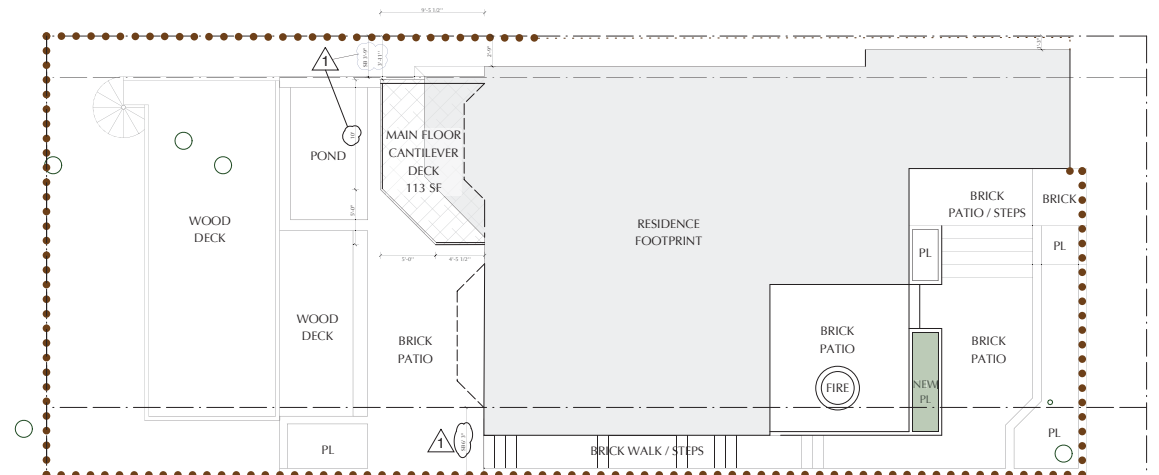


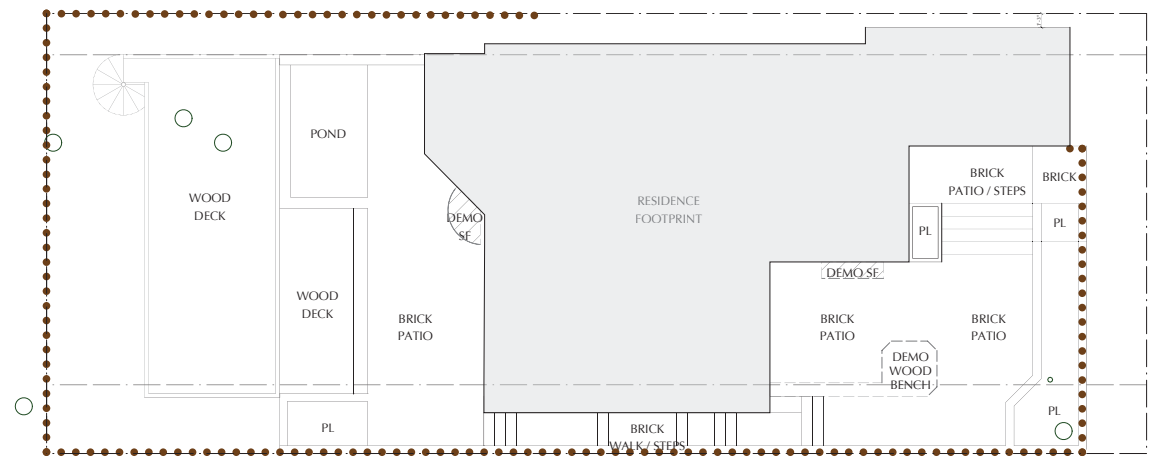
The Designer's Drawings, Specifications Or Other Documents Shall Not Be Used By The Owner Or Others Except By Agreement In Writing And With Appropriate Compensation To The Designer.



PROPOSED SITE PLAN

- NEW TILE DECK OVER LIVING AND BRICK PATIO
- AREA OF FOOTPRINT REDUCTION
- PLANTER OVER EXISTING BRICK PATIO/STAIRS
- EXISTING 6' GRAPESTAKE FENCE
- EXISTING 30' GRAPESTAKE FENCE

NO CHANGE TO LANDSCAPING, SITE COVERAGE OR TREES. SIZE AND LOCATION OF TREES APPROXIMATE.



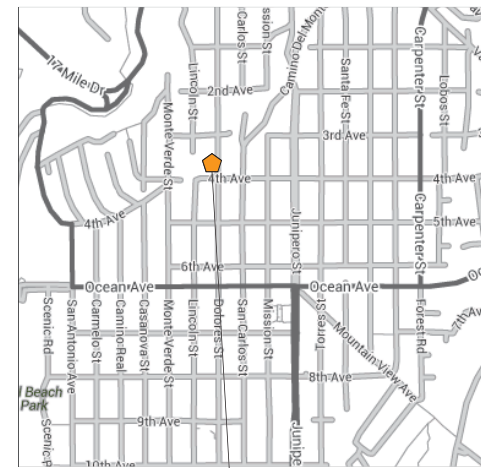
EXISTING / DEMO SITE PLAN

- DEMO LIVING SPACE
- DEMO WOOD BENCH
- EXISTING 6' GRAPESTAKE FENCE
- EXISTING 30' GRAPESTAKE FENCE

DOLORES AVE.

DOLORES AVE.

PROJECT LOCATION



PROJECT SITE: Dolores 2 NW of 4th

SITE COVERAGE CALCULATIONS - NO NET CHANGE

NO CHANGE TO SITE COVERAGE, THUS CAN REMAIN NON-COMPLIANT

4,000 SF	LOT SIZE
556 SF	MAXIMUM ALLOWED TOTAL SITE COVERAGE (WITH BONUS)
278 SF	MAXIMUM ALLOWED IMPERMEABLE COVERAGE (50%)
1,357 SF	EXISTING IMPERMEABLE COVERAGE
562 SF	EXISTING PERMEABLE COVERAGE
1,919 SF	TOTAL EXISTING SITE COVERAGE (EXCEEDS 556 MAX)
0 SF	DEMO COVERAGE OR CONVERT TO FLOOR AREA
0 SF	NEW IMPERMEABLE COVERAGE
0 SF	NEW PERMEABLE COVERAGE
1,357 SF	PROPOSED IMPERMEABLE COVERAGE
562 SF	PROPOSED PERMEABLE COVERAGE
1,919 SF	TOTAL PROPOSED SITE COVERAGE (EXCEEDS 556 MAX)

SPRINKLER CALCULATIONS

471.1 LF	Existing Exterior Walls
178.0 LF	Alteration of Exterior Walls
37.8 %	% Alteration of Exterior Walls
337.7 LF	Existing Interior Walls
207.5 LF	Alteration of Interior Walls
61.4 %	% Alteration of Interior Walls
808.8 LF	Existing Combined Exterior and Interior Walls
385.5 LF	Alteration of Combined Exterior and Interior Walls
47.7 %	% Alteration of Combined Exterior and Interior Walls

Combined Interior & Exterior wall alterations do not exceed 50%, therefore
FIRE SPRINKLERS ARE NOT REQUIRED

GENERAL NOTES

- Contractor to remove abandoned H.V.A.C. Equipment, ductwork, electrical and plumbing lines, if encountered. Cap and identify exposed utilities. Arrange and pay for disconnecting, removing and capping utilities within areas of demolition. Notify landlord and the affected utility company in advance and obtain approval before starting this work.
- Contractor to remove all abandoned electrical wire and conduit back to panel and all abandoned communication wire and conduit back to nearest junction box.
- The designer has no knowledge of and shall not be liable for any asbestos or other hazardous materials on the job site. If asbestos or other hazardous materials are discovered during construction, the contractor shall isolate the affected area and contact the landlord for further instructions before proceeding.
- Contractor to comply with applicable local, state and federal codes and regulations pertaining to safety of persons, property and environmental protection.
- Do not interfere with use of tenant areas and adjacent buildings. Maintain free and safe passage to such areas.
- Contractor to erect and maintain dustproof partitions as required to prevent the spread of dust, fumes, smoke, etc. To other parts of the building. On completion, remove partitions and repair damaged surfaces to match adjacent surfaces.
- Contractor to repair all demolition performed, in excess of that required, at no cost to the owner.
- Contractor to remove from site, and legally dispose of daily, all refuse, debris, rubbish and other materials resulting from demolition operations. Burning of debris on site shall not be permitted.
- Contractor to remove tools and equipment from site upon completion of work. Leave contract areas and site clean, orderly and in a condition acceptable for new or other construction.
- Contractor to notify building manager/owner of any intended coring or trenching of the floor slab or other structural members.

