

BUILDING REMODEL

Lot 17 & 19, Block 51

5th Avenue Between San Carlos & Dolores Carmel-By-The-Sea

PROJECT INFORMATION

PROJECT:	NEW REMODEL & MIXED USE	EXISTING FIRST FLOOR AREA:	1,176 S.F.
LOCATION:	LOT 17 & 18, BLOCK 51 5TH AVENUE BETWEEN SAN CARLOS & DOLORES	EXISTING SECOND FLOOR AREA:	1,148 S.F.
APN:	010-136-018	PROPOSED FIRST FLOOR AREA:	1,645 S.F.
ZONING:	SC SERVICE COMMERCIAL	PROPOSED SECOND FLOOR AREA:	1,875 S.F.
LOT SIZE:	3,600 S.F.	EXISTING BUILDING AREA:	2,234 S.F.
EXISTING BUILDING SITE COVERAGE:	2,055 S.F.	PROPOSED BUILDING AREA:	3,520 S.F.
PROPOSED BUILDING SITE COVERAGE:	2,187 S.F.	FLOOR AREA RATIO:	.98
		BUILDING HEIGHT:	23'-9"
		EXISTING MPERVIOUS AREA:	2,370 S.F.
		PROPOSED MPERVIOUS AREA:	664 S.F.

SHEET INDEX

SHT. #	SHEET TITLE
A001	COVER SHEET

ARCHITECTURAL

A100	EXISTING SITE PLAN
A101	NEW SITE PLAN
A102	NEW SITE PLAN
D200	DEMOLITION FLOOR PLANS
A200	NEW FLOOR PLANS
A230	EXISTING & NEW ROOF PLAN
A301	DOOR SCHEDULE
A302	WINDOW & SKYLIGHT SCHEDULE
A400	EXISTING EXTERIOR ELEVATIONS
A401	EXISTING EXTERIOR ELEVATIONS
A402	NEW EXTERIOR ELEVATIONS
A403	NEW EXTERIOR ELEVATIONS
A404	EXTERIOR RENDERINGS
A405	AERIAL STREETSCAPE MONTAGE
A826	TRELLIS DETAILS

APPLICABLE BUILDING CODES & STANDARDS

2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (C.C.R.)

2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.

2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.

2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.

2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.

2019 CALIFORNIA ENERGY CODE (CEEC), PART 6, TITLE 24 C.C.R.

2019 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.

2019 CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 C.C.R.

2019 CALIFORNIA GREEN STANDARDS CODE (CALGreen), PART 11, TITLE 24 C.C.R.

2019 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R.

TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

PARTIAL LIST OF APPLICABLE STATE STANDARDS

NFPA 13, AUTOMATIC SPRINKLER SYSTEMS, (CA AMENDED) 2016 EDITION

NFPA 72, NATIONAL FIRE ALARM CODE, (CA AMENDED) 2016 EDITION

ABBREVIATIONS

LEGEND

SYMBOLS

PROJECT TEAM

&	AND	FLASH.	FLASHING (FLOORING)	PSF	POUNDS PER SQUARE FOOT
∠	ANGLE	FLR.	FLOORING	PSI	POUNDS PER SQUARE INCH
⊥	CENTERLINE	F.O.	FACE OF	P.T.	PRESSURE TREATED
∅	DIAMETER OR ROUND	F.O.B.	FACE OF BLOCK	P.T. DISP.	PAPER TOWEL DISPENSER
⊘	PERPENDICULAR	F.O.C.	FACE OF CONCRETE	P.V.C.	POLYVINYL CHLORIDE
⊞	PROPERTY LINE	F.O.F.	FACE OF FINISH	R.	RISER
#	POUND OR NUMBER	F.O.M.	FACE OF MASONRY	R.A.	RETURN AIR
A.B.	ANCHOR BOLT	F.P.	FACE OF STUD	RAD.	RADIUS
A.S.	ACRYLONITRILE BUTADIENE	F.P.P.	FACE OF STUD	R.C.D.	ROUNDHEAD MACHINE SCREW
ABV.	ABOVE	F.S.	FULL SIZE	R.H.W.S.	ROUNDHEAD WOOD SCREW
ACC.	ASPHALTIC CONCRETE	FT.	FOOT/FEET	R.O.	ROUGH OPENING
ACOU.	AIR CONDITIONING	FT.G.	FOOTING	R.O.W.	RIGHT OF WAY
ADJ.	ADJUSTABLE	FURR.	FURRING	R.S.	RESAWN
A.F.F.	ABOVE FINISH FLOOR	FUT.	FUTURE	RUB.	RUBBER
AGGR.	AGGREGATE	GA.	GAUGE/GAGE	RWD.	REDWOOD
ALUM.	ALUMINUM	GALV.	GALVANIZED	R.W.L.	RAIN WATER LEADER
ANOD.	ANODIZED	G.B.	GRAB BAR	S.	SOUTH
A.P.A.	ASSOCIATION	G.I.	GALVANIZED IRON	S.B.	SOLID BLOCKING
APPROX.	APPROXIMATE	GL.	GLASS/GLAZING	SCHED.	SCHEDULE
ARCH.	ARCHITECTURAL	GL.L.B.	GLUE-LAM BEAM	S.E.C.T.	SECTION
A.S.	ADJUSTABLE SHELF	GR.	GRADE(ING)	S.E.R.V.	SERVICE
		G.W.B.	GYPSUM WALLBOARD	S.G.	STAIN GRADE
				SH.	SHOWER
				SHR.	SHOWER
				SHW.	SHEATHING
				SHTG.	SHEATHING
				SIM.	SIMILAR
				S.S.	STAINLESS STEEL SERVICE
				S.S.D.	SOLID BLOCKING DRAWINGS
				S.M.	SHEET METAL
				S.M.S.	SHEET METAL SCREW
				SPEC.	SPECIFICATION
				SQ.	SQUARE
				STD.	STANDARD
				STAG.	STAGGERED
				STRUC.	STRUCTURAL
				SUSP.	SUSPENDED
				SYM.	SYMMETRY(CAL)
				SYS.	SYSTEM
				T.	TREAD
				T.B.	TOWEL BAR
				T.B.D.	TO BE DETERMINED
				T.C.	TOP OF CURB
				T.E.L.	TELEPHONE
				T.E.N.	TYPICAL EDGE NAILING
				T & G	TONGUE & GROOVE
				THK.	THICKNESS
				THRESH.	THRESHOLD
				T.J.I.	TRUSS JOIST INTERNATIONAL
				T.O.	TOP OF
				T.P.H.	TOILET PAPER HOLDER
				TOP OF PAVEMENT	
				T.V.	TELEVISION
				T.W.	TOP OF WALL
				TYP.	TYPICAL
				U/L	UNDERWRITER'S LABORATORY
				U.N.O.	UNLESS NOTED OTHERWISE
				U.O.N.	UNLESS OTHERWISE NOTED
				UR.	URINAL
				V.I.F.	VERIFY IN FIELD
				W.	WEST/WIDTH/WIDE
				W/C	WITH
				W.D.	WATER CLOSET
				W.D.	WOOD
				W/DW	WINDOW
				W.H.	WATER HEATER
				W.I.	WOODWORK INSTITUTE
				W/O	WITHOUT
				W.P.	WATERPROOF(ING)
				W.R.	WATER RESISTANT
				W.S.	WOOD SCREW
				WSCT.	WAINSCOT
				W.W.M.	WELDED WIRE MESH

	EARTH		DOOR SYMBOL
	ROCK		WINDOW SYMBOL
	SAND, MORTAR, PLASTER		KEY TAG
	CONCRETE BLOCK		DEMOLITION TAG
	CAST-IN-PLACE (C.I.P.) CONCRETE		MATCH LINE
	(E) STUD WALL		WORK POINT, DATUM POINT OR CONTROL
	(N) STUD WALL		VERTICAL OR HORIZONTAL DIAPHRAGM KEY
	(E) STUD WALL TO BE REMOVED		SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
	SOUND INSULATED STUD WALL		DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN
	METAL		FINISH GRADE (SPOT) ELEVATION SURFACE
	WOOD FINISH		EXISTING GRADE (SPOT) ELEVATION SURFACE
	WOOD FRAMING CONTINUOUS MEMBER		PROPERTY LINE
	WOOD BLOCKING		REVISION
	PLYWOOD		
	GYPSUM WALLBOARD		
	A.C. PAVING		

	DOOR SYMBOL
	WINDOW SYMBOL
	KEY TAG
	DEMOLITION TAG
	MATCH LINE
	WORK POINT, DATUM POINT OR CONTROL
	VERTICAL OR HORIZONTAL DIAPHRAGM KEY
	SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
	DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN
	FINISH GRADE (SPOT) ELEVATION SURFACE
	EXISTING GRADE (SPOT) ELEVATION SURFACE
	PROPERTY LINE
	REVISION

OWNER	GREAT VALLEY HOLDINGS LLC P.O. BOX 221815 CARMEL, CA 93922 ph: (831) 622-8313 Email: sdark@cofinc.com Contact: STUART CLARK
ARCHITECT	WALD, RUHNKE & DOST ARCHITECTS, LLP 2340 GARDEN ROAD, SUITE 100 MONTEREY, CA 93940 ph: (831) 649-4642 fax: (831) 649-3530 Email: architects@wrarch.com Contact: HENRY RUHNKE
SURVEYOR	CENTRAL COAST SURVEYORS 5 HARRIS COURT, SUITE N111 MONTEREY, CA 93940 ph: (831) 394-4930 Email: dave@ccsurveyors.com Contact: DAVE EDSON

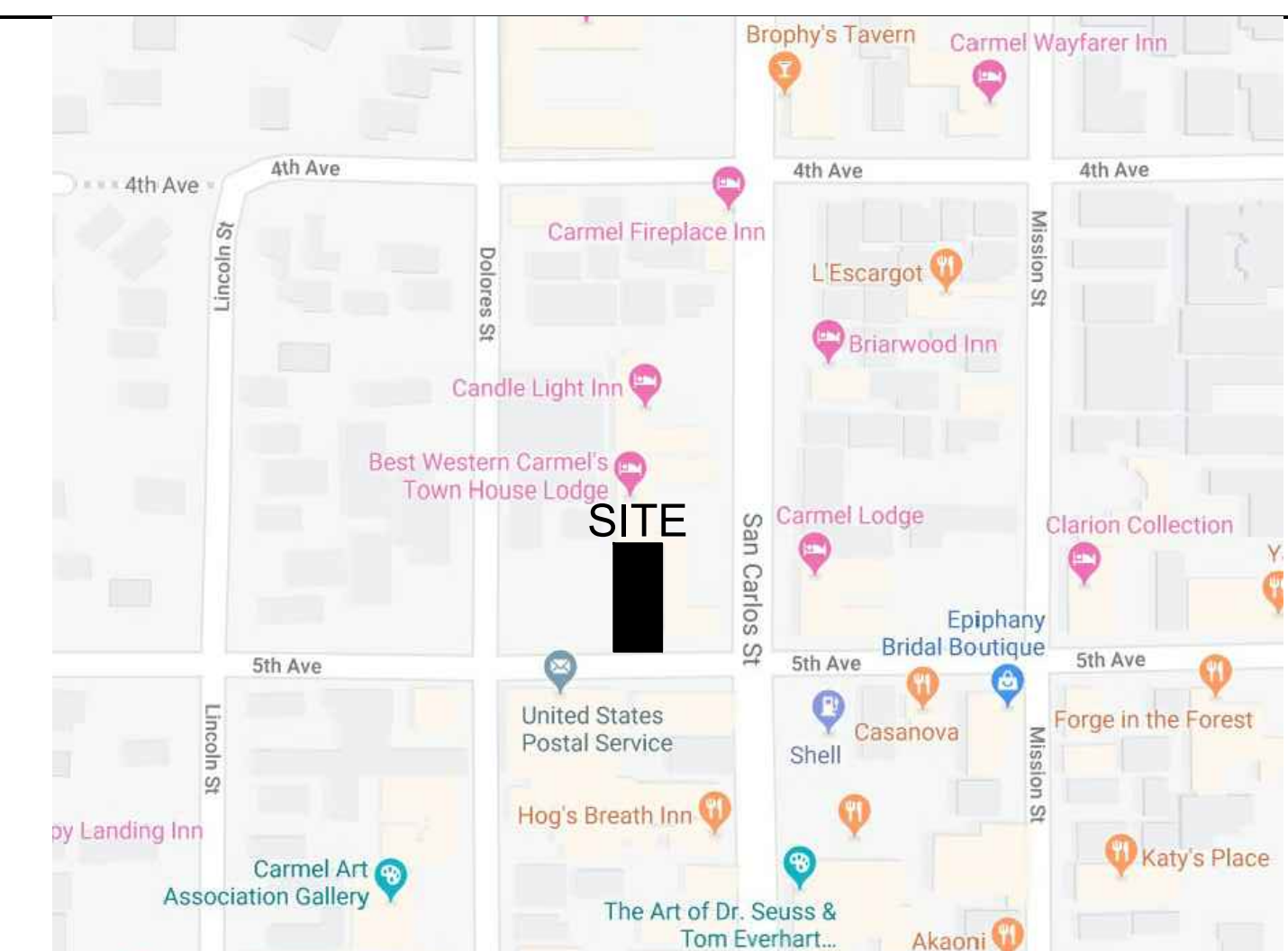
GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE.
3. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.
4. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.
5. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.
6. THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.
7. EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY (E) CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
8. ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
9. ANY PROPOSED WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
10. PROVIDE ALL REQUIRED FIRE BLOCKING IN ACCORDANCE WITH SECTION 708 OF THE CURRENT ADOPTED EDITION OF C.B.C.

