

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD
MEETING AGENDA**

Monday, April 18, 2016
3:15 p.m. Tour
4:00 p.m. Open Session

City Hall Council Chambers
East side of Monte Verde Street
Between Ocean and Seventh Avenues

A. CALL TO ORDER AND ROLL CALL

BOARD MEMBERS:

ERIK DYAR, CHAIR
ELINOR LAIOLO
KATHRYN GUALTIERI
JULIE WENDT
LYNN MOMBOISSE

B. TOUR OF INSPECTION

Shortly after 3:15 p.m., the Board will leave the Council Chambers for an on-site Tour of Inspection as noted on “applications” section of the agenda. The public is welcome to follow the Historic Resource Board on its tour of the subject sites. The Board will return to Council Chambers at 4:00 p.m., or as soon thereafter as possible.

C. PLEDGE OF ALLEGIANCE

D. APPEARANCES

Anyone wishing to address the Board on matters within the jurisdiction of the Board may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Board’s agenda will not receive action at this meeting, but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as established by the Board. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

E. CONSENT AGENDA

1. Minutes from the March 21, 2016 Historic Resources Board Meeting will be available at the next regular meeting.

F. ITEM

- | | |
|--|--|
| 1. SI 16-027/028 (Joshi)
Dennis Joshi
Dolores, 4 SE of Ocean
Block: 76, Lot: 12
APN: 010-146-011 | Consideration of Sign Permit (SI 16-027) application for the installation of an awning on a historic building located in the Central Commercial (CC) Zoning District |
| 2. DS 16-051 (Taylor)
Craig Holdren
NW corner of Camino Real and Ocean
Block: GG, Lots: 1, 3, & 5
APN: 010-252-011 | Consideration of a Design Study (DS 16-051) application for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District |

G. DIRECTOR'S REPORT

Monthly Activity Report

H. SUBCOMMITTEE REPORT

Discussion on Home of the Month Subcommittee

I. DISCUSSION ITEMS

J. BOARD MEMBER ANNOUNCEMENTS

K. ADJOURNMENT

Any writings or documents provided to a majority of the Historic Resources Board regarding any item on this agenda will be made available for public inspection in the Planning and Building Department located at City Hall, on Monte Verde between Ocean and 7th Avenues during normal business hours.

The next regular meeting of the Historic Resources Board is TBD.

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. The City of Carmel-by-the-Sea Telecommunication's Device for the Deaf/Speech Impaired (TDD) number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request to the Board Secretary. If you need assistance, please advise the Board Secretary what item you would like to comment on, and the microphone will be brought to you.

AFFIDAVIT OF POSTING

I, Marc E. Wiener, Acting Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln April 13, 2016.

Dated this 13th day of April, 2016, at the hour of 4:00 p.m.

Marc Wiener, Interim Community Planning and Building Director



CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

April 18, 2016

To: Chair Dyar and Board Members

From: Marc Wiener, Interim Community Planning and Building Director

Subject: Consideration of Sign Permit (SI 16-027) application for the installation of an awning on a historic building located in the Central Commercial (CC) Zoning District

Recommendation:

Issue a Determination of Consistency with the Secretary of the Interior's Standards.

Applications:	SI 16-027	APN:	010-146-011
Block:	76	Lot:	12
Location:	Dolores St., 4 Parcels SE of Ocean Ave.		
Applicant:	Dennis Joshi	Property Owner:	Carmel Properties, LLC.

Background

The project site is a commercial building located on the east side of Dolores Street 4 southeast of Ocean Avenue. The subject building is listed on the City's Historic Inventory under Criterion 3 (Architecture), as an example of Spanish Revival style done by local builder/designer M.J. Murphy.

On March 21, 2016, the Historic Resources Board (HRB) reviewed a proposal to install two awnings/signs on the subject building in association with two new businesses. The HRB issued a Determination of Consistency for the southern-most awning (SI 16-028), but continued the application for the proposed middle awning (SI 16-027) to be used for a business named "All About the Chocolate." The applicant has revised the design to comply with the recommendations made by the HRB.

Staff Analysis

Awning Design: The applicant originally proposed a dome-shaped awning in the middle bay that matched the color and shape of the other two storefront awnings. The HRB supported the request for the middle awning, but directed the applicant to revise the design to be more consistent with the profile of the storefront opening. The applicant has revised the design and is now proposing a traditional-style awning with a valence. In staff's opinion, the proposed awning is a better fit for the middle space and is consistent with the Secretary's Standards. Staff notes that the northern-most awning will also be replaced and all three new awnings on the building will be a matching burgundy color with white letters.

Environmental Review: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. If the alterations are consistent with the standards, potential historic resource impacts under CEQA do not require further analysis. Staff concludes that the proposed alterations would be consistent with the Secretary of the Interior's Standards and therefore, do not require additional environmental analysis.

ATTACHMENTS:

- Attachment A – Awning Plans/Photographs

Attachment A – Awning Design









CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

April 18, 2016

To: Chair Dyar and Board Members

From: Marc Wiener, Interim Community Planning and Building Director

Submitted by: Catherine Tarone, Assistant Planner

Subject: Consideration of a Design Study (DS 16-051) for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District

Recommendation:

Issue a Determination of Consistency with the Secretary of the Interior's Standards subject to the attached conditions.

Application: DS 16-051 (Taylor) **APN:** 010-252-011
Block: GG **Lots:** 1, 3, & 5
Location: NW corner of Camino Real and Ocean Avenue
Applicant: Craig Holdren
Property Owner: Bruce Church and Linda Taylor

Background

The existing residence, known as the "Alfred P. Fraser House", is a one-and-two story, wood-framed Craftsman Style residence designed and constructed c. 1918. In 1976, building records show termite repair and interior changes with enclosure of the principal entry. In 2004, open decks were added to the rear (west) elevation. All additions were consistent with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. The residence was officially listed on the Carmel Inventory of Historic Resources on November 2, 2002.

The "Alfred P. Fraser House" is significant at the local level under criterion #2 established by the California Register of Historical Resources, PRC Section 5031 (3), for its association with early civic leader, Alfred P. Fraser, the City of Carmel-by-the-Sea's first mayor. It is also significant under criterion #3, as an excellent example of Craftsman Style residential design. Character defining features include its one-and-two-story height, irregular plan, wood-shingled exterior

wall-cladding and roof covering, low-pitched roof, and low-pitched and intersecting stepped gabled roof system.

Proposed Project

The existing residence is 2,521 square feet in size. The applicant is proposing to add 965 square feet including 310 square feet to the main floor, and 84 square feet to the upper level, and 571 square feet to a proposed new lower floor. The project consists of the following components: (1) the addition of a one-story family room and fireplace off of the end of the north side-elevation (2) a small extension of a deck built in 2004 at the north end of the property, (3) an extension of a small bathroom at the north end of the upper-story, (4) the creation of a new, single-story living space on the west elevation of the building, toward the south, building south from an existing raised basement wall, (5) the creation a rooftop deck above the new bedroom space for use by an existing bedroom at the south end of the main floor, (6) the adjustment of two small existing windows on the east-facing façade. The new addition is proposed to have wood shingle siding that will be slightly modified in some locations. Additionally the muntins of the altered windows will be altered slightly to differentiate them from existing windows. All work shall conform to the approved plans except as conditioned by this permit.

Staff Analysis

Historic Evaluation Summary: The California Environmental Quality Act requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. The proposed alterations were reviewed by the City's Historic Preservation Consultant: Kent Seavey. The Phase II Historic Assessment prepared by Mr. Seavey on February 3, 2016, includes an analysis of the proposed changes based on the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (Attachment D). The assessment concludes that the project would be consistent with the Standards.

Alterations: The Secretary's Standards recommend that new additions be placed on secondary elevations and where alterations have already occurred. Standard #9 states that *"the new work will be differentiated from the old and will be compatible with the massing, size, and scale to protect the historic integrity of the property."* Standard #10 states *"New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."*

The Phase II Assessment identifies that the proposed additions would be on altered primary elevations and secondary elevations only. The Assessment identifies that south side of the residence is considered a primary elevation, as it fronts Ocean Avenue. However, there are several trees and vegetation that obstruct the public view of the primary elevation.

In the Phase II Assessment, Mr. Seavey concludes that the new additions are designed and located so that the character-defining features of the building would not be radically changed and that the additions are compatible with the size, scale, and massing of the existing residence. The proposed additions include wood-shingle siding and windows that are differentiated from the historic residence as recommended by Standard #9. Furthermore, the additions could be removed without impairing the integrity of the historic residence as recommended by Standard #10.

In summary, the Phase II Assessment concludes that the proposed work will be executed consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Staff concurs with the Mr. Seavey and supports the overall project subject to the attached conditions of approval (Attachment A).

Alternatives: The staff recommendation is to issue a determination that the application, as conditioned, is consistent with the Secretary's Standards. Alternatively, the Board could find the application inconsistent with the Secretary's Standards, which would result in either the applicant withdrawing the project or require additional CEQA analysis to evaluate impacts on historic resources.

Environmental Review: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. If the alterations are consistent with the standards, potential historic resource impacts under CEQA do not require further analysis. Staff concludes that the proposed alterations would be consistent with the Secretary of the Interior's Standards and therefore, do not require additional environmental analysis.

ATTACHMENTS:

- Attachment A – Conditions of Approval
- Attachment B – DPR 523 Form / Phase II Historic Assessment
- Attachment C – Secretary of the Interior Standards
- Attachment D – Site Photographs/Project Plans

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

DS 16-051
Bruce Church and Linda Taylor
NW corner of Camino Real an
Ocean Avenue
Block: GG Lots: 1, 3 & 5
APN: 010-252-011

AUTHORIZATION:

1. This Determination of Consistency (DS 16-051) authorizes alterations to an existing 2,521-square foot residence, subject to Planning Commission approval, as shown on the plans dated March 17, 2016. The project includes a total addition of 965 square feet including 310 square feet to the main floor, and 84 square feet to the upper level, and 571 square feet to a proposed new lower floor. The project consists of the following components: (1) the addition of a one-story family room and fireplace off of the end of the north side-elevation (2) a small extension of a deck built in 2004 at the north end of the property, (3) an extension of a small bathroom at the north end of the upper-story, (4) the creation of a new, single-story living space on the west elevation of the building, toward the south, building south from an existing raised basement wall, (5) the creation a rooftop deck above the new bedroom space for use by an existing bedroom at the south end of the main floor, (6) the adjustment of two small existing windows on the east-facing façade. The new addition is proposed to have wood shingle siding that will be slightly modified in some locations. Additionally the muntins of the altered windows will be altered slightly to differentiate them from existing windows. All work shall conform to the approved plans except as conditioned by this permit.

SPECIAL CONDITIONS:

1. Measured drawings and photo-documentation of the existing elevations shall be prepared and submitted to the City to include in the historical record.
2. In order to ensure that the essential form and integrity of the historic property is retained, the work shall reuse, to the extent feasible, any available historic building material, and where necessary, match required replacement features in kind

3. Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the City's Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Attachment B - DPR/Phase II Assessment

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

5S1

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page _____ of _____

Resource Name or #: (Assigned by recorder)

Alfred P. Fraser Hse.

