

SITE PLAN

1/8"=1'-0"

LIGHTING LEGEND

- A WALL MOUNTED DOWNLIGHT
 - B RECESSED DOWNLIT STEP LIGHT +18" AFG
- NOTE: 25 WATTS MAX.

PLANNING INFO.

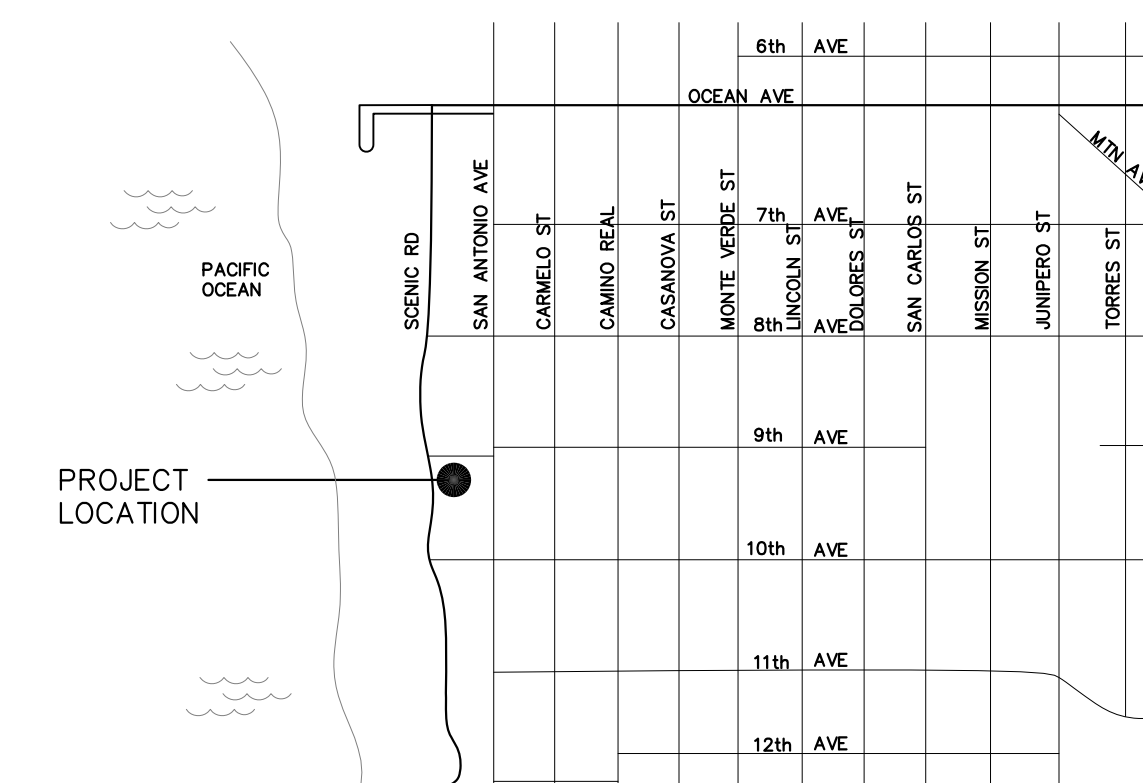
- PROPERTY OWNER: ESPERANZA CARMEL, LLC
C/O JONATHAN M FELDMAN ESQ
MAGASINN & FELDMAN
4640 ADMIRALTY WAY, SUITE 402
MARINA DEL REY, CA 90292
- PROJECT ADDRESS: SCENIC ROAD 3 SE OF 9TH AVENUE,
CARMEL-BY-THE-SEA, CA
- PROJECT SCOPE: REPLACE ONE EXISTING TWO-STORY 1,802 SF SINGLE FAMILY
RESIDENCE WITH A NEW TWO-STORY 2,263 SF SINGLE FAMILY
RESIDENCE.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. / LEGAL DESC.: 010-302-011 / LOT 6 BLOCK A2
- ZONE: R-1 / PARK OVERLAY
- STORIES: 2
- MAX BLDG. HT: 18 FT
- GRADING: X CY [TBD]
- TREE REMOVAL: 4
- TOPOGRAPHY: LOW SLOPE
- PROJECT CODE COMPLIANCE: 2016 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE,
CALIFORNIA GREEN BUILDING CODE & 2016 CALIFORNIA ENERGY CODE
- LOT AREA: LOT 6 4,000 SF (0.09 Ac.)
- MAX. FLOOR AREA ALLOWED: BASE FLOOR AREA + BONUS FLOOR AREA
- BASE FLOOR AREA ALLOWED: 4,000 SF LOT [45% X BUILDING SITE] = 1,800 SF
- TOTAL FLOOR AREA ALLOWED = BFA + BASEMENT BONUSES
BASEMENT BONUS #1 [INCENTIVE] 100 SF
BASEMENT BONUS #2 [17.10-D]* 600 SF
TOTAL BASEMENT BONUSES 700 SF
TOTAL FLOOR AREA ALLOWED = 1800 + 700 = 2,500 SF

*BONUS #2 IS REQUIRED IN THE BASEMENT
- MIN. PARKING AREA REQUIRED: 200 SF
- PARKING AREA PROVIDED: 210 SF
- SITE COVERAGE ALLOWED: 22% X BFA PLUS 4% OF SITE AREA IF 50% OF COVERAGE IS
SEMI-PERMEABLE
22% X BFA = 22% X 1,800 = 396 SF
+4% X SITE = 4% X 4,000 = 160 SF
TOTAL SITE COV. ALLOWED 556 SF
SEMI-PERMEABLE: 50% X 556 = 278 SF
- SITE COVERAGE CALCULATIONS:

	ALLOWED
HARDSCAPE	278 SF
SEMI-PERMEABLE	278 SF
TOTAL	556 SF
- SITE COVERAGE ALLOWED: 556 SF
- SITE COVERAGE PROPOSED: 556 SF
- F.A.R. CALCULATIONS

MAIN FLOOR	1,359 SF	BASEMENT = 910 SF
LOWER FLOOR	710 SF	
GARAGE PARKING	200 SF	
TOTAL F.A.R.	2,269 SF	
- F.A.R. ALLOWED: 2,500 SF
- F.A.R. PROPOSED: 2,269 SF

VICINITY MAP



JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

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STAMPS:

PROJECT/CLIENT:

ESPERANZA
CARMEL, LLC

PROJECT ADDRESS:

CARMEL-
BY-THE-SEA
SCENIC ROAD
3 SE 9TH

APN: 010-302-011

Received

Feb 25 2020

City of Carmel
Community Planning & Building

DATE: FEBRUARY 25, 2020

PLANNING SUBMITTAL

REVISIONS:

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12	

SITE PLAN

SHEET NO.

A1.0

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PLANNING SUBMITTAL

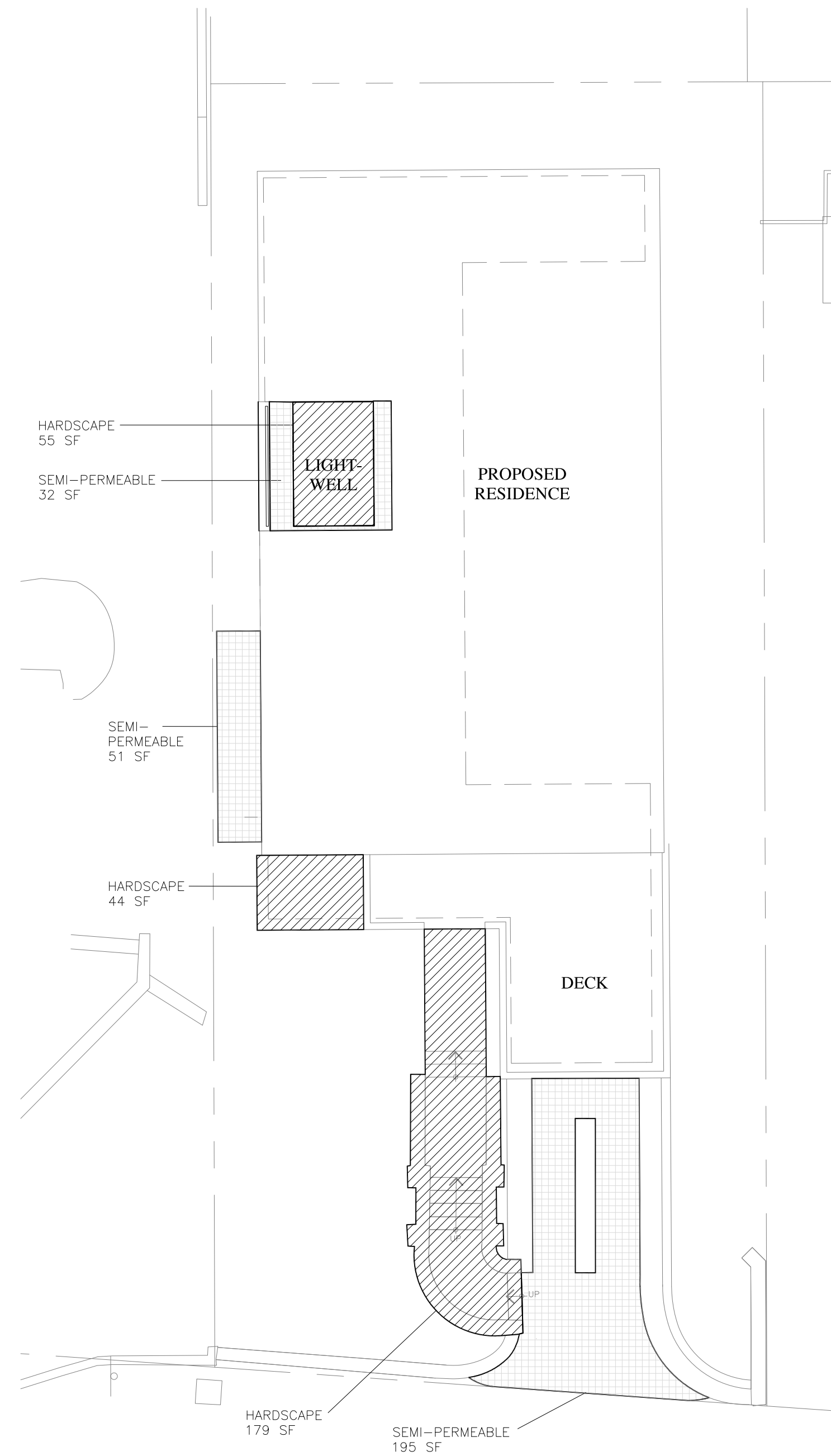
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**AREA
WORKSHEET**

SHEET NO.

