

# BUILDING RECONSTRUCTION

## Lot 17 & 19, Block 51

## 5th Avenue Between San Carlos & Dolores

### Carmel-By-The-Sea

#### PROJECT INFORMATION

PROJECT:	NEW REMODEL & MIXED USE	EXISTING FIRST FLOOR AREA:	1,176 S.F.
LOCATION:	LOT 17 & 19, BLOCK 51 5TH AVENUE BETWEEN SAN CARLOS & DOLORES	EXISTING SECOND FLOOR AREA:	1,148 S.F.
APN:	010-136-018	PROPOSED FIRST FLOOR AREA:	1,645 S.F.
ZONING:	SC SERVICE COMMERCIAL	PROPOSED SECOND FLOOR AREA:	1,875 S.F.
LOT SIZE:	3,600 S.F.	EXISTING BUILDING AREA:	2,234 S.F.
EXISTING BUILDING SITE COVERAGE:	2,055 S.F.	FLOOR AREA RATIO:	.98
PROPOSED BUILDING SITE COVERAGE:	2,187 S.F.	BUILDING HEIGHT:	23'-9"
		EXISTING MPERVIOUS AREA:	2,370 S.F.
		PROPOSED MPERVIOUS AREA:	664 S.F.

#### SHEET INDEX

SHT. #	SHEET TITLE
A001	COVER SHEET
<b>ARCHITECTURAL</b>	
A100	EXISTING SITE PLAN
A101	NEW SITE PLAN
D200	DEMOLITION FLOOR PLANS
A200	NEW FLOOR PLANS
A230	EXISTING & NEW ROOF PLAN
A301	DOOR SCHEDULE
A302	WINDOW & SKYLIGHT SCHEDULE
A400	EXISTING EXTERIOR ELEVATIONS
A401	NEW EXTERIOR ELEVATIONS
A402	NEW EXTERIOR ELEVATIONS
A403	NEW EXTERIOR ELEVATIONS
A404	EXTERIOR RENDERINGS
A405	AERIAL STREETSCAPE MONTAGE
A826	TRELLIS DETAILS

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**WALD RUHNKE & DOST ARCHITECTS LLP**

2340 GARDEN ROAD, SUITE 100  
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#### APPLICABLE BUILDING CODES & STANDARDS

- 2016 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (C.C.R.)
- 2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
- 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
- 2016 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
- 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
- 2016 CALIFORNIA ENERGY CODE (CEEC), PART 6, TITLE 24 C.C.R.
- 2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.
- 2016 CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 C.C.R.
- 2016 CALIFORNIA GREEN STANDARDS CODE (CALGreen), PART 11, TITLE 24 C.C.R.
- 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R.
- TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

#### PARTIAL LIST OF APPLICABLE STATE STANDARDS

- NFPA 13, AUTOMATIC SPRINKLER SYSTEMS, (CA AMENDED) 2016 EDITION
- NFPA 72, NATIONAL FIRE ALARM CODE, (CA AMENDED) 2016 EDITION

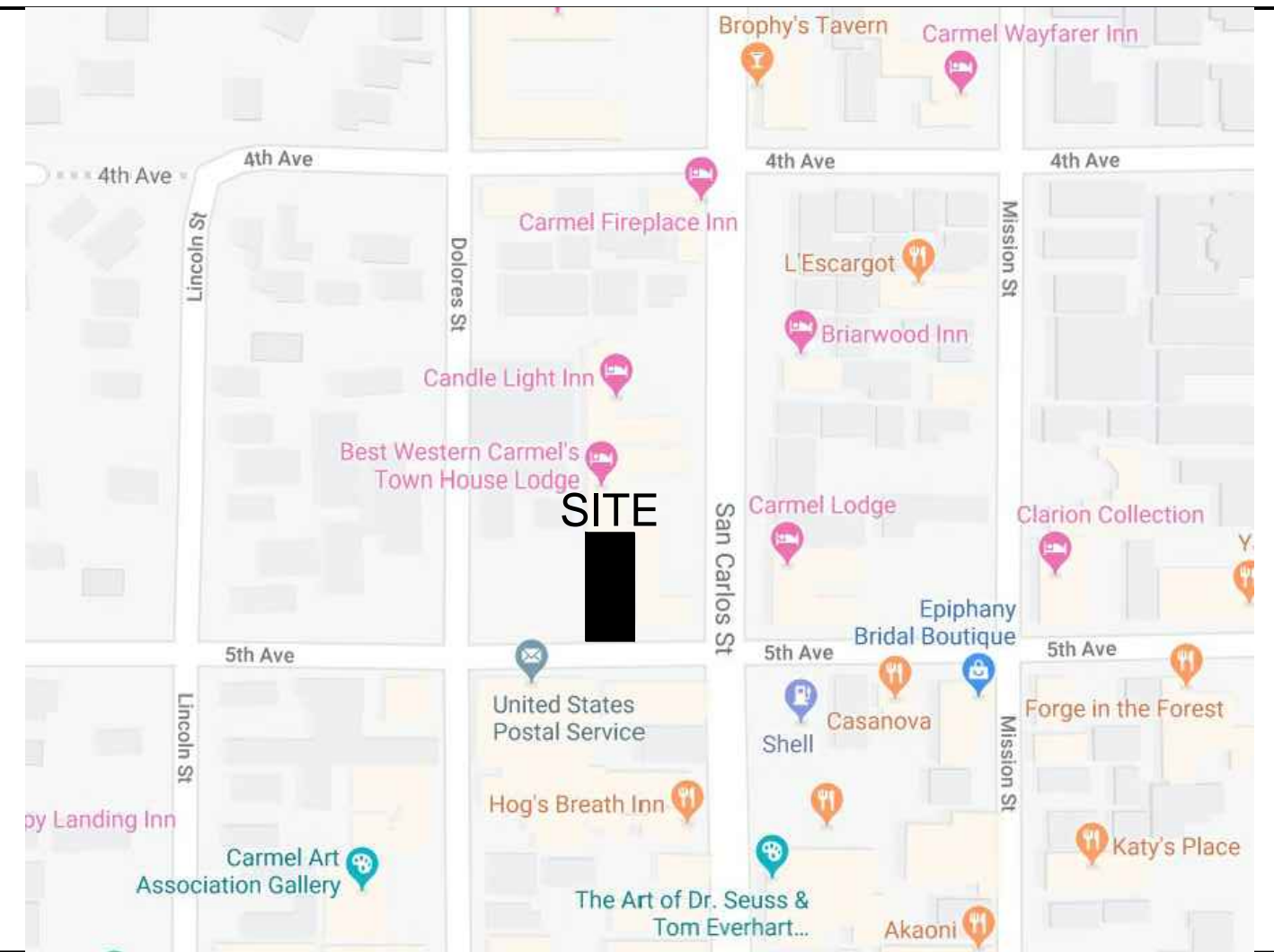
#### GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE.
- IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.
- THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.
- EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY (E) CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- ANY PROPOSED WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- PROVIDE ALL REQUIRED FIRE BLOCKING IN ACCORDANCE WITH SECTION 708 OF THE CURRENT ADOPTED EDITION OF C.B.C.

#### FIRE SPRINKLER NOTES

- DRAWINGS AND SUPPORTIVE CALCULATIONS FOR ALL MODIFICATIONS TO THE EXISTING FIRE SPRINKLER SYSTEM ARE REQUIRED TO BE SUBMITTED BY THE INSTALLING LICENSED FIRE SPRINKLER CONTRACTOR (C-16) TO THE FIRE PREVENTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY IN A "KNOX BOX" EXISTS, IF NOT A "KNOX BOX" SHALL BE PROVIDED AND LOCATED PER FIRE DEPARTMENT RECOMMENDATIONS. IF "KNOX BOX" EXISTS THEN CONTENTS SHALL BE UPDATED TO REFLECT NEW TENANT. EMERGENCY ACCESS KEYS INCLUDING A GRAND MASTER KEY FOR ROOMS, ELEVATOR OVERRIDE KEY, ACCESS KEY TO THE FIRE ALARM PANEL AND SPECIAL ACCESS KEYS (WHERE APPLICABLE) SHALL ALSO BE MADE PART OF THE "KNOX BOX" INVENTORY.
- FIRE ALARM PLAN SUBMITTED IS FOR REFERENCE ONLY; A SEPARATE SUBMITTAL IS REQUIRED. DRAWINGS AND SUPPORTIVE CALCULATIONS FOR ALL MODIFICATIONS TO THE EXISTING FIRE ALARM CONTRACTOR TO THE FIRE PREVENTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- ALL PLAN SUBMITTALS REQUIRING FIRE SPRINKLERS, FIRE SERVICE UNDERGROUND, FIRE ALARMS, AND HOOD AND DUCT SYSTEMS, SHALL BE SUBMITTED AND SHALL BE APPROVED BY THE FIRE DEPARTMENT AND STATE FIRE MARSHAL BEFORE A FRAMING INSPECTION SHALL BE GRANTED BY THE BUILDING DEPARTMENT.

#### VICINITY MAP



ABBREVIATIONS	LEGEND	SYMBOLS	PROJECT TEAM
<b>AND</b> ANGLE AT CENTERLINE DIAMETER OR ROUND PERPENDICULAR PROPERTY LINE POUND OR NUMBER	<b>FLASH</b> FLASHING FLOR. FACE OF F.O.B. F.O.C. F.O.F. F.O.M. F.O.S. FIREPLACE F.R.P. FULL FINISH FOOT FTG. FURR. FUR. FUT.	DOOR SYMBOL WINDOW SYMBOL KEY TAG DEMOLITION TAG MATCH LINE WORK POINT, DATUM POINT OR CONTROL VERTICAL OR HORIZONTAL DIAPHRAGM KEY	<b>OWNER</b>  STUART CLARK P.O. BOX 221815 CARMEL, CA 93922 ph: (831) 622-8313 Email: sclark@cfcnc.com Contact: STUART CLARK
<b>A.B.</b> A.B.S. ABV. A.A. AAC. ACOUS. ADJ. A.F.F. AGGR. ALUM. ANOD. A.P.A. ASSOCIATION APPROX. ARCH. A.S.	<b>FLASHING</b> FLOORING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUO FIREPLAC FIBERGLASS REINF. PANEL FULL FINISH FOOT/FEET FOOTING FURRED(ING) FUTURE GALV. GALVANIZED G.B. G.I. GLASS/GLAZING GL. G.L.B. G.R. G.W.B.	EARTH ROCK SAND, MORTAR, PLASTER CONCRETE BLOCK CAST-IN-PLACE (C.I.P.) CONCRETE (E) STUD WALL (N) STUD WALL (E) STUD WALL TO BE REMOVED SOUND INSULATED STUD WALL METAL WOOD FINISH WOOD FRAMING CONTINUOUS MEMBER WOOD BLOCKING PLYWOOD GYPSUM WALLBOARD A.C. PAVING	<b>ARCHITECT</b>  WALD, RUHNKE & DOST ARCHITECTS, LLP 2340 GARDEN ROAD, SUITE 100 MONTEREY, CA 93940 ph: (831) 649-4642 fax: (831) 649-3530 Email: architects@wrdrarch.com Contact: HENRY RUHNKE
<b>BD.</b> BIT. BLDG. BLK. BLKG. BLK.G. BM. B.M. BENCH MARK BOT. BRG. BYWN. B.U.R. B.W.	<b>H.B.</b> HARDBOARD HBD. HOLLOW CORE HDR. HEADER HDR. HARDWARE H.M.Z. HORIZONTAL H.S. HEAVY SHEET HT. HEIGHT HTG. HOT WATER HW. HARDWOOD H.V. HEATING/VENTILATING/AIR CONDITIONING	SECTION IDENTIFICATION SECTION IDENTIFICATION SECTION IDENTIFICATION DETAIL IDENTIFICATION DETAIL IDENTIFICATION FINISH GRADE (SPOT) ELEVATION SURFACE EXISTING GRADE (SPOT) ELEVATION SURFACE PROPERTY LINE REVISION	<b>SURVEYOR</b>  CENTRAL COAST SURVEYORS 5 HARRIS COURT, SUITE N111 MONTEREY, CA 93940 ph: (831) 384-4330 Email: dave@ccsurveyors.com Contact: DAVE EDSON
<b>BAR.</b> B.C. CALIFORNIA BUILDING CODE CEM. CER. CFCL. C.F. C.I. C.J. C.I.E. CLG. CLKG. CL.F. C.M.U. COLUMN COMP. CONC. CONN. CONSTR. CONT. COR. C.O.T.G. C.SMT. CSWK. G.T. CTR. CTSK. C.Y.	<b>HARDWARE</b> HOLE LOW CORE HOLLOW CORE HOLLOW METAL HORIZONTAL HEAVY SHEET HEATING HOT WATER HARDWOOD HEATING/VENTILATING/AIR CONDITIONING INTERNATIONAL CODE INSIDE DIAMETER INCLUDED (ING) INSULATED (INS) INTERIOR INVERT JAN. JANITOR JOIST HANGER JOINT KIT. KITCHEN L. LENGTH LAM. LAMINATE LAV. LAVATORY L.V.L. LAMINATED VENEER LUMBER L.W. LIGHTWEIGHT MAS. MASONRY MAT. MATERIAL(S) MAX. MAXIMUM M.B. MACHINE BOLT M.C. MEDICINE CABINET M.H. MAN HOLE MECH. MECHANICAL MEMB. MEMBRANE MEZZ. MEZZANINE MFR. MANUFACTURE(ER) MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.L.D. MOLDING/MOULDING M.I.W. MALLEABLE IRON WASHER M.O. MASONRY OPENING MTO. MOUNTED MET. METAL MULL. MULLION N. NORTH (N) NEW NAT. NATURAL N.L.C. NOT IN CONTRACT NOM. NOMINAL N.T.S. NOT TO SCALE O. OVER OBS. OBSOLETE O.C. ON CENTER(S) O.D. OUTSIDE DIAMETER OFF. OFFICE OFCL. OWNER FURNISHED OFCL. OWNER INSTALLED OFOI. OWNER FURNISHED OWNER INSTALLED O.H. OVER HANG O.H.M.S. OVALHEAD MACHINE SCREW OPNG. OPENING OPP. OPPOSITE P.A.F. POWDER ACTUATED FASTENER P.B. PANIC BAR PART. TBO PARTICLE BOARD P.C.F. POUNDS PER CUBIC FOOT P.D. POWDER DRIVEN P.G. PAINT GRADE PERF. PERFORATE P.L.F. POUNDS PER LINEAR FOOT PLAS. LAM. PLASTIC LAMINATE PLAS. PLASTER P.L.W.D. PLYWOOD PR. PAIR		