P1. Other Identifier: _____

P2. Location: _____

Not for Publication ☐ Unrestricted

a. County Monterey

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____

Date _____

T _____

; R _____

;

1/4 of _____

1/4 of Sec _____

;

B.M. _____

c. Address: _____

City Carmel-by-the-Sea

Zip 93921

d. UTM: (Give more than one for large and/linear resources) _____

;

mE/ _____

mN _____

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

NW Cr. Camino Real & Ocean (Blk GG, Lots 1, 3, 5)

Parcel No. 010-252-011

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-and-two-story wood-framed Craftsman style residence, irregular in plan, resting on a concrete foundation. The exterior wall cladding is wood shingle, laid about 14" to weather. The low-pitched intersecting gable roof system has wide overhanging eaves w/exposed rafter tails, decorative brackets under overhanging elements, and triangular knee bracing at the gable ends. All roof covering is wood shake. A large, brick exterior eave wall chimney is located on the west (rear) elevation about midway along the building envelope, where it pierces the eave overhangs of both the first and second floors. A second brick exterior eave wall chimney stack is found on the east (front) elevation at the SE cr of the wing projecting from the front entry. It too pierces the eave overhang. There is a slightly projecting bay window on the south side-elevation of the main building block. This feature is capped by a narrow shed roof w/exposed rafter tails, and has decorative brackets under the apron. The house is characterized by a central two-story main building block, w/lower wings on the east side. One wing projects toward the south, and the second, on the NE cr of the main bldg. block, projects toward the east. Fenestration is irregular w/ large fixed multi-paned wood focal windows, toward the west and south, and a combination of single, paired and banked 2/1 Craftsman style wood casement and awning type windows. There are some multi-paned glazed wood doors as well.

b. Resource Attributes: (List attributes and codes)

P4. Resources Present

☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
(View toward _____). Photo No: 823-.

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1918 est. Mo Co Assessors records

P7. Owner and Address

Joan & Thomas Mertens
15502 N.W. Par Court
Portland, OR 97229

P8. Recorded by: (Name, affiliation, and address)

Kent L. Seavey, Preservation Consultant, 310
Lighthouse Ave., Pacific Grove, CA 93950

P9. Date Recorded: 11/2/2002

P10. Survey Type: (Describe)

Carmel Historic Resource Inventory - 2001

Report Citation: (Cite survey report and other sources, or enter "none")

Carmel-by-the-Sea Survey 1989-1996

Attachments

NONE

☐ Continuation Sheet☐ District Record☐ Rock Art Record☐ Other: (List)☐ Location Map☐ Building, Structure, and Object Record☐ Linear Feature Record☐ Artifact Record☐ Sketch Map☐ Archaeological Record☐ Milling Station Record☐ Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

HRI #

Primary #

NRHP Status Code

5S1

Resource Name or #: (Assigned by recorder) *Alfred P. Fraser Hse.*

B1. Historic Name: *Alfred P. Fraser Hse.*

B2. Common Name:

B3. Original Use: *residence*

B4. Present Use: *residence*

B5. Architectural Style: *Craftsman*

B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed ca. 1913; termite repair 1976 (Cbp# 76-76); interior remodel w/minor change to entry 1976 (Cbp# 76-153)

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date :

Original Location:

B8. Related Features: *enlarge door on wood-frame, one-car garage at NE cr. of parcel 1980 (Cbp# 80-56); extend existing board fence along perimeter, on Ocean Ave. side, toward the west 1976 (Cbp# 76-153)*

B9a. Architect:

b. Builder:

B10. Significance: Theme: *Architectural Development*

Area: *Carmel by-the-Sea*

Period of Significance: *1903-1940*

Property Type: *single family residence*

Applicable Criteria: *CR 2,3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

The A.P. Fraser Hse. is significant under California Register criterion 2, for the contributions of Alfred P. Fraser as an early civic leader, and Carmel's first mayor. It is also significant under criterion 3, in the area of architecture as an excellent example of early (ca. 1913) Craftsman style residential design in Carmel. This is a large, side-gabled example of the Craftsman form, built across three lots, that takes full advantage of Carmel Bay views. It possesses most of the decorative features characteristic of the style, including a low-pitched intersecting gabled roof system, w/wide overhanging eaves and exposed rafter-tails, triangular knee bracing in the gable ends, and decorative modillions below overhanging components. The wood windows are uniformly two small square lights above a larger single pane, in a variety of shapes and combinations, including single, paired and banked configurations throughout the house. The original exterior wood shingle was probably natural, but has been painted several times since construction in the teens. The Fraser Hse. is one of the best larger examples of early Craftsman design in Carmel that has been little altered over time. It expresses the strong Arts & Crafts aesthetic present in Carmel during the period.

Alfred P. Fraser was the first president of Carmel's Board of Trustees, making him the first mayor of Carmel. Elected in 1916, he served until 1920 during the formative period of city government. Fraser served as Carmel's police court judge, and superintendent of streets. In the mid 1920s, he and his wife Bernice, operated Fraser Looms, a hand woven fabrics shop in the Seven Arts Building at the cr. of Ocean & Lincoln. The Alfred P. Fraser Hse. clearly reflects the findings of, and is consistent with the 1997 Carmel Historic Context Statement under the theme of architectural development.

B11. Additional Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*

B12. References:

*Carmel bldg. records, Carmel Planning Dept., City Hall, Carmel
Carmel Historic Context Statement 1997*

Carmel Pine Cone, 9/26/30

Hale, Sharron, A Tribute to Yesterday, Valley Publishers: Santa Cruz, 1980

Sanborn fire insurance maps of Carmel 1924, 1930, 1930-62

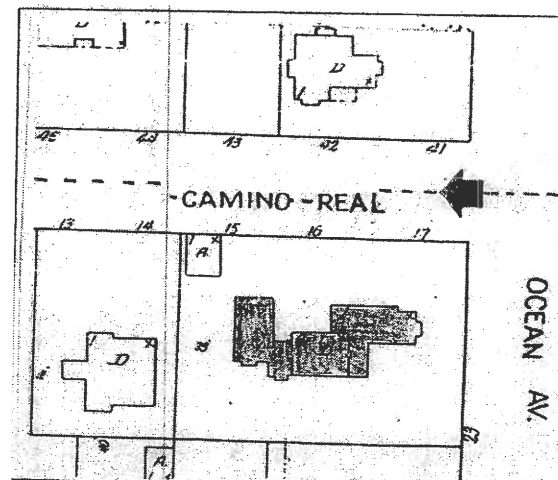
B13. Remarks: *Zoning R-1
CHCS (AD)*

B14. Evaluator: *Kent L. Seavey*

Date of Evaluation: *11/2/2002*

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



Primary #

HRI #

Trinomial

CONTINUATION SHEET

Name of Resource Name or #: (Assigned by recorder)

Alfred P. Fraser Hse.

Recorded by: Kent L. Seavey

Date 11/2/2002

☒ Continuation ☐ Update

P3. The only visible change to the original building, aside from painting, is a vestibule, enclosing the front entry, added in the 1976 remodel. It is in keeping with the original character of the house, and would meet the Secretary of the Interior's Standards for Rehabilitation. The property is surrounded by a high, flush board wood fence w/latticed top, along Camino Real and part of Ocean. Further west along Ocean this fencing turns to a grapestake type. The house is further screened from both streets by mature trees. It has well maintained grounds, w/a front lawn and low shrubbery.

KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831) 575-8739

REVISION

MAR 17 2016

City of Carmel-by-the-Sea
Planning & Building Dept.

February 3, 2016

Mr. Marc Weiner
Acting Planning Director
Carmel Planning & Building Dept.
City of Carmel-by-the-Sea
P.O. Drawer G
Carmel, CA 93921

Dear Mr. Weiner:

Introduction:

This Focused Phase II Historic Assessment has been prepared on behalf of Bruce Church & Linda Taylor as part of an application for additions and alterations to a two-story single family residence, on a listed historic residence. The subject property is located at the NW cr. Of Camino Real and Ocean Ave. (APN# 010-252-011), in Carmel (see photos, plans & drawings provided).

Historical Background & Description:

The subject property is an altered c. 1918 one-and-two story, wood-framed Craftsman Style residence. Carmel building records show termite repair in 1976 (CBP# 76-76); and interior changes with enclosure of the principal entry (CBP# 76-153). Further additions, in the form of open decks, were made to the rear (west) elevation in 2004 (CBP# 04-2362). All additions were consistent with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, under the Standards for Rehabilitation.

The property is listed in the 2003 Carmel Historic Resource Inventory at the local level of significance, under California Register criteria 2, for its association with early civic leader, Alfred P. Fraser, Carmel's first Mayor, and criteria 3, as an excellent example of Craftsman Style residential design. It falls under the theme of Architectural Development in Carmel (1888-1965), established in the 2008 Carmel Historic Context Statement. Its period of significance is c.1918 to 1940 (see California DPR 523 documentation provided).

Character-defining features of the property include its one-and-two-story height; irregular plan; wood shingled exterior wall-cladding & roof covering; low-pitched & intersecting stepped gabled roof system;

multi-paned, single, paired, tripartite and banked wood, fixed & casement type windows and Craftsman Style decorative trim.

Evaluation:

The owners propose to, (1) add a one-story family room w/fireplace off the end of the north side-elevation, (2) slightly extend the modern 2004 open deck at the north end of the existing building envelope a little further west. (3) extend a small bathroom space off the north end of the second floor, (4) create a new, one-story living space on the west side of the building envelope, toward the south, building south from an existing raised basement wall, (5) create a roof deck above the new bedroom space for an existing bedroom at the south end of the ground floor. They also propose to slightly adjust two existing small bathroom windows on the east facing facade, to conform with proposed interior upgrades of this feature. All new work will be undertaken in conformance with the *The Secretary of the Interior's Standards for the Treatment of Historic Properties, under the Standard for Rehabilitation*.

The Secretary of the Interiors Standards for the Treatment of Historic Properties Identify four primary treatment approaches to historic buildings. They are Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation would be the recommended standard of treatment for the subject property,

Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The Secretary's Standards encourages "placing a new addition on a non-character-defining elevation." and locating alterations to historic properties in areas where previous alterations already exist.

The 1992 National Park Service *Illustrated Guidelines for Rehabilitating Historic Buildings*, states that "The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility."

As noted above, the Standards recommend new additions be placed on secondary elevations, and where alteration has already occurred. In this instance the proposed additions are on altered primary, and secondary elevations. The new additions are designed and will be constructed so that the character-defining features of the historic building are not radically changed. The proposed additions are generally on inconspicuous areas of the historic building envelope, and limited in size and scale in relationship to the historic building.

The proposed new work will be differentiated from the old in a manner that makes clear what is historic and what is new. As proposed, the wood-shingled exterior wall-cladding will be slightly modified in some locations, and window muntin changes will be introduced in the new fenestration. The new elements will reflect the existing historic building fabric for continuity of design.

the work will be compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. This is consistent with Rehabilitation Standard #2 and #5. If removed in future, the essential form and integrity of the historic residence will be unimpaired, consistent with Standards #9 and #10.

Impacts of the Proposed Project:

The owners have proposed the following additions for contemporary usage.

EAST (FRONT) ELEVATION (primary, altered)

This is a primary elevation that has been somewhat altered by the 1976 enclosure of the original entry, adjacent to the kitchen wing at the north end of the elevation. A garage, modified in 1980 screens the location of the proposed one-story family room, as does the high fencing and hedging along its Camino Real elevation (see photos and plans & drawings provided).

As proposed, the family room will be located toward the rear (west) of the kitchen wing, on an inconspicuous elevation of the historic building. Its size and scale is limited in relationship to the historic building envelope, with the roof line kept low. The exterior wall-cladding will be wood shingles, but of a different pattern than that found on the main building block, as will the pattern of muntins on the proposed Craftsman style windows and wood French door access. It will also be visually screened from the street by the existing garage.

The treatment is consistent with those recommended in the Secretary's Standards for Rehabilitation to assure that the character-defining features of the historic building are not radically changed, and that the new construction is compatible with the site, preserving the historic relationship between building, landscape features and open space.

Measured drawings and photo-documentation of the existing north side-elevation of the kitchen wing will be made, as well as retention or reuse of any historic window removals, in order to insure that if the addition is removed in future, the essential form and integrity of the historic property and its environment would be unimpaired, consistent with Rehabilitation Standard #10 (see copy of Rehabilitation Standards provided).

The proposed bathroom extension on the north end of the second floor elevation will be visible from Camino Real, and will require the removal of one existing window, components of which will be reused as part of the proposed addition.

In accordance with the Rehabilitation Standards recommendations for new additions, the proposed bathroom extension will be kept small in scale, and stepped down from the historic roof line of the original second floor, so as not to obscure or radically change the historic appearance of the building envelope.

As noted above, the exterior wall-cladding will be wood shingles, but of a different pattern than that found on the main building block, as will the pattern of muntins on the proposed Craftsman style windows.

