

SCHULER RESIDENCE

San Antonio 3 SW OF 4th Street
CARMEL-BY-THE-SEA, CA 93921

REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

COVER PAGE
JOB NAME: **Schuler Residence**
San Antonio 3 SW of 4th Street
Carmel, By-The-Sea, CA
APN: 010-021-024-000
DATE: 10/18/18
SCALE: N.T.S.
DRAWN: DM
JOB NUMBER: 13.09
A-0.1
SHEET OF

GENERAL NOTES

- CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL:** IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND THE ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL NOTICES/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2016 C.B.C.)
- CONSTRUCTION RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- JOB SITE SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION:** THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/DAMAGES/LOSSES/AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP:** THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- EXISTING CONDITION:** CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS CONDITION AND EXISTING AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- CONSTRUCTION NOTES:** ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES:** BUILDING SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODES/CALIFORNIA RESIDENTIAL CODE, PLUMBING, MECHANICAL, ELECTRICAL, FIRE AND ENERGY CODES.

OWNERSHIP NOTES

- OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:
- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.
 - THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
 - THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
 - IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/ EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

TREE REMOVAL

- TWO (2) TREES TO BE REMOVED
- 1) 6" DIAMETER OAK TREE
- 2) 4" DIAMETER TEAK TREE

PROPOSED GRADING QUANTITIES

CUT	751 CUBIC YARDS
FILL	122 CUBIC YARDS
NET	629 CUBIC YARDS EXPORT

PROJECT DATA

ADDRESS: SAN ANTONIO 3SW OF 4TH STREET
CARMEL - BY-THE-SEA, CA 93921

LOT SIZE: 7,733 S.F.
EASEMENT: 650 S.F.
A.P.N.: 010-021-024-000
BLOCK: SS
LOT: 3
ZONING: R1
TYPE OF CONSTRUCTION: (V-B)
FRONT SETBACK: 15.0' MIN.
SIDE SETBACKS: 25% OF SITE WIDTH (MIN. 3 FT.)
REAR SETBACK: 3.0'
MAX. BUILDING HEIGHT: 18'-0"

PROJECT DESCRIPTION:

PROPOSED DEMOLITION OF EXISTING SINGLE LEVEL RESIDENCE WITH (2) GARAGE AND BUILD A NEW RESIDENCE WITH BASEMENT CONSIST OF 3 BEDROOMS, 3 FULL BATHROOMS, 1 HALF BATHROOM AND 2 CAR GARAGE.

LOT AREA

LOT SIZE	7,733 S.F.
EASEMENT	650 S.F.
NET LOT SIZE	7,083 S.F.

FLOOR AREA CALCULATIONS

BASEMENT	754 S.F.
BASEMENT BONUS	100 S.F.
BASEMENT NET CHARGED	654 S.F.
BASEMENT DEDUCTED FROM MAIN	327 S.F.
BASE FLOOR AREA (per Formula Below) 7083 x [(0.45-(7083 - 4000) x 0.00002)]	2,751 S.F.
BASEMENT DEDUCTED FROM BASE FLOOR AREA	327 S.F.
MAXIMUM FIRST FLOOR	2,424 S.F.

FLOOR AREA RATIO

FIRST FLOOR	2,424 S.F.
BASEMENT	754 S.F.
F.A.R.	3,178 S.F.

SUMMARY

GARAGE	504 S.F.
MAIN FLOOR AREA	1,920 S.F.
BASEMENT FLOOR AREA	754 S.F.
MAIN FLOOR AREA	3,178 S.F.

SITE COVERAGE

ALLOWED IMPERVIOUS COVERAGE = 444 S.F.
ALLOWED PERVIOUS COVERAGE = 444 S.F.

PROPOSED IMPERVIOUS COVERAGE

MASTER BEDROOM PATIO	100.0 S.F.
CIRCULAR STAIRS & FIREPLACE	48.0 S.F.
EXTERIOR STAIRS	104.0 S.F.
GREAT ROOM PATIO (PARTIAL)	72.0 S.F.
BBQ AREA	20.0 S.F.
SITE WALLS	66.0 S.F.
LOWER FLOOR (COURTYARD) HARDSCAPE	34.0 S.F.
TOTAL IMPERVIOUS COVERAGE	444.0 S.F.

PROPOSED PERVIOUS COVERAGE

GREAT ROOM PATIO (PARTIAL)	55.0 S.F.
DINING ROOM PATIO	54.0 S.F.
OUTDOOR SHOWER	60.0 S.F.
COURTYARD, STEPPING STONES & LANDING	48.0 S.F.
MAIN FLOOR STEPPING STONES	45.0 S.F.
LOWER FLOOR STEPPING STONES	15.0 S.F.
LIGHT WELL	22.0 S.F.
TRASH ENCLOSURE	26.0 S.F.
DRIVEWAY & PARKING	119.0 S.F.
TOTAL PERVIOUS COVERAGE	444.0 S.F.

PROJECT TEAM

OWNER: RICHARD SCHULER
1435 N. GREENBAY ROAD
LAKE FOREST, IL 60045
PHONE: 312-342-1010

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE: 831-372-0410

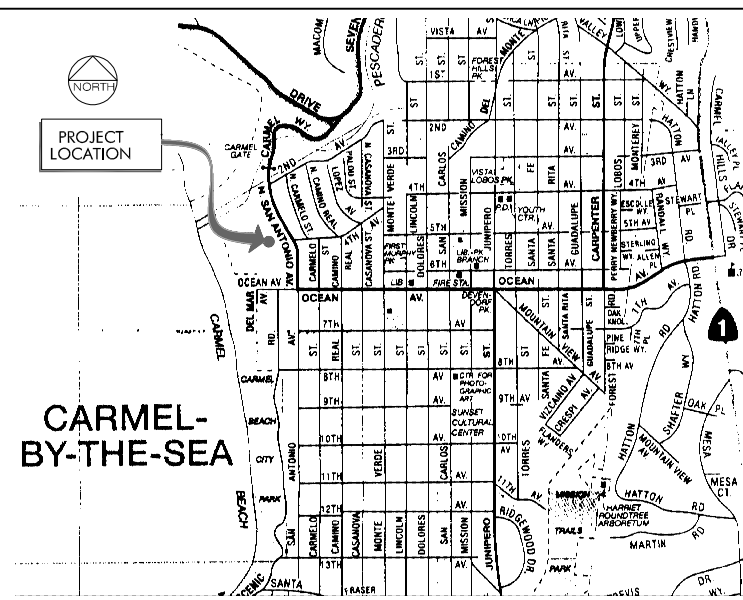
SURVEYOR: MBS LAND SURVEYORS
3563 SUELDO ST. UNIT Q
SAN LUIS OBISPO, CA 93401
PHONE: 805-544-1960

LANDSCAPE: BFS LANDSCAPE ARCHITECTS
425 PACIFIC STREET #201
MARINA, CALIFORNIA 93940
PH: 831-646-1383
CONTACT: SIMON PHILLIPS

CML: LANDSET ENGINEERING
520-B CRAZY HORSE CANYON ROAD
SALINAS, CA 93907
PH: 831-443-6910
CONTACT: GUY GIRAUDO

ARCHAEOLOGIST: SUSAN MORLEY M.A.
3054 BOSTICK AVENUE
MARINA, CA 93955-3727
PH: 831-645-0162
CONTACT: SUSAN MORLEY

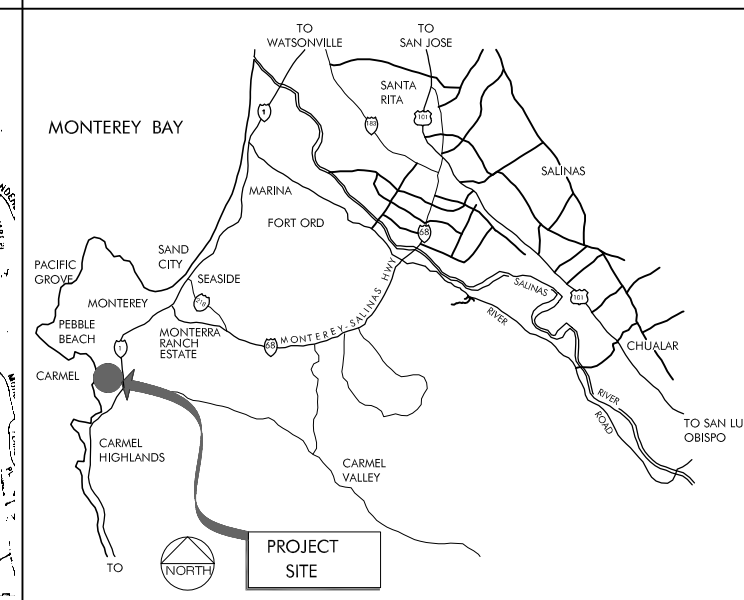
LOCATION MAP



SHEET INDEX

ARCHITECTURAL	
A-0.1	COVER SHEET
A-0.2	NOTES & INSTRUCTIONS
A-1.0	EXISTING SITE & TOPOGRAPHIC MAP
A-1.1	PROPOSED SITE PLAN
A-1.2	DEMOLITION PLAN
A-1.3	SITE PLAN OVERLAY
A-1.4	SITE SECTION 'A'- 'A'
A-1.5	SITE SECTION 'B'- 'B'
A-1.6	TOPOGRAPHIC SURVEY ANNOTATED BY THE CITY FORESTER
A-2.0	BASEMENT / LOWER LEVEL FLOOR PLAN
A-2.1	MAIN FLOOR PLAN
A-2.2	CLERESTORY PLAN
A-2.3	ROOF PLAN
A-2.4	BASEMENT / LOWER & MAIN FLOOR OVERLAP
A-2.5	BASEMENT / LOWER REFLECTED CEILING PLAN
A-2.6	MAIN FLOOR REFLECTED CEILING PLAN
A-3.0	(E) NORTH & EAST EXTERIOR ELEVATIONS
A-3.1	(E) SOUTH & WEST EXTERIOR ELEVATIONS
A-3.2	(N) NORTH & EAST EXTERIOR ELEVATIONS
A-3.3	(N) SOUTH & WEST EXTERIOR ELEVATIONS
A-3.4	(N) BUILDING SECTION 'A' - 'A'
A-3.5	(N) BUILDING SECTION 'B' - 'B'
A-4.1	DOOR SCHEDULE
A-4.2	WINDOW SCHEDULE
A-5.1	STREET ELEVATION (San Antonio 3SW of 4th St.)
A-5.2	STREET ELEVATION (Adjacent Driveway / Parking)
A-5.3	RENDERING - FRONT / SOUTH VIEW
A-5.4	RENDERING - REAR / NORTH VIEW
A-5.5	RENDERING - COURTYARD
A-7.1	MATERIAL COLOR SAMPLE
CML	
C1	CONCEPTUAL GRADING & DRAINAGE PLAN
EC1	EROSION CONTROL PLAN
CM1	CONSTRUCTION MANAGEMENT PLAN
LANDSCAPE	
L-1.0	PLANTING PLAN
L-1.1	PLANTING PLAN
L-6.0	LIGHTING PLAN

VICINITY MAP



THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY MEANS, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED - FILE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PRODUCE. VISUAL CONTACT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FIRM WISE EVIDENCE OF ASSUMPTION OF THESE RESTRICTIONS.

NOTES AND INSTRUCTIONS

CONSTRUCTION NOTES

- A. SIMILAR CONDITIONS: CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.
- B. DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- C. SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, GLUE LAMINATED BEAMS AND PREFABRICATED TRUSSES. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS AND DESIGN CONCEPTS OF THE PLAN, DETAILS AND SPECIFICATIONS.
- D. CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND BINDING.
- E. CONSTRUCTION, BRACING AND SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- F. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, LOCAL, STATE AND O.S.H.A. SAFETY REGULATIONS.
- G. TECHNICAL SPECIFICATIONS: ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.
- H. REFER TO ARCHAEOLOGICAL REPORT & LANDSCAPE ARCHITECT FOR GRADING REQUIREMENTS.

FIRE DEPARTMENT NOTES

- 1. FIRE PROTECTION EQUIPMENT & SYSTEM - FIRE SPRINKLER SYSTEM (STANDARD)
THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEM MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.
- 2. FIRE ALARM SYSTEM - (SINGLE FAMILY DWELLING)
THE RESIDENCE SHALL BE FULLY PROTECTED WITH AN APPROVED HOUSEHOLD FIRE WARNING SYSTEM AS DEFINED BY NFPA STANDARD 72. PLANS AND SPECIFICATIONS FOR THE HOUSEHOLD FIRE WARNING SYSTEM SHALL BE SUBMITTED BY A CALIFORNIA LICENSED C-10 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. HOUSEHOLD FIRE WARNING SYSTEMS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE UNIFORM BUILDING CODE SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT.
- 3. FIRE - SMOKE ALARMS - (SINGLE FAMILY DWELLING)
WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGLAR ALARM SYSTEM IS INSTALLED IN LIEU OF SINGLE STATION SMOKE ALARM REQUIRED BY THE UNIFORM BUILDING CODE THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT.

NOTES AND SPECIFICATIONS:

- 1. THE EXTERIOR DOORS & WINDOWS SHALL BE COPPER FRAMED.
- 2. THE CONCRETE AT GRADE AND SUB-GRADE CONDITIONS SHALL CONTAIN NYPEX.
- 3. ALL SUB-GRADE FOUNDATIONS SHALL HAVE MIRADRAIN WITH MIRAFI FILTER-WEAVE 300 W/P. FABRIC ON HLM 5000 ON CONCRETE W/ NYPEX.
- 4. ALL HARDWARE SHALL BE ROCKY MOUNTAIN BRAND OR COMPARABLE AS SELECTED BY OWNER.
- 5. ROOF INSULATION SHALL BE CLOSED CELL FOAM INSULATION PROVIDED BY BASF POLYURETHANE FOAM ENTERPRISES.
- 6. WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN CBC 2016 SECTION 1404.2 AND, WHERE APPLIED OVER WOOD SHEATHING.
- 7. 1" THICK STUCCO ON EXTERIOR WALLS TO BE APPLIED WITH 3 COAT APPLICATOR AS PER CBC 2016 SECTION 2512.1.
- 8. KEEP SCREEDS TO BE MIN. 26 GA. GALVANIZED CORROSION-RESISTANT OR PVC WITH A MIN. VERTICAL ATTACHMENT KEEP FLANGE OF 3-1/2" PROVIDED AT OR BELOW FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS. SCREEDS SHALL BE PLACED A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA, AS PER CBC 2016 2512.1.2.
- 9. JOINTS & OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION & EXFILTRATION AS PER 2016 CBC SECTION 117.

PLUMBING NOTES

- 1. REFER TO (MPWMD) MONTEREY PENINSULA WATER MANAGEMENT PERMIT FOR WATER FIXTURES AND APPLIANCE RESTRICTIONS.
- 2. FUEL-BURNING WATER HEATERS SHALL NOT BE INSTALLED IN BATHROOMS OR BEDROOMS OR IN A CLOSET WITH THE ONLY ACCESS THROUGH A BATHROOM OR BEDROOM. (GPC SEC 504.0); EXCEPT WATER HEATERS HAVING DIRECT VENT SYSTEMS.
- 3. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE AS REQUIRED.(CBC, 1210.2.3, 2406.4.5, CRC R301.2, R308.4)
- 4. WATER CLOSET CLEARANCES SHALL BE 30-INCHES CLEAR WIDTH FOR WATER CLOSET COMPARTMENT AND 24-INCHES CLEARANCE IN FRONT OF WATER CLOSET. (SEC 2404)
- 5. ALL HOT WATER FAUCETS FARTHER THAN 10' FROM THE WATER HEATER WHICH SERVES THEM SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.
- 6. ALL 3/4" AND LARGER HOT WATER PIPING AND ALL HOT WATER PIPING FROM THE WATER HEATER TO THE KITCHEN SINK IS INSULATED WITH A MINIMUM 1 INCH THICK INSULATION.

CONDITIONS OF APPROVAL

- 1. NO INTERIOR RECESS LIGHT ABOVE CLERESTORY WINDOWS PROPOSED.
- 2. LOW REFLECTIVE GLASS TO BE USED

REVISION	No.

CONSULTANT:



ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

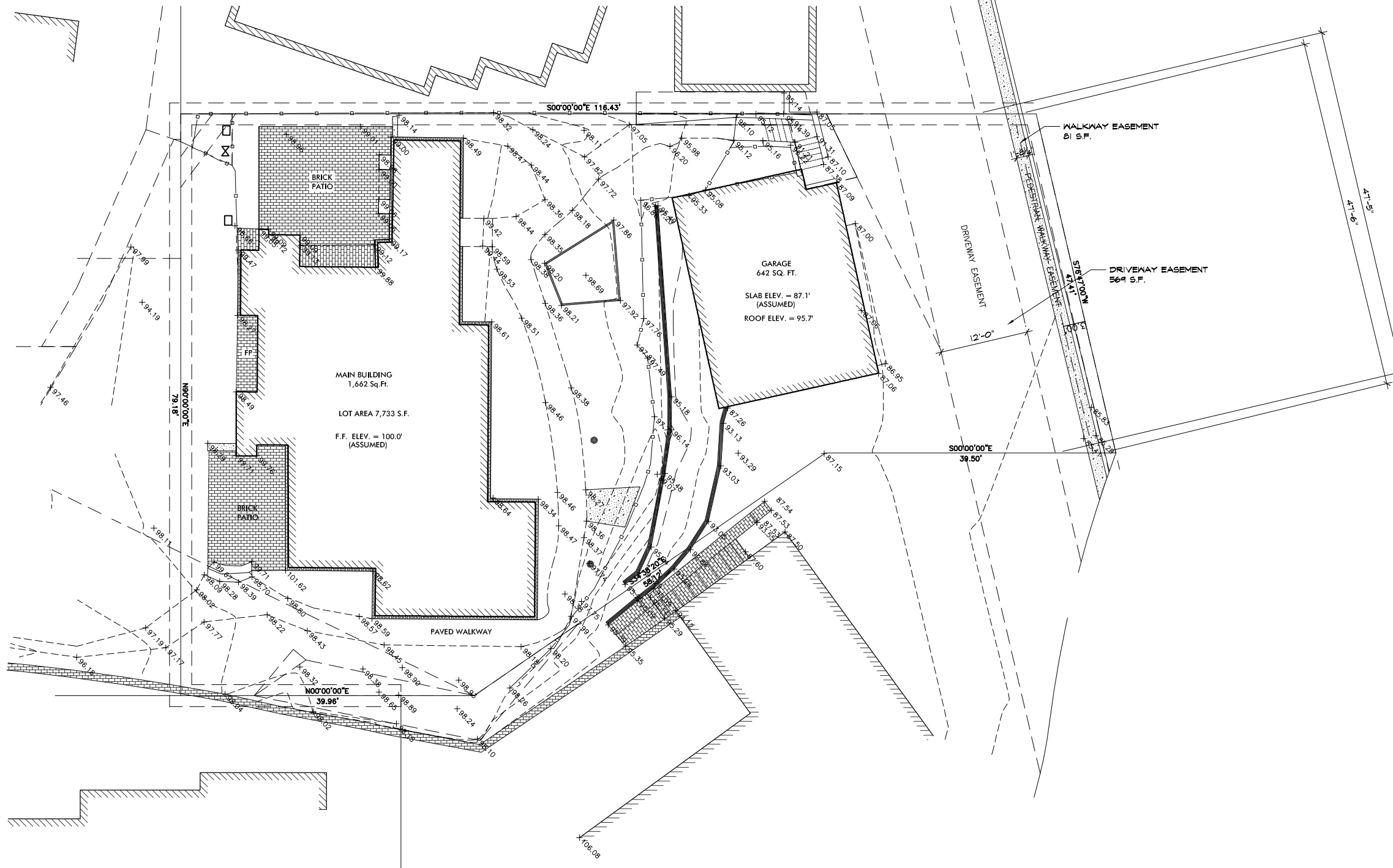
ARCHITECT

NOTES & INSTRUCTIONS

JOB NAME: **Schuler Residence**
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18
 SCALE: N.T.S.
 DRAWN: DM
 JOB NUMBER: 13.09

A-0.2
 SHEET OF



IMPORTANT INFORMATION
 LOT AREA 7733 SF
 BLDG AREA 1662 SF
 GARAGE 642 SF
 EASEMENT AREA 650 SF

SYMBOL LEGEND:

x	FENCE LINE	PG	RETAINING WALL
SS	SEWER MAIN	PGM	PG&E BOX
W	WATER MAIN	GM	GAS METER
G	GAS MAIN	TEL	TELEPHONE BOX
ETC	ELEC/TELEPHONE/CABLE	SIG	SIGNAL BOX
OHE	OVERHEAD ELECTRIC	CATV	CABLE T.V. BOX
DI	DROP INLET AT CURB	ELEC	ELECTRIC BOX
DI	DROP INLET	TM	TELEPHONE MANHOLE
SDM	STORM DRAIN MANHOLE	STP	STREET LIGHT
FD	FIRE HYDRANT	JP	JOINT POLE
W	WATER WELL	PP	POWER POLE
WV	WATER VALVE	GW	GUY WIRE
WM	WATER METER		
SM	SEWER MANHOLE		
SC	SEWER CLEANOUT		
MW	MONITORING WELL		

ABBREVIATIONS

AC	ASPHALT CONCRETE	IP	IRON PIPE
AP	ANGLE POINT	GB	GRADE BREAK
BM	BENCH MARK	GM	GAS METER
BLDG	BUILDING	HP	HIGH POINT
BOW	BACK OF WALK	LT	LIGHT
CB	CATCH BASIN	MH	MANHOLE
CF	CURB FACE	PP	POWER POLE
CO	CLEAN OUT	PVC	POLYVINYL PIPE
COL	COLUMN	RB	REBAR
COR	CORNER	ROP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	R1	RADIUS
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CMU	CONCRETE MASONRY UNITS	SL	POINT ON SLOPE
CRN	CROWN OF STREET	SS	SEWER
DI	DROP INLET	STP	STREET LIGHT
EG	EXISTING GRADE	STR	STAIRS
EP	EDGE OF PAVEMENT	TOP	TOP OF SLOPE
FD	FOUND	TOE	TOE OF SLOPE
FL	FLOW LINE	TW	TOP OF WALL
FF	FINISH FLOOR	W	WATER
FW	FACE OF WALL	WL	WALL
HSE	HOUSE COR	WM	WATER METER
GR	GRASS	WV	WATER VALVE
GM	GAS METER		
IP	IRON PIPE		

DI-1.5FL TOP OF GRATE -1.5' FLOW LINE

SURVEYOR'S STATEMENT:
 THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON 2015.

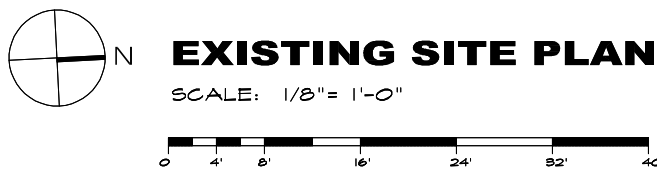
MICHAEL B. STANTON, PLS 5702 DATE

- SURVEYOR'S NOTES:**
1. THIS SURVEY IS BASED ON THE PRELIMINARY TITLE REPORT ORDER #2710-4330431 FROM FIRST AMERICAN TITLE DATED MARCH 4, 2013. ALL EASEMENTS SHOWN ARE BASED ON THAT REPORT.
 2. ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAVE BEEN MEASURED IN THE FIELD ON THIS SURVEY. IF APPROXIMATE UNDERGROUND ALIGNMENTS ARE SHOWN, I MAKE NO WARRANTY AS TO THE ACTUAL LOCATION, TYPE OR DEPTH OF THOSE UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICES ALERT (USA) AT 1-800-642-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION. THE SURVEYOR ALSO HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
 3. IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
 4. THE SIGNED AND SEALED ORIGINAL DRAWING OF THIS MAP CONSTITUTES THE FINAL WORK PRODUCT. MBS LAND SURVEYS WILL NOT BE LIABLE FOR ELECTRONIC VERSIONS OF THIS MAP PROVIDED TO OTHER PARTIES.
 5. THE BOUNDARY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION (I.E. RECORDED MAPS OR DEEDS) AND ARE NOT INTENDED TO REPRESENT THE TRUE OR ACTUAL BOUNDARY LINES OF THE SUBJECT PROPERTY. TO DETERMINE THE ACTUAL BOUNDARIES OF THE PARCEL WILL REQUIRE A COMPLETE BOUNDARY SURVEY, THE SETTING OF PROPERTY MONUMENTS AND THE FILING OF A CORNER RECORD OR RECORD OF SURVEY IN CONFORMANCE WITH STATE LAW (LS ACT SEC. 8762). APPROXIMATE DIMENSIONAL TIES FROM THE BOUNDARY LINES SHOWN TO PHYSICAL FEATURES (E.G. BUILDINGS, FENCES, WALLS OR TREES, ETC.) SHOWN ON THIS MAP CAN BE DERIVED BY SCALING THE FINISHED WORK PRODUCT WHICH IS PLOTTED AT THE SCALE INDICATED. HOWEVER, DIMENSIONAL TIES DERIVED DIRECTLY FROM THE DIGITAL PRODUCT (AUTOCAD DRAWING) ARE NOT ACCURATE AND CANNOT BE RELIED UPON FOR DETERMINING BUILDING SETBACKS OR THE PLACEMENT OF ANY PROPOSED NEW CONSTRUCTION. THE LOCATION OF NEW CONSTRUCTION CAN ONLY BE PROPERLY DESIGNED WHEN IT IS BASED ON AN ACTUAL BOUNDARY SURVEY OF THE PARCEL. OTHERWISE, MODIFICATIONS TO THE STRUCTURE MAY BE NECESSARY DURING CONSTRUCTION TO COMPLY WITH AGENCY SETBACK REQUIREMENTS.

BENCH MARK:
 THE BENCH MARK FOR THIS PROJECT IS ASSUMED AT 100.0'

BASIS OF BEARINGS
 THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG THE NORTHERLY PROPERTY LINE OF "TRACT # 644, SAND & SEA", VOLUME 11, C&T, PAGE 20.
 BEARING S 67° 47' 00" W.

SITE DATA:
 ADDRESS: NORTH SAN ANTONIO AVE., CARMEL, CA
 ASSESSOR'S PARCEL NO. APN 010-324-024



TOPOGRAPHIC MAP
 LOT 3 OF TRACT 644 AS SHOWN ON MAP FILED IN VOLUME 11, C&T AT PAGE 20, IN THE COUNTY OF MONTEREY, CALIFORNIA

AT THE REQUEST OF ROBERT SCHULER
MBS MICHAEL B. STANTON, PLS 5702
 3563 SUELDO ST. UNIT Q
 SAN LUIS OBISPO, CA 93401
 805-594-1960

REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

EXISTING SITE PLAN

JOB NAME: **Schuler Residence**
 San Antonio SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

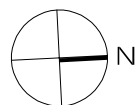
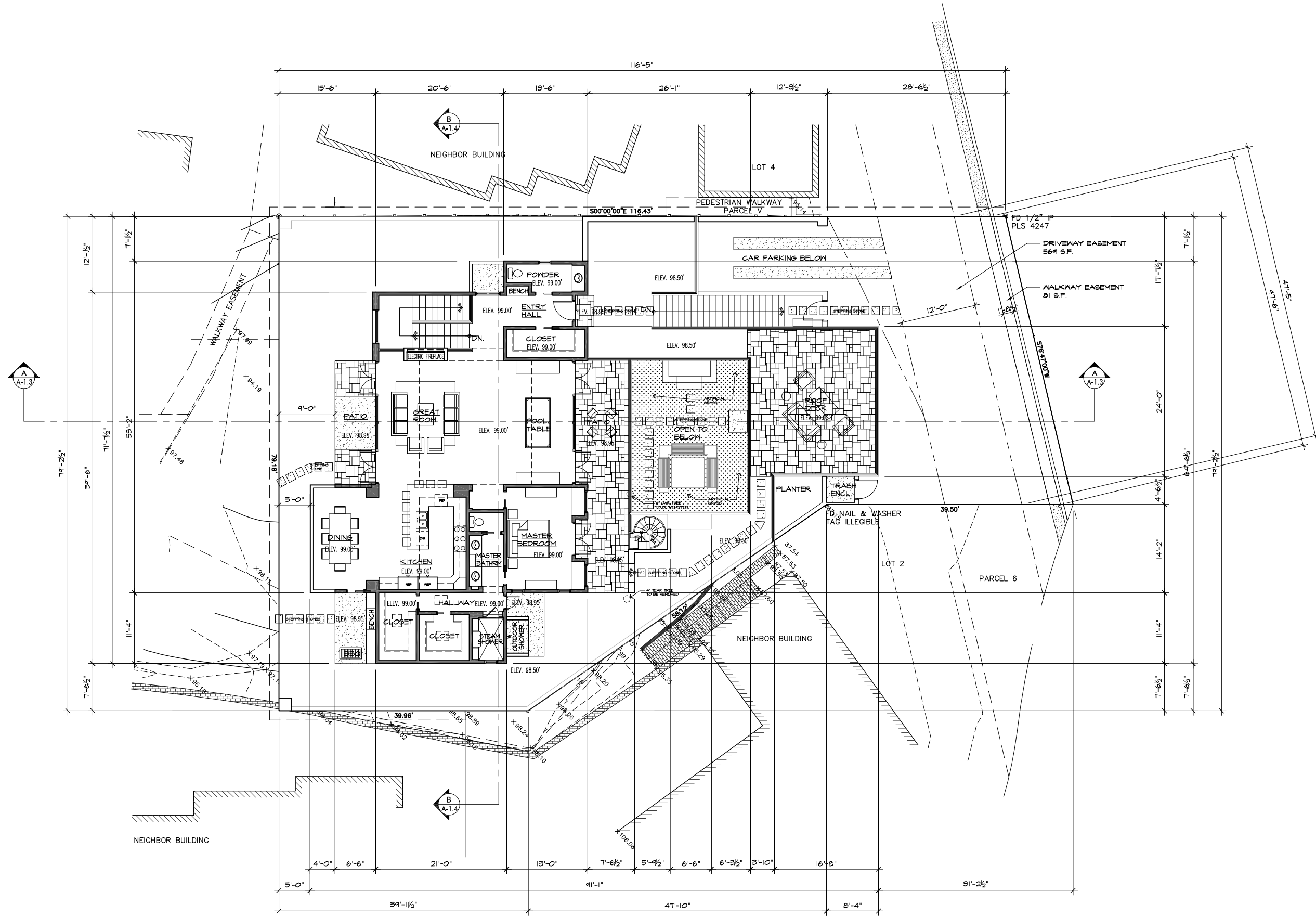
DATE: 10/18/18

SCALE: 1/8"=1'-0"

DRAWN: CAD

JOB NUMBER: 13.09

A-1.0
 SHEET OF



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



NOTE:
SEE LANDSCAPE DRAWINGS FOR
TREES / PLANTS LOCATIONS & TYPES.

