

YONEKURA RESIDENCE

CARMELO 3 SW OF 7TH - LOT 9

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SMITH
ARCHITECT, INC.

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93950

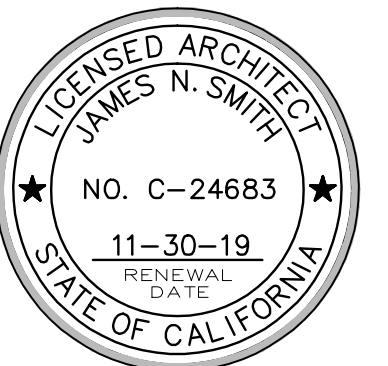
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PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



SHEET TITLE

COVER SHEET

ISSUE REVISIONS

1 04-16-19
SUBMITTAL-TWO STORY ADD-LOT 9

2 09-24-19
PLANN'G RESUB-CONTEMP VERSION

DATE

PROJECT NUMBER

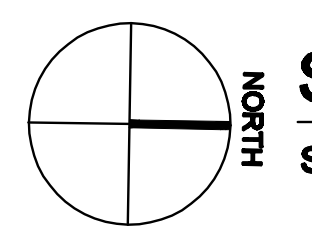
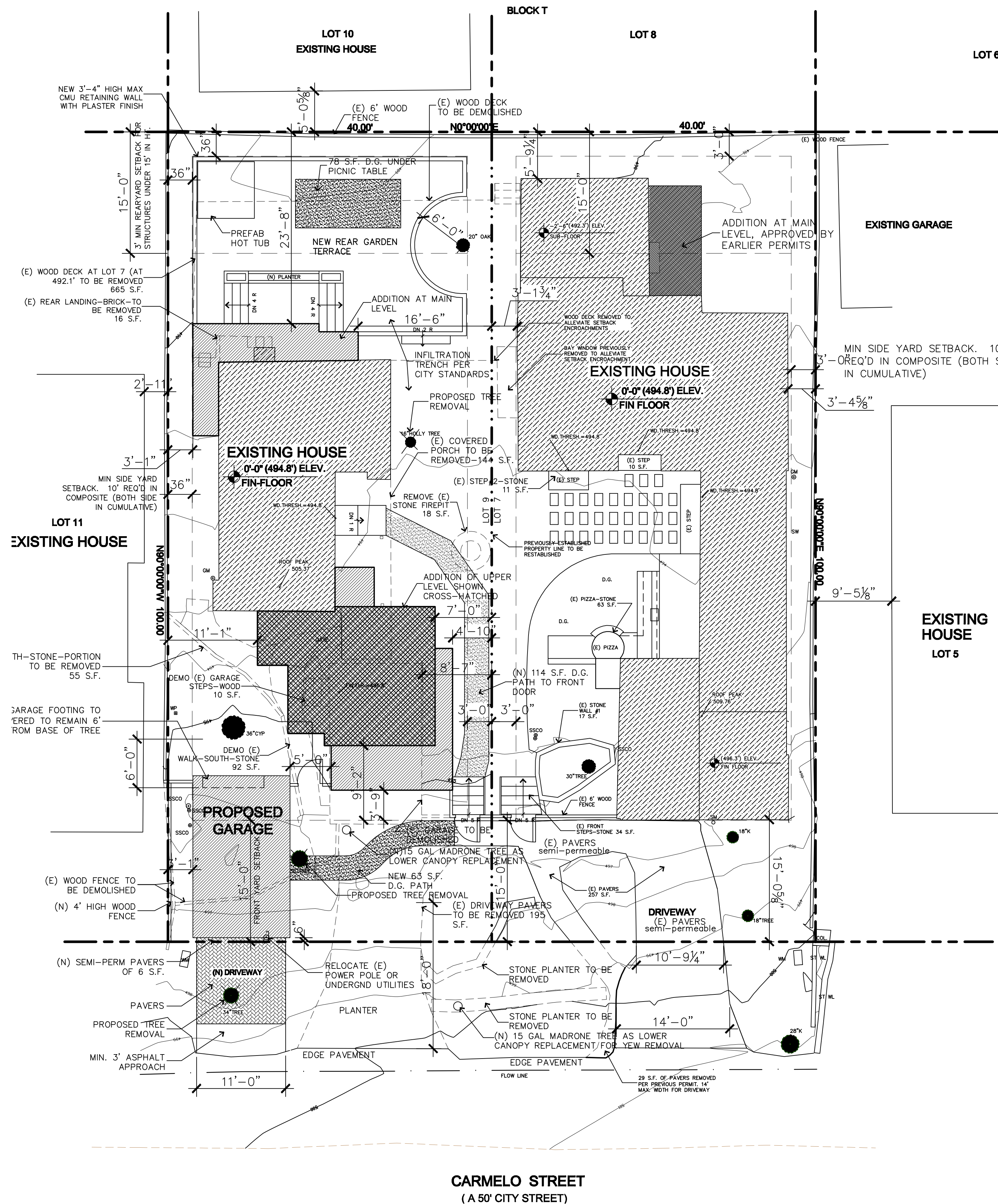
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ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

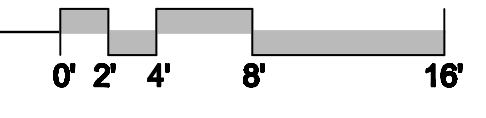
GENERAL NOTES	ABBREVIATIONS	DRAWING INDEX	PROJECT INFORMATION																																																																																																																																																																																																	
<p>1. EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK.</p> <p>2. CONTRACTOR SHALL PROVIDE THE ARCHITECT, JAMES N. SMITH, AND GLEN YONEKURA, WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK.</p> <p>3. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, AND FEES. HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS NECESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.)</p> <p>4. CONTRACTOR SHALL PROTECT OWNER'S PROPERTY AND IMPROVEMENTS, NEW AND/OR EXISTING MATERIALS, AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.</p> <p>5. MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW FOR EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL. ALL NON-SPECIFIED PRODUCTS SHALL CONFORM TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PRIOR TO PURCHASE OR INSTALLATION.</p> <p>6. ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITION(S) OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY THE CITY OF CARMELO AND MONTEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.</p> <p>7. DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF FINISH (F.O.F.), FACE OF STUD (F.O.S.), OR FACE OF COLUMN (F.O.C.), UNLESS OTHERWISE NOTED TO BE THE CENTER LINE OF MULLION, PARTITION, OR COLUMN, ETC.</p> <p>8. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO ANY START OF WORK.</p> <p>9. ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK THAT IS CONTINUED, COVERED UP OR COMPLETED WITHOUT SAID CLARIFICATION SHALL BE AT GENERAL OR SUB- CONTRACTOR'S RISK OF REPAIR, REPLACEMENT OR REWORKING AT HIS OWN EXPENSE.</p> <p>10. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.</p> <p>11. THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED.</p> <p>12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.</p> <p>13. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING PERMITTED "JOB COPY" SET(S) AND A COPY OF THE SOILS REPORT BY _____ DATED _____ ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN.</p> <p>14. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.</p> <p>15. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.</p> <p>16. ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</p> <p>17. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR AND INCLUDED IN HIS BID.</p> <p>18. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.</p> <p>19. CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.</p> <p>20. TREES ADJACENT TO STRUCTURES AND OVER DRIVEWAYS SHALL BE TRIMMED TO CLEAR STRUCTURES AND PROVIDE 15' CLEARANCE OVER DRIVES. PROTECT OTHER TREES DURING CONSTRUCTION (SEE FOREST MGT. PLAN). TREES TO BE REMOVED SHALL INCLUDE REMOVAL OF ALL ROOT STRUCTURES AND CONTRACTOR SHALL COORDINATE WITH OWNER FOR POSSIBLE STACKING OF CUT WOOD FOR FUTURE FIREPLACE WOOD.</p>	<table border="1"><tr><td>EXIST'G</td><td>EXISTING</td><td>G.W.B.</td><td>GYP-SUM WALLBOARD</td></tr><tr><td>(E)</td><td>EXISTING</td><td>N.I.C.</td><td>NOT IN CONTRACT</td></tr><tr><td>A.B.</td><td>ANCHOR BOLT</td><td>N.T.S.</td><td>NOT TO SCALE</td></tr><tr><td>APPROX</td><td>APPROXIMATE</td><td>O.C.</td><td>ON CENTER</td></tr><tr><td>BD.</td><td>BOARD</td><td>O.D.</td><td>OUTSIDE DIAMETER</td></tr><tr><td>BLK.</td><td>BLOCK</td><td>PLYWD.</td><td>PLYWOOD</td></tr><tr><td>CAB.</td><td>CABINET</td><td>R.O.</td><td>ROUGH OPENING</td></tr><tr><td>CLR.</td><td>CLEAR</td><td>SIM.</td><td>SIMILAR</td></tr><tr><td>CONC.</td><td>CONCRETE</td><td>S.S.D.</td><td>SEE STRUCTURAL DRAWINGS</td></tr><tr><td>CONT.</td><td>CONTINUOUS</td><td>T&G</td><td>TONGUE AND GROOVE</td></tr><tr><td>D.S.</td><td>DOWNSPOUT</td><td>T.O.P.</td><td>TOP OF PLATE</td></tr><tr><td>F.O.C.</td><td>FACE OF CONCRETE</td><td>TYP.</td><td>TYPICAL</td></tr><tr><td>F.O.S.</td><td>FACE OF STUDS</td><td>U.N.O.</td><td>UNLESS OTHERWISE NOTED</td></tr><tr><td>F.O.F.</td><td>FACE OF FINISH</td><td>V.I.F.</td><td>VERIFY IN FIELD (PROJECT OR WORK SITE)</td></tr><tr><td>GALV.</td><td>GALVANIZED</td><td>V.W.O.</td><td>VERIFY WITH OWNER</td></tr><tr><td>G.I.</td><td>GALVANIZED IRON</td><td>W/O</td><td>WITHOUT</td></tr><tr><td>GYP.</td><td>GYP-SUM</td><td>WP.</td><td>WATERPROOF</td></tr></table>	EXIST'G	EXISTING	G.W.B.	GYP-SUM WALLBOARD	(E)	EXISTING	N.I.C.	NOT IN CONTRACT	A.B.	ANCHOR BOLT	N.T.S.	NOT TO SCALE	APPROX	APPROXIMATE	O.C.	ON CENTER	BD.	BOARD	O.D.	OUTSIDE DIAMETER	BLK.	BLOCK	PLYWD.	PLYWOOD	CAB.	CABINET	R.O.	ROUGH OPENING	CLR.	CLEAR	SIM.	SIMILAR	CONC.	CONCRETE	S.S.D.	SEE STRUCTURAL DRAWINGS	CONT.	CONTINUOUS	T&G	TONGUE AND GROOVE	D.S.	DOWNSPOUT	T.O.P.	TOP OF PLATE	F.O.C.	FACE OF CONCRETE	TYP.	TYPICAL	F.O.S.	FACE OF STUDS	U.N.O.	UNLESS OTHERWISE NOTED	F.O.F.	FACE OF FINISH	V.I.F.	VERIFY IN FIELD (PROJECT OR WORK SITE)	GALV.	GALVANIZED	V.W.O.	VERIFY WITH OWNER	G.I.	GALVANIZED IRON	W/O	WITHOUT	GYP.	GYP-SUM	WP.	WATERPROOF	SPECIAL INSPECTIONS <ol style="list-style-type: none">THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PADS AND FOUNDATION EXCAVATIONS PRIOR TO THE PLACEMENT OF REINFORCING BARS, AND SHALL SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTION AND POURING OF FOOTING.	PROJECT DESCRIPTION: <p>ADDITION TO KITCHEN AND UPPER FLOOR ADDED TO A NON HISTORIC ONE STORY S.F.R. DEMO (E) GARAGE AND ADD NEW DETACHED SINGLE CAR GARAGE INTO SETBACK. LOT SPLIT OF LOTS 7 & 9, TWO PREVIOUSLY SEPARATE LOTS</p> <p>PROJECT ADDRESS: CARMELO 3 SW OF 7TH CARMELO, CA. 93921</p> <p>PROJECT OWNER: NEXUS CAPITAL GROUP LLC 5150 EL CAMINO REAL, SUITE A30 LOS ALTOS, CA. 94022 (650) 386-6403</p> PLANNING INFORMATION <ul style="list-style-type: none">A.P.N. 010-268-003LEGAL DESCRIPTION: LOT 7 & 9 BLOCK TCITY OF CARMELO ZONING: R1MAX. ALLOWABLE BUILDING HEIGHTS: FIRST FLOOR ROOF HT.: 18' SECOND FLOOR ROOF HT.: 24'TREE REMOVAL: THREE TREES PER SEPARATE PERMITPARKING PROVIDED: COVERED/UNCOVERED: 1 COVERED/UNCOVERED: 1 PROJECT SQUARE FOOTAGE INFORMATION <p>BASE FLOOR AREA ALLOWED = 1,800 S.F.</p> EXISTING SQUARE FOOTAGE <table border="1"><tr><td>EXISTING LIVING</td><td>510 S.F.</td></tr><tr><td>(E) GARAGE</td><td>198 S.F. (MIN 200 S.F. GARAGE COUNTED-LIVING AREA)</td></tr><tr><td>TOTAL (E) SQUARE FOOTAGE</td><td>708 S.F.</td></tr></table> <p>(E) MAIN FLR. LIVING = 510 S.F. (N) MAIN FLR. KITCHEN = 130 S.F. (N) MAIN FLR. BEDRM = 451 S.F. (N) SECOND FLOOR = 281 S.F. TOTAL LIVING = 1,372 S.F. (N) DETACHED GARAGE = 240 S.F. TOTAL PROPOSED SQ. FT. = 1,612 S.F. MAX. ALLOWED SQ. FT. = 1,800 S.F.</p> ALLOWED SITE COVERAGE = 396 S.F. (22% OF BFA) BONUS COVERAGE = 160 S.F. (SEMI-PERMEABLE PAVERS AT DRIVEWAY) TOTAL ALLOWABLE COVERAGE = 556 S.F. (REQUIRES 50% SEMI-PERMEABLE COVERAGE) EXISTING SITE COVERAGE - LOT 9 <table border="1"><tr><td>(E) DRIVEWAY PAVERS</td><td>= 195 S.F.</td><td></td><td></td></tr><tr><td>(E) WALK-SOUTH-STONE</td><td>= 147 S.F.</td><td></td><td></td></tr><tr><td>(E) GARAGE STEPS-WOOD</td><td>= 10 S.F.</td><td></td><td></td></tr><tr><td>(E) REAR WOOD DECK</td><td>= 707 S.F.</td><td></td><td></td></tr><tr><td>(E) REAR LANDING-BRICK</td><td>= 18 S.F.</td><td></td><td></td></tr><tr><td>(E) COVERED PORCH</td><td>= 144 S.F.</td><td></td><td></td></tr><tr><td>(E) FIREPAT-STONE</td><td>= 18 S.F.</td><td></td><td></td></tr><tr><td>TOTAL EXISTING SITE COVERAGE</td><td>= 1,237 S.F.</td><td></td><td></td></tr></table> PROPOSED SITE COVERAGE - LOT 9 <table border="1"><thead><tr><th></th><th>SEMI-PERMEABLE/PERM.</th><th>NON-PERMEABLE</th></tr></thead><tbody><tr><td>(N) D.G. GARAGE PATH</td><td>63 S.F.</td><td></td></tr><tr><td>(N) MAIN DOOR LANDING</td><td>= 44 S.F.</td><td>44 S.F.</td></tr><tr><td>(N) FRONT DOOR D.G. PATH</td><td>= 114 S.F.</td><td></td></tr><tr><td>(N) PREFAB HOTTUB</td><td>= 49 S.F.</td><td>49 S.F.</td></tr><tr><td>(N) REAR RETAIN'G WALL/STEP</td><td>= 54 S.F.</td><td>54 S.F.</td></tr><tr><td>(N) REAR DR LANDG/STEPS</td><td>99 S.F.</td><td>99 S.F.</td></tr><tr><td>(N) REAR D.G. UNDER TABLE</td><td>78 S.F.</td><td>78 S.F.</td></tr><tr><td>(N) DRIVEWAY 6" SLIVER</td><td>6 S.F.</td><td></td></tr><tr><td>TOTAL PROPOSED SITE COVERAGE</td><td>= 507 S.F.</td><td></td></tr><tr><td>TOTAL EXISTING SITE COVERAGE</td><td>= 1,237 S.F.</td><td></td></tr><tr><td>SITE COVERAGE TO BE REMOVED</td><td>= 730 S.F.</td><td></td></tr><tr><td>TOTAL PROPOSED AREA</td><td>= 1,629 S.F.</td><td></td></tr><tr><td>(GREATER THAN 50%)</td><td>261 S.F.</td><td>246 S.F.</td></tr></tbody></table> EXISTING SITE COVERAGE - LOT 7 <table border="1"><thead><tr><th></th><th>SEMI-PERMEABLE/PERM.</th><th>NON-PERMEABLE</th></tr></thead><tbody><tr><td>(E) PAVEN DRIVEWAY</td><td>= 153 S.F.</td><td></td></tr><tr><td>(E) PAVEN FRONT WALK</td><td>= 104 S.F.</td><td></td></tr><tr><td>(E) WALL #1-STONE</td><td>= 17 S.F.</td><td>17 S.F.</td></tr><tr><td>(E) FRONT STEPS-STONE</td><td>= 34 S.F.</td><td>34 S.F.</td></tr><tr><td>(E) PIZZA-STONE</td><td>= 83 S.F.</td><td>83 S.F.</td></tr><tr><td>(E) PIZZA TERR-STONE</td><td>= 83 S.F.</td><td></td></tr><tr><td>(E) ENTRY STEP-STONE</td><td>= 10 S.F.</td><td>10 S.F.</td></tr><tr><td>(E) STEP #2-STONE</td><td>= 11 S.F.</td><td>11 S.F.</td></tr><tr><td>(E) REAR WOOD DECK</td><td>= 75 S.F.</td><td></td></tr><tr><td>(E) PAVEN STONES</td><td>= 45 S.F.</td><td>45 S.F.</td></tr><tr><td>30X1.5 S.F.</td><td></td><td></td></tr><tr><td>TOTAL EXISTING SITE COVERAGE</td><td>= 595 S.F.</td><td></td></tr><tr><td>TOTAL PROPOSED AREA</td><td>= 1,629 S.F.</td><td></td></tr><tr><td>(GREATER THAN 50%)</td><td>328 S.F.</td><td>180 S.F.</td></tr></tbody></table> REMOVED-AT DRIVEWAY = -12 S.F. REMOVED-REAR DECK = -75 S.F. TOTAL = 508 S.F. ALLOWABLE SITE COVERAGE = 556 S.F. (REQUIRES 50% SEMI-PERMEABLE COVERAGE)	EXISTING LIVING	510 S.F.	(E) GARAGE	198 S.F. (MIN 200 S.F. GARAGE COUNTED-LIVING AREA)	TOTAL (E) SQUARE FOOTAGE	708 S.F.	(E) DRIVEWAY PAVERS	= 195 S.F.			(E) WALK-SOUTH-STONE	= 147 S.F.			(E) GARAGE STEPS-WOOD	= 10 S.F.			(E) REAR WOOD DECK	= 707 S.F.			(E) REAR LANDING-BRICK	= 18 S.F.			(E) COVERED PORCH	= 144 S.F.			(E) FIREPAT-STONE	= 18 S.F.			TOTAL EXISTING SITE COVERAGE	= 1,237 S.F.				SEMI-PERMEABLE/PERM.	NON-PERMEABLE	(N) D.G. GARAGE PATH	63 S.F.		(N) MAIN DOOR LANDING	= 44 S.F.	44 S.F.	(N) FRONT DOOR D.G. PATH	= 114 S.F.		(N) PREFAB HOTTUB	= 49 S.F.	49 S.F.	(N) REAR RETAIN'G WALL/STEP	= 54 S.F.	54 S.F.	(N) REAR DR LANDG/STEPS	99 S.F.	99 S.F.	(N) REAR D.G. UNDER TABLE	78 S.F.	78 S.F.	(N) DRIVEWAY 6" SLIVER	6 S.F.		TOTAL PROPOSED SITE COVERAGE	= 507 S.F.		TOTAL EXISTING SITE COVERAGE	= 1,237 S.F.		SITE COVERAGE TO BE REMOVED	= 730 S.F.		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(E) REAR LANDING-BRICK	= 18 S.F.																																																																																																																																																																																																			
(E) COVERED PORCH	= 144 S.F.																																																																																																																																																																																																			
(E) FIREPAT-STONE	= 18 S.F.																																																																																																																																																																																																			
TOTAL EXISTING SITE COVERAGE	= 1,237 S.F.																																																																																																																																																																																																			
	SEMI-PERMEABLE/PERM.	NON-PERMEABLE																																																																																																																																																																																																		
(N) D.G. GARAGE PATH	63 S.F.																																																																																																																																																																																																			
(N) MAIN DOOR LANDING	= 44 S.F.	44 S.F.																																																																																																																																																																																																		
(N) FRONT DOOR D.G. PATH	= 114 S.F.																																																																																																																																																																																																			
(N) PREFAB HOTTUB	= 49 S.F.	49 S.F.																																																																																																																																																																																																		
(N) REAR RETAIN'G WALL/STEP	= 54 S.F.	54 S.F.																																																																																																																																																																																																		
(N) REAR DR LANDG/STEPS	99 S.F.	99 S.F.																																																																																																																																																																																																		
(N) REAR D.G. UNDER TABLE	78 S.F.	78 S.F.																																																																																																																																																																																																		
(N) DRIVEWAY 6" SLIVER	6 S.F.																																																																																																																																																																																																			
TOTAL PROPOSED SITE COVERAGE	= 507 S.F.																																																																																																																																																																																																			
TOTAL EXISTING SITE COVERAGE	= 1,237 S.F.																																																																																																																																																																																																			
SITE COVERAGE TO BE REMOVED	= 730 S.F.																																																																																																																																																																																																			
TOTAL PROPOSED AREA	= 1,629 S.F.																																																																																																																																																																																																			
(GREATER THAN 50%)	261 S.F.	246 S.F.																																																																																																																																																																																																		
	SEMI-PERMEABLE/PERM.	NON-PERMEABLE																																																																																																																																																																																																		
(E) PAVEN DRIVEWAY	= 153 S.F.																																																																																																																																																																																																			
(E) PAVEN FRONT WALK	= 104 S.F.																																																																																																																																																																																																			
(E) WALL #1-STONE	= 17 S.F.	17 S.F.																																																																																																																																																																																																		
(E) FRONT STEPS-STONE	= 34 S.F.	34 S.F.																																																																																																																																																																																																		
(E) PIZZA-STONE	= 83 S.F.	83 S.F.																																																																																																																																																																																																		
(E) PIZZA TERR-STONE	= 83 S.F.																																																																																																																																																																																																			
(E) ENTRY STEP-STONE	= 10 S.F.	10 S.F.																																																																																																																																																																																																		
(E) STEP #2-STONE	= 11 S.F.	11 S.F.																																																																																																																																																																																																		
(E) REAR WOOD DECK	= 75 S.F.																																																																																																																																																																																																			
(E) PAVEN STONES	= 45 S.F.	45 S.F.																																																																																																																																																																																																		
30X1.5 S.F.																																																																																																																																																																																																				
TOTAL EXISTING SITE COVERAGE	= 595 S.F.																																																																																																																																																																																																			
TOTAL PROPOSED AREA	= 1,629 S.F.																																																																																																																																																																																																			
(GREATER THAN 50%)	328 S.F.	180 S.F.																																																																																																																																																																																																		
BUILDING DEPARTMENT NOTES	SPECIAL INSPECTIONS	VICINITY MAP	PROJECT INFORMATION																																																																																																																																																																																																	
<p>1. NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.</p> <p>2. ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.</p> <p>3. NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.</p> <p>4. THE USE OF SOLDERS CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).</p> <p>5. PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.</p> <p>6. THE BUILDER/CONTRACTOR SHALL PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.</p> <p>7. GRADING PERMIT, IF REQUIRED, IS BY SEPARATE PERMIT.</p> <p>8. SPRINKLER SYSTEM, IF REQUIRED, TO BE PER SEPARATE PERMIT.</p> <p>9. RETAINING WALLS UNCONNECTED TO THE STRUCTURE(S), IF REQUIRED, ARE PER SEPARATE PERMIT.</p>	DEFERRED SUBMITTALS <ol style="list-style-type: none">CONTRACTOR TO SUBMIT GAS LINE SIZING FOR COUNTY & UTILITY APPROVAL BEFORE INSPECTION.TRUSS CALCS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY TRUSS INSPECTIONS. CALCS BY MANUFACTURER SHALL INCLUDE TRUSS PROFILES AND LAYOUT PLANS.THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAMP, SIGNATURE AND DATE) BY THE ENGINEER OF RECORD FOR DESIGN COMPATIBILITY. A CERTIFICATION LETTER FROM THE ENGINEER SHALL BE SENT TO THE BUILDING DEPARTMENT STATING THIS APPROVAL.THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE BUILDING DEPARTMENT.GLU-LAM CERTIFICATES SHALL BE COPIED TO THE BUILDING DEPARTMENT.NEW SITE RETAINING WALLS HAVE NOT BEEN REVIEWED UNDER THIS PERMIT. A SEPERATE PERMIT APPLICATION IS REQUIRED FOR ALL NEW RETAINING WALLS.		PROJECT DIRECTORY <ul style="list-style-type: none">PROPERTY OWNERS: NEXUS CAPITAL GROUP, LLC 5150 EL CAMINO REAL, STE. A30 LOS ALTOS, CA. 94022 CONTACT: GLEN YONEKURA (650) 385-6403ARCHITECT: JAMES N. SMITH, ARCHITECT, INC. 716 LIGHTHOUSE AVE. STE. C PACIFIC GROVE, CA. 93950 CONTACT PERSON: JAMES SMITH TEL. (831) 372-7251 FAX (831) 372-7252 EMAIL: JAMES@NSAIA.COMSTRUCTURAL / CIVIL ENGINEER: JERRY TAYLOR JRICE, INC. P.O. BOX 51697 PACIFIC GROVE, CA. 93950 CONTACT PERSON: JERRY TAYLOR TEL. (831) 372-5890 FAX (831) 372-5890 EMAIL: JRJTCE@ATT.NETCIVIL / SURVEYOR: RASMUSSEN LAND SURVEYORS 2400 GARDEN ROAD, SUITE A P.O. BOX 3135 MONTEREY, CA. 93942 CONTACT PERSON: ROGER RASMUSSEN TEL. (831) 375-7240 FAX (831) 375-2545 ROGER@RASMUSSENLAND.COMSOILS ENGINEER: GRICE ENGINEERING 561A BRUNKEN AVE. SALINAS, CA. 93901 CONTACT PERSON: SAM GRICE TEL. (831) 422-9619 FAX (831) 422-1896 SAM'S CELL (831) 594-7689 SAM'S EMAIL: SAMGR@SBOGLOBAL.NET JEFF OLMS (831) 594-4664 (FIELD TECH)TITLE 24 / MECHANICAL ENGINEER: MONTEREY ENERGY GROUP 227 FOREST AVENUE, SUITE #5 PACIFIC GROVE, CA. 93950 CONTACT PERSON: DAVID KNIGHT TEL. (831) 372-8328 FAX (831) 372-4613 EMAIL: DAVE@MEG4.COM																																																																																																																																																																																																	
GENERAL NOTES	ABBREVIATIONS	DRAWING INDEX	PROJECT INFORMATION																																																																																																																																																																																																	

