

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD
MEETING AGENDA**

Monday, July 16, 2018
3:30 p.m. Tour of Inspection
4:00 p.m. Open Session

City Hall Council Chambers
East side of Monte Verde Street
Between Ocean and Seventh Avenues

A. CALL TO ORDER AND ROLL CALL

BOARD MEMBERS:

ERIK DYAR, CHAIR
KATHRYN GUALTIERI, VICE CHAIR
LYNN MOMBOISSE
THOMAS HOOD
ALEX HEISINGER

B. TOUR OF INSPECTION

Shortly after 3:30 p.m., the Board will leave City Hall for an on-site Tour of Inspection. The public is welcome to follow the Historic Resources Board on its tour of the subject sites. The Board will return to City Hall at 4:00 p.m., or as soon thereafter as possible.

C. PLEDGE OF ALLEGIANCE

D. APPEARANCES

Anyone wishing to address the Board on matters within the jurisdiction of the Board may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Board's agenda will not receive action at this meeting, but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as established by the Board. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

E. CONSENT AGENDA

F. ITEM

1. DS 18-289 (Huang)
Jun Sillano, Architect
Monte Verde., 3 NE of 9th Ave
Block: 94; Lot: 16
APN: 010-193-011

Consideration of a Design Study (DS 18-193) for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District.

2. HE 18-151 (Roy)
Mathew and Stacey property owners
Monte Verde., 4 NE of 4th Ave
Block: 53; Lot: North 26' of 10
APN: 010-211-012

Historic Evaluation (HE 18-151) of a log cabin residence currently listed on the City's Historic Inventory.

G. DIRECTOR'S REPORT

H. BOARD MEMBER ANNOUNCEMENTS

I. ADJOURNMENT

Any writings or documents provided to a majority of the Historic Resources Board regarding any item on this agenda will be made available for public inspection in the Planning and Building Department located at City Hall, on Monte Verde between Ocean and 7th Avenues during normal business hours.

The next regular meeting of the Historic Resources Board: Monday, August 20, 2018

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. The City of Carmel-by-the-Sea Telecommunication's Device for the Deaf/Speech Impaired (TDD) number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request to the Board Secretary. If you need assistance, please advise the Board Secretary what item you would like to comment on, and the microphone will be brought to you.

AFFIDAVIT OF POSTING

I, Marc E. Wiener, Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board and posted at the Harrison Memorial Library on Ocean and Lincoln, July 13, 2018.

Dated this 13th day of July 2018, at the hour of 10:00 a.m.

Marc E. Wiener, AICP, Community Planning and Building Director



CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

July 16, 2018

To: Chair Dyar and Board Members

From: Marc Wiener, AICP, Community Planning and Building Director

Subject: Consideration of a Design Study (DS 18-193) for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District

Application: DS 18-289

APN: 010-193-011

Location: Monte Verde 3 NE of 9th

Block: 94

Lot: 16

Applicant: Jun Sillano, IDG

Property Owner: Lin Huang

EXECUTIVE SUMMARY

The applicant is proposing to construct a 1,612 square-foot one-story addition to an existing 1,476 square-foot one-and-one-half story residence that was listed on the City's Historic Inventory on March 9, 2018.

RECOMMENDATION

Staff recommends that the Historic Resources Board issue a Determination of Consistency with the Secretary of the Interior's Standards.

BACKGROUND

The existing residence is a circa 1924, one-and-one-half story Craftsman-style residence known as the 'Reardon House'. The property is listed at the local level of significance, under California Register Criteria 3, in the area of architecture as a good example of Craftsman-style architecture building by Michael J. Murphy. A State of California DPR 523A form was prepared for the 'Reardon House' on March 9, 2018, by Historic Preservation Consultant Kent L. Seavy (Attachment 2).

The exterior wall-cladding is a medium-width horizontal ship lap wood siding. The medium-pitched, side-gabled roof has wide overhanging eaves with exposed rafter-tails cut into decorative shapes, and triangular knee-bracing under the gables. There is a central shed-roofed dormer in the west facing roof plane, and a break in the roof slope on the rear (east) elevation where a partial-width kitchen extends beyond the main building block. Fenestration is irregular, with single, paired & banked aluminum windows, dating to 1965 that are fixed, 1/1

double-hung, and sliding types, in a variety of sizes and shapes. The aluminum windows appear generally to be in the original wood window frames.

PROJECT DESCRIPTION

The applicant is proposing to construct a 1,612 square-foot one-story addition with attached garage at the rear of the residence. A portion of the wall at the southeast corner of the building (in the area of a circa 1965 addition) will be demolished in order to connect the new addition to the historic residence. The addition will have board and batten siding and will be differentiated from the horizontal wood siding on the historic residence. The addition includes wood windows and a wood-shake roof.

Modification are also proposed to the historic residence, which includes a new terrace/deck on the front (west) elevation and a new entry porch on the side (north) elevation. The applicant also proposes to removal all circa 1965 aluminum windows, and replace with 1/1 double hung wood windows that are intended to replicate the original windows. These windows will be differentiated from the windows on the new addition, which include muntin bars. Two existing skylights will be removed as well. The project also includes the removal of wood shutters and removal of a circa 1965 small storage unit along the base of the north side-elevation. Finally, the applicant is proposing to convert the existing garage at the rear of the property into a habitable accessory dwelling unit.

STAFF ANALYSIS

Historic Evaluation Summary: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. The proposed alterations were reviewed by the City's Historic Preservation Consultant and a Phase II Historic Assessment was prepared. The Assessment includes an analysis of the proposed changes based on the Secretary of the Interior's Standards for the Treatment of Historic Properties (Attachment 4). The Assessment concludes that the project, as shown on the project plans, would not cause a significant change to the listed historic building and would not create a significant adverse effect on the environment. Therefore, the project would be consistent with the Secretary of Interior's Standards.

Secretary of the Interior's Standards: The *Secretary of the Interior's Standards for the Treatment of Historic Properties* identify four primary treatment approaches to historic buildings: Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation is the recommended standard of treatment for this project. Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations and additions while preserving those portions of features which convey it's historical, cultural, or architectural values. Based on the Phase II Historic Assessment prepared by Historic Preservation Consultant Mr. Kent Seavey, the project is consistent with the Secretary's Standards for Rehabilitation.

Standard #9 states, *“New additions, exterior alterations, or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.”*

The proposed addition will be at the rear of the historic residence and connects to the residence at a corner of the building that was constructed in 1965 and is not part of the original historic fabric. The proposed is subordinate in mass and scale to the existing residence and is also adequately differentiated as recommended by the Secretary of the Interior. Staff also supports the proposed rehabilitation work to the existing residence, which includes replacement of the aluminum windows with new wood windows, as well as removal of skylights and shutters.

Environmental Review: The subject project is exempt from CEQA (Class 31). The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior’s Standards. If the alterations are deemed consistent with the Standards, potential historic resource impacts under CEQA do not require further analysis.

ATTACHMENTS:

- Attachment 1 – Conditions of Approval
- Attachment 2 – DPR 523A Form for ‘Reardon House’
- Attachment 3 – Phase II Historic Assessment
- Attachment 4 – Secretary of the Interior’s Standards
- Attachment 5 – Project Plans

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

DS 18-193 (Lin)
Monte Verde 3 NE of 9th
Block: F94; Lot: 16
APN: 010-193-011

AUTHORIZATION/PROJET CONDITIONS:

1. This Determination of Consistency for DS 18-193 (Huang) authorizes the construction of a 1,612 square-foot one-story addition with attached garage on the east (rear) elevation. The addition will have board and batten siding and a wood-shake roof and will be differentiated from the horizontal wood siding on the historic residence. The addition includes wood windows with muntin bars. Modification to the historic residence include a new terrace/deck on the front (west) elevation and a new entry porch on the side (north) elevation of the historic residence. Also authorized is the replacement of all circa 1965 aluminum windows with more appropriate 1/1 double hung wood window, elimination of shutters and skylights. All work shall conform to the plans dated received July 16, 2018 except as modified by the special conditions below and shall conform to the Secretary of the Interior's Standards for Rehabilitation.
2. Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the City's Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. A Building Permit will not be issued until this meeting has occurred.
3. The application shall receive Design Study and Coastal Development approval from the Planning Commission.

State of California • The Resources Agency DEPARTMENT OF PARKS AND RECREATION PRIMARY RECORD		Primary #	
		HRI #	
		Trinomial	
		NRHP Status Code	552
Other Review Code	Reviewer	Date	Listings

Page 1 of 3

*Resource Name or #: (Assigned by recorder) Thomas B. Reardon House

P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☒ Unrestricted*a. County Monterey and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad _____ Date _____ T _____ R _____ of _____ of Sec _____ B.M. _____

c. Address Monte Verde 3 NE of 9th Ave. City Carmel by-the-Sea Zip 93921

d. UTM: (Give more than one for large and/or linear resources) Zone _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)
Bkk 94 Lot 16 ; APN# 010-193-011

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-and-one-half story wood-framed Craftsman Style residence, basically rectangular in plan, resting on a concrete foundation. The exterior wall-cladding is a medium-width horizontal ship lap wood siding. The medium-pitched, side-gabled roof has wide overhanging eaves with exposed rafter-tails cut into decorative shapes, and triangular knee-bracing under the gables. There is a central shed-roofed dormer in the west facing roof plane, and a break in the roof slope on the rear (east) elevation where a partial-width kitchen extends beyond the main building block. It has undated corrugated plastic panels on either side of this feature. Slightly projecting window bays, with narrow shed roofs are located on the facade and north side-elevations. They also have exposed rafters-tails cut into decorative shapes, with brackets below. There are two chimneys present on the main building block.

*P3b. Resource Attributes: (List attributes and codes) HP2 Single Family Residence

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P4. Resources Present: ☐ Building
☐ Structure ☐ Object ☐ Site ☐ District
☐ Element of District ☐ Other (Isolates, etc.)

*P5b. Description of Photo: (view, date, accession #)

Looking SE at the west facing facade & north side-elevation, Kent Seavey, 2-8-2018

*P6. Date Constructed/Age and Source:
c. 1924 Sanborn Map of Carmel☒ Historic ☐ Prehistoric ☐ Both

*P7. Owner and Address:

Mr. Lin Huang
686 Giannini Dr., Santa Clara, CA 95051

*P8. Recorded by: (Name, affiliation, and address)

Kent Seavey
310 Lighthouse Ave., Pacific Grove, CA 93950

*P9. Date Recorded: March 9, 2018

*P10. Survey Type: (Describe)

Required CEQA review

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")
None

*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION HRI# Primary #
BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder) Thomas B. Reardon House *NRHP Status Code 5S2
Page 2 of 3

B1. Historic Name: _____ B2. Common Name: _____
B4. Present Use: residence *B5. Architectural Style: Craftsman B3. Original Use: residence

*B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed prior to 1924 (Sanborn Map of Carmel); window glazing changes and minor alterations c. 1965.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

A small, undated wood-framed storage building in the SE corner of the parcel.

B9a. Architect: _____ b. Builder: M. J. Murphy

*B10. Significance: Theme Carmel Arch. Development (1888-1965) Area Carmel-by-the-Sea
Period of Significance c. 1924 Property Type SFR Applicable Criteria CR 3 (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The Reardon House is significant under California Register Criterion 3, in the area of architecture, at the local level of significance, as a good and essentially intact example of the Craftsman Style of architecture, built by local master builder M. J. Murphy. The Craftsman Style originated in Southern California drawn from a variety of sources including the English Arts and Crafts movement, oriental wooden architecture, California's adobe dwellings, Swiss chalets and vernacular barn and log structures. Despite variations these buildings were generally informal in plan, elevation and detailing. They both answered a recognized need for simpler residences, especially for the working classes. The buildings had certain characteristics in spite of a multitude of forms.

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

Carmel building records, Planning Dept., City Hall, Carmel
Carmel Historic Context Statement, ARG: San Francisco, 2008.

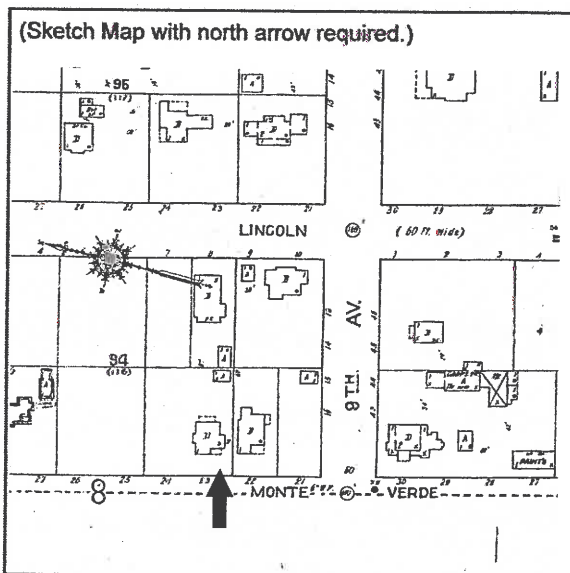
B13. Remarks:

Zoning R-1

*B14. Evaluator: Kent Seavey

*Date of Evaluation: March 9, 2018

(This space reserved for official comments.)



CONTINUATION SHEET

Property Name: Thomas B. Reardon House

Page 3 of 3

P3 (Cont.) There is an interior brick chimney located just south of center at the ridge line along the main building block. The second chimney is also an interior type and is of rubble stone. It is encased in a stepped gabled feature on the south side-elevation, just east of the primary entry porch. There is also one plexiglass skylight located in the rear roof plane of the main building block. All roof surfaces are covered in composition shingles. Fenestration is irregular, with single, paired & banked aluminum windows, dating to c.1965 that are fixed, 1/1 double-hung, and sliding types, in a variety of sizes and shapes. The aluminum windows appear generally to be in the original wood window frames. The residence is sited a little off the east side of Monte Verde behind a vertical board-and-batten wood fence, with some vegetation in the front yard, and mature shrubbery and trees lining the sides of the parcel. It is located in a primarily residential neighborhood with homes of varying ages, sizes and styles, and across the street from the Golden Bough Theatre.

Character-defining features of the house include its basically rectangular shape; one-and-one-half story height; ship-lap wood siding; side-gabled roof with central shed-roofed dormer; tripartite window and rubble stone chimney. Inappropriate modern aluminum windows have replaced the original wood windows. However, the window voids seem to be original to the residence.

The builder, Michael J. Murphy (1885-1965) was a native of Utah who came to Carmel in 1902. In 1904, Carmel developer Frank Devendorf hired Murphy as contractor for the Carmel Development Company. In 1924 he established M.J. Murphy, Inc., which sold building supplies, did rock crushing and concrete work and operated a lumber mill and cabinet shop located between San Carlos and Mission. Murphy went on to become the most prolific designer-builder in the history of Carmel, with about 350 structures to his credit. The original owner, Thomas B. Reardon was a plumbing & electrical contractor in Carmel who was also socially active in the community as a founding member of the Forest Theater Society, and among other services helped organize the Manzanita club and served on the City Council from 1920-1924. He was also a partner with Fred Leidig in a number of local projects.

B10 (Cont.) They hugged the ground with low-pitched, wide projecting gabled roofs. The rafters were generally exposed, often with decorative tails. They expressed the materials from which they were made and settled well into their environments by careful siting. Side-gabled subtypes, like the subject property made up about one-third of the Craftsman houses constructed. Most are one-and-one-half stories with centered shed or gabled roofs. As noted in the 2008 Carmel Historic Context Statement, "both the aesthetic characteristics of the Craftsman style, and its philosophic underpinnings, which linked which linked it to progressive political, social, and artistic movements in the early twentieth century, made it popular with Carmel's academic, literary, and artistic residents."

Eligibility for historic listing of buildings rests on the twin factors of historic significance and Integrity. Integrity is measured by the application of seven aspects defined by the National Register of Historic Places. The seven aspects as relates to this property are Setting; the house is in its original setting. Location: the house is in its original location. Design; the house retains sufficient character-defining features, based on the reversibility of the c. 1965 fenestration change, to retain a minimal amount of integrity. Workmanship; the house retains sufficient workmanship to retain its integrity. Materials; the house retains a sufficient amount of its original materials to retain its integrity. Feeling & Association; The house retains a strong sense of time and place and of feeling and association with its immediate residential neighborhood to evoke the sense of its c.1924 period of construction, as expressed in the 2008 Carmel Historic Context Statement under the theme of Architectural Development in Carmel (1888)-(1965).

Changes to the subject property over time have included the replacement of the original wood glazing to aluminum windows, c. 1965. The newer windows, primarily 1/1 double-hung and casement type, appear to be in the original wood window voids. Inappropriate louvered wooden shutters were added as applied decoration. An open wooden deck was added at the rear SE corner of the building envelope to access the kitchen space, and corrugated fiberglass sheets were appended as additional roof covering to each side of the partial-width rear kitchen space. All these changes are easily reversible. In spite of the changes made to the residence over time, Thomas Reardon's Craftsman Style residence still retains sufficient integrity, and architectural significance as an essentially intact example of the Craftsman Style of architecture, constructed by M.J. Murphy, to qualify for listing in the Carmel Historic Resource Inventory at the local level of significance.

B12 (Cont.)

Monterey County Assessor's records, Mo. Co. Assessor's office, Salinas, CA.
Murphy, M.J., Monterey Area Architectural Resources Archive (MAARA), Monterey.
Reardon, Thomas B., (Obit.) Monterey Peninsula Herald, 4/20/1932, p. 1.
Polk business directory for Carmel. 1926;1941.

KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831) 375-8739

June 20, 2018

Mr. Marc Weiner
Planning Director
Carmel Planning & Building Dept.
P.O. Drawer G
City of Carmel-by-the-Sea

Dear Mr. Weiner:

Introduction:

This Track II Historic Assessment has been prepared on behalf of Mr. Huang Lin as part of an application for additions and alterations to the Thomas B. Reardon House located 3NE of 9th, east side of Monte Verde (APN# 010-193-011), in Carmel (see photos, plans & drawings provided).

Historical Background & Description:

The subject property is a c. 1924 A one-and-one-half story wood-framed Craftsman Style residence, basically rectangular in plan, resting on a concrete foundation. The exterior wall-cladding is a medium-width horizontal ship lap wood siding. The medium-pitched, side-gabled roof has wide overhanging eaves with exposed rafter-tails cut into decorative shapes, and triangular knee-bracing under the gables. There is a central shed-roofed dormer in the west facing roof plane, and a break in the roof slope on the rear (east) elevation where a partial-width kitchen extends beyond the main building block. It has undated corrugated plastic panels on either side of this feature. Slightly projecting window bays, with narrow shed roofs are located on the facade and north side-elevations. They also have exposed rafters-tails cut into decorative shapes, with brackets below. There are two chimneys present on the main building block.

There is an interior brick chimney located just south of center at the ridge line along the main building block. The second chimney is also an interior type and is of rubble stone. It is encased in a stepped gabled feature on the south side-elevation, just east of the primary entry porch. There is also one plexiglass skylight located in the rear roof plane of the main building block. All roof surfaces are covered in composition shingles.

Fenestration is irregular, with single, paired & banked aluminum windows, dating to c.1965 that are fixed, 1/1 double-hung, and sliding types, in a variety of sizes and shapes. The aluminum windows appear generally to be in the original wood window frames. The residence is sited a little off the east side of Monte Verde behind a vertical board-and-batten wood fence, with some vegetation in the front yard, and mature shrubbery and trees lining the sides of the parcel. It is located in a primarily residential neighborhood with homes of varying ages, sizes and styles, and across the street from the Golden Bough Theatre. It is significant, within the theme of Architectural Development established in the 2008 Carmel Historic Context Statement. Its period of significance would be c. 1924 (see California DPR 523 documentation provided).

Character-defining features of the house include its basically rectangular shape; one-and-one-half story height; ship-lap wood siding; side-gabled roof with central shed-roofed dormer; tripartite window and rubble stone chimney. Inappropriate modern aluminum windows have replaced the original wood windows. However, the window voids seem to be original to the residence.

Project Description

Based on the *Secretary of the Interior's Treatment of Historic Properties*, the appropriate treatment approach would be Rehabilitation. The owner will maintain the property in its residual use. He proposes to (1) add a new ell-shaped master bedroom suite off the south side of the altered c. 1965 rear elevation of the main building block. The new feature will wrap around an open courtyard toward toward the north. The proposed bedroom addition will also slightly widen a portion of the altered south side-elevation, east of the original brick chimney. (2) A new, front-gabled one-car garage is proposed for the NE corner of the parcel. It will share a common wall with the north end of the proposed bedroom addition (see photos, photos & plans and drawings provided). Both features will employ a board-and-batten exterior wall-cladding, to differentiate the original building envelope from the new, consistent with Rehabilitation Standard #9

(3) An expansion of the existing open, entry porch is proposed off the SW corner of the west facing facade. It will have a shaped splat wood railing, and be accessed by wooden steps rising west along the south side-elevation. The expanded porch will be further accessed by replacing the existing c. 1965 band of three fixed wood windows at the SW corner of the facade with a new set of French doors, matching the meeting-rail appearance of the proposed wooden replacement windows along the facade. (4) Return the roof covering to wood shake. (5) Convert an existing garage/storage unit at the SE cr. of the parcel into an accessory dwelling unit (A.D.U.), (see photos, photos & plans and drawings provided).