FOOTAGE CALCULATIONS - NO INCREASE

NO INCREASE TO LIVING AREA SF, THUS CAN REMAIN NON COMPLIANT.

4,000 SF	LOT SIZE
1,800 SF	MAXIMUM ALLOWED LIVING AREA
2,057 SF	EXISTING LIVING AREA
204 SF	EXISTING GARAGE
2,261 SF	TOTAL EXISTING FOOTAGE
28 SF	DEMO LIVING AREA
0 SF	NEW LIVING AREA
-28 SF	NET FOOTAGE CHANGE
2,029 SF	PROPOSED LIVING AREA
204 SF	PROPOSED GARAGE (NO CHANGE)
2,232 SF	TOTAL PROPOSED FOOTAGE COVERAGE

PROJECT DATA

OWNER	ERIC LAMISON 516 DALEWOOD DRIVE ORINDA, CA 94563
BUILDER/CONTACT/DESIGNER	LEWIS BUILDERS License: B-844741 3706 The Barnyard G-11 Carmel, CA 93923 T: (831) 758-6391 www.lewisbuilder.com
PROJECT ADDRESS	DOLORES 2 NW OF 4TH CARMEL, CALIFORNIA 93923
PARCEL NUMBER	010-129-005
LOT SIZE	4,000 SF
BUILDING SQUARE FOOTAGE	2,261 SF
ZONING / OCCUPANCY	R-1
TYPE OF CONSTRUCTION	V-B
NUMBER OF STORIES	THREE
WATER SOURCE	CAL AM
SEWER SYSTEM	SEWER

Project shall comply with the 2016 California Building Code, California Residential Code, California Green Building Standards, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code.

TRACK 1 CRITERIA

- Exterior alterations result in reduction of existing floor area.
- Change in roof material to Matte Finish Dark Brown Metal Roof. Minor alterations to roof structure.
- No net change to site coverage, removal of impermeable living area results in impervious foundation (site coverage).
- Chimney removal. Two existing skylight significantly reduced in size.
- No change to existing fences and walls in front setback.
- Residence is not a Historic resource, determined by City in December 2019.

PROJECT GOALS

- Full interior remodel.
- Change in roof material to Matte Finish Dark Brown Metal Roof. Minor alterations to roof structure.
- Simplify multiple existing floor elevation changes for safety and usability.
- Remove spiral stairs for safety and usability.
- Simplify and upgrade roof to Matte Finish (non glare) Metal Roof.
- Reduce size of uplighting (skylights), and window exposure to north neighbor.
- Bring more west natural light into main level.
- Unify exterior style and materials of previous remodels/additions to match the original 1933 style seen on the main floor west facade of the residence.

PROJECT INFORMATION AND SCOPE OF WORK

- Non Conforming Residence, no increase in site coverage, height or living area, therefore not required to bring the project into compliance.
- Wall alteration of 47.7% **Fire sprinklers are not required.**
- No net change to site coverage.
- No change to stucco exterior finish.
- No change to exterior paint color.
- No change to maximum height.
- No change to landscaping or trees.
- Slight reduction in SF due to removing the spiral staircase and bedroom window bump out.
- New windows can be Aluminum clad unless historic review requires steel to match existing.
- New Deck is less than 120 sf, but requires staking and flagging due to proximity of north neighbors. The north rail of the deck to be a 60" slatted horizontal wood privacy screen.
- Non-conforming third story loft is being reduced in size by 34% (109 sf) and decreased in height by 12". The third story is not being demolished, increased in size, nor increased in height, thus the loft is allowed and retains its non-conforming status.
- All new Exterior Stucco, Colors, Trim, Windows and Doors to match existing main floor.
- Changes to street facing facades and patio will not be visible from street due to existing 6' high grape stake fence at east (street) property line.
- Change to roof material will be visible from street.

DECREASE IN FOOTPRINT / LIVING AREA

- Removal of west spiral stair bump out 19 SF.
- Removal of patio bedroom bump out 9 SF.

DECREASE IN EXTERIOR VOLUME

- Removal of west spiral stair bump out.
- Remove window bump out in patio bedroom.
- Remove north shed dormer from loft.
- Remove chimney.
- Lower the loft roof 12" to match height of existing ridge. Existing roof stands 12" above the ridge of the main roof.
- Cut back south roof eave extension to 6".
- Cut back east and south eaves facing patio to 6" to accommodate raised door plates.

INCREASE IN EXTERIOR VOLUME

- Replace roof of lower floor west bump out with a deck (less than 2% increase in volume).

DECREASE IN EXTERIOR UPLIGHTING/SKYLIGHTS

- Reduce size of skylight in existing north bathroom by 71%.
- Remove north windows and south windows of loft shed dormer.
- Replace glass ceiling of loft with 2x2 skylight, reducing size of skylight by 83%.

DECREASE IN NORTH NEIGHBOR VIEW EXPOSURE

- Remove north windows and south windows of loft dormer.
- Remove two north facing windows from existing north bathroom.



EXISTING PATIO / ENTRY (EAST)

