

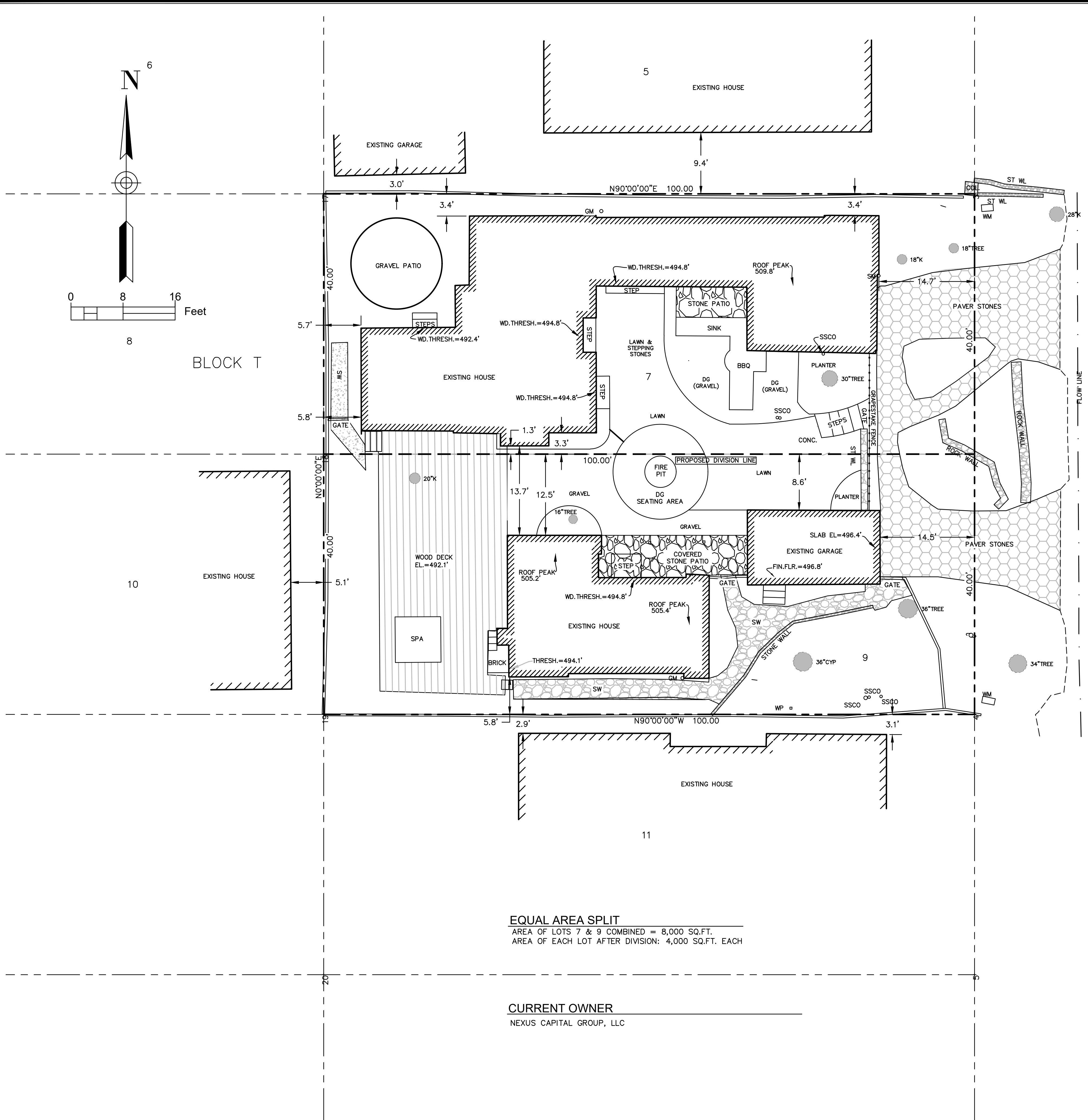
BLOCK T

10

11

**EQUAL AREA SPLIT**  
 AREA OF LOTS 7 & 9 COMBINED = 8,000 SQ.FT.  
 AREA OF EACH LOT AFTER DIVISION: 4,000 SQ.FT. EACH

**CURRENT OWNER**  
 NEXUS CAPITAL GROUP, LLC



CARMELO STREET  
 (A 50' CITY STREET)

**NOTES:**

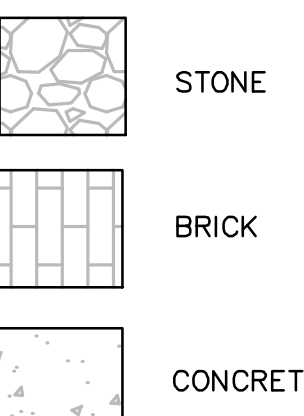
THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.

UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED. INFORMATION REGARDING UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES.

ELEVATIONS ARE BASED ON AN ARBITRARILY ASSUMED DATUM AS NOTED.

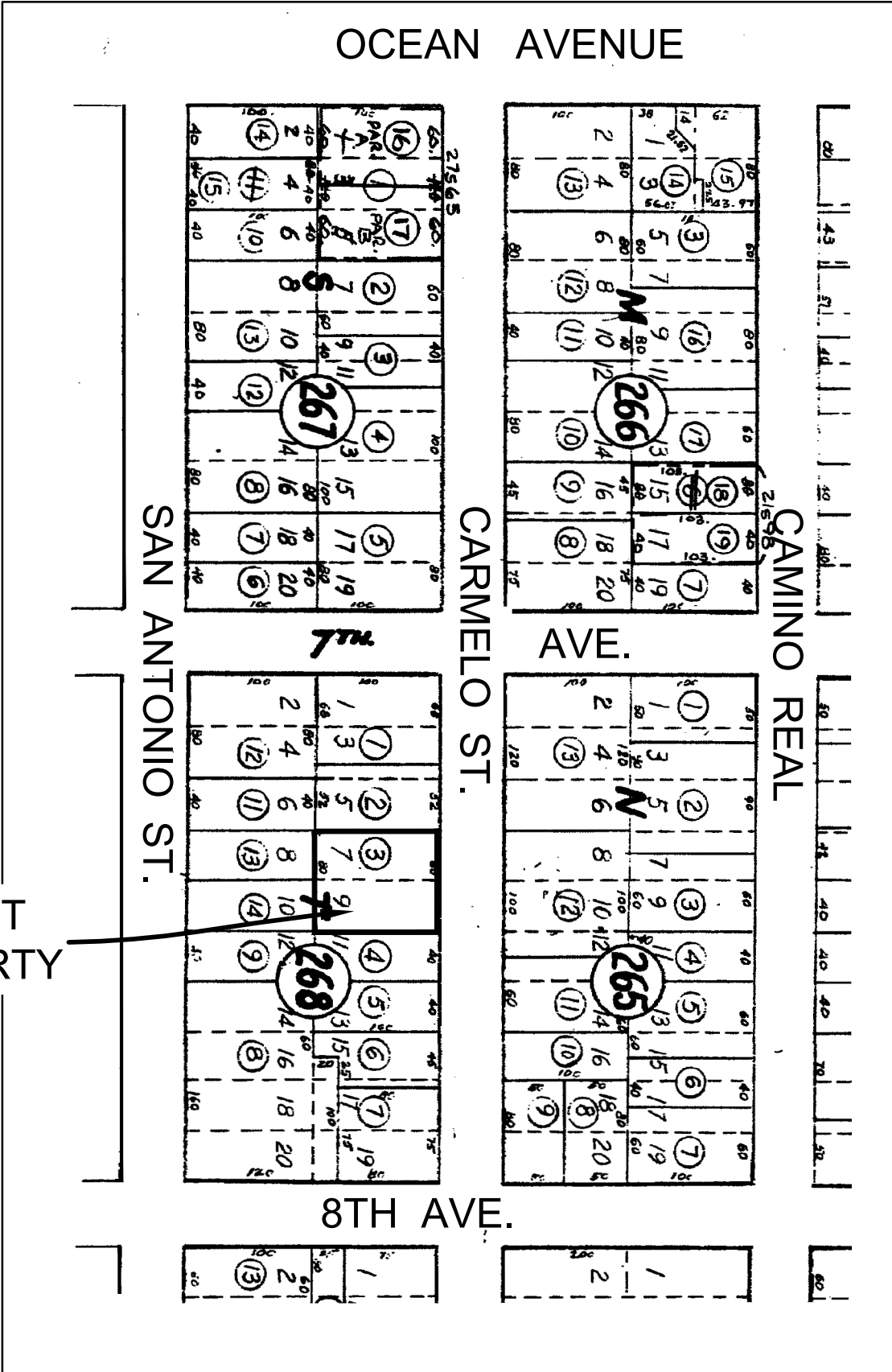
DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.

TREE SYMBOLS ARE DRAWN TO SCALE ONLY APPROXIMATELY. SUFFICIENT BOUNDARY TIES WERE MADE TO GRAPHICALLY SHOW EXISTING FEATURES; A COMPLETE BOUNDARY SURVEY WAS NOT DONE AT THIS TIME.



- WP = WOOD POSTS FOR TRELLIS
- SW = SIDE WALK
- GM = GAS METER
- WM = WATER METER
- SSCO = SANITARY SEWER CLEAN-OUT
- BK WALL = BRICK WALL

VICINITY MAP  
 (NOT TO SCALE)



DATE OF SURVEY: 02/25/2016  
 DRAWING SCALE: 1"=8'  
 DRAWN BY: RP IPR  
 REVISED: 9/20/2018

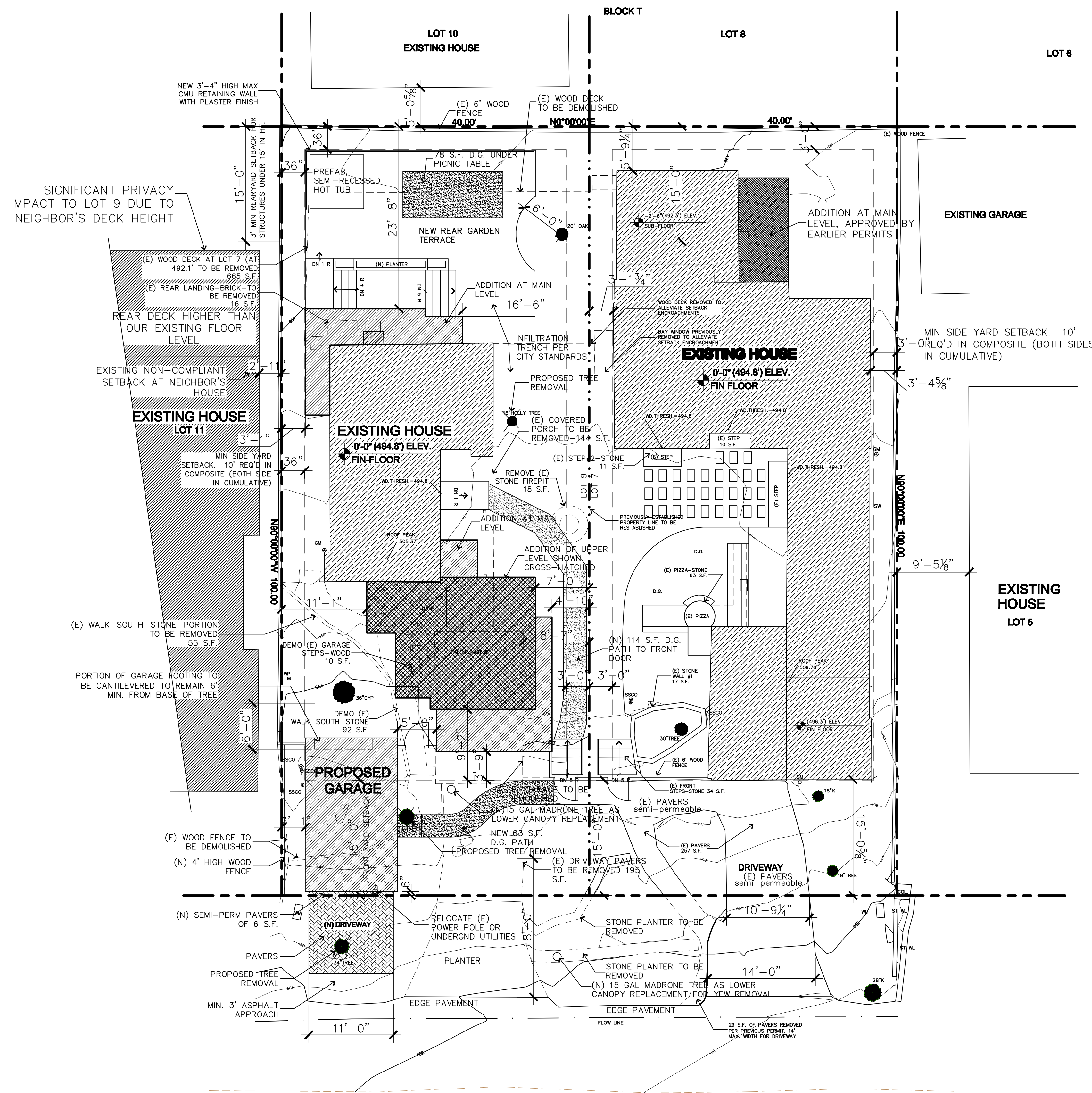
RASMUSSEN LAND SURVEYING, INC.  
 P.O. BOX 3135  
 MONTEREY, CALIFORNIA 93942  
 (831)375-7240 (831)375-2545 FAX



