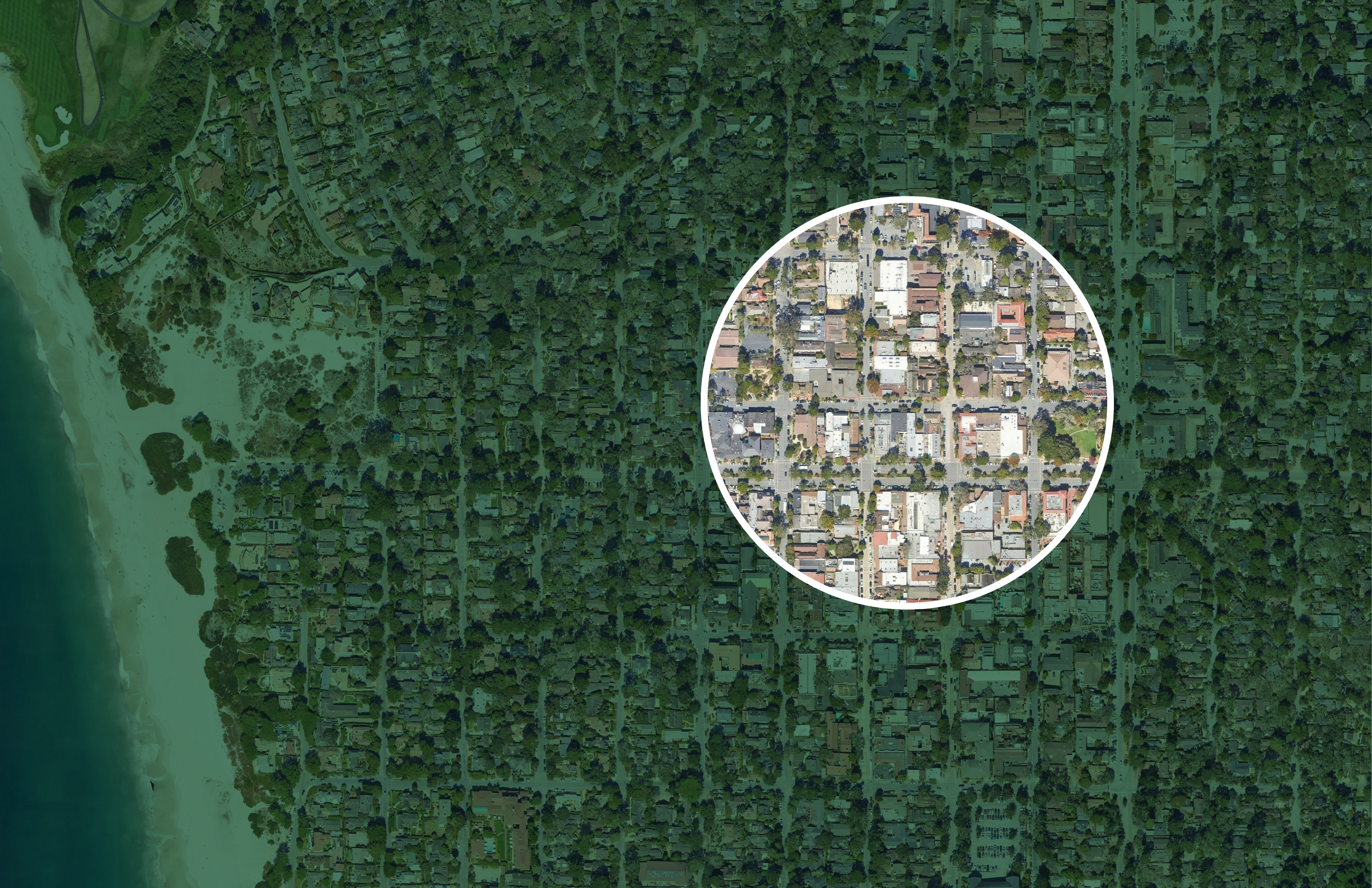


PARK BRANCH LIBRARY CONCEPTUAL DESIGN III.





CONCEPTUAL DESIGN SUMMARY

Park Branch Library

Located only several blocks from the Harrison Memorial Library, the concept design for the Park Branch Library involved a more considerable renovation. As with the Harrison branch, we evaluated the existing building and site, reviewing its presence and adjacent context. Although similar to the Harrison branch with its street corner placement, the Park Branch is situated on a quieter stretch of streets in Carmel-by-the-Sea and directly adjacent to one of the City's parks, Devendorf Park.

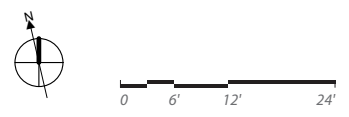
Meetings with the Carmel Public Library and the Carmel Public Library Foundation provided direction during the early stages of our design process. The relocation of the teen's room from the Harrison branch to the Park branch was identified as one of the main programmatic solutions to achieve a more efficient layout for the library. Another key design decision was the reduction of access and use to the miscellaneous basement spaces that had gone largely unused throughout the years of library operation. As we learned about the City's plans to potentially close off the adjacent streets and reclaim it for pedestrian use, an entry plaza was determined as a desirable approach in establishing a well-defined entry sequence for the library.

The program of the Park Branch Library is greatly simplified by consolidating both youth program spaces under the same roof. With only staff and support spaces making up the remainder of the Park branch, the repositioning of the entry lobby to its more centralized location and its redefined exterior approach seamlessly ties the library together, revitalizing the Park branch as a modern-day library. Although the building footprint is left untouched, its exterior is completely reimaged with new wood siding in shou sugi ban finish that clads each elevation. The redefined entry is enclosed in tall glass windows that provide transparency upon your approach. Built-in seating elements also line the exterior entryway, as well as the plaza spaces below. A new roof overhang extends above the entryway, creating a shelter at the building's front door and further emphasizing the new entry. The existing roof itself is replaced with a new metal roof, and the roof form at the northern side has been changed from a hip to a gable form. Several linear skylights are introduced to bring in additional daylight. On the building's interior, the rooms are completely reorganized. With the children's room as the primary reading room, exposed wood beams and wood slat ceilings with large pendant fixtures define the bright nature of the space, as natural light spills in from the large skylight above. Additionally, the children's area is able to expand onto a new outdoor patio space, replacing the existing driveway with planting areas, pavers, and fun outdoor furniture. This new children's patio is defined by a wood fence along the perimeter of the site that matches the new wood siding of the building's exterior.

Similar to the Harrison branch, our material palette was inspired by the coastline near Carmel-by-the-Sea. From the exterior stone pavers to the warm carpet tones, to the light wood finishes and blue tones, the design of the library takes its cues from its natural surroundings. And as a direct nod to the adjacent buildings, the shou sugi ban wood finish of the exterior embodies the charm of the worn wood finishes found throughout the city.

SITE PLAN

- 1** PARKING
- 2** MAIN ENTRY
- 3** REAR ENTRY
- 4** STAFF ENTRY
- 5** BASEMENT ENTRY
- 6** MECHANICAL
- 7** RAMP



SITE PLAN

- 1 ENTRY PLAZA
- 2 MAIN ENTRY
- 3 STAFF ENTRY
- 4 CHILDREN'S PATIO
- 5 GARDEN
- 6 PLANTER
- 7 INTEGRATED BENCHES
- 8 DECORATIVE LOG
- 9 ELECTRICAL SERVICE
- 10 PARKING
- 11 STORAGE BELOW
- 12 STAIR TO STORAGE
- 13 MECHANICAL AND TRASH ENCLOSURE
- 14 RAMP
- 15 OPERABLE SKYLIGHT
- 16 PHOTOVOLTAIC ARRAY



BASEMENT LEVEL PLAN

- 1 MECHANICAL ROOM
- 2 CORRIDOR
- 3 STORAGE
- 4 STAFF LOUNGE
- 5 VESTIBULE
- 6 WOMEN'S RESTROOM
- 7 MEN'S RESTROOM
- 8 PUMP
- 9 STAIR
- 10 LIBRARY ABOVE

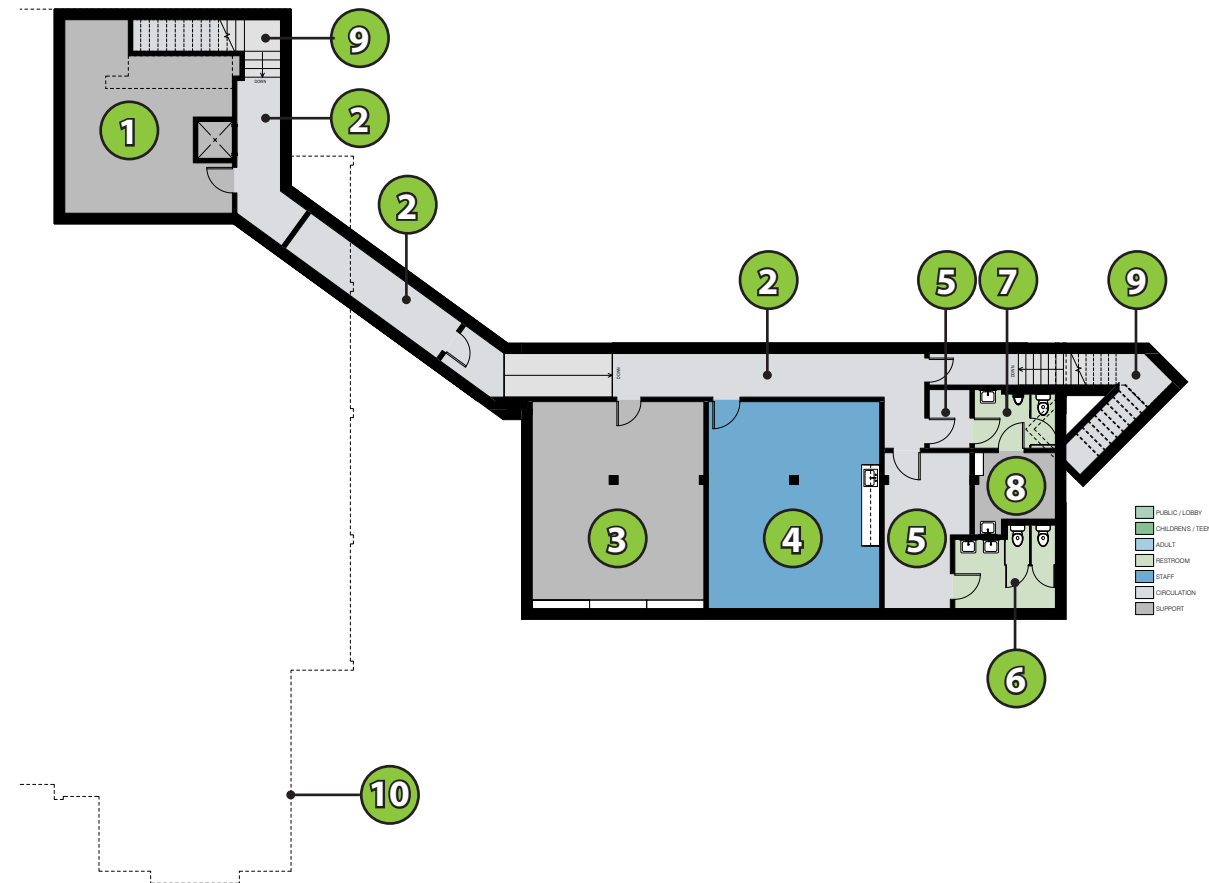
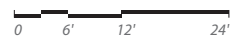


Figure K: Existing Program Plan Basement Level



- 1 STAIR TO BASEMENT
- 2 BASEMENT STORAGE

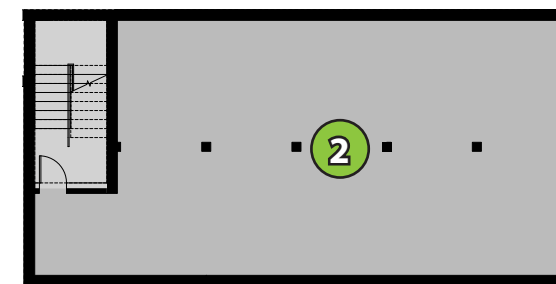
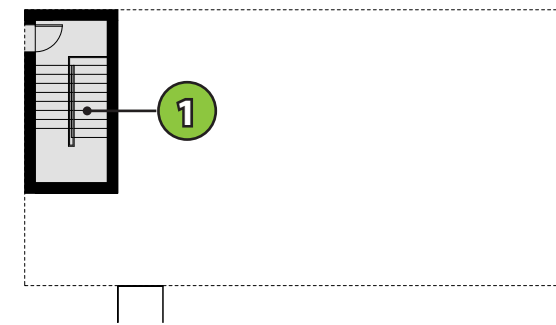


Figure L: Proposed Program Plan Basement Level

MAIN LEVEL FLOOR PLAN

- 1 MAIN ENTRY
- 2 STAFF ENTRY
- 3 HISTORY STORAGE
- 4 FOYER
- 5 VESTIBULE
- 6 LOCAL HISTORY ROOM
- 7 HISTORY WORKROOM
- 8 STORAGE
- 9 OFFICE
- 10 STORY TIME
- 11 TOILET
- 12 TECHNICAL SERVICES
- 13 CHILDREN'S READING ROOM
- 14 JANITOR
- 15 KITCHEN BREAKROOM
- 16 STAIR

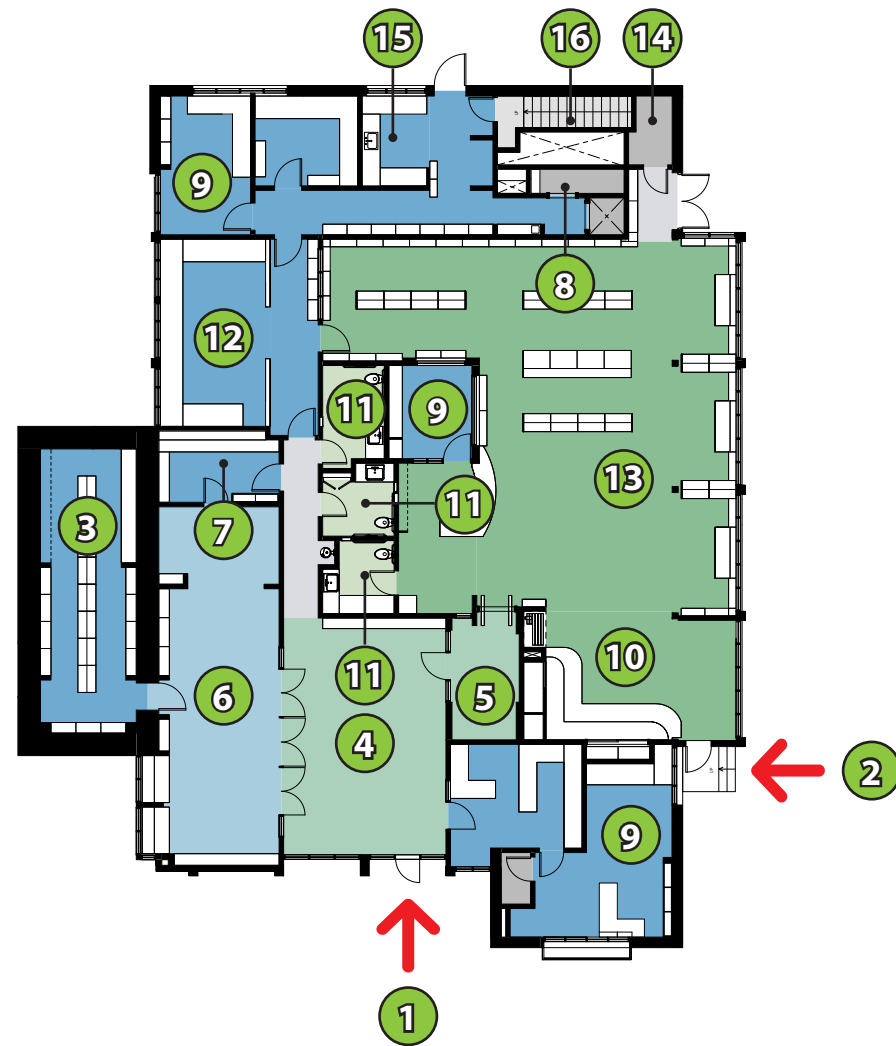
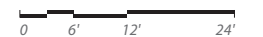


Figure M: Existing Program Plan Main Level

- 1 MAIN ENTRY
- 2 STAFF ENTRY
- 3 LOBBY
- 4 TEENS
- 5 CHILDREN'S READING ROOM
- 6 RESTROOM
- 7 STORAGE
- 8 CUSTODIAL
- 9 OFFICE
- 10 STAFF WORKROOM
- 11 STAFF LOUNGE
- 12 ELECTRICAL
- 13 TELECOM
- 14 STORYTIME
- 15 OPERABLE GLASS WALL



Figure N: Proposed Program Main Level



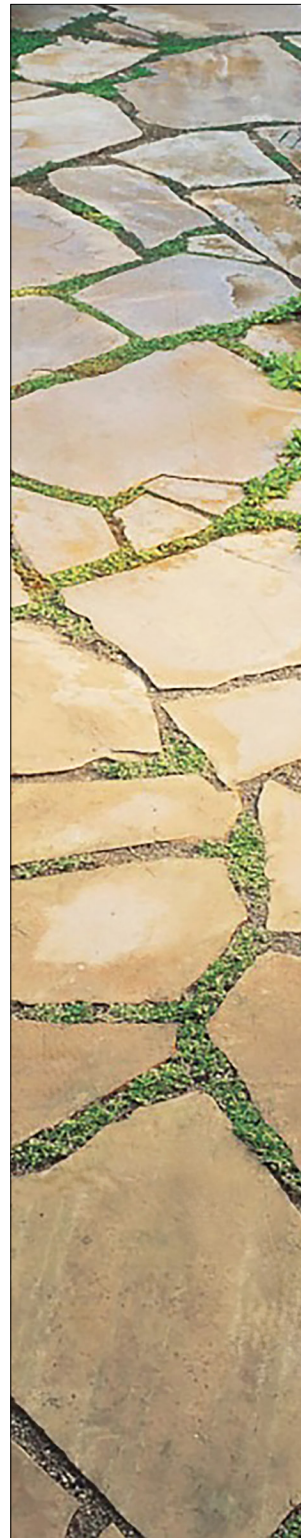
INSPIRATION IMAGES



MATERIALS - EXTERIOR



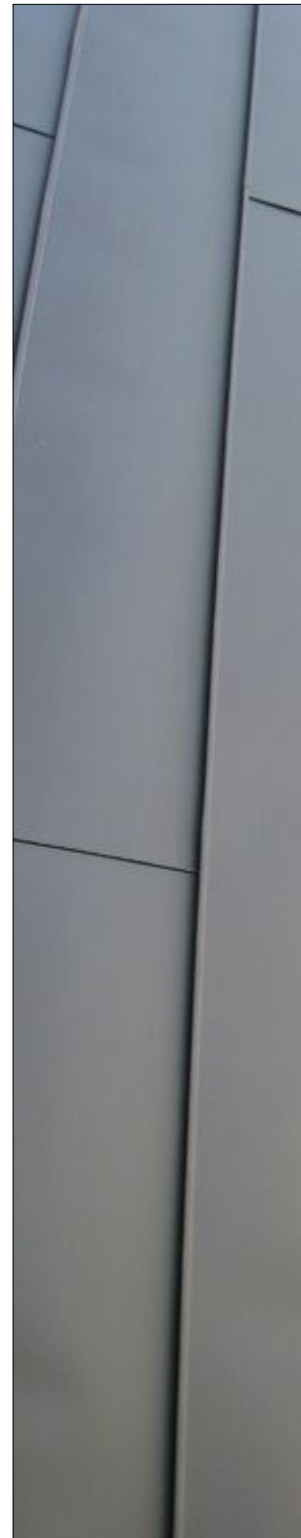
Shou Sugi Ban



Carmel Flagstone



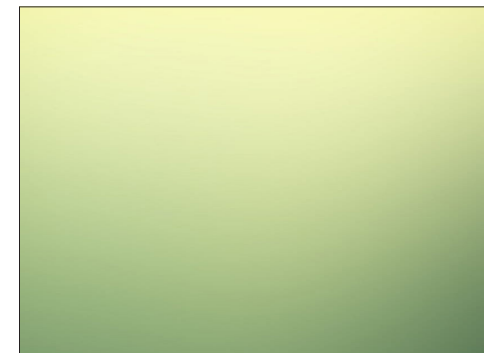
Red Cedar



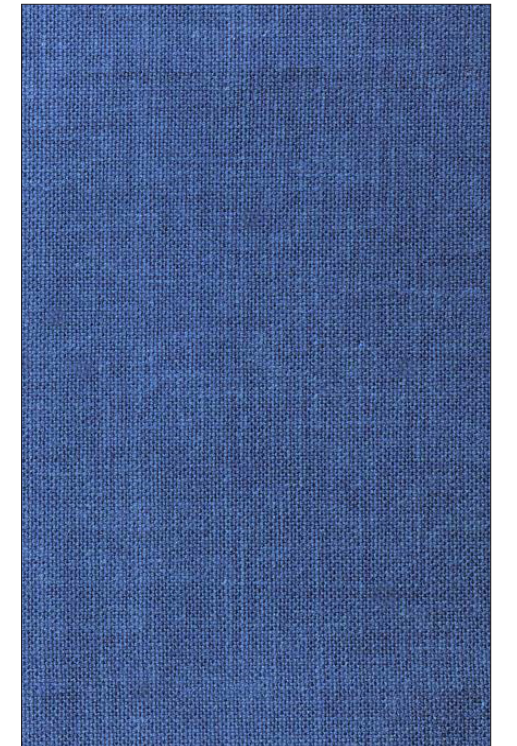
Zinc Roof



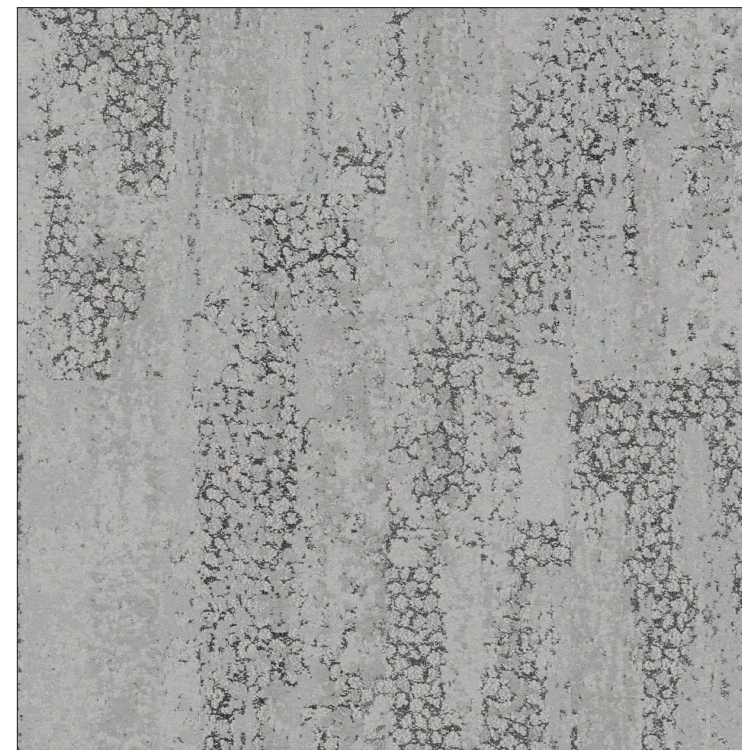
Wood Ceilings



Gradient Wall Graphics



Textile



Carpet Tiles



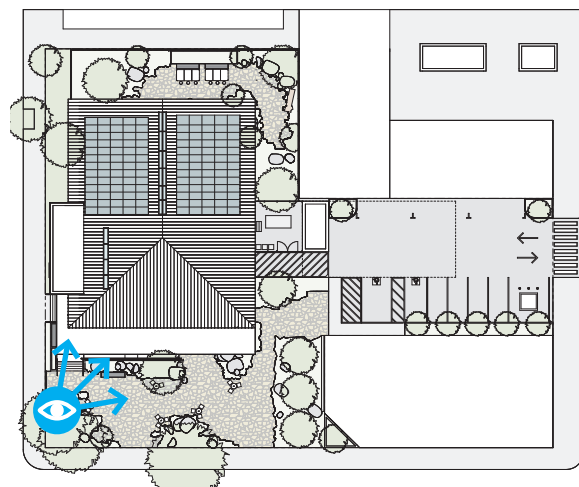
Wood Flooring

MATERIALS - INTERIOR

VISUALIZATIONS

View from Plaza

- 1 BOARD-FORM CONCRETE PLANTER
- 2 FLAGSTONE PAVERS
- 3 BRONZE SIGNAGE
- 4 BRONZE HANDRAILS
- 5 BENCH WITH WOOD SEATING
- 6 SHOU SUGI BAN FACADE
- 7 WOOD SOFFIT
- 8 STEEL STOREFRONT
- 9 METAL ROOF EDGE
- 10 BOULDERS



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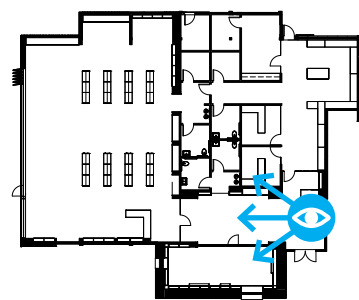
Figure 9: Rendering - View from Plaza



VISUALIZATIONS

View of Lobby from Main Entrance

- 1 WOOD FLOOR
- 2 GLASS PARTITION WITH GRAPHIC
- 3 PAINTED GYPSUM BOARD
- 4 GLASS PARTITION
- 5 WOOD SLAT CEILING
- 6 SOLID WOOD SURROUND
- 7 FROSTED GLASS PARTITION
- 8 QUARTZ COUNTERTOP
- 9 WOOD LETTERING
- 10 PAINTED WOOD SHELVING
- 11 AUTOMATED SKYLIGHT



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Figure 10: Rendering - View from Main Entrance



VISUALIZATIONS

View of Entry to Teens Room

- 1 WOOD FLOOR
- 2 GLASS PARTITION WITH GRAPHIC
- 3 GLASS PARTITION
- 4 WOOD SLAT CEILING
- 5 SOLID WOOD SURROUND
- 6 WOOD LETTERING

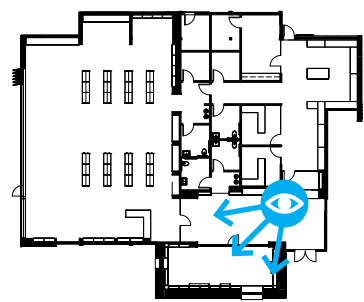


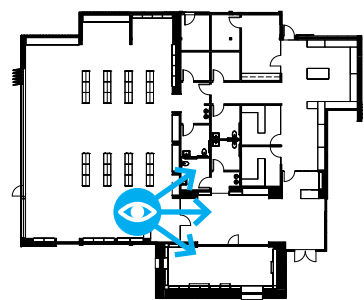
Figure 11: Rendering - View of Entry to Teens Room



VISUALIZATIONS

View of Teens Room

- 1 CARPET TILE FLOORING
- 2 GLASS PARTITION WITH GRAPHIC
- 3 PAINTED GYPSUM BOARD
- 4 WOOD SLAT CEILING
- 5 SOLID WOOD SURROUND
- 6 PAINTED WOOD SHELVING
- 7 PERFORATED WOOD PANELS
- 8 GRADIENT WALLPAPER
- 9 WOOD STUDY COUNTER



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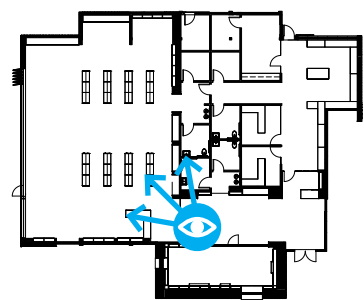
Figure 12: Rendering - View of Teens Room



VISUALIZATIONS

View from Entry to Children's Room

- 1 WOOD FLOOR
- 2 CARPET TILE FLOORING
- 3 PAINTED GYPSUM BOARD
- 4 OPERABLE GLASS STOREFRONT
- 5 WOOD SLAT CEILING
- 6 SOLID WOOD SURROUND
- 7 QUARTZ COUNTERTOP
- 8 WOOD LETTERING
- 9 CANTILEVER METAL SHELVING
- 10 GRADIENT WALLPAPER
- 11 FEATURE LIGHTING