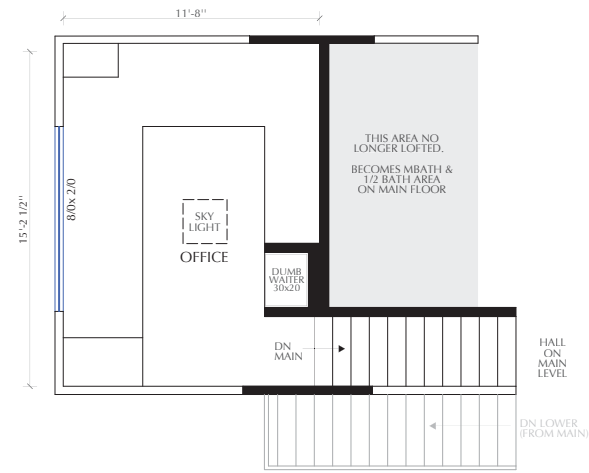


EXISTING STREET (EAST) VIEW



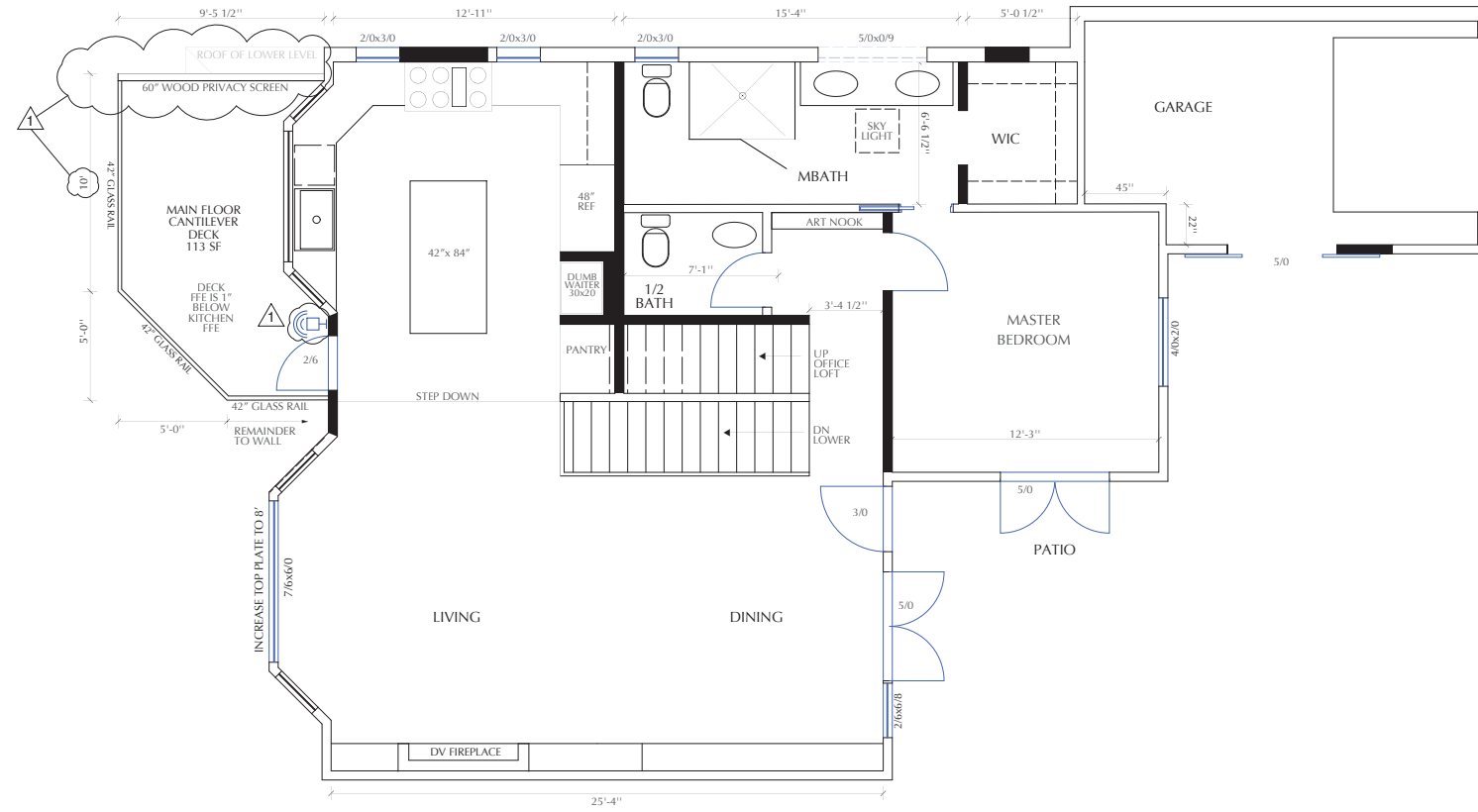
EXISTING REAR (WEST) FACADE

TRACK 1 DESIGN REVIEW			
NOT FOR CONSTRUCTION			
#	Issue	Revised	Description
T1	11.06.19	11.06.19	Initial Track 1 Submittal
F1	01.07.20	01.06.20	Track 1 Completeness Review Letter
Designer of Record			
LEWIS BUILDERS			
Design / Build 3706 The Barnyard, Suite G-11 Carmel, California T: (831) 758-6391			
Lewis Builders		Date	
Project: Lamison Residence			
Remodel Dolores 2NW Fourth, Carmel, CA			
Project Data			
Proposed Site Plan			
Date	Scale	#	ARSD
01.07.20	1/8" = 1' 0"		
Project Number	Revision		
2019 Lami	r1		
			A1



PROPOSED LOFT FLOOR PLAN

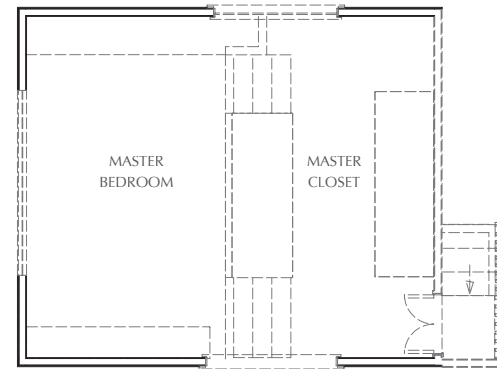
NEW SKYLIGHTS MUST HAVE AN INTERIOR SHADE THAT CAN BE PULLED ACROSS THE SKYLIGHT TO PREVENT LIGHT POLLUTION.



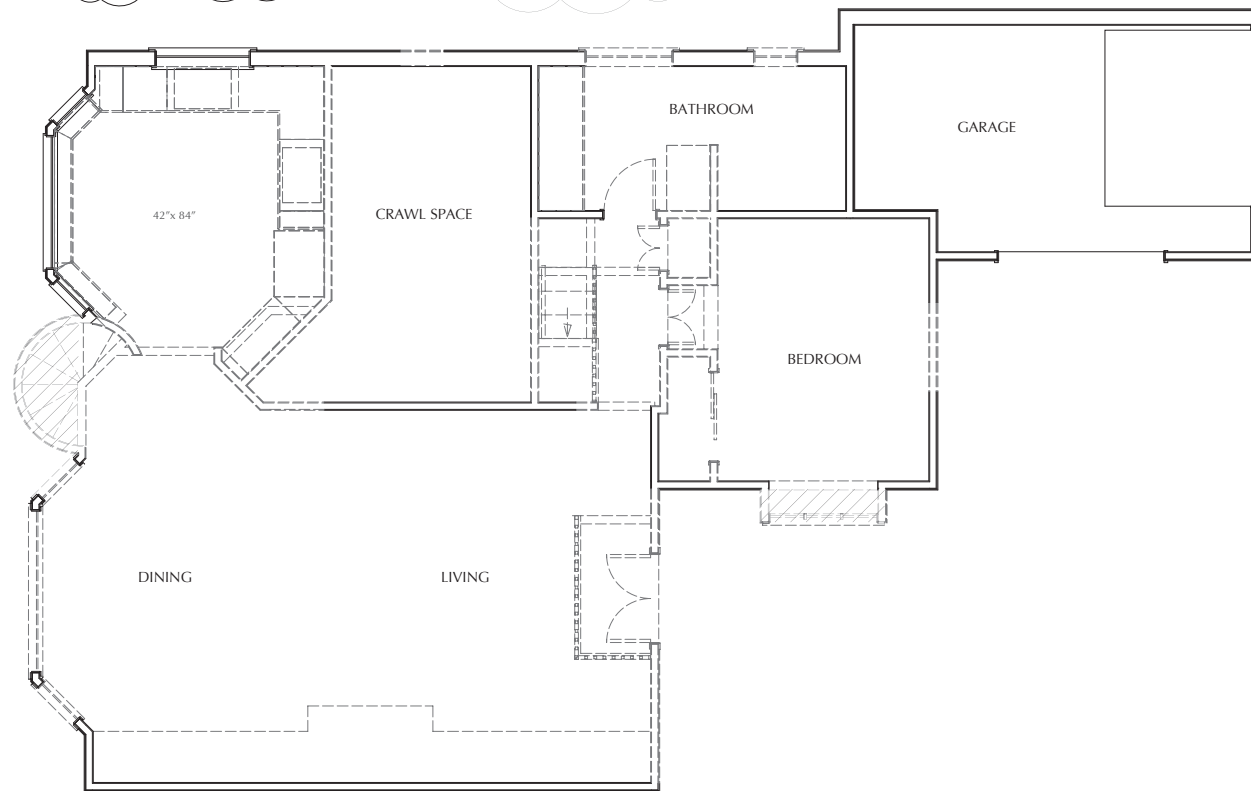
PROPOSED MAIN FLOOR PLAN

NEW SKYLIGHTS MUST HAVE AN INTERIOR SHADE THAT CAN BE PULLED ACROSS THE SKYLIGHT TO PREVENT LIGHT POLLUTION.

EXTERIOR LED LIGHT FIXTURE MAX 400 LUMENS. FIXTURE MUST BE DOWN-FACING AND ENTIRELY SHIELDED WITH THE BULB CONCEALED ENTIRELY UNDER A METAL PORTION OF THE FIXTURE.

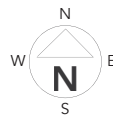


EXISTING / DEMO LOFT FLOOR PLAN



EXISTING / DEMO MAIN FLOOR PLAN

DEMOS LIVING SPACE



SKYLINE EXTERIOR LED DOWNLIGHT



This modern outdoor LED downlight is a sleek and simple metal cylinder attached to a rectangular back plate. Deep, rich Dorian Bronze finish adds a warm touch to this chic, sophisticated outdoor wall light. A beautiful addition to your home from Minka lighting.

- Cylinder style outdoor design.
- Skyline LED outdoor wall light.
- Dorian Bronze finish.
- Metal construction.
- ADA compliant.
- Dark Sky compliant.
- CA Title 24 compliant.
- Light output 320 lumens.
- 2700K color temperature: 81 CRI.
- LED averages 30,000 hours at 3 hours per day.
- Non-dimmable.
- Measures 7 3/4-inches high, 5-inches wide.
- Extends 4-inches from the wall.
- Backplate is 5-inches wide, 5-inches high.
- Integrated 11W LED.