A1.1

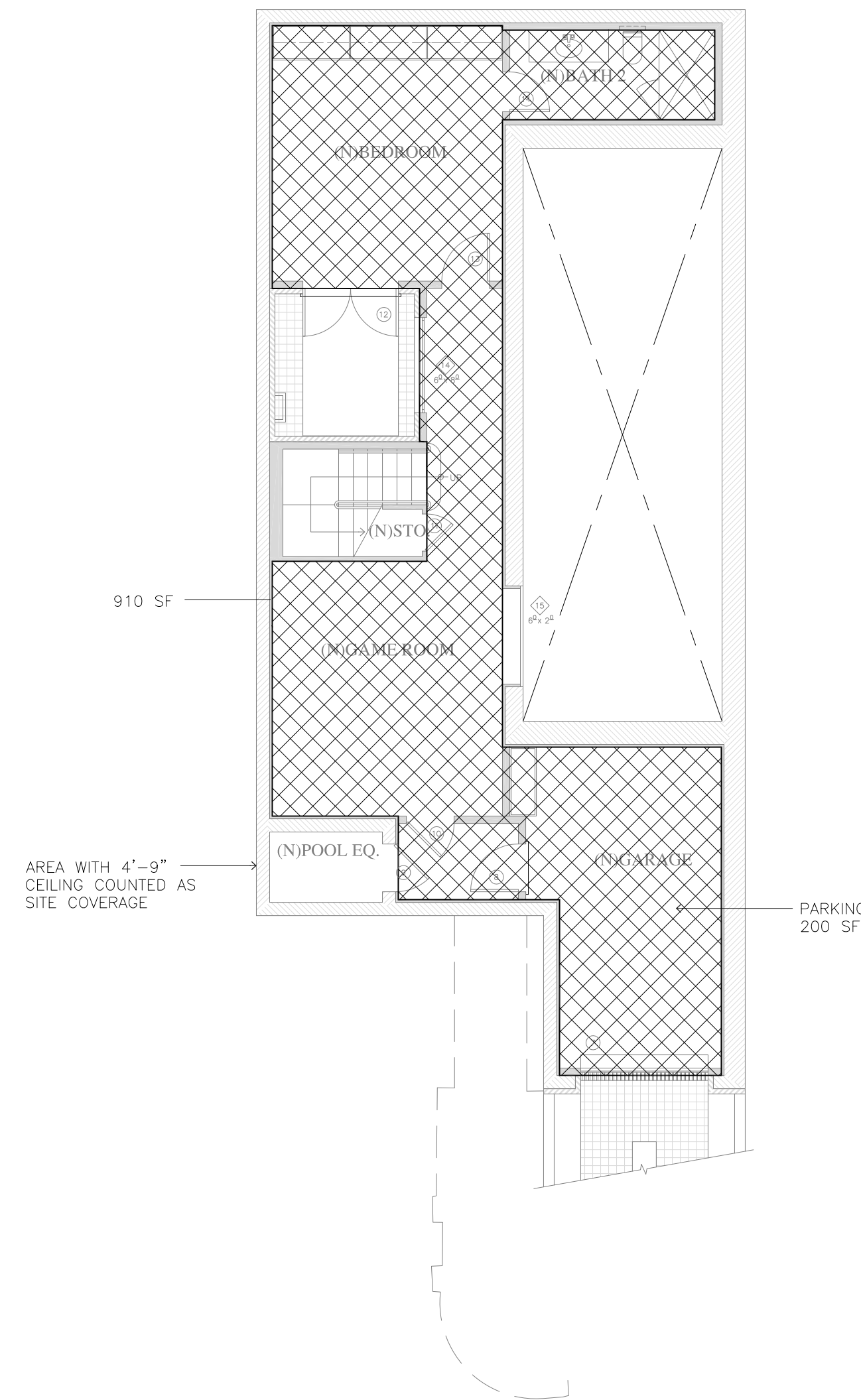


SITE PLAN

SITE COVERAGE

1/8"=1'-0"

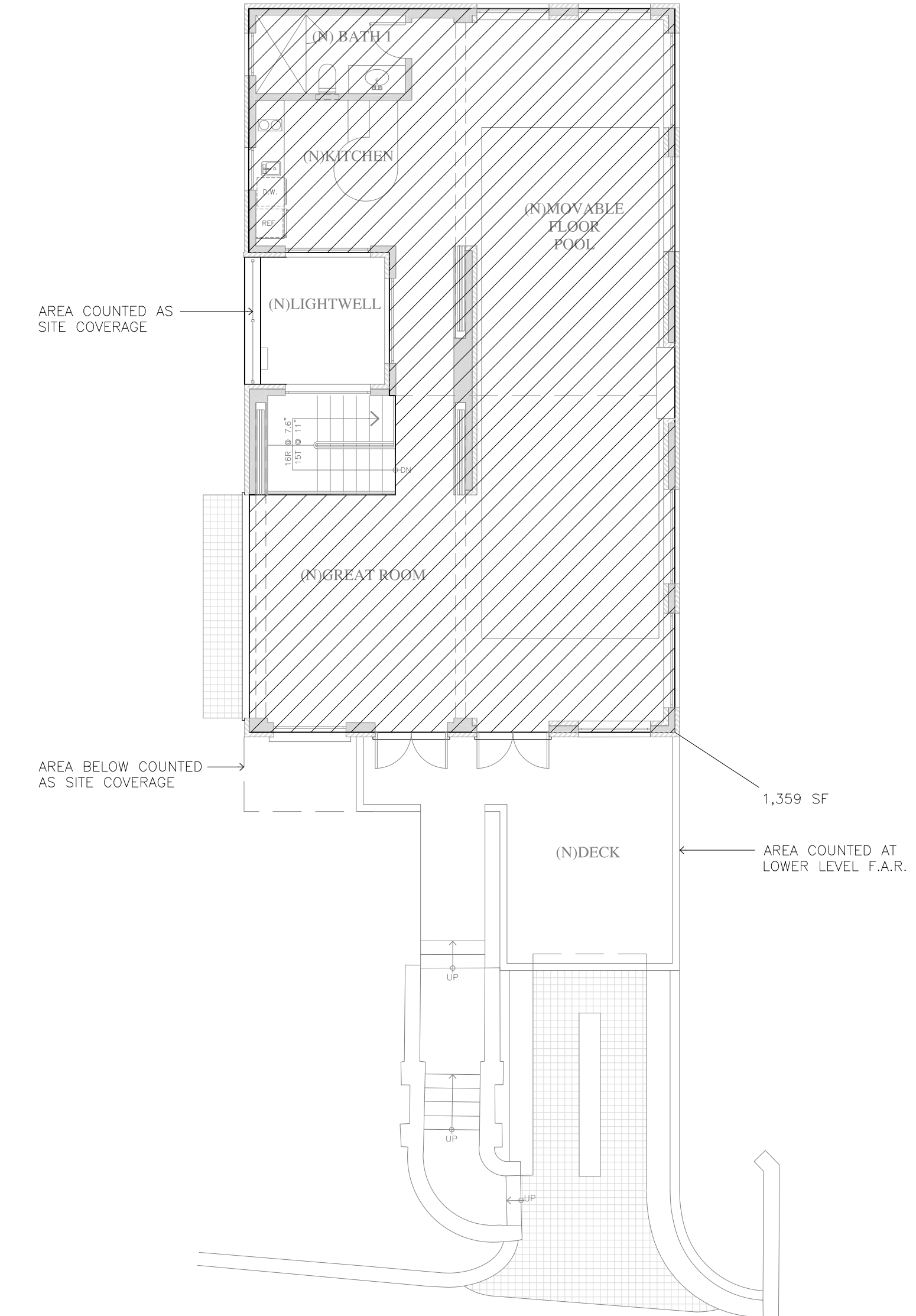
HARDSCAPE	278 SF
SEMI/PERMEABLE	278 SF
TOTAL	556 SF



LOWER LEVEL

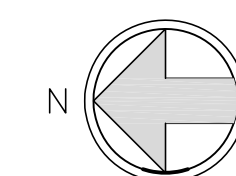
FLOOR AREA RATIO

MAIN FLOOR	1,359 SF	} BASEMENT = 910 SF
LOWER FLOOR	710 SF	
GARAGE PARKING	200 SF	
TOTAL F.A.R.	2,269 SF	



MAIN LEVEL

1/8"=1'-0"