Two small bathroom windows, located south of the entry along this elevation will be shifted slightly to accommodate an interior bathroom expansion. They will remain, retaining their current spatial relationship (see photos and plans & drawings provided).

NORTH SIDE-ELEVATION (secondary, altered)

The proposed ground floor family room addition will be almost fully screened from the adjacent property to the north by an existing high, vine covered fence. There will be no height increase on the historic building envelope, or loss of existing views by the slight expansion of the second floor bathroom. Roof forms and wall-claddings remain essentially the same as does the rhythm of solid and voids in the fenestration. The current railing on the existing 2004 rear deck and its stepped approach will be enclosed and extended to meet the railing running along the rear (west) elevation, cleaning up its design visually. The historic character of the residence will be preserved by a very limited alteration of features, spaces and spatial relationships that characterize the property, consistent with Rehabilitation Standard #2.

WEST (REAR) ELEVATION (secondary, altered)

Changes to the rear elevation, aside from the family room and second floor bathroom extension, addressed above, will be toward the south, where a partially below grade, one-story bedroom and bath, with an open deck above is proposed (see photos, plans & drawings provided).

The new bedroom/bath space would be below the ground floor-plate, reached from an interior staircase, with a small, sunken exterior terrace at the rear (west), having one window, and two sets of French doors, accessing the terrace to provide code required light and air as well as egress from the new living space.

The roof deck will provide the same code required egress for an existing bedroom on the east side of the ground floor. The proposed deck railing would match those on the existing 2004 deck spaces. The current tripartite window on the west elevation of the existing bedroom would be replaced by a set of wood French doors, designed to match, in kind, the existing fenestration. The original windows will be retained and appropriately stored/or reused in the proposed rehabilitation.

An exterior wall-cladding of horizontal wood siding, matching that found on the existing 2004 decks, will both unify these features, and differentiate the old from the new, consistent with Rehabilitation Standards # 9 and #10.

SOUTH SIDE-ELEVATION (primary).

The proposed open deck railing will rise just slightly above the new one-story bedroom addition proposed for the west side of this elevation. The new exterior wall cladding, will match, in kind, the existing wood shingle siding.

The current tripartite living room window, on the west elevation of south side-elevation will be replaced by a set of wood French doors, accessing the new deck. The design of the new feature will match, in kind, the existing fenestration. The original windows will be retained and appropriately stored/or reused in the proposed rehabilitation.

NOTE: The south side of the historic house is considered a primary elevation, as it faces on Ocean Avenue, a public right-of-way. However, it is almost impossible to see the residence from the street or sidewalk because of the dense, mature vegetation that fronts the property.

The Alfred P. Fraser House was officially listed May 25, 2005 on the Carmel Inventory of Historic Resources at the local level of significance for its association with an important figure in Carmel's history, and as an early and excellent Craftsman Style design.

The proposed work will be in adherence to the Secretary of the Interior's edict encouraging the placing of new additions on non-character-defining elevations and locating alterations and additions to the historic property in areas where previous changes already exist.

As proposed, the work shall reuse, to the extent feasible, any available historic building material, and where necessary match required replacement features, in kind. New work will be clearly differentiated from the old, but compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. If removed in future, the essential form and integrity of the historic resource and its environment will be unimpaired.

Conclusion:

The proposed work on the subject property will be executed consistent with the Secretary's Standards for Rehabilitation, with the least possible loss of historic material so that the remaining character-defining features of the resource will not be obscured, damaged or destroyed. The proposed alterations are reversible. As proposed the new work will not cause a significant change to the listed historic building and will not create a significant adverse effect on the environment.

Mitigation:

The proposed project I appears to be in conformance with the *Secretary of The Interiors Standards for the Treatment of Historic Properties* under the *Standard for Rehabilitation*. (see documentation, photos and plans & drawings provided). No mitigation is needed for this project.

Respectfully Submitted,

Kurt S. Seawall

ATTACHMENT C

SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES (Rehabilitation)

1. "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."
2. "The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."
3. "Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."
4. "Most properties change over time; changes that have acquired historic significance in their own right shall be retained and preserved."
5. "Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."
6. "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, and pictorial evidence."
7. "Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."
8. "Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."
9. "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."
10. "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."



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MAR 17 2016

City of Carmel-by-the-Sea
Planning & Building Dept.



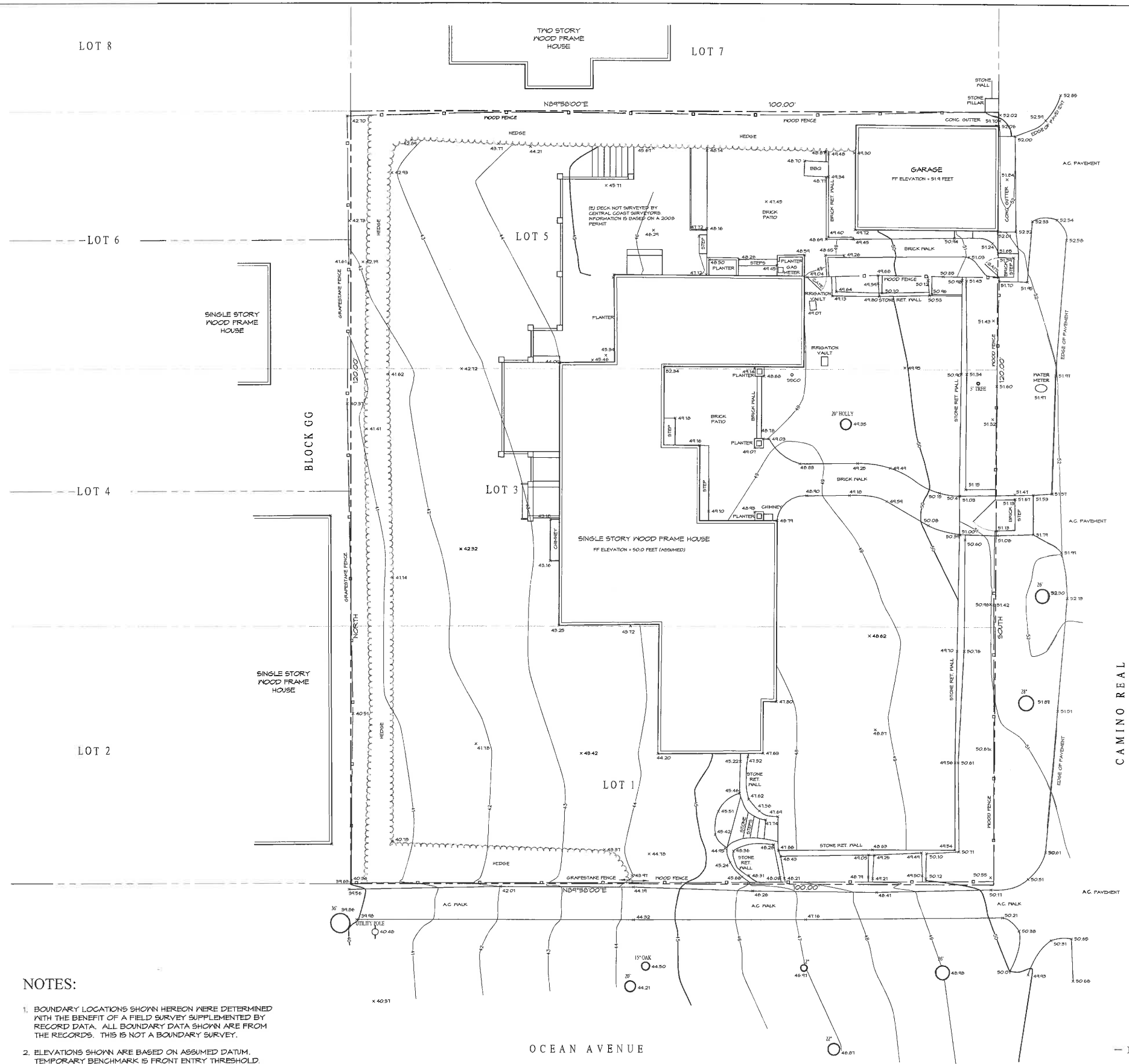


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MAR 17 2016

City of Carmel-by-the-Sea
Planning & Building Dept.



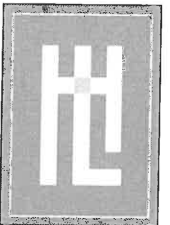


NOTES:

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
2. ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. TEMPORARY BENCHMARK IS FRONT ENTRY THRESHOLD.
ELEVATION = 50.0 FEET (ASSUMED)
3. CONTOUR INTERVAL = ONE FOOT.
4. TREE TYPES ARE PINE UNLESS OTHERWISE INDICATED. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. MULTI-PRONGED TREES LABELED "X-P".



TOPOGRAPHIC MAP		
OF		
LOTS 1, 3 & 5 IN BLOCK 66		
ADDITION NO. 3, CARMEL-BY-THE-SEA		
VOLUME 2, "CITIES AND TOWNS", PAGE 5		
RECORDS OF MONTEREY COUNTY		
CITY OF CARMEL	COUNTY OF MONTEREY	STATE OF CALIFORNIA
PREPARED FOR		
Holdren Lietzke Design		
BY		
CENTRAL COAST SURVEYORS		
5 HARRIS COURT, SUITE A-11 MONTEREY, CALIFORNIA 93940		
Phone: (831) 394-4930		
Fax: (831) 394-4931		
SCALE: 1" = 8'	JOB No. 04-119	AUGUST 2004
PREPARED BY: WNM		
APN 010-252-011		



HOLDREN+LIETZKE
ARCHITECTURE

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Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 02/05/16

SCALE: 1/8" = 1'-0"

