

# LOMBARDO RESIDENCE

## Lot 5 Block 54 Lincoln Street Carmel by the Sea, California CA

REVISION	No.

CONSULTANT:

**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

ARCHITECT

**COVER SHEET**  
 JOB NAME: Lombardo Residence  
 Lot 5 Block 54 Lincoln Street  
 Carmel, By-The-Sea, CA  
 APN: 010-212-020-000

DATE: 5/31/18  
 SCALE: N.T.S.  
 DRAWN: DM  
 JOB NUMBER: 17.08  
**A-0.1**  
 SHEET OF

### GENERAL NOTES

- CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL:** IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF IN THE OPINION OF THE CONTRACTOR ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND THE ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL NOTICES/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2016 C.B.C.)
- CONSTRUCTION RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- JOB SITE SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION:** THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/DAMAGES/LOSSES/AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP:** THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- EXISTING CONDITION:** CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS CONDITION AND EXISTING AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- CONSTRUCTION NOTES:** ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES:** THIS PROJECT SHALL COMPLY WITH THE TITLE 24 AND 2016 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA GREEN BUILDING CODE (CIBC) AND CALIFORNIA TITLE-24 ENERGY CODE.

### PROJECT DATA

ADDRESS: **LOT 5 BLOCK 54 LINCOLN STREET  
CARMEL BY THE SEA, CA 93921**

PROJECT DESCRIPTION: **CONSTRUCTION OF A NEW 2,040 S.F. S.F.D. WITH BASEMENT & ATTACHED GARAGE CONSIST OF: 384 S.F. BASEMENT, 476 S.F. MAIN FLOOR, 680 S.F. UPPER FLOOR, 324 S.F. ROOF DECK, 64 S.F. STAIRS TO ROOF DECK AND 556 S.F. OF HARDSCAPE.**

LOT SIZE: **4,000.0 S.F.**  
 ZONING: **RI**  
 A.P.N.: **010-212-020-000**  
 TYPE OF CONSTRUCTION: **( V-B )**

**SETBACK**

FRONT — 15' MAX.  
 REAR — 15' MAX.  
 SIDE — 25% OF LOT WIDTH - 10' MAX.  
 BUILDING HEIGHT — 2ND STORY PLATE HT. - 18'  
 MAX ROOF HT. - 24.0'

<b>LOT AREA</b>	4,000 S.F.
<b>PROPOSED FLOOR AREA</b>	
UPPER FLOOR AREA	678 S.F.
MAIN FLOOR AREA	878 S.F.
BASEMENT FLOOR AREA	384 S.F.
<b>TOTAL</b>	<b>1,940 S.F.</b>

### F.A.R. FLOOR AREA CALCULATIONS

BASEMENT = 384 S.F.  
 - 100 S.F.  
 = 284 S.F.  
 284 S.F. / 2 = 142 S.F.  
 1,800 S.F. - 142 S.F. = 1,658 S.F. — UPPER & MAIN FLOOR AREA  
 384 S.F. + 1,658 S.F. = 2,042 S.F.  
**TOTAL F.A.R. = 2,042 S.F.**

### PROJECT TEAM

OWNER: **ANTHONY & SUSAN LOMBARDO  
226 OAK STREET  
SALINAS CALIFORNIA 93901  
PH: 831-751-2330**

ARCHITECT: **ERIC MILLER ARCHITECTS, INC.  
157 GRAND AVE. SUITE 106  
PACIFIC GROVE, CA 93950  
PH: 831-372-0410  
CONTACT: LUYEN VU**

SURVEYOR: **LUCIDO SURVEYORS  
2 SAUCITO AVENUE  
DEL REY OAKS, CA 93940  
PH: 831-620-5032  
CONTACT: FRANK LUCIDO JR.**

CIVIL: **LANDSET ENGINEERS, INC.  
520-B CRAZY HORSE CANYON ROAD  
SALINAS, CA 93901  
PH: 831-448-6970  
CONTACT: GUY GIRAUDO**

LANDSCAPE: **ENVIRONMENTAL PLANNING & DESIGN, INC.  
LANDSCAPE ARCHITECTURE  
24 WILLOW STREET  
SALINAS, CALIFORNIA 93901  
PH: 831-596-6664  
CONTACT: MARION WEAVER**

ARBORIST: **URBAN FORESTER  
1231 MILES AVENUE  
PACIFIC GROVE, CA 93950  
PH: 831-373-7086  
CONTACT: FRANK ONO**

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### OWNERSHIP NOTES

- OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:
- TITLE AND ALL 'COPYRIGHT' PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS 'THE ARCHITECT' WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.
  - THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
  - THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
  - IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

### TREE REMOVAL

\* ONE (1) 9" OAK TREE TO BE REMOVED

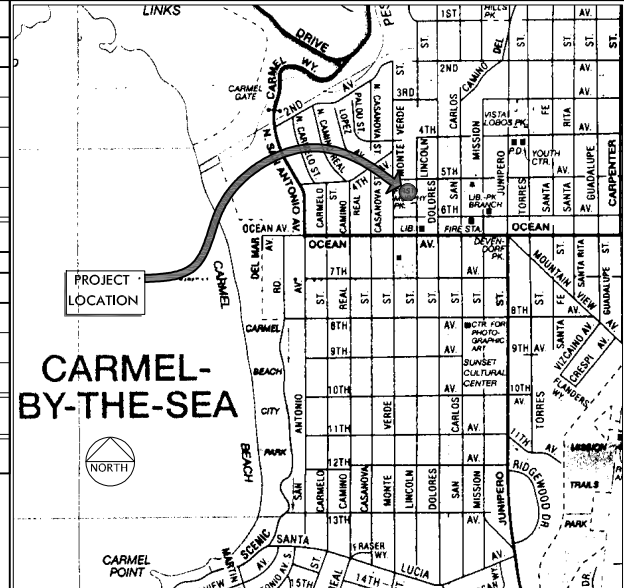
### GRADING

CUT: ——— APPROX. 625 C.Y.  
 FILL: ——— 0 C.Y.  
 SURPLUS: ——— APPROX. 625 C.Y.

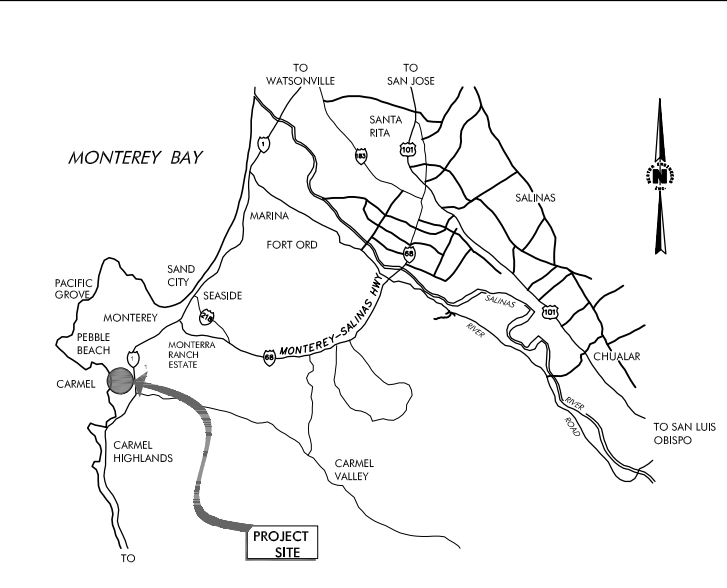
### SITE COVERAGE

ALLOWED	556.0 S.F.
PROPOSED IMPERVIOUS COVERAGE	
REAR PATIO, FIRE PLACE & COLUMN	125.0 S.F.
OUTDOOR BATH & WALLS	65.0 S.F.
SITE WALLS & CURBS	68.0 S.F.
SITE STAIRS & LANDING	28.0 S.F.
STEPPING STONES	32.0 S.F.
TOTAL IMPERVIOUS COVERAGE	318.0 S.F.
PROPOSED PERVIOUS COVERAGE	
DRIVEWAY	84.0 S.F.
WALKWAYS	134.0 S.F.
TRASH ENCLOSURE	20.0 S.F.
TOTAL IMPERVIOUS COVERAGE	280.0 S.F.
TOTAL PROPOSED SITE COVERAGE	556.0 S.F.
ROOF DECK & STAIRS	
ROOF DECK	322.0 S.F.
STAIRS TO ROOF DECK	60.0 S.F.

### LOCATION MAP



### VICINITY MAP

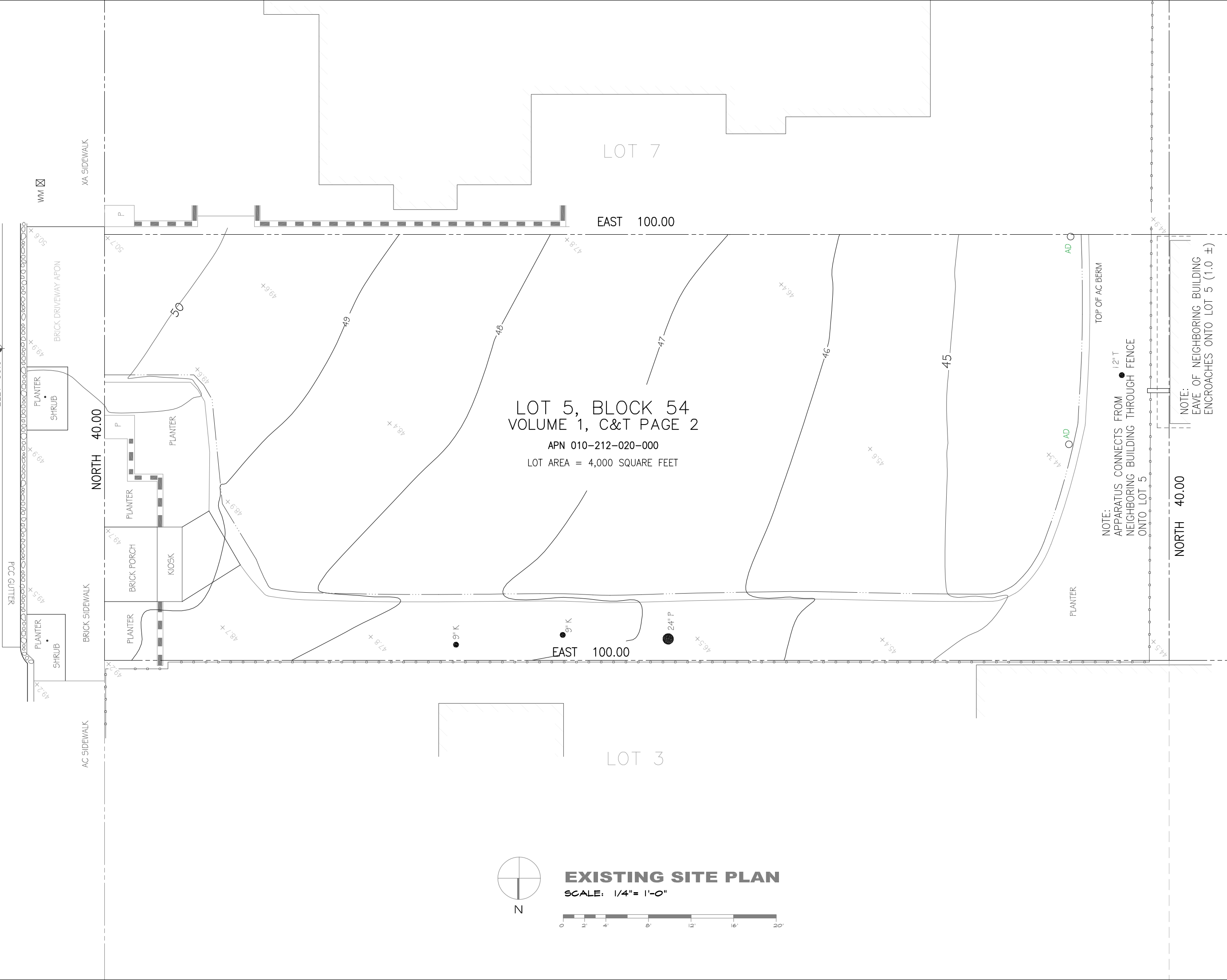


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# LINCOLN STREET ( A 60 FOOT WIDE CITY STREET )

PROJECT BENCHMARK  
MAG NAIL  
ELEV=50.0



## EXISTING SITE PLAN

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

ARCHITECT

EXISTING SITE PLAN

JOB NAME:  
**Lombardo Residence**  
Lot 5 Block 54 Lincoln Street  
Carmel, By-The-Sea, CA  
APN: 010-212-020-000

DATE: 5/9/18

SCALE: 1/4"=1'-0"

DRAWN: CAD

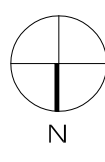
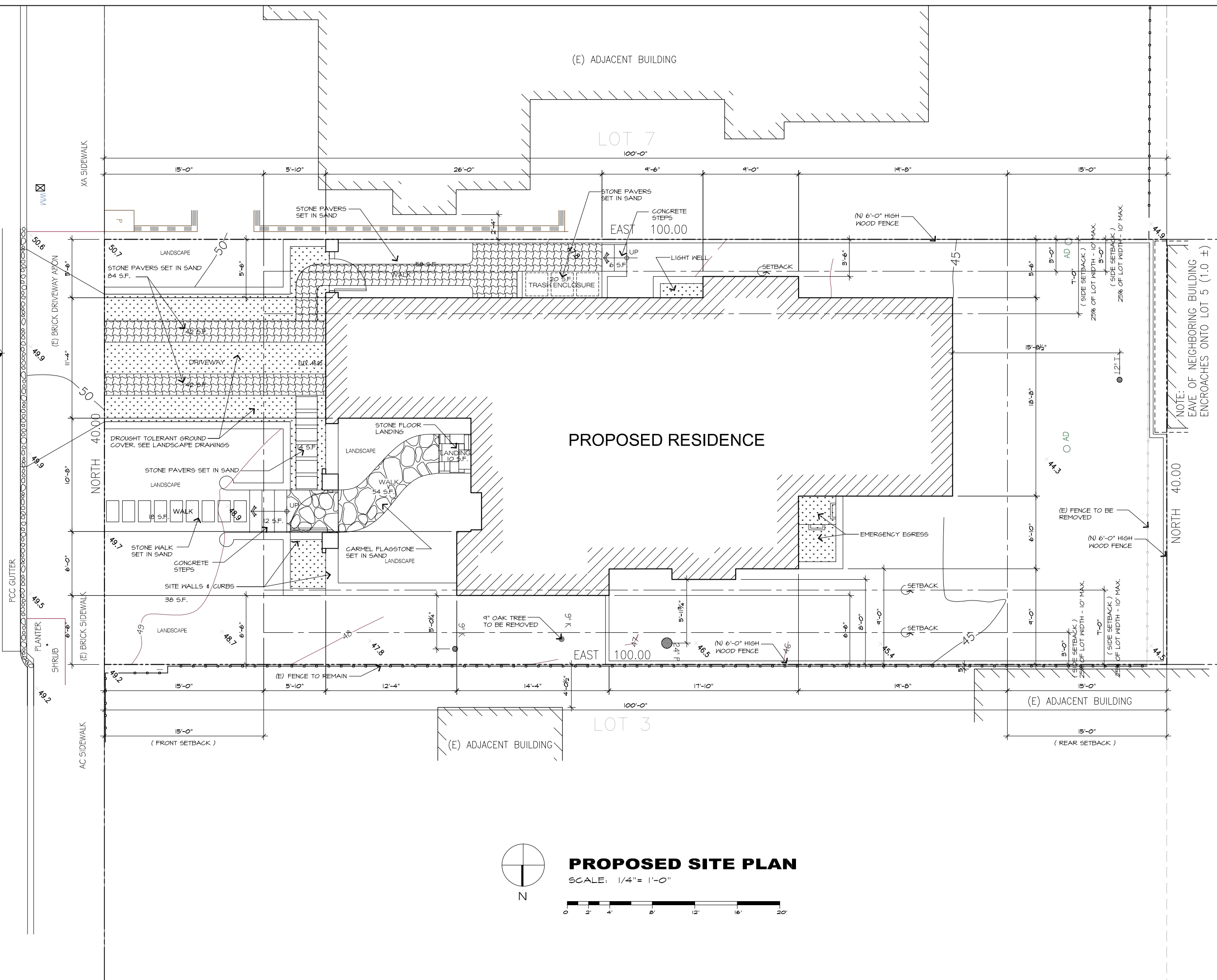
JOB NUMBER: 17.08

**A-1.0**  
SHEET OF

ERIC MILLER ARCHITECTS, INC.  
211 HOFFMAN AVENUE MONTEREY, CA 93940  
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARC  
 ( A 60 FOOT WIDE CITY STREET )  
 LINCOLN STREET

PROJECT BENCHMARK  
 MAG NAIL  
 ELEV=50.0



**PROPOSED SITE PLAN**

SCALE: 1/4" = 1'-0"



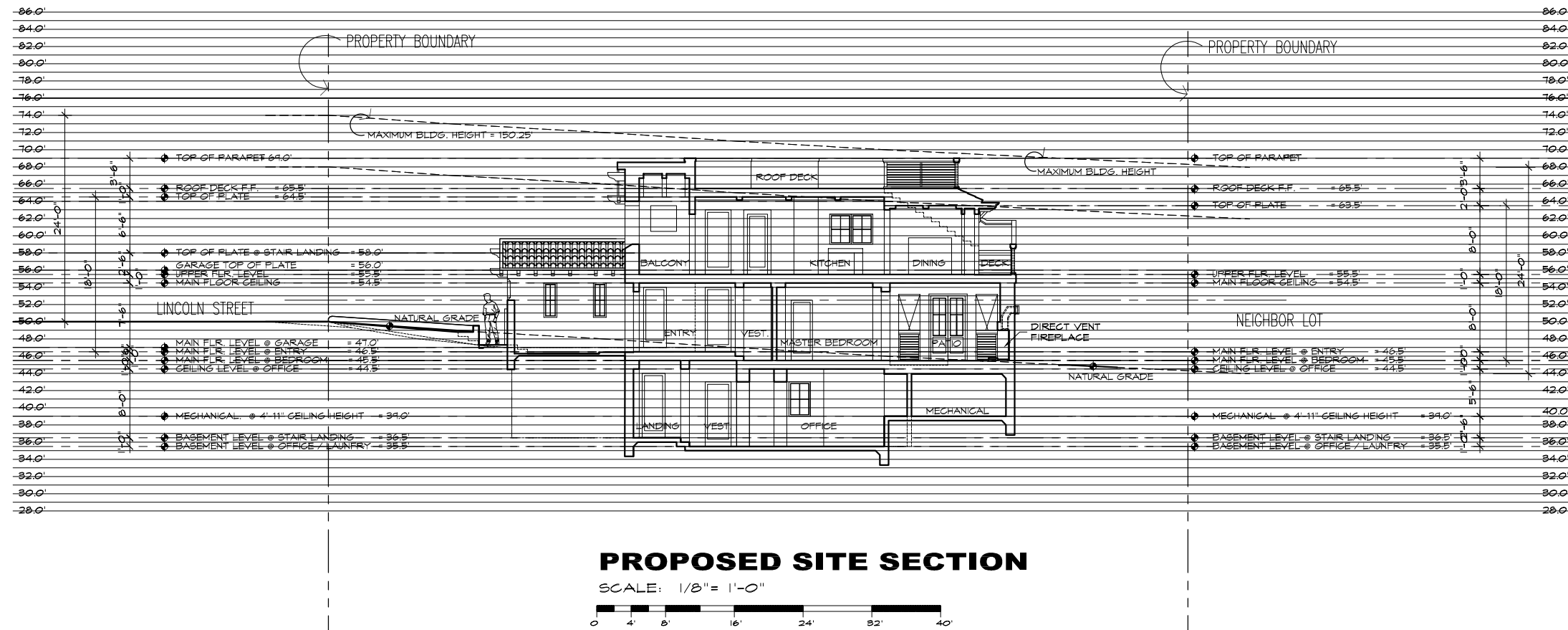
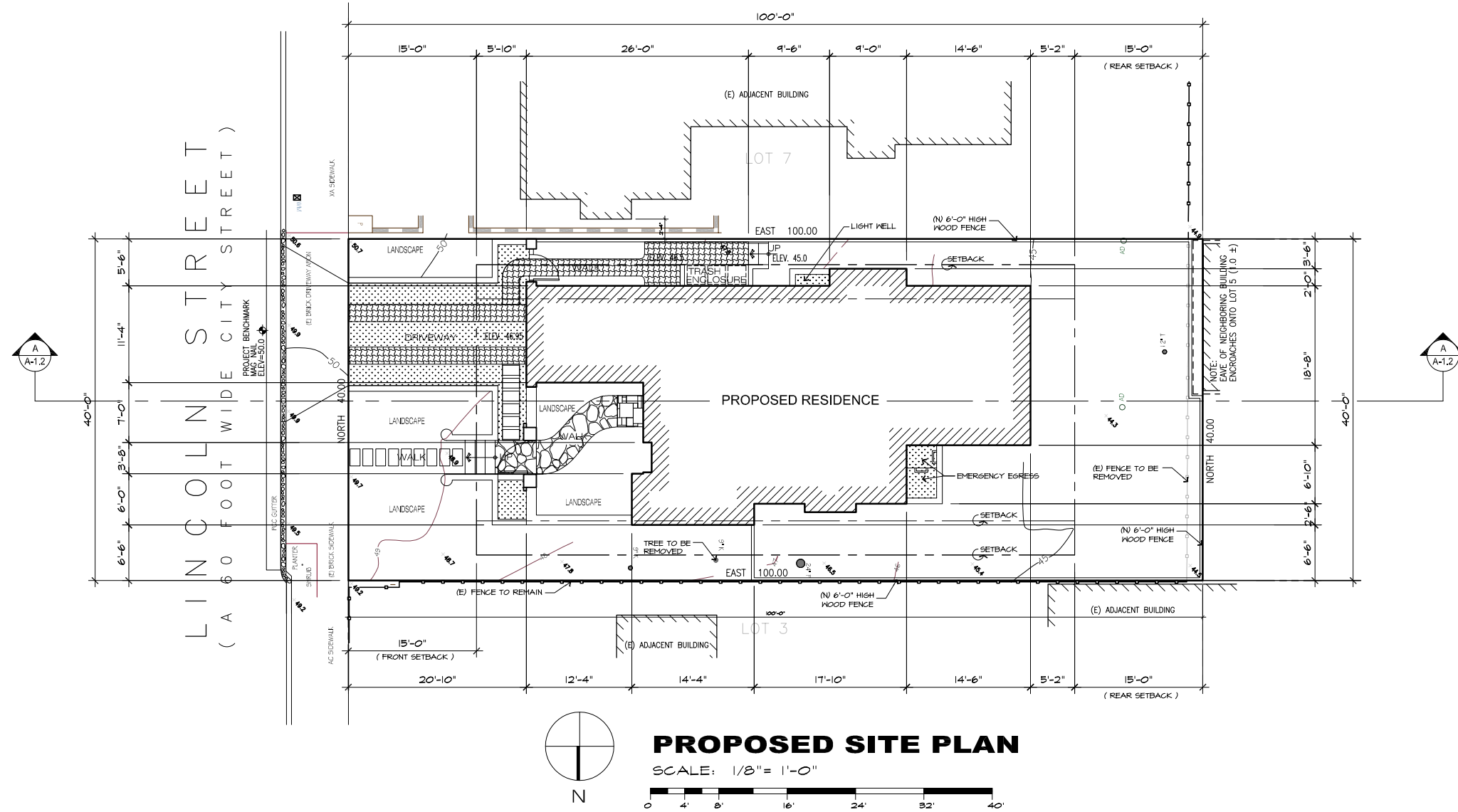
NOTE:  
 EAVE OF NEIGHBORING BUILDING  
 ENCROACHES ONTO LOT 5 (1.0 ±)

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CONSULTANT:	
PROPOSED SITE PLAN	
JOB NAME:	Lombardo Residence Lot 5 Block 54 Lincoln Street Carmel, By-The-Sea, CA APN: 010-212-020-000
DATE:	5/31/18
SCALE:	1/4"=1'-0"
DRAWN:	DM
JOB NUMBER:	17.08
<b>A-1.1</b>	SHEET OF

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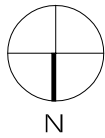
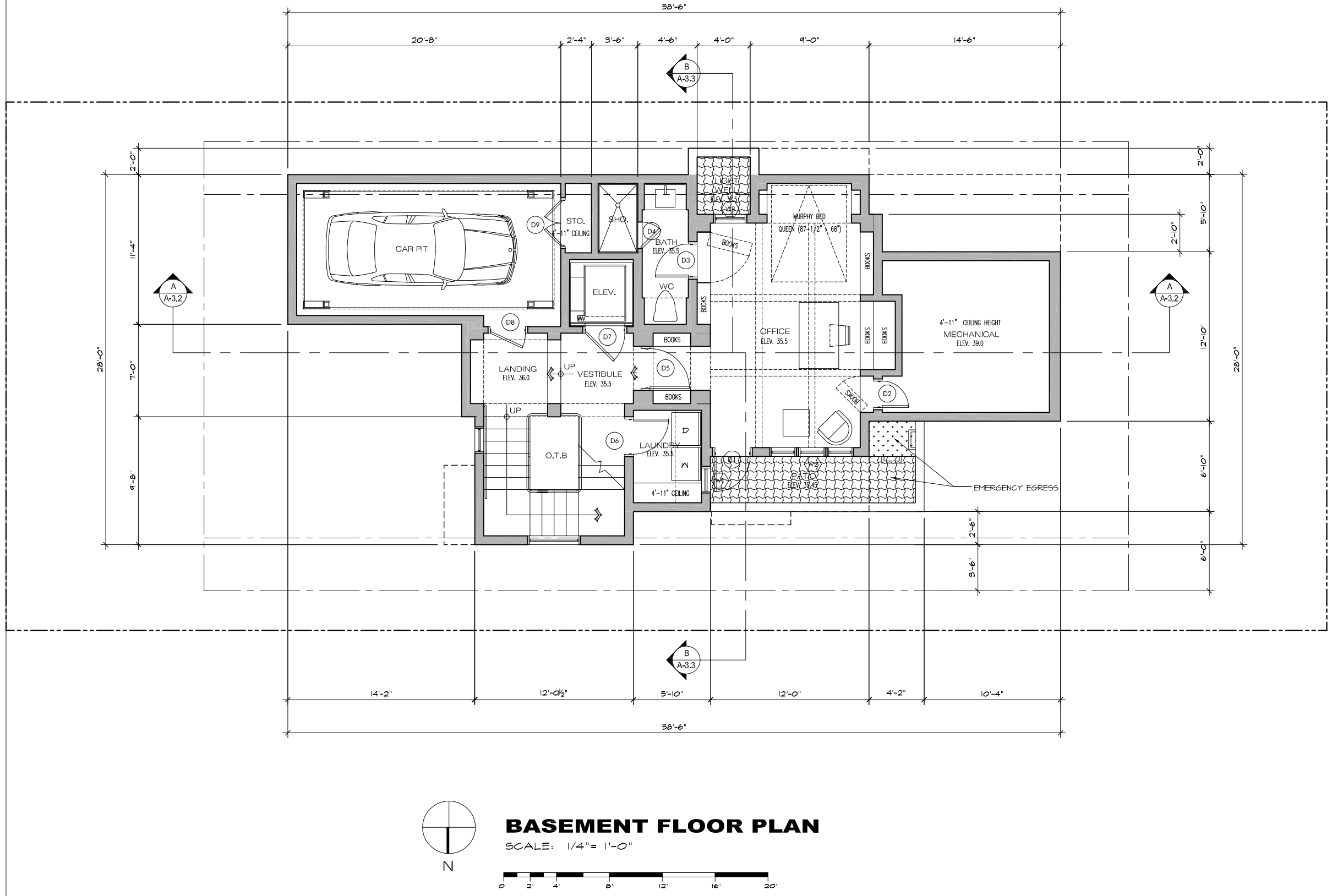
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**PROPOSED SITE SECTION**  
JOB NAME: Lombardo Residence  
Lot 5 Block 54 Lincoln Street  
Carmel, By-The-Sea, CA  
APN: 010-212-020-000

DATE: 5/31/18  
SCALE: 1/8" = 1'-0"  
DRAWN: DM  
JOB NUMBER: 17.08

**A-1.2**  
SHEET OF



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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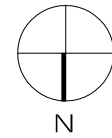
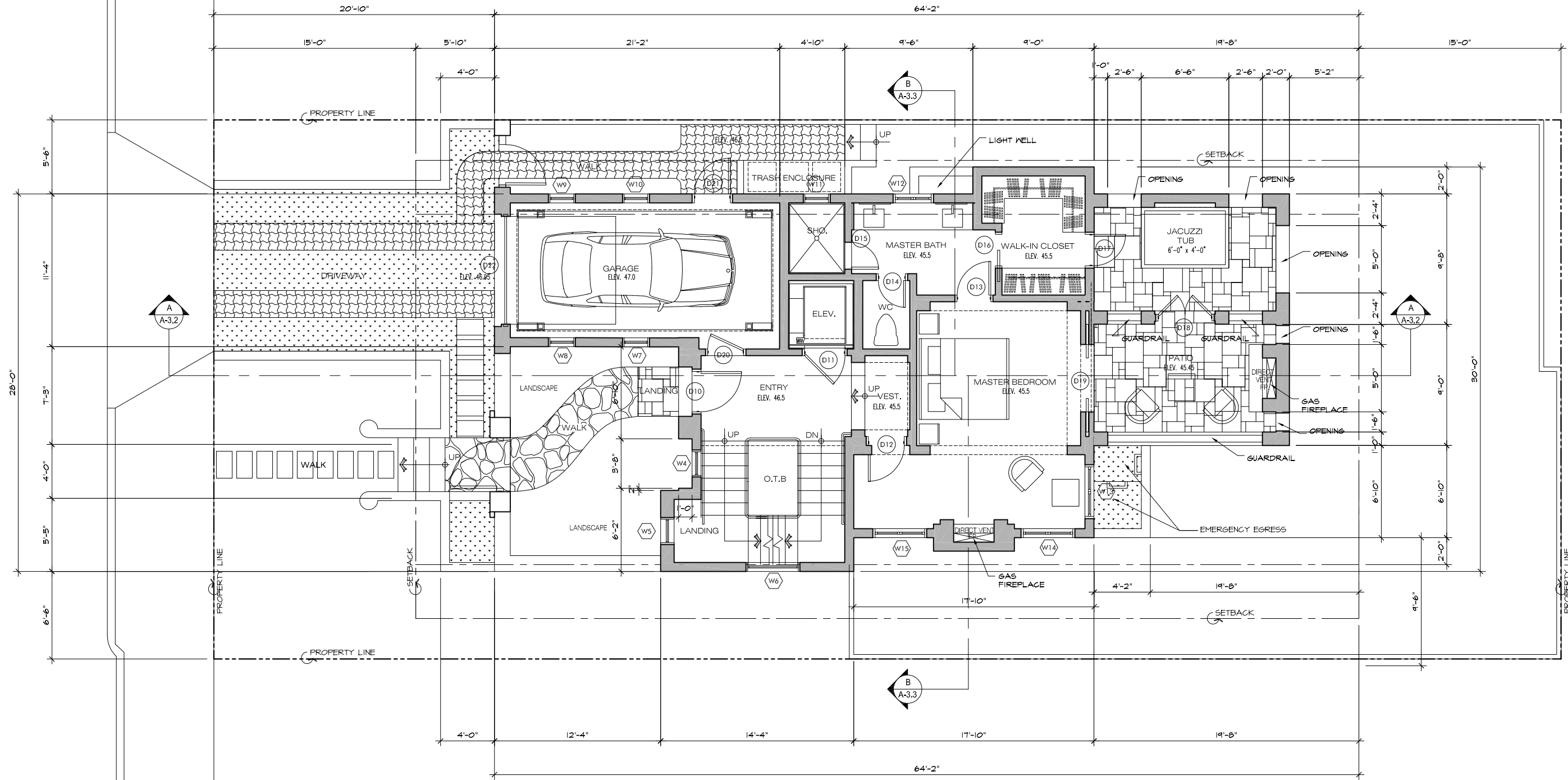
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**BASEMENT FLOOR PLAN**  
 JOB NAME: **Lombardo Residence**  
 Lot 5 Block 54 Lincoln Street  
 Carmel, By-The-Sea, CA  
 APN: 010-212-020-000

