# YONEKURA RESIDENCE

# CARMELO 3 SW OF 7TH - LOT 9

**GENERAL NOTES ABBREVIATIONS** PROJECT INFORMATION DRAWING INDEX ADDITION TO KITCHEN AND UPPER FLOOR ADDED TO A NON 1. EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY FXISTING GYPSUM WALLBOARD HISTORIC ONE STORY S.F.R. DEMO (E) GARAGE AND ADD NEW THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH DETACHED SINGLE CAR GARAGE INTO SETBACK. LOT SPLIT OF LOTS EXISTING NOT IN CONTRACT WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES COVER SHEET 7 & 9, TWO PREVIOUSLY SEPARATE LOTS AND EQUIPMENT WHICH MAY AFFECT HIS WORK. NOT TO SCALE ANCHOR BOLT ■ PROJECT ADDRESS: A1.0 SITE PLAN 2. CONTRACTOR SHALL PROVIDE THE ARCHITECT, JAMES N. SMITH, AND GLEN YONEKURA, , WITH A COMPLETE COST APPROX. APPROXIMATE ON CENTER NEXUS CAPITAL GROUP LLC CARMELO 3 SW OF 7TH BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK. SITE PLAN-DEMO 5150 EL CAMINO REAL, SUITE A30 CARMEL, CA. 93921 BOARD OUTSIDE DIAMETER 3. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, SURVEY TENTATIVE MAP LOS ALTOS, CA. 94022 BLOCK PLYWOOD AND FEES. HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS (650) 386-6403 EXISTING FLOOR PLAN NECESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.) CABINET ROUGH OPENING PLANNING INFORMATION PROPOSED MAIN FLOOR PLAN 4. CONTRACTOR SHALL PROTECT OWNER'S PROPERTY AND IMPROVEMENTS, NEW AND/OR EXISTING MATERIALS, AND ■ A.P.N. 010-268-003 FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE CONCRETE SEE STRUCTURAL DRAWINGS PROPOSED GARAGE FLOOR PLAN AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER ■ LEGAL DESCRIPTION: LOT 7 & 9 BLOCK T DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND CONTINUOUS TONGUE AND GROOVE PROPOSED 2ND FLOOR PLAN CITY OF CARMEL ZONING: R1 EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER T.O.P. DOWNSPOUT TOP OF PLATE PRIOR TO COMMENCEMENT OF WORK AS NECESSARY. MAX. ALLOWABLE BUILDING HEIGHTS: FACE OF CONCRETE 5. MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY FIRST FLOOR ROOF HT.: 18' FIRST FLOOR PLATE HT.: EXTERIOR ELEVATIONS REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW FOR EQUAL QUALITY AND FACE OF STUDS UNLESS OTHERWISE NOTED SECOND FLOOR ROOF HT.: 24' SECOND FLOOR PLATE HT.: 18' PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL. ALL NON-SPECIFIED FACE OF FINISH VERIFY IN FIELD (PROJECT OR WORK SITE) EXTERIOR ELEVATIONS PRODUCTS SHALL CONFORM TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND ■ TREE REMOVAL: THREE TREES PER SEPARATE PERMIT CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT GALVANIZED VERIFY WITH OWNER EXTERIOR ELEVATIONS PRIOR TO PURCHASE OR INSTALLATION. ■ APPROX. GRADING: 77 CU YDS FILL AT REAR GARDEN GALVANIZED IRON WITHOUT EXTERIOR ELEVATIONS 6. ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL PARKING REQUIRED PARKING PROVIDED WATERPROOF CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITION(S) OF ALL A6.3D STREET VIEW COVERED/UNCOVERED: 1 COVERED/UNCOVERED: 1 GOVERNING CODES AND REGULATIONS AS ADOPTED BY THE CITY OF CARMEL AND MONTEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE. A6.3D-1 3D VIEW-WEST SPECIAL INSPECTIONS PROJECT SQUARE FOOTAGE INFORMATION A6.3D-2 3D VIEW-SOUTH 7. DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF FINISH (F.O.F.), FACE OF STUD (F.O.S.), OR FACE OF COLUMN (F.O.C.), UNLESS OTHERWISE NOTED TO BE THE CENTER LINE OF MULLION, PARTITION, OR COLUMN, ETC. A6.3D-3 3D VIEW-EAST BASE FLOOR AREA ALLOWED = 1,800 S.F. 8. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PADS AND FOUNDATION EXCAVATIONS PRIOR TO THE PROJECT SQUARE FOOTAGE ATTENTION OF THE ARCHITECT. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE DRAWINGS. QUESTIONS PLACEMENT OF REINFORCING BARS, AND SHALL SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO ANY START OF REQUESTING FOUNDATION INSPECTION AND POURING OF FOOTING. 198 S.F. (MIN 200 S.F. GARAGE COUNTED-LIVING AREA) TOTAL (E) SQUARE FOOTAGE 708 S.F. (E) MAIN FLR. LIVING = 510 S.F. 9. ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS (N) MAIN FLR. KITCHEN = 130 S.f.THOUGH ON ALL RELATED DOCUMENTS. <u>DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.</u> WORK THAT IS CONTINUED, COVERED UP OR COMPLETED WITHOUT SAID CLARIFICATION (N) MAIN FLR. BEDRM = 451 S.F. (N) SECOND FLOOR = 281 S.f.(N) DETACHED GARAGE = 240 S.F. 10. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE TOTAL PROPOSED SQ. FT. = 1,612 S.F. CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER BUILDING DEPARTMENT NOTES **VICINITY MAP** CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE MAX. ALLOWED SQ. FT. = 1,800 S.F. WITH MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, N.T.S. EQUIPMENT. ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS. ALLOWED SITE COVERAGE = 396 S.F. (22% OF BFA) BONUS COVERAGE = 160 S.F. (SEMI-PERMEABLE PAVERS AT DRIVEWAY) 1. NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST 11. THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL LOCATION OF PROJECT OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE TOTAL ALLOWED COVERAGE = 556 S.F. BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED. MOUNTEREY COUNTY HEALTH DEPARTMENT. **CARMELO ST** 12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS. CUT SHEETS OF ALL FIXTURES AND ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE EXISTING SITE COVERAGE - LOT 9 EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR (E) DRIVEWAY PAVERS TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE. (E) WALK-SOUTH-STONE = 147 S.F. (E) GARAGE STEPS-WOOD 3. NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES 13. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING E) REAR WOOD DECK = 707 S.F.WHERE THERE IS A REASONBLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY (E) REAR LANDING-BRICK PERMITTED "JOB COPY" SET(S) AND A COPY OF THE SOILS REPORT BY\_\_\_\_DATED\_\_\_\_ON THE JOB SITE DURING ALL = 16 S.F. THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE. PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT (E) COVERED PORCH = 144 S.F. CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, (E) FIREPIT-STONE = 18 S.F 4. THE USE OF SOLDERS CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN. WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164). =1,237 S.F. SITE COVERAGE 5. PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS. 14. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A BAN ANTONIO AVE REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST THE BUILDER/CONTRACTOR SHALL PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION WITH A COPY OF THE PROPOSED SITE COVERAGE - LOT 9 SEMI-PERMEABLE/PERM. NON-PERMEABLE FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE. CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION. (N) D.G. GARAGE PATH 63 S.F (N) MAIN DOOR LANDING = 44 S.F. 15. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION 7. GRADING PERMIT, IF REQUIRED, IS BY SEPARATE PERMIT. (N) FRONT DOOR D.G PATH = 114 S.F. 114 S.F. DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT. 8. SPRINKLER SYSTEM, IF REQUIRED, TO BE PER SEPARATE PERMIT (N) PREFAB HOTTUB 49 S.F. PROJECT DIRECTORY (N) REAR RETAIN'G WALL/STEP= 54 S.F. 54 S.F. 16. ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE 9. RETAINING WALLS UNCONNECTED TO THE STRUCTURE(S), IF REQUIRED, ARE PER SEPARATE PERMIT. LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS. THE STATE FIRE MARSHALL. THE (N) REAR DR LANDG/STEPS 99 S.F. 99 S.F. SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. (N) REAR D.G. UNDER TABLE 78 S.F. 78 S.F. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. 6 S.F. (N) DRIVEWAY 6" SLIVER 6 S.F. SOILS ENGINEER PROPERTY OWNERS: GRICE ENGINEERING TOTAL PROPOSED = 507 S.F. 17. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE 246 S.F. SITE COVERAGE 561A BRUNKEN AVE. NEXUS CAPITAL GROUP, LLC (GREATER THAN 50%). INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SALINAS, CA. 93901 SHALL BE PERFORMED BY CONTRACTOR AND INCLUDED IN HIS BID. 5150 EL CAMINO REAL, STE. A30 SITE COVERAGE = 730 S.F. CONTACT PERSON: SAM GRICE TO BE REMOVED LOS ALTOS, CA. 94022 TEL. (831) 422-9619 CONTACT: GLEN YONEKURA 18. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD FAX (831) 422-1896 LOT 7 (650) 385-6403 OF ONE YEAR FROM DATE OF COMPLETION. SAM'S CELL (831) 594-7699 PROJECT SQUARE FOOTAGE SAM'S EMAIL: SAMGE@SBCGLOBAL.NET 1,357 S.F. JEFF OLMS (831) 594-4664 (FIELD TECH) 19. CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, JAMES N. SMITH, ARCHITECT, INC. (MIN 200 S.F. GARAGE COUNTED-LIVING AREA) (E) GARAGE AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING 716 LIGHTHOUSE AVE. STE. C TOTAL (E) SQUARE FOOTAGE 1,560 S.F PACIFIC GROVE, CA. 93950 **DEFERRED SUBMITTALS** CONTACT PERSON: JAMES SMITH REMOVED BAY WINDOW = -18 S.F20. TREES ADJACENT TO STRUCTURES AND OVER DRIVEWAYS SHALL BE TRIMMED TO CLEAR STRUCTURES AND PROVIDE 15' TEL. (831) 372-7251 ■ TITLE 24 / MECHANICAL ENGINEER ADDED BATH #3 = 87 S.F CLEARANCE OVER DRIVES. PROTECT OTHER TREES DURING CONSTRUCTION (SEE FOREST MGT. PLAN). TREES TO BE FAX (831) 372-7252 MONTEREY ENERGY GROUP REMOVED SHALL INCLUDE REMOVAL OF ALL ROOT STRUCTURES AND CONTRACTOR SHALL COORDINATE WITH OWNER FOR TOTAL PROPOSED AREA = 1,629 S.F. EMAIL: JAMES@JNSAIA.COM 227 FOREST AVENUE, SUITE #5 POSSIBLE STACKING OF CUT WOOD FOR FUTURE FIREPLACE WOOD. PACIFIC GROVE, CA. 93950 1. CONTRACTOR TO SUBMIT GAS LINE SIZING FOR COUNTY & UTILITY APPROVAL BEFORE INSPECTION. EXISTING SITE COVERAGE - LOT 7 SEMI-PERMEABLE/PERM. NON-PERMEABLE CONTACT PERSON: DAVID KNIGHT 2. TRUSS CALCS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY TRUSS INSPECTIONS. CALCS BY TEL. (831) 372-8328 (E) PAVER DRIVEWAY = 153 S.f. $\dot{D}$  PAVER FRONT WALK = 104 S.F. 104 S.F. MANUFACTURER SHALL INCLUDE TRUSS PROFILES AND LAYOUT PLANS. ☐ STRUCTURAL / CIVIL ENGINEER: FAX (831)372-4613 17 S.F. JERRY TAYLOR EMAIL: DAVE@MEG4.COM (E) WALL #1-STONE = 17 S.F. 3. THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAMP, SIGNATURE AND (E) FRONT STEPS-STONE = 34 S.F. JRTCE, INC. 34 S.F. DATE) BY THE ENGINEER OF RECORD FOR DESIGN COMPATIBILITY. A CERTIFICATION LETTER FROM THE ENGINEER P.O. BOX 51697 (E) PIZZA-STONE 63 S.F. PACIFIC GROVE. CA. 93950 SHALL BE SENT TO THE BUILDING DEPARTMENT STATING THIS APPROVAL. (E) PIZZA TERR-STONE = 83 S.F. 83 S.F. CONTACT PERSON: JERRY TAYLOR (E) ENTRY STEP-STONE = 10 S.f.10 S.F. THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED TEL. (831) 372-5890 (E) STEP #2-STONE = 11 S.F. 11 S.F. BY THE BUILDING DEPARTMENT. FAX (831) 372-5890 (E) REAR WOOD DECK = 75 S.F. EMAIL: JRTCE@ATT.NET 5. GLU-LAM CERTIFICATES SHALL BE COPIED TO THE BUILDING DEPARTMENT. (E) PAVER STONES = 45 s.f.45 S.F. 30X1.5 S.F. 6. NEW SITE RETAINING WALLS HAVE NOT BEEN REVIEWED UNDER THIS PERMIT. A SEPERATE PERMIT APPLICATION IS REQUIRED FOR ALL NEW RETAINING WALLS. ■ CIVIL / SURVEYOR: 180 S.F. = 595 S.F. (GREATER THAN 50%). RASMUSSEN LAND SURVEYORS 2400 GARDEN ROAD, SUITE A P.O. BOX 3135 REMOVED-AT DRIVEWAY = -12 S.F. MONTEREY, CA. 93942 REMOVED-REAR DECK = -75 S.F CONTACT PERSON: ROGER RASMUSSEN = 508 S.FTEL. (831) 375-7240 FAX (831) 375-2545 ROGERORÁSMUSSENLAND.COM ALLOWABLE SITE COVERAGE

