Secretary of the Interior’s Standards for Rehabilitation, State Historical Building Code, and the City of Carmel-by-the-Sea, all as amended.
8. **INSPECTIONS.** Owner shall allow periodic examinations, with reasonable notice thereof, of the interior and exterior of the Historic Property by representatives of the County Assessor, the State Department of Parks and Recreation, the State Board of Equalization, the City and other agencies as may be necessary to determine Owner’s compliance with the terms and provisions of this Agreement.
9. **PROVISION OF INFORMATION.** Owner shall furnish the City with any and all information requested by City, which City deems necessary or advisable to determine compliance with the terms and provisions of this Agreement.
10. **ANNUAL REPORT.** Owner shall submit an annual report at least 90 days prior to each annual renewal date to the Department of Planning and Building specifying all work that has been done to maintain

and preserve the historic resource over the preceding year in compliance with the approved maintenance plan.

11. CANCELLATION. The City has the right to cancel the contract if the historic resource is damaged or destroyed by unauthorized additions, alterations or remodeling. The City also has the right to cancel this contract if the owners(s) have repeatedly failed to comply with the provisions of paragraph's # 6, 7, 8 or 10 of this Agreement after the City has provided reasonable notice of any failure to comply with the agreement. Cancellation of a contract by the City consistent with the provisions of this paragraph requires a public hearing and, if cancelled, results in the immediate termination of the contract and a penalty equal to 12.5 percent of the assessed market value of the property. City's right to cancel this Agreement pursuant to this paragraph shall in no way limit or restrict its rights or legal remedies arising from City's Historic Preservation Ordinance and Municipal Code.
12. ENFORCEMENT OF AGREEMENT. In lieu of and/or in addition to any provisions to cancel this Agreement as referenced herein, City may specifically enforce, or enjoin the breach of, the terms of this Agreement.
13. WAIVER. City does not waive any claim or default by Owner if City does not enforce or cancel this Agreement. All remedies at law or in equity, which are not otherwise provided for this Agreement or in City's regulations governing historic properties are available to City to pursue in the event there is a breach of this Agreement. No waiver by City of any breach or default under this Agreement shall be deemed to be a waiver of any other subsequent breach thereof or default hereunder.
14. BINDING EFFECT OF AGREEMENT. Owner hereby subjects the Historic Property to the covenants, reservations and restrictions set forth in this Agreement. City and Owner hereby declare their specific intent that the covenants, reservations, and restrictions as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon Owner's successors and assigns in title or interest to the Historic Property. A successor in interest shall have the same rights and obligations under this Agreement as the original owner who executed the Agreement.

Each and every contract, deed or other instrument hereinafter executed, governing or conveying the Historic Property, or any portion thereof, shall conclusively be held to have been executed, delivered and accepted subject to the covenants, reservations and restrictions expressed in this Agreement regardless of whether such covenants, reservations and restrictions are set forth in such contract, deed or other instrument.

City and Owner hereby declare their understanding and intent that the burden of the covenants, reservations and restrictions set forth herein touch and concern the land in that it restricts development of the Historic Property. City and Owner hereby further declare their understanding and intent that the benefit of such covenants, reservations and restrictions touch and concern the land by enhancing and maintaining the cultural and historic characteristics and significance of the Historic Property for the benefit of the public and Owner.

15. NOTICE. Any notice required to be given by the terms of this Agreement shall be provided at the address of the respective parties as specified below, by personal delivery or United States mail, postage prepaid, addressed as follows:

City: Carmel-by-the-Sea  
Community Planning & Building Department  
P.O. Box CC  
Carmel-by-the-Sea, CA 93921

Owner: Sandra J. Markowski  
907 Elm Terrace  
Newton, N.J. 07860

16. RECORDATION. No later than twenty (20) days after the parties execute and enter into this Agreement, the City shall cause this Agreement to be recorded in the Office of the County Recorder of the County of Monterey.
17. The Owner or agent of Owner shall provide written notice of this Agreement to the State Office of Historic Preservation within six (6) months of the date of this Agreement.
18. GOVERNING LAW; VENUE. This Agreement shall be constructed and governed in accordance with the laws of the State of California. Should either party to this agreement bring legal action against the other, the case shall be handled in Monterey County, California and the party prevailing in such action shall be entitled to a reasonable attorney fee which shall be fixed by the judge hearing the case and such fee shall be included in the judgment together with all costs.
19. AMENDMENTS. This agreement may be amended in whole or in part, only by a written-recorded instrument executed by the parties hereto.
20. DESTRUCTION OF PROPERTY; EMINENT DOMAIN; CANCELLATION. If the Historic Property is destroyed by earthquake, fire, flood, or other natural disaster such that in the opinion of the City Building Official more than sixty percent (60%) of the original fabric of the structure must be preplaced, this Agreement shall be cancelled because the historic value of the structure will have been destroyed. If the Historic Property is acquired in whole or in part by eminent domain or other acquisition by any entity authorized to exercise the power of eminent domain, and the acquisition is determined by the City Council to frustrate the purpose of this Agreement, this Agreement shall be cancelled. No cancellation fee pursuant to Government Code Section 50286 shall be imposed if the Agreement is cancelled pursuant to this paragraph.
21. INDEMNIFICATION. Owner shall defend, indemnify, and hold harmless City and its elected officials, officers, agents and employees from any actual or alleged claims, demands, causes of action, liability, loss, damage, or injury to property or persons, including wrongful death, whether imposed by a court of law or by administrative action of any federal, state or local government agency, arising out of or incident to the direct or indirect use, operation, or maintenance of the Historic Property by Owner or any contractor, subcontractor, employee, agent, lessee, licensee, invitee, or any other person; (ii) Owner's activities in connection with the Historic Property; and (iii) any restriction on the use of development of the Historic Property, from application or enforcement of the City's Municipal Code, or from the enforcement of this Agreement. This indemnification includes, without limitation, the payment of all penalties, fines, judgments, awards, decrees, attorneys' fees, and related costs or expenses, and the reimbursement of the City, its elected officials, employees, and/or agents for all legal expenses and costs incurred by each of them. Owner's obligation to indemnify shall survive the termination, cancellation, or expiration of this Agreement and shall not be restricted to insurance proceeds, if any, received by City, its elected officials, employees, or agents.
22. SEVERABILITY. In the event that any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, or by subsequent preemptive legislation, the validity and enforceability of the remaining provisions, or portions thereof, shall not be affected thereby.

IN WITNESS THEREOF, the City and Owners have executed this Agreement on the day and year written above.

CITY OF CARMEL-BY-THE-SEA:

By: \_\_\_\_\_

Date: \_\_\_\_\_

Name: Chip Rerig

Title: City Administrator

PROPERTY OWNER(S):

By: \_\_\_\_\_

Date: \_\_\_\_\_

Name: Sharon J. Markowski

**EXHIBIT "A"**  
Legal Description

For APN/Parcel ID(s): 010-039-007

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CARMEL, COUNTY OF MONTEREY, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

Parcel C, as shown on the map entitled, "Licensed Surveyors Map showing Resurvey of the East Half of Block 66, Carmel City", filed August 15, 1930 in Volume 3 of Surveys, at Page 134, in the Office of the County Recorder of the County of Monterey, State of California.

RECEIVED

JUN 09 2017

City of Carmel-by-the-Sea  
Planning & Building Dept.

**SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF  
HISTORIC PROPERTIES**

1. "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."
2. "The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."
3. "Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."
4. "Most properties change over time; changes that have acquired historic significance in their own right shall be retained and preserved."
5. "Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."
6. "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, and pictorial evidence."
7. "Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."
8. "Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."
9. "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."
10. "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."





CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

October 16, 2017

**To:** Chair Dyar and Board Members

**From:** Marc Wiener, AICP, Community Planning and Building Director

**Submitted by:** Marnie R. Waffle, Senior Planner

**Subject:** Consideration of adding the Carmel Village Inn to the Historic Inventory and determination of consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties for modifications to the Carmel Village Inn located in the Residential and Limited Commercial (RC) Zoning District

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|                     |                                 |   |
|---------------------|---------------------------------|---|
| <b>Application:</b> | DR 17-221/HE 17-268             | <b>APN:</b> 010-094-002                   |
| <b>Location:</b>    | NE Corner of Junipero and Ocean |   |
| <b>Block:</b>       | 68                              | <b>Lot(s):</b> 5-10                       |
| <b>Applicant:</b>   | Arron Simon                     | <b>Property Owner:</b> CVI Investors, LLC |

**EXECUTIVE SUMMARY**

The applicant is proposing to make exterior modifications to the Carmel Village Inn hotel including, 1) construct a raised, 595 square foot patio along the south elevation of the hotel lobby/office and associated parking lot modifications to accommodate the patio; 2) modify the existing balcony and stair railings to meet current Building Code requirements; 3) remove an existing, interior chimney from the south roof plane and replace it with a fiberglass replica; 4) repaint the entire building; 5) replace the roof with wood shake; 6) re-landscape the Ocean Avenue project frontage; 7) install a new railing along the 6<sup>th</sup> Avenue frontage; and, 8) other minor exterior modifications at Rooms 1 and 2. The Historic Resources Board (HRB) is being asked to consider whether the existing hotel should be added to the City's Historic Inventory as a historic resource and if so, to review the proposed modifications under the Design Review (DR 17-221) application for consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

**RECOMMENDATION**

1. Staff recommends that the Carmel Village Inn not be added to the Historic Inventory.
2. If the HRB chooses to add the Carmel Village Inn to the Historic Inventory, then staff recommends that it also issue a Determination of Consistency with the Secretary of the Interior's Standards for the proposed modifications.

## **BACKGROUND**

The Carmel Village Inn was constructed in 1954 by James B. Pruitt of Comstock Associates utilizing the post-adobe method of construction. The one-and-two story wood framed Inn is irregular in plan and rests on a concrete foundation. The exterior wall cladding is post-adobe on the ground floor and smooth cement stucco on the second floor with decorative false half-timbering. The roof is a low-pitched, stepped hipped roof with slightly overhanging eaves with exposed rafter tails. The roof overhangs an open balcony that provides access to the second floor rooms along the south and west elevations. The balcony railing is made of wood with slender balusters. Wood flower boxes are attached to the face of the railing. The Inn has two adobe brick chimneys.

On June 19, 2017, the applicant submitted an application for a Track One Design Review to make the following exterior modifications to the Carmel Village Inn:

- 1) Construct a raised, 595 square foot patio along the south elevation of the hotel lobby/office and associated parking lot modifications to accommodate the patio;
- 2) Modify the existing balcony and stair railings to meet current Building Code requirements;
- 3) Remove an existing, interior chimney from the south roof plane and replace it with a fiberglass replica;
- 4) Repaint the entire building;
- 5) Replace the roof with wood shake;
- 6) Re-landscape the Ocean Avenue project frontage;
- 7) Install a new railing along the 6<sup>th</sup> Avenue frontage; and,
- 8) Other minor exterior modifications at Rooms 1 and 2.

The Carmel Municipal Code states that no property shall be altered or remodeled without first determining if the property is eligible for inclusion on the Carmel Inventory of historic resources. An initial assessment of historic significance was conducted to determine whether the property may have historic resource potential sufficient to warrant conducting an intensive survey. The initial assessment revealed that the property is over 50 years of age and was designed and constructed by Comstock Associates using the Post-Adobe method of construction. Based on the initial assessment, an intensive survey of the property was conducted by a qualified professional, Mr. Kent Seavy, who is under contract to the City. Mr. Seavy completed an intensive survey which is documented on the Department of Parks and Recreation form DPR 523A (Attachment A). Mr. Seavey is of the opinion that the Carmel Village Inn should be added to the City's Historic Inventory. Staff disagrees with Mr. Seavey on this recommendation.

The HRB is being asked to review the intensive survey and determine whether the Carmel Village Inn should be added to the Historic Inventory. If the property is added to the Historic Inventory, the HRB would also be asked to consider Design Review (DR 17-221) application and

determined that the project is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

## **STAFF ANALYSIS**

### ***Review Process***

CMC Section 17.32.040 (Eligibility Criteria for the Carmel Inventory) states that the Director and the HRB, based on recommendations of qualified professionals, shall use certain criteria in making determinations of eligibility of properties for the City's Historic Inventory. Below is a summary of the four eligibility criteria that must be met in order for the property to qualify as historically significant, followed by an analysis by staff:

### ***Criteria A. Should be representative of at least one theme included in the Historic Context Statement.***

Staff Analysis: In his analysis, Mr. Kent Seavy states that the Carmel Village Inn is consistent with the theme of Architectural Development (1888-1965). The Inn has been constructed on the site of Carmel's first caravansary, Hotel Carmelo, which was constructed in 1888. The Inn is less than one block from several of Hugh W. Comstock's earliest storybook cottages.

The Carmel Village Inn was constructed to reflect Carmel's architectural traditions during a time when modern-style buildings in the Bay Region sub-style were gaining popularity. The Inn employed a mix of Monterey style vernacular, with covered wooden balconies, and Tudor style detailing, with decorative half-timbering, and the use of Post-Adobe for the exterior wall cladding. Additionally, the building envelope was laid out in such a manner as to provide the widest possible view of Devendorf Park for visitors approaching the village on Ocean Avenue as well as guests of the Inn.

Section 5.4 of the Historic Context Statement lists several types of architectural styles important to Carmel's development such as Craftsman, European Revival, Minimalist Traditional and Bay Region. The Historic Context Statement references Hugh Comstock's Tudor-style fairy-tale cottages as a prominent type of architecture. The Context Statement notes that the Post-Adobe method of construction was developed by Hugh Comstock, but this style of architecture is not listed amongst those considered important in the City's development. This particular structure is a combination of Post-Adobe and includes a mix of other architectural styles such as Monterey Vernacular Tudor, making it a poor example of any one type of architecture. In staff's opinion, the architectural style of the Carmel Village Inn is not consistent with or representative of the themes identified in the Historic Context Statement.

**Criteria B. *Shall retain substantial integrity.***

Staff Analysis: The Carmel Village Inn remains substantially intact as originally constructed from 1954-1957. The only exterior modification noted in the property file was a reroof in 1992.

**Criteria C. *Should be a minimum of 50 years of age.***

- 1. Is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States;***
- 2. Is associated with the lives of persons important to local, California or national history;***
- 3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, an important creative individual, or possesses high artistic values; or***
- 4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.***

Staff Analysis: The Carmel Village Inn was constructed from 1954-1957 and meets the 50 year age requirement. However, the Carmel Village Inn does not meet the requirements of subsections #1 and #4. With regard to subsection #2, the Carmel Village Inn was designed and constructed by James Pruitt of Comstock Associates. Mr. Pruitt is listed in the Historic Context Statement as one of many architects who worked in Carmel during the post-war era; however, no additional information on Mr. Pruitt is provided and no mention of Comstock Associates is contained in the Historic Context Statement. With regard to subsection #3, in staff's opinion, the structure does not represent the work of a master or possess high artistic value. The HRB should consider whether structure meets subsection #3.

**Criteria D. *To qualify for the Carmel Inventory, a historic resource eligible under California Register Criteria No. 3 (subsection (C)(3) of this section) only, should:***

- 1. Have been designed and/or constructed by an architect, designer/builder or contractor whose work has contributed to the unique sense of time and place recognized as significant in the Historic Context Statement; or***
- 2. Have been designed and/or constructed by a previously unrecognized architect, designer/builder or contractor if there is substantial, factual evidence that the architect, designer/builder or contractor contributed to one or more of the historic contexts of the City to an extent consistent with other architects, designer/builders or contractors identified within the Historic Context Statement; or***

- 3. Be a good example of an architectural style or type of construction recognized as significant in the Historic Context Statement; or**
- 4. Display a rare style or type for which special consideration should be given. Properties that display particularly rare architectural styles and vernacular/utilitarian types shall be given special consideration due to their particularly unusual qualities. Such rare examples, which contribute to diversity in the community, need not have been designed by known architects, designer/builders or contractors. Rather, rare styles and types that contribute to Carmel's unique sense of time and place shall be deemed significant.**

Staff Analysis: Subsections #1 and #2 above require that the structure be designed by an architect whose work has contributed to the City. As previously noted, the Carmel Village Inn was designed and constructed by James Pruitt of Comstock Associates, who is listed in the Historic Context Statement with very little background information.

