

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD
REGULAR MEETING AGENDA**

Monday, August 17, 2015
3:15 p.m. Tour
4:00 p.m. Open Session

City Hall Council Chambers
East side of Monte Verde Street
Between Ocean and Seventh Avenues

A. CALL TO ORDER AND ROLL CALL

BOARD MEMBERS:

ERIK DYAR, CHAIR
GREGORY CARPER
ELINOR LAIOLO
KATHRYN GUALTIERI
JULIE WENDT

B. TOUR OF INSPECTION

Shortly after 3:15 p.m., the Board will leave the Council Chambers for an on-site Tour of Inspection as noted on “applications” section of the agenda. The public is welcome to follow the Historic Resource Board on its tour of the subject sites. The Board will return to Council Chambers at 4:00 p.m., or as soon thereafter as possible.

C. PLEDGE OF ALLEGIANCE

D. APPEARANCES

Anyone wishing to address the Board on matters within the jurisdiction of the Board may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Board’s agenda will not receive action at this meeting, but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as established by the Board. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

E. CONSENT AGENDA

1. Consideration of the minutes of May 18, 2015 Historic Resources Board Meeting

F. ITEM

1. DR 15-238 (Ikeda)
Donna Ikeda
Santa Rita Street 9 SE Ocean
Avenue
Block: 82, Lot: 20
APN: 010-043-009

Consideration of a Design Study (DS 15-238) for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District

G. DIRECTOR'S REPORT

H. SUBCOMMITTEE REPORT

1. Mid-Century Modern Buildings Committee
2. Historic Home of the Month Committee

I. DISCUSSION ITEMS

J. BOARD MEMBER ANNOUNCEMENTS

K. ADJOURNMENT

Any writings or documents provided to a majority of the Historic Resources Board regarding any item on this agenda will be made available for public inspection in the Planning and Building Department located at City Hall, on Monte Verde between Ocean and 7th Avenues during normal business hours.

The next regular meeting of the Historic Resources Board is scheduled for Monday, September 21, 2015.

3:15 p.m. – Tour of Inspection

4:00 p.m. – Regular Agenda

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. The City of Carmel-by-the-Sea Telecommunication's Device for the Deaf/Speech Impaired (TDD) number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request to the Board Secretary. If you need assistance, please advise the Board Secretary what item you would like to comment on, and the microphone will be brought to you.

AFFIDAVIT OF POSTING

I, Marc E. Wiener, Senior Planner, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln Avenues and the Carmel Post Office and distributed to members of the media on August 14, 2015.

Dated this 14th, day of August 2015 at the hour of 9:00 a.m.

Marc Wiener, Senior Planner

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD – MINUTES
MAY 18, 2015**

A. CALL TO ORDER AND ROLL CALL

PRESENT: Board Members: Carper, Laiolo, Gualtieri, Wendt

ABSENT: Dyar

STAFF PRESENT: Marc Wiener, Senior Planner
Leslie Fenton, Executive Assistant

B. TOUR OF INSPECTION

The Historic Resources Board toured the following sites: The Carmel Mission and The Golden Bough Theater at the SE corner of Monte Verde and Ocean.

C. PLEDGE OF ALLEGIANCE

Members of the audience joined Board members in the pledge of allegiance.

D. APPEARANCES

None

E. CONSENT AGENDA

1. Consideration of the minutes of April 20, 2015 Historic Resources Board Meeting.

Board Member GUALTIERI moved **to approve the Consent Agenda**, seconded by WENDT and **carried** by the following roll call vote:

AYES: Laiolo, Gualtieri, Wendt, Carper
NOES: None
ABSENT: Dyar
ABSTAIN: None

F. ITEM

- | | |
|--|--|
| 1. DR 14-38 (Carmel Mission)
Diocese of Monterey
SW Corner of Rio Road and
Lasuen Drive
Block: US, Lot: 38
APN: 009-531-003 | Consideration of a Design Review (DR 14-38)
application and associated Coastal
Development Permit for alterations to the
Carmel Mission including improvements to the
parking area, courtyards, and gift shop. |
|--|--|

Marc Wiener, Senior Planner, presented the staff report. Vice-chair Carper opened the public hearing at 4:07 p.m. Brett Brenkwitz appeared before the Board. There being no other appearances, the public hearing was closed at 4:09 p.m.

Board Member WENDT moved **to approve DR 14-38 with the following Special Conditions:**

1. ~~The replacement concrete installed on the east portion of the Basilica Forecourt shall include an earth-tone tint consistent with the historic character of the Forecourt setting. The applicant shall work with staff on an appropriate material. The paving in the Forecourt and quadrangle shall consist of aggregate earth-tone colored cement, to include brick work to match existing site conditions.~~
2. Within the Downie Building the applicant shall delineate the location of the original wall on floor to provide a guide for the potential future replacement of the wall. In addition, the property owner shall maintain a photographic record of this wall.
3. ~~The pavement removed from the Quadrangle will be replaced to match existing in pattern and material type.~~
3. Tiles in the Mora Chapel shall be replaced in kind and salvaged and re-used when possible.
4. The new east-elevation wood date shall be differentiated from the adjacent main entry gate.
5. Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

6. **Prior to the issuance of a building permit, the final construction documents shall include a materials list and a plan with elevation keynotes that clearly identify the methodology and extent of the proposed salvage and reuse of existing building materials including all exterior walls. This “salvage and reuse plan” shall clearly indicate that materials shall be: 1) preserved, 2) repaired when preservation is not possible, and 3) replaced in-kind only when absolutely necessary.**

seconded by LAIOLO and **carried** by the following roll call vote:

AYES: Laiolo, Gualtieri, Wendt, Carper
NOES: None
ABSENT: Dyar
ABSTAIN: None

- | | |
|---|--|
| 2. HE 15-168 (Golden Bough Theater)
Dennis Levett
SE Corner of Monte Verde and Ocean
Block: 74, Lot: 5 & 6
APN: 009-210-009 | Review the potential historic significance of the property and determine whether a Phase 1 Historic Evaluation should be prepared. |
|---|--|

Marc Wiener, Senior Planner, presented the staff report. Vice-chair Carper opened the public hearing at 4:29 p.m. Chris Tescher appeared before the Board. There being no other appearances, the public hearing was closed at 4:43 p.m.

Board Member GUALTIERI moved **to request that a Phase 1 evaluation be completed and that applicant can move forward with painting of the building**, seconded by LAIOLO and **carried** by the following roll call vote:

AYES: Laiolo, Gualtieri, Wendt, Carper
NOES: None
ABSENT: Dyar
ABSTAIN: None

At 5:00 p.m. Vice-chair Carper had to leave the meeting. Board Member Gualtieri presided over the meeting.

G. DIRECTOR'S REPORT

1. Working on public outreach, historic preservation, with local realtors.
2. Training opportunity coming up in Capitola on August 21st.

H. SUBCOMMITTEE REPORT

1. Mid-Century Modern Building Committee

Look into the possibility to schedule a workshop or symposium to look at the buildings in this category.

2. Historic Home of the Month Committee

Board Member Carver talking with Pine Cone about article on home selected. Committee has a goal to get it out before the Centennial.

I. DISCUSSION ITEMS

1. Centennial Celebration

Barbara Livingston suggested that historic photos of buildings be displayed in store fronts.

J. BOARD MEMBER ANNOUNCEMENTS

None

K. ADJOURNMENT

There being no other business to come before the Board, the meeting was adjourned at 5:10 p.m.

Leslie Fenton, Executive Assistant

ATTEST:

Gregory Carper, Vice-chair



CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

August 17, 2015

To: Chair Dyar and Board Members

From: Marc Wiener, Senior Planner

Subject: Consideration of a Design Study (DS 15-238) for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District

Recommendation:

Issue a Determination of Consistency with the Secretary of the Interior's Standards

Application:	DS 15-238 (Ikeda)	APN:	010-043-009
Block:	82	Lots:	20 and north pt. of abandoned 7 th Avenue
Location:	Santa Rita Street 9 SE Ocean Avenue		
Applicant:	Thomas Hood	Property Owner:	Donna Ikeda

Background:

The project site is located on Santa Rita Street, 9 parcels SE of Ocean Avenue. The site is adjacent to a portion of the former 7th Avenue known as Josselyn Lane, which adjoins the Forest Theater property. The existing house, known as the Talbert Josselyn house, is a two-story, wood-framed vernacular style residence with a concrete foundation and an irregular building footprint. According to the Phase I Historic Evaluation (Attachment B) prepared for the site, the original one-story residence was constructed on the site circa 1940 by Talbert Josselyn, a nationally-known sports and pulp fiction writer. Mr. Josselyn was also deeply involved with the cultural life of Carmel throughout his lifetime.

The exterior cladding is a combination of board and batten siding and wide horizontal ship lap wood siding. A second-story addition was added over the garage in 1943. Decks and French doors were added to the home in 2013. Character-defining architectural features of the residence identified in the Phase I Historic Evaluation are the irregular plan, vertical board and batten siding, low-pitched and stepped cross-gabled roof system and multi-paned wood casement windows, which have survived a number of physical changes over time.

The Phase I Historic Evaluation concluded that the property is historically significant under the California Register Criterion 2 (persons), for its association with a significant Carmel Personage, Talbert Jossylen, who contributed to the arts and culture of Carmel. Previous alternations and modifications to the residence that are relevant to the application are further described in the Phase II Historic Assessment.

The applicant is proposing several alterations to the historic residence, including demolition of the rear walls and construction of a one-story 287-square foot addition at the rear, east elevation, of the residence. The proposed addition would include board-on-board siding, a bay window on the northeast rear wall, and additional cross gable roof shapes over the addition. The proposed project includes the following components:

Interior Remodel

- Kitchen, bath, and bedroom remodel, including addition of a powder room on the first floor

North and Rear Exterior Alterations/additions

- 287-square foot addition to the first floor enlarging existing kitchen, bedroom, and bathroom to accommodate the remodeled kitchen, bedroom, one and one-half bathrooms
- The south wall line of the new addition would be two-feet closer to the south property line
- New hot water heater enclosure (north side) under proposed roof overhang
- New cross gables over additions
- Board-formed concrete foundation under the water table
- Repair, re-use, or replace existing historic windows as needed
- New vertical 8-inch wide siding to mimic existing board and batten
- New French doors to provide access to the rear garden

Staff Analysis:

Historic Evaluation Summary: The California Environmental Quality Act requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. The proposed alterations were reviewed by the City's Historic Preservation Consultant: Kent Seavey. The Phase II Historic Assessment prepared by Mr. Seavey on August 4, 2015, includes an analysis of the proposed changes based on the *Secretary of the Interior's*

Standards for the Treatment of Historic Properties (Attachment D). The assessment concludes that the project, as shown on the project plans dated July 10, 2015, would be consistent with the Standards.

East (Rear) Elevation: Standard #9 states that *“the new work will be differentiated from the old and will be compatible with the massing, size, and scale to protect the historic integrity of the property.”* Standard #10 states *“New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”*

The applicant is proposing a 287-square foot addition at the rear of the historic residence. The proposed addition would extend the building footprint approximately 16 feet east and would have little to no impact on the primary west elevation. Staff notes that the Phase II evaluation identifies that the rear elevation as a secondary, previously altered, elevation.

With regard to the rear addition, the proposed finish materials are differentiated, but compatible with the finish materials on the historic residence. The proposed finish materials are as follows:

1. Board-on-board wall cladding that would be differentiated from the board and batten siding on the historic residence. Staff notes that board-on-board siding includes vertical wall insets where the battens would normally be.
2. The foundation of the addition will consist of horizontal board formed concrete that will mimic the appearance of the horizontal wood siding on the historic residence.
3. Wood windows are proposed on the addition that would be similar in design, but differentiated from the windows on the historic residence, as indicated by the window schedule on Sheet A2.1 of the plan set.

The applicant has indicated to Mr. Seavey that certain materials from the historic residence, including a Dutch door and some windows, would be salvaged and re-used on the addition. However, the project plans do not clearly note which materials will be salvaged. Staff has requested that the applicant provide the details on this at the HRB meeting. A condition has been drafted requiring the applicant to submit a salvage/re-use plan.

Alternatives: The staff recommendation is to issue a determination that the application, as conditioned by staff, is consistent with the Secretary’s Standards. Alternatively, the Board could direct additional changes to the plan to achieve consistency with the Secretary’s Standards, in

which case, the Board may need to continue the item to allow the applicant to return with further-revised plans. Finally, the Board could find the application inconsistent with the Secretary's Standards, which would result in either the applicant withdrawing the project or require additional CEQA analysis to evaluate impacts on historic resources.

Environmental Review: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the. If the alterations are consistent with the standards, potential historic resource impacts under CEQA do not require further analysis. Staff concludes that the proposed alterations would be consistent with the Secretary of the Interior's Standards and therefore, do not require additional environmental analysis.