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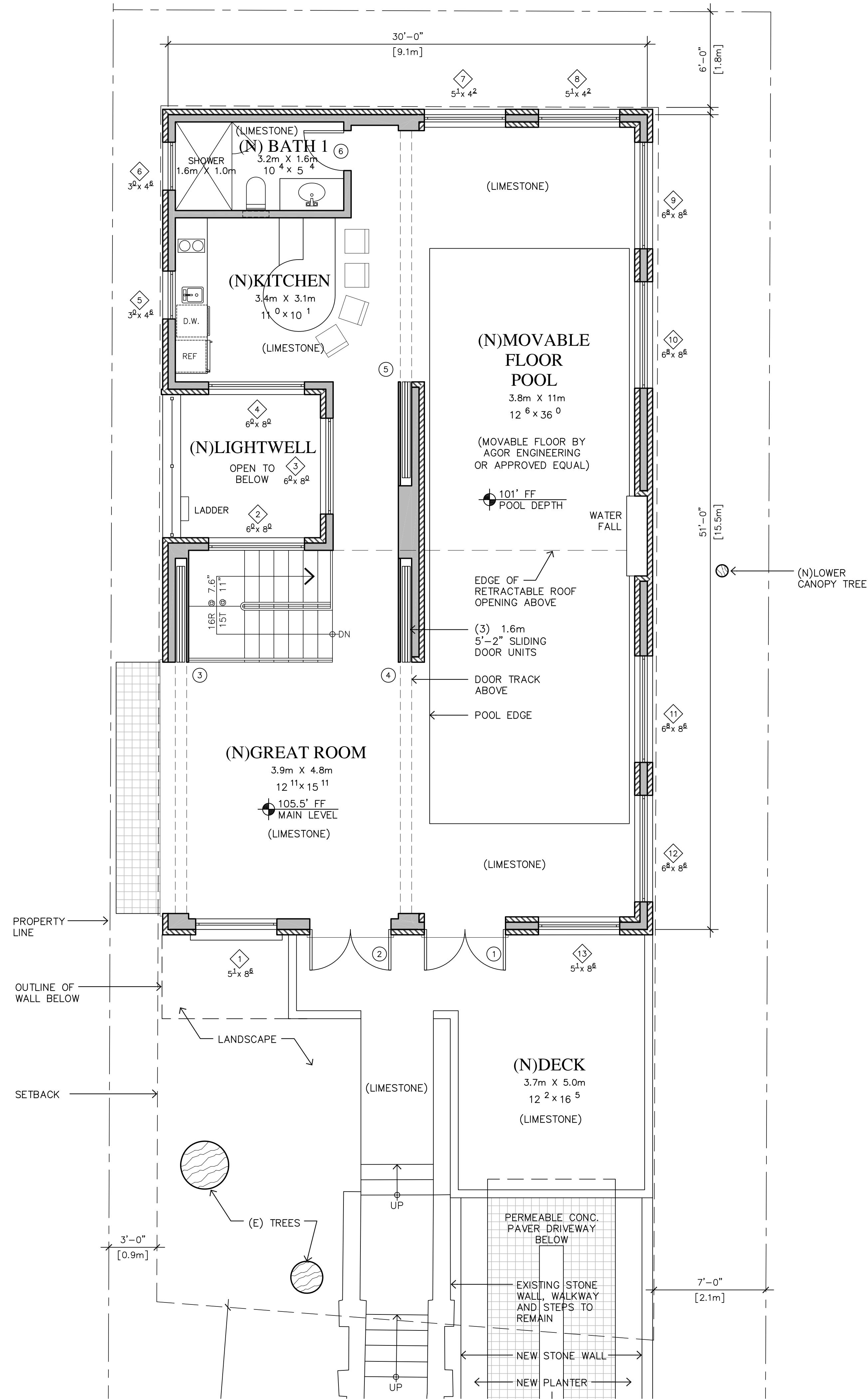
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MAIN LEVEL

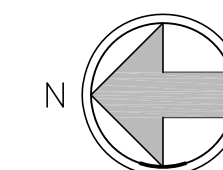
SHEET NO.

A2.0



MAIN LEVEL PLAN

1/4" = 1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- STONE VENEER

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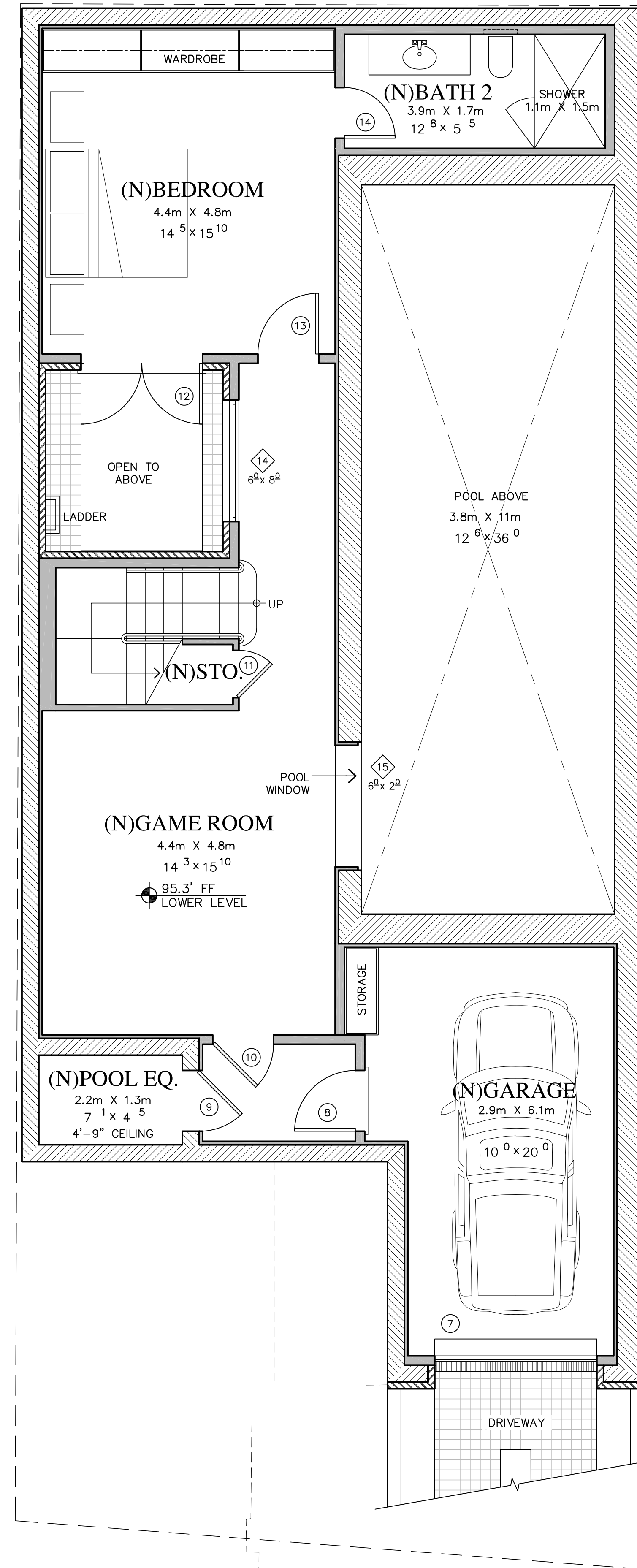
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LOWER LEVEL
PLAN - OPTION

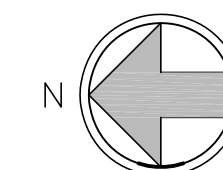
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A3.0



LOWER LEVEL PLAN

1/4" = 1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- STONE VENEER
- CMU WALL - SEE STRUCTURAL DWG'S

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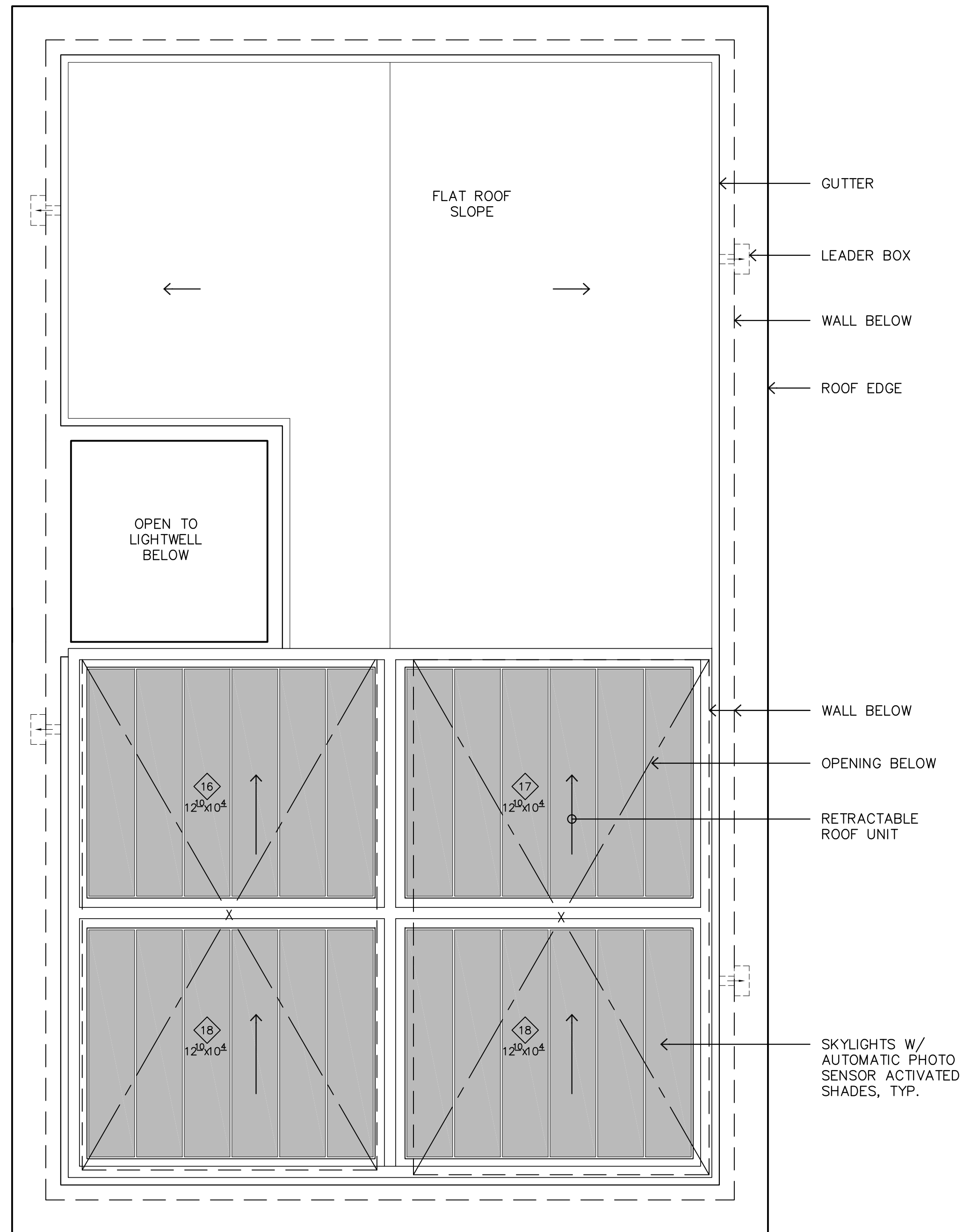
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ROOF PLAN