DATE: 5/31/18  
 SCALE: 1/4"=1'-0"  
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**A-2.0**  
 SHEET OF



**MAIN FLOOR PLAN**

SCALE: 1/4" = 1'-0"



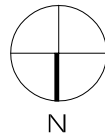
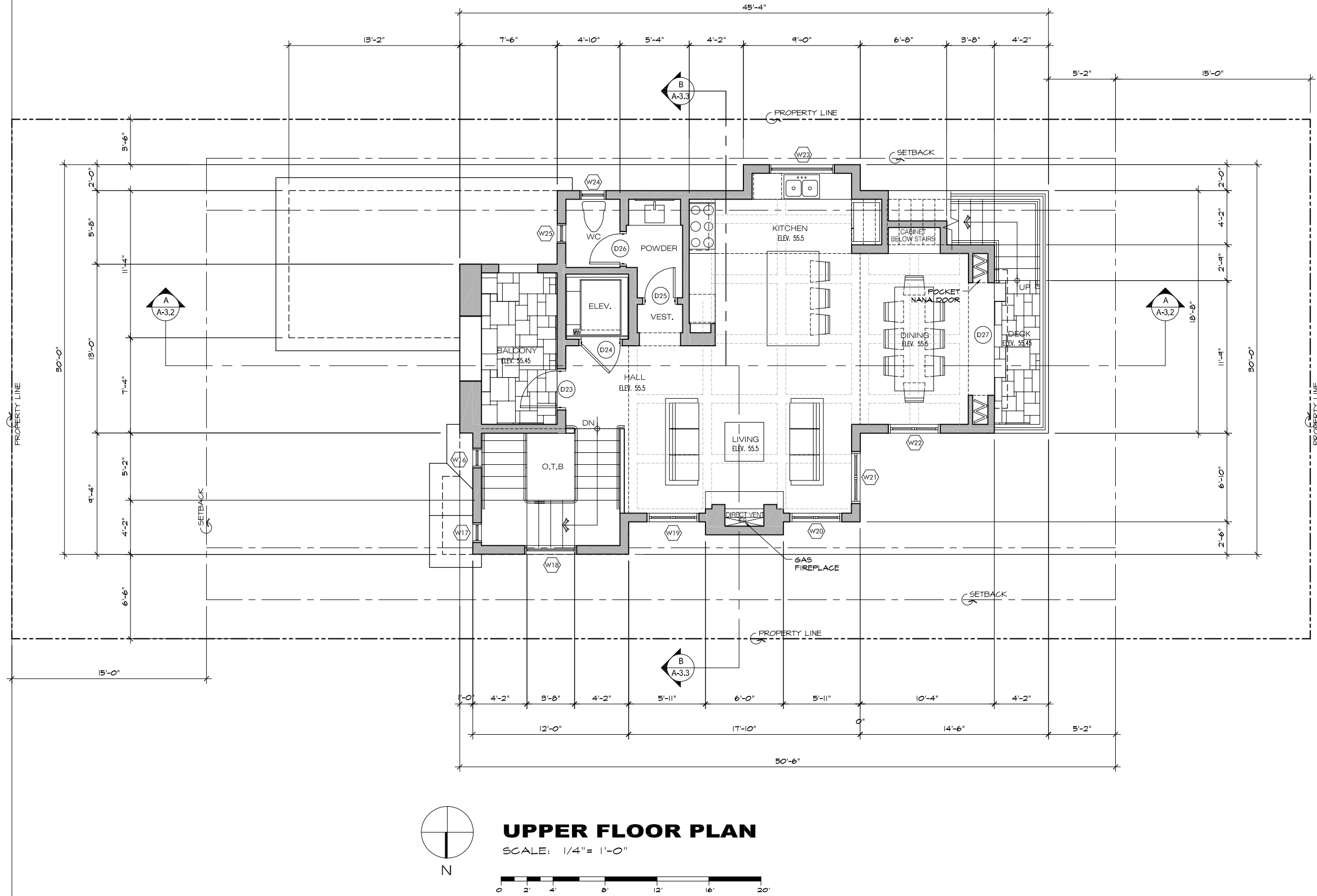
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**MAIN FLOOR PLAN**  
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 Lot 5 Block 54 Lincoln Street  
 Carmel, By-The-Sea, CA  
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DATE: 5/31/18  
 SCALE: 1/4"=1'-0"  
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 JOB NUMBER: 17.08



**UPPER FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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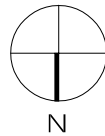
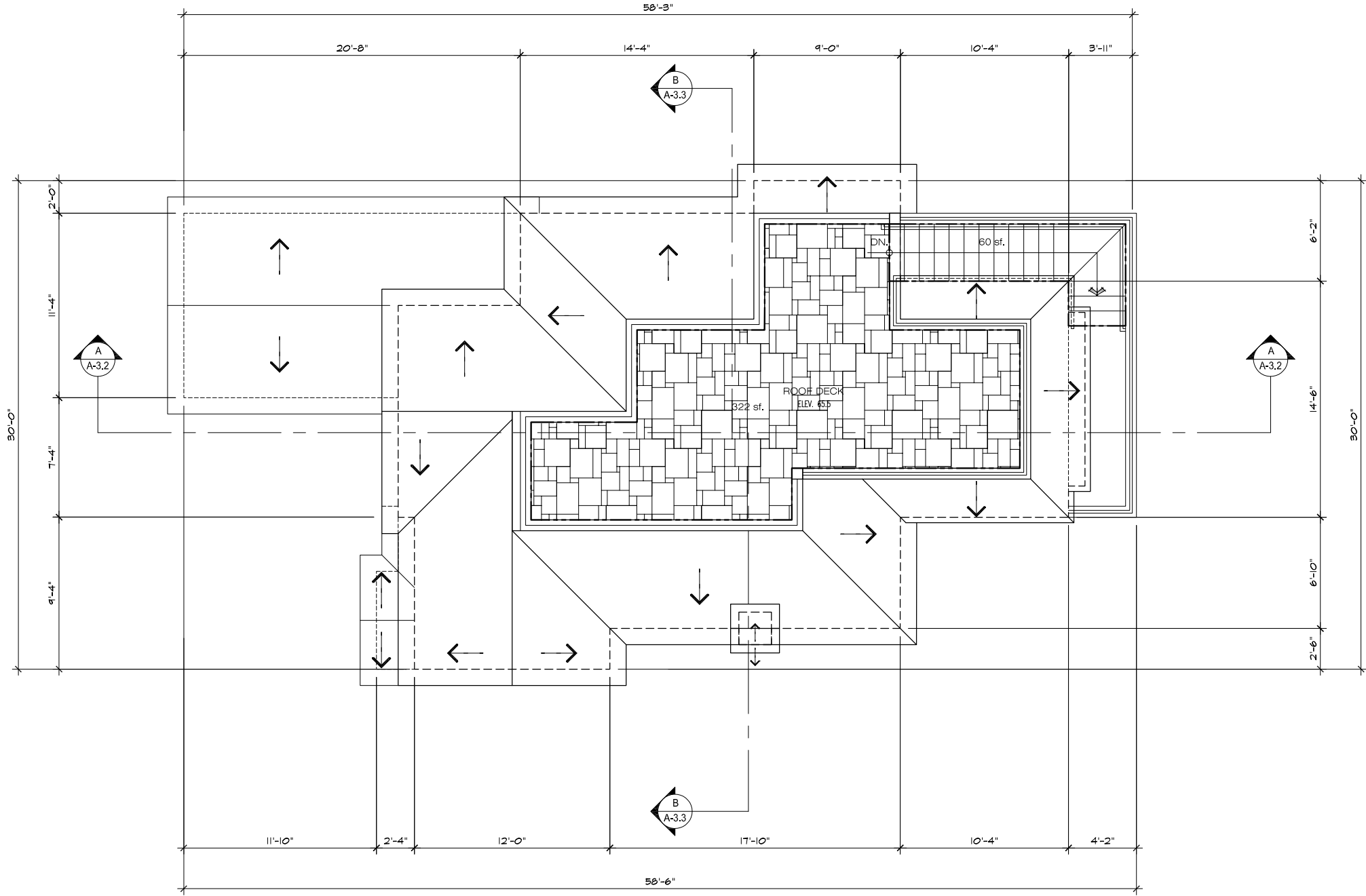
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UPPER FLOOR PLAN  
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**A-2.2**  
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**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



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CONSULTANT:

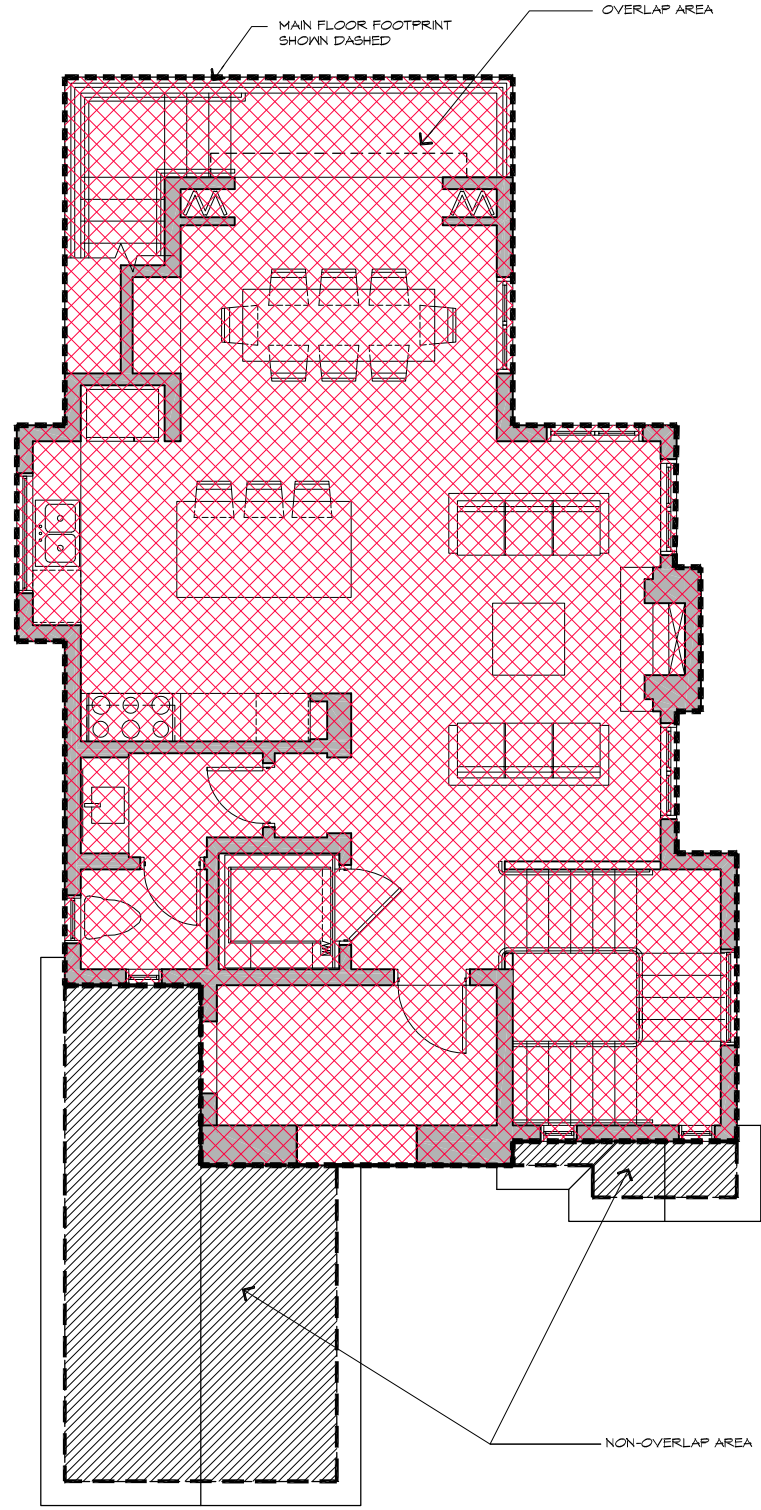
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**ROOF PLAN**  
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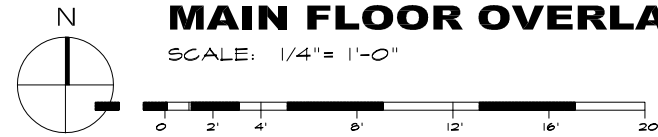
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**A-2.3**  
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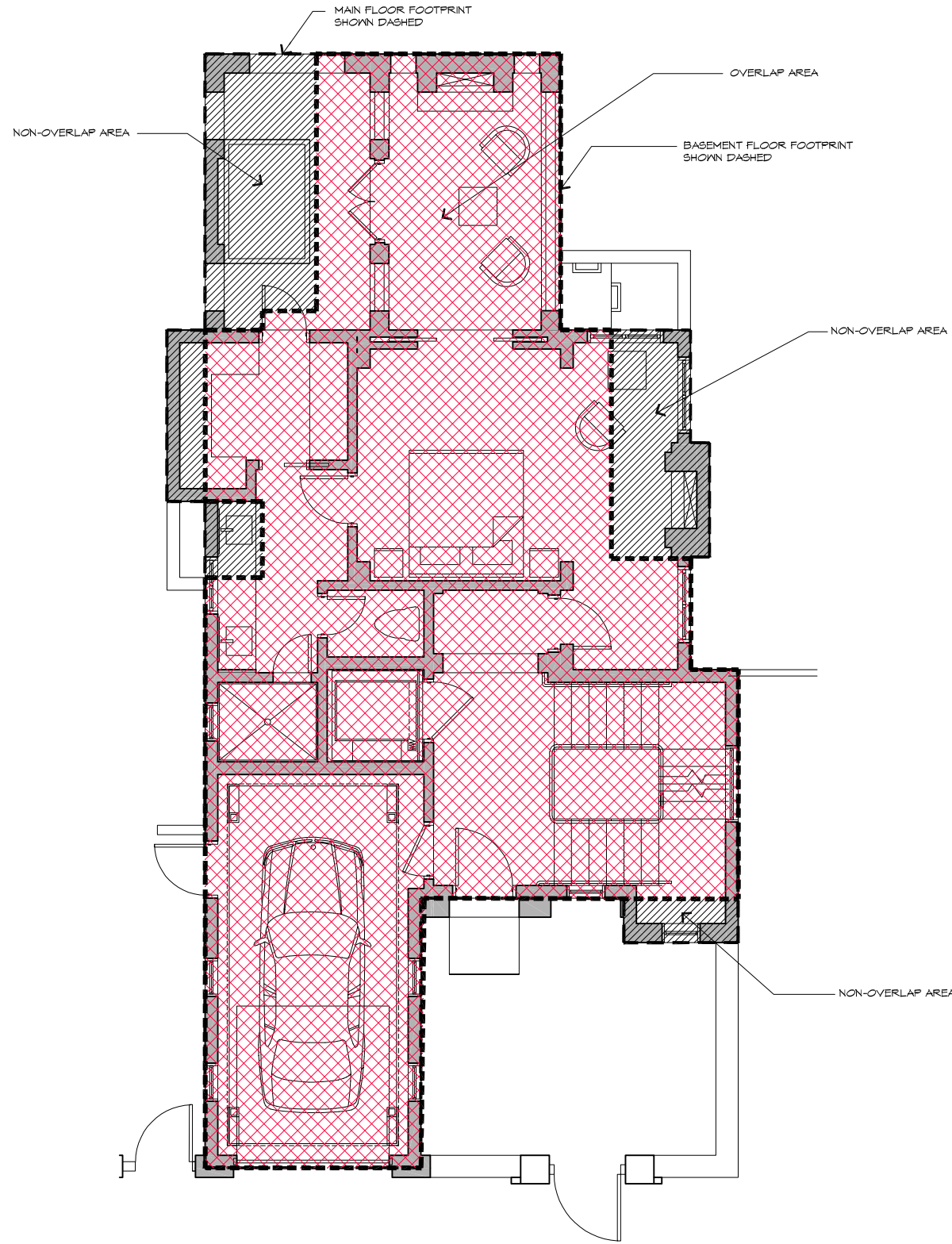




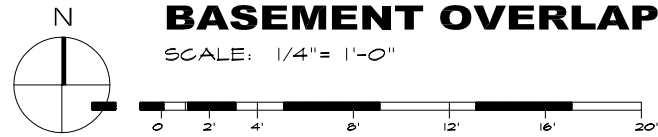
OVERLAPPING FLOOR TABLE	
OVERLAPPING FLOOR AREA	= 1,060 SF.
NON-OVERLAPPING FLOOR AREA	= 208 SF.



**UPPER FLOOR & MAIN FLOOR OVERLAP**  
SCALE: 1/4" = 1'-0"



OVERLAPPING FLOOR TABLE	
OVERLAPPING FLOOR AREA	= 1,080 SF.
NON-OVERLAPPING FLOOR AREA	= 184 SF.



**MAIN FLOOR & BASEMENT FLOOR OVERLAP**  
SCALE: 1/4" = 1'-0"

LEGEND	
	OVERLAPPING FLOOR AREA
	NON-OVERLAPPING FLOOR AREA

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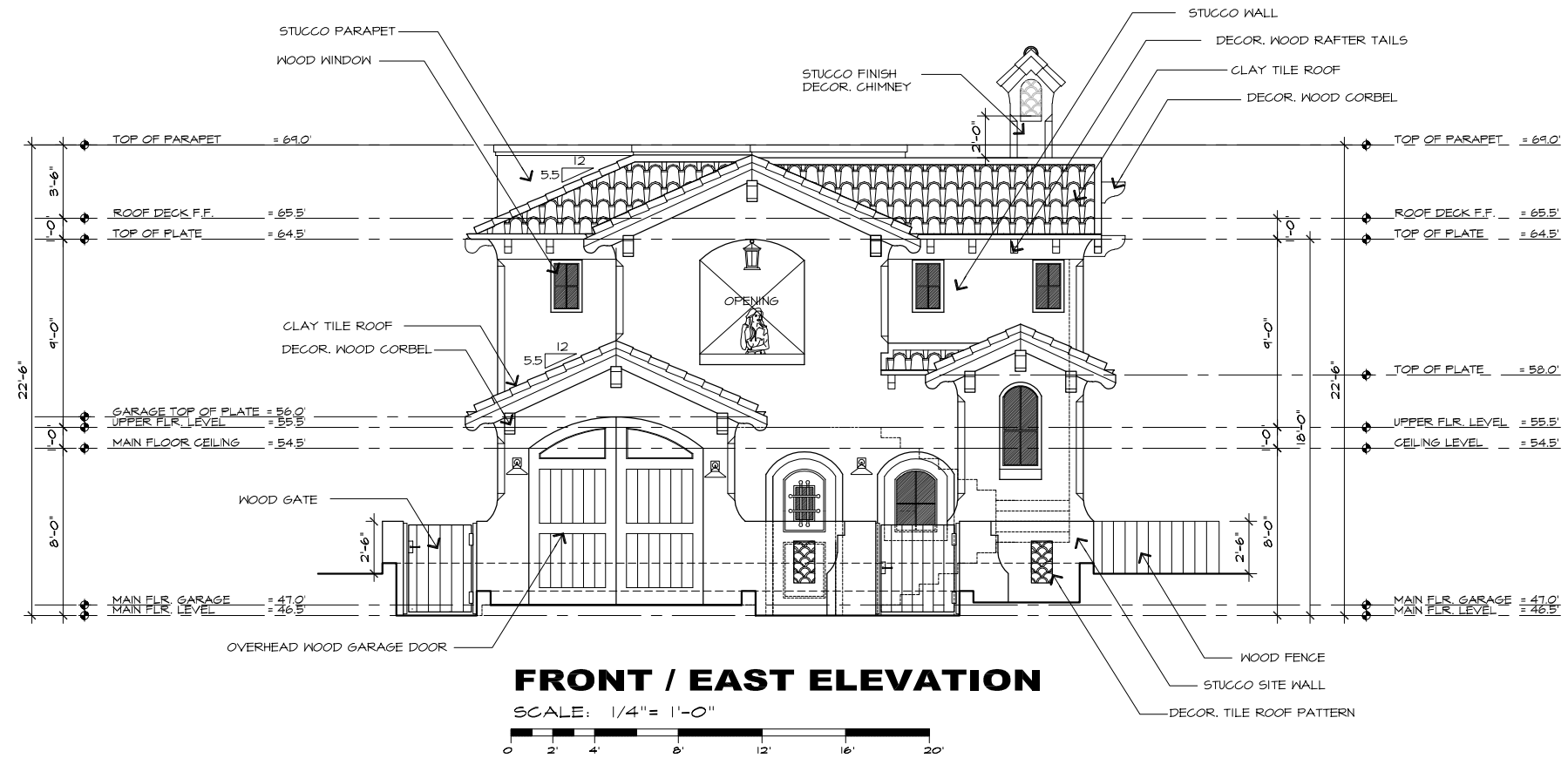
FLOOR AREA OVERLAP & DO NOT OVERLAP

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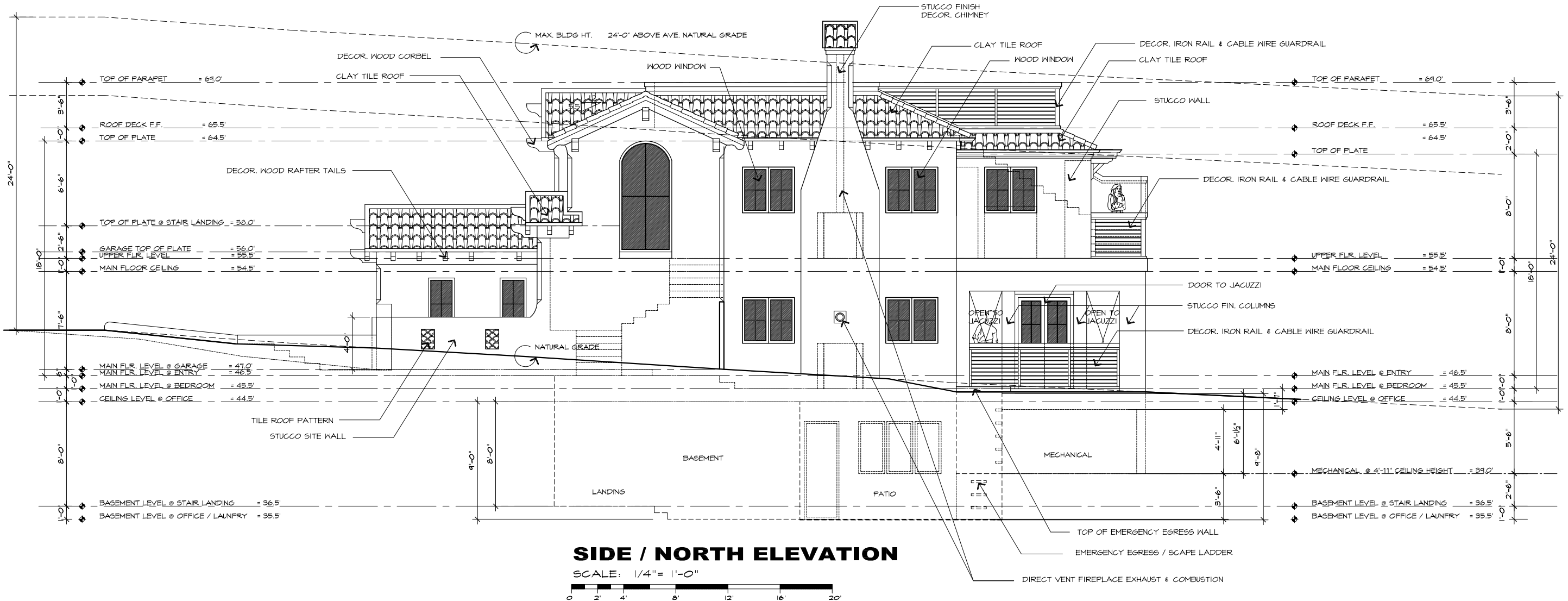
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**FRONT / EAST ELEVATION**

SCALE: 1/4" = 1'-0"  
0 2' 4' 8' 12' 16' 20'



**SIDE / NORTH ELEVATION**

SCALE: 1/4" = 1'-0"  
0 2' 4' 8' 12' 16' 20'

REVISION	No.

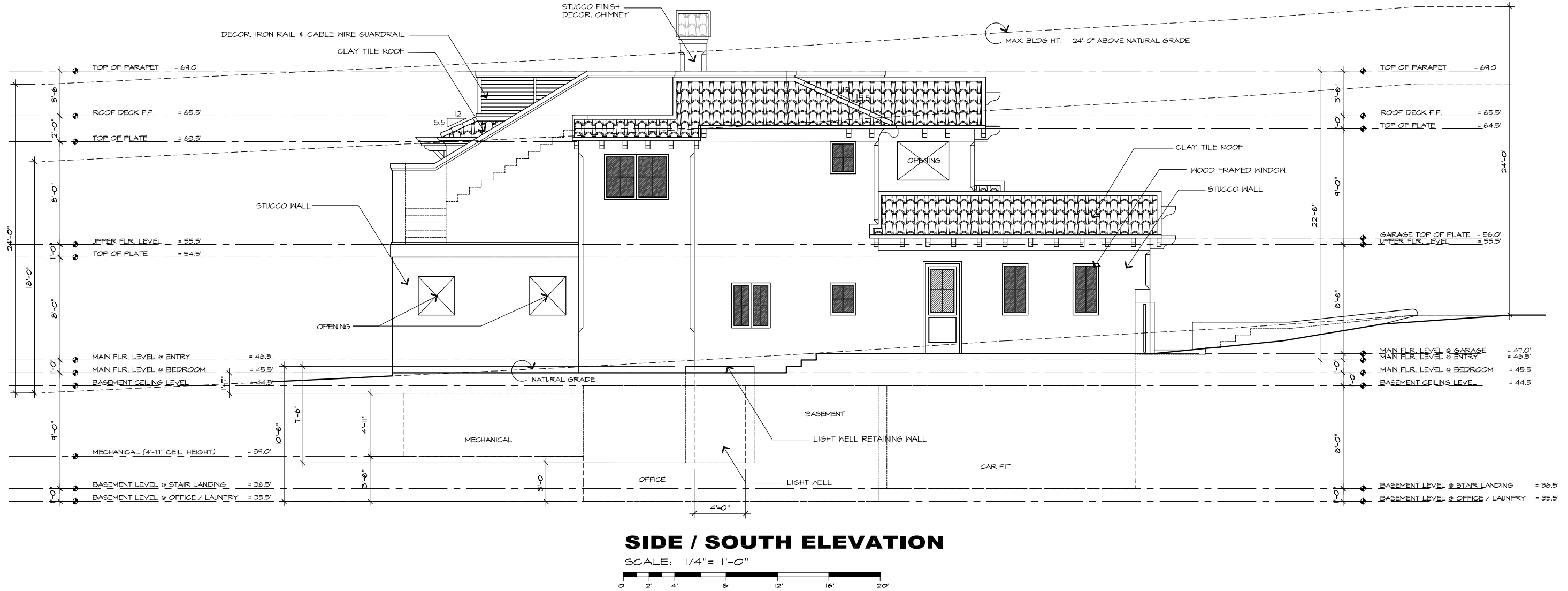
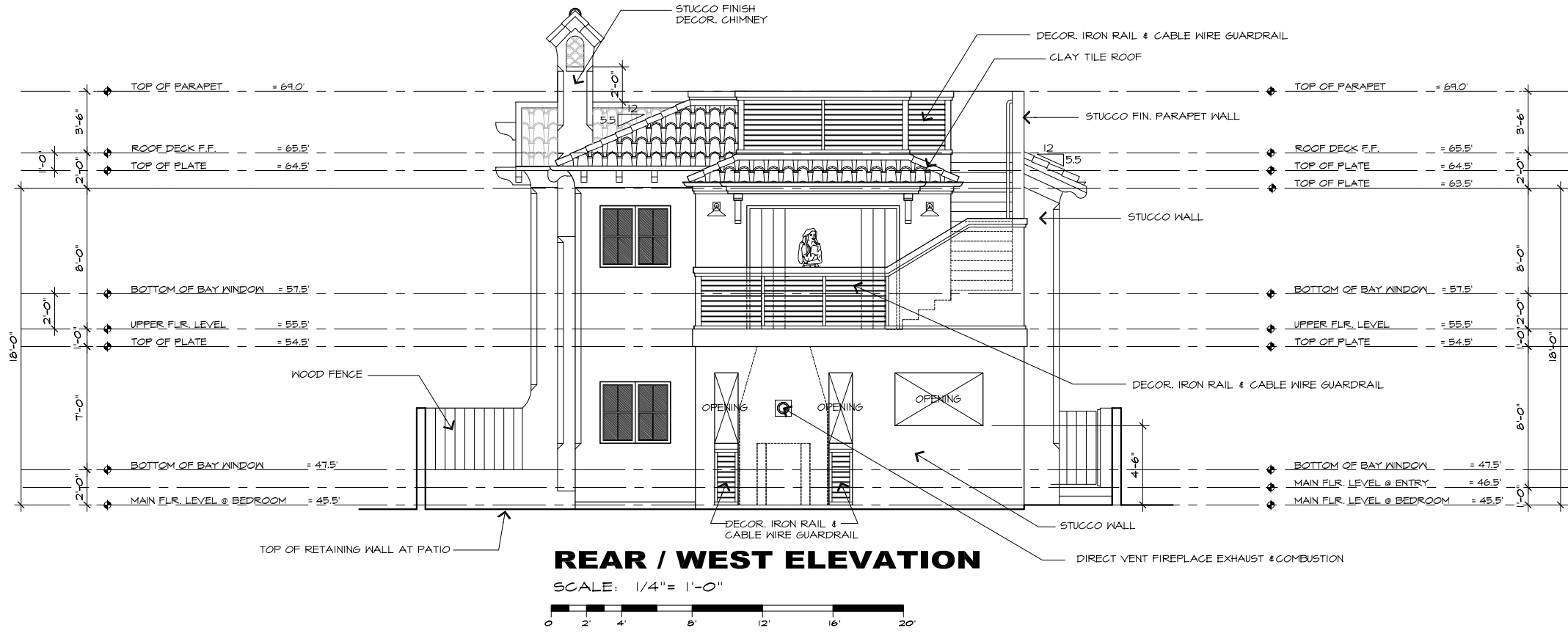
CONSULTANT:

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

EXTERIOR ELEVATIONS

JOB NAME:  
**Lombardo Residence**  
 Lot 5 Block 54 Lincoln Street  
 Carmel, By-The-Sea, CA  
 APN: 010-212-020-000

DATE: 5/31/18  
 SCALE: 1/4"=1'-0"  
 DRAWN: DM  
 JOB NUMBER: 17.08



REVISION	No.

