



project name

## The Quan Residence

SW Corner of 6th and Carpenter  
Carmel, CA 93923

010-033-005

issue set

issue date 01.02.18

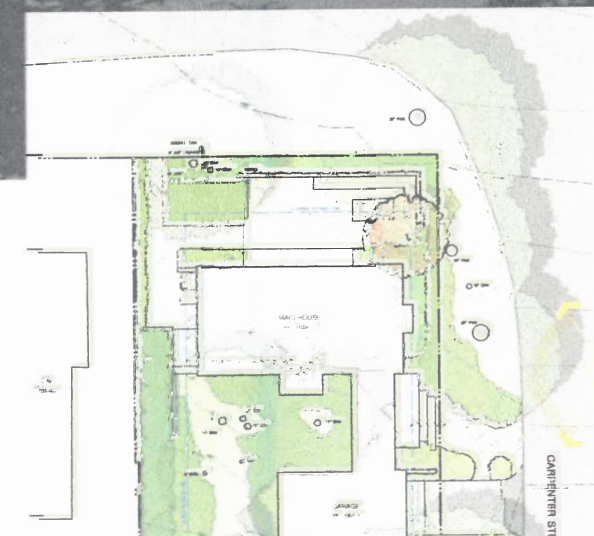
previous issue

rev	description	date
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drawing title

### MAIN ENTRY

drawn by: OL  
scale: 1/16"=1'-0"



RECEIVED

MAR. 02 2018



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**SECONDARY ACCESS**

drawn by: OL  
 scale: 1/16"=1'-0"

# THE QUAN FAMILY

carmel, california

issued: 3/1/18

revised:

drawn by:

JUSTIN PAULY ARCHITECTS

550 hartnell st, suite H  
monterey, california 93940  
P: 831.862.3440  
jtp@justinpaulyarchitects.com

PLANNING  
SUBMITTAL

apn: 0 10 .033.005

carmel, california

a new residence for:  
**THE QUAN FAMILY**  
s/w corner of 6th & carpenter

ALL DRAWINGS AND WRITTEN MATERIALS CONTAINED HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT (© JUSTIN PAULY ARCHITECTS)

COVER SHEET

sheet 1

**A0.0**

of -  
sheets

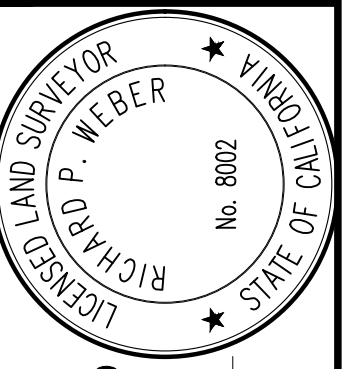
		PROJECT DATA	PROJECT TEAM	SHEET INDEX																																																																																	
		<p>OWNER: THE QUAN FAMILY INC.</p> <p>SITE: S/W CORNER OF 6TH &amp; CARPENTER</p> <p>A.P.N. 010.033.005</p> <p>ZONING: R-1</p> <p>FIRE DISTRICT: CARMEL</p> <p>OCCUPANCY: R-3 (RESIDENCE) U (GARAGE)</p> <p>CONSTRUCTION TYPE: V-B</p> <p>SITE AREA: 4,000 SQ.FT.</p> <p><b>BUILDING AREA:</b></p> <table border="1"> <tr> <td>ALLOWED</td> <td>1,800</td> <td>SQ. FT.</td> </tr> <tr> <td>PROPOSED GARAGE (FLOOR AREA)</td> <td>245</td> <td>SQ. FT.</td> </tr> <tr> <td>FIRST FLOOR</td> <td>743</td> <td>SQ. FT.</td> </tr> <tr> <td>SECOND FLOOR</td> <td>812</td> <td>SQ. FT.</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>1,800</b></td> <td><b>SQ. FT. (45.0% FAR)</b></td> </tr> </table> <p><b>SITE COVERAGE:</b></p> <table border="1"> <tr> <td>ALLOWED 22% BASE FLOOR AREA</td> <td>396</td> <td>SQ. FT.</td> </tr> <tr> <td>4% BONUS AREA FOR DRIVEWAY</td> <td>160</td> <td>SQ. FT.</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>556</b></td> <td><b>SQ. FT.</b></td> </tr> </table> <table border="1"> <tr> <td>PROPOSED PERVIOUS IMPERVIOUS</td> <td>278</td> <td>SQ. FT.</td> </tr> <tr> <td></td> <td>278</td> <td>SQ. FT. (&lt;50.0%)</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>556</b></td> <td><b>SQ. FT.</b></td> </tr> </table> <p>WATER SUPPLY: CAL AM</p> <p>SEWER: PUBLIC</p> <p>BUILDING HEIGHT: 24'-0" (MAX)</p> <p>GRADING: MINIMAL, LESS THAN 10 CY</p> <p>FIRE SPRINKLERS: YES</p> <p>TREE REMOVAL: 4" OAK TO BE REMOVED IN R.O.W. W/ ARBORIST'S PERMISSION</p>	ALLOWED	1,800	SQ. FT.	PROPOSED GARAGE (FLOOR AREA)	245	SQ. FT.	FIRST FLOOR	743	SQ. FT.	SECOND FLOOR	812	SQ. FT.	<b>TOTAL</b>	<b>1,800</b>	<b>SQ. FT. (45.0% FAR)</b>	ALLOWED 22% BASE FLOOR AREA	396	SQ. FT.	4% BONUS AREA FOR DRIVEWAY	160	SQ. FT.	<b>TOTAL</b>	<b>556</b>	<b>SQ. FT.</b>	PROPOSED PERVIOUS IMPERVIOUS	278	SQ. FT.		278	SQ. FT. (<50.0%)	<b>TOTAL</b>	<b>556</b>	<b>SQ. FT.</b>	<p>ARCHITECT: JUSTIN PAULY JUSTIN PAULY ARCHITECTS 550 HARTNELL ST. SUITE H MONTEREY CA 93940 P. 831.920.1045 jtp@justinpaulyarchitects.com CA LICENSE #C32962</p> <p>SURVEY: WHITSON ENGINEERS 9699 BLUE LARKSPUR LANE MONTEREY, CA 93940 P. 831.649.5225 P. 831.373.5065</p> <p>LANDSCAPE ARCHITECT: MICHAEL BLISS BLISS LANDSCAPE ARCHITECTURE P. 831.251.8551 michael@blisslandarch.com</p> <p>SOILS ENGINEER SOIL SURVEYS GROUP, INC. MICHELLE GARCIA 103 CHURCH ST. SALINAS, CA 93401 P. 831.757.2172</p>	<table border="1"> <tr> <th>ID</th> <th>NAME</th> </tr> <tr> <td>A0.0</td> <td>COVER SHEET</td> </tr> <tr> <td>A1.1</td> <td>SURVEY</td> </tr> <tr> <td>A1.2</td> <td>PRELIMINARY SITE ASSESSMENT</td> </tr> <tr> <td>A1.3</td> <td>CALCULATIONS</td> </tr> <tr> <td>A1.4</td> <td>VOLUME CALCULATIONS</td> </tr> <tr> <td>L1.0</td> <td>LANDSCAPE PLAN</td> </tr> <tr> <td>L1.1</td> <td>MATERIALS + FINISHES</td> </tr> <tr> <td>L3.0</td> <td>PLANTING PLAN</td> </tr> <tr> <td>L4.0</td> <td>IRRIGATION CONCEPT PLAN</td> </tr> <tr> <td>L5.0</td> <td>LIGHTING PLAN</td> </tr> <tr> <td>A2.1</td> <td>FIRST FLOOR PLAN</td> </tr> <tr> <td>A2.2</td> <td>SECOND FLOOR PLAN</td> </tr> <tr> <td>A2.3</td> <td>ROOF PLAN</td> </tr> <tr> <td>A3.1</td> <td>NORTH &amp; WEST ELEVATIONS</td> </tr> <tr> <td>A3.2</td> <td>SOUTH &amp; WEST ELEVATIONS</td> </tr> <tr> <td>A3.3</td> <td>NORTH &amp; WEST ELEVATIONS (COURTYARD)</td> </tr> <tr> <td>A3.4</td> <td>EXISTING &amp; PROPOSED STREET ELEVATIONS (CARPENTER)</td> </tr> <tr> <td>A3.5</td> <td>EXISTING &amp; PROPOSED STREET ELEVATIONS (6TH AVENUE)</td> </tr> <tr> <td>A3.6</td> <td>DETAILED DRIVEWAY STUDY</td> </tr> <tr> <td>A3.7</td> <td>DETAILED TREE LOCATION</td> </tr> <tr> <td>A4.1</td> <td>BUILDING SECTIONS</td> </tr> <tr> <td>A4.2</td> <td>BUILDING SECTIONS</td> </tr> <tr> <td>A5.1</td> <td>WINDOW &amp; DOOR SCHEDULES</td> </tr> </table>	ID	NAME	A0.0	COVER SHEET	A1.1	SURVEY	A1.2	PRELIMINARY SITE ASSESSMENT	A1.3	CALCULATIONS	A1.4	VOLUME CALCULATIONS	L1.0	LANDSCAPE PLAN	L1.1	MATERIALS + FINISHES	L3.0	PLANTING PLAN	L4.0	IRRIGATION CONCEPT PLAN	L5.0	LIGHTING PLAN	A2.1	FIRST FLOOR PLAN	A2.2	SECOND FLOOR PLAN	A2.3	ROOF PLAN	A3.1	NORTH & WEST ELEVATIONS	A3.2	SOUTH & WEST ELEVATIONS	A3.3	NORTH & WEST ELEVATIONS (COURTYARD)	A3.4	EXISTING & PROPOSED STREET ELEVATIONS (CARPENTER)	A3.5	EXISTING & PROPOSED STREET ELEVATIONS (6TH AVENUE)	A3.6	DETAILED DRIVEWAY STUDY	A3.7	DETAILED TREE LOCATION	A4.1	BUILDING SECTIONS	A4.2	BUILDING SECTIONS	A5.1	WINDOW & DOOR SCHEDULES
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<p>PRIOR TO INSTALLATION OF THE FOLLOWING SYSTEMS, THE CONTRACTOR SHALL SUBMIT TO THE MONTEREY CO. BUILDING DEPARTMENT THE REQUIRED DOCUMENTATION FOR REVIEW AND APPROVAL. REVIEW BY ARCHITECT SHALL BE PERFORMED PRIOR TO SUBMITTING DOCUMENTS TO THE CITY OF CARMEL</p> <p>1. AUTOMATIC FIRE SPRINKLER SYSTEM. COORDINATE DESIGN FOR THE LOCATION OF SPRINKLER HEADS W/ARCHITECT.</p>		<table border="1"> <thead> <tr> <th rowspan="2">ITEM</th> <th colspan="3">TO BE PROVIDED IF MARKED</th> </tr> <tr> <th>TESTING</th> <th>SPECIAL INSPECTION</th> <th>ENGINEER'S OBSERVATION</th> </tr> </thead> <tbody> <tr> <td>GRADING AND COMPACTION</td> <td></td> <td></td> <td></td> </tr> <tr> <td>SUBDRAINS</td> <td></td> <td></td> <td></td> </tr> <tr> <td>SHEAR WALL NAILING AND HARDWARE</td> <td></td> <td></td> <td></td> </tr> <tr> <td>TIE DOWN INSTALLATION</td> <td></td> <td></td> <td></td> </tr> <tr> <td>FOUNDATIONS</td> <td></td> <td></td> <td></td> </tr> <tr> <td>FIELD WELDING</td> <td></td> <td></td> <td></td> </tr> </tbody> </table> <p><b>NOTES:</b></p> <ol style="list-style-type: none"> <li>REQUIRED TESTING AND/OR SPECIAL INSPECTION PER CBC CHAPTER 17A REQUIREMENTS SHALL BE DONE IN ACCORDANCE WITH THE CURRENT CODE BY AN APPROVED SPECIAL TESTING LAB, SPECIAL INSPECTOR AND/OR BY AN ENGINEER RETAINED BY THE OWNER.</li> <li>ENGINEERING OBSERVATION SHALL BE DONE BY THE STRUCTURAL ENGINEER OF RECORD.</li> <li>ENGINEERING OBSERVATION SHALL BE DONE BY THE GEOTECHNICAL ENGINEER OF RECORD.</li> <li>SUBMIT ALL TESTING AND INSPECTION REPORTS TO THE MONTEREY COUNTY BUILDING DEPARTMENT.</li> </ol> <p><b>NOTE: SEE STRUCTURAL DRAWINGS FOR ANY ADDITIONAL SPECIAL INSPECTION REQUIREMENT</b></p> <p><b>NOTE: FINAL INSPECTION AND APPROVAL FROM MONTEREY PENINSULA WATER MANAGEMENT DISTRICT REQ'D PRIOR TO COUNTY APPROVAL.</b></p>	ITEM	TO BE PROVIDED IF MARKED			TESTING	SPECIAL INSPECTION	ENGINEER'S OBSERVATION	GRADING AND COMPACTION				SUBDRAINS				SHEAR WALL NAILING AND HARDWARE				TIE DOWN INSTALLATION				FOUNDATIONS				FIELD WELDING				<ol style="list-style-type: none"> <li>TYPICAL CONSTRUCTION REQUIREMENTS OF THE 2013 CALIFORNIA STANDARDS CODE SHALL APPLY WHERE APPLICABLE AND WHEN NOT SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.</li> <li>SITE FAMILIARIZATION: CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL. IF THE CONTRACTOR DISCOVERS ANY CONDITIONS DURING HIS SITE FAMILIARIZATION WHICH HE FEELS WILL ADVERSELY AFFECT THE WORK, OR WHICH HE FEELS HAVE NOT BEEN ADEQUATELY ADDRESSED BY THE CONTRACTOR DOCUMENTS, HE IS TO NOTIFY THE ARCHITECT IN WRITING. CONTRACTOR IS ALSO RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH THE GEOTECHNICAL REPORT AND ALL RECOMMENDATION MADE THEREIN.</li> <li>UNSATISFACTORY CONDITIONS: THE CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT IN WRITING OF ANY UNSAFE OR UNSATISFACTORY CONDITIONS IN THE EXISTING OR PROPOSED CONSTRUCTION WHICH ARE DISCOVERED DURING THE COURSE OF THE WORK.</li> <li>CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CARRIED OUT BY RESPECTIVE CONTRACTORS IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR WITH MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION FOR THEIR MATERIALS OR ITEMS.</li> <li>DEMOLITION: COORDINATE ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE WISHES TO RETAIN FOR HIS USAGE. ALL OTHER ITEMS BECOME THE PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. UTILIZE DUST CONTROL MEASURES DURING DEMOLITION.</li> <li>NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.</li> <li>MECHANICAL AND PLUMBING: IT IS THE ESSENCE OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.</li> <li>ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT OFF NOZZLE. WHEN AN AUTOMATIC SHUT OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT OFF NOZZLE.</li> </ol>																																																			
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<p>THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES AS FOLLOWS:</p> <p>2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA ENERGY CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA FIRE CODE 2013 CALIFORNIA GREEN BUILDING CODE</p>				<p style="text-align: right;">NOT TO SCALE</p>																																																																																	
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				<p>CONSTRUCTION OF NEW 1,800 SQ. FT. 2 STORY SINGLE FAMILY DWELLING W/ NEW DRIVEWAY, SITE WALLS &amp; LANDSCAPING</p>																																																																																	

**NOTES:**

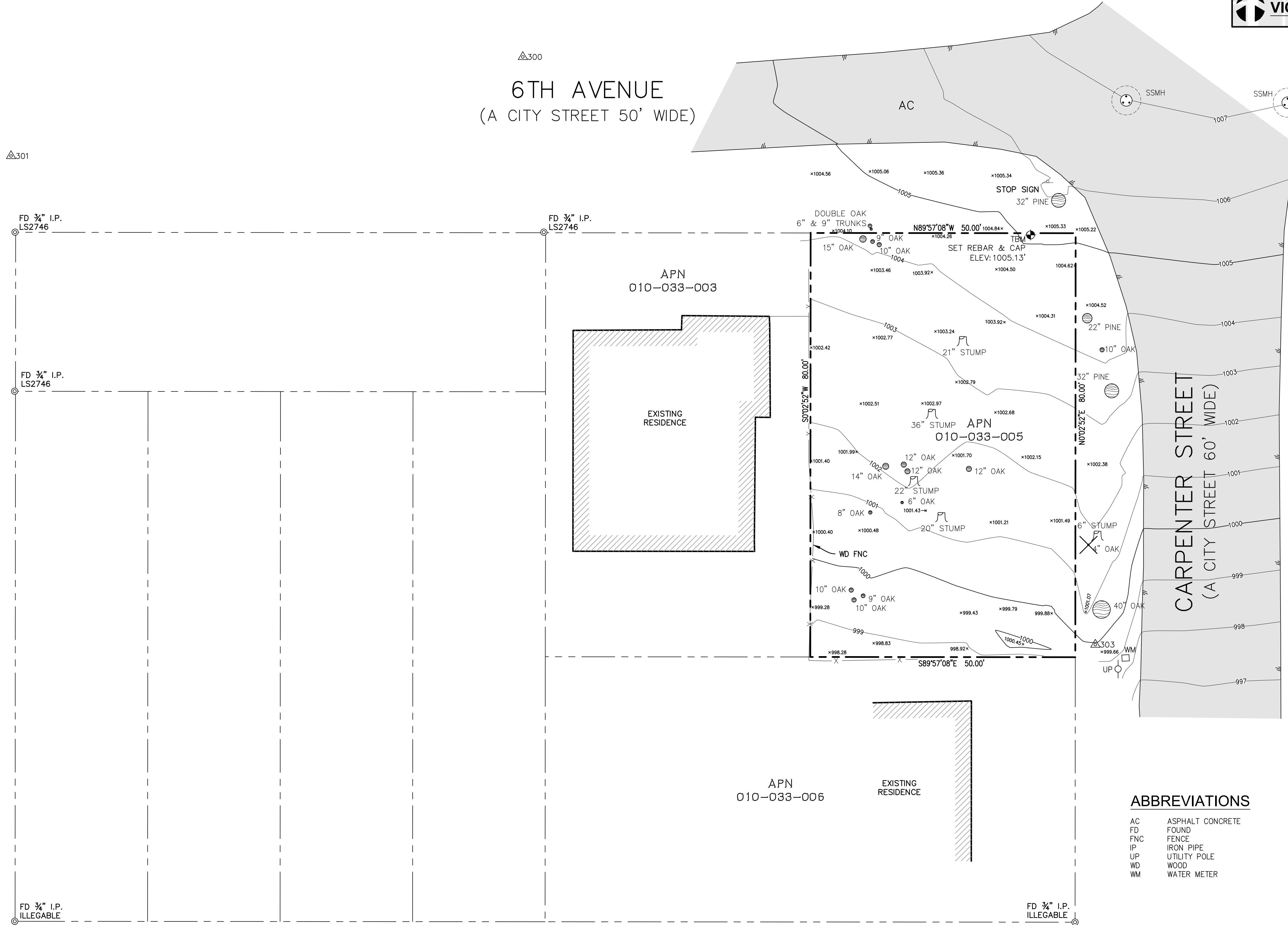
1. THIS MAP REPRESENTS A TOPOGRAPHIC SURVEY PERFORMED BY WHITSON ENGINEERS ON AUGUST 8 & 11, 2016.
2. THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE CLIENT.
3. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY SHOWN IS FROM RECORD DATA. THIS TOPOGRAPHY DOES NOT CONSTITUTE A BOUNDARY SURVEY. THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.
4. DISTANCES AND DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
5. TEMPORARY BENCHMARK TAKEN AT REBAR & CAP AT THE LOCATION SHOWN ON THIS PLAN. ELEVATION: 1005.13 (DATUM ASSUMED)
6. UNDERGROUND UTILITIES WERE NOT WITHIN THE SCOPE THIS SURVEY. THE EXISTENCE, LOCATION AND DEPTH OF ALL UTILITIES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
7. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 2" WERE NOT NECESSARILY LOCATED AS PART OF THIS SURVEY.



