

WITT RESIDENCE

Carmelo 2 NW of 9th Street

Carmel by the Sea, California, CA 93921

REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

COVER SHEET

JOB NAME: **Witt Residence**
 Carmelo 2NW of 9th Street
 Carmel By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19
 SCALE: N.T.S.
 DRAWN: DM
 JOB NUMBER: 17.20

A-0.1
 SHEET OF

GENERAL NOTES

- CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL:** IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND THE ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL/NOTICES/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2016 C.B.C.)
- CONSTRUCTION RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- JOB SITE SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION:** THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/ DAMAGES/LOSSES/AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP:** THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- EXISTING CONDITION:** CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS CONDITION AND EXISTING AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- CONSTRUCTION NOTES:** ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES:** THIS PROJECT SHALL COMPLY WITH THE TITLE 24 AND 2016 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND CALIFORNIA TITLE 24 ENERGY CODE.

PROJECT DATA

ADDRESS: CARMELO 2 NW OF 9TH STREET
CARMELO BY THE SEA, CA 93921

PROJECT DESCRIPTION: CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING WITH BASEMENT & ATTACHED GARAGE, CONSIST OF: 348 S.F. BASEMENT, 320 S.F. LOWER FLOOR and 1,322 S.F. MAIN FLOOR.

LOT SIZE: 4,000.0 S.F.
 ZONING: RI
 A.P.N.: 010-269-005-000

TYPE OF CONSTRUCTION: (V-B)

SETBACK

FRONT 15' MAX.
 REAR 15' MAX.
 SIDE 25% OF LOT WIDTH - 10' MAX.

BUILDING HEIGHT— ONE STORY PLATE HT. - 12'
 2ND STORY PLATE HT. - 10'
 MAX ROOF HT. - 24.0'

LOT AREA	4,000 S.F.
BASE FLOOR AREA ALLOWED	1,800 S.F.
MAIN FLOOR AREA	1,322 S.F.
LOWER FLOOR AREA	236 S.F.
BASEMENT FLOOR AREA	584 S.F.
TOTAL	2,142 S.F.

F.A.R. FLOOR AREA CALCULATIONS

1,322 SF (Main Level) + 236 SF (Lower Level) = 1,558 SF (Total)
 - 1,800 SF (Max. Allowed) = 242 SF x 2 = 484 SF (Basement Bonus)
 + 100 SF (Bonus) = 584 SF (Basement)

1,322 SF + 236 SF + 584 SF = 2,142 SF

PROJECT MAX. ALLOWABLE FLOOR AREA = 2,142 SF.

PROJECT TEAM

OWNER: DYLAN & NATASHA WITT
 3636 WASHOE STREET
 DAVIS, CA 95618
 PH: 530-304-0705

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
 157 GRAND AVE. SUITE 106
 PACIFIC GROVE, CA 93950
 PH: 831-312-0410
 CONTACT: LUYEN VU

SURVEYOR: LANDSET ENGINEERING
 520-B CRAZY HORSE CANYON ROAD
 SALINAS, CA 93907
 PH: 831-443-6470
 CONTACT: GUY GIRAUDO

CIVIL: LANDSET ENGINEERING
 520-B CRAZY HORSE CANYON ROAD
 SALINAS, CA 93907
 PH: 831-443-6470
 CONTACT: GUY GIRAUDO

LANDSCAPE: BFS LANDSCAPE ARCHITECTS
 425 PACIFIC STREET #201
 MONTEREY, CALIFORNIA 93940
 PH: 831-646-1383
 CONTACT: SIMON PHILLIPS

ARBORIST: FRANK ONO
 1213 MILES AVENUE
 PACIFIC GROVE, CA 93950
 PH: 831-373-1086

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OWNERSHIP NOTES

- OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:
- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER. HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.
 - THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
 - THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
 - IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/ EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

TREE REMOVAL

THREE (3) TREES TO BE REMOVED: 7", 8" & 8" DIA. HOLLY TREE.

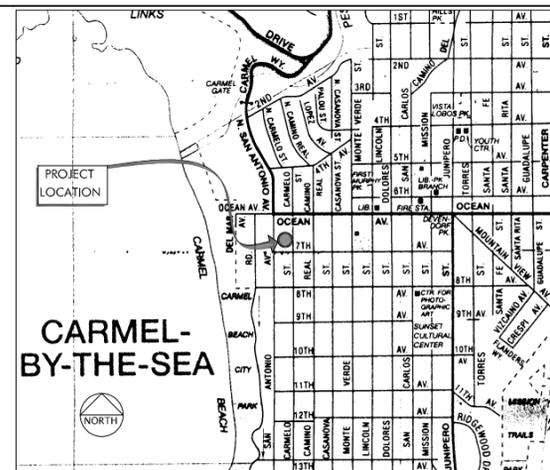
EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCENT EQUIVALENT) IN POWER PER FIXTURE.

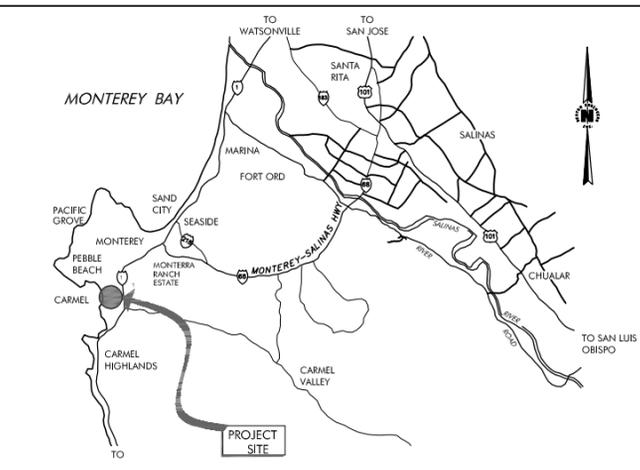
SITE COVERAGE

ALLOWED	556.0 S.F.
PROPOSED IMPERVIOUS COVERAGE	
ENTRY PORCH LANDING	20.0 S.F.
EXTERIOR STAIRS & PORCH	64 S.F.
LIGHT WELLS WALLS	22.0 S.F.
GARAGE DOOR STEPS & LANDING	18.0 S.F.
SITE WALLS / RETAINING WALLS	44.0 S.F.
MASTER BEDROOM PATIO	110.0 S.F.
TOTAL IMPERVIOUS COVERAGE	278.0 S.F.
PROPOSED PERVIOUS COVERAGE	
LIGHT WELLS	60.0 S.F.
TRASH ENCLOSURE FLOOR	30.0 S.F.
DRIVEWAY	40.0 S.F.
STEPPING STONES & WALKWAYS	48.0 S.F.
TOTAL IMPERVIOUS COVERAGE	278.0 S.F.
TOTAL PROPOSED SITE COVERAGE	556.0 S.F.

LOCATION MAP



VICINITY MAP



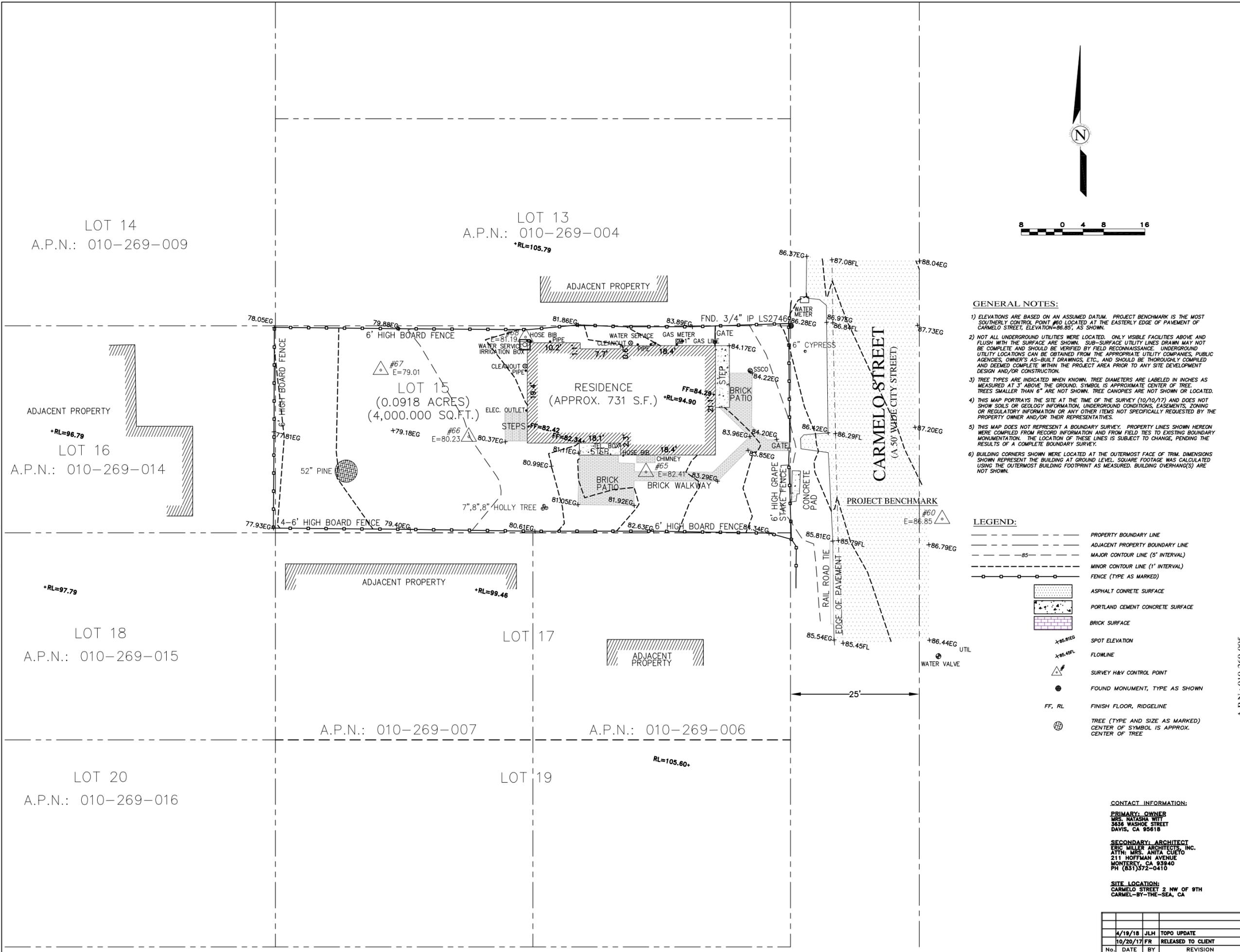
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GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS THE MOST SOUTHERLY CONTROL POINT #60 LOCATED AT THE EASTERLY EDGE OF PAVEMENT OF CARMELO STREET, ELEVATION=86.85', AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3" ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN. TREE CANOPIES ARE NOT SHOWN OR LOCATED.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (10/10/17) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.

LEGEND:

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- FENCE (TYPE AS MARKED)
- ASPHALT CONCRETE SURFACE
- PORTLAND CEMENT CONCRETE SURFACE
- BRICK SURFACE
- SPOT ELEVATION
- FLOWLINE
- SURVEY H&V CONTROL POINT
- FOUND MONUMENT, TYPE AS SHOWN
- FF, RL
- TREE (TYPE AND SIZE AS MARKED)
- CENTER OF SYMBOL IS APPROX. CENTER OF TREE

CONTACT INFORMATION:
PRIMARY: OWNER
 MRS. NATASHA WITT
 3636 WASHOE STREET
 DAVIS, CA 95618
SECONDARY: ARCHITECT
 ERIC MILLER ARCHITECTS, INC.
 ATTN: MRS. ANITA CUESTO
 211 HOFFMAN AVENUE
 MONTEREY, CA 93940
 PH (831)372-0410
SITE LOCATION:
 CARMELO STREET 2 NW OF 9TH
 CARMELO-BY-THE-SEA, CA

TOPOGRAPHIC MAP

LOT 15, BLOCK "U", AS SHOWN IN VOLUME 1
 OF CITIES & TOWNS AT PAGE 45-1/2
 CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
 FOR
 MRS. NATASHA WITT

A.P.N.: 010-269-005

(E) SITE / TOPOGRAPHIC MAP

JOB NAME:
Witt Residence
 Carmelo 2NW of 9th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19
 SCALE: 1/8" = 1'-0"
 DRAWN: CAD
 JOB NUMBER: 17.20

SCALE: 1"=8'
 DATE: OCTOBER 2017
 JOB NO. 1735-01

No.	DATE	BY	REVISION
	4/19/18	JLH	TOPO UPDATE
	10/20/17	FR	RELEASED TO CLIENT

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 OF 1 SHEETS

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APPROVED BY:

GUY R. GIRAUDO P.L.S. No. 8703



CONSULTANT:

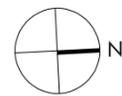
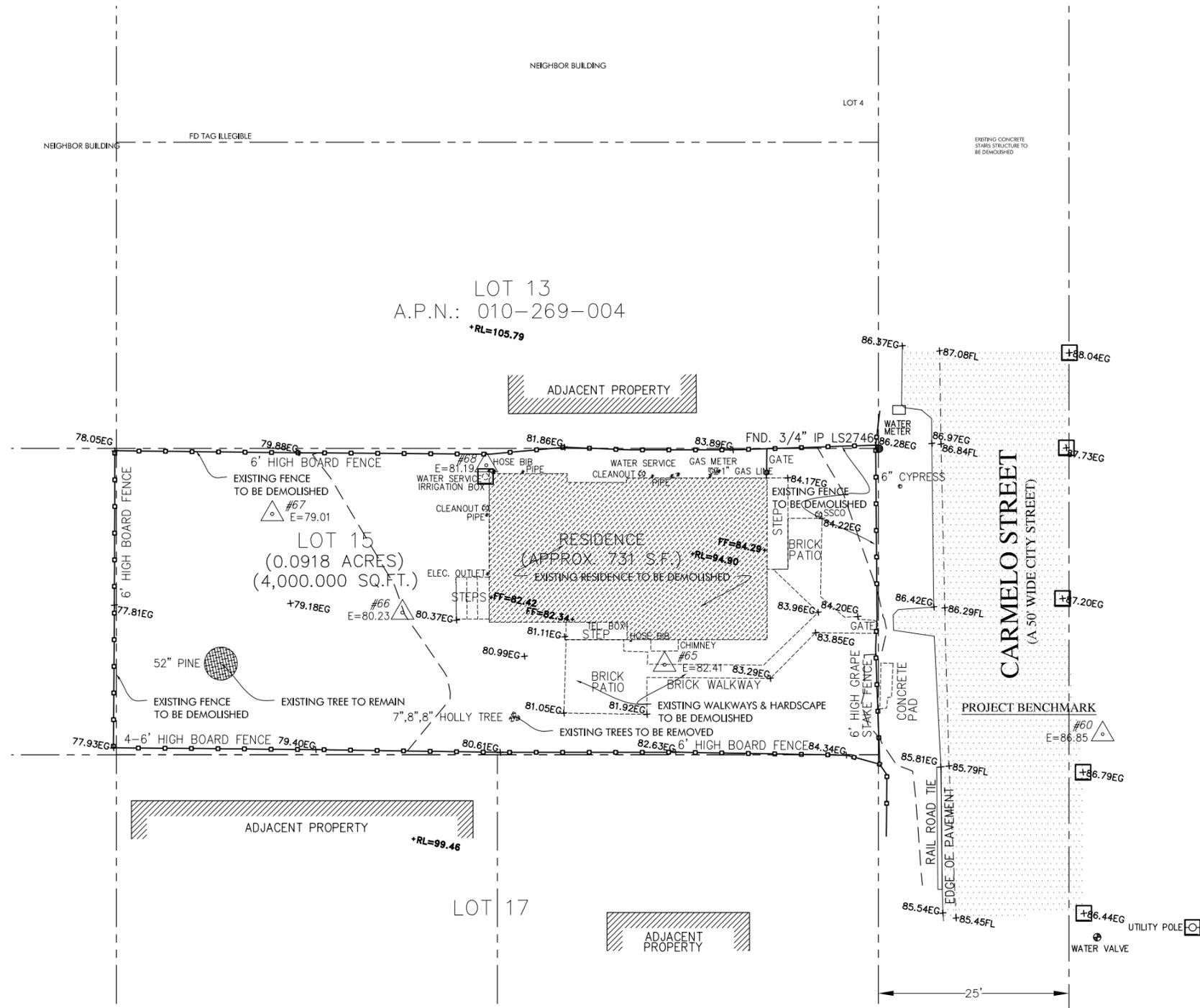
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ARCHITECT

MRS. NATASHA WITT

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PROPOSED DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



NOTE:

ALL EXISTING BUILDING STRUCTURES, PAVEMENTS, WALKWAYS, FENCES AND RETAINING WALLS, STAIRS ARE TO BE DEMOLISHED, REMOVED AND CLEARED TO GRADE. ON SITE UTILITIES (ELECTRICAL, GAS, WATER CABLE TELEPHONE) ARE TO BE RELOCATED.

TREE REMOVAL

THREE (3) TREES TO BE REMOVED: 7", 8" & 8" DIA. HOLLY TREE.