ATTACHMENTS:

- Attachment A – Conditions of Approval
- Attachment B – DPR 523 Form
- Attachment C – Phase II Historic Assessment
- Attachment D – Secretary of the Interior Standards
- Attachment E – Project Plans

Attachment A – Conditions of Approval

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

DS 15-238

Donna Ikeda

Santa Rita Street 9 SE Ocean Avenue

Block 82, Lot 20 and North Pt. abandoned 7th Avenue

APN: 010-043-009

AUTHORIZATION:

1. This approval of Design Study (DS 15-238) authorizes alterations to an existing two-story 1,323-square foot residence, as shown on the approved plans. The alterations include a new 287-square foot addition to the first floor, and exterior alterations to a historic residence, including new French doors and repair/replacement of existing windows as needed, and interior remodeling on the ground floor.

SPECIAL CONDITIONS:

2. Finish materials on the new addition shall be differentiated from the existing historic residence, as depicted on the plans dated July 10, 2015. The construction drawings submitted with the building permit application shall include a note to indicate compliance with this condition.
3. The applicant shall submit a salvage/re-use plan identifying which windows and doors will be salvaged and re-used on the new addition.
4. All new windows shall be differentiated from the historic windows. The applicant shall work with staff to ensure compliance with this condition.
5. Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.
6. Prior to the issuance of a building permit, the final construction documents shall include a materials list and a plan with elevation keynotes that clearly identify the methodology and extent of the proposed salvage and reuse of existing building materials including

windows and all exterior walls. This “salvage and reuse plan” shall clearly indicate that materials shall be: 1) preserved, 2) repaired when preservation is not possible, and 3) replaced in-kind only when absolutely necessary.

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

582

Other Listings _____

Review Code _____ Reviewer _____

Date _____

Page 1 of 3

Resource Name or #: (Assigned by recorder) Talbert Josselyn Hse.

P1. Other Identifier: _____

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County Monterey
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____

Date _____

T _____

; R _____

1/4 of _____

1/4 of Sec _____

B.M. _____

c. Address: _____

NE cr. Santa Rita & 7th (Josselyn)

City Carmel-by-the-Sea

Zip 93921

d. UTM: (Give more than one for large and/linear resources) _____

mE/ _____

mN _____

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Blk 82 Lot20

Parcel No. 010-043-003

P3. Description (Describe resource and its major elements. Include design, materials, condition, elevations, size, setting, and boundaries)

A one-and-two-story Vernacular residence, irregular in plan, resting on a concrete foundation. The exterior wall cladding is a combination of vertical board-and-batten wood siding with wide, horizontal ship lap wood siding below the water table. The 1943 second floor bedroom is above a one-car garage with vertically planked outwad opening double doors. The low-pitched, stepped cross-gabled roof system has overhanging eaves with exposed rafter-tails, and simple wood facias in the gable ends. Fenestration is irregular, with a combination of fixed, single lights multi-paned wood windows in a variety of sizes, and paired, multi-paned wood casement type windows. There are two sets of wood multi-paned French doors present. They date to the 2013 wood deck additions off the west facing facade and north side-elevation, accessing the decks of the main living area and from a bedroom. There is one interior chimney located on the NE side of the roof plane just east of the junction with the second floor. The principal entry is on the south side-elevation on a raised landing accessed by a straight run wood staircase with a simple rail with balusters. A slight extension of the roof plane provides a door hood for the wood paneled door that has multi-paned glazing above. There are also single access doors on the NE corner of the rear (east) elevation, and one below the small open, wood-post supported second-floor deck, toward the west end of the north side-elevation.

P3b. Resource Attributes: (List attributes and codes) HP2 - Single Family Property

P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Looking NE at the west facing facade, Kent Seavey,
4/16/2015P6. Date Constructed/Age and Sources
☐ Prehistoric ☒ Historic ☐ Both

1940-Mo. Co. Assessor's records

P7. Owner and Address

Donna Koda
615 Harvard Road
San Mateo, CA 94402

P8. Recorded by: (Name, affiliation, and address)

Kent L. Seavey
Preservation Consultant
310 Lighthouse Ave.
Pacific Grove, CA 93950

P9. Date Recorded: 4/22/2015

P10. Survey Type: (Describe)

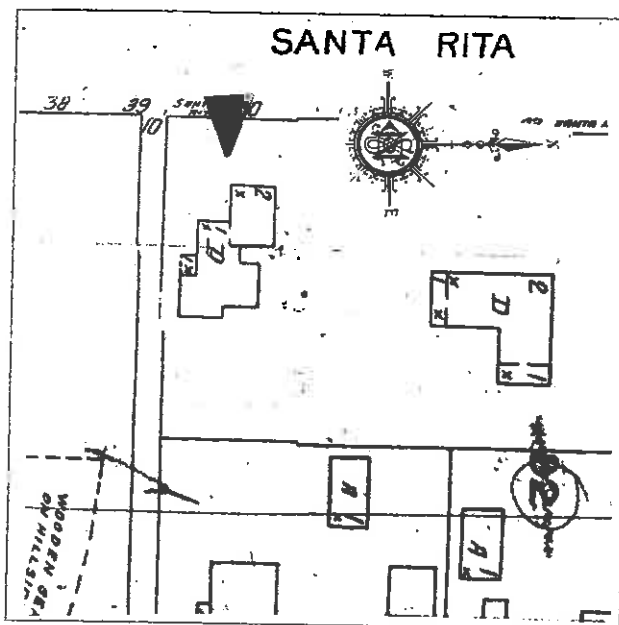
Intensive-CEQA required review

P11. Report Citation: (Cite survey report and other sources, or enter "none")

None

Attachments

☐ NONE☐ Location Map☐ Sketch Map☒ Continuation Sheet☒ Building, Structure, and Object Record☐ Archaeological Record☐ District Record☐ Linear Feature Record☐ Milling Station Record☐ Rock Art Record☐ Artifact Record☐ Photograph Record☐ Other: (List)



CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 3 of 3

Resource Name or #: (Assigned by recorder) *Talbert Josselyn Hse.*

Recorded by: *Kent L. Seavey*

Date *4/22/2015*

☒ Continuation ☐ Update

P3 (cont.) The residence is sited a little back on the east side of Santa Rita on slightly rising ground, in a natural landscape setting of local ground cover and mature oaks and pines. It is partially enclosed by a tall grape stake fence, that borders along Josselyn Trail (7th St. right of way), and the northern end of the Forest Theater grounds. It is located in a wooded neighborhood of one and two-story homes of varying ages, sizes and styles.

B10 (cont.) In 1921 Josselyn co-founded the famous Carmel Abalone League baseball teams, with Thorn Taylor and Charles Van Riper. As noted in Carmel's 2008 Historic Context Statement, these initially informal social games, played shortly after WWI, soon became the first formal softball league in the Western United States. League rules, which Josselyn wrote, required that at least one woman and one child were part of each team, and that the woman played first base, and the child center field. The league continued to function until 1938. Talbert Josselyn was also a significant figure in the internal workings of the village. He was an important member of the group around Mary DeNeale Morgan's successful efforts to have the Carmel Development Company purchase the sand dunes along Carmel beach in 1921-22. Their efforts also saw the acquisition of Carmel's Block 69, which became what is now Devendorf Park. Josselyn built his little Vernacular house near the 1919 family home, and adjacent to the Forest Theater on Santa Rita Street in 1940. He added a garage and second floor bedroom in 1943, and lived out his productive life there with his wife Florence and daughter Barbara, as a professional writer. Minor changes, over time, have not altered the appearance of the residence and anyone who knew Mr. Josselyn would recognize the place today, and the clearly marked Josselyn Trail that separates the home from the Forest Theater. He was an incisive authority on the history and development of Carmel, having been a significant part of it during its formative years, and as his obituary rightly observed, "His perceptive mind absorbed the details of any situation and his accounts of incidents and scenes vividly expressed were a joy to those who talked with him." Talbert Josselyn was exactly the kind of "brain worker" that the promoters of Carmel-by-the-Sea were advertising for to establish an artistic and cultured citizenry in their village in the forest. The 1940 Talbert Josselyn House retains sufficient physical integrity a historic significance, for its association with its owner/builder, nationally known writer and Carmel activist Talbert Josselyn, to qualify for listing in the Carmel Historic Resource Inventory, at the local level of significance, under the theme of Development of Arts & Culture (1903-1965). Its period of significance is 1940-1961.

B12 (cont.)

Hale, Sharron L., *A Tribute To Yesterday*, Valley Publishers: Santa Cruz, CA, 1980.

Monterey Co. Assessor's records, Mo. Co. Assessor's office, Salinas.

Seavey, Kent, *Carmel-A History in Architecture*, Arcadia Publishing; Charleston, SC., 2007.

Talbert Josselyn, Artist & Writers in The unique Magazine, 8/1/2011,

<http://tellerofwierdtales.blogspot.com/2011/08/talbert-josselyn-1886-1961.html>

KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831)375-8739

August 4, 2015

Mr. Marc Weiner / Senior Planner
Carmel Planning & Building Department
City of Carmel by-the-Sea
P.O. Drawer G
Carmel, CA 93921

Dear Mr. Weiner:

Introduction:

This focused Phase II Historic Assessment has been prepared on behalf of Donna Ikeda as part of an application to make alterations and additions to the historic 1940 Talbert Josselyn Hse., a vernacular residence located at the NE cr. of Santa Rita & 7th. (APN# 010-043-009), in Carmel, for consistency of the proposed changes with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (see plans & drawings, and supporting documentation provided).

The Secretary's Standards identify four primary treatment approaches to historic buildings. They are Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation is the Standard being employed for the Talbert Josselyn Hse. project.

Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The Secretary's Standards encourages "placing a new addition on a non-character-defining elevation." and locating alterations to historic properties in areas where previous alterations already exist.

As stated in the 1992 National Park Service *Illustrated Guidelines for Rehabilitating Historic Buildings*, "The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility."

Historical Background & Description:

The subject property is a vernacular residence constructed by owner/builder Talbert Josselyn, a nationally known sports and pulp fiction writer. Mr. Josselyn was also deeply involved with the cultural life of Carmel throughout his lifetime. It is significant, at the local level, for its association with Mr. Josselyn during a productive period of his life. It falls under the Arts and Culture in Carmel (1904-1965) classification of themes in the 2008 Carmel-By-The-Sea Historic Context Statement. Its period of significance is 1940 (see California DPR 523 documentation provided).

The one-and-two-story dwelling is irregular in plan, resting on a concrete foundation. The exterior wall cladding is a combination of vertical board-and-batten wood siding with wide, horizontal ship lap wood siding below the water table. The 1943 second floor bedroom is above a one-car garage with vertically planked outward opening double doors.

The low-pitched, stepped cross-gabled roof system has overhanging eaves with exposed rafter-tails, and simple wood fascias in the gable ends.

Fenestration is irregular, with a combination of fixed, single light, multi-paned wood windows in a variety of sizes, and paired, multi-paned wood casement type windows. There are two sets of wood multi-paned French doors present. They date to the 2013 wood deck additions off the west facing facade and north side-elevation, accessing the decks of the main living area and from a bedroom. There is one interior chimney located on the NE side of the roof plane just east of the junction with the second floor. The principal entry is on the south side-elevation on a raised landing accessed by a straight run wood staircase with a simple rail with balusters. A slight extension of the roof plane provides a door hood for the wood paneled door that has multi-paned glazing above. There are also single access doors on the NE corner of the rear (east) elevation, and one below the small open, wood-post supported second-floor deck, toward the west end of the north side-elevation.

The residence is sited a little back on the east side of Santa Rita on slightly rising ground, in a natural landscape setting of local ground cover and mature oaks and pines. It is partially enclosed by a tall grape stake fence, that borders along Josselyn Trail (7th St. right of way), and the northern end of the Forest Theater grounds. It is located in a wooded neighborhood of one and two-story homes of varying ages, sizes and styles.

Character defining features include its irregular plan; vertical board-and-batten wood siding; low-pitched and stepped cross-gabled roof system with wood shakes, and multi-paned wood casement windows. Two sets of French doors, with open wood decks, consistent in design with the Secretary's Standards for Rehabilitation, were added in 2013.

Evaluation:

The proponent proposes an eastward expansion of the rear elevation by approx. one bay in depth, with a new floor coverage of about 280 Sq. Ft., to provide space for a modern kitchen, master bedroom and bath. The work will even the line of the north side-elevation east of the 1957 dining room bay to the end of the proposed addition. Two small, glazed roof gables, above the kitchen space will bring light into the interior, and provide egress to the north side-yard (see photos and plans & drawings provided).

The proposed work will reuse, to the extent feasible, existing historic windows or doors to be removed from the current rear elevation, consistent with Rehabilitation Standards #5, #9 & #10 (see copy of the Secretary of the Interior's Standards for Rehabilitation provided).