FIRE SPRINKLER NOTES

1. DRAWINGS AND SUPPORTIVE CALCULATIONS FOR ALL MODIFICATIONS TO THE EXISTING FIRE SPRINKLER SYSTEM ARE REQUIRED TO BE SUBMITTED BY THE INSTALLING LICENSED FIRE SPRINKLER CONTRACTOR (C-16) TO THE FIRE PREVENTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY IF A "KNOX BOX" EXISTS, IF NOT A "KNOX BOX" SHALL BE PROVIDED AND LOCATED PER FIRE DEPARTMENT RECOMMENDATIONS. IF "KNOX BOX" EXISTS THEN CONTENTS SHALL BE UPDATED TO REFLECT NEW TENANT. EMERGENCY ACCESS KEYS INCLUDING A GRAND MASTER KEY FOR ROOMS, ELEVATOR OVERRIDE KEYS, ACCESS KEY TO THE FIRE ALARM PANEL AND SPECIAL ACCESS KEYS (WHERE APPLICABLE) SHALL ALSO BE MADE PART OF THE "KNOX BOX" INVENTORY.
3. FIRE ALARM PLAN SUBMITTED IS FOR REFERENCE ONLY; A SEPARATE SUBMITTAL IS REQUIRED. DRAWINGS AND SUPPORTIVE CALCULATIONS FOR ALL MODIFICATIONS TO THE EXISTING FIRE ALARM CONTRACTOR TO THE FIRE PREVENTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
4. ALL PLAN SUBMITTALS REQUIRING FIRE SPRINKLERS, FIRE SERVICE UNDERGROUND, FIRE ALARMS, AND HOOD AND DUCT SYSTEMS, SHALL BE SUBMITTED AND SHALL BE APPROVED BY THE FIRE DEPARTMENT AND STATE FIRE MARSHAL BEFORE A FRAMING INSPECTION SHALL BE GRANTED BY THE BUILDING DEPARTMENT.

VICINITY MAP



50



WALD RUHNKE & DOST ARCHITECTS LLP

2340 GARDEN ROAD, SUITE 100

MONTEREY, CALIFORNIA 93940

PHONE: 831.649.4642

FAX: 831.649.3530

WWW.WRARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

BUILDING REMODEL
5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS

A.P.N.: 010-136-019

JOB NO.:

18204

PRINT DATE:

9.24.2019

DRAWN BY:

CHECKED BY:

SET ISSUED:

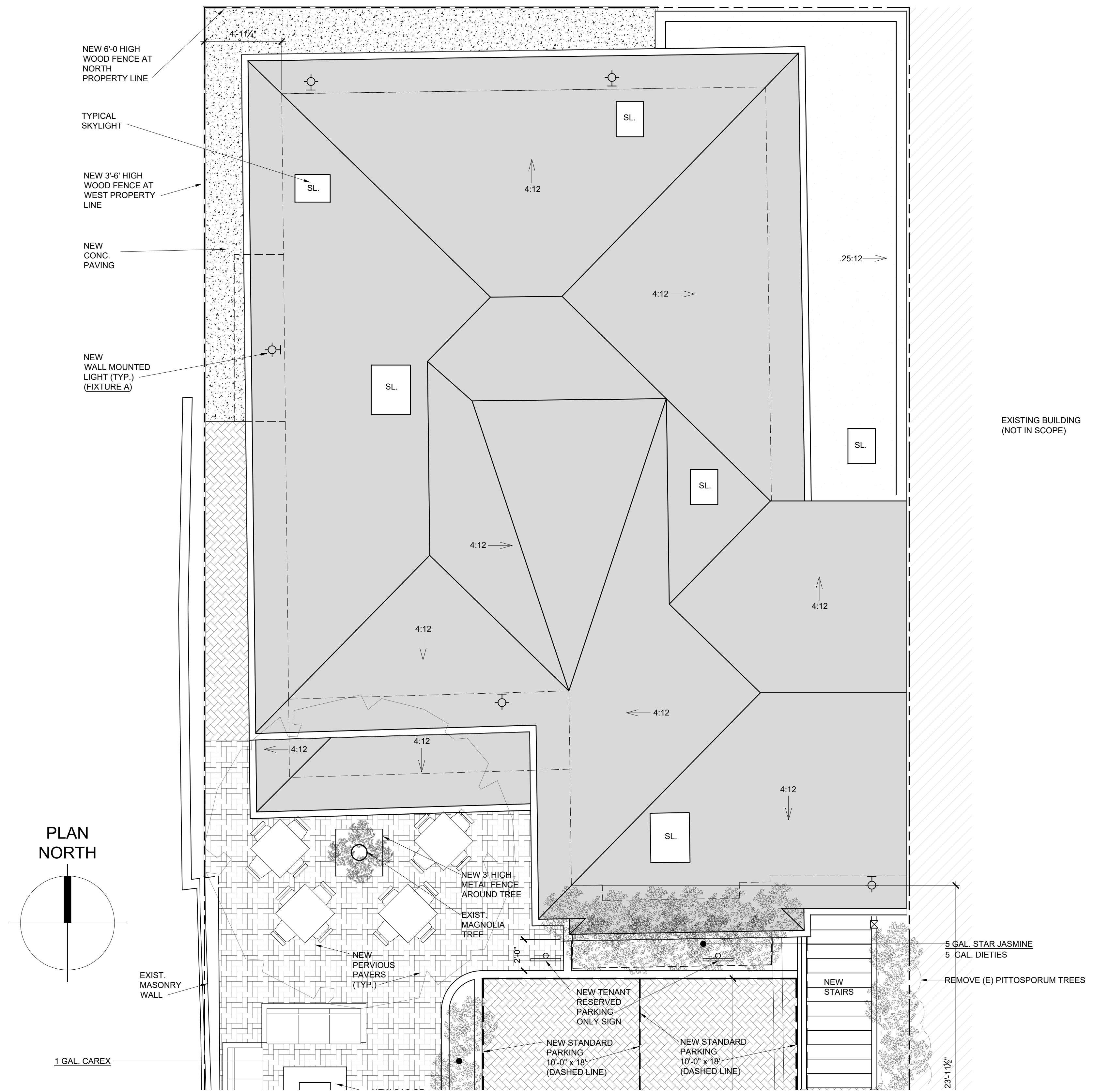
SHEET NAME:

COVER SHEET

SHEET NO.:

A001

FILE NAME: 18204-A001



PLANT LIST

1. LIGUSTRUM
2. COLEONEMA COMPACTUM
3. LOROPETALUM CHINENSE "SUSANNE"
4. ROSA CECIL BRUNNER
5. STAR JASMINE
6. CAREX
7. ROSMARINUS BLUE SPIRES
8. DIETES VEGETA
9. SALVIA GREGGII
10. ERIGERON
11. CONVULVULUS
12. LIMONIUM PEREZII
13. CEANOTHUS RAY HARTMAN

50

WR&D

WALD RUHNKE & DOST ARCHITECTS LLP

2340 GARDEN ROAD, SUITE 100
 MONTEREY, CALIFORNIA 93940

PHONE: 831.649.4642
 FAX: 831.649.3530
 WWW.WRDARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

PARKING SIGNAGE

TENANT RESERVED PARKING SIGN

RED ON WHITE REFLECTORIZED ON 0.063 GAUGE. MOUNTED MIN. 54" ABOVE GRADE. LOCATE SIGN 24" MAX. FROM FACE OF CURB TO CENTERLINE OF POST.

SEE PLAN FOR LOCATION OF SIGNAGE.

MIN. 12"

MIN. 18"

LIGHT FIXTURES

FIXTURE A

SEAGULL LIGHTING: FREDERICKSBURG SMALL OUTDOOR WALL SCONCE 14 WATT LED BULB 3000 K 1000 GROSS LUMENS

STORM WATER NOTES

1. ROOF RUNOFF TO BE DISCHARGED INTO RAIN BARRELS
2. COURTYARD DRAINAGE SHALL BE DISSIPATED INTO GROUND BY PERVIOUS PAVING.

1 **PROPOSED SITE PLAN**
 SCALE: 1/4" = 1'-0"

BUILDING REMODEL
 5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS
 A.P.N.: 010-136-019

JOB NO.: **18204**

PRINT DATE: _____

PLOT DATE: 9.24.2019

DRAWN BY: _____

CHECKED BY: _____

SET ISSUED: _____

SHEET NAME: _____

SITE PLAN

SHEET NO.: **A101**

FILE NAME: 18204-A101

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TELE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

PLANT LIST

1. LIGUSTRUM
2. COLEONEMA COMPACTUM
3. LOROPETALUM CHINENSE "SUSANNE"
4. ROSA CECIL BRUNNER
5. STAR JASMINE
6. CAREX
7. ROSMARINUS BLUE SPIRES
8. DIETES VEGETA
9. SALVIA GREGGII
10. ERIGERON
11. CONVULVULUS
12. LIMONIUM PEREZII
13. CEANOTHUS RAY HARTMAN

PARKING SIGNAGE

TENANT RESERVED PARKING SIGN
 RED ON WHITE REFLECTORIZED ON 0.063 GAUGE. MOUNTED MIN. 54" ABOVE GRADE. LOCATE SIGN 24" MAX. FROM FACE OF CURB TO CENTERLINE OF POST.
 SEE PLAN FOR LOCATION OF SIGNAGE.



LIGHT FIXTURES

FIXTURE A
 SEAGULL LIGHTING: FREDERICKSBURG SMALL OUTDOOR WALL SCONCE 14 WATT LED BULB 3000 K 1000 GROSS LUMENS



STORM WATER NOTES

1. ROOF RUNOFF TO BE DISCHARGED INTO RAIN BARRELS
2. COURTYARD DRAINAGE SHALL BE DISSIPATED INTO GROUND BY PERVIOUS PAVING.

1 PROPOSED SITE PLAN
 SCALE: 1/4" = 1'-0"

BUILDING REMODEL
 5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS
 A.P.N.: 010-136-019

BUILDING REMODEL

JOB NO.: 18204
 PRINT DATE: 9.24.2019
 PLOT DATE: 9.24.2019
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:

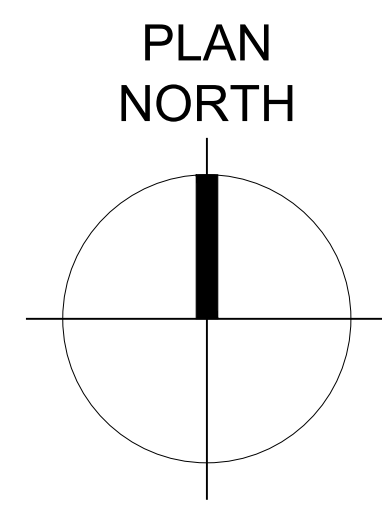
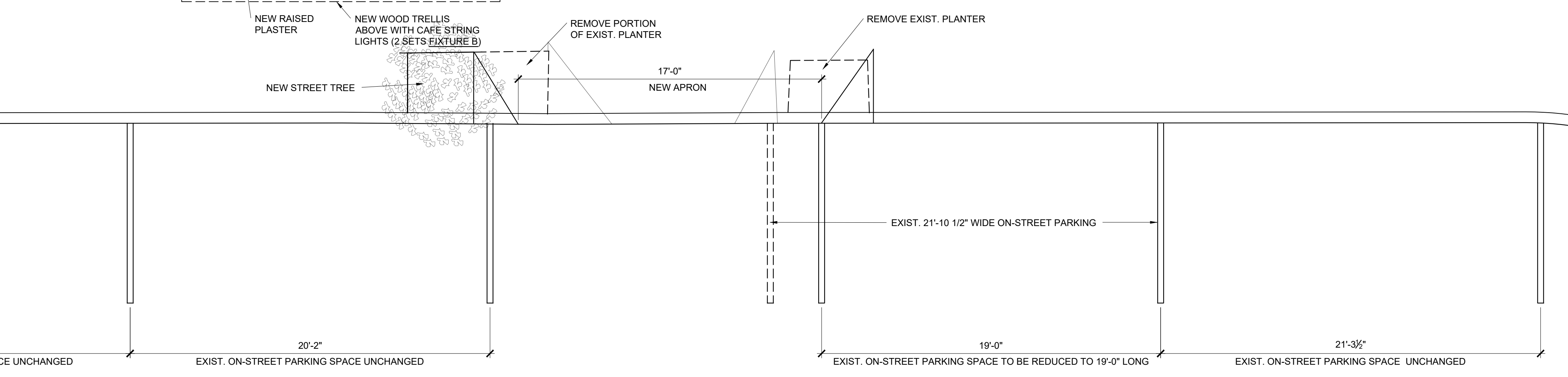
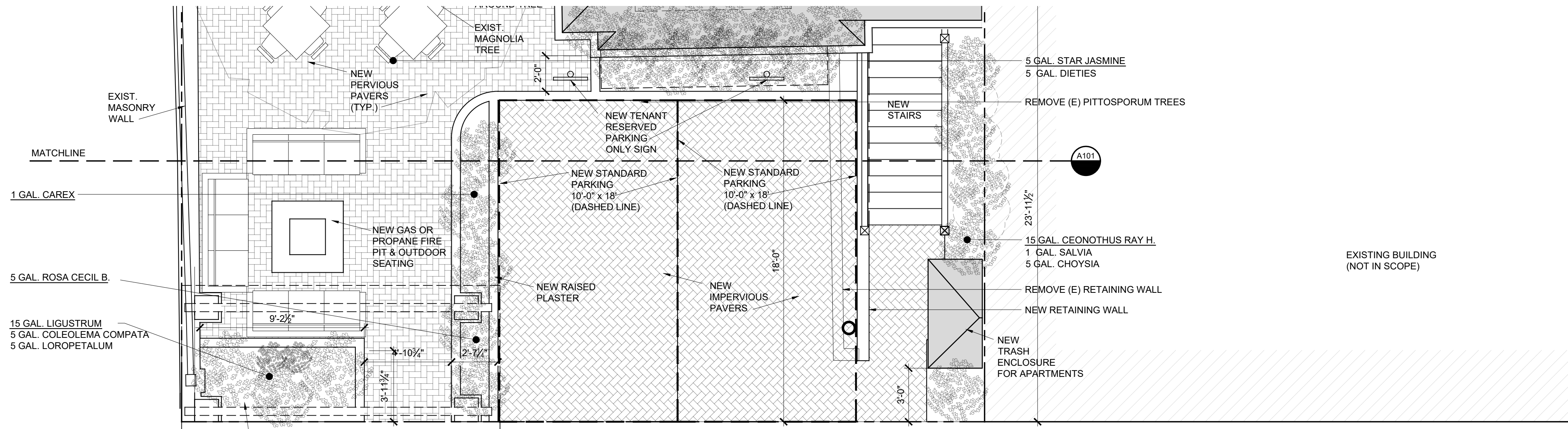
SHEET NAME:

SITE PLAN

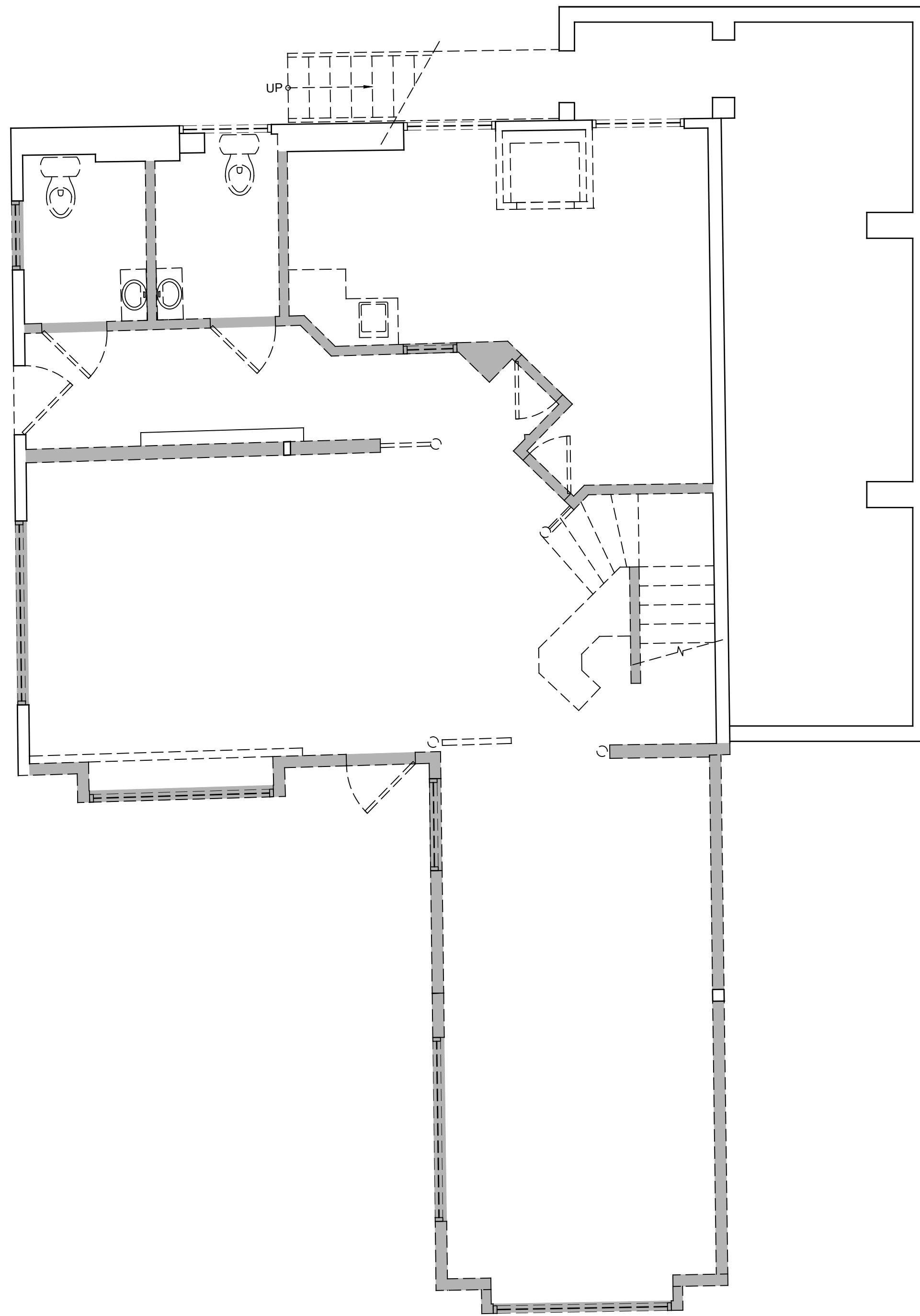
SHEET NO.:

A102

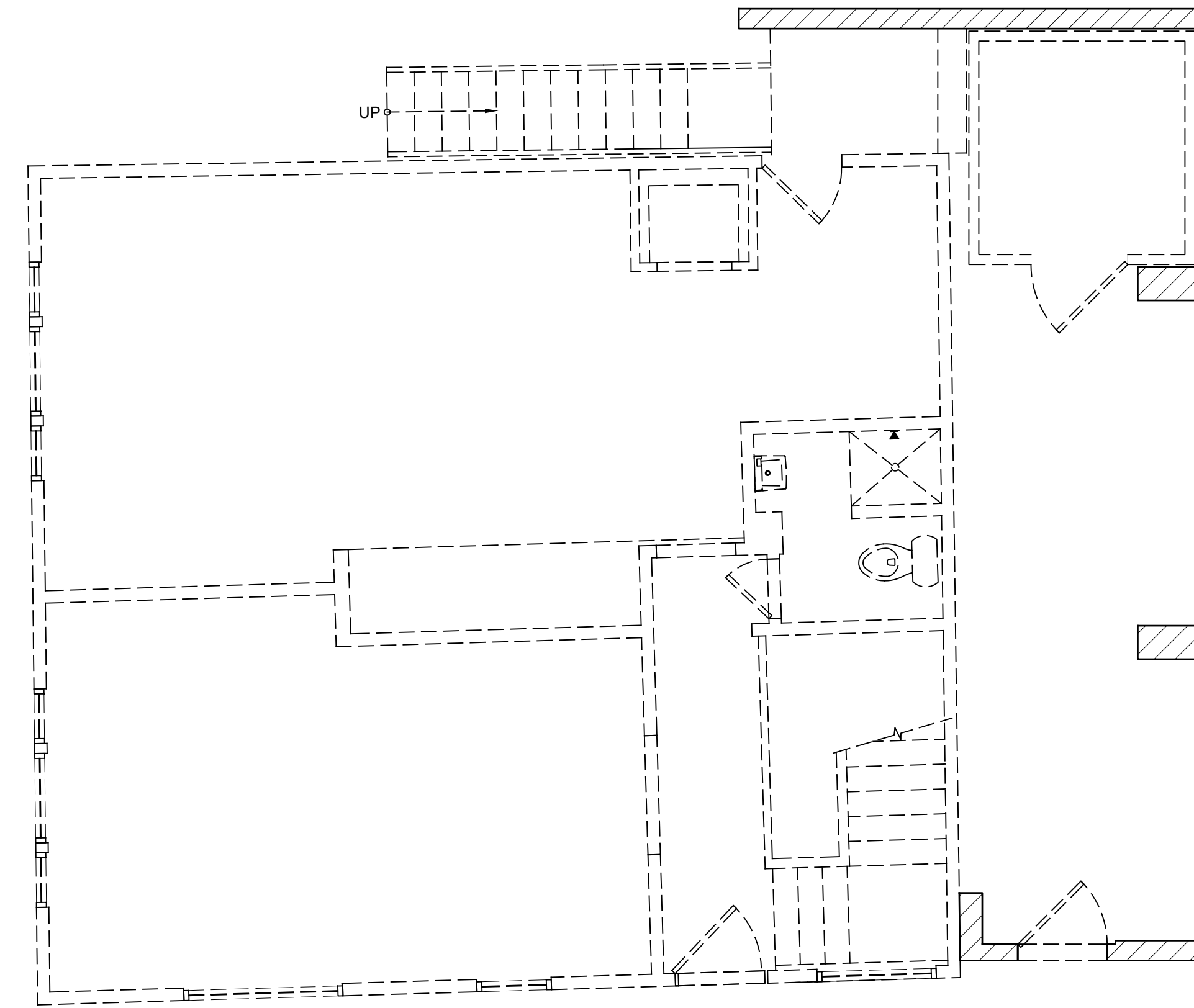
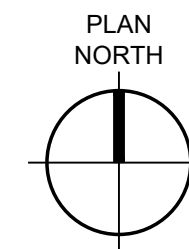
FILE NAME: 18204-A102



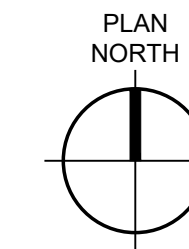
5TH STREET



1 DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 DEMOLITION SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

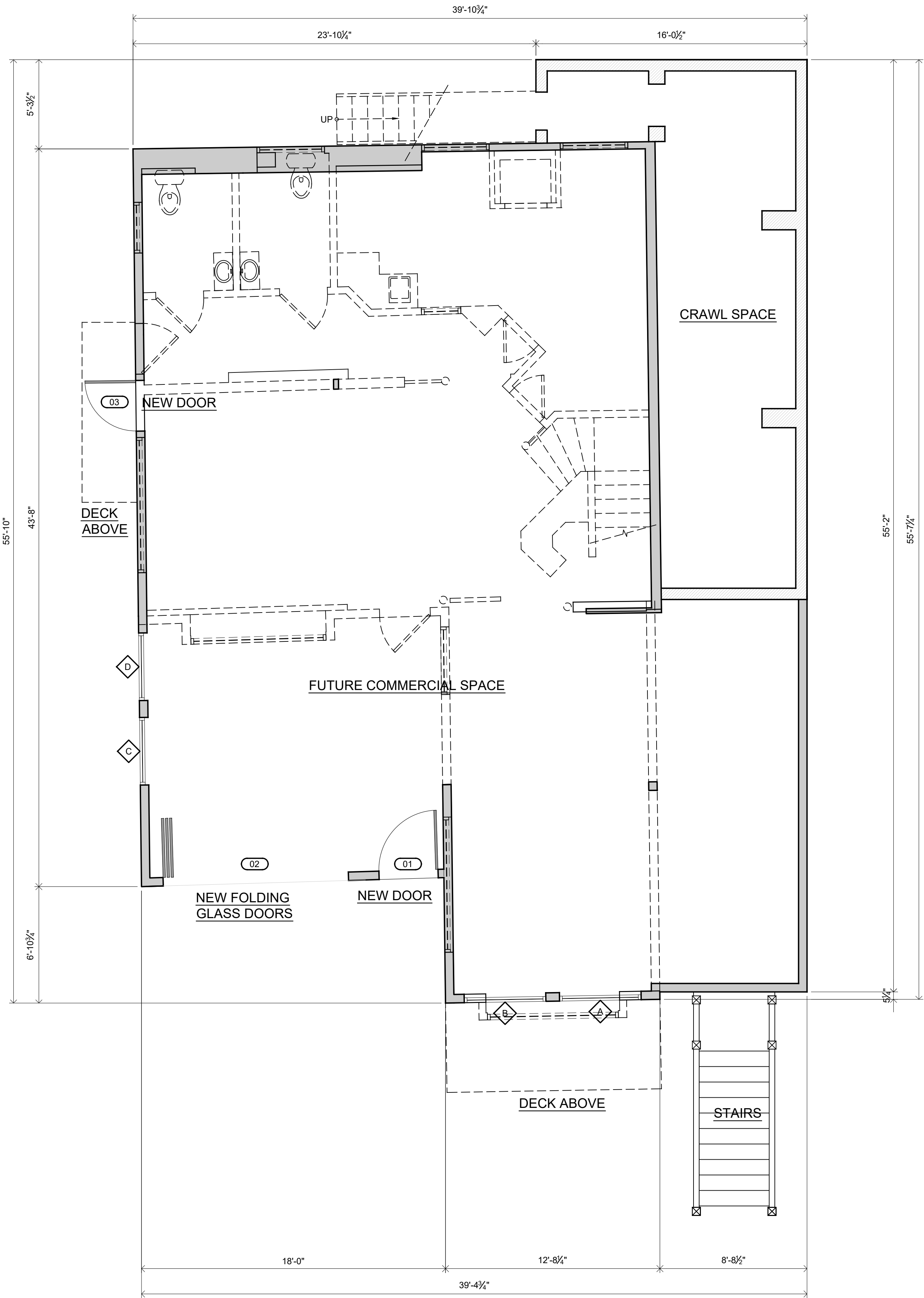


LEGEND	
-----	BUILDING ELEMENT TO BE REMOVED
=====	FIRST FLOOR BUILDING WALL TO REMAIN (92.32 SF / 173.64 SF WALL TOTAL = 53.17%)
-----	FIRST FLOOR BUILDING WALL TO BE REMOVED (81.32 SF / 173.64 SF WALL TOTAL = 46.83%)
=====	SECOND FLOOR BUILDING WALL TO REMAIN