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PROPOSED DEMOLITION PLAN

JOB NAME: **Witt Residence**
 Carmelo 2NW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

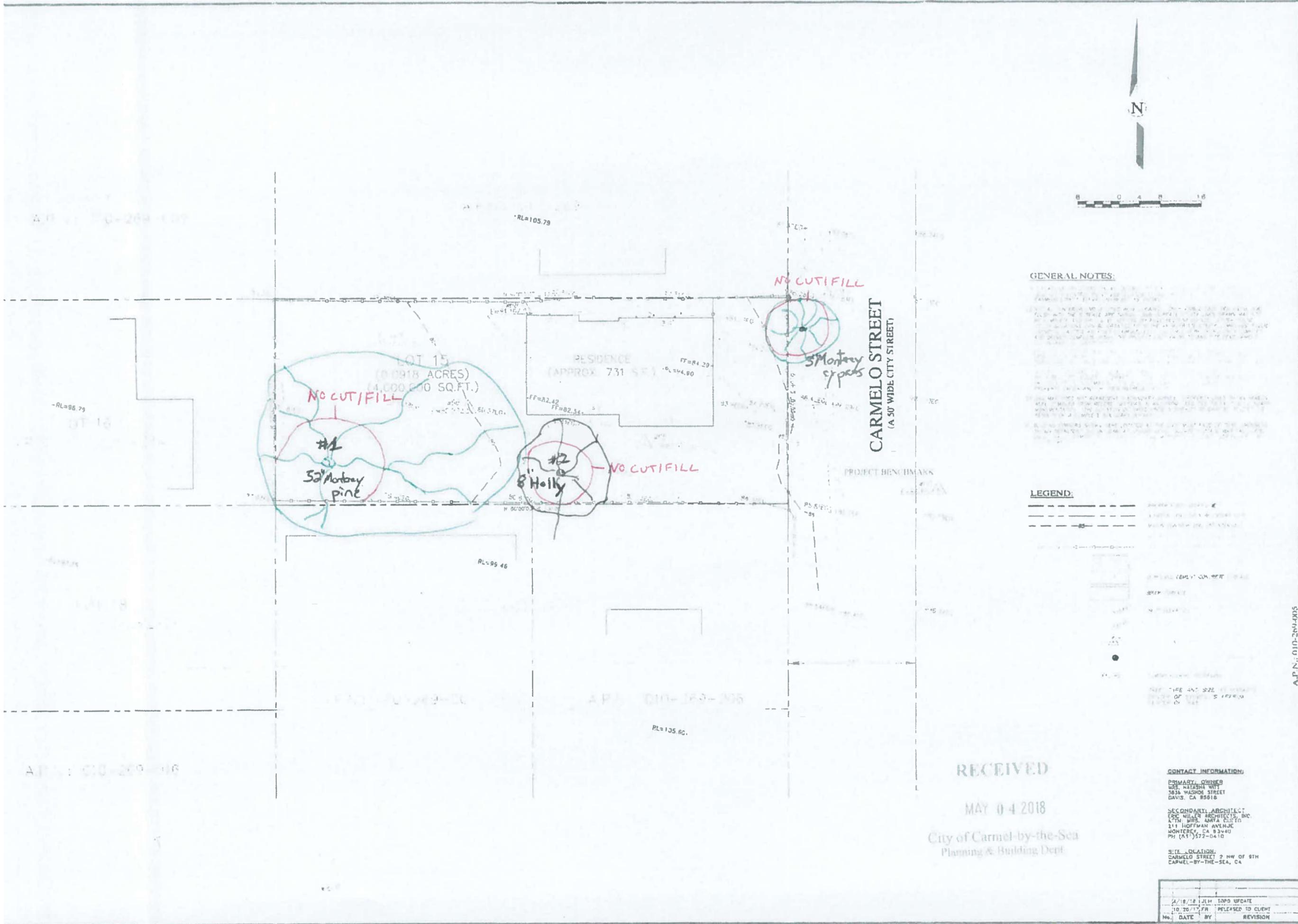
DATE: 7/10/19

SCALE: 1/8" = 1'-0"

DRAWN: CCR

JOB NUMBER: 17.20

A-1.2
 SHEET OF



GENERAL NOTES:

1. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

2. THE SHOWN LOT LINES ARE BASED ON THE RECORD PLAT FOR LOT 15, BLOCK "U", AS SHOWN IN VOLUME 1 OF CITIES & TOWNS AT PAGE 45-1/2 OF CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA.

3. THE SHOWN LOT LINES ARE BASED ON THE RECORD PLAT FOR LOT 15, BLOCK "U", AS SHOWN IN VOLUME 1 OF CITIES & TOWNS AT PAGE 45-1/2 OF CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA.

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LEGEND:

--- PROPERTY BOUNDARY

--- LOT BOUNDARY

--- EASEMENT

--- PROJECT BENCHMARK

--- MONTEREY CYPRESS

--- MONTEREY PINE

--- 5' MONTEREY CYPRESS

--- 3' MONTEREY PINE

--- 1" MONTEREY CYPRESS

--- 1" MONTEREY PINE

RECEIVED
MAY 04 2018
City of Carmel-by-the-Sea
Planning & Building Dept.

CONTACT INFORMATION:
PRIMARY OWNERS
MRS. NATASHA WITT
3836 WASHOE STREET
DAVIS, CA 95618

SECONDARY ARCHITECT
ERIC MILLER ARCHITECTS, INC.
ATTN: MRS. ANITA CLYDE
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PH: (831) 572-0410

SITE LOCATION:
CARMELO STREET, 2 NW OF 6TH
CARMEL-BY-THE-SEA, CA

A-1.4

SCALE: 1"=8'
DATE: OCTOBER 2017
JOB NO. 1735-01

No.	DATE	BY	REVISION
1	10/18/17	JEM	TOPO UPDATE
2	10/20/17	JEM	RELEASED TO CLIENT

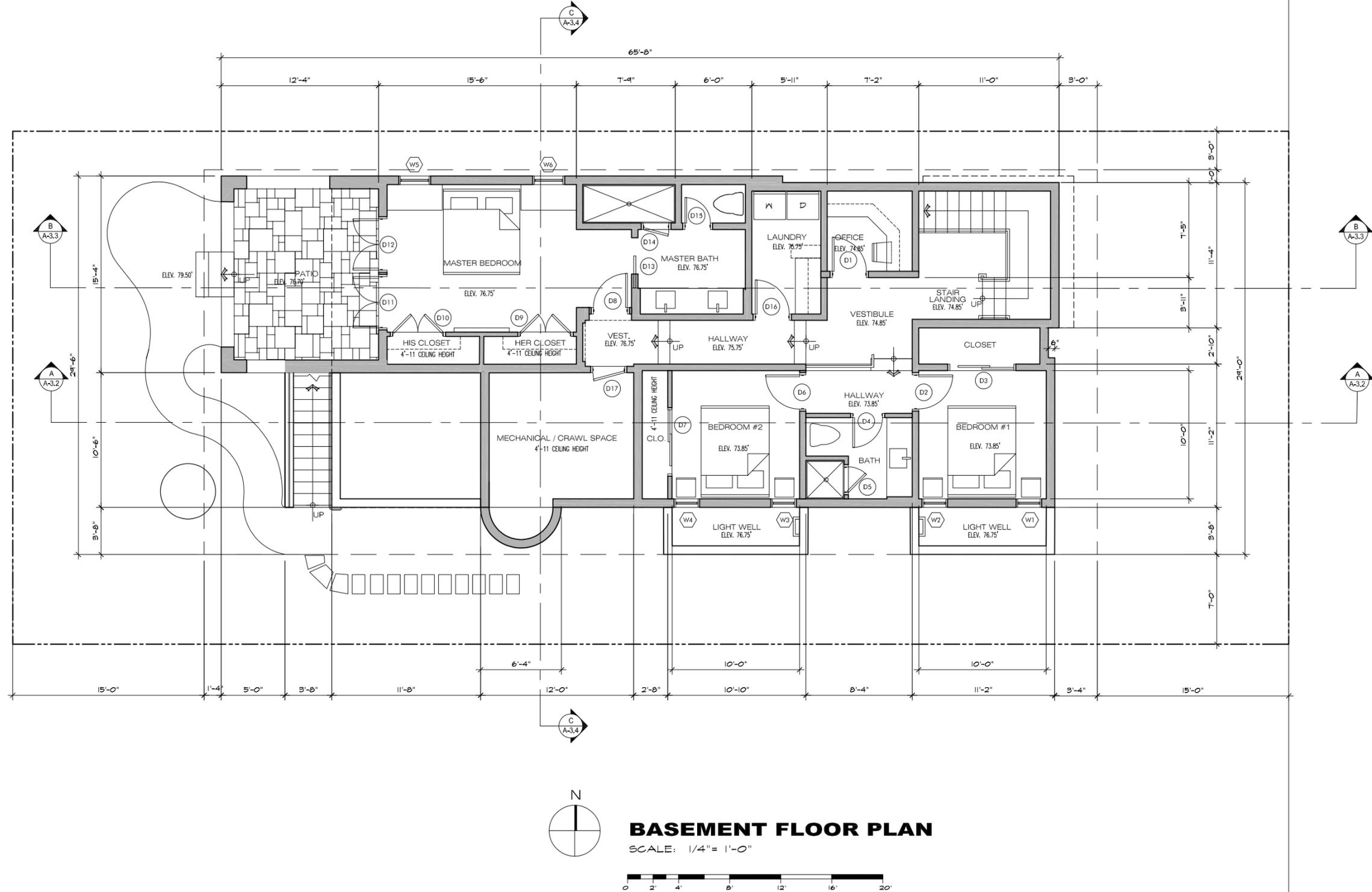
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OF 1 SHEETS

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1375 S. CLAY STREET, SUITE 200
SAN JOSE, CALIFORNIA 95128
PH: (415) 435-1941
WWW.LANDSETENGINEERS.COM

APPROVED BY:
GUY B. CIRIACI
P.L.S. No. 8702

REGISTERED PROFESSIONAL LAND SURVEYOR & PLANNING ENGINEER
STATE OF CALIFORNIA
NO. 10310
EXPIRES 12-31-19

A.P. N.: 010-269-005
TOPOGRAPHIC MAP
LOT 15, BLOCK "U", AS SHOWN IN VOLUME 1 OF CITIES & TOWNS AT PAGE 45-1/2 OF CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
BY: MRS. NATASHA WITT



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ARCHITECT

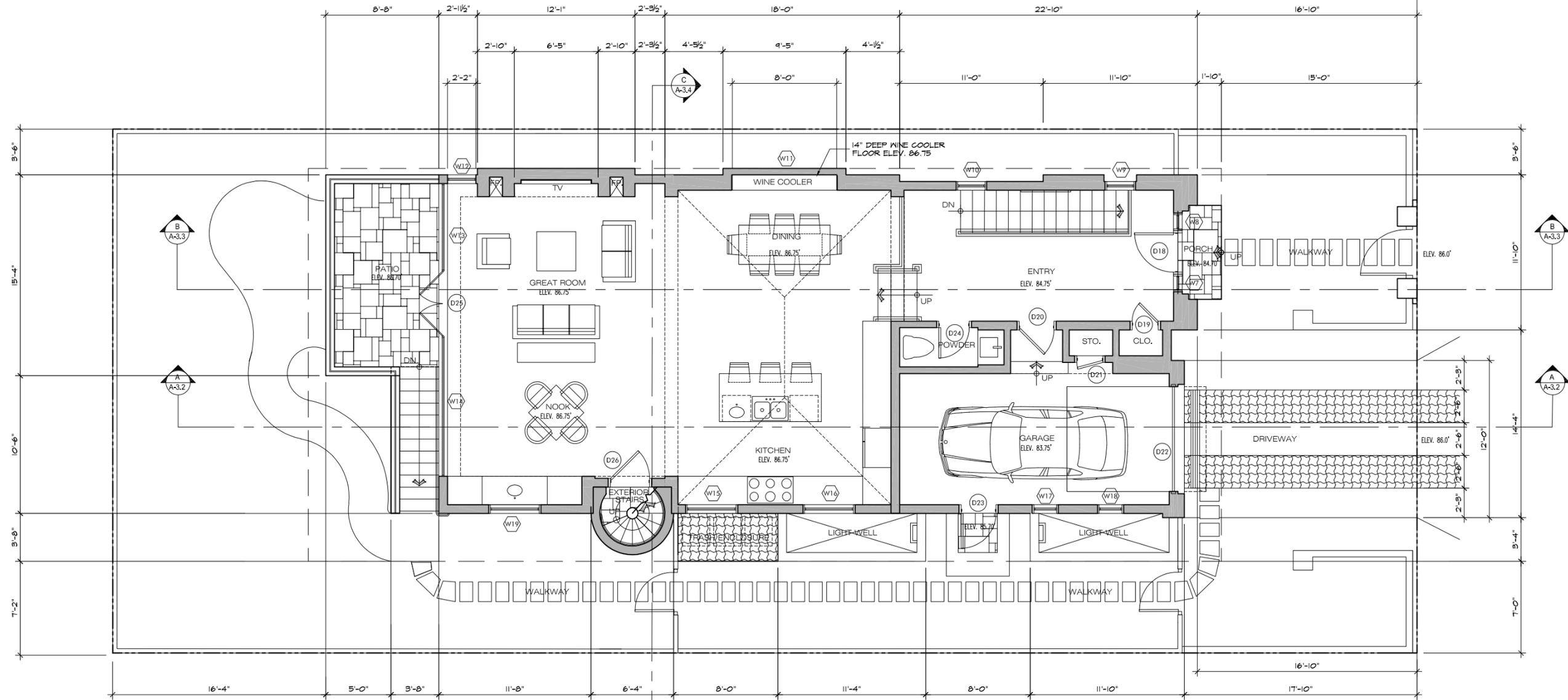
BASEMENT FLOOR PLAN

JOB NAME: **Witt Residence**
 Carmelo 2NW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19
 SCALE: 1/4"=1'-0"
 DRAWN: DM
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MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISION	No.

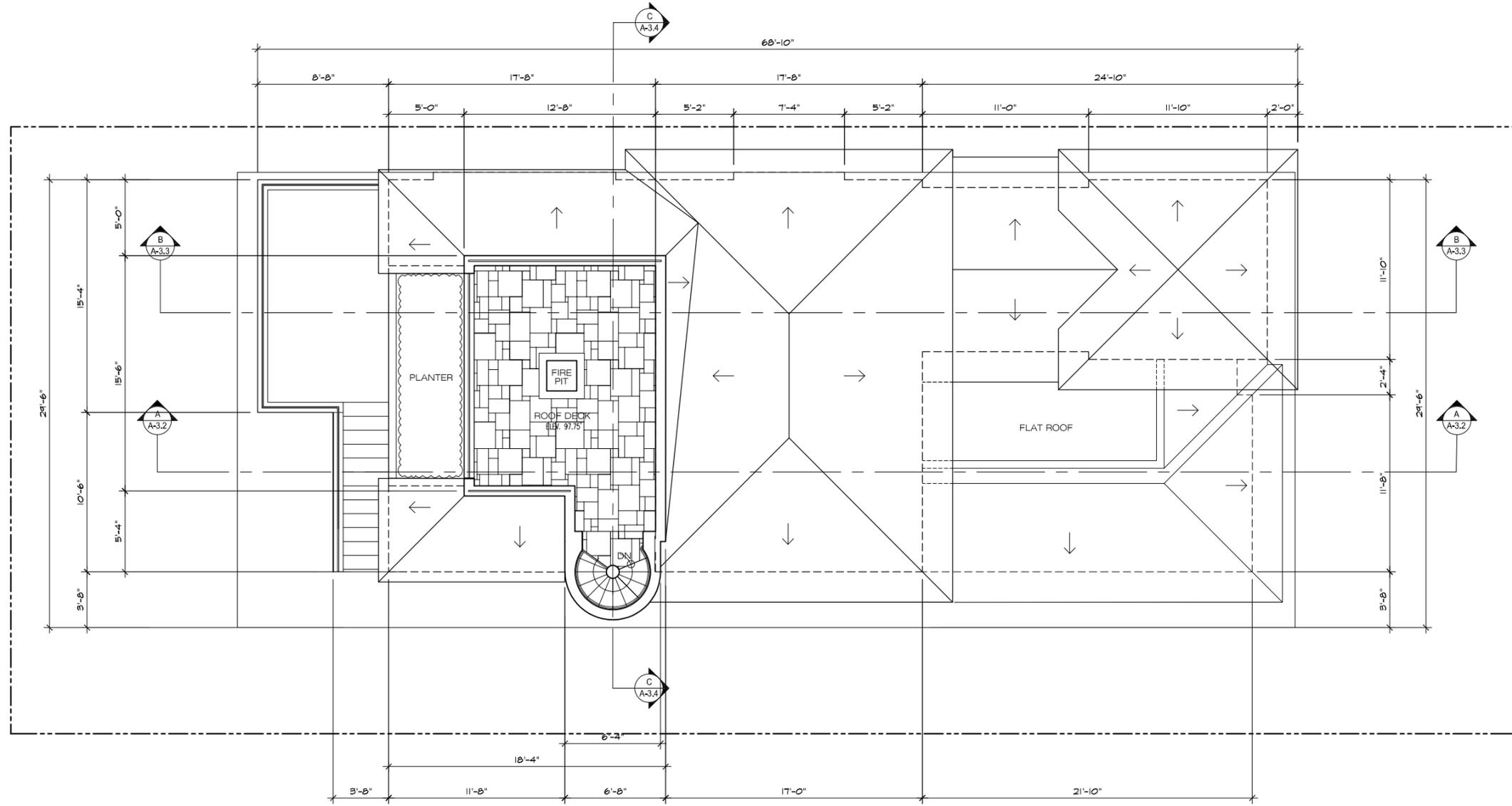
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MAIN FLOOR PLAN
 JOB NAME: Witt Residence
 Carmelo 2NW of 4th Street
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A-2.1
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ROOF PLAN

SCALE: 1/4" = 1'-0"



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DATE: 7/10/19

SCALE: 1/4" = 1'-0"

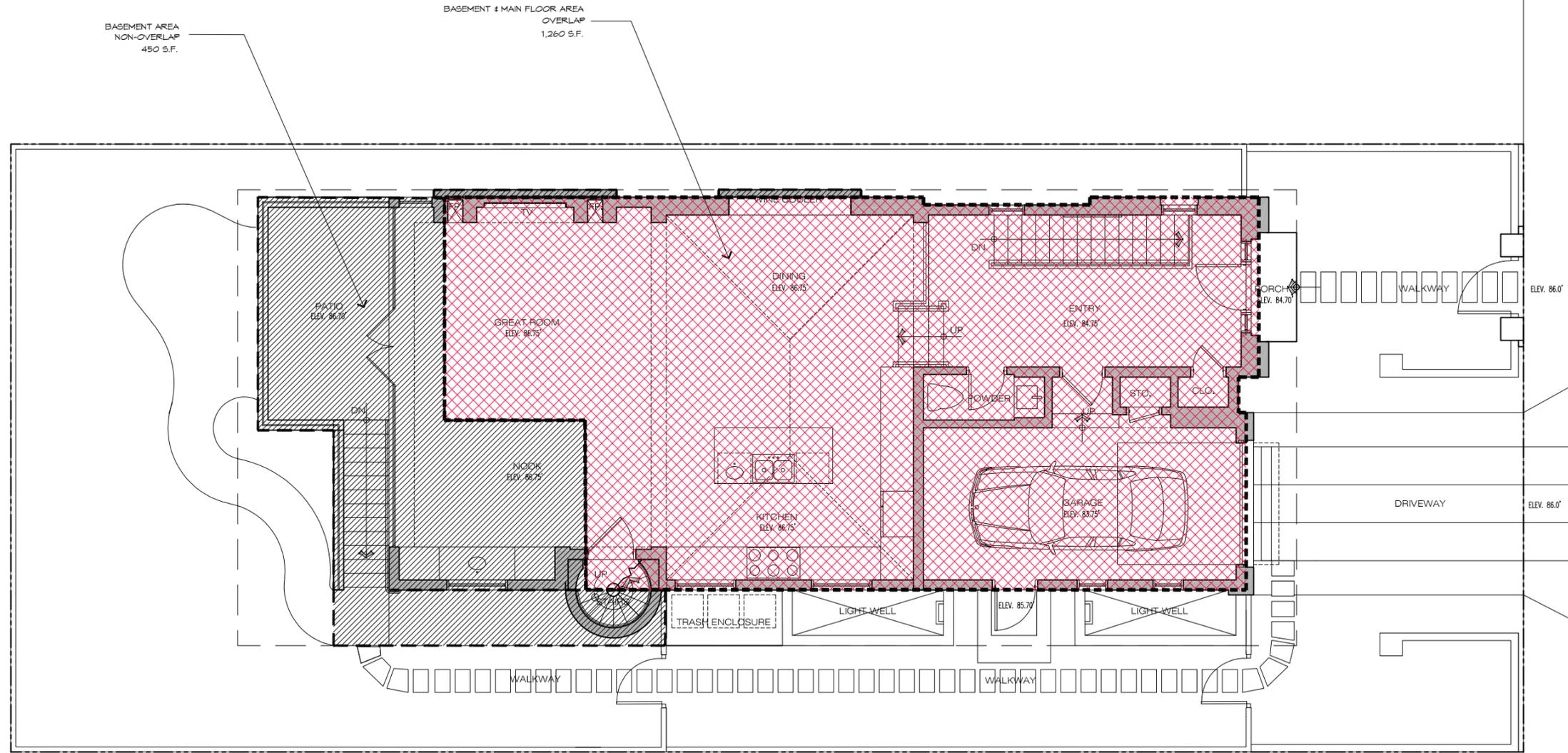
DRAWN: DM

JOB NUMBER: 17.20

A-2.2

SHEET OF

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BASEMENT AREA
NON-OVERLAP
450 S.F.

