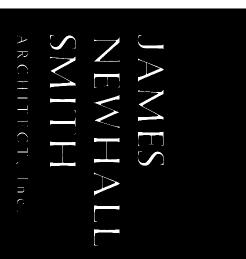
CARMELO 3 SW OF 7TH - LOT 9

BE GUARANTEED AGAINST DEFEC DATE OF COMPLETION. LL PERSONALLY SUPERVISE AND IVE INSTRUCTIONS AND OVER DRIVINES. PROTECT OTHER TREES DUJUE REMOVAL OF ALL ROOT STRUFF CUT WOOD FOR FUTURE FIREPL	11. THE USE OF THE WORD "PROVIDE" IN CONNECTED WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED. 12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWNOS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINSHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION. 13. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING PERMITTED "JOB COPY" SET(S) AND A COPY OF THE SOILS REPORT BYDATEDON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION POOLUMENTS AS REQUIRED. THE CONTRACTOR SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN. 14. THE CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB SLEANING TO PREVENT ANY DIRT, DEBRIS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB SLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE. 15. THE CONSTRUCTION DOCLIMENTS ARE PROVIDED TO ILLUSTRATE THE DEBRIS AND GENERAL TYPE OF CONSTRUCTION DESIRED AND PLUMBING WORK AND MATERIAL AND WORKMANSHIP THROUGHOUT. 16. ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REQULATIONS OF THE INJURISH WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REQULATIONS OF THE NUTURAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFELY PROCESS OF THE DIVISION OF INDUSTRIAL SAFETY, AND MAY PAPULCABLE STATE OR LOCAL LAWS AND ORDINANCES. 17. WORK WHICH IS OBNOUSLY REQUIRED TO BE PERFORMED IN OPERATION MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PROVIDE A COMPLETELY OPERABLE. 18. MALL ELECTRICAL SAND REQUIRED TO DEPART WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PROVIDE A COMPLETELY OPERABLE. 18. THE CONTRACTOR AND INCLUDED IN THE PLANS, SHALL BE PLANS.	PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED MINOT THEIR WRITTEN APPROVAL. ALL NON—SPECIFED PRODUCTS SHALL CONCERN TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PROPURED SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PROPURED. SHALL CONFORM TO THE LATEST ADDOTED EDITION OF THE CALIFORNIA BUILDING CODE AND THE LATEST ADDOTED EDITIONS AS ADDOTED BY THE CITY OF CARMEL AND MONITEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORK AND REGULATIONS AS ADDOTED BY THE CITY OF CARMEL AND MONITEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORK AND RECIPIED BY THE CITY OF CARMEL AND MONITEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORK AND RECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE DRAWNICS. QUESTIONS REASONS THAT ALL MAY WORK SHOWN OR REFERENCE TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THE ARCHITECT FOR CLARRICCATION. WORK SHOWN OR REFERENCE TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THE ARCHITECT FOR CLARRICCATION. WORK THAT IS CONTRACTOR SHALL BE AT GENERAL OR SUB-CONTRACTOR SHALL BE ROUGHT IN MEDIA TO THE ARCHITECT FOR CLARRICCATION. WORK THAT IS CONTRACTOR SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR FOR ENOUGH TO THE ARCHITECT SHALL DOWN OR REPEASE. 10. ALL WORK LISTED, SHOWN OR IMPLED ON ANY CONSTRUCTION DOCUMENT THAT ALL WORK IS DONE IN CONFERMANCE WITH ANUFACTURER'S REQUIREMENTS. THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFERMANCE WITH AND THAT ALL WORK IS DONE IN CONFERMANCE WITH AND WORK SHOWN OR REPEASE. THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFERMANCE WITH THAT OF OTHER SHALL RECOURSE SHALL BE VIEW OF THE ARCHITECT SHALL INCLUDE ALL LARGE, MATERIALS, SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.	CENTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WHO SHALL FEROT HIS WORK. STO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES WAND EQUIPMENT WHICH MAY AFFECT HIS WORK. 2. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, AND FEES, HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS INCESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.) 4. CONTRACTOR SHALL PROTECT OWNER'S PROPERTY AND IMPROVEMENTS, NEW AND/OR EXISTING MATERIALS, AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND OWNER DEMOLITION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND OWNER DEMOLITOR. DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DEMOLITOR. DEMOLITOR, DEMOLITOR, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DEMOLITOR. DEMOLITOR AND AND EXPENSE AND EXISTING MATERIALS, THIS SES, STRUCTURES, AND EXCUSSARY. 5. MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUIRST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR EQUAL QUALITY AND
DEFERRED SUBMITTALS 1. CONTRACTOR TO SUBMIT GAS LINE SIZING FOR COUNTY & UTILITY APPROVAL BEFORE INSPECTION. 2. TRUSS CALCS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY TRUSS INSPECTIONS. CALCS BY MANUFACTURER SHALL INCLUDE TRUSS PROFILES AND LAYOUT PLANS. 3. THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (NDIOLATED BY LETTER OR STAMP, SIGNATURE AND DATE) BY THE EQUIPMENT OF THE BUILDING DEPARTMENT STATING THIS APPROVAL. 4. THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE BUILDING DEPARTMENT. 5. GLU-LAM CERTIFICATES SHALL BE COPIED TO THE BUILDING DEPARTMENT. 6. NEW SITE RETAINING WALLS HAVE NOT BEEN REVIEWED UNDER THIS PERMIT. A SEPERATE PERMIT APPLICATION IS REQUIRED FOR ALL NEW RETAINING WALLS.	1. NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MOUNTERSY COUNTY HEALTH DEPARTMENT. 2. ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF, WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE. 3. NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONBLY AVAILABLE SOURCE OF RECLAMBED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTERCY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCLU USE. 4. THE USE OF SOLDERS CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164). 5. PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS. 6. THE BUILDER/CONTRACTOR SHALL PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION WITH A COPY OF THE OF-FIRM INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION. 7. GRADING PERMIT, IF REQUIRED, TO BE PER SEPARATE PERMIT. 8. SPRINKLER SYSTEM, IF REQUIRED, TO BE PER SEPARATE PERMIT. 9. RETAINING WALLS UNCONNECTED TO THE STRUCTURE(S), IF REQUIRED, ARE PER SEPARATE PERMIT.	FACE OF FINISH GALVANIZED GALVANIZED GALVANIZED GALVANIZED GALVANIZED ROW GALVANIZED W/O WITHOUT WP WATERPE WE WATERPE WATERPE WATERPE WE WATERPE WE WATERPE WATERPE WE WATERPE WATERPE WATERPE WE WATERPE WATERP	ABBREVIATIONS FXISTING
JRA CONTACT PER: TEL. (831) 42: FAX (831) 42: SAM'S CELL (8 SAM'S CELL (8 SAM'S EMAIL: JEFF OLMS (8 JEFF OLMS (8 MONTEREY ENI 227 FOREST / PACIFIC GROVE CONTACT PER: TEL. (831) 372: FAX (831) 373: FAX (831) 373: ER: EPYORS JITE A CONTACT PER: TEL. (831) 373: EMAIL: DAVE@ ON RY TAYLOR	CARMELO ST. CARMELO ST. THAVE SAN ANTONIO AVE STHAVE STHAVE SAN ANTONIO AVE STHAVE SAL STE. A30 CONTACT PERSON: SAM LOCATION OF PROJECT PROJECT SAL AVE STHAVE S		SHEET NO. DESCRIPTION SHEET NO. DESCRIPTION ARCHITECTURAL A0.0 COVER SHEET A1.0 SITE PLAN A2.0 PROPOSED FLOOR PLAN A2.1 PROPOSED 2ND FLOOR PLAN A5.0 ROOF PLAN A6.0 EXTERIOR ELEVATIONS A6.2 EXTERIOR ELEVATIONS A6.3 EXTERIOR ELEVATIONS
LOT 7 PROJECT SQUARE FOOTAGE 1,357 S.F. EXISTING LIVING 203 S.F. (MIN 200 S.F. GARAGE COUNTED-LIVING AREA)	RAGE = 556 S.F. - LOT 9	PARKING PROVIDED COVERED: 1 UNCOVERED: 1 UNCOVERED: 1 = 1,800 S.F. = 1,800 S.F. 198 S.F. (MIN 200 S.F. GARAGE COU AGE 765 S.F. = 1,035 S.F. = 1,035 S.F. MAIN FLOOR ADDITION = 433 S.F. NEW ENTRY NEW BED #1/KI = 754 S.F. = 396 S.F. (22% OF BFA) = 160 S.F. (SEMI-PERMEABLE PAVERS	PROJECT INFORMATION PROJECT DESCRIPTION: ADDITIONS AND UPPER FLOOR ADDED TO A NON HISTORIC ONE STORY S.F.R. LOT SPLIT OF LOTS 7 & 9, TWO PREVIOUSLY SEPARATE LOTS PROJECT ADDRESS: LOT 9 LOT 99 LOTS 7 & 9, TWO PREVIOUSLY SEPARATE LOTS PROJECT OWNER: LOT 90 LOTS 7 & 9, TWO PREVIOUSLY SEPARATE LOTS PROJECT OWNER: LOT 90 LOTS 7 & 9, TWO PREVIOUSLY SEPARATE LOTS PROJECT OWNER: LOT 90 LOS ALTOS, CA. 94022 (650) 386-6403 PLANNING INFORMATION B A.P.N. 010-268-003 LEGAL DESCRIPTION: LOT 7 & 9 BLOCK T GITY OF CARMEL ZONING: R1 MAX. ALLOWABLE BUILDING HEIGHTS: FIRST FLOOR ROOF HT:: 18' FIRST FLOOR PLATE HT:: 12' SECOND FLOOR ROOF HT:: 24' SECOND FLOOR PLATE HT:: 18'