TRACK 1 DESIGN REVIEW

NOT FOR CONSTRUCTION

#	Set Issue	Revised	Description	By
T1	11.06.19	11.06.19	Initial Track 1 Submittal	ER
R1	01.07.20	01.06.20	Track 1 Completeness Review Letter	ER

Designer of Record

LEWIS BUILDERS
Design / Build
3706 The Barnyard, Suite G-11
Carmel, California T: (831) 758-6391

Lewis Builders Date

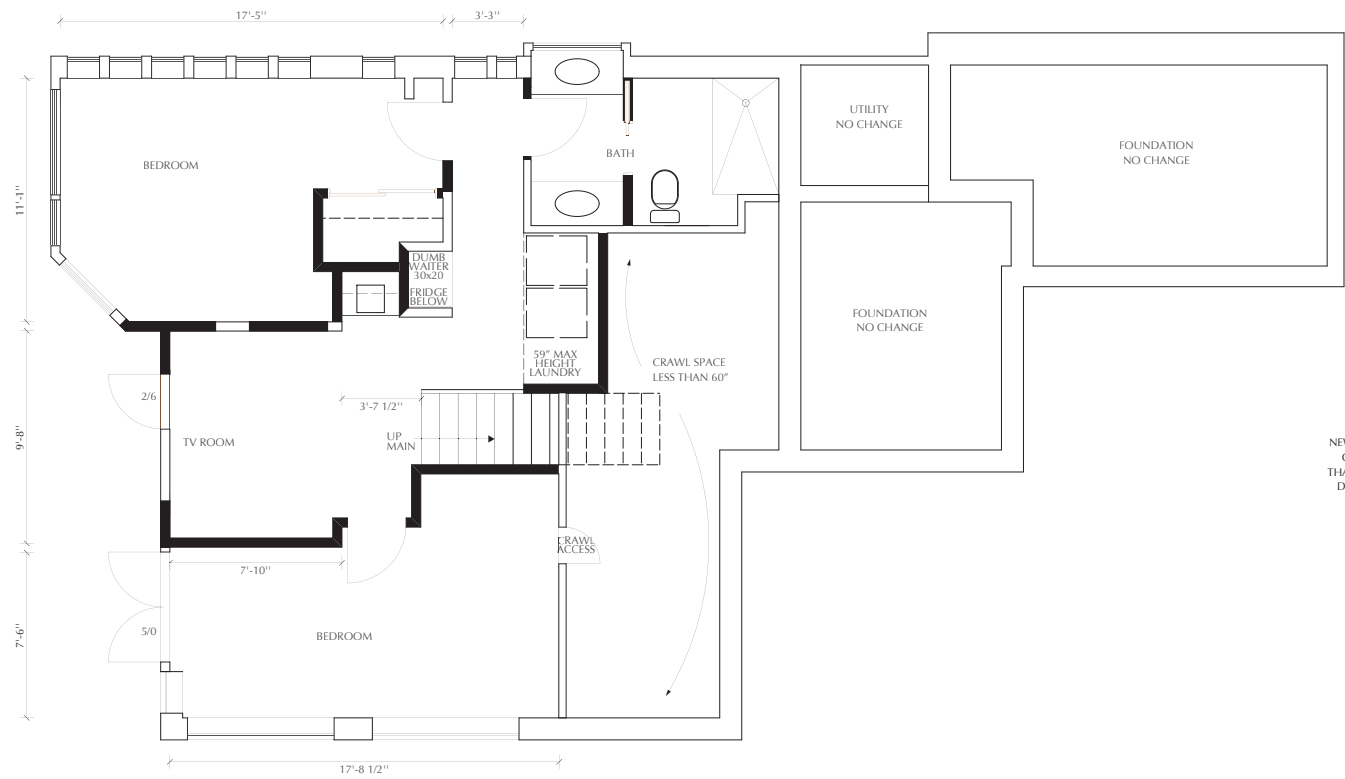
Project: **Lamison Residence**

Remodel
Dolores 2NW Fourth, Carmel, CA

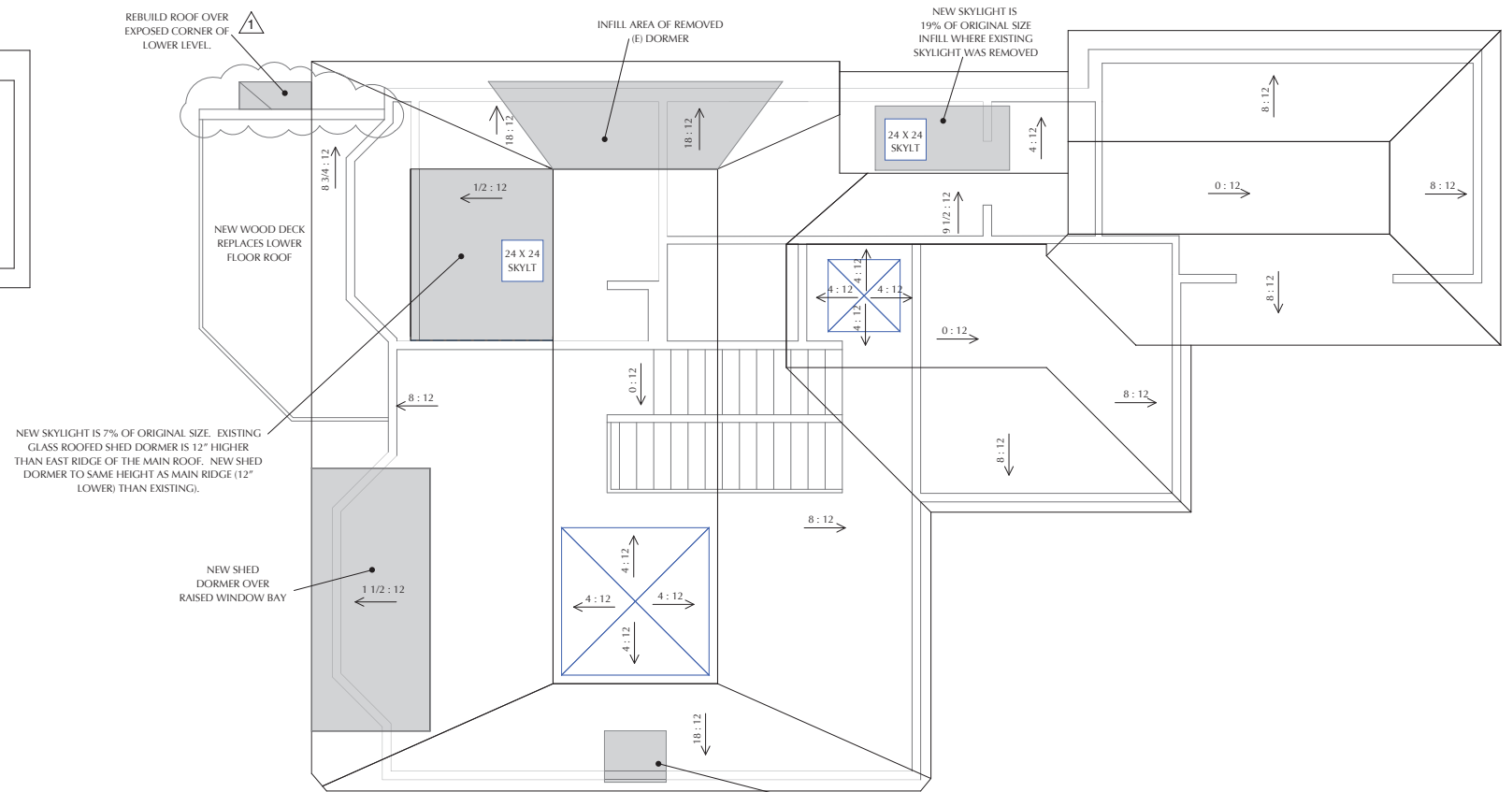
Proposed & Existing Main Floor Plans
Proposed & Existing Loft Floor Plans

