

GENERAL / GRADING NOTES

- SURFACE WATER WILL DRAIN AWAY FROM EACH STRUCTURE ON THE LOT.
- INSTALL SEDIMENT LOGS AROUND CONSTRUCTION AREA TO KEEP DEBRIS ON PROPERTY.
- PLACE GRAVEL BAGS AROUND NEARBY, DOWN-STREAM OF STORM INLET(S) DURING CONSTRUCTION.
- DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE COUNTY RIGHT-OF-WAY (STREETS/SIDEWALK) FREE FROM DEBRIS AND DIRT.
- ALL STRUCTURAL FILL TO BE COMPACTED TO 90 PERCENT RELATIVE COMPACTION. ALL ROADWAY FILL SHALL BE COMPACTED TO 90 PERCENT RELATIVE COMPACTION EXCEPT THE UPPER 12 INCHES OF FINISHED SOIL, SUBGRADE AND BASEROCK SHALL BE 95% RELATIVE COMPACTION.
- GRADING QUANTITIES: EXCAVATION = 80 CY FILL = 75 CY
- EXCESS EXCAVATION TO BE DEPOSITED ON SITE. DEPOSITED MATERIAL SHALL NOT EXCEED 12 INCHES IN DEPTH UNLESS COMPACTION TESTED TO VERIFY A MINIMUM COMPACTION REQUIREMENTS PER NOTE # 5.
- THE DRIVEWAY EXISTS AND WILL REMAIN UNCHANGED. THE SLOPE DOES NOT EXCEED 15 PERCENT.
- THE GRADE ADJACENT TO ALL STRUCTURES SHALL BE SLOPED A MINIMUM OF 5 PERCENT AWAY FROM THE FOUNDATION FOR A MINIMUM HORIZONTAL DISTANCE OF 10 FEET.
- ALL GRADING SHALL COMPLY WITH THE COUNTY OF MONTEREY GRADING ORDINANCE.

WINTER GRADING OPERATION

- WHEN WINTER GRADING OPERATIONS TAKE PLACE, THE FOLLOWING MEASURES ARE REQUIRED TO MITIGATE ACCELERATED EROSION:
- VEGETATION REMOVAL BETWEEN OCTOBER 15 AND APRIL 15 SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.
 - BETWEEN OCTOBER 15 AND APRIL 15, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - RUN-OFF FROM THE SITE SHALL BE DETAINED OF FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
 - THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.

GRADING AND EROSION CONTROL NOTES

- ALL GRADING SHALL BE IN CONFORMANCE WITH CITY OF CARMEL GRADING ORDINANCE & EROSION CONTROL ORDINANCE.
- GROUND SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TRASH, ETC. NO VEGETATIVE NOR OTHER DELETERIOUS MATERIALS SHALL BE USED IN ANY ENGINEERED FILL.
- ALL SURFACES EXPOSED OR THAT MAY BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE PROJECT TO PROTECT AGAINST EROSION.
- AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE BY WATERING AND TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM SUBCONTRACTORS.
- TOE OF FILLS ON SLOPES STEEPER THAN 1 UNIT VERTICAL IN 5 UNITS HORIZONTAL SHALL BE KEYED WITH A BENCH MINIMUM 10 FEET WIDE AND 2 FEET DEEP BACK SLOPED 2%.
- ALL GRADED AREAS SHALL BE PLANTED AND MAINTAINED AS REQUIRED BY CITY OF CARMEL BUILDING DEPARTMENT. CUT AND FILL SLOPES SHALL BE CULTIVATED TO A DEPTH OF APPROXIMATELY 3 INCHES. SEED WITH RYE GRASS, 34 LBS PER 100 SQ. FT. OF AREA. COVER WITH STRAW, 4 TONS PER ACRE.
- CUT AND FILL SLOPES SHALL NOT EXCEED 2 HORIZONTAL TO 1 VERTICAL.
- MAINTAIN DUST CONTROL AT ALL TIMES. NO POTABLE WATER SHALL BE USED FOR DUST CONTROL UNLESS SECONDARY WATER IS NOT READILY AVAILABLE.
- ALL FILL AREAS SHALL BE COMPACTED TO MINIMUM 90 PERCENT RELATIVE COMPACTION, BASED ON ASTM TEST D1557. FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH.
- SLOPE ALL GROUND AWAY FROM BUILDINGS AT MINIMUM 5% FOR A MINIMUM DISTANCE OF 10 FEET.
- CONTRACTOR SHALL PREVENT EROSION AND SEDIMENT ESCAPING FROM SITE AS REQUIRED BY CITY OF CARMEL EROSION CONTROL ORDINANCE.
- EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK BETWEEN OCTOBER 15 AND APRIL 15.
- ESTIMATED EXCAVATION: CUT = 80 CY, FILL = 75 CY
STARTING DATE: 4.1.2018 COMPLETION DATE: 10.1.2018
- CONTOUR ELEVATION DATUM IS APPROXIMATE U.S.G.S.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORTS SHALL BE SUBMITTED TO THE CITY OF CARMEL PRIOR TO REQUESTING A FINAL GRADING OR FOOTING INSPECTION.
- NO CUT OR FILL SHALL BE WITHIN 3 FEET OF ALL PROPERTY LINES EXCEPT FOR DRIVEWAY ACCESS PURPOSES.
- THE EXISTING GRADES ADJACENT TO THE EXISTING RESIDENCE SHALL BE MAINTAINED TO DIRECT WATER AWAY FROM THE BUILDING FOUNDATION. THE FINAL GRADING OF THE SITE SHALL BE CONDUCTED IN A MANNER TO ENSURE THAT ALL SURFACE DRAINAGE UPHILL FROM THE RESIDENCE (INCLUDING THE FLOW FROM THE DRIVEWAY) ARE DIRECTED IN SWALES AROUND THE STRUCTURE.

PLANNING NOTES

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE, WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

GEOTECHNICAL NOTES

- THE GEOTECHNICAL ENGINEER (SOIL SURVEYS GROUP, INC.) SHOULD BE RETAINED TO REVIEW THE BUILDING AND SITE GRADING PLANS FOR COMPLIANCE WITH THIS REPORT AND MAY PROVIDE SPECIFIC RECOMMENDATIONS FOR SURFACE DRAINAGE.
- ALL EARTHWORK AND FOUNDATION OPERATIONS ON-SITE TO BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT..
- THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR OTHER EARTHWORK OPERATIONS.
- PRIOR TO GRADING, THE AREAS TO BE DEVELOPED FOR STRUCTURES, PAVEMENTS AND OTHER IMPROVEMENTS, SHOULD BE STRIPPED OF ANY VEGETATION AND CLEARED OF ANY SURFACE OR SUBSURFACE OBSTRUCTIONS, INCLUDING ANY EXISTING FOUNDATIONS, UTILITY LINES BASEMENTS, SEPTIC TANKS, PAVEMENTS, STOCKPILED FILLS, AND MISCELLANEOUS DEBRIS.
- ALL PIPELINES ENCOUNTERED DURING GRADING SHOULD BE RELOCATED AS NECESSARY TO BE COMPLETELY REMOVED FROM CONSTRUCTION AREAS OR BE CAPPED AND PLUGGED.
- ANY WELLS ENCOUNTERED SHALL BE CAPPED IN ACCORDANCE WITH SANTA CRUZ COUNTY HEALTH DEPARTMENT REQUIREMENTS. THE STRENGTH OF THE CAP SHALL BE AT LEAST EQUAL TO ADJACENT SOIL AND SHALL NOT BE LOCATED WITHIN 5 FEET OF ANY STRUCTURAL ELEMENT.
- SURFACE VEGETATION AND ORGANICALLY CONTAMINATED TOPSOIL SHOULD BE REMOVED FROM AREAS TO BE GRADED. THE REQUIRED DEPTH OF STRIPPING WILL VARY WITH THE TIME OF YEAR THE WORK IS DONE AND MUST BE OBSERVED BY THE GEOTECHNICAL CONSULTANT.
- HOLES RESULTING FROM THE REMOVAL OF BURIED OBSTRUCTIONS THAT EXTEND BELOW FINISHED SITE GRADES SHOULD BE BACKFILLED WITH COMPACTED ENGINEERED FILL.
- AFTER THE EARTHWORK OPERATIONS HAVE BEEN COMPLETED AND THE GEOTECHNICAL ENGINEER HAS FINISHED HIS OBSERVATION OF THE WORK, NO FURTHER EARTHWORK OPERATIONS SHALL BE PERFORMED EXCEPT WITH THE APPROVAL OF AND UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.