BASEMENT & MAIN FLOOR AREA
OVERLAP
1,260 S.F.

LEGEND	
	OVERLAPPING & NON OVERLAPPING FLOOR AREA
	OVERLAPPING FLOOR AREA = 1,260 SF.
	NON-OVERLAPPING FLOOR AREA = 450 SF.



BASEMENT / LOWER & MAIN FLOOR OVERLAY

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

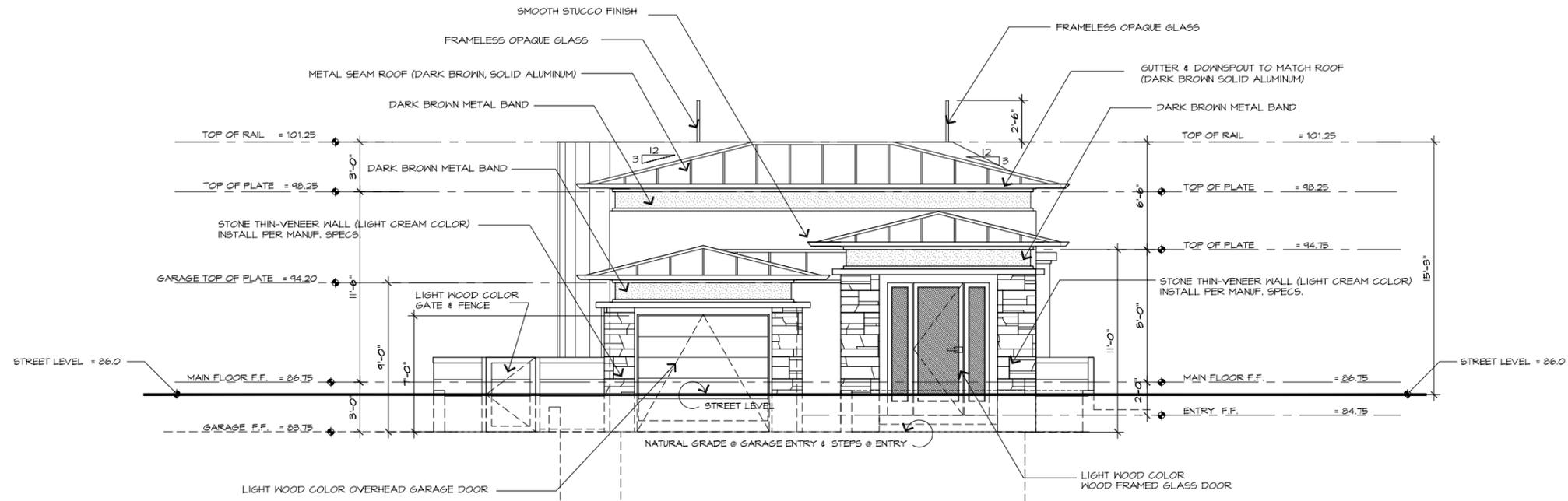
BASEMENT/LOWER & MAIN FLOOR OVERLAY

JOB NAME:
Witt Residence
 Carmelo 2NW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19
 SCALE: 1/4"=1'-0"
 DRAWN: DM
 JOB NUMBER: 17.20

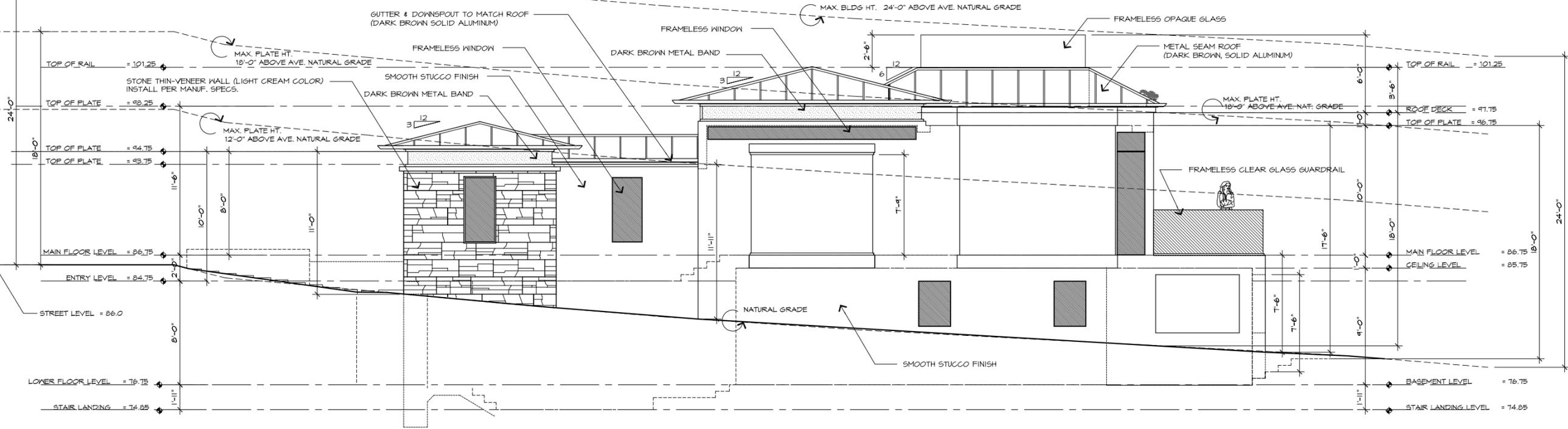
A-2.3
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FRONT / EAST ELEVATION

SCALE: 1/4" = 1'-0"



SIDE / NORTH ELEVATION

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

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EXTERIOR ELEVATIONS

JOB NAME:
Witt Residence
 Carmelo 2NW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19

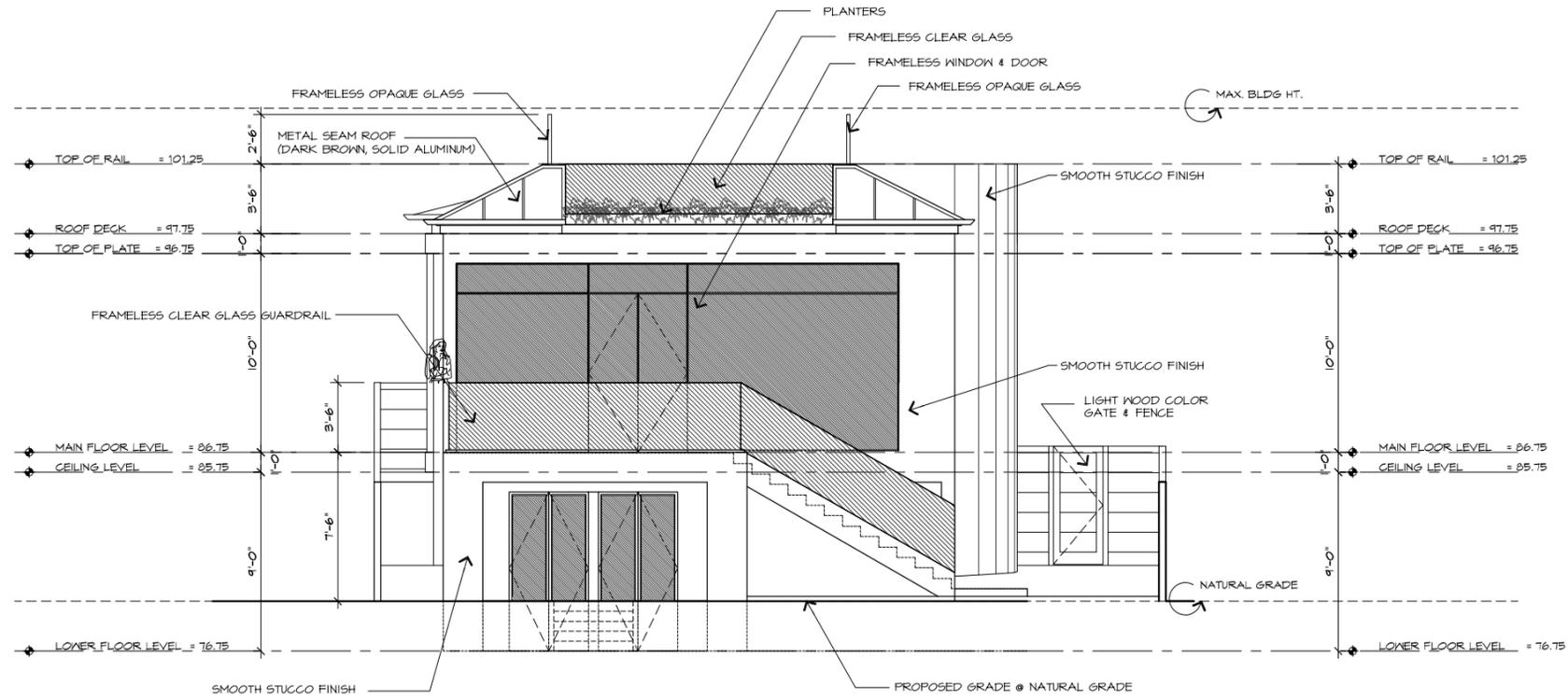
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DRAWN: DM

JOB NUMBER: 17.20

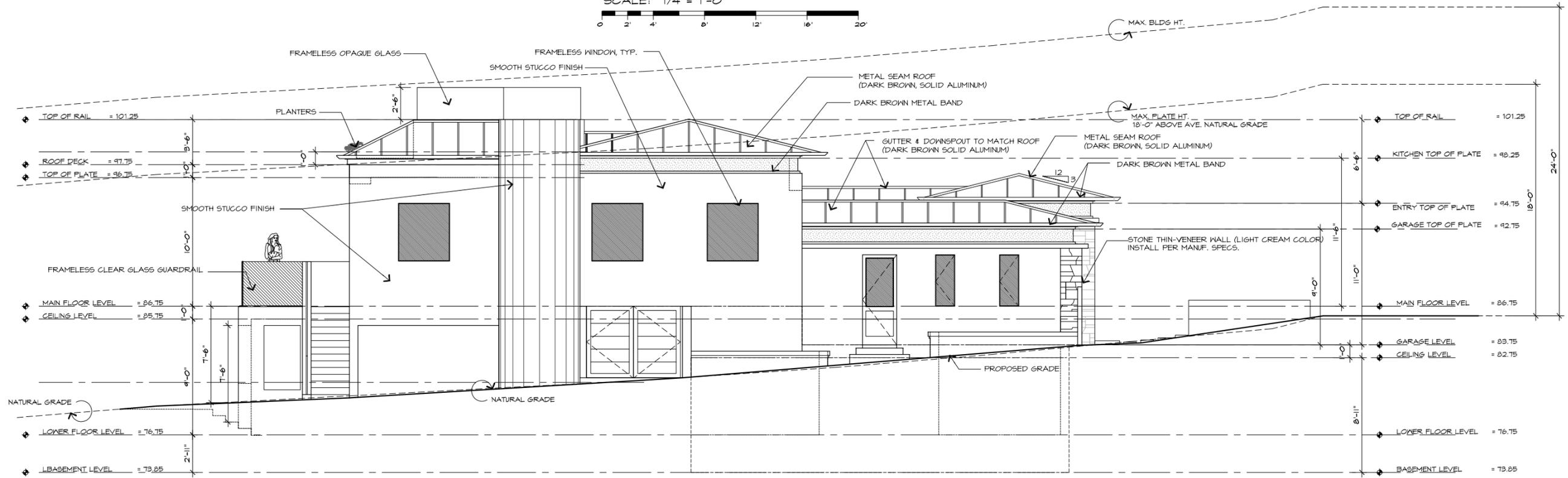
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REAR / WEST ELEVATION

SCALE: 1/4" = 1'-0"
0 2' 4' 8' 12' 16' 20'



SIDE / SOUTH ELEVATION

SCALE: 1/4" = 1'-0"
0 2' 4' 8' 12' 16' 20'

REVISION	No.

CONSULTANT:

ARCHITECT
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EXTERIOR ELEVATIONS

JOB NAME:
Witt Residence
 Carmelo 2NW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19

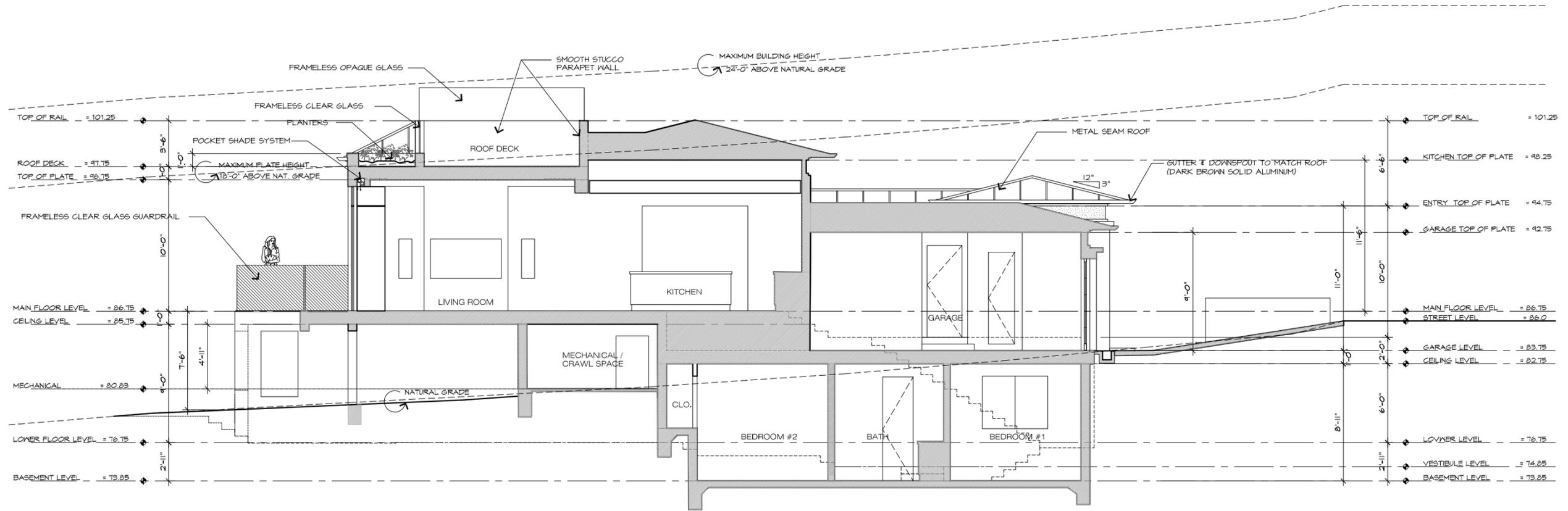
SCALE: 1/4" = 1'-0"

DRAWN: DM

JOB NUMBER: 17.20

A-3.1
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BUILDING SECTION 'A' - 'A'

SCALE: 1/4" = 1'-0"
 0 2' 4' 8' 12' 16' 20'

REVISION	No.

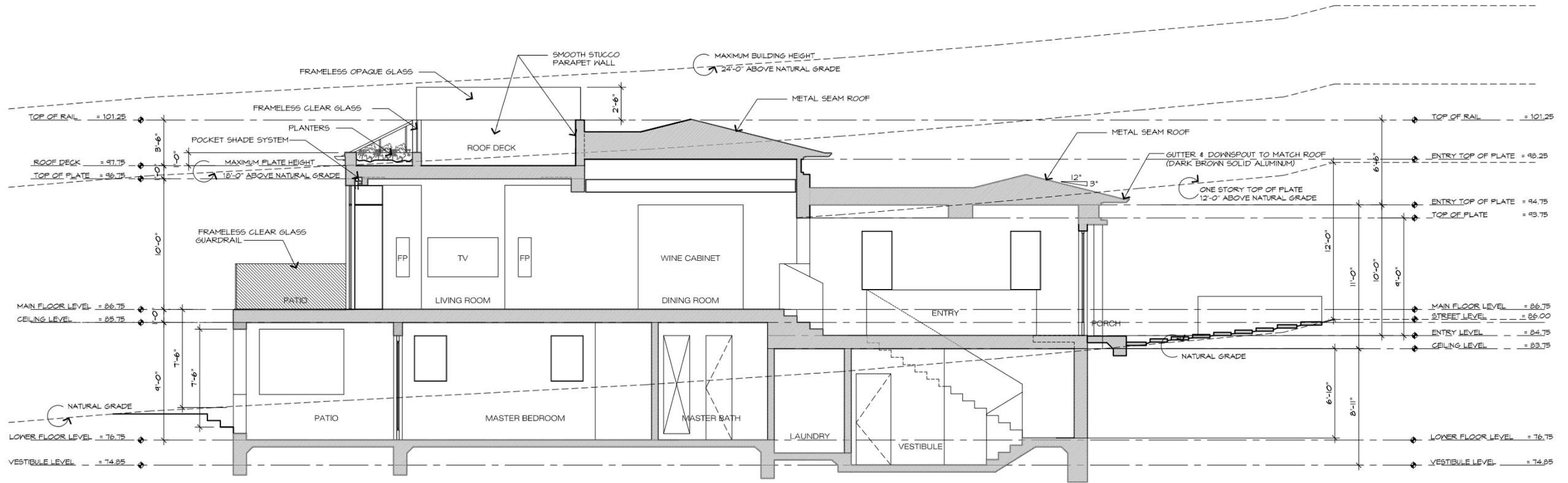
CONSULTANT:

ARCHITECT
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BUILDING SECTION 'A' - 'A'
 JOB NAME: **Witt Residence**
 Carmelo 21NW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19
 SCALE: 1/4"=1'-0"
 DRAWN: DM
 JOB NUMBER: 17.20

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BUILDING SECTION 'B' - 'B'

SCALE: 1/4" = 1'-0"
0 2' 4' 8' 12' 16' 20'

REVISION	No.

