

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD
MEETING AGENDA**

Monday, August 20, 2018
2:00 p.m. Tour of Inspection
4:00 p.m. Open Session

City Hall Council Chambers
East side of Monte Verde Street
Between Ocean and Seventh Avenues

A. CALL TO ORDER AND ROLL CALL

BOARD MEMBERS:

ERIK DYAR, CHAIR
KATHRYN GUALTIERI, VICE CHAIR
LYNN MOMBOISSE
THOMAS HOOD
ALEX HEISINGER

B. TOUR OF INSPECTION

Shortly after 2:00 p.m., the Board will leave City Hall for an on-site Tour of Inspection. The public is welcome to follow the Historic Resources Board on its tour of the subject sites. The Board will return to City Hall at 4:00 p.m., or as soon thereafter as possible.

C. PLEDGE OF ALLEGIANCE

D. APPEARANCES

Anyone wishing to address the Board on matters within the jurisdiction of the Board may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Board's agenda will not receive action at this meeting, but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as established by the Board. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

D. ITEM

- | | |
|---|--|
| 1. DR 18-261 (Grasing's Restaurant)
Thomas Hood, Architect
NW Corner of Mission St & Sixth Ave.
Block: 57; Lot(s): 17 & 19
APN: 010-132-016 | Consideration of a Design Review (DR 18-261) for a new trellis and patio improvements to the rooftop deck of an existing restaurant located in the Central Commercial (CC) and Downtown Conservation Overlay (DC) Zoning Districts |
| 2. DS 17-459 (Rezai)
Mohammad Rezai, Property Owner
NE Corner of Forest Road and Eighth Ave.
Block: 3; Lot: 11
APN: 009-202-015 | Consideration of a Design Study (DS 17-459) for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District |

3. DS 18-171 (Fremont Land Co., LLC)
Daniel Archer, Agent
Casanova 4 SE of Ninth Ave.
Block: D; Lot: 12
APN: 010-186-013

Consideration of a Design Study (DS 17-171)
for alterations to a historic residence located in
the Single-Family Residential (R-1) Zoning
District

4. DS 18-142 (Schuler)
Eric Miller Architects, Architect
San Antonio 3 SW of Fourth Ave.
Block: SS, Lot: 3
APN: 010-321-024

Consideration of a Determination of Ineligibility
for an existing residence located within the
Sand and Sea development in the Single-
Family Residential (R-1) Zoning District

G. ADJOURNMENT

Any writings or documents provided to a majority of the Historic Resources Board regarding any item on this agenda will be made available for public inspection in the Planning and Building Department located at City Hall, on Monte Verde between Ocean and 7th Avenues during normal business hours.

The next regular meeting of the Historic Resources Board: Monday, September 17, 2018

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. The City of Carmel-by-the-Sea Telecommunication's Device for the Deaf/Speech Impaired (TDD) number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request to the Board Secretary. If you need assistance, please advise the Board Secretary what item you would like to comment on, and the microphone will be brought to you.

AFFIDAVIT OF POSTING

I, Marc E. Wiener, AICP, Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board and posted at the Harrison Memorial Library on Ocean and Lincoln, August 15, 2018.

Dated this 15th day of August 2018, at the hour of 3:00 p.m.

Marc E. Wiener, AICP, Community Planning and Building Director



CITY OF CARMEL-BY-THE-SEA
Historic Resources Board Report

August 20, 2018

To: Chair Dyar and Board Members

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Evan Kort, Assistant Planner

Subject: Consideration of a Design Review (DR 18-261) for a new trellis and patio improvements to the rooftop deck of an existing restaurant located at the northwest corner of Mission Street and Sixth Avenue in the Central Commercial (CC) and Downtown Conservation Overlay (DC) Zoning Districts.

Application: DR 18-261 **APN:** 010-132-016
Block: 57 **Lots:** 17 & 19
Location: Northwest corner of Mission Street and Sixth Avenue
Applicant: Thomas Hood, Architect **Property Owner:** D & K 6th Street LLC

Executive Summary:

The applicant is seeking approval of a Design Review application for a new trellis and roof deck upgrades to the existing rooftop dining area at Grasing's Restaurant located at the northwest corner of Mission Street and Sixth Avenue in the Central Commercial (CC) Zoning District.

Recommendation:

Staff recommends the Historic Resources Board find the proposed project consistent with the context of the surround Downtown Conservation District.

Background and Project Description:

The applicant is proposing modifications to the existing rooftop deck of Grasing's Restaurant. The restaurant has a rooftop deck that was approved to be used for outdoor dining under Use Permit (UP 10-06). The applicant has submitted a proposal to install a wooden trellis on the rooftop deck with wood planter boxes on the exterior, frameless sliding glass wind screens, a new stucco enclosure for an existing exhaust fan, and a retractable fabric awning to cover the trellis. The proposed trellis would have dimensions of 21'3" x 31'10" and would be approximately 12'8" feet high as measured from the floor of the rooftop deck, or 23'8" tall as measured from grade. All materials and finishes are proposed to match the existing building.

The new rooftop deck will provide seating for 24 patrons as currently permitted under Use Permit UP 18-237.

Staff analysis:

The subject site is located within the Downtown Conservation District Overlay, and is therefore subject to review by the Historic Resources Board prior to review and final action by the Director or the Planning Commission. The subject site is not a historic resource, and is not eligible to be listed as a historic resource due to the age of the building (constructed in 1976). Per CMC 17.20.280.B a structure that is located in the Downtown Conservation District, and not considered a historic property is subject to the following review from the Historic Resources Board:

“Nonhistoric Properties. Projects affecting properties determined not to be historic shall require a review and recommendation from the Historic Resources Board prior to review and final action by the Planning Commission or the Planning Director. The purpose of this review shall be limited to advising the decision-making body on (1) the project’s consistency with the established design context of Ocean Avenue and the surrounding commercial area, and (2) identifying any potential impacts on nearby historic resources. The following findings shall be used by the Board in making its recommendations:

- 1. All proposed new development shall not exceed the greater of the base floor area ratio requirements identified in CMC 17.14.140 or the existing floor area of the site.*
- 2. The proposed development is consistent with the established design context of the conservation district and will not adversely affect any historic resources on the project site or on adjacent sites.”*

The purpose of this review shall be limited to advising the decision-making body on (1) the project’s consistency with the established design context of Ocean Avenue and the surrounding commercial area, and (2) identifying any potential impacts on nearby historic resources.

The following standards shall be used by the Board in evaluating this project:

Standard #1. All proposed new development shall not exceed the greater of the base floor area ratio requirements identified in CMC 17.14.140 or the existing floor area of the site.

Analysis: The proposed trellis will not add any additional floor area to the subject site. Per CMC 17.70.020, floor area is defined as, *“The total gross square footage included within the surrounding exterior walls of all floors contained within all enclosed buildings on a building site.”* The trellis structure and deck improvements leave the roof area substantially open to the elements and therefore, the roof deck does not qualify as being enclosed within a building.

Standard #2. The proposed development is consistent with the established design context of the conservation district and will not adversely affect any historic resources on the project site or on adjacent sites.

Analysis: The project site is located along the northern boundary just within the Downtown Conservation District (Attachment 1). As the project site relates to adjacent historic properties, 5 historic properties are within the vicinity of the subject site (Attachment 2). The historic properties include: Devendorf Park, the Reardon Building, the Carmel Fire Station, the Goold Building, and the Carmel Development Company Building, however, the Reardon Building, and the Carmel Development Company Building do not have frontage facing the subject site. In staff's opinion, the proposed site modifications will not have an adverse affect on the nearby historic resources, or the Conservation District as a whole, as the proposed site modifications are architecturally compatible with the existing site, and the area surrounding the site. The proposed modifications complement the existing building and surrounding area, and are compatible with the Commercial Design Guidelines.

Commercial Design Guidelines. Guideline A3. *"Building forms should complement the rhythms established by other buildings in the immediate vicinity. Such patterns as height, number of stories, width of storefronts, scale of building forms, eave heights, and sizes of doors and windows should be used as guides to establish the context for new or remodeled buildings."*

Analysis: The subject roof deck modification is compatible with the buildings in the immediate vicinity in terms of height, mass, and scale. The proposed trellis feature will add height to the existing roof deck, however, the height of the trellis is proposed to be between the heights of the two existing roof elements on either side of the trellis (see South Elevation, sheet A3.2). This progression of height allows for a seamless progression of building heights as one moves from the corner of the block toward the middle of the block. Additionally, the overall mass and scale of the roof deck modifications are minimized as the trellis is substantially open, and uses natural materials and finishes.

Commercial Design Guidelines. Guideline E: Materials, Textures, and Colors. *"Building materials and colors should respect the traditions already established in the commercial district. The use of richly detailed wood, tile, moldings, corbels, brick, and stone, as well as landscaping, are encouraged."*

Analysis: The new trellis is proposed to be constructed from natural wood, and painted to match the existing wood trim of the building. Additionally, a wood planter box is proposed to be located on the deck handrail around the perimeter of the deck. The finishes of the new deck addition are compatible with the existing restaurant and contribute to the overall character of the site.

Site Improvement. *“The basic standard of review in the commercial district is whether the project constitutes an improvement over existing conditions – not whether the project just meets minimum standards.”* CMC 17.14.100

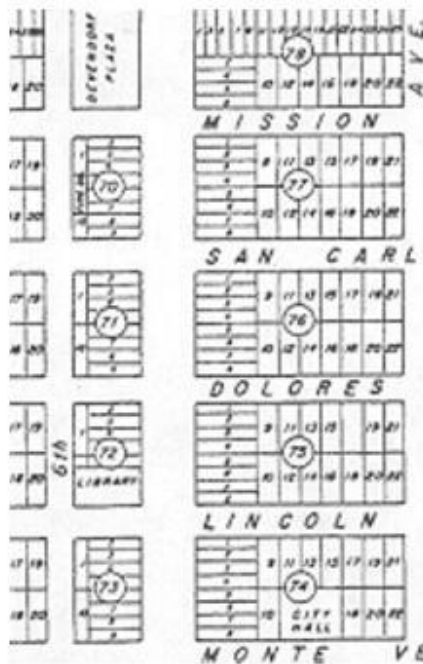
Analysis: The proposed trellis and roof top modifications present an opportunity to improve the site. The current roof deck lacks the defining characteristics seen in the existing restaurant, adjacent building, and adjacent interior court. The proposed modifications will compliment the surrounding area in a way which the existing roof deck fails to achieve.

Environmental Review: The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project consists of a new trellis over an open rooftop patio with no increase in floor area.

ATTACHMENTS:

- Attachment 1 – Downtown Conservation District Overlay Map
- Attachment 2 – Map of Adjacent Historic Resources
- Attachment 3 – Photos
- Attachment 4 – Project Plans

DR 18-261 (Grasings)
8/20/2018
Downtown Conservation District Boundary



Downtown Conservation District: Those building sites that include all or portions of the following lots:

Block	Lots
54	17 - 20
55	19 - 22
56	19 - 22
57	17 - 20
58	18, 20, 25, 26
70	All lots
71	All lots
72	All lots
73	All lots
74	All lots
75	All lots
76	All lots
77	All lots
78	All (street frontages only)
Devendorf Park	All

DR 18-261 (Grasings)
8/20/2018
Adjacent Historic Properties



1	Historic Resource	Carmel Development Co. Building
2	Historic Resource	Goold Building
3	Historic Resource	Carmel Fire Station
4	Historic Resource	Reardon Building
5	Historic Resource	Devendorf Park
6	Project Site	Grasings



18-261 (Grasings)

8/20/2018

Photos



Figure 1: Carmel Development Co. Building (Historic)



Figure 2: Gould Building (from Ocean & San Carlos) (Historic)

18-261 (Grasings)

8/20/2018

Photos



Figure 3: Goold Building (from San Carlos & 6th) (Historic)



Figure 4: Carmel Fire Station (Historic)



Figure 5: Reardon Building (from Ocean & Mission) (Historic)



Figure 6: Reardon Building (From project site) (Historic)

18-261 (Grasings)

8/20/2018

Photos



Figure 7: Project Site



Figure 8: Project Site

18-261 (Grasings)

8/20/2018

Photos



Figure 9: Project Site



Figure 10: Project site (from deck; looking away from 6th Ave)

18-261 (Grasings)

8/20/2018

Photos



Figure 10: Project site (from deck; looking toward 6th Ave)



Figure 12: Fire Station & Goold Building from project site roof

18-261 (Grasings)

8/20/2018

Photos



Figure 13: Project Site (from Devendorf Park)

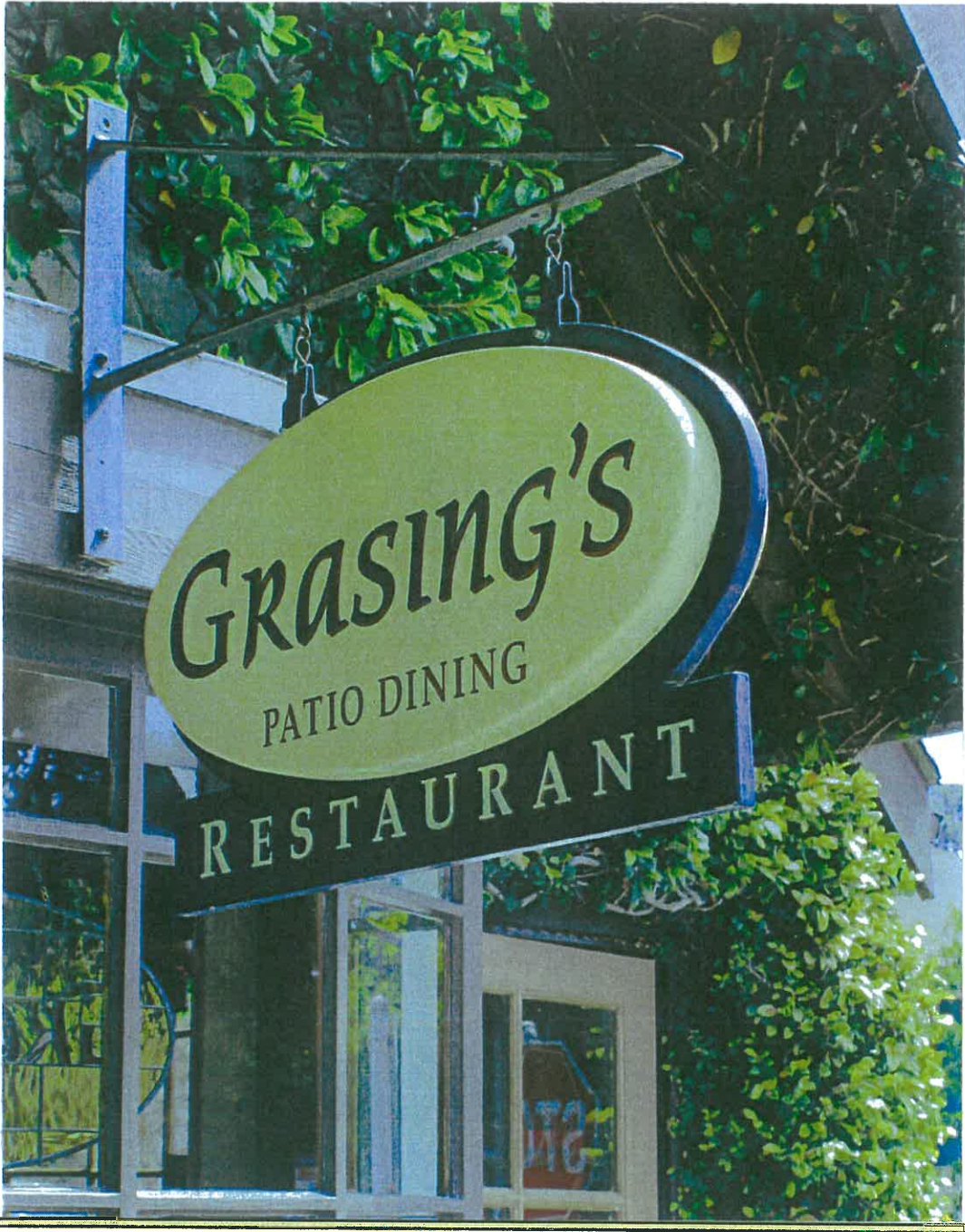


Figure 14: Devendorf Park (Historic)

USE PERMIT and DESIGN REVIEW APPLICATION

GRASING'S RESTAURANT
6TH & MISSION
CARMEL-by-the-SEA

REPAIRS and IMPROVEMENTS
to the
EXISTING ROOF DECK



HOOD

© THOMAS BATEMAN HOOD ARCHITECTURE
SW Corner 4th & Lincoln, Carmel
831-622-9912 tom@t-hood.com
2018

PLANNING DEPARTMENT SUBMITTAL JULY 10, 2018

RECEIVED

JUL 11 2018

City of Carmel-by-the-Sea
Planning & Building Dept.





COURTYARD VIEW FROM NORTHWEST



GENERAL VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST



DECK & STAIR FROM NORTHEAST



SIDEWALK VIEW FROM WEST



SIDEWALK VIEW FROM EAST



ENTRANCE & SIGNAGE



NORTH ELEVATION



TREES ON 6TH STREET



SOUTH ELEVATION

THOMAS BATEMAN HOOD
SW Corner of Lincoln & 4th Ave.
Carmel, California 93921
P.O. Box 4916
831 - 622 - 9912
tom@t-hood.com
www.thomasbatemanhood.com

PROJECT:
GRASINGS RESTAURANT
REPAIRS & IMPROVEMENTS
TO EXISTING ROOF DECK
MISSION & 6TH AVE
CARMEL CA 93921

APN: 010-132-016

OWNER:
D&K 6TH ST. LLC
1777 S. BASCOM AVE. #D
CAMPELL, CA 95008

REVISIONS:

△	
△	
△	
△	
△	

OWNERSHIP AND USE OF ARCHITECT'S DOCUMENTS
The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by the owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: TBH

PRINT DATE: 7-9-18

DRAWING DATE: 7-9-18

PAGE TITLE:

SITE PHOTOS

SCALE:

SHEET:

A1.1



KITCHEN EXHAUST FROM 6TH STREET



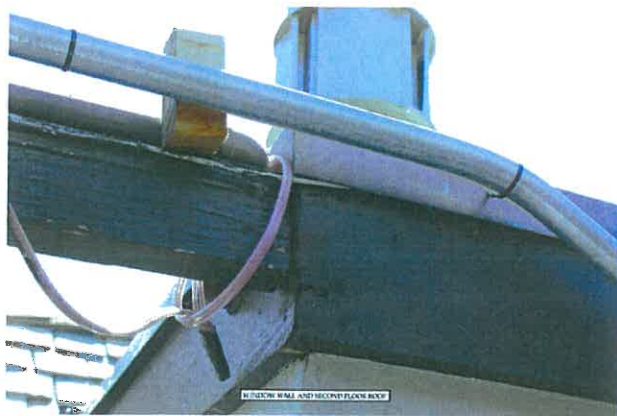
KITCHEN EXHAUST ENCLOSURE



VIEW NORTHWEST



DECK STAIR AT NORTHEAST CORNER



WOODEN BEAM AND REPAIR FROM ROOF



TYPICAL NOTCHED CONNECTION (WOODEN BEAM)



RAIL SCREEN



NORTHWEST VIEW FROM STREET

THOMAS BATEMAN HOOD
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Carmel, California 93921
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PROJECT:
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APN: 010-132-016

OWNER:
D&K 6TH ST. LLC
1777 S. BASCOM AVE. #D
CAMPELL, CA 95008

REVISIONS:

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The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by the owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: TBH

PRINT DATE: 7-9-18

DRAWING DATE: 7-9-18

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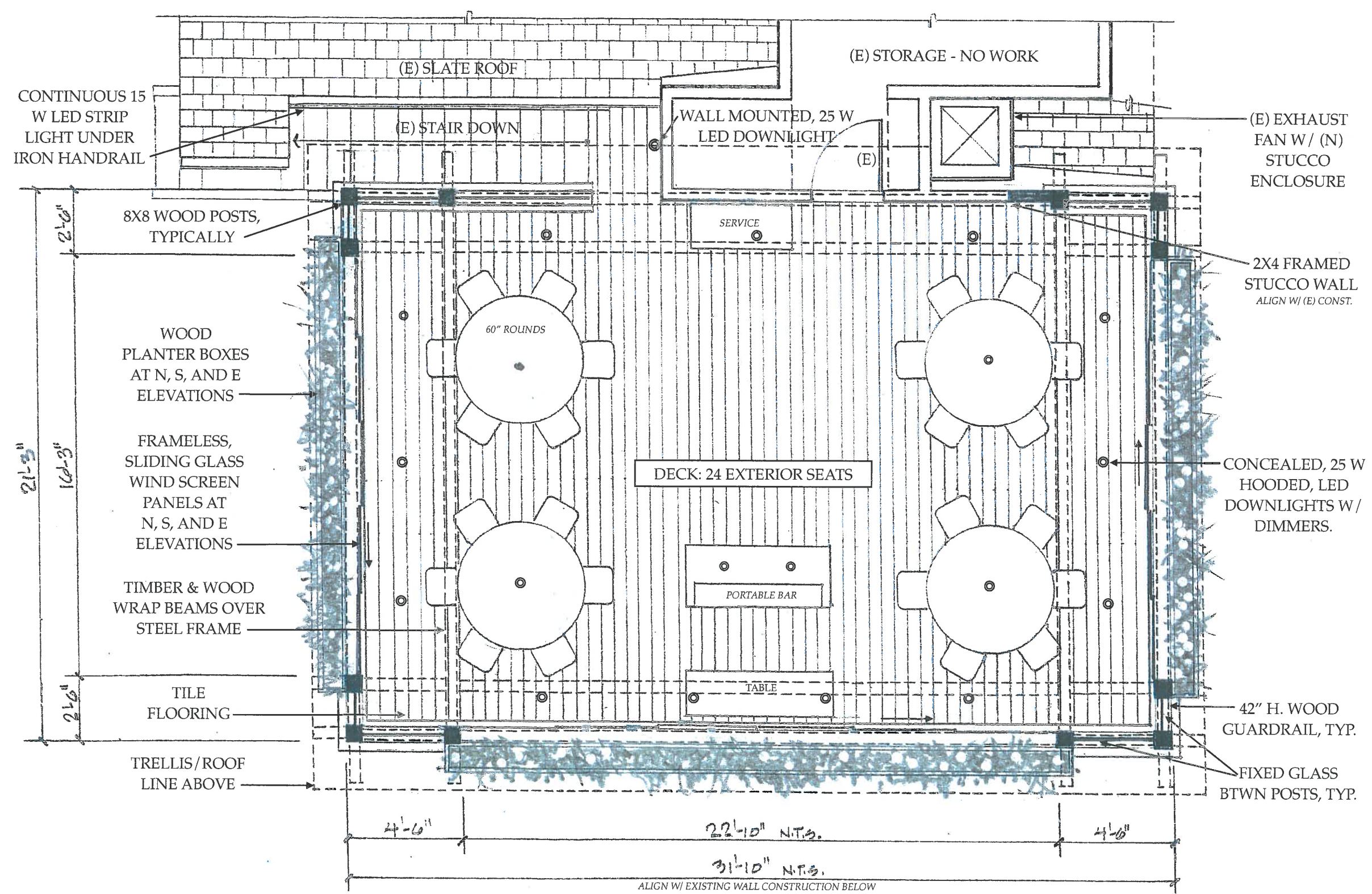
A1₉.2





SCALE: 1/4" = 1'-0"

A2.1



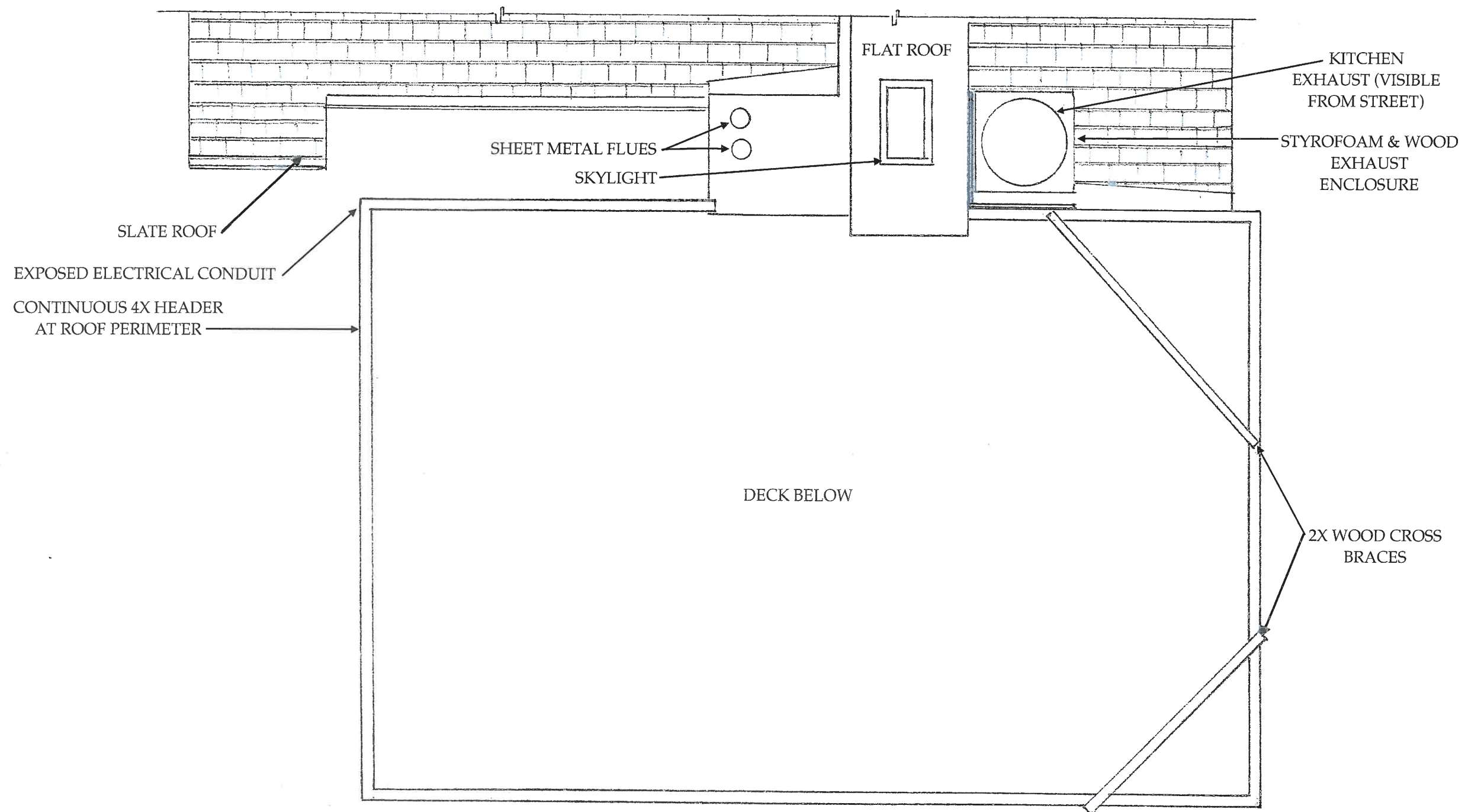
PROPOSED DECK IMPROVEMENT PLAN

SCALE: 1/4" = 1'-0"



EXISTING INTERIOR SEATING:	77
EXISTING EXTERIOR PATIO SEATING:	22
PROPOSED DECK SEATING:	24
TOTAL INT/EXT SEATING:	143

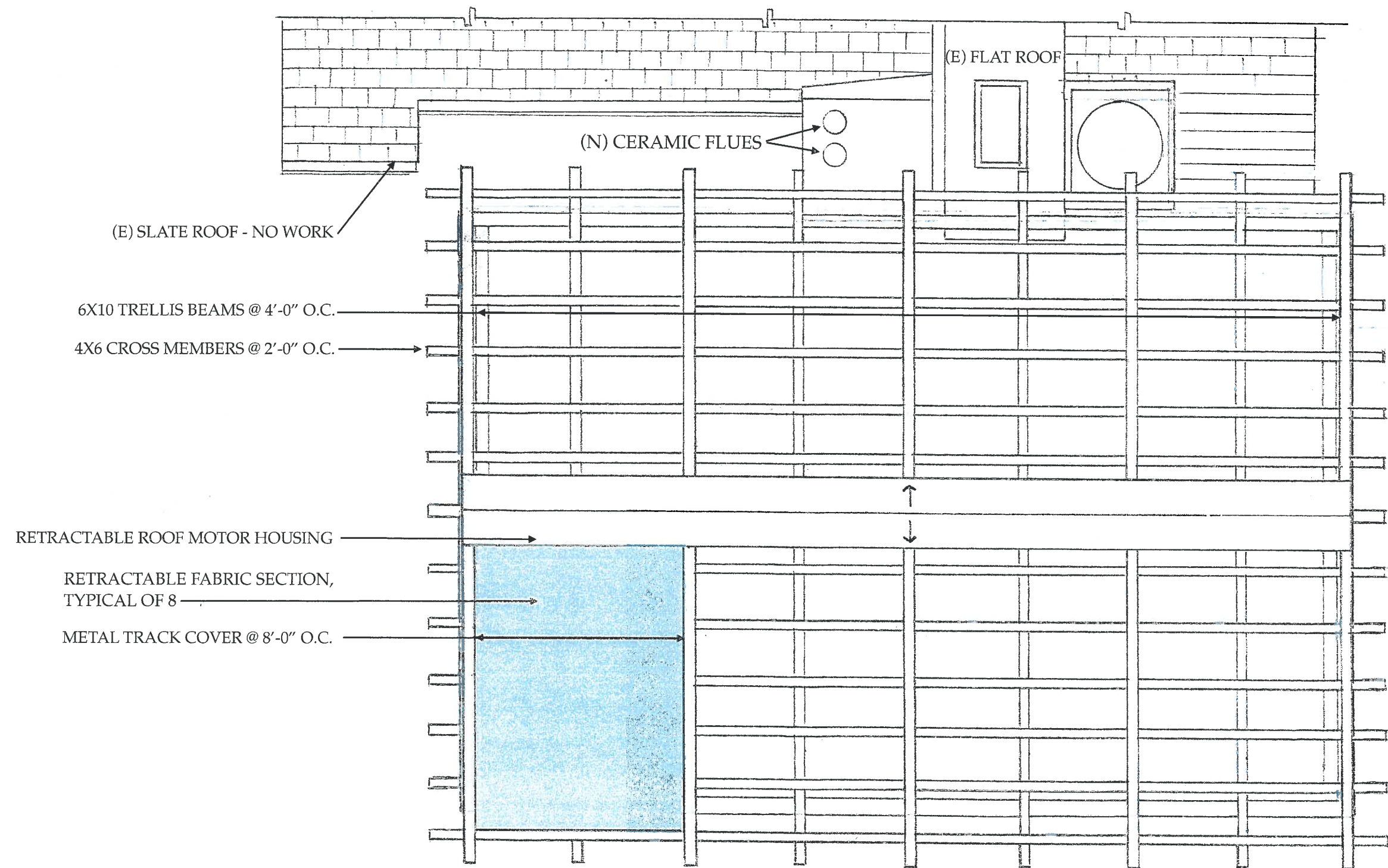
SUBMITTAL: JUNE 10, 2018



EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"

