





CONCEPTUAL DESIGN SUMMARY

Park Branch Library

Located only several blocks from the Harrison Memorial Library, the concept design for the Park Branch Library involved a more considerable renovation. As with the Harrison branch, we evaluated the existing building and site, reviewing its presence and adjacent context. Although similar to the Harrison branch with its street corner placement, the Park Branch is situated on a quieter stretch of streets in Carmel-by-the-Sea and directly adjacent to one of the City's parks, Devendorf Park.

Meetings with the Carmel Public Library and the Carmel Public Library Foundation provided direction during the early stages of our design process. The relocation of the teen's room from the Harrison branch to the Park branch was identified as one of the main programmatic solutions to achieve a more efficient layout for the library. Another key design decision was the reduction of access and use to the miscellaneous basement spaces that had gone largely unused throughout the years of library operation. As we learned about the City's plans to potentially close off the adjacent streets and reclaim it for pedestrian use, an entry plaza was determined as a desirable approach in establishing a well-defined entry sequence for the library.

The program of the Park Branch Library is greatly simplified by consolidating both youth program spaces under the same roof. With only staff and support spaces making up the remainder of the Park branch, the repositioning of the entry lobby to its more centralized location and its redefined exterior approach seamlessly ties the library together, revitalizing the Park branch as a modern-day library. Although the building footprint is left untouched, its exterior is completely reimagined with new wood siding in shou sugi ban finish that clads each elevation. The redefined entry is enclosed in tall glass windows that provide transparency upon your approach. Built-in seating elements also line the exterior entryway, as well as the plaza spaces below. A new roof overhang extends above the entryway, creating a shelter at the building's front door and further emphasizing the new entry. The existing roof itself is replaced with a new metal roof, and the roof form at the northern side has been changed from a hip to a gable form. Several linear skylights are introduced to bring in additional daylight. On the building's interior, the rooms are completely reorganized. With the children's room as the primary reading room, exposed wood beams and wood slat ceilings with large pendant fixtures define the bright nature of the space, as natural light spills in from the large skylight above. Additionally, the children's area is able to expand onto a new outdoor patio space, replacing the existing driveway with planting areas, pavers, and fun outdoor furniture. This new children's patio is defined by a wood fence along the perimeter of the site that matches the new wood siding of the building's exterior.

Similar to the Harrison branch, our material palette was inspired by the coastline near Carmel-by-the-Sea. From the exterior stone pavers to the warm carpet tones, to the light wood finishes and blue tones, the design of the library takes its cues from its natural surroundings. And as a direct nod to the adjacent buildings, the shou sugi ban wood finish of the exterior embodies the charm of the worn wood finishes found throughout the city.

2 MAIN ENTRY

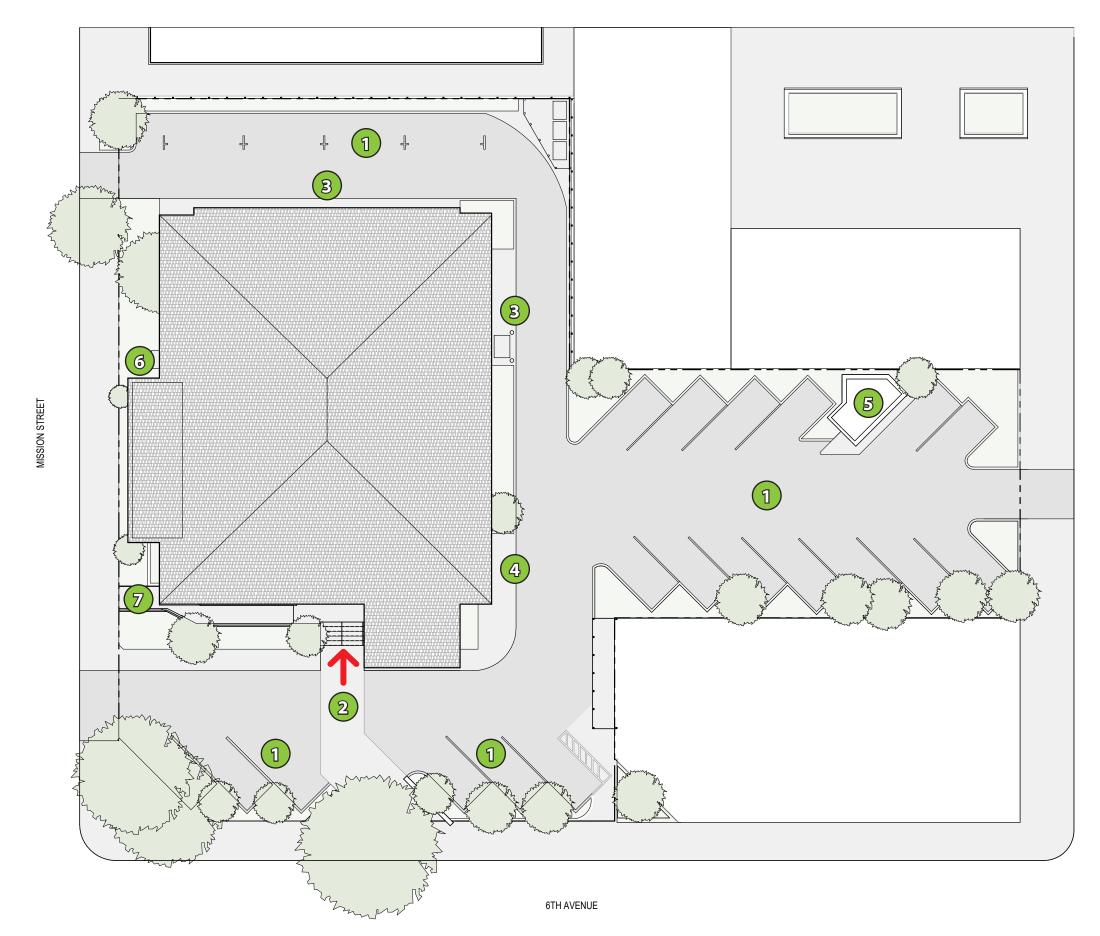
3 REAR ENTRY

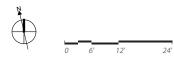
4 STAFF ENTRY

BASEMENT ENTRY

6 MECHANICAL

7 RAMP





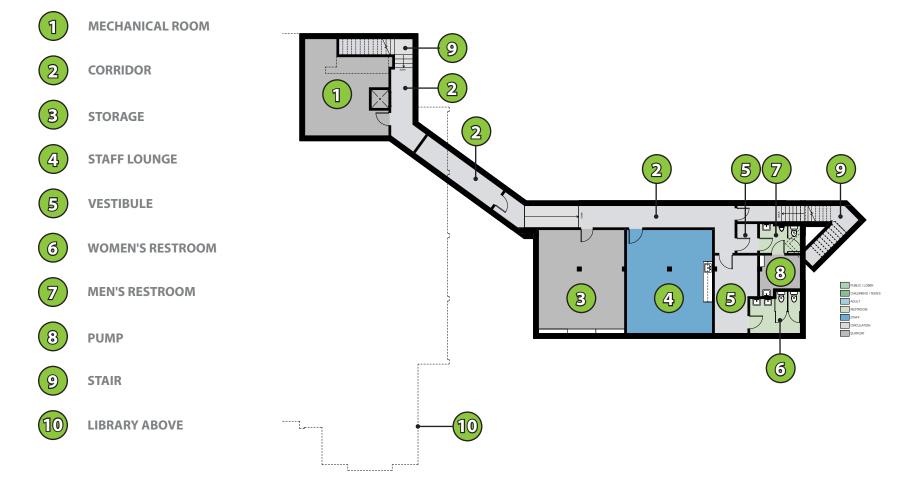
SITE PLAN

- 1 ENTRY PLAZA
- 2 MAIN ENTRY
- 3 STAFF ENTRY
- 4 CHILDREN'S PATIO
- **GARDEN**
- 6 PLANTER
- 7 INTEGRATED BENCHES
- 8 DECORATIVE LOG
- 9 ELECTRICAL SERVICE
- 10 PARKING
- 11) STORAGE BELOW
- 12 STAIR TO STORAGE
- 18 MECHANICAL AND TRASH ENCLOSURE
- 14 RAMP
- 15 OPERABLE SKYLIGHT
- 16 PHOTOVOLTAIC ARRAY

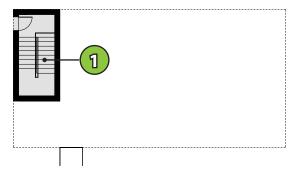




BASEMENT LEVEL PLAN



- 1 STAIR TO BASEMENT
- 2 BASEMENT STORAGE



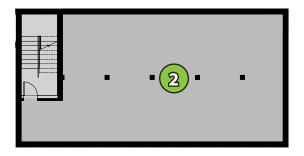


Figure L: Proposed Program Plan Basement Level





MAIN LEVEL FLOOR PLAN

STAIR



- 1 MAIN ENTRY
 2 STAFF ENTRY
 3 LOBBY
 4 TEENS
 5 CHILDREN'S READING ROOM
 6 RESTROOM
 7 STORAGE
 8 CUSTODIAL
 9 OFFICE
 10 STAFF WORKROOM
- 12 ELECTRICAL

 13 TELECOM

 14 STORYTIME
- 15 OPERABLE GLASS WALL

STAFF LOUNGE

Figure M: Existing Program Plan Main Level

Figure N: Proposed Program Main Level



0 0 0

INSPIRATION IMAGES







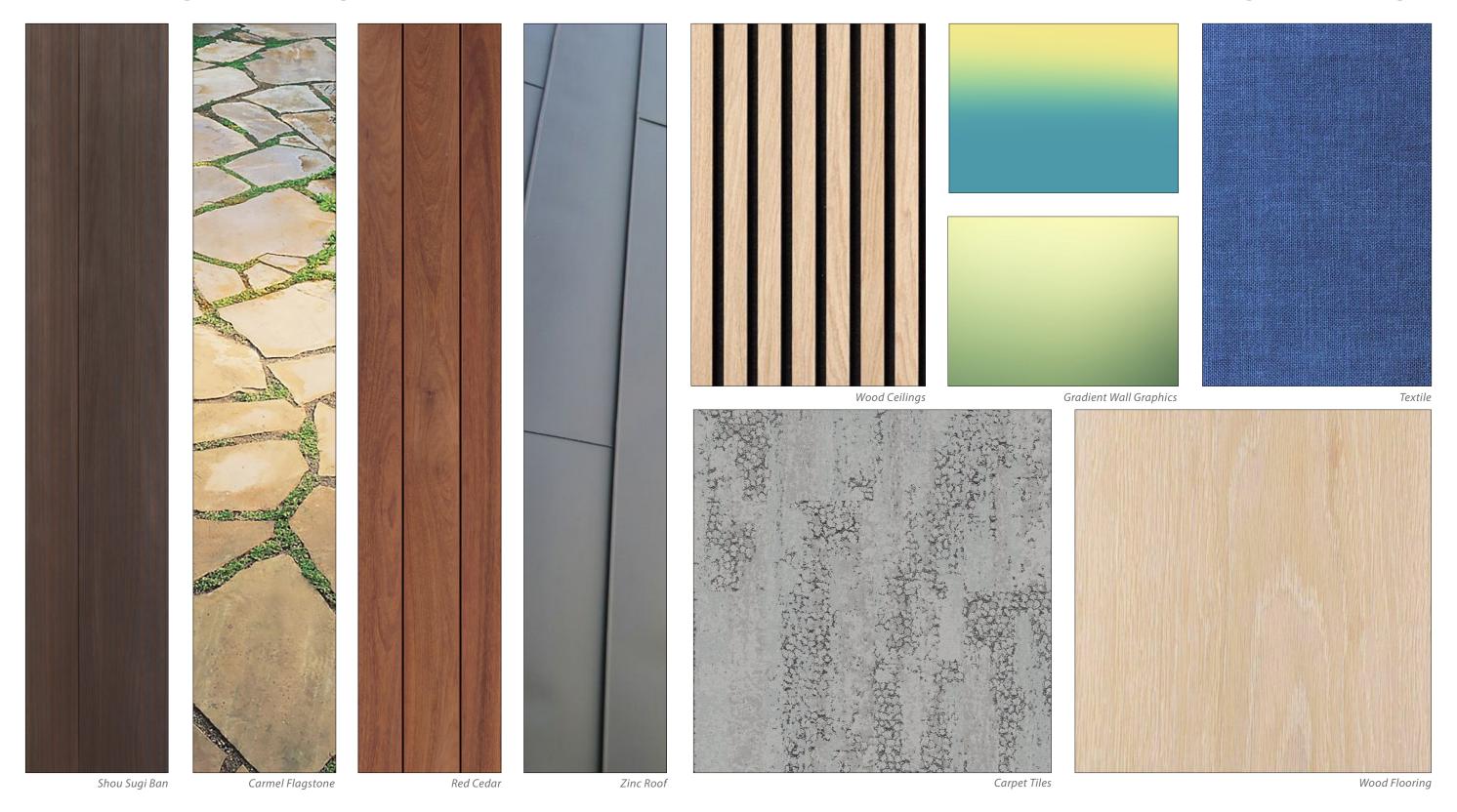






MATERIALS - EXTERIOR

MATERIALS - INTERIOR



View from Plaza

- 1 BOARD-FORM CONCRETE PLANTER
- 2 FLAGSTONE PAVERS
- **BRONZE SIGNAGE**
- 4 BRONZE HANDRAILS
- BENCH WITH WOOD SEATING
- 6 SHOU SUGI BAN FACADE
- 7 wood soffit
- 8 STEEL STOREFRONT
- 9 METAL ROOF EDGE
- 10 BOULDERS

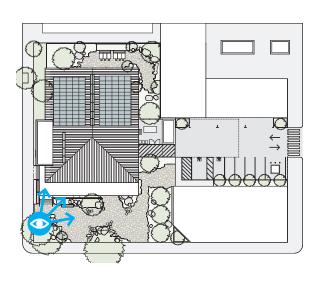


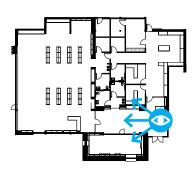


Figure 9: Rendering - View from Plaza



View of Lobby from Main Entrance

- 1 WOOD FLOOR
- 2 GLASS PARTITION WITH GRAPHIC
- 3 PAINTED GYPSUM BOARD
- 4 GLASS PARTITION
- WOOD SLAT CEILING
- 6 SOLID WOOD SURROUND
- 7 FROSTED GLASS PARTITION
- 8 QUARTZ COUNTERTOP
- 9 WOOD LETTERING
- 10 PAINTED WOOD SHELVING
- 11 AUTOMATED SKYLIGHT



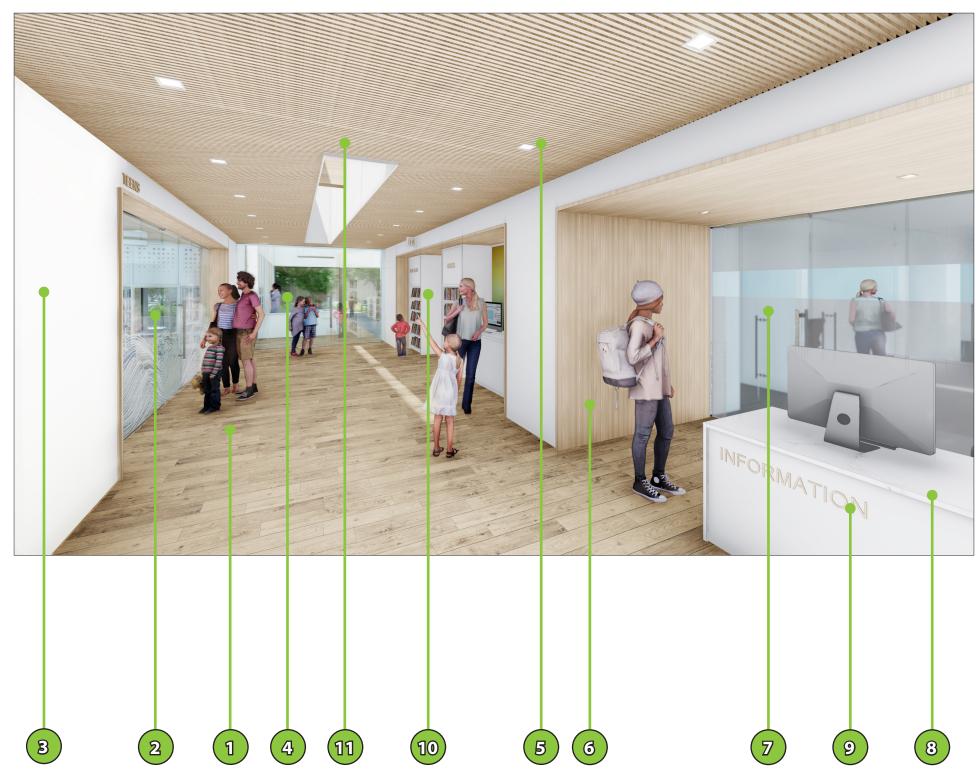
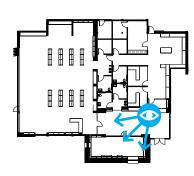


Figure 10: Rendering - View from Main Entrance



View of Entry to Teens Room

- 1 WOOD FLOOR
- 2 GLASS PARTITION WITH GRAPHIC
- **3** GLASS PARTITION
- 4 WOOD SLAT CEILING
- SOLID WOOD SURROUND
- 6 WOOD LETTERING



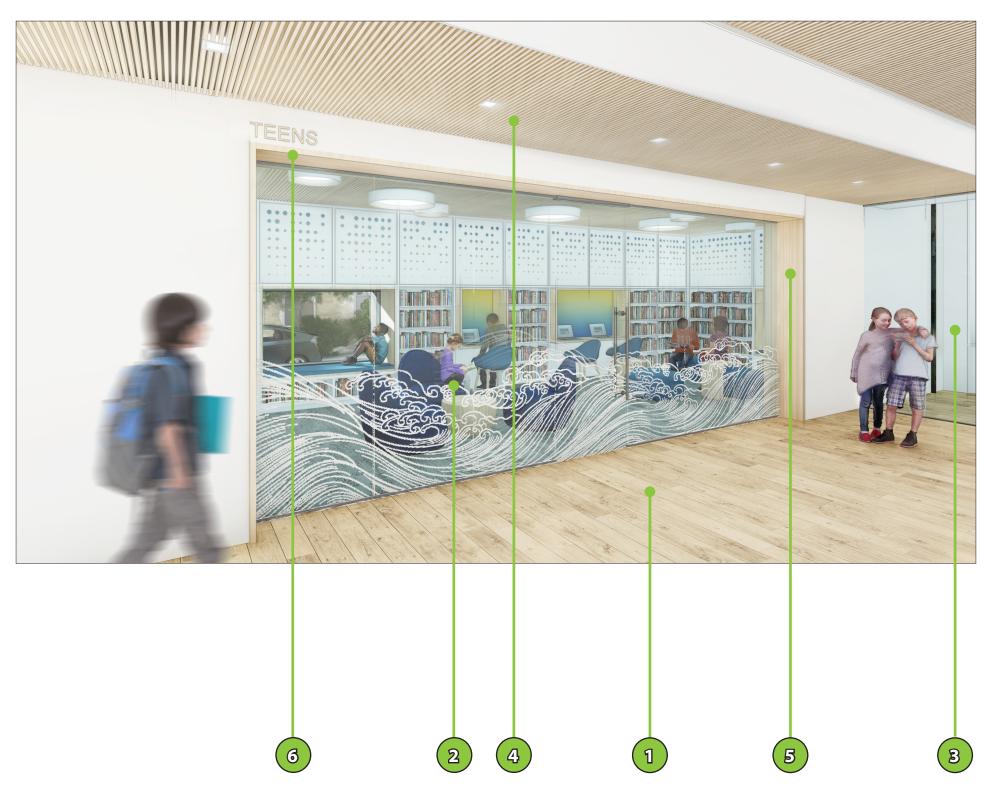
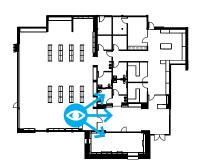


Figure 11: Rendering - View of Entry to Teens Room



View of Teens Room

- 1 CARPET TILE FLOORING
- 2 GLASS PARTITION WITH GRAPHIC
- 3 PAINTED GYPSUM BOARD
- 4 WOOD SLAT CEILING
- SOLID WOOD SURROUND
- 6 PAINTED WOOD SHELVING
- 7 PERFORATED WOOD PANELS
- 8 GRADIENT WALLPAPER
- 9 WOOD STUDY COUNTER



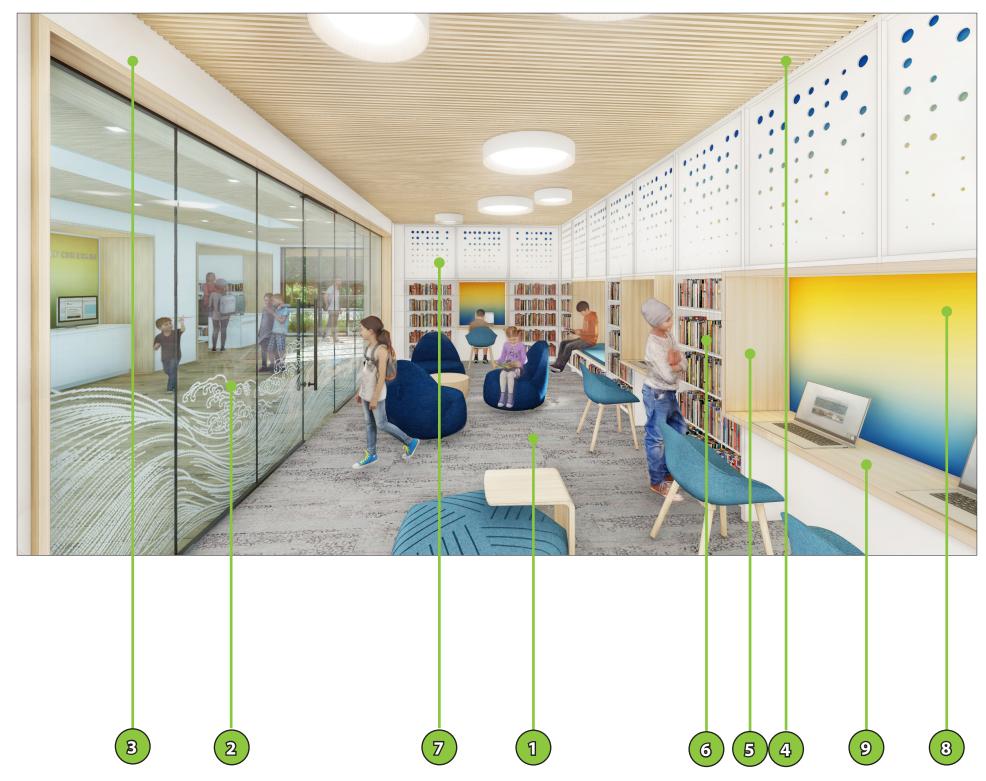


Figure 12: Rendering - View of Teens Room



View from Entry to Children's Room

- 1 WOOD FLOOR
- 2 CARPET TILE FLOORING
- 3 PAINTED GYPSUM BOARD
- 4 OPERABLE GLASS STOREFRONT
- 5 WOOD SLAT CEILING
- 6 SOLID WOOD SURROUND
- 7 QUARTZ COUNTERTOP
- 8 WOOD LETTERING
- 9 CANTILEVER METAL SHELVING
- 10 GRADIENT WALLPAPER
- 11 FEATURE LIGHTING

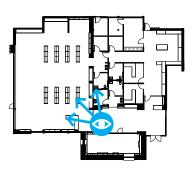


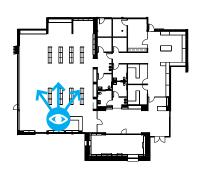


Figure 13: Rendering - View from Entry to Children's Room



View across Children's Room

- 1 CARPET TILE FLOORING
- 2 PAINTED GYPSUM BOARD
- 3 OPERABLE STEEL STOREFRONT
- 4 WOOD SLAT CEILING
- SOLID WOOD SURROUND
- 6 QUARTZ COUNTERTOP
- 7 PAINTED WOOD SHELVING
- 8 GRADIENT WALLPAPER
- 9 FEATURE LIGHTING
- 10 CANTILEVER METAL SHELVING



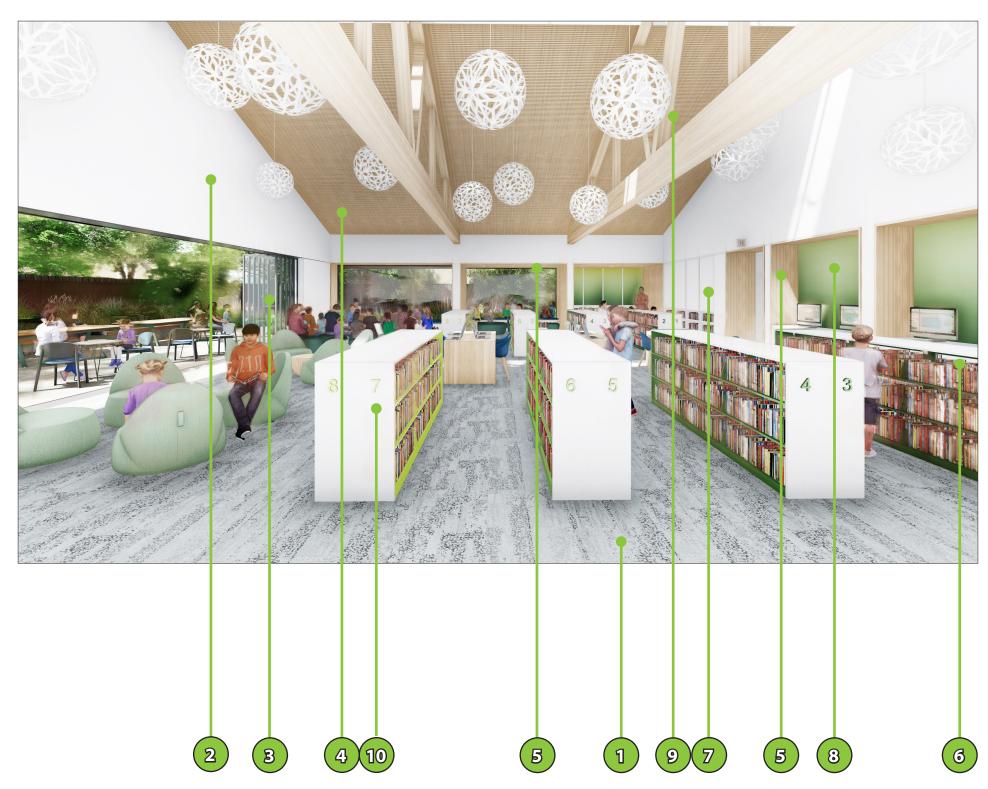
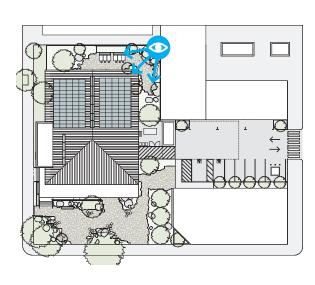


Figure 14: Rendering - View across Children's Room



View from Children's Garden

- 1 SHOU SUGI BAN FACADE
- 2 METAL PANELS
- 3 WOOD SOFFIT
- 4 FLAGSTONE PAVERS
- **B** WOOD BENCH
- 6 BOARD-FORM CONCRETE PLANTER
- 7 STEEL PLANTER
- 8 OPERABLE GLASS STOREFRONT
- 9 STEEL WINDOW
- 10 METAL ROOF EDGE
- 11) BOULDERS