Proposed minor alterations include (1) removal of all c. 1965 aluminum windows, and replacement with more appropriate 1/1 double hung wood windows. Two existing skylights will be removed as well. (2) Removal of inappropriate wood shutters and other applied decoration (3) closure of one low window on the north side-elevation (4) removal of a c.1965 small storage unit along the base of the north side-elevation.

Evaluation for Significance

Introduction

The following summarizes the National, State and local criteria and provides an evaluation of historic significance for each criteria level.

National, State and Local Registration Criteria

Historic resources may be designated on the federal, state or local level. Generally, to be eligible for listing, a resource must be historically significant and retain enough historic integrity to convey that significance. The criteria for listing in the National Register of Historic Places, California Register of Historical Resources and the Carmel Historic Preservation Ordinance are described below.

National Register of Historic Places (NR)

The National Historic Preservation Act of 1966 authorized the Secretary of the Interior to create a National Register of Historic Places. Districts, sites, buildings, and objects significant in American history, architecture, archaeology,

engineering and culture are eligible for listing if they meet at least one of four criteria (16 U.S.C. 470, *et seq.*, as amended. 36 C.F. R. 60.1(a).) Eligible resources are those:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history, or
- B. That are associated with the lives of persons significant in our past; or
- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. That have yielded, or may be likely to yield, information important to prehistory or history.

Eligible resources must also retain sufficient integrity of location, design, setting, materials, workmanship, feeling, and association to convey the relevant historic significance (36 C.F.R. 60. 1(a). The seven aspects of integrity are described later in this section.

California Register of Historic Resources (CR)

A resource is eligible for listing in the California Register of Historical Resources if it:

1. Is associated with events that have made a significant contribution to the broad patterns of California history and cultural heritage.
2. Is associated with the lives of persons important in our past.
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual or possesses high artistic value.
4. Has yielded, or is likely to yield, information important in prehistory or history (California Public Resources Code 5024 1(c).

The California Code of Regulations notes that integrity is the authenticity of a historical resource's physical identity as evidenced by the survival of characteristics that existed during the resource's period of significance.

Resources eligible for listing in the California Register must retain enough of their historic character or appearance to be recognizable as historic resources and convey the reasons for their significance.

The same seven aspects of integrity are considered when evaluating resources for listing in the National Register and California Register: Location, design, setting, materials, workmanship, feeling and association. Alterations over time or historic changes in use may themselves be significant. However, resources that may not retain enough integrity to meet National Register criteria may still be eligible for listing in the California Register.

City of Carmel-by-the-Sea Historic Preservation Ordinance

The criteria employed by Carmel for designation of historic resources are the same general standards by which the significance of a historic property is judged for inclusion in the National (NR) and/or California Register (CR), and are included in Chapter 17, Section 32 of the Historic Preservation Ordinance in the Carmel-by-the-Sea Municipal Code.

Historic Integrity

National Register Bulletin #15: How to Apply the National Register Criteria for Evaluation defines historic integrity as “the ability of a property to convey its significance.” Historic properties either retain their integrity or they do not. To retain integrity, a resource will always retain several and usually most of the seven aspects of integrity.

- 1. Location:** the place where the historic property was constructed or the place where the historic event occurred.
- 2. Design:** the combination of elements that create the form, plan, space, structure, and style of a property.
- 3. Setting:** the physical environment of a historic property.
- 4. Materials:** the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.
- 5. Workmanship:** the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

- 6. Feeling:** a property's expression of the aesthetic or historic sense of a particular period of time.
- 7. Association:** the direct link between an important historic event or person and a historic property.

National Register Bulletin 15 notes that evaluating historic integrity may be a subjective analysis, but is always based on understanding the property's physical features and how they relate to the property's historic significance. The integrity evaluation can begin only after the evaluator establishes the property's significance: *why* it is significant (identifying its area of significance and how it meets the relevant National, State and Local designation criteria), *where* it is important (location), and *when* the resource is significant (its "period of significance").

Eligibility for historic listing of buildings, structures, objects, sites and districts, i.e., rests on the twin factors of historic significance and integrity to be considered for listing in the National Register of Historic Places, the California Register of Historical Resources, and the 2003 Carmel Historic Resource Inventory. Loss of integrity, if sufficiently great, will overwhelm the historic significance a resource may possess and render it ineligible for historic listing. Likewise, a resource can have complete integrity, but if it lacks significance, it must also be considered ineligible.

The National and California Registers, as well as the City of Carmel-by-the-Sea Historic Resource Inventory adopt the same methods of establishing historic integrity, as described above.

National and California Register Significance

The Reardon House is not significant under National (NR), but does meet the State (CR) Register's criteria. It is not associated with events that have made a significant contribution to the broad patterns of our history (NR-A; CR-1). It was constructed c. 1924 for Mr. Thomas B. Reardon by noted Carmel contractor M.J. Murphy. It qualifies for association with a significant person from the past (CR-2), building designer Michael J. Murphy.

The subject property is a good representative example of the Craftsman Style of architecture designed by Mr. Murphy, whose own home and office buildings are located just south of the subject property on the east side of Monte Verde (CR-3). The residence clearly embodies the distinctive characteristics of the then popular Craftsman Style of architecture, as described in its character-defining features seen above, and the DPR 523 provided. As previously noted, some of the proposed changes will return the residence closer to its c. 1924 appearance. It should be listed in the 2003 Carmel Historic Resource Inventory for its architectural design, and the association with MJ. Murphy, under the theme of Architectural Development in Carmel (1888-1965).

Evaluation of Historic Integrity

The subject property was somewhat altered c. 1965. No permits have been found for the window changes from wood to aluminum, nor for the modification of the rear and south side-elevations. It is assumed that the two skylights, proposed for removal, were added at the same time.

The seven aspects of Integrity are:

- ***Setting:*** The residence is in its original residential neighborhood setting, with the exception of the 1930s addition of the Theatre of the Golden Bough opposite it on the west side of Monte Verde Street. The subject property still retains sufficient integrity of setting.
- ***Location:*** The residence remains in its original location, giving it integrity of location.
- ***Design:*** The residence still retains most of its original design, as constructed c. 1924. Changes, noted above, have somewhat diminished, but not fully compromised its integrity of its design.
- ***Workmanship:*** In spite of the changes noted above, the residence still retains much of its integrity of workmanship.
- ***Materials:*** minor changes notwithstanding, the residence retains most of its original materials.
- ***Feeling:*** The residence retains sufficient character-defining features, including its immediate landscape setting to retain its integrity of feeling.

- **Association:** The residence retains its integrity of association, in the context of its neighborhood setting.

Conclusion

The subject property has undergone some inevitable changes over its 94 years in service. However, because of its basically intact Craftsman design by Carmel master builder M.J. Murphy, period neighborhood setting, and close proximity to Murphy's own home and adjacent office building, it continues to evoke a strong sense of time and place and of feeling and association with residential development in Carmel in the early 1920s. It clearly qualifies as a historic resource under criterion CR-2, for these associations, and criterion CR-3 for its Craftsman Style architectural design by Michael J. Murphy, in the context the theme noted above in the 2008 Carmel By-the-Sea Historic Context Statement.

IMPACTS OF THE PROPOSED PROJECT

Introduction

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different set of *Standards* apply to each approach. For the subject property, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as: historic building materials and character-defining features are protected and maintained as they are in the treatment for Preservation; however, an assumption is made prior to the work that existing historic fabric has become damaged or deteriorated over time and, as a result more repair and replacement will be required.

Thus, latitude is given in the *Standards for Rehabilitation and Guidelines for Rehabilitation* to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials.

Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions. (see *The Secretary of the interior's Standards for Treatment of Historic Properties* (Washington, D.C.: National Park Service, 1995).

The ten standards for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive material, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features, spaces or elements from other historic properties will not be undertaken.
4. Changes to a historic property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property.

The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner, that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Project Impacts

The proposed project includes additions off the previously altered rear (east), and south-side elevations. The proposed additions will provide for a more efficient contemporary use by expanding the existing building envelope to provide more living space, and a required garage. Proposed alterations include:

- Addition of a master bedroom-bathroom off the south side of the altered rear and south-side elevations.
- Addition of an attached, one-car garage at NE corner of parcel.
- Expansion of an open entry porch off the SW cr. of the west facing facade.
- Change of composition roofing to wood shake
- Convert existing garage/storage unit at SE cr. of parcel to A.D.U.

See photos, plans & drawings provided.

All new work will be undertaken in conformance with the *The Secretary of the Interior's Standards for the Treatment of Historic Properties, under the Standard for Rehabilitation*.

The Secretary's Standards encourages “placing a new addition on a non-character-defining elevation.” and locating alterations to historic properties in areas where previous alterations already exist. The 1992 National Park Service *Illustrated Guidelines for Rehabilitating Historic Buildings*, states that “The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility

In this instance, the proposed rehab work will add a new ell-shaped master bedroom suite off the south side of the altered c. 1965 rear elevation of the main building block. The new feature will wrap around an open courtyard toward toward the north. The proposed bedroom addition will also slightly widen a portion of the altered south side-elevation, east of the original brick chimney.

A new, front-gabled one-car garage proposed for the NE corner of the parcel, will share a common wall with the north end of the proposed bedroom addition (see photos, photos & plans and drawings provided). Both features will employ a board-and-batten exterior wall-cladding, to differentiate the original building envelope from the new, consistent with Rehabilitation Standard #9.

The existing open front porch will be expanded off the SW corner of the west facing facade, will have a shaped splat wood railing, and be accessed by wooden steps rising west along the south side-elevation. The porch will be further accessed by replacing the existing c. 1965 band of three fixed wood windows, that enclosed an original open porch at the SW corner of the facade with a new set of French doors, matching the meeting-rail appearance of the proposed wooden replacement windows along the facade.

An existing deteriorated garage/storage unit at the SE cr. of the parcel will be converted into an accessory dwelling unit (A.D.U.), (see photos, photos & plans and drawings provided).

Proposed minor alterations will include removal of all c. 1965 aluminum windows, and replacement with more appropriate 1/1 double hung wood windows. Two existing skylights will be removed as well. Inappropriate wood shutters and other applied decoration will be removed as well. One low window and a small modern storage enclosure on the north side-elevation will be removed and in filled, matching in kind the historic building siding.

The proposed removals and new additions are designed and will be constructed so that the character-defining features of the historic buildings and their environment will not be radically changed. The new elements will reflect the existing historic building fabric for continuity of design.

The work will be compatible with the size, scale, proportions and massing of the historic resource to protect the integrity of the subject property and its environment. This is consistent with Rehabilitation Standard #2, #5.

Consistent with the Secretary of the Interior's Standards for Rehabilitation, under the treatment of building sites and for new additions to historic buildings, the proposed additions will be for the most part located at the rear, and on inconspicuous sides of the historic buildings and limited in size and scale in relationship to them. Every feasible effort will be made to preserve the features of the site that are important in defining its overall historic character, retaining the relationship between buildings, landscape features and open space. If removed in future, the essential form and integrity of the historic residence will be unimpaired, consistent with Rehabilitation Standards #9 and #10 (see photos, plans and drawings provided).

Impacts of the Proposed Project:

The owners have proposed the following additions & alterations for contemporary usage.

WEST (FRONT) ELEVATION (primary, altered)

Replace existing c. 1965 1/1 double-hung aluminum windows with appropriate 1/1 wood windows, more in keeping with the original fenestration. Also remove existing c. 1965 skylight.

Remove existing non-historic wooden shutters and other applied decorative elements along this elevation.

Expand the existing open front porch at the SW end of the elevation. The porch will have a shaped splat wood railing, and be accessed by wooden steps rising west along the south side-elevation. The porch will be further accessed by replacing the existing c. 1965 band of three, fixed wood windows, which was the original open entry porch, at the SW corner of the facade with a new set of French doors, matching the meeting-rail appearance of the proposed wooden replacement windows along the facade. Replace the existing composition roofing with wood shake (see photos and plans & drawings provided).

NORTH SIDE-ELEVATION (secondary, altered)

Replace existing c. 1965 aluminum windows with appropriate wood windows, more in keeping with the original fenestration. Remove an existing low window and small modern storage enclosure and in fill, matching in kind the existing historic wood siding.

Add a small, open, gable-roofed porch off the existing rear entry.

Add new ell-shaped bedroom-bath extension, with open courtyard space, toward the east, to include an attached one-car garage on its north side elevation. All new construction to employ a vertical board-and-batten exterior wall-cladding, and appropriate fenestration to clearly differentiate the new construction from the old, as well as visually limiting its size and scale, by orientation, in relationship to the historic buildings.

If the proposed addition is removed in future, the essential form and integrity of the historic property and its environment would be unimpaired, consistent with Rehabilitation Standards #9 & #10 (see photos and plans & drawings provided).

EAST (REAR) ELEVATION (secondary, altered)

Add a new ell-shaped master bedroom suite off the south side of the altered c. 1965 rear elevation of the main building block. The new feature will wrap around an open courtyard toward the north, where it will share a common side wall with the new one-car garage. All new construction to employ a vertical board-and-batten exterior wall-cladding, and appropriate fenestration to clearly differentiate the new construction from the old, as well as visually limiting its size and scale, by orientation, in relationship to the historic buildings.

If the proposed addition is removed in future, the essential form and integrity of the historic property and its environment would be unimpaired, consistent with Rehabilitation Standards #9 & #10 (see photos and plans & drawings provided).

NOTE: The existing garage-storeroom, proposed for conversion to A.D.U. use, is located in the SE corner of the parcel, and will be behind the bedroom addition and physically out of view from any public space (see plans and drawings provided).

Any modifications to the site must consider the forest canopy, in terms of compliance with City tree protection ordinances as well as preservation of the historic forest context for the subject property.

SOUTH SIDE-ELEVATION (secondary, altered)

The proposed bedroom addition will slightly widen a portion of the altered south side-elevation, east of the original brick chimney (see photos and plans & drawings provided).

As proposed, the work shall reuse, to the extent feasible, any available historic building material, and where necessary match required replacement features, in kind (see photos and plans & drawings provided).

New work will be clearly differentiated from the old, but compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. If removed in future, the essential form and integrity of the historic resource and its environment will be unimpaired.

Mitigation of Project Impacts

As stated above, the proposed treatment plan for the house is rehabilitation. The proposed project requires no other mitigation than compliance with City forestation regulations, because it follows the *Standards*, as outlined below.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive material, features, spaces and spatial relationships.*

The house is being retained in its historic use as a single family residence, which supports this Standard.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

Based on the character-defining features of the Craftsman Style, as they appear in the 2005 DPR 523, the west facing façade and north side-elevation are the principal character-defining feature of the subject property. They will essentially remain the same.

The open ell courtyard treatment for the rear-elevation, separating the new additions from the original building envelope, assure the prominence of the historic residence. As the proposed work is primarily off already altered secondary elevations, the subject property should not be obscured, damaged or destroyed by these changes, which supports this Standard.

- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features, spaces or elements from other historic properties will not be undertaken.*

The original c.1924 house has had alterations over time, on all elevations. The proposed design of the bedroom-bath and garage additions makes very clear what is historic and what is new, without creating a false sense of historical development with conjectural elements from other historic properties, which supports this Standard.

- 4. Changes to a historic property that have acquired historic significance in their own right will be retained and preserved.*

The c. 1965 alterations to the building envelope and its fenestration are inconsistent with the original character-defining features of the Craftsman Style. They are both non-historic and detract from the original character of the historic building. Their removal will support this Standard.

- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The only proposed material change to the original building envelope will be the addition of the new terrace feature off the SW corner of the west facing facade.

By design it will have minimum visual impact from Monte Verde Street, and is reversible, consistent with Standard #10.

Repair and maintenance of examples of craftsmanship exhibited on the existing historic building envelope will occur as necessary, consistent with National Park Service preservation standards, thus satisfying Standard #5.

6. Deteriorated features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The proposed project will repair, in kind, deteriorated historic features. Replacement, if necessary, will be with in-kind materials. Standard #6 is satisfied.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The Standard will be satisfied by employing the gentlest means possible if the residence is repainted.

8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

This Standard is not applicable.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

There should be little loss of historic building fabric as the proposed work is primarily off already altered or secondary elevations. The related new construction will be mostly separated from the original residence by the open courtyard between the house and the bedroom-bath addition, located off the rear and south side-elevations. As noted above, the new work will be clearly differentiated from the old and compatible with the historic fabric, as well as size, scale and proportion and massing of the historic cottage to protect the integrity of the property and its environment, thus satisfying Standard #9.

10. New additions and adjacent or related new construction will be undertaken in such a manner, that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed additions can be removed in future, as they touch fairly lightly on the historic residence in altered and secondary locations, thus satisfying the Standard.

Conclusion:

The proposed work on the subject property will be executed consistent with the *Secretary's Standards for Rehabilitation*, with the least possible loss of historic material so that the remaining character-defining features of the resource, and its environment will not be obscured, damaged or destroyed. The proposed additions are reversible. As proposed the new work should not cause a significant change to the listed historic residence, and will not create a significant adverse effect on the environment.

Mitigation

The proposed project appears to be in conformance with the *Secretary of The Interiors Standards for the Treatment of Historic Properties* under the *Standard for Rehabilitation*. (see documentation, photos and plans & drawings provided). However, mitigation will be required through appropriate City approvals for any tree removal for the construction site which is needed for this project.

Respectfully Submitted,



17

Bibliography

Carmel bldg. records, Carmel Planning & Community Development Dept.,
City Hall, Carmel by-the-Sea.

Carmel-by-the-Sea, Historic Context Statement: Carmel-by-the-Sea, ARG:
San Francisco, 2008.,

Monterey Co. Assessor's records, Mo. Co. Assessor's off., Salinas.

Murphy, M.J., Monterey Area Architectural Resources Archive (MAARA),
Monterey.

*National Register Bulletin 15: How to Apply the National Register Criteria for
Evaluation.* U.S. Dept. of the Interior, National Park Service, 1998.

*National Register Bulletin 16A: How to Complete the National Register
Registration Form.* U.S. Dept. of the Interior, National Park
Service, 1997.

Polk Business Directory for Carmel, 1926/ 1941.

Reardon, Thomas B., (Obit.) *Monterey Peninsula Herald*, 4/20/1932, P. 1.

Sanborn Fire Insurance Map of Carmel, March, 1924.

Seavey, Kent, *Carmel A History In Architecture*, Arcadia Pub.: San Francisco,
2007.

3NE of 9th Street, east side of Monte Verde-Carmel



Photo #1. Looking SE at the west facing facade and north side-elevation, Kent Seavey, May, 2018.



Photo #2. Looking east at the west facing facade, note the c. 1965 aluminum and banked windows, Kent Seavey, May, 2018.

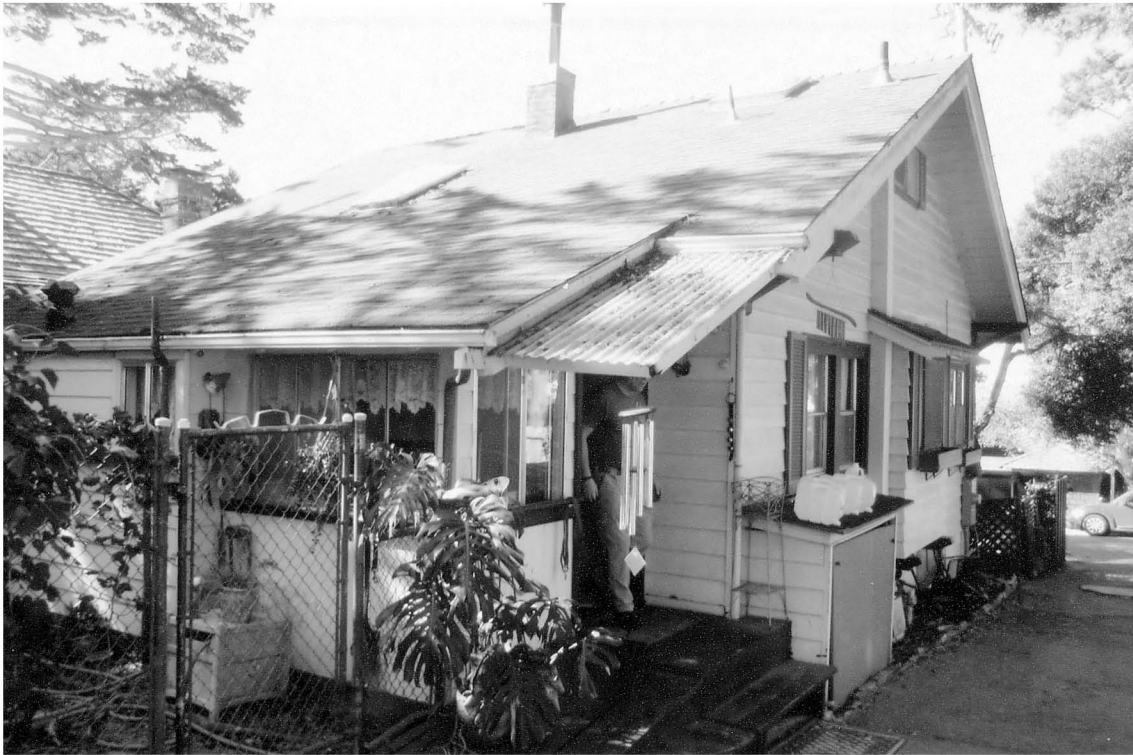


Photo #3. Looking SW at the rear (east), and north side-elevations, note rear c. 1965 addition & plastic roof extension, Kent Seavey, May, 2018.



