

Map Legend:

Basis of Bearings: As shown or noted hereon.

Horizontal Datum: Assumed.

Vertical Datum: Assumed.
Site Benchmark: As shown hereon.

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

Record Map References:

R1 = Corner Record No. 1531 filed May 14, 2012 in the Monterey County Surveyor's Office, State of California.

Boundary Legend

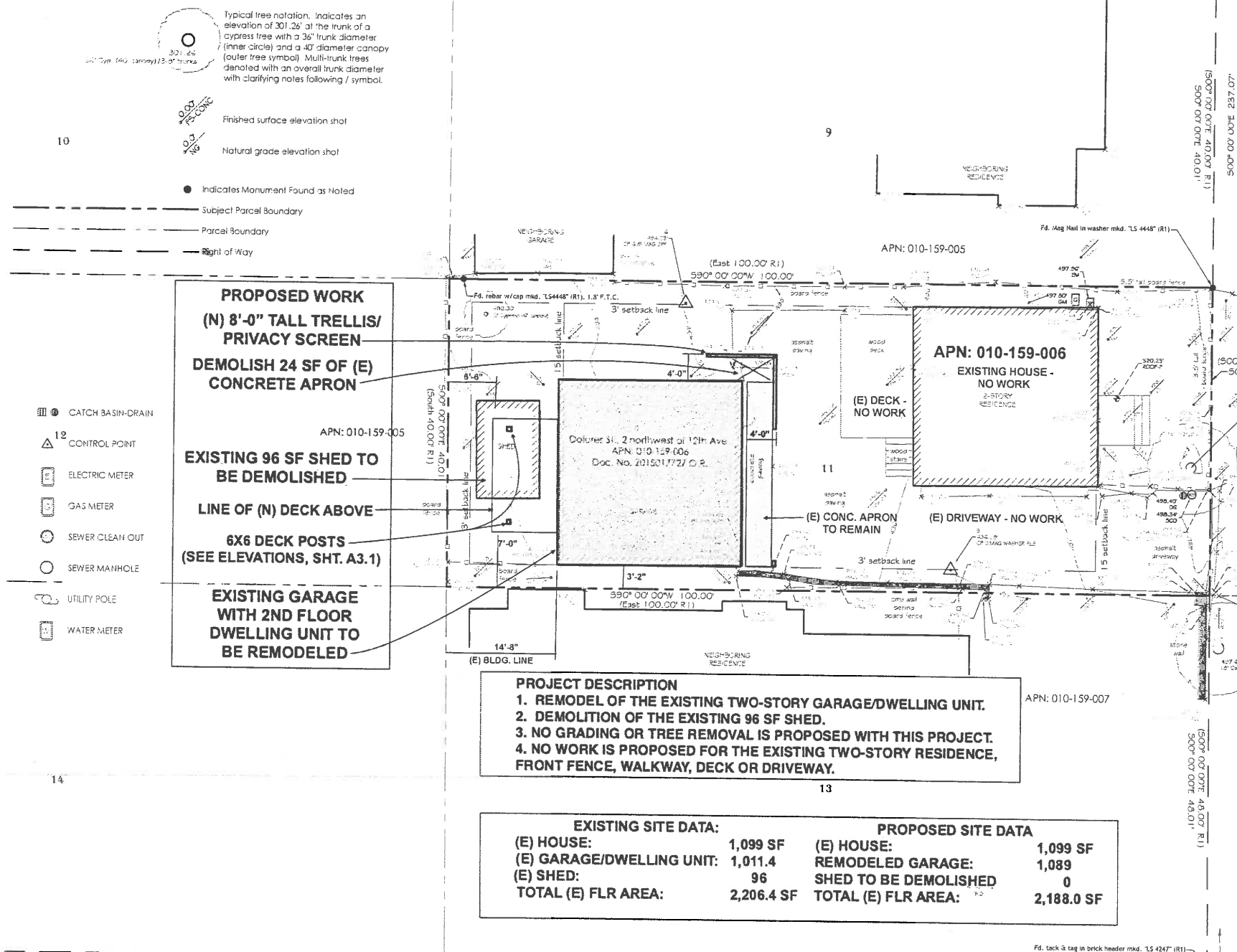
- A.G.S. - above ground surface
- AP - angle point
- BC - brass cap or begin curve
- B.G.S. - below ground surface
- COR - corner
- CP - control point
- CTL - CONTROL
- DOC - document
- ENG/ENGR - engineer
- FD/FND - found
- F.T.C. - from true corner
- IP - iron pipe
- L-T/L&T - lead & lag
- LS - land surveyor
- M-T - MAG NAIL & lag
- MAG - MAG NAIL
- MKD - marked
- MON - monument
- N-I - nail & lag
- N.R.F. - no record found
- O.R. - Official Records, Monterey County
- POL - point on line
- RCE - registered civil engineer
- ROW - right-of-way
- SPK - spike
- STA - station/control point
- TBM - temporary benchmark