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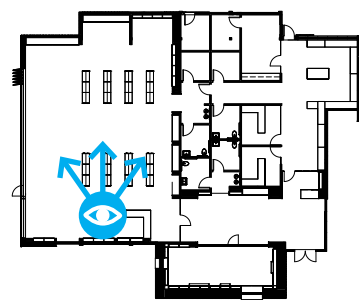
Figure 13: Rendering - View from Entry to Children's Room



VISUALIZATIONS

View across Children's Room

- 1 CARPET TILE FLOORING
- 2 PAINTED GYPSUM BOARD
- 3 OPERABLE STEEL STOREFRONT
- 4 WOOD SLAT CEILING
- 5 SOLID WOOD SURROUND
- 6 QUARTZ COUNTERTOP
- 7 PAINTED WOOD SHELVING
- 8 GRADIENT WALLPAPER
- 9 FEATURE LIGHTING
- 10 CANTILEVER METAL SHELVING



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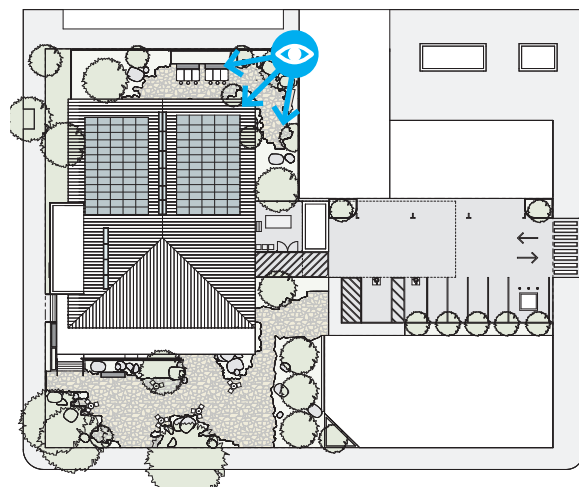
Figure 14: Rendering - View across Children's Room



VISUALIZATIONS

View from Children's Garden

- 1 SHOU SUGI BAN FACADE
- 2 METAL PANELS
- 3 WOOD SOFFIT
- 4 FLAGSTONE PAVERS
- 5 WOOD BENCH
- 6 BOARD-FORM CONCRETE PLANTER
- 7 STEEL PLANTER
- 8 OPERABLE GLASS STOREFRONT
- 9 STEEL WINDOW
- 10 METAL ROOF EDGE
- 11 BOULDERS



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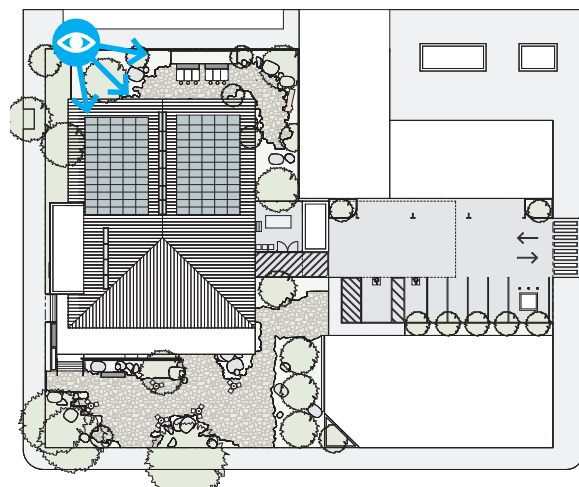
Figure 15: Rendering - View Children's Garden



VISUALIZATIONS

View into Children's Room

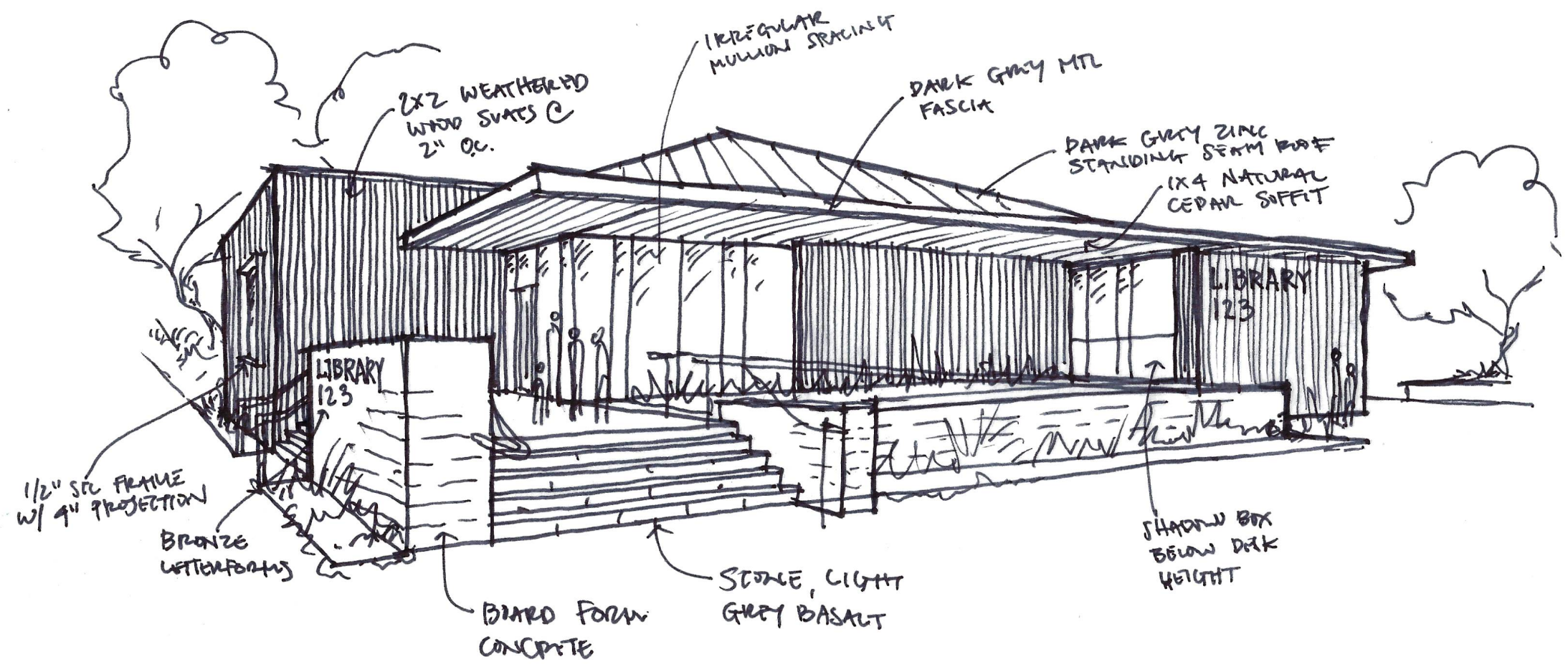
- 1 SHOU SUGI BAN FACADE
- 2 METAL PANELS
- 3 WOOD SOFFIT
- 4 FLAGSTONE PAVERS
- 5 OPERABLE GLASS STOREFRONT
- 6 STEEL WINDOW
- 7 METAL ROOF EDGE
- 8 BOULDERS
- 9 SHOU SUGI BAN FENCE



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Figure 16: Rendering - View into Children's Room





BUDGET AND SCHEDULE IV.





BUDGET & SCHEDULE SUMMARY

The estimate for the Harrison and Park Branch has two main elements, hard costs and soft costs. The hard costs make up a bulk of the estimated budget and consist of the materials and labor required to build the project. The soft costs consist of other project costs including consultant fees, furniture, contingencies, and other costs.

In addition to the hard and soft costs for each project, we have broken out several budget alternates for items that we have identified as premium improvements that will add significant value to the design and performance of each building, however are not required by code or critical functional considerations. We have estimated these separately and provided a separate project budget for the project if these alternates are included.

The Harrison Memorial Library hard costs, excluding alternates, are estimated at \$10,262,344. The Park Branch Library hard costs, excluding alternates are estimated at \$15,122,497. While the square footage of each branch is comparable, the Park Branch is more expensive due to two factors, the underground basement space, and the significantly larger amount of site improvements. Combined, total hard costs for the project, not including alternates, are \$25,384,840. This includes \$3,452,965 in escalation costs, to account for anticipated year over year increases in the cost of materials and labor at a rate of 6% per year, which is in line with historical data for annual construction cost increases for the region. If the project was built today, the cost of the project would be \$21,931,875. The project as estimated assumes a relatively high quality of materials, products, and labor, including custom elements throughout the design of each branch.

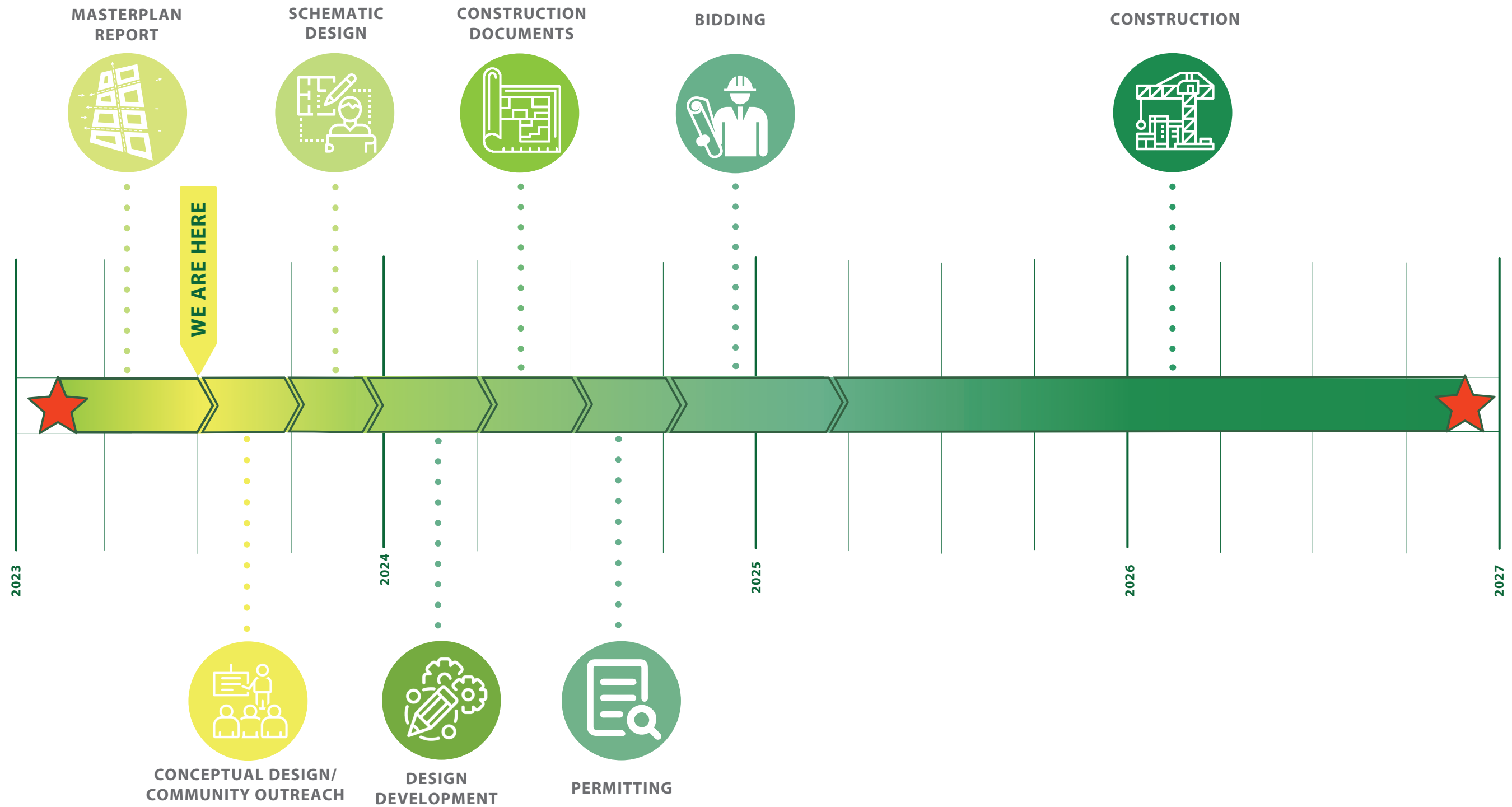
Soft costs are detailed in this section of the report, and cumulatively add another \$7,491,921 to the project, bringing the total estimated project cost to \$35,415,245. Soft costs add approximately 40% to the hard costs, and represent approximately 21% of the total project cost. This is in line for industry standards for a public bid project of this scale and type, located in this region.

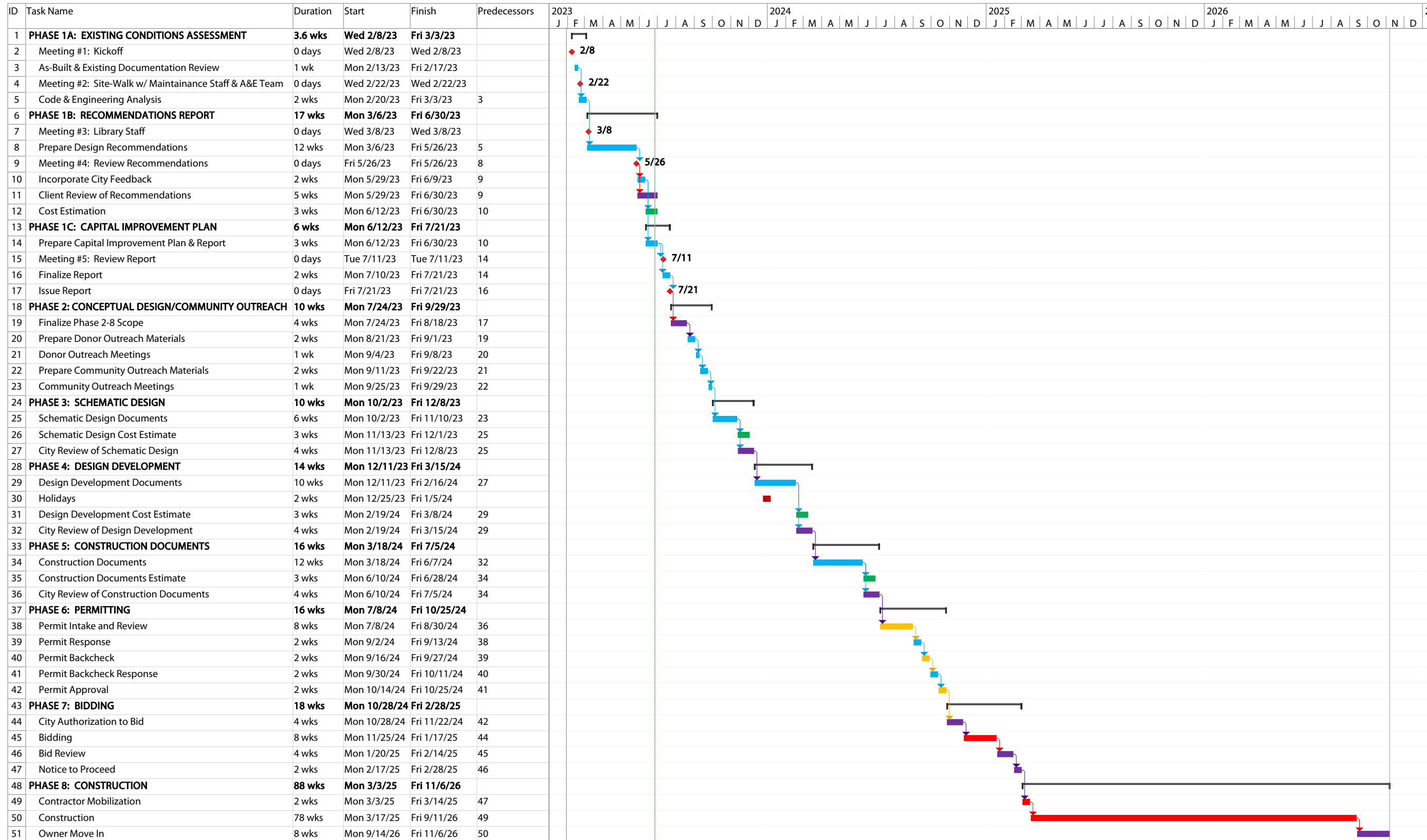
The alternates identified for each project include the custom glass and wrought iron elevator and Venetian plaster at the Harrison Memorial Library, photovoltaic systems at both branches, and the cost of escalation if the branches were built in two phases, with the Park branch not starting construction until the Harrison branch was completed. These alternates increase the estimated hard costs by \$4,567,704. With soft costs included, the total estimated budget is increased to \$41,489,332.

The schedule is structured to prioritize momentum, and minimize the impacts of cost escalation due to an extended duration in the planning phase. Design and engineering follows directly after the conclusion of this master plan phase, and the project begins construction in 2025 and is completed by the end of 2026.

While the budget and schedule will be refined in future phases, this estimate provides a basis for future decision making regarding project scope, schedule, and budget.

5-YEAR CAPITAL IMPROVEMENT PLAN





PROJECT BUDGET

BASE BUDGET

Construction Cost, base	\$25,384,840
10% Construction Contingency	\$2,538,484

13% Architecture & Engineering Fees	\$3,300,029
Furniture @ \$65/sf	\$905,190
Building Permit Fees	\$294,259
Planning Permit Fees	\$16,546
Utility Fees Allowance @ 2% of Construction	\$507,697
Testing & Inspections @ 0.75% of Construction	\$190,386
Telecom @ \$18/sf	\$250,668
AV & Security @ \$18/sf	\$250,668
Survey Allowance	\$50,000.00
Hazardous Material Consultant Allowance	\$30,000.00
Construction Management @ 3% of Construction	\$761,545
Public Art @ 1% of Construction	\$253,848
Temporary Library Lease	-
Temporary Library Build Out	-
Temporary Library Soft Costs @ 40% of Build Out	-
10% Soft Costs Contingency	\$681,083.71
Total Soft Costs	\$7,491,921

Total Project Budget **\$35,415,245**

BUDGET WITH ALTERNATES

Construction Cost, base + Alternates	\$29,952,544
10% Construction Contingency	\$2,995,254

13% Architecture & Engineering Fees	\$3,893,831
Furniture @ \$65/sf	\$905,190
Building Permit Fees	\$346,331
Planning Permit Fees	\$16,546
Utility Fees Allowance @ 2% of Construction	\$599,051
Testing & Inspections @ 0.75% of Construction	\$224,644
Telecom @ \$18/sf	\$250,668
AV & Security @ \$18/sf	\$250,668
Survey Allowance	\$50,000.00
Hazardous Material Consultant Allowance	\$30,000.00
Construction Management @ 3% of Construction	\$898,576
Public Art @ 1% of Construction	\$299,525
Temporary Library Lease	-
Temporary Library Build Out	-
Temporary Library Soft Costs @ 40% of Build Out	-
10% Soft Costs Contingency	\$776,503.04
Total Soft Costs	\$8,541,533

Total Project Budget **\$41,489,332**

*Excluded: Legal, financing, moving, storage, internal staff costs

COST ESTIMATE

CARMEL LIBRARIES

Harrison Memorial Library & Park Branch Library
Carmel, California

Conceptual Cost Plan

Report Prepared for:

Jayson Architecture

July 10, 2023

more value, less risk

www.tbdconsultants.com



TBD Consultants
(415) 981 9430

CARMEL LIBRARIES
Harrison Memorial Library & Park Branch Library
Carmel, California



Conceptual Cost Plan
July 10, 2023

BASIS OF ESTIMATE

REFERENCE DOCUMENTATION

This Construction Cost Estimate was produced from the following documentation. Design and engineering changes occurring subsequent to the issue of these documents have not been incorporated in this estimate.

Document

- Conceptual design package

PROJECT DESCRIPTION

The scope of work includes the renovation of two libraries in Carmel, California.

BASIS FOR PRICING

This estimate reflects the fair construction value for this project and should not be construed as a prediction of low bid. Prices are based on local prevailing wage construction costs at the time the estimate was prepared. Pricing assumes a procurement process with competitive bidding for all sub-trades of the construction work, which is to mean a minimum of 3 bids for all subcontractors and materials/equipment suppliers. If fewer bids are solicited or received, prices can be expected to be higher.

Subcontractor's markups have been included in each line item unit price. Markups cover the cost of field overhead, home office overhead and subcontractor's profit. Subcontractor's markups typically range from 15% to 25% of the unit price depending on market conditions.

General Contractor's/Construction Manager's Site Requirement costs are calculated on a percentage basis. General Contractor's/Construction Manager's Jobsite Management costs are also calculated on a percentage basis.

Site Requirements	5.0%
Jobsite Management	12.0%
Phasing	0.0%

General Contractor's/Construction Manager's overhead and fees are based on a percentage of the total direct costs plus general conditions, and covers the contractor's bond, insurance, site office overheads and profit.

Insurance & Bonding	2.5%
Fee (G.C. Profit)	6.0%

Unless identified otherwise, the cost of such items as overtime, shift premiums and construction phasing are not included in the line item unit price.

This cost estimate is based on standard industry practice, professional experience and knowledge of the local construction market costs. TBD Consultants have no control over the material and labor costs, contractors methods of establishing prices or the market and bidding conditions at the time of bid. Therefore TBD Consultants do not guarantee that the bids received will not vary from this cost estimate.

CONTINGENCY

Design Contingency	17.5%
---------------------------	-------

The Design Contingency is carried to cover scope that lacks definition and scope that is *anticipated* to be added to the Design. As the Design becomes more complete the Design Contingency will reduce.

Construction Contingency	0.0%	<i>Excluded - Carried separately by Owner</i>
---------------------------------	------	---

The Construction Contingency is carried to cover the unforeseen during construction execution and Risks that do not currently have mitigation plans. As Risks are mitigated, Construction Contingency can be reduce, but should not be eliminated.

Bidding Contingency	<i>Excluded</i>
----------------------------	-----------------

Given the volatile bidding market, we recommend a review fo bidding conditions prior to bid date. Depending on prevailing conditions, it may be prudent to include a bidding contingency



BASIS OF ESTIMATE

Owner's Contingency *Excluded*

An owners contingency has not been included in this construction cost estimate, but it is advised that the owner carry additional contingency to cover scope change, bidding conditions, claims and delays.

CONSTRUCTION SCHEDULE

Harrison Memorial			
Construction Start Date	Mar-2025	Construction End Date	Sep-2026
Mid-date of Construction	Dec-2025	Construction Duration	17 months
Escalation Period	29 months	Escalation End Date	Construction Mid-Point
Park Branch Memorial			
Construction Start Date	Mar-2025	Construction End Date	Sep-2026
Mid-date of Construction	Dec-2025	Construction Duration	17 months
Escalation Period	29 months	Escalation End Date	Construction Mid-Point

ESCALATION

Escalation is included to the anticipated midpoint of construction, Dec 2025.

Escalation:	15.74%	Harrison Memorial		
	Annual Rate	Project Rate	Cummulative	
2023	6.00%	3.50%	3.50%	<i>June to December</i>
2024	6.00%	6.00%	9.71%	<i>Full year</i>
2025	5.50%	5.50%	15.74%	<i>Full year</i>
2026	5.00%	0.00%		<i>N/A</i>
2027	5.00%			

Escalation:	15.74%	Park Branch		
	Annual Rate	Project Rate	Cummulative	
2023	6.00%	3.50%	3.50%	<i>June to December</i>
2024	6.00%	6.00%	9.71%	<i>Full year</i>
2025	5.50%	5.50%	15.74%	<i>Full year</i>
2026	5.00%	0.00%		<i>N/A</i>
2027	5.00%	0.00%		<i>N/A</i>
2028	5.00%	0.00%		<i>N/A</i>

This calculation does not account for adverse bidding conditions and a separate Bid Contingency should be carried if there are limited qualified bidders or if a market research study indicates.

EXCLUSIONS

- Land acquisition, feasibility studies, financing costs and all other owner costs
- All professional fees and insurance
- Site surveys, existing condition reports and soils investigation costs
- Items identified in the design as Not In Contract [NIC]
- Hazardous materials investigations and abatement
- Utility company back charges, including work required off-site and utilities rates
- Work to City streets and sidewalks
- Items defined as Vendor / Owner supplied and Vendor / Owner installed
- Permits
- Owners contingency
- Overtime, 2nd shift and lost productivity premiums
- Design Fees
- PG & E Fees
- Sustainability Fees (LEED)
- Furniture, fixtures and equipment (FF&E)



KEY CRITERIA

AREA TABULATION

	ENCLOSED AREAS	COVERED AREAS	GROSS AREA	COMMENTS
HARRISON MEMORIAL LIBRARY				
Basement	1,976 SF			
Main Level	4,240 SF			
Mezzanine	1,250 SF			
Subtotal	7,466 SF	0 SF		
HARRISON MEMORIAL LIBRARY - GSF Incl. 50% Covered Area			7,466 GSF	

	ENCLOSED AREAS	COVERED AREAS	GROSS AREA	COMMENTS
PARK BRANCH LIBRARY				
Basement	1,850 SF			
Level 01	6,460 SF			
Subtotal	8,310 SF	0 SF		
PARK BRANCH LIBRARY - GSF Incl. 50% Covered Area			8,310 GSF	

SITWORK

HARRISON MEMORIAL LIBRARY	9,700 SF	Including building footprint
PARK BRANCH LIBRARY	22,600 SF	Including building footprint



EXECUTIVE SUMMARY

	GSF	\$ / SF	TOTAL	COMMENTS
HARRISON MEMORIAL LIBRARY				
BUILDING	7,466 GSF	\$1,139.24	8,505,533	
SITWORK			360,879	
SUBTOTAL			8,866,411	today's dollars
ESCALATION TO DECEMBER 2025			1,395,932	
TOTAL CONSTRUCTION COST, HARRISON MEMORIAL LIBRARY			10,262,344	
PARK BRANCH LIBRARY				
BUILDING	8,310 GSF	\$1,249.91	10,386,761	
SITWORK			2,678,703	
SUBTOTAL			13,065,463	today's dollars
ESCALATION TO DECEMBER 2025			2,057,033	
TOTAL CONSTRUCTION COST, PARK BRANCH LIBRARY			15,122,497	
CARMEL LIBRARIES - HARRISON MEMORIAL + PARK BRANCH LIBRARY				
CONSTRUCTION COSTS - BOTH LIBRARIES			21,931,875	today's dollars
ESCALATION TO DECEMBER 2025			3,452,965	
TOTAL CONSTRUCTION COST	15,776 GSF	\$1,609.08	25,384,840	escalated

ALTERNATES

	TOTAL	COMMENTS
ALTERNATES	4,567,704	
HARRISON MEMORIAL ALTERNATE #1 - GLASS ELEVATOR	2,010,270	
HARRISON MEMORIAL ALTERNATE #2 VENETIAN PLASTER	474,098	
HARRISON MEMORIAL ALTERNATE #3 PV	208,900	
PARK BRANCH ALTERNATE #4 PV	655,185	
PHASED CONSTRUCTION	1,219,251	Park Library midpoint July 2027



HARRISON MEMORIAL LIBRARY - UNIFORMAT II SUMMARY

GSF : 7,466

SECTION	%	TOTAL	\$ / SF	COMMENTS
10 FOUNDATIONS	4.4%	261,050	\$34.97	
20 BASEMENT CONSTRUCTION				
A SUBSTRUCTURE	4.4%	261,050	\$34.97	
10 SUPERSTRUCTURE	7.0%	417,004	\$55.85	
20 EXTERIOR ENCLOSURE	7.5%	447,530	\$59.94	
30 ROOFING	2.1%	123,905	\$16.60	
B SHELL	16.6%	988,439	\$132.39	
10 INTERIOR CONSTRUCTION	17.9%	1,064,464	\$142.57	
20 STAIRS	1.7%	100,000	\$13.39	
30 INTERIOR FINISHES	11.5%	681,892	\$91.33	
C INTERIORS	31.1%	1,846,356	\$247.30	
10 CONVEYING	7.7%	456,600	\$61.16	
20 PLUMBING	3.0%	178,040	\$23.85	
30 HVAC	7.0%	416,994	\$55.85	
40 FIRE PROTECTION	0.6%	37,330	\$5.00	
50 ELECTRICAL	12.7%	753,643	\$100.94	
D SERVICES	31.0%	1,842,607	\$246.80	
10 EQUIPMENT	5.3%	314,000	\$42.06	
20 FURNISHINGS	0.3%	19,900	\$2.67	
E EQUIPMENT + FURNISHINGS	5.6%	333,900	\$44.72	
10 SPECIAL CONSTRUCTION				
20 SELECTIVE BUILDING DEMOLITION	7.2%	429,922	\$57.58	
F SPECIAL CONSTRUCTION + DEMOLITION	7.2%	429,922	\$57.58	
10 SITE PREPARATION	0.2%	9,940	\$1.33	
20 SITE IMPROVEMENTS	2.0%	117,475	\$15.73	
30 SITE MECHANICAL UTILITIES	1.3%	74,525	\$9.98	
40 SITE ELECTRICAL UTILITIES	0.7%	40,000	\$5.36	
50 OTHER SITE CONSTRUCTION				
G BUILDING SITEWORK	4.1%	241,940	\$32.41	
DIRECT COSTS		5,944,214	\$796.17	
SITE REQUIREMENTS	5.0%	297,211	\$39.81	
JOBSITE MANAGEMENT	12.0%	713,306	\$95.54	
PHASING				none
ESTIMATE SUB-TOTAL		6,954,730	\$931.52	
INSURANCE + BONDING	2.5%	173,868	\$23.29	
FEE	6.0%	417,284	\$55.89	
ESTIMATE SUB-TOTAL		7,545,882	\$1,010.70	
DESIGN CONTINGENCY	17.5%	1,320,529	\$176.87	
CONSTRUCTION CONTINGENCY				excluded, by Owner
ESTIMATE SUB-TOTAL		8,866,411	\$1,187.57	
ESCALATION	15.7%	1,395,932	\$186.97	
ESTIMATE TOTAL		10,262,344	\$1,374.54	total add-ons 72.64%



