

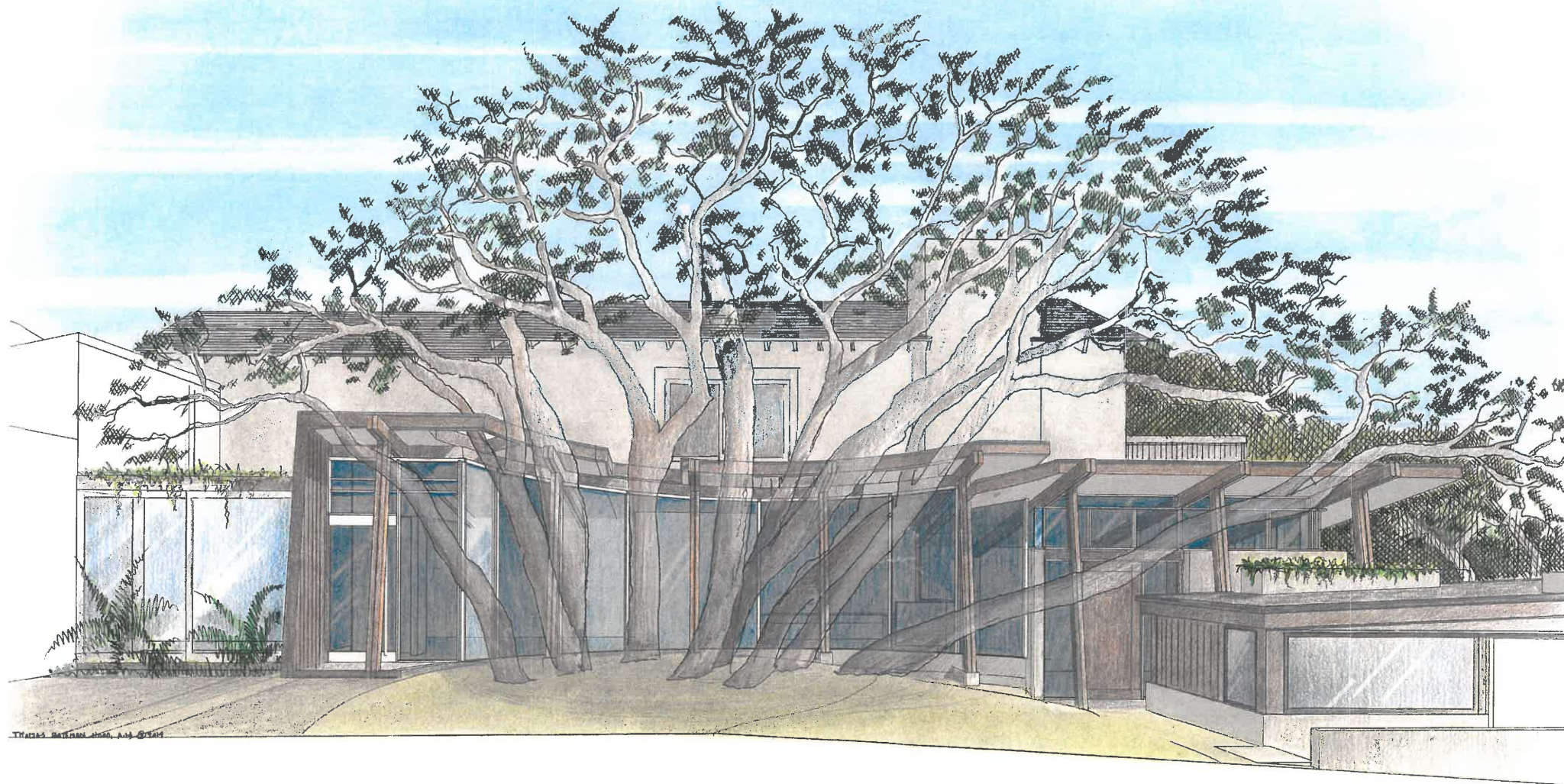
RECEIVED

JAN 28 2020

City of Carmel-by-the-Sea
Planning & Building Dept.

CUMMINGS RESIDENCE

Monte Verde St. 3sE of 11th Ave,
Carmel, California



THOMAS BATEMAN
HOOD
ARCHITECTURE

THOMAS BATEMAN HOOD
SW Corner of Lincoln & 4th Ave.
Carmel, California 93921
P.O. Box 4816
831 - 622 - 8912
tom@t-hood.com
www.thomasbatemanhood.com

PROJECT:
ALTERATIONS &
ADDITION TO THE
CUMMINGS RESIDENCE
MONTE VERDE ST.
3 SE OF 11TH
CARMEL, CA 93921
APN: 010-183-010

OWNER:
ELAINE & BURT CUMMINGS
1360 GARDEN DRIVE
MENLO PARK, CA, 94025

REVISIONS:

▲	
▲	
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▲	

PROJECT INFORMATION

ZONING: R1
CONSTRUCTION TYPE: V-8
OCCUPANCY: R-3
ADDRESS: Monte Verde St. 3SE of 11th Ave
APN: 010-183-010
LOT AREA: 4000 sf

FLOOR AREA & SITE COVERAGE

FLOOR AREA CALCULATIONS

EXISTING STRUCTURE: LOWER FLOOR 601 sf
UPPER FLOOR 231 sf
BUILDING ADDITIONS: LOWER FLOOR 685 sf
UPPER FLOOR 76 sf
GARAGE 200 sf
TOTAL 1793 sf

SITE COVERAGE CALCULATIONS

EXISTING TILE PATIO (LOWER) 226 sf
TILE PATIO (UPPER) 315 sf
BRICK WALKWAY 52 sf
TOTAL 603 sf

PROPOSED

IMPERMEABLE EAVES 97.0 sf
WATER FEATURE 45.0 sf
BBQ 19.0 sf
TOTAL 161.0 sf

PERMEABLE MASTER PATIO 68.0 sf
DRIVEWAY/ ENTRY 161.0 sf
FRONT STEPS 161.0 sf
TOTAL 229.0 sf

TOTAL SITE COVERAGE 390.0 sf

(MORE THAN 50% OF MATERIALS USED ARE PERMEABLE SO 4% COVERAGE BONUS HAS BEEN APPLIED.)

MAX SITE COVERAGE @ 586 sf)

SHEET INDEX

- A1.0 TITLE SHEET, PROJECT INFORMATION, SITE INDEX, RENDER
- A1.1 0FFE-PHOTOS
- A1.2 3D MODEL VIEWS
- A1.3 EXISTING SITE SURVEY
- A1.4 EXISTING FLOOR AND DEMO PLANS
- A2.0 PROPOSED FOUNDATION & DRAINAGE PLAN
- A2.1 PROPOSED LOWER LEVEL FLOOR PLAN
- A2.2 PROPOSED UPPER LEVEL FLOOR PLAN
- A2.9 PROPOSED EXTERIOR LIGHTING PLAN
- A2.10 6FORM-POLE-PLAN
- A3.0 EXISTING ELEVATIONS
- A3.1 PROPOSED ELEVATIONS AND SECTIONS
- A3.2 PROPOSED ELEVATIONS
- A3.3 PROPOSED ELEVATIONS AND SECTIONS
- A6.1 DOOR AND WINDOW SCHEDULES
- L.1 LANDSCAPE PLANTING PLAN
- L.2 LANDSCAPE IRRIGATION PLAN
- SK.1 FOUNDATION SECTION DETAIL

OWNERSHIP AND USE OF ARCHITECT'S DOCUMENTS

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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: TBH/ADS

PRINT DATE: 01-16-20

DRAWING DATE: 01-16-20

PAGE TITLE:
**TITLE SHEET,
PROJECT
DESCRIPTION**

SCALE: NTS

SHEET:

A1.0

OF SHEETS

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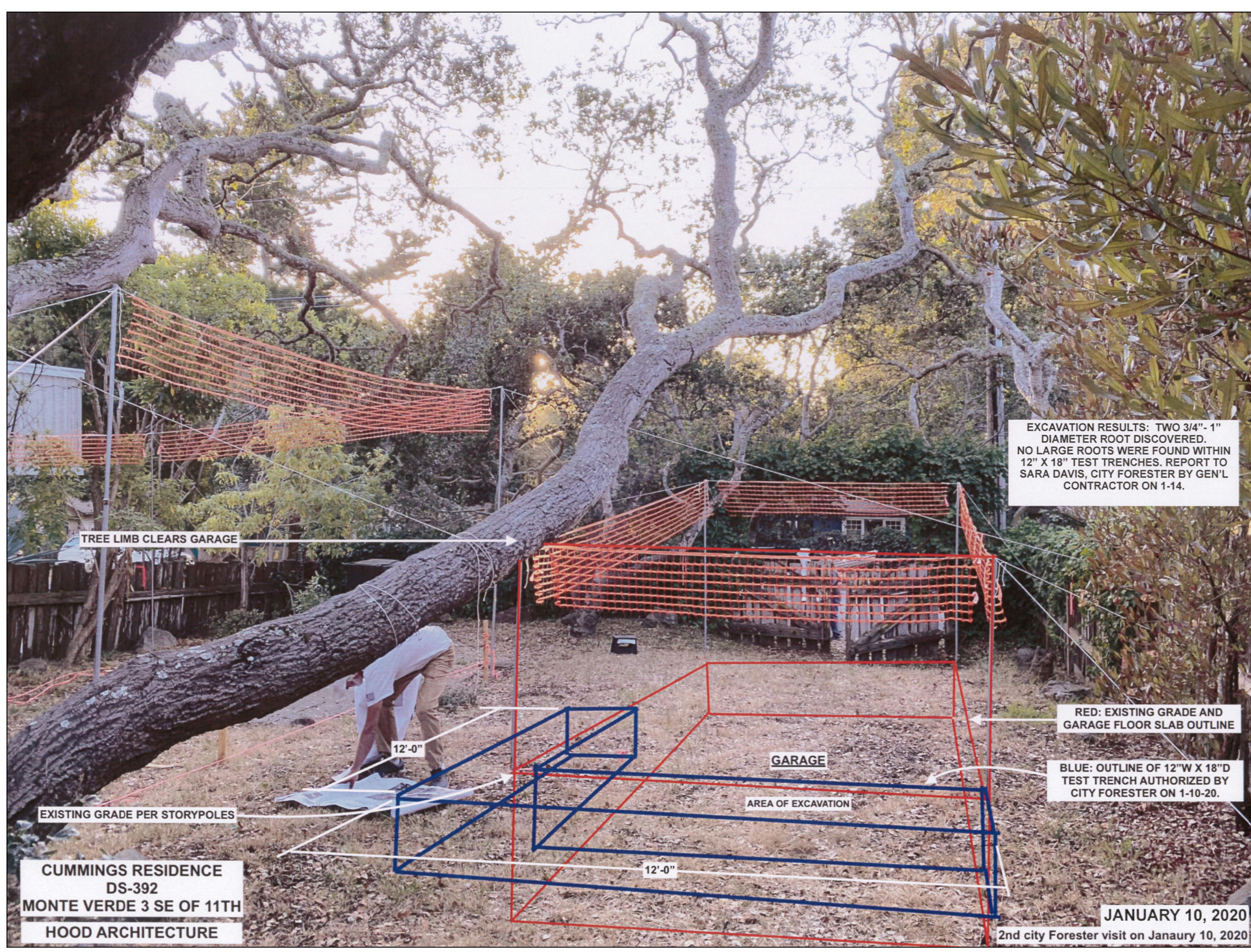
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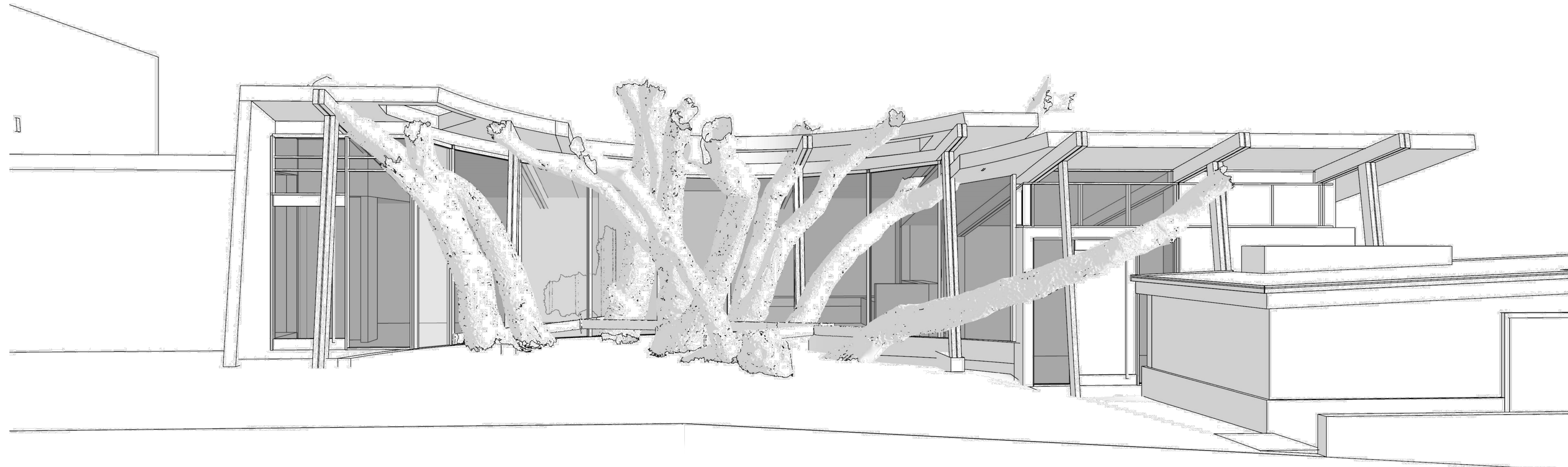
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PAGE TITLE:
SITE WORK PHOTOS

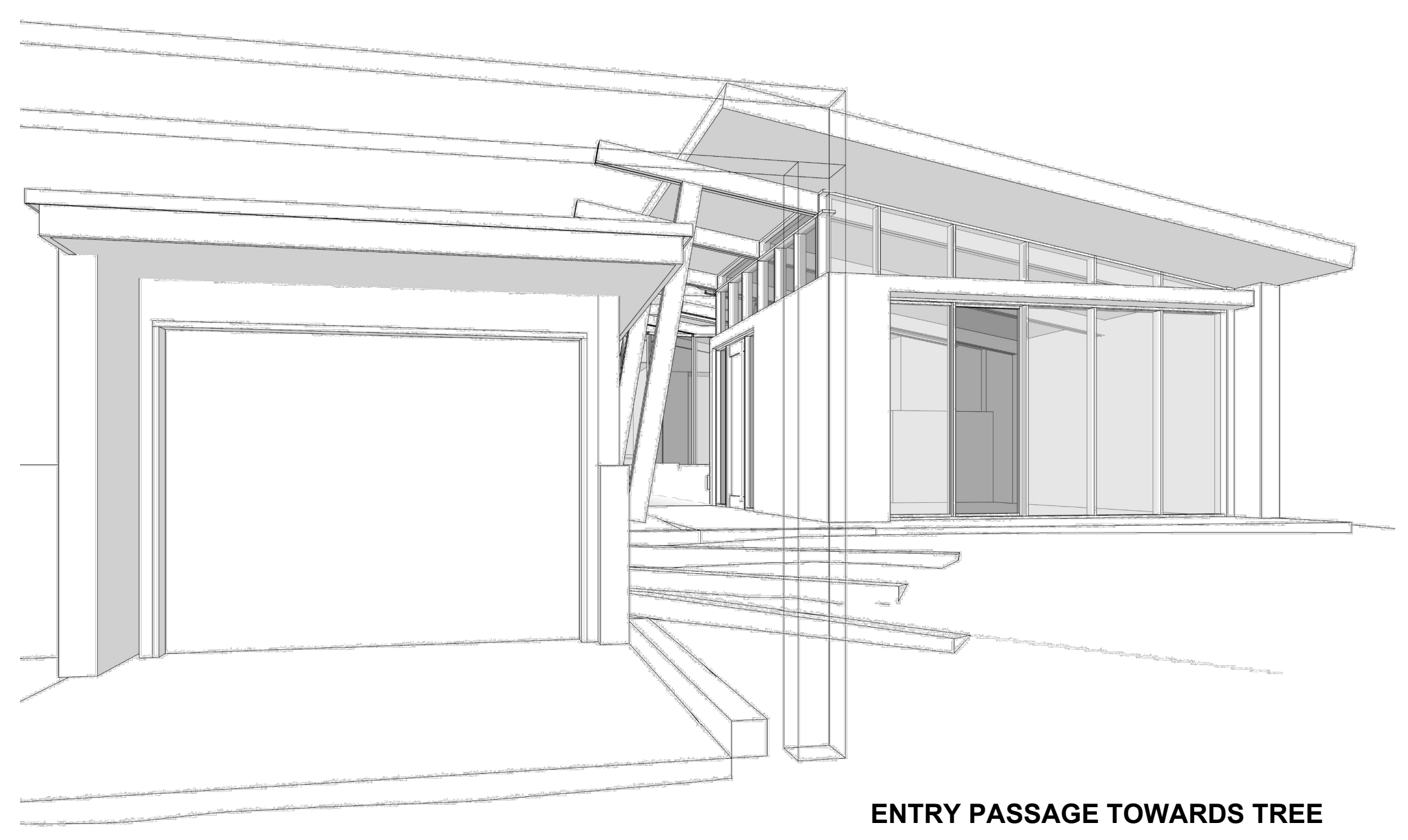
SCALE: NTS
SHEET:

A1.1
OF SHEETS





NORTH ELEVATIONS WITH 3D OAK TREE



ENTRY PASSAGE TOWARDS TREE



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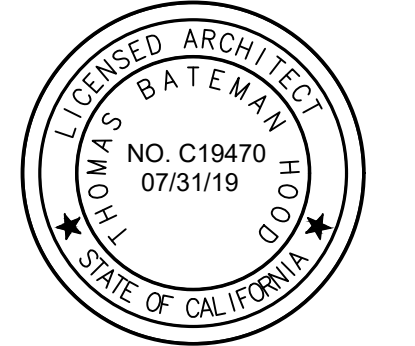
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PAGE TITLE:
3D TREE SCAN AND MODEL VIEWS

SCALE: NTS
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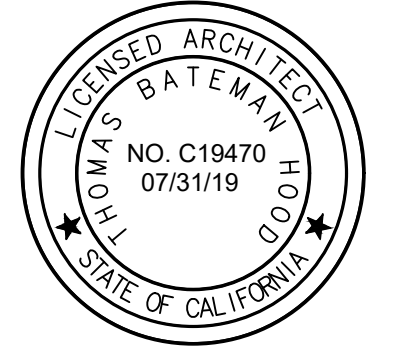
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PAGE TITLE:

EXISTING SURVEY

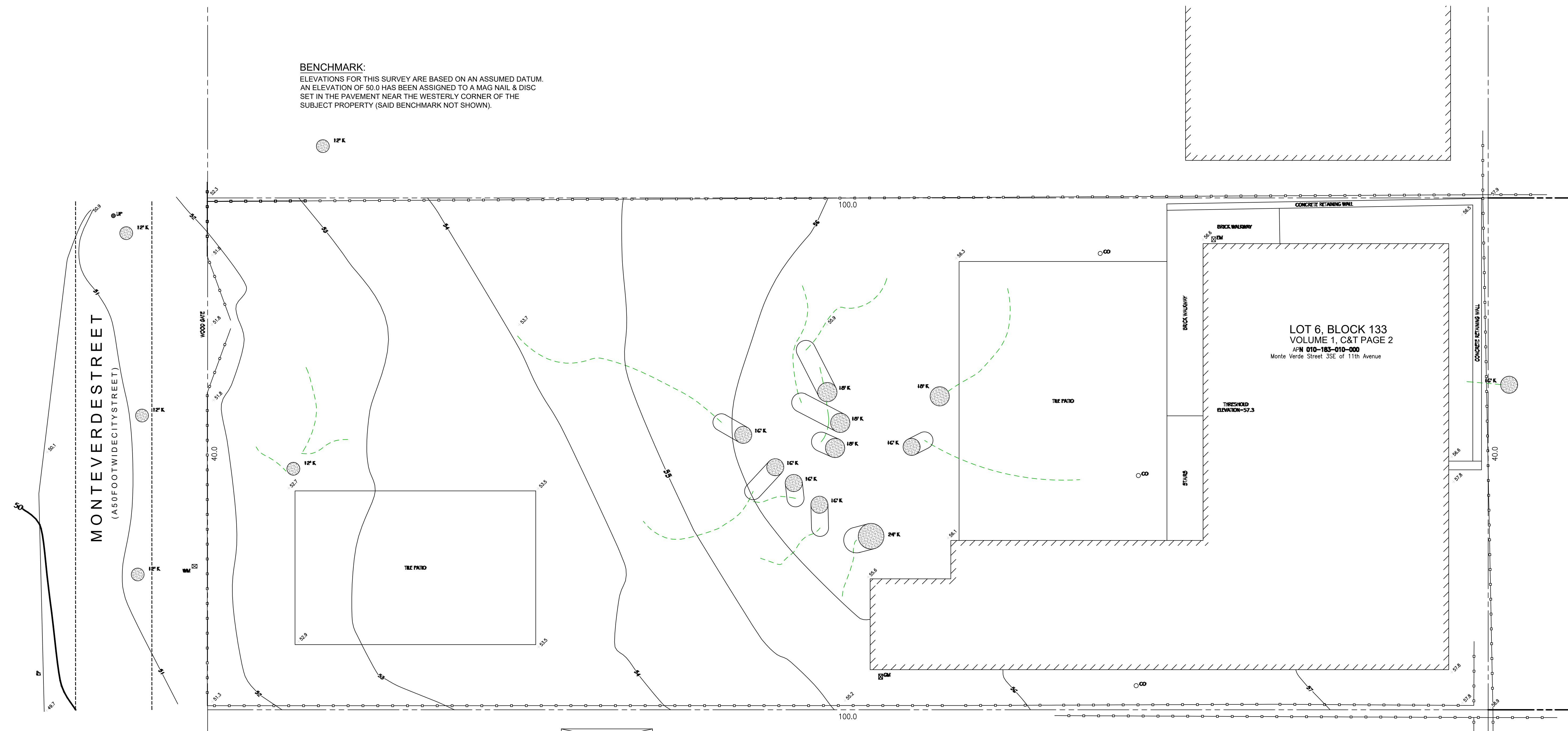
SCALE: 1/4" = 1'-0"

SHEET:

A1.3

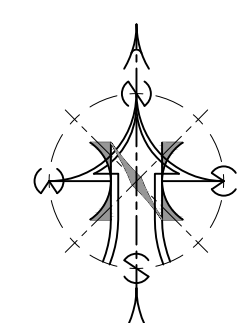
OF SHEETS

BENCHMARK:
 ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM.
 AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC
 SET IN THE PAVEMENT NEAR THE WESTERLY CORNER OF THE
 SUBJECT PROPERTY (SAID BENCHMARK NOT SHOWN).