NO.	DATE	DESCRIPTION
1	08/15/16	ISSUED FOR PERMIT



**6TH AVENUE**  
(A CITY STREET 50' WIDE)

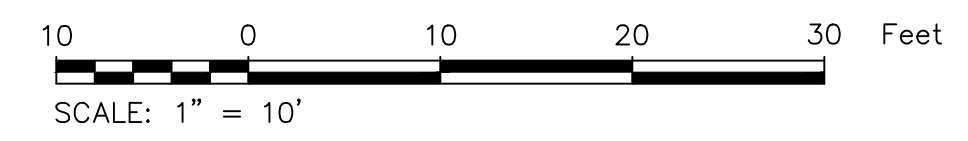


**LEGEND**

- 100 GROUND CONTOUR
- SUBJECT PROPERTY LINE
- ADJACENT PROPERTY LINE
- CONTROL POINT
- FOUND IRON PIPE, TAGGED AS NOTED
- TBM TEMPORARY BENCHMARK
- 1000.00 SPOT GRADE
- 12" OAK TREE
- STUMP OR SNAG (DEAD)
- FENCE
- UTILITY POLE SHOWING ARMS AND GUY WIRE
- SSMH SANITARY SEWER MANHOLE
- UTILITY VAULT
- ASPHALT
- BUILDING

**ABBREVIATIONS**

- AC ASPHALT CONCRETE
- FD FOUND
- FNC FENCE
- IP IRON PIPE
- UP UTILITY POLE
- WD WOOD
- WM WATER METER



**WHITSON ENGINEERS**  
 9899 Blue Larkspur Lane - Suite 105 - Monterey, CA 93940  
 831 649-5225 - Fax 831 373-5065  
 CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT

**CARMEL-BY-THE-SEA**  
**6th & CARPENTER**  
 MAP OF CARMEL CITY  
**MONTEREY COUNTY CALIFORNIA**  
**EASTERLY ONE-HALF OF LOT 1 AND THE NORTHERLY ONE-HALF OF LOTS 2 AND 3, IN BLOCK 64**  
 APN 010-033-005  
**TOPO MAP**

I:\Monterey Projects\010-033-005 - 6th & Carpenter\010-033-005-005.dwg Aug 16, 2016 10:50:00am

**Significant Tree Evaluation Worksheet**

Block: 64 Lot(s): E 1/2 1, N 1/2 2 +3 Street Location: S/W corner 6th and Carpenter Street

**Part One: Initial Screening:**

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9
YES									
NO	X	X	X	X	X	X	X	X	X

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page four of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9
Species	CO	CO	CO	CO	CO	CO	CO	CO	CO
YES	X	X	X	X	X	X	X	X	X
NO									

- MP – Monterey pine
- BP – Bishop pine
- CO – Coast live oak
- CS – California sycamore
- OT – Other
- MC – Monterey cypress
- CR – Coast redwood
- CI – Catalina Ironwood
- BL – Big leaf maple

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9
YES	X	X	X	X	X	X	X	X	X
NO									

	Diameter	Height
Monterey pine, Monterey cypress, Bishop pine, Coast redwood	4 inches @ dbh	15 Feet
Coast live oak – single trunk tree	6 inches @ dbh	N/A
Coast live oak – cluster or multi-trunk tree measured as an average diameter of all the trunks that reach breast height	6 inches @ dbh	N/A
California sycamore, Big leaf maple, Catalina ironwood	10 inches @ dbh	25 Feet

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

**Part Two: Assessment For Tree Significance**

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9
score	1	2	2	2	2	1	2	1	2

- 0 points:** The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
- 1 point:** The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
- 2 points:** The tree appears healthy and in good condition.
- 3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9
score	1	2	2	2	2	1	2	2	2

- 0 points:** Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
- 1 point:** The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
- 2 points:** The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
- 3 points:** The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each trunk/branch.

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9
score	2	2	2	1	1	2	2	2	2

- 0 points:** The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
- 1 point:** The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
- 2 points:** The tree is young to middle age and shows normal vigor.
- 3 points:** The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9
score	1	1	1	2	1	1	2	2	2

- 0 points:** The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
- 1 point:** The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
- 2 points:** The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

**Part Three: Final Assessment**

Please record the total points scored on pages two and three for each tree.

Tree #	1	2	3	4	5	6	7	8	9
Total Score	5	7	7	7	6	5	8	7	8

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9
YES	X	X	X	X	X	X	X	X	X
NO									

B. Are there any other factors that would disqualify a tree from a determination of significance? (Explain any 'yes' answer)

No  Yes

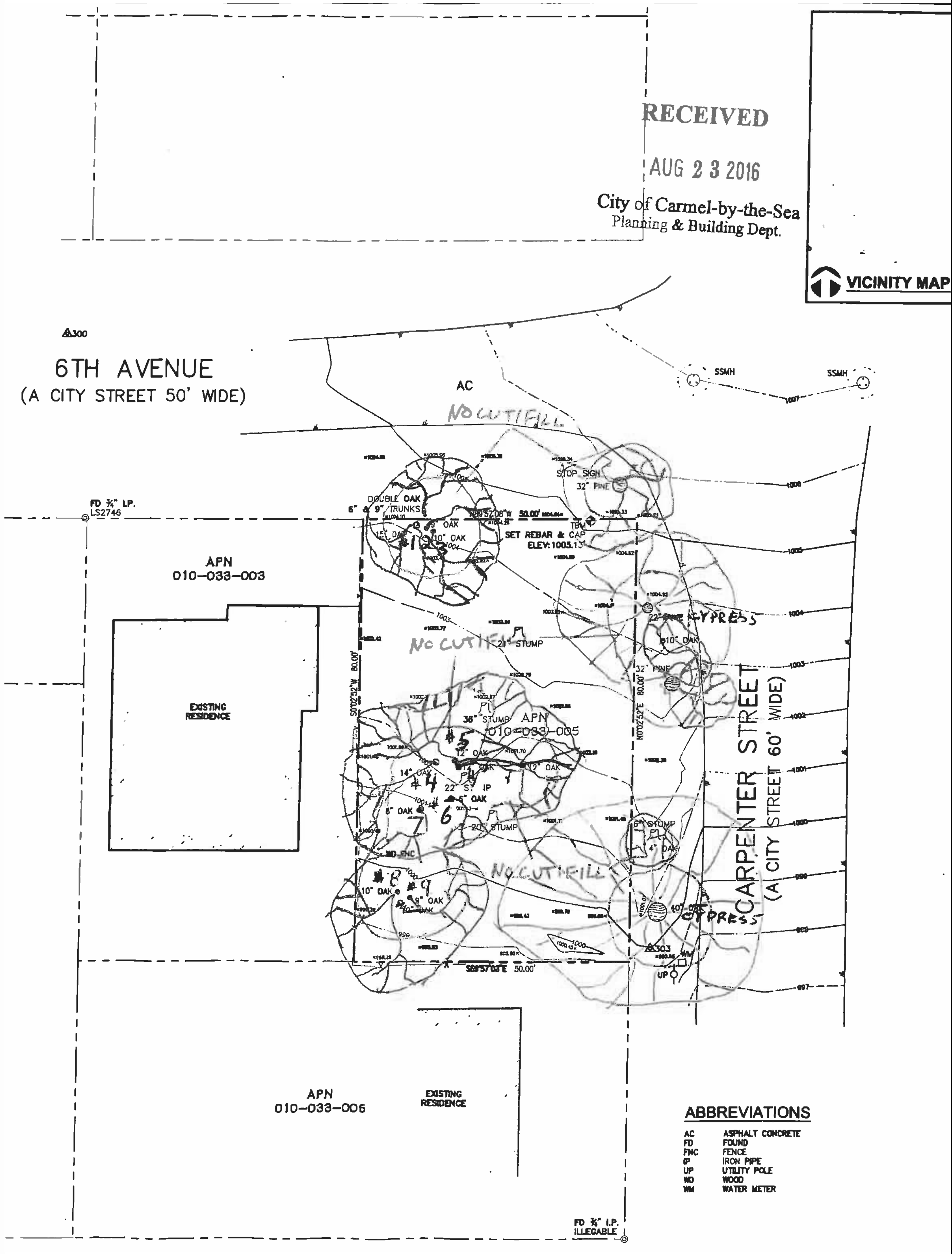
(Explanation)  
**NOTES:**

Site assessment was amended on June 7, 2017 due to additional facts related to an arborist report. Trees identified in the original report as #5, 6 and 7 were determined to be one tree. Site assessment has been updated with new tree numbers.

**Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?**

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9
SIGNIF		X	X	X	X		X	X	X
MOD SIGNIF		X				X			
NOT SIGNIF									



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AUG 23 2016

City of Carmel-by-the-Sea  
Planning & Building Dept.



**JUSTIN PAULY ARCHITECTS**  
550 hornell st, suite H  
monterey, california 93940  
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jpa@justinpaulyarchitects.com

PLANNING  
SUBMITTAL

apn: 010-033-005

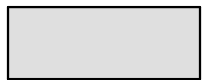


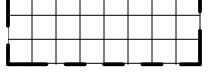

carmel, california

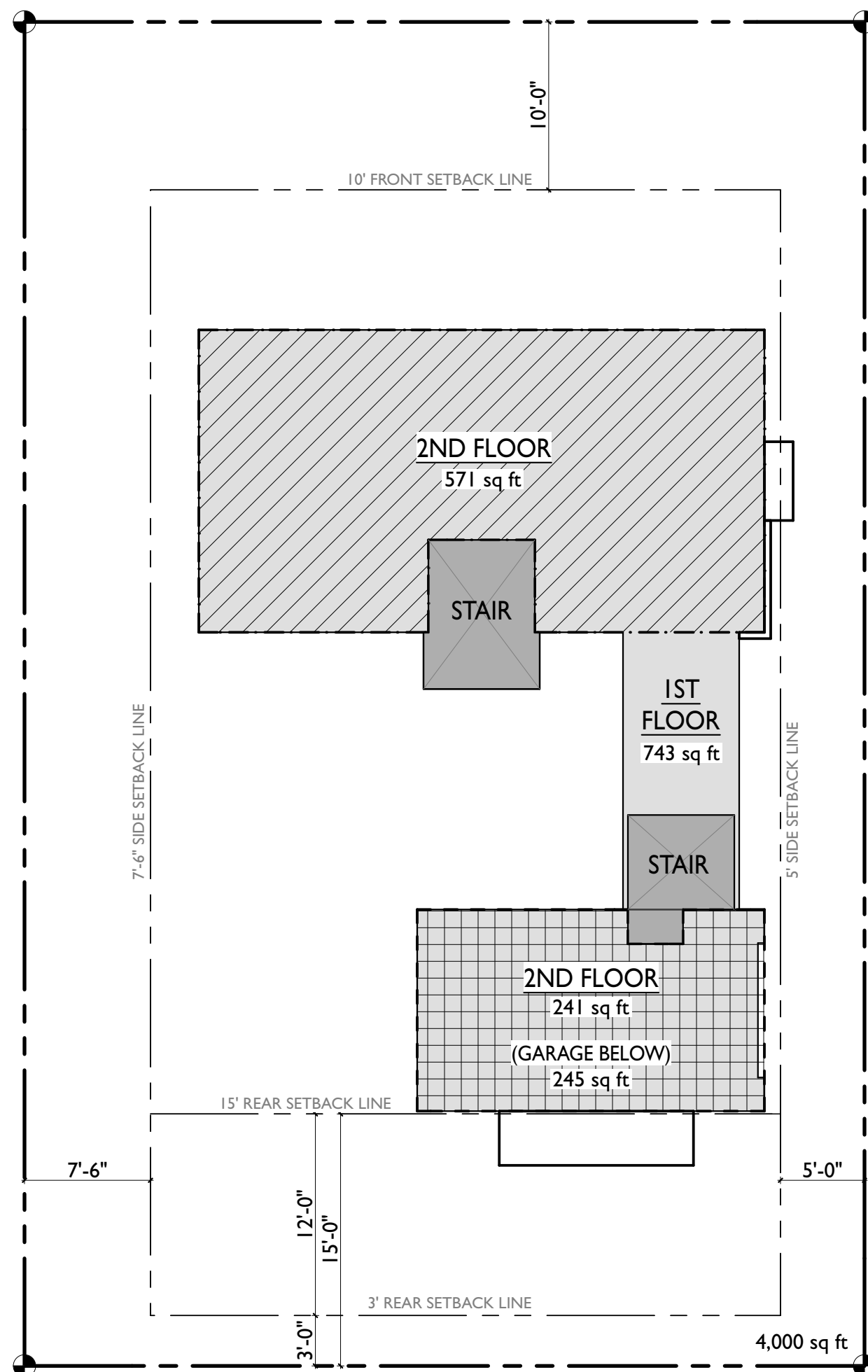
a new residence for:  
**THE QUAN FAMILY**  
s/w corner of 6th & carpenter

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PRELIMINARY SITE ASSESSMENT

**FLOOR LEVEL MAP LEGEND**

-  MAIN LEVEL (GARAGE AREA INCLUDED)
-  STAIR (AREA INCLUDED IN 1ST STORY)
-  OVERLAPPING FLOORS (SECOND FLOOR ABOVE)
-  OVERLAPPING FLOORS (GARAGE BELOW)
-  CHIMNEY & STORAGE



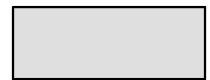

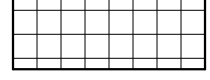

**3 FLOOR LEVEL MAP**

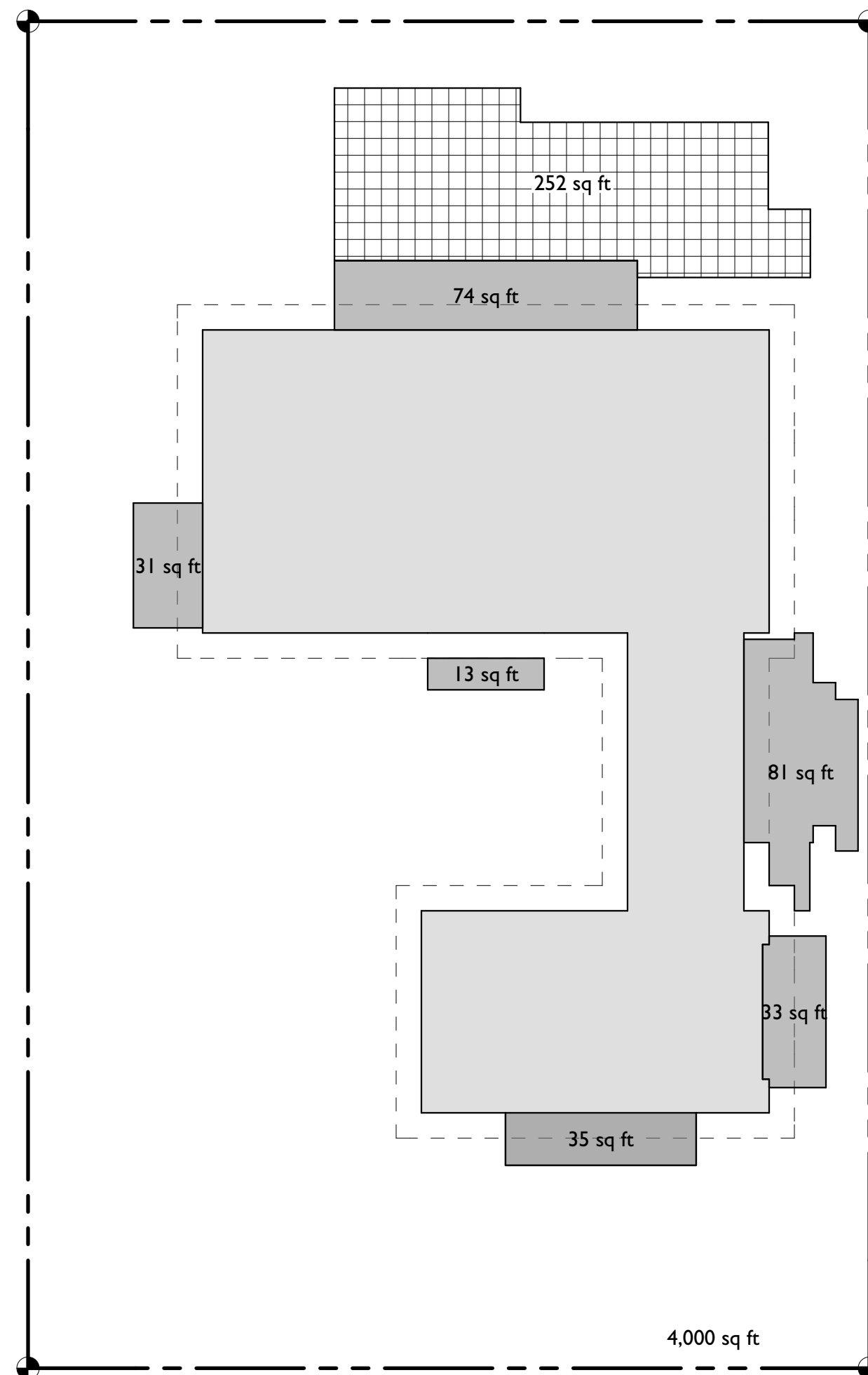
SCALE: 1/8" = 1'-0" 

**FLOOR AREA CALCULATIONS**

FLOOR	AREA
MAIN FLOOR	743 SQ.FT.
GARAGE	245 SQ.FT.
2ND STORY ABOVE MAIN FLOOR	571 SQ.FT.
2ND STORY ABOVE GARAGE	241 SQ.FT.
<b>TOTAL</b>	<b>1,800 SQ.FT.</b>

**SITE COVERAGE LEGEND**

-  BUILDING FOOTPRINT
-  IMPERVIOUS COVERAGE
-  PERMEABLE COVERAGE
-  18" ROOF OVERHANG

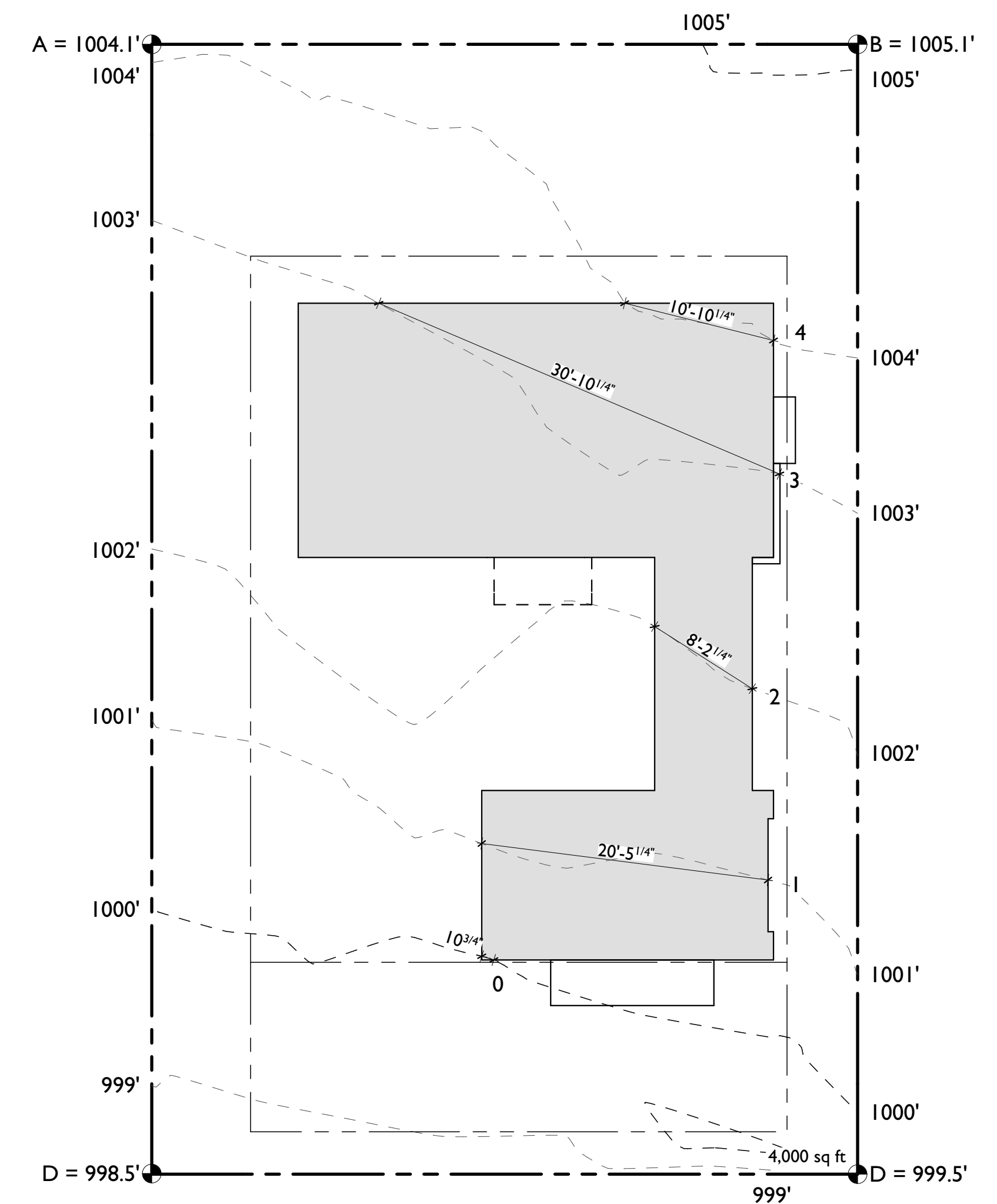


**2 SITE COVERAGE**

SCALE: 1/8" = 1'-0" 