BUILDING RECONSTRUCTION

5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS

A.P.N.: 010-136-019

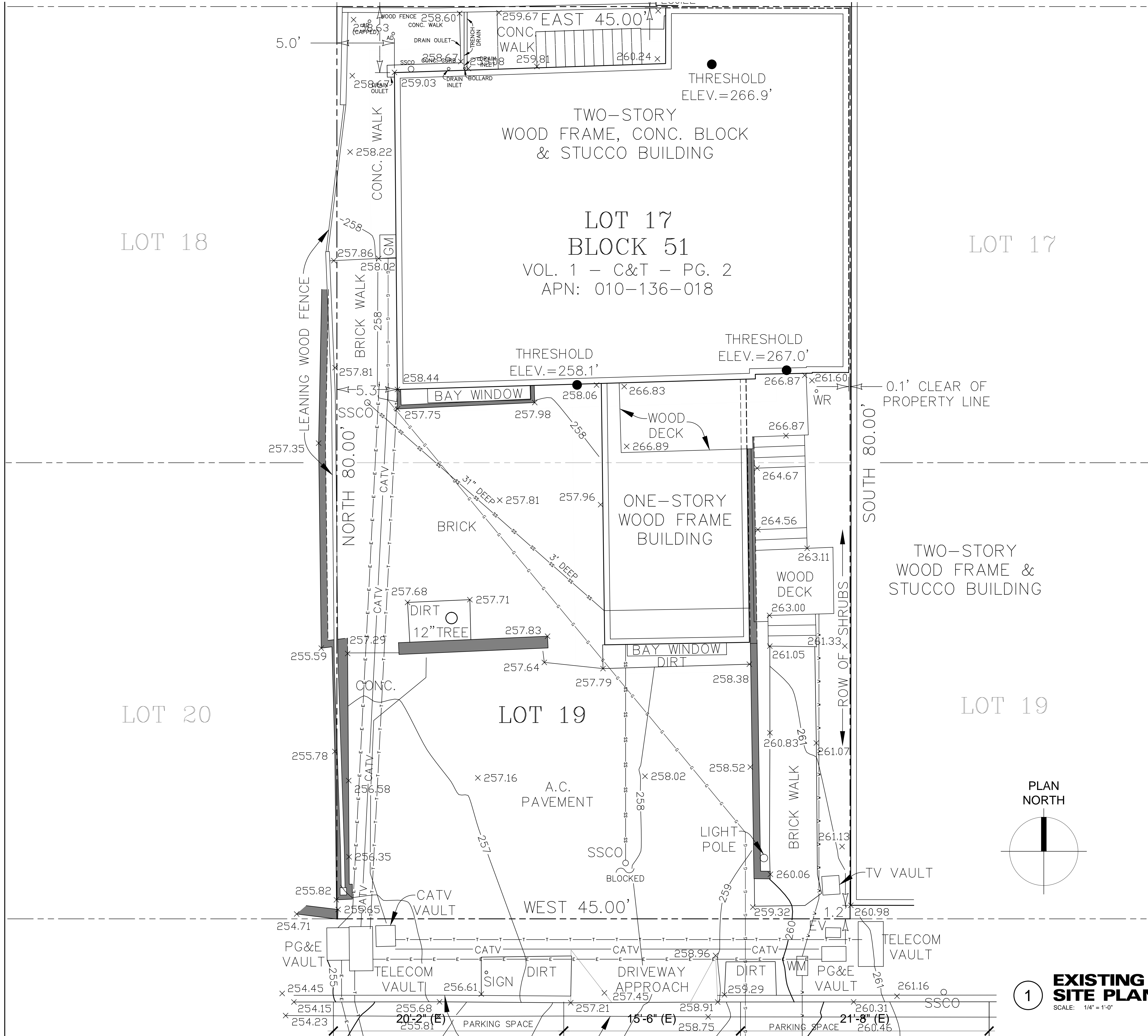
JOB NO.:  
**18204**

PRINT DATE:  
PLOT DATE: 8.8.2019

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CHECKED BY:  
SET ISSUED:

SHEET NAME:  
COVER SHEET  
SHEET NO.:  
**A001**

FILE NAME: 18204-A001



**SITE DEMOLITION NOTES**

ALL EXISTING ON-SITE PAVING, FENCING, LANDSCAPING, EXTERIOR BUILDING STAIR, AND UTILITY POINT OF CONNECTIONS SHALL BE REMOVED. EXISTING 12" DIAMETER MAGNOLIA TREE AND MASONRY RETAINING WALLS SHALL BE PRESERVED.

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**WR&D**  
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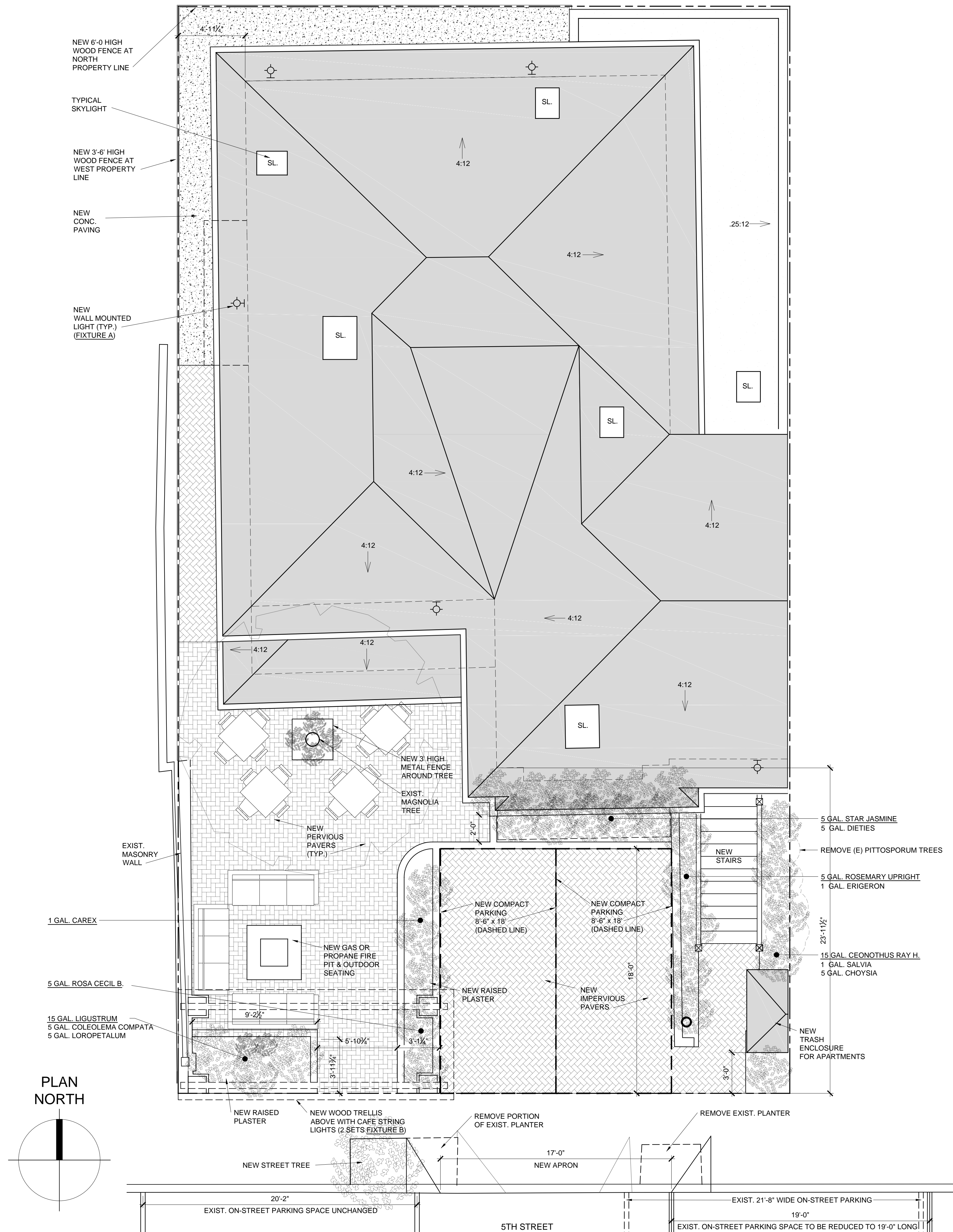
SHEET NAME:

EXISTING  
 SITE PLAN

SHEET NO.:

**A100**

FILE NAME: 18204-A100



**PLANT LIST**

1. LIGUSTRUM
2. COLEONEMA COMPACTUM
3. LOROPETALUM CHINENSE "SUSANNE"
4. ROSA CECIL BRUNNER
5. STAR JASMINE
6. CAREX
7. ROSMARINUS BLUE SPIRES
8. DIETES VEGETA
9. SALVIA GREGGII
10. ERIGERON
11. CONVULVULUS
12. LIMONIUM PEREZII
13. CEANOTHUS RAY HARTMAN

**LIGHT FIXTURES**

**FIXTURE A**  
 SEAGULL LIGHTING:  
 FREDERICKSBURG SMALL  
 OUTDOOR WALL SCONCE  
 14 WATT LED BULB  
 3000 K  
 1000 GROSS LUMENS



**STORM WATER NOTES**

1. ROOF RUNOFF TO BE DISCHARGED INTO RAIN BARRELS
2. COURTYARD DRAINAGE SHALL BE DISSIPATED INTO GROUND BY PERVIOUS PAVING.