A2.3

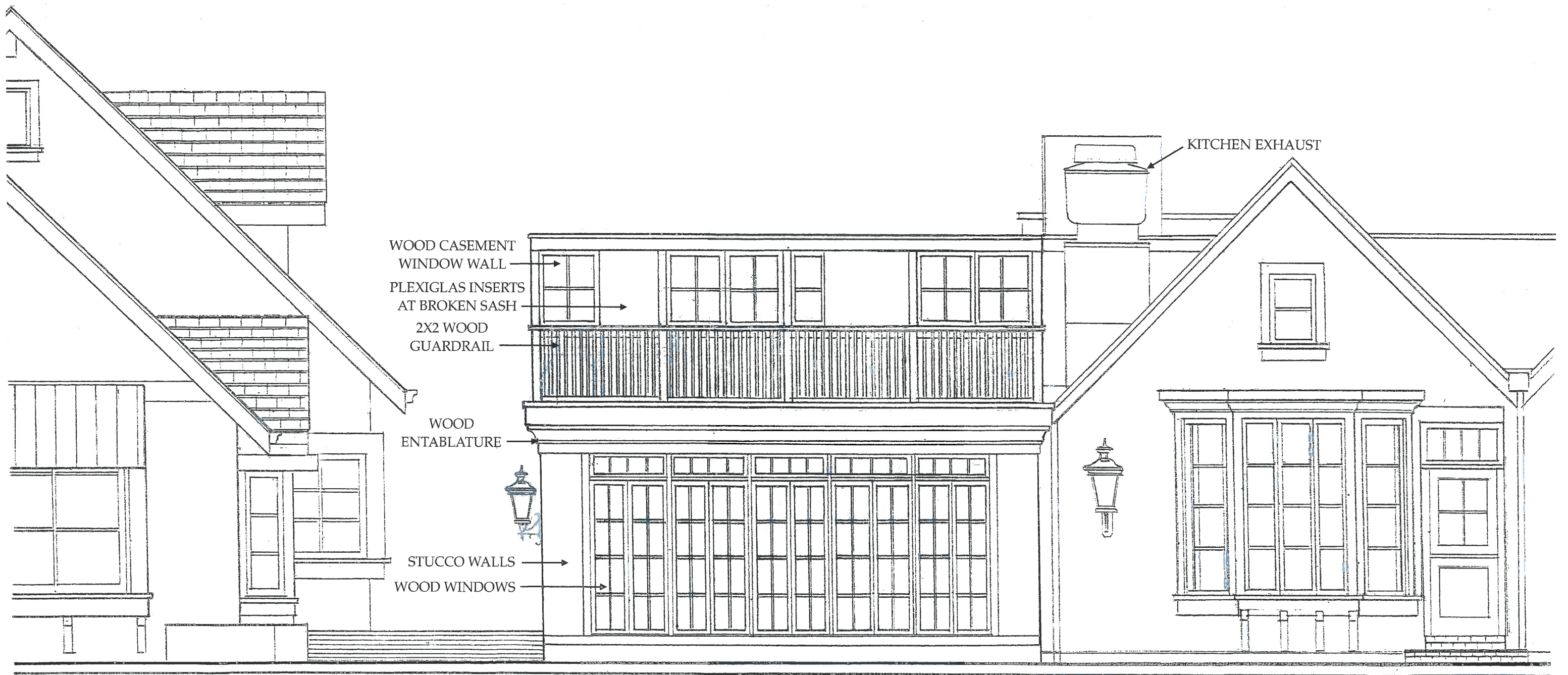


PROPOSED ROOF TRELLIS PLAN

SCALE: 1/4" = 1'-0"

SUBMITTAL: JUNE 10, 2018

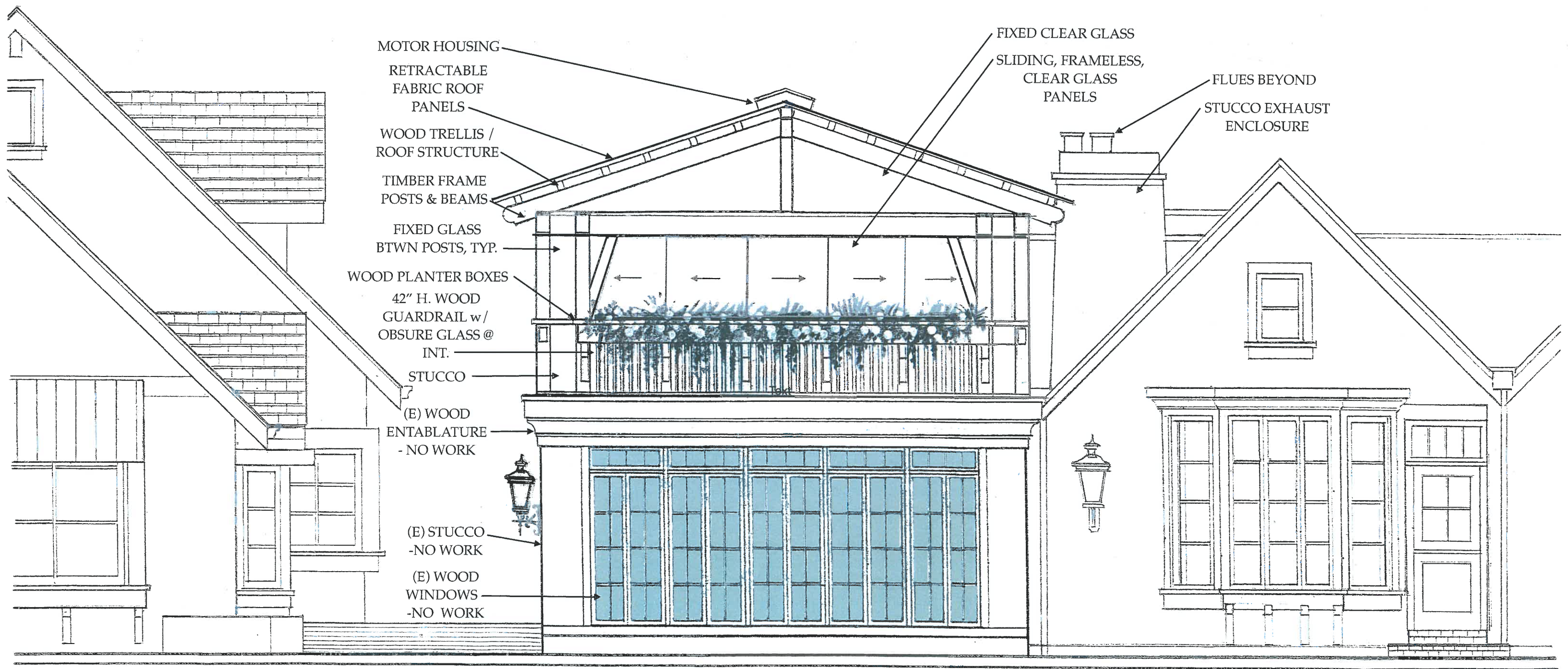
A2.4



EXISTING 6TH STREET (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"

A3.1



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

A3.2



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"

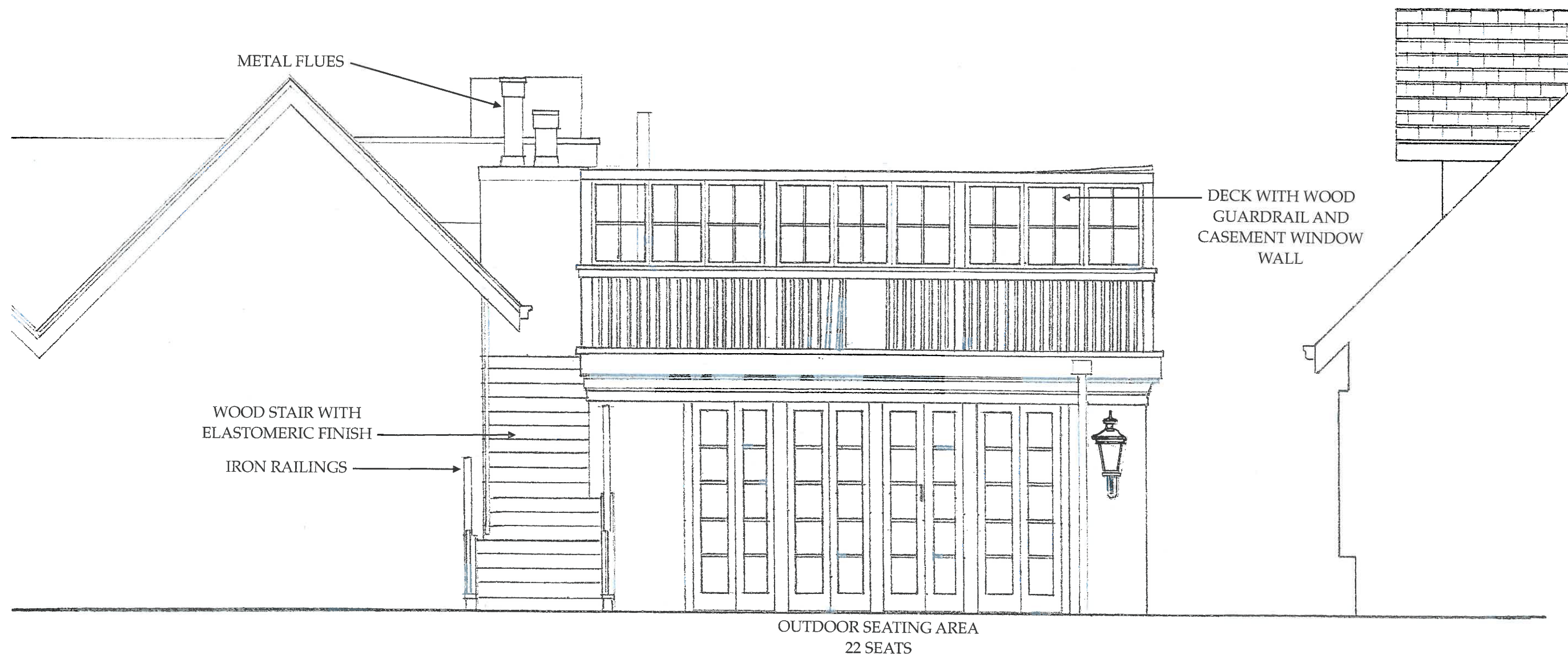
A3.3



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

A3.4



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"

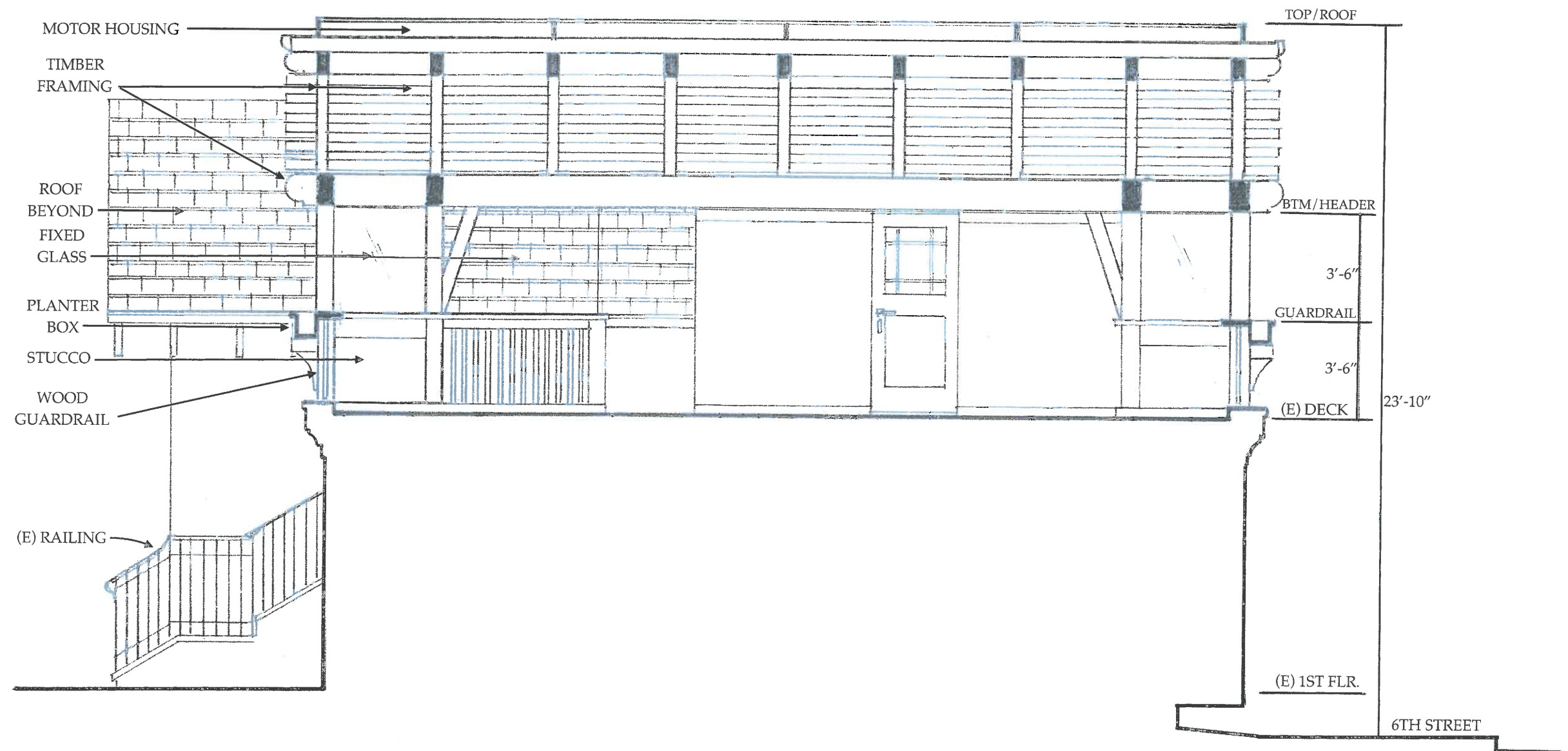
A3.5



EXISTING SECTION VIEW EAST

SCALE: 1/4" = 1'-0"

A3.7



PROPOSED SECTION VIEW EAST

SCALE: 1/4" = 1'-0"

A3.8





CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

August 20, 2018

To: Chair Dyar and Board Members

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Catherine Tarone, Assistant Planner

Subject: Consideration of a Design Study (DS 17-459) for alterations to a historic residence located at the northeast corner of Forest Road and 8th Avenue in the Single-Family Residential (R-1) Zoning District

Application:	DS 17-459 (Rezai)	APN:	009-202-015
Block:	3	Lot:	11
Location:	Northeast Corner of Forest Road and 8 th Avenue		
Applicant:	John Mandurrango	Property Owner:	Mohammad Rezai

EXECUTIVE SUMMARY

The property owner proposes to add a 683 square-foot addition and a 246 square-foot detached garage to the existing 1,511 square-foot historic residence built in 1949 by designer and builder Robert Anderson Stephenson.

RECOMMENDATION

Staff recommends that the Historic Resources Board determine that the proposed designs for the addition on the west elevation of the historic residence and the detached garage on the south elevation are in conformance with the Secretary of the Interior Standards.

STAFF ANALYSIS

Background: The existing residence was built in 1949 and is classified in the DPR form as having an architectural style called *San Francisco Bay Area Regional Style*. This residence was listed on the Carmel Historic Resources Inventory in 2003 under California Register Criteria 2 as an architectural design by Carmel architect and former city councilman Robert Stephenson. It is also listed under California Register Criteria 3, as an excellent and intact example of the *Bay*

Area Regional Style. It falls under the theme of Architectural Development in Carmel (1888-1965), established in the 2008 Carmel Historic Context Statement. Its period of significance is 1949.

Character-defining features of the property include its split-level plan and low-pitched roof. The lower floor is 415 square feet and the upper floor is 1,096 square feet. Four fixed-glass, wood-framed, ribbon windows with fixed transoms are situated on the south elevation on the upper-floor. The house is sheathed in 1" x 7" horizontal redwood siding. The sloped roof extends at least 2 feet beyond the exterior walls and is supported by cantilevered projecting beams supporting the entire roof. Casement windows articulate the narrow upper east elevation with exposed, diagonal-frame bracing below, denoting the original garage. Robert Stephenson's home is a noteworthy expression of the *San Francisco Bay Area Regional Style* adapted to the "distinctive but modest" Carmel design aesthetic. The residence retains its physical integrity, as constructed in 1949, evoking a strong sense of time and place and of feeling and association. Regardless, in recent years the residence has not been maintained and is showing significant deterioration.

Previous Hearings: The applicant presented the project to the Board on February 26, 2018 with a design that incorporated a tall second story which was continued by the Board with recommendations for changes. On March 19, 2018, the project was again considered by the Board with a revised design responding to the Historic Resources Board's direction. Per the Board's request to lower the height of the addition, the applicant placed the addition partially below grade, lowering its height by two feet, but resulting in the need for tall retaining walls in the right-of-way facing Forest Road to access the lower-floor garage. The Board also required that new windows on the addition be oriented horizontally to compliment the historic residence's horizontal windows, that the entry porch on the south elevation be reduced, and that the siding materials be limited to only two types. The applicant complied with these requirements and the Board issued a Determination of Consistency with the Secretary of the Interior Standards for the revised design at the March meeting and approved a rehabilitation plan for the historic residence.

On April 11, 2018, the Planning Commission considered the revised design approved by the Historic Resources Board, but did not support the proposed excavation and driveway retaining walls in the right-of-way. The Commission required that the addition be raised by two feet to reduce the height of the retaining walls. The project was continued with a condition that the applicant first obtain an encroachment permit for the excavation and associated driveway retaining walls, prior to approval of the Design Study application.

Following the Planning Commission meeting, the applicant applied for an encroachment permit which was considered by the City Council on June 5, 2018. The Council did not support the proposal and denied the application. The applicant has re-designed the project and is now proposing the garage on the south side of the residence, at the current driveway/parking area.

Project Description: The addition and garage designs have been revised substantially and have been returned to the Board for consideration. The addition on the west (secondary) elevation facing Forest Road will now be limited to one story as the applicant has removed the proposal for the lower-floor garage and associated driveway. The peak roof height of the new addition will be 11'-11" which is the same as the peak roof height of the historic residence. The applicant is proposing to connect the new addition to the existing residence via a one-story glass enclosed foyer (hyphen) with a low-pitched, rear-sloping flat roof.

The proposed addition includes clerestory windows at the top of the wall on the west elevation facing Forest Road, and a sloped roof that slopes in the opposite direction of the existing residence's north-sloping roof (both existing and proposed roofs have a 1.5:12 pitch). Proposed siding materials on the new addition will be horizontal wood siding like the historic residence but with 9-inch-wide boards to differentiate the addition from the historic residence's 7-inch-wide horizontal board siding. Roof material for both the existing residence and the proposed addition will include a "built-up" roof (a.k.a., "tar and gravel") that includes a membrane, tar (or equivalent) and gravel.

In place of the previously-proposed lower-floor garage, the applicant is instead proposing a 12-foot-wide by 20.5-foot-long detached garage on the south elevation of the residence facing 8th Avenue which, according to the historic consultant's Phase II Historic Report, is a front primary elevation. The maximum height of the garage will be 11'-9". The new detached garage is proposed be located at the existing driveway such that no new grading will be required and the previously-proposed retaining walls that had been denied by the Planning Commission are no longer required.

The applicant will also be replacing the existing horizontal board fence with a new 4-foot-high horizontal board fence. The applicant is proposing to replace the existing concrete front patio and walkways with sand-set pavers. Finally, the applicant is proposing to install a 10-foot-wide sand-set paver driveway at the new detached garage.

First-Story Addition on the West (Secondary) Elevation: A *Phase II Historic Assessment* had been prepared by the City's Historic Consultant, Kent Seavey, for the previous design proposing a two-story addition on the west elevation. The report had concluded that the previous design was consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.

The Phase II Historic Assessment had recommended rehabilitation as the standard of treatment for the subject property. The Secretary's Standards for rehabilitation encourage "*placing a new addition on a non-character-defining elevation*" and locating alterations to historic properties in areas where previous alterations already exist. There are no previous alterations to the existing structure and in staff's and the Consultant's opinion, the west elevation should be considered a secondary elevation since it is not highly visible from the street due to the slope of the property and low profile of the structure while the east elevation facing 8th Avenue should be considered the primary elevation because of its visibility. Staff can support the addition on the west elevation as it is located on a secondary elevation and it complies with the Board's requirement to keep the height of the addition low and subordinate to the height of the historic residence.

Siding Materials and Windows: The Secretary of the Interior's Standard #9 for Rehabilitation, (see Attachment 4), states that "*the new work will be differentiated from the old and will be compatible with the massing, size, and scale to protect the historic integrity of the property.*" Staff supports the proposed 9-inch wide horizontal board siding on the addition as it provides a subtle differentiation from the siding on the historic residence. The applicant has complied with the Board's previous recommendation to use horizontally-oriented windows on the addition. Per the Planning Commission's recommendation at the April 11, 2018 hearing, the windows on the addition were revised to be wood with no trim to differentiate them from the windows on the historic residence.

Maintenance and Rehabilitation Plan: The existing residence is showing signs of deterioration and disrepair. At the March 19, 2018 Historic Resources Board meeting, the Board reviewed and approved the proposed maintenance plan included as Attachment 5.

Detached Garage on the Front South (Primary) Elevation: The applicant is requesting the Board's input regarding the current design, which places the detached garage on the front south elevation. Staff notes that the City's Historic Consultant has not reviewed this proposed design. The location of the garage, at the property's existing driveway, is consistent with Standard #1. This garage location allows the property's parking to remain in its existing location and will minimize further alteration of the historic context of the site.

Standard #2 states that, *"the removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided."* While the garage will be located on the front elevation and will obscure a street view of a historic lower-floor door and window, the garage will be separated from the residence by 11.5 feet and the historic door and window will remain in-tact behind the garage.

The applicant's previous proposals to locate the garage on the west elevation were not feasible because a substantial cut to the elevated grade would have required the placement of two- to four-foot retaining walls in the City right-of-way. The applicant had also proposed to locate the detached garage just to the left of the existing driveway on the south elevation, in front of the original stairs. The garage would have been rotated diagonally to the east, so that the proposed driveway would have joined the property's original driveway, eliminating the need for retaining walls in the right-of-way. While this design for the detached garage would have allowed the historic door and window on the lower floor to remain visible from the street, the design is not feasible because it requires substantial grading and the removal of two front-yard oak trees, rated as significant by the Forestry Department (see Attachment 1 for photos showing significant trees in this area).

It appears that the staking and flagging for the garage depicts a 12'-6" width, while the limit for a detached garage located in the side-yard setback is 12' in width. Additionally, the City Forester has reviewed the plans and, due to the proximity of significant tree #14, the Forester is requiring that the garage be located in the existing driveway cut and that no new grade cut occur. Staff has drafted a condition of approval that the width of the garage be narrowed to the extent that the existing driveway cut can be used (approximately 10'-6" to 11' in width). Prior to the Planning Commission meeting, the City Forester is also requiring the applicant to hand dig an exploratory trench to the depth of the proposed excavation for the concrete garage slab on the east side of the garage near significant tree #15. The Forestry Department shall inspect the trench to determine the number of significant roots uncovered.

With the adoption of these conditions of approval, in staff's opinion, the property's existing driveway is the best location for the garage as it requires the least disturbance of the trees and landform and the property's historic window and door will remain visible behind the detached garage as it is separated from the residence by 11.5 feet.

Recommendation: Staff recommends that the Historic Resources Board determine that the proposed designs for the addition on the west elevation and the detached garage on the south elevation are in conformance with the Secretary of the Interior Standards as conditioned. However, the Board has the option to modify the project design if it deems the revised plan insufficient. Alternatives are presented below.

Alternatives: If the Board determines that the current design remains inconsistent with the Secretary of the Interior Standards, the Board may deny the project or approve it with conditions such as reducing the width of the garage from 12 to 10 or 11 feet to limit its size, relocating the garage, or requiring the construction of a carport or parking pad instead of a garage.

Environmental Review: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. If the alterations are consistent with the standards, potential historic resource impacts under CEQA do not require further analysis. A conclusion by staff as to whether proposed project is Categorically Exempt from CEQA requirements will depend on the decision of the Historic Resources Board during this meeting or during a subsequent meeting. If it is the case the Historic Resources Board makes changes to the building at this meeting that are consistent with the Secretary of the Interior's Standards, the proposed project, as amended, would be Categorically Exempt from CEQA requirements, pursuant to Section 15331 – *Historic Resources Restoration/Rehabilitation*.

ATTACHMENTS:

- Attachment 1 – Photos
- Attachment 2 – Conditions of Approval
- Attachment 3 – DPR 523
- Attachment 4 – Secretary's Standards
- Attachment 5 – Preservation/Maintenance Plan
- Attachment 6 – Original Elevations
- Attachment 7 – Project Plans

Rezai Residence Site Photographs



South Primary Elevation – 8th Avenue At Area of Proposed Detached Garage



Staking and Flagging Showing the Detached Garage on the South Primary Elevation



Staking and Flagging Showing the Detached Garage on the South Primary Elevation



South Primary Elevation



View of the west and south elevations from the footbridge at Forest Road



West Secondary Elevation – Forest Road



Rear East and Side North Elevations



West Secondary Elevation at Area of Proposed Addition

43

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

DS 17-459

Northeast Corner of Forest Road and 8th Avenue

Block: 3, Lot: 11

APN: 009-202-015

AUTHORIZATION:

1. This Determination of Consistency (DS 17-459) authorizes a first-story addition on the west (secondary) elevation facing Forest Road. The peak roof height of the new addition will be 11'-11" which is the same as the peak roof height of the historic residence. The new addition will be connected to the existing residence via a one-story glass enclosed foyer ("hyphen") with a low-pitched, rear-sloping flat roof. Additionally, this project includes a 12-foot-wide by 20.5-foot-long detached garage on the front south elevation of the residence facing 8th Avenue. The maximum height of the garage will be 11'-9".

The west elevation of the addition will include clerestory windows at the top of the wall. Proposed siding materials on the new addition will be horizontal wood siding similar to the historic residence but with 9-inch-wide boards to differentiate the addition from the historic residence's 7-inch-wide horizontal board siding. The addition will have a sloped roof that slopes in the opposite direction of the historic residence's north-sloping roof (both existing and proposed roofs have a 1.5:12 pitch). Roof material for both the existing residence and the proposed addition will include a "built-up" roof (a.k.a., "tar and gravel") that includes a membrane, tar (or equivalent) and gravel.

The applicant is proposing to replace the existing concrete front patio and walkways with sand-set pavers. The applicant will also be replacing the existing horizontal board fence with a new 4-foot-high horizontal board fence. Finally, the applicant is proposing to install a 10-foot-wide sand-set paver driveway at the new detached garage. All work shall conform to the approved plans except as conditioned by this permit.

SPECIAL CONDITIONS:

2. The applicant shall rehabilitate and repair the historic residence as a condition of approval. Maintenance shall be conducted per the scope of work presented in the

rehabilitation/maintenance plan approved by the Historic Resources Board and Community Planning and Building Department.

3. The City Forester is requiring that the applicant hand dig an exploratory trench to the depth of the proposed excavation for the concrete garage slab on the east side of the garage near significant tree #15. The Forestry Department shall inspect the trench to determine the number of significant roots uncovered.
4. The proposed sand-set paver walkway shall stop at the property line and the remainder of the walkway leading to the existing wood foot bridge shall instead be composed of a 3-foot-wide decomposed granite walkway, a wood chip walkway or the applicant may leave the area natural as it is existing.
5. The garden fence will be made of horizontal wood boards or stone.
6. Outriggers on the south elevation shall be re-introduced.
7. The entry awning/roof associated with the glass foyer ("hyphen") shall not exceed four feet in depth as measured from fascia to foyer front entry wall.
8. Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the City's Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.
9. Prior to final Planning Commission review, the applicant shall submit a landscape plan to the City Forester for review and approval and is consistent with the Residential Design Guidelines.

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 5S1

Other Listings

Review Code _____

Reviewer _____

Date _____

Page 1 of 2

Resource Name or #: (Assigned by recorder)

Robert A. Stephenson House

P1. Other Identifier:

P2. Location: ☐ Not for Publication ☒ Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

a. County Monterey

b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ;

c. Address: _____ City Carmel-by-the-Sea Zip 93921

d. UTM: (Give more than one for large and/linear resources) _____ ; _____ mE/ _____ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

N.E. Corner 8th and Forest

(Block PP 3 Lot 11) (PP= Paradise Park)

Parcel No. 9-202-15

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A split level low-pitched shed roofed house on a sloping 40x100-foot lot set on a west to east axis. The south elevation features 4 (3'x6') single fixed pane glass french doors leading to an outside deck on the west side, and a parallel staircase leading down to the original garage and driveway on the east side. Four (4'x4') fixed frame glass ribbon windows with 1-1/2'x4' fixed transoms are situated above the garage and illuminate the master bedroom. The original garage has been glassed-in, with two corner 6'x6' fixed frame glass picture windows and a 6'x3' 3-pane french door, creating a downstairs apartment.

The whole house is sheathed in 1x6" horizontal natural redwood shiplap siding set off by the painted trim work of the doors and windows. The shed roof extends 2 feet beyond the walls and is supported by cantilevered projecting beams supporting the whole roof. 2'x4' and 3'x2' casement windows articulate the narrow upper east elevation with exposed diagonal frame bracing below denoting the original downstairs garage. A projecting stepped brick fireplace denotes the north elevation along with four small regularly spaced 2'x4' and 2'x2' fixed frame windows.

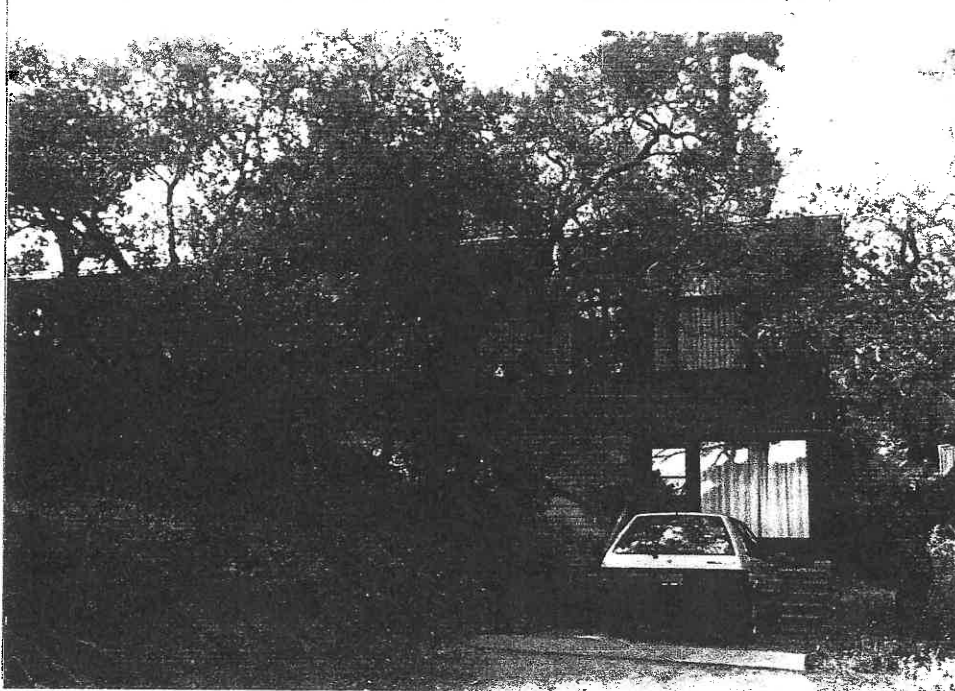
P3b. Resource Attributes: (List attributes and codes)

HP-2 Single Family Residence

P4. Resources Present

☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)

Looking at southeast elevation, (View toward north). Photo No: 1857-21, 8/14/2001

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1949 - Carmel Building Files

P7. Owner and Address

Patricia Stephenson

P.O. Box 2591

Carmel, CA 93921

P8. Recorded by: (Name, affiliation, and address)

Richard N. Janick, P.O. Box 223408

, Carmel, CA 93922

P9. Date Recorded: 11/28/2001

P10. Survey Type: (Describe)

HRI - Carmel 2001

P11. Report Citation: (Cite survey report and other sources, or enter "none")

Attachments

☐ NONE☐ Continuation Sheet☐ District Record☐ Rock Art Record☐ Other: (List)☐ Location Map☒ Building, Structure, and Object Record☐ Linear Feature Record☐ Artifact Record☐ Sketch Map☐ Archaeological Record☐ Milling Station Record☐ Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #

HRI #

Page 2 of 2

NRHP Status Code

5S1

Resource Name or #: (Assigned by recorder)

Robert A. Stephenson House

B1. Historic Name: Robert A. Stephenson House

B2. Common Name:

B3. Original Use: Single Family Residence

B4. Present Use: Single Family Residence

B5. Architectural Style: American-International Second Bay Region Style

B6. Construction History: (Construction date, alterations, and date of alterations)

1. Permit #1876 (November 7, 1949) Original plans and specifications in files. Designed by Robert Stephenson (\$10,500)

2. Permit 90-36 (June 13, 1990) Contractor: Walton Plumbing - Gas Lines No Other Permits - House Intact

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

B8. Related Features:

B9a. Architect: Robert Stephenson

b. Builder: Gunnar Swanson

B10. Significance: Theme: Architectural Development in Carmel

Area: Carmel-by-the-Sea

Period of Significance: Post WWII Property Type: R-1

Applicable Criteria: CR3/

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

This house qualifies under Criteria #3 as being designed by local architect Robert A. Stephenson in the American-International Second Bay Region Style that was developed during and after World War II by architects William Wurster, Clarence Mayhew, and Gardner Dailey in the San Francisco Bay Area as well as Jon Konigshofer, Tom Elston, and William Cranston locally in the Carmel area. Robert A. Stephenson also qualifies under Criteria #2 as being very active in the city of Carmel on the Planning Commission and the City Council, and other civic duties.