**COVERAGE SUMMARY**

ALLOWED	AREA
22% BASE FLOOR AREA	396 SQ.FT.
4% BONUS AREA FOR DRIVEWAY	160 SQ.FT.
<b>TOTAL ALLOWED</b>	<b>556 SQ.FT.</b>
PROPOSED	AREA
SEMI - PERMEABLE	252 SQ.FT.
IMPERVIOUS	267 SQ.FT.
<b>TOTAL PROPOSED</b>	<b>519 SQ.FT.</b>



**1 AVERAGE GRADE**

SCALE: 1/8" = 1'-0" 

**AVERAGE GRADE**

LINE	LENGTH	PRODUCT
0	0.38	0
1	20.4	20
2	8.22	16
3	30.9	93
4	10.9	44
<b>TOTAL</b>	<b>71</b>	<b>173</b>
PRODUCT / LENGTH		2.4
REFERENCE HEIGHT @ 0		1000'
AVERAGE NATURAL GRADE		1002.4'

issued: 3/1/18

revised:

drawn by:

**JUSTIN PAULY ARCHITECTS**  
 550 hornell st, suite H  
 monterey, california 93940  
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 jpa@justinpaulyarchitects.com

**PLANNING  
 SUBMITTAL**

apn: 010.033.005

carmel, california

s/w corner of 6th & carpenter

a new residence for:  
**THE QUAN FAMILY**

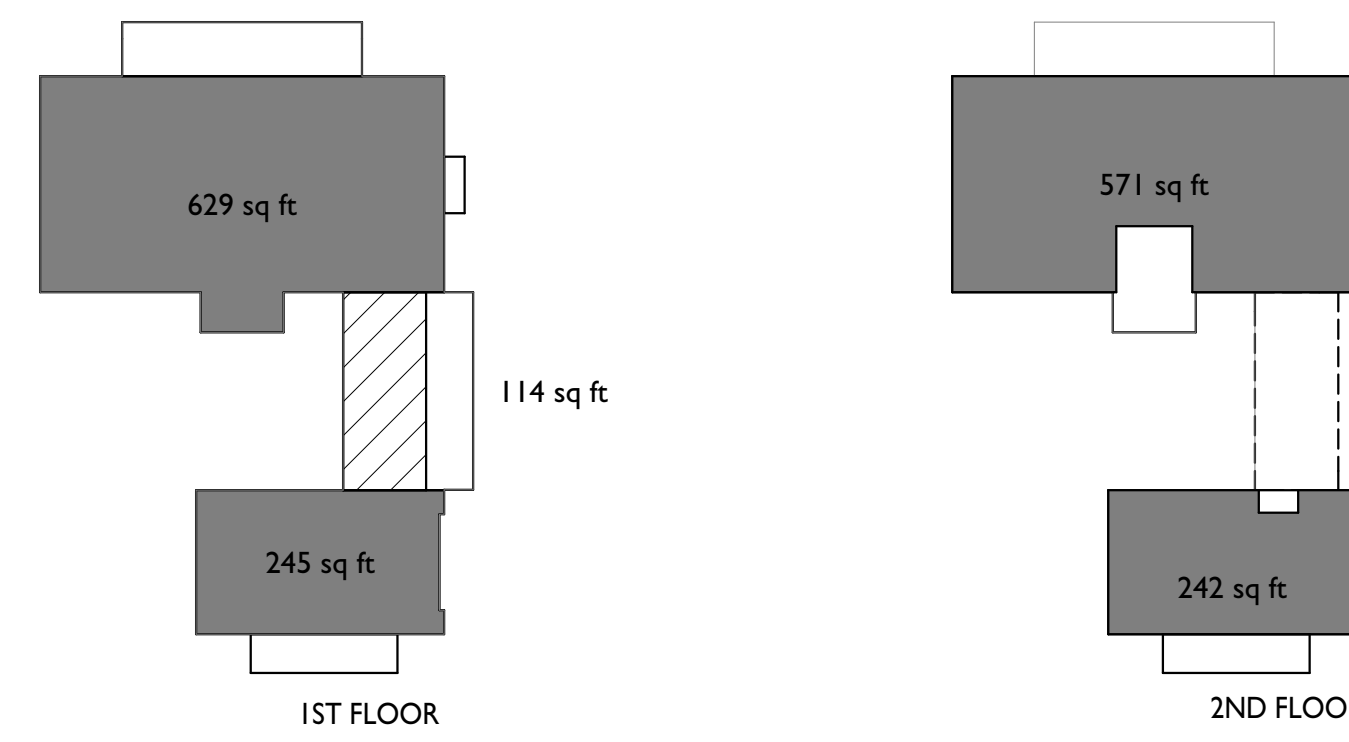
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**VOLUME  
 CALCULATIONS**

sheet 5

**A1.4**

of -  
 sheets



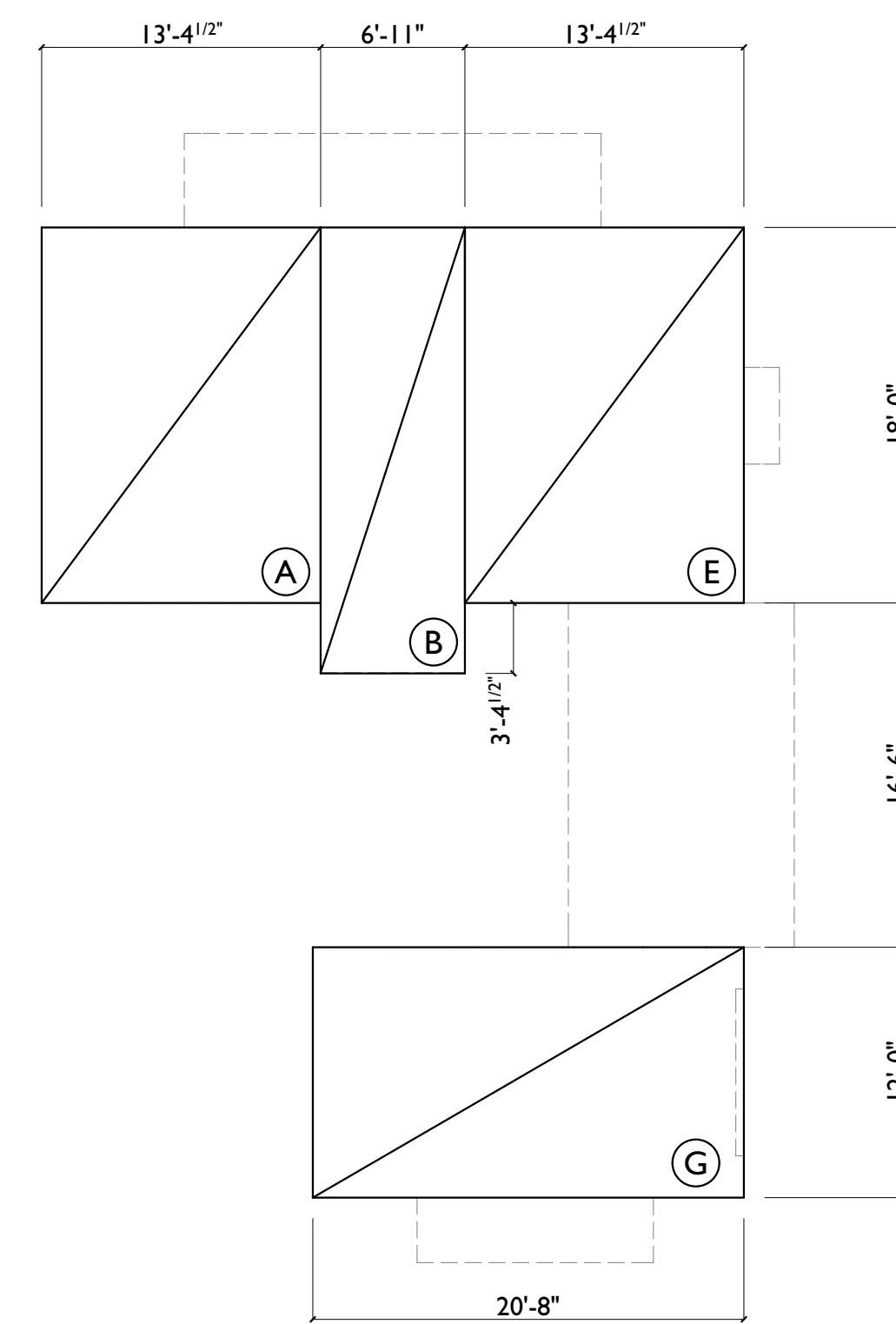
	ONE STORY FLOOR AREA (3:12 OR GREATER)	0 SQ. FT.
	ONE STORY FLOOR AREA (3:12 LESS)	114 SQ. FT.
	TWO STORY FLOOR AREA (3:12 OR GREATER)	1,686 SQ. FT.
	TWO STORY FLOOR AREA (3:12 OR LESS)	0 SQ. FT.
		<b>TOTAL = 1,800 SQ. FT.</b>

**ALLOWED VOLUME**

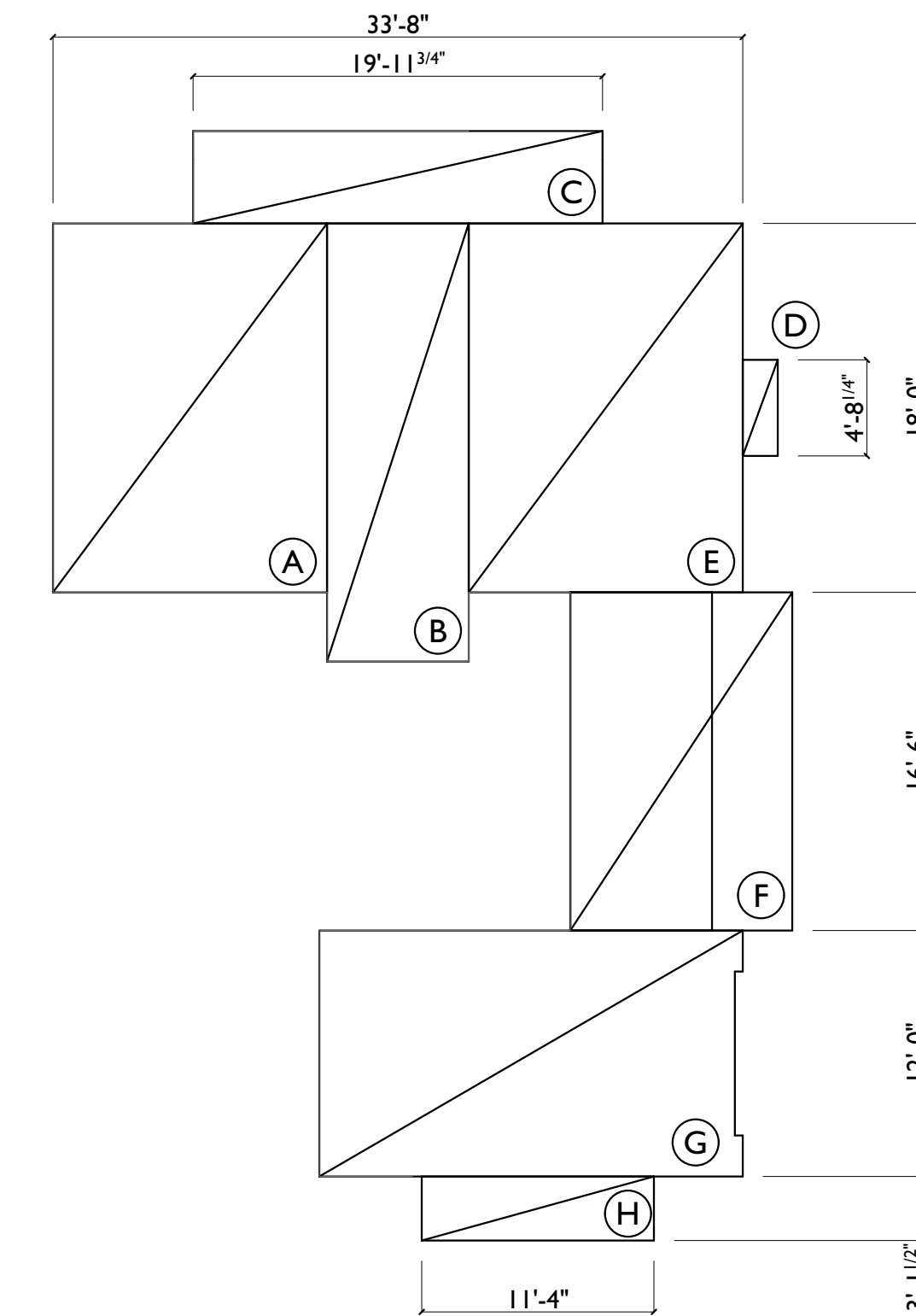
AREA TYPE	PROPOSED AREA	FACTOR	ALLOWED VOLUME
ONE STORY FLOOR AREA (3:12 OR GREATER)	0 SQ. FT.	12	0 CU. FT.
ONE STORY FLOOR AREA (3:12 OR LESS)	114 SQ. FT.	11	1,254 CU. FT.
TWO STORY FLOOR AREA (3:12 OR GREATER)	1,686 SQ. FT.	11	18,546 CU. FT.
TWO STORY FLOOR AREA (3:12 OR LESS)	0 SQ. FT.	10	0 CU. FT.
<b>TOTAL</b>	<b>1,800 SQ. FT.</b>		<b>19,800 CU. FT.</b>

**PROPOSED VOLUME**

ZONE	SECTIONAL AREA	LENGTH (FT.)	VOLUME
A	363 SQ. FT.	13.38	4,857 CU. FT.
B	411 SQ. FT.	6.917	2,843 CU. FT.
C	30 SQ. FT.	19.98	599 CU. FT.
D	9 SQ. FT.	4.71	42 CU. FT.
E	371 SQ. FT.	13.38	4,964 CU. FT.
F	115 SQ. FT.	16.5	1,898 CU. FT.
G	202 SQ. FT.	20.67	4,175 CU. FT.
H	10 SQ. FT.	12.23	122 CU. FT.
<b>TOTAL</b>			<b>19,501 CU. FT.</b>



**VOLUME CALC. 2ND FLOOR**  
 SCALE: 1/8" = 1'-0"



**VOLUME CALC. 1ST FLOOR**  
 SCALE: 1/8" = 1'-0"



**LEGEND**

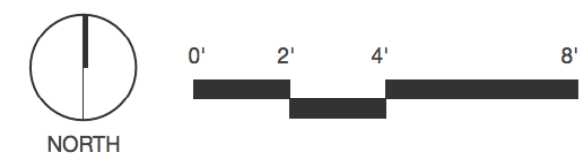
- ① Concrete paving
- ② Gravel paving
- ③ Chip-seal gravel paving
- ④ Concrete steps
- ⑤ Board form concrete wall (Height varies, see exterior elevations)
- ⑥ Wood picket fence (Height varies, see exterior elevations)
- ⑦ Grape stake fence
- ⑧ Concrete firepit
- ⑨ Wood bench, Cantilever
- ⑩ Outdoor cook station
- ⑪ Steel retainer
- ⑫ Bark chips
- ← Water Flow



CARPENTER STREET

APN  
010-033-003

APN  
010-033-006



project name  
**The Quan  
Residence**

SW Corner of 6th and Carpenter  
Carmel, CA 93923

010-033-005

issue set

issue date                      01.02.18

previous issue  
rev    description                      date

drawing title  
**LANDSCAPE PLAN**

drawn by:                      OL  
scale:                              1/4"=1'-0"

**TREE PROTECTION NOTES**

Tree protection shall conform with City tree protection standards. The contractor shall erect protective barricades around all trees on a private building site. These barricades shall be in place prior to the start of any construction or demolition activities. Barricades shall be upright, two-inch by four-inch planks standing a minimum of eight feet vertically, conforming to the tree, tied with wire or rope forming a maximum of one-inch space between the planks. If the tree's configuration or site conditions do not lend themselves to the installation of this type barricade, the City Forester will designate alternate tree protection methods.



# LANDSCAPE MATERIALS + FINISHES

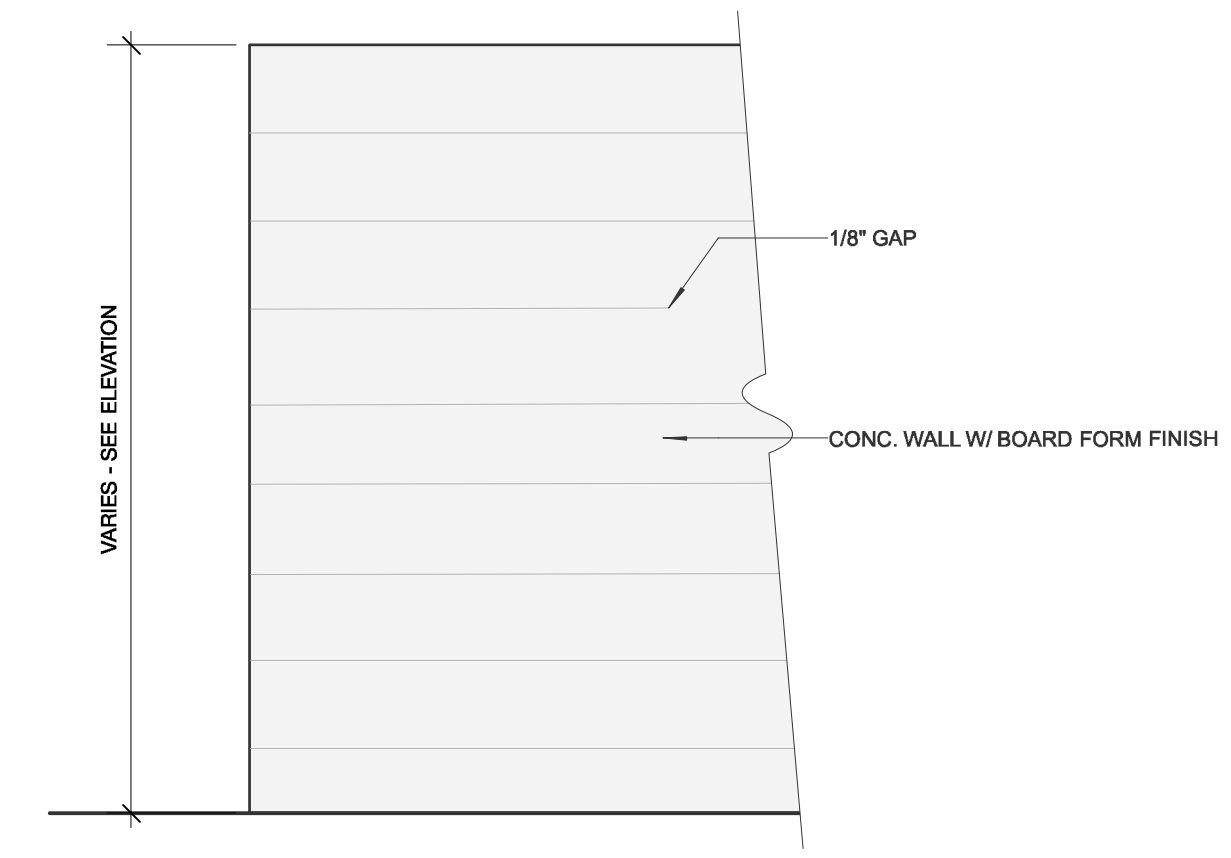
## NOTES

- 1 ALL ITEMS BELOW CORRESPOND TO NUMBERED ITEMS ON L1.0 SITE PLAN
- 2 PROVIDE MOCK-UP SAMPLES FOR ITEMS REQUESTED. MOCK UPS TO BE REVIEWED BY BLA
- 3 FOR PHOTO REFERENCES, REFER TO THIS SHEET