REVISION	No.

CONSULTANT:

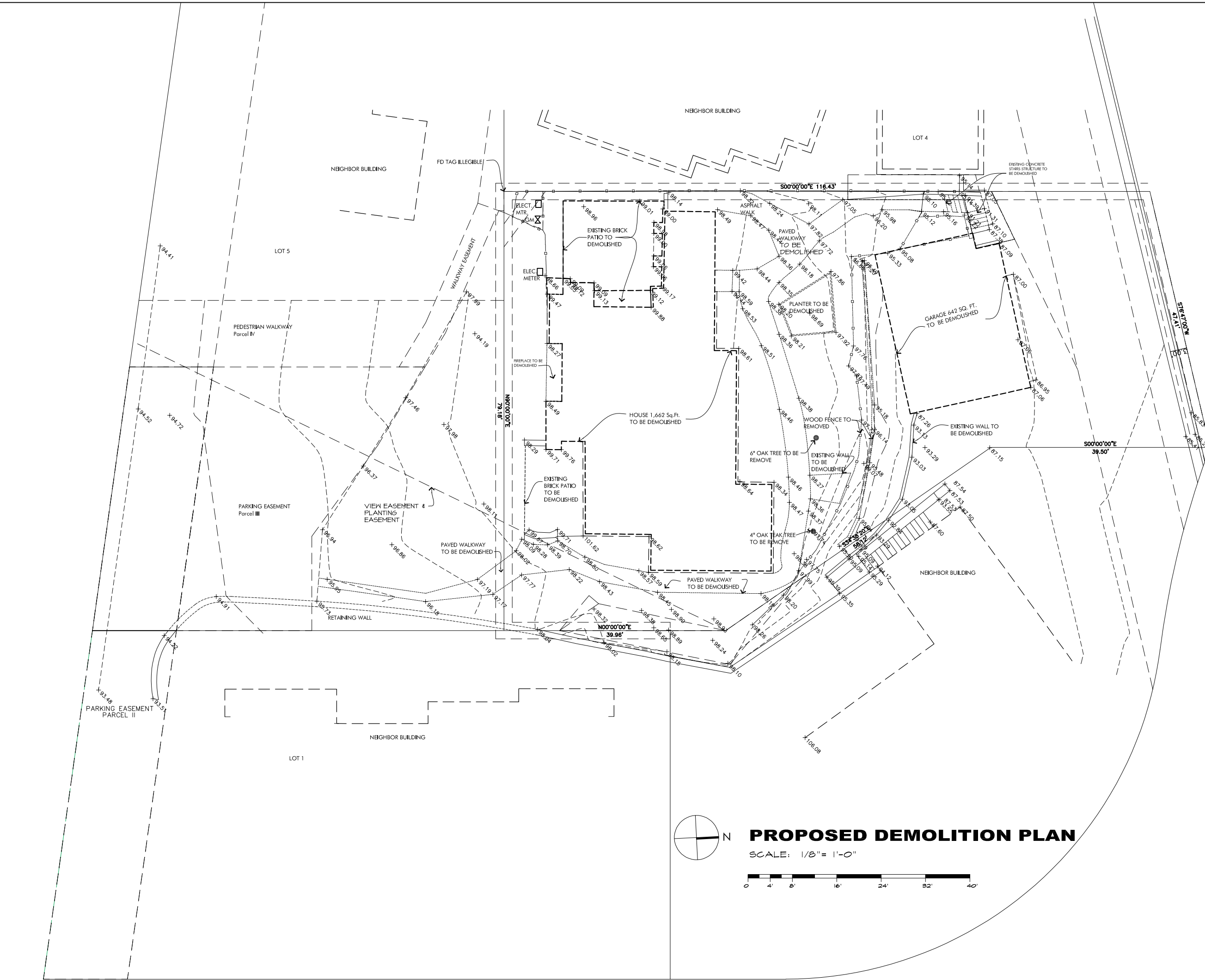
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

PROPOSED SITE PLAN

JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18
 SCALE: 1/8"=1'-0"
 DRAWN: DM
 JOB NUMBER: 13.09

A-1.1
 SHEET OF



Note:
 ALL EXISTING BUILDING STRUCTURES, PAVEMENTS, WALKWAYS, FENCES AND RETAINING WALLS, STAIRS ARE TO BE DEMOLISHED, REMOVED AND CLEARED TO GRADE. PLANTERS AND TREES ARE TO BE REMOVED AS NOTED.



PROPOSED DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



REVISION	No.

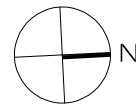
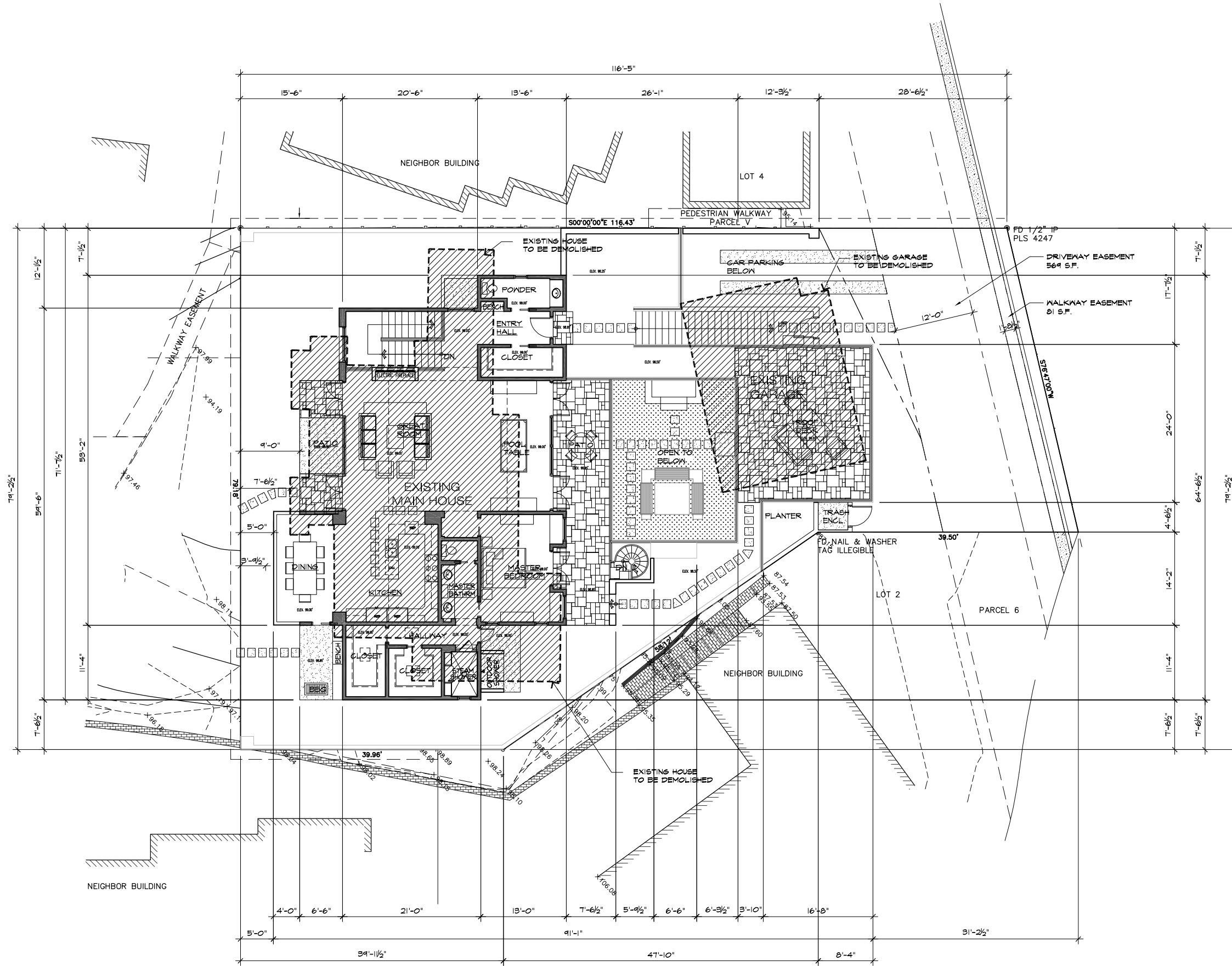
CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

PROPOSED DEMOLITION PLAN

JOB NAME: **Schuler Residence**
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-021-024-000

DATE: 10/10/18
 SCALE: 1/8" = 1'-0"
 DRAWN: CCR
 JOB NUMBER: 13.04



(E) & (N) SITE PLAN OVERLAY

SCALE: 1/8" = 1'-0"



REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

(E) & (N) SITE PLAN OVERLAY

JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18

SCALE: 1/8" = 1'-0"

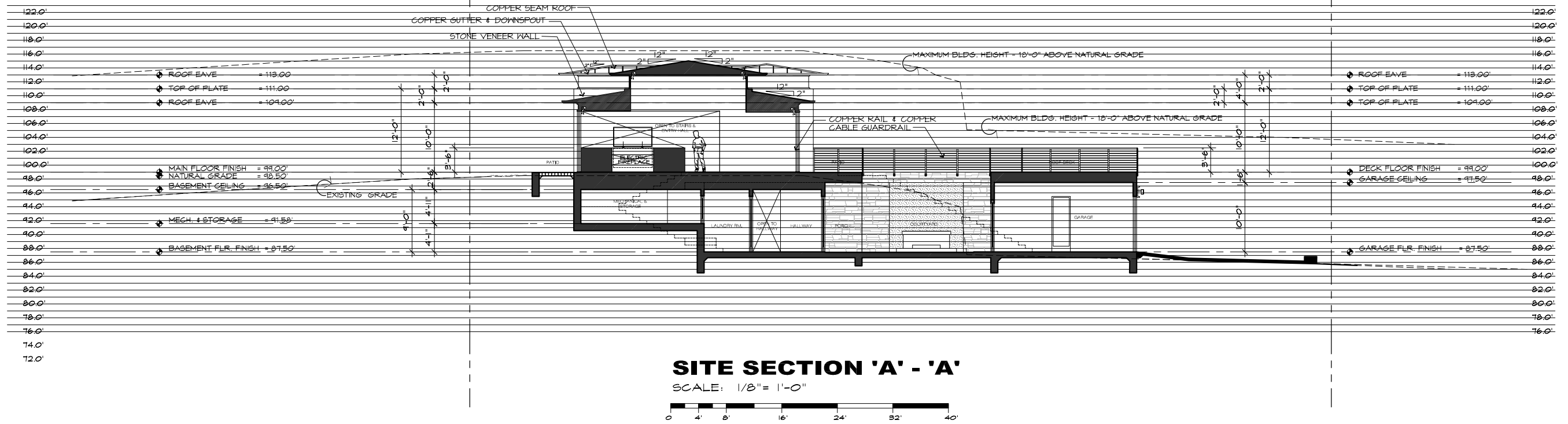
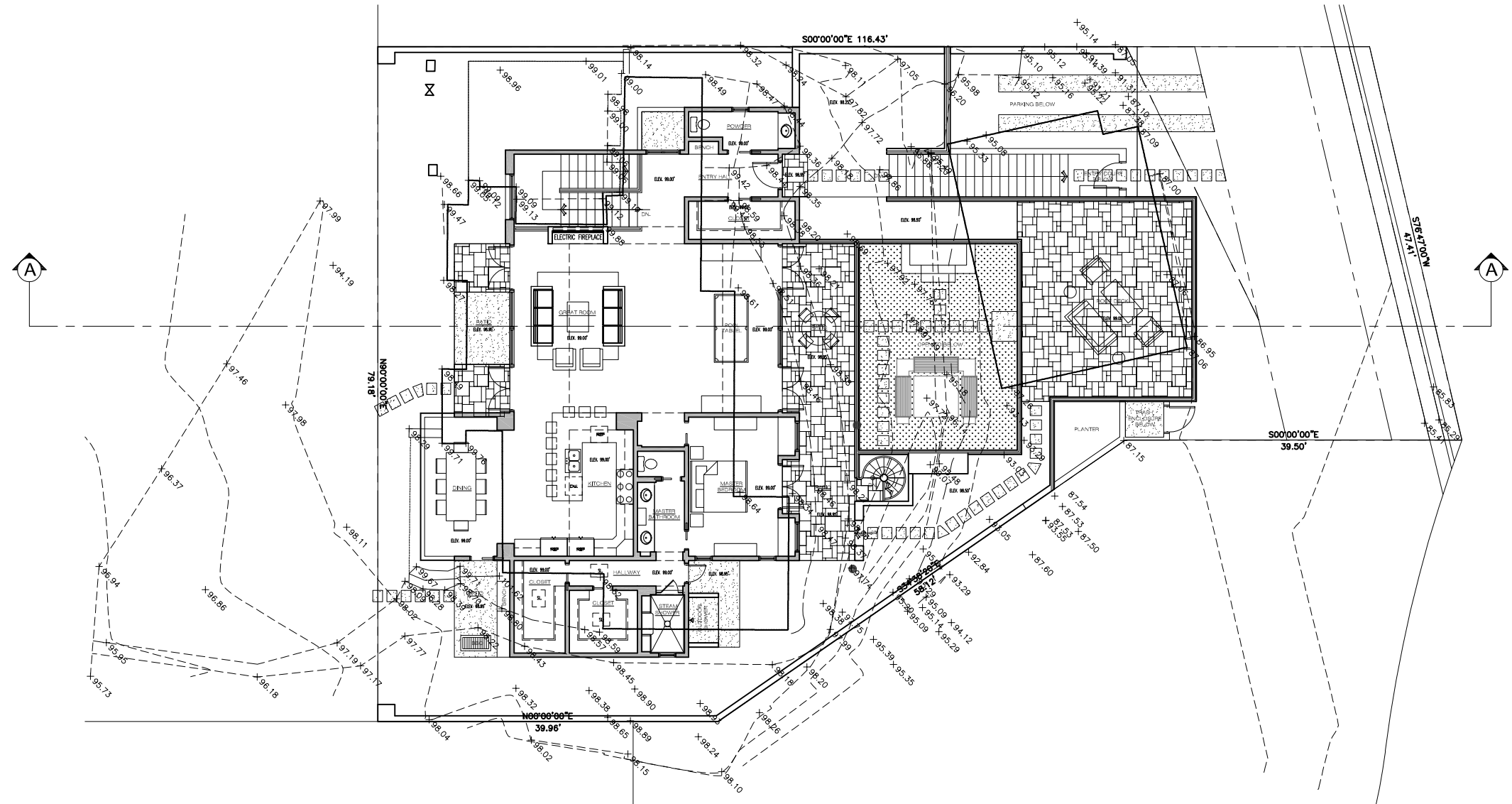
DRAWN: DM

JOB NUMBER: 13.09

A-1.3

SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPLICATION OR PUBLICATION IN WHOLE OR IN PART, IS STRICTLY PROHIBITED - TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. FINAL CONTRACT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FINAL EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

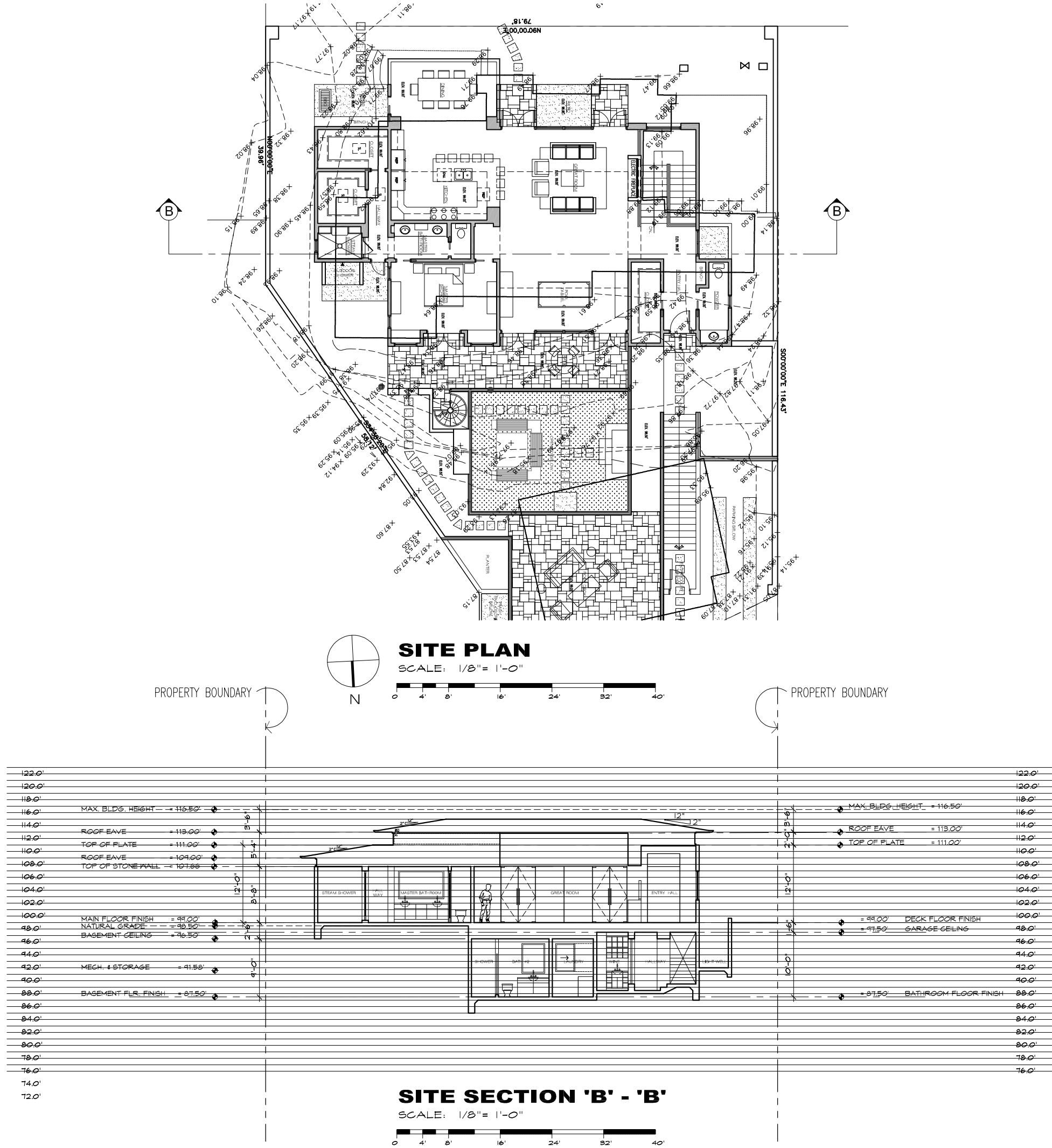
ARCHITECT

SITE SECTION 'A' - 'A'

JOB NAME: **Schuler Residence**
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18
 SCALE: 1/8" = 1'-0"
 DRAWN: DM
 JOB NUMBER: 13.09

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN WHOLE OR IN PART, IS STRICTLY PROHIBITED - TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. OWNER CONSENT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FINAL ACCEPTANCE OF THESE RESTRICTIONS.



REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

SITE SECTION 'B' - 'B'

JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18
 SCALE: 1/8" = 1'-0"
 DRAWN: DM
 JOB NUMBER: 13.09

A-1.5
 SHEET OF

PDF



IMPORTANT INFORMATION

LOT AREA 7733 SF
BLDG AREA 1662 SF
GARAGE 642 SF

EASEMENT AREA 650 SF

SYMBOL LEGEND:

SS	FENCE LINE	IP	RETAINING WALL
SM	SEWER MAIN	IP	PO&E BOX
WM	WATER MAIN	GM	GAS METER
GM	GAS MAIN	GM	GAS METER
ETC	ELEC/TELEPHONE/CABLE	LT	TELEPHONE BOX
OHE	OVER-HEAD ELECTRIC	CB	CABLE T.V. BOX
DI	DROP INLET AT CURB	CB	SIGNAL BOX
DI	DROP INLET	CB	CABLE T.V. BOX
SDM	STORM DRAIN MAN-HOLE	EB	ELECTRIC BOX
FH	FIRE HYDRANT	TM	TELEPHONE MANHOLE
WV	WATER WELL	SL	STREET LIGHT
WV	WATER VALVE	JP	JOINT POLE
WM	WATER METER	PP	POWER POLE
SMH	SEWER MANHOLE	PP	POWER POLE
SC	SEWER CLEANOUT	GW	GUY WIRE
MW	MONITORING WELL		

ABBREVIATIONS

AC	ASPHALT CONCRETE	IP	IRON PIPE
AP	ANGLE POINT	GB	GRADE BREAK
BM	BENCH MARK	GM	GAS METER
BLDG	BUILDING	HP	HIGH POINT
BOW	BACK OF WALK	LT	TELEPHONE MANHOLE
CB	CATCH BASIN	LT	TELEPHONE MANHOLE
CF	CURB FACE	PP	POWER POLE
CO	CLEAN OUT	PPG	POLYETHYLENE PIPE
COL	COLUMN	RB	REBAR
COR	CORNER	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	R10	CANDY RADUS
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CMU	CONCRETE MASONRY UNITS	SL	POINT ON SLOPE
CRN	CROWN OF STREET	SS	SEWER
DI	DROP INLET	STP	STOP
EG	EXISTING GRADE	STR	STAIRS
EP	EDGE OF PAVEMENT	TOP	TOP OF SLOPE
FD	FOUND	TOS	TOE OF SLOPE
FL	FLOW LINE	TW	TOP OF WALL
FF	FINISH FLOOR	W	WATER
FW	FACE OF WALL	WL	WALL
HSE	HOUSE COR	WM	WATER METER
GR	GRASS	WV	WATER VALVE
GM	GAS METER		
IP	IRON PIPE		

DI-1.5FL TOP OF GRATE -1.5' FLOW LINE

SURVEYOR'S STATEMENT:

THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON 4-12-2017.

Michael B. Stanton

MICHAEL B. STANTON, PLS 5702 DATE

SURVEYOR'S NOTES:

- THIS SURVEY IS BASED ON THE PRELIMINARY TITLE REPORT ORDER #2710-4330431 FROM FIRST AMERICAN TITLE DATED MARCH 4, 2013. ALL EASEMENTS SHOWN ARE BASED ON THAT REPORT.
- ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAVE BEEN MEASURED IN THE FIELD ON THIS SURVEY. IF APPROXIMATE UNDERGROUND ALIGNMENTS ARE SHOWN, I MAKE NO WARRANTY AS TO THE ACTUAL LOCATION, TYPE OR DEPTH OF THOSE UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-842-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION. THE SURVEYOR HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
- IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
- THE SIGNED AND SEALED ORIGINAL DRAWING OF THIS MAP CONSTITUTES THE FINAL WORK PRODUCT. MBS LAND SURVEYS WILL NOT BE LIABLE FOR ELECTRONIC VERSIONS OF THIS MAP PROVIDED TO OTHER PARTIES.
- THE BOUNDARY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION (I.E. RECORDED MAPS OR DEEDS) AND ARE NOT INTENDED TO REPRESENT THE TRUE OR ACTUAL BOUNDARY LINES OF THE SUBJECT PROPERTY. TO DETERMINE THE ACTUAL BOUNDARIES OF THE PARCEL WILL REQUIRE A COMPLETE BOUNDARY SURVEY. THE SETTING OF PROPERTY MONUMENTS AND THE FILING OF A CORNER RECORD OR RECORD OF SURVEY IN CONFORMANCE WITH STATE LAW (LS ACT SEC. 8762), APPROXIMATE DIMENSIONAL TIES FROM THE BOUNDARY LINES SHOWN TO PHYSICAL FEATURES (E.G. BUILDINGS, FENCES, WALLS OR TREES, ETC.) SHOWN ON THIS MAP CAN BE DERIVED BY SCALING THE FINISHED WORK PRODUCT WHICH IS PLOTTED AT THE SCALE INDICATED. HOWEVER, DIMENSIONAL TIES DERIVED DIRECTLY FROM THE DIGITAL PRODUCT (AUTOCAD DRAWING) ARE NOT ACCURATE AND CANNOT BE RELIED UPON FOR DETERMINING BUILDING SETBACKS OR THE PLACEMENT OF ANY PROPOSED NEW CONSTRUCTION. THE LOCATION OF NEW CONSTRUCTION CAN ONLY BE PROPERLY DESIGNED WHEN IT IS BASED ON AN ACTUAL BOUNDARY SURVEY OF THE PARCEL. OTHERWISE, MODIFICATIONS TO THE STRUCTURE MAY BE NECESSARY DURING CONSTRUCTION TO COMPLY WITH AGENCY SETBACK REQUIREMENTS.

BENCH MARK:

THE BENCH MARK FOR THIS PROJECT IS ASSUMED AT 100.0'

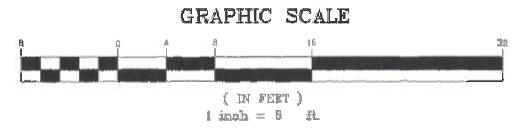
BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG THE NORTHERLY PROPERTY LINE OF TRACT # 644, SAND & SEA, VOLUME 11, C&T, PAGE 20. BEARING S 87° 47' 00" W.

SITE DATA:

ADDRESS: NORTH SAN ANTONIO AVE., CARMEL, CA

ASSESSOR'S PARCEL NO. APN 010-324-024



RECEIVED

MAY 08 2018

City of Carmel-by-the-Sea
Planning & Building Dept.