HARRISON MEMORIAL LIBRARY - ESTIMATE DETAIL

GSF : 7,466

REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
357							
358		Hazardous materials abatement					excluded
359							
360							
361		SELECTIVE BUILDING DEMOLITION				429,922	\$57.58 / SF
362							
363		Site Preparation					
364							
365		Demo tree	1	EA	1,500.00	1,500	
366		Demo planting area	10	SF	25.00	250	
367		Miscellaneous site demo, protection	5,460	SF	1.50	8,190	
368							
369							
370		SITE PREPARATION				9,940	\$1.33 / SF
371							
372		Site Improvements					
373							
374		New accessible stone ramp & landing	100	SF	295.00	29,500	
375		New stone stairs	15	SF	295.00	4,425	
376		New bronze railings to above	60	LF	850.00	51,000	
377		New sidewalks	120	SF	30.00	3,600	
378		Allow for new curbs	30	LF	55.00	1,650	
379		Miscellaneous sitework allowance - minimal	5,460	SF	5.00	27,300	
380							
381							
382		SITE IMPROVEMENTS				117,475	\$15.73 / SF
383							
384		Site Mechanical Utilities					
385							
386		Connect to existing utilities within 5' of building	1	LS	15,000.00	15,000	
387							
388		Site drainage improvements allowance	1	LS	25,000.00	25,000	
389							
390		Scope existing sewer lateral to determine viability of reuse	1	LS	2,650.00	2,650	
391		Replace sewer later to POC in street	75	LF	175.00	13,125	
392		Sawcut/patch roadway	150	SF	65.00	9,750	
393		Trench plating, traffic control	1	LS	5,000.00	5,000	
394		Connect to existing	1	LS	4,000.00	4,000	
395							
396		SITE MECHANICAL UTILITIES				74,525	\$9.98 / SF
397							
398		Site Electrical Utilities					
399							
400		Site power distribution allowance	1	LS	15,000.00	15,000	
401							
402		Site lighting improvements allowance	1	LS	25,000.00	25,000	
403							
404		SITE ELECTRICAL UTILITIES				40,000	\$5.36 / SF
405							
406		Other Site Construction					no work
407							
408							
409		OTHER SITE CONSTRUCTION					



PARK BRANCH LIBRARY - UNIFORMAT II SUMMARY

GSF : 7,466

SECTION	%	TOTAL	\$/SF	COMMENTS
10 FOUNDATIONS	2.1%	184,800	\$24.75	
20 BASEMENT CONSTRUCTION	3.2%	284,000	\$38.04	
A SUBSTRUCTURE	5.4%	468,800	\$62.79	
10 SUPERSTRUCTURE	6.3%	548,415	\$73.45	
20 EXTERIOR ENCLOSURE	13.9%	1,218,295	\$163.18	
30 ROOFING	6.6%	578,740	\$77.52	
B SHELL	26.8%	2,345,450	\$314.15	
10 INTERIOR CONSTRUCTION	10.4%	911,008	\$122.02	
20 STAIRS	0.5%	45,000	\$6.03	
30 INTERIOR FINISHES	9.2%	806,970	\$108.09	
C INTERIORS	20.1%	1,762,978	\$236.13	
10 CONVEYING				
20 PLUMBING	2.6%	231,282	\$30.98	
30 HVAC	6.0%	522,596	\$70.00	
40 FIRE PROTECTION	0.5%	41,550	\$5.57	
50 ELECTRICAL	10.9%	958,471	\$128.38	
D SERVICES	20.0%	1,753,898	\$234.92	
10 EQUIPMENT	1.9%	166,750	\$22.33	
20 FURNISHINGS	0.5%	45,000	\$6.03	
E EQUIPMENT + FURNISHINGS	2.4%	211,750	\$28.36	
10 SPECIAL CONSTRUCTION				
20 SELECTIVE BUILDING DEMOLITION	4.8%	420,610	\$56.34	
F SPECIAL CONSTRUCTION + DEMOLITION	4.8%	420,610	\$56.34	
10 SITE PREPARATION	2.1%	183,165	\$24.53	
20 SITE IMPROVEMENTS	17.1%	1,498,164	\$200.66	
30 SITE MECHANICAL UTILITIES	0.9%	74,525	\$9.98	
40 SITE ELECTRICAL UTILITIES	0.5%	40,000	\$5.36	
50 OTHER SITE CONSTRUCTION				
G BUILDING SITEWORK	20.5%	1,795,854	\$240.54	
DIRECT COSTS		8,759,339	\$1,173.23	
SITE REQUIREMENTS	5.0%	437,967	\$58.66	
JOBSITE MANAGEMENT	12.0%	1,051,121	\$140.79	
PHASING				
ESTIMATE SUB-TOTAL		10,248,427	\$1,372.68	
INSURANCE + BONDING	2.5%	256,211	\$34.32	
FEE	6.0%	614,906	\$82.36	
ESTIMATE SUB-TOTAL		11,119,543	\$1,489.36	
DESIGN CONTINGENCY	17.5%	1,945,920	\$260.64	
CONSTRUCTION CONTINGENCY				excluded, by Owner
ESTIMATE SUB-TOTAL		13,065,463	\$1,750.00	
ESCALATION	15.7%	2,057,033	\$275.52	
ESTIMATE TOTAL		15,122,497	\$2,025.52	total add-ons 72.64%



PARK BRANCH LIBRARY - ESTIMATE DETAIL

GSF : 8,310

REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
1							
2		Foundations					
3							
4		Allow for footings (strengthened or new) at new concrete shearwalls	74	LF	850.00	62,900	
5		Allow for shoring and bracing as needed	1	LS	20,000.00	20,000	
6		Patch waterproofing as required	1	LS	5,000.00	5,000	
7		Miscellaneous foundations work allowance	6,460	SF	15.00	96,900	
8		Dryrot and termite repairs					excluded
9							
10							
11		FOUNDATIONS				184,800	\$22.24 / SF
12							
13		Basement Construction					
14							
15		Basement - abandon in place partial basement, seal and infill slabs and walls where needed	850	SF	250.00	212,500	pending further detailing
16		New basement wall infill, concrete, with xypex	144	SF	125.00	18,000	
17		Allow for excavation, shoring & support, etc as needed for new basement walls	1	LS	10,000.00	10,000	
18		New interior concrete walls with xypex	348	SF	125.00	43,500	
19		Dryrot and termite repairs					excluded
20							
21							
22		BASEMENT CONSTRUCTION				284,000	\$34.18 / SF
23							
24		Superstructure					
25							
26		New concrete shear walls	888	SF	125.00	111,000	
27		New concrete walls exterior at stairs	696	SF	125.00	87,000	
28		New steel beams	48	LF	500.00	24,000	
29		New steel column	1	EA	6,000.00	6,000	
30		Miscellaneous structural steel	1	LS	15,000.00	15,000	
31		Allowance for structure at exit stairs	203	SF	65.00	13,195	
32		New roof structure at gable roof extension	1,748	SF	65.00	113,620	
33		Infill floor at shaft	124	SF	100.00	12,400	
34		Interface with existing, protect	8,310	SF	5.00	41,550	
35		Miscellaneous structural work, shoring/bracing, connections etc	8,310	SF	15.00	124,650	
36		Dryrot and termite repairs					excluded
37							
38							
39		SUPERSTRUCTURE				548,415	\$65.99 / SF
40							
41		Exterior Enclosure					
42							
43		New aluminum wall panel over existing exterior walls to match storefront	230	SF	90.00	20,700	
44		Western red cedar rainscreen	420	SF	95.00	39,900	
45		New western red cedar over existing exterior walls	750	SF	95.00	71,250	
46		New western red cedar at new walls	2,041	SF	95.00	193,895	
47		New wall infills	1,301	SF	60.00	78,060	excl finishes
48							
49		Exterior glazing, 9'ht					
50		Thermally broken steel storefront	561	SF	225.00	126,225	
51		Thermally broken steel storefront window	248	SF	215.00	53,320	
52		Nanawall operable storefront	333	SF	375.00	124,875	
53		1/2" painted aluminum surrounds at windows	5	EA	5,500.00	27,500	
54							
55		Exterior doors, frames and hardware					
56		Glass entry exterior doors, single	1	EA	8,500.00	8,500	
57		Glass entry exterior doors, double	1	EA	15,000.00	15,000	
58		HM exterior doors, single	3	EA	4,000.00	12,000	
59		HM exterior doors, double	1	EA	6,800.00	6,800	



PARK BRANCH LIBRARY - ESTIMATE DETAIL

GSF : 8,310

REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
60		Specialty hardware allowance	1	LS	10,000.00	10,000	
61							
62		Soffit - t&g western red cedar	962	SF	95.00	91,390	
63		Entry canopy - wood soffit, pvc roofing, structural support	900	SF	180.00	162,000	
64		Exterior bronze signage	2	LOC	20,000.00	40,000	
65		Mech enclosure 7' ht tall wester red cedar, support	266	SF	170.00	45,220	
66		Allow for miscellaneous façade modifications at new windows and wall infills, as needed	4,583	SF	20.00	91,660	allow for minimal cut and patch
67							
68							
69		EXTERIOR ENCLOSURE				1,218,295	\$146.61 / SF
70							
71		Roofing					
72							
73		New zinc standing seam roofing over existing framing	6,394	SF	60.00	383,640	
74		New pvc roofing over new/existing framing	685	SF	28.00	19,180	
75		New automated skylight	123	SF	500.00	61,500	
76		New fixed skylight	50	SF	250.00	12,500	
77		Misc flashing and sheetmetal, copper	7,252	SF	10.00	72,520	
78		New copper gutters and downspouts	392	LF	75.00	29,400	
79							
80							
81		ROOFING				578,740	\$69.64 / SF
82							
83		Interior Construction					
84							
85		Interior partitions					
86		New partitions	3,504	SF	32.00	112,128	
87		New furring walls	1,344	SF	18.00	24,192	
88		New furring walls at perimeter wall - remove and replace, protect existing to remain as needed	2,532	SF	10.00	25,320	allowance
89							
90		Interior glazing					
91		Frameless glass partitions	342	SF	150.00	51,300	
92		Frameless glass partitions, frosted	80	SF	165.00	13,200	
93		Frameless glass partitions, with custom graphic interlayer	170	SF	225.00	38,250	
94		Allow for misc glazing, clearstory etc	1	LS	10,000.00	10,000	
95							
96		Interior doors					
97		Frameless galss doors, single	4	EA	5,500.00	22,000	
98		Frameless galss doors, with custom graphic interlayer, single	1	EA	7,000.00	7,000	
99		Frameless galss doors, frosted, single	1	EA	6,000.00	6,000	
100		HM doors and frames, single	1	EA	4,000.00	4,000	
101		Wood doors and frames, single	8	EA	5,500.00	44,000	
102		Specialty hardware allowance	1	LS	8,500.00	8,500	
103							
104		Millwork					
105		Painted wood built-in shelving, 56" tall	60	LF	1,250.00	75,000	
106		Painted wood built-in shelving 42" tall	38	LF	1,000.00	38,000	
107		Solid birch countertop	12	LF	650.00	7,800	
108		Built-in upholstered seating with painted shelving below	37	LF	1,500.00	55,500	
109		Circulation desk with quartz countertop & painted wood lower cabs	20	LF	2,500.00	50,000	
110		Painted lower cabs with quartz countertop	23	LF	1,000.00	23,000	
111		1-1/2" solid maple wood surround	123	LF	175.00	21,525	
112		Vertical solid maple 1x2 wood slats at 1.5" oc with black acoustic fabric backer	32	LF	1,250.00	40,000	
113							
114		Specialties					
115		Code signage	8,310	SF	0.50	4,155	



PARK BRANCH LIBRARY - ESTIMATE DETAIL

GSF : 8,310

REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
116		Directional signage & graphics	8,310	SF	1.50	12,465	
117		Corner guards and bumpers	8,310	SF	0.75	6,233	
118		Single restroom accessories	4	EA	3,000.00	12,000	
119		Operable interior partitions					none
120							
121		Miscellaneous					
122		Misc metals	8,310	SF	3.50	29,085	
123		Rough blocking, backing	8,310	SF	1.50	12,465	
124		Miscellaneous rough and finish carpentry	8,310	SF	6.50	54,015	
125		Sealing and caulking	8,310	SF	2.50	20,775	
126		Interior development allowance	8,310	SF	10.00	83,100	
127							
128							
129		INTERIOR CONSTRUCTION				911,008	\$109.63 / SF
130							
131		Stairs					
132							
133		Exit stairs, metal prefab, railings	1	FLT	45,000.00	45,000	
134							
135							
136		STAIRS				45,000	\$5.42 / SF
137							
138		Interior Finishes					per schedule
139							
140		Floor finishes					
141		Xypex surface treatment to existing concrete slab	1,604	SF	5.00	8,020	
142		Wood floors, children's, including warmboard subfloor	528	SF	75.00	39,600	warmboard with hvac
143		Wood floors	713	SF	55.00	39,215	
144		Carpet tile	3,539	SF	10.00	35,390	
145		Plywood underlayer at carpet in childrens'	2,072	SF	10.00	20,720	
146		Tile	284	SF	50.00	14,200	
147		Polish existing concrete slab	224	SF	10.00	2,240	
148		None	527	SF			
149							
150		Bases					
151		Rubber	288	LF	5.00	1,440	
152		1x4 solid redwood base	483	LF	25.00	12,075	
153		Tile	136	LF	50.00	6,800	
154							
155		Wall finishes					
156		Paint, level 3	1,340	SF	2.50	3,350	
157		Paint, level 4	1,314	SF	5.50	7,227	
158		Paint, level 5	2,138	SF	7.00	14,966	
159		Tile	1,200	SF	50.00	60,000	
160		Xypex surface treatment to existing concrete walls	2,260	SF	5.00	11,300	
161							
162		Ceiling finishes					
163		Painted gypsum board, level 4	284	SF	30.00	8,520	
164		Painted gypsum board, level 5	139	SF	35.00	4,865	
165		Exposed ceiling, paint	432	SF	3.50	1,512	
166		ACT, 2x4	1,185	SF	25.00	29,625	
167		1x2 solid maple acoustic wood slats at 1.5"	3,657	SF	100.00	365,700	
168		Xypex surface treatment, basement	1,604	SF	5.00	8,020	
169							
170		Miscellaneous					
171		Allowance for enhanced finishes, soffits and bulkheads	8,310	SF	5.00	41,550	
172		Additional wood trims, banding etc	8,310	SF	8.50	70,635	
173							
174							
175		INTERIOR FINISHES				806,970	\$97.11 / SF
176							
177		Conveying					none



PARK BRANCH LIBRARY - ESTIMATE DETAIL

GSF : 8,310

REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
178							
179							
180		CONVEYING					
181							
182		Plumbing					
183							
184		Trade demolition					
185		Safe-off and demo plumbing fixture	17	EA	550.00	9,350	
186		Demo existing sump pump, infill slab depression	1	EA	5,000.00	5,000	
187		Misc. plumbing demo	8,310	SF	2.00	16,620	
188							
189		Plumbing fixtures					
190		Water closet	4	EA	3,300.00	13,200	
191		Lavatory	4	EA	2,875.00	11,500	
192		Drinking fountain	2	EA	6,500.00	13,000	
193		Breakroom sink	1	EA	3,000.00	3,000	
194		Mop sink (allow)	1	EA	4,000.00	4,000	
195							
196		Sanitary waste, vent and service pipework					
197		Rough-in and final connect sanitary waste, vent and service pipe, fittings, supports, valves, specialties and insulation	12	EA	4,500.00	54,000	
198		3" floor drain	10	EA	2,875.00	28,750	
199		Condensate drainage serving FCU's	4	EA	1,650.00	6,600	
200		Condensate drainage serving split AC units	2	EA	1,650.00	3,300	
201		Connect to existing domestic water, 2"	1	EA	1,005.00	1,005	
202		Connect to existing sanitary 4"	1	EA	1,310.00	1,310	
203		Video scope sewer line	1	EA	3,000.00	3,000	
204							
205		Plumbing equipment					
206		2" water meter (by water district)	1	EA	820.00	820	Install/connect only
207		Expansion tank, 20 gallon	1	EA	850.00	850	
208		HW recirc pump, 1/2 hp, incl. aquastat and timer	1	EA	2,000.00	2,000	
209		Heat pump water heater, (2) 4.5kW CO2 heat pumps, (2) 100 gallon storage		NA			See HVAC
210		Domestic water storage tank, 100 Gallon, insulated	1	EA	4,500.00	4,500	
211		Sump basin, 3' dia x 12' deep	1	EA	9,396.40	9,396	
212		Sump pump, duplex, 2.5hp each	1	EA	8,500.00	8,500	
213		Sump pump control panel	1	EA	3,000.00	3,000	
214							
215		Roof drainage		NA			No work anticipated
216							
217		Natural gas		NA			No work anticipated
218							
219		Misc. plumbing requirements					
220		Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's	1	LS	20,270.14	20,270	
221		LEED premium	8,310	SF	1.00	8,310	
222							
223		PLUMBING				231,282	\$27.83 / SF
224							
225		HVAC					
226							
227		Trade demo					
228		Demo mechanical unit	2	EA	1,500.00	3,000	
229		Misc. HVAC demo	8,310	SF	3.00	24,930	
230		Safe-off, demo and remove boiler, furnace and AHU from basement	1	LS	7,560.00	7,560	
231							
232		HVAC equipment					
233		HP-1, -2, single zone, VRF, 4 ton	2	EA	12,000.00	24,000	
234		HP-3, -4 CO2 type	2	EA	7,595.00	15,190	
235		HD-1, relief hood, WRH 2x2x2	1	EA	2,500.00	2,500	



PARK BRANCH LIBRARY - ESTIMATE DETAIL

GSF : 8,310

REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
236		IT cooling, split AC units, 1.5 ton	2	EA	5,500.00	11,000	
237		EF-1 thru -5, panasonic FV-30VQ3	5	EA	875.00	4,375	
238		EF-6, range hood exhaust	1	EA	1,100.00	1,100	
239		FCU-1,-2, 4 ton	2	EA	8,800.00	17,600	
240		FCU-3,-4, 2 ton	2	EA	4,400.00	8,800	
241		Mixing boxes	2	EA	2,299.00	4,598	
242		Radiant pump, 2hp	1	EA	3,250.00	3,250	
243							
244		Piping distribution, refrigerant pipework	900	LF	55.00	49,500	
245							
246		Radiant pex tubing and manifolds	2,400	SF	25.00	60,000	
247							
248		Air distribution	8,310	SF	11.20	93,072	
249							
250		Diffusers, registers, grilles and OA louvers	8,310	SF	5.00	41,550	
251							
252		Temperature controls					
253		Provide BMS serving new HVAC and plumbing equipment	8,310	SF	5.00	41,550	
254		Window actuator	1	LS	3,000.00	3,000	
255		Automated skylight	1	LS	5,000.00	5,000	
256		Weather Station	1	LS	2,500.00	2,500	
257							
258		Testing and balancing	60	HRS	185.00	11,100	
259							
260		Misc. HVAC requirements					
261		Site supervision, documentation, detailing, coordination, testing, startup, seismic bracing, firestop, GC's and GR's	1	LS	66,645.65	66,646	
262		LEED premium	8,310	SF	2.50	20,775	
263							
264		HVAC				522,596	\$62.89 / SF
265							
266		Fire Protection					
267							
268		Misc. rework and reconfiguration of existing fire sprinkler system to accommodate new layout	8,310	SF	5.00	41,550	
269							
270		FIRE PROTECTION				41,550	\$5.00 / SF
271							
272		Electrical					
273							
274		Trade demolition					
275		Safe-off, disconnect and remove existing panels, raceways and cabling	8,310	SF	4.00	33,240	
276		Safe off and remove transformer	1	EA	3,000.00	3,000	
277		Safe off and remove electrical equipment	3	EA	2,000.00	6,000	
278							
279		Power distribution					
280		PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations		NA			By PG&E
281		Primary and secondary raceways	1	LS	82,500.00	82,500	
282		Concrete pad serving TX	1	LS	10,000.00	10,000	
283		Main service panel, 600A, 208/120V, 3P, 4W	1	EA	28,800.00	28,800	
284		Elevator feeder, 150A	1	EA	15,625.00	15,625	
285		PV interconnection breaker, 80A	1	EA	2,200.00	2,200	
286		Distribution panel, 225A, 120/208V, 42 circuit	1	EA	10,125.00	10,125	
287		Generator connection, 90A, 1P	1	EA	3,300.00	3,300	
288		Distribution panel, 60A, 120/208V, 42 circuit, server room, shunt trip	1	EA	3,300.00	3,300	
289		Distribution panel, 100A, 120/208V, 42 circuit, HVAC and DHW equip	2	EA	4,500.00	9,000	
290		Misc. feeders, conduit and cabling	8,310	SF	5.00	41,550	
291							
292		Machine and equipment power					
293		HP-1, -2, power connection	2	EA	3,500.00	7,000	



PARK BRANCH LIBRARY - ESTIMATE DETAIL

GSF : 8,310

REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
294		HP-3, power connection	1	EA	3,500.00	3,500	
295		Split AC power connections	2	EA	2,875.00	5,750	
296		Exhaust fan power connections	4	EA	950.00	3,800	
297		FCU power connections	4	EA	1,225.00	4,900	
298		DHW recirc pump	1	EA	1,200.00	1,200	
299		Roller shade power connection	5	EA	775.00	3,875	
300		Radiant pump power connection	1	EA	2,000.00	2,000	
301							
302		Convenience power					
303		Duplex receptacles, conduit and wiring, terminations	8,310	SF	8.00	66,480	
304		Floor boxes	11	EA	485.00	5,335	
305							
306		Lighting and controls					
307		32" dia. decorative pendant, David Trubridge FLO-1000	8	EA	2,332.00	18,656	
308		40" dia. decorative pendant, David Trubridge FLO-1000	7	EA	2,710.00	18,970	
309		Recessed can light, LED	34	EA	585.00	19,890	
310		Surface light, 18-3/4" dia., ramos&bassols, vibia duo-4870	4	EA	6,752.80	27,011	
311		Surface light, 31" dia., ramos&bassols, vibia duo-4872	3	EA	10,015.84	30,048	
312		Recessed can light, LED, outdoor	16	EA	885.00	14,160	
313		Misc. lighting, lighting controls, conduit and wiring	8,310	SF	30.00	249,300	
314							
315		Telecom and security					
316		Misc. tele data outlets, WAP outlets, raceways and structured cabling	8,310	SF	9.00	74,790	
317		Data in floor boxes	11	EA	485.00	5,335	
318		Data drops, 8 total serving WAP's	8	EA	525.00	4,200	
319		Security allowance	8,310	SF	3.00	24,930	
320							
321		Fire alarm					
322		Misc. rework/reconfiguration of existing FA system	8,310	SF	3.00	24,930	
323							
324		Photovoltaics					
325		PV array, wiring, raceways, inverter, and panel supports, 69kw	69	KW			see alternates
326							
327		Misc. electrical requirements					
328		Site supervision, documentation, detailing, coordination, testing, startup, seismic bracing, firestop, GC's and GR's	1	LS	72,995.97	72,996	
329		LEED premium	8,310	SF	2.50	20,775	
330							
331		ELECTRICAL				958,471	\$115.34 / SF
332							
333		Equipment					
334							
335		42" tall cantilever metal with painted wood end panels, canopies, stacks	91	LF	1,750.00	159,250	
336							
337		Projection screen, allow	1	EA	7,500.00	7,500	
338		Automated material handling system, AMHS					excluded
339		Book theft detection					excluded
340		Book drops					excluded
341							
342							
343		EQUIPMENT				166,750	\$20.07 / SF
344							
345		Furnishings					
346							
347		Window blinds at new glazing	1,142	SF	28.00	31,976	
348		Blinds to interior glazing	592	SF	22.00	13,024	



PARK BRANCH LIBRARY - ESTIMATE DETAIL

GSF : 8,310

REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
349							
350							
351		FURNISHINGS				45,000	\$5.42 / SF
352							
353		Special Construction					
354							
355							
356		SPECIAL CONSTRUCTION					
357							
358		Selective Building Demolition					
359							
360		Building demolition					
361		Demo roof to substructure	1,734	SF	15.00	26,010	
362		Demo roof shingles	6,178	SF	5.00	30,890	
363		Demo partitions, interior glazing	832	LF	30.00	24,960	
364		Demo casework, shelving, millwork etc	506	LF	25.00	12,650	
365		Demo doors, per leaf	41	EA	250.00	10,250	
366		Demo stairs, interior	1	EA	8,500.00	8,500	
367		Demo restroom fixtures, finishes, accessories	390	SF	30.00	11,700	
368		Demo interior ramps	60	SF	50.00	3,000	
369		Demo sump pit, infill pit	1	EA	3,500.00	3,500	
370		Demo exterior windows	150	LF	50.00	7,500	
371		Demo stacks	100	LF	35.00	3,500	
372		Demo exterior walls	111	LF	50.00	5,550	
373		Infill floor at shaft	124	SF			See Superstructure
374		Infill basement	850	SF			See Superstructure
375		Demo all interior finishes, remove paint, fixtures etc	8,050	SF	12.00	96,600	
376		Miscellaneous demolition allowance	8,050	SF	8.00	64,400	
377		Structural demolition allowance	8,050	SF	12.00	96,600	
378		MEP demolition allowance	1	LS	15,000.00	15,000	premium at basement equipment demo
379							
380		Hazardoud materials abatement					excluded
381							
382							
383		SELECTIVE BUILDING DEMOLITION				420,610	\$50.61 / SF
384							
385		Site Preparation					
386							
387		Demo tree	17	EA	1,000.00	17,000	
388		Demo planting area	2,383	SF	5.00	11,915	
389		Demo planters	26	LF	30.00	780	
390		Demo site walls	25	LF	35.00	875	
391		Demo driveway, parking incl striping	10,005	SF	5.00	50,025	
392		Demo sidewalk	1,042	SF	5.00	5,210	
393		Demo pavers	657	SF	5.00	3,285	
394		Demo ramp, landings and handrails	178	SF	25.00	4,450	
395		Demo curbs	665	LF	20.00	13,300	
396		Demo fence	211	LF	15.00	3,165	
397		Demo stairs	3	EA	2,500.00	7,500	
398		Demo bollards	2	EA	550.00	1,100	
399		Allowance for misc site clear and grub, protect existing to remain	16,140	SF	2.00	32,280	
400							
401		Allowance for erosion control, misc grading	16,140	SF	2.00	32,280	
402							
403							
404		SITE PREPARATION				183,165	\$22.04 / SF
405							
406		Site Improvements					
407							
408		Paving					
409		New sidewalk	235	SF	30.00	7,050	
410		Stone pavers	4,006	SF	80.00	320,480	