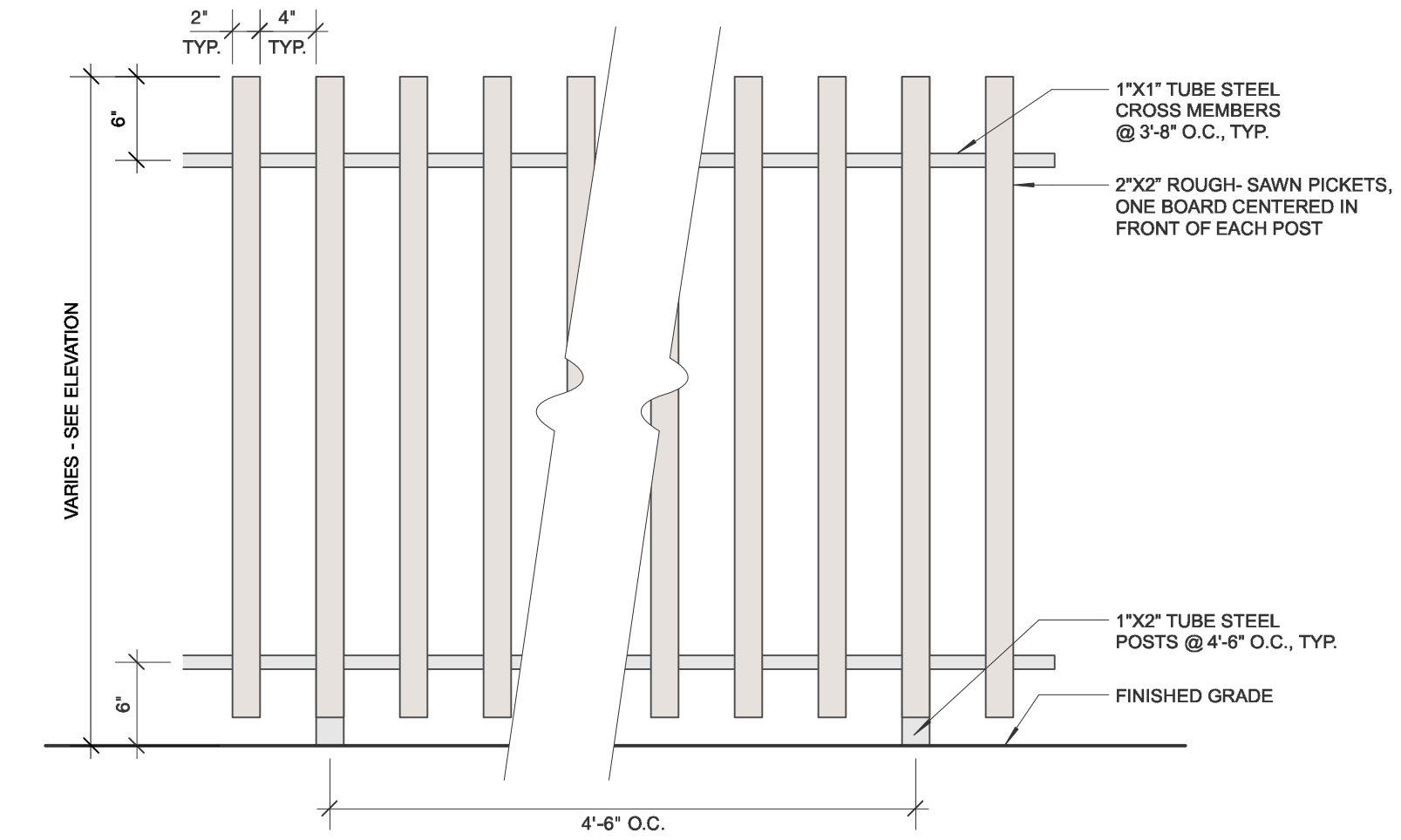
## DESIGNER/CONTRACTOR LEGEND

BLA	Bliss Landscape Architecture	GC	General Contractor
ARCH		LC	Landscape Contractor
CE	Civil Engineer		
SE	Structural Engineer		

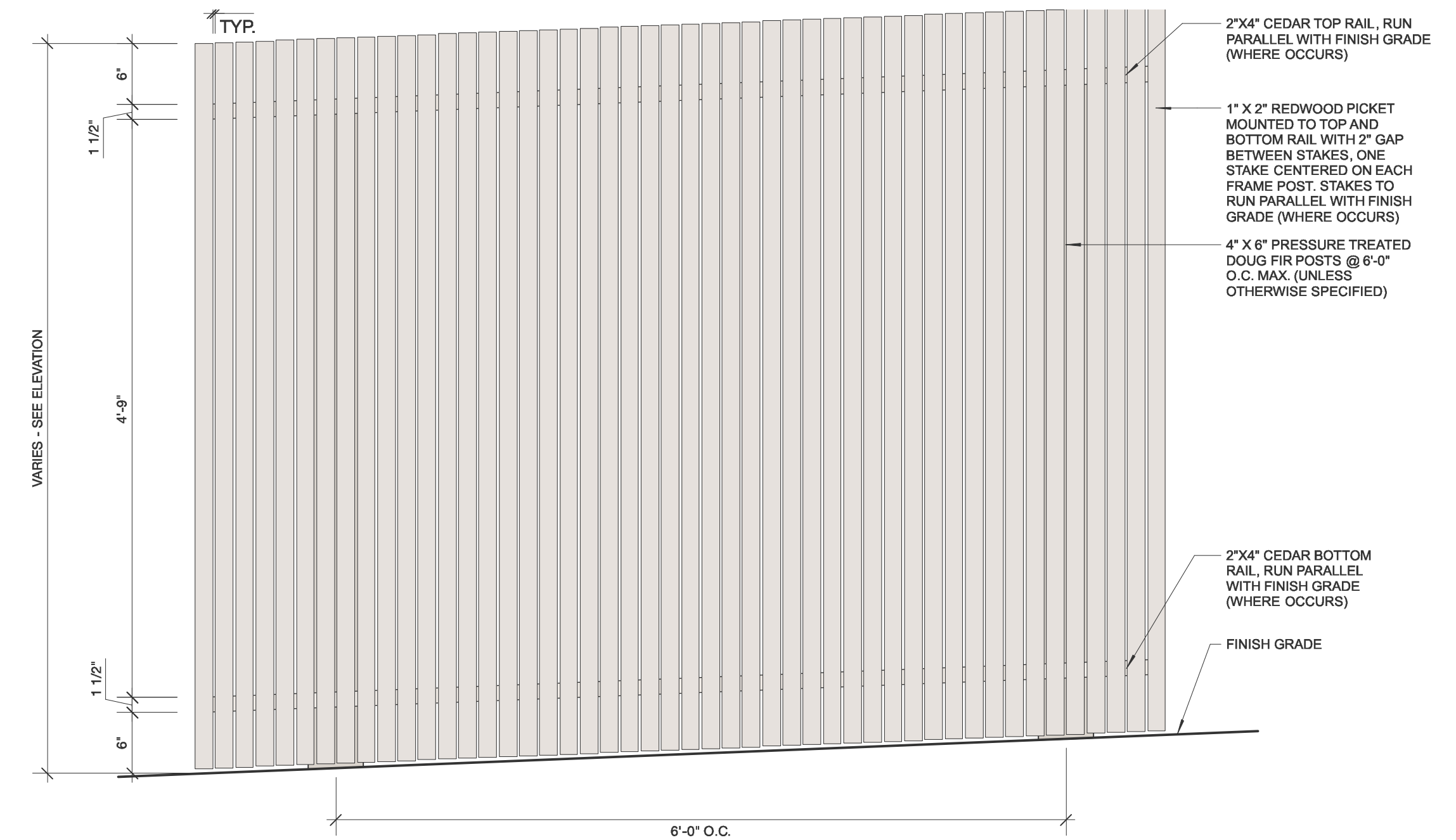
LANDSCAPE ITEM	SPECIFICATION	DESIGNER RESPONSIBLE	CONTRACTOR RESPONSIBLE	NOTES	CD DETAIL #	MOCK UP REQUIRED
1 PAVING: CONCRETE	Concrete: 4" PIP reinforced concrete paver, integral color TBD, light acid-etch finish, 1/8" radius corners TYP.	BLA	GC		L1.1	YES
2 PAVING: GRAVEL	Gravel: 3/8" clean 'Yuma' gravel over compacted aggregate base per geotech report	BLA	GC+LC	Base prep by GC, Gravel prep by LC Gravel 3/8", rolled in two even courses	L1.1	YES
3 PAVING: CHIP-SEAL GRAVEL PAVING	TBD	BLA	GC		L1.1	YES
4 STEP: CONCRETE	Concrete: reinforced concrete step, integral color TBD, light acid-etch finish, 1/8" radius corners TYP. Base: compacted aggregate base per geotech report	BLA	GC		L1.1	YES
5 WALL: BOARD FORM CONCRETE	PIP concrete with decorative horizontal board-form finish, integral color TBD, Height varies, see exterior elevations. Finish: use 2" x 6" wide re-sawn wood form boards to imprint texture, no gap between boards; square edges at corners; align & level boards at all horizontals on each face; align boards on all sides of walls, ensure alignment of board coursing of imprinted texture between pairs and accounting for form board shrinkage; use of form ties on visible surfaces shall be prohibited; rub down excessive protrusions between board coursing	BLA	GC	Structural retaining wall detailing by SE, Drainage by Civil Engineer	L1.1 #5	YES
6 FENCE: WOOD, PICKET	Vertical pickets: full dimension 2" x 2" WRC - STK; rough sawn finish (all sides), with semi-transparent stain finish. Height varies, see exterior elevations.	BLA	GC		L1.1 #6	YES
7 FENCE: GRAPE STAKE	Split face, 1" x 2" redwood grape stake fencing with 2" x 4" PTDF top + bottom rail and 4" x 4" PTDF posts.	BLA	GC		L1.1 #7	YES
8 FIRE PIT: CONCRETE	PIP reinforced concrete w/ smooth finish.	BLA	GC		L1.1	YES
9 BENCH: WOOD, CANTILEVER	3" x 4" S4S ipe slats with 3/8" galv. steel spacers and 3/8" galv. steel plate anchored to conc. wall. Bench to be 24" wide, with top of bench 18" above finish grade.	BLA	GC		L1.1	YES
10 OUTDOOR COOK STATION	See Architecture drawings.	ARCH	GC		-	YES
11 STEEL RETAINER	3/16" Unfinished, cold-rolled steel edge welded to verticle stakes. Steel flush with finish surface, and set 1/4" above finish grade.	BLA	GC		-	YES
12 BARK CHIP	Type TBD	BLA	LC		-	YES



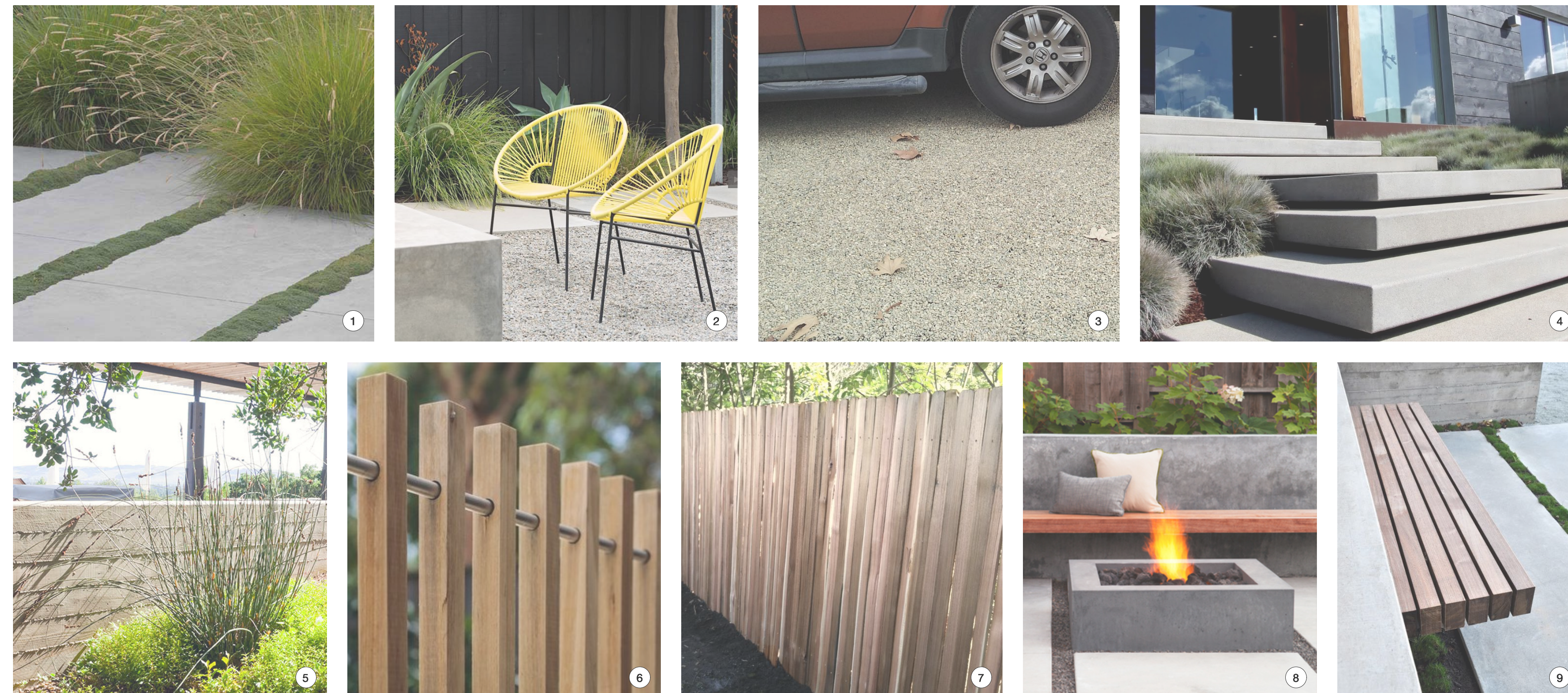
5 ELEVATION DETAIL: BOARD FORM CONCRETE WALL  
1" = 1'-0"



6 ELEVATION DETAIL: VERTICAL WOOD FENCE  
1" = 1'-0"



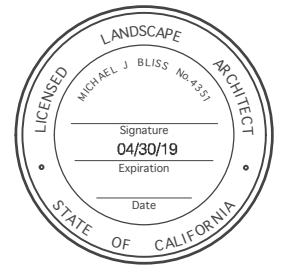
7 ELEVATION DETAIL: SINGLE-SIDED GRAPE STAKE FENCE  
1" = 1'-0"



# BLISS LANDSCAPE ARCHITECTURE

26344 Carmel Rancho Lane, Ste. 4U  
Carmel, CA 93923

www.blisslandscapearchitecture.com



project name  
**The Quan Residence**

SW Corner of 6th and Carpenter  
Carmel, CA 93923

010-033-005

issue set

issue date 01.02.18

previous issue

rev	description	date
-----	-------------	------

drawing title

**MATERIALS & FINISHES**

drawn by: OL  
scale: As shown

**L1.1**



project name

**The Quan  
Residence**

SW Corner of 6th and Carpenter  
Carmel, CA 93923

010-033-005

issue set

issue date 01.02.18

previous issue

rev	description	date

drawing title

**PLANTING PLAN**

drawn by: OL  
scale: 1/4"=1'-0"

**L3.0**

**PLANT LEGEND**

Symbol	Quantity	Botanical Name	Common Name	Container Size
<b>TREES</b>				
	1	<i>Acer palmatum</i> 'Green'	Japanese Maple (multi-trunk)	36" box
	16	<i>Euonymus japonicus</i> 'Green Spires'	Green Spire Euonymous	15 gal
	1	<i>Fatsia japonica</i>	Japanese Aralia	15 gal
	30	<i>Juncus effusus</i> 'Quartz Creek'	Quartz Creek Soft Rush	1 gal
	4	<i>Phormium cookianum</i>	Mountain Flax	5 gal
	18	<i>Pittosporum crassifolium</i>	Karo	15 gal
	10	<i>Woodwardia fimbriata</i>	Giant Chain Fern	5 gal
	11	<i>Rosmarinus officinalis</i> 'Irene'	Creeping Rosemary	1 gal
<b>SHRUBS</b>				
	5	<i>Chondropetalum</i> 'El Campo'	Dwarf Cape Rush	5 gal
	8	<i>Dianella revoluta</i> 'Cool Vista'	Flax Lily	1 gal
	16	<i>Euonymus japonicus</i> 'Green Spires'	Green Spire Euonymous	15 gal
	2	<i>Hydrangea quercifolia</i> 'Snow Queen'	Oak-Leaf Hydrangea	15 gal
	30	<i>Juncus effusus</i> 'Quartz Creek'	Quartz Creek Soft Rush	1 gal
	4	<i>Phormium cookianum</i>	Mountain Flax	5 gal
	18	<i>Pittosporum crassifolium</i>	Karo	15 gal
	10	<i>Woodwardia fimbriata</i>	Giant Chain Fern	5 gal
<b>GROUNDCOVERS</b>				
	15	<i>Artemisia tridentata</i>	Carmel Sur Manzanita	1 gal
	117	<i>Carex divulsa</i>	Berkeley Sedge	4"
	42	<i>Fragaria chiloensis</i>	Beach Strawberry	4"
	11	<i>Rosmarinus officinalis</i> 'Irene'	Creeping Rosemary	1 gal

**PLANTING NOTES**

- Contractor shall be responsible for making themselves familiar with all underground utilities, pipes, and structures. Contractor shall take responsibility for any cost incurred due to damage of said utilities.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist in planting areas. Such conditions shall be immediately brought to the attention of the Construction Manager.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- Contractor shall submit a random soil samples from the site to a qualified soil testing lab for a horticultural suitability test and amendment recommendations. After amending topsoil to a depth of 8" (and in accordance with soil test recommendations), grade all areas smooth with no localized depressions or humps exceeding 1". Insufficient or unsuitable existing soil shall be augmented or replaced with topsoil as approved by the Landscape Architect.
- All plant material shall be approved by Landscape Architect prior to installation.
- Contractor to complete all soil amending, finish grading and removal of any and all construction debris from the planting areas before the laying out of approved plant material.
- Contractor shall layout all plants in their containers as per this Plan and receive approval from Landscape Architect prior to installation.
- Contractor shall notify Construction Manager + Landscape Architect 48 hours prior to commencement of work to coordinate project inspection schedules.
- Any plant substitutions must be approved by the Landscape Architect for approval or alternate choices.
- All plants shall be healthy, pest and disease free, free of girdling roots and well established in the container.
- Trees shall be located a minimum of 4 ft. from walls, overheads, walks, headers and other trees within the project, unless shown otherwise.
- No plant shall be planted with rootballs or planting pits in a dry condition.
- Water all plants by handheld hose with watering wand attachment immediately after planting (no water 'jetting'). No plant should be out of it's container more than twenty minutes before being planted and watered. Contractor shall be responsible for irrigating all new plantings until the entire project has been completed and accepted by the Owner.
- Contractor is responsible to apply sufficient but not excess irrigation to all new plantings to ensure healthy plant establishment.
- Backfill mix shall consist of 1/3 imported organic compost and 2/3 amended site soil.
- Immediately after excavation of plant pits, test drainage of pits by filling with water. Give written notification of conditions permitting the retention of water in pits for more than (3) hours. Contractor shall submit to Owner and Landscape Architect for acceptance a written proposal and cost estimate for the correction of poor drainage conditions before proceeding with planting.
- All newly planted container plants and trees shall receive watering basins 3 times the size of the root ball upon planting, unless otherwise shown on Drawings.
- Planting areas shall receive a 2" layer of composted oak leaf mulch, unless noted otherwise.
- Mulch shall be kept at a depth of 2" deep near the plant crowns and trunks, and not extend higher than 1/8" onto the crown or trunk of any newly planted plant or tree.
- All plant material shown on the Planting Plan is subject to the adverse effects of Nature including, but not limited to, fire, earthquake, flooding, freeze, drought, erosion and foraging predators. The Landscape Architect cannot, and does not, guarantee or imply warranty that specified plants will survive these Acts of Nature. All plants specified satisfy the general climatic conditions set forth by the U.S. Department of Agriculture and the Sunset Western Garden Book.