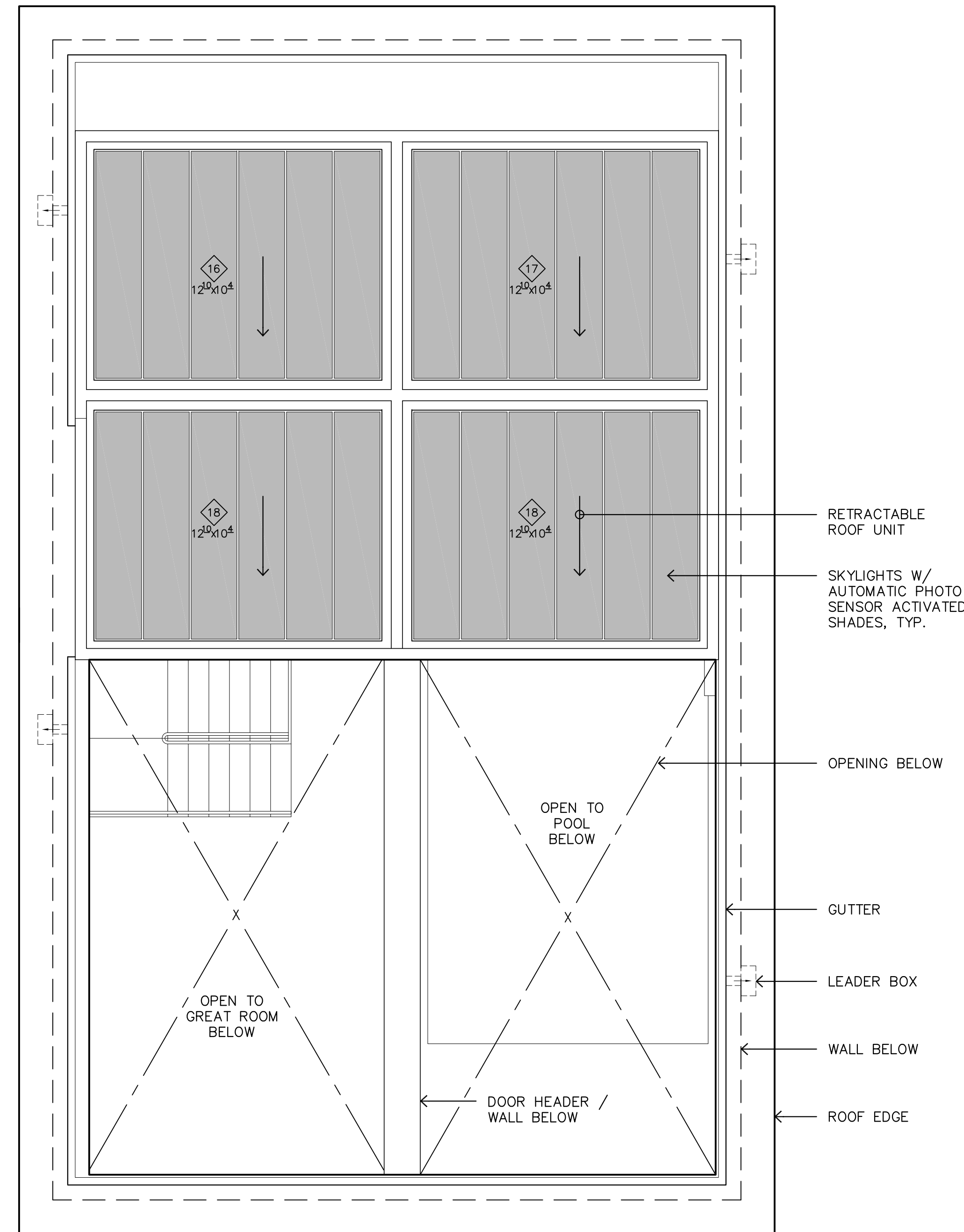
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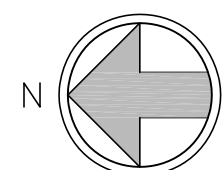
ROOF PLAN - CLOSED POSITION

1/4" = 1'-0"



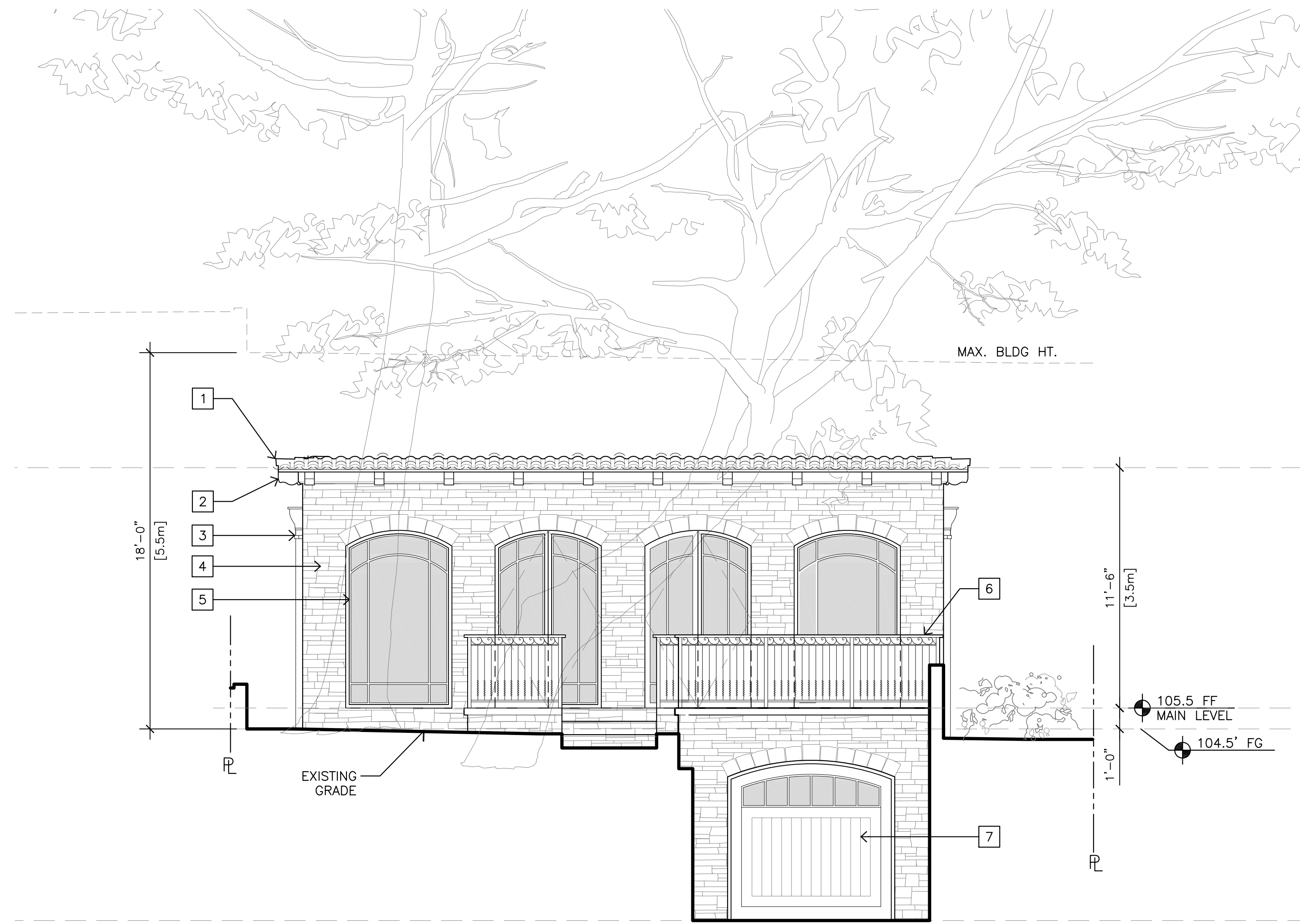
ROOF PLAN - OPEN POSITION

1/4" = 1'-0"