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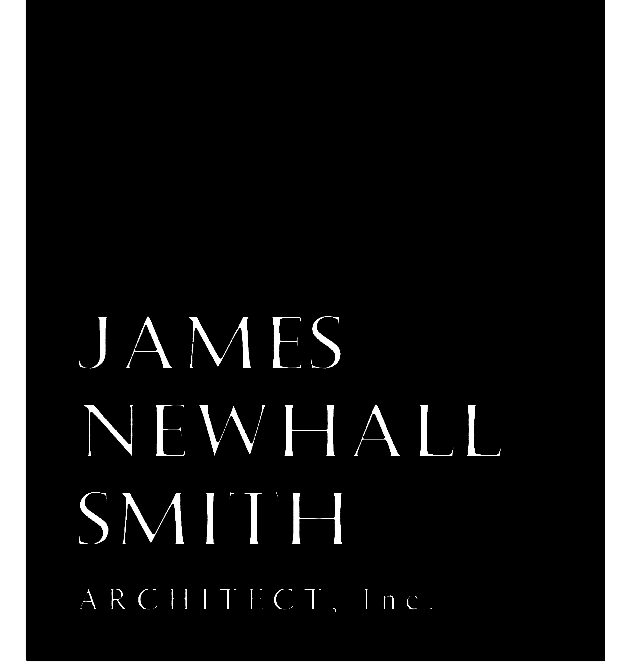
SITE PLAN

SCALE: 1/8"=1'-0"



GENERAL SITE PLAN NOTES

1. CONTRACTOR TO COORDINATE ALL NEW UTILITY INSTALLATIONS WITH UTILITY COMPANIES AND BUILDING DEPARTMENT(S).
2. CONTRACTOR TO VERIFY ADEQUACY OF ALL (E) UTILITIES. ALL SUBSTANDARD SERVICES SHALL BE REPLACED/UPGRADED AS NECESSARY TO COMPLY WITH CURRENT CODES AND ORDINANCES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PROPERTY CORNERS AND HOUSE LAYOUT RELATIVE TO SETBACKS BY LICENSED SURVEYOR PRIOR TO BUILDING FORMWORK OR POURING CONCRETE. CONTRACTOR SHALL COORDINATE WITH MONTEREY COUNTY.
4. RETAINING WALLS REQUIRING A BUILDING PERMIT ARE BY SEPARATE PERMIT, UNLESS NOTED OTHERWISE.
5. THE LOCATION, TYPE AND SIZE OF ALL ANTENNAS, SATELLITE DISHES OR TOWERS, AND SIMILAR APPURTENANCES SHALL BE APPROVED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
6. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISH INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.
7. TOPOGRAPHICAL (EXISTING) AND OTHER SURVEY INFORMATION REPRESENTED HEREIN IS AS PROVIDED BY RASMUSSEN LAND SURVEYING ON 02-25-2016, JOB #13032.
8. REFER TO GEOTECHNICAL REPORT FOR ALL GRADING AND FOUNDATION RECOMMENDATIONS. IF REQUIRED, GEOTECHNICAL ENGINEER SHALL INSPECT GRADING AND TRENCHING FOR FOOTINGS PRIOR TO PLACEMENT OF FORMWORK OR CONCRETE.



716 LIGHTHOUSE AVE
PACIFIC GROVE, CA.
93950

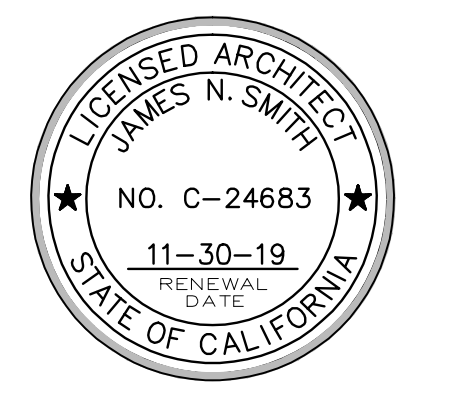
TEL: 831.372-7251
FAX: 831.372-7252
CEL: 831.915-9518

PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



SHEET TITLE

SITE PLAN

ISSUE	REVISIONS
① 04-16-19	SUBMITTAL-TWO STORY ADD-LOT 9
② 09-24-19	PLANN'G RESUB-CONTEMP VERSION
○	
○	
○	
△	
△	

DATE

PROJECT NUMBER

SHEET NUMBER

A1.0

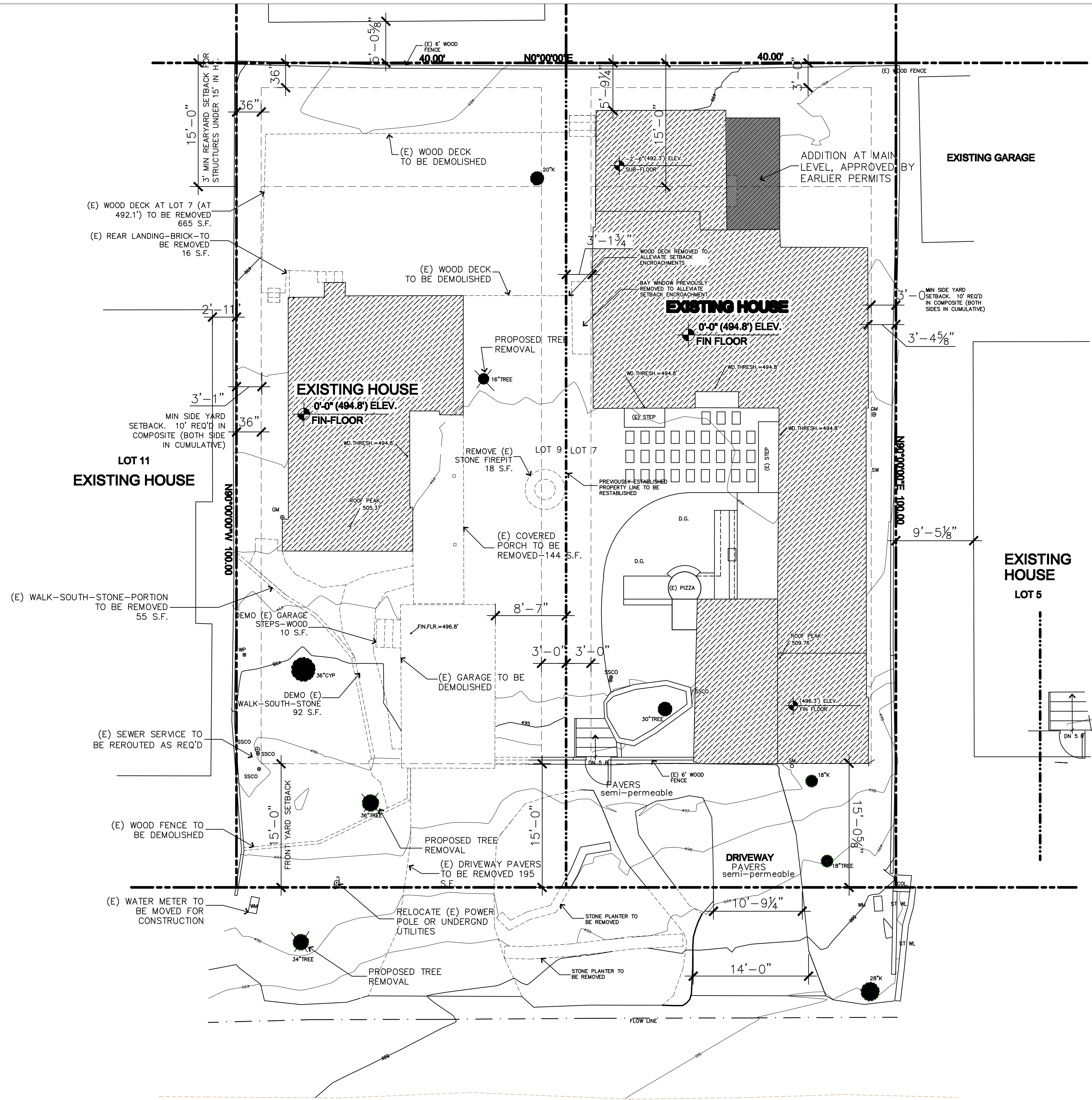


DAL TOLL FREE 1-800-227-2600 AT LEAST TWO DAYS BEFORE YOU DIG

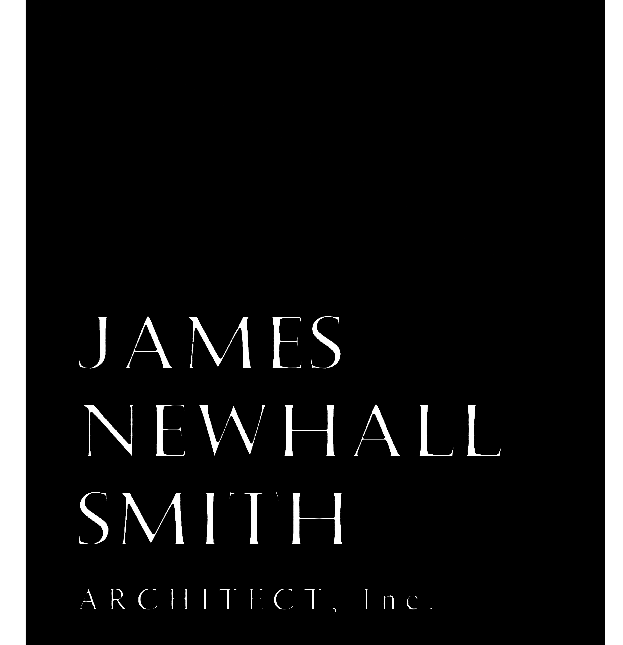
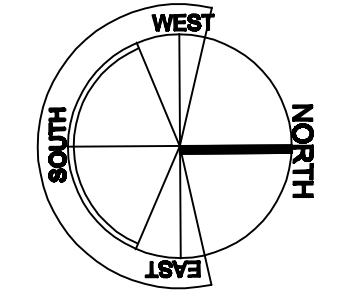
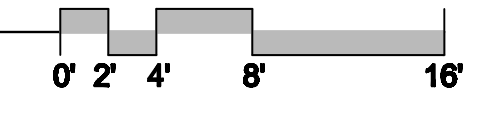
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DEMO SITE PLAN NOTES

1. ASBESTOS SURVEY MUST BE CONDUCTED PRIOR TO ANY DEMOLITION
2. NOTIFY AIR RESOURCES BOARD IF STRUCTURAL MEMBERS ARE REMOVED AND/OR PER THEIR REQUIREMENTS
3. NO DEMO OR OTHER WORK ON NORTHERLY LOT 7 UNDER THIS PERMIT



SITE PLAN - DEMO
SCALE: 1/8"=1'-0"

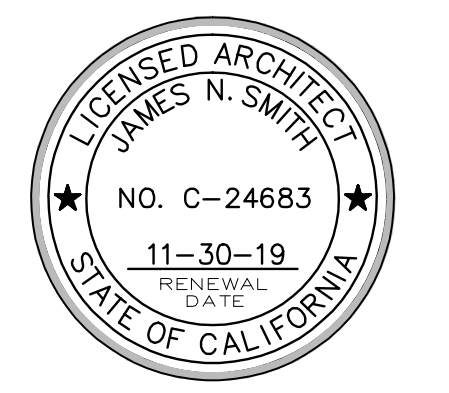


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PACIFIC GROVE, CA.
93950

TEL: 831.372-7251
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PROJECT/CLIENT
CARMELO
LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



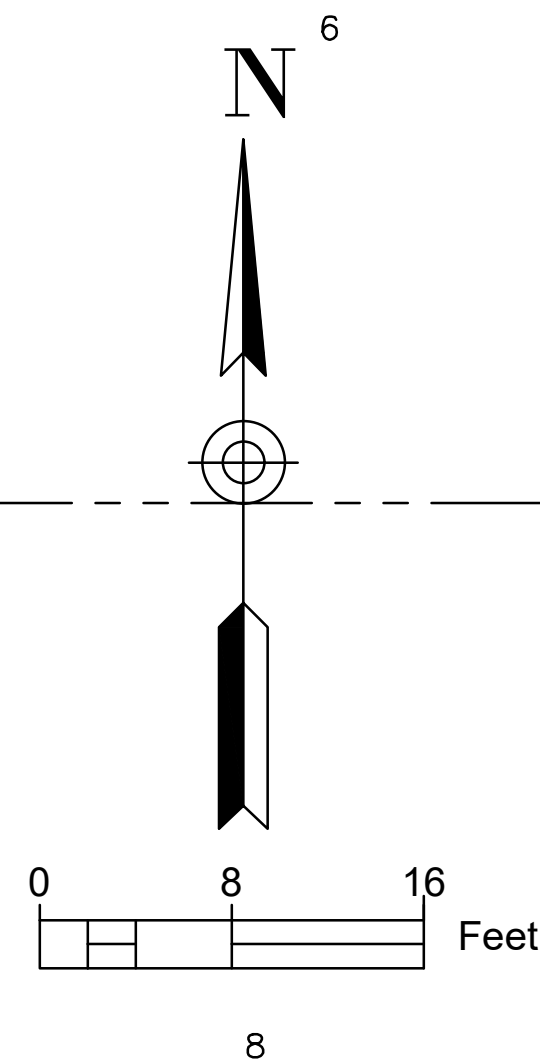
SHEET TITLE
DEMO SITE PLAN

ISSUE	REVISIONS
① 04-16-19	SUBMITTAL-TWO STORY ADD-LOT 9
② 09-24-19	PLANN'G RESUB-CONTEMP VERSION
○	
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△	
△	

DATE _____
PROJECT NUMBER _____
SHEET NUMBER _____

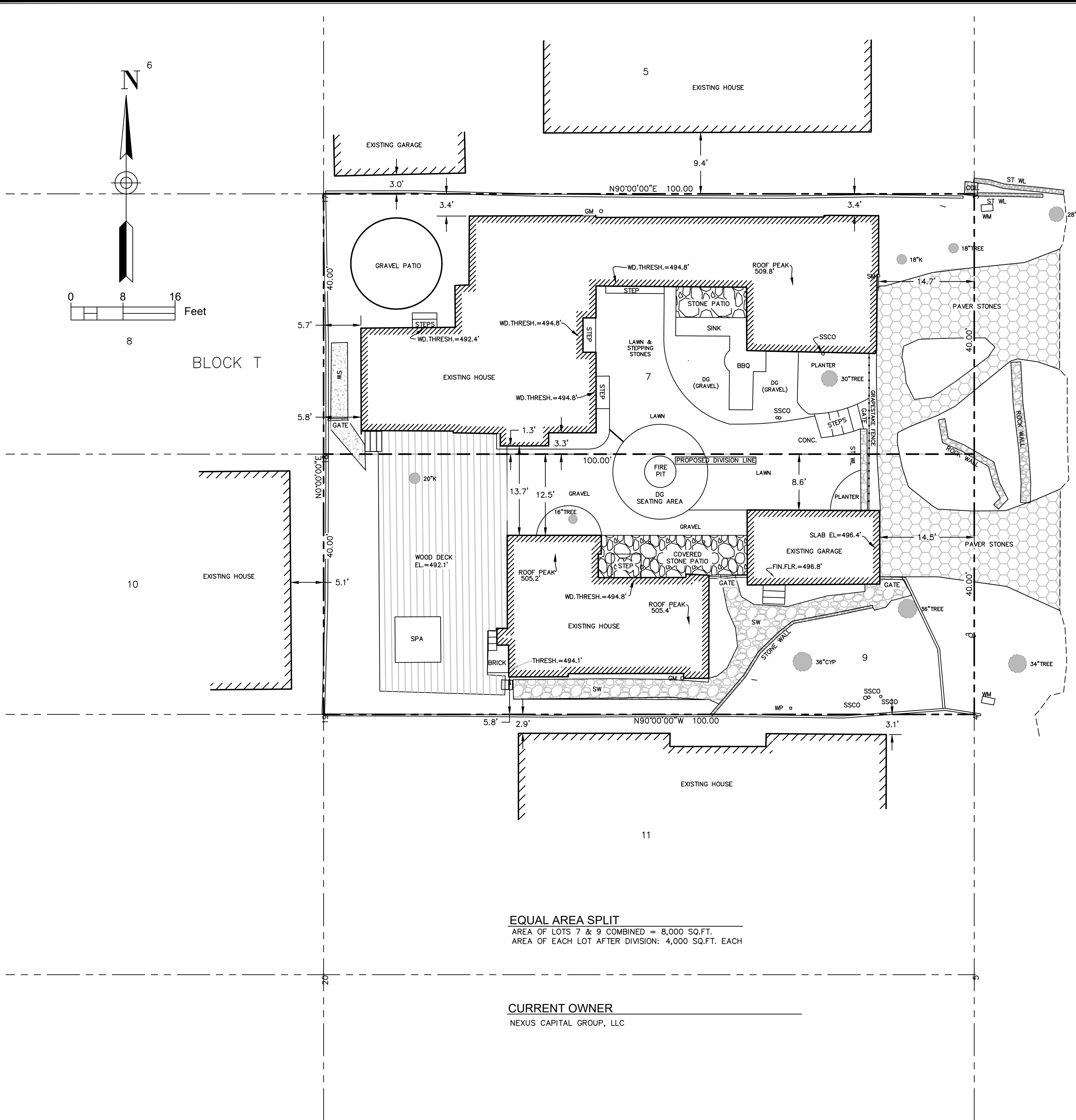


A1.0 D



BLOCK T

10



EQUAL AREA SPLIT
 AREA OF LOTS 7 & 9 COMBINED = 8,000 SQ.FT.
 AREA OF EACH LOT AFTER DIVISION: 4,000 SQ.FT. EACH

CURRENT OWNER
 NEXUS CAPITAL GROUP, LLC

CARMELO STREET
 (A 50' CITY STREET)

NOTES:

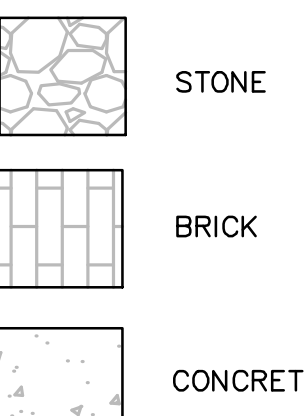
THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.

UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED. INFORMATION REGARDING UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES.

ELEVATIONS ARE BASED ON AN ARBITRARILY ASSUMED DATUM AS NOTED.

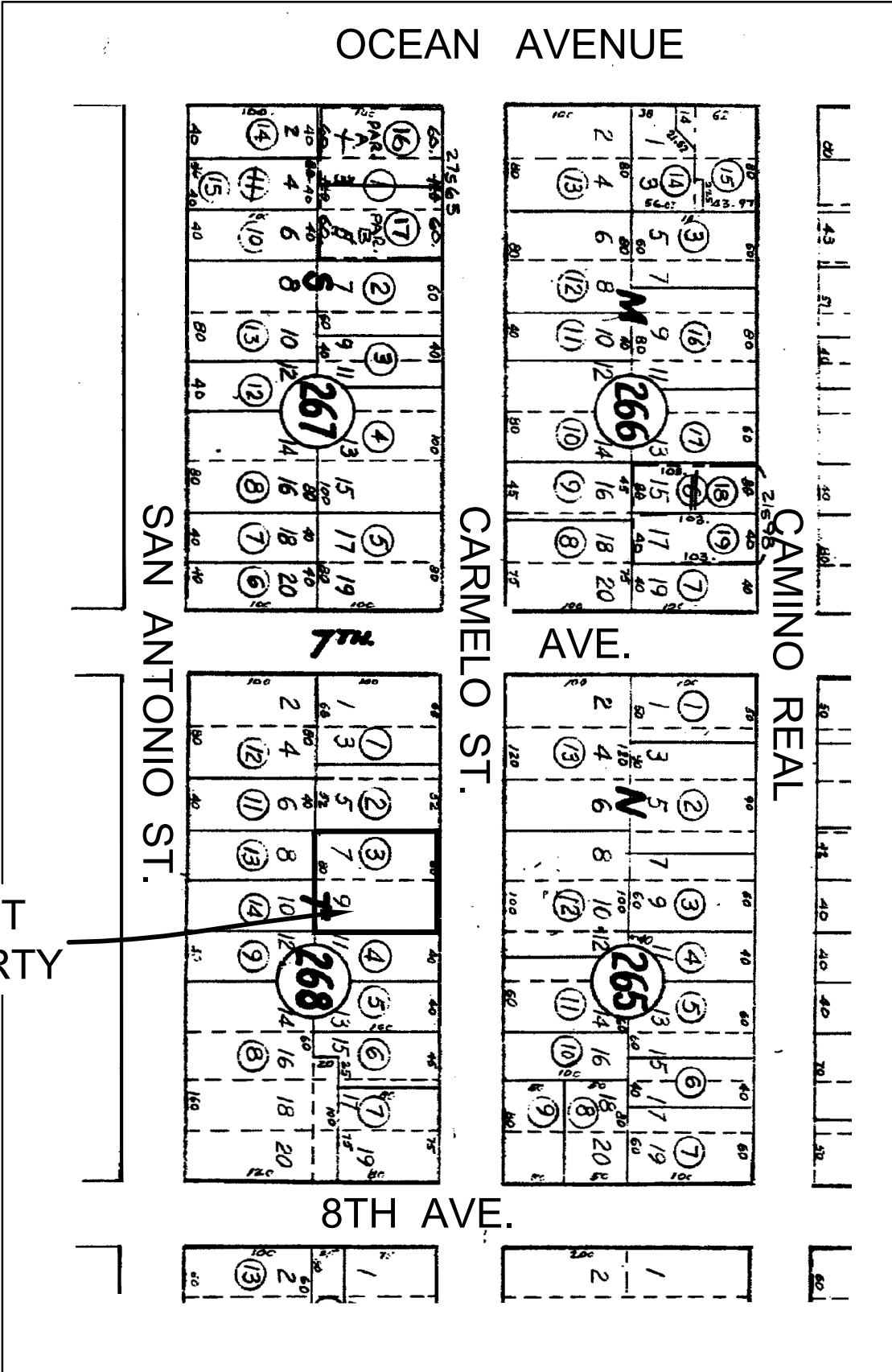
DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.

TREE SYMBOLS ARE DRAWN TO SCALE ONLY APPROXIMATELY. SUFFICIENT BOUNDARY TIES WERE MADE TO GRAPHICALLY SHOW EXISTING FEATURES; A COMPLETE BOUNDARY SURVEY WAS NOT DONE AT THIS TIME.