JAMES
NEWHALL
SMITH
ARCHITECT, Inc.

716 LIGHTHOUSE AVE PACIFIC GROVE, CA. 93950

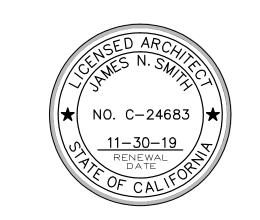
TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

PROJECT/CLIENT

**CARMELO** 

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



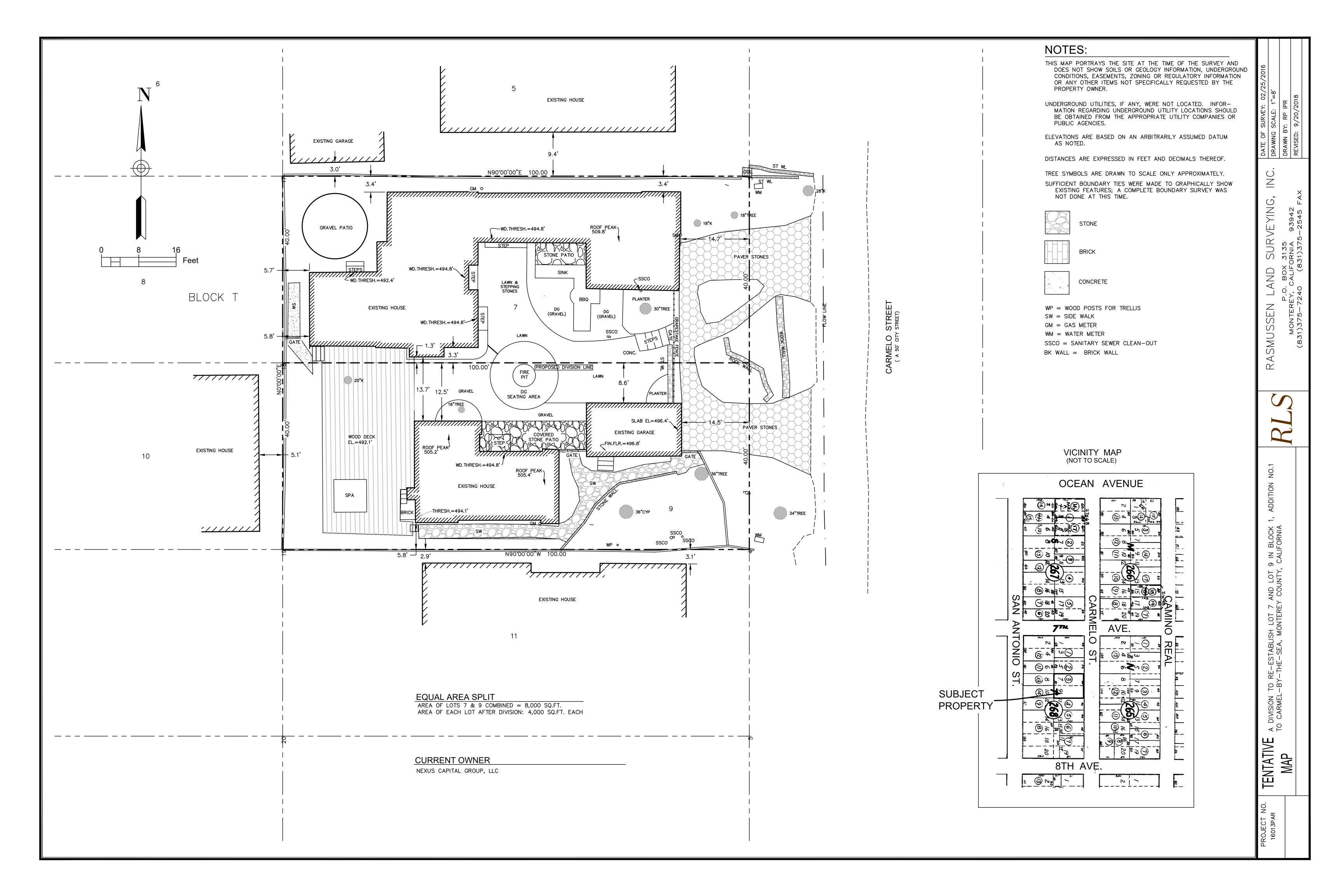
SHEET TITLE

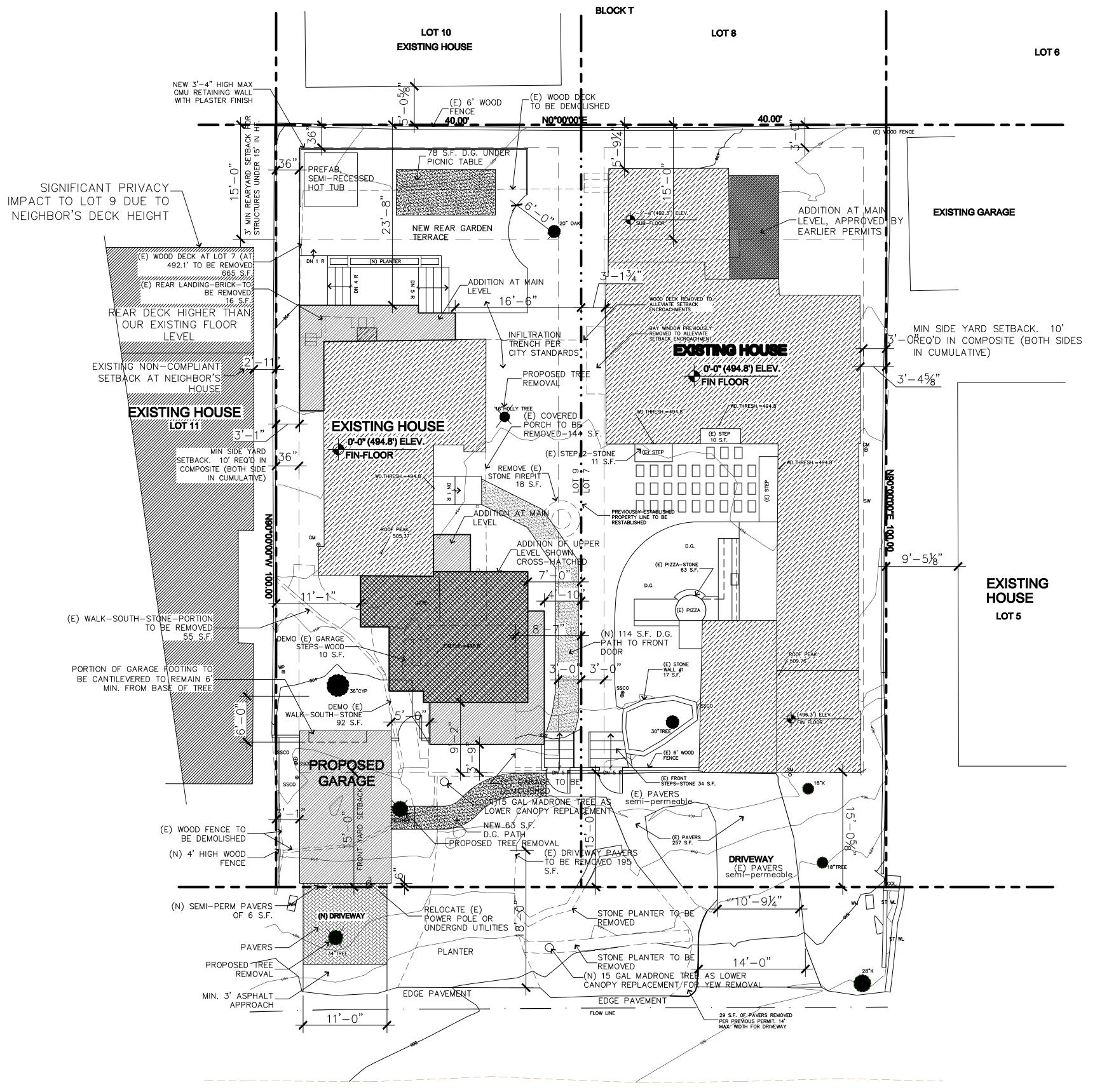
### COVER SHEET

ISSUE	REVISIO	ONS
1) 04-16-19 SUBMITTAL-TWO	D STORY AD	D-LOT
2) 09-24-19 PLANN'G RESUE	3-CONTEMP	VERSION
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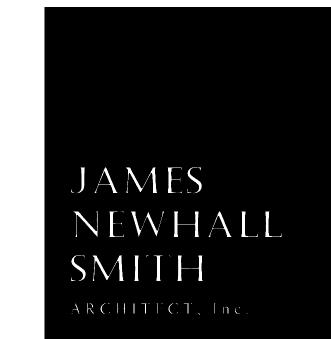