Topography Legend

- AC - asphalt concrete
- AL - area light
- BLD/BLDG - building
- BLDR(S) - boulder(s)
- BCC - back of curb
- BRK - brick
- BTM/SOT - bottom
- BW - back of walk
- CF - curb face
- CHIM - chimney
- CL - centerline
- CLM - column
- CONC - concrete
- DO - drain grate
- DK - deck
- DW - driveway
- DW-AC - asphalt driveway
- DW-C - concrete driveway
- DW-D - dirt driveway
- DW-DG - decomposed granite driveway
- ENCL - enclosure
- EP - edge of paving
- EP-AC - edge of AC paving
- EP-BRK - edge of brick paving
- EP-C - edge of concrete pavement
- EP-D - edge of dirt path
- EP-DG - edge of dg path
- EP-EA - edge of exposed egg paving
- EP-G - edge of gravel path
- EP-PVR - edge of pavers
- EP-STN - edge of stone paving
- EP-WD - edge of wood path
- FF - finished floor
- FF-CONC - finished floor concrete
- FF-THRESH - finished floor threshold
- FF-STN - finished floor stone
- FF-TILE - finished floor tile
- FF-WD - finished floor wood
- FI - fire hydrant
- FL - flow line
- FL-AC - asphalt
- FL-C - concrete
- FL-NG - natural grade
- FNC - fence
- FNC-BW - barbed wire fence
- FNC-CL - chain-link fence
- FNC-GS - grapestake fence
- FNC-HW - hogwire fence
- FNC-I - iron fence
- FNC-LAT - lattice fence
- FNC-PR - post & rail fence
- FNC-WD - wood fence
- FNC-WI - wrought iron fence
- FNC-WR - wire fence
- FOB - face of building
- FOW - face of wall
- FS - finished surface
- FS-AC - finished surface asphalt
- FS-B - finished surface brick
- FS-C - finished surface concrete
- FS-DG - finished surface DG
- FS-G - finished surface gravel
- FS-PVR - finished surface pavers
- FS-STN - finished surface stone
- FS-TILE - finished surface tile
- FS-WD - finished surface wood
- F.T.C. - from true corner
- FTG - footing
- GAR - garage
- GB - grade break
- GUF - edge of gutter
- GUY - guy anchor
- HC - handicap
- HDG - hedge
- INT - intersection
- LNDC - landing
- LIP - edge of conc gutter
- MB - mailbox
- NG - natural grade
- P - pool
- PF-PIN FLAG
- PLTR - planter
- PTO - patio
- PTO-BRK - brick patio
- PTO-CONC - concrete patio
- PTO-DG - decomposed granite patio
- PTO-G - gravel patio
- PTO-PVR - paver patio
- PTO-STN - stone patio
- PTO-TILE - tile patio
- RAMP-C - concrete ramp
- RAMP-W - wood ramp
- RD-AC - ac road
- RD-CONC - conc road
- RD-D - dirt road
- RD-G - gravel road
- RDG - ridge
- ROOF-P - roof peak
- ROOF-R - roof ridge
- STC - stucco
- STN - stone
- STP - step
- STRP - stripe
- SW - sidewalk
- TC - top of curb
- TCN - top of concrete
- TG - top of grate
- TOP - top of slope
- TGE - toe of slope
- TW/TOW - top of wall
- WALL-AB - Alien Block wall
- WALL-B - brick wall
- WALL-CMU - concrete masonry unit wall
- WALL-CRMU - Carmel stone wall
- WALL-DSTN - dry stack stone wall
- WALL-RTIC - rille wall
- WALL-STC - stucco wall
- WALL-STN - stone wall
- WALL-WD - wood wall
- WL - water line
- WLK - sidewalk

Utility Legend

- CATV - cable tv
- COMM - communications
- CO or C/O - clean out
- DDCV - double detector check valve
- EM - electric meter
- EO - electric outlet
- GM - gas meter
- GV - gas valve
- HB - hose bib
- IRV - irrigation control valve
- IRV - irrigation
- JP - joint utility pole
- LT - light
- LT-STD - light standard
- PB-CATV - CATV pull box
- PB-ELEC - electric pull box
- PB-GAS - gas pull box
- PB-IRR - irrigation pull box
- PB-PC - PG&E pull box
- PB-UNMKD - unmarked pull box
- PP - power/utility pole
- SCO - sewer clean out
- SDMH - storm drain manhole
- SSMH - sanitary sewer manhole
- ST LT - street light
- TELECO - telephone
- UP - utility pole
- UTIL - utility
- VLT - vault
- VLT-GTE - GTE vault
- VLT-PS - PacBell vault
- VLT-PGE - PG&E vault
- VLT-TELECOM - telecommunications vault
- VLT-UNMKD - unmarked vault
- VLT-VPZ - Verizon vault
- WM - water meter
- WV - water valve



PROPOSED WORK
(N) 8'-0" TALL TRELLIS/
PRIVACY SCREEN
DEMOLISH 24 SF OF (E)
CONCRETE APRON
EXISTING 96 SF SHED TO
BE DEMOLISHED
LINE OF (N) DECK ABOVE
6X6 DECK POSTS
(SEE ELEVATIONS, SHT. A3.1)
EXISTING GARAGE
WITH 2ND FLOOR
DWELLING UNIT TO
BE REMODELED

PROJECT DESCRIPTION
1. REMODEL OF THE EXISTING TWO-STORY GARAGE/DWELLING UNIT.
2. DEMOLITION OF THE EXISTING 96 SF SHED.
3. NO GRADING OR TREE REMOVAL IS PROPOSED WITH THIS PROJECT.
4. NO WORK IS PROPOSED FOR THE EXISTING TWO-STORY RESIDENCE, FRONT FENCE, WALKWAY, DECK OR DRIVEWAY.