Photo #4. Looking NW at the south side-elevation, note c. 1965 deck, door and window additions, Kent Seavey, May, 2018.



Photo #5. Looking SE at the earlier garage-storage unit proposed for conversion to A.D.U. , IDG photo, May, 2018.



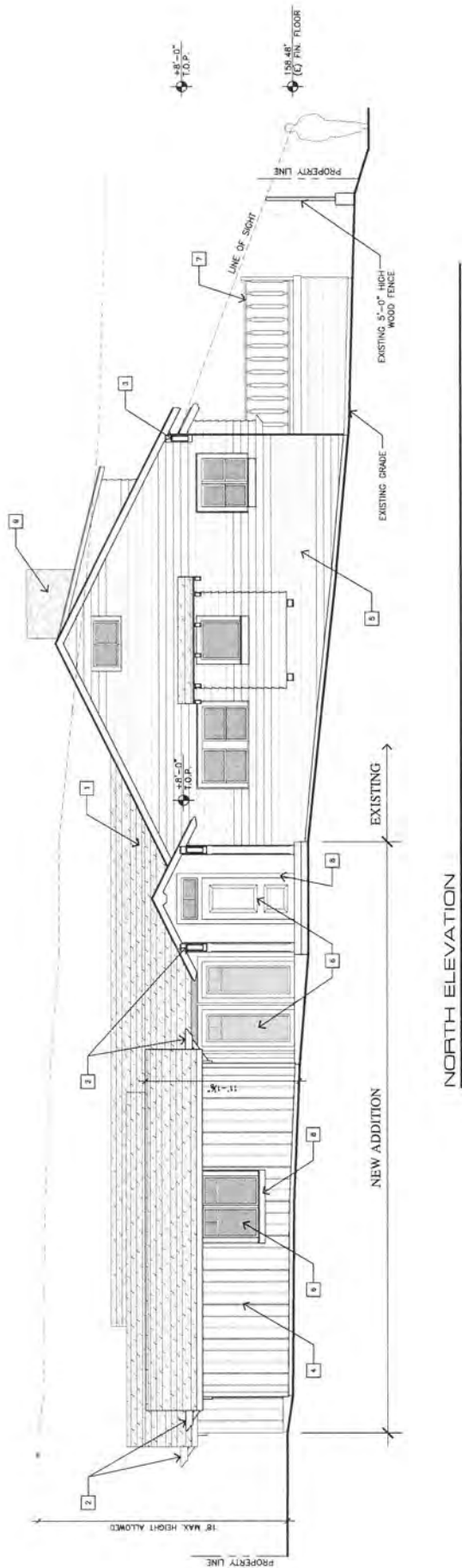
WEST ELEVATION

EXTERIOR FINISH LEGEND

- 1 COMPOSITION BUILT-UP ROOFING - MATCH EXISTING
- 2 3X PAINTED CEDAR RAFTERS & CORBELS
- 3 EXISTING PAINTED WOOD RAFTERS, BEAMS, & CORBELS
- 4 CEDAR BOARD & BATTENS
- 5 EXISTING PAINTED WOOD SIDING
- 6 NEW PAINTED WOOD DOORS & WINDOWS - REPLACE (E) ALUMINUM WINDOWS
- 7 SHAPED 2X14 PAINTED CEDAR RAILING
- 8 PAINTED CEDAR SURROUND, TRIM & SILLS
- 9 EXISTING STONE CHIMNEY

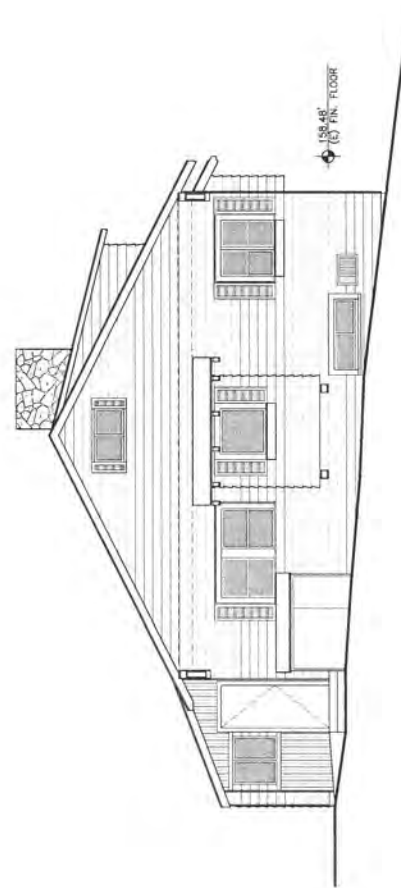


EXISTING WEST ELEVATION

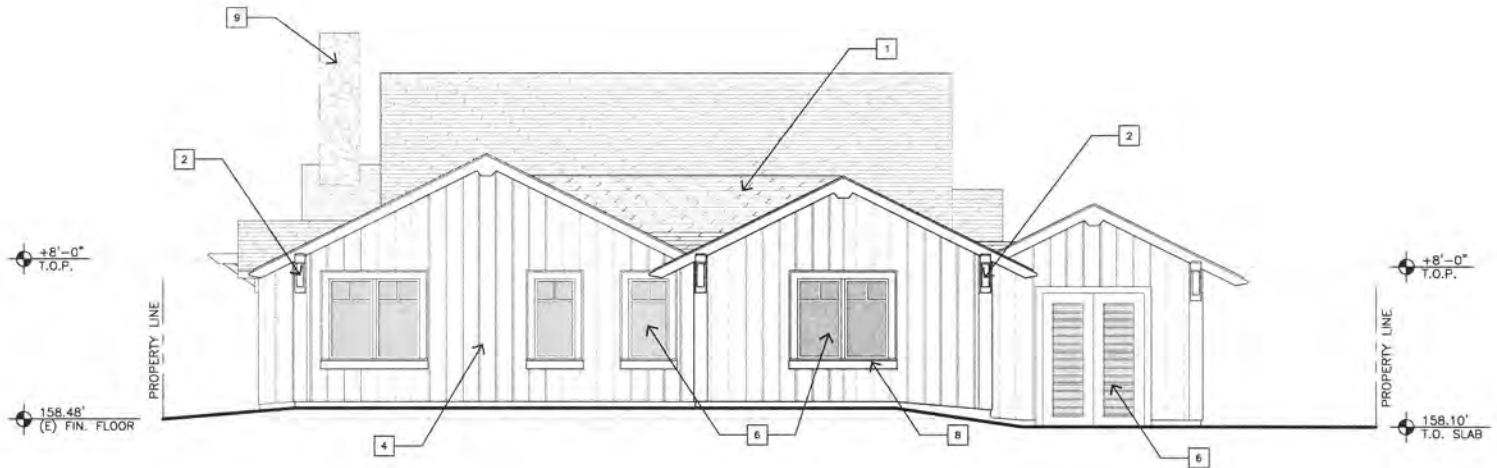


NORTH ELEVATION

EXTERIOR FINISH LEGEND	
1	COMPOSITION BUILT-UP ROOFING - MATCH EXISTING
2	3X PAINTED CEDAR RAFTERS & CORBELS
3	EXISTING PAINTED WOOD RAFTERS, BEAMS, & CORBELS
4	CEDAR BOARD & BATTENS
5	EXISTING PAINTED WOOD SIDING
6	NEW PAINTED WOOD DOORS & WINDOWS - REPLACE (E) ALUMINUM WINDOWS
7	SHAPED 2X14 PAINTED CEDAR RAILING
8	PAINTED CEDAR SURROUND, TRIM & SILLS
9	EXISTING STONE CHIMNEY



EXISTING NORTH ELEVATION



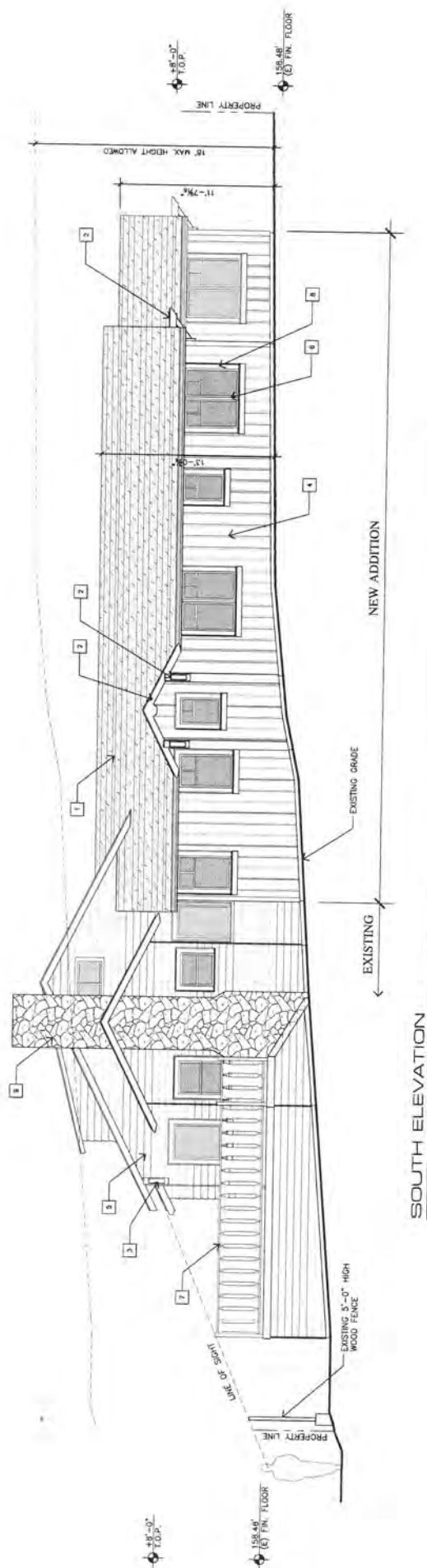
EAST ELEVATION



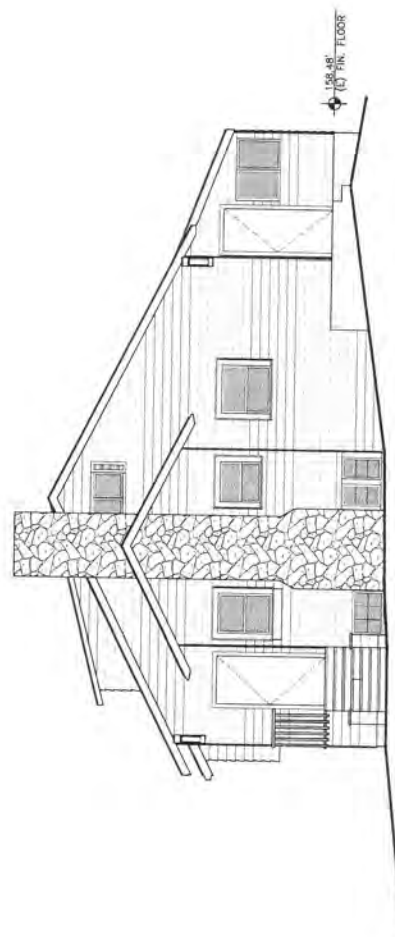
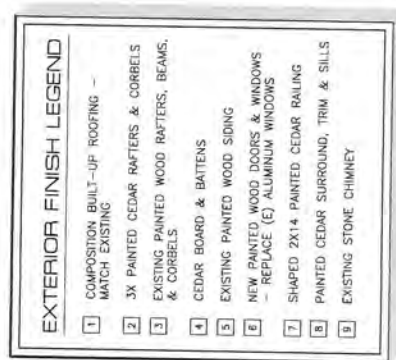
EXISTING EAST ELEVATION

EXTERIOR FINISH LEGEND

- [1] COMPOSITION BUILT-UP ROOFING – MATCH EXISTING
- [2] 3X PAINTED CEDAR RAFTERS & CORBELS
- [3] EXISTING PAINTED WOOD RAFTERS, BEAMS, & CORBELS
- [4] CEDAR BOARD & BATTENS
- [5] EXISTING PAINTED WOOD SIDING
- [6] NEW PAINTED WOOD DOORS & WINDOWS – REPLACE (E) ALUMINUM WINDOWS
- [7] SHAPED 2X14 PAINTED CEDAR RAILING
- [8] PAINTED CEDAR SURROUND, TRIM & SILLS
- [9] EXISTING STONE CHIMNEY



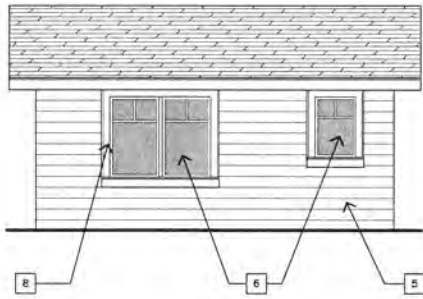
SOUTH ELEVATION



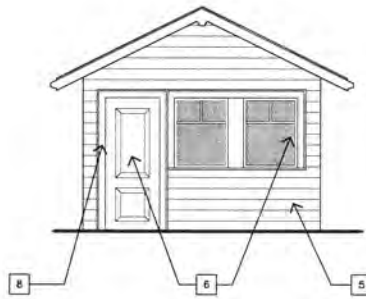
EXISTING SOUTH ELEVATION

±7'-10"
(E) T.O.P.

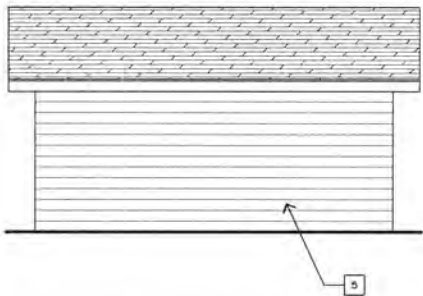
±161.02'
(E) FIN. FLOOR



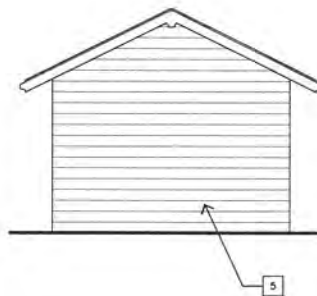
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

±7'-10"
(E) T.O.P.

±161.02'
(E) T.O. SLAB



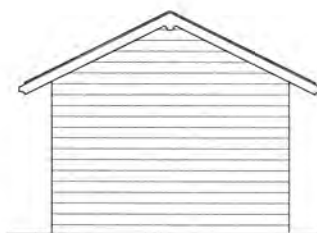
(E) WEST ELEVATION



(E) NORTH ELEVATION



(E) EAST ELEVATION



(E) SOUTH ELEVATION

EXTERIOR FINISH LEGEND

- 1 COMPOSITION BUILT-UP ROOFING – MATCH EXISTING
- 2 3X PAINTED CEDAR RAFTERS & CORBELS
- 3 EXISTING PAINTED WOOD RAFTERS, BEAMS, & CORBELS
- 4 CEDAR BOARD & BATTENS
- 5 EXISTING PAINTED WOOD SIDING
- 6 NEW PAINTED WOOD DOORS & WINDOWS – REPLACE (E) ALUMINUM WINDOWS
- 7 SHAPED 2X14 PAINTED CEDAR RAILING
- 8 PAINTED CEDAR SURROUND, TRIM & SILLS
- 9 EXISTING STONE CHIMNEY

**SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF
HISTORIC PROPERTIES**

1. "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."
2. "The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."
3. "Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."
4. "Most properties change over time; changes that have acquired historic significance in their own right shall be retained and preserved."
5. "Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."
6. "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, and pictorial evidence."
7. "Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."
8. "Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."
9. "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."
10. "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."

- PROPERTY OWNER:
LIN HUANG AND XIUDUAN FANG
686 GIANNINI DR., SANTA CLARA, CA 95051
(408) 714-8015
- PROJECT ADDRESS:
MONTE VERDE 3 NE OF 9TH
CARMEL, CA.
- PROJECT SCOPE:
REMODEL AND ADDITION TO (E) SFR WITH NEW
ATTACHED GARAGE. CONVERT (E) GARAGE TO ADU
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 010-193-011
- LEGAL DESC.: LOT: 16 BLOCK: 54
- ZONE: R-1
- STORIES: 1
- MAX BLDG. HT: 18 FT
- GRADING: 0 CY
- TREE REMOVAL: ONE OAK, TWO UNPROTECTED TREES
- TOPOGRAPHY: GENTLE SLOPE
- PROJECT CODE COMPLIANCE:
2016 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE,
CALIFORNIA GREEN BUILDING CODE & 2016 CALIFORNIA ENERGY CODE
- ENERGY METHOD: MICROPAS V8.1, ENERGY PRO 5.0
- LOT AREA: 6,000 S.F. (0.14 Ac.)

MAIN BUILDING	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL
MAIN FLOOR	945	-155	1143	1933
UPPER FLOOR	323	-323	0	0
GARAGE	208	-208	261	261
ADU	0	0	208	208
TOTAL	1476	-686	1612	2402

■ F.A.R. ALLOWED: 2460 SF
■ F.A.R. PROPOSED: 2402 SF

$$6,000 \times \left[0.45 - \frac{(6,000 - 4,000) \times 0.2}{1,000} \right] = 2,460$$

■ LOT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL	
DRIVEWAY	1408	-1408	427	427	PERMEABLE
PORCH	59	-59	42	42	IMPERVIOUS
TERRACE	417	-417	242	242	IMPERVIOUS
LANDINGS	0	0	12	12	IMPERVIOUS
STAIRS	64	-64	15	15	IMPERVIOUS
PATHS	424	-424	0	0	IMPERVIOUS
TOTAL	2372	-2372	738	738	

22% OF BASE FLOOR AREA + 4% OF LOT SIZE
2,402 X 0.22 = 528.4
6,000 X 0.04 = 240
TOTAL ALLOWED = 768.4 SF

■ LOT COVERAGE ALLOWED: 768 SF
■ LOT COVERAGE PROPOSED: 738 SF (427 SF PERMEABLE)
(311 SF IMPERVIOUS)

A detailed map of the Los Angeles area, showing the city grid and surrounding regions. An arrow points to a specific location in the central city area, labeled "PROJECT SITE". The map includes various landmarks, streets, and geographical features, providing a clear context for the project location.



IDG
ARCHITECTURE • PLANNING • INTERIOR DESIGN

PH ■ (831) 646-1261
FAX ■ (831) 646-1290
EMAIL ■ ldg@ldg-inc.net
WEB ■ www.ldg-inc.net

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR THE USE OF AND COMPLETION OF THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON OR COMPANY WITHOUT THE WRITTEN PERMISSION OF THE OFFICE OF THE CHIEF OF POLICE. ANY VIOLATION OF THIS AGREEMENT SHALL BE CONSIDERED A VIOLATION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS SHOWN ON THE DRAWING. ANY DIMENSIONS NOT SHOWN OR VARYING ON THE DRAWING AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ANY DETAIL OF ANY PART OF THE DRAWING NOT SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

HUANG LIN
RESIDENCE

PROJECT ADDRESS:

MONTE VERDE 3NE
OF 9TH AVE,
CARMEL, CA 93921

APN: 010-193-011

DATE: JULY 3, 2018
DESIGN APPROVAL

REVISIONS:

SITE PLAN

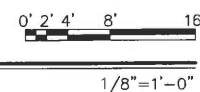
SHEET NO.

A1.0




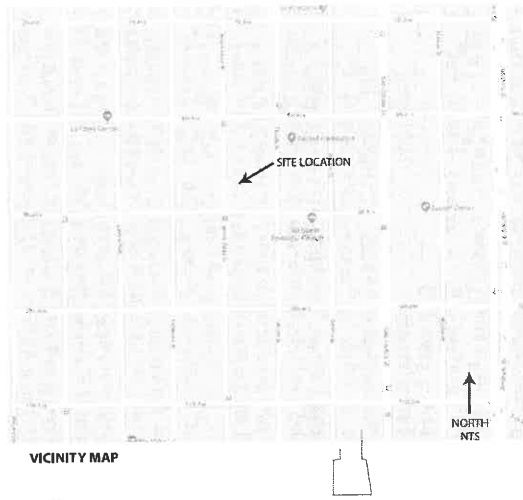
1-25 WATTS MAX. WITH PHOTO SENSOR
MINKA-LAVERY BAYTREE LANE OUTDOOR
FIXTURES

SITE PLAN



LEGEND

 10 W = WALL MOUNTED
DOWNLIGHT
LIGHT FIXTURE
10 WATTS



PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS
ARC EME	<i>Arcostaphylos</i> 'Emerald Carpet'	Emerald Carpet Manzanita	19	5 gal	Low
ARC HOW	<i>Arcostaphylos</i> 'Howard McMinn'	Howard McMinn Manzanita	13	5 gal	Low
CEA CON	<i>Ceanothus</i> 'Concha'	Concha Ceanothus	10	5 gal	Low
CEA SNO	<i>Ceanothus thyrsiflorus</i> 'Snow Flurry'	Snow Flurry Ceanothus	9	5 gal	Low
HEL HYB	<i>Helleborus x hybridus</i>	Hellebore	10	1 gal	Med
HEU MAX	<i>Heuchera maxima</i>	Coral Bells	17	1 gal	Med
KOE MAC	<i>Koeleria macrantha</i>	Coastal June Grass	300sf	seed	Low
ROS OFF	<i>Rosmarinus officinalis</i> 'Tuscan Blue'	Tuscan Blue Rosemary	10	5 gal	Low
WOO FIM	<i>Woodwardia fimbriata</i>	Giant Chain Fern	15	5 gal	Low

PLANTING NOTES:

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

STAKING: STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

MULCHING: SPREAD 2" - 3" OF WOOD CHIPS OVER ALL EXPOSED PLANTING AREAS

STAGING: WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

IRRIGATION NOTES:

IRRIGATION FOR NEW PLANT MATERIAL WILL BE IRRIGATED BY EXPANDING THE EXISTING DRIP IRRIGATION SYSTEM.