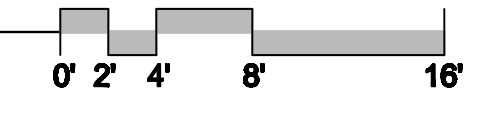
TENTATIVE MAP  
 A DIVISION TO RE-ESTABLISH LOT 7 AND LOT 9 IN BLOCK 1, ADDITION NO.1 TO CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA

PROJECT NO.  
 16013PAR

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH. THE DRAWINGS AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

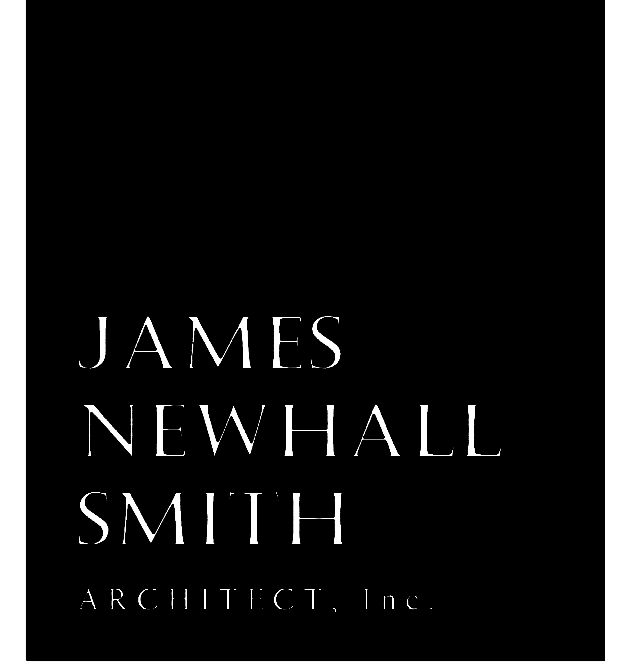


**SITE PLAN**  
SCALE: 1/8"=1'-0"



**GENERAL SITE PLAN NOTES**

1. CONTRACTOR TO COORDINATE ALL NEW UTILITY INSTALLATIONS WITH UTILITY COMPANIES AND BUILDING DEPARTMENT(S).
2. CONTRACTOR TO VERIFY ADEQUACY OF ALL (E) UTILITIES. ALL SUBSTANDARD SERVICES SHALL BE REPLACED/UPGRADED AS NECESSARY TO COMPLY WITH CURRENT CODES AND ORDINANCES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PROPERTY CORNERS AND HOUSE LAYOUT RELATIVE TO SETBACKS BY LICENSED SURVEYOR PRIOR TO BUILDING FORMWORK OR POURING CONCRETE. CONTRACTOR SHALL COORDINATE WITH MONTEREY COUNTY.
4. RETAINING WALLS REQUIRING A BUILDING PERMIT ARE BY SEPARATE PERMIT, UNLESS NOTED OTHERWISE.
5. THE LOCATION, TYPE AND SIZE OF ALL ANTENNAS, SATELLITE DISHES OR TOWERS, AND SIMILAR APPURTENANCES SHALL BE APPROVED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
6. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISH INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.
7. TOPOGRAPHICAL (EXISTING) AND OTHER SURVEY INFORMATION REPRESENTED HEREIN IS AS PROVIDED BY RASMUSSEN LAND SURVEYING ON 02-25-2016, JOB #13032.
8. REFER TO GEOTECHNICAL REPORT FOR ALL GRADING AND FOUNDATION RECOMMENDATIONS. IF REQUIRED, GEOTECHNICAL ENGINEER SHALL INSPECT GRADING AND TRENCHING FOR FOOTINGS PRIOR TO PLACEMENT OF FORMWORK OR CONCRETE.



716 LIGHTHOUSE AVE  
PACIFIC GROVE, CA.  
93950

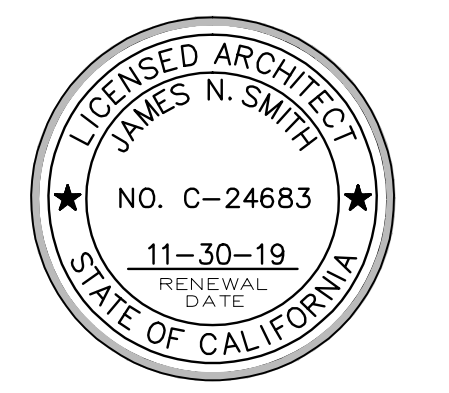
TEL: 831.372-7251  
FAX: 831.372-7252  
CEL: 831.915-9518

PROJECT/CLIENT

**CARMELO**

**LOT 9**

GLEN YONEKURA  
CARMELO 3 SW OF 7TH  
CARMELO BY THE SEA CA



SHEET TITLE

**SITE PLAN**

ISSUE	REVISIONS
① 04-16-19	SUBMITTAL-TWO STORY ADD-LOT 9
② 09-24-19	PLANN'G RESUB-CONTEMP VERSION
③ 11-25-19	CONTEMP VERSION REVISED
○	
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△	
△	

DATE

PROJECT NUMBER

SHEET NUMBER

**A1.0**

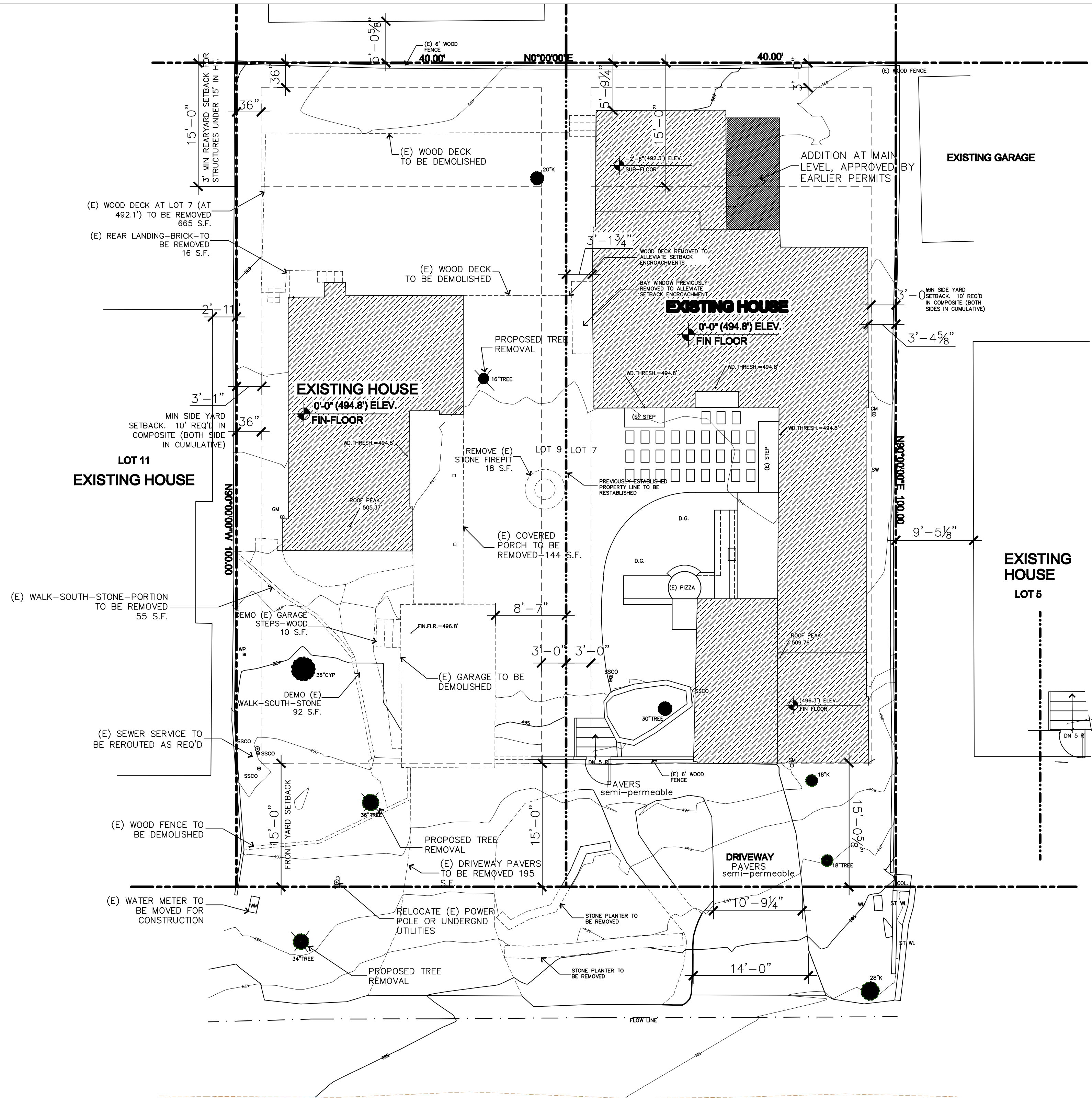


UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA  
DAL TOLL FREE 1-800-227-2600 AT LEAST TWO DAYS BEFORE YOU DIG

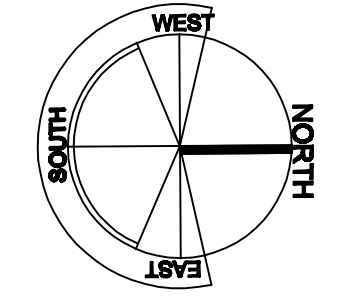
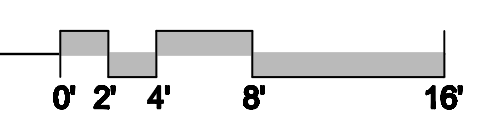
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### DEMO SITE PLAN NOTES

1. AESBESTOS SURVEY MUST BE CONDUCTED PRIOR TO ANY DEMOLITION
2. NOTIFY AIR RESOURCES BOARD IF STRUCTURAL MEMBERS ARE REMOVED AND/OR PER THEIR REQUIREMENTS
3. NO DEMO OR OTHER WORK ON NORTHERLY LOT 7 UNDER THIS PERMIT