Robert A. Stephenson's home is a noteworthy expression of the San Francisco Bay Area regionalist style adapted to the "distinctive but modest" Carmel design aesthetic. The small residence is beautifully sited in the farthest corner of its naturally landscaped parcel, mostly set back behind a steeply rising slope. Unlike so many of the local modernist dwellings of the period, the house has never been painted, allowing the natural rewood siding to become part of the landscape setting. Designer Robert A. Stephenson was an active participant in community life, serving for a period of time on both the Carmel Planning Commission and the City Council. The residence retains its physical integrity, as constructed in 1949 to a high degree, evoking a strong sense of time and place and of feeling and association.

B11. Additional Resource Attributes: (List attributes and codes)

HP-2 Single Family Residence

B12. References:

1. "Modern Style in Carmel Brought Cries of Anguish," by Dorothy Stephenson, Monterey Peninsula Herald, Sept. 9, 1950
2. William Wilson Wurster, San Francisco Museum of Modern Art Catalog -1996

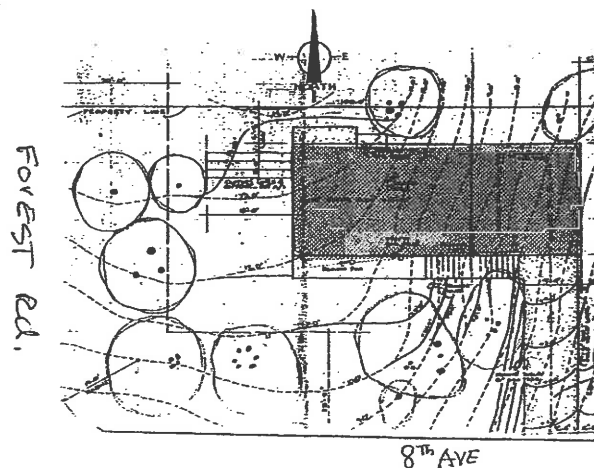
B13. Remarks: Zoning R-1

B14. Evaluator: Richard N. Janick

Date of Evaluation: 11/28/2001

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



**SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF
HISTORIC PROPERTIES**

1. "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."
2. "The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."
3. "Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."
4. "Most properties change over time; changes that have acquired historic significance in their own right shall be retained and preserved."
5. "Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."
6. "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, and pictorial evidence."
7. "Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."
8. "Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."
9. "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."
10. "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."

PRESERVATION PLAN

Project Information:

Northeast corner of Forest and Eighth
Carmel by the Sea, California 93921
Lot 11, Block 3 Paradise Park No. 4, Volume 4, C and T Page 55
APN: 009-202-015-000

Property Owner:

Iraj Rezai
25920 Margarita
Carmel, CA 93923

Applicant/Designer:

John Mandurrago
P. O. Box R
Carmel by the Sea, CA 93921
Trade Experience: 45 years
Last Historical Preservation: Cypress Inn Hotel

Project Contractor:

Polmex General Construction
30 Laguna Grande Court
Monterey, CA 93940
License No. 940261
Trade Experience: 25 years

Rezai Project Goal:

To preserve and rehabilitate the building to its original appearance. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used. Deteriorated features from the preservation period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a certain items, the new item will match the old in design, color, texture and material. Work needed to stabilize, consolidate and conserve materials and features from the preservation period will be physically and visually compatible. Materials and features from the preservation period will be retained and preserved. The removal of materials or alteration of features, spaces and spatial relationships that characterize the period will not be undertaken. The reproduction and the appearance of historical paint colors and finishes based on the physical evidence shall be among the primary goals of this preservation. It is intended that all preservation work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Itemized Work:

A visual inspection of the subject property reveals that all surface finishes need to be restored. This includes the sealed wood siding, painted surfaces such as the wood trim, fascias, exposed rafters, exposed sheathing, windows, and doors where peeling,

blistering or flaking occurs. Some wood doors and windows need to be repaired and some siding boards need to be replaced. A replacement of the roof surface and flashings are also planned. Architectural caulking shall be applied where applicable

1. Cleaning all exterior surfaces

A low pressure gentle water power-wash with a wide spray pattern shall be executed to all surfaces of the residence to remove surface dirt deposits. For areas resisting this method a cleaning with a mild, non-phosphate detergent solution and bristled brush shall be utilized.

2. Roof and Metal Flashings

The existing built up roofing materials shall be removed to expose the existing 2x6 T&G solid sheathing. The existing galvanized metal flashings shall be removed and replaced with "in kind" copper flashings. The Historical Committee can advise if they wish the copper used is to be left to age naturally or if an accelerating agent is to be applied. The roof then shall be replaced with a roofing system that matches the original specifications.

3. Gutters and Leaders

Existing galvanized iron gutters and leaders shall be replaced with copper matching the original design, shape and size of those removed. The Historical Committee can advise if they wish the copper used is to be left to age naturally or if an accelerating agent is to be applied.

4. Masonry Chimney

The existing brick masonry shall be power washed as per Item 1 above. Damaged grout joints shall be re-pointed to match the existing style.

5. Fascia and under-side of Roof Sheathing

These painted surfaces shall be scraped and sanded to remove any loose original paint. Then puttied, caulked or repaired if required. Then primed with a flat water base primer and repainted with a water based paint to match the existing color.

6. Wood Siding

After cleaning and a light sanding of all existing wood siding, a coat of TWP 1500 semi-transparent "Natural" color to match the existing wood shall be applied. The semi-transparent "Natural" color still allows the wood grain to show through but give it an enhanced look. It provides excellent water protection. The color pigments in the "Natural" stain provide UV protection to prevent graying and discoloring. TWP 1500 Series Natural is the closest look to a natural finish as possible while still providing sufficient weather protection.

A simple bleach-in-water solution to wet the dark areas of the siding, followed by a gentle scrubbing along the grain with a soft brush. Wash the siding thoroughly and quickly enough to avoid bleach run-down rivulets that leave ugly white lines on the siding. Also, be sure to let the treated areas dry thoroughly (below 18% moisture level in the wood) before continuing with stain application.

Damaged siding is viewed on the Southeast corner of the residence and appears to be caused by wood peckers. These boards shall be removed and replaced by

existing original siding on the North side of the residence. Boards removed from the North side for this purpose shall be replaced with siding of the same size, detailing, and species of the original material. I suggest that the matching fence material be re-machined and used for this purpose.

7. Painted Trim and siding

Painted trim around doors, windows, building corners, and painted siding along the East side and on the North side at the lower level shall be scraped and sanded to remove any loose original paint. Then puttied, caulked or repaired if required. Then primed with a flat water base primer and repainted with a water based paint to match the existing color.

8. Doors and Windows

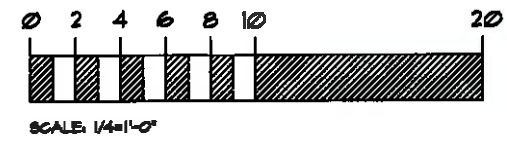
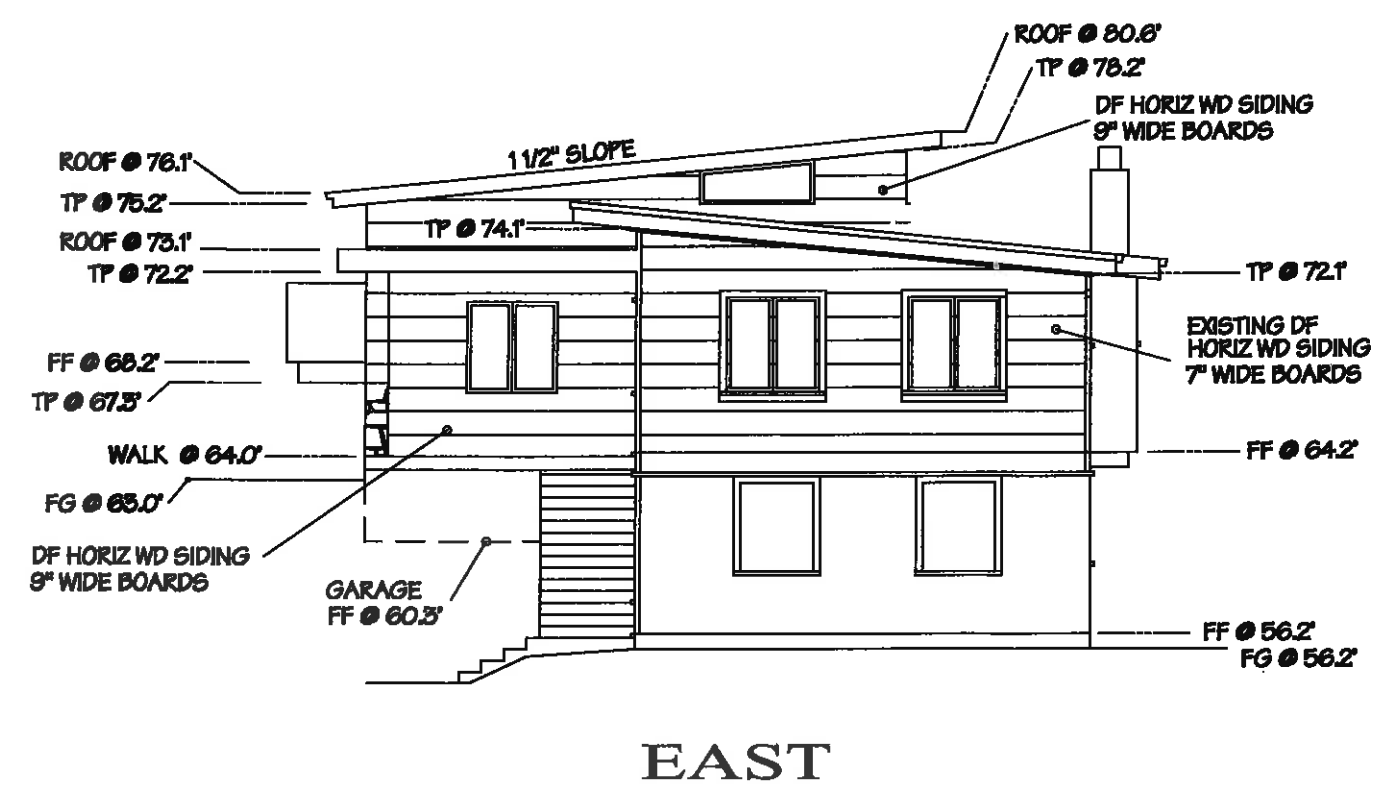
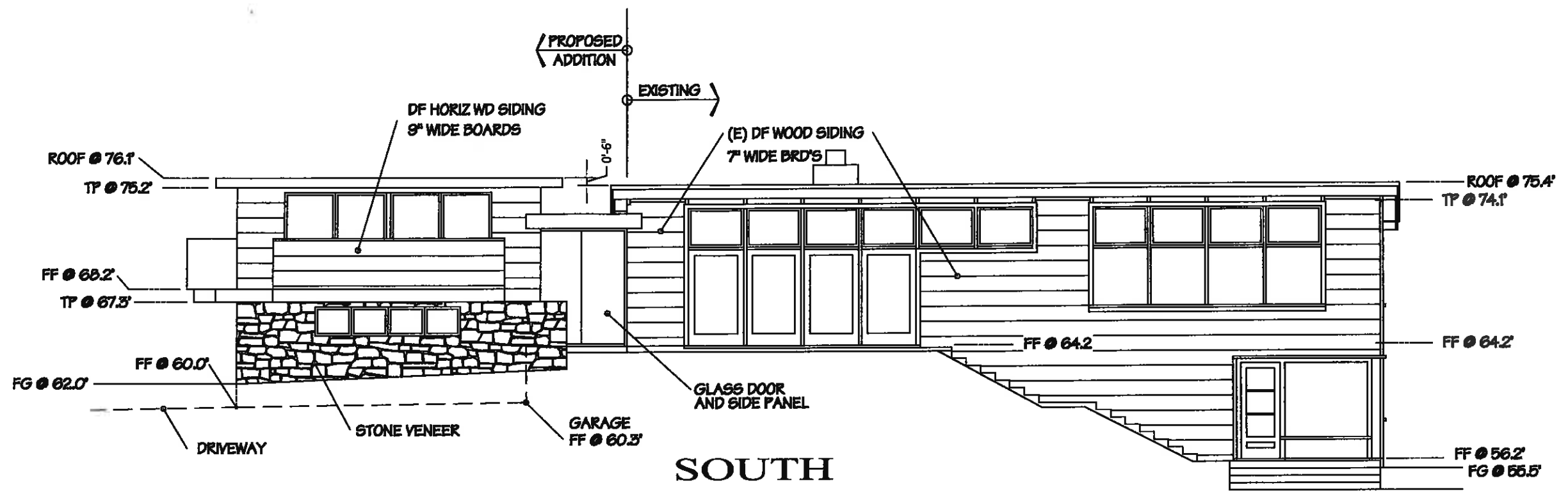
Doors and windows appear to be in satisfactory condition but badly in need of repainting. These painted surfaces shall be scraped and sanded to remove any loose original paint. Then puttied, caulked or repaired if required. Then primed with a flat water base primer and repainted with a water based paint to match the existing color. Any new window or door additions shall be of wood fabrication and match the design and species of the original existing.

9. Hardware

Existing door and window hardware shall be removed, cleaned, and replaced. Any existing hardware that requires replacing shall be replaced "in kind".

10. Continued Maintenance

A routine continued maintenance program shall be the responsibility of the property owner to insure that the residence continues to be preserved in its intended condition.



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Planning Dept.

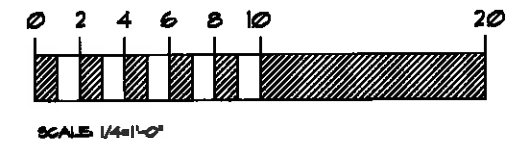
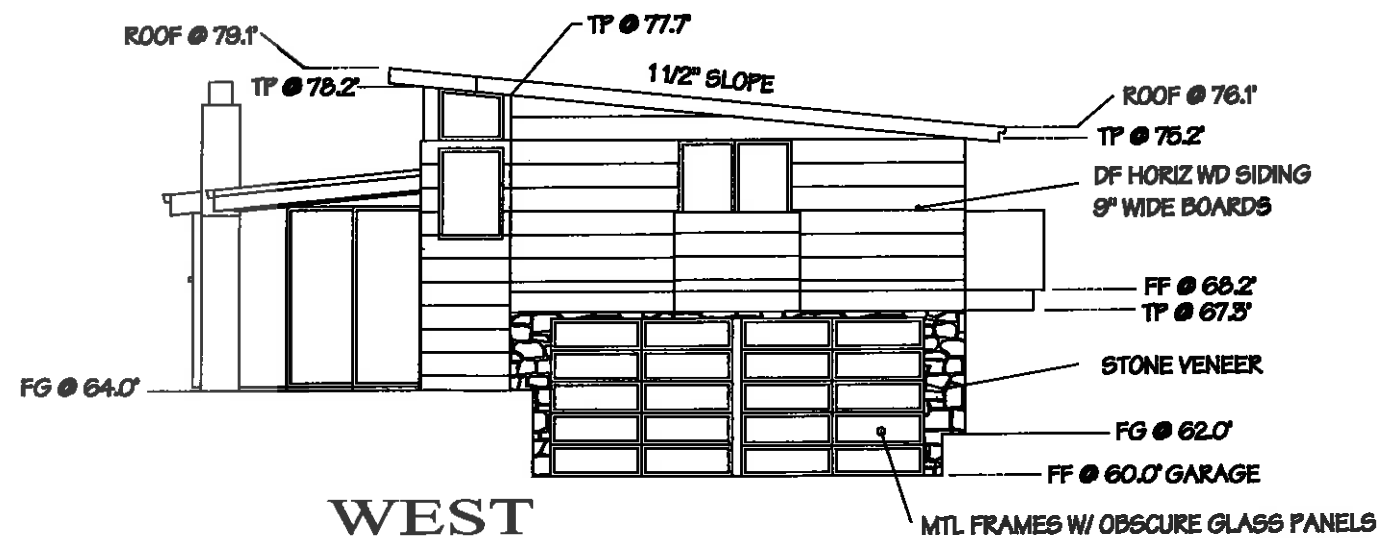
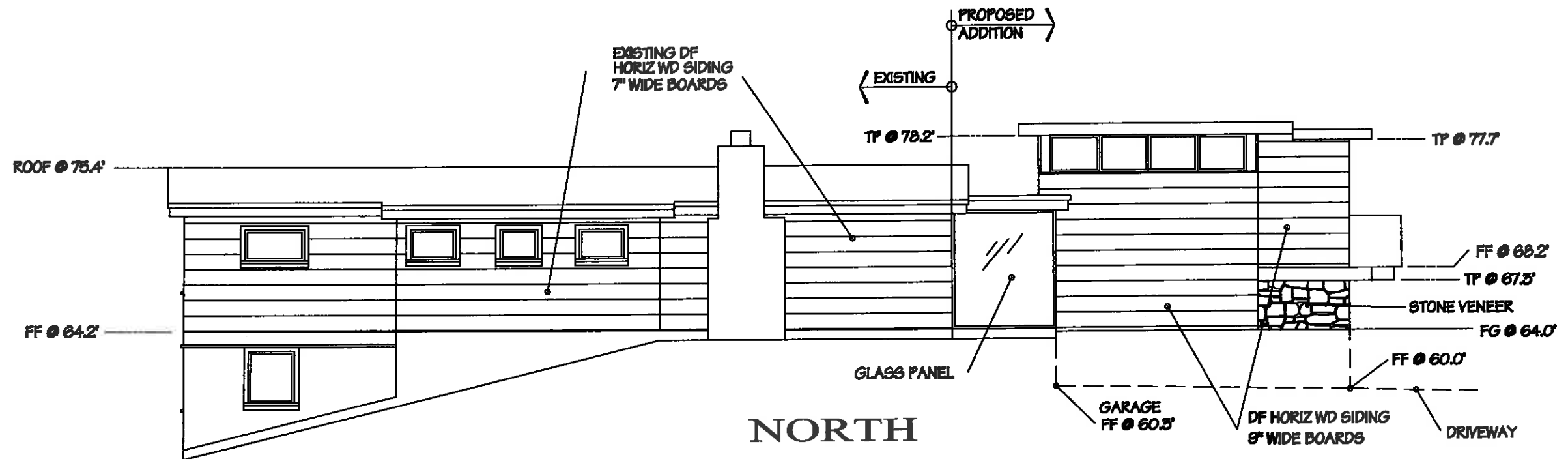
EXTERIOR ELEVATIONS

JOHN MANDURRAGO
DESIGN STUDIOS
P. O. BOX 74, CARMEL BY-THE-SEA, CA. 93921 831-625-1053

03-11-18

JOB NUMBER
1709
SHEET NUMBER
D-6

REV. 1
REV. 2
REV. 3
FOREST ROAD RESIDENCE
NE COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA.
APN 009-002-015-000



EXTERIOR ELEVATIONS

JOHN MANDURRAGO
DESIGN STUDIOS

P. O. BOX 74, CARMEL BY THE SEA, CA 93921 831-638-1853

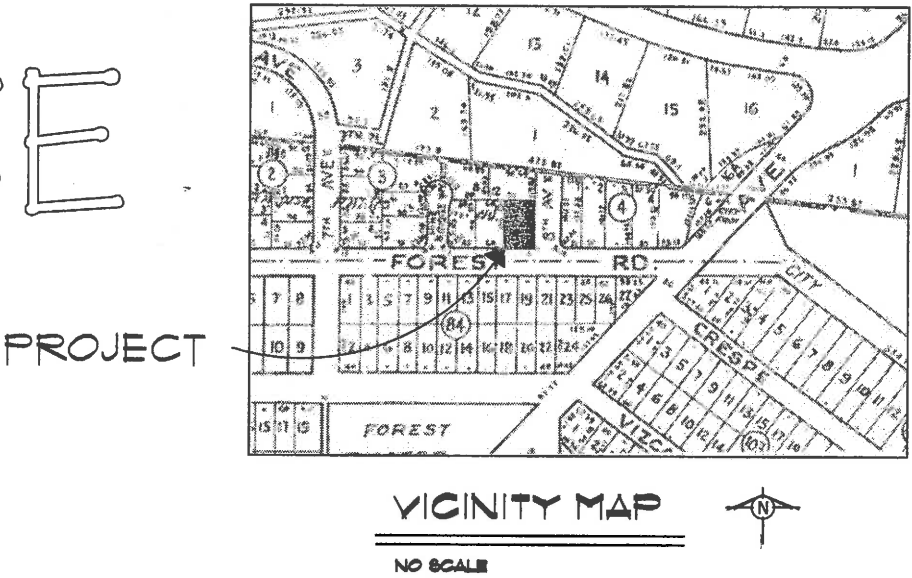
JOB NUMBER
1709
SHEET NUMBER
D-7

REV.:
REV.:
REV.:

FOREST ROAD RESIDENCE
N/E COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA.
APN 004-202-015-000

FOREST RESIDENCE

N/E COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA.
APN 009-202-015-000



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AUG 8 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

SHEET INDEX:

- D-1 TITLE SHEET
- D-2 PROPOSED SITE PLAN
- D-3 SITE SURVEY
- D-4 PROPOSED FLOOR PLANS - OPENING SCHED.
- D-5 PROPOSED FLOOR PLANS - DIMENSIONED
- D-6 PROPOSED EXTERIOR ELEVATIONS
- D-7 PROPOSED EXTERIOR ELEVATIONS
- D-8 PROPOSED & EXISTING ROOF PLAN
- D-9 STREETSCAPE

PROJECT INFORMATION

N/E COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA 93921

LOT 11, BLOCK 3
PARADISE PARK NO 4
VOLUME 4, C&T PAGE 55
APN 009-202-015-000

SITE AREA: 5,952 S.F. 0.1399 ACRES

PROPOSED TREE REMOVAL (0) OAKS

PROPOSED TREE PLANTING (0)

PROPOSED GRADING: 0 CY CUT

ZONING: R-1
MAXIMUM BUILDING HEIGHT = 24'

OWNER INFORMATION

MOHAMMAD REZAI & JAYESH DESAI
28920 VIA MARGARITA
CARMEL, CA 93923

FLOOR AREA

ALLOWED FLOOR AREA 2,440 SF

EXISTING RESIDENCE	1,096 SF
EXISTING LOWER AREA	415 SF
PROPOSED ADDITION	683 SF
PROPOSED GARAGE	246 SF
	2,440 SF

SCOPE OF WORK

1. ADDITION OF A ONE CAR GARAGE S/E COR OF PROP
2. NEW DRIVEWAY
3. A ONE STORY ADDITION WEST SIDE OF PROP
CONSISTING OF THREE BEDROOMS AND ONE BATH
4. A NEW CASEMENT WINDOW ON THE SOUTH ELEV

LOT COVERAGE

ALLOWED = 22% OF FLOOR AREA = 537 S.F.
50% PERVIOUS BONUS = 238 S.F.
TTB S.F.

PROPOSED		
DRIVEWAY	PERVIOUS	20 S.F. SET IN SAND ONLY
FRONT WALKS	PERVIOUS	250 S.F.
REAR STOOP		10 S.F. SET IN SAND ONLY
FRONT STAIRS (E)		160 S.F.
STEPPING PADS		24 S.F.
FRONT TERRACE	PERVIOUS	287 S.F. SET IN SAND ONLY
		TTB S.F.

TITLE SHEET

JOHN MANDURRAGO
Design Studios

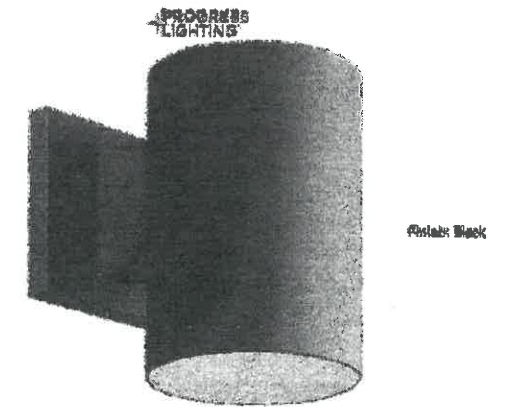
P. O. BOX "R", CARMEL BY-THE-SEA, CA. 93921 831-625-1553

03-11-18
08-08-18

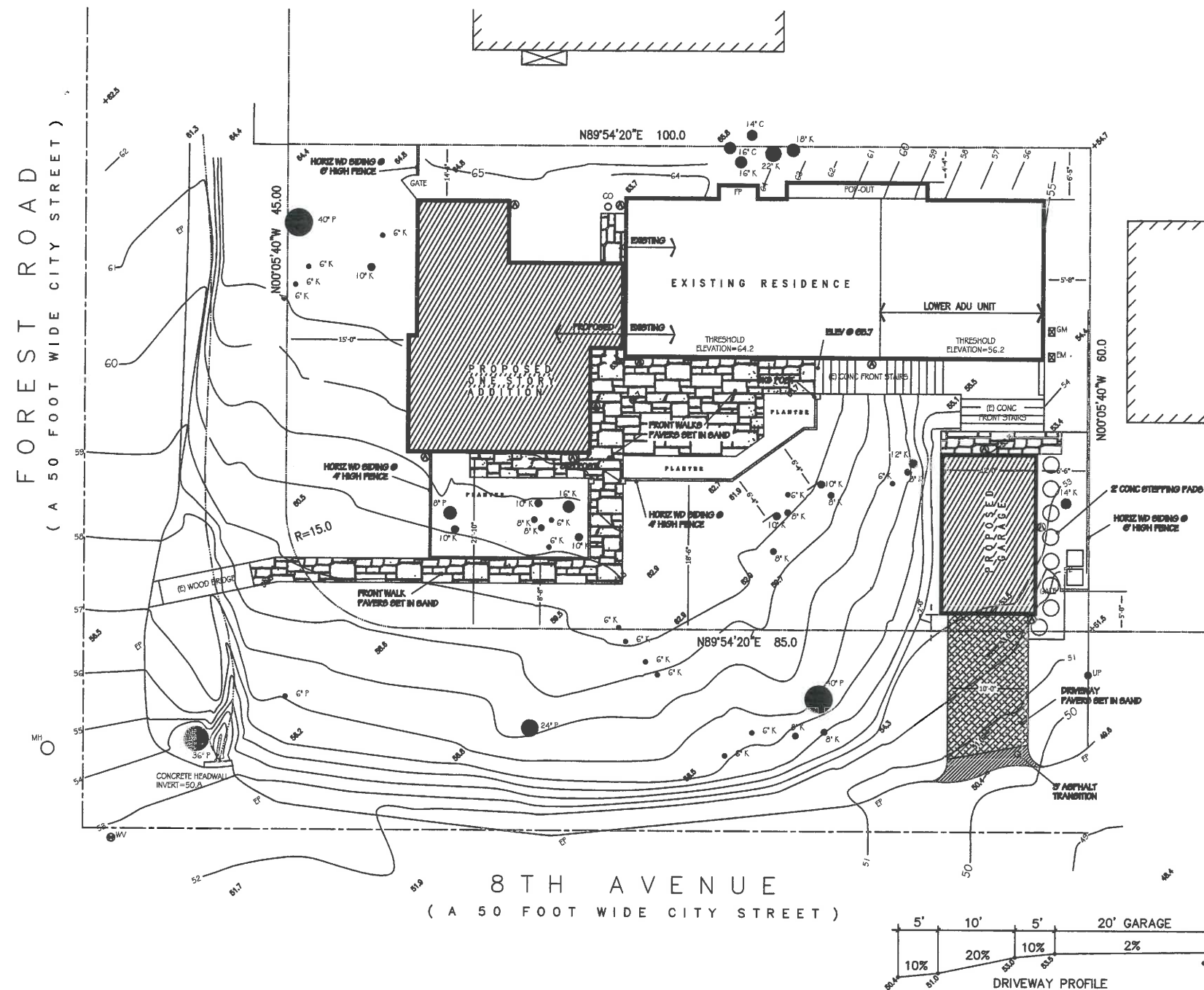
FOREST ROAD RESIDENCE
N/E COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA.
APN 009-202-015-000

1709

D-1



A EXTERIOR LIGHT FIXTURE
SEE SITE PLAN FOR LOCATIONS
FIXTURE TO BE "DARK SKY" TYPE



SITE PLAN

JOHN MANDURRAGO
Design Studios

P. O. BOX 78, CARMEL BY THE SEA, CA 93921 831-625-1553

06-27-18
08-08-18

FOREST ROAD RESIDENCE
N/E COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA.
APN 004-202-015-000

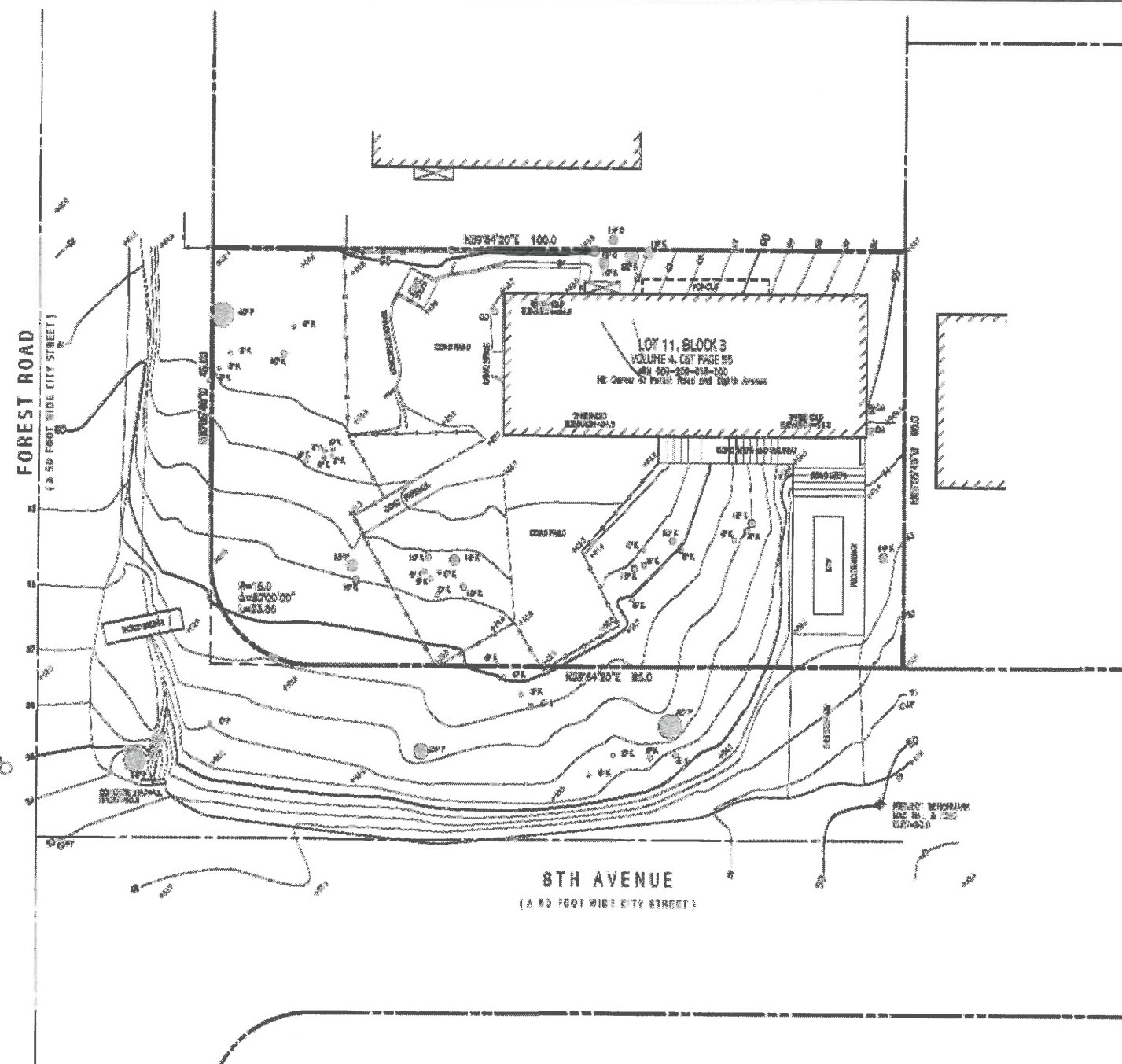
1709

D-2

LEGEND:

---	RECORD BOUNDARY
---	RECORD RIGHT OF WAY
---	RECORD LOT LINE
---	RECORD CENTERLINE
---	RECORD EASEMENT LINE
---	RECORD SETBACK
---	OLD RECORD LINE
+	PROJECT BENCHMARK
Δ	SURVEY CONTROL POINT
BO	CONTOUR (HATCH)
---	CONTOUR (HATCH)
BO	GRADIENT
---	EDGE OF PAVEMENT
---	UP OF CURB
---	FACE OF CURB
---	BACK OF CURB
---	BACK OF SIDEWALK
---	EDGE OF DRIVEWAY
---	FLOORLINE
---	BUILDING OUTLINE
---	CHIMNEY
---	APPROXIMATE FLOOR ELEVATION
---	DECK
---	CONCRETE PAD
---	STEP
---	PLASTER
---	WATER LINE
---	WATER VALVE
---	WATER METER
---	FIRE HYDRANT
---	POLE BB
---	FOUNDATION CONTROL VALVE
---	SANITARY SEWER LINE
---	SANITARY SEWER MANHOLE
---	SANITARY SEWER CLEAN-OUT
---	STORM DRAIN
---	STORM DRAIN MANHOLE
---	AREA DRAIN
---	STORM DRAIN CATCH BASIN
---	ELECTRIC LINE
---	UTILITY POLE
---	GUY WIRE
---	ELECTRIC VAULT
---	UTILITY VAULT
---	ELECTRIC METER
---	STREET LIGHT
---	LAMP POST
---	Gas LINE
---	GAS METER
---	TELEPHONE LINE
---	TELEPHONE STANDARD
---	CABLE TELEVISION LINE
---	CABLE TELEVISION BOX

---	WOOD FENCE
---	WIRE FENCE
---	CHAIN LINK FENCE
---	STREET SIGN
---	SIGN POST
---	MAIL BOX
---	BOLLARD
---	PILAR
---	BLOCK RETAINING WALL
---	ROCK RETAINING WALL
---	STACKED BLOCK WALL
---	CORNER STONE
---	GRAVEL PARKING
---	STANDARD PARKING STALL
---	ASPHALT CONCRETE
---	CORNER STONE
---	CORRUGATED METAL PIPE
---	CONCRETE PAD
---	DISCOMPOSED GRANITE
---	EXPANDED AGGREGATE
---	HIGH DENSITY POLY ETHYLENE
---	PORTLAND CEMENT CONCRETE
---	PAVER STONE
---	POLY VINYL CHLORIDE
---	REINFORCED CONCRETE PIPE
---	TRASH ENCLOSURE
---	EDGE OF FOLIAGE
---	TREE WITH SIZE AND TYPE
---	ACACIA
---	CYPRESS
---	OAK
---	PALE
---	PINE
---	REDWOOD
---	TREE
---	SPOT ELEVATION



BENCHMARK:

ELEVATION FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 30.0 HATH BEEN ASSIGNED TO A WOOD NAIL A BCC SET IN THE PAVEMENT NEAR THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

NOTES:

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
2. ENCUMBRANCES OR ENCUMBRANCES AFFECTING THE PROPERTY MAY NOT NECESSARILY BE SHOWN.
3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
4. CONTOUR INTERVAL = ONE FOOT.
5. TREE TYPE (IF ANY), ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST. PROVIDED BY OTHERS. PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 4 INCH DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DISPOSITION SHOWN TO BE VERIFIED BY OTHERS.
6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. REGULAR SHAPE OF BRICK FACING, POP-OUTS, RAIL ROSS CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
7. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN. INCLUDING BUT NOT LIMITED TO HOSE DRAINS AND FOUNDATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN. NO WATER METER WAS VISIBLE AT THE TIME OF THE SURVEY.
8. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN JUNE OF 2017.