APN  
010-033-003

APN  
010-033-006





project name

**The Quan  
Residence**

SW Corner of 6th and Carpenter  
Carmel, CA 93923

010-033-005

issue set

issue date 01.02.18

previous issue

rev	description	date

drawing title

**IRRIGATION PLAN**

drawn by: OL  
scale: 1/4"=1'-0"

**L4.0**

**IRRIGATION ZONES**

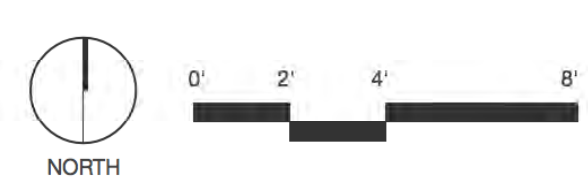
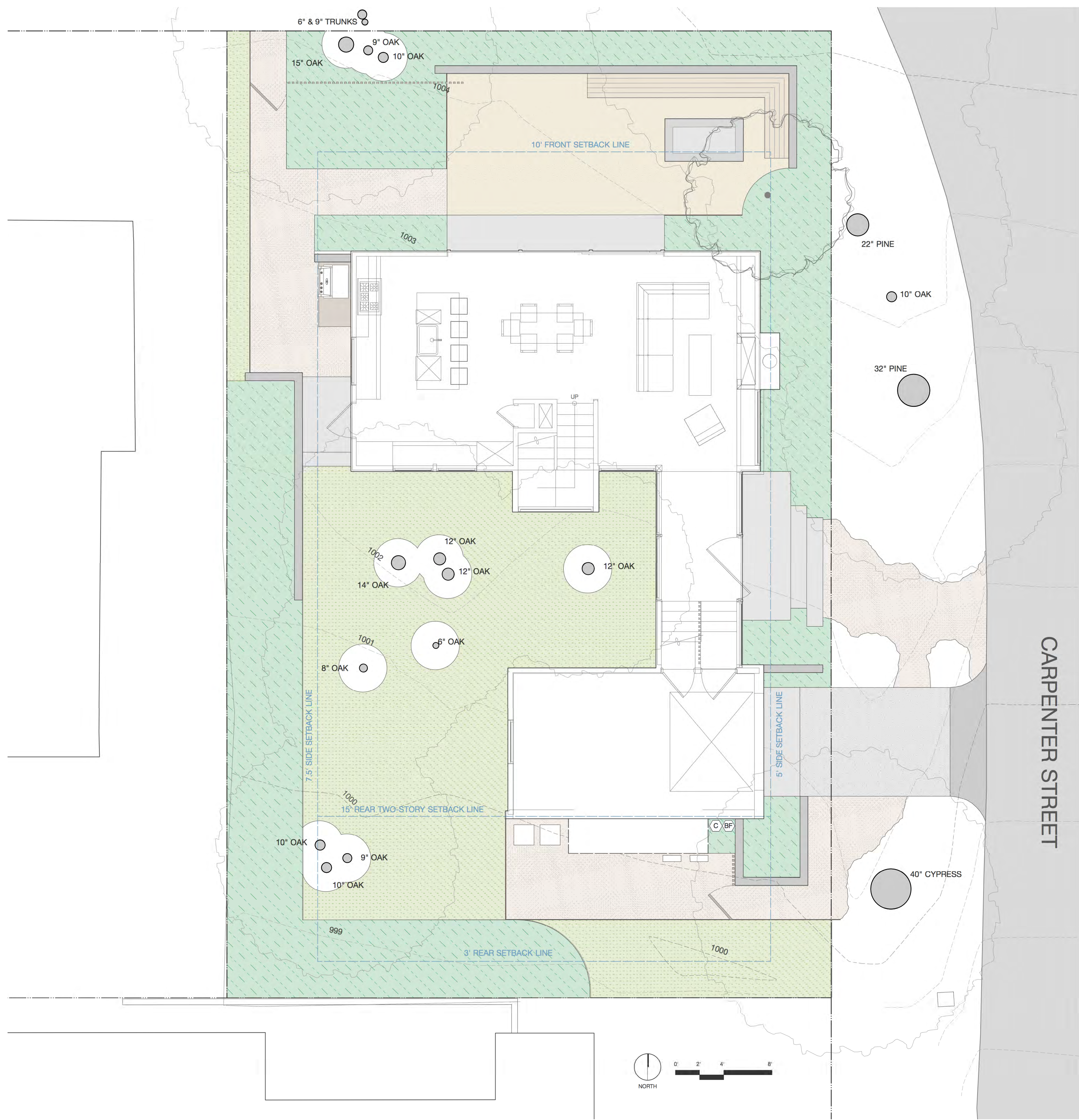
- ZONE 1: Low flow, sub-surface dripline, Toro DL2000 Dripline with Root Guard, or equivalent.
- ZONE 2: Low flow, drip emitter irrigation system for trees, shrub and grasses.
- CONTROLLER LOCATION
- BACKFLOW PREVENTER + SHUT-OFF VALVE, TBD.

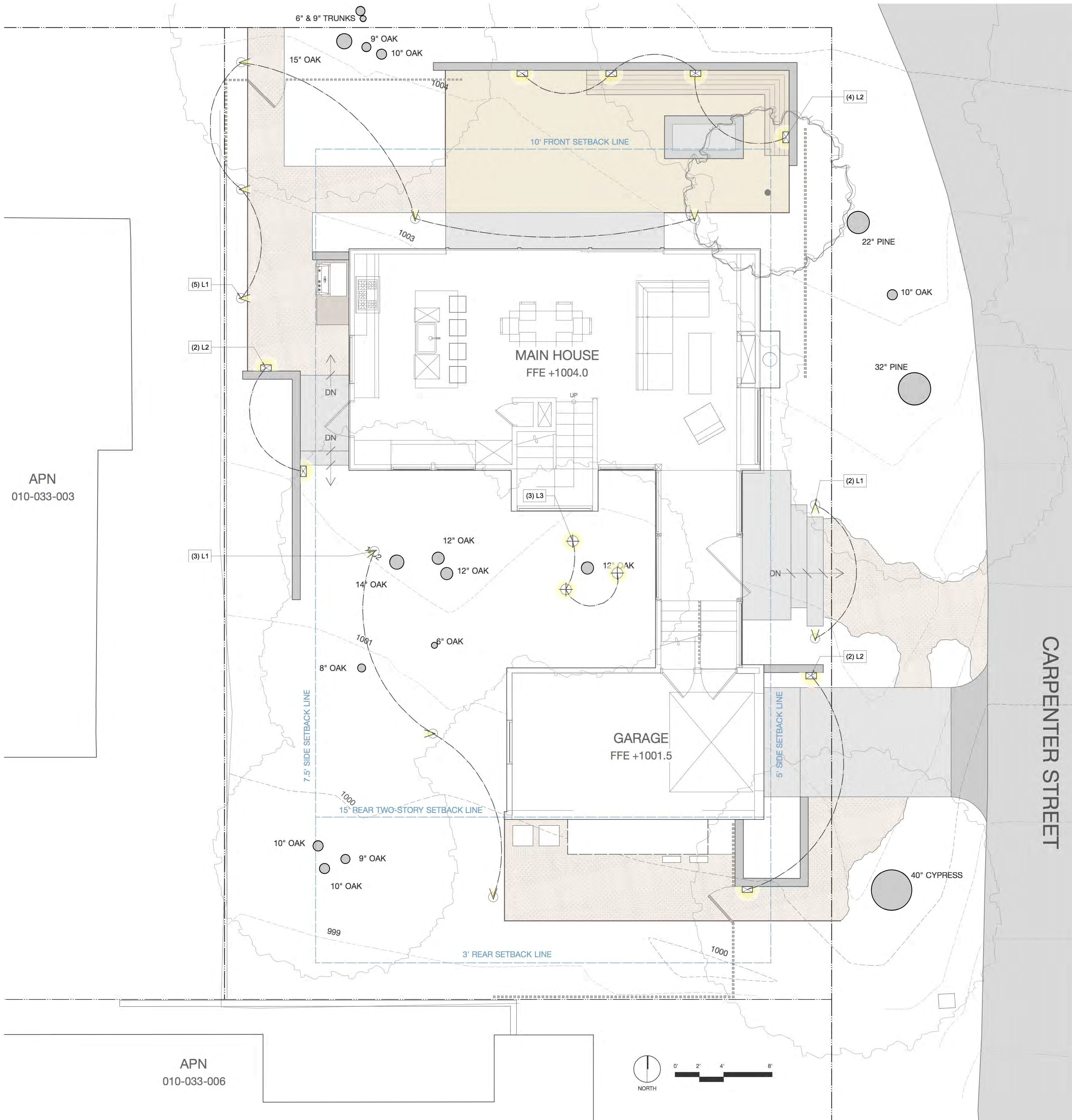
**IRRIGATION NOTES**

1. This diagram is to show design intent only, it is not intended to replace a complete irrigation plan construction document and is therefore not for construction. Zones of differing water needs are indicated, exact water requirements to be determined.
2. The proposed irrigation system will provide appropriate methods of water distribution based on planting types and groups of plants with similar water needs. Because all proposed plant material has medium- to low-water requirements, the irrigation system will consist of low-flow or 'drip' system.
3. All 'drip' control valves will include in-line filtration. Trees will be irrigated on separate valves from shrubs, groundcovers and turf. Each irrigation zone will have a matched precipitation rate and will be designed to irrigate hydro zones with similar site, slope, soil, solar aspect and plant material.
4. Contractor shall be responsible for ensuring that all work is in accordance with all applicable codes and that all necessary permits are obtained style.
5. Contractor shall verify available pressure, and review the following with the Landscape Architect or Owner: point of connection, backflow preventer, master shut off valve, entire irrigation system pressure regulator, controller location, power source and other information pertinent to the installation of the irrigation system.
6. Contractor to lay out piping to minimize disturbance under existing trees. No trenching shall occur within tree driplines. If a condition arises where trenching within the tree driplines is necessary, consult Landscape Architect or Owner before proceeding.
7. Materials should be Rainbird or products of an equivalent quality.
8. Wire shall be #14 minimum, U.L. Approved for direct burial.
9. All pressure lines and lateral lines shall be minimum Schedule 40.
10. Select nozzles to fit area being irrigated and to minimize overspray. Use adjustable arc nozzles in areas smaller than 90 degree angle. Nozzles to point away from Oaks.
11. 100% head to head overlap is required for all spray areas.
12. Locate remote control valves in shrub areas out of sight and adjacent to edges wherever possible. Review locations of valves with Landscape Architect or Owner prior to installation. Valve box covers to be black.
13. Install check valves on all low heads as required to prevent low head drainage.
14. Controller shall be multi programmable with repeat start times and capable of minimum 28 day cycle.
15. Contractor shall provide sleeves under walls and paving areas as needed for irrigation, electrical, and drainage lines. Provide at least two (2) 4" Schedule 40 sleeves at each location.
16. Contractor to provide Owner with warranties and operating instructions for all equipment, with a diagram coordinating numbers with site irrigation zones, and instruct Owner in controller operation.
17. Provide hose bibbs as directed by Landscape Architect or Owner. Hose bibb to be standard brass fixture mounted 12" above adjacent finish grade stake place with 3/4" galvanized pipe attached with radiator clamps. Drive stake a minimum of 3' into ground.
18. Landscape Architect to review all irrigation layout prior to installation.

**DRIP IRRIGATION NOTES**

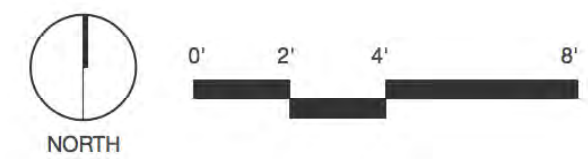
1. The contractor shall provide a drip emitter system for all tree, shrubs and groundcover plantings as indicated on the Plan.
2. Actual layout of emitter system shall be determined by the Contractor in the field using the Planting Plan as a guide.
3. Each 15 gallon shrub shall receive three 1 GPH emitters distributed evenly around shrub, via distribution tubing.
4. Each 5 gallon shrub shall receive two 1 GPH emitters on opposite sides of shrub, via distribution tubing.
5. Each 1 gallon shrub shall receive two 1/2 GPH emitters on opposite sides of shrub, via distribution tubing.
6. Install emitters on top of the rootball and as far from the trunk of the plant as possible.
7. Distribution tubing shall be a maximum of 5' in length from 1/2" tubing to emitter. Each length of 1/2" drip tubing shall be a maximum of 25'
8. Install 'Flush Plugs' at the end of the rigid PVC supply lines.
9. All PVC lateral pipe to drip tubing shall be 3/4" .
10. The drip emitter system layout shall be approved by the Landscape Architect after planting has been completed.





APN  
010-033-003

APN  
010-033-006



**LIGHTING LEGEND & SPECIFICATIONS**

Symbol	Quantity	Description	Brand/Model	Wattage	Notes
	10	Path Light	Hunza- 'Twig Lite' TG COP	9W	
	8	Recessed Wall Light	Lucifer- 'Double Impact' ISL2-LED	6.5W	
	3	Tree Down Light	BK Lighting- 'Aristar Ring Mount Down Light' RM AR LED	7W	

**L1 / Path Light**

**Twig Lite**  
Cat. No. TG  
Cat. No. TGR

The Twig Lite has a subtle appearance, which allows it to blend into better foliage. The luminaire has a frosted glass lens to reduce glare and is operated with a 100-220 volt 60 Hz transformer.

The Retro™, which is a matrix option, avoids the need to bury a transformer. The 110-240-12 volt electronic transformer is built into the pole and is a double insulated safety isolating transformer. The transformer has an IP56 rating.

Ordering Information:  
Luminaire Type: TG - Twig Lite  
Material: SS - 316 Stainless Steel  
Accessories: CSM100 - Copper Jamb Kit, SSPFC - Hunza™ Super Spike (AK - Aristo™ Transformer 110-240-12 volt)  
For LED options, refer to page 10 & 11 (LED-L1-L2-L3) or call (800) 451-1234 or http://www.hunza.com

Ordering Example: TG COP - Twig Lite in Copper SSPFC - Hunza™ Super Spike (Accessories ordered separately)

**HUNZA**  
10000 Jamb Drive  
100 Jamb Drive  
San Diego, CA 92121  
www.hunza.com

**L2 / Recessed Wall Light**

**DOUBLE IMPACT ISL2-LED**  
RECESSED LED LUMINAIRE  
PATH & STEPS LIGHT

Meets or exceeds 90, 95 and 99% CRI. Includes color corrected spectrum path light. 4' x 4' with 2 1/2\"/>

**LUCIFER**  
10000 Jamb Drive  
100 Jamb Drive  
San Diego, CA 92121  
www.lucifer.com

**L3 / Tree Down Light**

**ARTISTAR™ RING MOUNT**

"This beautiful ring mount solves so many problems when you need light and there is no place, including a branch large enough for a mounting canopy. We use a full the time to only wash garden beds under small trees, to light perennials at the edge of a bed and provide soft and even lighting over more expansive areas on tree canopies over cars, walkways, even cliffs filled with plants by the ocean. We have used several LED lamps in varying footcandle and now specify the ring mount. Additional detail is provided on page 10 of the spec and is included in a separate feature in the gallery for all projects."

Jameson McQueen, Art Meyer Design, 8/10/10/2010

**BK LIGHTING**  
10000 Jamb Drive  
100 Jamb Drive  
San Diego, CA 92121  
www.bklighting.com

**EXTERIOR LIGHTING NOTES**

- Lights to be controlled with switches (S.A.D.).
- Light source shall not be visible from off-site premises.
- The lighting plan is diagrammatic and intended to show general fixture location and type. Exact location of fixtures and transformers shall be verified on site with landscape architect.
- Contractor shall coordinate with general contractor and electrical contractor for installation of conduit, sleeving, switching locations and junction boxes during other phases of work.
- All fixtures to be installed per manufacturer's specifications.
- All "flush" fixtures to be installed level with top of paving material, gravel or plant bed mulch, unless otherwise noted.

**BLISS LANDSCAPE ARCHITECTURE**

26344 Carmel Rancho Lane, Ste. 4U  
Carmel, CA 93923

www.blisslandscapearchitecture.com



project name  
**The Quan Residence**

SW Corner of 6th and Carpenter  
Carmel, CA 93923

010-033-005

issue set

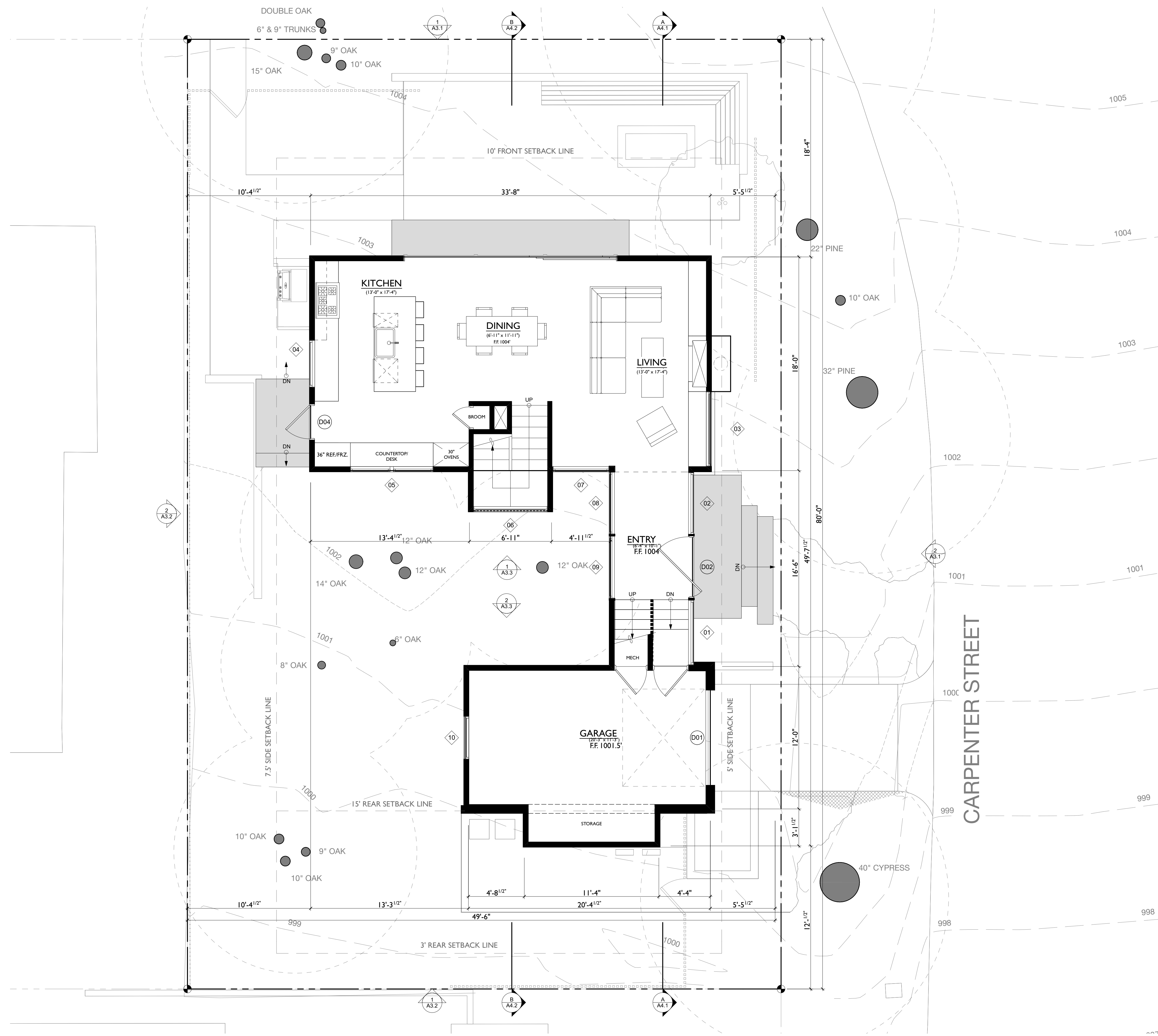
issue date 01.02.18

previous issue  
rev description date

drawing title  
**LIGHTING PLAN**

drawn by: OL  
scale: 1/4"=1'-0"

