

**SITE GRADING:**  
THE PROPOSED GRADING INCLUDES APPROXIMATELY 750 CY OF CUT & 120 CY OF FILL.

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR AND GRUB
  - B. SITE GRADING
  - C. UTILITY INSTALLATION
  - D. CONSTRUCT STRUCTURE
  - E. INSTALL PAVERS AND LANDSCAPING
  - F. SITE CLEANING, PUNCH LIST

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE NOT BE STAGED ON SAN ANTONIO AVENUE AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

**HAUL ROUTES:**  
HAUL TRUCKS SHALL BACK INTO THE SITE FROM SAN ANTONIO AVENUE. HAUL TRUCKS WILL EXIT THE SITE, TURNING SOUTH ONTO SAN ANTONIO AVENUE. (REFERENCE NEIGHBORHOOD TRUCK ROUTING PLAN, DETAIL B, THIS SHEET). FLAGGERS SHALL BE STATIONED ON SAN ANTONIO AVENUE AS TRUCKS BACK FROM THE PUBLIC RIGHT OF WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND D, TRUCK ROUTING PLANS.

**TRUCK STAGING AREA:**  
VEHICLES OR TRUCKS SHALL NOT QUEUE ON SAN ANTONIO AVENUE. TRUCKS SHALL QUEUE ON RIO ROAD (SEE DETAIL B, THIS SHEET), AND WILL BE DIRECTED TO APPROACH THE SITE BY ONSITE PERSONNEL VIA RADIO OR PHONE.

**EMPLOYEE PARKING:**  
EMPLOYEES SHALL PARK A MAXIMUM OF ONE CAR ON-SITE IN THE GUEST PARKING AREA (SOUTH OF PROJECT). EMPLOYEES SHALL USE PUBLIC PARKING AT VISTA LOBOS AS NECESSARY PER CITY OF CARMEL-BY-THE-SEA COMMUNITY PLANNING AND BUILDING DEPARTMENT RECOMMENDATION. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. SEE DETAIL C. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL. PARKING MANAGEMENT SHALL REMAIN THE SAME FOR ALL PHASES OF CONSTRUCTION.

**LIMITS OF CONSTRUCTION:** ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF EMPLOYEES ONSITE PER DAY: 5-10

NUMBER OF TRUCK TRIPS/DAY: 5

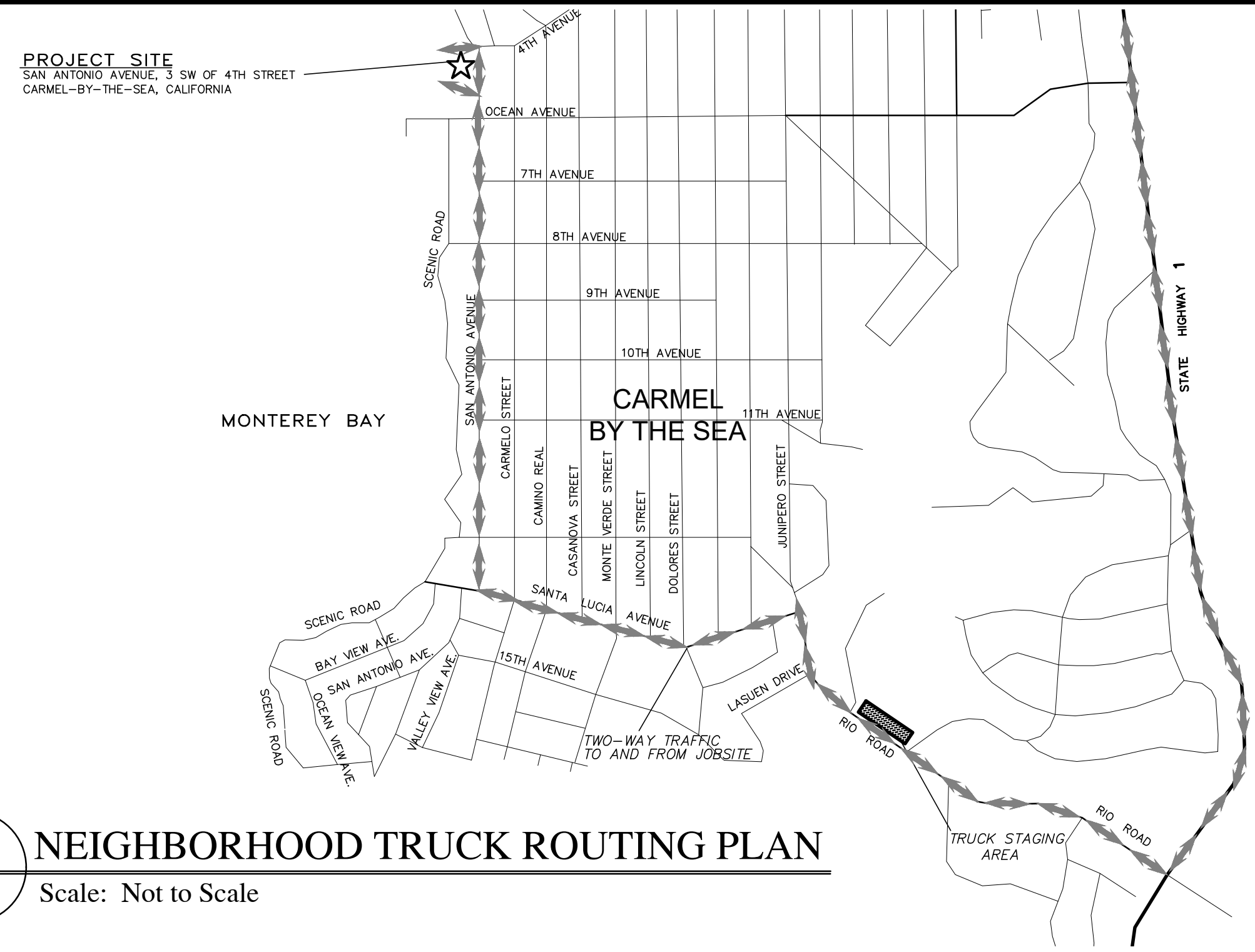
AMOUNT OF GRADING/DAY: 50 C.Y.