- LEGEND:**
- RECORD BOUNDARY
 - RECORD RIGHT OF WAY
 - RECORD LOT LINE
 - EDGE OF PAVEMENT
 - UP UTILITY POLE
 - WOOD FENCE
 - BUILDING OUTLINE
 - CHIMNEY
 - ⊗ GAS METER
 - ⊗ ELECTRIC METER
 - CLEAN-OUT
 - T TREE WITH SIZE AND TYPE
 - DIRECTION OF MAJOR LIMB
 - K OAK
 - 50.0 SPOT ELEVATION

1 EXISTING SURVEY
 1/4"=1'-0"



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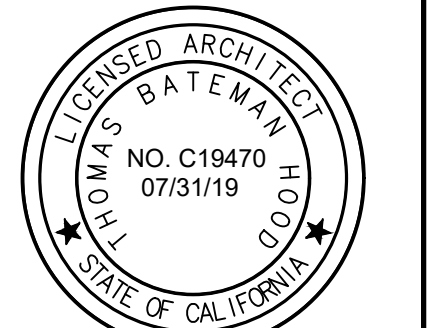
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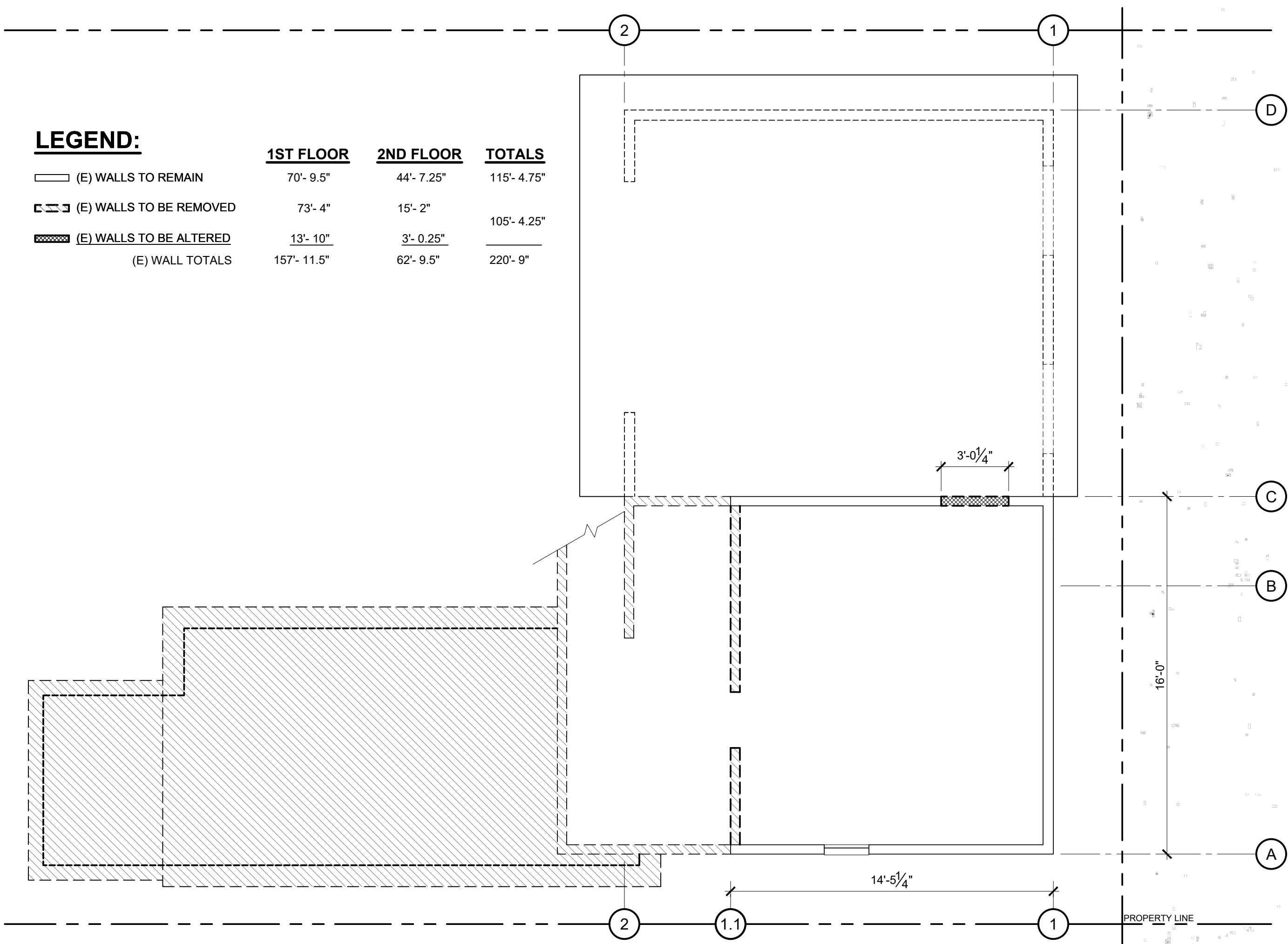
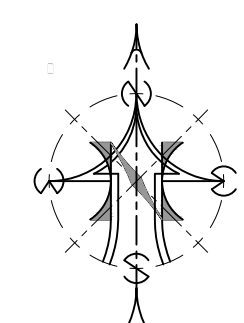
EXISTING FLOOR AND DEMO PLANS

SCALE: 1/4" = 1' - 0"

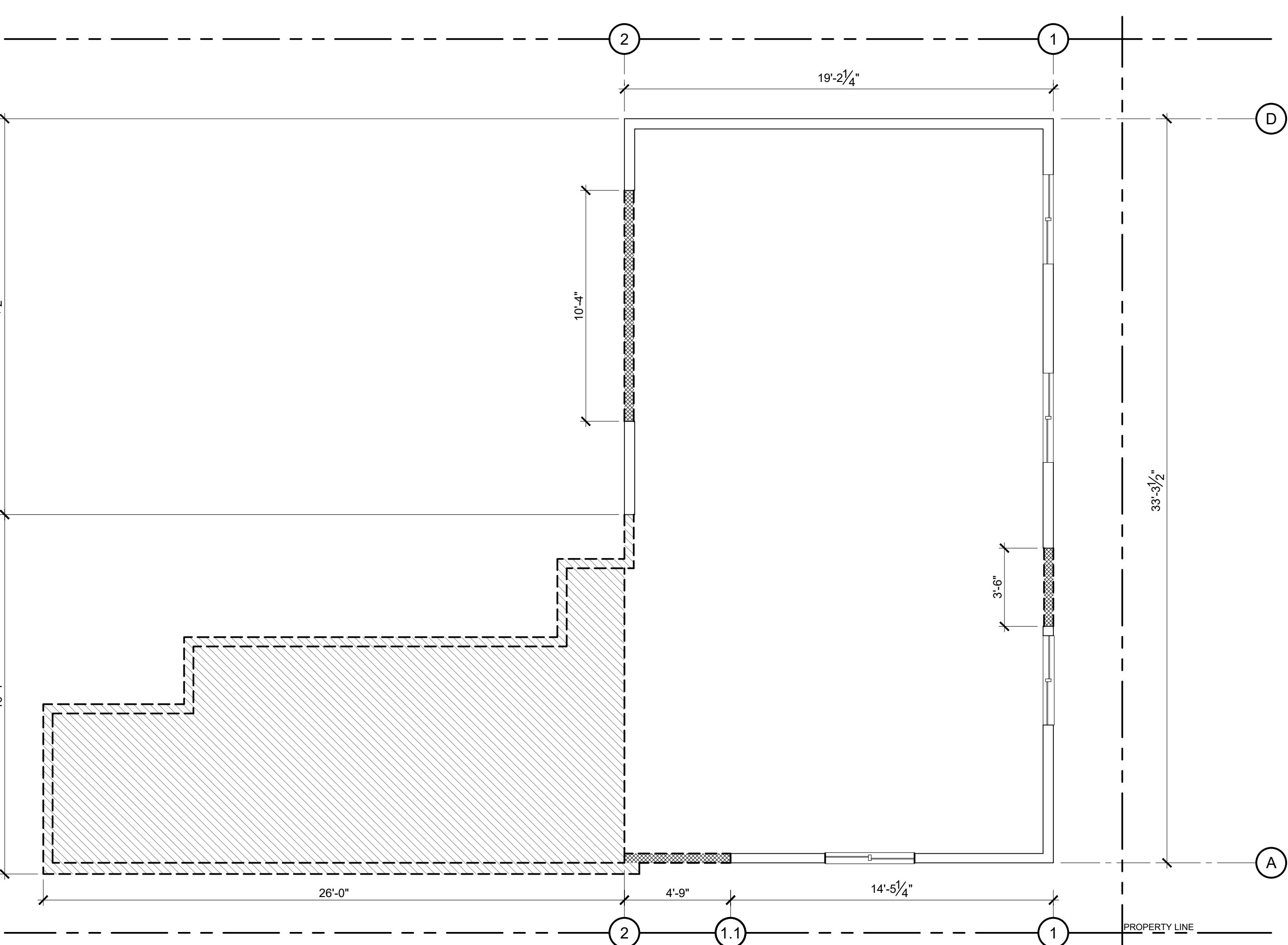
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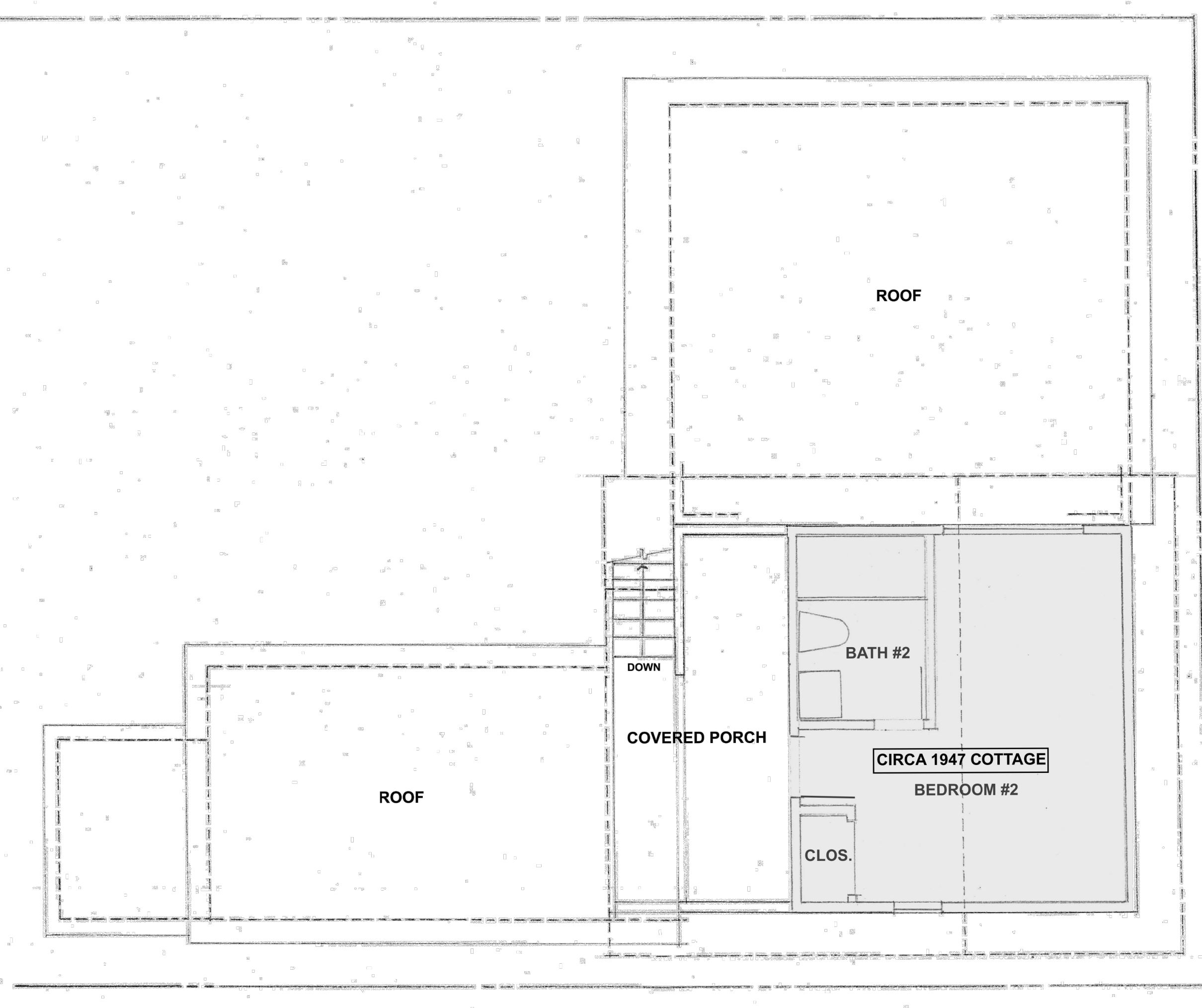
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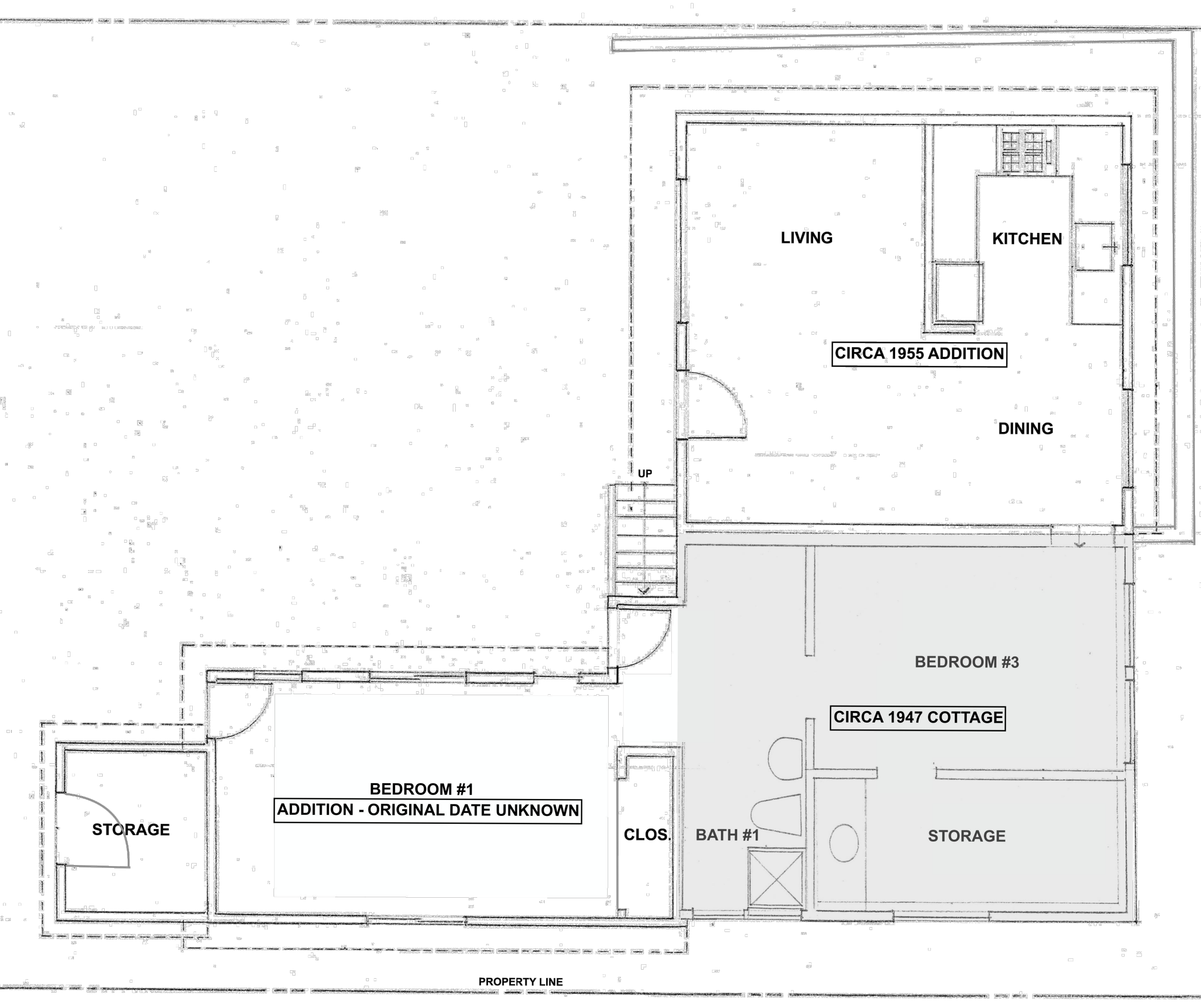
4 UPPER LEVEL DEMO PLAN
 1/4"=1'-0"