DRAWN: SGC

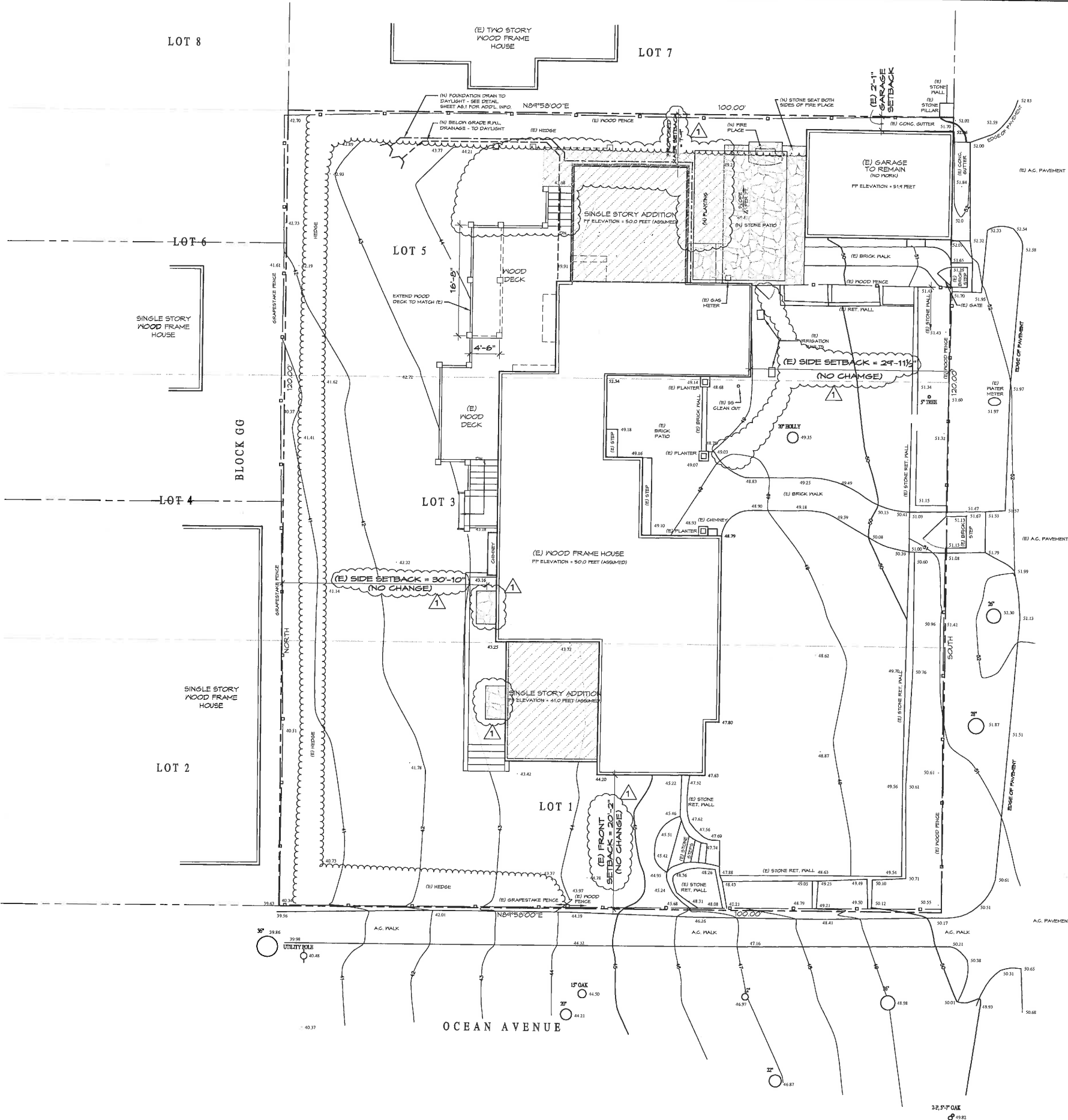
JOB NUMBER: 14.04

REVISION

1 PLANNING COMMENTS
03/14/16

SITE / DRAINAGE PLAN
TAYLOR RESIDENCE REMODEL
NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011

A1.2



SURVEY NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
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- CONTOUR INTERVAL = ONE FOOT.

TREE TYPES ARE PINE UNLESS OTHERWISE INDICATED. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. MULTI-PRONGED TREES LABELED "X-P".

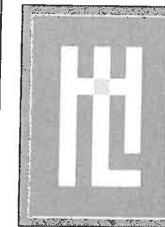
PROPOSED SITE/DRAINAGE PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- (E) BUILDING TO REMAIN
- AREA OF (N) ADDITION
- AREA OF FILL
- (E) CONSTRUCTION TO BE REMOVED

NOTES

- PERCENTAGE OF EXTERIOR WALL TO BE TAKEN DOWN OR COVERED = 7.4%
- NO GRADING IS PROPOSED OFF SITE IN THE PUBLIC RIGHT OF WAY.
- NO CUT/FILL AREAS AROUND THE PROPERTY'S EXISTING TREES



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SCALE: 1/4"=1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION
PLANNING COMMENTS
03/14/16

EXISTING FLOOR & ROOF PLANS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921

A.P.N. 010-252-011

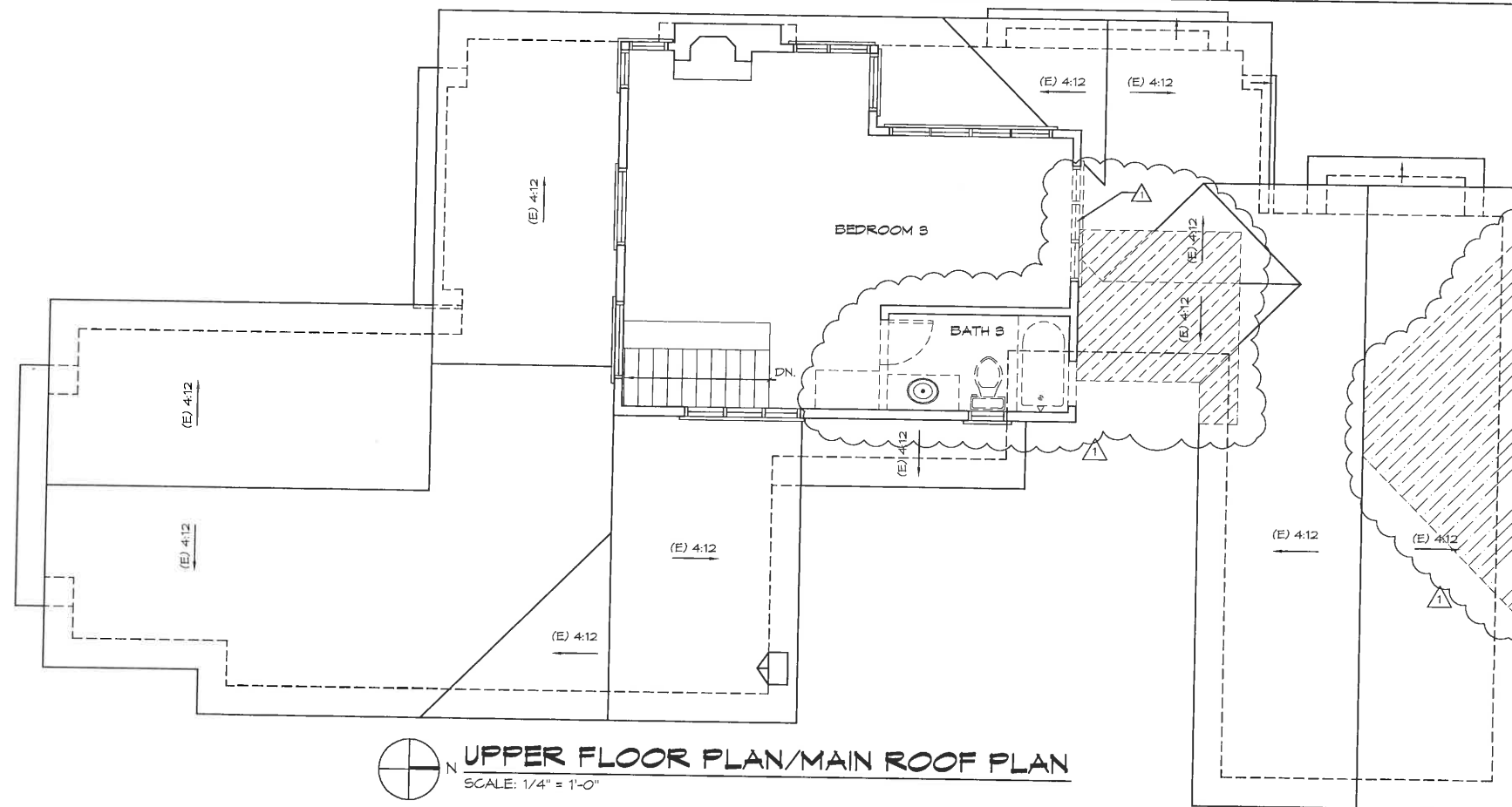
A2.0

KEY NOTES

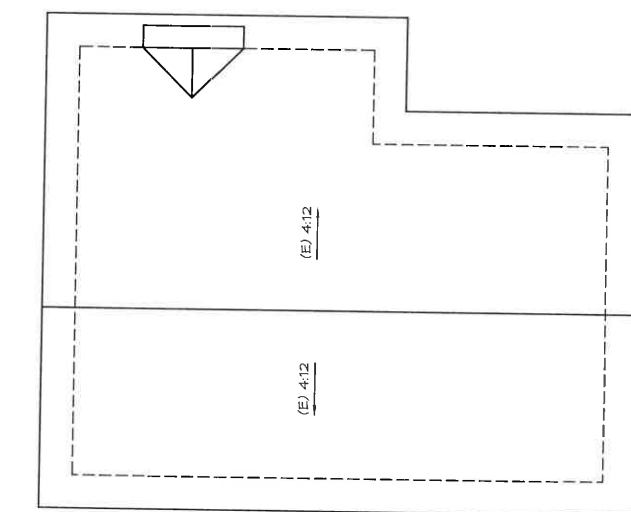
- △ REMOVE EXISTING WINDOW WITH CARE AND PERMANENTLY STORE ON SITE PROTECTED FROM THE ELEMENTS.
- △ REMOVE EXISTING WINDOW WITH CARE AND TEMPORARILY STORE ON SITE PROTECTED FROM THE ELEMENTS FOR RE-INSTALLATION PER NEW PLAN
- △ REMOVE LAV WITH CAR AND TEMPORARILY STORE ON SITE PROTECTED FROM THE ELEMENTS FOR RE-INSTALLATION PER NEW PLAN

LEGEND

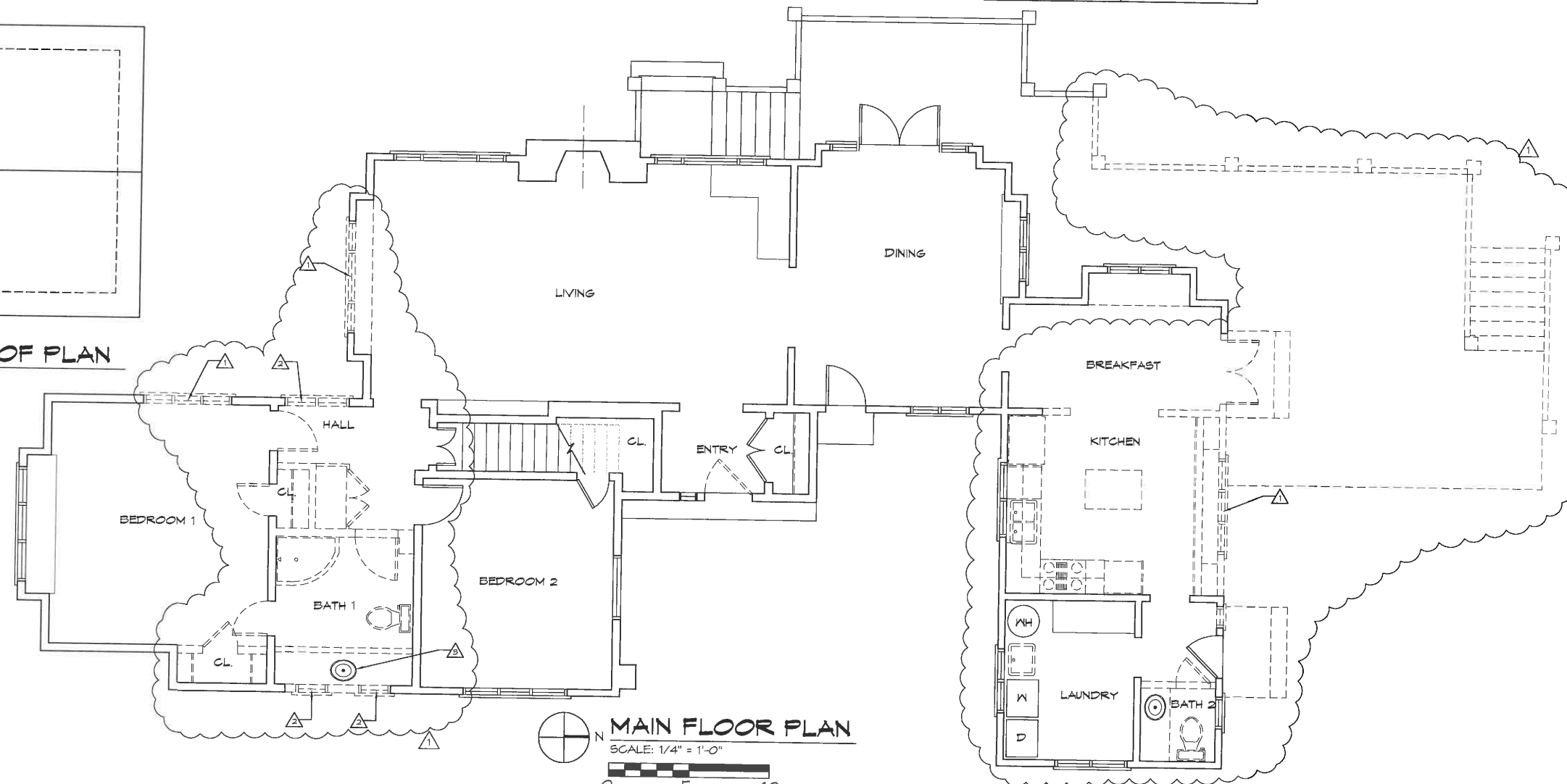
- (E) WALL TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED
- (E) ROOF TO MATERIAL TO BE REMOVED TO PLYWOOD TO ALLOW FOR NEW ROOF
- (E) ROOF TO BE REMOVED TO ALLOW FOR NEW UPPER FLOOR ADDITION
- (E) ROOF RAFTER TAILS TO BE REMOVED TO ALLOW FOR NEW MAIN FLOOR ADDITION