THE SMART IRRIGATION CONTROLLER SHALL HAVE A RAIN SENSOR AND A MASTER SHUTOFF VALVE INSTALLED DIRECTLY AFTER THE BACKFLOW PREVENTION DEVICE.

BUILDING DEPARTMENT NOTES:

PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

CODES:

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE 2016 EDITION OF THE CBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

LAYOUT NOTES:

ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

FIRE SAFETY NOTES:

ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.

ANY TREE WORK INCLUDING PRUNING OR REMOVAL TO REQUIRE APPROVAL OF THE CITY FORESTER.

SCOPE OF WORK:

THIS IS A RENOVATION TO AN EXISTING LANDSCAPE WITH ALL DRIP IRRIGATION.

PROJECT INFORMATION:

OWNER: HUANG LIN RESIDENCE
SITE: MONTE VERDE 3NE OF 9TH AVE, CARMEL, CA.
APN: 010-193-011
TOPOGRAPHY: FLAT AND SLIGHTLY SLOPED
TREE REMOVAL: SEE SITE PLAN
GRADING: SEE GRADING PLAN

XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



MISSION
LANDSCAPING

P.O. BOX 875
PACIFIC GROVE
CALIFORNIA 93950

P 831 373 8293
F 831 373 2283
www.missionlandscaping.com
email:
missionlandscaping@me.com
Landscape & General
Contractors C27 & B 392291
Landscape Architecture
CALic #5806

Project:

Huang Lin
Residence
Monte Verde
3NE of 9th Ave.
Carmel, CA 93921

APN: 010-193-011

Revisions:



Drawing Title:

Landscape Plan

Date: 05/16/18

Scale: 1" = 4'-0"



Drawn By: PW

Page Number:

L1.0

© Mission Landscaping Inc. 2018

38

- 2X EXISTING WALL TO REMAIN
 2X6 EXTERIOR STUD FRAMED WALL
 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

DISCLAIMER:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE. DIMENSIONAL CONFLICTS SHALL NOT BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OWNER MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ASSEMBLY SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

**HUANG LIN
RESIDENCE**

PROJECT ADDRESS:

**MONTE VERDE 3NE
OF 9TH AVE,
CARMEL, CA 93921**

APN: 010-193-011

DATE: JULY 3, 2018

DESIGN APPROVAL

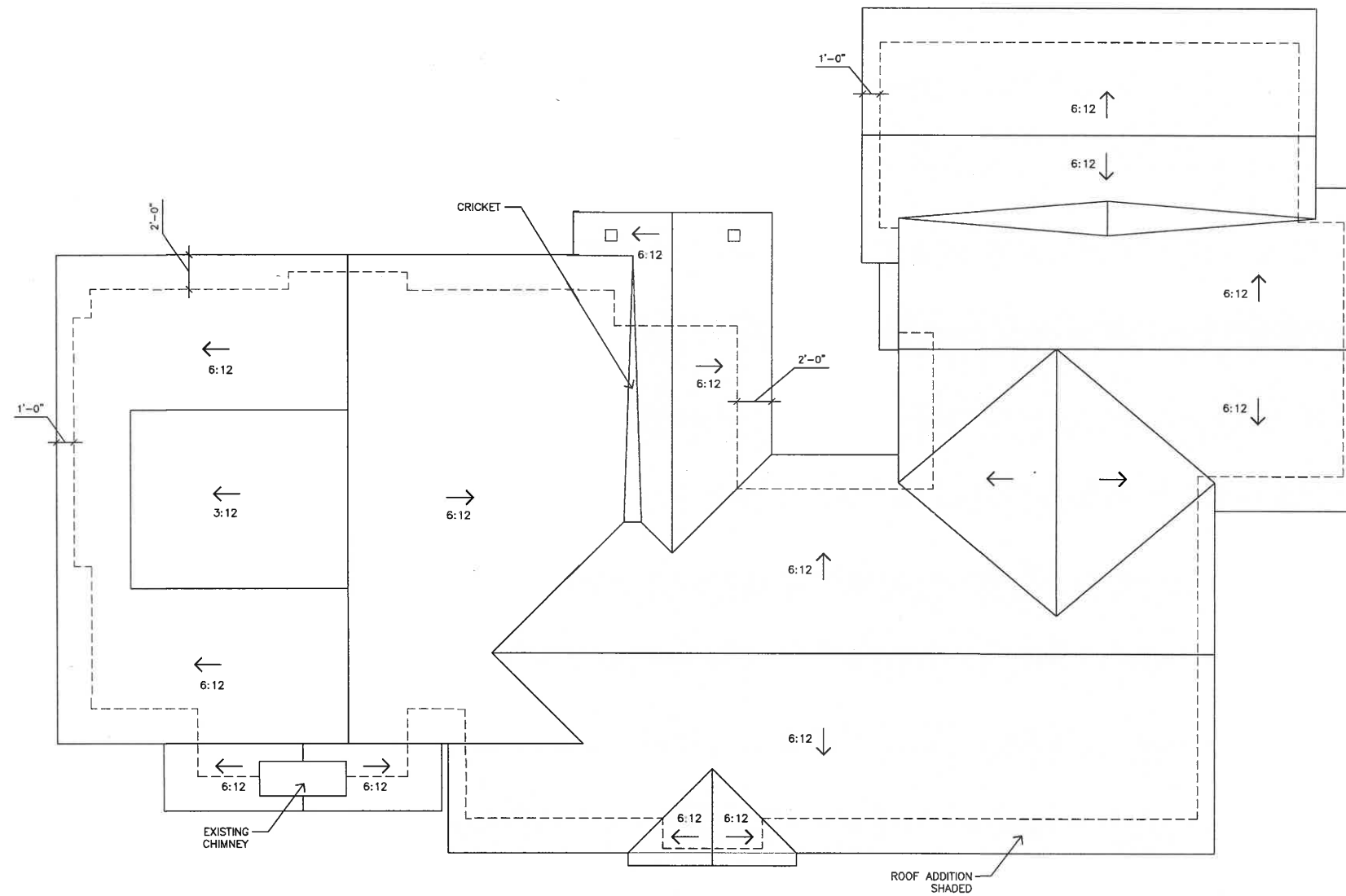
REVISIONS:

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____

**ROOF
PLAN**

SHEET NO.

A5.0



ROOF PLAN

1/4"=1'-0"



DISCLAIMER:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE. DIMENSIONS CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

HUANG LIN
RESIDENCE

PROJECT ADDRESS:

MONTE VERDE 3NE
OF 9TH AVE,
CARMEL, CA 93921

APN: 010-193-011

DATE: JULY 3, 2018

DESIGN APPROVAL

REVISIONS:

△
△
△
△
△
△
△

ELEVATIONS

SHEET NO.

A6.0



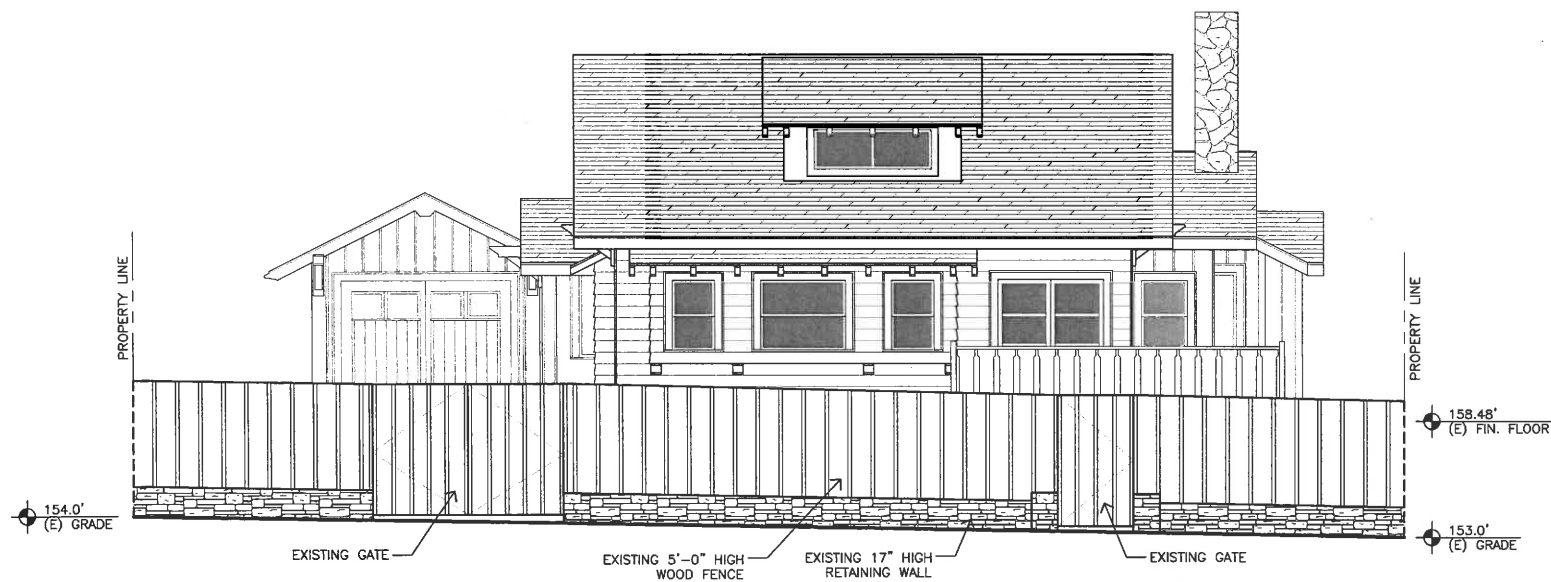
WEST ELEVATION

1/4"=1'-0"



EXISTING - WEST ELEVATION

1/4"=1'-0"



WEST ELEVATION - STREET VIEW

1/4"=1'-0"

EXTERIOR FINISH LEGEND

- 1 WOOD SHAKE ROOFING
- 2 3X PAINTED CEDAR RAFTERS & CORBELS
- 3 EXISTING PAINTED WOOD RAFTERS, BEAMS, & CORBELS
- 4 CEDAR BOARD & BATTENS
- 5 EXISTING PAINTED WOOD SIDING
- 6 NEW PAINTED WOOD DOORS & WINDOWS - REPLACE (E) ALUMINUM WINDOWS
- 7 SHAPED 2X14 PAINTED CEDAR RAILING
- 8 PAINTED CEDAR SURROUND, TRIM & SILLS
- 9 EXISTING STONE CHIMNEY

DISCLAIMER:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE. UNDERSIGNED CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF APPLICABLE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OR ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

HUANG LIN
RESIDENCE

PROJECT ADDRESS:

MONTE VERDE 3NE
OF 9TH AVE,
CARMEL, CA 93921

APN: 010-193-011

DATE: JULY 3, 2018

DESIGN APPROVAL

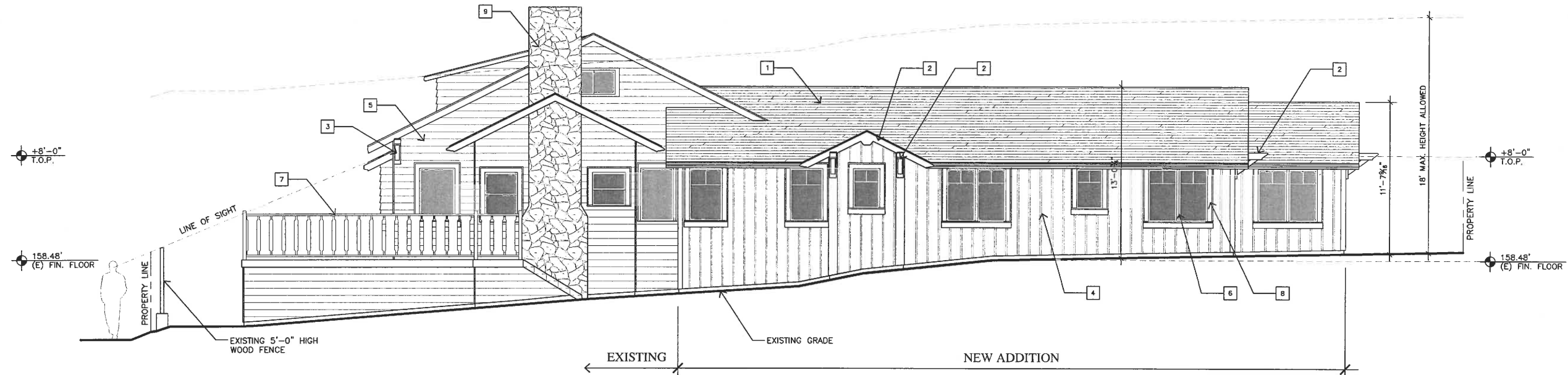
REVISIONS:

△
△
△
△
△
△

ELEVATIONS

SHEET NO.

A6.1

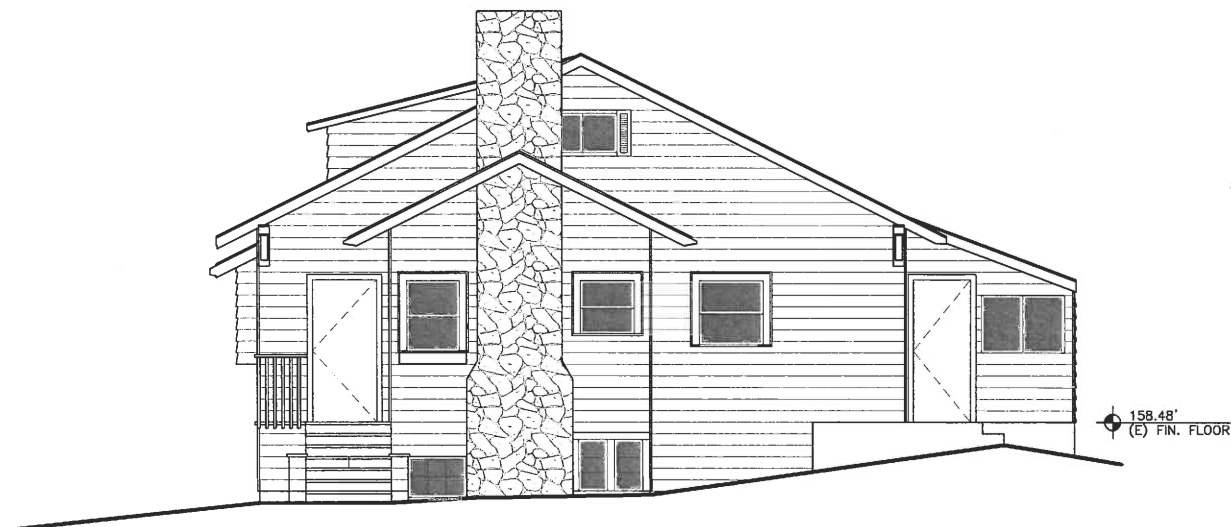


SOUTH ELEVATION

1/4"=1'-0"

EXTERIOR FINISH LEGEND

- 1 WOOD SHAKE ROOFING
- 2 3X PAINTED CEDAR RAFTERS & CORBELS
- 3 EXISTING PAINTED WOOD RAFTERS, BEAMS, & CORBELS
- 4 CEDAR BOARD & BATTENS
- 5 EXISTING PAINTED WOOD SIDING
- 6 NEW PAINTED WOOD DOORS & WINDOWS
- REPLACE (E) ALUMINUM WINDOWS
- 7 SHAPED 2X14 PAINTED CEDAR RAILING
- 8 PAINTED CEDAR SURROUND, TRIM & SILLS
- 9 EXISTING STONE CHIMNEY



EXISTING - SOUTH ELEVATION

1/4"=1'-0"

DISCLAIMER:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ONLY IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR INDULGED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHIP DETAILS OF ADJACENT SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OR ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

HUANG LIN
RESIDENCE

PROJECT ADDRESS:

MONTE VERDE 3NE
OF 9TH AVE,
CARMEL, CA 93921

APN: 010-193-011

DATE: JULY 3, 2018

DESIGN APPROVAL

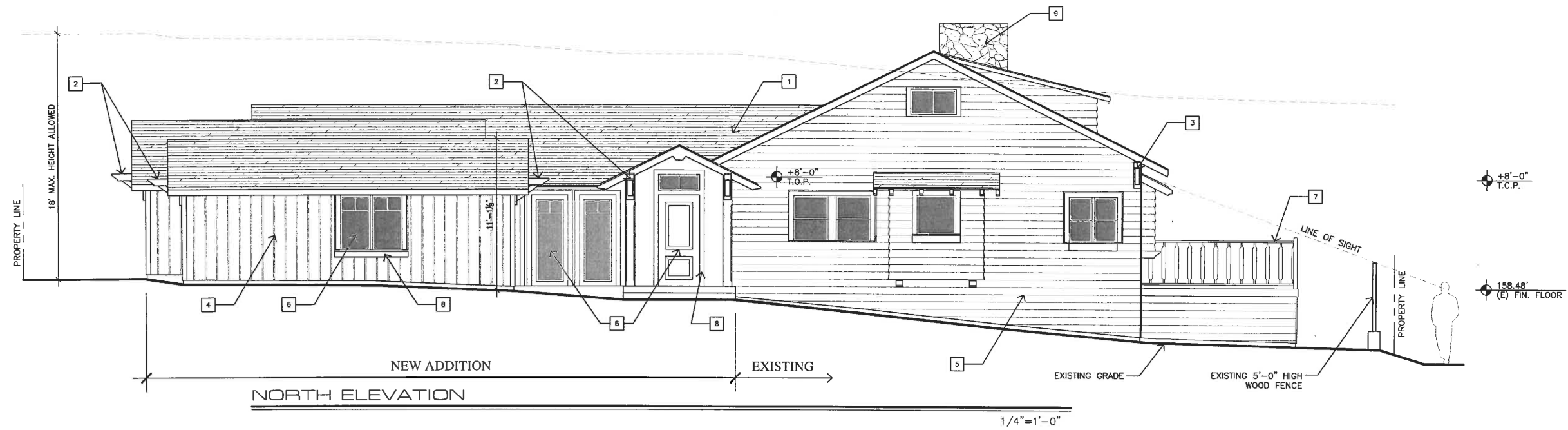
REVISIONS:

1	
2	
3	
4	
5	
6	

ELEVATIONS

SHEET NO.