#### GENERAL SITE PLAN NOTES

- CONTRACTOR TO COORDINATE ALL NEW UTILITY INSTALLATIONS WITH UTILITY COMPANIES AND BUILDING DEPARTMENT(S).
- 2. CONTRACTOR TO VERIFY ADEQUACY OF ALL (E) UTILITIES. ALL SUBSTANDARD SERVICES SHALL BE REPLACED/UPGRADED AS NECESSARY TO COMPLY WITH CURRENT CODES AND ORDINACES.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PROPERTY CORNERS AND HOUSE LAYOUT RELATIVE TO SETBACKS BY LICENSED SURVEYOR PRIOR TO BUILDING FORMWORK OR POURING CONCRETE. CONTRACTOR SHALL COORDINATE WITH MONTEREY COUNTY.
- 4. RETAINING WALLS REQUIRING A BUILDING PERMIT ARE BY SEPARATE PERMIT, UNLESS NOTED OTHERWISE.
- 5. THE LOCATION, TYPE AND SIZE OF ALL ANTENNAS, SATELLITE DISHES OR TOWERS, AND SIMILAR APPURTENANCES SHALL BE APPROVED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- 6. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISH INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.
- 7. TOPOGRAPHICAL (EXISTING) AND OTHER SURVEY INFORMATION REPRESENTED HEREIN IS AS PROVIDED BY RASMUSSEN LAND SURVEYING ON 02-25-2016, JOB #13032.
- 8. REFER TO GEOTECHNICAL REPORT FOR ALL GRADING AND FOUNDATION RECOMMENDATIONS. IF REQUIRED, GEOTECHNICAL ENGINEER SHALL INSPECT GRADING AND TRENCHING FOR FOOTINGS PRIOR TO PLACEMENT OF FORMWORK OR CONCRETE.



716 LIGHTHOUSE AVE PACIFIC GROVE, CA. 93950

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PROJECT/CLIENT

**CARMELO** 

LOT 9

**GLEN YONEKURA** CARMELO 3 SW OF 7TH CARMEL BY THE SEA CA



SHEET TITLE

#### SITE PLAN

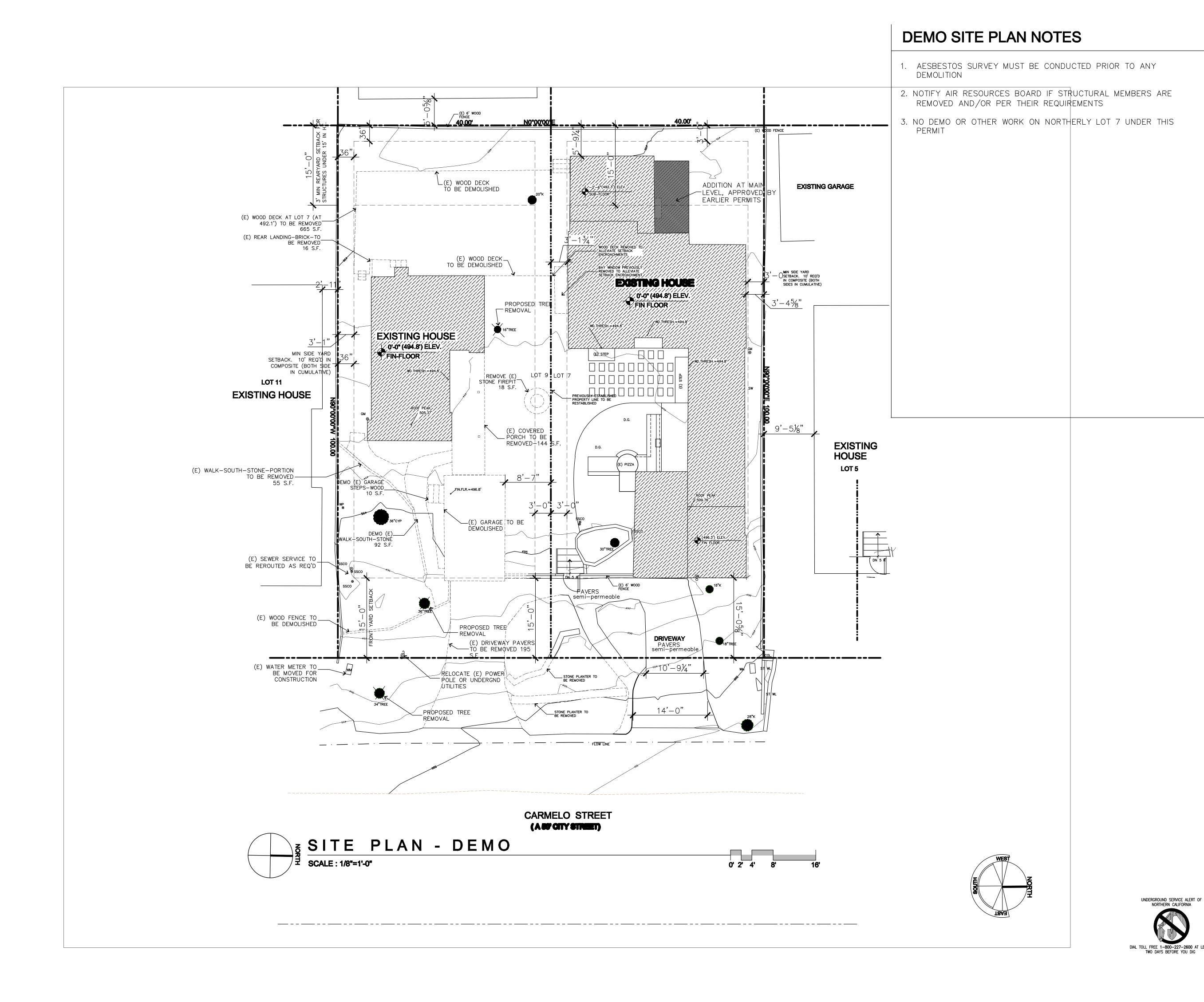
ISSUE	REVISIONS
1) 04-16-19 SUBMITTAL-TWO	D STORY ADD-LOT
2) 09-24-19 PLANN'G RESUE	B-CONTEMP VERSIO
3 11-25-19 CONTEMP VERS	ION REVISED

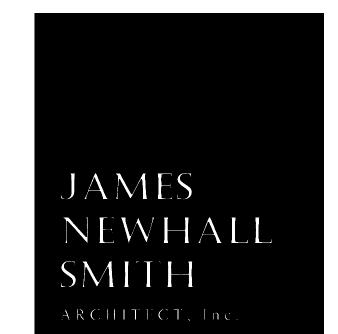
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UNDERGROUND SERVICE ALERT OF

DIAL TOLL FREE 1-800-227-2600 AT LEAST

SHEET NUMBER





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PROJECT/CLIENT

**CARMELO** 

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



SHEET TITLE

### DEMO SITE PLAN

ISSUE	REVISIONS
1) 04-16-19 SUBMITTAL-TWO	D STORY ADD-LOT 9
2 09-24-19 PLANN'G RESUE	3-CONTEMP VERSION
3 11-25-19 CONTEMP VERS	ION REVISED

CONTEMP VERSION REVISED

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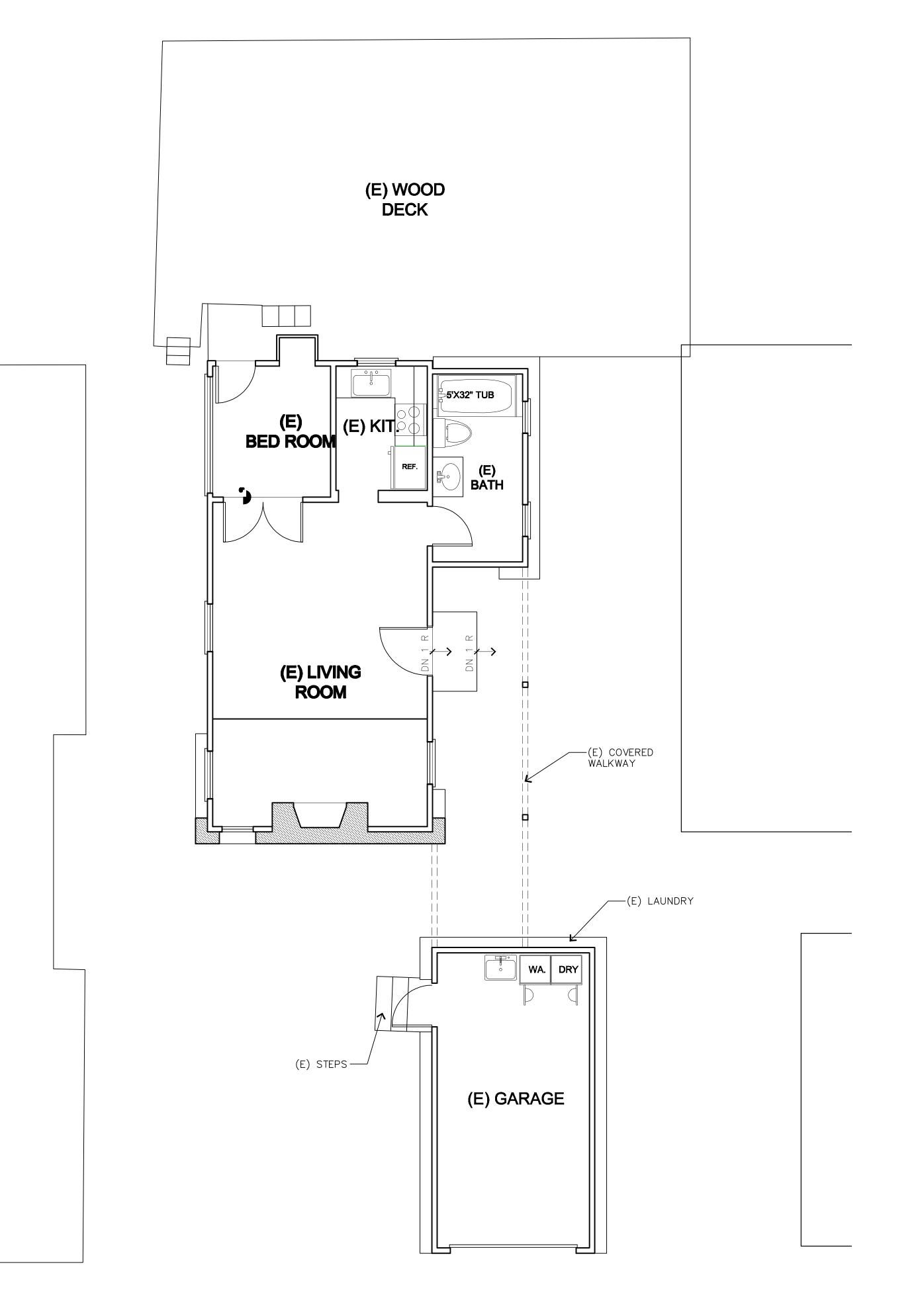
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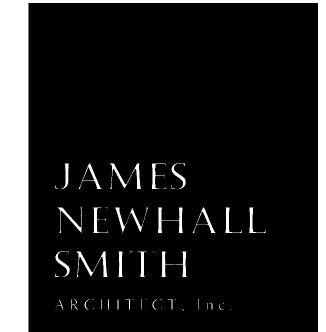
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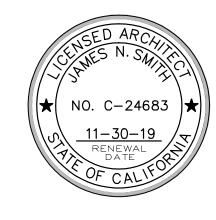
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PROJECT/CLIENT