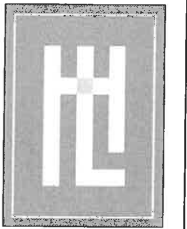
UPPER FLOOR PLAN/MAIN ROOF PLAN
SCALE: 1/4" = 1'-0"



UPPER FLOOR ROOF PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



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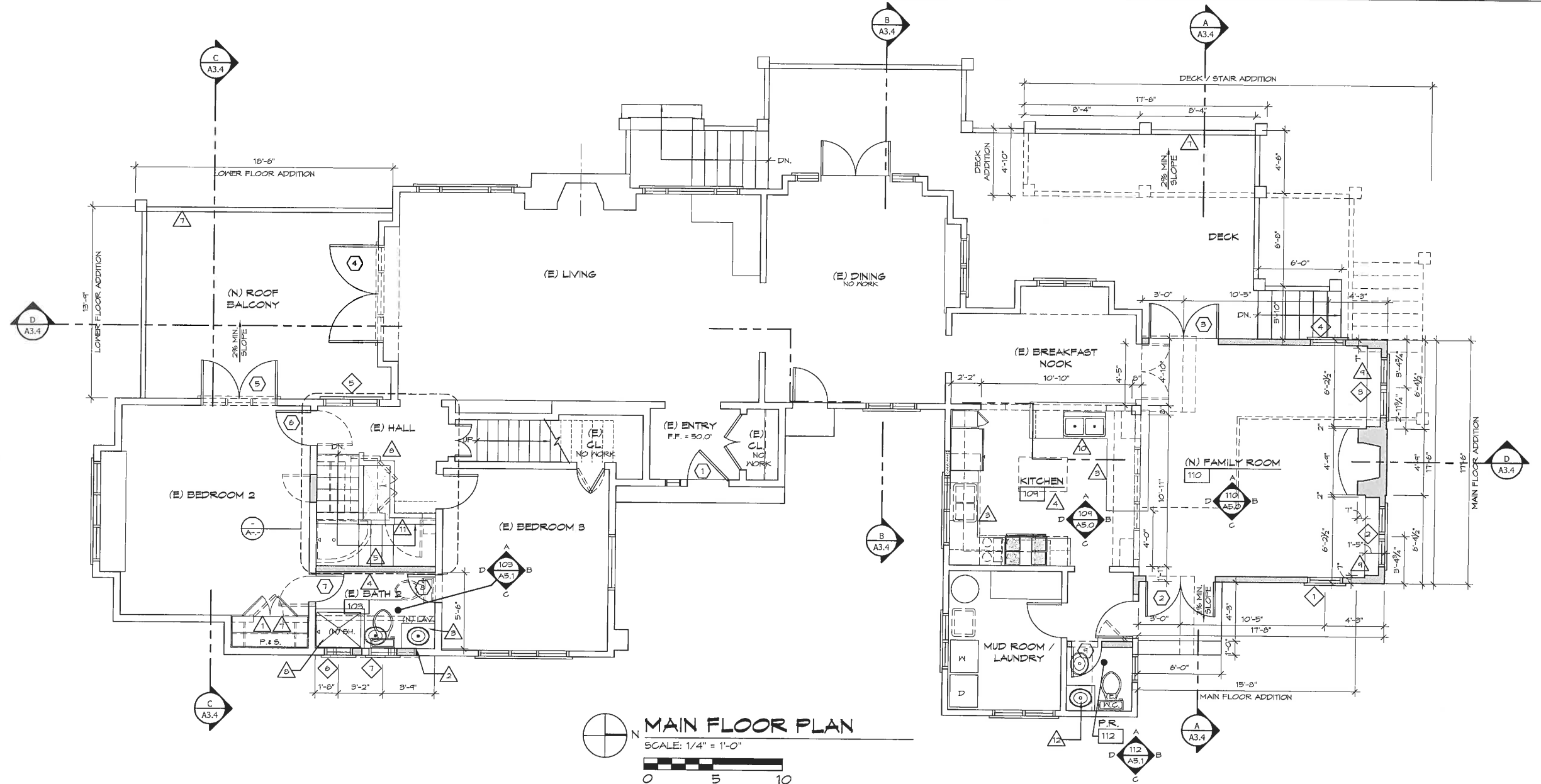
DATE: 02/05/16

SCALE: 1/4" = 1'-0"

DRAWN: SSC

JOB NUMBER: 14.04

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MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
0 5 10

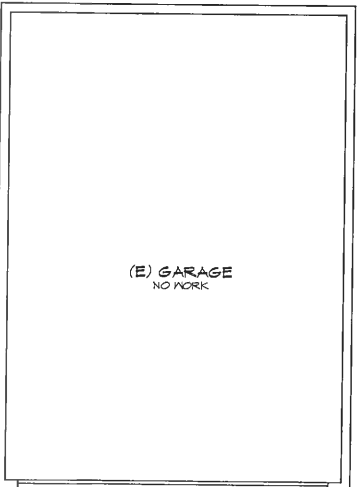
- NOTES:
1. SEE CIVIL & LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 2. SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION. SLOPE 5% MIN. AWAY FROM BLDG. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION.
 3. VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE.

KEYNOTES

1. CLOSET - SYSTEM BY OTHERS
2. MEDICINE CHEST W/ PAINTED WOOD DOOR OR MIRROR WHERE INDICATED
3. 36" HIGH CABINET W/ WATERPROOF COUNTERTOP - UPPIERS ABOVE WHERE INDICATED. PROVIDE BLACKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER.
4. PROVIDE BLK'G FOR WALL MOUNTED ACCESSORIES AS REQ'D.
5. 36" H. HANDRAIL AND 42" H. GUARD - SEE STAIR DETAILS FOR ADDITIONAL INFORMATION.
6. 42" HT. GUARDRAIL - RAIL & RAIL CONNECTION SHALL RESIST 200 LBS. PER LINEAR FOOT LOAD APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. SEE SHEET AT.1 FOR ADDITIONAL INFORMATION.
7. 1 1/2" Ø POLE MTD. @ 60" A.F.F. W/ PAINTED WOOD 1X12 SHELF ABOVE.
8. TILE SHOWER/TUB TO 70" ABOVE FLOOR. SLOPE FLOOR TO DRAIN
9. WOOD SHELVES - SEE INT. ELEV'S. - FINAL DESIGN SHALL BE APPROVED BY OWNER.
10. VENTING FOR ISLAND FIXTURES SHALL COMPLY WITH SECTION 909 OF THE 2013 PLUMBING CODE.
11. PROVIDE 5/8" TYPE 'X' GYP. BD. @ ALL UNDERSTAIR SURFACES.
12. RELOCATE (E) LAV
13. MECHANICAL - SEE MECH. FOR ADDITIONAL INFORMATION

LEGEND

- (E) WALL TO REMAIN
- (N) 2X STUDS @ 16" O.C. W/ 5/8" G.M.B. - SEE STRUCT. - TAPE TEXTURE & PAINT TO MATCH (E)
- (E) CONSTRUCTION TO BE REMOVED



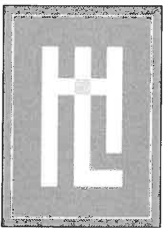
PROPOSED MAIN FLOOR PLAN

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN

CARMEL, CA 93921

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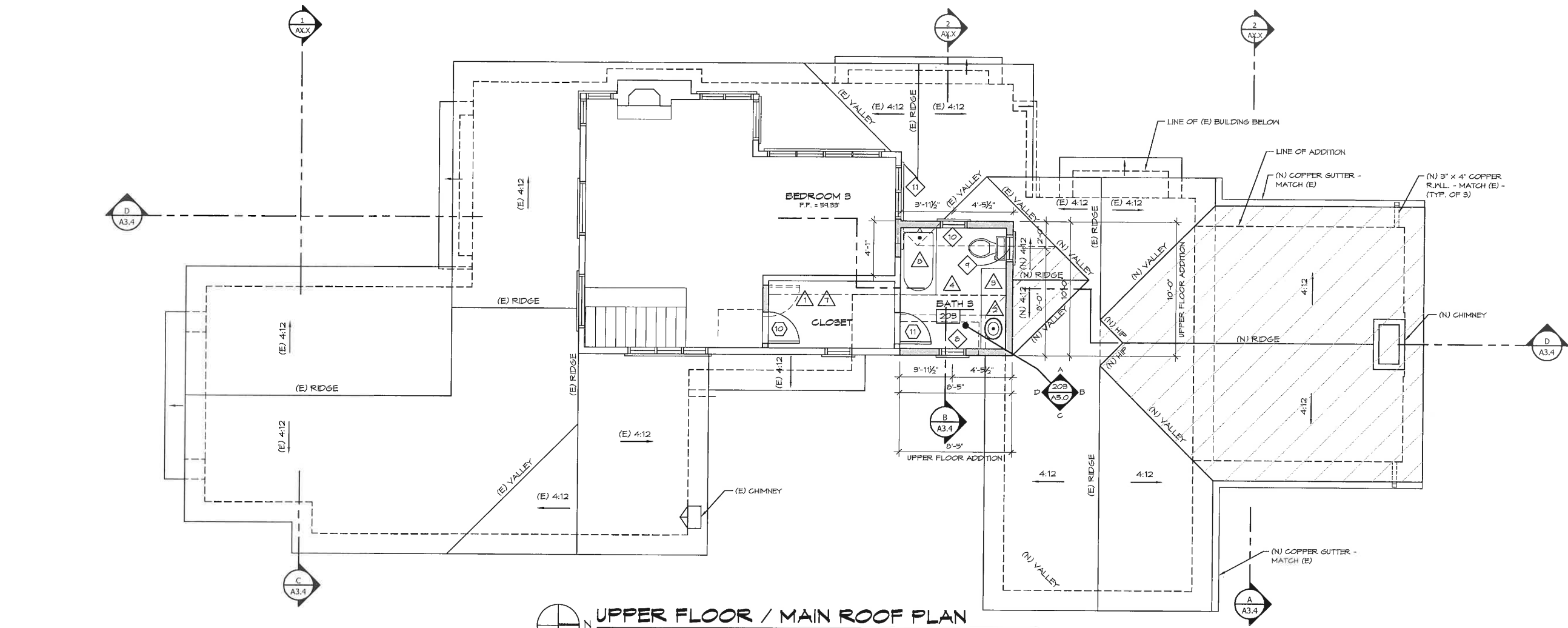
PROPOSED UPPER FLOOR/MAIN ROOF PLAN