**L5.0**



1 1st FLOOR PLAN  
SCALE: 1/4" = 1'-0"

issued: 3/1/18

revised:

drawn by:

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jlp@justinpaulyarchitects.com

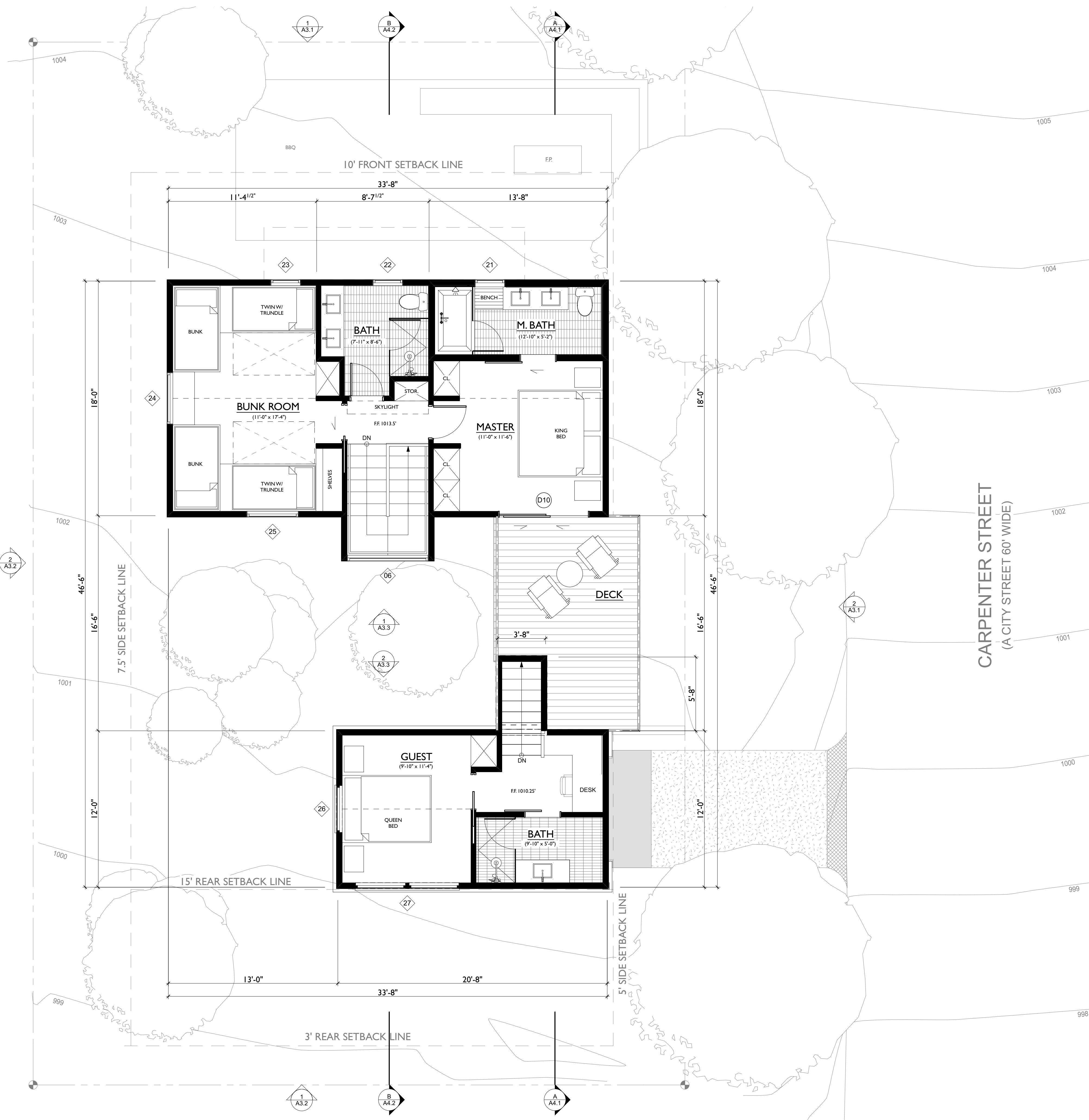
**PLANNING  
SUBMITTAL**

a new residence for:  
**THE QUAN FAMILY**  
s/w corner of 6th & carpenter  
carmel, california  
apn: 010.033.005

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FIRST FLOOR PLAN

sheet 11  
**A2.1**  
of -  
sheets



1 2nd FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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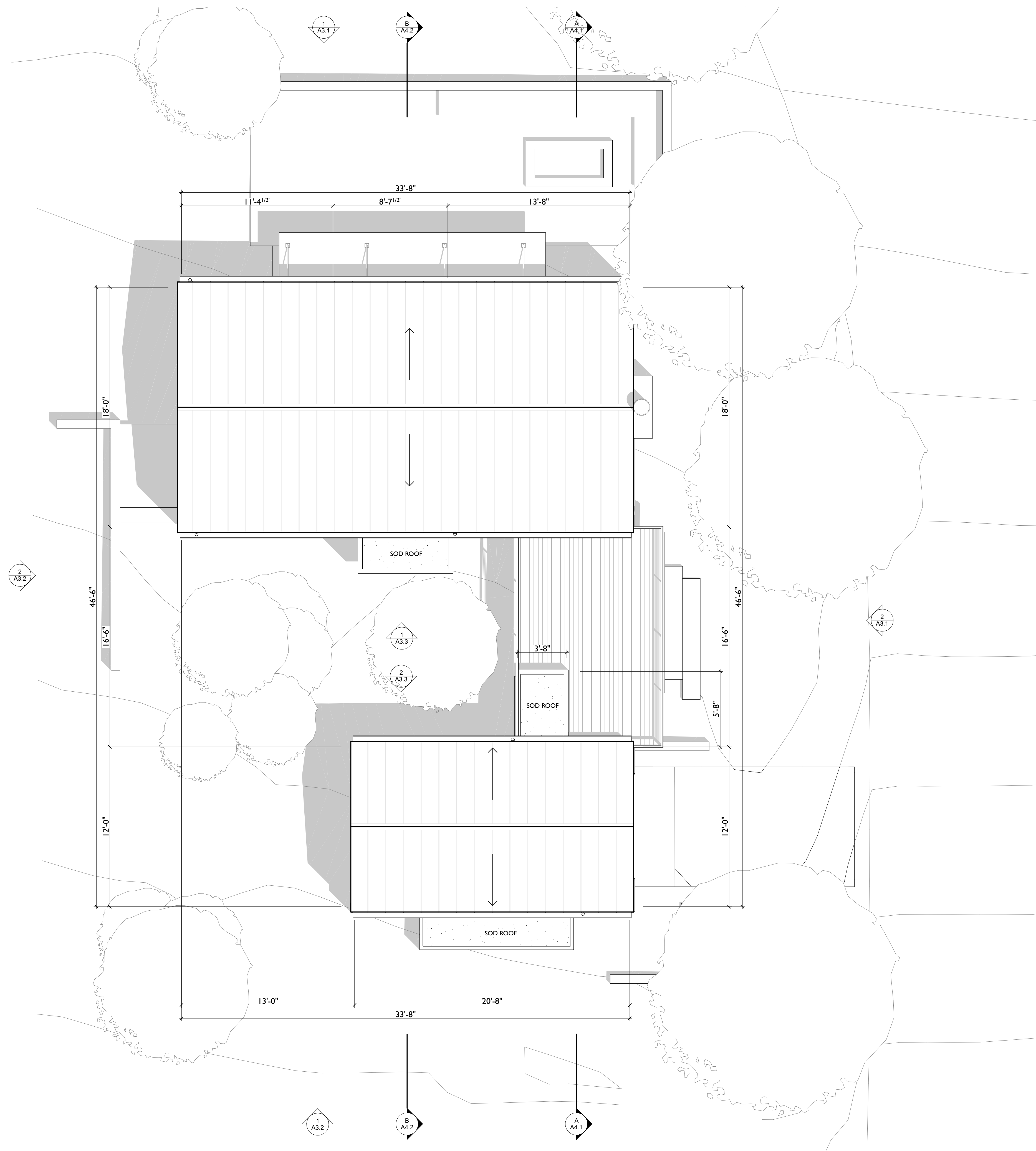
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s/w corner of 6th & carpenter  
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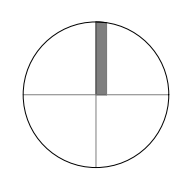
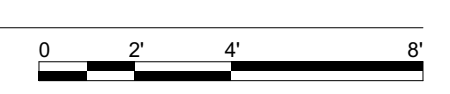
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SECOND FLOOR PLAN

sheet 12  
**A2.2**  
of -  
sheets



**1** ROOF PLAN 3D  
SCALE: 1/4" = 1'-0"



issued: 3/1/18

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s/w corner of 6th & carpenter

carmel, california

apn: 010.033.005

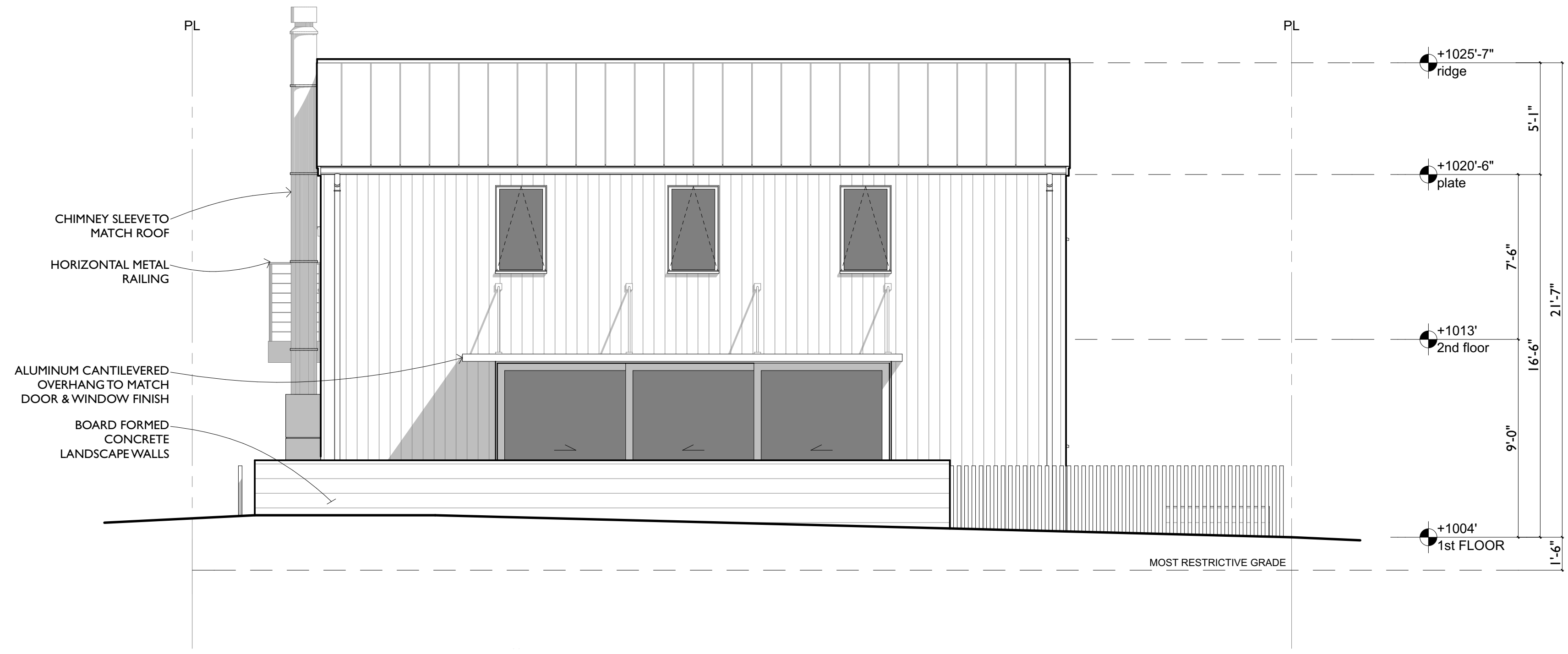
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ROOF PLAN

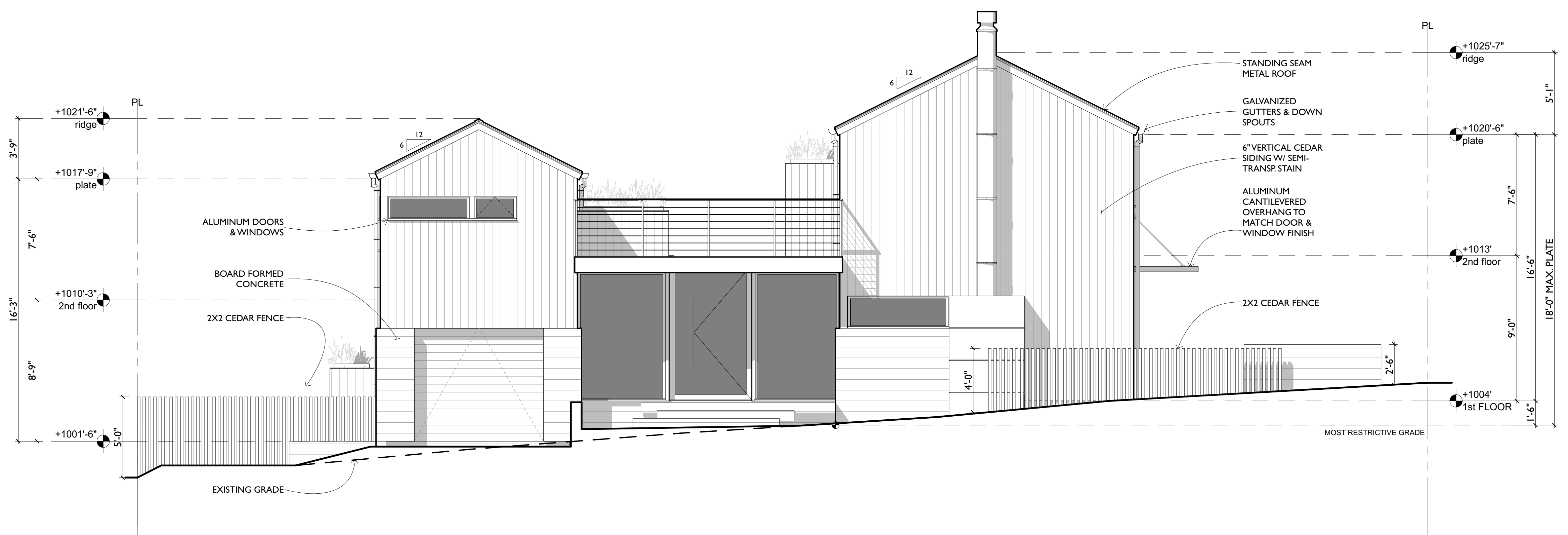
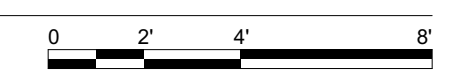
sheet 13

**A2.3**

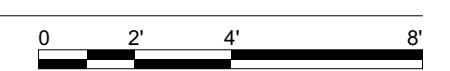
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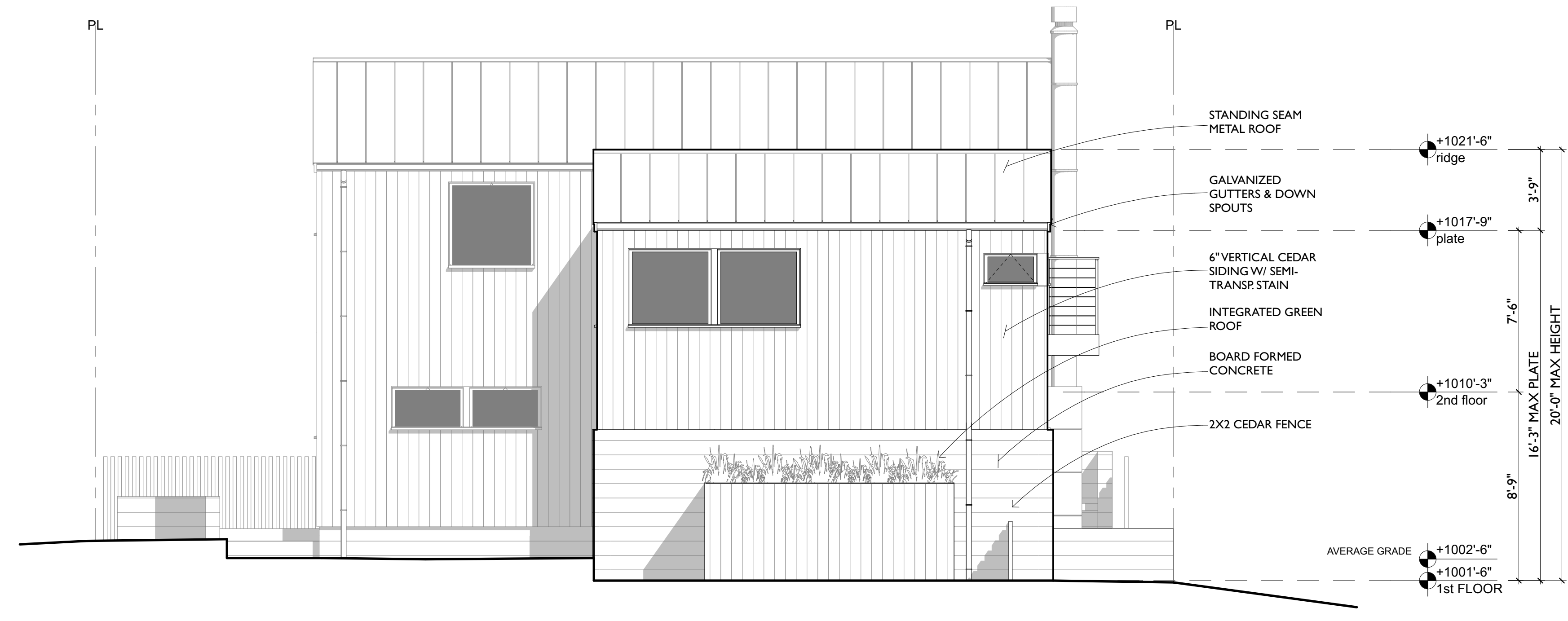
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SCALE: 1/4" = 1'-0"



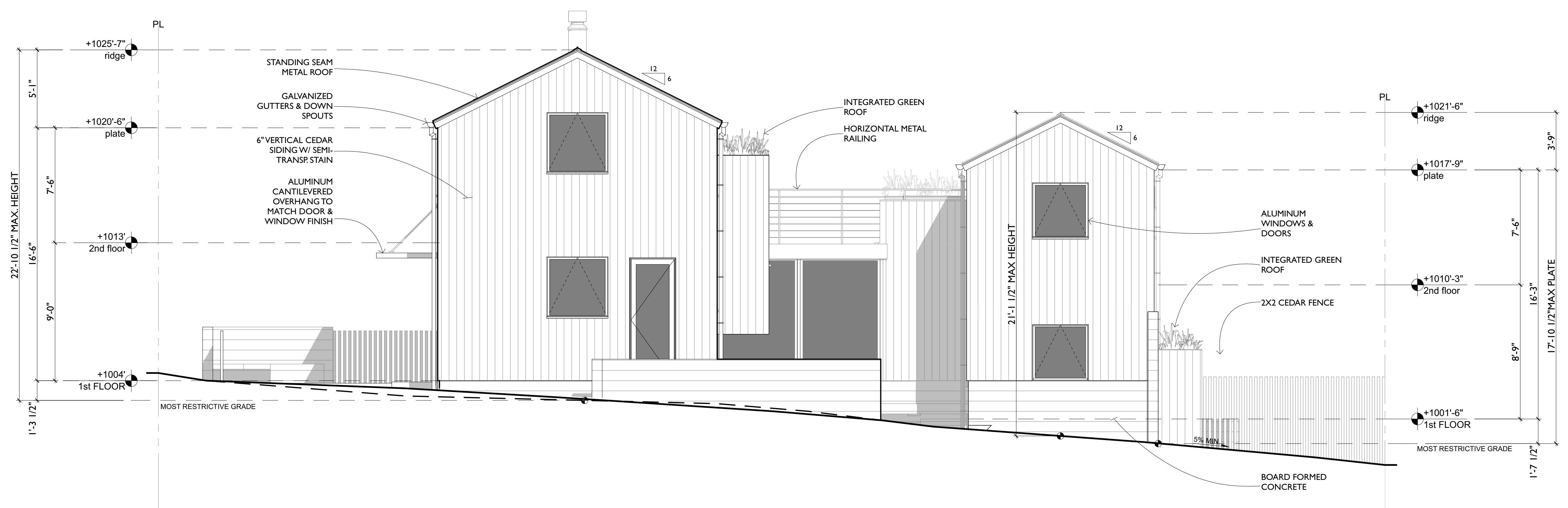
**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"