3 LOWER LEVEL DEMO PLAN
 1/4"=1'-0"



2 EXISTING UPPER LEVEL PLAN
 1/4"=1'-0"



1 EXISTING LOWER LEVEL PLAN
 1/4"=1'-0"

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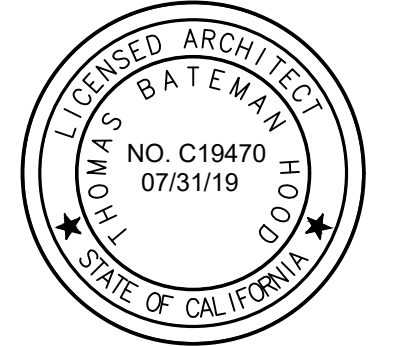
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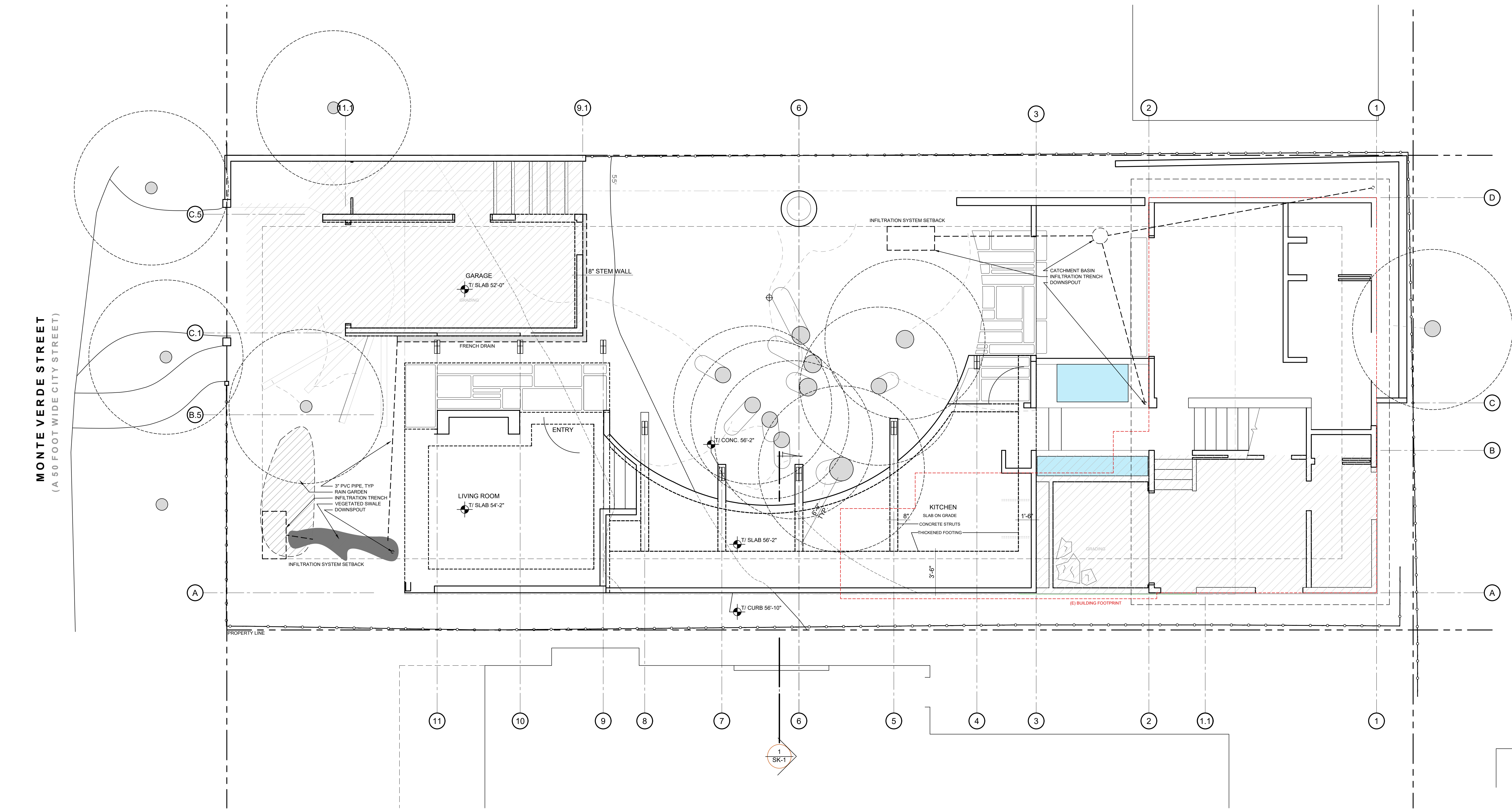
**PROPOSED
FOUNDATION &
DRAINAGE PLAN**

SCALE: 1/4" = 1'-0"

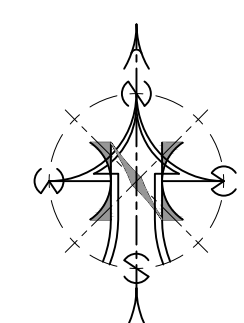
SHEET:

A2.0

OF SHEETS



MONTE VERDE STREET
(A 50 FOOT WIDE CITY STREET)



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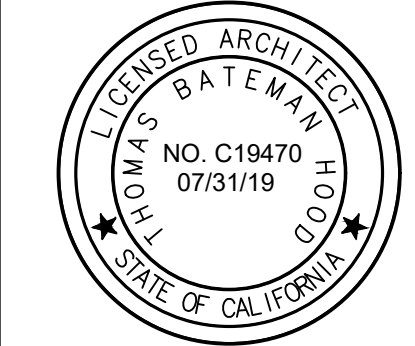
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PROPOSED LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

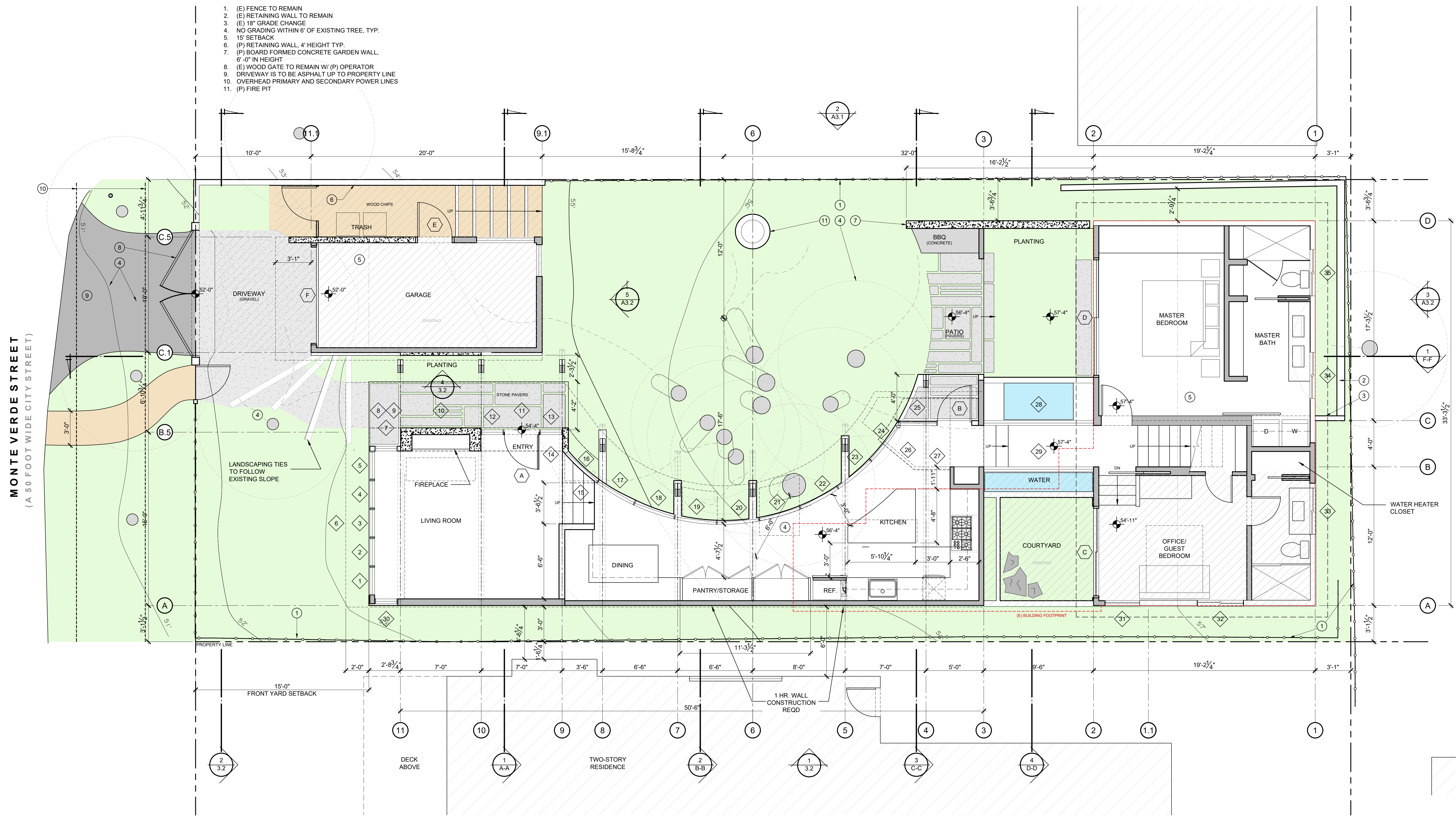
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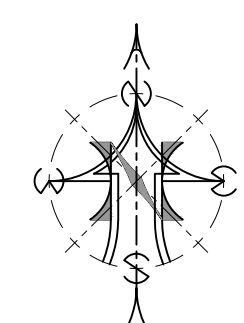
OF SHEETS

KEY NOTES:

1. (E) FENCE TO REMAIN
2. (E) RETAINING WALL TO REMAIN
3. (E) 18" GRADE CHANGE
4. NO GRADING WITHIN 6' OF EXISTING TREE, TYP.
5. 15' SETBACK
6. (P) RETAINING WALL, 4' HEIGHT TYP.
7. (P) BOARD FORMED CONCRETE GARDEN WALL, 6'-0" IN HEIGHT
8. (E) WOOD GATE TO REMAIN W/ (P) OPERATOR
9. DRIVEWAY IS TO BE ASPHALT UP TO PROPERTY LINE
10. OVERHEAD PRIMARY AND SECONDARY POWER LINES
11. (P) FIRE PIT



1 LOWER LEVEL FLOOR PLAN
 1/4"=1'-0"



MONTE VERDE STREET
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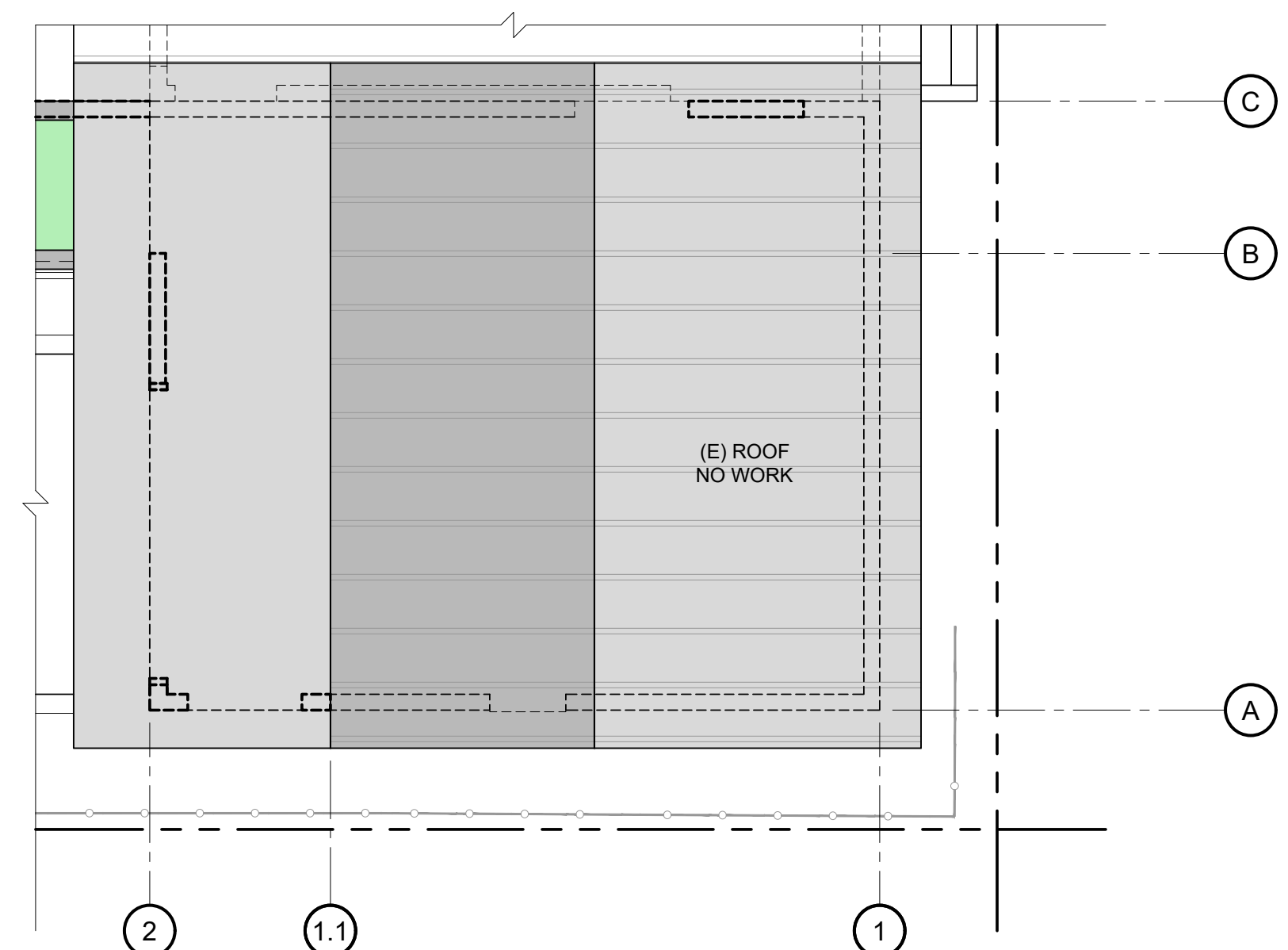
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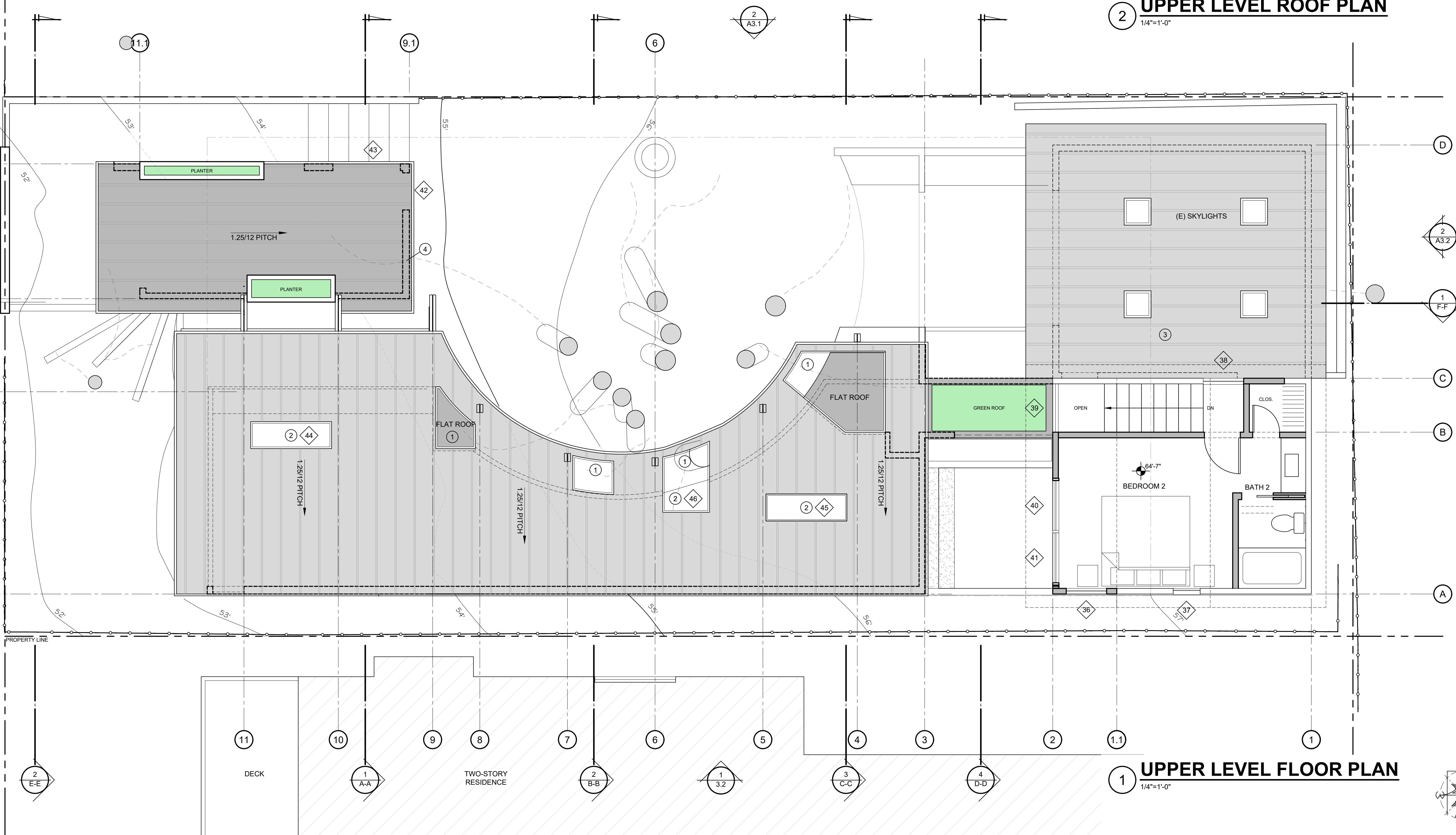
PAGE TITLE:
PROPOSED UPPER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SHEET:
A2.2
 OF SHEETS



2 UPPER LEVEL ROOF PLAN
 1/4"=1'-0"

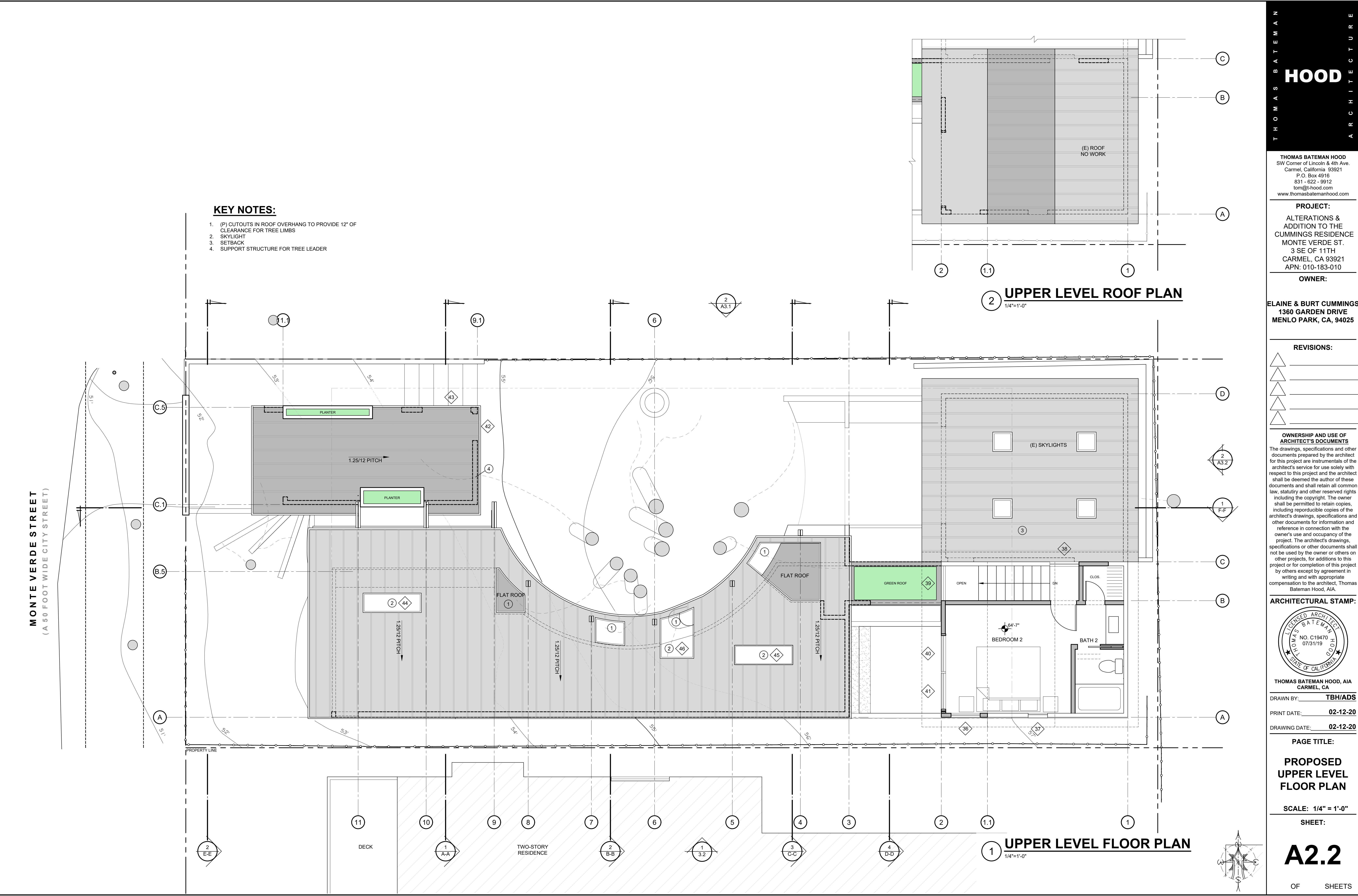
KEY NOTES:

- (P) CUTOUTS IN ROOF OVERHANG TO PROVIDE 12" OF CLEARANCE FOR TREE LIMBS
- SKYLIGHT
- SETBACK
- SUPPORT STRUCTURE FOR TREE LEADER



1 UPPER LEVEL FLOOR PLAN
 1/4"=1'-0"

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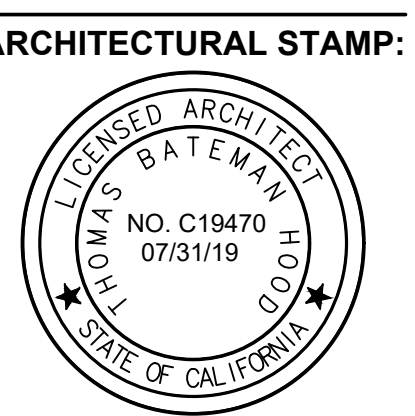
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PAGE TITLE:
PROPOSED EXTERIOR LIGHTING PLAN
 SCALE: 1/4" = 1'-0"
 SHEET:
A2.9
 OF SHEETS

L1/L2 RECTANGLE STEP LIGHTS 12V

4021

WAC LANDSCAPE LIGHTING

Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION
 Vertical rectangle step light designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.
 Features an architectural design. Energy efficient for long-lasting outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- IP66 rated. Protected against high-pressure water jets
- Conveniently adapts into existing 12V system
- Invisible hardware
- Maintains constant lumen output against voltage drop
- UL 1838 Listed

SPECIFICATIONS

Input: 9-15VAC (Transformer is required)
 Power: 2W / 3.1VA
 CRI: 90
 Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3 1/2" x 2 1/2" x 2 1/2"
 Includes bracket for J-Box mount.
 Rated Life: 60,000 hours

ORDERING NUMBER

Color Temp	CRI	Finish	Lumens
27 2700K 90	90	BK Black on Aluminum	17
		BZ Bronze on Aluminum	17
		WT White on Aluminum	28
		SS Cast Stainless Steel	23
		BK Black on Aluminum	17
		BZ Bronze on Aluminum	17
30 3000K 90	90	WT White on Aluminum	28
		BK Black on Aluminum	17
		BZ Bronze on Aluminum	17
		SS Cast Stainless Steel	23
		BK Black on Brass	11
		BZ Bronze on Aluminum	11
AM Amber		BK Black on Aluminum	11
		WT White on Aluminum	23
		SS Cast Stainless Steel	14

Example: 4021-30BK

Headquarters/Eastern Distribution Center
 44 Harbor Park Drive
 Port Washington, NY 11050

Central Distribution Center
 1600 Distribution Ct.
 Lithia Springs, GA 30122

Western Distribution Center
 1750 Archibald Avenue
 Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JUL 2016

L3 ARTISTAR™ RING MOUNT

"The Artistar™ Ring Mount solves so many problems when you need light and there is no place, including a branch large enough for a mounting canopy. We use it all the time to softly wash garden beds under small trees; to light perennials at the edge of a lawn and provide spill onto the lawn tying two areas together visually; in tree canopies over stairs, walkways, even cliffs filled with plants by the ocean. We have used retrofit LED lamps in existing fixtures and now specify the integral module solid state adjust-e-lume™ to get just the right output and beam spread. It is a critical fixture in the palette for all projects."