RECORD DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CARMEL, COUNTY OF MONTEREY, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 11, in Block 3, as shown on the certain map entitled, "Plat No. 1, and March 15, 1941 in Map Book 4, Maps of "Cities and Towns", of Page 55, in the Office of the County Recorder of Monterey County, California.

APN 009-202-015-000

TOPOGRAPHIC SITE SURVEY

OF
LOT 11 in BLOCK 3

VOLUME 4 OF CITIES AND TOWNS AT PAGE 55

APN 009-202-015-000

Records of Monterey County

PREPARED FOR

John Mandurrango

BY
LUCIDO SURVEYORS

Boundary and Construction Surveys • Topographic and Photometric Mapping
ALTA Surveys and GIS Database Management • Land Planning and Consulting

25000 Avenue
DEL REY CALIF. CALIFORNIA 92026

Info@lucido-surveyors.com
(760) 430-0000

SCALE: 1"=10'

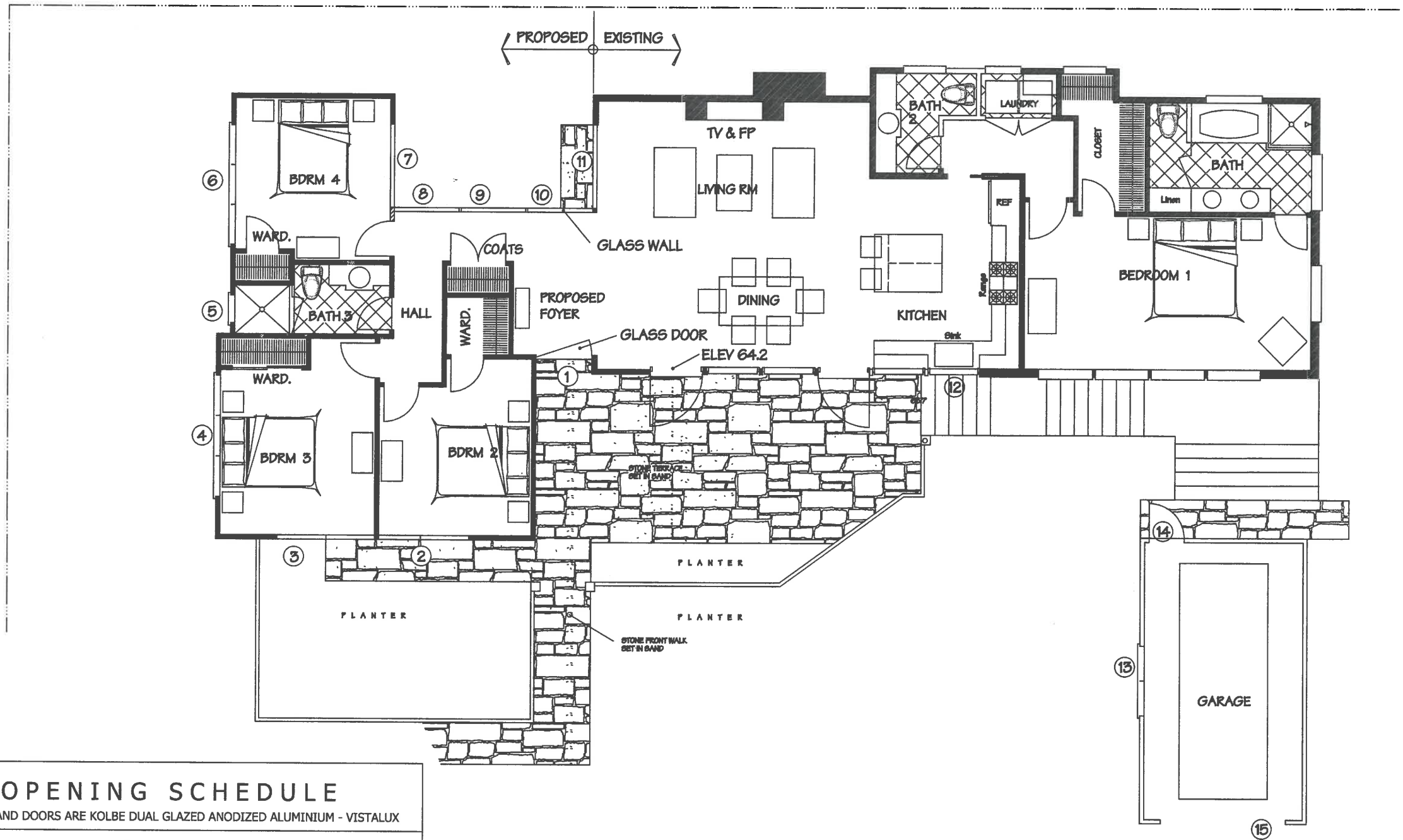
PROJECT No. 1926

JUNE 2017

CITY OF CARMEL

COUNTY OF MONTEREY

STATE OF CALIFORNIA



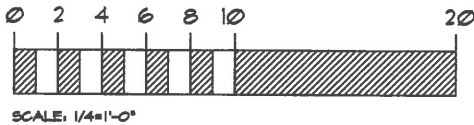
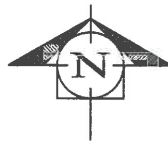
OPENING SCHEDULE

WINDOWS AND DOORS ARE KOLBE DUAL GLAZED ANODIZED ALUMINIUM - VISTALUX

"T" DENOTES TEMPERED SAFETY GLASS

"E" DENOTES EMERGENCY EGRESS WINDOW OR DOOR AS PER 2016 CRC SEC R310.

ID	SIZE	STYLE	LOCATION	FINISH
1	4080	Glass Door	T FOYER	black frame
2	7070	Sliding Glass Door	T BEDROOM 2	black frame
3	7070	Sliding Glass Door	T BEDROOM 3	black frame
4	(3) 2-10	Angled Fixed Glass window	BEDROOM 3	black frame
5	2022	Angled Fixed Glass window over Casement	T BATH 3	black frame
6	(3) 2-10	Angled Fixed Glass window	BEDROOM 4	black frame
7	6070	Sliding Glass Door	T BEDROOM 4	black frame
8	4870	Fixed Glass Panel	T ENTRY HALL	black frame
9	4870	Fixed Glass Panel	T ENTRY HALL	black frame
10	4870	Fixed Glass Panel	T ENTRY HALL	black frame
11	6070	Sliding Glass Door	T LIVING ROOM	black frame
12	3834	Casement	KITCHEN	black frame
13	5036	Casement	GARAGE	black frame
14	2668	GLASS DOOR	T GARAGE	black frame
15	9070	ROLL UP GARAGE DOOR	GARAGE	black frame



PROPOSED FLOOR PLAN

06-16-18

08-08-18

JOHN MANDURRAGO

Design Studios

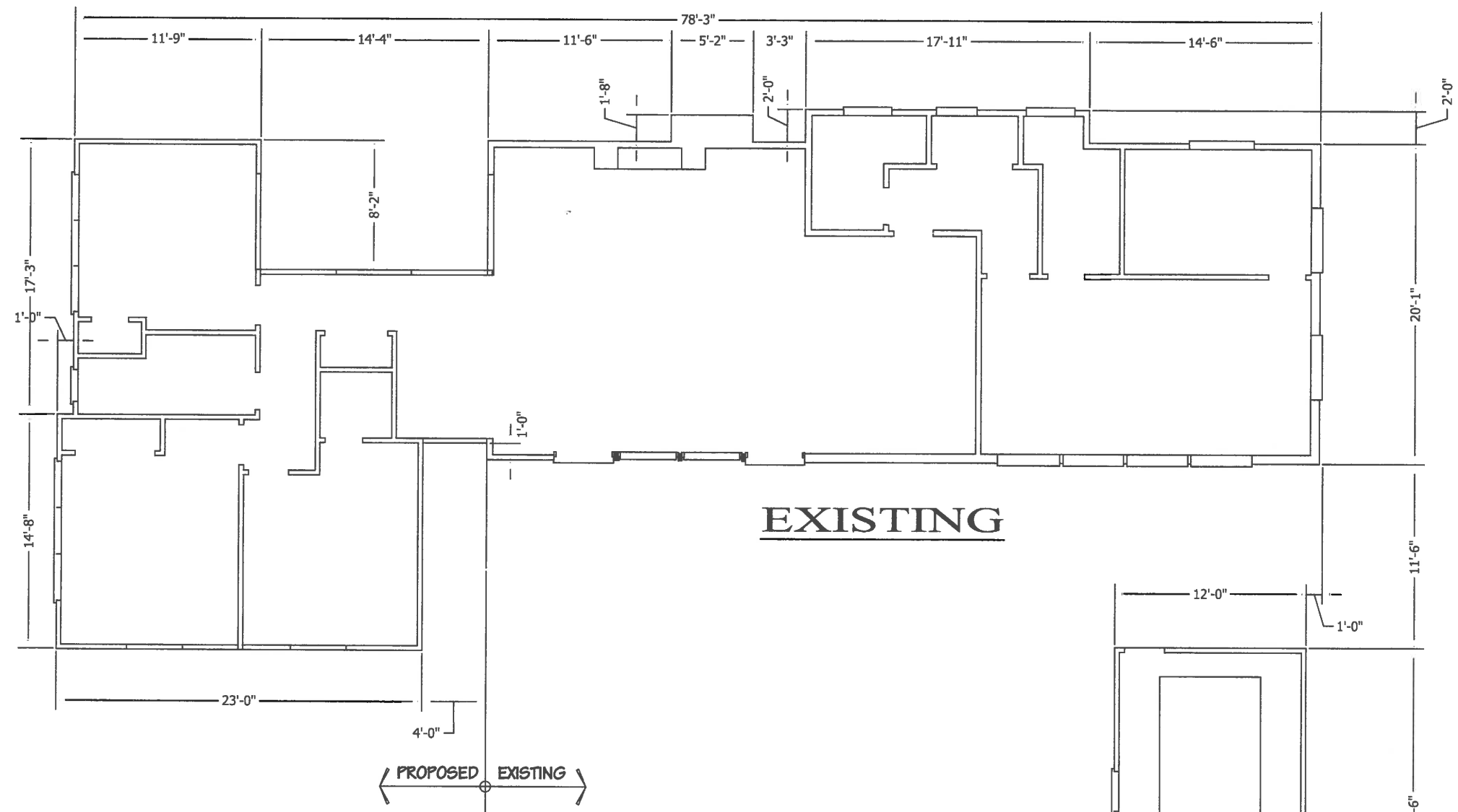
P. O. BOX "R", CARMEL BY-THE-SEA, CA. 93921 831-825-1553

FOREST ROAD RESIDENCE
N/E COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA.
APN 004-202-015-000

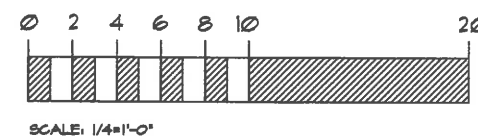
1709

D-4

PROPOSED 1ST FLOOR



PROPOSED GARAGE



PROPOSED FLOOR PLANS DIMENSIONED



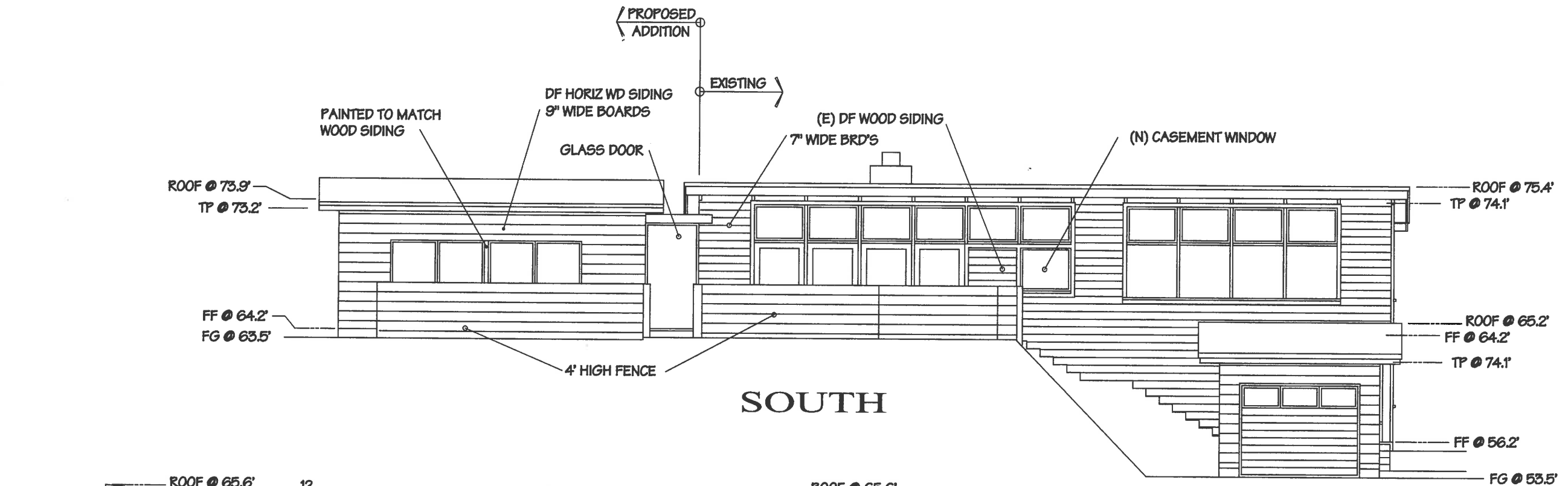
03-11-18
08-08-18

FOREST ROAD RESIDENCE
N/E COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA.
APN 004-202-015-000

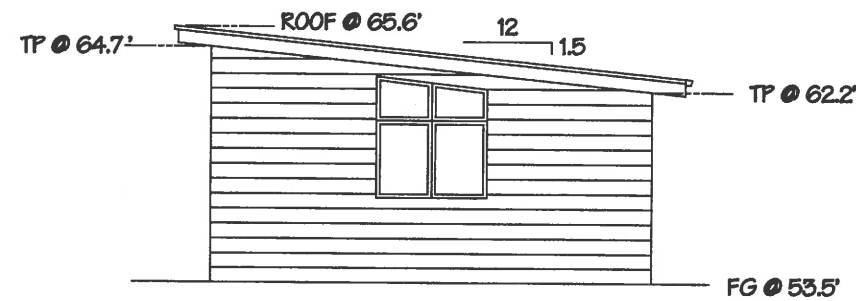
JOHN MANDURRAGO
Design Studios

P. O. BOX 71, CARMEL BY-THE-SEA, CA. 93921 831-625-1553

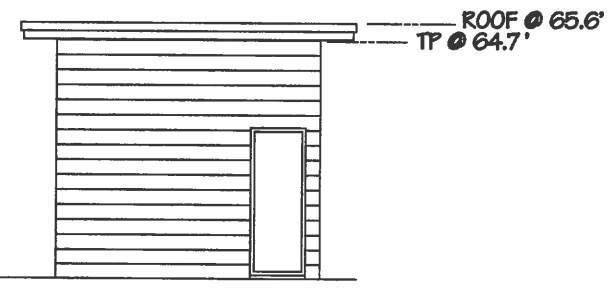
1709
D-5



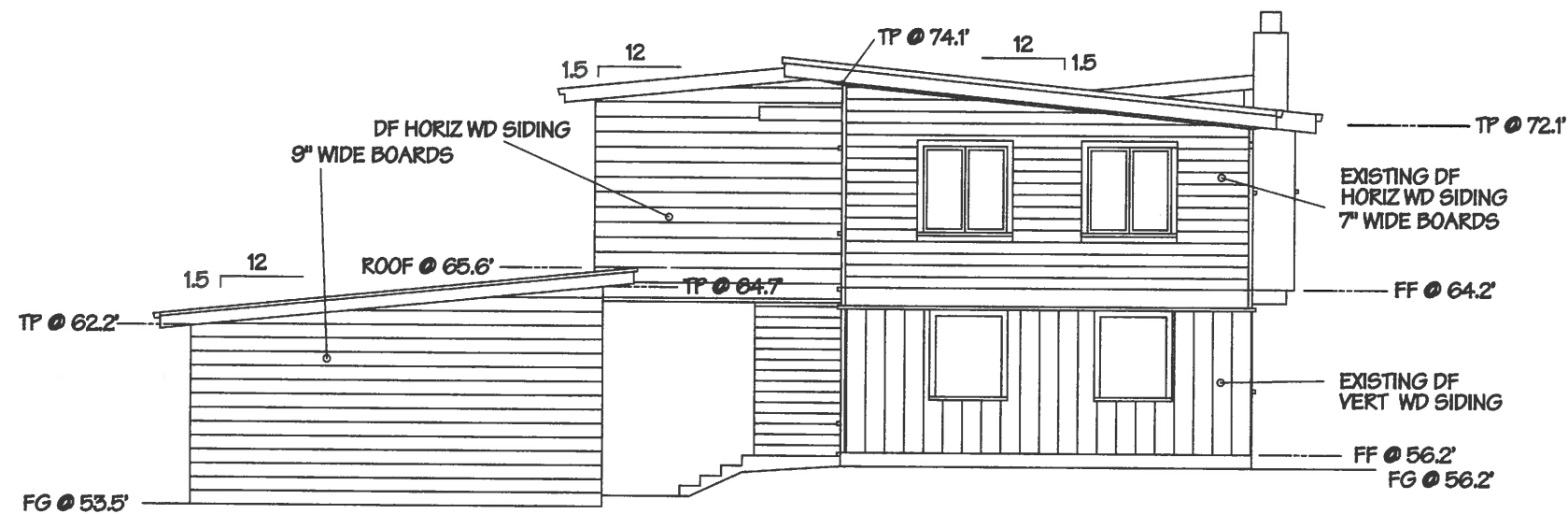
SOUTH



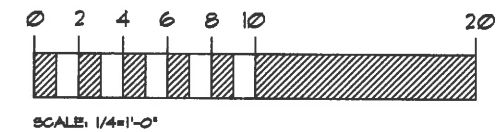
GARAGE WEST



GARAGE NORTH



EAST



EXTERIOR
ELEVATIONS

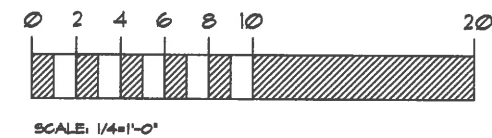
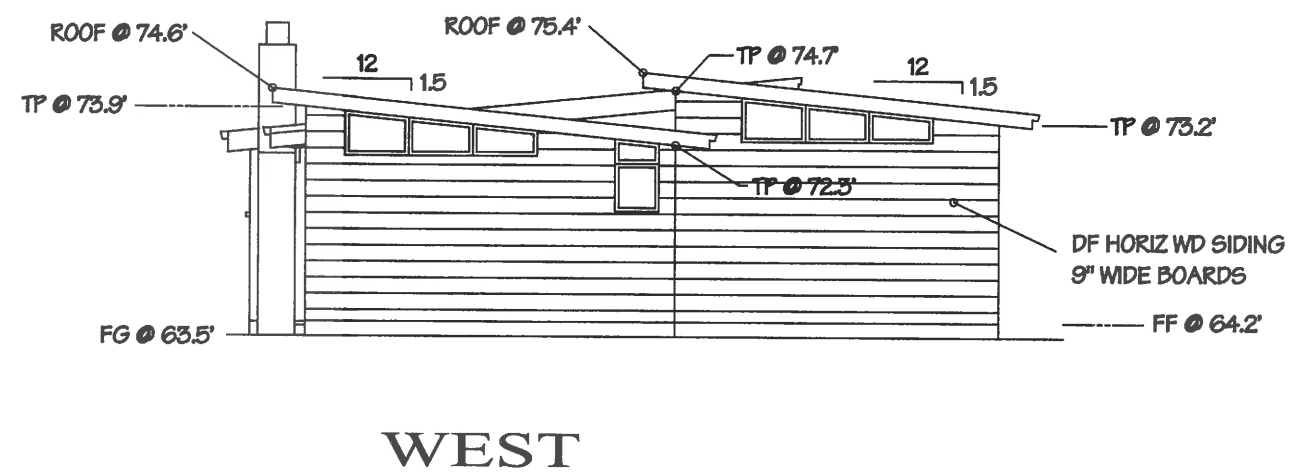
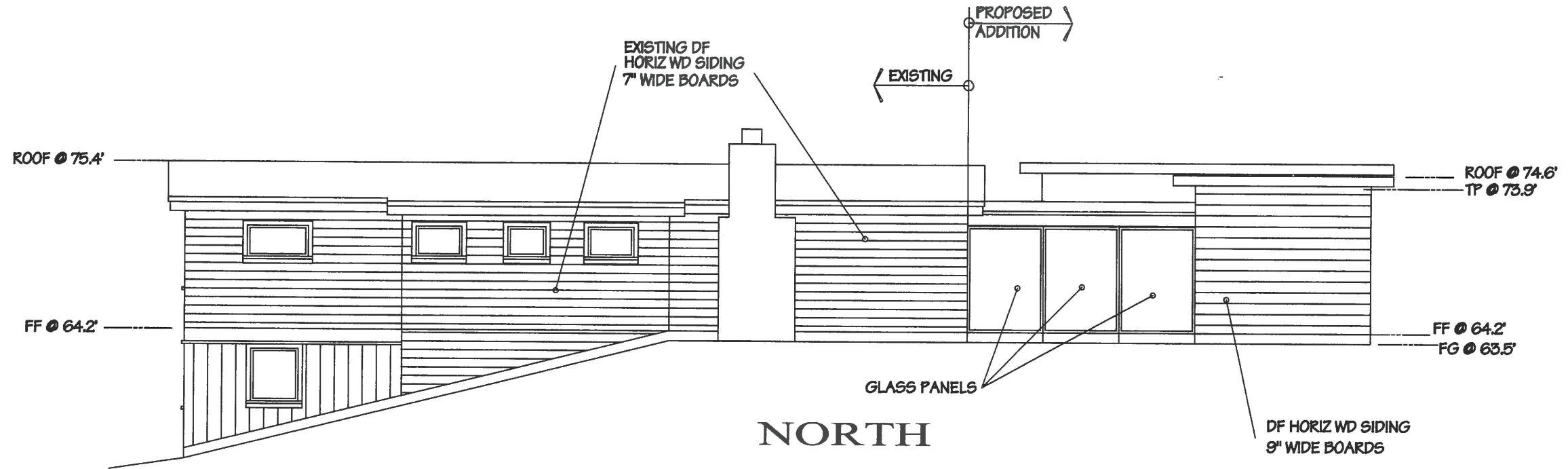
JOHN MANDURRAGO
DESIGN STUDIOS

P. O. BOX "R", CARMEL BY THE SEA, CA. 93921 831-825-1553

03-11-18
08-08-18

JOB
NUMBER
1709
SHEET
NUMBER
D-6

FOREST ROAD RESIDENCE
NE COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA.
APN 009-202-015-000



EXTERIOR ELEVATIONS

JOHN MANDURRAGO
DESIGN STUDIOS

P. O. BOX "R", CARMEL BY-THE-SEA, CA. 93921 831-825-1553

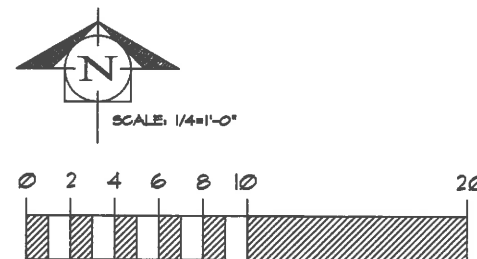
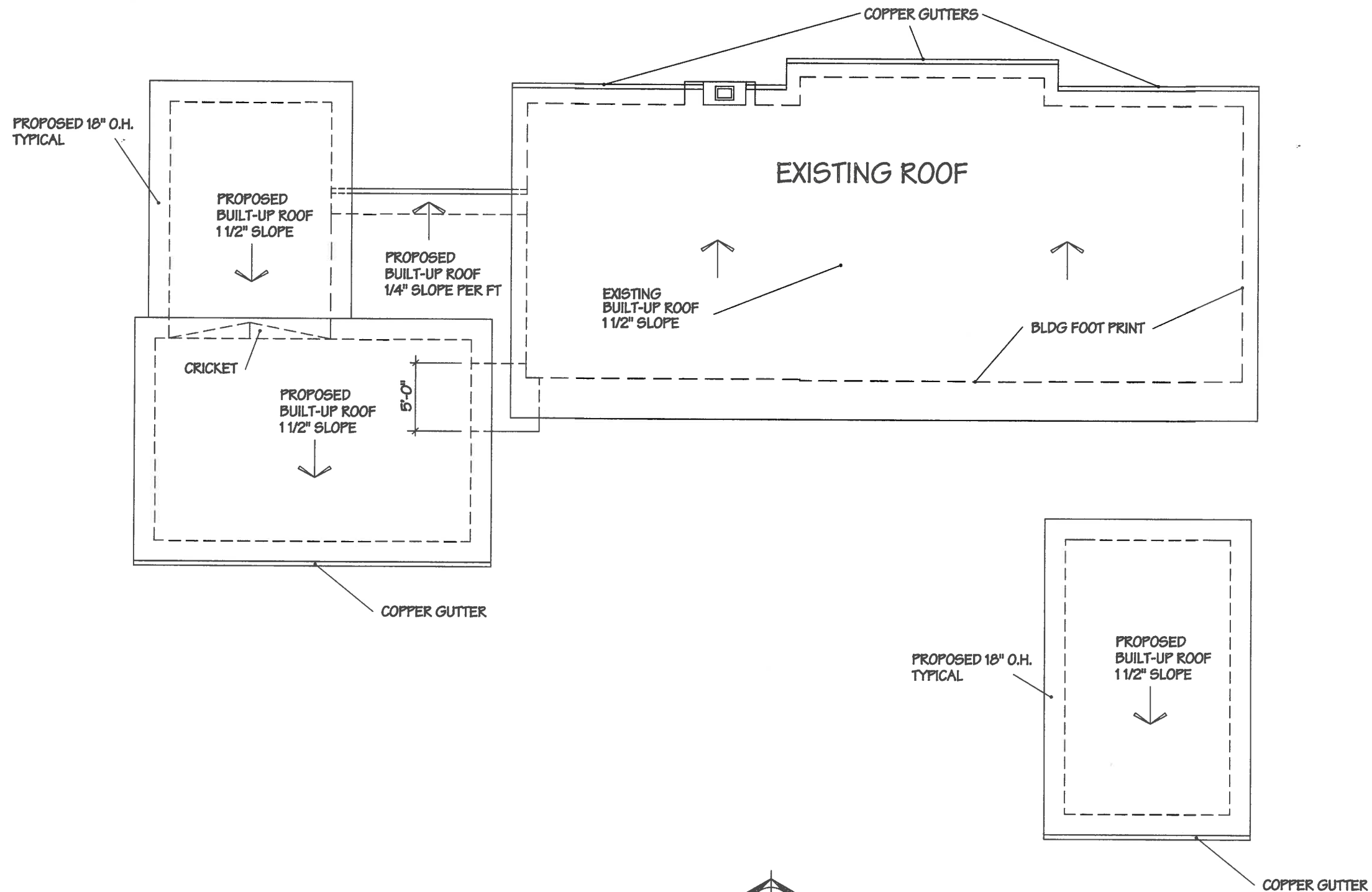
06-16-18

08-08-18

JOB
NUMBER 1709

SHEET
NUMBER D-7

FOREST ROAD RESIDENCE
N/E COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA.
APN 009-202-015-000