CARMELO

LOT 9

**GLEN YONEKURA CARMELO 3 SW OF 7TH** CARMEL BY THE SEA CA



SHEET TITLE

# (E) FLOOR PLAN

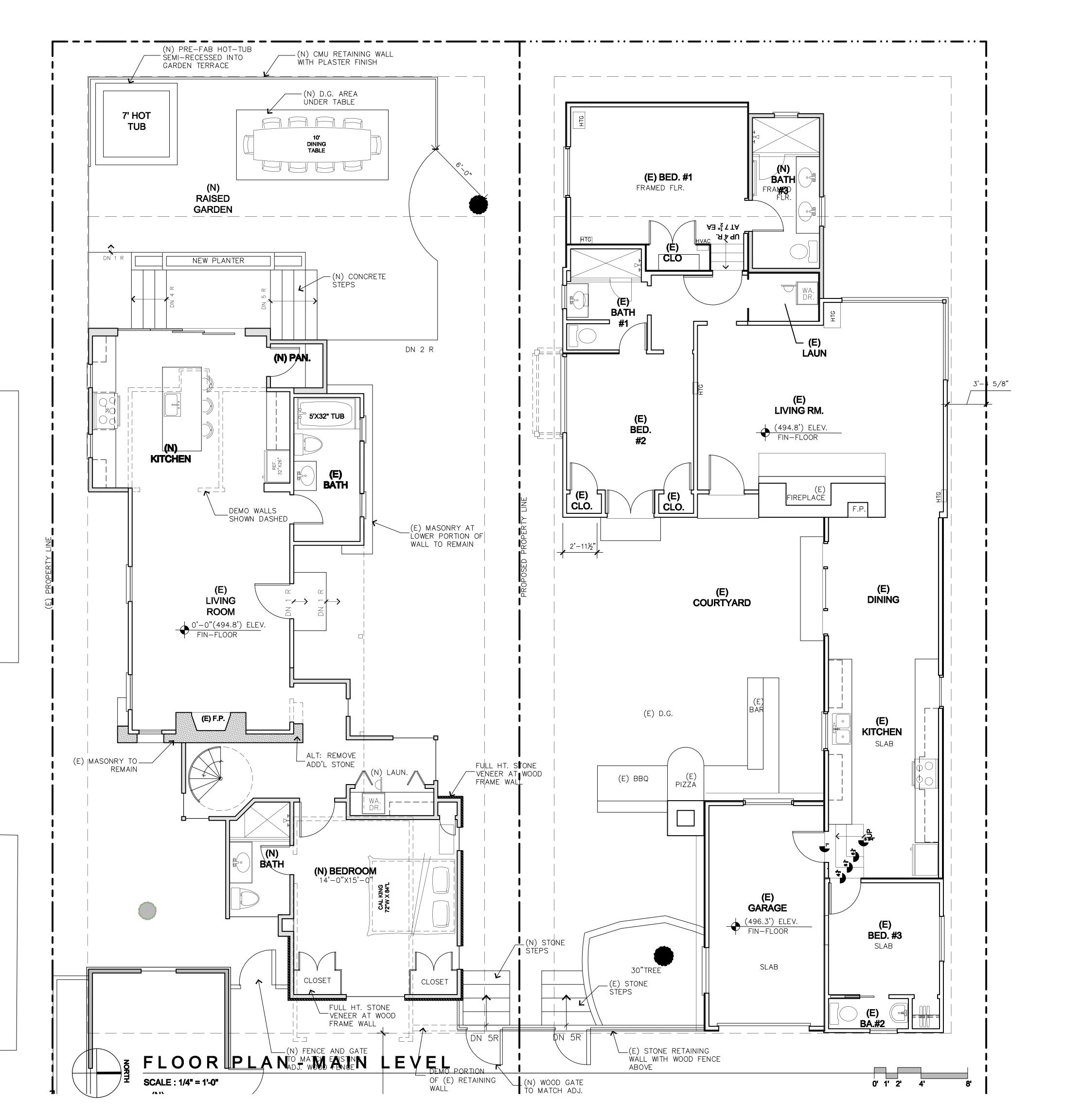
ISSUE	REVISIONS
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2) 09-24-19 PLANN'G RESUE	B-CONTEMP VERSION
3 11-25-19 CONTEMP VERS	
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	1) 04-16-19 SUBMITTAL-TW 2) 09-24-19 PLANN'G RESUE

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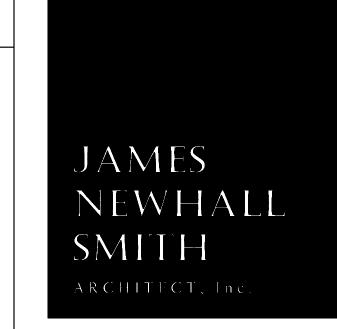
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A2.0E

EXISTING FLOOR PLAN-LOT 9 SCALE: 1/4" = 1'-0"



#### FLOOR PLAN NOTES



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PROJECT/CLIENT

**CARMELO** 

LOT 9

### WALL LEGEND

2X EXISTING WALL TO REMAIN

2X EXISTING WALL TO BE DEMOLISHED

NEW 2X STUD FRAMED WALL

STONE WALL / VENEER

CMU WALL-SEE STUCTURAL DWG'S

## **ELECTRICAL SYMBOLS LEGEND**

$\Rightarrow$	DUPLEX OUTLET
	DUPLEX OUTLET RECESSED INTO WALL
<del></del>	HALF SWITCHED OUTLET
DED	DEDICATED CIRCUIT (20 amps)
<b>220∨</b> ₩	220 VOLT OUTLET
<b>#</b>	4 PLEX OUTLET
GFI	GROUND FAULT INTERRUPT
₩P GFI	WATERPROOF OUTLET (EXTERIOR)
<b>Ф</b>	RECESSED FLOOR MOUNTED OUTLET, BRASS, BY HUBBELL, UL #514A, OR EQ.
$\triangleright$	TELEPHONE JACK
•	HIGH SPEED DATA LINE
	RECESSED FLOOR MOUNTED TELEPHONE JACK
T	THERMOSTAT CONTROL
<b>TV</b> H	TELEVISION CABLE
$\bullet \vdash$	DOORBELL
$\langle cv \rangle$	CENTRAL VACUUM OUTLET
<b>©</b> ⊣	GAS OUTLET
$\not\sqsubseteq \vdash$	GAS KEY VALVE, VERIFY MOUNT LOCATION WITH
HB	HOSE BIB VALVE (WITH NON-REMOVABLE BACK) PREVENTION DEVICE. (CPC 603.4.7, TYP.)
<b>←</b> ₩-∐	WALL MOUNTED AIR SUPPLY REGISTER
<b>-</b> ₩ <del>-</del>	RETURN AIR REGISTER

#### **ELECTRICAL LEGEND NOTES**

FLOOR MOUNTED SUPPLY AIR REGISTER

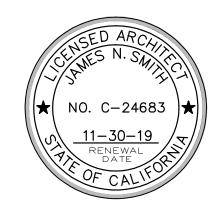
1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.

ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION AND SIZE

ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

- 2. THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
- 3. POLESWITCH AND SWITCHPLATE STYLE AND COLOUR TO BE DETERMINED BY OWNER.
- 4. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC ARTICLE 410-4(a)).
- 5. FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
- 6. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



SHEET TITLE

### MAIN LEVEL FLOOR PLAN

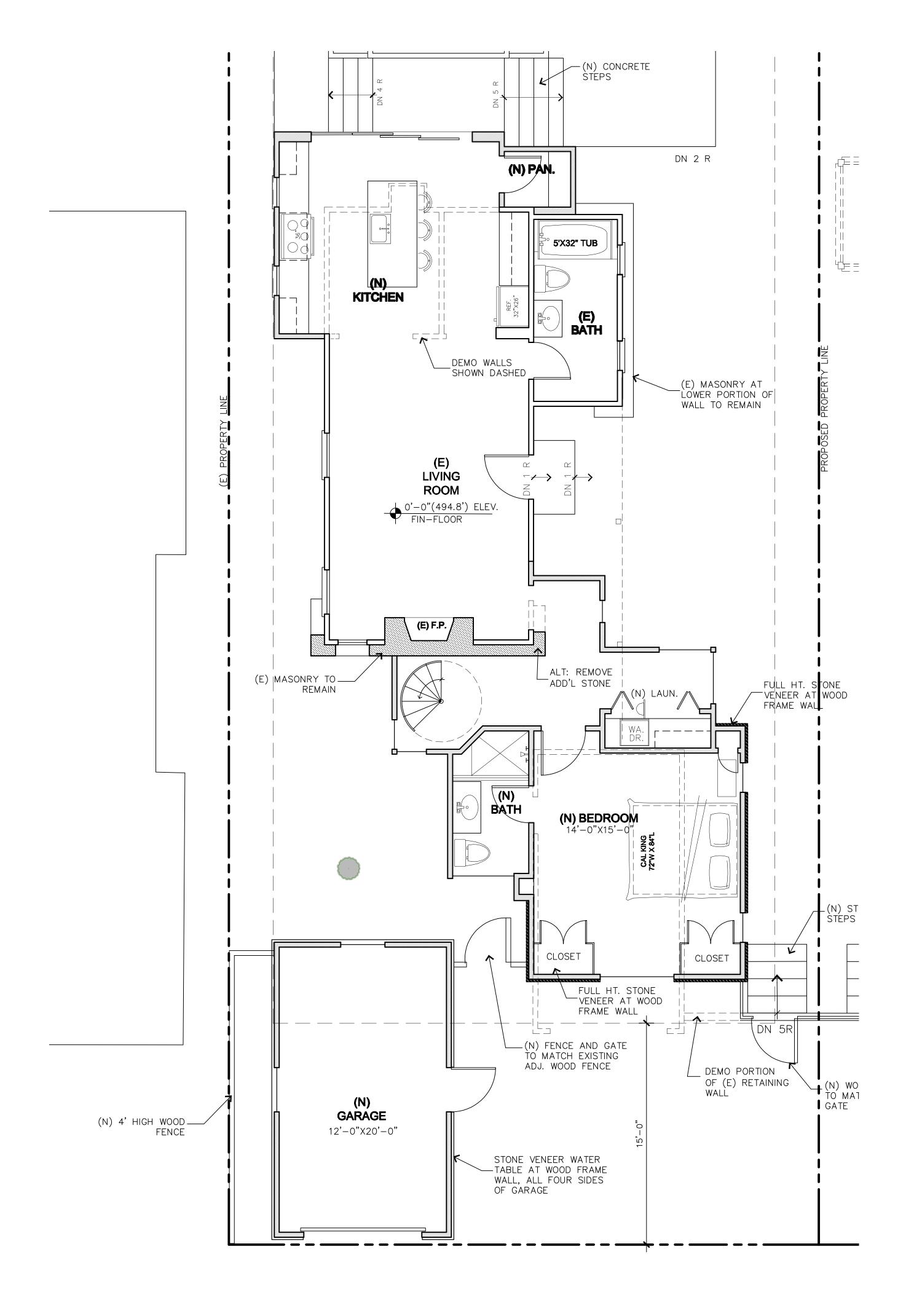
ISSUE	REVISIONS
1) 04-16-19 SUBMITTAL-TWO	O STORY ADD-LOT
2 09-24-19 PLANN'G RESUE	B-CONTEMP VERSION
3 11-25-19 CONTEMP VERS	SION REVISED
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DATE