CONSULTANT:

ARCHITECT

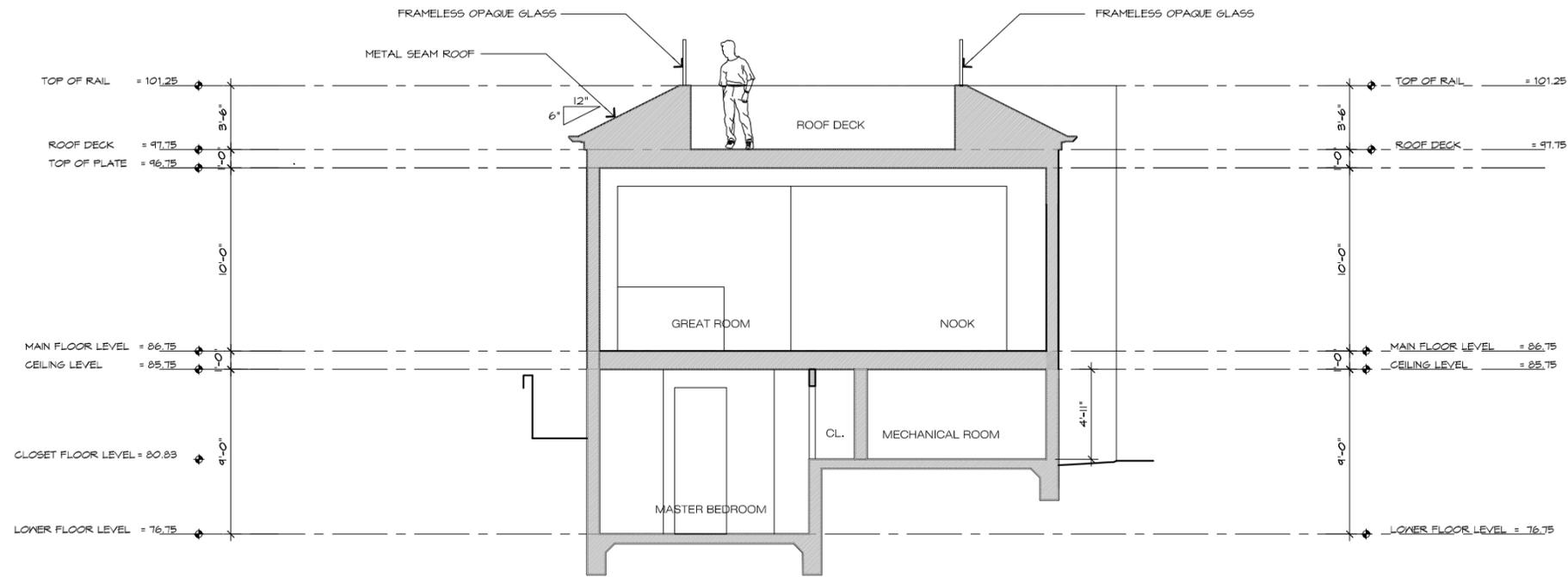
ERIC MILLER ARCHITECTS, INC.

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BUILDING SECTION 'B' - 'B'

JOB NAME: **Witt Residence**
 Carmelo 210W of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19
 SCALE: 1/4"=1'-0"
 DRAWN: DM
 JOB NUMBER: 17.20



BUILDING SECTION 'C' - 'C'

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

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BUILDING SECTION 'C' - 'C'

JOB NAME:
Witt Residence
 Carmelo 210A of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19

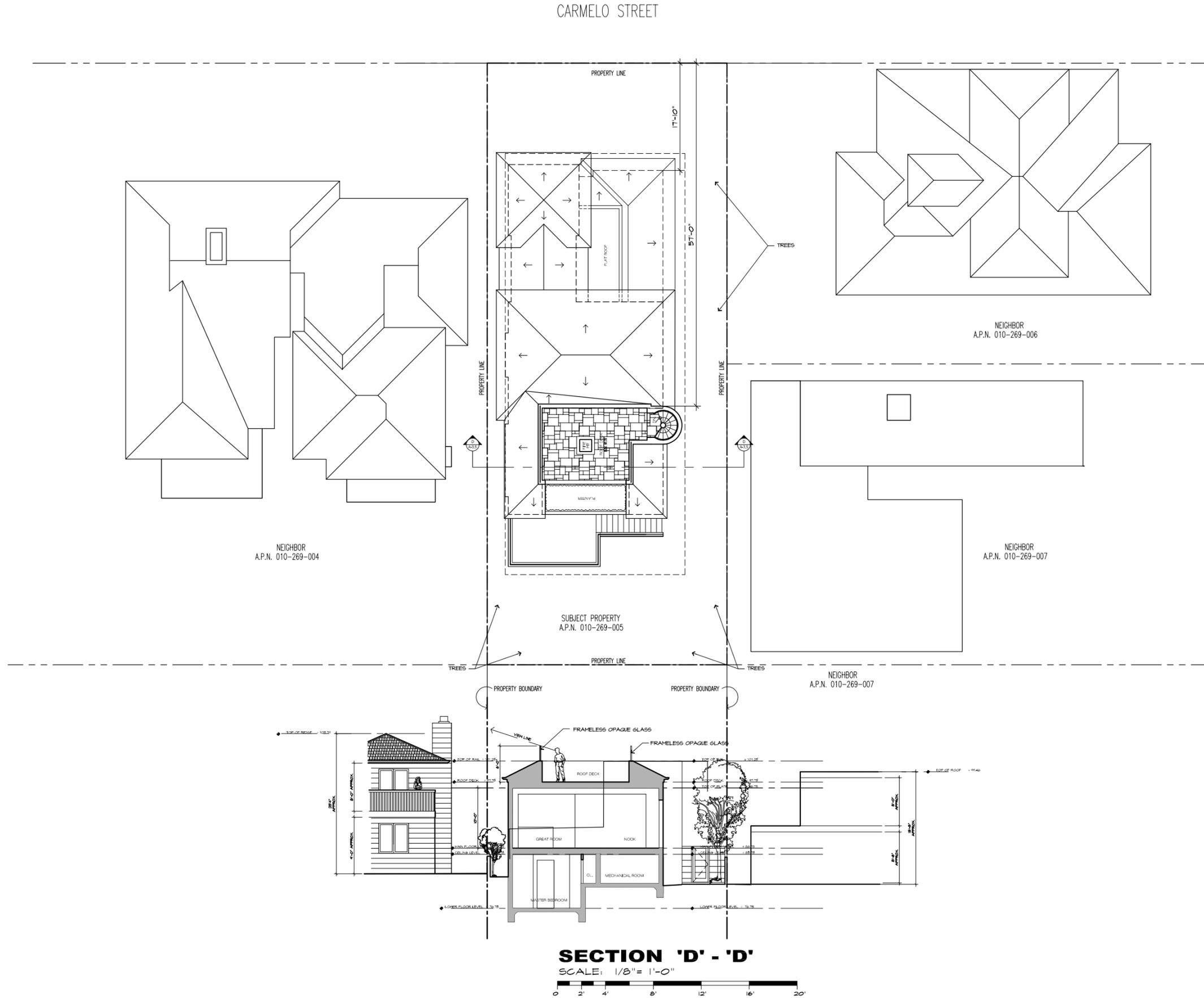
SCALE: 1/4" = 1'-0"

DRAWN: DM

JOB NUMBER: 17.20

A-3.4
 SHEET OF

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SECTION 'D' - 'D'

SCALE: 1/8" = 1'-0"



REVISION	No.

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BUILDING SECTION 'D' - 'D'

JOB NAME:
Witt Residence
 Carmelo 2NW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19

SCALE: 1/4" = 1'-0"

DRAWN: DM

JOB NUMBER: 17.20

A-3.5

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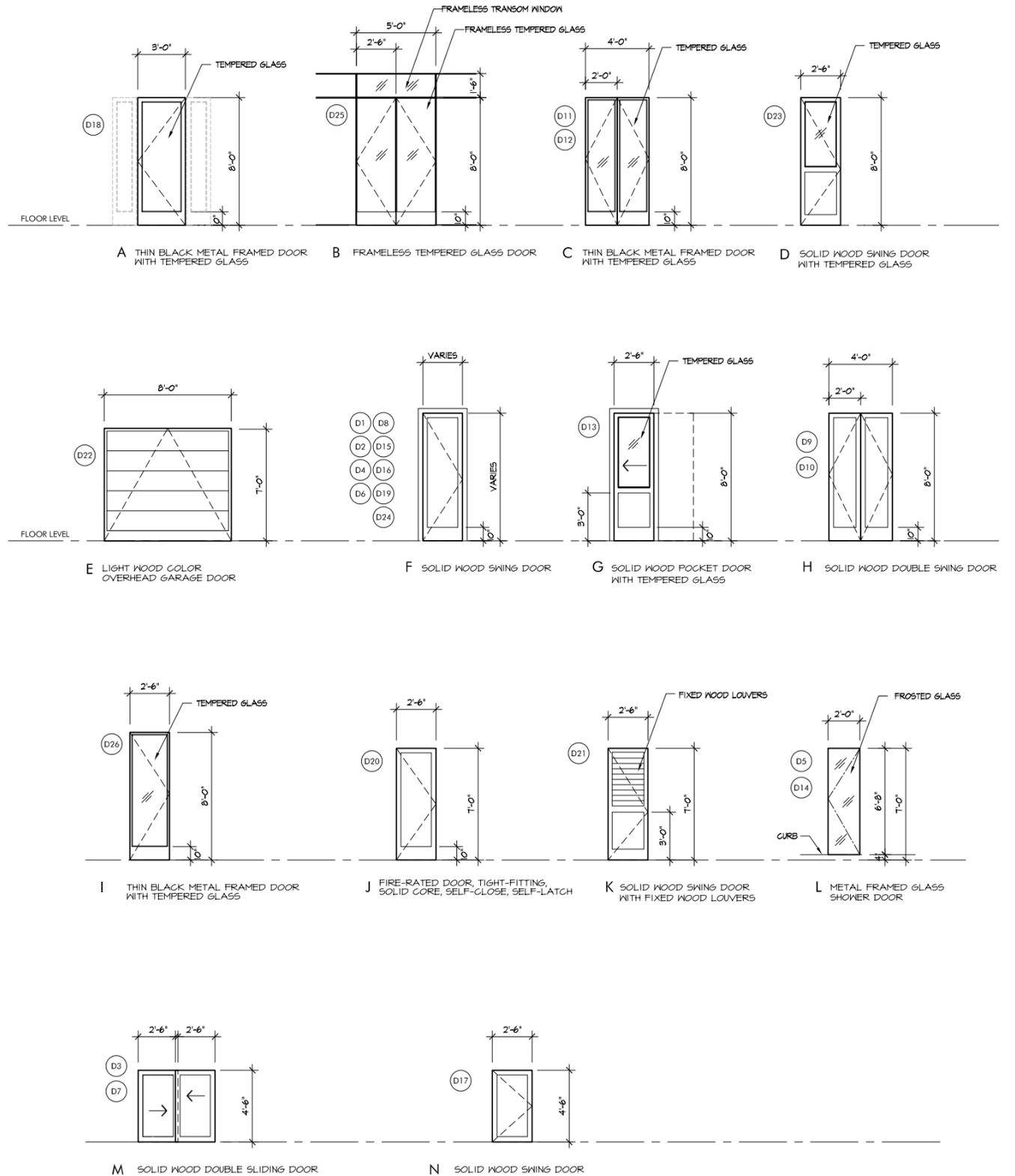
DOOR SCHEDULE												
DOOR NO.	TYPE	DOOR SIZE		ROOM NO.	ROOM NAME	THKNS.	DOOR MAT.	FRAME MAT.	HEAD DETAIL	JAMB DETAIL	THRSHD DETAIL	REMARKS
		WIDTH *W*	HEIGHT *H*									
D1	F	2'-8"	7'-0"		OFFICE	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D2	F	2'-8"	8'-0"		BEDROOM #1	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D3	M	PR 2'-6"	4'-6"		CLOSET	1-3/4"	WOOD	WOOD				SOLID WOOD DOUBLE SLIDING DOOR
D4	F	2'-4"	8'-0"		BATH	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D5	L	2'-0"	6'-8"		SHOWER		GLASS	METAL				METAL FRAMED FROSTED GLASS SHOWER DOOR
D6	F	2'-8"	8'-0"		BEDROOM #2	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D7	M	PR 2'-6"	4'-6"		CLOSET	1-3/4"	WOOD	WOOD				SOLID WOOD DOUBLE SLIDING DOOR
D8	F	2'-8"	8'-0"		MASTER BEDROOM	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D9	H	FR 2'-0"	8'-0"		HER CLOSET	1-3/4"	WOOD	WOOD				SOLID WOOD DOUBLE SWING DOOR
D10	H	FR 2'-0"	8'-0"		HIS CLOSET	1-3/4"	WOOD	WOOD				SOLID WOOD DOUBLE SWING DOOR
D11	C	FR 2'-0"	8'-0"		MASTER BEDROOM		GLASS	METAL				METAL FRAMED TEMPERED GLASS DOOR
D12	C	FR 2'-0"	8'-0"		MASTER BEDROOM		GLASS	METAL				METAL FRAMED TEMPERED GLASS DOOR
D13	G	2'-6"	8'-0"		MASTER BATH	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR WITH TEMPERED GLASS
D14	L	2'-0"	6'-8"		SHOWER		GLASS	METAL				METAL FRAMED FROSTED GLASS SHOWER DOOR
D15	F	2'-8"	8'-0"		WATER CLOSET	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D16	G	2'-8"	8'-0"		LAUNDRY	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D17	N	2'-6"	4'-0"		MECH/CRAWL SPACE	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D18	A	3'-0"	8'-0"		ENTRY		GLASS	METAL				METAL FRAMED TEMPERED GLASS DOOR
D19	F	2'-0"	8'-0"		CLOSET	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D20	J	2'-8"	8'-0"		GARAGE	1-3/4"	WOOD	WOOD				FIRE-RATED DOOR, TIGHT-FITTING, SOLID CORE, SELF-CLOSE, SELF-LATCH
D21	K	2'-6"	7'-0"		STORAGE	1-3/4"	WOOD	WOOD				SWING SOLID WOOD DOOR WITH FIXED WOOD LOUVERS
D22	E	8'-0"	7'-0"		GARAGE	1-3/4"	WOOD	WOOD				LIGHT WOOD COLOR OVERHEAD GARAGE DOOR
D23	D	2'-6"	8'-0"		GARAGE	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR WITH TEMPERED GLASS
D24	F	2'-0"	8'-0"		POUNDER	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D25	B	PR 2'-6"	8'-0"		GREAT ROOM		GLASS	METAL				FRAMELESS TEMPERED GLASS DOOR W/ TRANSOM
D26	M	2'-6"	8'-0"		NOOK	1-3/4"	WOOD	WOOD				METAL FRAMED TEMPERED GLASS DOOR

DOOR NOTES

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.:

- SHALL BE 2'-0" X 6'-8" MINIMUM.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- PROVIDE (2) PAIR- 4-1/2" X 4-1/2" BUTTS ON ALL DOORS.
- ALL HARDWARE TO BE ASHLEY NORTON HARDWARE OR BETTER.
- ALL FIRE RATED DOORS SHALL HAVE PEMKO 588D (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.
- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
- SHALL BE SOLID CORE.
- ALL DOOR GLAZING TO BE TEMPERED.
- ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC, SECTION 2407.
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING GLASS. UNITS SHALL BE INSULATING GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 20 MINUTES.
- REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
- REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.
- EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2014.

DOOR TYPES



REVISION	No.