**SITE PLAN - DEMO**  
SCALE: 1/8"=1'-0"



**JAMES NEWHALL SMITH**  
ARCHITECT, Inc.

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PACIFIC GROVE, CA.  
93950

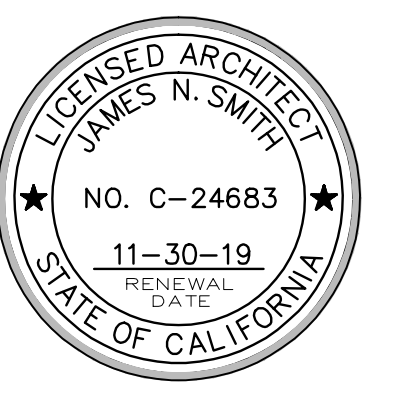
TEL: 831.372-7251  
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CEL: 831.915-9518

PROJECT/CLIENT

**CARMELO**

**LOT 9**

GLEN YONEKURA  
CARMELO 3 SW OF 7TH  
CARMELO BY THE SEA CA



SHEET TITLE

### DEMO SITE PLAN

ISSUE	REVISIONS
① 04-16-19	SUBMITTAL-TWO STORY ADD-LOT 9
② 09-24-19	PLANN'G RESUB-CONTEMP VERSION
③ 11-25-19	CONTEMP VERSION REVISED
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△	

DATE

PROJECT NUMBER

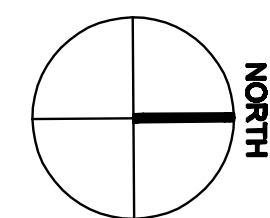
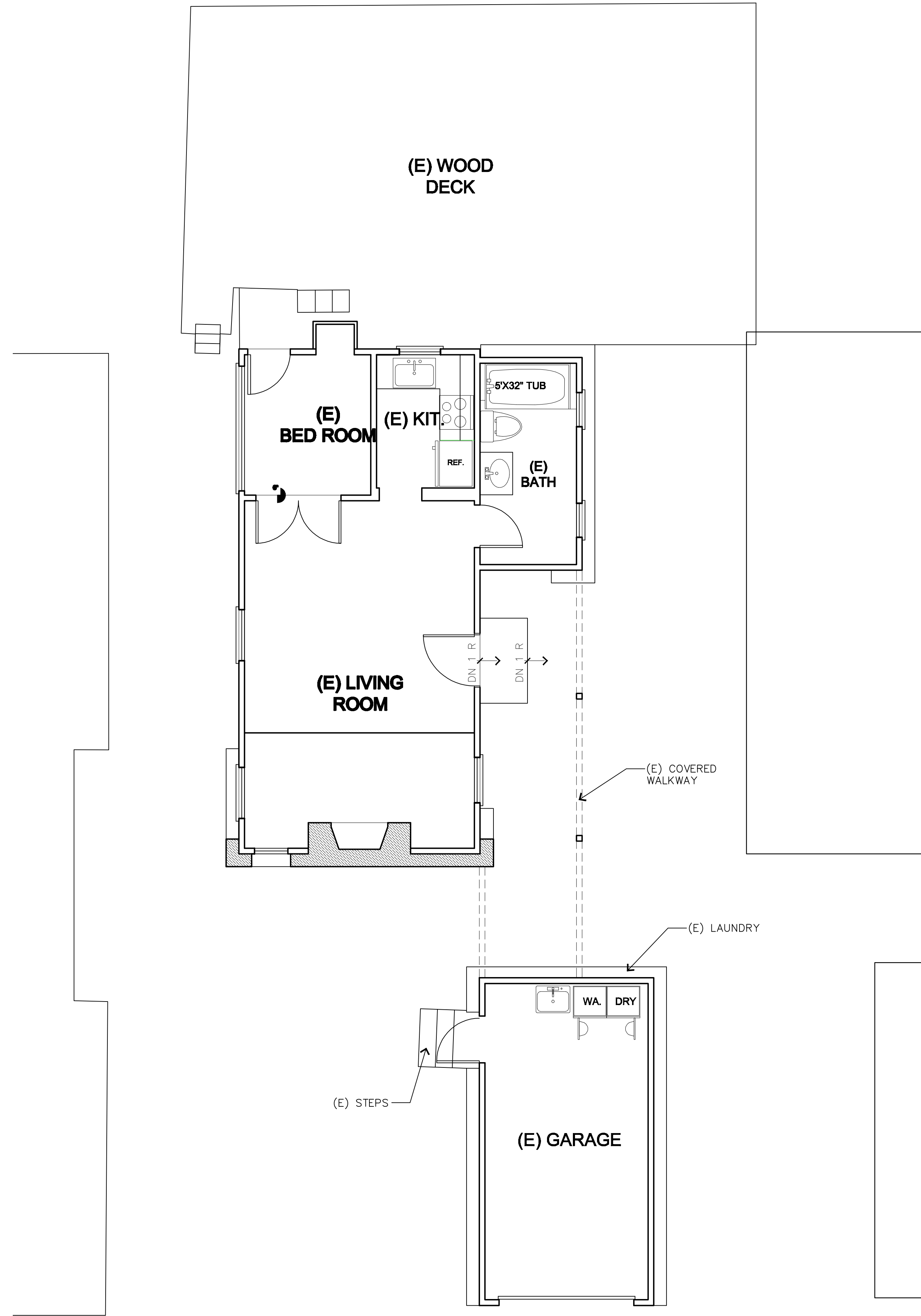
SHEET NUMBER



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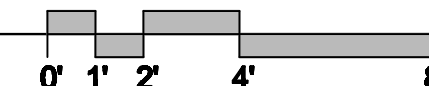
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**EXISTING FLOOR PLAN - LOT 9**

SCALE : 1/4" = 1'-0"



**JAMES  
NEWHALL  
SMITH**  
ARCHITECT, Inc.

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PACIFIC GROVE, CA.  
93950

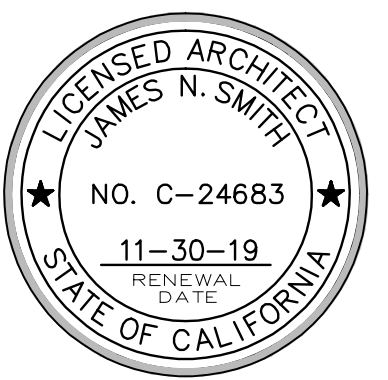
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PROJECT/CLIENT

**CARMELO**

**LOT 9**

GLEN YONEKURA  
CARMELO 3 SW OF 7TH  
CARMELO BY THE SEA CA



SHEET TITLE

**(E) FLOOR  
PLAN**

○ ISSUE      △ REVISIONS

① 04-16-19  
SUBMITTAL-TWO STORY ADD-LOT 9

② 09-24-19  
PLANN'G RESUB-CONTEMP VERSION

③ 11-25-19  
CONTEMP VERSION REVISED

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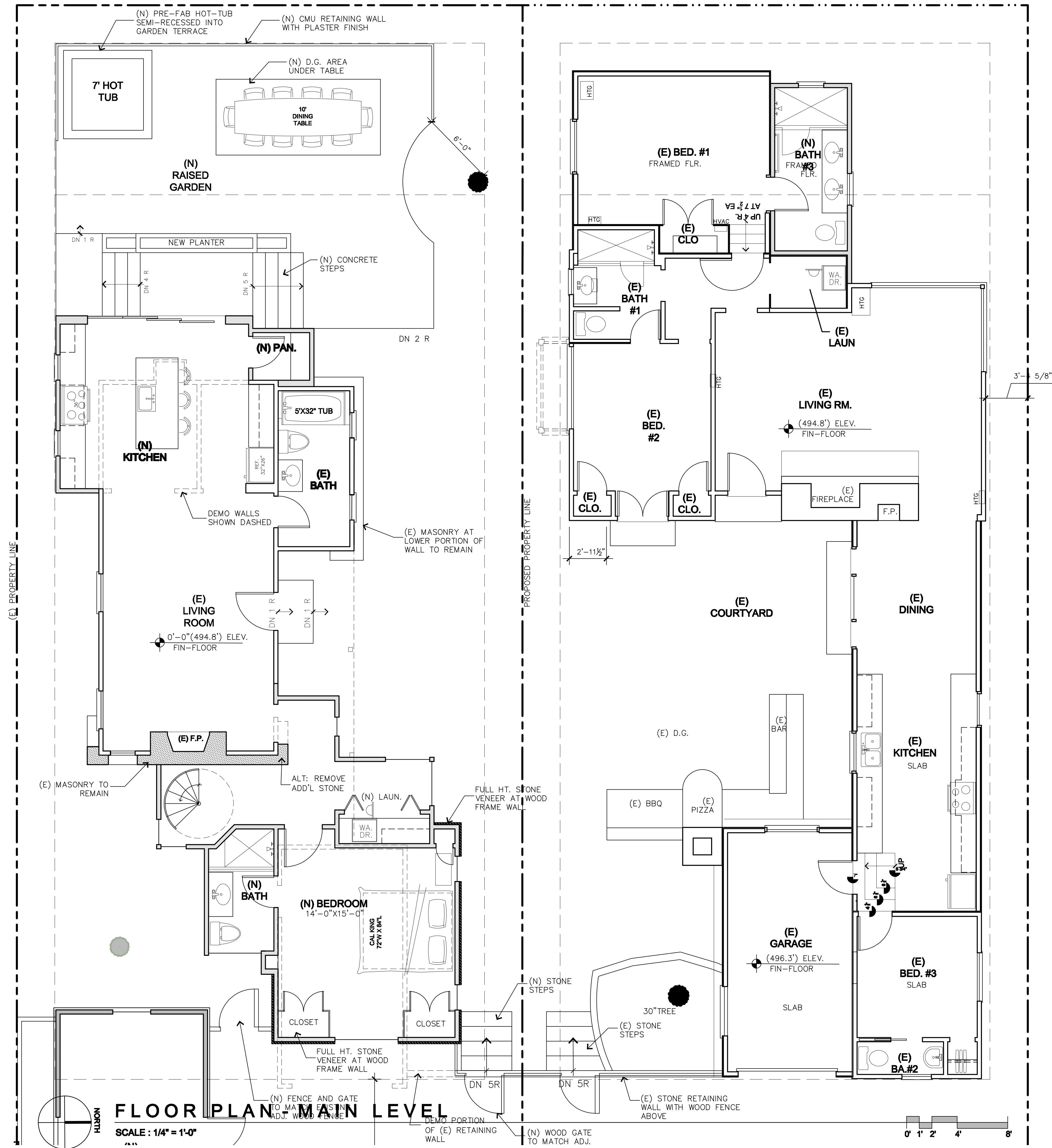
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SHEET NUMBER

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FLOOR PLAN MAIN LEVEL  
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

WALL LEGEND

- [Solid Line] 2X EXISTING WALL TO REMAIN
- [Dashed Line] 2X EXISTING WALL TO BE DEMOLISHED
- [Thin Solid Line] NEW 2X STUD FRAMED WALL
- [Hatched Pattern] STONE WALL / VENEER
- [Stippled Pattern] CMU WALL-SEE STRUCTURAL DWGS

ELECTRICAL SYMBOLS LEGEND

- [Symbol] DUPLEX OUTLET
- [Symbol] DUPLEX OUTLET RECESSED INTO WALL
- [Symbol] HALF SWITCHED OUTLET
- [Symbol] DEDICATED CIRCUIT (20 amps)
- [Symbol] 220VOLT OUTLET
- [Symbol] 4 PLEX OUTLET
- [Symbol] GROUND FAULT INTERRUPT
- [Symbol] WATERPROOF OUTLET (EXTERIOR)
- [Symbol] RECESSED FLOOR MOUNTED OUTLET, BRASS, BY HUBBELL, UL #514A, OR EG.
- [Symbol] TELEPHONE JACK
- [Symbol] HIGH SPEED DATA LINE
- [Symbol] RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
- [Symbol] THERMOSTAT CONTROL
- [Symbol] TELEVISION CABLE
- [Symbol] DOORBELL
- [Symbol] CENTRAL VACUUM OUTLET
- [Symbol] GAS OUTLET
- [Symbol] GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER
- [Symbol] HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE. (CPC 803.4.7, TYP.))
- [Symbol] WALL MOUNTED AIR SUPPLY REGISTER
- [Symbol] RETURN AIR REGISTER
- [Symbol] FLOOR MOUNTED SUPPLY AIR REGISTER
- [Symbol] ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION AND SIZE
- [Symbol] ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

ELECTRICAL LEGEND NOTES

1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
2. THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
3. POLESWITCH AND SWITCHPLATE STYLE AND COLOUR TO BE DETERMINED BY OWNER.
4. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC ARTICLE 410-4(a)).
5. FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
6. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.
- 7.