Subsection #3 requires that the building be a good example of an architectural style or type of construction recognized as significant in the Historic Context Statement. As previously noted, the Carmel Village Inn employs a mix of Monterey-style vernacular and Tudor-style detailing with Post-Adobe for the exterior wall cladding. The Post-Adobe method of construction was developed by Hugh Comstock; however, he is primarily associated with the Tudor-style fairytale cottages. The Post-Adobe type of construction is not referenced in the Historic Context Statement as a style of architecture important to Carmel's development. Furthermore, this particular structure includes a mix of other styles.

Subsection #4 states that special consideration should be given to properties which display a rare architectural style or type which contributes to the diversity of the community and/or Carmel's unique sense of time and place. The Carmel Village Inn combines the use of Monterey-style vernacular with Tudor-style detailing as a way to reflect the traditions of Carmel during the expansion of commercial development in the post-war era. In staff's opinion, the Carmel Village Inn does not reflect a rare style or type for which special consideration should be given.

Staff recommends that the Carmel Village Inn not be added to the City's Historic Inventory. However, if the HRB chooses to add the Inn to the Historic Inventory, a determination of consistency with the Secretary's standards would also be required for the proposed modifications to the structure. The City does have one Post-Adobe residence that is listed on the Historic Inventory. The DPR 523A Form for this residence is included as Attachment D.

#### ***Secretary of the Interior's Standards***

A Focused Phase II Historic Assessment was prepared by Historic Preservation Consultant, Mr. Kent Seavy to evaluate the proposed exterior modifications to the Carmel Village Inn

(Attachment B). The Secretary of the Interior's Standards for the Treatment of Historic Properties identify four primary treatment approaches to historic buildings: Restoration, Preservation, Reconstruction and Rehabilitation. Mr. Seavy recommends Rehabilitation as the standard of treatment for the proposed project. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations and additions while preserving those portions or features which convey its historical, cultural or architectural values. The standards for rehabilitation are included as Attachment C.

Character defining features of the Carmel Village Inn include, the irregular plan; one and two story height; post-adobe method of construction; Tudor-style hand detailing on the half-timbering on the second floor; wood shake roof covering; and, multi-paned industrial steel fenestration. The proposed changes to the building exterior include,

- 1) Construct a raised, 595 square foot patio along the south elevation of the hotel lobby/office and associated parking lot modifications to accommodate the patio;
- 2) Modify existing balcony and stair railings to meet current Building Code requirements;
- 3) Remove an existing, interior chimney from the south roof plane and replace it with a fiberglass replica;
- 4) Repaint the entire building;
- 5) Replace the roof with wood shake;
- 6) Re-landscape the Ocean Avenue project frontage;
- 7) Install a new railing along the 6<sup>th</sup> Avenue frontage; and,
- 8) Other minor exterior modifications at Rooms 1 and 2.

The proposed modifications would be carried out consistent with the Secretary's Standards for Rehabilitation with the least possible loss of historic material so that the remaining character defining features of the resource would not be obscured, damaged or destroyed. The proposed alterations would be reversible and the new work would not cause a significant change to the building or an adverse effect on the environment.

## **ENVIRONMENTAL REVIEW**

The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. If the HRB determines that the property is not eligible for listing on the Carmel Inventory, the project would not need to be reviewed for consistency with the Secretary of the Interior's Standards. However, if the Board determines the property is eligible for listing, a determination of consistency is required.

The proposed alterations were reviewed by the City's Historic Preservation consultant, Mr. Kent Seavy, and a Phase II Historic Assessment was prepared analyzing the proposed changes based on the Secretary of the Interior's Standards. The analysis concludes that the project, as shown on the project plans stamped received on October 4, 2017, would not cause a significant

change to the building and would not create a significant adverse effect on the environment. Therefore, the project is consistent with the Secretary of the Interior's Standards and no further environmental review is required.

**ATTACHMENTS:**

- Attachment A – DPR 523A Form (Carmel Village Inn)
- Attachment B – Focused Phase II Historic Assessment
- Attachment C – Standards of Rehabilitation
- Attachment D – DPR 523A Form (Post-Adobe residence)
- Attachment E – Project Plans

|   |          |   |          |
|---|----------|---|----------|
| State of California & The Resources Agency<br>DEPARTMENT OF PARKS AND RECREATION<br><b>PRIMARY RECORD</b> |          | Primary #<br>HRI #<br>Trinomial<br>NRHP Status Code 5S3 | Listings |
| Other<br>Review Code  | Reviewer | Date  |          |

Page 1 of 3      \*Resource Name or #: (Assigned by recorder) Carmel Village Inn

P1. Other Identifier: \_\_\_\_\_

\*P2. Location: ☐ Not for Publication ☒ Unrestricted

\*a. County Monterey and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ of \_\_\_\_\_ of Sec \_\_\_\_\_; B.M. \_\_\_\_\_

c. Address Junipero & Ocean City Carmel-by-the-Sea Zip 93921

d. UTM: (Give more than one for large and/or linear resources) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)  
 Blk 68, Lot ALL 5,6,7,8,9,10

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-and-two-story Post Adobe & wood-framed motel, irregular in plan, resting on a concrete foundation. The exterior wall-cladding is Post Adobe on the ground floors and smooth cement stucco on the second floors, with decorative false half-timbering. The low-pitched, stepped hipped roof with slightly overhanging eaves with exposed rafter-tails, faced along street elevations with rain gutters, and otherwise with simple wood facias. The roof overhangs an open balcony that accesses second floor rooms along the south and west elevations, supported on stout wood posts on both the ground and upper floors. The simple, wood balcony rail has slender balusters. Wood flower boxes are appended along its base at the second floor. There are two adobe brick chimneys present. A massive exterior eave wall type on the south end of the one-story office wing and the second, an interior type, to its rear on the south side of the second-story unit towards the NW. Both have flared masonry caps.

\*P3b. Resource Attributes: (List attributes and codes) Motel (HP5)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



\*P4. Resources Present: ☒ Building

☐ Structure ☐ Object ☐ Site ☐ District

☐ Element of District ☐ Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #)

Looking north from Ocean Ave.-Google Earth

\*P6. Date Constructed/Age and Source:  
 1954-Carmel building permits

☒ Historic ☐ Prehistoric ☐ Both

\*P7. Owner and Address:

CVI Investors LLC  
 3020 Carbon Pl., Ste. 203, Boulder, CO, 80301

\*P8. Recorded by: (Name, affiliation, and address)

Kent L. Seavey  
 310 Lighthouse Ave., Pacific Grove, CA 93950

\*P9. Date Recorded: 9/16/2017

\*P10. Survey Type: (Describe)

Intensive-CEQA required review

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.")  
 None

\*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record  
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record  
☐ Artifact Record ☐ Photograph Record ☐ Other (List): \_\_\_\_\_



State of California ♦ The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION HRI#  
**BUILDING, STRUCTURE, AND OBJECT RECORD**

\*Resource Name or # (Assigned by recorder) Carmel Village Inn \*NRHP Status Code 5S3  
Page 2 of 3

B1. Historic Name: Carmel Village inn B2. Common Name: \_\_\_\_\_  
B3. Original Use: Motel  
B4. Present Use: Motel \*B5. Architectural Style: Post-Adobe W/Tudor Revival detailing  
\*B6. Construction History: (Construction date, alterations, and date of alterations)  
Constructed, 1954 (CBP #2597)); added 9 rooms; 1955 (CBR); added 2 rooms (PCR 237); 1957 (CBP #3073).

\*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_  
\*B8. Related Features:

B9a. Architect: James B. Pruitt b. Builder: Comstock Associates  
\*B10. Significance: Theme Economic Development (1846-1965) Area Carmel-by-the-Sea  
Period of Significance 1954-1957 Property Type Motel (HP5) Applicable Criteria CR 3 (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The subject property is significant under California Register criterion 3, in the area of architecture, at the local level of significance, as an excellent example of the commercial Post-Adobe design from the building firm of Comstock Associates, and by their architect, James B. Pruitt.

Comstock Associates was formed as a corporation in 1950, after the death of Hugh White Comstock (1893-1950). Comstock, who began in the building trade in 1924 with his Storybook cottages, set a pattern which others later followed in building design in Carmel. He later developed the Post-Adobe method of construction and copyrighted that designation in 1948. At the time of Comstock's passing, James Pruitt was the company architect and Edward Neroda was its engineer.

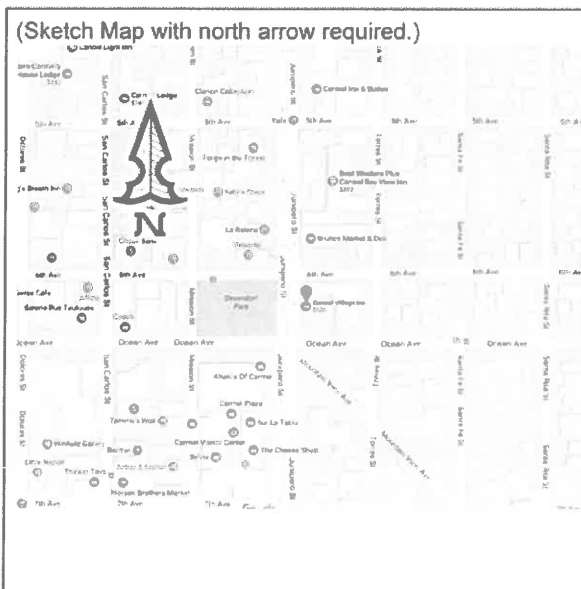
B11. Additional Resource Attributes: (List attributes and codes) \_\_\_\_\_

\*B12. References:  
Carmel building records, Carmel Planning & Building Dept., City Hall, Carmel.  
Carmel-by-the-Sea Historic Context Statement, ARG Inc.:San Francisco, 2008.

B13. Remarks:  
Zoning RC

\*B14. Evaluator: Kent Seavey  
\*Date of Evaluation: 9/16/2017

(This space reserved for official comments.)



## CONTINUATION SHEET

Property Name: Carmel Village Inn

Page 3 of 3

P3 (cont.) All roof covering is in wood shakes. Fenestration is primarily multi-paned industrial steel windows, either fixed, casement type and tripartite, fronting the rooms. Entry doors are generally vertically-planked wood with a rough, circular-sawn surface. The two-story wings encompass the asphalt parking area. The parking lot is partially enframed by well kept informal garden of drought resistant plants and shrubbery along Ocean Avenue. The Inn is sited at the NE corner of Ocean and Junipero Avenues directly across from Devendorf Park, at the entrance to downtown Carmel-by-the-Sea. Character-defining features are its irregular plan; one-and two-story height; Post-Adobe method of construction; Tudor Style hand-detailing on the wood half-timbering of the second floor; wood shake roof covering and Multi-paned industrial Steel fenestration.

B10 (cont.) James B. Pruitt (1912-1986) was a native of Detroit, Michigan. He studied at the Pennsylvania State University of Architecture, receiving his degree in architecture in 1936. After service in the U.S. Navy from 1941-1945, he came to Carmel and found work for noted Carmel master builder, Hugh Comstock. At Comstock's demise in 1950, Pruitt took charge of the firm and continued in the business until his passing in 1986. Comstock Associates designed and constructed over 120 homes and commercial buildings on the Monterey Peninsula, including at least 10 hotels/motels, including the Carmel Village Inn. As noted in the 2008 Carmel Historic Context Statement, "in the immediate post-war era there had been a pronounced expansion of commercial development in Carmel, predicated in part by a rapid expansion of new residents and tourists, both seeking to experience "Carmel's world-renowned quaintness, the characteristic that has distinguished the village throughout its history", Older Carmelites resented the newcomers, many of whom saw the village as a money maker. Of particular concern was the real possibility of adverse change affecting Carmel's architectural traditions. The native Carmelites resisted the influx of visitors, but took particular aim at evolving architectural styles that were not in keeping with the villages' more vernacular and storybook styles, often attributed to the early cottage designs of Hugh Comstock.

The Carmel Village Inn was designed and constructed in the context of this period of aesthetic unrest between the known and the new. It is interesting to note, that the Inn is located on the same site that held Carmel's first caravansary, Hotel Carmelo, built in the 1888, and that the new motel was being developed less than a block away from several of Hugh Comstock's earliest storybook cottages. Comstock Associates recognized the need to respectfully reflect Carmel's architectural traditions in the new motel. Wisely, they planned the building envelope in such a manner as to provide the widest possible view of Devendorf Park for visitors approaching the village down Ocean Avenue, as well as their guests. They successfully employed a mix of Monterey Style vernacular and Tudor Style detailing, in the running balconies, and decorative half-timbering, to break up the two-story building mass. The use of Post-Adobe, a method of construction locally developed by Hugh Comstock himself, clearly established the new design as an appropriate aesthetic component of Carmel-by-the-Sea.

The Post-Adobe method of construction was developed in the late 1930s and early 1940s by Comstock as simplified adobe construction, employing a rugged timber frame and Modern waterproof adobe bricks. The building method, according to Comstock, was "as old as the hills", alluding to medieval timber-framing with nogging. The difference being the use of stabilized adobe for the nogging, creating a single course wall impervious to moisture with excellent insulating properties. The Redwood posts set on a concrete foundation, were held in place by steel anchor pins. Wiring ran in grooves cut into the posts behind door or window stops. The windows themselves were industrial steel sash. Upper floors were constructed with standard wood framing. The false half-timbering on the upper floor of the Carmel Village Inn articulates the stuccoed surface, and has simple hand carved detailing along its edges to suggest age. This was a feature of almost all of the early Comstock cottages.

The Carmel Village Inn, unlike many of Carmel's more modern hotels and motels, has not undergone exterior remodeling over time. Its original design by Jim Pruitt of the Comstock Associates continues to express its direct association with the Carmel's historic architectural traditions, particularly with the aesthetic contributions of Hugh Comstock, who helped define Carmel's visual character in the 1920s.

Consistent with the 2008 Carmel Historic Context Statement's theme of Architectural Development (1888-1965), the Inn's architectural integrity remains basically intact, and its design by James B. Pruitt, of Comstock Associates, is an excellent example of the work of an important local architectural firm consciously attempting to continue a tradition of quality construction and design innovation associated with Carmel's architectural traditions. The Carmel Village Inn evokes a strong sense of time and place and of feeling and association with the village's building traditions of eclecticism and individual creativity, during a difficult period of aesthetic and economic transition. The subject property clearly qualifies for listing in the Carmel Historic Resource Inventory at the local level of significance. Its period of significance is 1954-1957.

B12 (cont). Comstock, Hugh, "Post-Adobe" Simplified Adobe Construction, self published, 1948.  
Pruitt, James B., Monterey Area Architectural Resources Archive (MAARA), Monterey.

KENT L. SEAVEY  
310 LIGHTHOUSE AVENUE  
PACIFIC GROVE, CALIFORNIA 93950  
(831) 375-8739

September 27, 2017

Mr. Marc Weiner/Planning Director  
Carmel Planning & Building Dept.  
City of Carmel-by-the-Sea  
P.O. Drawer G  
Carmel, CA 93921

Dear Mr. Weiner:

**Introduction:**

This Focused Phase II Historic Assessment has been prepared on behalf of CVI Investors, LLC, as part of an application for additions and alterations to a one-and-two-story commercial Motel, the Carmel Village Inn. The subject property is located at the SE cr. of Junipero St. and Ocean Ave. (APN# 010-094-002), in Carmel (see photos, plans & drawings provided).