PROPOSED /EXIST ROOF PLANS

JOHN MANDURRAGO
DESIGN STUDIOS

P. O. BOX 78, CARMEL BY-THE-SEA, CA 93921 831-625-1553

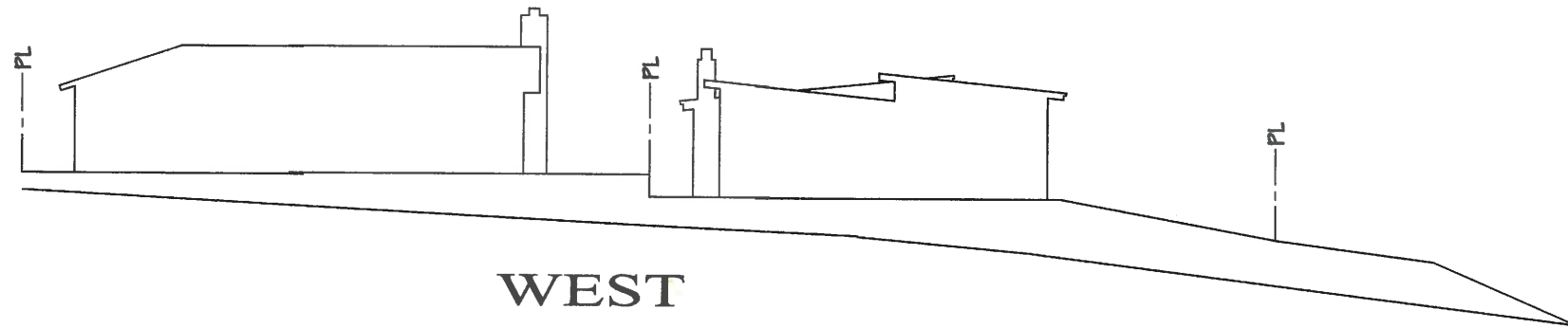
03-11-18
08-08-18

JOB
NUMBER 1709

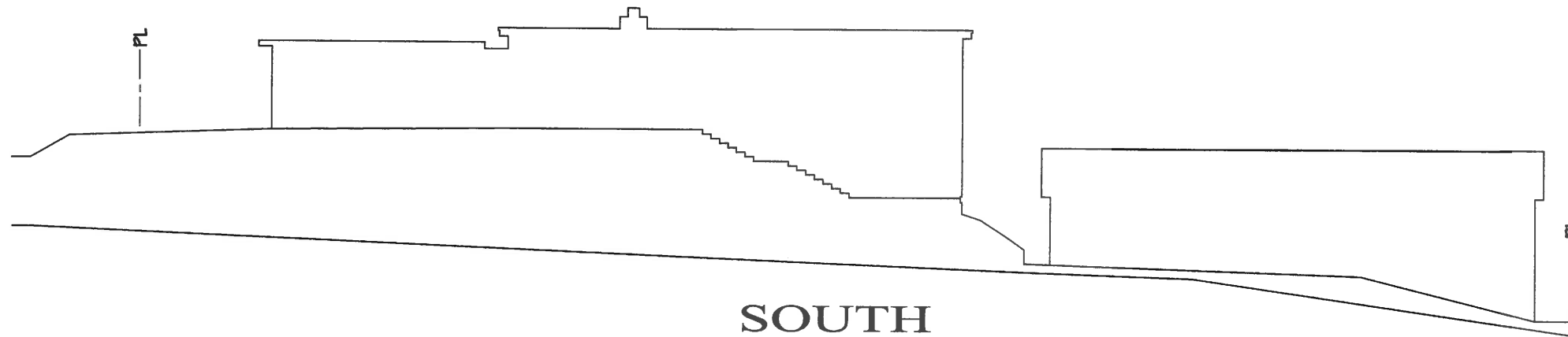
SHEET
NUMBER D-8

FOREST ROAD RESIDENCE
N/E COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA.
APN 009-202-015-000

REV: _____
REV: _____
REV: _____



WEST
FOREST STREET



SOUTH
8TH AVENUE



STREET SCAPE

SCALE: 1/8"=1'-0"

JOHN MANDURRAGO
DESIGN STUDIOS

P. O. BOX "R", CARMEL BY-THE-SEA, CA 93921 831-825-1553

03-11-18

08-08-18

JOB
NUMBER 1709

SHEET
NUMBER D-9

FOREST ROAD RESIDENCE
NE COR FOREST ROAD & 8TH
CARMEL BY THE SEA, CA.
APN 009-202-015-000



CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

August 20, 2018

To: Chair Dyar and Board members

From: Marc Wiener, AICP, Community Planning & Building Director

Submitted by: Marnie R. Waffle, AICP, Senior Planner

Subject: Consideration of a Design Study (DS 18-171) for alterations to a historic residence located on Casanova Street 4 SE of 9th Avenue in the Single-Family Residential (R-1) Zoning District

Application: DS 18-171

APN: 010-186-013

Location: Casanova 4 SE of 9th

Block: D

Lot(s): 12

Applicant: Daniel Archer, Agent

Property Owner: Fremont Land Company, LLC

EXECUTIVE SUMMARY

The applicant is proposing to construct a 131-square-foot single-story addition, convert the existing storage/laundry back to a single car garage, and remove/replace existing windows and doors to facilitate the new internal layout of the residence. Exterior modifications are primarily located on secondary elevations of the historic residence known as the 'Artie Bowen House'. The original bungalow was constructed by Arthur 'Artie' Bowen in 1906 and was added to the City's Inventory of Historic Resources in 2002.

RECOMMENDATION

Staff recommends that the Historic Resources Board issue a Determination of Consistency with the Secretary of the Interior's Standards.

BACKGROUND

The existing residence is a circa 1906, one-story Bungalow known as the 'Artie Bowen House'. The property is listed at the local level of significance, under California Register Criteria 3, in the area of architecture as the first home constructed by Arthur 'Artie' Bowen, one of Carmel's early carpenters/builders who worked in construction in Carmel from 1906-1955. A State of California DPR 523 form was prepared for the 'Artie Bowen House' on August 8, 2002 (Attachment 2).

The property is a 4,000-square-foot lot with an existing 1,144-square-foot residence and 172-square-foot attached garage that was converted to a storage and laundry room. The exterior wall-cladding is wood shingle. The intersecting hip-and-gable roof is covered with wood shakes. An exterior wall stone chimney is located on the north (side) elevation. The main entry is on the west facing façade under a gabled-roofed open porch. The porch is characterized by a birds-mouth fascia board on false purlins supported by square wood posts resting on a closed porch rail faced with wood shingle. Fenestration is irregular with a large four-light focal window in a slightly projecting window bay on the north side of the west façade and paired wood casement type windows with a multi-paned transom above on the porch next to the glazed and wood panel entry door. The attached garage to the south is a later addition (circa 1935) and is clad with vertical board & batten siding.

PROJECT DESCRIPTION

The applicant is proposing to remodel the interior of the existing residence and construct 131-square-foot single-story addition on the south side of the residence to facilitate relocation of bedroom 2 and enlargement of the living room area. The addition is proposed to be clad with board & batten siding to match the attached garage. Stone cladding is proposed west of the addition and the horizontal lap siding east of the addition is proposed to be replaced with board and batten siding. The project also includes converting the existing storage and laundry room back to a single-car garage. Other exterior modifications include removing and replacing existing windows on secondary elevations to facilitate the new interior layout of the residence.

On the primary (west) elevation, a new planter box would be installed under the four-light focal window. The applicant is also proposing to replace the paired wood casement type windows with new, double-pane wood windows. No modifications are proposed to the multi-paned transom above. The front door would be replaced with a new wood door that better reflects the Craftsman style of the residence. On the south side of the west façade, the existing door and window to the storage and laundry room would be replaced with a new wood garage door. The style of the garage door and front entry door would be complementary.

STAFF ANALYSIS

Historic Evaluation Summary: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. The proposed alterations were reviewed by the City's Historic Preservation Consultant and a Phase II Historic Assessment was prepared (refer to Attachment 3). The Assessment includes an analysis of the proposed changes based on the Secretary of the Interior's Standards for the Treatment of Historic Properties (Attachment 4). The Assessment concludes that the project, as shown on the project plans stamped received on May 2, 2018, would not cause a significant change to the listed historic building and would not create a significant adverse effect on the environment. Therefore, the project would be consistent with the Secretary of Interior's Standards.

Secretary of the Interior's Standards: The *Secretary of the Interior's Standards for the Treatment of Historic Properties* identify four primary treatment approaches to historic buildings: Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation is the recommended standard of treatment for this project. Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations and additions while preserving those portions of features which convey it's historical, cultural, or architectural values. Based on the Phase II Historic Assessment prepared for the project, the proposed modifications are consistent with the Secretary's Standards for Rehabilitation.

Standard #9 states, *"New additions, exterior alterations, or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."*

On the primary (west) elevation, the applicant is proposing to replace the paired wood casement type windows with in-kind double-paned wood casement windows. These windows have been identified in the Focused Phase II Historic Assessment as a character defining feature and should be retained in their original condition. However, the applicant has indicated that the wood windows are worn and in need of replacement. The Secretary of the Interior's Standards recommend *"retaining and preserving windows and their functional and decorative features that are important to the overall character of the building. The window material and how the window operates are significant as are its components (including sash, muntins, ogee lugs, glazing, pane configuration, sills, mullions, casings or brick molds)."* The Secretary of the Interior discourages *"changing the appearance of windows that contribute to the historic character of the building by replacing materials, finishes or colors which noticeably change...the reflectivity and color of the glazing..."*. Condition of Approval No. 3 requires retention of the paired casement windows but allows for replacement under the supervision of a Historic Preservation Consultant if the windows are deteriorated and cannot be repaired.

The proposed addition would be located on mostly altered secondary elevations and will fill in an existing patio area between two modern additions to the residence. The proposed addition would be located in an inconspicuous area of the historic building envelope and would be limited in size and scale in relationship to the historic residence. The addition would also be screened from the public right-of-way by the attached garage. The proposed addition is subordinate in mass and scale to the existing residence. Condition of Approval No. 4 requires greater differentiation on the south elevation which could include using a different width batten or applying board-on-board cladding to clearly but subtly distinguish the altered portions of the residence from the attached garage.

Environmental Review: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. If the alterations are deemed consistent with the

Secretary's Standards, no further CEQA review is required. Staff recommends that the proposed alterations be found consistent with the Secretary of the Interior's Standards and therefore, additional environmental analysis would not be required.

ATTACHMENTS:

- Attachment 1 – Conditions of Approval
- Attachment 2 – DPR 523 Form for 'Artie Bowen House'
- Attachment 3 – Focused Phase II Historic Assessment
- Attachment 4 – Secretary of the Interior's Standards
- Attachment 5 – Project Plans

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

DS 18-171 (Fremont Land Co.)
Casanova 4 SE of 9th
Block: D; Lot: 12
APN: 010-186-013

AUTHORIZATION:

1. This Determination of Consistency for DS 18-171 (Fremont Land Co.) authorizes alterations to a historic residence including the construction of a 131-square-foot single-story addition, conversion of the existing storage/laundry back to a single-car garage, and removing/replacing existing windows and doors to facilitate the new internal layout of the residence. All work shall be consistent with the plans prepared by William C. Mefford dated received by City of Carmel-by-the-Sea Planning & Building Department on May 2, 2018 except as modified by the conditions of approval below.

CONDITIONS OF APPROVAL:

2. **Secretary's Standards.** All project construction shall conform to the Secretary of the Interior's Standards for Rehabilitation.
3. **Wood Casement Windows (Front Façade).** The paired wood casement windows (with multi-paned transom above) located on the porch (west elevation) shall be retained. If the windows need repair, all repairs shall be performed consistent with the Secretary of the Interior's Standards for Rehabilitation. If the windows cannot be repaired, the windows may be replaced under the supervision of a Historic Preservation Consultant.
4. **Wall Cladding Differentiation.** The applicant shall differentiate the board & batten siding on the south elevation by incorporating a different width batten or applying board-on-board cladding to clearly but subtly differentiate the modifications from the original attached garage.
5. **Exterior Lighting.** Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground. All fixtures shall be shielded and down facing.

6. **Pre-construction Meeting.** Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the City's Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. A Building Permit will not be issued until this meeting has occurred.
7. **Tree Protection.** Trees shall be protected during construction by methods approved by the City Forester. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning & Building Department.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION**PRIMARY RECORD**

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

5S1

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

Resource Name or #: (Assigned by recorder) *Artie Bowen Hse.*

P1. Other Identifier: _____

P2. Location: _____

☐ Not for Publication ☒ Unrestricted a. County *Monterey*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____

Date _____

T _____

; R _____

1/4 of _____

1/4 of Sec _____

B.M. _____

c. Address: _____

City *Carmel by-the-Sea*Zip *93921*

d. UTM: (Give more than one for large and/linear resources) _____

mE/ _____

mN _____

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

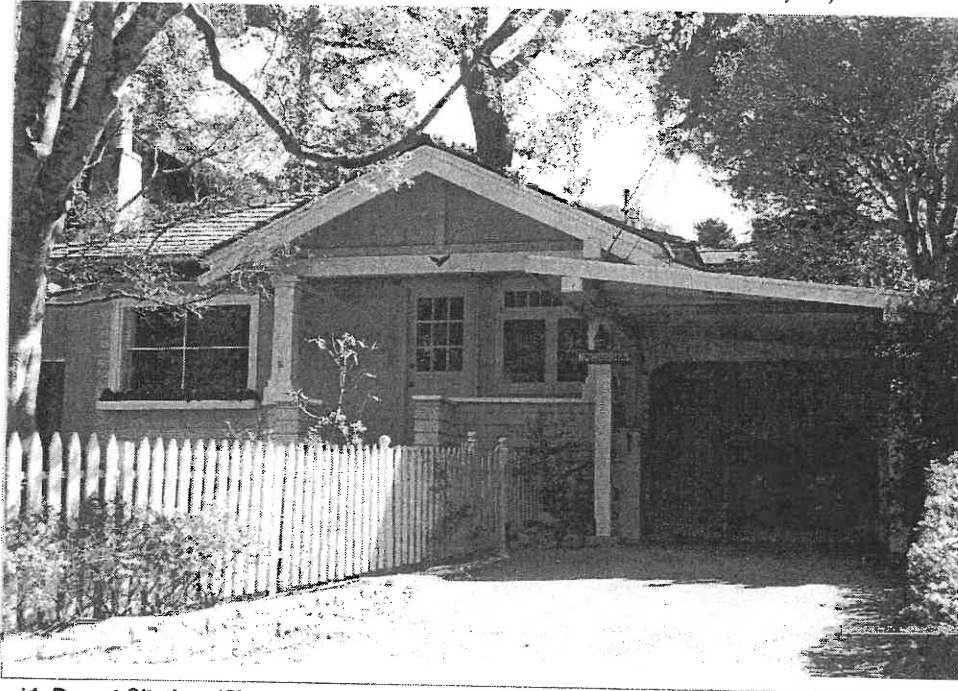
*4 SE of 9th, E/side Casanova (Blk D, Lot 12)*Parcel No. *010-186-013*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-story, wood-framed Bungalow, irregular in plan, resting on a concrete foundation. The exterior wall cladding is wood shingle. The intersecting hip-and-gable roof is covered in a wood shake. An exterior brick eave-wall chimney is located along the north side-elevation, toward the west. The main entry is on the south side of the west facing facade, under a gable-roofed open porch. The porch is characterized by a birds-mouth fascia board on false purlins, supported by square wood posts resting on a closed porch rail faced w/wood shingle. Fenestration is irregular w/a large 4 light focal window in a slightly projecting window bay on the north side of the facade (west), and paired wood casement type windows, w/a multi-paned transom above on the porch, next to the glazed and wood panel entry door. An attached garage to the south is a later addition. The house sits well back on its lot behind a Carmel stone retaining wall w/a low wood picket fence, in an informal landscape setting of mature oaks, and other non-native trees.

3b. Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Looking east at west facing facade, 2/10/01, #6196-12

P6. Date Constructed/Age and Sources

☐ Prehistoric ☒ Historic ☐ Both*1906 Sharron Hale*

P7. Owner and Address

*Carl & Jan Cox
4431 Stoneridge Dr.
Pleasanton, CA 94588*

P8. Recorded by: (Name, affiliation, and address)

*Kent L. Seavey
Preservation Consultant
310 Lighthouse Ave.
Pacific Grove, CA 93950*
P9. Date Recorded: *8/8/2002*

P10. Survey Type: (Describe)

Carmel Historic Resource Inventory - 2001

11. Report Citation: (Cite survey report and other sources, or enter "none")

Carmel by-the-Sea Survey 1989-1996

Attachments

☐ NONE☒ Continuation Sheet☐ Location Map☒ Building, Structure, and Object Record☐ Sketch Map☐ Archaeological Record☐ District Record☐ Linear Feature Record☐ Milling Station Record☐ Rock Art Record☐ Artifact Record☐ Photograph Record☐ Other: (List)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

NRHP Status Code

551

Resource Name or #: (Assigned by recorder) *Artie Bowen Hse.*

B1. Historic Name:

B2. Common Name:

B3. Original Use: *residence*

B4. Present Use: *residence*

B5. Architectural Style: *Bungalow*

B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed 1906; front porch added prior to 1924 (Sanborn map); foundation added 1940s (Cbp#1315) room addition to rear 1977 (Cbp#77-152); rear bedroom/bath addition 1987 (Cbp# 87-235)

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date :

Original Location:

B8. Related Features: *attached garage to south 1935 (Cbp #2646); new garage roof 1977 (Cbp# 77-152); flat-roofed carport ext. of garage 1987 (Cbp# 87-235)*

B9a. Architect:

b. Builder: *Arthur Bowen*

B10. Significance: Theme: *Architectural Development*

Area: *Carmel-by-the-Sea*

Period of Significance: *1903-1940*

Property Type: *single family residence*

Applicable Criteria: *CR3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

The Artie Bowen Hse. is significant under California Register criteria 3, in the area of architecture, as the first home constructed by Arthur 'Artie' Bowen, one of Carmel's early carpenter/builders, who worked in construction in Carmel from 1906 to 1955. It may also be significant under criteria 2, for the many contributions made by Bowen to the upbuilding of the village.

Arthur 'Artie' Bowen was born in Sotomville, near Salinas in 1887. Later, the family moved to San Jose where young Bowen attended public school, completing the eighth grade at Lowell Grammer School prior to becoming an apprentice carpenter. In 1905 Bowen visited the Monterey peninsula and determined to settle here. He met Frank Devendorf in Carmel, and acquired the Casanova Street parcel. During his early years in the village he worked for Devendorf and various contractors, including M.J. Murphy. He noted in an interview that the building materials in those days had to be hauled by horse team from the Monterey wharf over Carmel hill to the job sites. He stated that a crew of two or three carpenters could complete a small cottage in a weeks work. Some of Bowen's projects included the Carmel Bakery (1908), Forest Theater (1910), the Mary Austin Hse, (1911) and the Las Tiendas building (1929), on Ocean Ave., He noted that "perfection was my constant goal in building". Perhaps Bowen's most significant contribution to the trades, along with the many homes and commercial buildings he helped construct, was his committment to train young workmen "to become sound builders and conscientious craftsmen in their specialized fields."

Artie's first carmel house, as owner/builder was a simple wood shingled hipped roof cottage. The Bungalow style front porch now present, was added before 1924. It enhanced the cottage's character and kept it in vogue with the Arts & Crafts aesthetic then popular in the village. Except for the attached garage, constructed in 1935, and extended in 1979, all further additions were to the rear of the house, and are not visible from the street.

B11. Additional Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*

B12. References:

*Carmel bldg. records, Carmel Planning Dept., City Hall, Carmel
Carmel Historic Context Statement 1997*

Hale, Sharron, A Tribute to Yesterday, Valley publishers: Santa Cruz, 1980

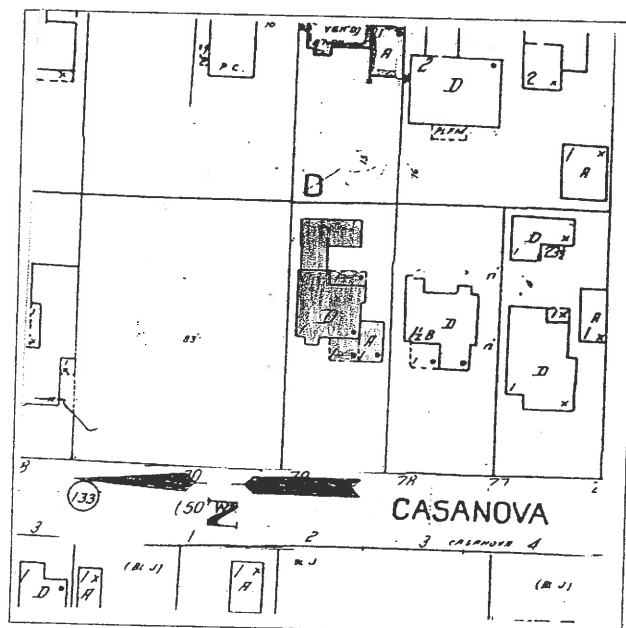
Planer, Harold, "Artie Bowen Left His Mark on Carmel", Monterey Peninsula Herald. n/d

B13. Remarks: *Zoning R-1
CHCS (AD)*

B14. Evaluator: *Kent Seavey*

Date of Evaluation: *8/8/2002*

(This space reserved for official comments.)



CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 3 of 3

Resource Name or #: (Assigned by recorder) *Artie Bowen Hse.*

Recorded by: *Kent L. Seavey*

Date *8/8/2002*

☒ Continuation ☐ Update

B10. Artie Bowen only lived briefly in the cottage he constructed, however it was the first of his buildings in Carmel and remains basically intact. The porch addition to the facade reflects the popular building styles of the day and is a change that has acquired historic significance in its own right. The Artie Bowen Hse. clearly reflects the findings of, and is consistent with the 1997 Carmel Historic Context Statement under the theme of architectural development.

B12. Sanborn fire insurance maps of Carmel 1910, 1924, 1930, 1930-62

KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831) 375-8739

July 16, 2018

Mr. Marc Weiner
Planning Director
Carmel Planning & Building Dept.
P.O. Drawer G
City of Carmel-by-the-Sea

Dear Mr. Weiner:

Introduction:

This Focused Track II Historic Assessment has been prepared on behalf of Mr. & Mrs. Dan Archer as part of an application for additions and alterations to the Artie Bowen House, located on Casanova, 4SE of 9th (APN# 010-186-013), in Carmel (see photos, plans & drawings provided).

Historical Background & Description:

The subject property is a 1906 one-story wood-framed Bungalow, irregular in plan, resting on a concrete foundation. The exterior wall-cladding is wood-shingles. The low-pitched, intersecting hip-and-gable roof is covered in wood shakes. An exterior brick eave-wall chimney is located along the north side-elevation, toward the west. The main entry, added in 1924, is on the south side of the west facing facade, under a gable-roofed open porch. The porch is characterized by a birds-mouth fascia board on false purlins, supported by wood posts resting on a closed porch rail, faced with wood shingles. Fenestration is irregular, w/a large, 4 light focal window in a slightly projecting window bay on the north side of the facade (west) & paired wood casement windows, w/a multi-paned transom above the porch, next to the glazed and wood panel entry door.

An attached garage to the south is a 1935 addition. The house sits well back on its lot behind a Carmel Stone retaining wall w/a low, wood picket fence, in an informal landscape setting of mature oaks, and other non-native trees.

It is significant, within the theme of Architectural Development in Carmel (1888-1965), established in the 2008 Carmel Historic Context Statement, as the first home constructed by Arthur "Artie" Bowen, one of Carmel's early carpenter/builders, who worked in construction in the village from 1906 to 1956. Its period of significance would be 1924 (see California DPR 523 documentation provided).

Character-defining features of the house include its irregular plan; one-story height; wood shingle siding; intersecting hip-and-gable roof; gabled porch with Bungalow detailing; wood casement windows with multi-paned transom above and attached board-and-batten garage.

Project Description

The owners will maintain the property in its residential use. They propose to (1) make a 131 SF one-story addition connecting two modern bedroom spaces on the south side-elevation of the building envelope. (2) Add new period appropriate doors to the now enclosed 1935 attached garage, with a matching entry door on the house. (3) Replace two modern windows with French doors and (4), replace an impermeable concrete driveway with permeable red brick in a Herringbone pattern (see plans and drawings provided).

Evaluation of Significance

The California Environmental Quality Act (CEQA), PRC Sec.21084.1 requires all properties fifty years of age or older to be reviewed for potential historic significance. Criteria for that significance is addressed in PRC Sec. 5024.1 (a). It asks, did any event important to the region, state or nation occur on the property. Did anyone important to the region, state or nation occupy the property during the productive period of their lives. Does the building represent an important architectural type, period or method of construction, or is it a good example of the work of a noted architect or master-builder. The criteria also asks if the property is likely to yield information significant to the understanding of the areas history.

Eligibility for historic listing of buildings, structures, objects, sites and districts, i.e., rests on the twin factors of historic significance and integrity to be considered for listing in the National Register of Historic Places, the California Register of Historical Resources, and the Carmel Historic Resource Inventory. Loss of integrity, if sufficiently great, will overwhelm the historic significance a resource may possess and render it ineligible for historic listing. Likewise, a resource can have complete integrity, but if it lacks significance, it must also be considered ineligible.

Integrity is measured by the application of seven aspects, defined by the National Register Criteria for Evaluation. They include: Location, the place where the historic property was constructed, or an historic event occurred; Design, the combination of elements that create the form, plan, space, structure, and style of a building; Setting, the physical environment of the historic property; Materials, the physical elements that were combined during a particular period of time and in a particular pattern or configuration to form a historic property; Workmanship, the physical evidence of the crafts of a particular culture or people during any given period in history; Feeling & Association are subjective elements that assess a resources ability to evoke a sense of time and place.

Evaluation of Historic Integrity

The subject property retains its original location and setting. It's design, materials and expression of workmanship are sufficiently intact to convey a strong sense of time and place and of feeling and association with the residential development of Carmel, within the context of Architectural Development in Carmel (1888-1965), established in the 2008 Carmel Historic Context Statement.

Evaluation:

The owner proposes a bedroom addition off the south side-elevation of the residence, and functional doors for an existing attached garage plus minor window alterations off altered elevations. All new work will be undertaken in conformance with the *The Secretary of the Interior's Standards for the Treatment of Historic Properties, under the Standard for Rehabilitation*.

The Secretary of the Interiors Standards for the Treatment of Historic Properties Identify four primary treatment approaches to historic buildings. They are Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation would be the recommended standard of treatment for the subject property.

Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The Secretary's Standards encourages "placing a new addition on a non-character-defining elevation." and locating alterations to historic properties in areas where previous alterations already exist. The 1992 National Park Service *Illustrated Guidelines for Rehabilitating Historic Buildings*, states that "The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility."

In this instance, the proposed additions are mostly on altered, secondary elevations. The proposed bedroom addition will in fill between two modern additions, one done in 1979 the other in 1987. Two windows added in 1979, will be changed to French doors as part of the the new work. The character-defining features of the historic building will not be radically changed. The proposed additions are on inconspicuous areas of the historic building envelope, and limited in size and scale in relationship to the historic building. They will also be screened from the public right-of-way by the existing garage.

The new addition will be differentiated from the old by its form and materials (see plans and drawings provided). The proposed work will be compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. This is consistent with Rehabilitation Standard #2 and #5. If removed in future, the essential form and integrity of the historic residence will be unimpaired, consistent with Standards #9 and #10 (see copy of the Rehabilitation Standards provided).

Impacts of the Proposed Project:

The owner has proposed to add a bedroom off the south side-elevation, and new doors to a previously enclosed attached garage, to provide for contemporary usage.

WEST (FRONT) ELEVATION (primary)

Add new Bungalow Style garage doors to a previously enclosed attached garage.

Add a new front door matching the proposed garage door design. Replace concrete driveway with permeable brick Herringbone driveway.

NORTH SIDE-ELEVATION (secondary, altered)

Remove modern window in north elevation, at rear of chimney, and replace with new window more appropriate in design character with the house.

EAST (REAR) ELEVATION (secondary, altered)

Remove modern window in rear (east) elevation of garage and replace with new window more appropriate in design character with the house.

SOUTH SIDE-ELEVATION (secondary, altered)

The proposed bedroom will in fill between the two modern additions. It will not be seen from the public right-of-way. Two windows, on this elevation, added in 1979, will be replaced with French doors (see plans and drawings provided). In accordance with the Rehabilitation Standards recommendations for new additions, the proposed bedroom will not obscure or radically change the historic appearance of the historic building envelope (see photos, and plans & drawings provided).

All new work will be clearly differentiated from the old, but compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. If removed in future, the essential form and integrity of the historic resource and its environment will be unimpaired.

Conclusion:

The proposed work on the subject property will be executed consistent with the Secretary's Standards for Rehabilitation, with the least possible loss of historic material so that the remaining character-defining features of the resource will not be obscured, damaged or destroyed. The alterations noted are reversible. As proposed the new work will not cause a significant change to the listed historic building and will not create a significant adverse effect on the environment.

Mitigation

The proposed project appears to be in conformance with the *Secretary of The Interiors Standards for the Treatment of Historic Properties* under the *Standard for Rehabilitation*. (see documentation, photos and plans & drawings provided). No mitigation is needed for this project.

Respectfully Submitted,

A handwritten signature in dark ink, appearing to read "K. G. Seay". The signature is written in a cursive, flowing style with a large initial "K" and a long, sweeping underline.

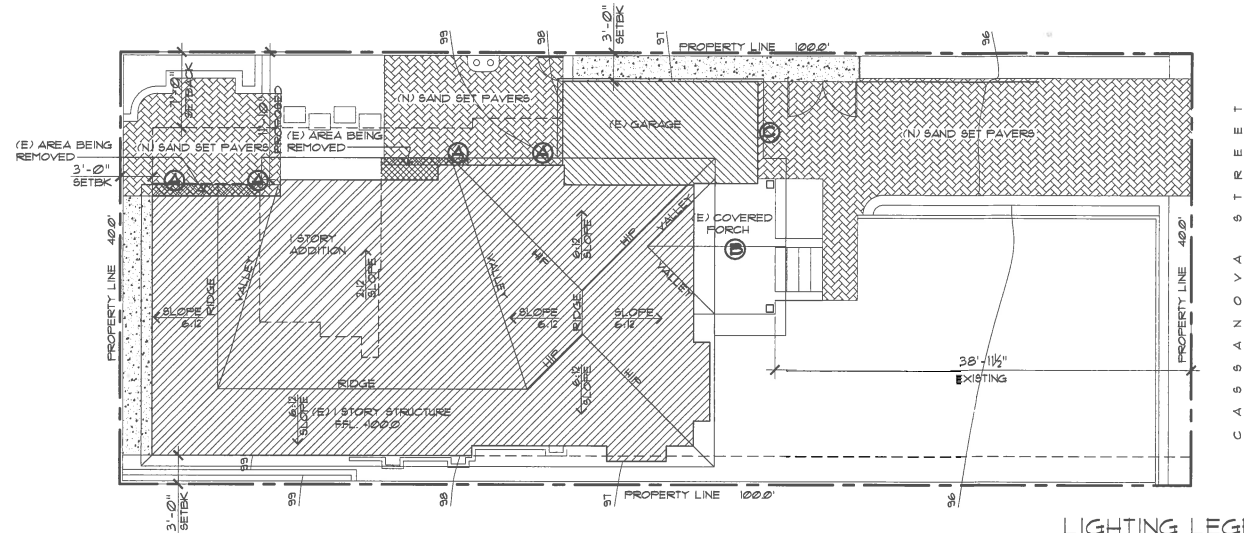
Casanova, 4SE of 9th Street-Carmel



Photo #1 Looking east at the west facing facade, note enclosed garage, Kent Seavey, July, 2018.

**SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF
HISTORIC PROPERTIES**

1. "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."
2. "The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."
3. "Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."
4. "Most properties change over time; changes that have acquired historic significance in their own right shall be retained and preserved."
5. "Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."
6. "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, and pictorial evidence."
7. "Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."
8. "Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."
9. "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."
10. "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."