EXISTING SITE DATA:		PROPOSED SITE DATA	
(E) HOUSE:	1,099 SF	(E) HOUSE:	1,099 SF
(E) GARAGE/DWELLING UNIT:	1,011.4	REMODELED GARAGE:	1,089
(E) SHED:	96	SHED TO BE DEMOLISHED:	0
TOTAL (E) FLR AREA:	2,206.4 SF	TOTAL (E) FLR AREA:	2,188.0 SF

Surveyor's Notes:
This map portrays the site at the time of the survey and does not show soils or geology information, underground conditions, easements, zoning or regulatory information or any other items not specifically requested by the property owner. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.
Underground utilities, if any, were not located. Information regarding underground utility locations should be obtained from the appropriate utility companies or public agencies.
Elevations are based on an arbitrary assumed datum as noted. Ground may be more irregular than contours indicate.
Distances are expressed in feet and decimals thereof.
The cross symbol (x) marks the horizontal position of the spot elevation shown. Tree symbols are drawn to scale only approximately.
Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed.

GARAGE BUILDING REMODEL
DOLORES STREET
2 NW OF 12TH AVE.
CARMEL, CA
APN 010-159-006

OWNER:
MICHAEL OLIVER
577 Sugar Pine Drive
Incline Village, NV 89451
t: 530-308-4728

DRAWING DATE: 3-20-19



SITE PLAN
Topographic Survey

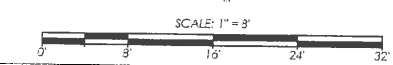
Dolores St., 2 northwest of 12th Ave., APN: 010-159-006
Located in Carmel-by-the-Sea, Monterey County, State of California

Prepared For: Claire Johnson
Requested By: Thomas Bateman Hood Architecture

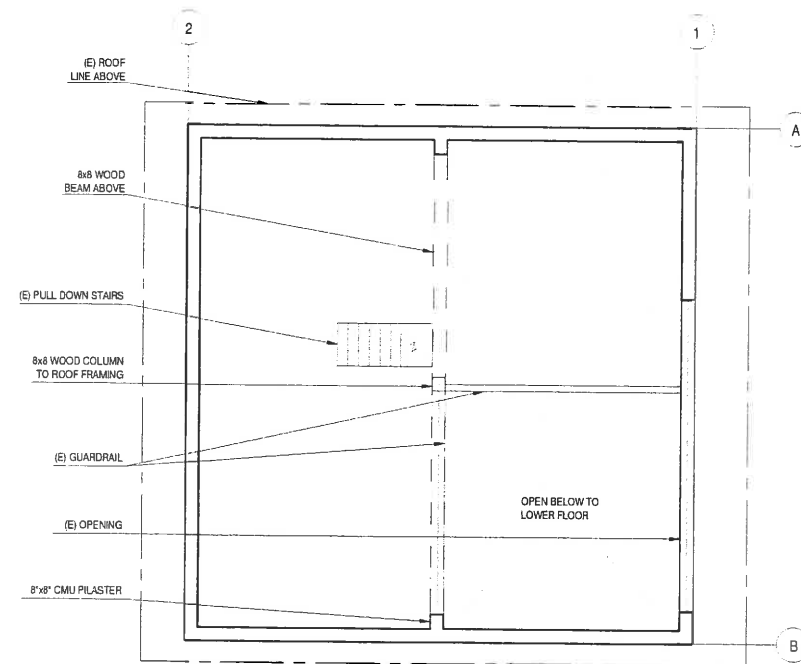
November 2018

Rasmussen Land Surveying, Inc.
2150 Garden Road, Suite A-3, Monterey, California 93942
P: 831.375.7240 F: 831.375.2545

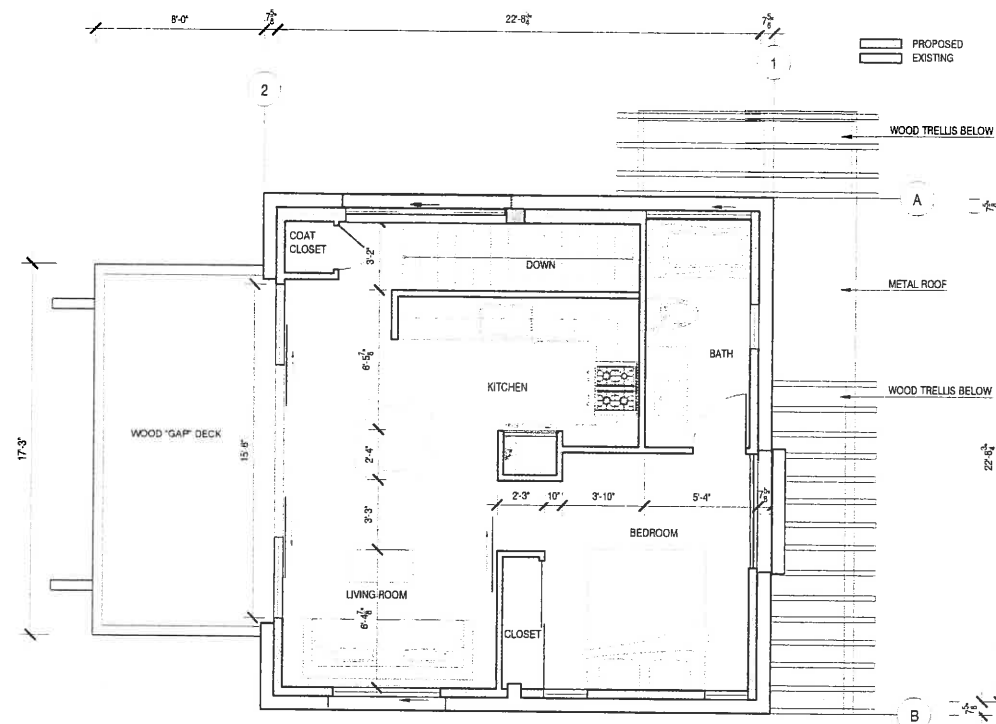
RECEIVED
MAR 20 2019
City of Carmel-by-the-Sea
Planning & Building Dept.