**Historical Background & Description:**

The subject property is an altered 1954 one-and-two story, Post-Adobe wood-framed 34 room motel, constructed between 1954 and 1957 for then owner, Mr. Kenneth Brown. It was designed and constructed by Comstock Associates, with James B. Pruitt as architect. The motel was constructed in the post-war period of pronounced expansion of commercial development in Carmel. Older Carmelites resented the new development with particular concern for the real possibility of adverse change affecting Carmel's architectural traditions. Native Carmelites took particular aim at evolving architectural styles that were not in keeping with the villages' more vernacular and storybook styles, often attributed to the early cottage designs of Hugh Comstock. Comstock Associates recognized the need to respectfully reflect Carmel's architectural traditions in the new motel. They successfully employed a mix of Monterey Style vernacular and Tudor Style detailing, in the running balconies, and decorative half-timbering, to break up the two-story building mass.

The use of Post-Adobe, a method of construction locally developed by Hugh Comstock himself, clearly established the new design as an appropriate aesthetic component of Carmel-by-the-Sea. It is sited on the location of Carmel's first caravansary, the 1888 Carmelo Hotel. All subsequent additions were consistent with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, under the Standards for Rehabilitation. The property falls under the theme of Architectural Development in Carmel (1888-1965), established in the 2008 Carmel Historic Context Statement. Its period of significance is 1954 to 1957 (see California DPR 523 documentation provided).

Character-defining features of the Carmel Village Inn include its irregular plan; one-and-two-story height; Post-Adobe method of construction; low-pitched wood shake roof covering; two large adobe brick chimneys on the the west side-elevation. Monterey Style balcony railings; Tudor Style hand-detailing on the wood half-timbering on the upper floor, and multi-paned industrial steel fenestration.

### **Evaluation for Significance**

The owners propose to, (1) add a raised, open patio space off the south end of the one-story office/lobby space. (2) Remove/replace an existing interior chimney stack on the south roof plane of the second floor, on the west side-elevation, as interior fireplaces are being converted to bathroom space. The character-defining chimney stack will be replicated in a fiberglass casting and replaced in its original location. (3) Extend/configure steps to wall and extend platform to provide patio space for Room #1, near sixth Ave. on the west side-elevation. (4) Remove door, stair & railing near cr. of Sixth Ave. for interior alterations, and security. (5) Modify/remove some retaining walls and fence sections around the building envelope to enhance safety, and provide for parking lost to the patio addition. (6) Possible modification to exterior balcony and Stair rails for code compliance. (7) Reroof with cedar shake shingles.

The California Environmental Quality Act (CEQA), PRC Sec.21084.1 requires all properties fifty years of age or older to be reviewed for potential historic significance. Criteria for that significance is addressed in PRC Sec. 5024.1(a). It asks, did any event important to the region, state or nation occur on the property ?

Did anyone important to the region, state or nation occupy the property during the productive period of their lives ? Does the building represent an important architectural type, period or method of construction, or is it a good example of the work of a noted architect or master-builder ? The criteria also asks if the property is likely to yield information significant to the understanding of the areas history.

Eligibility for historic listing of buildings, structures, objects, sites and districts, i.e., rests on the twin factors of historic significance and integrity to be considered for listing in the National Register of Historic Places, the California Register of Historical Resources, and the Monterey County Historic Resource Inventory. Loss of integrity, if sufficiently great, will overwhelm the historic significance a resource may possess and render it ineligible for historic listing. Likewise, a resource can have complete integrity, but if it lacks significance, it must also be considered ineligible.

Integrity is measured by the application of seven aspects, defined by the National Register Criteria for Evaluation. They include: Location, the place where the historic property was constructed, or an historic event occurred; Design, the combination of elements that create the form, plan, space, structure, and style of a building; Setting, the physical environment of the historic property; Materials, the physical elements that were combined during a particular period of time and a particular pattern or configuration to form a historic property; Workmanship, the physical evidence of the crafts of a particular culture or people during any given period in history; Feeling & Association are subjective elements that assess a resources ability to evoke a sense of time and place.

The subject property retains its original location and setting. Its 1954-57 design is essentially intact, as is its materials and quality of workmanship through the Comstock Associates. The property continues to evoke a strong sense of time and place and of feeling and association with Carmel's historic architectural traditions through architect James Pruitt's new design, as an appropriate aesthetic component of Carmel-by-the-Sea.

All proposed new work will be undertaken in conformance with the *The Secretary of the Interior's Standards for the Treatment of Historic Properties, under the Standard for Rehabilitation.*

*The Secretary of the Interiors Standards for the Treatment of Historic Properties* Identify four primary treatment approaches to historic buildings. They are Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation would be the recommended standard of treatment for the subject property, Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The Secretary's Standards encourages "placing a new addition on a non-character-defining elevation." and locating alterations to historic properties in areas where previous alterations already exist. The 1992 National Park Service *Illustrated Guidelines for Rehabilitating Historic Buildings*, states that "The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility."

As noted above, the Standards recommend new additions be placed on secondary elevations, and where alteration has already occurred. In this instance the proposed additions are on altered primary, and secondary elevations. The new additions are designed and will be constructed so that the character-defining features of the historic building are not radically changed. The proposed additions are generally on inconspicuous areas of the historic building envelope, and limited in size and scale in relationship to the historic building.

The proposed new work will be differentiated from the old in a manner that makes clear what is historic and what is new. As proposed, the wood-shingled exterior wall-cladding will be slightly modified in some locations, and window muntin changes will be introduced in the new fenestration. The new elements will reflect the existing historic building fabric for continuity of design. the work will be compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. This is consistent with Rehabilitation Standard #2 and #5. If removed in future, the essential form and integrity of the historic residence will be unimpaired, consistent with Standards #9 and #10.

### **Impacts of the Proposed Project:**

The owners have proposed the following additions for contemporary usage.

## WEST (FRONT) ELEVATION (primary, altered)

Replace existing raised masonry planting bed at south end of lobby with a raised, slump stone based, open patio with open metal railings. This feature will be accessed from an extension of the existing walkway fronting the lobby. A small planter near the lobby entry will be removed (see photos, plans and drawings provided).

The proposed design is consistent with those recommended in the Secretary's Standards for Rehabilitation so that there is the least possible loss of historic material to assure that the character-defining features of the historic building are not radically changed, and that the new construction is compatible with the site, preserving the historic relationship between building, landscape features and open space.

The proposed open black metal railing will not obscure the historic appearance of this elevation. If the addition is removed in future, the essential form and integrity of the historic property and its environment would be unimpaired, consistent with Rehabilitation Standard #10 (see copy of Rehabilitation Standards provided).

Near the NW corner of the ground floor, remove one door and patch wall to match existing wall-cladding. Extend/configure steps to wall. Extend existing platform to provide patio deck for Room #1. This is a minor change that allows making possible an efficient contemporary use through repair and alteration, while preserving those portions and features of the motel property which are significant to its historic, architectural and cultural values. The modification is consistent with Rehabilitation Standards 5, 9 & 10.

Removal of the interior chimney from the south roof plane, as part of the interior removal of two fireplaces, to provide needed bathroom space. It is recommended that the proponents replicate the chimney stack in cast fiberglass, or another suitable material, and retain it in place, as it is a character-defining feature of the motel.

## NORTH SIDE-ELEVATION (secondary, altered)

Remove existing door, stairs and wood railing from unit closest to 6<sup>th</sup> Ave., and patch wall to match existing wall-cladding. This is part of an interior remodel, as well as for reasons of security. Add simple steel railing along this elevation for safety and security.

These changes will not substantially alter the historic appearance of the property, nor will they cause a substantial adverse effect on the environment.

#### EAST (OFFICE & REAR) ELEVATION (secondary)

The only alteration proposed for both the rear (east) elevation, and one-story office facade, on the west side of the motel, is to remove the door just north of the lobby entry, as part of an interior office remodel, and patch and repair the wall to match the adjacent wall-cladding. A new door and small window are proposed for the bay immediately north of this closure, thus making possible an efficient contemporary use through repair and alteration, while preserving those portions and features of the motel property which are significant to its historic, architectural and cultural values. The modification is consistent with Rehabilitation Standards 5, 9 & 10. As noted above, the changes will not substantially alter the historic appearance of the historic property, nor will they cause a substantial adverse effect on the environment.

#### SOUTH SIDE-ELEVATION (primary).

There is a possible requirement for modification to the exterior balcony and Stair rails for code compliance. This would include the addition of a top rail to the balconies, with vertical metal rods between the existing rail balusters. These unsympathetic alterations might be avoided by applying the California State Historic Building Code as the mandated code for this project.

Other minor code related exterior changes to the site, addressing health and safety, are not covered in this assessment.

The proposed work will be in adherence to the Secretary of the Interior's edict encouraging locating alterations and additions to the historic property in areas where previous changes already exist. the proposed work shall reuse, to the extent feasible, any available historic building material, and where necessary match required replacement features, in kind, or with an approved substitute material.. The new work will be clearly differentiated from the old, but compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. If removed in future, the essential form and integrity of the historic resource and its environment will be unimpaired.



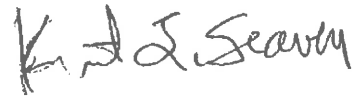
**Conclusion:**

The proposed work on the subject property will be executed consistent with the Secretary's Standards for Rehabilitation, with the least possible loss of historic material so that the remaining character-defining features of the resource will not be obscured, damaged or destroyed. The proposed alterations are reversible. As proposed the new work will not cause a significant change to the listed historic building and will not create a significant adverse effect on the environment.

**Mitigation:**

The proposed project is in conformance with the *Secretary of The Interiors Standards for the Treatment of Historic Properties* under the *Standard for Rehabilitation*. (see documentation, photos and plans & drawings provided). No mitigation is needed for this project.

Respectfully Submitted,

A handwritten signature in dark ink, appearing to read "K. J. Seavoy". The signature is written in a cursive, somewhat stylized script.

## Carmel Village Inn-Carmel

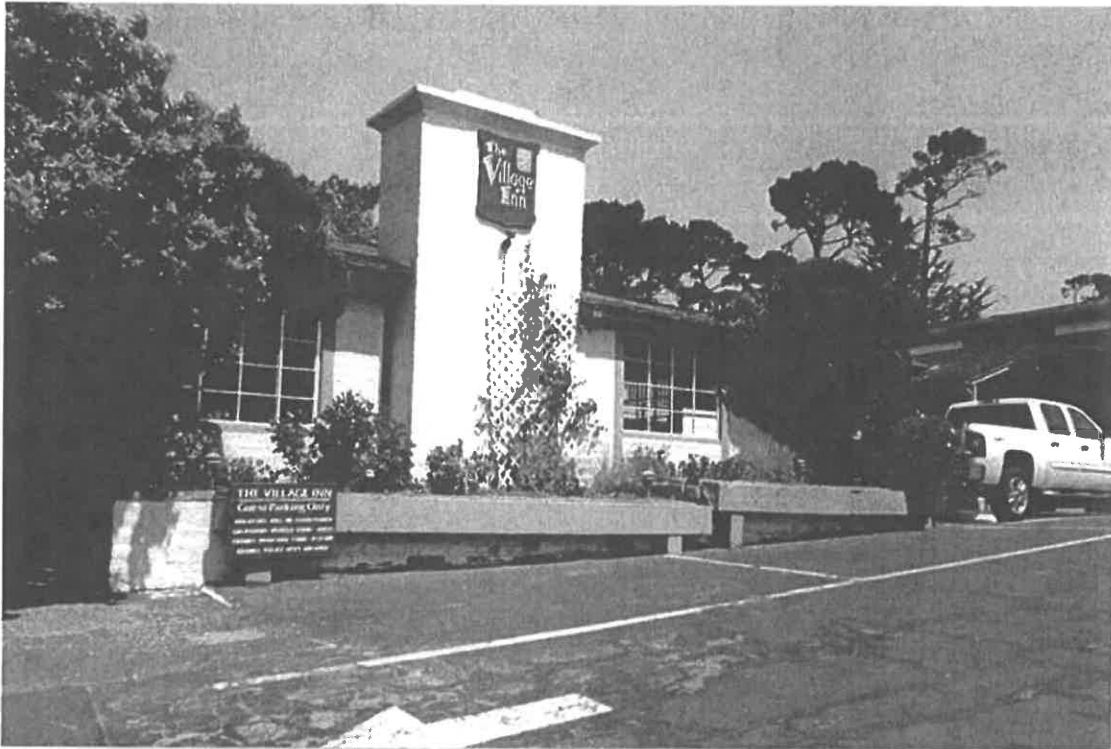


Photo #1, Looking NE at the south facing motel lobby, site of the proposed open patio, Kent Seavey, September, 2017.



Photo #2, Looking NW at the Motel Lobby & second-floor chimney stack, proposed for replication, Kent Seavey, Sept., 2017.



Photo #3, Looking SE at the NW cr. of Junipero & 6<sup>th</sup>, location for proposed deck extension, Kent Seavey, September, 2017.

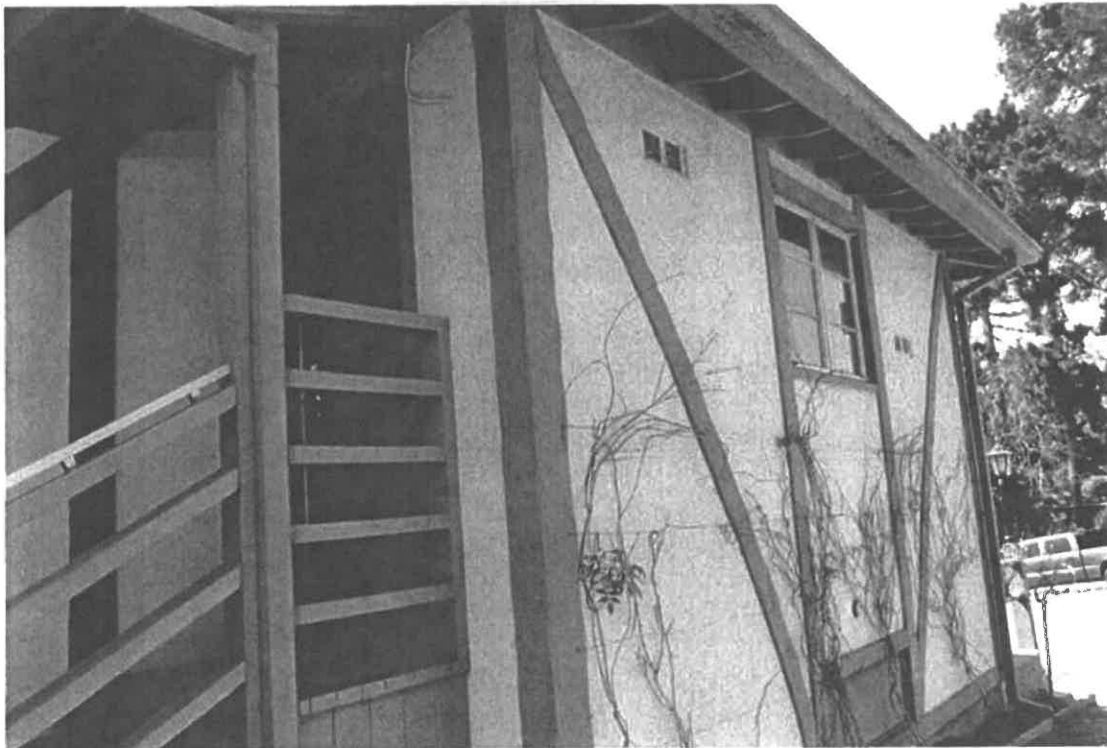


Photo #4, Looking SW at the stair, steps & door proposed for in fill, as part of interior room remodel, Kent Seavey, Sept., 2017.