A6.2



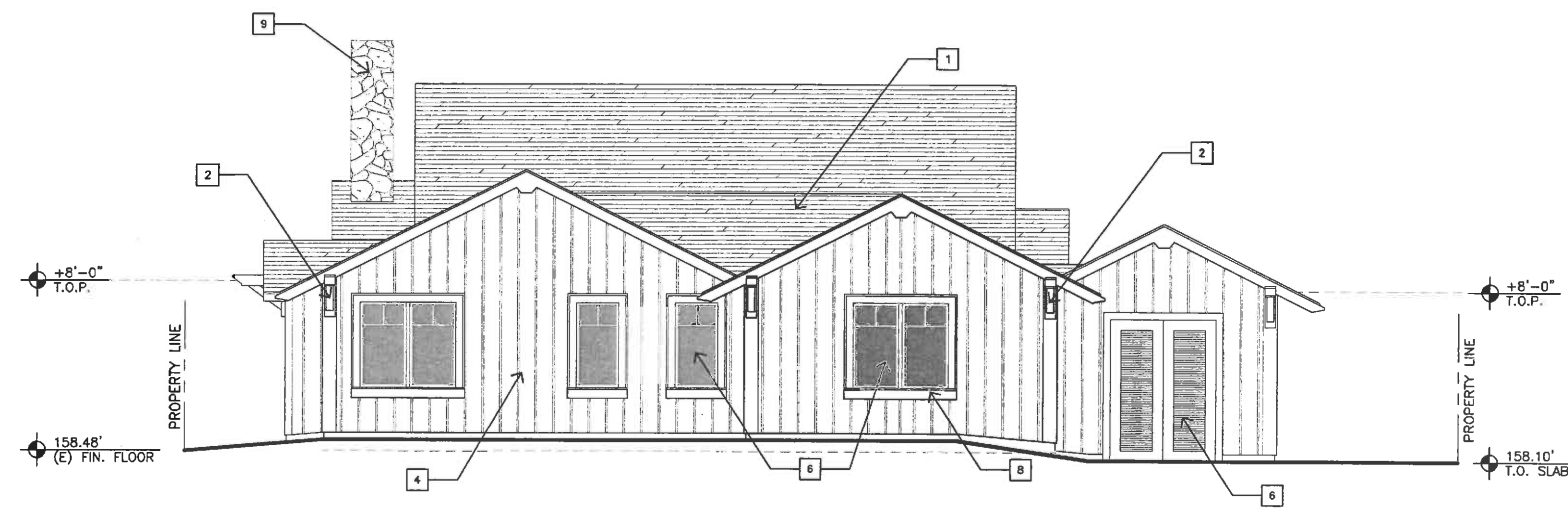
EXTERIOR FINISH LEGEND

- 1 WOOD SHAKE ROOFING
- 2 3X PAINTED CEDAR RAFTERS & CORBELS
- 3 EXISTING PAINTED WOOD RAFTERS, BEAMS, & CORBELS
- 4 CEDAR BOARD & BATTENS
- 5 EXISTING PAINTED WOOD SIDING
- 6 NEW PAINTED WOOD DOORS & WINDOWS - REPLACE (E) ALUMINUM WINDOWS
- 7 SHAPED 2X14 PAINTED CEDAR RAILING
- 8 PAINTED CEDAR SURROUND, TRIM & SILLS
- 9 EXISTING STONE CHIMNEY



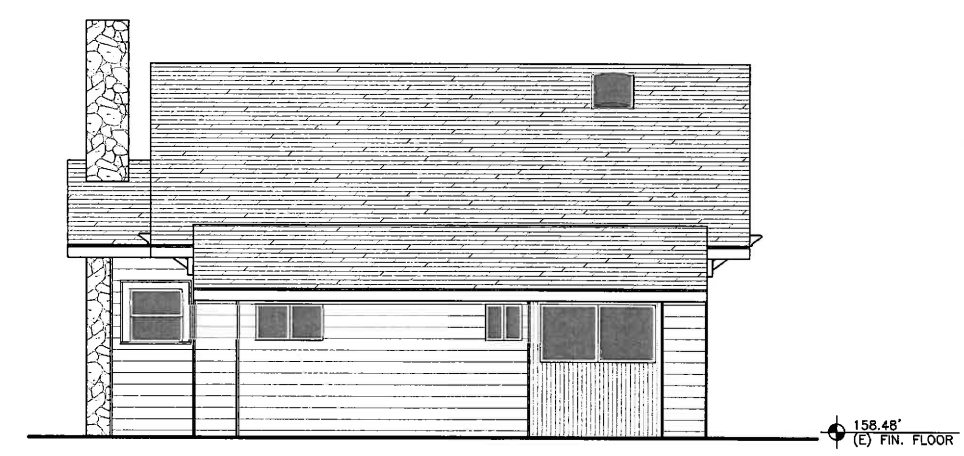
EXISTING - NORTH ELEVATION

1/4"=1'-0"



EAST ELEVATION

1/4"=1'-0"



EXISTING - EAST ELEVATION

1/4"=1'-0"

EXTERIOR FINISH LEGEND

- 1 WOOD SHAKE ROOFING
- 2 3X PAINTED CEDAR RAFTERS & CORBELS
- 3 EXISTING PAINTED WOOD RAFTERS, BEAMS, & CORBELS
- 4 CEDAR BOARD & BATTENS
- 5 EXISTING PAINTED WOOD SIDING
- 6 NEW PAINTED WOOD DOORS & WINDOWS
- REPLACE (E) ALUMINUM WINDOWS
- 7 SHAPED 2X14 PAINTED CEDAR RAILING
- 8 PAINTED CEDAR SURROUND, TRIM & SILLS
- 9 EXISTING STONE CHIMNEY

JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH (831) 646-1261
FAX (831) 646-1280
EMAIL kg@idg-inc.net
WEB www.idg-inc.net

DISCLAIMER:
ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND ARE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ANNUAL SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

HUANG LIN
RESIDENCE

PROJECT ADDRESS:

MONTE VERDE 3NE
OF 9TH AVE,
CARMEL, CA 93921

APN: 010-193-011

DATE: JULY 3, 2018

DESIGN APPROVAL

REVISIONS:

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____

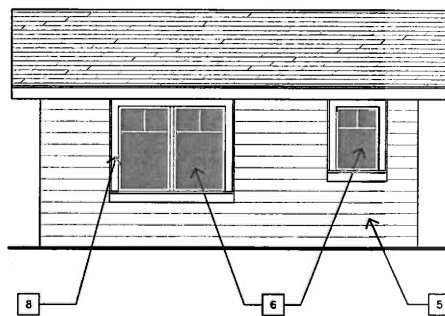
ELEVATIONS

SHEET NO.

A6.3

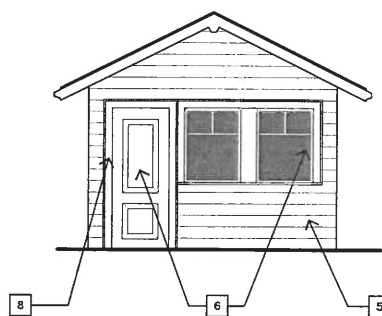
±7'-10"
(E) T.O.P.

161.02'
(E) FIN. FLOOR



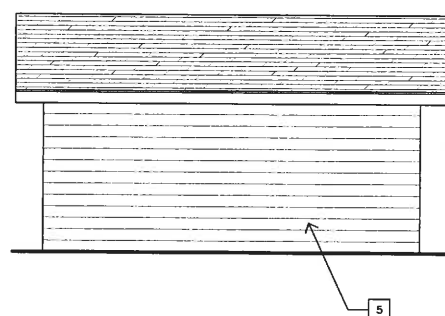
EAST ELEVATION

1/4"=1'-0"



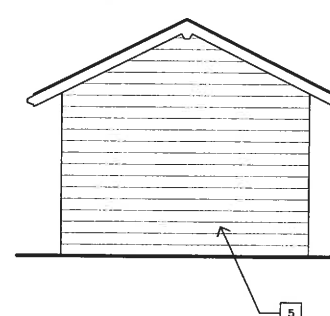
NORTH ELEVATION

1/4"=1'-0"



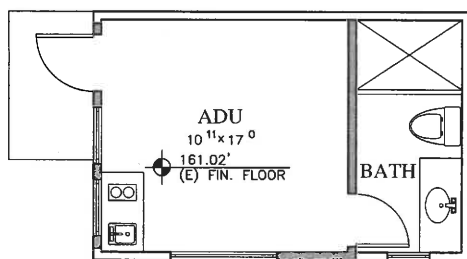
WEST ELEVATION

1/4"=1'-0"



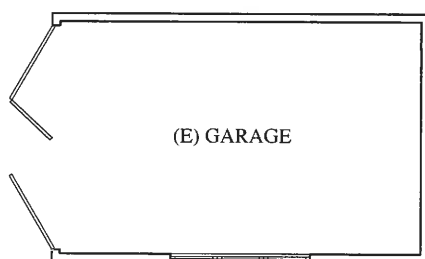
SOUTH ELEVATION

1/4"=1'-0"



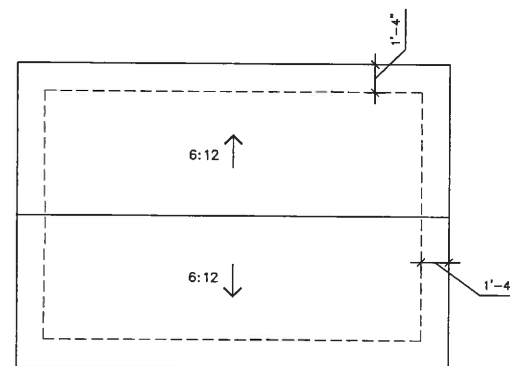
PROPOSED A.D.U.

1/4"=1'-0"



(E) GARAGE

1/4"=1'-0"



(E) ROOF

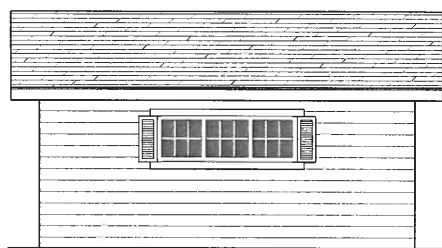
1/4"=1'-0"

EXTERIOR FINISH LEGEND

- 1 WOOD SHAKE ROOFING
- 2 3X PAINTED CEDAR RAFTERS & CORBELS
- 3 EXISTING PAINTED WOOD RAFTERS, BEAMS, & CORBELS
- 4 CEDAR BOARD & BATTENS
- 5 EXISTING PAINTED WOOD SIDING
- 6 NEW PAINTED WOOD DOORS & WINDOWS
- REPLACE (E) ALUMINUM WINDOWS
- 7 SHAPED 2X14 PAINTED CEDAR RAILING
- 8 PAINTED CEDAR SURROUND, TRIM & SILLS
- 9 EXISTING STONE CHIMNEY

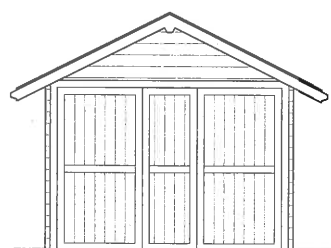
±7'-10"
(E) T.O.P.

161.02'
(E) T.O. SLAB



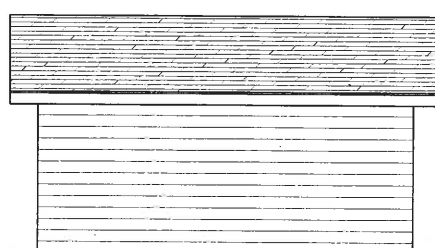
(E) EAST ELEVATION

1/4"=1'-0"



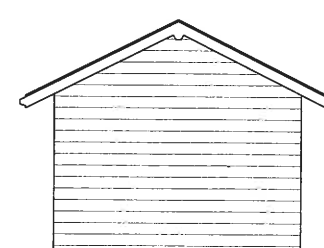
(E) NORTH ELEVATION

1/4"=1'-0"



(E) WEST ELEVATION

1/4"=1'-0"



(E) SOUTH ELEVATION

1/4"=1'-0"

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH: (831) 646-1261
FAX: (831) 646-1280
EMAIL: idg@idg-inc.net
WEB: www.idg-inc.net

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND WERE CREATED, EVALUATED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE BE SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN PERMISSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE. ENGINEERS, CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

HUANG LIN
RESIDENCE

PROJECT ADDRESS:

MONTE VERDE 3NE
OF 9TH AVE,
CARMEL, CA 93921

APN: 010-193-011

DATE: JULY 3, 2018

DESIGN APPROVAL

REVISIONS:

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

A.D.U.
PLANS

SHEET NO.

A6.4

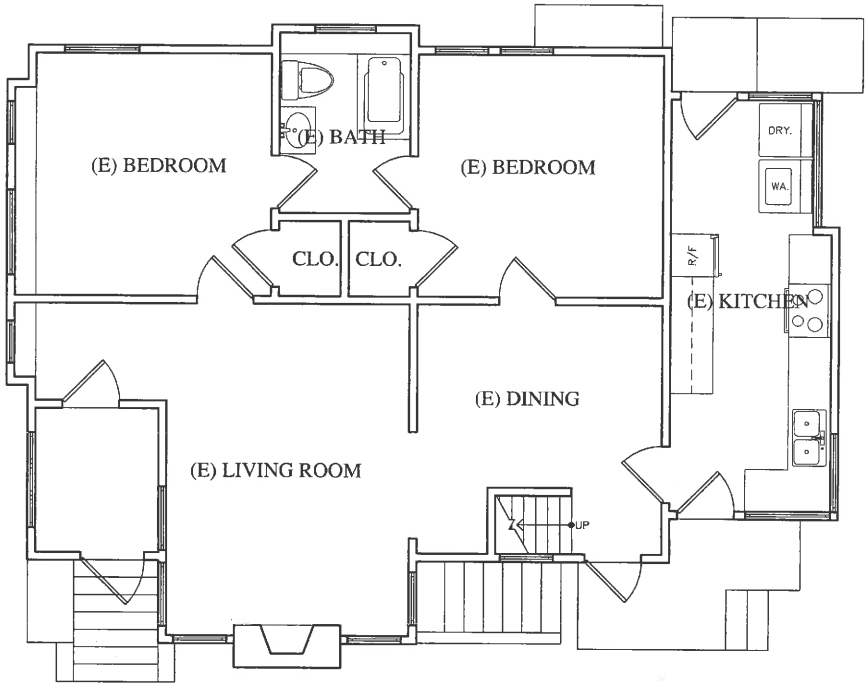
EXISTING MAIN LEVEL PLAN

1/4"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.



JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH (831) 646-1261
FAX (831) 646-1260
EMAIL log@idg-inc.net
WEB www.idg-inc.net

DISCLAIMER:
ALL SCALE, SECTION, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THIS OFFICE AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. ANY REPRODUCTION OR USE OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTICED OF ANY VIOLATION FROM THE DRAWINGS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

HUANG LIN
RESIDENCE

PROJECT ADDRESS:

MONTE VERDE 3NE
OF 9TH AVE,
CARMEL, CA 93921

APN: 010-193-011

DATE: JULY 3, 2018

DESIGN APPROVAL

REVISIONS:

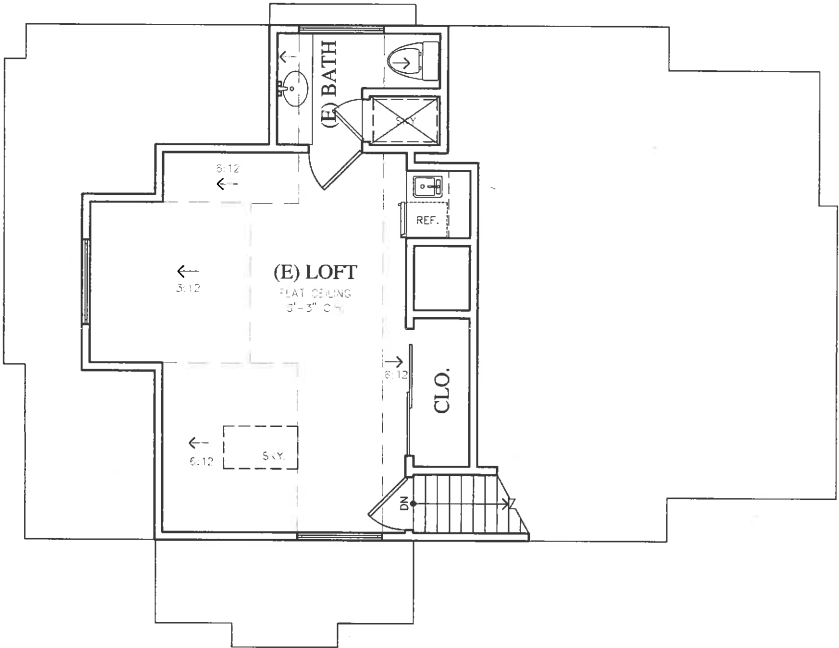
- 1. _____
- 2. _____
- 3. _____
- 4. _____
- 5. _____
- 6. _____

EXISTING MAIN
LEVEL PLAN

SHEET NO.

E2.0

EXISTING LOFT PLAN



1/4"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

JUN A. SILLAND, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE

PACIFIC GROVE CA

93950

PH

(831) 646-1261

FAX

(831) 646-1260

EMAIL

idg@idg-inc.net

WEB

www.idg-inc.net

DISCLAIMER:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THIS OFFICE AND HAVE BEEN CREATED, ENGINEERED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERIOR DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE. DIMENSIONS CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

HUANG LIN
RESIDENCE

PROJECT ADDRESS:

MONTE VERDE 3NE
OF 9TH AVE,
CARMEL, CA 93921

APN: 010-193-011

DATE: JULY 3, 2018

DESIGN APPROVAL

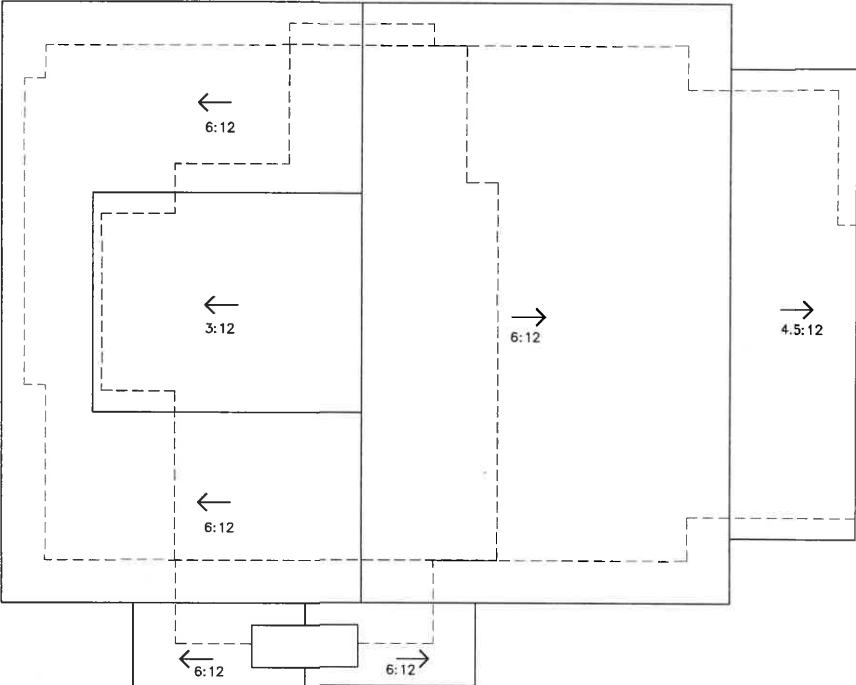
REVISIONS:

- 1
- 2
- 3
- 4
- 5
- 6

EXISTING
LOFT PLAN

SHEET NO.

E3.0



EXISTING ROOF PLAN

1/4"=1'-0"



JUN A. SILLANO, AIA

IDG

ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH: (831) 645-1261
FAX: (831) 645-1260
EMAIL: kgj@idg-inc.net
WEB: www.idg-inc.net

DISCLAIMER:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE. DIMENSIONS: CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION OR ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

**HUANG LIN
RESIDENCE**

PROJECT ADDRESS:

**MONTE VERDE 3NE
OF 9TH AVE,
CARMEL, CA 93921**

APN: 010-193-011

DATE: JULY 3, 2018

DESIGN APPROVAL

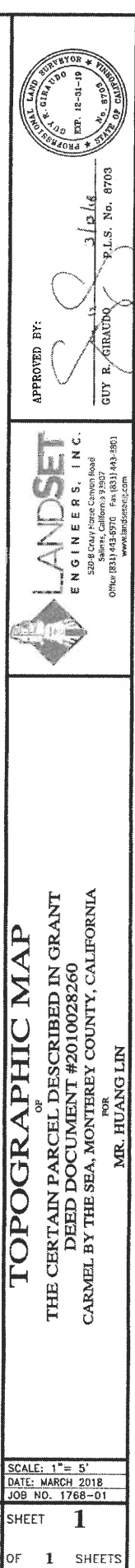
REVISIONS:

1	
2	
3	
4	
5	
6	

**EXISTING
ROOF PLAN**

SHEET NO.

E5.0





CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

July 16, 2018

To: Chair Dyar and Board Members

From: Marc Wiener, AICP, Community Planning and Building Director

Subject: Historic Evaluation (HE 18-151) of a log cabin residence currently listed on the City's Historic Inventory.

Application: HE 18-151 **APN:** 010-211-012

Location: Monte Verde, 4 SE of 4th Ave

Block: 53 **Lot(s):** N 26' of Lot 10

Applicant/Property Owner: Matthew and Stacey Roy

RECOMMENATION

Remove the subject property from the City's Historic Inventory.

EXECUTIVE SUMMARY

The subject building is a 600 square-foot log cabin named the "Richardson Cabin". The cabin was constructed in 1902 by Alameda attorney, George Richardson. In 2002, a DPR 523 Form was prepared by Kent Seavey listing the property on the City's Historic Inventory under California Register criterion 2, as the earliest known Carmel residence of American poet, Robinson Jeffers; and criterion 3, as one of the earliest residential dwelling houses in Carmel-by-the-Sea, and one of the very few log cabins remaining (Attachment 2). The log cabin is severely deteriorated and is uninhabitable. In 2003, shortly after the residence was added to the Historic Inventory, the City posted a notice on the property deeming the structure unsafe to occupy.

The property has been purchased by Matthew and Stacey Roy, who are requesting that the residence be removed from the City's Historic Inventory so that the site can be developed with a new single-family residence suitable for habitation. City Municipal Code Section 17.30.070.D states that: "A property owner of a resource included in the inventory may apply to the City to have the resource removed from the inventory. An historic resource in the Carmel Inventory shall be presumed historically significant and shall not be removed unless substantial evidence demonstrates that it is not an historic resource."

The applicant hired professional historian, Anthony Kirk, Ph.D., to conduct a separate intensive survey of the property (Attachment 3). In Mr. Kirk's survey, it was concluded that the subject log cabin should not be historic because the City's Historic Context Statement does not identify log cabin style buildings as architecturally significant and because Robinson Jeffers did not publish his most significant work while living at the cabin, but rather this work was published during his time at Tor House, during the 1920's and 30's.

The Historic Resources Board (HRB) reviewed and continued this item at the May 21, 2018 meeting, with a request for additional information. Specifically, the HRB requested that the applicant provide an engineering report confirming that the building cannot be salvaged, that staff provide an analysis on the California Environmental Quality Act (CEQA) as it relates to the restoration of this site, and that staff research examples of other projects in which an historic building has to be completely reconstructed.

STAFF ANALYSIS

Previous Review: The following is list of the information items requested by the HRB with a staff response.