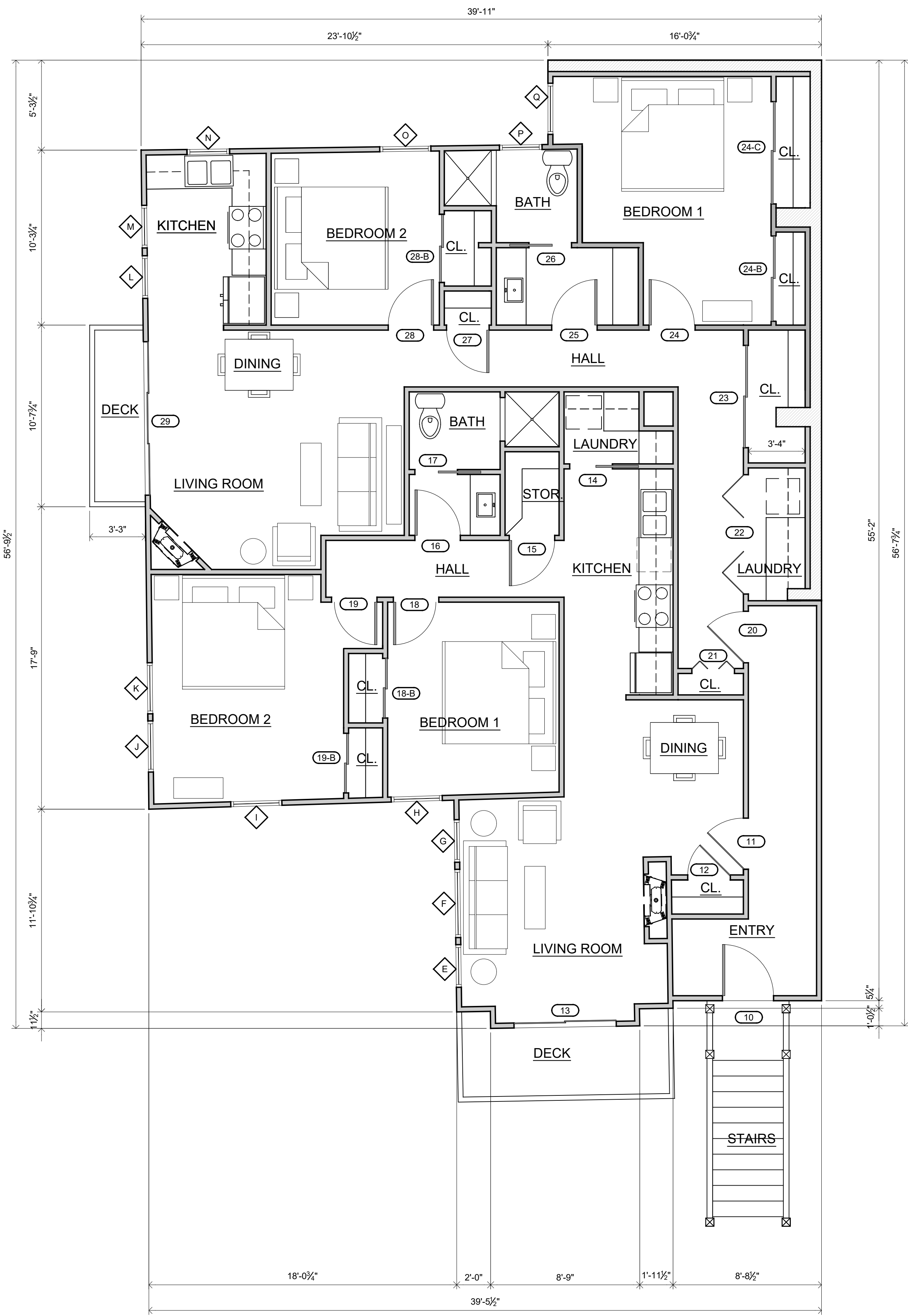
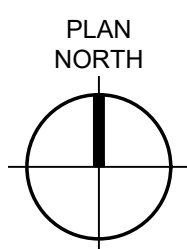
BUILDING REMODEL
5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS
A.P.N.: 010-136-019

JOB NO.: 18204
PRINT DATE: 9.24.2019
PLOT DATE: 9.24.2019
DRAWN BY:
CHECKED BY:
SET ISSUED:

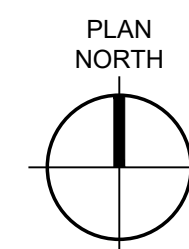
SHEET NAME:
DEMOLITION FLOOR PLANS
SHEET NO.: D200
FILE NAME: 18204-D200



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

APARTMENT A
1,057 S.F.

APARTMENT B
816 S.F.

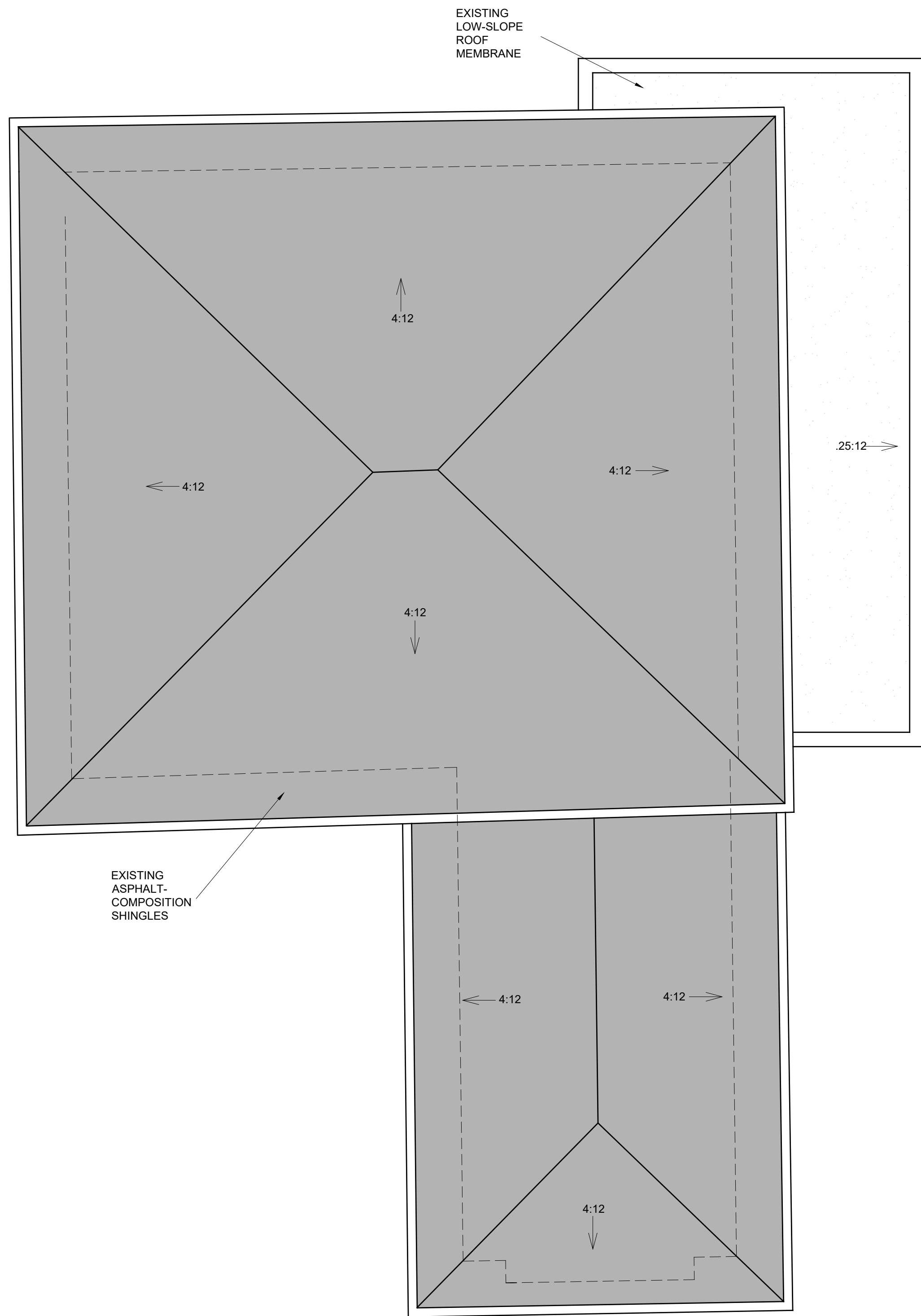
BUILDING REMODEL
5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS
A.P.N.: 010-136-019

JOB NO.:
18204
PRINT DATE:
PLOT DATE: 9.24.2019
DRAWN BY:
CHECKED BY:
SET ISSUED:

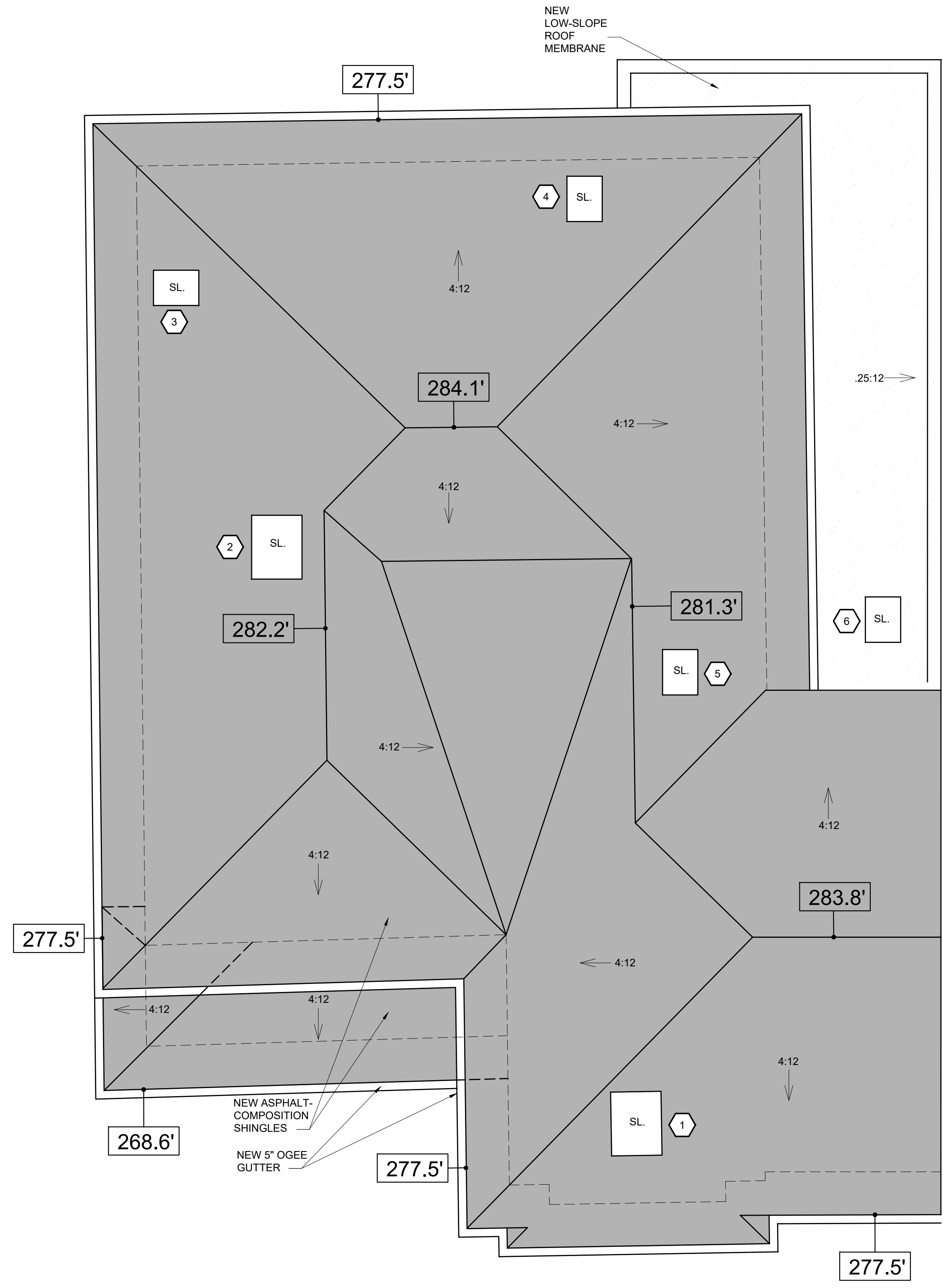
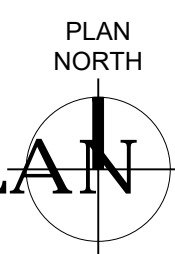
SHEET NAME:
PROPOSED FLOOR PLAN
SHEET NO.:

