

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD
SPECIAL MEETING AGENDA**

Monday, May 18, 2015
2:45 p.m. Tour
4:00 p.m. Open Session

City Hall Council Chambers
East side of Monte Verde Street
Between Ocean and Seventh Avenues

A. CALL TO ORDER AND ROLL CALL

BOARD MEMBERS:

ERIK DYAR, CHAIR
GREGORY CARPER
ELINOR LAIOLO
KATHRYN GUALTIERI
JULIE WENDT

B. TOUR OF INSPECTION

Shortly after 2:45 p.m., the Board will leave the Council Chambers for an on-site Tour of Inspection as noted on “applications” section of the agenda. The public is welcome to follow the Historic Resource Board on its tour of the subject sites. The Board will return to Council Chambers at 4:00 p.m., or as soon thereafter as possible.

C. PLEDGE OF ALLEGIANCE

D. APPEARANCES

Anyone wishing to address the Board on matters within the jurisdiction of the Board may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Board’s agenda will not receive action at this meeting, but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as established by the Board. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

E. CONSENT AGENDA

1. Consideration of the minutes of April 20, 2015 Historic Resources Board Meeting

F. ITEM

- | | |
|---|---|
| 1. DR 14-38 (Carmel Mission)
Diocese of Monterey
SW Corner of Rio Road and
Lasuen Drive
Block: US, Lot: 38
APN: 009-531-003 | Consideration of a Design Review (DR 14-38) application and associated Coastal Development Permit for alterations to the Carmel Mission including improvements to the parking area, courtyards, and gift shop |
| 2. HE 15-168 (Golden Bough Theater)
Dennis Levett
SE Corner of Monte Verde and
Ocean
Block: 74, Lots: 5 & 6
APN: 009-210-009 | Review the potential historic significance of the property and determine whether a Phase 1 Historic Evaluation should be prepared |

G. DIRECTOR'S REPORT

H. SUBCOMMITTEE REPORT

1. Mid-Century Modern Buildings Committee
2. Historic Home of the Month Committee

I. DISCUSSION ITEMS

J. BOARD MEMBER ANNOUNCEMENTS

K. ADJOURNMENT

Any writings or documents provided to a majority of the Historic Resources Board regarding any item on this agenda will be made available for public inspection in the Planning and Building Department located at City Hall, on Monte Verde between Ocean and 7th Avenues during normal business hours.

The next regular meeting of the Historic Resources Board is scheduled for Monday, June 15, 2015.

3:15 p.m. – Tour of Inspection
4:00 p.m. – Regular Agenda

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. The City of Carmel-by-the-Sea Telecommunication's Device for the Deaf/Speech Impaired (TDD) number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request to the Board Secretary. If you need assistance, please advise the Board Secretary what item you would like to comment on, and the microphone will be brought to you.

AFFIDAVIT OF POSTING

I, Marc E. Wiener, Senior Planner, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln Avenues and the Carmel Post Office and distributed to members of the media on May 15, 2015.

Dated this 15th, day of May 2015 at the hour of 4:30 p.m.

Marc Wiener, Senior Planner

**MINUTES
CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD
April 20, 2015**

City Hall Council Chambers
East side of Monte Verde Street
Between Ocean and Seventh Avenues

A. CALL TO ORDER AND ROLL CALL

The meeting was called to order by Chair Erik Dyar at **4:06 p.m.**

PRESENT: Erik Dyar, Chair
Gregory Carper, Vice Chair
Elinor Laiolo
Kathryn Gualtieri
Julie Wendt

ABSENT: None

STAFF PRESENT: Rob Mullane, AICP, Community Planning and Building Director
Marc Wiener, Senior Planner
Roxanne Ellis, Historic Resources Board Secretary

B. TOUR OF INSPECTION

There was no tour of inspections.

Chair Dyar called for roll call at **4:06 p.m.**

C. PLEDGE OF ALLEGIANCE

Members of the audience joined the Board in the Pledge of Allegiance.

D. APPEARANCES

There were no appearances.

E. CONSENT AGENDA

- Consideration of the minutes of February 26, 2015 Historic Resources Board Meeting

Board Member Gualtieri moved to approve the draft minutes from the February 26, 2015 Historic Resources Board Meeting. Motion seconded by Vice Chair Carper and carried by the following roll call vote:

AYES:	COMMISSIONERS: CARPER, LAIOLO, GUALTIERI & DYAR
NOES:	COMMISSIONERS: NONE
ABSENT:	COMMISSIONERS: NONE
ABSTAIN:	COMMISSIONERS: WENT (absent from Feb. 26, 2015 meeting)

F. APPLICATIONS

1. City of Carmel-by-the-Sea Review of the Certified Local Government Annual Reports to be submitted to the California Office of Historic Preservation

Marc Wiener, Senior Planner presented the staff report and summarized the project.

Chair Dyar opened the public hearing, seeing no speakers, Chair Dyar closed the public hearing.

The Board reviewed and applied their input on the Certified Local Government Annual Reports and made some corrections.

G. DIRECTOR'S REPORT

- Update from the Director

Mr. Mullane gave the Board an update on available training for the HRB to keep everyone current. He asked the Board if they were interested in the August 21, 2015 Preservation Laws and Legal Issues.

Mr. Mullane's report also included an update on staffing needs and current positions in the progress of being filled.

H. SUBCOMMITTEE REPORT

Chair Dyar appointed Vice Chair Carper to the Modern Century Subcommittee and Board Member Laiolo was appointed to the Forest Theater Subcommittee.

Chair Dyar provided an update on the Mid-Century Modernism Subcommittee. There discussion of possibly adding properties to the inventory.

Chair Dyar gave an update on the Historic Home of the Month Subcommittee. There was discussion on options for showcasing these homes on the Pine Cone. Mr. Mullane noted that he contacted the Pine Cone and will update the Board on results.

I. **DISCUSSION ITEMS**

No items.

J. **BOARD MEMBER ANNOUNCEMENTS**

K. **ADJOURNMENT**

There being no further business to come before the Board, the meeting was adjourned at 5:04 p.m.

Rob Mullane, AICP, Community Planning and Building Director

ATTEST:

Erik Dyar, Chair



CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

May 18, 2015

To: Chair Dyar and Board Members

From: Marc Wiener, Senior Planner

Subject: Consideration of a Design Review (DR 14-38) application and associated Coastal Development Permit for alterations to the Carmel Mission including improvements to the parking area, courtyards, and gift shop

Recommendation:

Issue a Determination of Consistency with the Secretary of the Interior's Standards

Application: DR 14-38

APN: 009-531-003

Block: US

Lot: 38

Location: SW Corner of Rio Road and Lasuen Drive

Applicant: Brett Brenkwitz, architect

Property Owner: Dioceses of Monterey

Background:

The Carmel Mission is located at the southwest corner of Rio Road and Lasuen Drive. The Mission property is approximately 6 acres in size and includes the Carmel Mission, Junipero Serra School, Murphy Gymnasium, Gift Shop, the Bishop's residence and several other structures. Construction of the Mission Basilica was completed in 1797, but many of the buildings on the site, including the Downie Museum, Mora Chapel, the Blessed Sacrament Chapel, the Convento, and the Gift Shop, were constructed in the early to mid 1900's. The Carmel Mission is listed on the City's Inventory of Historic Resources and the Mission Basilica and the associated grounds are listed on the National Register of Historic Places.

In 2010, the City approved the seismic retrofit and structural support of the Mission Basilica that included the in-kind replacement of siding and roofing materials in certain areas of the building. The project also included the construction of an ADA compliant restroom at the rear of the Basilica. Staff notes that the project was completed in 2013 and the applicant has indicated that the work was the first phase of a two-phase project.

The applicant has now submitted a proposal for Phase II of the project. The primary purpose of the proposed work is to update the existing infrastructure of the Carmel Mission. The City's Historic Preservation Consultant, Mr. Kent Seavey, has drafted a report (Attachment B) which includes a project summary. The following is a bullet-point list of the proposed alterations.

Front (East) Elevation Changes:

- Grading of the parking lot to provide three new ADA parking spaces, improved drainage, and new paths of travel
- Reconstruction of the 1928-1938 arch over the entry gate
- Removal a portion of the non-historic plaster wall adjacent to the Gift Shop to provide a pedestrian entry with new wood gates
- Proposal to switch the Gift Shop entry door with an adjacent window in order to improve circulation
- Replacement of a window on the north elevation of the Gift Shop with a Dutch door
- Increase the height of the porch in front of the Blessed Sacrament Chapel, which requires a new set of concrete stairs and planter boxes to serve as guardrails. The purpose of the alteration is to meet ADA requirements.

Basilica Forecourt and Downie Building:

- Minor grade alterations to the east portion of the Basilica Forecourt for the purpose of meeting ADA requirements, which include a ramp that connects the courtyard to the fountain, gardens, and Downie Orientation Center.
- Seismic retrofit of the Downie building and installation of an ADA family restroom on the west side of the building in an area currently used as a storage space
- Removal of an interior adobe wall in order to expand the interpretive space. The applicant is proposing to delineate the location of the original wall on floor to provide a guide for the potential future replacement of the wall.
- Installation of a new Carmel Mission site model at the front of the building

Mora Chapel

- Seismic retrofitting, cleaning, and conservation as necessary
- Installation of new exhibit panels and cases within the building
- Floor of the south facing Loggia will have a new ADA accessible boardwalk
- New interpretive panels on the south side of the Loggia in the voids between the support columns

Convento Museum Wing

- Seismic retrofitting, cleaning, and conservation as necessary
- Addition of new exhibit panels and display cases
- Several interior alterations that included new structural shear walls in the kitchen area and alterations to stairs. The existing floor plan is depicted on Sheet A-10 of the plan set and the proposed is depicted on Sheet A-11 for comparison.

Blessed Sacrament Chapel

- Seismic retrofitting, cleaning, and conservation as necessary
- Removal of a shed roof above the carriage gates on the west elevation (see Sheet A-20) to allow access for trucks
- Addition of a ADA access ramp on the west elevation

Main Quadrangle

- The removal of the Main Quadrangle concrete in order to install drainage, sewage, storm water and other infrastructure improvements, including some additional planting areas.

New Restroom

- Addition of a new restroom at the southwest corner of the Main Quadrangle. The proposed restroom is 621 square feet in size, and includes a Spanish-style design with stucco siding and a clay-tile roof.

Staff analysis:

Environmental Review: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the. If the alterations are consistent with the standards, potential historic resource impacts under CEQA do not require further analysis. Staff has determined that this project is consistent with the Secretary's Standards for Rehabilitation and therefore no additional environmental review is required.

Consultant Review: The proposed project was reviewed by the City's Historic Preservation Consultant, Kent Seavey. An analysis is included as Attachment B. Mr. Seavey determined that

the project would be consistent with the Secretary's Standards for Rehabilitation, and has made the following recommendations to achieve consistency with the Secretary's Standards:

1. That the replacement concrete installed on the east portion of the Basilica Fourcourt employ an earth-tone tint consistent with the historic character of the Forecourt setting.
2. That removal of the adobe wall in the Downie Building is done in a manner that it can be replaced in the future. The applicant is proposing to delineate the location of the original wall on floor to provide a guide for the potential future replacement of the wall. Staff recommends that the applicant maintain a photographic record of wall as well.
3. That the pavement removed from the Quadrangle will be replaced to match existing in pattern and material type.

Staff concurs with Mr. Seavey's analysis and recommendations. Special conditions have been drafted to address each of these recommendations.

Entry Arch Reconstruction: The Secretary of the Interior (Secretary) Standard #9 recommends that *"be compatible with the historic materials, features, size, scale and proportion to protect the integrity of the property and its environment."*

The applicant is proposing to reconstruct the arch over the entry gate fronting the Forecourt, as depicted on Sheet A-17 of the plan set. The entry arch was constructed between the years of 1928-1938 and may have acquired historic significance in its own right. In staff's opinion, the addition/reconstruction of the arch will have some impact on the public view of the Mission Basilica. The Board should consider whether replacing the arch is an essential component of this rehabilitation project as it may impact the view of the Mission Basilica, which is the primary historic resource on the site.

Planning Commission and City Council Review: This application will be reviewed by the Planning Commission for the issuance of a Design Review approval and Coastal Development Permit, following the issuance of a Determination of Consistency by the HRB. The Commission may require design revisions. Staff will refer this application back to the HRB if the revisions are substantial or potentially inconsistent with the Secretary's Standards.

In addition, the northeast portion of the parking lot is located on the City Right-of-Way, and as such the applicant will be required to obtain an Encroachment Permit from the City Council in order to make the proposed modifications.

Environmental Review: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the. If the alterations are consistent with the standards, potential historic resource impacts under CEQA do not require further analysis. Staff concludes that the proposed alterations would be consistent with the Secretary of the Interior's Standards and therefore, do not require additional environmental analysis.

Alternatives: The staff recommendation is to issue a Determination of Consistency with the Secretary's Standards. Alternatively, the Board could direct additional changes to the plan to achieve consistency with the Secretary's Standards, in which case, the Board may need to continue the item to allow the applicant to return with further-revised plans. Finally, the Board could find the application inconsistent with the Secretary's Standards, which would result in either the applicant withdrawing the project or require additional CEQA analysis to evaluate impacts on historic resources.

ATTACHMENTS:

- Attachment A – Project Conditions
- Attachment B – Kent Seavey Report
- Attachment C – Secretary of the Interior Standards
- Attachment D – Project Plans

Attachment A – Conditions of Approval

CITY OF CARMEL-BY-THE-SEA

HISTORIC RESOURCES BOARD

CONDITIONS OF APPROVAL

DR 14-38

Dioceses of Monterey

SW Corner of Rio Road and Lasuen Drive

Block: US, Lot: 38

APN: 009-531-003

SPECIAL CONDITIONS:

1. The replacement concrete installed on the east portion of the Basilica Fourcourt shall include an earth-tone tint consistent with the historic character of the Forecourt setting. The applicant shall work with staff on an appropriate material.
2. Within the Downie Building the applicant shall delineate the location of the original wall on floor to provide a guide for the potential future replacement of the wall. In addition, the property owner shall maintain a photographic record of this wall.
3. The pavement removed from the Quadrangle will be replaced to match existing in pattern and material type.

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

KENT L. SEAVEY

310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831)375-8739

May 7, 2015

Mr. Mark Weiner / Senior Planner
Carmel Planning & Building Department
City of Carmel-by-the-Sea
P.O. Drawer G
Carmel, CA 93921

RECEIVED

MAY 07 2015

City of Carmel-by-the-Sea
Planning & Building Dept.

Dear Mr. Weiner:

Thank you for the opportunity to review the proposed Carmel Mission Phase II Master Plan (3080 Mission Rd., APN# 009-531-003) in Carmel, for consistency of the proposed changes with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.

The Secretary's Standards identify four primary treatment approaches to historic buildings. They are Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation is the Standard being employed for the Carmel Mission project.

Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The Secretary's Standards encourages "placing a new addition on a non-character-defining elevation." and locating alterations to historic properties in areas where previous alterations already exist.

As stated in the 1992 National Park Service *Illustrated Guidelines for Rehabilitating Historic Buildings*, "The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility."

Character-defining features and significance ratings are found in the *Carmel Mission Basilica Historic Structures Report* (HSR), By The Architectural Resource Group of San Francisco, dated August 2010 (copy of the HRS is on file with the City of Carmel by-the-Sea).

The subject property is owned by Diocese of Monterey, a Corp., Sole, which proposes to slightly modify the existing design of the Convento and Mora Chapel; Gift Store; Downie Orientation Center (museum); Entry Arch; Blessed Sacrament Chapel; Orchard House Complex & Outdoor Spaces (See plans & drawings w/photos provided).

The primary purpose of the proposed work is to update the existing infrastructure including a new bathroom space; provide for seismic safety; establish an overall safe path of travel for handicapped access; improve parking and visitor access to the Downie Museum space & Mission Basilica; replace the existing deteriorated hardscape in both the Basilica Forecourt & Quadrangle and slightly modify the roof structure of the c. 1970 Carriage gate, for needed event and maintenance access (see photos and plans & drawings provided).

As noted above, the Standards recommend new additions be placed on secondary elevations, and where alteration has already occurred. In general, the proposed changes to the subject property are on secondary altered elevations.

As proposed, the work shall reuse, to the extent feasible, available historic building materials, and where necessary match required replacement features in kind. New work, particularly in the area of the National Historic Landmark listed Basilica, is differentiated from the old, but compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. If removed in the future, the essential form and integrity of the national historic property and its environment will be unimpaired.

The subject property was listed as a National Historic Landmark in 1962, and listed on the National Register of Historic Places in 1967. It is also listed in the 2003 Carmel Historic Resource Inventory, and the California Register of Historical Resources at the national level of significance (see Statement of Significance on P. 37 of the HSR on file with the City of Carmel by-the-Sea).

NOTE: For an historic chronology and description of the subject property during its period of significance, between 1793 and 1947, refer to pp. 21-39 in the HSR noted above (also see colored chronological floor plan provided).

In every rehabilitation project, caution should be exercised in pursuing any plan that would radically change character-defining spaces or obscure, damage or destroy historic features or finishes.

The owners have proposed the following alterations and additions for contemporary usage:

FRONT (EAST) ELEVATION (primary, altered)

As proposed, the northern parking lot area will be regraded to provide for better drainage, handicapped parking and new paths of travel and entries to access the Basilica forecourt and Museum Store (see plan sheets A-2.1; C-1.1; A-5 and A-32).

The Secretary's Standards for Rehabilitation recommend designing and installing additional entrances, or porches when required for the new use in a manner that preserves the historic character of the building(s), i.e. limiting such alteration to non character-defining elevations.

In this instance, the proposed alterations would include a partial reconstruction of a c. 1928-1938 curvilinear arch, over the entry gate fronting the forecourt, that was previously removed for condition issues. The new feature will match, in kind, the previous arch.

It would also include removing part of the existing nonhistoric plaster wall, where it abuts the Gift Store wall of the 1941 Convento Building, to provide a pedestrian entry with new wood gates, matching the existing gates of the current entry (see plans & drawings, Sheet A-14 & A-17 provided). The existing entry gate is required to provide vehicular access during funerals and other church related functions.

As proposed a window and door at the north end of the east facing facade of the Gift Store would be physically switched to provide for better traffic flow into the 1941 Gift Shop area. The existing door and window, including the metal grille will be used in this transfer, with minor cut and fill necessary in the respective voids. A simple redwood trellis w/plantings would surround the moved door.

An existing window on the east end of the north side-elevation of the Gift Shop is proposed for replacement with a Dutch-door ticket window, serving the proposed Entry Patio, as part of the new path-of-travel design. The new doorway will also provide code required emergency egress from the gift shop area (see plans & drawings Sheet A-13, A-16, A-18 & A-32 provided).

The only other changes proposed for the east facing facade will be a slight raising of the path-of-travel to the south end of the 1947 Blessed Sacrament Chapel. This will require a new set of concrete stairs to accommodate the increased porch height, and permanent planter boxes in the two south bays of the building to address code required railing heights (see plans & drawings, Sheet A-18 provided).

The proposed changes along the east facing facade of the Gift Shop and Blessed Sacrament Chapel, while on a character-defining elevation, are primarily related to code required ADA compliance. They consist of minor grade level and parking adjustments for a handicapped path of travel; replacement of an historic entry gate arch; minor reconfiguration of a window and door, and one window change to a door.

All proposed alterations are on 1941 and 1947 additions to the historic property. They have been designed so that there is the least possible loss of historic materials, and that the character-defining features of the historic property are not obscured, damaged or destroyed. They are consistent with the Secretary of the Interior's Standards for Rehabilitation.

BASILICA FORECOURT & DOWNIE MUSEUM (primary, altered)

As proposed, a portion of the existing concrete pavement in the Basilica Forecourt will be removed to allow for ADA grading and utility upgrading, then it will be replaced in kind, over the new grades. Modified ADA paths of travel will connect the Forecourt entryway to the Downie Orientation Center Building and restrooms, to the Basilica and to the Mora Chapel Building; there will be some door swing reversals for code required exiting (see plan sheets A-2.1; C-1.1; C-2.1 and A-6, A-13; & A-15).

The Secretary's Standards for Rehabilitation recommend identifying buildings and their features as well as features of the site that are important in defining its overall historic character. Site features can include walkways, lighting, fencing, signs, benches, fountains terraces, plants, trees and archaeological features that are important in defining the history of the site, and by protecting and maintaining the historic resource by providing proper drainage. Designing ramps when required by the new use so that they are as unobtrusive as possible.

As proposed, the portion of the concrete pavement to be removed, when replaced, will include ADA ramping to connect the entryway and arrival patio with existing access points for the fountain, gardens, Downie Orientation Center & restrooms, to include a new ramp connecting the Forecourt to the western exit point adjacent to the Indian Cemetery. Utility and drainage upgrading will also be undertaken, with the least possible soil disturbance.

It is recommended that the new concrete paving employ an appropriate earth tone tint consistent with the historic character of the Forecourt setting (see plans & drawings, sheet C-1.1 provided).

1921-1924 Downie/Orientation Center (primary, altered)

Soil disturbance around the building will be minimized, reducing the possibility of disturbing unknown archeological materials. The preference for needed code compliant barriers should be plant material rather than walls or railings, if feasible, to help maintain the historic relationship between buildings, landscape features and open space.

As proposed, the building envelope will be seismically retrofitted (see plans & drawings, sheet A-22 provided).

The proposed accessible family bathroom will be located in an existing storage room on the NW side of the orientation center, consistent with Rehabilitation Standards #9 & #10 (see copy of the Secretary's Rehabilitation Standards provided). Only the existing door will need to be slightly modified to provide accessibility.

One partial-width, interior adobe wall is proposed for removal in order to expand the interpretive space. The work should be undertaken in such a manner that this feature can be replaced in future, consistent with Rehabilitation Standard #10.

Some existing modern access steps to the orientation center are proposed for minor height adjustment, based on the reconfiguration for code compliant ADA ramping. The changes will not significantly affect the character-defining features of the building (see plans & drawings, sheet A-6 & A-15 provided).

The treatments, as proposed, for the Basilica Forecourt and Downie Museum/Orientation Center are consistent with the Secretary of the Interior's Standards for Rehabilitation.

1921-1924 MORA CHAPEL (primary, altered)

The Secretary's Standards for Rehabilitation recommend identifying, retaining and preserving a floor plan or interior spaces that are important in defining the overall character of a building. This includes the size, configuration, proportion and relationship of rooms, corridors, features and spaces.

As proposed, the Mora Chapel will undergo minor seismic retrofitting;

cleaning and conservation, as necessary; add some new, nonpermanent exhibit panels and cases; A new interior window in the doorway leading to the Convento Museum space, and minor modification (reverse swing) of the three existing exterior doors, for code required emergency egress. The floor of the south facing 1947 Loggia will have a new, ADA accessible boardwalk, and reversible interpretive panels in the voids between the two westernmost support columns (see plans & drawings, sheets A-8, A-9, A-16, A-23 & A-26 provided).

The treatments, as proposed, for the Mora Chapel are consistent with the Secretary of the Interior's Standards for Rehabilitation.

1932-1941 CONVENTO MUSEUM WING (secondary, altered)

As proposed, the Convento Museum wing (east & west) will undergo needed seismic retrofitting & reinforcement; cleaning and conservation, as necessary; add some new, nonpermanent exhibit panels and cases; remove steps & guardrail from interior access door to the Mora Chapel and fill in the existing staircase; add header for proposed window separating the museum space from the Mora Chapel.

Add new structural shear walls of adobe w/footings in the kitchen area as needed for structural strengthening, while retaining existing interior adobe walls, to the extent feasible for life safety; add new adobe shear wall in Library space for structural strengthening; expand adobe depth to the west walls of the Grand Sala and Serra's Cell for structural strengthening.

Remove existing east/west partition walls in the Corridor leading to the Gift Shop, and relocate south, to case proposed staircase. A new adobe wall will frame the west end of the staircase; a dumbwaiter is proposed for the SE corner of the staircase enclosure to move object to the attic storage space. A new door is proposed for the Gift Shop, providing access to the staircase enclosure.

Two existing doors on the south wall of the 1941 Convento Museum will provide code required emergency egress accessing the proposed ADA boardwalk in the 1947 Loggia (see plans & drawings, sheets A-10, A-11, A-23 thru A-25, A-27, A-30 and C2.1 provided).

The treatments, as proposed, for the Convento Museum space are consistent with the Secretary of the Interior's Standards for Rehabilitation.

1947 BLESSED SACRAMENT CHAPEL (primary)

As proposed, the Blessed Sacrament Chapel will undergo needed seismic retrofitting & reinforcement; cleaning and conservation, as necessary; and the addition of ADA accessible boardwalks covering the Loggia on both the east and west elevations.

A new code required handicapped access ramp to the 1947 Loggia from the Main Quadrangle is proposed for the west elevation.

A low, shed roof was added (c 1970), above the Harry Downie designed wooden carriage gates, that connect the Blessed Sacrament Chapel to the Rectory Building in the SE corner of the Main Quadrangle. This nonhistoric feature impedes large delivery vehicles and building equipment from access to the Main Quadrangle and is proposed for removal, as it screens visual access to one of Mr. Downie's later projects. (see plans & drawings, sheets A-20, A-25 and C2.1 provided).

The treatments, as proposed, for the Blessed Sacrament Chapel space are consistent with the Secretary of the Interior's Standards for Rehabilitation.

1960 MAIN QUADRANGLE (secondary, altered)

The Secretary's Standards for Rehabilitation recommend protecting and maintaining buildings and the site by providing proper drainage to assure that water does not erode foundation walls; drain towards buildings; nor erode the historic landscape. Replacing in kind an entire feature of the building or site that is too deteriorated to repair-if the overall form and detailing are still evident-using the physical evidence to guide the new work.

As proposed, the existing 1960 concrete Main Quadrangle will be removed to provide for needed drainage, sewage, storm water and other infrastructure improvements, including some additional planting areas. Once this work is finished the new pavement will be laid, matching in kind the existing pavement pattern/type. Existing planter areas will be regraded and replanted (see plans & drawings, sheets C-1 thru C-4.1 provided).

The treatments, as proposed, for the Main Quadrangle are consistent with the Secretary of the Interior's Standards for Rehabilitation.

Proposed New Restroom (secondary)

The Secretary's Standards for Rehabilitation recommend designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserve the historic relationship between a building or buildings, landscape features, and open space

As proposed, the new restroom will be located in the SW corner of the Main Quadrangle, adjacent to the Junipero Serra School well away from the principal historic components of the Mission complex.

The design of the feature is in the form of a simple rectangle, with a hipped roof with Mission tile. The only fenestration being two small multi-paned wood windows, high in the wall of the east facing facade. The entry being screened by a high stuccoed panel. The exterior finish is stucco with a simple pebbled texture, matching an existing modern restroom near the Munras Courtyard. The feature will be constructed over pre-existing pavement.

(see plans & drawings, sheets A-12, C-4.1 provided).

As noted above, the Standards recommend new additions be placed on secondary elevations, and where alteration has already occurred. The proposed changes to the Carmel Mission and its dependencies are generally on secondary or altered elevations.

As proposed, the work shall reuse, to the extent feasible, available historic building materials, and where necessary match required replacement features in kind. New work, primarily the new restroom building, will be clearly differentiated from the old, but compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. If removed in the future, the essential form and integrity of the historic property and its environment will be unimpaired.

CONCLUSION

The subject property retains a sufficient degree of physical integrity as constructed in 1797, and subsequently restored, to evoke a strong sense of time and place and of feeling and association with the founding, and subsequent expansion of the Catholic Mission chain in Alta California.

It is also significant for its association with Fra. Junipero Serra, O.F.M., the Father Presidente of the California Mission Field, and the only California cleric to be raised to Sainthood by the Catholic Church. It is listed as a National Historic Monument and on both the National and California registers of historic places.

CEQA states in CCR Section 15064.5 (2)(B) that a change which demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that account for its inclusion in a local register of historical resources may constitute a substantial adverse change in the significance of the resource. However, CEQA also notes that the degree of potential adverse change can be considered "proportionate to the level of significance of an historic resource" based on its relative importance in history.

The proposed work on the subject property will be executed consistent with the *Secretary of the Interior's Standards for Rehabilitation*, with the least possible loss of historic materials so that the remaining character-defining features of the historic resources will not be obscured, damaged or destroyed. All proposed changes are reversible. As proposed the new work will not create a significant change to the historic building and will not cause a significant adverse effect on the environment.

MITIGATION

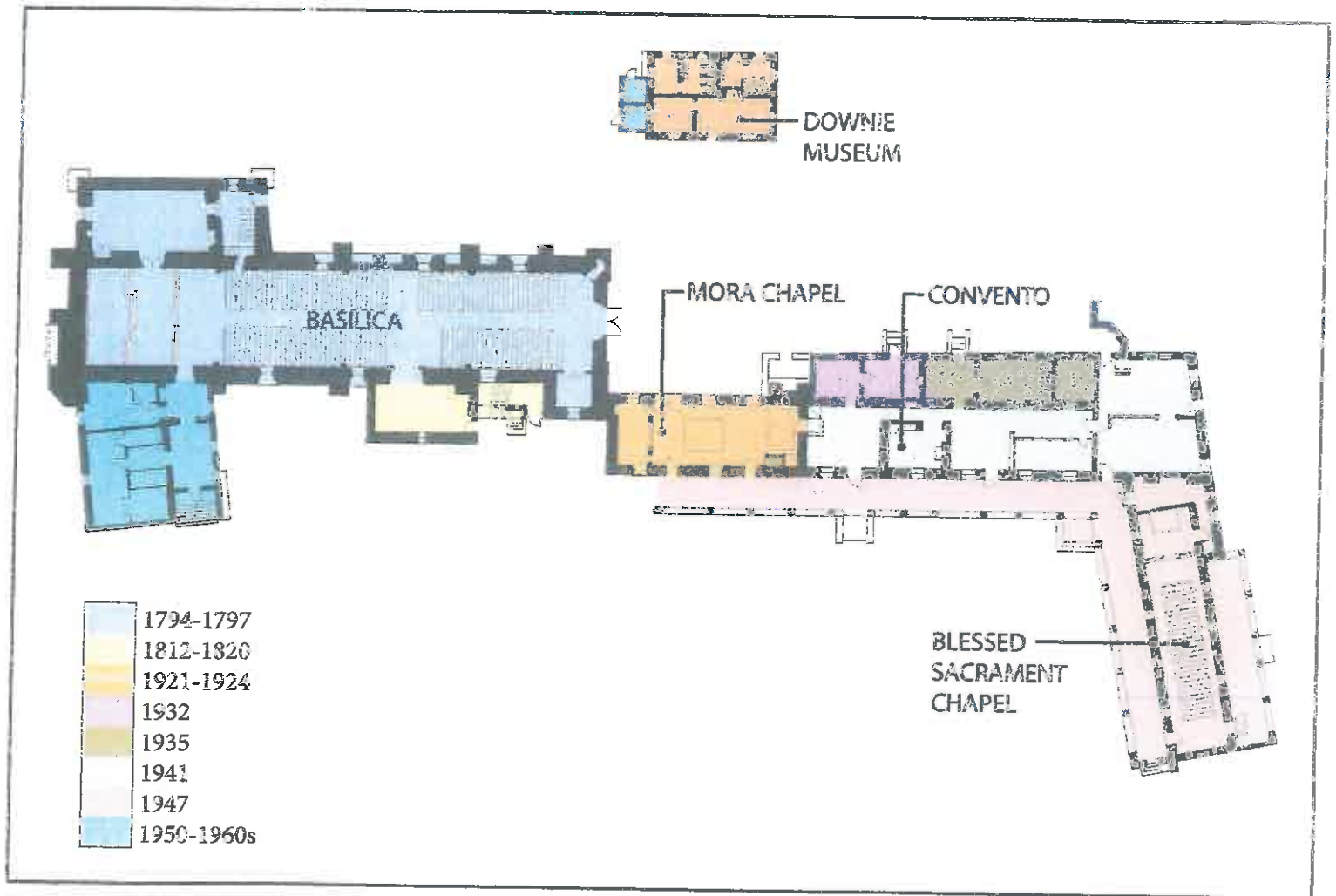
The proposed project is in conformance with the Secretary of the Interior's *Standards for the Treatment of Historic Properties* under the standard for Rehabilitation. No mitigation is needed for this project.

Respectfully Submitted,

K. L. Seawing

Carmel Mission

Chronology of Construction/Restoration Dates



**SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF
HISTORIC PROPERTIES**

1. "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."
2. "The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."
3. "Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."
4. "Most properties change over time; changes that have acquired historic significance in their own right shall be retained and preserved."
5. "Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."
6. "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, and pictorial evidence."
7. "Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."
8. "Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."
9. "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."
10. "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."

CARMEL MISSION



RECEIVED

MAY 14 2015

City of Carmel-by-the-Sea
Planning & Building Dept.

PHASE 2 MASTER PLAN

SCHEMATIC DESIGN PACKAGE INCLUDING
THE CONVENTO AND MORA CHAPEL, GIFT STORE,
DOWNIE ORIENTATION CENTER, ENTRY ARCH,
BLESSED SACRAMENT CHAPEL, ORCHARD HOUSE
COMPLEX, & OUTDOOR SPACES.

CARMEL, CA. 93942



5 NTS VICINITY MAP

PARCEL #: 009-531-003

ADDRESS: SW CORNER RIO ROAD AND LASUEN
3080 RIO ROAD
CARMEL, CA. 93942

ZONING: R-1
PROPOSED PROJECT:

PHASE 2 MASTER PLAN ADDRESSING THE SEISMIC
RETROFIT / ACCESSIBILITY AND PRESERVATION
OF THE CONVENTO AND MORA CHAPEL, GIFT STORE,
DOWNIE MUSEUM, BLESSED SACRAMENT CHAPEL,
AND ORCHARD HOUSE COMPLEX. PROJECT
INCLUDES SITE IMPROVEMENTS AND ENTRY ARCH
REPLACEMENT.