CONSULTANT:

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ARCHITECT

EXTERIOR ELEVATIONS

JOB NAME:  
**Lombardo Residence**  
Lot 5 Block 54 Lincoln Street  
Carmel, By-The-Sea, CA  
APN: 010-212-020-000

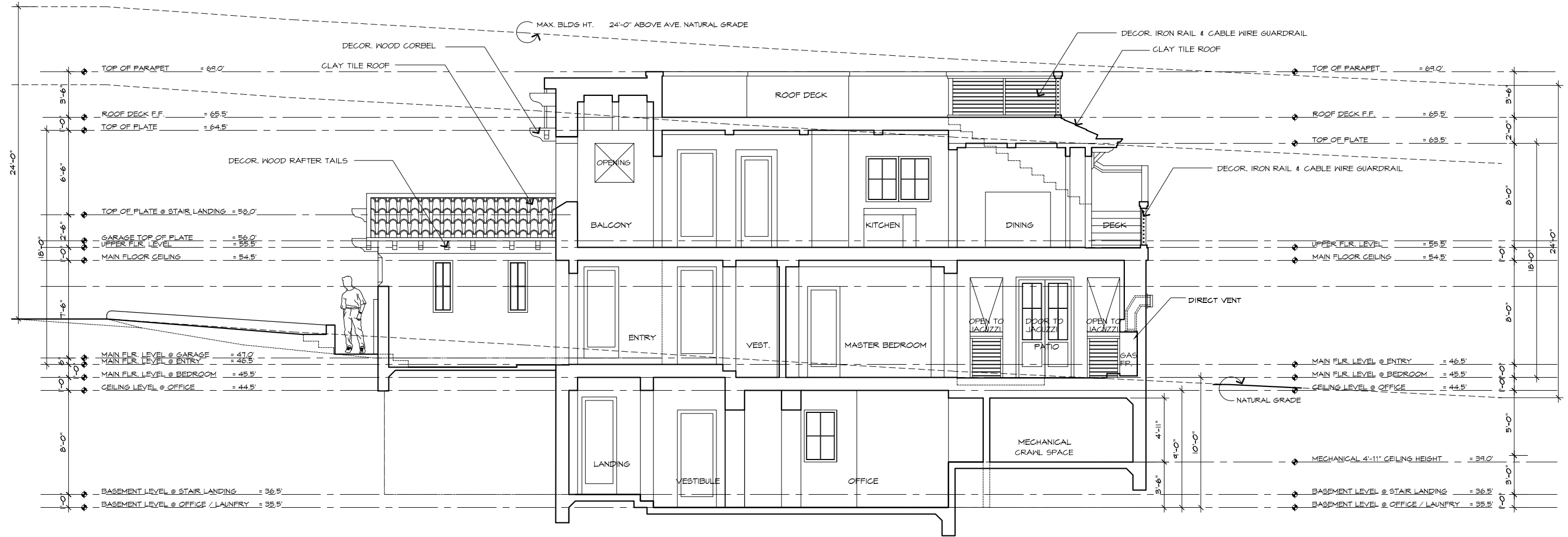
DATE: 5/31/18

SCALE: 1/4" = 1'-0"

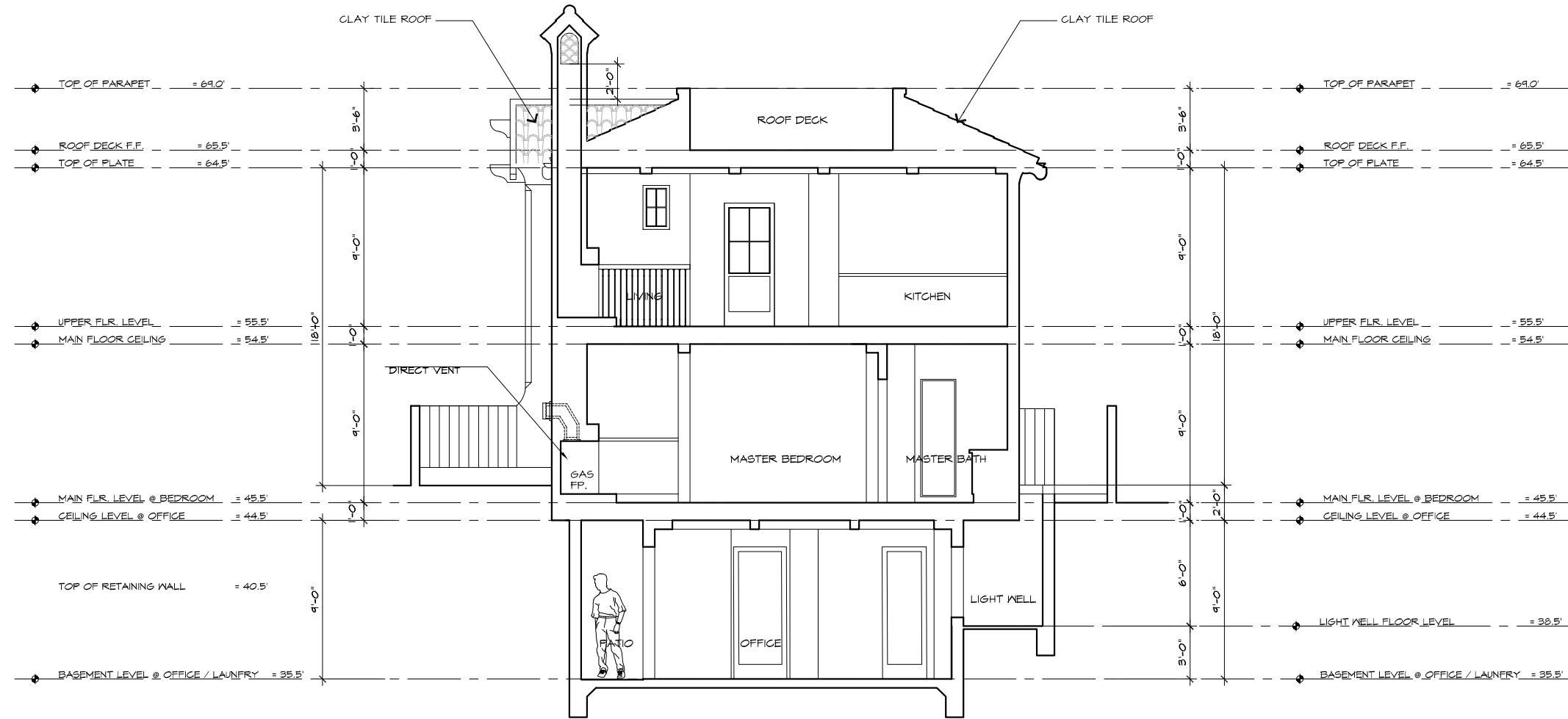
DRAWN: DM

JOB NUMBER: 17.08

**A-3.1**  
SHEET OF



REVISION	No.
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ARCHITECT	
LONGITUDINAL SECTION 'A' - 'A' JOB NAME: <b>Lombardo Residence</b> Lot 5 Block 54 Lincoln Street Carmel, By-The-Sea, CA APN: 010-212-020-000	
DATE:	5/31/18
SCALE:	1/4"=1'-0"
DRAWN:	DM
JOB NUMBER:	17.08
<b>A-3.2</b> SHEET OF	



**CROSS SECTION 'B' - 'B'**

SCALE: 1/4" = 1'-0"



REVISION	No.

CONSULTANT:

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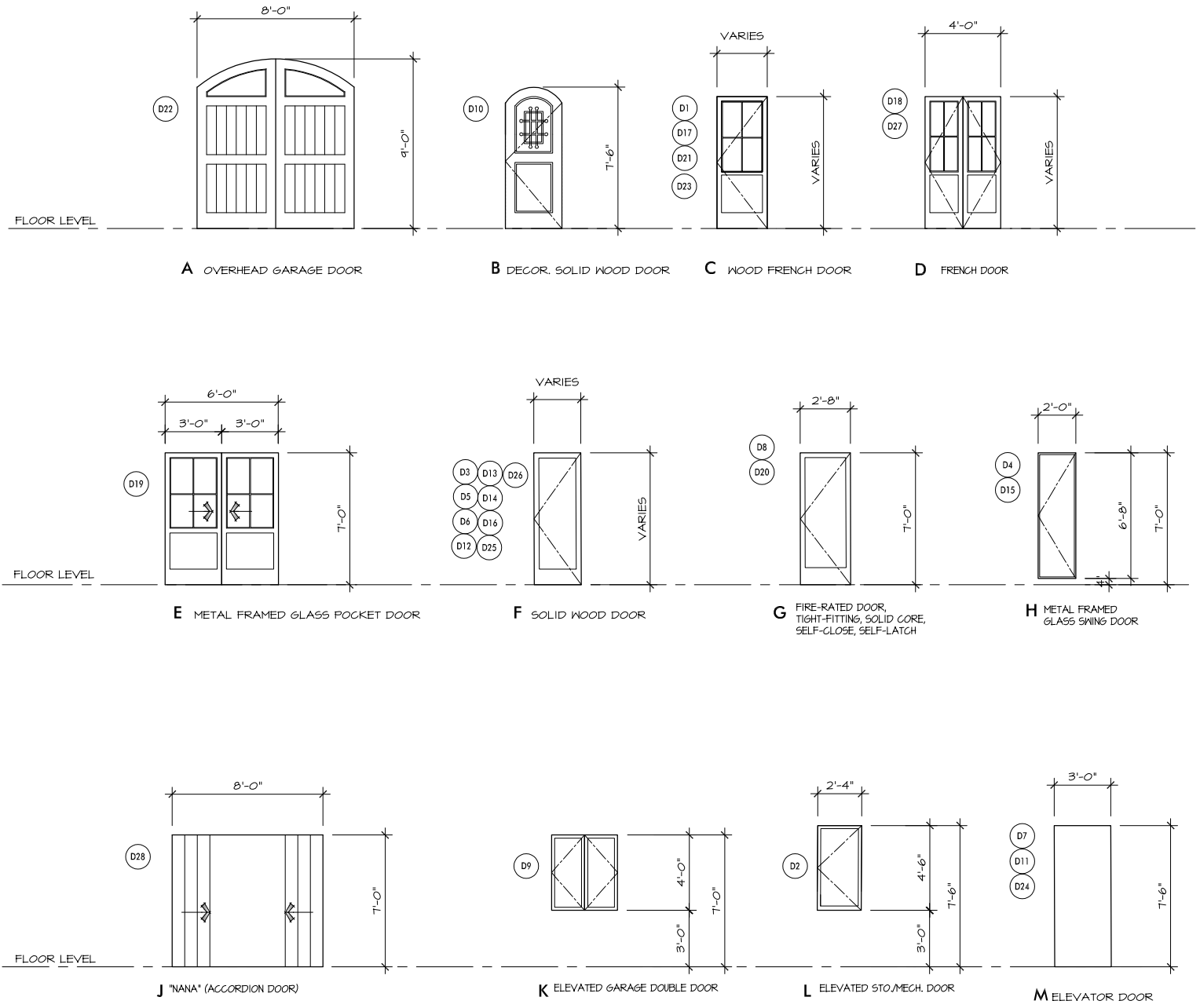
CROSS SECTION 'B' - 'B'

JOB NAME:  
**Lombardo Residence**  
 Lot 5 Block 54 Lincoln Street  
 Carmel, By-The-Sea, CA  
 APN: 010-212-020-000

DATE: 5/31/18  
 SCALE: 1/4"=1'-0"  
 DRAWN: DM  
 JOB NUMBER: 17.08

DOOR SCHEDULE										
DOOR NO.	TYPE	SIZE W x H	LOCATION	THKNESS.	DOOR MATL.	FRAME MATL.	HEAD DETAIL	JAMB DETAIL	THRSHD DETAIL	REMARKS
			ROOM NAME							
D1	C	2'-8" x 7'-6"	OFFICE	1-3/4"	WOOD	WOOD	-	-	-	WOOD FRENCH DOOR
D2	L	2'-4" x 4'-6"	STORAGE and MECH'L.	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D3	F	2'-6" x 7'-6"	BATH	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D4	H	2'-0" x 6'-8"	SHOWER	1-3/4"	WOOD	WOOD	-	-	-	METAL FRAMED FROSTED GLASS SHOWER DOOR
D5	F	3'-0" x 7'-6"	VESTIBULE	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D6	F	2'-6" x 7'-6"	VEST / LAUNDRY	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D7	M	3'-0" x 7'-6"	ELEVATOR				-	-	-	(Per Manufacturer's)
D8	G	2'-8" x 7'-0"	CARPIT	1-3/4"	WOOD	WOOD	-	-	-	FIRE-RATED DOOR, TIGHT-FITTING, SOLID CORE, SELF-CLOSE, SELF-LATCH
D9	K	PR 1'-9" x 4'-0"	STORAGE @ CARPIT	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D10	B	3'-0" x 7'-6"	ENTRY	1-3/4"	WOOD	WOOD	-	-	-	DECOR. SOLID WOOD DOOR (ARCH TOP)
D11	M	3'-0" x 7'-6"	ELEVATOR				-	-	-	(Per Manufacturer's)
D12	F	2'-8" x 7'-0"	MASTER BEDROOM	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D13	F	2'-6" x 7'-0"	MASTER BATH	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D14	F	2'-0" x 7'-0"	TOILET	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D15	H	2'-0" x 7'-0"	SHOWER		GLASS	METAL	-	-	-	METAL FRAMED FROSTED GLASS SHOWER DOOR
D16	F	2'-4" x 7'-0"	WALK-IN-CLOSET	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D17	C	2'-4" x 7'-0"	WALK-IN-CLOSET	1-3/4"	GLASS	WOOD	-	-	-	WOOD FRAMED TEMPERED GLASS DOOR
D18	D	PR 2'-0" x 7'-0"	JACUZZI TUB		GLASS	METAL	-	-	-	METAL FRAMED TEMPERED GLASS FRENCH DOOR
D19	E	PR 3'-0" x 7'-0"	MASTER BEDRM. to PATIO		GLASS	WOOD	-	-	-	METAL FRAMED TEMPERED GLASS POCKET DOOR
D20	G	2'-8" x 7'-0"	ENTRY to GARAGE	1-3/4"	WOOD	WOOD	-	-	-	FIRE-RATED DOOR, TIGHT-FITTING, SOLID CORE, SELF-CLOSE, SELF-LATCH
D21	C	2'-8" x 7'-0"	GARAGE	1-3/4"	GLASS	WOOD	-	-	-	SOLID WOOD W/ TEMPERED GLASS DOOR
D22	A	8'-0" x 9'-0"	GARAGE	1-3/4"	WOOD	WOOD	-	-	-	OVERHEAD GARAGE WOOD DOOR (ARCH TOP)
D23	C	2'-10" x 7'-0"	HALL TO BALCONY	1-3/4"	GLASS	WOOD	-	-	-	SOLID WOOD TEMPERED GLASS DOOR
D24	M	3'-0" x 7'-6"	ELEVATOR				-	-	-	(Per Manufacturer's)
D25	F	2'-4" x 7'-0"	PONDER	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD DOOR
D26	F	2'-4" x 7'-0"	TOILET	1-3/4"	WOOD	WOOD	-	-	-	SOLID WOOD SWING DOOR
D27	J	8'-0" x 7'-0"	DINING		WOOD	WOOD	-	-	-	NANA DOOR

**DOOR TYPES**



**DOOR NOTES:**

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.:

- SHALL BE 2'-0" X 6'-8" MINIMUM.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- PROVIDE (2) PAIR- 4-1/2" X 4-1/2" BUTTS ON ALL DOORS.
- ALL HARDWARE TO HAVE USIOB FINISH (OIL RUBBED BRONZE).

—THE ENTRY DOOR HARDWARE TO BE USE SHALL BE REMINGTON STYLE (DARK BRONZE) BY EMTEK PRODUCTS INC.

—ALL FRENCH DOORS AND EXTERIOR DOORS HARDWARE TO BE USE SHALL BE CODY LEVER STYLE #5 PLATE (DARK BRONZE) BY EMTEK PRODUCTS INC.

—ALL INTERIOR PASSAGE DOORS TO BE USE SHALL BE BRONZE E66 KNOB (DARK BRONZE) BY EMTEK PRODUCTS INC.

- ALL FIRE RATED DOORS SHALL HAVE PEMKO 588D (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.

- ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.
- SHALL BE SOLID CORE.
- ALL DOOR GLAZING SHALL BE DOUBLE PANE AND TEMPERED.
- ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC, SECTION 2407.
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE DOUBLE PANE INSULATING GLASS WITH A MINIMUM OF ONE TEMPERED PANE, AND HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 251.
- REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
- REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.
- EXTERIOR DOORS SHALL BE APPROVED NON COMBUSTIBLE CONSTRUCTION OR IGNITION - RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8" THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1/2" THICK, SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES.
- ALL GLAZING IN DOORS SHALL BE DOUBLE PANE AND TEMPERED GLASS.

REVISION	No.

CONSULTANT:

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 211 HOFFMAN AVENUE MONTEREY, CA 93940  
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ARCHITECT

**DOOR SCHEDULE and NOTES**

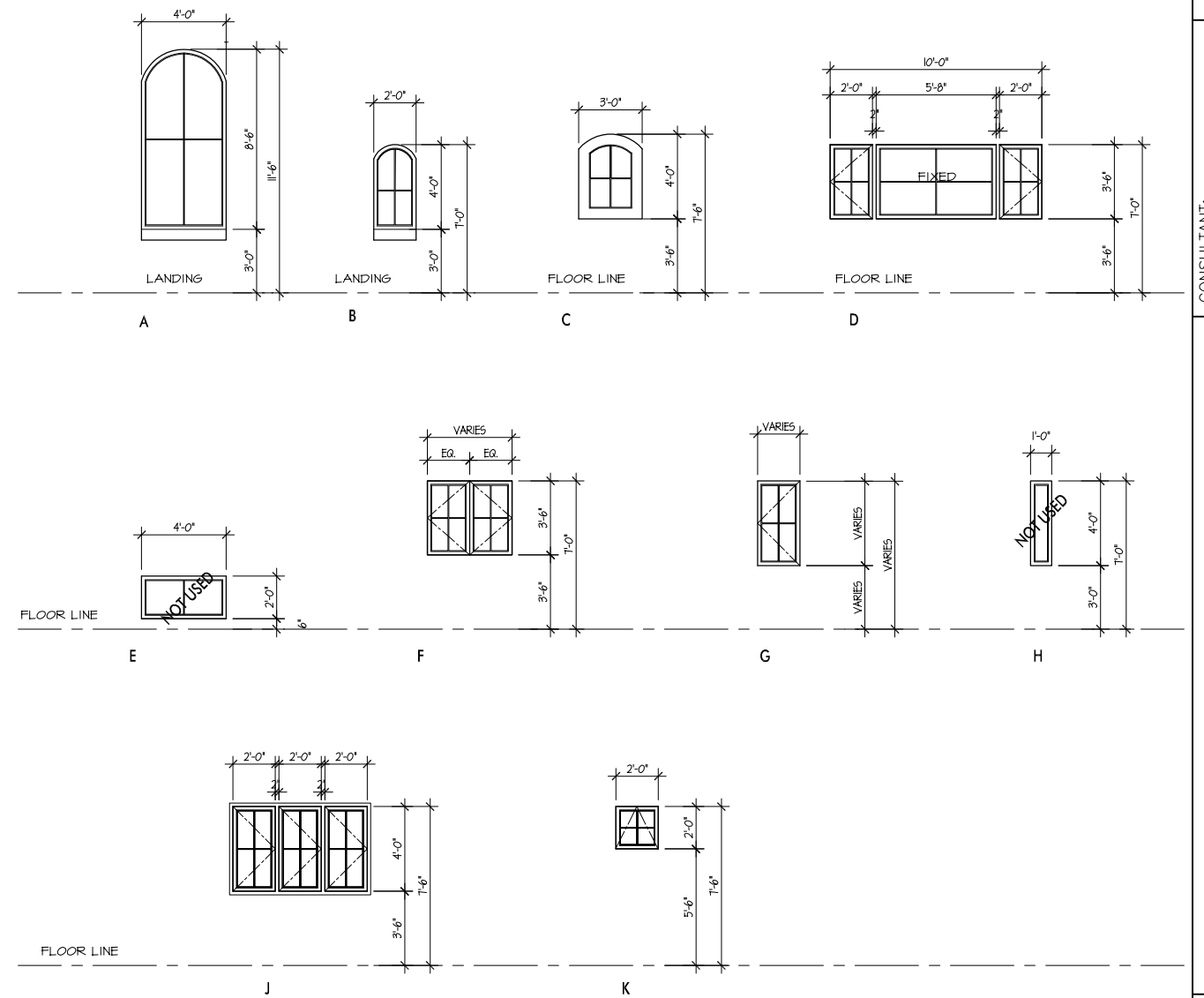
JOB NAME: **Lombardo Residence**  
 Lot 5 Block 54 Lincoln Street  
 Carmel, By-The-Sea, CA  
 APN: 010-212-020-000

DATE: 5/31/18  
 SCALE: AS NOTED  
 DRAWN: CCR  
 JOB NUMBER: 17.08

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WINDOW SCHEDULE														
WDW. NO.	TYPE	SIZE		LOCATION		GLAZING	FRAME MAT.	STYLE	WINDOW DETAILS			HEAD HEIGHT ABOVE F.F.	SILL HEIGHT ABOVE F.F.	REMARKS
		WIDTH	HEIGHT	ROOM NUMBER	ROOM NAME				HEAD	JAMB	SILL			
<b>Basement</b>														
W1	K	2'-0"	2'-0"		LAUNDRY	DOUBLE	WOOD	TOP HUNG	-	-	-	7'-6"	5'-0"	TEMPERED GLASS
W2	J	3'0" PR 2'-0"	4'-0"		OFFICE	DOUBLE	WOOD	TOP HUNG	-	-	-	7'-6"	3'-6"	TEMPERED GLASS
W3	G	2'-6"	4'-0"		OFFICE	DOUBLE	WOOD	CASEMENT	-	-	-	7'-6"	3'-6"	TEMPERED GLASS
<b>Main Floor</b>														
W4	C	3'-0"	4'-0"		STAIRWELL	DOUBLE	WOOD	FIXED	-	-	-	7'-6"	3'-6"	TEMPERED GLASS
W5	B	2'-0"	4'-0"		STAIRWELL LANDING	DOUBLE	WOOD	FIXED	-	-	-	7'-0"	3'-0"	TEMPERED GLASS
W6					NOT USED									
W7	G	2'-0"	4'-0"		GARAGE	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-0"	
W8	G	2'-0"	4'-0"		GARAGE	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-0"	
W9	G	2'-0"	4'-0"		GARAGE	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-0"	
W10	G	2'-0"	4'-0"		GARAGE	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-0"	
W11	G	2'-0"	2'-6"		MASTER BATHROOM	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	4'-6"	TEMPERED GLASS
W12	F	PR 1'-6"	3'-6"		MASTER BEDROOM	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W13	F	PR 2'-0"	3'-6"		MASTER BEDROOM	DOUBLE	WOOD	FIXED	-	-	-	7'-0"	3'-6"	
W14	F	PR 2'-0"	3'-6"		MASTER BEDROOM	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W15	F	PR 2'-0"	3'-6"		MASTER BEDROOM	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
<b>Upper Floor</b>														
W16	G	1'-6"	2'-6"		STAIRWELL	DOUBLE	WOOD	FIXED	-	-	-	8'-0"	5'-6"	TEMPERED GLASS
W17	G	1'-6"	2'-6"		STAIRWELL	DOUBLE	WOOD	FIXED	-	-	-	8'-0"	5'-6"	TEMPERED GLASS
W18	A	4'-0"	8'-6"		STAIRWELL	DOUBLE	WOOD	FIXED	-	-	-	11'-6"	3'-0"	TEMPERED GLASS
W19	F	PR 2'-0"	3'-6"		LIVING RM.	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W20	F	PR 2'-0"	3'-6"		LIVING RM.	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W21	F	PR 2'-0"	3'-6"		LIVING RM.	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W22	F	PR 2'-0"	3'-6"		DINING	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	
W23	F	PR 2'-0"	3'-6"		KITCHEN	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	3'-6"	TEMPERED GLASS
W24	G	2'-0"	2'-6"		TOILET	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	4'-6"	
W25	G	1'-6"	2'-6"		TOILET	DOUBLE	WOOD	CASEMENT	-	-	-	7'-0"	4'-6"	

WINDOW TYPE



WINDOW NOTES

- ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED, U.O.N.:
- EGRESS WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" A.F.F.
  - STAINED WOOD WINDOWS WITH STONE TRIM AND SILLS, U.O.N.
  - ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CRC, SECTION R308.3. ALL INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE REQUIREMENTS OF CPSC 16, CFR 1201 OR ANSIZ 911.
  - SEE WINDOW TYPES ON THIS PAGE FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CRC R303 AND EGRESS PER CRC R310.
  - ALL WINDOW GLAZING SHALL BE LOW-E.
  - CONTACT ARCHITECT, OWNER & INTERIOR DESIGNER FOR SPECIFICATION & APPLICATION, PRIOR TO MANUFACTURING.

CONSULTANT:

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ARCHITECT

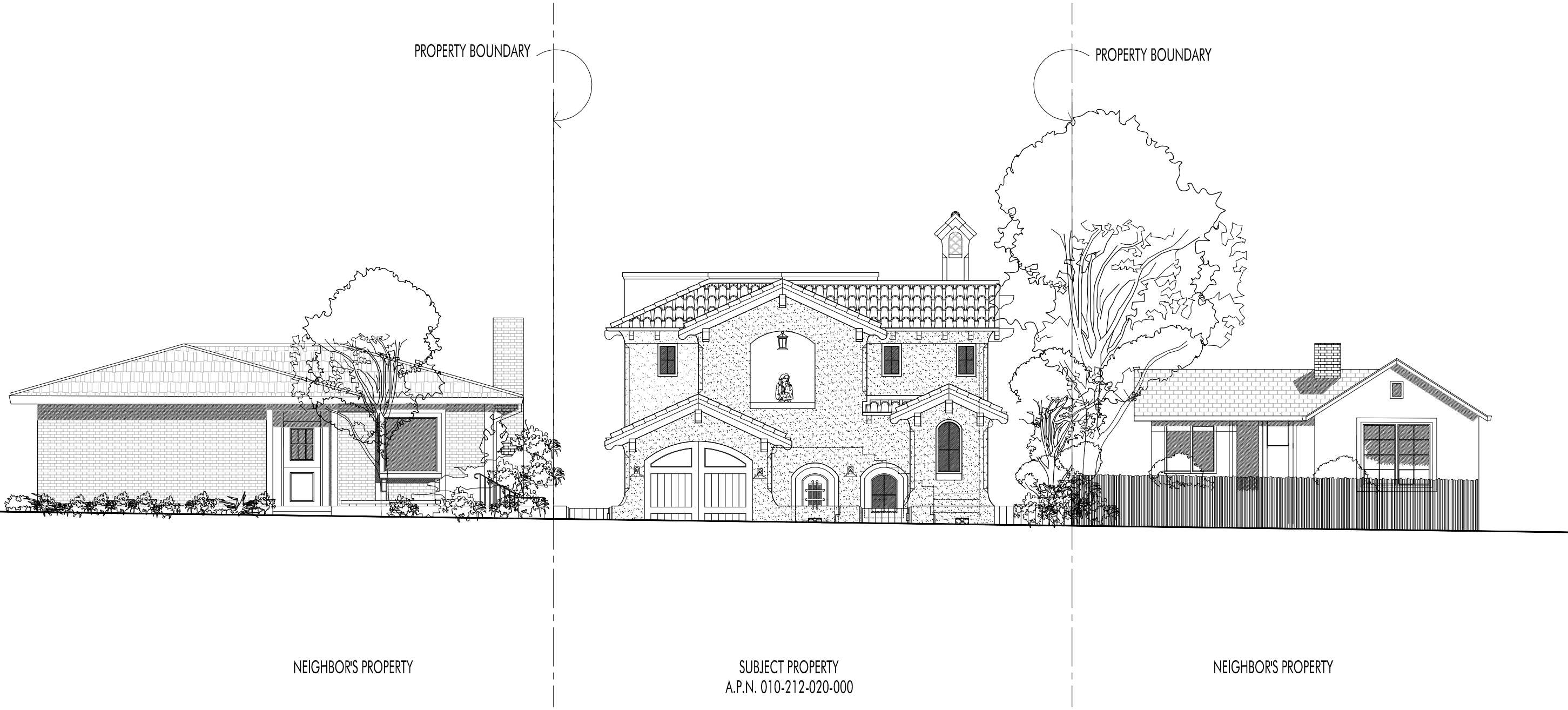
WINDOW SCHEDULE and NOTES:

JOB NAME: Lombardo Residence  
 Lot 5 Block 54 Lincoln Street  
 Carmel, By-The-Sea, CA  
 APN: 010-212-020-000

DATE: 5/31/18  
 SCALE: AS NOTED  
 DRAWN: CCR  
 JOB NUMBER: 17.08

A-4.2  
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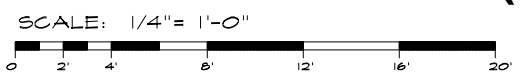


NEIGHBOR'S PROPERTY

SUBJECT PROPERTY  
A.P.N. 010-212-020-000

NEIGHBOR'S PROPERTY

**STREET ELEVATION (Lincoln Street)**



REVISION	No.

CONSULTANT:

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

STREET ELEVATION

JOB NAME:  
**Lombardo Residence**  
 Lot 5 Block 54 Lincoln Street  
 Carmel, By-The-Sea, CA  
 APN: 010-212-020-000

DATE: 5/31/18  
 SCALE: 1/8" = 1'-0"  
 DRAWN: DM  
 JOB NUMBER: 15.26

**A-5.1**  
SHEET OF



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10 SITE WALL ACCENT



7 COPPER GUTTER & DOWNSPOUT



4 WINDOW SAMPLE



1 ROOF TILE SAMPLE



11 METAL RAIL & CABLE WIRE GUARDRAIL



12" DIAMETER SHADE SHOWN IN NATURAL FINISH (AGED IN PLACE) WITH COPPER RINGS

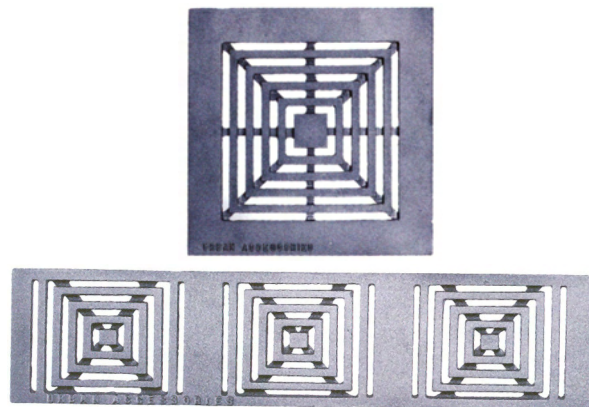
8 EXTERIOR WALL LIGHT



5 MAIN ENTRY DOOR



2 STUCCO SAMPLE



12 TRENCH & AREA DRAIN



9 GARDEN & PATH LIGHTS



6 WOOD GARAGE DOOR



3 INTERLOCKING PAVERS

REVISION	No.