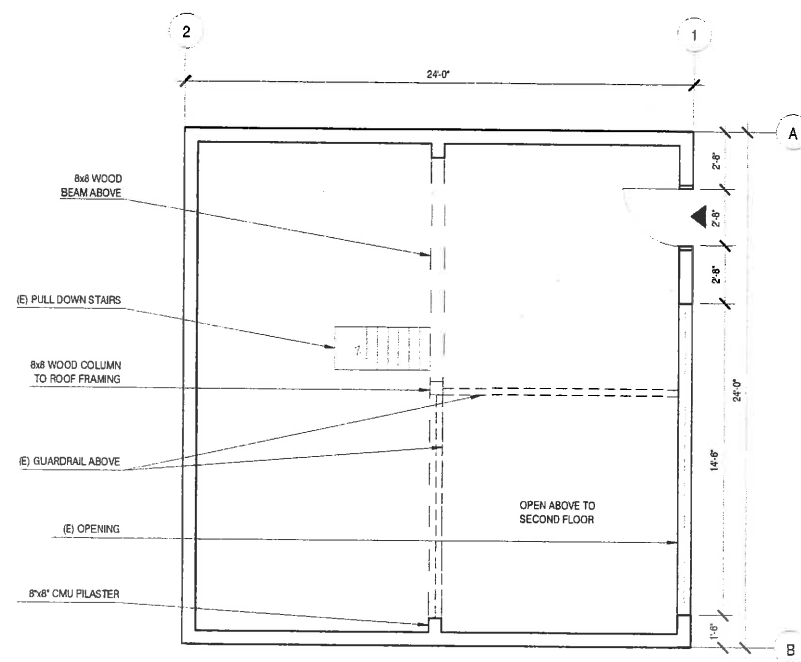
DRAWING REVISIONS:
November 2018 - Original Survey