4 NTS PROJECT NOTES

OWNER:
DIOCESE OF MONTEREY,
A CORP. SOLE
PO BOX 2048
MONTEREY, CA. 93942
(831) 373-4345

FUNDING:
CARMEL MISSION FOUNDATION
PO BOX 221351
CARMEL, CA. 93922
(831) 624-3261

ARCHITECT:
FRANKS BRENKWITZ & ASSOC.
PO BOX 597
APTOS, CA 95001
(831) 682-8800

PRESERVATION ARCHITECT:
ARCH. RESOURCES GROUP
PIER 9, THE EMBARCADERO,
STE. 107
SAN FRANCISCO, CA. 94111
(415) 421-0127

MUSEUM CONSULTANT:
DANIEL QUAN DESIGN
6905 EKESTER DRIVE
OAKLAND, CA. 94611
(510) 530-3811

STRUCTURAL:
DONALD C. URRER
AND ASSOC., INC.
2715 PORTER STREET
SOQUEL, CA. 95073
(831) 476-3681

CIVIL ENGINEER:
BEAUTZ ENGINEERING
1360 15TH STREET
LOS OSOS, CA. 93402
(805) 528-5233

2 NTS PROJECT DATA

SHEET NO.	DESCRIPTION
A-1	TITLE SHEET
A-2	EXISTING OVERALL SITE PLAN
A-2.1	SITE PLAN SHOWING PEDESTRIAN / TRAFFIC FLOW
A-3	PROPOSED OVERALL SITE PLAN
A-4	DETAIL SITE PLAN
C-1 TO C-4.1	CIVIL ENGINEERING PLANS
A-5	SITE SECTIONS
A-6	DOWNIE BUILDING EXISTING FLOOR PLAN
A-7	DOWNIE ORIENTATION CENTER PLAN
A-8	MORA CHAPEL EXISTING PLAN
A-9	MORA CHAPEL PLAN
A-10	CONVENTO EXISTING PLAN
A-11	CONVENTO MUSEUM PLAN
A-12	NEW RESTROOM IN QUADRANGLE
A-13	EXTERIOR RENDERINGS
A-14	ENTRY ARCH REPLACEMENT
A-15	DOWNIE BUILDING ELEVATIONS
A-16	CONVENTO NORTH ELEVATIONS
A-17	ENTRY ARCH / GATE ELEVATIONS FROM PARKING LOT
A-18	CONVENTO EAST ELEVATIONS
A-19	CONVENTO SOUTH ELEVATIONS
A-20	CONVENTO WEST ELEVATIONS
A-21	ORCHARD HOUSE ELEVATIONS
A-22	DOWNIE FLOOR PLAN W/ ENGIN.
A-23	CONVENTO WEST FLOOR PLAN W/ ENGIN.
A-24	CONVENTO EAST FLOOR PLAN W/ ENGIN.
A-25	BLESSED SACRAMENT CHAPEL FLOOR PLAN W/ ENGIN.
A-26	SECTION A MORA CHAPEL
A-27	SECTION B CONVENTO WEST
A-28	SECTION C CONVENTO EAST
A-29	SECTION D BLESSED SACRAMENT CHAPEL
A-30	ROOF PLAN
A-31	NOTES
A-32	PROJECT PHOTOS

1 NTS SHEET INDEX



CARMEL MISSION
PHASE 2 MASTER PLAN

TITLE SHEET

DATE: 3-21-15

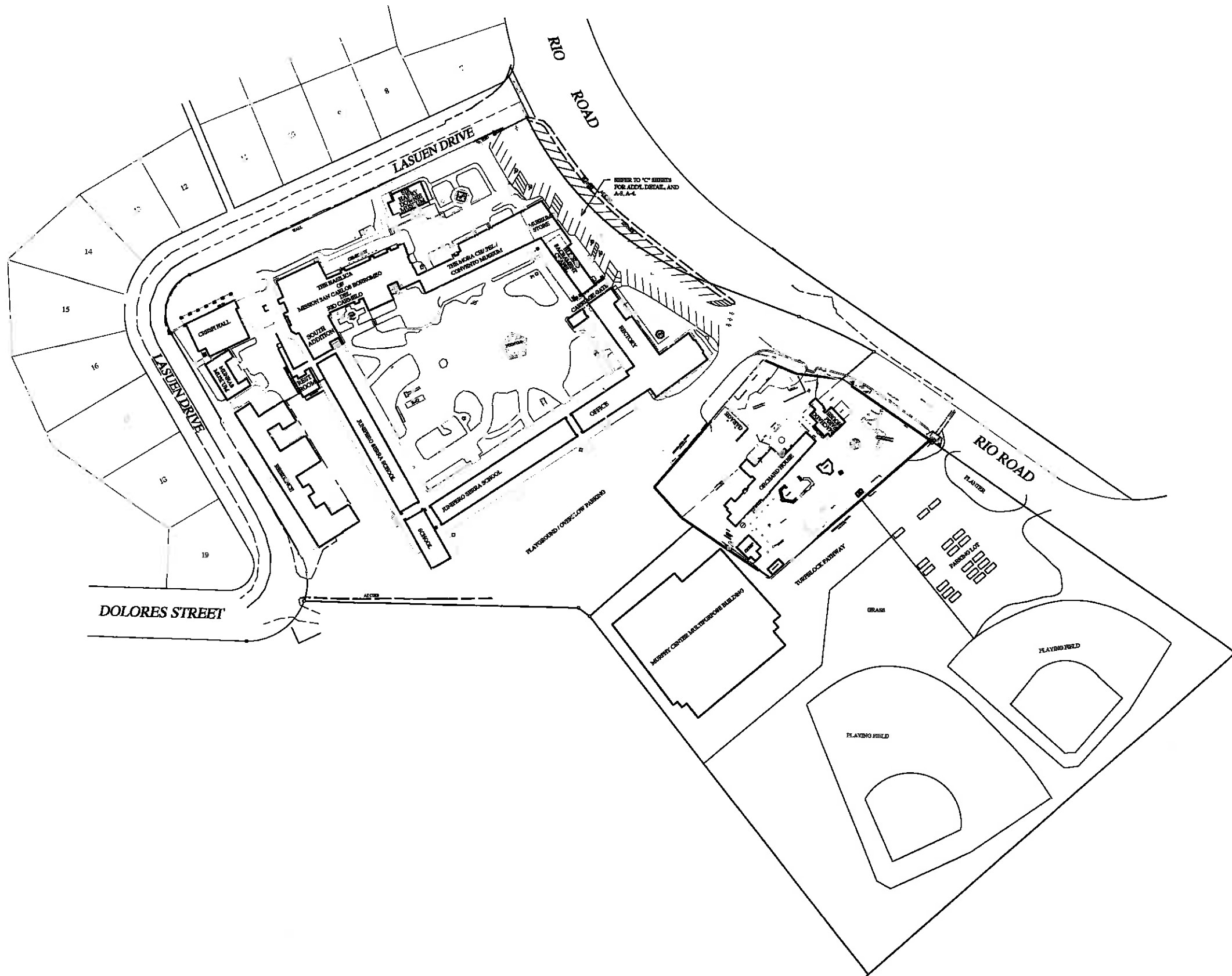
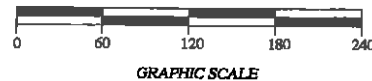
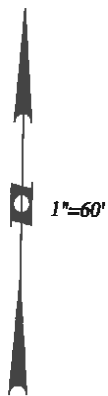
REVISION:
A 5-12-15

SCALE: NTS

SHEET NO.

A-1

OF 43 SHEETS 24



CARMEL MISSION
PHASE 2 MASTER PLAN

EXISTING OVERALL SITE PLAN

DATE: 3-21-15

REVISION:

SCALE: 1"=60'

SHEET NO.

A-2

OF 41 SHEETS

CARMEL MISSION
 PHASE 2 MASTER PLAN

SITE PLAN
 SHOWING PEDESTRIAN TRAFFIC
 FLOW DURING CONSTRUCTION

DATE: 3-21-15

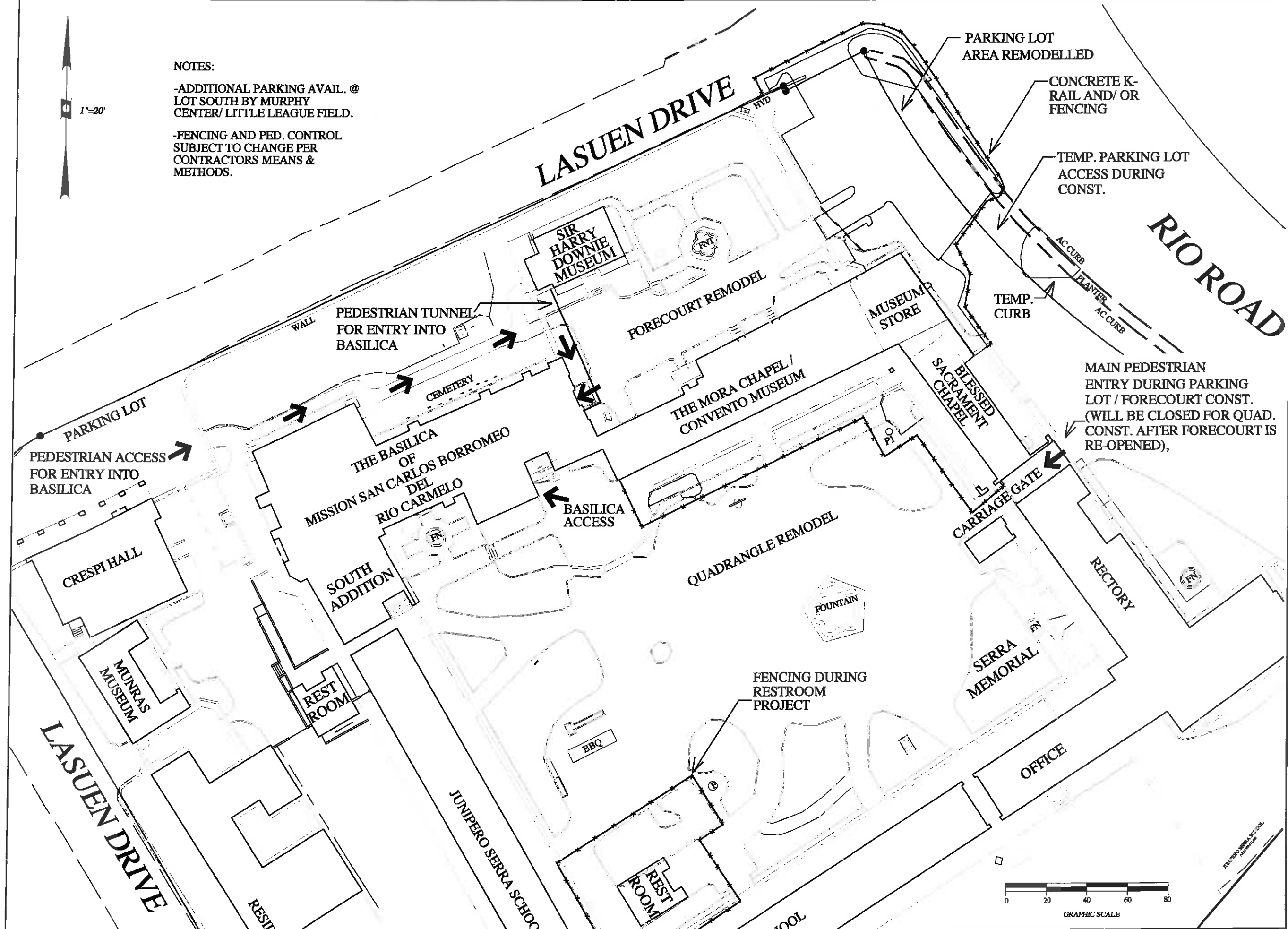
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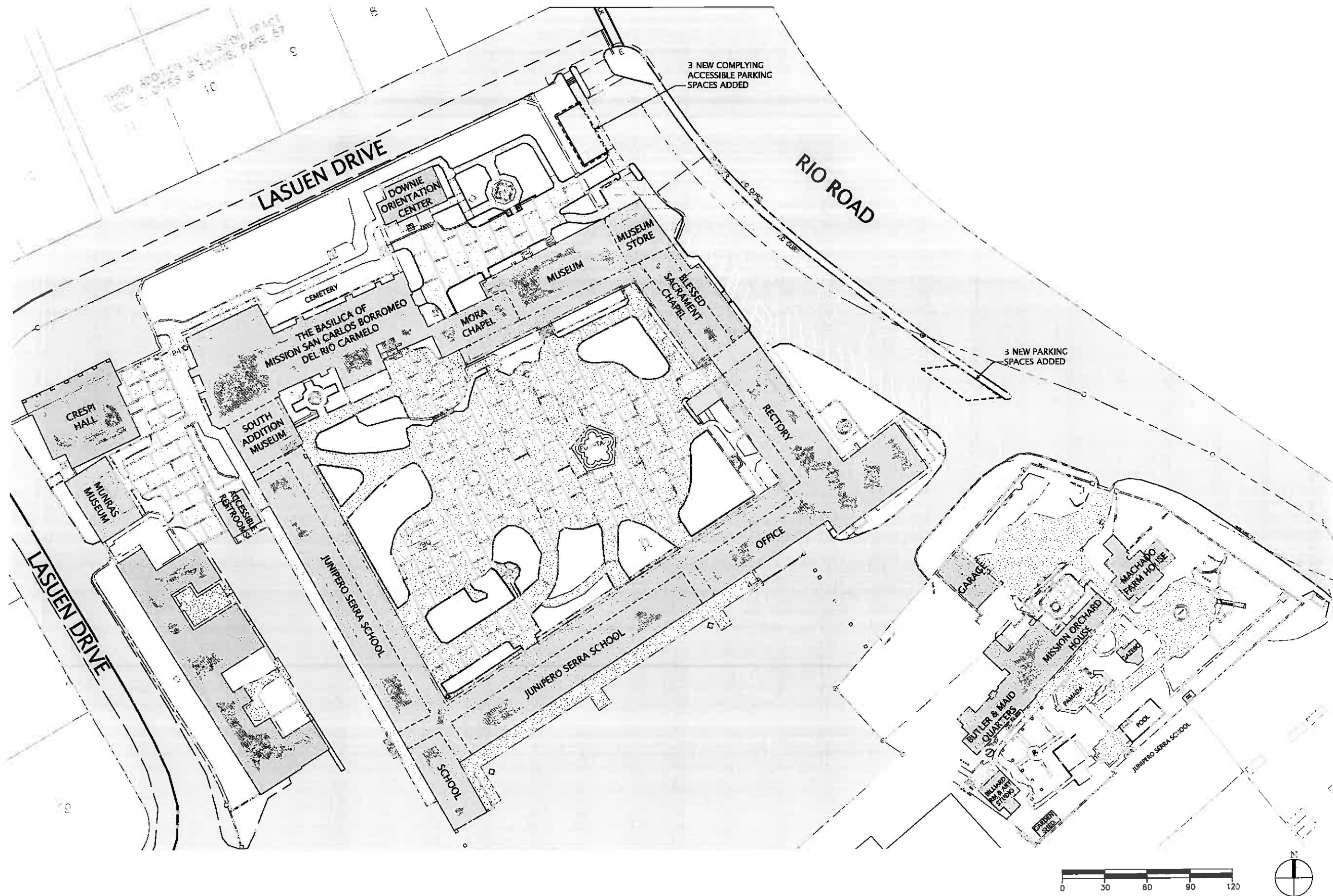
SCALE: 1"=20'

SHEET NO.

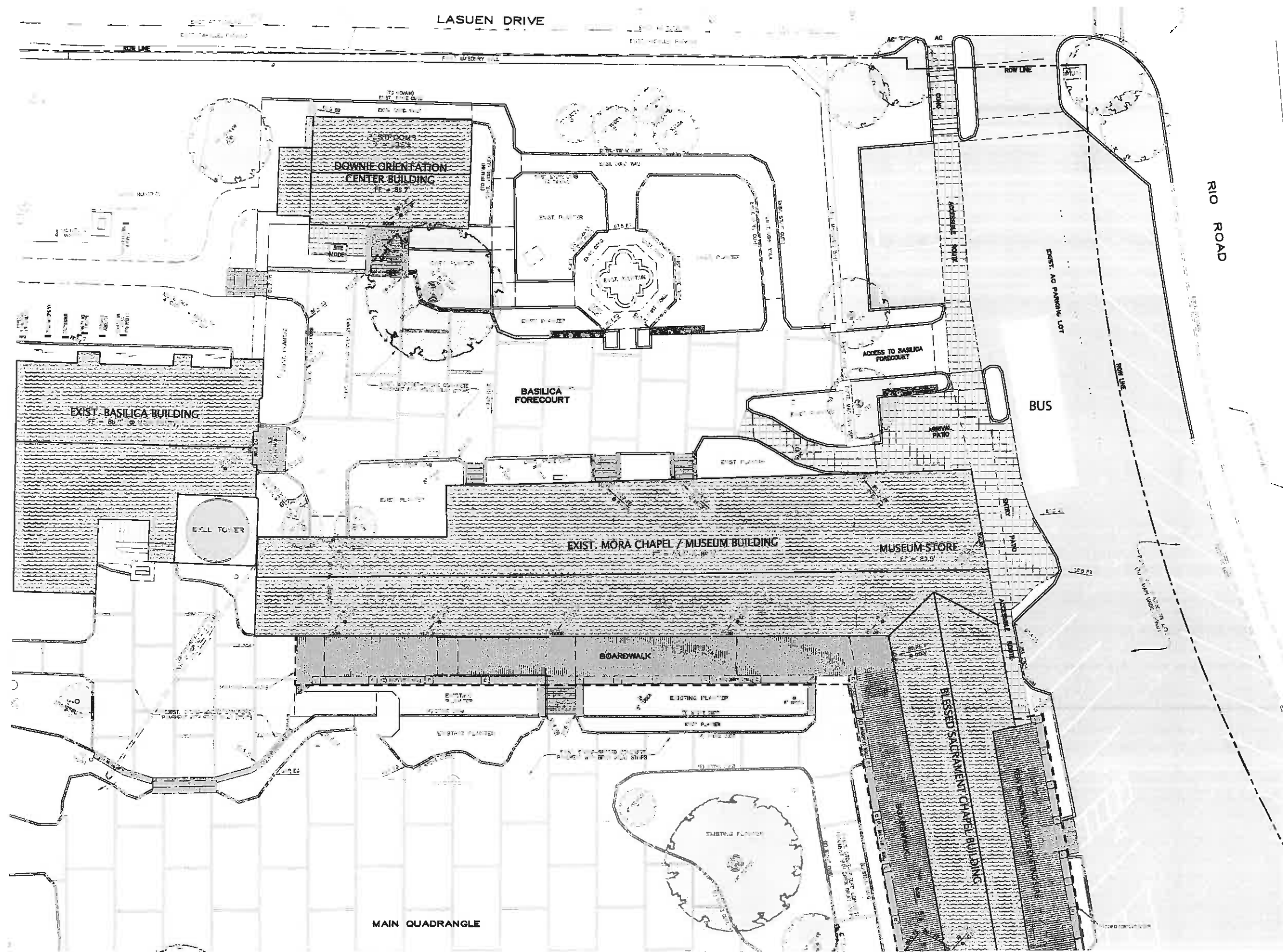
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OF 41 SHEETS

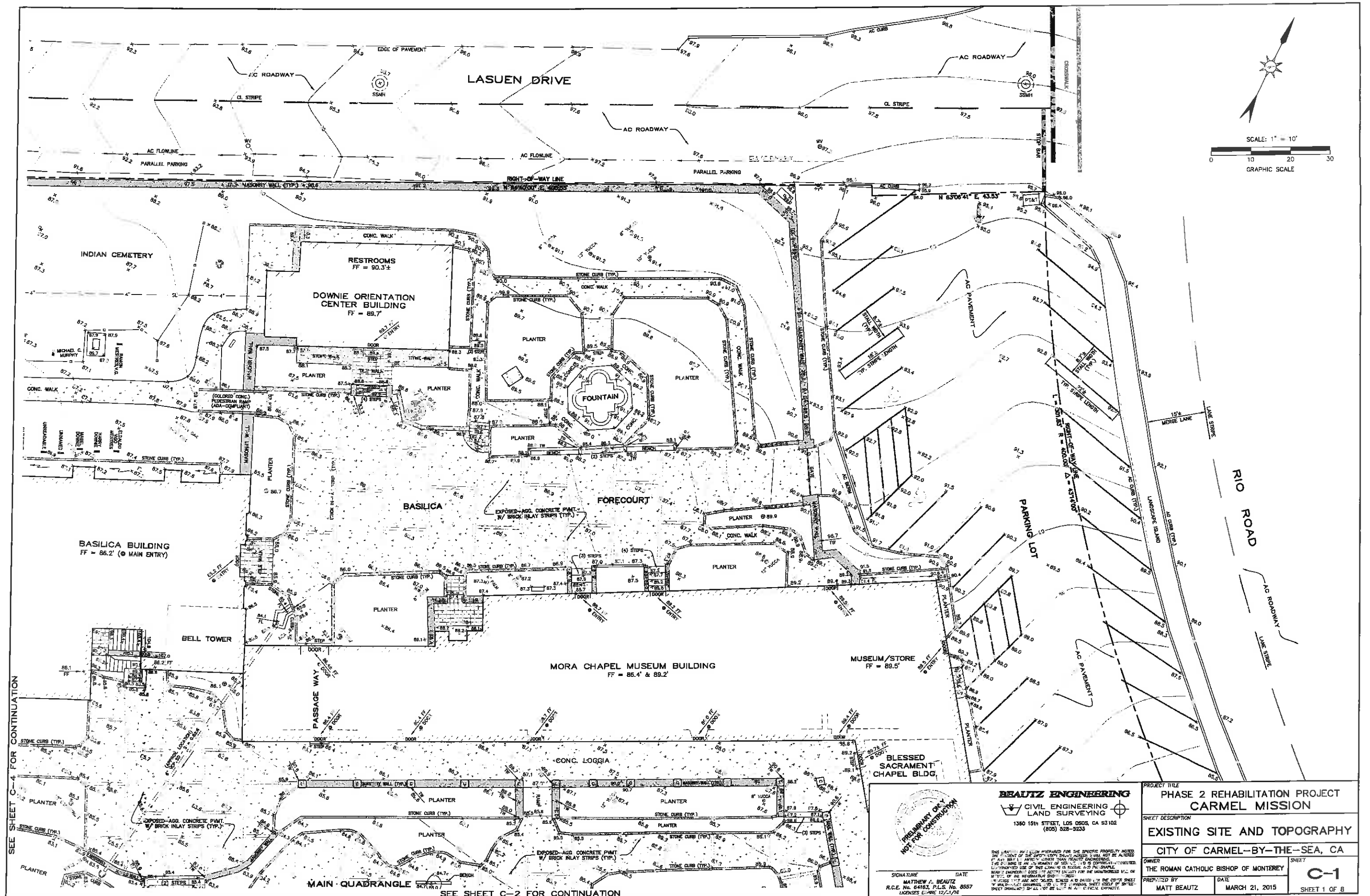




 <p>P.O. Box 597 Aptos, CA 95001 (831) 662-8800</p>	 <p>ARCHITECTURAL RESOURCES GROUP Architects, Planners & Conservation, Inc. P.O. Box 100000 - San Francisco, CA 94110 (415) 774-1000</p>	<p>DANIEL QUAN DESIGN Interpretive Planning Exhibition Design 6305 Exeter Drive • Oakland, CA 94611 • 510.530.1311</p>	<p>OVERALL SITE PLAN</p>		<p>CARMEL MISSION PHASE 2 MASTER PLAN</p>		<p>DATE: 3-21-15 SCALE: 1" = 30'</p>	<p>SHEET NO. A-3 OF 41 SHEETS</p>
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 <p>P.O. Box 597 Aptos, CA 95001 (831) 662-8800</p>	 <p>ARCHITECTURAL RESOURCES GROUP Architects, Planners & Conservators, Inc. P.O. Box 9, The Embarcadero - San Francisco, CA 94111 415-398-0810</p>	<p>DANIEL QUAN DESIGN Interpretive Planning Exhibition Design 6305 Exeter Drive • Oakland, CA 94611 • 510.530.1311</p>	<p>DETAIL SITE PLAN</p>	<p>CARMEL MISSION PHASE 2 MASTER PLAN</p>	<p>DATE: 8-21-15 SCALE: Not To Scale</p>	<p>SHEET NO. A-4 OF 41 SHEETS</p>
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BEAUTZ ENGINEERING
CIVIL ENGINEERING
LAND SURVEYING
1380 15th STREET, LOS OSOS, CA 93102
(805) 528-5233

PROJECT TITLE		PHASE 2 REHABILITATION PROJECT CARMEL MISSION	
SHEET DESCRIPTION		EXISTING SITE AND TOPOGRAPHY	
CITY OF CARMEL-BY-THE-SEA, CA		SHEET	
OWNER		THE ROMAN CATHOLIC BISHOP OF MONTEREY	
PREPARED BY		MATT BEAUTZ	
DATE		MARCH 21, 2015	
SHEET		C-1	
		SHEET 1 OF 8	

SIGNATURE
DATE
MATTHEW A. BEAUTZ
R.C.E. NO. 64163, P.L.S. NO. 8557
LICENSES EXPIRE 12/1/16

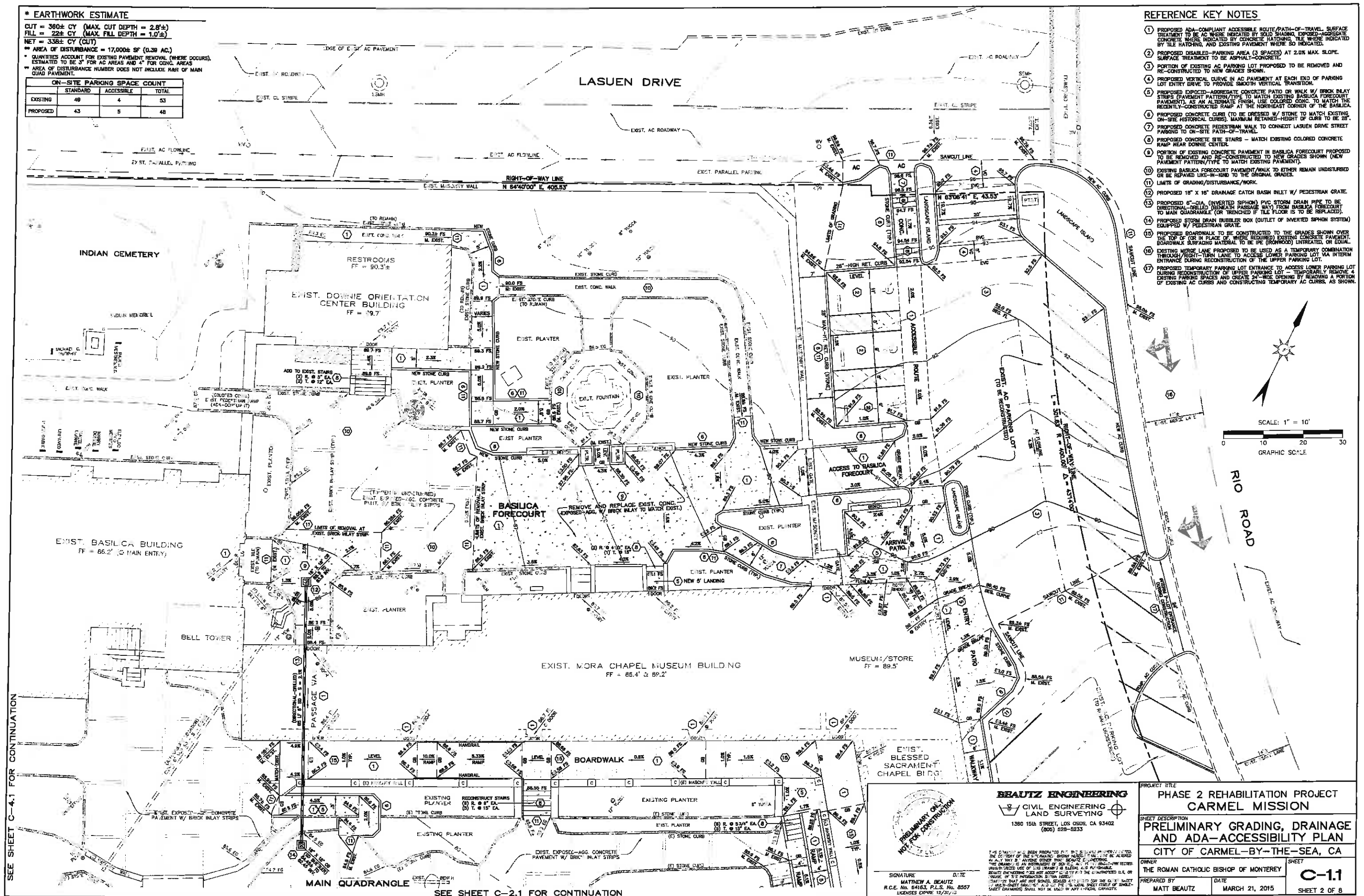
THIS PLAN AND ALL INFORMATION HEREON IS THE PROPERTY OF BEAUTZ ENGINEERING. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF BEAUTZ ENGINEERING IS STRICTLY PROHIBITED. BEAUTZ ENGINEERING DOES NOT ASSUME ANY LIABILITY FOR THE MAINTENANCE OF THE PLAN OR THE INFORMATION HEREON. THE PLAN IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF BEAUTZ ENGINEERING IS STRICTLY PROHIBITED.

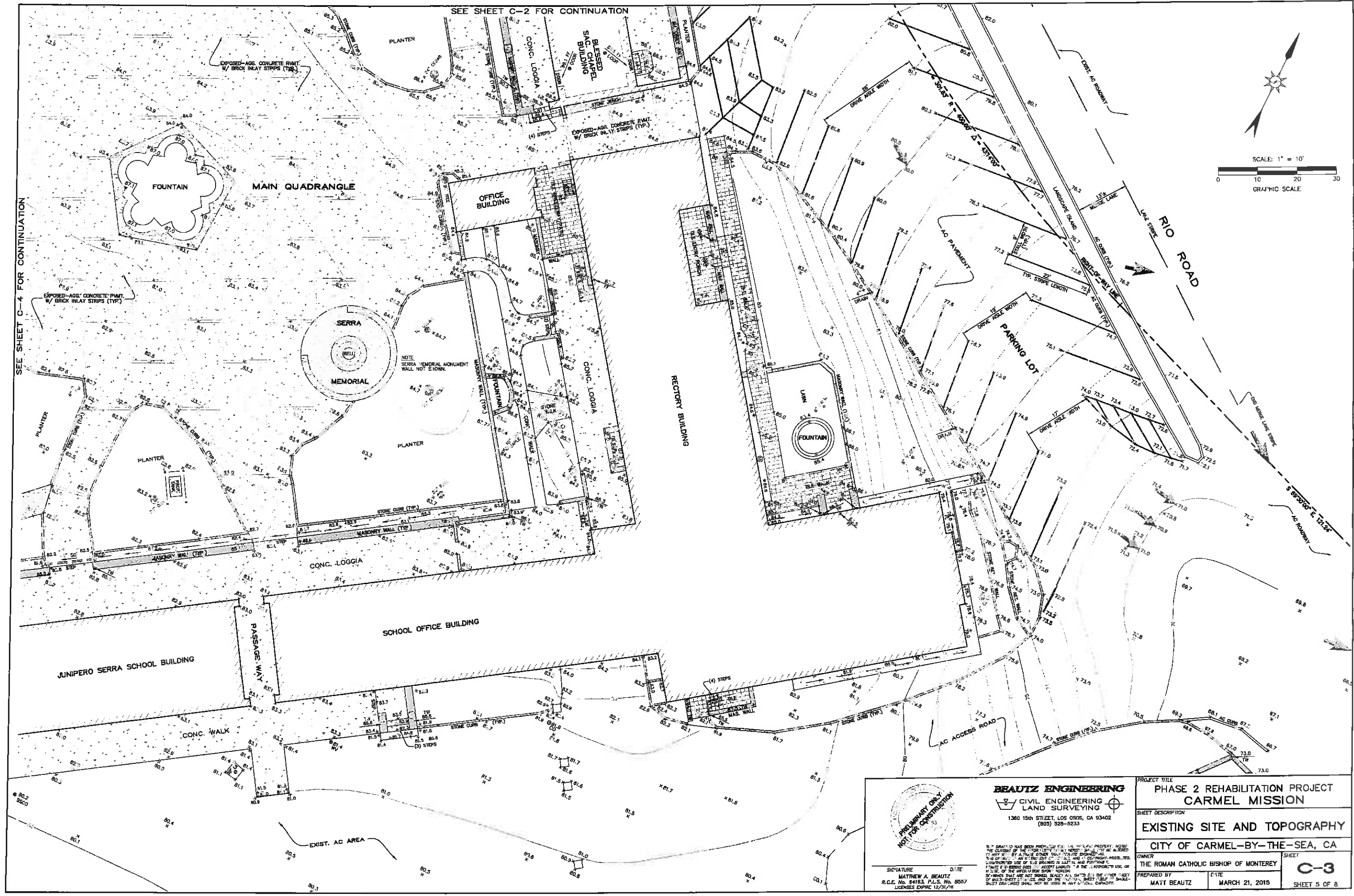
CUT = 380± CY (MAX. CUT DEPTH = 2.8'±)
 FILL = 22± CY (MAX. FILL DEPTH = 1.0'±)
 NET = 338± CY (CUT)

- AREA OF DISTURBANCE = 17,000± SF (0.39 AC.)
- QUANTITIES ACCOUNT FOR EXISTING PAVEMENT REMOVAL (WHERE OCCURS) ESTIMATED TO BE 3" FOR AC AREAS AND 4" FOR CONC. AREAS
- AREA OF DISTURBANCE NUMBER DOES NOT INCLUDE RAB OF MAIN QUAD PAVEMENT.