**1 PROPOSED SITE PLAN**  
 SCALE: 1/4" = 1'-0"

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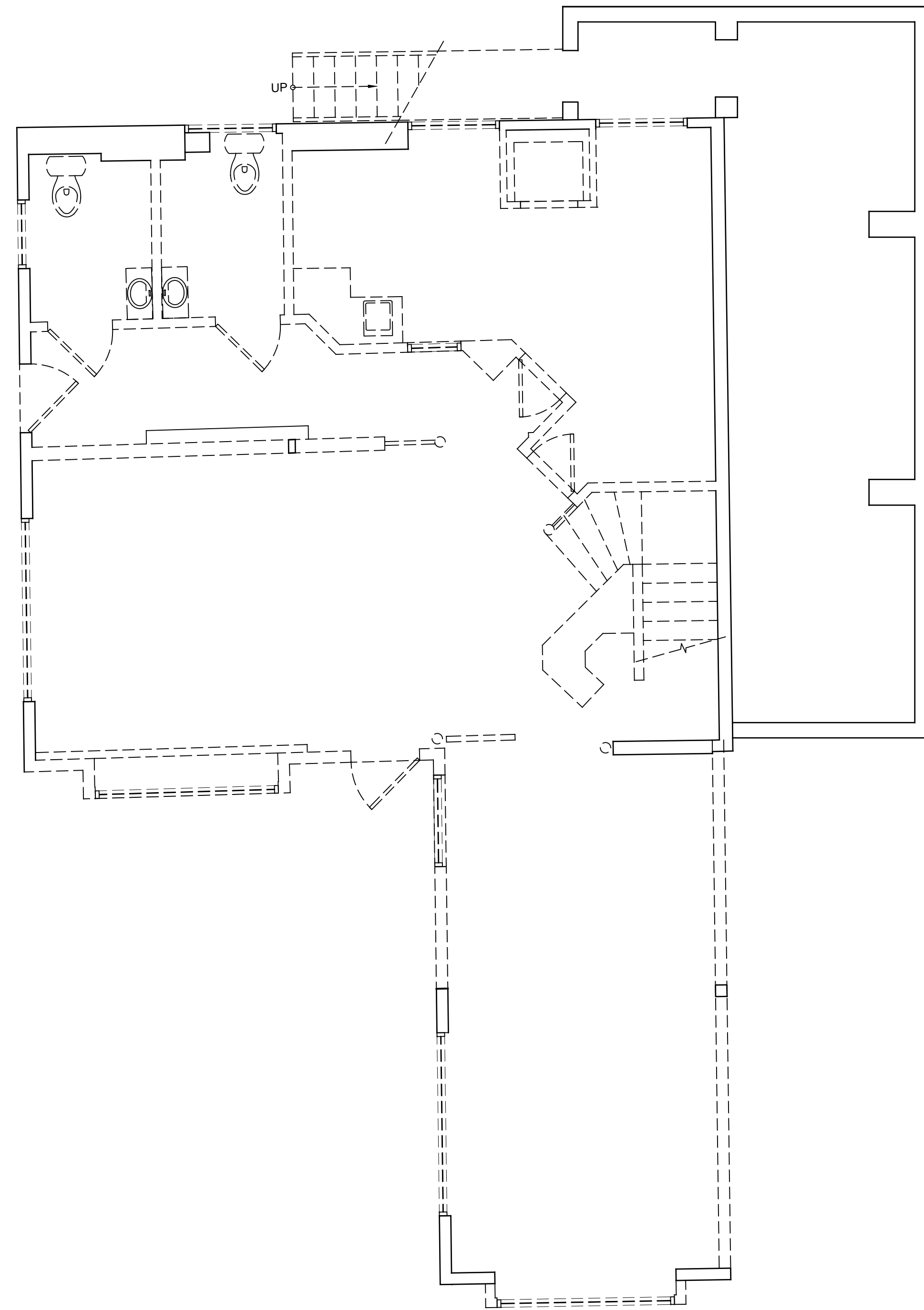
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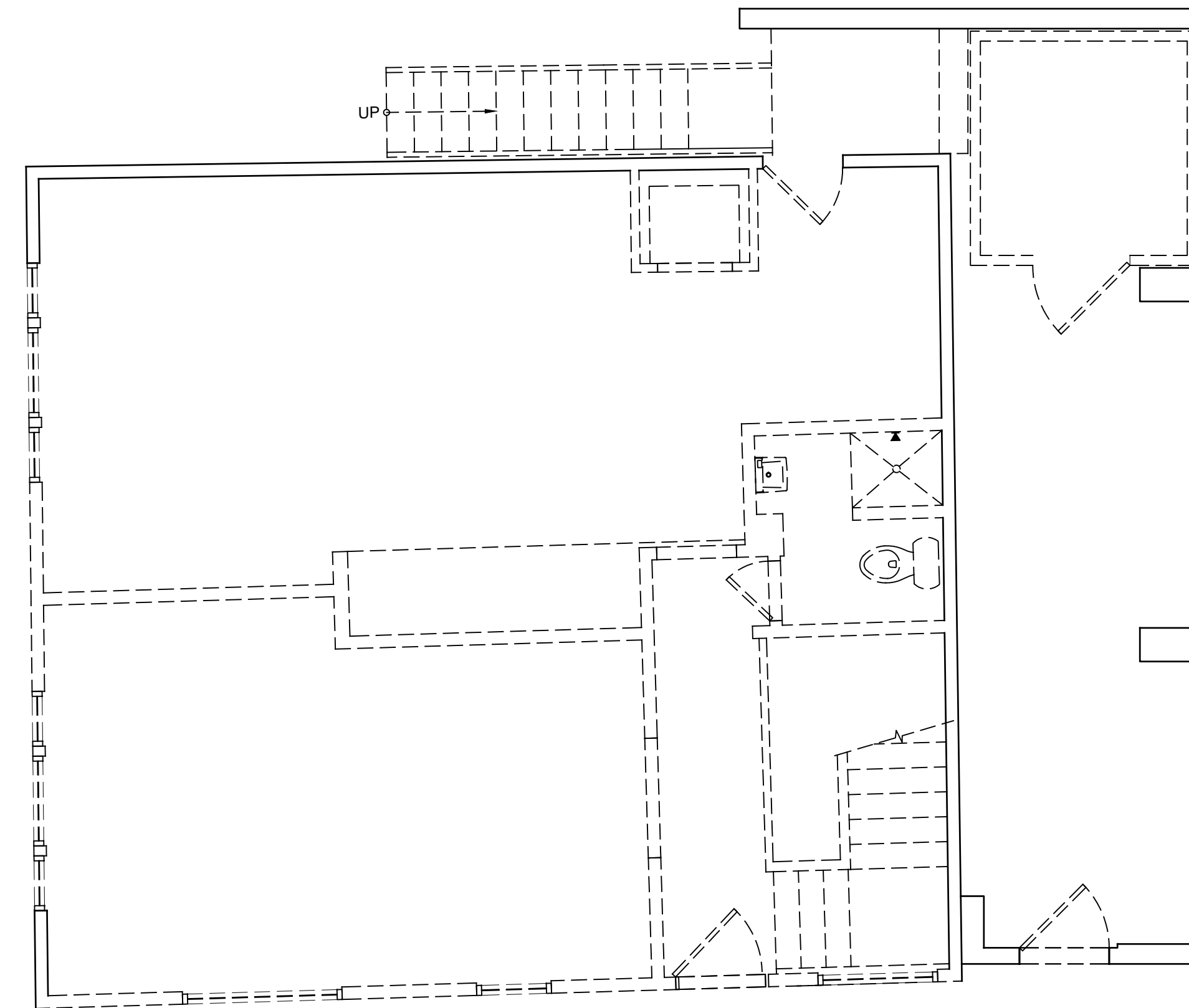
SHEET NAME:  
**SITE PLAN**

SHEET NO.:  
**A101**

FILE NAME: 18204-A101



**1** **DEMOLITION FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2** **DEMOLITION SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**LEGEND**

----- BUILDING ELEMENT TO BE REMOVED

===== BUILDING ELEMENT TO REMAIN

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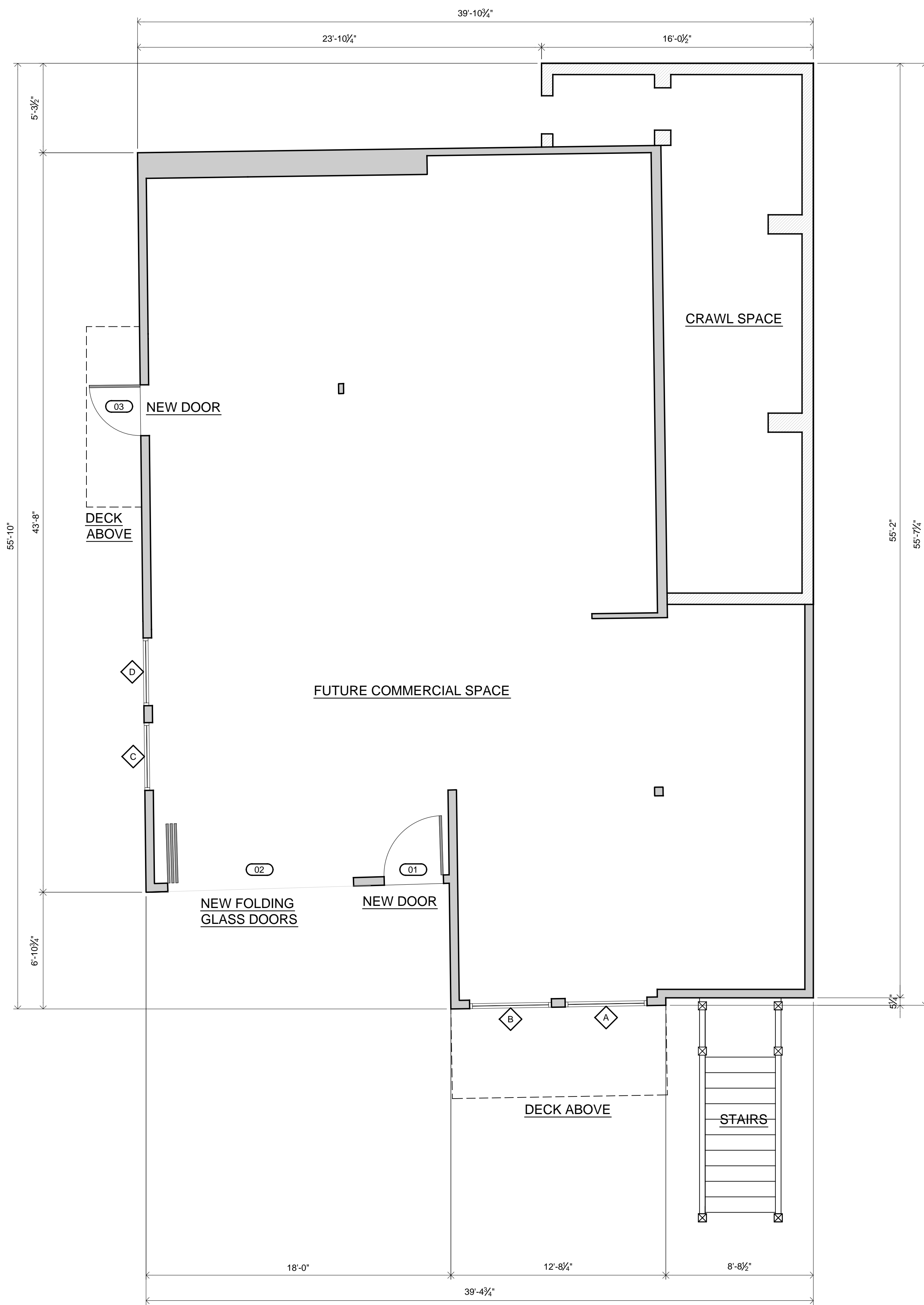
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**DEMOLITION FLOOR PLANS**