JAMES NEWHALL SMITH ARCHITECT, Inc.

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93950

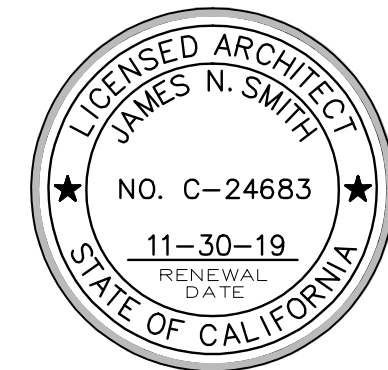
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FAX: 831.372-7252  
CEL: 831.915-9518

PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA  
CARMELO 3 SW OF 7TH  
CARMELO BY THE SEA CA



SHEET TITLE

MAIN LEVEL FLOOR PLAN

ISSUE REVISIONS

- ① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- ② 09-24-19 PLANN'G RESUB-CONTEMP VERSION
- ③ 11-25-19 CONTEMP VERSION REVISED

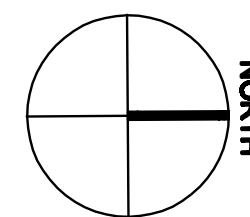
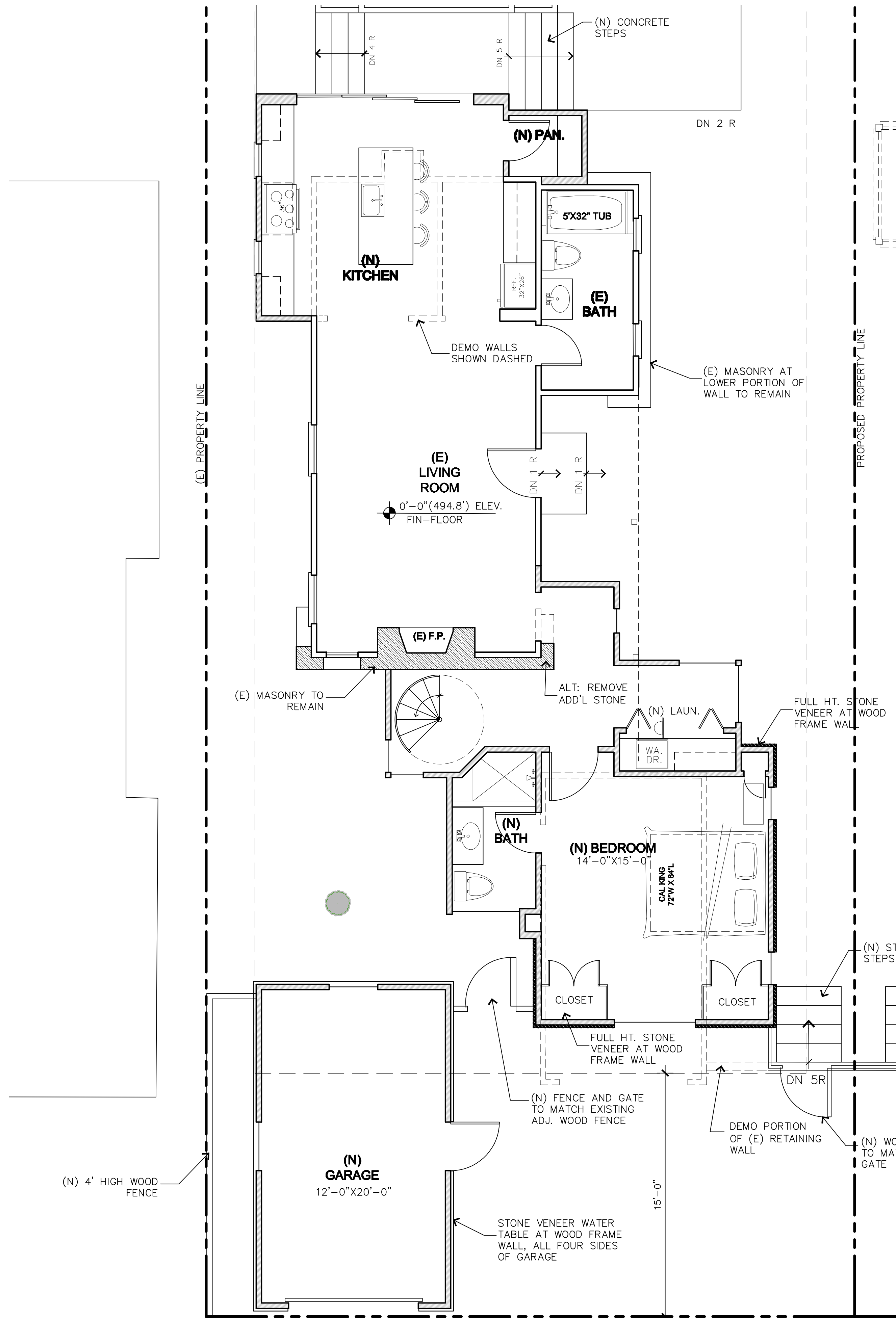
DATE

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SHEET NUMBER

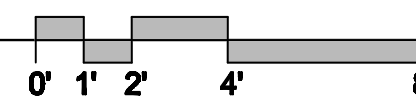
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# FLOOR PLAN - GARAGE

SCALE : 1/4" = 1'-0"



## ELECTRICAL PLAN NOTES

## WALL LEGEND

	2X EXISTING WALL TO REMAIN
	2X EXISTING WALL TO BE DEMOLISHED
	NEW 2X STUD FRAMED WALL
	STONE WALL / VENEER
	CMU WALL-SEE STRUCTURAL DWG'S

## ELECTRICAL SYMBOLS LEGEND

	DUPLEX OUTLET
	DUPLEX OUTLET RECESSED INTO WALL
	HALF SWITCHED OUTLET
	DEDICATED CIRCUIT (20 amps)
	220 VOLT OUTLET
	4 PLEX OUTLET
	GROUND FAULT INTERRUPT
	WATERPROOF OUTLET (EXTERIOR)
	RECESSED FLOOR MOUNTED OUTLET, BRASS, BY HUBBELL, UL #514A, OR EQ.
	TELEPHONE JACK
	HIGH SPEED DATA LINE
	RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
	THERMOSTAT CONTROL
	TELEVISION CABLE
	DOORBELL
	CENTRAL VACUUM OUTLET
	GAS OUTLET
	GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER
	HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE, CPC 603.4.7, TYP.)
	WALL MOUNTED AIR SUPPLY REGISTER
	RETURN AIR REGISTER
	FLOOR MOUNTED SUPPLY AIR REGISTER
	ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION AND SIZE
	ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

## ELECTRICAL LEGEND NOTES

- NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
- THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
- POLESWITCH AND SWITCHPLATE STYLE AND COLOUR TO BE DETERMINED BY OWNER.
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- FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
- PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.
- 

**JAMES NEWHALL SMITH**  
ARCHITECT, Inc.

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93950

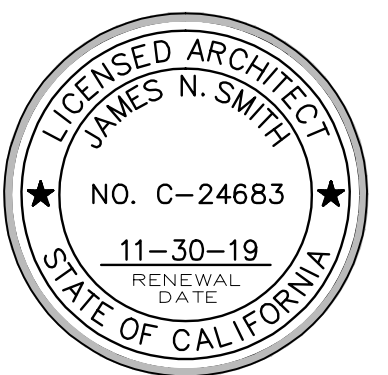
TEL: 831.372-7251  
FAX: 831.372-7252  
CEL: 831.915-9518

PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA  
CARMELO 3 SW OF 7TH  
CARMELO BY THE SEA CA



SHEET TITLE

## GARAGE FLOOR PLAN

ISSUE      REVISIONS

- |   |          |                               |
|---|----------|-------------------------------|
| ① | 04-16-19 | SUBMITTAL-TWO STORY ADD-LOT 9 |
| ② | 09-24-19 | PLANN'G RESUB-CONTEMP VERSION |
| ③ | 11-25-19 | CONTEMP VERSION REVISED       |

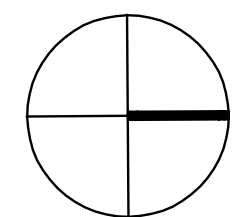
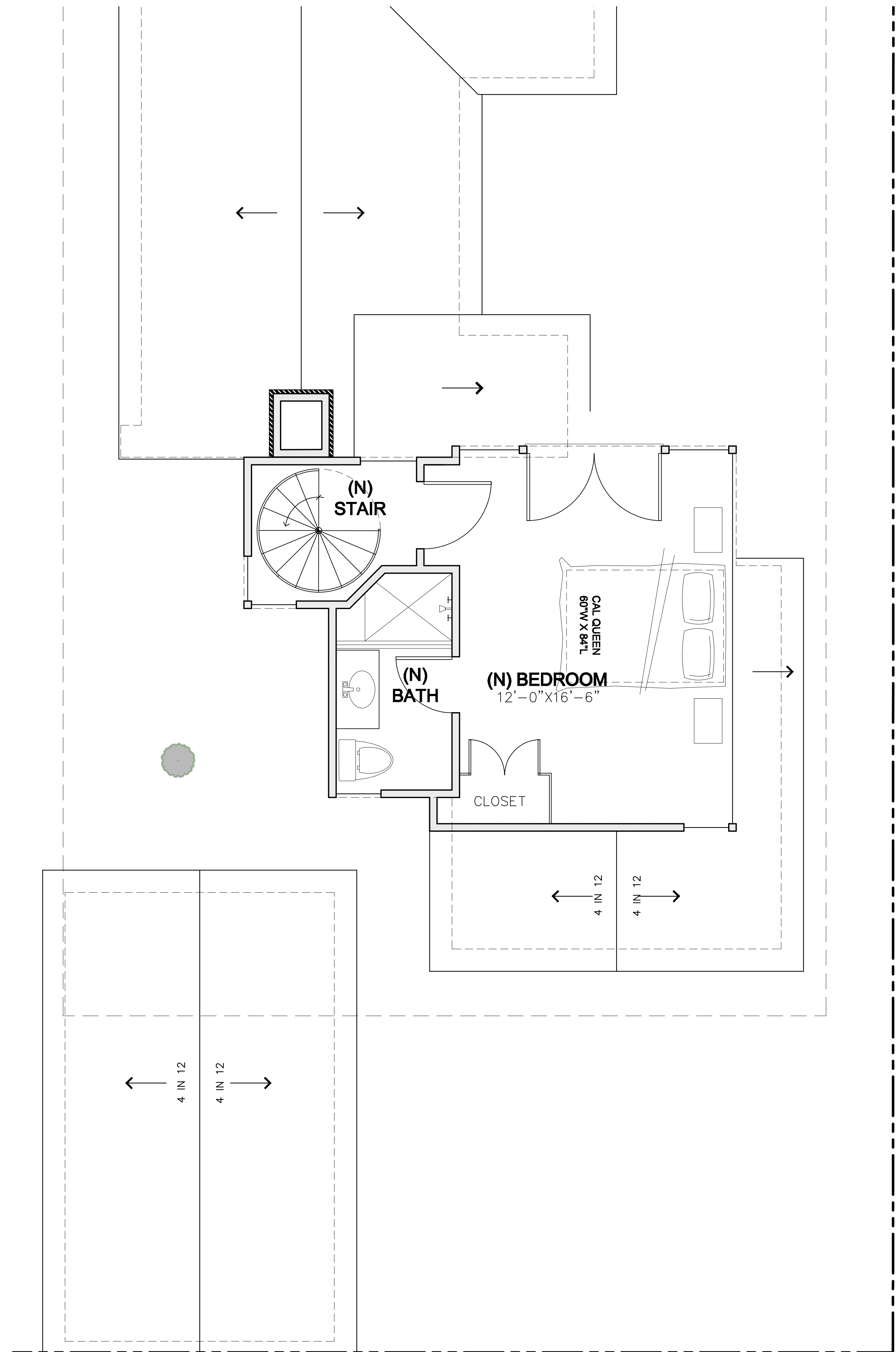
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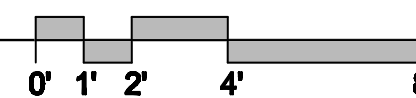
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**FLOOR PLAN - UPPER LEVEL**