CONSULTANT:

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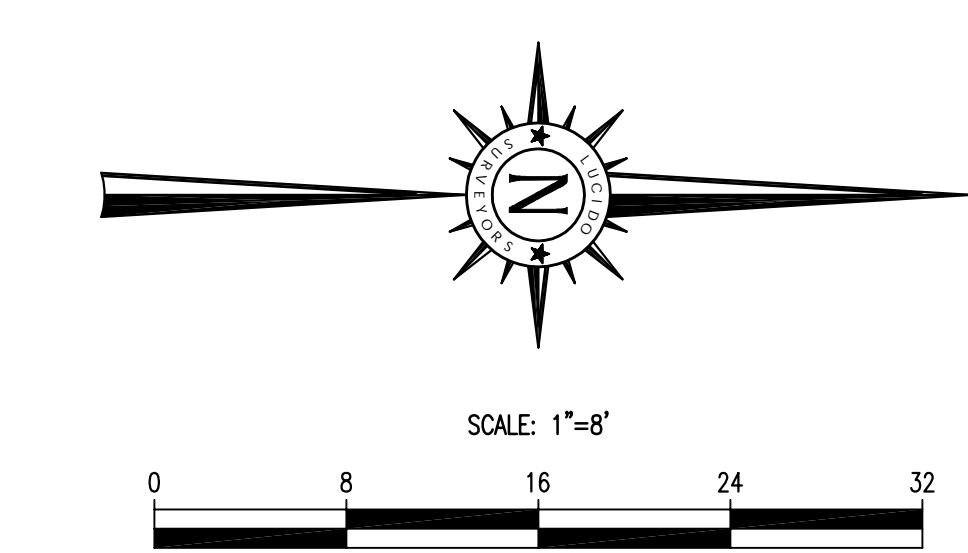
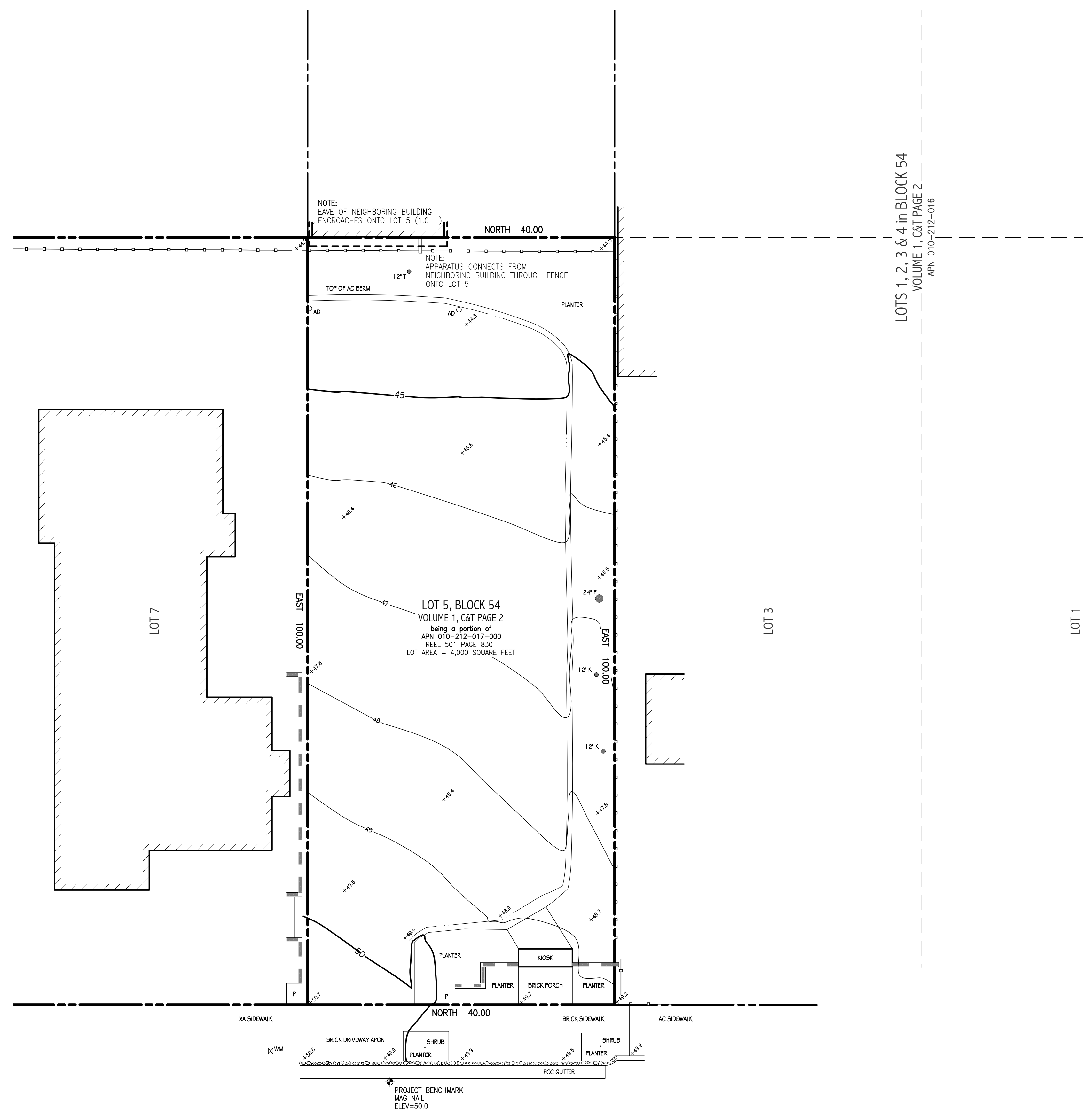
MATERIAL COLOR SAMPLE

JOB NAME:  
**Lombardo Residence**  
 Lot 5 Block 54 Lincoln Street  
 Carmel, By-The-Sea, CA  
 APN: 010-212-020-000

DATE: 5/31/18  
 SCALE: N.T.S.  
 DRAWN: DM  
 JOB NUMBER: 17.08

**LEGEND:**

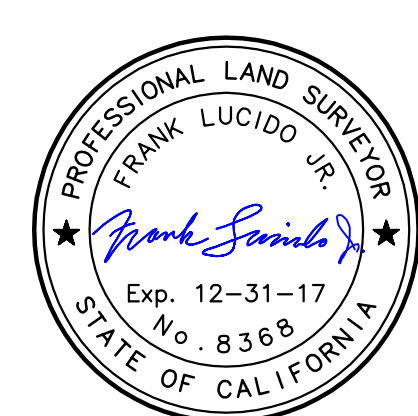
	APPROXIMATE RECORD BOUNDARY		PILLAR
	RECORD RIGHT OF WAY		BLOCK RETAINING WALL
	RECORD LOT LINE		ROCK CURB
	RECORD CENTERLINE		STACKED BLOCK WALL
	RECORD EASEMENT LINE		CARMEL STONE
	RECORD SETBACK		DISABLED PARKING
	OLD RECORD LINE		STANDARD PARKING STALL
	PROJECT BENCHMARK		ASPHALT CONCRETE
	CONTOUR (MAJOR)		CARMEL STONE
	CONTOUR (MINOR)		CORRUGATED METAL PIPE
	EDGE OF PAVEMENT		CONCRETE PAD
	LIP OF GUTTER		DECOMPOSED GRANITE
	FACE OF CURB		EXPOSED AGGREGATE
	BACK OF CURB		HIGH DENSITY POLY ETHYLENE
	BACK OF SIDEWALK		PORTLAND CEMENT CONCRETE
	EDGE OF DRIVEWAY		PAVER STONE
	FLOWLINE		POLY VINYL CHLORIDE
	BUILDING OUTLINE		REINFORCED CONCRETE PIPE
	CHIMNEY		TRASH ENCLOSURE
	APPROXIMATE FLOOR ELEVATION		EDGE OF FOLIAGE
	DECK		TREE WITH SIZE AND TYPE
	CONCRETE PAD		ACACIA
	STEP		CYPRESS
	PLANTER		OAK
	WATER LINE		PALM
	WATER VALVE		PINE
	WATER METER		REDWOOD
	FIRE HYDRANT		TREE
	HOSE BIB		SPOT ELEVATION
	IRRIGATION CONTROL VALVE		
	SANITARY SEWER LINE		
	SANITARY SEWER MANHOLE		
	SANITARY SEWER CLEAN-OUT		
	STORM DRAIN		
	STORM DRAIN MANHOLE		
	AREA DRAIN		
	STORM DRAIN CATCH BASIN		
	ELECTRIC LINE		
	UTILITY POLE		
	GUY WIRE		
	ELECTRIC VAULT		
	UTILITY VAULT		
	ELECTRIC METER		
	STREET LIGHT		
	LAMP POST		
	GAS LINE		
	GAS METER		
	TELEPHONE LINE		
	TELEPHONE STANDARD		
	CABLE TELEVISION LINE		
	CABLE TELEVISION BOX		
	WOOD FENCE		
	WIRE FENCE		
	CHAIN LINK FENCE		
	STREET SIGN		
	SIGN POST		
	MAIL BOX		
	BOLLARD		



- BENCHMARK:**  
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL SET IN THE PAVEMENT NEAR THE EASTERLY BOUNDARY OF THE SUBJECT PROPERTY AS SHOWN HEREON.
- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
  - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
  - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
  - CONTOUR INTERVAL (IF ANY) = ONE FOOT.
  - TREE TYPES (IF ANY) ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
  - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
  - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
  - THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN MAY OF 2017.

**TOPOGRAPHIC SITE SURVEY**

OF  
**LOT 5 in BLOCK 54**  
as shown in  
Volume 1 of Cities and Towns at Page 2  
being a portion of APN 010-212-017-000  
PREPARED FOR  
**Mr. Anthony Lombardo**



BY  
**LUCIDO SURVEYORS**  
Boundary and Construction Surveys · Topographic and Planimetric Mapping  
ALTA Surveys and GIS Database Management · Land Planning and Consulting  
2 Saucito Avenue  
DEL REY OAKS, CALIFORNIA 93940 info@lucidosurveyors.com  
(831) 620-5032  
SCALE: 1"=8' PROJECT No. 1909 MAY 15, 2017  
CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

**LINCOLN STREET**  
(A 60 FOOT WIDE CITY STREET)

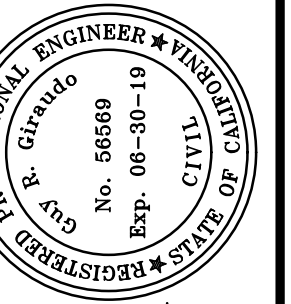
# GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

## LOMBARDO RESIDENCE

APN: 010-212-017

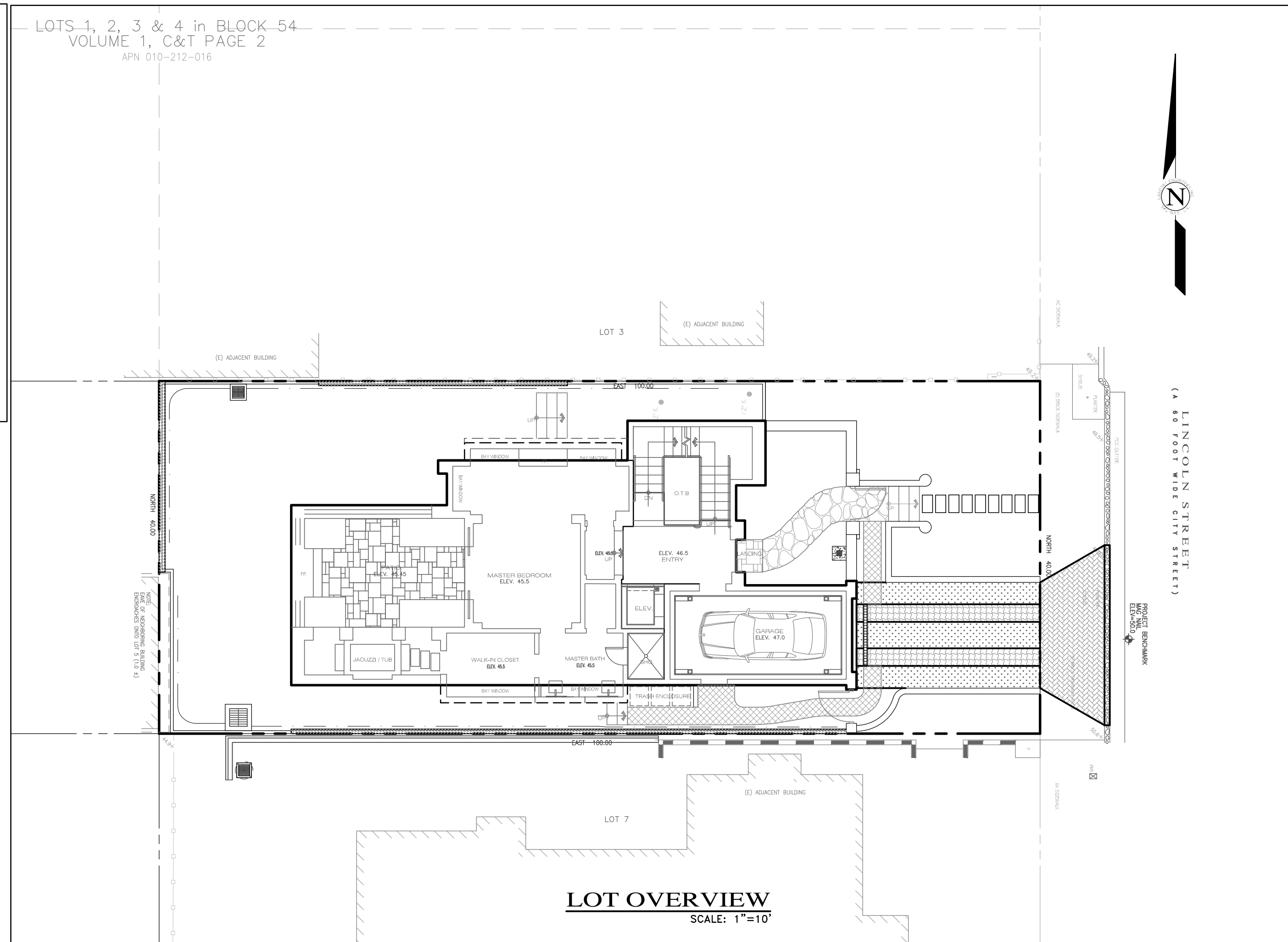
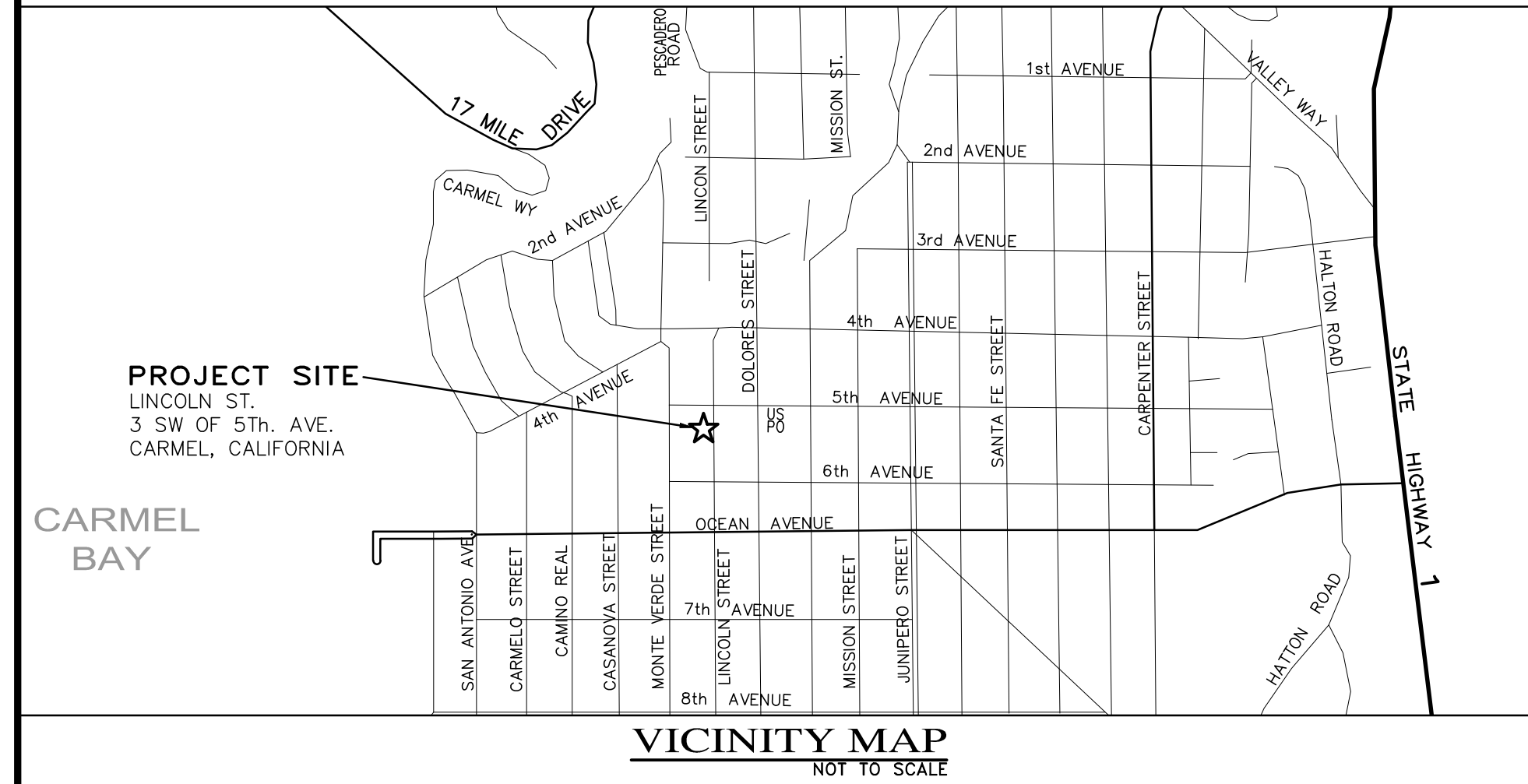
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA



APPROVED BY:  
GUY R. GIRAUDO



"COVER SHEET"  
GRADING, DRAINAGE & EROSION CONTROL PLAN  
OF  
LOMBARDO RESIDENCE  
A.P.N.: 010-212-017  
CARMEL BY THE SEA, MONTEREY COUNTY, CALIFORNIA  
MR. & MRS. ANTHONY & SUSAN LOMBARDO



- LEGEND:**
- EXISTING:** SEE SHEET C2
- NEW:**
- MAJOR CONTOUR LINE (5' INTERVAL)
  - MINOR CONTOUR LINE (1' INTERVAL)
  - DRAINAGE SWALE FLOW LINE
  - STORM DRAIN PIPE MAIN LEVEL
  - STORM DRAIN PIPE BASEMENT
  - SUBDRAIN PIPE
  - UNDER-SLAB DRAIN
  - FORCE MAIN LINE
  - FINISH GRADE ELEVATION
  - ROOF DOWNSPOUT
  - PORTLAND CEMENT CONCRETE SURFACE
  - CONVENTIONAL CONCRETE PAVER SURFACE
  - PERMEABLE CONCRETE PAVER - DRIVEWAY
  - PERMEABLE CONCRETE PAVER - WALK
  - DROUGHT TOLERANT GROUND COVER

- INDEX TO SHEETS**
- SHEET C1 COVER SHEET
  - SHEET C2 TOPOGRAPHIC MAP/EXISTING CONDITIONS
  - SHEET C3 GRADING & DRAINAGE PLAN - MAIN FLOOR
  - SHEET C4 GRADING & DRAINAGE PLAN - BASEMENT FLOOR
  - SHEET C5 GRADING SECTIONS
  - SHEET C6 EROSION & SEDIMENT CONTROL PLAN
  - SHEET C7 STANDARD PLANS & CONSTRUCTION DETAILS

**GENERAL NOTES:**

- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE LOMBARDO RESIDENCE, SHEET A-1.1 PREPARED BY ERIC MILLER ARCHITECTS, INC., DATED 10/17/17, AND THE TOPOGRAPHIC MAP PREPARED BY OTHERS.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- 4) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

**GRADING & DRAINAGE NOTES:**

- 1) ALL GRADING SHALL CONFORM TO THE CITY OF CARMEL GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE SOILS INVESTIGATION PREPARED BY LANDSET ENGINEERS, INC. PROJECT No. 1750-02, DATED DEC. 2017, THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- 2) SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- 3) NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- 4) THERE ARE APPROXIMATELY 625 C.Y. OF CUT AND 0 C.Y. OF FILL WITH A SURPLUS OF 625 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION AND/OR LANDSCAPE PURPOSES. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES.
- 5) EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- 6) ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- 7) PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- 8) DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- 9) A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE CITY OF CARMEL PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- 10) THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- 11) ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS WITH SPLASH BLOCKS WHICH OUTLET INTO LANDSCAPE AREAS AND/OR PERVIOUS PAVERS.
- 12) STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF CATCH BASINS, TRENCH DRAIN & DRAINAGE SWALES OUTLETTING ONTO A NEW UNDERGROUND RETENTION/INFILTRATION CHAMBER SYSTEM AS SHOWN ON THE SITE DRAINAGE PLAN.
- 13) SUBSURFACE DRAINAGE FOR FOUNDATIONS & UNDERSLAB IS REQUIRED AND WILL BE COLLECTED AND PIPED TO A SUMP (CHRISTY BOX U23) LOCATED IN THE MECHANICAL ROOM AND PUMPED UP TO EXISTING STREET LEVEL (LINCOLN ST.) AND SHALL REMAIN INDEPENDENT OF THE SURFACE RUNOFF.
- 14) THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. CATCH BASINS SHALL BE CHRISTY PRODUCTS, U23 WITH GRATE FOR CB1, U23 WITH LID FOR UNDERSLAB DRAIN SUMP, V64 FOR CB2 WITH CAST IRON GRATE, NDS SPEE-D FOR AD1 WITH 8" SQUARE GRATE, WATTS FD-1200L WITH STAINLESS STEEL GRATE FOR AD2, AD3, AD4, OR APPROVED EQUAL FOR ALL. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- 15) UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. REL. COMPACTION.

- 16) ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- 17) SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED.
- 18) THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- 19) STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT THE CITY OF CARMEL AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

**GEOTECHNICAL INSPECTION SCHEDULE**

Inspection item:	Who will conduct the inspection:	When the inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	LandSet Engineers, inc.	Beginning of Project		
Subexcavation, fill placement, and compaction	LandSet Engineers, inc.	Throughout grading operations		
Foundation Excavations	LandSet Engineers, inc.	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	LandSet Engineers, inc.	Prior to trench backfill		
Utility trench compaction	LandSet Engineers, inc.	During backfill operations		
Retaining wall backfill compaction	LandSet Engineers, inc.	During backfill operations		
Baseroack subgrade compaction	LandSet Engineers, inc.	Prior to pavement installation		

**EROSION & SEDIMENT CONTROL NOTES:**

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE CITY OF CARMEL EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO THE CITY OF MONTEREY.

**CONTACT INFORMATION:**

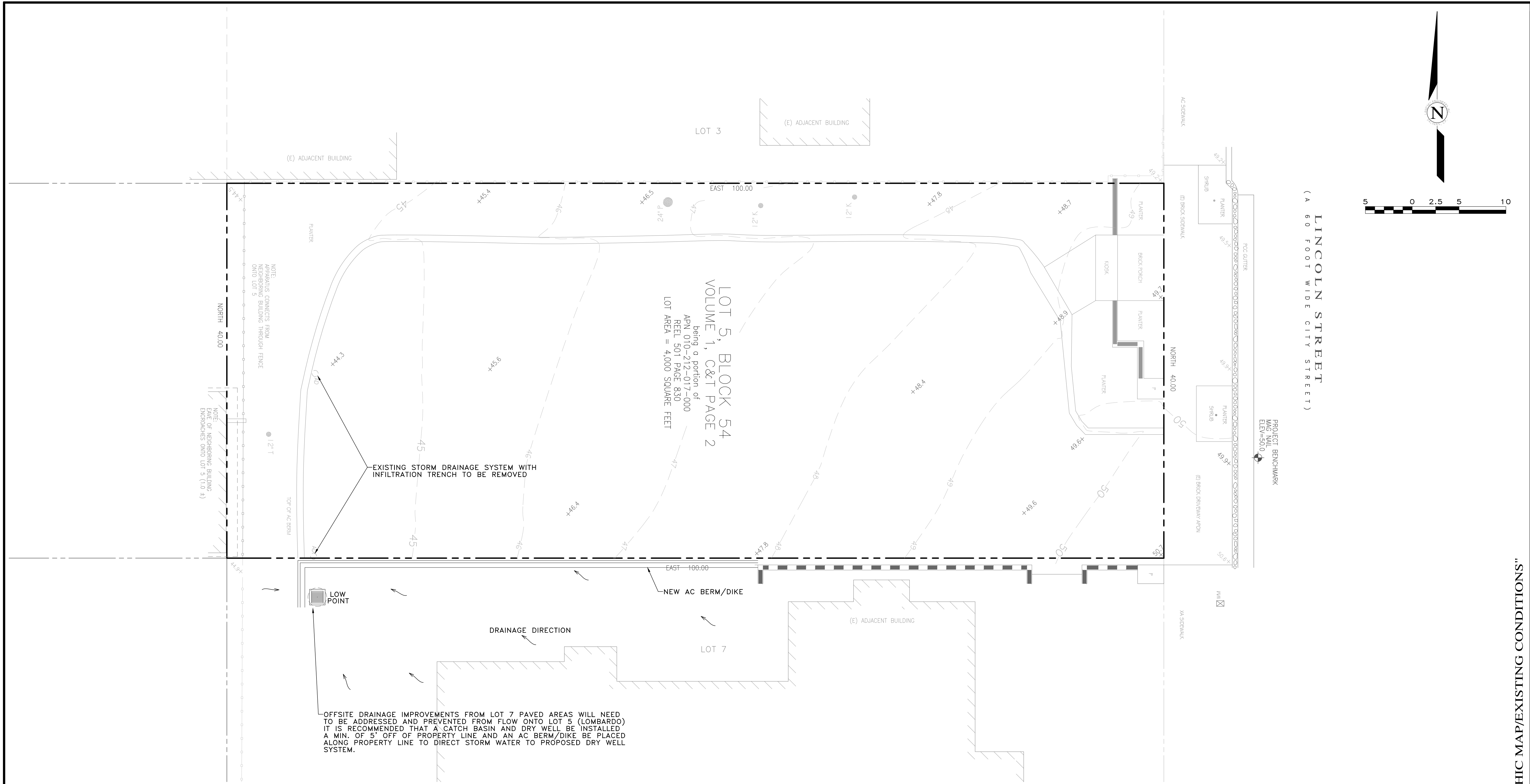
PRIMARY: OWNER  
ANTHONY AND SUSAN LOMBARDO  
226 OAK STREET  
SALINAS, CA 93901

SECONDARY: ARCHITECT  
ERIC MILLER ARCHITECTS, INC.  
ATTN: MR. DADO MARQUEZ  
211 HOFFMAN AVE.  
MONTEREY, CA 93940  
PH (831)372-0410 (7840)

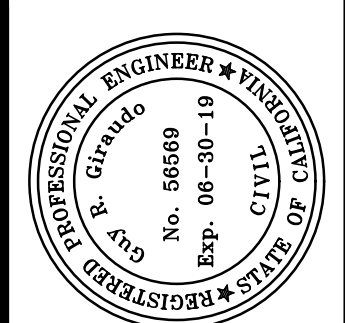
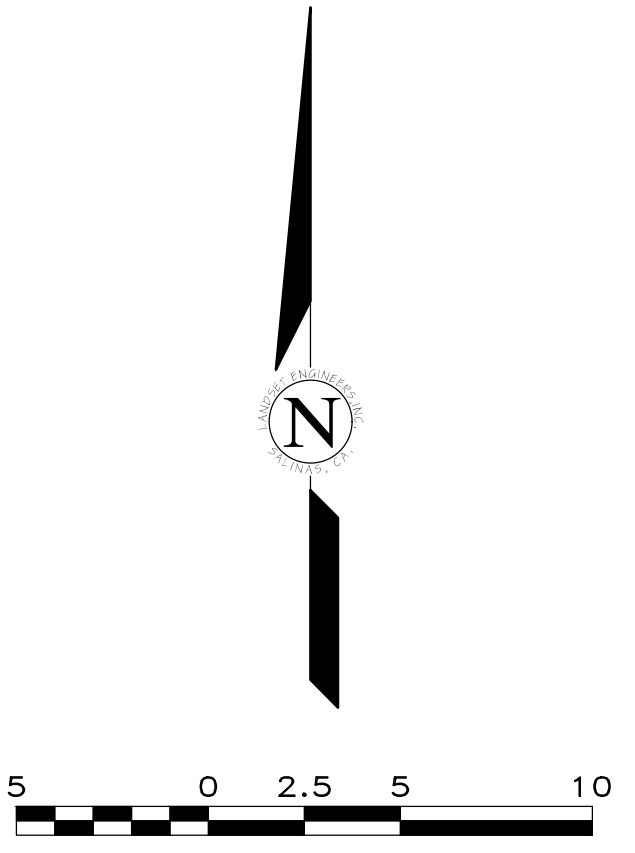
SITE LOCATION:  
LINCOLN ST., 3 SW OF 5TH. AVE.  
CARMEL BY THE SEA, CA

No.	DATE	BY	REVISION
	12/29/17	AMS	RELEASED TO CLIENT

SCALE: 1"=5'  
DATE: DEC. 2017  
JOB NO. 1750-01  
SHEET **C1**  
OF 7 SHEETS



NOTE: SEE ARCHITECTURAL PLANS FOR SITE DEMOLITION AND TREE REMOVAL



APPROVED BY:  
GUY R. GIRAUDDO

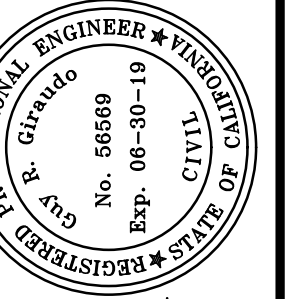


"TOPOGRAPHIC MAP/EXISTING CONDITIONS"  
**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
OF  
**LOMBARDO RESIDENCE**  
A.P.N.: 010-212-017  
FOR  
MR. & MRS. ANTHONY & SUSAN LOMBARDO  
CARMEL BY THE SEA, MONTEREY COUNTY, CALIFORNIA