As noted above, the Standards recommend new additions be placed on secondary elevations, and where alteration has already occurred. The proposed changes to the subject property are on secondary and altered elevations.

Impacts of the Proposed Project:

The following section provides a description of the proposed project and an analysis of the effects of the project impacts on the historic resource.

FRONT (WEST) ELEVATION (primary, altered)

The only proposed change to the front elevation would be an approximately two foot bump out of the new bedroom space at the rear of the existing building envelope on the south side-elevation, to differentiate the old construction from the new, consistent with Rehabilitation Standard #9.

SOUTH SIDE-ELEVATION (secondary, altered)

As proposed, the new addition along this elevation would extend the building envelope about ten feet toward the east, matching and extending the existing roof covering. The exterior wall cladding would be board-on-board, resting on a raised concrete foundation that will be board-formed to match the lines of the existing horizontal wood skirt boards. Both the wall-cladding and the new concrete foundation will reflect character-defining features of the original building envelope, but be clearly differentiated from the old, consistent with Rehabilitation Standards #2, #9 & #10.

The proposed windows for this elevation will also be differentiated from, but compatible with the original fenestration (see photos and plans & drawings provided).

NORTH SIDE-ELEVATION (secondary, altered)

As proposed the new addition along this elevation would extend the building envelope about sixteen feet toward the east, matching and extending the current roof form and covering, creating an apron fronting an existing gable, which will be glazed in its apex to bring light into the new kitchen.

The board-on-board exterior wall cladding will enclose a small existing shed-roofed utility room and provide needed space for the new kitchen, including a door accessing the side yard, with a simple open landing. If feasible, the existing windows will be reused in the expansion so there will be little visual change to the elevation (see photos and plans & drawings provided).

EAST (REAR) ELEVATION (secondary, altered)

The existing rear elevation steps slightly from south to north toward the west. The proposed addition will somewhat extend that stepped appearance with the front-gabled bedroom on the south side, and an aproned front gable, similar in appearance to that on the north side-elevation, on the north side of the rear elevation.

The roof apron on the rear elevation will overhang a small, angled bay, similar in appearance to the 1957 dining room bay on the north side-elevation, as a kitchen dining nook. The roof apron will also act as a door-hood over glazed French doors, set between the two gabled features, for access to the rear yard (see photos and plans & drawings provided).

The subject property was listed as an historic resource for its association with a significant Carmel personage, Talbert Josselyn. The vernacular residence has undergone several physical changes over time that have been sufficiently consistent with its vernacular design character to convey a strong sense of time and place and of feeling and association with the earlier cultural life of the village. In particular its location and setting in a wooded grove immediately adjacent to the Forest Theater, where Mr. Josselyn took part in dramatic productions.

The proposed alterations and additions to the subject property essentially reflect the vernacular character, materials and workmanship found in the existing building. The owner intends to reuse such historic fabric, particularly windows and doors proposed for removal, as feasible, for reuse in the project.

The Secretary's Standards for Rehabilitation recommend designing and installing additional entrances, or porches when required for the new use in a manner that preserves the historic character of the building(s), i.e. limiting such alteration to non character-defining elevations. The rear of the subject property is an altered, secondary elevation, and therefore can be considered non-character-defining.

The Secretary's Standards for Rehabilitation also recommend designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserve the historic relationship between a building or buildings, landscape features, and open space. This certainly appears to be the case with the well thought out additions proposed for the subject property.

As noted above, the proposed work will be executed consistent with the Secretary of the Interior's Standards for Rehabilitation, with the least possible loss of historic material so that the remaining character-defining features of the historic resource will not be obscured, damaged or destroyed. As proposed the new work will not cause a significant change to the historic building and will not create a significant adverse effect on the environment.

Mitigation:

The proposed project appears to be in conformance with the Secretary of the Interior's Standards for the treatment of Historic Properties under the standard for Rehabilitation (see supporting documentation attached).

As proposed, the project will have no significant adverse affect on the historic property or its environment. The only mitigation recommended would be measured drawings of the existing rear elevation as part of the approved plan set, no further mitigation is needed for this project.

Respectfully Submitted,

A handwritten signature in blue ink, reading "Kent S. Searcy". The signature is written in a cursive style with a long, sweeping underline.

Talbert Josselyn Hse.-Carmel
(NE cr. Santa Rita & 7th, Blk 82 Lot 20)



Photo #1. Looking NE at the west facing facade,
Kent Seavey, April, 2015.



Photo #2. Looking NE at the south side-elev.,
Kent Seavey, April, 2015.



**Photo #3. Looking SE at the north side-elev.,
Kent Seavey, April, 2015.**



**Photo #4. Looking SE at the 1957 angled bay on the
north side-elev., Kent Seavey, April, 2015.**



**Photo #5. Looking NW at the rear (east) elevation,
Kent Seavey, April, 2015.**

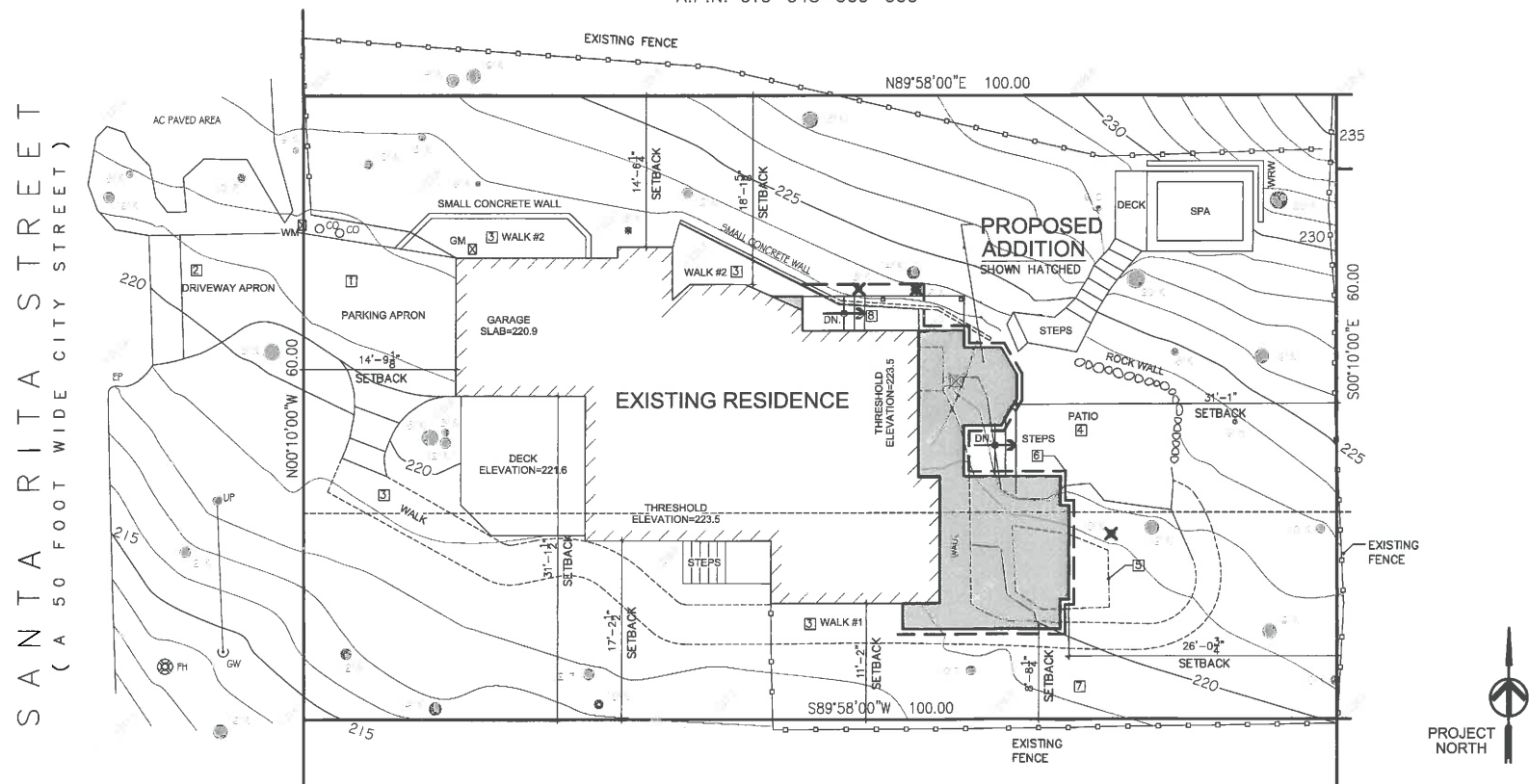
SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**
- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.**
- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.**
- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.**
- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**
- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**
- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**
- 10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**



IKEDA RESIDENCE

SANTA RITA 9 SE OF OCEAN
A.P.N. 010-043-009-000



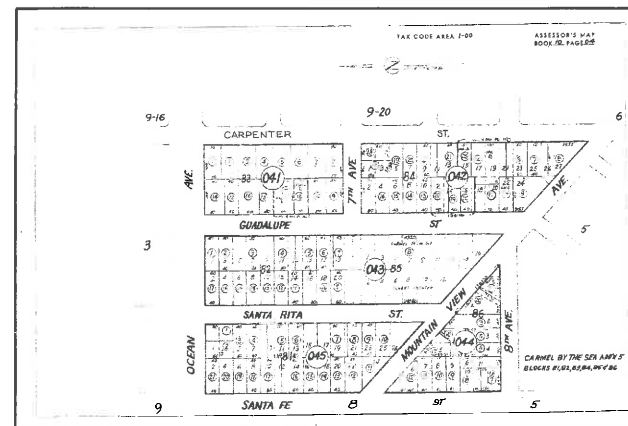
PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"

- 1 DEMO (E) DRIVE REPLACE w/ PERMEABLE SURFACE PER CITY ORDINANCE
- 2 DEMO (E) IMPERMEABLE CONCRETE WITHIN THE CITY R.O.W. REPLACE w/ A 3'-0" STRIP OF ASPHALT AND DECOMPOSED GRANITE IN THE REMAINING PORTION
- 3 DEMOLISH EXISTING CONCRETE WALK AND REVISE TO DECOMPOSED GRANITE
- 4 DEMOLISH EXISTING CONCRETE PATIO AND REVISE TO DECOMPOSED GRANITE
- 5 REMOVE EXISTING CARMEL STONE PATIO
- 6 4" RIGID PVC PIPE FOUNDATION DRAIN
- 7 6'-0" DISPERSION FLUME
- 8 NEW CONCRETE STOOP AND ROOF ABOVE



AERIAL MAP



ASSESSORS MAP

PROJECT INFORMATION

ZONING:

R-1 WITH A PARK OVER-LAY

ADDRESS:

9 SE OF OCEAN ON SANTA RITA
BLOCK 82 LOT 20 & NORTH PART OF ABANDONED 7th AVE.
ABUTTING FOREST THEATER PARK

APN:

010-043-009

LOT AREA:

LOT AREA = 6,000.00 S.F.

FLOOR AREA:

EXISTING	ALLOWED -	2,460.00 S.F.
MAIN		758.18 S.F.
UPPER		289.75 S.F.
GARAGE		274.66 S.F.
TOTAL AREA =		1,322.59 S.F.
PROPOSED		
ADDITION		286.64 S.F.
TOTAL AREA =		1,609.23 S.F.

SITE COVERAGE:

IMPERVIOUS COVERAGE	
(E) DECK @ FRONT	156.30 S.F.
(E) CONCRETE PATIO	206.10 S.F.
(E) SPA, DECK & STAIR	166.10 S.F.
TOTAL AREA =	528.5 S.F.
PERVIOUS COVERAGE	
DRIVEWAY	187.00 S.F.
WALKWAY #1	373.00 S.F.
WALKWAY #2	106.90 S.F.
PATIO (FLAGSTONE) TO BE REMOVED	0.00 S.F.
TOTAL PERVIOUS	669.90 S.F.
TOTAL AREA =	1,210.90 S.F.

SHEET INDEX

- A1.0 SITE PLAN & PROJECT DATA
- A1.1 FLOOR LEVEL MAP & DEMO. PLAN
- A2.0 (E) FLOOR PLANS
- A2.1 (P) FLOOR PLANS
- A2.2 (P) ROOF & FOUNDATION PLAN

- A3.0 (E) ELEVATIONS
- A3.1 (P) ELEVATIONS
- A3.2 (E) & (P) SECTIONS

- L1.0 LANDSCAPE PLAN
- SU1 SURVEY

RECEIVED

JUL 10 2015

City of Carmel-by-the-Sea
Planning & Building Dept.