PARK BRANCH LIBRARY - ESTIMATE DETAIL

GSF : 8,310

REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
411		New asphalt surface lot	4,772	SF	10.00	47,720	
412		Allow for curbs	410	LF	55.00	22,550	
413							
414		Site improvements & landscaping					
415		New stone stairs	103	SF	295.00	30,385	
416		New stone ramp & landing	513	SF	295.00	151,335	
417		Ramp and stair railings, custom bronze	109	LF	850.00	92,650	
418		Planting areas	4,729	SF	20.00	94,580	
419		Planting at concrete planters	353	SF	85.00	30,005	soil, planting allowance
420		Concrete planter walls, 78", board form finish	121	LF	715.00	86,515	
421		Planting at corten steel planters	135	SF	68.00	9,180	soil, planting allowance
422		Corten steel planter walls, 32"	65	LF	135.00	8,775	
423		Concrete site wall with board form finish	103	LF	380.00	39,140	
424		New trees	18	EA	1,800.00	32,400	
425		New specimen tree, 72" box	2	EA	3,500.00	7,000	
426		Existing trees to remain, protect	7	EA	350.00	2,450	
427		Site boulders	29	EA	800.00	23,200	
428		Redwood log, sanded smooth	1	EA	800.00	800	
429		Built-in bench, with western red cedar boards	38	LF	950.00	36,100	
430		7' tall fence, western red cedar north	1,302	SF	70.00	91,140	
431		32.5" soil infill	2,870	SF	25.00	71,750	
432		Retaining wall at soil infill soil perimeter	314	LF	380.00	119,320	
433		Irrigation	5,217	SF	7.00	36,519	
434		Irrigation at new trees	20	EA	400.00	8,000	
435							
436		Miscellaneous sitework allowance	16,140	SF	8.00	129,120	
437							
438							
439		SITE IMPROVEMENTS				1,498,164	\$180.28 / SF
440							
441		Site Mechanical Utilities					
442							
443		Connect to existing utilities within 5' of buiding	1	LS	15,000.00	15,000	
444							
445		Site drainage improvements allowance	1	LS	25,000.00	25,000	
446							
447		Scope existing sewer lateral to determine viability of reuse	1	LS	2,650.00	2,650	
448		Replace sewer later to POC in street	75	LF	175.00	13,125	
449		Sawcut/patch roadway	150	SF	65.00	9,750	
450		Trench plating, traffic control	1	LS	5,000.00	5,000	
451		Connect to existing	1	LS	4,000.00	4,000	
452							
453		SITE MECHANICAL UTILITIES				74,525	\$8.97 / SF
454							
455		Site Electrical Utilities					
456							
457		Site power distribution allowance	1	LS	15,000.00	15,000	
458							
459		Site lighting improvements allowance	1	LS	25,000.00	25,000	
460							
461		SITE ELECTRICAL UTILITIES				40,000	\$4.81 / SF
462							
463		Other Site Construction					
464							
465							
466		OTHER SITE CONSTRUCTION					



ALTERNATES DETAIL

REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
1							
2		<u>HARRISON MEMORIAL ALTERNATE #1 - GLASS ELEVATOR</u>					
3							
4		Deduct					
5		Elevator steel	-1	LS	35,000.00	-35,000	
6		Passenger elevator	-1	EA	300,000.00	-300,000	
7		Bronze panel cladding on shaft base	-1,080	SF	145.00	-156,600	
8							
9		Add					
10		Elevator steel, custom AESS	1	LS	75,000.00	75,000	
11		Passenger elevator, custom glass cab with custom decorative wrought iron interior	1	EA	825,000.00	825,000	
12		Custom fire rated glass elevator shaft	1,080	SF	450.00	486,000	
13		Decorative custom wrought iron @ exterior of elevator hoist way	1,080	SF	250.00	270,000	
14							
15		Subtotal				1,164,400	
16							
17		Markups	72.6%			845,870	
18							
19							
20		HARRISON MEMORIAL ALTERNATE #1 - GLASS ELEVATOR				2,010,270	
21							
22		<u>HARRISON MEMORIAL ALTERNATE #2 VENETIAN PLASTER</u>					
23							
24		Deduct					
25		Wall finish					
26		Venetian plaster	-5,570	SF	7.00	-38,990	
27		Ceiling finishes					
28		Venetian plaster	-290	SF	30.00	-8,700	
29							
30		Add					
31		Wall finish					
32		Venetian plaster	5,570	SF	55.00	306,350	
33		Ceiling finishes					
34		Venetian plaster	290	SF	55.00	15,950	
35							
36							
37		Subtotal				274,610	
38							
39		Markups	72.6%			199,488	
40							
41							
42		HARRISON MEMORIAL ALTERNATE #2 VENETIAN PLASTER				474,098	
43							
44		<u>HARRISON MEMORIAL ALTERNATE #3 PV</u>					
45							
46		Add					
47		PV array, wiring, raceways, inverter, and panel supports, 22kw	22	KW	5,500.00	121,000	
48							
49							
50		Subtotal				121,000	
51							
52		Markups	72.6%			87,900	
53							
54							
55		HARRISON MEMORIAL ALTERNATE #3 PV				208,900	
56							
57		<u>PARK BRANCH ALTERNATE #4 PV</u>					
58							
59		Add					
60		PV array, wiring, raceways, inverter, and panel supports, 69kw	69	KW	5,500.00	379,500	
61							



ALTERNATES DETAIL

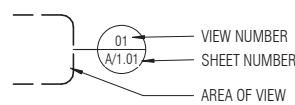
REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
62							
63		Subtotal				379,500	
64							
65		Markups	72.6%			275,685	
66							
67							
68		PARK BRANCH ALTERNATE #4 PV				655,185	

COST ESTIMATE DRAWINGS V.



SYMBOLS

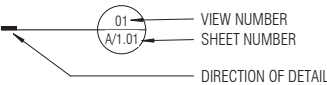
CALLOUT



WORK POINT (PLAN)



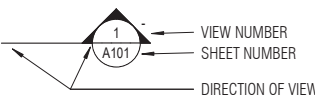
DETAIL SECTION



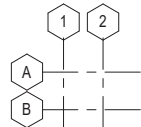
DATUM LEVEL



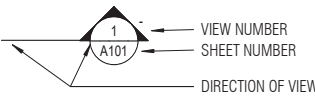
WALL SECTION



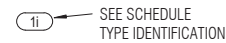
GRID LINES



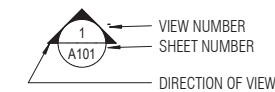
BUILDING SECTION



EQUIPMENT MARK



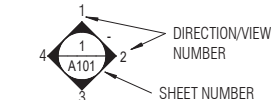
EXTERIOR ELEVATION



KEY NOTE MARK



INTERIOR ELEVATION



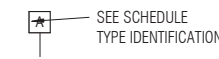
ROOM IDENTIFICATION



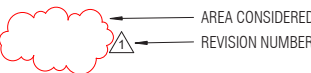
PROPERTY LINE



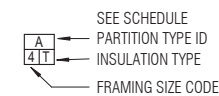
WALL TYPE (EXTERIOR)



REVISION MARK



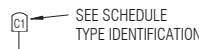
PARTITION TYPE



NORTH ARROW



GENERIC TAG



DOOR MARK



WINDOW MARK



GENERAL NOTES

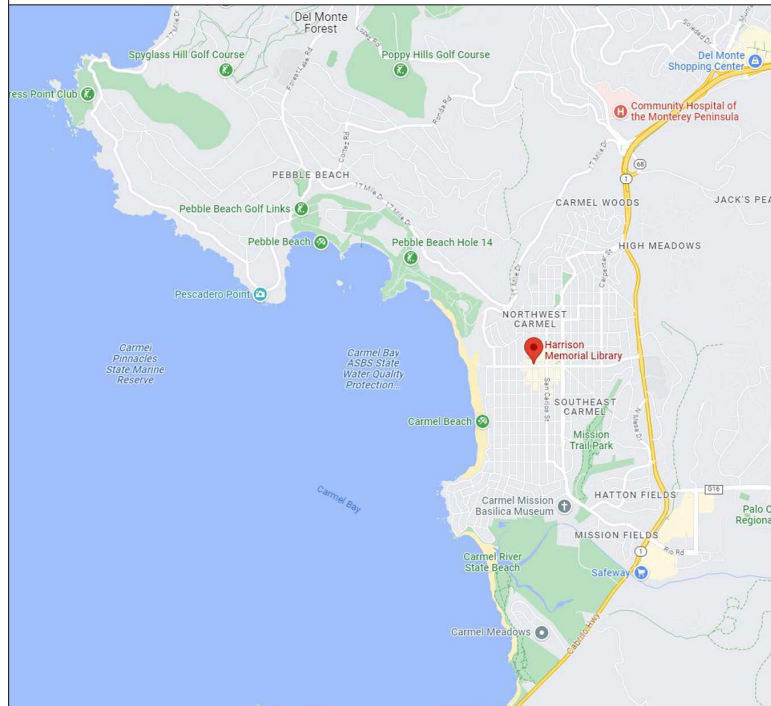
- 1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
- 2. ALL WORK SHALL MEET OR EXCEED THE MINIMUM STANDARDS OF THE 2019 CALIFORNIA BUILDING CODE AND ALL APPLICABLE CODES AND ORDINANCES.
- 3. INFORMATION CONTAINED WITHIN THESE DOCUMENTS SHALL NOT BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE APPLICABLE CODES.
- 4. CONTRACTOR SHALL EXAMINE THE DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WHICH MAY BE FOUND PRIOR TO THE START OF WORK.
- 5. CONTRACTOR SHALL REVIEW ALL DOCUMENTS TO COORDINATE w/ THE (E) BLDG CONDITIONS. ANY VARIATIONS AND DISCREPANCIES THAT ARISE IN THIS REVIEW ARE TO BE BROUGHT IMMEDIATELY TO THE ARCHITECT'S ATTENTION.
- 6. THE CONTRACTOR AND ALL SUBCONTRACTORS ARE REQUIRED TO VISIT AND INSPECT THE SITE PRIOR TO CONSTRUCTION OR ORDERING ANY MATERIALS.
- 7. ALL DETAILS, SCHEDULES, ADDENDA AND SPECIFICATIONS BOUND SEPARATELY ARE A PART OF THE CONTRACT DOCUMENTS.
- 8. ITEMS MARKED "NIC" ARE NOT IN CONTRACT. SUCH ITEMS ARE INCLUDED IN THE DOCUMENTS WHEN CONTRACTOR'S COORDINATION IS REQUIRED OR FOR CLARIFICATION OF PROJECT LIMITS.
- 9. DIMENSIONS:
 - A. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM THE DRAWINGS.
 - B. ALL DIMENSIONS ARE TO THE ROUGH OPENING, UON.
 - C. ALL DIMENSIONS TO STUD WALLS ARE TO THE FACE OF STUD, UON.
 - D. CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR TO FINISHED FACE OF CEILING, UON.
 - E. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR AND ALL SUBCONTRACTORS PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - F. COORDINATE WITH EQUIPMENT CONTRACTORS FOR ROUGH-IN DIMENSIONS AND TEMPLATES.
 - G. ALL DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE STRICTLY MAINTAINED. "CLEAR" MEANS DIMENSION FROM FACE OF FINISH TO FACE OF FINISH OR OBJECT.
 - H. ALL DIMENSIONS NOTED "VERIFY" OR "VIF" ARE TO BE CHECKED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY VARIANCE FROM THE REQUIRED DIMENSIONS MUST BE BROUGHT IMMEDIATELY TO THE ARCHITECT'S ATTENTION.
- 10. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES, UON.
- 11. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.
- 12. ALL WORK IS UNDERSTOOD TO BE (N) UNLESS NOTED AS (E).
- 13. THE CONTRACTOR SHALL MEET w/ THE ARCHITECT PRIOR TO THE START OF DEMOLITION TO NOTE WHAT ITEMS, IF ANY, ARE TO BE SALVAGED OR REUSED.
- 14. THE DRAWINGS INDICATE THE GENERAL EXTENT OF (N) CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL DEMO AND (N) WORK NECESSARY FOR A FINISHED JOB, IN ACCORDANCE W/ THE INTENTIONS OF THE CONTRACT DOCUMENTS, IS INCLUDED REGARDLESS OF WHETHER SHOWN IN THE CONTRACT DOCUMENTS.
- 15. (E) BUILDING DOCUMENTATION IS BASED ON "AS-BUILT" DRAWINGS AND OBSERVATIONAL SITE INVESTIGATIONS. ACTUAL BUILT CONDITIONS MAY VARY. CONTRACTOR IS TO USE CAUTION IN DEMOLITION, AND IS TO NOTIFY ARCHITECT IMMEDIATELY IF ANY VARIATIONS OR DISCREPANCIES ARE UNCOVERED.
- 16. PROTECT ALL (E) BUILDING AND SITE CONDITIONS TO REMAIN, INCLUDING BUT NOT LIMITED TO WALLS, PAVING, AND LANDSCAPING.

DESIGN-BUILD DEFERRED SUBMITTALS

THE DESIGN INTENT AND PERFORMANCE CRITERIA FOR THE FOLLOWING ITEMS IS SHOWN AND NOTED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE DESIGN DOCUMENTATION, IF REQUIRED, FOR CITY APPROVAL PRIOR TO CONSTRUCTION. BIDS SHALL INCLUDE REQUIRED DESIGN, DOCUMENTATION AND INSTALLATION OF A COMPLETE OPERATING SYSTEM THAT SATISFIES THE SPECIFIED PERFORMANCE CRITERIA AND MEETS ALL APPLICABLE CODES.

- 1. FIRE ALARM SYSTEM
- 2. ALUMINUM STOREFRONT SYSTEMS

VICINITY MAP



PROJECT DESCRIPTION

- PARTIAL DEMOLITION AND RENOVATION OF EXISTING LIBRARY
- NO CHANGE IN USE

PROJECT DATA

BUILDING & PLANNING CODE DATA

- PLANNING CODE EDITION: 2021 SANTA CRUZ MUNICIPAL CODE
- BUILDING CODE EDITION: 2021 CALIFORNIA BUILDING CODE, 2021 CALIFORNIA MECHANICAL CODE, 2021 CALIFORNIA ELECTRICAL CODE, 2021 CALIFORNIA PLUMBING CODE

- OCCUPANCY CLASS: A3
- BUILDING TYPE: TYPE III-B
- SQUARE FOOTAGE: 7,466 SF
- NUMBER STORIES: 3 + MEZZANINE
- FULLY SPRINKLERED
- FULL FIRE ALARM SYSTEM

ALTERNATES

ALTERNATE #1 - GLASS ELEVATOR
ALTERNATE #2 VENETIAN PLASTER
ALTERNATE #3 PHOTOVOLTAIC PHASED CONSTRUCTION (SEE COST ESTIMATE)

CONTACT INFORMATION

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ARCHITECT:
JAYSON ARCHITECTURE

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ALTER CONSULTING ENGINEERS

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415-730-7994

SHEET INDEX

INDEX - GENERAL

G0.00	COVER SHEET
G0.01	SHEET INDEX & GENERAL NOTES

INDEX - ARCHITECTURAL

A1.10	DEMO SITE PLAN
A1.20	DEMO FLOOR PLAN - BASEMENT
A1.21	DEMO FLOOR PLAN - MAIN FLOOR
A1.22	DEMO FLOOR PLAN - MEZZANINE
A2.10	SITE PLAN
A2.20	FLOOR PLAN - BASEMENT
A2.21	FLOOR PLAN - MAIN FLOOR
A2.22	FLOOR PLAN - MEZZANINE
A2.31	REFLECTED CEILING PLAN - BASEMENT
A2.32	REFLECTED CEILING PLAN - MAIN FLOOR
A2.33	REFLECTED CEILING PLAN - MEZZANINE
A9.30	ROOM FINISH SCHEDULE

INDEX - STRUCTURAL

*SEE STRUCTURAL NARRATIVE

INDEX - MECHANICAL

*SEE MECHANICAL NARRATIVE

INDEX - PLUMBING

*SEE PLUMBING NARRATIVE

INDEX - ELECTRICAL

*SEE ELECTRICAL NARRATIVE

JAYSON ARCHITECTURE

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San Francisco CA 94110
jaysonarch.com
415.317.0529

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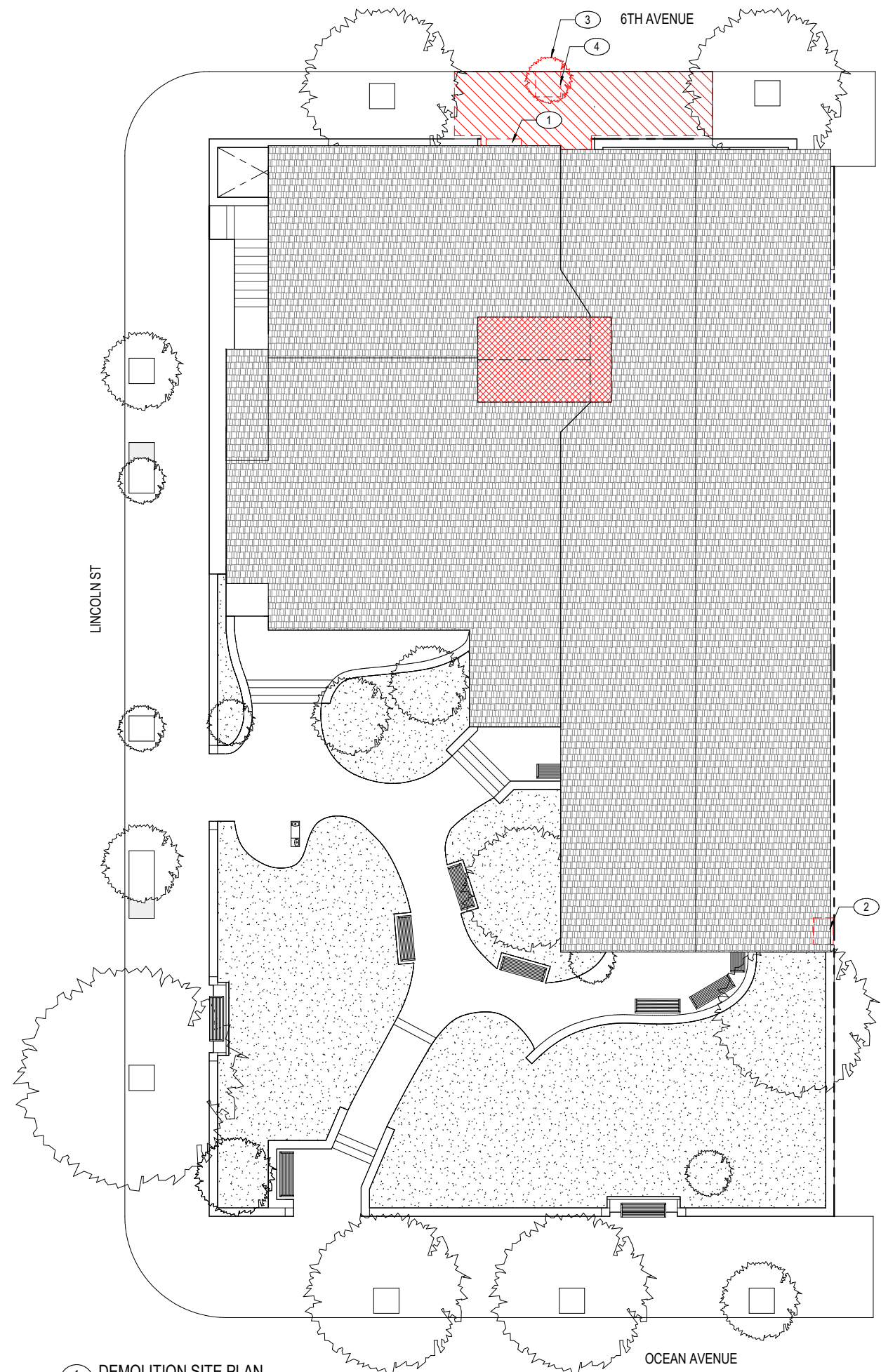
MASTER PLAN

SHEET TITLE
SHEET INDEX & GENERAL NOTES

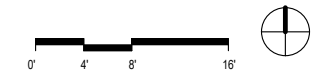
NO.	DATE	DESCRIPTION
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DATE	08/25/2023
SCALE	12" = 1'-0"
JOB NO.	2023-01

SHEET NUMBER
G0.01



1 DEMOLITION SITE PLAN
A1.10 1/8" = 1'-0"



GENERAL NOTES

1. DEMO ALL (E) SITE LIGHTING, SEE ELECTRICAL NARRATIVE FOR SITE DEMO INFORMATION AND ADDITIONAL SITE IMPROVEMENTS
2. SEE MECHANICAL NARRATIVE FOR SITE DEMO INFORMATION
3. SEE STRUCTURAL NARRATIVE FOR SITE DEMO INFORMATION

KEY NOTES

- 1 DEMO (E) WALL
- 2 DEMO (E) MECHANICAL UNITS, SEE MECHANICAL NARRATIVE
- 3 DEMO (E) TREE
- 4 DEMO (E) PLANTING AREA

LEGEND

- (E) WALL TO BE DEMOLISHED
- DEMO (E) ROOF STRUCTURE
- DEMO (E) CONC PAVEMENT
- (E) PLANTING AREA TO REMAIN
- PROPERTY LINE

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SHEET TITLE
DEMO SITE PLAN

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER
A1.10

GENERAL NOTES

1. SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
2. SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
3. SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
4. SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION
5. DEMO ALL (E) INTERIOR WALL FINISHES
6. DEMO ALL (E) INTERIOR WALL PARTITIONS
7. DEMO ALL (E) FLOOR FINISHES
8. DEMO ALL (E) CASEWORK
9. DEMO ALL (E) INTERIOR DOORS
10. DEMO (E) FLOOR FINISHES
11. REMOVE ALL (E) CEILING, FIXTURES, CONDUIT & ELECTRICAL EQUIPMENT
12. REMOVE PAINT ON ALL (E) EXPOSED CEILINGS & BEAMS

KEY NOTES

- ① DEMO (E) WALL
- ② DEMO (E) WINDOW
- ③ DEMO (E) STAIR, HANDRAILS, LANDINGS
- ④ DEMO (E) COLUMN
- ⑤ DEMO (E) MEZZANINE FLOOR & SLAB EDGE
- ⑥ DEMO (E) GLASS PARTITION & DOORS
- ⑦ DEMO (E) RESTROOM FIXTURES, FINISHES & ACCESSORIES
- ⑧ DEMO (E) CASEWORK
- ⑨ DEMO (E) STACKS
- ⑩ DEMO (E) METAL GUARDRAIL
- ⑪ DEMO (E) FIREPLACE MANTLE BASE
- ⑫ DEMO (E) FLOOR FOR (N) RAISED LOBBY FLOOR
- ⑬ DEMO (E) DUMBWAITER, SHAFT & EQUIPMENT
- ⑭ DEMO (E) ARCHWAY ABOVE

LEGEND

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN
- DEMO (E) FLOOR FOR (N) ELEVATOR & DEMO (E) LOBBY FLOOR, SEE STRUCTURAL NARRATIVE

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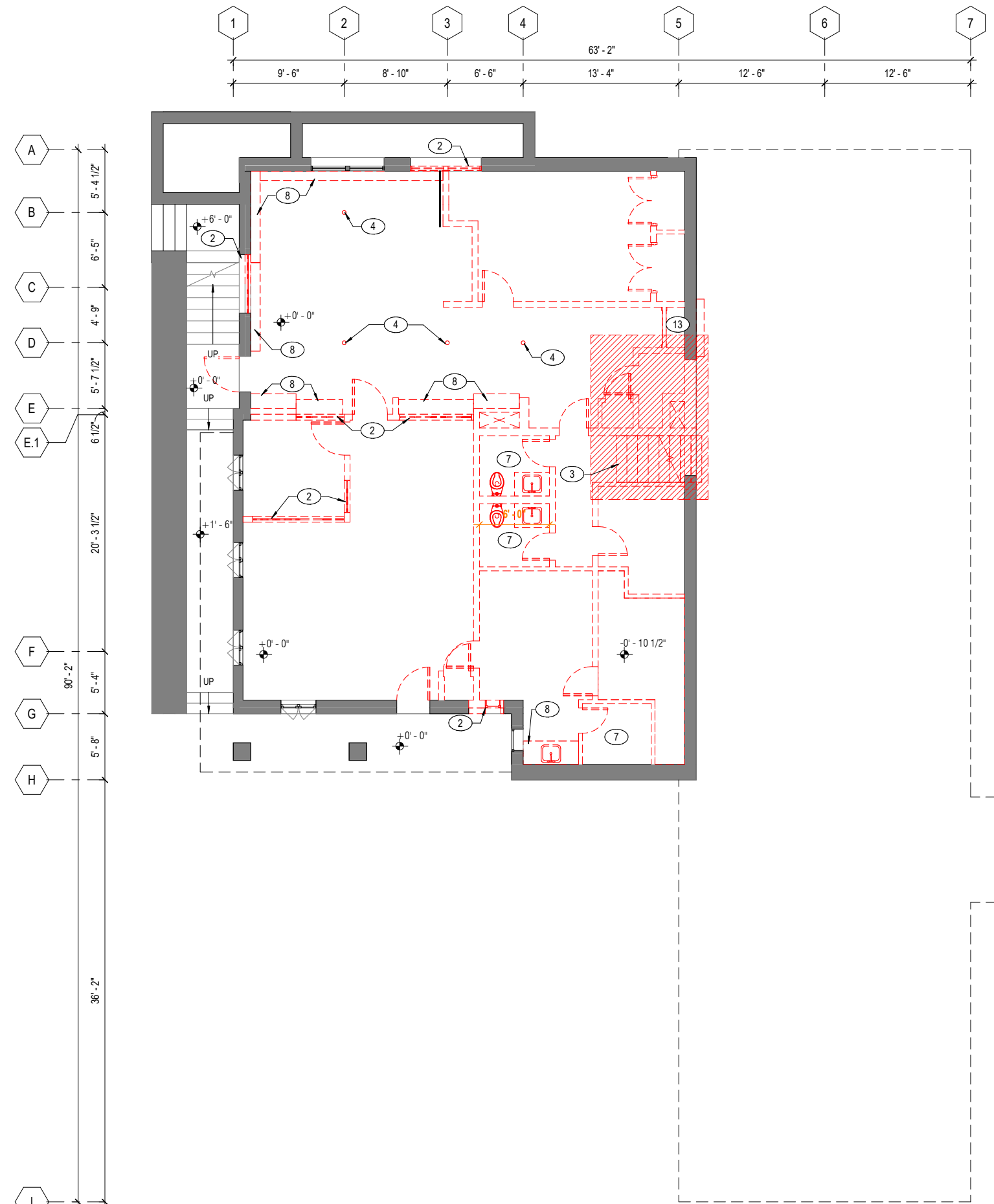
SHEET TITLE
**DEMO FLOOR PLAN -
BASEMENT**

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER

A1.20



1
A1.20
DEMOLITION PLAN - BASEMENT LEVEL
3/16" = 1'-0"

GENERAL NOTES

1. SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
2. SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
3. SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
4. SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION
5. DEMO ALL (E) INTERIOR WALL PARTITIONS
6. DEMO ALL (E) FLOOR FINISHES
7. DEMO ALL (E) CASEWORK
8. DEMO ALL (E) INTERIOR DOORS
9. DEMO ALL (E) CEILING, FIXTURES, CONDUIT & ELECTRICAL EQUIPMENT
10. REMOVE PAINT ON ALL (E) EXPOSED CEILINGS & BEAMS

KEY NOTES

- ① DEMO (E) WALL
- ② DEMO (E) WINDOW
- ③ DEMO (E) STAIR, HANDRAILS, LANDINGS
- ④ DEMO (E) COLUMN
- ⑤ DEMO (E) MEZZANINE FLOOR & SLAB EDGE
- ⑥ DEMO (E) GLASS PARTITION & DOORS
- ⑦ DEMO (E) RESTROOM FIXTURES, FINISHES & ACCESSORIES
- ⑧ DEMO (E) CASEWORK
- ⑨ DEMO (E) STACKS
- ⑩ DEMO (E) METAL GUARDRAIL
- ⑪ DEMO (E) FIREPLACE MANTLE BASE
- ⑫ DEMO (E) FLOOR FOR (N) RAISED LOBBY FLOOR
- ⑬ DEMO (E) DUMBWAITER, SHAFT & EQUIPMENT
- ⑭ DEMO (E) ARCHWAY ABOVE

LEGEND

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN
- DEMO (E) FLOOR FOR (N) ELEVATOR & DEMO (E) LOBBY FLOOR, SEE STRUCTURAL NARRATIVE