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CARMELO

PROJECT/CLIENT

LOT 9

GLEN YONEKURA CARMELO 3 SW OF 7TH CARMEL BY THE SEA CA



COVERSHEET

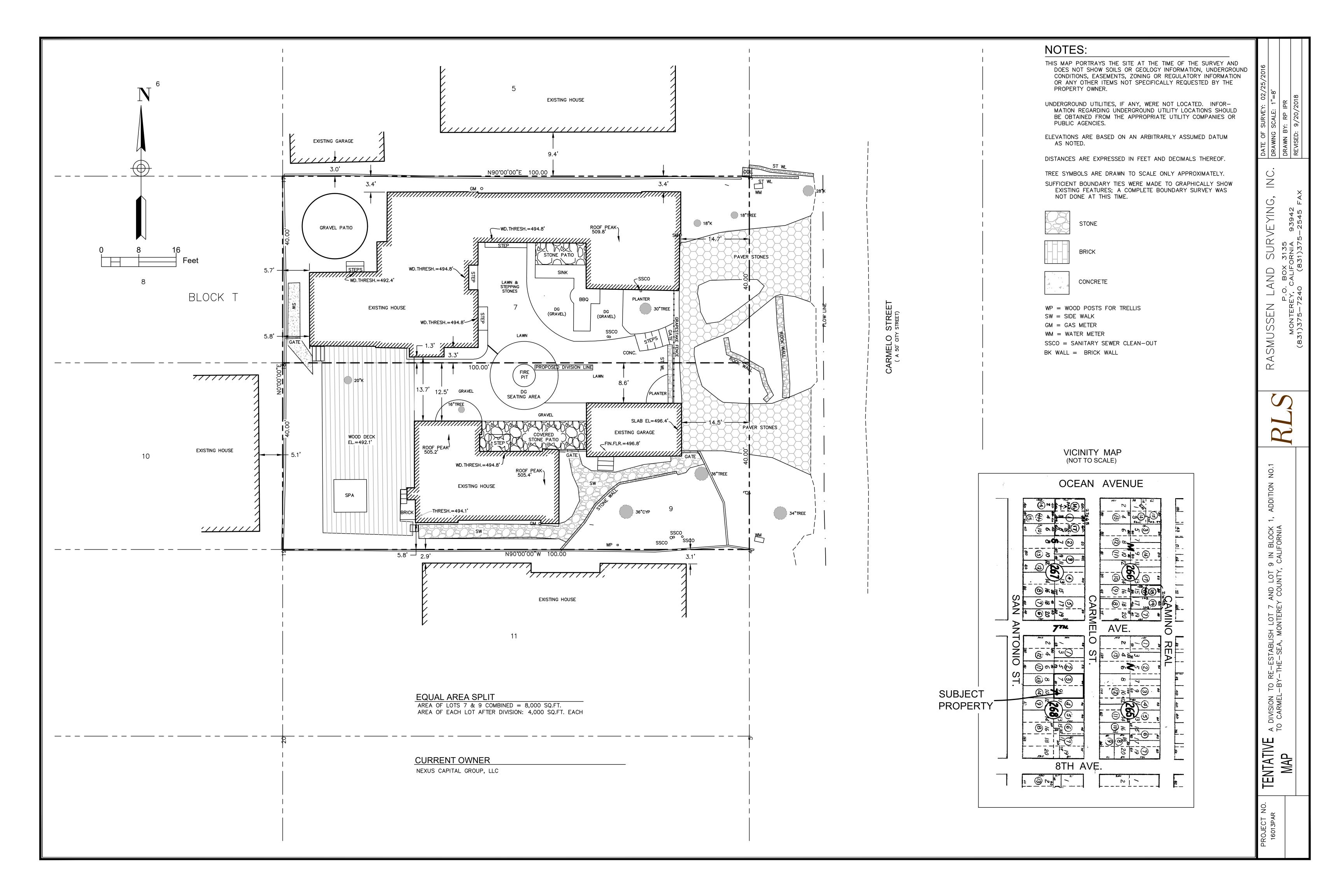
ISSUE REVISIONS					
	_	_	_	1) 10-18-16 SUBMITTAL-MINOR DEMO PERMIT	

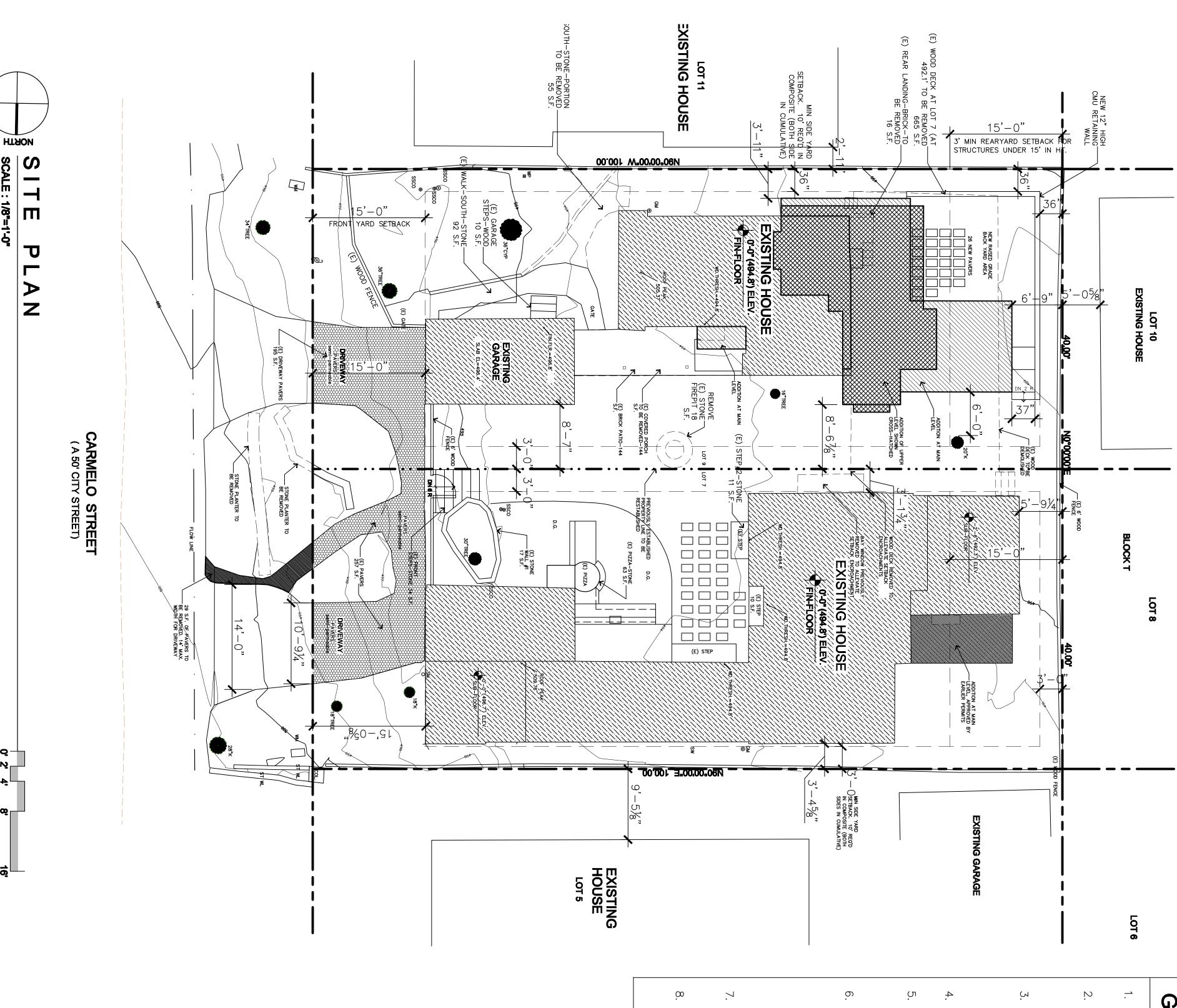
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DATE

PROJECT NUMBER

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G ENERAL SITE PLAN NOTES

- CONTRACTOR TO COORDINATE ALL NEW UTILITY INSTALLATIONS WITH UTILITY COMPANIES AND BUILDING DEPARTMENT(S).
- CONTRACTOR TO VERIFY ADEQUACY OF ALL (E) UTILITIES. SUBSTANDARD SERVICES SHALL BE REPLACED/UPGRADED NECESSARY TO COMPLY WITH CURRENT CODES AND ORDINACES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PROPERTY CORNERS AND HOUSE LAYOUT RELATIVE TO SETBACKS BY LICENSED SURVEYOR PRIOR TO BUILDING FORMWORK OR POURING CONCRETE. CONTRACTOR SHALL COORDINATE WITH MONTEREY COUNTY.
- RETAINING WALLS REQUIRING A BUILDING PERMIT ARE BY SEPARATE PERMIT, UNLESS NOTED OTHERWISE.
- THE LOCATION, TYPE AND SIZE OF ALL ANTENNAS, SATELLITE DISHES OR TOWERS, AND SIMILAR APPURTENANCES SHALL BE APPROVED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