TAYLOR RESIDENCE REMODEL

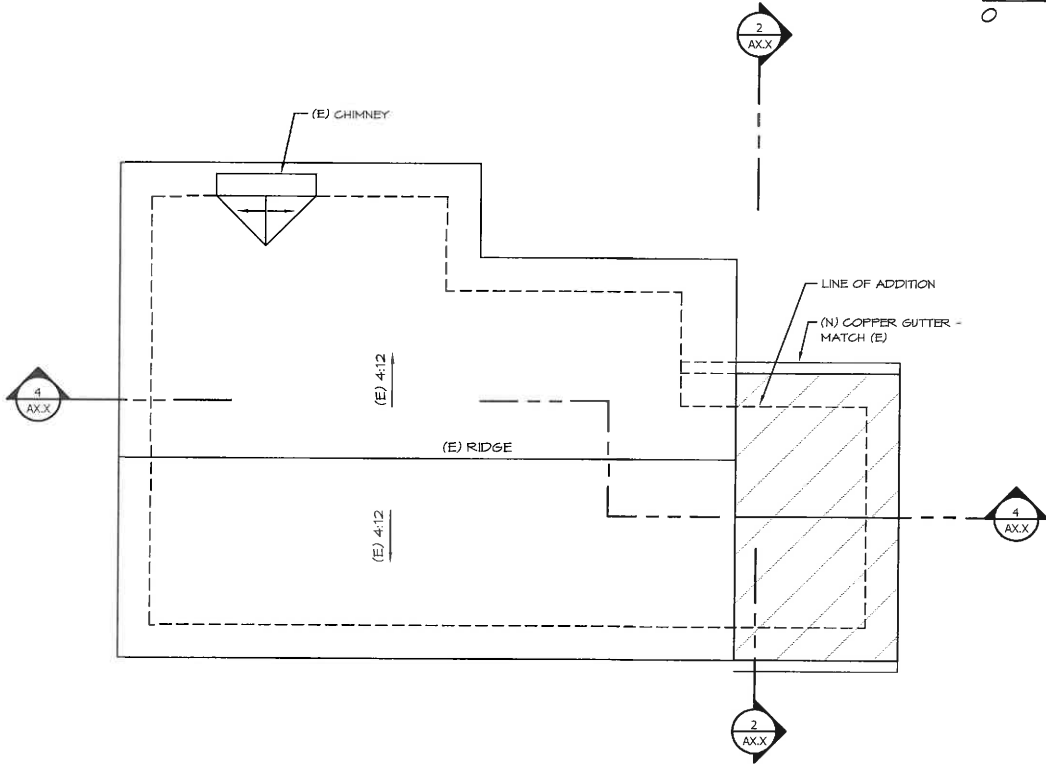
NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921

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A2.2



UPPER FLOOR / MAIN ROOF PLAN
SCALE: 1/4" = 1'-0"

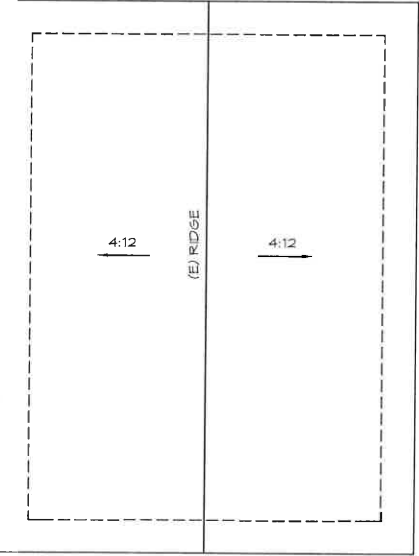


UPPER ROOF PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
1. SEE CIVIL & LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
 2. SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION. SLOPE 5% MIN. AWAY FROM BLDG. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION
 3. VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE

KEYNOTES

- 1 CLOSET - SYSTEM BY OTHERS
- 2 MEDICINE CHEST IV PAINTED WOOD DOOR OR MIRROR WHERE INDICATED
- 3 36" HIGH CABINET IV WATERPROOF COUNTERTOP - UPPIERS ABOVE WHERE INDICATED. PROVIDE BLACKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER.
- 4 PROVIDE BLK'G FOR WALL MOUNTED ACCESSORIES AS REQ'D.
- 5 36" H. HANDRAIL AND 42" H. GUARD - SEE STAIR DETAILS FOR ADDITIONAL INFORMATION
- 6 42" HT. GUARDRAIL - RAIL & RAIL CONNECTION SHALL RESIST 200 LBS. PER LINEAR FOOT LOAD APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. SEE SHEET A7.1 FOR ADDITIONAL INFORMATION.
- 7 1 1/2" Ø POLE MTD. @ 60" A.F.F. IV PAINTED WOOD 1X12 SHELF ABOVE.
- 8 TILE SHOWER/TUB TO 10" ABOVE FLOOR, SLOPE FLOOR TO DRAIN
- 9 WOOD SHELVES - SEE INT. ELEV'S. - FINAL DESIGN SHALL BE APPROVED BY OWNER.
- 10 VENTING FOR ISLAND FIXTURES SHALL COMPLY WITH SECTION 909 OF THE 2013 PLUMBING CODE.
- 11 PROVIDE 5/8" TYPE 'X' GYP. BD. @ ALL UNDERSTAIR SURFACES.
- 12 RELOCATE (E) LAV
- 13 MECHANICAL - SEE MECH. FOR ADDITIONAL INFORMATION



LEGEND	
	(E) WALL TO REMAIN
	(N) 2X6 STUDS @ 16" O.C. U.O.N. IV 5/8" TYPE 'X' GYP. BD. - TAPE TEXTURE & PAINT TO MATCH (E)
	LOCATION OF (N) ROOF - MATERIALS AND SLOPE TO MATCH (E) ROOF



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NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATIONS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
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A.P.N. 010-252-011

A3.0



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EXISTING ELEVATIONS
TAYLOR RESIDENCE REMODEL
NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011

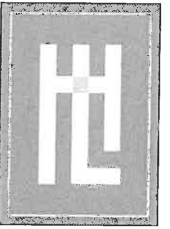
A3.1



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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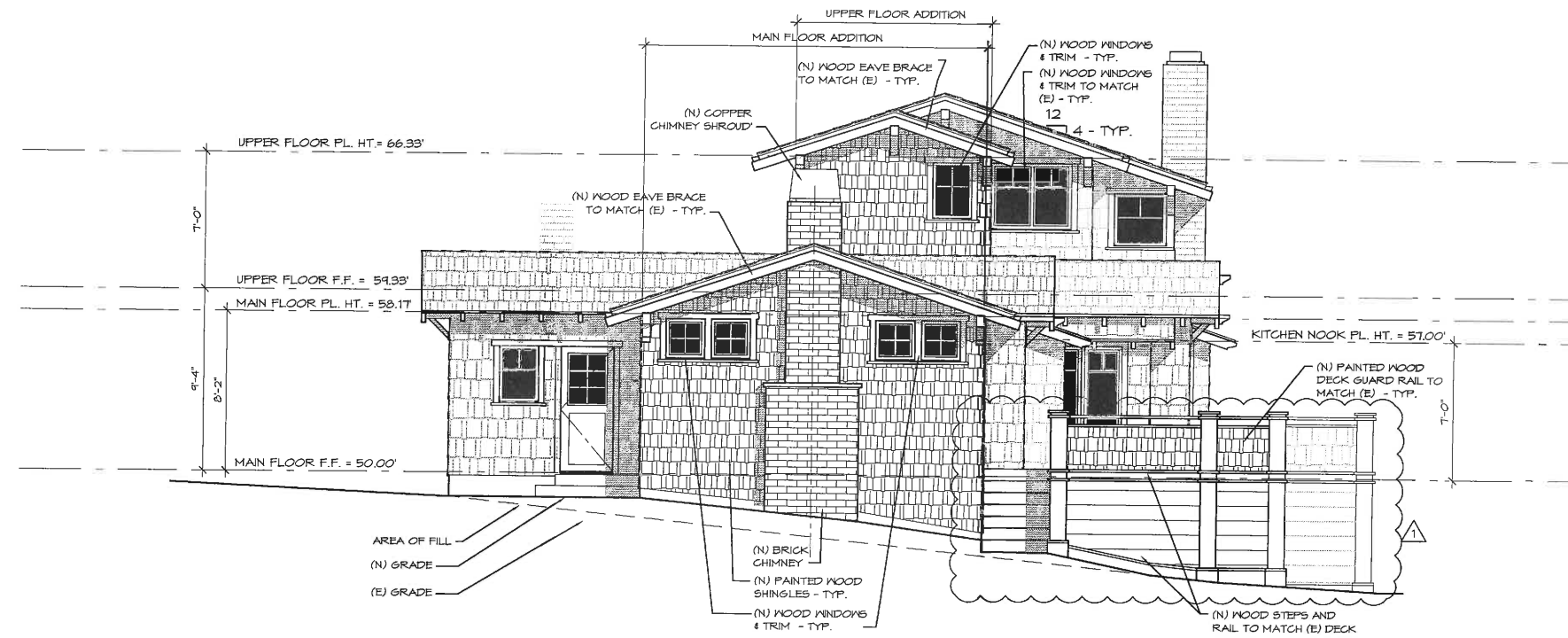
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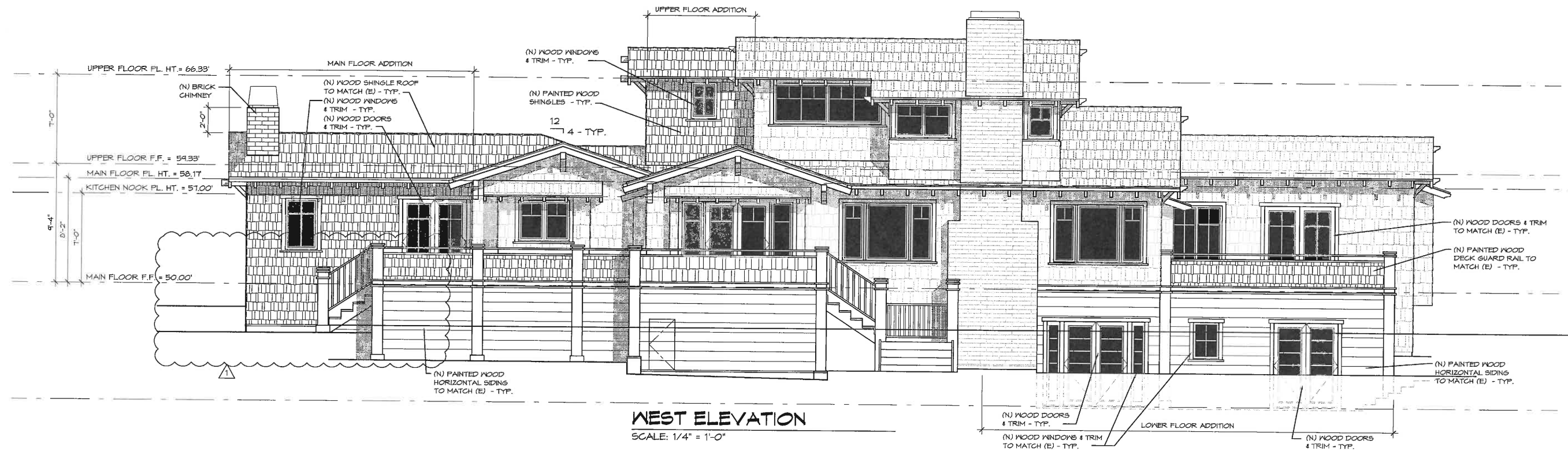
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1
PLANNING COMMENTS
03/14/16



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED ELEVATIONS

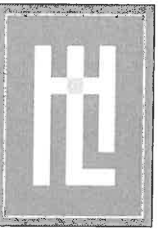
TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN