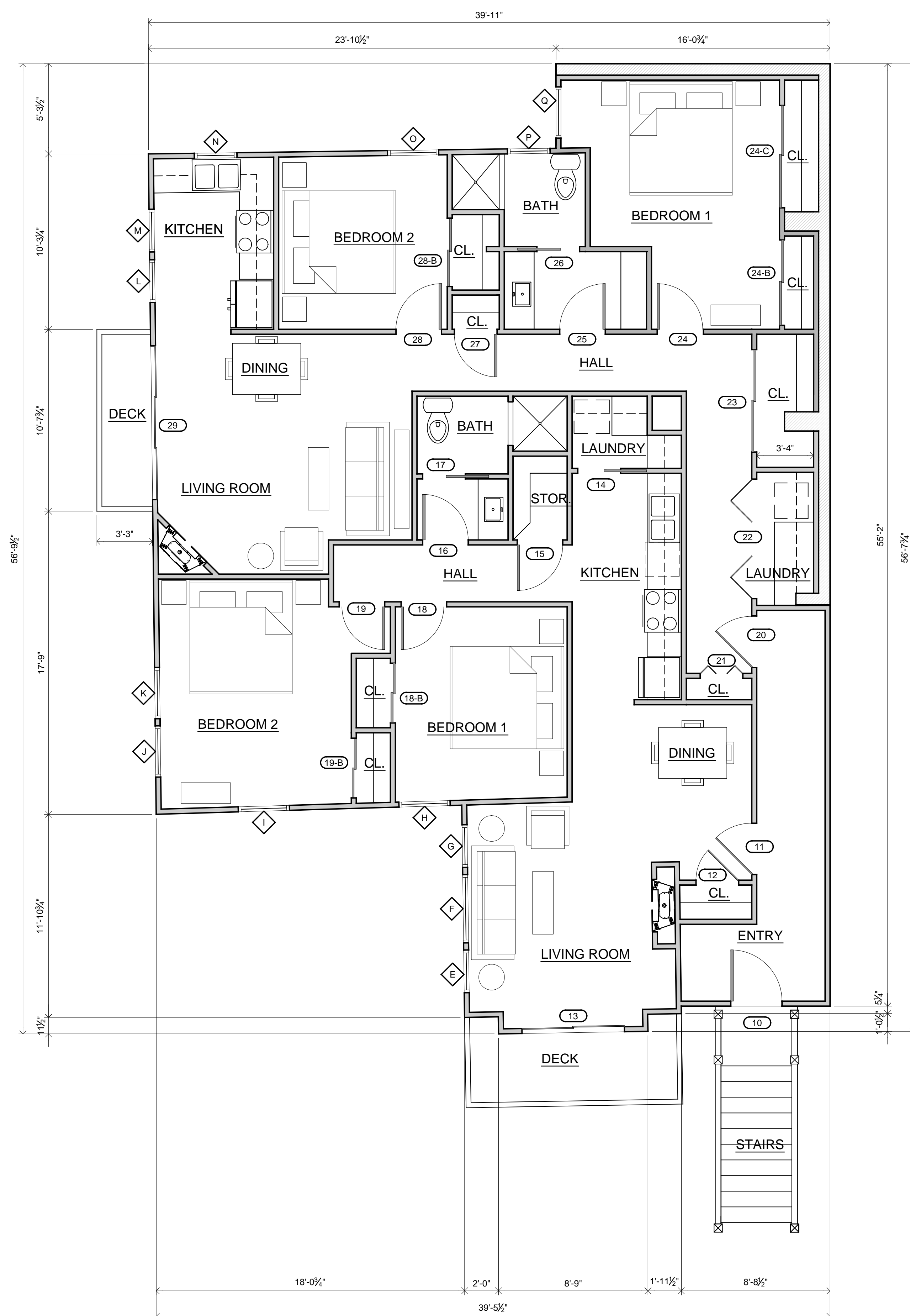
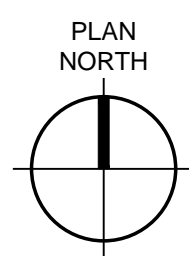
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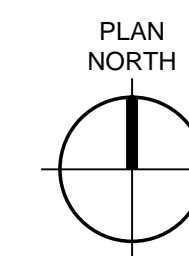
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**1 PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



APARTMENT A  
1,057 S.F.

APARTMENT B  
816 S.F.

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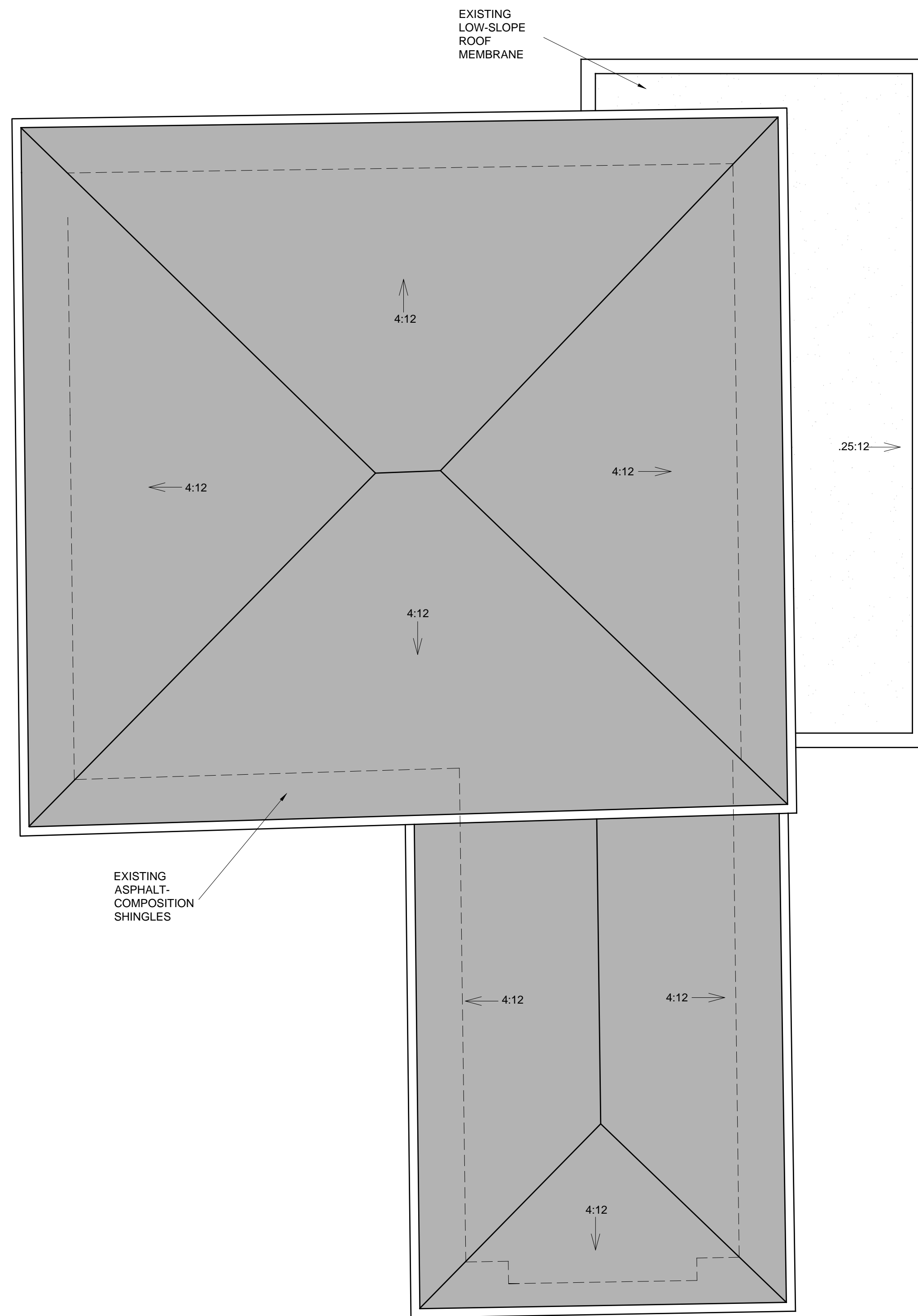
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**PROPOSED FLOOR PLAN**

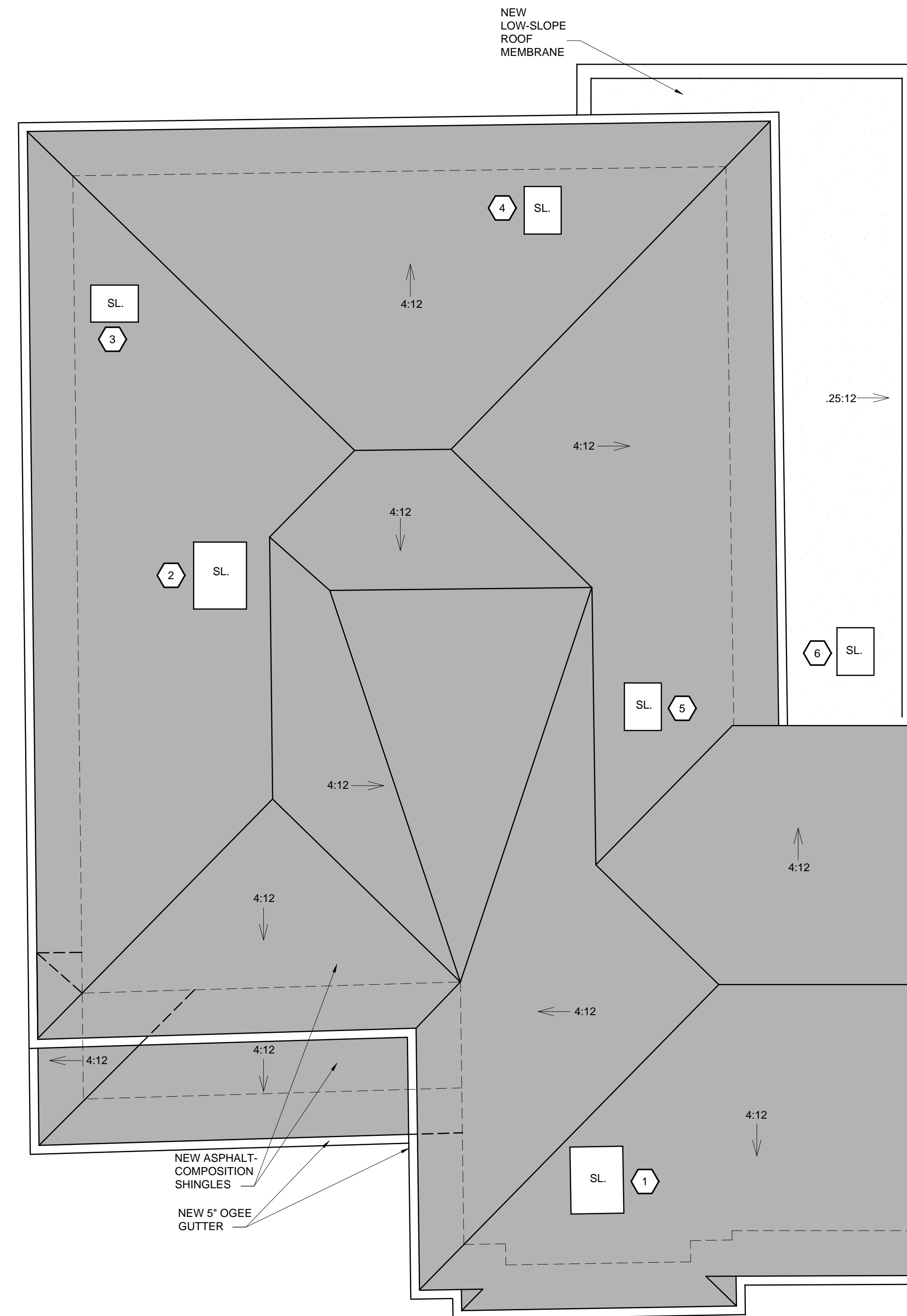
SHEET NO.:

**A200**

FILE NAME: 18204-A200



1 **EXISTING ROOF PLAN**  
SCALE: 1/4" = 1'-0"



2 **PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0"



BUILDING RECONSTRUCTION

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SET ISSUED:

SHEET NAME:

EXISTING &  
PROPOSED  
ROOF PLAN

SHEET NO.:

A230

FILE NAME: 18204-A230

# DOOR SCHEDULE

DOOR TAG	DOOR			SIZE			DETAIL REFERENCE			FRAME ASSEMBLY	HARDWARE GROUP	GLASS TYPE	FIRE RATING (SEE NOTE 6)	NOTES
	DOOR TYPE	FINISH		WIDTH	HEIGHT	THK.	HEAD	JAMB	THRESH.					
01	VII		●	3'-0"	7'-0"	1-3/4"				WD		-		
02	X	●		12'-0"	7'-0"					WD		-		
03	XII		●	3'-0"	7'-0"	1-3/4"				WD		-		
10	I		●	3'-0"	6'-8"	1-3/4"				WD		-		
11	VI		●	3'-0"	6'-8"	1-3/4"				WD		-		
12	II		●	2'-6"	6'-8"	1-3/8"				WD		-		
13	XI	●		6'-0"	6'-8"					WD		-		
14	IV		●	2'-6"	6'-8"	1-3/8"				WD		-		
15	II		●	2'-8"	6'-8"	1-3/8"						-		
16	II		●	2'-8"	6'-8"	1-3/8"						-		
17	IV		●	2'-6"	6'-8"	1-3/8"						-		
18	II		●	2'-8"	6'-8"	1-3/8"						-		
18 B	III		●	3'-6"	6'-8"	1-3/8"				WD		-		
19	II		●	2'-8"	6'-8"	1-3/8"						-		
19 B	III		●	3'-6"	6'-8"	1-3/8"						-		
20	VI		●	3'-0"	6'-8"	1-3/4"				WD		-		
21	XIII		●	2'-6"	6'-8"	1-3/8"				WD		-		
22	XIII		●	7'-0"	6'-8"	1-3/8"				WD		-		
23	III		●	6'-0"	6'-8"	1-3/8"				WD		-		
24	II		●	2'-8"	6'-8"	1-3/8"				WD		-		
24-B	III		●	5'-0"	6'-8"	1-3/8"						-		
24-C	III		●	6'-0"	6'-8"	1-3/8"						-		
25	II		●	2'-8"	6'-8"	1-3/8"				WD		-		
26	IV		●	2'-6"	6'-8"	1-3/8"				WD		-		
27	II		●	2'-6"	6'-8"	1-3/8"				WD		-		
28	II		●	2'-8"	6'-8"	1-3/8"				WD		-		
28-B	III		●	4'-0"	6'-8"	1-3/8"				WD		-		
29	V	●		9'-0"	8'-5"	1-3/4"				WD		-		

# DOOR TYPES

**TYPE I** EXTERIOR MDF STILE AND RAIL DOOR:  
TRUSTILE TS 3290 (FLAT PANEL, SQUARE STICKING)

**TYPE II** INTERIOR MDF STILE AND RAIL DOOR:  
TRUSTILE TS 1000 (FLAT PANEL, SQUARE STICKING)

**TYPE III** INTERIOR MDF STILE AND RAIL DOOR (BYPASS DOORS):  
TRUSTILE TS 1000 (FLAT PANEL, SQUARE STICKING)

**TYPE IV** INTERIOR MDF STILE AND RAIL DOOR (POCKET DOORS):  
TRUSTILE TS 1000 (FLAT PANEL, SQUARE STICKING)

**TYPE V** EXTERIOR VINYL SLIDING DOOR:  
MILGARD TUSCANY VINYL

**TYPE VI** FIRE-RATED INTERIOR MDF STILE AND RAIL DOOR:  
20 MIN FIRE DOOR (FLAT PANEL, SQUARE STICKING)

**TYPE VII** EXTERIOR FRENCH DOOR:

**TYPE X** VINYL FOLDING DOOR:  
LaCANTINA DOORS - FOLDING

**TYPE XI** EXTERIOR VINYL SLIDING DOOR:  
MILGARD TUSCANY VINYL

**TYPE XII** EXTERIOR VINYL DOOR:  
MILGARD TUSCANY VINYL

**TYPE XIII** INTERIOR MDF STILE AND RAIL DOOR (BI-FOLD DOOR):  
TRUSTILE TS 1000 (FLAT PANEL, SQUARE STICKING)

# GLASS TYPES

GL-01: SEE SPECIFICATIONS  
ALL GLAZING SHALL BE TEMPERED.

## DOOR GENERAL NOTES

- REFER TO SPECIFICATIONS FOR HARDWARE GROUPS.
- ALL EGRESS DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR EFFORT.
- SEE FINISH LEGEND ON SHEET A303 FOR DOOR AND DOOR TRIM PAINT COLOR INFO.
- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED WITH PEMKO S88D WEATHER STRIPPING, U.N.O.
- THE FORMALDEHYDE EMISSION LEVEL OF ALL NEW DOORS SHALL NOT EXCEED 20 ppb.
- DOORS SEPARATING THE DWELLING UNIT AND GARAGE SHALL BE EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING HARDWARE.
- DOORS SEPARATING CONDITIONED AND NONCONDITIONED SPACE SHALL BE WEATHER STRIPPED OR GASKETED TO EFFECTIVELY AND RELIABLY LIMIT AIR INFILTRATION. ADHESIVE FOAM-TYPE OR FELT WEATHER STRIPPING IS NOT ACCEPTABLE.

## ABBREVIATIONS

ALUM	ALUMINUM	FAC	FACTORY APPLIED FINISH	SS	STAINLESS STEEL
ANZ	ANODIZED	FP	FIELD PAINTED	STN	STAINED
BR	BULLET-RESISTANT	GL	GLASS	SC	SOLID CORE WOOD
BZ	BUZZER, REFER TO SECURITY DRAWINGS	ME	MATCH EXISTING	SP	SHOP PAINTED
CL	CLEAR	MH	MAGNETIC HOLD OPEN	SS	STAINLESS STEEL
CR	CARD READER	MIN	MINUTES	STL	STEEL
DH	DOOR HOLD OPEN	MTL	HOLLOW METAL	STN	STAIN
E	EXISTING	PB	PANIC BAR	VAR	VARNISH
		PL	PLASTIC LAMINATE	SGL	SINGLE
		PR	PAINT	DBL	DOUBLE

**50**  
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**BUILDING RECONSTRUCTION**  
5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS  
A.P.N.: 010-136-019

JOB NO.:  
**18204**  
PRINT DATE:  
PLOT DATE: 8.8.2019  
DRAWN BY:  
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SET ISSUED:  
SHEET NAME:

**DOOR SCHEDULE**  
SHEET NO.:  
**A301**  
FILE NAME: 18204-A301

## SKYLIGHT SCHEDULE

WINDOW	GLAZING		SIZE		DETAIL REFERENCE			GLASS TYPE	NOTES
	SINGLE	DOUBLE	WIDTH	HEIGHT	HEAD	JAMB	SILL		
	1			2'-6"	3'-2"				
2			2'-6"	3'-2"				VELUX ELECTRIC 'FRESH AIR' WITH SHADE	
3			1'-9"	2'-3"				VELUX ELECTRIC 'FRESH AIR' WITH SHADE	
4			1'-9"	2'-3"				VELUX ELECTRIC 'FRESH AIR' WITH SHADE	
5			1'-9"	2'-3"				VELUX ELECTRIC 'FRESH AIR' WITH SHADE	
6			1'-9"	2'-3"				VELUX ELECTRIC 'FRESH AIR' WITH SHADE	

## WINDOW SCHEDULE

WINDOW	TYPE	GLAZING		SIZE		DETAIL REFERENCE			GLASS TYPE	HEADER R.O. HEIGHT	LOCATION
		SINGLE	DOUBLE	WIDTH	HEIGHT	HEAD	JAMB	SILL			
		A	III	●		4'-6 1/2"	4'-10 1/2"				
B	III	●		4'-6 1/2"	4'-10 1/2"						
C	IV	●		4'-0"	4'-8"						
D	IV	●		4'-0"	4'-8"						
E	I	●		2'-6"	5'-0"						
F	V	●		4'-0"	5'-0"						
G	I	●		2'-6"	5'-0"						
H	II	●		3'-0"	5'-0"						
I	II	●		3'-0"	5'-0"						
J	II	●		3'-0"	5'-0"						
K	II	●		3'-0"	5'-0"						
L	I	●		2'-6"	5'-0"						
M	I	●		2'-6"	5'-0"						
N	II	●		3'-0"	5'-0"						
O	II	●		3'-0"	5'-0"						
P	II	●		3'-0"	5'-0"						
Q	I	●		2'-6"	5'-0"						

## WINDOW NOTES

1. CONTRACTOR IS RESPONSIBLE FOR REVIEWING FLOOR PLAN AND INTERIOR / EXTERIOR ELEVATIONS FOR VERIFICATION OF QUANTITY AND LOCATIONS OF ALL WINDOW TYPES.
2. ALL ROUGH OPENING DIMENSION SHALL BE FIELD VERIFIED PRIOR TO ORDERING WINDOWS.
3. WINDOWS NOTED AS 'EGRESS' SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING HEIGHT SHALL NOT BE LESS THAN 24-INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20-INCHES
4. WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 24-INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72-INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL BE EQUIPPED WITH WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW TO LESS THAN SPECIFIED IN NOTE 3.
5. PROVIDE HORIZONTAL LOUVER BLINDS ON ALL WINDOWS.

## GLASS TYPES

GL-01: SEE SPECIFICATIONS

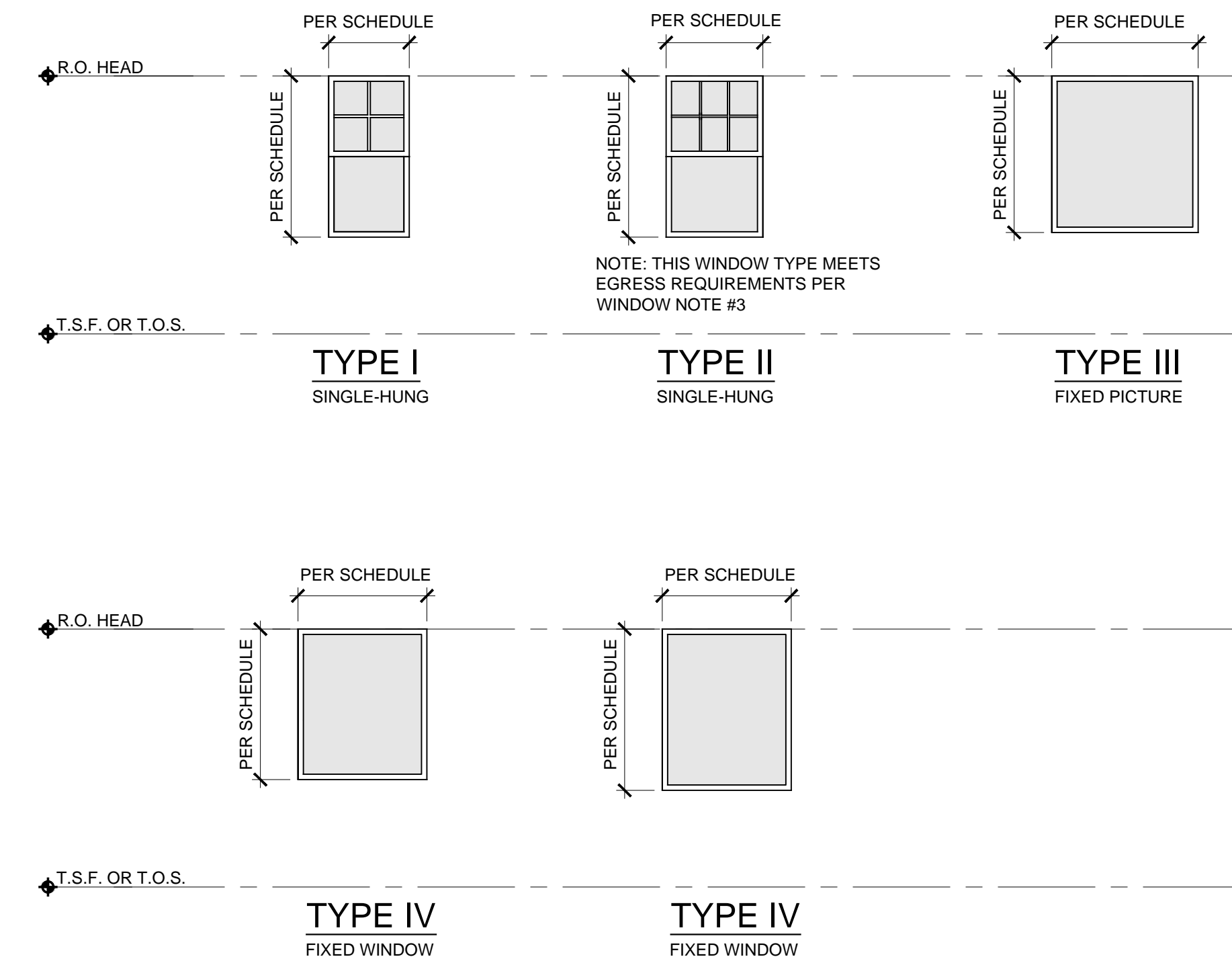
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## WINDOW TYPES