SCALE: 1"=5'  
DATE: DEC. 2017  
JOB NO. 1750-01

No.	DATE	BY	REVISION

SHEET **C2**  
OF 7 SHEETS



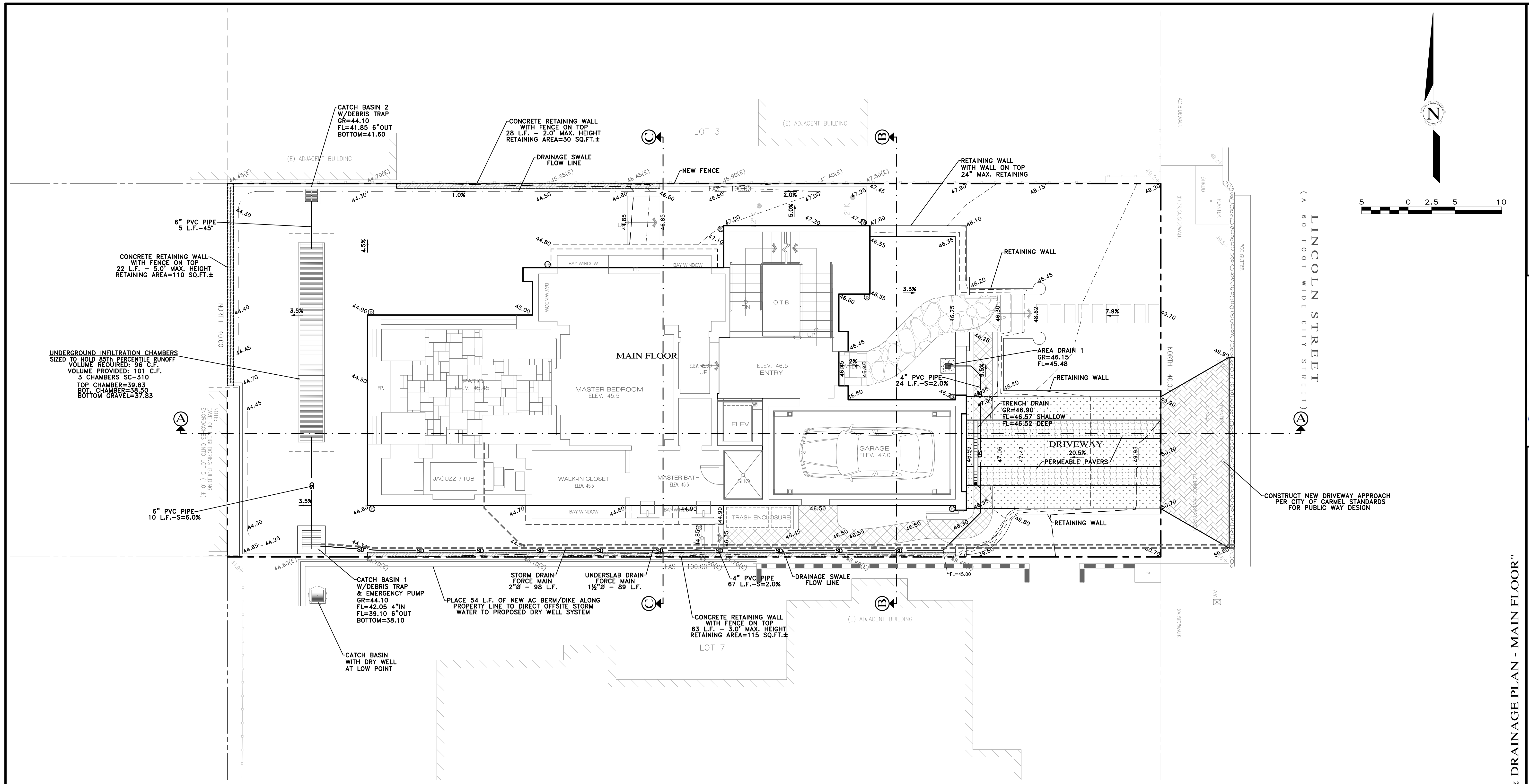
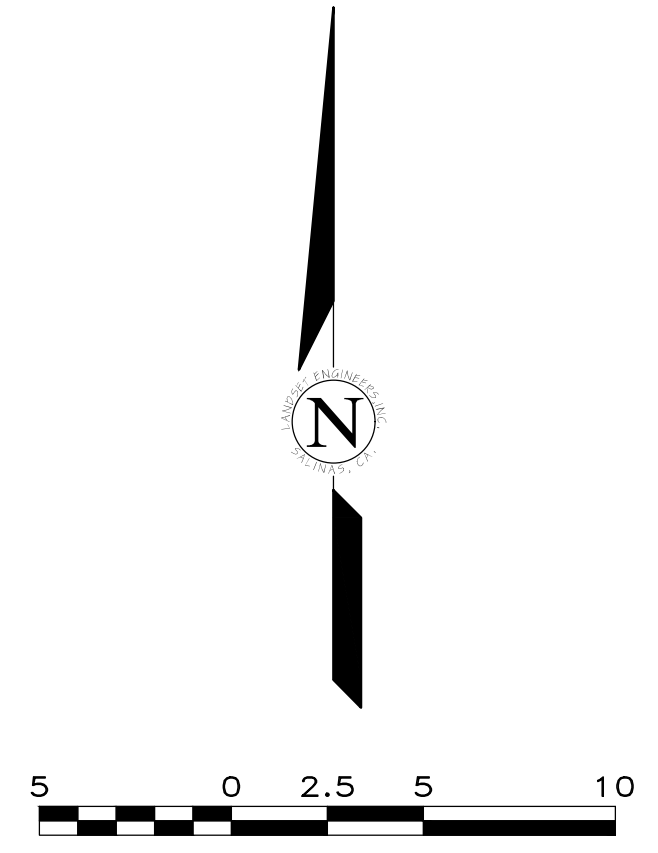
APPROVED BY:  
GUY R. GIRAUDO



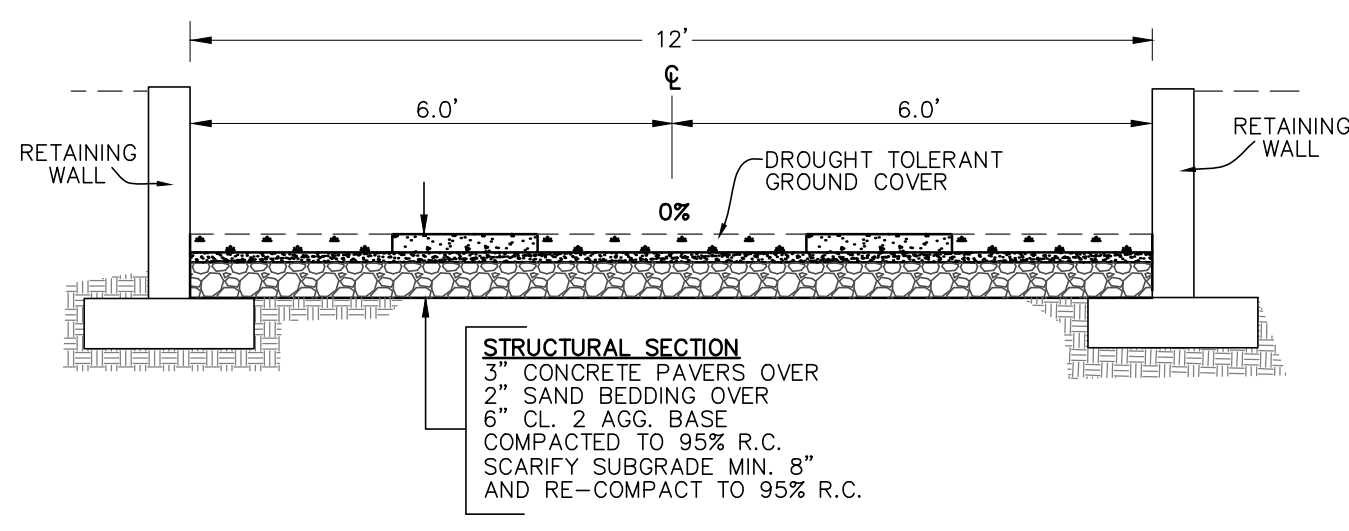
"GRADING & DRAINAGE PLAN - MAIN FLOOR"  
**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
OF  
**LOMBARDO RESIDENCE**  
A.P.N.: 010-212-017  
FOR  
MR. & MRS. ANTHONY & SUSAN LOMBARDO  
CARMEL BY THE SEA, MONTEREY COUNTY, CALIFORNIA

SCALE: 1"=5'  
DATE: DEC. 2017  
JOB NO. 1750-01

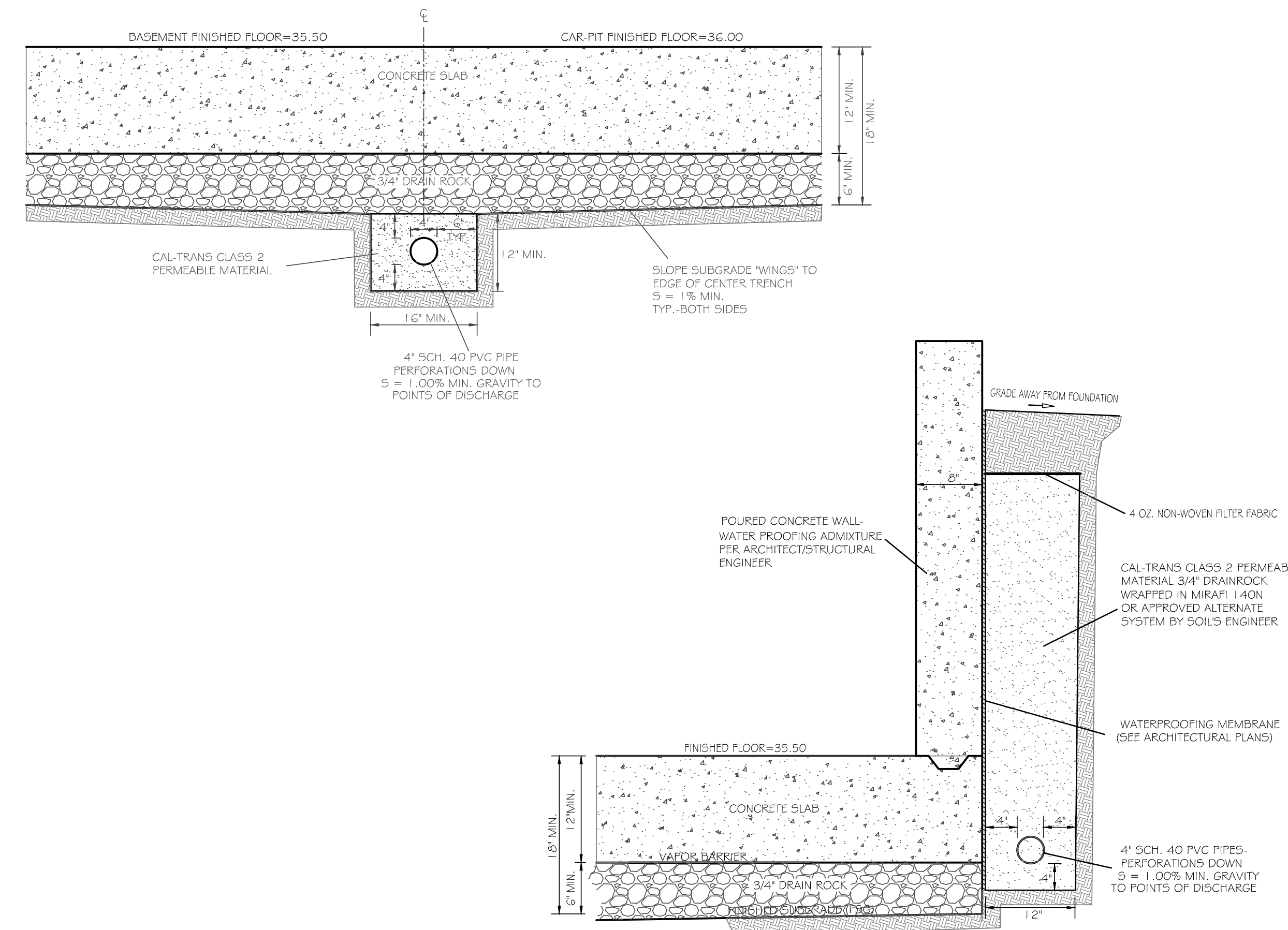
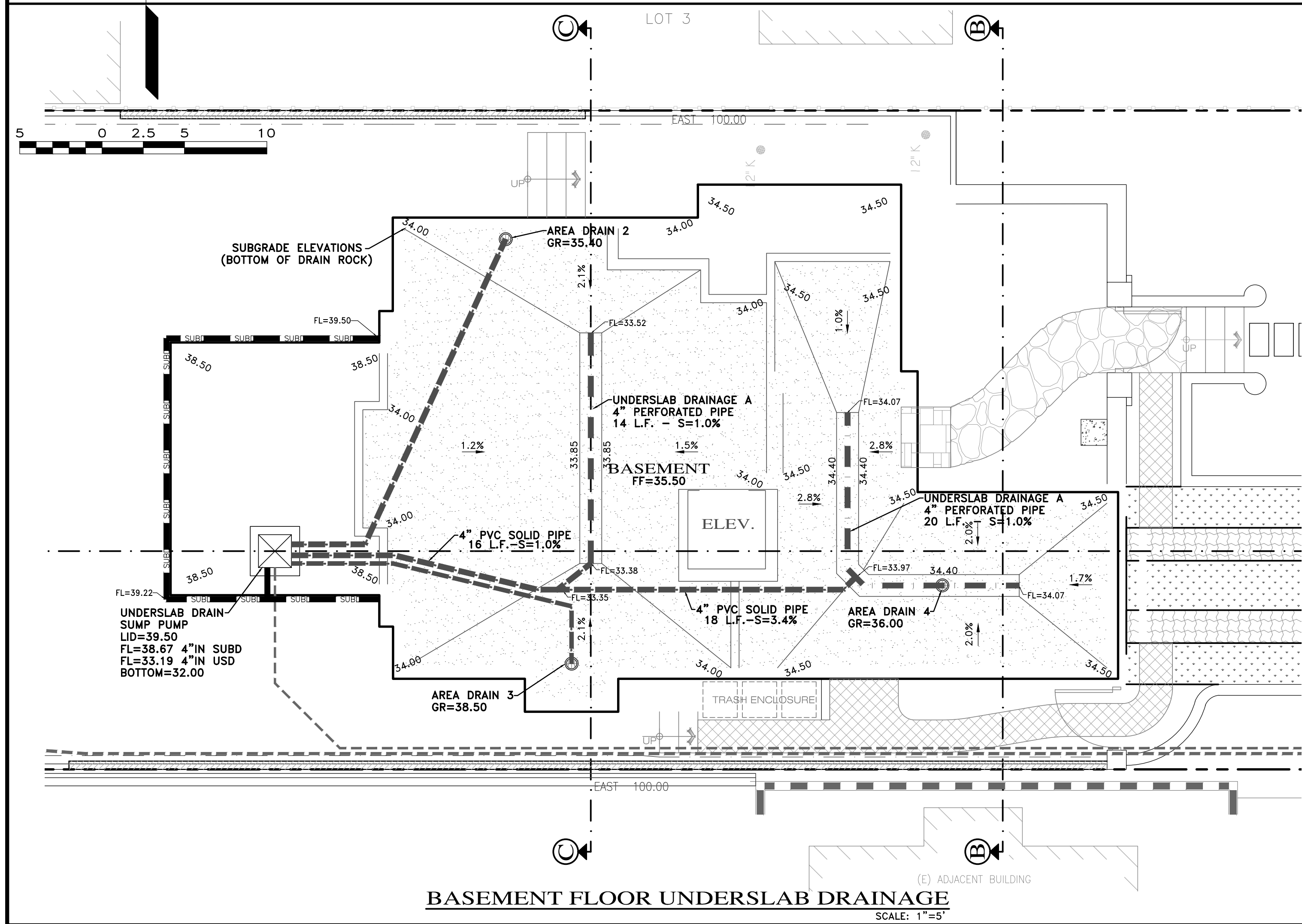
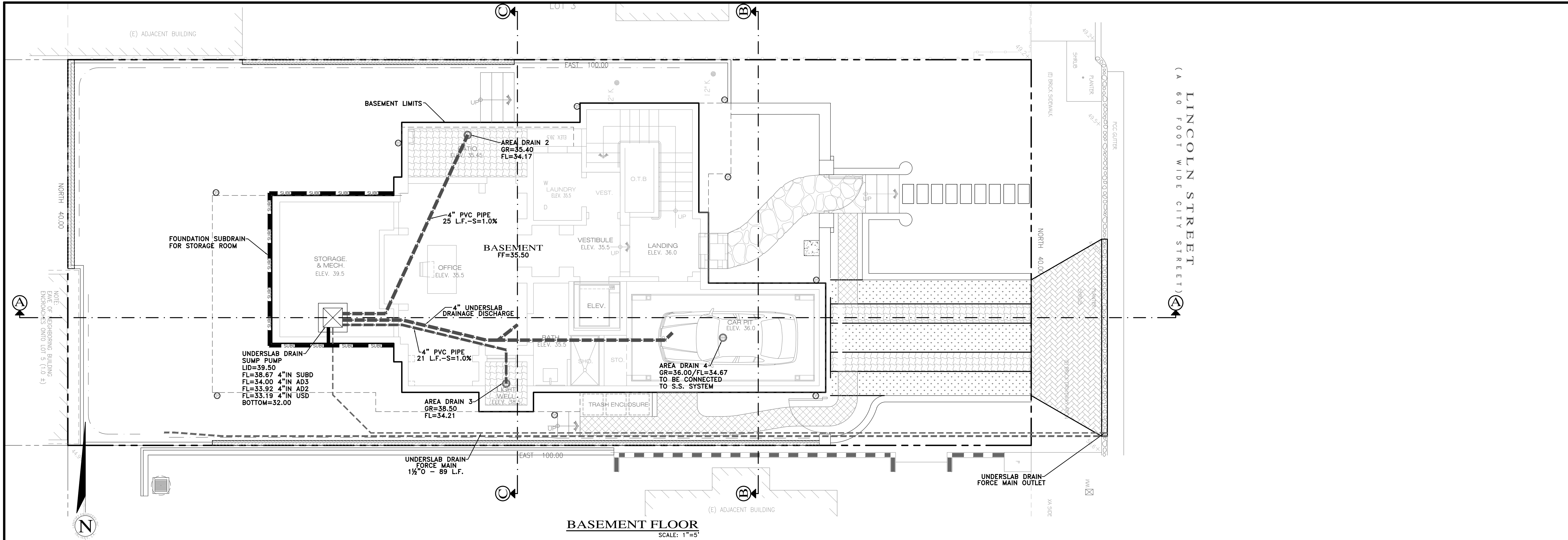
SHEET **C3**  
OF 7 SHEETS



IMPERVIOUS AREA: 1,435 SQ.FT.  
AREA OF DISTURBANCE: 4,000 SQ.FT.



**DRIVEWAY TYPICAL SECTION**  
NOT TO SCALE



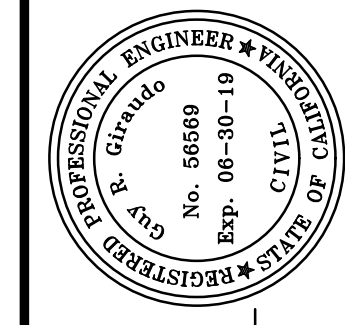
"GRADING & DRAINAGE PLAN - BASEMENT FLOOR"

**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
OF  
**LOMBARDO RESIDENCE**  
A.P.N.: 010-212-017  
FOR  
CARMEL BY THE SEA, MONTEREY COUNTY, CALIFORNIA  
MR. & MRS. ANTHONY & SUSAN LOMBARDO

SCALE: 1"=5'  
DATE: DEC. 2017  
JOB NO. 1750-01

No.	DATE	BY	REVISION

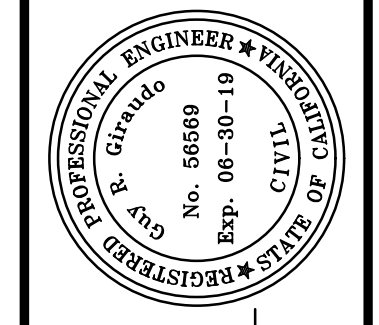
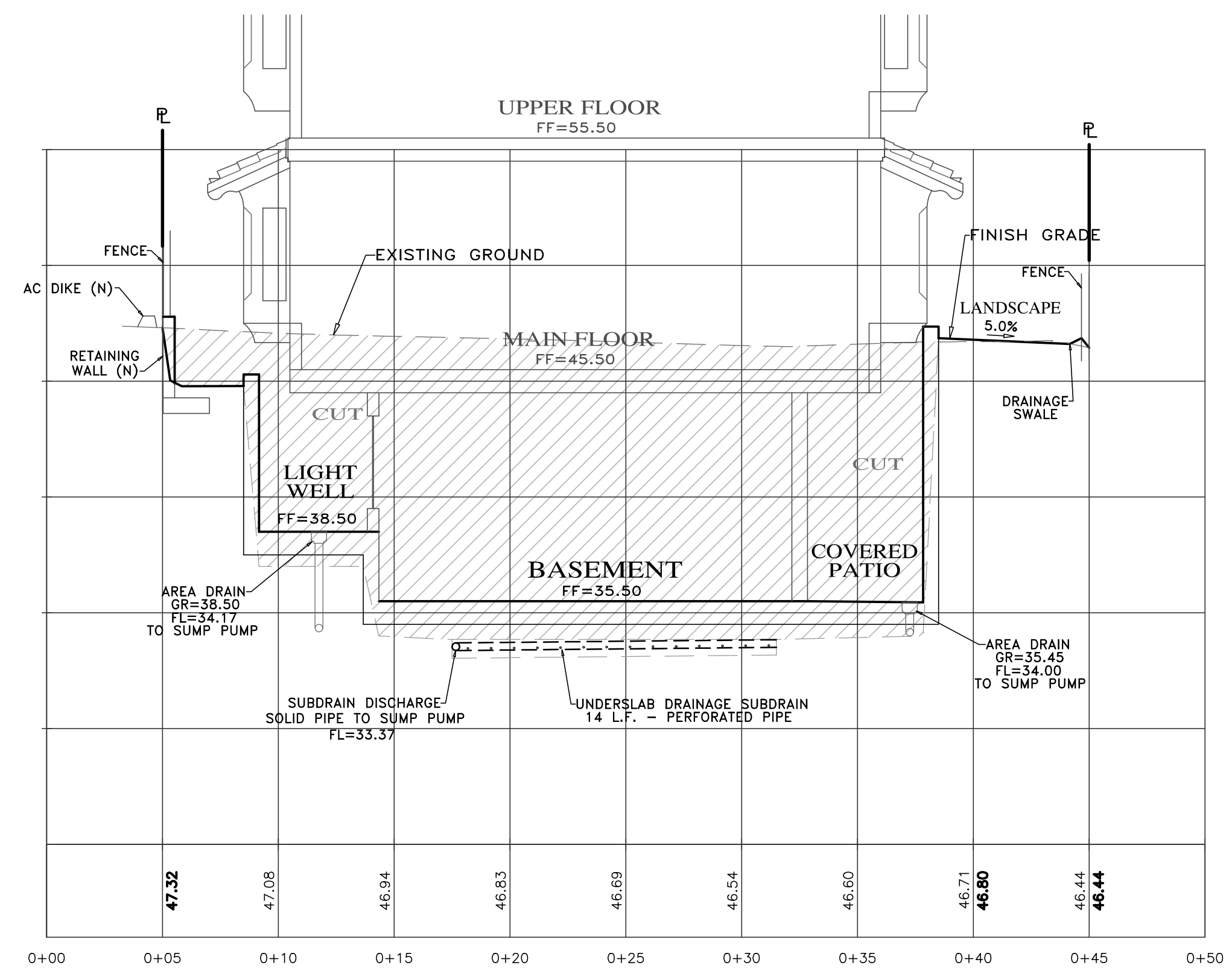
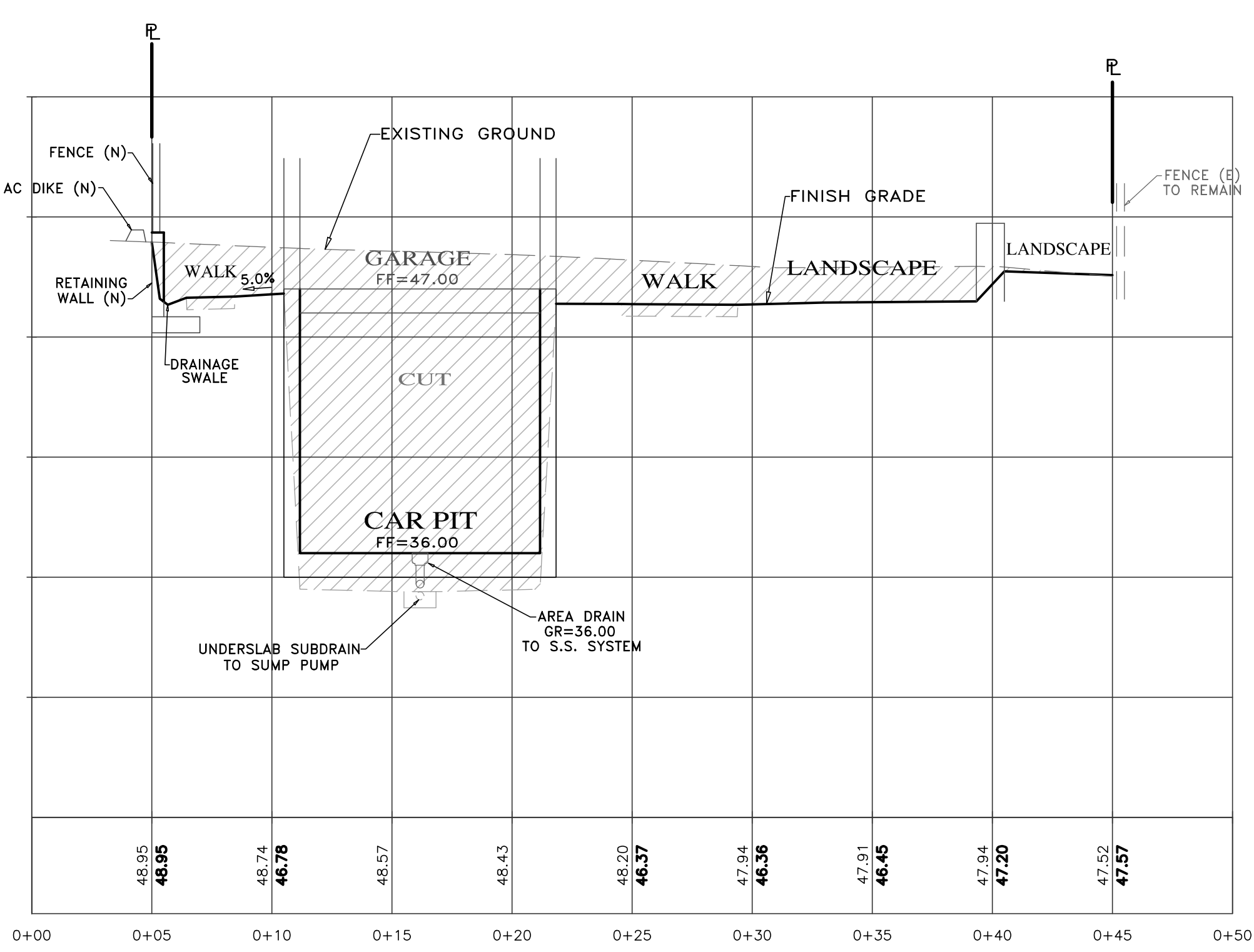
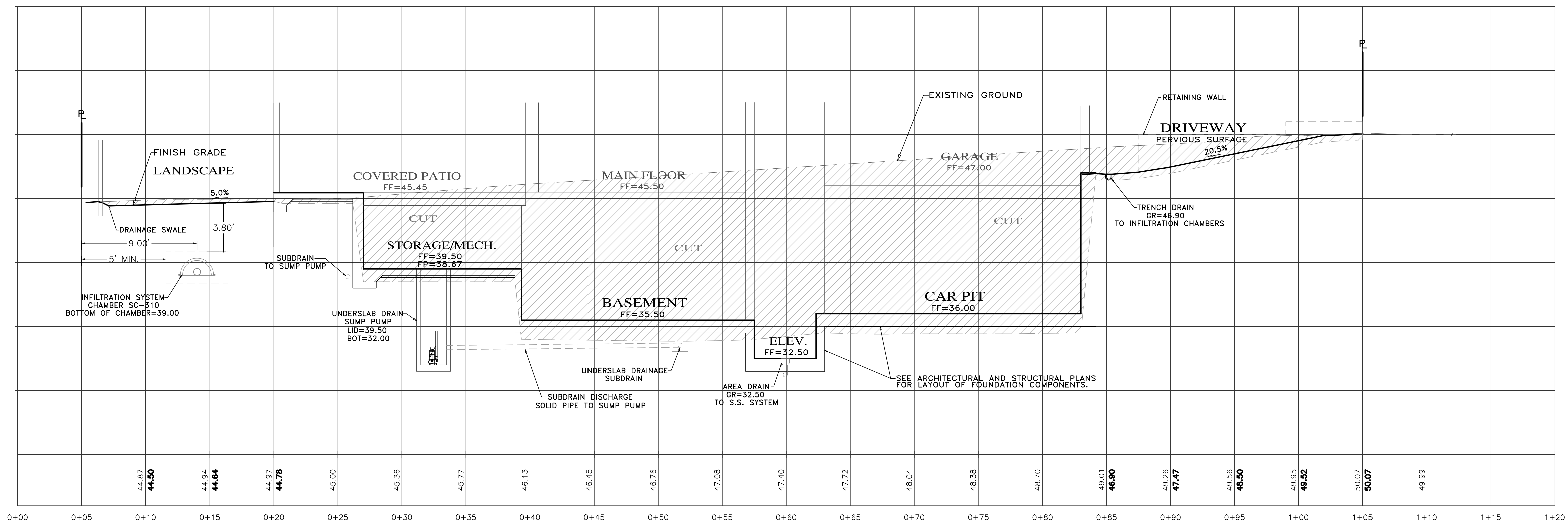
SHEET **C4**  
OF 7 SHEETS



APPROVED BY:  
**GUY R. GIRAUDO**



CSD\1750-LOMBARDO RESIDENCE\DWG\1750-GDECP.DWG\C4



APPROVED BY:  
GUY R. GIRAUDO

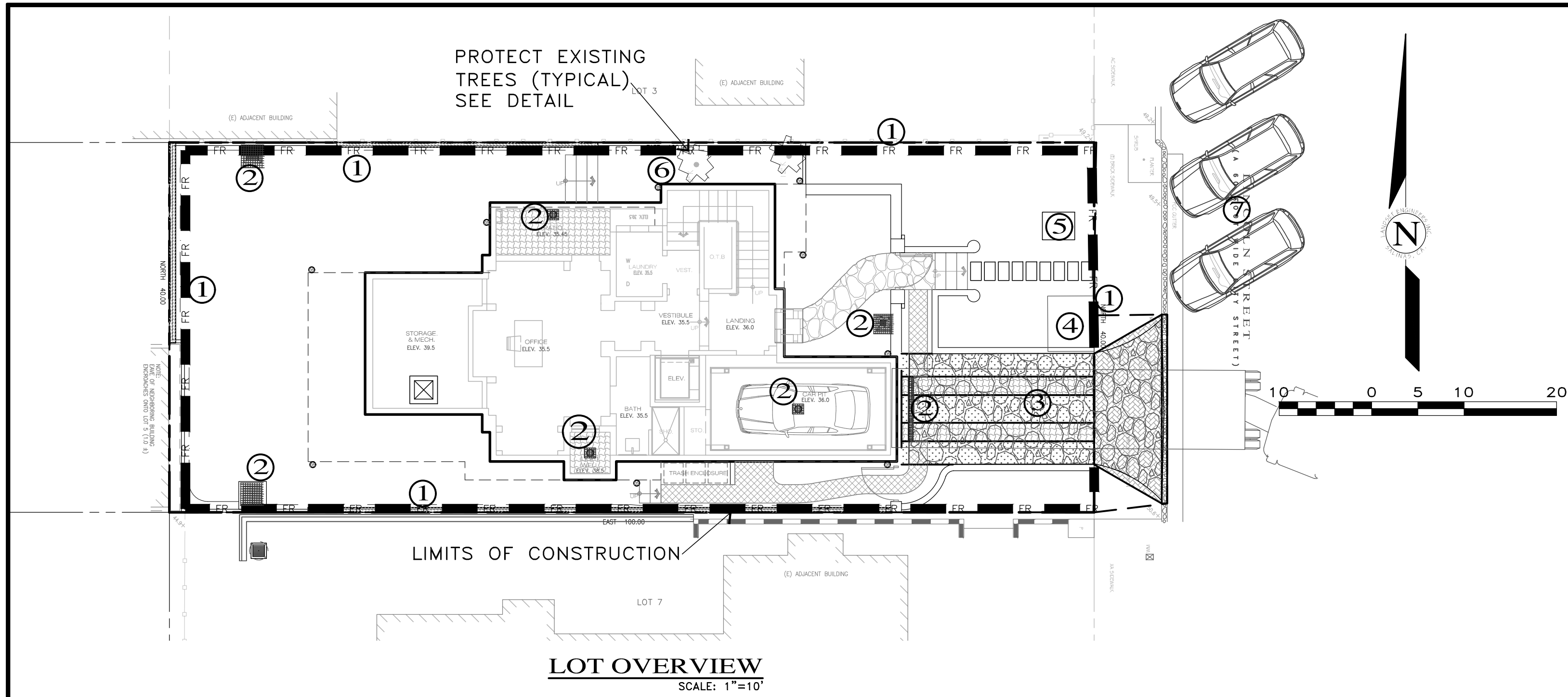


"GRADING SECTIONS"  
GRADING, DRAINAGE & EROSION CONTROL PLAN  
OF  
LOMBARDO RESIDENCE  
A.P.N.: 010-212-017  
FOR  
CARMEL BY THE SEA, MONTEREY COUNTY, CALIFORNIA  
MR. & MRS. ANTHONY & SUSAN LOMBARDO

SCALE: 1"=5'  
DATE: DEC. 2017  
JOB NO. 1750-01

12/29/17	AMS	RELEASED TO CLIENT			
No.	DATE	BY	REVISION		

SHEET **C5**  
OF 7 SHEETS



**CONSTRUCTION MANAGEMENT NOTES:**

- PAINTING:**
1. MINIMIZE USE OF OIL-BASED PAINTS.
  2. STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED CONTAINER.
  3. SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINT AS A HAZARDOUS WASTE.
  4. NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.
  5. CASQA BMP HANDBOOK - HAZARDOUS WASTE MANAGEMENT WM-6
- PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE:**
1. STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND.
  2. CONSERVE MATERIALS. DO NOT MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS.
  3. IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE.
  4. ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.
  5. CASQA BMP HANDBOOK - CONCRETE WASTE MANAGEMENT WM-8
- READY-MIXED CONCRETE:**
1. HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY-MIX TRUCK.
  2. IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE DEPRESSION.
  3. PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION.
  4. ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BATCH PLANT FOR TREATMENT/RECYCLING.
  5. BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS.
  6. CASQA BMP HANDBOOK - CONCRETE WASTE MANAGEMENT WM-8
- EARTH MOVING/GRADING:**
1. REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.
  2. PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN.
  3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA HANDBOOK.
  4. USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS.
  5. COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.
  6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.
  7. CASQA BMP HANDBOOK - EROSION CONTROL.