Date	Scale of ARCH D
01.07.20	1/4" = 1' 0"
Project Number	Revision
2019 Lami	r1

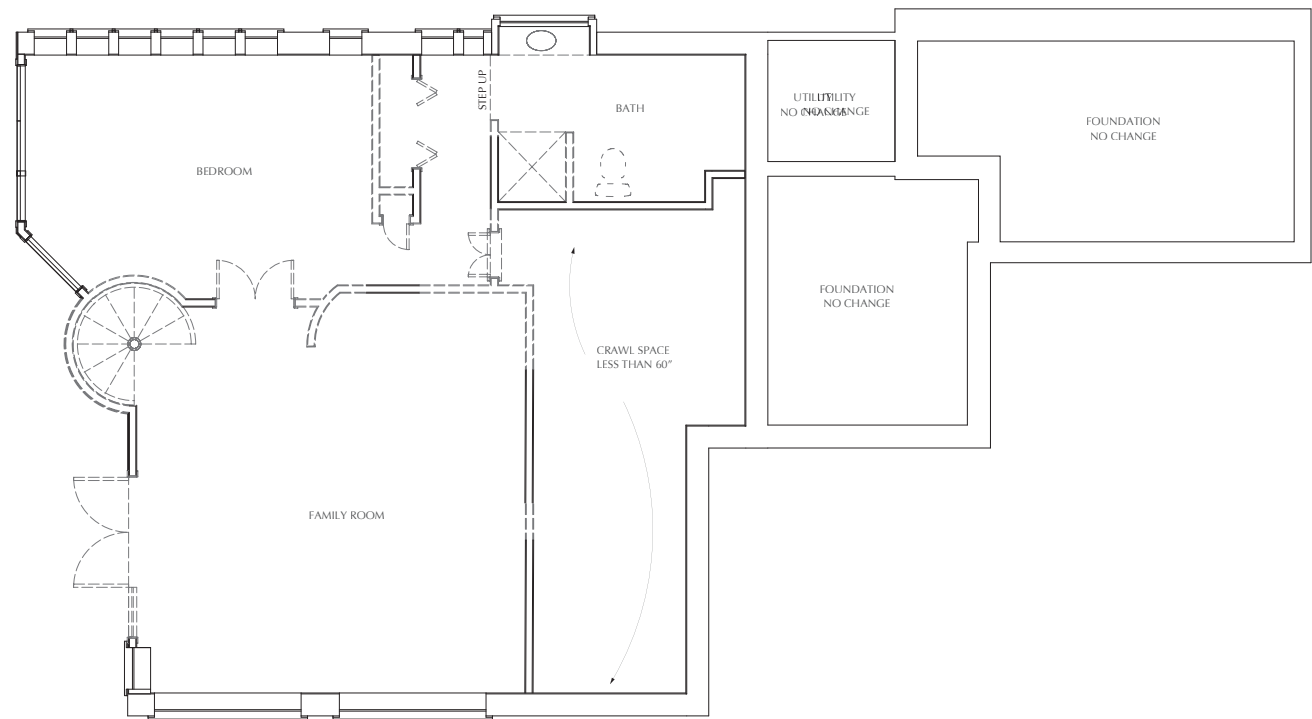
A2



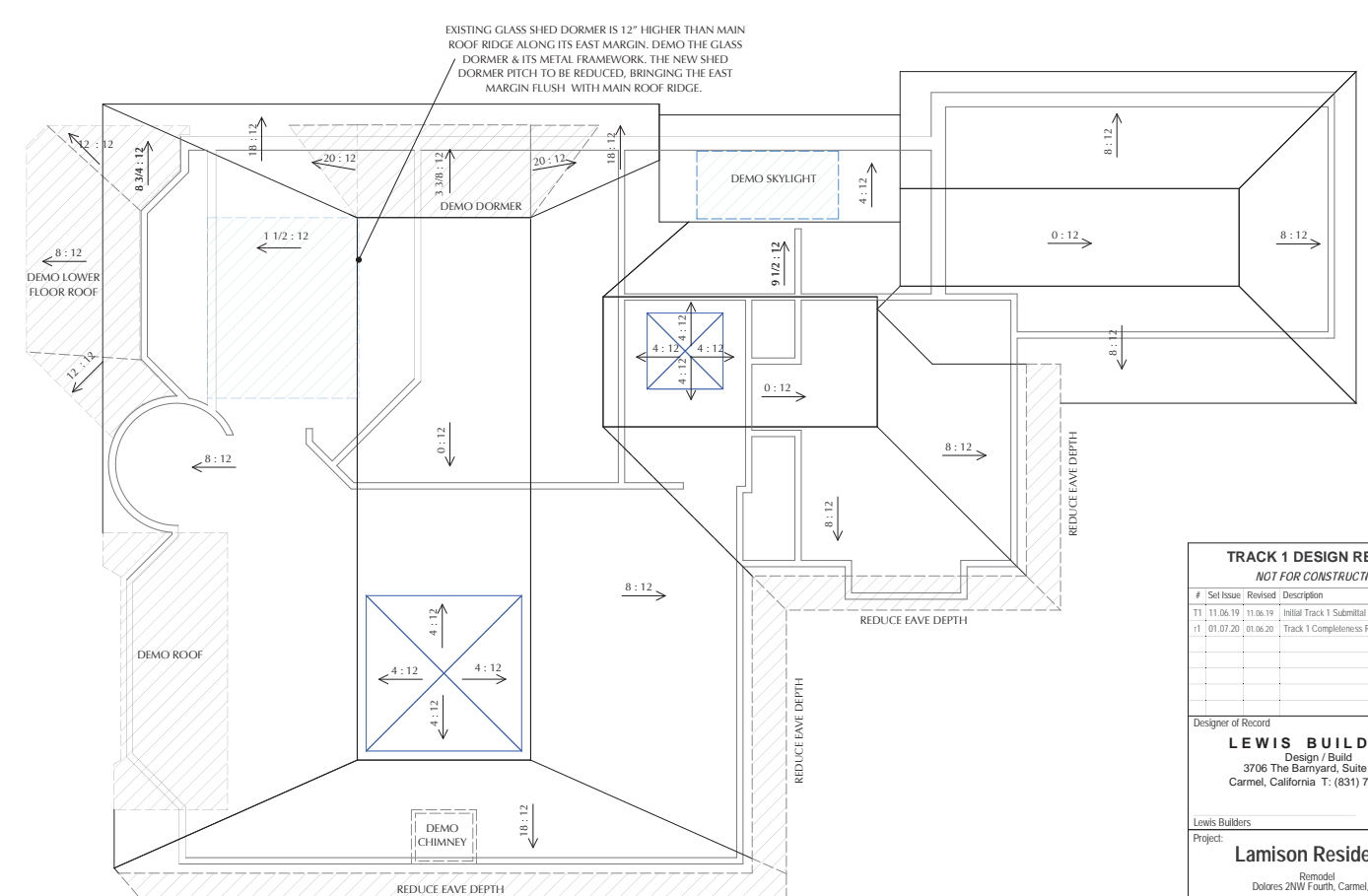
PROPOSED LOWER FLOOR PLAN



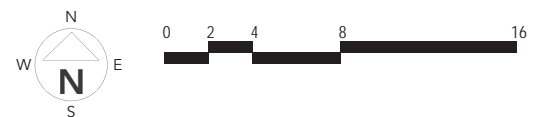
PROPOSED ROOF PLAN



EXISTING / DEMO LOWER FLOOR PLAN



EXISTING / DEMO ROOF PLAN



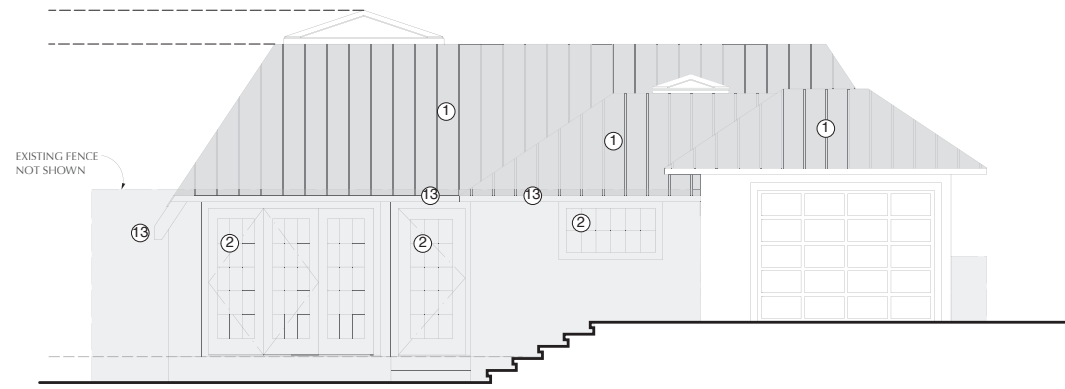
TRACK 1 DESIGN REVIEW				
NOT FOR CONSTRUCTION				
#	Set Issue	Revised	Description	By
T1	11.06.19	11.06.19	Initial Track 1 Submittal	ER
T1	01.07.20	01.06.20	Track 1 Completeness Review Letter	ER