## **SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION**

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**
- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.**
- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.**
- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.**
- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**
- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**
- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**
- 10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

## PRIMARY RECORD

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

NRHP Status Code \_\_\_\_\_

552

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_

Reviewer \_\_\_\_\_

Date \_\_\_\_\_

Page 1 of 3

Resource Name or #: (Assigned by recorder) *L.L. Spillers Guest Cottage*

P1. Other Identifier: \_\_\_\_\_

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Monterey*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad \_\_\_\_\_

Date \_\_\_\_\_

T \_\_\_\_\_

; R \_\_\_\_\_

1/4 of \_\_\_\_\_

1/4 of Sec \_\_\_\_\_

B.M. \_\_\_\_\_

c. Address: \_\_\_\_\_

City *Carmel by-the-Sea*Zip *93921*

d. UTM: (Give more than one for large and/linear resources) \_\_\_\_\_

mE/ \_\_\_\_\_

mN \_\_\_\_\_

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

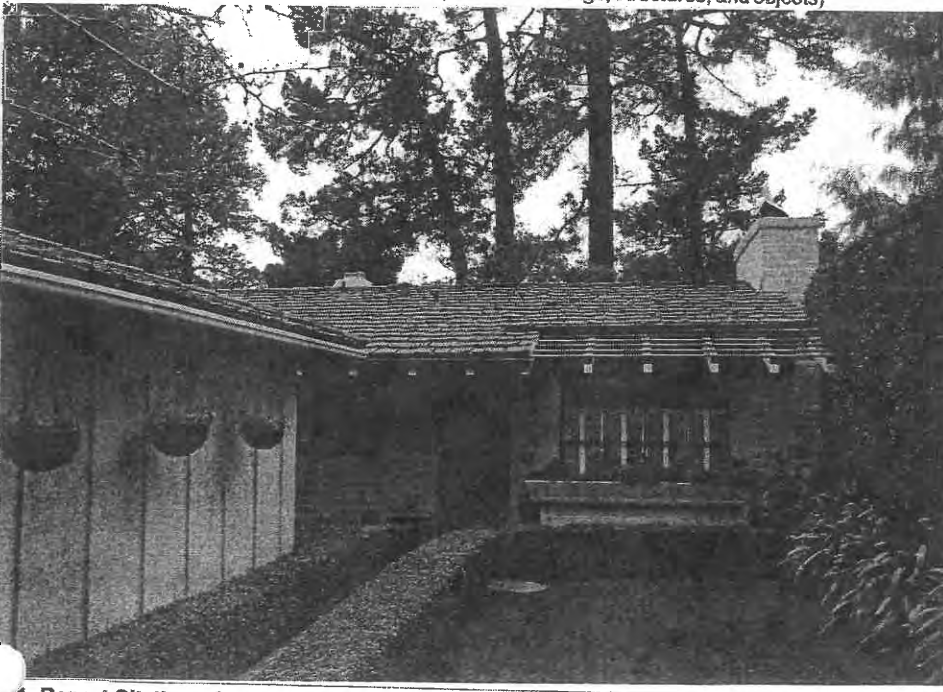
*4 SW of 3rd, W side Carpenter (Blk 41 Lot 9)*Parcel No. *010-023-004*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-story, Post-Adobe residence, rectangular in plan, resting on a concrete foundation. The exterior wall cladding is Post-Adobe. The low-pitched gable roof has wide, overhanging eaves, with exposed rafter tails. A partial-width section of the roof plane on the north side of the front (east) elevation uses exposed purlins as a brise-soleil. Two angled bays set under shed-roofs project west from either end of the residence on the rear (west) elevation. There are two chimneys present. An exterior end wall type, of adobe brick is centered in the gable end of the north side-elevation. The second, an interior type, of brick, is found near the edge of the roof plane, at the inside ell formed by the projecting bay to the south along the west (rear) elevation. The roof is covered in wood shake. Fenestration includes large fixed and casement type multi-paned wood windows. The entry, centered on the east elevation has a natural, vertically-grained flush solid core wood door. As originally designed by William Cranston in 1951, the building had the principal focal window on the east elevation to the south. However, notes on the original plans in the Carmel building files clearly state that the footprint was to be reversed, moving the focal window to the north. Other window changes on the front elevation occurred at the time of construction. There is no record of any other exterior changes to the building. There is a wooden flower box at the base of the main front window, and a brick flower box at the base of the main rear window.

3b. Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession#)  
*Looking SW at the east facing facade, 2/15/04, #48482-3*

P6. Date Constructed/Age and Sources

☐ Prehistoric ☒ Historic ☐ Both*1951 Carmel bldg. records*

P7. Owner and Address

*Shirley Crist  
P.O. Box 1831  
Carmel, CA 93921*

P8. Recorded by: (Name, affiliation, and address)

*Kent L. Seavey  
Preservation Consultant  
310 Lighthouse Ave.  
Pacific Grove, CA 93950*

P9. Date Recorded: *2/16/2004*

P10. Survey Type: (Describe)

*Intensive-Carmel Historic resource inventory-ongoing*

1. Report Citation: (Cite survey report and other sources, or enter "none")

*ne*

## Attachments

☐ NONE☐ Location Map☐ Sketch Map☒ Continuation Sheet☒ Building, Structure, and Object Record☐ Archaeological Record☐ District Record☐ Linear Feature Record☐ Milling Station Record☐ Rock Art Record☐ Artifact Record☐ Photograph Record☐ Other: (List)

**BUILDING, STRUCTURE, AND OBJECT RECORD**

HRI #

Primary #

a 2 of

NRHP Status Code

Resource Name or #: (Assigned by recorder) *L.L. Spillers Guest Cottage*

B1. Historic Name: *L.L. Spillers Guest Cottage*

B2. Common Name: *"Toy House"*

B3. Original Use: *residence*

B4. Present Use: *residence*

B5. Architectural Style: *Post-Adobe*

B6. Construction History: (Construction date, alterations, and date of alterations)

*Constructed 1951 (CBP# 2205); interior remodel 1982 & 1995 (CBP# 95-74); re-roofed w/wood shake 2003 (CBP# 03-103)*

B7. Moved? ☐ No ☐ Yes ☐ Unknown Date:

Original Location:

B8. Related Features: *detached one-story board-on-board wood-framed two-car garage w/hipped roof 1957 (CBP# 3135)*

B9a. Architect: *William L. Cranston*

b. Builder: *Ralph L. Stean*

B10. Significance: Theme: *Architectural Development*

Area: *Carmel by-the-Sea*

Period of Significance: *1951*

Property Type: *single family residence*

Applicable Criteria: *CR 3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

The L.L. Spillers Guest Cottage is significant under California Register criterion 3, in the area of architecture, as a good example of the residential design of noted Carmel architect William L. Cranston, and the building skills of contractor Ralph Stean. It is also significant as a good example of Post-Adobe construction, a local method of construction developed in Carmel in the late 1930s by village master-craftsman Hugh Comstock.

The Post-Adobe method of construction developed by Hugh Comstock in Carmel has historical precedents in building types from the Spanish/Mexican and early American eras, combining the masonry tradition of Southern Europe with the timber-framing methods of early American building. The adobe brick, stabilized with bituminous material for waterproofing, acted as a nogging for the horizontal and vertical timber structural supports, which were pre-routed to carry electrical and water lines. In 1948, after much experimentation Hugh Comstock published a "how-to" book on the subject, simply called *Post-Adobe*, which was widely circulated. The building method has been used by architects, contractors, and owner-builders up to the present time for hundreds of Post-Adobe residences, commercial buildings and utilitarian structures constructed in the region. The Spillers Guest Cottage is one of the few intact architect designed examples found in the Carmel.

William L. Cranston (1918-1986) was born in Manila, The Philippines, and educated in the United States, where he attended Princeton University taking a degree in architecture. Following service in WWII, Cranston came to Carmel and began designing spec. houses for local developer Frank Lloyd. In 1948 he entered into partnership with another of Lloyd's spec. designers, Thomas S. Elston. The firm of Elston & Cranston was a major contributor to the architectural development of the Carmel area from the late 1940s to 1980, when Cranston moved to Santa Rosa. Both men were modernists, whose residential work tended to reflect the Bay Area regionalist styles popular at the time.

B11. Additional Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*

**B12. References:**

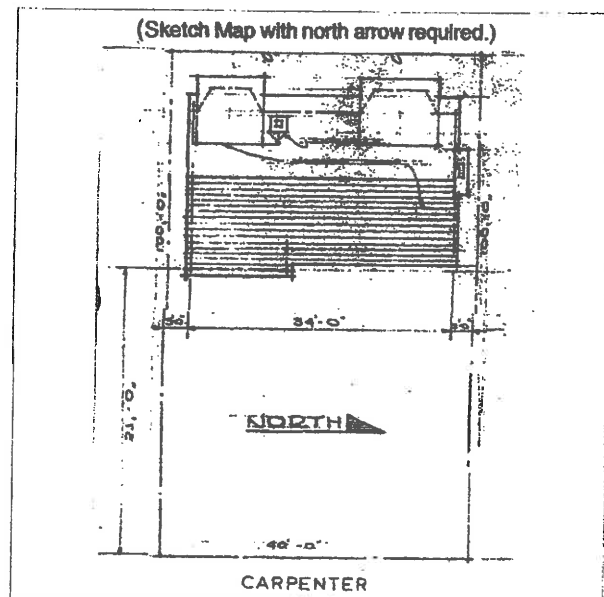
Carmel bldg. records, Carmel Planning Dept., City Hall, Carmel  
Carmel Historic Context Statement 1997  
Comstock, Hugh, *Post-Adobe*, Hugh W. Comstock: Carmel, 1948  
*Monterey Daily Herald* 6/24/86 Obit. Wm. L. Cranston  
Stean, R., undated biographical notes prepared by Mr. Stean, 2004

B13. Remarks: *Zoning R-1  
CHCS (AD)*

B14. Evaluator: *Kent L. Seavey*

Date of Evaluation: *9/7/2004*

(This space reserved for official comments.)



CONTINUATION SHEET

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

Page 3 of 3 Resource Name or #: (Assigned by recorder) L.L. Spillers Guest Cottage

Recorded by: Kent L. Seavey

Date 2/16/2004

☒ Continuation ☐ Update

P3. A wood-framed, board-on-board two-car garage, square in plan with a hipped, wood shake roof was placed in front of the cottage, toward the south, in 1957. That feature remains unaltered. The residence sits back from Carpenter Street behind a high wood fence in a well maintained garden setting of grassed lawn and trimmed hedges. There is a more informal garden setting to the rear (west) of the house. It is located in a wooded residential neighborhood of one and two-story homes, of varying ages and sizes, along one of Carmel's principal surface roads, Carpenter Street.

B10. Cranston once served as President of the Monterey Bay Chapter of the American Institute of Architects, and was a member of the Carmel Valley Master Plan committee. He and Elston were responsible for numerous school designs in the area, including the Carmel Middle School for which they won a Northern California AIA Merit Award in 1963. The clean lines, compact and functional arrangement of spaces in the Spillers Guest Cottage are typical of Cranston's best residential work in the Post-War era.

Ralph L. Stean (1918- ) the contractor, was a native of Worcester, MA. He was educated in Detroit, Michigan, where he apprenticed with a German engineer, learning the building trade and the nature of materials. Upon completion of his studies Stean worked for his mentor for about two years, when he was asked by the large Detroit building firm, Seyborn & Schulman to head their construction department in 1937. Building early FHA housing tracts, Stean completed 600 homes in a little over three years for the firm. Active service in WWII interrupted the young builders career. In 1945 Ralph Stean came to Carmel as manager of Hugh Comstock's lumberyard. Stean became interested in adobe construction and eventually purchased Comstock's Carmel Valley adobe yard. He was a well known adobe builder throughout the Monterey Peninsula, and participated in several historic adobe restorations. Stean worked with a number of area architects and designers. His own work includes the innovative gull-winged Hofsas residence on Dolores between 3rd & 4th Aves., and several Post-Adobe houses. Ralph Stean was also active in civic affairs. He helped Dr. Kandlebinder establish the Community Hospital of the Monterey peninsula, was a founder of Monterey's Pacheco Club, and helped form both the Carmel Valley Fire Department and the Carmel Valley School.

The Spillers Guest Cottage is an excellent example of post-WWII building design in Carmel. Architect William Cranston and builder Ralph Stean represent a new generation of designers and contractors entering the Carmel building market in the mid-1940s, employing local materials ( adobe) to create new building forms that respectfully reflected Carmel's earlier building traditions of; a taste for simplicity which transcends the divisions of time and architectural fashion; and through attention to detail and an emphasis on fine craftsmanship. The Spillers Cottage continues the theme of architectural development, established in the 1997 Carmel Historic Context Statement, in that it contributes to the understanding of the overall design character of the community.



# CARMEL VILLAGE INN

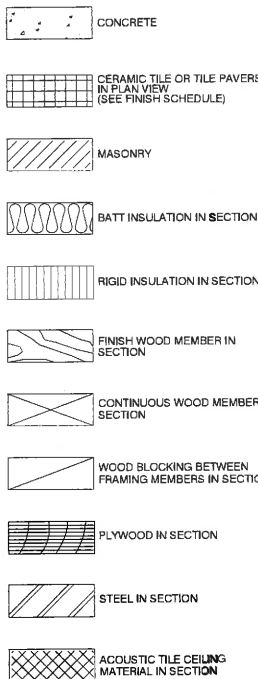
## CARMEL-BY-THE-SEA CALIFORNIA

Project / Owner:

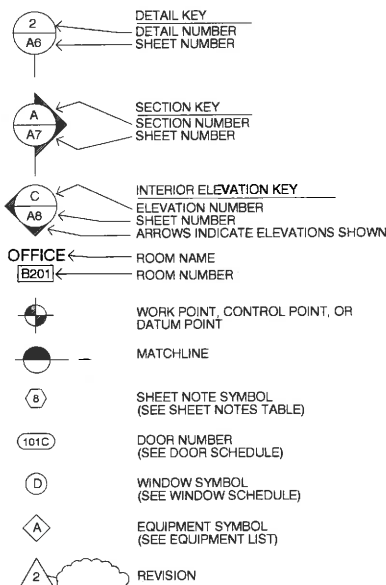
### CARMEL VILLAGE INN

NE CORNER OF OCEAN AVE & JUNIPERO ST.  
CARMEL-BY-THE-SEA CA 93921

#### MATERIALS



#### SYMBOLS



#### ABBREVIATIONS

|        |                                 |      |             |      |               |
|--------|---------------------------------|------|-------------|------|---------------|
| A.B.   | ANCHOR BOLT                     | F.L. | FLOOR (ING) | P.L. | PROPERTY LINE |
| A.C.   | ACRYLONITRILE BUTADIENE STYRENE | F.L. | FLOOR (ING) | P.L. | PROPERTY LINE |
| A.C.T. | ACRYLONITRILE BUTADIENE STYRENE | F.L. | FLOOR (ING) | P.L. | PROPERTY LINE |
| A.C.   | ACRYLONITRILE BUTADIENE STYRENE | F.L. | FLOOR (ING) | P.L. | PROPERTY LINE |
| A.C.   | ACRYLONITRILE BUTADIENE STYRENE | F.L. | FLOOR (ING) | P.L. | PROPERTY LINE |
| A.C.   | ACRYLONITRILE BUTADIENE STYRENE | F.L. | FLOOR (ING) | P.L. | PROPERTY LINE |
| A.C.   | ACRYLONITRILE BUTADIENE STYRENE | F.L. | FLOOR (ING) | P.L. | PROPERTY LINE |
| A.C.   | ACRYLONITRILE BUTADIENE STYRENE | F.L. | FLOOR (ING) | P.L. | PROPERTY LINE |
| A.C.   | ACRYLONITRILE BUTADIENE STYRENE | F.L. | FLOOR (ING) | P.L. | PROPERTY LINE |
| A.C.   | ACRYLONITRILE BUTADIENE STYRENE | F.L. | FLOOR (ING) | P.L. | PROPERTY LINE |

#### CODE ANALYSIS

APPLICABLE CODES:

2016 Building Standards Administrative Code, Part 1, CBCS

2016 California Building Code (CBC) Part 2, CBCS (2006 IBC & California Amendments)

2016 California Electrical Code (CEC) Part 3, CBCS (2005 NEC & California Amendments)

2016 California Mechanical Code (CMC) Part 4, CBCS (2006 UMC & California Amendments)

2016 California Plumbing Code (CPC) Part 5, CBCS (2006 UPC & California Amendments)

2016 California Fire Code, Part 6, CBCS (2006 IFC & California Amendments)

2016 California Energy Code, Part 7, CBCS (2006 UEC & California Amendments)

2016 California Reference Standards, Part 12, CBCS

Title 19 C.C.R., Public Safety, SFM Regulations

2013 ADA Standards for Accessible Design

NFPA 13, Automatic Sprinkler System, 2013 edition

NFPA 72, Nat'l Fire Alarm Code, (Ca. Amended) 2013 Edition (See UL Standard 1971 for "Visual Devices")

2017 Carmel Municipal Code (CMC)

#### GENERAL PROJECT NOTES

- All work shall comply with the applicable sections of the 2016 edition of the California Building Code, Plumbing Code, Mechanical Code, Uniform Fire Code, Electrical Code, and of Title 24 of the State of California and the requirements of the City of Monterey.
- Dimensions shall take precedence over scale at all times and large-scale details shall take precedence over smaller scale details. The Contractor shall verify all details and dimensions and shall be held responsible for the correctness of same.
- All staging, scaffolding, etc shall be designed, furnished, erected, maintained, and dismantled in conformance with all applicable Code Requirements and regulations by the General Contractor. The Contractor shall be solely responsible for all bracing required during construction. The Contractor shall not store construction materials or operate equipment in a manner such that the design live loads are exceeded. No construction equipment shall be stored on overhanging framing.
- Contractor to provide all blocking or support framing required for mechanical, electrical equipment, accessories and trim, equipment, etc.
- Extra exit signs may be required during final inspections. The location and quantity of exit signs may be altered during final inspections.