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A3.2



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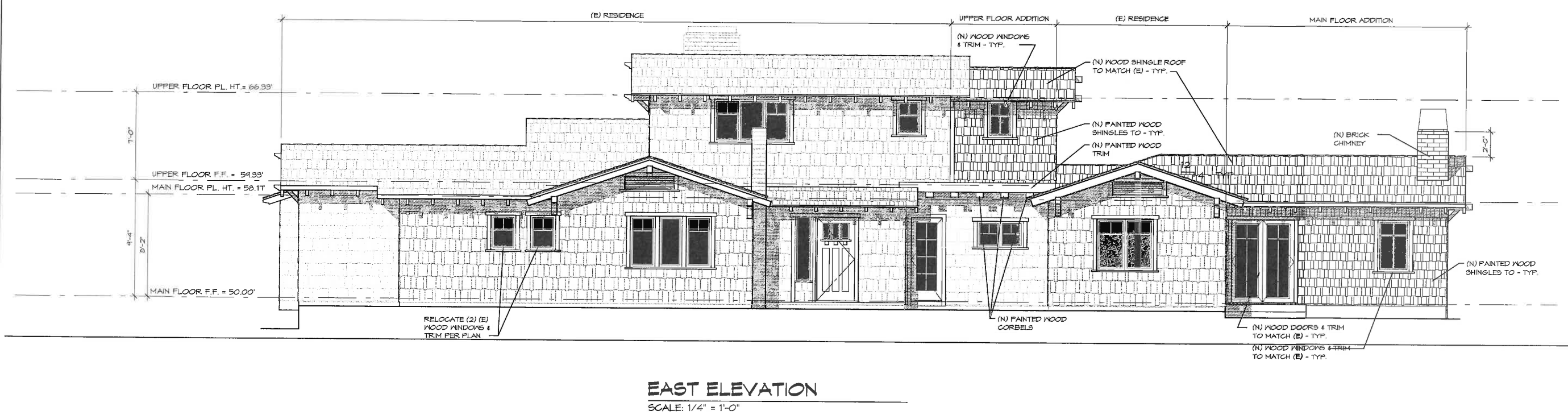
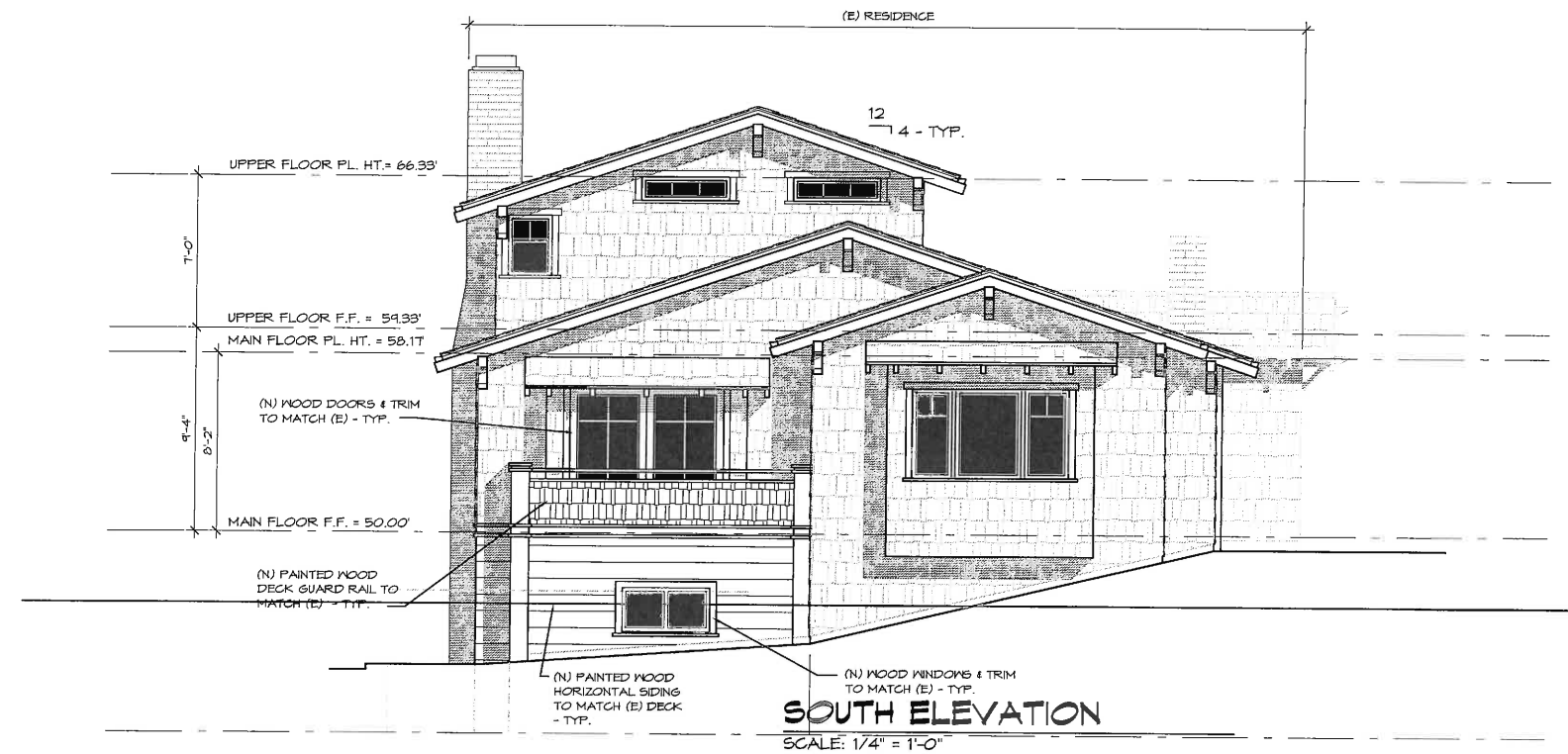
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SCALE: 1/4"=1'-0"

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JOB NUMBER: 14.04

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PROPOSED ELEVATIONS

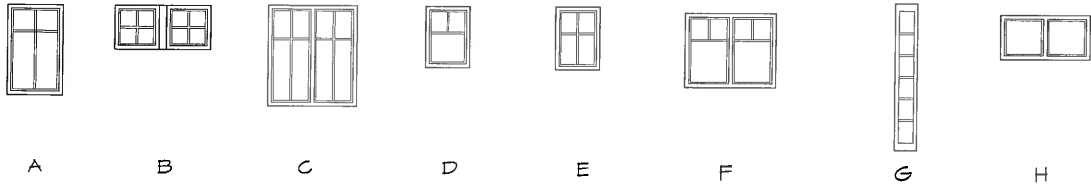
TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN

CARMEL, CA 93921

A.P.N. 010-252-011

A3.3



WINDOW NOTES

GENERAL GLAZING NOTES:

WINDOWS: WOOD

- VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
- EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS. EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E II", ARGON FILLED.
- INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE TEST SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCES. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:
 - GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.
 - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
 - GLAZING IN ALL UNFRAMED SWINGING DOORS.
 - GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE DRAIN OUTLET.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
- VERIFY SWING HAND OF OPERABLE WINDOWS. SEE A3.1 & A3.2 BUILDING ELEVATIONS.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20", NET CLEAR OPENING HEIGHT OF 2'-11".
- PROVIDE JAMBS EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
- VERIFY DIVIDED LIGHT CONFIGURATION FOR EACH WINDOW PRIOR TO ORDER. SEE A3.1 & A3.2 BUILDING ELEVATIONS. ALSO, CONTACT THE WINDOW MANUFACTURER. SINCE DIVIDED LIGHT CONFIGURATION MAY BE SUBJECT TO FACTORY APPROVAL.
- SEE TYPICAL WINDOW FLASHING REQUIREMENTS BELOW FOR ADDITIONAL INFORMATION.
- ALL WINDOW GLAZING SHALL INCLUDE WATERPROOFING POLYMER ADDITIVE. VERIFY MANUFACTURER WITH OWNER.
- MANUFACTURER TO PROVIDE JAMB AND SILL EXTENSIONS AS REQUIRED. SEE WINDOW DETAILS.
- WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD WINDOWS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.

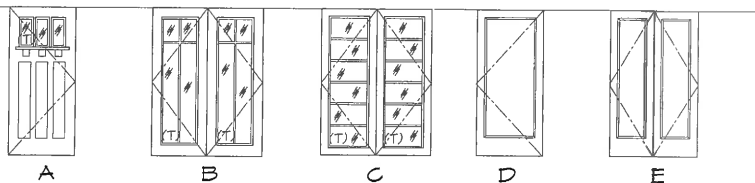
WINDOW SCHEDULE - WOOD W/TEMPERED GLAZING

NOTE: SEE WINDOW NOTE 4, SHEET A4.2 FOR ADDITIONAL GLAZING INFORMATION

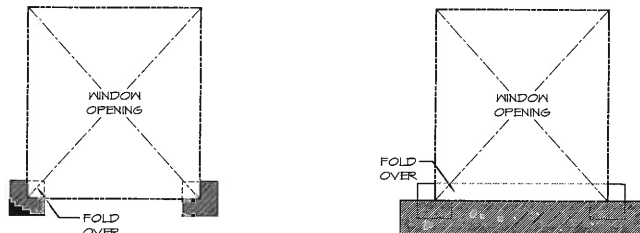
MARK	TYPE	NOMINAL DIMENSIONS		HEAD HEIGHT (ABOVE FIN. FLR.)	FRAME (EXT/INT)	GLAZING	DETAILS (SEE SHEET A4.4 U.O.N.)			REMARKS
		WIDTH	HEIGHT				HEAD	JAMB	SILL	
1	A	CASEMENT	PAIR 3'-0"	8'-8"	WOOD	DOUBLE INSULATED				
2	B	FIXED	TRIPLE 3'-0"	7'-9"	WOOD	DOUBLE INSULATED				
3	B	FIXED	3'-0"	2'-0"	WOOD	DOUBLE INSULATED				
4	A	CASEMENT	3'-0"	7'-9"	WOOD	DOUBLE INSULATED				
5	C	CASEMENT	3'-0"	7'-9"	WOOD	DOUBLE INSULATED				
6	D	CASEMENT	PAIR 3'-0"	7'-9"	WOOD	DOUBLE INSULATED				EGRESS WINDOW - SEE WINDOW NOTE 6, SHEET A4.2
7	D	CASEMENT	2'-6"	3'-9"	WOOD	DOUBLE INSULATED				
8	E	CASEMENT	3'-0"	7'-9"	WOOD	DOUBLE INSULATED				
9	E	CASEMENT	PAIR 3'-0"	7'-9"	WOOD	DOUBLE INSULATED				EGRESS WINDOW - SEE WINDOW NOTE 6, SHEET A4.2
10	E	CASEMENT	PAIR 3'-0"	8'-6"	WOOD	DOUBLE INSULATED				
11	F	CASEMENT	2'-7"	8'-6"	WOOD	DOUBLE INSULATED				
12	G	FIXED	3'-10"	8'-8"	WOOD	DOUBLE INSULATED				
13	G	FIXED	2'-7"	8'-8"	WOOD	DOUBLE INSULATED				
14	E	CASEMENT	PAIR 3'-0"	8'-6"	WOOD	DOUBLE INSULATED				
15	H	CASEMENT	3'-6"	5'-0"	WOOD	DOUBLE INSULATED				

DOOR TYPES

HEADER HEIGHT SEE SCHEDULE



TYPICAL WINDOW FLASHING

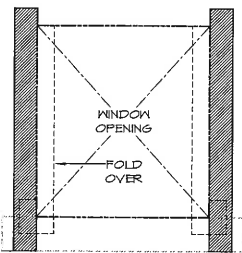


- INSTALL 12" sq. SELF-ADHESIVE MEMBRANE CORNER PATCHES
- FOLD ENDS IN AT JAMBS.
- ENSURE MEMBRANE EXTENDS TO FULL WALL WIDTH ON EXTERIOR FACE.

- INSTALL 12" sq. SELF-ADHESIVE MEMBRANE STRIP AT WINDOW SILL.
- LAP SILL MEMBRANE OVER CORNER PATCHES.
- ENSURE MEMBRANE EXTENDS MIN. 6" BEYOND CORNER PATCHES.
- FOLD O/SILL STRIP TO ENSURE THAT MEMBRANE EXTENDS TO FULL WALL WIDTH.

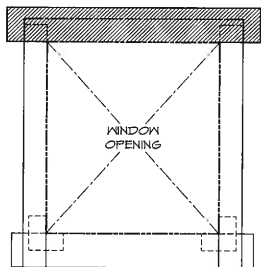
GENERAL NOTES:

- ENSURE ALL SURFACES TO RECEIVE MEMBRANE FLASHING ARE CLEAN AND DRY.
- ENSURE MEMBRANE IS WELL SEATED AGAINST EXTERIOR VAPOR BARRIER (HOUSE WRAP) - EXERCISE CARE SO AS TO REDUCE WRINKLES IN APPLIED MEMBRANES.
- AT ALL ALUMINUM WINDOWS OF ANY KIND, NO COPPER SHALL BE PLACED IN DIRECT CONTACT WITH THE WINDOW ELEMENT; ONLY A MIN. 16OZ G.I. FLASHING SHALL BE USED.