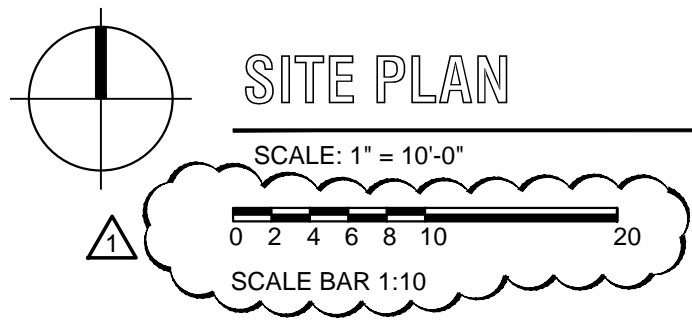
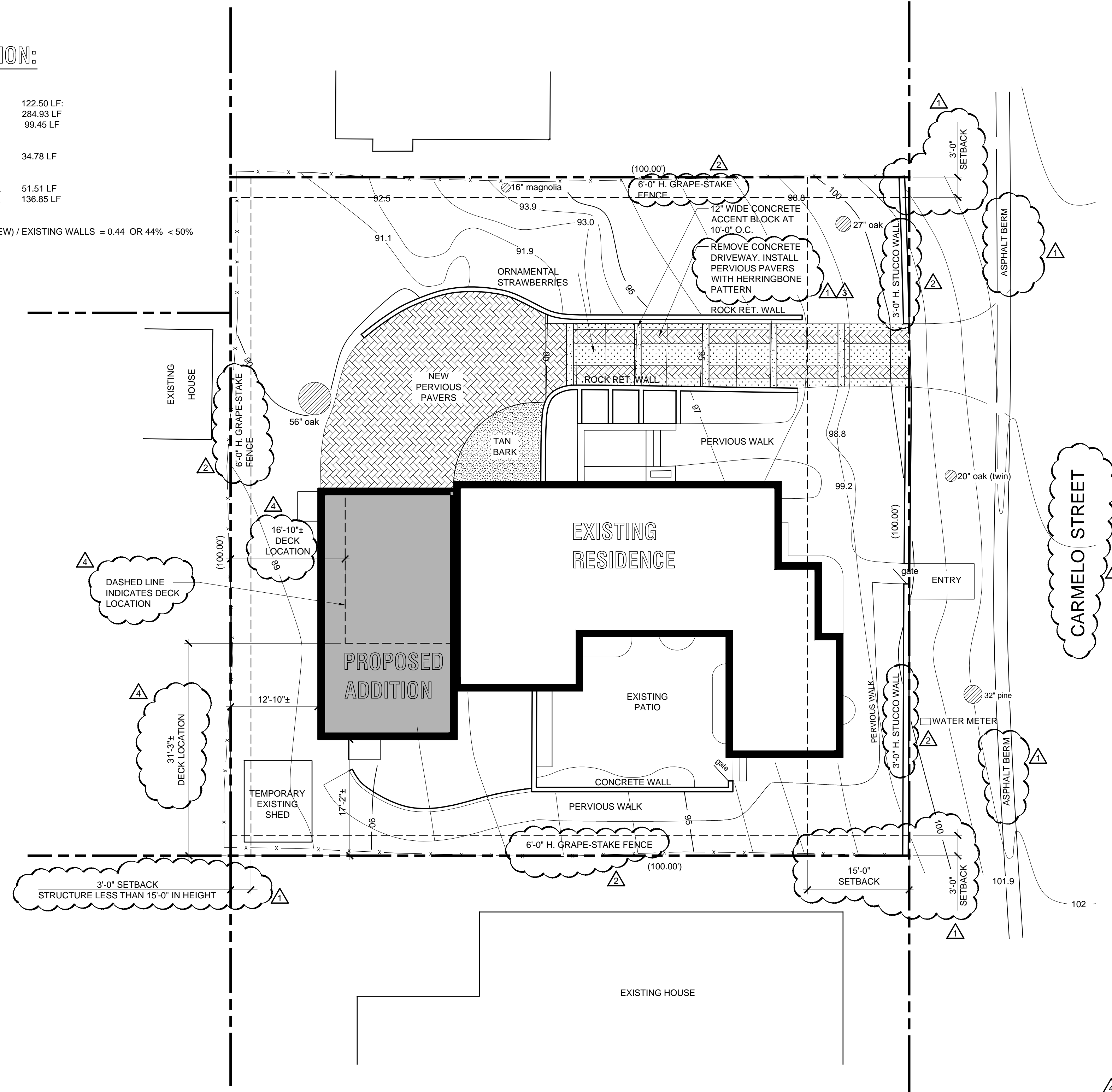
PROJECT ANALYSIS

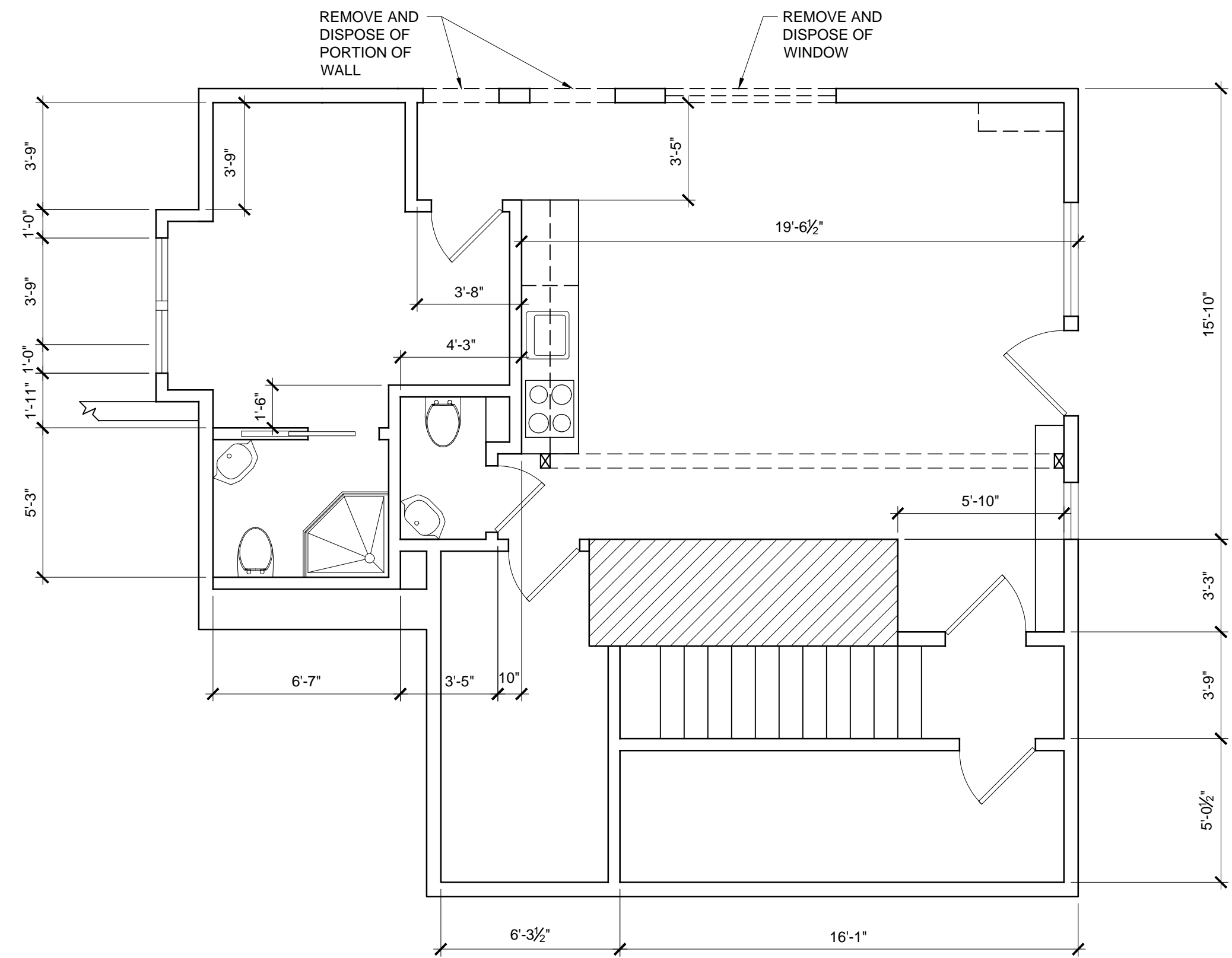
PROPERTY OWNER:	KAREN & SCOTT MUNRO 2 NW OF 7TH ON CARMELO CARMEL, CA 93921
JURISDICTION:	CITY OF CARMEL
BUILDING CODE:	2016 C.B.C. 2016 C.F.C. 2016 C.M.C. 2016 C.P.C. 2016 C.E.C. 2016 C.E.C. 2016 C.E.C. 2016 C.G.C.
CONSTRUCTION TYPE:	V-B
OCCUPANCY TYPES:	R3 - RESIDENTIAL U - GARAGE
ASSESSORS PARCEL NO:	010-267-004
DESCRIPTION:	720 SF ADDITION TO EXISTING RESIDENCE.
ZONING:	R-1
TREE REMOVAL:	NONE
AREA OF DISTURBANCE:	740 SF
LOT AREA:	10,000 SF
BUILDING AREAS:	
(E) RESIDENCE	
UPPER LEVEL	542 SF
MAIN LEVEL	1,494 SF
LOWER LEVEL	523 SF
TOTAL	2,559 SF
NEW ADDITION	740 SF
TOTAL SF WITH ADDITION	3,299 SF
(BASE FLOOR AREA ALLOWED - 3,300 S.F.)	