1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

issued: 3/1/18

revised:

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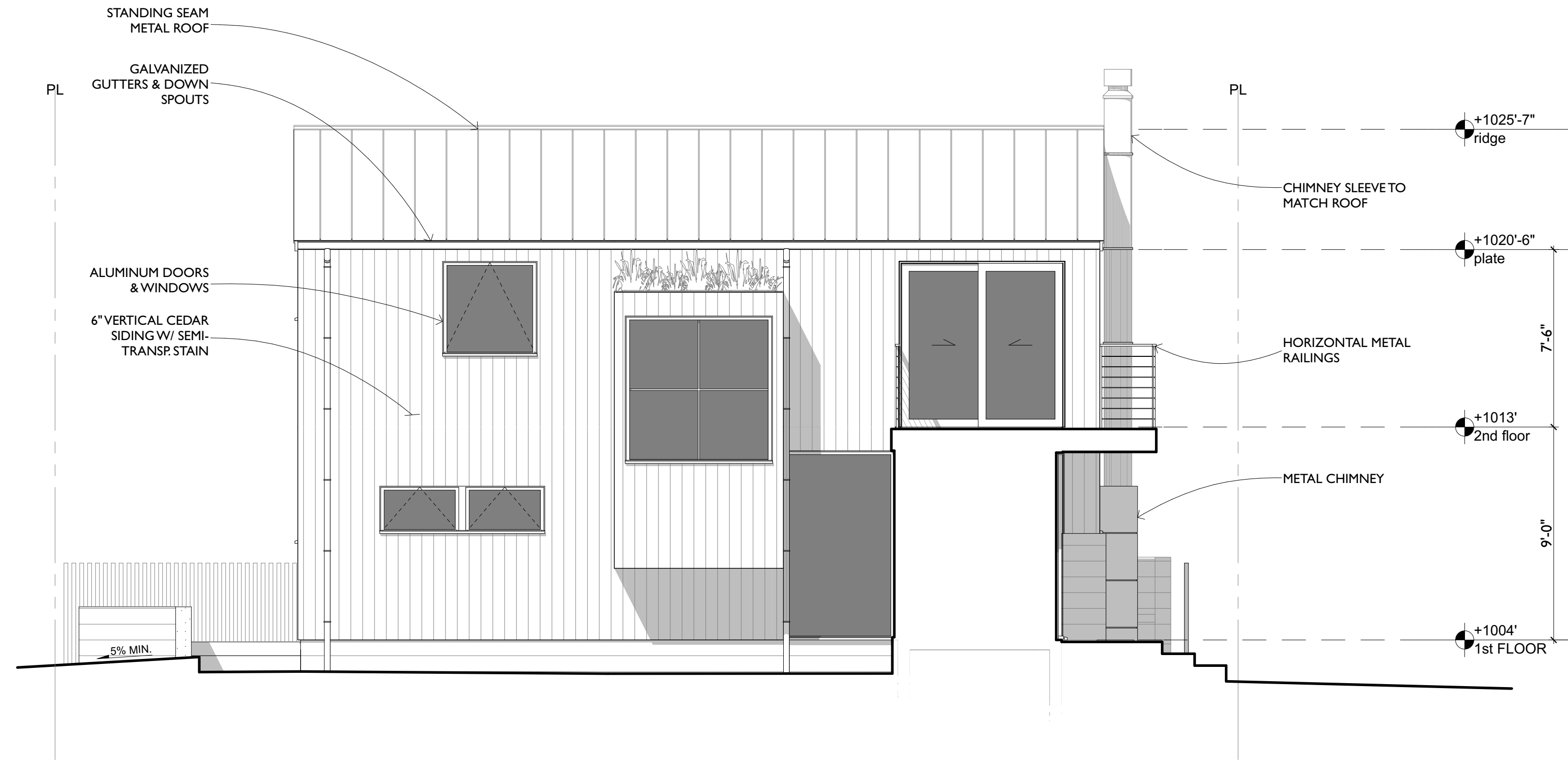
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**THE QUAN FAMILY**  
s/w corner of 6th & carpenter  
carmel, california

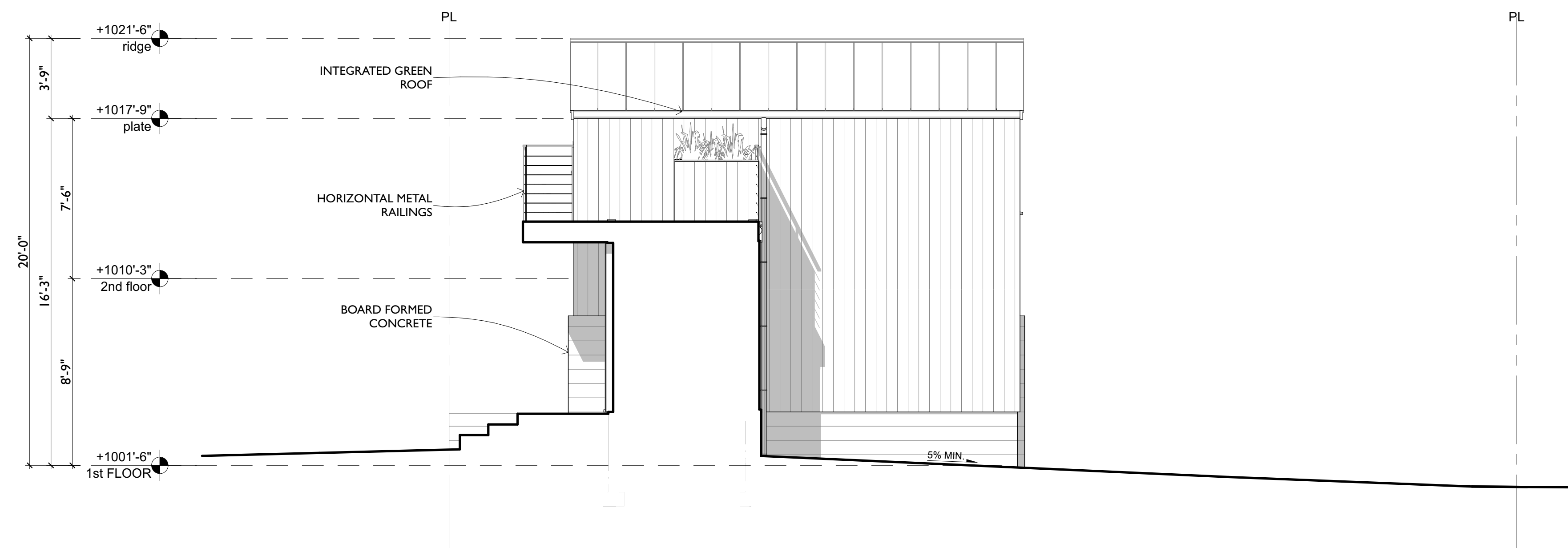
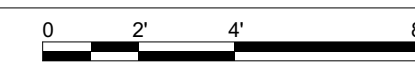
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**SOUTH & WEST  
ELEVATIONS**

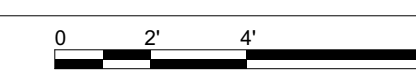
sheet 15  
**A3.2**  
of -  
sheets



**1** SECTION THROUGH ENTRY & SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



**2** SECTION THROUGH ENTRY LOOKING SOUTH  
SCALE: 1/4" = 1'-0"



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s/w corner of 6th & carpenter  
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**NORTH & WEST  
ELEVATIONS  
(COURTYARD)**

sheet 16  
**A3.3**  
of -  
sheets

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carmel, california

s/w corner of 6th & carpenter

a new residence for:

**THE QUAN FAMILY**

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**EXISTING & PROPOSED STREET ELEVATIONS (CARPENTER)**

sheet 17

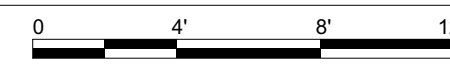
**A3.4**

of -  
sheets



**1** PROPOSED CARPENTER STREET ELEVATION LOOKING WEST

SCALE: 3/16" = 1'-0"

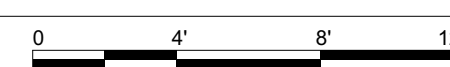


OCEAN AVENUE R.O.W. NEIGHBORING PROPERTY 80'-0" 15'-4 1/2" 6TH AVENUE



**2** EXISTING CARPENTER STREET ELEVATION LOOKING WEST

SCALE: 3/16" = 1'-0"



OCEAN AVENUE R.O.W. NEIGHBORING PROPERTY 80'-0" 15'-4 1/2" 6TH AVENUE

issued: 3/1/18

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**PLANNING  
SUBMITTAL**

apn: 010.033.005

carmel, california

s/w corner of 6th & carpenter

a new residence for:

**THE QUAN FAMILY**

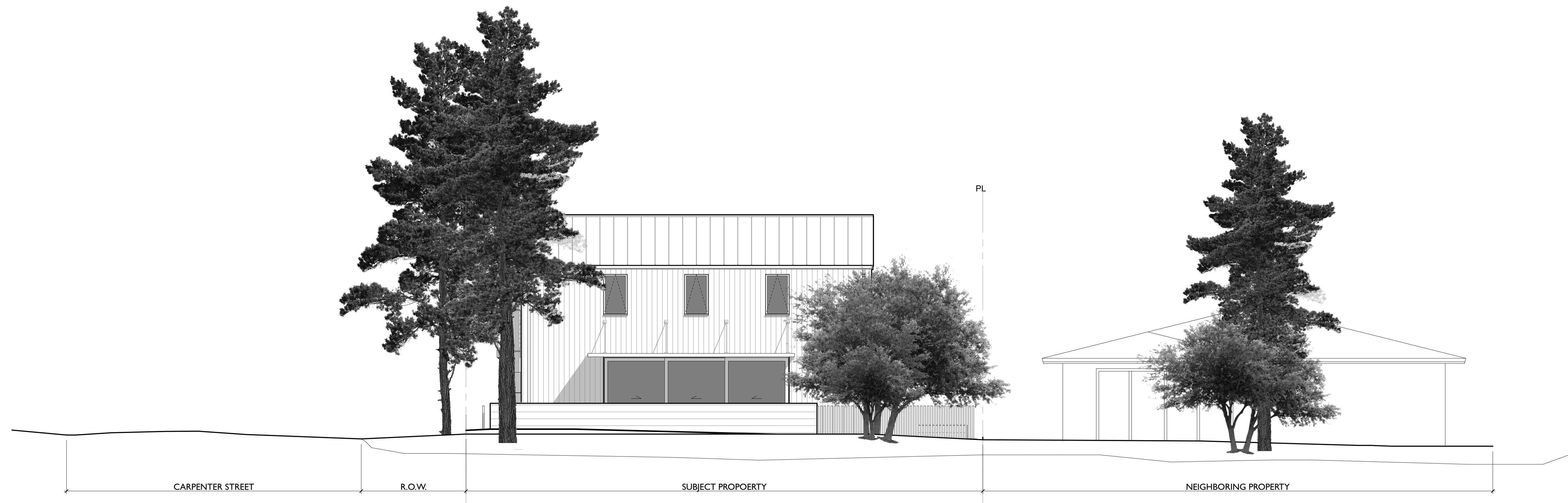
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**EXISTING & PROPOSED STREET ELEVATIONS (6TH AVENUE)**

sheet 18

**A3.5**

of -  
sheets



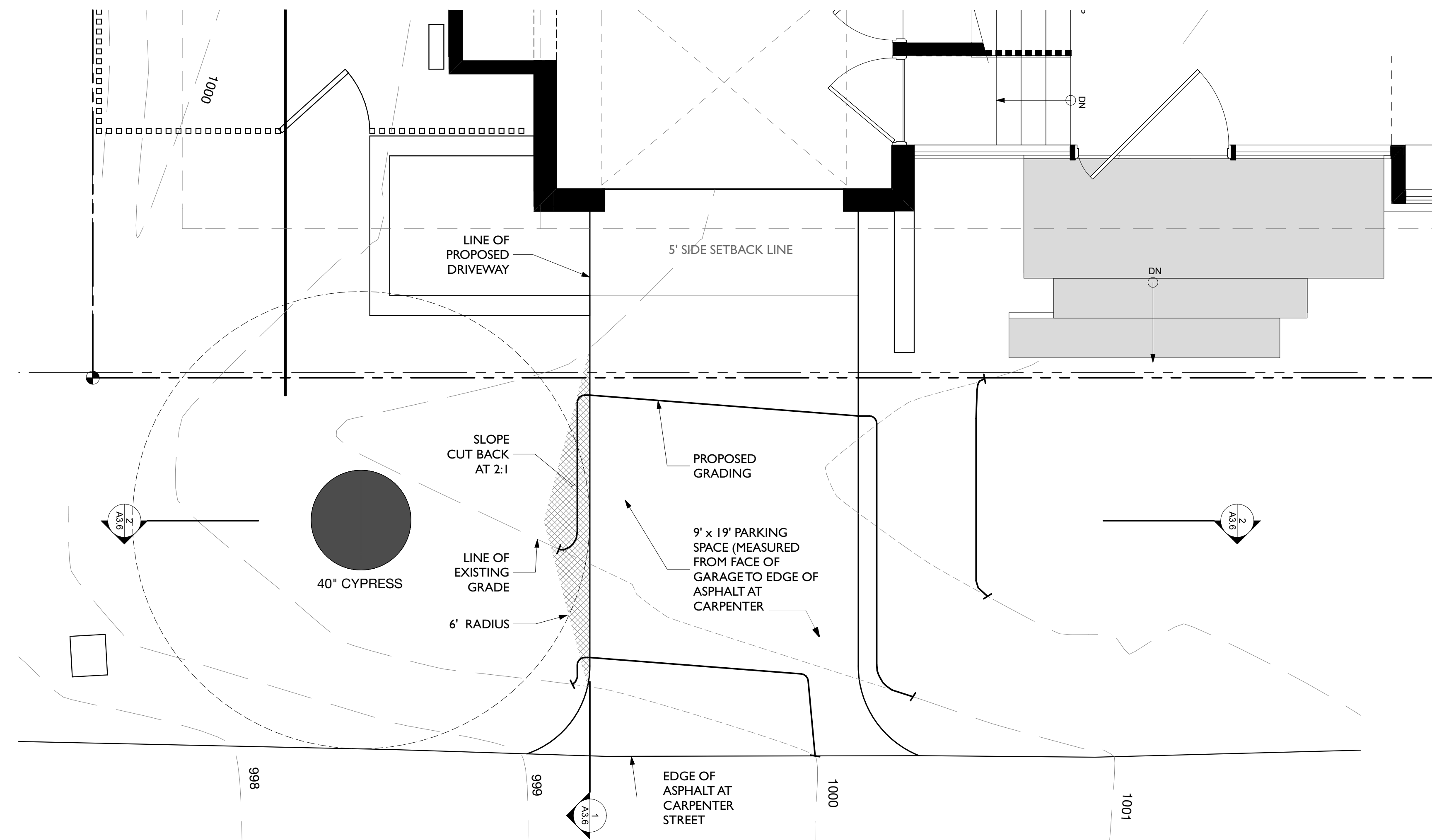
**1** PROPOSED 6TH AVENUE ELEVATION LOOKING SOUTH

SCALE: 3/16" = 1'-0"

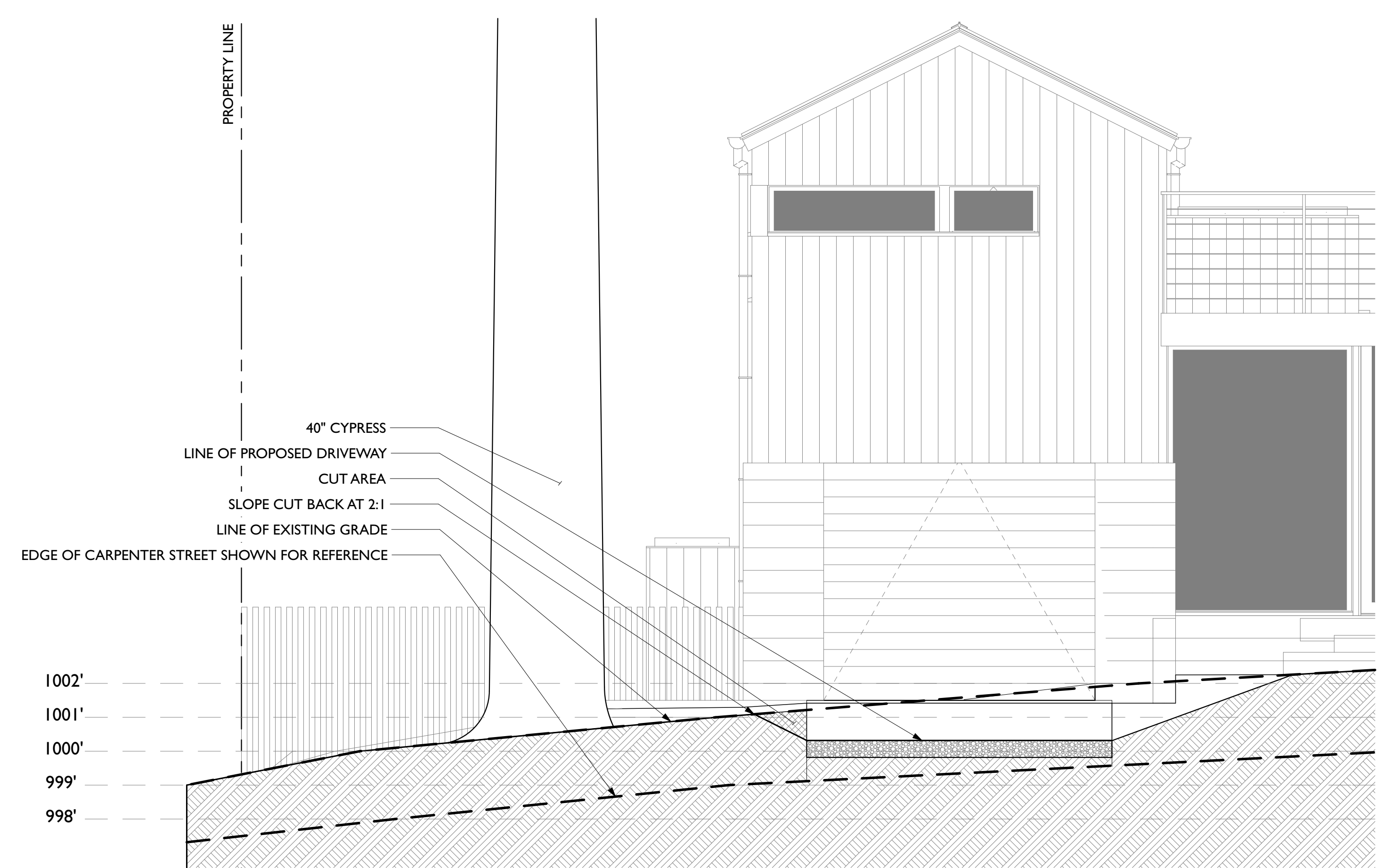


**2** EXISTING 6TH AVENUE ELEVATION LOOKING SOUTH

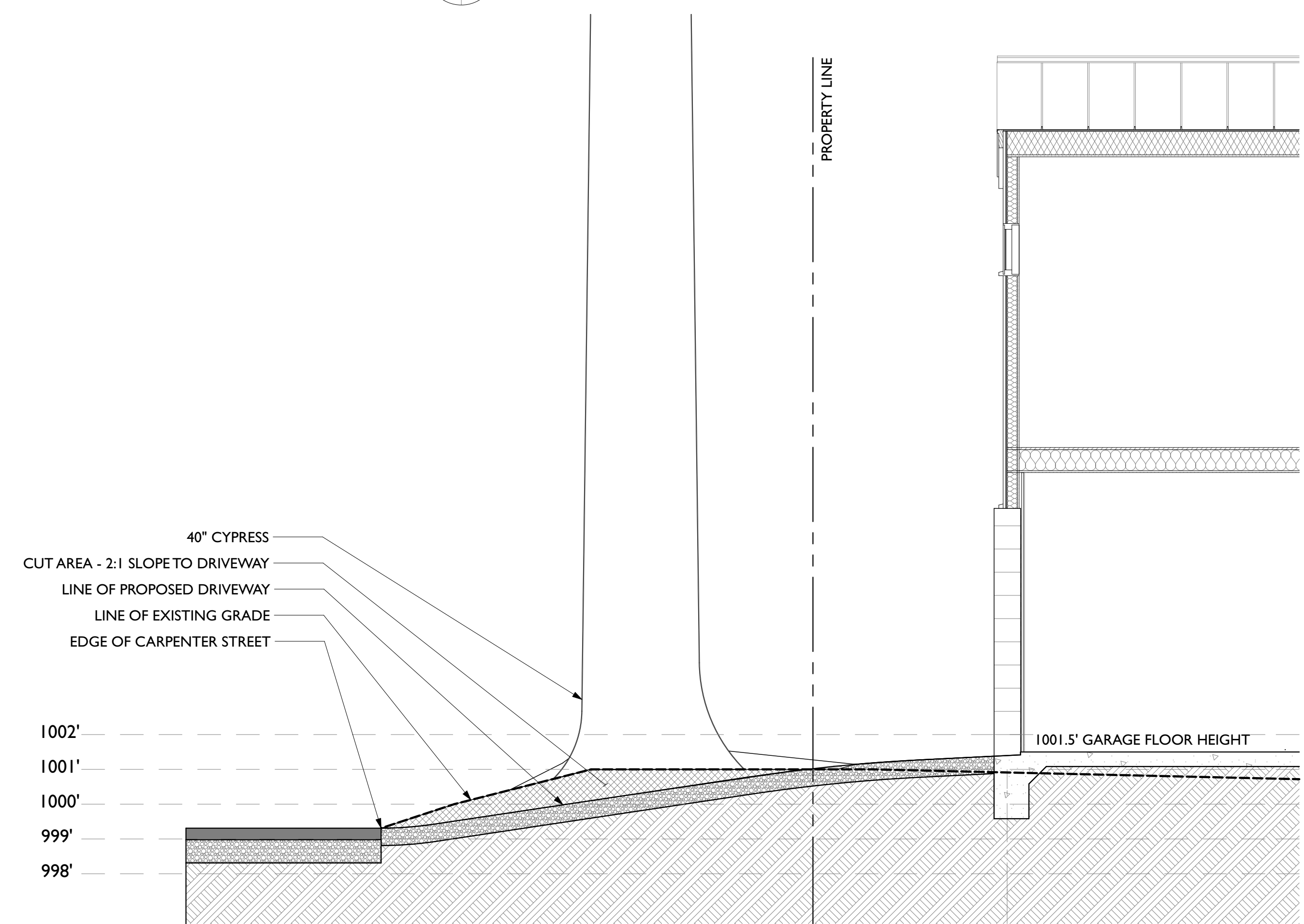
SCALE: 3/16" = 1'-0"