A200

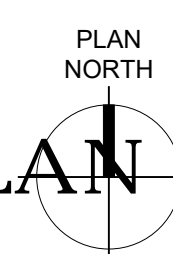
THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



1 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



BUILDING REMODEL
5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS
A.P.N.: 010-136-019

JOB NO.: 18204
PRINT DATE: 9.24.2019
PLOT DATE: 9.24.2019
DRAWN BY:
CHECKED BY:
SET ISSUED:

SHEET NAME:
EXISTING & PROPOSED ROOF PLAN

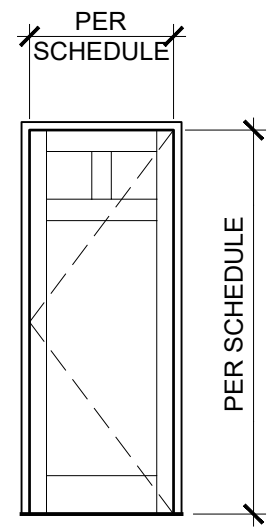
SHEET NO.:

A230

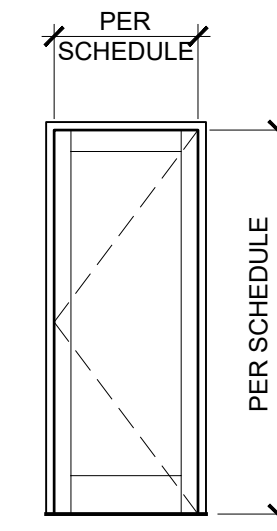
DOOR SCHEDULE

DOOR		FINISH			SIZE			DETAIL REFERENCE			FRAME ASSEMBLY	HARDWARE GROUP	GLASS TYPE	FIRE RATING (SEE NOTE 6)	NOTES
01	VII		●		3'-0"	7'-0"	1-3/4"				F				
02	X	●			12'-0"	7'-0"					WD				
03	XII		●		3'-0"	7'-0"	1-3/4"				F				
10	I		●		3'-0"	6'-8"	1-3/4"				F				
11	VI		●		3'-0"	6'-8"	1-3/4"				WD				
12	II		●		2'-6"	6'-8"	1-3/8"				WD				
13	XI	●			6'-0"	6'-8"					F				
14	IV		●		2'-6"	6'-8"	1-3/8"				WD				
15	II		●		2'-8"	6'-8"	1-3/8"								
16	II		●		2'-8"	6'-8"	1-3/8"								
17	IV		●		2'-6"	6'-8"	1-3/8"								
18	II		●		2'-8"	6'-8"	1-3/8"								
18 B	III		●		3'-6"	6'-8"	1-3/8"								
19	II		●		2'-8"	6'-8"	1-3/8"				WD				
19 B	III		●		3'-6"	6'-8"	1-3/8"								
20	VI		●		3'-0"	6'-8"	1-3/4"				WD				
21	XIII		●		2'-6"	6'-8"	1-3/8"				WD				
22	XIII		●		7'-0"	6'-8"	1-3/8"				WD				
23	III		●		6'-0"	6'-8"	1-3/8"				WD				
24	II		●		2'-8"	6'-8"	1-3/8"				WD				
24-B	III		●		5'-0"	6'-8"	1-3/8"								
24-C	III		●		6'-0"	6'-8"	1-3/8"								
25	II		●		2'-8"	6'-8"	1-3/8"				WD				
26	IV		●		2'-6"	6'-8"	1-3/8"				WD				
27	II		●		2'-6"	6'-8"	1-3/8"				WD				
28	II		●		2'-8"	6'-8"	1-3/8"				WD				
28 - B	III		●		4'-0"	6'-8"	1-3/8"				WD				
29	V	●			9'-0"	8'-5"	1-3/4"				F				

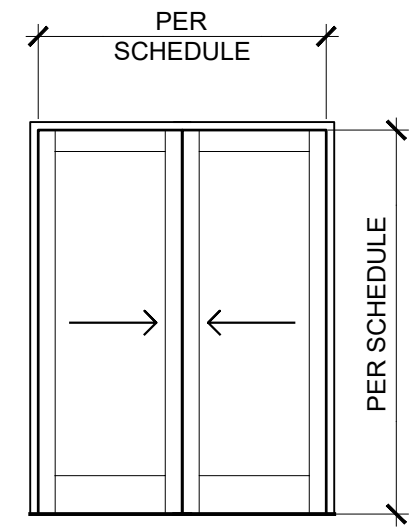
DOOR TYPES



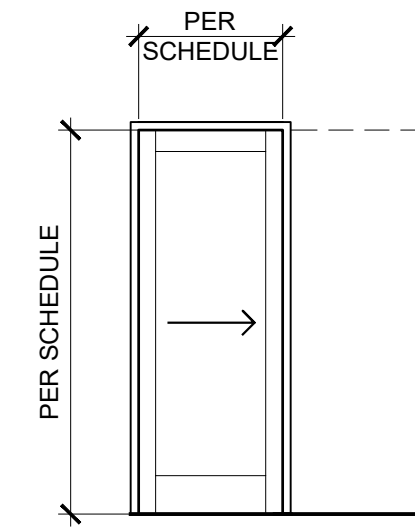
TYPE I
EXTERIOR FIBERGLASS STILE AND RAIL DOOR:
TRUSTILE TS 3290 (FLAT PANEL, SQUARE STICKING)



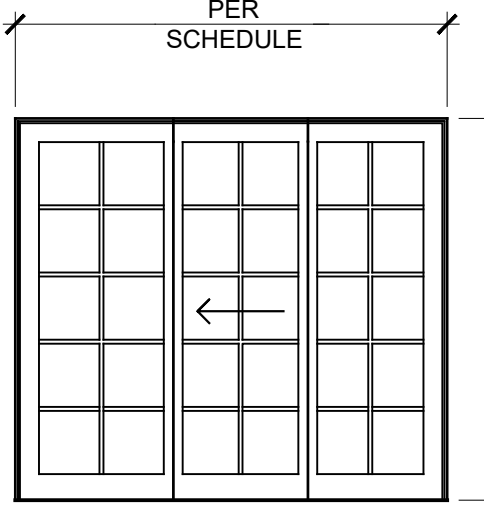
II
INTERIOR MDF STILE AND RAIL DOOR:
TRUSTILE TS 1000 (FLAT PANEL, SQUARE STICKING)



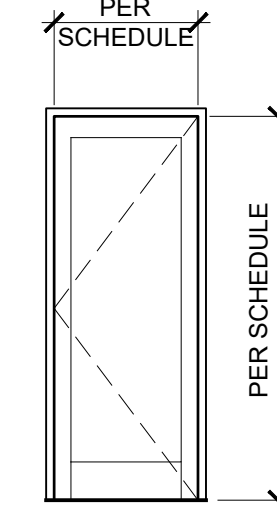
III
INTERIOR MDF STILE AND RAIL DOOR (BYPASS DOORS):
TRUSTILE TS 1000 (FLAT PANEL, SQUARE STICKING)



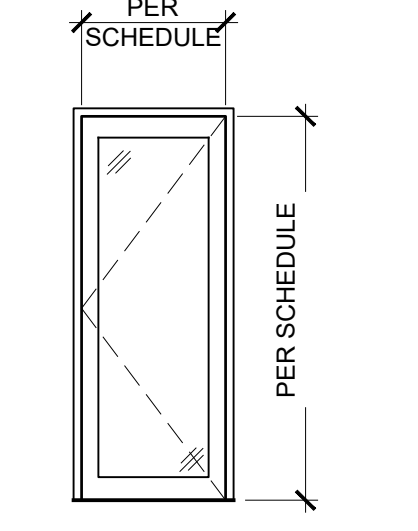
IV
INTERIOR MDF STILE AND RAIL DOOR (POCKET DOORS):
TRUSTILE TS 1000 (FLAT PANEL, SQUARE STICKING)



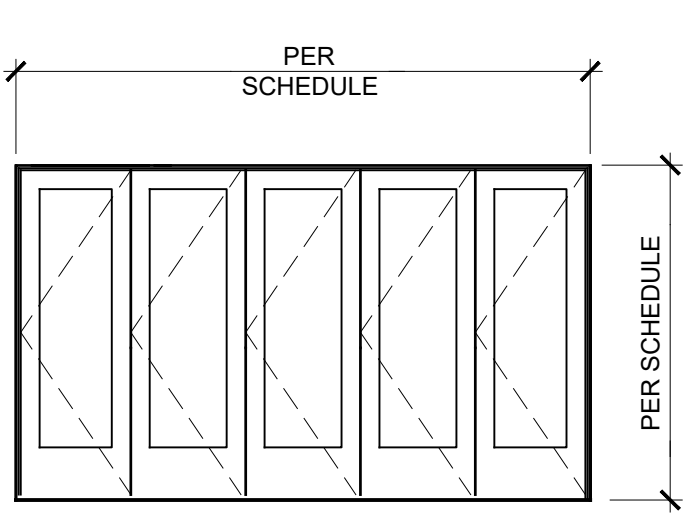
V
EXTERIOR FIBERGLASS SLIDING DOOR:
MILGARD TUSCANY VINYL



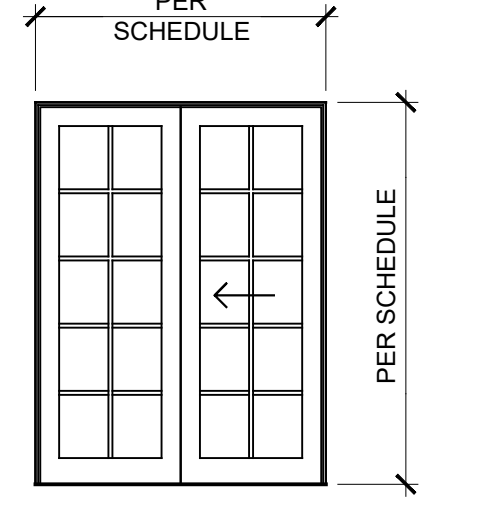
VI
FIRE-RATED INTERIOR MDF STILE AND RAIL DOOR:
20 MIN FIRE DOOR (FLAT PANEL, SQUARE STICKING)



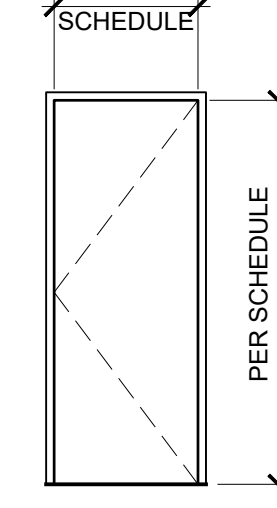
VII
EXTERIOR FIBERGLASS FRENCH DOOR:



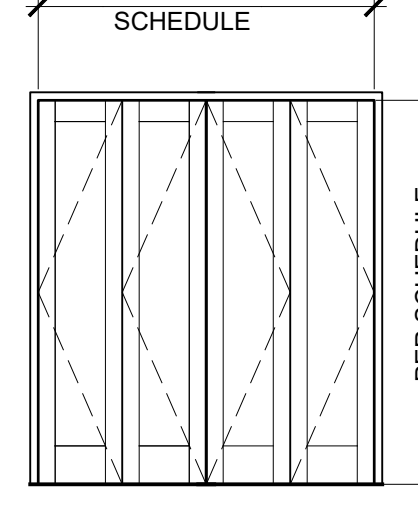
X
ALUMINUM FOLDING DOOR:
LaCANTINA DOORS - FOLDING



XI
EXTERIOR FIBERGLASS SLIDING DOOR:
MILGARD TUSCANY VINYL



XII
EXTERIOR FIBERGLASS DOOR:
MILGARD TUSCANY VINYL



XIII
INTERIOR MDF STILE AND RAIL DOOR (BI-FOLD DOOR):
TRUSTILE TS 1000 (FLAT PANEL, SQUARE STICKING)

DOOR GENERAL NOTES

1. REFER TO SPECIFICATIONS FOR HARDWARE GROUPS.
2. ALL EGRESS DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR EFFORT.
3. SEE FINISH LEGEND ON SHEET A303 FOR DOOR AND DOOR TRIM PAINT COLOR INFO.
4. ALL EXTERIOR DOORS TO BE WEATHER STRIPPED WITH PEMKO S88D WEATHER STRIPPING, U.N.O.
5. THE FORMALDEHYDE EMISSION LEVEL OF ALL NEW DOORS SHALL NOT EXCEED 20 ppb.
6. DOORS SEPARATING THE DWELLING UNIT AND GARAGE SHALL BE EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING HARDWARE.
7. DOORS SEPARATING CONDITIONED AND NONCONDITIONED SPACE SHALL BE WEATHER STRIPPED OR GASKETED TO EFFECTIVELY AND RELIABLY LIMIT AIR INFILTRATION. ADHESIVE FOAM-TYPE OR FELT WEATHER STRIPPING IS NOT ACCEPTABLE.