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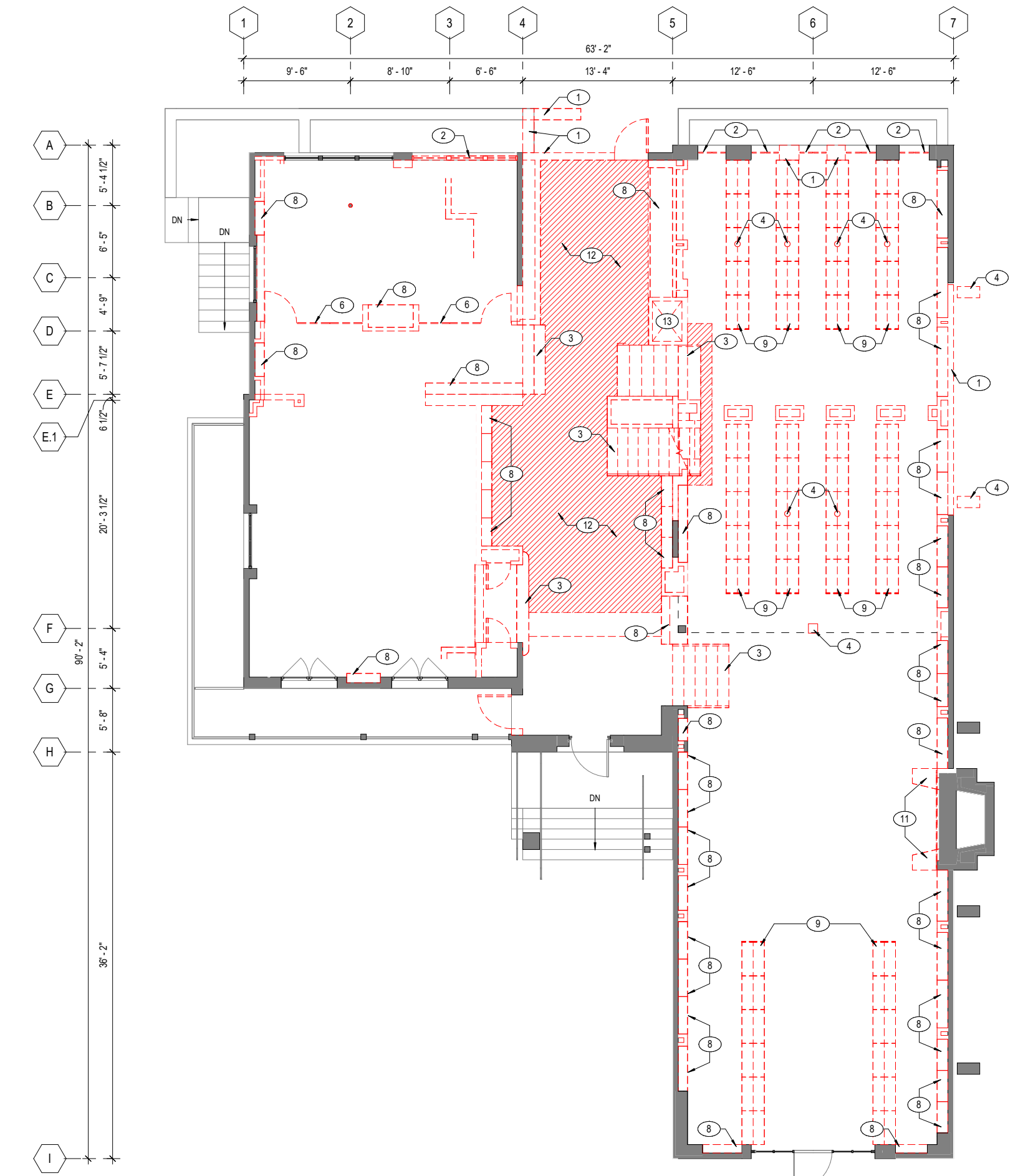
SHEET TITLE
**DEMO FLOOR PLAN -
MAIN FLOOR**

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER

A1.21



1
A1.21 DEMOLITION PLAN - MAIN LEVEL
3/16" = 1'-0"

GENERAL NOTES

1. SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
2. SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
3. SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
4. SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION
5. DEMO ALL (E) INTERIOR WALL FINISHES
6. DEMO ALL (E) INTERIOR WALL PARTITIONS
7. DEMO ALL (E) FLOOR FINISHES
8. DEMO ALL (E) CASEWORK
9. DEMO ALL (E) INTERIOR DOORS
10. DEMO (E) FLOOR FINISHES
11. REMOVE ALL (E) CEILING, FIXTURES, CONDUIT & ELECTRICAL EQUIPMENT
12. REMOVE PAINT ON ALL (E) EXPOSED CEILINGS & BEAMS

KEY NOTES

- 1 DEMO (E) WALL
- 2 DEMO (E) WINDOW
- 3 DEMO (E) STAIR, HANDRAILS, LANDINGS
- 4 DEMO (E) COLUMN
- 5 DEMO (E) MEZZANINE FLOOR & SLAB EDGE
- 6 DEMO (E) GLASS PARTITION & DOORS
- 7 DEMO (E) RESTROOM FIXTURES, FINISHES & ACCESSORIES
- 8 DEMO (E) CASEWORK
- 9 DEMO (E) STACKS
- 10 DEMO (E) METAL GUARDRAIL
- 11 DEMO (E) FIREPLACE MANTLE BASE
- 12 DEMO (E) FLOOR FOR (N) RAISED LOBBY FLOOR
- 13 DEMO (E) DUMBWAITER, SHAFT & EQUIPMENT
- 14 DEMO (E) ARCHWAY ABOVE

LEGEND

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN
- DEMO (E) FLOOR FOR (N) ELEVATOR & DEMO (E) LOBBY FLOOR, SEE STRUCTURAL NARRATIVE

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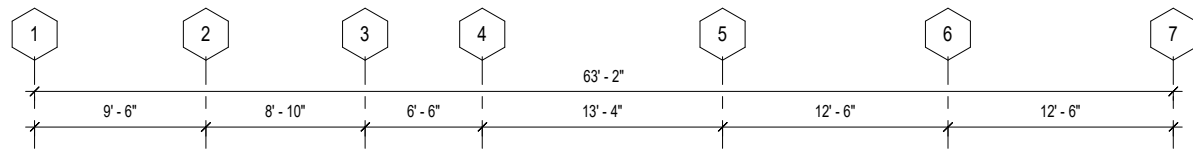
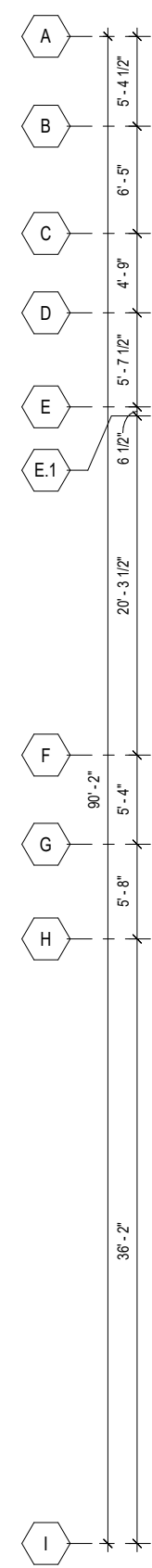
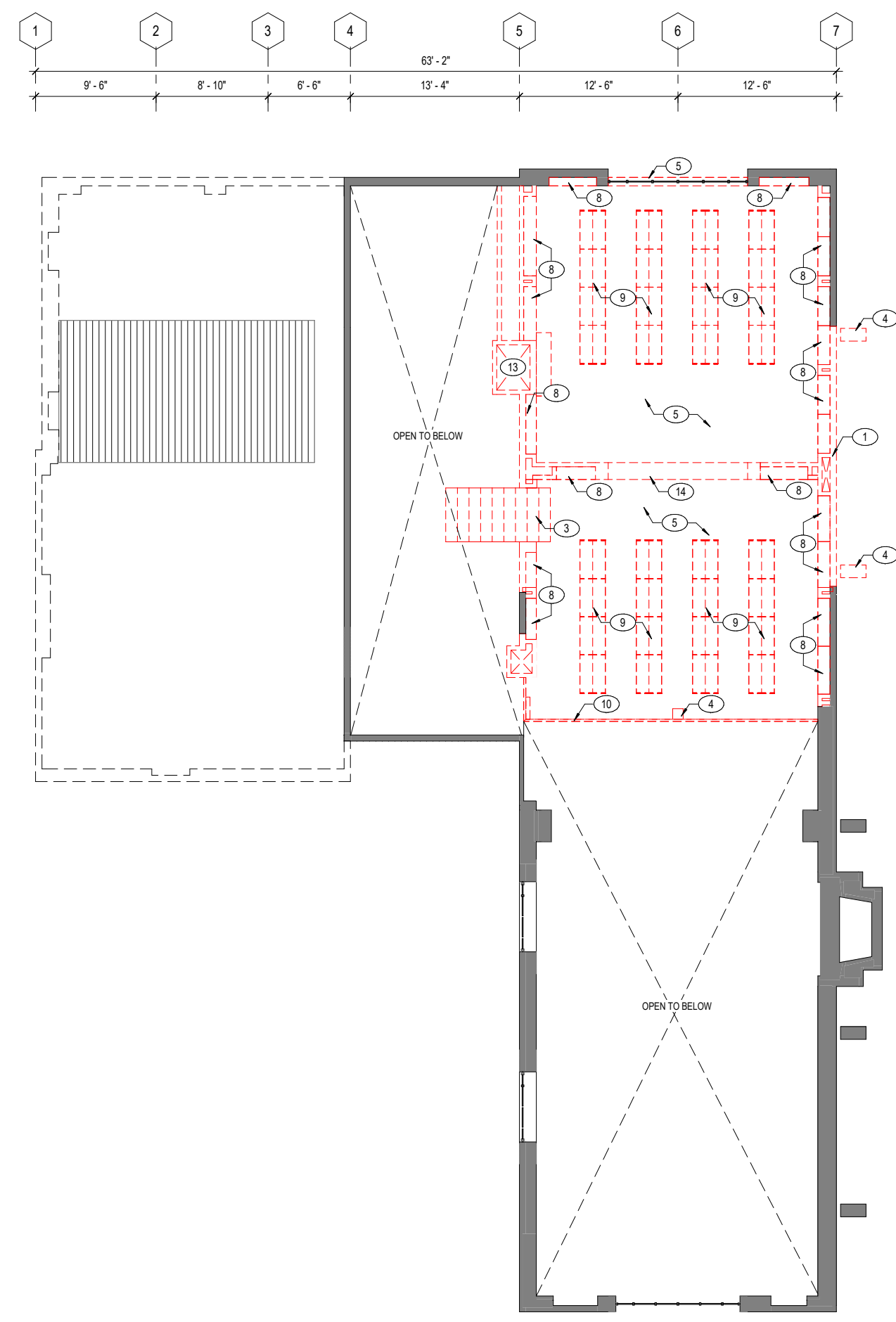
MASTER PLAN

SHEET TITLE
**DEMO FLOOR PLAN -
MEZZANINE**

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER
A1.22





GENERAL NOTES

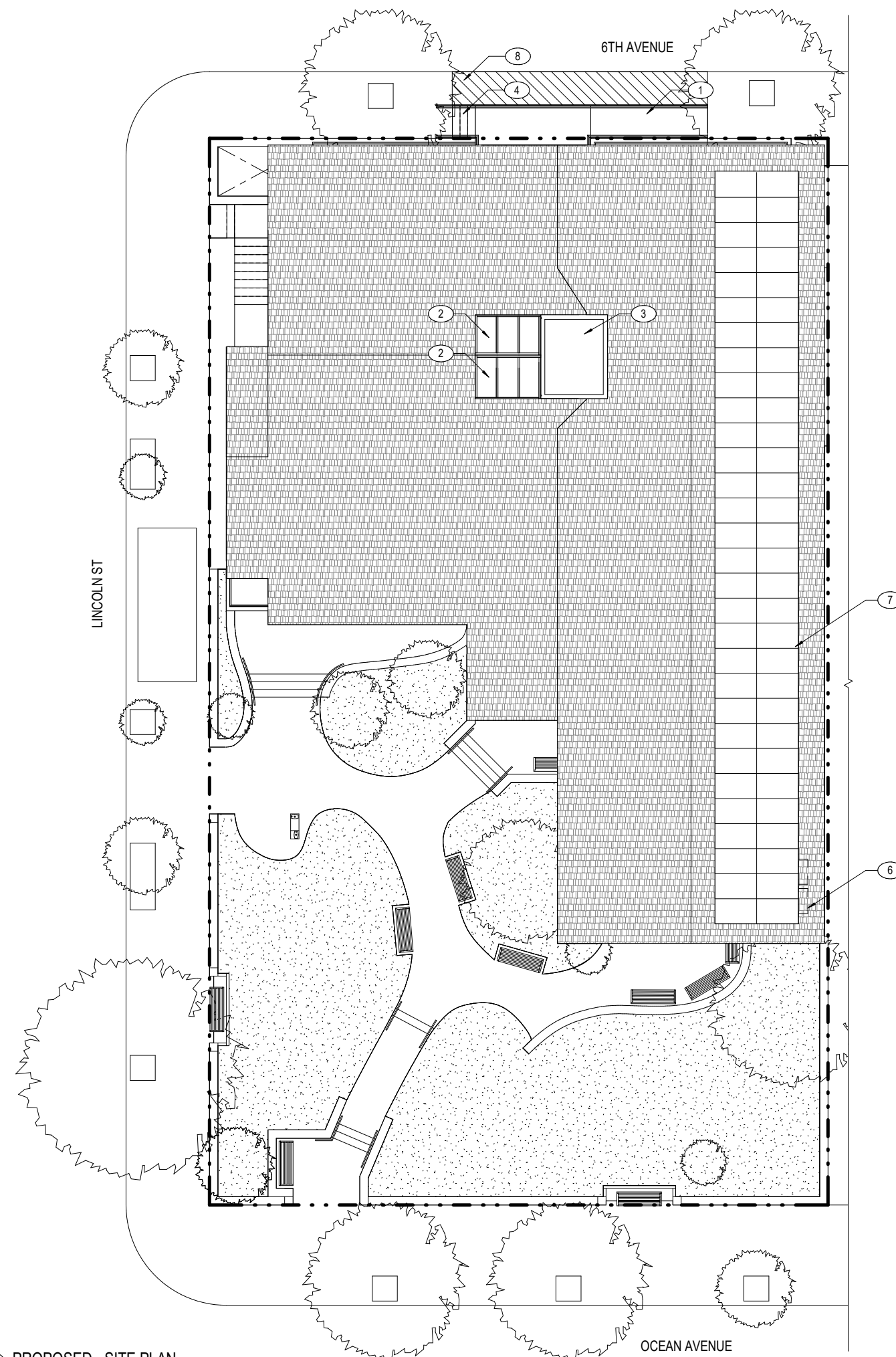
1. PROVIDE ALLOWANCE FOR PATCHING OF (E) EXTERIOR STUCCO, (E) CLAY TILE ROOFING, (N) COPPER FLASHING, GUTTER & DOWNSPOUTS, (E) WOOD TRIM & STRUCTURE
2. SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
3. SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
4. SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
5. SITE IMPROVEMENTS LIMITED TO NEW RAMP AND STAIR TO PROVIDE ADA ACCESS AT NORTH ENTRANCE
6. PAINT EXTERIOR:
 - 1 FIELD COLOR @ (E) WALLS
 - 4 ACCENT COLORS @ COLUMNS, BEAMS, SOFFITS, EAVES & TRIM

KEY NOTES

- ① (N) ACCESSIBLE STONE RAMP, BRONZE HANDRAILS & LANDING
- ② (N) AUTOMATED SKYLIGHT, SED, SMD
- ③ ELEVATOR ROOF OVERRUN
- ④ (N) STONE STAIR, BRONZE HANDRAILS, & LANDING
- ⑤ MECHANICAL ENCLOSURE BELOW ROOF @ GROUND LEVEL, SEE MECHANICAL NARRATIVE
- ⑥ PV ARRAY, SED
- ⑦ (N) CONC SIDEWALK

LEGEND

-  (E) PLANTING AREA TO REMAIN
-  (N) CONC SIDEWALK



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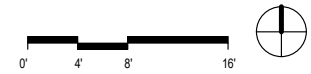
SHEET TITLE
SITE PLAN

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	1/8" = 1'-0"
JOB NO.	2023-01

SHEET NUMBER
A2.10

1 PROPOSED - SITE PLAN
A2.10 1/8" = 1'-0"



08/10/2023 5:31:08 PM

GENERAL NOTES

1. SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
2. SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
3. SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
4. SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION
5. DEMO ALL (E) INTERIOR WALL FINISHES
6. DEMO ALL (E) INTERIOR WALL PARTITIONS
7. DEMO ALL (E) FLOOR FINISHES
8. DEMO ALL (E) CASEWORK
9. DEMO ALL (E) INTERIOR DOORS
10. DEMO (E) FLOOR FINISHES
11. REMOVE ALL (E) CEILING, FIXTURES, CONDUIT & ELECTRICAL EQUIPMENT
12. REMOVE PAINT ON ALL (E) EXPOSED CEILINGS & BEAMS

KEY NOTES

- 1 DEMO (E) WALL
- 2 DEMO (E) WINDOW
- 3 DEMO (E) STAIR, HANDRAILS, LANDINGS
- 4 DEMO (E) COLUMN
- 5 DEMO (E) MEZZANINE FLOOR & SLAB EDGE
- 6 DEMO (E) GLASS PARTITION & DOORS
- 7 DEMO (E) RESTROOM FIXTURES, FINISHES & ACCESSORIES
- 8 DEMO (E) CASEWORK
- 9 DEMO (E) STACKS
- 10 DEMO (E) METAL GUARDRAIL
- 11 DEMO (E) FIREPLACE MANTLE BASE
- 12 DEMO (E) FLOOR FOR (N) RAISED LOBBY FLOOR
- 13 DEMO (E) DUMBWAITER, SHAFT & EQUIPMENT
- 14 DEMO (E) ARCHWAY ABOVE

LEGEND

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN
- DEMO (E) FLOOR FOR (N) ELEVATOR & DEMO (E) LOBBY FLOOR, SEE STRUCTURAL NARRATIVE

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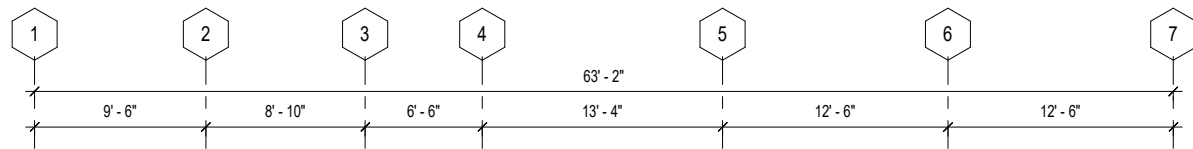
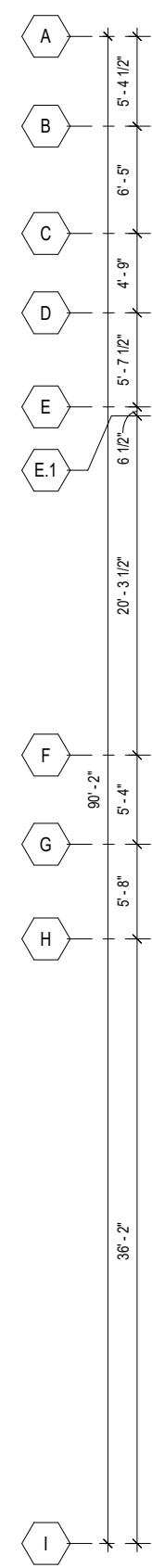
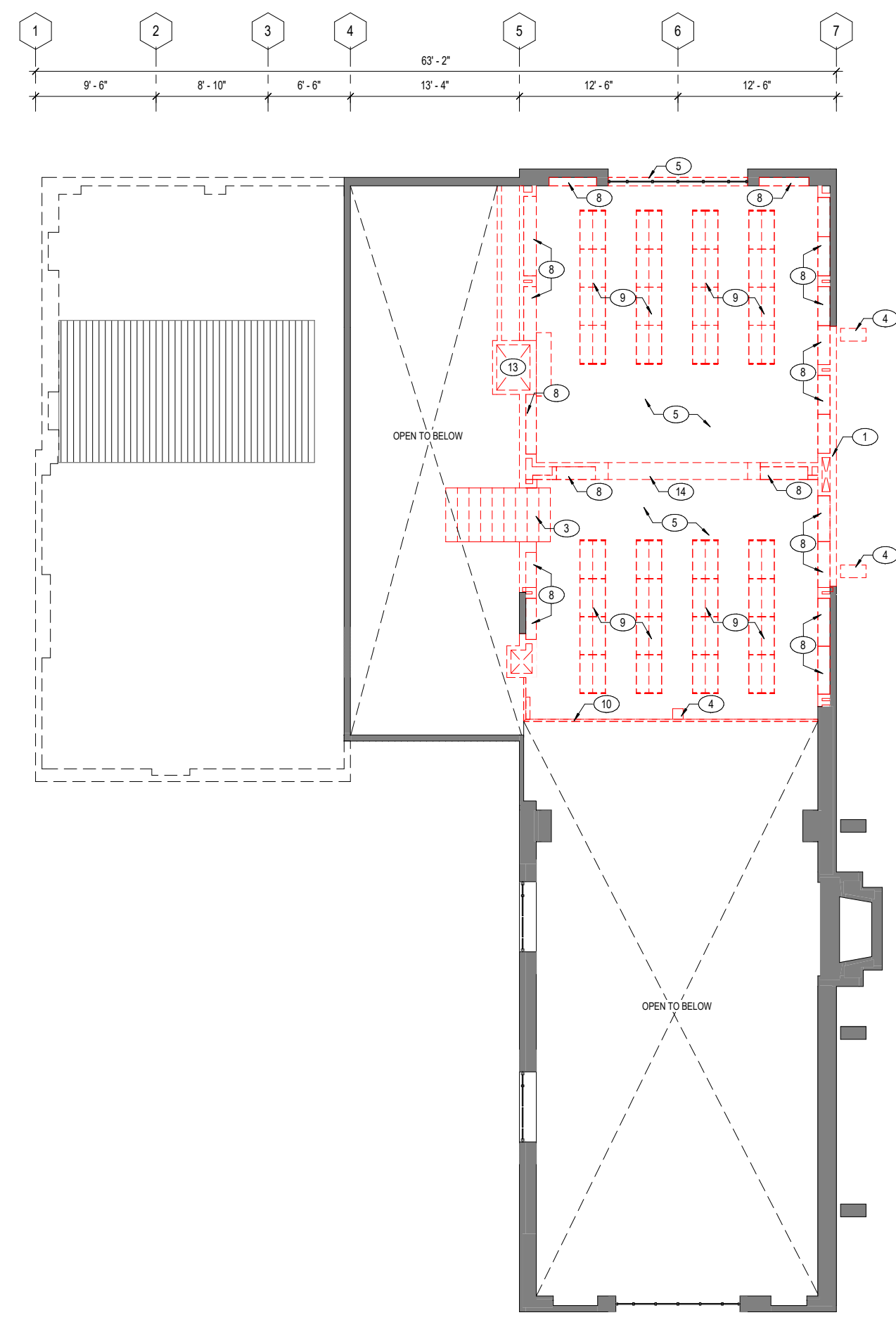
MASTER PLAN

SHEET TITLE
**DEMO FLOOR PLAN -
MEZZANINE**

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER
A1.22



1 DEMOLITION PLAN - MEZZANINE
A1.22 3/16" = 1'-0"

GENERAL NOTES

1. SEE ROOM FINISH SCHEDULE FOR WALL, FLOOR, & CEILING FINISHES

KEY NOTES

- ① (N) THERMALLY BROKEN STEEL STOREFRONT, MATCH (E) ARCHED WINDOW
- ② (N) THERMALLY BROKEN STEEL STOREFRONT ENTRANCE DOOR
- ③ (N) THERMALLY BROKEN STEEL WINDOW TO MATCH STOREFRONT
- ④ (N) WOOD STAIR, LANDING & CUSTOM BRONZE HANDRAILS
- ⑤ ACCESSIBLE STONE RAMP, LANDING & CUSTOM BRONZE RAILINGS
- ⑥ FRAMELESS GLASS PARTITION & DOOR
- ⑦ BUILT-IN SOLID WALNUT CASEWORK SHELVING
- ⑧ PLAM UPPER & LOWER CABINETS W/ QUARTZ COUNTERTOP & SSTL SINK
- ⑨ 56" TALL SHELVING SOLID REDWOOD END PANELS & CANOPIES
- ⑩ 56" TALL SHELVING W/ CUSTOM SOLID WD DOORS & BRONZE SCREENS
- ⑪ CIRCULATION DESK W / QUARTZ COUNTERTOP & SOLID REDWOOD LOWER CABINETS
- ⑫ SOLID WD BENCH W/ WALNUT BOARDS
- ⑬ SOLID WALNUT LOWER CABINETS, W/ QUARTZ COUNTERTOP
- ⑭ HI - LOW DRINKING FOUNTAIN, SEE PLUMBING NARRATIVE
- ⑮ ACCESSIBLE RESTROOMS AS SHOWN
- ⑯ (N) FIREPLACE MANTLE BASE, STONE
- ⑰ 42" GUARDRAIL, CUSTOM BRONZE FINISH
- ⑱ CUSTOM GLASS ELEVATOR CAB W/ CUSTOM DECORATIVE WROUGHT IRON INTERIOR
- ⑲ DECORATIVE CUSTOM WROUGHT IRON @ EXTERIOR OF HOISTWAY
- ⑳ CUSTOM FIRE RATED GLASS HOISTWAY
- ㉑ PROVIDE ALLOWANCE FOR CUSTOM AESS @ ELEVATOR HOISTWAY STRUCTURE & RAILS
- ㉒ PTD HM DOOR & FRAME
- ㉓ WD DOOR & FRAME W/ CLEAR FINISH
- ㉔ FRAMELESS GLASS PARTITION & DOOR, FROSTED
- ㉕ REPAIR/STRENGTHEN BALCONY AND RAILING. EXTEND RAILING TO CODE COMPLIANT HEIGHT
- ㉖ WOOD BORDER

LEGEND

- NEW WALL
- EXISTING WALL
- INFILL (E) RECESSED FLOOR FOR (N) FLOOR FINISH

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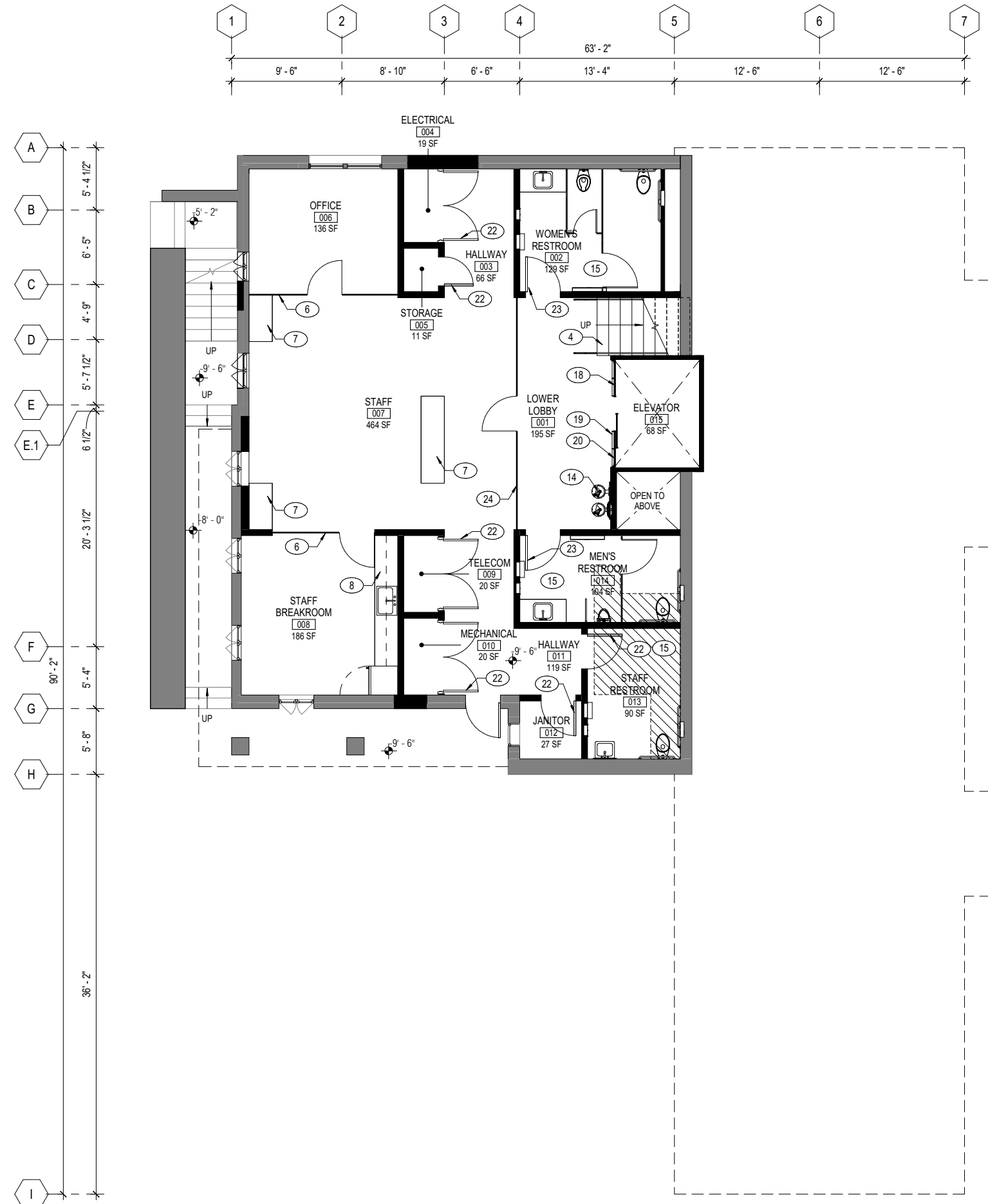
MASTER PLAN