Janet Lennon Meyer, Jan Meyer Design, BKU Fall 2002

Shown with T-Coil
 In Black Finish (BK) Finish

EL CAPITAN SERIES™

"For the Palm Springs Aerial Tramway we wanted to make sure we could provide a fixture that could provide the perfect ambient light and have a unique style, as always of course B-K Lighting had the perfect fixture...El Capitan Series™"

Fernando Rodriguez, MRC Engineering Inc., BKU Spring 2013

Shown with T-Coil
 In Brown Patina Finish (BP) Finish

Shown with T-Coil
 In Black Finish (BK) Finish

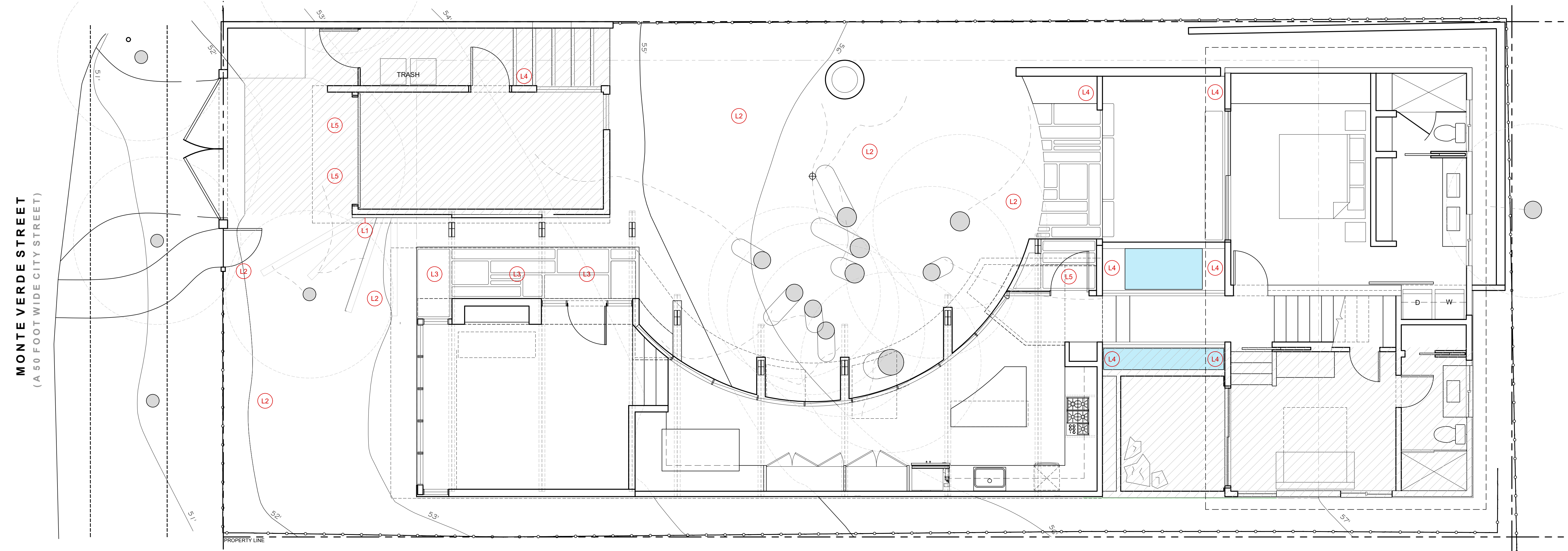
Shown with T-Coil
 In Brown Patina Finish (BP) Finish

L5 VERSA STAR™

"B-K designs their luminaires with the lighting designers' needs and wants in mind. Besides the excellent performance, the quality craftsmanship and the attention to details, we can always count on B-K's support like a family."

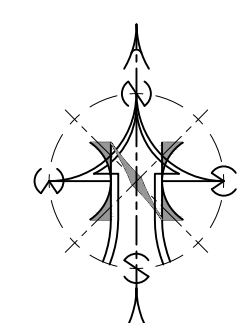
Joseph Yam, Prudential Lighting, Summer 2010

Shown with T-Coil
 In Satin Aluminum (SA) Finish



NOTE: ALL EXTERIOR LIGHTING NOT TO EXCEED 25 WATTS AND 325 LUMENS

1 EXTERIOR LIGHTING PLAN
 1/4" = 1'-0"



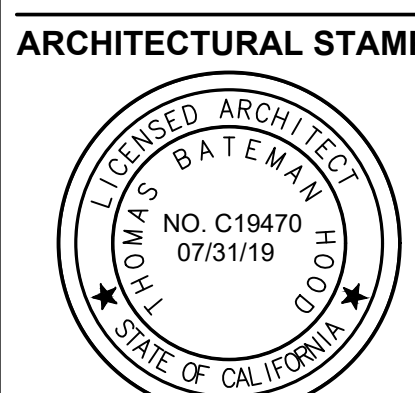
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 P.O. Box 4916
 831 - 622 - 9912
 tom@t-hood.com
 www.thomasbatemanhood.com

PROJECT:
 ALTERATIONS &
 ADDITION TO THE
 CUMMINGS RESIDENCE
 MONTE VERDE ST.
 3 SE OF 11TH
 CARMEL, CA 93921
 APN: 010-183-010

OWNER:
 ELAINE & BURT CUMMINGS
 1360 GARDEN DRIVE
 MENLO PARK, CA, 94025

REVISIONS:

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 CARMEL, CA

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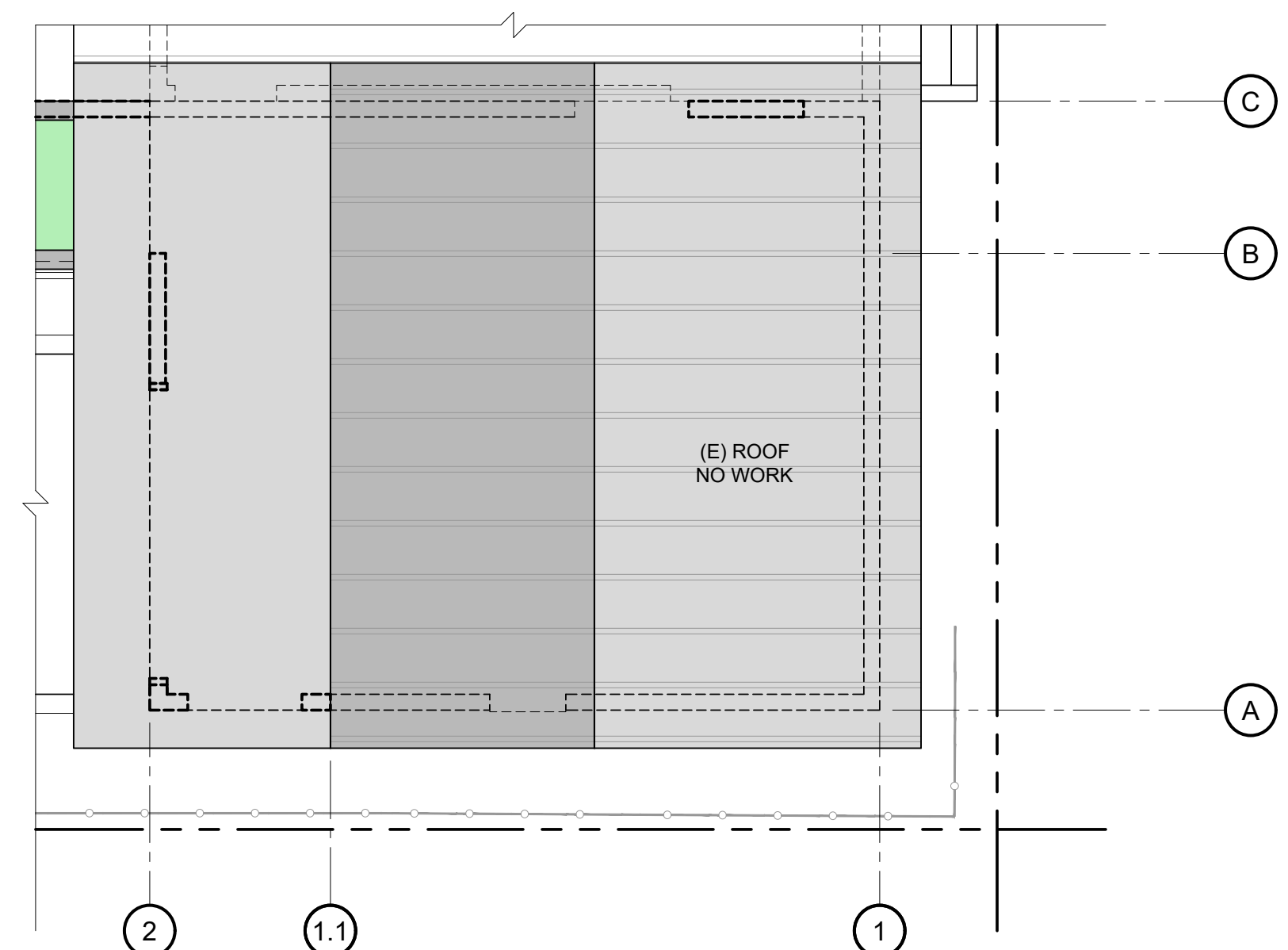
**PROPOSED
 STORY POLE
 PLAN**

SCALE: 1/4" = 1'-0"

SHEET:

A2.10

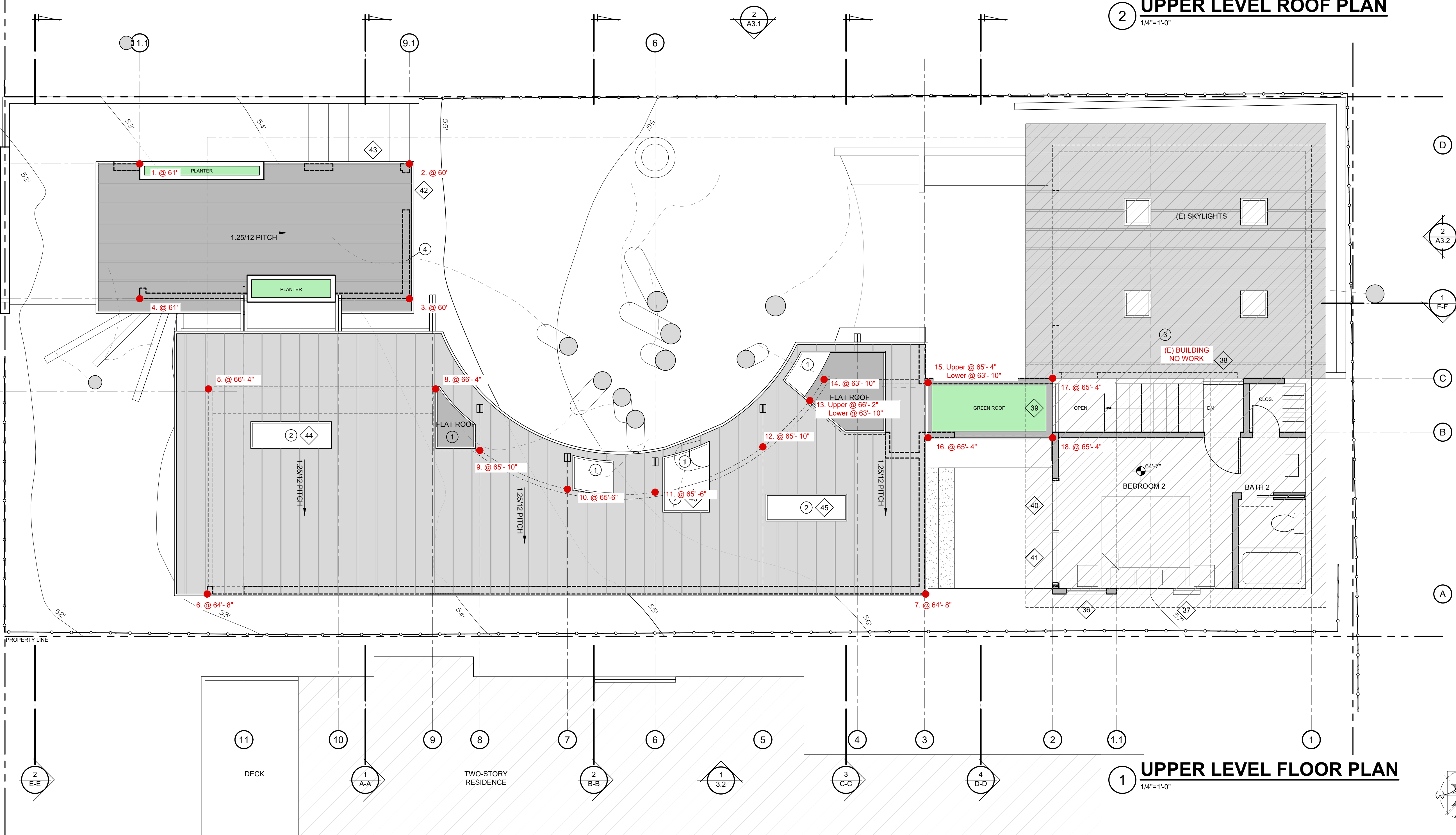
OF SHEETS



2 UPPER LEVEL ROOF PLAN
 1/4"=1'-0"

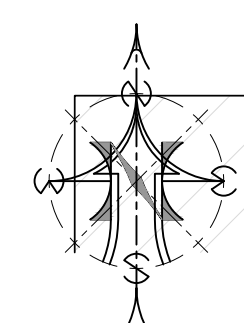
KEY NOTES:

1. (P) CUTOUTS IN ROOF OVERHANG TO PROVIDE 12" OF CLEARANCE FOR TREE LIMBS
2. SKYLIGHT
3. SETBACK
4. SUPPORT STRUCTURE FOR TREE LEADER



1 UPPER LEVEL FLOOR PLAN
 1/4"=1'-0"

MONTE VERDE STREET
 (A 50 FOOT WIDE CITY STREET)



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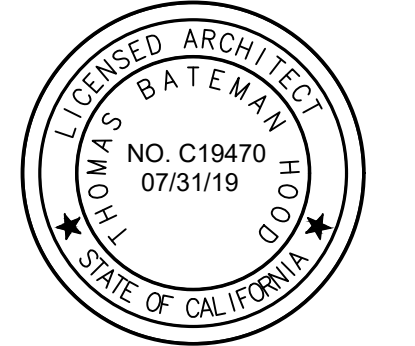
OWNER:
ELAINE & BURT CUMMINGS
 1360 GARDEN DRIVE
 MENLO PARK, CA, 94025

REVISIONS:

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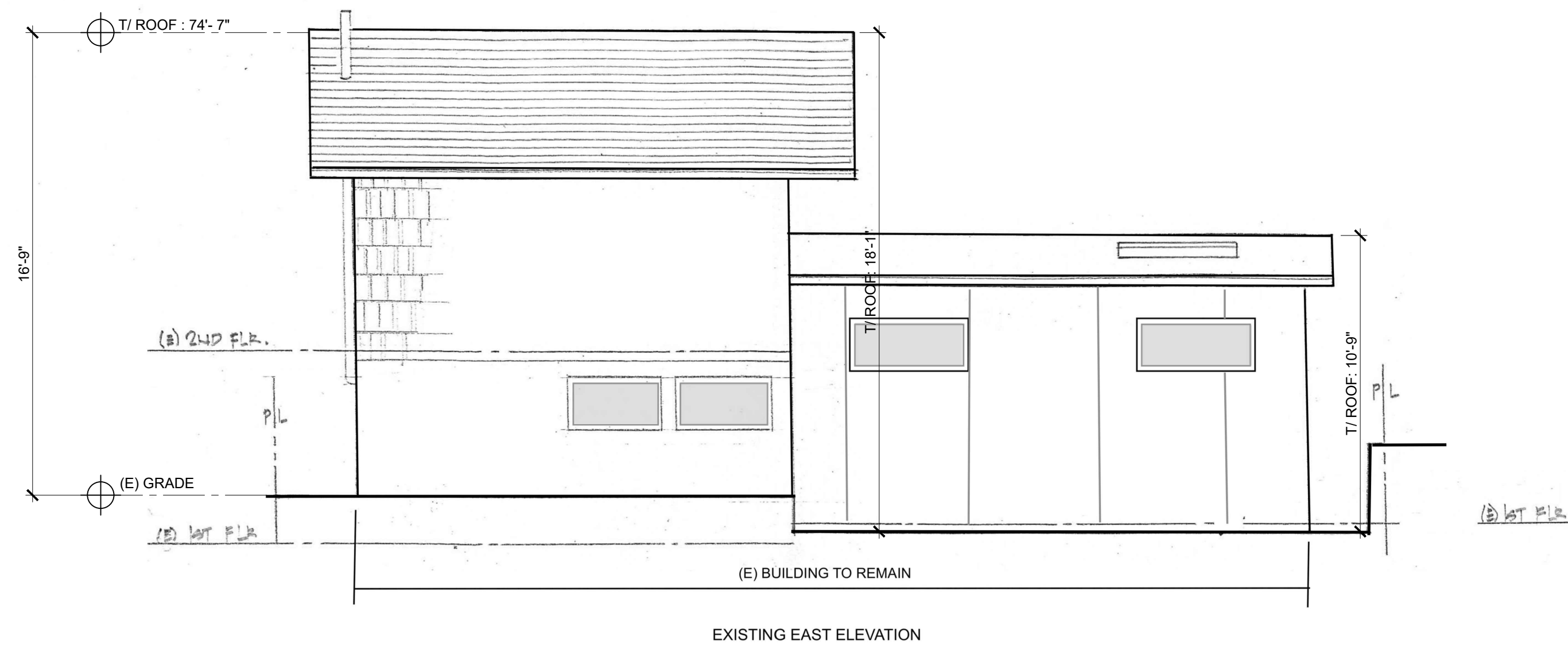
EXISTING EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