HOURS OF OPERATION/DAY: WORK SHALL OCCUR MONDAY THROUGH SATURDAY. HOURS OF OPERATION SHALL BE 8AM TO 6:30PM. NO WORK SHALL OCCUR ON SUNDAYS.

PROJECT SCHEDULING: PROJECTED START DATE SEPTEMBER 2019. TOTAL PROJECT DURATION IS APPROXIMATELY 18 MONTHS.



**C**  
**1** GOOGLE IMAGE OF CONSTRUCTION PARKING AREA  
Scale: Not to Scale



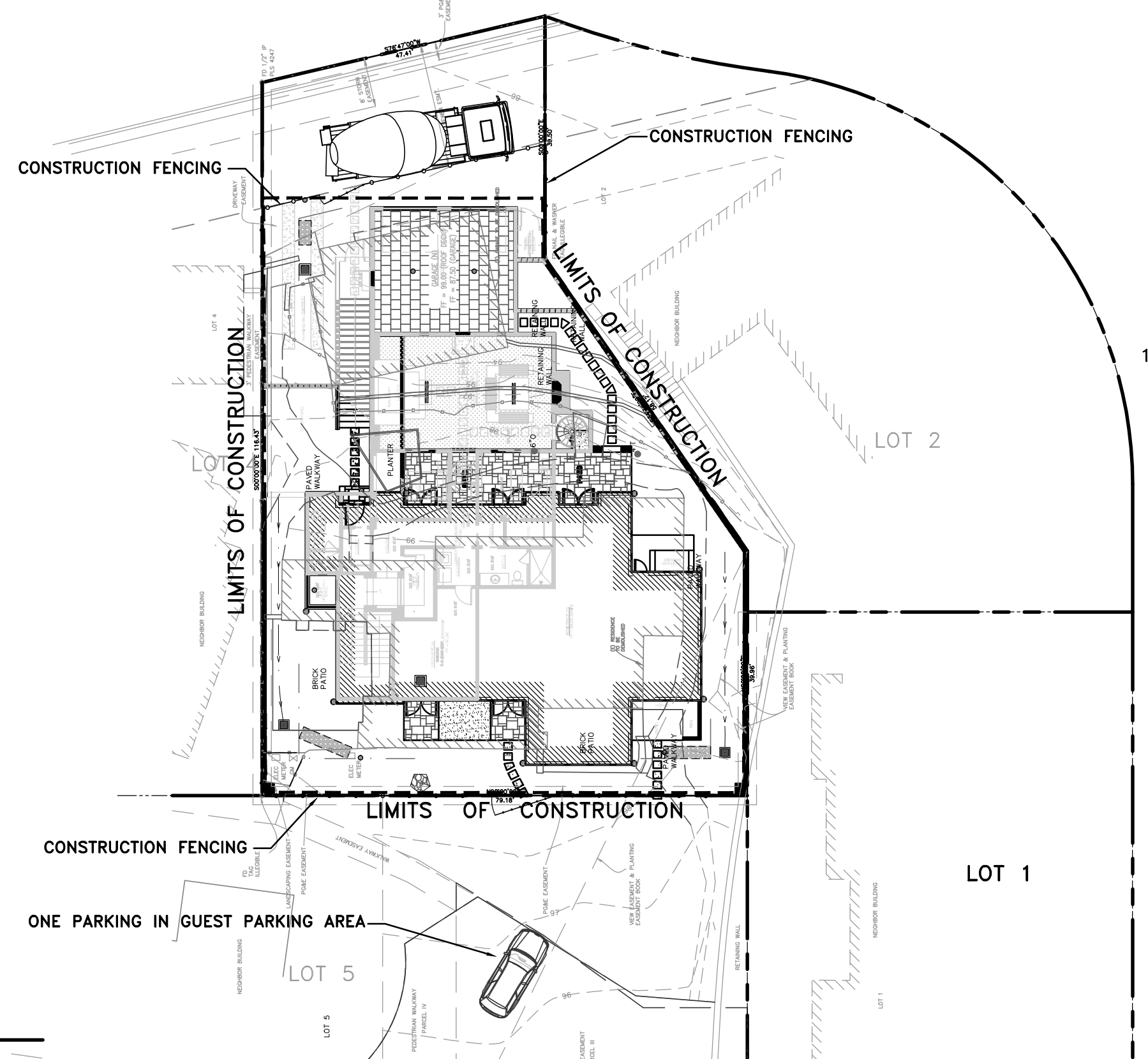
**B**  
**1** NEIGHBORHOOD TRUCK ROUTING PLAN  
Scale: Not to Scale

**NOTES:**

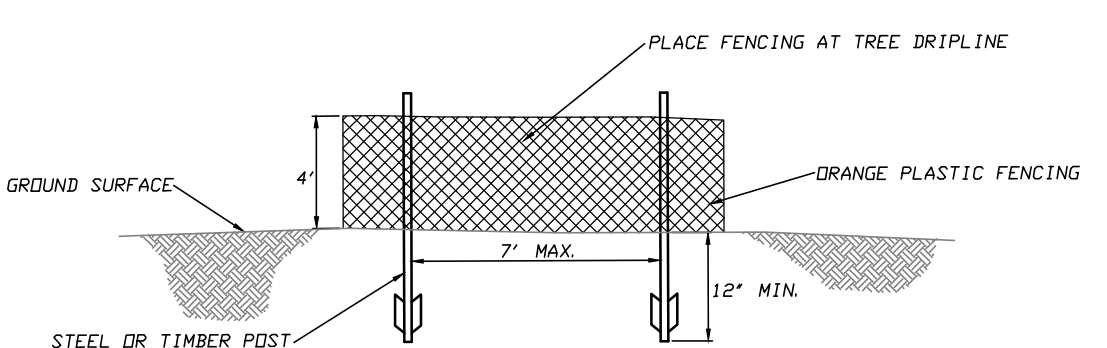
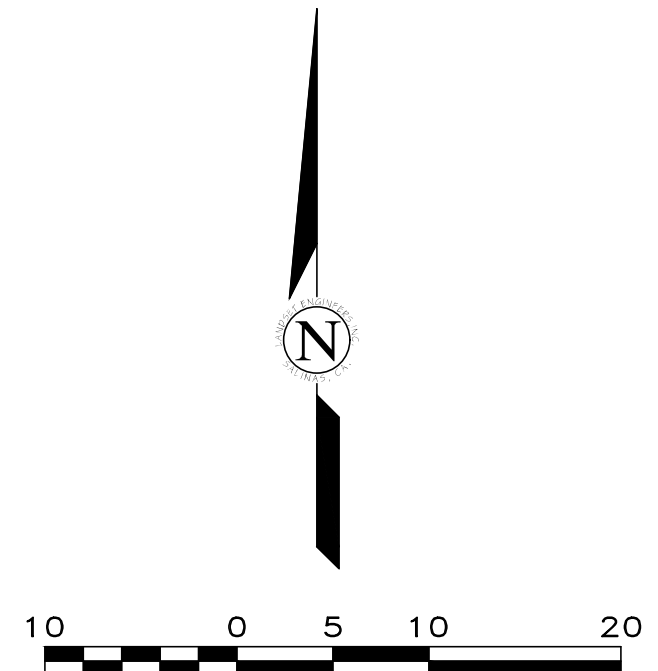
- CONSTRUCTION VEHICLES SHALL NOT BE PARKED WITHIN THE FRONT OR REAR SHARED DRIVEWAYS OR OTHER PARKING EASEMENT AREAS.
- NO MUSIC SHALL BE PLAYED AT A LEVEL THAT WOULD DISTURB OR ANNOY ADJACENT RESIDENTS.
- ALL TRASH SHALL BE PICKED UP AND DISPOSED OF IN APPROPRIATE CONTAINER DAILY.
- DUST SHALL BE MINIMIZED BY WETTING DOWN THE SITE DURING DEMOLITION AND GRADING ACTIVITIES.
- CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH LOT 1.
- CONSTRUCTION FENCING SHALL NOT INTERFERE WITH PATHS OF TRAVEL TO ADJACENT PROPERTIES WITHIN SAND AND SEA.