SITE PLAN

1/8" = 1'-0"

LIGHTING LEGEND

- A FRANKLIN IRON WORKS HICKORY POINT SCONCE LIGHT
- B FRANKLIN IRON WORKS HICKORY POINT FLUSHMOUNT LIGHT
- C MINKA LAVERY BAYTREE LANE WALL MOUNT LIGHT

PROJECT DATA

OWNER: MR. & MRS. DAN ARCHER
1532 CANADA VISTA WAY
MONTEREY, CA 93940
(831) 596-9660
SITE ADDRESS: CASANOVA 4 SE OF 9TH
CARMEL, CA
APN: 010-186-013
SITE AREA: 4000.0 SF
ZONING: R-1
CONSTRUCTION TYPE: VB
SPRINKLERS: NO
STORIES: 1
PROJECT SCOPE: ADD 131 SF TO EXISTING SINGLE FAMILY RESIDENCE
REMODEL ENTIRE INTERIOR OF EXISTING RESIDENCE

BUILDING AREA:	
(E) LIVEABLE AREA	1144.0 SF
(E) GARAGE	172.0 SF
TOTAL (E) FLOOR AREA	1316.0 SF
LIVEABLE AREA BEING REMOVED	24.0 SF
(N) FLOOR AREA	155.0 SF
NET ADDITION	131.0 SF
(E) COVERED PORCH	112.0 SF
SITE COVERAGE	
ALLOWED	556.0 SF
EXISTING	1397.6 SF (34.9%)
PROVIDED	1133.8 SF (28.3%)
F.A.R.	
ALLOWED	1800.0 SF (45%)
PROVIDED	1441.0 SF (36.2%)
TREE REMOVAL	NONE
GRADING	
CUT	0 CYD
FILL	0 CYD
WATER SUPPLY BY CAL AM	
SEWAGE DISPOSAL BY CARMEL WASTE WATER DISTRICT	

DRAWING INDEX

- A-1 PROPOSED SITE PLAN
- A-2 FLOOR PLAN, DEMOLITION PLAN
- A-3 EXTERIOR ELEVATIONS

RECEIVED

MAY 02 2018

City of Carmel-by-the-Sea
Planning & Building Dept

ALLOWED VOLUME:	18365.0 CF
PROPOSED VOLUME:	17529.1 CF
WALL CALCULATIONS	
EXISTING EXTERIOR WALL LENGTH	219.1 LF
DEMOLISHED EXT. WALL LENGTH	66.6 LF (30.4%)

	EXISTING	%	PROPOSED	%
EXISTING SITE AREA	4000 SF		4000 SF	
GROUND FLOOR AREA	1316 SF		1441 SF	
TOTAL FLOOR AREA	1316 SF	32.9	1441 SF	36.2
BUILDING FOOTPRINT	1316 SF	32.9	1441 SF	36.2
PAVING AREA (IMPERMEABLE)	1397.6 SF	34.9	299.9 SF	7.5%
PAVING AREA (PERMEABLE)	0 SF		833.9 SF	20.8%
TOTAL SITE COVERAGE	1397.6 SF	34.9	1133.8 SF	28.3%

NOTE: SITE COVERAGE INCLUDES AREA OF EXISTING COVERED PORCH AND STEPS



VICINITY MAP

NTS

REVISIONS

NO.	DATE

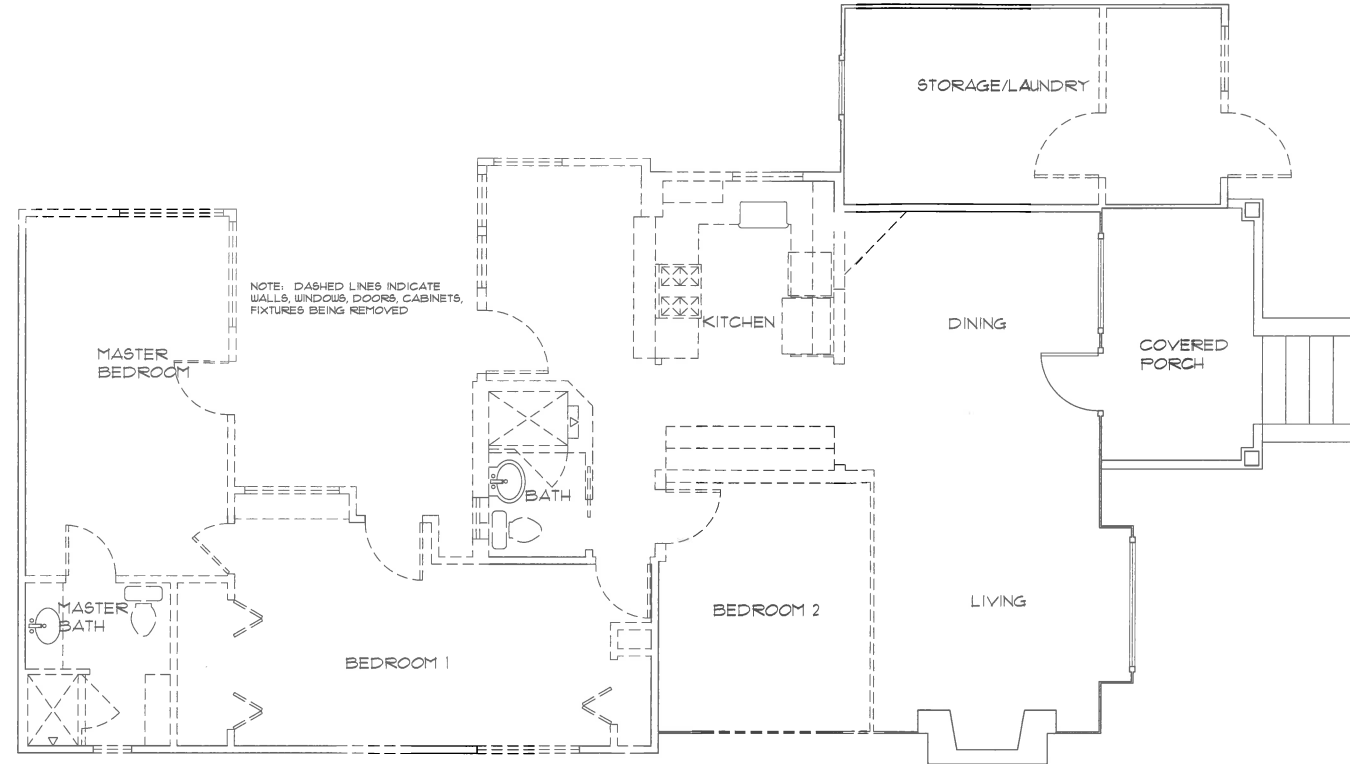
WILLIAM C. MEFFORD
ARCHITECT
P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22893

ADDITIONS AND REMODEL FOR:

Mr. & Mrs. Dan Archer
CASANOVA, 4 SE OF 9TH
APN 010-186-013
CARMEL, CA

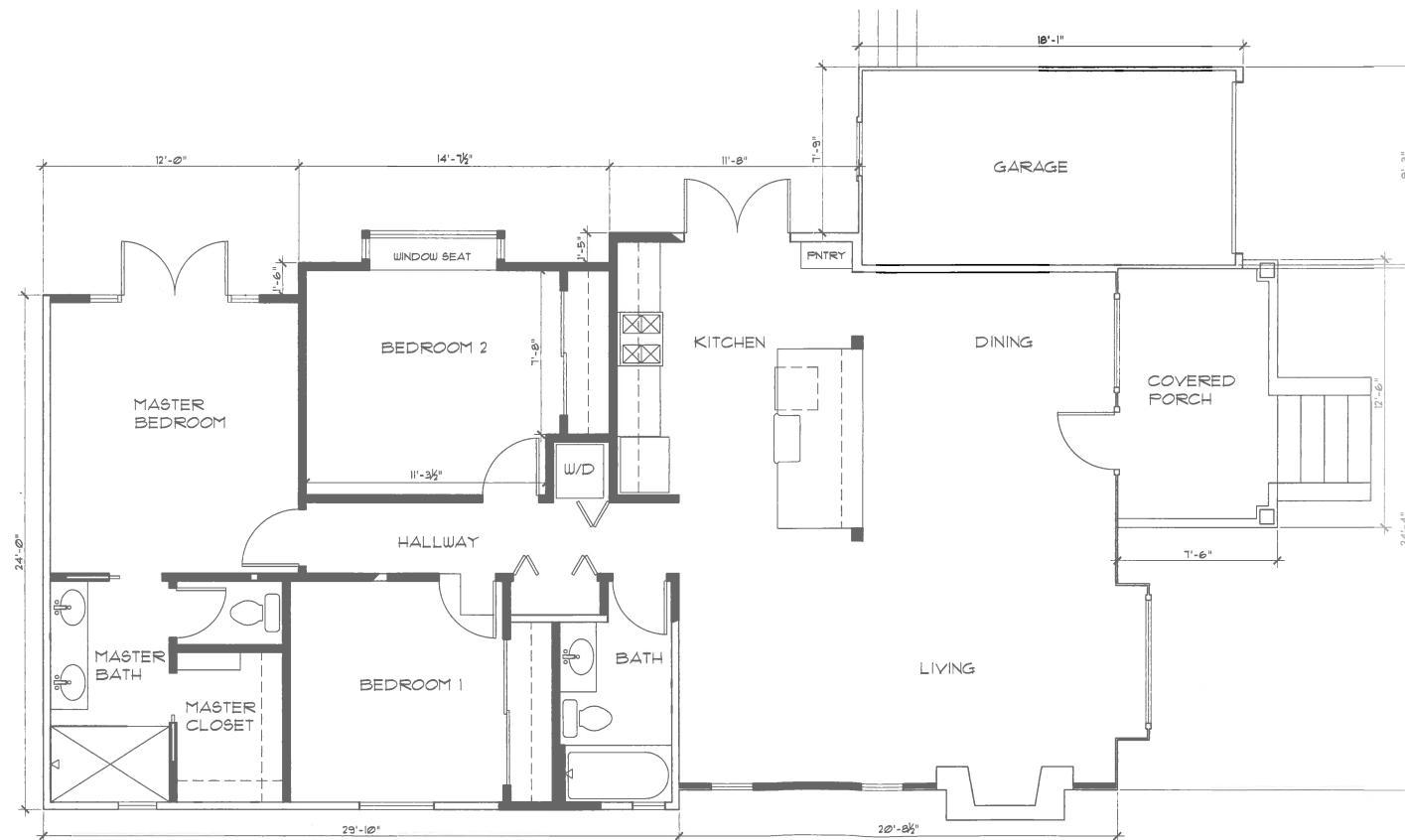
DATE: 4/27/2018
PROJECT NO. 18005
DRAWN BY:
CHECKED BY:
SHEET TITLE: SITE PLAN

SHEET NO. A-180
OF FOUR SHEETS



DEMO PLAN

1/4" = 1'-0"



FLOOR PLAN

1/4" = 1'-0"



REVISIONS

NO. DATE

WILLIAM C. MEFFORD

ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22893

ADDITIONS AND REMODEL FOR:

Mr. & Mrs. Dan Archer

CASANOVA, 4 SE OF 9TH CARMEL, CA

APN 010-186-013

DATE: 4/21/2018

PROJECT NO. 18025

DRAWN BY:

CHECKED BY:

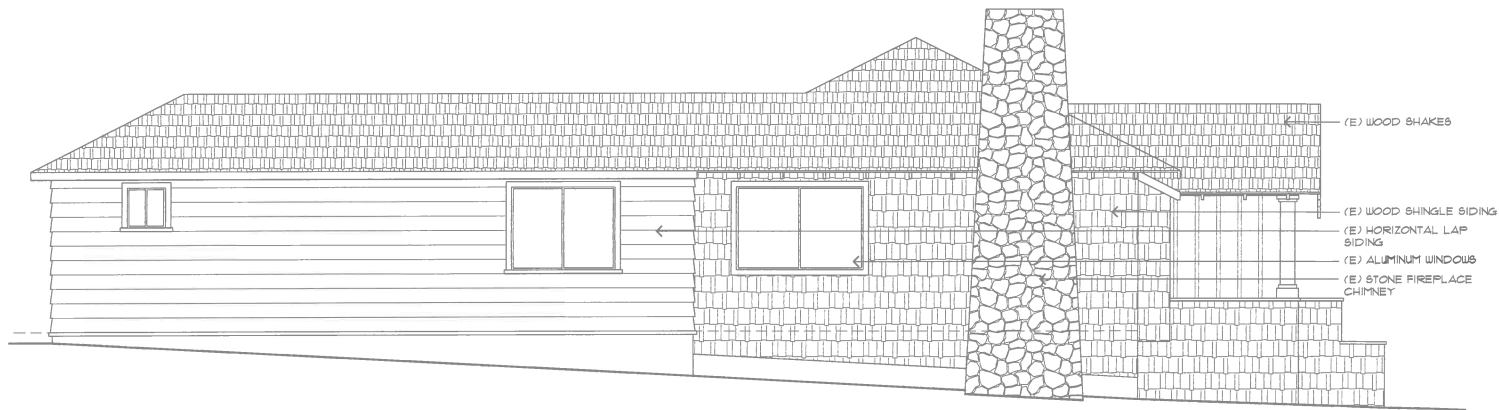
SHEET TITLE:

DEMO PLAN
FLOOR PLAN

SHEET NO.

A-281

OF FOUR SHEETS



EXISTING NORTH

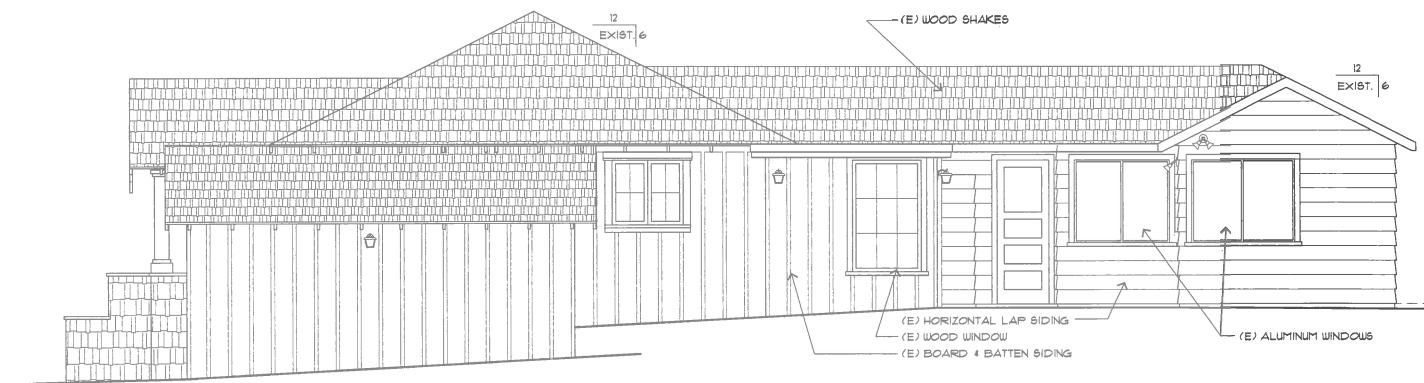
1/4" = 1'-0"



PROPOSED NORTH

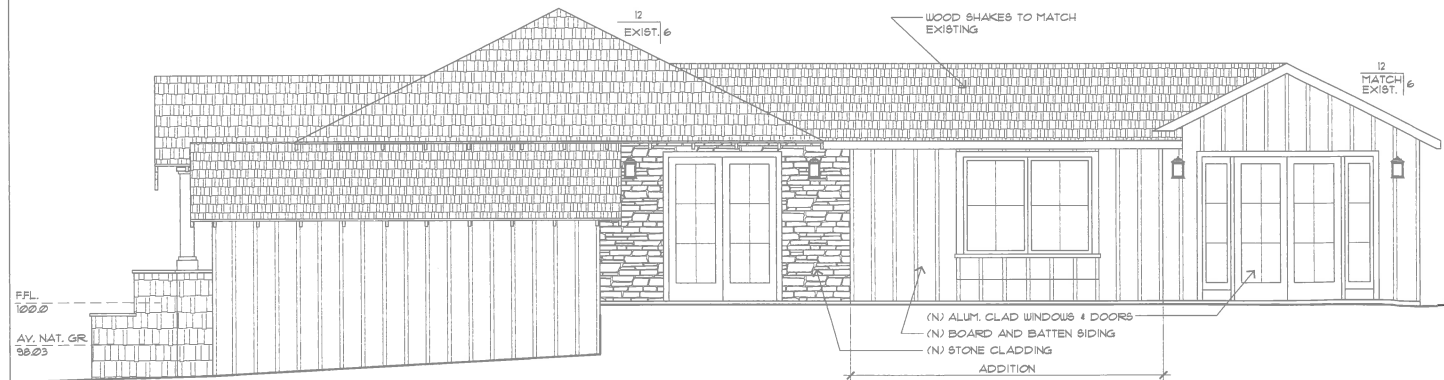
1/4" = 1'-0"

WINDOWS MAY
CHANGE IN SIZE/LOCATION
(OR MAY BE ELIMINATED)



EXISTING SOUTH

1/4" = 1'-0"



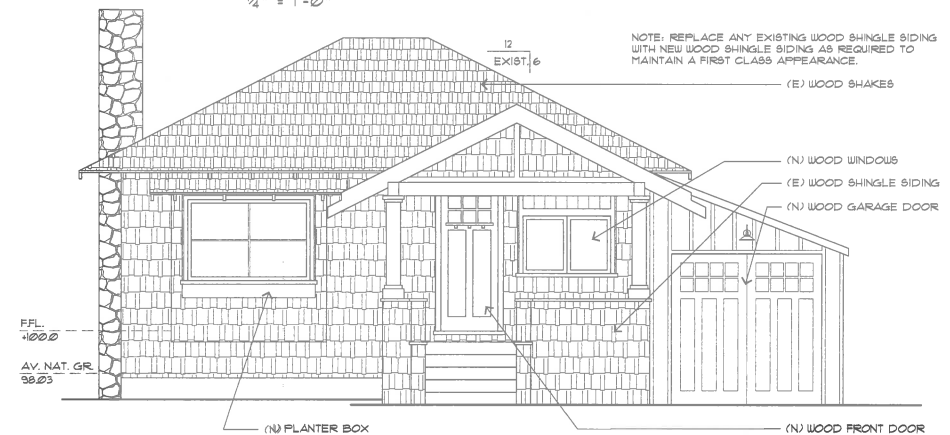
PROPOSED SOUTH

1/4" = 1'-0"



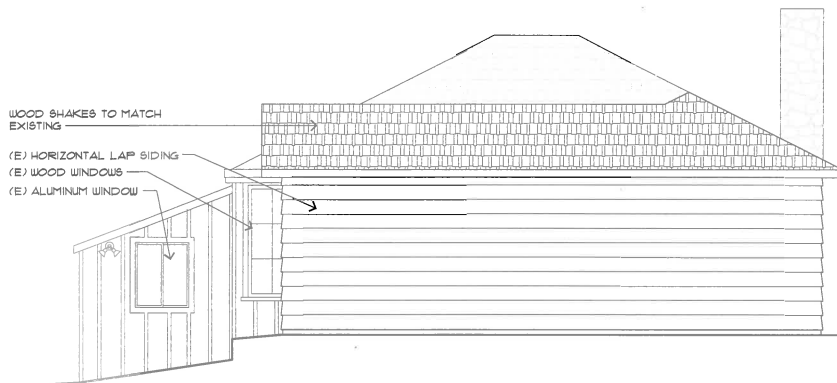
EXISTING WEST

1/4" = 1'-0"



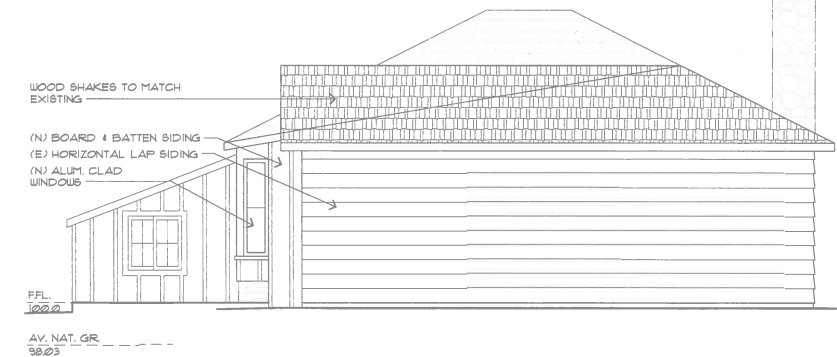
PROPOSED WEST

1/4" = 1'-0"



EXISTING EAST

1/4" = 1'-0"



PROPOSED EAST

1/4" = 1'-0"

REVISIONS

NO.	DATE

WILLIAM C. MEFFORD

ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950
(831) 373-4567 LICENSE # C-22893

ADDITIONS AND REMODEL FOR:

Mr. & Mrs. Dan Archer

CASANOVA, 4 SE OF 9TH CARMEL, CA

APN 010-186-013

DATE:	4/27/2018
PROJECT NO.	18025
DRAWN BY:	
CHECKED BY:	
SHEET TITLE:	EXTERIOR ELEVATIONS
SHEET NO.	A-382
OF FOUR	SHEETS



CITY OF CARMEL-BY-THE-SEA

Historic Resources Board Report

August 20, 2018

To: Chair Dyar and Board members

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Marnie R. Waffle, AICP, Senior Planner

Subject: Consideration of a Determination of Ineligibility for Design Study application (DS 18-142) to demolish an existing residence and construct a new residence located on San Antonio Street 3 SW of 4th Avenue in the Single-Family (R-1) Zoning District

Application: DS 18-142 **APN:** 010-321-024

Location: San Antonio 3 SW of 4th Ave

Block: SS **Lot(s):** 3

Applicant: Eric Miller Architects, Inc. **Property Owner:** Richard Schuler

EXECUTIVE SUMMARY

The properties within the Sand and Sea development were listed on the City's historic inventory on/about 2002 and subsequently removed in 2006. Staff re-issued a Determination of Ineligibility for Sand and Sea Lot 3 on June 28, 2018. The Determination has been called up for review by the Historic Resources Board.

RECOMMENDATION

Staff recommends that the Historic Resources Board affirm the Determination of Ineligibility for the existing property located on San Antonio 3 SW of 4th Street.

BACKGROUND AND PROJECT DESCRIPTION

On April 16, 2018, the applicant submitted a Design Study application to demolish an existing single-story residence and construct a new residence within the Sand and Sea development. CMC Section 17.32.130 (Design Study, Building Permit or Other Application for Alteration of Property) states that upon submittal of a design study application the City shall determine if a property contains historic resources. Staff conducted a historic evaluation of the property to determine whether the property contained any historic resources and discovered that the existing residence had been previously evaluated for historical significance.

In 2002, Richard N. Janick prepared a Department of Parks and Recreation (DPR) 523 form identifying the existing residence (Lot 3) as historically significant under California Register Criteria 3 in the area of architectural development as an early “modernist style” house designed by Jon Konigshofer that is intact and part of the development of four houses built in 1941 for real estate agent Elizabeth McClung White (refer to Attachment 1). The property was subsequently added to the City’s Inventory of Historic Resources along with other properties within the Sand and Sea development, specifically Lots 2, 4 & 5.

In 2005, four property owners within the Sand and Sea development (Lots 2-5) filed appeals of the historic designation and requested removal of their properties from the City’s Inventory of Historic Resources. A DPR 523 form was prepared by Meta Bunse on behalf of the appellants (refer to Attachment 2). The City Council heard the appeal of Lot 4 in July 2006 and removed the property from the Inventory. In November 2006, the Historic Resources Board heard the appeals for Lots 2, 3 & 5 and removed the properties from the Inventory (refer to Attachment 3). None of the properties within the Sand and Sea Development are currently listed on the Historic Inventory.

On March 11, 2016, staff re-issued a Determination of Ineligibility for Lot 5 based on the prior City Council and Historic Resource Board actions to remove the properties from the Historic Inventory.

CMC Section 17.32.060.D (Determinations of Ineligibility) states that a Determination of Ineligibility shall be valid for a period of five years from the date of issuance. Since it has been more than five years since Lot 3 was removed from the Inventory, staff completed a historic evaluation and issued a new Determination of Ineligibility on June 28, 2018 (refer to Attachment 4).

CMC Section 17.32.060.D.2 requires that all Determinations of Ineligibility be provided to the Historic Resources Board and that, upon receipt, any member of the Board may call a determination of ineligibility up for review by filing a written request during the appeal period. On July 2, 2018 a Board member filed a written request to further review the Determination.

STAFF ANALYSIS

While preparing the historic evaluation for Lot 3 of the Sand and Sea development, staff reviewed the property file as well as the prior evaluations, determinations, and appeals that were presented to the Historic Resources Board and the City Council. The City Council concluded that Jon Konigshofer did not qualify as a master builder and that the architectural style of the residences was not historically significant. As a result, the City Council removed Sand and Sea Lot 4 (as well as another Konigshofer design located on 7th Avenue 3 SE of Forest) from the Inventory. Based on these conclusions, the Historic Resources Board subsequently removed Sand and Sea Lots 2, 3 & 5 from the Inventory. One residence designed by Konigshofer remains on the Inventory and is located at 2969 Franciscan Way (refer to Attachment 5).

Based on these prior decisions, staff re-issued a Determination of Ineligibility for Sand and Sea Lot 5 in 2016 and Lot 3 in 2018. Staff notes that the property owner relied on the prior determinations when submitting a Design Study application to demolish the residence on Lot 3 and construct a new home. The property owner of Lot 5 is also in the process of preparing plans for a new residence on their property.

Staff's issuance of a Determination of Ineligibility is based on the prior decisions which were rendered regarding the Sand and Sea Development and CMC Section 17.32.130.A.2 which states,

"...A determination of ineligibility issued by the Department within five years of the date of the application shall constitute a showing that the property is not an historic resource. The Department shall have the discretion to accept determinations of ineligibility that are older than five years, if there have been no changes to the Historic Context Statement or other demonstrated changes in circumstance that are applicable to the subject property and if there is no substantial new evidence available that would affect the determination."

In staff's opinion, there are no demonstrated changes in circumstances or substantial new evidence to render a decision different from the City Council's determination in 2006. While the Historic Context Statement was updated in 2008 and information on Jon Konigshofer was expanded, no new evidence is available that wasn't already considered in 2006 when the property was removed from the Inventory.

ATTACHMENTS:

- Attachment 1 – DPR 523 for Sand and Sea Lot 3 (Janick)
- Attachment 2 – DPR 523 for Sand and Sea Lot 3 (Bunse)
- Attachment 3 – Historic Resources Board Staff Report dated November 20, 2006
- Attachment 4 – June 28, 2018 Determination of Ineligibility for Sand and Sea Lot 3
- Attachment 5 – DPR 523 for 2969 Franciscan Way (Janick)
- Attachment 6 – Historic Context Statement – Konigshofer Excerpts

Kim - Lot 3

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

5D1

Other Listings

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

Resource Name or #: (Assigned by recorder)

House No. 3 for E.M. White

P1. Other Identifier: Port O'Call

P2. Location: ☐ Not for Publication ☒ Unrestricted

a. County Monterey

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____

Date _____

T _____

; R _____

;

1/4 of _____

1/4 of Sec _____

;

E _____

c. Address: _____

City Carmel-by-the-Sea

Zip 93921

d. UTM: (Give more than one for large and/linear resources) _____

;

mEl _____

mN _____

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

West side San Antonio between Ocean & 4th (INT)

Sand and Sea Plot 3

Parcel No. 10-321-24

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-story undulating irregular rectangular plan house with a flat roof supported by exposed tapered rafters creating extended eaves providing shade from the sun. The plan is on an east-west axis with an orientation to the south and east for views to the dunes and beach and maximum light. The front door faces east, tucked behind a clinker brick structural wall. Large multi-panel sliding fixed glass windows stretch around the corner of projecting wings of a front and rear bedroom wing to the east. A large 15 pane fixed window faces south between the brick supporting wall and a large clinker brick chimney mass on the southwest corner of the living room.

A pair of fixed six-pane french doors open out to the west patio with views of the beach. 1" x 12" horizontal flush siding is inset above "window sill" high clinker brick exterior wainscoting that wraps around all facades of the house. The exterior treatment is common to the three adjacent houses also designed by Jon Konishofer for Elizabeth McClung White in 1941.

(See Continuation Sheet)

P3b. Resource Attributes: (List attributes and codes)

HP-2 Single Family Residence

P4. Resources Present

☒ Building☐ Structure☐ Object☐ Site☐ District☒ Element of District☐ Other (Isolates, etc.)P5. ~~See instructions and Form 1001-2 for instructions for buildings, structures, and objects.~~

P5b. Description of Photo: (View, date, accession #)

Looking N.W. at South and East

Exposed 8/5/02 #82637-11A

P6. Date Constructed/Age and Sources:

☐ Prehistoric☒ Historic☐ Both

P7. Carmel Building Files

P8. Owner and Address

Carmel K. Kim

111 High Street

Carmel, CA 93921

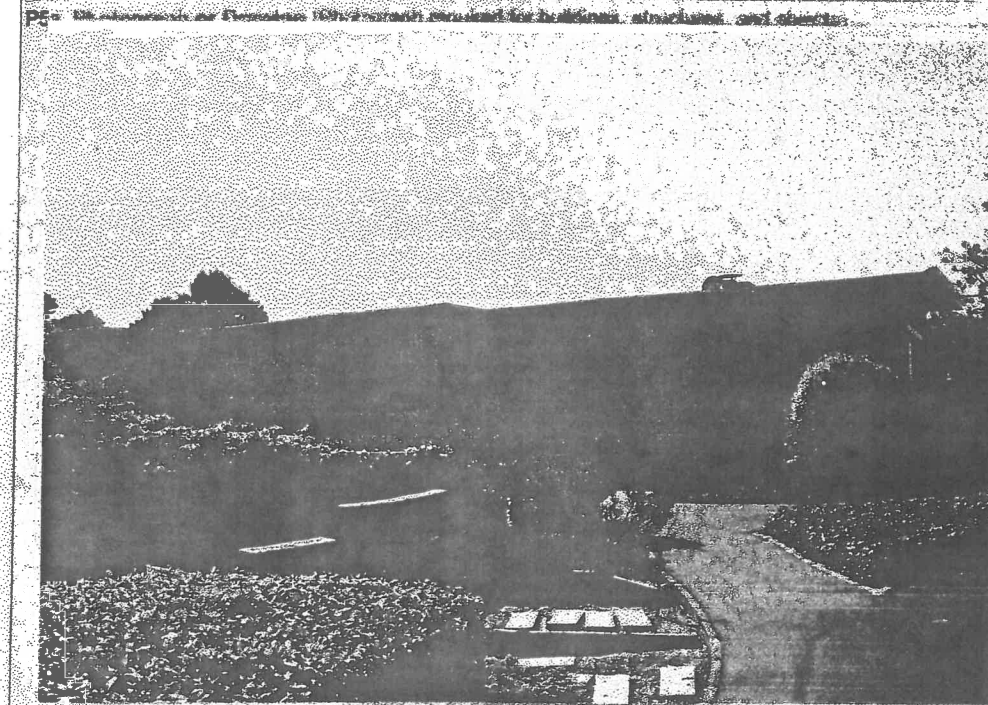
P9. Recorded by: (Name, affiliation, and address)

Richard M. Janick, P.O. Box 223408, Carmel, CA

93922

P10. Date Recorded: 8/19/2002

P10. Survey Type: (Describe)



P11. Report Citation: (Cite survey report and other sources, or enter "none")

NONE

Attachments

☐ NONE☒ Continuation Sheet☐ Location Map☒ Building, Structure, and Object Record☐ Sketch Map☐ Archaeological Record☒ District Record☐ Linear Feature Record☐ Milling Station Record☐ Rock Art Record☐ Artifact Record☒ Photograph Record☐ Other: (List)

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BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #

HRI #

Page 2 of 3

NRHP Status Code

5D1

Resource Name or #: (Assigned by recorder)

House No. 3 for E.M. White

B1. Historic Name: *Elizabeth McClung White House No. 3*

B2. Common Name: *Port O'Call*

B3. Original Use: *Single Family Residence*

B4. Present Use: *Single Family Residence*

B5. Architectural Style: *Bay Area Style No. 2*

B6. Construction History: (Construction date, alterations, and date of alterations)

1. Permit #847 (May 6, 1941) Build one-story frame, chalk rock, and rustic house for E. M. White (\$6,000) Architect: Jon Konigshofer; Contractor: Roger Gottfried (Original permit & plans in file) (See Continuation Sheet)

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

B8. Related Features: Permit #859 (Oct. 20, 1941) Build detached two-car garage (\$750) Architect: Jon Konigshofer; Contractor: Roger Gottfried

B9a. Architect: *Jon Konigshofer*

b. Builder: *Roger Gottfried*

B10. Significance: Theme: *Architectural Development in Carmel*

Area: *Carmel-by-the-Sea*

Period of Significance: *1880-1941* Property Type: *R-1*

Applicable Criteria: *CR#3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

The E. M. White House No. 3 aka "Port-O'-Call" is significant under California Register Criteria #3 in the area of architectural development as an early "modernist style" house designed by Jon Konigshofer that is intact and part of a development of four houses built in 1941 for Real Estate Agent Elizabeth McClung White on the Sand and Sea residential zone of Carmel-by-the-Sea. The modernist style details are the overhanging flat roof, the sliding ribboned window treatments, and the flush horizontal siding. Craftsman details evoking the Bay Area Tradition are evident in the extended rafters of the overhanging roof eaves, the clinker brick veneer on the chimney and below the windows, and the exterior wainscoting. Also, the open plan and the terraced siting on the lot reach out to the sand dunes of Carmel Beach and the natural environment.