- WP = WOOD POSTS FOR TRELLIS
- SW = SIDE WALK
- GM = GAS METER
- WM = WATER METER
- SSCO = SANITARY SEWER CLEAN-OUT
- BK WALL = BRICK WALL

VICINITY MAP
 (NOT TO SCALE)



DATE OF SURVEY: 02/25/2016
 DRAWING SCALE: 1"=8'
 DRAWN BY: RP IFR
 REVISED: 9/20/2018

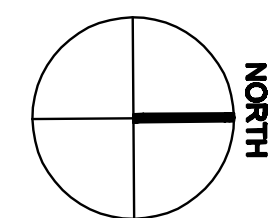
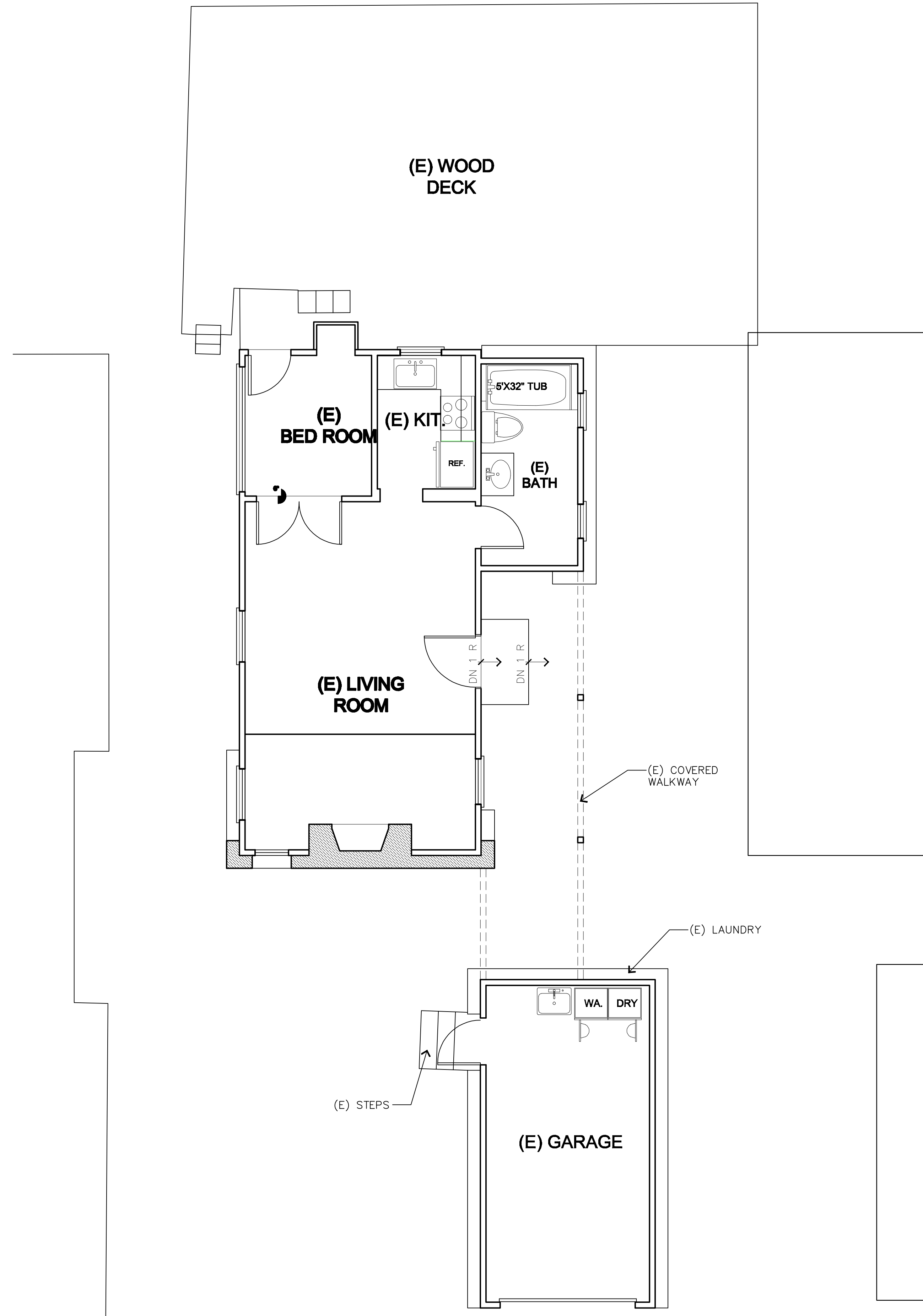
RASMUSSEN LAND SURVEYING, INC.
 P.O. BOX 3135
 MONTEREY, CALIFORNIA 93942
 (831)375-7240 (831)375-2545 FAX



TENTATIVE MAP
 A DIVISION TO RE-ESTABLISH LOT 7 AND LOT 9 IN BLOCK 1, ADDITION NO.1 TO CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA

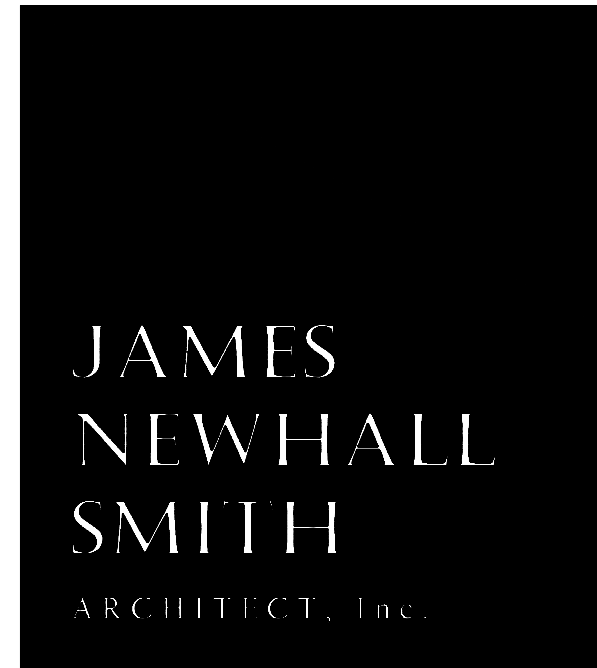
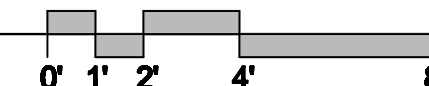
PROJECT NO.
 16013PAR

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EXISTING FLOOR PLAN - LOT 9

SCALE : 1/4" = 1'-0"



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93950

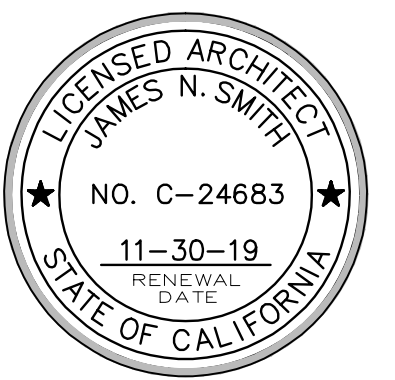
TEL: 831.372-7251
FAX: 831.372-7252
CEL: 831.915-9518

PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



SHEET TITLE

(E) FLOOR PLAN

ISSUE	REVISIONS
① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9	
② 09-24-19 PLANN'G RESUB-CONTEMP VERSION	
○	
○	
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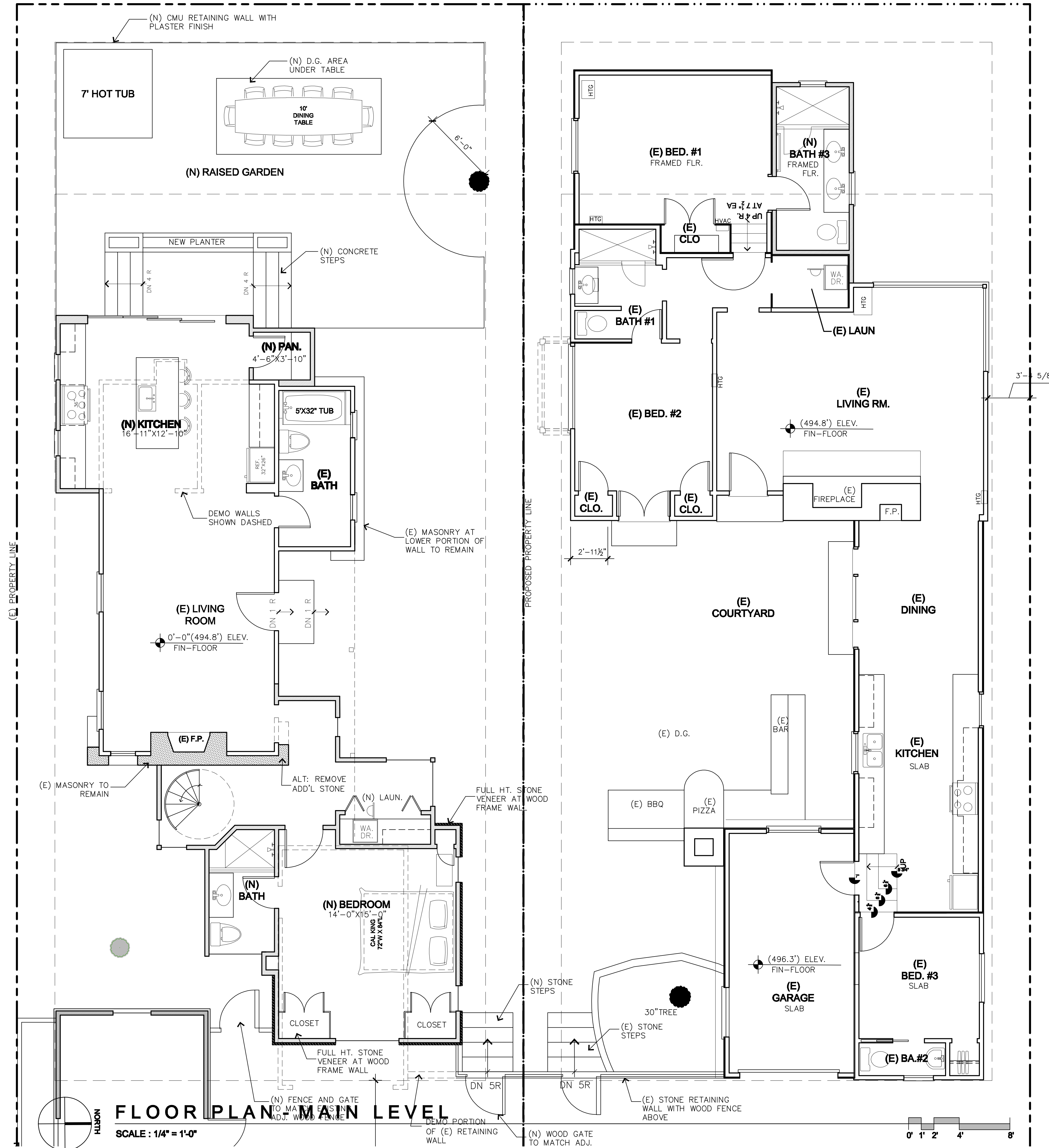
DATE

PROJECT NUMBER

SHEET NUMBER

A2.0E

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FLOOR PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

WALL LEGEND

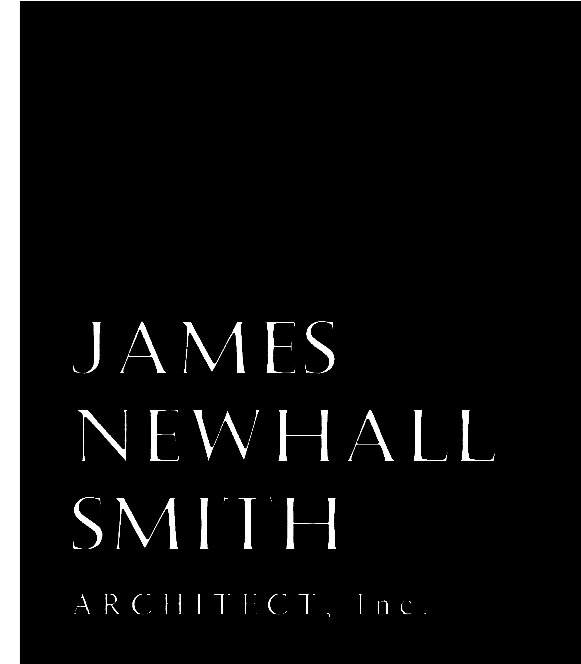
- 2X EXISTING WALL TO REMAIN
- 2X EXISTING WALL TO BE DEMOLISHED
- NEW 2X STUD FRAMED WALL
- STONE WALL / VENEER
- CMU WALL-SEE STRUCTURAL DWGS

ELECTRICAL SYMBOLS LEGEND

- DUPLEX OUTLET
- DUPLEX OUTLET RECESSED INTO WALL
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amper)
- 220 VOLT OUTLET
- 4 PLEX OUTLET
- GROUND FAULT INTERRUPT
- WATERPROOF OUTLET (EXTERIOR)
- RECESSED FLOOR MOUNTED OUTLET, BRASS, BY HUBBELL, UL #514A, OR EQ.
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
- THERMOSTAT CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
- GAS OUTLET
- GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER
- HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE. (CPC 603.4.7, TYP.))
- WALL MOUNTED AIR SUPPLY REGISTER
- RETURN AIR REGISTER
- FLOOR MOUNTED SUPPLY AIR REGISTER
- ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION AND SIZE
- ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

ELECTRICAL LEGEND NOTES

1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
2. THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
3. POLESWITCH AND SWITCHPLATE STYLE AND COLOUR TO BE DETERMINED BY OWNER.
4. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC ARTICLE 410-4(f)).
5. FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
6. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.
- 7.



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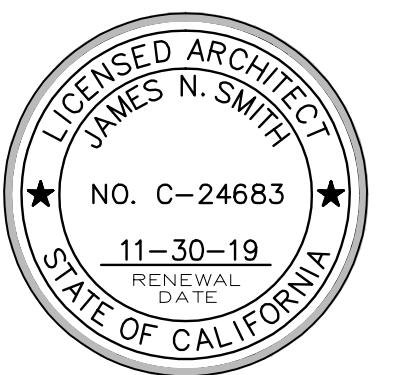
TEL: 831.372-7251
FAX: 831.372-7252
CEL: 831.915-9518

PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



SHEET TITLE

MAIN LEVEL FLOOR PLAN

ISSUE REVISIONS

- ① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- ② 09-24-19 PLANN'G RESUB-CONTEMP VERSION

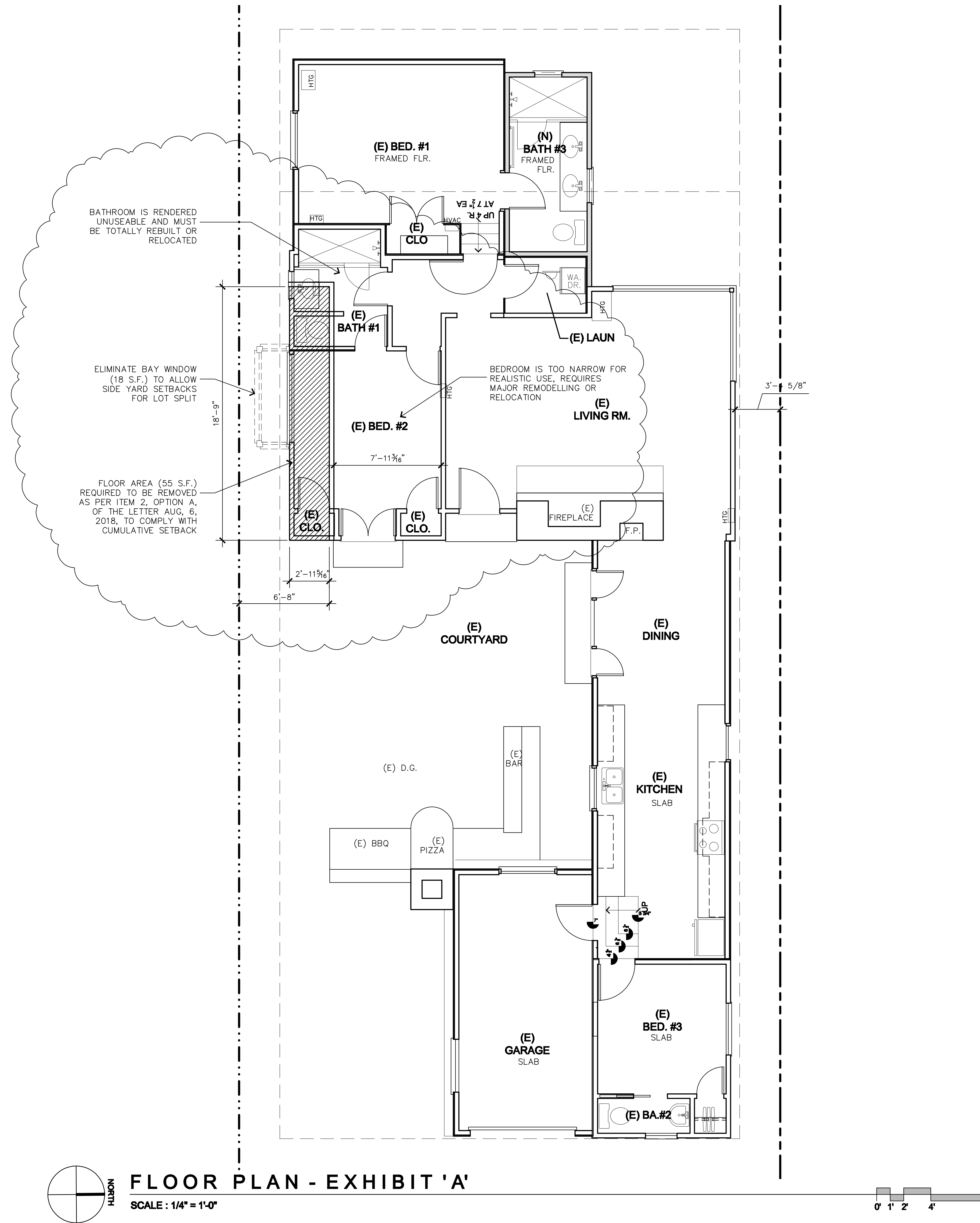
DATE

PROJECT NUMBER

SHEET NUMBER

A2.0

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**JAMES
NEWHALL
SMITH**
ARCHITECT, Inc.