SHEET TITLE
**FLOOR PLAN -
BASEMENT**

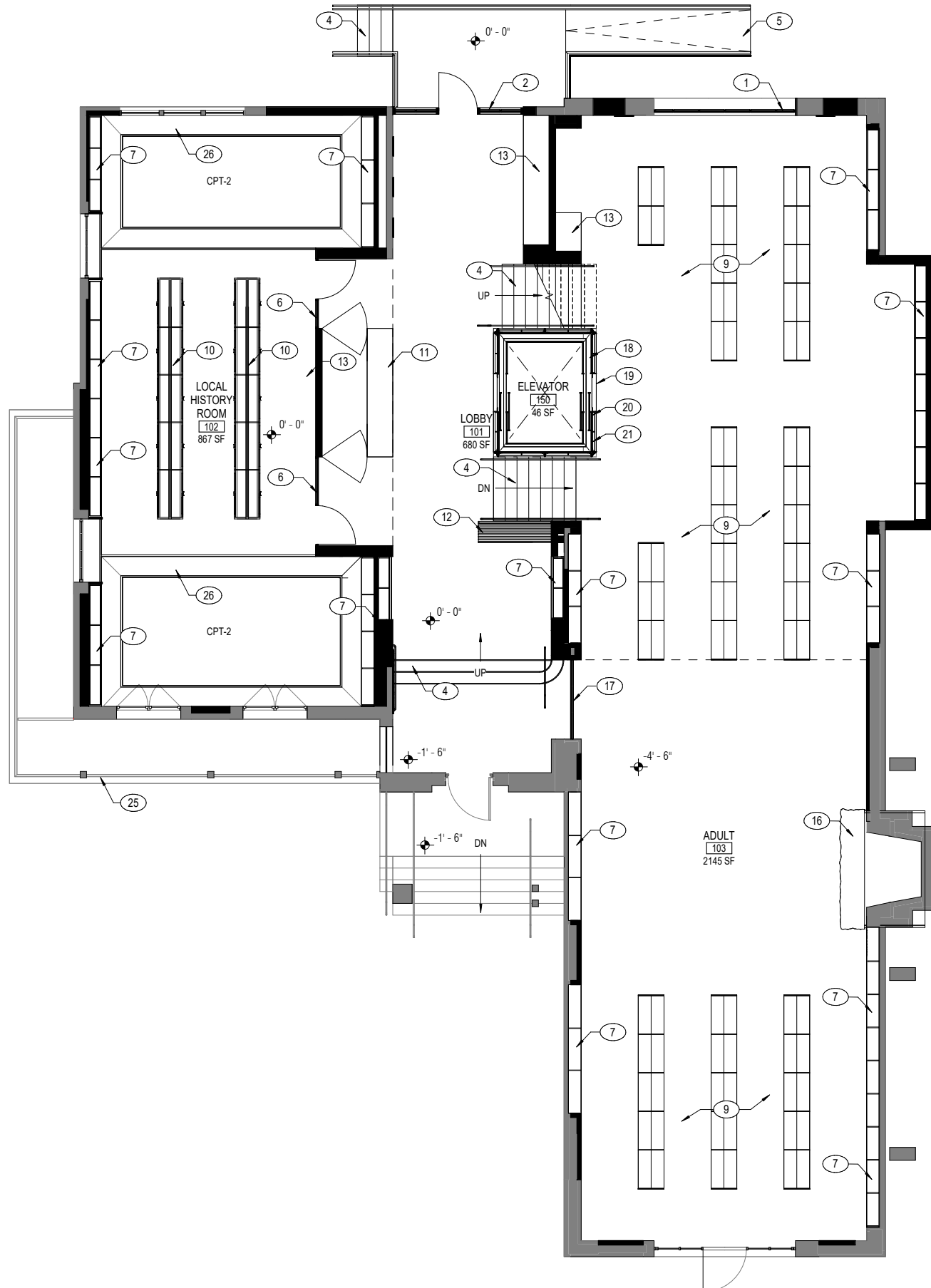
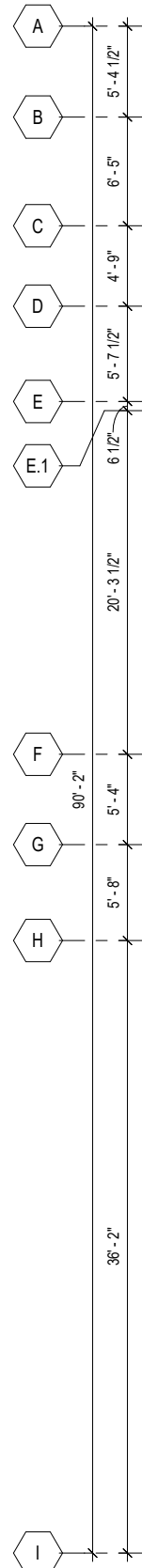
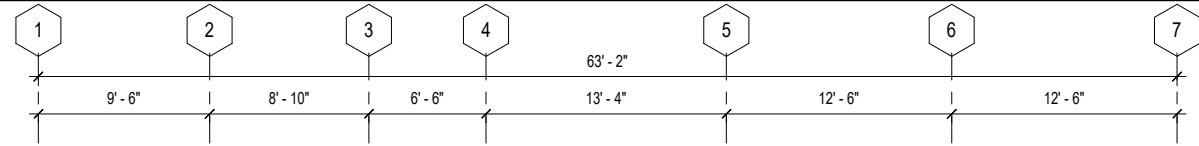
REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER
A2.20



1 PROPOSED FLOOR PLAN - BASEMENT LEVEL
A2.20 3/16" = 1'-0"



GENERAL NOTES

1. SEE ROOM FINISH SCHEDULE FOR WALL, FLOOR, & CEILING FINISHES

KEY NOTES

- 1 (N) THERMALLY BROKEN STEEL STOREFRONT, MATCH (E) ARCHED WINDOW
- 2 (N) THERMALLY BROKEN STEEL STOREFRONT ENTRANCE DOOR
- 3 (N) THERMALLY BROKEN STEEL WINDOW TO MATCH STOREFRONT
- 4 (N) WOOD STAIR, LANDING & CUSTOM BRONZE HANDRAILS
- 5 ACCESSIBLE STONE RAMP, LANDING & CUSTOM BRONZE RAILINGS
- 6 FRAMELESS GLASS PARTITION & DOOR
- 7 BUILT-IN SOLID WALNUT CASEWORK SHELVING
- 8 PLAM UPPER & LOWER CABINETS W/ QUARTZ COUNTERTOP & SSTL SINK
- 9 56" TALL SHELVING SOLID REDWOOD END PANELS & CANOPIES
- 10 56" TALL SHELVING W/ CUSTOM SOLID WD DOORS & BRONZE SCREENS
- 11 CIRCULATION DESK W / QUARTZ COUNTERTOP & SOLID REDWOOD LOWER CABINETS
- 12 SOLID WD BENCH W/ WALNUT BOARDS
- 13 SOLID WALNUT LOWER CABINETS, W/ QUARTZ COUNTERTOP
- 14 HI - LOW DRINKING FOUNTAIN, SEE PLUMBING NARRATIVE
- 15 ACCESSIBLE RESTROOMS AS SHOWN
- 16 (N) FIREPLACE MANTLE BASE, STONE
- 17 42" GUARDRAIL, CUSTOM BRONZE FINISH
- 18 CUSTOM GLASS ELEVATOR CAB W/ CUSTOM DECORATIVE WROUGHT IRON INTERIOR
- 19 DECORATIVE CUSTOM WROUGHT IRON @ EXTERIOR OF HOISTWAY
- 20 CUSTOM FIRE RATED GLASS HOISTWAY
- 21 PROVIDE ALLOWANCE FOR CUSTOM AESS @ ELEVATOR HOISTWAY STRUCTURE & RAILS
- 22 PTD HM DOOR & FRAME
- 23 WD DOOR & FRAME W/ CLEAR FINISH
- 24 FRAMELESS GLASS PARTITION & DOOR, FROSTED
- 25 REPAIR/STRENGTHEN BALCONY AND RAILING. EXTEND RAILING TO CODE COMPLIANT HEIGHT
- 26 WOOD BORDER

LEGEND

- NEW WALL
- EXISTING WALL
- INFILL (E) RECESSED FLOOR FOR (N) FLOOR FINISH

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SHEET TITLE
**FLOOR PLAN - MAIN
FLOOR**

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER
A2.21

GENERAL NOTES

1. SEE ROOM FINISH SCHEDULE FOR WALL, FLOOR, & CEILING FINISHES

KEY NOTES

- 1 (N) THERMALLY BROKEN STEEL STOREFRONT, MATCH (E) ARCHED WINDOW
- 2 (N) THERMALLY BROKEN STEEL STOREFRONT ENTRANCE DOOR
- 3 (N) THERMALLY BROKEN STEEL WINDOW TO MATCH STOREFRONT
- 4 (N) WOOD STAIR, LANDING & CUSTOM BRONZE HANDRAILS
- 5 ACCESSIBLE STONE RAMP, LANDING & CUSTOM BRONZE RAILINGS
- 6 FRAMELESS GLASS PARTITION & DOOR
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- 10 56" TALL SHELVING W/ CUSTOM SOLID WD DOORS & BRONZE SCREENS
- 11 CIRCULATION DESK W / QUARTZ COUNTERTOP & SOLID REDWOOD LOWER CABINETS
- 12 SOLID WD BENCH W/ WALNUT BOARDS
- 13 SOLID WALNUT LOWER CABINETS, W/ QUARTZ COUNTERTOP
- 14 HI - LOW DRINKING FOUNTAIN, SEE PLUMBING NARRATIVE
- 15 ACCESSIBLE RESTROOMS AS SHOWN
- 16 (N) FIREPLACE MANTLE BASE, STONE
- 17 42" GUARDRAIL, CUSTOM BRONZE FINISH
- 18 CUSTOM GLASS ELEVATOR CAB W/ CUSTOM DECORATIVE WROUGHT IRON INTERIOR
- 19 DECORATIVE CUSTOM WROUGHT IRON @ EXTERIOR OF HOISTWAY
- 20 CUSTOM FIRE RATED GLASS HOISTWAY
- 21 PROVIDE ALLOWANCE FOR CUSTOM AESS @ ELEVATOR HOISTWAY STRUCTURE & RAILS PTD HM DOOR & FRAME
- 22
- 23 WD DOOR & FRAME W/ CLEAR FINISH
- 24 FRAMELESS GLASS PARTITION & DOOR, FROSTED
- 25 REPAIR/STRENGTHEN BALCONY AND RAILING. EXTEND RAILING TO CODE COMPLIANT HEIGHT
- 26 WOOD BORDER

LEGEND

- NEW WALL
- EXISTING WALL
- INFILL (E) RECESSED FLOOR FOR (N) FLOOR FINISH

OWNER

CITY OF
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PROJECT

CARMEL PUBLIC LIBRARY
HARRISON MEMORIAL
LIBRARY

OCEAN & LINCOLN AVENUE
CARMEL-BY-THE-SEA, CA 93923

DRAFT!
NOT FOR
CONSTRUCTION

MASTER PLAN

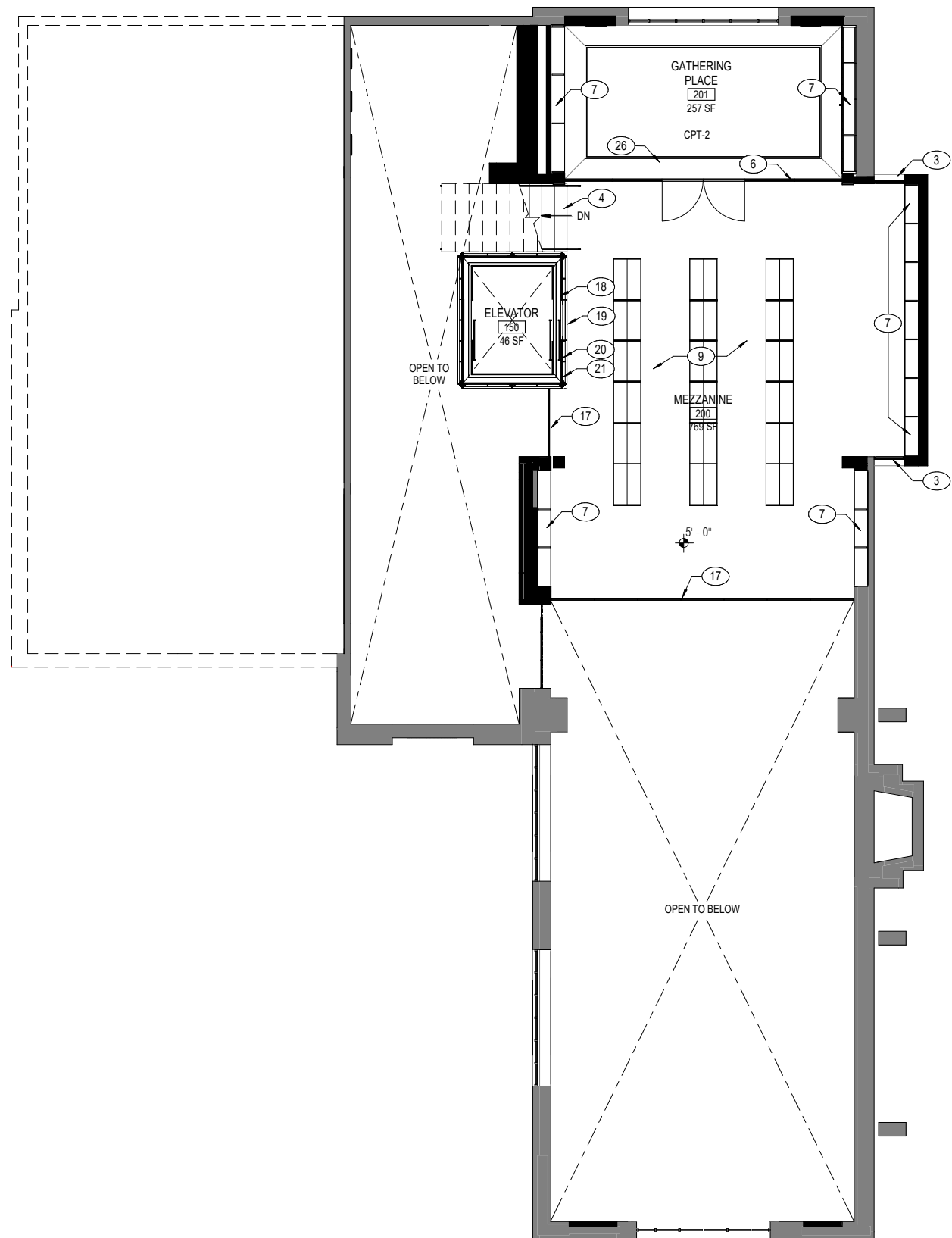
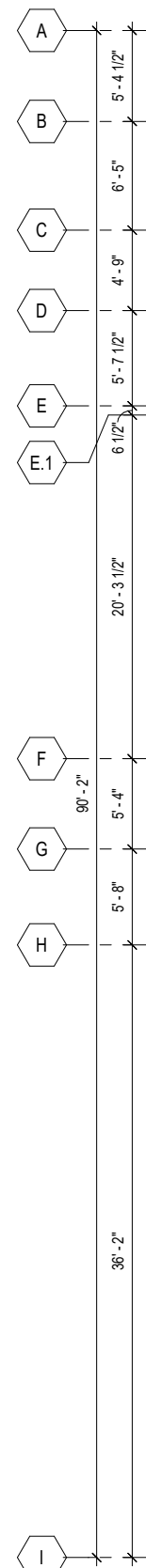
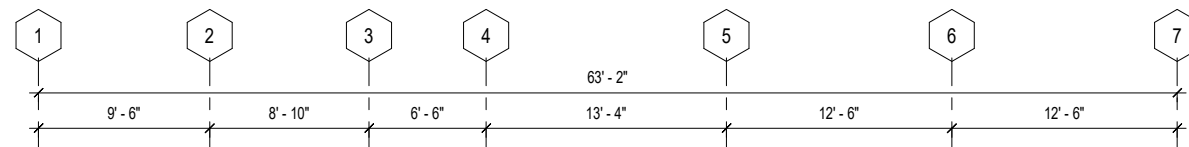
SHEET TITLE
FLOOR PLAN -
MEZZANINE

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER

A2.22











GENERAL NOTES

1. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION
2. SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
3. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
4. SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
5. ACOUSTIC TILE SHALL BE CENTERED IN ROOM UON
6. ALL GYP BD CEILINGS ARE SUSPENDED UON
7. ASSUME 4" x 48" RECESSED LINEAR LIGHTING FIXTURES @ 8' - 0" O.C. IN ALL ACOUSTIC CEILING TILE CEILING

KEY NOTES

- ① OPEN TO STRUCTURE ABOVE, PAINT EXPOSED BEAMS, ROOF DECK, CONDUIT & DUCTWORK
- ② (N) AUTOMATED SKYLIGHT, SED, SMD
- ③ DECORATIVE IRON CHANDELIER
- ④ DECORATIVE BRASS PENDANTS
- ⑤ (N) ARCHITECTURAL GRADE REDWOOD BEAMS, FINISHED TO MATCH EXISTING, CLEAR STAIN AND SEAL, SSD
- ⑥ PAINT (E) COLUMN
- ⑦ (E) WOOD COLUMN
- ⑧ VENETIAN PLASTER @ (E) ARCH
- ⑨ PAINT (E) SOFFIT, JOISTS AND BEAMS
- ⑩ (N) REDWOOD COLUMN

LEGEND

-  2X4 ACOUSTIC CEILING TILE, ARMSTRONG OPTIMA
-  PTD GWB CEILING
-  T&G REDWOOD SOFFIT TO MATCH (E) WD CLG
-  T&G REDWOOD SOFFIT TO MATCH (E) WD CLG
-  (N) T&G REDWOOD CEILING WITH REDWOOD PURLINS TO MATCH (E) WD CLG
-  STRIP PAINT OFF EXISTING REDWOOD BEAMS, JOISTS AND DECKING. SANDBLAST, REFINISH, STAIN AND SEAL
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-  VENETIAN PLASTER

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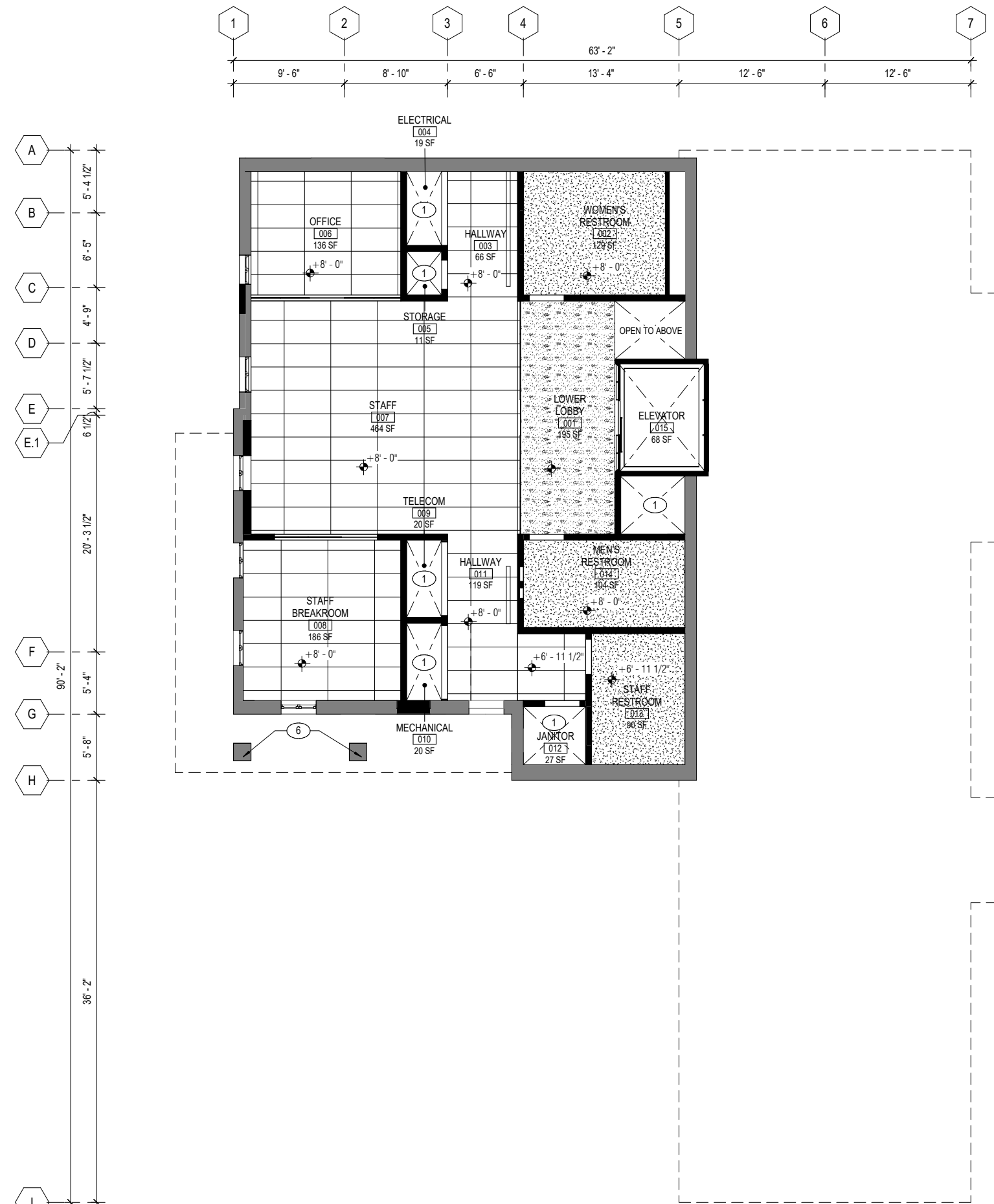
SHEET TITLE
REFLECTED CEILING
PLAN - BASEMENT

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER

A2.31



1 REFLECTED CEILING PLAN - BASEMENT LEVEL
A2.31 3/16" = 1'-0"









GENERAL NOTES

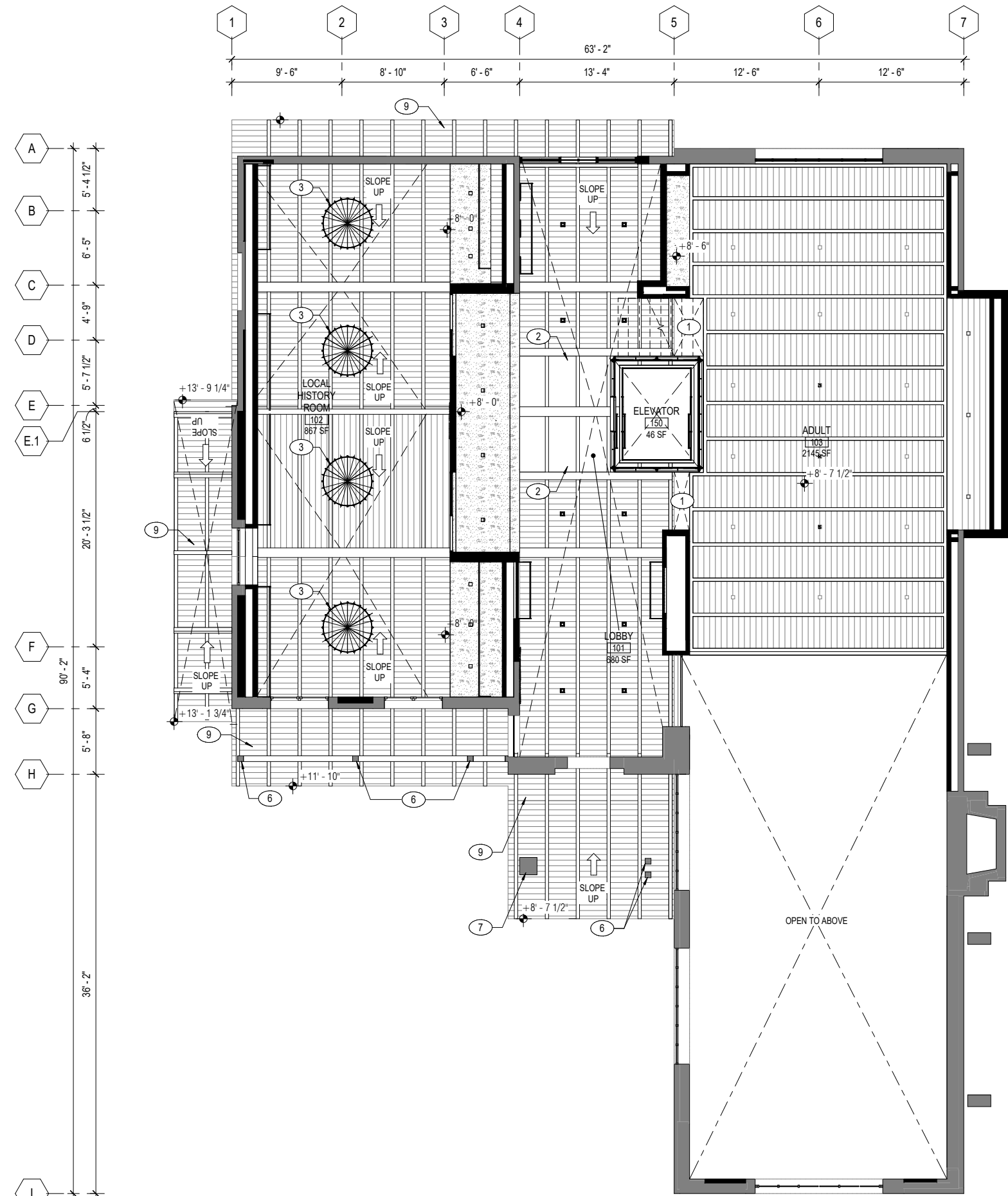
1. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION
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KEY NOTES

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- ④ DECORATIVE BRASS PENDANTS
- ⑤ (N) ARCHITECTURAL GRADE REDWOOD BEAMS, FINISHED TO MATCH EXISTING, CLEAR STAIN AND SEAL, SSD
- ⑥ PAINT (E) COLUMN
- ⑦ (E) WOOD COLUMN
- ⑧ VENETIAN PLASTER @ (E) ARCH
- ⑨ PAINT (E) SOFFIT, JOISTS AND BEAMS
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LEGEND

-  2X4 ACOUSTIC CEILING TILE, ARMSTRONG OPTIMA
-  PTD GWB CEILING
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-  VENETIAN PLASTER