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 A.P.N.: 010-136-019

JOB NO.:  
**18204**

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PLOT DATE: 8.8.2019

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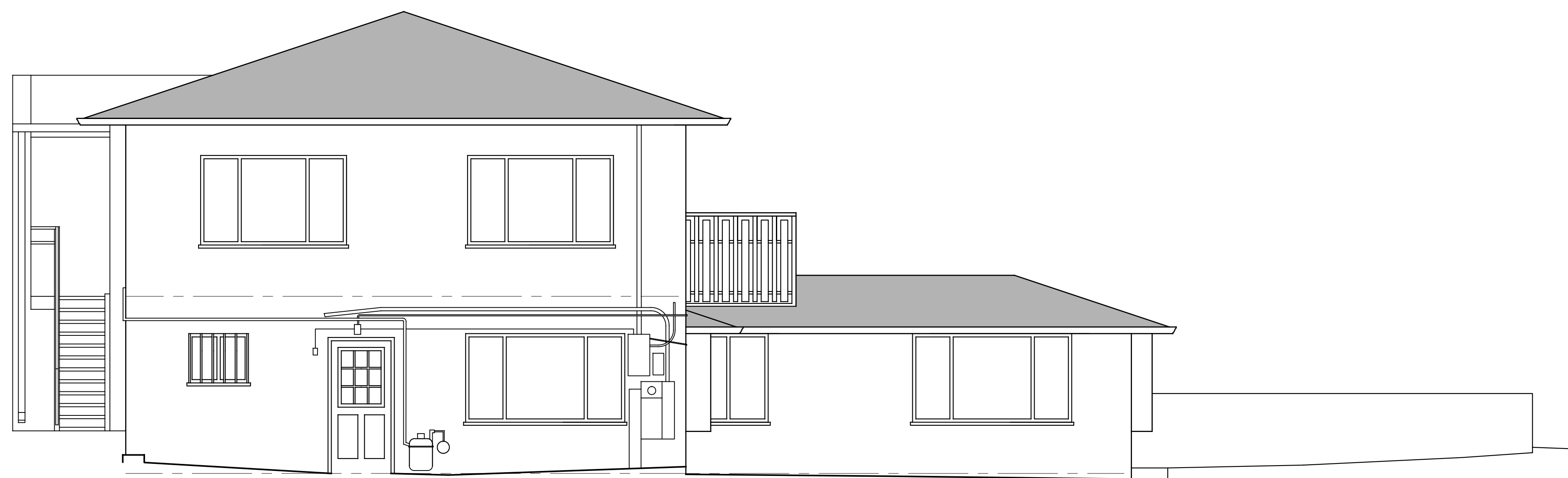
SHEET NAME:  
**WINDOW & SKYLIGHT SCHEDULE**

SHEET NO.:  
**A302**





1 **EXISTING FRONT EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



2 **EXISTING SIDE EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

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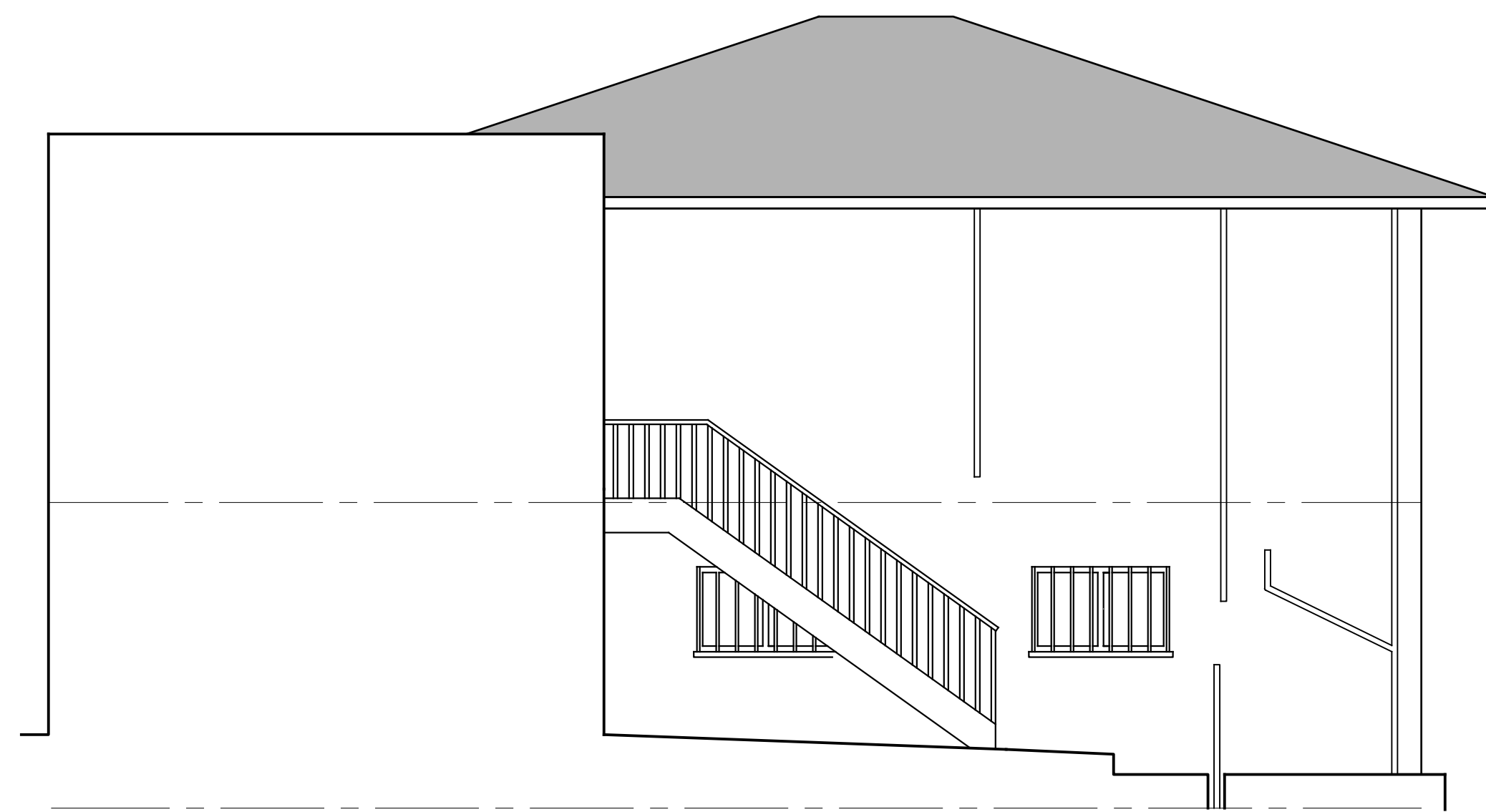
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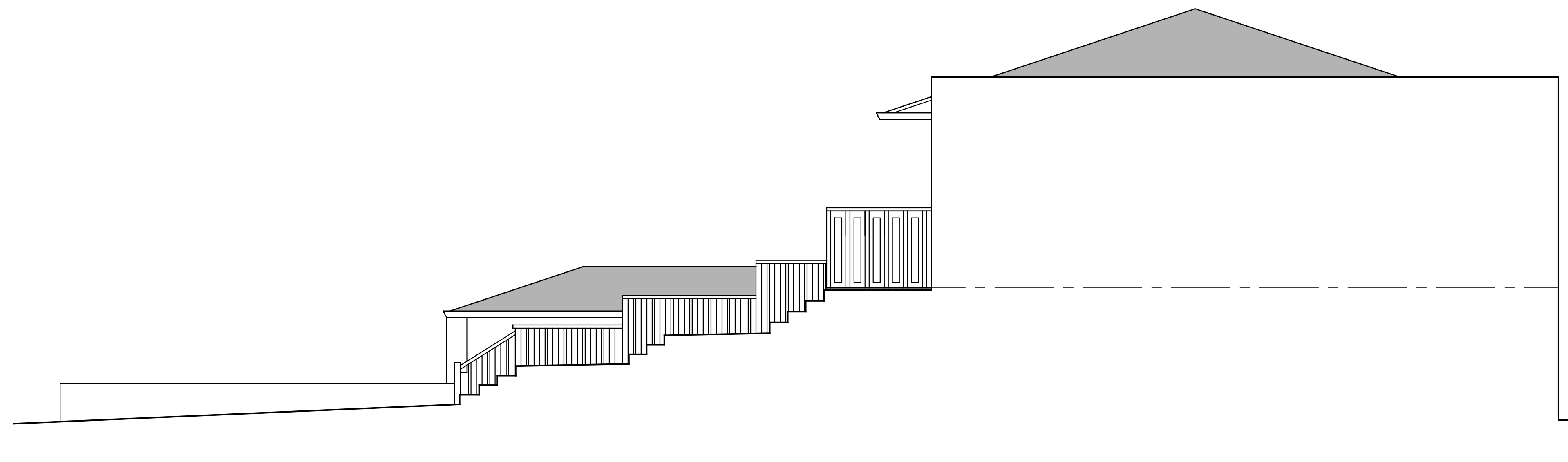
SHEET NO.:

A400

FILE NAME: 18204-A400



1 **EXISTING REAR  
EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



2 **EXISTING SIDE  
EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

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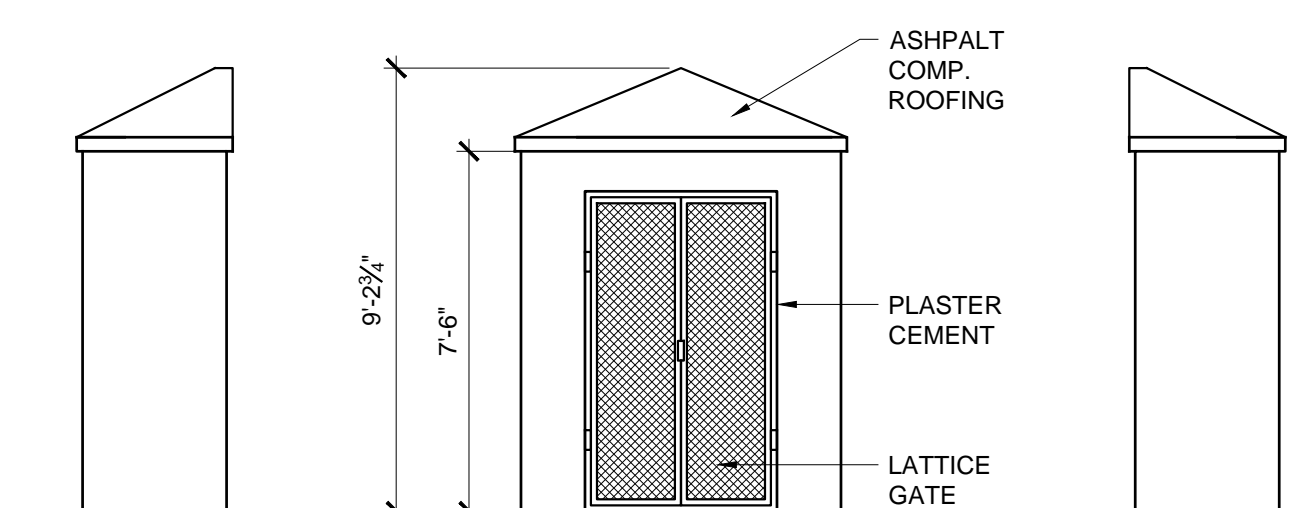
SHEET NAME:

EXISTING  
ELEVATIONS

SHEET NO.:

A401

FILE NAME: 18204-A401



**3 TRASH ENCLOSURE**  
SCALE: 1/4" = 1'-0"



**1 FRONT EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 SIDE EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