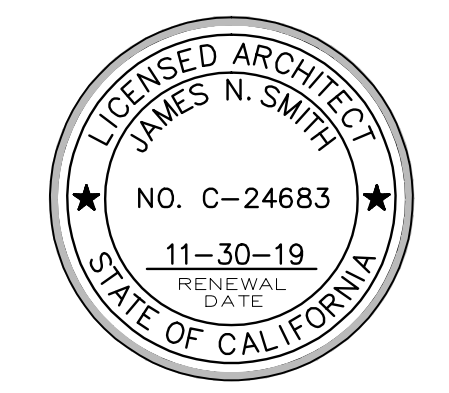
716 LIGHTHOUSE AVE
PACIFIC GROVE, CA.
93950

TEL: 831.372-7251
FAX: 831.372-7252
CEL: 831.915-9518

PROJECT/CLIENT

**CARMELO
LOT 7**

GLEN YONEKURA
CARMELO
3 SW OF 7TH
CARMELO BY THE SEA



SHEET TITLE
**FLOOR
PLAN
EXHIBIT 'A'**

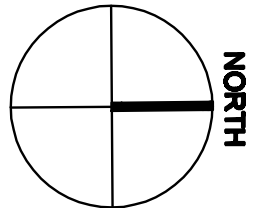
ISSUE	REVISIONS
① 07-01-16 SUBMITTAL	
② 10-06-17 PLANNING SUBMITTAL	
③ 12-06-17 BUILDING SUBMITTAL	
△ 02-14-18 PLAN CHECK #1	

DATE

PROJECT NUMBER

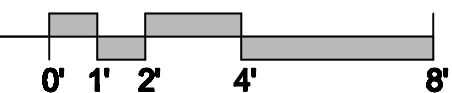
SHEET NUMBER

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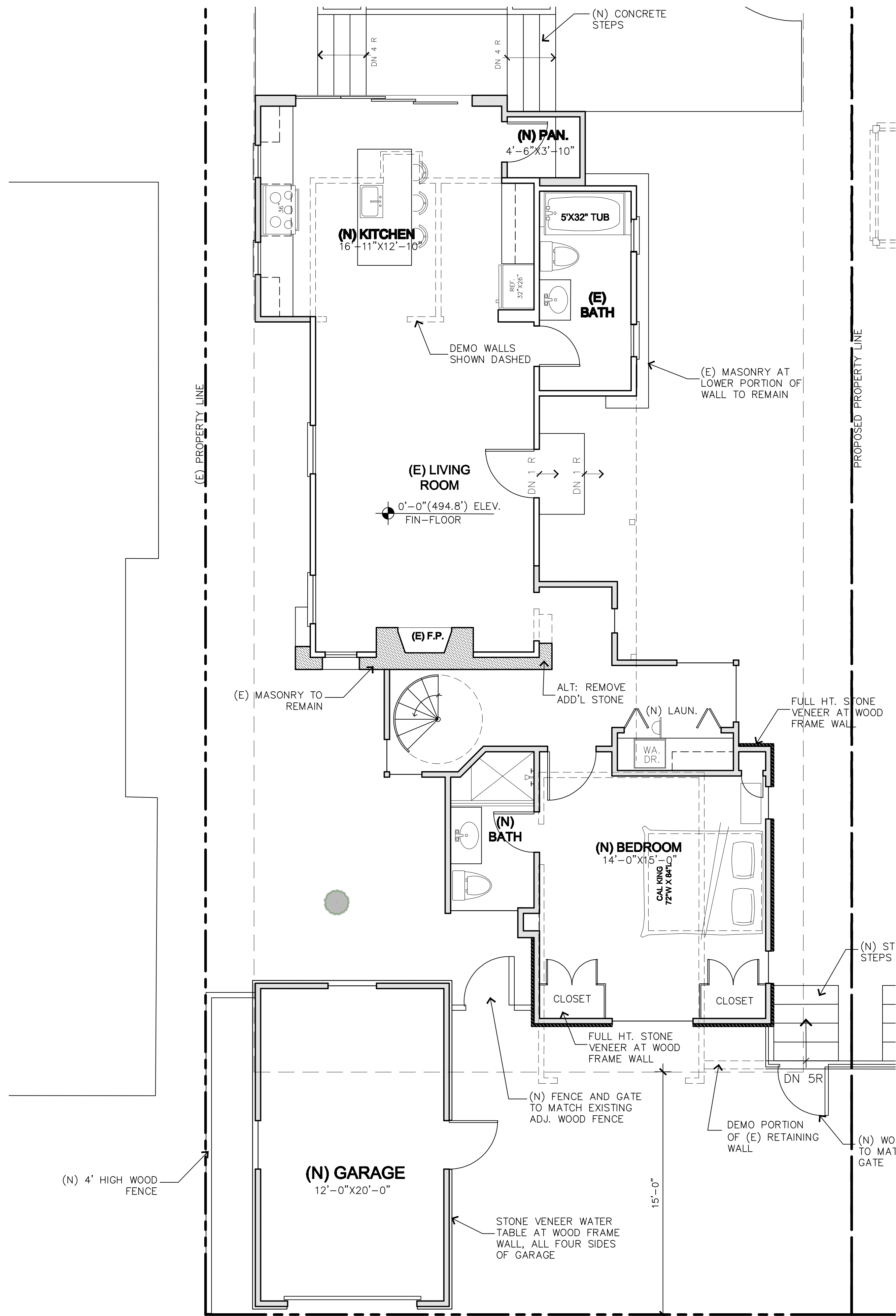


FLOOR PLAN - EXHIBIT 'A'

SCALE: 1/4" = 1'-0"



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ELECTRICAL PLAN NOTES

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X EXISTING WALL TO BE DEMOLISHED
- NEW 2X STUD FRAMED WALL
- STONE WALL / VENEER
- CMU WALL-SEE STRUCTURAL DWG'S

ELECTRICAL SYMBOLS LEGEND

- DUPLEX OUTLET
- DUPLEX OUTLET RECESSED INTO WALL
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- 4 PLEX OUTLET
- GROUND FAULT INTERRUPT
- WATERPROOF OUTLET (EXTERIOR)
- RECESSED FLOOR MOUNTED OUTLET, BRASS, BY HUBBELL, UL #514A, OR EQ.
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
- THERMOSTAT CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
- GAS OUTLET
- GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER
- HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE, (CPC 603.4.7, TYP.))
- WALL MOUNTED AIR SUPPLY REGISTER
- RETURN AIR REGISTER
- FLOOR MOUNTED SUPPLY AIR REGISTER
- ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION AND SIZE
- ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

ELECTRICAL LEGEND NOTES

1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
2. THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
3. POLESWITCH AND SWITCHPLATE STYLE AND COLOUR TO BE DETERMINED BY OWNER.
4. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC ARTICLE 410-4(a)).
5. FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
6. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.
- 7.

JAMES NEWHALL SMITH
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 93950

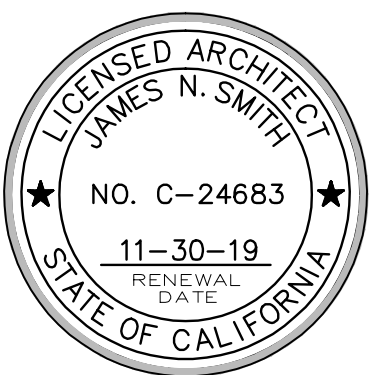
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 CEL: 831.915-9518

PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
 CARMELO 3 SW OF 7TH
 CARMEL BY THE SEA CA



SHEET TITLE

GARAGE FLOOR PLAN

ISSUE REVISIONS

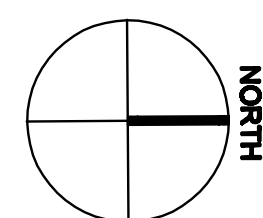
- ① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- ② 09-24-19 PLANN'G RESUB-CONTEMP VERSION

DATE

PROJECT NUMBER

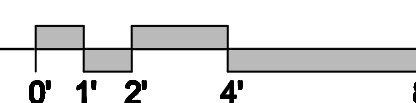
SHEET NUMBER

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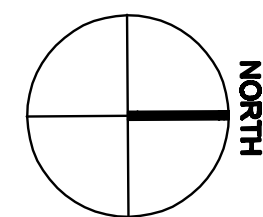
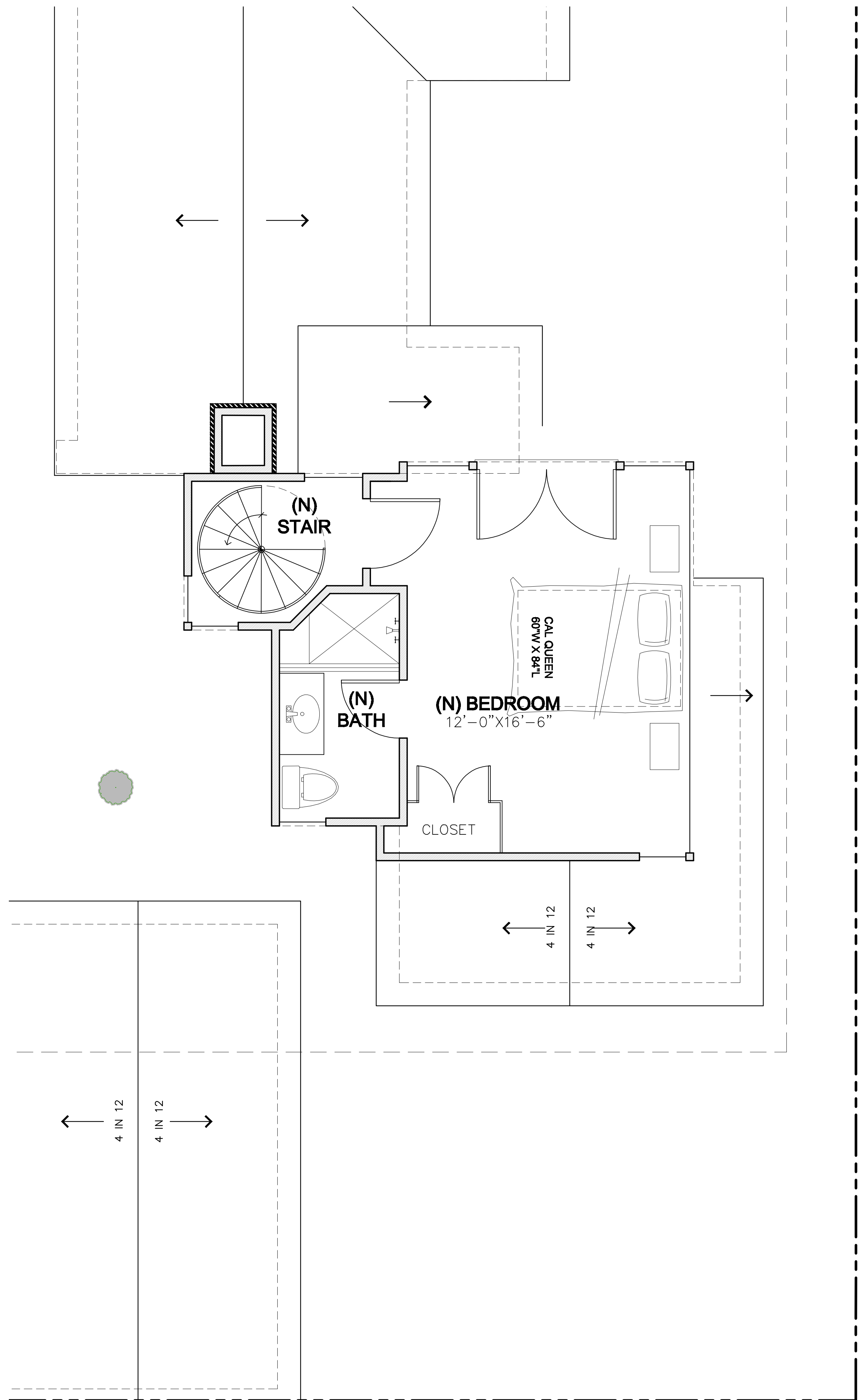


FLOOR PLAN - GARAGE

SCALE : 1/4" = 1'-0"



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FLOOR PLAN - UPPER LEVEL

SCALE : 1/4" = 1'-0"

PROPOSED PROPERTY LINE

ELECTRICAL PLAN NOTES

WALL LEGEND

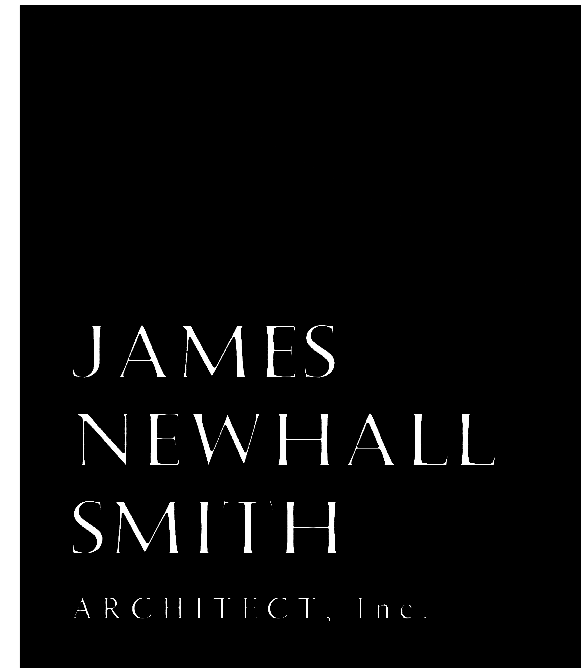
- 2X EXISTING WALL TO REMAIN
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- THERMOSTAT CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
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- 7.