93950

716 LIGHTHOUSE AVE PACIFIC GROVE, CA.

- 3. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISH INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.
- TOPOGRAPHICAL (EXISTING) AND OTHER SURVEY INFORMATION REPRESENTED HEREIN IS AS PROVIDED BY RASMUSSEN LAND SURVEYING ON 02-25-2016, JOB #13032. #13032.
- REFER TO GEOTECHNICAL REPORT FOR ALL GRADING AND FOUNDATION RECOMMENDATIONS. IF REQUIRED, GEOTECHNICAL ENGINEER SHALL INSPECT GRADING AND TRENCHING FOR FOOTINGS PRIOR TO PLACEMENT OF FORMWORK OR CONCRETE.

TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

CARMELO

PROJECT/CLIENT

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



SITE PLAN

SHEET TITLE

1) 10-18-16 SUBMITTAL-MINOR DEMO PERMIT SSUE REVISIONS

4) 06-29-18
PLANNING RESUBMITTAL 2) 12-12-17 SUBMITTAL-PLANNING PERMIT 3 01-31-18 ADDITION AND LOT SPLIT

(5) 09-20-18
PLANNING RESUBMITTAL-

DATE

NUMBER

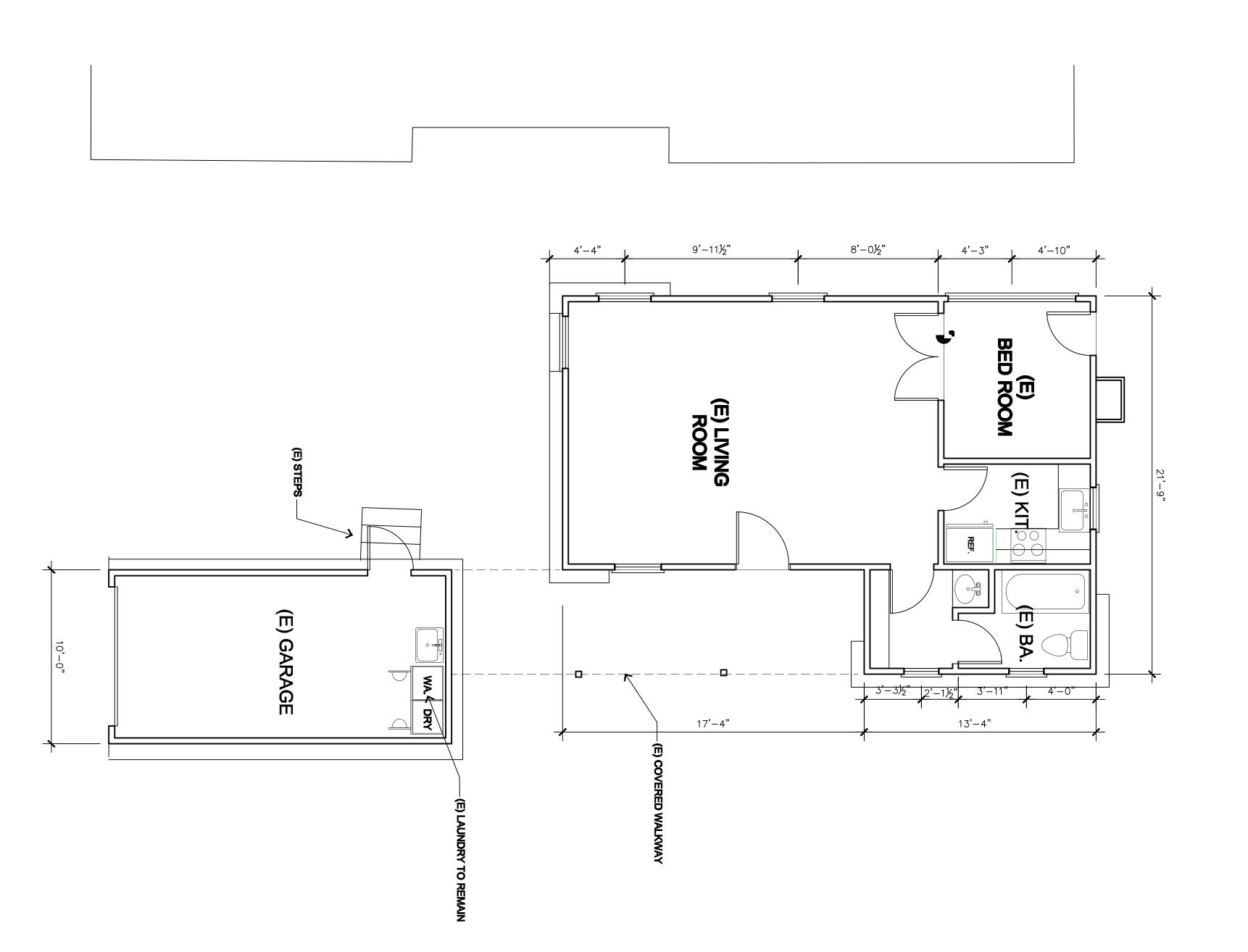
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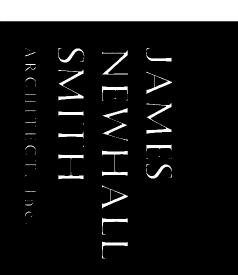
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LOT 9