TOPOGRAPHIC MAP

LOT 3 OF TRACT 644 AS SHOWN ON MAP FILED IN VOLUME 11, C&T AT PAGE 20, IN THE COUNTY OF MONTEREY, CALIFORNIA

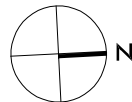
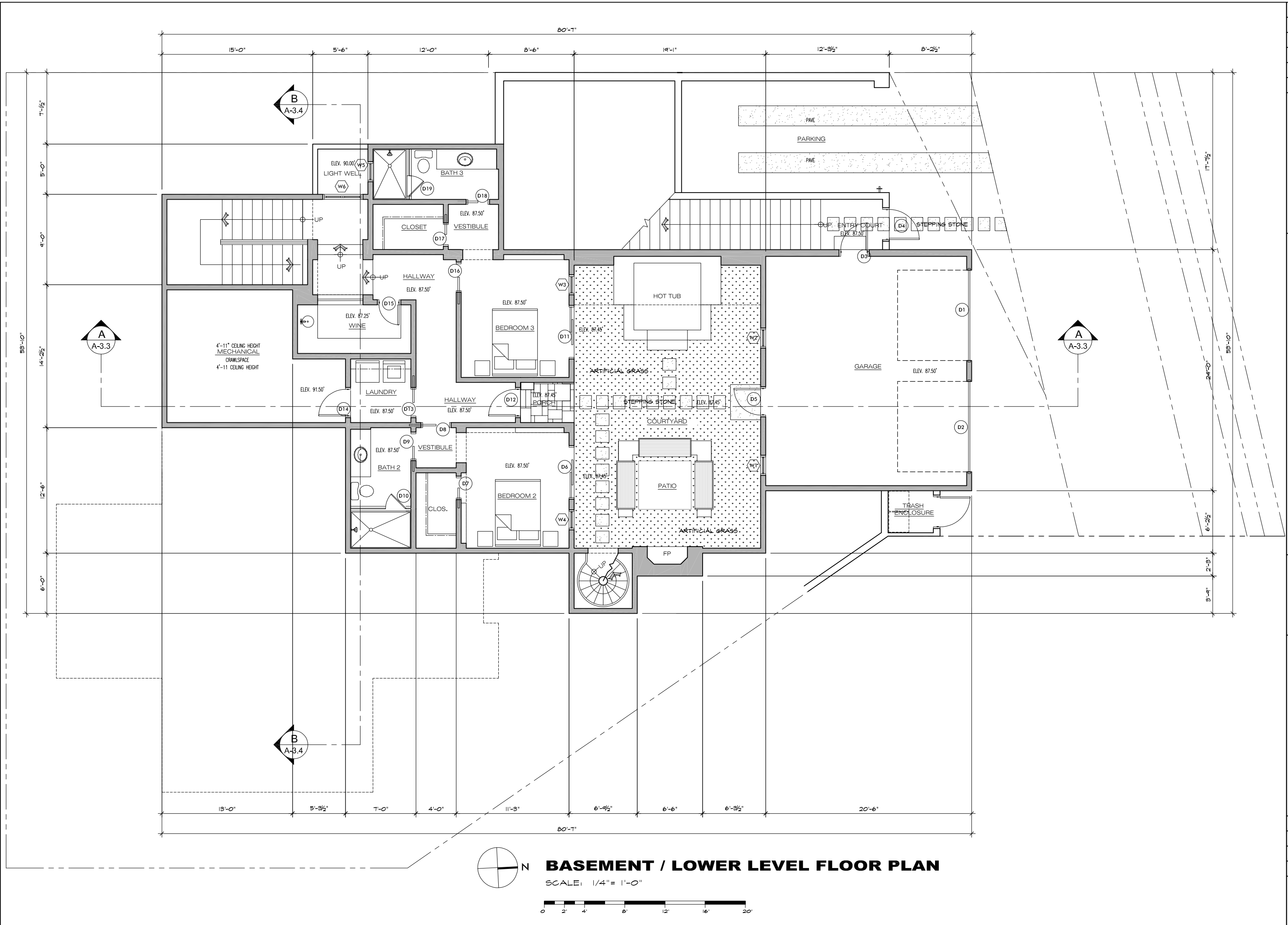
AT THE REQUEST OF ROBERT SCHULER

MBS LAND SURVEYS
MICHAEL B. STANTON, PLS 5702
3563 SUELDO ST. UNIT 0
SAN LUIS OBISPO, CA 93401
805-594-1960

A-1.6

N:\2017\17-011 San Antonio-6 4th Ave - Carmel\308Topo.dwg, 24x36 May 08, 2018 10:20am, MStanton

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL USER FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE A PROFESSIONAL ENGINEER'S LICENSE OR ANY OTHER PROFESSIONAL LICENSE. ANY OTHER USE OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED. CONSULTANT SHALL CONSTITUTE FROM THESE DRAWINGS AND SPECIFICATIONS.



BASEMENT / LOWER LEVEL FLOOR PLAN

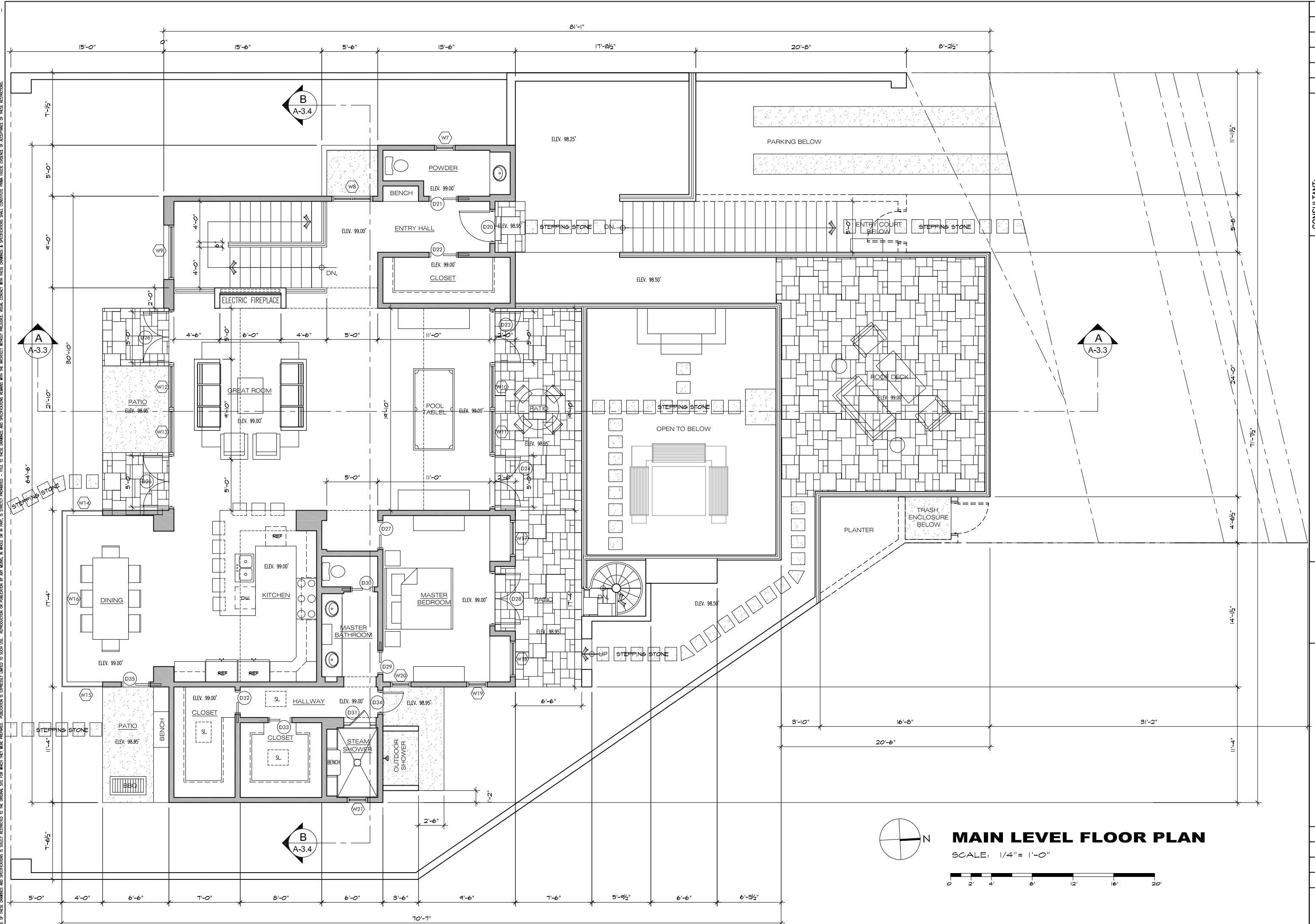
SCALE: 1/4" = 1'-0"



REVISION	No.
CONSULTANT:	
ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
ARCHITECT	
BASEMENT/LOWER LEVEL FLOOR PLAN JOB NAME: Schuler Residence San Antonio 3 SW of 4th Street Carmel, By-The-Sea, CA APN: 010-321-024-000	
DATE:	10/18/18
SCALE:	1/4"=1'-0"
DRAWN:	DM
JOB NUMBER:	13.09
A-2.0 SHEET OF	

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL USER FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FIRM ACCEPTANCE OF ACCURACY OF THESE DRAWINGS.

PDF



MAIN LEVEL FLOOR PLAN

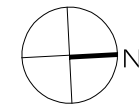
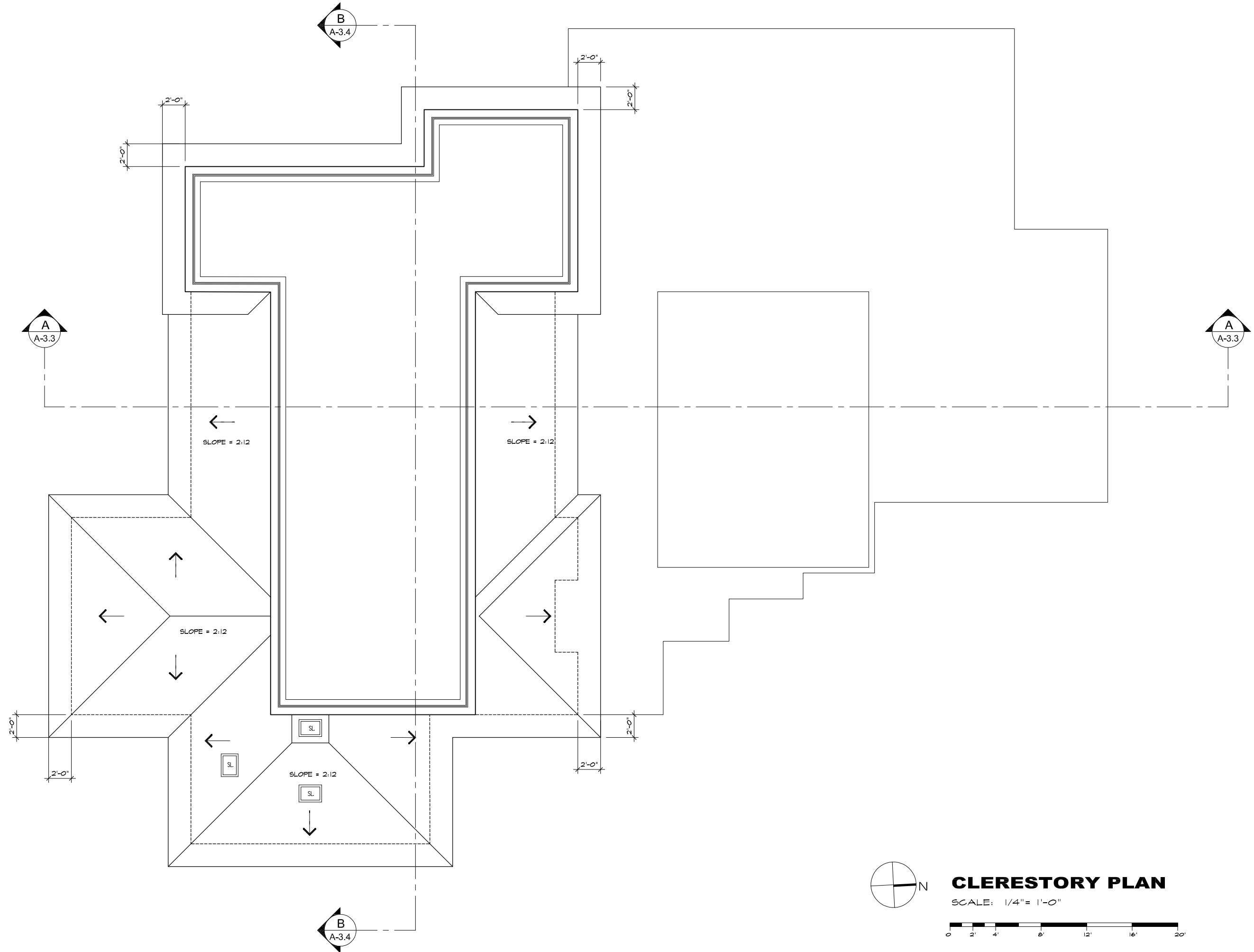
SCALE: 1/4" = 1'-0"



REVISION		No.

CONSULTANT:	
ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com	
ARCHITECT	ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com
MAIN LEVEL FLOOR PLAN JOB NAME: Schuler Residence San Antonio 3 SW of 4th Street Carmel, By-The-Sea, CA APN: 010-321-024-000	
DATE:	10/18/18
SCALE:	1/4" = 1'-0"
DRAWN:	DM
JOB NUMBER:	13.04
A-2.1 SHEET OF	

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN ANY MANNER, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED - TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FIRM AWARENESS OF ACCEPTANCE OF THESE RESTRICTIONS.



CLERESTORY PLAN

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

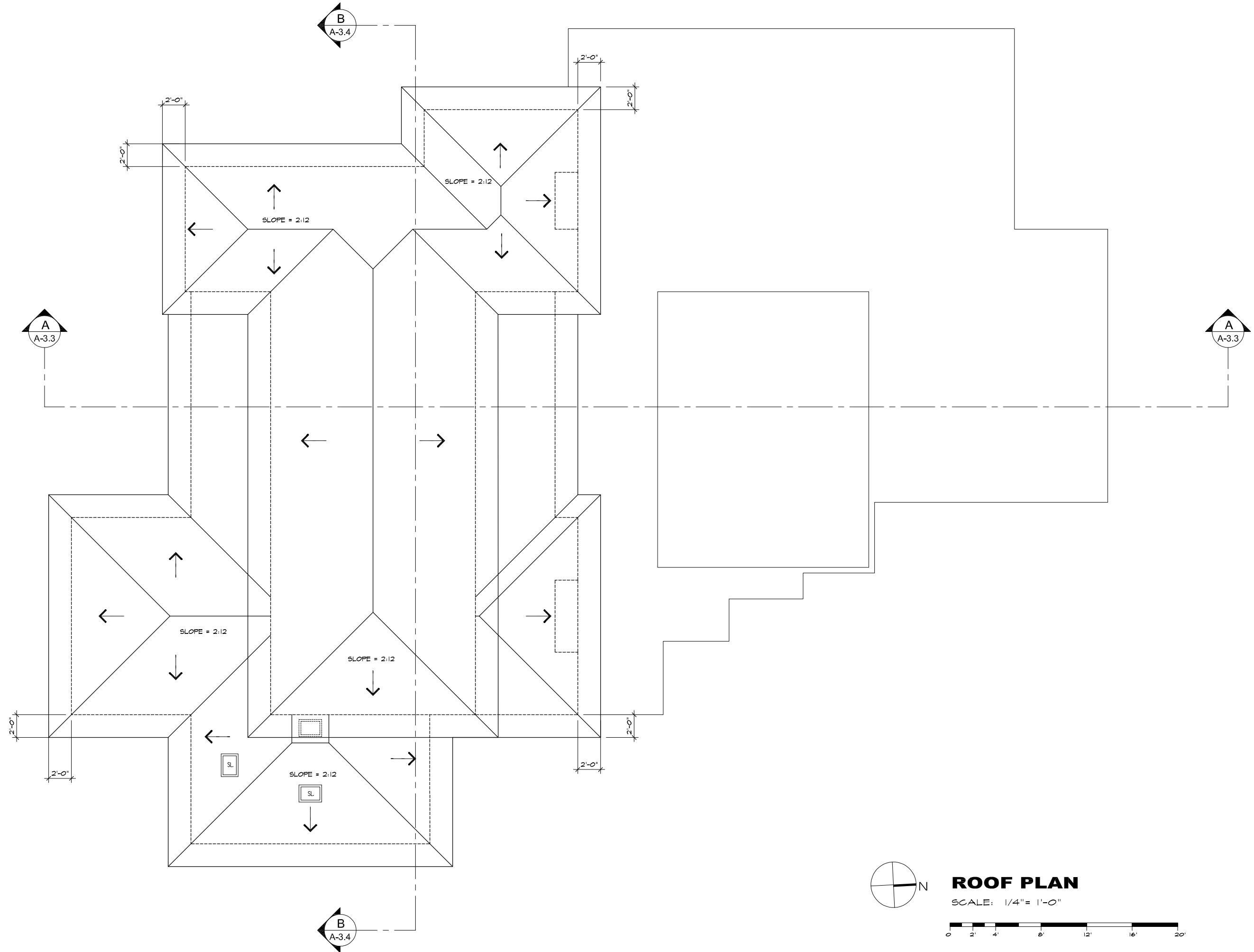
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

CLERESTORY PLAN

JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18
 SCALE: 1/4"=1'-0"
 DRAWN: DM
 JOB NUMBER: 13.09

A-2.2
 SHEET OF



ROOF PLAN

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

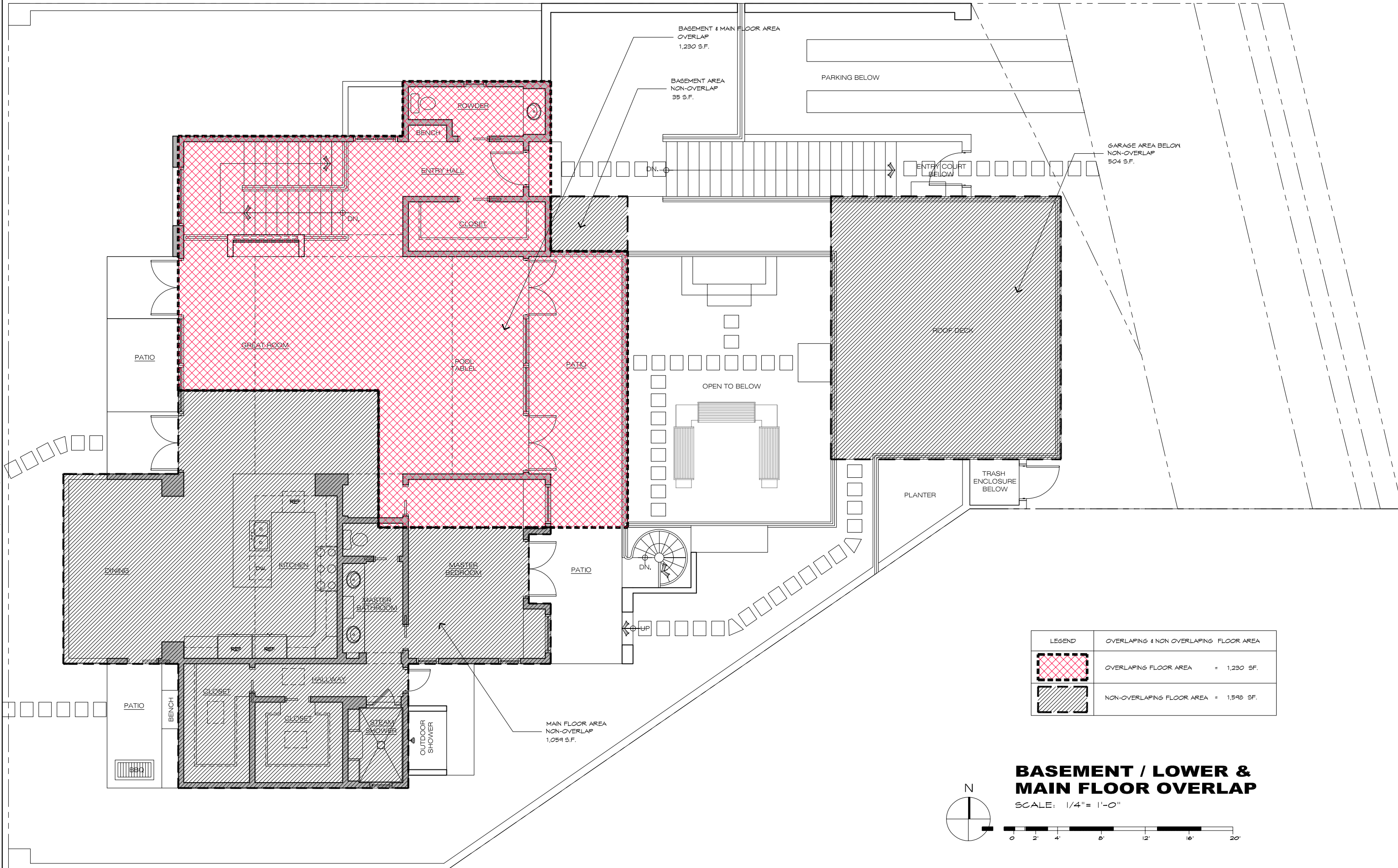
ROOF PLAN

JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

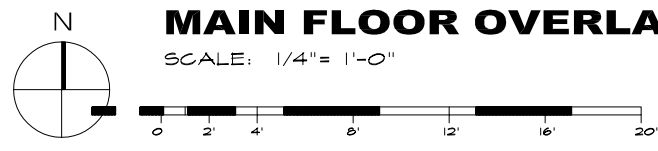
DATE: 10/18/18
 SCALE: 1/4"=1'-0"
 DRAWN: DM
 JOB NUMBER: 13.09

A-2.3
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL USER FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN ANY MANNER, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS FORMS WITH THE ARCHITECT WITHOUT PREVIOUS WRITTEN CONSENT SHALL CONSTITUTE FRAUD. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FRAUD. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FRAUD. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FRAUD. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FRAUD.



LEGEND	
	OVERLAPPING & NON OVERLAPPING FLOOR AREA
	OVERLAPPING FLOOR AREA = 1,230 S.F.
	NON-OVERLAPPING FLOOR AREA = 1,054 S.F.



BASEMENT / LOWER & MAIN FLOOR OVERLAP
SCALE: 1/4" = 1'-0"

REVISION	No.

CONSULTANT:

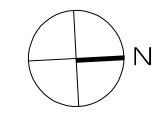
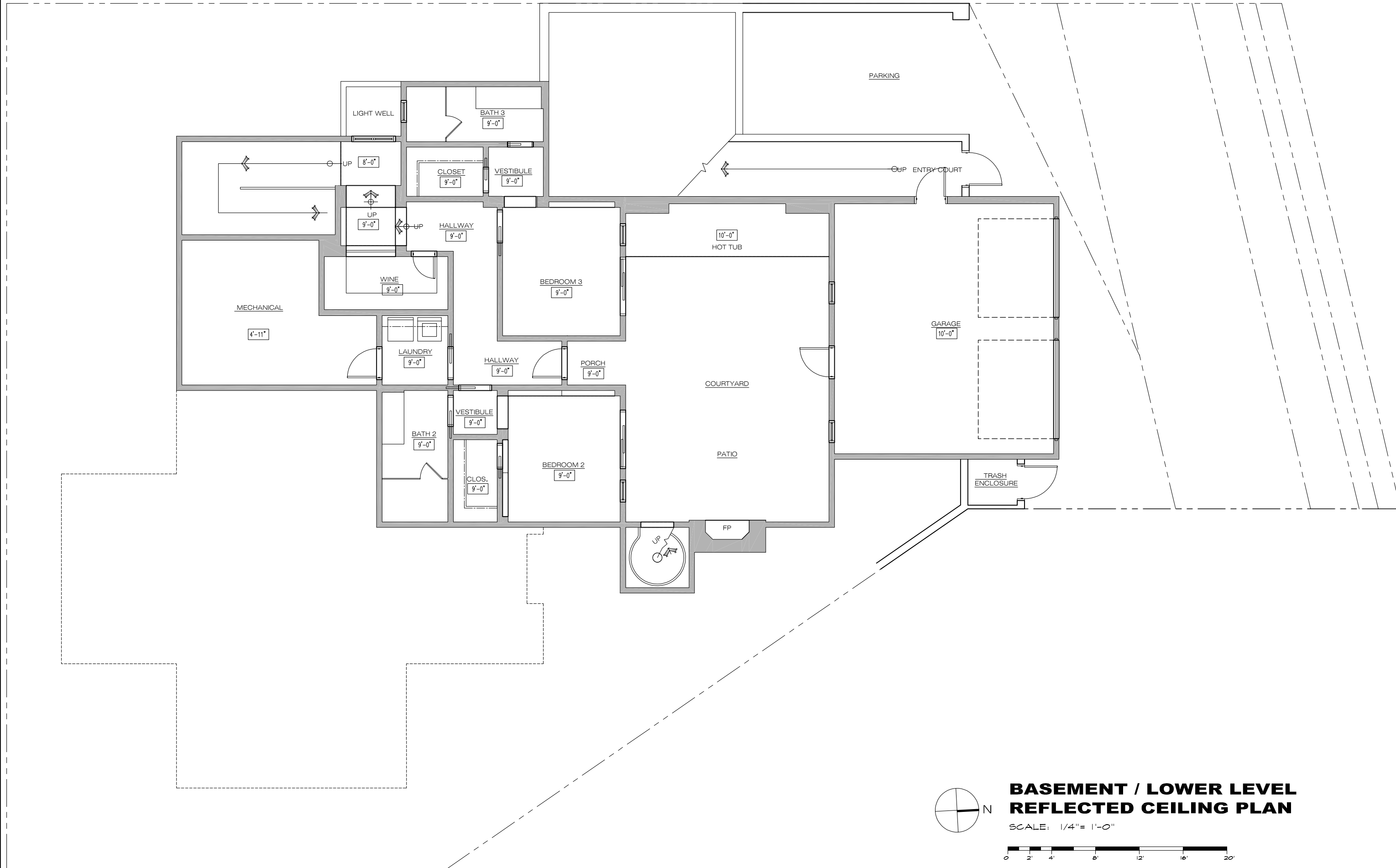
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-1940 • WEB: www.ericmillerarchitects.com

FLOOR AREA OVERLAP & NON OVERLAP

JOB NAME: **Comber Residence**
 Bob & Barbara Comber
 Carmel, By-The-Sea, CA
 APN: 010-322-020-000

DATE: 10/18/18
 SCALE: 1/4" = 1'-0"
 DRAWN: DM
 JOB NUMBER: 1309

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN ANY MANNER, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED - TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONSULTING WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FORMAL ACCEPTANCE OF THESE RESTRICTIONS.



**BASEMENT / LOWER LEVEL
REFLECTED CEILING PLAN**

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

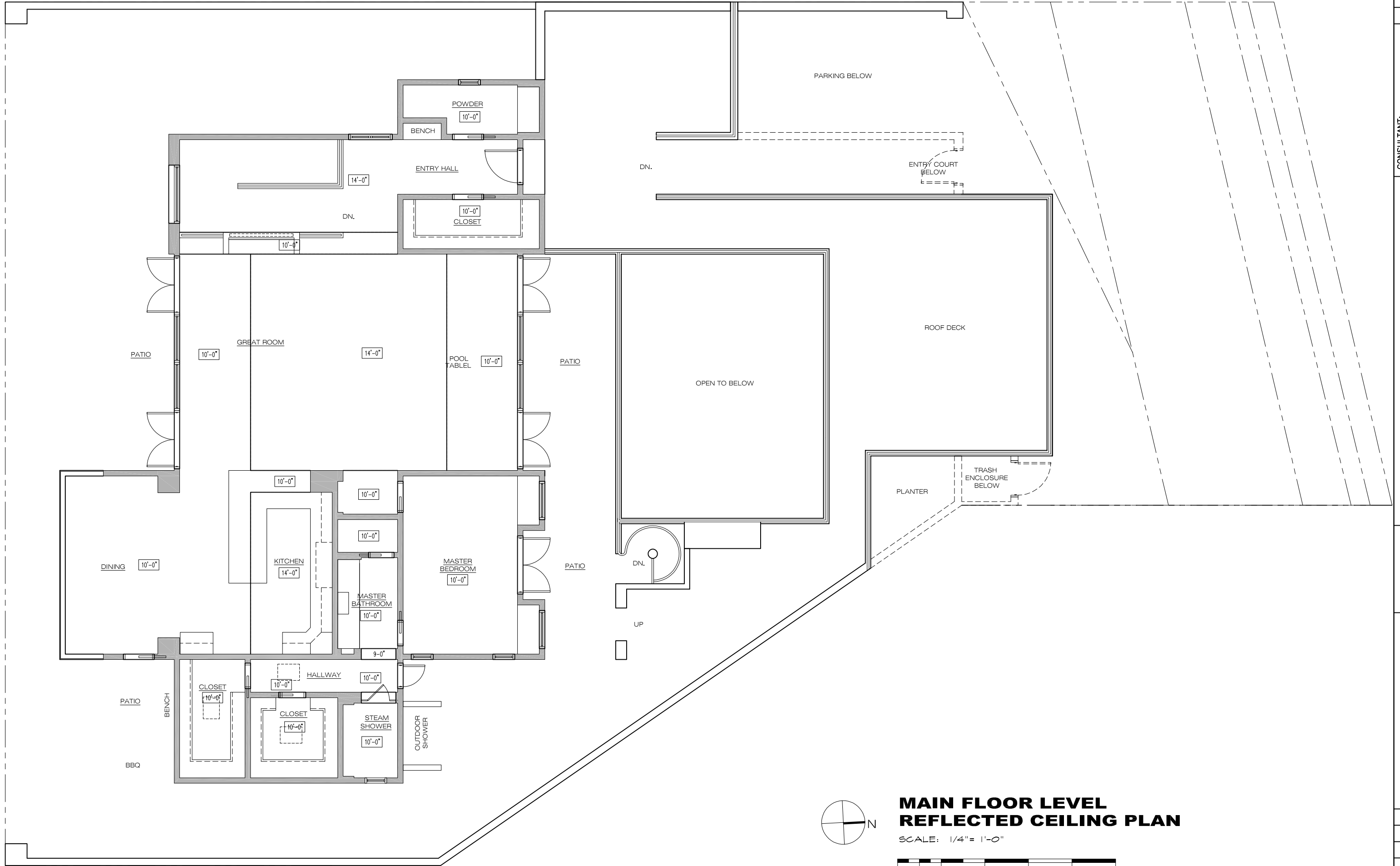
BASEMENT REFLECTED CEILING PLAN
 JOB NAME: **Schuler Residence**
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18
 SCALE: 1/4"=1'-0"
 DRAWN: DM

JOB NUMBER: 13.09

A-2.5
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN ANY MANNER, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONSULTING ARCHITECTS SHALL CONSTITUTE FROM THESE DRAWINGS AND SPECIFICATIONS AS ACCEPTANCE OF THESE RESTRICTIONS.



MAIN FLOOR LEVEL REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

REVISION	No.