Designer of Record
LEWIS BUILDERS
 Design / Build
 3706 The Barrtyard, Suite G-11
 Carmel, California T: (831) 758-6391

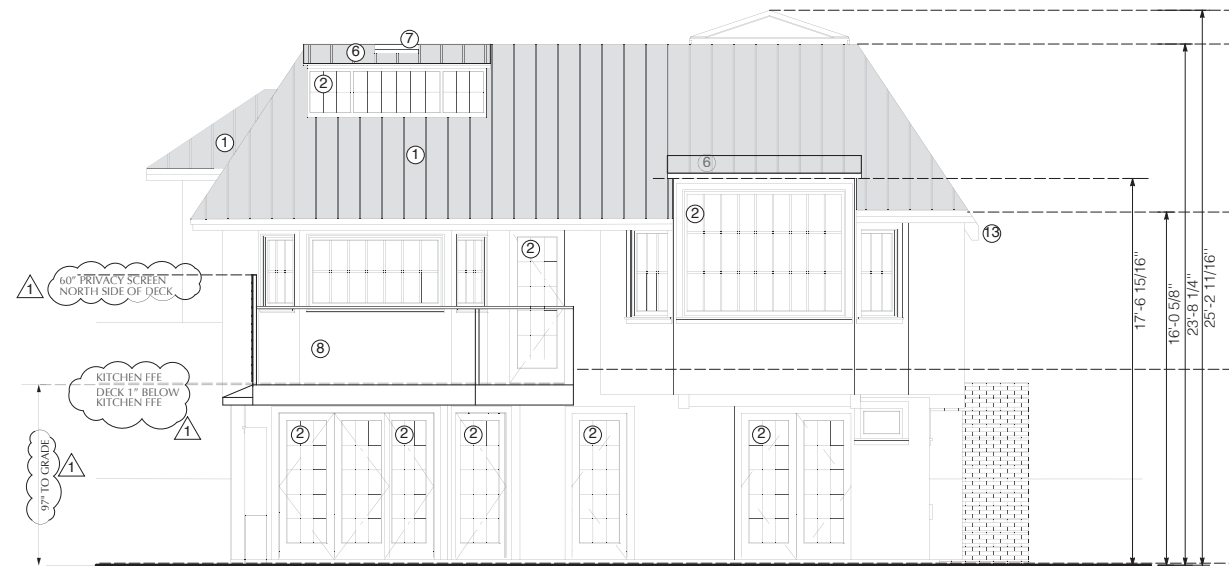
Lewis Builders _____ Date _____
 Project: **Lamison Residence**
 Remodel
 Dolores 2NW Fourth, Carmel, CA
 Proposed & Existing Lower Floor Plans
 Proposed & Existing Roof Plans