CARMELO

PROJECT/CLIENT

GLEN YONEKURA CARMELO 3 SW OF 7TH CARMEL BY THE SEA CA.



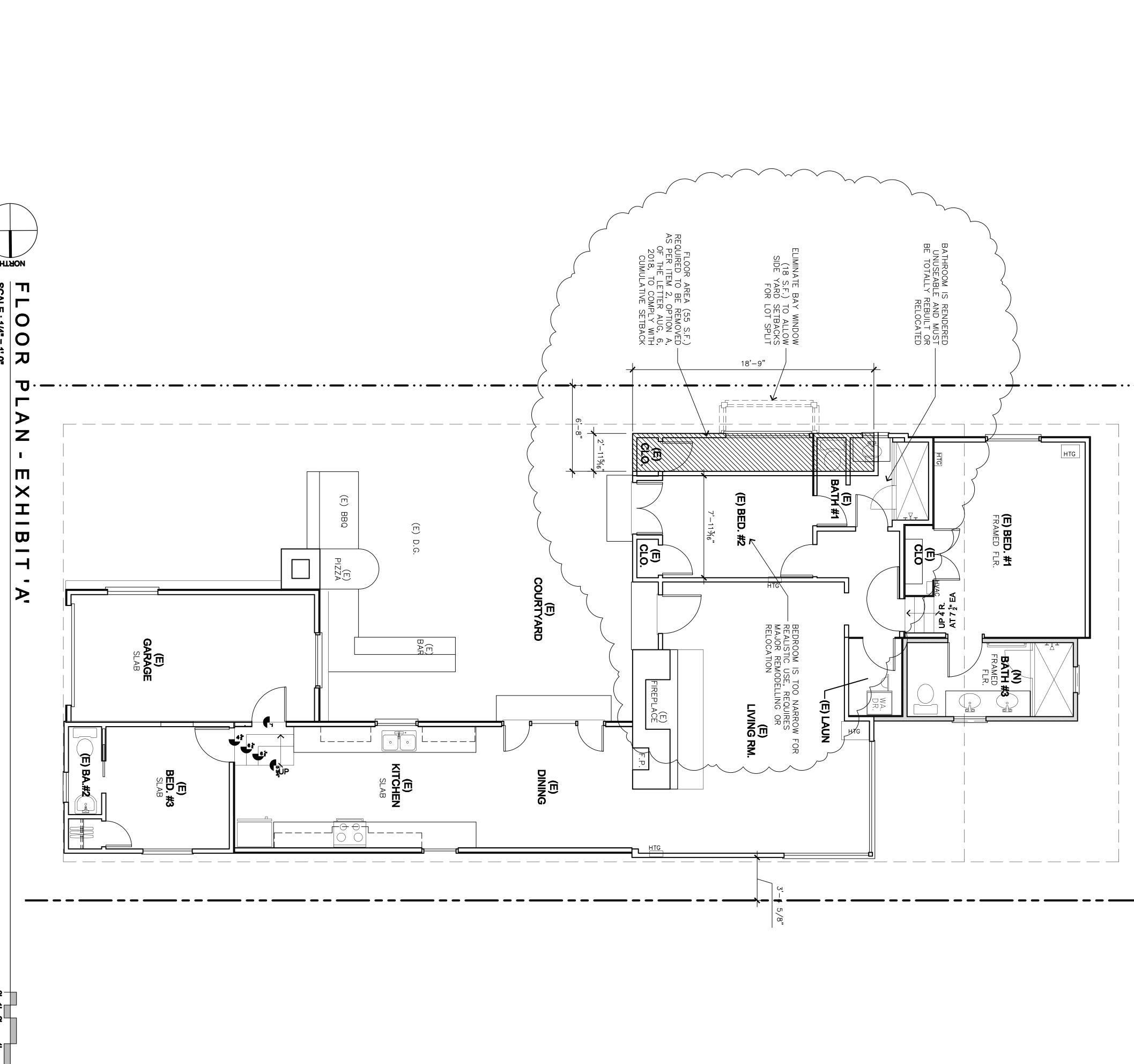
(E) FLOOR PLAN

MO PERMIT PERMIT AL AL—3	PLANNING RESUBMITTAL 5) 09-14-18 PLANNING RESUBMITTAL-3	3) 01-31-18 ADDITION AND LOT SPLIT	2) 12-12-17 SUBMITTAL-PLANNING PERMIT	1) 10-18-16 SUBMITTAL-MINOR DEMO PERMIT	O ISSUE REVISIONS	
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DATE

PROJECT NUMBER

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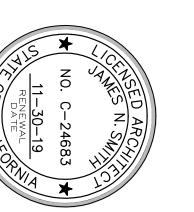
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SHEET NUMBER

PROJECT NUMBER

GLEN YONEKURA
CARMELO
3 SW OF 7TH
CARMEL BY THE SEA TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518 LOT 7 PROJECT/CLIENT CARMELO