ON-SITE PARKING SPACE COUNT			
	STANDARD	ACCESSIBLE	TOTAL
EXISTING	49	4	53
PROPOSED	43	5	48

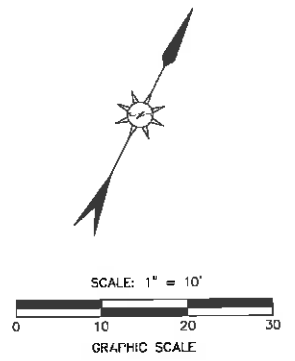
- 1 PROPOSED ADA-COMPLIANT ACCESSIBLE ROUTE/PATH-OF-TRAVEL, SURFACE TREATMENT IF AS MUCH AS REQUIRED TO BE SHOWN, EXPOSED-AGGREGATE CONCRETE WHERE INDICATED BY CONCRETE HATCHING, TILE WHERE INDICATED BY TILE HATCHING, AND EXISTING PAVEMENT WHERE SO INDICATED.
- 2 PROPOSED DISABLED-PARKING AREA (3 SPACES) AT 2.0% MAX. SLOPE. SURFACE TREATMENT TO BE ASPHALT-CONCRETE.
- 3 PORTION OF EXISTING ASP PAVING LOT PROPOSED TO BE REMOVED AND RE-CONSTRUCTED TO NEW GRADE SHOWN.
- 4 PROPOSED VERTICAL CURVE IN ASP PAVEMENT AT EACH END OF PARKING LOT ENTRY DRIVE TO PROVIDE SMOOTH VERTICAL TRANSITION.
- 5 PROPOSED EXPOSED-AGGREGATE CONCRETE PATIO OR WALK W/ BRICK INLAY STRIPS (PAVEMENT PATTERN/TYPE TO MATCH EXISTING BASILICA FORECOURT PAVEMENT), AS AN ALTERNATE FINISH. USE COLORED GROUT TO MATCH THE REMAINING EXISTING ASP. MATCH THE FURTHMOST CORNER OF THE BASILICA.
- 6 PROPOSED CONCRETE CURBS (TO BE DRESSED W/ STONE TO MATCH EXISTING ON-SITE HISTORICAL CURBS), MAXIMUM RETAINED-HIGHT OF CURB TO BE 22".
- 7 PROPOSED CONCRETE PEDESTRIAN WALK TO CONNECT LASSEN DRIVE STREET PARKING TO ON-SITE PATH-OF-TRAVEL.
- 8 PROPOSED CONCRETE SITE STAIRS - MATCH EXISTING COLORED CONCRETE BASE COURSE CEMENT.
- 9 PORTION OF EXISTING CONCRETE PAVEMENT IN BASILICA FORECOURT PROPOSED TO BE REMOVED AND RE-CONSTRUCTED TO NEW GRADES SHOWN (NEW PAVEMENT PATTERN/TYPE TO MATCH EXISTING PAVEMENT).
- 10 EXISTING BASILICA FORECOURT PAVEMENT WALK TO EITHER REMAIN UNDISTURBED OR BE REPAVED LIKE-IN-KIND TO THE ORIGINAL GRADES.
- 11 LIMITS OF GRADING/DISTURBANCE/WORK.
- 12 PROPOSED 18" X 18" DRAINAGE CATCH BASIN INLET W/ PEDESTRIAN GRATE.
- 13 PROPOSED 6"-DIA. (INVERTED SIPHON) PVC STORM DRAIN PIPE TO BE DIRECTIONAL-DILLED (BENEATH PASSAGE WAY) FROM BASILICA FORECOURT TO MAIN QUADRANGLE. (OR TRENCHED IF THE FLOOR IS TO BE REPLACED).
- 14 PROPOSED STORM DRAIN RUBBER BOX (OUTLET OF INVERTED SIPHON SYSTEM) MATCH EXISTING PEDESTRIAN GRATE.
- 15 PROPOSED SIDEWALK TO BE CONSTRUCTED TO THE GRADES SHOWN OVER THE TOP OF (OR IN PLACE OF WHERE REQUIRED) EXISTING CONCRETE PAVEMENT, SIDEWALK SURFACING MATERIAL TO BE PIPE (IRON/WOOD) UNTREATED, OR EQUAL.
- 16 EXISTING MERGE LANE PROPOSED TO BE USED AS A TEMPORARY COMBINATION THROUGH HIGH-RISE LANE TO ACCESS LOWER PARKING LOT VIA INTERM ENTRANCE DURING RECONSTRUCTION OF THE UPPER PARKING LOT.
- 17 PROPOSED TEMPORARY PARKING LOT ENTRANCE TO ACCESS LOWER PARKING LOT DURING RECONSTRUCTION OF UPPER PARKING LOT - TEMPORARILY REMOVE 4 EXISTING PARKING SPACES AND 4 EXISTING TEMPORARY DRIVEWAYS. REMOVE A PORTION OF EXISTING ASP CURBS AND CONSTRUCTING TEMPORARY ASP CURBS, AS SHOWN.





SEE SHEET C-4 FOR CONTINUATION

SEE SHEET C-2 FOR CONTINUATION



	BEAUTZ ENGINEERING		PROJECT TITLE	
	CIVIL ENGINEERING LAND SURVEYING		PHASE 2 REHABILITATION PROJECT CARMEL MISSION	
	1360 15th STREET, LOS OSOS, CA 93402 (805) 528-8233		SHEET DESCRIPTION	
			EXISTING SITE AND TOPOGRAPHY	
			CITY OF CARMEL-BY-SEA, CA	
SIGNATURE MATTHEW A. BEUTZ R.C.E. No. 51413, P.L.S. No. 8557 LICENSES EXPIRE 12/31/16		DATE MARCH 21, 2015	SHEET C-3 SHEET 5 OF 8	

* EARTHWORK ESTIMATE

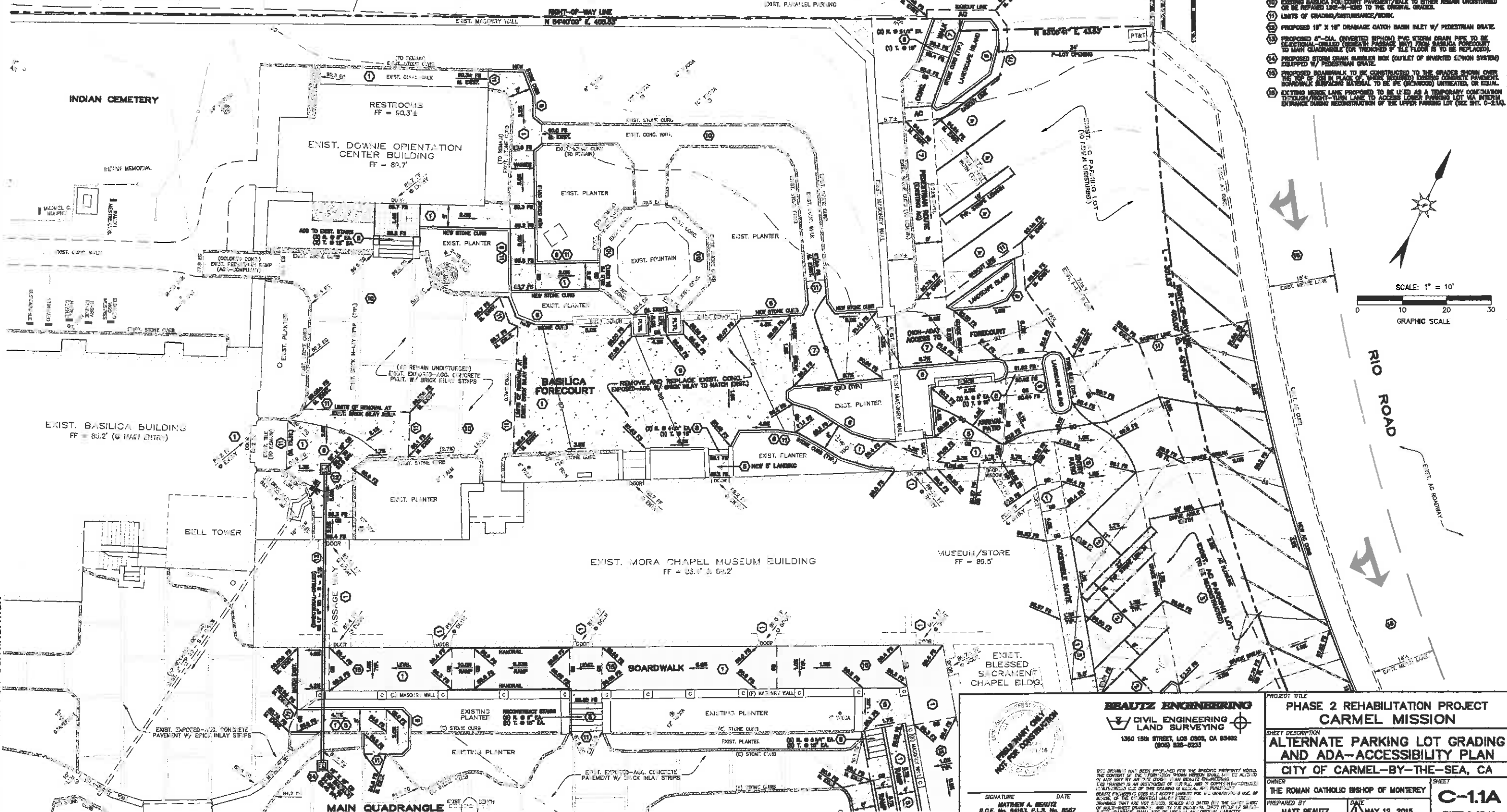
CUT = 70± CY (MAX. CUT DEPTH = 2.0'±)
 FILL = 120± CY (MAX. FILL DEPTH = 1.2'±)
 NET = 50± CY (FILL)

** AREA OF DISTURBANCE = 10,500± SF (0.38 AC.)
 *** QUANTITIES ACCOUNT FOR EXISTING PAVEMENT REMOVAL (WHERE OCCURS), ESTIMATED TO BE 3" FOR AC AREAS AND 4" FOR CONC. AREAS
 **** AREA OF DISTURBANCE NUMBER DOES NOT INCLUDE RAMP OF MAIN QUAD PAVEMENT.

ON-SITE PARKING SPACE COUNT			
	STANDARD	ACCESSIBLE	TOTAL
EXISTING	48	4	52
PROPOSED	48	4	52

*** EXISTING DESIGNATED "ACCESSIBLE" PARKING SPACES ARE NOT ADA-COMPLIANT DUE TO EXISTING SLOPE (> 2.0%).

EXIST. AC FLOWLINE
 EXIST. PARALLEL PARKING



REFERENCE KEY NOTES

- PROPOSED ADA-COMPLIANT ACCESSIBLE ROUTE/PATH-OF-TRAVEL, SURFACE TREATMENT TO BE AC WHERE INDICATED BY SOLID SHADING, EXPOSED-AGGREGATE CONCRETE WHERE INDICATED BY CONCRETE HATCHING, TILE WHERE INDICATED BY TILE HATCHING, AND EXISTING PAVEMENT WHERE SO INDICATED.
- PROPOSED DISABLED-PARKING AREA (3 SPACES) AT 2.0% MAX. SLOPE. SURFACE TREATMENT TO BE ASPHALT-CONCRETE.
- PORTION OF EXISTING AC PARKING LOT PROPOSED TO BE REMOVED AND RE-CONSTRUCTED TO NEW GRADES SHOWN.
- EXISTING PARKING SPACES TO BE MODIFIED TO PROVIDE ROOM FOR PEDESTRIAN ROUTE, AND EQUIPPED WITH WHEEL STOPS.
- PROPOSED EXPOSED-AGGREGATE CONCRETE PAVED OR WALK W/ BRICK LAY STRIPS (PAVEMENT PATTERN/TYPE TO MATCH EXISTING BASILICA FORECOURT PAVEMENT), AS AN ALTERNATE FINISH, USE COLORED CONC. TO MATCH THE RECENTLY-CONSTRUCTED RAMP AT THE NORTHEAST CORNER OF THE BASILICA.
- PROPOSED CONCRETE CURBS (TO BE DRESSED W/ STONE TO MATCH EXISTING ON-SITE HISTORICAL CURBS), MAXIMUM RETAINED HEIGHT OF CURBS TO BE 36".
- PROPOSED CONCRETE/AC (NON-ACCESSIBLE) PEDESTRIAN WALK/ROUTE TO CONNECT LASUEN DRIVE STREET PARKING AND UPPER PARKING LOT TO BASILICA FORECOURT, RAMP NEAR DORME CENTER.
- PROPOSED CONCRETE SITE STAIRS - MATCH EXISTING COLORED CONCRETE RAMP NEAR DORME CENTER.
- PORTION OF EXISTING CONCRETE PAVEMENT IN BASILICA FORECOURT PROPOSED TO BE REMOVED AND RE-CONSTRUCTED TO NEW GRADES SHOWN (NEW PAVEMENT PATTERN/TYPE TO MATCH EXISTING PAVEMENT).
- EXISTING BASILICA FORECOURT PAVEMENT/PAVE TO OTHER REMAIN UNDISTURBED OR BE REPAVED LIKE-IN-KIND TO THE ORIGINAL GRADES.
- LIMITS OF GRADING/DISTURBANCE/WORK.
- PROPOSED 18" X 18" DRAINAGE GATCH BASIN INLET W/ PEDESTRIAN GRATE.
- PROPOSED 4" DIA. ORIENTED SIPHON PVC STORM DRAIN PIPE TO BE ELECTRICAL-DRILLED (DEPTH PASSAGE ONLY) FROM BASILICA FORECOURT TO MAIN GARDENWALK (OR TRENCHED IF TILE FLOOR IS TO BE REPLACED).
- PROPOSED STORM DRAIN SUMMER BOX (OUTLET OF INVERTED SIPHON SYSTEM) EQUIPPED W/ PEDESTRIAN GRATE.
- PROPOSED BOARDWALK TO BE CONSTRUCTED TO THE GRADES SHOWN OVER THE TOP OF (OR IN PLACE OF) EXISTING EXPOSED-AGGREGATE CONCRETE PAVEMENT. BOARDWALK SURFACING MATERIAL TO BE 3/4" (RICHWOOD) UNTREATED, OR EQUAL.
- EXISTING MASONRY WALLS PROPOSED TO BE USED AS A TEMPORARY CONFINEMENT TYPICAL/FIRST-TURN LANE TO ACCESS LOWER PARKING LOT VIA INTERIOR ENTRANCE DURING RECONSTRUCTION OF THE UPPER PARKING LOT (SEE SHT. C-2.1A).

SEE SHEET C-4.1 FOR CONTINUATION

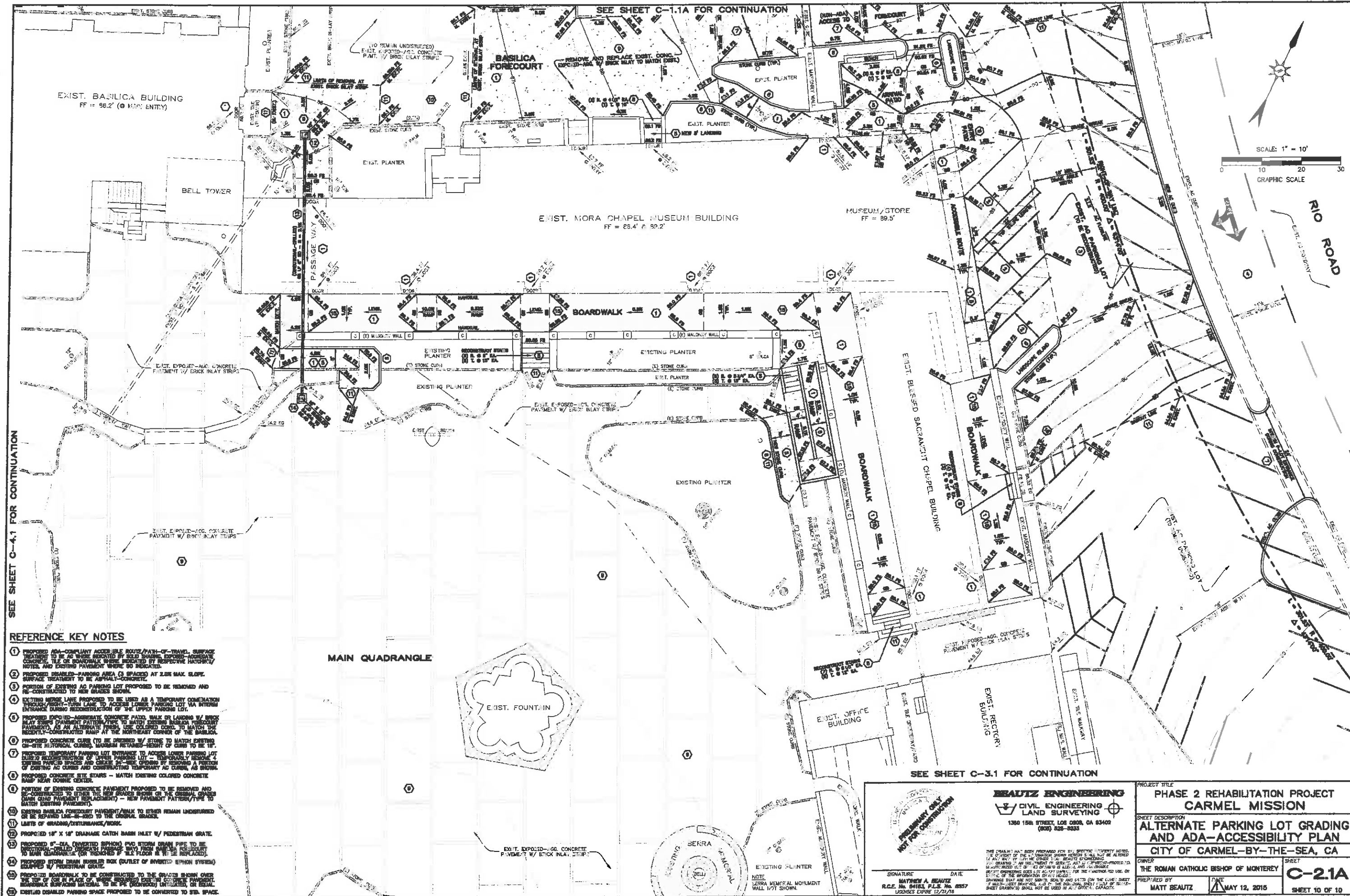
SEE SHEET C-2.1A FOR CONTINUATION

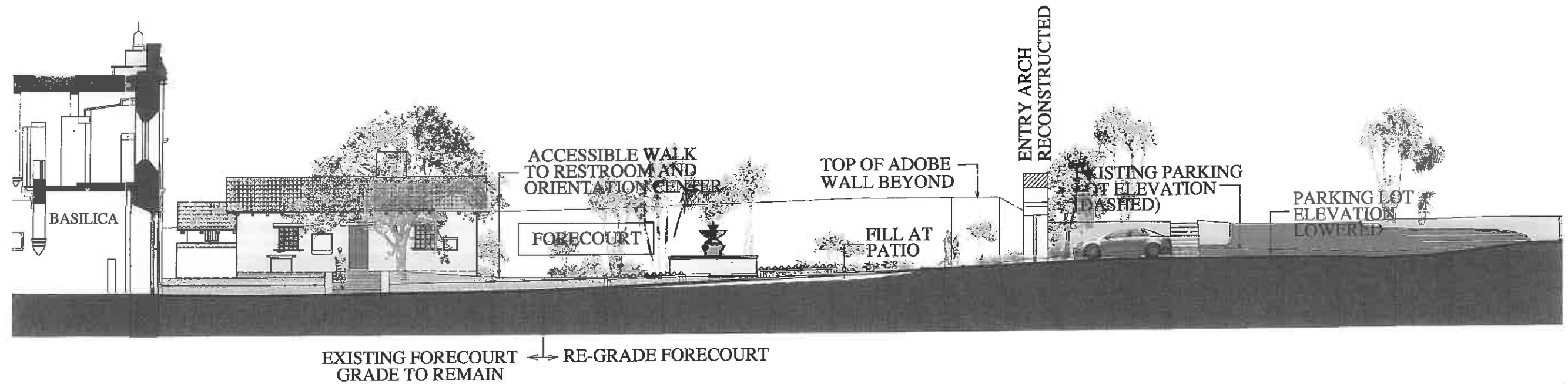


SIGNATURE DATE
 MATTHEW A. BEUTZ
 R.G.E. No. 54183, P.L.B. No. 8567
 LICENSES EXPIRE 12/31/18

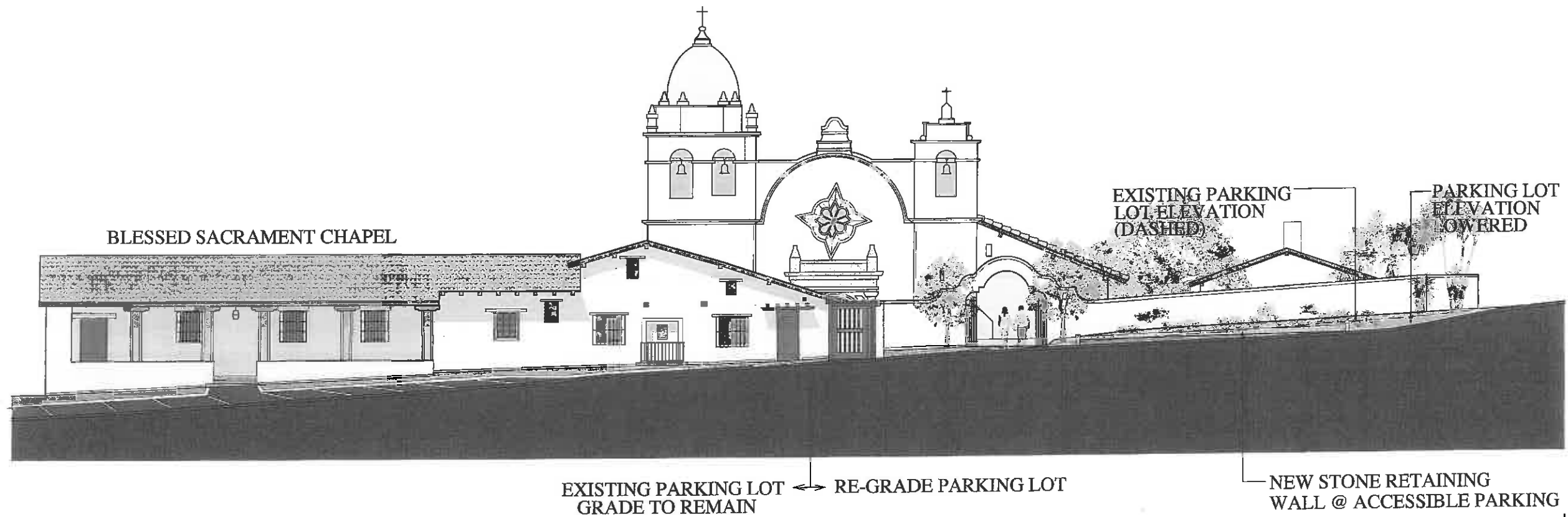
BEUTZ ENGINEERING
 CIVIL ENGINEERING
 LAND SURVEYING
 1380 19th STREET, LOS ANGELES, CA 90002
 (213) 228-0233

PROJECT TITLE PHASE 2 REHABILITATION PROJECT CARMEL MISSION	
SHEET DESCRIPTION ALTERNATE PARKING LOT GRADING AND ADA-ACCESSIBILITY PLAN CITY OF CARMEL-BY-THE-SEA, CA	
OWNER THE ROMAN CATHOLIC BISHOP OF MONTEREY	SHEET C-1.1A
PREPARED BY MATT BEUTZ	DATE MAY 12, 2015
SHEET 8 OF 10	







SITE SECTION EAST TO WEST @ CENTERLINE FORECOURT

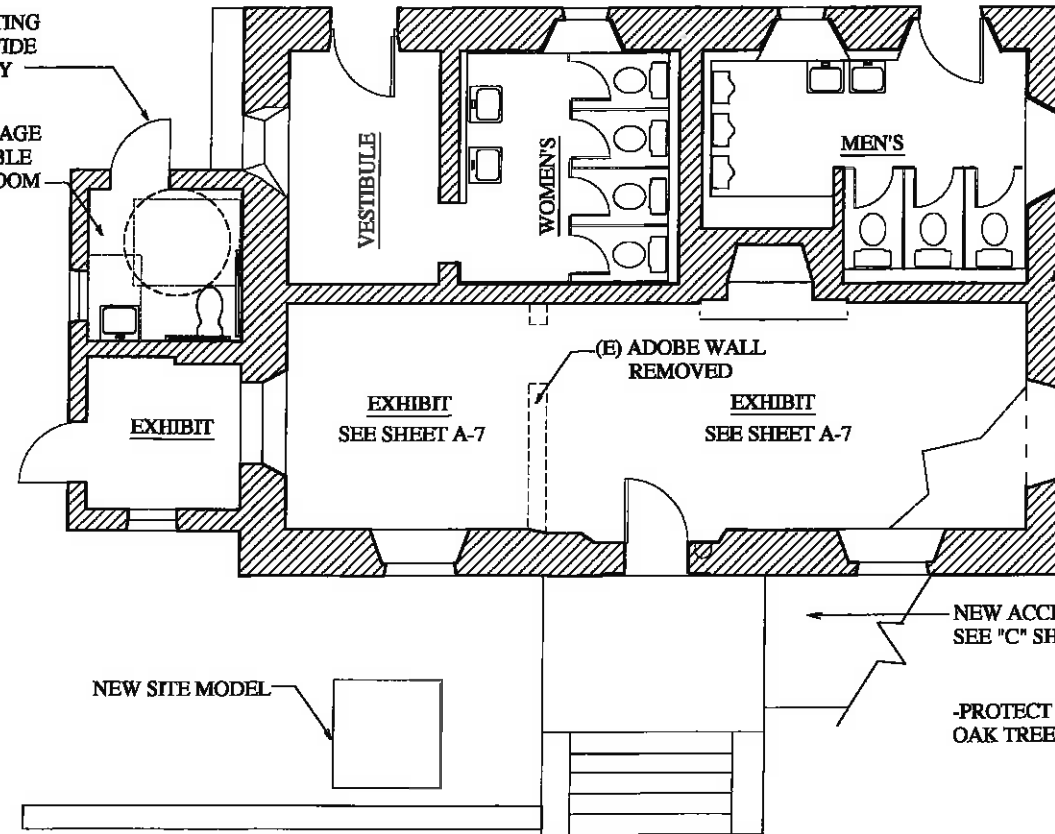


SITE SECTION NORTH TO SOUTH @ CENTERLINE PARKING LOT

 <p>P.O. Box 597 Aptos, CA 95001 (831) 662-8800</p>	 <p>ARCHITECTURAL RESOURCES GROUP Architects, Planners & Constructors, Inc. P.O. Box 1100 • San Francisco, CA 94101 415-398-1000</p>	<p>DANIEL QUAN DESIGN Interpretive Planning Exhibition Design 1305 Eyster Drive • Oakland, CA 94611 • 510.530.1311</p>	<p>SITE SECTIONS</p>	<p>CARMEL MISSION PHASE 2 MASTER PLAN</p>	<p>DATE: 3-21-15</p> <p>SCALE: 1/8"=1'-0"</p>	<p>SHEET NO. A-5 OF 41 SHEETS</p>
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MODIFY EXISTING
DOOR TO PROVIDE
ACCESSIBILITY

CONVERT STORAGE
INTO ACCESSIBLE
FAMILY RESTROOM



-REPLACE ALL EXISTING
PLUMBING FIXTURES
WITH NEW WATER SAVING
FIXTURES

SEISMICALLY RETROFIT
BUILDING- SEE SHEET A- 22
FOR CONCEPT PLAN

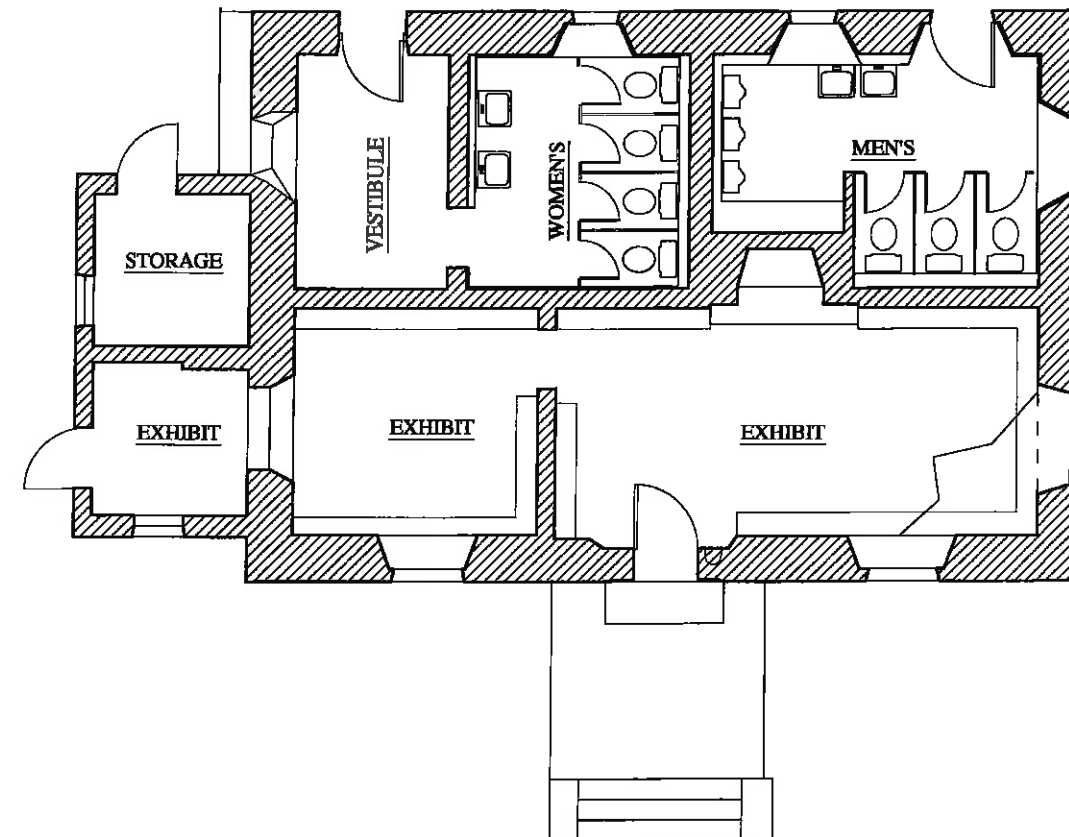
NEW ACCESSIBLE PATH
SEE "C" SHEETS

-PROTECT ADJACENT CORK
OAK TREE DURING CONSTRUCTION



CARMEL MISSION
PHASE 2 MASTER PLAN

2 1/4"=1' PROPOSED FLOOR PLAN



DOWNIE ORIENTATION CENTER
FLOOR PLANS

DATE: 3-21-15

REVISION:

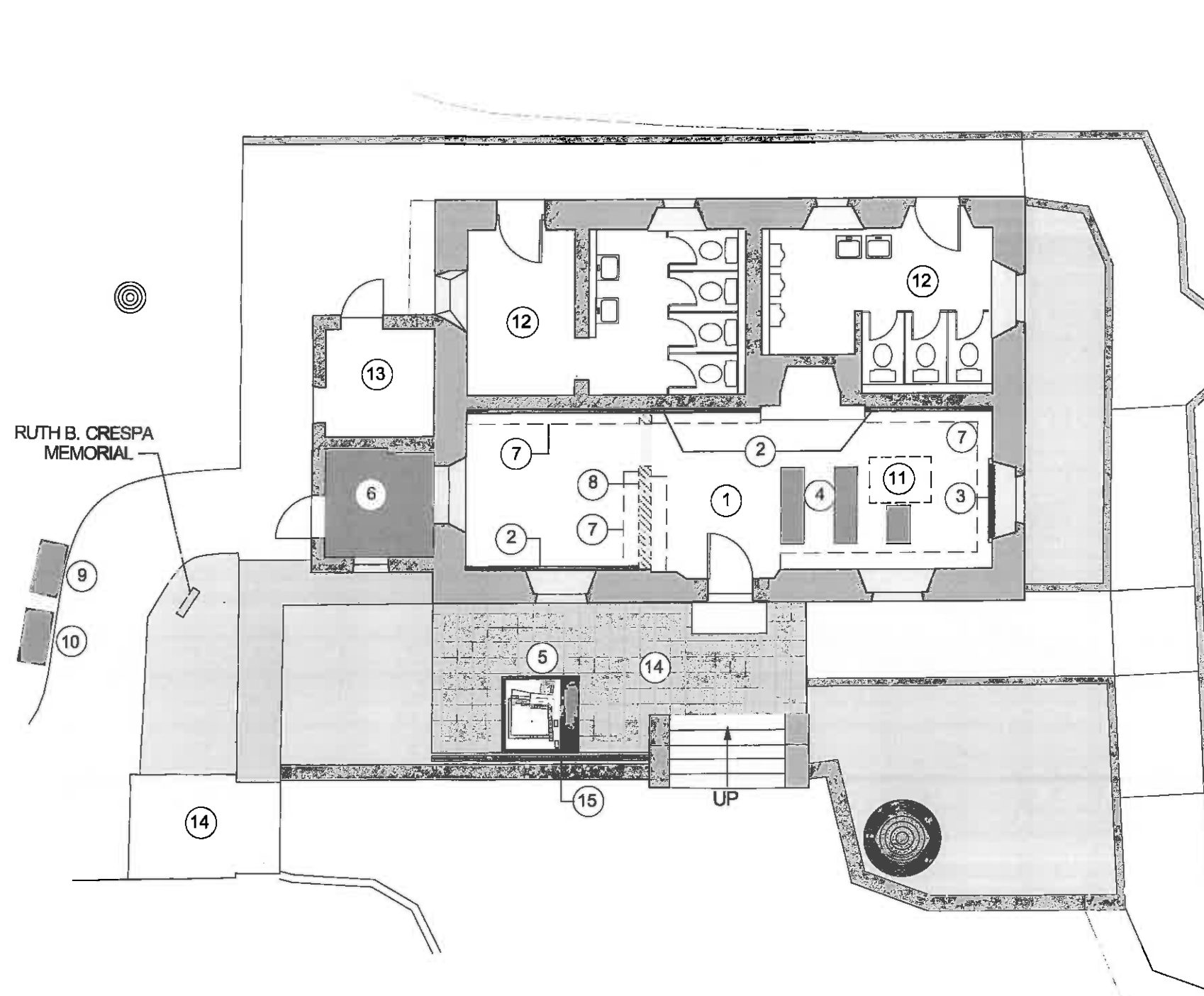
SCALE: 1/4"=1'-0"

SHEET NO.