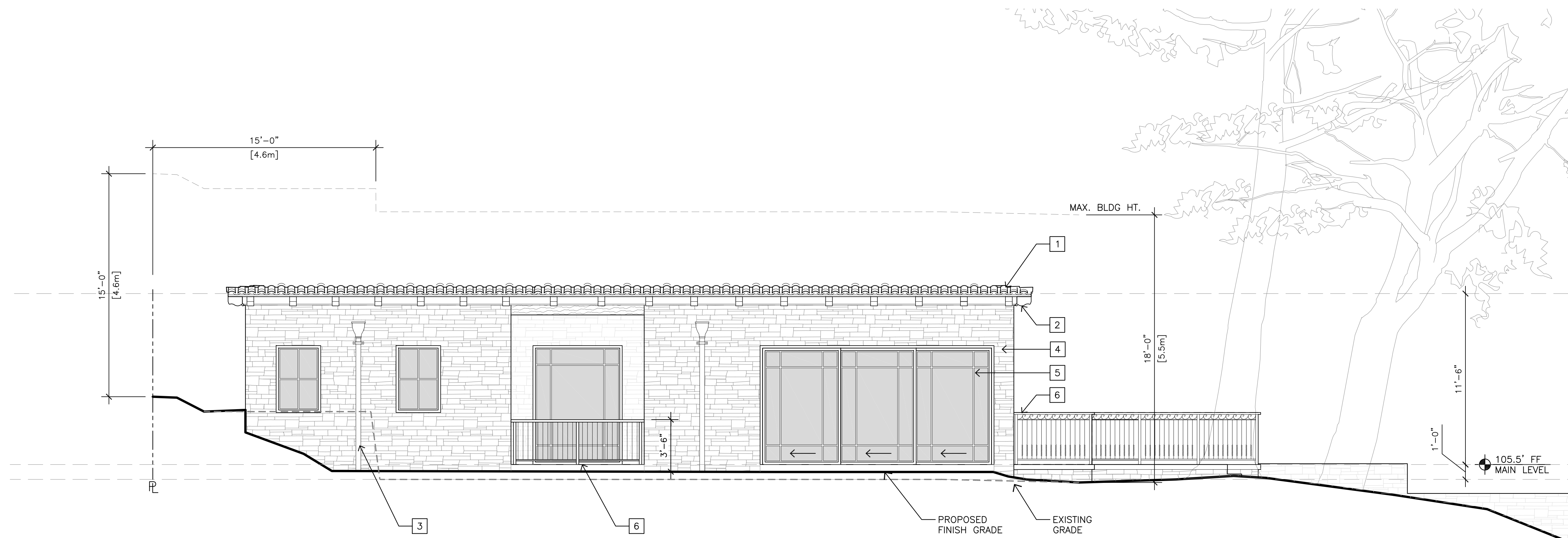
EXTERIOR FINISH LEGEND

- 1 CLAY TILE ROOF
- 2 STAINED CEDAR CORBEL & FASCIA
- 3 COPPER LEADER BOX & DOWNSPOUT
- 4 RANDOM EXTERIOR STONE
- 5 BRONZE DOORS / WINDOWS
- 6 BRONZE RAILING AND BALUSTRADES TO 42" ABOVE WALKING SURFACE
- 7 STAINED CEDAR GARAGE DOOR



WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

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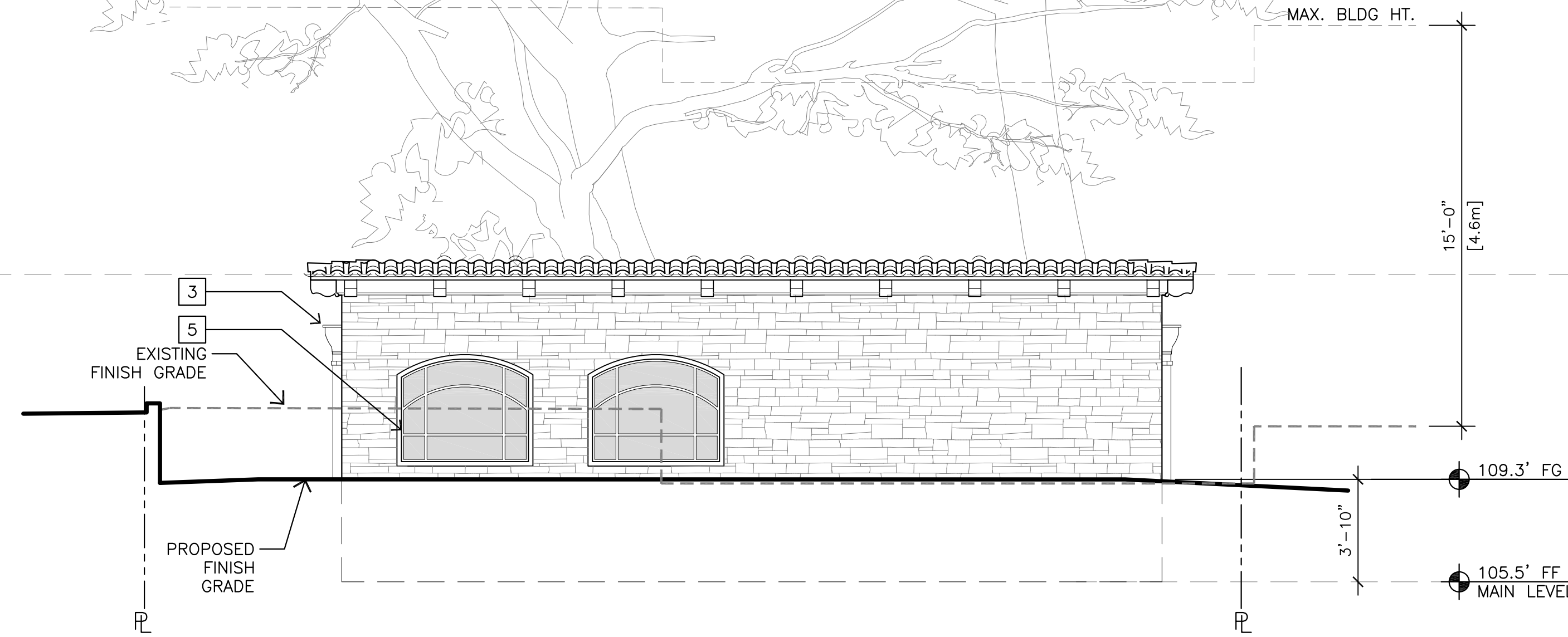
ELEVATIONS

SHEET NO.

A6.0

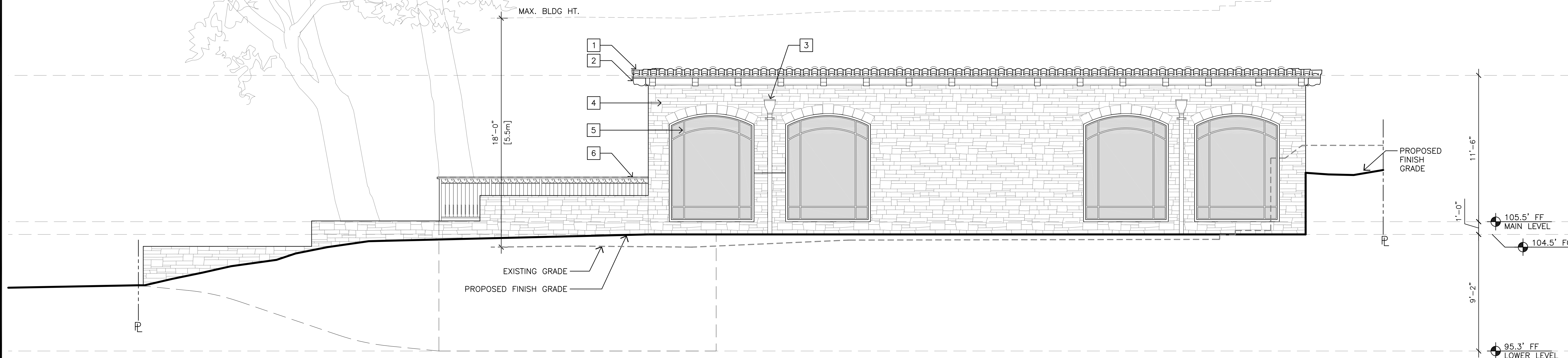
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- 7 STAINED CEDAR GARAGE DOOR



EAST ELEVATION

1/4"=1'-0"



SOUTH ELEVATION

1/4"=1'-0"

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ELEVATIONS

SHEET NO.

A6.1

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REVISIONS:

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ELEVATIONS
STREETSCAPE

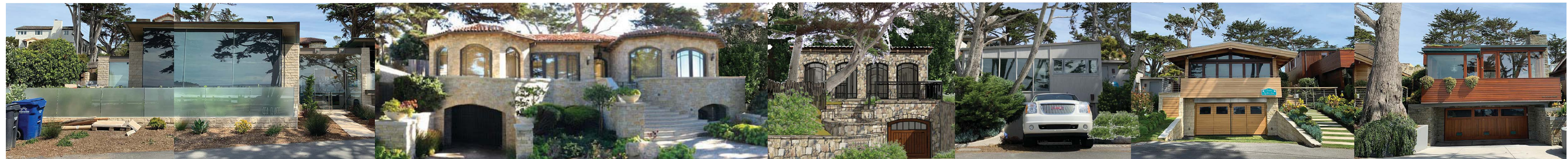
SHEET NO.