SITE COVERAGE CALCULATION	
PERVIOUS	7,308 SF
IMPERVIOUS	458 SF (MAX ALLOWED 3,300 SF x 22% = 726 SF)
EXISTING BUILDING FOOTPRINT	1,494 SF
NEW ADDITION FOOTPRINT	740 SF
TOTAL	10,000 SF
EXISTING SITE COVERAGE	
IMPERVIOUS WALKWAYS	650 SF
IMPERVIOUS DRIVEWAY	501 SF
IMPERVIOUS DRIVEWAY TURNAROUND	660 SF
IMPERVIOUS PATIO	322 SF
IMPERVIOUS ENTRY WAY	91 SF
PERVIOUS LANDSCAPING	6,282 SF
TOTAL	8,506 SF
PROPOSED SITE COVERAGE	
PERVIOUS WALKWAYS	650 SF
PERVIOUS PAVER TIRE TRACKS	200 SF
PERVIOUS ORNAMENTAL PLANTING AT DRIVEWAY	256 SF
IMPERVIOUS DRIVEWAY (CONCRETE BLOCKS)	45 SF
PERVIOUS DRIVEWAY TURNAROUND	530 SF
PERVIOUS TAN BARK (AT ENTRY LOWER LEVEL)	130 SF
IMPERVIOUS PATIO	322 SF
IMPERVIOUS ENTRY WAY	91 SF
PERVIOUS LANDSCAPING	5,542 SF
TOTAL	7,766 SF

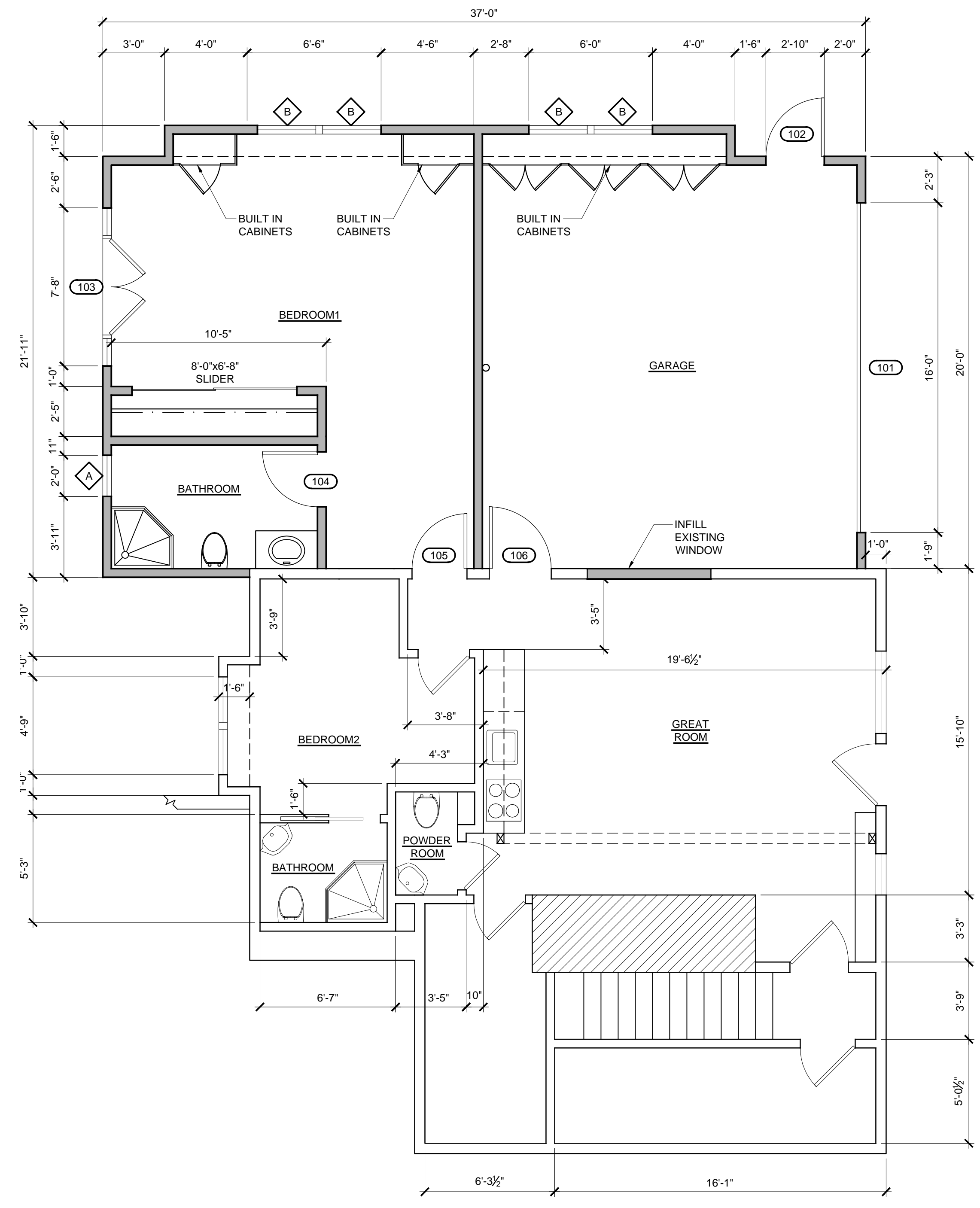
WALL EVALUATION:

EXISTING WALLS:	
2ND LEVEL	122.50 LF
1ST LEVEL	284.93 LF
LOWER LEVEL	99.45 LF
REMOVED WALLS	
LOWER LEVEL	34.78 LF
NEW WALLS	
REMODEL LOWER LEVEL	51.51 LF
ADDITION LOWER LEVEL	136.85 LF
EVALUATION (REMOVED + NEW) / EXISTING WALLS = 0.44 OR 44% < 50%	





DEMOLITION LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SCALE BAR 1/4" = 1'-0"