CONSULTANT:

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ARCHITECT

DOOR SCHEDULE

JOB NAME: **Witt Residence**
 Carmelo 210W of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19

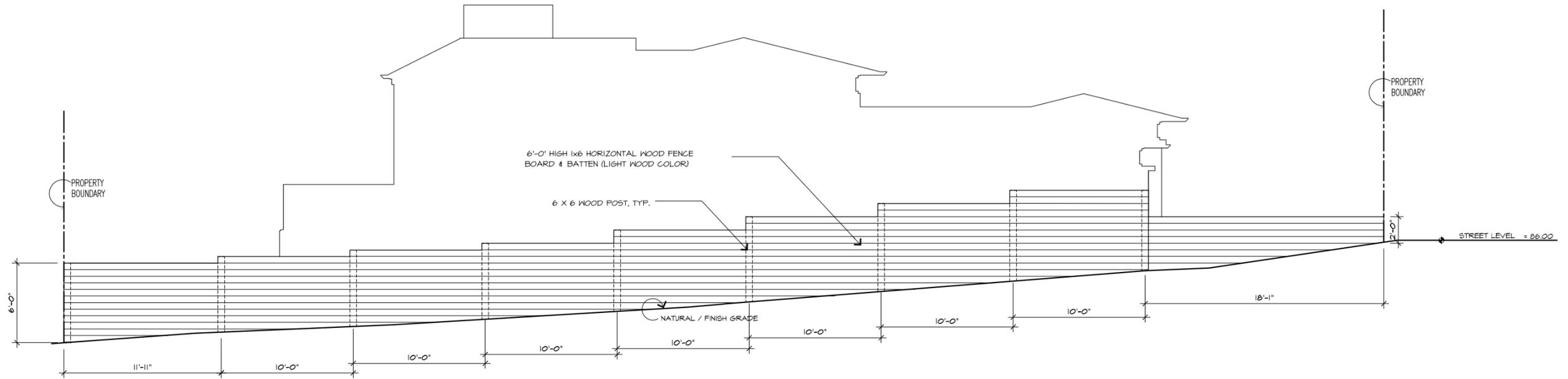
SCALE: AS NOTED

DRAWN: DM

JOB NUMBER: 17.20

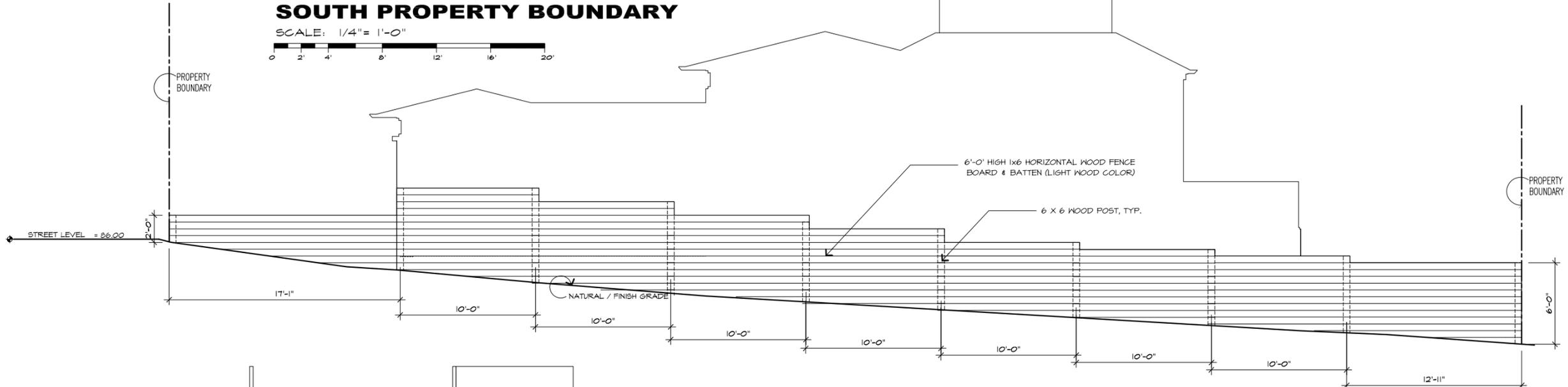
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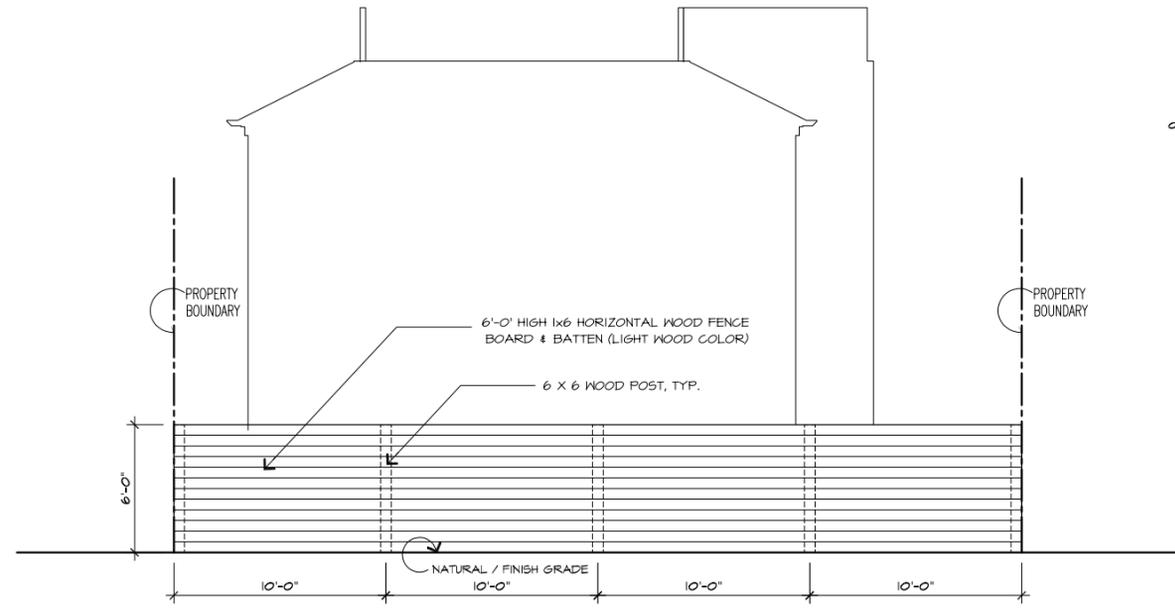
SOUTH PROPERTY BOUNDARY

SCALE: 1/4" = 1'-0"



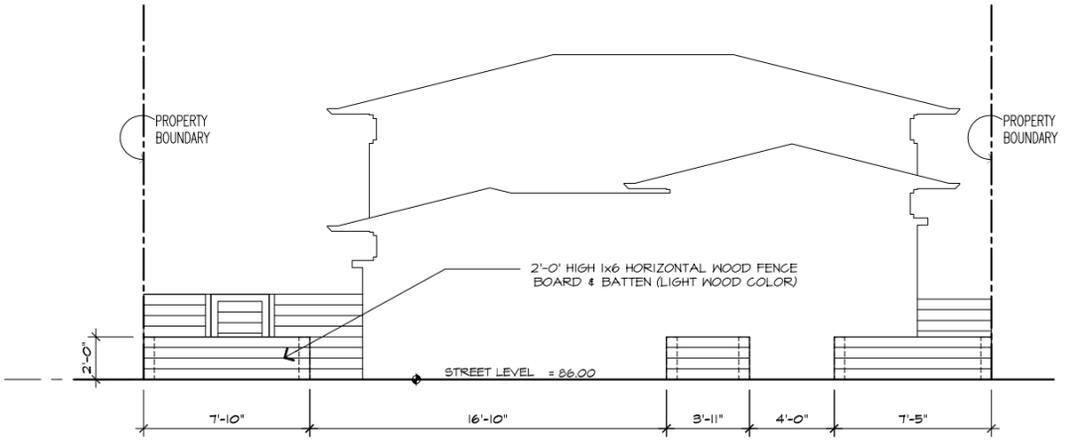
NORTH PROPERTY BOUNDARY

SCALE: 1/4" = 1'-0"



WEST PROPERTY BOUNDARY

SCALE: 1/4" = 1'-0"



EAST PROPERTY BOUNDARY

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ARCHITECT

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FENCING ELEVATIONS & DETAILS

JOB NAME: **Witt Residence**
 Carmelo 21W of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19
 SCALE: 1/4" = 1'-0"
 DRAWN: DM
 JOB NUMBER: 17.20



PERMEABLE PAVERS

10 PAVERS SAMPLE



WOOD ENTRY EXTERIOR DOOR
(LIGHT WOOD COLOR TO MATCH GARAGE DOOR)

7 EXTERIOR DOOR



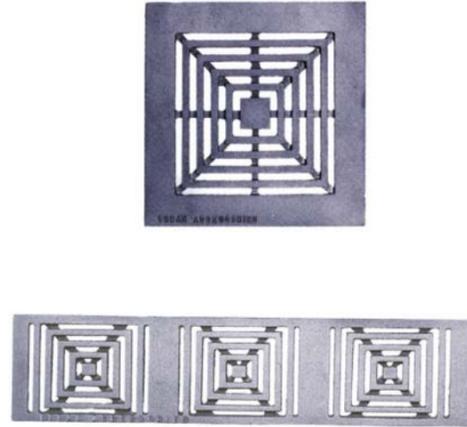
METAL GUTTER AND DOWNSPOUT
(DARK BROWN, SOLID ALUMINUM)

4 GUTTER and DOWNSPOUT DOWNSPOUT



COLOR: DARK BROWN
BY: CUSTOM-BILT METALS

1 METAL ROOFING



11 TRENCH GRATES DRAIN COVER



FRAMELESS EXTERIOR DOOR AND WINDOW

8 WINDOW SAMPLE



LIGHT WOOD COLOR GARAGE DOOR

5 GARAGE DOOR SAMPLE



FOND DU LAC STONE THIN-VENEER WALL
(LIGHT CREAM COLOR)

2 EXTERIOR STONE WALL



12 FRAMELESS GLASS GUARDRAIL & STAINLESS STEEL HANDRAIL



9 GARDEN LIGHT



EXTERIOR FLOOR TILE SAMPLE

6 TILE FLOORING



SMOOTH STUCCO WALL - LIGHT CREAM COLOR

3 STUCCO WALL FINISH

REVISION	No.

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MATERIAL SAMPLE

JOB NAME: **Witt Residence**
 Carmelo 2NW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19
 SCALE: N.T.S.
 DRAWN: DM
 JOB NUMBER: 17.20



EXTERIOR PERSPECTIVE

REVISION	No.

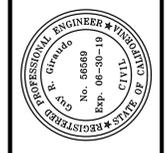
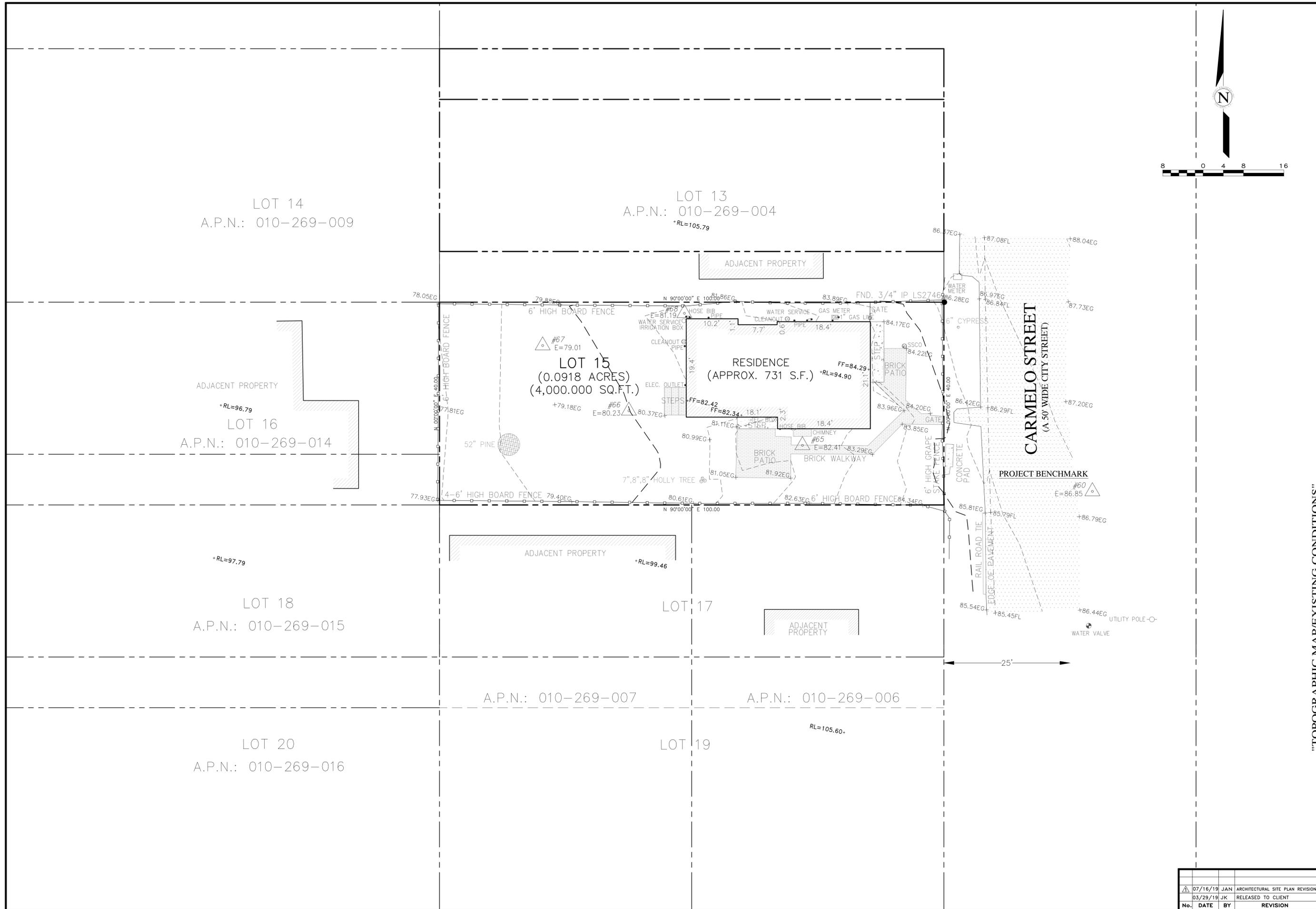
CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

RENDERING
 JOB NAME: **Witt Residence**
 Carmelo 2NW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 7/10/19
 SCALE: N.T.S.
 DRAWN: HRM
 JOB NUMBER: 17.20

A-7.2
 SHEET OF



APPROVED BY:
 GUY R. GIRAUDO

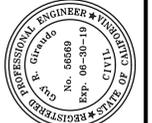


"TOPOGRAPHIC MAP/EXISTING CONDITIONS"
GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
LOT 15, BLOCK "U", AS SHOWN IN VOLUME 1
OF CITIES AND TOWNS AT PAGE 45-1/2
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
 MR AND MRS. DYLAN & NATASHA WITT

SCALE: 1" = 8'
 DATE: JUL 2019
 JOB NO. 1735-02

No.	DATE	BY	REVISION
1	07/16/19	JAN	ARCHITECTURAL SITE PLAN REVISIONS
2	03/29/19	JK	RELEASED TO CLIENT

SHEET **C2**
 OF 7 SHEETS



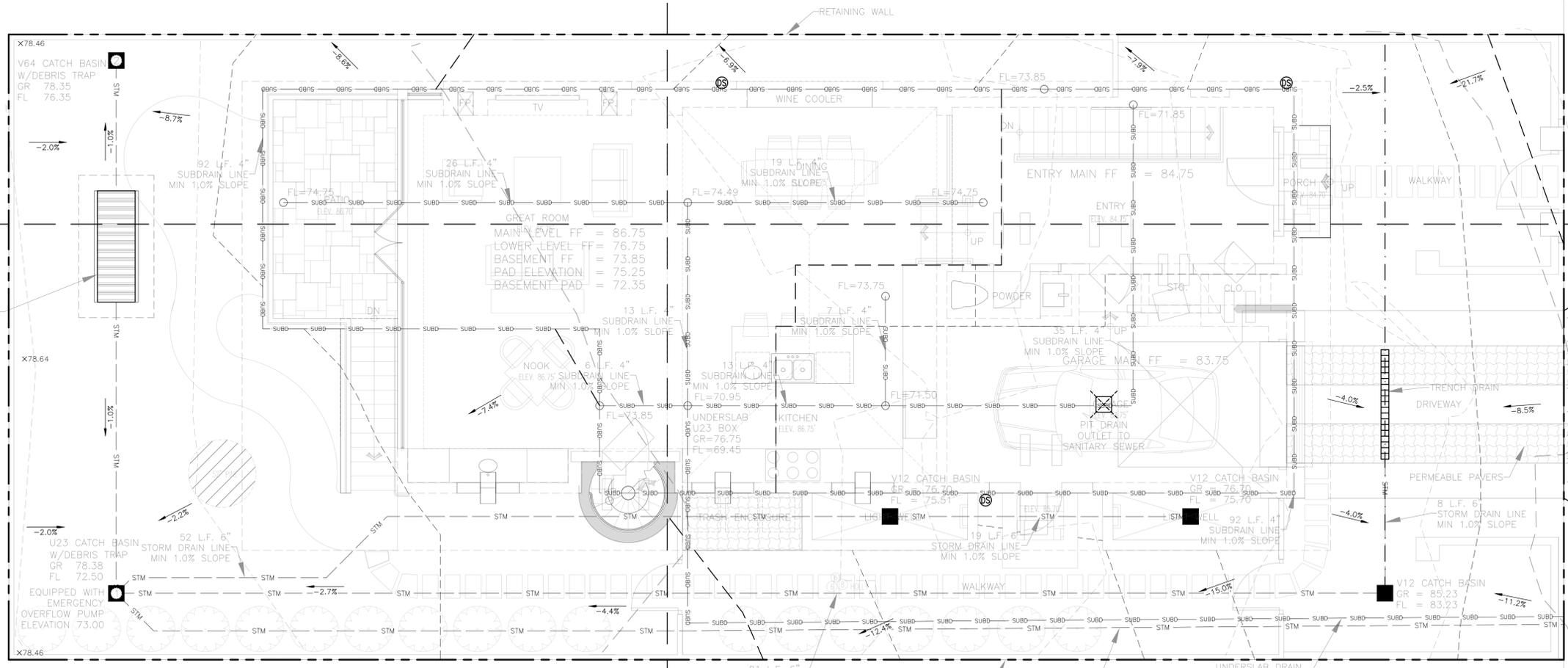
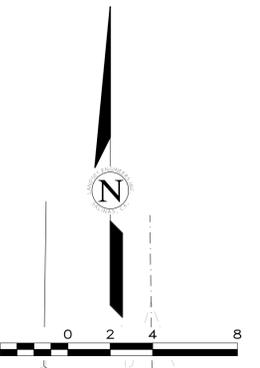
APPROVED BY:
GUY R. GIRAUDD



"GRADING & DRAINAGE PLAN"
GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
LOT 15, BLOCK "U", AS SHOWN IN VOLUME 1
OF CITIES AND TOWNS AT PAGE 45-1/2
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
 MR AND MRS. DYLAN & NATASHA WITT

SCALE: 1" = 4'
 DATE: JUL 2019
 JOB NO. 1735-02

SHEET **C3**
 OF 7 SHEETS



UNDERGROUND INFILTRATION CHAMBERS
 SIZED TO HOLD 85TH PERCENTILE RUNOFF
 VOLUME REQUIRED: 18 C.F.
 VOLUME PROVIDED: 31 C.F.
 1 CHAMBER SC-310
 FL: 71.50

V64 CATCH BASIN
 W/DEBRIS TRAP
 GR 78.35
 FL 76.35

U23 CATCH BASIN
 W/DEBRIS TRAP
 GR 78.38
 FL 72.50
 EQUIPPED WITH
 EMERGENCY
 OVERFLOW PUMP
 ELEVATION 73.00

X78.46

X78.64

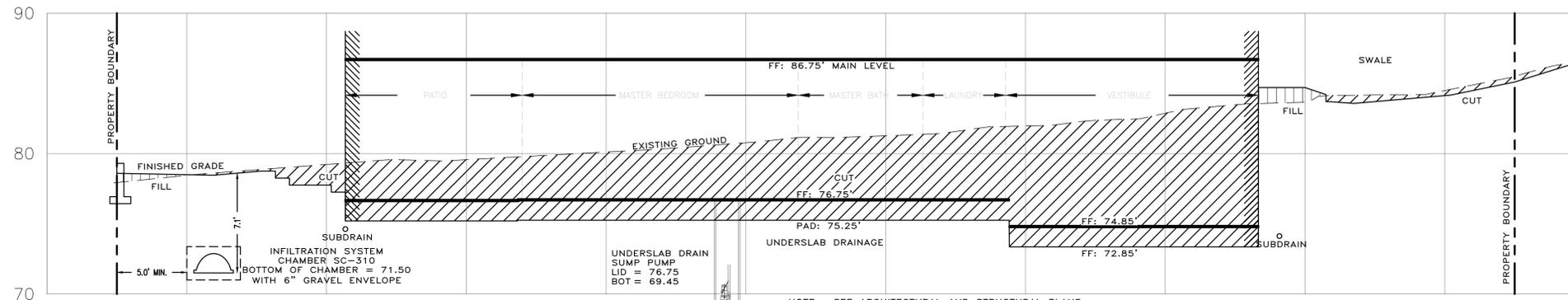
X78.46

CONSTRUCT NEW DRIVEWAY APPROACH
 PER CITY OF CARMEL STANDARDS FOR
 PUBLIC WAY DESIGN
 CONFORM TO EXISTING
 EDGE OF PAVEMENT

CARMELO STREET
 (A 50 WIDE CITY STREET)

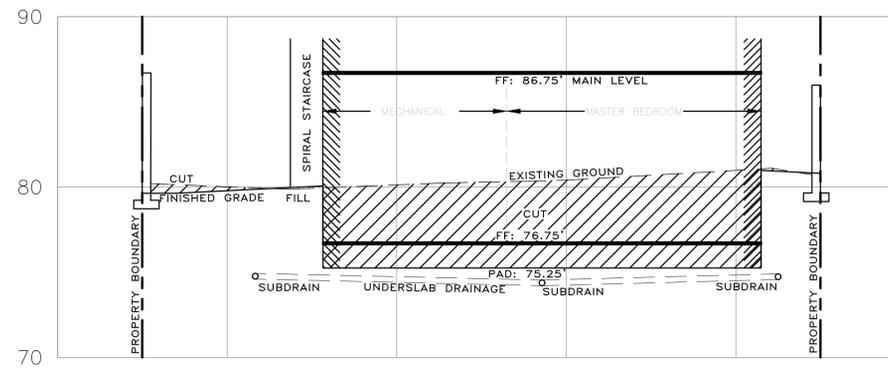
EDGE OF PAVEMENT (E)

No.	DATE	BY	REVISION
Δ	07/16/19	JAN	ARCHITECTURAL SITE PLAN REVISIONS
	03/29/19	JK	RELEASED TO CLIENT



NOTE: SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS.