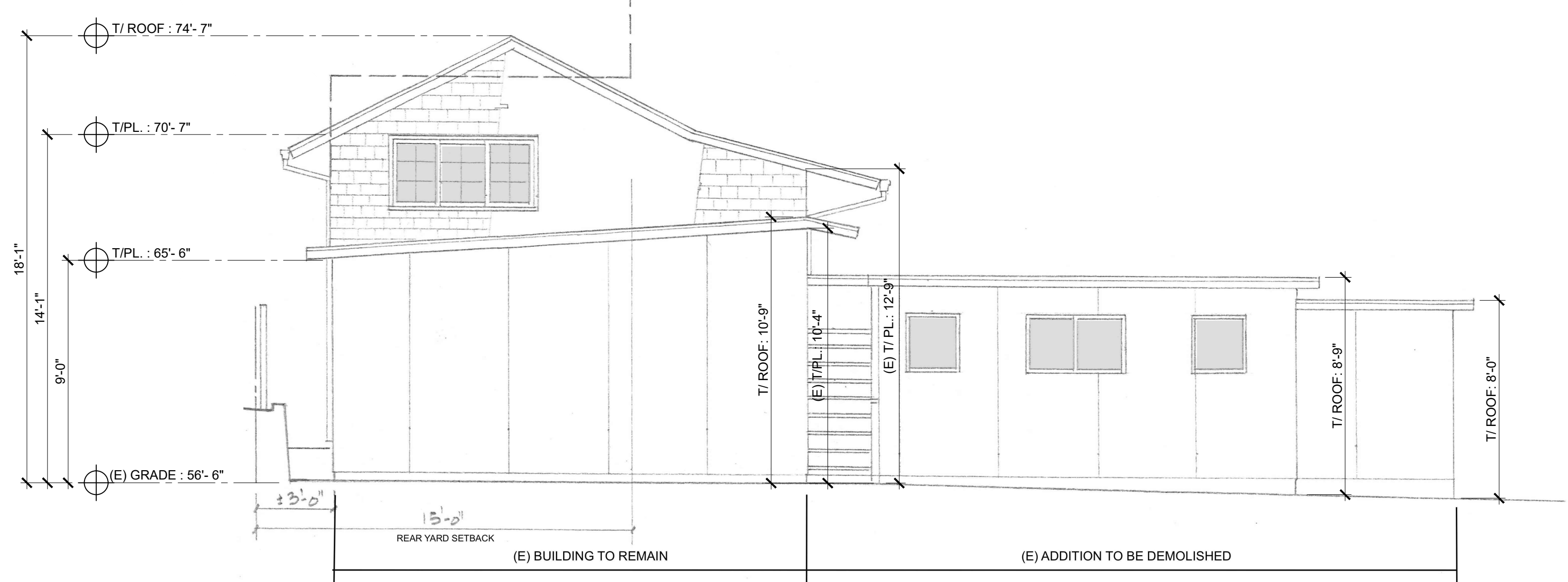
SHEET:

A3.0

OF SHEETS



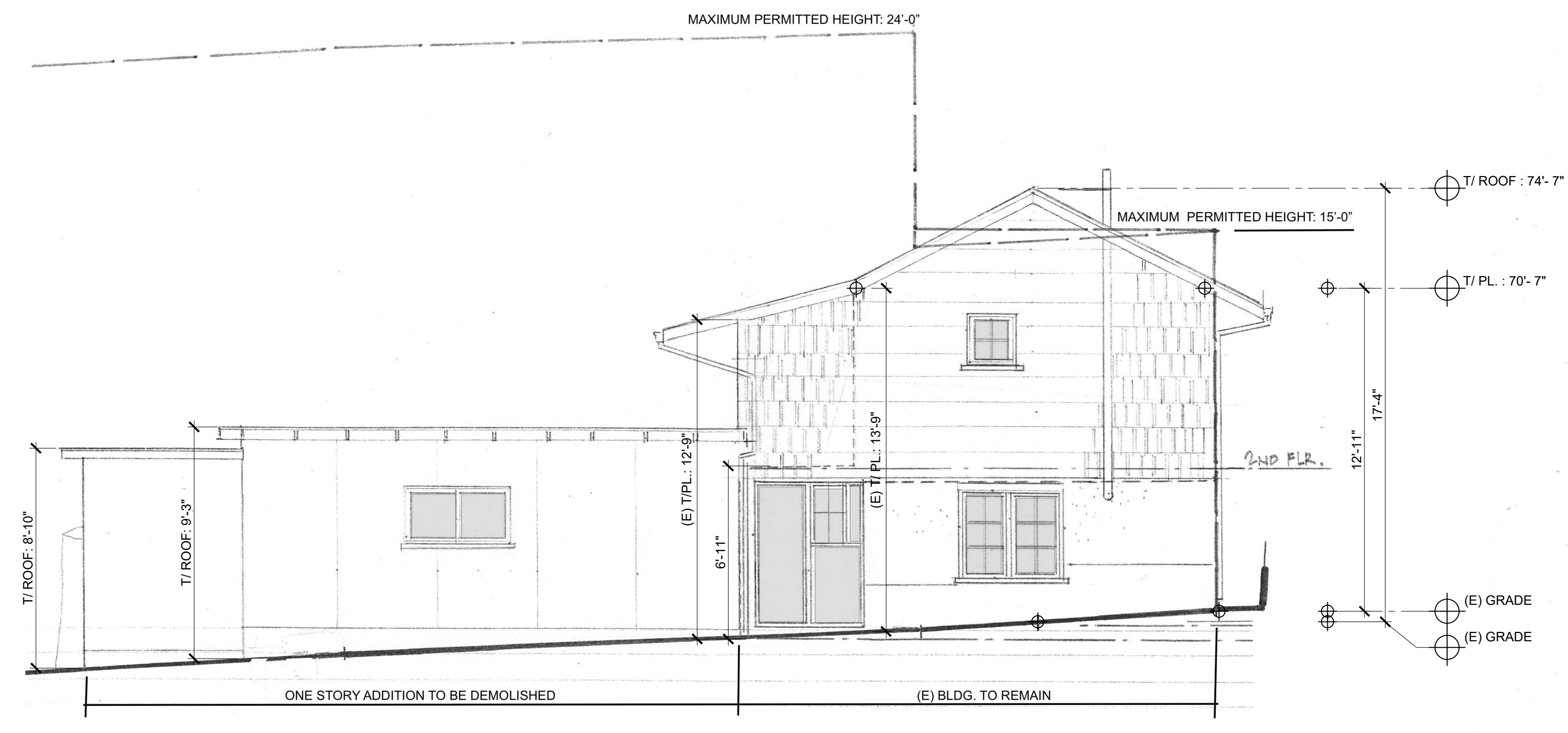
4 EXISTING EAST ELEVATION
 1/4"=1'-0"



2 EXISTING NORTH ELEVATION
 1/4"=1'-0"



3 EXISTING WEST ELEVATION
 1/4"=1'-0"



1 EXISTING SOUTH ELEVATION
 1/4"=1'-0"

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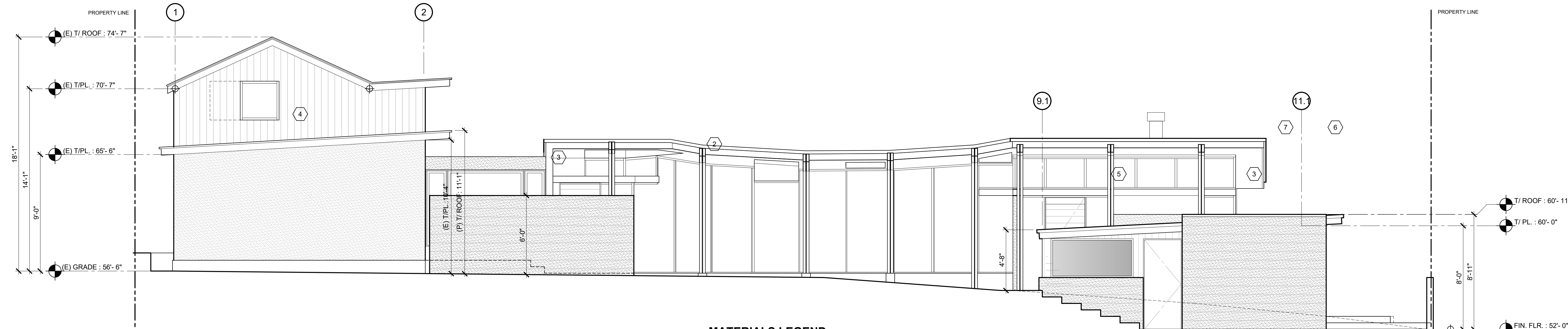
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PAGE TITLE:
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 EXTERIOR
 ELEVATIONS

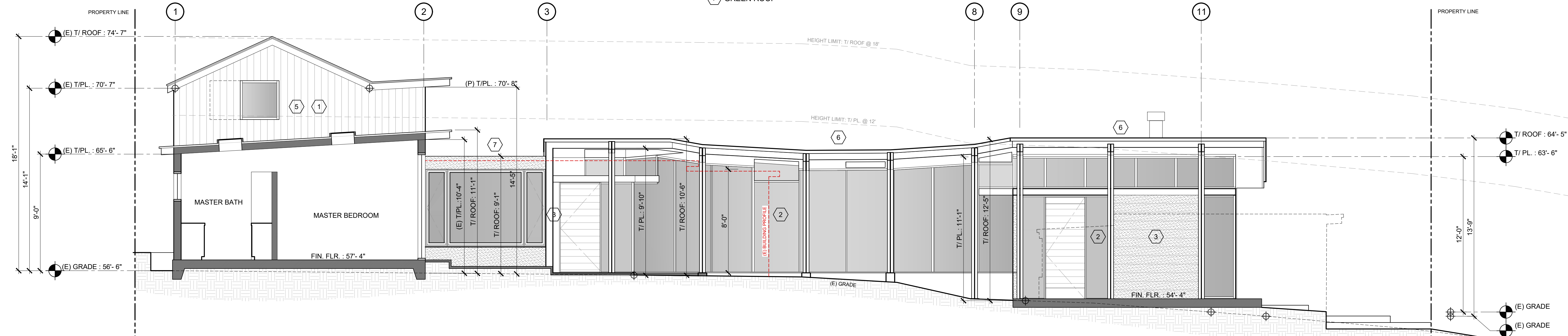
SCALE: 1/4" = 1'-0"

SHEET:

A3.1
 OF SHEETS



- MATERIALS LEGEND**
- 1 WOOD CEDAR SIDING
 - 2 WOOD TIMBERS
 - 3 TEXTURED CONCRETE
 - 4 TEXTURED STUCCO
 - 5 WOOD WINDOWS AND DOORS
 - 6 STEEL STANDING SEAM ROOFING, 16" O.C.
 - 7 GREEN ROOF



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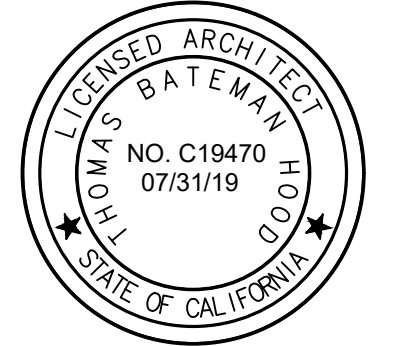
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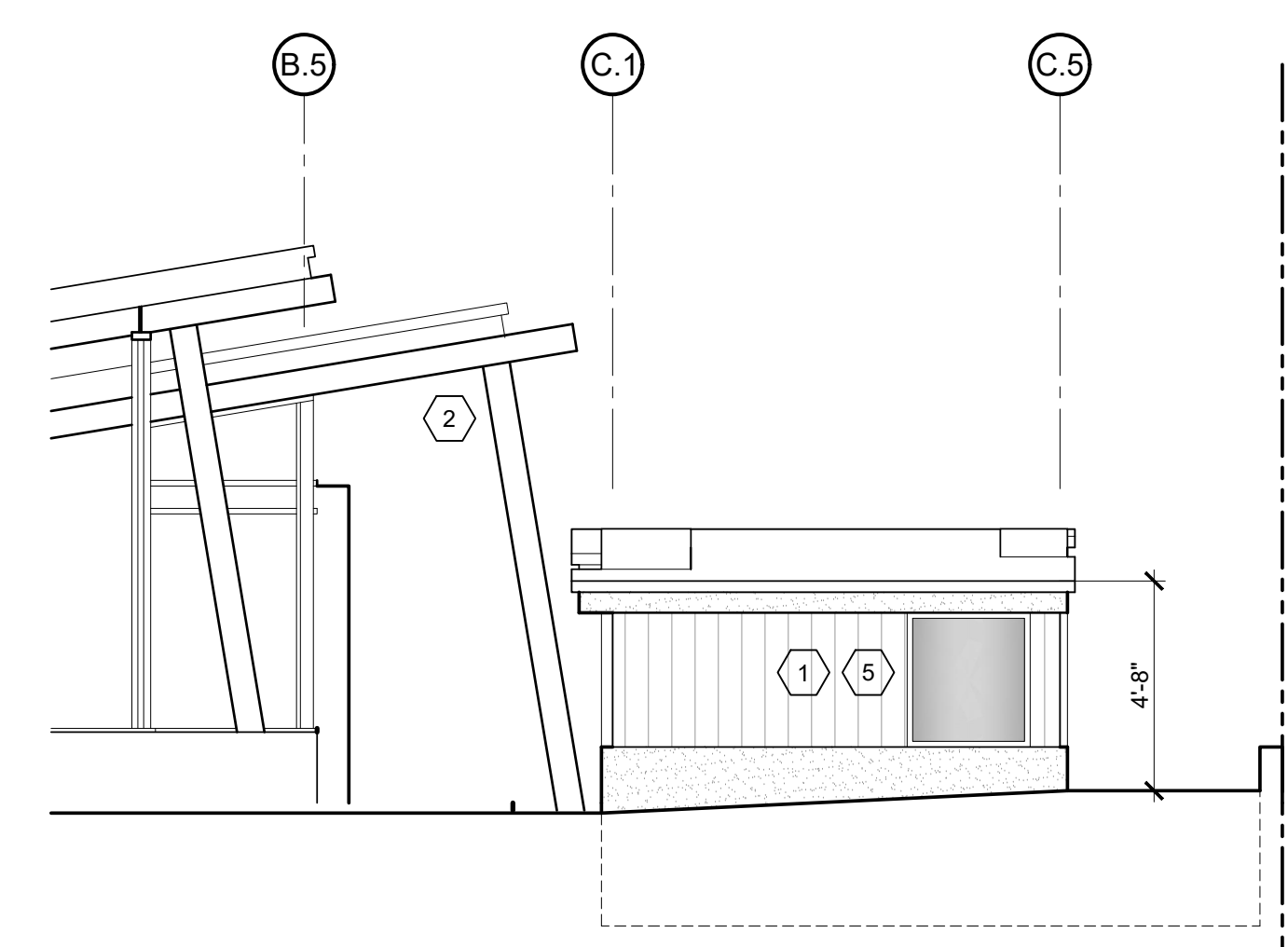
PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET:

A3.2

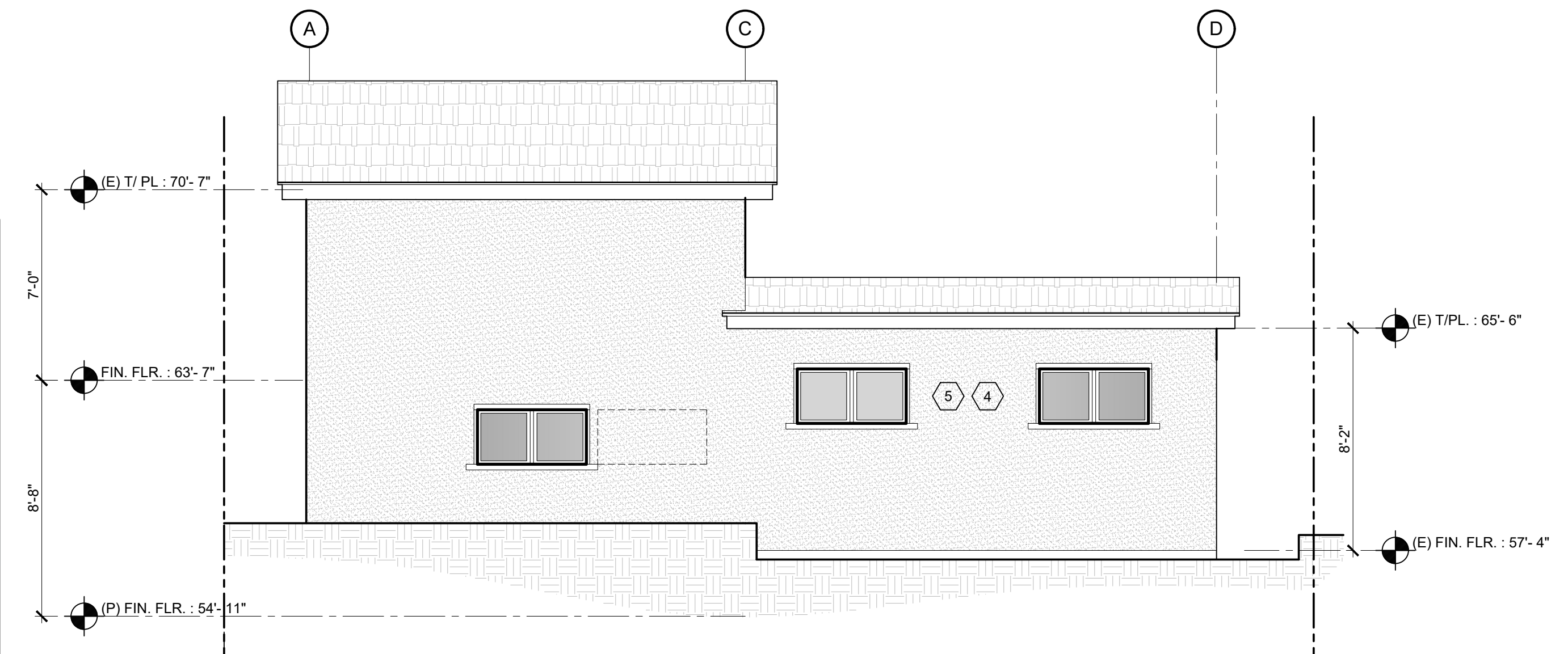
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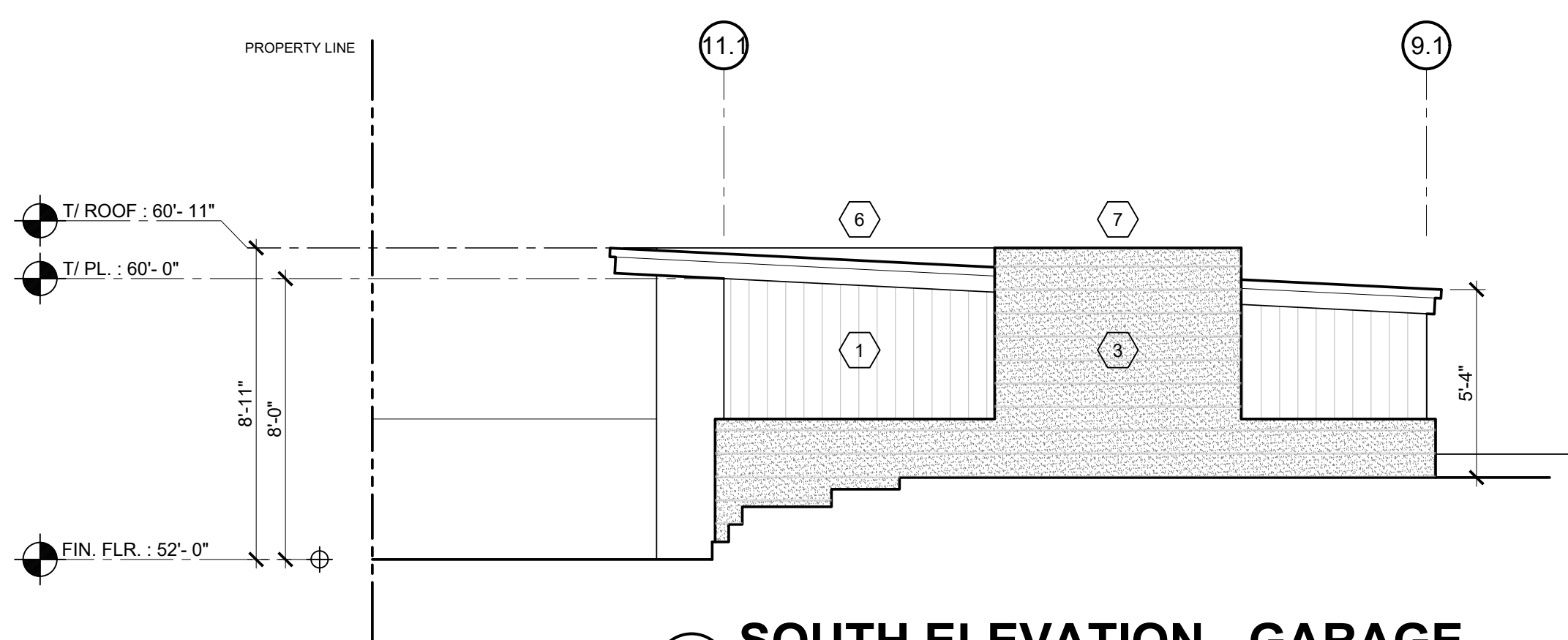
5 EAST ELEVATION - GARAGE
 1/4"=1'-0"