CONSULTANT:

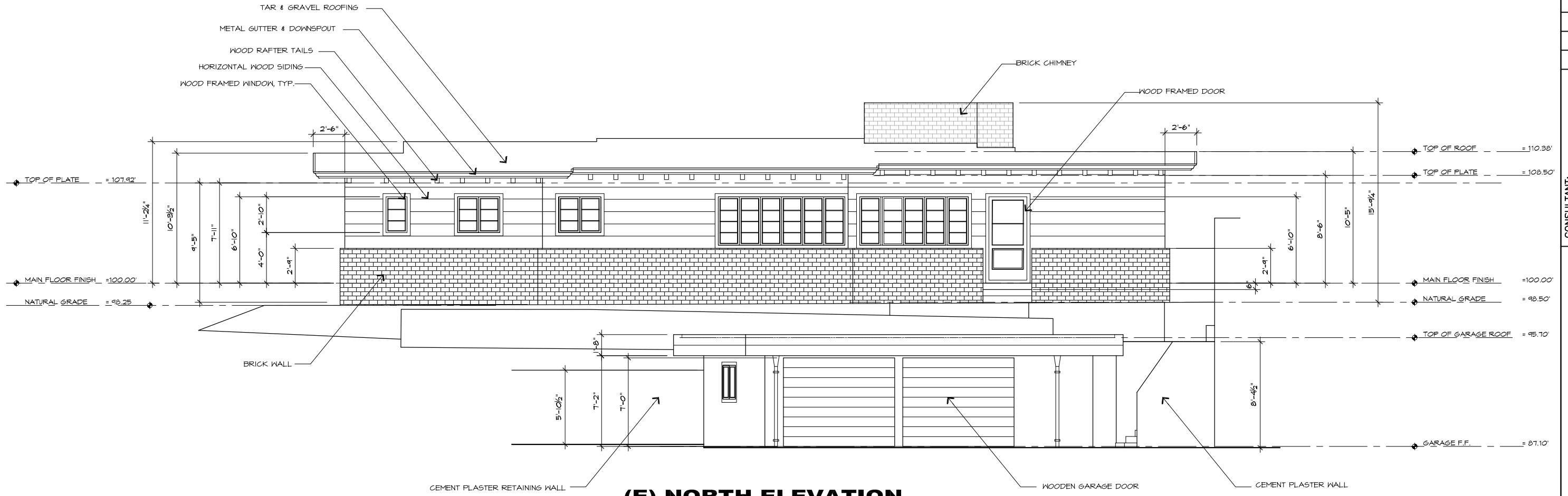
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

MAIN FLOOR LEVEL REFLECTED CEILING
 JOB NAME: **Schuler Residence**
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18
 SCALE: 1/4"=1'-0"
 DRAWN: DM
 JOB NUMBER: 13.09

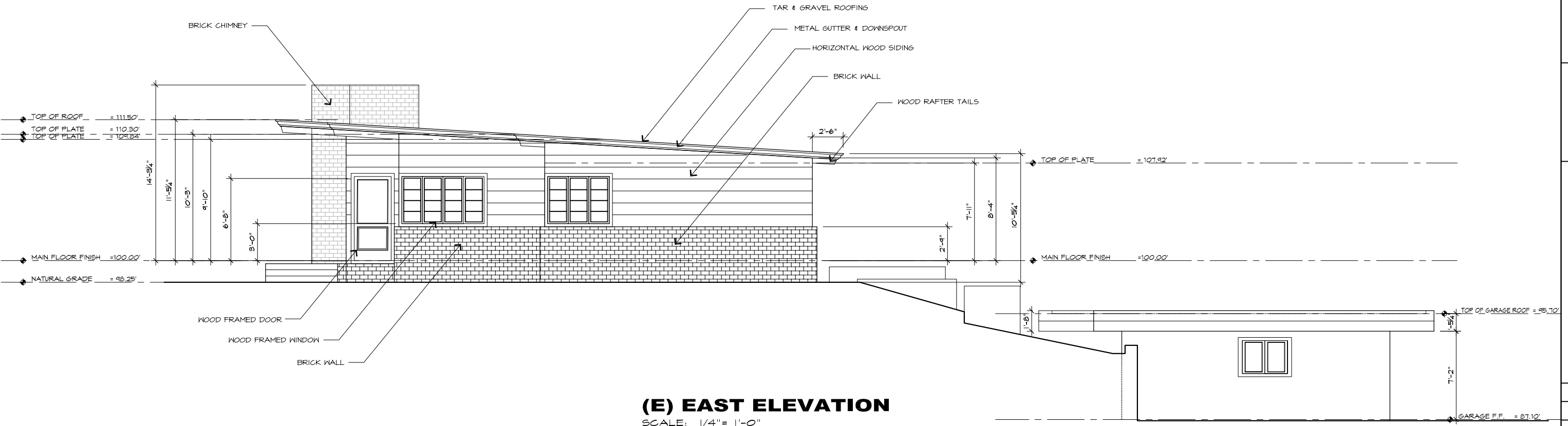
A-2.6
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL USE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. SPECIAL CONTRACT WITH THESE DRAWINGS AND SPECIFICATIONS FORMS WITH THE ARCHITECT WITHOUT PRECEDENCE. SPECIAL CONTRACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FINAL EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



(E) NORTH ELEVATION

SCALE: 1/4" = 1'-0"



(E) EAST ELEVATION

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

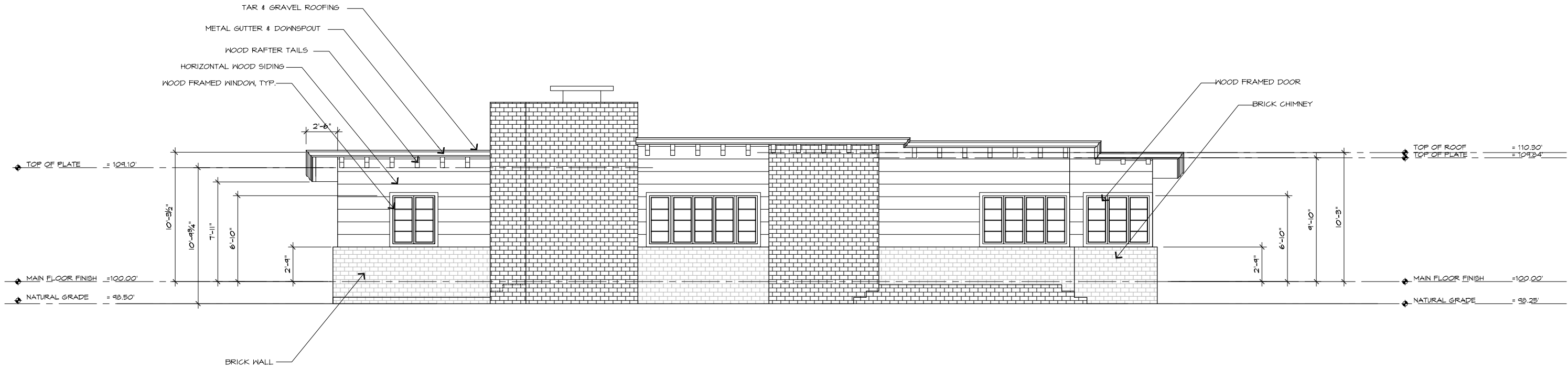
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

(E) EXTERIOR ELEVATIONS
 JOB NAME: **Schuler Residence**
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18
 SCALE: 1/4" = 1'-0"
 DRAWN: DM
 JOB NUMBER: 13.09

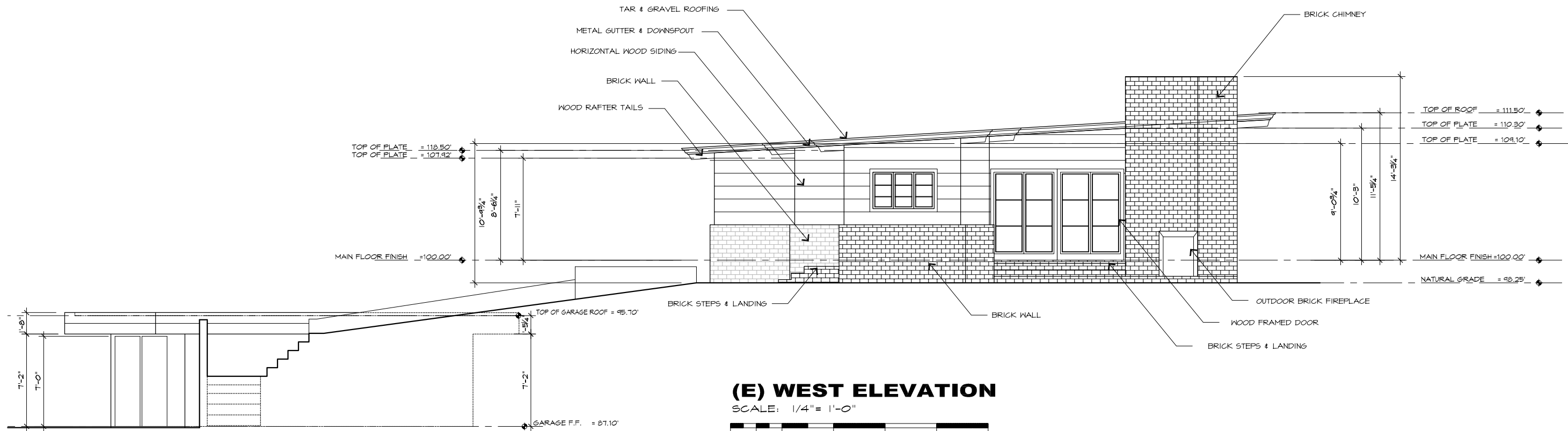
A-3.0
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN WHOLE OR IN PART IS STRICTLY PROHIBITED. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FORMAL ACCEPTANCE OF THESE RESTRICTIONS.



(E) SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



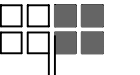
(E) WEST ELEVATION

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:



ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

(E) EXTERIOR ELEVATIONS

JOB NAME: **Schuler Residence**
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18

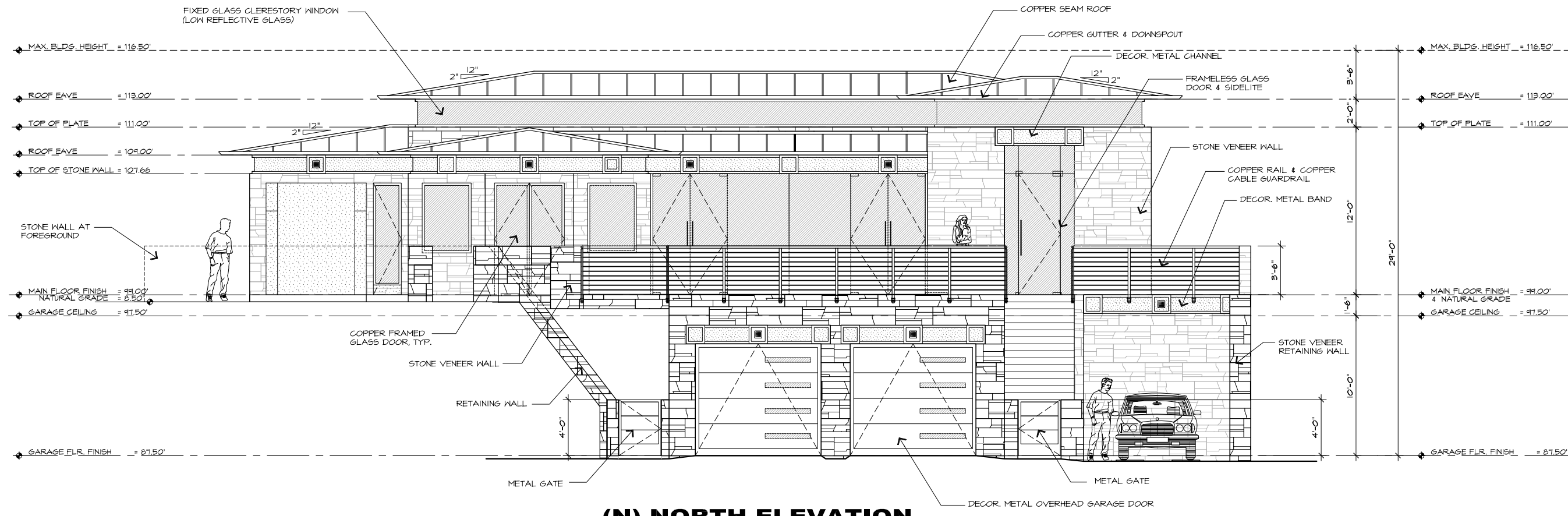
SCALE: 1/4"=1'-0"

DRAWN: DM

JOB NUMBER: 13.09

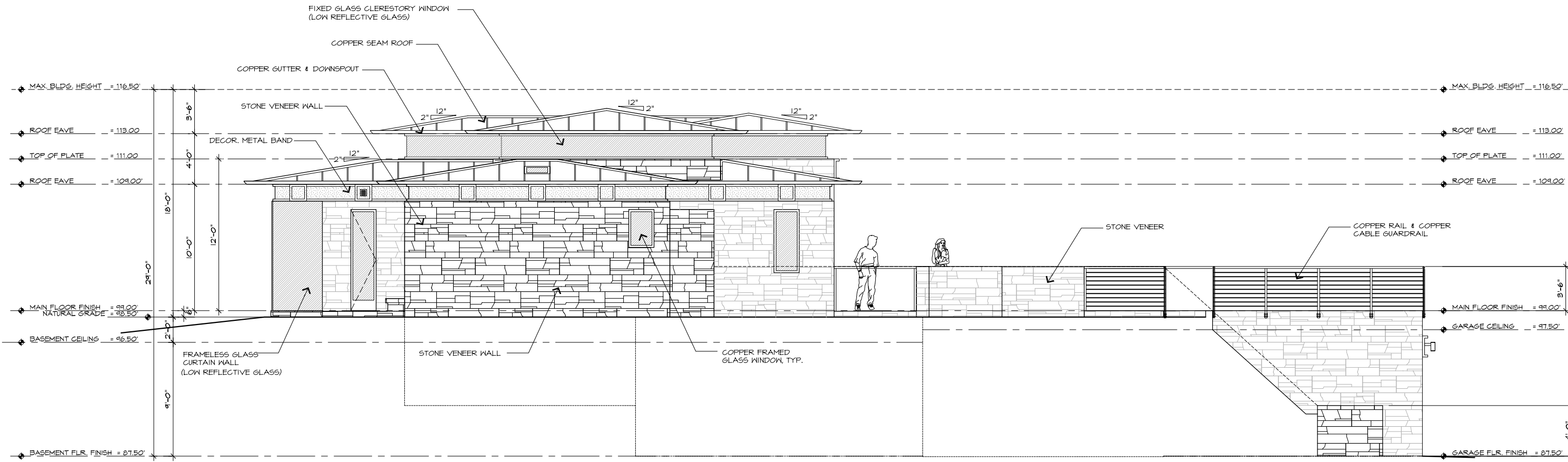
A-3.1
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL USER FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. CONSULTANT SHALL CONSTITUTE FROM THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FROM THESE DRAWINGS & SPECIFICATIONS.



(N) NORTH ELEVATION

SCALE: 1/4" = 1'-0"



(N) EAST ELEVATION

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

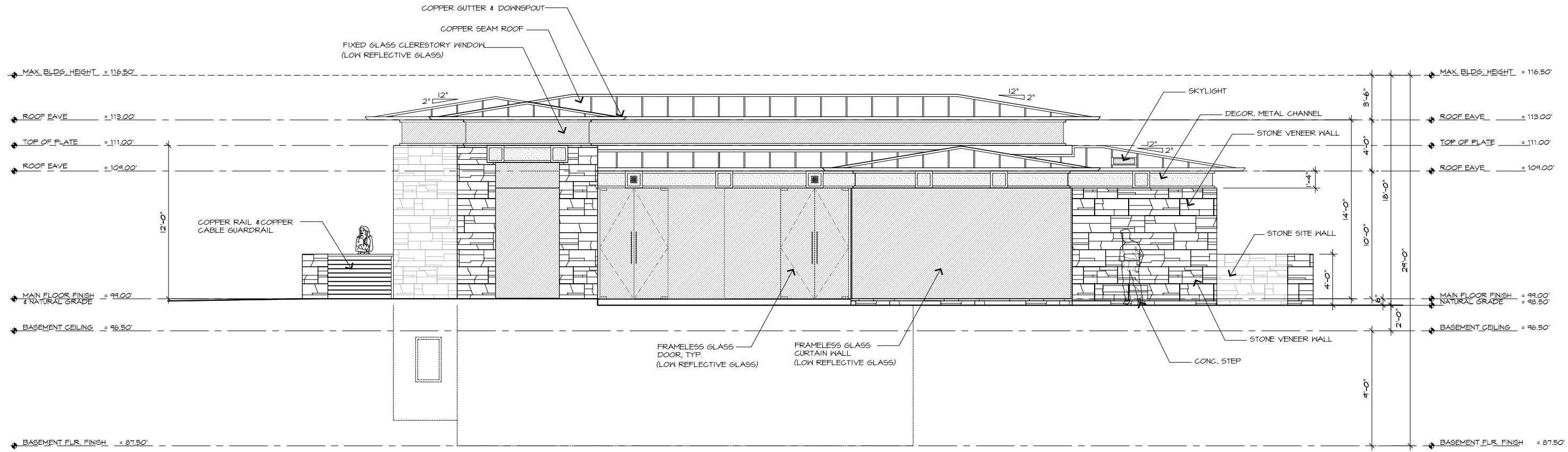
(N) EXTERIOR ELEVATIONS

JOB NAME: **Schuler Residence**
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18
 SCALE: 1/4" = 1'-0"
 DRAWN: DM
 JOB NUMBER: 13.09

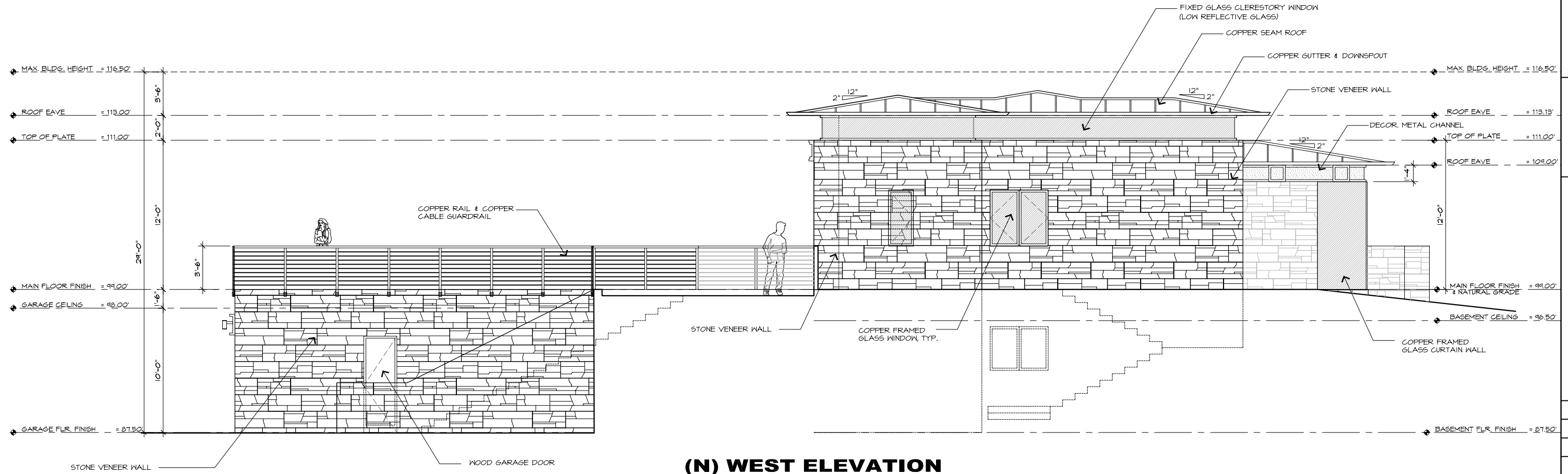
A-3.2
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL USER FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN ANY MANNER, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. CONSULTANT SHALL CONSTITUTE FROM THESE DRAWINGS AND SPECIFICATIONS WITHOUT LIABILITY TO THE ARCHITECT WITHOUT PREVIOUS WRITTEN CONSENT FROM THE ARCHITECT. CONSULTANT SHALL CONSTITUTE FROM THESE DRAWINGS AND SPECIFICATIONS WITHOUT LIABILITY TO THE ARCHITECT WITHOUT PREVIOUS WRITTEN CONSENT FROM THE ARCHITECT.



(N) SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



(N) WEST ELEVATION

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

(N) EXTERIOR ELEVATIONS

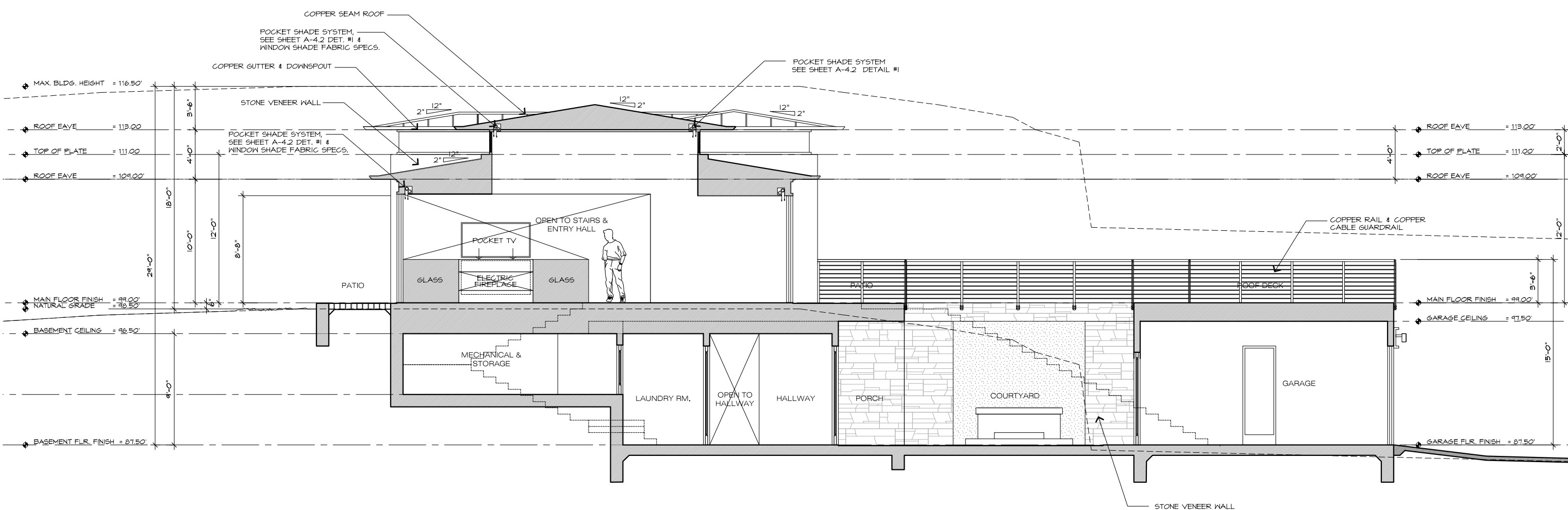
JOB NAME: **Schuler Residence**
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18

SCALE: 1/4" = 1'-0"

DRAWN: DM

JOB NUMBER: 13.09



BUILDING SECTION 'A' - 'A'
 SCALE: 1/4" = 1'-0"
 0 2 4 8 12 16 20

REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

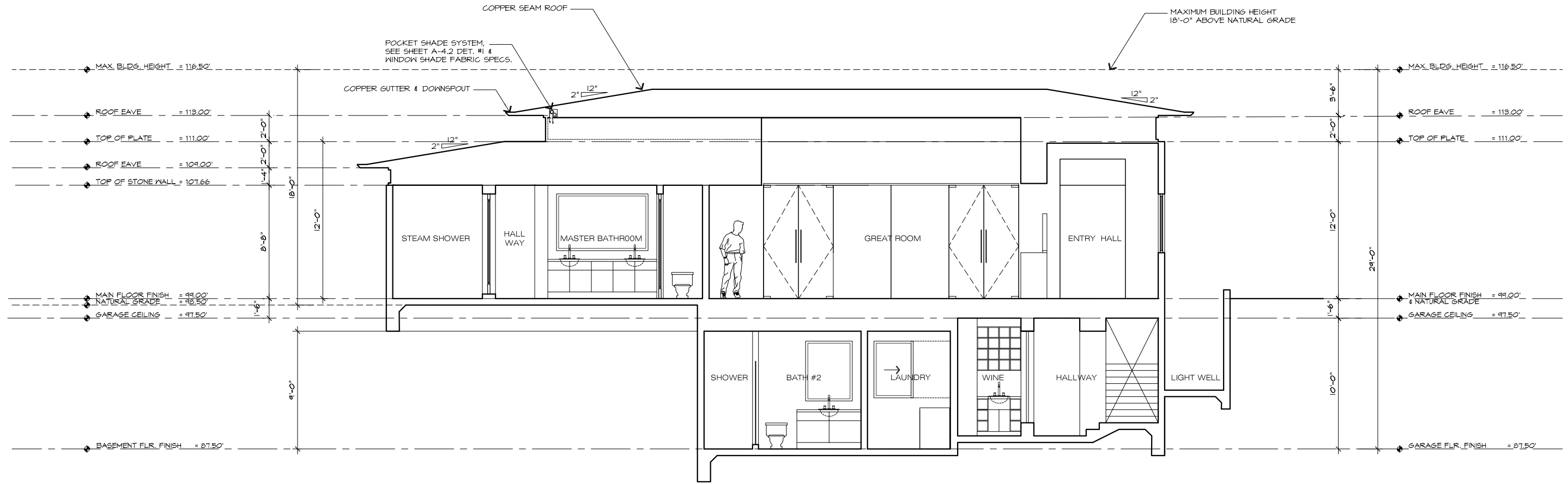
BUILDING SECTION 'A' - 'A'

JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-821-024-000

DATE: 10/18/18
 SCALE: 1/4"=1'-0"
 DRAWN: DM
 JOB NUMBER: 13.09

A-3.4
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN ANY MANNER, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED - TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONSULTING SHALL CONSTITUTE FROM NOISE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



BUILDING SECTION 'B' - 'B'

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

BUILDING SECTION 'B' - 'B'

JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/18/18

SCALE: 1/4" = 1'-0"

DRAWN: DM

JOB NUMBER: 13.09

A-3.5
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL USER FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN WHOLE OR IN PART IS STRICTLY PROHIBITED - FILE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. NOAL CONTACT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FORMAL NOTICE OF ACCEPTANCE OF THESE RESTRICTIONS.