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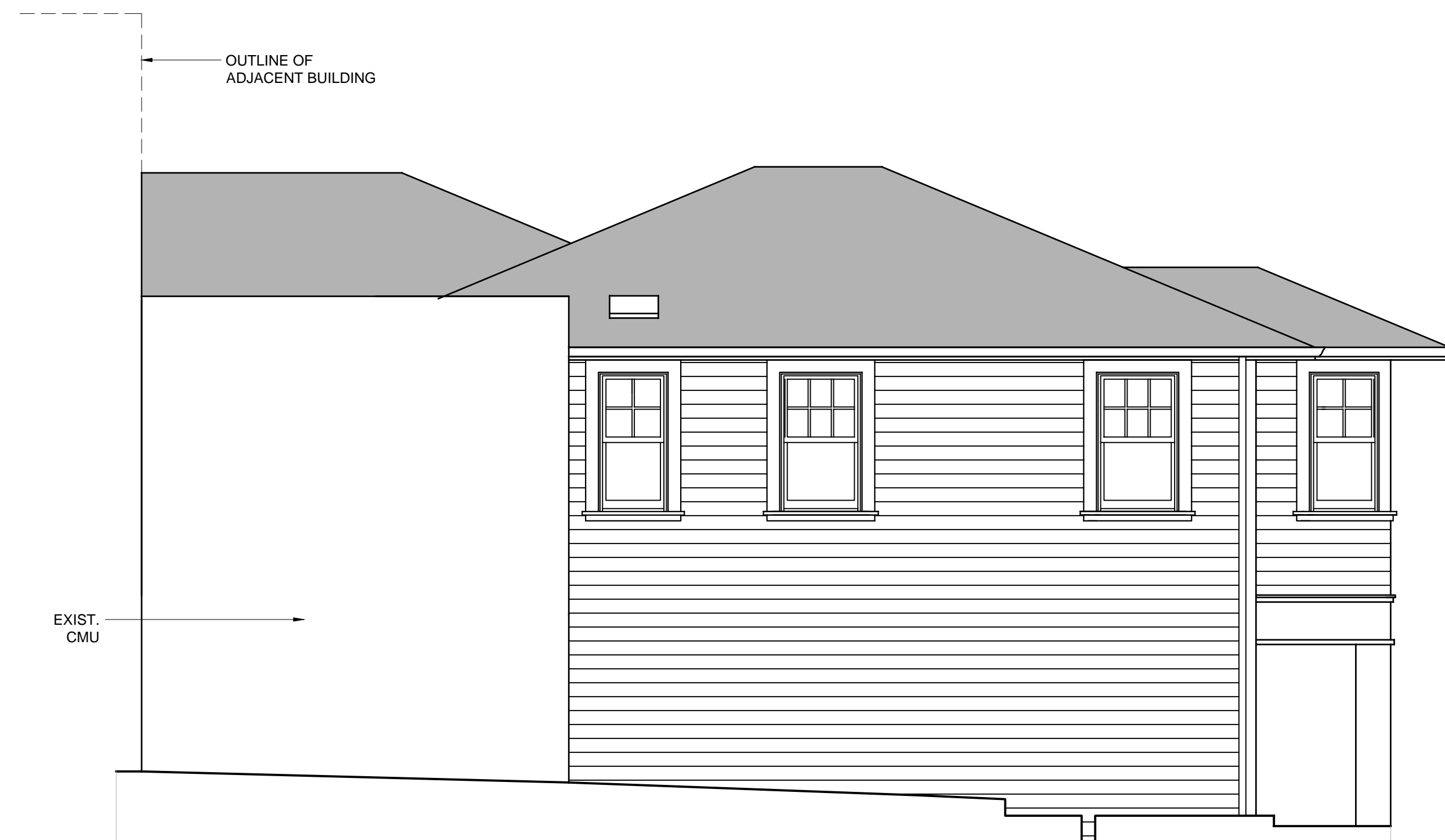
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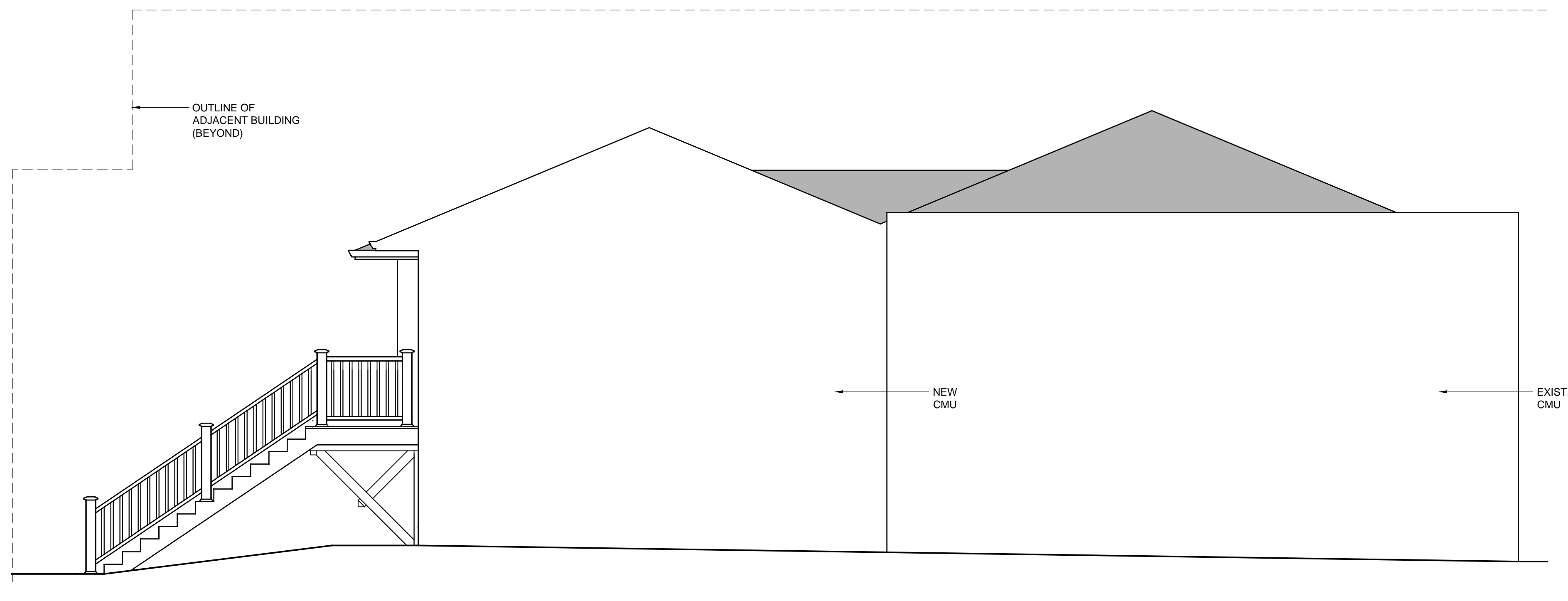
SHEET NAME:  
**NEW EXTERIOR ELEVATIONS**

SHEET NO.:  
**A402**

FILE NAME: 18204-A402



1 **REAR EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



2 **SIDE EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

BUILDING RECONSTRUCTION

5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS

A.P.N.: 010-136-019

JOB NO.:

18204

PRINT DATE:

PLOT DATE: 8.8.2019

DRAWN BY:

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SHEET NAME:

NEW EXTERIOR ELEVATIONS

SHEET NO.:

A403

FILE NAME: 18204-A403



**3 EXTERIOR RENDERING**  
SCALE: 1/4" = 1'-0"

**1 EXTERIOR RENDERING**  
SCALE: 1/4" = 1'-0"



**4 EXTERIOR RENDERING**  
SCALE: 1/4" = 1'-0"

**2 EXTERIOR RENDERING**  
SCALE: 1/4" = 1'-0"



**BUILDING RECONSTRUCTION**

5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS

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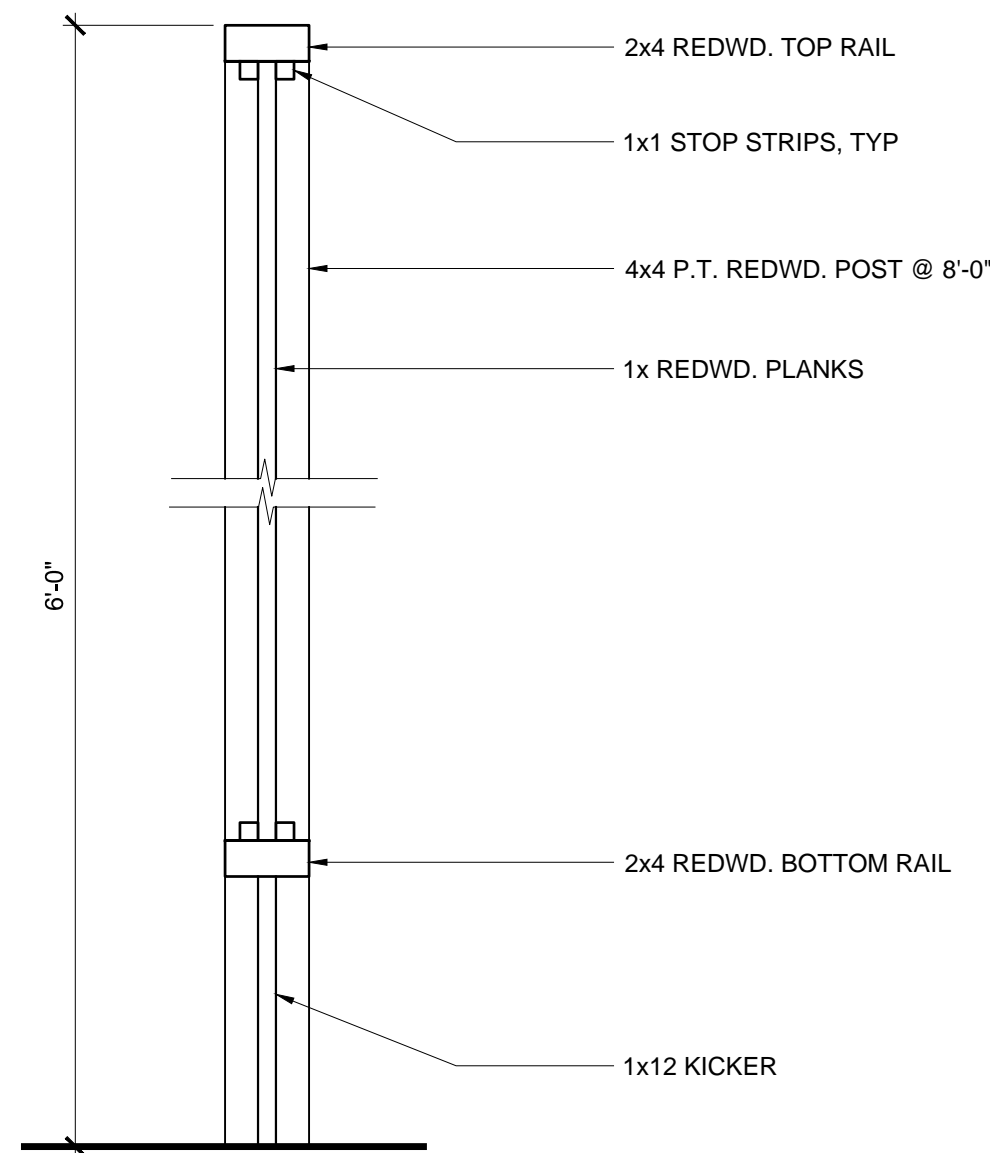
SHEET NAME:  
**AERIAL  
STREETScape  
MONTAGE**

SHEET NO.:

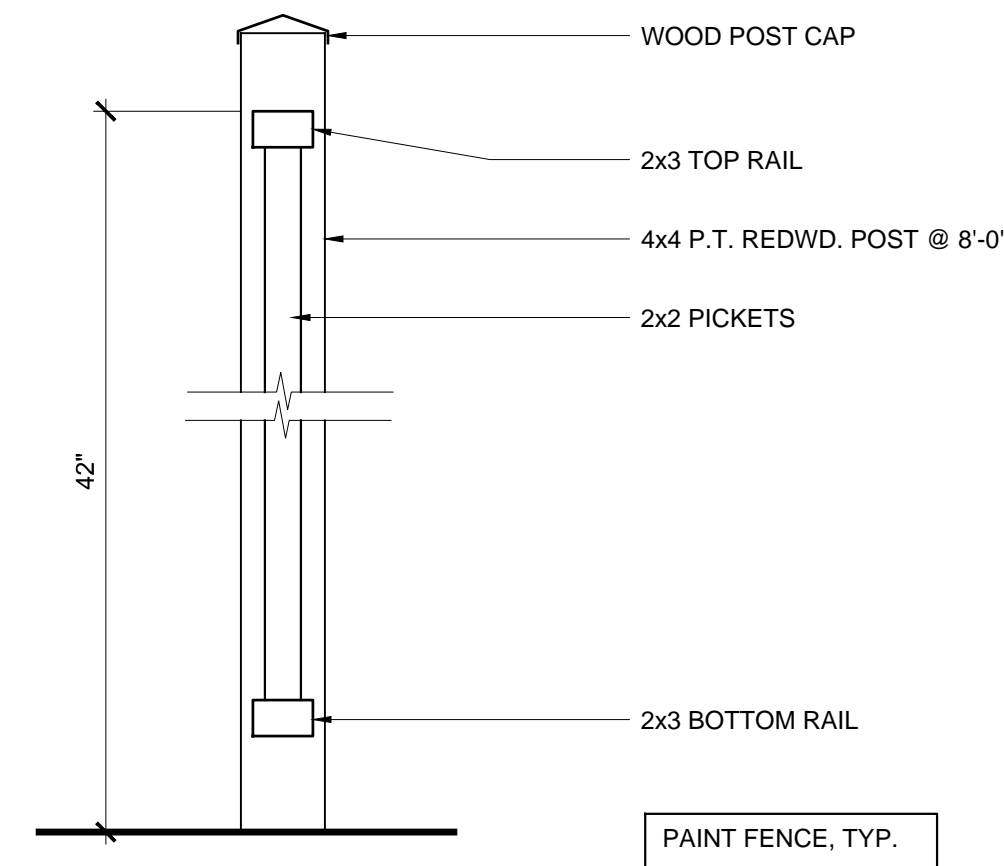
**A405**

FILE NAME: 18204-A405

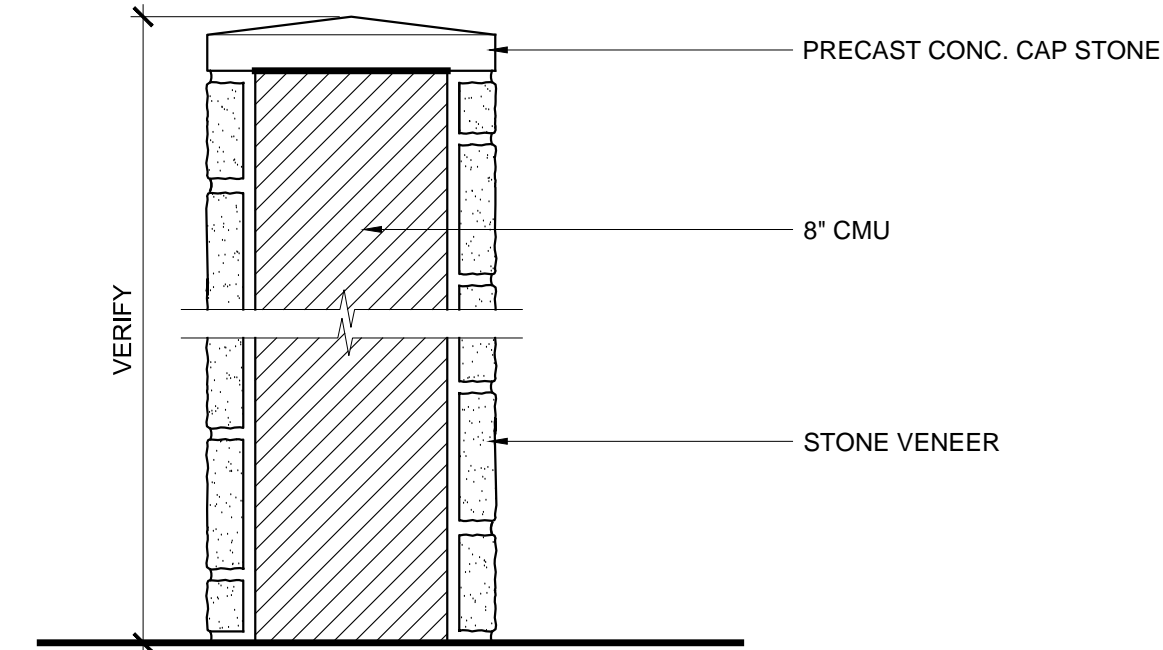
**1 AERIAL  
STREETScape MONTAGE**  
SCALE: NOT TO SCALE



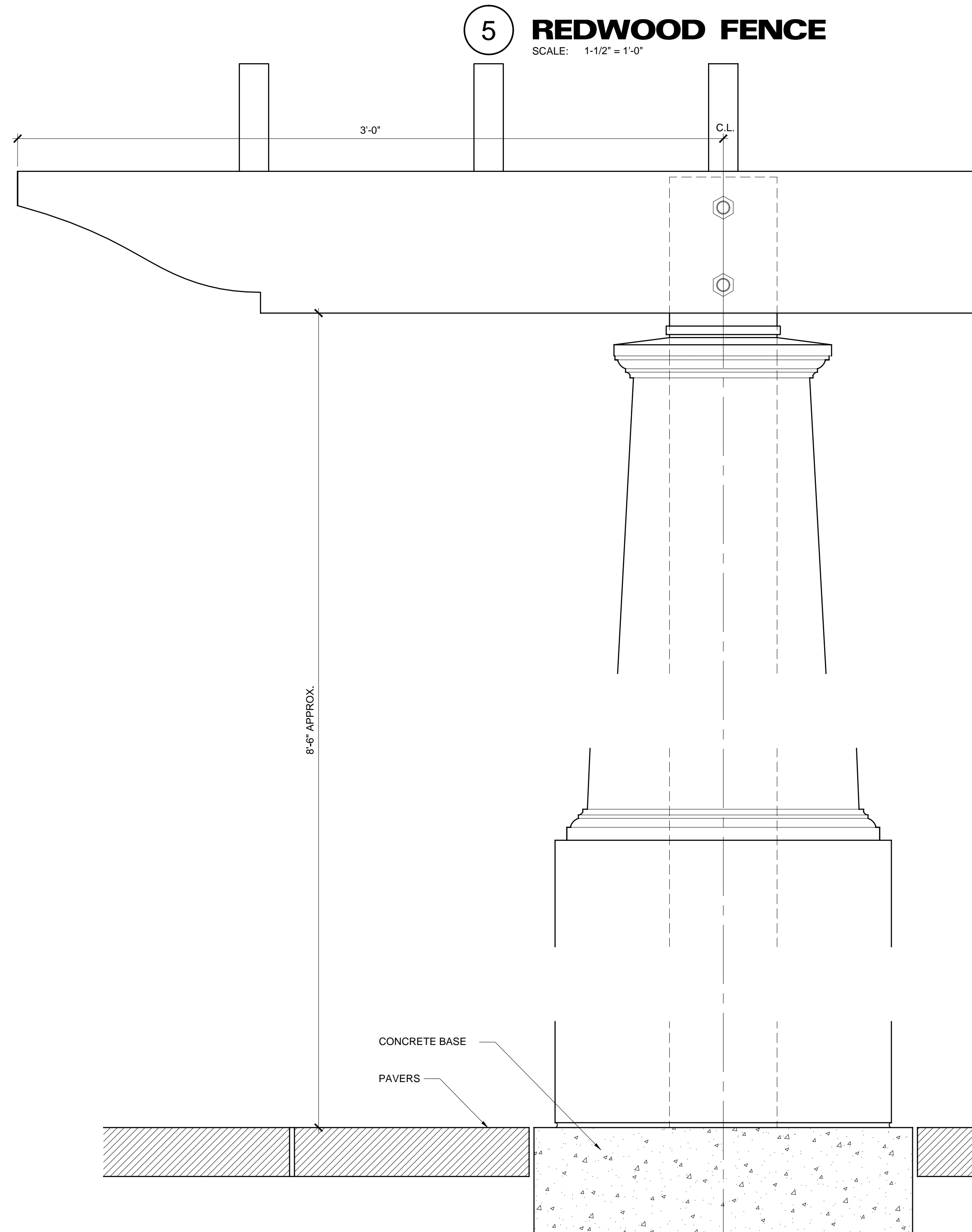
5 REDWOOD FENCE  
SCALE: 1-1/2" = 1'-0"



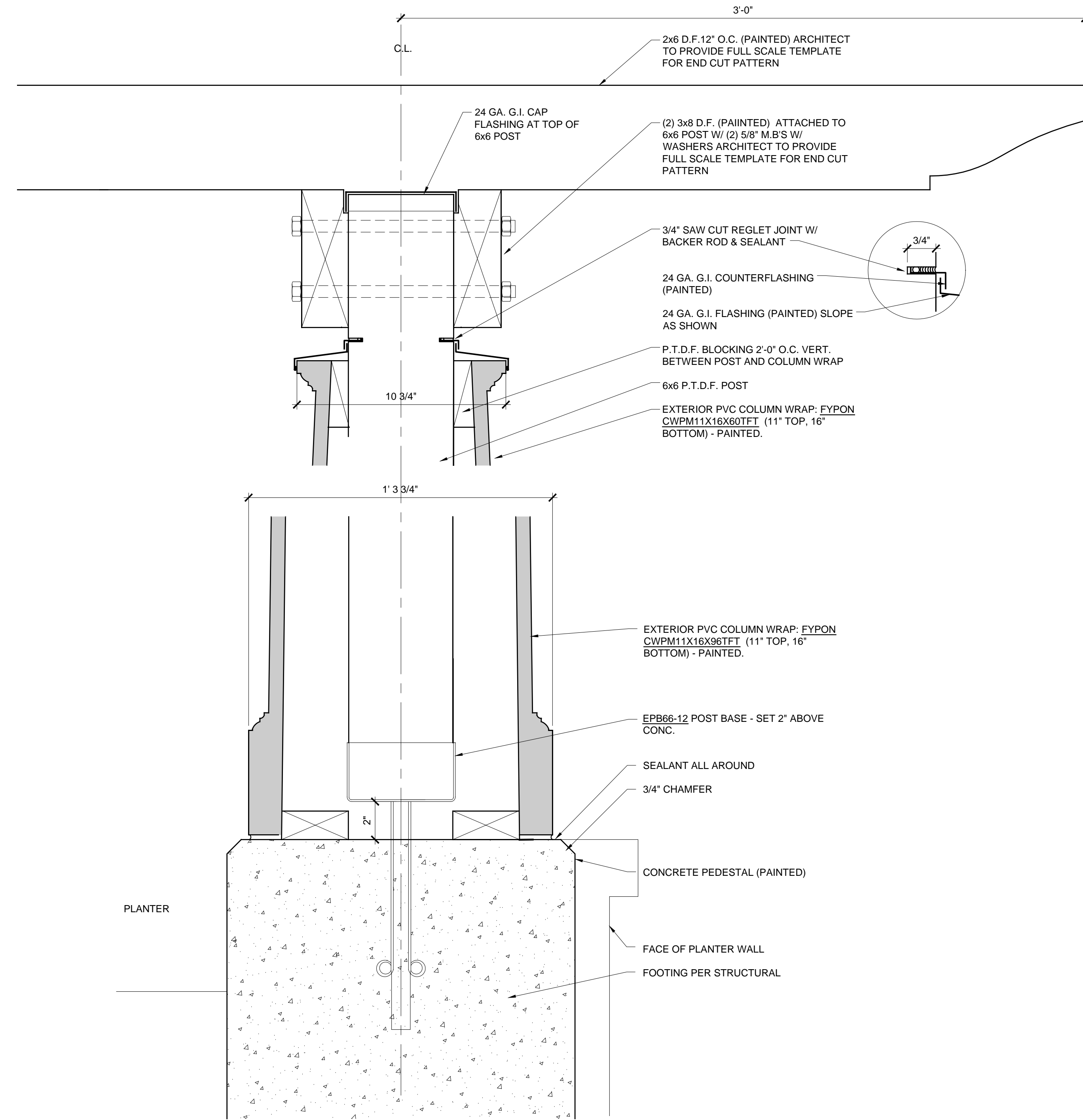
4 PICKET FENCE  
SCALE: 1-1/2" = 1'-0"



3 PLANTER WALL  
SCALE: 1-1/2" = 1'-0"



2 TRELLIS COLUMN  
SCALE: 3" = 1'-0"



1 TRELLIS @ PLANTER  
SCALE: 3" = 1'-0"