A6.2



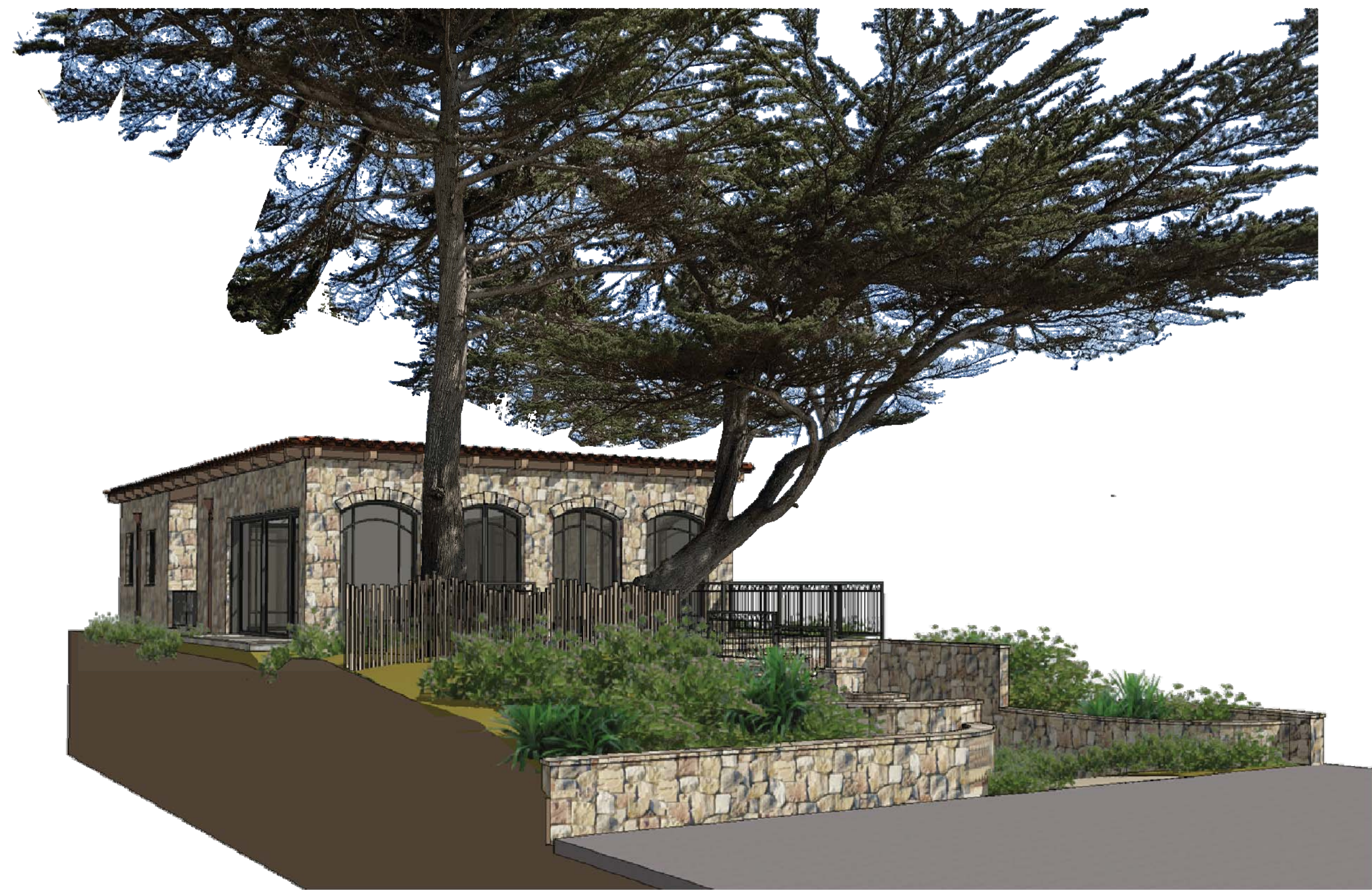
EXISTING SCENIC ROAD STREETSCAPE

N.T.S.



PROPOSED SCENIC ROAD STREETSCAPE

N.T.S.



NORTH-WEST



SOUTH-WEST



WEST

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3D MODEL
VIEWS

SHEET NO.

A6.3



OPEN



CLOSED

MOVABLE POOL FLOOR SYSTEM

BY AGOR ENGINEERING OR APPROVED EQUAL



OPEN



CLOSED

RETRACTABLE ROOF SYSTEM

BY ROLLAMATIC ROOFS INC. OR APPROVED EQUAL

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**RETRACTABLE
ROOF & POOL FLOOR**

SHEET NO.

A6.4

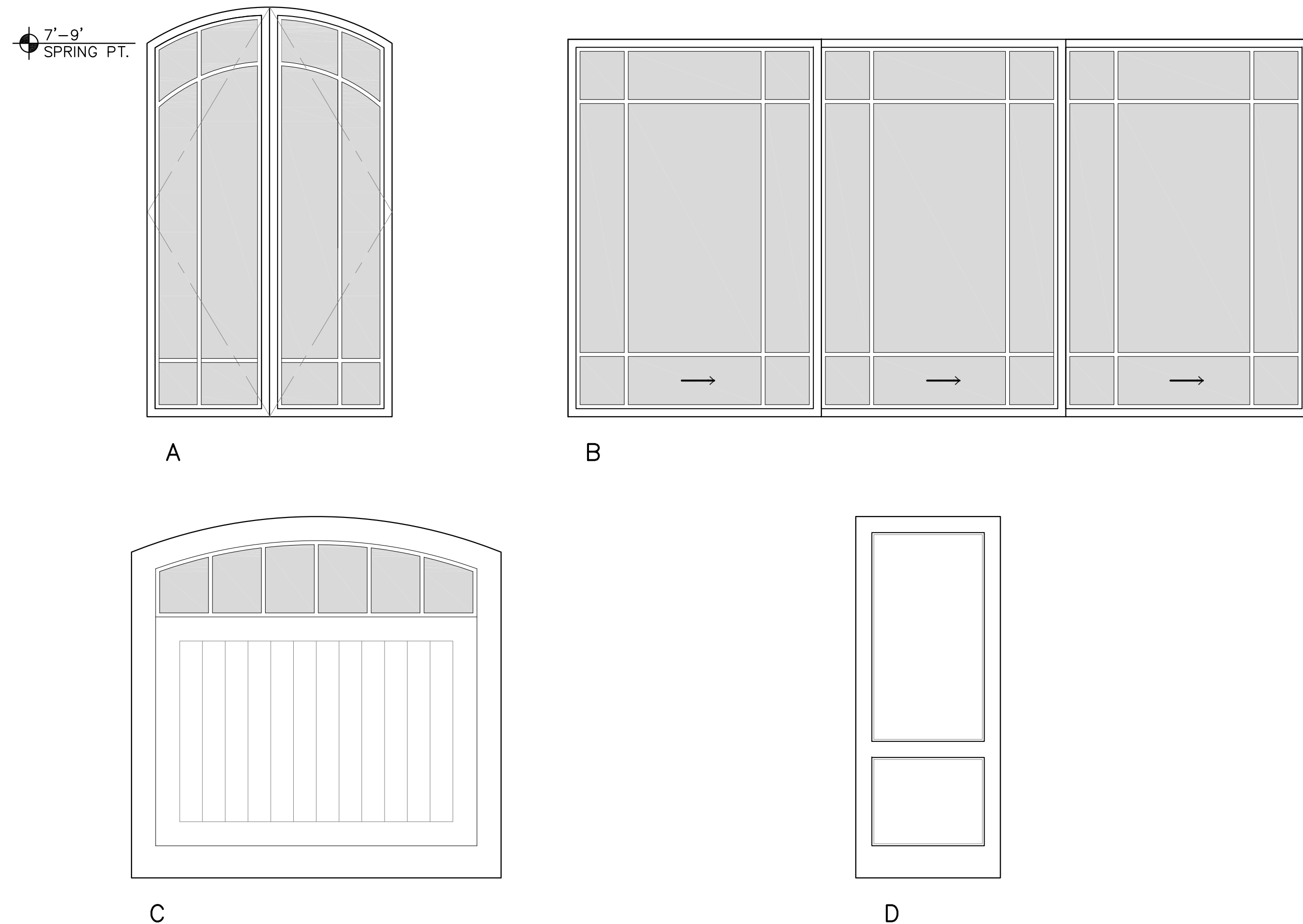
DOOR SCHEDULE										
Door No.	Door Size (Finished)			Material	Core	Tempered Glass	Finish	Action	Type	Remarks
	Width	Height	Thick							
MAIN LEVEL										
1	PR2'-6 1/2"	8'-6"	2-1/4"	BRONZE	SOLID	YES	BRONZE	SWING	A	
2	PR2'-6 1/2"	8'-6"	2-1/4"	BRONZE	SOLID	YES	BRONZE	SWING	A	
3	(3)5'-2"	8'-4"	1-3/4"	BRONZE	SOLID	YES	BRONZE	SLIDING	B	
INTERIOR										
4	(3)5'-2"	8'-4"	1-3/4"	BRONZE	SOLID	YES	BRONZE	SLIDING	B	
5	(3)5'-2"	8'-4"	1-3/4"	BRONZE	SOLID	YES	BRONZE	SLIDING	B	
6	2'-6"	7'-6"	1-3/4"		SOLID	NO	BRONZE	SLIDING	D	