1. *The applicant shall provide a report from a licensed engineer with an evaluation of the condition of the building.*

Staff Response: The applicant has provided a report prepared by Derek Bonsper, licensed engineer (Attachment 1). Similar to the assessment conducted by the City's Building Official, Mr. Bonsper concludes that the log cabin is beyond repair and represents a potential life and safety hazard. The wood elements of the building are significantly compromised by dry rot and insect damage. The fireplace is non-reinforced stacked rock, which is not compliant with current code and does not have an adequate foundation.

2. *Staff provide an analysis on the California Environmental Quality Act (CEQA) as it relates to the restoration of this site.*

Staff Response: The CEQA review process is intended for construction/rehabilitation projects to established historic resources, but is not intended for decisions on whether to list or maintain a property on a local historic inventory. What is currently before the HRB is an application to consider whether the log cabin should be maintained on the inventory and not a rehabilitation project. At the May 2018 meeting, one HRB member suggested that the City require a focused Environmental Impact Report (EIR) for this restoration of this log cabin. Under CEQA, a Class 31 exemption may apply to projects on historic resources limited to "maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or

reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards." A potential reconstruction of this residence could potentially qualify for this exemption, if the HRB deems that the proposed restoration work is consistent with the Secretary's Standards (Attachment 5).

3. *Staff shall research examples of other projects in which an historic building has to be completely reconstructed.*

Staff Response: Staff contacted the City's historic preservation consultant and the California Office of Historic Preservation (OHP). Neither were able to provide staff with an example of a building that was completely reconstructed with all new materials. The State OHP pointed out the Secretary's Standards for Reconstruction, but noted that these standards are typically applied to replacing a component of the historic building and not the entire structure. Of important note is that Standard #6 recommends that reconstruction be clearly identified as a contemporary re-creation (Attachment 4).

Staff is able to recall one project located at the northeast corner of Santa Lucia and San Carlos. For this particular project all of the wood-shingle siding was replaced on a historic residence and the windows were repaired. The shingles were cut at the same dimensions as the original, with old-growth redwood. Replicating logs in such a manner would clearly be more challenging than replicating other types of finish materials such as wood shingles, stucco, board and batten siding, etc.

Conclusion: The Municipal Code (CMC 17.30.070.D.b) states that a finding for loss of integrity cannot be made as a result of neglect, and allows the City to take enforcement action against the property owner. In this particular case the log cabin was in very poor condition at the time it was added to the City's Historic Inventory, which is evident by the fact that the City deemed the building unsafe to enter around the same time it was added to the Historic Inventory. In staff's opinion, the City was likely unaware of the condition of the cabin when it was added to the Inventory, otherwise it may have not deemed it historic. The record indicates that the property owner did not neglect the structure for the purpose of having it removed from the Inventory, as it was deemed unsafe to occupy around the same time it was listed. If the property owner had neglected the building for the purpose of having it removed, then they would be in clear violation of the Municipal Code.

Due to the current life and safety issues associated with the log cabin, the Building Official is going to issue an abatement order requiring that it be demolished. If the HRB determines that the log cabin should be maintained on the City's Historic Inventory, then the City would require the property owner to document the existing design of the log cabin so that it can be reconstructed. As previously stated, reconstruction can be classified as exempt from CEQA if the work is consistent with the Secretary's Standards.

Maintaining the City's Historic Inventory is a local decision, in which staff, the HRB, and City Council set the standard as to what should qualify as significant. In order for the historic designation to be of value, a high standard should be maintained. Staff does not support maintaining this structure on the City's Historic Inventory. None of the original building fabric can be preserved, and in staff's opinion, a replica log cabin does not meet the City's standards. Staff also feels that there is some merit to Mr. Kirk's opinion that the Tor House is a much more significant local resource associated with Robinson Jeffers. For these reasons, staff recommends that the property be removed from the City's Historic inventory.

ATTACHMENTS:

- Attachment 1 – Engineer Report
- Attachment 2 – DPR 523 Form (Kent Seavey)
- Attachment 3 – DPR 523 Form (Anthony Kirk)
- Attachment 4 – Secretary's Standards for Reconstruction
- Attachment 5 – CEQA Guidelines
- Attachment 6 – Photographs of other Example
- Attachment 7 – Neighbor Correspondence

June 1, 2018



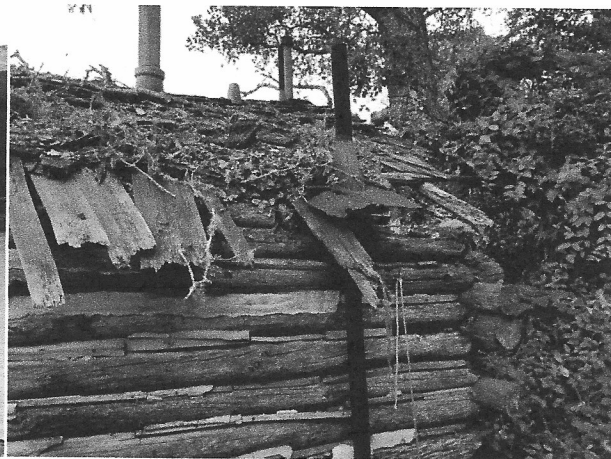
P.O. Box 831
Carmel Valley, CA 93924
(831)-659-3825 office
(831) 920-7933 cell

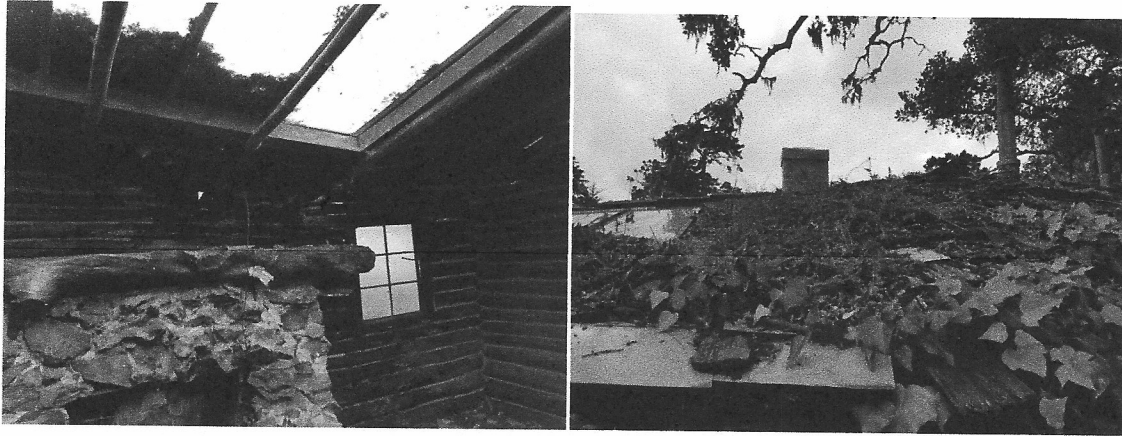
Log Cabin APN: 010-211-012-000
Monte Verde, 4 S.E. of 4th
Carmel, CA 93921



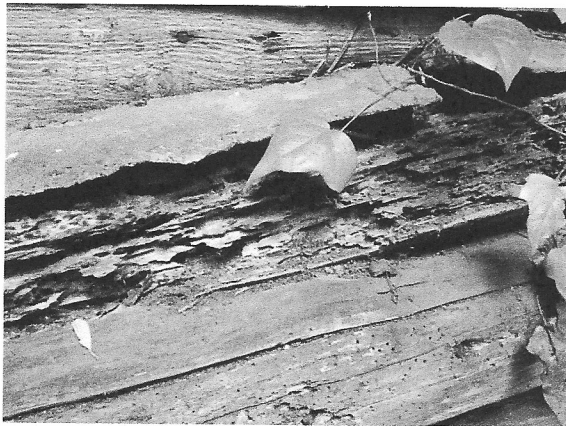
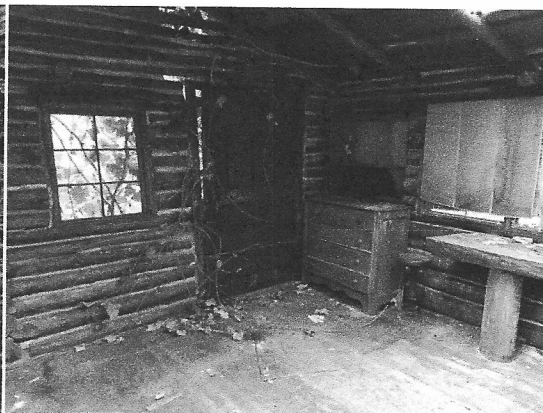
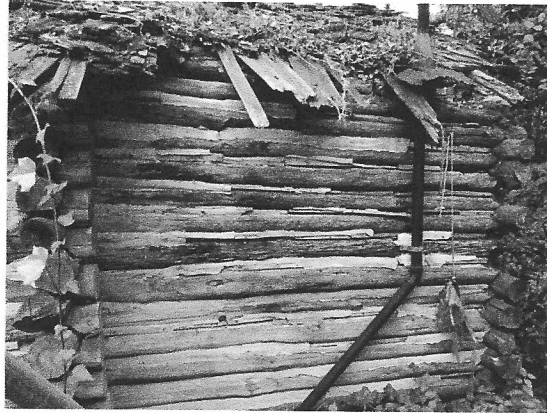
I performed a site visit to the address above on May 31, 2018. The purpose of the visit was to generate a report to determine the structural integrity of an existing log cabin. I have broken my results down into three categories. The categories are roof, foundation and walls.

In assessing the roof of the structure, I noted that the roof appears to be on the verge of collapse and structural failure. The top of the roof is covered with vegetation. The roof framing is made up of small round timbers that are severely undersized and are cracked and failing. There is also termite activity within the roof members. I was unable to get a picture of the ridge due to the bright light at the skylights; however the ridge is broken in the center and is sagging by about 10". To the right of the fireplace the sagging roof can be noted. I consider this roof highly unstable, unsafe and it should be completely demolished before anyone enters the structure. The following four pictures illustrate the damage to the roof.

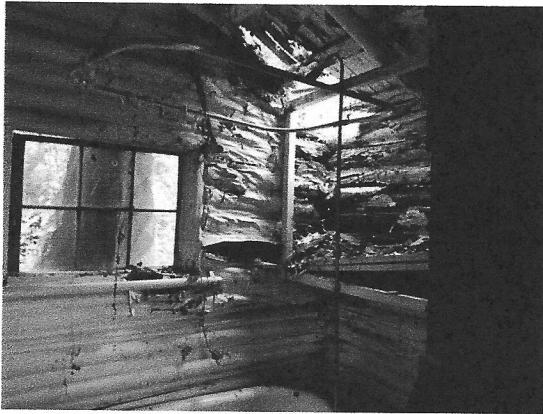




The next area that I observed was the foundation, or lack thereof. The building is supported by wood timbers and posts resting on and buried in the ground. There is no concrete foundation at all. The building is settling in various corners by as much as 18". The floor feels weak and although I was unwilling to crawl below the structure, I would imagine that the floor framing and subfloor have been compromised by termites, weather and the stresses induced by the differential settlement that the building is enduring. The following pictures show the termite damage to the foundation and show the settlement of the building. The corner by the front door is compromised and the wall is being pulled apart by the settling building. There is no portion of the foundation that is salvageable. The fireplace appears to be non reinforced stacked rock which is not compliant with current code and doesn't have an adequate foundation.



The final area that I observed was the walls. The walls are made of round timbers and are connected at the corners with large spikes. The walls have been compromised by termite or beetle activity. I am obviously not an expert on termite damage; however it is obvious that the timbers are compromised. They feel hollow when pressure is applied and they are full of thousands of small holes. There is brown powder on the surface of the timbers indicative of termites or some other pest. The corners of the building have been compromised and the metal spikes have been exposed. The integrity of at least four corners is compromised. In the following pictures the damage can be noted to the corners and the pest activity can be seen on the inside and outside of the timbers.



Based on my findings that I have described in this letter, I feel that this structure represents a life safety hazard. Unfortunately there does not appear to be any part of the structure that is salvageable, as the damage is extensive and the integrity of the materials is compromised.

If you have any questions, comments, or concerns regarding this letter, do not hesitate to call us at **(831) 659-3825**, Monday- Friday, 9AM-6PM.

Best regards,

A handwritten signature in dark ink, appearing to read "DB", written over a circular stamp or seal.

Derek Bonsper, Director of Engineering
Duckbrew Incorporated, C 56450

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

5S1

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page _____ of _____

Resource Name or #: (Assigned by recorder)

Richardson Log Cabin

P1. Other Identifier: _____

P2. Location: _____

Not for Publication ☐ Unrestricted

a. County Monterey

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____

Date _____

T _____

; R _____

1/4 of _____

1/4 of Sec _____

;

B.M. _____

c. Address: _____

City Carmel-by-the-Sea

Zip 93921

d. UTM: (Give more than one for large and/linear resources) _____

mE/ _____

mN _____

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

4 SE of 4th, e/side Monte Verde (Blk 53 Lot 10)

Parcel No. 010-211-012

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-story, log cabin, ell-shaped in plan, resting on a raised log plinth. The exterior wall cladding is probably cedar logs, saddle-notched at their ends, chinked w/Portland cement (?). The west facing facade is characterized by a high log plinth, or retaining wall, on top of which sits the actual cabin. There is a flight of open log steps on the NW side of the plinth, that leads up to the inside corner of the Ell, which forms a landing, or open porch. The entry, a rectangular, vertical wood-plank door, is set back of the landing on the n/side of the ell, with a projecting bay to the south. The medium-pitched front gable roof extends over the set-back entry portion of the building envelope. There may be a partial width, shed-roofed bay along the rear (east) of the cabin. From the early photo attached, it appears that the interior room partitions are also of chinked logs, as their tails extend from the building along the south side elevation. An exterior, eave-wall brick chimney, stuccoed over, is found about half-way along the south side-elevation. Fenestration is irregular, w/one multi-paned wood casement type visible, on the west end of the projecting front gable. The cabin sits well back from the street on a high bench, reached by open stone and log steps, in a densely overgrown informal garden of oaks, pines, some palmettos and other shrubbery.

b. Resource Attributes: (List attributes and codes)

Resources Present

☒

Building

☐

Structure

☐

Object

☐

Site

☐

District

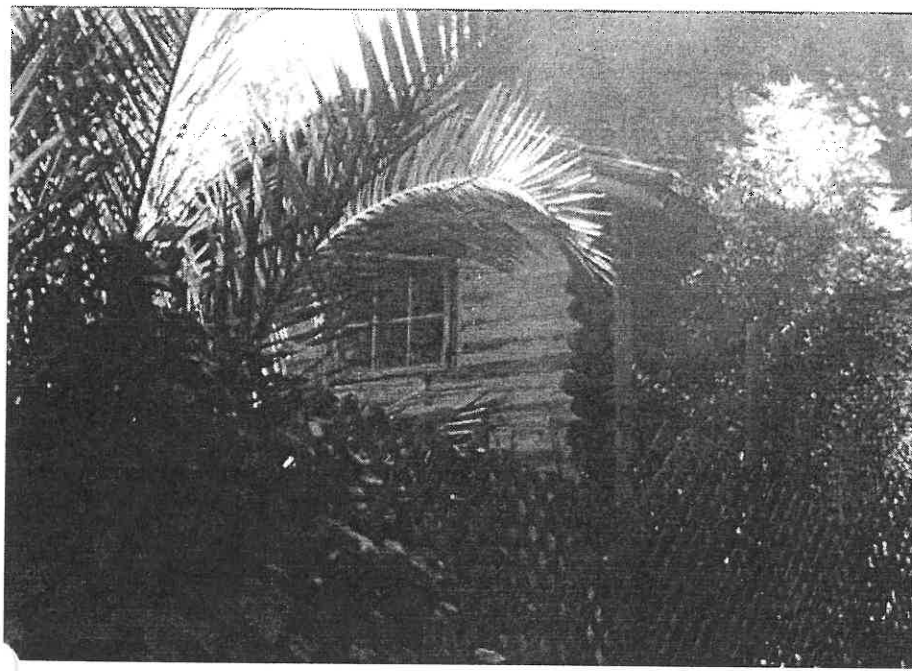
☐

Element of District

☐

Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
(View toward). Photo No: 1075-.

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1902-03 Richardson family records

P7. Owner and Address

John & Carrie Simpson
132 W Carmel Valley Road
Carmel Valley, CA 93924

P8. Recorded by: (Name, affiliation, and address)

Kent L. Seavey, Preservation Consultant, 310
Lighthouse Ave., Pacific Grove, CA 93950

P9. Date Recorded: 5/20/2002

P10. Survey Type: (Describe)

Carmel Historic Resource Inventory - 2001

P11. Report Citation: (Cite survey report and other sources, or enter "none")

Carmel-by-the-Sea Survey 1989-1996

Attachments

NONE

Continuation Sheet

Location Map

Building, Structure, and Object Record

Sketch Map

Archaeological Record

☐ District Record☐ Linear Feature Record☐ Milling Station Record☐ Rock Art Record☐ Artifact Record☐ Photograph Record☐ Other: (List)

BUILDING, STRUCTURE, AND OBJECT RECORD

HRI #

Primary #

je of

NRHP Status Code

5S1

Resource Name or #: (Assigned by recorder) *Richardson Log Cabin*

B1. Historic Name: *Richardson's Log Cabin*

B2. Common Name:

B3. Original Use: *residence*

B4. Present Use: *residence*

B5. Architectural Style: *log cabin*

B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed ca. 1902-03; minor repair 1922 (Cbp#420); minor repairs to bldg. 1971 (Cbp#71-117)

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date :

Original Location:

B8. Related Features:

B9a. Architect:

b. Builder:

B10. Significance: Theme: *Architectural Development, Development of* Area: *Carmel by-the-Sea*

Period of Significance: *1903-1940* Property Type: *single family residence* Applicable Criteria: *CR 2,3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

The Richardson log cabin is significant under California Register criterion 2 as the earliest known Carmel residence of American poet Robinson Jeffers. It is also significant under criterion 3, as one of the earliest residential dwelling houses in Carmel-by-the-Sea, and one of the very few log cabins remaining.

Robinson Jeffers (1887-1962) one of America's most recognized poets, first came to Carmel with his wife Una in the fall of 1914, and rented the Richardson log cabin on Monte Verde. Here the newlywed couple spent the first few years of their married life, writing poetry, "and exploring the countryside around them". Jeffers would develop and publish his second book of poetry, *Californians*, in 1916, while in the residence. He lived in the cabin during an important period of his creative life, as he was developing his talent and sharpening his poetic skills through descriptive narrative of the natural beauty of the Carmel area and its surroundings.

The log cabin was constructed about 1902-03 by or for noted Alameda attorney, George H. Richardson. While originally a vacation home, the Richardsons eventually moved to the Carmel residence. In retirement, Mr. Richardson, became an accomplished violinist, often entertaining other musicians in his home. There are only about four examples of log buildings remaining in Carmel. All are indicative of the creative spirit and eclectic nature of their owners. The Richardson log cabin is particularly interesting for its method of construction, and should be studied in context with its remaining counterparts. It clearly reflects the findings of, and is consistent with the 1997 Carmel Historic Context Statement under the themes of art & culture, and architectural development.

B11. Additional Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*

B12. References:

Carmel bldg records, Carmel Planning Dept., City Hall, Carmel.