**3 PARTIAL SITE PLAN**  
SCALE: 3/8" = 1'-0"



**2 SECTION PERPENDICULAR TO CYPRESS**  
SCALE: 3/8" = 1'-0"



**1 SECTION PERPENDICULAR TO CYPRESS**  
SCALE: 3/8" = 1'-0"

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**PLANNING  
SUBMITTAL**

apn: 010.033.005

**THE QUAN FAMILY**  
carmel, california

a new residence for:  
s/w corner of 6th & carpenter

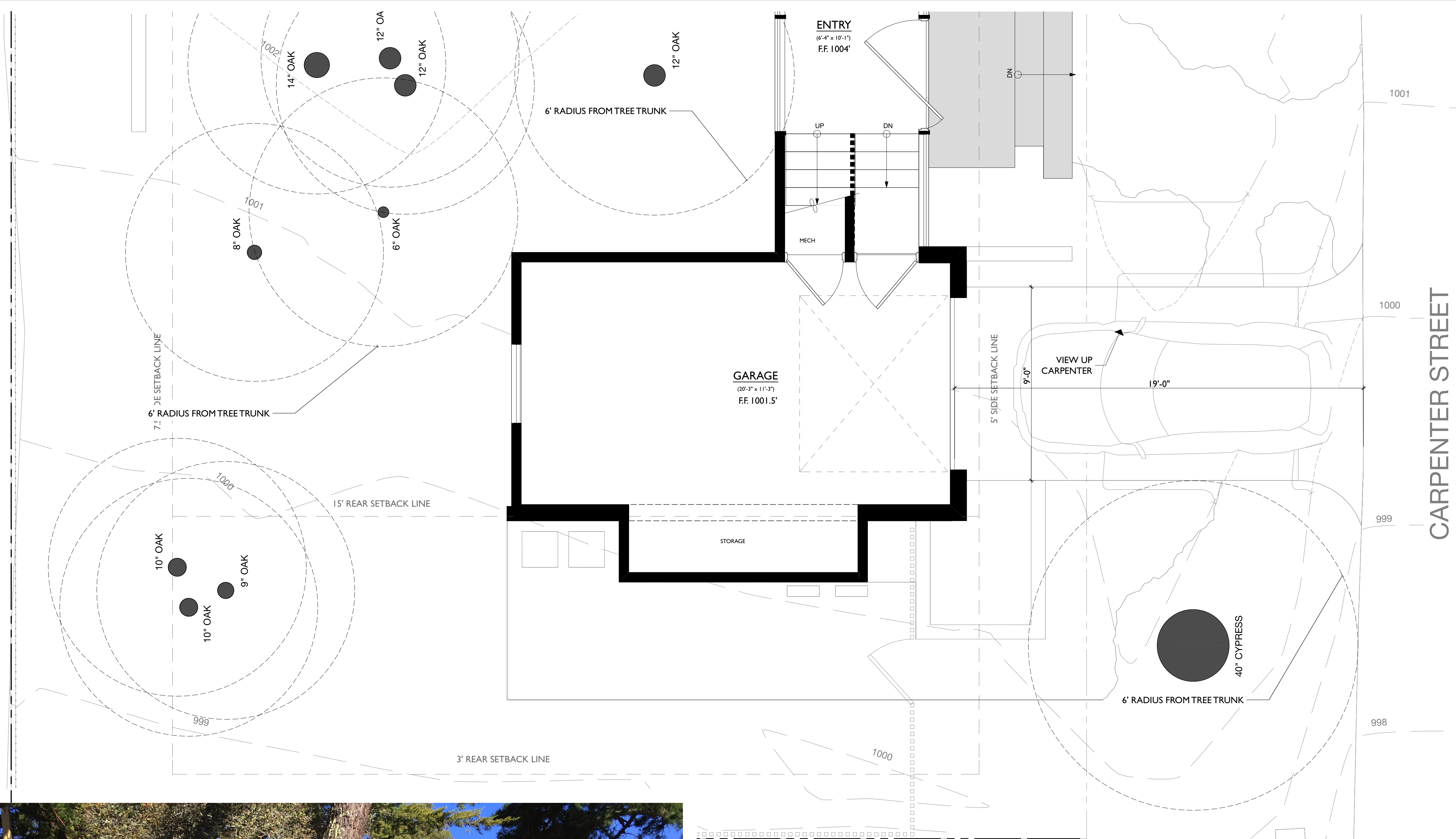
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**DETAILED  
DRIVEWAY STUDY**

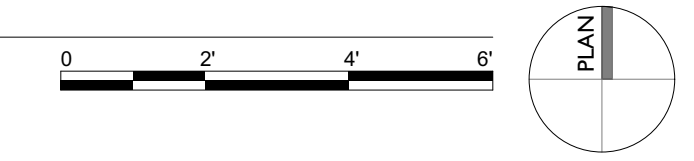
sheet 19  
**A3.6**  
of -  
sheets



2 VIEW FROM DRIVEWAY UP CARPENTER



1 PROPOSED SITE PLAN  
SCALE: 3/8" = 1'-0"



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SUBMITTAL**

a new residence for:  
**THE QUAN FAMILY**  
 s/w corner of 6th & carpenter  
 carmel, california  
 apn: 010.033.005

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DETAILED TREE LOCATION

sheet 20  
**A3.7**  
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SUBMITTAL**

apn: 0 10 .033.005

**THE QUAN FAMILY**

carmel, california

s/w corner of 6th & carpenter

a new residence for:

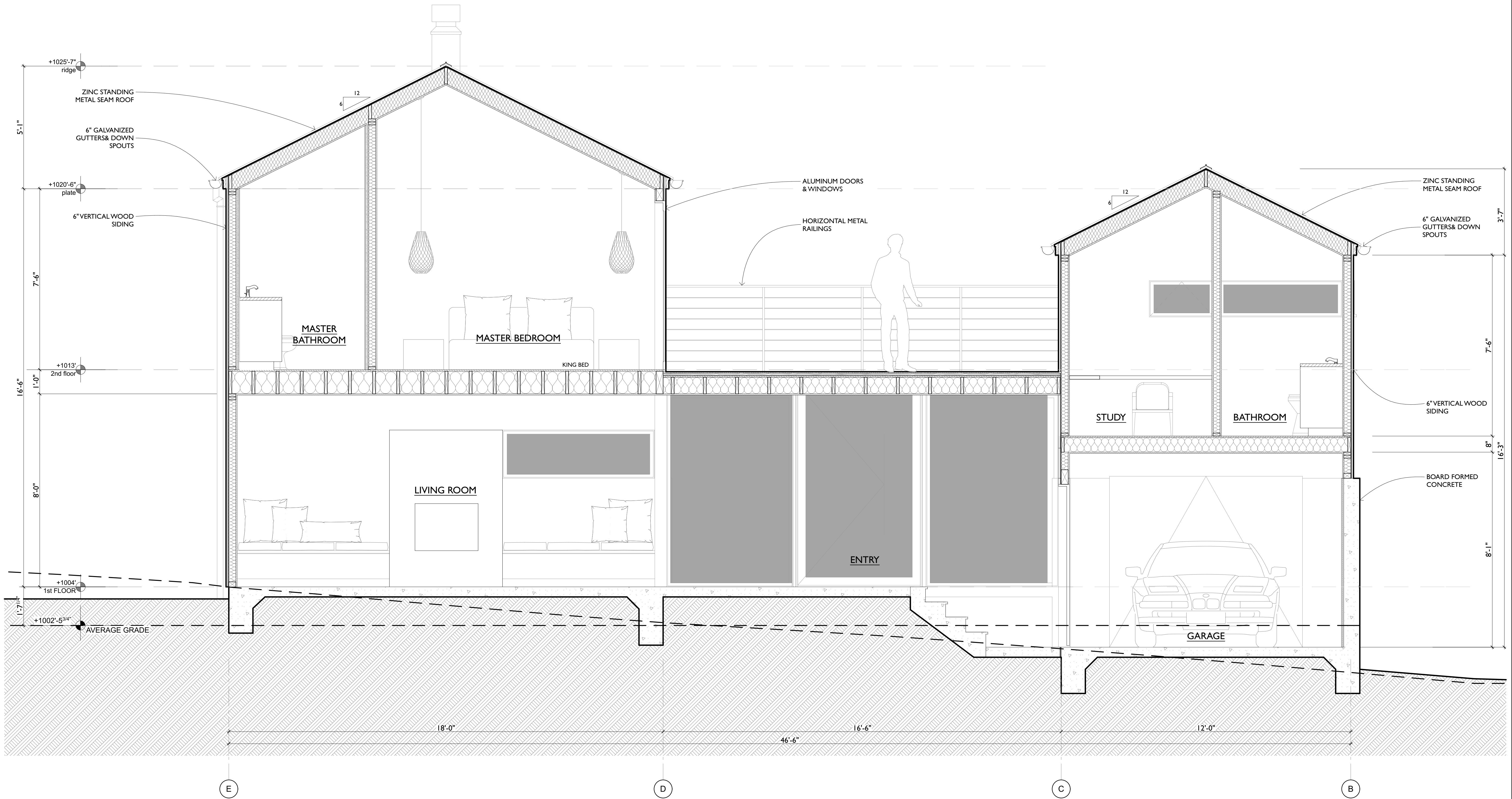
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**BUILDING  
SECTIONS**

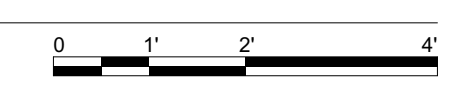
sheet 21

**A4.1**

of -  
sheets



**A SECTION**  
SCALE: 1/2" = 1'-0"



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**PLANNING  
SUBMITTAL**

apn: 010.033.005

carmel, california

s/w corner of 6th & carpenter

a new residence for:

# THE QUAN FAMILY

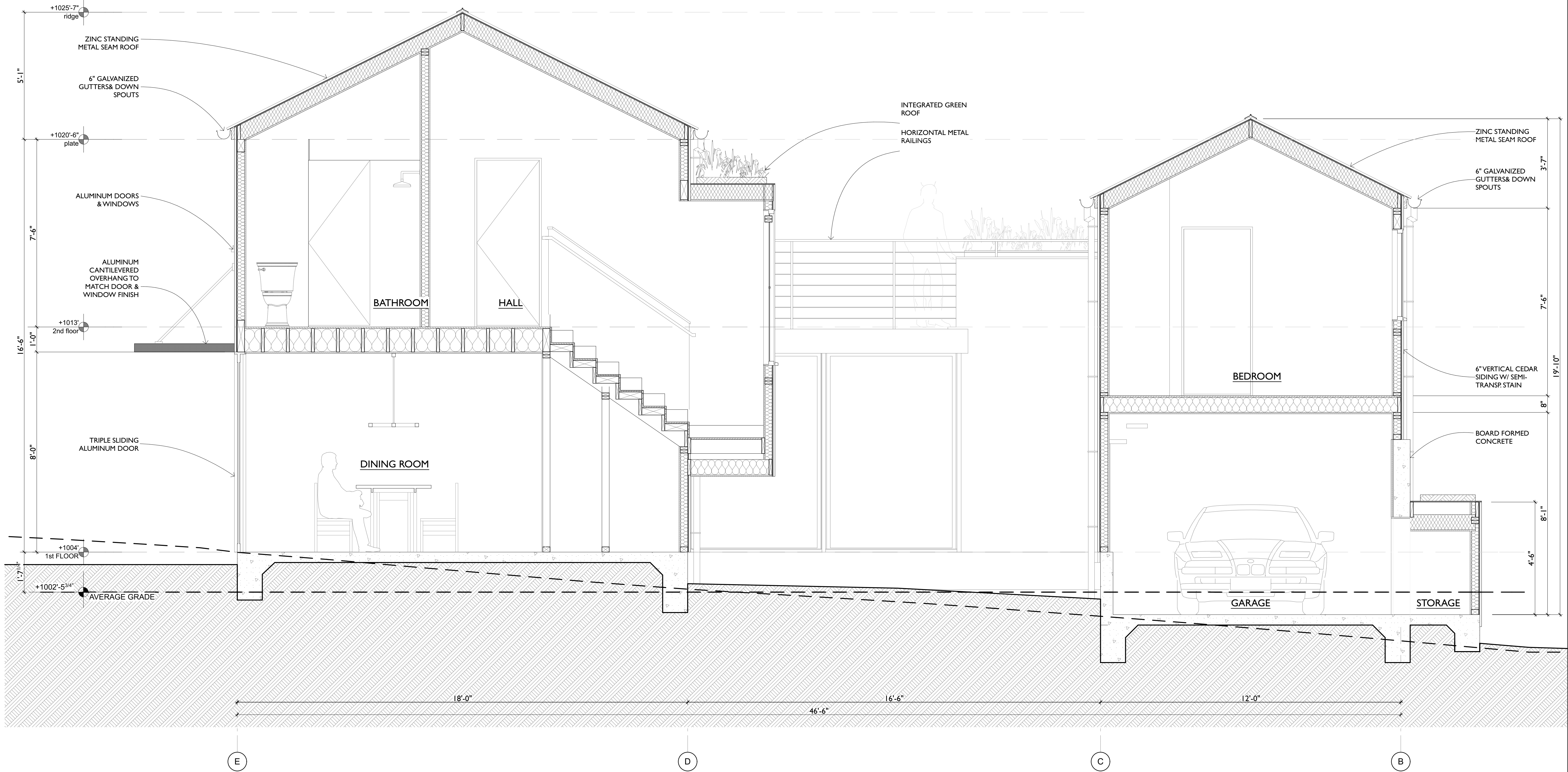
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**BUILDING  
SECTIONS**

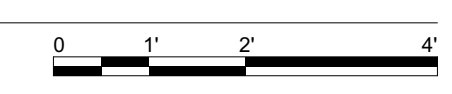
sheet 22

# A4.2

of -  
sheets



**B SECTION**  
SCALE: 1/2" = 1'-0"





EXTERIOR DOOR SCHEDULE									
MARK	WIDTH	HEIGHT	TYPE	TEMP'D	DETAILS			HARDWARE GROUP	NOTES
					HEAD	JAMB	SILL		
	8'-0"	7'-0"	---	---	---	---	---	---	---
D01	---	---	A						
D02	5'-1"	8'-4"	B						
D03	17'-10"	7'-11"	C						
D04	2'-10"	7'-11"	D						

WINDOW SCHEDULE									
MARK	SIZE		TYPE	TEMPERED	SCREEN	SHADE	HEAD HEIGHT	NOTES	
	WIDTH	HEIGHT							
01	5'-6"	8'-0"	A				8'-0"		
02	5'-3"	8'-0"	A				8'-0"		
03	6'-3 1/2"	2'-0"	B				6'-6"		
04	4'-0"	4'-0"	C				8'-1"		
05	6'-12"	2'-0"	D				6'-6"		
06	6'-3"	6'-3"	E				10'-8"		
07	4'-9"	8'-0"	A				8'-0"		
08	5'-3"	8'-0"	A				8'-0"		
09	5'-3"	8'-0"	A				8'-0"		
10	3'-8"	3'-8"	C				2'-1"		
21	2'-4"	4'-0"	J				7'-0"		
22	2'-4"	4'-0"	J				7'-0"		
23	2'-4"	4'-0"	J				7'-0"		
24	4'-0"	4'-0"	C				8'-6"		
25	4'-0"	4'-0"	C				7'-0"		
26	3'-8"	3'-8"	C				8'-5"		
27	8'-0"	3'-8"	F				0'-10"		
28	2'-6"	1'-6"	G				1'-1"		
29	8'-0"	1'-6"	H				8'-2 1/2"		

INTERIOR DOOR SCHEDULE									
MARK	WIDTH	HEIGHT	TEMP'D	TYPE	DETAILS			HARDWARE GROUP	NOTES
					HEAD	JAMB	SILL		
D05	2'-7 1/2"	6'-7"		E					
D06	2'-10"	6'-7"		F					
D07	1'-9 1/2"	6'-7"		E					
D11	2'-8"	6'-7"		G					
D12	2'-6"	6'-7"		E					
D13	2'-6"	6'-7"		E					
D14	2'-8"	6'-7"		H					
D15	2'-8"	6'-7"		G					
D16	2'-8"	6'-7"		H					

- WINDOW & DOOR NOTES:**
- ALL WINDOWS & EXTERIOR DOORS SHALL BE FLEETWOOD ALUMINUM 3040T
  - ALL WINDOW SCREENS SHALL BE XXXXX
  - SHADES: XXXXX OR APPROVED EQUAL
  - HARDWARE MOUNTING HEIGHT SHALL BE BETWEEN 34" AND 44" ABOVE THE FLOOR PER CBC 11B-404.2.7.
  - ALL INTERIOR DOORS TO BE SOLID CORE, TYP.
  - GLAZING TO BE LOW E<sup>2</sup>, CONTRACTOR TO PROVIDE GLAZING SAMPLES PRIOR TO ORDERING FENESTRATION
  - SEE GENERAL NOTE #16 ON SHEET A0.1 FOR EGRESS WINDOW REQUIREMENTS

DOOR LEGEND							
TYPE	A	B	C	D	E	F	G
FRONT VIEW							

WINDOW LEGEND									
TYPE	A	B	C	D	E	F	G	H	J
WINDOW ELEVATION									

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**PLANNING  
SUBMITTAL**

apn: 010.033.005

a new residence for:  
**THE QUAN FAMILY**  
 s/w corner of 6th & carpenter  
 carmel, california

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WINDOW & DOOR SCHEDULES

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