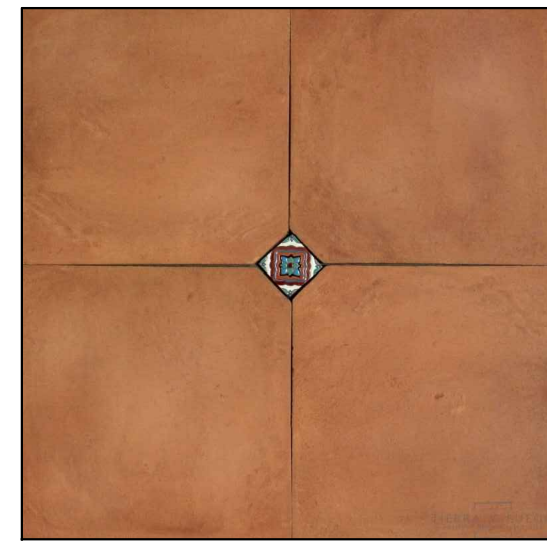
LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SCALE BAR 1/4" = 1'-0"

REVISIONS	
1	PLANNING RESUBMITTAL 12/21/17

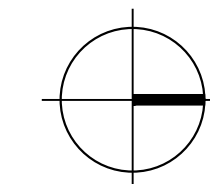
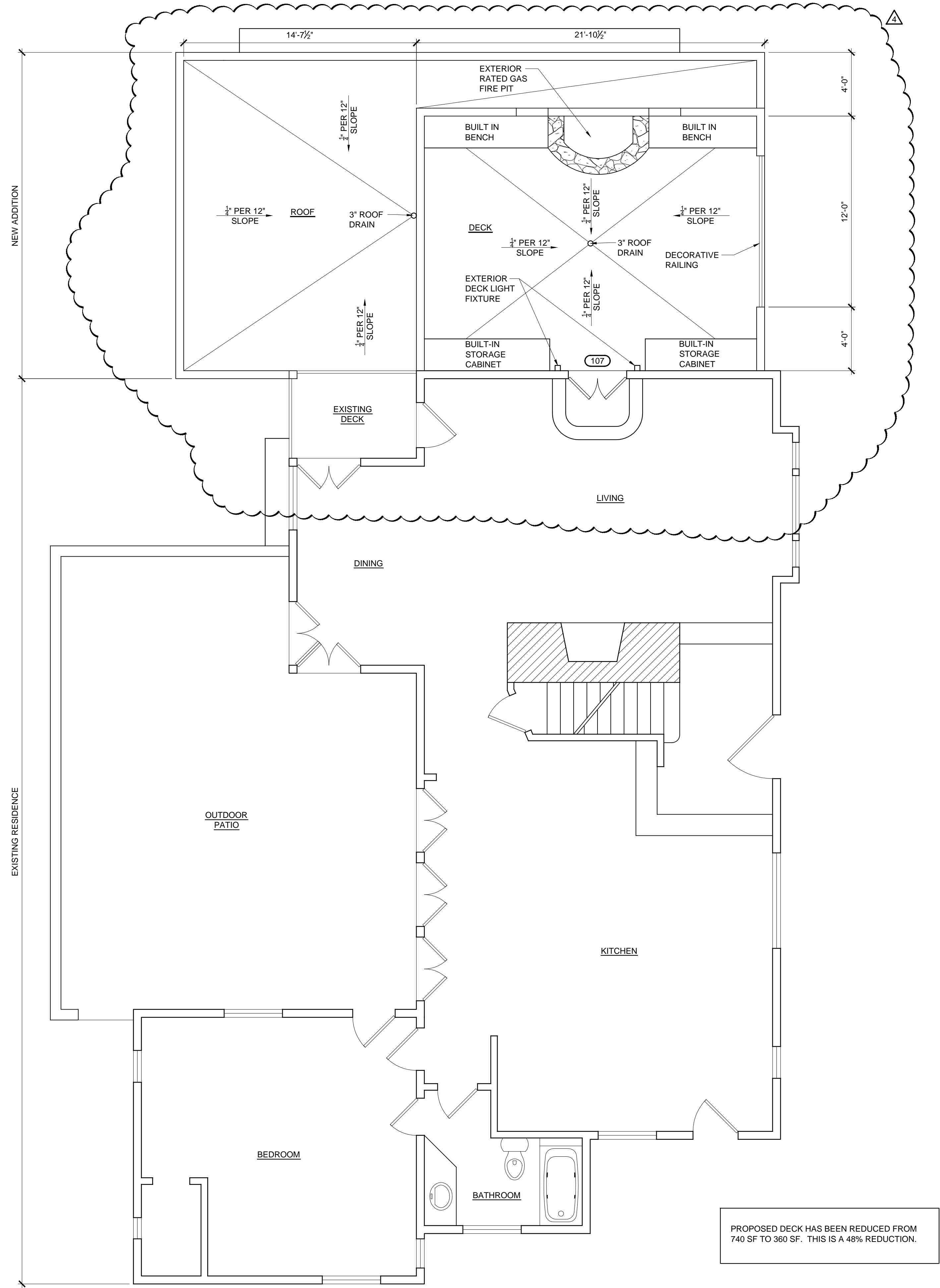
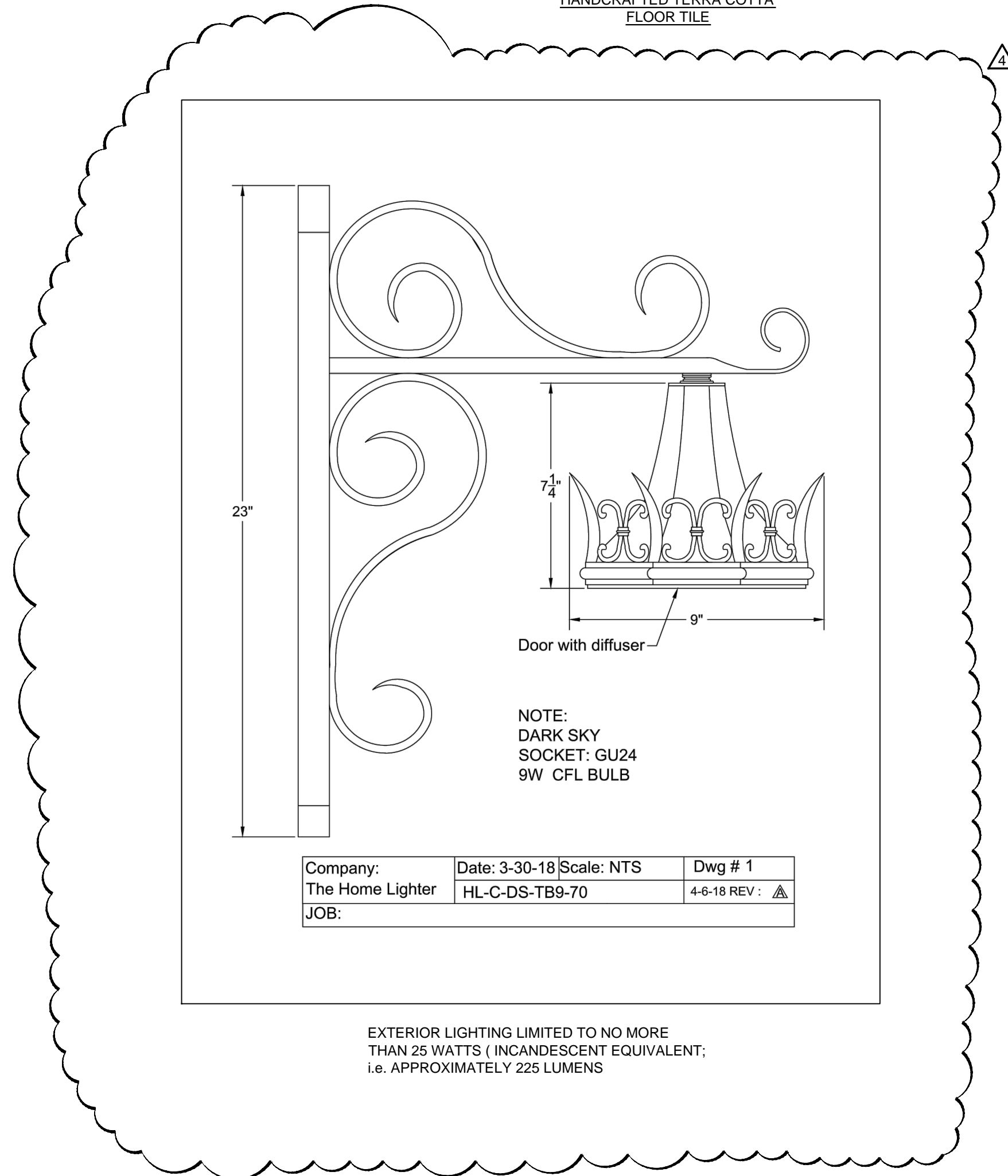
LOWER FLOOR PLAN
 MUNRO RESIDENCE
 2 NW OF 7TH ON CARMELO
 CARMEL, CALIFORNIA 93921