This particular house was featured in a January 1947 Sunset Magazine article, "Privacy in a Group," as an example of the Modern equivalent of the Craftsman Cottage and its relationship to nature. The house is intact, has not had any alterations, and is sensitively with the other three houses designed at the same time by Jon Konigshofer for E. M. White.

JON KONIGSHOFER

Born in Alameda, CA on January 13, 1907, Jon received his basic education locally. He spent two years at the University of Oregon prior to a stint as a merchant seaman that took him to New York. While in New York he studied at the Art Students (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

B12. References:

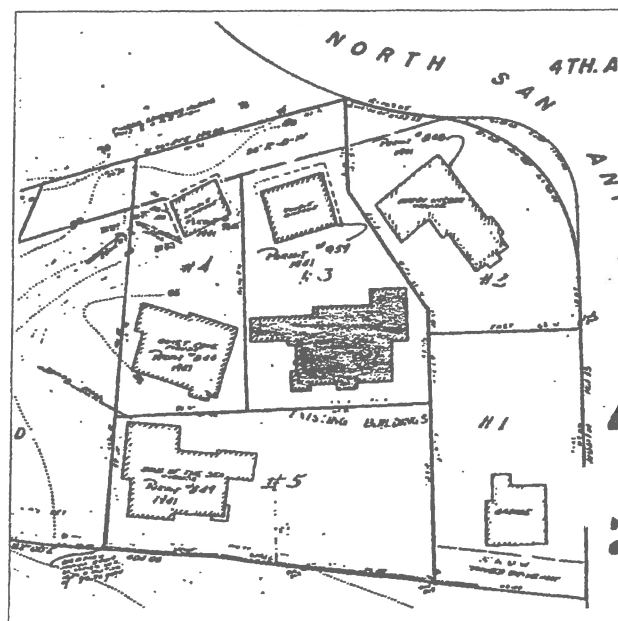
1. *Carmel Building Records, Planning Department, City Hall, Carmel*
2. *Carmel Historic Context Statement 1997*
3. *Original Plot Map (1941) Apr. by Jon Konigshofer for Miss E. M. White (See Continuation Sheet)*

B13. Remarks: *Zoning: R-1
CHCS /AD*

B14. Evaluator: *Richard N. Janick*

Date of Evaluation: *8/19/2002*

(This space reserved for official comments.)



CONTINUATION SHEET

Primary #

HRI #

Trinomial

Page 3 of 3 Resource Name or #: (Assigned by recorder)
Recorded by: Richard N. Janick

House No. 3 for E.M. White

Date 8/19/2002

☒ Continuation ☐ Update

B. 6. Construction History (Continued from Page 2)

2. Permit #959 (Oct. 29, 1941) Build one-story two-car detached garage (\$750) Architect: Jon Konigshofer; Contractor: Roger Gottfried
3. Permit #86-41 (March 3, 1986) Replace retaining wall and rebuild driveway to sand & Sea Plots (1-5) (\$55,460) Contractor: Granite Construction Owner: Joseph Brun

B. 12. References (Continued from Page 2)

4. Plot Map (1966) (Sand & Sea Plots 1-5) with Original Building Permit Nos. and Dates, Clayton Neill Engineering
5. "Privacy in a Group," Sunset Magazine January 1947, House No. 3 for E. M. White - Article deals specifically with this particular resource.

B. 10 Significance (Continued from Page 2)

League with the view of becoming a magazine illustrator. Konigshofer also studied design at the Oakland College of Arts and Crafts under Xavier Martinez and Hamilton Wolfe, supporting his studies as a draftsman with a local architectural firm. He came to Carmel where he went to work for M. J. Murphy as a designer. He soon left the firm to strike out on his own.

He worked on the design of John Gardener's Tennis Ranch in Carmel Valley and remodeled the Pine Inn for Harrison Godwin and the LaPlaya Hotel for Fred Godwin. His first house design was for J. D. Greenan in 1938, a ranch style overlooking Mission Fields. His second design was for Marie Spreckels Elezalde. He did a lot of work at Pebble Beach including Bing Crosby's house. In 1941, when Hollywood producer John Nesbitt brought in Frank Lloyd Wright to design and build a home for him in Pebble Beach, Jon Konigshofer was selected to supervise the project. Unfortunately, the building was never constructed, the principal reason being Wright's unwillingness to provide Nesbitt with a firm cost estimate for the building and the beginning of World War II.

Although never licensed as an architect, Jon Konigshofer's residential designs drew much attention and many were published in leading popular and professional journals in the late 1940s and 50s. His work appeared in "Architectural Forum," "The Architectural Record," "House Beautiful," "Sunset," "House and Garden," and the yearbook of the Encyclopedia Britannica.

In March of 1952, "Life Magazine" featured his "Hillside House" as affordable residential housing under \$10,000. Konigshofer's knowledge of Wright's concept of the Usonian House is clearly evident in his own designs. Jon Konigshofer is credited with at least 50 homes in Pebble Beach and more than 150 buildings, residential and commercial, on the Monterey Peninsula.

Elizabeth McClung White worked in the real estate business in Carmel as early as 1922 and particularly for Coastal Properties in the 1930's and 40s. She was also an assistant manager of the Mission Ranch. A medical scholarship at the University of Virginia exists in her name.

The E. M. White House No. 3 "Port-O-Call" clearly meets the criteria set forth in the CHCS (1997) under architectural development.

P. 3 Description (Continued from Page 1)

The lot of House No. 3 is terraced and has views of the sand dunes to the south and east and Carmel Beach to the west. The open plan is sensitive to the path of natural light and the environment.

A detached one-story two-car garage is situated at the north edge of the irregular lot set in against one of the undulating sand dunes on the site. The siding was originally 1" x 12" horizontal flush, the same as on the house, but is now stuccoed. A 2-foot high horizontal fascia cornice was also added on the overhanging roof at the same time as the stucco. A concrete retaining wall between another single car garage to the west shields a stairway to a path leading to the rear of the main house.

The siting of the house was highlighted in an article in the January 1947 issue of Sunset Magazine, aptly entitled "Privacy Within a Group."

Appellant's Review

State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION PRIMARY RECORD		Primary # _____ HRI # _____ Trinomial _____ NRHP Status Code <u>6Z1</u>
Other Listings _____ Review Code _____	Reviewer _____	Date _____

Page 1 of 7

*Resource Name or # (Assigned by recorder) Kim House

P1. Other Identifier: _____

 *P2. Location: ☐ Not for Publication ☒ Unrestricted
 and (P2b and P2c or P2d. Attach a Location Map as necessary.)
*a. County Monterey*b. USGS 7.5' Quad Monterey Date 1997, reprinted 2003 T ____; R ____; ____ % of Sec ____; ____ B.M.c. Address: West side San Antonio between 2nd & 4th City: Carmel-by-the-Sea Zip: 93921

d. UTM: (give more than one for large and/or linear resources) Zone ____; ____ mE/ ____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)
 (Sand & Sea Tract 644, Lot 3), Assessor Parcel No. 010-321-024

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This single story, wood frame residence has an irregular plan and is topped by a shed roof with wide projecting eaves. The open eaves reveal rafters with tapered ends. The building is clad in wide tongue and groove horizontal planks and a skirt wall of reclaimed brick. The same brick is used in the wide exterior chimney, as well as a in a section of brick cladding at the center of the main (south) façade. The main entrance, a paneled wood door, is located next to this brick cladding at the side of a southward projecting bay and opens onto a brick patio. Windows throughout are multi-light, metal frame casement with narrow wood trim. Secondary entrances include a pair of French doors at the west end, and a glazed wood panel door at the rear (north) side of the building. A detached one-story two-car garage is located north of the house at a lower elevation accessed from 4th Avenue. This building has stucco cladding, a shed roof, and wide closed eaves. Two single-car, tilt up doors with horizontal wood cladding are set in the north side of the garage. Concrete stairs flanked by a concrete retaining wall provide access between the garage and the residence.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family Property)*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Photograph 1, camera facing northwest, September 19, 2006.

*P6. Date Constructed/Age and Sources:

☒ Historic ☐ Prehistoric ☐ Both
1941; Carmel building records

*P7. Owner and Address:

Margaret Kim
1111 High Street
Palo Alto, CA 94301

*P8. Recorded by: (Name, affiliation, address):

Meta Bunse,
JRP Historical Consulting, LLC,
1490 Drew Ave, Suite 110,
Davis, CA 95618

*P9. Date Recorded: September 19, 2006.

*P10. Survey Type: (Describe)

Intensive

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None
 *Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record ☐ Archaeological Record
☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record
☐ Other (list) _____

DPR 523A (1/95)

*Required Information

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Page 2 of 7

*NRHP Status Code 6Z1

*Resource Name or # (Assigned by recorder) Kim House

B1. Historic Name: Port O'Call

B2. Common Name: Pollo del Mar

B3. Original Use: Single Family Residence B4. Present Use: Single Family Residence

*B5. Architectural Style: Second Bay Area Tradition

*B6. Construction History: (Construction date, alteration, and date of alterations) Built 1941; front entrance patio enlarged, n.d.; Garage stuccoed, boxed eaves added, doors replaced, n.d.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

B9. Architect: Jon Konigshofer, designer b. Builder: Roger Gottfried

*B10. Significance: Theme n/a Area n/a

Period of Significance n/a Property Type n/a Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The Kim House does not meet local, state, or national significance criteria of eligibility for the local inventory, the California Register of Historical Resources, or National Register of Historic Places. This review included examination of the previous evaluation of the property, the building itself, property permit records, and the local historic preservation guidance, including: DPR 523 forms by Richard Janick (August 2002), "Historic Context Statement, Carmel-by-the-Sea" (1996-1997), and the "Carmel-by-the-Sea Historic Resources Survey: Final Report" (October 2001). The Kim House was evaluated previously and it was not found to have important associations with historic events or trends, important individuals, or to have the potential to provide important information about history (Criteria 1, 2, and 4 of the California Register, and Criteria A, B, and D of the National Register). These are appropriate findings for this property because it does not have the historic associations necessary to meet these criteria. (See continuation sheets)

B11. Additional Resource Attributes: (List attributes and codes) _____

***B12. References:**

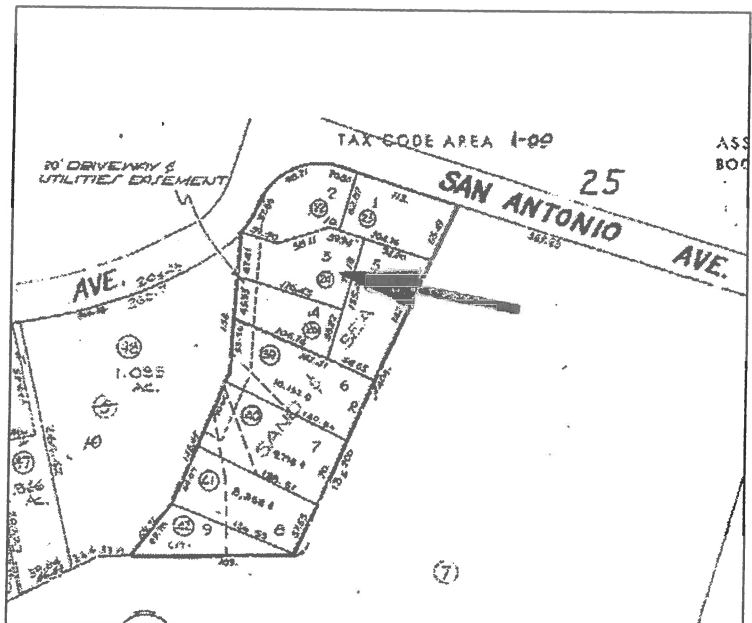
Carmel building permit records; Monterey County Assessor building records; California Death Index; DPR 523 form by Richard Janick (August 2002); *Sunset Magazine*; *Los Angeles Times*; Gowans, *The Comfortable House* (1987); McAlester, *A Field Guide to American Houses* (1992). Please see footnotes for additional reference material.

B13. Remarks:

*B14. Evaluator: Meta Bunse

*Date of Evaluation: November 1, 2006

(This space reserved for official comments.)



Page 3 of 7

*Resource Name or # (Assigned by recorder) Kim House

*Recorded by M. Bunse *Date September 19, 2006 ☒ Continuation ☐ Update

B10. Significance:

The previous evaluation concluded that the building appeared to meet Criterion 3 of the California Register (Criterion C, National Register), for architectural merit. This conclusion is not correct because this building is not architecturally significant individually, nor is the work of a master. The importance of the builder / designer was not supported by documentation in the previous evaluation. Importance is defined in the guidance as a designer who is renowned, someone who is a "master," builder or designer. According to National Register guidelines, and to which the California Register refers as well, "a master is a figure of generally recognized greatness in a field..." or "... a known craftsman of consummate skill."¹ In this case the builder-designer has not been demonstrated to have this importance. Additional research on Jon Konigshofer has shown that the Sand & Sea residences are not important examples of his work. Konigshofer was a prolific designer, but this fact does not demonstrate that he made significant contributions to the field of architecture, or that his designs were influential. Comparison with other examples of the work of the architect or builder provides a basis for showing the lack of importance of this building.

Local real estate agent Elizabeth M. White had Konigshofer design the houses of the Sand & Sea Tract for her as a speculative development in 1941. Four of the original five plans were constructed on lots 2 through 5, while Lot 1 was developed later when a house by Warren Thompson was built there in 1972. The Kim House is on Lot 3. Careful review of the plans available for the four houses that were constructed show that one of the major design elements in Konigshofer's drawings was stone work at the skirt walls, chimneys, and patios of each of the homes. As built, these homes all feature recycled, or clinker brick, in these features instead of Carmel stone as shown in the plans. In the case of the Kim House, some of the original features were further altered, including infilling of a door at the east wall, an expansion of the front porch patio to triple its original size, and remodeling of the garage (stucco cladding, closed eaves, and replacement doors added).²

Konigshofer was an unlicensed architectural designer who worked in the Monterey Bay area beginning in the 1930s where he largely created designs for single family homes, but also apartment buildings and renovations of existing structures. Konigshofer was born in Alameda in 1906 and he had various artistic training, including stints at the University of Oregon and at the Oakland College of Arts & Crafts, after which he served in the US Navy during World War II before returning to the Carmel area. Some of his designs were published architectural journals, including *Architectural Form*, *House Beautiful* and *Sunset Magazine*, however, many of these articles focused on the affordability of his plans, not their contributions to the field of architecture.³ A 1947 *Sunset*

¹ United States Department of the Interior. National Park Service, "How to Apply the National Register Criteria for Evaluation," *National Register Bulletin 15* (Washington, D.C.: U.S. Government Printing, 1991, revised 1995 through 2002), 20.

² "Variations by the 'Boardwalk,'" *Los Angeles Times* (August 31, 1947): D3; "Privacy in a Group," *Sunset Magazine* (January 1947): 30; DPR 523 forms by Richard Janick (August 2002); Carmel building permit records; Monterey County assessor records. Elizabeth White lived in Carmel for more than 25 years while she worked as a real estate agent. She was originally from Alabama and was 60 years old when she died in a local hospital in March 1949. "Elizabeth White," *Carmel Pine Cone* (March 11, 1949); California Death Index, 1940-1997.

³ "Eastward Ho: California Home Styles Invade Rest of US," *Life Magazine* (March 17, 1952): 131; "40 Houses," *Architectural Forum* (April 1948): 140-141; "Variations by the 'Boardwalk,'" *Los Angeles Times* (August 31, 1947): D3; "Privacy in a Group," *Sunset Magazine* (January 1947): 30; California Death Index; "Designer, Builder Jon Konigshofer dies at age 84," *Monterey Herald* (October 17, 1990): 4; California Death Index, 1940-1997; DPR 523 forms by Richard Janick (August 2002); Carmel building permit records; Monterey County assessor records. Konigshofer was an avid yachtsman and he and his wife, Beryl, lived in Carmel until his death in 1990 and hers in 1991.

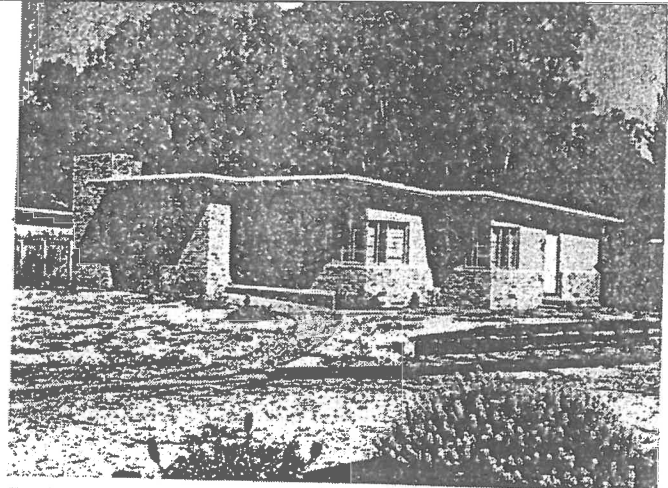
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*Resource Name or # (Assigned by recorder) Kim House

*Recorded by M. Bunse *Date September 19, 2006 ☒ Continuation ☐ Update

Magazine article reviewed the design of the Sand & Sea tract homes, and specifically discussed the house on Lot 3, noting “as is so often the case, the final orientation of the house is a compromise” between providing privacy and view. In a photograph included in the article, the doorway that has been since filled in is clearly visible, and the open nature of the surrounding sand dunes is also evident. The setting of the Kim House, as well as the other original Sand & Sea Homes, has changed dramatically since that time with the construction of a large two story home on Lot 1 along San Antonio Avenue, as well as several homes to the west.⁴

Detail showing house on Lot 3, from “Privacy in a Group,” *Sunset Magazine* (January 1947).



Exterior is in used brick and horizontal tongue and groove redwood siding, painted gray



The Sand & Sea homes were not officially subdivided onto separate legal lots until well after their construction. Jack Patterson bought the undivided acreage that included the four single family homes in 1965. In 1971 the Carmel Planning Commission approved a nine lot subdivision of Patterson’s land, including lots for each of the pre-existing four residences; the vacant lot (Lot #1) that was developed soon thereafter; and four additional vacant lots. Patterson sold the Sand & Sea houses and subsequent owners of the house on Lot 3 included, Joseph A. Braun and Margaret Kim.⁵

Detail from Carmel building permit records, ca. 1971.
Kim House is “Port O’ Call” on Lot #3.

⁴ “Privacy in a Group,” *Sunset Magazine* (January 1947): 30; DPR 523 forms by Richard Janick (August 2002); Carmel building permit records.

⁵ “History of Patterson Property,” and topographic map, June 1965, signed by Clayton B. Neill Jr., [1983 app no. 3—83-207, Carmel LUP]; “Agreement for use of parking area,” 1984, Carmel building records.

The 2002 evaluation described the property as having “virtually no modifications” and as “celebrated in *Sunset Magazine*,” descriptions that clearly overstate the condition and stature of the building. The Kim House is actually a modest example of the work of a prolific designer and it has been modified through the remodeling of the garage, installation of a modern concrete retaining wall, infilling of an original doorway, and expansion of the entrance patio. It is important to note that lack of changes to the building does not in and of itself give the building any architectural significance. As stated above, review of the references to Königshofer’s work does not support for the notion that he is considered a master architect. The California Register and, by reference, National Register guidelines, define a master as “a figure of generally recognized greatness in a field” or “a known craftsman of consummate skill.”⁶ Even if he was considered significant, the buildings of Sand & Sea are not important examples of his work. This building, therefore, does not meet California Register Criterion 3 and it is not eligible for the Carmel Inventory as an important example of the work of a master builder.

The architectural precedence for this house is the general evolution of the second Bay Area Tradition, which was developed in the extensive work of many California architects, including William Wurster, Gardiner Dailey, Henry Hill, and others during the decades between 1930 and about 1960. The style was a fusion of modern trends, especially the International Style, with the traditional residential precedent of Craftsman design. Typical characteristics include one-story geometric forms with flat or nearly flat roof forms that project well beyond the walls with exposed eaves. Wall surfaces tend to be simple wood siding, placed vertically or horizontally, framing large window openings, or bands of windows.⁷ The Kim House displays some of these characteristics, but is not an important or exceptional example of the style. The house is not an important example of its type, period, or method of construction (Criterion 3) at either the local, state, or national level.

The previous conclusion that the house and the others in the tract are important because their design “takes into account the topography of the land and is respectful of the sign lines to the sand dunes” is not entirely accurate. A contemporary account calls the siting of the homes a “compromise,” and since that time buildings have encroached upon and largely blocked the views to the west towards the ocean. The garage on the Kim House property has been substantially altered, and there have been changes to the house as well (see above). Overall, simply being from a recognizable era, or simply being attributed to a specific architect, does not establish that a resource has historic significance because it must “embody the distinctive characteristics” of the period or style or be an important example of the designer’s work.⁸ This requirement for distinction is true of California Register Criterion 3 and National Register Criterion C, and is also true of the Carmel Inventory. The Kim House does not embody or convey importance within its architectural type, nor is it architecturally distinctive. The proposed period of significance (1880-1941) suggested in the previous evaluation is also inappropriate, but this issue does not apply to buildings that do not appear eligible for the California Register or National Register.⁹

⁶ United States Department of the Interior, National Park Service, “How to Apply the National Register Criteria for Evaluation,” *National Register Bulletin 15* (Washington, D.C.: U.S. Government Printing, 1991, revised 1995 through 2002), 20.

⁷ Sally Woodbridge, *Bay Area Houses* (Salt Lake City: Gibbs-Smith Publishers, 1988); David Gebhard, *Guide to Architecture in San Francisco & Northern California*, revised edition (Salt Lake City: Gibbs-Smith Publishers, 1985); “Eastward Ho: California Home Styles Invade Rest of US,” *Life Magazine* (March 17, 1952): 131; “40 Houses,” *Architectural Forum* (April 1948): 140-141; Virginia and Lee McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 1992), 477, 479.

⁸ California Office of Historic Preservation, “How to Nominate a Resource to the California Register of Historical Resources,” *Technical Assistance Series No. 7* (Sacramento: OHP, 2001), 3.

⁹ The previously proposed period of significance (1880-1941) does not comply with Office of Historic Preservation instructions or National Register guidelines for determining a period of significance. There is no “period of significance” if the building is not eligible, as is the case here. (California Department of Parks and Recreation, Office of Historic Preservation, “Instructions for Nominating

State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET	Primary # _____ HRI # _____ Trinomial _____
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*Resource Name or # (Assigned by recorder) Kim House

*Recorded by M. Bunse *Date September 19, 2006 ☒ Continuation ☐ Update

The City's General Plan and Coastal Land Use Plan (adopted June 3, 2003) presented the goals and policies of Carmel-by-the-Sea regarding historic preservation:

The types of historic resources in Carmel are classified using the criteria established in the California Register of Historic Resources. These range from architecturally significant historic buildings and collections of residences that form distinctive neighborhoods, to those associated with important persons or events in Carmel's history ... All these significant historic resources contribute to the City and its Sphere of Influence. They help to create a unique identity for the City that promotes Carmel as an attractive place for both residents and visitors.¹⁰ [emphasis added]

This property is not distinctive within the development of single family residential architecture in Carmel-by-the-Sea, nor does the design of the building lend itself to the "unique identity" of the community. The Second Bay Area Tradition as expressed in this house is not individually important. The house does not meet the criteria for architectural significance at the national, state, or local level (Criterion 3 of the California Register, and Criterion C of the National Register), within residential architecture generally, or within the Modern period, nor is it important as a house designed by Jon Konigshofer.

Historical Resources to the California Register of Historical Resources" (Sacramento: Office of Historic Preservation, 1997), 11; National Park Service, *National Register Bulletin* 15, 42.)

¹⁰ City of Carmel-by-the-Sea, Land Use & Community Character Element of General Plan, page 1-22.

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State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

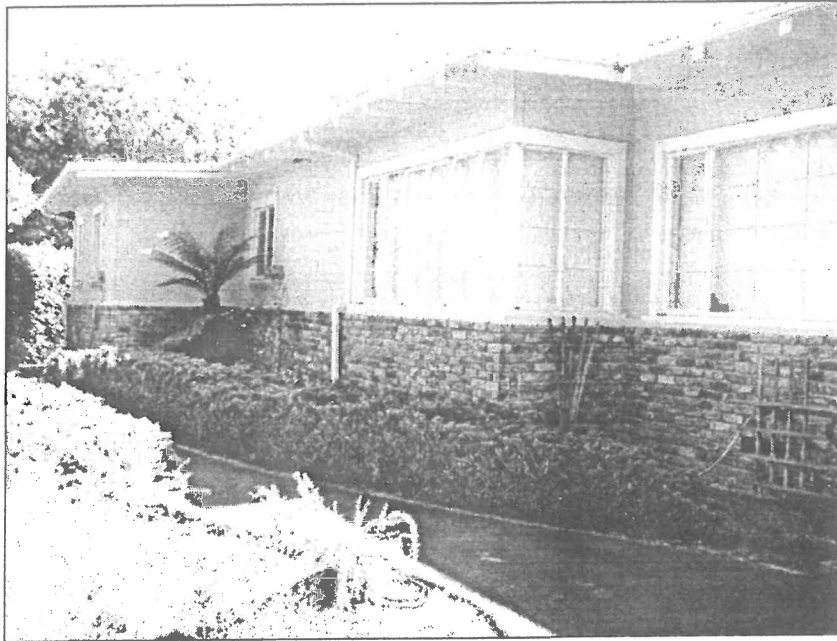
Primary # _____
HRI # _____
Trinomial _____

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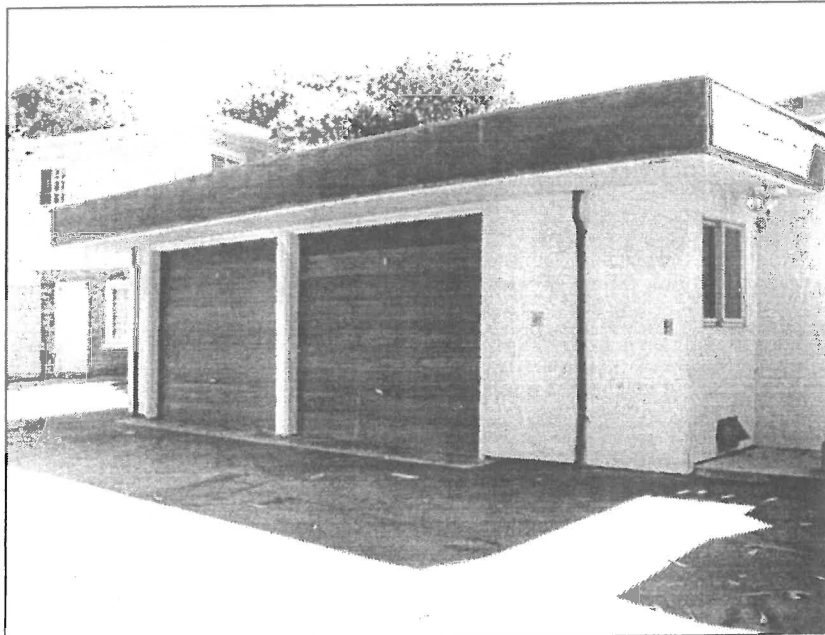
*Resource Name or # (Assigned by recorder) Kim House

*Recorded by M. Bunse *Date September 19, 2006 ☒ Continuation ☐ Update

Photographs:



Photograph 2. North façade of the house. Camera facing east.
September 19, 2006.



Photograph 3: North façade of garage. Camera facing southeast.
September 19, 2006.

CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD
AGENDA CHECKLIST

MEETING DATE: 20 November 2006 BLOCK: SS LOT: 2, 3 & 5

FIRST HEARING: X CONTINUED FROM: N/A

ITEM NO: HA 05-95, 05-96, 05-97 OWNER: Margaret Kim, Gwendolyn Metz, David Liskin
STREAMLINING DEADLINE: N/A

SUBJECT:

Consideration of appeals of the City's determination to place three existing structures located in the Single Family Residential (R-1) and Beach and Riparian Overlay (BR) Districts on the City's Inventory of Historic Resources.

ENVIRONMENTAL REVIEW:

Exempt (Class 31- Historic Resource Rehabilitation).

LOCATION:

W/s San Antonio bet. Ocean & 4th

ZONING:

R-1, BR

ISSUES:

1. Does the property meet the eligibility requirements to qualify as an historic resource (CMC17.32.040)?

OPTIONS:

1. Deny the appeals.
2. Grant the appeals and direct staff to remove the property from the City's Inventory.
3. Continue the application with a request for additional information.

RECOMMENDATION:

Option #2 (Grant the appeals.)

ATTACHMENTS:

1. Staff Report dated 20 November 2006.
2. DPR 523 Forms.
3. Application Materials.

STAFF CONTACT: Sean Conroy, Senior Planner

CITY OF CARMEL-BY-THE-SEA
COMMUNITY PLANNING AND BUILDING
STAFF REPORT **Adopted & Granted 11/20/06**

APPLICATION: HA 05-95, 05-96, 05-97 **APPLICANT:** Kim, Metz, Liskin
BLOCK: SS **LOT:** 2, 3 & 5
LOCATION: W/s San Antonio bet. Ocean & 4th

REQUEST:

Consideration of appeals of the City's determination to place three existing structures located in the Single Family Residential (R-1) and Beach and Riparian Overlay (BR) Districts on the City's Inventory of Historic Resources.

ADDITIONAL REVIEW:

1. None.

BACKGROUND:

The subject structures are flat roofed residences designed by Jon Konigshofer in an early modernist style. The residences were constructed in 1941 as part of the Sand and Sea development. Lot 2 is owned by Gwendolyn Metz, Lot 3 is owned by Margaret Kim, and lot 4 is owned by David Liskin.

The residences were identified as individually historic and as contributors to an historic district in the City's on-going survey of historic structures. DPR 523 forms were filed with the City in 2002 and were accepted by the California Coastal Commission as part of the City's Inventory of Historic Resources in October 2004. The DPR forms indicate that all three structures qualify as historic resources under California Criterion #3 (architecture) and relate to the Architectural Development theme of the City's Historic Context Statement. Since these properties are part of an historic district, were designed by the same designer, and built in a similar architectural style, they have been included as one agenda item.

EVALUATION:

In the following section staff provides an evaluation of why the property may, or may not, qualify as an historic resource. Within this analysis the appellant's arguments and evidence will also be discussed. Staff recognizes four possible reasons for removing a property from the Carmel Inventory: 1) There are gross, non-correctable errors in the historic documentation, 2) The property bears a poor or minimal relationship to the adopted Historic Context Statement, 3) There are a sufficient number of other, better preserved or more important resources of the same type elsewhere within the City, and 4) The resource has lost its historic integrity through past alterations.