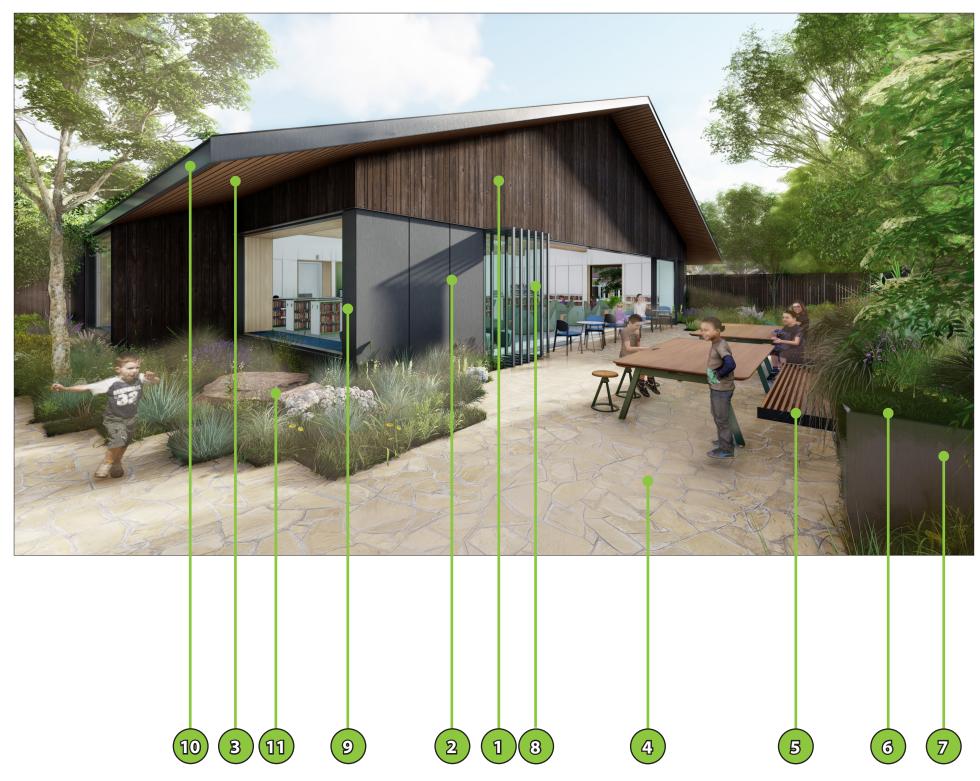
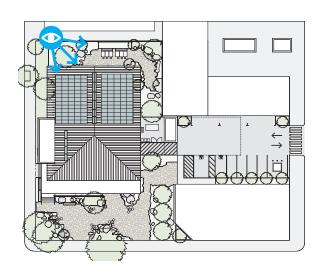


Figure 15: Rendering - View Children's Garden



View into Children's Room

- 1 SHOU SUGI BAN FACADE
- 2 METAL PANELS
- 3 WOOD SOFFIT
- 4 FLAGSTONE PAVERS
- OPERABLE GLASS STOREFRONT
- 6 STEEL WINDOW
- 7 METAL ROOF EDGE
- 8 BOULDERS
- 9 SHOU SUGI BAN FENCE



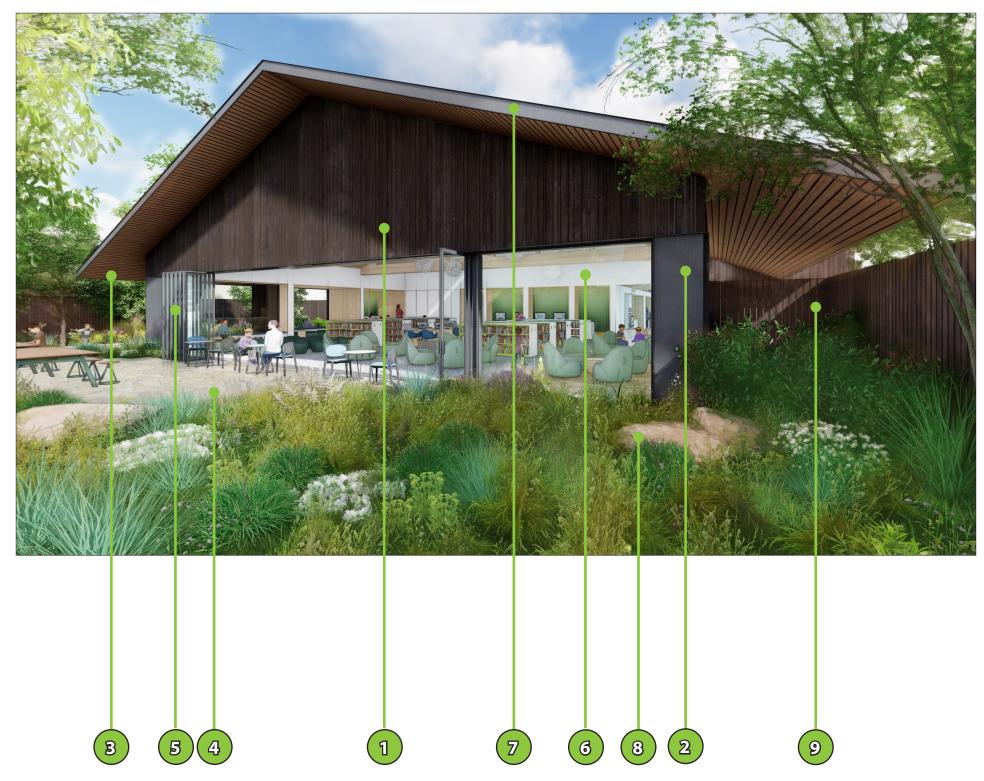
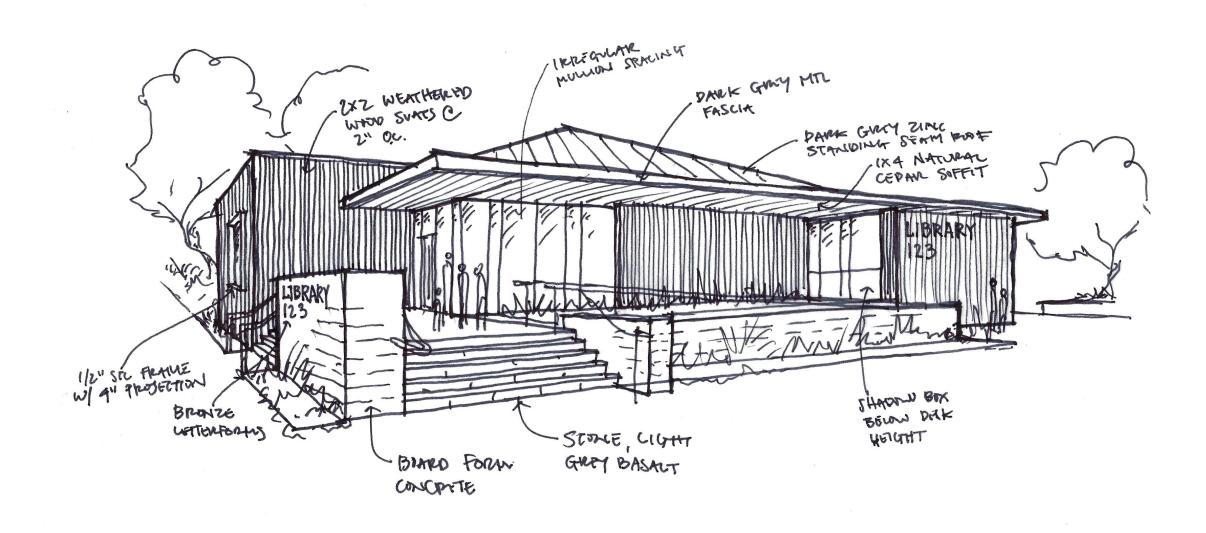


Figure 16: Rendering - View into Children's Room









BUDGET & SCHEDULE SUMMARY

The estimate for the Harrison and Park Branch has two main elements, hard costs and soft costs. The hard costs make up a bulk of the estimated budget and consist of the materials and labor required to build the project. The soft costs consist of other project costs including consultant fees, furniture, contingencies, and other costs.

In addition to the hard and soft costs for each project, we have broken out several budget alternates for items them we have identified as premium improvements that will add significant value to the design and performance of each building, however are not required by code or critical functional considerations. We have estimated these separately and provided a separate project budget for the project if these alternates are included.

The Harrison Memorial Library hard costs, excluding alternates, are estimated at \$10,262,344. The Park Branch Library hard costs, excluding alternates are estimated at \$15,122,497. While the square footage of each branch is comparable, the Park Branch is more expensive due to two factors, the underground basement space, and the significantly larger amount of site improvements. Combined, total hard costs for the project, not including alternates, are \$25,384,840. This includes \$3,452,965 in escalation costs, to account for anticipated year over year increases in the cost of materials and labor at a rate of 6% per year, which is in line with historical data for annual construction cost increases for the region. If the project was built today, the cost of the project would be \$21,931,875. The project as estimated assumes a relatively high quality of materials, products, and labor, including custom elements throughout the design of each branch.

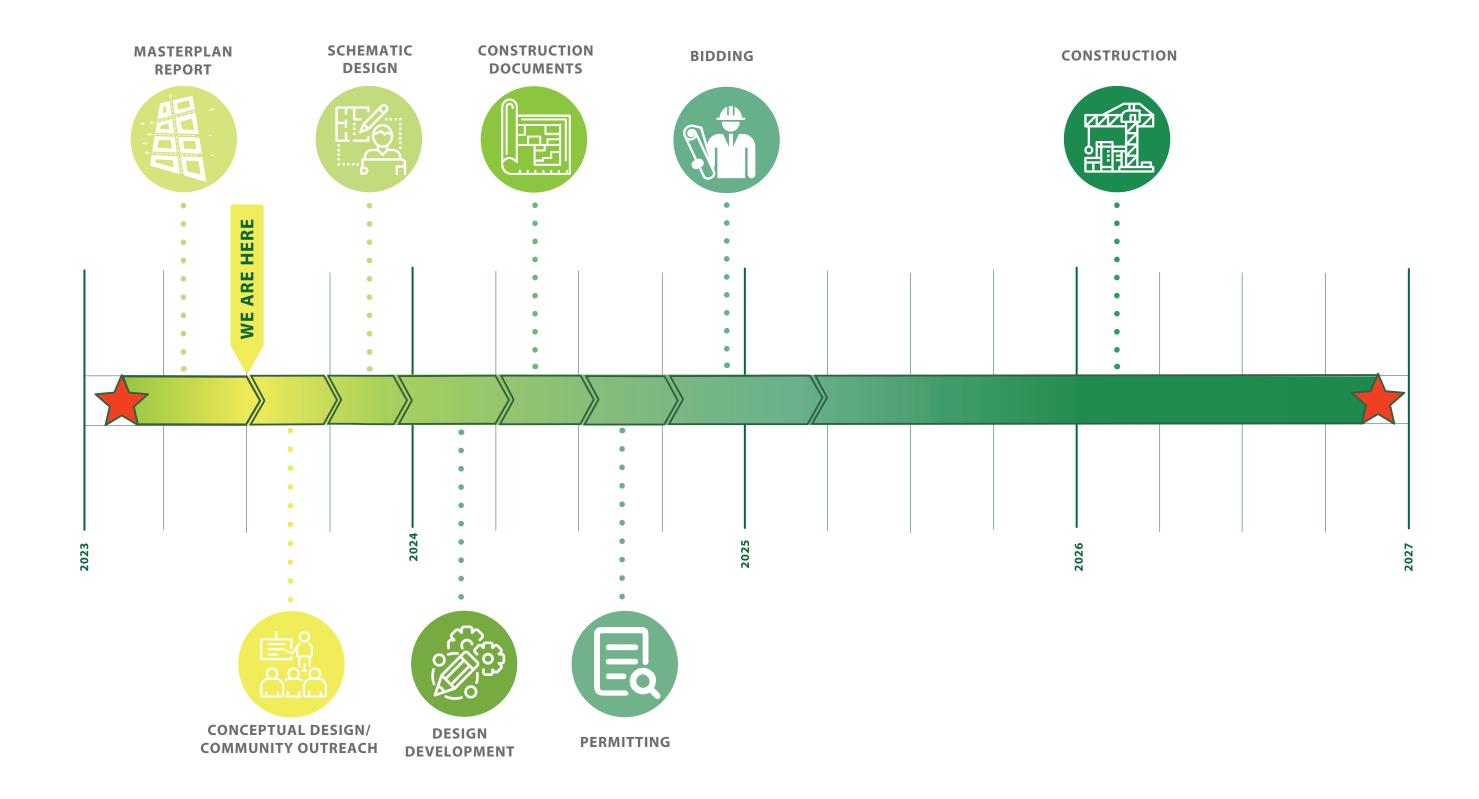
Soft costs are detailed in this section of the report, and cumulatively add another \$7,491,921 to the project, bringing the total estimated project cost to \$35,415,245. Soft costs add approximately 40% to the hard costs, and represent approximately 21% of the total project cost. This is in line for industry standards for a public bid project of this scale and type, located in this region.

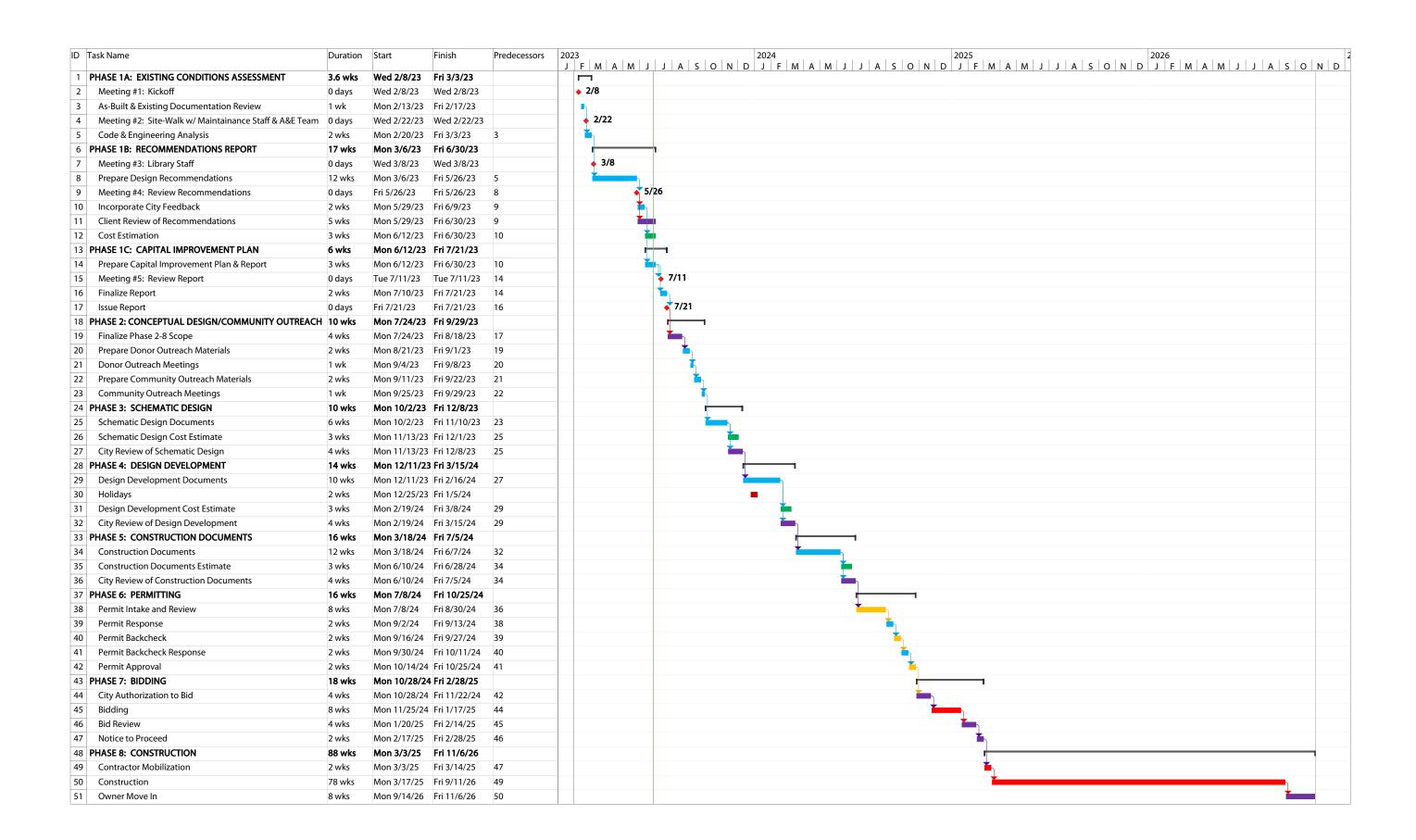
The alternates identified for each project include the custom glass and wrought iron elevator and Venetian plaster at the Harrison Memorial Library, photovoltaic systems at both branches, and the cost of escalation if the branches were built in two phases, with the Park branch not starting construction until the Harrison branch was completed. These alternates increase the estimated hard costs by \$4,567,704. With soft costs included, the total estimated budget is increased to \$41,489,332.

The schedule is structured to prioritize momentum, and minimize the impacts of cost escalation due to an extended duration in the planning phase. Design and engineering follows directly after the conclusion of this master plan phase, and the project begins construction in 2025 and is competed by the end of 2026.

While the budget and schedule will be refined in future phases, this estimate provides a basis for future decision making regarding project scope, schedule, and budget.

5-YEAR CAPITAL IMPROVEMENT PLAN





PROJECT BUDGET

BASE BUDGET

Construction Cost, base	\$25,384,840
10% Construction Contingency	\$2,538,484
13% Architecture & Engineering Fees	\$3,300,029
Furniture @ \$65/sf	\$905,190
Building Permit Fees	\$294,259
Planning Permit Fees	\$16,546
Utility Fees Allowance @ 2% of Construction	\$507,697
Testing & Inspections @ 0.75% of Construction	\$190,386
Telecom @ \$18/sf	\$250,668
AV & Security @ \$18/sf	\$250,668
Survey Allowance	\$50,000.00
Hazardous Material Consultant Allowance	\$30,000.00
Construction Management @ 3% of Construction	\$761,545
Public Art @ 1% of Construction	\$253,848
Temporary Library Lease	-
Temporary Library Build Out	-
Temporary Library Soft Costs @ 40% of Build Out	-
10% Soft Costs Contingency	\$681,083.71
Total Soft Costs	\$7,491,921
Total Project Budget	\$35,415,245

*Excluded: Legal, financing, moving, storage, internal staff costs

BUDGET WITH ALTERNATES

Construction Cost, base + Alternates	\$29,952,544
10% Construction Contingency	\$2,995,254
<u> </u>	. ,,
13% Architecture & Engineering Fees	\$3,893,831
Furniture @ \$65/sf	\$905,190
Building Permit Fees	\$346,331
Planning Permit Fees	\$16,546
Utility Fees Allowance @ 2% of Construction	\$599,051
Testing & Inspections @ 0.75% of Construction	\$224,644
Telecom @ \$18/sf	\$250,668
AV & Security @ \$18/sf	\$250,668
Survey Allowance	\$50,000.00
Hazardous Material Consultant Allowance	\$30,000.00
Construction Management @ 3% of Construction	\$898,576
Public Art @ 1% of Construction	\$299,525
Temporary Library Lease	-
Temporary Library Build Out	-
Temporary Library Soft Costs @ 40% of Build Out	-
10% Soft Costs Contingency	\$776,503.04
Total Soft Costs	\$8,541,533
Total Project Budget	\$41,489,332

COST ESTIMATE

CARMEL LIBRARIES

Harrison Memorial Library & Park Branch Library Carmel, California

Conceptual Cost Plan

Report Prepared for:

Jayson Architecture

July 10, 2023

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CARMEL LIBRARIES

Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

BASIS OF ESTIMATE

REFERENCE DOCUMENTATION

This Construction Cost Estimate was produced from the following documentation. Design and engineering changes occurring subsequent to the issue of these documents have not been incorporated in this estimate.

Document

- Conceptual design package

PROJECT DESCRIPTION

The scope of work includes the renovation of two libraries in Carmel, California

BASIS FOR PRICING

This estimate reflects the fair construction value for this project and should not be construed as a prediction of low bid. Prices are based on local prevailing wage construction costs at the time the estimate was prepared. Pricing assumes a procurement process with competitive bidding for all subtrades of the construction work, which is to mean a minimum of 3 bids for all subcontractors and materials/equipment suppliers. If fewer bids are solicited or received, prices can be expected to be higher.

Subcontractor's markups have been included in each line item unit price. Markups cover the cost of field overhead, home office overhead and subcontractor's profit. Subcontractor's markups typically range from 15% to 25% of the unit price depending on market conditions.

General Contractor's/Construction Manager's Site Requirement costs are calculated on a percentage basis. General Contractor's/Construction Manager's Jobsite Management costs are also calculated on a percentage basis.

Site Requirements 5.0%
Jobsite Management 12.0%
Phasing 0.0%

General Contractor's/Construction Manager's overhead and fees are based on a percentage of the total direct costs plus general conditions, and covers the contractor's bond, insurance, site office overheads and profit.

 Insurance & Bonding
 2.5%

 Fee (G.C. Profit)
 6.0%

Unless identified otherwise, the cost of such items as overtime, shift premiums and construction phasing are not included in the line item unit price.

This cost estimate is based on standard industry practice, professional experience and knowledge of the local construction market costs. TBD Consultants have no control over the material and labor costs, contractors methods of establishing prices or the market and bidding conditions at the time of bid. Therefore TBD Consultants do not guarantee that the bids received will not vary from this cost estimate.

CONTINGENCY

Design Contingency 17.5%

The Design Contingency is carried to cover scope that lacks definition and scope that is *anticipated* to be added to the Design. As the Design becomes more complete the Design Contingency will reduce.

Construction Contingency 0.0% Excluded - Carried separately by Owner

The Construction Contingency is carried to cover the unforeseen during construction execution and Risks that do not currently have mitigation plans. As Risks are mitigated, Construction Contingency can be reduce, but should not be eliminated.

Bidding Contingency Excluded

Given the volatile bidding market, we recommend a review fo bidding conditions prior to bid date. Depending on prevailing conditions, it may be prudent to include a bidding contingency

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IV. BUDGET AND SCHEDULE

CARMEL LIBRARIES

Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

BASIS OF ESTIMATE

Owner's Contingency Excluded

An owners contingency has not been included in this construction cost estimate, but it is advised that the owner carry additional contingency to cover scope change, bidding conditions, claims and delays.

CONSTRUCTION SCHEDULE

Harrison Memorial

Construction Start Date Mar-2025 Construction End Date Sep-2026 Mid-date of Construction Dec-2025 Construction Duration 17 months 29 months Escalation End Date Construction Mid-Point **Escalation Period**

Park Branch Memorial

Construction Start Date Mar-2025 Construction End Date Sep-2026 Mid-date of Construction Dec-2025 Construction Duration 17 months **Escalation Period** 29 months **Escalation End Date** Construction Mid-Point

ESCALATION

Escalation is included to the anticipated midpoint of construction, Dec 2025.

Escalation: 15.74% Harrision Memorial

		Annual Rate	Project Rate	Cummulative	
	2023	6.00%	3.50%	3.50%	June to December
	2024	6.00%	6.00%	9.71%	Full year
	2025	5.50%	5.50%	15.74%	Full year
	2026	5.00%	0.00%		N/A
	2027	5.00%			
Escalation:		15.74%	Park Branch		
		Annual Rate	Project Rate	Cummulative	
	2023	6.00%	3.50%	3.50%	June to December
	2024	6.00%	6.00%	9.71%	Full year
	2025	5.50%	5.50%	15.74%	Full year
	2026	5.00%	0.00%		N/A
	2027	5.00%	0.00%		N/A

This calculation does not account for adverse bidding conditions and a separate Bid Contingency should be carried if there are limited qualified bidders or if a market research study indicates.

N/A N/A

EXCLUSIONS

- Land acquisition, feasibility studies, financing costs and all other owner costs

- All professional fees and insurance
- Site surveys, existing condition reports and soils investigation costs
- Items identified in the design as Not In Contract [NIC]
- Hazardous materials investigations and abatement
- Utility company back charges, including work required off-site and utilities rates
- Work to City streets and sidewalks
- Items defined as Vendor / Owner supplied and Vendor / Owner installed
- Permits
- Owners contingency
- Overtime, 2nd shift and lost productivity premiums
- Design Fees
- PG & E Fees
- Sustainability Fees (LEED)
- Furniture, fixtures and equipment (FF&E)

CARMEL LIBRARIES

Harrison Memorial Library & Park Branch Library Carmel, California

HARRISON MEMORIAL LIBRARY

PARK BRANCH LIBRARY



Conceptual Cost Plan July 10, 2023

Including building footprint

Including building footprint

KEY CRITERIA

AREA TABULATION

	ENCLOSED AREAS	COVERED AREAS	GROSS AREA	COMMENTS
HARRISON MEMORIAL LIBRARY				
Basement	1,976 SF			
Main Level	4,240 SF			
Mezzanine	1,250 SF			
Subtotal	7,466 SF	0 SF		
HARRISON MEMORIAL LIBRARY - GSF Incl. 5	0% Covered Area		7,466 GSF	

	ENCLOSED AREAS	COVERED AREAS	GROSS AREA	COMMENT
PARK BRANCH LIBRARY				
Basement	1,850 SF			
Level 01	6,460 SF			
Subtotal	8,310 SF	0 SF		
PARK BRANCH LIBRARY - GSF	Incl. 50% Covered Area		8,310 GSF	

9,700 SF

22,600 SF

Page 2 of 23 Page 3 of 23 CARMEL LIBRARIES

Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

EXECUTIVE SUMMARY

	GSF	\$ / SF	TOTAL	COMMENTS
HARRISON MEMORIAL LIBRARY				
BUILDING	7,466 GSF	\$1,139.24	8,505,533	
SITEWORK	•	. ,	360,879	
SUBTOTAL			8,866,411	today's dollars
ESCALATION TO DECEMBER 2025			1,395,932	
TOTAL CONSTRUCTION COST, HARRISON MEMOR	IAL LIBRARY		10,262,344	_
PARK BRANCH LIBRARY				
BUILDING	8,310 GSF	\$1,249.91	10,386,761	
SITEWORK			2,678,703	<u></u>
SUBTOTAL			13,065,463	today's dollars
ESCALATION TO DECEMBER 2025			2,057,033	<u></u>
TOTAL CONSTRUCTION COST, PARK BRANCH LIBI	RARY		15,122,497	
CARMEL LIBRARIES - HARRISON MEMORIAL + PAF	RK BRANCH LIBRARY			
CONSTRUCTION COSTS - BOTH LIBRARIES			21,931,875	today's dollars
ESCALATION TO DECEMBER 2025			3,452,965	
TOTAL CONSTRUCTION COST	15,776 GSF	\$1,609.08	25,384,840	escalated
AL TERNATES			4 507 704	
ALTERNATES			4,567,704	
HARRISON MEMORIAL ALTERNATE #1 - GLASS	ELEVATOR		2,010,270	
HARRISON MEMORIAL ALTERNATE #2 VENETI	AN PLASTER		474,098	
HARRISON MEMORIAL ALTERNATE #3 PV			208,900	
			055 405	
PARK BRANCH ALTERNATE #4 PV			655,185	