CUMMINGS RESIDENCE MAJOR MATERIALS
 1. ROOF: STANDING METAL SEAM, TAYLOR METAL PRODUCTS, COLOR: 'ZINC GRAY'
 2. WALLS: WOOD SIDING, PIKA PIKA SKU#1814, PENOFN DARK GRAY
 3. WOOD COLLUMNS & BEAMS: BENJAMIN MOORE SEMI SOLID #1500 'DARK OAK'
 4. STUCCO WALLS: BENJAMIN MOORE #1575, 'RAINY AFTERNOON'
 5. WINDOWS: ALL WOOD, COLOR: BENJAMIN MOORE #1484, 'ASHWOOD MORSE'
 6. GARAGE SIDE WALLS & FIREPLACE: BOARD FORM CONCRETE, INTEGRAL COLOR
 THOMAS BATEMAN HOOD ARCHITECTURE FEBRUARY 5, 2020



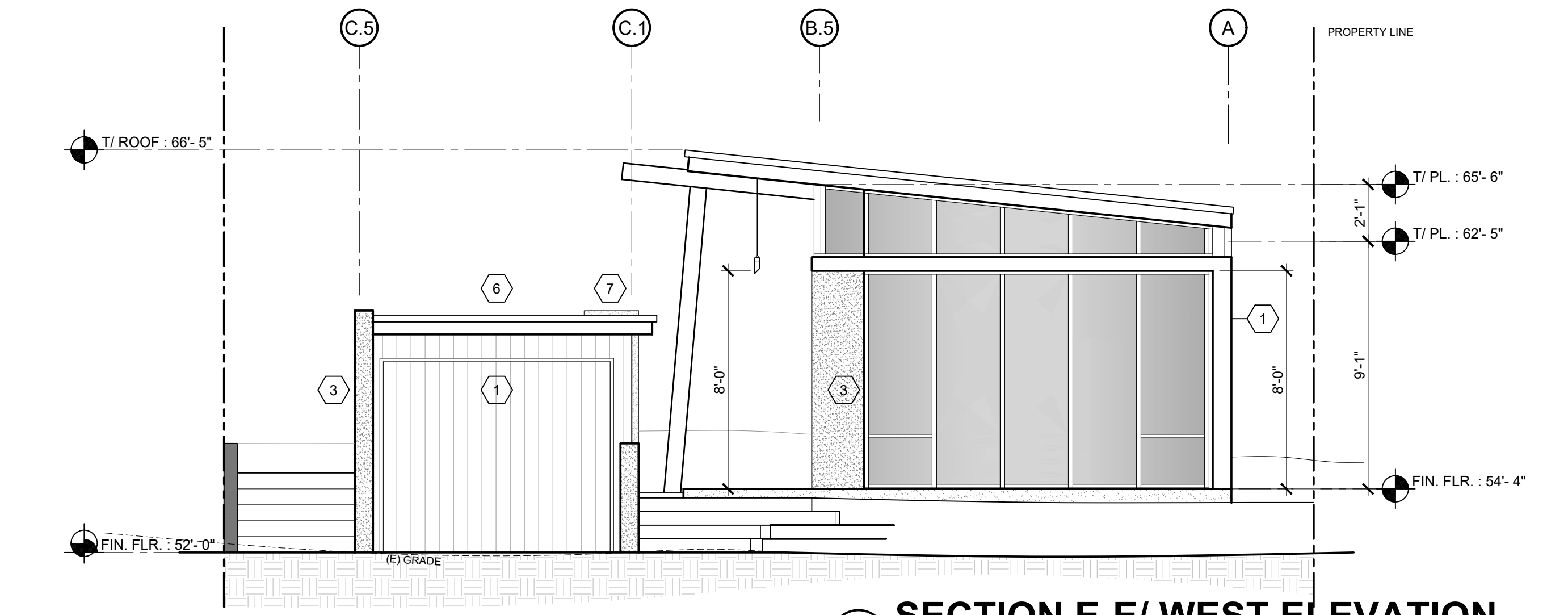
3 EAST ELEVATION
 1/4"=1'-0"



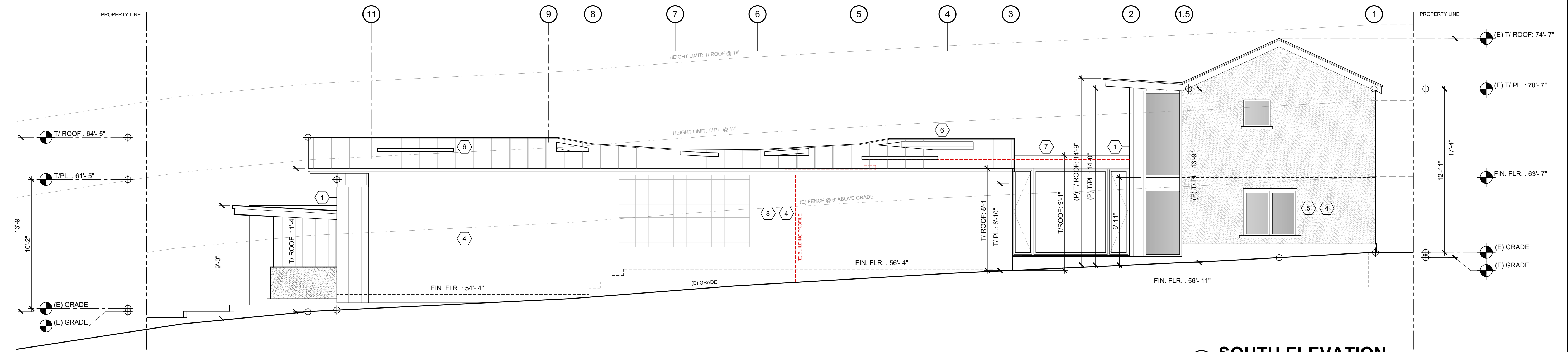
4 SOUTH ELEVATION - GARAGE
 1/4"=1'-0"

MATERIALS LEGEND

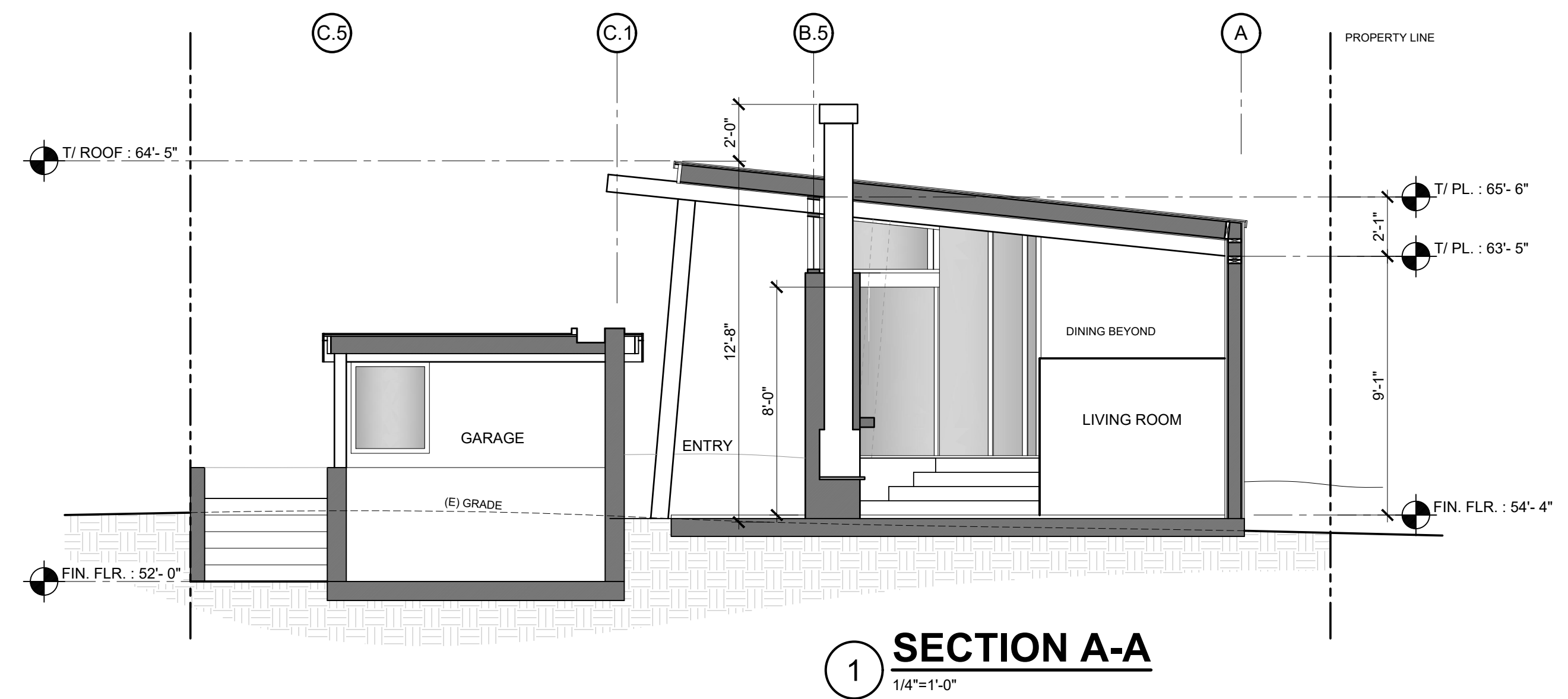
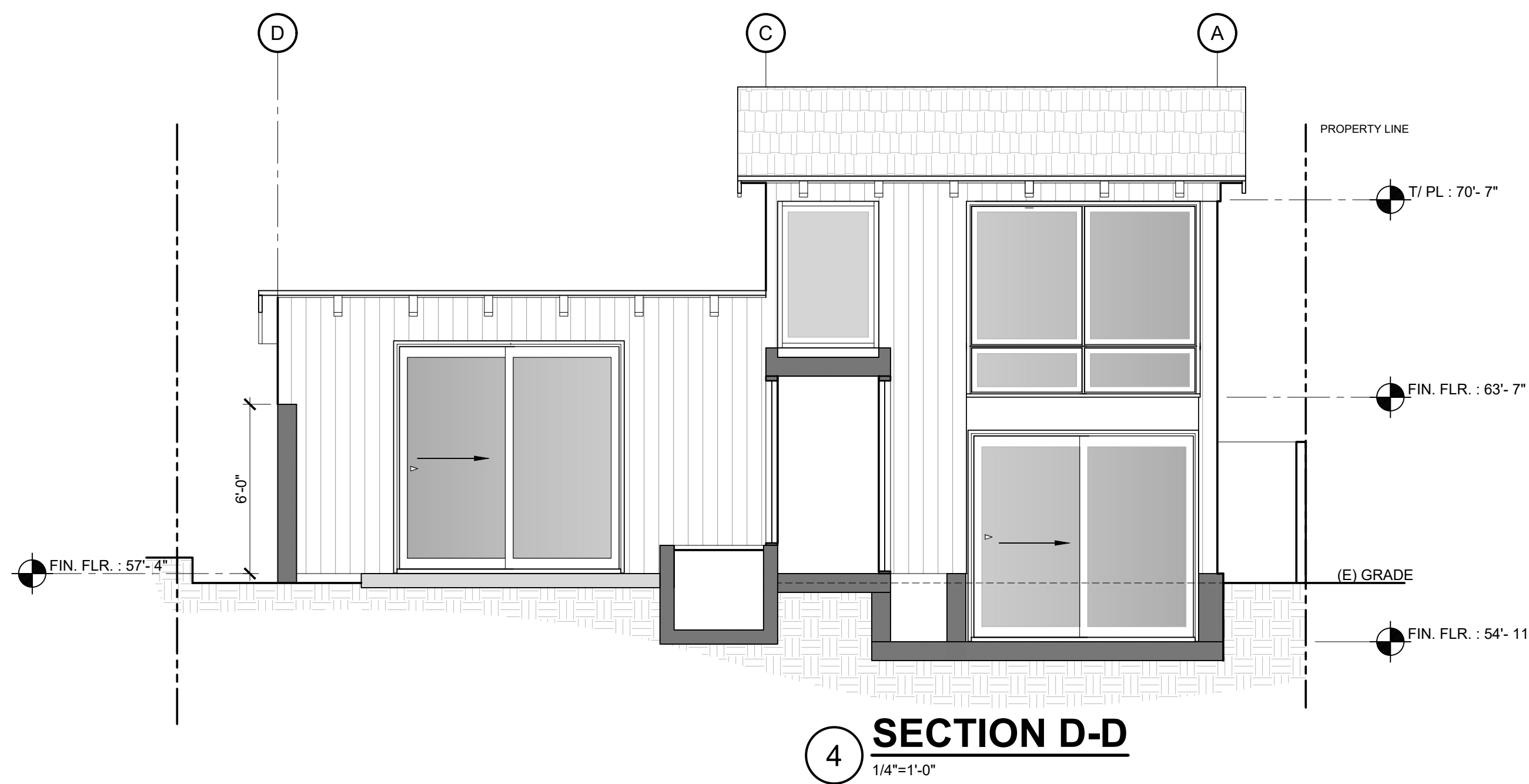
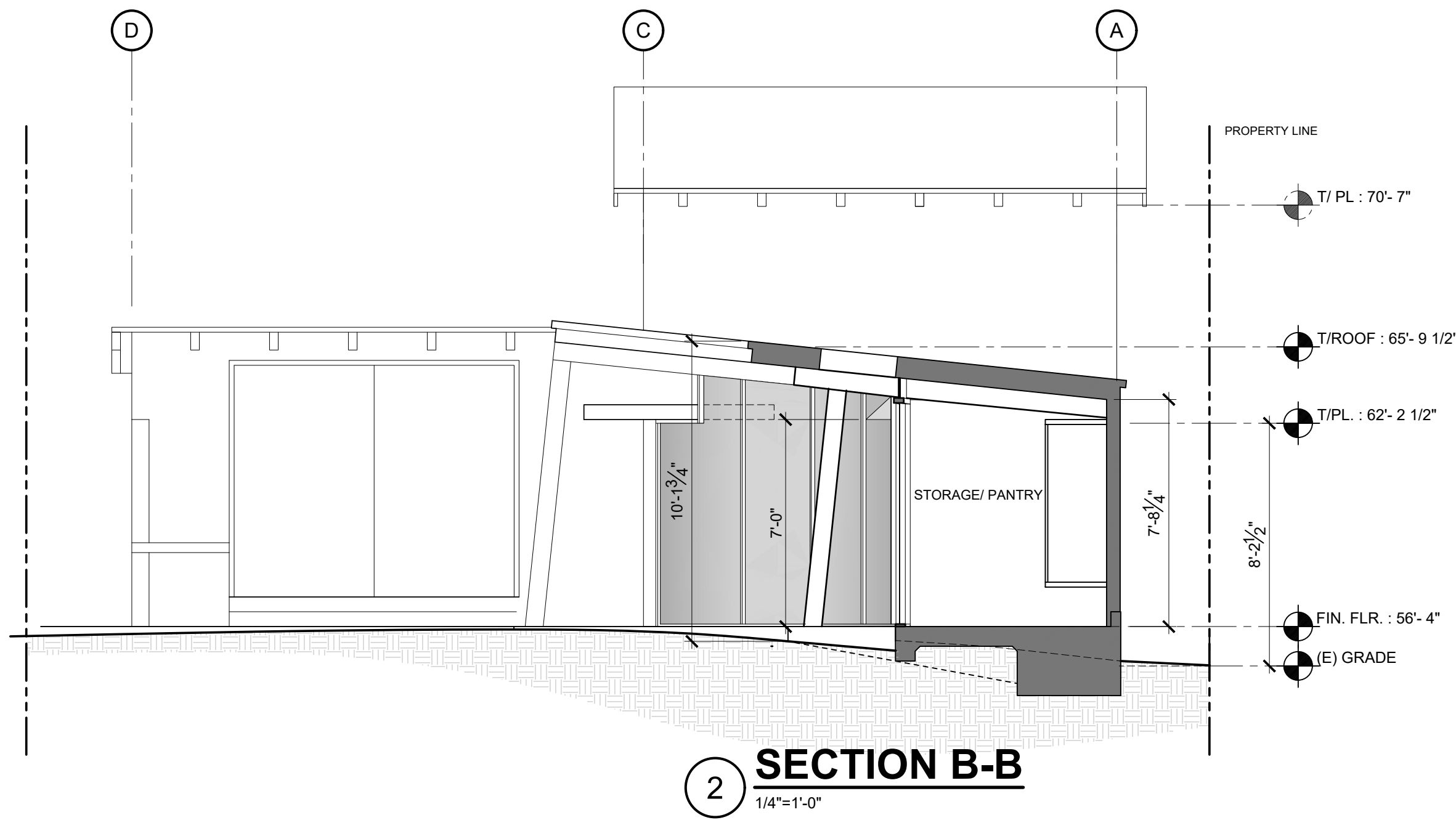
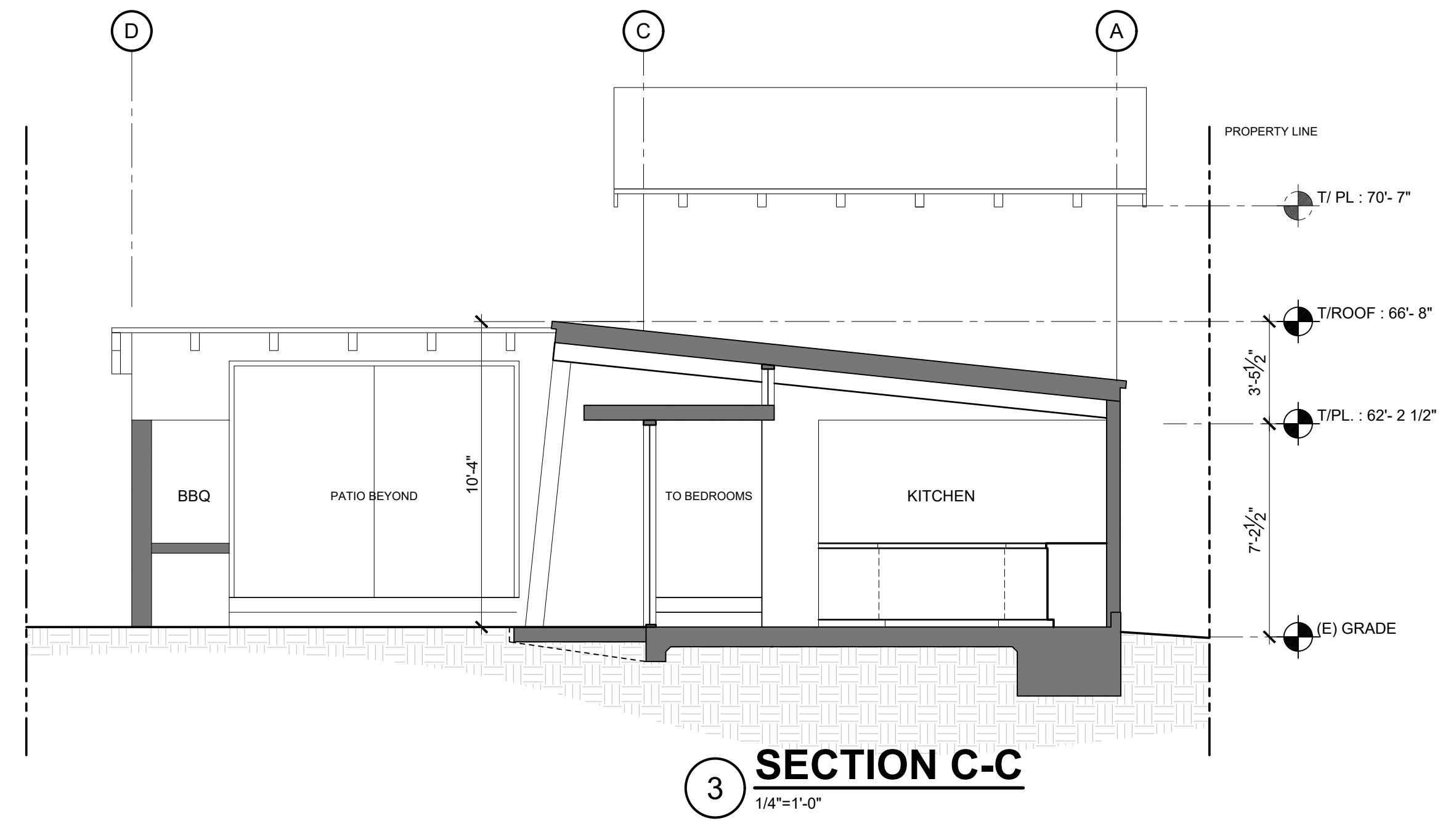
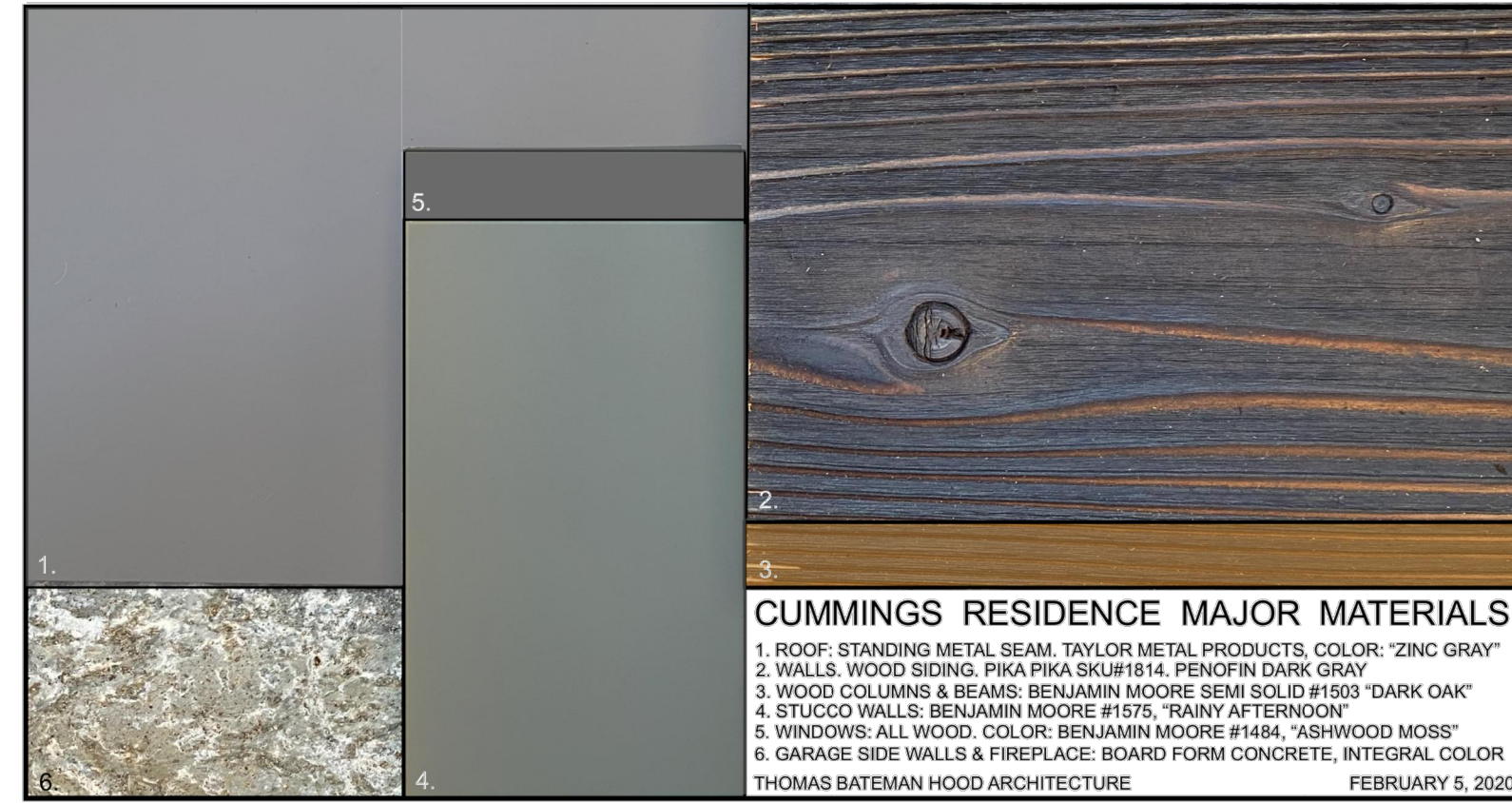
- 1 WOOD CEDAR SIDING
- 2 WOOD TIMBERS
- 3 TEXTURED CONCRETE
- 4 TEXTURED STUCCO
- 5 WOOD WINDOWS AND DOORS
- 6 STEEL STANDING SEAM ROOFING, 16" O.C.
- 7 GREEN ROOF
- 8 STAINLESS STEEL PLANT ARMATURE