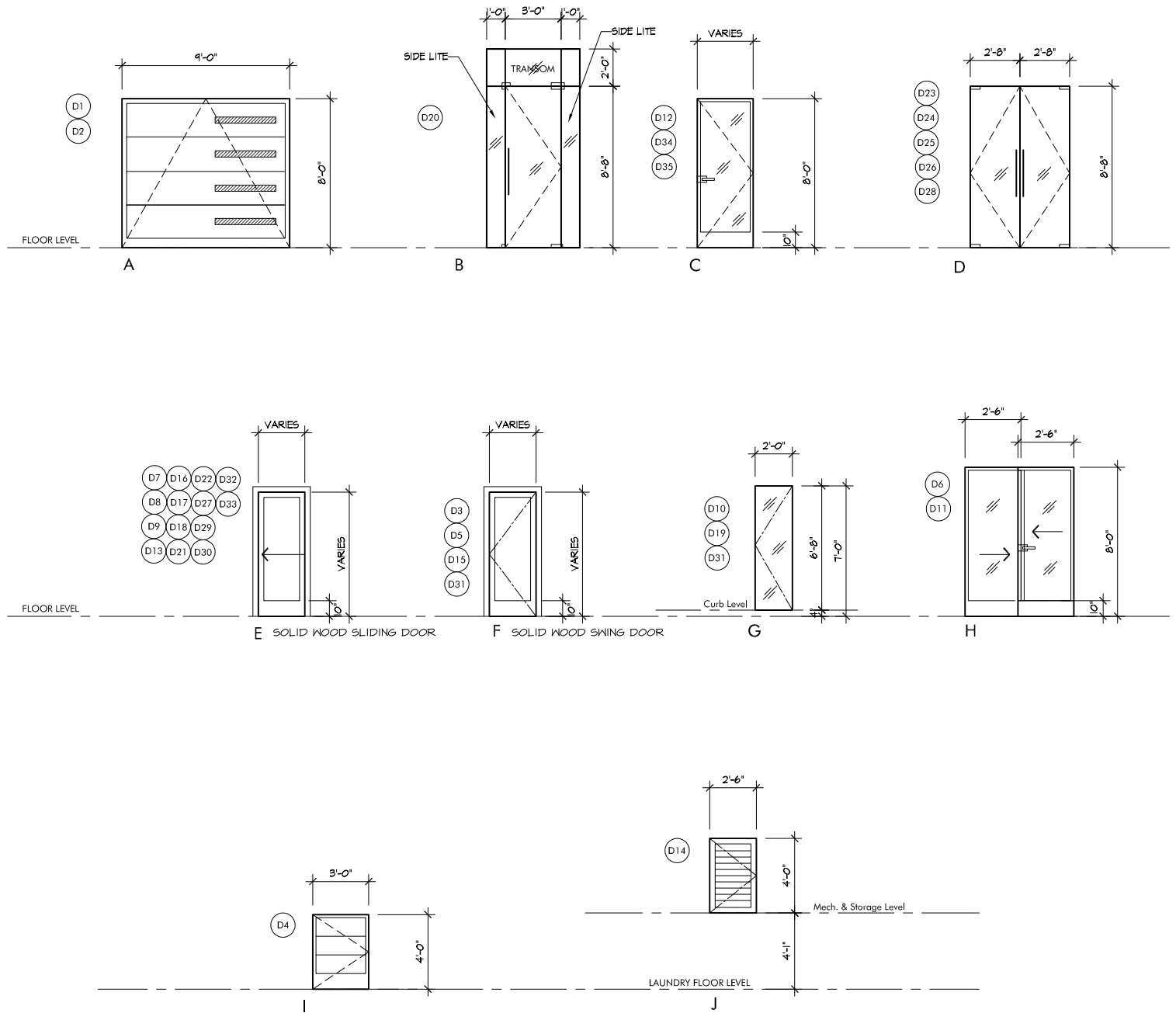
DOOR SCHEDULE												
DOOR NO.	TYPE	DOOR SIZE		ROOM NO.	ROOM NAME	THKNS.	DOOR MAT.	FRAME MAT.	HEAD DETAIL	JAMB DETAIL	THRSHD DETAIL	REMARKS
		WIDTH "W"	HEIGHT "H"									
D1	A	9'-0"	8'-0"		GARAGE		METAL	METAL				DECORATIVE OVERHEAD GARAGE DOOR
D2	A	9'-0"	8'-0"		GARAGE		METAL	METAL				DECORATIVE OVERHEAD GARAGE DOOR
D3	F	2'-8"	8'-0"		GARAGE		WOOD	WOOD				SWING SOLID WOOD DOOR
D4	I	3'-0"	4'-0"		ENTRY COURT		METAL	METAL				DECORATIVE METAL GATE
D5	F	2'-8"	8'-0"		GARAGE	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D6	H	PR 2'-6"	8'-0"		BEDROOM 2	1/4"	GLASS	METAL				METAL / GLASS SLIDING DOOR (Weatherstripping)
D7	E	2'-0"	8'-0"		BEDRM. 2 CLOSET	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D8	E	2'-8"	8'-0"		VESTIBULE	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D9	E	2'-8"	8'-0"		BATH 2	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D10	G	2'-0"	6'-8"		SHOWER	1/4"	GLASS	METAL				TEMPERED SAFETY GLASS SHOWER DOOR PER CRC R308
D11	H	PR 2'-6"	8'-0"		BEDROOM 3	1-3/4"	GLASS	METAL				METAL / GLASS SLIDING DOOR (Weatherstripping)
D12	C	2'-8"	8'-0"		HALLWAY	1/4"	GLASS	METAL				METAL / GLASS SWING EXTERIOR DOOR (Weatherstripping)
D13	E	2'-8"	8'-0"		LAUNDRY	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D14	J	2'-8"	4'-0"		MECH. & STORAGE	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR WITH LOUVERS
D15	E	2'-0"	8'-0"		WINE ROOM	1-3/4"	WOOD	WOOD				SOLID WOOD SWING DOOR
D16	E	2'-8"	8'-0"		BEDROOM #3	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D17	E	2'-0"	8'-0"		CLOSET	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D18	E	2'-0"	8'-0"		BATH 3	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D19	G	2'-0"	6'-8"		SHOWER	1/4"	GLASS	METAL				TEMPERED SAFETY GLASS SHOWER DOOR PER CRC R308
D20	B	3'-0"	8'-8"		ENTRY HALL	1/4"	GLASS					FRAMELESS GLASS SWING ENTRY DOOR (Weatherstripping) WITH TRANSOM & SIDE LITES, (see north elevation)
D21	E	2'-6"	8'-0"		POWDER ROOM	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D22	E	2'-6"	8'-0"		CLOSET	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D23	D	PR 2'-8"	8'-8"		GREAT ROOM	1/4"	GLASS	METAL				FRAMELESS GLASS SWING DOOR
D24	D	PR 2'-8"	8'-8"		GREAT ROOM	1/4"	GLASS	METAL				FRAMELESS GLASS SWING DOOR
D25	D	PR 2'-8"	8'-8"		GREAT ROOM	1/4"	GLASS	METAL				FRAMELESS GLASS SWING DOOR
D26	D	PR 2'-8"	8'-8"		GREAT ROOM	1/4"	GLASS	METAL				FRAMELESS GLASS SWING DOOR
D27	E	PR 2'-8"	8'-8"		MASTER BEDROOM	1-3/4"	WOOD	WOOD				FRAMELESS GLASS SWING DOOR
D28	D	PR 2'-8"	8'-8"		MASTER BATH	1/4"	GLASS	METAL				FRAMELESS GLASS SWING DOOR
D29	E	2'-0"	8'-0"		MASTER BATHRM.	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D30	E	2'-0"	8'-0"		MASTER BATHRM.	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D31	F	2'-0"	6'-8"		STEAM SHOWER	1/4"	GLASS	METAL				TEMPERED SAFETY GLASS SHOWER DOOR PER CRC R308
D32	E	2'-0"	8'-0"		HALLWAY	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D33	E	2'-0"	8'-0"		CLOSET	1-3/4"	WOOD	WOOD				SOLID WOOD POCKET DOOR
D34	C	2'-0"	8'-0"		HALLWAY to OUT-DOOR SHOWER	1/4"	GLASS	METAL				METAL / TEMP. GLASS SWING DOOR, (Weatherstripping)
D35	C	2'-6"	8'-0"		DINING to PATIO	1/4"	GLASS	METAL				METAL / TEMP. GLASS POCKET DOOR, (Weatherstripping)

DOOR NOTES

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.:

- SHALL BE 2'-0" X 6'-8" MINIMUM.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- PROVIDE (2) PAIR- 4-1/2" X 4-1/2" BUTTS ON ALL DOORS.
- ALL HARDWARE TO BE ASHLEY NORTON HARDWARE OR BETTER.
- ALL FIRE RATED DOORS SHALL HAVE PEMKO 588D (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.
- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
- SHALL BE SOLID CORE.
- ALL DOOR GLAZING TO BE TEMPERED.
- ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC, SECTION 2407.
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING GLASS. UNITS SHALL BE INSULATING GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 20 MINUTES.
- REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
- REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.
- EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2014.

DOOR TYPES



REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

ARCHITECT

DOOR SCHEDULE

JOB NAME: **Schuler Residence**
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-821-024-000

DATE: 10/18/18

SCALE: AS NOTED

DRAWN: CCR

JOB NUMBER: 13,09

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL USE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN WHOLE OR IN PART IS STRICTLY PROHIBITED - TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. RECALL CONTACT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FORMAL NOTICE OF ACCEPTANCE OF THESE RESTRICTIONS.

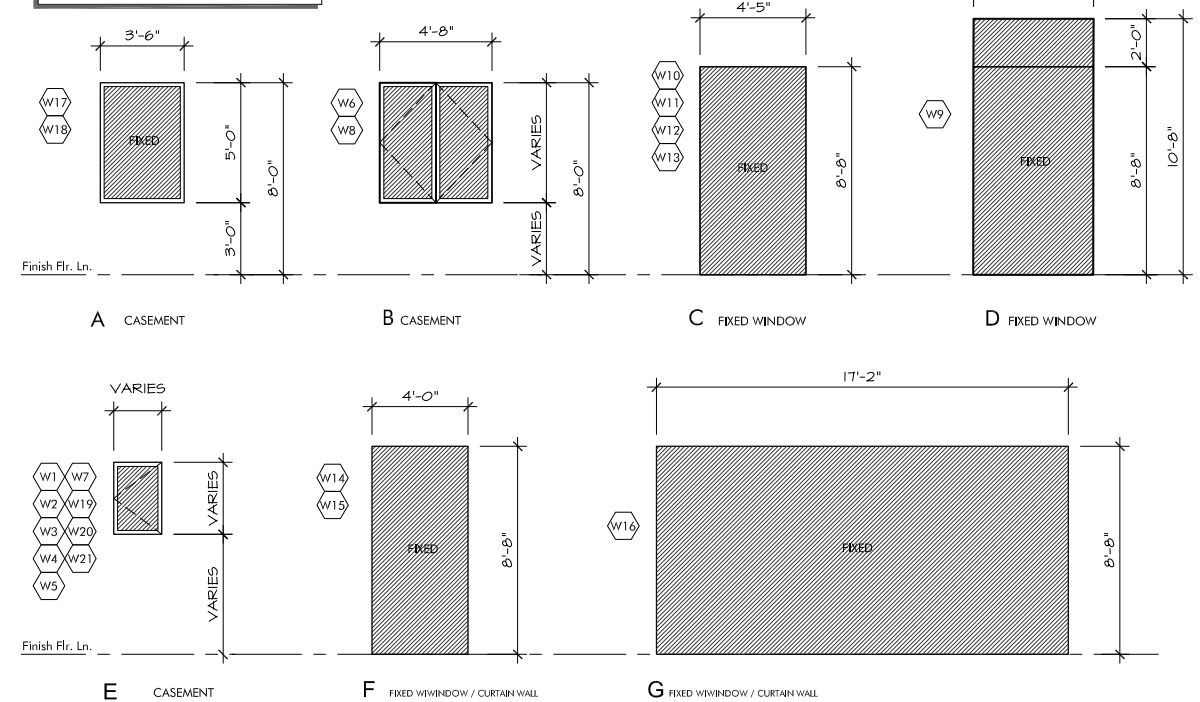
WINDOW SCHEDULE

WDW. NO.	TYPE	WINDOW SIZE		STYLE	GLAZING	SAFETY GLAZING	FRAME MATL.	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	MULLION DETAIL	HEAD HEIGHT ABOVE F.F.	SILL HEIGHT ABOVE F.F.	LOCATION	REMARKS
		WIDTH	HEIGHT												
W1	E	2'-0"	5'-0"	CASEMENT	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	3'-0"	GARAGE	
W2	E	2'-0"	5'-0"	CASEMENT	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	3'-0"	GARAGE	
W3	E	2'-0"	5'-0"	CASEMENT	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	3'-0"	BEDROOM 3	
W4	E	2'-0"	5'-0"	CASEMENT	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	3'-0"	BEDROOM 2	
W5	E	2'-0"	3'-6"	CASEMENT	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	4'-6"	BATHROOM 3	
W6	B	PR 2'-0"	3'-6"	CASEMENT	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	2'-6"	STAIR LANDING	
W7	E	2'-0"	4'-6"	CASEMENT	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	3'-6"	POWDER RM.	
W8	B	PR 2'-0"	4'-6"	CASEMENT	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	3'-6"	ENTRY HALL	
W9	D	5'-0"	10'-8"	FIXED	DOUBLE GLAZE	TEMPERED GLASS	METAL					14'-0"	NONE	STAIRWELL	FIXED GLASS
W10	C	4'-5"	8'-8"	FIXED	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	NONE	GREAT ROOM	FIXED GLASS
W11	C	4'-5"	8'-8"	FIXED	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	NONE	GREAT ROOM	FIXED GLASS
W12	C	4'-5"	8'-8"	FIXED	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	NONE	GREAT ROOM	FIXED GLASS
W13	C	4'-5"	8'-8"	FIXED	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	NONE	GREAT ROOM	FIXED GLASS
W14	F	4'-0"	8'-8"	FIXED	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	NONE	GREAT ROOM	FIXED GLASS
W15	F	4'-0"	8'-8"	FIXED	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	NONE	GREAT ROOM	FIXED GLASS
W16	G	17'-2"	8'-8"	FIXED	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	NONE	GREAT ROOM	FIXED GLASS
W17	B	3'-6"	5'-0"	FIXED	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	3'-0"	MASTER BEDRM.	FIXED GLASS
W18	B	3'-6"	5'-0"	FIXED	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	3'-0"	MASTER BEDRM.	FIXED GLASS
W19	D	2'-0"	5'-0"	CASEMENT	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	3'-0"	MASTER BEDRM.	
W20	D	2'-0"	5'-0"	CASEMENT	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	3'-0"	MASTER BEDRM.	
W21	D	2'-0"	3'-0"	CASEMENT	DOUBLE GLAZE	TEMPERED GLASS	METAL					8'-0"	5'-0"	STEAM SHOWER	

WINDOW SAFETY NOTES

- ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING, U.O.N.
- EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 24" IN HEIGHT, 20" INCHES IN WIDTH, 5.7 S.F. IN AREA, AND A SILL HEIGHT NOT MORE THAN 44" A.F.F. PER CRC, SECTION R310.1.
 - PAINT GRADE WOOD WINDOWS U.O.N.
 - ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CRC, SECTION R308.3. ALL SAFETY GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH CRC, SECTION R308.4.
 - ALL SLOPED GLAZING SHALL COMPLY WITH 2013 CRC, SECTION R308.6 FOR INSTALLATION AND MATERIALS.
 - SEE WINDOW TYPES, THIS PAGE FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CRC SEC. R303.1 AND EGRESS PER CRC SEC. R310.
 - ALL WINDOW GLAZING SHALL BE LOW-E, DOUBLE GLAZED U.O.N.
 - ALL EXTERIOR OPENINGS SHALL PROVIDE NATURAL LIGHTING, IN HABITABLE ROOMS, WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA PER CRC, SEC. R303.1, AND NATURAL VENTILATION WITH AN AREA OF NOT LESS THAN 4% OF ROOM FLOOR AREA PER CRC, SECTION 303.1.
 - TEMPERED SAFETY GLAZING:
 - IS REQUIRED WHERE THE NEAREST EDGE OF GLAZING IS WITHIN A 24-INCH ARC OF EITHER SIDE OF A DOOR IN A CLOSED POSITION, UNLESS THERE IS AN INTERVENING WALL BETWEEN THE DOOR AND THE GLAZING OR IF THE GLAZING IS 5' OR HIGHER ABOVE THE WALKING SURFACE.
 - GLAZING GREATER THAN 4 SQUARE FEET WITH THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND THE TOP EDGE GREATER THAN 36" ABOVE THE FLOOR (UNLESS THE GLAZING IS MORE THAN 36" HORIZONTALLY AWAY FROM THE WALKING SURFACES OR IF A COMPLYING PROTECTIVE BAR IS INSTALLED.) GLAZING IN SHOWER AND TUB ENCLOSURES (LESS THAN 60" ABOVE STANDING SURFACE.)
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMP WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
 - EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ASTM E2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-TA-2.

WINDOW TYPES



WINDOW SHADE FABRIC SPECIFICATIONS

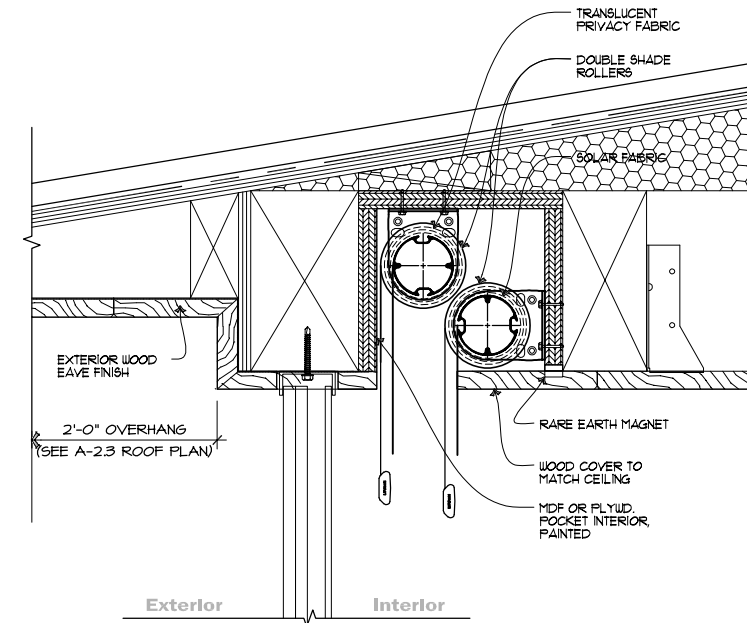
WINDOW SHADE - TRANSLUCENT PRIVACY FABRIC

BLACKOUT - VALUE PREMIER, COLOR CANVAS
POSITION IN POCKET AT THE WINDOW SIDE



WINDOW SHADE - SOLAR FABRIC

SOLAR - BASKET WAVE 90, 10% OPEN, COLOR CHARCOAL/ CHESTNUT
POSITION IN POCKET AT THE ROOM SIDE



TYPICAL SHADE POCKET DETAIL
SCALE: 3" = 1'-0"

REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

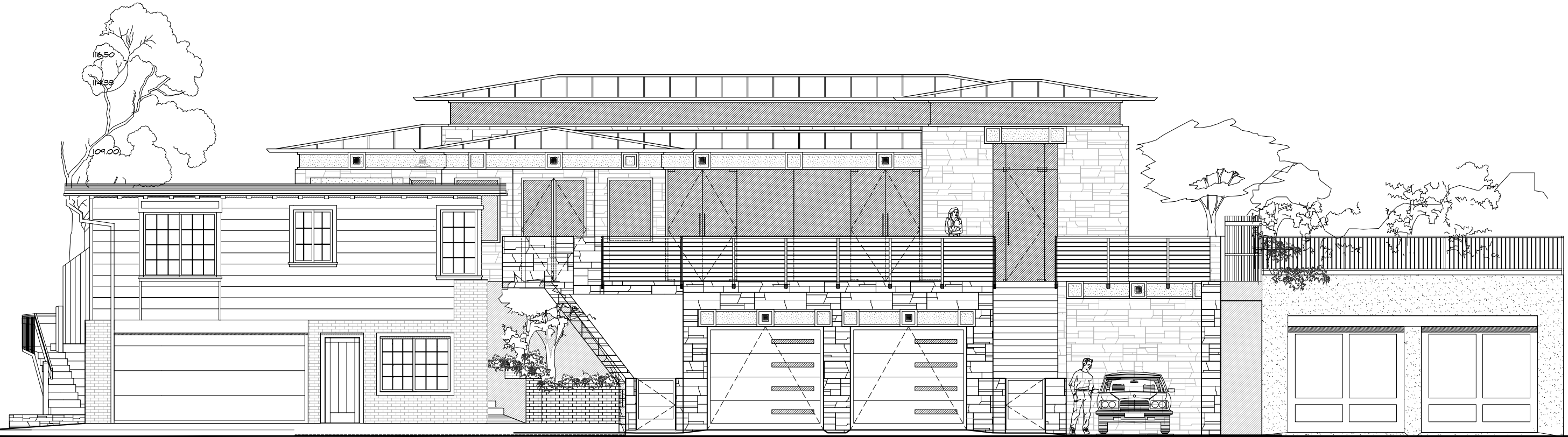
ARCHITECT

WINDOW SCHEDULE

JOB NAME: **Schuler Residence**
San Antonio 3 SW of 4th Street
Carmel, By-The-Sea, CA
APN: 010-321-024-000

DATE: 10/18/18
SCALE: N.T.S.
DRAWN: DM/CCR
JOB NUMBER: 13.09

A-4.2
SHEET OF



SAN ANTONIO 3SW OF 4th PROPOSED STREET ELEVATION

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

PROPOSED STREET ELEVATION

JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/16/18

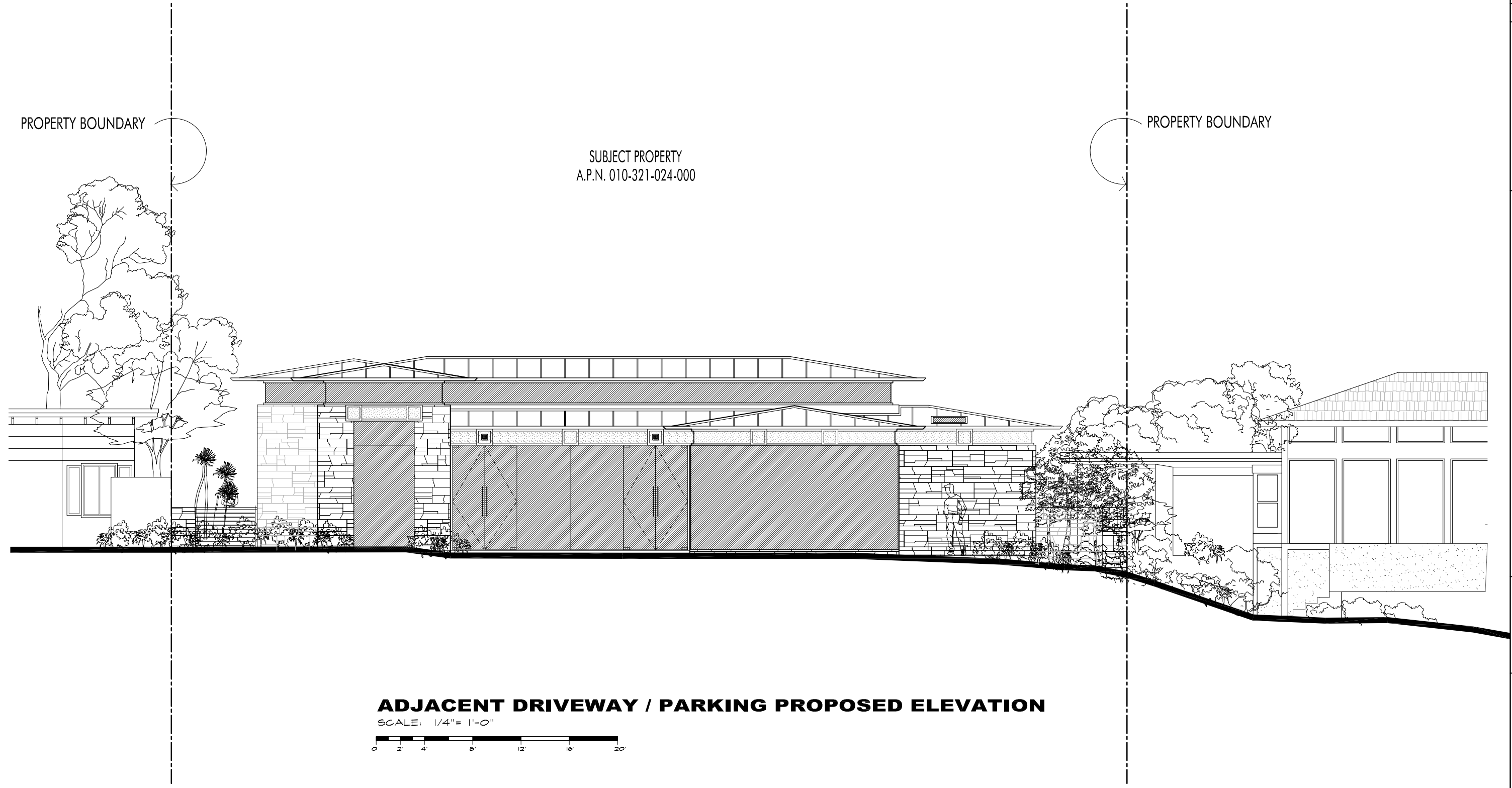
SCALE: 1/4"=1'-0"

DRAWN: CCR

JOB NUMBER: 13.09

A-5.1
 SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. CONSULT WITH THESE DRAWINGS AND SPECIFICATIONS BEFORE COMMENCING ANY WORK. CONSULTANTS SHALL CONSTITUTE FROM THESE DRAWINGS AND SPECIFICATIONS WITHOUT LIABILITY TO THE ARCHITECT WITHOUT PREVIOUS WRITTEN CONSENT FROM THE ARCHITECT. THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FROM THESE DRAWINGS AND SPECIFICATIONS WITHOUT LIABILITY TO THE ARCHITECT WITHOUT PREVIOUS WRITTEN CONSENT FROM THE ARCHITECT.



ADJACENT DRIVEWAY / PARKING PROPOSED ELEVATION

SCALE: 1/4" = 1'-0"
 0 2 4 8 12 16 20

REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

PROPOSED STREET ELEVATION

JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/16/18
 SCALE: 1/4"=1'-0"
 DRAWN: DM
 JOB NUMBER: 13.09

A-5.2
 SHEET OF



DATE: 10/16/18
 SCALE: N.T.S.
 DRAWN: HM
 JOB NUMBER: 13.09

FRONT - SOUTH VIEW
 JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

ARCHITECT

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

CONSULTANT:

REVISION	No.

A-5.3
 SHEET OF



BACK - NORTH VIEW

JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

DATE: 10/16/18
 SCALE: N.T.S.
 DRAWN: HM
 JOB NUMBER: 13.09

A-5.4
 SHEET OF

ARCHITECT

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

CONSULTANT:

REVISION	No.



REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

COURTYARD - VIEW

JOB NAME:
Schuler Residence
 San Antonio 3 SW of 4th Street
 Carmel, By-The-Sea, CA
 APN: 010-321-024-000

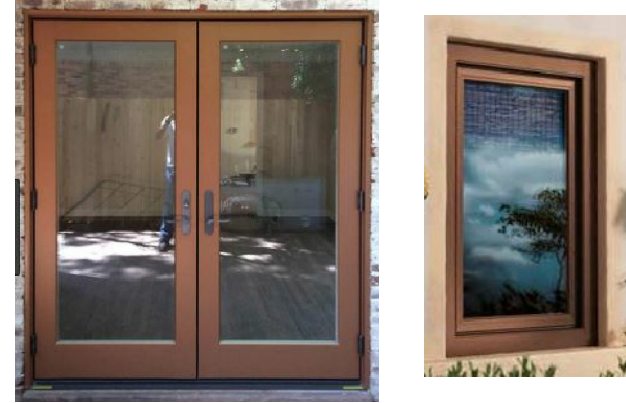
DATE: 10/16/18
 SCALE: N.T.S.
 DRAWN: HM
 JOB NUMBER: 13.09

A-5.5
 SHEET OF



PERMEABLE PAVERS
BY: PERMALOC

10 PAVERS SAMPLE



COPPER FRAME EXTERIOR DOORS & WINDOWS

7 EXTERIOR DOOR & WINDOW



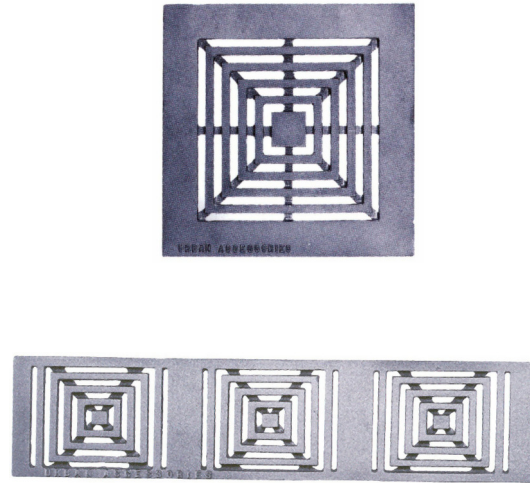
FRAMELESS MAIN DOOR

4 MAIN DOOR SAMPLE



COLOR: WEATHERED COPPER OR SIMILAR
BY: CUSTOM-BILT METALS

1 COPPER ROOFING, GUTTER and DOWNSPOUT



11 TRENCH GRATES DRAIN COVER



8 SITE WALL LIGHT



DECOR. METAL OVERHEAD GARAGE DOOR

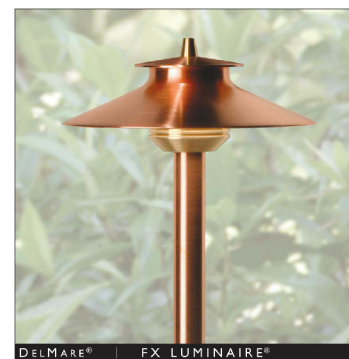
5 GARAGE DOOR SAMPLE



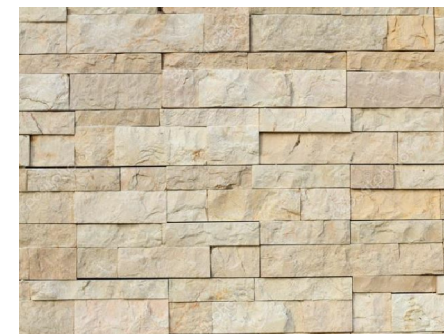
2 TILE FLOORING



12 DECK & STAIRS COPPER RAILING and GUARDRAIL



9 GARDEN LIGHT



6 STONE VENEER WALL



3 STUCCO WALL FINISH

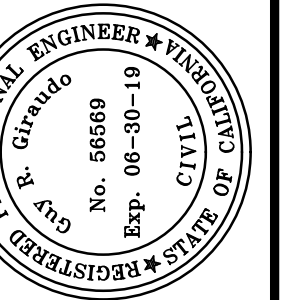
REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

MATERIAL SAMPLE
JOB NAME:
Schuler Residence
San Antonio 3 SW of 4th Street
Carmel, By-The-Sea, CA
APN: 010-321-024-000