**LEGEND:** (SEE B.M.P. DETAILS PER C.O.S. STD. PLANS 59A & 59B)

- ① FIBER ROLL AND/OR SILT FENCE. INSTALL FIBER ROLL ALONG THE NORTHWESTERLY AND NORTHEASTERLY PROPERTY BOUNDARIES.
- ② INLET PROTECTION. USE GRAVEL/SAND BAGS.
- ③ STABILIZED CONSTRUCTION ENTRANCE.
- ④ CONCRETE WASHOUT FACILITY.
- ⑤ PORTABLE SANITATION FACILITY
- ⑥ TREE PROTECTION
- ⑦ EMPLOYEE PARKING AREA

- PORTABLE SANITATION FACILITY:**
1. LOCATE AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION.
  2. MUST BE EQUIPPED WITH CONTAINMENT TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM DRAINAGE SYSTEM.
  3. WASTEWATER SHOULD NOT BE DISCHARGED OR BURIED WITHIN THE PROJECT SITE.
  4. TEMPORARY SANITARY FACILITIES THAT DISCHARGE TO THE SANITARY SEWER SYSTEM SHOULD BE PROPERLY CONNECTED TO AVOID ILLICIT DISCHARGES.
  5. SANITARY & SEPTIC FACILITIES SHOULD BE MAINTAINED IN GOOD WORKING ORDER BY A LICENSED SERVICE.
  6. ONLY REPUTABLE, LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED.
  7. CASQA BMP HANDBOOK - SANITARY/SEPTIC WASTE MANAGEMENT WM-9
- NOTES:**
1. CONTRACTORS STAGING AREA DESIGNATED FOR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES: SCHEDULING, WATER CONSERVATION PRACTICES, VEHICLE AND EQUIPMENT CLEANING, VEHICLE AND EQUIPMENT MAINTENANCE, MATERIAL DELIVERY & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION AND CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT.
  2. REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

**NOTES**

- A- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH CITY OF CARMEL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH CITY OF CARMEL GRADING AND EROSION CONTROL REGULATIONS.
- B- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH CITY OF CARMEL SERVICES TO UPDATE COMPACTON TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH CITY OF CARMEL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- D- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.
- E- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
- F- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15.
- G- THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.

**Material Delivery and Storage WM-1**

Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourse by minimizing the storage of hazardous materials on-site, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-6, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

**Suitable Applications**

These practices are suitable for use at all construction sites with delivery and storage of the following materials:

- Soil stabilizers and binders
- Pesticides and herbicides
- Fertilizers
- Detergents
- Plaster
- Petroleum products such as fuel, oil, and grease

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**Solid Waste Management WM-5**

Prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

**Suitable Applications**

This BMP is suitable for construction sites where the following wastes are generated or stored:

- Solid waste generated from trees and shrubs removed during land clearing, demolition of existing structures (rubble), and building construction
- Packaging materials including wood, paper, and plastic
- Scrap or surplus building materials including scrap metals, rubber, plastic, glass pieces, and masonry products
- Domestic wastes including food containers such as beverage cans, coffee cups, paper bags, plastic wrappers, and cigarette
- Construction wastes including brick, mortar, timber, steel and metal scraps, pipe and electrical fittings, non-hazardous equipment parts, styrofoam and other materials used to transport and package construction materials

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**Hazardous Waste Management WM-6**

Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

**Suitable Applications**

This best management practice (BMP) applies to all construction projects. Hazardous waste management practices are implemented on construction projects that generate waste from the use of:

- Petroleum Products
- Concrete Curing Compounds
- Pesticides
- Paints
- Acids
- Septic Wastes
- Solvents
- Wood Preservatives
- Roofing Tar

Any materials deemed a hazardous waste in California, Title 22, Division 4.5, or listed in 49 CFR Parts 101, 117, 261, or 302

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**Sanitary/Septic Waste Management WM-9**

Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing containment, well-maintained facilities, and arranging for regular service and disposal.

**Suitable Applications**

Sanitary/septic waste management practices are suitable for use at all construction sites that use temporary or portable sanitary and septic waste systems.

**Limitations**

None identified.

**Implementation**

Sanitary or septic waste should be treated or disposed of in accordance with state and local requirements. In many cases, one contract with a local facility requires will all that it takes to make sure sanitary wastes are properly disposed.

**Storage and Disposal Procedures**

- Temporary sanitary facilities should be located away from drainage facilities, watercourses, and from traffic circulation.
- If site conditions allow, place portable facilities a minimum of 50 feet from drainage watercourses and traffic areas. When subjected to high winds or risk of high winds, temporary sanitary facilities should be secured to prevent overturning.

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**Preservation Of Existing Vegetation EC-2**

Properly planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

**Suitable Applications**

Preservation of existing vegetation is suitable for use on most projects. Large project sites often provide the greatest opportunity for use of this BMP. Suitable applications include the following:

- Areas within the site where no construction activity occurs, or occurs at a later date. This BMP is especially suitable to multi-year projects where grading can be phased.
- Areas where natural vegetation exists and is designated for preservation. Such areas often include steep slopes, watercourses, and building sites in wooded areas.
- Areas where local, state, and federal government require preservation, such as vernal pools, wetlands, marshes, certain oak trees, etc. These areas are usually designated on the plans, or in the specifications, permits, or environmental documents.
- Where vegetation designated for ultimate removal can be temporarily preserved and be utilized for erosion control and sediment control.

**Limitations**

- Requires forward planning by the owner/developer.

California Stormwater BMP Handbook Construction www.casqa.org November 2009 1 of 1

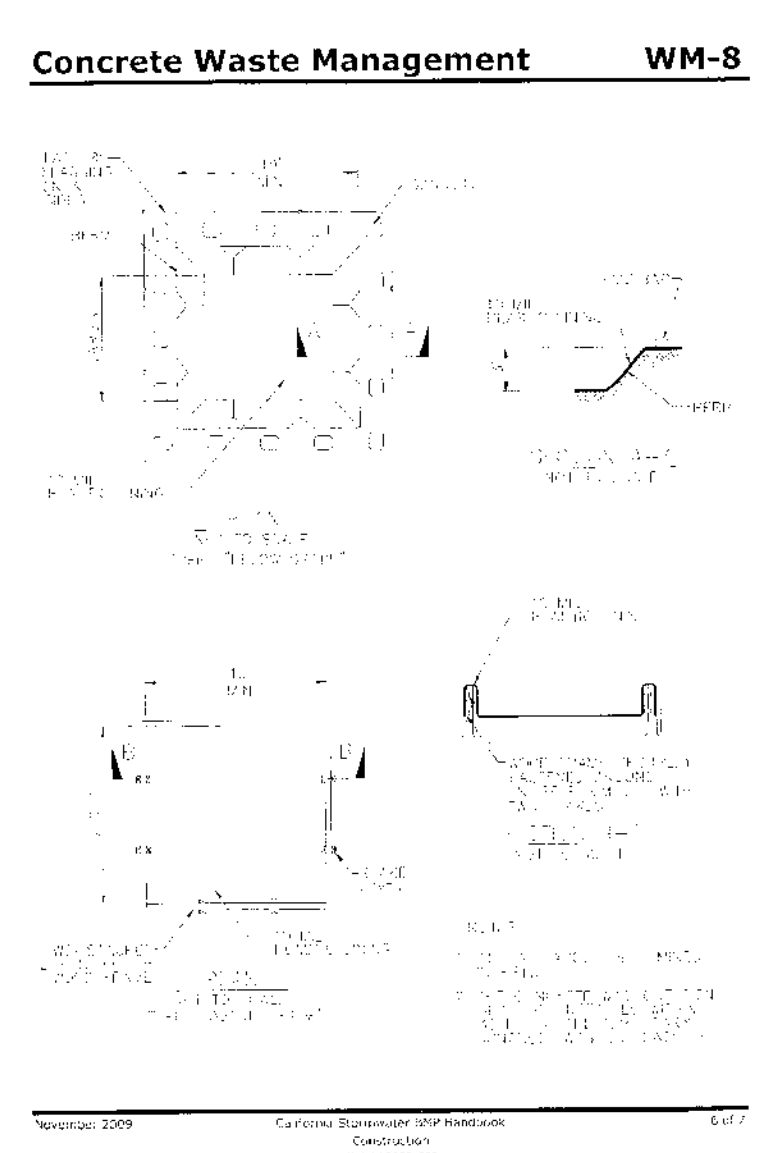
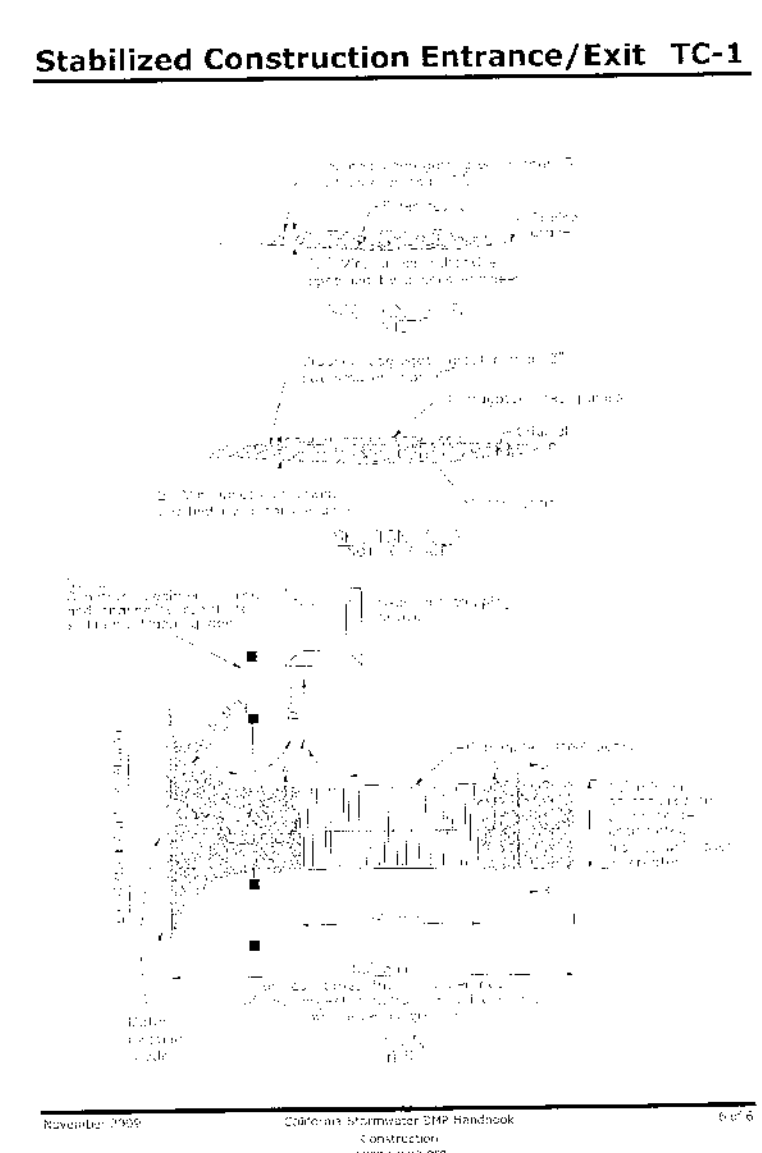
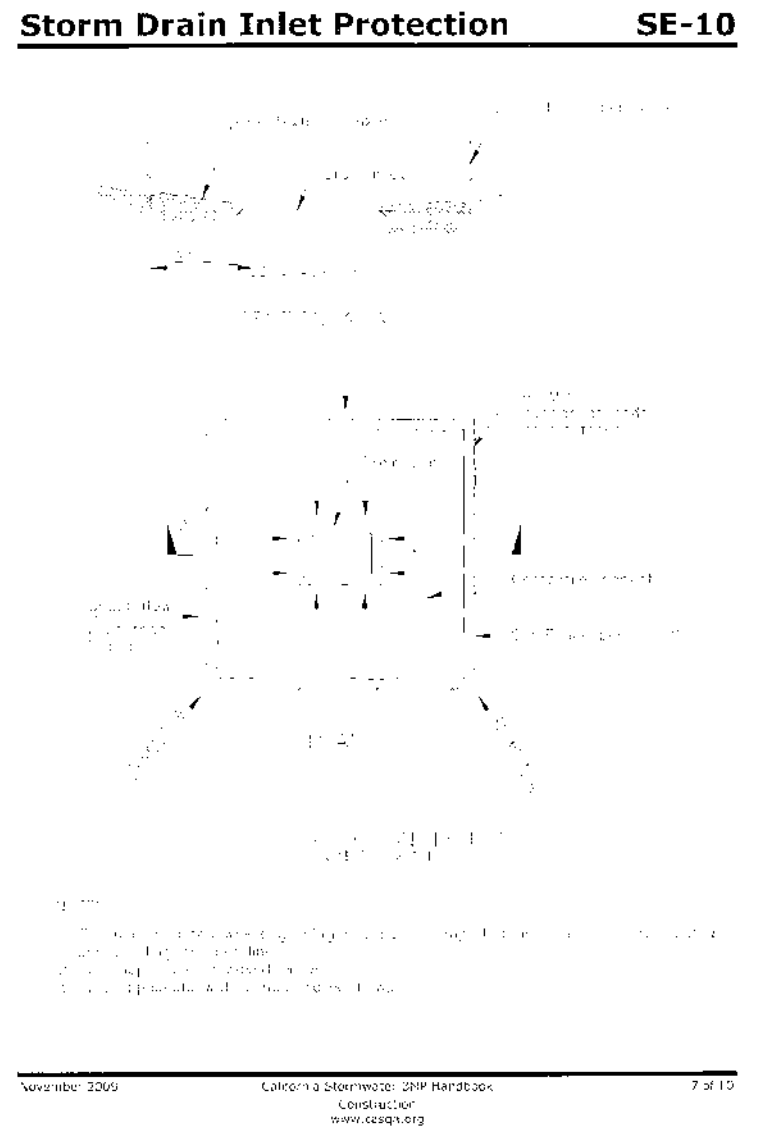
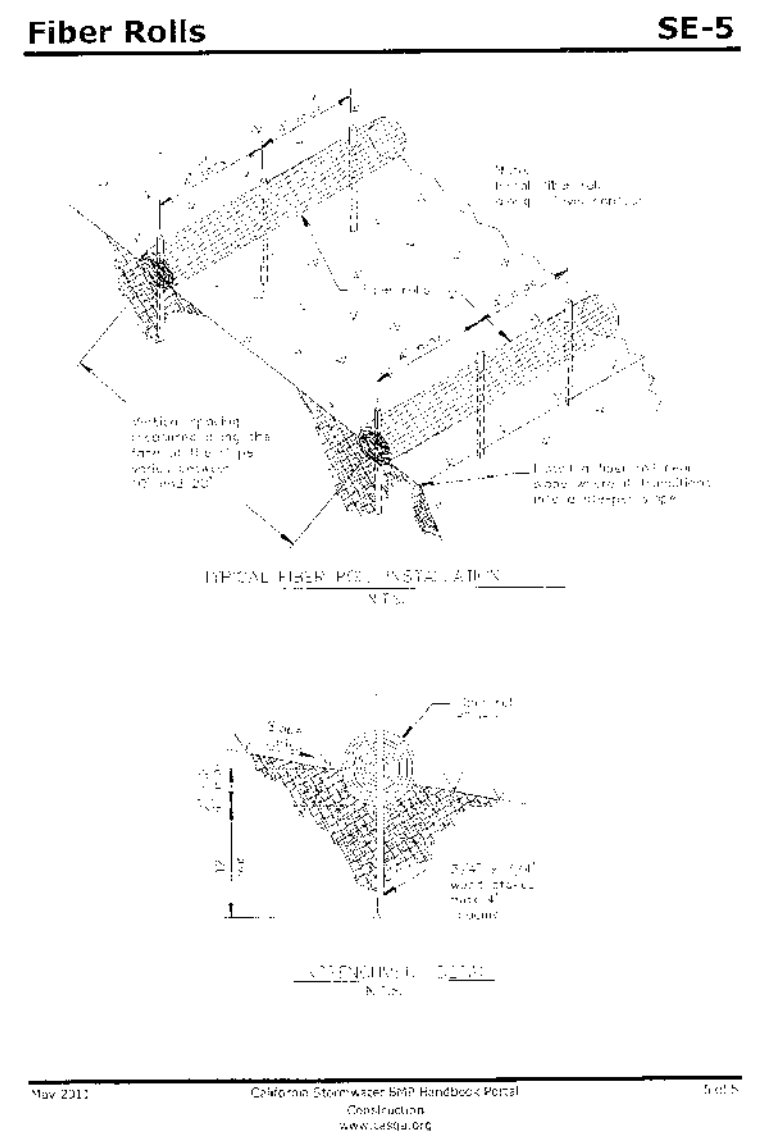
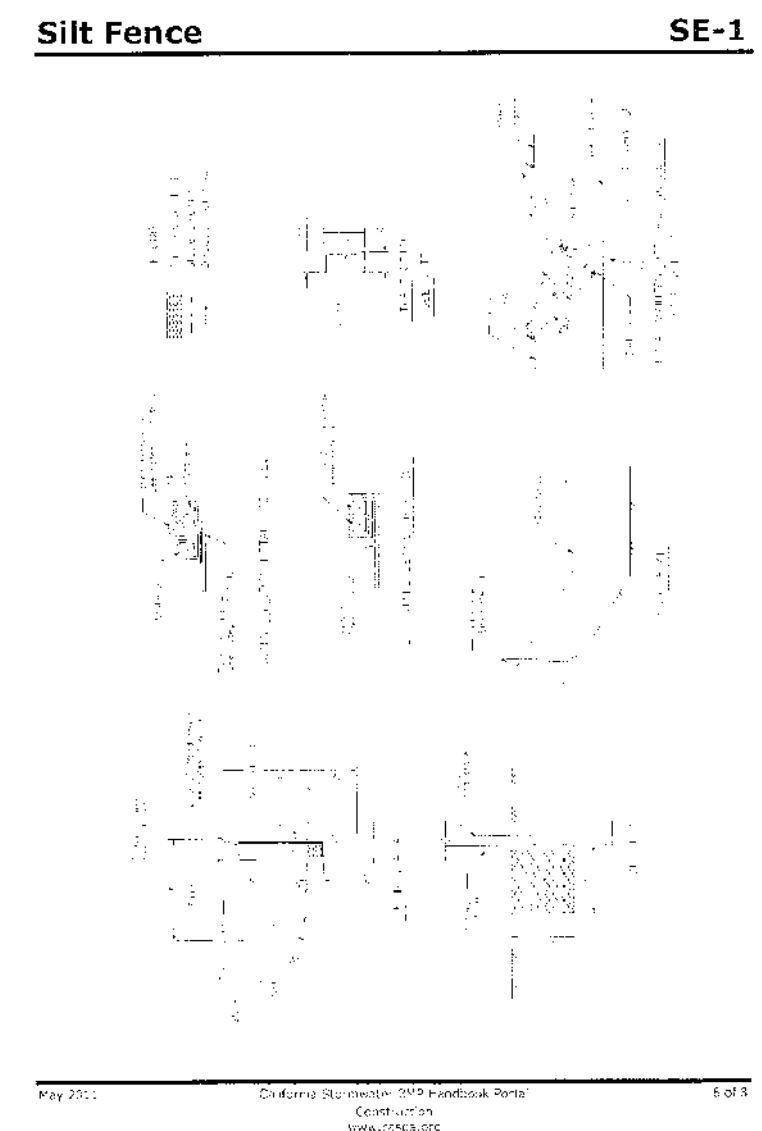


TABLE 1705.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.	—	X
2. Verify excavations are extended to proper depth and have reached proper materials.	—	X
3. Perform classification and testing of compacted fill materials.	—	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	—
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	—	X

APPROVED BY:

GUY R. GIRAUDO

PROFESSIONAL ENGINEER # 17400  
 CIVIL  
 No. 58669  
 Exp. 06-06-14

LANDSET ENGINEERS, INC.  
 5208 Crazy Horse Canyon Road  
 Salinas, California 93907  
 Office (831) 443-6970 Fax (831) 443-3801  
 www.landseteng.com

"EROSION & SEDIMENT CONTROL PLAN"