2 SECTION E-E / WEST ELEVATION
 1/4"=1'-0"



1 SOUTH ELEVATION
 1/4"=1'-0"



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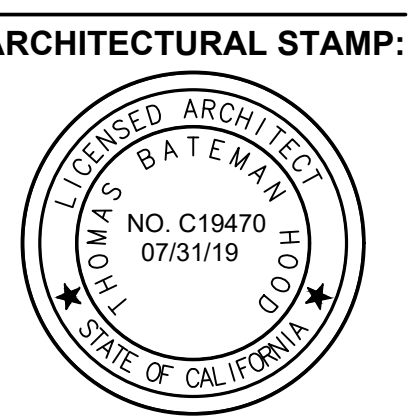
PROJECT:
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CARMEL, CA 93921
APN: 010-183-010

OWNER:
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1360 GARDEN DRIVE
MENLO PARK, CA, 94025

REVISIONS:

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CARMEL, CA
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PAGE TITLE:
PROPOSED SECTIONS

SCALE: 1/4" = 1'-0"
SHEET:

A3.3
OF SHEETS

DOOR NOTES:

HARDWARE NOTES:

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N.:

1. ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.
2. SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
3. THRESHOLD SHALL HAVE A MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
4. PROVIDE 4" X 4" BUTTS ON ALL DOORS.
5. ALL HARDWARE TO HAVE FINISH PER OWNER.

DOOR NOTES:

1. SEE EXTERIOR ELEVATIONS FOR DOOR OPERATION.
2. ALL DOOR GLAZING TO BE TEMPERED:
S.G. = STAIN GRADE
P.G. = PAINT GRADE
MFR. = MANUFACTURER
3. TEMPERED GL. - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING.
4. VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
5. PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESSES AS SHOWN.

EGRESS NOTES (CRC SEC. R311.2):

1. AT LEASE ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT.
2. EGRESS DOORS SHALL BE SIDE-HINGED AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES (831 MM) WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD).
3. THE MINIMUM CLEAR HEIGHT OF THE EGRESS DOOR OPENING SHALL NOT BE LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP.
4. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

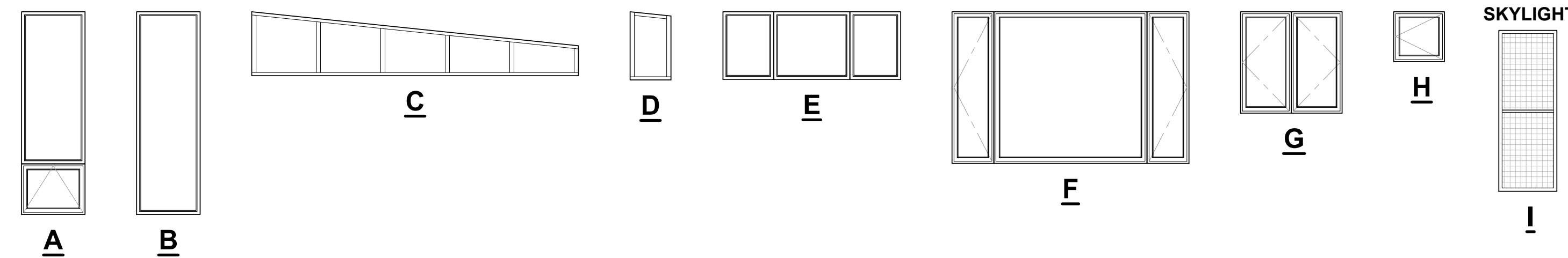
WINDOW NOTES:

1. ALL CASEMENT WINDOWS SHALL PIVOT TO FACILITATE CLEANING THE EXTERIOR FROM THE INTERIOR.
2. AT DOUBLE PANE WINDOWS WITH OBSCURE GLASS INTERIOR GLAZING CAN BE CLEAR TEMPERED WITH THE EXTERIOR BEING UN-TEMPERED OBSCURE.
3. SEE FLOOR PLANS FOR WINDOW LOCATIONS.
4. SEE EXTERIOR ELEVATIONS FOR WINDOW MUNTINS, MULLIONS, OPERATION, ETC.
5. ALL DIVIDERS TO BE TRU DIVIDERS.
6. WINDOW SIZES INDICATED ARE APPROXIMATE AND MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD DIMENSIONS.
7. ALL BEDROOMS SHALL HAVE AT LEAST ONE WINDOW THAT MEETS EMERGENCY EGRESS REQUIREMENTS, I.E.: A MINIMUM CLEAR OPENING OF 5.7 S.F., A NEW OPENING WIDTH OF 1'-8", A HEIGHT OF 2'-0" AND A MAXIMUM SILL HEIGHT OF 3'-8" ABOVE FINISH FLOOR.
8. SEE SPECIFICATIONS FOR TECHNICAL DATA, FINISHES, HARDWARE, WEATHERSTRIPPING, ETC.
9. WALL WIDTHS MAY VARY - VERIFY WALL DIMENSIONS PRIOR TO MANUFACTURING WINDOWS.

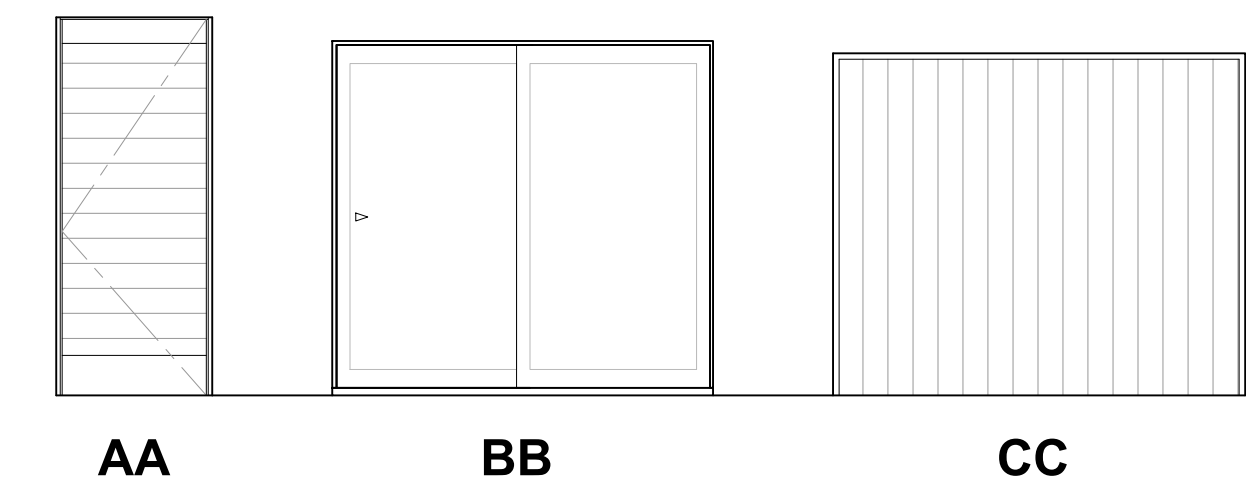
GLAZING NOTES:

1. VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
2. EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL. TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS, EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
3. ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E II", ARGON FILLED.
4. INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE AND SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCES. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS:
 - A. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.
 - B. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
 - C. GLAZING IN ALL UNFRAMED SWINGING DOORS.
 - D. GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE DRAIN OUTLET.
 - E. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - F. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING
5. VERIFY SWING HAND OF OPERABLE WINDOWS, SEE A3.1 & A3.2 BUILDING ELEVATIONS.
6. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
7. PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS AS SHOWN.

WINDOW STYLES:



DOOR STYLES:



WINDOW SCHEDULE

MARK	TYPE	SIZE		HEAD HEIGHT	ROUGH OPENING (W X H)	STYLE	FRAME	INT FINISH	GLASS TYPE	GRILLES	MFR. / MODEL #	REMARKS
		WIDTH	HEIGHT									
1	FIXED/AWN	2'-6"	8'-0"			B	WOOD	PAINT			LOEWEN	FIXED PANEL OVER 2'-0" TALL AWNING
2	FIXED	2'-6"	8'-0"			A	WOOD	PAINT			LOEWEN	
3	FIXED	2'-6"	8'-0"			A	WOOD	PAINT			LOEWEN	
4	FIXED	2'-6"	8'-0"			A	WOOD	PAINT			LOEWEN	
5	FIXED/AWN	2'-6"	8'-0"			B	WOOD	PAINT			LOEWEN	FIXED PANEL OVER 2'-0" TALL AWNING
6	FIXED	12'-6"	2'-6" M			C	WOOD	PAINT			LOEWEN	5 X 2'-6" WIDE TRAPEZOIDAL PANELS, 1.25/12 SLOPE, MAX HEIGHT NOTED
7	FIXED	2'-0"	8'-0"			A	WOOD	PAINT			LOEWEN	1 X TRAPEZOIDAL PANEL, 1.25/ 12 SLOPE, MAX HEIGHT NOTED
8	FIXED	2'-0"	2'-6"			A	WOOD	PAINT			LOEWEN	1.25/12 SLOPE, MAX HEIGHT NOTED
9	FIXED	1'-6"	2'-8" M			D	WOOD	PAINT			LOEWEN	
10	FIXED	7'-0"	2'-8"			E	WOOD	PAINT			LOEWEN	3 PANELS, 2' X 3' X 2' WIDE
11	FIXED	7'-0"	2'-8"			E	WOOD	PAINT			LOEWEN	3 PANELS, 2' X 3' X 2' WIDE
12	FIXED	2'-0"	8'-0"			A	WOOD	PAINT			LOEWEN	
13	FIXED	2'-0"	8'-0"			A	WOOD	PAINT			LOEWEN	
14	FIXED	4'-0"	2'-0"			A	WOOD	PAINT			LOEWEN	
15	FIXED	3'-0"	2'-8" M			D	WOOD	PAINT			LOEWEN	1 X TRAPEZOIDAL PANEL, 1.25/ 12 SLOPE, MAX HEIGHT NOTED
16	FIXED	3'-8"	6'-0"			A	WOOD	PAINT			LOEWEN	
17	FIXED	3'-8"	8'-6" M			D	WOOD	PAINT			LOEWEN	1 X TRAPEZOIDAL PANEL, SLOPE VIF, MAX HEIGHT NOTED
18	FIXED	3'-8"	8'-3" M			D	WOOD	PAINT			LOEWEN	2 X TRAPEZOIDAL PANEL, SLOPE VIF, MAX HEIGHT NOTED
19	FIXED	3'-8"	8'-0" M			D	WOOD	PAINT			LOEWEN	3 X TRAPEZOIDAL PANEL, SLOPE VIF, MAX HEIGHT NOTED
20	FIXED	3'-8"	8'-0" M			D	WOOD	PAINT			LOEWEN	4 X TRAPEZOIDAL PANEL, SLOPE VIF, MAX HEIGHT NOTED
21	FIXED	3'-8"	8'-3" M			D	WOOD	PAINT			LOEWEN	5 X TRAPEZOIDAL PANEL, SLOPE VIF, MAX HEIGHT NOTED
22	FIXED	3'-8"	8'-6" M			D	WOOD	PAINT			LOEWEN	6 X TRAPEZOIDAL PANEL, SLOPE VIF, MAX HEIGHT NOTED
23	FIXED	3'-8"	8'-10" M			D	WOOD	PAINT			LOEWEN	7 X TRAPEZOIDAL PANEL, SLOPE VIF, MAX HEIGHT NOTED
24	FIXED	3'-8"	9'-2" M			D	WOOD	PAINT			LOEWEN	8 X TRAPEZOIDAL PANEL, SLOPE VIF, MAX HEIGHT NOTED
25	FIXED	2'-6"	7'-0"			A	WOOD	PAINT			LOEWEN	9 X TRAPEZOIDAL PANEL, SLOPE VIF, MAX HEIGHT NOTED
26	FIXED	3'-4"	1'-6" M			A	WOOD	PAINT			LOEWEN	10 X TRAPEZOIDAL PANEL, SLOPE VIF, MAX HEIGHT NOTED
27	FIXED	3'-0"	1'-0"			A	WOOD	PAINT			LOEWEN	11 X TRAPEZOIDAL PANEL, SLOPE VIF, MAX HEIGHT NOTED
28	FIXED/CASE	9'-4"	6'-0"			F	WOOD	PAINT			LOEWEN	6'-0" WIDE PICTURE WINDOW W/ CASEMENTS EITHER SIDE
29	FIXED/CASE	9'-4"	7'-0"			F	WOOD	PAINT			LOEWEN	6'-0" WIDE PICTURE WINDOW W/ CASEMENTS EITHER SIDE
30	FIXED	2'-0"	1'-2"			A	WOOD	PAINT			LOEWEN	

EXISTING BUILDING

31	FIXED	3'-0"	5'-0"			A	WOOD	PAINT			LOEWEN	
32	DBL CASE	4'-0"	3'-6"			G	WOOD	PAINT			LOEWEN	REPLACE EXISTING
33	DBL CASE	4'-0"	2'-0"			G	WOOD	PAINT			LOEWEN	REPLACE EXISTING
34	DBL CASE	4'-0"	2'-0"			G	WOOD	PAINT			LOEWEN	REPLACE EXISTING
35	DBL CASE	4'-0"	2'-0"			G	WOOD	PAINT			LOEWEN	REPLACE EXISTING
36	FIXED	3'-0"	7'-0"			A	WOOD	PAINT			LOEWEN	
37	CASE	2'-0"	2'-0"			H	WOOD	PAINT			LOEWEN	REPLACE EXISTING
38	DBL CASE	3'-0"	3'-0"			G	WOOD	PAINT			LOEWEN	REPLACE EXISTING
39	FIXED	3'-6"	5'-0"			A	WOOD	PAINT			LOEWEN	
40	FIXED/AWN	4'-0"	7'-0"			B	WOOD	PAINT			LOEWEN	
41	FIXED/AWN	4'-0"	7'-0"			B	WOOD	PAINT			LOEWEN	

GARAGE

42	FIXED	2'-8"	3'-0"			A	WOOD	PAINT			LOEWEN	
43	FIXED	6'-0"	3'-0"			A	WOOD	PAINT			LOEWEN	

SKYLIGHT

44	FIXED	6'-0"	2'-0"			I	WOOD	PAINT	OPAQUE			
45	FIXED	6'-0"	2'-0"			I	WOOD	PAINT	OPAQUE			
46	FIXED					A	WOOD	PAINT	TEMPERED			

EXTERIOR DOOR SCHEDULE

MARK	TYPE	SIZE		HEAD HEIGHT	ROUGH OPENING (W X H)	STYLE	FRAME	INT FINISH	GLASS TYPE	HDWR	MFR. / MODEL #	REMARKS
		WIDTH	HEIGHT									
A	IN SWING	3'-0"	8'-0"			AA	WOOD	PAINT			WOOD	3 PANEL, 1 SLIDING, TEMPERED GLAZING
B	OUT SWING	3'-0"	7'-0"			AA	WOOD	PAINT			WOOD	TEMPERED GLAZING
C	SLIDER	8'-0"	7'-0"			BB	WOOD	PAINT	TEMPERED		WOOD	2 PANEL, 1 SLIDING, TEMPERED GLAZING
D	SLIDER	8'-0"	8'-0"			BB	WOOD	PAINT	TEMPERED		WOOD	TEMPERED GLAZING
E	OUT SWING	3'-0"	7'-0"			AA	WOOD	PAINT			WOOD	3 PANEL, 1 SLIDING, TEMPERED GLAZING
F	ROLL-UP	8'-6"	7'-0"			CC	WOOD	PAINT			WOOD	CUSTOM ROLL-UP SECTIONAL AT CARPORT

THOMAS BATEMAN ARCHITECTURE

HOOD

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PROJECT:
ALTERATIONS & ADDITION TO THE CUMMINGS RESIDENCE
MONTE VERDE ST.
3 SE OF 11TH CARMEL, CA 93921
APN: 010-183-010

OWNER:

ELAINE & BURT CUMMINGS
1360 GARDEN DRIVE
MENLO PARK, CA, 94025

REVISIONS:

- ▲
- ▲
- ▲
- ▲
- ▲

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The drawings, specifications and other documents prepared by the architect for this project are instrumentals of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by the owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

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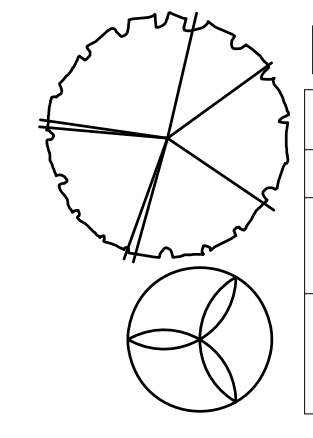
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PRINT DATE: **02-12-20**
DRAWING DATE: **02-12-20**