LOWER LEVEL										
Door No.	Door Size (Finished)			Material	Core	Tempered Glass	Finish	Action	Type	Remarks
	Width	Height	Thick							
7	8'-0"	7'-6"	1-3/4"	STAINED CEDAR	SOLID	NO	STAINED CEDAR	ROLL-UP	C	
INTERIOR										
8	3'-0"	7'-6"	1-3/4"		SOLID	NO	BRONZE	SWING	D	
9	3'-0"	7'-6"	1-3/4"		SOLID	NO	BRONZE	SWING	D	
10	3'-0"	7'-6"	1-3/4"		SOLID	NO	BRONZE	SWING	D	
11	2'-4"	7'-6"	1-3/4"		SOLID	NO	BRONZE	SWING	D	
12	PR3'-0"	7'-6"	1-3/4"		SOLID	YES	BRONZE	SWING	D	
13	3'-0"	7'-6"	1-3/4"		SOLID	NO	BRONZE	SWING	D	
14	2'-6"	7'-6"	1-3/4"		SOLID	NO	BRONZE	SWING	D	

DOOR NOTES:

- ALL GLAZING IN DOORS SHALL BE TEMP. GLASS.
- DOOR SIZES SHOWN ARE PROPOSED DOOR LEAF SIZES. GENERAL CONTRACTOR TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES FOR DESIGNER/OWNER TO REVIEW AND APPROVE.
- SPECIALTY DOORS SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
- ALL EXTERIOR DOORS SHALL HAVE A COPPER PAN, 1/2" MAX THRESHOLD, & BRASS HINGES. OUTSWING DOORS SHALL HAVE A 1-1/2" MAX CHANGE IN ELEVATION TO THE EXTERIOR.
- ALL EXPOSED EDGES TO BE SEALED TO PREVENT MOISTURE PENETRATION AND WARPING.
- ALL FRENCH DOORS ARE TO HAVE DEAD BOLTS.
- CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER PRIOR TO ORDERING

DOOR TYPE:



WINDOW SCHEDULE										
Window No.	Window Size (Finished)			Operation Type	Material	Tempered Glass	Finish	Type	Remarks	
	Width	Height	Head Height							
MAIN LEVEL										
1	5'-1"	8'-6"	8'-6"	FIXED	BRONZE	YES	BRONZE	A		
2	6'-0"	8'-0"	8'-0"	FIXED	BRONZE	YES	BRONZE	B		
3	6'-0"	8'-0"	8'-0"	FIXED	BRONZE	YES	BRONZE	B		
4	6'-0"	8'-0"	8'-0"	FIXED	BRONZE	YES	BRONZE	B		
5	3'-0"	4'-6"	8'-0"	CASEMENT	BRONZE	NO	BRONZE	C		
6	3'-0"	4'-6"	8'-0"	CASEMENT	BRONZE	YES	BRONZE	C		
7	5'-1"	4'-2"	8'-6"	FIXED	BRONZE	YES	BRONZE	D		
8	5'-1"	4'-2"	8'-6"	FIXED	BRONZE	YES	BRONZE	D		
9	6'-8"	8'-6"	8'-6"	FIXED	BRONZE	YES	BRONZE	A		
10	X'-X"	8'-6"	8'-6"	FIXED	BRONZE	YES	BRONZE	A		
11	X'-X"	8'-6"	8'-6"	FIXED	BRONZE	YES	BRONZE	A		
12	X'-X"	8'-6"	8'-6"	FIXED	BRONZE	YES	BRONZE	A		
13	5'-1"	8'-6"	8'-6"	FIXED	BRONZE	YES	BRONZE	A		

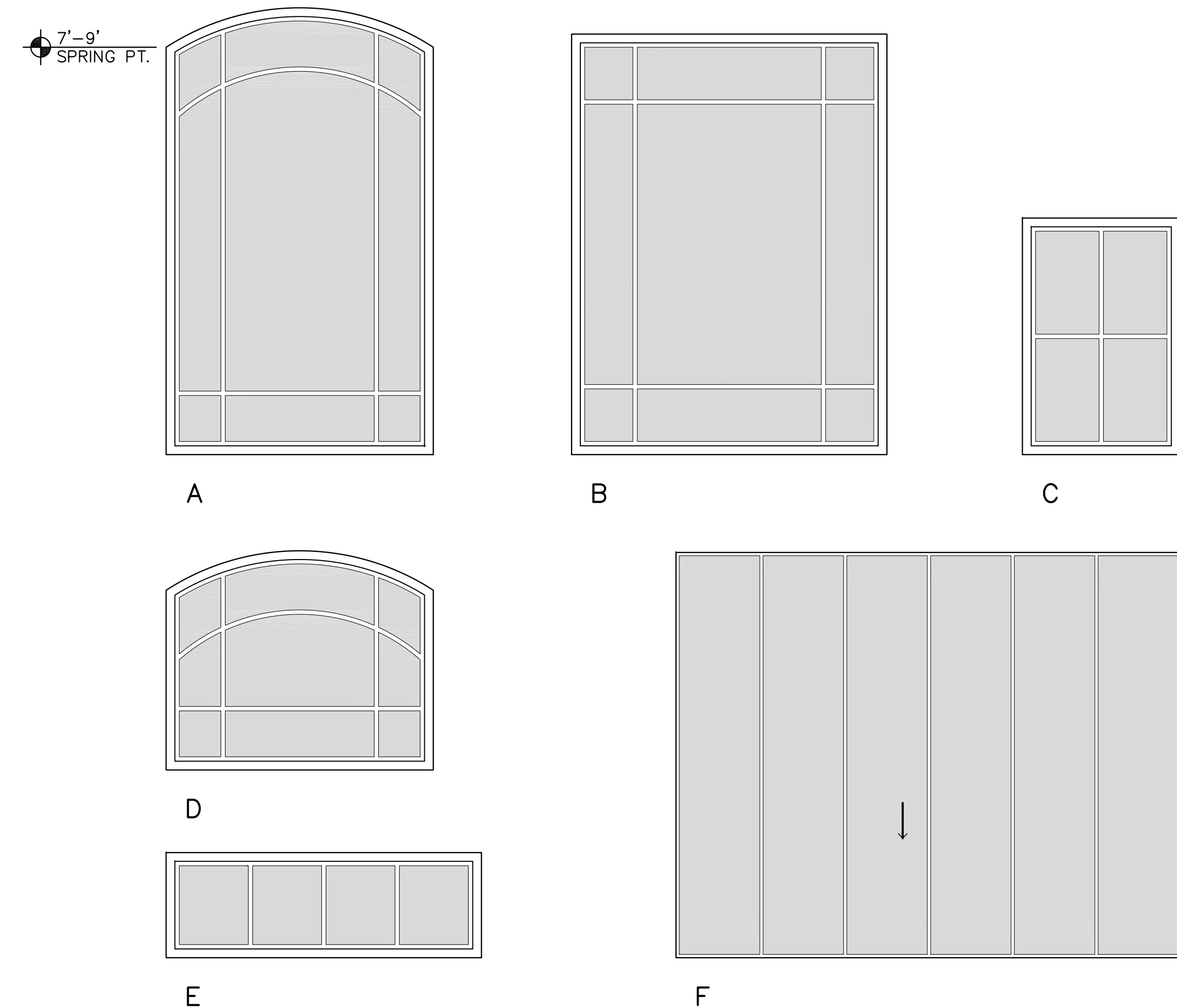
LOWER LEVEL										
Window No.	Width	Height	Head Height	Operation Type	Material	Tempered Glass	Finish	Type	Remarks	
14	6'-0"	8'-0"	8'-0"	FIXED	BRONZE	YES	BRONZE	B		
15	6'-0"	2'-0"	8'-0"	FIXED	BRONZE	YES	BRONZE	E	POOL WINDOW	

SKYLIGHTS										
Window No.	Width	Height	Head Height	Operation Type	Material	Tempered Glass	Finish	Type	Remarks	
16	12'-10"	10'-4"	-	FIXED	BRONZE	YES	BRONZE	F	FIXED SKYLIGHTS ROOF ASSEMBLY WITH AUTOMATIC PHOTO SENSOR ACTIVATED SHADES, TYP.	
17	12'-10"	10'-4"	-	FIXED	BRONZE	YES	BRONZE	F		
18	12'-10"	10'-4"	-	FIXED	BRONZE	YES	BRONZE	F		
19	12'-10"	10'-4"	-	FIXED	BRONZE	YES	BRONZE	F		

WINDOW NOTES:

- ALL CASEMENT WINDOWS USED IN BEDROOMS AS EMERGENCY EGRESS MUST BE "BREAK AWAY" TYPE TO ENSURE COMPLETE OPENABLE AREA FOR ACCESS.
- WINDOW DIMENSIONS ARE PROPOSED FINISHED OPENING SIZES. GENERAL CONTRACTOR IS TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES. ALL WINDOW SIZES, SHAPES, COLORS, HARDWARE, SCREENS, GLAZING, ETC. MUST BE APPROVED BY OWNER PRIOR TO ORDERING.
- SPECIALTY WINDOWS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
- ALL WINDOWS ARE TO BE DOUBLE GLAZED.
- OWNERS TO SPECIFY WHICH WINDOW ARE TO BE LOW "E".
- ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS OR WIRE SAFETY GLASS (CBC 2406.3)
- GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE SHALL BE SAFETY GLASS (CBC 2406.3).
- FOR WINDOWS THAT SERVE AS EMERGENCY EGRESS FROM SLEEPING AREAS:
 - MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT.
 - MINIMUM NET CLEAR OPENABLE DIMENSION OF 20 INCHES IN WIDTH.
 - MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 SQUARE FEET IN AREA.
 - SILL HEIGHTS OF SUCH OPENINGS SHALL NOT EXCEED 44 INCHES ABOVE FLOOR

WINDOW TYPE:



JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950

PH (831) 646-1261
FAX (831) 646-1290
EMAIL idg@idg-inc.net
WEB idg-inc.net

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STAMPS:

PROJECT/CLIENT:

ESPERANZA
CARMEL, LLC

PROJECT ADDRESS:

CARMEL-
BY-THE-SEA
SCENIC ROAD
3 SE 9TH

APN: 010-302-011

DATE: JANUARY 18, 2020

OWNER REVIEW

REVISIONS:

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____

WIN. -DR.
SCHEDULES

SHEET NO.