#### PROJECT INFORMATION

LOCATION: NE CORNER OF OCEAN AVE. & JUNIPERO STREET  
CARMEL-BY-THE-SEA, CA 93921

APN: 010-123-014

ZONING: RC

OCCUPANCY: R-1

DESCRIPTION OF WORK:

- RENOVATION OF EXISTING PARKING AREA & LANDSCAPING
- NEW PATIO & FRENCH DOOR AT PARLOR
- NEW ENTRY TO EXISTING HOTEL ROOM
- PROVIDE MODIFICATIONS TO EXISTING RAILING TO BE CODE COMPLIANT
- PAINT EXISTING BUILDING & UNIT DOORS
- MODIFY EXISTING STEPS & REPAIR FENCE

#### PROJECT DIRECTORY

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### THE PAUL DAVIS PARTNERSHIP

#### ARCHITECTS & PLANNERS

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Drawn By: ML

Drawing Date: 5/22/17

Project Number: 1717

Revisions:

07.28.17 Planning Re-submittal

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Sheet Title:

### PROJECT INFORMATION

Sheet Number:

## A0.1



# CARMEL VILLAGE INN

CARMEL-BY-THE-SEA CALIFORNIA

CARMEL  
VILLAGE INN

NE CORNER OF OCEAN AVE &  
JUNIPERO ST.  
CARMEL-BY-THE-SEA CA. 93923

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NUMBER</div></div><div><div>FT</div><div>FOOT</div></div><div><div>FTG</div><div>FOOTING</div></div><div><div>FTG</div><div>FURRED (NO)</div></div><div><div>A.B.</div><div>ANCHOR BOLT</div></div><div><div>A.B.S.</div><div>ACRYLONITRILE BUTADIENE<br/>STYRENE</div></div><div><div>A.C.</div><div>ASPHALTIC CONCRETE</div></div><div><div>A.C.T.</div><div>ACROUSTICAL CEILING TILE</div></div><div><div>A.C.</div><div>AIR CONDITIONING</div></div><div><div>ACOUS.</div><div>ACOUSTICAL</div></div><div><div>ADJ.</div><div>ADJUSTABLE, ADJACENT</div></div><div><div>AGGR.</div><div>AGGREGATE</div></div><div><div>ALUM.</div><div>ALUMINUM</div></div><div><div>ANOD.</div><div>ANODIZED</div></div><div><div>A.P.A.</div><div>AMERICAN PLYWOOD<br/>ASSOCIATION</div></div><div><div>APPROX.</div><div>APPROXIMATE</div></div><div><div>ARCH.</div><div>ARCHITECT 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BD.</div><div>PARTICLE BOARD</div></div><div><div>P.G.</div><div>PAINT GRADE</div></div><div><div>REF.</div><div>REFINISHED</div></div><div><div>P.L.F.</div><div>POUNDS PER LINEAL FOOT</div></div><div><div>P.L.</div><div>PROPERTY LINE</div></div><div><div>P.L. LAM.</div><div>PLASTIC LAMINATE</div></div><div><div>PLAS.</div><div>PLASTER</div></div><div><div>P.V.</div><div>PLYWOOD</div></div><div><div>PSF.</div><div>POUNDS PER SQUARE FOOT</div></div><div><div>PSI.</div><div>POUNDS PER SQUARE INCH</div></div><div><div>P.T.D.</div><div>PARTITION</div></div><div><div>P.T.D.</div><div>PAPER TOWEL DISPENSER</div></div><div><div>P.V.C.</div><div>POLYVINYL CHLORIDE</div></div><div><div>R.</div><div>RIBBER (S)</div></div><div><div>R.A.</div><div>RETURN AIR</div></div><div><div>RAD.</div><div>RADIUS</div></div><div><div>R.C.</div><div>ROOF DRAIN</div></div><div><div>REG.</div><div>REGISTER</div></div><div><div>REF.</div><div>REFRIGERATOR</div></div><div><div>REINFC.</div><div>REINFORCED, REINFORCING</div></div><div><div>REQD.</div><div>REQUIRED</div></div><div><div>RESMT.</div><div>REQUIREMENT</div></div><div><div>RESIL.</div><div>RESILIENT</div></div><div><div>R.H.M.S.</div><div>ROUND HEAD METAL SCREW</div></div><div><div>R.H.W.S.</div><div>ROUND HEAD WOOD SCREW</div></div><div><div>RM.</div><div>ROOM</div></div><div><div>R.D.</div><div>ROUGH DRAINING</div></div><div><div>R.O.W.</div><div>RIGHT OF WAY</div></div><div><div>R.S.</div><div>RESAWN</div></div><div><div>RUB.</div><div>RUBBER</div></div><div><div>RWD.</div><div>REDWOOD</div></div><div><div>R.W.L.</div><div>RAIN WATER LEADER</div></div><div><div>S.</div><div>SOUTH</div></div><div><div>S.B.</div><div>SOLID BLOCKING</div></div><div><div>S.C.</div><div>SOLID CORE</div></div><div><div>SCHED.</div><div>SCHEDULE</div></div><div><div>S.D.</div><div>STORM DRAIN</div></div><div><div>SECT.</div><div>SECTION</div></div><div><div>SERV.</div><div>SERVICE</div></div><div><div>S.F.</div><div>SQUARE FEET (FOOT)</div></div><div><div>S.G.</div><div>STAIN GRADE</div></div><div><div>SH.</div><div>SHelf, SHELVING</div></div><div><div>SHWR.</div><div>SHOWER</div></div><div><div>SHI.</div><div>SHEET</div></div><div><div>SHITG.</div><div>SHEDDING</div></div><div><div>SHM.</div><div>SIMILAR</div></div><div><div>S.O.H.</div><div>SIMILAR OPPOSITE HAND</div></div><div><div>S.S.</div><div>STAINLESS STEEL</div></div><div><div>S.M.</div><div>SHEET METAL</div></div><div><div>S.M.S.</div><div>SHEET METAL SCREW</div></div><div><div>SPEC.</div><div>SPECIFICATIONS</div></div><div><div>SQ.</div><div>SQUARE</div></div><div><div>STL.</div><div>STEEL</div></div><div><div>STD.</div><div>STANDARD</div></div><div><div>STAG.</div><div>STAGGERED</div></div><div><div>STOR.</div><div>STORAGE</div></div><div><div>STRUCT.</div><div>STRUCTURAL</div></div><div><div>SUSP.</div><div>SUSPENDED</div></div><div><div>SYM.</div><div>SYMMETRICAL</div></div><div><div>SYS.</div><div>SYSTEM</div></div><div><div>T.</div><div>TREAD (S)</div></div><div><div>T.B.</div><div>TOWEL BAR</div></div><div><div>T.C.</div><div>TOP OF CURB</div></div><div><div>TEL.</div><div>TELEPHONE</div></div><div><div>TEMP.</div><div>TEMPERED</div></div><div><div>T.E.M.</div><div>TYPICAL EDGE NAILING</div></div><div><div>T &amp; O</div><div>TONGUE AND GROOVE</div></div><div><div>T.G.R.</div><div>TOP OF GRATE</div></div><div><div>THK.</div><div>THICK (NESS)</div></div><div><div>THRESH.</div><div>THRESHOLD</div></div><div><div>T.O.</div><div>TOP OF</div></div><div><div>T.P.</div><div>TOP OF PAVEMENT</div></div><div><div>T.P.H.</div><div>TOILET PAPER HOLDER</div></div><div><div>TV.</div><div>TELEVISION</div></div><div><div>T.W.</div><div>TOP OF WALL</div></div><div><div>TYP.</div><div>TYPICAL</div></div><div><div>U.B.C.</div><div>UNIFORM BUILDING CODE</div></div><div><div>U.L.L.</div><div>UNDERWRITER'S LABORATORIES</div></div><div><div>U.O.N.</div><div>UNLESS OTHERWISE NOTED</div></div><div><div>UR.</div><div>URNAL</div></div><div><div>V.B.</div><div>VAPOR BARRIER</div></div><div><div>VAR.</div><div>VARIABLES</div></div><div><div>VERT.</div><div>VERTICAL</div></div><div><div>V.N.Y. 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T.E.</div><div>VERTICAL GRAIN</div></div><div><div>W.</div><div>WEST</div></div><div><div>W.D.</div><div>WIDE WIDTH</div></div><div><div>W.</div><div>WITH</div></div><div><div>WC.</div><div>WATER CLOSET</div></div><div><div>WD.</div><div>WOOD</div></div><div><div>W.D.W.</div><div>WINDOW</div></div><div><div>WH.</div><div>WATER HEATER</div></div><div><div>W.D.N.O.R.K.</div><div>WOODWORK INSTITUTE OF<br/>CALIFORNIA</div></div><div><div>WC</div><div>WITHOUT</div></div><div><div>W.P.</div><div>WATERPROOF</div></div><div><div>WR.</div><div>WATER RESISTANT</div></div><div><div>WS.</div><div>WOOD SCREW</div></div><div><div>WSCT.</div><div>WAINSCOT</div></div><div><div>WT.</div><div>WEIGHT</div></div><div><div>W.W.M.</div><div>WELDED WIRE MESH</div></div></div></div> |  | <div>APPLICABLE CODES:</div> <div>2016 Building Standards Administrative Code, Part 1, CBCS</div> <div>2016 California Building Code (CBC) Part 2, CBCS (2006 IBC &amp; California Amendments)</div> <div>2016 California Electrical Code (CEC) Part 3, CBCS (2006 NEC &amp; California Amendments)</div> <div>2016 California Mechanical Code (CMC) Part 4, CBCS (2006 UMC &amp; California Amendments)</div> <div>2016 California Plumbing Code (CPC) Part 5, CBCS (2006 UPC &amp; California Amendments)</div> <div>2016 California Energy Code, Part 6 CBCS</div> <div>2016 California Fire Code, Part 8 CBCS (2006 IFC &amp; California Amendments)</div> <div>2016 California Referenced Standards, Part 12, CBCS</div> <div>Title 10 C.C.R., Public Safety, SFM Regulations</div> <div>2013 ADA Standards for Accessible Design</div> <div>NFPA 13, Automatic Sprinkler System, 2013 edition</div> <div>NFPA 72, Natl Fire Alarm Code, (Ca Amended) 2013 Edition (See UL Standard 1971 for "Visual Devices)</div> <div>2017 Carmel Municipal Code (CMC)</div> |  | <div>LOCATION:</div> <div>NE CORNER OF OCEAN AVE. &amp; JUNIPERO STREET</div> <div>CARMEL-BY-THE-SEA, CA 93921</div> <div>APN:</div> <div>010-123-014</div> <div>ZONING:</div> <div>RC</div> <div>OCCUPANCY:</div> <div>R-1</div> <div>DESCRIPTION OF WORK:</div> <div><ul style="list-style-type: none"><li>RENOVATION OF EXISTING PARKING AREA &amp; LANDSCAPING</li><li>NEW PATIO &amp; FRENCH DOOR AT PARLOR</li><li>NEW ENTRY TO EXISTING HOTEL ROOM</li><li>PROVIDE MODIFICATIONS TO EXISTING RAILING TO BE CODE COMPLIANT</li><li>PAINT EXISTING BUILDING &amp; UNIT DOORS</li><li>MODIFY EXISTING STEPS &amp; REPAIR FENCE</li></ul></div> |  | <div>ARCHITECTURAL</div> <div>A0.1 PROJECT INFORMATION</div> <div>A1.1 (E) SITE PLAN &amp; TOPO MAP</div> <div>A2.1 FIRST FLOOR PLAN</div> <div>A2.2 SECOND FLOOR PLAN</div> <div>A3.1 EXTERIOR ELEVATIONS &amp; DETAILS</div> <div>LANDSCAPE</div> <div>L-1.0 PLANTING PLAN</div> <div>L-2.0 LIGHTING PLAN</div> |  |
|  |  | GENERAL PROJECT NOTES  |  | PROJECT DIRECTORY  |  |  |  |   |  |
|  |  | <div>1. All work shall comply with the applicable sections of the 2016 edition of the California Building Code, Plumbing Code, Mechanical Code, Uniform Fire Code, Electrical Code, and of Title 24 of the State of California and the requirements of the City of Monterey</div> <div>2. Dimensions shall take precedence over scale at all times and large-scale details shall take precedence over smaller scale details. The Contractor shall verify all details and dimensions and shall be held responsible for the correctness of same.</div> <div>3. All staging, scaffolding, etc shall be designed, furnished, erected, maintained, and dismantled in conformance with all applicable Code Requirements and regulations by the General Contractor. The Contractor shall be solely responsible for all bracing required during construction. The Contractor shall not store construction materials or operate equipment in a manner such that the design live loads are exceeded. No construction equipment shall be stored on overhanging framing.</div> <div>4. Contractor to provide all blocking or support framing required for mechanical, electrical equipment, accessories and trim, equipment, etc.</div> <div>5. Extra exit signs may be required during final inspections. The location and quantity of exit signs may be altered during final inspections</div>   |  | <div>CUSTOMER:</div> <div>CVI INVESTORS LLC</div> <div>3020 CARBON PLACE, SUITE 203</div> <div>BOULDER, CO 80301</div> <div>PHONE: (480) 335-7343</div> <div>CONTACT: ARRON SIMON</div> <div>EMAIL: asimon@meriwether.com</div> <div>PROJECT ARCHITECT</div> <div>THE PAUL DAVIS PARTNERSHIP, LLP</div> <div>286 EL DORADO STREET</div> <div>MONTEREY, CA, 93940</div> <div>(831) 373-2784 PHONE</div> <div>(831) 373-7458 FAX</div> <div>CONTACT: PAUL W. DAVIS, AIA</div> <div>EMAIL: paulw@pauldavispartnership.com</div> <div>LANDSCAPE DESIGN:</div> <div>BFS LANDSCAPE ARCHITECTS</div> <div>425 PACIFIC ST., #201</div> <div>MONTEREY, CA 93940</div> <div>(831) 646-1393</div> <div>CONTACTS: SIMON PHILLIPS</div> <div>EMAIL: simon@bfsa.com</div>  |  | <div>RECEIVED</div> <div>AUG 07 2017</div> <div>City of Carmel-by-the-Sea</div> <div>Planning &amp; Building Dept.</div>   |  |   |  |
| SYMBOLS  |  | SITE PLAN (PHOTO)  |  | VICINITY MAP   |  |  |  |   |  |
| <div><div><div><div>2</div><div>A6</div></div><div>DETAIL KEY</div><div>DETAIL NUMBER</div><div>SHEET NUMBER</div></div><div><div><div><div>A</div><div>A7</div></div><div>SECTION KEY</div><div>SECTION NUMBER</div><div>SHEET NUMBER</div></div><div><div><div><div>C</div><div>A8</div></div><div>INTERIOR ELEVATION KEY</div><div>ELEVATION NUMBER</div><div>SHEET NUMBER</div><div>ARROWS INDICATE ELEVATIONS SHOWN</div></div><div><div><div><div>OFFICE</div><div>B201</div></div><div>ROOM NAME</div><div>ROOM NUMBER</div></div><div><div><div><div>WORK POINT, CONTROL POINT, OR DATUM POINT</div><div>MATCHLINE</div></div><div><div><div>8</div><div>SHEET NOTE SYMBOL</div><div>(SEE SHEET NOTES TABLE)</div></div><div><div><div>101C</div><div>DOOR NUMBER</div><div>(SEE DOOR SCHEDULE)</div></div><div><div><div>D</div><div>WINDOW SYMBOL</div><div>(SEE WINDOW SCHEDULE)</div></div><div><div><div>A</div><div>EQUIPMENT SYMBOL</div><div>(SEE EQUIPMENT LIST)</div></div><div><div><div>2</div><div>REVISION</div></div></div></div></div></div></div></div></div></div></div></div></div> |  |  |  |  |  |  |  |   |  |