Harrison Memorial Library & Park Branch Library

CARMEL LIBRARIES

Carmel, California



Conceptual Cost Plan July 10, 2023

GSF: 7,466

HARRISON MEMORIAL LIBRARY - UNIFORMAT II SUMMARY

	SECTION	%	TOTAL	\$ / SF	COMMENTS
	10 FOUNDATIONS	4.4%	261,050	\$34.97	
	20 BASEMENT CONSTRUCTION				
Α	SUBSTRUCTURE	4.4%	261,050	\$34.97	
	10 SUPERSTRUCTURE	7.0%	417,004	\$55.85	
	20 EXTERIOR ENCLOSURE	7.5%	447,530	\$59.94	
	30 ROOFING	2.1%	123,905	\$16.60	
В	SHELL	16.6%	988,439	\$132.39	
	10 INTERIOR CONSTRUCTION	17.9%	1,064,464	\$142.57	
	20 STAIRS	1.7%	100,000	\$13.39	
	30 INTERIOR FINISHES	11.5%	681,892	\$91.33	
С	INTERIORS	31.1%	1,846,356	\$247.30	
	10 CONVEYING	7.7%	456.600	\$61.16	
	20 PLUMBING	3.0%	178,040	\$23.85	
	30 HVAC	7.0%	416,994	\$55.85	
	40 FIRE PROTECTION	0.6%	37,330	\$5.00	
	50 ELECTRICAL	12.7%	753,643	\$100.94	
D	SERVICES	31.0%	1,842,607	\$246.80	
	10 EQUIPMENT	5.3%	314,000	\$42.06	
	20 FURNISHINGS	0.3%	19,900	\$2.67	
Е	EQUIPMENT + FURNISHINGS	5.6%	333,900	\$44.72	
	10 SPECIAL CONSTRUCTION				
	20 SELECTIVE BUILDING DEMOLITION	7.2%	429,922	\$57.58	
F	SPECIAL CONSTRUCTION + DEMOLITION	7.2%	429,922	\$57.58	
	10 SITE PREPARATION	0.2%	9,940	\$1.33	
	20 SITE IMPROVEMENTS	2.0%	117,475	\$15.73	
	30 SITE MECHANICAL UTILITIES	1.3%	74,525	\$9.98	
	40 SITE ELECTRICAL UTILITIES	0.7%	40,000	\$5.36	
	50 OTHER SITE CONSTRUCTION				
G	BUILDING SITEWORK	4.1%	241,940	\$32.41	
DIR	ECT COSTS		5,944,214	\$796.17	
	SITE REQUIREMENTS	5.0%	297,211	\$39.81	
	JOBSITE MANAGEMENT	12.0%	713,306	\$95.54	
	PHASING				none
	ESTIMATE SUB-TOTAL		6,954,730	\$931.52	
	INSURANCE + BONDING	2.5%	173,868	\$23.29	
	FEE	6.0%	417,284	\$55.89	
	ESTIMATE SUB-TOTAL		7,545,882	\$1,010.70	
	DESIGN CONTINGENCY	17.5%	1,320,529	\$176.87	
	CONSTRUCTION CONTINGENCY	.7.070	.,020,020	ψσ.σ <i>i</i>	excluded, by Owner
	ESTIMATE SUB-TOTAL		8,866,411	\$1,187.57	
	ESCALATION	15.7%	1,395,932	\$186.97	
ES	TIMATE TOTAL		10,262,344	\$1,374.54	total add-ons 72.64%

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IV. BUDGET AND SCHEDULE

CARMEL LIBRARIES

Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

ARRISC	ON MEMORIAL LIBRARY - ESTIMATE DETAIL				GSF	: 7,466
	F DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
2	<u>Foundations</u>					
3						basement: grid 5, from A to F; ma
ŀ	Strengthen existing wall foundation	90	LF			level grid 7 from A to E.5
5	Remove and replace slab on grade as needed	270	SF	150.00	40,500	
6	Strengthen existing footing, incl required	90	LF	850.00	76,500	
	excavation, dowel into ex etc					
7	Allow for shoring and bracing as needed	1	LS	25,000.00	25,000	
)	Patch waterproofing as required New elevator pit	1 1	LS EA	6,750.00 65.000.00	6,750 65,000	
0	Infill recessed basement slab	98	SF	50.00	4,900	staff restroom
1	Miscellaneous foundations work allowance	4,240	SF	10.00	42,400	Starr restroom
2	Dryrot and termite repairs	.,2.0	<u> </u>	10.00	.2, .00	excluded
3	,					
4						
5	FOUNDATIONS				261,050	\$34.97 / SF
6					,	
7	Basement Construction					See Foundations
В						
9						
0	BASEMENT CONSTRUCTION					
1						
2	Superstructure					
3	<u></u>					
4	Wood construction					
!5	New plywood shear wall at existing walls,	1,815	SF	15.00	27,225	assume single layer plywood
	installed from inside, incl hold-downs					
6	Strengthen existing floor framing, main level	1,075	SF	20.00	21,500	local history room
7	New floor framing & deck	1,547	SF	80.00	123,760	
!8	Strengthen existing balcony at history room	140	SF	100.00	14,000	
29 30	Allow for miscellaneous bracing and shoring Elevator steel	7,466 1	SF LS	3.50	26,131	allawanaa
31	Elevator overrun	<u>'</u> 1	LS	35,000.00 35,000.00	35,000 35,000	allowance allowance
32	Miscellaneous demolition for structural work	7,466	SF	8.00	59,728	anowanie
33	Miscellaneous structural work, connections etc	7,466	SF.	10.00	74,660	
34	Dryrot and termite repairs	,			,	excluded
5	•					
6						
7	SUPERSTRUCTURE				417,004	\$55.85 / SF
8						
0						
9	Exterior Enclosure					
	Exterior Enclosure					
0	Exterior wall infill	1,000	SF	200.00	200,000	
0	Exterior wall infill New thermally broken steel windows	1,000 40	SF SF	200.00 215.00	200,000 8,600	
0 1 2	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance,					
0 1 2 3	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance	40 95	SF SF	215.00 225.00	8,600 21,375	
-0 -1 -2 -3 -4	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront	40 95 76	SF SF SF	215.00 225.00 225.00	8,600 21,375 17,100	
0 1 2 3 4 5	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single	40 95 76 1	SF SF SF EA	215.00 225.00 225.00 8,500.00	8,600 21,375 17,100 8,500	
10 11 12 13 14	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at	40 95 76	SF SF SF	215.00 225.00 225.00	8,600 21,375 17,100	allow for minimal cut and patch
3 4 5	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single	40 95 76 1	SF SF SF EA	215.00 225.00 225.00 8,500.00	8,600 21,375 17,100 8,500	allow for minimal cut and patch
0 1 2 3 4 5 6	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed	40 95 76 1 1,211	SF SF SF EA SF	215.00 225.00 225.00 8,500.00 25.00	8,600 21,375 17,100 8,500 30,275	<u>.</u>
0 1 2 3 4 5 6 7 8 9	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed Existing façade to remain Paint exterior soffit, joists and beams Elevator overrun, solid wall	40 95 76 1 1,211 1 1,140 216	SF SF EA SF LS SF SF	215.00 225.00 225.00 8,500.00 25.00 15,000.00 7.00 200.00	8,600 21,375 17,100 8,500 30,275 15,000 7,980 43,200	<u>.</u>
0 1 2 3 4 5 6 7 8 9	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed Existing façade to remain Paint exterior soffit, joists and beams Elevator overrun, solid wall Extend balcony railing to code height	40 95 76 1 1,211 1 1,140 216 61	SF SF EA SF LS SF SF LF	215.00 225.00 225.00 8,500.00 25.00 15,000.00 7.00 200.00 500.00	8,600 21,375 17,100 8,500 30,275 15,000 7,980 43,200 30,500	<u>.</u>
0 -1 -2 -3 -4 -5 -6 -7 -8 -8 -9 -9 -0 -1	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed Existing façade to remain Paint exterior soffit, joists and beams Elevator overrun, solid wall	40 95 76 1 1,211 1 1,140 216	SF SF EA SF LS SF SF	215.00 225.00 225.00 8,500.00 25.00 15,000.00 7.00 200.00	8,600 21,375 17,100 8,500 30,275 15,000 7,980 43,200	<u>.</u>
0 1 2 3 4 5 6 7 8 9 0 1	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed Existing façade to remain Paint exterior soffit, joists and beams Elevator overrun, solid wall Extend balcony railing to code height	40 95 76 1 1,211 1 1,140 216 61	SF SF EA SF LS SF SF LF	215.00 225.00 225.00 8,500.00 25.00 15,000.00 7.00 200.00 500.00	8,600 21,375 17,100 8,500 30,275 15,000 7,980 43,200 30,500	<u>.</u>
100 111 122 133 144 155 166 177 188 199 190 191 191 191 191 191 191 191 191	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed Existing façade to remain Paint exterior soffit, joists and beams Elevator overrun, solid wall Extend balcony railing to code height Miscellaneous exterior wall improvements	40 95 76 1 1,211 1 1,140 216 61	SF SF EA SF LS SF SF LF	215.00 225.00 225.00 8,500.00 25.00 15,000.00 7.00 200.00 500.00	8,600 21,375 17,100 8,500 30,275 15,000 7,980 43,200 30,500 65,000	allow for minimal cut and patch
0 1 2 3 4 5 6 6 7 8 9 0 1 1 2 3 3	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed Existing façade to remain Paint exterior soffit, joists and beams Elevator overrun, solid wall Extend balcony railing to code height	40 95 76 1 1,211 1 1,140 216 61	SF SF EA SF LS SF SF LF	215.00 225.00 225.00 8,500.00 25.00 15,000.00 7.00 200.00 500.00	8,600 21,375 17,100 8,500 30,275 15,000 7,980 43,200 30,500	<u>.</u>
00 11 12 13 13 14 15 16 16 17 18 18 19 19 19 19 19 19 19 19 19 19 19 19 19	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed Existing façade to remain Paint exterior soffit, joists and beams Elevator overrun, solid wall Extend balcony railing to code height Miscellaneous exterior wall improvements	40 95 76 1 1,211 1 1,140 216 61	SF SF EA SF LS SF SF LF	215.00 225.00 225.00 8,500.00 25.00 15,000.00 7.00 200.00 500.00	8,600 21,375 17,100 8,500 30,275 15,000 7,980 43,200 30,500 65,000	allow for minimal cut and patch
0 1 2 3 4 5 6 7 8 9 0 1 1 2 3 3 4 5 6	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed Existing façade to remain Paint exterior soffit, joists and beams Elevator overrun, solid wall Extend balcony railing to code height Miscellaneous exterior wall improvements	40 95 76 1 1,211 1 1,140 216 61	SF SF EA SF LS SF SF LF	215.00 225.00 225.00 8,500.00 25.00 15,000.00 7.00 200.00 500.00	8,600 21,375 17,100 8,500 30,275 15,000 7,980 43,200 30,500 65,000	allow for minimal cut and patch
0 1 1 2 3 4 5 6 7 8 9 9 0 1 1 2 3 4 5 5 6 7 7 8 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed Existing façade to remain Paint exterior soffit, joists and beams Elevator overrun, solid wall Extend balcony railing to code height Miscellaneous exterior wall improvements EXTERIOR ENCLOSURE	40 95 76 1 1,211 1 1,140 216 61 1	SF SF EA SF LS SF LF LS	215.00 225.00 2,5.00 8,500.00 25.00 15,000.00 7.00 200.00 500.00 65,000.00	8,600 21,375 17,100 8,500 30,275 15,000 7,980 43,200 30,500 65,000	allow for minimal cut and patch
100 111 112 113 114 115 116 117 118 118 119 119 119 119 119 119 119 119	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed Existing façade to remain Paint exterior soffit, joists and beams Elevator overrun, solid wall Extend balcony railing to code height Miscellaneous exterior wall improvements EXTERIOR ENCLOSURE Roofing New automated skylight	40 95 76 1 1,211 1 1,140 216 61 1	SF SF EA SF LS SF LF LS SF SF	215.00 225.00 225.00 8,500.00 25.00 15,000.00 7.00 200.00 500.00 65,000.00	8,600 21,375 17,100 8,500 30,275 15,000 7,980 43,200 30,500 65,000 447,530	allow for minimal cut and patch
39 40 41 41 42 43 44 45 46 47 48 49 50 50 50 50 56 56 57 58 59 50	Exterior wall infill New thermally broken steel windows New thermally broken steel storefront entrance, main level entrance New thermally broken steel storefront Exterior entrance doors, single Allow for miscellaneous façade modifications at new windows and wall infills, as needed Existing façade to remain Paint exterior soffit, joists and beams Elevator overrun, solid wall Extend balcony railing to code height Miscellaneous exterior wall improvements EXTERIOR ENCLOSURE	40 95 76 1 1,211 1 1,140 216 61 1	SF SF EA SF LS SF LF LS	215.00 225.00 2,5.00 8,500.00 25.00 15,000.00 7.00 200.00 500.00 65,000.00	8,600 21,375 17,100 8,500 30,275 15,000 7,980 43,200 30,500 65,000	allow for minimal cut and patch

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CARMEL LIBRARIES Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

GSF: 7,466

HARRISON MEMORIAL LIBRARY - ESTIMATE DETAIL

EF MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
32	Existing roofing - patch as needed	5,180	SF	3.50	18,130	allowance
3	New copper gutters and downspouts	401	LF	75.00	30,075	
64						
65						
36	ROOFING				123,905	\$16.60 / SF
67						
68	Interior Construction					
69						
70	Interior partitions					
71	New partitions	2,740	SF	32.00	87,680	
72	New furring walls	1,500	SF	18.00	27,000	
73	New furring walls at perimeter wall - remove and replace, protect existing to remain as needed	7,910	SF	10.00	79,100	allowance
74						
75	Interior glazing					
76	Frameless glass partitions	476	SF	150.00	71,400	
77	Frameless glass partitions, frosted	160	SF	165.00	26,400	
78	Custom fire rated glass elevator shaft					incl with Conveying
79	Allow for misc glazing, clearstory etc	1	LS	25,000.00	25,000	
80	Interior de que					
81 82	Interior doors	A	⊏^	5,500.00	22,000	
83	Frameless glass doors, single Frameless glass doors, double	<u>4</u> 1	EA PR	8,500.00	8,500	
84	Frameless glass doors, double Frameless glass doors, frosted, single	1	EA	6,000.00	6,000	
85	HM doors and frames, single	3	EA	4,000.00	12,000	
86	HM doors and frames, double	3	PR	6,000.00	18,000	
87	Wood doors and frames, single	2	EA	5,500.00	11,000	
88	Specialty hardware allowance	1	LS	10,000.00	10,000	
89	, , ,			-,	-,	
90	Millwork					
91	Built in solid walnut shelving	225	LF	1,250.00	281,250	
92	Solid walnut lower cabs with quartz countertop	34	LF	1,300.00	44,200	
93	Plam upper and lower cabs with quartz countertop	12	LF	1,350.00	16,200	sink separate in plumbing
94	Vanity	8	LF	550.00	4,400	
	New fireplace mantle base, custom carved				,	
95	stone	9	LF	750.00	6,750	
96	Circulation desk with quartz countertop & solid redwood lower cabs	10	LF	2,500.00	25,000	
97	Solid wood bench with walnut boards	15	LF	950.00	14,250	
98						
99	Specialties					
100	Code signage	7,466	SF	0.50	3,733	
101	Directional signage & graphics	7,466	SF	1.50	11,199	
102	Corner guards and bumpers	7,466	SF	0.75	5,600	
103 104	Toilet partitions and accessories	2	⊏^	E 400 00	10.000	
104	Standard ADA	2	EA EA	5,400.00 5,800.00	10,800 11,600	
106	Staff restroom	1	EA	3,000.00	3,000	
107	Decorative custom wrought iron @ exterior of elevator hoist way	1		0,000.00	5,000	incl with Conveying
108	42" guardrail, custom bronze finish	39	LF	850.00	33,150	
109	Operable partitions				,	none
110	• •					
111	Miscellaneous					
112	Misc metals	7,466	SF	5.00	37,330	
113	Allowance for custom wrought iron detailing	1	LS	25,000.00	25,000	
114	Rough blocking, backing	7,466	SF	1.50	11,199	
115	Miscellaneous rough and finish carpentry	7,466	SF	3.00	22,398	
116	Sealing and caulking	7,466	SF	2.50	18,665	
117	Interior development allowance	7,466	SF	10.00	74,660	
118						
			· <u></u>			·
119						

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Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

GSF: 7,466

HARRISON MEMORIAL LIBRARY - ESTIMATE DETAIL

DEE N	AE DESCRIPTION	OHANTITY	HoM	LINIT DATE	TOTAL	COMMENTS
	MF DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
122	<u>Stairs</u>					
123	Name and at a land and a section for any					
124	New wood stairs, landing and custom bronze					
405	handrails	2	ΕΛ	20,000,00	00.000	FIAN besiebt difference
125	Half flights between split levels	3	EA	30,000.00	90,000	5'4" height difference
126	Short flight at lobby	1	EA	10,000.00	10,000	
127						
128						
129	STAIRS				100,000	\$13.39 / SF
130						
131	Interior Finishes					
132						
133	Floor finishes					per schedule
134	Wood flooring	920	SF	55.00	50,600	
135	Tile	323	SF	50.00	16,150	
136	Carpet tile	5,020	SF	10.00	50,200	
137	Polish existing concrete slab	97	SF	10.00	970	
138						
139	Bases	·			·	per schedule
140	Rubber	1,041	LF	5.00	5,205	
141	1x4 solid redwood base	733	LF	25.00	18,325	
142	Tile	120	LF	50.00	6,000	
143						
144	Wall finishes					per schedule
145	Paint, level 3	4,300	SF	2.50	10,750	
146	Paint, level 4	1,840	SF	5.50	10,120	
147	Paint, level 5	5,570	SF	7.00	38,990	see alts for venetian plaster
148	Tile	1,250	SF	50.00	62,500	•
149		-,			,	
150	Ceiling finishes					per rcps
151	Painted gypsum board	323	SF	30.00	9,690	FF-
152	Painted gypsum board ilo plaster	290	SF	30.00	8,700	see alts for venetian plaster
153	Exposed ceiling, paint	166	SF	3.50	581	eee alle fer veriouali piaete.
154	ACT, 2x4	964	SF	25.00	24,100	
155	T&G redwood soffit	1,297	SF	105.00	136,185	
156	T&G redwood some	353	SF	105.00	37,065	
150	Strip paint off existing redwood beams, joists,	333	J.	103.00	37,003	
157		2,940	SF	45.00	132,300	
158	decking, sandblast, refinish, stain and seal					
159	Miscellaneous					
159						
160	Allowance for enhanced finishes, soffits and	7,466	SF	3.50	26,131	
	bulkheads	· ·	05			
161	Additional wood trims, banding etc	7,466	SF	5.00	37,330	
162						
163						
164	INTERIOR FINISHES				681,892	\$91.33 / SF
165						
166	Conveying					
167	<u>sonroying</u>					
168	Passanger elevator, eah ungrade	1	EA	300,000.00	300,000	3 stops
	Passenger elevator, cab upgrade	1,080	0.5	4.45.00		ο σιομο
169 170	Bronze cladding to elevator shaft	1,000	SF	145.00	156,600	
171						
172	CONVEYING				456,600	\$61.16 / SF
173						
174	Plumbing					
175						
176	Trade demolition					
177	Safe-off and demo plumbing fixture	5	EA	550.00	2,750	
178	Remove water heater, save for reinstall	<u>3</u>	EA	1,840.00	1,840	
179	Demo existing gas and cap	1	EA	2,500.00	2,500	
180	Misc. plumbing demo	7,466	SF	2.00	14,932	
181	wise. plumbing demo	1,400	ΟF	2.00	17,332	
182	Plumbing fixtures					
183	Water closet	4	⊏^	3 300 00	12 200	
183	water closet	4	EA	3,300.00	13,200	

3,000.00

3,000

CARMEL LIBRARIES
Harrison Memorial Library & Park Branch Library
Carmel, California



Conceptual Cost Plan July 10, 2023

GSF: 7,466

HARRISON MEMORIAL LIBRARY - ESTIMATE DETAIL

EF M	IF DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
85	Lavatory	5	EA	2,875.00	14,375	
86	Drinking fountain	1	EA	6,500.00	6,500	
87	Breakroom sink	1	EA	3,000.00	3,000	
88	Mop sink	1	EA	4,000.00	4,000	
89				<u> </u>	•	
90	Sanitary waste, vent and service pipework					
	Rough-in and final connect sanitary waste, vent					
91	and service pipe, fittings, supports, valves,	13	EA	4,500.00	58,500	
01	specialties and insulation	10	LA	4,000.00	50,500	
92	3" floor drain	3	EA	2 975 00	0.605	
				2,875.00	8,625	
93	Condensate drainage serving FCU's	4	EA	1,650.00	6,600	
94	Condensate drainage serving split AC units	2	EA	1,650.00	3,300	
95	Connect to existing domestic water, 2"	1	EA	1,005.00	1,005	
96	Connect to existing sanitary 4"	1	EA	1,310.00	1,310	
97	Video scope sewer line	1	EA	3,000.00	3,000	
98						
99	Plumbing equipment					
:00	2" water meter (by water district)	1	EA	820.00	820	Install/connect only
:01	Reinstall existing electric water heater	1	EA	2,960.00	2,960	*
102	Expansion tank, 20 gallon	1	EA	850.00	850	
	HW recirc pump, 1/2 hp, incl. aquastat and			550.00	000	
:03		1	EA	2,000.00	2,000	
10.4	timer					
104	D (1)					
.05	Roof drainage		NA			No work anticipated
:06						
:07	Natural gas		NA			No work anticipated
.08						
:09	Misc. plumbing requirements					
	Site supervision, documentation, detailing,					
10	coordination, testing, startup, chlorination,	1	LS	15,506.70	15,507	
	,,,,			,	,	
	seismic bracing fireston, GC's and GR's					
111	seismic bracing, firestop, GC's and GR's	7.466	SF	1.00	7.466	
111	seismic bracing, firestop, GC's and GR's LEED premium	7,466	SF	1.00	7,466	
12	LEED premium	7,466	SF	1.00	·	
	0, 1,	7,466	SF	1.00	7,466 178,040	\$23.85 / SF
12	LEED premium	7,466	SF	1.00	·	\$23.85 / SF
112	LEED premium PLUMBING	7,466	SF	1.00	·	\$23.85 / SF
112 113 114 115	LEED premium	7,466	SF	1.00	·	\$23.85 / SF
112 113 114 115	LEED premium PLUMBING HVAC	7,466	SF	1.00	·	\$23.85 / SF
112 113 114 115 116 117	PLUMBING HVAC Trade demo	7,466			178,040	\$23.85 / SF
112 113 114 115 116 117	PLUMBING HVAC Trade demo Demo mechanical unit	1	EA	1,500.00	1,500	\$23.85 / SF
113 114 115 116 117 118	PLUMBING HVAC Trade demo	7,466 1 7,466			178,040	\$23.85 / SF
112 113 114 115 116 117 118 119	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo	1	EA	1,500.00	1,500	\$23.85 / SF
112 113 114 115 116 117 118 119 120	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment	1 7,466	EA SF	1,500.00 3.00	1,500 22,398	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121	LEED premium PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton	1 7,466	EA SF	1,500.00 3.00	1,500 22,398 24,000	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121 122 122	LEED premium PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter	1 7,466	EA SF EA EA	1,500.00 3.00 12,000.00 13,000.00	1,500 22,398 24,000 13,000	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121 122 122 123	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2	1 7,466 2 1 1	EA SF EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00	1,500 22,398 24,000 13,000 2,500	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121 122 122	LEED premium PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter	1 7,466	EA SF EA EA	1,500.00 3.00 12,000.00 13,000.00	1,500 22,398 24,000 13,000	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121 122 122 123	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2	1 7,466 2 1 1	EA SF EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00	1,500 22,398 24,000 13,000 2,500	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121 122 123 124	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3	1 7,466 2 1 1 2	EA SF EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00	1,500 22,398 24,000 13,000 2,500 11,000	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton	1 7,466 2 1 1 2 4 2	EA SF EA EA EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 8,800.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3	1 7,466 2 1 1 2 4	EA SF EA EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton FCU-3, -4, 2 ton	1 7,466 2 1 1 2 4 2 2	EA SF EA EA EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 8,800.00 4,400.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton	1 7,466 2 1 1 2 4 2	EA SF EA EA EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 8,800.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework	1 7,466 2 1 1 2 4 2 2 2	EA SF EA EA EA EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 8,800.00 4,400.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550	\$23.85 / SF
112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton FCU-3, -4, 2 ton	1 7,466 2 1 1 2 4 2 2	EA SF EA EA EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 8,800.00 4,400.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800	\$23.85 / SF
1112 1113 1114 1115 1116 1116 1117 1117 1117 1117 1117	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1, -2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework Air distribution	1 7,466 2 1 1 2 4 2 2 2 2 810 7,466	EA SF EA EA EA EA EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 8,800.00 4,400.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550	\$23.85 / SF
1112 1113 1114 1115 1116 1116 1117 1118 1119 1119 1119 1119 1119 1119	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework	1 7,466 2 1 1 2 4 2 2 2	EA SF EA EA EA EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 8,800.00 4,400.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550	\$23.85 / SF
1112 1113 1114 1115 1116 1116 1117 1117 1117 1117 1117	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1, -2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework Air distribution	1 7,466 2 1 1 2 4 2 2 2 2 810 7,466	EA SF EA EA EA EA EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 8,800.00 4,400.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550	\$23.85 / SF
1112 1113 1114 1115 1116 1116 1117 1118 1119 1119 1119 1119 1119 1119	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1, -2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework Air distribution	1 7,466 2 1 1 2 4 2 2 2 2 810 7,466	EA SF EA EA EA EA EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 8,800.00 4,400.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550	\$23.85 / SF
1112 1113 1114 1115 1116 1116 1117 1117 1117 1117 1117	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework Air distribution Diffusers, registers, grilles, OA louvers	1 7,466 2 1 1 2 4 2 2 810 7,466	EA SF EA EA EA EA EA EA SF	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 8,800.00 4,400.00 55.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550 104,524 37,330	\$23.85 / SF
1112 1113 1114 1115 1116 1116 1116 1117 1117 1118 1119 1119 1119 1119 1119	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework Air distribution Diffusers, registers, grilles, OA louvers Temperature controls Provide BMS serving new HVAC and plumbing	1 7,466 2 1 1 2 4 2 2 2 2 810 7,466	EA SF EA EA EA EA EA EA EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 8,800.00 4,400.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550	\$23.85 / SF
1112 113 114 115 116 117 117 118 119 120 120 121 122 122 123 124 125 126 127 128 129 130 131 133 133 134 137 137 137 137 137 137 137 137	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1, -2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework Air distribution Diffusers, registers, grilles, OA louvers Temperature controls Provide BMS serving new HVAC and plumbing equipment	1 7,466 2 1 1 2 4 2 2 810 7,466 7,466	EA SF EA EA EA EA EA SF SF SF	1,500.00 3.00 12,000.00 13,000.00 2,500.00 8,75.00 8,800.00 4,400.00 14.00 5.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550 104,524 37,330	\$23.85 / SF
1112 1113 1114 1115 1116 1116 1117 1117 1117 1118 1119 1119 1119 1119	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework Air distribution Diffusers, registers, grilles, OA louvers Temperature controls Provide BMS serving new HVAC and plumbing equipment Window actuator	1 7,466 2 1 1 2 4 2 2 2 2 810 7,466 7,466	EA SF EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 8,7500.00 8,7500.00 4,400.00 55.00 14.00 5.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550 104,524 37,330 37,330	\$23.85 / SF
1112 1113 1114 1115 1116 1116 1116 1117 1117 1118 1119 1119 1119 1119 1119	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework Air distribution Diffusers, registers, grilles, OA louvers Temperature controls Provide BMS serving new HVAC and plumbing equipment Window actuator Automated skylight	1 7,466 2 1 1 2 4 2 2 810 7,466 7,466 1 1	EA SF EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 4,400.00 55.00 14.00 5.00 3,000.00 5,000.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550 104,524 37,330 37,330 37,000 5,000	\$23.85 / SF
1112 113 114 115 116 117 117 117 118 119 119 119 119 119 119 119 119 119	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework Air distribution Diffusers, registers, grilles, OA louvers Temperature controls Provide BMS serving new HVAC and plumbing equipment Window actuator	1 7,466 2 1 1 2 4 2 2 2 2 810 7,466 7,466	EA SF EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 8,7500.00 8,7500.00 4,400.00 55.00 14.00 5.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550 104,524 37,330 37,330	\$23.85 / SF
1112 1113 1114 1115 1116 1116 1117 1117 1118 1119 1119 1119 1119 1119	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework Air distribution Diffusers, registers, grilles, OA louvers Temperature controls Provide BMS serving new HVAC and plumbing equipment Window actuator Automated skylight Weather station	1 7,466 2 1 1 2 4 2 2 810 7,466 7,466 1 1 1	EA SF EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 4,400.00 55.00 14.00 5.00 5.00 3,000.00 5,500.00 2,500.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550 104,524 37,330 3,000 5,000 2,500	\$23.85 / SF
1112 113 114 115 116 117 117 117 118 119 119 119 119 119 119 119 119 119	PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo HVAC equipment HP-1, -2, single zone, VRF, 4 ton HP-3, 4 ton with 2port adapter HD-1, relief hood, WRH 2x2x2 IT cooling, split AC units, 1.5 ton EF-1 thru -4, panasonic FV-30VQ3 FCU-1,-2, 4 ton FCU-3, -4, 2 ton Piping distribution, refrigerant pipework Air distribution Diffusers, registers, grilles, OA louvers Temperature controls Provide BMS serving new HVAC and plumbing equipment Window actuator Automated skylight	1 7,466 2 1 1 2 4 2 2 810 7,466 7,466 1 1	EA SF EA	1,500.00 3.00 12,000.00 13,000.00 2,500.00 5,500.00 875.00 4,400.00 55.00 14.00 5.00 3,000.00 5,000.00	1,500 22,398 24,000 13,000 2,500 11,000 3,500 17,600 8,800 44,550 104,524 37,330 37,330 37,000 5,000	\$23.85 / SF