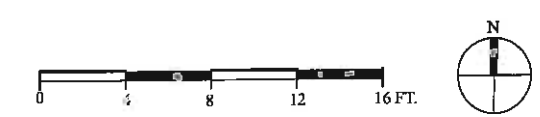
A-6



OF 41 SHEETS

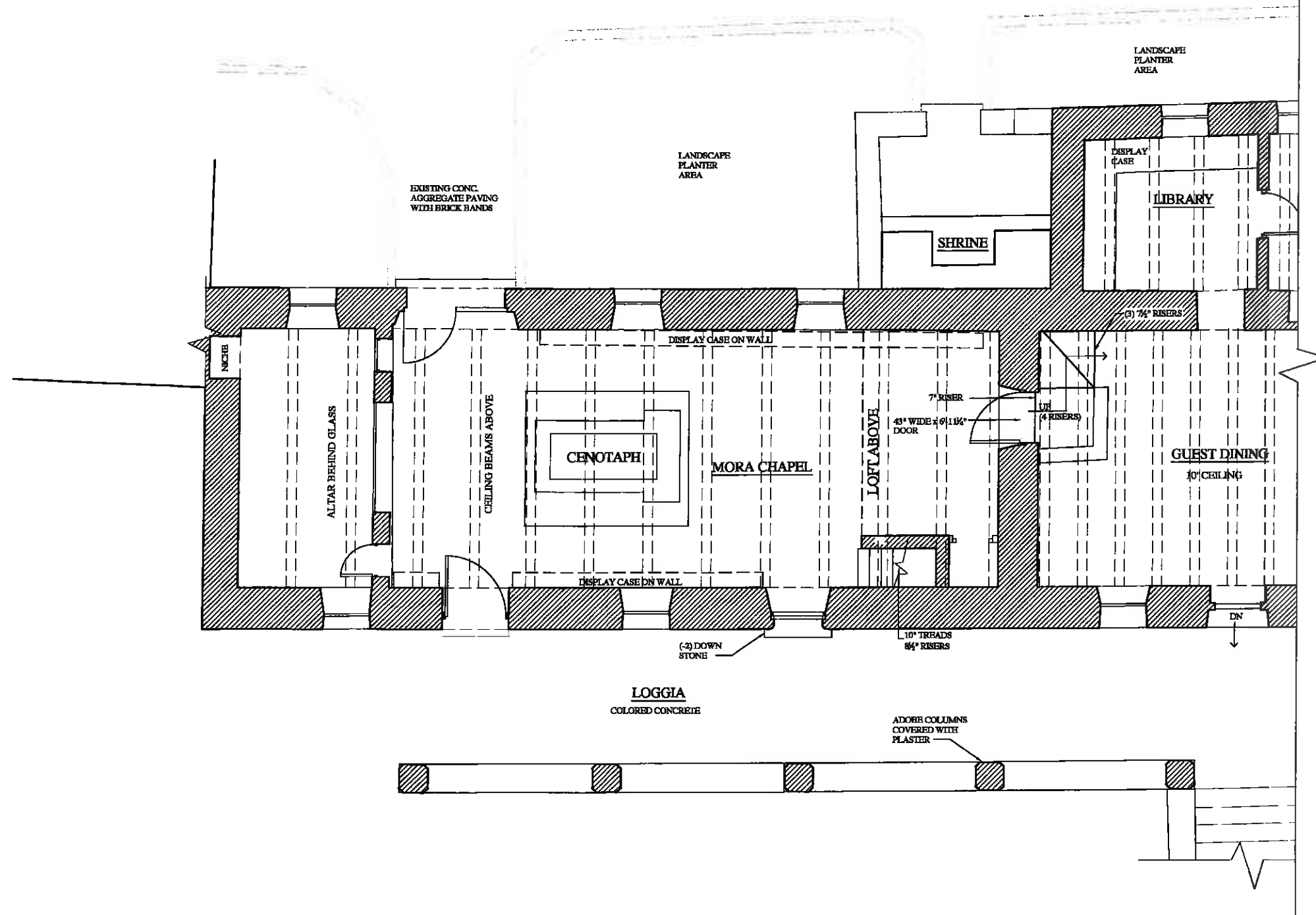
1 1/4"=1' EXISTING FLOOR PLAN



- ① NEW INDOOR ORIENTATION SPACE
- ② WALL MURAL: MISSION TIMELINE
- ③ 65" LED MONITOR EMBEDDED IN PANEL COVERING WINDOW OPENING
- ④ BENCH SEATING FOR NINE
- ⑤ TOUCHABLE MODEL OF MISSION
- ⑥ EXISTING DOWNIE WORKSHOP DIORAMA W/ UPGRADES
- ⑦ REMOVE EXISTING DISPLAY CASES
- ⑧ REMOVE EXISTING WALL; ADD FLOOR TREATMENT TO MARK WALL LOCATION
- ⑨ WAYSIDE PANEL: MISSION INDIAN BURIALS
- ⑩ WAYSIDE PANEL: LOS CALIFORNIOS BURIALS
- ⑪ ACCESSIBLE SEATING
- ⑫ ALL EXISTING PLUMBING FIXTURES UPGRADED TO LOW-FLOW
- ⑬ NEW ADA "FAMILY" RESTROOM
- ⑭ RAISE PATIO TO LEVEL OF THRESHOLD OF (E) BLDG.; NEW PAVING TO MATCH
- ⑮ NEW GUARDRAIL OR PLANT BED



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					SCALE: 1/4" = 1'-0"	A-7
					OF 41 SHEETS	



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MORA CHAPEL PLAN- EXISTING

CARMEL MISSION PHASE 2
MASTER PLAN

DATE: 3-21-15

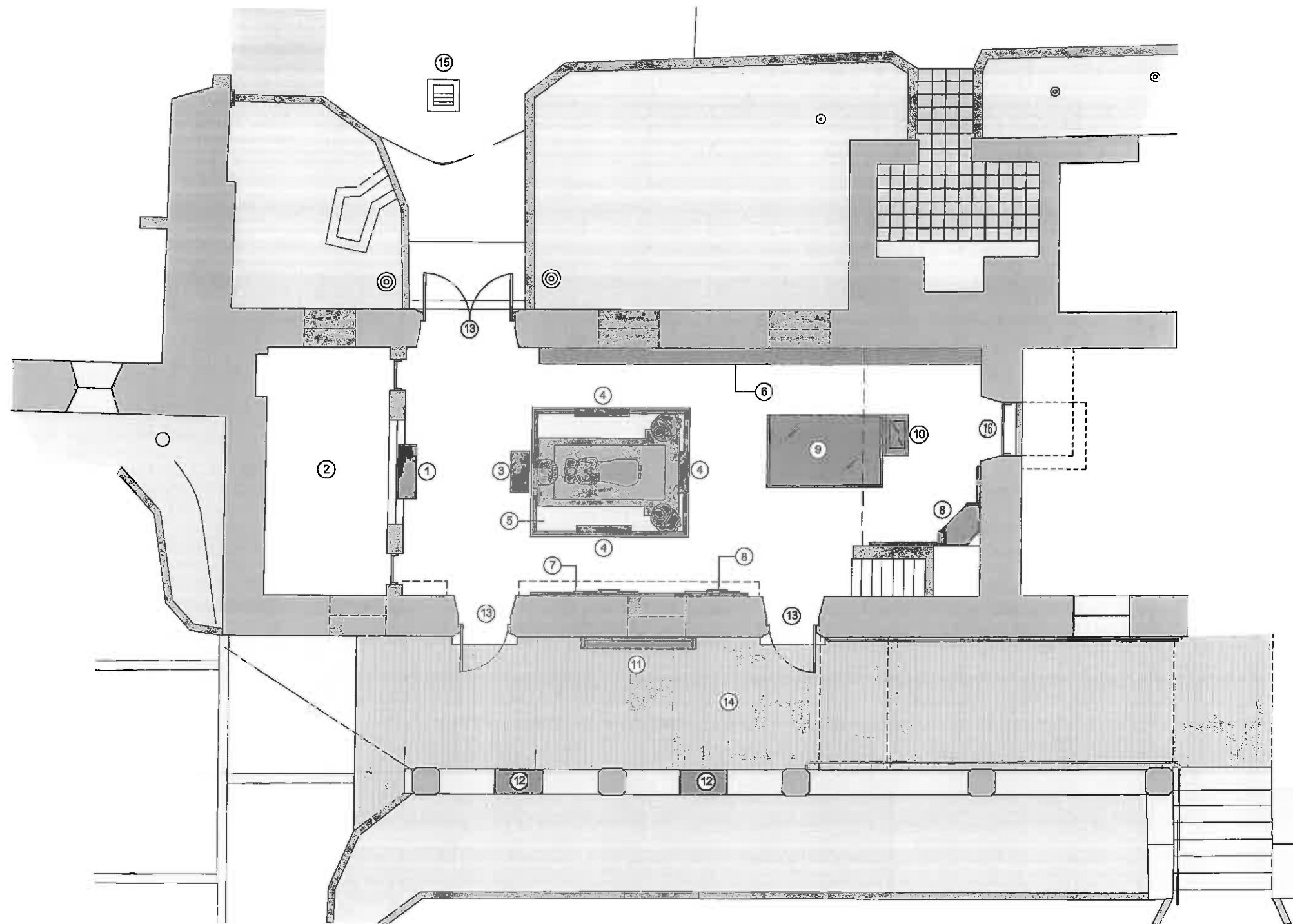
REVISION:

SCALE: 1/4"=1'-0"

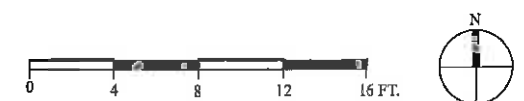
SHEET NO.



A-8

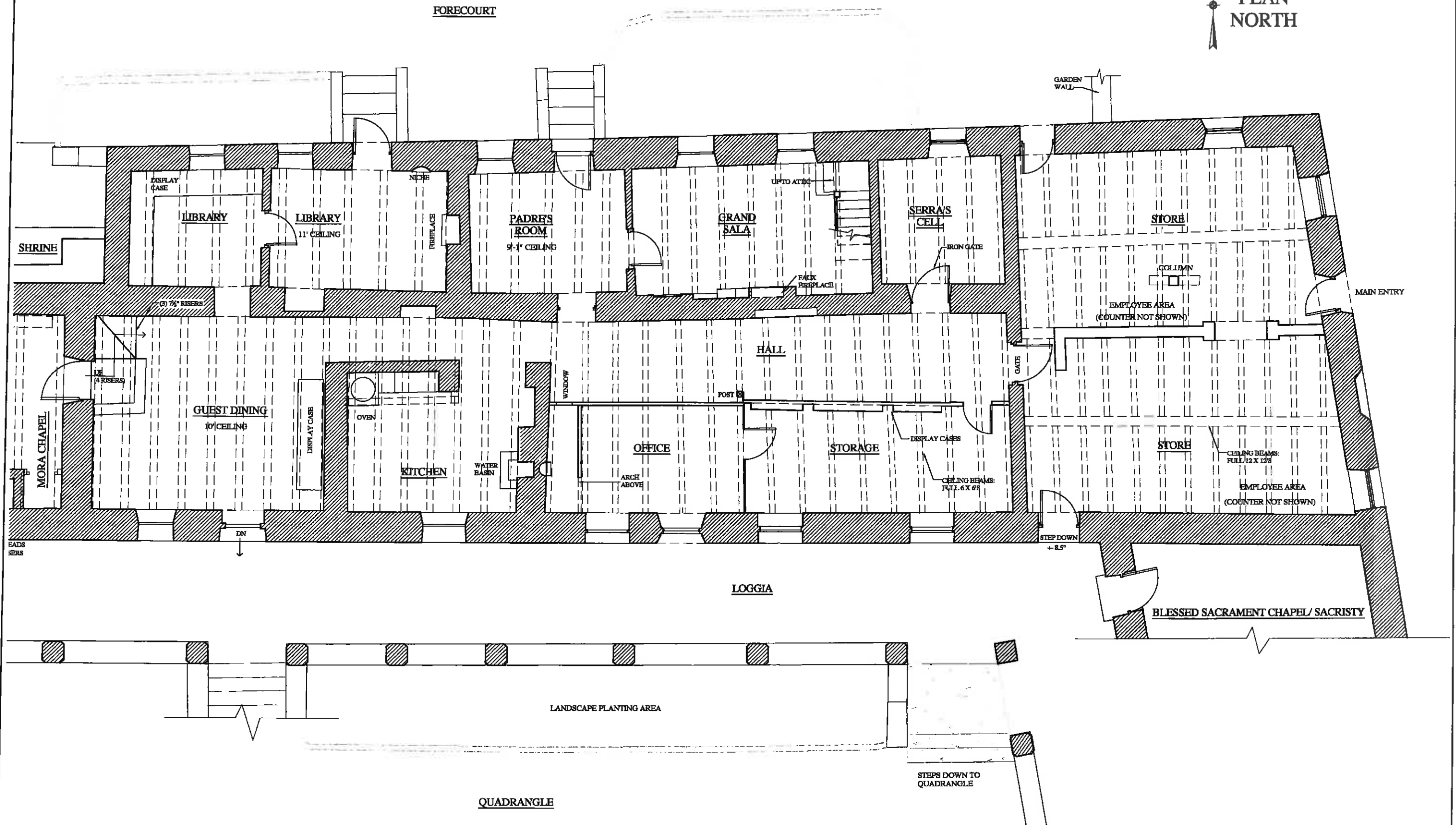
OF 41 SHEETS



- ① RELIGIOUS SYMBOLISM: ALTAR; AN ACTIVE PARISH
- ② EXISTING ALTAR DISPLAY: CLEAN AND CONSERVE AS NECESSARY
- ③ CENOTAPH INTRODUCTION
- ④ CENOTAPH SYMBOLISM INTERPRETATION; INTRO TO PADRES
- ⑤ NEW GLASS RAILING
- ⑥ NEW REPLACEMENT CASES FOR ROTATING EXHIBITS
- ⑦ JO MORA: CHAPEL AND CENOTAPH
- ⑧ SIR HARRY DOWNIE: DRAWINGS, OBJECTS, RESTORATION STORY
- ⑨ DOWNIE'S MODEL OF SITE (RESTORED)
- ⑩ ANIMATED TIMELINE: CARMEL MISSION SITE DEVELOPEMINT
- ⑪ PRE-MISSION INDIANS: INTRO, MAP, LIFEWAYS, TOUCHABLE OBJECTS; ENVIRONMENTAL SOUNDS
- ⑫ PRE-MISSION INDIANS: VILLAGE LIFE
- ⑬ EMERGENCY EXIT; MODIFY DOORS; REVERSE DOOR SWING
- ⑭ NEW ACCESSIBLE BOARDWALK RAMP
- ⑮ NEW DRAIN TO IMPROVE FORECOURT DRAINAGE
- ⑯ NEW WINDOW AT EXIST. DOOR



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CONVENTO MUSEUM FLOOR PLAN- EXISTING

CARMEL MISSION PHASE 2 MASTER PLAN

DATE: 3-21-15

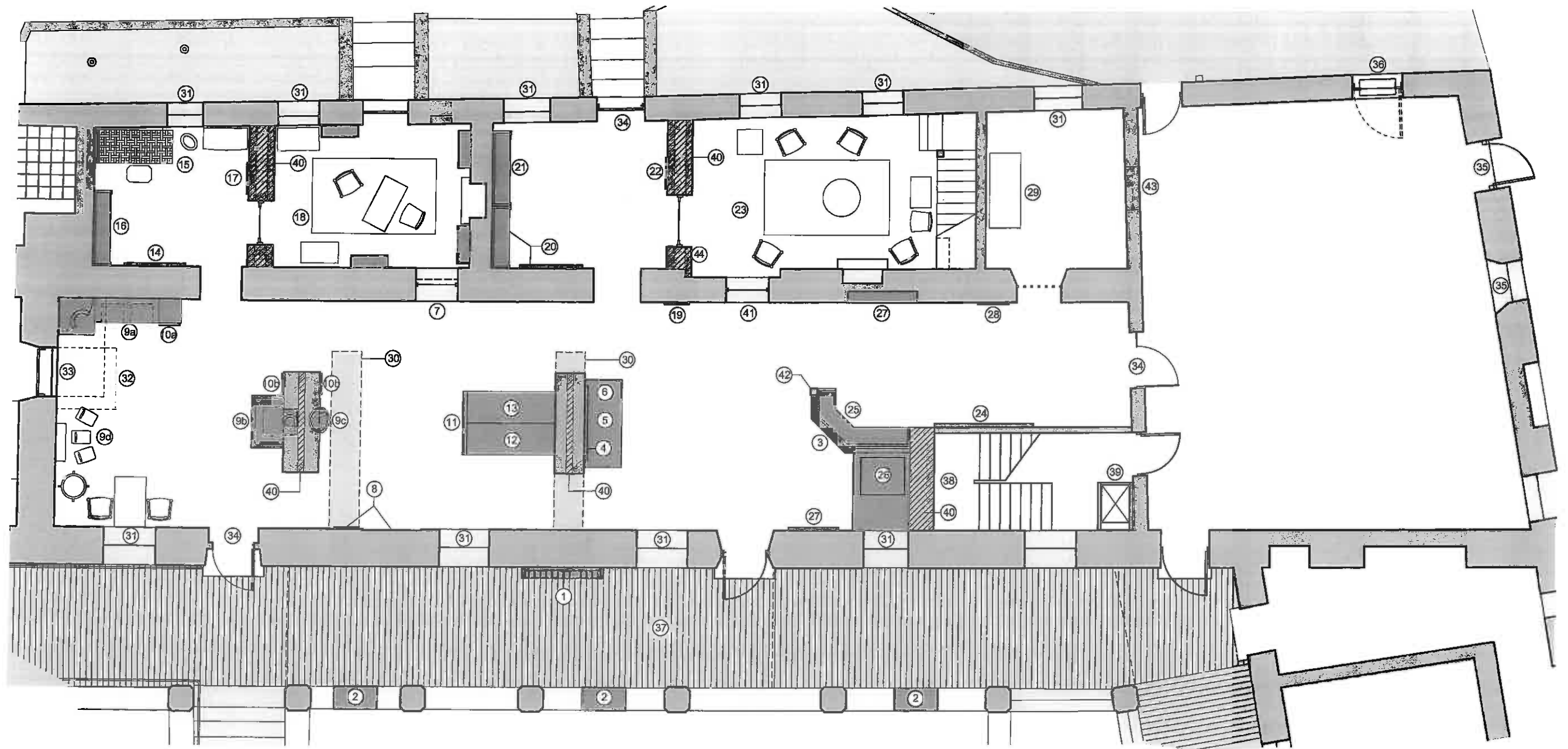
REVISION:

SHEET NO.

A-10

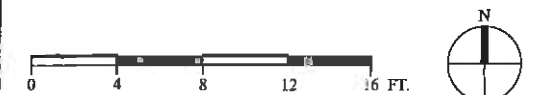
SCALE: 1/4"=1'-0"

OF 41 SHEETS



- | | | | | |
|--|--|--|---|--|
| ① MISSION INDIANS: CHANGED LIFEWAYS; ENVIRONMENTAL SOUND | ⑨c DINING RM. RE- CREATION: WATER PURIFICATION BASIN | ⑲ LIBRARY: HISTORICALLY FURNISHED; BOOKS CONSERVED AND PROTECTED | ⑳ SERRA CELL: HISTORICALLY FURNISHED | ㉓ SWAP LOCATION OF (E) WINDOW W/ TRELLIS WITH (N) DOOR |
| ② MISSION INDIANS: LIFE AT THE MISSION; WORK IN MISSION AND ON RANCHO, CHANGES OVER TIME | ⑨d KITCHEN FURNISHINGS, TOOLS, STORAGE | ⑲ DIRECTIONAL SIGN | ㉔ FLOOR MATERIAL CHANGE TO INDICATE FORMER WALL LOCATIONS | ㉔ NEW TICKET WINDOW/DOOR W/ TRELLIS |
| ③ WELCOME TO CONVENTO MUSEUM | ⑩a KITCHEN INTERPRETATION | ⑲ MISSION BUSINESS & THE OUTSIDE WORLD | ㉕ UV FILTERING TREATMENT AT WINDOW | ㉕ NEW BOARDWALK/RAMP |
| ④ MISSION FOUNDING PAINTING | ⑩b WATER PURIFICATION SYSTEM | ㉑ LOS CALIFORNIOS | ㉖ DEMOLISH LOW WALLS, INFILL STAIRWELL, INFILL DOOR OPENING | ㉖ NEW STAIRWELL TO ATTIC STORAGE (CONFIGURATION T.B.D.) |
| ⑤ OAK LIMB IN LOW DISPLAY CASE | ⑪ MISSION INDIANS: DAILY ROUTINE | ㉒ SALA INTERPRETATION | ㉗ RAISE (E) HEADER TO CREATE WINDOW W/ VIEW TO MORA CHAPEL | ㉗ NEW DUMB WAITER FOR STORE MERCHANDISE (CONFIGURATION T.B.D.) |
| ⑥ HISTORICAL CONTEXT: COLONIZATION, CHRISTIANITY, & EUROPEAN VIEW OF NEW WORLD | ⑫ ARTIFACT CASE: UTENSILS, TOOLS USED BY INDIANS | ㉒ SALA: HISTORICALLY FURNISHED | ㉘ EXIT DOOR | ㉘ NEW SHEAR WALL |
| ⑦ NEW WINDOW (AT EXISTING DISPLAY CASE) | ⑬ ARTIFACT CASE: ROLE OF MUSIC; MUSICAL INSTRUMENTS | ㉓ FR. SERRA LIFE STORY | | ㉙ NEW WINDOW INTO SALA |
| ⑧ ADOBE CONSTRUCTION (AT WALL WHERE PLASTER IS STRIPPED AWAY TO REVEAL ADOBE BRICKS) | ⑭ PADRES: ALONE ON THE FRONTIER; DAILY ROUTINE | ㉔ DISPLAY CASE: FR. SERRA ARTIFACTS | | ㉚ EXISTING POST |
| ⑨a KITCHEN RE- CREATION: OVEN AND STOVE | ⑮ FURNISHINGS: BED, DRESSER, CHAMBER POT, ETC. | ㉕ CONFESSONAL ON PLATFORM | | ㉛ POTENTIAL NEW WINDOW AT SERRA'S CELL |
| ⑨b KITCHEN RE- CREATION: WATER PURIFICATION BASIN | ⑯ DISPLAY CASE FOR ROTATING EXHIBITS | ㉖ PAINTING DISPLAY | | |
| | ⑰ LIBRARY INTERPRETATION | ㉗ SERRA CELL INTERPRETATION | | |

NOTE:
THIS INTERIOR LAYOUT REPRESENTS ONE POSSIBLE SOLUTION. OTHER SOLUTIONS ARE CURRENTLY BEING EXPLORED.



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DANIEL QUAN DESIGN

Interpretive Planning
Exhibition Design
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CONVENTO MUSEUM PLAN

CARMEL MISSION PHASE 2 MASTER PLAN

DATE: 3-21-15

SCALE: 1/4" = 1'-0"

SHEET NO.

A-11

OF 41 SHEETS

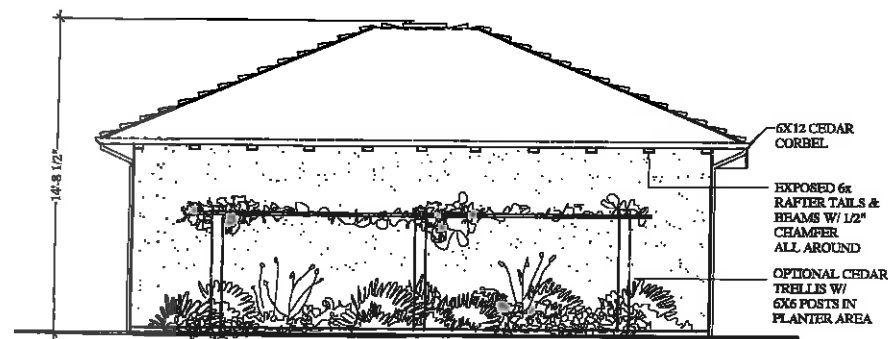
-EXTERIOR FINISHES ARE TO MATCH EXISTING RESTROOM
NEAR MUNRAS COURTYARD. INTENT IS TO "BLEND" WITH
EXISTING BUILDINGS BUT NOT "DUPLICATE" THEM AESTHETICALLY
SO AS TO MINIMIZE ANY CONFUSION ABOUT WHAT IS HISTORIC.
-SEE "C" SHEETS FOR SEWER LATERAL INFO. AND ELEVATIONS.
-NEW RESTROOM BUILT OVER PRE-EXISTING PAVEMENT. NO NEW
NET IMPERVIOUS AREA.
-AVAILABLE WATER CREDITS WILL BE UTILIZED TO BUILD RESTROOM.

NOTES

BIRD STOPS: MUDDIED-IN
MORTAR OR CLAY BALLS

SHRUBS PLANTED NEXT TO
BUILDING

NORTH ELEVATION



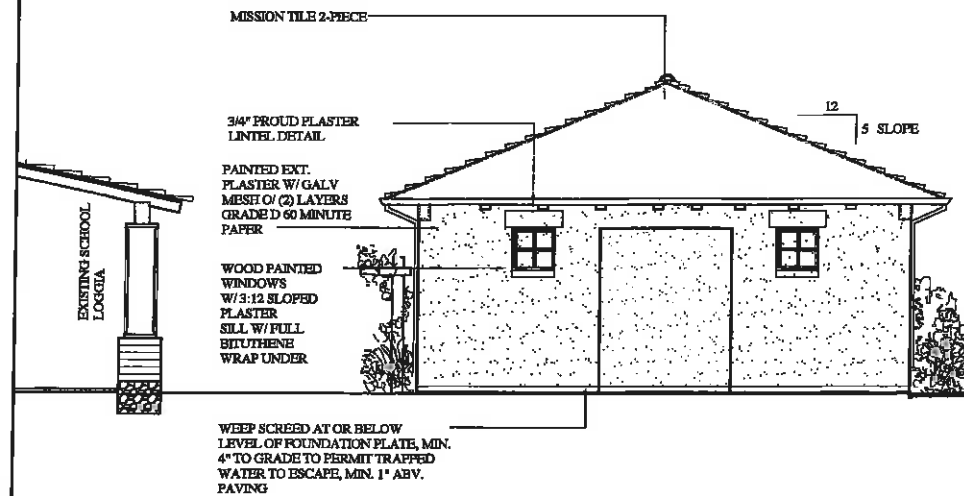
SOUTH ELEVATION

-ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE TO FINISHED SURFACES UNLESS
NOTED OTHERWISE (ROUGH IS TO ROUGH FRAMING).
-RESTROOM WILL BE A.D.A. COMPLIANT W/ ACCESSIBLE PATH OF
TRAVEL TO AND FROM.
-EXISTING TREES AND SHRUBS IN ADJACENT LANDSCAPE AREAS WILL
SHIELD RESTROOM VIEW FROM MOST OF QUADRANGLE.
-WINDOWS ARE WOOD PAINTED WITH TEMP. DOUBLE PANE GLASS.

NOTES

2-PIECE CAP
& PAN MISSION
TILE
COPPER HALF
ROUND GUTTER
W/ 3\"/>

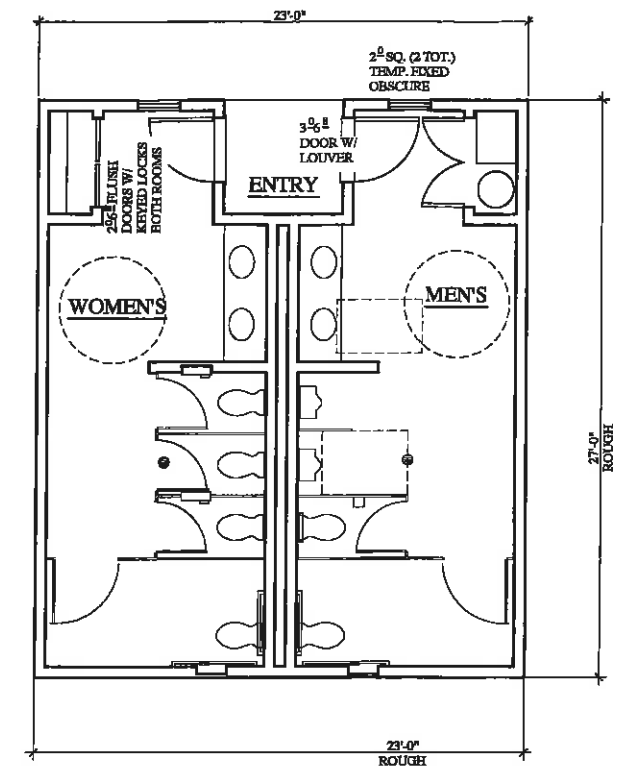
WEST ELEVATION



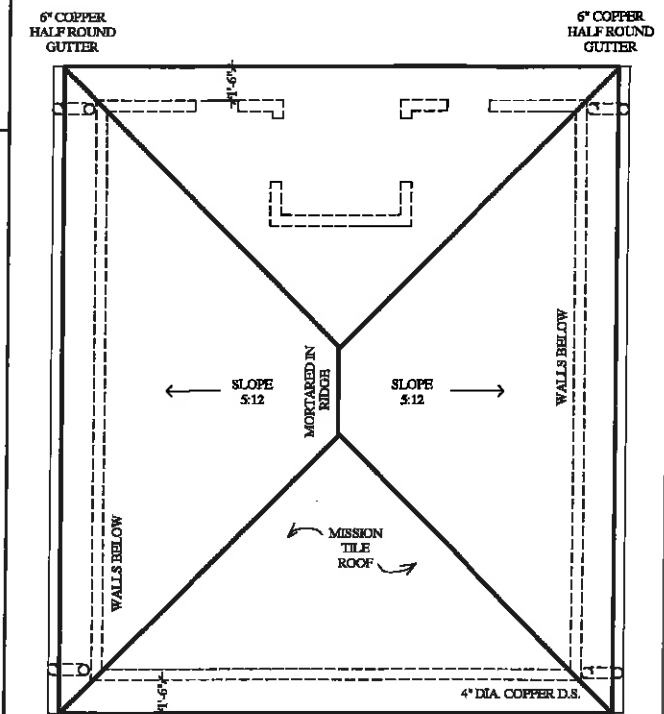
EAST ELEVATION

591 SQUARE FEET
HEATED SPACE

PLAN
NORTH



FLOOR PLAN



ROOF PLAN

CARMEL MISSION PHASE 2 MASTER PLAN

NEW RESTROOMS AT QUADRANGLE

DATE: 3-21-15

REVISION:

SCALE: 1/4"=1'-0"

SHEET NO.

A-12

OF 41 SHEETS

CARMEL MISSION
 PHASE 2 MASTER PLAN

EXTERIOR RENDERINGS

DATE: 3-21-15

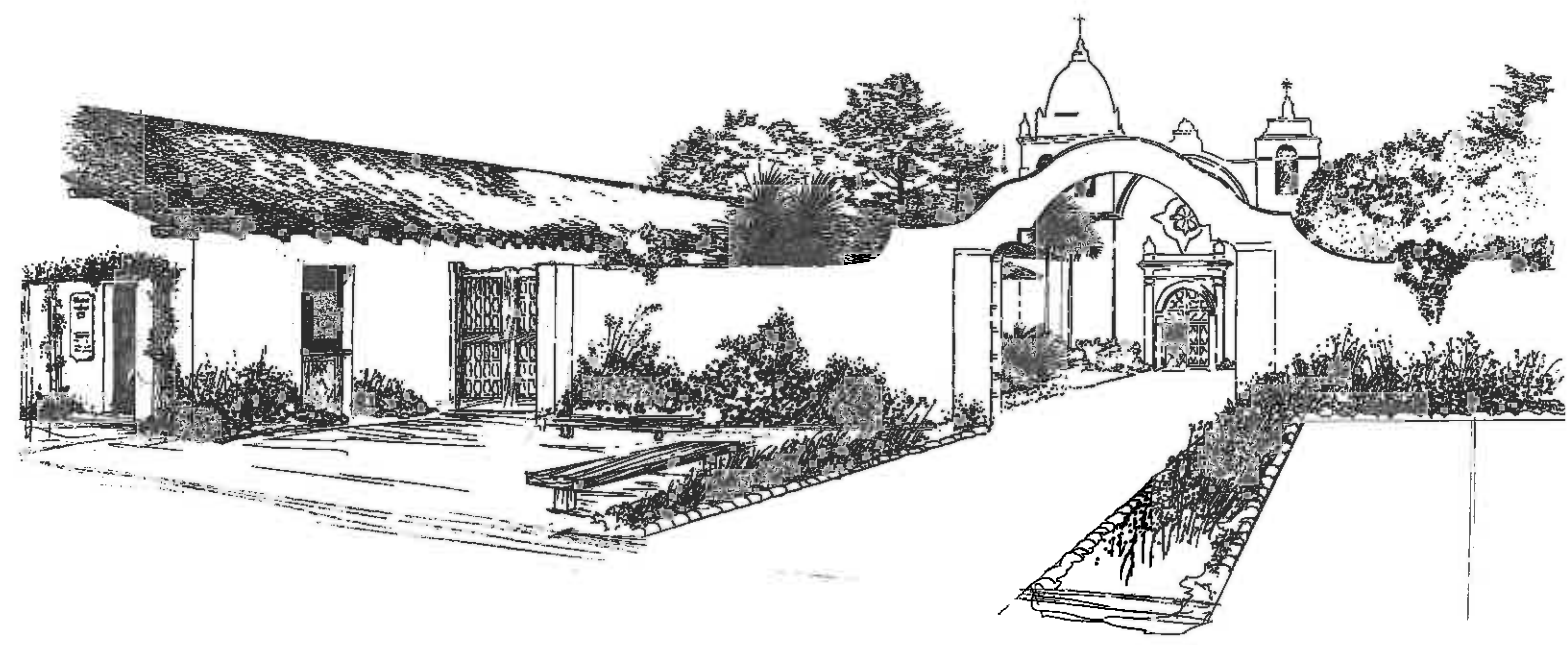
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SCALE: NTS

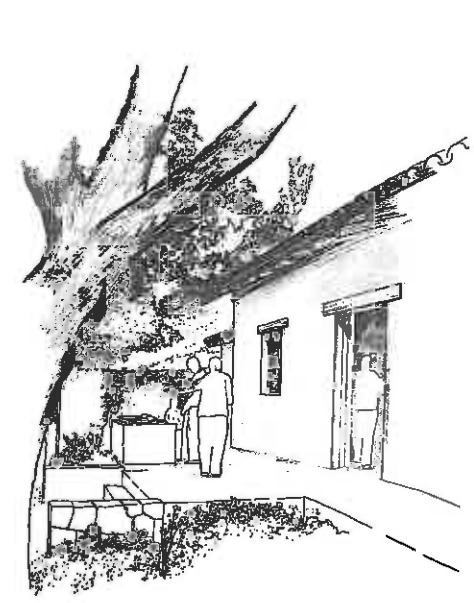
SHEET NO.

A-13

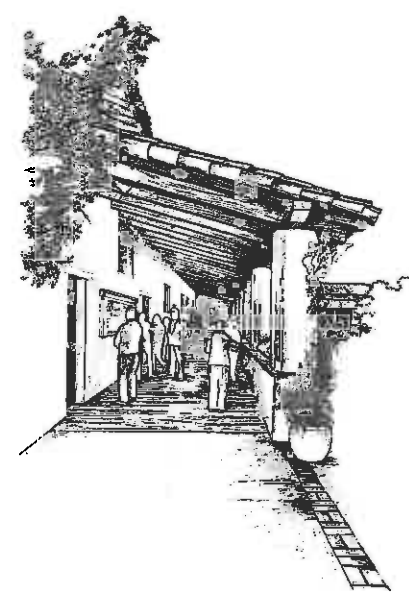
OF 41 SHEETS



NEW ENTRY AND ARRIVAL PATIO / ENTRY ARCH REPLACED



DOWNIE CENTER FROM FORECOURT
SHOWING ENTRY & SITE MODEL



SOUTH CONVENTO LOGGIA WITH
BOARDWALK & INTERPRETIVE DISPLAYS



CARMEL MISSION BASILICA
FORECOURT REMODEL

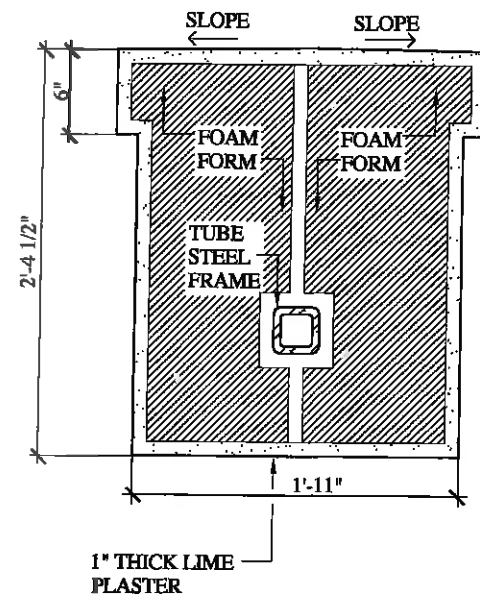
NOTES

-EXISTING ENTRY ARCH WAS CONSTRUCTED OF CONCRETE RESTING ON ADOBE WALLS, CIRCA 1928-1938.