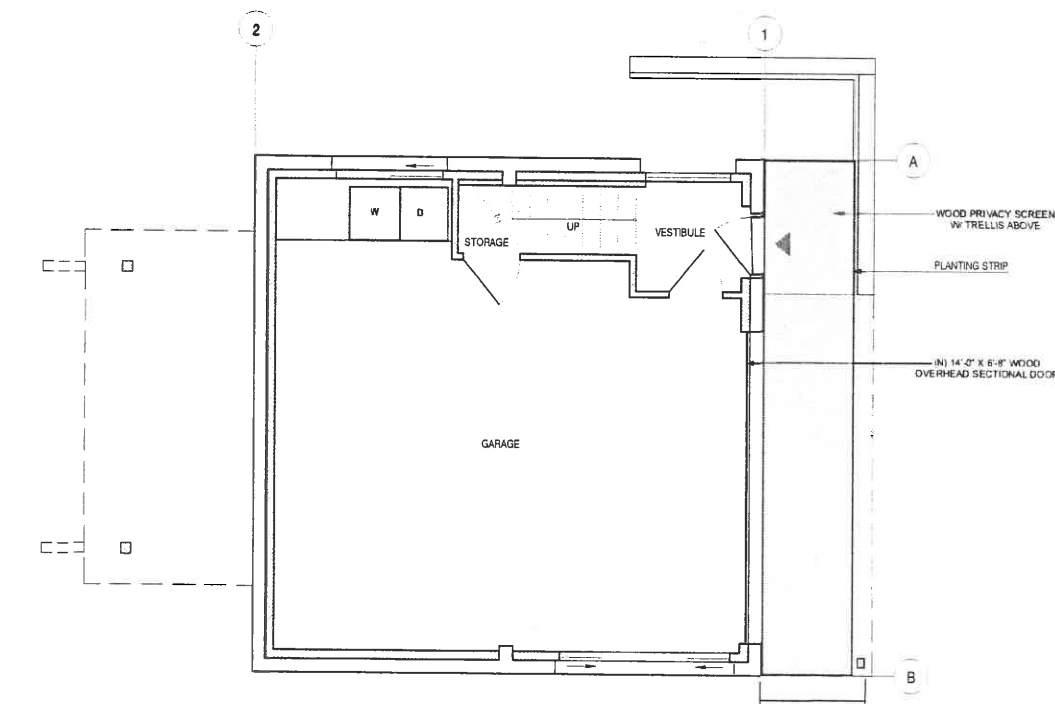
2 EXISTING GARAGE:
A2.0 UPPER LEVEL



4 PROPOSED GARAGE:
A2.0 UPPER LEVEL



1 EXISTING GARAGE:
A2.0 LOWER LEVEL



3 PROPOSED GARAGE:
A2.0 LOWER LEVEL

THOMAS BATEMAN HOOD
SW Corner of Lincoln & 4th Ave.
Carmel, California 93921
P.O. Box 4916
831 - 622 - 9912
tbn@t-hood.com
www.thomasbatemanhood.com

PROJECT:
DOLORES ST.
2NW OF 12TH AVE.
CARMEL
APN: 010-159-006

OWNER:
MICHAEL OLIVER
577 SUGAR PINE DR.
INCLINE VILLAGE, NV.
89451
T: 530-3084728

REVISIONS:

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▲	
▲	
▲	
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The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by the owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: **LPG**

PRINT DATE: **03/15/2019**

DRAWING DATE: **03/01/2019**

PAGE TITLE:
EXISTING AND PROPOSED GARAGE/ DWELLING UNIT

SCALE: 1/4" = 1'0"

SHEET:

A2.0

OF SHEETS

THOMAS BATEMAN HOOD
 5W Corner of Lincoln & 4th Ave.
 Carmel, California 93921
 P. O. Box 4916
 831-622-3912
 tbm@t-hood.com
 www.thomasbatemanhood.com

PROJECT:
 DOLORES ST.
 2NW OF 12TH AVE.
 CARMEL
 APN: 0110-159-006

OWNER:
 MICHAEL OLIVER

REVISIONS:

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 CARMEL, CA

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PAGE TITLE:

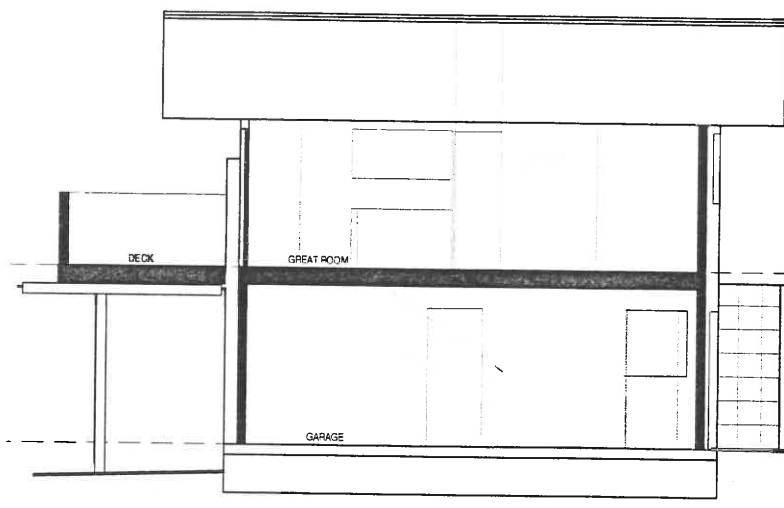
Proposed Plan

SCALE: 1/4" = 1'0"

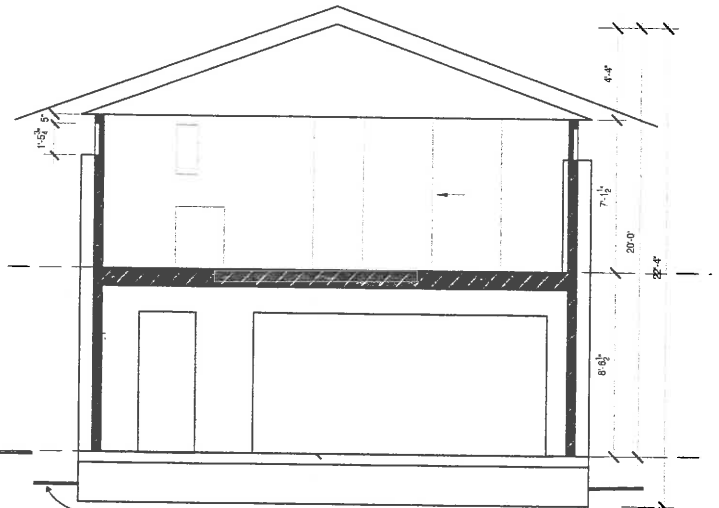
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A3.0