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IV. BUDGET AND SCHEDULE

Harrison Memorial Library & Park Branch Library
Carmel, California



Conceptual Cost Plan July 10, 2023

armel, C	California	inos par	surrants			•	
IARRISON MEMORIAL LIBRARY - ESTIMATE DETAIL					GSF : 7,466		
REF MF	F DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS	
245	Site supervision, documentation, detailing, coordination, testing, startup, seismic bracing, firestop, GC's and GR's	1	LS	52,397.17	52,397		
246 247	LEED premium	7,466	SF	2.50	18,665		
248	HVAC				416,994	\$55.85 / SF	
249							
250	Fire Protection						
251							
252	Misc. rework and reconfiguration of existing fire sprinkler system to accommodate new layout	7,466	SF	5.00	37,330		
253	opinimo oyotom to accommodate non layout						
254	FIRE PROTECTION				37,330	\$5.00 / SF	
255					,		
256 256	Electrical						
257	<u> </u>						
258	Trade demolition						
	Safe-off, disconnect and remove existing						
259	panels, raceways and cabling	7,466	SF	4.00	29,864		
260	, , ,						
261	Power distribution						
262	Main service panel, 400A, 208/120V, 3P, 4W	1	EA	19,200.00	19,200		
263	Elevator feeder, 150A	1	EA	15,625.00	15,625		
264	PV interconnection breaker, 80A	1	EA	2,200.00	2,200		
265	Distribution panel, 150A, 120/208V, 42 circuit	1	EA	6,750.00	6,750		
266	Distribution panel, 60A, 120/208V, 42 circuit, server room, shunt trip	1	EA	3,300.00	3,300		
267	Distribution panel, 100A, 120/208V, 42 circuit,	1	EA	4 500 00	4 500		
207	HVAC and DHW equip	ı	EA	4,500.00	4,500		
268	Misc. feeders, conduit and cabling	7,466	SF	5.00	37,330		
269							
270	Machine and equipment power						
271	HP-1, -2, power connection	2	EA	3,500.00	7,000		
272	HP-3, power connection	1	EA	3,500.00	3,500		
273	Split AC power connections	2	EA	2,875.00	5,750		
274	Exhaust fan power connections	4	EA	950.00	3,800		
275	FCU power connections	4	EA	1,225.00	4,900		
276	DHW recirc pump	11	EA	1,200.00	1,200		
277	Disconnect/reconnect electric water heater	1	EA	2,875.00	2,875		
278	0						
279	Convenience power						
280	Duplex receptacles, conduit and wiring,	7,466	SF	8.00	59,728		
201	terminations Floor boxes	11	⊏^	485.00			
281 282	FIGUI DUXES	11	EA	400.00	5,335		
	Lighting and controls						
283 284	Lighting and controls Misc. lighting, lighting controls, conduit and	7,466	SF	45.00	335,970		
	wiring	.,			,0.0		
285							
286	Telecom and security						
287	Misc. tele data outlets, WAP outlets, raceways and structured cabling	7,466	SF	9.00	67,194		
288	Data in floor boxes	11	EA	485.00	5,335		
289	Data drops 2 mezz, 4 main, 3 basement	9	EA	525.00	4,725		
90	Security allowance	7,466	SF	3.00	22,398		
291							
292	Fire alarm						
293	Misc. rework/reconfiguration of existing FA	7,466	SF	3.00	22,398		
	system	7,400	OF-	5.00	22,330		
294							
295	Photovoltaics						
296	PV array, wiring, raceways, inverter, and panel	22	KW			see alternates	
	supports, 22kw						

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CARMEL LIBRARIES Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

GSF: 7,466

HARRISON MEMORIAL LIBRARY - ESTIMATE DETAIL

REF M	IF DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
	Site supervision, documentation, detailing,					
299	coordination, testing, startup, seismic bracing,	1	LS	64,101.30	64,101	
	firestop, GC's and GR's					
300	LEED premium	7,466	SF	2.50	18,665	
301						
302	ELECTRICAL				753,643	\$100.94 / SF
303						
304	Equipment					
305						
306	56" tall shelving solid redwood end panels &	120	LF	2,000.00	240,000	
300	canopies, stacks	120	LF	2,000.00	240,000	
307	56" tall shelving with custom wood doors & bronze	19	LF	3,500.00	66,500	
	screens, stacks	10		0,000.00	00,000	
308						
309	Projection screen, allow	1	EA	7,500.00	7,500	
310	Automated material handling system, AMHS					excluded
311	Book theft detection					excluded
312	Book drops					excluded
313 314						
	FOURTHE				044.000	,
315	EQUIPMENT				314,000	\$42.06 / SF
316						
317	<u>Furnishings</u>				·	
318					·	
319	Window blinds at new glazing	211	SF	28.00	5,908	
320	Blinds to interior glazing	636	SF	22.00	13,992	
321	Blinds at skylights					assume none
322						
323						
020						60.07.405
324	FURNISHINGS				19,900	\$2.67 / SF
	FURNISHINGS				19,900	\$2.67 / SF
324					19,900	no work
324 325	FURNISHINGS Special Construction				19,900	
324 325 326					19,900	
324 325 326 327 328	Special Construction				19,900	
324 325 326 327 328 329					19,900	
324 325 326 327 328 329 330	Special Construction SPECIAL CONSTRUCTION				19,900	
324 325 326 327 328 329 330 331	Special Construction				19,900	
324 325 326 327 328 329 330 331 332	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition				19,900	
324 325 326 327 328 329 330 331 332 333	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition	00		50.00		
324 325 326 327 328 329 330 331 332	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition	99	LF	50.00	4,950	
324 325 326 327 328 329 330 331 332 333 333	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition	99	LF SF	50.00 55.00		
324 325 326 327 328 329 330 331 332 333 334 335	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun	160	SF	55.00	4,950 8,800	
324 325 326 327 328 329 330 331 332 333 334 335 336	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement	160 254	SF SF	55.00 5.50	4,950 8,800 1,397	
324 325 326 327 328 329 330 331 332 333 334 335 336 337	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows	160 254 35	SF SF LF	55.00 5.50 50.00	4,950 8,800 1,397 1,750	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo casework	160 254 35 242	SF SF LF LF	55.00 5.50 50.00 25.00	4,950 8,800 1,397 1,750 6,050	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo casework Demo interior windows	160 254 35 242 29	SF SF LF LF LF	55.00 5.50 50.00 25.00 30.00	4,950 8,800 1,397 1,750 6,050 870	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo casework Demo interior windows Demo partitions	160 254 35 242 29 510	SF SF LF LF LF LF	55.00 5.50 50.00 25.00 30.00 30.00	4,950 8,800 1,397 1,750 6,050 870 15,300	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341	SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf	160 254 35 242 29 510 23	SF SF LF LF LF LF EA	55.00 5.50 50.00 25.00 30.00 30.00 250.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo ext windows Demo interior windows Demo partitions Demo doors, per leaf Demo stairs	160 254 35 242 29 510 23 7	SF SF LF LF LF EA EA	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns	160 254 35 242 29 510 23 7	SF SF LF LF LF EA EA	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000	
324 325 326 327 328 339 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344	SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment	160 254 35 242 29 510 23 7 16	SF SF LF LF LF EA EA EA	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 8,500.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000 8,500	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns	160 254 35 242 29 510 23 7	SF SF LF LF LF EA EA	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories	160 254 35 242 29 510 23 7 16 1	SF SF LF LF LF EA EA EA SF	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 8,500.00 30.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000 8,500 3,600	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345	SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories Demo existing floor for new elev & demo lobby	160 254 35 242 29 510 23 7 16	SF SF LF LF LF EA EA EA	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 8,500.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000 8,500	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories Demo existing floor for new elev & demo lobby floor	160 254 35 242 29 510 23 7 16 1 120	SF SF LF LF LF LF EA EA EA SF SF	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 8,500.00 30.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000 8,500 3,600	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo ext windows Demo ext windows Demo assework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories Demo existing floor for new elev & demo lobby floor Demo stacks	160 254 35 242 29 510 23 7 16 1 120 701	SF LF LF LF LF EA EA EA SF SF	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 8,500.00 30.00 55.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000 8,500 3,600 38,555 8,855	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories Demo existing floor for new elev & demo lobby floor Demo stacks Demo fireplace mantle base	160 254 35 242 29 510 23 7 16 1 120 701 253 2	SF LF LF LF LF EA EA SF SF LF EA	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 8,500.00 30.00 55.00 35.00 1,000.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000 8,500 3,600 38,555 8,855 2,000	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories Demo existing floor for new elev & demo lobby floor Demo stacks Demo fireplace mantle base Demo glass partitions	160 254 35 242 29 510 23 7 16 1 120 701 253 2 17	SF SF LF LF LF LF EA EA EA EA EA FA LF	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 30.00 55.00 35.00 1,000.00 30.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000 8,500 3,600 38,555 8,855 2,000 510	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories Demo existing floor for new elev & demo lobby floor Demo stacks Demo glass partitions Demo glass partitions Demo metal guardrail	160 254 35 242 29 510 23 7 16 1 120 701 253 2 17 25	SF SF LF LF LF EA EA EA EA EA LF	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 30.00 55.00 35.00 1,000.00 30.00 45.00	4,950 8,800 1,397 1,750 6,050 870 17,500 24,000 8,500 3,600 38,555 8,855 2,000 510 1,125	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351	Special Construction SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo concrete pavement Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories Demo existing floor for new elev & demo lobby floor Demo stacks Demo fireplace mantle base Demo glass partitions Demo metal guardrail Demo archway above	160 254 35 242 29 510 23 7 16 1 120 701 253 2 17 25 11	SF SF LF LF LF LF EA EA EA EA LF	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 30.00 55.00 30.00 1,000.00 30.00 45.00 30.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 24,000 8,500 3,600 38,555 8,855 2,000 510 1,125 330	
324 325 326 327 328 329 330 331 332 333 333 334 335 336 337 340 341 342 343 344 345 346 347 348 349 350 351 352	SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo ext windows Demo ext windows Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories Demo existing floor for new elev & demo lobby floor Demo stacks Demo glass partitions Demo metal guardrail Demo archway above Demo mezz floor and slab edge	160 254 35 242 29 510 23 7 16 1 120 701 253 2 17 25 11 1,020	SF SF LF LF LF EA EA EA EA LF LF LF LF LF EA EA EA SF	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 30.00 55.00 30.00 45.00 30.00 55.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000 8,500 3,600 38,555 8,855 2,000 510 1,125 330 56,100	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348	SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo ext windows Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories Demo existing floor for new elev & demo lobby floor Demo stacks Demo glass partitions Demo metal guardrail Demo archway above Demo mezz floor and slab edge Demo all interior finishes, remove paint, fixtures	160 254 35 242 29 510 23 7 16 1 120 701 253 2 17 25 11	SF SF LF LF LF LF EA EA EA EA LF	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 30.00 55.00 30.00 1,000.00 30.00 45.00 30.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 24,000 8,500 3,600 38,555 8,855 2,000 510 1,125 330	
324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 351 352 353 353 353 353 353 353 353	SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo ext windows Demo ext windows Demo jartitions Demo doors, per leaf Demo stairs Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories Demo existing floor for new elev & demo lobby floor Demo stacks Demo fireplace mantle base Demo metal guardrail Demo mezz floor and slab edge Demo mezz floor and slab edge Demo all interior finishes, remove paint, fixtures etc	160 254 35 242 29 510 23 7 16 1 120 701 253 2 17 25 11 1,020 7,466	SF SF LF LF LF LF EA EA EA SF SF LF EA LF LF SF SF	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 8,500.00 30.00 55.00 30.00 45.00 30.00 55.00 1,000.00 30.00 45.00 31.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000 8,500 3,600 38,555 8,855 2,000 510 1,125 330 56,100 89,592	
324 325 326 327 328 329 330 331 332 333 333 334 335 336 337 343 341 342 343 344 345 346 347 348 349 350 351 352	SPECIAL CONSTRUCTION Selective Building Demolition Building demolition Demo exterior walls Demo roof structure for skylights & elev overrun Demo ext windows Demo ext windows Demo casework Demo interior windows Demo partitions Demo doors, per leaf Demo stairs Demo columns Demo dumbwaiter, shaft & equipment Demo restroom fixtures, finishes, accessories Demo existing floor for new elev & demo lobby floor Demo stacks Demo glass partitions Demo metal guardrail Demo archway above Demo mezz floor and slab edge Demo all interior finishes, remove paint, fixtures	160 254 35 242 29 510 23 7 16 1 120 701 253 2 17 25 11 1,020	SF SF LF LF LF EA EA EA EA LF LF LF LF LF EA EA EA SF	55.00 5.50 50.00 25.00 30.00 30.00 250.00 2,500.00 1,500.00 30.00 55.00 30.00 45.00 30.00 55.00	4,950 8,800 1,397 1,750 6,050 870 15,300 5,750 17,500 24,000 8,500 3,600 38,555 8,855 2,000 510 1,125 330 56,100	

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supports, 22kw

Misc. electrical requirements

297

298

Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

GSF: 7,466

HARRISON MEMORIAL LIBRARY - ESTIMATE DETAIL

EF MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
57	- Deckii Hon	e,e/AMIIII	_ JOIN	OMIT MATE	IOIAL	OOMMENTO
58	Hazardous materials abatement					excluded
59						
60						
61	SELECTIVE BUILDING DEMOLITION				429,922	\$57.58 / SF
62						
33	Site Preparation					
64						
35	Demo tree	1	EA	1,500.00	1,500	
36 37	Demo planting area	10 5,460	SF SF	25.00 1.50	250 8,190	
58	Miscellaneous site demo, protection	5,460	SF	1.50	0,190	
69						
	OITE PREPARATION				0.040	44.00 / 05
70	SITE PREPARATION				9,940	\$1.33 / SF
71						
72	Site Improvements					
73	Navy acceptible stone ways 0 to die o	100	C.F.	205.00	20.500	
74	New accessible stone ramp & landing	100	SF	295.00	29,500	
75 76	New stone stairs New bronze railings to above	15 60	SF LF	295.00 850.00	4,425 51,000	
77	New sidewalks	120	SF	30.00	3,600	
78	Allow for new curbs	30	LF	55.00	1,650	
79	Miscellaneous sitework allowance - minimal	5,460	SF	5.00	27,300	
80	Wilderica diction and and area	0,100	OI .	0.00	21,000	
81						
32	SITE IMPROVEMENTS				117,475	\$15.73 / SF
83					·	
84	Site Mechanical Utilities					
85						
86	Connect to existing utilities within 5' of building	1	LS	15,000.00	15,000	
87						
88	Site drainage improvements allowance	1	LS	25,000.00	25,000	
89						
90	Scope existing sewer lateral to determine viablility	1	LS	2,650.00	2,650	
	of reuse			· · · · · · · · · · · · · · · · · · ·		
91	Replace sewer later to POC in street	75	LF	175.00	13,125	
92 93	Sawcut/patch roadway	150	SF	65.00	9,750	
94	Trench plating, traffic control Connect to existing	<u>1</u> 1	LS LS	5,000.00 4,000.00	5,000 4,000	
94	Connect to existing	ı	LO	4,000.00	4,000	
96	CITE MECHANICAL LITH ITIES				74 505	\$0.00.10E
	SITE MECHANICAL UTILITIES				74,525	\$9.98 / SF
97	Ov. El. () I Hered					
98	Site Electrical Utilities					
99	Site newer distribution allowers	1	LS	15,000.00	15.000	
)())1	Site power distribution allowance	I	Lõ	15,000.00	15,000	
)2	Site lighting improvements allowance	1	LS	25,000.00	25,000	
03	one lighting improvements allowance	I	LO	20,000.00	20,000	
	CITE EL COTDICAL LITH TIES				40.000	\$E 00 / 0F
04	SITE ELECTRICAL UTILITIES				40,000	\$5.36 / SF
05						
06	Other Site Construction					no work
07						
)8						
09	OTHER SITE CONSTRUCTION					

CARMEL LIBRARIES Harrison Memorial Library & Park Branch Library Carmel, California

tbd consultants

Conceptual Cost Plan July 10, 2023

SECTION	%	TOTAL	\$ / SF	COMMENTS
				COMMENTS
10 FOUNDATIONS	2.1%	184,800	\$24.75	
20 BASEMENT CONSTRUCTION	3.2%	284,000	\$38.04	
SUBSTRUCTURE	5.4%	468,800	\$62.79	
10 SUPERSTRUCTURE	6.3%	548,415	\$73.45	
20 EXTERIOR ENCLOSURE	13.9%	1,218,295	\$163.18	
30 ROOFING	6.6%	578,740	\$77.52	
3 SHELL	26.8%	2,345,450	\$314.15	
10 INTERIOR CONSTRUCTION	10.4%	911,008	\$122.02	
20 STAIRS	0.5%	45,000	\$6.03	
30 INTERIOR FINISHES	9.2%	806,970	\$108.09	
INTERIORS	20.1%	1,762,978	\$236.13	
10 CONVEYING				
20 PLUMBING	2.6%	231,282	\$30.98	
30 HVAC	6.0%	522,596	\$70.00	
40 FIRE PROTECTION	0.5%	41,550	\$5.57	
50 ELECTRICAL	10.9%	958,471	\$128.38	
SERVICES	20.0%	1,753,898	\$234.92	
10 EQUIPMENT	1.9%	166,750	\$22.33	
20 FURNISHINGS	0.5%	45,000	\$6.03	
EQUIPMENT + FURNISHINGS	2.4%	211,750	\$28.36	
10 SPECIAL CONSTRUCTION				
20 SELECTIVE BUILDING DEMOLITION	4.8%	420,610	\$56.34	
SPECIAL CONSTRUCTION + DEMOLITION	4.8%	420,610	\$56.34	
10 SITE PREPARATION	2.1%	183,165	\$24.53	
20 SITE IMPROVEMENTS	17.1%	1,498,164	\$200.66	
30 SITE MECHANICAL UTILITIES	0.9%	74,525	\$9.98	
40 SITE ELECTRICAL UTILITIES	0.5%	40,000	\$5.36	
50 OTHER SITE CONSTRUCTION				
BUILDING SITEWORK	20.5%	1,795,854	\$240.54	
RECT COSTS		8,759,339	\$1,173.23	
SITE REQUIREMENTS	5.0%	437,967	\$58.66	
JOBSITE MANAGEMENT	12.0%	1,051,121	\$140.79	
PHASING				
ESTIMATE SUB-TOTAL		10,248,427	\$1,372.68	
INSURANCE + BONDING	2.5%	256,211	\$34.32	
FEE	6.0%	614,906	\$82.36	
ESTIMATE SUB-TOTAL		11,119,543	\$1,489.36	
DESIGN CONTINGENCY	17.5%	1,945,920	\$260.64	
CONSTRUCTION CONTINGENCY	17.570	1,070,020	Ψ200.04	excluded, by Owner
ESTIMATE SUB-TOTAL		13,065,463	\$1,750.00	
ESCALATION	15.7%	2,057,033	\$275.52	
STIMATE TOTAL		15,122,497	\$2,025.52	total add-ons 72.64%

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IV. BUDGET AND SCHEDULE

Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

PARK BRANCH LIBRARY - ESTIMATE DETAIL

EF MF 1	F DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
	<u>Foundations</u>					
3	Allow for footings (strengthened or new) at new					
1	concrete shearwalls	74	LF	850.00	62,900	
5	Allow for shoring and bracing as needed	1	LS	20,000.00	20,000	
3	Patch waterproofing as required	1 6 460	LS SF	5,000.00	5,000	
7 8	Miscellaneous foundations work allowance Dryrot and termite repairs	6,460	SF	15.00	96,900	excluded
9	Diylot and torrino ropano					O/Cidada
0						
1	FOUNDATIONS				184,800	\$22.24 / SF
2	Basement Construction					
3 4	Basement Construction					
	Basement - abandon in place partial basement,	050	C.E.	250.00	242 500	and the section of the section of
5	seal and infill slabs and walls where needed	850	SF	250.00	212,500	pending further detailing
6	New basement wall infill, concrete, with xypex	144	SF	125.00	18,000	
7	Allow for excavation, shoring & support, etc as	1	LS	10,000.00	10,000	
B	needed for new basement walls New interior concrete walls with xypex	348	SF	125.00	43,500	
9	Dryrot and termite repairs	340	Oi	125.00	43,300	excluded
0						
1						
2	BASEMENT CONSTRUCTION				284,000	\$34.18 / SF
23						
24 25	<u>Superstructure</u>					
:6	New concrete shear walls	888	SF	125.00	111,000	
7	New concrete walls exterior at stairs	696	SF	125.00	87,000	
!8	New steel beams	48	LF	500.00	24,000	
29	New steel column	1	EA	6,000.00	6,000	
30	Miscellaneous structural steel	1	LS	15,000.00	15,000	
31	Allowance for structure at exit stairs	203	SF	65.00	13,195	
32 33	New roof structure at gable roof extension Infill floor at shaft	1,748 124	SF SF	65.00 100.00	113,620 12,400	
34	Interface with existing, protect	8,310	SF	5.00	41,550	
	Miscellaneous structural work, shoring/bracing,	,				
35	connections etc	8,310	SF	15.00	124,650	
36	Dryrot and termite repairs					excluded
37 38						
9	SUPERSTRUCTURE				548,415	\$65.99 / SF
0	SOFERSTRUCTURE				340,413	ψ03.33 / OI
1	Exterior Enclosure					
12						
13	New aluminum wall panel over existing exterior	230	SF	90.00	20,700	
	walls to match storefront	420	SF	95.00	39,900	
14	New western red cedar rainscreen New western red cedar over existing exterior					
15	walls	750	SF	95.00	71,250	
16	New western red cedar at new walls	2,041	SF	95.00	193,895	·
	New wall infills	1,301	SF	60.00	78,060	excl finishes
17	Exterior glozing, O'bt				400.005	
.9	Exterior glazing, 9'ht	561	SE.	225 NN		
8 9 0	Thermally broken steel storefront	561 248	SF SF	225.00 215.00	126,225 53.320	
8 9 0 1		561 248 333	SF SF SF	225.00 215.00 375.00	53,320 124,875	
8 9 0 1 2	Thermally broken steel storefront Thermally broken steel storefront window	248	SF	215.00	53,320	
8 9 0 1 2 3	Thermally broken steel storefront Thermally broken steel storefront window Nanawall operable storefront	248 333	SF SF	215.00 375.00	53,320 124,875	
8 9 0 1 2 3	Thermally broken steel storefront Thermally broken steel storefront window Nanawall operable storefront 1/2" painted aluminum surrounds at windows Exterior doors, frames and hardware	248 333	SF SF	215.00 375.00	53,320 124,875	
8 9 0 1 1 2 3 4 5 5 6 6	Thermally broken steel storefront Thermally broken steel storefront window Nanawall operable storefront 1/2" painted aluminum surrounds at windows Exterior doors, frames and hardware Glass entry exterior doors, single	248 333 5	SF SF EA	215.00 375.00 5,500.00 8,500.00	53,320 124,875 27,500	
8	Thermally broken steel storefront Thermally broken steel storefront window Nanawall operable storefront 1/2" painted aluminum surrounds at windows Exterior doors, frames and hardware	248 333 5	SF SF EA	215.00 375.00 5,500.00	53,320 124,875 27,500	

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CARMEL LIBRARIES Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

PARK BRANCH LIBRARY - ESTIMATE DETAIL

Specialty hardware allowance	PARK BR	ANCH LIBRARY - ESTIMATE DETAIL				GSF	: 8,310
Specialty hardware allowance 1	REF MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
Solida		Specialty hardware allowance	1				
Entry canopy - wood soffit, pvc roofing, structural support	61	1 /			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	-,	
support	62	Soffit - t&g western red cedar	962	SF	95.00	91,390	
Support Supp	63	Entry canopy - wood soffit, pvc roofing, structural	900	QE.	180.00	162 000	
Mech enclosure 7 ht fall wester red cedar, support 266 SF 170.00 45,220						*	
Allow for miscellaneous façade modifications at 4,583 SF 20,00 91,660 alow for mismal out at new windows and wall infills, as needed 4,583 SF 20,00 91,660 alow for mismal out at new windows and wall infills, as needed 4,583 SF 20,00 91,660 alow for mismal out at new windows and wall infills, as needed 4,583 SF 20,00 91,660 alow for mismal out at new windows and wall infills, as needed 4,583 SF 20,00 383,640 Framing 72 Framely 73 New zons standing seam roofing over existing 6,394 SF 60,00 383,640 Framing 74 New pure roofing over new/existing framing 665 SF 28,00 19,180 Framely 75 New automated skylight 123 SF 500,00 11,500 Framely 75 New automated skylight 123 SF 500,00 11,500 Framely 75 New copper pultiers and downspouls 392 LF 75,00 22,400 Framely 75,00 Framely 75,00 Framely 75,00 Framely 75,00 Framely 75,00 Framely 75,00 Frameless glass partitions 1,344 SF 18,00 24,192 Frameless glass partitions 1,344 SF 18,00 24,192 Frameless glass partitions, with custom graphic interloyer 1 LS 10,000,00 10,000 10,000 Frameless glass partitions, with custom graphic interloyer 1 LS 10,000,00 10,000 10,000 Frameless glass partitions, with custom graphic interloyer 1 LS 10,000,00 10,0	64	<u> </u>	2	LOC	20,000.00	40,000	
support Allow for miscellaneous façade modifications at 4,583 SF 20,00 91,660 allow for mismal cut at 6,700 per withdows and wall infills, as needed EXTERIOR ENCLOSURE 1,219,295 \$144.61 / S EXTERIOR ENCLOSURE 1,219,295 \$144.61 / S Roofing New zinc standing seam roofing over existing framing 685 SF 60,00 383,640 framing faming faming 685 SF 28,00 19,160 framing 687 SF 28,00 19,160 fram	65		266	SF	170.00	45 220	
Part						.0,220	
Sex	66	· · · · · · · · · · · · · · · · · · ·	4,583	SF	20.00	91,660	allow for minimal cut and patch
Section Sect							
Roofing							
New zinc standing seam roofing over existing		EXTERIOR ENCLOSURE				1,218,295	\$146.61 / SF
Table Taming Ta							
New zinc standing seam roofing over existing		Roofing					
Taming	72	No. 100 Annual and 10					
New pix rorofing over newloxisting framing 685 SF 28.00 19.180	73		6,394	SF	60.00	383,640	
New automated skylight	7/	· ·	605	OE.	20.00	10 100	
New fixed skylight							
Misc flashing and sheetmetal, copper 7,252 SF 10,00 72,520							
New copper gutters and downspouts 392		, 0					
ROOFING							
Sep. 44 Sep.		New copper guilers and downspouls	392	LF	75.00	29,400	
ROOFING							
Interior Construction							
Interior Construction	81	ROOFING				578,740	\$69.64 / SF
Second Column Second Colum	82						
Interior partitions New partitions New partitions New partitions New furring walls New furring	83	Interior Construction					
New partitions 3,504 SF 32,00 112,128	84						
New furring walls 1,344 SF 18.00 24,192	85	Interior partitions					
New furring walls at perimeter wall - remove and replace, protect existing to remain as needed 2,532 SF 10.00 25,320 allowance	86	New partitions	3,504	SF	32.00	112,128	
replace, protect existing to remain as needed 2,532 SF	87	New furring walls	1,344	SF	18.00	24,192	
Interior glazing Frameless glass partitions, frosted 80 SF 150.00 51,300	88	• •	2,532	SF	10.00	25,320	allowance
Frameless glass partitions 342 SF	89						
Frameless glass partitions, frosted 80 SF 165.00 13,200 Frameless glass partitions, with custom graphic interlayer 170 SF 225.00 38,250 Allow for misc glazing, clearstory etc 1 LS 10,000.00 10,000 Interior doors	90	Interior glazing					
Frameless glass partitions, with custom graphic interlayer 170 SF 225.00 38,250	91	Frameless glass partitions	342	SF	150.00	51,300	
Interlayer Int	92	Frameless glass partitions, frosted	80	SF	165.00	13,200	
Interlayer	03	Frameless glass partitions, with custom graphic	170	ee.	225.00	20.250	
1	93	interlayer	170	SF	223.00	30,230	
Interior doors	94	Allow for misc glazing, clearstory etc	1	LS	10,000.00	10,000	
Frameless galss doors, single	95						
Frameless galss doors, with custom graphic interlayer, single 1	96	Interior doors					
Interlayer, single Frameless galss doors, frosted, single 1	97	Frameless galss doors, single	4	EA	5,500.00	22,000	
Interlayer, single 1	00		4				
HM doors and frames, single	50	interlayer, single	<u> </u>		7,000.00	7,000	
HM doors and frames, single	99		1	EA	6,000.00	6,000	
Wood doors and frames, single	100		1	EA		4,000	
Specialty hardware allowance 1	101	Wood doors and frames, single	8	EA	5,500.00	44,000	
Millwork Painted wood built-in shelving, 56" tall 60	102		1	LS			
Millwork Painted wood built-in shelving, 56" tall 60	103				•		
Painted wood built-in shelving 42" tall 38	104	Millwork					
Painted wood built-in shelving 42" tall 38	105	Painted wood built-in shelving, 56" tall	60	LF	1,250.00	75,000	
Solid birch countertop 12	106		38	LF			
Built-in upholstered seating with painted shelving below 37		<u> </u>					
109 Circulation desk with quartz countertop & 20 LF 2,500.00 50,000 100 Painted lower cabs with quartz countertop 23 LF 1,000.00 23,000 111 1-1/2" solid maple wood surround 123 LF 175.00 21,525 112 Vertical solid maple 1x2 wood slats at 1.5" oc with black acoustic fabric backer 32 LF 1,250.00 40,000 113 Specialties Speci	108		37	LF	1,500.00	55,500	
Painted lower cabs with quartz countertop 23	109	Circulation desk with quartz countertop &	20	LF	2,500.00	50,000	
111	110		23	IF	1 000 00	23 000	
Vertical solid maple 1x2 wood slats at 1.5" oc with black acoustic fabric backer 113 Specialties							
113 114 Specialties		Vertical solid maple 1x2 wood slats at 1.5" oc					
114 Specialties	113	Will plack acceptio labile packet					
· · · · · · · · · · · · · · · · · · ·		Specialties					
Outo signage 0,010 OF 0.00 4,100			8 310	SE	0.50	A 155	
		Jour signage	0,510	UF	0.30	7,100	_