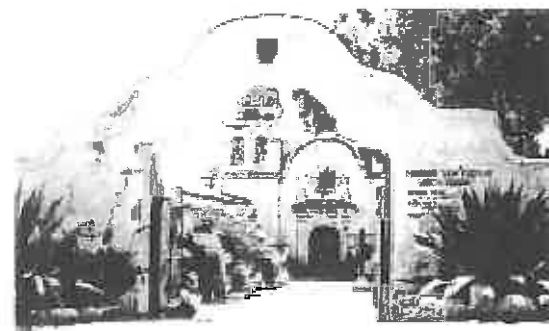
-EXISTING ARCH WAS TILTING APPROX. 6" OUT-OF-PLUMB TOWARDS THE WEST AND POSED A TOPPLING HAZARD IN A SEISMIC EVENT. IT WAS DEMOLISHED IN THE FALL OF 2010.

-PRIOR TO DEMOLITION, THE ARCH PORTION TO BE REMOVED WAS PHOTOGRAPHED AND GRAPHICALLY DOCUMENTED.

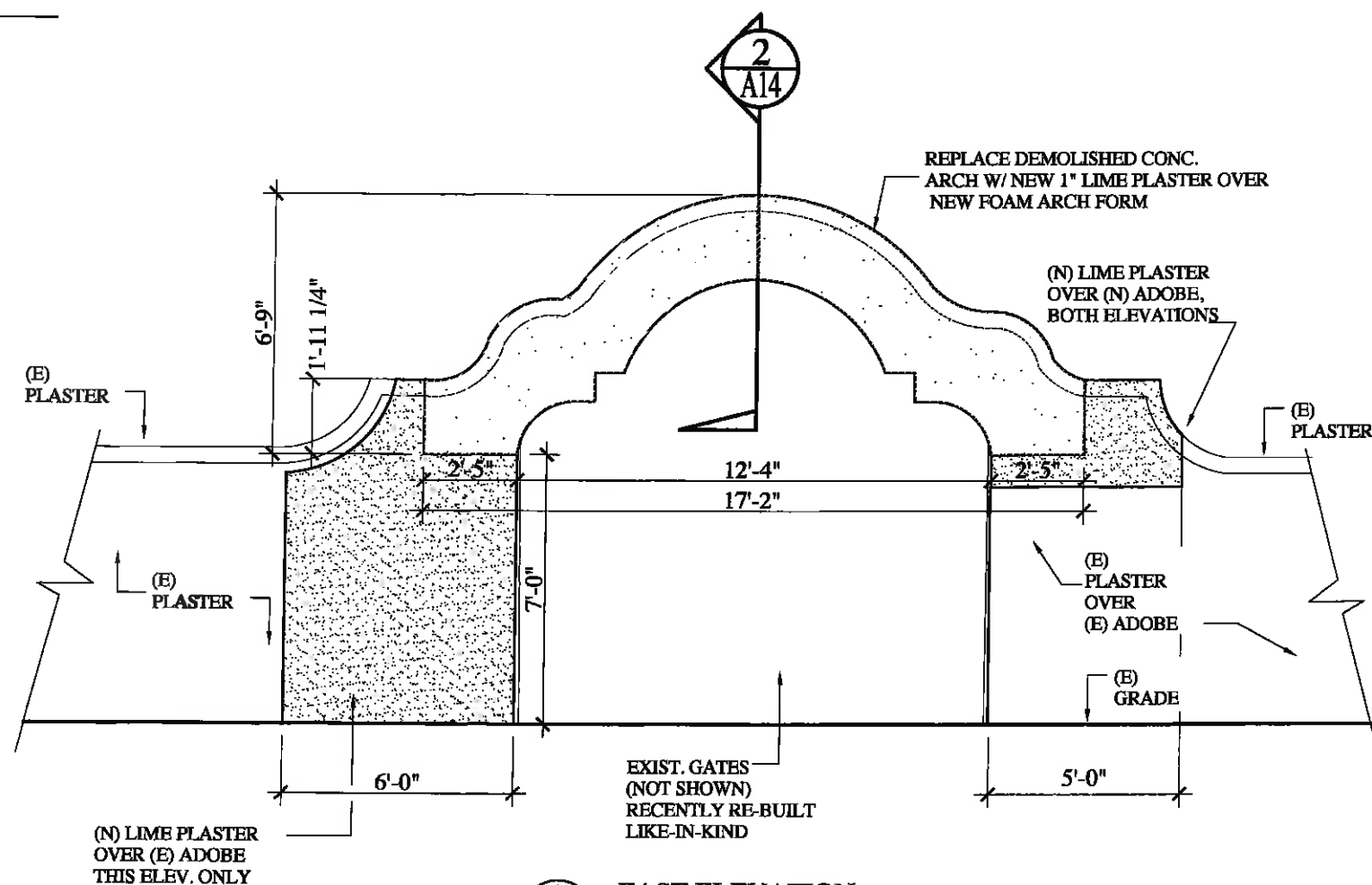
-THE REPLACEMENT ARCH SHALL BE MADE OF LIGHTWEIGHT PLASTER-READY EXTERIOR FOAM, REINFORCED WITH AN INTERNAL TUBE STEEL FRAME, AND THEN COATED WITH LIME PLASTER. OPTION: MAKE ARCH REMOVEABLE FOR FORECOURT ACCESS.



2 ARCH SECTION
2"=1'-0"



3 HISTORIC (UNDATED) PHOTO
FROM THE EAST



1 EAST ELEVATION
1/2"=1'-0"

CARMEL MISSION
 PHASE 2 MASTER PLAN

DOWNIE ORIENTATION CENTER
 EXTERIOR ELEVATIONS

DATE: 3-21-15

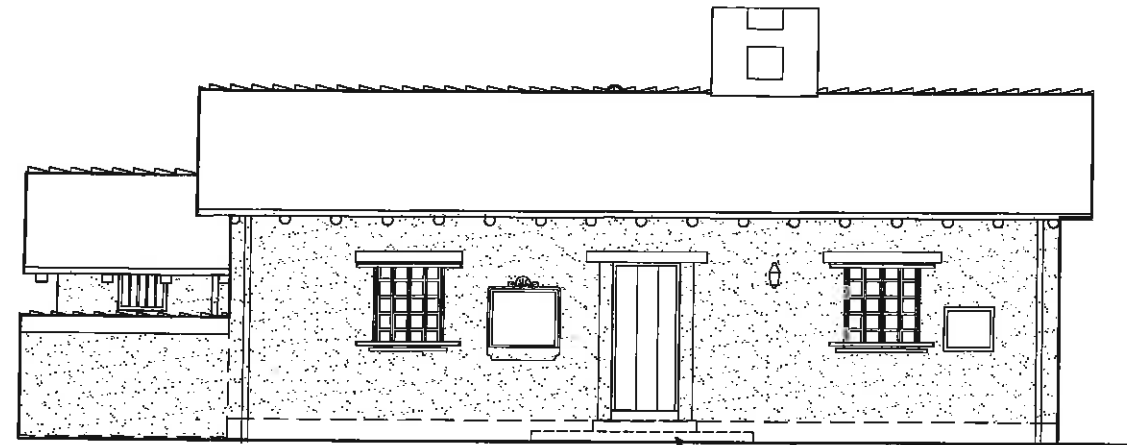
REVISION:

SCALE: 1/4"=1'-0"

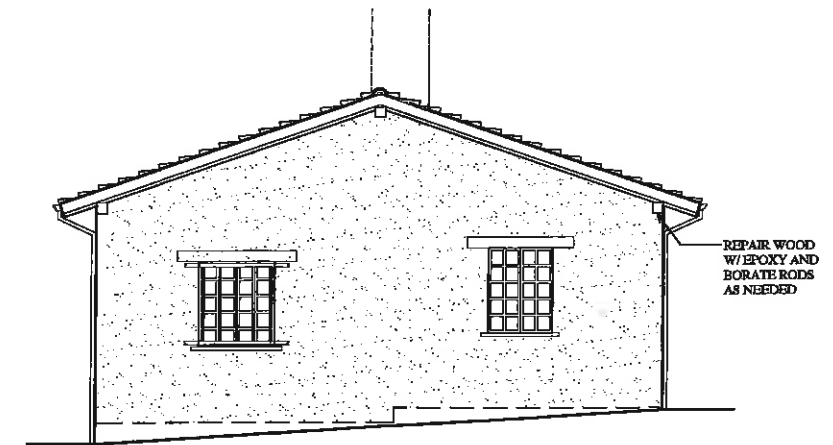
SHEET NO.

A-15

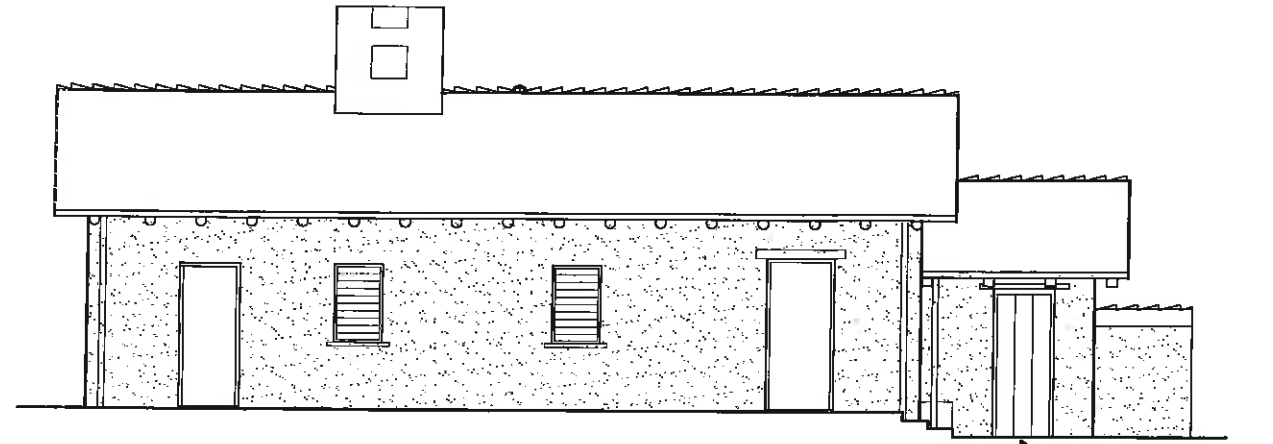
OF 41 SHEETS



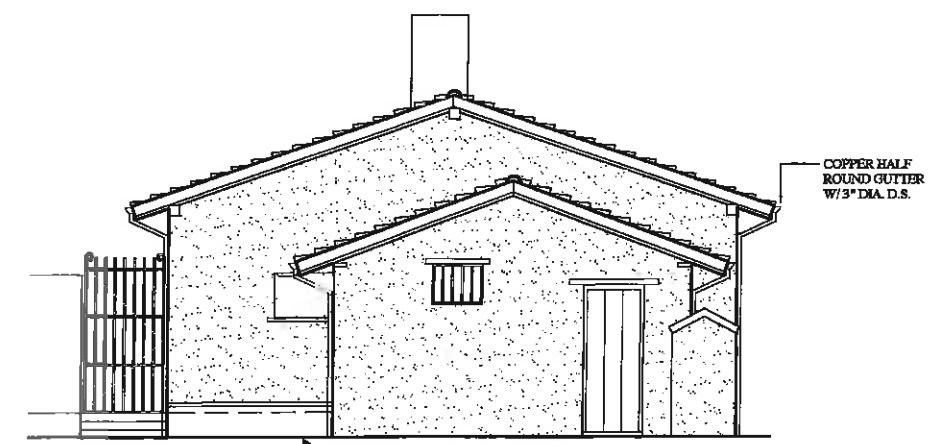
SOUTH ELEVATION



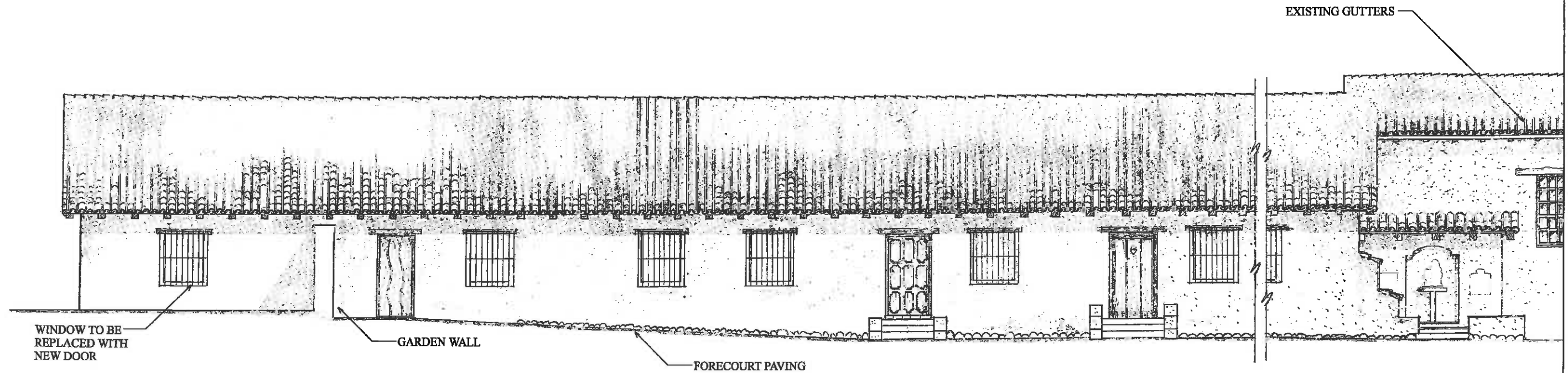
EAST ELEVATION



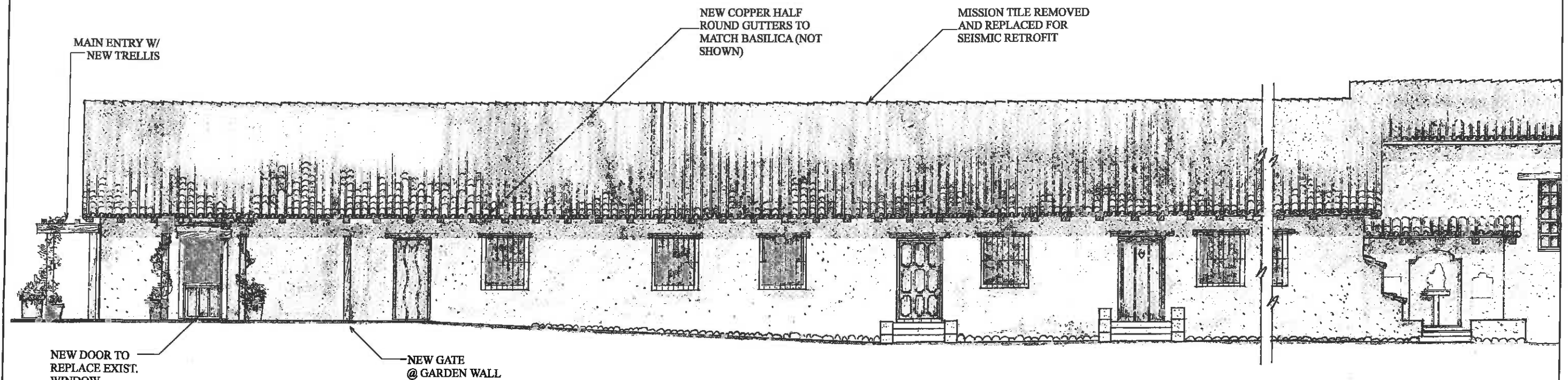
NORTH ELEVATION



WEST ELEVATION



NORTH ELEVATION- EXISTING CONDITIONS



NORTH ELEVATION-PROPOSED



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NORTH CONVENTO
EXTERIOR ELEVATIONS
SHOWING CHANGES

CARMEL MISSION PHASE 2
MASTER PLAN

DATE: 3-21-15

SCALE: 1/4"=1'-0"

REVISION:

SHEET NO.

A-16

OF 41 SHEETS

CARMEL MISSION
 PHASE 2 MASTER PLAN

ENTRY ARCH/ GATE AT PARKING LOT
 EXTERIOR ELEVATIONS- EAST

DATE: 3-21-15

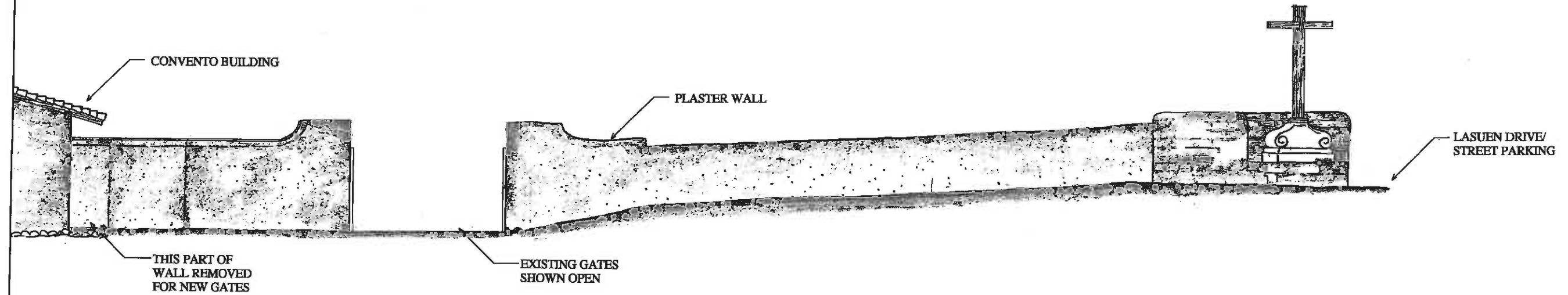
REVISION:

SCALE: 1/4"=1'-0"

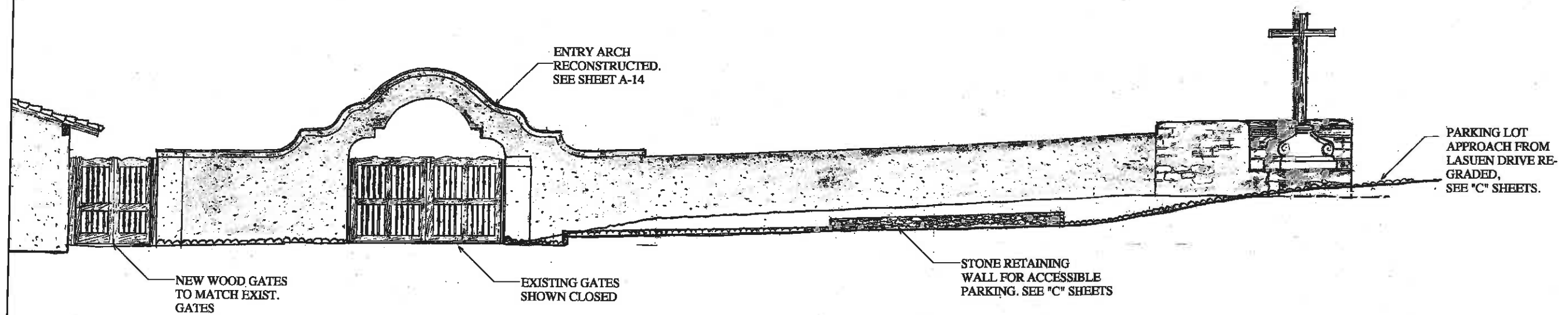
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A-17

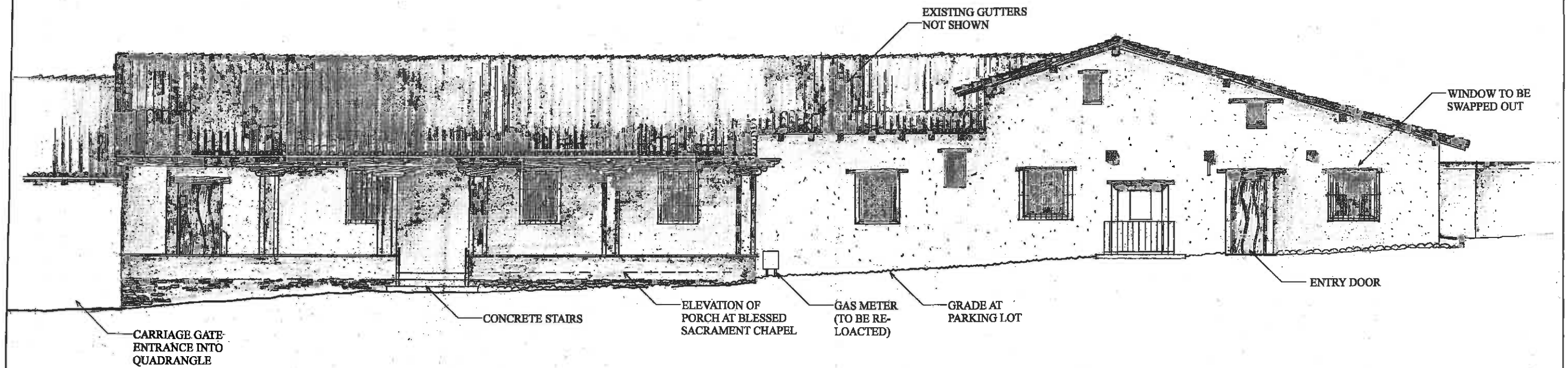
OF 41 SHEETS



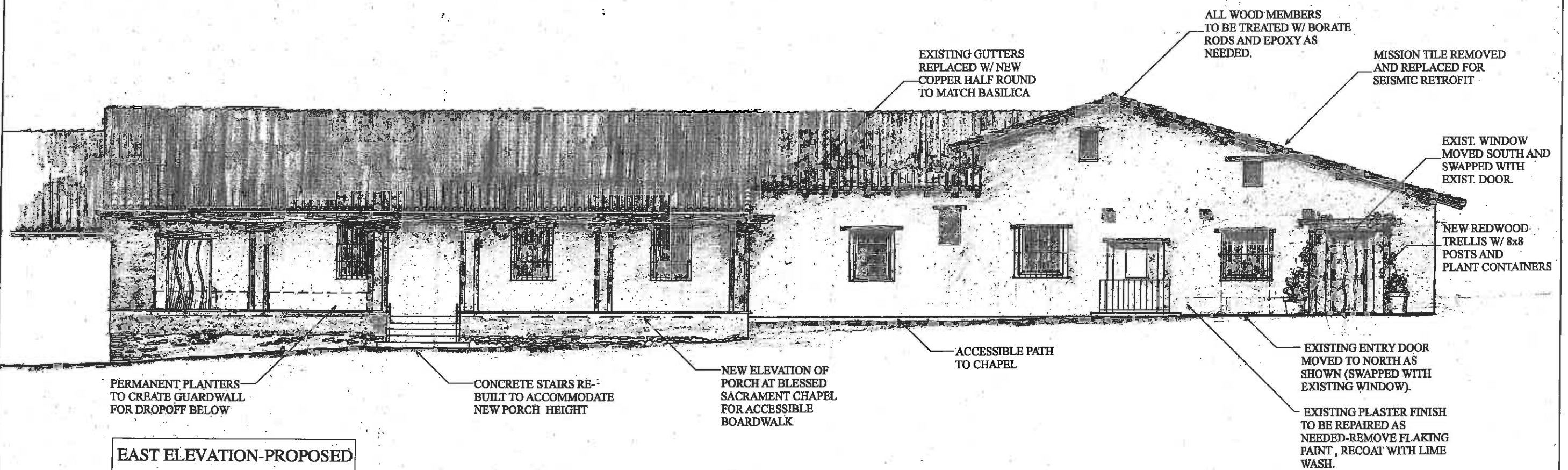
2 1/4"=1'-0" EXISTING ELEVATION



1 1/4"=1'-0" PROPOSED ELEVATION SHOWING CHANGES



EAST ELEVATION- EXISTING CONDITIONS



EAST ELEVATION-PROPOSED



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CONVENTO AND BLESSED SACRAMENT CHAPEL
EXTERIOR ELEVATIONS
SHOWING CHANGES

CARMEL MISSION PHASE 2
MASTER PLAN

DATE: 3-21-15

SCALE: 1/4"=1'-0"

REVISION:

SHEET NO.

A-18

OF 41 SHEETS

CARMEL MISSION
 PHASE 2 MASTER PLAN

CARRIAGE GATE INTO QUADRANGLE
 EXTERIOR ELEVATIONS - SOUTH

DATE: 3-21-15

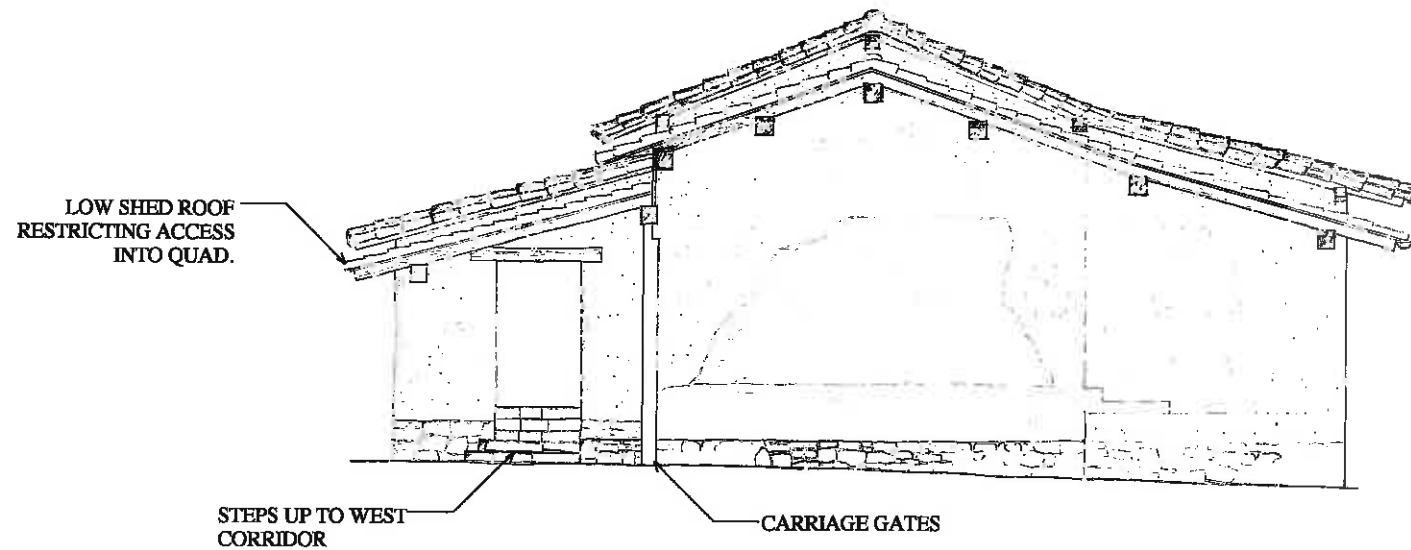
REVISION:

SCALE: 1/4"=1'-0"

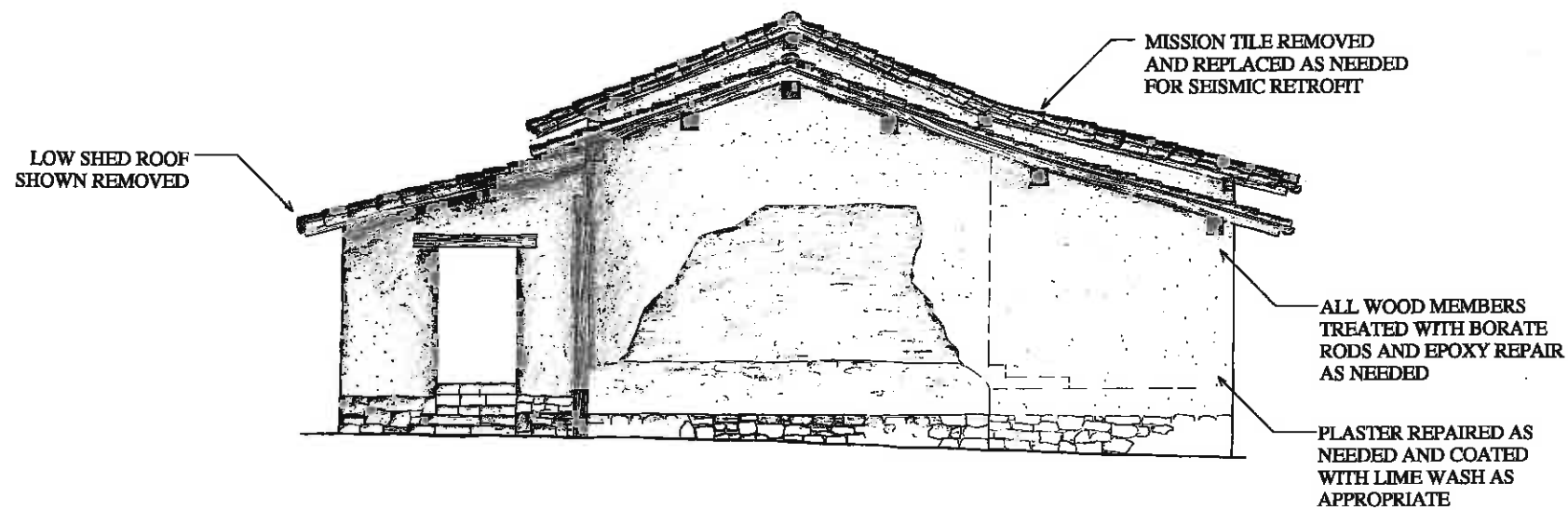
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A-19

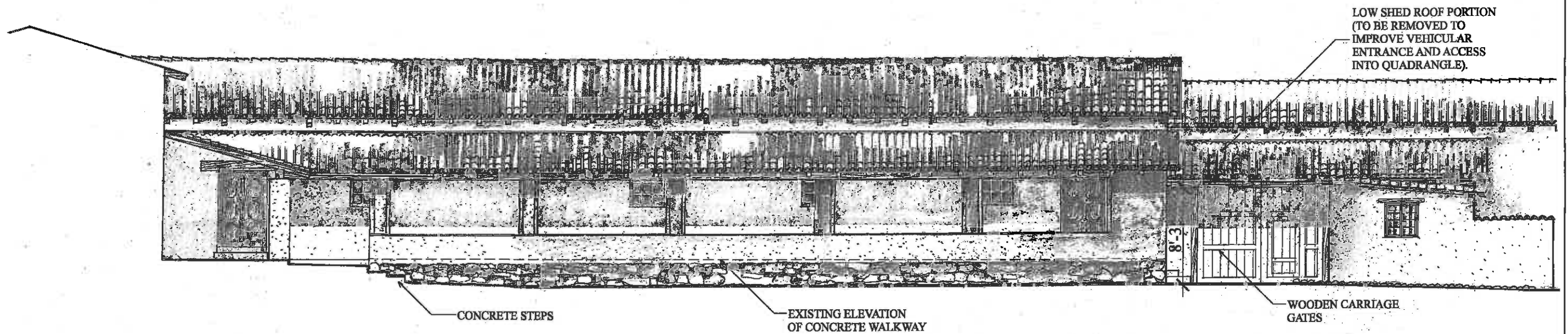
OF 41 SHEETS



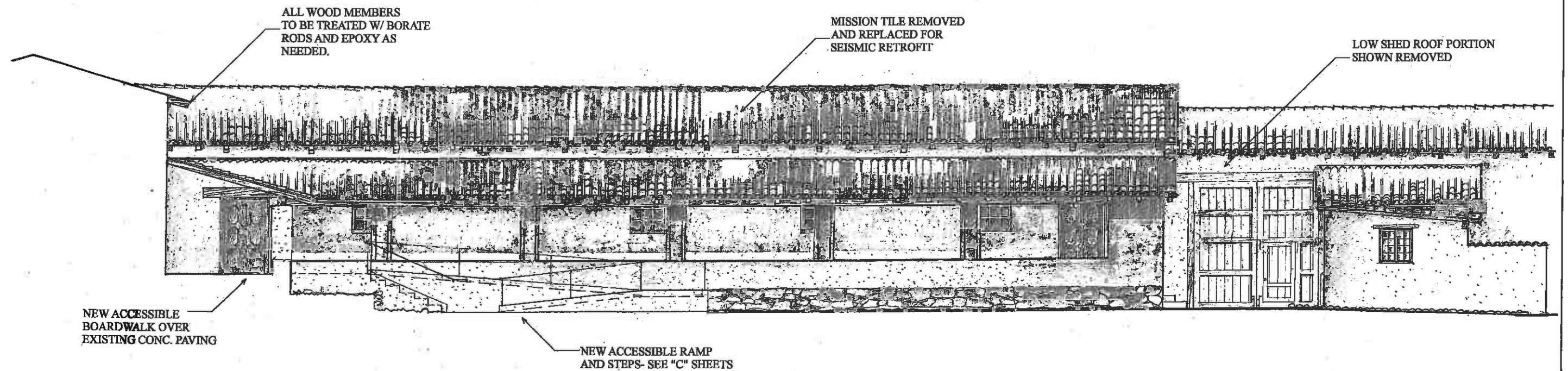
2 1/4"=1'-0" EXISTING ELEVATION



1 1/4"=1'-0" PROPOSED ELEVATION SHOWING CHANGES



WEST ELEVATION- EXISTING CONDITIONS



WEST ELEVATION-PROPOSED



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CARRIAGE GATES AND BLESSED SACRAMENT CHAPEL
WEST EXTERIOR ELEVATIONS
SHOWING CHANGES