**THE  
PAUL DAVIS  
PARTNERSHIP**  
*ARCHITECTS & PLANNERS*



**The Paul Davis Partnership, LLP**  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
MAIL: [info@pauldavispartnership.com](mailto:info@pauldavispartnership.com)

Drawn By: ML

Drawing Date: 5/22/17

Project Number: 1717

07.28.17 Planning Re-submittal

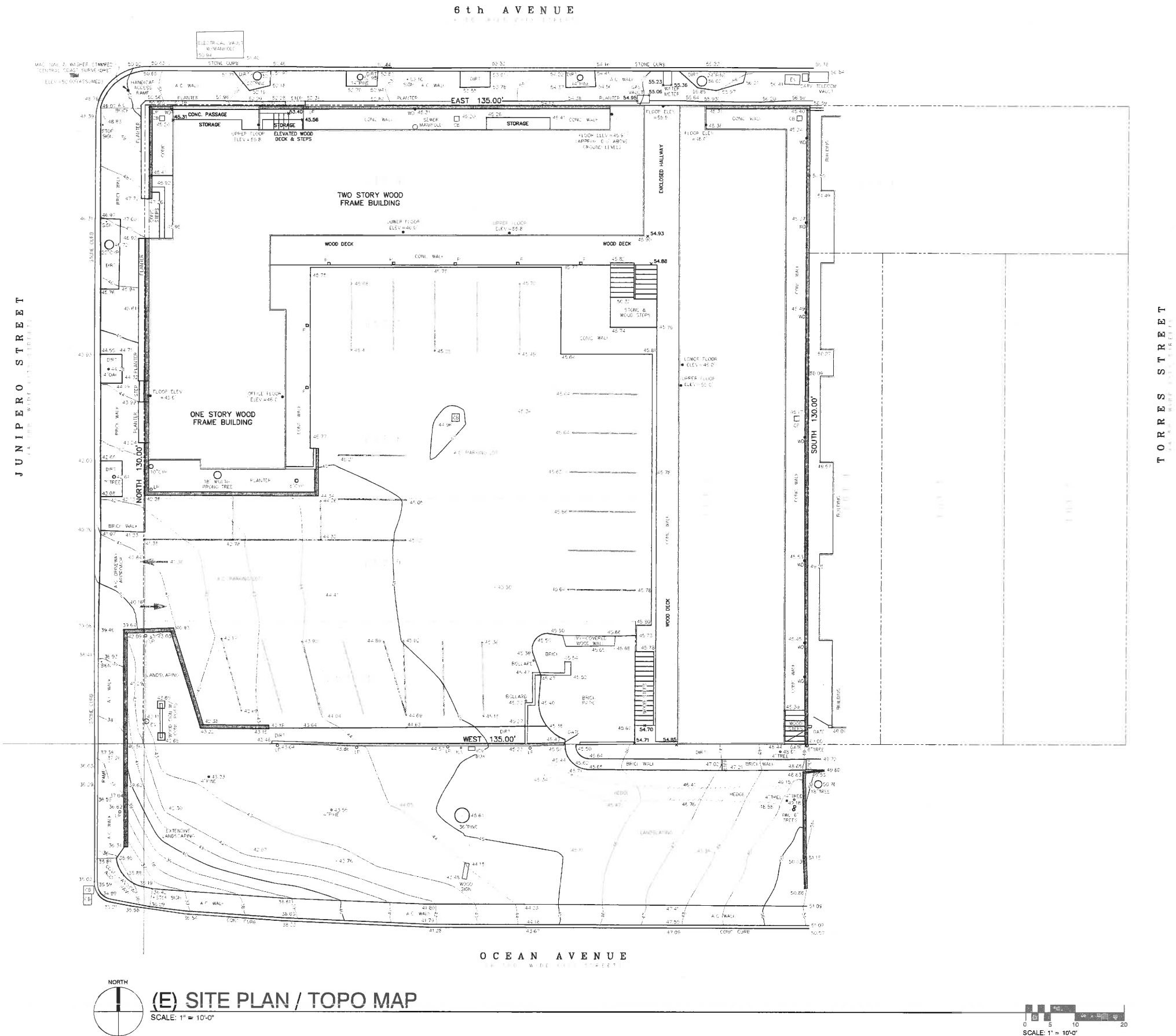
use of these plans and specifications is restricted to the original site for which they were prepared, and no reproduction thereof is expressly limited to such use. Any reproduction, in whole or in part, by any method in any form is prohibited. Title to the plans and specifications remains with the architect, and visual contact with them constitutes *prima facie* evidence of acceptance of the restrictions.

## PROJECT INFORMATION

Sheet Number:

## A0.1

Z:\Projects\Projects 2017\1717 Carmel Village Inn\Planning\Plot Sheets\A1.dwg, 8/2/2017 8:15:23 AM, ARCH full bleed D (36.00 x 24.00 inches)



Project / Owner:

## CARMEL VILLAGE INN

NE CORNER OF OCEAN AVE &  
JUNIPERO ST.  
CARMEL-BY-SEA CA 93923

## THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
285 El Comodo Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com

Drawn By: ML  
Drawing Date: 5/22/17  
Project Number: 1717

Revisions:  
07.28.17 Planning Re-submittal

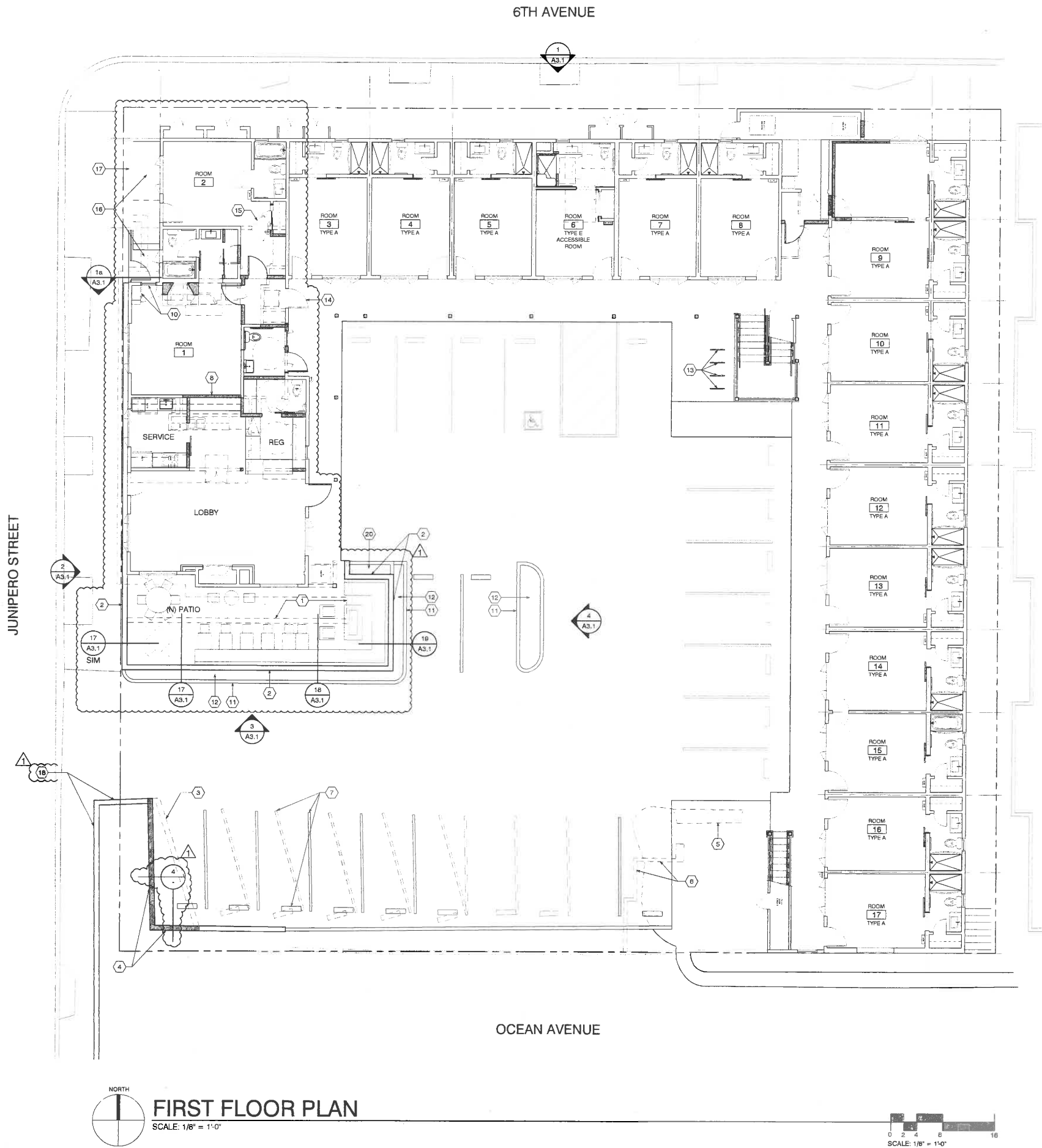
The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. The use of the plans and specifications requires the architect, and valid contact with them constitutes prima facie evidence of the acceptance of the restrictions.

Sheet Title:  
(E) SITE PLAN &  
TOPO MAP

Sheet Number:

A1.1

Z:\Projects\Projects 2017\A1717 Carmel Village Inn\Planning\Plot Sheets\A2.1.dwg, 8/3/2017 8:15:27 AM, ARCH full bleed D (36.00 x 24.00 inches)



#### SHEET NOTES

1. REMOVE (E) PLANTER WALL
2. (N) PATIO WALL
3. REMOVE PARTIAL (E) RETAINING WALL
4. (N) RETAINING WALL
5. REMOVE (E) PLANTER
6. REMOVE PARTIAL (E) FENCE
7. RE-ORIENT PARKING STRIPES & WHEEL STOPS
8. (N) WALL
9. Not Used
10. REMOVE (E) DOOR & PATCH / REPAIR WALL TO MATCH EXISTING
11. (N) CURB
12. (N) PLANTER
13. (N) BIKE RACK
14. (N) ACCESS TO HOTEL ROOM
15. (E) LOCKABLE DOOR BETWEEN HOTEL ROOMS
16. EXTEND / CONFIGURE STEPS TO WALL. EXTEND PLATFORM TO PROVIDE PATIO DECK TO ROOM 1
17. FIX / REPAIR (E) WOOD FENCE. (E) WALLS REMAIN - PAINT TRIM COLOR
18. (E) RETAINING WALL
19. OUTLINE OF (E) BUILDING
20. FOUNTAIN

Project / Owner:

## CARMEL VILLAGE INN

NE CORNER OF OCEAN AVE & JUNIPERO ST.  
CARMEL-BY-THE-SEA CA. 93923

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Drawn By: ML

Drawing Date: 5/22/17

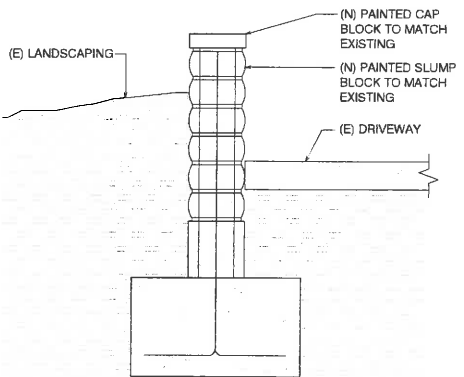
Project Number: 1717

Revisions:  
07.28.17 Planning Re-submittal

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Sheet Title:  
1ST FLOOR PLAN

Sheet Number:



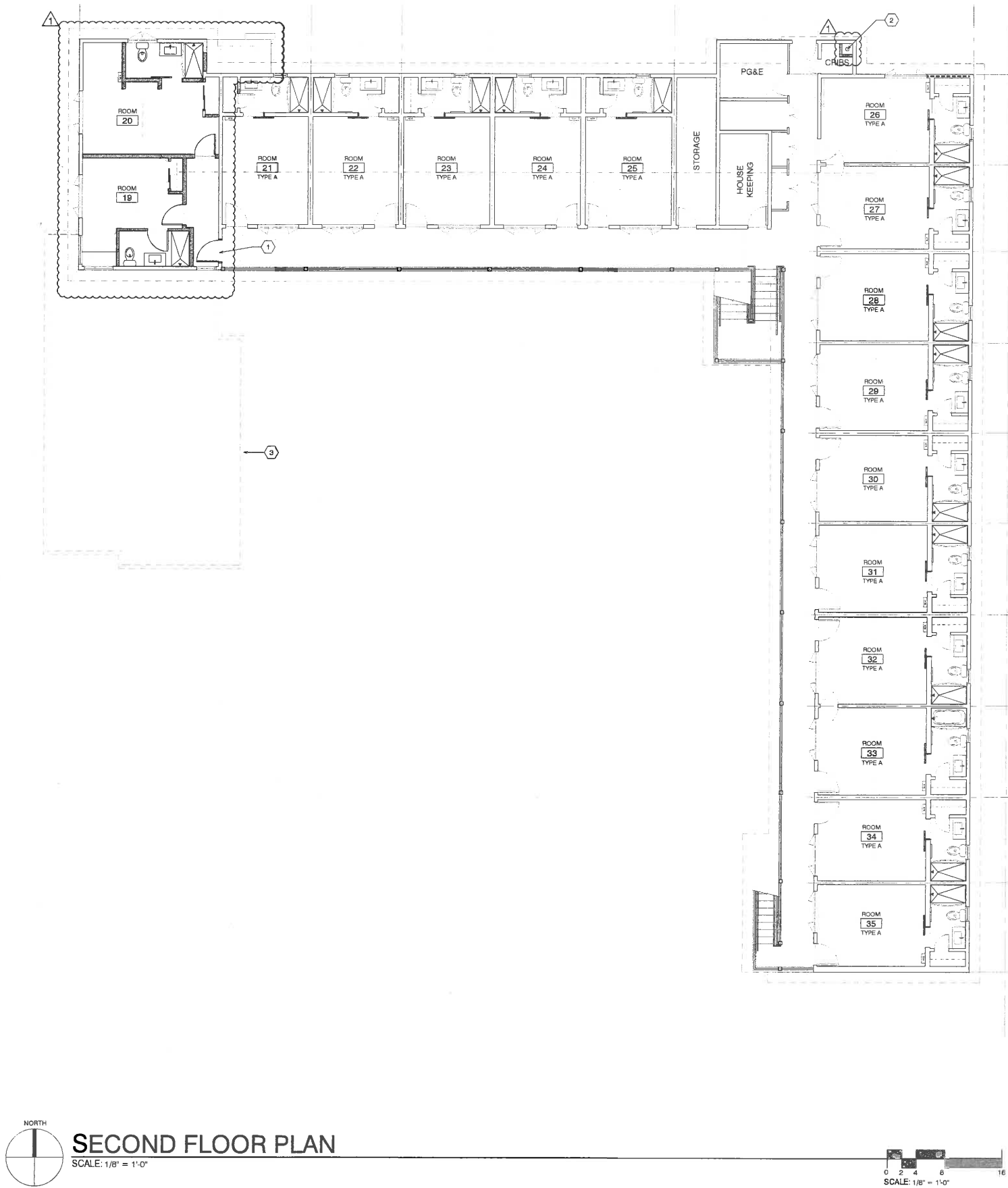
4 (N) RETAINING WALL (MATCH EXISTING)  
SCALE: 1" = 1'-0"