OF SHEETS

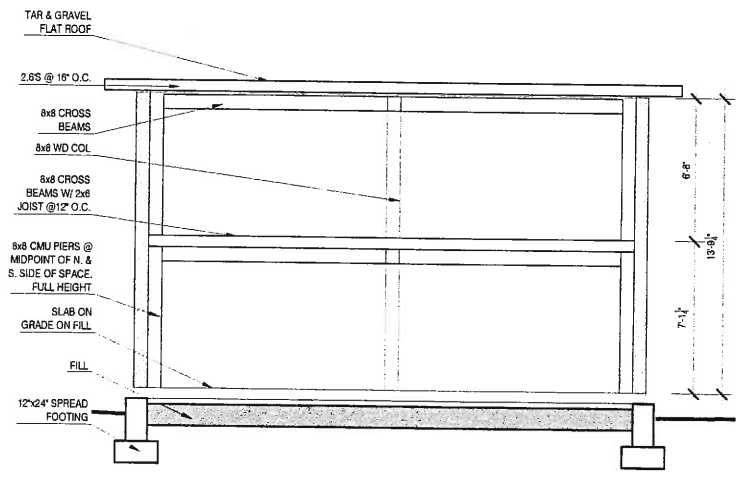


SECTION VIEW: NORTH LONGITUDINAL SECTION "A"

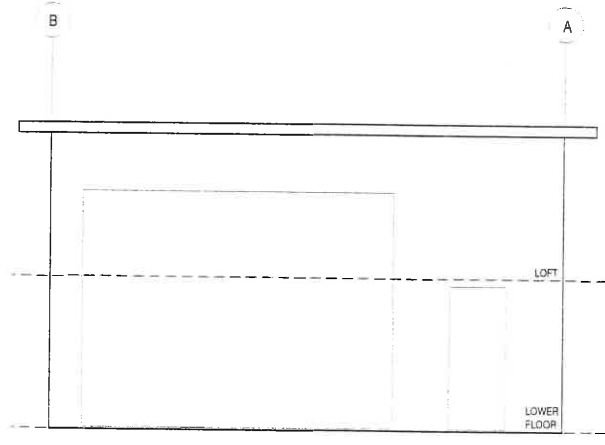


SECTION VIEW: TRANSVERSE SECTION "B"