A9.0

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DATE: FEBRUARY 25, 2020
PLANNING SUBMITTAL

REVISIONS:

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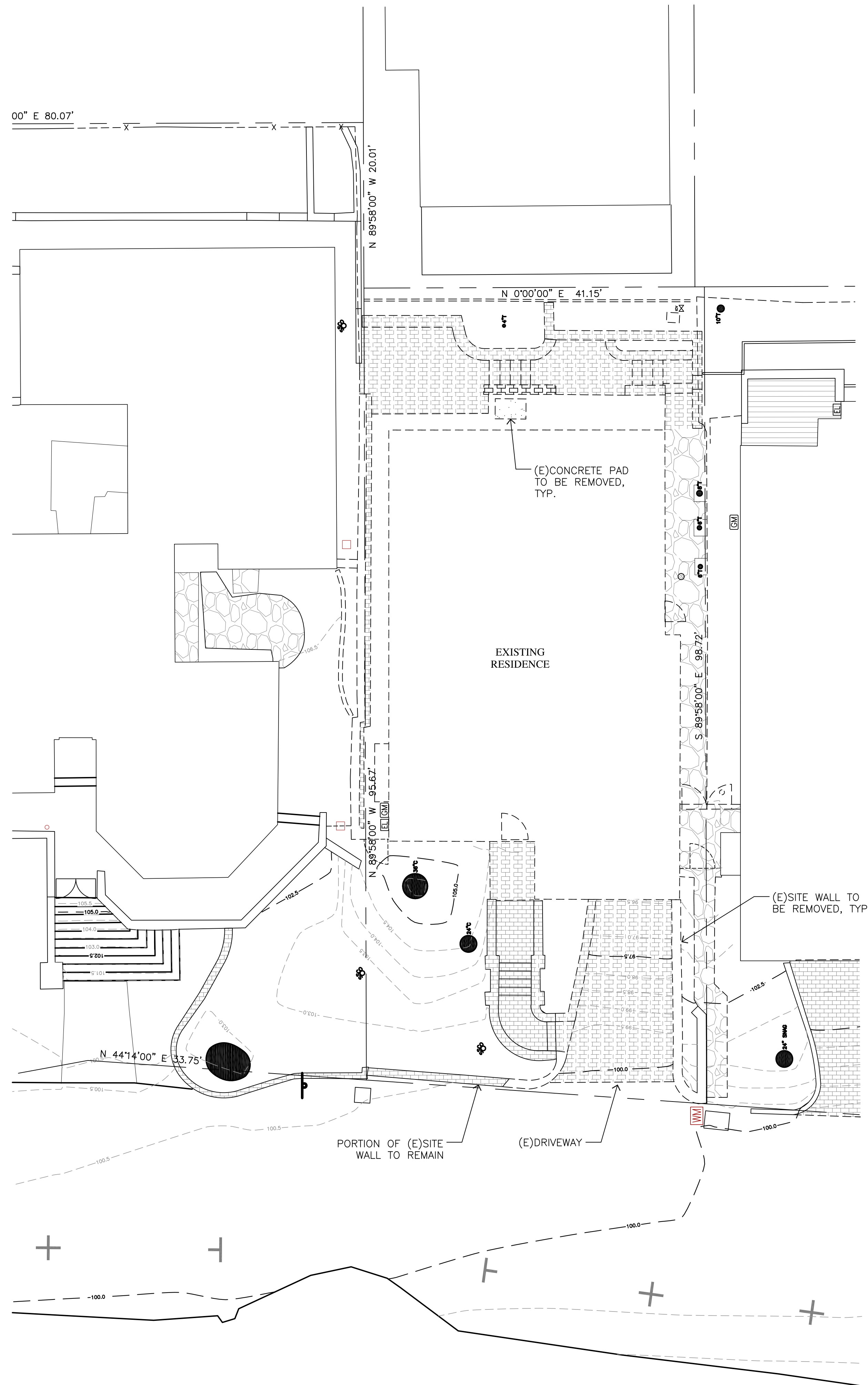
DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING STONE PAVING TO BE REMOVED
- EXISTING STONE PAVING TO REMAIN
- EXISTING STONE PAVERS TO BE REMOVED

**SITE PLAN
DEMOLITION**

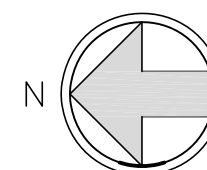
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SITE PLAN - DEMOLITION

1/8" = 1'-0"



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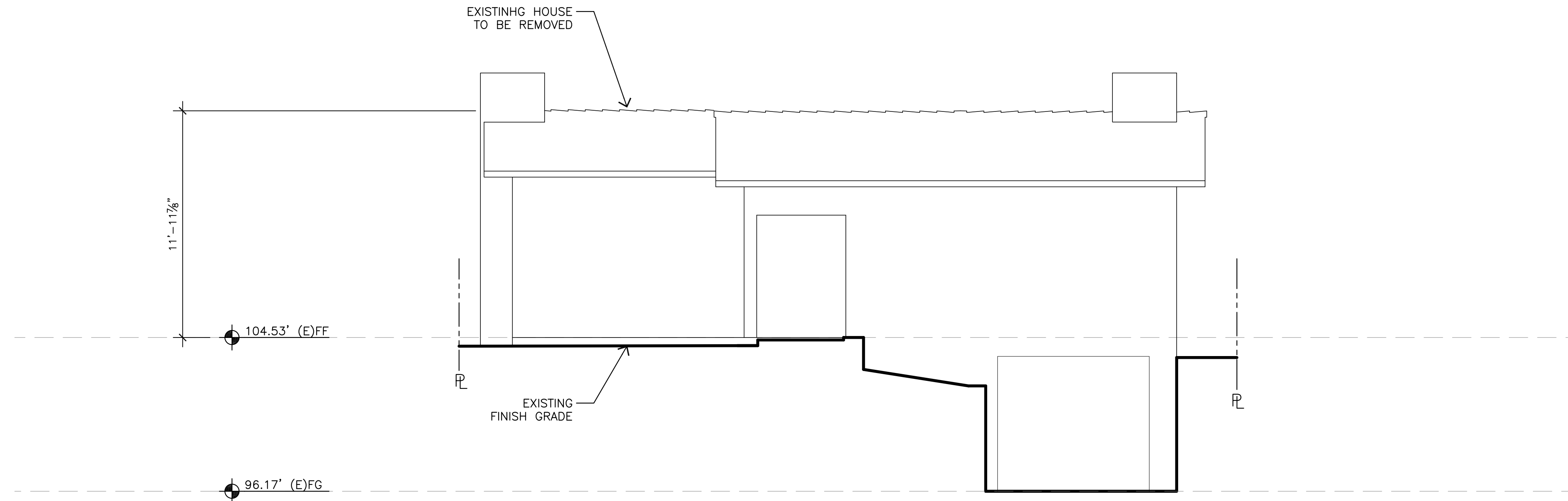
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ELEVATIONS
EXISTING

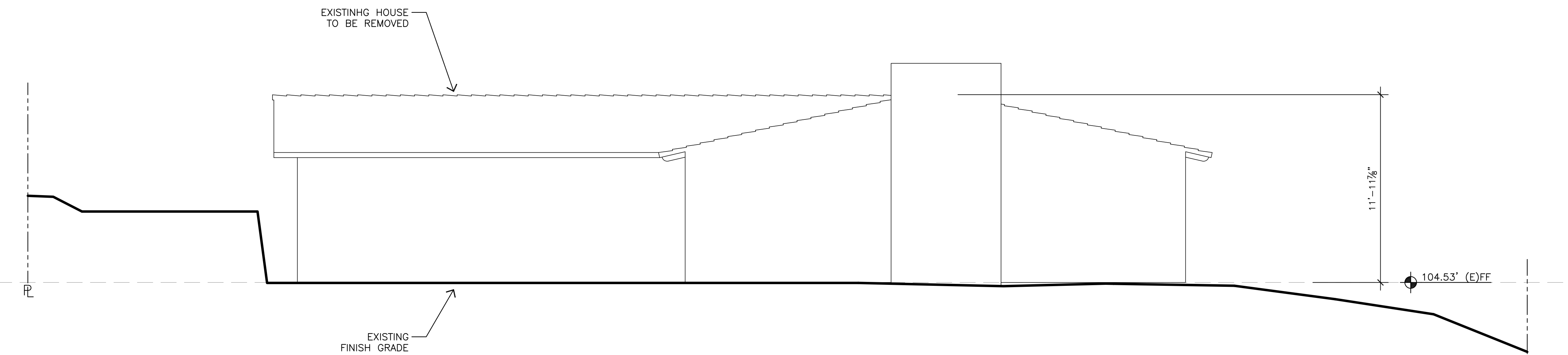
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WEST ELEVATION - EXISTING

1/4"=1'-0"



NORTH ELEVATION - EXISTING

1/4"=1'-0"

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ELEVATIONS
EXISTING

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