716 LIGHTHOUSE AVE PACIFIC GROVE, CA. 93950





2) 10-06-17 PLANNING SUBMITTAL

3) 12-06-17 BUILDING SUBMITTAL

1) 07-01-16 SUBMITTAL

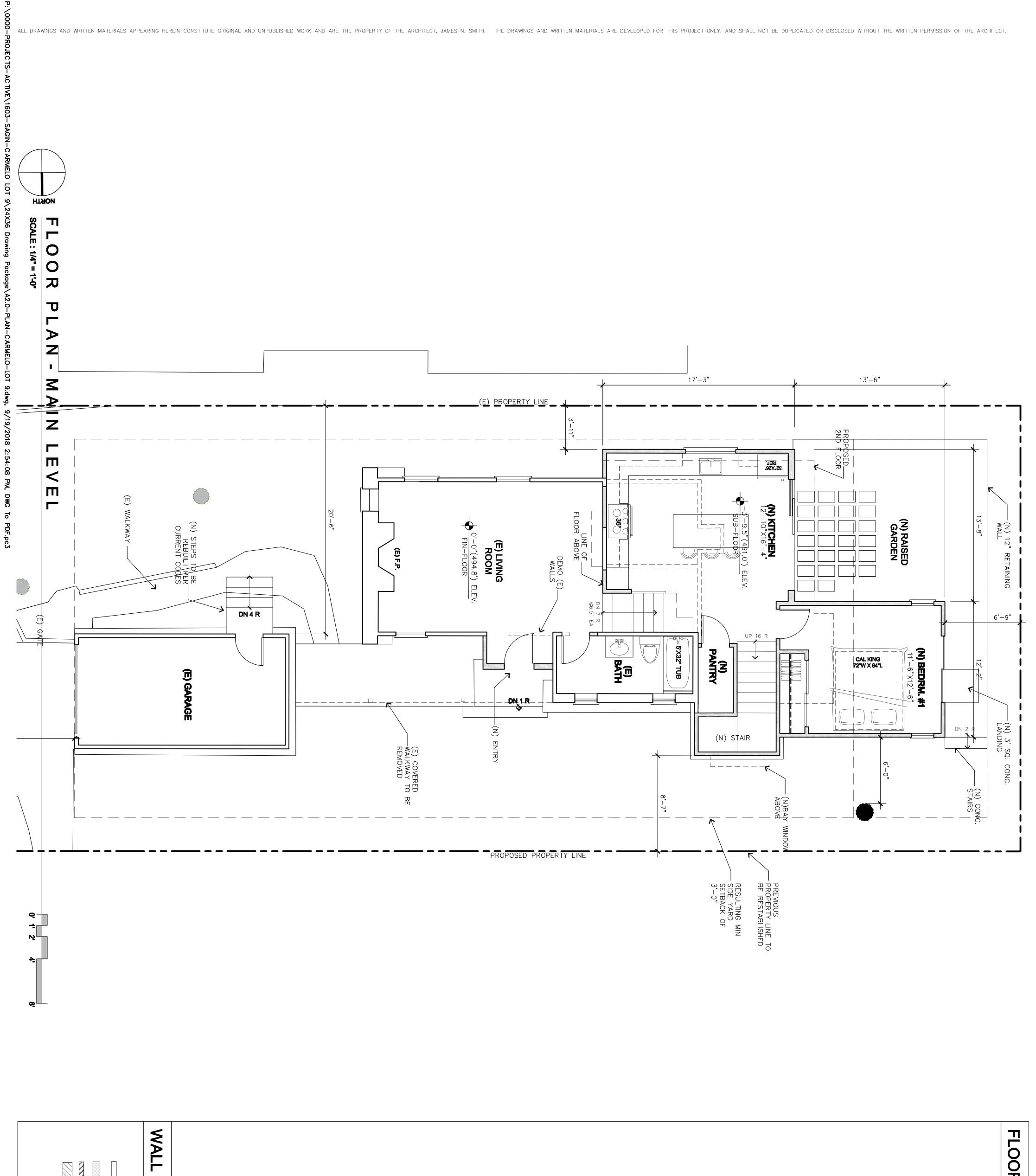
O ISSUE

REVISIONS

FLOOR PLAN EXHIBIT 'A'

TITLE

02-14-18 PLAN CHECK #1



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FLOOR PLAN NOTES

716 LIGHTHOUSE AVE PACIFIC GROVE, CA. 93950

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LOT 9 CARMELO

PROJECT/CLIENT

GLEN YONEKURA CARMELO 3 SW OF 7TH CARMEL BY THE SEA CA.



SHEET TITLE

MAIN LEVEL FLOOR PLAN

O ISSUE REVISIONS

1) 10-18-16 SUBMITTAL-MINOR DEMO PERMIT

2) 12-12-17 SUBMITTAL-PLANNING PERMIT

3 01-31-18 ADDITION AND LOT SPLIT 4) 06-29-18
PLANNING RESUBMITTAL

5) 09-14-18 PLANNING RESUBMITTAL-3

PROJECT NUMBER

DATE

LEGEND

NEW 2X STUD FRAMED WALL STONE WALL / VENEER CMU WALL-SEE STUCTURAL DWG'S

SHEET NUMBER

2X EXISTING WALL TO REMAIN

HTAON 刀 19'-0" U U П 刀 (N) GABLE ROOF OVER NEW -BEDROOM П П).0'EL) FLOOR M. #3 EXISTING CHIMNEY - WITH NEW SPARK ARRESTOR (N) COPPER CRICKET (N) CLO. SFOPE 4 IN 12 2LOPE 4 IN 12 (E) WOOD SHAKE (N) GABLE ROOF - OVER EXPANDED ENTRY _(E) WOOD SHAKE ROOF STAIR LANDING 6'-0" 6'-9"

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ELECTRICAL PLAN NOTES

WALL **LEGEND**

LOT 9

CARMELO

PROJECT/CLIENT

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716 LIGHTHOUSE AVE PACIFIC GROVE, CA. 93950

2X EXISTING WALL TO REMAIN

NEW 2X STUD FRAMED WALL STONE WALL / VENEER CMU WALL-SEE STUCTURAL DWG'S

ELECTRICAL

SYMBOLS LEGEND

WATERPROOF OUTLET (EXTERIOR)
RECESSED FLOOR MOUNTED OUTLET, BRASS
BY HUBBELL, UL #514A, OR EQ.
TELEPHONE JACK

GROUND FAULT INTERRUPT

4 PLEX OUTLET

220 VOLT OUTLET

HIGH SPEED DATA LINE

DUPLEX OUTLET

DUPLEX OUTLET RECESSED INTO WALL

HALF SWITCHED OUTLET

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA.

CENSED ARCHIT

	SHEET TITLE	(5)	*	
	i I	RENEWAL DATE OF CALKOR	NO. C-24683	TAN THE
- п > < 2 п		PANA	*	13

1) 10-18-16 SUBMITTAL-M	O ISSUE	FLOOR
10-18-16 SUBMITTAL-MINOR DEMO PERMIT	REVISIONS	X TLAN

CENTRAL VACUUM OUTLET

TELEVISION CABLE

THERMOSTAT CONTROL

RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS

GAS OUTLET

HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE. (CPC 603.4.7, TYP.)

WALL MOUNTED AIR SUPPLY REGISTER

RETURN AIR REGI

GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER

(5) 09-14-18 PLANNING	(4) 06-29-18 PLANNING	3 01-31-18 ADDITION	2 12-12-17 SUBMITTAI	1) 10-18-16 SUBMITTAI	O ISSUE
09-14-18 PLANNING RESUBMITTAL-3	06-29-18 PLANNING RESUBMITTAL	01-31-18 ADDITION AND LOT SPLIT	12-12-17 SUBMITTAL-PLANNING PERMIT	10-18-16 SUBMITTAL-MINOR DEMO PERMIT	REVISIONS

ELECTRICAL LEGEND NOTES

FLOOR MOUNTED SUPPLY AIR REGISTER

ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION AND SIZE

ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

POLESWITCH AND SWITCHPLATE STYLE AND COLOUR TO BE DETERMINED BY OWNER.

THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGHIN.

NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.

DATE

PROJECT NUMBER

PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.

FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.

LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC ARTICLE 410-4(a)).

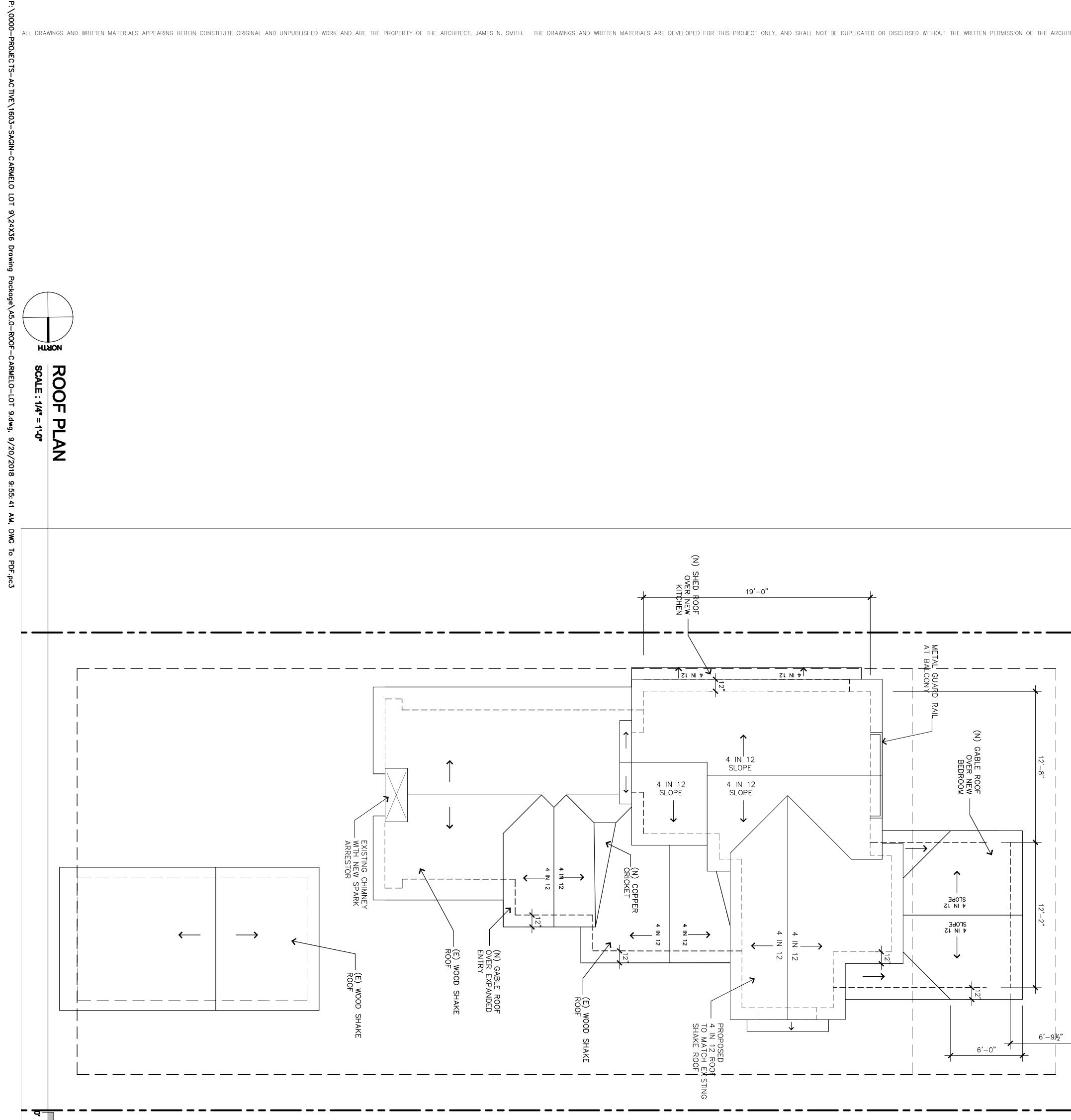
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ROOF PLAN NOTES

1. ROOF MATERIAL TO BE WOOD SHAKE TO MATCH EXISTING SHAKE ROOFING. ROOF SHAKES TO BE TREWATED TO CLASS 'B' WITH CLASS 'A' ASSEMBLY UNDERLAYMENT. FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND STYLE/SEAM SPACING OF ROOFING SEAMS PRIOR TO INSTALLATION

3. ROOF SLOPE = 8 IN 12 UNLESS OTHERWISE NOTED
4. OVERHANG EAVE = 12" UNLESS OTHERWISE NOTED
5. G.I. GUTTERS WITH ROUND DOWNSPOUTS
6. GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION
7. SPARK ARRESTOR TO BE 3 TIMES THE NET FREE OPENING OF THE CHIMNEY OUTLET
8. CHIMNEY SHALL BE MIN. 2' ABOVE THE HIGHEST POINT OF THE ROOF WITHIN 10' MEASURED HORIZONTALLY ROOFING SHALL BEAR LABELS FROM AN ICBO ACCREDITED QUALITY CONTROL AGENCY IDENTIFYING THEIR ROOF COVERING CLASSIFICATION AND INDICATING THEIR COMPLIANCE WITH ICC-ES-EG107 AND WITH THE WEATHERING REQUIREMENTS CONTAINED IN HEALTH AND SAFETY CODE SECTION 13132.70 (R902.2 CRC)

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10. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.

TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

PROJECT/CLIENT

LOT 9

CARMELO

GLEN YONEKURA CARMELO 3 SW OF 7TH CARMEL BY THE SEA CA





SHEET TITLE

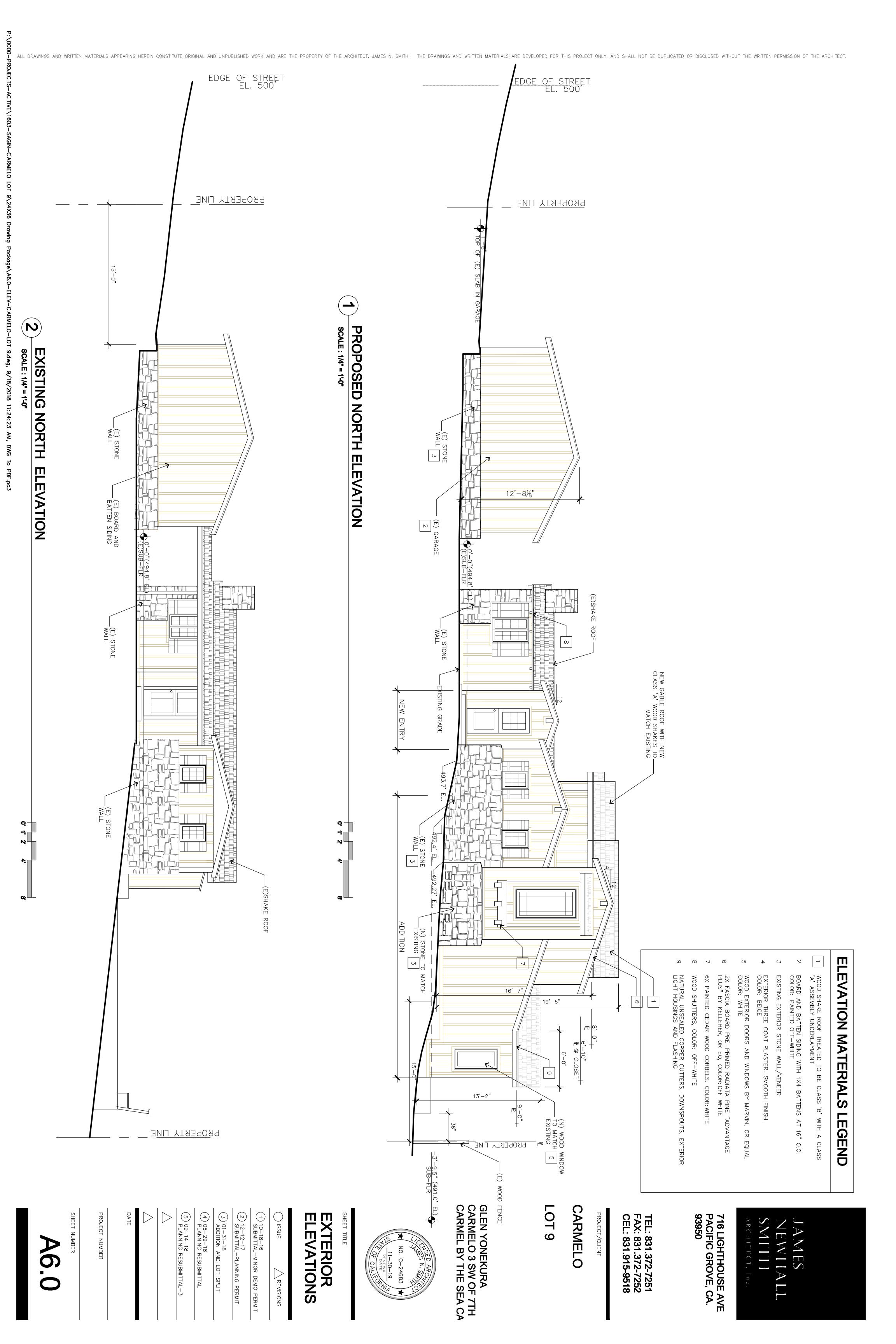
ROOF

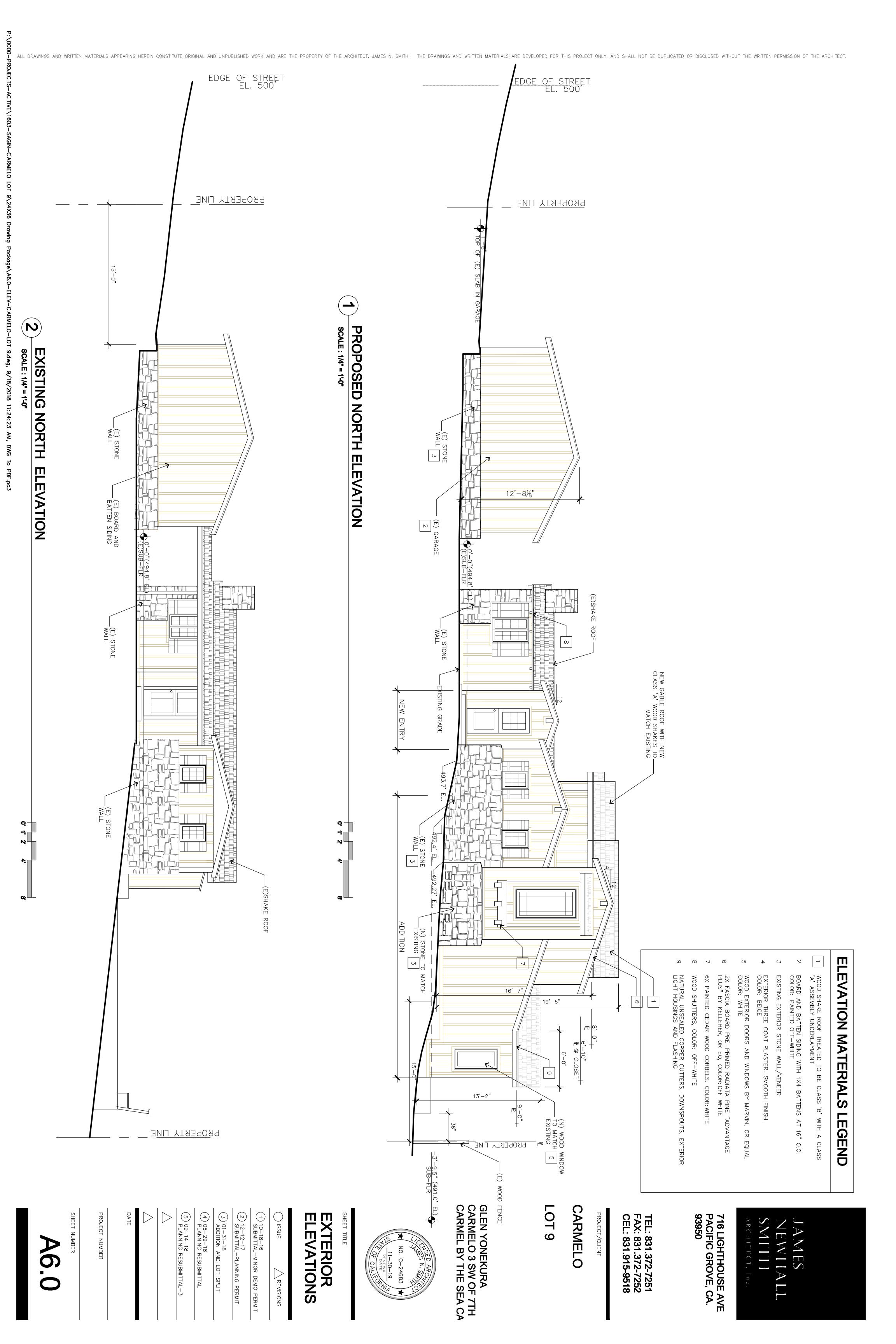
PLAN

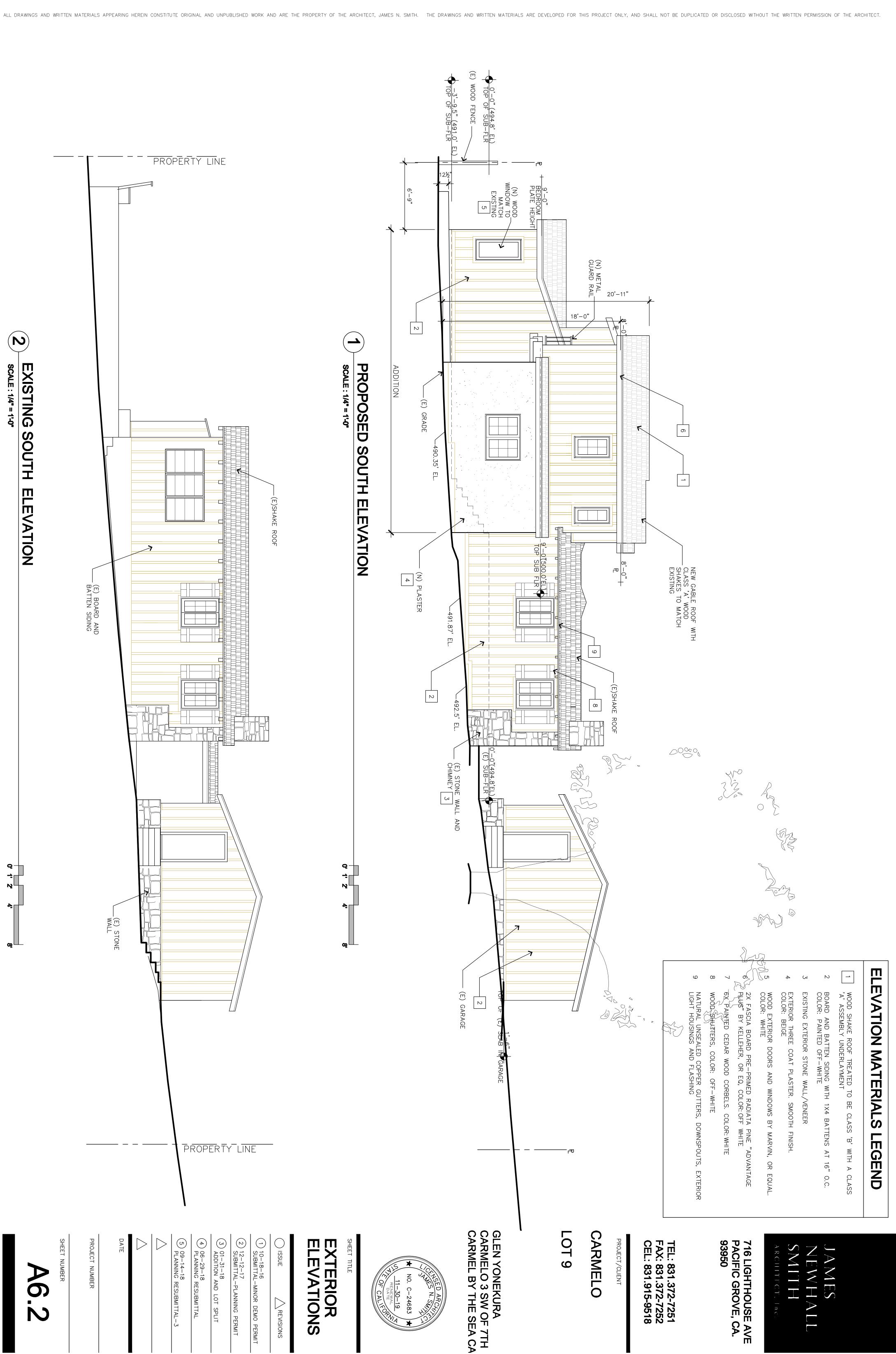
5) 09-20-18 PLANNING RESUBMITTAL-3 (4) 06-29-18
PLANNING RESUBMITTAL 3) 01-31-18 ADDITION AND LOT SPLIT 2) 12-12-17 SUBMITTAL-PLANNING PERMIT 1) 10-18-16 SUBMITTAL-MINOR DEMO PERMIT O ISSUE REVISIONS

DATE

PROJECT NUMBER







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0'-0" (494.8' EL) TOP OF SUB-FLR 7 AND_ 9 တ (N) BOARD AND BATTEN TO MATCH EXISTING 6X CORBELS

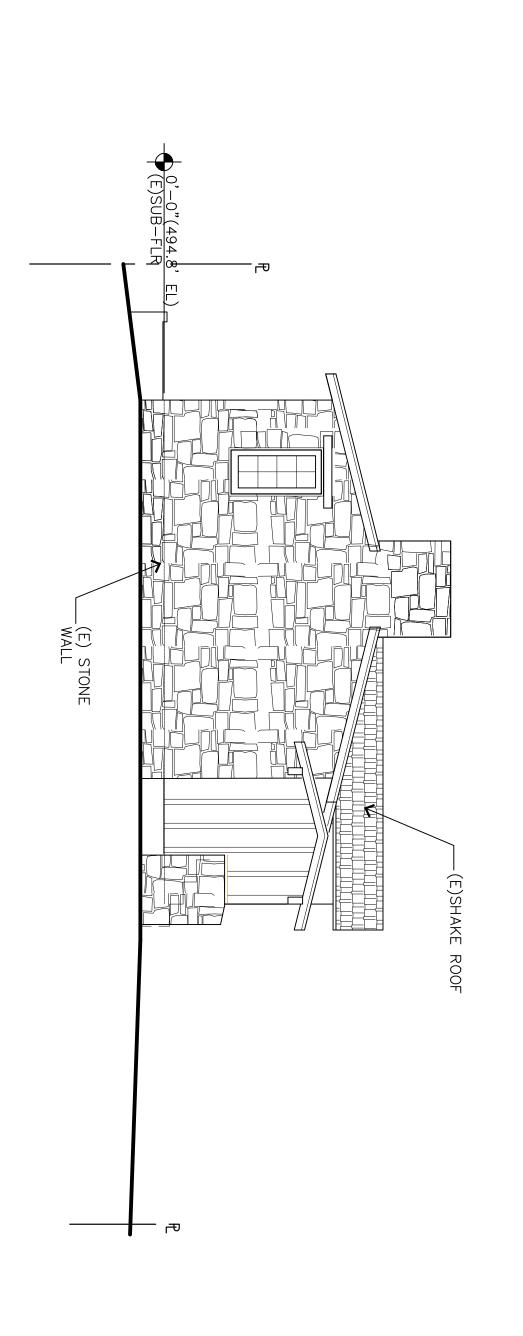
ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT.

PROPOSE

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EAST

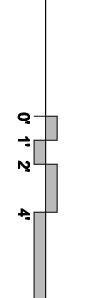
ELEVATION

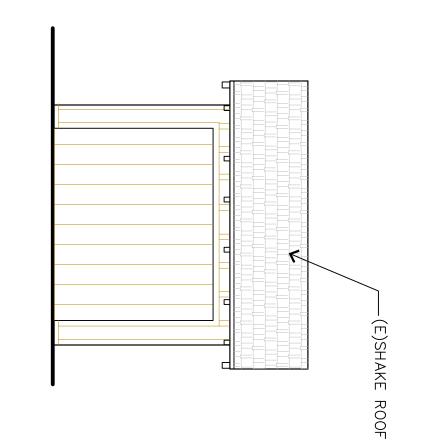




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ELEVATION MATERIALS LEGEND

- WOOD SHAKE ROOF TREATED TO BE CLASS 'B' WITH A CLASS 'A' ASSEMBLY UNDERLAYMENT
- BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
- EXISTING EXTERIOR STONE WALL/VENEER
- EXTERIOR THREE COAT PLASTER. SMOOTH FINISH. COLOR: BEIGE
- WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN, OR EQUAL. COLOR: WHITE
- 2X FASCIA BOARD PRE—PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR:OFF WHITE 6X PAINTED CEDAR WOOD CORBELS. COLOR: WHITE

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- WOOD SHUTTERS, COLOR: OFF-WHITE
- NATURAL UNSEALED COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS AND FLASHING

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PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



SHEET TITLE

EXTERIOR ELEVATIONS

(5) 09-14-18 PLANNING RESUBMITTAL-3	4) 06-29-18 PLANNING RESUBMITTAL	3 01-31-18 ADDITION AND LOT SPLIT	2) 12-12-17 SUBMITTAL-PLANNING PERMIT	1) 10-18-16 SUBMITTAL-MINOR DEMO PERMIT	O ISSUE REVISIONS	
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