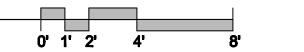
PROJECT NUMBER

SHEET NUMBER

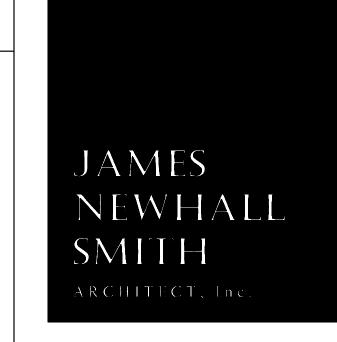
A2.0











TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

PROJECT/CLIENT

#### **CARMELO**

LOT 9

GLEN YONEKURA CARMELO 3 SW OF 7TH CARMEL BY THE SEA CA



SHEET TITLE

### GARAGE FLOOR PLAN

	( ) ISSUE	REVISIONS
	1 04-16-19 SUBMITTAL-TWO	) STORY ADD-LOT
	2 09-24-19 PLANN'G RESUB	3-CONTEMP VERSIO
	3 11-25-19 CONTEMP VERSI	

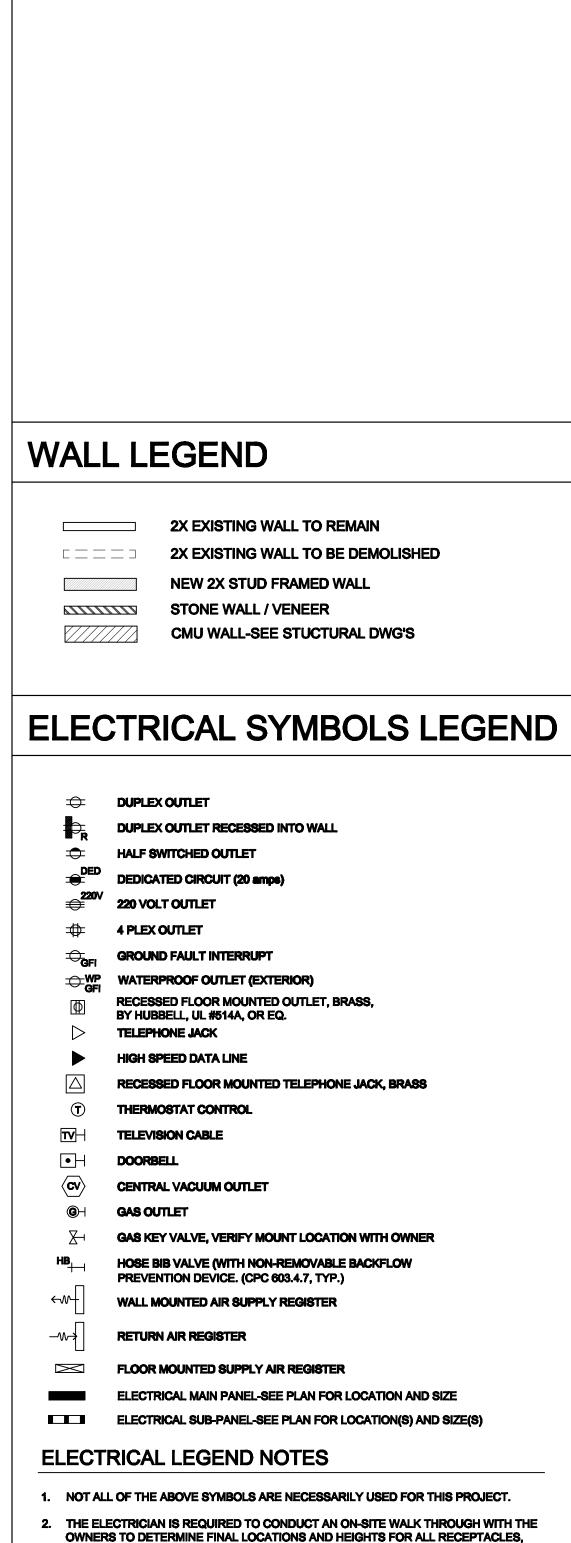
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DATE

PROJECT NUMBER

SHEET NUMBER

A2.



FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO

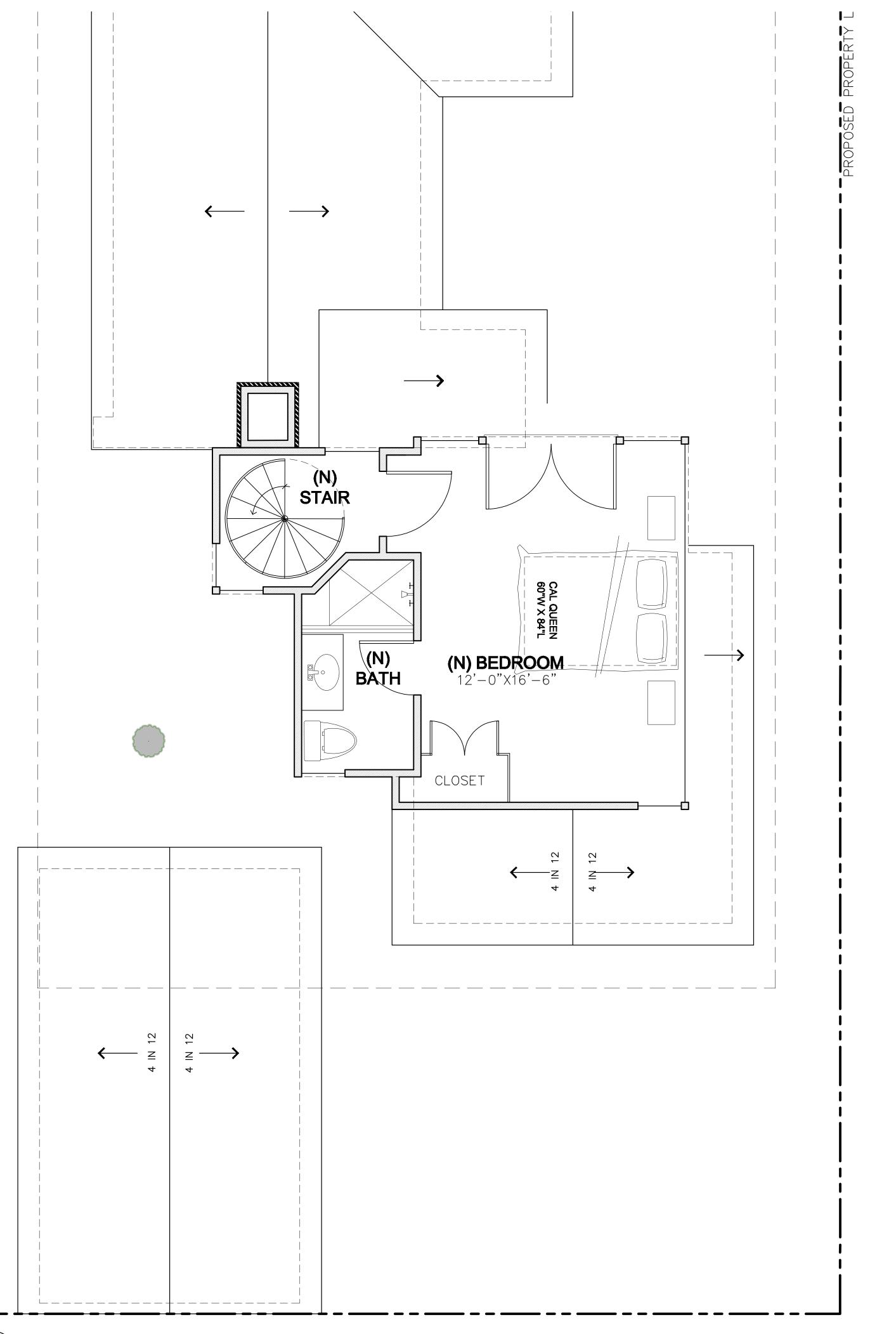
4. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC ARTICLE 410-4(a)).

5. FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND

6. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE

3. POLESWITCH AND SWITCHPLATE STYLE AND COLOUR TO BE DETERMINED BY

CODE RESTRICTIONS.



FLOOR PLAN-UPPER LEVEL

SCALE : 1/4" = 1'-0"





WALL LEGEND

**DUPLEX OUTLET** 

220 VOLT OUTLET

TELEPHONE JACK

HIGH SPEED DATA LINE

THERMOSTAT CONTROL

**CENTRAL VACUUM OUTLET** 

**RETURN AIR REGISTER** 

**ELECTRICAL LEGEND NOTES** 

CODE RESTRICTIONS.

**TELEVISION CABLE** 

4 PLEX OUTLET

HALF SWITCHED OUTLET

DEDICATED CIRCUIT (20 amps)

**GROUND FAULT INTERRUPT** 

BY HUBBELL, UL #514A, OR EQ.

**⊕**WP WATERPROOF OUTLET (EXTERIOR)

**NEW 2X STUD FRAMED WALL** 

CMU WALL-SEE STUCTURAL DWG'S

**ELECTRICAL SYMBOLS LEGEND** 

STONE WALL / VENEER

**DUPLEX OUTLET RECESSED INTO WALL** 

RECESSED FLOOR MOUNTED OUTLET, BRASS,

RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS

GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER

ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION AND SIZE
ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.