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

LOMBARDO RESIDENCE

A.P.N.: 010-012-017

CARMEL BY THE SEA, MONTEREY COUNTY, CALIFORNIA

MR. & MRS. ANTHONY & SUSAN LOMBARDO

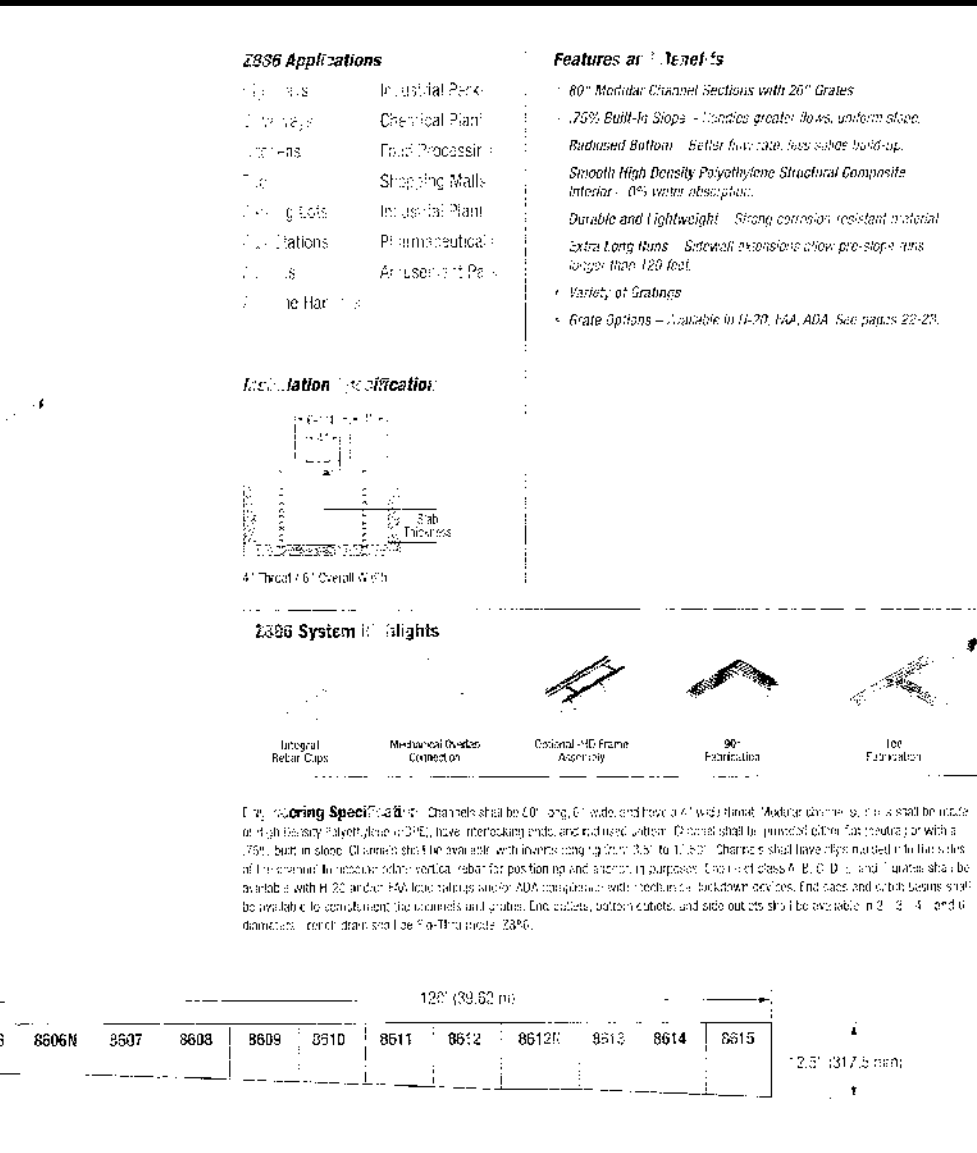
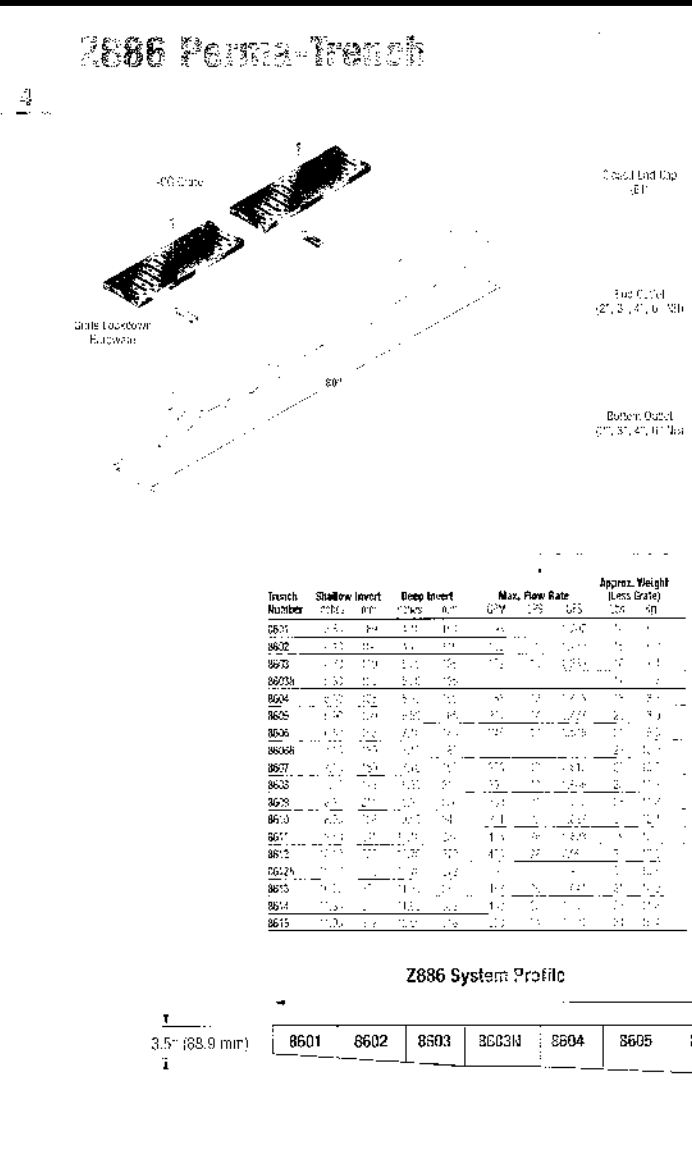
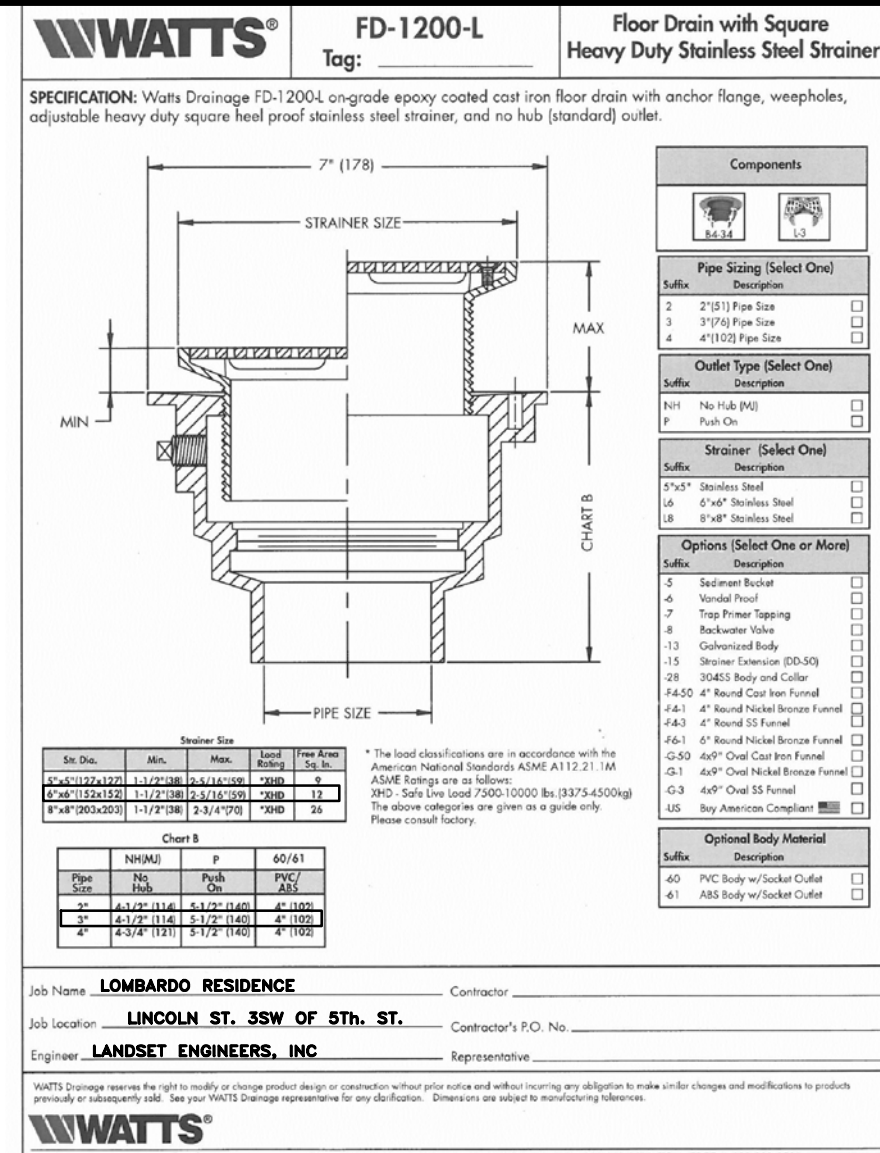
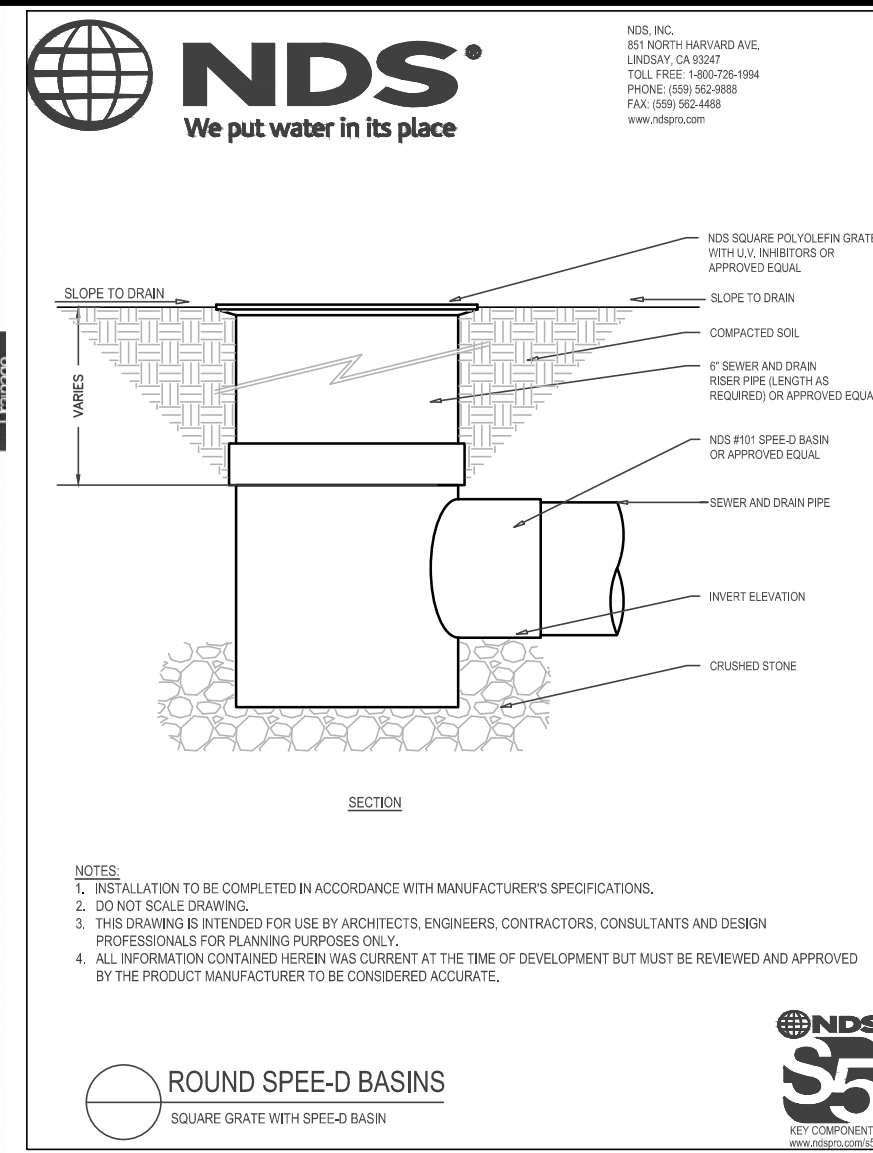
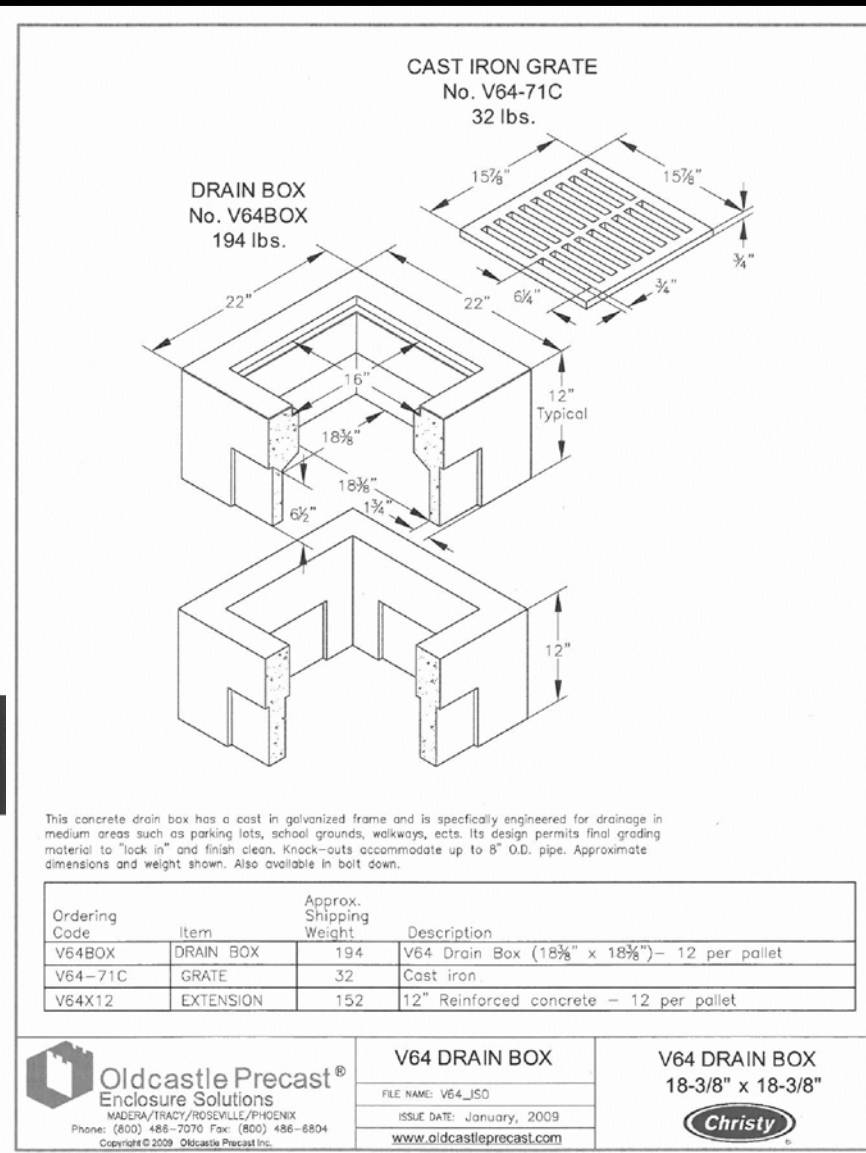
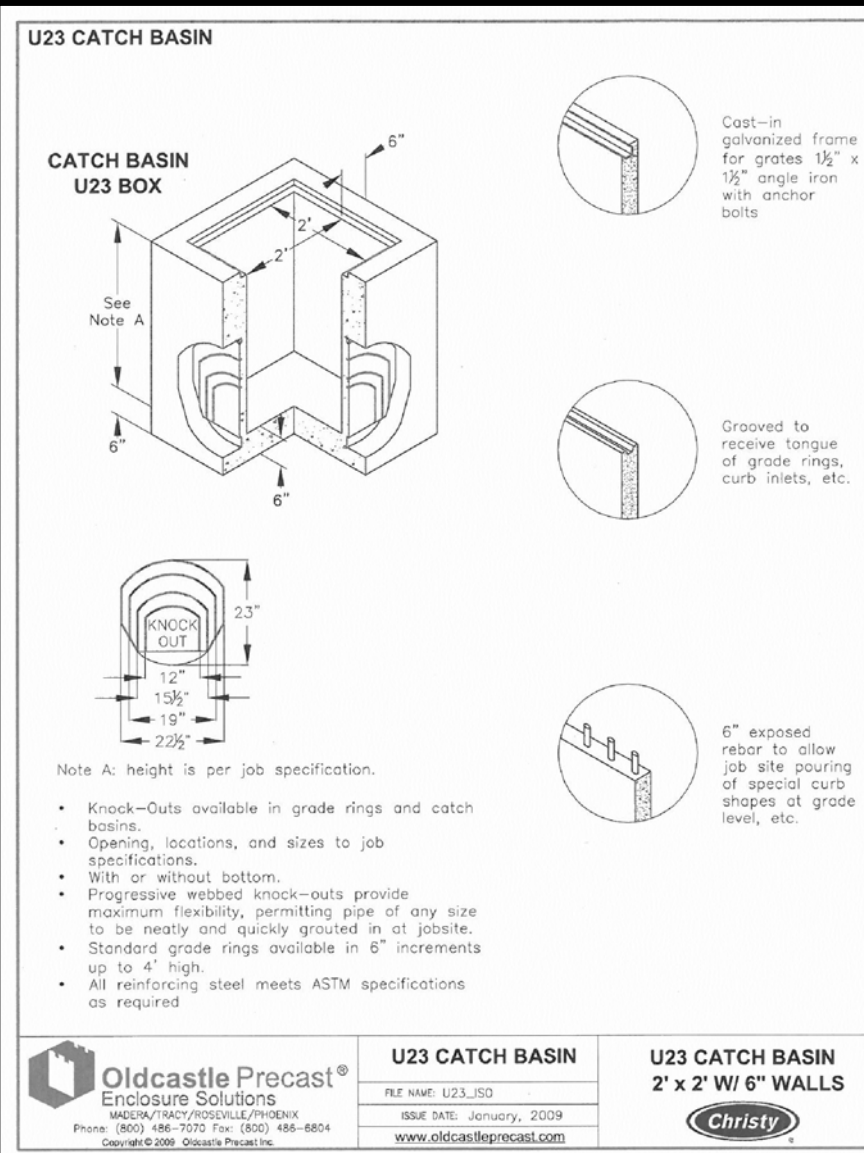
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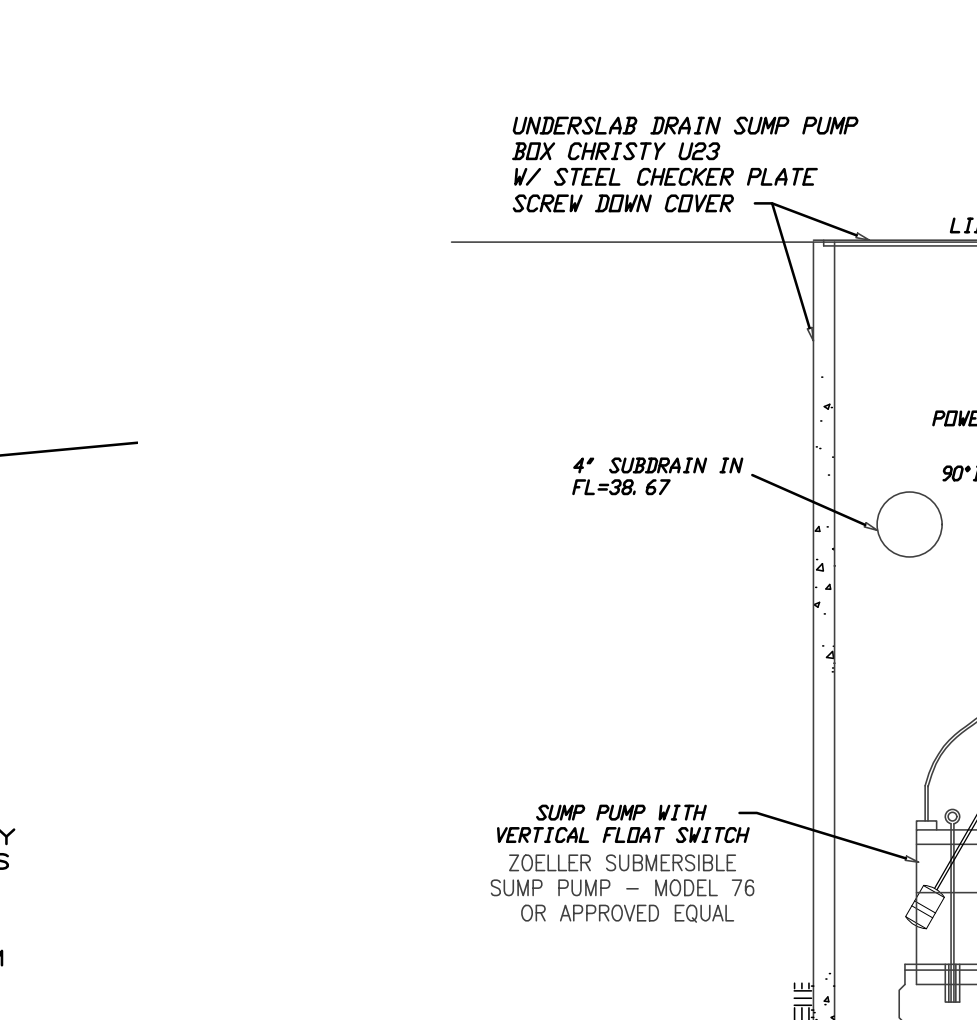
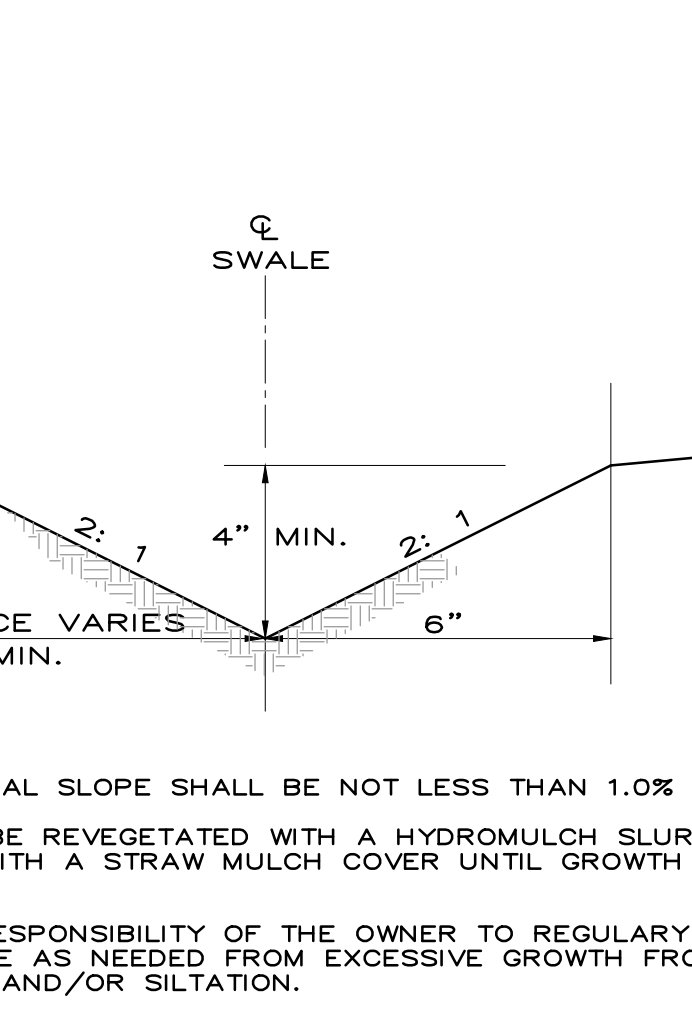
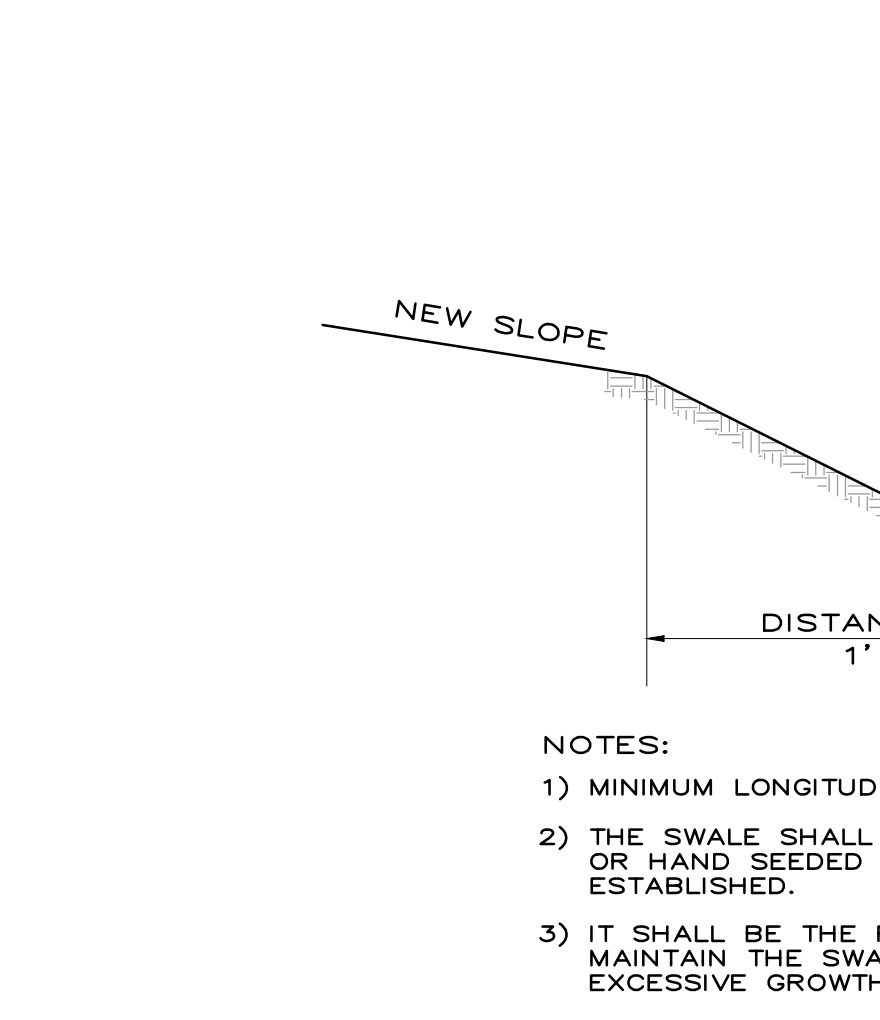
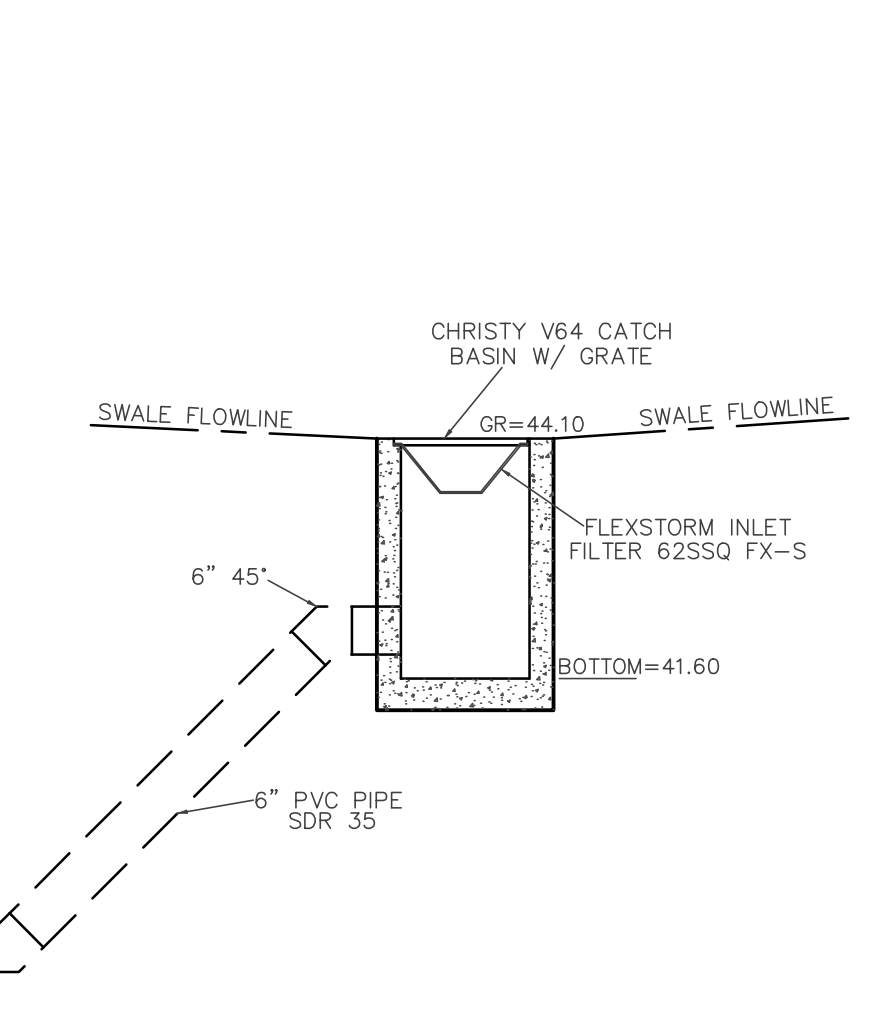
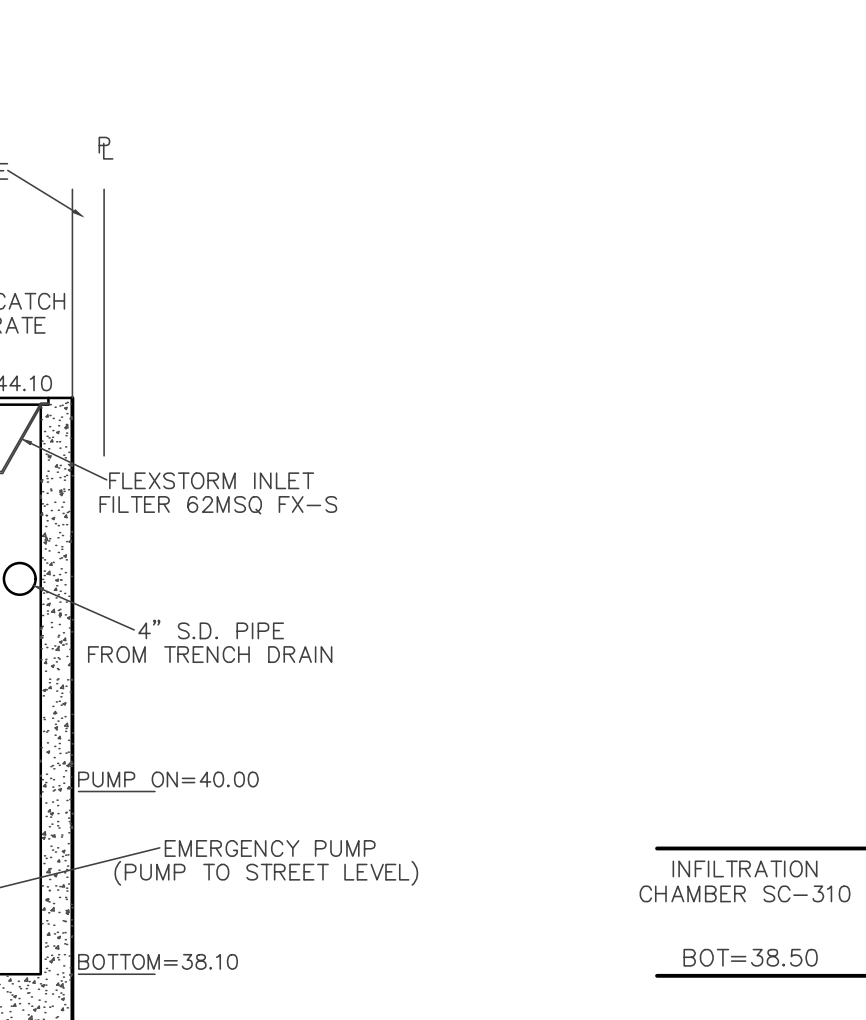
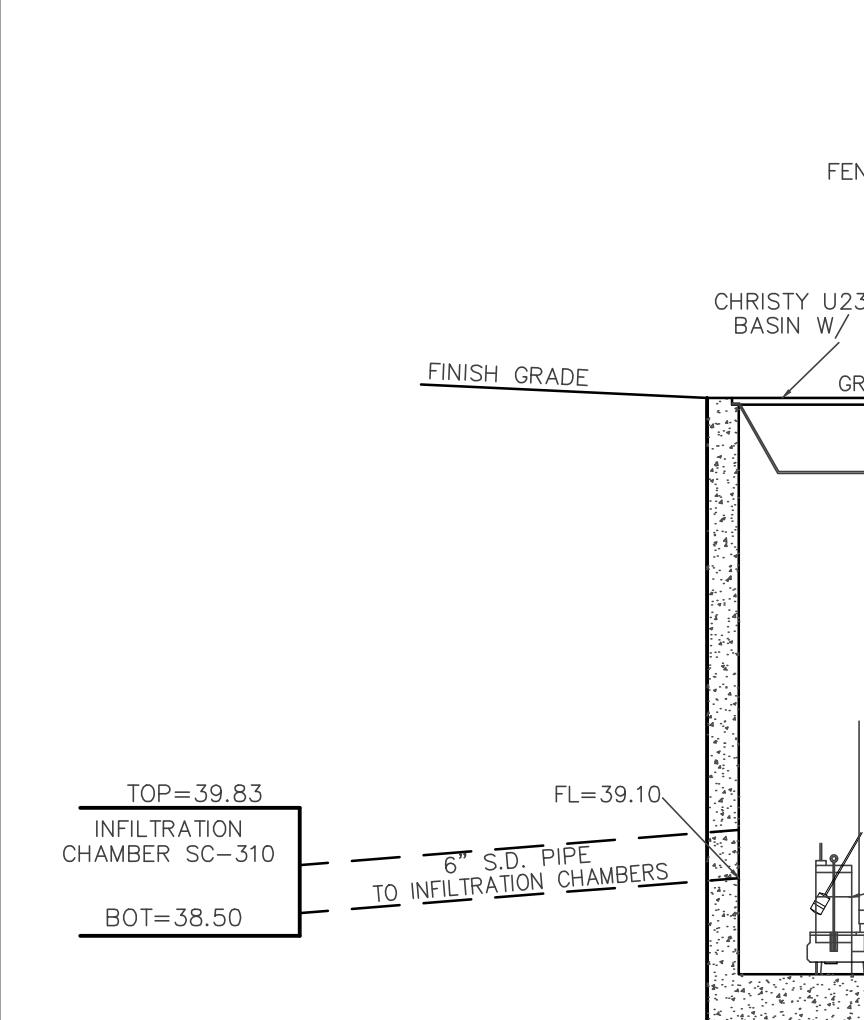
OF 7 SHEETS

No. DATE BY RELEASED TO CLIENT REVISION





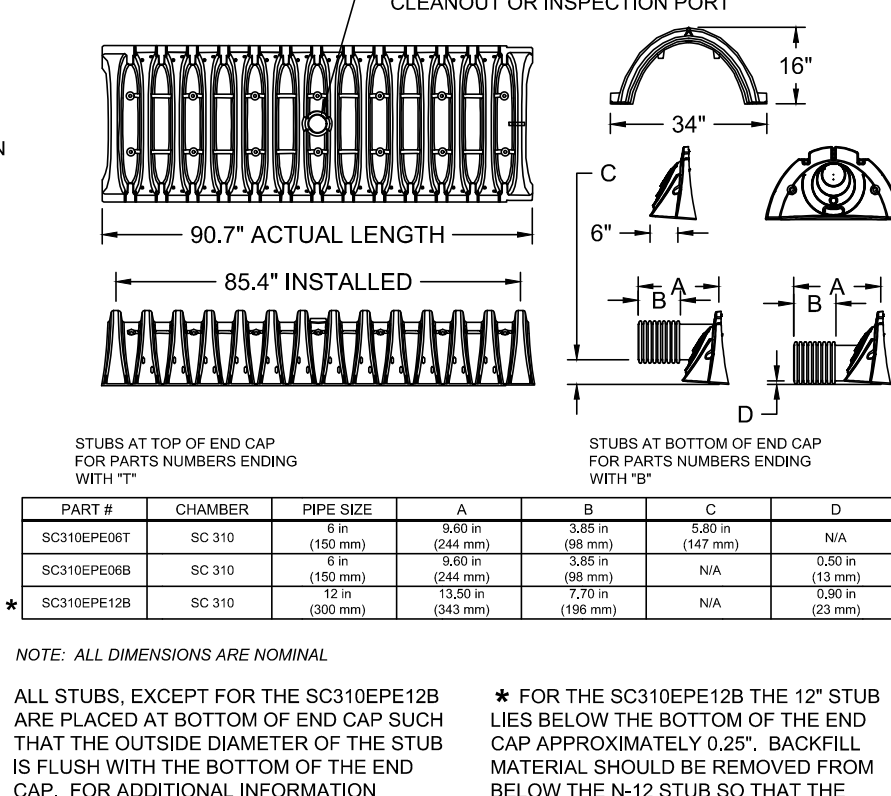
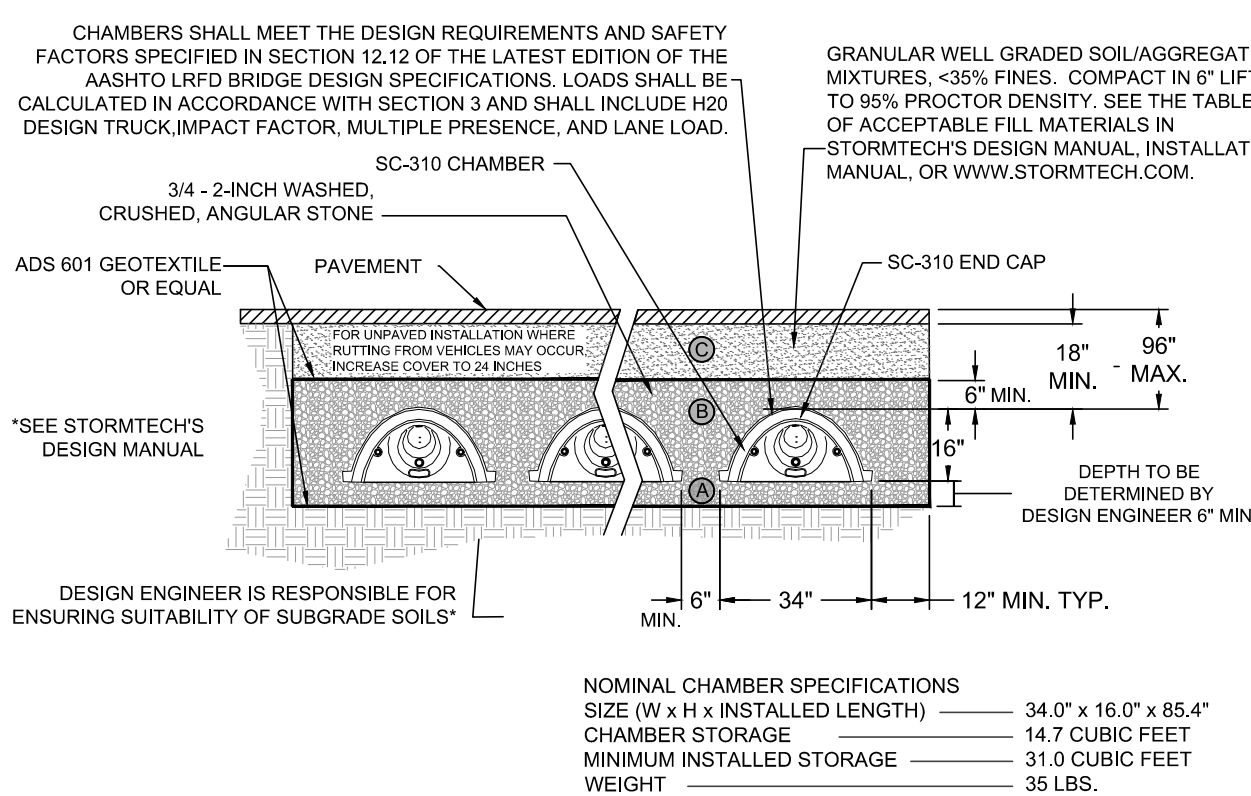
**STORAGE SIZING:**  
SQUARE FOOTAGE OF NEW IMPERVIOUS: TOTAL AREA = 1,435 SF  
**COEFFICIENT 'C':**  
C=1.0  
**INTENSITY:**  
85TH PERCENTILE = 0.8 IN = 0.067 FT  
**VOLUME REQ'D:**  
Q=CIA  
Q=(1.0)(0.067FT)(1,435 SF) = 96 CF  
**INFILTRATION SYSTEM VOLUME PROVIDED:**  
STORMTECH SC-310  
31 C.F. PER CHAMBER  
USING 3 CHAMBERS W/6" BASE = 93 C.F.  
USING 3 CHAMBERS W/8" BASE = 101 C.F.