CARMEL MISSION PHASE 2
MASTER PLAN

DATE: 3-21-15

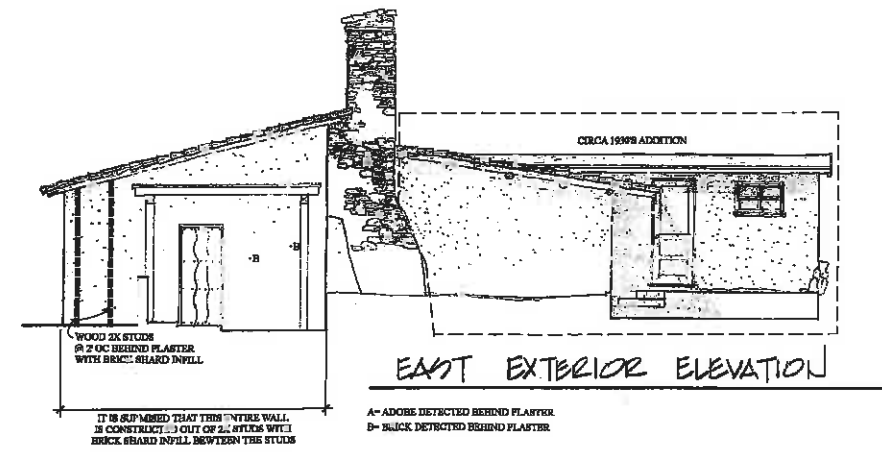
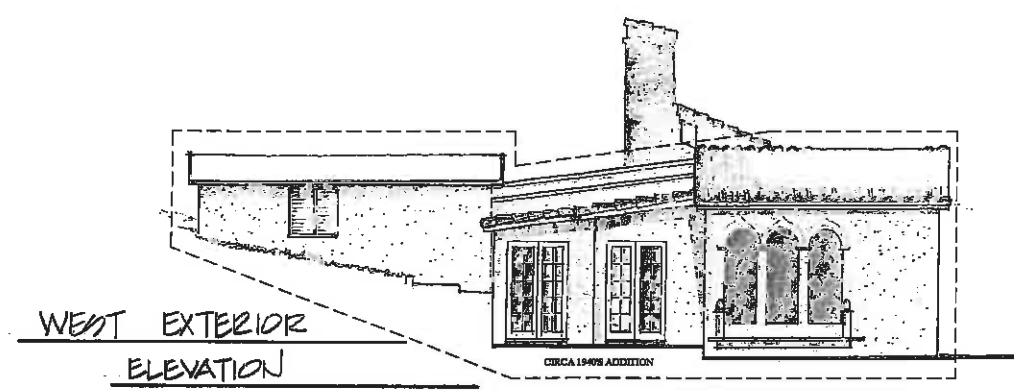
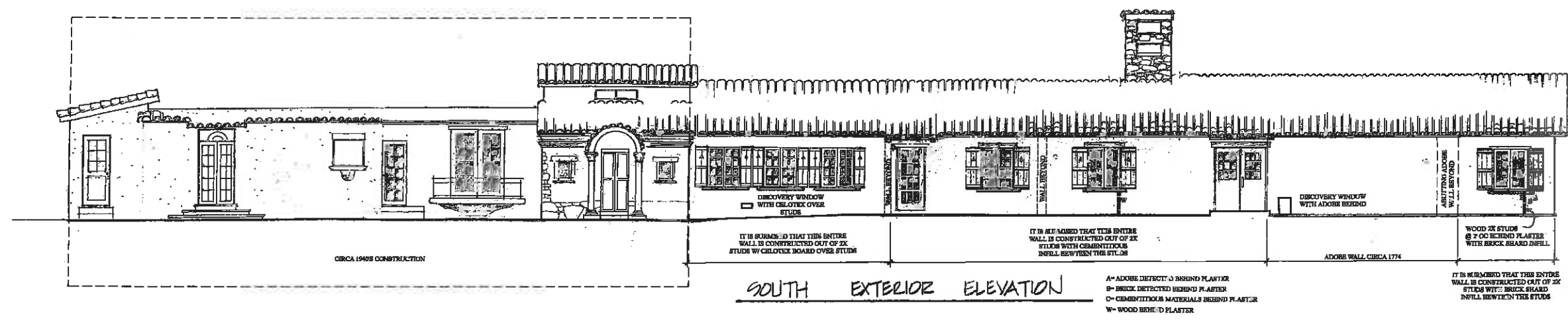
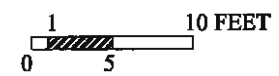
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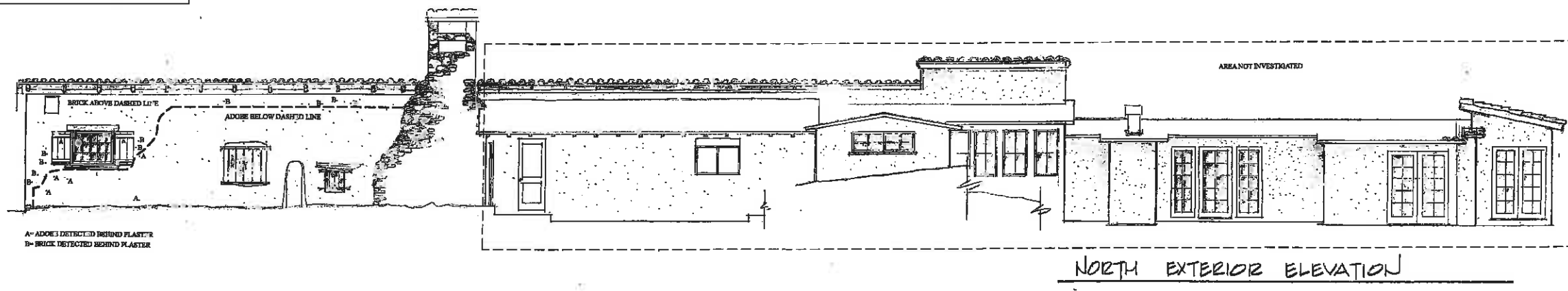
SHEET NO.

A-20

OF 41 SHEETS



PROJECT PRIORITIES:
-STABILIZE AND UPGRADE HISTORICAL PORTIONS.
-UPGRADE DRAINAGE AND INFRASTRUCTURE.
-EITHER REHABILITATE OR RESTORE ORCHARD HOUSE.
-WORK TO INCLUDE NEW ROOFS AND GUTTERS.
-ADDRESS ADJACENT MACHADO HOUSE AS WELL.

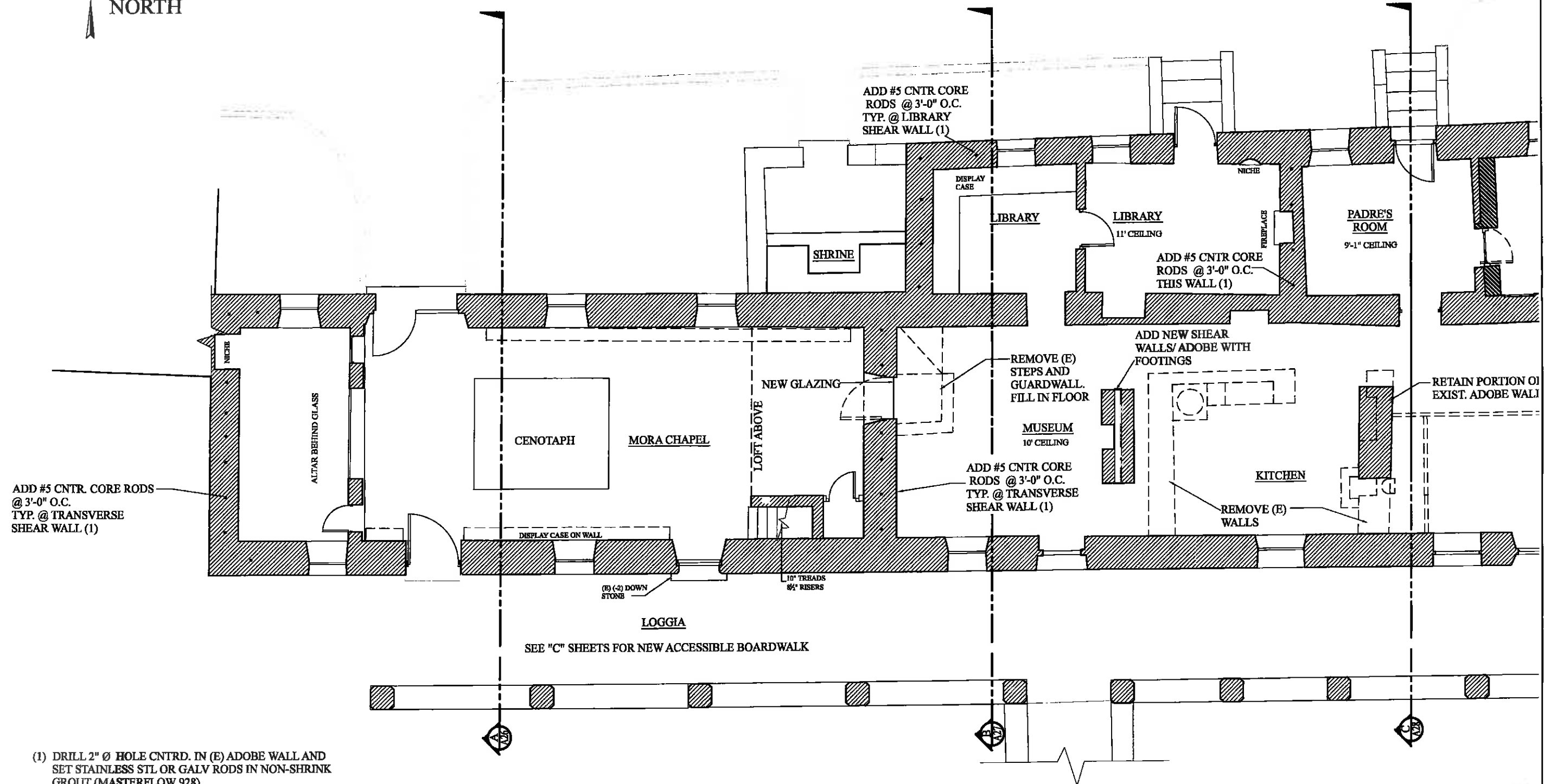


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CARMEL MISSION PHASE 2 MASTER PLAN

ORCHARD HOUSE EXISTING ELEVATIONS SHOWING CONST. TYPE AT HISTORICAL PORTIONS AND TREATMENT

REVISION:	DATE: 3-21-15	SHEET NO. A-21 OF 41 SHEETS
	SCALE: 3/16"=1'-0"	



- (1) DRILL 2" Ø HOLE CNTRD. IN (E) ADOBE WALL AND SET STAINLESS STL OR GALV RODS IN NON-SHRINK GROUT (MASTERFLOW 928)
- UPGRADE ALL LIGHTING & HVAC AS NEEDED.
- INTERIOR SPACES ARE SUBJECT TO CHANGE BASED ON MUSEUM DESIGN AND STRUCTURAL REQUIREMENTS.



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FLOOR PLAN W/ ENGINEERING
WEST CONVENTO WING

CARMEL MISSION PHASE 2
MASTER PLAN

DATE: 3-21-15

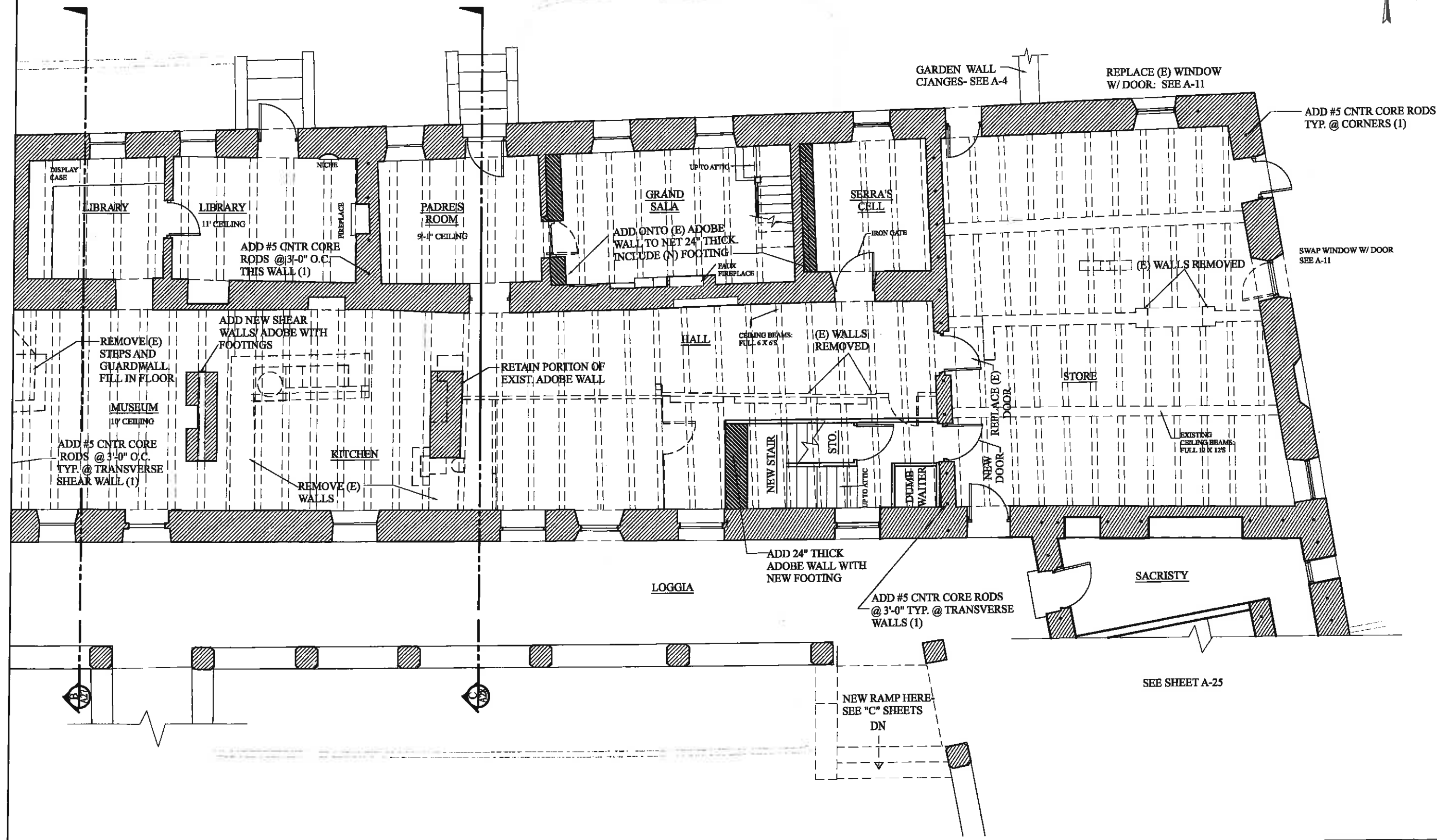
SCALE: 1/4"=1'-0"

REVISION:

SHEET NO.

A-23

OF 41 SHEETS



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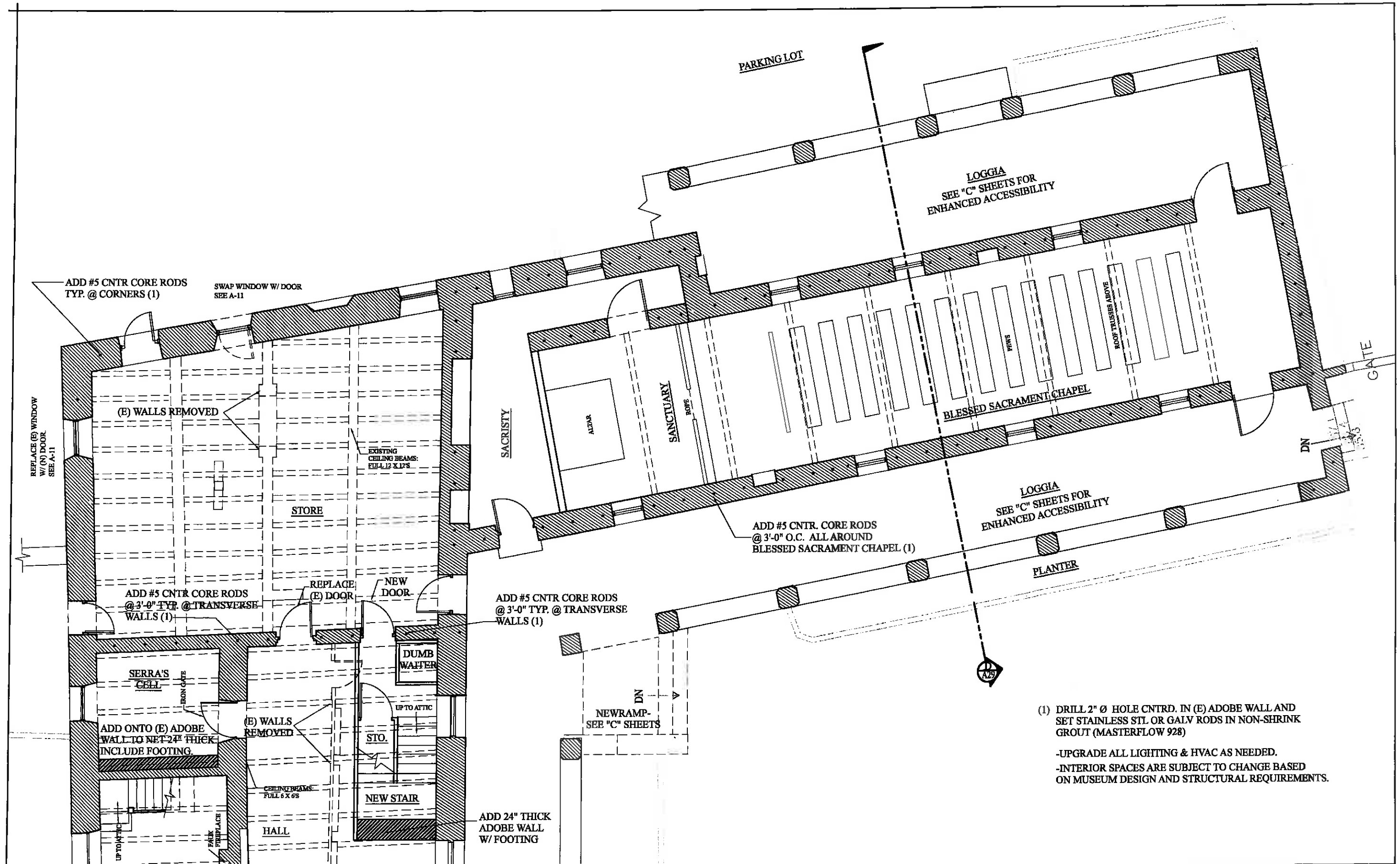
FLOOR PLAN W/ ENGINEERING
EAST CONVENTO WING

CARMEL MISSION PHASE 2
MASTER PLAN

DATE: 3-21-15
SCALE: 1/4"=1'-0"

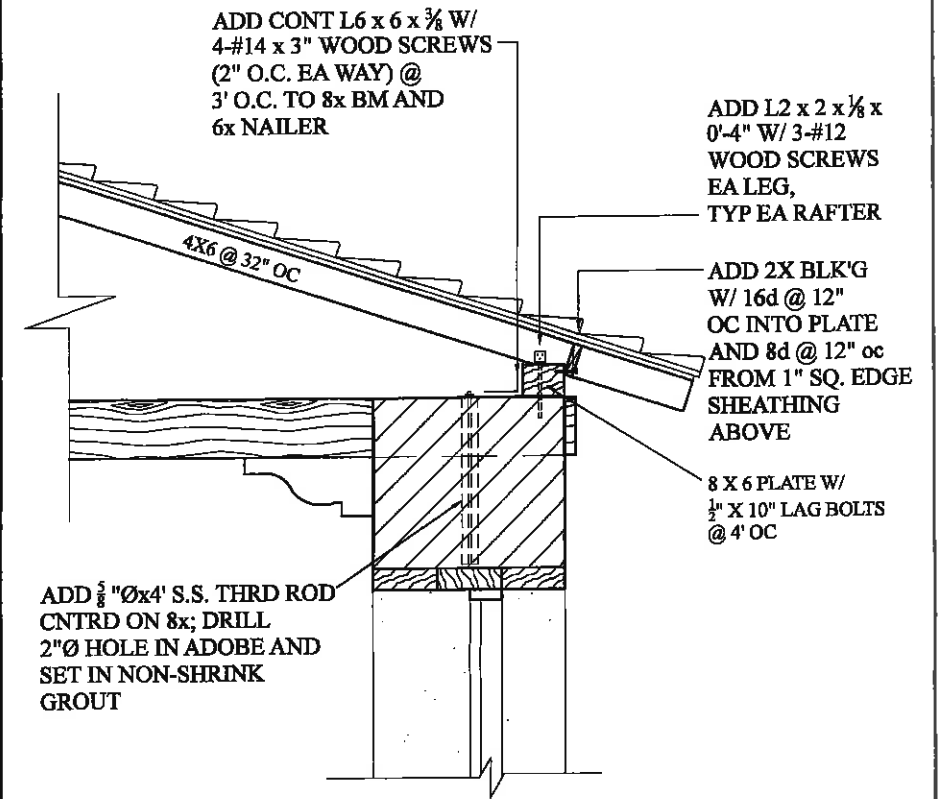
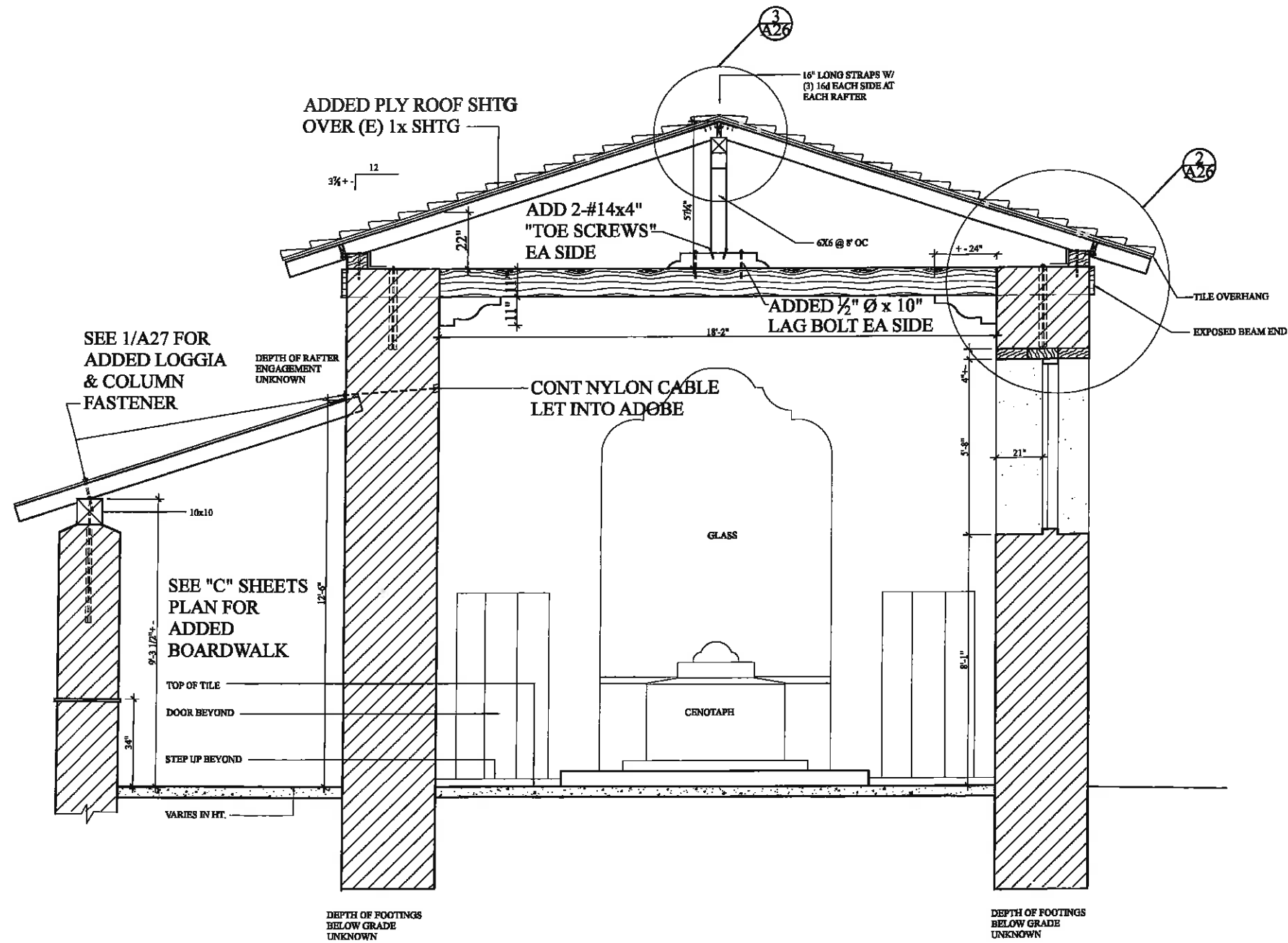
REVISION:

SHEET NO.
A-24
OF 41 SHEETS

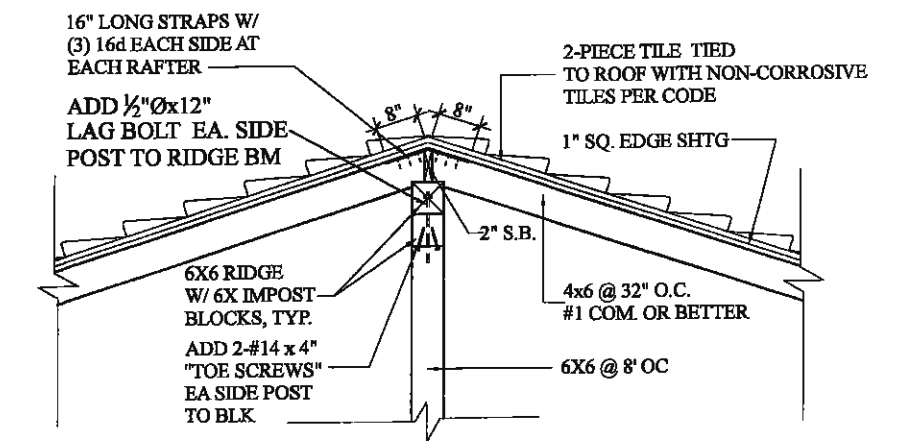


- (1) DRILL 2" Ø HOLE CNTRD. IN (E) ADOBE WALL AND SET STAINLESS STL OR GALV RODS IN NON-SHRINK GROUT (MASTERFLOW 928)
- UPGRADE ALL LIGHTING & HVAC AS NEEDED.
- INTERIOR SPACES ARE SUBJECT TO CHANGE BASED ON MUSEUM DESIGN AND STRUCTURAL REQUIREMENTS.

 <p>P.O. Box 597 Aptos, CA 95001 (831) 662-8800</p>	<p>FLOOR PLAN W/ ENGINEERING BLESSED SACRAMENT CHAPEL</p>	<p>CARMEL MISSION PHASE 2 MASTER PLAN</p>	<p>DATE: 3-21-15</p> <p>SCALE: 1/4"=1'-0"</p>	<p>REVISION:</p>	<p>SHEET NO. A-25 OF 41 SHEETS</p>
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2 3/4"=1'-0" DETAIL AT WALL



3 3/4"=1'-0" DETAIL AT RIDGE

1 1/2"=1'-0" SECTION A THROUGH MORA CHAPEL



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BUILDING SECTION A / DETAILS
MORA CHAPEL

CARMEL MISSION PHASE 2
MASTER PLAN

DATE: 3-21-15

SCALE: VARIES

REVISION:

SHEET NO.

A-26

OF 41 SHEETS

CARMEL MISSION
PHASE 2 MASTER PLAN

BUILDING SECTION B

DATE: 3-21-15

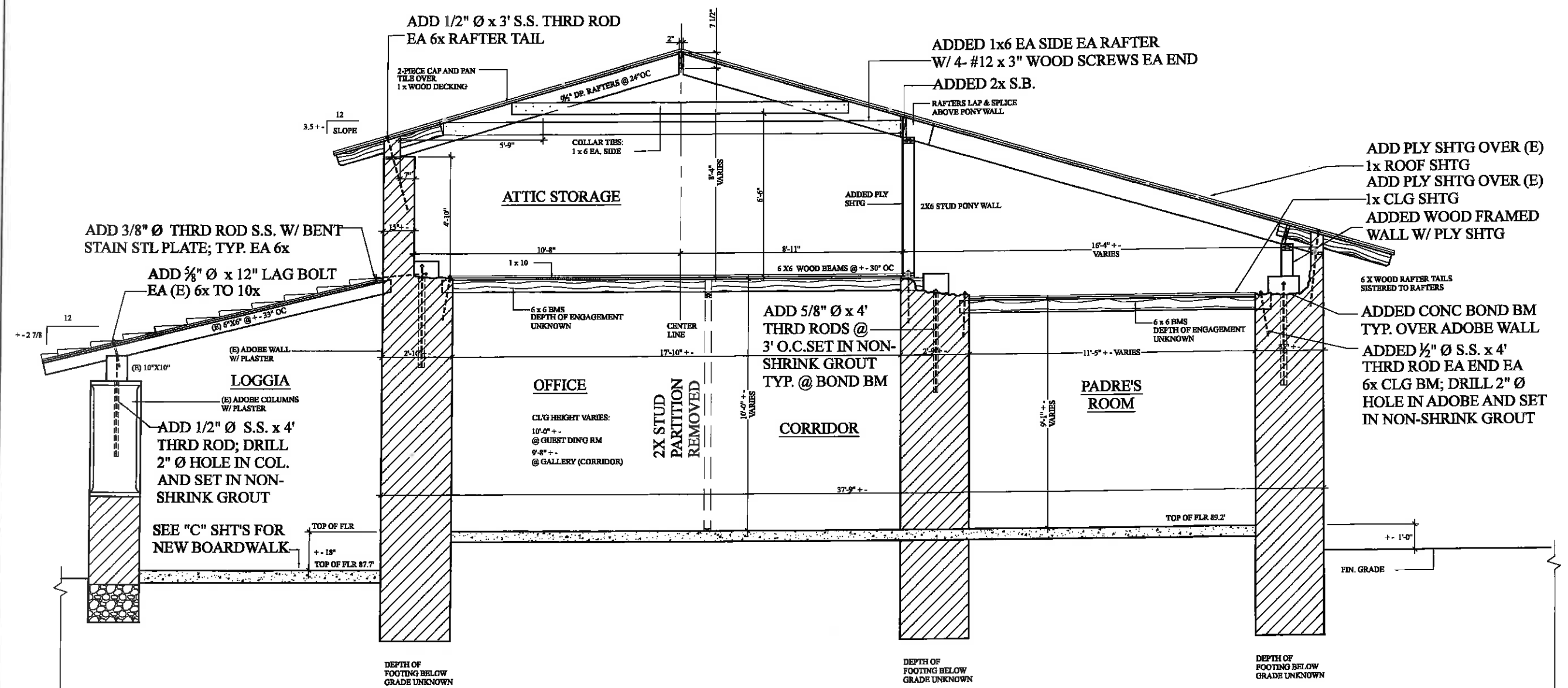
REVISION:

SCALE: 1/2"=1'-0"

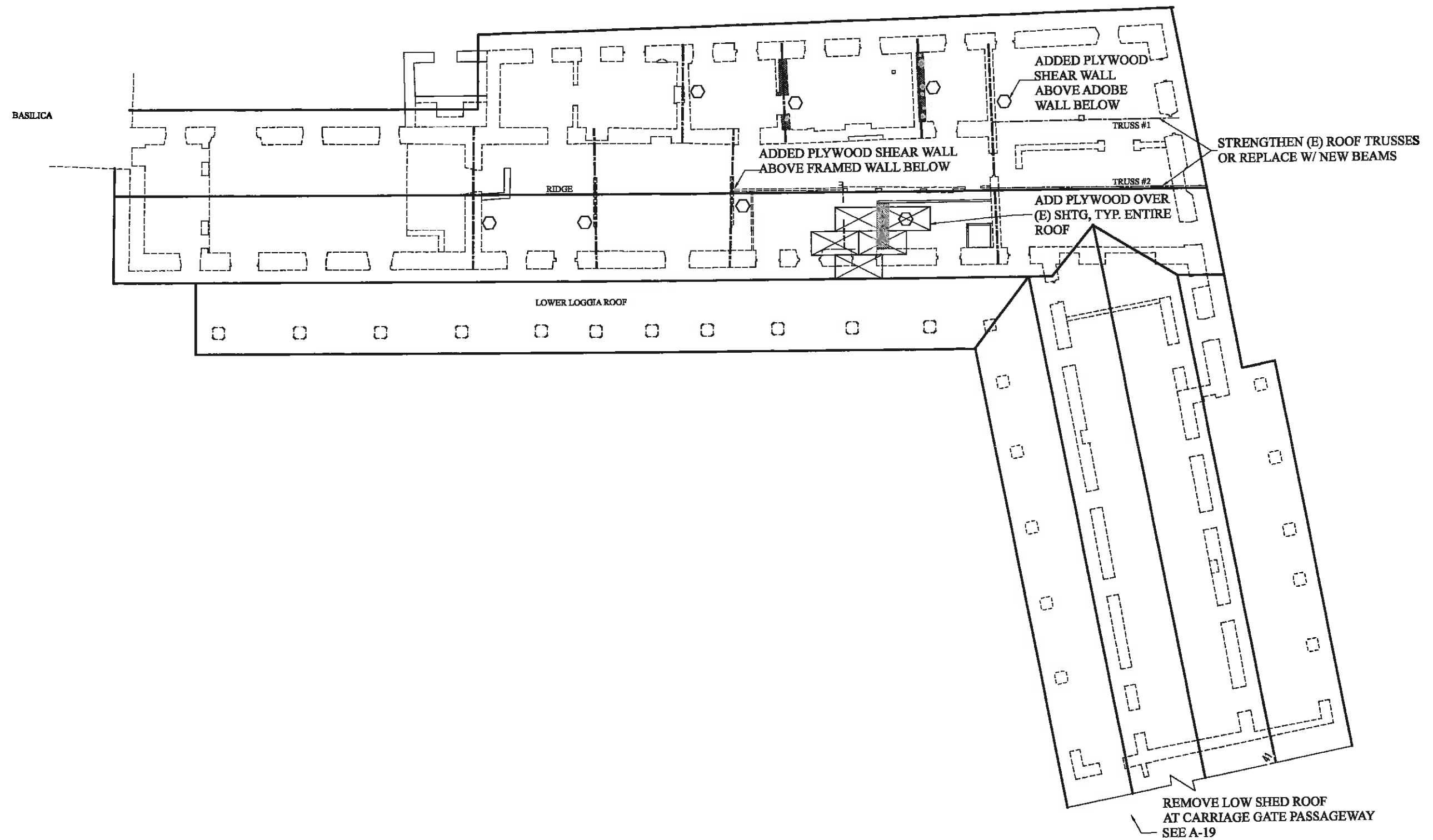
SHEET NO.