Date	Scale of ARCH D
01.07.20	1/4" = 1' 0"
Project Number	Revision
2019 Lam	T1 1

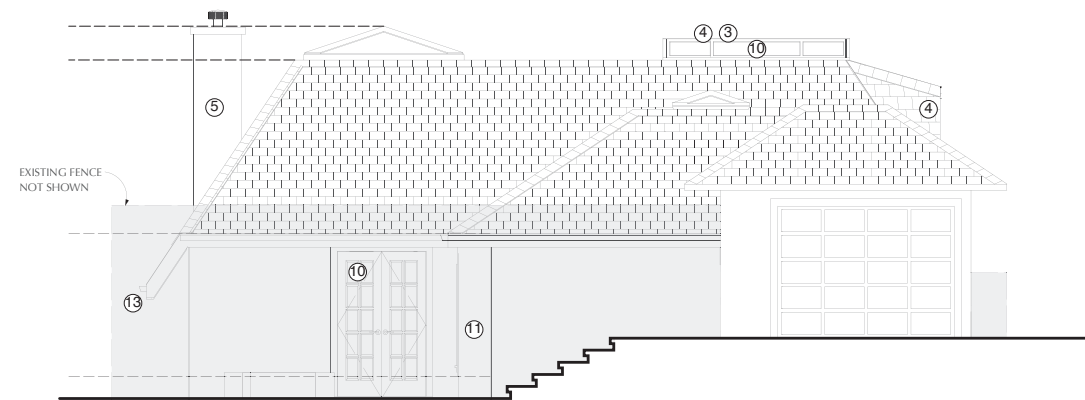
A3



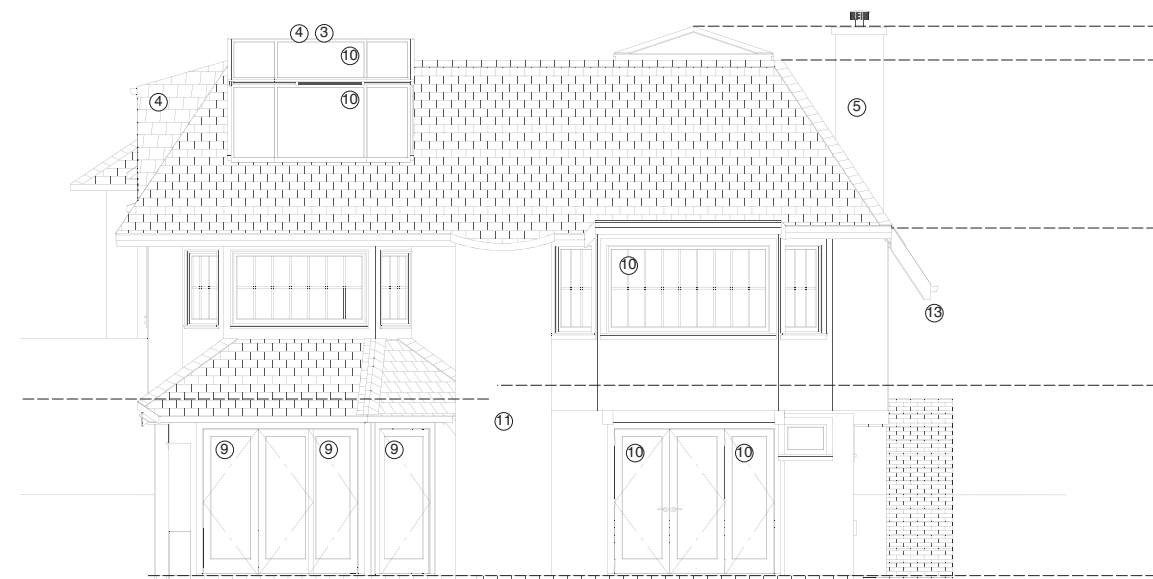
PROPOSED EAST ELEVATION



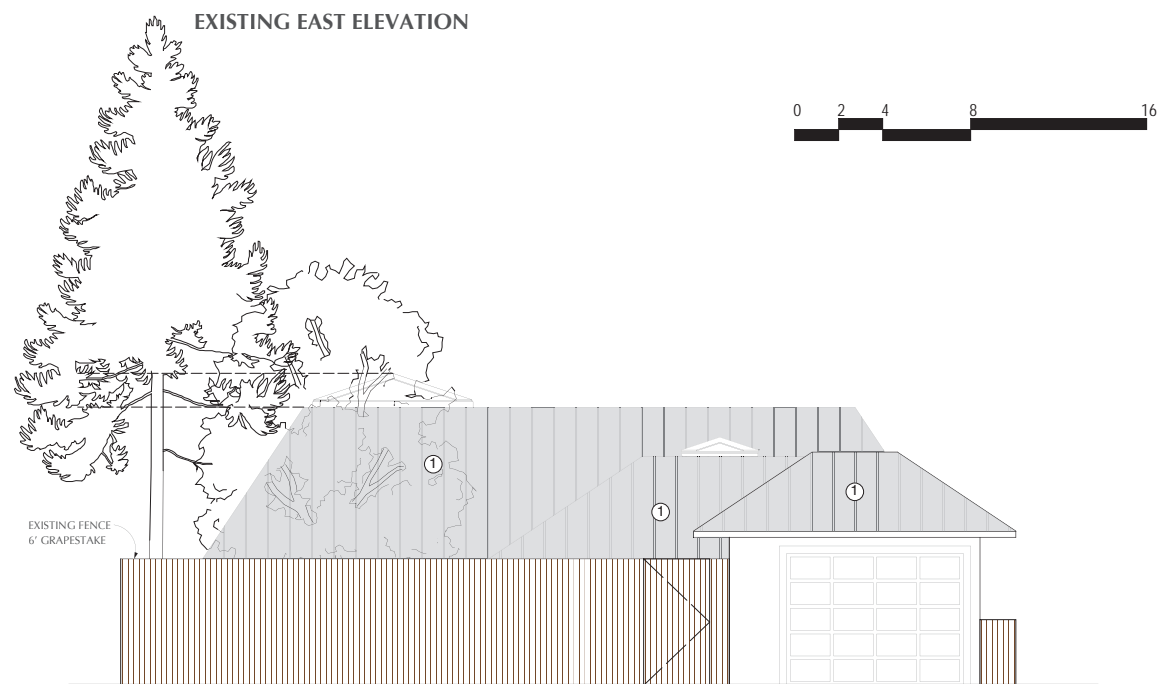
PROPOSED WEST ELEVATION



EXISTING EAST ELEVATION



EXISTING WEST ELEVATION



PROPOSED STREET (EAST) VIEW



EXTERIOR FINISH NOTES

- No change to stucco exterior finish.
- No change to exterior paint color.
- No change to maximum height.
- All Exterior Stucco, Colors, Windows and Doors to match existing.
- Changes to street facing facades and patio will not be visible to street due to existing 6' high grape stake fence at east (street) property line.
- Change to roof material will be visible from street.
- Update the deteriorated 1980's windows and doors to match the original style, lites, and materials of the main floor.
- All new skylights must have flashing that matches the new roofing color.



New Doors and Windows to match existing Aluminum Windows in Photo

EXTERIOR ELEVATION KEY

1. New Deep Brown Matte finish (no glare) metal roof.
2. New windows and doors to match existing.
3. Demo Skylight
4. Demo Dormer
5. Demo Chimney
6. New Shed Dormer
7. New, Smaller Skylight w/Flashing to match new roof color.
8. New Tile Deck with 42" Glass Rail and 60" Wood Privacy Screen on North Side
9. Replace Deteriorated Door, no change to size or framing
10. Demo Door or Window
11. Demo Stairwell Turret or Bedroom Bump Out
12. Demo Lower Floor Bump Out Roof
13. Cut Eave back to 6" Overhang

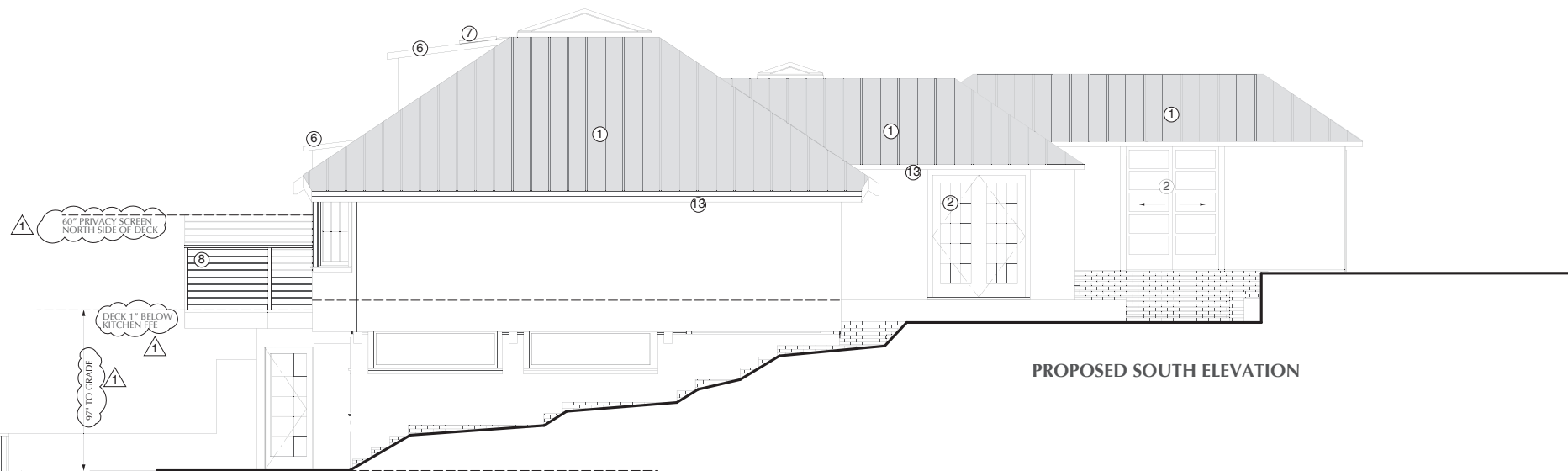
TRACK 1 DESIGN REVIEW			
NOT FOR CONSTRUCTION			
#	Set Issue	Revised	Description
T1	11.06.19	11.06.19	Initial Track 1 Submittal
F1	01.07.20	01.06.20	Track 1 Completeness Review Letter
Designer of Record			
LEWIS BUILDERS			
Design / Build			
3706 The Barryard, Suite G-11			
Carmel, California T: (831) 758-6391			
Lewis Builders Date			
Project: Lamison Residence			
Remodel			
Dolores 2NW Fourth, Carmel, CA			
Proposed & Existing East Elevations			
Proposed & Existing West Elevations			
Date	Scale @ ARCH D		
01.07.20	1/4" = 1'-0"		
Project Number	Revision		
2019 Lami	r1		

EXTERIOR FINISH NOTES

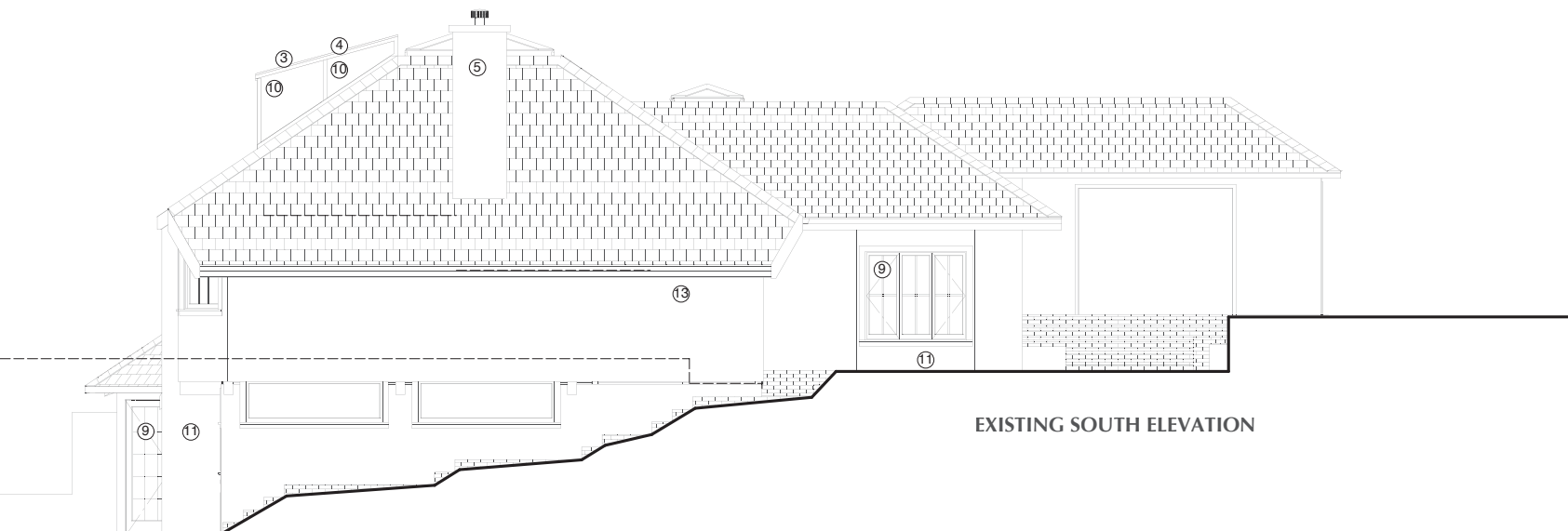
No change to stucco exterior finish.
 No change to exterior paint color.
 No change to maximum height.
 All Exterior Stucco, Colors, Windows and Doors to match existing.
 Changes to street facing facades and patio will not be visible to street due to existing 6' high grape stake fence at east (street) property line.
 Change to roof material will be visible from street.
 Update the deteriorated 1980's windows and doors to match the original style, lites, and materials of the main floor.
 All new skylights must have flashing that matches the new roofing color.