PAGE TITLE:
DOOR & WINDOW SCHEDULES
SCALE: 1/4" = 1'-0"

SHEET:
A6.1
OF SHEETS

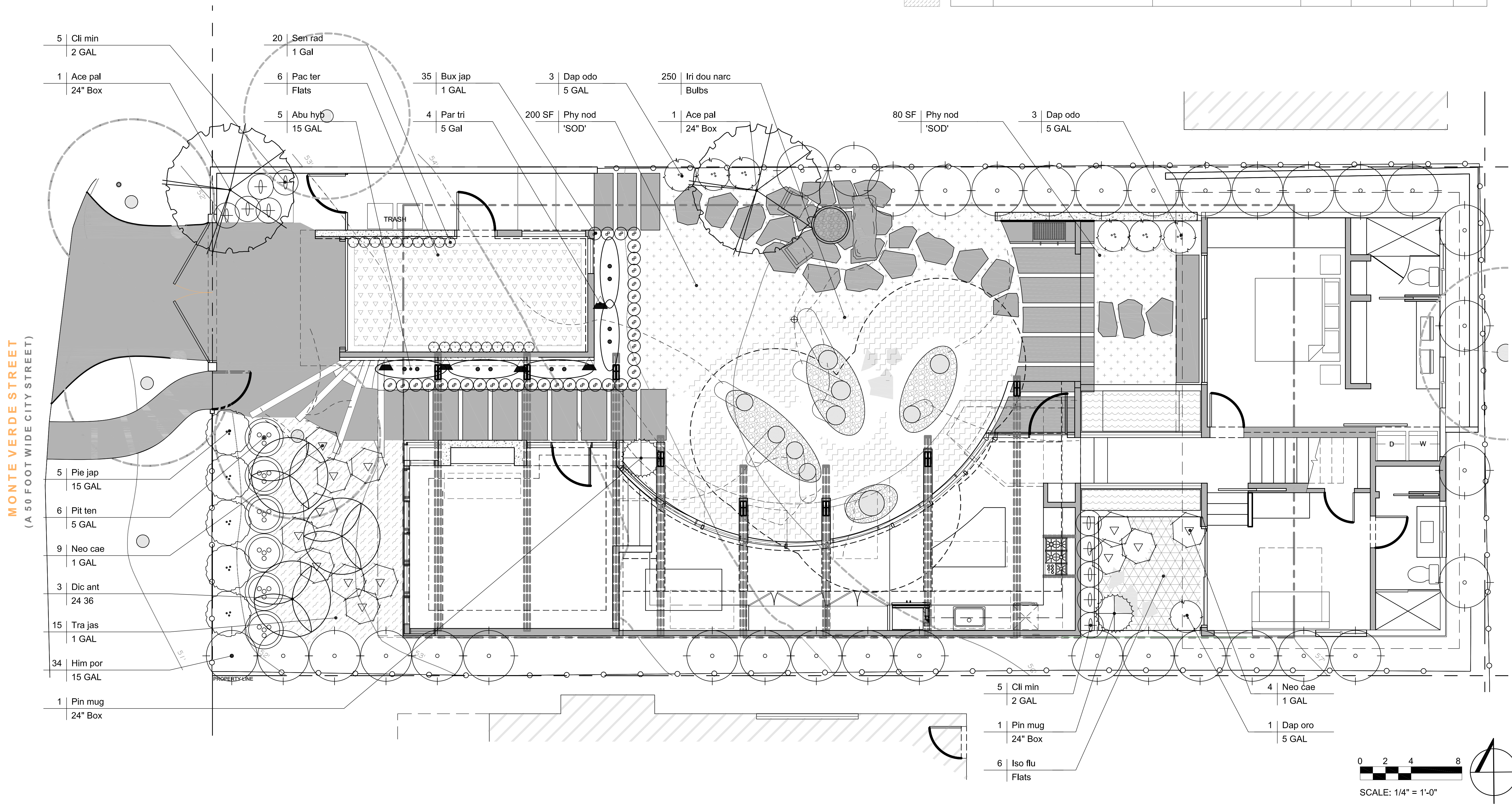
BULBS & GROUNDCOVERS							
	Iri dou	Iris douglasiana/Narcissus papyraceus	Douglas Iris/Paper Whites	Bulbs	50/50 Clump throughout	Low	250
	Iso flu	Isotoma Fluviatilis	Blue Star Creeper	Flat	@10" O.C.	Med	6
	Phy nod	Phyla nodiflora	Kurapia	'SOD'	280 SF	Low	280 SF
	Pac ter	Pachysandra terminalis 'Green Sheen'	Green Sheen Japanese Spurge	Flat	@18" O.C.	Med.	6
	Par tri	Parthenocissus tricuspidata 'Veitchii'	Boston Ivy	5 Gal		Low	4
	Sen rad	Senecio radicans 'Fish Hooks'	Fish Hooks Senecio	1 Gal		Low	20

PLANT LIST



KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	WUCOLS	QTY
TREES						
	Ace pal	Acer palmatum 'Osakazuki'	Osakazuki Japanese Maple	24" Box	Med.	2
	Dic ant	Dicksonia antarctica	Tasmanian Tree Fern	(2) 24" & (1) 36" Box	High	3

SHRUBS						
	Abu hyb	Abutilon x hybridum 'Albus'	White Flowering Maple	1 Gal	Med.	35
	Bux jap	Buxus japonica 'Winter Gem'	Winter Gem Boxwood	1 Gal	Med.	35
	Cli min	Clivia miniata 'Belgian Hybrid Yellow'	Belgian Hybrid Yellow Bush Lily	2 Gal	Med.	10
	Dap odo	Daphne odora 'Aureo-marginata'	Variiegated Winter Daphne	5 Gal	Low	7
	Him por	Himalayacalamus porcatus	'Nepalese Blue' Clumping Bamboo	15 Gal	Med.	34
	Neo cae	Neomarica caerulea	Walking Iris	1 Gal	Low	13
	Pie jap	Pieris japonica 'Variegata'	Variiegated Japanese Lily of the Valley	15 Gal	Med.	5
	Pin mug	Pinus mugo var. pumilio	Dwarf Mugo Pine	24" Box	Low	2
	Pit ten	Pittosporum tenuifolium 'Golf Ball'	Golf Ball Kohuhu	5 Gal	Med.	6
	Tra jas	Trachelospermum jasminoides	Star Jasmine	1 Gal @36" O.C.	Med.	15



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Revisions:

Date:	Sheets:

Project Title:
CUMMINGS RESIDENCE

Project Address:
Monte Verde St. - 3SE of 11th
CARMEL, CA 93921

Sheet Title:
PLANTING PLAN

Issued
Drawn: EA/SS
Project No: 19011
Scale: 1/4" = 1'-0"
Date: 02-04-2020
Sheet No:

L 1.0

Site Information							
Site Name →		Cummings Residence					
Site Type →		Residential		Allowed ETAF:		0.55	
Annual Eto (inches/yr) →		36					
Hydrozone or Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Hydrozone Area (sqft.)	ETAF x Area	Estimated Total Water Use (gal./yr.)
Regular Landscape Areas							
1	0.4	Mod./Ave.	Drip	0.81	0.5	874	432
2	0.4	Mod./Ave.	Overhead Spray	0.81	0.5	286	141
SUBTOTAL →						1,160	573
Special Landscape Areas							
3					1	0	0
SUBTOTAL →						0	0
Estimated Total Water Use (ETWU) →							12,786
Maximum Allowed Water Allowance (MAWA) →							14,240

ETAF Calculations	
Regular Landscape Areas	
Total ETAF x Area	573
Total Area	1,160
Average ETAF	0.49
All Landscape Areas	
Total ETAF x Area	573
Total Area	1,160
Site-wide ETAF	0.49

THE DESIGN IS DIAGRAMMATIC. * DRIP IRRIGATION TO START AT MINIMUM 6 FEET FROM ALL EXISTING TREES. ALL PIPING, VALVES, ETC. SHOWN WITHIN THE PAVED AREAS OR BUILDINGS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID CONFLICTS WITH PLANTING, PIPING, UTILITIES AND ARCHITECTURE WHERE POSSIBLE.

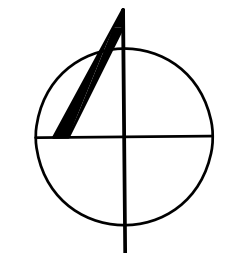
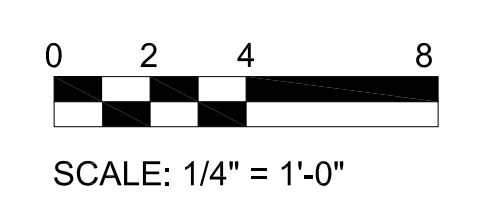
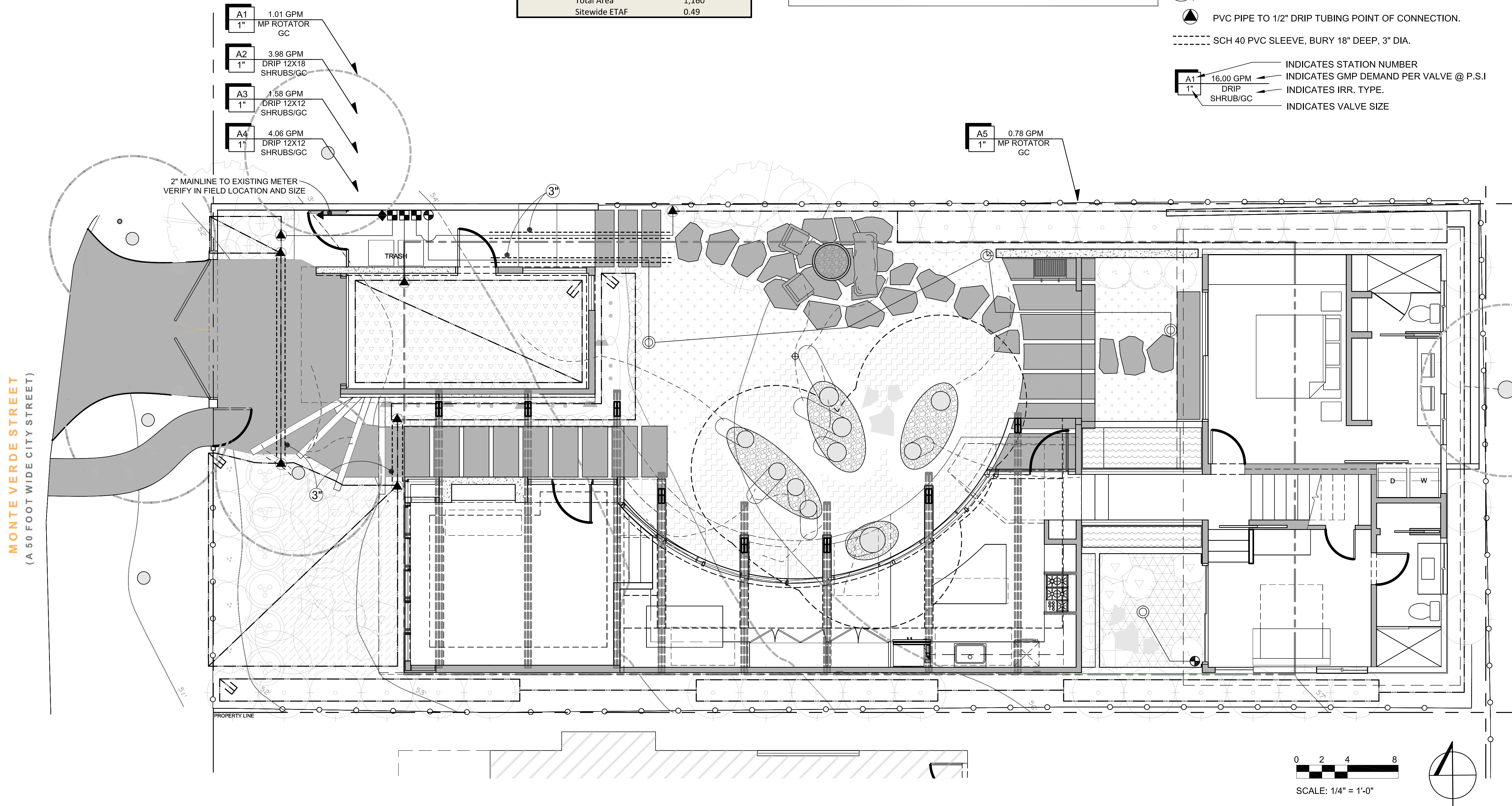
MODIFY AND ADJUST EXISTING IRRIGATION SYSTEM WHERE POSSIBLE. USE EXISTING IRRIGATION CONTROLLER SO LONG AS THERE ARE ENOUGH STATIONS TO ALLOW FOR ANY/ALL NEW VALVES. CONTRACTOR TO BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO LOCATE POINT OF CONNECTION TO EXISTING IRRIGATION SYSTEM. EXISTING BACKFLOW AND WATER METER TO BE VERIFIED IN FIELD BY LANDSCAPE CONTRACTOR THE SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL CODES, ORDINANCES AND LOCAL WELO REQUIREMENTS.

PROPOSED SYSTEM IS BASED UPON A STATIC MAINLINE PRESSURE OF 55 P.S.I. AND PRESSURE REDUCER MAY (MAY NOT) BE REQUIRED SO THAT THE STATIC MAINLINE PRESSURE AS MEASURED AT THE POINT OF CONNECTION (AFTER THE BACKFLOW DEVICE) IS 90 P.S.I. AFTER CALCULATING PRESSURE LOSSES, THEY SYSTEM IS DESIGNED TO OPERATE AT APPROXIMATELY 40 P.S.I. WORKING PRESSURE AT THE HEADS. THROUGH ANY ONE VALVE, THEY SYSTEM IS DESIGNED TO OPERATE AT A MAXIMUM OF 18 GPM ON 1 1/2" METER AND 13 GPM ON A 1" METER AND NO MORE THAN 2 VALVES SHALL BE RUN AT THE SAME TIME.

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

IRRIGATION LEGEND

- 1" - HUNTER #PCZ-101-40 VALVE WITH 3/4" HY 100 FILTER (OR EQUAL) AND PRESET 40 PSI PRESSURE REGULATOR, MODEL #PCZ-10
 - ⊙ 1" - HUNTER PGV -101-ASV-AS-ADJ SERIES REMOTE CONTROL VALVE. (OR EQUAL)
 - CLASS 200 PVC LATERAL, BURY 12" DEEP, SIZE PER PLAN.
 - ◆ HUNTER 3/4" QUICK COUPLER VALVE W/ YELLOW RUBBER COVER, MODEL #HQ-44 (OR EQ.)
 - ⊕ HUNTER 800SR-180 6" POP-UP MP ROTATOR HEADS 0.33 GPM @ 30 P.S.I.
 - ⊕ HUNTER 800SR-210 6" POP-UP MP ROTATOR HEADS 0.35 GPM @ 30 P.S.I.
 - ⊕ HUNTER MP800SR-360 6" POP-UP MP ROTATOR HEADS 0.78 GPM @ 40 P.S.I.
 - ~ HUNTER PLD POLYETHYLENE 1/2" DRIP TUBING W/ 1/4" TUBES TO PLANTS. EMITTERS PER DETAIL. INSTALL FLUSHING MECHANISM AT END OF LINE. NOTE: INSTALL CLASS 200 PVC LATERAL FROM DRIP VALVE TO BLACK POLYETHYLENE TUBING W/ CONNECTOR/COMPRESSION COUPLING.
 - ⌘ THREADED CAP DRIP FLUSHING ASSEMBLY
 - ▲ PVC PIPE TO 1/2" DRIP TUBING POINT OF CONNECTION.
 - SCH 40 PVC SLEEVE, BURY 18" DEEP, 3" DIA.
- A1 16.00 GPM DRIP SHRUB/GC INDICATES STATION NUMBER
 1" DRIP SHRUB/GC INDICATES GMP DEMAND PER VALVE @ P.S.I.
 1" INDICATES IRR. TYPE.
 INDICATES VALVE SIZE



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IRRIGATION PLAN

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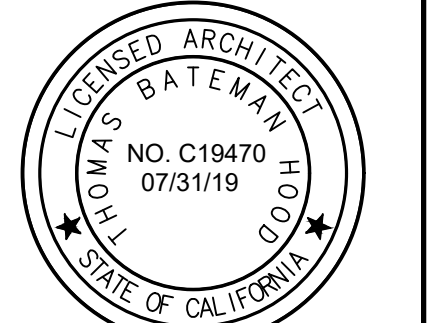
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 MENLO PARK, CA, 94025

REVISIONS:

▲	
▲	
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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
 CARMEL, CA

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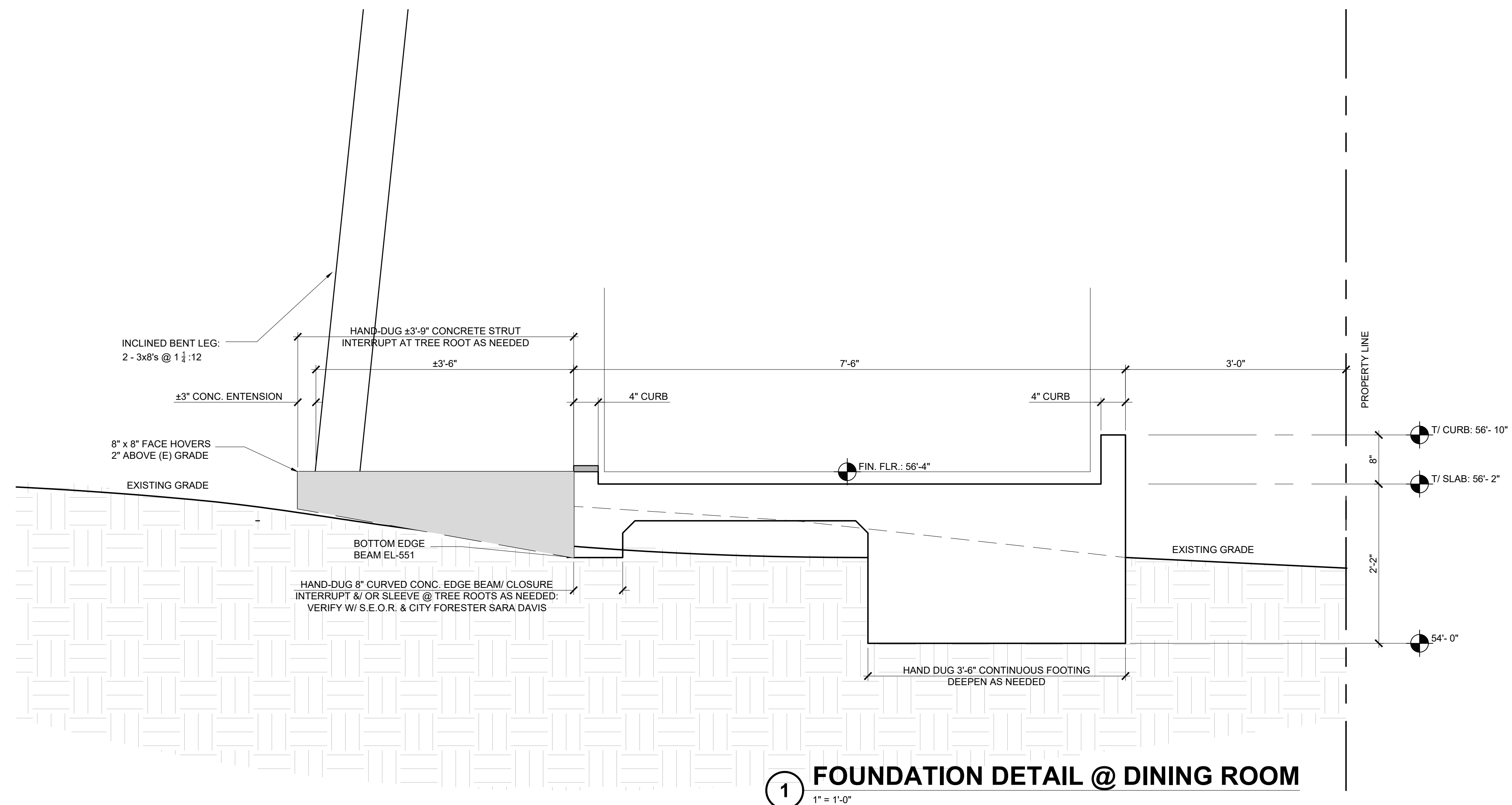
**FOUNDATION
 DETAIL**

SCALE: 1" = 1'-0"

SHEET:

SK-1

OF SHEETS



1 FOUNDATION DETAIL @ DINING ROOM
 1" = 1'-0"