DATE:	10/16/18
SCALE:	N.T.S.
DRAWN:	DM
JOB NUMBER:	13.09



APPROVED BY:
GUY R. GIRAUO

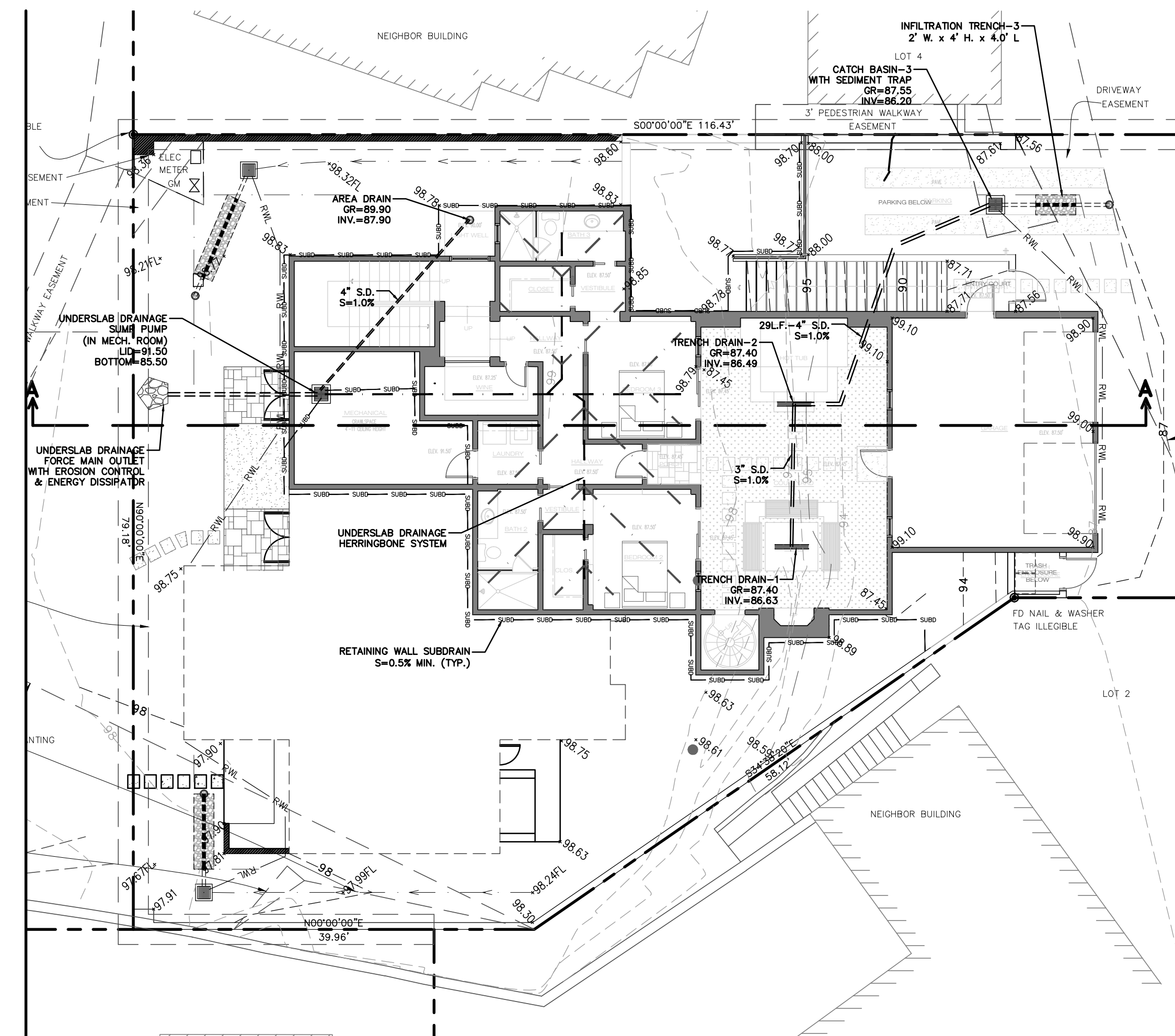


CONCEPTUAL GRADING AND DRAINAGE PLAN
OF
SCHULER RESIDENCE
A.P.N.: 010-321-024-000
CARMEL-BY-THE-SEA, CALIFORNIA
FOR
MR. RICHARD SCHULER

SCALE: 1"=10'
DATE: MAR. 2018
JOB NO. 1786-01

No.	DATE	BY	REVISION	SHEET
09/21/18	AMS	COC-PLANNING & BUILDING DEPT		C1
09/18/18	AMS	UPDATED ARCH'S FLOOR PLANS		
3/27/18	CDH	RELEASED TO CLIENT		

OF 1 SHEETS



PLAN VIEW - BASEMENT FLOOR ELEVATION
SCALE: 1"=10'

LEGEND:

- PROPERTY LINE
- - - EASEMENT LINE
- - - EXISTING MAJOR CONTOUR LINE (5' INTERVAL)
- - - EXISTING MINOR CONTOUR LINE (1' INTERVAL)
- - - PROPOSED MAJOR CONTOUR LINE (5' INTERVAL)
- - - PROPOSED MINOR CONTOUR LINE (1' INTERVAL)
- - - PROPOSED UNDERSLAB DRAIN LINE
- - - PROPOSED RETAINING WALL SUBDRAIN
- SPOT ELEVATION
- ROOF DOWNSPOUT
- ▨ MAIN FLOOR HOUSE FOOTPRINT
- ▩ LOWER FLOOR FOOTPRINT
- ▩ CONCRETE SURFACE

PROJECT INFORMATION

AREA OF DISTURBANCE 6,632 SF
 IMPERVIOUS AREA (EXISTING) 2,920 SF
 IMPERVIOUS AREA (PROPOSED) 2,828 SF
 PROPOSED GRADING QUANTITIES CUT 751 CUBIC YARDS
 FILL 122 CUBIC YARDS
 NET 629 CUBIC YARDS EXPORT

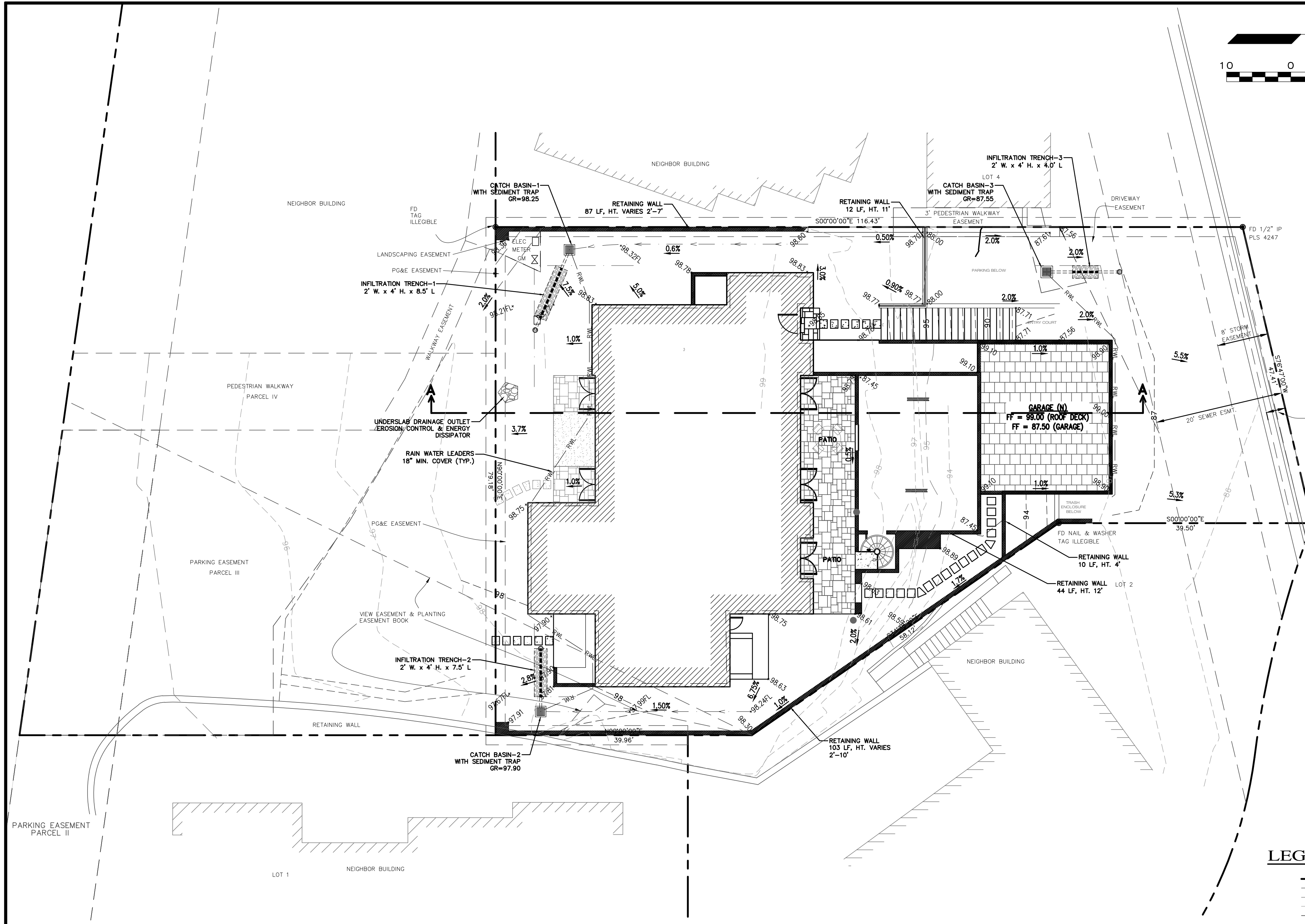
STORM WATER REQUIREMENTS PER CITY OF CARMEL-BY-THE-SEA
 BUILDING SAFETY DIVISION - STANDARD OPERATION GUIDANCE 17-07

CONTACT INFORMATION:

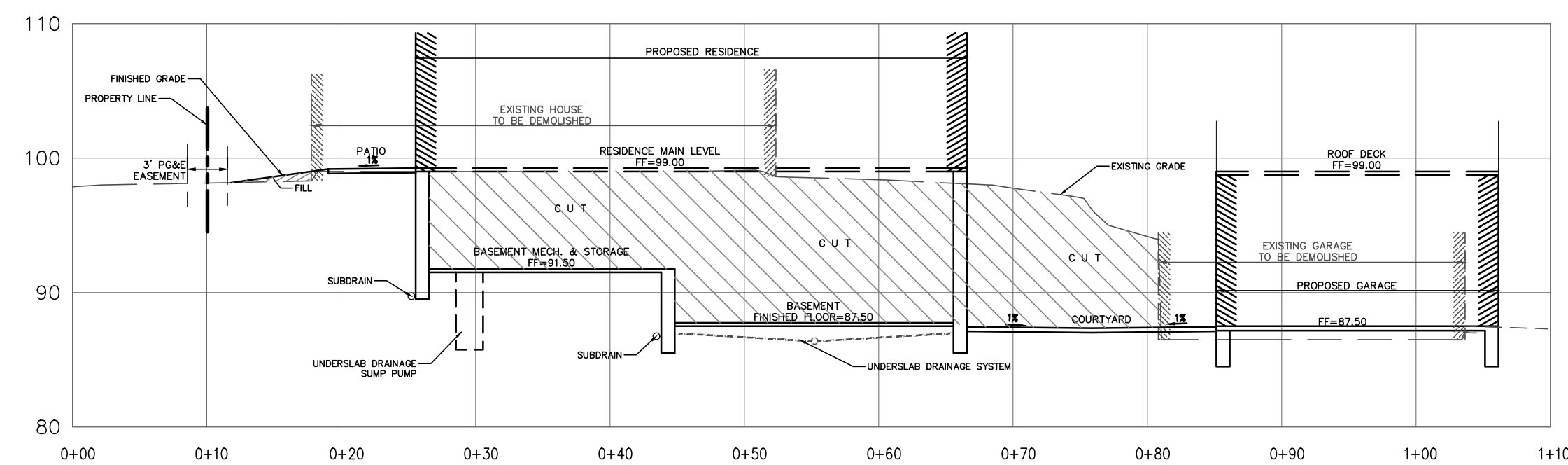
PRIMARY: OWNER
 MR. RICHARD SCHULER
 1435 N. GREENBAY ROAD
 LAKE FOREST, IL 60045

SECONDARY: ARCHITECT
 ERIC MILLER ARCHITECTS, INC.
 ATTN: MR. DADO MARQUEZ
 211 HOFFMAN AVE.
 MONTEREY, CA 93940
 PH (831) 372-0410

SITE LOCATION:
 SAN ANTONIO, 35W OF 4TH STREET
 CARMEL-BY-THE-SEA, CALIFORNIA



PLAN VIEW - MAIN FLOOR ELEVATION
SCALE: 1"=10'



SECTION A-A
SCALE: 1"=10'

SITE GRADING:
THE PROPOSED GRADING INCLUDES APPROXIMATELY 751 CY OF CUT & 122 CY OF FILL.

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR AND GRUB
 - B. SITE GRADING
 - C. UTILITY INSTALLATION
 - D. CONSTRUCT STRUCTURE
 - E. INSTALL PAVERS AND LANDSCAPING
 - F. SITE CLEANING, PUNCH LIST

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE NOT BE STAGED ON SAN ANTONIO AVENUE AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

HAUL ROUTES:
HAUL TRUCKS SHALL BACK INTO THE SITE FROM SAN ANTONIO AVENUE. HAUL TRUCKS WILL EXIT THE SITE, TURNING SOUTH ONTO SAN ANTONIO AVENUE. (REFERENCE NEIGHBORHOOD TRUCK ROUTING PLAN, DETAIL B, THIS SHEET). FLAGGERS SHALL BE STATIONED ON SAN ANTONIO AVENUE AS TRUCKS BACK FROM THE PUBLIC RIGHT OF WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND D, TRUCK ROUTING PLANS.

TRUCK STAGING AREA:
VEHICLES OR TRUCKS SHALL NOT QUEUE ON SAN ANTONIO AVENUE. TRUCKS SHALL QUEUE ON RIO ROAD (SEE DETAIL B, THIS SHEET), AND WILL BE DIRECTED TO APPROACH THE SITE BY ONSITE PERSONNEL VIA RADIO OR PHONE.

EMPLOYEE PARKING:
EMPLOYEES SHALL PARK ON-SITE WHENEVER POSSIBLE. EMPLOYEES SHALL USE PUBLIC PARKING ALONG SAN ANTONIO AVENUE AS NECESSARY, OBEYING ALL PARKING LAWS. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. SEE DETAIL C. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

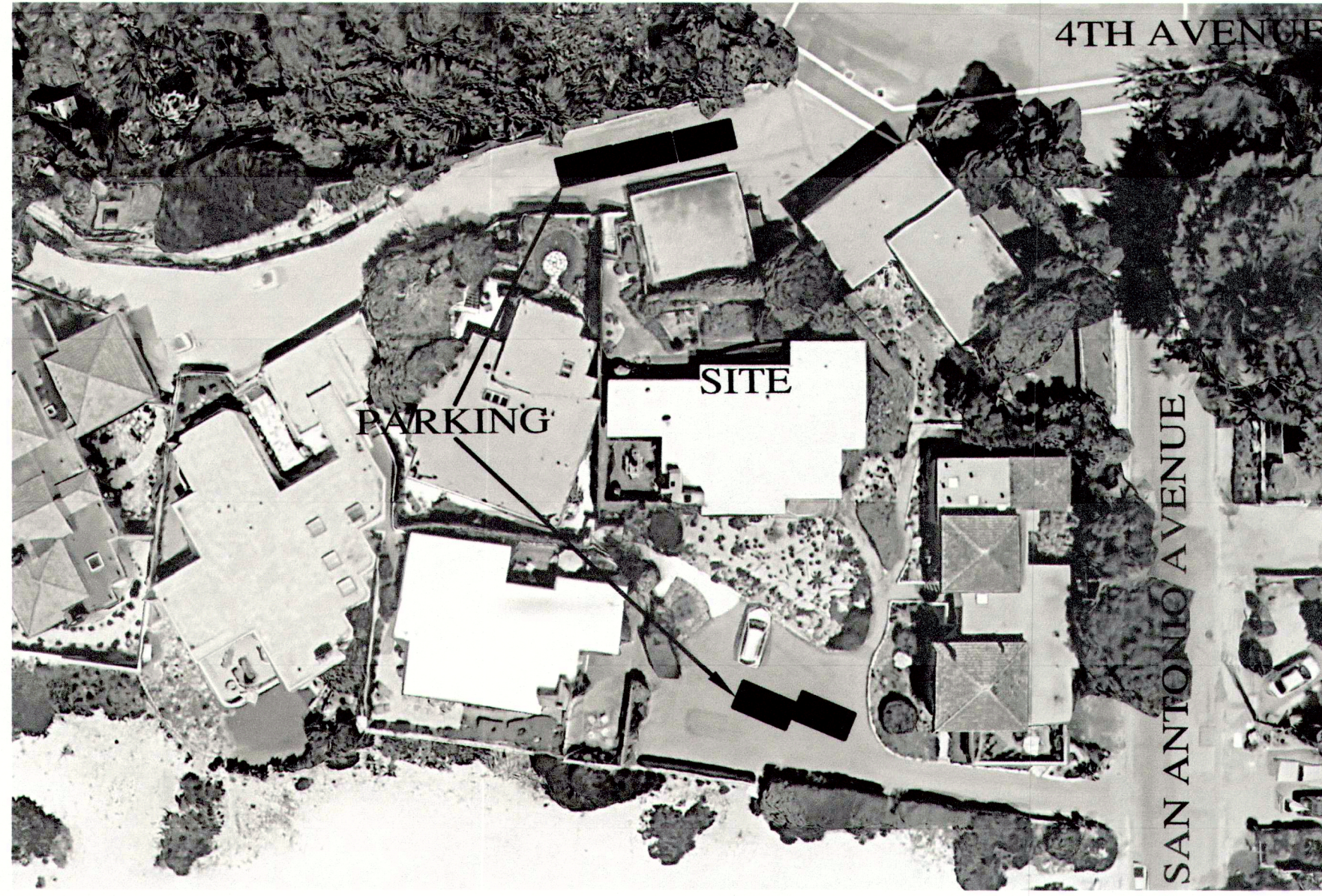
NUMBER OF EMPLOYEES ONSITE PER DAY: APPROXIMATELY 10-20

NUMBER OF TRUCK TRIPS/DAY: 5

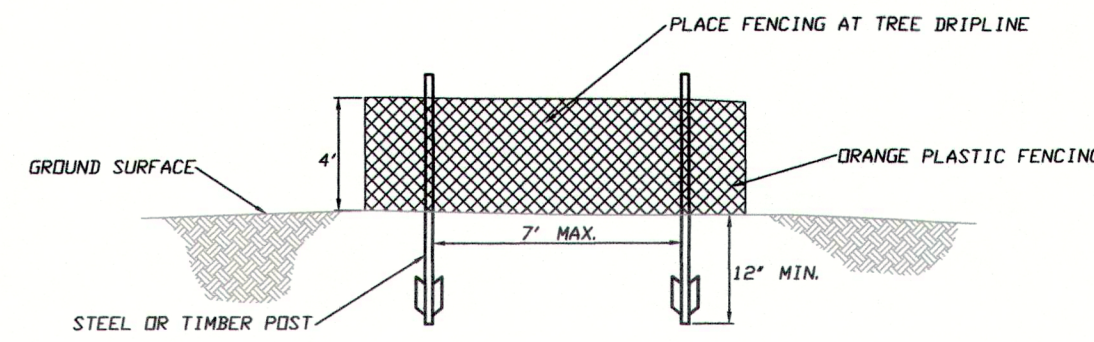
AMOUNT OF GRADING/DAY: 50 C.Y.

HOURS OF OPERATION/DAY: WORK SHALL OCCUR MONDAY THROUGH FRIDAY. HOURS OF OPERATION SHALL BE 7AM TO 5PM. NO WORK SHALL OCCUR ON SATURDAYS OR SUNDAYS.

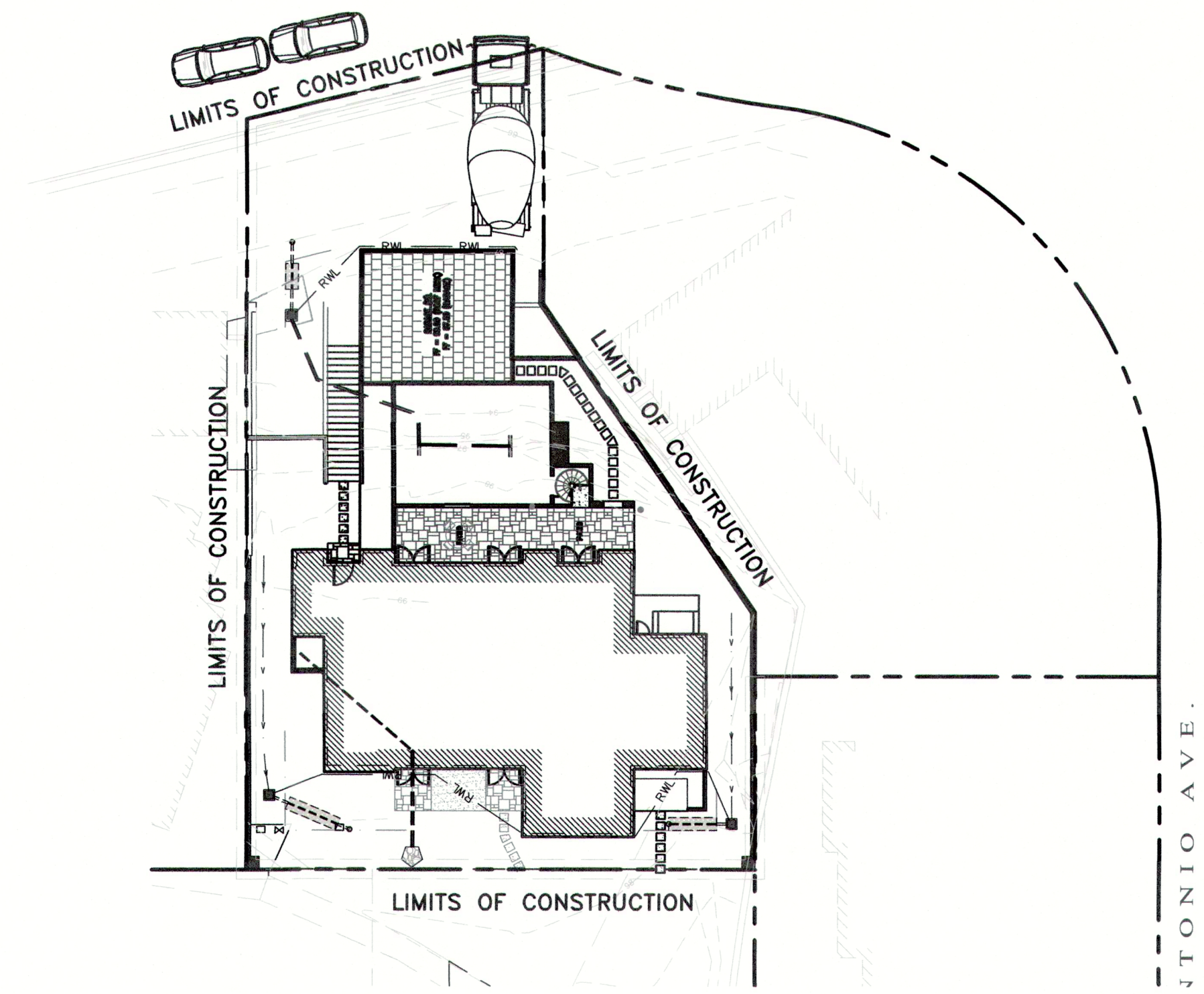
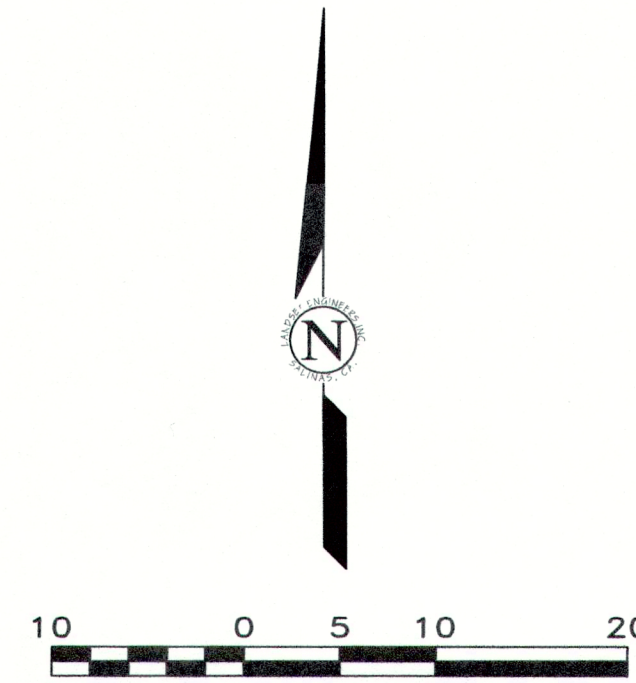
PROJECT SCHEDULING: PROJECTED START DATE 1 DECEMBER 2018. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



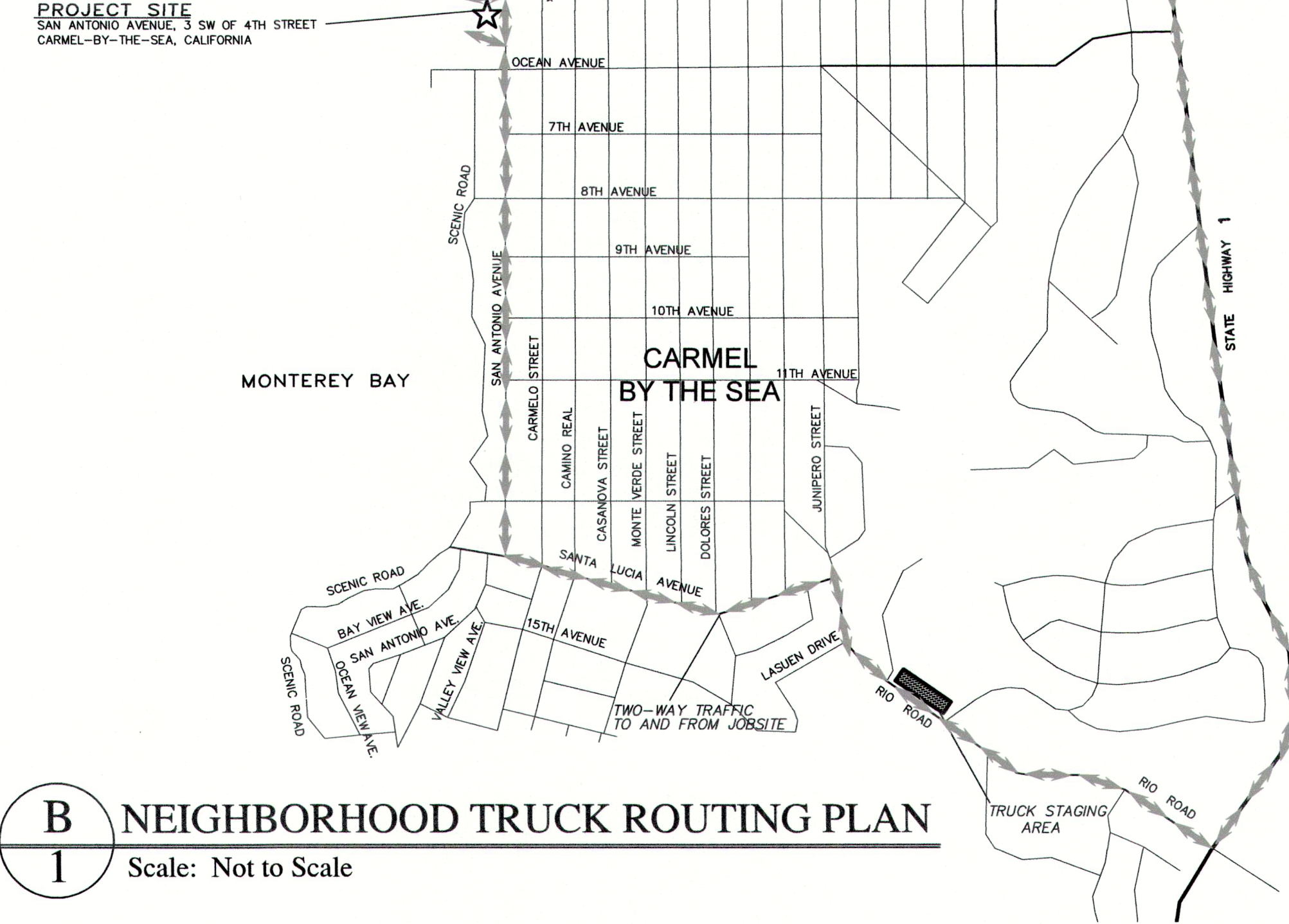
C GOOGLE IMAGE OF PARKING AREA
1 Scale: Not to Scale