Carmel Historic Context Statement 1997

Karman, James, *Robinson Jeffers*, Chronicle Books: San Francisco, 1987

Richardson, George H., undated obituary

Sanborn fire insurance map of Carmel, 1910, 1924, 1930

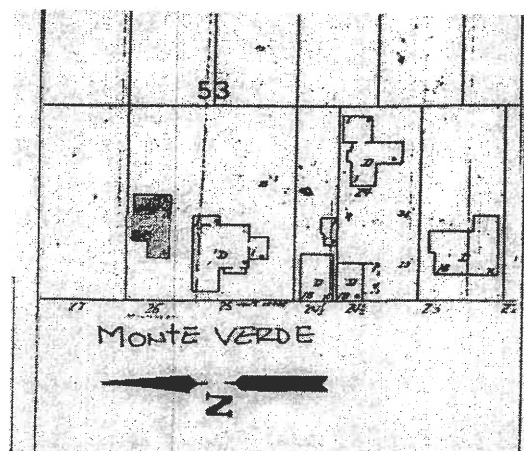
B13. Remarks: *Zoning R-1*
CHCS (AD)

B14. Evaluator: *Kent L. Seavey*

Date of Evaluation: *5/20/2002*

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



CONTINUATION SHEET

Primary #

HRI #

Trinomial

Recorded by: Kent L. Seavey

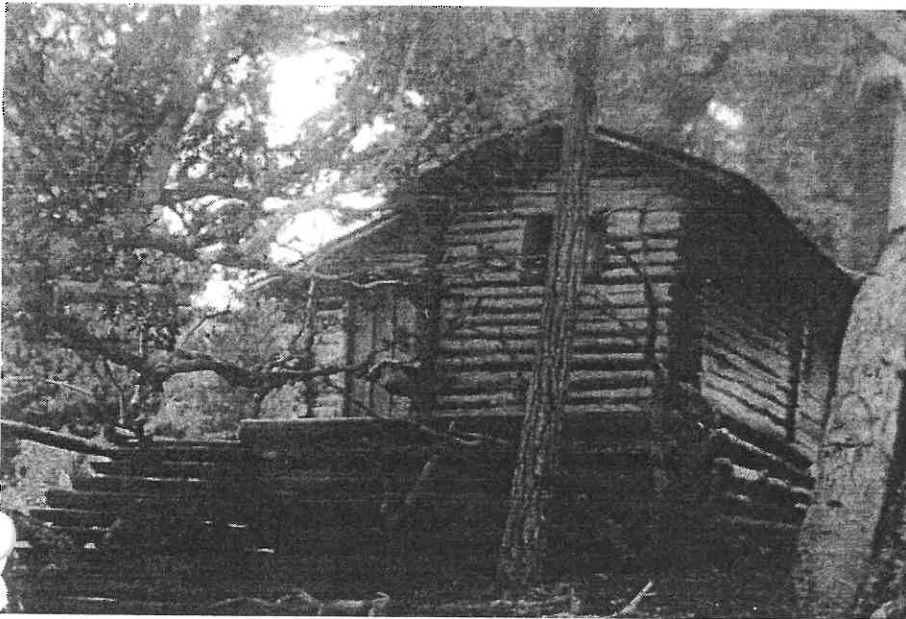
Resource Name or #: (Assigned by recorder)

Richardson Log Cabin

Date 5/20/2002

☒ Continuation ☐ Update

Supplemental Photograph or Drawing



Description of Photo: (View, date, accession#)
(View toward). Photo No: 1076-

State of California -- The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 6

*Resource Name or #: (Assigned by recorder) Monte Verde Street, 4SE of 4th Avenue

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Monterey

and (P2b and P2c or P2d. Attach a Location Map as necessary)

*b. USGS 7.5' Quad Monterey Date 2012 Mount Diablo B.M.

c. Address Monte Verde Street, 4SE of 4th Avenue City Carmel Zip 93923

d. UTM: (Give more than one for large and/or linear resources) Zone ; mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Monterey County APN 010-211-012

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting and boundaries)

The one-story log cabin on Monte Verde Street, southeast of 4th Avenue, was constructed about 1902 or 1903 and altered by the introduction of large glass skylight to the living room, presumably in the 1960s (DPR 523A photo and figure 1-3). The cabin is L-shaped in plan and rests on a foundation of wooden posts. The lot on which it stands rises sharply to the east from Monte Verde, with five or six rock walls creating a series of terraces. At the front of the cabin, close to the street, a series of horizontal logs rises from the ground to the floor joists. The logs are set on both the north and south sides of the cabin as well, rising to the joists, until the cabin floor rests on the ground. The walls of the cabin are composed of slender notched logs, the interstices filled with concrete. A canted flight of wooden stairs on the west side formerly led to a small porch and a plank entry door, facing Monte Verde Street. Both the stairs and porch have collapsed. Fenestration is asymmetrical and consists of six- and eight-light wood-sash casement windows. A row of windows fills the north side of the living room, which comprises most of the cabin. The low-pitched front-gabled roof covering the house is characterized by open eaves and moderate overhang and is finished with wood shingles. A smaller front-gabled roof, stepped down from the principal roof, covers the bedroom at the southwest (continued on page 3)

*P3b. Resource Attributes: (List attributes and codes) HP2 – Single Family Property

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #) Looking west at east side, 4/24/18

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Ca. 1902-03; telephone conference with Carly Simpson, 5/1/18

*P7. Owner and Address:

John and Cary Simpson
132 West Carmel Valley Road
Carmel Valley, CA 93924

*P8. Recorded by: (Name, affiliation, and address)

Anthony Kirk, Ph.D.
420 Alberto Way, No. 36
Los Gatos, CA 95032

*P9. Date Recorded: 5/3/18

*P10. Survey Type: (Describe)
Intensive

*P11. Report Citation: (cite survey report and other sources, or enter "none.") Kent Seavey, DPR 523A and 523B, 2002

*Attachments: ☐ NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 6

*NRHP Status Code

*Resource Name or # (Assigned by recorder) Monte Verde Street, 4SE of 4th Avenue

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-family residence

B4. Present Use: Vacant/not in use

*B5. Architectural Style: None

*B6. Construction History: (Construction date, alteration, and date of alterations) Constructed ca. 1902-03; skylights installed ca. 1960s.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

*B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme n/a

Area n/a

Period of Significance n/a

Property Type n/a

Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Address integrity.)

A native of Pittsburgh, Pennsylvania, Robinson Jeffers was born in 1887. He traveled widely in his youth and became fluent in French and German. He attended Occidental College and after graduation matriculated at the University of Southern California. He studied literature and then medicine, becoming in the course of time the lover of Una Kuster, wife of Edward Kuster, a Los Angeles attorney. Jeffers briefly studied forestry at the University of Washington, and in 1912 paid to have his first book of verse, *Flagns and Apples* published. The work failed to attract readers, and his own mother described the poetry as "dainty." Following Una's divorce, the two were married in Tacoma, Washington, on August 2, 1913. They lived in La Jolla, California, for a spell and then headed north, taking the stagecoach from Monterey to Carmel, where they "looked down through pines and sea-fogs to Carmel Bay." It was evident, as the poet wrote, that they "had come without knowing it to our inevitable place."

In September 1914, the couple rented a small cabin on Monte Verde Street, where Jeffers worked at composing verse. In early 1916 Jeffers completed the editing of the poems he had written and sent them to Macmillan Company. He was delighted to learn the publisher would print the work under the title *Californians*. The poems appeared that October, "causing scarcely a ripple in literary circles." As Jeffers himself said, the book "found no readers." Nonetheless, favorable reviews ultimately appeared, and Jeffers continued to write, though his published work (continued on page 3)

B11. Additional Resource Attributes (List attributes and codes):

*B12. References:

Architectural Resources Group, *Historic Context Statement* ([San Francisco], 2008).

Melba Berry Bennett, *The Stone Mason of Tor House: The Life and Work of Robinson Jeffers* ([Los Angeles], 1966).

James Karman, *Robinson Jeffers* (Brownsville, OR, 1995).

Lawrence Clark Powell, *Robinson Jeffers* (Pasadena, CA, 1934).

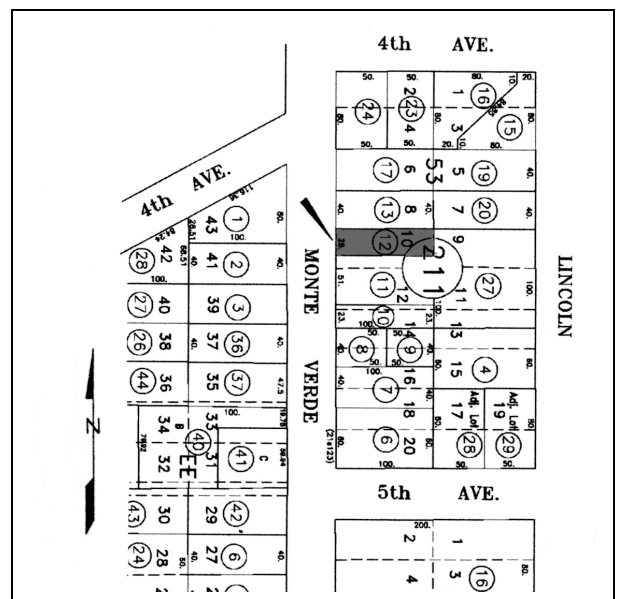
Robinson Jeffers, Wikipedia (accessed May 1, 2018).

B13. Remarks:

*B14. Evaluator: Anthony Kirk, Ph.D.

*Date of Evaluation: 5/3/18

(This space reserved for official comments.)



CONTINUATION SHEET

Primary # _____

HRI# _____

Trinomial _____

Page 3 of 6

*Resource Name or # (Assigned by recorder) Monte Verde Street, 4SE of 4th Avenue

*Recorded by Anthony Kirk, Ph.D.

*Date 5/3/18

☒ Continuation ☐ Update

P3a. Description:

corner of the house. It too is characterized by open eaves and moderate overhang and is finished with wooden shingles. An exterior chimney, which is almost entire covered with stucco, rises along the south side of the cabin from a massive stone fireplace. The shingles comprising the roof have deteriorated, and the top of the cabin is covered with leaves and grass and ferns. To the rear of the cabin, stone steps lead to a small woodshed. A rock-edged pond is set on a terrace behind the woodshed.

A photograph made in 1915 shows Robinson and Una Jeffers sitting with his mother and aunt before the cabin. In the background, to the right of the front door, a large redwood tree rises through the floor of the porch and continues through the roof of the cabin (figure 4). The tree is clearly visible in an image that dates to about 1949, thirty-two years after Robinson and Una Jeffers moved to the nearby Tretheway cottage (figure 5). In another photograph taken at the same time, the property owners, Walter and Grace Tancil, stand with a friend on the street before the cabin (figure 6). Both photographs clearly show a flight of split-log stairs, with a rude banister fashioned from branches of a tree, ascending to the small porch, or deck, before the entry door. Large logs rise from the ground to the floor joists of the bedroom, spanning a distance that is roughly half as high as the room itself.

The cabin is in ruinous condition. The walls of the cabin appear to be canted outward. The southeast section of the roof has fallen in, admitting light and rain to the room. Here and there concrete has become detached from the interstices between the logs and fallen to the ground, leaving small holes in the walls. Some of the windows are loose in their casings, creating drafts and allowing water to enter the cabin. A heavy tarp, which was placed on the cabin many years ago, drapes over part of the roof and sections of the north and east sides.

The cabin, which stands a short distance from Monte Verde Street, is hidden from view by a nearly impenetrable jungle of trees, bamboo, shrubs, ferns, and ivy that has come to characterize the property.

B10. Significance:

was, as he put it, "only preparatory exercises, to say the best for them." He had not yet, as one of his biographers, Melba Berry Bennett, wrote, "found his way in the original verse forms which he later adopted." In November of that year, Una gave birth to twins in Pasadena. Jeffers soon returned to Carmel, where he found a larger house for the family to live in, Tretheway cottage, not far from the cabin. When Una appeared in March 1917 she found her husband at loose ends, but he now possessed, as Bennett wrote, a "creative energy that marked the true beginning of his life as a poet."

Tor House was built of granite for the Jeffers family on Carmel Point. It was begun in 1918 and completed in mid-1919. While living in Tor House, Robinson Jeffers published fourteen volumes of verse—from *Tamar and Other Poems* in 1924 to *Hungerfield and Other Poems* in 1954—which established and then consolidated his reputation as the poetic voice of the far West. The volume *Californians* is not without merit, but it in no way compares with the work published in the 1920s and 1930s, when Jeffers's reputation was at its highest. The time he spent on Monte Verde Street is of interest to scholars of his life and work, but it was at the beginning of his career, when he was struggling to find his voice. The poems he composed in the cabin have none of the power of his later verse, when he wrote of murder, incest, and parricide, distinguishing himself as a master of the epic form, who believed mankind was too self-centered. His early work is not historically significant and, as such, the cabin is not significant for its association with Robinson Jeffers.

The cabin, which was built about 1902 or 1903 as a vacation home by George H. Richardson, is ostensibly one of the earliest cottages or houses still standing in Carmel and one of the few log cabins to survive the years, according to the DPR 523B form prepared in 2002 by Kent Seavey. The earliest house in Carmel actually dates to 1846, according to the *Carmel Historic Context Statement: Carmel-by-the-Sea* (2008), when John Murphy built a home for his family on San Antonio Avenue. La Playa Hotel was constructed in 1903 as a residence and studio for Chris Jorgenson. It was converted to a hotel and expanded in 1911 and today is one of the Historic Hotels of America. The *Context Statement* makes no mention of age in regard to significant single-family residences, stating only they should "reflect Carmel's pronounced taste for individualism" or that they should be "the work of a master builder or architect." The cabin originally exhibited but two of many features associated with early houses in Carmel: chalk rock walls and paving and a porch attached to the façade. The porch was rebuilt in the early 1970s and has since collapsed. Although it is of interest that the cabin was constructed of logs, there is no mention of log cabins in the *Context Statement*.



Figure 1. Looking northwest at south and east sides, 4/24/18.

Figure 2. Looking southwest at north side, 4/24/18.



Page 5 of 6

*Resource Name or # (Assigned by recorder) Monte Verde Street, 4SE of 4th Avenue

*Recorded by Anthony Kirk, Ph.D.

*Date 5/3/18

☒ Continuation ☐ Update



Figure 3. Looking southwest at interior of living room, 4/24/18.

Figure 4. Robinson and Una Jeffers, with Robinson Jeffers's aunt and mother, before the cabin, 1915.



CONTINUATION SHEET

Primary # _____

HRI# _____

Trinomial _____

Page 6 of 6

*Resource Name or # (Assigned by recorder) Monte Verde Street, 4SE of 4th Avenue

*Recorded by Anthony Kirk, Ph.D.

*Date 5/3/18

☒ Continuation ☐ Update



Figure 5. Looking southeast at cabin, ca. 1949. Note the towering redwood tree that passes through both the porch floor and the roof overhang. *Photograph courtesy of John and Cary Simpson.*

Figure 6. Looking northeast at cabin. Walter and Grace Tancil, grandparents of current owner, John Simpson, stand with a friend at the edge of Monte Verde Street. *Photograph courtesy of John and Cary Simpson.*



Standards for Reconstruction

1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.
2. Reconstruction of a landscape, building, structure or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts that are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.
3. Reconstruction will include measures to preserve any remaining historic materials, features and spatial relationships.
4. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color and texture.
5. A reconstruction will be clearly identified as a contemporary re-creation.
6. Designs that were never executed historically will not be constructed.

Reconstruction

When a contemporary depiction is required to understand and interpret a property's historic value (including the re-creation of missing components in a historic district or site); when no other property with the same associative value has survived; and when sufficient historical documentation exists to ensure an accurate reproduction, Reconstruction may be considered as a treatment.

The [Guidelines for the Treatment of Historic Properties](#) illustrate the practical application of these treatment standards to historic properties.

The [Guidelines for the Treatment of Cultural Landscapes](#) apply these treatment standards to historic cultural landscapes.



NE Corner San Carlos and Santa Lucia



NE Corner San Carlos and Santa Lucia

15331. HISTORICAL RESOURCE RESTORATION/REHABILITATION

Class 31 consists of projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

**15064.5. DETERMINING THE SIGNIFICANCE OF IMPACTS TO ARCHAEOLOGICAL AND
HISTORICAL RESOURCES**

(a) For purposes of this section, the term "historical resources" shall include the following:

(1) A resource listed in, or determined to be eligible by the State Historical Resources

Commission, for listing in the California Register of Historical Resources (Pub. Res. Code

§ 5024.1, Title 14 CCR, Section 4850 et seq.).

(2) A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.

(3) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources

(Pub. Res. Code § 5024.1, Title 14 CCR, Section 4852) including the following:

(A) Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;

(B) Is associated with the lives of persons important in our past;

(C) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or

(D) Has yielded, or may be likely to yield, information important in prehistory or history.

(4) The fact that a resource is not listed in, or determined to be eligible for listing in the

California Register of Historical Resources, not included in a local register of historical resources (pursuant to section 5020.1(k) of the Public Resources Code), or identified in an historical resources survey (meeting the criteria in section 5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code sections 5020.1(j) or 5024.1.

(b) A project with an effect that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment.

(1) Substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.

(2) The significance of an historical resource is materially impaired when a project:

Association of Environmental Professionals 2016 CEQA Guidelines

141

(A) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources; or

(B) Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to section

5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant;

or

(C) Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

(3) Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource.

(4) A lead agency shall identify potentially feasible measures to mitigate significant adverse changes in the significance of an historical resource. The lead agency shall ensure that any adopted measures to mitigate or avoid significant adverse changes are fully enforceable through permit conditions, agreements, or other measures.

(5) When a project will affect state-owned historical resources, as described in Public

Resources Code Section 5024, and the lead agency is a state agency, the lead agency shall consult with the State Historic Preservation Officer as provided in Public Resources Code

Section 5024.5. Consultation should be coordinated in a timely fashion with the preparation of environmental documents.

6/11/2018

Log cabin on Monte Verde - mwiener@ci.carmel.ca.us - Carmel-by-the-Sea Mail

Linda L. Smith <lachmund@pacbell.net>
to me

4:54 PM (6 minutes ago)

Members of the Historic Resources Board::

As a resident of Carmel for fifty years, I can say that one of the most attractive aspects of Carmel culture is its attachment to its history. And to that end, the town has designated certain old interesting houses as historic assets. So it is with the log cabin in question.

If a place such as this is historic, it should remain so despite the machinations of real estate and the appetites that seek to convert it to cash. A quaint faux Carmel cottage built in its place is no substitute for a proper restoration of a weathered veteran of old times redolent with memories.

The town's governance should support and protect these few lingering strains of the old music that played at Carmel's beginnings. Many are the artists, musicians and thinkers whose ghosts haunt the "Jeffers" log cabin and some may remember the well know jeweler, Denny Rickard, a true Carmelite in his soul, whose tenure there lasted thirty years up until the late nineties. He tried to get historic designation for it, with the intention to restore himself, but alas this designation was delayed until 2002 and his dream did not come to pass. Instead sadly the cabin was allowed to deteriorate.

The proper outcome here would be maintenance of the cabin's historic designation and the restoration of this structure according to historic guidelines into a useful house with its history respected and celebrated by this community and all the many who would feel the pleasure of knowing such a place exists with its story still going on

I ask that the Historic Designation for this building remain in effect.

Sincerely,

J.L. Smith
PO Box 422
Carmel, CA 93921
831-625-1261

Al Giovanni
algio11@mac.com
530 434 3778

June 6, 2018

RECEIVED

JUN 08 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

Before moving to Carmel and covering a fifty year career in Stone Masonry my Historical Restoration experience was focused on repairing and cleaning Masonry work. Often we built replicas of the worn or eroded original construction.

As a Docent, Mason and Board Member of Robinson Jeffers Tor House an upgraded perspective was offered to me by fellow Board Member, Ripple Huth. When we were replicating and replacing Stone Castings that included Hawk Tower Gargoyles followed later in the recreation of Stone Carvings of Unicorns and Hawks, Ripple impressed upon me the importance of knowing the similarities and differences regarding **Historical Preservation** versus **Historical Restoration**.

This was the beginning of a new and exciting appreciation for architectural antiquities and I have carried with me both perspectives since that time.

Regarding the Jeffers Log House and Stone Fireplace on Monte Verde St. in Carmel the interest here should be to inspect the existing Masonry Fireplace in order to ascertain what CAN be done before deciding what will be done. Most of the words that I have read seem focused on the condition of the log structure while my expertise would be to inspect the Stone Structure. While I'm not so quick these days to remove and replace "old work" the condition of the logs may require just that.

Al Giovanni
algio11@mac.com
530 434 3778

Aengus Jeffers sent me a photo (see attached photo) and for the first time I saw the Stone Fireplace which jumped off the page telling this Stone Mason that we need to take a better look at the unit before doing anything. But in the photo, here's what I saw: some of the Stones above the Lintel are quite interesting, the Burnt Log Mantle is a treasure and there's a Brick Firebox with hand crafted Wood Irons. However, I will need to inspect it in person to be in order to give a



more thorough report.

Al Giovanni
algio11@mac.com
530 434 3778

As a writer, I'd like to share another perspective. If we know the years that Jeffers lived here and we know the names of others who lived in Carmel at that time, my guess is that many of these artist pioneers visited that cabin from time to time when the fires were burning, the laughter roaring, tea or wine flowing and the wind outside blowing, while inside, the musings of many got passed around.

So please consider me if you're looking to add an interested professional to the inspection team.

May the best decision be made for the future of this property.

Al Giovanni

RECEIVED

JUN 08 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

June 7, 2018

Historic Resources Board
Carmel, CA 93921

Re: Historic Designation of Monte Verde Street "Jeffers" Log Cabin

Dear Members of the Board:

I grew up and live in the historic Mabel Grey Young cottage directly to the east of the little log cabin where Robinson and Una Jeffers lived when they first moved to their "inevitable place", Carmel in 1914. My grandmother was a concert pianist, one of the original Bohemians, and she and Una and Robin shared a love of music and the muse. Our property consists of 2 1/2 lots with many oaks and native shrubs. The largely unchanged 750 sq ft cottage Mike Murphy built for my grandmother in 1905 stands in the northeast corner of the property. A little tenthouse, the last in town, stands in the southwest corner. The rustic little log cabin, with its wonderful old oaks in back, was the first house in the area and has always been part of the wooded oak habitat and of the quintessential historic Carmel ambience of our block. Other styles of architecture are represented up the block as well. Next door to the south is a craftsmen, the Hale house, the third built on the block, where Fred Bechdolt and Adele Hale lived. Next to it is a Comstock cottage, the Swiss Chalet, and next to it a classic little Carmel board and batten cottage, the Snug Bug. Next comes another craftsmen cottage and then a Carmel Spanish stucco house. With its very special association to Robinson Jeffers, I believe that the log cabin should be honored. I very much oppose removing the historic designation it so rightly carries.

Robinson Jeffers is, as we know, one of our most celebrated literary geniuses, and the two years that he and Una lived in the cabin were some of the most profound in his creative evolution. Not only did he write his first book Californians there, but he went through a transformative shift in his style of writing, for which he later became so famous. I have attached a copy of his introduction to the 1935 Roan Stallion, Tamar and Other Poems, in which he describes the epiphany he experienced on one of his and Una's expeditions over the water pipe across Pescadero Canyon into Del Monte Forest to collect wood for the cabin fireplace.