3. POLESWITCH AND SWITCHPLATE STYLE AND COLOUR TO BE DETERMINED BY

4. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC ARTICLE 410-4(a)).

5. FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND

6. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL

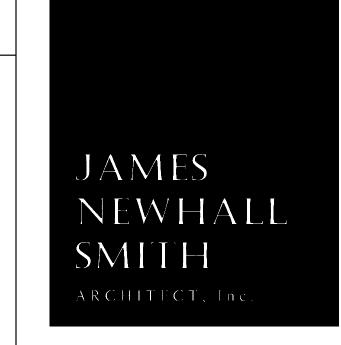
SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE

2. THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO

HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW

PREVENTION DEVICE. (CPC 603.4.7, TYP.)
WALL MOUNTED AIR SUPPLY REGISTER

FLOOR MOUNTED SUPPLY AIR REGISTER



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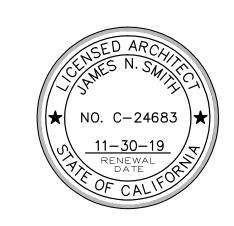
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PROJECT/CLIENT

#### **CARMELO**

LOT 9

GLEN YONEKURA CARMELO 3 SW OF 7TH CARMEL BY THE SEA CA



SHEET TITLE

# UPPER LEVEL FLOOR PLAN

ISSUE	REVISION
_	

1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9 2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION

PLANIN G RESUB-CONTEMP VERSION

3 11-25-19 CONTEMP VERSION REVISED

 $\overline{\phantom{a}}$ 

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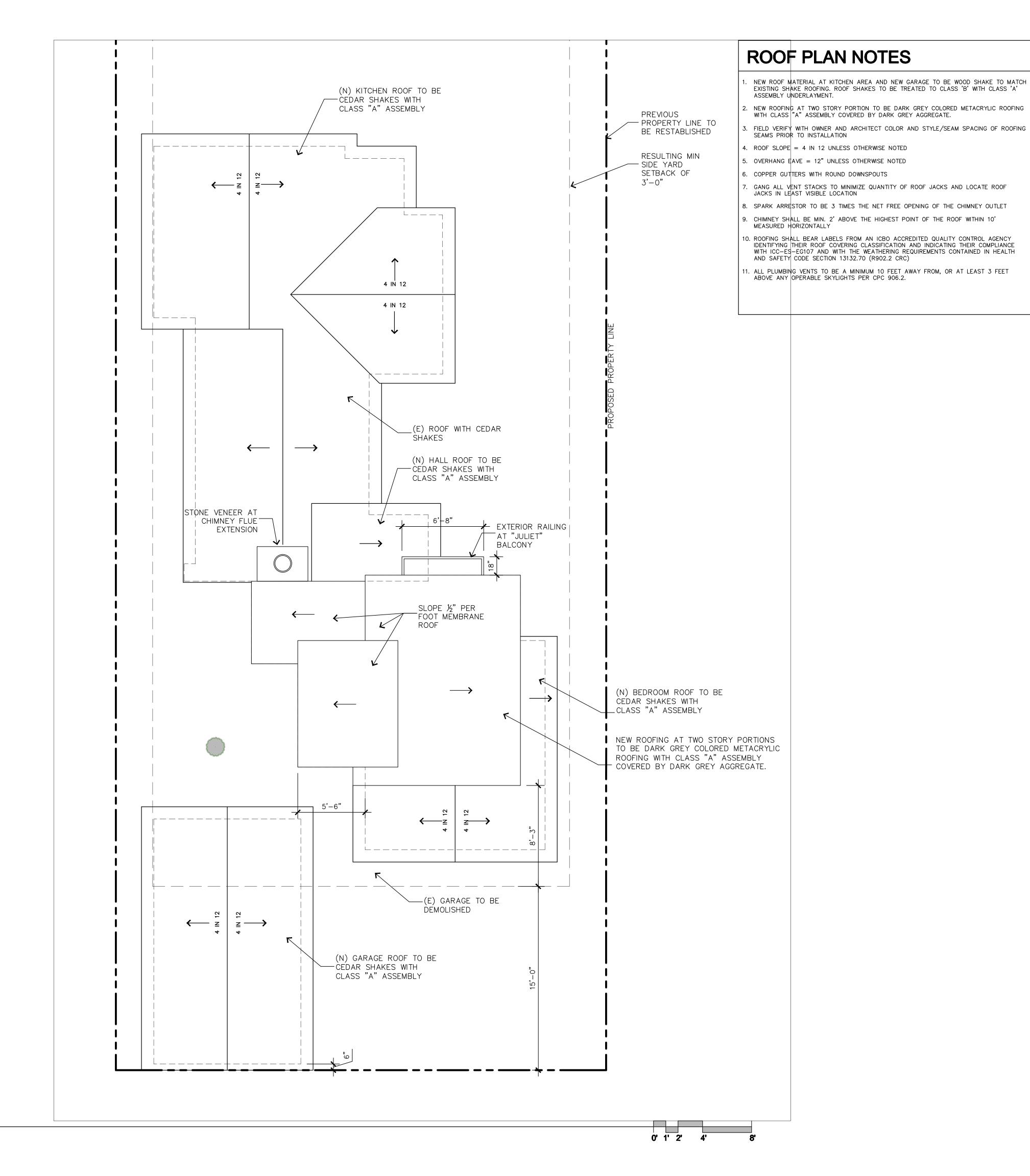
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DATE

PROJECT NUMBER

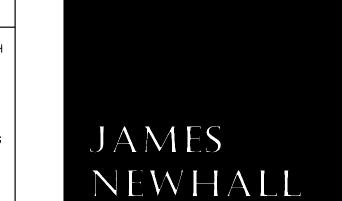
SHEET NUMBER

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**ROOF PLAN** 

SCALE: 1/4" = 1'-0"



SMITH

ARCHITECT, Inc.

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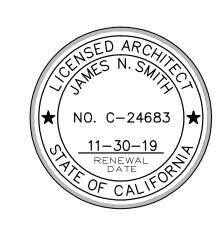
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PROJECT/CLIENT

**CARMELO** 

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



SHEET TITLE

ROOF PLAN

ISSUE	REVISIONS
1 04-16-19 SUBMITTAL-TV	WO STORY ADD-LOT 9

2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION

3 11-25-19 CONTEMP VERSION REVISED

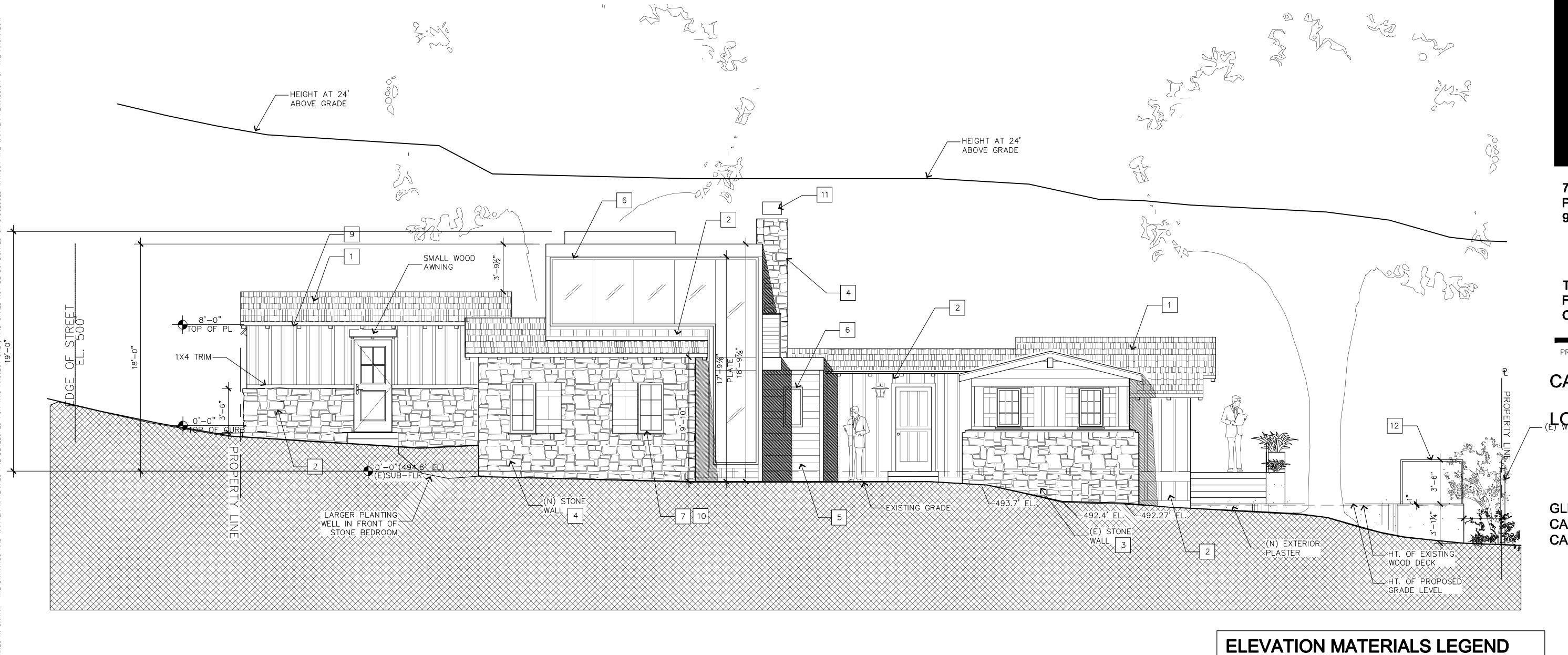
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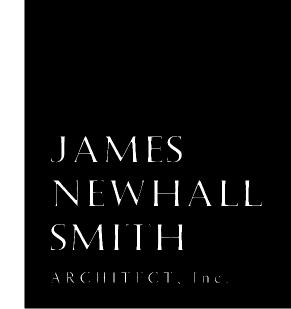
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PROJECT NUMBER

SHEET NUMBER

A5.0





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PROJECT/CLIENT

**CARMELO** 

LOT 9 (E) WOOD FENCE

GLEN YONEKURA CARMELO 3 SW OF 7TH CARMEL BY THE SEA CA



SHEET TITLE

# EXTERIOR ELEVATIONS

1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
2 09-24-19 PLANN'G RESUB-CONTEMP VERSION