SCALE : 1/4" = 1'-0"



**ELECTRICAL PLAN NOTES**

**WALL LEGEND**

- 2X EXISTING WALL TO REMAIN
- 2X EXISTING WALL TO BE DEMOLISHED
- NEW 2X STUD FRAMED WALL
- STONE WALL / VENEER
- CMU WALL-SEE STRUCTURAL DWG'S

**ELECTRICAL SYMBOLS LEGEND**

- DUPLEX OUTLET
- DUPLEX OUTLET RECESSED INTO WALL
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- 4 PLEX OUTLET
- GROUND FAULT INTERRUPT
- WATERPROOF OUTLET (EXTERIOR)
- RECESSED FLOOR MOUNTED OUTLET, BRASS, BY HUBBELL, UL #514A, OR EQ.
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
- THERMOSTAT CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
- GAS OUTLET
- GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER
- HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE, (CPC 603.4.7, TYP.))
- WALL MOUNTED AIR SUPPLY REGISTER
- RETURN AIR REGISTER
- FLOOR MOUNTED SUPPLY AIR REGISTER
- ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION AND SIZE
- ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

**ELECTRICAL LEGEND NOTES**

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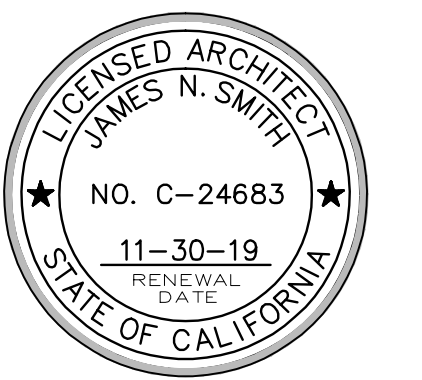
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PROJECT/CLIENT

**CARMELO**

**LOT 9**

GLEN YONEKURA  
CARMELO 3 SW OF 7TH  
CARMELO BY THE SEA CA



SHEET TITLE

**UPPER LEVEL FLOOR PLAN**

ISSUE      REVISIONS

- ① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- ② 09-24-19 PLANN'G RESUB-CONTEMP VERSION
- ③ 11-25-19 CONTEMP VERSION REVISED

DATE

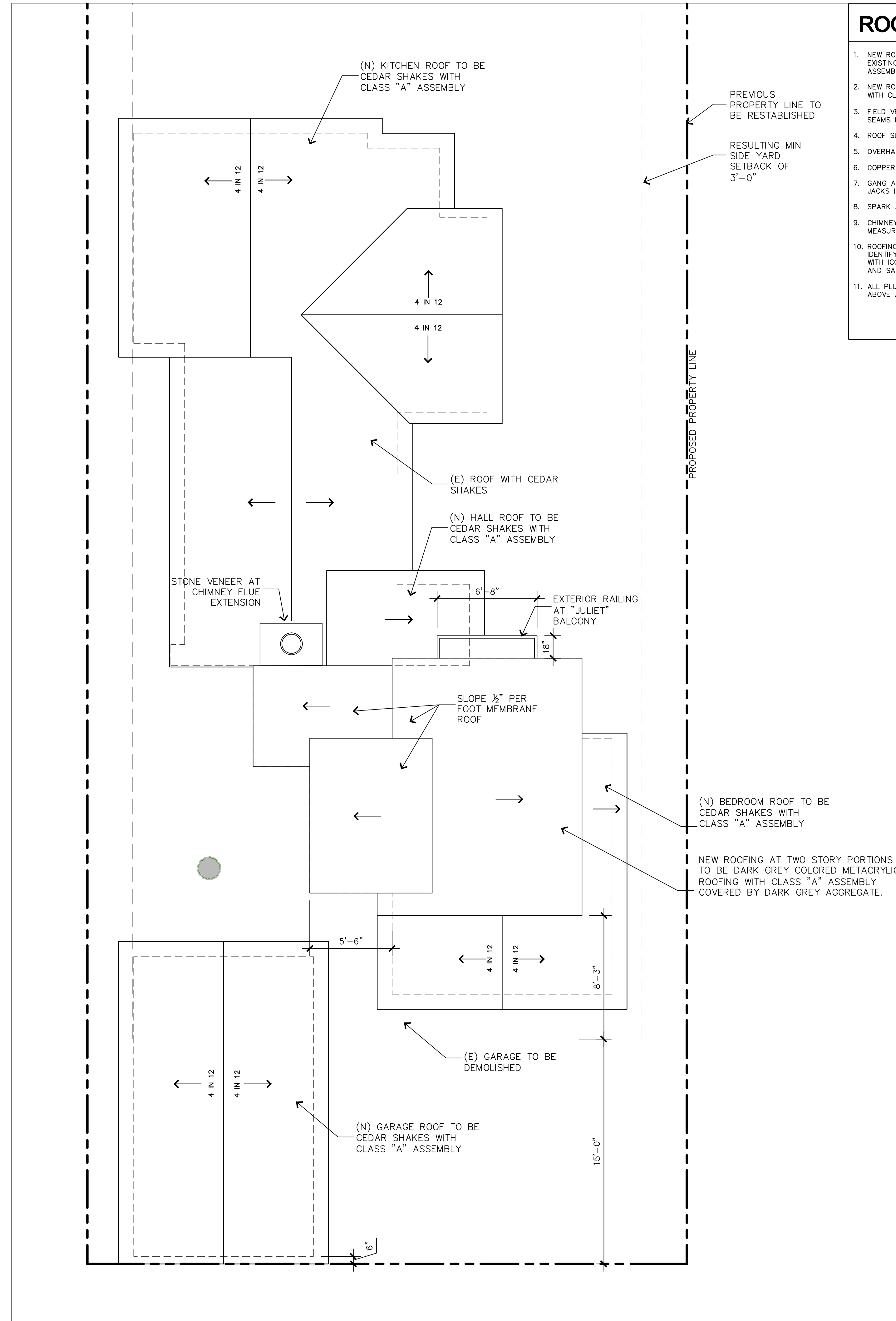
PROJECT NUMBER

SHEET NUMBER

**A2.2**

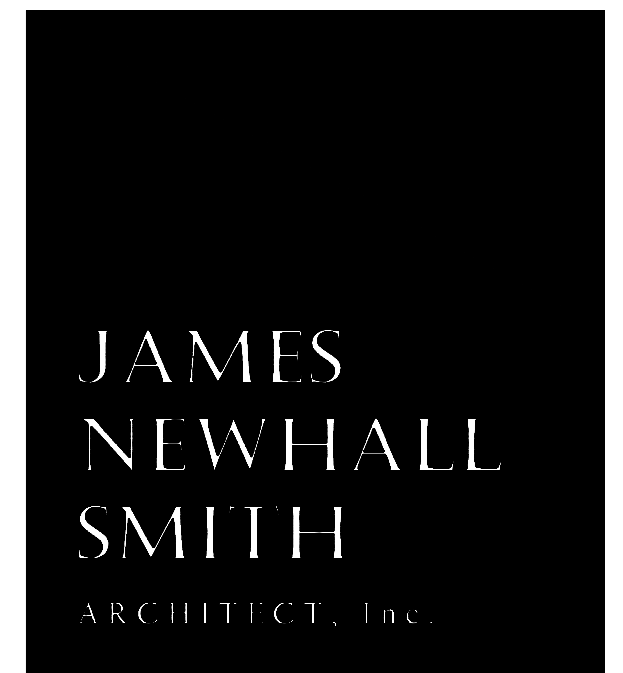
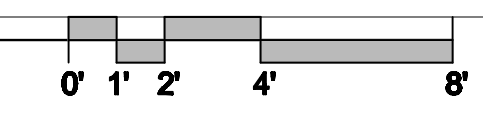


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- ### ROOF PLAN NOTES
1. NEW ROOF MATERIAL AT KITCHEN AREA AND NEW GARAGE TO BE WOOD SHAKE TO MATCH EXISTING SHAKE ROOFING. ROOF SHAKES TO BE TREATED TO CLASS 'B' WITH CLASS 'A' ASSEMBLY UNDERLAYMENT.
  2. NEW ROOFING AT TWO STORY PORTION TO BE DARK GREY COLORED METACRYLIC ROOFING WITH CLASS 'A' ASSEMBLY COVERED BY DARK GREY AGGREGATE.
  3. FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND STYLE/SEAM SPACING OF ROOFING SEAMS PRIOR TO INSTALLATION.
  4. ROOF SLOPE = 4 IN 12 UNLESS OTHERWISE NOTED.
  5. OVERHANG EAVE = 12" UNLESS OTHERWISE NOTED.
  6. COPPER GUTTERS WITH ROUND DOWNSPOUTS.
  7. GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION.
  8. SPARK ARRESTOR TO BE 3 TIMES THE NET FREE OPENING OF THE CHIMNEY OUTLET.
  9. CHIMNEY SHALL BE MIN. 2' ABOVE THE HIGHEST POINT OF THE ROOF WITHIN 10' MEASURED HORIZONTALLY.
  10. ROOFING SHALL BEAR LABELS FROM AN ICBO ACCREDITED QUALITY CONTROL AGENCY IDENTIFYING THEIR ROOF COVERING CLASSIFICATION AND INDICATING THEIR COMPLIANCE WITH ICC-ES-EG107 AND WITH THE WEATHERING REQUIREMENTS CONTAINED IN HEALTH AND SAFETY CODE SECTION 13132.70 (R902.2 CRC).
  11. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.