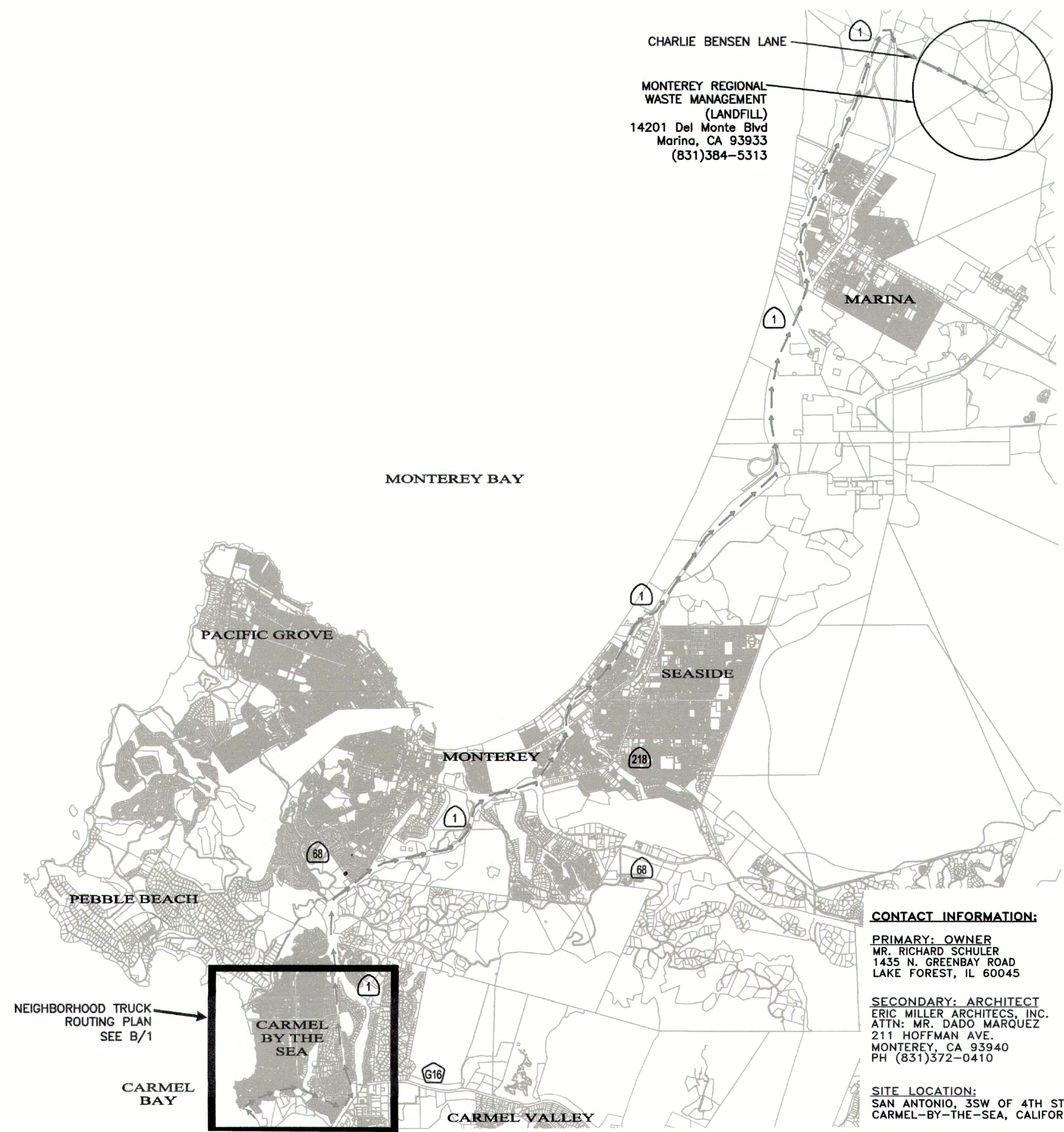
FENCING (ESA) DETAIL
Scale: NTS



A CONSTRUCTION STAGING PLAN
1 Scale: 1"=20'



B NEIGHBORHOOD TRUCK ROUTING PLAN
1 Scale: Not to Scale

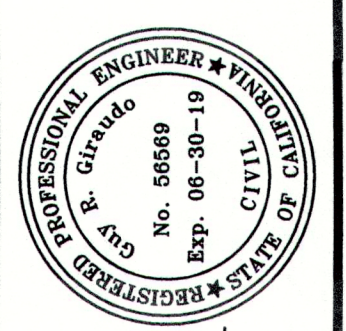


D OVERALL TRUCK ROUTING PLAN
1 Scale: Not to Scale

CONTACT INFORMATION:
PRIMARY: OWNER
MR. RICHARD SCHULER
1435 N. GREENBAY ROAD
LAKE FOREST, IL 60045
SECONDARY: ARCHITECT
ERIC MILLER ARCHITECTS, INC.
ATTN: MR. DADO MARQUEZ
211 HOFFMAN AVE
MONTEREY, CA 93940
PH (831)372-0410

SITE LOCATION:
SAN ANTONIO, 35W OF 4TH STREET
CARMEL-BY-THE-SEA, CALIFORNIA

No.	DATE	BY	REVISION

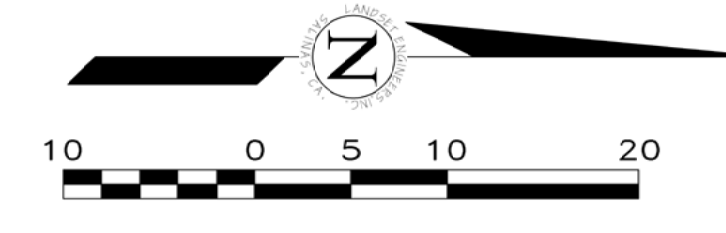


APPROVED BY:
GUY R. GIRAUDO
12/13/18



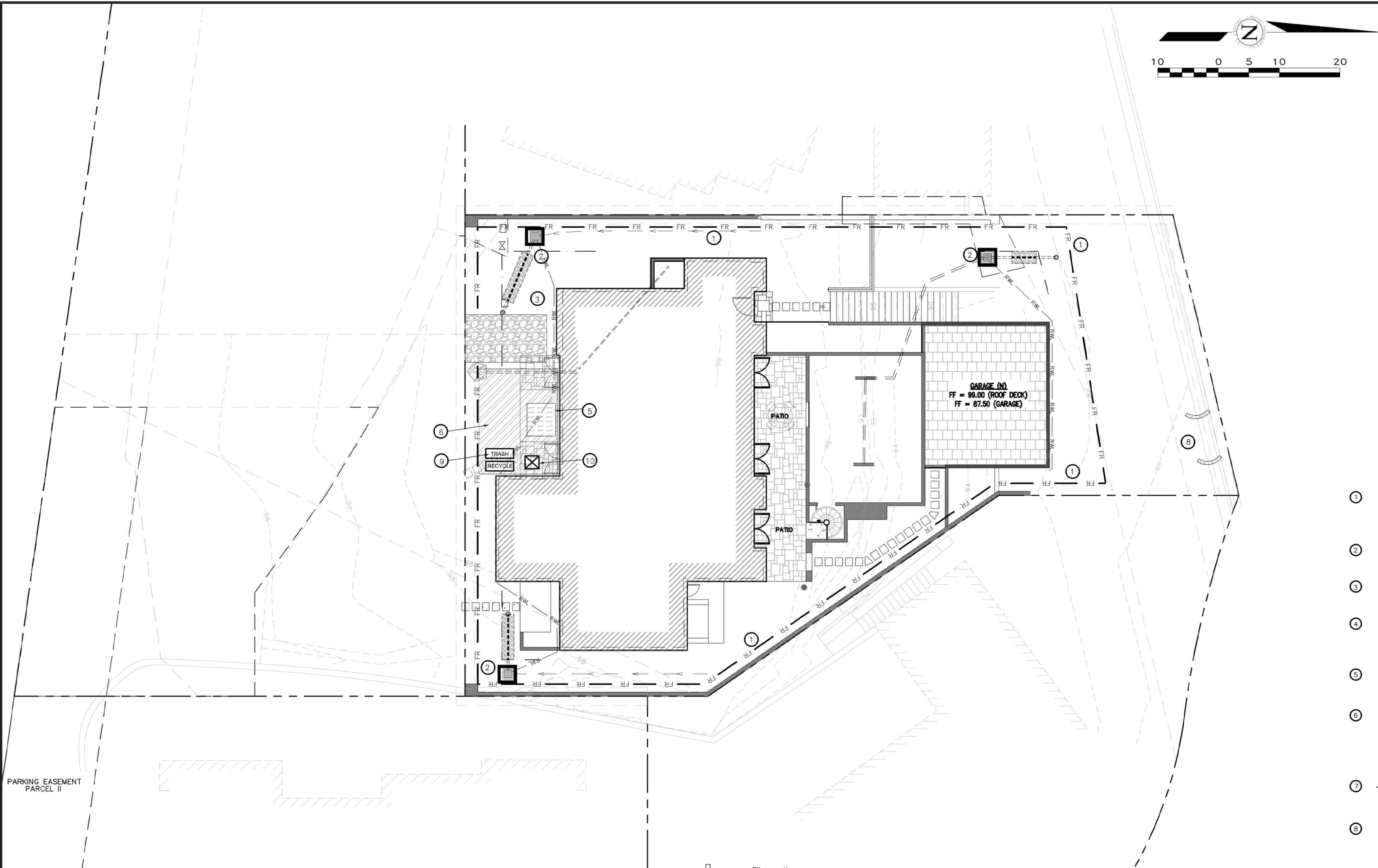
CONSTRUCTION MANAGEMENT PLAN
OF
SCHULER RESIDENCE
A.P.N.: 010-321-024-000
FOR
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
MR. RICHARD SCHULER

SCALE: AS SHOWN
DATE: OCT. 2018
JOB NO. 1786-01
SHEET **CM1**
OF 1 SHEETS

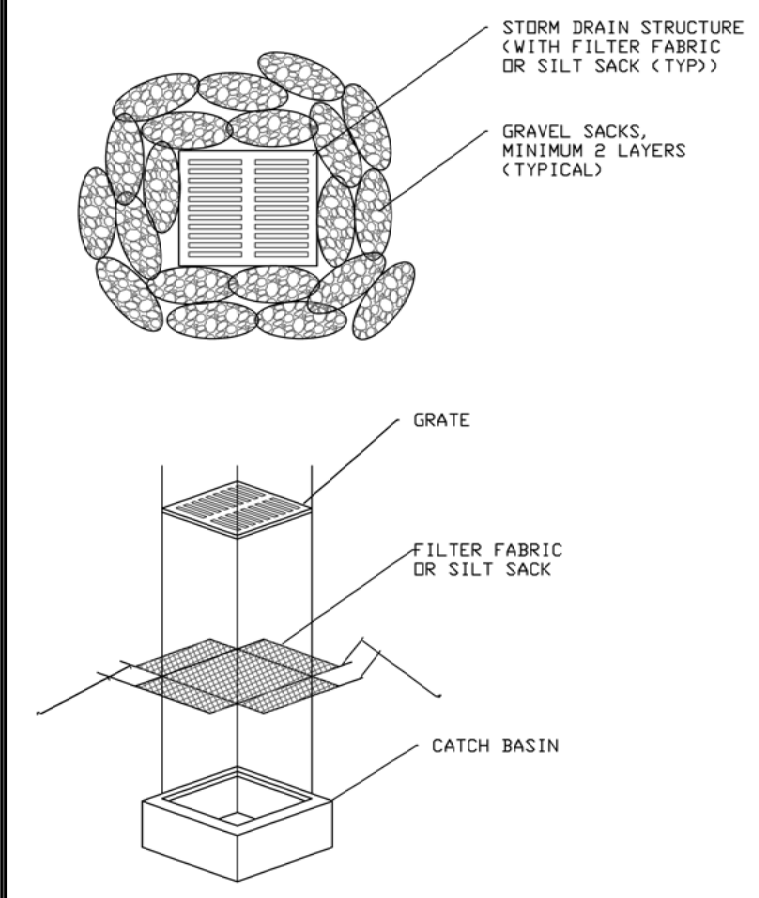


EROSION & SEDIMENT CONTROL NOTES:

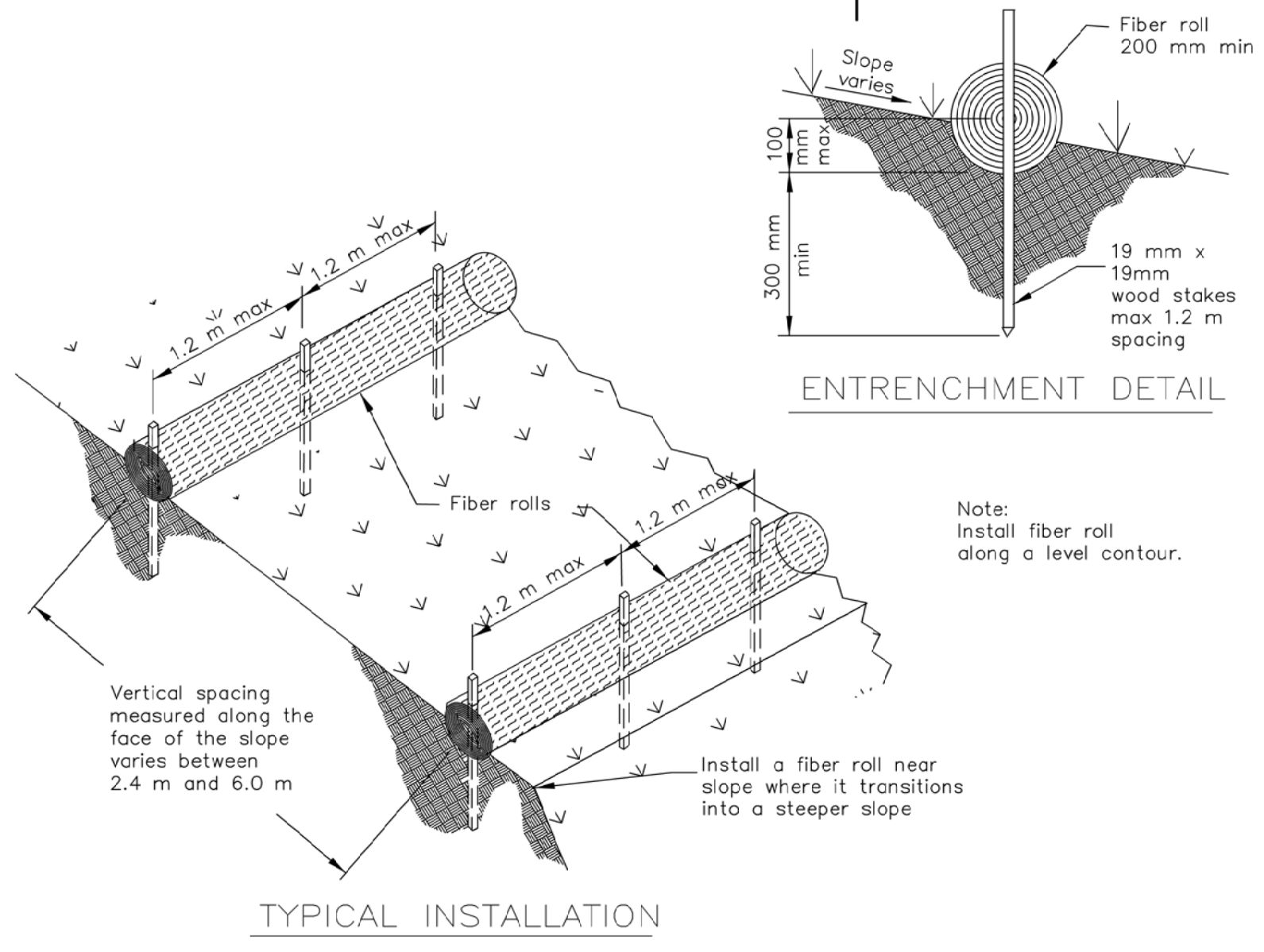
- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
- 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDOMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATA (BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS).
- 10) SEEDING AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
- 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BERMS INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF PERFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.



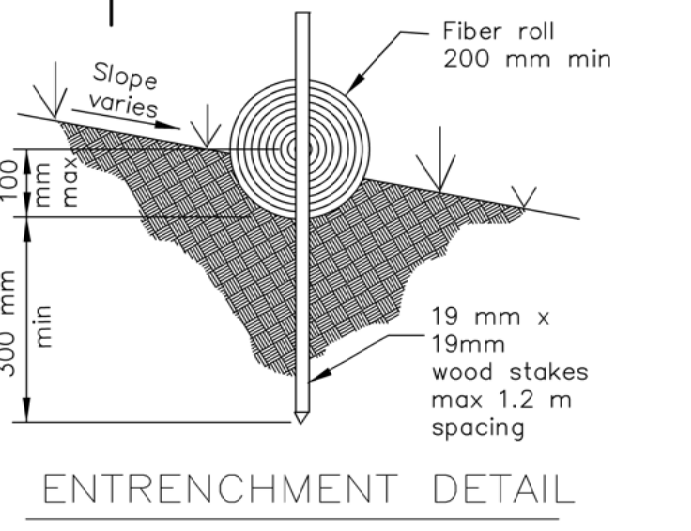
- ① — FR — FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- ② □ DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER (SEE DETAIL)). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- ③ ■ STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- ④ ■ STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- ⑤ ■ CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- ⑥ ■ CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FIELDING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED, AND EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- ⑦ ■ TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
- ⑧ ■ GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 400/LY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABOUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- ⑨ ■ WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERPROOF DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- ⑩ ■ SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.



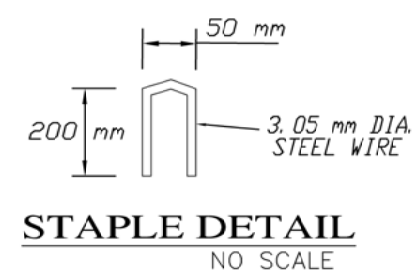
STORM DRAIN INLET PROTECTION
NOT TO SCALE



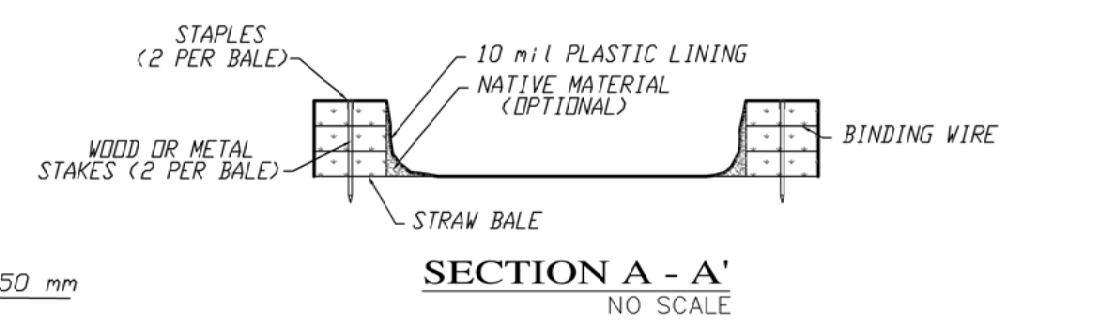
FIBER ROLLS
NOT TO SCALE



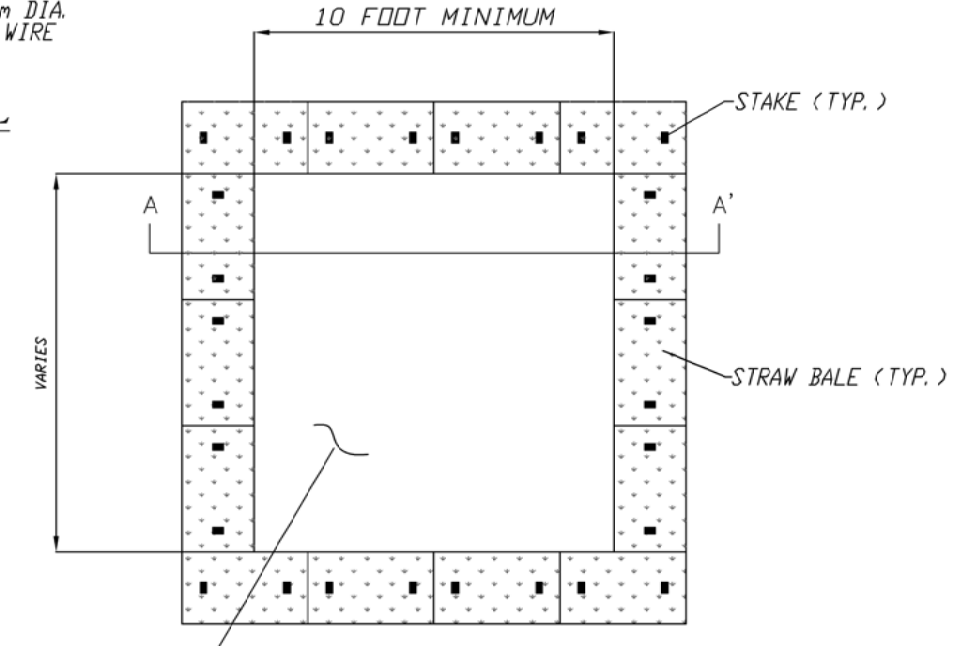
ENTRENCHMENT DETAIL



STAPLE DETAIL
NO SCALE

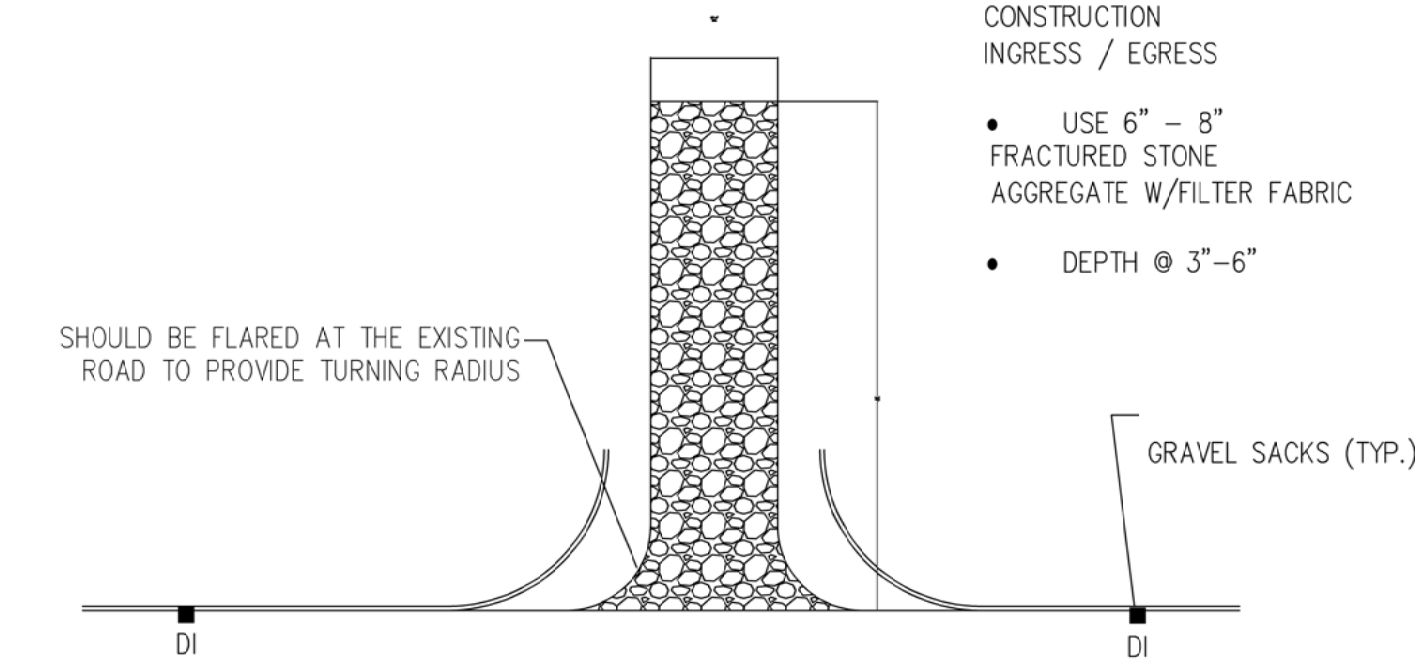


SECTION A-A'
NO SCALE



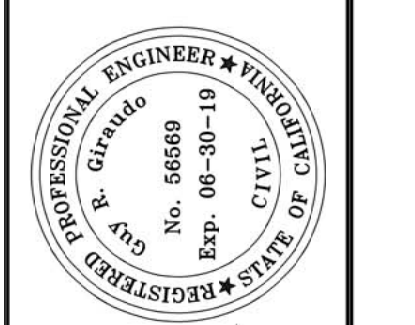
PLAN TYPE "ABOVE GRADE" WITH STRAW BALES
NO SCALE

CONCRETE WASHOUT
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

CONTACT INFORMATION:
PRIMARY: OWNER
MR. RICHARD SCHULER
1435 N. GREENBAY ROAD
LAKE FOREST, IL 60045
SECONDARY: ARCHITECT
ERIC MILLER ARCHITECTS, INC.
ATTN: MR. DADO MARQUEZ
211 HOFFMAN AVE.
MONTEREY, CA 93940
PH (831)372-0410
SITE LOCATION:
SAN ANTONIO, 35W OF 4TH STREET
CARMEL-BY-THE-SEA, CALIFORNIA



APPROVED BY:
GUY R. GIRAUDO



EROSION CONTROL PLAN
OF
SCHULER RESIDENCE
A.P.N.: 010-321-024-000
CARMEL-BY-THE-SEA, CALIFORNIA
FOR
MR. RICHARD SCHULER

SCALE: 1"=10'
DATE: OCT. 2018
JOB NO. 1786-01

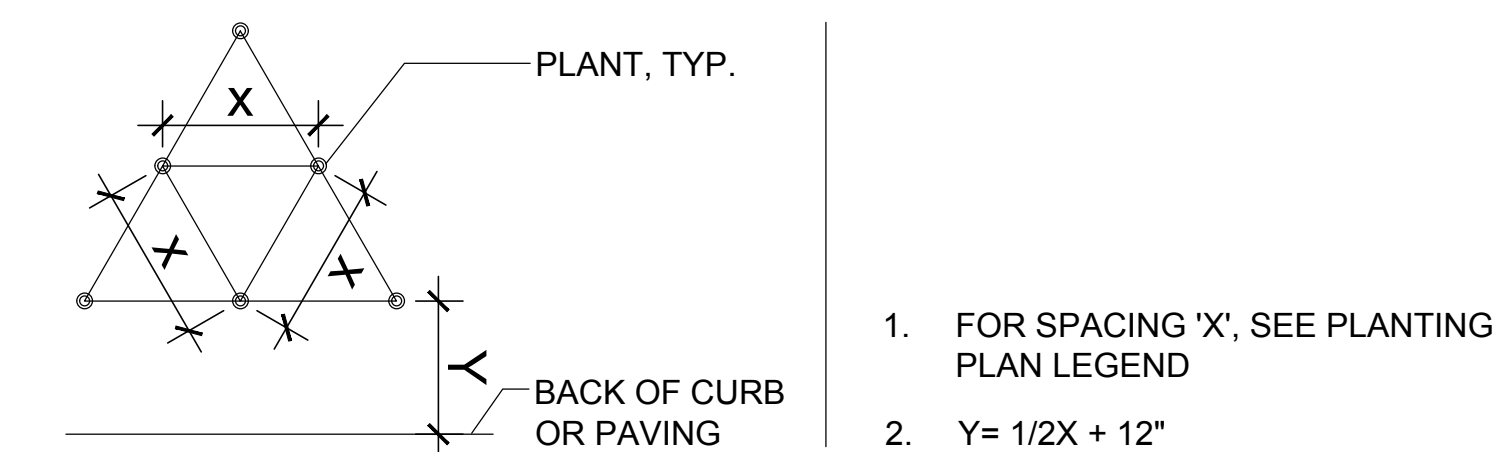
No.	DATE	BY	REVISION
	10/23/18	CDH	RELEASED TO CLIENT

CSD:\165X--XX\DWG\165X--CDDP.DWG_SHEET1

PLANT LEGEND

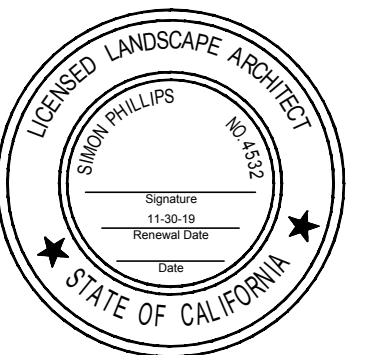
*WUC	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
<u>Trees</u>					
L	Am	Arbutus 'marina'	Marina Strawberry Tree	15 Gal.	Standard
M	Cm	Citrus 'Improved Meyer'	Meyer Lemon	15 Gal.	Standard
M	Cb	Citrus 'Bearss'	Bearss Lime	15 Gal.	Standard
L	Pr	Phoenix roebelenii	Pygmy Date Palm	15 Gal.	Multi
L	Sy	Syagrus romanzoffiana	Queen Palm	15 Gal.	Standard
VL	Ya	Yucca aloifolia	Spanish Bayonet	15 Gal.	Branched
<u>Shrubs</u>					
L	Aa	Agave attenuata 'Boutin Blue'	Blue Foxtail Agave	15 Gal.	
L	Ab	Anigozanthos 'Bush Ranger'	Dwarf Kangaroo Paw	1 Gal.	18"x18", flowers on 24" stalks
L	Ar	Anigozanthos 'Big Red'	Red Kangaroo paw	1 Gal.	
L	Ct	Chondropetalum tectorum	Cape Rush	5 Gal.	
L	Ef	Echium fastuosum	Pride of Madeira	15 Gal.	
L	Js	Juniperus squamata 'Blue Star'	Blue Star Juniper	5 Gal.	
L	Pm	Pinus mugo 'Pumilio'	Compact Mugo Pine	5 Gal.	
L	Jh	Juniperus horizontal 'Bar Harbor'	Bar Harbor Juniper	5 Gal.	
L	Jc	Juniperus chinensis 'Blue Point'	Blue Point Juniper	5 Gal.	
<u>Grasses & Groundcover</u>					
L		Echeveria spp.	Mixed Echeveria	4" Pots	touching
L		Arctostaphylos Pacific Mist	Pacific Mist Manzanita	5 Gal.	@ 3' o.c.
L		Kalanchoe pumila with Sempervivum 'Krebs', Sedum 'Black Beauty'	Succulent Mix	4" Pots	touching
L		Euphorbia myrsinites with Haworthia attenuata, Graptopetalum paraguayense, Pochyphytum hookeri	Succulent Mix	4" Pots	touching
L	Mc	Muhlenbergia capillaris	Pink Muhly	5 Gal.	
M		Arctostaphylos 'Emerald Carpet'	Emerald Carpet Manzanita	1 Gal.	@ 2' o.c.
L		Erigeron glaucus	Seaside Daisy	1 Gal.	@ 1' o.c.
L		Senecio serpens	Blue Chalksticks	1 Gal.	@ 2' o.c.
	TJ	Trachelospermum jasminoides	Star Jasmine	5 Gal.	@ 5' o.c.
<u>Vines</u>					
L	Rs	Rosmarinus 'Prostratus'	Creeping Rosemary	5 Gal.	