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SHEET TITLE
REFLECTED CEILING
PLAN - MAIN FLOOR

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER

A2.32

1 REFLECTED CEILING PLAN - MAIN FLOOR
A2.32 3/16" = 1'-0"









GENERAL NOTES

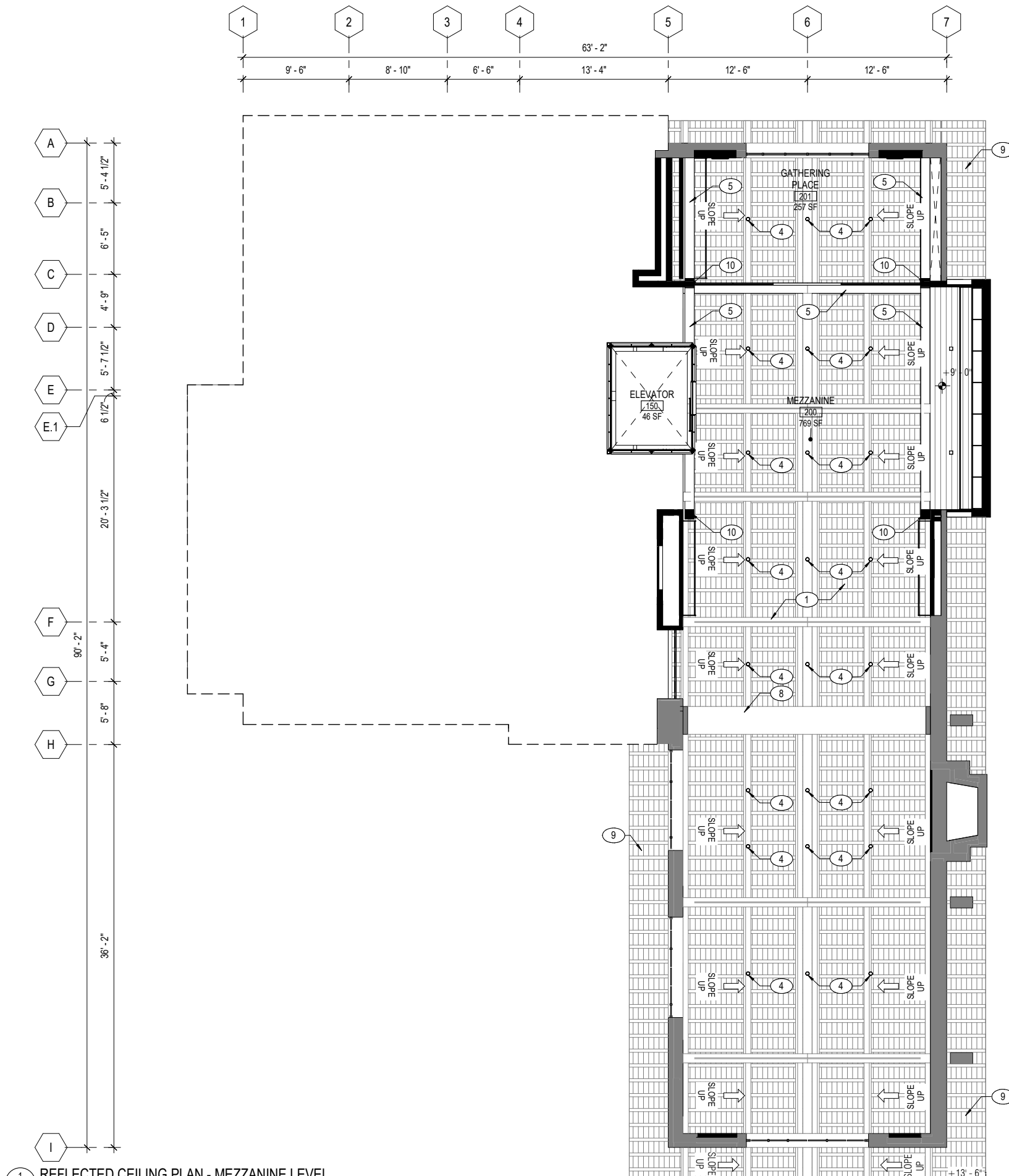
1. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION
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KEY NOTES

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- 2 (N) AUTOMATED SKYLIGHT, SED, SMD
- 3 DECORATIVE IRON CHANDELIER
- 4 DECORATIVE BRASS PENDANTS
- 5 (N) ARCHITECTURAL GRADE REDWOOD BEAMS, FINISHED TO MATCH EXISTING, CLEAR STAIN AND SEAL, SSD
- 6 PAINT (E) COLUMN
- 7 (E) WOOD COLUMN
- 8 VENETIAN PLASTER @ (E) ARCH
- 9 PAINT (E) SOFFIT, JOISTS AND BEAMS
- 10 (N) REDWOOD COLUMN

LEGEND

-  2X4 ACOUSTIC CEILING TILE, ARMSTRONG OPTIMA
-  PTD GWB CEILING
-  T&G REDWOOD SOFFIT TO MATCH (E) WD CLG
-  T&G REDWOOD SOFFIT TO MATCH (E) WD CLG
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-  VENETIAN PLASTER



1 REFLECTED CEILING PLAN - MEZZANINE LEVEL
3/16" = 1'-0"

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SHEET TITLE
REFLECTED CEILING
PLAN - MEZZANINE

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER
A2.33

ROOM FINISH SCHEDULE							
#	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS	AREA
001	STORAGE	(E) CONC SLAB	N/A	CONC		OPEN TO STRUCTURE	1460 SF
050	STAIR	PRECAST CONC	N/A	CONC		OPEN TO STRUCTURE	144 SF
101	LOBBY	WOOD FLOOR	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.		669 SF
102	TEEN'S	CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.		382 SF
103	VESTIBULE	WOOD FLOOR	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	PTD GWB, LEVEL 5		45 SF
104	RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		71 SF
105	RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		67 SF
106	CHILDREN'S	WOOD FLOOR & CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.	SEE FLOOR PLAN FOR EXTENTS OF FLOORING	2600 SF
107	VESTIBULE	CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	PTD GWB, LEVEL 5		94 SF
108	FAMILY RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		71 SF
109	STORAGE	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		64 SF
110	CORRIDOR	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		119 SF
111	STAFF RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		75 SF
112	CUSTODIAL	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		64 SF
113	STAFF	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		622 SF
114	OFFICE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		122 SF
115	OFFICE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		121 SF
116	STAFF LOUNGE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		201 SF
117	TELECOM	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		80 SF
118	ELECTRICAL	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		80 SF
119	MECHANICAL	N/A	N/A	N/A	N/A	SEE SITE PLAN	383 SF
150	STAIR	PRECAST CONC	N/A	CONC		OPEN TO STRUCTURE	144 SF

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PARK BRANCH LIBRARY

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CARMEL-BY-THE-SEA, CA 93921

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MASTER PLAN

SHEET TITLE
ROOM FINISH
SCHEDULE

REVISIONS		
NO.	DATE	DESCRIPTION

DATE 08/25/2023

SCALE

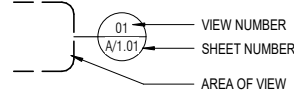
JOB NO. 2023-01

SHEET NUMBER

A9.30

SYMBOLS

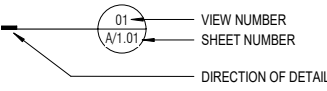
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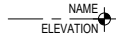
WORK POINT (PLAN)



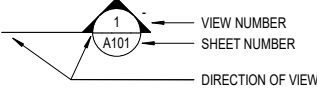
DETAIL SECTION



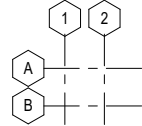
DATUM LEVEL



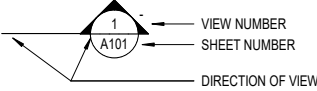
WALL SECTION



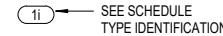
GRID LINES



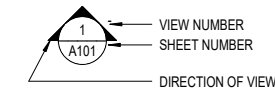
BUILDING SECTION



EQUIPMENT MARK



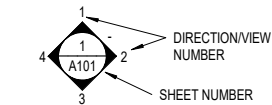
EXTERIOR ELEVATION



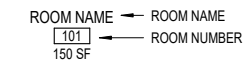
KEY NOTE MARK



INTERIOR ELEVATION



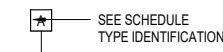
ROOM IDENTIFICATION



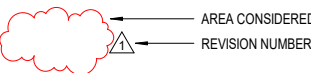
PROPERTY LINE



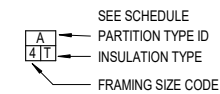
WALL TYPE (EXTERIOR)



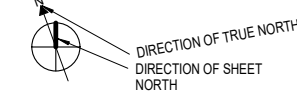
REVISION MARK



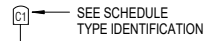
PARTITION TYPE



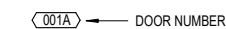
NORTH ARROW



GENERIC TAG



DOOR MARK



WINDOW MARK



GENERAL NOTES

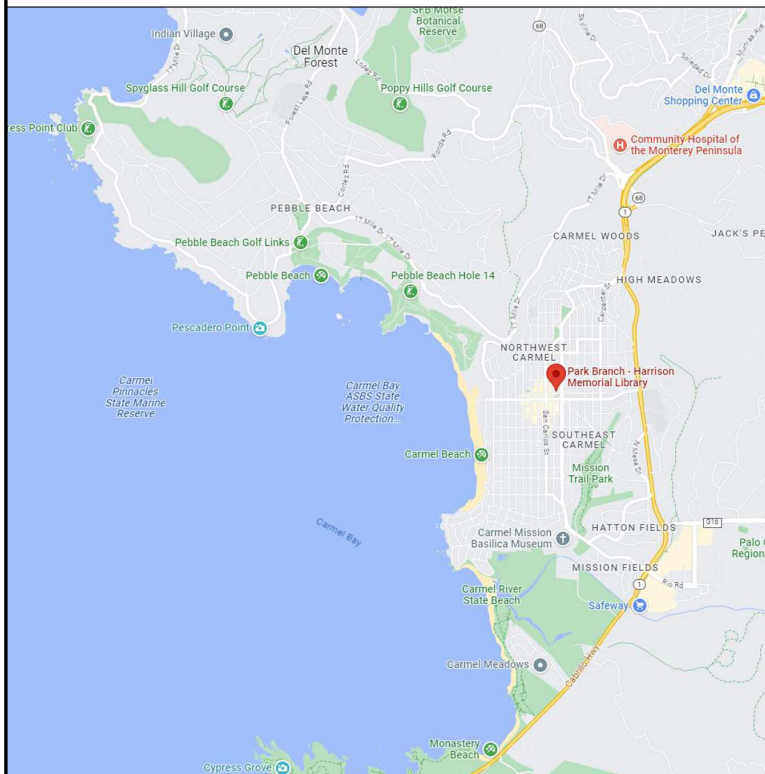
- 1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
2. ALL WORK SHALL MEET OR EXCEED THE MINIMUM STANDARDS OF THE 2019 CALIFORNIA BUILDING CODE AND ALL APPLICABLE CODES AND ORDINANCES.
3. INFORMATION CONTAINED WITHIN THESE DOCUMENTS SHALL NOT BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE APPLICABLE CODES.
4. CONTRACTOR SHALL EXAMINE THE DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPENCIES WHICH MAY BE FOUND PRIOR TO THE START OF WORK.
5. CONTRACTOR SHALL REVIEW ALL DOCUMENTS TO COORDINATE W/ THE (E) BLDG CONDITIONS. ANY VARIATIONS AND DISCREPENCIES THAT ARISE IN THIS REVIEW ARE TO BE BROUGHT IMMEDIATELY TO THE ARCHITECT'S ATTENTION.
6. THE CONTRACTOR AND ALL SUBCONTRACTORS ARE REQUIRED TO VISIT AND INSPECT THE SITE PRIOR TO CONSTRUCTION OR ORDERING ANY MATERIALS.
7. ALL DETAILS, SCHEDULES, ADDENDA AND SPECIFICATIONS BOUND SEPARATELY ARE A PART OF THE CONTRACT DOCUMENTS.
8. ITEMS MARKED "NIC" ARE NOT IN CONTRACT. SUCH ITEMS ARE INCLUDED IN THE DOCUMENTS WHEN CONTRACTOR'S COORDINATION IS REQUIRED OR FOR CLARIFICATION OF PROJECT LIMITS.
9. DIMENSIONS:
A. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM THE DRAWINGS.
B. ALL DIMENSIONS ARE TO THE ROUGH OPENING, UON.
C. ALL DIMENSIONS TO STUD WALLS ARE TO THE FACE OF STUD, UON.
D. CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR TO FINISHED FACE OF CEILING, UON.
E. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR AND ALL SUBCONTRACTORS PRIOR TO PROCEEDING WITH CONSTRUCTION.
F. COORDINATE WITH EQUIPMENT CONTRACTORS FOR ROUGH-IN DIMENSIONS AND TEMPLATES.
G. ALL DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE STRICTLY MAINTAINED. "CLEAR" MEANS DIMENSION FROM FACE OF FINISH TO FACE OF FINISH OR OBJECT.
H. ALL DIMENSIONS NOTED "VERIFY" OR "VIF" ARE TO BE CHECKED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY VARIANCE FROM THE REQUIRED DIMENSIONS MUST BE BROUGHT IMMEDIATELY TO THE ARCHITECT'S ATTENTION.
10. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES, UON.
11. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.
12. ALL WORK IS UNDERSTOOD TO BE (N) UNLESS NOTED AS (E).
13. THE CONTRACTOR SHALL MEET W/ THE ARCHITECT PRIOR TO THE START OF DEMOLITION TO NOTE WHAT ITEMS, IF ANY, ARE TO BE SALVAGED OR REUSED.
14. THE DRAWINGS INDICATE THE GENERAL EXTENT OF (N) CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL DEMO AND (N) WORK NECESSARY FOR A FINISHED JOB, IN ACCORDANCE W/ THE INTENTIONS OF THE CONTRACT DOCUMENTS, IS INCLUDED REGARDLESS OF WHETHER SHOWN IN THE CONTRACT DOCUMENTS.
15. (E) BUILDING DOCUMENTATION IS BASED ON "AS-BUILT" DRAWINGS AND OBSERVATIONAL SITE INVESTIGATIONS. ACTUAL BUILT CONDITIONS MAY VARY. CONTRACTOR IS TO USE CAUTION IN DEMOLITION, AND IS TO NOTIFY ARCHITECT IMMEDIATELY IF ANY VARIATIONS OR DISCREPENCIES ARE UNCOVERED.
16. PROTECT ALL (E) BUILDING AND SITE CONDITIONS TO REMAIN, INCLUDING BUT NOT LIMITED TO WALLS, PAVING, AND LANDSCAPING.

DESIGN-BUILD DEFERRED SUBMITTALS

THE DESIGN INTENT AND PERFORMANCE CRITERIA FOR THE FOLLOWING ITEMS IS SHOWN AND NOTED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE DESIGN DOCUMENTATION, IF REQUIRED, FOR CITY APPROVAL PRIOR TO CONSTRUCTION. BIDS SHALL INCLUDE REQUIRED DESIGN, DOCUMENTATION AND INSTALLATION OF A COMPLETE OPERATING SYSTEM THAT SATISFIES THE SPECIFIED PERFORMANCE CRITERIA AND MEETS ALL APPLICABLE CODES.

- 1. FIRE ALARM SYSTEM
2. ALUMINUM STOREFRONT SYSTEMS

VICINITY MAP



PROJECT DESCRIPTION

- PARTIAL DEMOLITION AND RENOVATION OF EXISTING LIBRARY
NO CHANGE IN USE

PROJECT DATA

BUILDING & PLANNING CODE DATA

- PLANNING CODE EDITION: 2021 SANTA CRUZ MUNICIPAL CODE
BUILDING CODE EDITION: 2021 CALIFORNIA BUILDING CODE
2021 CALIFORNIA MECHANICAL CODE
2021 CALIFORNIA ELECTRICAL CODE
2021 CALIFORNIA PLUMBING CODE

- OCCUPANCY CLASS: A3
BUILDING TYPE: TYPE III-B
SQUARE FOOTAGE: 8,310 SF
NUMBER STORIES: 1
FULLY SPRINKLERED
FULL FIRE ALARM SYSTEM

ALTERNATES

- ALTERNATE #4 PHOTOVOLTAIC
PHASED CONSTRUCTION (SEE COST ESTIMATE)

CONTACT INFORMATION

OWNER: CITY OF CARMEL-BY-THE-SEA

CONTACT: ASHLEY WRIGHT

P.O. Box 800 Carmel-by-the-Sea, CA 93921

awright@ci.carmel.ca.us 831-624-1366

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SHEET INDEX

INDEX - GENERAL

Table with 2 columns: Index Number, Description. G0.00 COVER SHEET, G0.01 SHEET INDEX & GENERAL NOTES

INDEX - ARCHITECTURAL

Table with 2 columns: Index Number, Description. A1.10 DEMO SITE PLAN, A1.20 DEMO FLOOR PLAN - BASEMENT LEVEL, A1.21 DEMO FLOOR PLAN - GROUND LEVEL, A2.10 SITE PLAN, A2.20 FLOOR PLANS, A2.30 REFLECTED CEILING PLAN, A9.30 ROOM FINISH SCHEDULE

INDEX - STRUCTURAL

*SEE STRUCTURAL NARRATIVE

INDEX - MECHANICAL

*SEE MECHANICAL NARRATIVE

INDEX - PLUMBING

*SEE PLUMBING NARRATIVE

INDEX - ELECTRICAL

*SEE ELECTRICAL NARRATIVE

JAYSON ARCHITECTURE

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CARMEL PUBLIC LIBRARY PARK BRANCH LIBRARY

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MASTER PLAN

SHEET INDEX & GENERAL NOTES

Table with 3 columns: NO, DATE, DESCRIPTION. Under REVISIONS header.

Table with 2 columns: DATE, SHEET NUMBER. 08/25/2023, 12" = 1'-0", 2023-01

G0.01







GENERAL NOTES

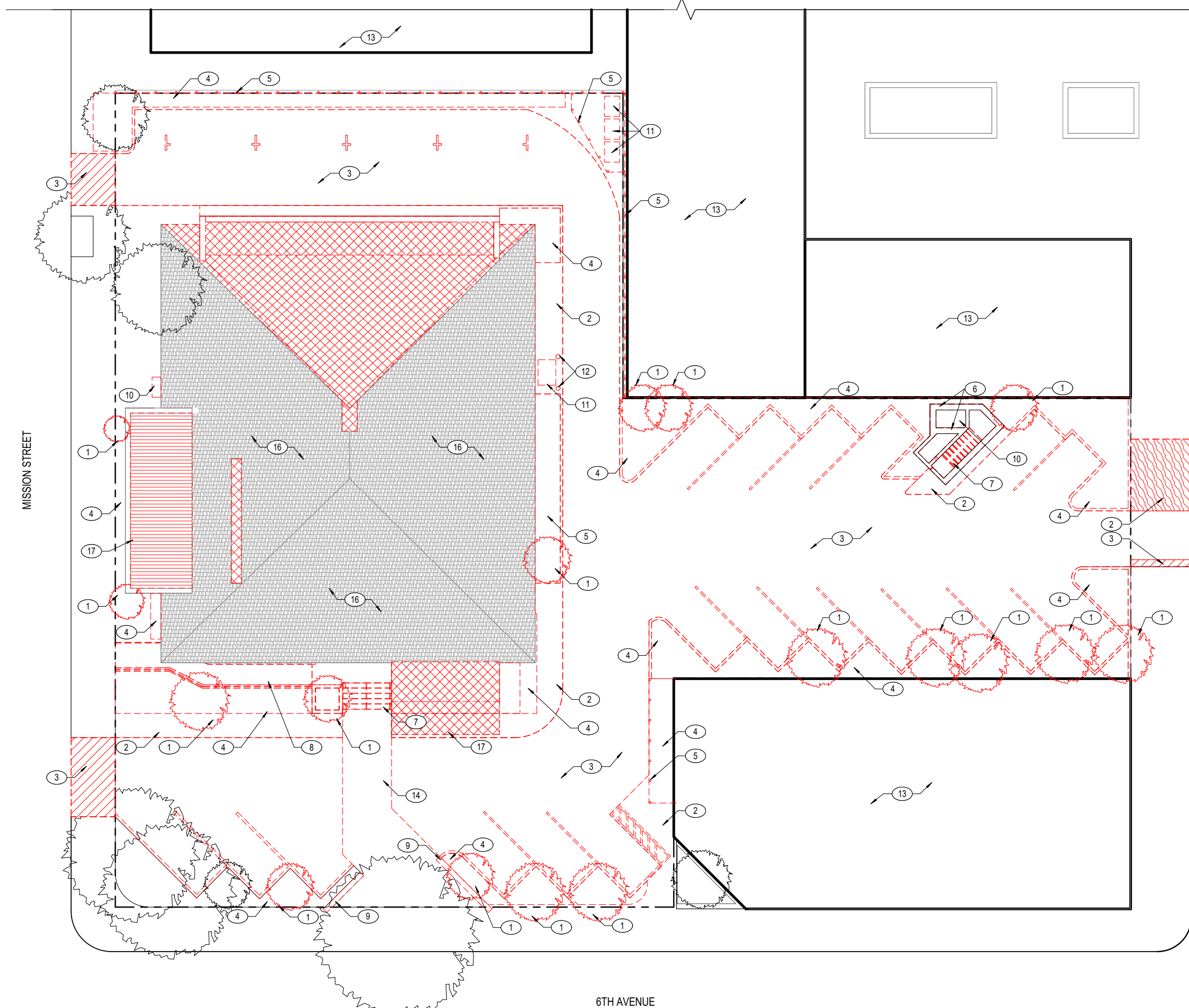
1. DEMO ALL (E) SITE LIGHTING, SEE ELECTRICAL NARRATIVE FOR SITE DEMO INFORMATION AND ADDITIONAL SITE IMPROVEMENTS
2. SEE MECHANICAL NARRATIVE FOR SITE DEMO INFORMATION
3. SEE STRUCTURAL NARRATIVE FOR SITE DEMO INFORMATION

KEY NOTES

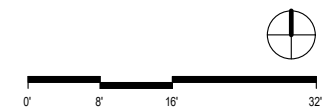
- ① DEMO (E) TREE
- ② DEMO (E) CURB & SIDEWALK
- ③ DEMO (E) DRIVEWAY & PARKING STRIPING
- ④ DEMO (E) PLANTING AREA
- ⑤ DEMO (E) FENCE
- ⑥ DEMO (E) WALLS
- ⑦ DEMO (E) STAIR, HANDRAILS & LANDINGS
- ⑧ DEMO (E) RAMP, HANDRAILS & LANDINGS
- ⑨ DEMO (E) SITE WALL
- ⑩ DEMO (E) MECHANICAL UNIT, SEE MECH NARRATIVE
- ⑪ DEMO (E) ELECTRICAL SERVICES, SEE ELECTRICAL NARRATIVE
- ⑫ DEMO (E) BOLLARD
- ⑬ ADJACENT PROPERTIES
- ⑭ DEMO (E) PAVERS
- ⑮ DEMO (E) ROOFING SURFACE
- ⑯ DEMO (E) SHINGLES ON ROOF
- ⑰ DEMO (E) FLAT ROOF

LEGEND

-  (E) WALL TO BE DEMOLISHED
-  DEMO (E) ROOFING TO SUB STRUCTURE
-  DEMO (E) ROOFING SURFACE
-  DEMO (E) DRIVEWAY
-  DEMO (E) CURB & SIDEWALK FOR (N) DRIVEWAY
-  PROPERTY LINE / BOUNDARY OF WORK



1 DEMOLITION SITE PLAN
A1.10 3/32" = 1'-0"



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SHEET TITLE
DEMO SITE PLAN

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	07/11/2023
SCALE	As indicated
JOB NO.	2023-01

SHEET NUMBER
A1.10

GENERAL NOTES

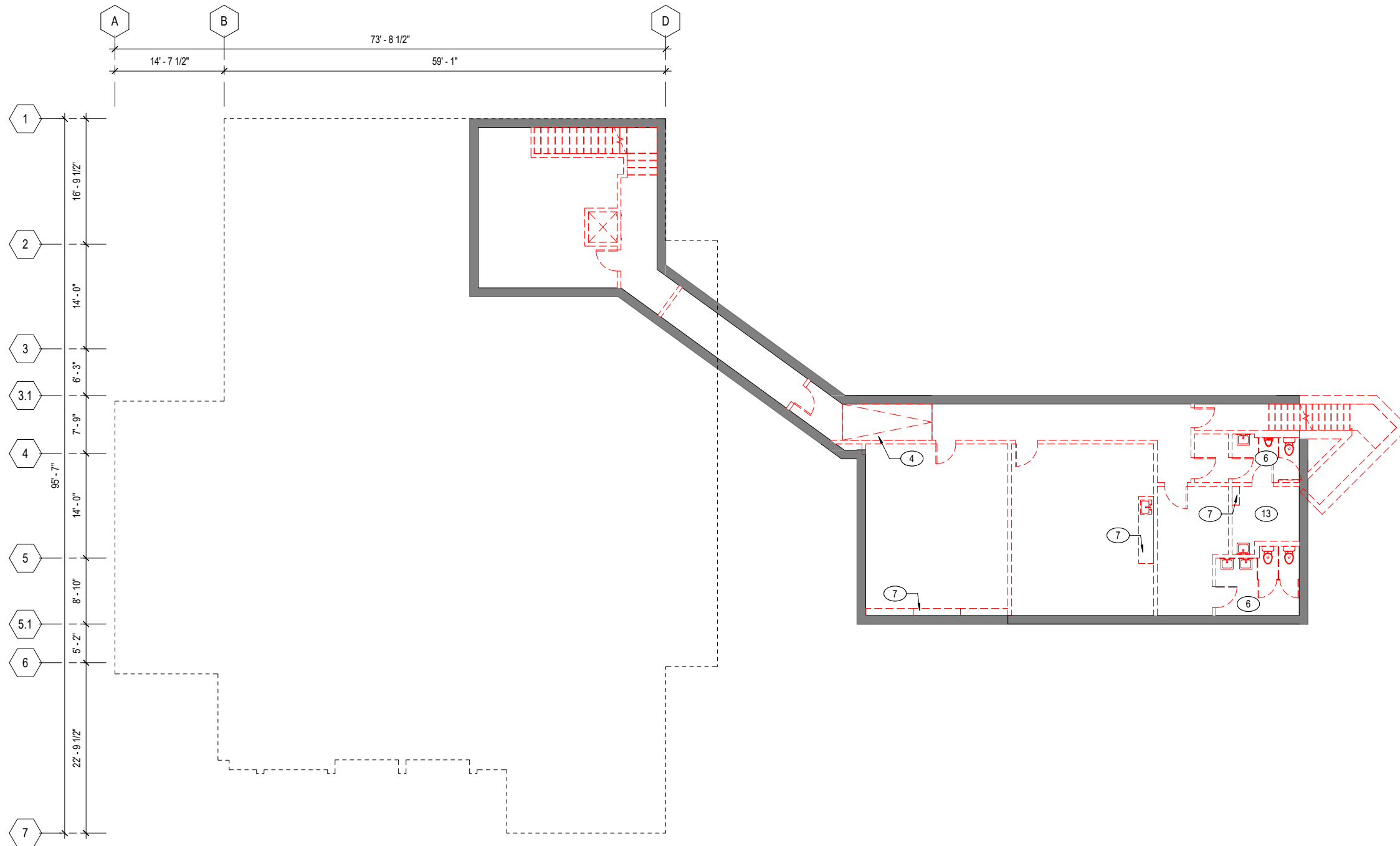
1. SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
2. SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
3. SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
4. SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION
5. DEMO ALL (E) INTERIOR WALL PARTITIONS
6. DEMO ALL (E) FLOOR FINISHES, WALL FINISHES, & CEILINGS
7. DEMO ALL (E) CASEWORK
8. DEMO ALL (E) DOORS & FRAMES
9. DEMO ALL (E) LIGHT FIXTURES, WIRING & ELECTRICAL EQUIPMENT
10. DEMO ALL (E) DUCTWORK & MECHANICAL EQUIPMENT

KEY NOTES

- ① DEMO (E) WALL
- ② DEMO (E) WINDOW
- ③ DEMO (E) STAIR, HANDRAILS, & LANDINGS
- ④ DEMO (E) RAMP, HANDRAILS, & LANDINGS
- ⑤ DEMO (E) PLANTER
- ⑥ DEMO (E) RESTROOM FIXTURES, FINISHES, & ACCESSORIES
- ⑦ DEMO (E) CASEWORK
- ⑧ DEMO (E) STACKS
- ⑨ DEMO (E) BENCH
- ⑩ DEMO (E) SHELVING
- ⑪ DEMO (E) CIRC DESK
- ⑫ DEMO (E) WORK TABLE
- ⑬ DEMO (E) SUMP PUMP, INFL (E) FLOOR @ PIT, SEE PLUMBING NARRATIVE
- ⑭ DEMO (E) SHAFT, INFL (E) FLOOR

LEGEND

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN
- BUILDING FOOTPRINT ABOVE



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SHEET TITLE
DEMO FLOOR PLAN -
BASEMENT LEVEL

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	07/11/2023
SCALE	1/8" = 1'-0"
JOB NO.	2023-01