ID	Task Name	Duration	Start	Finish	1st Shift	2nd Shift	3rd Shift
					Se	OCN	De
11	Pre-Construction	100 days	Mon 5/22/19	Fri 12/6/19			
145	Construction	386 days	Wed 9/25/19	Wed 3/17/21			
146	Mobilization	19 days	Wed 9/25/19	Mon 10/21/19			
153	Demolition	15 days	Mon 10/21/19	Fri 11/8/19			
159	Foundations	43 days	Mon 11/11/19	Wed 1/8/20			
170	Building Perimeter CMU Walls To Abt	18 days	Thu 1/9/20	Mon 2/3/20			
173	Slab On Grade	40 days	Tue 2/4/20	Mon 3/30/20			
183	CMU Water Proofing, Backfill & Comp	12 days	Tue 3/31/20	Wed 4/15/20			
188	First Floor Framing	42 days	Thu 4/16/20	Fri 6/12/20			
193	2nd Floor Framing	83 days	Thu 5/21/20	Mon 9/14/20			
204	Exterior	53 days	Wed 7/29/20	Fri 10/9/20			
213	Interior Finishes Grnd, 2nd, & 3rd	100 days	Tue 9/15/20	Mon 2/1/21			
234	Site work	24 days	Fri 10/9/20	Wed 11/11/20			
233	O.A.C. Punch list	33 days	Tue 10/27/20	Thu 12/10/20			
238	Life Safety & Commissions	32 days	Tue 2/2/21	Wed 3/17/21			