SECTION A-A
SCALE: 1:5 H&V



SECTION B-B
SCALE: 1:5 H&V



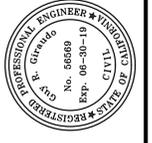
"GRADING SECTIONS"

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
LOT 15, BLOCK "U", AS SHOWN IN VOLUME 1
OF CITIES AND TOWNS AT PAGE 45-1/2
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
MR AND MRS. DYLAN & NATASHA WITT

SCALE: AS SHOWN
DATE: JUL 2019
JOB NO. 1735-02

No.	DATE	BY	REVISION
Δ	07/16/19	JAN	ARCHITECTURAL SITE PLAN REVISIONS
	03/29/19	JK	RELEASED TO CLIENT

SHEET **C4**
OF 7 SHEETS

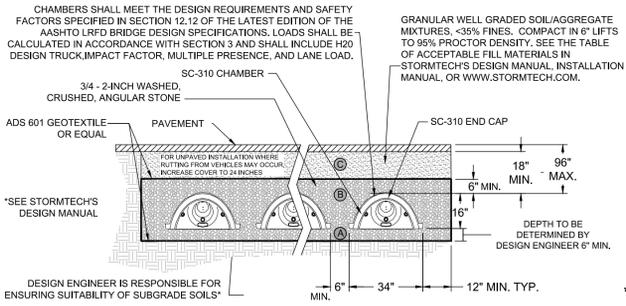


APPROVED BY:
GUY R. GIRAUDO

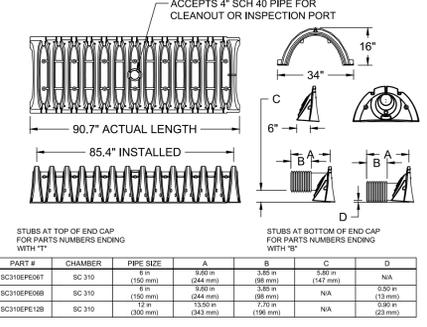


MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
FILL MATERIAL FROM 18" TO GRADE ABOVE CHAMBERS	ANY SOIL/ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
FILL MATERIAL FOR 6" TO 18" ELEVATION ABOVE CHAMBERS (24" FOR UNPAVED INSTALLATIONS)	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1, A-2, A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

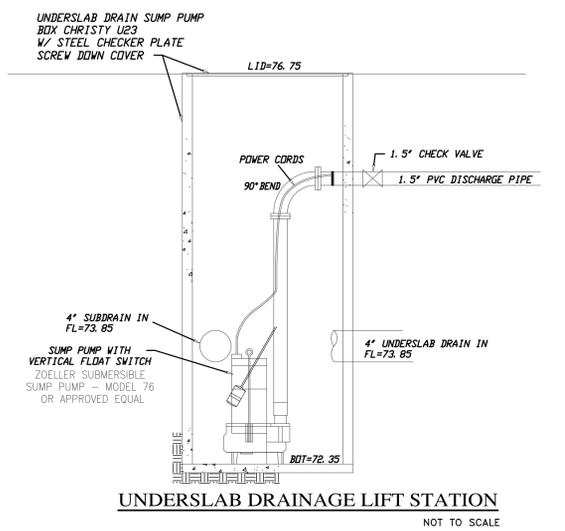
PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.



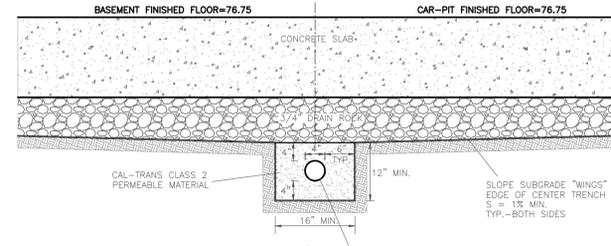
NOMINAL CHAMBER SPECIFICATIONS
 SIZE (W x H x INSTALLED LENGTH) 34.0" x 16.0" x 85.4"
 CHAMBER STORAGE 14.7 CUBIC FEET
 MINIMUM INSTALLED STORAGE 35 CUBIC FEET
 WEIGHT 35 LBS.



NOTE: ALL DIMENSIONS ARE NOMINAL
 ALL STUBS, EXCEPT FOR THE SC310PE12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2894.

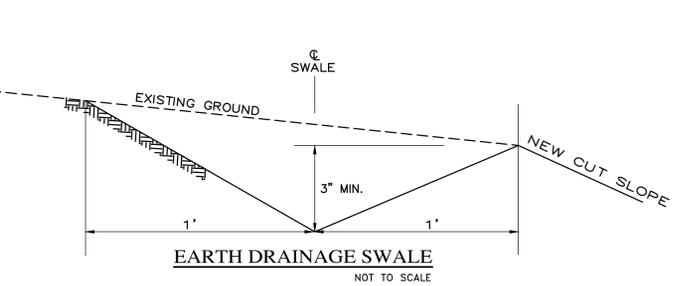


UNDERSLAB DRAINAGE LIFT STATION
NOT TO SCALE



UNDERSLAB DRAINAGE
NOT TO SCALE

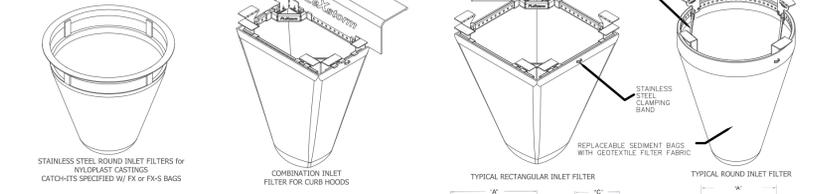
INFILTRATION CHAMBER DETAIL
NOT TO SCALE



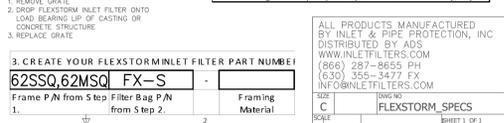
EARTH DRAINAGE SWALE
NOT TO SCALE

STORAGE SIZING
 SQUARE FOOTAGE OF NEW IMPERVIOUS: TOTAL AREA = 1820 SF
 COEFFICIENT 'C': C=1.0
 INTENSITY: 85TH PERCENTILE = 0.8 IN = 0.067 FT
 TOTAL RUNOFF VOLUME: Q1=CIA
 Q1=(1.0)(0.067FT)(1,820 SF) = 121 CF
 SOIL INFILTRATION RATE: R = 3 IN/H = 0.25 FT/H
 SINGLE CHAMBER AREA 'A': K=17.31 SF
 SOIL INFILTRATION ALLOWANCE (24 HOUR): Q2=RK1
 Q2=(0.25 FT/H)(17.31 SF)(24 H) = 104 CF
 VOLUME REQ'D: Q=Q1-Q2
 Q=121 CF - 104 CF = 17 CF
 INFILTRATION SYSTEM VOLUME PROVIDED: STORMTECH SC-310
 31 C.F. PER CHAMBER
 USING 1 CHAMBER W/6" BASE = 31 C.F.

FLEXSTORM INLET FILTERS
PRODUCT SELECTION AND SPECIFICATION DRAWING



IDENTIFY YOUR FRAME STYLE, SIZE AND MATERIAL	FRAME STYLE AND SIZE	Frame P/N
Small Round (up to 20" dia grates (A) dia)		62SRD
Med Round (20" - 26" dia grates (A) up to 25" dia openings (B))		62MRD
Large Round (26" - 30" dia grates (A) up to 30" openings (B))		62LRD
Small Rect/Square (up to 16" (B) x 16" (D) openings or 6" perimeter)		62SRQ
Med Rect/Square (up to 24" (B) x 24" (D) openings or 12" perimeter)		62MRQ
Large Rect/Square (up to 30" (B) x 30" (D) openings or 18" perimeter)		62LRQ
Small Rect/Square (with curb) (up to 16" (B) x 16" (D) openings)		62SCR
Med Rect/Square (with curb) (up to 24" (B) x 24" (D) openings)		62MCR
Large Rect/Square (with curb) (up to 30" (B) x 30" (D) openings)		62LCR
12" diameter Nyloplast castings (Stainless Steel Framing standard)		6212NY
18" diameter Nyloplast castings (Stainless Steel Framing standard)		6218NY
24" diameter Nyloplast castings (Stainless Steel Framing standard)		6224NY
30" diameter Nyloplast castings (Stainless Steel Framing standard)		6230NY
Open-Thread Gutters - Curb Opening Size		62NMG
Open-Thread Gutters - Between 4" and 12" (2 Filters and Mounting Hardware)		62NMG
Open-Thread Gutters - Between 12" and 30" (2 Filters and Mounting Hardware)		62NMG
UPGRADED FRAMING MATERIAL OPTIONS (STANDARD IS 20% PLATED)		SUFFIX
CHROME PLATED FRAMING FOR HIGH SALT EXPOSURE		-CHR
STAINLESS STEEL FRAMING FOR HIGH SALT AND/OR CORROSION EXPOSURE		-SS



Specifications for Standard Bags by Nominal Size

Nominal Bag Size	Solids Storage (Cu Ft)	FX (Woven)	PC (Non Woven)	IL (Non Woven)	PC OI (Retent)	PC OI (Retent)
Small	1.6	1.2	0.8	0.9	66	155
Medium	2.1	1.8	1.2	1.3	96	185
Large	3.8	2.7	1.5	1.6	130	209
XL	4.2	3.6	2.4	2.6	192	370



V64 DRAIN BOX
NOT TO SCALE

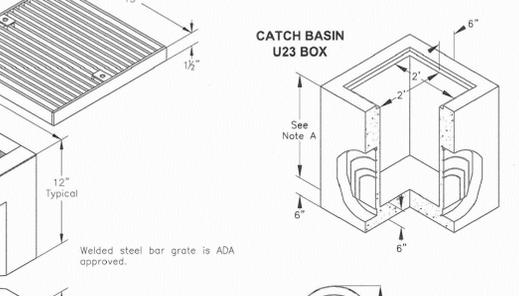
Specifications for Standard Bags by Nominal Size

Nominal Bag Size	Solids Storage (Cu Ft)	FX (Woven)	PC (Non Woven)	IL (Non Woven)	PC OI (Retent)	PC OI (Retent)
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Large	3.8	2.7	1.5	1.6	130	209
XL	4.2	3.6	2.4	2.6	192	370

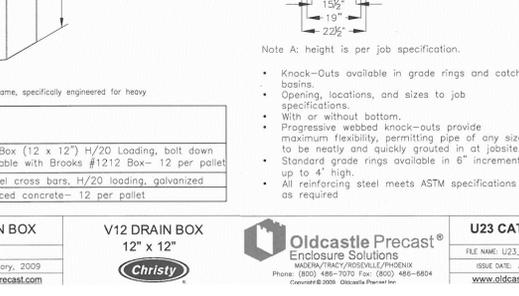


V64 DRAIN BOX
NOT TO SCALE

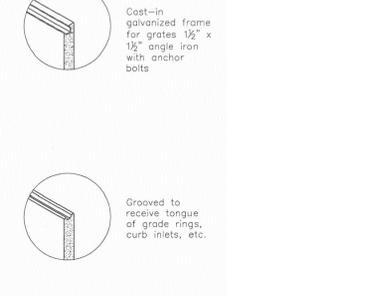
CATCH BASIN 1/SUMP PUMP - CHRISTY U23 INFILTRATION SYSTEM BASINS
NOT TO SCALE



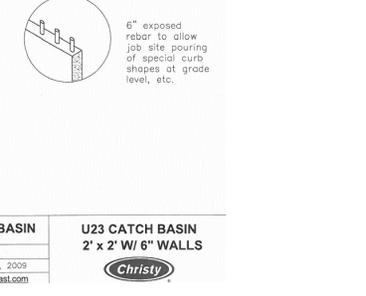
CATCH BASIN 2 - CHRISTY V12
NOT TO SCALE



CONSTRUCTION DETAILS



CONSTRUCTION DETAILS



Ordering Code

Ordering Code	Item	Approx. Shipping Weight	Description
V64BOX	DRAIN BOX	194	V64 Drain Box (18" x 18") - 12 per pallet
V64-71C	GRATE	32	Cast iron
V12-71W	GRATE	34	Welded, steel cross bars, H/20 loading, galvanized
V12X12	EXTENSION	120	12" Reinforced concrete - 12 per pallet

Oldcastle Precast Enclosure Solutions

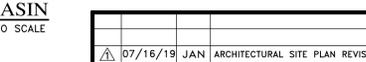


V12 DRAIN BOX
NOT TO SCALE

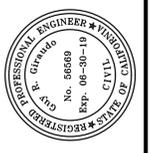
Ordering Code

Ordering Code	Item	Approx. Shipping Weight	Description
U23BOX	CATCH BASIN	177	V12 Drain Box (12 x 12) H/20 Loading, bolt down interchangeable with Brooks #1212 Box - 12 per pallet
U23X12	EXTENSION	120	12" Reinforced concrete - 12 per pallet

Oldcastle Precast Enclosure Solutions



U23 CATCH BASIN
NOT TO SCALE



APPROVED BY:
R. GIRAUDO

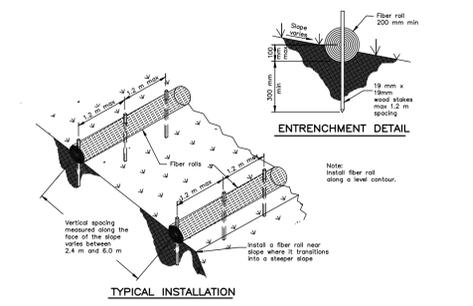
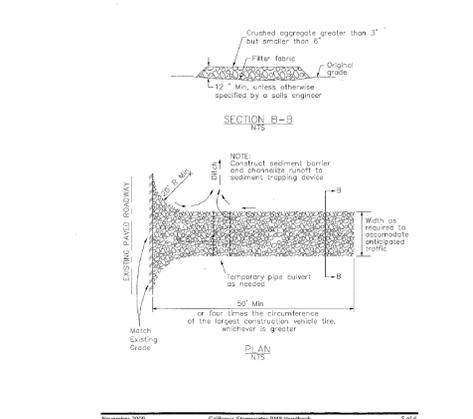
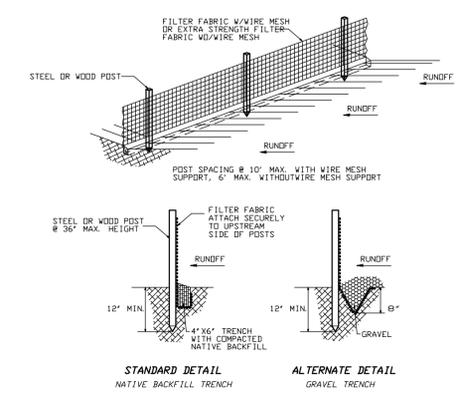
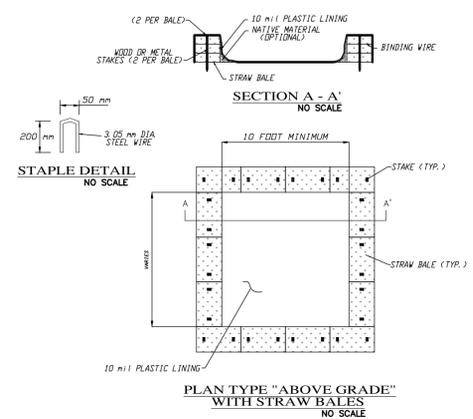
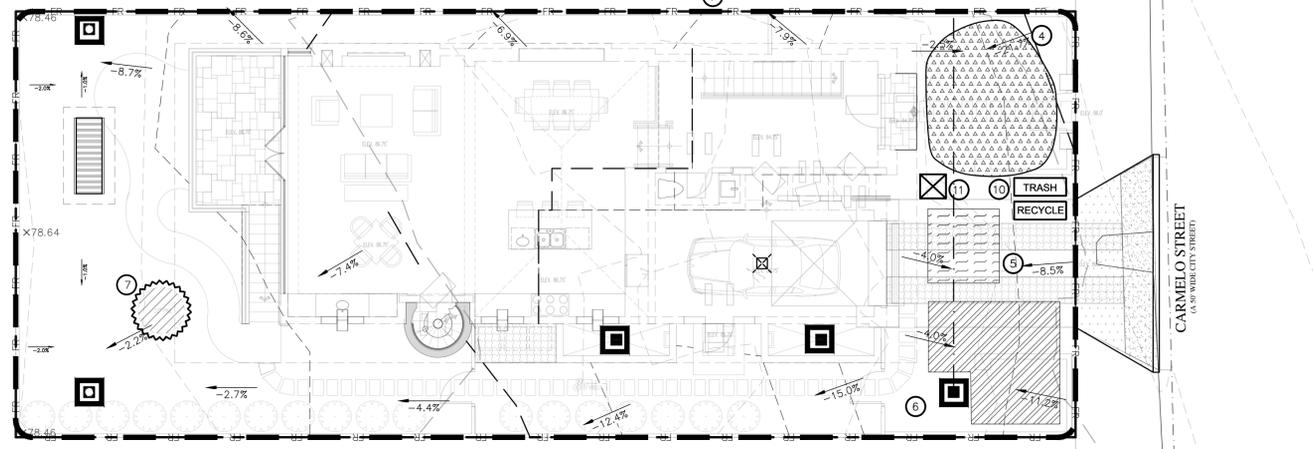


GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
LOT 15, BLOCK "U", AS SHOWN IN VOLUME 1 OF CITIES AND TOWNS AT PAGE 45-1/2
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
 MR AND MRS. DYLAN & NATASHA WITT

SCALE	AS SHOWN
DATE	JUL 2019
JOB NO.	1735-02

SHEET **C5** OF 7 SHEETS

No.	DATE	BY	REVISION
07/16/19	JAN		ARCHITECTURAL SITE PLAN REVISIONS
03/29/19	JK		RELEASED TO CLIENT



EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
- 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
- 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BRONJUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYUS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNR'AMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 10) SEEDED AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
- 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROL MEASURES ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFIDENCE FOR ALL CAPTURED AREAS HAVE BEEN STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH RMA-ENVIRONMENTAL SERVICES DURING THE RAINY SEASON, OCTOBER 15th TO APRIL 15th, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

BMP LEGEND:

- 1) FR
 - 2) N/A FOR INFORMATION ONLY
 - 3) [Symbol]
 - 4) [Symbol]
 - 5) [Symbol]
 - 6) [Symbol]
 - 7) [Symbol]
 - 8) SF
 - 9) N/A FOR INFORMATION ONLY
 - 10) TRASH
 - 11) RECYCLE
- FIBER ROLLS:** THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO STORE DELIVERED MATERIALS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- DRAIN INLET PROTECTION:** PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- STABILIZED CONSTRUCTION ACCESS:** INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- STOCKPILE MANAGEMENT:** SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- CONCRETE WASHOUT:** WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- CONTRACTOR'S STAGING AREA:** THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- TREE PROTECTION:** TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTION DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
- SILT FENCE:** SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVEXED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.
- GRAVEL BAG CHECK DAM:** GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- WASTE MANAGEMENT:** SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- SANITARY/SEPTIC WASTE MANAGEMENT:** PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.

Solid Waste Management WM-5

Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging the regular disposal, and training employees and subcontractors.

Targeted Constituents

- Sediment
- Nutrients
- Toxins
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives
None

Material Delivery and Storage WM-1

Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

Targeted Constituents

- Sediment
- Nutrients
- Toxins
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives
None

Hazardous Waste Management WM-6

Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Targeted Constituents

- Sediment
- Nutrients
- Toxins
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives
None

Sanitary/Septic Waste Management WM-9

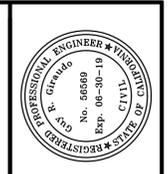
Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Targeted Constituents

- Sediment
- Nutrients
- Toxins
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives
None

DETAILS
NOT TO SCALE



APPROVED BY:
GUY R. GIRAUDO

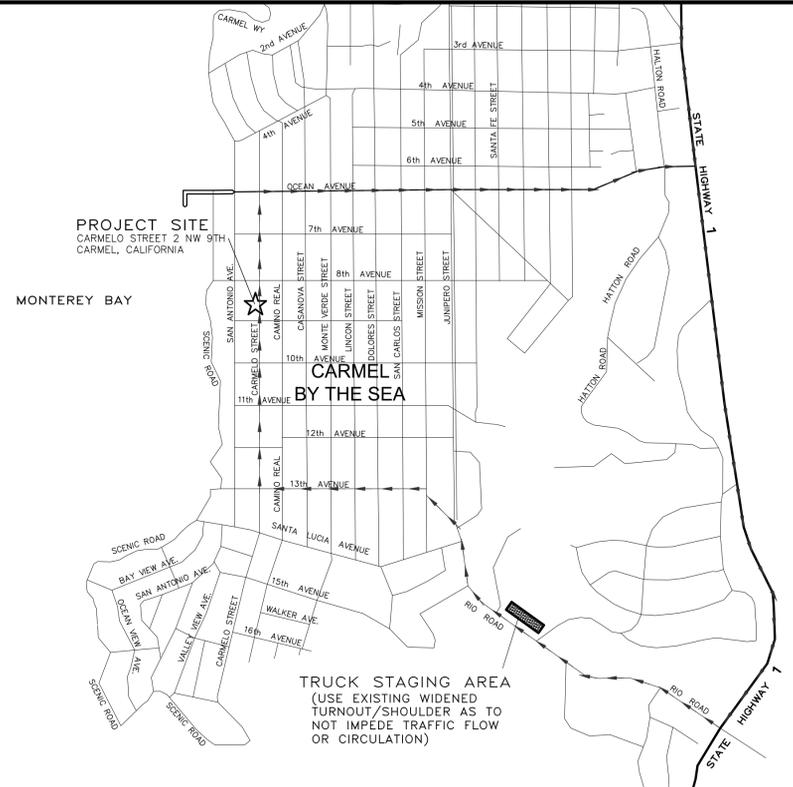
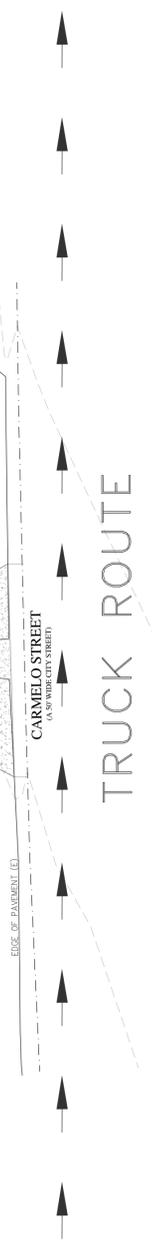
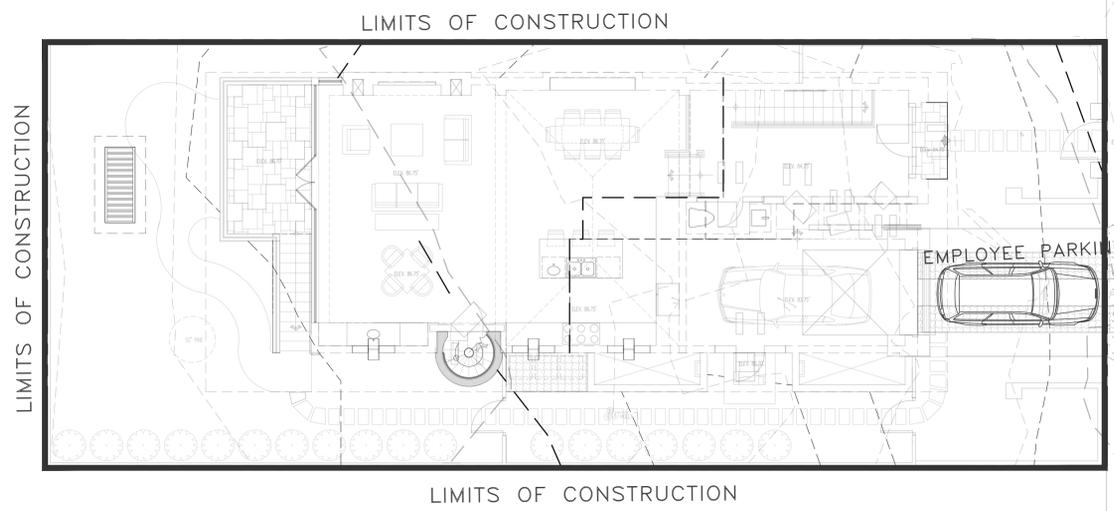


"EROSION CONTROL PLAN"
GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
LOT 15, BLOCK "U", AS SHOWN IN VOLUME 1 OF CITIES AND TOWNS AT PAGE 45-1/2
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
MR AND MRS. DYLAN & NATASHA WITT

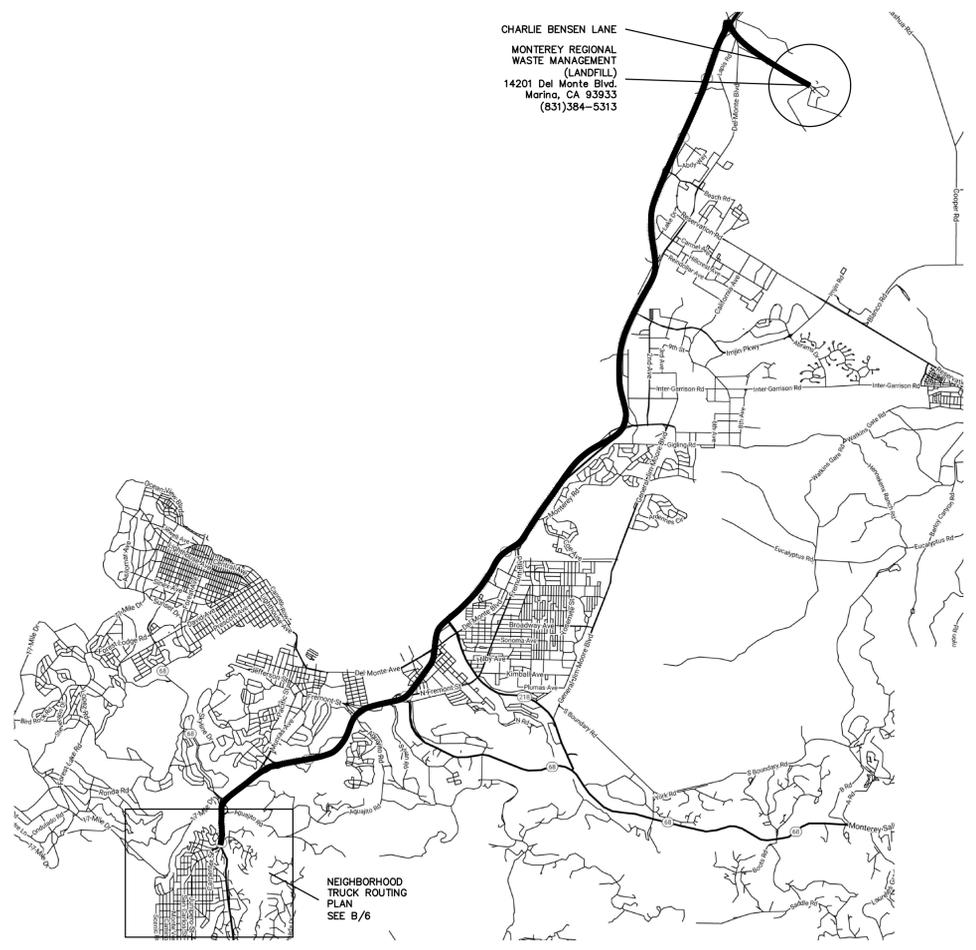
SCALE: 1" = 8'
DATE: JUL 2019
JOB NO. 1735-02

SHEET **C6**
OF 7 SHEETS

No.	DATE	BY	REVISION
07/16/19	JAN		ARCHITECTURAL SITE PLAN REVISIONS
03/29/19	JK		RELEASED TO CLIENT



(B) NEIGHBORHOOD TRUCK ROUTING PLAN



(C) OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

SITE GRADING:
THE PROPOSED GRADING INCLUDES APPROXIMATELY 415 CY OF CUT & 10 CY OF FILL.

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR AND GRUB
 - B. SITE GRADING
 - C. UTILITY INSTALLATION
 - D. CONSTRUCT STRUCTURE
 - E. INSTALL PAVERS AND LANDSCAPING
 - F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

HAUL ROUTES:
HAUL TRUCKS SHALL BACK INTO THE SITE FROM CARMELO STREET. HAUL TRUCKS WILL EXIT THE SITE, TURNING NORTH ONTO CARMELO STREET AND THEN EAST ONTO OCEAN AVENUE. FROM THERE, THE HAUL TRUCKS WILL TURN NORTH ONTO CALIFORNIA HIGHWAY 1. (REFERENCE NEIGHBORHOOD TRUCK ROUTING PLAN, DETAIL B, THIS SHEET). FLAGGERS SHALL BE STATIONED ON CARMELO STREET AS TRUCKS BACK FROM THE PUBLIC RIGHT OF WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND D, TRUCK ROUTING PLANS.

TRUCK STAGING AREA:
VEHICLES OR TRUCKS SHALL NOT QUEUE ON CARMELO STREET. TRUCKS SHALL QUEUE ON RIO ROAD (SEE DETAIL B, THIS SHEET), AND WILL BE DIRECTED TO APPROACH THE SITE BY ONSITE PERSONNEL VIA RADIO OR PHONE.

EMPLOYEE PARKING:
EMPLOYEES SHALL PARK ON-SITE WHENEVER POSSIBLE. EMPLOYEES SHALL USE PUBLIC PARKING ALONG CARMELO STREET AS NECESSARY. OBEYING ALL PARKING LAWS. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. SEE DETAIL C. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF EMPLOYEES ONSITE PER DAY: APPROXIMATELY 5-10

NUMBER OF TRUCK TRIPS/DAY: 8

AMOUNT OF GRADING/DAY: 100 C.Y.

HOURS OF OPERATION/DAY: WORK SHALL OCCUR MONDAY THROUGH FRIDAY. HOURS OF OPERATION SHALL BE 7AM TO 5PM. NO WORK SHALL OCCUR ON SATURDAYS OR SUNDAYS.

PROJECT SCHEDULING: PROJECTED START DATE IS 1 FEBRUARY 2019. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

PLAN
SCALE: 1"=8'

TRUCK TRIP GENERATION CHART:

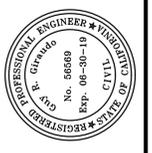
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	10	3
GRADING & SOIL REMOVAL (EXPORT)	33	6
ENGINEERING MATERIALS (IMPORT)	0	2
TOTALS	43	11

TRUCK TRIP GENERATION NOTES:

1. TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 12 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 8 TRUCK LOADS PER DAY.
2. THERE ARE APPROXIMATELY 390 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 8 WORKING DAYS TO COMPLETE.
3. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.

HOURS OF OPERATION/DAY: 8
DAYS OF OPERATION: MONDAY THRU FRIDAY
TIME OF OPERATION: 8:00 A.M. - 4:30 P.M.

PROJECT SCHEDULING: PROJECTED START DATE IS 1 FEBRUARY 2019. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



APPROVED BY:
GUY R. GIRAUDO

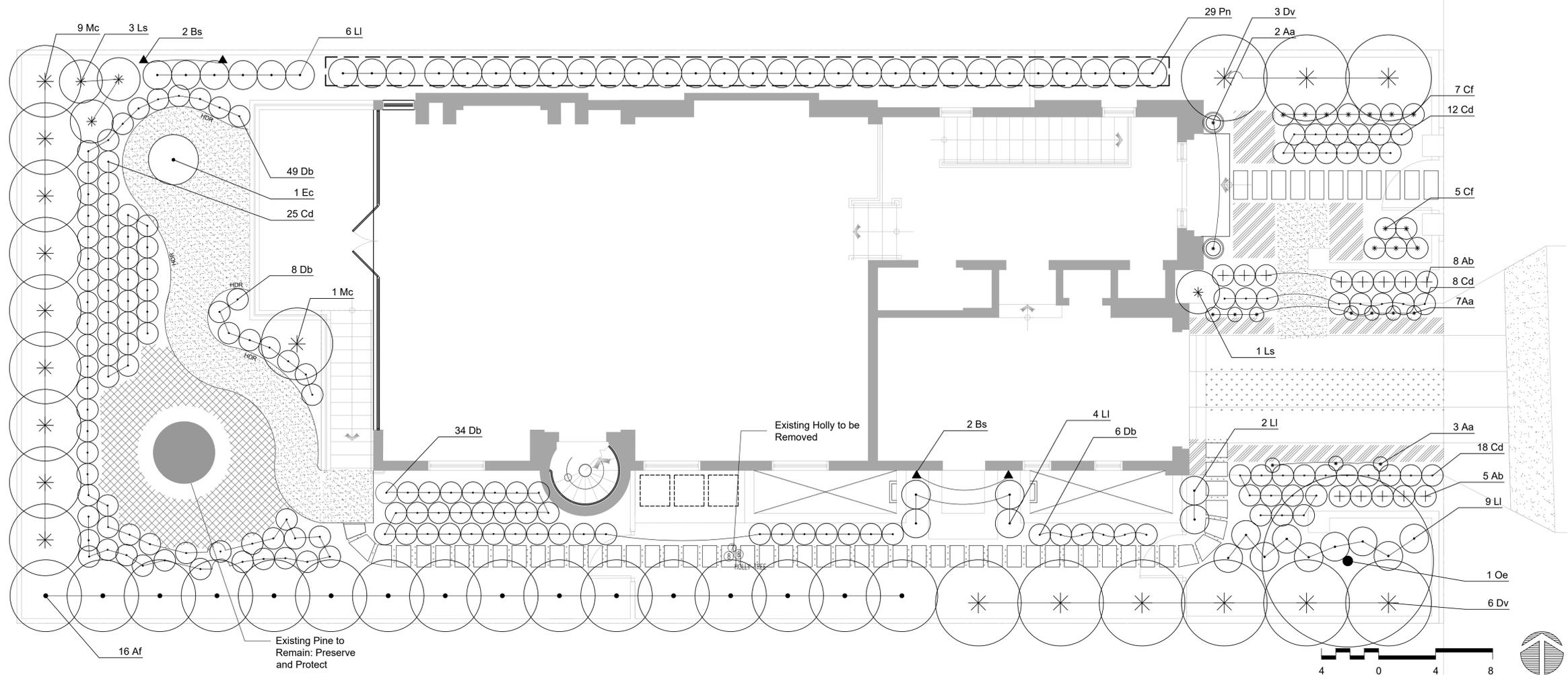


"CONSTRUCTION MANAGEMENT PLAN"
GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
LOT 15, BLOCK "U", AS SHOWN IN VOLUME 1
OF CITIES AND TOWNS AT PAGE 45-172
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
 MR AND MRS. DYLAN & NATASHA WITT