**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

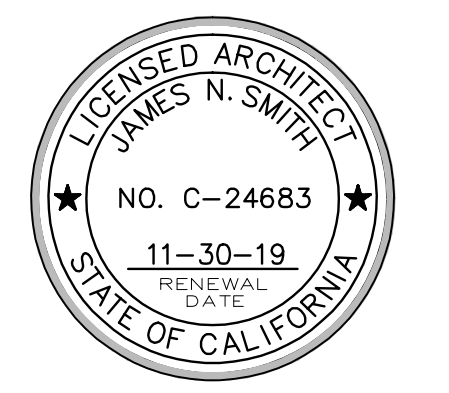


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PROJECT/CLIENT  
**CARMELO**  
LOT 9

GLEN YONEKURA  
CARMELO 3 SW OF 7TH  
CARMELO BY THE SEA CA



SHEET TITLE  
**ROOF PLAN**

ISSUE	REVISIONS
①	04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
②	09-24-19 PLANN'G RESUB-CONTEMP VERSION
③	11-25-19 CONTEMP VERSION REVISED
○	
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DATE  
PROJECT NUMBER  
SHEET NUMBER

**A5.0**

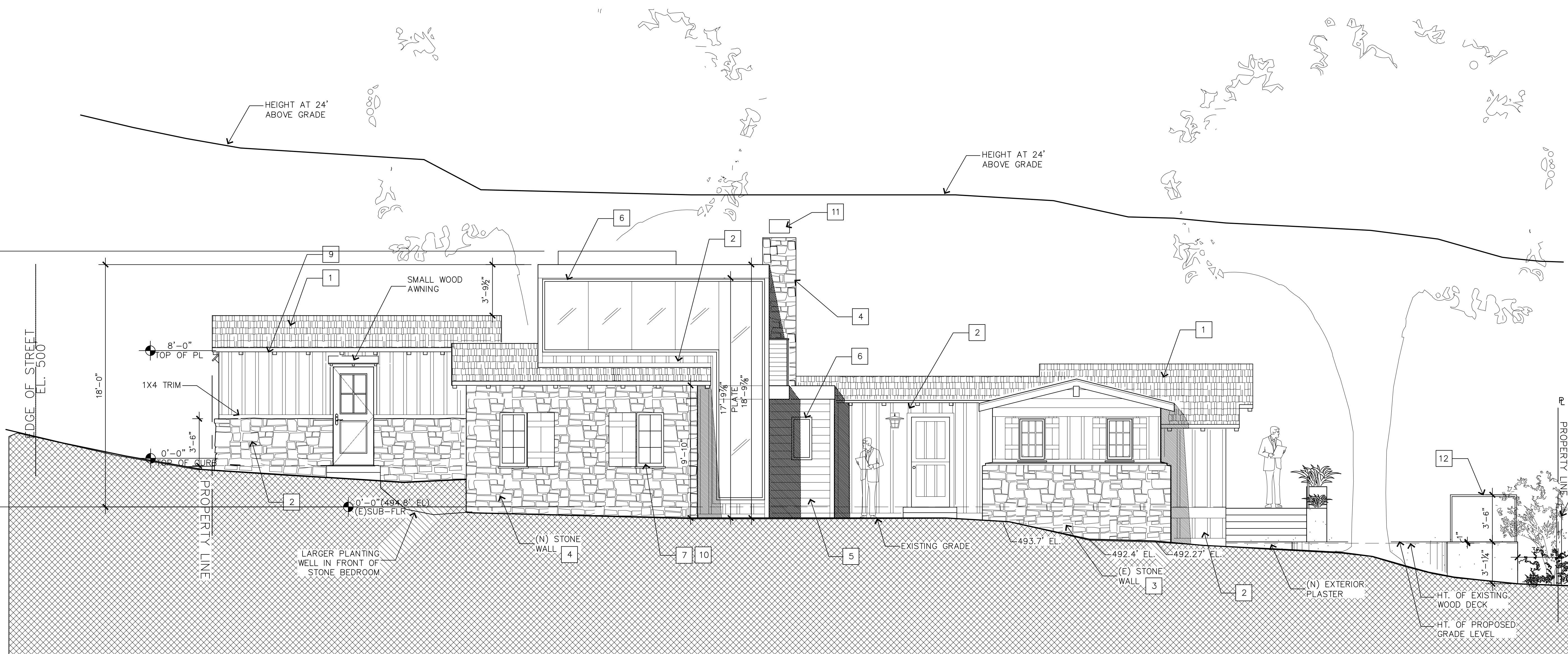
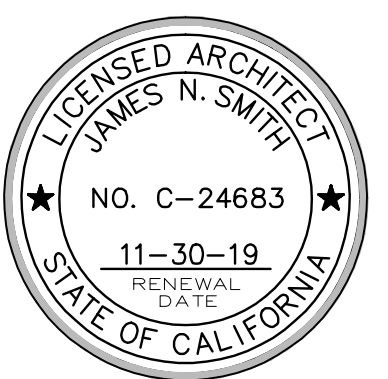
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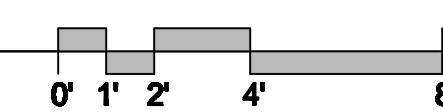
**CARMELO**

**LOT 9**  
(E) WOOD FENCE

GLEN YONEKURA  
CARMELO 3 SW OF 7TH  
CARMELO BY THE SEA CA



**1 PROPOSED NORTH ELEVATION**  
SCALE : 1/4" = 1'-0"



ELEVATION MATERIALS LEGEND	
1	ASPHALT SHINGLE ROOF CLASS 'A', TO MATCH EXISTING
2	BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
3	EXISTING EXTERIOR STONE WALL/VENEER
4	NEW EXTERIOR STONE VENEER TO MATCH (E)
5	NOT USED
6	ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY WESTERN. COLOR: DARK BRONZE ANODIZED
7	WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN, OR EQUAL. COLOR: WHITE
8	2X FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ. COLOR: OFF WHITE
9	4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE
10	WOOD SHUTTERS, COLOR: OFF-WHITE
11	NATURAL UNSEALED COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
12	POWDER COATED IRON RAILING

SHEET TITLE

**EXTERIOR ELEVATIONS**

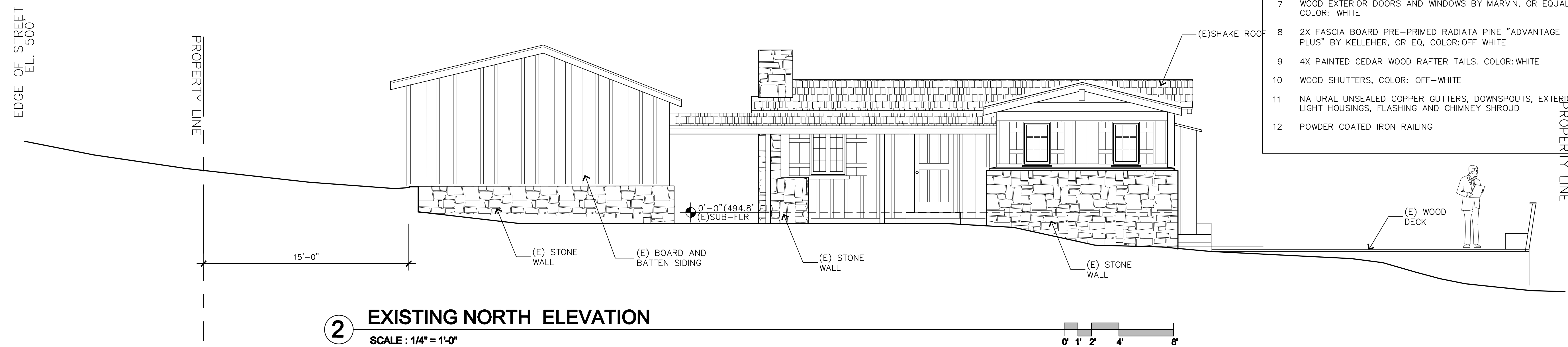
ISSUE	REVISIONS
① 04-16-19	SUBMITTAL-TWO STORY ADD-LOT 9
② 09-24-19	PLANN'G RESUB-CONTEMP VERSION
③ 11-25-19	CONTEMP VERSION REVISED
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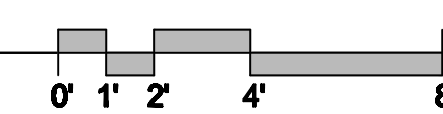
PROJECT NUMBER

SHEET NUMBER

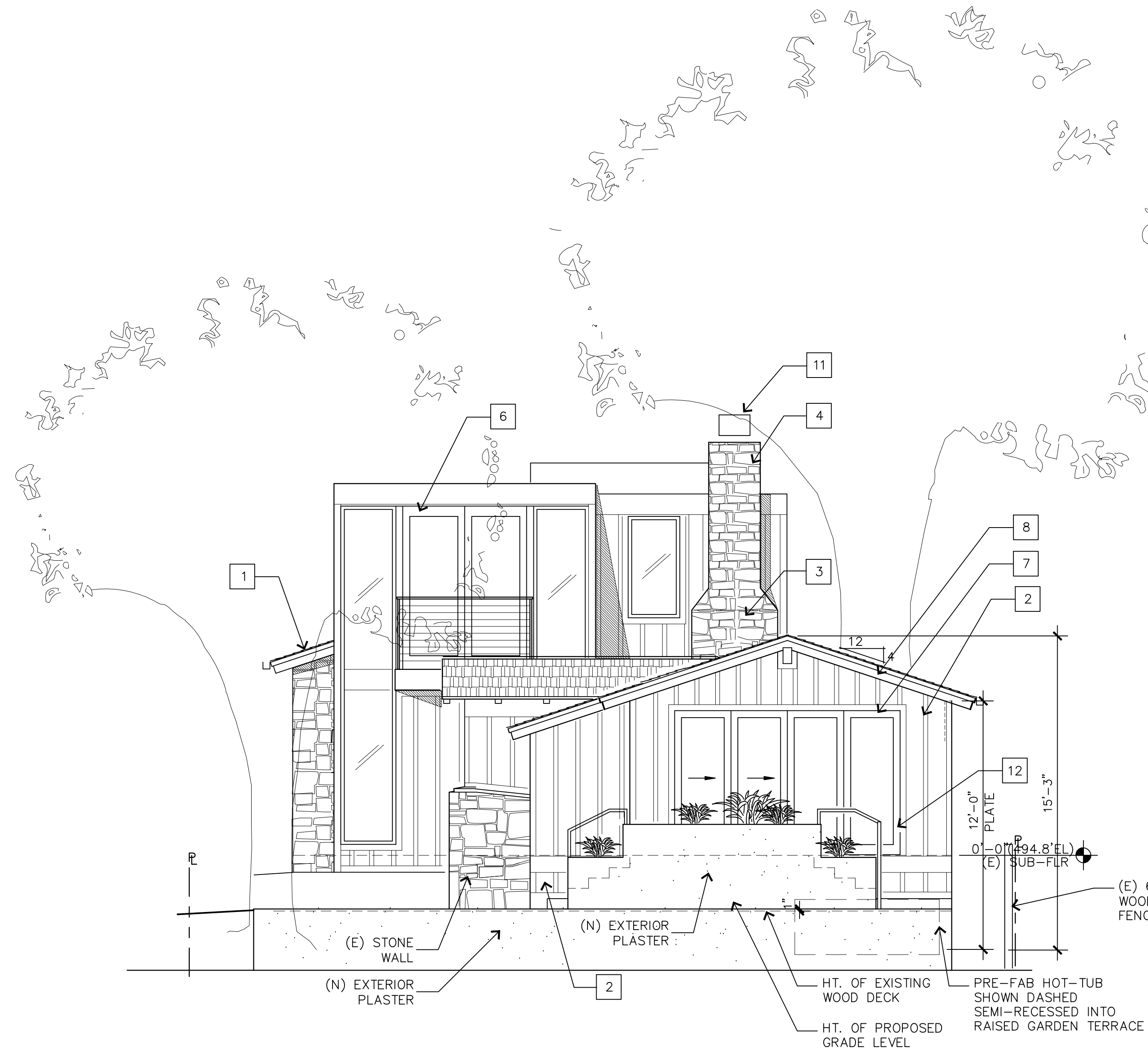
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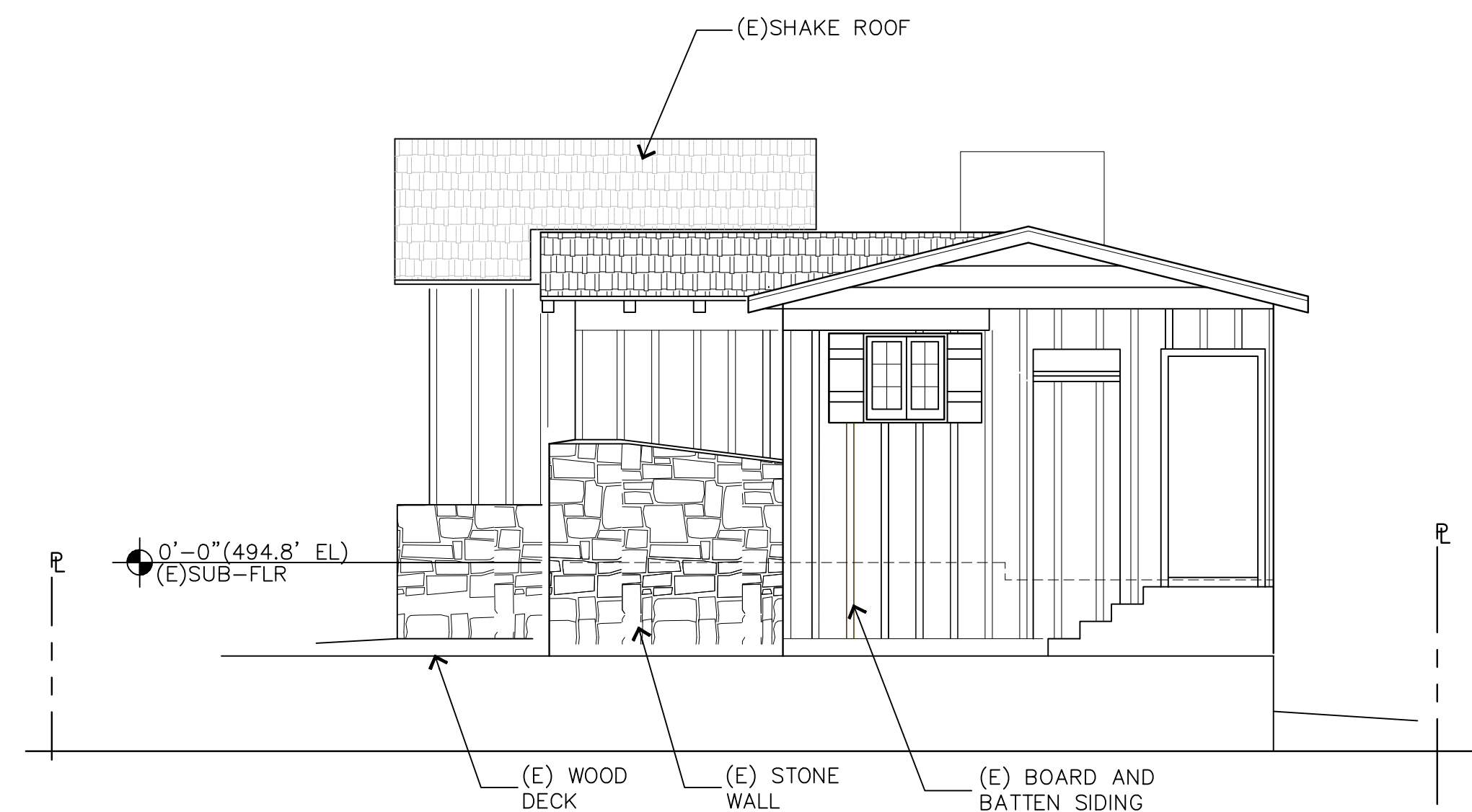
**2 EXISTING NORTH ELEVATION**  
SCALE : 1/4" = 1'-0"