SHEET NUMBER

A1.20

1 DEMOLITION FLOOR PLAN - BASEMENT LEVEL
A1.20 1/8" = 1'-0"

GENERAL NOTES

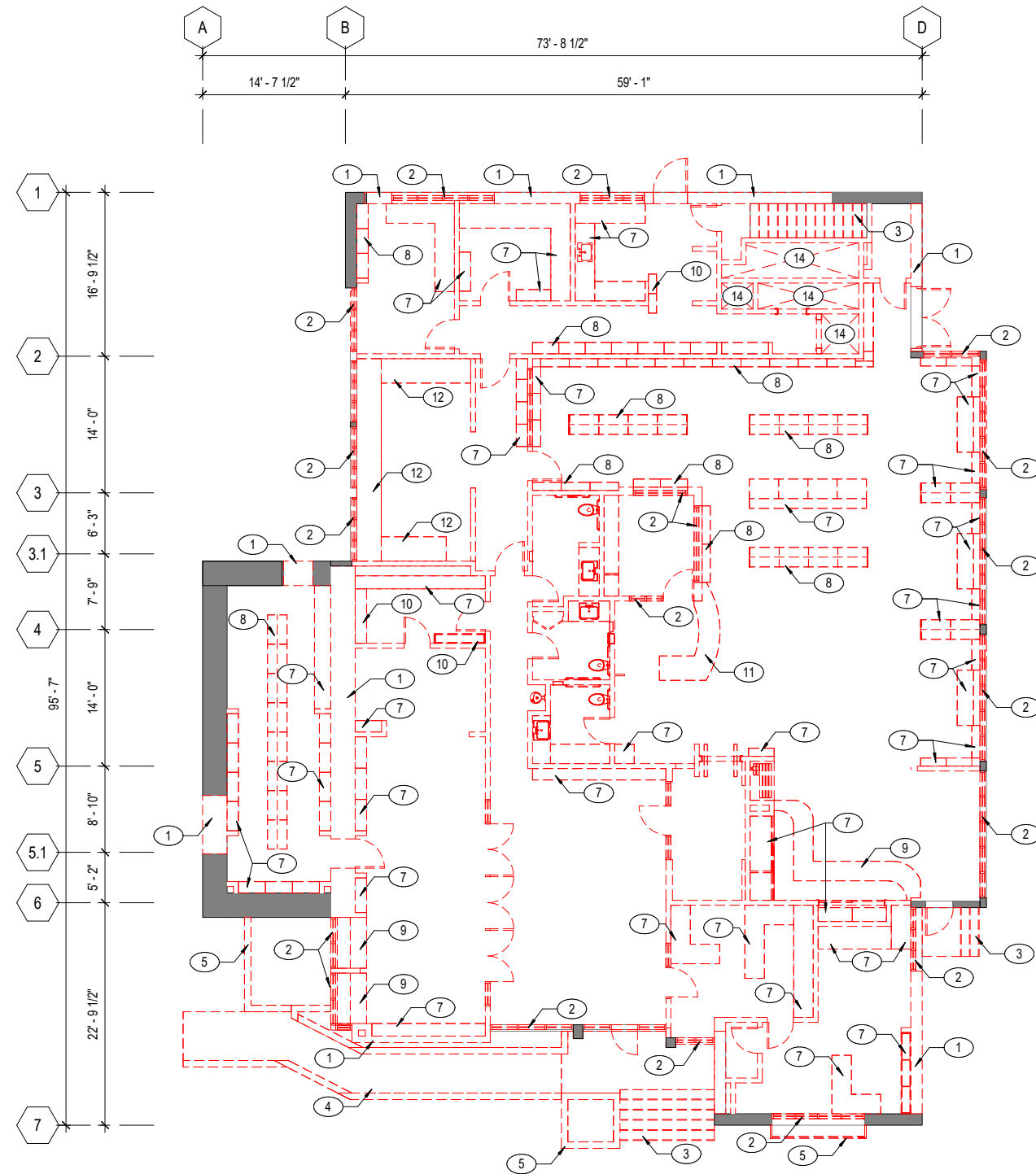
1. SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
2. SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
3. SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
4. SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION
5. DEMO ALL (E) INTERIOR WALL PARTITIONS
6. DEMO ALL (E) FLOOR FINISHES, WALL FINISHES, & CEILINGS
7. DEMO ALL (E) CASEWORK
8. DEMO ALL (E) DOORS & FRAMES
9. DEMO ALL (E) LIGHT FIXTURES, WIRING & ELECTRICAL EQUIPMENT
10. DEMO ALL (E) DUCTWORK & MECHANICAL EQUIPMENT

KEY NOTES

- ① DEMO (E) WALL
- ② DEMO (E) WINDOW
- ③ DEMO (E) STAIR, HANDRAILS, & LANDINGS
- ④ DEMO (E) RAMP, HANDRAILS, & LANDINGS
- ⑤ DEMO (E) PLANTER
- ⑥ DEMO (E) RESTROOM FIXTURES, FINISHES, & ACCESSORIES
- ⑦ DEMO (E) CASEWORK
- ⑧ DEMO (E) STACKS
- ⑨ DEMO (E) BENCH
- ⑩ DEMO (E) SHELVING
- ⑪ DEMO (E) CIRC DESK
- ⑫ DEMO (E) WORK TABLE
- ⑬ DEMO (E) SUMP PUMP, INFLL (E) FLOOR @ PIT, SEE PLUMBING NARRATIVE
- ⑭ DEMO (E) SHAFT, INFILL (E) FLOOR

LEGEND

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN
- BUILDING FOOTPRINT ABOVE



① DEMOLITION FLOOR PLAN - LEVEL 01
A1.21 1/8" = 1'-0"

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SHEET TITLE
DEMO FLOOR PLAN -
GROUND LEVEL

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	07/11/2023
SCALE	1/8" = 1'-0"
JOB NO.	2023-01

SHEET NUMBER

A1.21




GENERAL NOTES

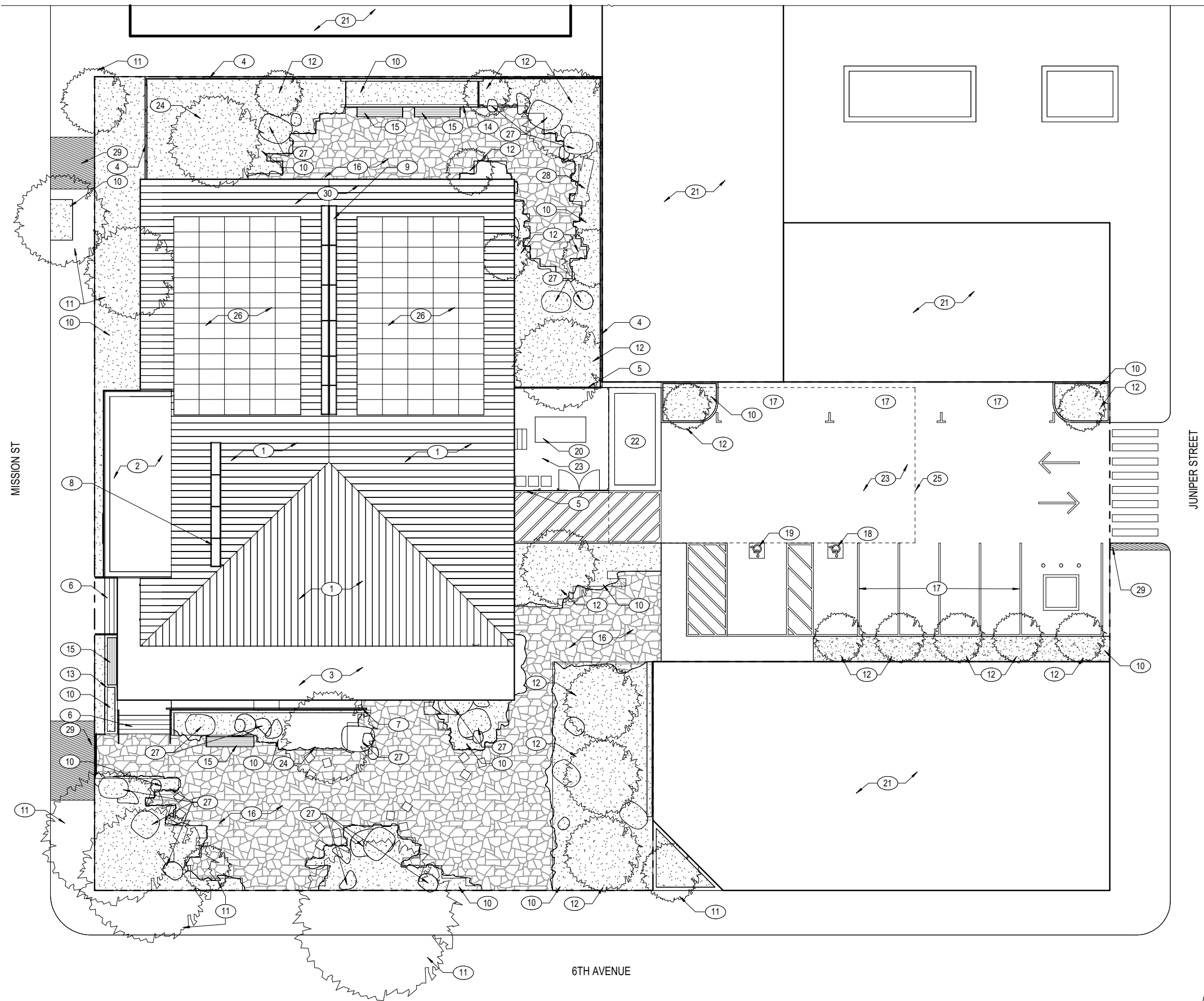
1. SEE ELECTRICAL NARRATIVE FOR SITE LIGHTNING & ADDITIONAL SITE IMPROVEMENTS

KEY NOTES

- 1 (N) ZINC STANDING SEAM ROOF OVER (E) FRAMING
- 2 (N) PVC ROOFING OVER (E) FRAMING
- 3 (N) ENTRY CANOPY, PVC ROOF
- 4 7'-0" TALL ENCLOSURE, WESTERN RED CEDAR W/ SHOU SUGI BAN FINISH
- 5 7'-0" TALL MECHANICAL ENCLOSURE, WESTERN RED CEDAR W/ SHOU SUGI BAN FINISH
- 6 (N) STONE STAIR W/ CUSTOM BRONZE HANDRAILS, & LANDING
- 7 (N) ACCESSIBLE STONE RAMP W/ CUSTOM BRONZE HANDRAILS, & LANDING
- 8 SKYLIGHT
- 9 AUTOMATED SKYLIGHT
- 10 PLANTING AREA
- 11 (E) TREE TO REMAIN
- 12 (N) TREE
- 13 78" CONC PLANTER W/ HORIZONTAL BOARD FORM FINISH
- 14 32" CONC PLANTER W/ COR-TEN STEEL PLATES
- 15 BUILT-IN BENCH, W/ WESTERN RED CEDAR BOARDS
- 16 STONE PAVERS
- 17 (N) PARKING
- 18 ACCESSIBLE PARKING
- 19 ACCESSIBLE VAN PARKING
- 20 MECHANICAL EQUIPMENT, SEE MECHANICAL NARRATIVE
- 21 ADJACENT PROPERTIES
- 22 (N) PVC ROOF, SLOPED 1/4" PER FT.
- 23 (N) ASPHALT SURFACE LOT
- 24 (N) SPECIMEN TREE, 72" BOX
- 25 BASEMENT LEVEL BELOW
- 26 PV ARRAY, SED
- 27 SITE BOULDERS
- 28 REDWOOD LOG, SANDED SMOOTH
- 29 (N) CONCRETE SIDEWALK
- 30 (N) ROOF STRUCTURE AT GABLE ROOF EXTENSION

LEGEND

-  (N) PLANTING AREA
-  32.5" SOIL INFILL TO MATCH FINISH FLOOR ELEVATION W/ RETAINING WALLS @ PERIMETER
-  (N) CONCRETE SIDEWALK



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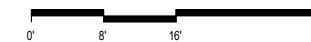
SHEET TITLE
SITE PLAN

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	As indicated
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SHEET NUMBER

A2.10



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SHEET TITLE
FLOOR PLANS

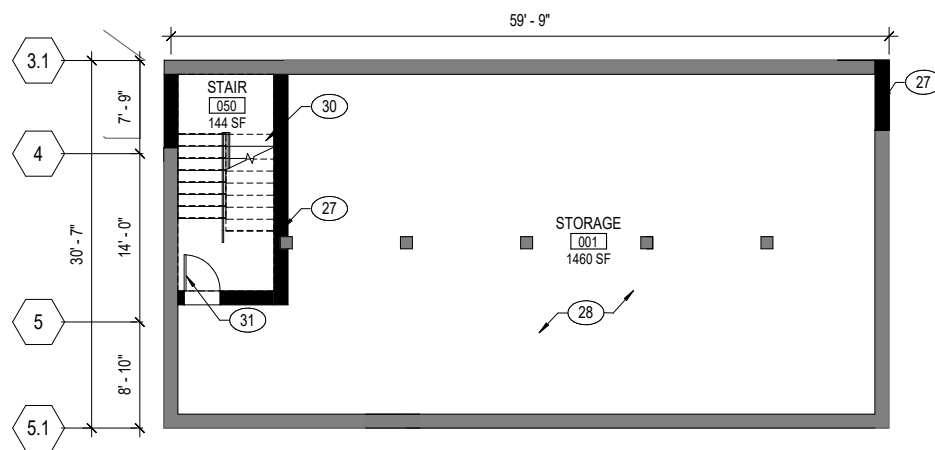
REVISIONS

NO.	DATE	DESCRIPTION

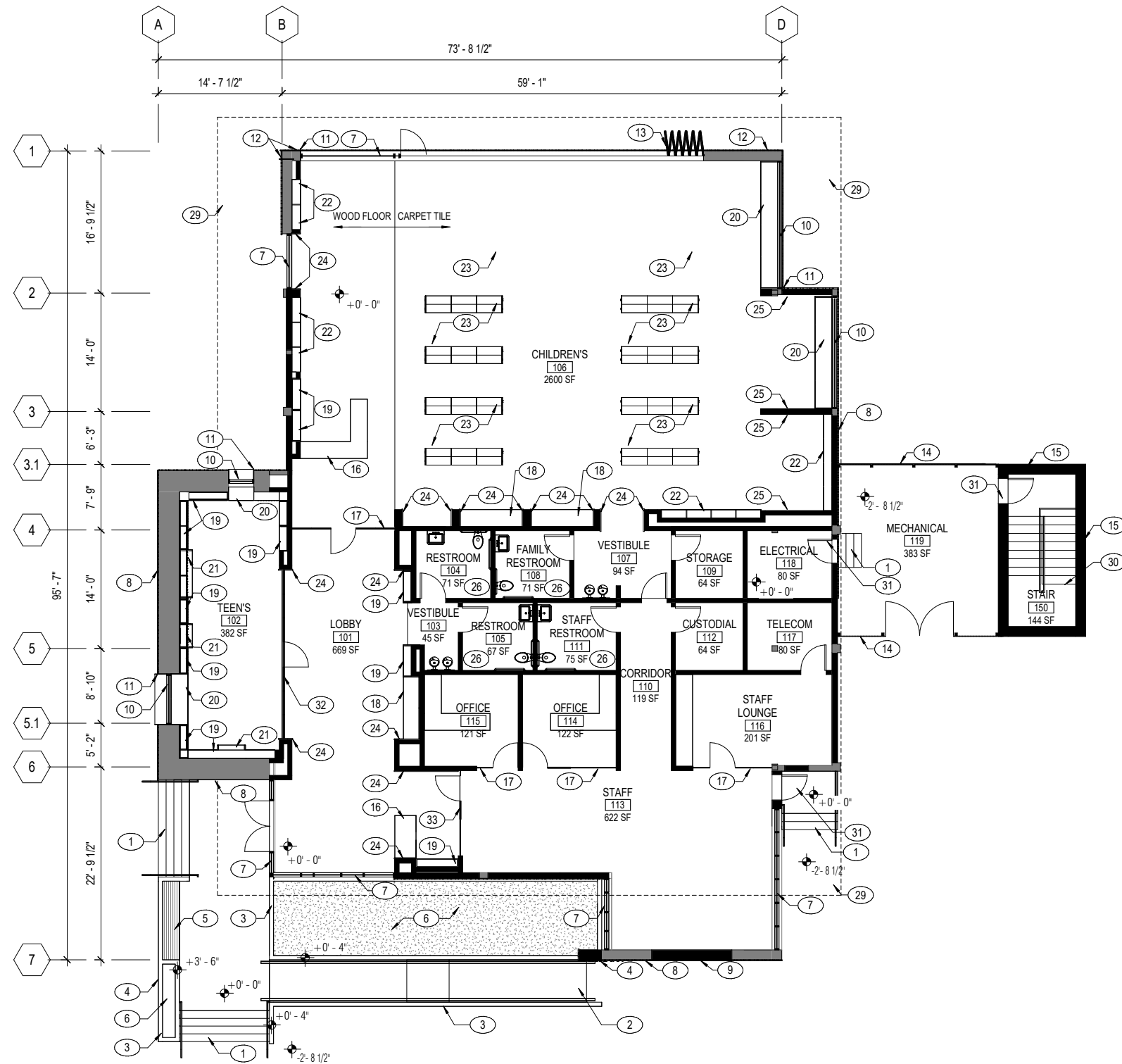
DATE	08/25/2023
SCALE	1/8" = 1'-0"
JOB NO.	2023-01

SHEET NUMBER

A2.20



2 PROPOSED FLOOR PLAN - BASEMENT LEVEL
A2.20 1/8" = 1'-0"



1 PROPOSED FLOOR PLAN - LEVEL 01
A2.20 1/8" = 1'-0"

GENERAL NOTES

- SEE ROOM FINISH SCHEDULE FOR WALL, FLOOR, & CEILING FINISHES
- ALL INTERIOR WALLS & PARTITIONS TO BE PTD GWB ON MTL STUDS UON
- INSTALL (N) SUMP PUMP @ BASEMENT LEVEL, SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION

KEY NOTES

- (N) STONE STAIR, LANDING & CUSTOM BRONZE HANDRAILS
- (N) ACCESSIBLE STONE RAMP, LANDINGS & CUSTOM BRONZE RAILINGS
- CONC SITE WALL W/ HORIZONTAL BOARD FORM FINISH
- SIGNAGE W/ BRONZE LETTERING
- BUILT-IN BENCH, W/ WESTERN RED CEDAR BOARDS
- PLANTING AREA
- THERMALLY BROKEN STEEL STOREFRONT, 9' TALL
- WESTERN RED CEDAR W/ SHOU SUGI BAN FINISH OVER (E) WALL
- WESTER N RED CEDAR RAINSCREEN W/ SHOU SUGI BAN FINISH OVER (N) INFILL WALL

- THERMALLY BROKEN STEEL STOREFRONT W/DW
- 1/2" PTD ALUM SURROUND
- ALUM WALL PANEL TO MATCH STOREFRONT
- NANAWALL OPERABLE EXTERIOR STOREFRONT, 9' TALL
- MECH ENCLOSURE 7' 0" TALL WESTERN RED CEDAR WITH SHOU SUGI BAN FINISH
- WESTERN RED CEDAR RAINSCREEN W/ SHOU SUGI BAN FINISH OVER (N) CONCRETE WALL
- CIRCULATION DESK W/ QUARTZ COUNTERTOP & PTD WD LOWER CABINETS
- FRAMELESS GLASS PARTITION & DOOR
- PTD WD LOWER CABINETS W/ QUARTZ COUNTERTOP

- PTD WD BUILT-IN SHELVING, 56" TALL
- BUILT-IN UPHOLSTERED SEATING W/ PTD SHELVING BELOW
- SOLID BIRCH COUNTERTOP
- PTD WD BUILT-IN SHELVING 42" TALL
- COLLECTION STACKS, 42" TALL CANTILEVER MTL W/ PTD WD END PANELS & CANOPIES
- 1 1/2" SOLID MAPLE WD SURROUND
- VERTICAL SOLID MAPLE 1x2 WD SLATS @ 1.5" O.C. W/ BLACK ACOUSTIC FABRICK BACKER
- ACCESSIBLE SINGLE OCCUPANCY RESTROOM
- (N) CONCRETE WALL W/ XYPEX ADMIXTURE

- XYPEX SURFACE TREATMENT ON ALL (E) CONC WALLS, SLABS, CEILINGS & COLUMNS
- ROOF OVERHANG ABOVE
- PREFAB MTL PAN STAIR & RAILINGS
- HOLLOW MTL DR
- FRAMELESS GLASS PARTITION & DOOR W/ CUSTOM GRAPHIC INTERLAYER
- FRAMELESS GLASS PARTITION & DOOR, FROSTED

LEGEND

- NEW WALL
- EXISTING WALL






GENERAL NOTES

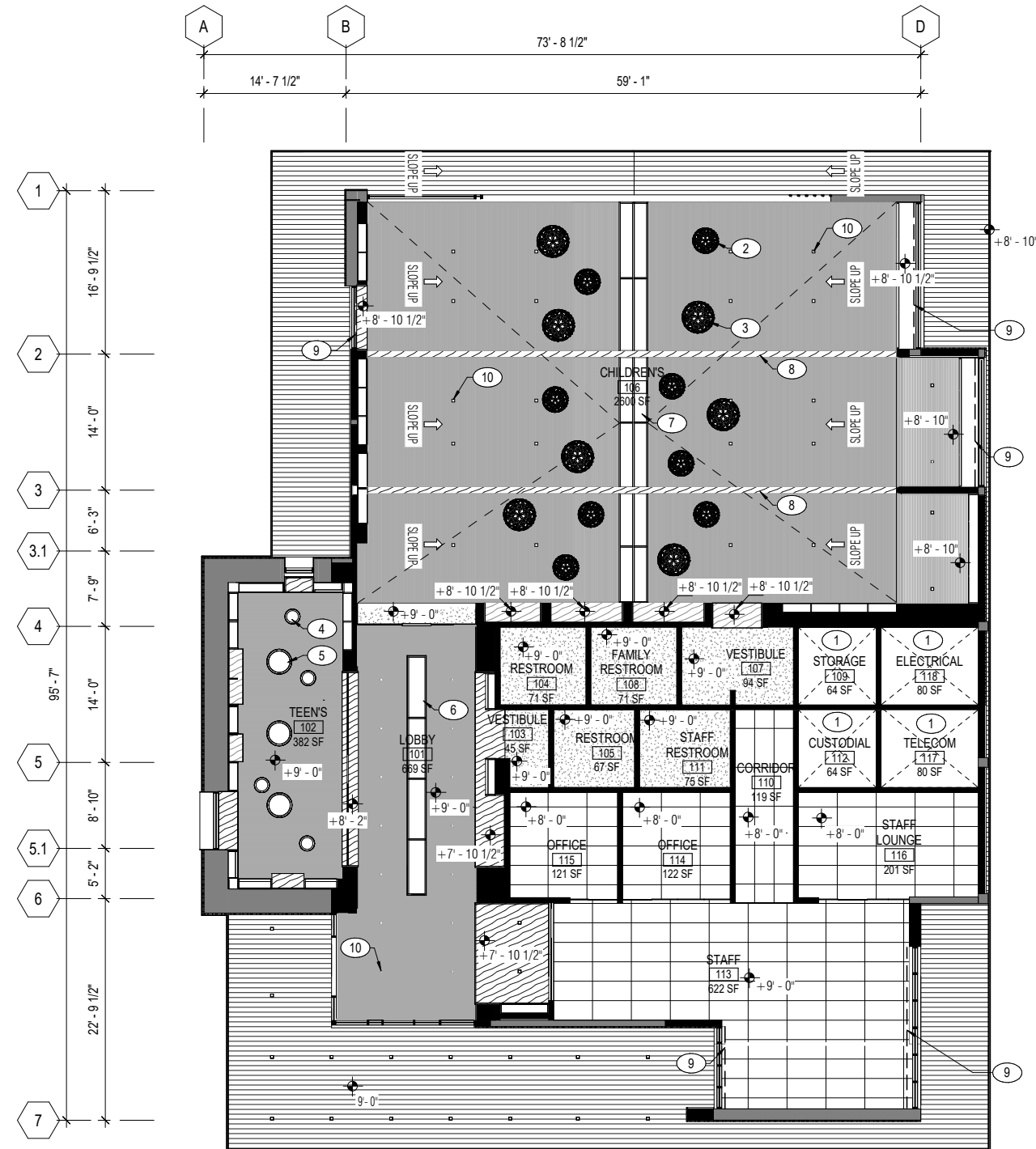
1. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION
2. SEE THE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
3. SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
4. PAINT ALL EXPOSED STRUCTURES, PIPES, DUCTS, CONDUIT & ALL OTHER EXPOSED ITEMS, TYP
5. ASSUME 4" x 48" RECESSED LINEAR LIGHTING FIXTURES @ 8' - 0" O.C. IN ALL ACOUSTIC CEILING TILE CEILINGS
6. ASSUME RECESSED CAN LIGHTING @ 4' - 0" O.C. IN ALL GWB CEILINGS
7. ASSUME RECESSED CAN LIGHTING @ 4' - 0" O.C. IN ALL WD SLAT CEILINGS & T&G WOOD SOFFITS

KEY NOTES

- 1 OPEN TO STRUCTURE ABOVE, PAINT EXPOSED BEAMS, ROOF DESK, CONDUIT, & DUCTWORK
- 2 DECORATIVE PENDANT FIXTURES, DIA 32", DAVID TRUBRIDGE DESIGN, FLO-0800
- 3 DECORATIVE PENDANT FIXTURES, DIA 40", DAVID TRUBRIDGE DESIGN, FLO-1000
- 4 SURFACE LIGHT FIXTURES, DIA 18 3/4", RAMOS & BASSOLS, VIBIA DUO-4870
- 5 SURFACE LIGHT FIXTURES, DIA 31", RAMOS & BASSOLS, VIBIA DUO-4872
- 6 (N) SLYLIGHT
- 7 (N) AUTOMATED SKYLIGHT
- 8 (E) WD BEAM, CLEAN & STAIN W/ CLEAR FINISH
- 9 ELECTRIC ROLLER SHADES, SED
- 10 RECESSED CAN LIGHTING IN WD SLAT CEILING

RCP FINISH LEGEND

-  2X4 ACOUSTIC CEILING TILE, ARMSTRONG OPTIMA
-  PTD GWB CEILING, SUSPENDED, UON
-  T&G WESTERN RED CEDAR SOFFIT
-  1X2 SOLID MAPLE WD SLATS @1.5" O.C., W/ BLACK ACOUSTIC FABRIC BACKING, SEE RCP FOR DIRECTION OF WD SLATS
-  VENEER WD SOFFIT



1 REFLECTED CEILING PLAN - LEVEL 01
A2.30 1/8" = 1'-0"

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SHEET TITLE
REFLECTED CEILING
PLAN

REVISIONS		
NO.	DATE	DESCRIPTION

DATE	08/25/2023
SCALE	1/8" = 1'-0"
JOB NO.	2023-01

SHEET NUMBER

A2.30

ROOM FINISH SCHEDULE							
#	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS	AREA
001	STORAGE	(E) CONC SLAB	N/A	CONC	OPEN TO STRUCTURE	XYPEX SURFACE TREATMENT ON ALL (E) CONC SURFACES	1460 SF
050	STAIR	PRECAST CONC	N/A	CONC	OPEN TO STRUCTURE	XYPEX SURFACE TREATMENT ON ALL (E) CONC SURFACES	144 SF
101	LOBBY	WOOD FLOOR	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.		669 SF
102	TEEN'S	CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.		382 SF
103	VESTIBULE	WOOD FLOOR	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	PTD GWB, LEVEL 5		45 SF
104	RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		71 SF
105	RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		67 SF
106	CHILDREN'S	WOOD FLOOR & CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.	SEE FLOOR PLAN FOR EXTENTS OF FLOORING	2600 SF
107	VESTIBULE	CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	PTD GWB, LEVEL 5		94 SF
108	FAMILY RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		71 SF
109	STORAGE	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		64 SF
110	CORRIDOR	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		119 SF
111	STAFF RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		75 SF
112	CUSTODIAL	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		64 SF
113	STAFF	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		622 SF
114	OFFICE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		122 SF
115	OFFICE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		121 SF
116	STAFF LOUNGE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		201 SF
117	TELECOM	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		80 SF
118	ELECTRICAL	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		80 SF
119	MECHANICAL	N/A	N/A	N/A	N/A	SEE SITE PLAN	383 SF
150	STAIR	PRECAST CONC	N/A	CONC	OPEN TO STRUCTURE		144 SF

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SHEET TITLE

ROOM FINISH
SCHEDULE

REVISIONS

NO.	DATE	DESCRIPTION

DATE 08/25/2023

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A9.30





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ARCHITECTURE