DATE: 04-09-18
SCALE: AS SHOWN
DRAWN: CAD
JOB:
APN:
SHEET A2.1 OF SHEETS

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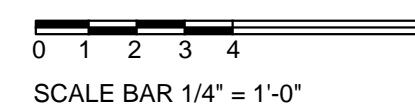


DECK FINISH
CUT EDGE TIERRA HIGH FIRED
HANDCRAFTED TERRA COTTA
FLOOR TILE



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED DECK HAS BEEN REDUCED FROM 740 SF TO 360 SF. THIS IS A 48% REDUCTION.

REVISIONS

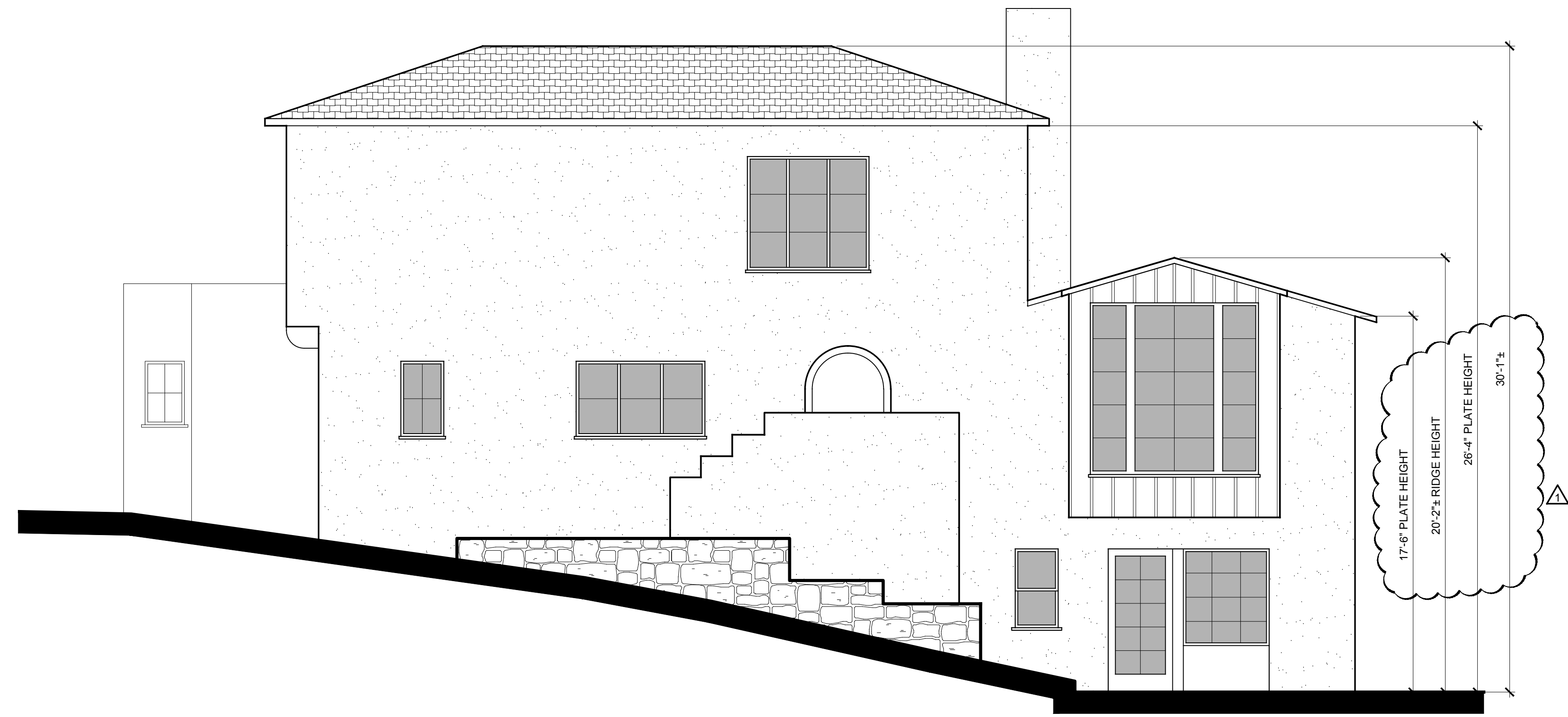
	PLANNING RESUBMITTAL 12/21/17
	PLANNING RESUBMITTAL 04/02/18

MAIN FLOOR PLAN
MUNRO RESIDENCE
2 NW OF 7TH ON CARMELO
CARMEL, CALIFORNIA 93921

DATE: 04-25-18
SCALE: AS SHOWN
DRAWN: CAD
JOB:
APN:
SHEET AA2.2
OF

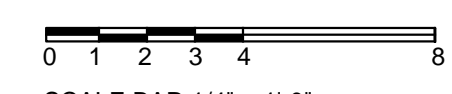
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1	PLANNING RESUBMITTAL 12/21/17



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"

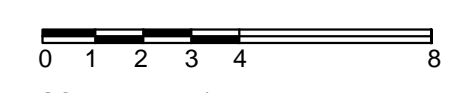


SCALE BAR 1/4" = 1'-0"