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**1** PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"



**2** EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

**ELEVATION MATERIALS LEGEND**

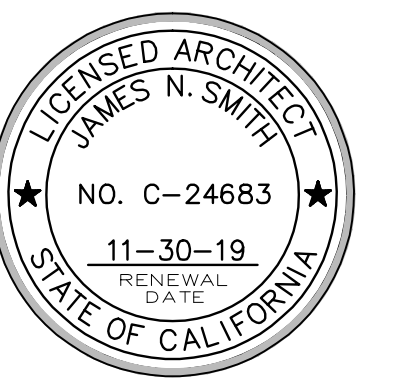
- 1 ASPHALT SHINGLE ROOF CLASS 'A', TO MATCH EXISTING
- 2 BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
- 3 EXISTING EXTERIOR STONE WALL/VENEER
- 4 NEW EXTERIOR STONE VENEER TO MATCH (E)
- 5 NOT USED
- 6 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY WESTERN. COLOR: DARK BRONZE ANODIZED
- 7 WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN, OR EQUAL. COLOR: WHITE
- 8 2X FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ. COLOR: OFF WHITE
- 9 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE
- 10 WOOD SHUTTERS, COLOR: OFF-WHITE
- 11 NATURAL UNSEALED COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
- 12 POWDER COATED IRON RAILING

PROJECT/CLIENT

**CARMELO**

**LOT 9**

GLEN YONEKURA  
CARMELO 3 SW OF 7TH  
CARMELO BY THE SEA CA



SHEET TITLE

**EXTERIOR ELEVATIONS**

○ ISSUE      △ REVISIONS

① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9

② 09-24-19 PLANN'G RESUB-CONTEMP VERSION

③ 11-25-19 CONTEMP VERSION REVISED

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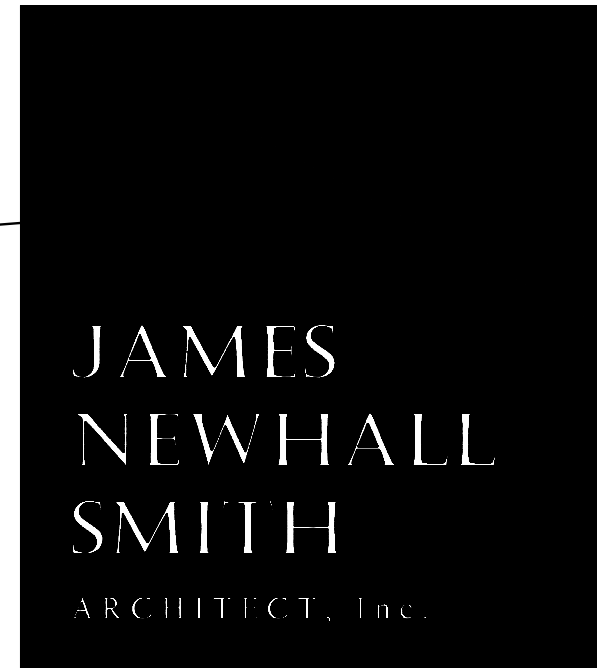
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SHEET NUMBER

**A6.1**

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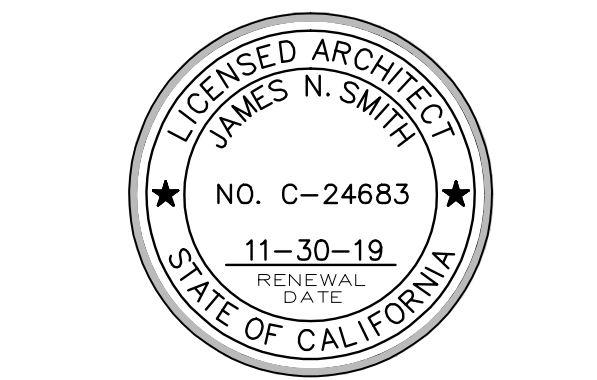
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PROJECT/CLIENT

CARMELO  
LOT 9

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SHEET TITLE

**EXTERIOR ELEVATIONS**

ISSUE      REVISIONS

① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9

② 09-24-19 PLANN'G RESUB-CONTEMP VERSION

③ 11-25-19 CONTEMP VERSION REVISED

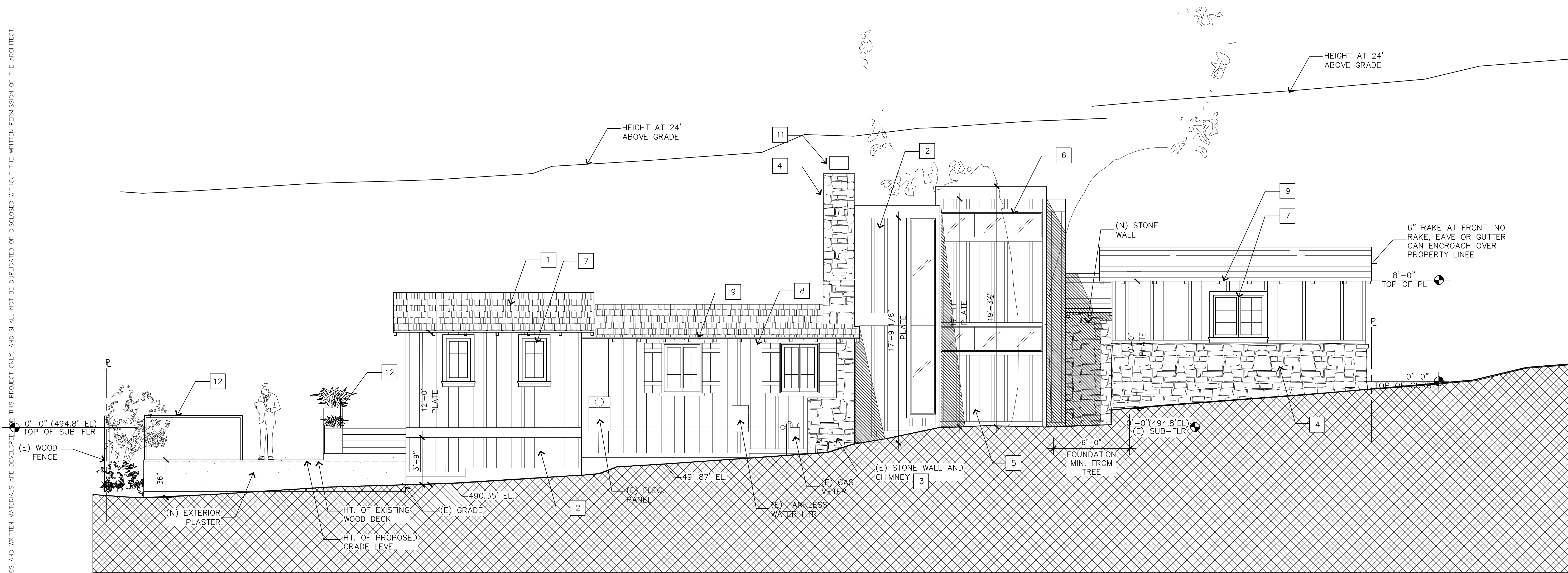
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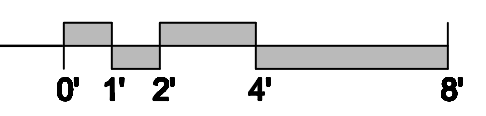
PROJECT NUMBER