3 11-25-19 CONTEMP VERSION REVISED

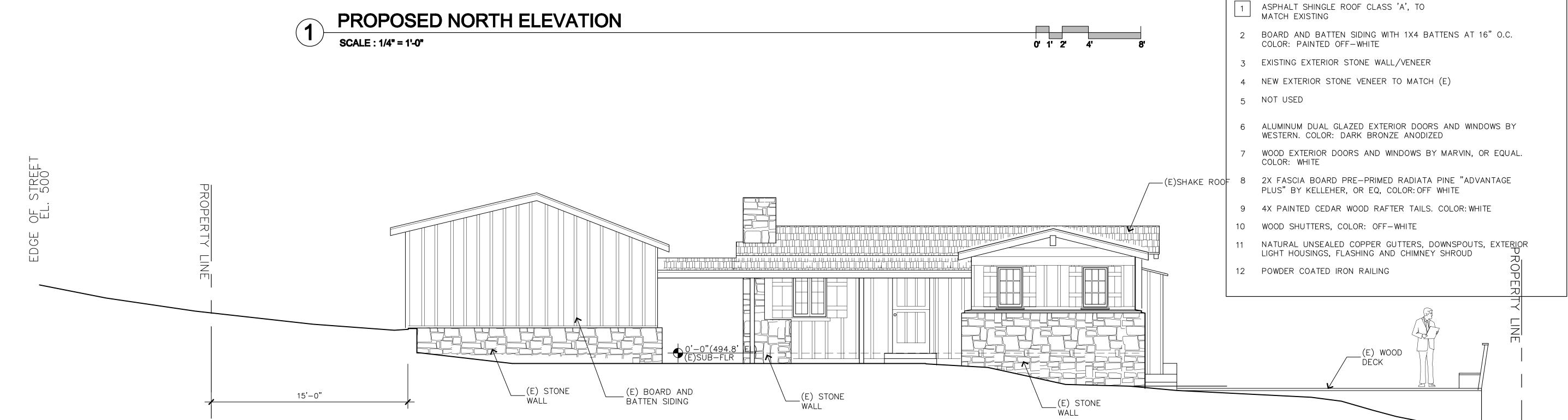
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DATE

PROJECT NUMBER

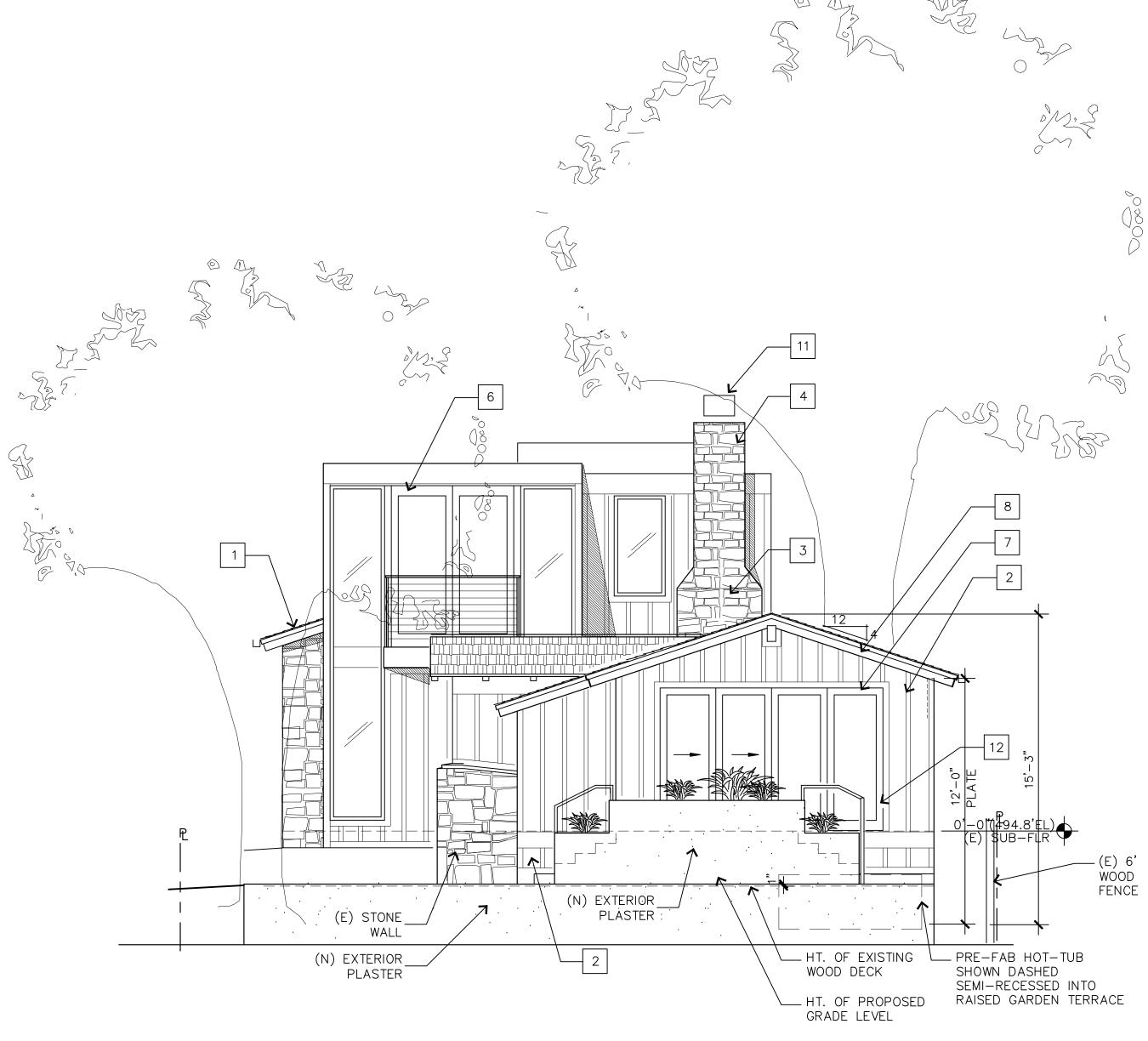
SHEET NUMBER

A6.0



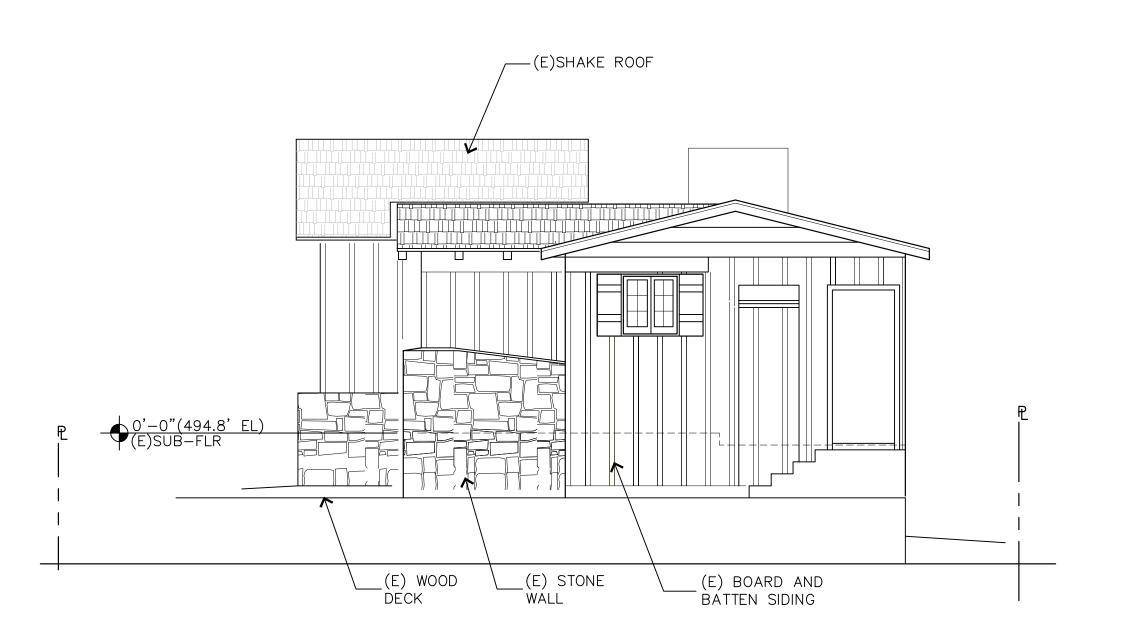
**EXISTING NORTH ELEVATION** 

SCALE: 1/4" = 1'-0"



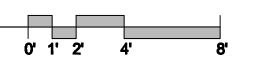
### PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



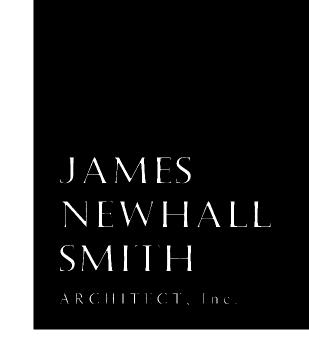
2 EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



#### **ELEVATION MATERIALS LEGEND**

- 1 ASPHALT SHINGLE ROOF CLASS 'A', TO MATCH EXISTING
- 2 BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF—WHITE
- 3 EXISTING EXTERIOR STONE WALL/VENEER
- 4 NEW EXTERIOR STONE VENEER TO MATCH (E)
- 5 NOT USED
- 6 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY WESTERN. COLOR: DARK BRONZE ANODIZED
- 7 WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN, OR EQUAL. COLOR: WHITE
- 8 2X FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR: OFF WHITE
- 9 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE
- 10 WOOD SHUTTERS, COLOR: OFF-WHITE
- NATURAL UNSEALED COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
- 12 POWDER COATED IRON RAILING



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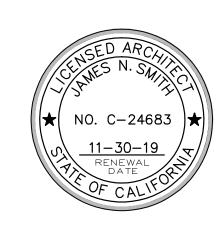
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PROJECT/CLIENT