EXTERIOR ELEVATION KEY

1. New Deep Brown Matte finish (no glare) metal roof.
2. New windows and doors to match existing.
3. Demo Skylight
4. Demo Dormer
5. Demo Chimney
6. New Shed Dormer
7. New, Smaller Skylight w/Flashing to match new roof color.
8. New Tile Deck with 42" Glass Rail and 60" Wood Privacy Screen on North Side
9. Replace Deteriorated Door, no change to size or framing
10. Demo Door or Window
11. Demo Stairwell Turret or Bedroom Bump Out
12. Demo Lower Floor Bump Out Roof
13. Cut Eave back to 6" Overhang



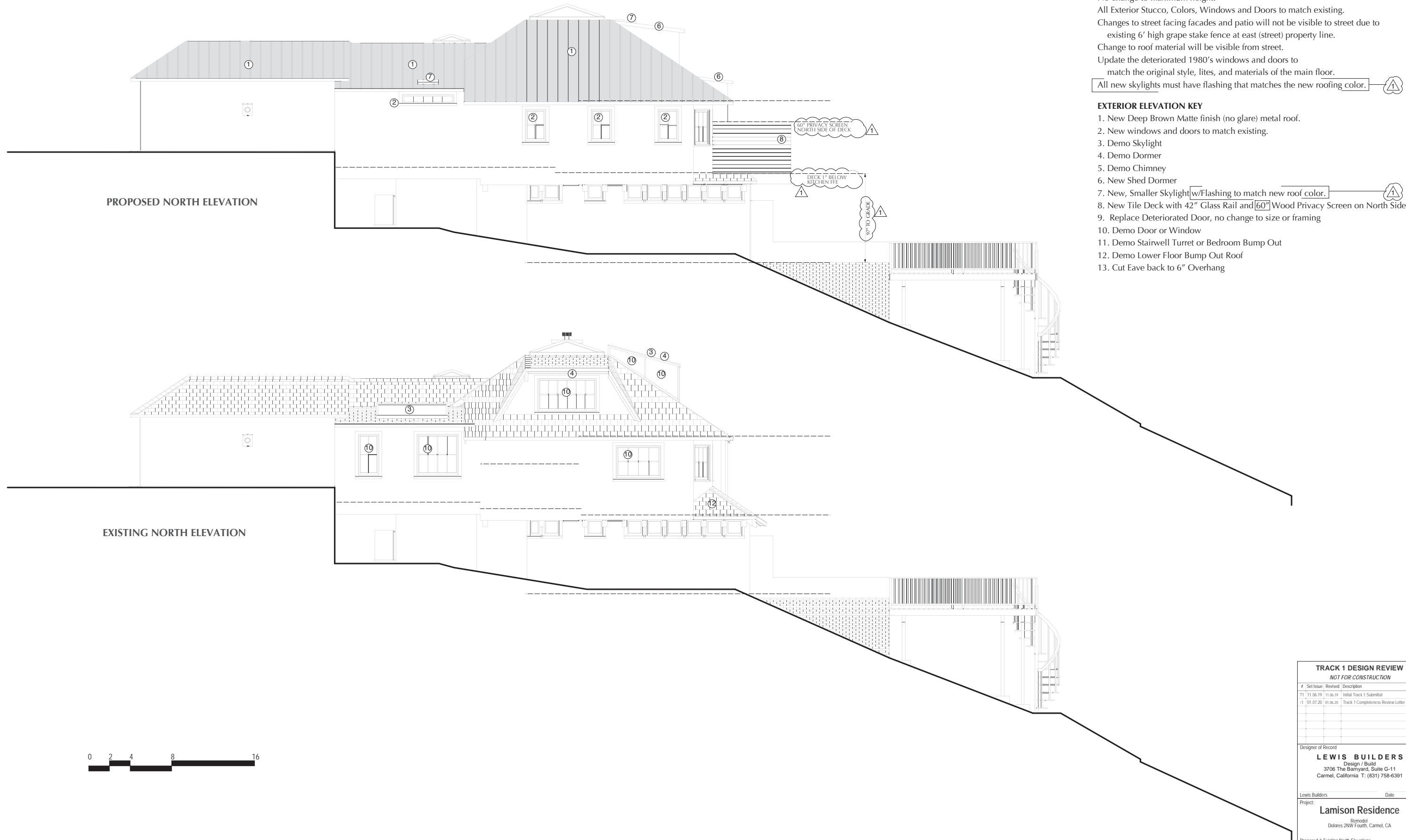
PROPOSED SOUTH ELEVATION



EXISTING SOUTH ELEVATION



TRACK 1 DESIGN REVIEW			
NOT FOR CONSTRUCTION			
#	Set Issue	Revised	Description
T1	11.06.19	11.06.19	Initial Track 1 Submittal
r1	01.07.20	01.06.20	Track 1 Completeness Review Letter
Designer of Record			
LEWIS BUILDERS			
Design / Build			
3706 The Barnyard, Suite G-11			
Carmel, California T: (831) 758-6391			
Lewis Builders			
Date			
Project:			
Lamison Residence			
Remodel			
Dolores 2NW Fourth, Carmel, CA			
Proposed & Existing South Elevations			
Date	Scale @ ARCH D		
01.07.20	1/4" = 1' 0"		
Project Number	Revision		
2019 Lami	r1	1	A5



EXTERIOR FINISH NOTES
 No change to stucco exterior finish.
 No change to exterior paint color.
 No change to maximum height.
 All Exterior Stucco, Colors, Windows and Doors to match existing.
 Changes to street facing facades and patio will not be visible to street due to existing 6' high grape stake fence at east (street) property line.
 Change to roof material will be visible from street.
 Update the deteriorated 1980's windows and doors to match the original style, lites, and materials of the main floor.
 All new skylights must have flashing that matches the new roofing color.

- EXTERIOR ELEVATION KEY**
1. New Deep Brown Matte finish (no glare) metal roof.
 2. New windows and doors to match existing.
 3. Demo Skylight
 4. Demo Dormer
 5. Demo Chimney
 6. New Shed Dormer
 7. New, Smaller Skylight w/Flashing to match new roof color.
 8. New Tile Deck with 42" Glass Rail and 60" Wood Privacy Screen on North Side
 9. Replace Deteriorated Door, no change to size or framing
 10. Demo Door or Window
 11. Demo Stairwell Turret or Bedroom Bump Out
 12. Demo Lower Floor Bump Out Roof
 13. Cut Eave back to 6" Overhang



TRACK 1 DESIGN REVIEW			
NOT FOR CONSTRUCTION			
#	Set Issue	Revised	Description
T1	11.06.19	11.06.19	Initial Track 1 Submittal
r1	01.07.20	01.06.20	Track 1 Completeness Review Letter

Designer of Record	LEWIS BUILDERS Design / Build 3706 The Barnyard, Suite G-11 Carmel, California T: (831) 758-6391		
Lewis Builders	Date		
Project:	Lamison Residence Remodel Dolores 2NW Fourth, Carmel, CA		
Proposed & Existing North Elevations			

Date	Scale of ARCH D
01.07.20	1/4" = 1' 0"
Project Number	Revision
2019 Lami	r1 1