**INFILTRATION SYSTEM BASINS**  
NOT TO SCALE

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
FILL MATERIAL FROM 18" TO GRADE ABOVE CHAMBERS	ANY SOIL/ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
FILL MATERIAL FOR 6" TO 18" ELEVATION ABOVE CHAMBERS (24" FOR UNPAVED INSTALLATIONS)	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1, A-2, A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.



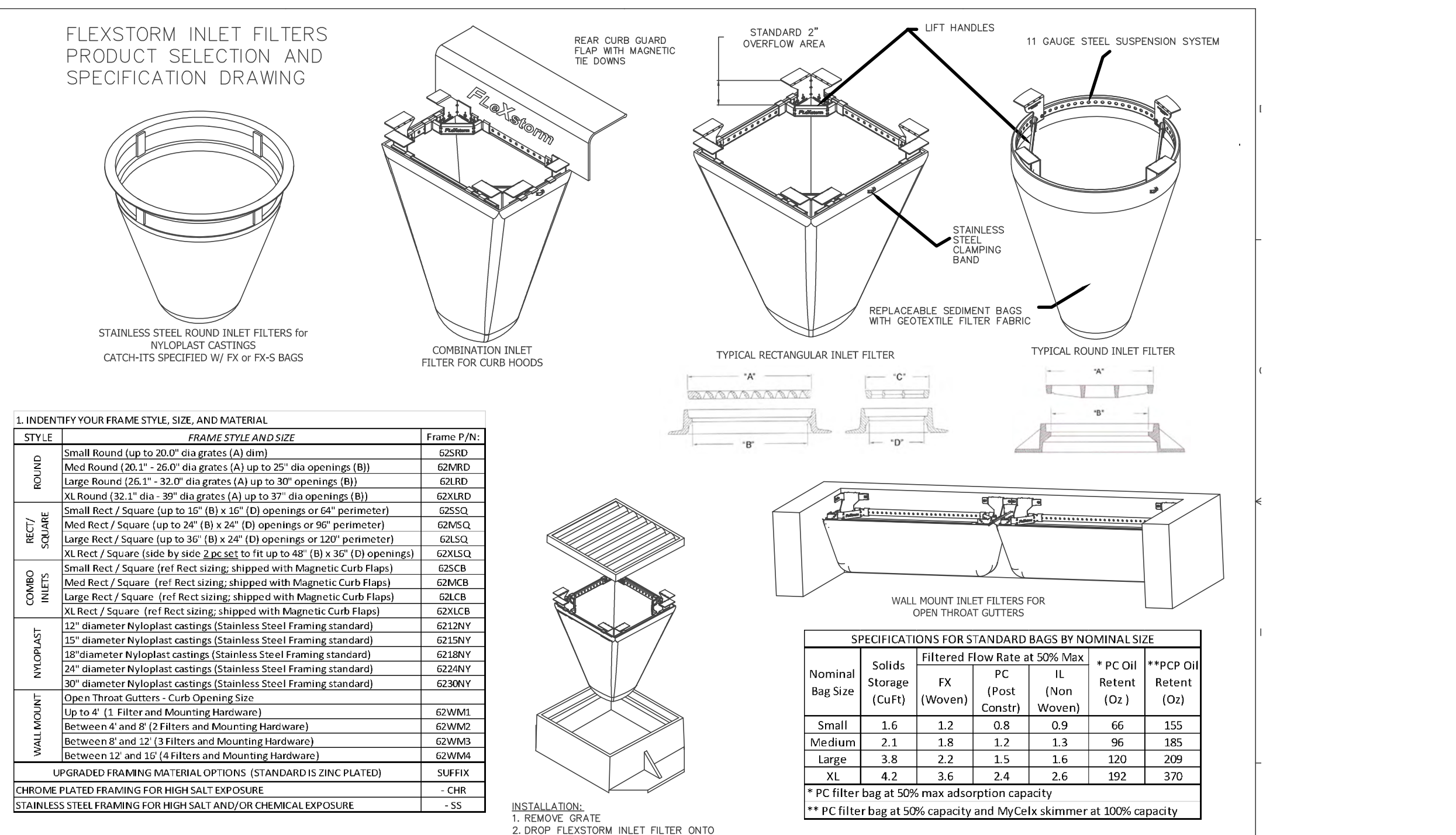
PART #	CHAMBER	PIPE SIZE	A	B	C	D
SC310EP12B	SC 310	(160 mm)	(100 mm)	(100 mm)	(147 mm)	N/A
SC310EP6B	SC 310	(160 mm)	(140 mm)	(100 mm)	N/A	(100 mm)
SC310EP8B	SC 310	(200 mm)	(140 mm)	(150 mm)	N/A	(100 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL. ALL STUBS, EXCEPT FOR THE SC310EP12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-982-0264.

**INFILTRATION CHAMBERS**

**EARTH DRAINAGE SWALE**  
NOT TO SCALE

**UNDERSLAB DRAIN LIFT STATION**  
NOT TO SCALE



IDENTIFY YOUR FRAME STYLE, SIZE, AND MATERIAL	FRAME STYLE AND SIZE	Frame P/N
ROUND	Small Round (up to 20.0" dia. grates (A) dim)	62S80
	Med Round (20.1" - 26.0" dia. grates (A) up to 15.0" dia. openings (B))	62S80
RECTANGULAR	Large Round (26.1" - 32.0" dia. grates (A) up to 30.0" openings (B))	62S80
	XS Round (32.1" dia. - 39.0" dia. grates (A) up to 37.0" dia. openings (B))	62S80
	Small Rect / Square (up to 18" (B) x 18" (D) openings or 64" perimeter)	62S50
CONCRETE	Med Rect / Square (up to 24" (B) x 24" (D) openings or 96" perimeter)	62S50
	Large Rect / Square (up to 36" (B) x 24" (D) openings or 120" perimeter)	62S50
W/4" FRAME	XL Rect / Square (side by side 2-pc. set to fit up to 48" (B) x 36" (D) openings)	62LSQ
	Small Rect / Square (ref. Rect sizing; shipped with Magnetic Curb Flaps)	62C6
INDEPENDENT	Med Rect / Square (ref. Rect sizing; shipped with Magnetic Curb Flaps)	62C6
	Large Rect / Square (ref. Rect sizing; shipped with Magnetic Curb Flaps)	62C6
	12" diameter Nyloplast castings (Stainless Steel Framing standard)	62S9Y
	15" diameter Nyloplast castings (Stainless Steel Framing standard)	62S9Y
	18" diameter Nyloplast castings (Stainless Steel Framing standard)	62S9Y
W/4" FRAME	Open Throat Gutters - Curb Opening Size (up to 11.5" Filter and Mounting Hardware)	62M6L
	Open Throat Gutters - Curb Opening Size (Between 12" and 15.5" Filters and Mounting Hardware)	62M6M
CHROME PLATED FRAMING FOR HIGH SALT EXPOSURE	12" diameter Nyloplast castings (Stainless Steel Framing standard)	62S9Y
	15" diameter Nyloplast castings (Stainless Steel Framing standard)	62S9Y
STAINLESS STEEL FRAMING FOR HIGH SALT AND/OR CHEMICAL EXPOSURE	12" diameter Nyloplast castings (Stainless Steel Framing standard)	62S9Y
	15" diameter Nyloplast castings (Stainless Steel Framing standard)	62S9Y

3. CREATE YOUR FLEXSTORM INLET FILTER PART NUMBER  
FLEXFORMER BAGS (2" depth) 62S9Y Clean Water Flow Rate (GPM) Mr. A.D.S. (60 S.F.)  
FLEXFORMER BAGS (2" depth) 62S9Y Clean Water Flow Rate (GPM) Mr. A.D.S. (60 S.F.)  
FLEXFORMER BAGS (2" depth) 62S9Y Clean Water Flow Rate (GPM) Mr. A.D.S. (60 S.F.)  
FLEXFORMER BAGS (2" depth) 62S9Y Clean Water Flow Rate (GPM) Mr. A.D.S. (60 S.F.)

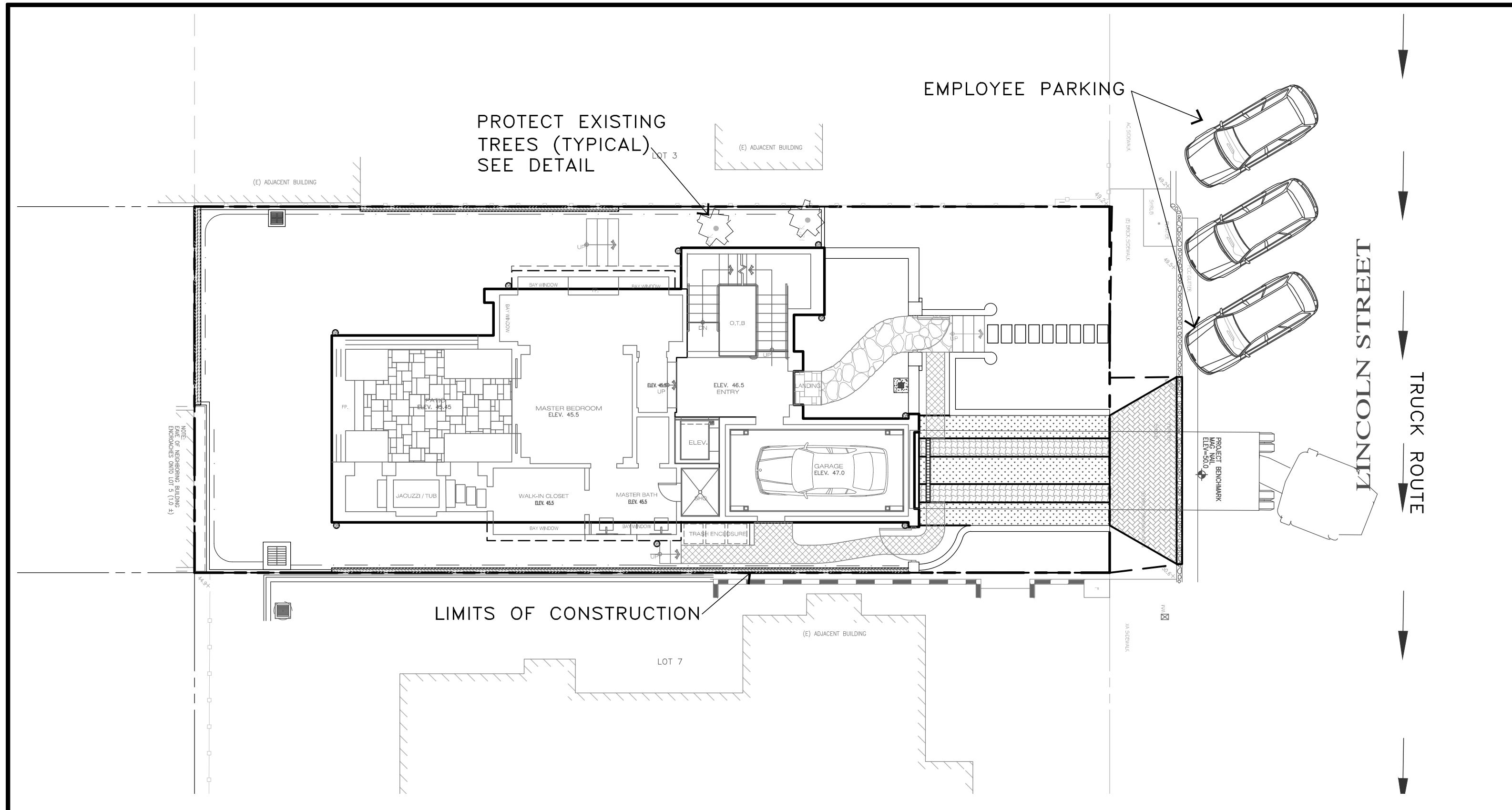
ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. DISTRIBUTED BY ADS WWW.INLETFILTERS.COM (866) 287-8655 PH (530) 355-3477 FX INFO@INLETFILTERS.COM  
FRAME P/N from Step 2  
Framing Material  
FLEXSTORM\_SPECS

**"STANDARD PLANS & CONSTRUCTION DETAILS"**  
**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
OF  
**LOMBARDO RESIDENCE**  
A.P.N.: 010-212-017  
FOR  
**CARMEL BY THE SEA, MONTEREY COUNTY, CALIFORNIA**  
MR. & MRS. ANTHONY & SUSAN LOMBARDO

**LANDSET ENGINEERS, INC.**  
5208 Crazy Horse Canyon Road  
Sausalito, California 94967  
Office (831) 443-6970 Fax (831) 443-3801  
www.landseteng.com

APPROVED BY:  
**GUY R. GIRAUDO**  
PROFESSIONAL ENGINEER - CIVIL  
No. 56866  
Exp. 06-30-10  
REVISIONISTS "STAY UP!"

SCALE: AS SHOWN  
DATE: DEC. 2017  
JOB NO. 1750-01  
SHEET **C7**  
OF 7 SHEETS  
12/29/17 AMS RELEASED TO CLIENT  
No. DATE BY REVISION



**PLAN**  
SCALE: 1"=10'

**SITE GRADING:**  
THE PROPOSED GRADING INCLUDES APPROXIMATELY 625 CY OF CUT.

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR AND GRUB, DEMOLITION
  - B. SITE GRADING
  - C. UTILITY INSTALLATION
  - D. CONSTRUCT STRUCTURE
  - E. INSTALL PAVERS AND LANDSCAPING
  - F. SITE CLEANING, PUNCH LIST

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON LINCOLN STREET AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE CIVIL PLANS FOR EROSION CONTROL. SEE ARCHITECTURAL PLANS FOR DEMOLITION NOTES.

**HAUL ROUTES:**  
HAUL TRUCKS SHALL EXIT THE SITE FROM LINCOLN STREET. HAUL TRUCKS WILL EXIT THE SITE, TURNING SOUTH ON LINCOLN STREET THEN EAST ONTO 6TH AVENUE THEN SOUTH ONTO SAN CARLOS STREET. REFERENCE NEIGHBORHOOD TRUCK ROUTING PLAN, DETAIL B, (THIS SHEET). FLAGGERS SHALL BE STATIONED ON LINCOLN STREET AS TRUCKS BACK FROM THE PUBLIC RIGHT OF WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

**TRUCK STAGING AREA:**  
VEHICLES OR TRUCKS SHALL NOT QUEUE ON SITE. TRUCKS SHALL QUEUE ON RIO ROAD (SEE DETAIL B, THIS SHEET), AND WILL BE DIRECTED TO APPROACH THE SITE BY ONSITE PERSONNEL VIA RADIO OR PHONE.

**EMPLOYEE PARKING:**  
EMPLOYEES SHALL PARK ON-SITE WHENEVER POSSIBLE. EMPLOYEES SHALL USE PUBLIC PARKING ALONG 5TH AVENUE AND LINCOLN STREET AS NECESSARY, OBEYING ALL PARKING LAWS. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. SEE DETAIL B, PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

**LIMITS OF CONSTRUCTION:** ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

**NUMBER OF EMPLOYEES ONSITE PER DAY:** APPROXIMATELY 2-5

**NUMBER OF TRUCK TRIPS/DAY:** 5

**AMOUNT OF GRADING/DAY:** 80 C.Y.

**HOURS OF OPERATION/DAY:** WORK SHALL OCCUR MONDAY THROUGH FRIDAY. HOURS OF OPERATION SHALL BE 7AM TO 5PM. NO WORK SHALL OCCUR ON SATURDAYS, SUNDAYS AND HOLIDAYS.

**PROJECT SCHEDULING:** PROJECTED START DATE 16 APRIL 2018. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

**TRUCK TRIP GENERATION CHART:**

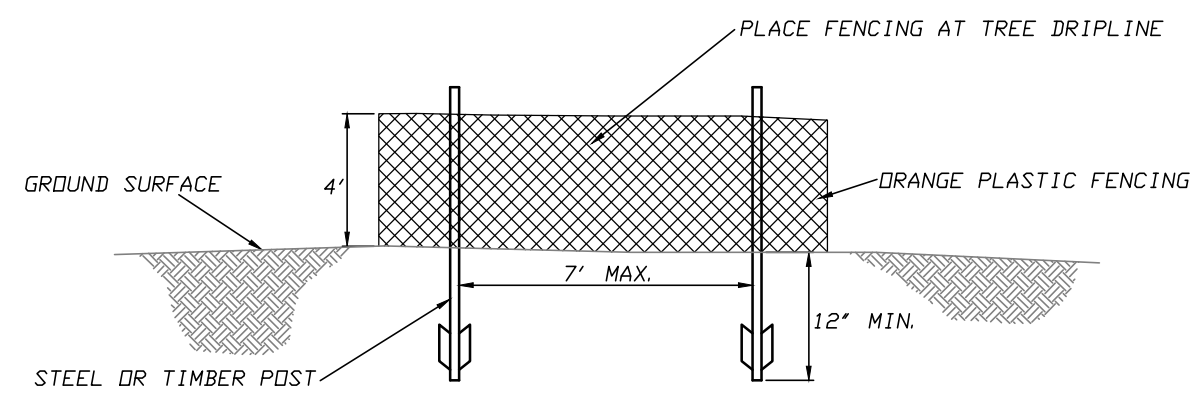
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	5	3
GRADING & SOIL REMOVAL (EXPORT)	39	8
ENGINEERING MATERIALS (IMPORT)	5	3
<b>TOTALS</b>	<b>49</b>	<b>14</b>

**TRUCK TRIP GENERATION NOTES:**

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 16 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
2. THERE ARE APPROXIMATELY 625 CUBIC YARDS OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED FROM THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 8 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 70 & 90 CUBIC YARDS.

**HOURS OF OPERATION/DAY:** 10  
**DAYS OF OPERATION:** MONDAY THRU FRIDAY  
**TIME OF OPERATION:** 7:00 A.M. - 5:00 P.M.

**PROJECT SCHEDULING:** PROJECTED START DATE IS 16 APRIL 2018. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

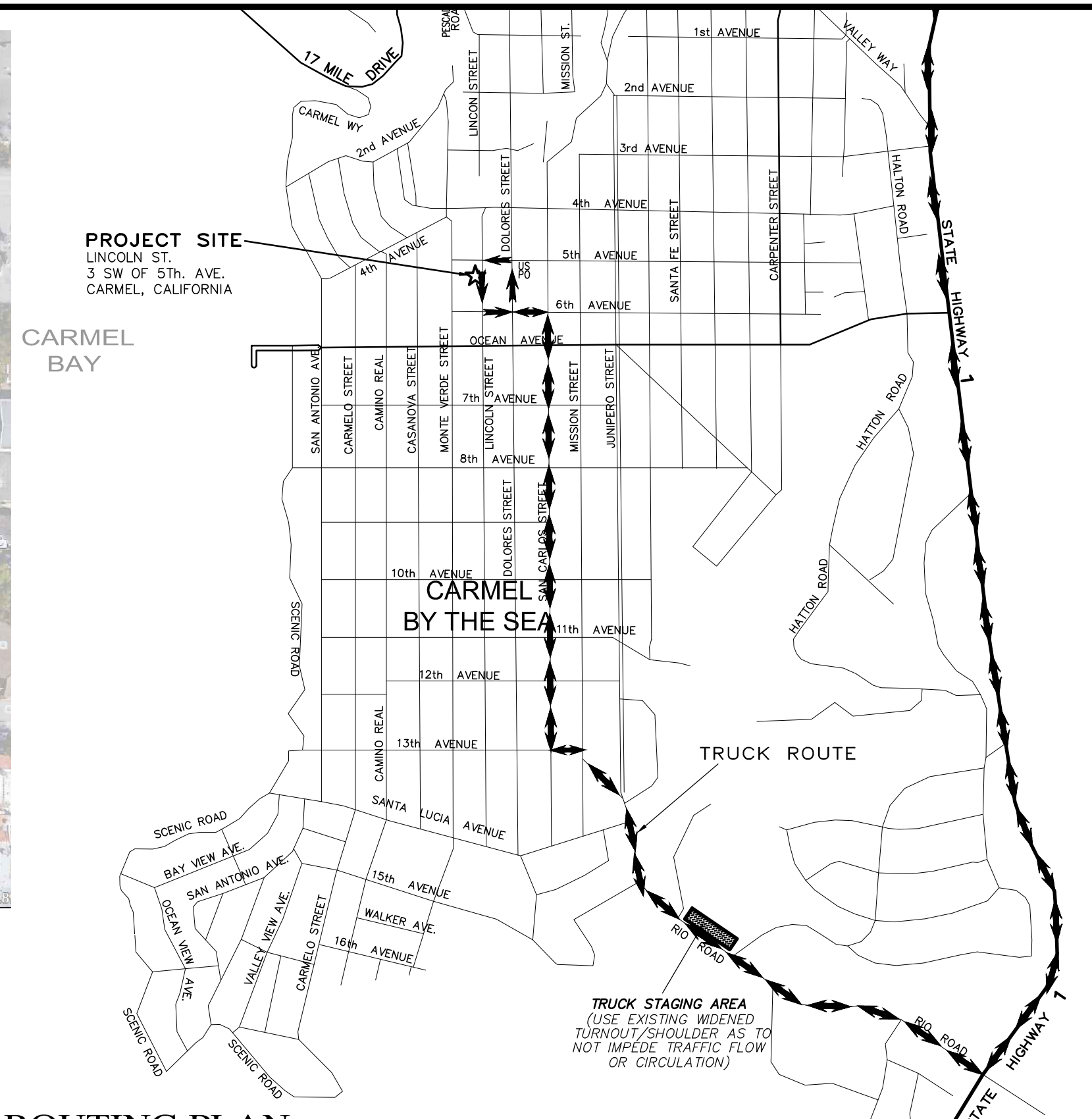


**FENCING (ESA) DETAIL**  
Scale: NTS

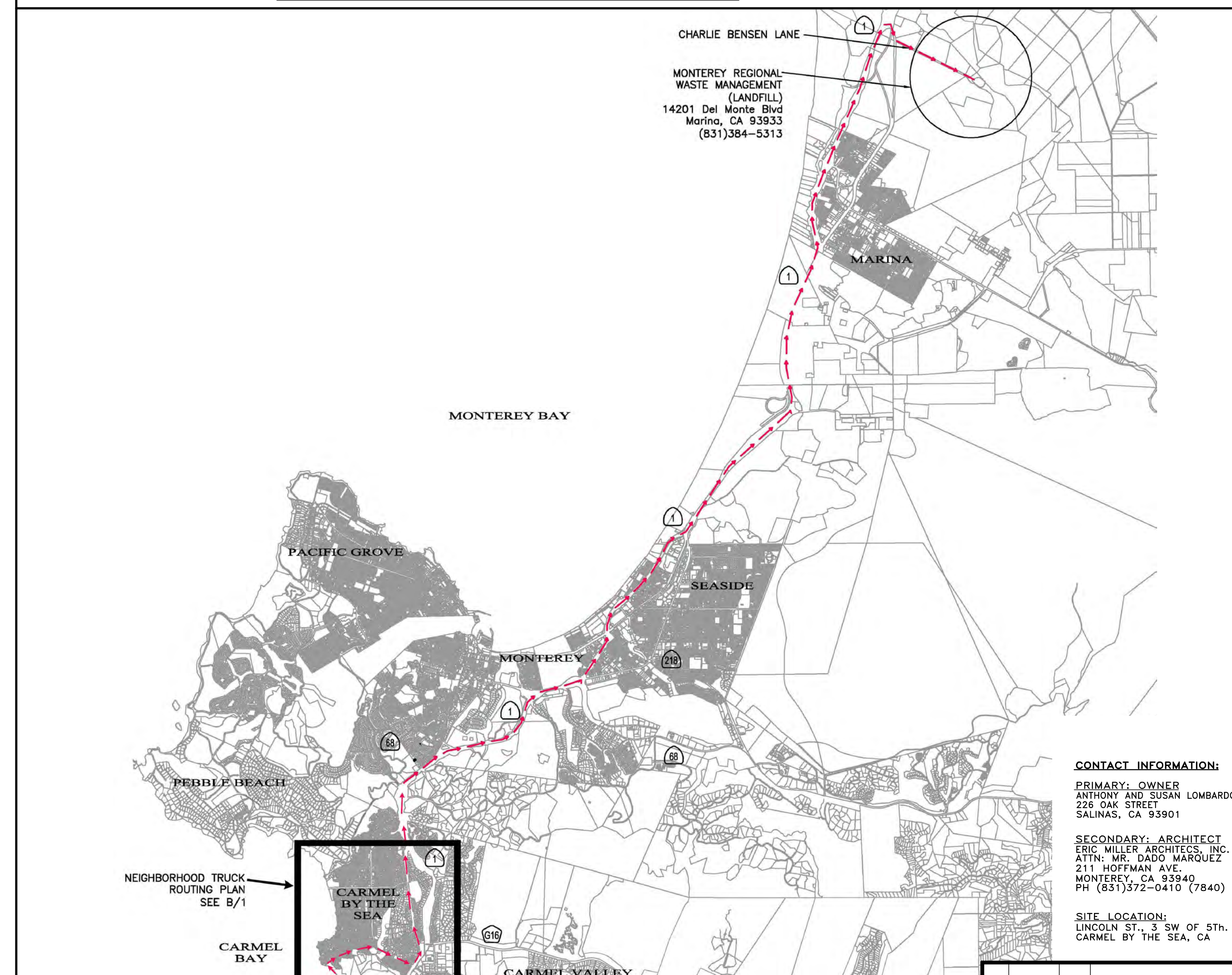
**A CONSTRUCTION STAGING PLAN**  
SCALE: 1"=30'



**SITE DETAIL**



**B NEIGHBORHOOD TRUCK ROUTING PLAN**



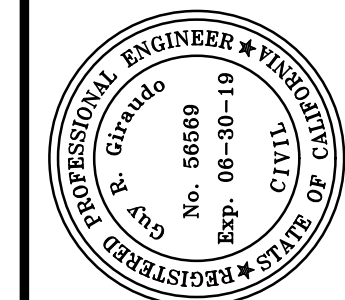
**CONTACT INFORMATION:**

**PRIMARY: OWNER**  
ANTHONY AND SUSAN LOMBARDO  
226 OAK STREET  
SALINAS, CA 93901

**SECONDARY: ARCHITECT**  
ERIC MILLER ARCHITECTS, INC.  
ATTN: MR. DADO MARQUEZ  
211 HOFFMAN AVE.  
MONTEREY, CA 93940  
PH (831)372-0410 (7840)

**SITE LOCATION:**  
LINCOLN ST., 3 SW OF 5TH AVE  
CARMEL BY THE SEA, CA

No.	DATE	BY	REVISION
12/29/17	AMS	RELEASED TO CLIENT	



APPROVED BY:  
GUY R. GIRAUDO



**CONSTRUCTION MANAGEMENT PLAN**  
OF  
**LOMBARDO RESIDENCE**  
A.P.N.: 010-212-017  
CARMEL BY THE SEA, MONTEREY COUNTY, CALIFORNIA  
MR. & MRS. ANTHONY & SUSAN LOMBARDO

SCALE: 1"=5'  
DATE: DEC. 2017  
JOB NO. 1750-01  
SHEET **C1**  
OF 7 SHEETS