SCALE: AS SHOWN
DATE: JUL 2019
JOB NO. 1735-02

No.	DATE	BY	REVISION
07/16/19	JAN		ARCHITECTURAL SITE PLAN REVISIONS
03/29/19	JK		RELEASED TO CLIENT

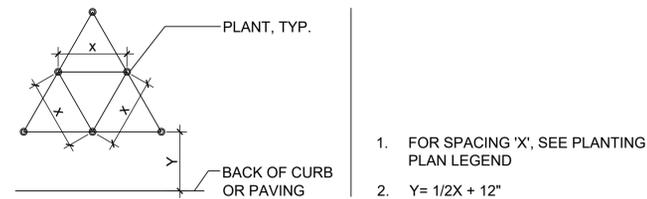
SHEET **C7**
OF 7 SHEETS



PLANT LEGEND

*WUC CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
Trees				
M	Af	Afrocarpus gracilior	Fern Pine Tree	24 Gal. Trim as Hedge
M	Oe	Olea europaea 'Wilsonii'	Fruitless Olive Tree	15 Gal. Multi-trunk
Shrubs / Perennials				
L	Aa	Agave attenuata 'Nova'	Foxtail Agave	5 Gal.
L	Ab	Anigozanthos 'Big Red'	Big Red Kangaroo Paw	5 Gal.
M	Db	Dianella 'BlueTopia'	Blue Flax Lily	1 Gal.
L	Dv	Dodonaea viscosa	Hopbush	5 Gal.
L	Ec	Echium candicans	Pride of Madeira	5 Gal.
L	Ls	Leucadendron 'Safari Sunset'	Conebush	5 Gal.
L	LI	Lomandra longifolia 'Breeze'	Mat Rush	1 Gal.
M	Mc	Myrica californica	Pacific Wax Myrtle	15 Gal.
L	Pn	Phyllostachys nuda	Hedge Bamboo	5 Gal.
Groundcovers				
M		Galium odoratum	Sweet Woodruff	4" Pot 6" O.C.
L		Echeveria secunda, Euphorbia tirucalli 'Sticks on Fire', Senecio mandraliscae	Succulent Mix	1 Gal. 8" O.C.
L		Thymus praecox 'Album'	White Mother-of-Thyme	Flat Plants touching
Grasses				
M	Cf	Calamagrostis foliosa	Mendocino Reed Grass	1 Gal.
M	Cd	Carex divulsa	Berkeley Sedge	1 Gal.
Vines				
L	Bs	Bougainvillea 'San Diego Red'	San Diego Red Bougainvillea	5 Gal.
Other				
		Decomposed Granite (D.G.): California Gold - 3/8". Install with continuous metal edging on both sides.		
	HDR	Headerboard: 1x6 Redwood Headerboard		
		Bamboo Root Barrier: 30" x 60 mil polypropylene rhizome barrier as available from the Bamboo Sourcing, Sebastopol, CA (707)823-5866, bamboosourcing.com. Plastic two-sided sealing tape as supplied the manufacturer.		

GROUNDCOVER SPACING AND PLANTING SETBACK DIAGRAM



*** WATER USE CATEGORY (WUC) KEY**

WUCOLS Region Applicable to this Project: REGION 1
 H = High; M = Moderate; L = Low; VL = Very Low; NL = Species Not Listed
 * from: Water Use Classification of Landscape Species, A Guide to the Water Needs of Landscape Plants (WUCOLS) Revised 2014, University of California Cooperative Extension, L.R. Costello, K.S. Jones

GENERAL NOTES

- Landscape Architect to approve plant material and layout BEFORE planting commences.
- Apply pre-emergent herbicide to all planting areas.
- Prepare, amend, and fertilize existing soil. Pre-mix amendments into soil before backfilling plant pits - do not mix inside pits. Break large clods into small pieces. Contractor is responsible for preparing the soil analysis and that the recommendations of the report are followed during soil preparation and planting.
- Soil Amendments:
 - A. Nitrogen Stabilized Organic Amendment: shall be mineralized and nitrogen stabilized bark or sawdust humus, with wetting agent and properly pulverized and shall have a minimum of 270 lbs. per cubic yard of amendment. Submit sample analysis for approval.
 - B. Gypsum: Agricultural Grade. Cal-Sul Pelletized Gypsum by North Pacific, Portland OR, or approved
 - C. Sulfur: granular degradable sulfur product, Tiger Organic 0-0-0-90 Sulfur by TigerSul.com, or approved equal.
- Plant shrubs per spacing detail.
- Mulch: Install a minimum of 3" of mulch at all planting areas. Mulch shall be recycled wood decorative mulch with biodegradable coloring. Pre-approved suppliers- Recology, Stockton CA; Republic Services, Milpitas CA (formerly BFI); CCL Organics, Benicia, CA; Z-Best Products, Gilroy CA. Mulch color shall be dark brown. Stabilized mulch and jute netting to be used on slopes 3:1 and greater.
- Compost: Compost min of 4 cubic yards per 1,000 sq. ft. of permeable area to a depth of 6".
- All new plants to be irrigated. Irrigation system to be point-source drip system, compliant with current MWEL standards.

MAWA / ETWU

WATER EFFICIENT LANDSCAPE WORKSHEET								
Project Name	Witt Residence	Status	Planning	Calc By	JDL			
Project Number	18.104	Date	1/9/2019					
Reference Evapotranspiration (Eto)				33.00				
Hydrozone #/Planting Description ¹	Plant Factor (PF)	Irrigation Method ² s or d	Irrigation Efficiency (IE) ³	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU) ⁴	
Regular Landscape Areas								
1 Front Garden N	0.5	d	0.81	0.62	103	63.58	1300.85	
2 Front Garden S	0.3	d	0.81	0.37	238	88.15	1803.51	
3 Side Garden S	0.4	d	0.81	0.49	116	57.28	1172.03	
4 Back Garden	0.5	d	0.81	0.62	711	438.89	8979.67	
5 Side Garden N	0.2	d	0.81	0.25	118	29.14	596.12	
Totals (A)					1286	(B)	677.04	13852.18
Special Landscape Areas								
7				1.00	0	0.00	0.00	
8				1.00	0	0.00	0.00	
Totals (C)					0	(D)	0.00	0.00
					ETWU Total (Gallons)		13852.18	
					Maximum Allowed Water Allowance (MAWA)* (Gallons)		14471.36	
					ETWU (Acre Feet)		0.043	
					MAWA (Acre Feet)		0.044	

¹ front lawn
² low water use plantings
³ medium water use planting

⁴ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

*MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)] where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

MWEL COMPLIANCE STATEMENT

I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the planting design plan.

Simon Phillips 4532 01-07-2019
 Signed Name CLA# Date

REVISION	No.
CONSULTANT:	 BFS LANDSCAPE ARCHITECTS 455 PACIFIC STREET #201 SAN FRANCISCO, CA 94107 TEL: 415.398.1983 • BFS@BFS.COM
ARCHITECT:	 ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE: (831) 372-0410 • FAX: (831) 372-7840 • WEB: www.ericmillerarchitects.com
PROPOSED PLANTING PLAN	 NOT FOR CONSTRUCTION STATE OF CALIFORNIA
JOB NAME:	Witt Residence
JOB NUMBER:	18104
DATE:	01/14/19
SCALE:	AS SHOWN
DRAWN:	JDL
JOB NUMBER:	18104
 L-1.0 SHEET OF	



Agave attenuata 'Nova'



Anigozanthos 'Big Red'



Afrocarpus gracilior



Dodonaea viscosa



Dianella 'BlueTopia'



Echium candicans



Echeveria secunda



Euphorbia tirucalli 'Sticks on Fire'



Leucodendron 'Safari Sunset'



Lomandra longifolia 'Breeze'



Myrica californica



Olea europaea 'Wilsonii'



Phyllostachys nuda



Galium odoratum



Senecio mandraliscae



Thymus praecox 'Album'



Calamagrostis foliosa



Carex divulsa



Bougainvillea 'San Diego Red'

REVISION	No.

CONSULTANT:

bfs

BFS LANDSCAPE ARCHITECTS
 455 PACIFIC STREET #201
 MONTEREY, CA 93940
 831.372.7840 • 831.372.7840

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

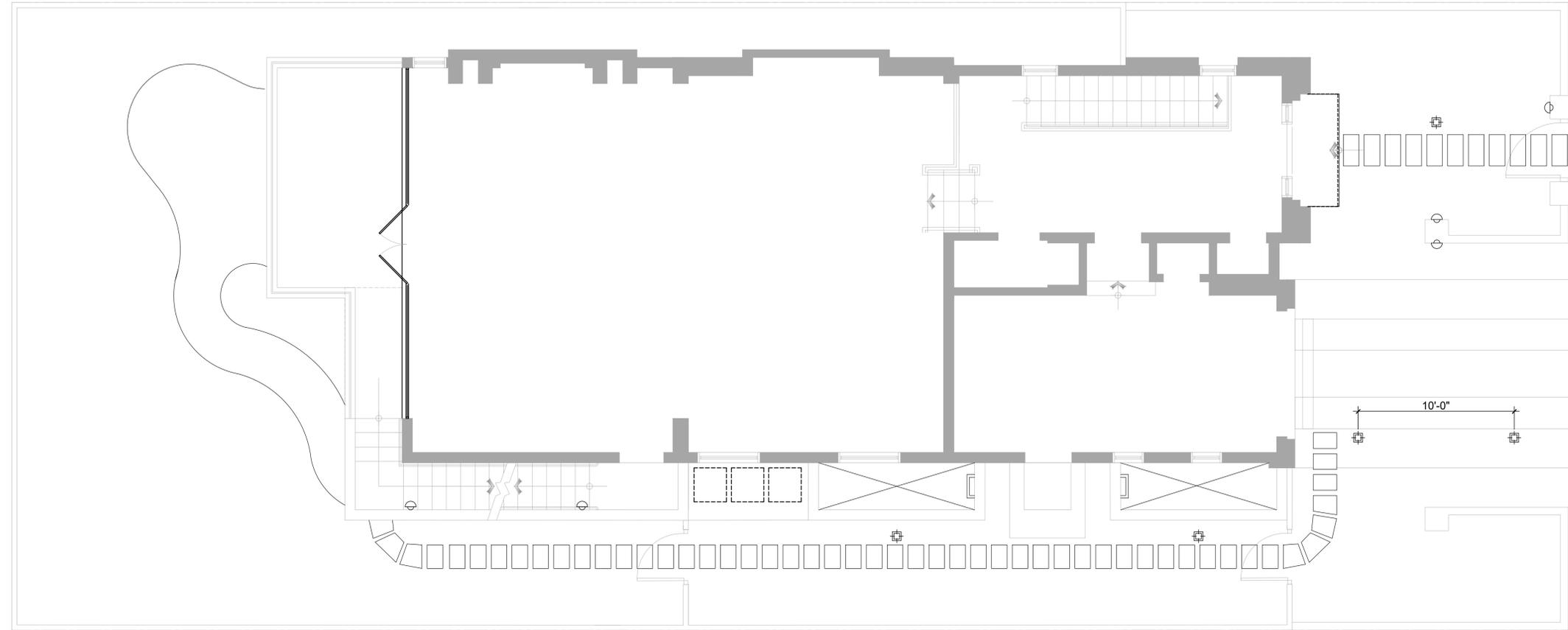
211 HOFFMAN AVENUE MONTEREY, CA 93940
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 FAX (831) 372-0410



PROPOSED PLANT IMAGES

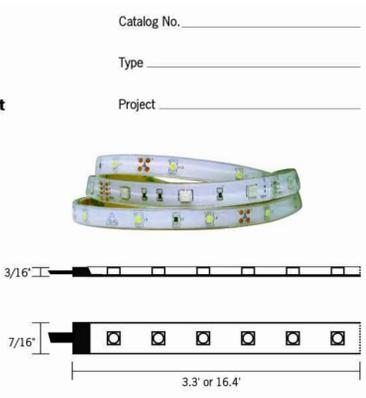
JOB NAME: Witt Residence
 Carmelo 2NW of 9th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE:	01/14/19
SCALE:	AS SHOWN
DRAWN:	JDL
JOB NUMBER:	18104



CONTECH LIGHTING a LEVITON company
TLTO Tapelight Series
 12VDC Wet Location High Output Outdoor Tapelight Kit

Specifications/Features
Tape Light Kit
 Flexible, low voltage, wet location, linear LED accent lighting system provides energy-efficient illumination for outdoor applications including coves, architectural enhancements, outdoor steps or changes in elevation, etc.
 Kits consist of (1) 3.3' or 16.4' reel, (1) tube silicone sealant, (2) endcaps, (10) clear acrylic mounting clips with (20) screws.
 1.8W/9 LEDs/109 lumens per foot of tapelight (delivered lumens based on 1ft. of warm white tapelight).
 Available in three color temperatures: Warm White (2700K), Neutral White (4000K), Cool White (5000K), as well as single colors: blue, green, red, and amber.
 Cutable every 4" or (3) LEDs, at cut lines only. **One cut per reel only.** Once cut, use enclosed silicone sealant and end cap to create a water-tight seal.
Cutting the tape terminates conductivity of the tape on the non-powered end.
 5' input power connector with water tight plug is attached to the tape and connects into the wet rated, plug-and-play power supply or 2-way splitter. For applications requiring lengths longer than 5', the connector can be field modified. Must use appropriate components that comply with local codes (weather-proof connectors, cord covers, enclosures, etc. if outdoors).
 36W and 60W plug-and-play power supplies are available, as well as a 2-way power feed splitter. Power supply and splitter sold separately.
 14° - 140°F Operating temperature.



TLTO12V2 Series High Output Outdoor Tapelight Driver Sizing
 Watts per foot: 1.8W/ft.; Max Run: 16.4 ft.

Model No.	Type	Input Voltage	Wattage	Max Load
TLPO12VP36	Plug-In	12V DC	36W	20 ft.*
TLPO12VP60	Plug-In	12V DC	60W	32.8 ft.*

*If the max load exceeds the max run length, multiple runs from power supply may be employed as long as maximum load run is not exceeded.

Dimming
 TLTO Series tapelight is dimmable utilizing our 0-10V or wall plate TL dimming modules. To hardwire tapelight, the input power connector and wires will need to be cut/stripped and connected to a hardwire power supply and should be placed in a weather-proof, code approved enclosure supplied by others.

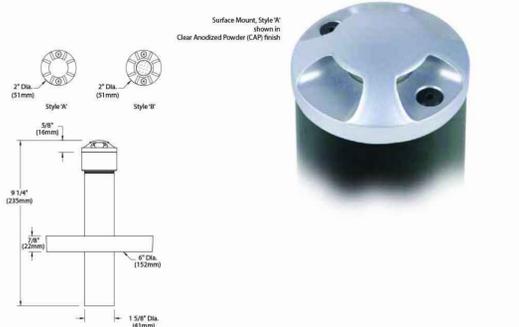
Mounting
 The TLTO tapelight can be mounted using the self-stick adhesive backing, the enclosed acrylic mounting clips with screws, or the tape can be adhered to the aluminum mounting channels and installed with the appropriate mounting clips. Channels and channel mounting clips sold separately.

Warranty
 This product is covered by ConTech's full three (3) year replacement guarantee after date of purchase.

Listing
 ETL listed
 IP65
 Suitable for wet locations. Not submersible.

MD-S SURFACE MOUNT MINI DRIVESTAR™

"I love this fixture because it is a great, inconspicuous light for garden pathways. Ron (the boss) hates using bollards in our landscape designs... they are far too commercial and distracting. The Mini DriveStar™ lights the pathway while letting the plants shine."
 Kimberly Stuart, Ron Rule Consultants Ltd., BKU Fall 2011



FXLuminaire.
 LED Wall Lights



PO: Wall Lights

NUMBER OF LEDs:	1
HALOGEN LUMEN OUTPUT EQUIVALENT:	10 Watt
USEFUL LED LIFE (L70):	50,000 hrs avg
INPUT VOLTAGE:	10 to 15V
VA TOTAL: (Use this number to size the transformer)	2.4
WATTS USED:	2.0
LUMENS PER WATT (EFFICACY) (based on PO-ST)	20
MAX LUMENS: (based on PO-ST)	39
CCT (Ra) (based on PO-ST)	80.2

FIXTURE LEGEND

SYM	FIXTURE TYPE	NUMBER	WATTAGE/ LUMINAIRE TYPE / NOTES
---	Exterior Dimmable Linear Light	TLTO-12V-2-WW-16CR	1.8W / ft LED. Fasten to TLACS6 with wet listed tape light mounting clip
⊕	In-grade Fixture	BK Mini Drivestar MD-LED-e72-F-MIT-1-A	3W LED
⊖	Wall Light	FX-PO	2.7K LED

GENERAL NOTES

- System shown schematically for graphic clarity. Verify all light locations and cable runs in field with Landscape Architect. Cabling to be sized to provide a minimum 10.5 volts and a maximum of 11.5 volts to all fixtures. Minimum cable size is 12 gauge multi strand direct burial cable.
- Allow 30% of transformer capacity for future additional site lighting.
- Coordinate switching zones for site lighting with Owner.
- Run additional 2" sleeves under all paving areas for possible future site lighting-Review locations in field with Landscape Architect
- 8" depth minimum cable burial.
- All wire connections shall be water-proofed using fully encapsulated, direct burial waterproof connectors.
- Space lights evenly.
- Transformer locations to be determined.
- Create a single switch run for instances of multiple callouts of the same number.
- See Architectural Drawings for all wall-mounted light fixtures.

REVISION	No.

CONSULTANT:
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 BFS LANDSCAPE ARCHITECTS
 455 PACIFIC STREET #201
 SAN FRANCISCO, CA 94107
 TEL: (415) 398-1888 • BFS@BFS.COM

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LICENSED LANDSCAPE ARCHITECT
 ERIC MILLER
 STATE OF CALIFORNIA
NOT FOR CONSTRUCTION

PROPOSED LIGHTING PLAN
 JOB NAME: **Witt Residence**
 Carmelo 2NW of 9th Street
 Carmel, By-The-Sea, CA
 APN: 010-269-005-000

DATE: 01/14/19
 SCALE: AS SHOWN
 DRAWN: JDL
 JOB NUMBER: 18104

L-2.0
 SHEET OF