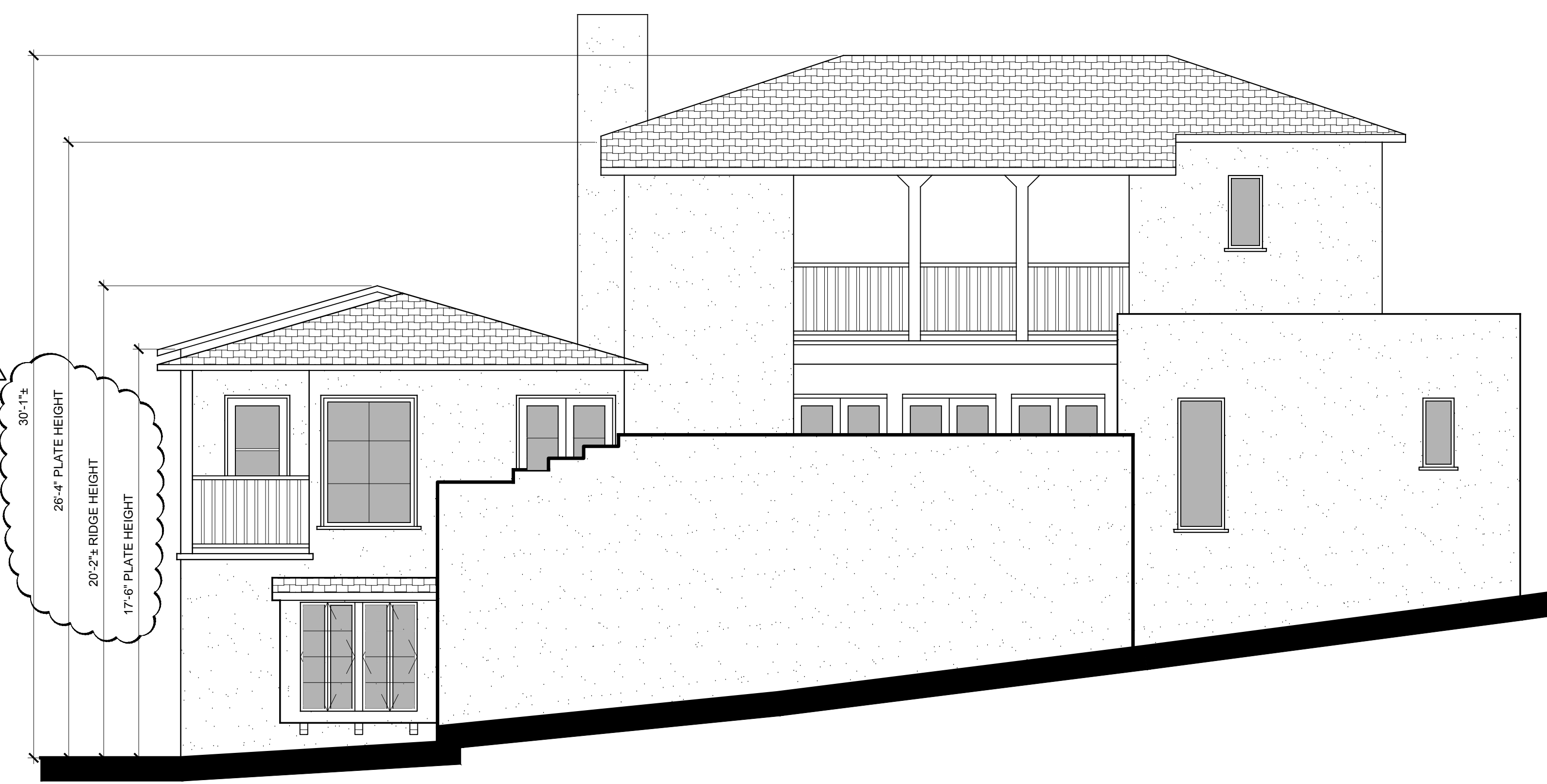


EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"

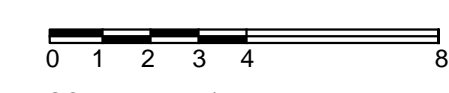


SCALE BAR 1/4" = 1'-0"



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

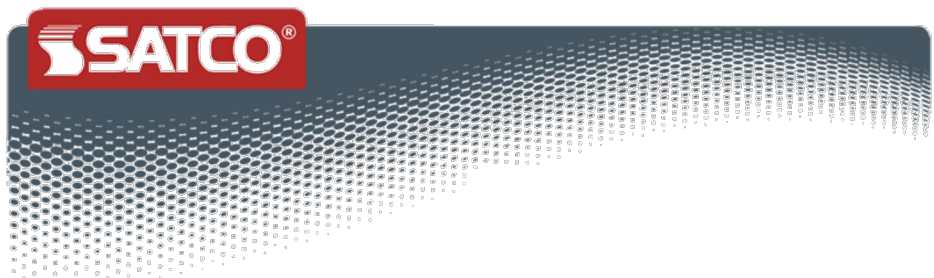


SCALE BAR 1/4" = 1'-0"

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EXISTING EXTERIOR ELEVATIONS

MUNRO RESIDENCE
2 NW OF 7TH ON CARMELO
CARMEL, CALIFORNIA 93921



S5501

ST227
5 watt Mini Spiral Compact Fluorescent. 2700K. 82 CRI.
Medium base. 120 volts

- Features
- Self-ballasted Spiral CFL
 - Uses 75% less energy than equivalent incandescent lamps
 - Long Life
 - Instant On

This item has been discontinued.
Possible replacement:
• S7261

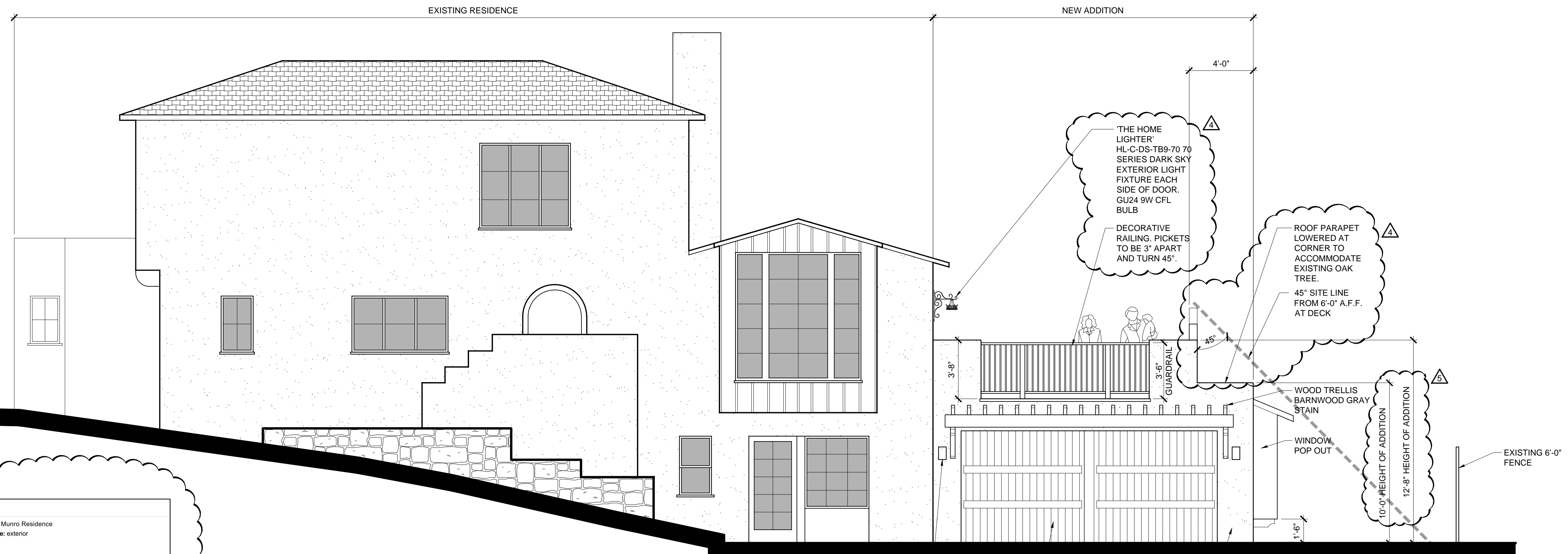


Part Number	UPC	Voltage	Watts	Incandescent Equivalent	Lamp Shape	Base	ANSI Base
S5501	045923055010	120	5	25W	T2	Medium	E26
Lamp Code	MOL in Inches	MOI in Inches	Initial Lumens	Average Rated Hours	Ballast Temp	Color	Pack
ST227	3.4"	1.3"	200	10000	2700	Warm White	245
Package Type	CRI	Hg Content	RoHS Compliant	UL of ETC Listed	Warranty	Status	Supplemental Substitution
1/Clamshell	82	1.6 mg	Yes	Yes	2 Year Limited	Discontinued	S7261