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Harrison Memorial Library & Park Branch Library
Carmel, California



Conceptual Cost Plan July 10, 2023

DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
Directional signage & graphics Corner guards and bumpers	8,310 8,310	SF SF	1.50 0.75	12,465 6,233	
Single restroom accessories	4	EA	3,000.00	12,000	
Operable interior partitions	7	LA	3,000.00	12,000	none
Operable interior partitions					
Miscellaneous					
Misc metals	8,310	SF	3.50	29,085	
Rough blocking, backing	8,310	SF	1.50	12,465	
Miscellaneous rough and finish carpentry	8,310	SF	6.50	54,015	
Sealing and caulking	8,310	SF	2.50	20,775	
Interior development allowance	8,310	SF	10.00	83,100	
•	•			•	
INTERIOR CONSTRUCTION				911,008	\$109.63 / SF
INTERIOR CONCINCOTION				011,000	4.00.00 7 0.
Ctains					
Stairs					
Exit stairs, metal prefab, railings	1	FLT	45,000.00	45,000	
LAIL SLAITS, THELAI PIETAD, TAIIITIYS	ı	FEI	40,000.00	45,000	
OTAIDO				45.000	
STAIRS				45,000	\$5.42 / SF
Interior Finishes					per schedule
Floor finishes					
Xypex surface treatment to existing concrete	1,604	SF	5.00	8,020	
slab	.,001	<u></u>	5.50	0,020	
Wood floors, children's, including warmboard	528	SF	75.00	39,600	warmboard with hvac
subfloor					
Wood floors	713	SF	55.00	39,215	
Carpet tile	3,539	SF	10.00	35,390	
Plywood underlayer at carpet in childrens'	2,072	SF	10.00	20,720	
Tile	284	SF	50.00	14,200	
Polish existing concrete slab	224	SF	10.00	2,240	
None	527	SF			
Bases					
Rubber	288	LF	5.00	1,440	
1x4 solid redwood base	483	LF	25.00	12,075	
Tile	136	LF	50.00	6,800	
THE	130	LI	30.00	0,000	
Wall finishes					
Paint, level 3	1,340	SF	2.50	3,350	
Paint, level 4	1,314	SF	5.50	7,227	
Paint, level 5	2,138	SF	7.00	14,966	
Tile	1,200	SF	50.00	60,000	
Xypex surface treatment to existing concrete					
walls	2,260	SF	5.00	11,300	
Ceiling finishes					
Painted gypsum board, level 4	284	SF	30.00	8,520	
Painted gypsum board, level 5	139	SF	35.00	4,865	
Exposed ceiling, paint	432	SF	3.50	1,512	
ACT, 2x4	1,185	SF	25.00	29,625	
1x2 solid maple acoustic wood slats at 1.5"	3,657	SF	100.00	365,700	
Xypex surface treatment, basement	1,604	SF	5.00	8,020	
Miscellaneous					
Allowance for enhanced finishes, soffits and	0.040	C.E.	F 00	44.550	
bulkheads	8,310	SF	5.00	41,550	
Additional wood trims, banding etc	8,310	SF	8.50	70,635	
. y			-	,	
INTERIOR FINISHES				806 970	\$97.11 / SF
				000,010	
INTERIOR FINI	SHES	SHES	SHES	SHES	SHES 806,970

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CARMEL LIBRARIES Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

GSF: 8,310

PARK BRANCH LIBRARY - ESTIMATE DETAIL

	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
78						
79						
80	CONVEYING					
181						
182	Plumbing					
183						
184	Trade demolition					
185	Safe-off and demo plumbing fixture	17	EA	550.00	9,350	
186	Demo existing sump pump, infill slab depression	1	EA	5,000.00	5,000	
187	Misc. plumbing demo	8,310	SF	2.00	16,620	
188	Misc. planibing demo	0,510	Ol	2.00	10,020	
189	Plumbing fixtures					
190	Plumbing fixtures Water closet	4	EA	3,300.00	13,200	
191	Lavatory	4	EA	2,875.00	11,500	
192	,	2		6,500.00	13,000	
	Drinking fountain		EA	3,000.00		
193	Breakroom sink	1	EA		3,000	
194	Mop sink (allow)	1	EA	4,000.00	4,000	
195						
196	Sanitary waste, vent and service pipework					
	Rough-in and final connect sanitary waste, vent	45		4 500 00	F.4.000	
197	and service pipe, fittings, supports, valves,	12	EA	4,500.00	54,000	
	specialties and insulation					
198	3" floor drain	10	EA	2,875.00	28,750	
199	Condensate drainage serving FCU's	4	EA	1,650.00	6,600	
200	Condensate drainage serving split AC units	2	EA	1,650.00	3,300	
201	Connect to existing domestic water, 2"	1	EA	1,005.00	1,005	
202	Connect to existing sanitary 4"	1	EA	1,310.00	1,310	
203	Video scope sewer line	1	EA	3,000.00	3,000	
204	·					
205	Plumbing equipment					
206	2" water meter (by water district)	1	EA	820.00	820	Install/connect only
207	Expansion tank, 20 gallon	1	EA	850.00	850	
	HW recirc pump, 1/2 hp, incl. aquastat and					
208	timer	1	EA	2,000.00	2,000	
	Heat pump water heater, (2) 4.5kW CO2 heat					
209	pumps, (2) 100 gallon storage		NA			See HVAC
	Domestic water storage tank, 100 Gallon,					
210	insulated	1	EA	4,500.00	4,500	
			ΕΛ.	9,396.40	0.000	
211		1				
	Sump basin, 3' dia x 12' deep	1	EA		9,396	
212	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each	1	EA	8,500.00	8,500	
212 213	Sump basin, 3' dia x 12' deep					
212 213 214	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel	1	EA EA	8,500.00	8,500	
212 213 214 215	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each	1	EA	8,500.00	8,500	No work anticipated
212 213 214 215 216	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage	1	EA EA NA	8,500.00	8,500	· · · · · · · · · · · · · · · · · · ·
212 213 214 215 216 217	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel	1	EA EA	8,500.00	8,500	No work anticipated No work anticipated
212 213 214 215 216 217 218	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas	1	EA EA NA	8,500.00	8,500	· · · · · · · · · · · · · · · · · · ·
212 213 214 215 216 217 218	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements	1	EA EA NA	8,500.00	8,500	· · · · · · · · · · · · · · · · · · ·
212 213 214 215 216 217 218 219	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing,	1 1	EA EA NA	8,500.00 3,000.00	8,500 3,000	· · · · · · · · · · · · · · · · · · ·
212 213 214 215 216 217 218 219	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination,	1	EA EA NA	8,500.00	8,500	· · · · · · · · · · · · · · · · · · ·
212 213 214 215 216 217 218 219	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing,	1 1	EA EA NA NA	8,500.00 3,000.00	8,500 3,000 20,270	· · · · · · · · · · · · · · · · · · ·
212 213 214 215 216 217 218 219	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination,	1 1	EA EA NA	8,500.00 3,000.00	8,500 3,000	· · · · · · · · · · · · · · · · · · ·
212 213 214 215 216 217 218 219 220	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's	1 1	EA EA NA NA	8,500.00 3,000.00 20,270.14	8,500 3,000 20,270	· · · · · · · · · · · · · · · · · · ·
212 213 214 215 216 217 218 219 220 221	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium	1 1	EA EA NA NA	8,500.00 3,000.00 20,270.14	8,500 3,000 20,270 8,310	No work anticipated
2112 2113 2114 2114 2115 2116 2117 2118 2119 2220 2220	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's	1 1	EA EA NA NA	8,500.00 3,000.00 20,270.14	8,500 3,000 20,270	· · · · · · · · · · · · · · · · · · ·
212 213 214 215 216 217 218 219 220 221 222 223 2224	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium PLUMBING	1 1	EA EA NA NA	8,500.00 3,000.00 20,270.14	8,500 3,000 20,270 8,310	No work anticipated
212 213 214 215 216 217 218 219 220 221 222 223 2224 2225	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium	1 1	EA EA NA NA	8,500.00 3,000.00 20,270.14	8,500 3,000 20,270 8,310	No work anticipated
212 213 214 215 216 217 218 219 220 221 222 223 2224 2225 2226	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium PLUMBING HVAC	1 1	EA EA NA NA	8,500.00 3,000.00 20,270.14	8,500 3,000 20,270 8,310	No work anticipated
2112 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium PLUMBING HVAC	1 1 8,310	EA EA NA NA LS SF	8,500.00 3,000.00 20,270.14 1.00	8,500 3,000 20,270 8,310 231,282	No work anticipated
2112 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium PLUMBING HVAC Trade demo Demo mechanical unit	1 8,310	EA EA NA NA LS SF	8,500.00 3,000.00 20,270.14 1.00	8,500 3,000 20,270 8,310 231,282	No work anticipated
212 213 2214 2215 2215 2216 2217 2228 221 2228 221 2228 221 2228 2228	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium PLUMBING HVAC	1 1 8,310	EA EA NA NA LS SF	8,500.00 3,000.00 20,270.14 1.00	8,500 3,000 20,270 8,310 231,282	No work anticipated
2112 213 214 215 2216 2217 2218 2219 222 223 224 222 223 224 225 226 227 228	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium PLUMBING HVAC Trade demo Demo mechanical unit	1 1 8,310	EA EA NA NA LS SF	8,500.00 3,000.00 20,270.14 1.00 1,500.00 3.00	8,500 3,000 20,270 8,310 231,282 3,000 24,930	No work anticipated
2112 213 214 215 2216 2217 2218 2219 222 223 224 222 223 224 225 226 227 228	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo	1 8,310	EA EA NA NA LS SF	8,500.00 3,000.00 20,270.14 1.00	8,500 3,000 20,270 8,310 231,282	No work anticipated
212 213 214 215 216 217 218 219 220 221 222 222 222 222 222 222 222 222	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium PLUMBING Trade demo Demo mechanical unit Misc. HVAC demo Safe-off, demo and remove boiler, furnace and	1 1 8,310	EA EA NA NA LS SF	8,500.00 3,000.00 20,270.14 1.00 1,500.00 3.00	8,500 3,000 20,270 8,310 231,282 3,000 24,930	No work anticipated
2112 213 2214 2215 2216 2217 2218 2219 2220 2221 2222 2223 2224 2225 2226 2227 2228 2230 2230	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo Safe-off, demo and remove boiler, furnace and AHU from basement	1 1 8,310	EA EA NA NA LS SF	8,500.00 3,000.00 20,270.14 1.00 1,500.00 3.00	8,500 3,000 20,270 8,310 231,282 3,000 24,930	No work anticipated
2112 213 2214 2215 2216 2217 2218 2219 2220 2221 2222 223 224 225 226 227 228 229 230 231 232	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo Safe-off, demo and remove boiler, furnace and AHU from basement HVAC equipment	1 1 8,310 2 8,310 1	EA EA NA LS SF EA SF LS	8,500.00 3,000.00 20,270.14 1.00 1,500.00 3.00 7,560.00	8,500 3,000 20,270 8,310 231,282 3,000 24,930 7,560	No work anticipated
211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234	Sump basin, 3' dia x 12' deep Sump pump, duplex, 2.5hp each Sump pump control panel Roof drainage Natural gas Misc. plumbing requirements Site supervision, documentation, detailing, coordination, testing, startup, chlorination, seismic bracing, firestop, GC's and GR's LEED premium PLUMBING HVAC Trade demo Demo mechanical unit Misc. HVAC demo Safe-off, demo and remove boiler, furnace and AHU from basement	1 1 8,310	EA EA NA NA LS SF	8,500.00 3,000.00 20,270.14 1.00 1,500.00 3.00	8,500 3,000 20,270 8,310 231,282 3,000 24,930	No work anticipated

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IV. BUDGET AND SCHEDULE

Harrison Memorial Library & Park Branch Library Carmel, California

tbd consultants

Conceptual Cost Plan July 10, 2023

PARK BRANCH LIBRARY - ESTIMATE DETAIL

GSF: 8,310

REF	MF DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
236	IT cooling, split AC units, 1.5 ton	2	EA	5,500.00	11,000	
237	EF-1 thru -5, panasonic FV-30VQ3	5	EA	875.00	4,375	
238	EF-6, range hood exhaust	1	EA	1,100.00	1,100	
239	FCU-1,-2, 4 ton	2	EA	8,800.00	17,600	
240	FCU-3, -4, 2 ton	2	EA	4,400.00	8,800	
241	Mixing boxes	2	EA	2,299.00	4,598	
242	Radiant pump, 2hp	1	EA	3,250.00	3,250	
243	1 1, 1			•	,	
244	Piping distribution, refrigerant pipework	900	LF	55.00	49,500	
245	7 3 11				-,	
246	Radiant pex tubing and manifolds	2,400	SF	25.00	60,000	
247	· ·	_,			55,555	
248	Air distribution	8,310	SF	11.20	93,072	
249		-,-			,-	
250	Diffusers, registers, grilles and OA louvers	8,310	SF	5.00	41,550	
251		-,			,	
252	Temperature controls					
	Provide BMS serving new HVAC and plumbing					
253	equipment	8,310	SF	5.00	41,550	
254	Window actuator	1	LS	3,000.00	3,000	
		<u>'</u> 1	LS	5,000.00		
255 256	Automated skylight Weather Station	1	LS	2,500.00	5,000 2,500	
	vveatilet Station	I	LO	2,500.00	∠,500	
257	Tasting and halonsing	60	LIDO	105.00	11 100	
258	Testing and balancing	60	HRS	185.00	11,100	
259	Mine IN/AO maniferance d					
260	Misc. HVAC requirements					
	Site supervision, documentation, detailing,					
261	coordination, testing, startup, seismic bracing,	1	LS	66,645.65	66,646	
	firestop, GC's and GR's					
262	LEED premium	8,310	SF	2.50	20,775	
263						
264	HVAC				522,596	\$62.89 / SF
265						
266	Fire Protection					
267	File Frotection					
201						
	Misc rework and reconfiguration of existing fire					
268	Misc. rework and reconfiguration of existing fire	8,310	SF	5.00	41,550	
	Misc. rework and reconfiguration of existing fire sprinkler system to accommodate new layout	8,310	SF	5.00	41,550	
269	sprinkler system to accommodate new layout	8,310	SF	5.00	,	
		8,310	SF	5.00	41,550 41,550	\$5.00 / SF
269	sprinkler system to accommodate new layout	8,310	SF	5.00	,	\$5.00 / SF
269 270	sprinkler system to accommodate new layout	8,310	SF	5.00	,	\$5.00 / SF
269 270 271	sprinkler system to accommodate new layout FIRE PROTECTION	8,310	SF	5.00	,	\$5.00 / SF
269 270 271 272	sprinkler system to accommodate new layout FIRE PROTECTION	8,310	SF	5.00	,	\$5.00 / SF
269 270 271 272 273 274	sprinkler system to accommodate new layout FIRE PROTECTION Electrical				41,550	\$5.00 / SF
269 270 271 272 273	sprinkler system to accommodate new layout FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing	8,310	SF SF	4.00	,	\$5.00 / SF
269 270 271 272 273 274	sprinkler system to accommodate new layout FIRE PROTECTION Electrical Trade demolition				41,550	\$5.00 / SF
269 270 271 272 273 274 275	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling	8,310	SF	4.00	41,550 33,240	\$5.00 / SF
269 270 271 272 273 274 275	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer	8,310 1	SF EA	4.00	41,550 33,240 3,000	\$5.00 / SF
269 270 271 272 273 274 275 276 277 278	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment	8,310 1	SF EA	4.00	41,550 33,240 3,000	\$5.00 / SF
269 270 271 272 273 274 275 276 277	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution	8,310 1	SF EA	4.00	41,550 33,240 3,000	\$5.00 / SF
269 270 271 272 273 274 275 276 277 278 279	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E,	8,310 1	SF EA EA	4.00	41,550 33,240 3,000	
269 270 271 272 273 274 275 276 277 278	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and	8,310 1	SF EA	4.00	41,550 33,240 3,000	\$5.00 / SF By PG&E
269 270 271 272 273 274 275 276 277 278 279	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations	8,310 1 3	SF EA EA	4.00 3,000.00 2,000.00	41,550 33,240 3,000 6,000	
269 270 271 272 273 274 275 276 277 278 279 280	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways	8,310 1 3	SF EA EA	4.00 3,000.00 2,000.00 82,500.00	33,240 3,000 6,000 82,500	
269 270 271 272 273 274 275 276 277 278 279 280	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX	8,310 1 3	SF EA EA NA LS LS	4.00 3,000.00 2,000.00 82,500.00 10,000.00	33,240 3,000 6,000 82,500 10,000	
269 270 271 272 273 274 275 276 277 278 279 280 281 282 283	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W	8,310 1 3	SF EA EA NA LS LS EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00	33,240 3,000 6,000 82,500 10,000 28,800	
269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A	8,310 1 3 1 1 1 1	SF EA EA LS LS EA EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00 15,625.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625	
269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A PV interconnection breaker, 80A	8,310 1 3	SF EA EA LS LS EA EA EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00 15,625.00 2,200.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625 2,200	
269 270 271 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A PV interconnection breaker, 80A Distribution panel, 225A, 120/208V, 42 circuit	8,310 1 3 1 1 1 1 1 1	SF EA EA LS LS EA EA EA EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00 15,625.00 2,200.00 10,125.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625 2,200 10,125	
269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A PV interconnection breaker, 80A Distribution panel, 225A, 120/208V, 42 circuit Generator connection, 90A, 1P	8,310 1 3	SF EA EA LS LS EA EA EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00 15,625.00 2,200.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625 2,200	
269 270 271 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A PV interconnection breaker, 80A Distribution panel, 225A, 120/208V, 42 circuit Generator connection, 90A, 1P Distribution panel, 60A, 120/208V, 42 circuit,	8,310 1 3 1 1 1 1 1 1	SF EA EA LS LS EA EA EA EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00 15,625.00 2,200.00 10,125.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625 2,200 10,125	
269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A PV interconnection breaker, 80A Distribution panel, 225A, 120/208V, 42 circuit Generator connection, 90A, 1P Distribution panel, 60A, 120/208V, 42 circuit, server room, shunt trip	8,310 1 3 1 1 1 1 1 1 1	SF EA EA LS LS EA EA EA EA EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00 15,625.00 2,200.00 10,125.00 3,300.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625 2,200 10,125 3,300	
269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A PV interconnection breaker, 80A Distribution panel, 225A, 120/208V, 42 circuit Generator connection, 90A, 1P Distribution panel, 60A, 120/208V, 42 circuit, server room, shunt trip Distribution panel, 100A, 120/208V, 42 circuit,	8,310 1 3 1 1 1 1 1 1 1	SF EA EA LS LS EA EA EA EA EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00 15,625.00 2,200.00 10,125.00 3,300.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625 2,200 10,125 3,300	
269 270 271 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A PV interconnection breaker, 80A Distribution panel, 225A, 120/208V, 42 circuit Generator connection, 90A, 1P Distribution panel, 60A, 120/208V, 42 circuit, server room, shunt trip Distribution panel, 100A, 120/208V, 42 circuit, HVAC and DHW equip	8,310 1 3 1 1 1 1 1 1 1 1 1	SF EA EA LS LS EA EA EA EA EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00 15,625.00 2,200.00 10,125.00 3,300.00 4,500.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625 2,200 10,125 3,300 3,300 9,000	
269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A PV interconnection breaker, 80A Distribution panel, 225A, 120/208V, 42 circuit Generator connection, 90A, 1P Distribution panel, 60A, 120/208V, 42 circuit, server room, shunt trip Distribution panel, 100A, 120/208V, 42 circuit,	8,310 1 3 1 1 1 1 1 1 1	SF EA EA LS EA EA EA EA EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00 15,625.00 2,200.00 10,125.00 3,300.00 3,300.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625 2,200 10,125 3,300 3,300	
269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A PV interconnection breaker, 80A Distribution panel, 225A, 120/208V, 42 circuit Generator connection, 90A, 1P Distribution panel, 60A, 120/208V, 42 circuit, server room, shunt trip Distribution panel, 100A, 120/208V, 42 circuit, HVAC and DHW equip Misc. feeders, conduit and cabling	8,310 1 3 1 1 1 1 1 1 1 1 1	SF EA EA LS LS EA EA EA EA EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00 15,625.00 2,200.00 10,125.00 3,300.00 4,500.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625 2,200 10,125 3,300 3,300 9,000	
269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A PV interconnection breaker, 80A Distribution panel, 225A, 120/208V, 42 circuit Generator connection, 90A, 1P Distribution panel, 60A, 120/208V, 42 circuit, server room, shunt trip Distribution panel, 100A, 120/208V, 42 circuit, HVAC and DHW equip Misc. feeders, conduit and cabling Machine and equipment power	8,310 1 3 1 1 1 1 1 1 1 2 8,310	SF EA EA LS LS EA EA EA EA EA EA EA EA EA	4.00 3,000.00 2,000.00 2,000.00 10,000.00 28,800.00 15,625.00 2,200.00 10,125.00 3,300.00 4,500.00 5.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625 2,200 10,125 3,300 3,300 9,000 41,550	
269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290	FIRE PROTECTION Electrical Trade demolition Safe-off, disconnect and remove existing panels, raceways and cabling Safe off and remove transformer Safe off and remove electrical equipment Power distribution PG&E pad mounted transformer, by PG&E, include primary and secondary feeders and terminations Primary and secondary raceways Concrete pad serving TX Main service panel, 600A, 208/120V, 3P, 4W Elevator feeder, 150A PV interconnection breaker, 80A Distribution panel, 225A, 120/208V, 42 circuit Generator connection, 90A, 1P Distribution panel, 60A, 120/208V, 42 circuit, server room, shunt trip Distribution panel, 100A, 120/208V, 42 circuit, HVAC and DHW equip Misc. feeders, conduit and cabling	8,310 1 3 1 1 1 1 1 1 1 1 1	SF EA EA LS LS EA EA EA EA EA	4.00 3,000.00 2,000.00 82,500.00 10,000.00 28,800.00 15,625.00 2,200.00 10,125.00 3,300.00 4,500.00	33,240 3,000 6,000 82,500 10,000 28,800 15,625 2,200 10,125 3,300 3,300 9,000	

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CARMEL LIBRARIES Harrison Memorial Library & Park Branch Library Carmel, California

tbd consultants

Conceptual Cost Plan July 10, 2023

PARK BRANCH LIBRARY - ESTIMATE DETAIL

F N	MF DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
94	HP-3, power connection	1	EA	3,500.00	3,500	- COMMENTS
94 95		2				
	Split AC power connections	4	EA EA	2,875.00	5,750	
296	Exhaust fan power connections			950.00	3,800	
97	FCU power connections	4	EA	1,225.00	4,900	
298	DHW recirc pump	1	EA	1,200.00	1,200	
299	Roller shade power connection	5	EA	775.00	3,875	
300	Radiant pump power connection	1	EA	2,000.00	2,000	
301						
302	Convenience power					
	Duplex receptacles, conduit and wiring,					
303	terminations	8,310	SF	8.00	66,480	
304	Floor boxes	11	EA	485.00	5,335	
305	1 loor boxes			100.00	0,000	
306	Lighting and controls					
300	32" dia. decorative pendant, David Trubridge					
307		8	EA	2,332.00	18,656	
	FLO-1000				·	
308	40" dia. decorative pendant, David Trubridge	7	EA	2,710.00	18,970	
	FLO-1000					
309	Recessed can light, LED	34	EA	585.00	19,890	
310	Surface light, 18-3/4" dia., ramos&bassols, vibia	4	EA	6,752.80	27,011	
,10	duo-4870	4	LA	0,702.00	21,011	
244	Surface light, 31" dia., ramos&bassols, vibia duo-	^	Г^	10.015.04	20.040	
311	4872	3	EA	10,015.84	30,048	
312	Recessed can light, LED, outdoor	16	EA	885.00	14,160	
	Misc. lighting, lighting controls, conduit and	-				
313	wiring	8,310	SF	30.00	249,300	
314	wiilig					
	Talanama and approxima					
315	Telecom and security					
316	Misc. tele data outlets, WAP outlets, raceways	8,310	SF	9.00	74,790	
	and structured cabling					
317	Data in floor boxes	11	EA	485.00	5,335	
318	Data drops, 8 total serving WAP's	8	EA	525.00	4,200	
319	Security allowance	8,310	SF	3.00	24,930	
320	,					
321	Fire alarm					
	Misc. rework/reconfiguration of existing FA					
322	system	8,310	SF	3.00	24,930	
323	System					
	Photovoltaics					
324						
325	PV array, wiring, raceways, inverter, and panel	69	KW			see alternates
	supports, 69kw					
326						
327	Misc. electrical requirements					
_	Site supervision, documentation, detailing,	·				
328	coordination, testing, startup, seismic bracing,	1	LS	72,995.97	72,996	
	firestop, GC's and GR's			•	•	
329	LEED premium	8,310	SF	2.50	20,775	
330	——— p	-,			0,0	
331	ELECTRICAL				958,471	\$115.34 / SF
332						
333	Equipment					
334	4. 6					
	42" tall cantilever metal with painted wood end					
335	panels, canopies, stacks	91	LF	1,750.00	159,250	
226	paricio, cariopico, stacko					
336	Davis diamana allam			7 500 00	7.500	
337	Projection screen, allow	1	EA	7,500.00	7,500	
338	Automated material handling system, AMHS					excluded
339	Book theft detection					excluded
340	Book drops					excluded
341						
342						
	FOLUDMENT				166 750	600.67 / 05
343	EQUIPMENT				166,750	\$20.07 / SF
344						
345	<u>Furnishings</u>					
346						
	Window blinds at new glazing	1.142	SF	28.00	31,976	
346 347 348	Window blinds at new glazing Blinds to interior glazing	1,142 592	SF SF	28.00 22.00	31,976 13,024	