ABBREVIATIONS

ALUM ALUMINUM	FAC FACTORY APPLIED FINISH	SS STAINLESS STEEL
ANZ ANODIZED	FP FIELD PAINTED	STN STAINED
BR BULLET-RESISTANT	GL GLASS	SC SOLID CORE WOOD
BZ BUZZER, REFER TO SECURITY DRAWINGS	ME MATCH EXISTING	SP SHOP PAINTED
CL CLEAR	MH MAGNETIC HOLD OPEN	SS STAINLESS STEEL
CR CARD READER	MIN MINUTES	STL STEEL
DH DOOR HOLD OPEN	MTL HOLLOW METAL	STN STAIN
E EXISTING	PB PANIC BAR	VAR VARNISH
F FIBERGLASS	PL PLASTIC LAMINATE	SGL SINGLE
	PR PAIR	DBL DOUBLE
	PT PAINT	

GLASS TYPES

GL-01: SEE SPECIFICATIONS
ALL GLAZING SHALL BE TEMPERED.

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION AND PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TELL TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

SKYLIGHT SCHEDULE						
WINDOW	GLAZING		SIZE		DETAIL REFERENCE	
	SINGLE	DOUBLE	WIDTH	HEIGHT	HEAD	JAMB
					SILL	
					NOTES	
					VELUX ELECTRIC 'FRESH AIR' WITH SHADE	
1			2'-6"	3'-2"	VELUX ELECTRIC 'FRESH AIR' WITH SHADE	
2			2'-6"	3'-2"	VELUX ELECTRIC 'FRESH AIR' WITH SHADE	
3			1'-9"	2'-3"	VELUX ELECTRIC 'FRESH AIR' WITH SHADE	
4			1'-9"	2'-3"	VELUX ELECTRIC 'FRESH AIR' WITH SHADE	
5			1'-9"	2'-3"	VELUX ELECTRIC 'FRESH AIR' WITH SHADE	
6			1'-9"	2'-3"	VELUX ELECTRIC 'FRESH AIR' WITH SHADE	

WINDOW SCHEDULE											
WINDOW	TYPE	GLAZING		SIZE		DETAIL REFERENCE			GLASS TYPE	HEADER R.O. HEIGHT	LOCATION
		SINGLE	DOUBLE	WIDTH	HEIGHT	HEAD	JAMB	SILL			
	A	III	●	4'-6 1/2"	4'-10 1/2"				GL-01		
	B	III	●	4'-6 1/2"	4'-10 1/2"				GL-01		
	C	IV	●	4'-0"	4'-8"				GL-01		
	D	IV	●	4'-0"	4'-8"				GL-01		
	E	I	●	2'-6"	5'-0"				GL-01		
	F	V	●	4'-0"	5'-0"				GL-01		
	G	I	●	2'-6"	5'-0"				GL-01		
	H	II	●	3'-0"	5'-0"				GL-01		
	I	II	●	3'-0"	5'-0"				GL-01		
	J	II	●	3'-0"	5'-0"				GL-01		
	K	II	●	3'-0"	5'-0"				GL-01		
	L	I	●	2'-6"	5'-0"				GL-01		
	M	I	●	2'-6"	5'-0"				GL-01		
	N	II	●	3'-0"	5'-0"				GL-01		
	O	II	●	3'-0"	5'-0"				GL-01		
	P	II	●	3'-0"	5'-0"				GL-01		
	Q	I	●	2'-6"	5'-0"				GL-01		

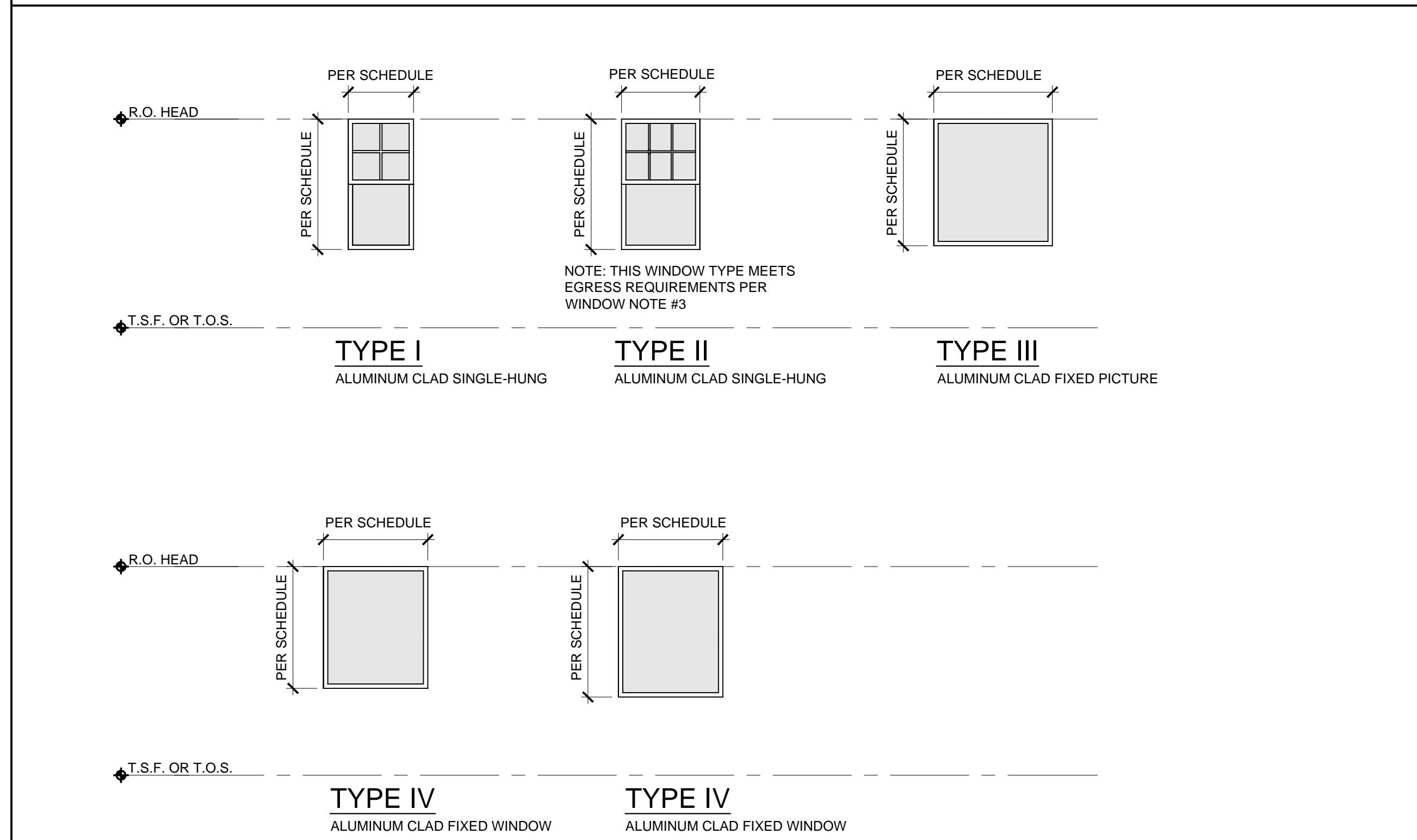
WINDOW NOTES

- CONTRACTOR IS RESPONSIBLE FOR REVIEWING FLOOR PLAN AND INTERIOR / EXTERIOR ELEVATIONS FOR VERIFICATION OF QUANTITY AND LOCATIONS OF ALL WINDOW TYPES.
- ALL ROUGH OPENING DIMENSION SHALL BE FIELD VERIFIED PRIOR TO ORDERING WINDOWS.
- WINDOWS NOTED AS 'EGRESS' SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING HEIGHT SHALL NOT BE LESS THAN 24-INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20-INCHES
- WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 24-INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72-INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL BE EQUIPPED WITH WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW TO LESS THAN SPECIFIED IN NOTE 3.
- PROVIDE HORIZONTAL LOUVER BLINDS ON ALL WINDOWS.

GLASS TYPES

GL-01: SEE SPECIFICATIONS

WINDOW TYPES



50

WR&D

WALD RUHNKE & DOST ARCHITECTS LLP

2340 GARDEN ROAD, SUITE 100
MONTEREY, CALIFORNIA 93940

PHONE: 831.649.4642
FAX: 831.649.3530
WWW.WRDARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

BUILDING REMODEL

5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS

A.P.N.: 010-136-019

JOB NO.: 18204

PRINT DATE: 9.24.2019

PLOT DATE: 9.24.2019

DRAWN BY: _____

CHECKED BY: _____

SET ISSUED: _____

SHEET NAME: WINDOW & SKYLIGHT SCHEDULE

SHEET NO.: A302

FILE NAME: 18204-A302



1 EXISTING FRONT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING SIDE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING REMODEL
5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS
A.P.N.: 010-136-019

JOB NO.:
18204
PRINT DATE:
PLOT DATE: 9.24.2019
DRAWN BY:
CHECKED BY:
SET ISSUED:

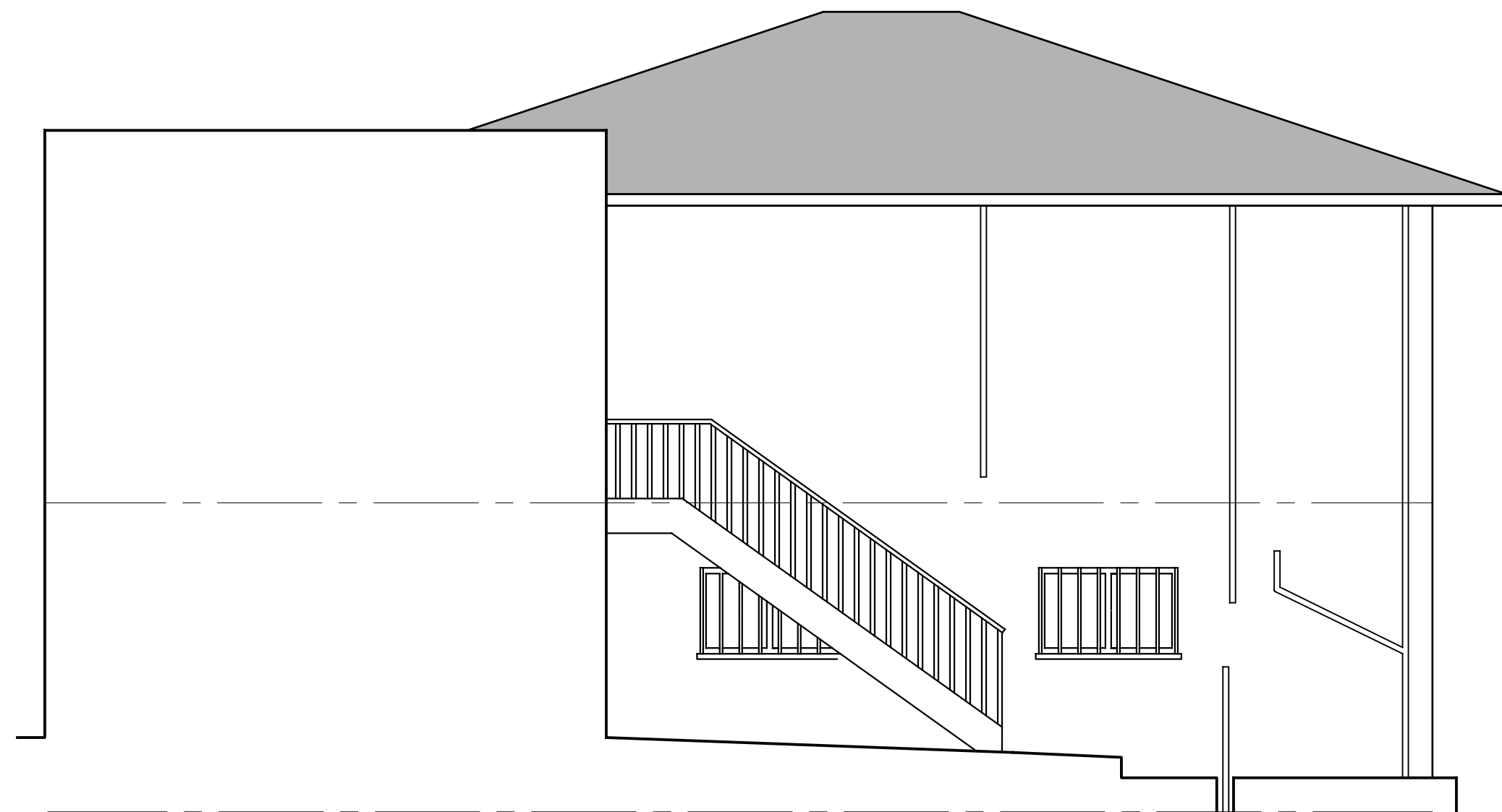
SHEET NAME:

EXISTING ELEVATIONS

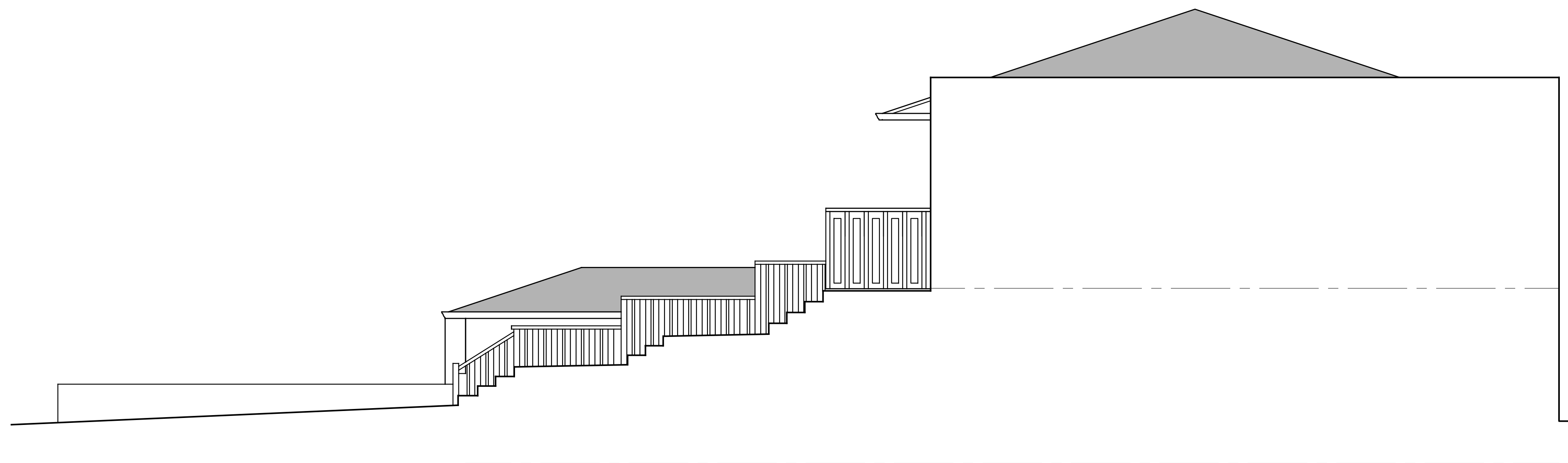
SHEET NO.:

A400

FILE NAME: 18204-A400



1 EXISTING REAR
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING SIDE
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING REMODEL
5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS
A.P.N.: 010-136-019

JOB NO.:
18204
PRINT DATE:
PLOT DATE: 9.24.2019
DRAWN BY:
CHECKED BY:
SET ISSUED:

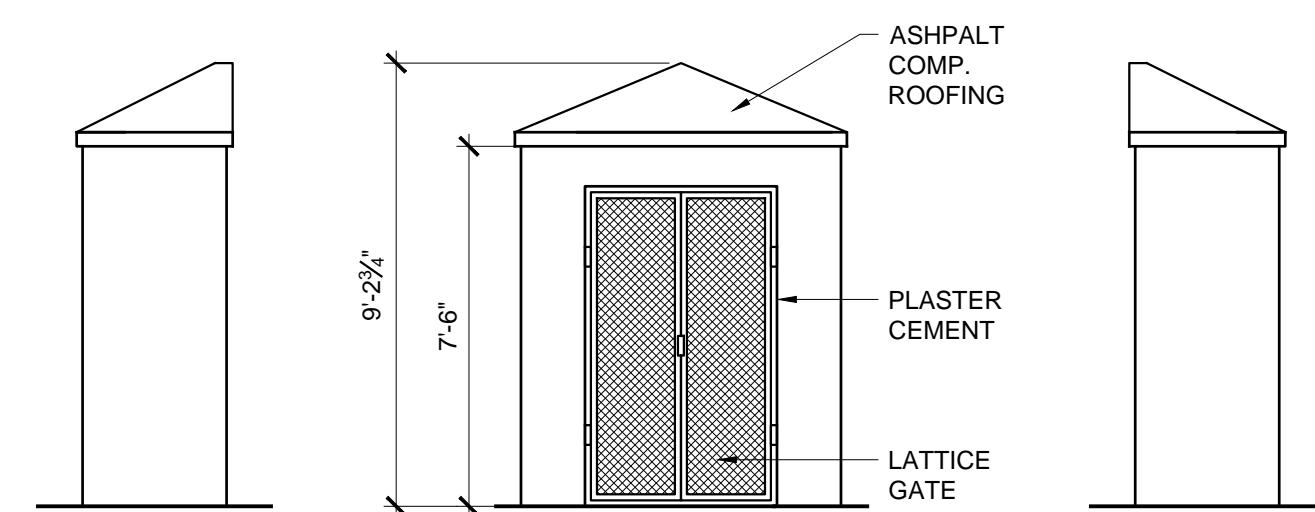
SHEET NAME:

EXISTING
ELEVATIONS

SHEET NO.:

A401

FILE NAME: 18204-A401



3 TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



1 FRONT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING REMODEL
5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS
A.P.N.: 010-136-019

JOB NO.:
18204
PRINT DATE:
PLOT DATE: 9.24.2019
DRAWN BY:
CHECKED BY:
SET ISSUED:

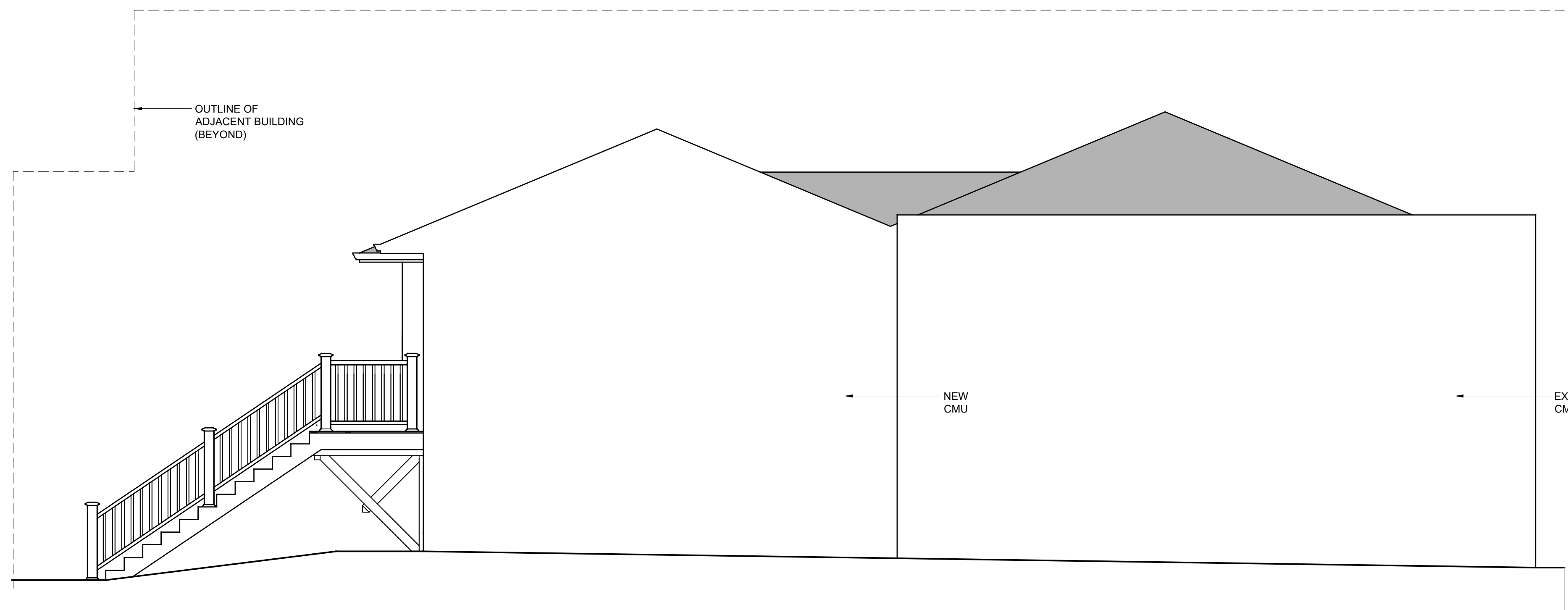
SHEET NAME:
NEW EXTERIOR ELEVATIONS

SHEET NO.:
A402

FILE NAME: 18204-A402



1 REAR EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING REMODEL
5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS
A.P.N.: 010-136-019

JOB NO.:
18204
PRINT DATE:
PLOT DATE: 9.24.2019
DRAWN BY:
CHECKED BY:
SET ISSUED:

SHEET NAME:
NEW EXTERIOR ELEVATIONS

SHEET NO.:

A403



1 AERIAL STREETScape MONTAGE
SCALE: NOT TO SCALE

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

BUILDING REMODEL

5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS

A.P.N.: 010-136-019

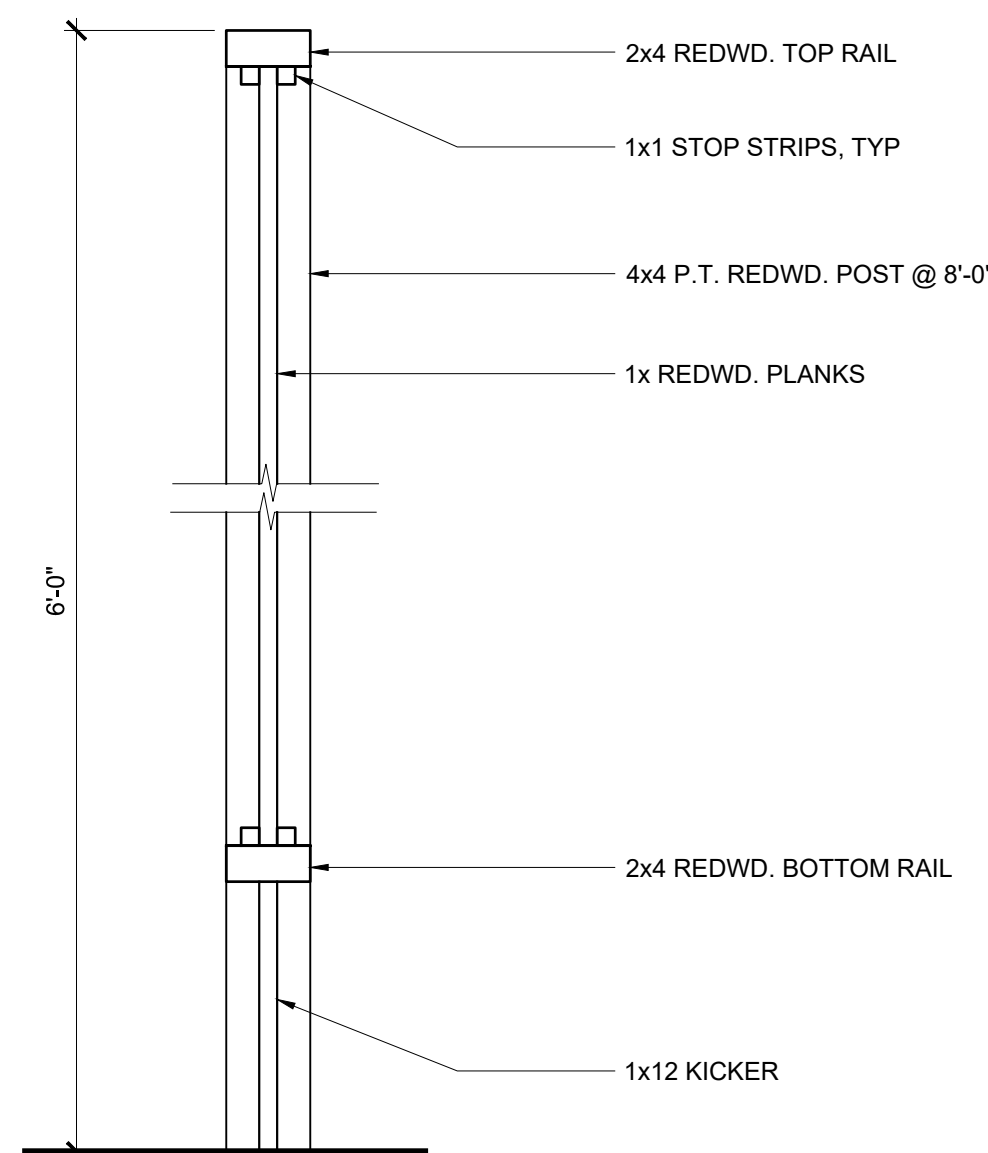
JOB NO.: 18204
PRINT DATE:
PLOT DATE: 9.24.2019
DRAWN BY:
CHECKED BY:
SET ISSUED:

SHEET NAME:
AERIAL STREETScape MONTAGE

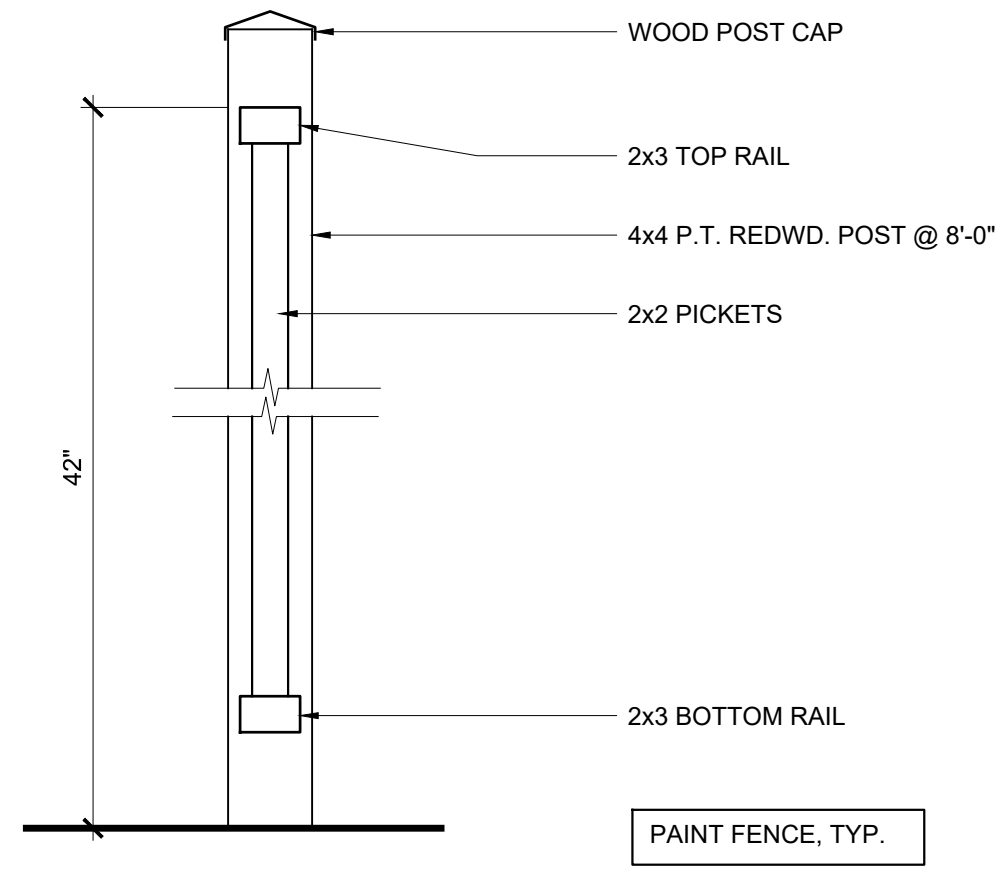
SHEET NO.:

A405

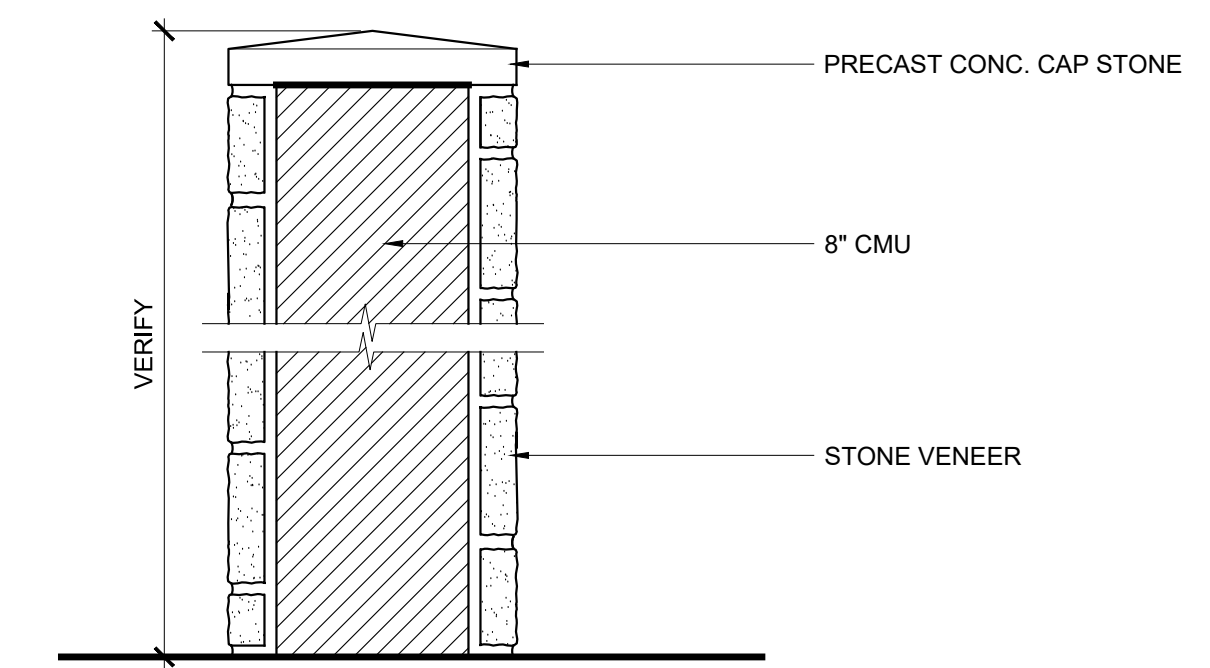
FILE NAME: 18204-A405



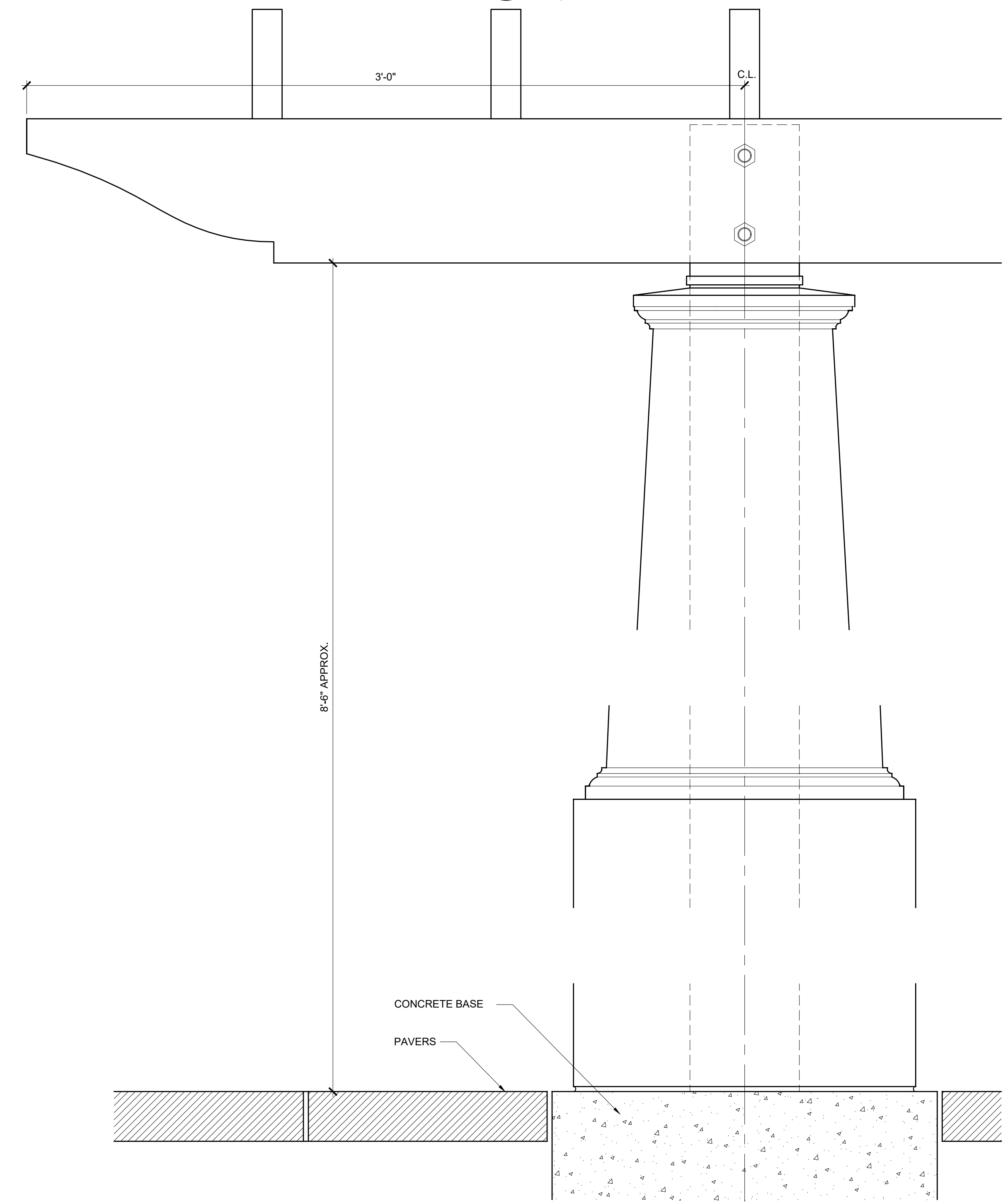
5 REDWOOD FENCE
SCALE: 1-1/2" = 1'-0"



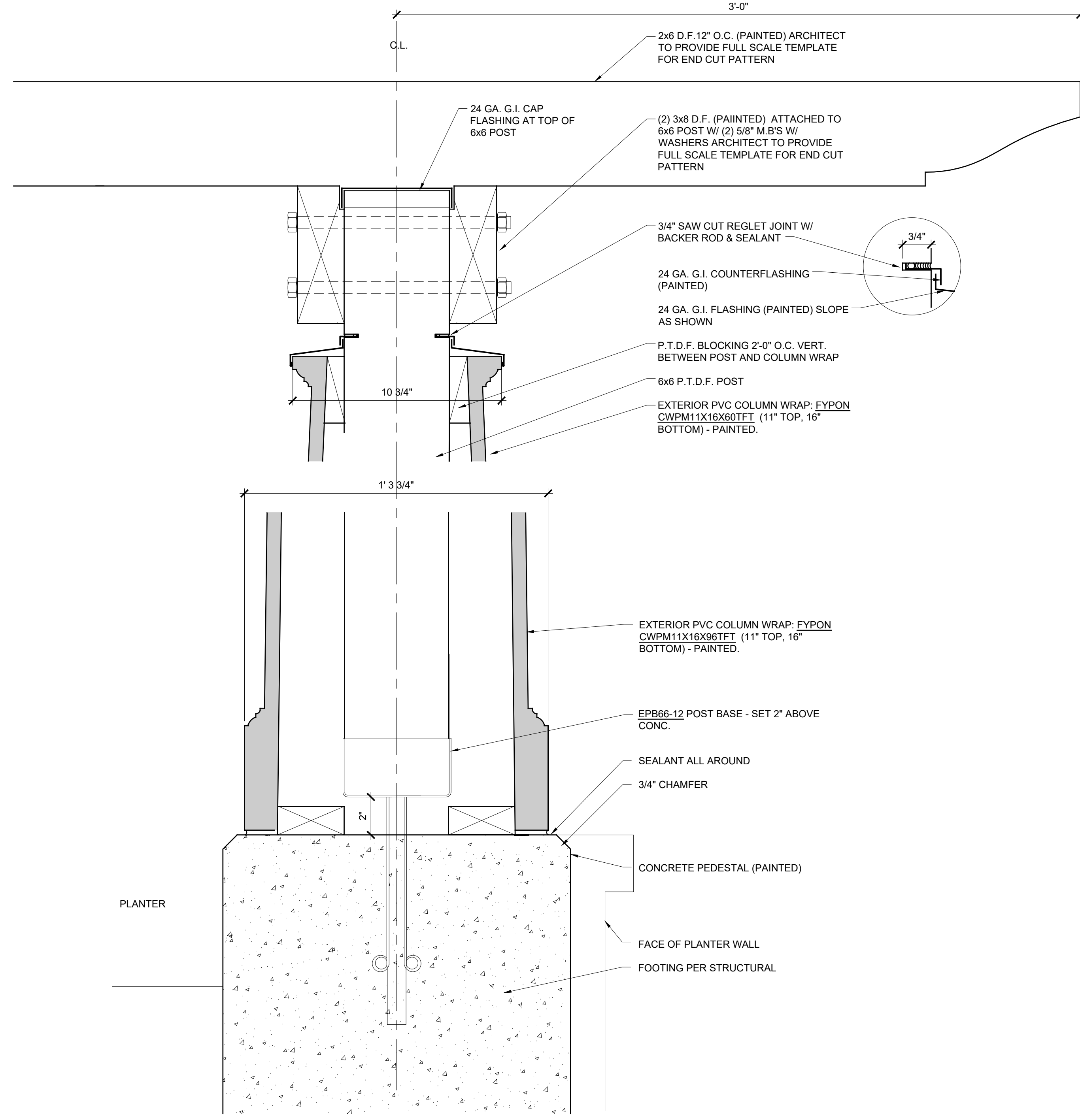
4 PICKET FENCE
SCALE: 1-1/2" = 1'-0"



3 PLANTER WALL
SCALE: 1-1/2" = 1'-0"



2 TRELLIS COLUMN
SCALE: 3" = 1'-0"



1 TRELLIS @ PLANTER
SCALE: 3" = 1'-0"

BUILDING REMODEL
 5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS
 A.P.N.: 010-136-019

JOB NO.:
18204
 PRINT DATE:
 PLOT DATE: 9.24.2019
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:

SHEET NAME:
TRELLIS DETAILS
 SHEET NO.:

A826
 FILE NAME: 18204-A826