#### WALL LEGEND

- EXISTING WALLS TO REMAIN
- PROPOSED NEW WALLS
- EXISTING WALLS TO BE DEMOLISHED

A2.1

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#### SHEET NOTES

1. (N) ENTRY DOOR TO ROOMS S1 & S2
2. (N) DRYER FLUE TO ROOF
3. OUTLINE OF 1ST FLOOR BELOW

Project / Owner:

## CARMEL VILLAGE INN

NE CORNER OF OCEAN AVE &  
JUNIPERO ST.  
CARMEL-BY-THE-SEA CA. 93923

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Drawn By: ML  
Drawing Date: 5/22/17  
Project Number: 1717

Revisions:  
07.28.17 Planning Re-submittal

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Sheet Title:  
**2ND FLOOR PLAN**

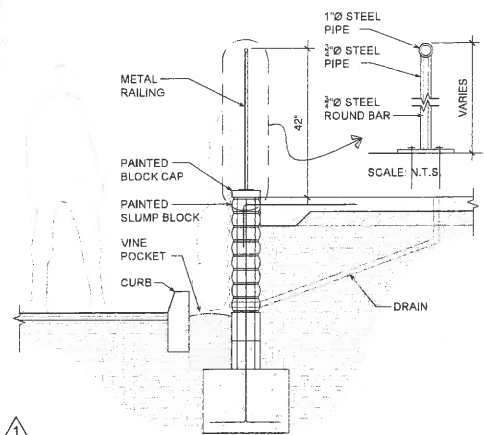
Sheet Number:

#### WALL LEGEND

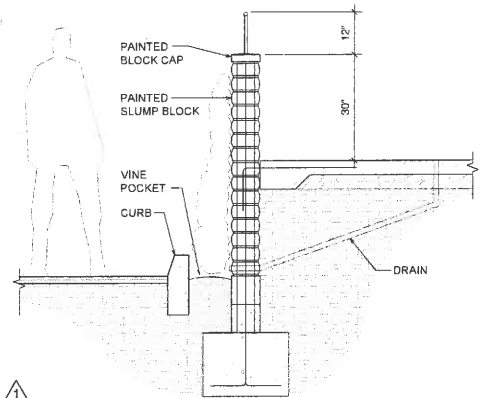
- EXISTING WALLS TO REMAIN
- PROPOSED NEW WALLS
- EXISTING WALLS TO BE DEMOLISHED

**A2.2**

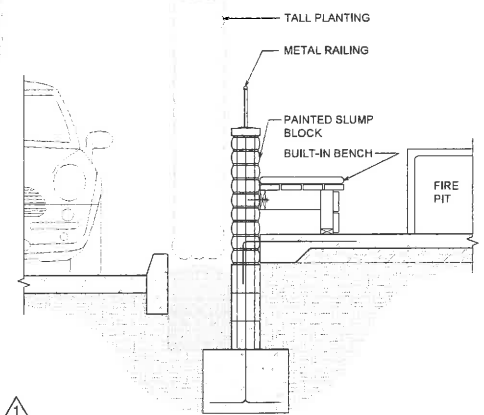
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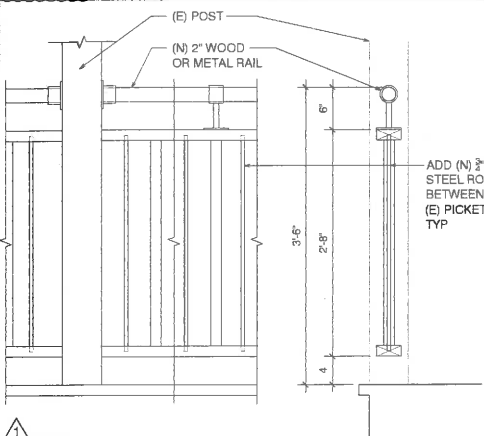
17 NEW PATIO WALL  
SCALE: 1/2" = 1'-0"



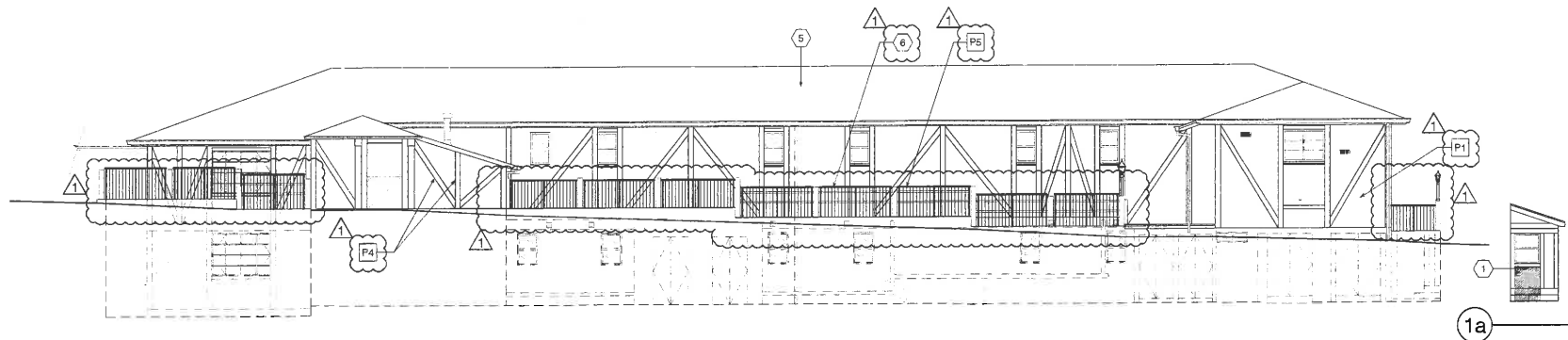
18 NEW PATIO WALL  
SCALE: 1/2" = 1'-0"



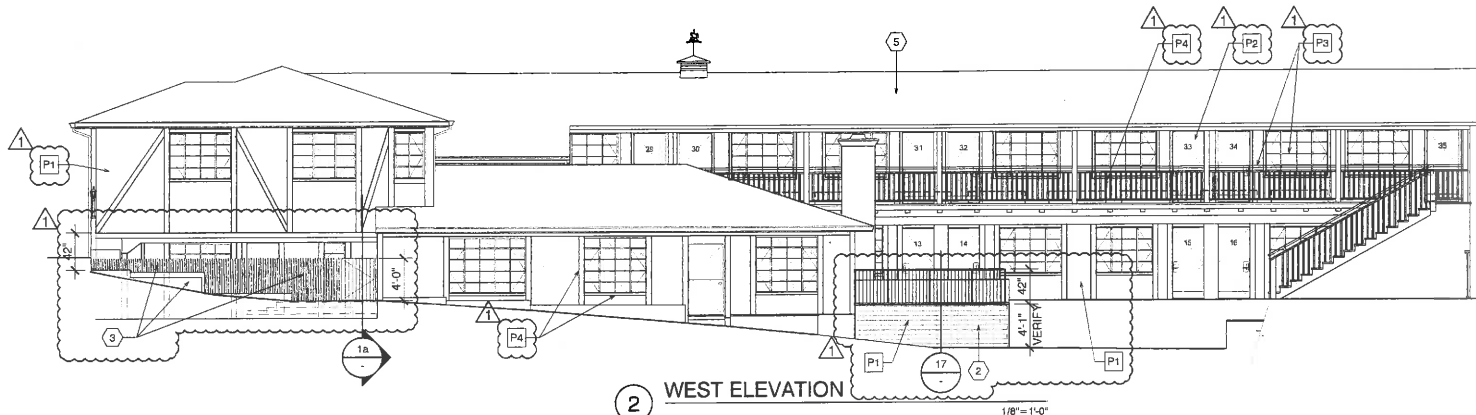
19 NEW PATIO WALL  
SCALE: 1/2" = 1'-0"



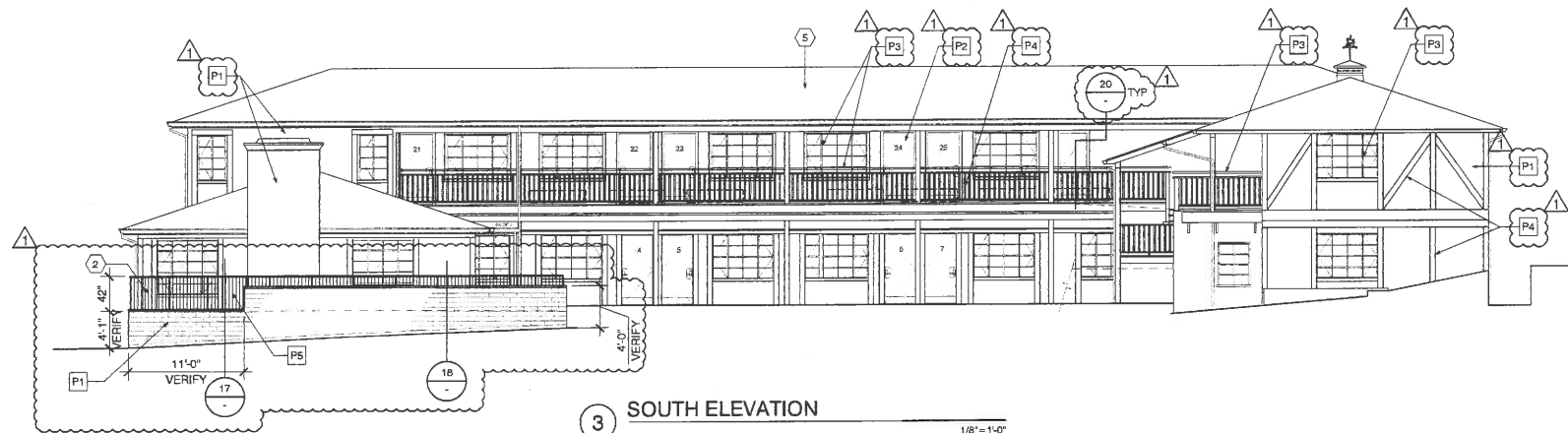
20 RAILING DETAIL  
SCALE: 1" = 1'-0"



1 NORTH ELEVATION  
1/8" = 1'-0"

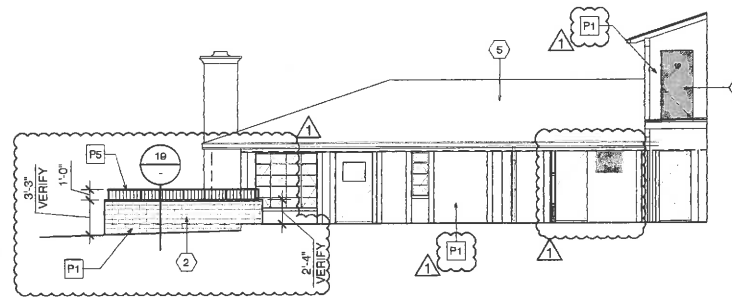


2 WEST ELEVATION  
1/8" = 1'-0"



3 SOUTH ELEVATION  
1/8" = 1'-0"

| PAINT COLOR KEY |  |   |
|-----------------|--|---|
| P1              | FARROW & BALL (COLOR MATCH COLOR SPECIFIED) SKIMMING STONE No. 241 | EXTERIOR WALLS  |
| P2              | RALPH LAUREN SPINNAKER SP06D FINISH: HIGH GLOSS                    | GUESTROOM ENTRY DOOR  |
| P3              | COLORHOUSE STONE. 07 FINISH: GRAY SEMI-GLOSS                       | 2" WOOD TOP RAIL WINDOW ALUM FRAMES & MUNTINS   |
| P4              | BENJAMIN MOORE SNOWFALL WHITE OC-118                               | EXTERIOR DOOR & WINDOW TRIM, WOOD RAILINGS, RAFTERS, BEAMS, POSTS, SOFFIT, GUTTERS & COPULA |
| P5              | BLACK  | METAL PATIO RAILING   |



4 EAST ELEVATION - COURTYARD  
1/8" = 1'-0"

#### SHEET NOTES

- REMOVE (E) DOOR, PATCH AND REPAIR WALL TO MATCH EXISTING ADJACENT PLASTER
- NEW PATIO WALL
- (E) RETAINING WALL TO REMAIN. PROVIDE (N) FENCE TO MATCH EXISTING
- (N) ENTRY DOOR TO ROOM S (N) ROOM CONFIGURATION
- (N) CEDAR SHAKE ROOF SHINGLES, TYP
- (N) STEEL RAILING

Project / Owner:

## CARMEL VILLAGE INN

NE CORNER OF OCEAN AVE & JUNIPERO ST.  
CARMEL-BY-THE-SEA CA. 93923

## THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

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(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com

Drawn By: ML

Drawing Date: 5/22/17

Project Number: 1717

Revisions:

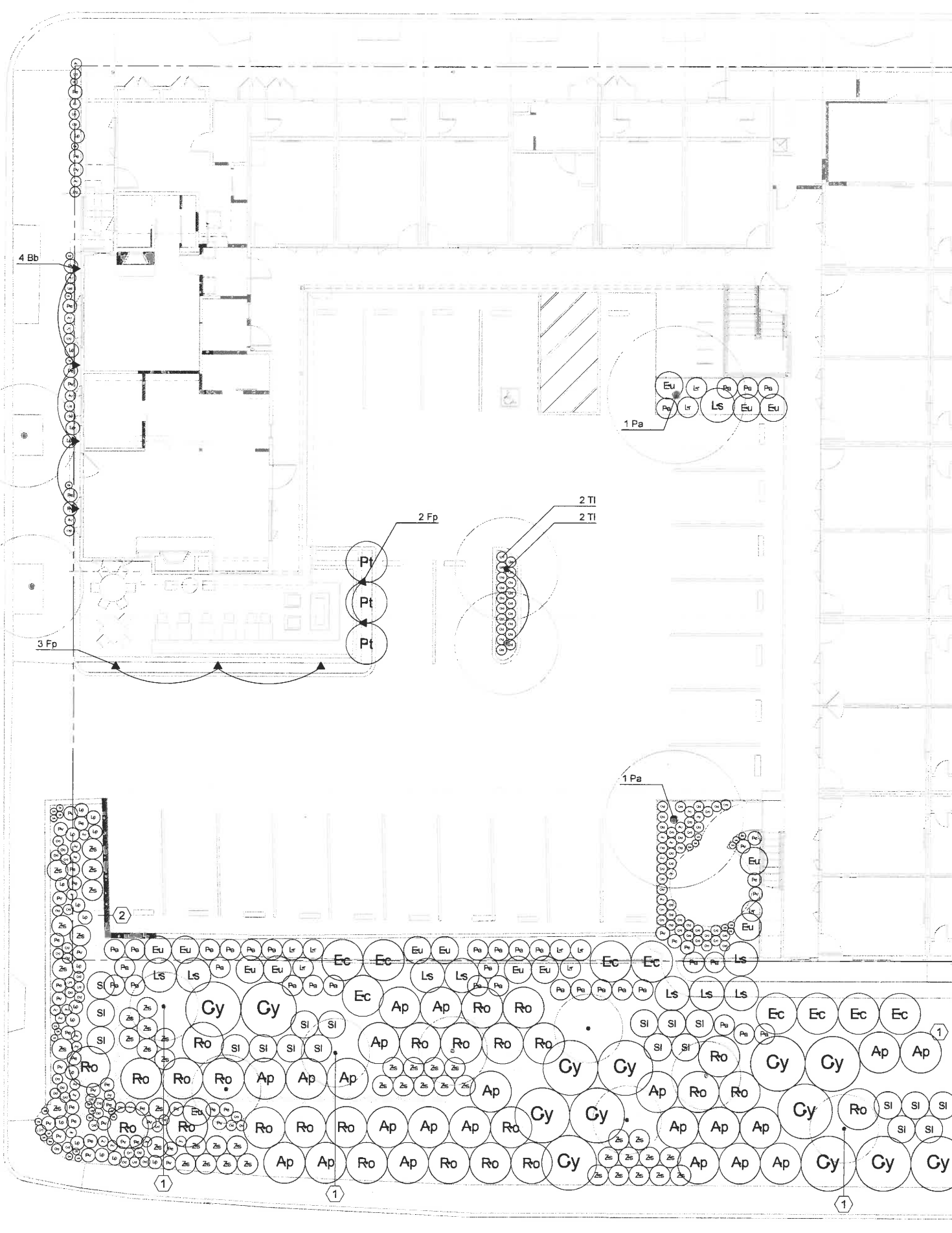
07.26.17 Planning Re-submittal

Sheet Title:  
**ELEVATIONS**

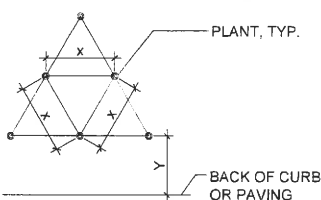
Sheet Number:

A3.1





GROUNDCOVER AND PLANTING SPACING DIAGRAM



- FOR SPACING 'X', SEE PLANTING PLAN LEGEND
- $Y = 1/2X + 12"$

\* WATER USE CATEGORY (WUC) KEY

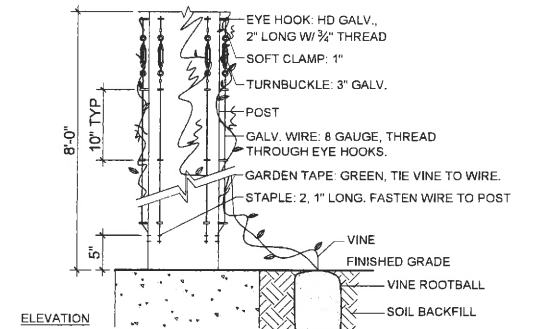
WUCOLS Region Applicable to this Project: **REGION 1**  
H = High; M = Moderate; L = Low; VL = Very Low; NL = Species Not Listed  
\* from: Water Use Classification of Landscape Species, A Guide to the Water Needs of Landscape Plants (WUCOLS)  
Revised 2014, University of California Cooperative Extension, L.R. Costello, K.S. Jones

GENERAL NOTES

- Landscape Architect to approve plant material BEFORE plant layout commences.
- Landscape Architect to approve layout of all plants BEFORE planting commences.
- Apply pre-emergent herbicide to all planting areas. See Specifications.
- Prepare, amend, and fertilize existing soil per Specifications. Pre-mix amendments into soil before backfilling plant pits - do not mix inside pits. Break large clods into small pieces. See Specifications.
- Install root barrier panels at trees planted within 5' of foundations, walls, and curbs, and in all planters in paved areas. See Specifications. See (1/L-3.0).
- Plant shrubs and groundcovers per detail (2/L-3.0). See Spacing Diagram.
- Plant and stake trees per detail (1/L-3.0).
- Install vine mounting per detail (3/L-3.0).
- Install mulch to all planting areas. Mulch to be 3" thick.

REFERENCE NOTES

- Existing Tree: Preserve and protect.
- Existing Sign: Preserve and protect.

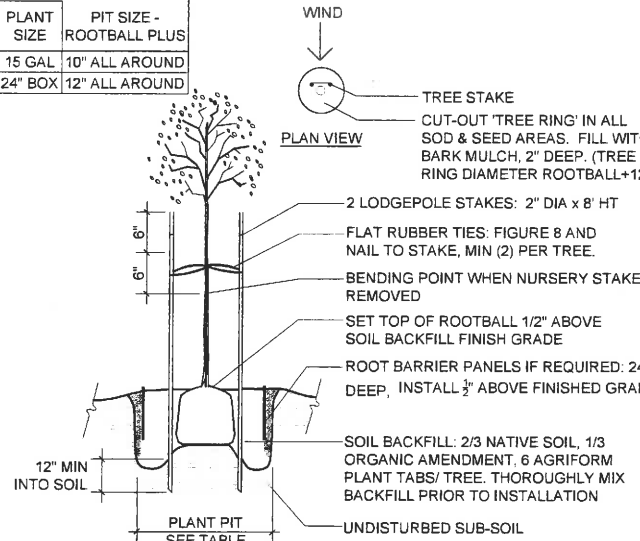


3 Vine Planting NTS

PLANT LEGEND

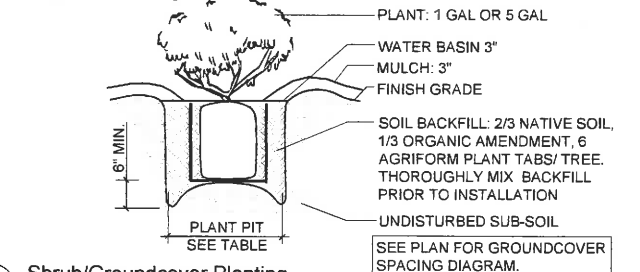
| *WUC CODE     | BOTANICAL NAME | COMMON NAME                            | SIZE                               |
|---------------|----------------|--|------------------------------------|
| <b>Trees</b>  |                |  |                                    |
| M             | PI             | Platanus x acerifolia                  | London Plane Tree 24" Box          |
| M             | TI             | Tristanopsis laurina 'Elegant'         | Water Gum 24" Box                  |
| <b>Shrubs</b> |                |  |                                    |
| L             | Ay             | Anigozanthos 'Yellow Gem'              | Yellow Gem Kangaroo Paw 5 Gal.     |
| L             | Ap             | Arctostaphylos 'Pacific Mist'          | Pacific Mist Manzanita 5 Gal.      |
| L             | Cs             | Calandrinia spectabilis                | Rock Purlance 1 Gal.               |
| L             | Cd             | Carex divulsa                          | Berkeley Sedge 1 Gal.              |
| L             | Cy             | Ceanothus 'Yankee Point'               | Yankee Point Ceanothus 5 Gal.      |
| L             | Ec             | Echium candicans                       | Pride of Madeira 15 Gal.           |
| L             | Eu             | Euphorbia characias 'Wulfenii'         | Evergreen spurge 5 Gal.            |
| L             | Lr             | Leptospermum scoparium 'Ruby Glow'     | New Zealand Tea Tree 5 Gal.        |
| L             | Ls             | Leucadendron 'Jester'                  | Jester Leucadron 5 Gal.            |
| L             | Lp             | Limonium perezii                       | Statice 1 Gal.                     |
| L             | Pv             | Pelargonium veronica                   | Geranium 1 Gal.                    |
| L             | Pe             | Penstemon 'Margarita BOP'              | Margarita BOP Penstemon 1 Gal.     |
| L             | Pa             | Perovskia atriplicifolia               | Russian Sage 5 Gal.                |
| M             | Pt             | Pittosporum tenuifolium 'Silver Sheen' | Silver Sheen Kohuhu 15 Gal.        |
| L             | Ro             | Rosmarinus 'Huntington Carpet'         | Creeping Rosemary 5 Gal.           |
| L             | Sl             | Salvia leucantha                       | Mexican Sage 5 Gal.                |
| L             | Zs             | Zauschneria septentrionalis            | California Fushia 5 Gal.           |
| <b>Vines</b>  |                |  |                                    |
| L             | Bb             | Bougainvillea 'San Diego Red'          | San Diego Red Bougainvillea 5 Gal. |
| M             | Fp             | Ficus pumila                           | Creeping Fig 5 Gal.                |

| PLANT PIT SIZE TABLE |                          |
|----------------------|--------------------------|
| PLANT SIZE           | PIT SIZE - ROOTBALL PLUS |
| 15 GAL               | 10" ALL AROUND           |
| 24" BOX              | 12" ALL AROUND           |

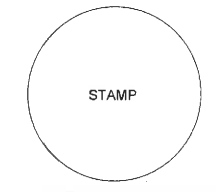


1 Tree Planting and Staking NTS

| PLANT PIT SIZE TABLE |                          |
|----------------------|--------------------------|
| PLANT SIZE           | PIT SIZE - ROOTBALL PLUS |
| 1 GAL                | 6" ALL AROUND            |
| 5 GAL                | 8" ALL AROUND            |
| 15 GAL               | 10" ALL AROUND           |



2 Shrub/Groundcover Planting NTS



PROJECT:  
**CARMEL VILLAGE INN**  
CARMEL, CA  
MERWEATHER COMPANIES

ISSUANCE:  
PLANNING SUBMITTAL - 6/13/2017  
PLANNING RESUBMITTAL - 7/31/2017

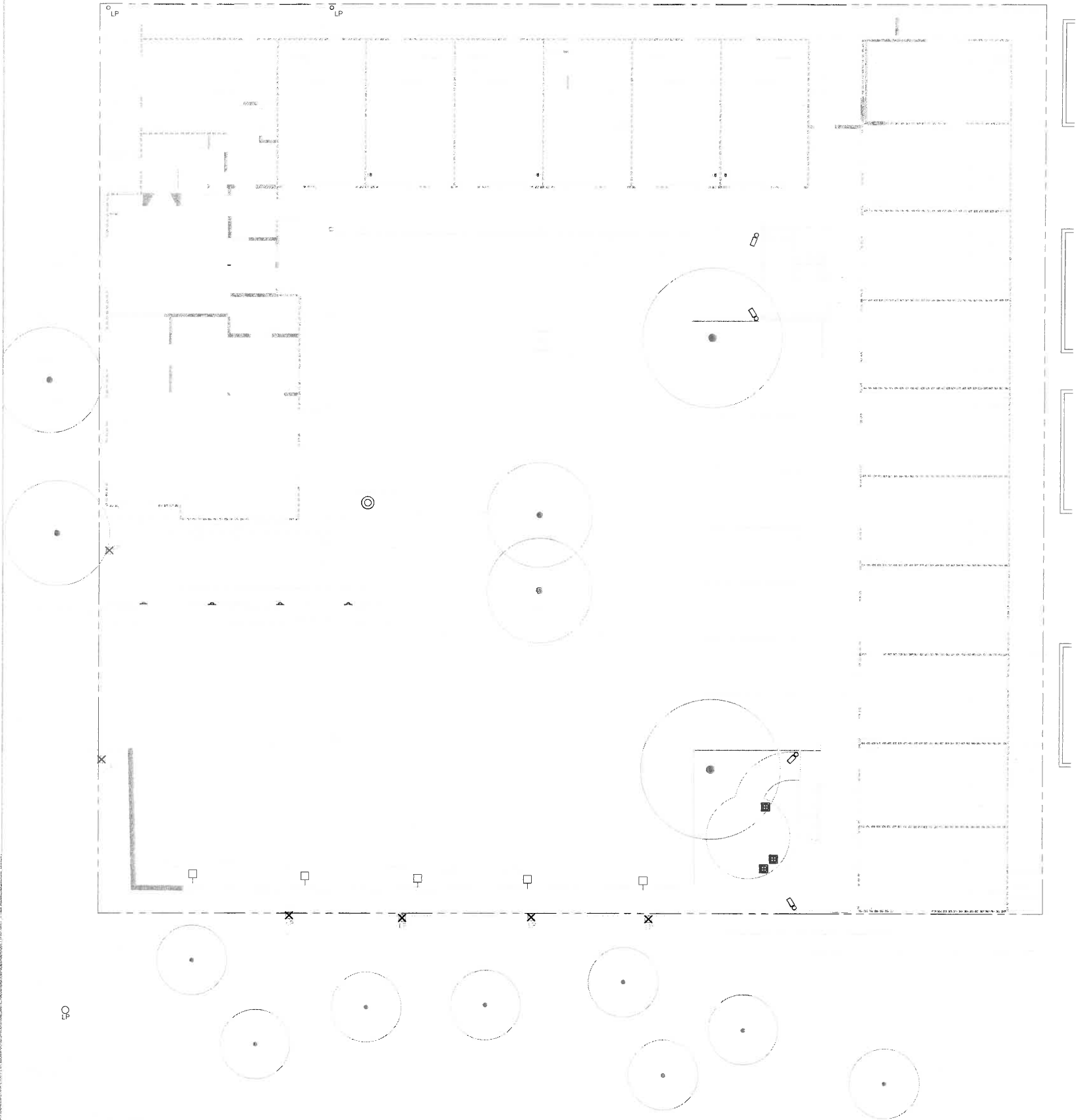
REVISION:

PROJECT NO: 17.038  
DATE: 06/13/2017  
SCALE: 1" = 8'-0"  
DRAWN | CHECKED: KB/SP  
SHEET:

PLANTING PLAN

SHEET NO:

M:\PRODUCTION\Projects\2017\17 038\CAD\17038\_L-3\_0\_Lighting.dwg 8/1/2017



LEGEND

- Existing Light Fixture: To remain. Preserve and protect.
- Existing Light Fixture: To be removed.

FIXTURE LEGEND

| SYM TYPE               | NUMBER                               | LAMP              |
|------------------------|--------------------------------------|-------------------|
| Directional Downlight  | FX Luminaire 'MU' 10-LS- BZ          | LED MR16 3K - 10W |
| Custom Ground Lanterns |                                      | 8W LED            |
| Wedge Light            | Borden - 919                         | LED               |
| Fountain Light         | Focus Industries, SL-33 ABAC-ULT-LED | LED               |
| Wall Light             | FX Luminaire, PO - LED               | LED               |

FIXTURE TYPES



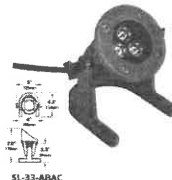
Directional Downlight



Custom Ground Lanterns



Wedge Light



Fountain Light



Wall Light

PROJECT:

CARMEL VILLAGE  
INN  
CARMEL, CA  
MERWEATHER COMPANIES

ISSUANCE:

PLANNING SUBMITTAL - 6/13/2017  
PLANNING RESUBMITTAL - 7/31/2017

REVISION

PROJECT NO: 17.038

DATE: 06/13/2017

SCALE: 1" = 6'-0"

DRAWN | CHECKED: KB/SP

SHEET:

LIGHTING  
PLAN

SHEET NO

L-2.0