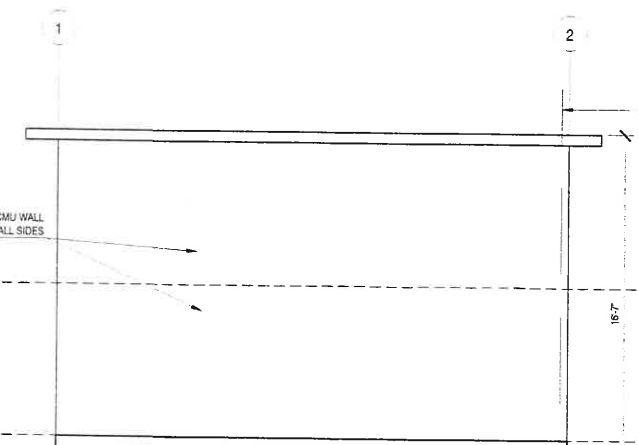
NOTE: EXISTING GRADE VARIES IN ELEVATION.
 NO CHANGES TO GRADE ARE PROPOSED



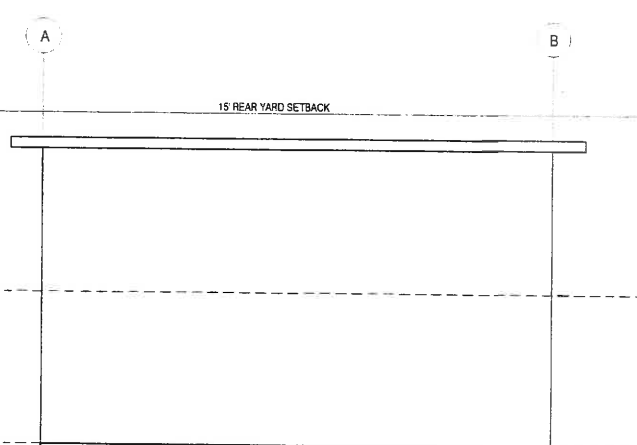
SECTION VIEW: EAST



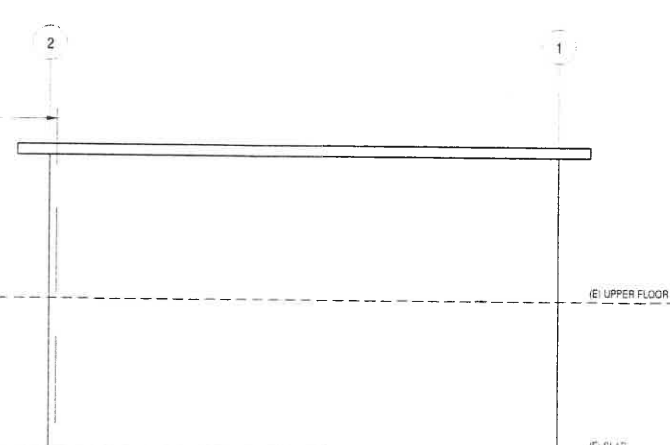
(E) EAST ELEVATION



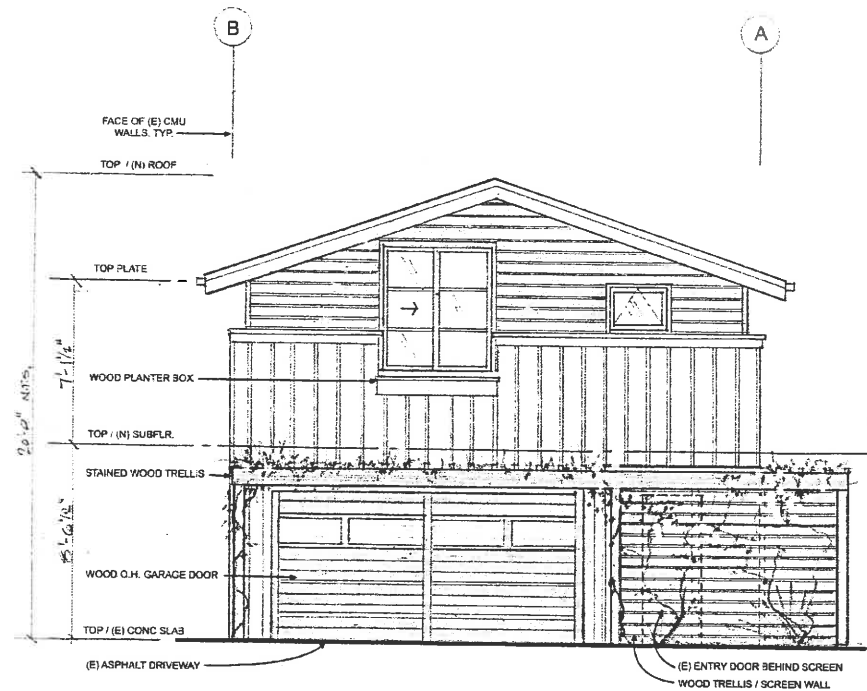
(E) NORTH ELEVATION



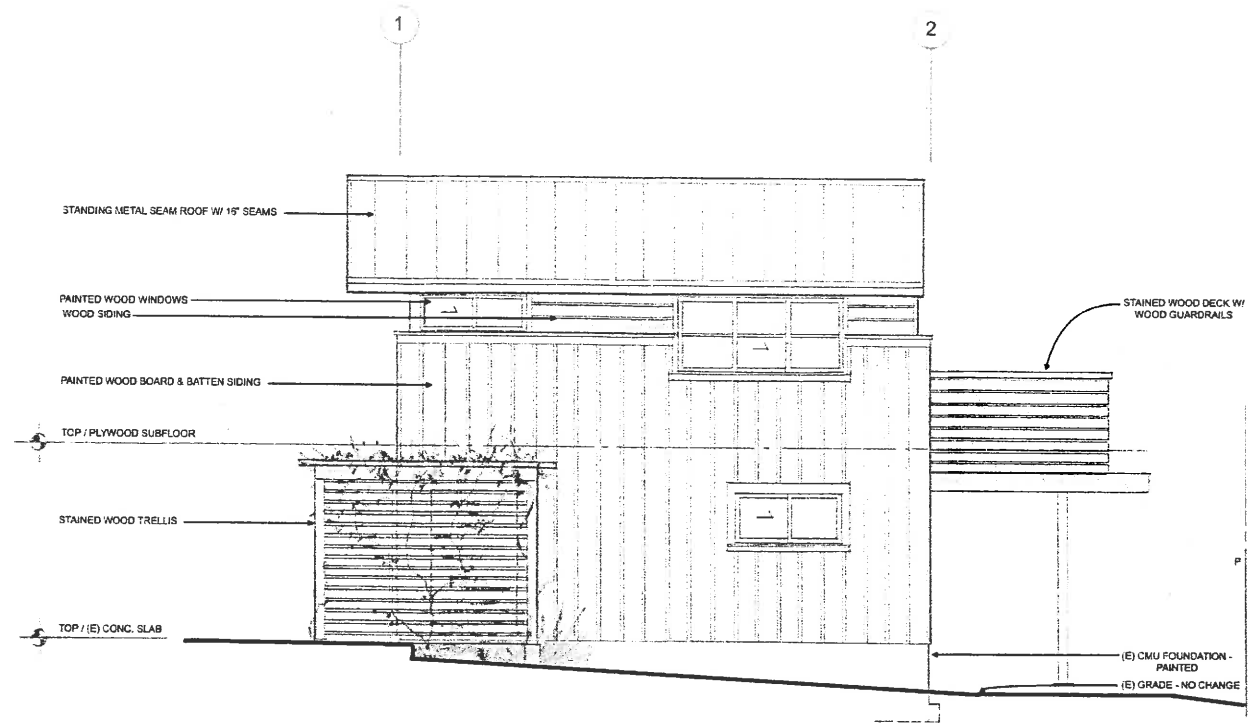
(E) WEST ELEVATION



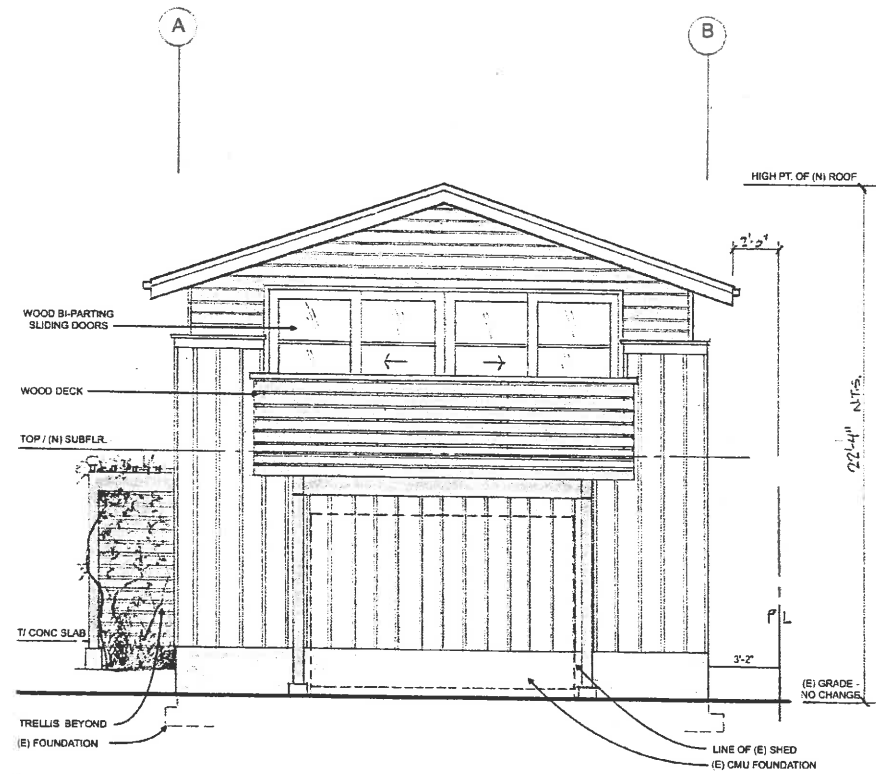
(E) SOUTH ELEVATION



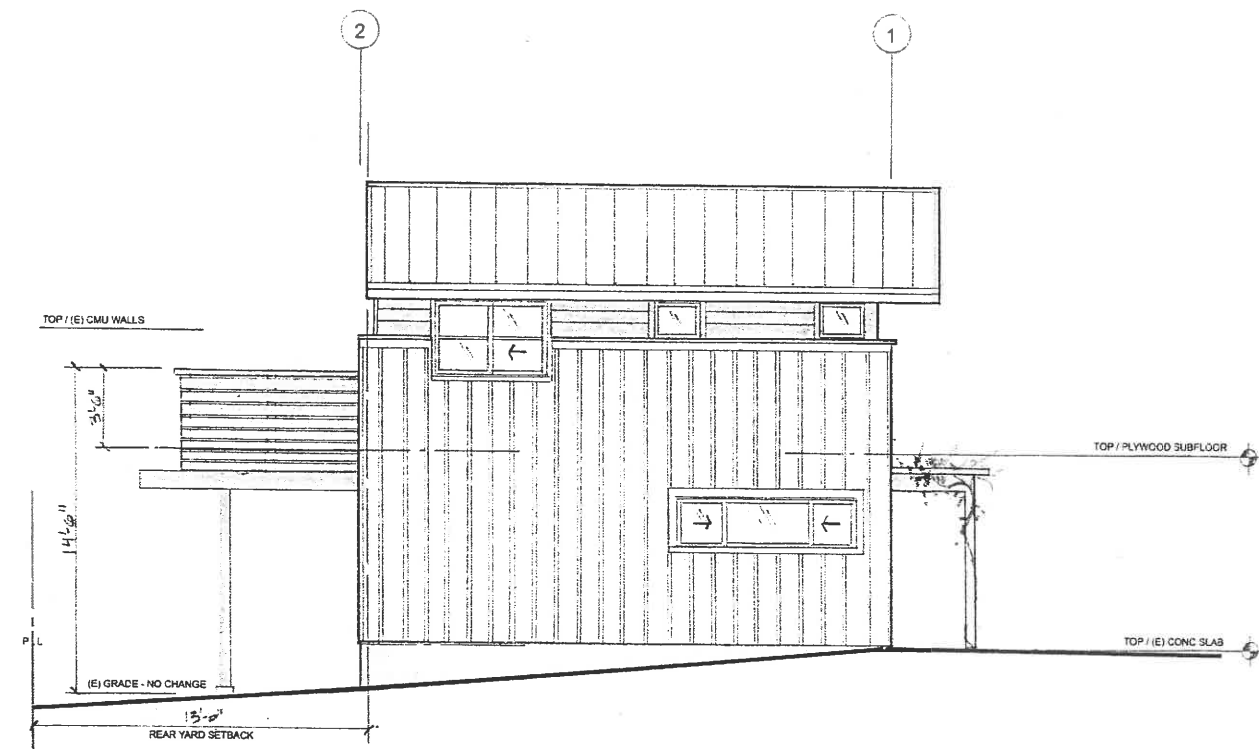
PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION



PROPOSED WEST ELEVATION



PROPOSED SOUTH ELEVATION

THOMAS BATEMAN HOOD
 SW Corner of Lincoln & 4th Ave.
 Carmel, California 93921
 P.O. Box 4916
 831 - 622 - 9912
 tom@t-hood.com
 www.thomasbatemanhood.com

PROJECT:
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OWNER:

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REVISIONS:

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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
 CARMEL, CA

DRAWN BY: TBH

PRINT DATE: 3-20-19

DRAWING DATE: 3-20-19

PAGE TITLE:

ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET:

A3.1

OF SHEETS