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OF 41 SHEETS







P.O. Box 597
Aptos, CA 95001
(831) 662-8800

CONVENTO AND BLESSED SACRAMENT CHAPEL
ROOF PLAN W/ ENGINEERING

CARMEL MISSION PHASE 2
MASTER PLAN

DATE: 3-21-15

SCALE: 1/8"=1'-0"

REVISION:

SHEET NO.

A-30

OF 41 SHEETS

DETAILED SCOPE OF WORK

MAIN PARKING LOT

THE UPPER PART OF THE LOT SHALL BE RE-GRADED TO ALLOW FOR THE INSTALLATION OF (3) ADDITIONAL ACCESSIBLE PARKING SPACES. THE ENTRY FROM LASUEN SHALL ENCROACH INTO THE RIGHT OF WAY TO ASSIST WITH THE SLOPED PORTION. (3) PARKING SPACES SHALL BE ADDED TO THE SOUTHERN PART OF THE LOT. NEAR THE BUILDINGS, NEW ENTRY PATIOS WILL BE ADDED, AS WELL AS A NEW ACCESSIBLE ROUTE TO THE BLESSED SACRAMENT CHAPEL. DRAINAGE WILL BE ACCOMMODATED FOR.

ENTRY ARCH

THE ENTRY ARCH SHALL BE RECONSTRUCTED TO REPLICATE THE FORMER STRUCTURE. THE GRADE AT THE GATES WILL BE SLIGHTLY LOWER THAN WHAT PRESENTLY EXISTS TO ACCOMMODATE THE RE-GRADED PARKING LOT AND THE NEW SLOPED APPROACH INTO THE FORECOURT. NEW LANDSCAPE LIGHTING (GROUND LEVEL) WILL HIGHLIGHT THE ARCH FROM THE EAST SIDE.

FORECOURT

THE BASILICA FORECOURT WILL BE RE-PAVED AND RE-GRADED WITH NEW CONC. AGGREGATE WITH BRICK BANDS TO MATCH EXISTING. ACCESSIBLE PATHS FROM THE GIFT STORE, & PARKING LOT WILL CONNECT THE NEW DOWNIE ORIENTATION CENTER, THE BASILICA, THE RESTROOMS, AND THE MORA CHAPEL. A NEW ENTRY POINT INTO THE GARDEN WALL WILL PERMIT ACCESS TO THE FORECOURT. A NEW DRAIN INLET WILL BE INSTALLED WITH PIPE RUNNING UNDER THE MORA CHAPEL (DAYLIGHTING IN QUADRANGLE). THE GRADES OF THE EXISTING FOUNTAIN AREA WILL FLUSH OUT WITH THE MAIN GRADE OF THE FORECOURT.

DOWNIE ORIENTATION CENTER

THE EXISTING BUILDING WILL BE SEISMICALLY RETROFITTED, THE EXISTING TOILET ROOM WILL REMAIN AND RECEIVE UPGRADED LOW-FLOW PLUMBING FIXTURES AND NEW STALL PARTITIONS. THE MUSEUM WILL BE REMODELLED AS SHOWN WITH NEW LIGHTING AND HVAC AS NEEDED. A NEW SHARED ACCESSIBLE RESTROOM WILL BE INSTALLED IN THE NORTHWEST PORTION OF THE BUILDING. A NEW TACTILE MODEL WILL BE ADDED AT THE EXTERIOR INCORPORATING AN OVERLOOK PATIO AREA. THE EXISTING CORK OAK TREE WILL BE PRESERVED. NEW ACCESSIBLE PATHS FROM THE FORECOURT WILL BE INSTALLED. FIRE SPRINKLERS SHALL BE INSTALLED IF FEASIBLE. THE EXIST. FWER LINE SHALL BE RE-ROUTED & SHOWN.

MORA CHAPEL

THE TILE FLOOR WILL BE REMOVED AND REPLACED OVER A NEW CONC. SLAB WITH VAPOR BARRIER. THE BUILDING WILL BE SEISMICALLY RETROFITTED AND THE MUSEUM SHALL BE REMODELLED AS SHOWN. NEW LIGHTING AND HVAC WILL OCCUR. THE EXISTING WINDER STAIRS UP TO THE CONVENTO SHALL BE ELIMINATED. FIRE SPRINKLERS SHALL BE INSTALLED.

LOGGIA AREA ON QUADRANGLE SIDE

THE LOGGIA FLOOR SHALL RECEIVE A NEW BOARDWALK PLACED OVER THE EXISTING CONCRETE WALKWAY TO FACILITATE AN ACCESSIBLE PATH OF TRAVEL TO THE CONVENTO AND ALL THE WAY TO THE BLESSED SACRAMENT CHAPEL. NEW WAYSIDE MUSEUM DISPLAYS SHALL BE INSTALLED AS SHOWN. NEW LIGHTING SHALL BE INSTALLED.

CONVENTO

THE BUILDING SHALL BE SEISMICALLY RETROFITTED AND REMODELLED AS SHOWN. NEW SUBAR WALLS SHALL BE INSTALLED WITH NEW FOOTINGS REPLACING SOME OF THE EXISTING INTERIOR ADOBE WALLS, THE FOOTPRINTS OF WHICH SHALL BE DEMARKED IN THE FLOOR TILE. NEW FIRE SPRINKLERS, NEW LIGHTING AND NEW HVAC SHALL BE INSTALLED.

GIFT STORE

THE BUILDING SHALL BE SEISMICALLY RETROFITTED AND REMODELLED AS SHOWN. A NEW VERT. CONVEYANCE UP TO ATTIC WITH NEW STAIR TO BE PROVIDED FOR. THE INTERIOR LAYOUT OF THE STORE IS TO BE DETERMINED. THE EXISTING WINDOW ON THE NORTH SHALL BE REPLACED WITH A NEW DOOR WHICH CAN ALSO SERVE AS A TICKETING PORTAL. NEW LIGHTING, HVAC AND FIRE SPRINKLERS SHALL BE ADDED. THE EXIST. EAST WINDOW AND DOOR SHALL BE SWAPPED.

BLESSED SACRAMENT CHAPEL

THE BUILDING SHALL BE SEISMICALLY RETROFITTED AND REMODELLED AS SHOWN. NEW LIGHTING, HVAC AND FIRE SPRINKLERS SHALL BE INSTALLED. TWO NEW ACCESSIBLE PATHS WILL CONNECT THE CHAPEL TO THE MAIN PARKING LOT AND THE LOGIA ON THE QUADRANGLE SIDE.

QUADRANGLE

THE EXISTING CONC. AND BRICK SHALL BE REMOVED AND REPLICATED WITH NEW MATERIALS. A NEW ACCESSIBLE PATH SHALL CONNECT THE QUAD. TO THE LOGIA NEAR THE SOUTH ENTRY TO THE MORA CHAPEL. NEW LIGHTING AND LANDSCAPE LOW-FLOW IRRIGATION SHALL BE INSTALLED.

BASILICA SOUTH ADDITION

THE EXISTING CASES FOR THE STOES SHALL BE UPGRADED WITH NEW DE-HUMIDIFICATION SYSTEMS. NEW LIGHTING AND FIRE SPRINKLERS SHALL BE INSTALLED.

CRESPY HALL

THE BUILDING SHALL BE TREATED FOR TERMITE DAMAGE. NEW HVAC AND LIGHTING SHALL BE INSTALLED. THE BUILDING SHALL BE SEISMICALLY RETROFITTED.

MUNRAS MUSEUM

THE BUILDING SHALL BE SEISMICALLY RETROFITTED IF NEEDED (TRD). A NEW BACK UP GENERATOR SHALL BE INSTALLED. ENTRY FROM THE MUNRAS COURTYARD SHALL BE ENHANCED. OTHERWISE, THIS BUILDING WILL REMAIN AS-IS.

JUNIPERO SERRA SCHOOL

NEW FIRE SPRINKLERS SHALL BE INSTALLED. WINDOWS AND DOORS SHALL BE RENNOVATED/ REPLACED AS NEEDED. NEW PAINT.

RECTORY

NEW FIRE SPRINKLERS SHALL BE INSTALLED. THE BUILDING SHALL BE SEISMICALLY RETROFITTED. NEW HVAC AND LIGHTING SHALL BE INSTALLED AS NEEDED.

ORCHARD HOUSE PROPERTY

THE BUILDINGS SHALL BE PRESERVED AS REQUIRED. ELEMENTS NOT APPROPRIATE TO THE OVERALL CHARACTER OR WITHIN THE PERIOD OF SIGNIFICANCE MAY BE REMOVED UNDER THE DIRECTION OF THE PRESERVATION ARCHITECT. NEW DRAINAGE IMPROVEMENTS AND SITE ENHANCEMENTS FOR SAFETY SHALL BE UNDERTAKEN (CREATING WALKABLE, EVEN PATIOS/ PATHWAYS). ROOFS SHALL BE REPLACED AS NEEDED AND OVERALL REPAIRS MADE TO ENHANCE BUILDING LONGEVITY. NEW ELEC., PLUMB., AND HVAC TO BE INSTALLED AS LIFE SAFETY DICTATES.

NEW RESTROOM FACILITY AT QUADRANGLE

A NEW RESTROOM FACILITY, SIMILAR TO THE ONE AT THE MUNRAS COURTYARD SHALL BE INSTALLED. AN ACCESSIBLE PATH SHALL CONNECT THE RESTROOM TO THE QUADRANGLE.

GENERAL NOTES

GENERAL

- 1) THE WORK SHALL CONFORM TO THE 2013 CALIFORNIA STATE HISTORICAL BUILDING CODE (CHBC), THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND THE REQUIREMENTS OF THE CITY OF CARMEL BY THE SEA, CALIFORNIA, UNLESS NOTED OTHERWISE ON THESE DRAWINGS.
- 2) THE WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- 3) THE WORK SHOWN ON THESE DRAWINGS IS FOR SEISMIC STRENGTHENING OF A HISTORICAL BUILDING WITH WALLS OF ADOBE MASONRY AND ROOF OF WOOD-FRAME CONSTRUCTION.
- 4) VERIFY THE EXISTING CONDITIONS AND DIMENSIONS BEFORE BEGINNING THE WORK, AND IN THE COURSE OF THE WORK NOTIFY THE ARCHITECT OF A DISCOVERED DISCREPANCY. DO NOT PROCEED WITH WORK INVOLVING A DISCREPANCY ON THE DRAWINGS WITHOUT CLARIFICATION FROM THE ARCHITECT.
- 5) ALTERNATIVE PRODUCTS TO THOSE SPECIFIED ON THESE DRAWINGS MAY BE PROPOSED. SUBMIT TO THE ARCHITECT A WRITTEN REQUEST ALONG WITH THE ICBO RESEARCH REPORT OR OTHER TECHNICAL DATA INDICATING EQUIVALENCE TO THE PRODUCT SPECIFIED. DO NOT PROCEED WITH THE USE OF AN ALTERNATIVE PRODUCT WITHOUT THE WRITTEN ACCEPTANCE OF THE ARCHITECT AND APPROVAL BY THE BUILDING DEPARTMENT.
- 6) SUBMIT TO THE ARCHITECT CERTIFICATES FROM THE MATERIAL SUPPLIERS INDICATING COMPLIANCE WITH THE MATERIALS QUALITY REQUIREMENTS INDICATED IN THESE GENERAL NOTES. DO NOT PROCEED WITH INSTALLATION OF MATERIALS UNTIL THE CERTIFICATION HAS BEEN ACCEPTED AND ACKNOWLEDGED IN WRITING BY THE ARCHITECT.
- 7) COORDINATE WITH THE ARCHITECT FOR STRUCTURAL OBSERVATION VISITS BY THE ENGINEER AT THE FOLLOWING TIMES:

- WHEN ROOF AND ROOF SHEATHING HAS BEEN REMOVED AS REQUIRED FOR CONSTRUCTION ACCESS.
- AT THE COMMENCEMENT OF DRILLING FOR AND INSTALLATION OF VERTICAL NATURAL LIME-GROUTED TOP-OF-WALL ANCHORS TO OBSERVE LAYOUT, DRILLING, AND INSTALLATION OF FIRST ANCHORS.
- AT COMPLETION OF ROOF AND CEILING FRAMING ENHANCEMENT, TOP-OF-WALL ANCHORS INSTALLED, BEFORE INSTALLATION OF (N) PLYWOOD ROOF SHEATHING
- AT COMMENCEMENT OF ANY CRACK REPAIR.

8) CONT. IS TO PROVIDE A MEANS FOR "COVERING UP" THE PROJECT OVERNIGHT OR IN THE EVENT OF INCLEMENT WEATHER APPROACHING IN ORDER TO PROTECT THE EXISTING BUILDING FROM WATER DAMAGE.

FOUNDATION AND EXCAVATION

- 1) THERE IS FOUNDATION WORK IN THIS PROJECT.
- 2) DO NOT PROCEED WITH EXCAVATION OF ANY KIND WITHOUT NOTIFYING THE ARCHITECT. EXCAVATIONS DONE FOR ANY REASON SHALL BE OBSERVED BY THE PROJECT ARCHEOLOGIST. NOTIFY THE ARCHEOLOGIST OF EXCAVATION SCHEDULE AND CONFIRM THE SCHEDULE WITH THE ARCHEOLOGIST 24 HOURS BEFORE BEGINNING AN EXCAVATION. DO NOT PROCEED WITH AN EXCAVATION WITHOUT OBSERVATION BY THE ARCHEOLOGIST.

PERMIT CONDITIONS

- 1) THE BUILDING SHALL NOT BE TEMPORARILY OCCUPIED UNDER THE FOLLOWING CONDITIONS:

- THE BUILDING STRENGTH HAS BEEN SUBSTANTIALLY WEAKENED.
- REQUIRED EXITS ARE OBSTRUCTED.

- REQUIRED FIRE SAFETY DEVICES ARE NOT OPERATIONAL.

- 2) THE STAMPED SET OF DRAWINGS SHALL BE KEPT ON THE SITE AND SHALL BE AVAILABLE TO AUTHORIZED REPRESENTATIVES OF THE BUILDING DEPARTMENT AND TO THE ENGINEER AND ARCHITECT. THERE SHALL BE NO DEVIATION FROM THE APPROVED DRAWINGS WITHOUT APPROVAL IN WRITING FROM THE ARCHITECT AND THE BUILDING DEPARTMENT.

- 3) SECURE A SEPARATE PERMIT AS NEEDED FOR STRUCT. WORK NOT SHOWN ON THESE DRAWINGS AND FOR ELEC., PLUMB., AND / OR MECH. VENTILATION WORK.

- 4) FIND OUT THE SCHEDULE OF REQUIRED BUILDING DEPARTMENT INSPECTIONS BEFORE BEGINNING THE WORK.

JOBSITE SAFETY

- 1) CONSTRUCTION SAFETY MEASURES SHALL COMPLY WITH APPLICABLE REGULATIONS INCLUDING STATE OF CALIFORNIA AND OSHA REQUIREMENTS. THE CONTRACTOR SHALL ASSUME FULL AND SOLE RESPONSIBILITY FOR JOBSITE SAFETY, INCLUDING MEANS, METHODS, SEQUENCE OF OPERATIONS, PROCEDURES, TECHNIQUES, SAFETY EQUIPMENT AND CLOTHING, WORKER TRAINING, PROJECT-SPECIFIC SAFETY PLAN, AND EMERGENCY PROCEDURES.

LUMBER AND PLYWOOD:

- 1) PRESERVATIVE TREATMENT:
 - PLYWOOD SHALL BE TREATED ON ALL SURFACES WITH BORA-CARE PRESERVATIVE INSECTICIDE AS MANUFACTURED BY NISUS CORPORATION (WWW.NISUSCORP.COM). APPLY IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS, OR PRE-TREAT LUMBER.
 - SAWN LUMBER SHALL BE TREATED WITH WATER-BORNE PRESERVATIVE IN COMPLIANCE WITH AWPA STANDARD C2.
 - FIELD APPLY BORA-CARE TO TREATED LUMBER FIELD CUTS IN COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - AT ALL AREAS WHERE NEW PRESSURE TREATED WOOD BEARS ON CONCRETE OR STONE, WRAP WITH 60-MIL. MINIMUM THICKNESS BITUTHANE SUCH AS JIFFY SEAL ^{1/8"} BY PROTECTO-WRAP (WWW.PROTECTOWRAP.COM) TO ISOLATE THESE ELEMENTS PRIOR TO INSTALLATION AT BEARING POINT. APPLY TO WOOD SURFACES IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALSO APPLY TO ALL WOOD ELEMENTS IN CONTACT W/ NEW CONCRETE TO PROTECT THEM.
 - NOTE THAT THIS PROTECTION IS NOT NECESSARY WHERE STAINLESS STEEL HANGERS OR CONNECTORS ARE USED.
- 2) ISOLATION OF PRESSURE TREATED WOOD TO GALVANIZED IRON HANGERS:
 - RECENT CHANGES IN PRESSURE TREATING WOOD HAVE RESULTED IN A HIGHER COPPER CONTENT IN THE PRESERVATIVE. TO PREVENT ELECTROLYSIS BETWEEN PRESSURE TREATED MEMBERS AND GALVANIZED STEEL HANGERS AND CONNECTORS, WRAP THE ENDS OF ALL PRESSURE TREATED MEMBERS WITH 60-MIL. MINIMUM THICKNESS BITUTHANE. APPLY TO WOOD SURFACES IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - NOTE THAT THIS PROTECTION IS NOT NECESSARY WHERE STAINLESS STEEL HANGERS OR CONNECTORS ARE USED.
- 3) REPAIR OF TERMITES/DRYROT DAMAGE:

- THE DESIGN INTENT IS TO REPAIR DAMAGED WOOD MEMBERS IN LIEU OF REPLACEMENT WHERE POSSIBLE. COMB REPAIRS TO EXPOSED WOOD MEMBERS TO MATCH EXISTING TEXTURE AT FILLS.
- REPLACEMENT OF DAMAGED WOOD ELEMENTS DESIGNATED BY THE ARCHITECT OR ENGINEER SHALL BE "IN KIND" TO MATCH SPECIES, DIMENSIONS AND TEXTURE.
- REFER TO ARCHITECT FOR SPEC'S FOR EPOXY REPAIR OF DECORATIVE WOOD ELEMENTS.

MASONRY REPAIR

- 1) SELECTION OF ADOBE FOR POSSIBLE MASONRY REPAIR:

- ADOBE BRICKS THAT ARE COMPLETELY FRACTURED AND EITHER COME APART OR BECOME LOOSE WHEN PREPARING THE SURFACE SHOULD BE RESET OR REPLACED WITH SIMILAR BRICKS. SOME SHAPING MAY BE NECESSARY.

EXISTING CONSTRUCTION

- 1) CUTS INTO EXISTING ADOBE MASONRY SHALL BE MADE WITH ROTARY POWER TOOLS AND HAND-HELD SCRAPING AND CHIPPING TOOLS; IMPACT TOOLS SHALL NOT BE USED.

- 2) MOST DRAWINGS SHOW THE COMPLETED CONSTRUCTION. PROVIDE SHORING AND TEMPORARY SUPPORTS AS NEEDED TO DO THE WORK SAFELY WITHOUT DAMAGE TO THE EXISTING CONSTRUCTION.

- 3) REPAIR FINISHES DAMAGED BY THE WORK. INCLUDING FINISHES DAMAGED TO MAKE ACCESS FOR THE WORK SHOWN ON THE DRAWINGS. MATCH THE ADJACENT EXISTING FINISH. REPORT DAMAGE TO FINISHES TO THE ARCHITECT WITH A REQUEST FOR INSTRUCTIONS BEFORE PROCEEDING WITH REPAIRS.

- 4) REPAIR DAMAGE TO NON-STRUCTURAL SYSTEMS (MECHANICAL, ELECTRICAL, PLUMBING, ETC) RESULTING FROM THE WORK. REPORT DAMAGE TO NON-STRUCTURAL BUILDING SYSTEMS TO THE ARCHITECT WITH A REQUEST FOR INSTRUCTIONS BEFORE PROCEEDING WITH REPAIRS.

- 5) REPAIR STRUCTURAL DAMAGE CAUSED BY THE WORK. REPORT STRUCTURAL DAMAGE TO THE ENGINEER. DO NOT PROCEED WITH STRUCTURAL REPAIRS WITHOUT INSTRUCTIONS FROM THE ENGINEER THAT ARE APPROVED BY THE BUILDING DEPARTMENT.

- 6) REPAIR OF EXISTING DAMAGED FINISHES AND REPLICATION OF EXISTING FINISHES SHALL BE AS INSTRUCTED BY THE ARCHITECT.

- 7) ENVIRONMENTAL REQUIREMENTS:

- PROVIDE TARPING OVER THE OUTSIDE OF SCAFFOLDING TO PROTECT REPAIR PLASTER FROM UNEVEN AND EXCESSIVE EVAPORATION DURING DRY, HOT WEATHER.

- 8) MOCK-UP:

- MOCK-UPS OF REPAIR PROCEDURES WILL BE NEEDED UNTIL THE OWNER'S REPRESENTATIVE IS COMPLETELY SATISFIED OF THE RESULTS. MOCK-UPS SHOULD INCLUDE SEVERAL CONDITIONS, SUCH AS AREAS OF ORIGINAL MORTAR, AREAS OF ORIGINAL LIME MORTAR, AREAS HIGH ON THE WALLS AND AREAS NEAR GRADE.

- MOCK-UPS FOR THE REPAIR SHALL BE PREPARED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE CONTINUATION OF THE REPAIR. MOCK-UP AREAS SHALL BE PART OF THE ORIGINAL STRUCTURE AND SHALL REMAIN AFTER APPROVAL AS THE STANDARD FOR THAT PART OF THE WORK. IT SHALL ALSO REMAIN A PART OF THE FINAL CONSERVATION TREATMENT.

- 9) QUALITY ASSURANCE:

- ALL REPAIRS SHALL BE TESTED ON SITE TO ENSURE THAT THE SPECIFICS OF THIS SECTION ARE COMPATIBLE WITH THE SITE CONDITIONS AND THE MATERIALS THAT ARE UTILIZED. THE OWNER'S REPRESENTATIVE SHALL APPROVE MODIFICATIONS AND/OR CHANGES TO THE SPECIFICS OF THIS SECTION.

DATE: 3-21-15

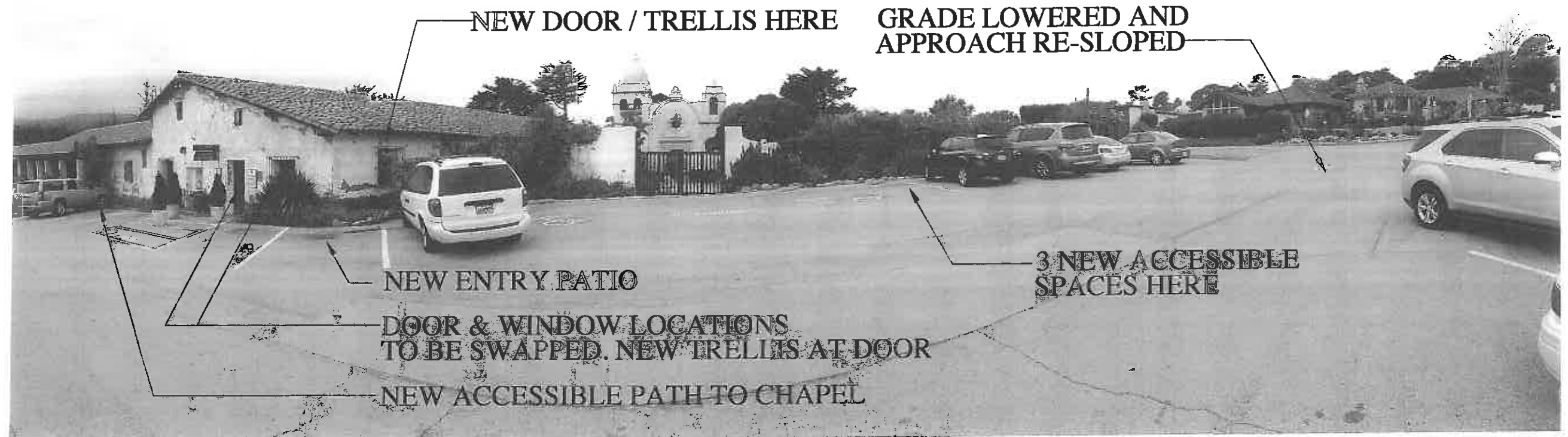
REVISION:

SCALE: NTS

SHEET NO.

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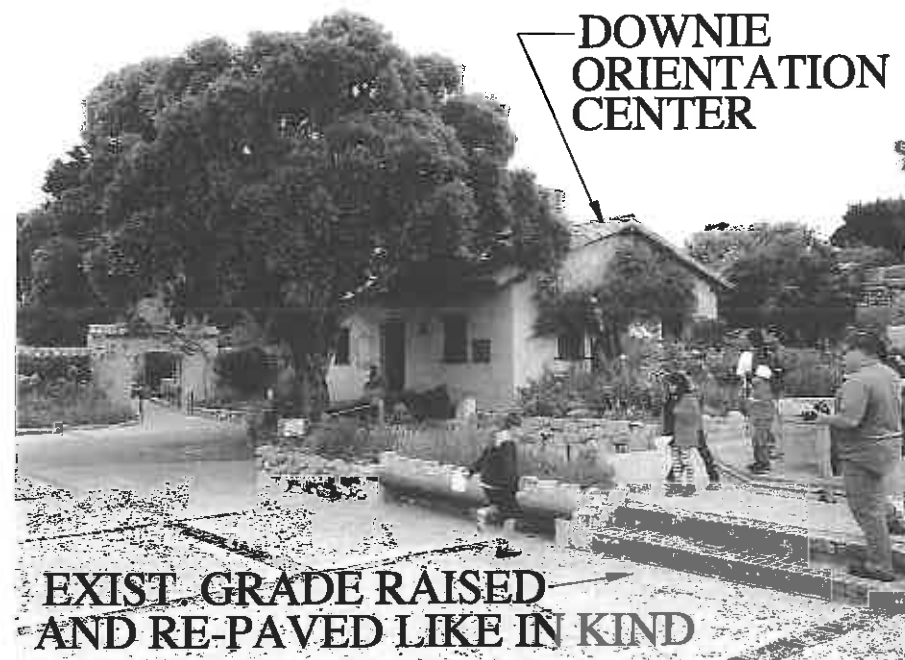
OF 41 SHEETS



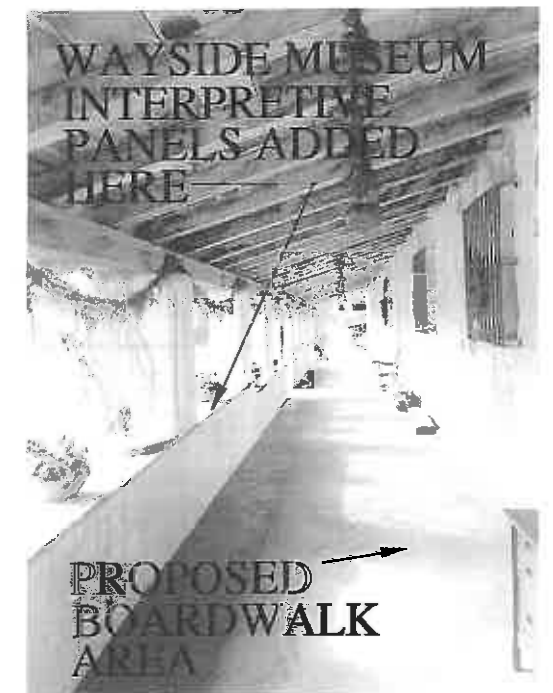
4 NTS PANORAMA OF EXIST. PARKING LOT / FRONT FACADE INDICATING CHANGES



3 NTS EXIST. FORECOURT/ ENTRY ARCH LOOKING EAST



2 NTS EXIST. FORECOURT/ DOWNIE MUSEUM LOOKING NW



1 NTS SOUTH CONVENTO LOOKING WEST



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EXISTING PROJECT PHOTOS SHOWING
PROPOSED LOCATIONS FOR CHANGES

CARMEL MISSION PHASE 2
MASTER PLAN

DATE: 3-21-15

SCALE: NTS

REVISION:

SHEET NO.

A-32

OF 41 SHEETS



CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

May 18, 2015

To: Chair Dyar and Board Members

From: Marc Wiener, Senior Planner

Submitted by: Christy Sabdo, Contract Planner

Subject: Review and discussion of the potential historic significance of the former Theater of the Golden Bough

Recommendation:

Review the potential historic significance of the property and determine whether a Phase 1 Historic Evaluation should be prepared.

Application: HE 15-168 **APN:** 010-210-009
Block: 74 **Lots:** 5 & 6
Location: SE Corner of Monte Verde and Ocean
Applicant: Chris Tescher **Owner:** Dennis Levett

Background:

The subject property is located in the former Theater of the Golden Bough in the Court of the Golden Bough on the SE corner of Ocean Avenue and Monte Verde Street. The property is developed with a two-story 1,764-square foot building, now known as the Arches Building. The building, located in the Commercial District, currently contains commercial uses on the lower level and office uses on the upper level. The former Theater of the Golden Bough, designed by Edward G. Kuster, was constructed in 1924. Many of the neighboring Tudor style commercial buildings within the Court of the Golden Bough have been included on the Carmel Historic Resource Inventory for their association with the Golden Bough Theater (See Attachment C - DPR's for historic commercial buildings within the Court of the Golden Bough).

On April 9, 2015, the owner of the subject property submitted a Design Review application to the City for minor façade changes, including repainting the exterior, the installation of a new awning over the upstairs entry door, the removal of the second-story flower box, and the installation of two new wrought iron balconies to the two second-story arched windows. The Carmel Municipal Code Section (CMC) 17.32.050 Alteration of Property states, “It shall be unlawful for any person, corporation, association, partnership or other legal entity to directly or indirectly alter, remodel, demolish, grade, relocated, reconstruct, or restore any property without first determining if the property is eligible for the inventory.” Therefore, staff notified the applicant that a historic evaluation of the building would be needed.

The City contracted Historic Preservation Consultant, Kent Seavey, to review the property. Mr. Seavey conducted a cursory historic evaluation, rather than a Phase 1 Historical Resource Evaluation (refer to Attachment A). Mr. Seavey’s report states: *“The Theater of the Golden Bough, although historically significant for its contribution to the theatrical history of Carmel, and its association with Edward Kuster, whose architectural vision altered the commercial design character of the village for decades, has been significantly altered over time and lost its physical integrity as designed in 1924, its period of significance.”* Mr. Seavey concludes that the loss of physical integrity is great and therefore the building does not meet the necessary criterion for listing in the California Register of Historic Resources and the Carmel Historic Resource Inventory.

Based on Kent Seavey’s review, staff issued a Preliminary Determination of Historic Ineligibility on May 11, 2015. A copy of the preliminary determination was posted at City Hall and sent to the Historic Resources Board for review. Historic Resources Board member, Kathryn Gualtieri, contacted staff on May 11, 2015 (See Attachment B) and requested that the item be brought before the HRB for discussion. This item is on the agenda for the Board to consider whether this building should qualify for the City’s Historic Inventory. Placing the structure on the inventory would require the preparation of a Phase 1 Historical Resource Evaluation (DPR 523 Form).

ATTACHMENTS:

- Attachment A – May 4, 2015 Historic Resource Evaluation summary prepared by Mr. Kent Seavey
- Attachment B – Email from Kathryn Gualtieri dated May 11, 2015
- Attachment C – DPR’s of historic commercial buildings within the Court of the Golden Bough

KENT L. SEAVEY

310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831)375-8739

May 4, 2015

Mr. Douglas Schmitz
City Manager
City of Carmel by-the-Sea
P.O. Drawer G
Carmel, CA 93921

Dear Mr. Schmitz:

Thank you for the opportunity to review the historic eligibility of the former Theater of the Golden Bough in the Court of the Golden Bough, on the SE corner of Ocean Ave. & Monte Verde (Blk 74, lots 5 & 6) (APN# 010-201-009), in Carmel, owned by Mr. Dennis Le Vett.

HISTORICAL BACKGROUND

The Theater of the Golden Bough was the designed by Edward G. Kuster, a Renaissance man who came to Carmel from Los Angeles c. 1920 to create "A Non Profit Institution Dedicated to the Public Service and to the Advancement of the Drama". The theater company staged contemporary and experimental plays, and had a professional drama school.

Kuster constructed his new theater in 1924, while helping establish a complex of mediievally inspired picturesque small shops, around the venue, called the Court of the Golden Bough, between 1922 and 1925. These quaint commercial buildings initiated an architectural sea change in the appearance of Carmel's business district until the Great Depression of the 1930s. All of the small shops that made up the Court are listed in the 2003 Carmel Historic Resource Inventory, with the exception of the Golden Bough Theater itself.

During the depression Kuster rented the Golden Bough Theater as a movie house, and went to Europe to study drama and stage craft, as well as obtaining new plays for production on his return. Unfortunately, shortly after a performance in May, 1936 the theater was demolished by fire.

In the process of rebuilding, most of the significant original character-defining applied decoration was removed, and the theater continued as a local movie house until a major cinema was constructed opposite Devendorf Park in the late 1930s.

By the end of WWII the Theater of the Golden Bough was in commercial retail use. In 1946, what remained of the north facing facade, including the original paired arched wooden doors with large metal strap hinges, was removed, and large commercial display windows were installed flanking the old arched opening. A long flower box was added at the base of the second floor windows, causing the removal of the last elements of applied decoration from 1924.

Sometime following this change, a later owner, perhaps in the 1950s added a metal hood over the ground floor display windows, and expanded the display bay on the east side of the building beyond the building envelope. Later more commercial display windows were added to the Monte Verde elevation of the building envelope, significantly altering its appearance as well (see photos & 1946 plans provided)

CURRENT ASSESSMENT

The California Environmental Quality Act (CEQA), PRC Sec. 21084.1 requires all properties fifty years of age or older to be reviewed for potential historic significance. Criteria for that significance is addressed in PRC Sec. 5024.1(a). It asks, did any event of importance to the region, state or nation occur on the property? Did anyone of great importance to the region, state or nation occupy the property during the productive period of their lives? Does the building represent an important architectural type, period or method of construction, or is it a good example of the work of a noted architect or master-builder? The criteria also asks if the property is likely to yield information significant to the understanding of the areas history.

Eligibility for historic listing of buildings, structures, objects, sites and districts, i.e., rests on the twin factors of historic significance and integrity to be considered for listing in the National Register of Historic Places, the California Register of Historical Resources, and the Carmel Historic Resource Inventory. Loss of integrity, if sufficiently great, will overwhelm the historic significance a resource may possess and render it ineligible for historic listing. Likewise, a resource can have complete integrity, but if it lacks significance, it must also be considered ineligible.