#### **CARMELO**

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



SHEET TITLE

# EXTERIOR ELEVATIONS

ISSUE	REVISIONS
1) 04-16-19 SUBMITTAL-	-TWO STORY ADD-LOT
2 09-24-19 PLANN'G RE	SUB-CONTEMP VERSIO

3 11-25-19 CONTEMP VERSION REVISED

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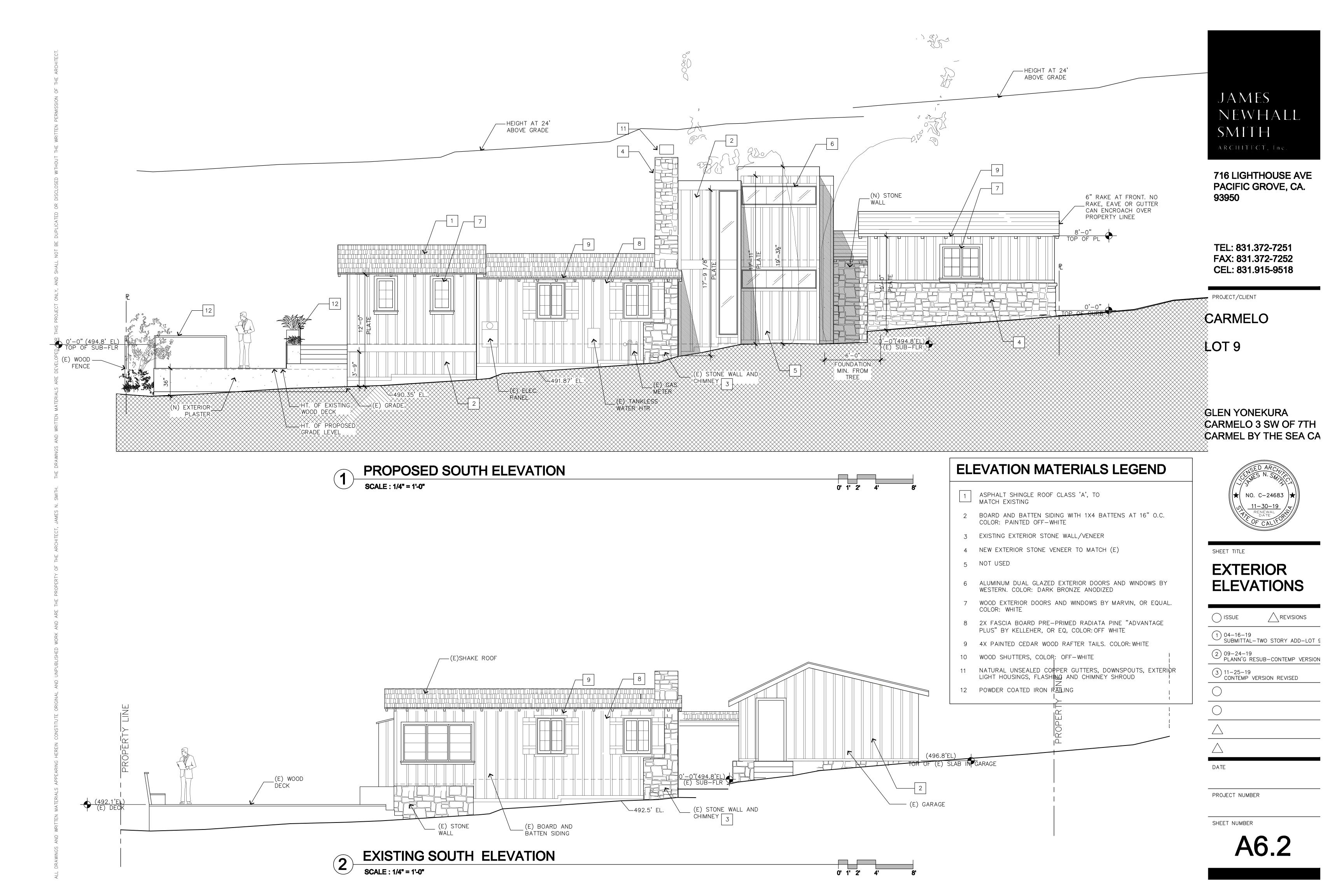
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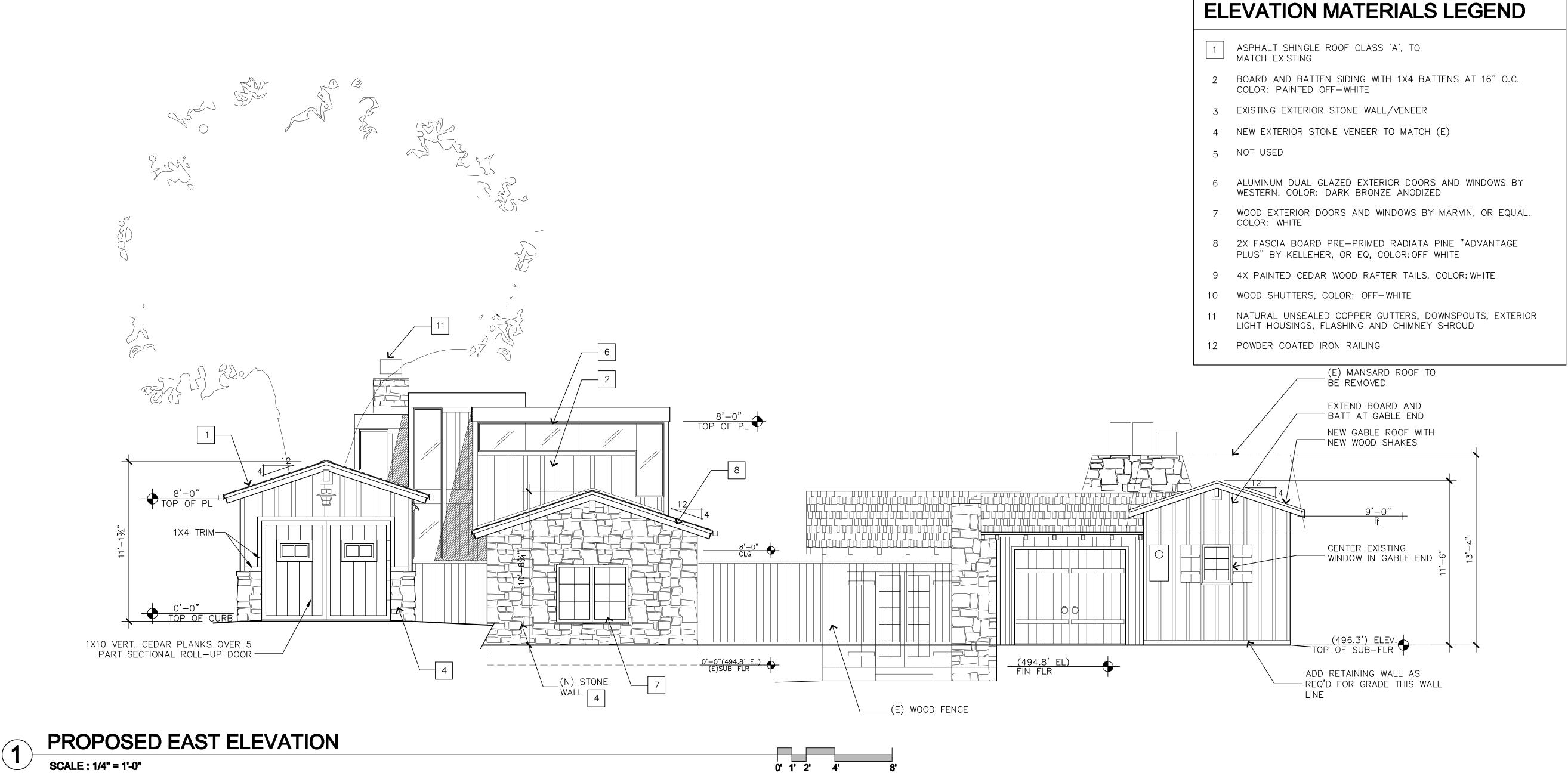
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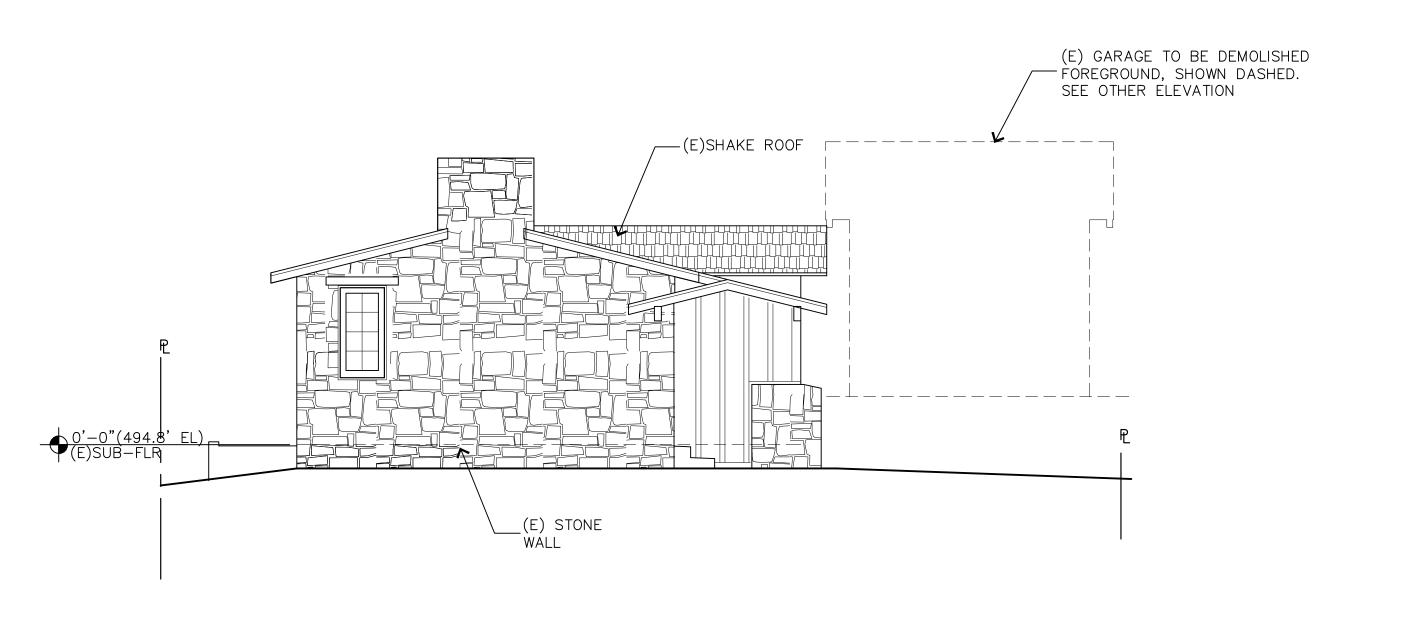
PROJECT NUMBER

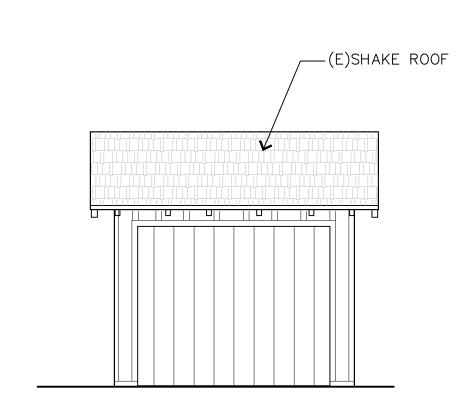
SHEET NUMBER

A6.1









2 EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

0' 1' 2' 4' 8'

EXISTING GARAGE ELEVATION

SCALE : 1/4" = 1'-0"

JAMES
NEWHALL
SMITH
ARCHITECT, Inc.

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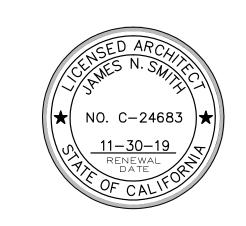
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PROJECT/CLIENT

**CARMELO** 

LOT 9

GLEN YONEKURA CARMELO 3 SW OF 7TH CARMEL BY THE SEA CA



SHEET TITLE

# EXTERIOR ELEVATIONS

ISSUE REVISIONS
1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT S
2 09-24-19 PLANN'G RESUB-CONTEMP VERSION
3 11-25-19 CONTEMP VERSION REVISED
$\triangle$
DATE
PROJECT NUMBER

SHEET NUMBER

A6.3