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Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

GSF: 8,310

PARK BRANCH LIBRARY - ESTIMATE DETAIL

EF MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
49						
50						
51	FURNISHINGS				45,000	\$5.42 / SF
52						
53	Special Construction					
54	<u></u>					
55						
56	SPECIAL CONSTRUCTION					
57						
58	Selective Building Demolition					
159	Selective Building Demontion					
60	Building demolition					
861	Demo roof to substructure	1,734	SF	15.00	26,010	
62	Demo roof shingles	6,178	SF	5.00	30,890	
63	Demo partitions, interior glazing	832	LF	30.00	24,960	
64	Demo casework, shelving, millwork etc	506	LF	25.00	12,650	
65	Demo doors, per leaf	41	EA	250.00	10,250	
66	Demo stairs, interior	1	EA	8,500.00	8,500	
27	Domo rootroom fixturos finishes assessarias	390	SF	30.00	11 700	
67	Demo restroom fixtures, finishes, accessories				11,700	
68	Demo interior ramps	60	SF	50.00	3,000	
69	Demo sump pit, infill pit	1	EA	3,500.00	3,500	
70	Demo exterior windows	150	LF	50.00	7,500	
71	Demo stacks	100	LF	35.00	3,500	
72	Demo exterior walls	111	LF	50.00	5,550	
73	Infill floor at shaft	124	SF			See Superstructure
74	Infill basement	850	SF			See Superstructure
75	Demo all interior finishes, remove paint, fixtures	8,050	SF	12.00	96,600	
	etc			2.22		
76	Miscellaneous demolition allowance	8,050	SF	8.00	64,400	
77	Structural demolition allowance	8,050	SF	12.00	96,600	premium at basement equipment
78	MEP demolition allowance	1	LS	15,000.00	15,000	demo
79						
80	Hazardoud materials abatement					excluded
81						
82						
83	SELECTIVE BUILDING DEMOLITION				420,610	\$50.61 / SF
84					,	
85	Site Preparation					
86	<u>ono i ropulation</u>					
87	Demo tree	17	EA	1,000.00	17,000	
38	Demo planting area	2,383	SF	5.00	11,915	
39	Demo planters	26	LF	30.00	780	
90	Demo site walls	25	LF	35.00	875	
91	Demo driveway, parking incl striping	10,005	SF	5.00	50,025	
92	Demo sidewalk	1,042	SF	5.00	5,210	
93	Demo pavers	657	SF	5.00	3,285	
94	Demo ramp, landings and handrails	178	SF	25.00	4,450	
95	Demo curbs	665	LF	20.00	13,300	
96	Demo fence	211	LF	15.00	3,165	
97	Demo stairs	3	EA	2,500.00	7,500	
98	Demo bollards	2	EA	550.00	1,100	
99	Allowance for misc site clear and grub, protect	16,140	SF	2.00	32,280	
	existing to remain	10,170		2.00	02,200	
00						
01	Allowance for erosion control, misc grading	16,140	SF	2.00	32,280	
02						
03						
04	SITE PREPARATION				183,165	\$22.04 / SF
05						
06	Site Improvements					
07						
08	Paving					
09	New sidewalk	235	SF	30.00	7,050	
10	Stone pavers	4,006	SF	80.00	320,480	

Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

GSF: 8,310

PARK BRANCH LIBRARY - ESTIMATE DETAIL

CARMEL LIBRARIES

REF ME						
	F DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
411	New asphalt surface lot	4,772	SF	10.00	47,720	
412	Allow for curbs	410	LF	55.00	22,550	
413						
414	Site improvements & landscaping					
415	New stone stairs	103	SF	295.00	30,385	
416	New stone ramp & landing	513	SF	295.00	151,335	
417	Ramp and stair railings, custom bronze	109	LF	850.00	92,650	
418	Planting areas	4,729	SF	20.00	94,580	
419	Planting at concrete planters	353	SF	85.00	30,005	soil, planting allowance
420	Concrete planter walls, 78", board form finish	121	LF	715.00	86,515	2.1.0
421	Planting at corten steel planters	135	SF LF	68.00	9,180	soil, planting allowance
422 423	Corten steel planter walls, 32" Concrete site wall with board form finish	65 103	LF	135.00 380.00	8,775	
423 424	New trees	18	EA	1,800.00	39,140 32,400	
425	New specimen tree, 72" box	2	EA	3,500.00	7,000	
426	Existing trees to remain, protect	7	EA	350.00	2,450	
427	Site boulders	29	EA	800.00	23,200	
428	Redwood log, sanded smooth	1	EA	800.00	800	
429	Built-in bench, with western red cedar boards	38	LF	950.00	36,100	
430	7' tall fence, western red cedar north	1,302	SF	70.00	91,140	
431	32.5" soil infill	2,870	SF	25.00	71,750	
432	Retaining wall at soil infill soil perimeter	314	LF	380.00	119,320	
433	Irrigation	5,217	SF	7.00	36,519	
434	Irrigation at new trees	20	EA	400.00	8,000	
435	gation at non-troop			100.00	0,000	
436	Miscelleneous sitework allowance	16,140	SF	8.00	129,120	
437		,				
438						
439	SITE IMPROVEMENTS				1,498,164	\$180.28 / SF
440					.,,	***************************************
441	Site Mechanical Utilities					
442	Site Mechanical Othicles					
113	Connect to existing utilities within 5' of building	1	1.0	15 000 00	15,000	
443	Connect to existing utilities within 5' of building	1	LS	15,000.00	15,000	
444	· · · · · · · · · · · · · · · · · · ·			ĺ	ĺ	
444 445	Connect to existing utilities within 5' of building Site drainage improvements allowance	1	LS LS	15,000.00 25,000.00	15,000 25,000	
444 445 446	Site drainage improvements allowance	1	LS	25,000.00	25,000	
444 445	Site drainage improvements allowance Scope existing sewer lateral to determine viablility			ĺ	ĺ	
444 445 446 447	Site drainage improvements allowance Scope existing sewer lateral to determine viablility of reuse	1	LS LS	25,000.00	25,000	
444 445 446	Site drainage improvements allowance Scope existing sewer lateral to determine viablility of reuse Replace sewer later to POC in street	1 1 75	LS LS LF	25,000.00 2,650.00 175.00	25,000 2,650 13,125	
444 445 446 447 448 449	Site drainage improvements allowance Scope existing sewer lateral to determine viablility of reuse Replace sewer later to POC in street Sawcut/patch roadway	1 1 75 150	LS LS LF SF	25,000.00 2,650.00 175.00 65.00	25,000 2,650 13,125 9,750	
444 445 446 447 448	Site drainage improvements allowance Scope existing sewer lateral to determine viability of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control	1 1 75	LS LS LF SF LS	25,000.00 2,650.00 175.00 65.00 5,000.00	25,000 2,650 13,125	
444 445 446 447 448 449 450	Site drainage improvements allowance Scope existing sewer lateral to determine viablility of reuse Replace sewer later to POC in street Sawcut/patch roadway	1 1 75 150	LS LS LF SF	25,000.00 2,650.00 175.00 65.00	25,000 2,650 13,125 9,750 5,000	_
444 445 446 447 448 449 450 451	Site drainage improvements allowance Scope existing sewer lateral to determine viability of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing	1 1 75 150	LS LS LF SF LS	25,000.00 2,650.00 175.00 65.00 5,000.00	25,000 2,650 13,125 9,750 5,000 4,000	
444 445 446 447 448 449 450 451 446	Site drainage improvements allowance Scope existing sewer lateral to determine viability of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control	1 1 75 150	LS LS LF SF LS	25,000.00 2,650.00 175.00 65.00 5,000.00	25,000 2,650 13,125 9,750 5,000	\$8.97 / SF
444 445 446 447 448 449 450 451 446 453 454	Site drainage improvements allowance Scope existing sewer lateral to determine viability of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing SITE MECHANICAL UTILITIES	1 1 75 150	LS LS LF SF LS	25,000.00 2,650.00 175.00 65.00 5,000.00	25,000 2,650 13,125 9,750 5,000 4,000	\$8.97 / SF
444 445 446 447 448 449 450 451 446 453 454 455	Site drainage improvements allowance Scope existing sewer lateral to determine viability of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing	1 1 75 150	LS LS LF SF LS	25,000.00 2,650.00 175.00 65.00 5,000.00	25,000 2,650 13,125 9,750 5,000 4,000	
444 445 446 447 448 449 450 451 446 453 454 455 456	Site drainage improvements allowance Scope existing sewer lateral to determine viablility of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing SITE MECHANICAL UTILITIES Site Electrical Utilities	1 1 75 150 1	LS LF SF LS LS	25,000.00 2,650.00 175.00 65.00 5,000.00 4,000.00	25,000 2,650 13,125 9,750 5,000 4,000 74,525	\$8.97 / SF
444 445 446 447 448 449 450 451 446 453 454 455 456 457	Site drainage improvements allowance Scope existing sewer lateral to determine viability of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing SITE MECHANICAL UTILITIES	1 1 75 150 1	LS LS LF SF LS	25,000.00 2,650.00 175.00 65.00 5,000.00	25,000 2,650 13,125 9,750 5,000 4,000	 \$8.97 / SF
444 445 446 447 448 449 450 451 446 453 454 455 456 457 458	Site drainage improvements allowance Scope existing sewer lateral to determine viablility of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing SITE MECHANICAL UTILITIES Site Electrical Utilities Site power distribution allowance	1 75 150 1 1	LS LF SF LS LS LS	25,000.00 2,650.00 175.00 65.00 5,000.00 4,000.00	25,000 2,650 13,125 9,750 5,000 4,000 74,525	
444 445 446 447 448 449 450 451 446 453 454 455 456 457 458 459	Site drainage improvements allowance Scope existing sewer lateral to determine viablility of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing SITE MECHANICAL UTILITIES Site Electrical Utilities	1 1 75 150 1	LS LF SF LS LS	25,000.00 2,650.00 175.00 65.00 5,000.00 4,000.00	25,000 2,650 13,125 9,750 5,000 4,000 74,525	
444 445 446 447 448 449 450 451 446 453 454 455 455 456 457 458 459 460	Site drainage improvements allowance Scope existing sewer lateral to determine viability of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing SITE MECHANICAL UTILITIES Site Electrical Utilities Site power distribution allowance	1 75 150 1 1	LS LF SF LS LS LS	25,000.00 2,650.00 175.00 65.00 5,000.00 4,000.00	25,000 2,650 13,125 9,750 5,000 4,000 74,525 15,000 25,000	
444 445 446 447 448 449 450 451 446 453 454 455 456 457 458 459	Site drainage improvements allowance Scope existing sewer lateral to determine viablility of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing SITE MECHANICAL UTILITIES Site Electrical Utilities Site power distribution allowance	1 75 150 1 1	LS LF SF LS LS LS	25,000.00 2,650.00 175.00 65.00 5,000.00 4,000.00	25,000 2,650 13,125 9,750 5,000 4,000 74,525	\$8.97 / SF \$4.81 / SF
444 445 446 447 448 449 450 451 446 453 454 455 455 456 457 458 459 460	Site drainage improvements allowance Scope existing sewer lateral to determine viability of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing SITE MECHANICAL UTILITIES Site Electrical Utilities Site power distribution allowance	1 75 150 1 1	LS LF SF LS LS LS	25,000.00 2,650.00 175.00 65.00 5,000.00 4,000.00	25,000 2,650 13,125 9,750 5,000 4,000 74,525 15,000 25,000	
444 445 446 447 448 449 450 451 446 453 454 455 455 456 457 458 459 460	Site drainage improvements allowance Scope existing sewer lateral to determine viability of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing SITE MECHANICAL UTILITIES Site Electrical Utilities Site power distribution allowance	1 75 150 1 1	LS LF SF LS LS LS	25,000.00 2,650.00 175.00 65.00 5,000.00 4,000.00	25,000 2,650 13,125 9,750 5,000 4,000 74,525 15,000 25,000	
444 445 446 447 448 449 450 451 446 453 454 455 456 455 456 457 458 460 461 462	Site drainage improvements allowance Scope existing sewer lateral to determine viability of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing SITE MECHANICAL UTILITIES Site Electrical Utilities Site power distribution allowance Site lighting improvements allowance	1 75 150 1 1	LS LF SF LS LS LS	25,000.00 2,650.00 175.00 65.00 5,000.00 4,000.00	25,000 2,650 13,125 9,750 5,000 4,000 74,525 15,000 25,000	
444 445 446 447 448 449 450 451 446 453 454 455 456 457 458 459 460 461 462 463	Site drainage improvements allowance Scope existing sewer lateral to determine viability of reuse Replace sewer later to POC in street Sawcut/patch roadway Trench plating, traffic control Connect to existing SITE MECHANICAL UTILITIES Site Electrical Utilities Site power distribution allowance Site lighting improvements allowance	1 75 150 1 1	LS LF SF LS LS LS	25,000.00 2,650.00 175.00 65.00 5,000.00 4,000.00	25,000 2,650 13,125 9,750 5,000 4,000 74,525 15,000 25,000	

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IV. BUDGET AND SCHEDULE

Harrison Memorial Library & Park Branch Library
Carmel, California

IV. BUDGET AND SCHEDULE



Conceptual Cost Plan July 10, 2023

ALTERNATES DETAIL

REF MF	F DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
2	HARRISON MEMORIAL ALTERNATE #1 - GLASS	S FI EVATOR				
3		J LLL VICTOR				
4	Deduct	4	1.0	25 000 00	25.000	
- 5 6	Elevator steel Passenger elevator	<u>-1</u> -1	LS EA	35,000.00 300,000.00	-35,000 -300,000	
7	Bronze panel cladding on shaft base	-1,080	SF	145.00	-156,600	
8	N.J.J					
9	Add Elevator steel, custom AESS	1	LS	75,000.00	75,000	
11	Passenger elevator, custom glass cab with	1	EA	825,000.00	825,000	
12	custom decorative wrought iron interior Custom fire rated glass elevator shaft	1,080	SF	450.00	486,000	
-	Decorative custom wrought iron @ exterior of	· · · · · · · · · · · · · · · · · · ·				
13	elevator hoist way	1,080	SF	250.00	270,000	
14	Subtotal				1,164,400	_
16	Sublotal				1,104,400	
17	Markups	72.6%			845,870	
18						
19	HARRISON MEMORIAL ALTERNATE #1 - GLAS	S EL EVATOR			2,010,270	
21	HARMON MEMORIAL ALTERNATE #1 - GLAS	O LLLVATOR			2,010,270	
22	HARRISON MEMORIAL ALTERNATE #2 VENETIAN PLASTER					
23						
24 25	Deduct Wall finish					
26	Venetian plaster	-5,570	SF	7.00	-38,990	
27	Ceiling finishes					
28	Venetian plaster	-290	SF	30.00	-8,700	
30	Add					
31	Wall finish					
32	Venetian plaster Ceiling finishes	5,570	SF	55.00	306,350	
34	Venetian plaster	290	SF	55.00	15,950	
35						
36	Subtotal				274,610	 .
38						
39	Markups	72.6%			199,488	
40						
42	HARRISON MEMORIAL ALTERNATE #2 VENET	TIAN PLASTER			474,098	
43					·	
44	HARRISON MEMORIAL ALTERNATE #3 PV					
45 46	Add					•
47	PV array, wiring, raceways, inverter, and panel	22	KW	5,500.00	121,000	
	supports, 22kw		1744	5,555.00	121,000	
48						
50	Subtotal				121,000	
51	Markune	72 60/			87,900	
52 53	Markups	72.6%			01,900	
54						
55	HARRISON MEMORIAL ALTERNATE #3 PV				208,900	
56						
57 58	PARK BRANCH ALTERNATE #4 PV					
59	Add					
60	PV array, wiring, raceways, inverter, and panel	69	KW	5,500.00	379,500	
61	supports, 69kw			2,500.00	2.0,000	
- 01						

Page 22 of 23

CARMEL LIBRARIES Harrison Memorial Library & Park Branch Library Carmel, California



Conceptual Cost Plan July 10, 2023

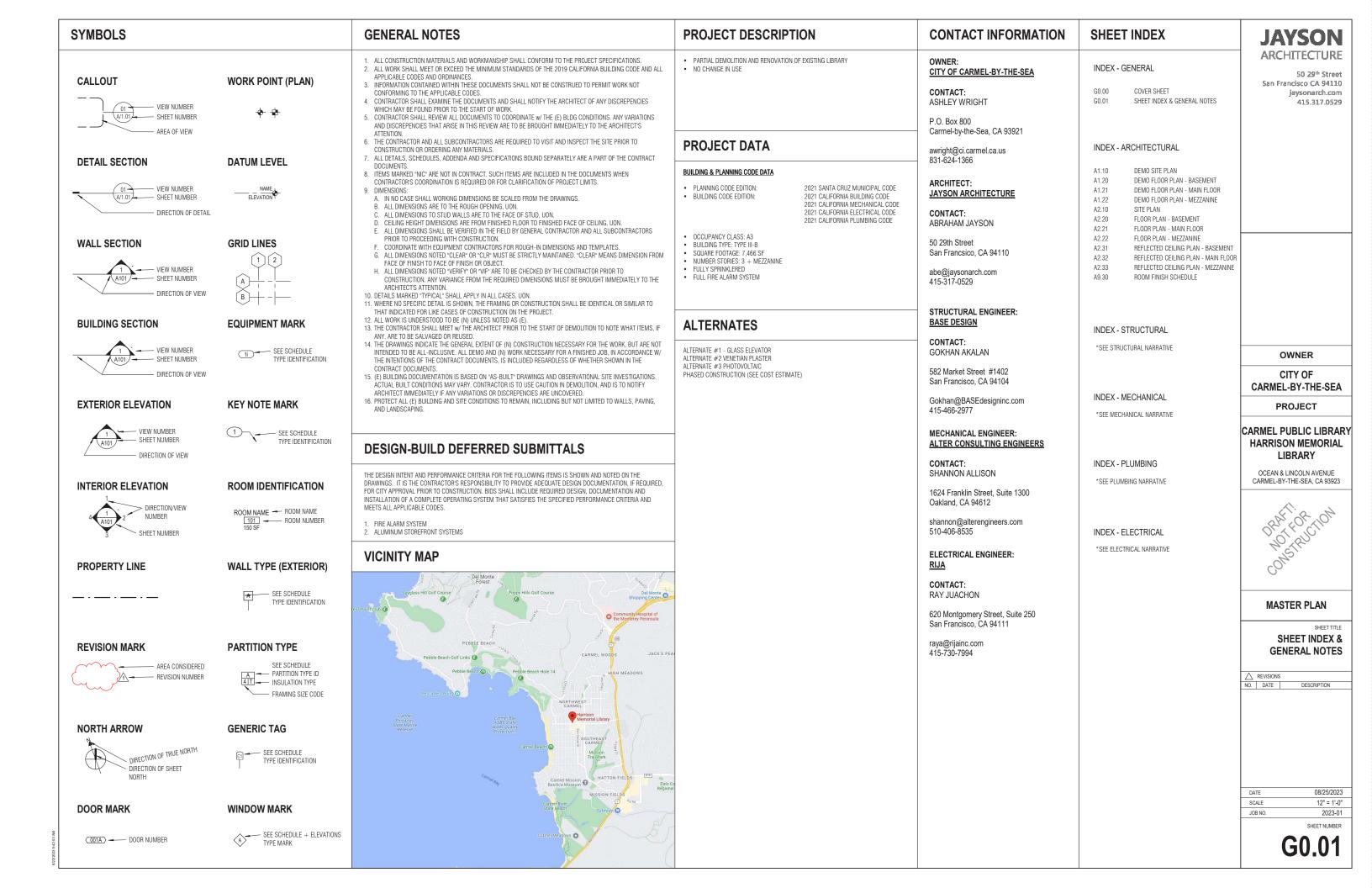
Page 23 of 23

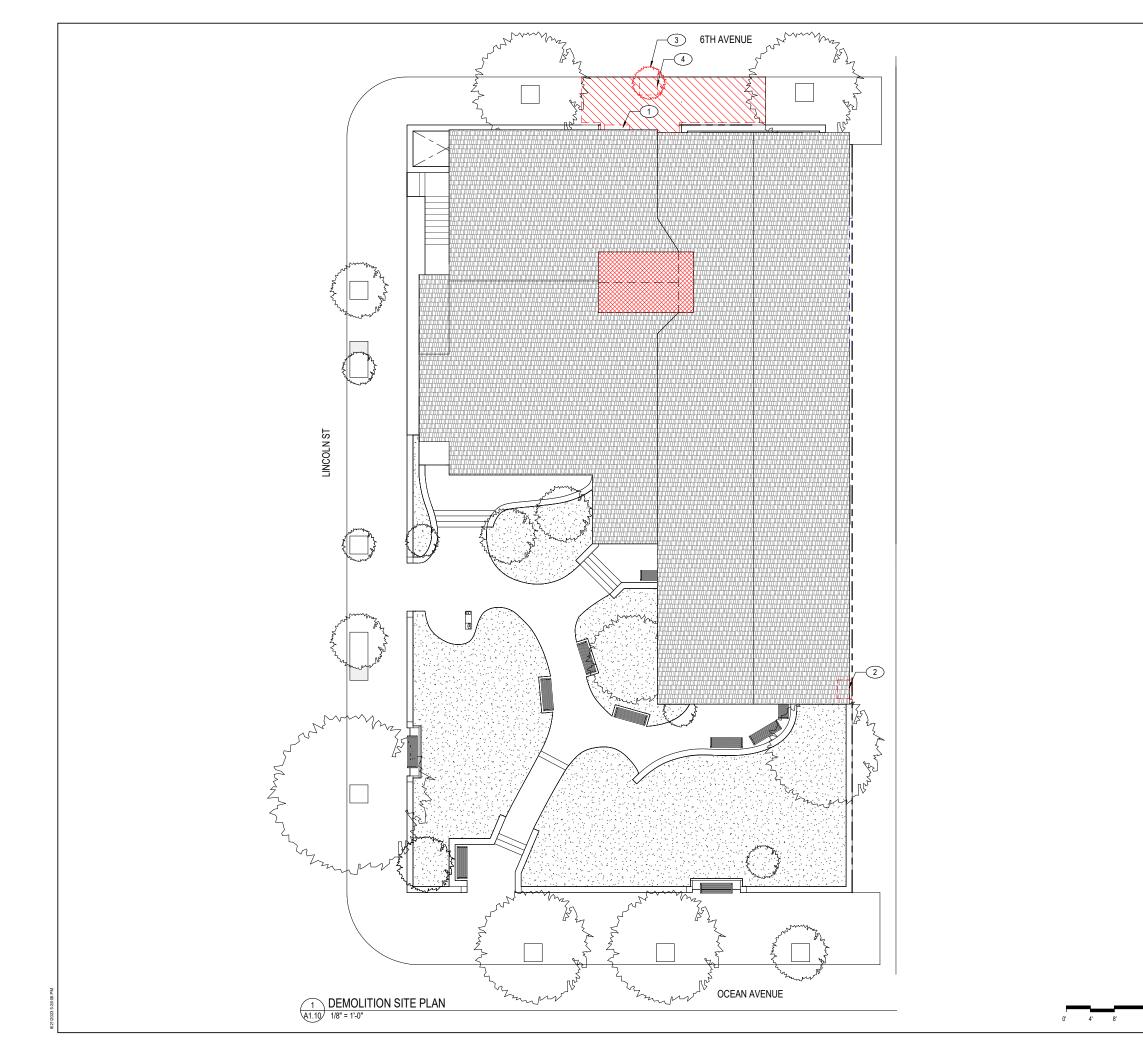
ALTERNATES DETAIL

REF	MF	DESCRIPTION	QUANTITY	UoM	UNIT RATE	TOTAL	COMMENTS
62							_
63		Subtotal				379,500	
64							
65		Markups	72.6%			275,685	
66							
67							
68		PARK BRANCH ALTERNATE #4 PV				655,185	









- DEMO ALL (E) SITE LIGHTING, SEE ELECTRICAL NARRATIVE FOR SITE DEMO INFORMATION AND ADDITIONAL SITE IMPROVEMENTS
 SEE MECHANICAL NARRATIVE FOR SITE DEMO INFORMATION
 SEE STRUCTURAL NARRATIVE FOR SITE DEMO INFORMATION

KEY NOTES

- 1 DEMO (E) WALL
 2 DEMO (E) MECHANICAL UNITS, SEE MECHANICAL NARRATIVE
 3 DEMO (E) TREE
 4 DEMO (E) PLANTING AREA

LEGEND

(E) WALL TO BE DEMOLISHED



DEMO (E) ROOF STRUCTURE



DEMO (E) CONC PAVEMENT



(E) PLANTING AREA TO REMAIN

■ • • ■ PROPERTY LINE

OWNER

ARCHITECTURE

50 29th Street San Francisco CA 94110 jaysonarch.com 415.317.0529

CITY OF CARMEL-BY-THE-SEA

PROJECT

CARMEL PUBLIC LIBRARY HARRISON MEMORIAL LIBRARY

OCEAN & LINCOLN AVENUE CARMEL-BY-THE-SEA, CA 93923

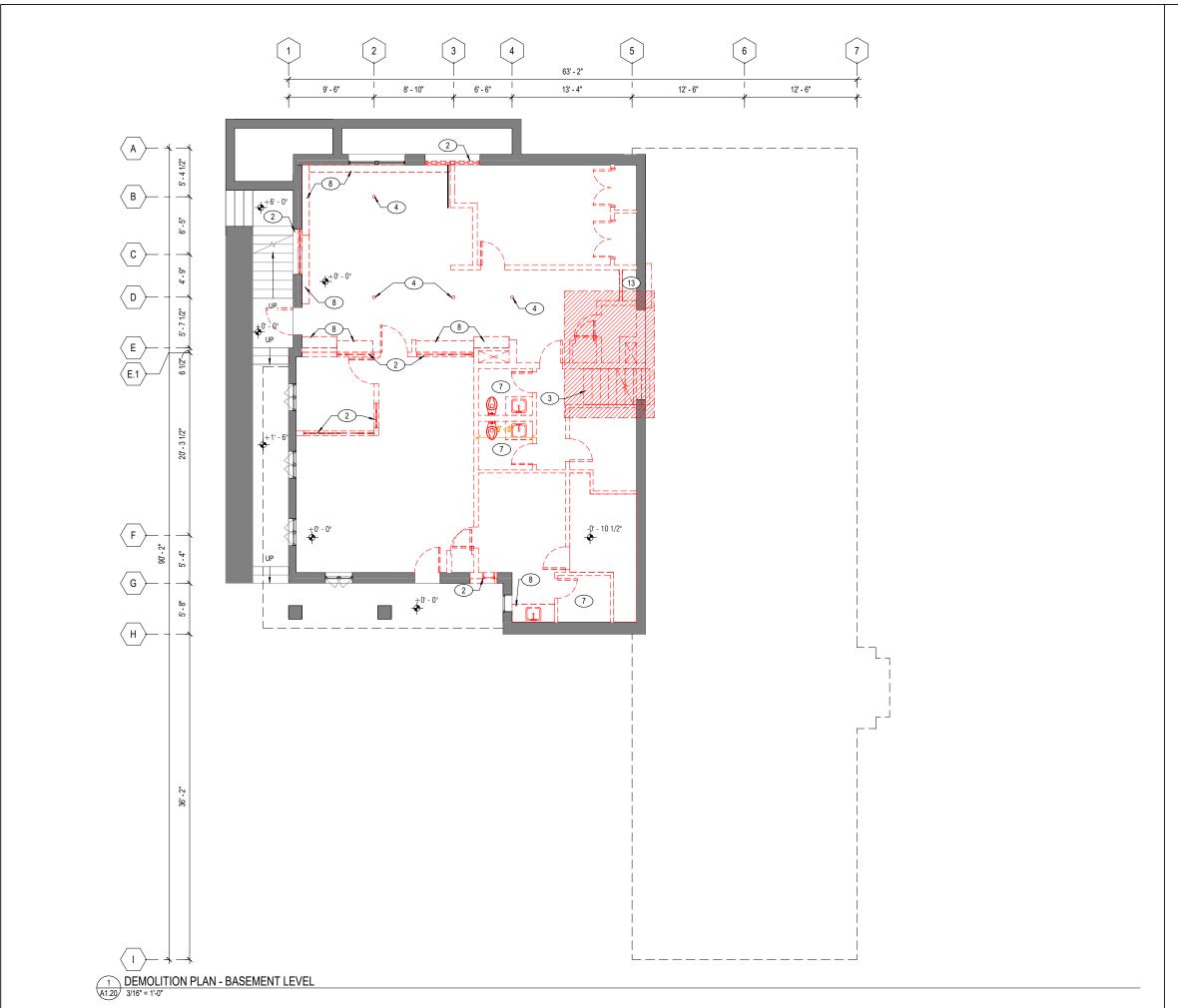


MASTER PLAN

DEMO SITE PLAN

REVISIONS
NO. DATE DESCRIPTION

08/25/2023 DATE SCALE As indicated JOB NO. 2023-01



- SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
 SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
 SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
- 4. SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION 5. DEMO ALL (E) INTERIOR WALL FINISHES
- DEMO ALL (E) INTERIOR WALL PARTITIONS
 DEMO ALL (E) FLOOR FINISHES
- 8. DEMO ALL (É) CASEWORK
- 9. DEMO ALL (E) INTERIOR DOORS
- 10. DEMO (E) FLOOR FINISHES
 11. REMOVE ALL (E) CEILING, FIXTURES, CONDUIT & ELECTRICAL
- 12. REMOVE PAINT ON ALL (E) EXPOSED CEILINGS & BEAMS