THOMAS BATEMAN HOOD
ARCHITECTS

THOMAS BATEMAN HOOD, AIA

8990 Carmel Valley Road
Carmel CA, 93923
831-622-9912
tom@t-hood.com

www.thomasbatemanhood.com

PROJECT:
ALTERATIONS & ADDITIONS
TO
IKEDA RESIDENCE
SANTA RITA 9 SE OF OCEAN
CARMEL-BY-THE-SEA, CA.
A.P.N. 010-043-009-000

OWNER:
DONNA IKEDA
615 HARVARD ROAD
SAN MATEO, CA

REVISIONS:

OWNERSHIP AND USE OF
ARCHITECT'S DOCUMENTS

The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies, of the architect's drawings, specifications and other documents for information and reference in connection with the owners use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD

DRAWN BY

PRINT DATE 7-10-15

DRAWING DATE 7-1-15

PAGE TITLE:

SITE PLAN

SHEET:

A1.0
OF SHEETS

THOMAS BATEMAN HOOD, AIA

8990 Carmel Valley Road
Carmel CA, 93923
831-622-9912
tom@t-hood.com
www.thomasbatemanhood.com

PROJECT:
ALTERATIONS & ADDITIONS
TO
IKEDA RESIDENCE
SANTA RITA 9 SE OF OCEAN
CARMEL-BY-THE-SEA, CA.
A.P.N. 010-043-009-000

OWNER:
DONNA IKEDA
615 HARVARD ROAD
SAN MATEO, CA

REVISIONS:

OWNERSHIP AND USE OF
ARCHITECT'S DOCUMENTS

The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies, of the architect's drawings, specifications and other documents for information and reference in connection with the owners use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP :




THOMAS BATEMAN HOOD

DRAWN BY: _____
PRINT DATE: 7-10-15
DRAWING DATE: 7-1-15

PAGE TITLE:
FLOOR LEVEL MAP
AND DEMOLITION PLAN
1/4" = 1'-0"


SHEET :
A1.1
OF _____ SHEETS

HATCH INDEX

	UPPER LEVEL OVERLAPPING LOWER LEVEL	289.75 SQ. FT x 2 x 11	=	6,374.50 CU. FT.
	SINGLE LEVEL FLAT ROOF	273.10 SQ. FT x 11	=	3,003.77 CU. FT.
	SINGLE LEVEL	762.00 SQ. FT x 12	=	9,144.00 CU. FT.
		TOTAL ALLOWED VOLUME	=	18,522.27 CU. FT.
		TOTAL PROPOSED VOLUME	=	18,645.58 CU. FT.
		OVER BY		123.31 CU. FT.

PROPOSED FLOOR LEVEL MAP




SCALE: 1/4"=1'-0"



DEMOLITION NOTES


- DEMOLITION PLAN AND NOTES SHOW GENERAL DEMOLITION REQUIREMENTS AND ARE NOT INTENDED TO BE A COMPLETE AND EXHAUSTIVE INDICATION OF ALL ITEMS TO BE REMOVED OR DEMOLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING MATERIALS REQUIRED TO PROVIDE FOR NEW CONSTRUCTION AS SHOWN OR AS INTENDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIALS.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER ON ANY MATERIALS, EQUIPMENT, ECT. TO BE SALVAGED AND KEPT BY THE OWNER.
- VERIFY CONDITION OF EXISTING FRAMING, SHEATHING, ROOFING, AND OTHER MATERIALS. NOTIFY THE DESIGNER OF ANY DAMAGED, DECAYED, OR SUBSTANDARD MATERIALS WHICH REQUIRE REPLACEMENT AND ARE NOT INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY EXISTING CONDITIONS WHICH ARE IN VARIANCE WITH THESE PLANS OR WHICH WILL AFFECT THE DESIGN INTENT OF THE NEW CONSTRUCTION AS SHOWN IN THE DRAWINGS OR SPECIFICATIONS.
- REMOVE INTERIOR FINISHES INCLUDING FLOORING, WALL FINISHES, BASES, CEILINGS AS REQUIRED FOR INSTALLATION OF NEW FINISHES.
- REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, LIGHT FIXTURES, ECT. AS REQUIRED. REFER TO ELECTRICAL PLAN FOR NEW REQUIREMENTS.

DEMOLITION INDEX

	WALL TO BE BUILT
	WALLS TO BE REMOVED
	WALLS TO REMAIN

PROPOSED DEMOLITION PLAN

SCALE: 1/4"=1'-0"



THOMAS BATEMAN HOOD, AIA

8990 Carmel Valley Road
Carmel CA, 93923
831-622-9912
tom@t-hood.com
www.thomasbatemanhood.com

PROJECT:
ALTERATIONS & ADDITIONS
TO
IKEDA RESIDENCE
SANTA RITA 9 SE OF OCEAN
CARMEL-BY -THE-SEA, CA.
A.P.N. 010-043-009-000

OWNER:
DONNA IKEDA
615 HARVARD ROAD
SAN MATEO, CA

REVISIONS:

NO.	DESCRIPTION

OWNERSHIP AND USE OF
ARCHITECT'S DOCUMENTS

The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies, of the architect's drawings, specifications and other documents for information and reference in connection with the owners use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

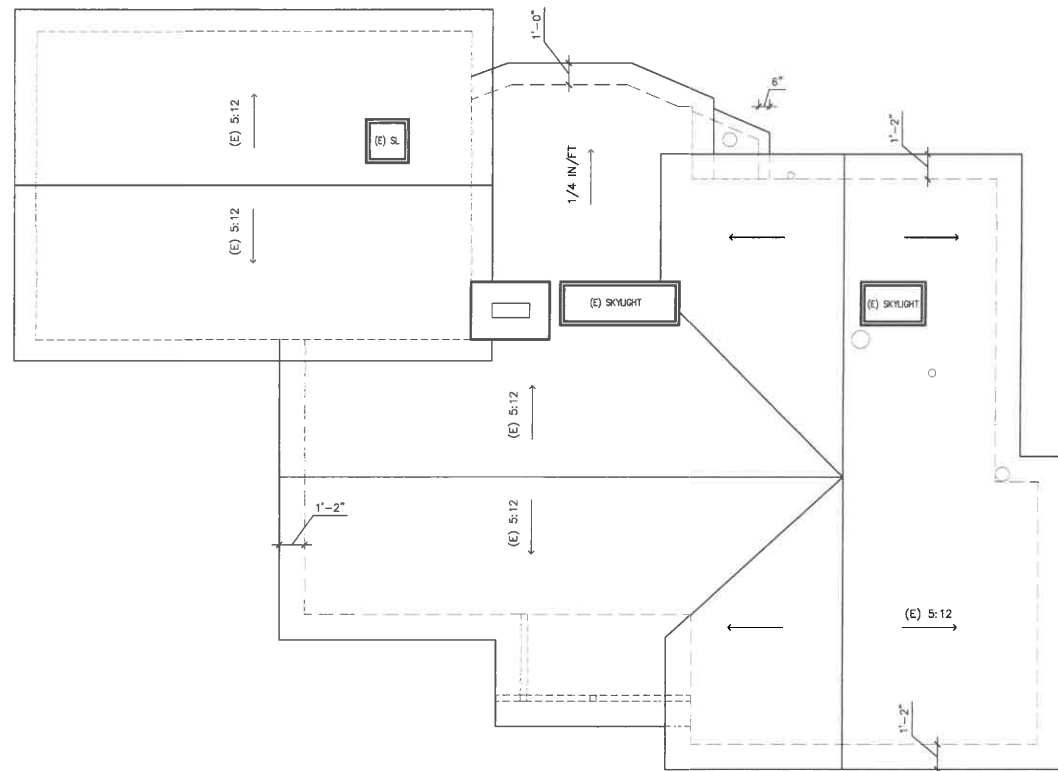
ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD

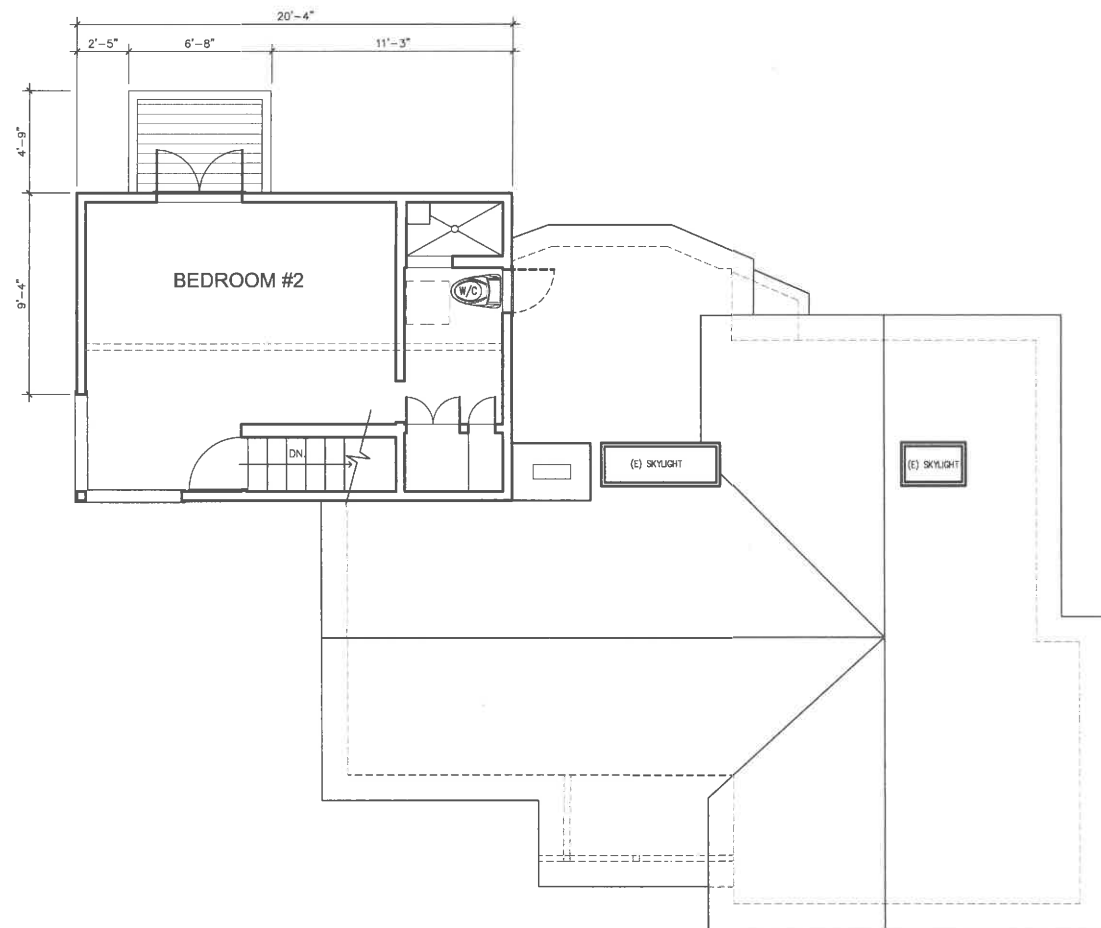
DRAWN BY _____
PRINT DATE 7-10-15
DRAWING DATE 7-1-15

PAGE TITLE:
**EXISTING
FLOOR PLANS**
1/4" = 1'-0"