Process: CMC 17.32.070 states that a property identified as an historic resource on the Carmel Inventory shall be presumed historically significant and shall not be removed from the City's Inventory unless substantial evidence demonstrates that it is not an historic resource. The ordinance also states that any decision to remove a resource from the inventory shall be based on a recommendation by a qualified professional. However, the City Administrator and City Attorney have determined that if an owner does not want to hire a qualified professional they can present their own argument for the Board's consideration. A review from a qualified professional is attached for two of the three appeals (Kim, Metz). However, the findings can be applied to all three structures.

Basis for Appeal: The appellant's are requesting that the subject structures be removed from the City's Inventory of Historic Resources for the following reasons:

- 1) Jon Konigshofer does not qualify as a masterbuilder.
- 2) The residences are not architecturally significant and do not embody distinctive characteristics of a type, period or method of construction.
- 3) The statements in the DPR forms regarding integrity are inaccurate.

Relationship to Context Statement: The Context Statement does not address modernist architectural styles and does not cover post-1940 development. Section 5.3 of the Context Statement discusses influential builders and architects in the City. Jon Konigshofer is not identified in this section. However, Mr. Konigshofer's name can be found in the Context Statement Appendix, which contains a list of architects and designers that did work in the City. This suggests that while he had done work in the City prior to 1941, he had not yet risen to the level importance to merit discussion in the body of the Context Statement.

Designer & Architectural Style: The City Council granted an appeal for lot 4 of the Sand and Sea on 11 July 2006. During the hearing the Council concluded that Jon Konigshofer did not qualify as a masterbuilder and that the architectural style of the residence was not historically significant. The Council granted a similar appeal for another residence designed by Konigshofer in a similar style, on 8 November 2006. The Council again reiterated its conclusion that Konigshofer does not qualify as a masterbuilder. These decisions by the Council should be considered when making a decision on this, and other appeals dealing with Konigshofer.

With regards to the architectural design of these structures, staff concurs with the analysis found in the appeal information for lots 2 and 3 that the residences does not appear to be particularly important, or unique example of the second Bay Area Tradition.

Integrity: The DPR forms indicate that all three structures are intact. This could be

somewhat misleading, as all three structures have had changes and alterations. However, the changes have been relatively minor. Loss of integrity does not appear to be a valid basis for granting the appeal.

In summary, staff is recommending that the properties be removed from the City's Inventory for the following reasons:

- The City Council has determined that Jon Konigshofer does not qualify as a masterbuilder. Therefore, the primary basis for designating these properties as historic is invalid.
- The City Council has determined that a property designed in a very similar style in the Sand and Sea development (lot 4) did not qualify as architecturally significant. These properties should be evaluated based on the same standard.
- These residences are not an important, or exceptional examples of the second Bay Area Tradition.

RECOMMENDATION:

Grant the appeal.



CARMEL-BY-THE-SEA PRELIMINARY DETERMINATION OF INELIGIBILITY For the Carmel Historic Resources Inventory

On June 28, 2018 the Department of Community Planning and Building made a preliminary determination that the property identified below does not constitute an historic resource and is therefore ineligible for the Carmel Inventory of Historic Resources.

Assessor's Parcel Number: 010-321-024
Current Owner: Richard Schuler
Block/Lot: SS/3
Street Location: San Antonio 3 SW of 4th Ave
Lot size: 7,732 square feet
Date of Construction: 1941

The basis for this determination is:

- ☐ The property lacks sufficient age to be considered historic.
- ☐ The property has substantially lost its historic integrity through alterations, additions, deterioration, changes in the surrounding environment or other causes.
- ✓ The property does not relate to historic themes or property types established in the Historic Context Statement for Carmel-by-the-Sea. *The architectural style is not an exceptional example of the Second Bay Area Tradition.*
- ☐ The property has no association with important events, people or architecture that are identified in the Historic Context Statement or that represent the historical/cultural evolution of Carmel-by-the-Sea.
- ✓ There are other better examples of the builder's work in the city.
- ✓ Previous determination from November 2006 concluded that this property and others within Sand and Sea are not of historical significance.

This preliminary determination will be circulated for a 10 calendar day public review period beginning on June 29, 2018 and ending at 5:00 P.M. on Monday, July 9, 2018. If no requests for further review are received during this period, the determination shall become final and shall remain valid for a period of 5 years.

Marnie R Waffle

Marnie R. Waffle, AICP, Senior Planner

HISTORIC EVALUATION
FOR
PSA 18-177 (Schuler)

Date: June 29, 2018
APN: 010-321-024
Block: SS, Lot: 3
Lot Size: 7,732 square feet
Year Built: 1941

1. **Location:** San Antonio, 3 SW of 4th (Sand and Sea)
2. **Is it on the Inventory?** No. The residence was removed from the Inventory on appeal to the Historic Resources Board in 2006.
3. **Has it been reviewed previously?** Yes. The residence is part of the larger Sand and Sea District which was evaluated in 2002. Both the District and the residences within the District (Lots 2-5) were placed on the Inventory of Historic Resources. Lot 4 was removed from the Inventory in July 2006 by the City Council. Lots 2, 3 & 5 were removed in November 2006 by the Historic Resources Board based on the City Council's determination that the architect, Jon Konigshofer, did not qualify as a master builder; that the architectural style was not significant; and, that the residences were not important or exceptional examples of the Second Bay Area tradition (see attached Staff Reports). Additionally, staff notes that in 2016 a Determination of Ineligibility was issued for Lot 5 based on the prior decisions made November 2006. This Determination of Ineligibility is being issued consistent with these prior decisions.
4. **Sandborn Maps:** Undetermined
5. **Land Use & Community Character Element, Subdivision Chronology Map:** 1900
6. **Date of construction:** 1941
7. **Original building permit:** Permit 847 for the residence and Permit 959 for the garage. Original blueprints on file.
8. **Alterations and changes:**
 - 1) 2013: Added a wood casement window at the courtyard
9. **Info on designer/builder:** The building permit application for the residence identifies the contractor as R. Gottfried and the owner E. White. The permit application is dated May 6, 1941. A second building permit dated October 29, 1941 for the two-car garage

also lists R. Gottfried as the contractor and E. White as the owner. The original blueprints list Jon Konigshofer as the designer and Miss E. White as the owner.

The Historic Context Statement identifies Roger Gottfried as a “prominent architect and designer who worked in Carmel in the post-war era”. Mr. Gottfried is also listed as a resident in the Carmel City Directories from 1947-1963. No other information is provided on Roger Gottfried.

Jon Konigshofer is also identified in the Historic Context Statement. Mr. Konigshofer constructed the first bus depot in Carmel at the northwest corner of Junipero and Sixth. The Context Statement also identifies Mr. Konigshofer as a “notable architect who designed buildings in Carmel between 1940 and 1965” as well as a prominent architect/designer in the post-war era. Section 5.4 (Architectural Styles) of the Context Statement addresses a variation of the Modern architectural style known as the Wrightian Organic style which was similar to Bay Regionalism; Mr. Konigshofer was influenced by Wrightian methods. The most recognizable characteristic of Wrightian architecture found in Carmel are the dramatic roof forms sheltering buildings constructed of natural materials.

10. Current Photographs of Residence:



Photo 1. South (Front) Elevation



Photo 2. Front Entry



Photo 3. North Elevation



Photo 4. Outdoor Fireplace @ Courtyard



Photo 5. 2013 Wood Casement Window



Photo 6. Courtyard



Photo 7. Detached Garage

CITY OF CARMEL-BY-THE-SEA

STAFF REPORT Accepted & Granted 7/11/06

TO: MAYOR McCLOUD AND COUNCIL MEMBERS

THROUGH: RICH GUILLEN, CITY ADMINISTRATOR

FROM: SEAN CONROY, ASSOCIATE PLANNER

DATE: 11 JULY 2006

SUBJECT: CONSIDERATION OF AN APPEAL OF THE HISTORIC RESOURCES BOARD'S DECISION TO DENY A REQUEST TO REMOVE A PROPERTY FROM THE CITY'S INVENTORY OF HISTORIC RESOURCES LOCATED IN THE SINGLE FAMILY RESIDENTIAL (R-1) AND BEACH AND RIPARIAN OVERLAY (BR) DISTRICTS.

RECOMMENDED MOTION

Deny the appeal.

BACKGROUND & PROJECT DESCRIPTION

The subject property is part of the Sand and Sea development, which consists of five residences, four of which were designed by Jon Konigshofer. The subject residence and detached garage were built in 1941 in an early Modernist design and are associated with the Second Bay Area Tradition of architecture. The residence includes a flat overhanging roof, exposed rafter tails, horizontal wood siding and a brick veneer. The Historic Preservation Committee (now Historic Resources Board) and Planning Commission approved the substantial alteration of the existing residence and the demolition of the existing garage and construction of a new garage in 2004.

The residence was identified as part of an historic district during the City's on-going survey of historic structures. A DPR 523 form was filed with the City on 19 August 2002 and was accepted by the California Coastal Commission as part of the City's Inventory of Historic Resources in October 2004. The DPR form indicates that the structure qualifies as an historic resource under California Criterion #3 (architecture) and relates to the Architectural Development theme of the City's Historic Context Statement.

The Historic Resources Board (HRB) denied this appeal on 27 February 2006 with a unanimous vote.

EVALUATION

In this section staff provides an evaluation of why the property may, or may not, qualify as an historic resource. Within this analysis the appellant's arguments and evidence will also be discussed. Staff recognizes four possible reasons for removing a property from the Carmel Inventory: 1) There are gross, non-correctable errors in the historic documentation, 2) The property bears a poor or minimal relationship to the adopted Historic Context Statement, 3) There are a sufficient number of other, better preserved or more important resources of the same type elsewhere within the City, and 4) The resource has lost its historic integrity through past alterations.

Process: CMC 17.32.070 states that when a qualified professional identifies an historic resource it is added to the Carmel Inventory of Historic Resources and it shall be presumed historically significant and shall not be removed from the City's Inventory unless substantial evidence demonstrates that it is not an historic resource. The ordinance also states that any decision to remove a resource from the inventory shall be based on a recommendation by a qualified professional. However, the City Administrator and City Attorney have determined that if an owner does not want to hire a qualified professional they can present their own argument for the Board's consideration. The owner in this case has chosen to hire a qualified professional.

Basis for Appeals: The appellants are requesting that the subject structures and District be removed from the City's Inventory of Historic Resources for the following reasons:

1. Jon Konigshofer does not qualify as a designer of historical significance.
2. The Modernist Style is not described in the Context Statement.
3. The district is not associated with anyone of historical significance.
4. The period of significance listed in the DPR is inaccurate.
5. The residence has lost its integrity due to additions and alterations.

Relationship to Context Statement: The Context Statement does not address modernist architectural styles and does not cover the time period from 1941 to the present. Until the Context Statement is updated it cannot be used to assist in determining whether or not the property qualifies as historic. However, General Plan Policy P1-85 states that exclusion from the Context Statement shall not preclude a finding of historical significance.

The Council's decision should be based on whether or not a 'fair argument' can be made that the property qualifies as historic. This is particularly relevant when the Context Statement does not cover the time period of the resource. This decision-making rule is established by the California Environmental Quality Act and applies when a definitive answer is not available. This is a conservative approach consistent with environmental resource protection, since the City does not yet know what the updated Context Statement

will contain. Regardless of the City Council's action on this appeal, adoption of an updated Historic Context Statement would allow for a reevaluation of this property, along with all other properties.

The HRB determined that the DPR 523 form presented a 'fair argument' that the residence is significant. Staff concurs with the HRB.

Comparative Resources: There are 3 other structures, outside of the Sand and Sea development, on the City's Inventory that were designed by Jon Konigshofer, all of which were built in the 1940's with similar modernist designs. The HRB determined that the subject residence contributes to a district and represents a good example of Konigshofer's work and early modernist architecture. Staff concurs with the HRB.

Integrity: The additions that are currently under construction were approved by the Historic Preservation Committee and the Planning Commission in 2004. As approved, the additions included rebuilding the existing chimney and repairing the brick veneer. Both approval bodies determined that the proposed changes are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Based on this fact, the HRB determined that the property has not lost its architectural integrity. Staff again concurs with the HRB.

HRB's Review: In summary, the Board's decision to deny the appeal was based on the following points:

- A 'fair argument' has been made in the DPR 523 form that Jon Konigshofer is an important builder and that the residence is architecturally significant.
- General Plan Policy P1-85 states that exclusion from Context Statement doesn't preclude a finding of significance.
- The changes that have occurred to the property were approved by the City and determined to be consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.
- The residence is an important contributor to a historic district.

Staff concurs with the Board's findings.

RECOMMENDATION

Deny the appeal.

HRB Minutes for 2/27/06

- | | |
|---|---|
| 3. Alfred Johnson
HA 05-43
W/s San Antonio bet. Ocean & 4 th
Blk SS, Lots 4 | Consideration of an appeal of the City's determination to place an existing residence on the City's Inventory of Historic Resources located in the Single Family Residential (R-1) and Beach and Riparian Overlay (BR) Districts. |
|---|---|

Sean Conroy, Associate Planner presented the staff report.

Chairperson Wendt declared the public hearing open at 5:02 p.m.

Attorney Miriam Schakat and JRP Historical Consultant Meta Bunse appeared before the Board.

Chairperson Wendt declared the public hearing closed at 5:15 p.m.

Board member Coss deny the appeal, seconded by Holz and carried by the following roll call vote:

AYES:	COSS, HOLZ, LAGERHOLM, WENDT
NOES:	NONE
ABSENT:	DYAR

CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD
AGENDA CHECKLIST

MEETING DATE: 20 November 2006 BLOCK: SS LOT: 2, 3 & 5

FIRST HEARING: X

CONTINUED FROM: N/A

ITEM NO: HA 05-95, 05-96, 05-97

OWNER: Margaret Kim, Gwendolyn Metz, David Liskin

STREAMLINING DEADLINE: N/A

SUBJECT:

Consideration of appeals of the City's determination to place three existing structures located in the Single Family Residential (R-1) and Beach and Riparian Overlay (BR) Districts on the City's Inventory of Historic Resources.

ENVIRONMENTAL REVIEW:

Exempt (Class 31- Historic Resource Rehabilitation).

LOCATION:

W/s San Antonio bet. Ocean & 4th

ZONING:

R-1, BR

ISSUES:

1. Does the property meet the eligibility requirements to qualify as an historic resource (CMC17.32.040)?

OPTIONS:

1. Deny the appeals.
2. Grant the appeals and direct staff to remove the property from the City's Inventory.
3. Continue the application with a request for additional information.

RECOMMENDATION:

Option #2 (Grant the appeals.)

ATTACHMENTS:

1. Staff Report dated 20 November 2006.
2. DPR 523 Forms.
3. Application Materials.

STAFF CONTACT: Sean Conroy, Senior Planner

CITY OF CARMEL-BY-THE-SEA
COMMUNITY PLANNING AND BUILDING
STAFF REPORT Adopted & Granted 11/20/06

APPLICATION: HA 05-95, 05-96, 05-97 **APPLICANT:** Kim, Metz, Liskin
BLOCK: SS **LOT:** 2, 3 & 5
LOCATION: W/s San Antonio bet. Ocean & 4th

REQUEST:

Consideration of appeals of the City's determination to place three existing structures located in the Single Family Residential (R-1) and Beach and Riparian Overlay (BR) Districts on the City's Inventory of Historic Resources.

ADDITIONAL REVIEW:

1. None.

BACKGROUND:

The subject structures are flat roofed residences designed by Jon Konigshofer in an early modernist style. The residences were constructed in 1941 as part of the Sand and Sea development. Lot 2 is owned by Gwendolyn Metz, Lot 3 is owned by Margaret Kim, and lot 4 is owned by David Liskin.

The residences were identified as individually historic and as contributors to an historic district in the City's on-going survey of historic structures. DPR 523 forms were filed with the City in 2002 and were accepted by the California Coastal Commission as part of the City's Inventory of Historic Resources in October 2004. The DPR forms indicate that all three structures qualify as historic resources under California Criterion #3 (architecture) and relate to the Architectural Development theme of the City's Historic Context Statement. Since these properties are part of an historic district, were designed by the same designer, and built in a similar architectural style, they have been included as one agenda item.

EVALUATION:

In the following section staff provides an evaluation of why the property may, or may not, qualify as an historic resource. Within this analysis the appellant's arguments and evidence will also be discussed. Staff recognizes four possible reasons for removing a property from the Carmel Inventory: 1) There are gross, non-correctable errors in the historic documentation, 2) The property bears a poor or minimal relationship to the adopted Historic Context Statement, 3) There are a sufficient number of other, better preserved or more important resources of the same type elsewhere within the City, and 4) The resource has lost its historic integrity through past alterations.

Process: CMC 17.32.070 states that a property identified as an historic resource on the Carmel Inventory shall be presumed historically significant and shall not be removed from the City's Inventory unless substantial evidence demonstrates that it is not an historic resource. The ordinance also states that any decision to remove a resource from the inventory shall be based on a recommendation by a qualified professional. However, the City Administrator and City Attorney have determined that if an owner does not want to hire a qualified professional they can present their own argument for the Board's consideration. A review from a qualified professional is attached for two of the three appeals (Kim, Metz). However, the findings can be applied to all three structures.

Basis for Appeal: The appellant's are requesting that the subject structures be removed from the City's Inventory of Historic Resources for the following reasons:

- 1) Jon Konigshofer does not qualify as a masterbuilder.
- 2) The residences are not architecturally significant and do not embody distinctive characteristics of a type, period or method of construction.
- 3) The statements in the DPR forms regarding integrity are inaccurate.

Relationship to Context Statement: The Context Statement does not address modernist architectural styles and does not cover post-1940 development. Section 5.3 of the Context Statement discusses influential builders and architects in the City. Jon Konigshofer is not identified in this section. However, Mr. Konigshofer's name can be found in the Context Statement Appendix, which contains a list of architects and designers that did work in the City. This suggests that while he had done work in the City prior to 1941, he had not yet risen to the level importance to merit discussion in the body of the Context Statement.

Designer & Architectural Style: The City Council granted an appeal for lot 4 of the Sand and Sea on 11 July 2006. During the hearing the Council concluded that Jon Konigshofer did not qualify as a masterbuilder and that the architectural style of the residence was not historically significant. The Council granted a similar appeal for another residence designed by Konigshofer in a similar style, on 8 November 2006. The Council again reiterated its conclusion that Konigshofer does not qualify as a masterbuilder. These decisions by the Council should be considered when making a decision on this, and other appeals dealing with Konigshofer.

With regards to the architectural design of these structures, staff concurs with the analysis found in the appeal information for lots 2 and 3 that the residences does not appear to be particularly important, or unique example of the second Bay Area Tradition.

Integrity: The DPR forms indicate that all three structures are intact. This could be

somewhat misleading, as all three structures have had changes and alterations. However, the changes have been relatively minor. Loss of integrity does not appear to be a valid basis for granting the appeal.

In summary, staff is recommending that the properties be removed from the City's Inventory for the following reasons:

- The City Council has determined that Jon Konigshofer does not qualify as a masterbuilder. Therefore, the primary basis for designating these properties as historic is invalid.
- The City Council has determined that a property designed in a very similar style in the Sand and Sea development (lot 4) did not qualify as architecturally significant. These properties should be evaluated based on the same standard.
- These residences are not an important, or exceptional examples of the second Bay Area Tradition.

RECOMMENDATION:

Grant the appeal.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

Resource Name or #: (Assigned by recorder)

Keith Evans House

P1. Other Identifier:

P2. Location: ☐ Not for Publication ☐ Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____

Date 10/19/01 T _____

a. County Monterey

; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; E _____

c. Address: _____

City _____

Zip _____

d. UTM: (Give more than one for large and/linear resources) _____

mE/ _____

mN _____

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

2969 Franciscan Way, Carmel, CA 93923

(Block 9M, Lot S 15)

Parcel No. 09-382-11

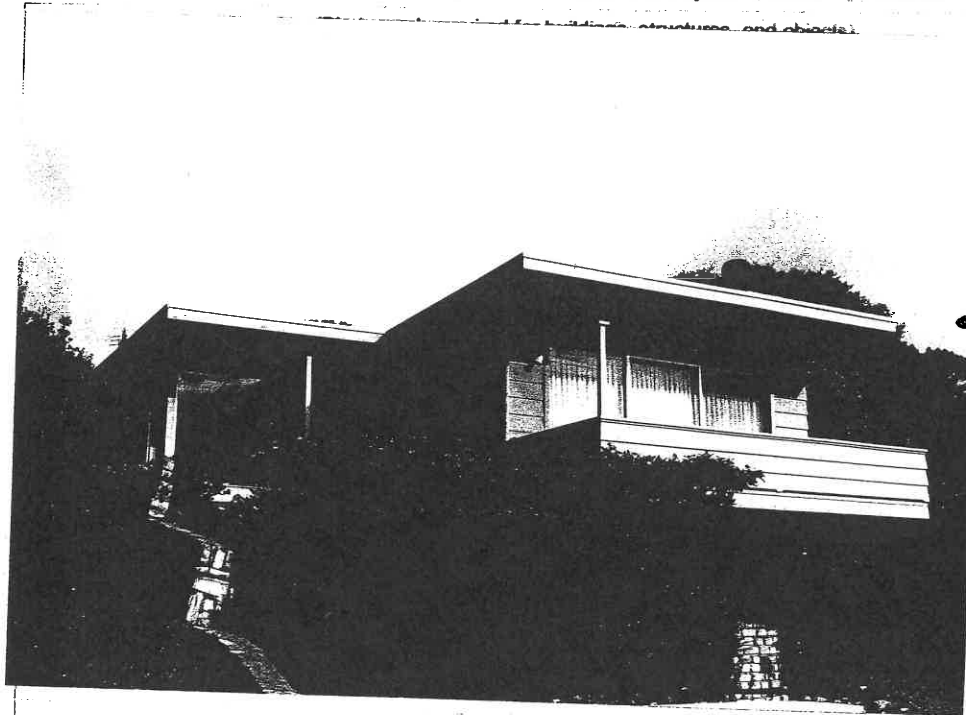
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A two-story flat roofed wood frame house with an L-shaped rectangular plan on a sloping lot with the garage set into the lot under a projecting deck facing south toward the street. The overhanging roof with exposed joists provides protective eaves for the living room deck and the set-back main entrance at the junction of the L. Aluminum framed sliding glass doors provide access to the deck and dictate the window pattern throughout the house. The horizontal siding is 1" x 12" shiplap which is also used as fascia for the roof and the deck. The living room and kitchen are combined in the south rectangle with the bedrooms and bath set back into the crossing L to the rear.

P3b. Resource Attributes: (List attributes and codes)

HP-2 Single Family Residence

P4. Resources Present

☒ Building☐ Structure☐ Object☐ Site☐ District☐ Element of District☐ Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #)
Looking NE from Franciscan Way at S-facing facade 10/30/00 #6631-9

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1948 - Owner files

P7. Owner and Address

Keith and Virginia Pope Evans
2969 Franciscan Way
Carmel, CA 93923

P8. Recorded by: (Name, affiliation, and address)

Richard N. Janick, P. O. Box 223408, Carmel, CA
93923

P9. Date Recorded: 10/19/2001

P10. Survey Type: (Describe)

HRI Carmel 2001

P11. Report Citation: (Cite survey report and other sources, or enter "none")

Attachments

☐ NONE☒ Continuation Sheet☐ District Record☐ Rock Art Record☐ Other: (List)☐ Location Map☒ Building, Structure, and Object Record☐ Linear Feature Record☐ Artifact Record☐ Sketch Map☐ Archaeological Record☐ Milling Station Record☐ Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #

HRI #

Page 2 of 3

NRHP Status Code

5S1

Resource Name or #: (Assigned by recorder)

Keith Evans House

B1. Historic Name: *Keith Evans House*

B2. Common Name:

B3. Original Use: *Single Family Residence*

B4. Present Use: *Single Family Residence*

B5. Architectural Style: *American International - Bay Area Tradition*

B6. Construction History: (Construction date, alterations, and date of alterations)

1. *Constructed (1948) - Jon Konigshofer, Architect*
2. *Bedroom Addition (1960) - Comstock and Associates*

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date :

Original Location:

B8. Related Features:

B9a. Architect: *Jon Konigshofer (Designer)*

b. Builder: *Jon Konigshofer*

B10. Significance: Theme: *Architectural Development in Carmel*

Area: *Carmel-by-the-Sea*

Period of Significance: *Post WWII*

Property Type: *Single Family Residence*

Applicable Criteria: *CR 3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

This house qualifies under Criteria #3 as an example of the "Hillside House" designed by Jon Konigshofer featured in *Life Magazine*, March 17, 1952 "Eastward Ho" and *House Beautiful*, January 1950. Konigshofer utilized modern pre-fabricated materials on steep hillside lots that afforded great views and lower land costs. The house also fits into the "Bay Area Tradition" as defined by Lewis Mumford in 1949 that blended craftsman plans and landscaping with new low cost stock building materials to provide affordable housing with minimum maintenance.

JON KONIGSHOFER

Born in Alameda, California on January 13, 1907, Jon received his basic education locally. He spent two years at the University of Oregon prior to a stint as a merchant seaman which took him to New York. While in New York, he studied at the Art Students League with the view of becoming a magazine illustrator. Konigshofer had also studied design at the Oakland College of Arts and Crafts under Xavier Martinez and Hamilton Wolfe, supporting his studies as a draftsman with a local architectural firm.

In 1937, he came to Carmel where he went to work for M.J. Murphy as a designer. He soon left the firm to strike out on his own. He worked on the design of John Gardener's Tennis Ranch in Carmel Valley and remodeled the Pine Inn for
(See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

Single Family Residence

B12. References:

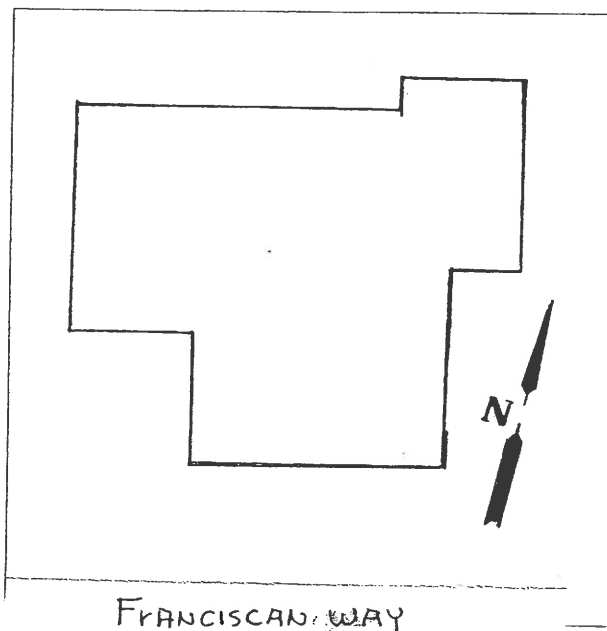
1. "Eastward Ho," Modern Living *Life Magazine*, March 17, 1952
2. "Could You Use an Extra Room," *House Beautiful*, January 1950
3. "Modernism: But It Is Probably Here to Stay," By Dorothy Stephenson, *Monterey Peninsula Herald*, September 9, 1950

B13. Remarks: *Zoning: R-1*

B14. Evaluator: *Richard N. Janick*

Date of Evaluation: *10/19/2001*

(This space reserved for official comments.)



CONTINUATION SHEET

Page 3 of 3 Resource Name or #: (Assigned by recorder)
Recorded by: Richard N. Janick

Keith Evans House

Date 10/19/2001

☒ Continuation ☐ Update

B10. Significance: (Continued from Page 2)

for Harrison Godwin and the LaPlaya Hotel for Fred Godwin. His first house design was for J.D. Greenan in 1938, a ranch style overlooking Mission Fields. His second design was for Marie Spreckels Elezalde. He did a lot of work at Pebble Beach including Bing Crosby's house. In 1941, when Hollywood producer John Nesbitt brought in Frank Lloyd Wright to design and build a home for him in Pebble Beach, Jon Konigshofer was selected to supervise the project. Unfortunately, the building was never constructed, the principal reason being Wright's unwillingness to provide Nesbitt with a firm cost estimate for the building and the beginning of World War II.

Although never licensed as an architect, Jon Konigshofer's residential designs drew much attention and many were published in leading popular and professional journals in the late 40's and 1950's. His work appeared in "Architectural Forum," "The Architectural Record," "House Beautiful," "Sunset," "House and Garden" and the yearbook of the Encyclopedia Britannica.

In March of 1952, "Life Magazine" featured his "Hillside House" as affordable residential housing under \$10,000. Konigshofer's knowledge of Wright's concept of the Usonian House is clearly evident in his own designs. Jon Konigshofer is credited with at least 50 homes in Pebble Beach and over 150 buildings, residential and commercial, on the Monterey Peninsula.

This may be the best remaining example of Konigshofer's Hillside House type in the incorporated area of Carmel. This residence maintains its integrity to a high degree, with a symphathetic bedroom addition by Comstock Associates in 1960. The house is still in the original family ownership.

Keith Evans was active in community affairs, and was twice Mayor of Carmel.

DS 18-142 (Schuler)

August 20, 2018

Page 1 of 2

Historic Context Statement:

Jon Konigshofer Excerpts (2008)

3.4 Associated Resource Types

3.4.2 Description

Properties associated with transportation.

With the advent of the automobile, associated resources would include early service stations, garages, car dealerships, taxi companies, and bus depots, such as the first depot built by Jon Konigshofer on the northwest corner of Junipero and Sixth.

5.3 Builders and Architects

Additional notable architects who designed buildings in Carmel between 1940 and 1965 include Hugh Comstock, Jon Konigshofer, Clarence Mayhew, and Marcel Sedletsky.

Prominent architects and designers who worked in Carmel in the post-war era include Carl Bensberg, Will Shaw, Walter Burde, William L. Cranston and Thomas S. Elston, Olaf Dalhstrand, Gardner Dailey, Lee Gottfried, Roger Gottfried, Albert Henry Hill, James Heisinger, Sr., Robert Jones, Jon Konigshofer, Fred Keeble, Jack Kruse, Frank Lloyd, Rowan Maiden, Clarence Mayhew, Mark Mills, James Pruitt, Guy Rosebrook, Marcel Sedletsky, Edwin Snyder, Robert Stanton, Robert A. Stephenson, George Thomson, George Willox, Frank Wynkoop, and landscape architect Thomas Church.

5.4 Architectural styles

Another variation of the Modern architectural style appeared in Carmel in the late 1940s and early 1950s. The Wrightian Organic style, not entirely different in principle from Bay Regionalism, was realized in Carmel by adherents of Frank Lloyd Wright. Mark Mills was a Taliesin fellow for four years. Albert Henry Hill, Rowan Maiden, Jon Konigshofer and Olaf Dahlstrand were all influenced by Wrightian methods. The most recognizable characteristic of Wrightian architecture found in Carmel were dramatic roof forms sheltering buildings constructed of natural materials.

9.6 Architects, Designers and Builders in Carmel

Architects

Jon Konigshofer

9.9 Biographical Information on Architects Working in Carmel between 1940 and 1965

Jon Konigshofer – began in the office of local designer, M.J. Murphy, a practitioner of the more traditional styles popular in Carmel during the first half of the twentieth century.¹³⁵ Konigshofer was an

adherent of Frank Lloyd Wright and applied Wright's philosophies to the houses he designed in Carmel. Through the use of inexpensive materials and effective budgeting, Konigshofer eventually became known for the minimalism and affordability of his designs, and is regarded as one of the foremost pioneers of Modernism in Carmel. The *Monterey Peninsula Herald* described Konigshofer – along with M.J. Murphy and Hugh Comstock – as having —influenced house design [in Carmel] more than any other. Similar to Frank Lloyd Wright and Hugh Comstock, Konigshofer was neither licensed nor degreed in architecture, yet his buildings, according to the *Herald*, —attracted as much comment and praise in the architectural world as those designed by many a high ranking degreed architect. ¹³⁶ Jon Konigshofer's buildings include the Robert Buckner House (1947), the house at Thirteenth and Scenic (Kip Silvey), the house at Santa Lucia and Casanova (E.S. Hopkins), and the Sand and Sea development.

Historic Context Statement:

Jon Konigshofer Excerpts (1997)

3.4.2 Description

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9.6 Architects and Builders in Carmel

Architects

Jon Konigshofer