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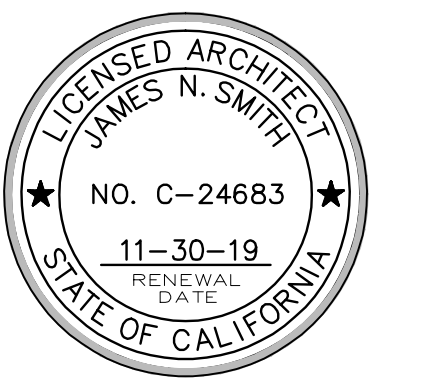
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CEL: 831.915-9518

PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



SHEET TITLE

**UPPER LEVEL
FLOOR PLAN**

ISSUE REVISIONS

- ① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- ② 09-24-19 PLANN'G RESUB-CONTEMP VERSION

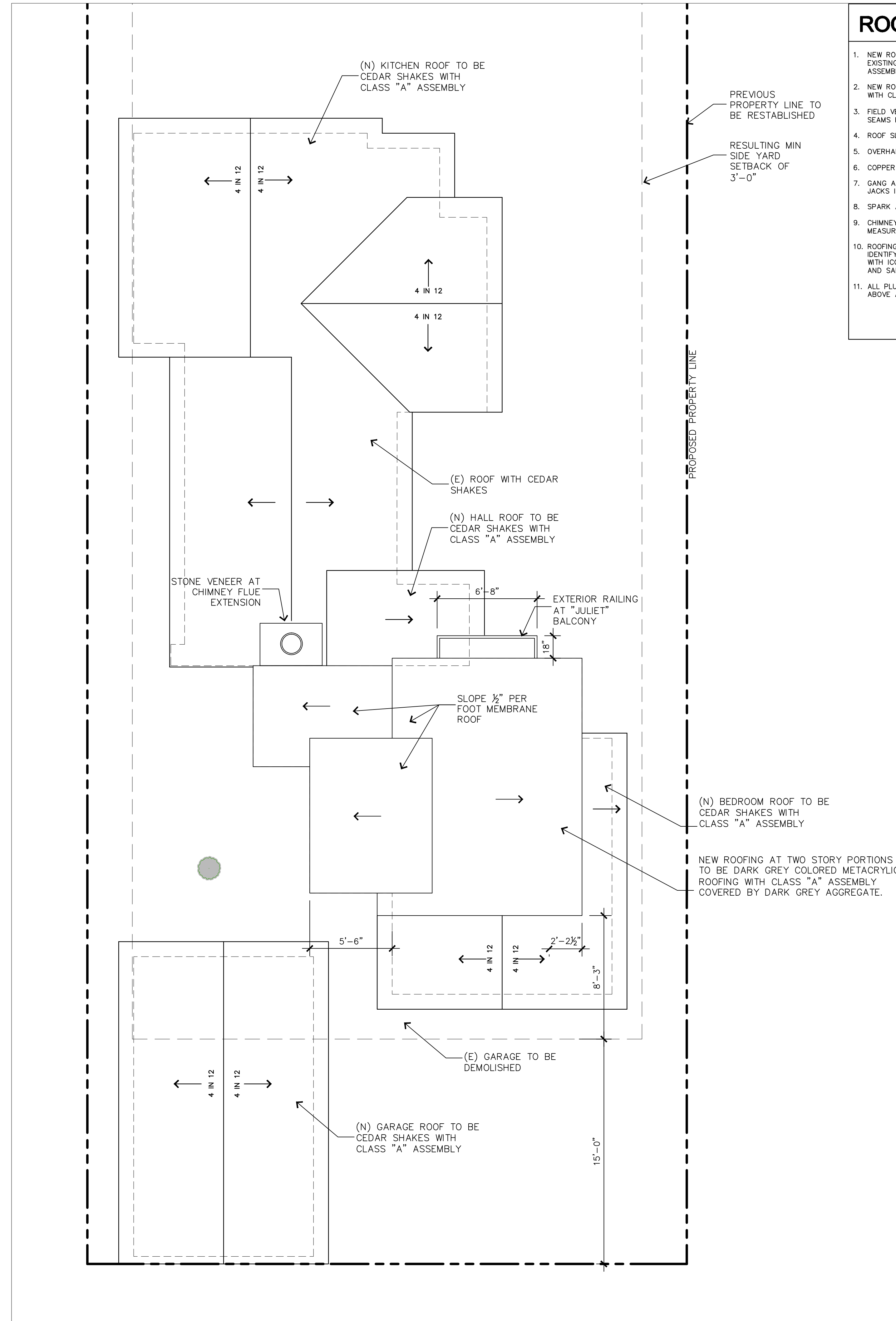
DATE

PROJECT NUMBER

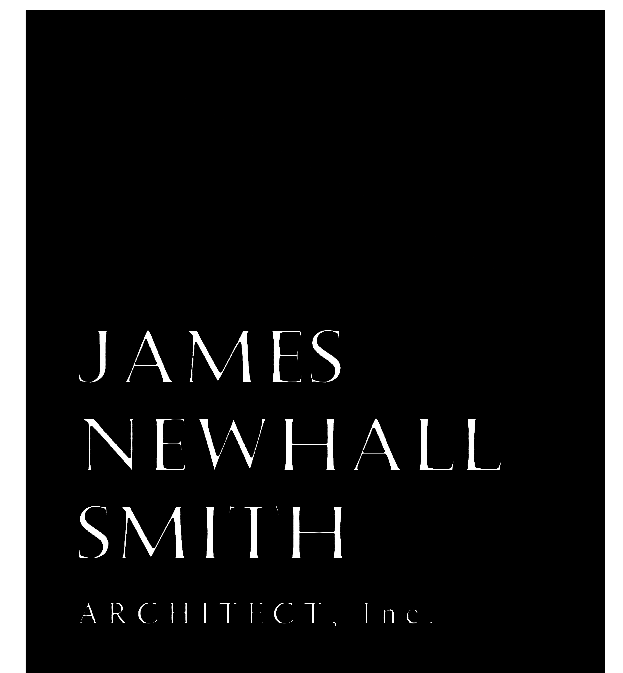
SHEET NUMBER

A2.2

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- ### ROOF PLAN NOTES
1. NEW ROOF MATERIAL AT KITCHEN AREA AND NEW GARAGE TO BE WOOD SHAKE TO MATCH EXISTING SHAKE ROOFING. ROOF SHAKES TO BE TREATED TO CLASS 'B' WITH CLASS 'A' ASSEMBLY UNDERLAYMENT.
 2. NEW ROOFING AT TWO STORY PORTION TO BE DARK GREY COLORED METACRYLIC ROOFING WITH CLASS "A" ASSEMBLY COVERED BY DARK GREY AGGREGATE.
 3. FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND STYLE/SEAM SPACING OF ROOFING SEAMS PRIOR TO INSTALLATION
 4. ROOF SLOPE = 4 IN 12 UNLESS OTHERWISE NOTED
 5. OVERHANG EAVE = 12" UNLESS OTHERWISE NOTED
 6. COPPER GUTTERS WITH ROUND DOWNSPOUTS
 7. GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION
 8. SPARK ARRESTOR TO BE 3 TIMES THE NET FREE OPENING OF THE CHIMNEY OUTLET
 9. CHIMNEY SHALL BE MIN. 2' ABOVE THE HIGHEST POINT OF THE ROOF WITHIN 10' MEASURED HORIZONTALLY
 10. ROOFING SHALL BEAR LABELS FROM AN ICBO ACCREDITED QUALITY CONTROL AGENCY IDENTIFYING THEIR ROOF COVERING CLASSIFICATION AND INDICATING THEIR COMPLIANCE WITH ICC-ES-EG107 AND WITH THE WEATHERING REQUIREMENTS CONTAINED IN HEALTH AND SAFETY CODE SECTION 13132.70 (R902.2 CRC)
 11. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.

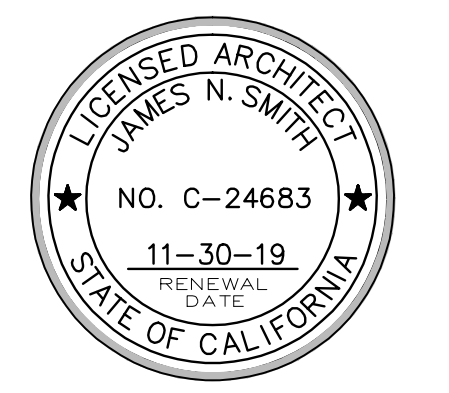


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PROJECT/CLIENT
CARMELO
LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA

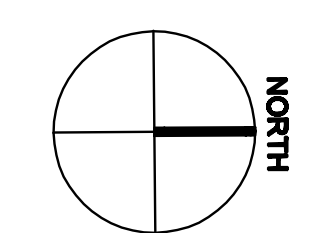


SHEET TITLE
ROOF PLAN

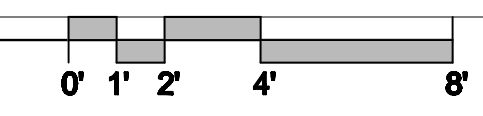
- ISSUE
- REVISIONS
- ① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- ② 09-24-19 PLANN'G RESUB-CONTEMP VERSION
-
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DATE
PROJECT NUMBER
SHEET NUMBER

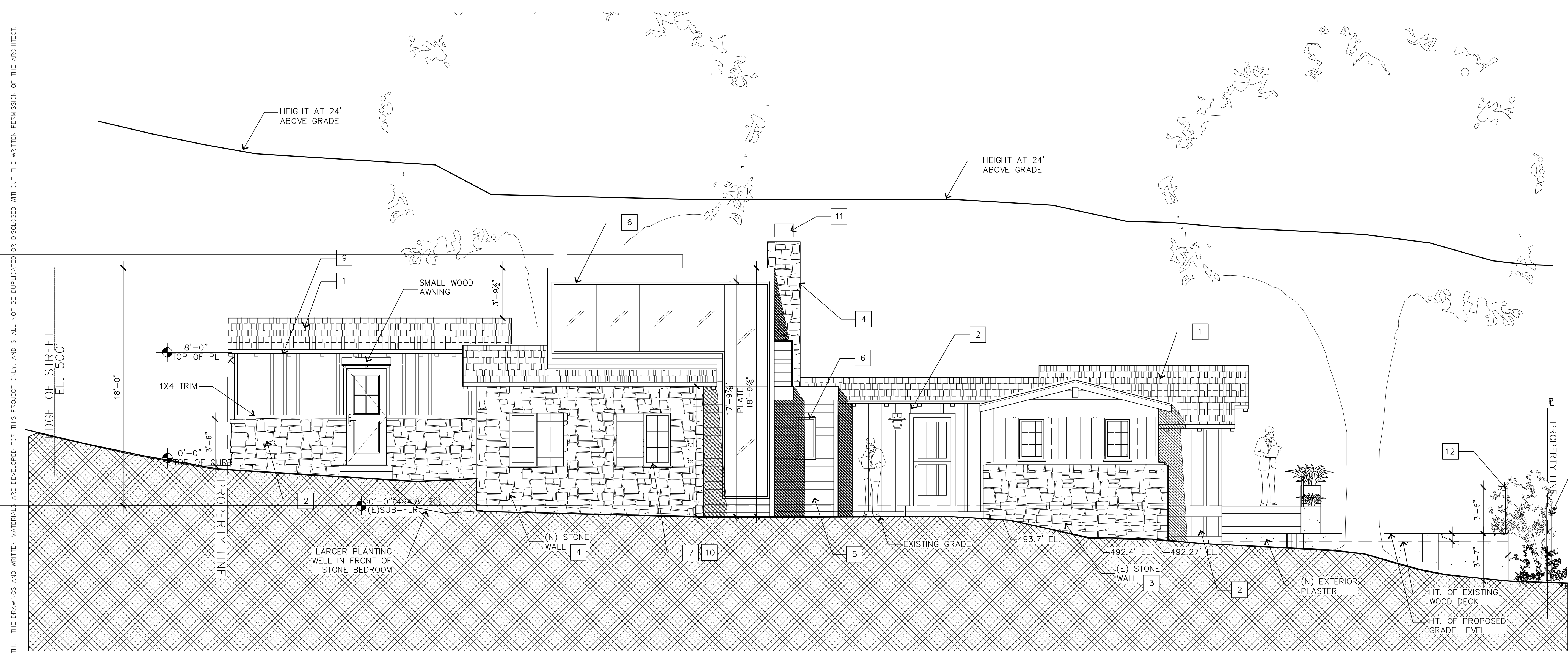
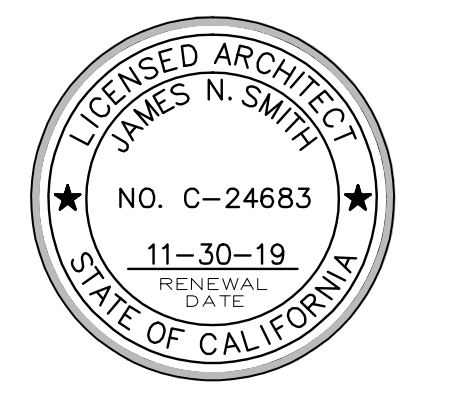
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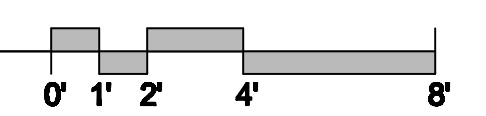
ROOF PLAN
SCALE : 1/4" = 1'-0"



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1 PROPOSED NORTH ELEVATION
SCALE : 1/4" = 1'-0"



ELEVATION MATERIALS LEGEND

- 1 WOOD SHAKE ROOF TREATED TO BE CLASS 'B' WITH A CLASS 'A' ASSEMBLY UNDERLAYMENT, TO MATCH EXISTING
- 2 BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
- 3 EXISTING EXTERIOR STONE WALL/VENEER
- 4 NEW EXTERIOR STONE VENEER TO MATCH (E)
- 5 JAMES HARDIE CEMENTITIOUS SIDING. STYLE: ARTISAN SHIP LAP, 9" EXPOSURE. COLOR: SEE ELEVATIONS
- 6 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY WESTERN. COLOR: DARK BRONZE ANODIZED
- 7 WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN, OR EQUAL. COLOR: WHITE
- 8 2X FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR: OFF WHITE
- 9 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE
- 10 WOOD SHUTTERS, COLOR: OFF-WHITE
- 11 NATURAL UNSEALED COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
- 12 POWDER COATED IRON RAILING

SHEET TITLE

EXTERIOR ELEVATIONS

ISSUE	REVISIONS
① 04-16-19	SUBMITTAL-TWO STORY ADD-LOT 9
② 09-24-19	PLANN'G RESUB-CONTEMP VERSION
○	
○	
○	
△	
△	

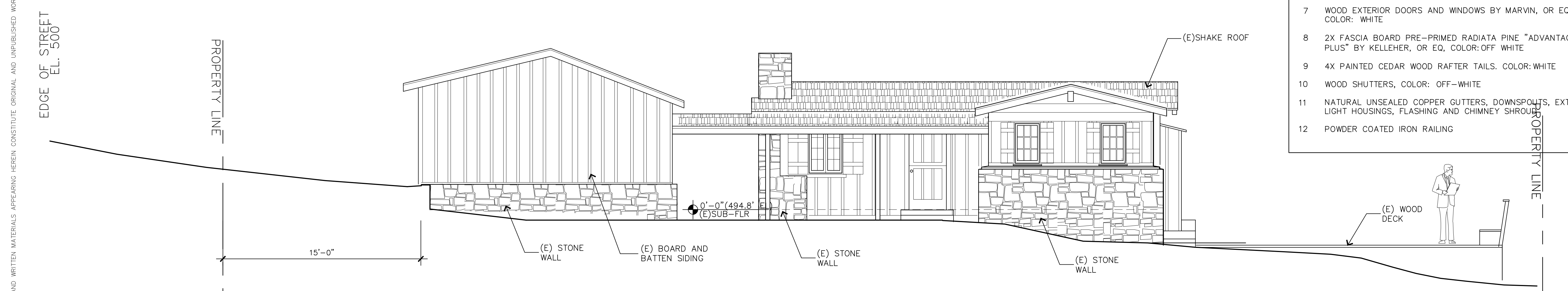
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PROJECT NUMBER