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**A6.2**

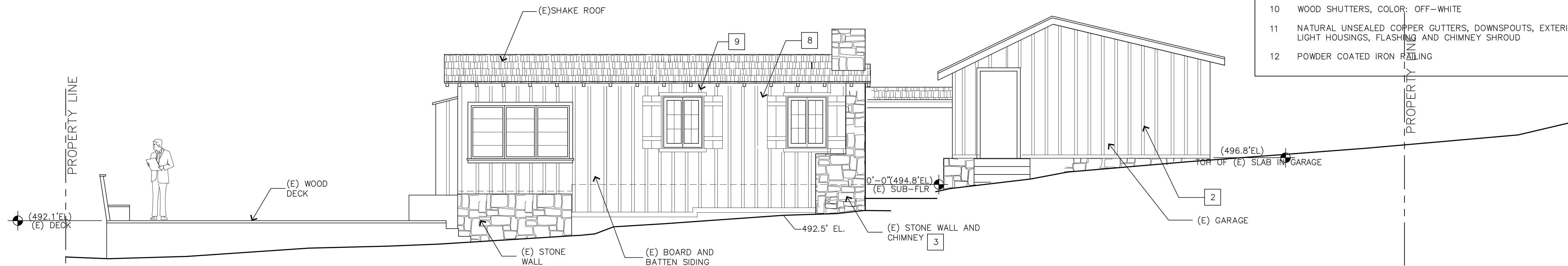


**1 PROPOSED SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

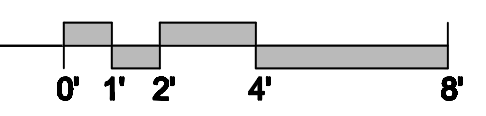


**ELEVATION MATERIALS LEGEND**

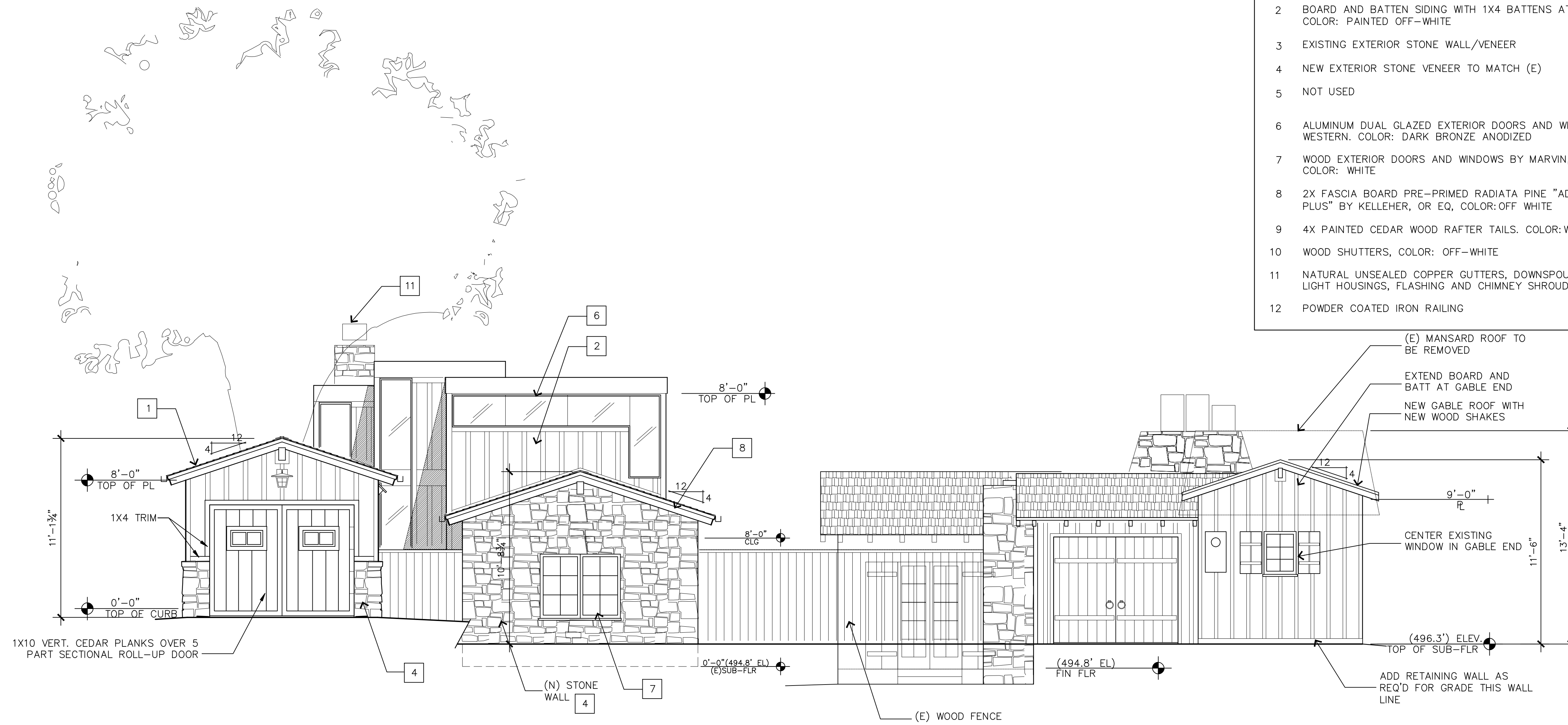
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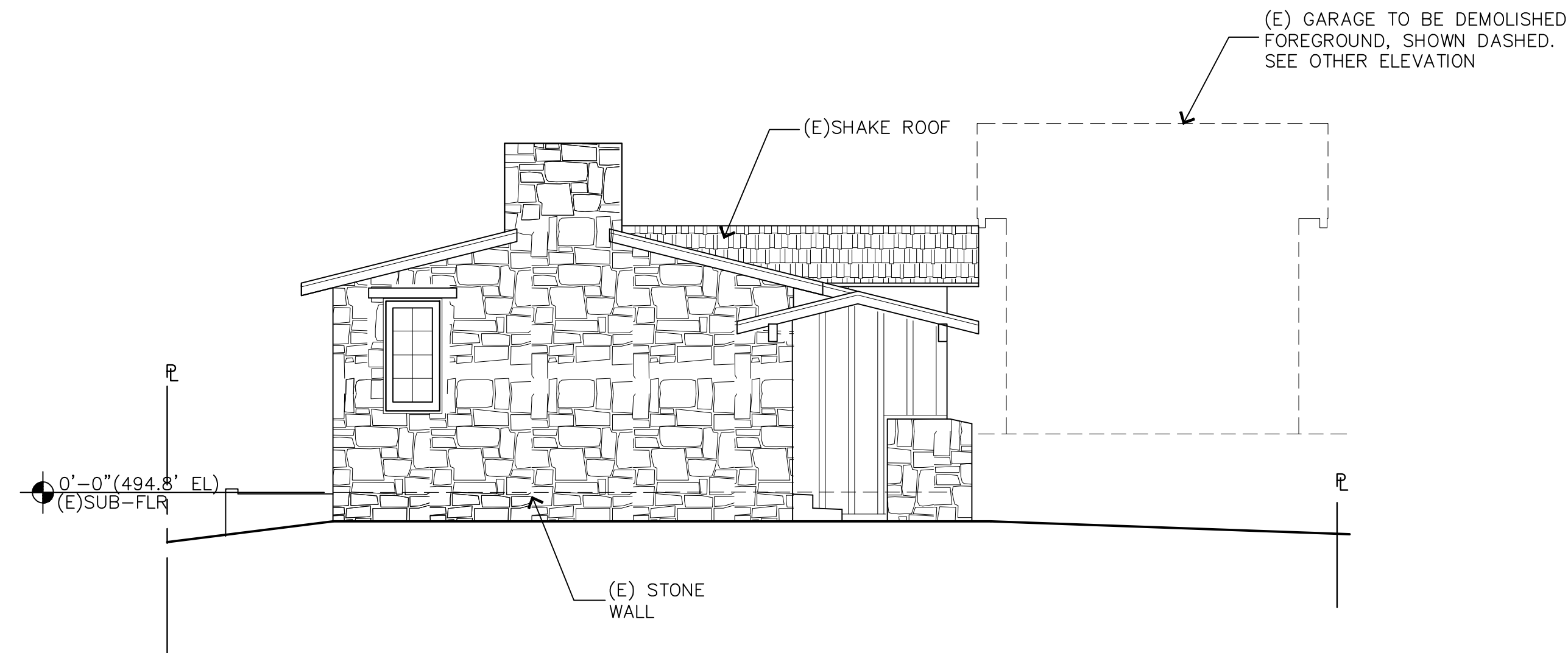
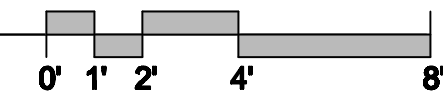
**2 EXISTING SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



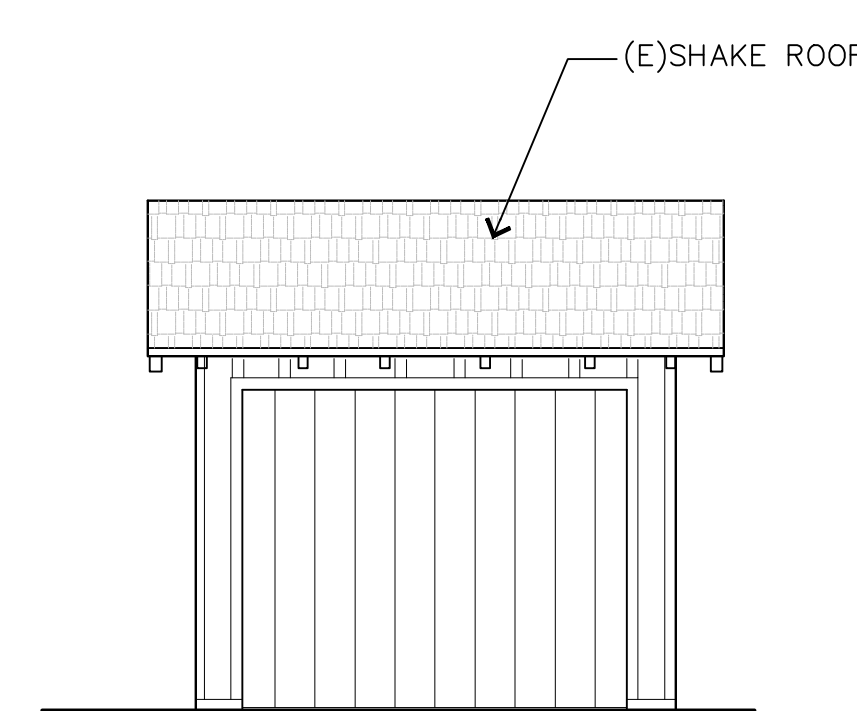
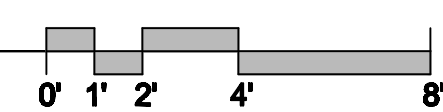
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**1 PROPOSED EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

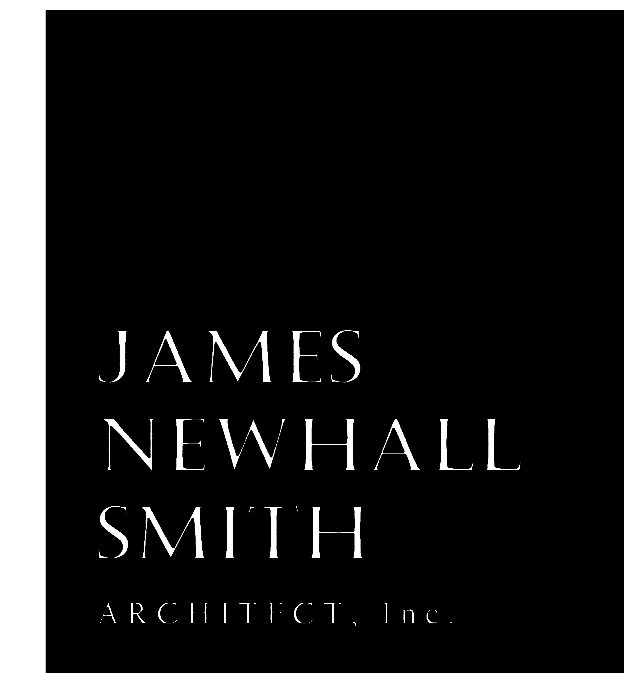


**2 EXISTING EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 EXISTING GARAGE ELEVATION**  
SCALE: 1/4" = 1'-0"

1	ASPHALT SHINGLE ROOF CLASS 'A', TO MATCH EXISTING
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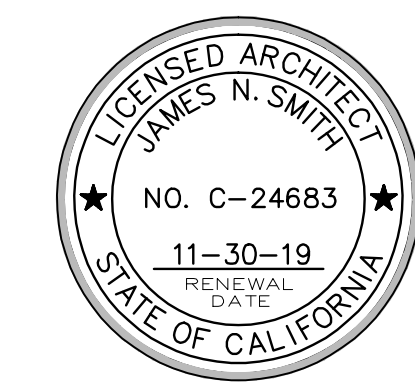
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PROJECT/CLIENT

CARMELO  
LOT 9

GLEN YONEKURA  
CARMELO 3 SW OF 7TH  
CARMELO BY THE SEA CA



SHEET TITLE

**EXTERIOR ELEVATIONS**

ISSUE	REVISIONS
1	04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
2	09-24-19 PLANN'G RESUB-CONTEMP VERSION
3	11-25-19 CONTEMP VERSION REVISED

DATE

PROJECT NUMBER

SHEET NUMBER

**A6.3**