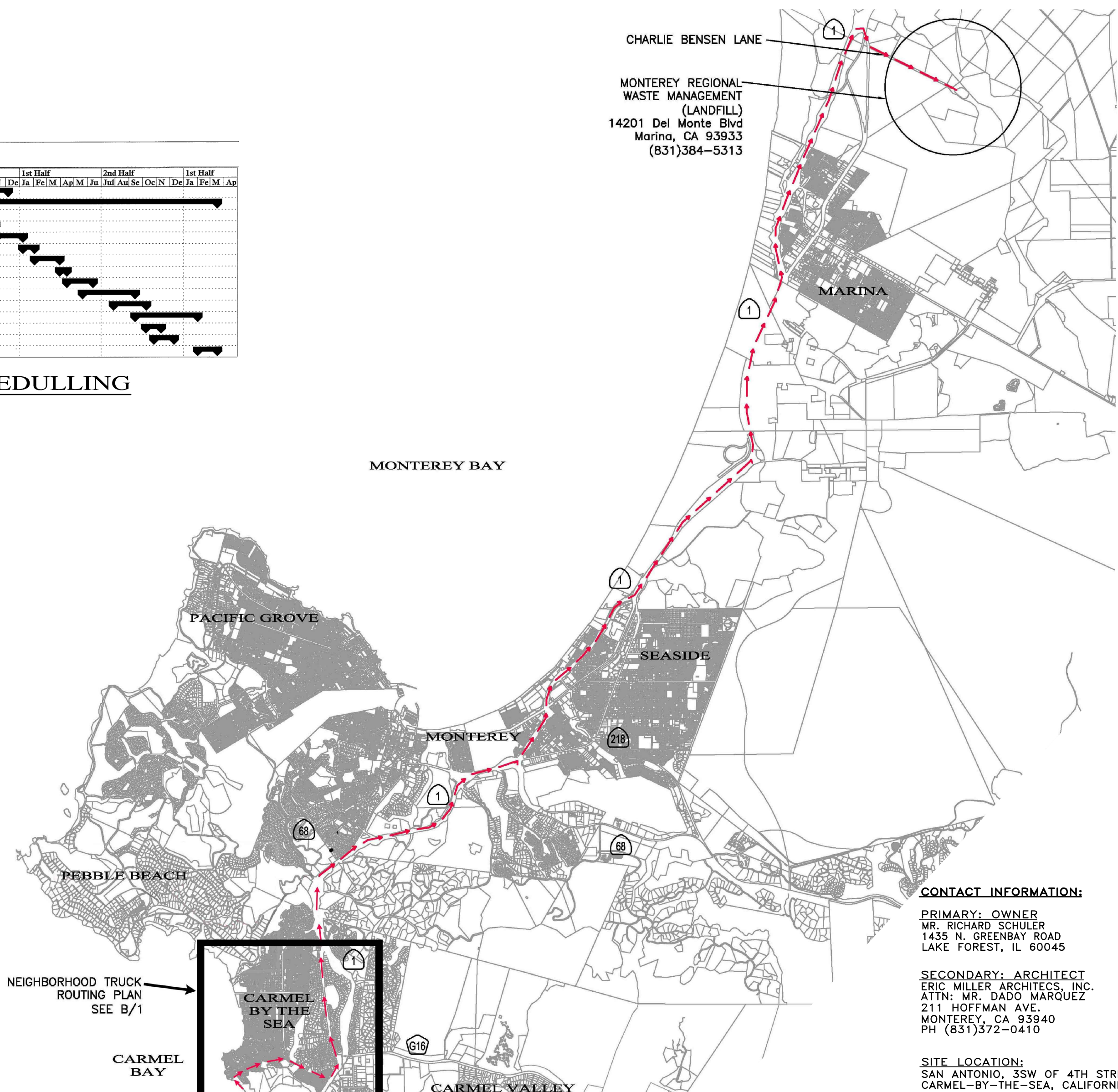
**CONSTRUCTION SCHEDULLING**



**A**  
**1** CONSTRUCTION STAGING PLAN  
Scale: 1"=20'



**TREE PROTECTION (ESA) DETAIL**  
Scale: NTS

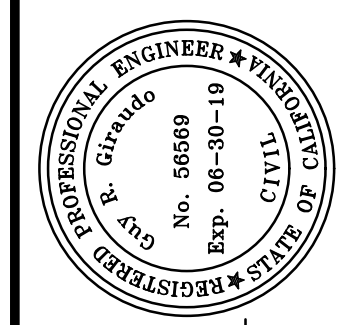


**D**  
**1** OVERALL TRUCK ROUTING PLAN  
Scale: Not to Scale

**CONTACT INFORMATION:**  
**PRIMARY: OWNER**  
MR. RICHARD SCHULER  
1435 N. GREENBAY ROAD  
LAKE FOREST, IL 60045  
**SECONDARY: ARCHITECT**  
ERIC MILLER ARCHITECTS, INC.  
ATTN: MR. DADO MARQUEZ  
211 HOFFMAN AVE.  
MONTEREY, CA 93940  
PH (831)372-0410

**SITE LOCATION:**  
SAN ANTONIO, 35W OF 4TH STREET  
CARMEL-BY-THE-SEA, CALIFORNIA

No.	DATE	BY	REVISION
09/23/19	AMS	C.O.C. C.P. AND B.D.	
09/16/19	AMS	RELEASED TO CLIENT	
05/02/19	AMS	RELEASED TO CLIENT	
10/31/18	JAN	RELEASED TO CLIENT	



APPROVED BY:  
**GUY R. GIRARDO**  
10/1/19



**CONSTRUCTION MANAGEMENT PLAN**  
OF  
**SCHULER RESIDENCE**  
A.P.N.: 010-321-024-000  
FOR  
MR. RICHARD SCHULER  
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA

SCALE: AS SHOWN  
DATE: OCT. 2018  
JOB NO. 1786-01  
SHEET **CM1**  
OF 1 SHEETS