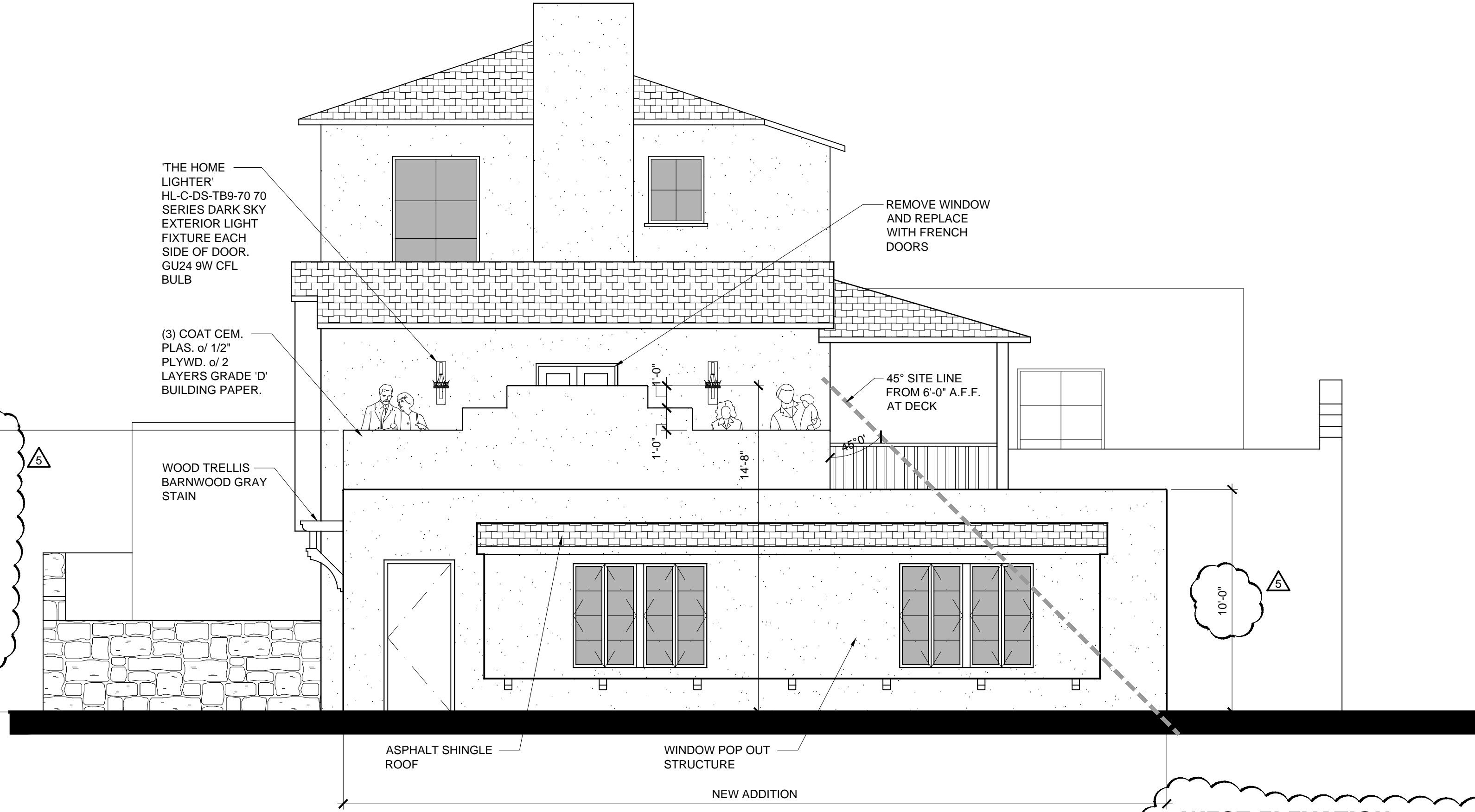
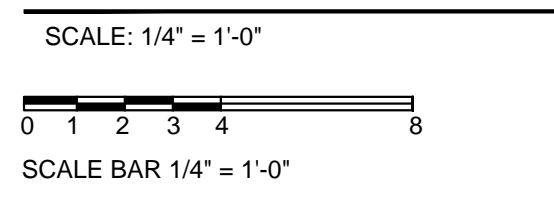
National Toll Free: 800.451.SATCO
800.427.2020
www.satco.com

Distribution Centers:
New York, Florida, Texas,
Washington, California,
Puerto Rico

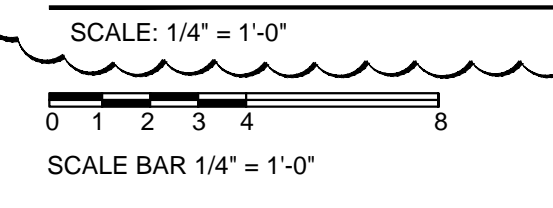
Corporate Office:
130 Howard Blvd.
Brooklyn, NY 11717
800.427.2020 / 516.242.2022
Fax 516.242.2027



NORTH ELEVATION



WEST ELEVATION



REVISIONS
PLANNING RESUBMITTAL 12/21/17
PLANNING RESUBMITTAL 02/23/18
PLANNING RESUBMITTAL 04/02/18
PLANNING RESUBMITTAL 08/10/18

EXTERIOR ELEVATIONS

MUNRO RESIDENCE
2 NW OF 7TH ON CARMELO
CARMEL, CALIFORNIA 93921

DATE: 09-10-18
SCALE: AS SHOWN
DRAWN: CAD
JOB:
APN:
SHEET
A3.1
OF SHEETS

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JUSTICE DESIGN Justice Design Group
Architectural and Decorative Lighting

Job Name: Munro Residence
Fixture Type: exterior

SMALL CYLINDER - CLOSED TOP - OUTDOOR

Base Part Number:
CER-0940W

DESCRIPTION: Small Cylinder - Closed Top - Outdoor
UL LISTING: Suitable for Wet Locations
LAMPING:
• Incandescent: (1) 100W A-19 Max
• Optional Fluorescent: (1) 26W GU24 Self Ballast CFL Max
• Optional LED: 13W 1,000 Initial Lumens
• Optional GU24 LED: (1) 10W GU24 Self Ballast LED

SIZE: 9.5" H x 5.75" W x 4.5" Proj.
MOUNTING CENTER: 4.75"
OUTDOOR: Yes
ADA: No
PRIMARY SHADE MATERIAL: Ceramic
FINISH GROUPS: Bisque, 1, 2, 4
OPTIONS AND NOTES:
• Made in the USA
• This item is available in up to 30 hand-painted finishes, as well as unfinished ceramic bisque (BIS) which is paintable

Item Shown: CER-0940W-BIS

All Images:

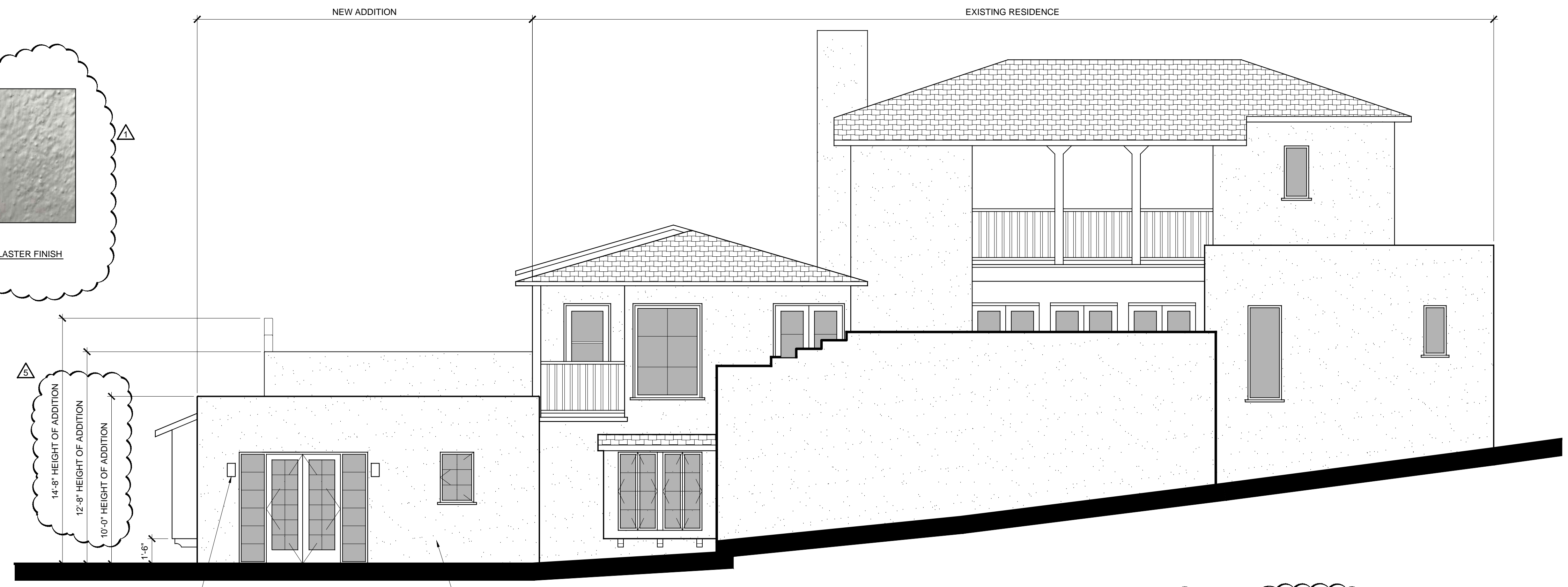
Shade Finish Options:
BISQUE

Bisque (BIS)

GLAZE FINISHES (GROUP 1)

Gloss Black (BLK)	Carbon-Matte Black (CRB)	Celestion Green Crackle (CKC)	Sienna Brown Crackle (CKS)
White Crackle (CRK)	Matte White (MAT)	Vanilla-Gloss (VAN)	Gloss White

EXTERIOR LIGHTING LIMITED TO NO MORE THAN 25 WATTS (INCANDESCENT EQUIVALENT; i.e. APPROXIMATELY 225 LUMENS



14'-8" HEIGHT OF ADDITION
12'-8" HEIGHT OF ADDITION
10'-0" HEIGHT OF ADDITION

'JUSTICE DESIGN' EXTERIOR LIGHT FIXTURE EACH SIDE OF DOOR

(3) COAT CEM. PLAS. of 1/2" PLYWD. of 2 LAYERS GRADE 'D' BUILDING PAPER.

SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
SCALE BAR 1/4" = 1'-0"

WINDOW SCHEDULE							DOOR SCHEDULE											
NUMBER	TYPE	GLAZING		SIZE		NOMINAL HEAD HEIGHT	GLASS TYPE	MANUFACTURER	NUMBER	FINISH			SIZE			FRAME ASSEMBLY	GLASS TYPE	MANUFACTURER
		SINGLE	DOUBLE	WIDTH	HEIGHT					PAINT	STAIN	FACTORY	WIDTH	HEIGHT	THK.			
1	A	●		2'-0"	3'-0"	6'-8"		KOLBE HERITAGE SERIES CASEMENT WINDOW PAINT BLACK	101	●			16'-0"	7'-0"	-	WD.		OVERHEAD DOOR SIGNATURE CARRIAGE CUSTOM WOOD DOOR
2	B	●		2'-10"	4'-8"	6'-8"		KOLBE HERITAGE SERIES CASEMENT WINDOW PAINT BLACK	102	●			2'-10"	6'-8"	1-3/4"	WD.		KOLBE HERITAGE SERIES PAINT BLACK
									103	●			PAIR OF 2'-4"	6'-8"	1-3/4"	WD.		KOLBE HERITAGE SERIES PAINT BLACK
									104	●			2'-8"	6'-8"	1-3/4"	WD.		KOLBE HERITAGE SERIES
									105	●			2'-8"	6'-8"	1-3/4"	WD.		KOLBE HERITAGE SERIES
									106	●			3'-0"	6'-8"	1-3/4"	WD.		KOLBE HERITAGE SERIES
									107	●			PAIR OF 1'-10"	6'-8"	1-3/4"	WD.		KOLBE HERITAGE SERIES



EXISTING EAST ELEVATION
STREET FRONTAGE

SCALE: N.T.S.

REVISIONS

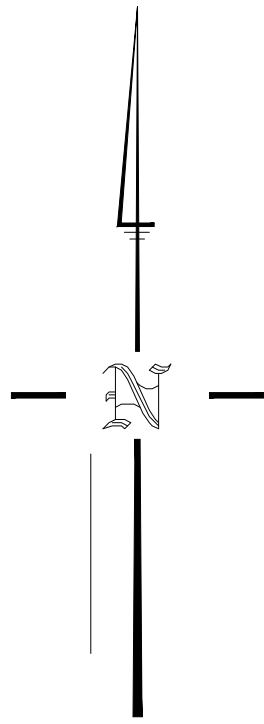
▲	PLANNING RESUBMITTAL 12/21/17
▲	PLANNING RESUBMITTAL 02/23/18

EXISTING EAST ELEVATION STREET FRONTAGE

MUNRO RESIDENCE
2 NW OF 7TH ON CARMELO
CARMEL, CALIFORNIA 93921

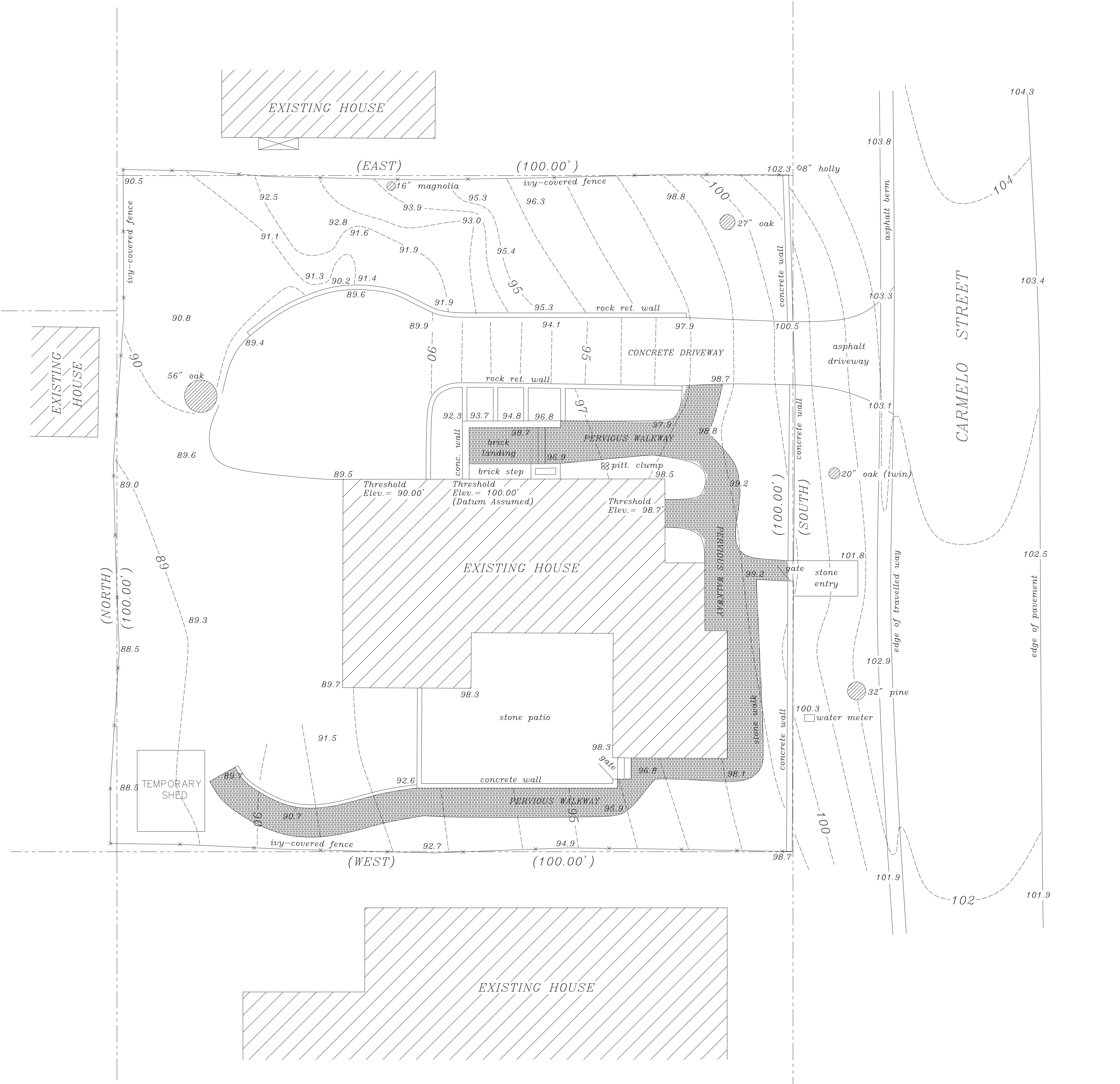
DATE: 04-09-18
SCALE: AS SHOWN
DRAWN: CAD
JOB:
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SHEET A3.3 OF SHEETS

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Scale: 1/8" = 1'-0"

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Munro Residence

2 NW of 7th on Carmello

Carmel

California

DATE: 23 February 2018

REVISIONS:

Plan Check

TOPO MAP

SCALE: 1/8" = 1'-0"

DRAWN BY:

CHECKED BY:

JOB NO.:

SHEET NO.: T-1

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