KEY NOTES

- 1 DEMO (E) WALL
- 2 DEMO (E) WINDOW
- 3 DEMO (E) STAIR, HANDRAILS, LANDINGS
- 4 DEMO (E) COLUMN
- 5 DEMO (E) MEZZANINE FLOOR & SLAB EDGE
- 6 DEMO (E) GLASS PARTITION & DOORS
- 7 DEMO (E) RESTROOM FIXTURES, FINISHES & ACCESSORIES
 8 DEMO (E) CASEWORK
- 9 DEMO (E) STACKS
- 10 DEMO (E) METAL GUARDRAIL
- (11) DEMO (E) FIREPLACE MANTLE BASE
- (12) DEMO (E) FLOOR FOR (N) RAISED LOBBY FLOOR
- 13 DEMO (E) DUMBWAITER, SHAFT & EQUIPMENT
- 14 DEMO (E) ARCHWAY ABOVE

LEGEND

(E) WALL TO BE DEMOLISHED

(E) WALL TO REMAIN

DEMO (E) FLOOR FOR (N) ELEVATOR & DEMO (E) LOBBY FLOOR, SEE STRUCTURAL NARRATIVE

ARCHITECTURE

50 29th Street San Francisco CA 94110 jaysonarch.com 415.317.0529

OWNER

CITY OF CARMEL-BY-THE-SEA

PROJECT

CARMEL PUBLIC LIBRARY HARRISON MEMORIAL LIBRARY

OCEAN & LINCOLN AVENUE CARMEL-BY-THE-SEA, CA 93923

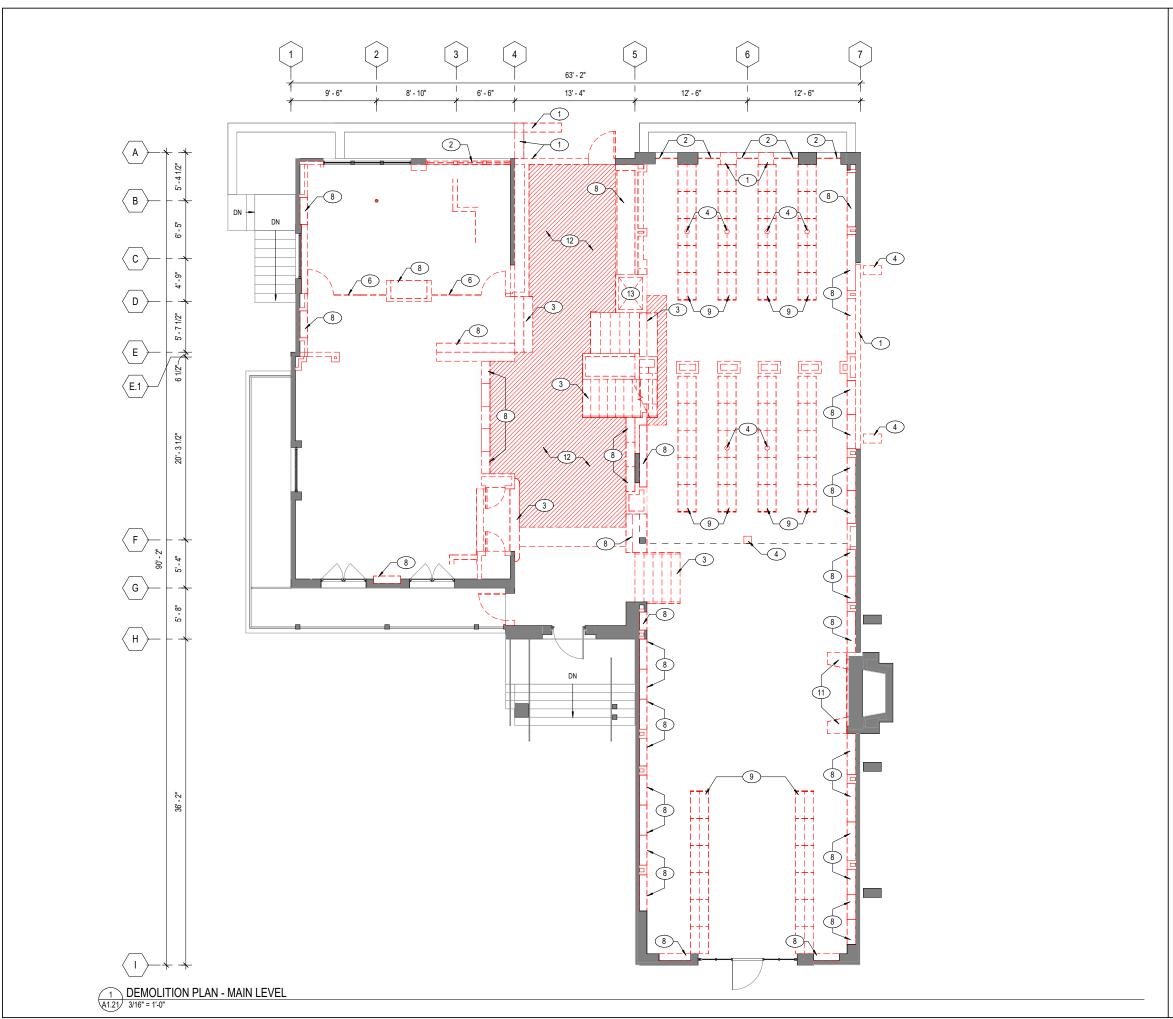


MASTER PLAN

DEMO FLOOR PLAN -BASEMENT

REVISIONS
NO. DATE DESCRIPTION

08/25/2023 SCALE As indicated JOB NO. 2023-01



- 1. SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
- SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
- 3. SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
- 4. SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION
 5. DEMO ALL (E) INTERIOR WALL FINISHES
 6. DEMO ALL (E) INTERIOR WALL PARTITIONS
- 7. DEMO ALL (É) FLOOR FINISHES
- 8. DEMO ALL (E) CASEWORK 9. DEMO ALL (E) INTERIOR DOORS
- 10. DEMO (E) FLOOR FINISHES
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- 12. REMOVE PAINT ON ALL (E) EXPOSED CEILINGS & BEAMS

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 3 DEMO (E) STAIR, HANDRAILS, LANDINGS
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- 9 DEMO (E) STACKS
- (10) DEMO (E) METAL GUARDRAIL
- (11) DEMO (E) FIREPLACE MANTLE BASE
- 12 DEMO (E) FLOOR FOR (N) RAISED LOBBY FLOOR
- 13 DEMO (E) DUMBWAITER, SHAFT & EQUIPMENT
 14 DEMO (E) ARCHWAY ABOVE

LEGEND

☐☐☐ (E) WALL TO BE DEMOLISHED

(E) WALL TO REMAIN

DEMO (E) FLOOR FOR (N) ELEVATOR & DEMO (E) LOBBY FLOOR, SEE STRUCTURAL NARRATIVE LIBRARY

OCEAN & LINCOLN AVENUE CARMEL-BY-THE-SEA, CA 93923

OWNER

CITY OF CARMEL-BY-THE-SEA

PROJECT

CARMEL PUBLIC LIBRARY

HARRISON MEMORIAL

ARCHITECTURE

San Francisco CA 94110

50 29th Street

jaysonarch.com 415.317.0529

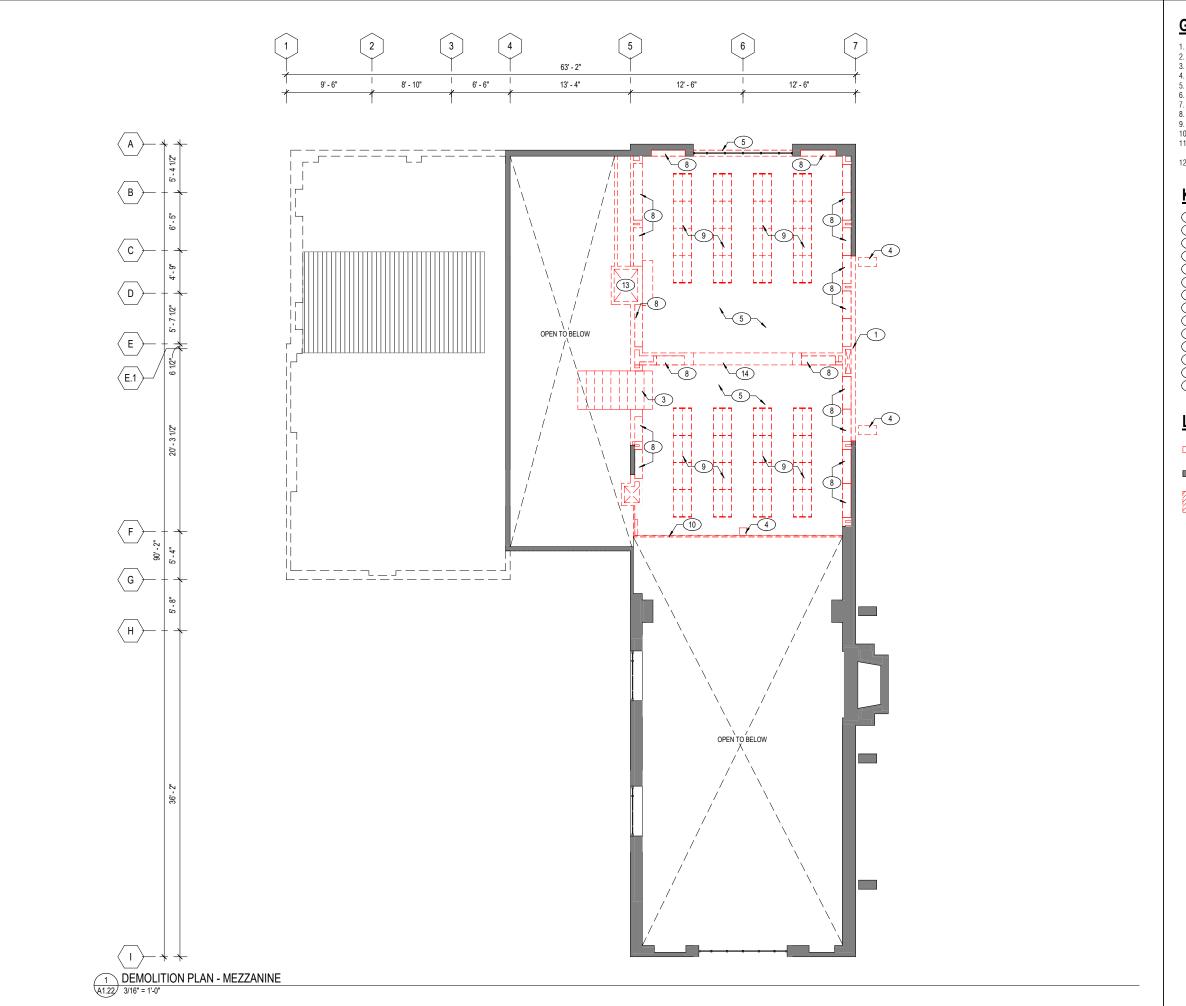
MASTER PLAN

DEMO FLOOR PLAN -MAIN FLOOR

REVISIONS

NO. DATE

08/25/2023 DATE SCALE As indicated JOB NO. 2023-01



- SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
 SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
 SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
- 4. SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION
- 5. DEMO ALL (E) INTERIOR WALL FINISHES6. DEMO ALL (E) INTERIOR WALL PARTITIONS
- 7. DEMO ALL (E) FLOOR FINISHES
- 8. DEMO ALL (E) CASEWORK
- 9. DEMO ALL (E) INTERIOR DOORS 10. DEMO (E) FLOOR FINISHES
- 11. REMOVE ALL (E) CEILING, FIXTURES, CONDUIT & ELECTRICAL
- 12. REMOVE PAINT ON ALL (E) EXPOSED CEILINGS & BEAMS

KEY NOTES

- 1 DEMO (E) WALL 2 DEMO (E) WINDOW
- 3 DEMO (E) STAIR, HANDRAILS, LANDINGS
- 4 DEMO (E) COLUMN
- 5 DEMO (E) MEZZANINE FLOOR & SLAB EDGE
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- 12 DEMO (E) FLOOR FOR (N) RAISED LOBBY FLOOR
- 13 DEMO (E) DUMBWAITER, SHAFT & EQUIPMENT
- 14 DEMO (E) ARCHWAY ABOVE

LEGEND

☐☐☐ (E) WALL TO BE DEMOLISHED

(E) WALL TO REMAIN

DEMO (E) FLOOR FOR (N) ELEVATOR & DEMO (E) LOBBY FLOOR, SEE STRUCTURAL NARRATIVE

ARCHITECTURE

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OWNER

CITY OF CARMEL-BY-THE-SEA

PROJECT

CARMEL PUBLIC LIBRARY HARRISON MEMORIAL LIBRARY

OCEAN & LINCOLN AVENUE CARMEL-BY-THE-SEA, CA 93923



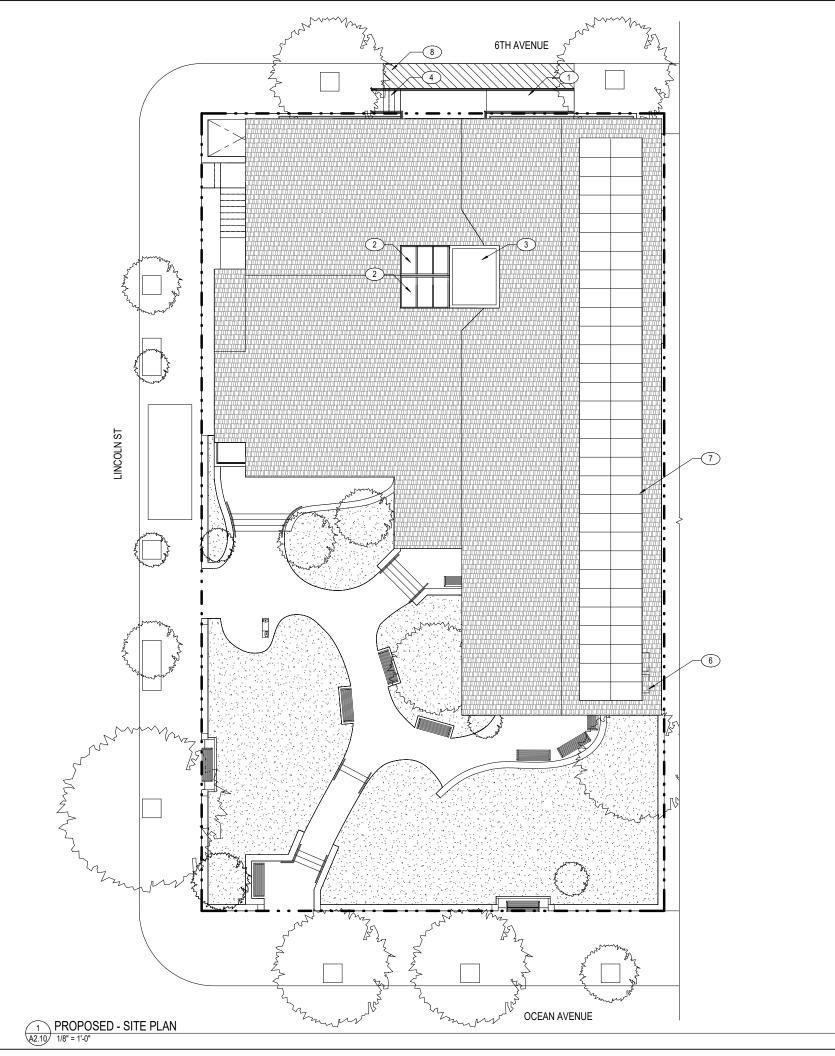
MASTER PLAN

DEMO FLOOR PLAN -MEZZANINE

REVISIONS
NO. DATE DESCRIPTION

08/25/2023 DATE SCALE As indicated JOB NO. 2023-01

SHEET NUMBER



- PROVIDE ALLOWANCE FOR PATCHING OF (E) EXTERIOR STUCCO,
 (E) CLAY TILE ROOFING, (N) COPPER FLASHING, GUTTER &
 DOWNSPOUTS, (E) WOOD TRIM & STRUCTURE

 SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
 SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION

- 5. SITE IMPROVEMENTS LIMITED TO NEW RAMP AND STAIR TO PROVIDE ADA ACCESS AT NORTH ENTRANCE

- 6. PAINT EXTERIOR:

 1 FIELD COLOR @ (E) WALLS

 4 ACCENT COLORS @ COLUMNS, BEAMS, SOFFITS, EAVES &

KEY NOTES

- (N) ACCESSIBLE STONE RAMP, BRONZE HANDRAILS & LANDING
 (N) AUTOMATED SKYLIGHT, SED, SMD

- (N) AUTOMATED SKYLIGHT, SED, SMD

 3 ELEVATOR ROOF OVERRUN

 4 (N) STONE STAIR, BRONZE HANDRAILS, & LANDING

 5 MECHANICAL ENCLOSURE BELOW ROOF @ GROUND LEVEL,
 SEE MECHANICAL NARRATIVE

 6 PV ARRAY, SED

 7 (N) CONC SIDEWALK

LEGEND



(E) PLANTING AREA TO REMAIN



(N) CONC SIDEWALK

OWNER

JAYSON

ARCHITECTURE

50 29th Street San Francisco CA 94110 jaysonarch.com 415.317.0529

CITY OF CARMEL-BY-THE-SEA

PROJECT

CARMEL PUBLIC LIBRARY HARRISON MEMORIAL LIBRARY

OCEAN & LINCOLN AVENUE CARMEL-BY-THE-SEA, CA 93923



MASTER PLAN

SITE PLAN

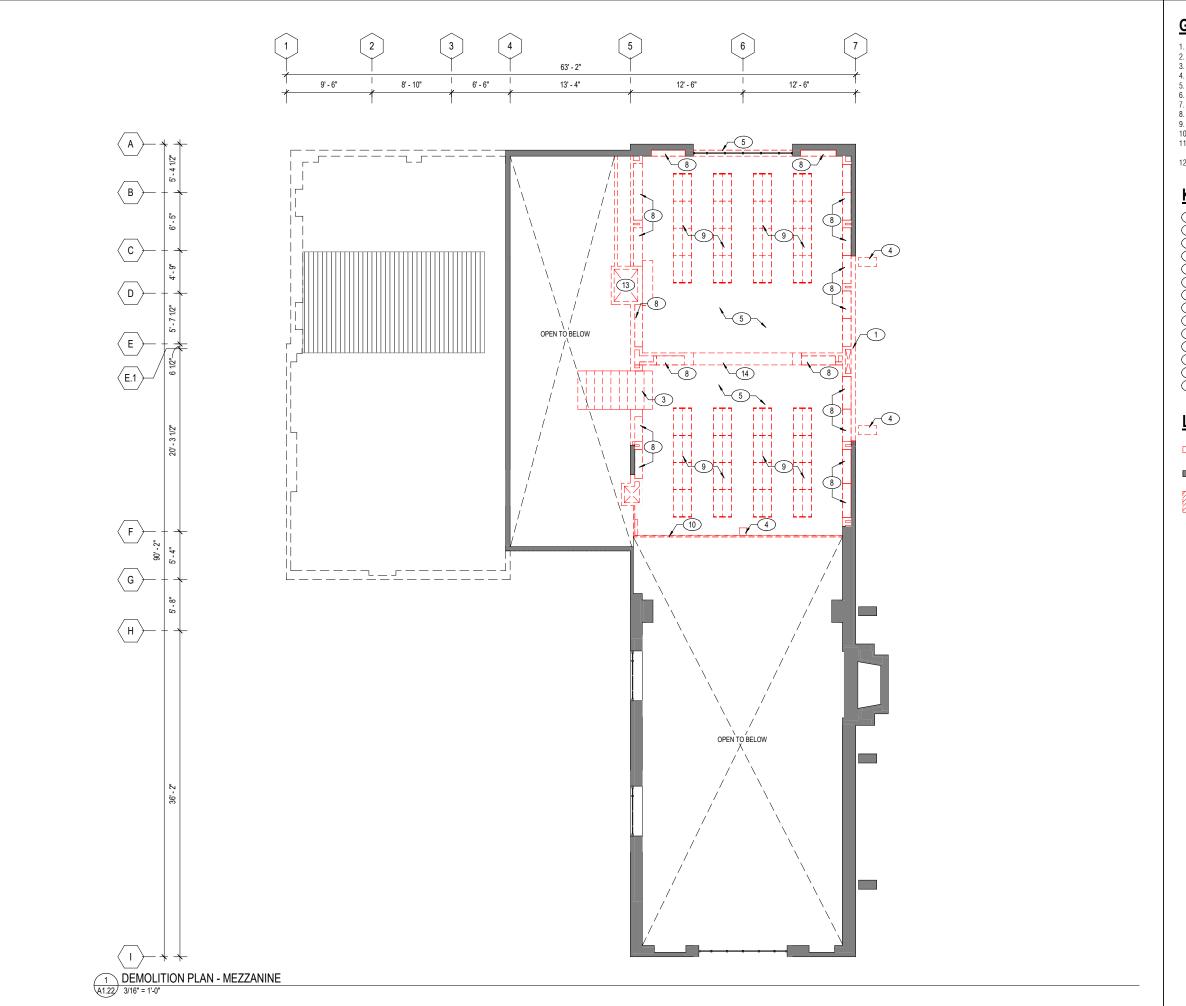
DESCRIPTION

A REVISIONS

NO. DATE

DATE	08/25/2023
SCALE	1/8" = 1'-0"
JOB NO.	2023-01

A2.10



- SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
 SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
 SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
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KEY NOTES

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- (10) DEMO (E) METAL GUARDRAIL
- 11) DEMO (E) FIREPLACE MANTLE BASE
- 12 DEMO (E) FLOOR FOR (N) RAISED LOBBY FLOOR
- 13 DEMO (E) DUMBWAITER, SHAFT & EQUIPMENT
- 14 DEMO (E) ARCHWAY ABOVE

LEGEND

☐☐☐ (E) WALL TO BE DEMOLISHED

(E) WALL TO REMAIN

DEMO (E) FLOOR FOR (N) ELEVATOR & DEMO (E) LOBBY FLOOR, SEE STRUCTURAL NARRATIVE

ARCHITECTURE

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OWNER

CITY OF CARMEL-BY-THE-SEA

PROJECT

CARMEL PUBLIC LIBRARY HARRISON MEMORIAL LIBRARY

OCEAN & LINCOLN AVENUE CARMEL-BY-THE-SEA, CA 93923



MASTER PLAN

DEMO FLOOR PLAN -MEZZANINE

REVISIONS
NO. DATE DESCRIPTION

08/25/2023 DATE SCALE As indicated JOB NO. 2023-01

SHEET NUMBER



1. SEE ROOM FINISH SCHEDULE FOR WALL, FLOOR, & CEILING

ARCHITECTURE

50 29th Street San Francisco CA 94110 jaysonarch.com 415.317.0529

KEY NOTES

- (N) THERMALLY BROKEN STEEL STOREFRONT, MATCH (E) ARCHED WINDOW
- 2 (N) THERMALLY BROKEN STEEL STOREFRONT ENTRANCE
- (N) THERMALLY BROKEN STEEL WINDOW TO MATCH STOREFRONT
- 4 (N) WOOD STAIR, LANDING & CUSTOM BRONZE HANDRAILS
- 5 ACCESSIBLE STONE RAMP, LANDING & CUSTOM BRONZE
- 6 FRAMELESS GLASS PARTITION & DOOR
- 7 BUILT-IN SOLID WALNUT CASEWORK SHELVING
- 8 PLAM UPPER & LOWER CABINETS W/ QUARTZ COUNTERTOR & SSTL SINK
- 9 56" TALL SHELVING SOLID REDWOOD END PANELS &
- CANOPIES

 10 56" TALL SHELVING W/ CUSTOM SOLID WD DOORS & BRONZE SCREENS
- CIRCULATION DESK W / QUARTZ COUNTERTOP & SOLID REDWOOD LOWER CABINETS
- (12) SOLID WD BENCH W/ WALNUT BOARDS
- 3 SOLID WALNUT LOWER CABINETS, W/ QUARTZ COUTNTERTOP
- (14) HI LOW DRINKING FOUNTAIN, SEE PLUMBING NARRATIVE
- 15 ACCESSIBLE RESTROOMS AS SHOWN
- (N) FIREPLACE MANTLE BASE, STONE
- (17) 42" GUARDRAIL, CUSTOM BRONZE FINISH
- 18 CUSTOM GLASS ELEVATOR CAB W/ CUSTOM DECORATIVE
- WROUGHT IRON INTERIOR
- (19) DECORATIVE CUSTOM WROUGHT IRON @ EXTERIOR OF HOISTWAY
 (20) CUSTOM FIRE RATED GLASS HOISTWAY
- 21 PROVIDE ALLOWANCE FOR CUSTOM AESS @ ELEVATOR
- 23) WD DOOR & FRAME W/ CLEAR FINISH
- 24 FRAMELESS GLASS PARTITION & DOOR, FROSTED
- 25 REPAIR/STRENGHTEN BALCONY AND RAILING. EXTEND RAILING TO CODE COMPLIANT HEIGHT