GROUNDCOVER SPACING AND PLANTING SETBACK DIAGRAM

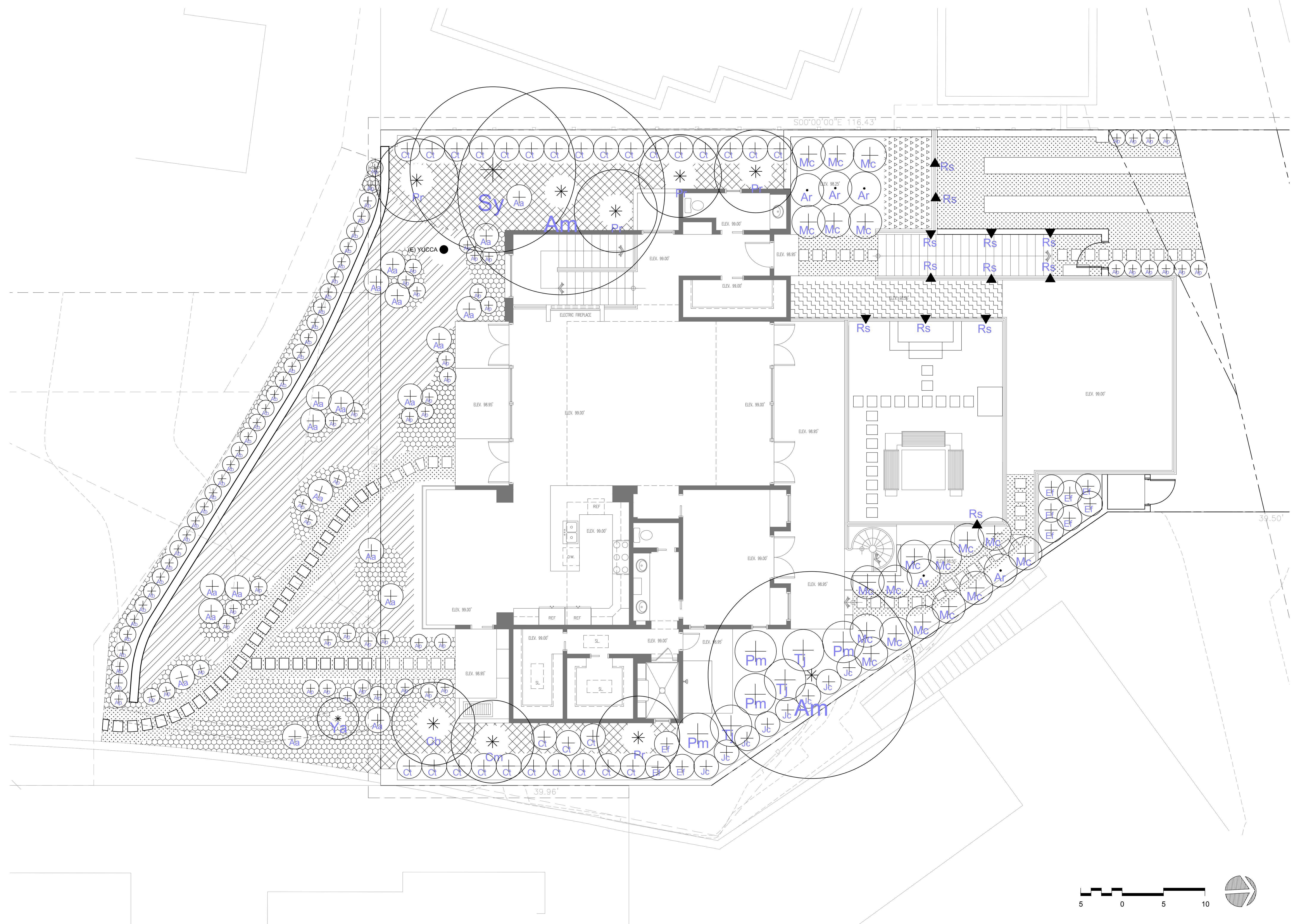


* WATER USE CATEGORY (WUC) KEY

WUCOLS Region Applicable to this Project: REGION 1
 H = High; M = Moderate; L = Low; VL = Very Low; NL = Species Not Listed
 * from: Water Use Classification of Landscape Species.
 A Guide to the Water Needs of Landscape Plants (WUCOLS)
 Revised 2014, University of California Cooperative Extension, L.R. Costello, K.S. Jones

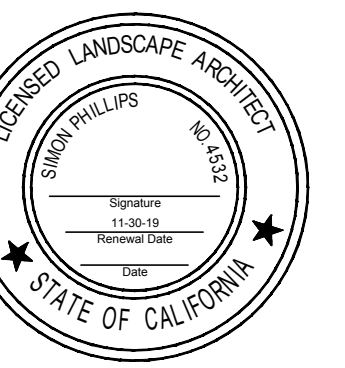


PLANTING PLAN
 JOB NAME:
 SCHULER RESIDENCE
 San Antonio 3 SW of 4th Street
 Carmel by the Sea, CA
 A.P.N.: 010-321-024-000



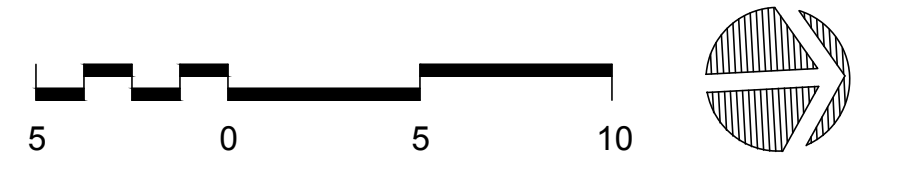
CONSULTANT:
bfs
BFS LANDSCAPE ARCHITECTS
 425 PACIFIC STREET #201
 MONTEREY, CALIFORNIA 93940
 (831) 646-1383 • BFSLA.COM

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 157 GRAND suite 106 PACIFIC GROVE CA 93950
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com



PLANTING PLAN
 JOB NAME:
 SCHULER RESIDENCE
 San Antonio 3 SW of 4th Street
 Carmel by the Sea, CA
 A.P.N.: 010-321-024-000

9/11/18
 AS SHOWN
 LC
 18.021
 SHEET NO:



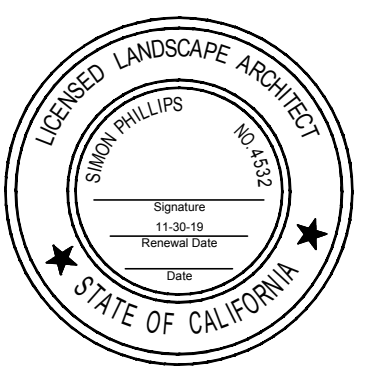
L-1.1

LIGHTING FIXTURE LEGEND

SYM	QTY	TYPE	NUMBER	LAMP	NOTES
■	14	Step Light	Beachside E9-RCL LED	3W LED	
Ⓜ	13	Path Light	Focus PL-23-LED3	3W LED	

CONSULTANT:
bfs
BFS LANDSCAPE ARCHITECTS
 425 PACIFIC STREET #201
 MONTEREY, CALIFORNIA 93940
 831.646.1383 • BFS.LA.COM

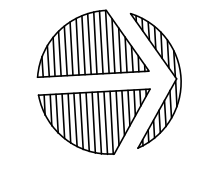
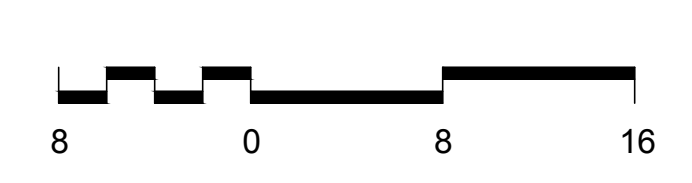
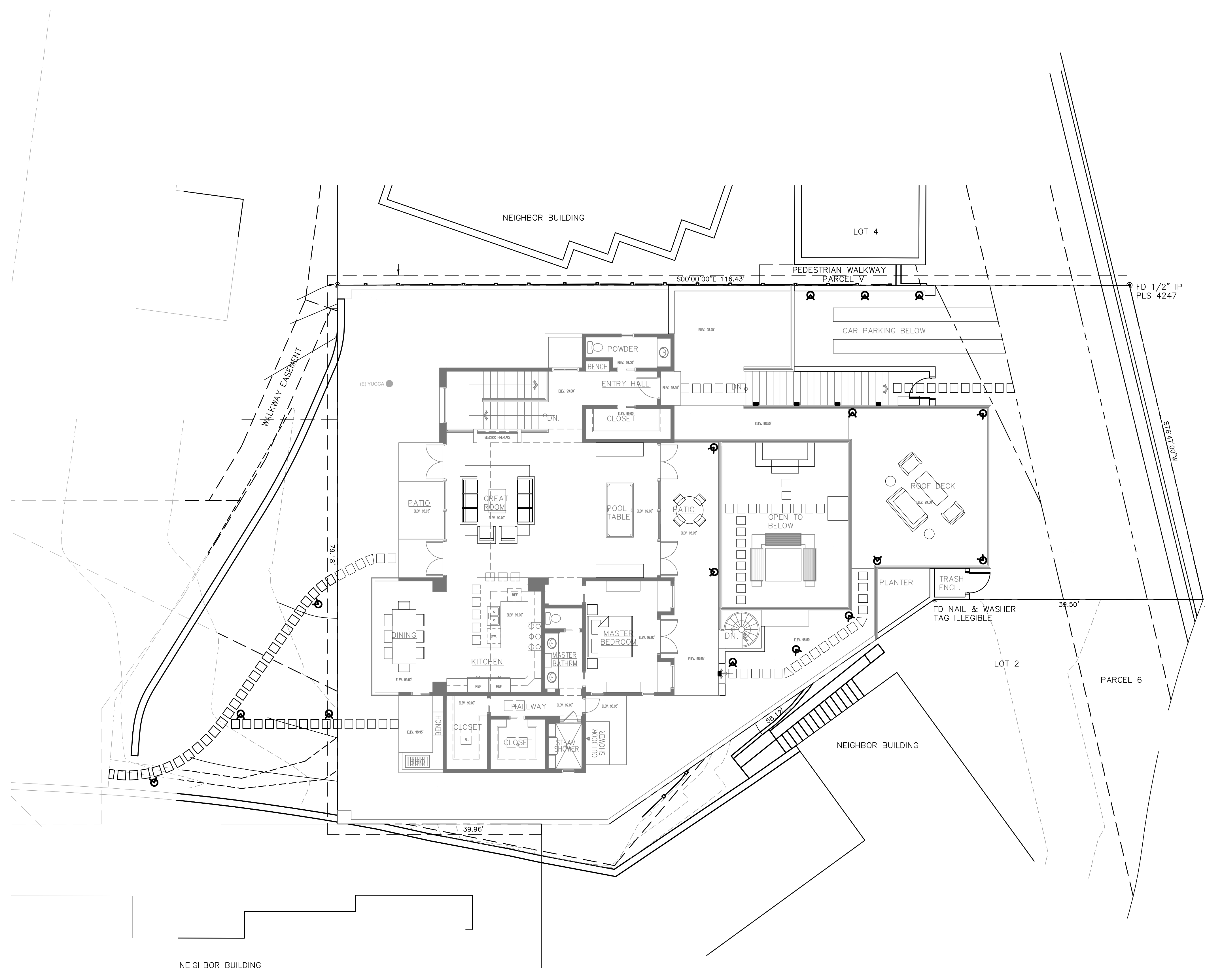
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 157 GRAND SUITE 106 PACIFIC GROVE, CA 93950
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com



LIGHTING PLAN
 JOB NAME
 SCHULER RESIDENCE
 San Antonio 3 SW of 4th Street
 Carmel by the Sea, CA
 A.P.N.: 010-321-024-000

9/11/18
 1/8"=1'-0"
 LC
 18.021
 SHEET NO:

L-6.0



M:\PRODUCTION\Projects\2018\18.021\CAD\18021_061_Lighting.dwg 9/11/2018

Building Permit No: DS 18-142

Attachment 1



BMP Implementation Tracking Form
Single-Family Home Projects

SECTION 1. Project Information

Owner's Name: RICHARD SCHUIER

APN#: 010-321-024

Project Location: SAN ANTONIO, 3 SANDY SEA

Project is a: New development

Remodel

Proposed Development Area and Impervious Area:

Parcel Area: _____ square feet

Existing impervious surface area (pavement and buildings): 2,734 sq ft

Amount of new impervious surface area that will be created: 444 sq ft

Amount of impervious surface area that will be replaced: 2,734 sq ft

Total new + replaced impervious surface area: 3,178 sq ft

If new + replaced impervious \geq 2,500 sf, please fill out section 2 below.

SECTION 2. Site planning and LID design measures (LID design measures shall be clearly marked on site plans)

Check applicable box and provide short description of measure and location (SEE STORMWATER CONTROL PLAN EXHIBIT - FIGURE F2)

Conserve natural areas, riparian areas and wetlands

Description: _____

Concentrate improvements on the least-sensitive portions of the site and minimize grading

Description: _____

Minimize Impervious Areas

Description: PROVIDE VEGETATED AREAS ALONG THE PERIMETER TO PROMOTE ON-SITE INFILTRATION

Direct roof runoff into cisterns or rain barrels

Description: _____

Direct roof downspouts to landscaped areas or rain gardens

Description: ROOF DRAINAGE CONNECTED TO RWL'S AND OUTLETTED TO INFILTRATION TRENCHES

Use pervious pavement (pervious concrete or asphalt, turf block, crushed aggregate, etc.)

Description: INCORPORATE THE USE OF PERVIOUS PAVEMENTS

Disperse runoff from paved areas to adjacent pervious areas

Description: DIRECT RUNOFF FROM PAVED AREAS TO VEGETATED AREAS

Recommendations/Draft Conditions

**REVISED AND ACCEPTED BY THE PLANNING COMMISSION
 ON OCTOBER 10, 2018**

No.	
1.	Tree Removal Permit Required. The applicant shall submit a tree removal application for review by the City Forester prior to final details review.
2.	Tree Planting Required. Two lower canopy trees shall be planted on the project site. The tree species shall be selected from the City's approved tree list. The final location shall be determined in consultant with the City Forester.
3.	Tier 1 of the Central Coast Post-Construction Requirements. Based on the impervious and building area calculations provided, this project creates or replaces over 2,500 SF of impervious area and is thus subject to Tier 1 of the Central Coast Post-Construction Requirements. Low-impact development design principles must be incorporated into the design, including minimizing impervious square footage, and infiltrating runoff from impermeable areas. Additionally, site drainage must meet the requirements of the City's drainage guidance, SOG 17-07. At a minimum, impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. Show in concept on the preliminary site drainage plan (C1) how surface drainage from impermeable surfaces will be infiltrated onsite. Groundwater from subdrains may be directed to drain offsite if it is not commingled with surface water <small>SEE ATTACHED DOCUMENTS</small>
4.	Drainage Plan. A site drainage plan and BMP tracking form will need to be provided with the Building Permit application demonstrating compliance with City drainage guidelines (SOG 17-07). <small>SEE CIVIL DRAWINGS</small>
5.	Erosion and Sediment Control Plan. An erosion and sediment control plan, including locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access, will need to be provided with the Building Permit application.
6.	<u>Clerestory Windows – Interior Lighting.</u> <u>The proposed interior recessed light fixtures above the clerestory windows shall be removed.</u> <small>NO INTERIOR RECESS LIGHT ABOVE CLERESTORY WINDOWS PROPOSED, SEE SHT. A-02 CONDITIONS OF APPROVAL NOTE #1</small>
7.	<u>Windows – Reflectivity/Glare.</u> <u>The applicant shall provide additional details and specifications for anti-reflective/anti-glare glass on the south elevation.</u> <small>LOW REFLECTIVE GLASS TO BE USED, SEE SHT. A-02 NOTE #2</small>
8.	<u>Interior Lighting.</u> <u>The applicant shall provide additional details and specifications for a shade system that will reduce visible light transmission along the south elevation during the hours of darkness.</u> <small>SEE SHEET A-3.4, A-3.5, A-4.2 SHADE POCKET DET. #1 & WINDOW SHADE FABRIC SPECIFICATIONS</small>
9.	<u>Southeast Patio Wall.</u> <u>The applicant shall remove the 6-foot tall wall at the southeast patio where the barbeque is located.</u> <small>PATIO WALL HAS BEEN REMOVED, SEE SHEET A-2.1, A-3.2 & A-3.3</small>

Stormwater Control Plan – Small (Tier 1) Project

Project Name/Number	Schuler Residence/13.09
Application Submittal Date	October 23, 2018
Project Location	San Antonio 3 SW of 4 th Street Carmel-By-The-Sea, California 93921
Name of Owner or Developer	Richard Schuler 1435 N. Greenbay Road Lake Forest, Illinois 60045
Project Type and Description	Removal of an existing single-level residence with garage. Subsequent construction of a new residence with basement consisting of 3 bedrooms, 3 full bathrooms, 1 half bathroom, and a 2-car garage.
Total Project Site Area (acres)	0.18 acres
Total New Impervious Surface Area (square feet)	444 square feet
Total Replaced Impervious Surface Area	2,734 square feet
Total Pre-Project Impervious Surface Area	2,734 square feet
Total Post-Project Impervious Surface Area	3,178 square feet
Runoff Reduction Measures Selected	<ul style="list-style-type: none"> <input checked="" type="checkbox"/> 1. Disperse runoff to vegetated area <input checked="" type="checkbox"/> 2. Pervious pavement <input type="checkbox"/> 3. Cisterns or Rain Barrels <input checked="" type="checkbox"/> 4. Bioretention Facility or Planter Box

Runoff Reduction Measures

Measure 1: Disperse runoff from roofs or pavement to vegetated areas.

This is the simplest option. Downspouts can be directed to vegetated areas adjacent to buildings, or extended via pipes to reach vegetated areas further away. Paved areas can be designed with curb cuts, or without curbs, to direct flow into surrounding vegetation.

On the site plan, show:

- ✘ Each impervious area from which runoff will be directed, and its square footage.
- ✘ The vegetated areas that will receive runoff, and the approximate square footage of each.
- ✘ If necessary, explain in notes on the plan how runoff will be routed from impervious surfaces to vegetated areas.

Confirm the following standards are met:

- ✘ Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area. On your sketch, show rough dimensions that will confirm this criterion is met.
- ✘ Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
- ✘ Paved areas are sloped so drainage is routed to the receiving pervious area.
- ✘ Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
- ✘ Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
- ✘ Any area drains within the vegetated area have inlets at least 3 inches above surrounding grade.

Measure 2: Permeable Pavement

Permeable pavements may include pervious concrete, pervious asphalt, porous pavers, crushed aggregate, open pavers with grass or plantings (turf block), open pavers with gravel, or solid pavers with open (non-grouted) joints.

Show on your site plan:

- ✘ Location, extent and types of pervious pavements.

Confirm the following standard specifications are met:

- ✘ No erodible areas drain on to permeable pavement.
- ✘ Subgrade compaction is minimal.
- ✘ Reservoir base course is of open-graded crushed stone. Base depth (3" or more) is adequate to retain rainfall and support design loads (more depth may be required).
- ✘ No subdrain is included or, if a subdrain is included, outlet elevation is a minimum of 3 inches above bottom of base course.
- ✘ Subgrade is level and slopes are not so steep that subgrade is prone to erosion.
- ✘ Rigid edge is provided to retain granular pavements and unit pavers.

✘ Solid unit pavers, if used, are set in sand or gravel with minimum 3/8 inch gaps between the pavers. Joints are filled with an open-graded aggregate free of fines.

Permeable concrete or porous asphalt, if used, are installed by industry-certified professionals according to the vendor's recommendations.

✘ Selection and location of pavements incorporates Americans with Disabilities Act requirements (if applicable), site aesthetics, and uses.

Check with local Fire Department for applicability criteria using permeable pavement.

Measure 4: Bioretention Facility or Planter Box

An above-ground planter box may be appropriate if the development site lacks level landscaped areas for dispersion and pervious pavements are not practical. Planter boxes and bioretention facilities can treat runoff from impervious surfaces 25 times their area (sizing factor of 0.04).

Detailed design guidance for bioretention facilities is in the *Stormwater Technical Guide*.

Show on your site plan:

✘ Impervious areas tributary to the facility.

✘ Location and footprint of facility.

Confirm the following standard specifications are met:

✘ Ponding depth is 4"-6" minimum.

✘ Minimum 18" depth soil mix (60%-70% sand; 30%-40% compost) with minimum long-term infiltration rate of 5"/hour.

✘ Surface area of soil mix is a minimum 0.04 times the tributary impervious area.

✘ "Class 2 permeable" (Caltrans specification 68-2.02(F)(3) drainage layer 12" deep.

✘ No filter fabric.

✘ Perforated pipe (PVC SDR 35 or approved equivalent) underdrain.

✘ Connection with sufficient head to storm drain or discharge point.

✘ Underdrain has a clean-out port consisting of a vertical, rigid, non-perforated PVC pipe, connected to the underdrain via a sweep bend, with a minimum diameter of 4" and a watertight cap.

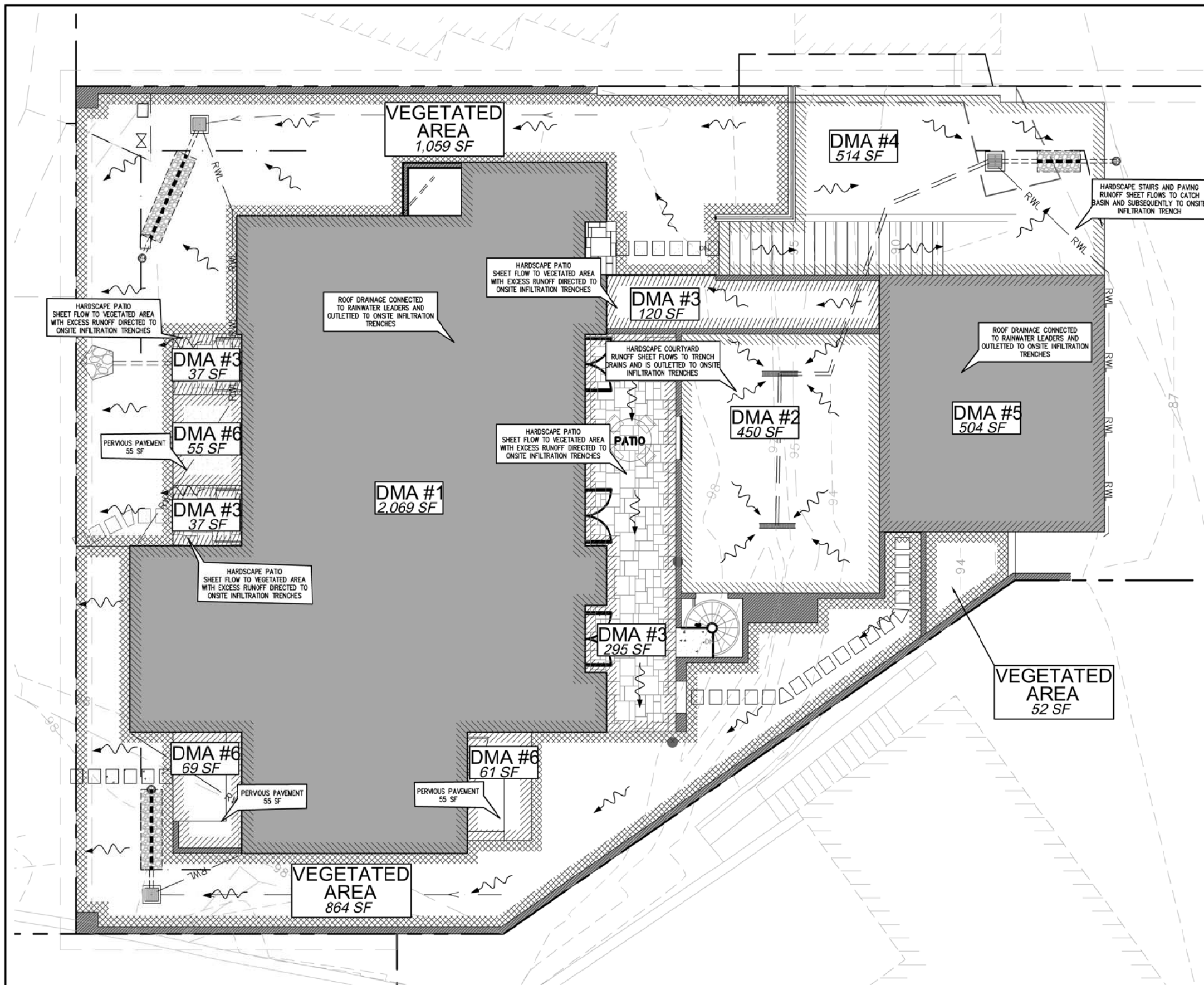
✘ Overflow outlet connected to a downstream storm drain or approved discharge point.

✘ Planter is set level.

✘ Emergency spillage will be safely conveyed overland.

✘ Plantings are suitable to the climate, exposure, and a well-drained soil.

✘ Irrigation system, if any, controlled as a separate zone.



GENERAL NOTES:

1. ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF CARMEL'S ADOPTED STORMWATER CONTROL PLAN GUIDE FOR SMALL (TIER 1) LAND DEVELOPMENT PROJECTS.
2. THIS PROJECT WILL RESULT IN THE NET ADDITION OF 444 SQUARE FEET OF IMPERVIOUS SURFACES AND IS SUBJECT TO TIER 1 REQUIREMENTS. DESIGN CONSIDERATIONS FOR THIS PROJECT INCLUDE THE MINIMIZATION OF IMPERVIOUS SURFACES, THE INCORPORATION OF ONSITE INFILTRATION TRENCHES, UTILIZATION OF PERVIOUS PAVEMENTS WHEN POSSIBLE, AND THE MINIMIZATION OF RUNOFF BY DISPERSION TO LANDSCAPED AREAS.
3. ALL VEGETATED AREAS WILL HAVE AMENDED SOILS, VEGETATION AND IRRIGATION AS REQUIRED TO MAINTAIN SOIL STABILITY AND PERMEABILITY.
4. ALL AREA DRAINS WITHIN A VEGETATED AREA SHALL HAVE INLETS AT LEAST THREE INCHES ABOVE THE SURROUNDING GRADE. SUBDRAINS WITHIN THE PERMEABLE PAVEMENT AREA SHALL HAVE OUTLET ELEVATIONS A MINIMUM OF 3" ABOVE THE BOTTOM OF THE BASE COURSE.

TOTAL BUILDING SITE (DISTURBED) AREA: 7,733 SF

IMPERVIOUS AREA SUMMARY:

PRE-DEVELOPMENT (EXISTING): 2,734 SF
 POST-DEVELOPMENT: 3,178 SF
 NET IMPERVIOUS AREA: +444 SF

DRAINAGE MANAGEMENT AREAS:

1. DMA#1: 2,069 SF (ROOF- RESIDENCE) - RUNOFF CONVEYED VIA DOWNSPOUTS AND RAINWATER LEADERS TO ONSITE INFILTRATION TRENCHES
2. DMA #2: 450 SF - IMPERMEABLE COURTYARD - RUNOFF SHEET FLOWS TO TRENCH DRAINS AND IS OUTLETTED TO ONSITE INFILTRATION TRENCHES
3. DMA #3: 489 SF - IMPERMEABLE PATIOS - RUNOFF SHEET FLOWS TO VEGETATED AREA AND EXCESS RUNOFF IS DIRECTED TO ONSITE INFILTRATION TRENCHES
4. DMA #4: 514 SF - IMPERMEABLE STAIRS AND PAVEMENT - RUNOFF SHEET FLOWS TO CATCH BASIN AND SUBSEQUENTLY TO ONSITE INFILTRATION TRENCH
5. DMA #5: 504 SF (ROOF- GARAGE) - RUNOFF CONVEYED VIA DOWNSPOUTS AND RAINWATER LEADERS TO ONSITE INFILTRATION TRENCHES
6. DMA #6: 185 SF - PERMEABLE PAVEMENT



STORMWATER CONTROL PLAN EXHIBIT
 SCHULER RESIDENCE
 SAN ANTONIO 3 SW OF 4TH STREET, CARMEL-BY-THE-SEA, CALIFORNIA

FIGURE: F2
 DATE: OCTOBER 23, 2018
 PROJECT: 1786-01