Integrity is measured by the application of seven aspects, defined by the National Register Criteria for Evaluation. They include: Location, the place where the historic property was constructed, or an historic event occurred; Design, the combination of elements that create the form, plan, space, structure, and style of the building; Setting, the physical environment of the historic property; Materials, the physical elements that were combined during a particular period of time and in a particular pattern or configuration to form a historic property; Workmanship, the physical evidence of the crafts of a particular culture or people during any given period in history. Feeling & Association are subjective elements that assess a resource's ability to evoke a sense of time and place.

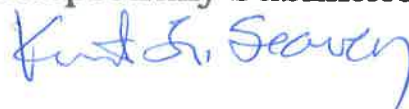
The subject property is not included in the California Office of Historic Preservation-maintained "Historic Property Data File for Monterey County" (updated to December of 2014). It is not listed in the California Register, or the National Register of Historic Places, nor is it listed in the Carmel Historic Resource Inventory.

The subject property retains its original location and setting, but its integrity of design, materials and workmanship, as constructed in 1924, its potential architectural period of significance, have been compromised by the 1936 fire, and extensive later alterations and additions (see above).

The Theater of the Golden Bough although historically significant for its contribution to the theatrical history of Carmel, and its association with Edward Kuster, whose architectural vision altered the commercial design character of the village for decades, has been significantly altered over time and lost its physical integrity as designed in 1924, its period of significance. As noted above, loss of integrity, if sufficiently great, will overwhelm the historic significance a resource may possess and render it ineligible for historic listing. Likewise, a resource can have complete integrity, but if it lacks significance, it must also be considered ineligible. Lacking physical integrity, the subject property does not meet the necessary criterion for listing in the California Register of Historical Resources. Nor does it meet the criterion established by the City of Carmel for inclusion in the Carmel Historic Resource Inventory, and therefore cannot be considered an historic resource as defined by CEQA.

NOTE: The Court of the Golden Bough itself is well represented in the Carmel Historic Resource Inventory by all but the theater building itself.

Respectfully Submitted,



Theater of the Golden Bough-Carmel

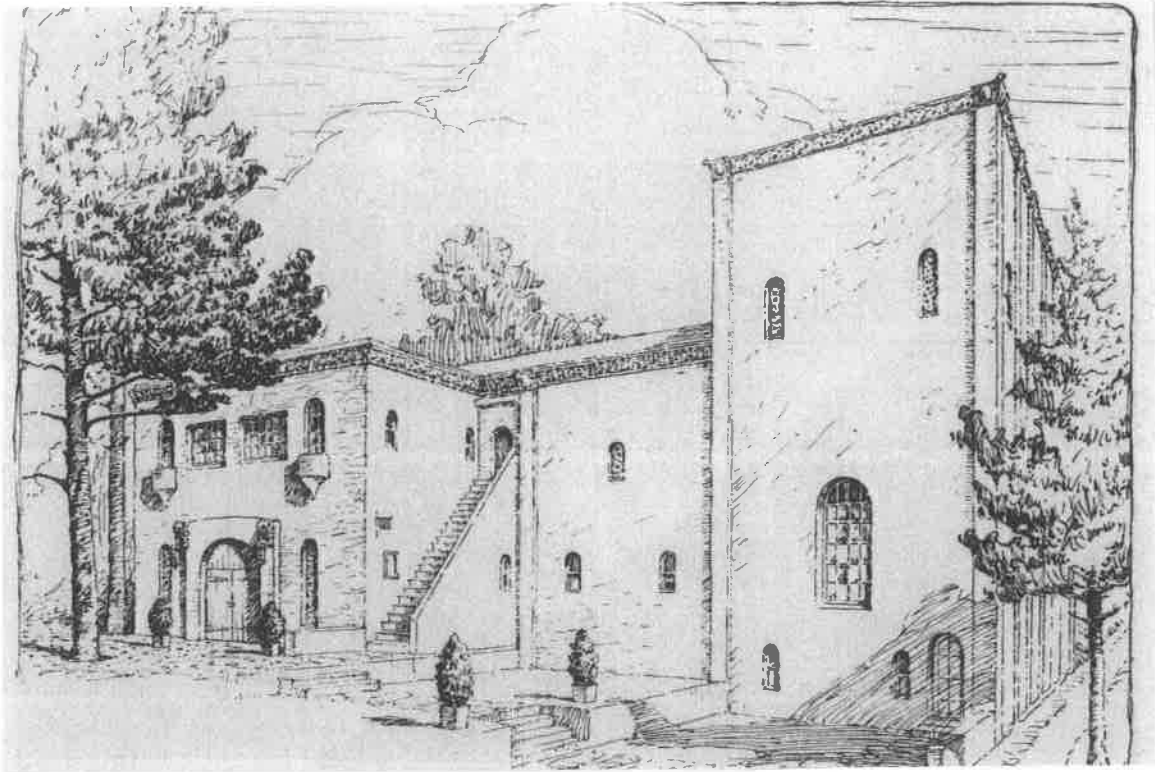


Photo #1. Looking SE at the north facing facade,
drawing by Mary L. Legendre, 1925.

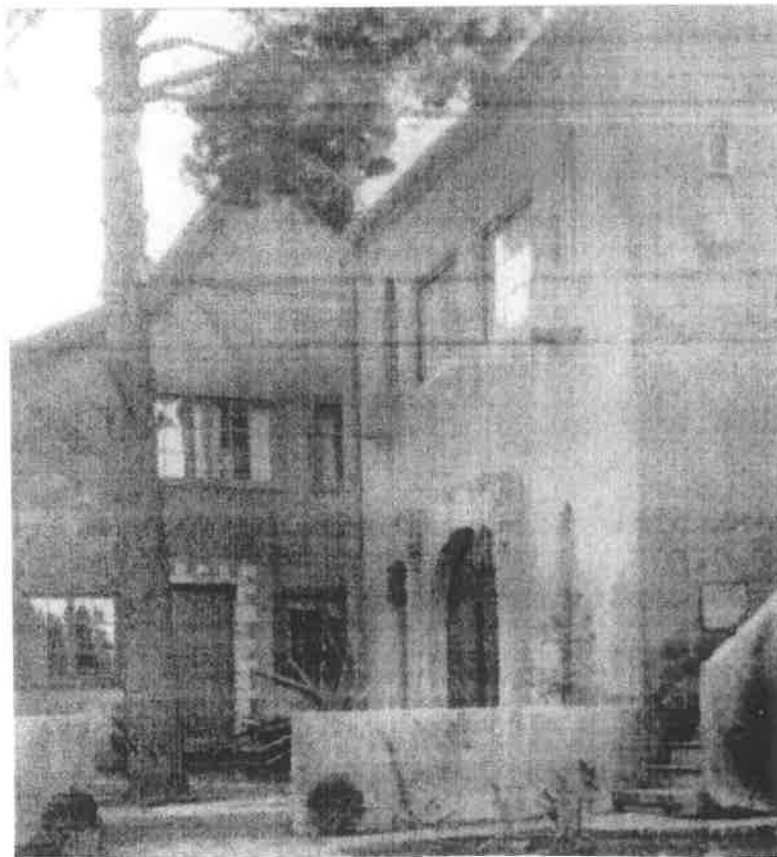


Photo #2. Looking east at the north facing facade,
1925, photo courtesy of Pat Hathaway.



Photo #3. Looking SW at the north facing facade,
note window changes, April, 2015.



Photo #4. Looking south at the undated display window
extending off the building envelope, April, 2015.

UAL

EQUAL

TO LINE WITH POSTS BELOW

EQUAL

EQUAL

SLIDING SASH - 3'-6" HIGH - CHECK WIDTH TO JOB

LINE OF EXISTING PORCH

SUN PORCH

OAK FLOOR
PLASTER WALLS
EXPOSED RAFTERS

NO CHANGE

EXISTING APARTMENTS

NO CHANGE

NEW PLANTING BOX



18'-0" ±

26'-0" ±

8'-0"

2"

Christy Sabdo

From: Kathryn Gualtieri [kgcarmel@yahoo.com]
Sent: Monday, May 11, 2015 12:14 PM
To: Christy Sabdo
Subject: Re: Preliminary Determination of Ineligibility - former theater of the Golden Bough in the Court of the Golden Bough

Dear Christy,

To my mind, the 1923-24 Theater of the Golden Bough appears to be the only property of its period and intended purpose that is strongly associated with Carmel theater entrepreneur Edward Kuster. He was a very significant person with respect to the city's cultural history and his contributions to Carmel's architectural development can't be overlooked.

While the Theater has lost some of its features, it remains in its original location and setting, its front facade and other elevations are intact, and it continues to serve as an important backdrop for the entire historic complex built in front of it and facing out onto Ocean Avenue.

There have been no changes to the Theater building's surrounding environment. Kent Seavey's letter of May 4 states: "All of the small shops that made up the Court are listed in the 2003 Carmel Historic Resource Inventory, with the exception of the Golden Bough Theater." That being the case, I suggest that the Theater is a contributing structure, as are the surrounding buildings, that the entire complex would constitute a historic district, and should be designated as such. In this way, the City will recognize Edward Kuster's finest achievement, his Theater of the Golden Bough and provide it with the status it deserves for the part it played in Carmel's theatrical history.

I would recommend the Theater of the Golden Bough be further reviewed and placed on a future agenda for the Historic Resources Board to make a final determination.

Thank you.

Kathryn Gualtieri

Attachment C - DPR 523 Forms for Historic Buildings in Courtyard

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

5D1

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page _____ of _____

Resource Name or #: (Assigned by recorder) _____

Sade's _____

P1. Other Identifier: _____

P2. Location: _____

☐ Not for Publication ☐ Unrestricted

a. County Monterey

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____

Date _____

T _____

; R _____

1/4 of _____

1/4 of Sec _____

;

B.M. _____

c. Address: _____

City Carmel-by-the-Sea

Zip 93921

d. UTM: (Give more than one for large and/linear resources) _____

mE/ _____

mN _____

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

3 W of Lincoln, S/side Ocean (Blk 74 Lots, Npt 4, NEpt 5)

Parcel No. 010-201-015

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A stepped, one-and-one-half and two-story wood-framed Tudor style commercial building, basically rectangular in plan, resting on a concrete foundation. The exterior wall cladding is a textured cement stucco, w/false half-timbering. The roof system consists of two steep-pitched, side-gable roofs, stepping up to the south, w/a lower cross-gable projecting from the east side of the lower side-gabled roof, to the north. A steep-pitched shed-roof, fronting the lower cross-gable, covers a one-story square bay in the gable end. All the roof surfaces are covered with wood shingle in a staggered butt pattern, w/rolled eaves, suggestive of thatching. There are two chimneys present. One is an exterior eave wall type, located toward the north on the east side-elevation. The second, is a stucco-clad interior type w/a round-arched cap, centered high in the roof-plane of the two-story portion of the building, to the south. The principal entry is in an angled wall at the inside of an ell, formed by the lower cross-gable and the one-and-one half story portion of the building on the west side. The round-headed wood planked entry door has a bulls-eye window at its top. Access to the second story to the south is made via a straight run, tiled open staircase, w/a closed, stuccoed wood rail. Fenestration is irregular, w/a combination of single, paired and banked multi-paned wood casement type windows, in various sizes, and a bank of three modern, glazed wood French doors in the north facing bay of the front cross-gable.

.b. Resource Attributes: (List attributes and codes)

P4. Resources Present

☒

Building

☐ Structure☐ Object☐ Site☒

District

☐

Element of District

☐

Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession#)
(View toward). Photo No: 3012-.

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925 Carmel bldg. records

P7. Owner and Address

Yaghoob Hakim-Baba Trust

P.O. Box 992

Pebble Beach, CA 93953

P8. Recorded by: (Name, affiliation, and address)

Kent L. Seavey, Preservation Consultant, 310

Lighthouse Ave., Pacific Grove, CA 93950

P9. Date Recorded: 1/28/2002

P10. Survey Type: (Describe)

Carmel Historic Resource Inventory - 2001

. Report Citation: (Cite survey report and other sources, or enter "none")

one

Attachments

☐ NONE☐ Location Map☐ Sketch Map☐ Continuation Sheet☐ Building, Structure, and Object Record☐ Archaeological Record☐ District Record☐ Linear Feature Record☐ Milling Station Record☐ Rock Art Record☐ Artifact Record☐ Photograph Record☐ Other: (List)

BUILDING, STRUCTURE, AND OBJECT RECORD

HRI #

Primary #

je of

NRHP Status Code

5D1

Resource Name or #: (Assigned by recorder) Sade's

B1. Historic Name: Sade's, El Matador

B2. Common Name:

B3. Original Use: restaurant/bar/shops

B4. Present Use: restaurant/bar/shops

B5. Architectural Style: Tudor Revival

B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed 1925 (CBP# 938); interior remodel 1938 (CBP# 358, 359, 451); interior remodel 1981 (CBP# 81-65); interior remodel 1991 (CBP# 91-79)

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date :

Original Location:

B8. Related Features:

B9a. Architect:

b. Builder: Lee Gottfried

B10. Significance: Theme: Arch. & Econ. Development

Area: Carmel by-the-Sea

Period of Significance: 1903-1940

Property Type: two-story commercial

Applicable Criteria: CR 3

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

Sade's is significant under California Register criterion 3, in the area of architecture as an important contributor to the overall design of the historic Court of the Golden Bough, and is also significant as a good example of commercial Tudor Revival design by noted Carmel designer/builder Lee Gottfried. Sade's was constructed two years after Edward Kuster finished his first medieval European influenced shop, in what would become the Court of the Golden Bough, at the SE cr. of Monte Verde & Ocean Ave.. The original owner was noted writer and magazine editor, Harry Leon Wilson, who built it, in part, to house his wife's flower shop, "The Bloomin Basement". Sade's became the eastern anchor building of the Court, and the established social center for actors, artists & musicians associated with Kuster's Golden Bough Theatre. For fifty years Sade's was one of the most popular social spots in the village. Its half-timbered design & stepped roofline suggests a portion of a streetscape in medieval England, as it rises back and up, on its rather narrow lot. The staggered butt, wood shingle roof w/its wide, sweeping valley reads as thatch. Builder Lee Gottfried had executed similar designs for Kuster when the Court was first begun in 1923.

A native of Ohio, La Von (Lee) Gottfried had come west working for the Pacific Telephone Company. In 1917 he enlisted in the U.S. Army and served in France during WWI. Returning to California and his telephone work at war's end, he came to Carmel and took up the contracting trade in 1920. He first worked for Edward Kuster in the construction of the latter's stone house on Carmel Point. He designed and built his own home in 1921, and continued to work for Kuster, building the Carmel Weaver's Studio for Ruth Kuster, in 1922.

In 1924, Carmel Pine Cone editor, Perry Newberry extolled the virtues of Kuster's accomplishment with the Court of the Golden Bough, "as the one man responsible for the building of unique and different shops in Carmel." Newberry was pleased to see Kuster's lead taken up by others, like Wilson, who designed their new commercial spaces in the same style.

B11. Additional Resource Attributes: (List attributes and codes) HP6 - 1-3 story Commercial

B12. References:

Carmel bldg. records, Carmel Planning Dept., City Hall, Carmel
Carmel Historic Context Statement 1997

Carmel Pine Cone, 9/29/94

Game & Gossip Magazine, "Sade's", Vol. 6, No. 1, July 1952

Hale, Sharron, A tribute to Yesterday, Valley Pub.: Santa Cruz, 1980

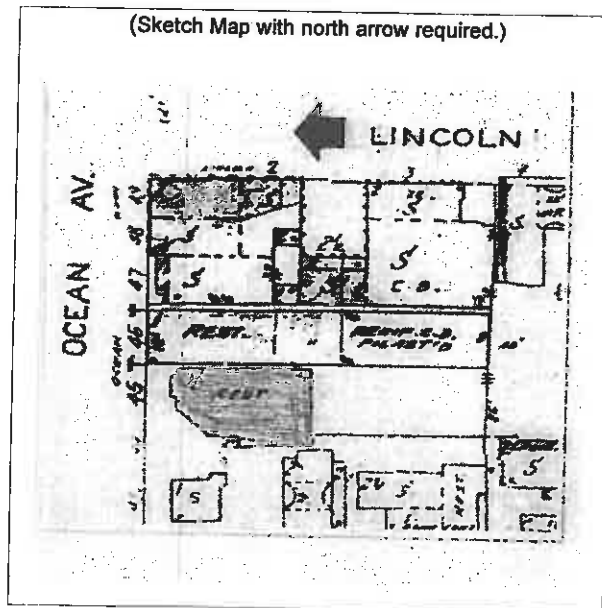
B13. Remarks: Zoning C-1-C
CHCS (AD/ED)

B14. Evaluator: Kent L. Seavey

Date of Evaluation: 1/28/2002

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



CONTINUATION SHEET

Primary #

HRI #

Trinomial

ge of Resource Name or #: (Assigned by recorder) Sade's
Recorded by: Kent L. Seavey

Date 1/28/2002

☒ Continuation ☐ Update

P3. The building is sited on the east side of the Court of the Golden Bough and its Carmel stone courtyard, behind a screen of street trees along Ocean Ave.

B10. According to Newberry, "instead of the white front wooden buildings that are characteristic of every small town in the west, Kuster's dream - made into reality- has changed our main street into an Ocean Avenue of beauty and artistry." Sade's has had several minor exterior changes over time. However, anyone who knew the restaurant and its associated shops from the 1920s to the 1950s would easily recognize the building today. The property was a product of the changing commercial visage of Carmel's downtown in the mid 1920s. It became a visual anchor building along the east side of the Court of the Golden Bough, and remains so today, reflecting a period of individuality and creativity in both commercial and residential design. An "Old World" look that initiated the concept of Carmel as a village in a forest has drawn tourists to its downtown ever since. As a contributing building to a potential downtown historic district, Sade's clearly reflects the findings of, and is consistent with, the 1997 Carmel Historic Context Statement under the themes of architectural and economic development.

Supplemental Photograph or Drawing



Description of Photo: (View, date, accession #)
(View toward). Photo No: 3013- .

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

5D1

Other Listings

Review Code _____

Reviewer _____

Date _____

Page _____ of _____

Resource Name or #: (Assigned by recorder)

Carmel Weavers Studio

P1. Other Identifier:

P2. Location:

☐ Not for Publication ☐ Unrestricted

a. County Monterey

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____

Date _____

T _____

; R _____

1/4 of _____

1/4 of Sec _____

B.M. _____

c. Address:

City Carmel-by-the-Sea

Zip 93921

d. UTM: (Give more than one for large and/linear resources)

mE/ _____

mN _____

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

3 E of Monte Verde, S/side of Ocean, (Blk 74, N pt 5,6,7))

Parcel No. 010-201-008

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-story, wood-framed Tudor style shop, basically square in plan, resting on a Carmel stone foundation. The exterior wall cladding is a smooth cement stucco w/false half-timbering. The steep-pitched side-gabled roof has an undulating ridge line, and wide, overhanging rolled eaves. The roof covering is wood shingle on the north (front) elevation, laid to look like thatch, and composition shingle on the south (rear) elevation. There is a tall, exterior clinker-brick chimney, located on the west side of the south (rear) elevation, added in 1923. There is a projecting bay at the SE cr. of the building, also added in 1923, used as a ticket office for the Golden Bough Theatre. The original windows on the small retail building were paired and banked multi-paned wood casement type. Two remain on the west end of the north (front) elevation. When the building was expanded, in the fall of 1923, a ribbon band of similar windows were added along the north end of the west side-elevation. There were a pair of multi-paned wood casement type on the north side of the east side-elevation as well. In an undated window change, the band of three casement type on the east side of the front (north) elevation were replaced by a large, plate-glass window, and the pair of wood casement type, on the east side-elevation, were replaced by a wide, fixed multi-paned steel frame. Small, Carmel stone flower planters face the base of the building front, which is set back from Ocean ave. behind a screen of street trees, in a Carmel stone court.

4b. Resource Attributes: (List attributes and codes)

P4. Resources Present

☒ Building ☐ Structure ☐ Object ☐ Site ☒ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
(View toward). Photo No: 3016-.

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1922 Carmel bldg. records

P7. Owner and Address

Alexander F. Victor Foundation
P.O. Box LAW
Monterey, CA 93942

P8. Recorded by: (Name, affiliation, and address)

Kent L. Seavey, Preservation Consultant, 310
Lighthouse Ave., Pacific Grove, CA 93950

P9. Date Recorded: 1/27/2003

P10. Survey Type: (Describe)

Carmel Historic Resource Inventory - 2001

Report Citation: (Cite survey report and other sources, or enter "none")

one

Attachments

☐ NONE

☐ Continuation Sheet

☐ Location Map

☐ Building, Structure, and Object Record

☐ Sketch Map

☐ Archaeological Record

☐ District Record

☐ Linear Feature Record

☐ Milling Station Record

☐ Rock Art Record

☐ Artifact Record

☐ Photograph Record

☐ Other: (List)

BUILDING, STRUCTURE, AND OBJECT RECORD

HRI #

Primary #

ge of

NRHP Status Code

5D1

Resource Name or #: (Assigned by recorder)

Carmel Weavers Studio

B1. Historic Name: Carmel Weavers Studio

B2. Common Name: Cottage of Sweets

B3. Original Use: commercial

B4. Present Use: commercial

B5. Architectural Style: Tudor Revival (English cottage)

B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed, Sept., 1922 (Sharron Hale); moved to current loc. July, 1923 (CBP# 583); add to rear Aug., 1923 (CBP# 636); window changes 1947 (CBP# 1467); awning added E/side n/d

B7. Moved? ☐ No ☒ Yes ☐ Unknown Date: July, 1923

Original Location: SE cr. Ocean & Dolores

B8. Related Features:

B9a. Architect: designer/Edward Kuster

b. Builder: Lee Gottfried

B10. Significance: Theme: Arch. & Econ. Developmet

Area: Carmel by-the-Sea

Period of Significance: 1903-1940

Property Type: one-story commercial

Applicable Criteria: CR 3

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

The Carmel Weavers Studio is significant under California Register criterion 3, in the area of architecture as one of the early commercial shops designed & funded by theatrical entrepreneur Edward Kuster, and incorporated to compliment his Golden Bough Theatre.

The Studio was originally constructed by Lee Gottfried for Kuster's wife, Ruth, in Sept. 1922 at the SE cr. of Ocean & Dolores. It housed her and two fellow weavers, Vivienne Higginbotham & Iris Alberto. In July 1923 the Studio was moved to its current location in the Court of the Golden Bough. In August of 1923 contractor Gottfried expanded the original Studio, w/a design by Kuster, that included a novel ticket booth for the theatre. Edward Kuster came to Carmel in 1920 to establish a high quality little theatre, and school of acting. He purchased land at the SE cr. of Ocean and Monte Verde, to build the Court of the Golden Bough, which included a group of several shops, deriving their design from medieval European sources. The Carmel Weavers Studio was based on English cottage forms, and was located in the Court during construction of the Seven Arts Shop. Local writer Daisy Bostick noted in an article for *The Pine Cone*, in April, 1924 that, "In Carmel by-the-Sea there is a group of little shops that might well be transferred to an artist's canvas and labeled 'a bit of Old Europe'. Perry Newberry also extolled the virtues of the 'artistic shops', when he editorialized that Edward Kuster ought to be nominated to the Carmel Hall of Fame, "not only because of his Theatre of the Golden Bough, because he's the one man responsible for the building of unique and different shops in Carmel." Newberry went on to say, "When Kuster began, in 1923, to design the plans for his little theatre he also designed at the same time a group of artistic shops...They met with public approval apparently for it was not long after this until there were other little shops built in the same style. So, instead of white front wooden buildings that are characteristic of every small town in the west, Kuster's dream - made into reality - has changed our main street into an Ocean Avenue of beauty and artistry."

B11. Additional Resource Attributes: (List attributes and codes)

HP6 - 1-3 story Commercial

B12. References:

Carmel bldg. records, Carmel Planning Dept., City Hall, Carmel
Carmel Historic Context Statement 1997

Hale, Sharron, *A Tribute to Yesterday*, Valley Publishers: Santa Cruz, 1980

Monterey Daily Herald, 2/10/23; 8/16/23; 9/18/23

Sanborn insurance maps of Carmel, 1924, 1930-69

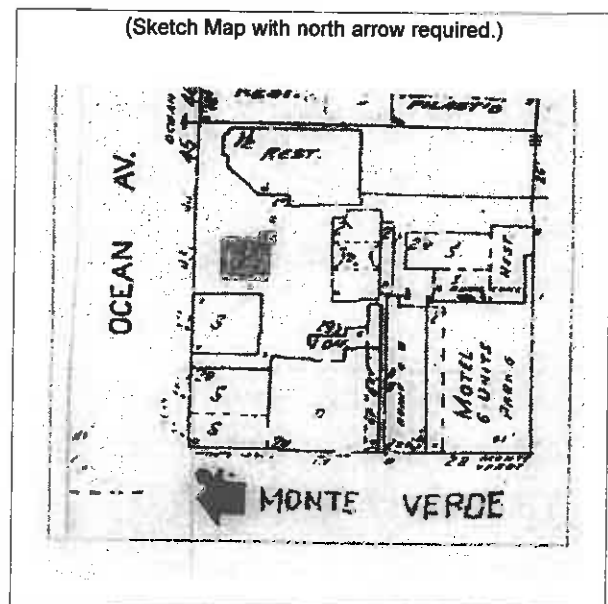
B13. Remarks: Zoning C-1-C
CHCS (AD/ED)

B14. Evaluator: Kent L. Seavey

Date of Evaluation: 1/27/2003

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



CONTINUATION SHEET

Page of Resource Name or #: (Assigned by recorder)
Recorded by: Kent L. Seavey

Carmel Weavers Studio

Date 1/27/2003

☒ Continuation ☐ Update

B10. Like the other shops in the Court of the Golden Bough, the Carmel Weavers Studio has had a number of commercial uses, including a real estate office and a candy store. While some fenestration has been altered, the basic building form and its materials have remained the same. Anyone who knew the shop in the 1920s would have little trouble recognizing it today. Creation of the Court of the Golden Bough entirely changed the commercial visage of Carmel-by-the-Sea in 1923-24, and initiated a period of individuality and creativity in both commercial and residential design that persists to the present. The 'Old Europe' look described by Daisy Bostick in 1924 established the romantic concept of Carmel as a village in a forest, which has drawn tourists to its downtown ever since. The Carmel Weavers Studio, as an integral part of the Court of the Golden Bough shop complex, clearly contributes to the character of a potential downtown historic district, and as such reflects the findings of, and is consistent with, the 1997 Carmel Historic Context Statement under the themes of architectural and economic development.

Supplemental Photograph or Drawing



Description of Photo: (View, date, accession#)

(View toward). Photo No: 3017-

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

5D1

Other Listings

Review Code _____

Reviewer _____

Date _____

Page _____ of _____

Resource Name or #: (Assigned by recorder) *Seven Arts Shop*

P1. Other Identifier:

P2. Location:

Not for Publication ☐ Unrestricted

a. County *Monterey*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____

Date _____

T _____

; R _____

1/4 of _____

1/4 of Sec _____

; _____

B.M. _____

c. Address:

City *Carmel by-the-Sea*

Zip *93921*

d. UTM: (Give more than one for large and/linear resources)

mE/ _____

mN _____

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

2 E of Monte Verde, S/side Ocean (Blk 74, Lots Npt 5,6,7)

Parcel No. *010-201-008*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-story, wood-framed Tudor Strorybook substyle retail shop, basically square in plan, w/basement, resting on a concrete foundation. The exterior wall cladding is a textured cement stucco. The steeply-pitched side-gabled roof curves gracefully in a long, sweeping flare to the west. It also wraps around the angled entry at the NE cr. to form a conical door hood over the glazed and wood paneled front Dutch-door. Miniature shingle-capped circular turrets rise from the roof-plane on the east side-elevation, toward the south, and there is a stucco-clad exterior end-gable chimney on the east side of the south (rear) elevation. As originally constructed, the north facing facade had two multi-paned steel casement windows, a three-light display window in the main body of the shop, and a narrower paired casement type at the west end of the facade. The small window was made into a door at an undetermined date, keeping the original width of the window opening. The focal window was also enlarged, w/ several iterations over time. known changes occurred in 1947, 1957, & 1984, all in keeping w/the original character of the building. Window changes also occurred on the south side-elevation with the current appearance dating to 1957. Fenestration otherwise includes a combination of single diamond and multi-paned fixed and casement type wood windows. The shop is sited at the sidewalk, behind a screen of street trees, in a courtyard cluster of medieval inspired small shops.

4b. Resource Attributes: (List attributes and codes)

P4. Resources Present

☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession#)
(View toward _____). Photo No: *3014*, .

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1923 carmel bldg. records

P7. Owner and Address

*Alexander F. Victor Foundation
P.O. Box LAW
Monterey, CA 93942*

P8. Recorded by: (Name, affiliation, and address)

*Kent L. Seavey, Preservation Consultant, 310
Lighthouse Ave., Pacific Grove, CA 93950*

P9. Date Recorded: *1/23/2002*

P10. Survey Type: (Describe)

Carmel Historic Resource inventory - 2001

I. Report Citation: (Cite survey report and other sources, or enter "none")

none

Attachments

☐ NONE

☐ Continuation Sheet

☐ District Record

☐ Rock Art Record

☐ Other: (List)

☐ Location Map

☐ Building, Structure, and Object Record

☐ Linear Feature Record

☐ Artifact Record

☐ Sketch Map

☐ Archaeological Record

☐ Milling Station Record

☐ Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

HRI #

Primary #

je of

NRHP Status Code

5D1

Resource Name or #: (Assigned by recorder) Seven Arts Shop

B1. Historic Name: Seven Arts Shop (1923), Christian Science Reading Room (1936), Talbot Ties (1987)

B2. Common Name: House of Sweets

B3. Original Use: commercial

B4. Present Use: commercial

B5. Architectural Style: Tudor Revival (Storybook substyle)

B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed 1923 (CBP# 612); undated window enlarged 1947 (CBP#1467); door, window & interior changes 1957 (CBP#3140); rehab & remodel 1987 (CBP# 87-78); reroof matching original steamed wood shingles 1998 (CBP# 98-24)

B7. Moved? ☒ No ☐ Yes Unknown Date

Original Location:

B8. Related Features:

B9a. Architect: designer/Edward Kuster

b. Builder: M.J. Murphy

B10. Significance: Theme: Arch. & Econ. Development

Area: Carmel by-the-Sea

Period of Significance: 1903-1940

Property Type: single family residence

Applicable Criteria: CR 3

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

The Seven Arts Shop is significant under California Register criterion 3, in the area of architecture as the first of several commercial shops designed, in part & funded by theatrical entrepreneur Edward Kuster, to compliment his Golden Bough Theatre in 1923. Edward Kuster came to Carmel in 1920 to establish a high quality little theatre, and school of acting. he purchased land at the SE cr. of Ocean & Monte Verde, to design and build The Court of the Golden Bough, which included a group of small shops deriving their design from medieval European sources. The Seven Arts Shop was the first to be constructed, for proprietors Helena Conger & Herbert Heron. Kuster drew his design inspiration from illustrations of Swedish folk tales by Edmond Dulac. Carmel master-builder M.J. Murphy was the contractor. Local writer, Daisy Bostick noted in an article for *The Pine Cone*, in April, 1924, that, "In Carmel-by-the-Sea there is a group of little shops that might well be transferred to an artist's canvas and labeled 'A bit of Old Europe'. Perry Newberry also extolled the virtue of the 'artistic shops', when he editorialized that Edward Kuster ought to be nominated to the Carmel Hall of Fame, "not only because of his Theatre of the Golden Bough, but because he's the one man responsible for the building of unique and different shops in Carmel." Newberry went on to say, "When Kuster began, in 1923, to design the plans for his Little Theatre he also designed at the same time a group of artistic shops... They met with public approval apparently for it was not long after this until there were other little shops built in the same style. So, instead of the white front wooden buildings that are characteristic of every small town in the west, Kuster's dream - made into reality- has changed our main street into an Ocean Avenue of beauty and artistry." The Seven Arts Shop has had many uses over time, including Carmel's Christian Science Reading Room (1936), and the Robert Talbot Tie Shop (1987). While the fenestration has been altered several times, the basic building form and its materials have remained the same. Anyone who knew the shop in the 1920s would have little trouble recognizing it today.

B11. Additional Resource Attributes: (List attributes and codes) HP6 - 1-3 story Commercial

B12. References:

Carmel bldg. records, Carmel Planning Dept., City Hall, Carmel
Carmel Historic Context Statement 1997

Monterey Peninsula Herald, 8/3/23

Sanborn insurance maps of Carmel 1924, 1930-69

Temple, Sydney, *Carmel By- The-Sea*, Angel Press:Monterey, 1989

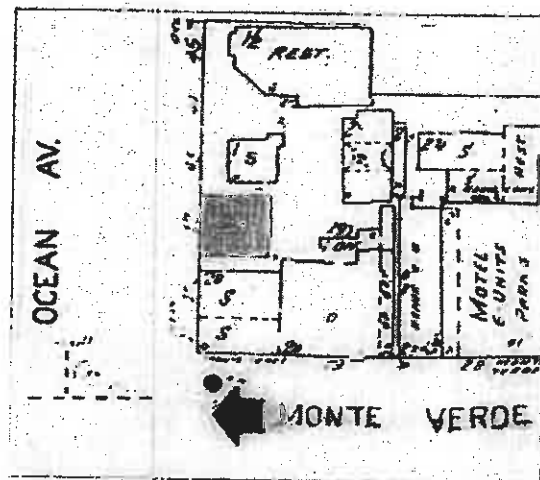
B13. Remarks: Zoning C-1-C/C-1-5
CHCS (AD/ED)

B14. Evaluator: Kent L. Seavey

Date of Evaluation: 1/23/2002

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



CONTINUATION SHEET

Page of Resource Name or #: (Assigned by recorder) Seven Arts Shop
Recorded by: Kent L. Seavey Date 1/23/2002 ☒ Continuation ☐ Update

B10. Creation of the Court of the Golden Bough entirely changed the commercial visage of Carmel-by-the-Sea in 1923-24, and initiated a period of individuality and creativity in both commercial and residential design that persists to the present. The 'Old Europe' look described by Daisy Bostick in 1924 established the romantic concept of Carmel as a village in a forest, which has drawn tourists to its downtown ever since. The Seven Arts Shop, as an integral part of the Court of the Golden Bough shop complex, clearly contributes to the character of a potential downtown historic district, and as such reflects the findings of, and is consistent with, the 1997 Carmel Historic Context Statement under the themes of architectural and economic development.

Supplemental Photograph or Drawing



Description of Photo: (View, date, accession#)
(View toward). Photo No: 3015-