STEP THREE

- INSTALL 6" WIDE SELF-ADHESIVE MEMBRANE STRIP AT WINDOW JAMBS.
- LAP JAMB MEMBRANE O/SILL MEMBRANE.
- FOLD OVER JAMB STRIPS TO ENSURE THAT MEMBRANE EXTENDS TO FULL WALL WIDTH.



STEP FOUR

- INSTALL WINDOW PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- INSTALL 16 OUNCE G.I. HEAD FLASHING EXTEND PAST WINDOW OPENING TO EDGE OF JAMB MEMBRANE.
- INSTALL 12" WIDE SELF-ADHESIVE MEMBRANE OVER 16 OZ. G.I. FLASHING, EXTEND 6" PAST JAMB MEMBRANE.

DOOR SCHEDULE

MARK	TYPE	NOMINAL DIMENSIONS			CORE	FINISH	FRAME	HARDWARE	DETAILS (SEE SHEET A4.5 U.O.N.)			REMARKS
		WIDTH	HEIGHT	THK.					HEAD	JAMB	THRESH.	
1	A	EXTERIOR	3'-0"	6'-8"	2-1/4" MIN.	S.C.	STAIN	WOOD	DEADBOLT LOCKSET			
2	B	EXTERIOR	PR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
3	B	EXTERIOR	PR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
4	B	EXTERIOR	PR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
5	B	EXTERIOR	PR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
6	D	INTERIOR	2'-6"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
7	D	INTERIOR	2'-0"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
8	D	INTERIOR	2'-0"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
9	C	INTERIOR	2'-2"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
10	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
11	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
12	C	EXTERIOR	PR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
13	C	EXTERIOR	PR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
14	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
15	E	INTERIOR	PR. 1'-6"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
16	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
17	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
18	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
19	E	INTERIOR	PR. 1'-6"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
20	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
21	D	INTERIOR	2'-4"	4'-6"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			SELF CLOSING, TIGHT FITTING 1-3/8" THICK MIN. SOLID WOOD OR 20-MINUTE RATED FIRE ASSEMBLY

DOOR NOTES

HARDWARE NOTES

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N. :

- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- PROVIDE 4" X 4" BUTTS ON ALL DOORS.
- ALL HARDWARE TO HAVE FINISH PER OWNER.
- ALL FIRE RATED DOORS SHALL HAVE PEMKO 5080 (OR EQUAL) SMOKE SEALS.

DOOR NOTES

- SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR OPERATION
- ALL DOOR GLAZING TO BE TEMPERED:
 - S.G. = STAIN GRADE
 - P.G. = PAINT GRADE
- TEMPERED GL. - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING
- VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
- WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD WINDOWS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.



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MONTEREY, CA 93940

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DATE: 03/16/16

SCALE: 1/4"=1'-0"

DRAWN: SGC

JOB NUMBER: 15.06

REVISION

WINDOW & DOOR SCHEDULE

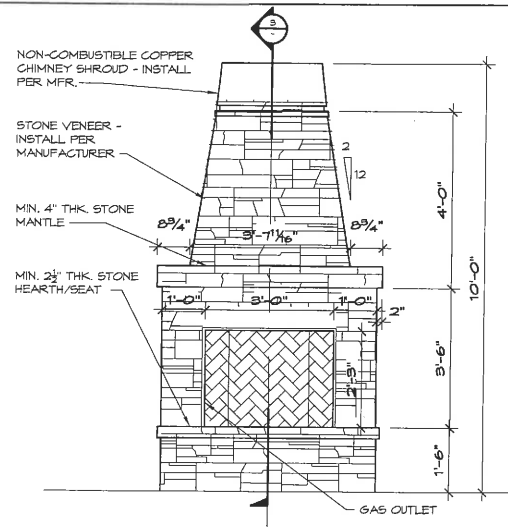
TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN

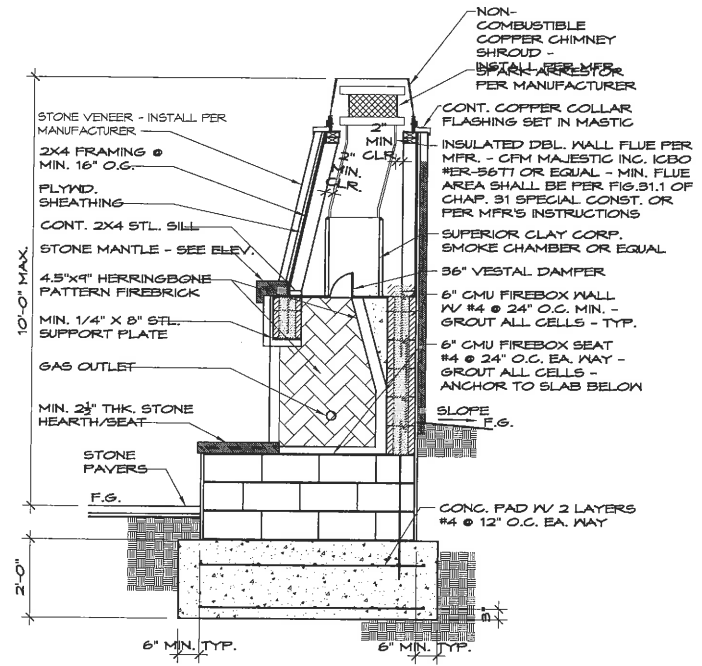
CARMEL, CA 93921

A.P.N. 010-252-011

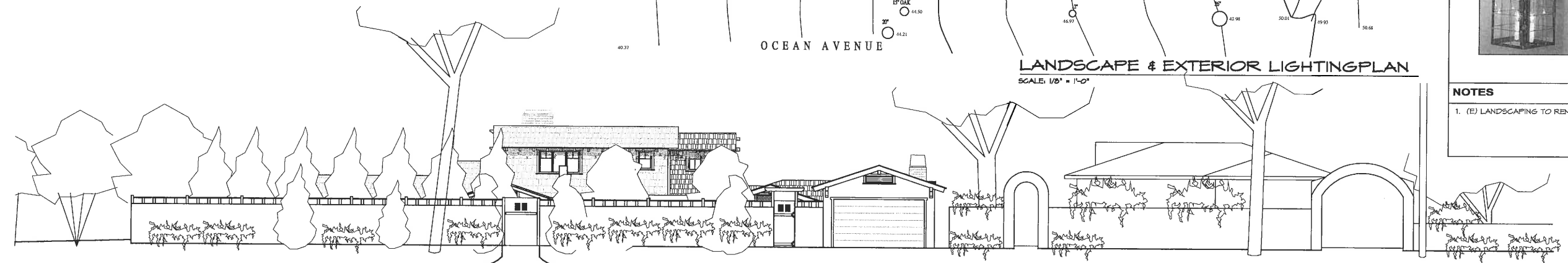
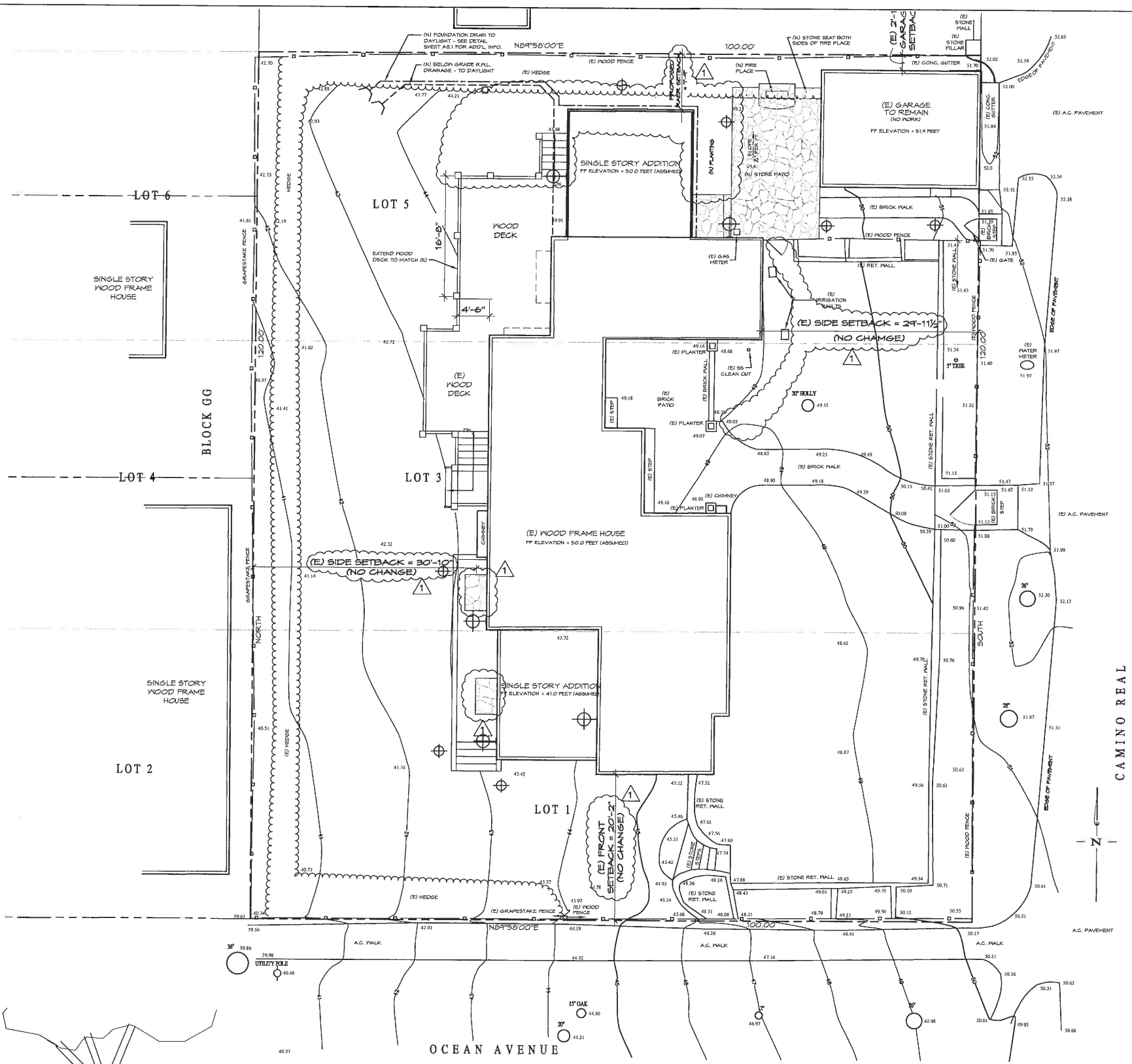
A4.1



1 EXTERIOR FIRE PIT ELEVATION
SCALE: 1/2" = 1'-0"

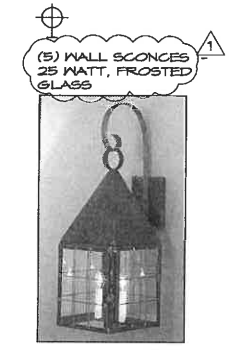


2 EXTERIOR FIRE PIT SECTION
SCALE: 1/2" = 1'-0"



PLANT LIST & SYMBOL KEY

NEPHROLEPS CORDIFOLIA	
VACCINIUM OVATUM	
CARPENTERIA CALIFORNICA	
ROSMARINUS TRENE	
CERCAS OCCIDENTALS	
CAMELLIA SASSANGUA SETSUGAKA	
LEPTOM CONDENSATUS CANYON PRINCE	
LIRIOPE MUSCARI SILVER DRAGON	



NOTES
1. (E) LANDSCAPING TO REMAIN U.O.N.

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DATE: 01/25/16
SCALE: 1/8" = 1'-0"
DRAWN: SGC
JOB NUMBER: 14.04
REVISION
1 03/14/16

LANDSCAPE PLAN / STREET ELEVATION
TAYLOR RESIDENCE REMODEL
NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011