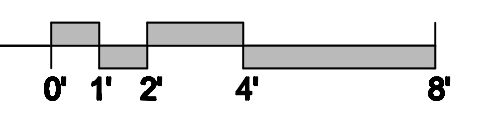
SHEET NUMBER

A6.0

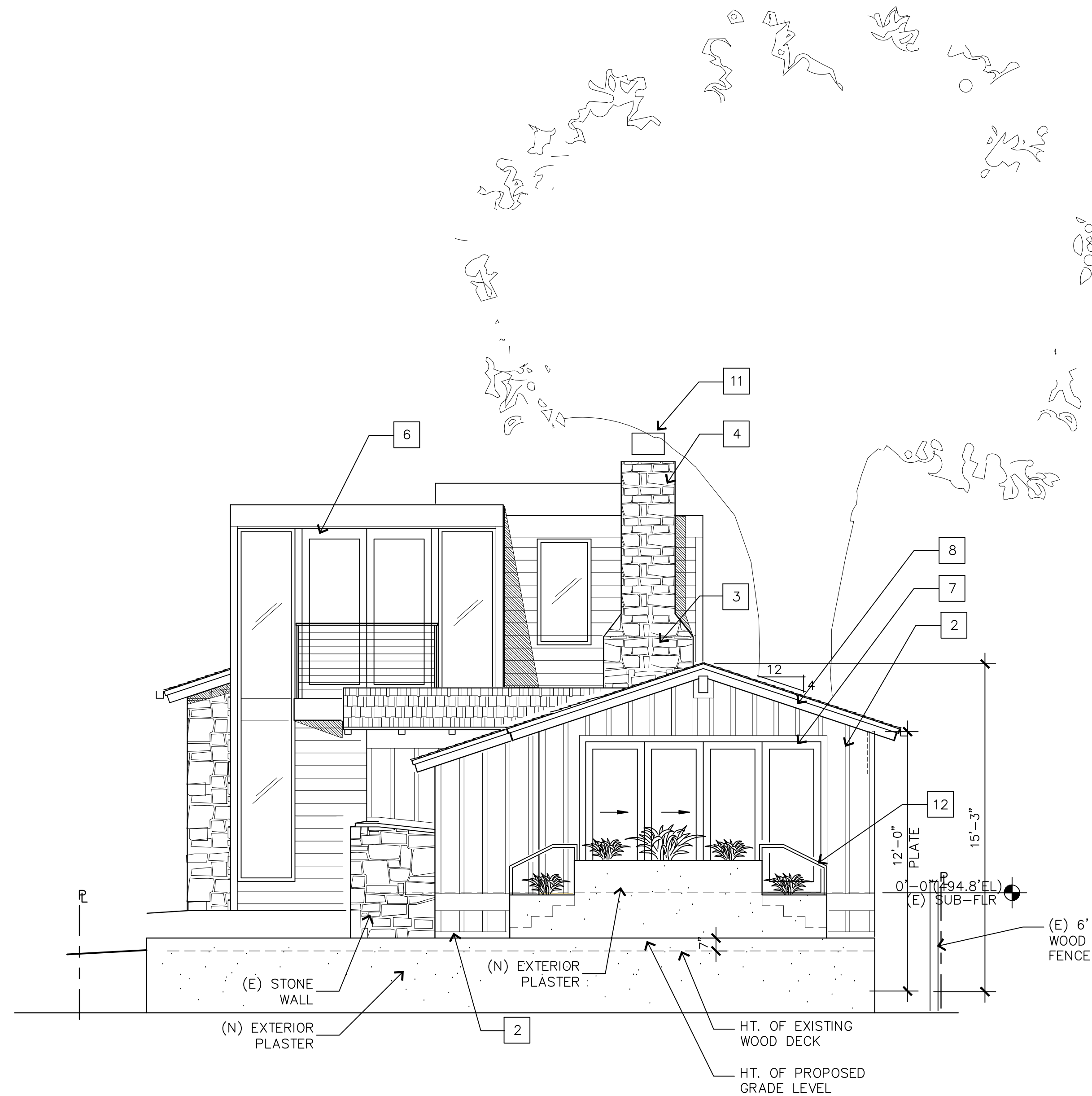
EXISTING HOUSE



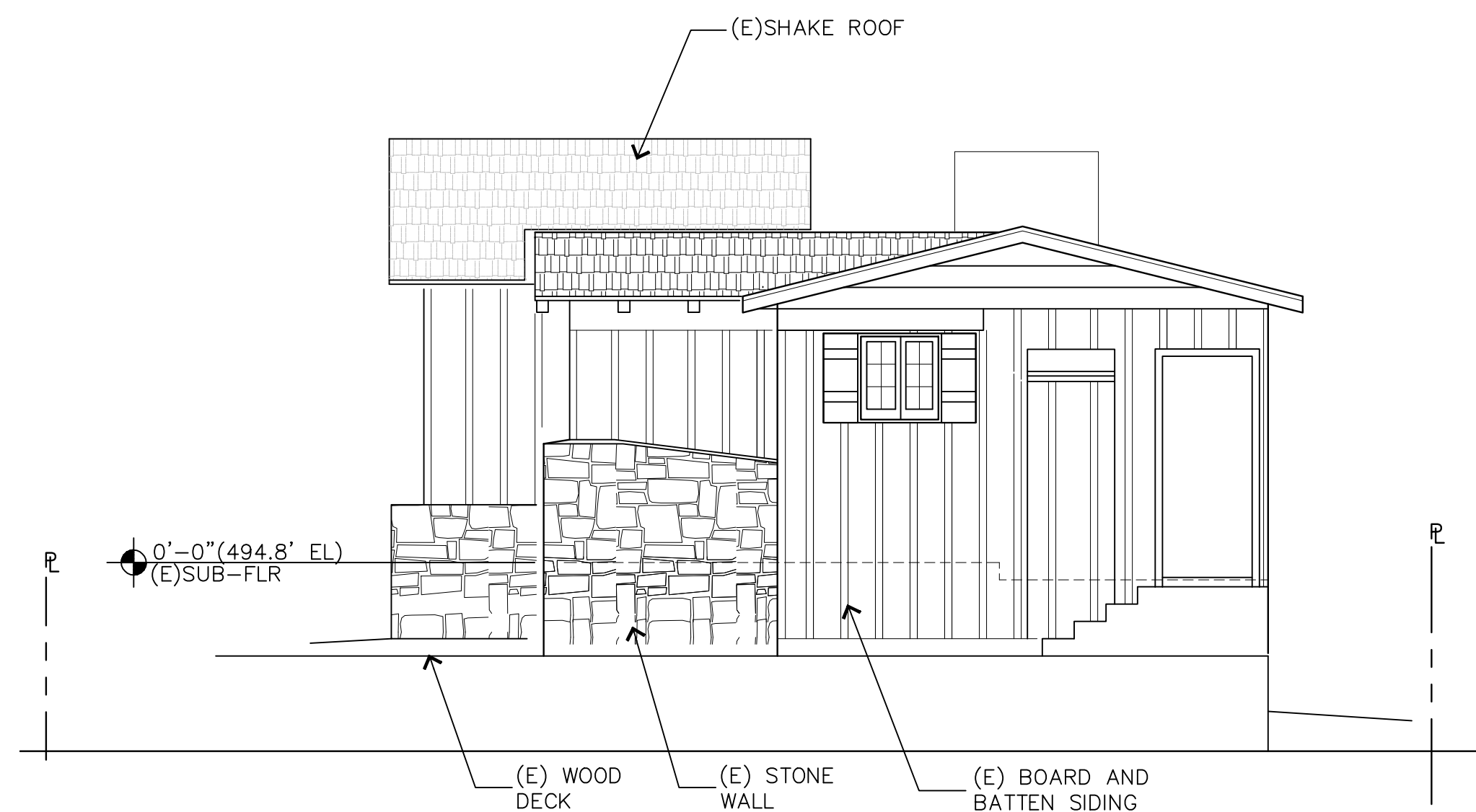
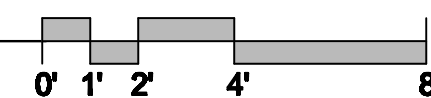
2 EXISTING NORTH ELEVATION
SCALE : 1/4" = 1'-0"



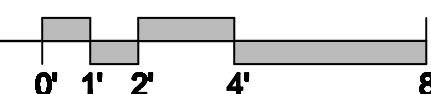
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1 PROPOSED WEST ELEVATION
SCALE : 1/4" = 1'-0"

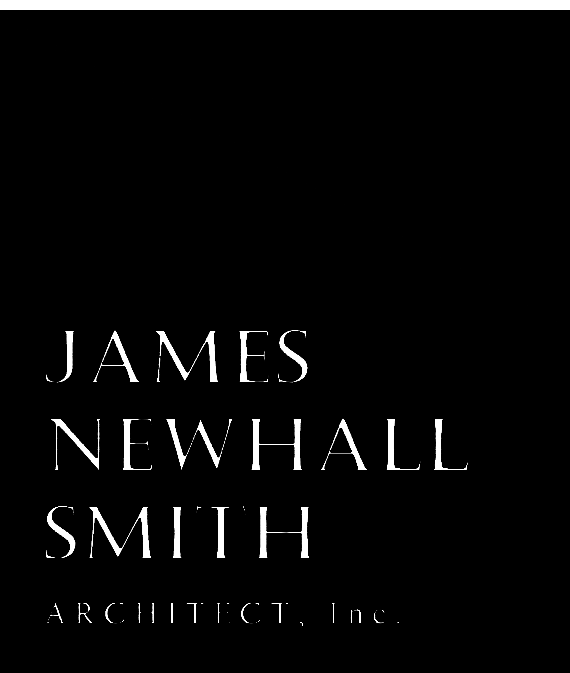


2 EXISTING WEST ELEVATION
SCALE : 1/4" = 1'-0"



ELEVATION MATERIALS LEGEND

- 1 WOOD SHAKE ROOF TREATED TO BE CLASS 'B' WITH A CLASS 'A' ASSEMBLY UNDERLAYMENT, TO MATCH EXISTING
- 2 BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
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- 4 NEW EXTERIOR STONE VENEER TO MATCH (E)
- 5 JAMES HARDIE CEMENTITIOUS SIDING. STYLE: ARTISAN SHIP LAP, 9" EXPOSURE. COLOR: SEE ELEVATIONS
- 6 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY WESTERN. COLOR: DARK BRONZE ANODIZED
- 7 WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN, OR EQUAL. COLOR: WHITE
- 8 2X FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR: OFF WHITE
- 9 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE
- 10 WOOD SHUTTERS, COLOR: OFF-WHITE
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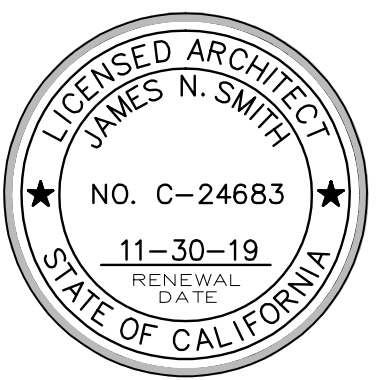
**TEL: 831.372-7251
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PROJECT/CLIENT

CARMELO

LOT 9

**GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA**



SHEET TITLE

**EXTERIOR
ELEVATIONS**

○ ISSUE △ REVISIONS

① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9

② 09-24-19 PLANN'G RESUB-CONTEMP VERSION

-
-
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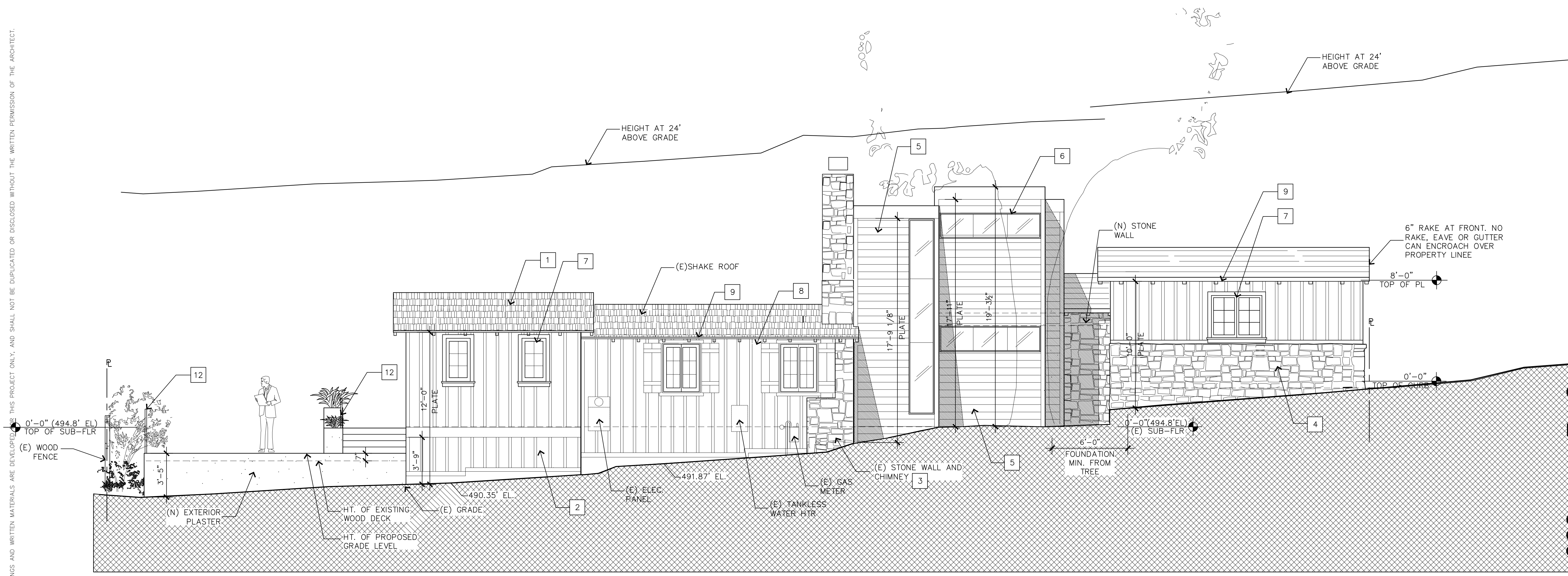
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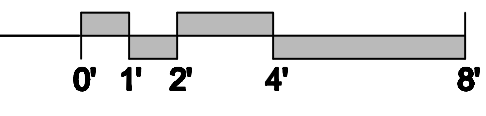
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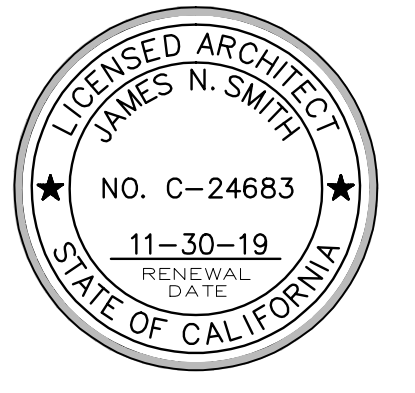


1 PROPOSED SOUTH ELEVATION
SCALE : 1/4" = 1'-0"



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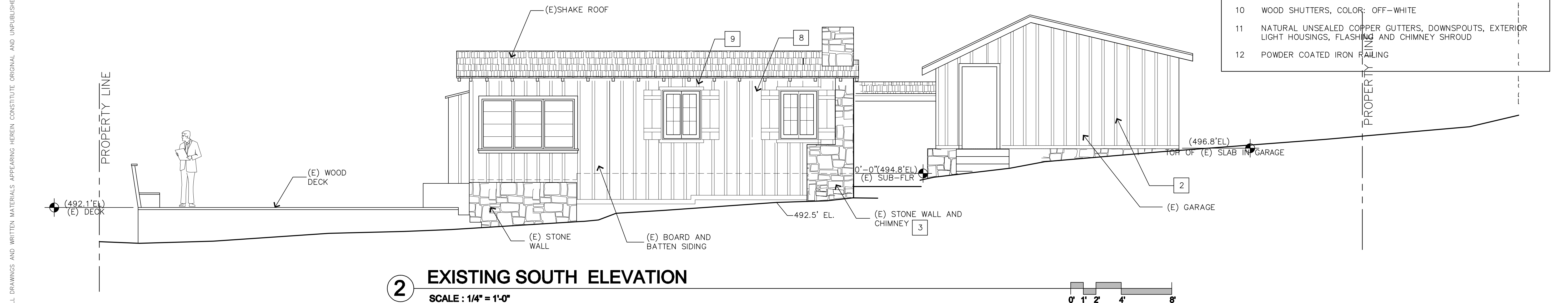


SHEET TITLE
**EXTERIOR
ELEVATIONS**

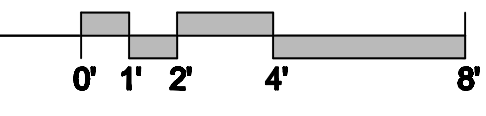
- ISSUE REVISIONS
- 1 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
 - 2 09-24-19 PLANN'G RESUB-CONTEMP VERSION