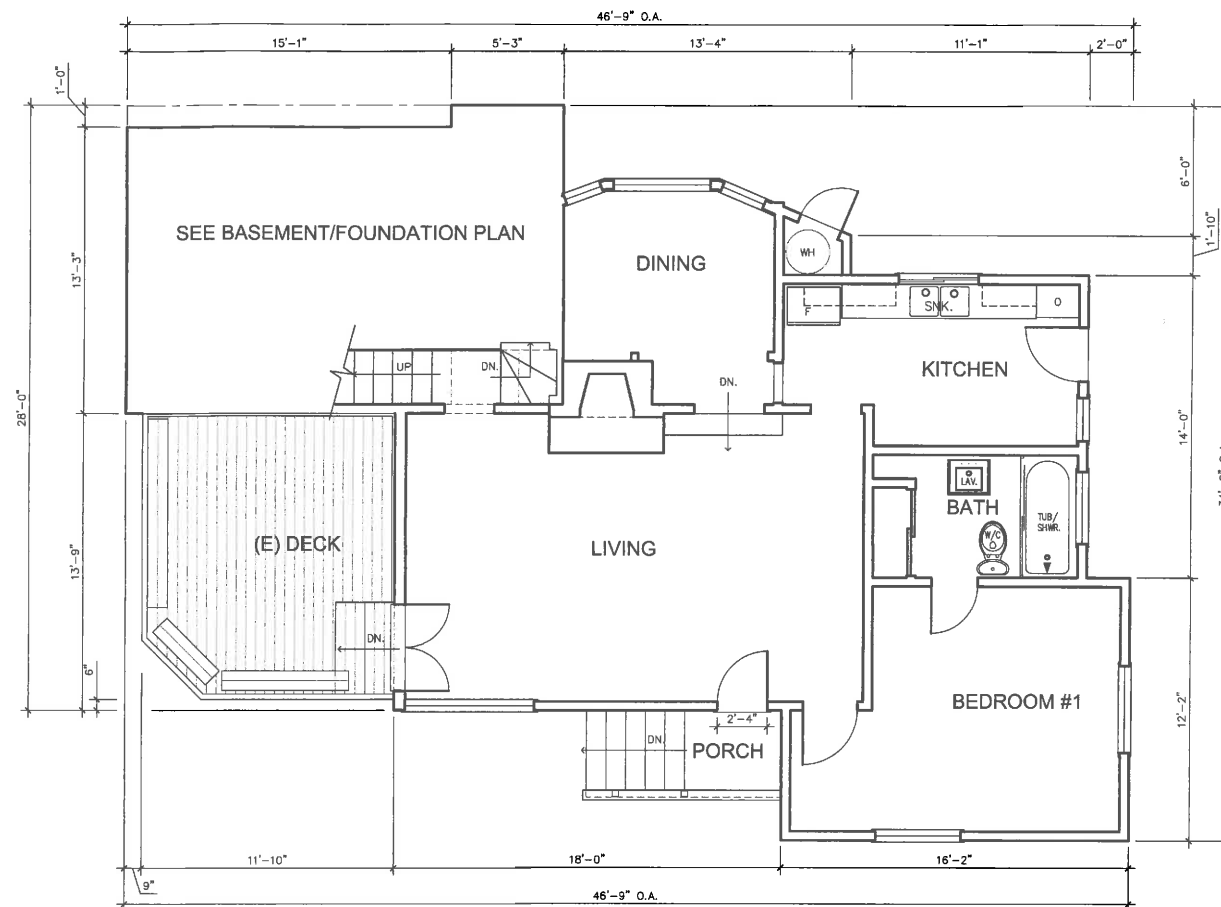
SHEET:
A2.0
OF _____ SHEETS



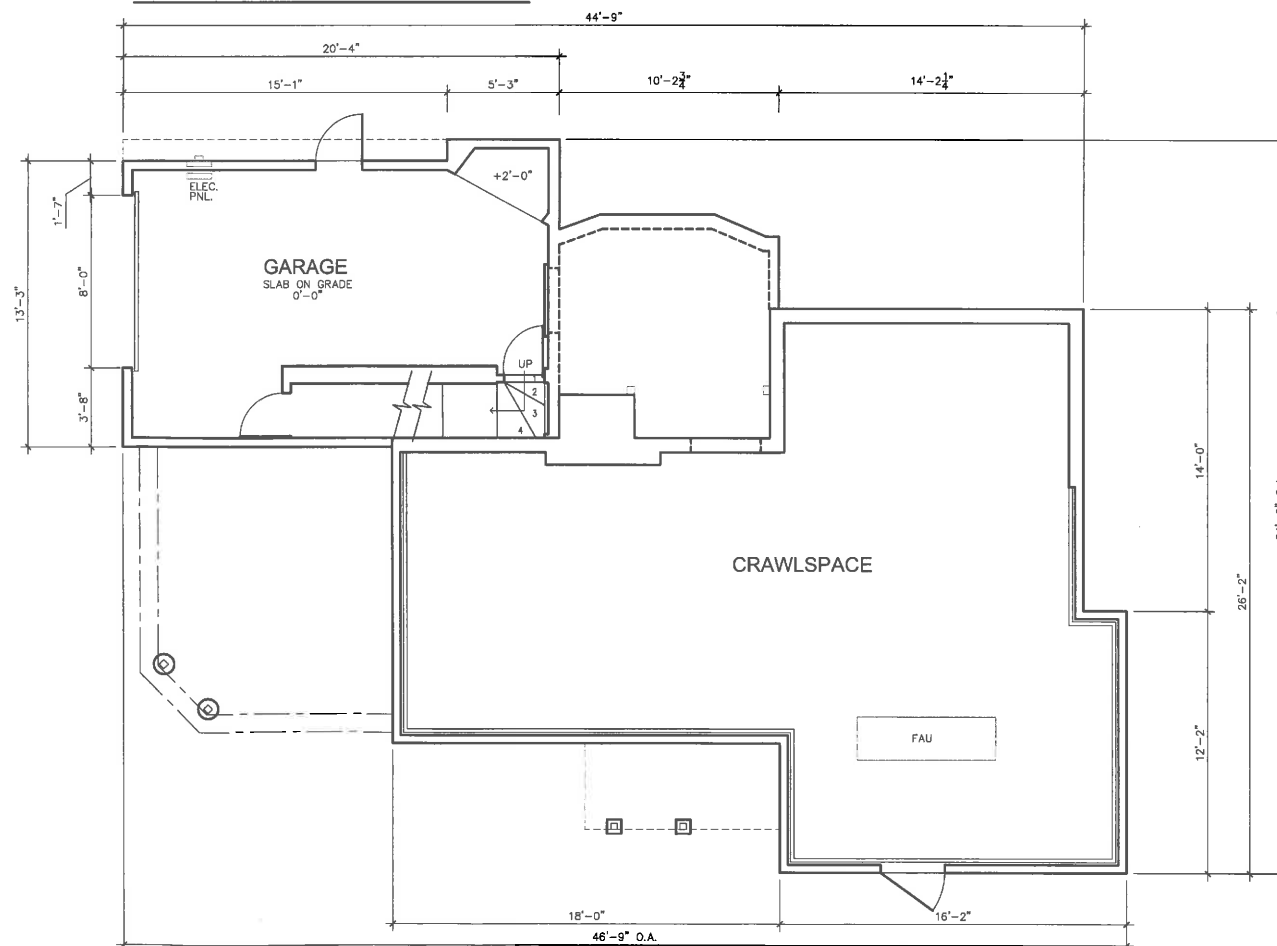
ROOF PLAN



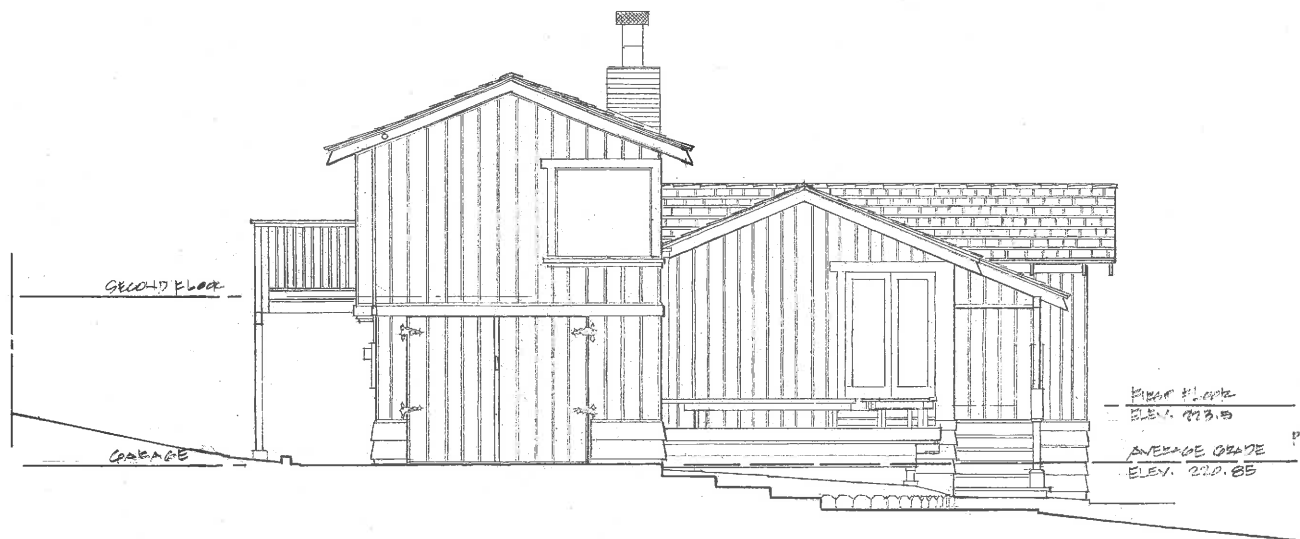
SECOND FLOOR PLAN



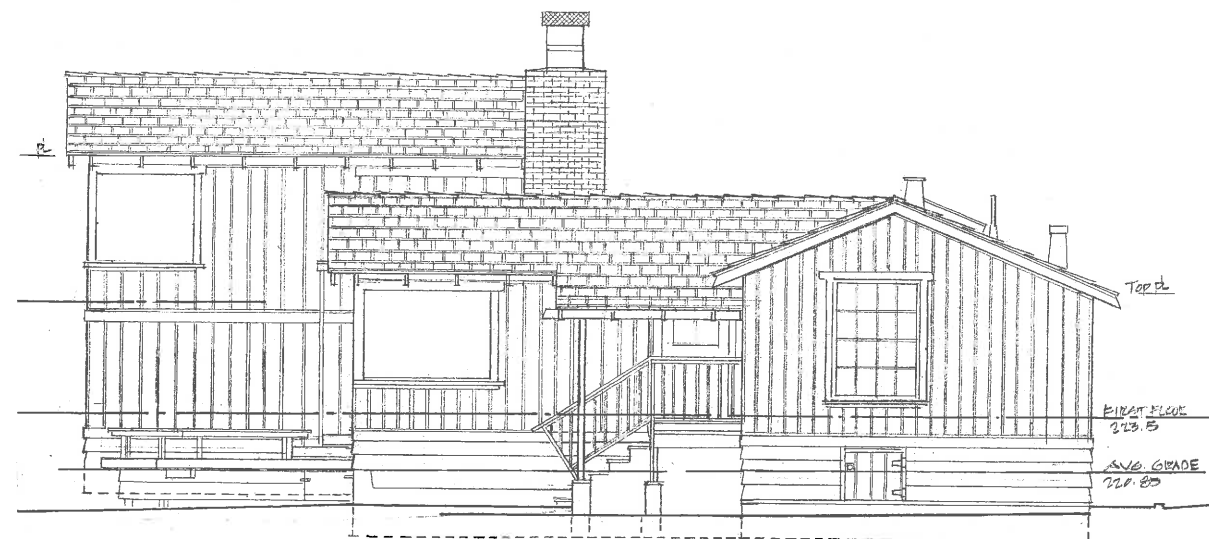
FIRST FLOOR PLAN



BASEMENT AND FOUNDATION PLAN



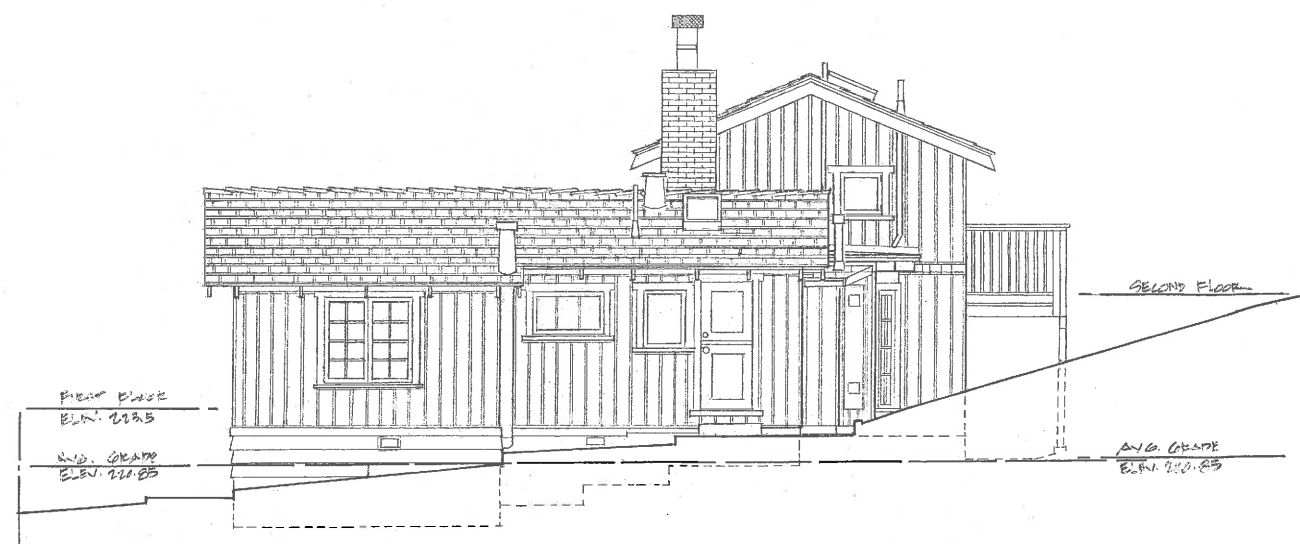
EXISTING WEST (STREET) ELEVATION



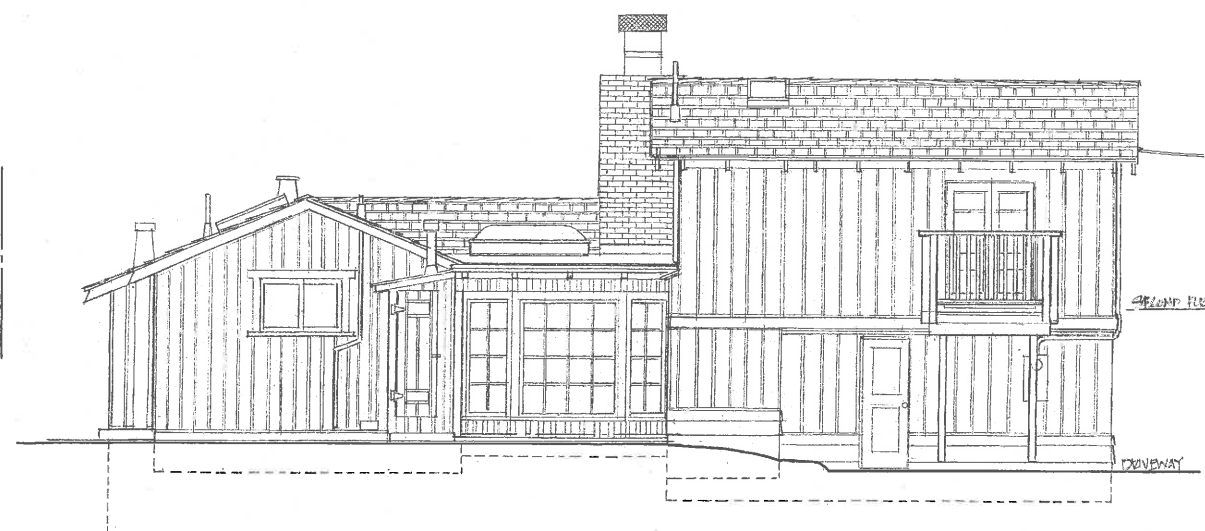
EXISTING SOUTH (SIDE) ELEVATION

EXISTING MAJOR MATERIALS

1. 1 X 8 AND 1 X 10 BOARDS WITH 1-1/2" X 1/4" BATTENS; 1 X 4 BATTENS ON 1958 ADDITION.
2. RANDOM WIDTH BEVELED HORIZONTAL SHIP LAP SIDING BELOW WATER TABLE.
3. PAINTED WOOD WINDOWS OF VARYING SIZES AND TYPES.
4. 4 X 6 DOUG FIR RAFTER TAILS AT 2'-5" CENTERS; 1 X 8 AND 1 X 10 DECKING.
5. SPLIT SHAKE ROOF.



EXISTING EAST (REAR) ELEVATION



EXISTING NORTH (SIDE) ELEVATION

THOMAS BATEMAN HOOD, AIA

8990 Carmel Valley Road
Carmel CA, 93923
831-622-9912
tom@t-hood.com
www.thomasbatemanhood.com

PROJECT:
ALTERATIONS & ADDITIONS
TO
IKEDA RESIDENCE
SANTA RITA 9 SE OF OCEAN