Today many people would ask why we should preserve certain special historic places like this in Carmel. A look at our city's history and the values that brought us fame and fortune bring us an awareness that we might fail to achieve if we only look at the present and make every judgment according to the bottom line. Some things are priceless, and a sense of history and continuity and gratitude for nature's gifts and our creative ancestors are in this category. These are a legacy we need to pass on to future generations.

It is very regrettable that the log cabin has deteriorated so profoundly. It is a sad example of a "demolition through neglect" and if historic designation is removed because of the state it is now in, it would set a tragic precedent for anyone else who may not yet appreciate their good luck and, yes, responsibility in having in their keeping any of the precious last remaining historic properties in Carmel. My hope is that the suggestions made by Kent Seavey in the attached Pine Cone article from 2004 will be chosen by the Historic Resources Board and embraced by the new owners of the place. They may not have intended it, but they really do have the opportunity and real privilege to be restorers and keepers of this Carmel treasure. It would be the truly good and right thing to do.

Sincerely,

Linda Lachmund Smith
PO Box 422
Carmel, Ca 93921
Telephone: 831-624-1127
Email: lachmund@pacbell.net

Historian: Hundred-year-old log cabin Jeffers' first home

By MARY BROWNFIELD

MANY CARMELITES have likely driven past it hundreds of times without even noticing, but the tiny, run-down, plant-shrouded log cabin on Monte Verde Street between Fourth and Fifth avenues is more than 100 years old and was an early home to famous poet Robinson Jeffers and his wife, Una.

"Here the newlywed couple spent the first few years of their married life, writing poetry and 'exploring the countryside around them,'" historian Kent Seavey wrote in his 2001 assessment of the property.

While living there, Jeffers wrote and published his second book of poetry, "Californians," in 1916.

"Then he moved down to Fourth and Palou and took up residence there while Tor House was being built," Seavey told The Pine Cone.

The Jeffers were not the cabin's first inhabitants. According to Seavey's report, the one-story, cedar log cabin on the 2,600-square-foot lot was built in 1902-1903 as a vacation home for Alameda attorney George Richardson. He eventually moved there with his wife and became an "accomplished violinist, often entertaining other musicians in his home."

Over the intervening years, the home's ownership changed. Walter Tancill made some repairs to it in 1971, according to the property file in the Carmel Planning and Building Department, and its present owners, Carmel Valley residents John and Carrie Simpson, approached the city for advice and a site assessment at the end of 2002.

"I spoke to them some time back, and they are interested in doing something with the property," Seavey confirmed.

Options for restoration

As one of only three or four log cabins remaining in Carmel and an early home of the city's favorite poet, the cabin's historicity is beyond doubt, according to Seavey. But several options for its restoration exist.

"It would be a worthy project to stabilize or reconstruct," he said. "With bark logs, often if you've got them, you've got boring beetles, termites and the like, and I expect that little place is extremely tired."

From the street, it appears to be falling apart, with sections of structural logs turned to dust and gaps in the walls. It might be possible to rebuild deteriorated sections, according to Seavey.

If all else fails, detailed drawings could be made from the cabin, which could be torn down and rebuilt with similar wood logs and other like materials in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, he said.

"It would be built to specific dimensions — duplicated — and that might not be a bad thing in terms of being able to use the building," he said.



PHOTO/MARY BROWNFIELD

The former Jeffers cabin on Monte Verde between Fourth and Fifth can just be glimpsed from the street, and what's visible isn't pretty. The historic cabin is falling apart and may have to be completely rebuilt. It was the first Carmel home of Robinson Jeffers and his wife, Una, before they built the famous Tor House, and its signature Hawk Tower, on Carmel Point.

Ran Stallion Tamer and other
Beems
1935 - Modern Library
Edition

INTRODUCTION

My publisher wrote that if I wanted to revise anything, here was my chance, for new plates would have to be made. I thought in a kind of panic, "Of course I ought to revise, but how terrible!" for it is a pleasure to write, but after a thing has been written I hate to see it again; poems are the sort of children that it is delightful to beget, dreary to educate. Yet it seemed clearly a duty. So I made terms with my conscience and my publisher: "If you'll let me off revising I'll write an introduction instead; that will only take a few hours, the other would take weeks." This is the introduction, a mere conscience-penny.

It might be entitled "Meditation by a Water-main." We used to walk in the Del Monte Forest in the days when it was uninhabited. Near the place where we climbed a fence to enter the woods there was a deep ravine, bridged by the water-main that ran from the dam up the Carmel Valley to the reservoir lake back of Monterey. A wooden trestle supported the big pipe where it crossed the gorge, and this was our bridge into the farther woods; but we had to scramble carefully, for wild bees hived halfway over, in the timbers against the pipe. And it was harder coming back; I had to make two crossings then, one to carry the dog, and one with the firewood that we brought home from the forest.

This was twenty-one years ago, and I am thinking of a bitter meditation that worked in my head one day while I

returned from the woods and was making my two crossings by the pipe-line. It had occurred to me that I was already a year older than Keats when he died, and I too had written many verses, but they were all worthless. I had imitated and imitated, and that was all.

I have never been ambitious, but it seemed unpleasant just the same to have accomplished nothing, but exactly nothing, along the only course that permanently interested me. There are times when one forgets for a moment that life's value is life, any further accomplishment is of very little importance comparatively. This was one of those times and I can still taste its special bitterness; I was still quite young at twenty-seven.

When I had set down the dog and went back over our bridge for the bundle of firewood my thoughts began to be more practical, not more pleasant. This originality, without which a writer of verses is only a verse-writer, is there any way to attain it? The more advanced contemporary poets were attaining it by going farther and farther along the way that perhaps Mallarmé's aging dream had shown them, divorcing poetry from reason and ideas, bringing it nearer to music, finally to astonish the world with what would look like pure nonsense and would be pure poetry. No doubt these lucky writers were imitating each other, instead of imitating Shelley and Milton as I had done . . . but no, not all of them, someone must be setting the pace, going farther than anyone had dared to go before. Ezra Pound perhaps? Whoever it was, was *original*.

Perhaps this was the means to attain originality: to make a guess which way literature is going, and go there first. Read carefully your contemporaries, chart their line of advance, then hurry and do what they are going to do next year. And

viii

if they drew their inspiration from France, I could read French as well as any of them.

(This was not all quite seriously thought, partly I was just tormenting myself. But a young man is such a fool in his meditations, at least I was; let me say for shame's sake that I have not considered "trends" since turning thirty, nor been competitive either.)

But now, as I smelled the wild honey midway the trestle and mediated the direction of modern poetry, my discouragement blackened. It seemed to me that Mallarmé and his followers, renouncing intelligibility in order to concentrate the music of poetry, had turned off the road into a narrowing lane. Their successors could only make further renunciations; ideas had gone, now meter had gone, imagery would have to go; then recognizable emotions would have to go; perhaps at last even words might have to go or give up their meaning, nothing be left but musical syllables. Every advance required the elimination of some aspect of reality, and what could it profit me to know the direction of modern poetry if I did not like the direction? It was too much like putting out your eyes to cultivate the sense of hearing, or cutting off the right hand to develop the left. These asceticisms were not for me; originality by amputation was too painful for me.

But—I thought—everything has been said already; there seems to be only this way to go on. Unless one should do like the Chinese with their heavy past: eliminate one's own words from the poem, use quotations from books as the elder poets used imagery from life and nature, make something new by putting together a mosaic of the old. A more promising kind of amputation; one or two noble things might be done that way, but not more, for the trick would pall on Western ears;

ix

and not by me, who never could bear the atmosphere of libraries since I escaped from my studious father's control.

I laid down the bundle of sticks and stood sadly by our bridge-head. The sea-fog was coming up the ravine, fingering through the pines, the air smelled of the sea and pine-resin and yerba buena, my girl and my dog were with me... and I was standing there like a poor God-forsaken man-of-letters, making my final decision not to become a "modern." I did not want to become slight and fantastic, abstract and unintelligible.

I was doomed to go on imitating dead men, unless some impossible wind should blow me emotions or ideas, or a point of view, or even mere rhythms, that had not occurred to them. There was nothing to do about it.

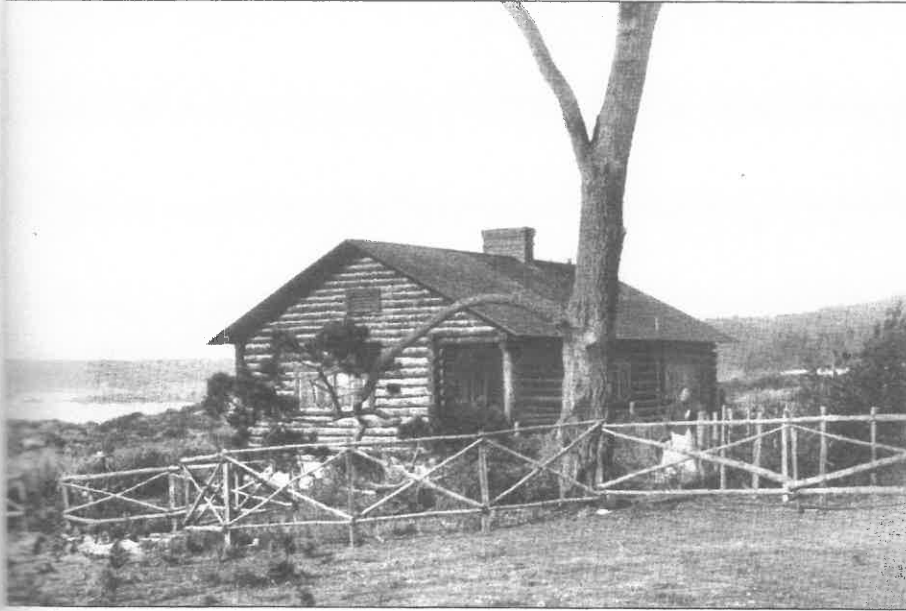
We climbed the fence and went home through the evening-lighted trees. I must have been a charming companion that afternoon.

This book began to be written three or four years later. I was past my green-sickness by that time, and did not stop to think whether the verses were original or followed a tendency, or would find a reader. Nor have I ever considered whether they deserved to find one.

ROBINSON JEFFERS.

CONTENTS

	PAGES
INTRODUCTION	vii
ROAN STALLION	3
THE TOWER BEYOND TRAGEDY	23
NIGHT	84
BIRDS	87
FOG	88
BOATS IN A FOG	89
GRANITE AND CYPRESS	91
VICES	92
PHENOMENA	93
PEOPLE AND A HERON	94
HAUNTED COUNTRY	95
AUTUMN EVENING	96
SHINE, PERISHING REPUBLIC	97
THE TREASURE	98
JOY	99
PRACTICAL PEOPLE	100
WOODROW WILSON	101
SCIENCE	103
THE TORCH-BEARERS' RACE	104
TAMAR	108
GALE IN APRIL	181
MAL PASO BRIDGE	182
THE COAST-RANGE CHRIST	186
DIVINELY SUPERFLUOUS BEAUTY	220
THE MAID'S THOUGHT	221



Sanford medical doctors Levi Lane and Virginia Smiley had Log Haven constructed about 1907 on the north side of Eighth Avenue near Carmelo Avenue. Note the open space beyond the rustic cabin. The property was incorporated into a commercial development called Cottages by the Sea in 1941 by Adolph Bixler, with contractor Ernest Bixler as builder. (Photograph courtesy of Pat Schaway, Historic California Views.)



San Jose attorney George H. Richardson had this log cabin on Monte Verde Street about 1903. It was one of four rustic log houses in early Carmel. In 1914, newly married Robinson Jeffers and his wife, Una, rented it as their Carmel home. Jeffers and family members are seen on the porch. (Photograph courtesy of the Tor House Foundation Archival Collection.)

The photo above from Kent Seavey's 2007 book on the Architectural history of Carmel, shows Robin, Great Aunt Mary, Una and Billie, the dog sitting in front of the little log cabin, in which they spent the first two years of their life in Carmel, 1914-16.

In the Carmel Pine Cone from January 10, 1941, Una described those years this way: "So began our happy life in Carmel, full and over-full of joy from the first...Robin was writing poetry...There was housework, and continual wood chopping to fill the maw of the great fireplace in our drafty cabin. We bought simple textbooks on flowers, shells, birds, and stars, and used them. We explored the village street by street, followed the traces of the moccasin trail through the forest, and dreamed around the crumbling walls about the old mission. When we walked up from the shore at sunset scarfs of smoke drifting up from hidden chimneys foretold our own happy supper and evening by the fire. It was pleasant to sniff the air and recognize the pungent scent of eucalyptus, the faint, somehow nostalgic quality of burning oak, the gun-powdery smell of driftwood, redwood like ripe apricots, and keener than all, the tonic resin of pitch pine."

Una had been married to Ted Kuster and she and Robin remained friends with him and his new wife Edith. Invited to visit in 1914, Edith wrote later in her book, Of Una Jeffers, A Memoir, "I couldn't get there fast enough. Una and Robin met me at the train in Monterey. I peered eagerly out of the window and saw that beautiful bay filled with little blue Spanish and Italian fishing boats...Robin picked up my bags and put them underneath the seat of the surrey Una was driving...I marveled at Una-she handled those two spirited horses so expertly....As we drove up the steep grade toward Carmel, Una stopped to let the horses rest and to point out to me the Monterey Bay behind us-a perfect, blue crescent, one of the most beautiful bays in the world. To the east of it, behind a black line of pine trees, is Dem Monte...When we reached Carmel, we got out and left the horses at Hodges, then Gould's, Livery Stable. We walked the rest of the way down the joyous little path to the log cabin...The log cabin era is one of my most beautiful memories. The cabin was not large, a living room with an enormous fireplace, one bedroom and bath and an excessively small kitchen. Una cooked all the meals on an old iron stove. She did it so gaily."

National Trust Says Carmel Is a "National Treasure"

By Isabelle Hall

A group of trainees in the National Trust for Historic Preservation spent a week looking at Carmel-by-the-Sea and concluded it is a "national treasure" that needs leadership and vision to keep it preserved for history.

The wide-ranging recommendations of the four separate teams of the 32 participants in the leadership training session were presented orally Sunday at a reception at the Carmel Woman's Club. They dealt squarely with the residents versus tourist schism that has divided the city virtually since its inception in 1916, citing, "A lack of realistic dealing with tourism in the planning process."

A breakdown of communications between local groups was cited as a problem by many of the Carmel people interviewed during the study, participants said, to the point where one team recommended that the city hire an outside consultant to hold a series of community meetings between the warring factions somewhat like a marriage counselor.

Among suggestions were creation of a Post Office substation at the opposite end of the commercial residential zone, a farmer's market, city-subsidized stores where residents could buy their basic needs at competitive prices and perimeter parking and shuttle service with a fee for non-residents and parking for residents only in the residential areas.

"You need to take a look at your General Plan and your 2016 plan and decide how you want tourism to interact with the community. Until then, it is impossible to deal with parking and other problems. Historic preservation can be one of the fires that helps Carmel to grow," said Richard Patenaude of Palm Springs, listing the conclusions of his team. "But none of these recommendations will take place like magic."

He said historic preservation brings rehabilitation which leads to more construction and retail jobs. "It will bring more resident serving businesses, and that's one thing we



MAYOR KEN WHITE made members of the National Trust for Historic Preservation all honorary members of the Carmel Fire Department after a presentation at the

Woman's Club Sunday. He said it was so they could help him "put out the fires." Sun photo by Isabelle Hall

feel you really want in your downtown." As Rob Hanford of Chico put it, "Preservation's got to be economical. You've got to make some money."

But without strong leadership, Patenaude said, "Your City Council, Planning Commission and staff don't have any idea how to handle these problems. You need a city government truly representative of one vision."

The group said it took a cursory look at Carmel's zoning ordinance and concluded the city had made "some very great steps in policies to protect the village" but that "strong leadership" was needed to "educate the residents on what's expected to keep the community the way you want to keep it."

Kathryn Burns, director of the Western Regional Office of the National Trust, said the trainees talked to Neil Kruse, chairman of the 2016 Committee; Mayor Ken White; Councilwoman Barbara Brooks; Planning

Director Brian Roseth; David Maradei, president of the Carmel Residents Association; Toni Jepson, executive director of the Carmel Business Association; Gary Luce, head of the Carmel Innkeepers Association and Noel Van Bibber, president of the Northeast Carmel Neighbors Association. Also, Kay Prime, president of Carmel Heritage; Bruce Kibby, chairman of the Architectural Preservation Committee; Judy McClelland, associate planner for Pacific Grove; Enid Sales, head of the Carmel Architectural and Historical Survey; Brian Congleton, vice chairman of the Planning Commission; and Kent Seavy, an architectural historian and preservation consultant, of Pacific Grove.

She said they did not talk to members of the Voice of Carmel, Carmel Citizens for Good Government, the Carmel Foundation, Friends of Sunset Center or Friends of Carmel Forest.

Stressing that all of the proposals were suggested over a long term basis, members of the group said:

● No serious action plans for preservation can take place until the "city leadership exhibits a unified vision combining the

Continued on page 9

Planning Takes Sharp Drop

The number of applications made for various permits at the Carmel Planning Department dropped by one-third in 1992, officials reported.

A total of 208 applications were filed in 1992, compared with 293 in 1991 and 347 in 1990.

The bulk of the applications, 65, were for signs. There were 54 requests for use permits, 25 for design review of proposed residential construction, 24 for commercial design review and 19 for design study.



MEMBERS OF THE NATIONAL TRUST FOR HISTORIC PRESERVATION told Carmel officials and residents Sunday the city was "a national treasure."
Sun photo by Isabelle Hall

Carmel's a "National Treasure"

Continued from page 3

General Plan goals with those of the 2016 Committee."

- The city needs to deal realistically with tourism in the planning process.
- It should make mandatory rather than voluntary compliance with the newly adopted Historic Preservation Ordinance.
- There should be an investigation of economic incentives for property tax relief of historic properties.

- In order to reinforce the residential area, Carmel should have a parking plan with a shuttle service like Beaver Creek, Colo.
- The city should nominate itself to the National Register of Historic Places, an honorary status that does not restrict development and can help it, to bolster the economic future.

- A preservation planner should be hired.
- The survey of 2,500 properties done by the Architectural and Historical Survey under Sales' direction should be completed, analyzed and evaluated.
- The city should establish an independent design review board with discretionary powers and should make the design review process "less imposing" between the community and the developer.
- All the present design review standards should be made mandatory.

- Incentives should be created to encourage low cost housing to establish a base for creating resident-serving businesses such as was done in Aspen, Colo., for that city's service industry.

at the First Murphy House and create an historical archive.

- The city should seek joint funding between the commercial and non-profit sectors for its preservation projects because "there's a variety of funds out there."

During a question and answer period, Congleton asked why one team suggested mass marketing for tourism. "Why would it be desirable to promote tourism rather than restrict it and promote cultural events for tourists?"

"Carmel-by-the-Sea is a national treasure," replied Karla Hammer of San Jose. "A public relations campaign would be educational. Carmel almost requires a certain care when visiting and when one comes to live in it to protect the character of the community."

Sharon Lawrence, a resident, asked what were the top historical places the group found in Carmel. None were cited because participants said they didn't look at the community "in that depth." Rather they were impressed by the "stylistic distinctiveness of the cottages and the great diversity of architecture."

Matthew Sugarman of Coloma said, "You're not telling your history. You have a unique background but I only saw two signs—for City Hall and parking. As a visitor, I'd appreciate knowing more about the city. I'd love to see an interpretation of your town. You can show it to your own residents and the visitors because they're going to come."

The Weekly Sun, Jan. 14, 1993

Column one continued

- Carmel should establish a city-operated resident serving store for basic needs with competitive prices guaranteed by the city.
- There should be a 10 to 15 percent discount program for village residents.
- Carmel should establish a farmer's market and more community-oriented events.

- Carmel needs to take a leadership role in planning on the entire Monterey Peninsula.

- The city should mount an education and public awareness program on preservation of its natural, architectural and cultural assets.

- To further protect the upper tree canopy, the city should strengthen and broaden its tree ordinance and continue reforestation along with a public education program.

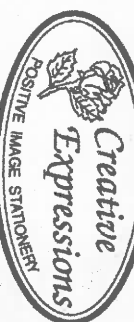
- A landscape component should be added to the design review ordinance with specific regulations on what kind of plant species would be appropriate for the area.

- Carmel should encourage fostering and investing in the arts, supplementing music festivals with literary festivals, for example.

- There should be more Town Meetings.
- The city should establish an historically oriented public relations campaign, targeting regional and national audiences of both tourists and potential residents.

- Carmel must halt the incremental loss of features that have given it its unique character, primarily the residential area.

- It should establish a community gathering place, perhaps near the post office or



50% OFF

ALL CALENDARS

Cards & Wrap • Rubber Stamps
Helium Balloons • Kids' Items
• GRAPHICS/WORD PROCESSING
* Signs * Flyers * Resumes

Open 10 - 9 Mon.-Sat. Sun. 11-5.
Lincoln between 5th & 6th
Carmel • 626-9424

INSURANCE
Individual or Group

See Batt Cassano
or Amanda O'Brien

(408) 659-3262

At 71 W. Carmel Valley Rd. Ste. 205
Carmel Valley CA 95024





Carmel-by-the-Sea