DATE
PROJECT NUMBER
SHEET NUMBER

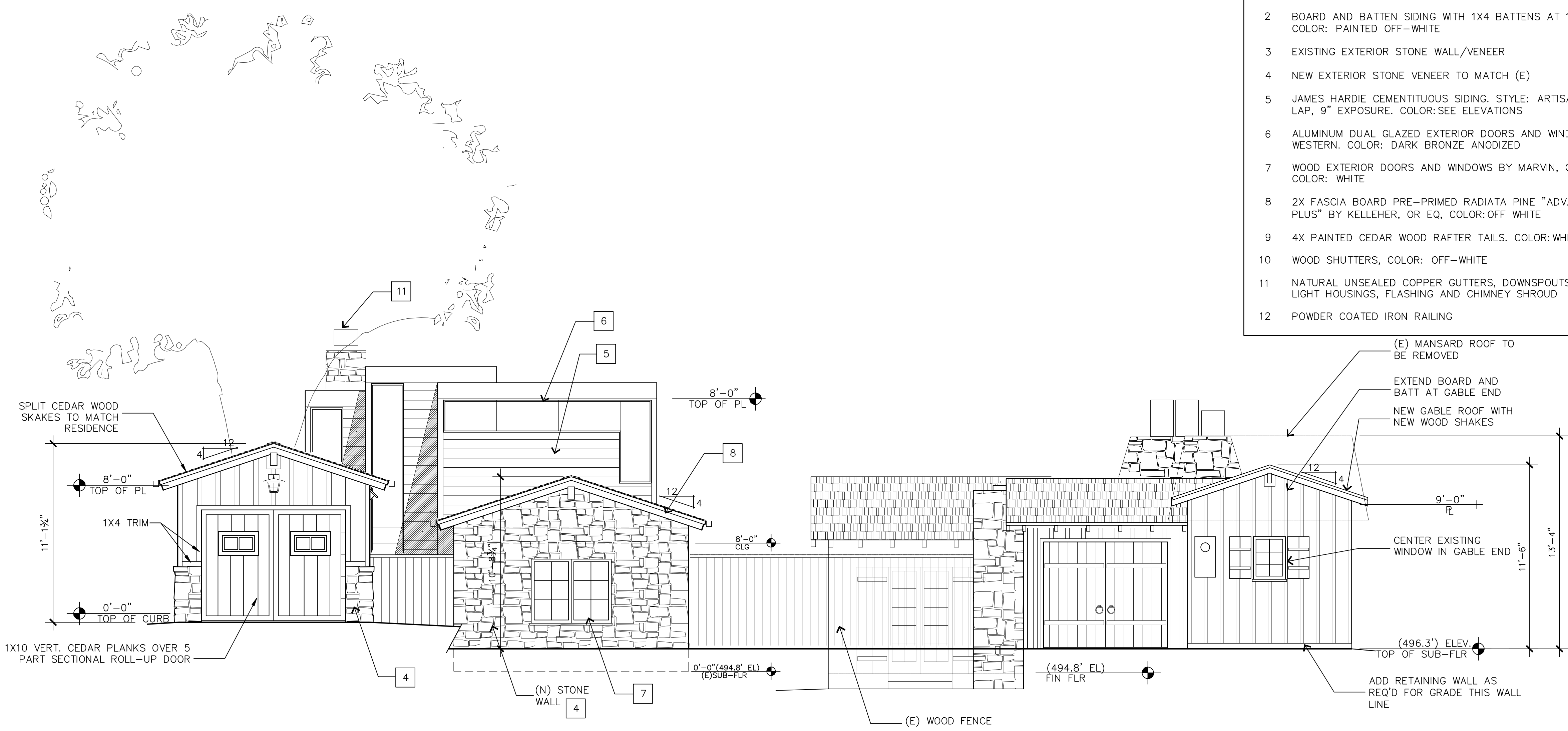
A6.2



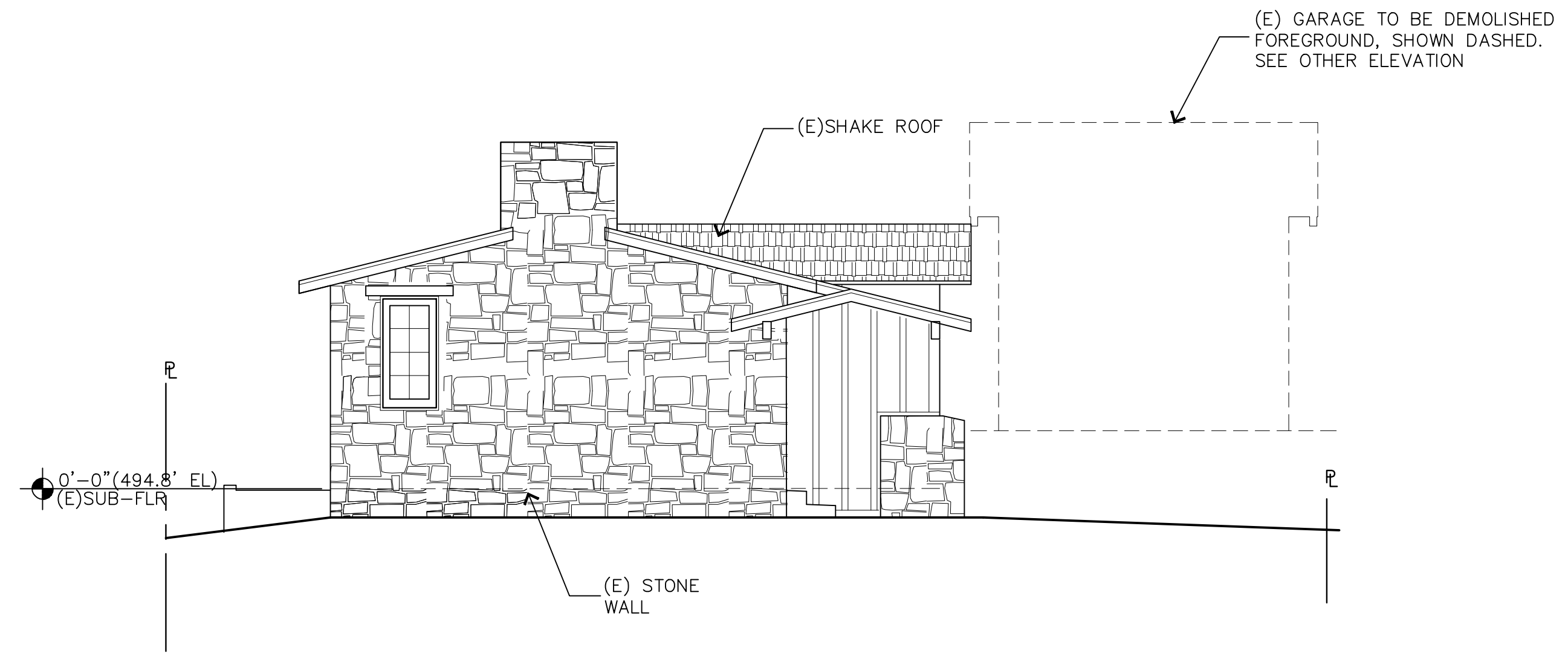
2 EXISTING SOUTH ELEVATION
SCALE : 1/4" = 1'-0"



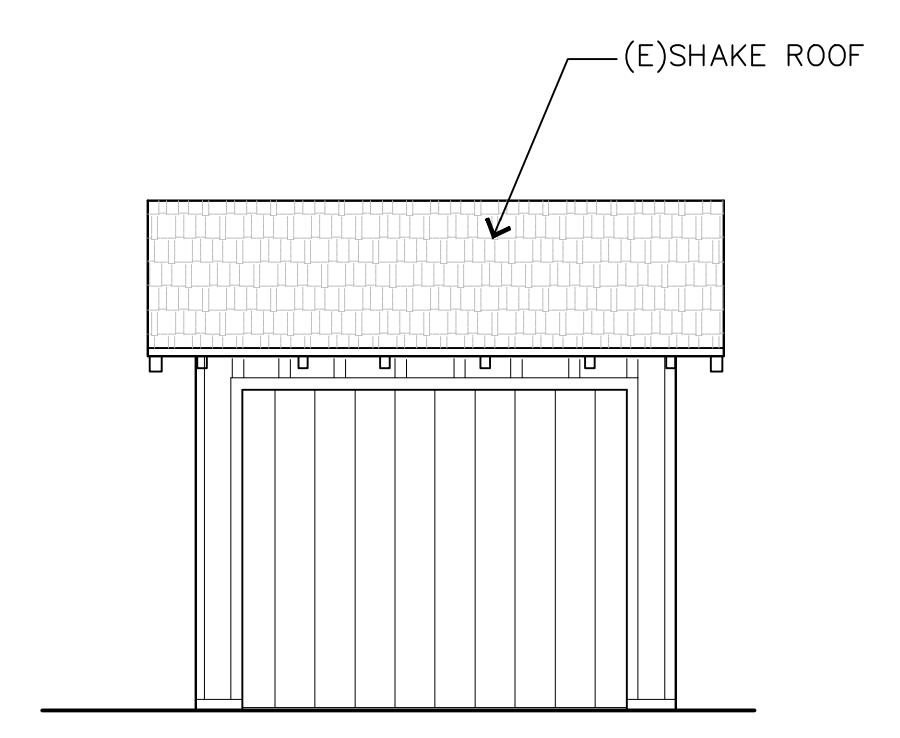
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1 PROPOSED EAST ELEVATION
SCALE : 1/4" = 1'-0"

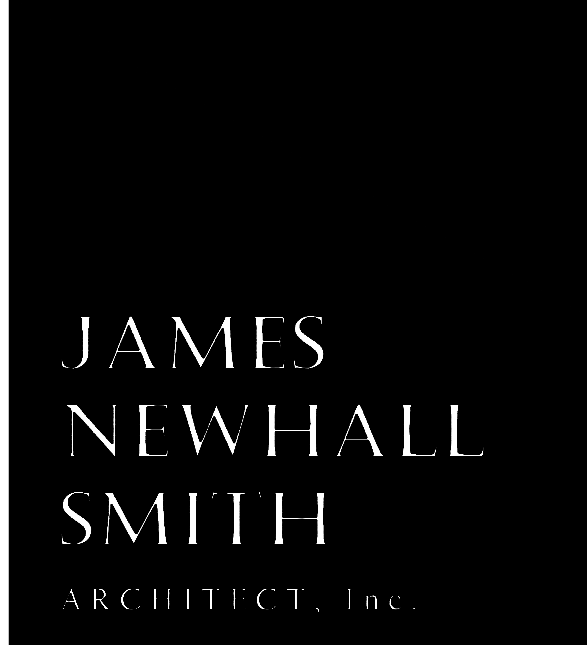


2 EXISTING EAST ELEVATION
SCALE : 1/4" = 1'-0"



2 EXISTING GARAGE ELEVATION
SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND	
1	WOOD SHAKE ROOF TREATED TO BE CLASS 'B' WITH A CLASS 'A' ASSEMBLY UNDERLAYMENT, TO MATCH EXISTING
2	BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
3	EXISTING EXTERIOR STONE WALL/VENEER
4	NEW EXTERIOR STONE VENEER TO MATCH (E)
5	JAMES HARDIE CEMENTITIOUS SIDING. STYLE: ARTISAN SHIP LAP, 9" EXPOSURE. COLOR: SEE ELEVATIONS
6	ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY WESTERN. COLOR: DARK BRONZE ANODIZED
7	WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN, OR EQUAL. COLOR: WHITE
8	2X FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ. COLOR: OFF WHITE
9	4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE
10	WOOD SHUTTERS, COLOR: OFF-WHITE
11	NATURAL UNSEALED COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
12	POWDER COATED IRON RAILING



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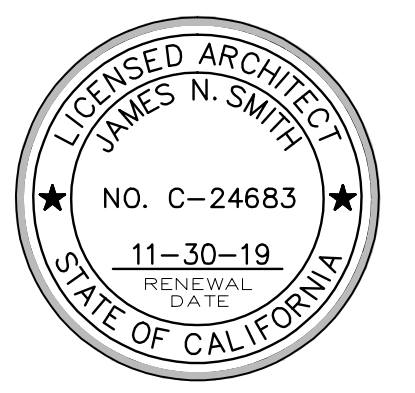
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FAX: 831.372-7252
CEL: 831.915-9518

PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



SHEET TITLE

EXTERIOR ELEVATIONS

ISSUE	REVISIONS
1	04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
2	09-24-19 PLANN'G RESUB-CONTEMP VERSION

DATE

PROJECT NUMBER

SHEET NUMBER

A6.3

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1 PROPOSED STREET VIEW - LOOKING WEST
SCALE : N.T.S.

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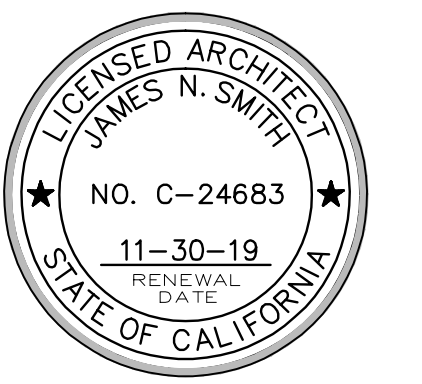
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PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



SHEET TITLE

**3D STREET
VIEW**

ISSUE REVISIONS

- ① 04-16-19
SUBMITTAL-TWO STORY ADD-LOT 9
- ② 09-24-19
PLANN'G RESUB-CONTEMP VERSION

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DATE

PROJECT NUMBER

SHEET NUMBER

A6.3D

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1 3D VIEW - LOOKING WEST
SCALE : N.T.S.

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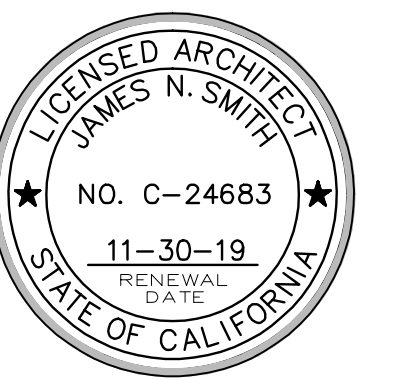
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PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



SHEET TITLE

**3D VIEW
WEST**

○ ISSUE △ REVISIONS

① 04-16-19
SUBMITTAL-TWO STORY ADD-LOT 9

② 09-24-19
PLANN'G RESUB-CONTEMP VERSION

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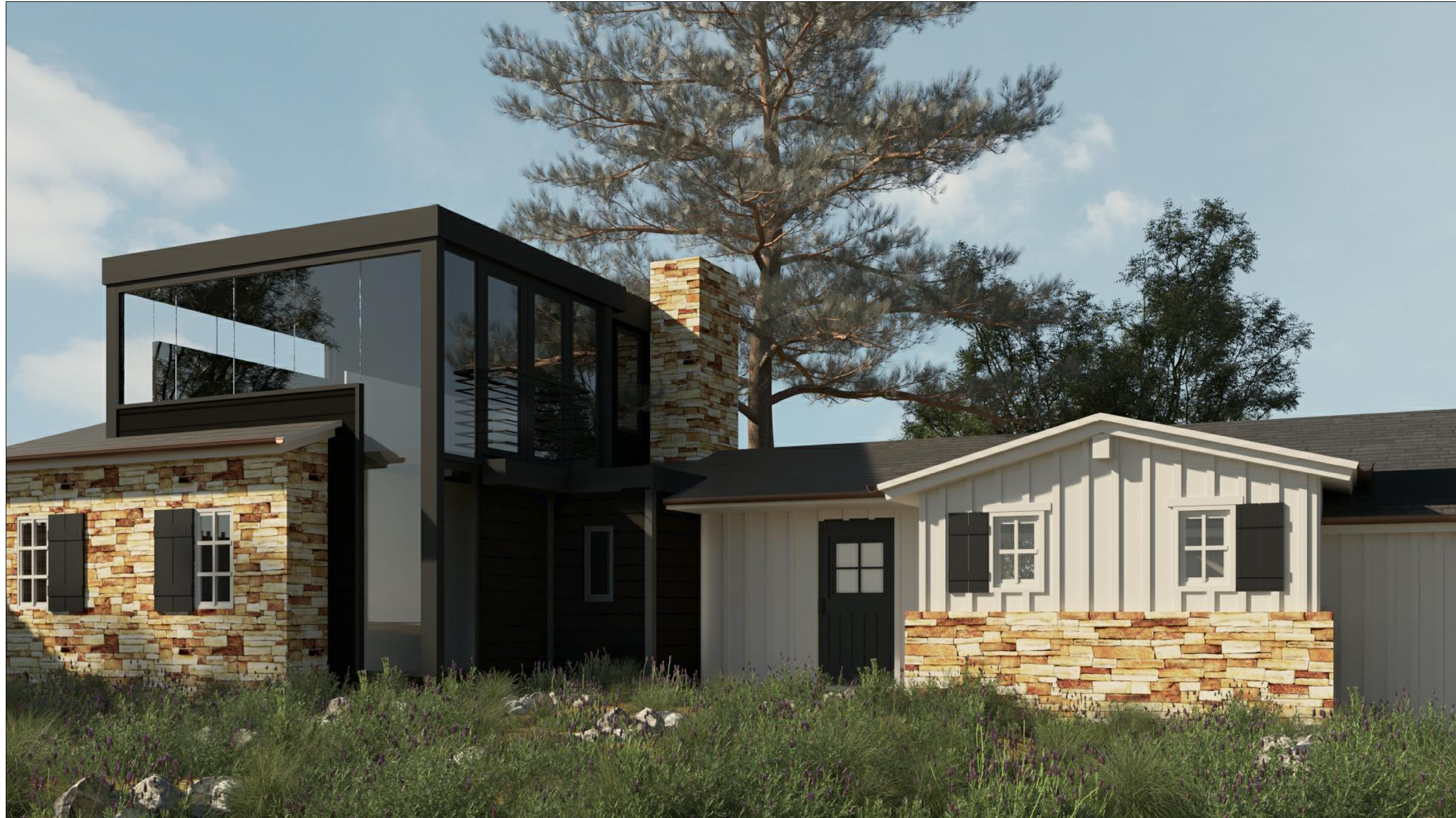
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1 3D VIEW - LOOKING SOUTH
SCALE : N.T.S.

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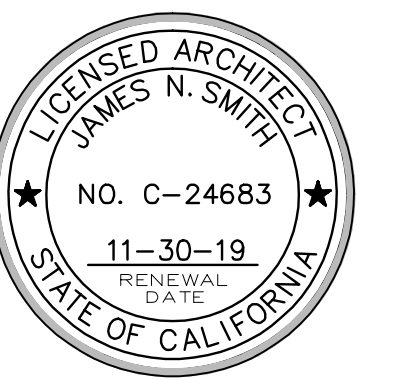
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PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



SHEET TITLE

3D VIEW
SOUTH

ISSUE REVISIONS

- 1 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- 2 09-24-19 PLANN'G RESUB-CONTEMP VERSION

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DATE

PROJECT NUMBER

SHEET NUMBER

A6.3D-2

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1 3D VIEW - LOOKING EAST
SCALE : N.T.S.

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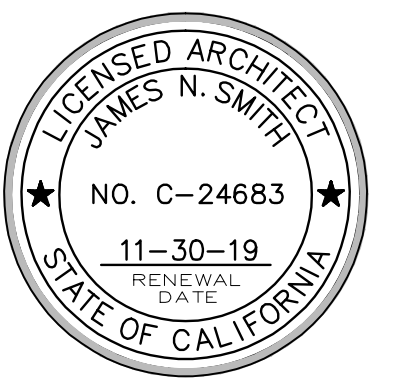
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PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



SHEET TITLE

**3D VIEW
EAST**

○ ISSUE △ REVISIONS

- ① 04-16-19
SUBMITTAL-TWO STORY ADD-LOT 9
- ② 09-24-19
PLANN'G RESUB-CONTEMP VERSION

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- △

DATE

PROJECT NUMBER

SHEET NUMBER

A6.3D-3