CARMEL-BY- THE-SEA, CA.
A.P.N. 010-043-009-000

OWNER:
DONNA IKEDA
815 HARVARD ROAD
SAN MATEO, CA

REVISIONS:

OWNERSHIP AND USE OF ARCHITECT'S DOCUMENTS

The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies, of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD

DRAWN BY _____
PRINT DATE 7-10-15
DRAWING DATE 7-1-15

PAGE TITLE:
EXISTING ELEVATIONS

SHEET:
A3.0
OR SHEETS

THOMAS BATEMAN HOOD, AIA

8990 Carmel Valley Road
Carmel CA, 93923
831-622-9912
tom@t-hood.com
www.thomasbatemanhood.com

PROJECT:
ALTERATIONS & ADDITIONS
TO
IKEDA RESIDENCE
SANTA RITA 9 SE OF OCEAN
CARMEL-BY THE SEA, CA.
A.P.N. 010-043-009-000

OWNER:
DONNA IKEDA
615 HARVARD ROAD
SAN MATEO, CA

REVISIONS:

OWNERSHIP AND USE OF
ARCHITECT'S DOCUMENTS

The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies, of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD

DRAWN BY

PRINT DATE 7-10-15

DRAWING DATE 7-1-15

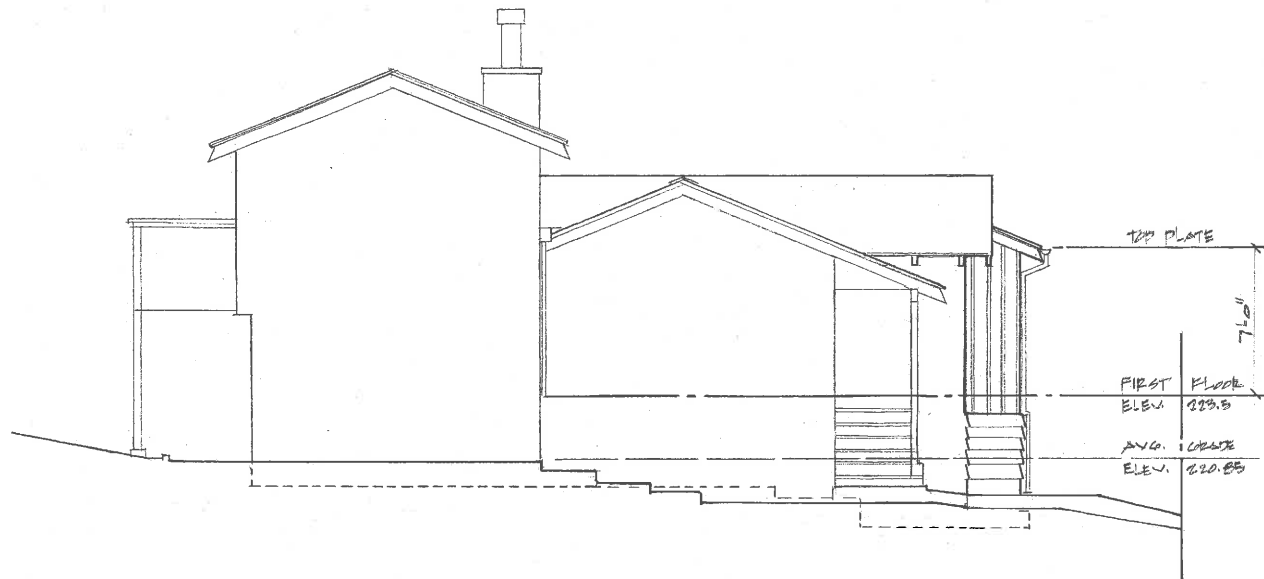
PAGE TITLE:

PROPOSED ELEVATIONS

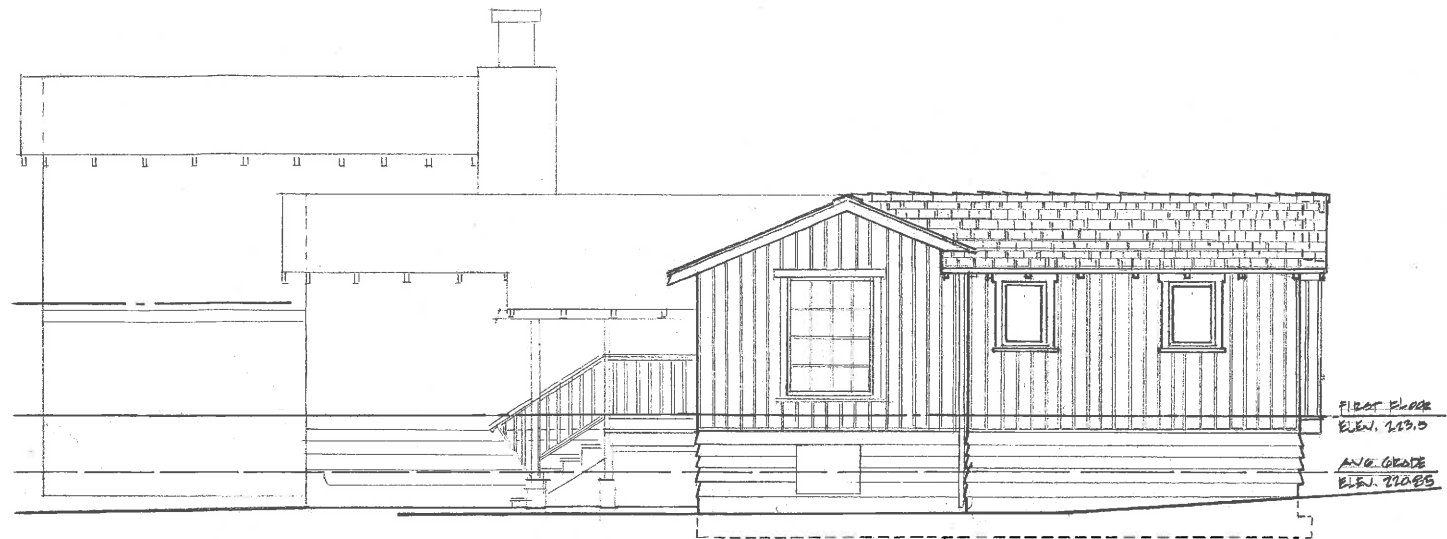
SHEET:

A3.1

OF SHEETS



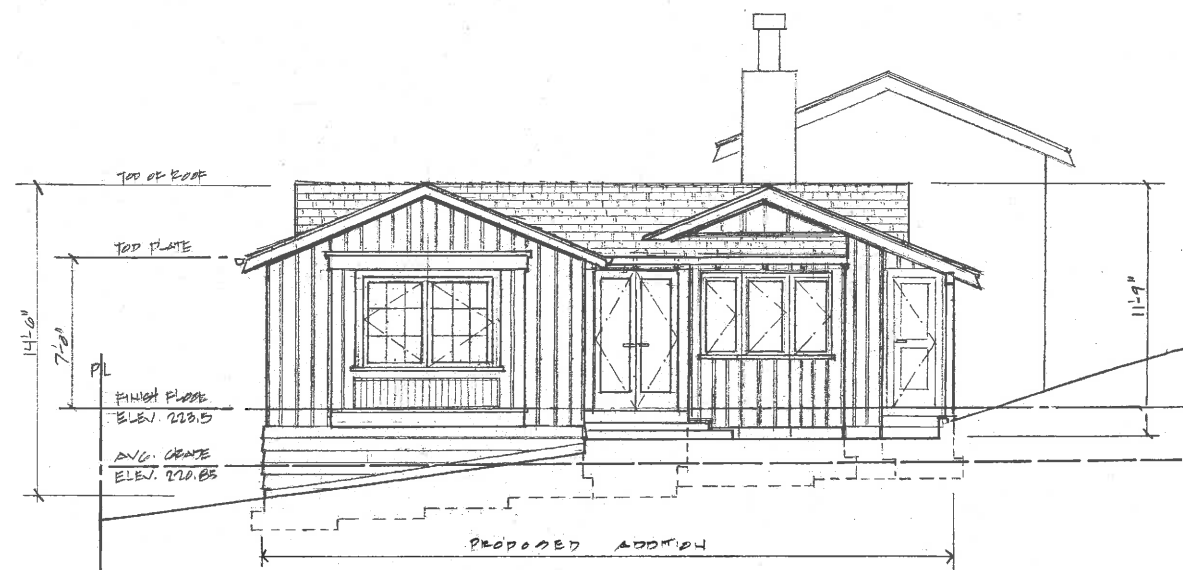
PROPOSED WEST (STREET) ELEVATION



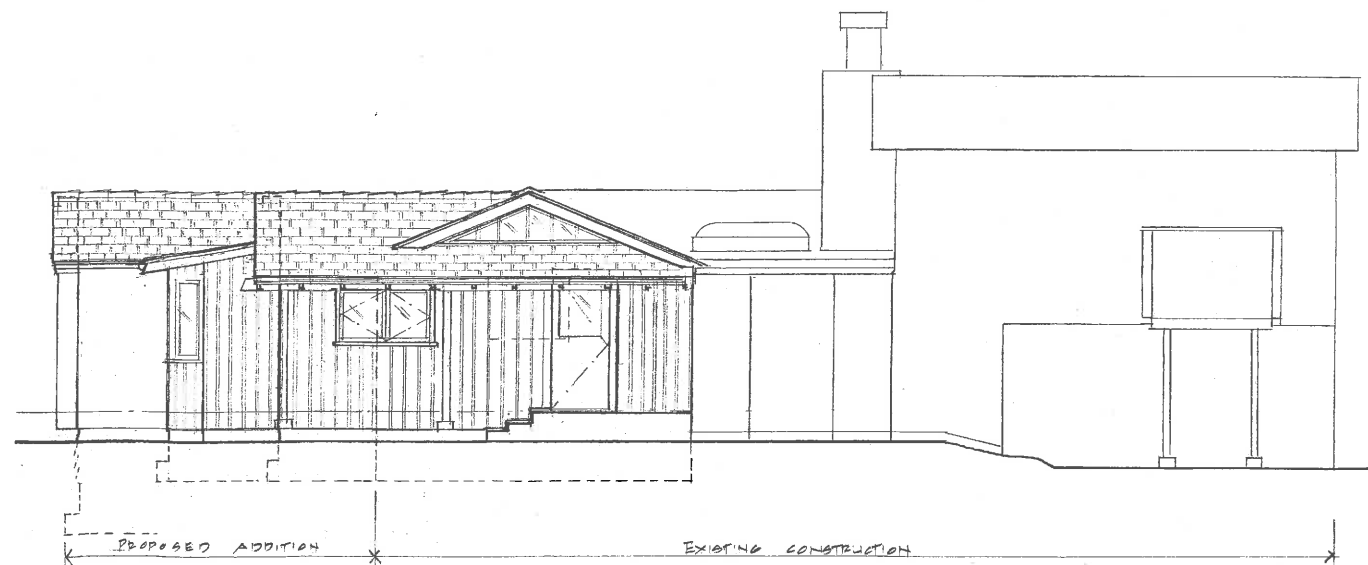
PROPOSED SOUTH (SIDE) ELEVATION

PROPOSED MAJOR MATERIALS

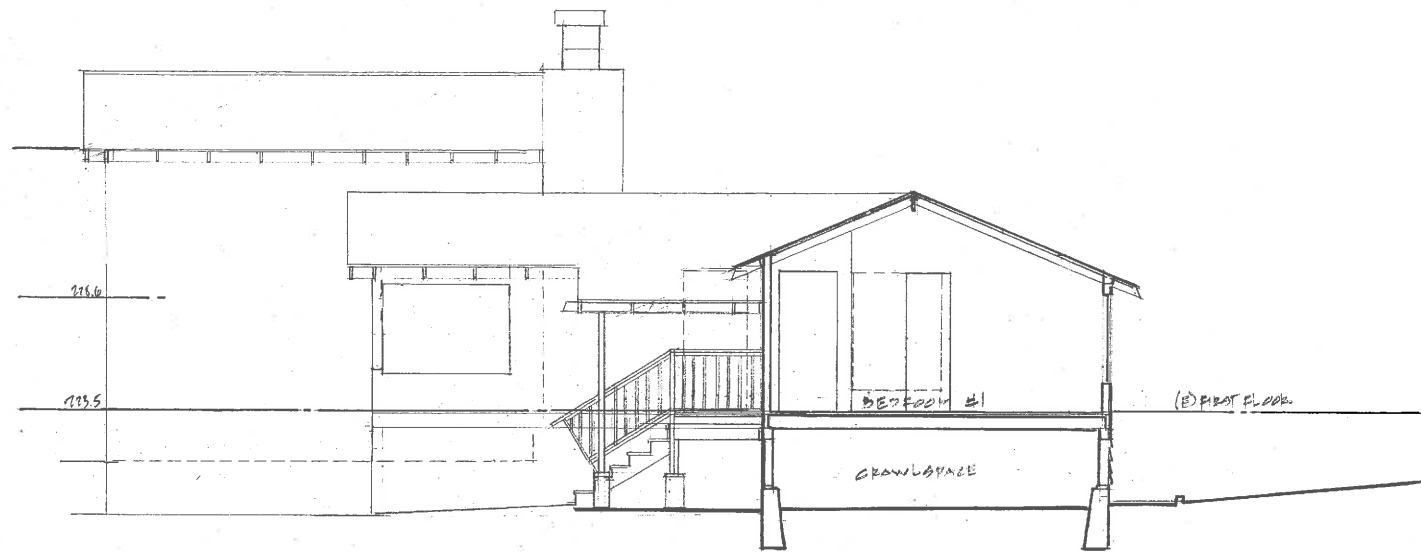
1. 8" WIDE BOARD ON BATTEN WOOD SIDING (OPPOSITE FROM EXISTING).
2. BOARD FORMED CONCRETE FOUNDATION BELOW THE WATER TABLE.
3. PAINTED WOOD WINDOWS. STYLES AND SIZES SEE SCHEDULE, SHEET A2.1.
4. 4 X 6 DOUG FIR RAFTER TAILS AT 24" CENTERS; 1X6 T & G FIR DECKING.
5. COPPER GUTTERS AND DOWNSPOUTS.
6. SPLIT SHAKE ROOF - MATCH EXISTING.



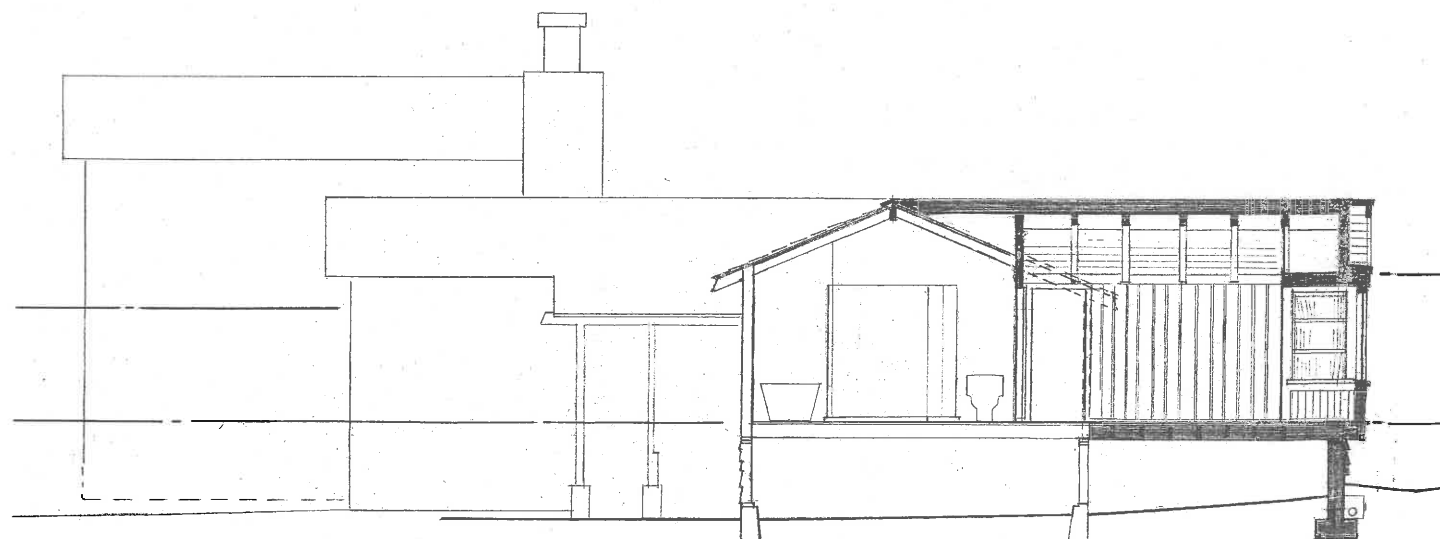
PROPOSED EAST (REAR) ELEVATION



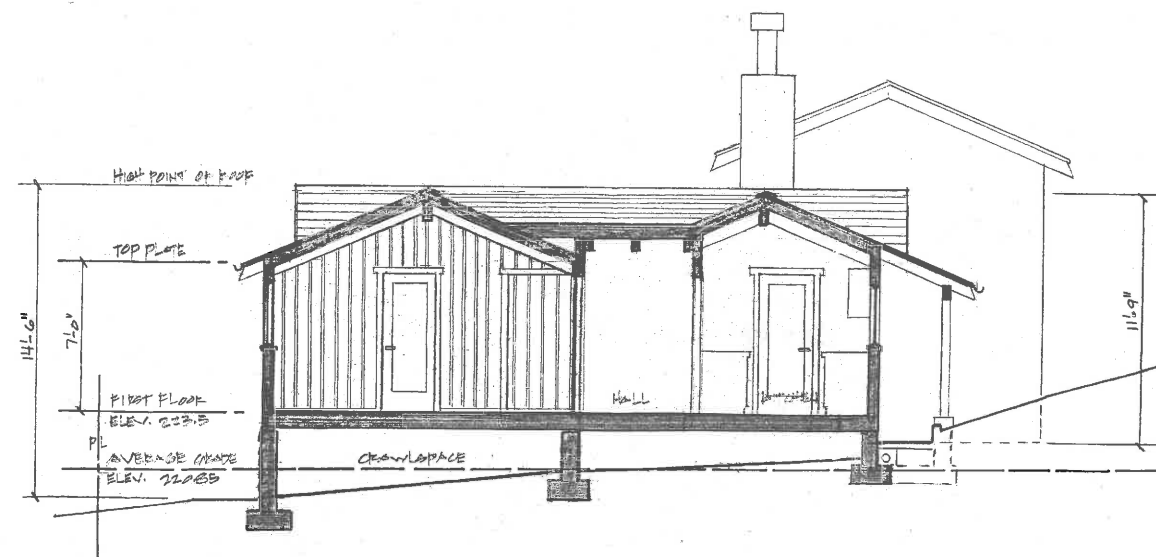
PROPOSED NORTH (SIDE) ELEVATION



SECTION VIEW NORTH AT BEDROOM #1



PROPOSED SECTION VIEW NORTH AT BEDROOM #1



PROPOSED SECTION VIEW WEST AT BEDROOM #1

THOMAS BATEMAN HOOD, AIA

8990 Carmel Valley Road
Carmel CA, 93923
831-622-9912
tom@t-hood.com

www.thomasbatemanhood.com

PROJECT:
ALTERATIONS & ADDITIONS
TO
IKEDA RESIDENCE
SANTA RITA 9 SE OF OCEAN
CARMEL-BY-SEA, CA.
A.P.N. 010-043-009-000

OWNER:
DONNA IKEDA
615 HARVARD ROAD
SAN MATEO, CA

REVISIONS:

OWNERSHIP AND USE OF
ARCHITECT'S DOCUMENTS

The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies, of the architect's drawings, specifications and other documents for information and reference in connection with the owners use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD

DRAWN BY _____
PRINT DATE 7-10-15
DRAWING DATE 7-1-15

PAGE TITLE:

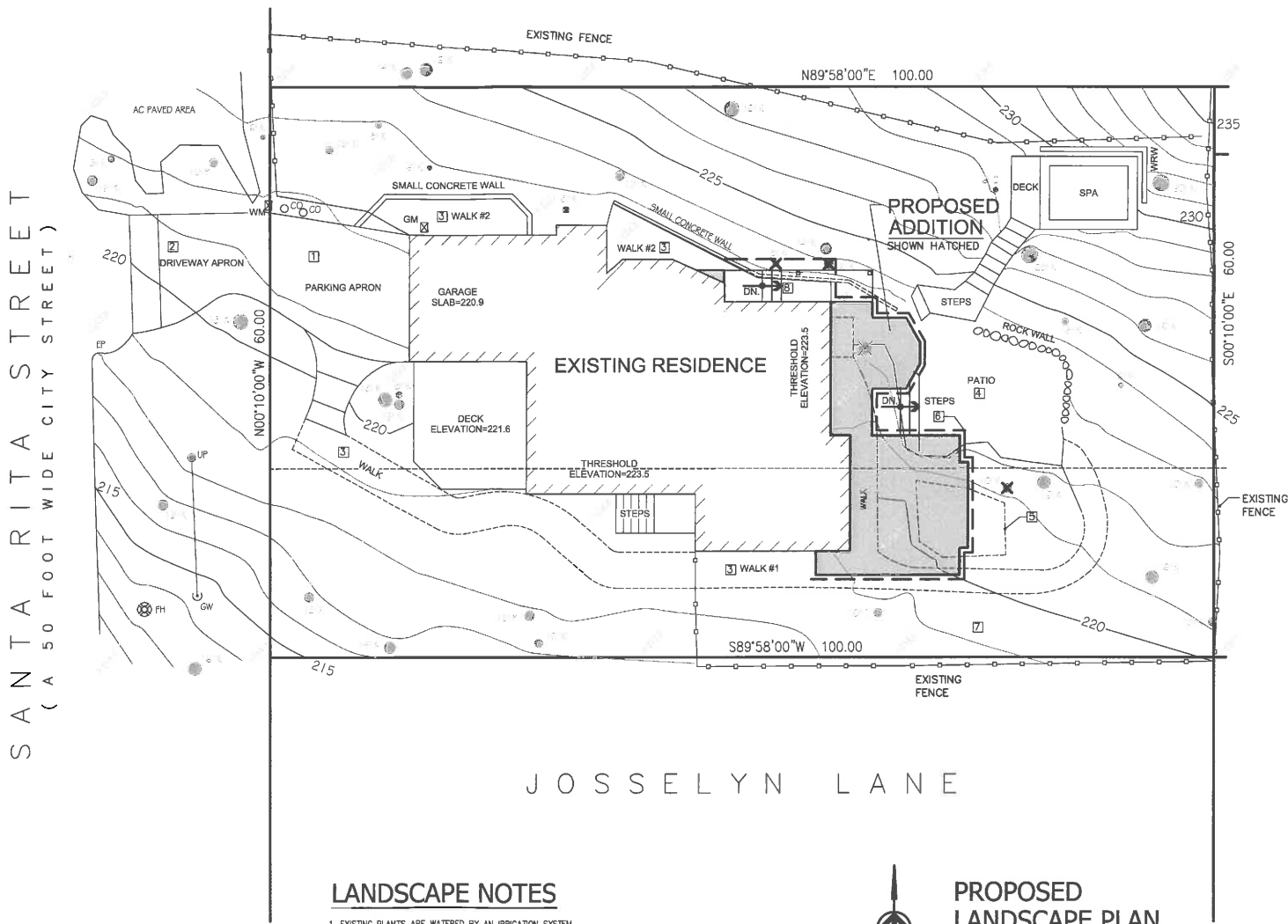
EXISTING AND
PROPOSED SECTIONS

SHEET:

A3.2

OF _____ SHEETS

IKEDA RESIDENCE



LANDSCAPE NOTES

1. EXISTING PLANTS ARE WATERED BY AN IRRIGATION SYSTEM.
2. THERE ARE NO PROPOSED ALTERATIONS TO THE EXISTING LANDSCAPE PLANT MATERIALS OR IRRIGATION SYSTEM.
3. NO NEW PLANT MATERIAL IS PROPOSED.
4. FOUR OAKS HAVE BEEN REVIEWED AND RECOMMENDED FOR REMOVAL BY THE CITY FORESTER.
5. THE PROPOSED ADDITION IS TO BE LOCATED OVER EXISTING IMPERVIOUS SURFACES AT THE REAR OF THE HOUSE AND DOES NOT REQUIRE ALTERATIONS TO EXISTING GRADES.
6. NO NEW WALKWAY LIGHTING IS PROPOSED.



PROPOSED LANDSCAPE PLAN

SCALE: 1/8"=1'-0"



THOMAS BATEMAN HOOD, AIA

8990 Carmel Valley Road
Carmel CA, 93923
831-622-9912
tom@t-hood.com
www.thomasbatemanhood.com

PROJECT:
ALTERATIONS & ADDITIONS
TO
IKEDA RESIDENCE
SANTA RITA 9 SE OF OCEAN
CARMEL-BY -THE-SEA, CA.
A.P.N. 010-043-009-000

OWNER:
DONNA IKEDA
615 HARVARD ROAD
SAN MATEO, CA

REVISIONS:

OWNERSHIP AND USE OF
ARCHITECT'S DOCUMENTS

The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies, of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD

DRAWN BY

PRINT DATE 7-10-15

DRAWING DATE 7-1-15

PAGE TITLE:

LANDSCAPE
PLAN

SHEET:

L1.0

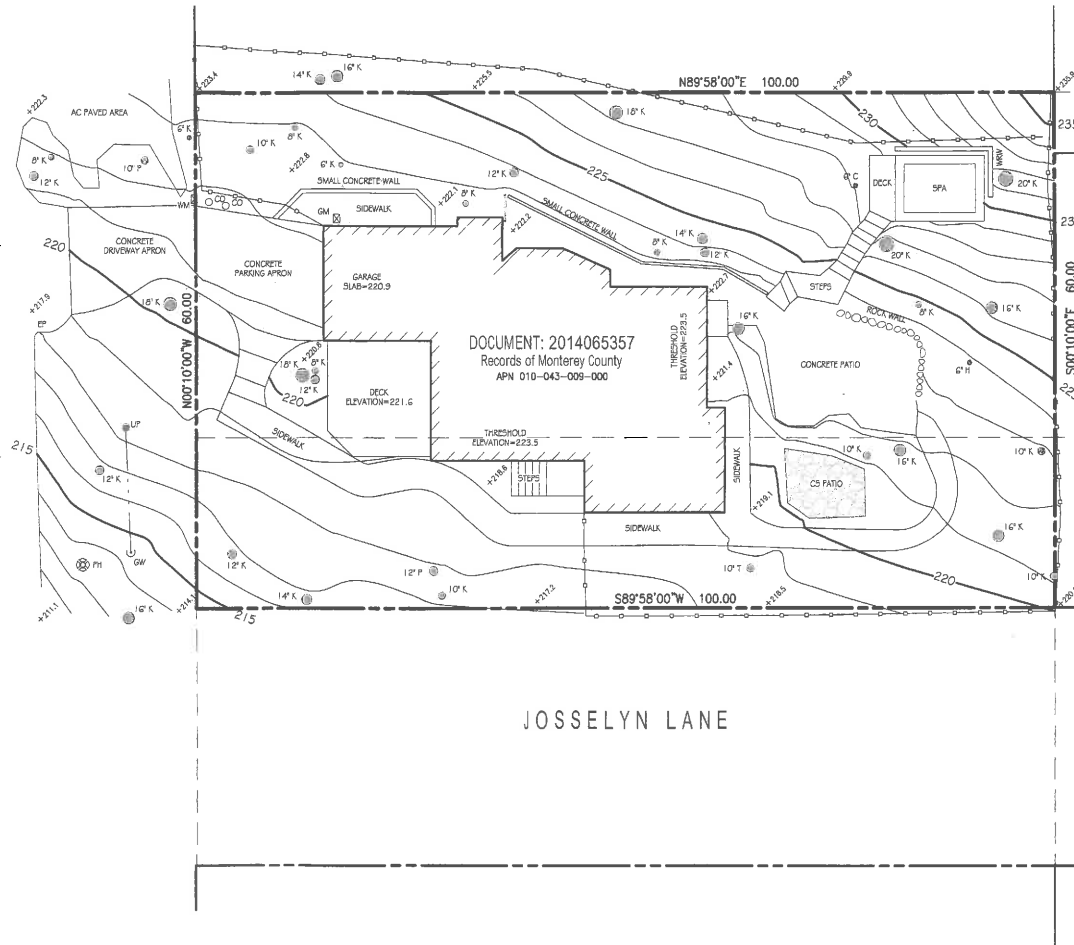
OF SHEETS

LEGEND:

●	FOUND 3/4" IRON PIPE, PLS 8368 (UNLESS NOTED OTHERWISE)	—x—x—x—	WOOD FENCE
○	SET 3/4" IRON PIPE, PLS 8368 (UNLESS NOTED OTHERWISE)	—o—o—o—o—	WIRE FENCE
■	FOUND 2x2 REDWOOD HUB (UNLESS NOTED OTHERWISE)	—o—o—o—o—	CHAIN LINK FENCE
⊙	FOUND CENTERLINE MONUMENT (UNLESS NOTED OTHERWISE)	—o—o—o—o—	STREET SIGN
□	FOUND 2x2 REDWOOD HU REPLACED WITH 1" IRON PIPE, PLS 8368	—o—o—o—o—	SIGN POST
—	RECORD BOUNDARY	—o—o—o—o—	MAIL BOX
—	RECORD RIGHT OF WAY	—o—o—o—o—	BOLLARD
—	RECORD LOT LINE	—o—o—o—o—	PILLAR
—	RECORD CENTERLINE	—o—o—o—o—	WOOD RETAINING WALL
—	RECORD EASEMENT LINE	—o—o—o—o—	ROCK WALL
—	RECORD SETBACK	—o—o—o—o—	ROCK RETAINING WALL
—	OLD RECORD LINE	—o—o—o—o—	STACKED BLOCK WALL
⊕	PROJECT BENCHMARK	—o—o—o—o—	CARMEL STONE
△	SURVEY CONTROL POINT	—o—o—o—o—	DISABLED PARKING
50	CONTOUR (MAJOR)	—o—o—o—o—	STANDARD PARKING STALL
25	CONTOUR (MINOR)	—o—o—o—o—	C5 CARMEL STONE
—	EDGE OF PAVEMENT	—o—o—o—o—	CMP CORRUGATED METAL PIPE
—	LIP OF GUTTER	—o—o—o—o—	C5 CARMEL STONE
—	FACE OF CURB	—o—o—o—o—	D6 DECOMPOSED GRANITE
—	CURB AND GUTTER	—o—o—o—o—	EX AGG EXPOSED AGGREGATE
—	BACK OF CURB	—o—o—o—o—	HDPH HIGH DENSITY POLY ETHYLENE
—	BACK OF SIDEWALK	—o—o—o—o—	PCC PORTLAND CEMENT CONCRETE
—	EDGE OF DRIVEWAY	—o—o—o—o—	PS PAVER STONE
—	FLOWLINE	—o—o—o—o—	PVC POLY VINYL CHLORIDE
—	BUILDING OUTLINE	—o—o—o—o—	KCP REINFORCED CONCRETE PIPE
—	CHIMNEY	—o—o—o—o—	TE TRASH ENCLOSURE
—	APPROXIMATE FLOOR ELEVATION	—o—o—o—o—	EDGE OF FOLIAGE
—	DECK	—o—o—o—o—	12" T TREE WITH SIZE AND TYPE
—	CONC PAD CONCRETE PAD	—o—o—o—o—	A ACACIA
—	STEP	—o—o—o—o—	C CYPRESS
—	PLANTER	—o—o—o—o—	H HOLLY
—	WATER LINE	—o—o—o—o—	K OAK
—	WATER VALVE	—o—o—o—o—	P PINE
—	WATER METER	—o—o—o—o—	R REDWOOD
—	FIRE HYDRANT	—o—o—o—o—	T TREE
—	HOSE BIB	—o—o—o—o—	X 8.9 SPOT ELEVATION
—	IRRIGATION CONTROL VALVE	—o—o—o—o—	
—	SANITARY SEWER LINE	—o—o—o—o—	
—	SANITARY SEWER MANHOLE	—o—o—o—o—	
—	SANITARY SEWER CLEAN-OUT	—o—o—o—o—	
—	STORM DRAIN	—o—o—o—o—	
—	STORM DRAIN MANHOLE	—o—o—o—o—	
—	AREA DRAIN	—o—o—o—o—	
—	STORM DRAIN CATCH BASIN	—o—o—o—o—	
—	ELECTRIC LINE	—o—o—o—o—	
—	UTILITY POLE	—o—o—o—o—	
—	GUY WIRE	—o—o—o—o—	
—	ELECTRIC VAULT	—o—o—o—o—	
—	UTILITY VAULT	—o—o—o—o—	
—	STREET LIGHT	—o—o—o—o—	
—	STREET LIGHT	—o—o—o—o—	
—	GAS LINE	—o—o—o—o—	
—	GAS METER	—o—o—o—o—	
—	TELEPHONE LINE	—o—o—o—o—	
—	TELEPHONE STANDARD	—o—o—o—o—	
—	CABLE TELEVISION LINE	—o—o—o—o—	
—	CABLE TELEVISION BOX	—o—o—o—o—	

PROJECT BENCHMARK
3/4" IRON PIPE, LS 5958
ELEV=250.00

SANTA RITA STREET
(A 50 FOOT WIDE CITY STREET)



BENCHMARK:
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM.
AN ELEVATION OF 250.00 HAS BEEN ASSIGNED TO A 3/4" IRON PIPE
FOUND ON THE WEST SIDE OF SANTA RITA STREET OPPOSITE THE NORTHWEST CORNER
OF THE SUBJECT PROPERTY AS SHOWN HEREON.

- NOTES:**
- BOUNDARY LOCATIONS (IF ANY) SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACINGS, POP-OUTS, BULL NOSE CORNERS, ETC.
 - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 - THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN FEBRUARY OF 2015.

TOPOGRAPHIC SURVEY

OF
Santa Rita 9 SE of Ocean

per
DOCUMENT: 2014065357

Records of Monterey County

PREPARED FOR
Donna Ikeda

BY
LUCIDO SURVEYORS
Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting

HOME OFFICE
2 SAUCITO AVENUE
DEL REY OAKS, CALIFORNIA 93940
email: info@lucidosurveyors.com

FIELD OFFICE
245 FOAM STREET, SUITE 200
MONTEREY, CALIFORNIA 93940
telephone: 831-423-5032

SCALE: 1"=10' PROJECT No. 1399 FEBRUARY 2015
CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA



APN 010-043-009-000

SU-1