EXISTING WALL

INFILL (E) RECESSED FLOOR FOR (N) FLOOR FINISH

OWNER

CITY OF CARMEL-BY-THE-SEA

PROJECT

CARMEL PUBLIC LIBRARY HARRISON MEMORIAL LIBRARY

OCEAN & LINCOLN AVENUE CARMEL-BY-THE-SEA, CA 93923

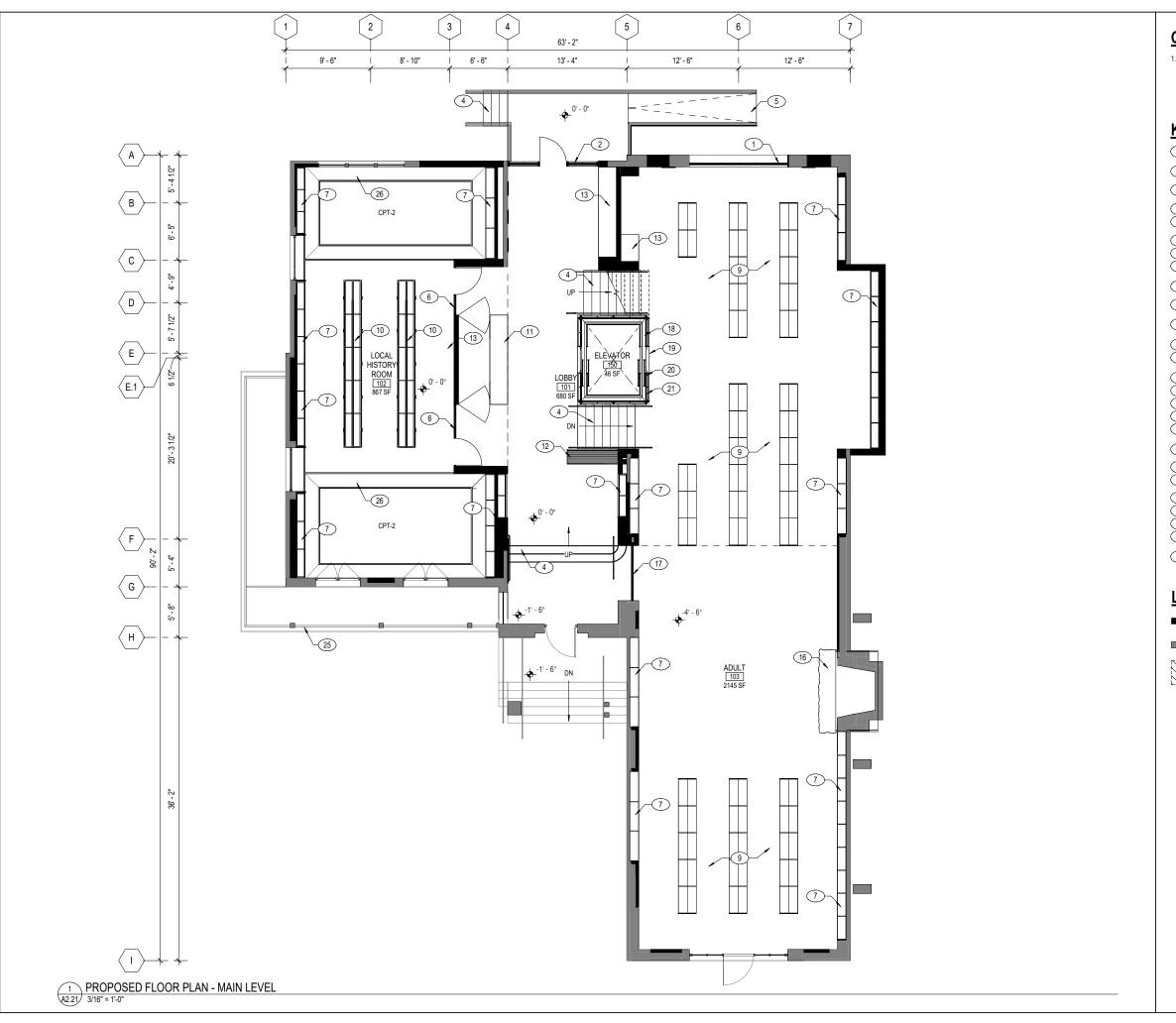


MASTER PLAN

FLOOR PLAN -**BASEMENT**

A REVISIONS NO. DATE DESCRIPTION

08/25/2023 DATE As indicated JOB NO. 2023-01



1. SEE ROOM FINISH SCHEDULE FOR WALL, FLOOR, & CEILING

ARCHITECTURE

50 29th Street San Francisco CA 94110 jaysonarch.com 415,317,0529

KEY NOTES

- 1 (N) THERMALLY BROKEN STEEL STOREFRONT, MATCH (E) ARCHED WINDOW
- (N) THERMALLY BROKEN STEEL STOREFRONT ENTRANCE DOOR
- 3 (N) THERMALLY BROKEN STEEL WINDOW TO MATCH
- STOREFRONT
- 4 (N) WOOD STAIR, LANDING & CUSTOM BRONZE HANDRAILS
- 5 ACCESSIBLE STONE RAMP, LANDING & CUSTOM BRONZE
- RAILINGS
 6 FRAMELESS GLASS PARTITION & DOOR
 7 BUILT-IN SOLID WALNUT CASEWORK SHELVING
- 8 PLAM UPPER & LOWER CABINETS W/ QUARTZ COUNTERTO & SSTL SINK
- 9 56" TALL SHELVING SOLID REDWOOD END PANELS &
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- 11 CIRCULATION DESK W / QUARTZ COUNTERTOP & SOLID REDWOOD LOWER CABINETS
- (12) SOLID WD BENCH W/ WALNUT BOARDS
- 3 SOLID WALNUT LOWER CABINETS, W/ QUARTZ COUTNTERTOP
- 14) HI LOW DRINKING FOUNTAIN, SEE PLUMBING NARRATIVE
- 15 ACCESSIBLE RESTROOMS AS SHOWN
- 16 (N) FIREPLACE MANTLE BASE, STONE
 17 42" GUARDRAIL, CUSTOM BRONZE FINISH
- 18 CUSTOM GLASS ELEVATOR CAB W/ CUSTOM DECORATIVE WROUGHT IRON INTERIOR
- 19 DECORATIVE CUSTOM WROUGHT IRON @ EXTERIOR OF HOISTWAY
 20 CUSTOM FIRE RATED GLASS HOISTWAY
- 21 PROVIDE ALLOWANCE FOR CUSTOM AESS @ ELEVATOR HOISTWAY STRUCTURE & RAILS
 PTD HM DOOR & FRAME
- 23 WD DOOR & FRAME W/ CLEAR FINISH
- 24) FRAMELESS GLASS PARTITION & DOOR, FROSTED
- 25 REPAIR/STRENGHTEN BALCONY AND RAILING. EXTEND RAILING TO CODE COMPLIANT HEIGHT
- (26) WOOD BORDER

LEGEND

NEW WALL

EXISTING WALL

INFILL (E) RECESSED FLOOR FOR (N) FLOOR FINISH

OWNER

CITY OF CARMEL-BY-THE-SEA

PROJECT

CARMEL PUBLIC LIBRARY HARRISON MEMORIAL LIBRARY

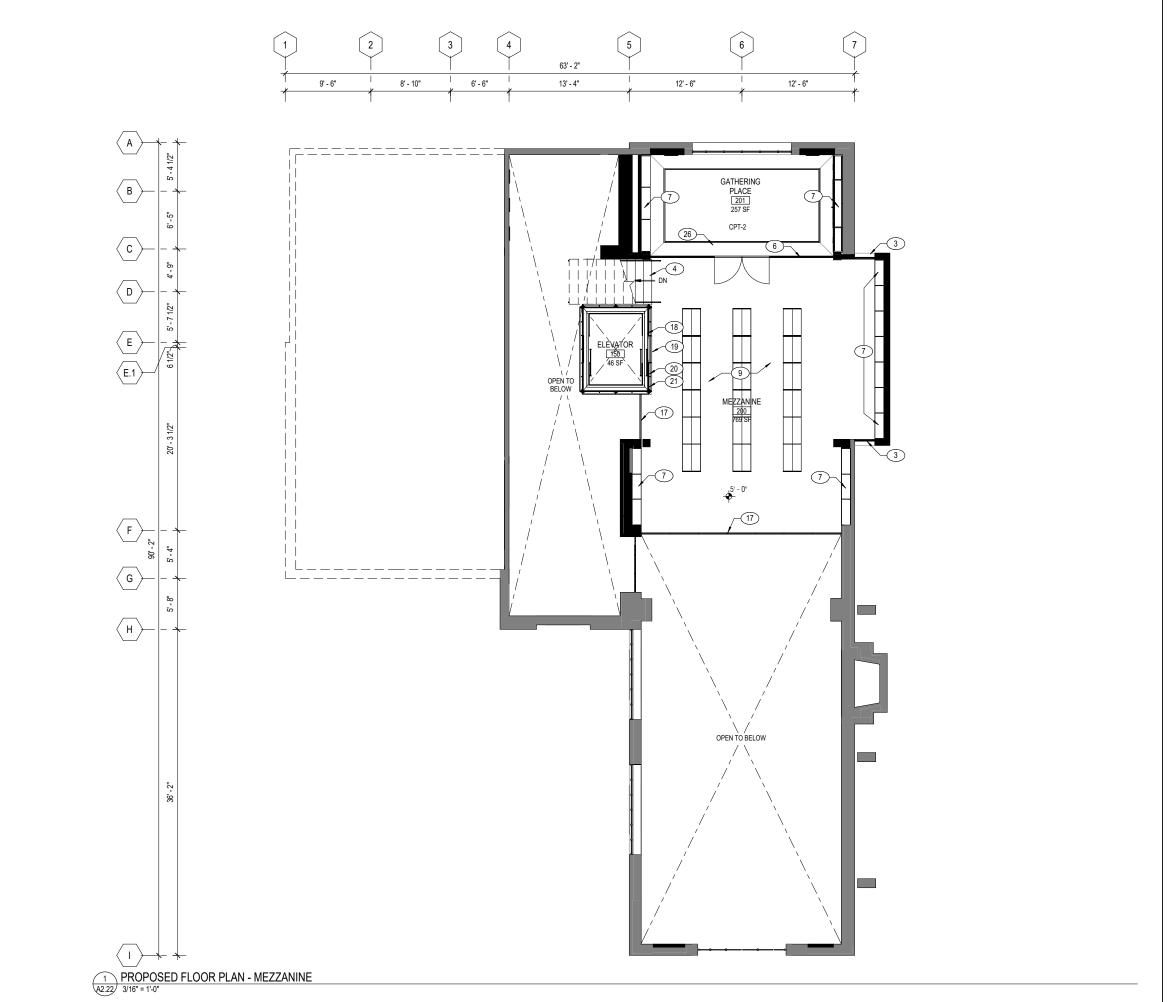
OCEAN & LINCOLN AVENUE CARMEL-BY-THE-SEA, CA 93923

MASTER PLAN

FLOOR PLAN - MAIN **FLOOR**

 ∧ REVISIONS NO. DATE DESCRIPTION

08/25/2023 DATE SCALE As indicated JOB NO. 2023-01



1. SEE ROOM FINISH SCHEDULE FOR WALL, FLOOR, & CEILING

ARCHITECTURE

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KEY NOTES

- (N) THERMALLY BROKEN STEEL STOREFRONT, MATCH (E) ARCHED WINDOW
- (N) THERMALLY BROKEN STEEL STOREFRONT ENTRANCE DOOR
- (N) THERMALLY BROKEN STEEL WINDOW TO MATCH STOREFRONT
- (4) (N) WOOD STAIR, LANDING & CUSTOM BRONZE HANDRAILS
- 5 ACCESSIBLE STONE RAMP, LANDING & CUSTOM BRONZE RAILINGS
- RAILINGS
 6 FRAMELESS GLASS PARTITION & DOOR
 7 BUILT-IN SOLID WALNUT CASEWORK SHELVING
- 8 PLAM UPPER & LOWER CABINETS W/ QUARTZ COUNTERTOR
- 9 56" TALL SHELVING SOLID REDWOOD END PANELS &
- CANOPIES

 10 56" TALL SHELVING W/ CUSTOM SOLID WD DOORS & BRONZE SCREENS
- 11 CIRCULATION DESK W / QUARTZ COUNTERTOP & SOLID REDWOOD LOWER CABINETS
- (2) SOLID WD BENCH W/ WALNUT BOARDS
 (3) SOLID WALNUT LOWER CABINETS, W/ QUARTZ COUTNTERTOP
- (14) HI LOW DRINKING FOUNTAIN, SEE PLUMBING NARRATIVE
- 15) ACCESSIBLE RESTROOMS AS SHOWN
- 16 (N) FIREPLACE MANTLE BASE, STONE
 17 42" GUARDRAIL, CUSTOM BRONZE FINISH
- 18 CUSTOM GLASS ELEVATOR CAB W/ CUSTOM DECORATIVE WROUGHT IRON INTERIOR
- 19 DECORATIVE CUSTOM WROUGHT IRON @ EXTERIOR OF HOISTWAY
- 20 CUSTOM FIRE RATED GLASS HOISTWAY
- 21 PROVIDE ALLOWANCE FOR CUSTOM AESS @ ELEVATOR HOISTWAY STRUCTURE & RAILS
- PTD HM DOOR & FRAME

 23 WD DOOR & FRAME W/ CLEAR FINISH
- 24 FRAMELESS GLASS PARTITION & DOOR, FROSTED
- 25 REPAIR/STRENGHTEN BALCONY AND RAILING. EXTEND RAILING TO CODE COMPLIANT HEIGHT
- 26 WOOD BORDER

LEGEND

NEW WALL

EXISTING WALL

INFILL (E) RECESSED FLOOR FOR (N) FLOOR FINISH

OWNER

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MASTER PLAN

FLOOR PLAN -MEZZANINE

NO. DATE

08/25/2023 As indicated SCALE JOB NO. 2023-01



- 1. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION
- SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
 SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION\
- SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
- 5. ACOUSTIC TILE SHALL BE CENTERED IN ROOM UON
- 6. ALL GYP BD CEILINGS ARE SUSPENDED UON
 7. ASSUME 4" x 48" RECESSED LINEAR LIGHTING FIXTURES @ 8' 0" O.C. IN ALL ACOUSTIC CEILING TILE CEILING

KEY NOTES

- 1 OPEN TO STRUCTURE ABOVE, PAINT EXPOSED BEAMS, ROOF DECK, CONDUIT & DUCTWORK
- (N) AUTOMATED SKYLIGHT, SED, SMD
- 3 DECORATIVE IRON CHANDELIER
- 4 DECORATIVE BRASS PEDANTS
- 5 (N) ARCHITECTURAL GRADE REDWOOD BEAMS, FINISHED TO MATCH EXISTING, CLEAR STAIN AND SEAL, SSD

- 9 PAINT (E) SOFFIT, JOISTS AND BEAMS
- (N) REDWOOD COLUMN

2X4 ACOUSTIC CEILING TILE, ARMSTRONG OPTIMA

PTD GWB CEILING

T&G REDWOOD SOFFIT TO MATCH (E) WD CLG

T&G REDWOOD SOFFIT TO MATCH (E) WD CLG

(N) T&G REDWOOD CEILING WITH REDWOOD PURLINS TO MATCH (E) WD CLG

STRIP PAINT OFF EXISTING REDWOOD BEAMS, JOISTS AND DECKING. SANDBLAST, REFINISH, STAIN AND SEAL

STRIP PAINT OFF EXISTING REDWOOD BEAMS, JOISTS AND DECKING. SANDBLAST, REFINISH, STAIN AND SEAL

VENETIAN PLASTER

ARCHITECTURE

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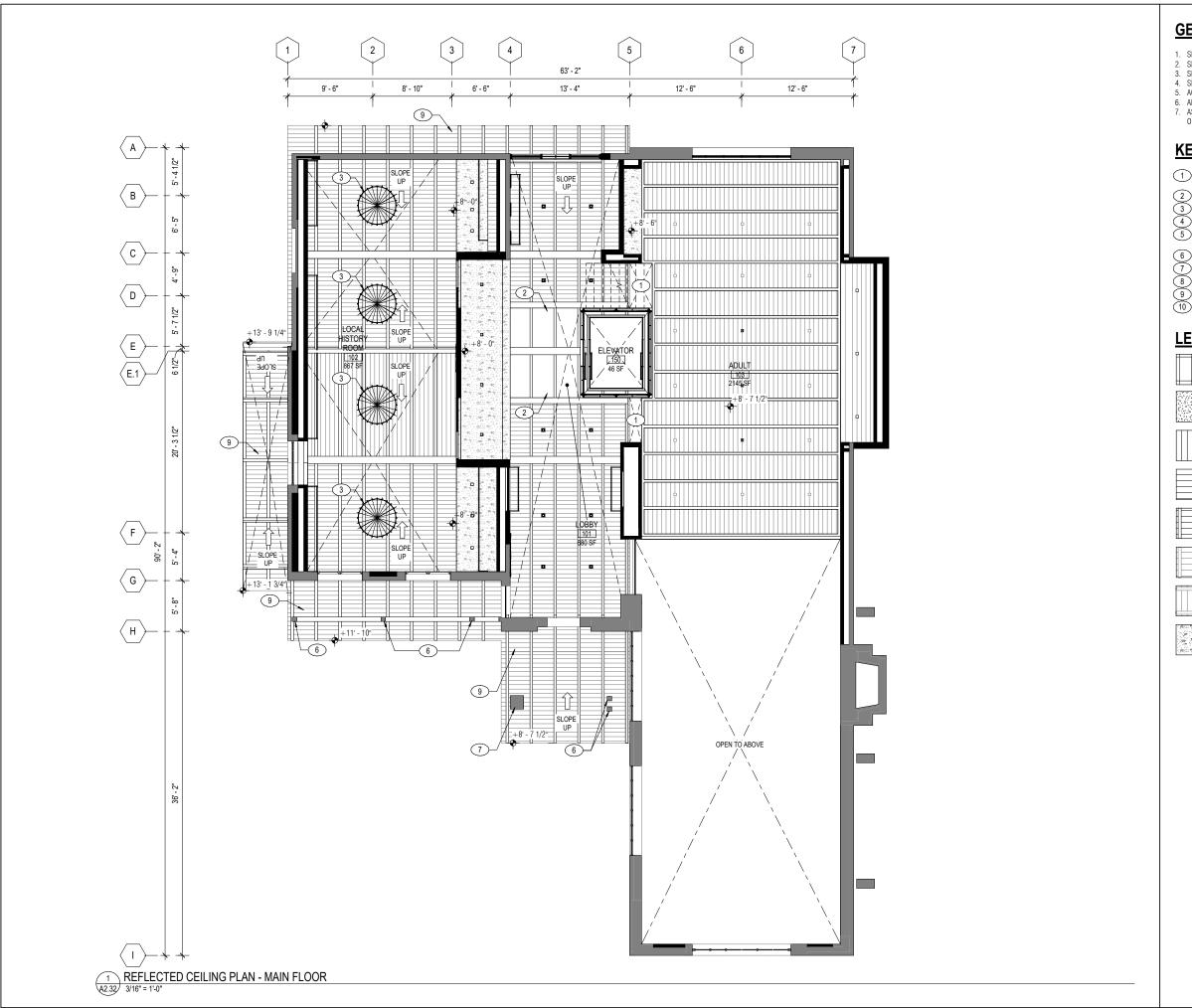
MASTER PLAN

REFLECTED CEILING PLAN - BASEMENT

DESCRIPTION NO. DATE

A REVISIONS

08/25/2023 As indicated SCALE JOB NO. 2023-01



- SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION
 SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
 SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

- SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
- 5. ACOUSTIC TILE SHALL BE CENTERED IN ROOM UON
- 6. ALL GYP BD CEILINGS ARE SUSPENDED UON
 7. ASSUME 4" x 48" RECESSED LINEAR LIGHTING FIXTURES @ 8' 0" O.C. IN ALL ACOUSTIC CEILING TILE CEILING

KEY NOTES

- OPEN TO STRUCTURE ABOVE, PAINT EXPOSED BEAMS, ROOF DECK, CONDUIT & DUCTWORK
- (2) (N) AUTOMATED SKYLIGHT, SED, SMD
- 3 DECORATIVE IRON CHANDELIER
- 4 DECORATIVE BRASS PEDANTS
- (N) ARCHITECTURAL GRADE REDWOOD BEAMS, FINISHED TO MATCH EXISTING, CLEAR STAIN AND SEAL, SSD
- 6 PAINT (E) COLUMN
 7 (E) WOOD COLUMN
 8 VENETIAN PLASTER @ (E) ARCH

- 9 PAINT (E) SOFFIT, JOISTS AND BEAMS
- (10) (N) REDWOOD COLUMN

LEGEND

2X4 ACOUSTIC CEILING TILE, ARMSTRONG OPTIMA

PTD GWB CEILING

T&G REDWOOD SOFFIT TO MATCH (E) WD CLG

T&G REDWOOD SOFFIT TO MATCH (E) WD CLG

(N) T&G REDWOOD CEILING WITH REDWOOD PURLINS TO MATCH (E) WD CLG

STRIP PAINT OFF EXISTING REDWOOD BEAMS, JOISTS AND DECKING. SANDBLAST, REFINISH, STAIN AND SEAL

STRIP PAINT OFF EXISTING REDWOOD BEAMS, JOISTS AND DECKING. SANDBLAST, REFINISH, STAIN AND SEAL

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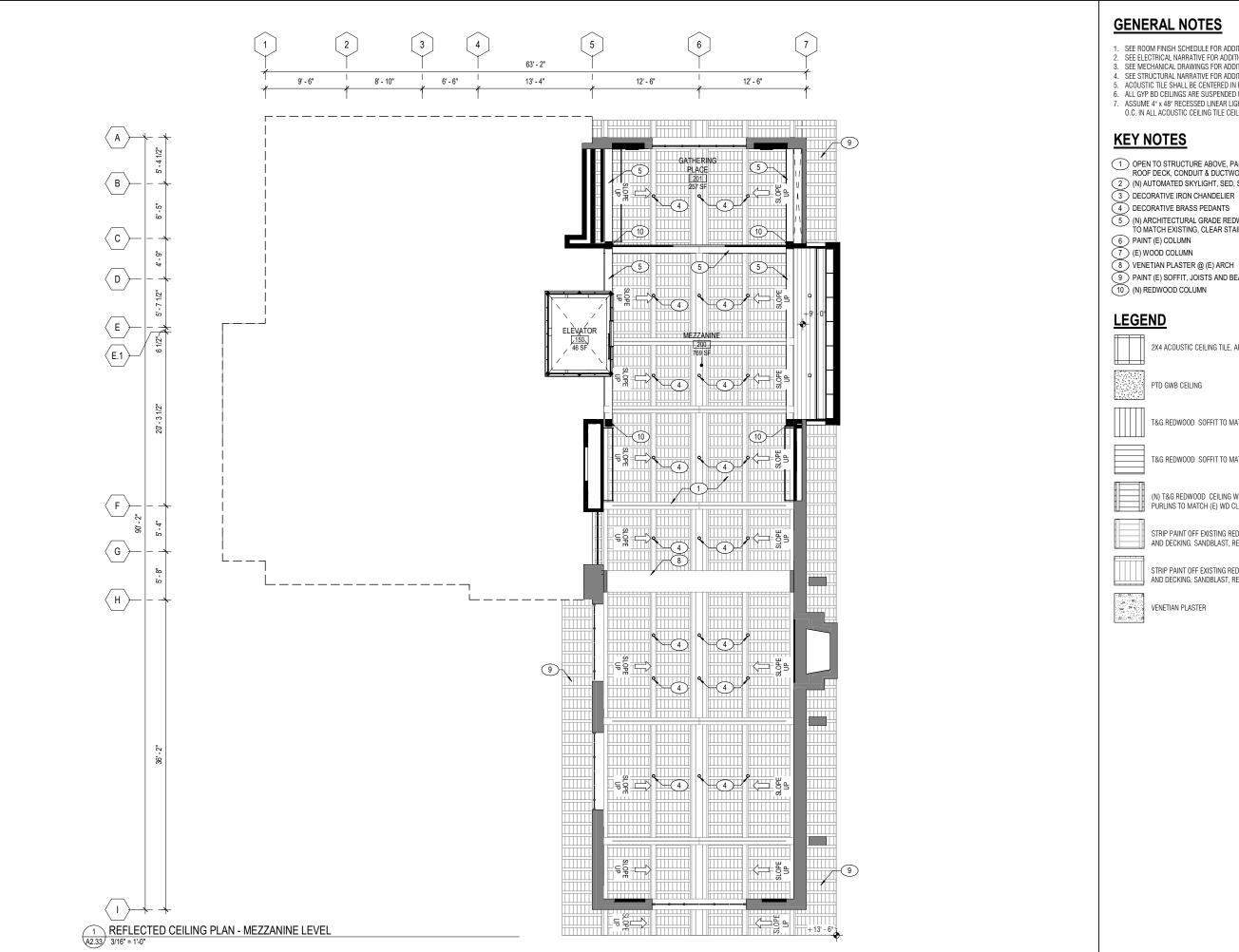
MASTER PLAN

REFLECTED CEILING PLAN - MAIN FLOOR

DESCRIPTION NO. DATE

A REVISIONS

08/25/2023 DATE SCALE As indicated JOB NO 2023-01



- 1. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION
- SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
 SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
- ACOUSTIC TILE SHALL BE CENTERED IN ROOM UON
- 6. ALL GYP BD CEILINGS ARE SUSPENDED UON 7. ASSUME 4" x 48" RECESSED LINEAR LIGHTING FIXTURES @ 8' 0" O.C. IN ALL ACOUSTIC CEILING TILE CEILING

KEY NOTES

- OPEN TO STRUCTURE ABOVE, PAINT EXPOSED BEAMS, ROOF DECK, CONDUIT & DUCTWORK
- (2) (N) AUTOMATED SKYLIGHT, SED, SMD
- 3 DECORATIVE IRON CHANDELIER
- (N) ARCHITECTURAL GRADE REDWOOD BEAMS, FINISHED TO MATCH EXISTING, CLEAR STAIN AND SEAL, SSD

- 9 PAINT (E) SOFFIT, JOISTS AND BEAMS

2X4 ACOUSTIC CEILING TILE, ARMSTRONG OPTIMA

PTD GWB CEILING

T&G REDWOOD SOFFIT TO MATCH (E) WD CLG

T&G REDWOOD SOFFIT TO MATCH (E) WD CLG

(N) T&G REDWOOD CEILING WITH REDWOOD PURLINS TO MATCH (E) WD CLG

STRIP PAINT OFF EXISTING REDWOOD BEAMS, JOISTS AND DECKING. SANDBLAST, REFINISH, STAIN AND SEAL

STRIP PAINT OFF EXISTING REDWOOD BEAMS, JOISTS AND DECKING. SANDBLAST, REFINISH, STAIN AND SEAL

VENETIAN PLASTER

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MASTER PLAN

REFLECTED CEILING PLAN - MEZZANINE

NO. DATE

∧ REVISIONS

08/25/2023 As indicated SCALE JOB NO. 2023-01

	ROOM FINISH SCHEDULE								
#	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS	AREA		
001		(E) CONC SLAB	N/A	CONC	OPEN TO STRUCTURE	XYPEX SURFACE TREATMENT ON ALL (E) CONC SURFACES	1460 SF		
050	STAIR	PRECAST CONC	N/A	CONC	OPEN TO STRUCTURE	XYPEX SURFACE TREATMENT ON ALL (E) CONC SURFACES	144 SF		
101	LOBBY	WOOD FLOOR	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.		669 SF		
102		CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.		382 SF		
103	VESTIBULE	WOOD FLOOR	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	PTD GWB, LEVEL 5		45 SF		
104	RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		71 SF		
105	RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		67 SF		
106	CHILDREN'S	WOOD FLOOR & CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.	SEE FLOOR PLAN FOR EXTENTS OF FLOORING	2600 SF		
107	VESTIBULE	CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	PTD GWB, LEVEL 5		94 SF		
108	FAMILY RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		71 SF		
109	STORAGE	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		64 SF		
110	CORRIDOR	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		119 SF		
111	STAFF RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		75 SF		
112	CUSTODIAL	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		64 SF		
113		CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		622 SF		
114	OFFICE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		122 SF		
115	OFFICE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		121 SF		
116	STAFF LOUNGE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		201 SF		
117	TELECOM	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		80 SF		
118	ELECTRICAL	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		80 SF		
119	MECHANICAL	N/A	N/A	N/A	N/A	SEE SITE PLAN	383 SF		
150	STAIR	PRECAST CONC	N/A	CONC	OPEN TO STRUCTURE		144 SF		

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PARK BRANCH LIBRARY

MISSION & 6TH AVENUE CARMEL-BY-THE-SEA, CA 93921



MASTER PLAN

ROOM FINISH SCHEDULE

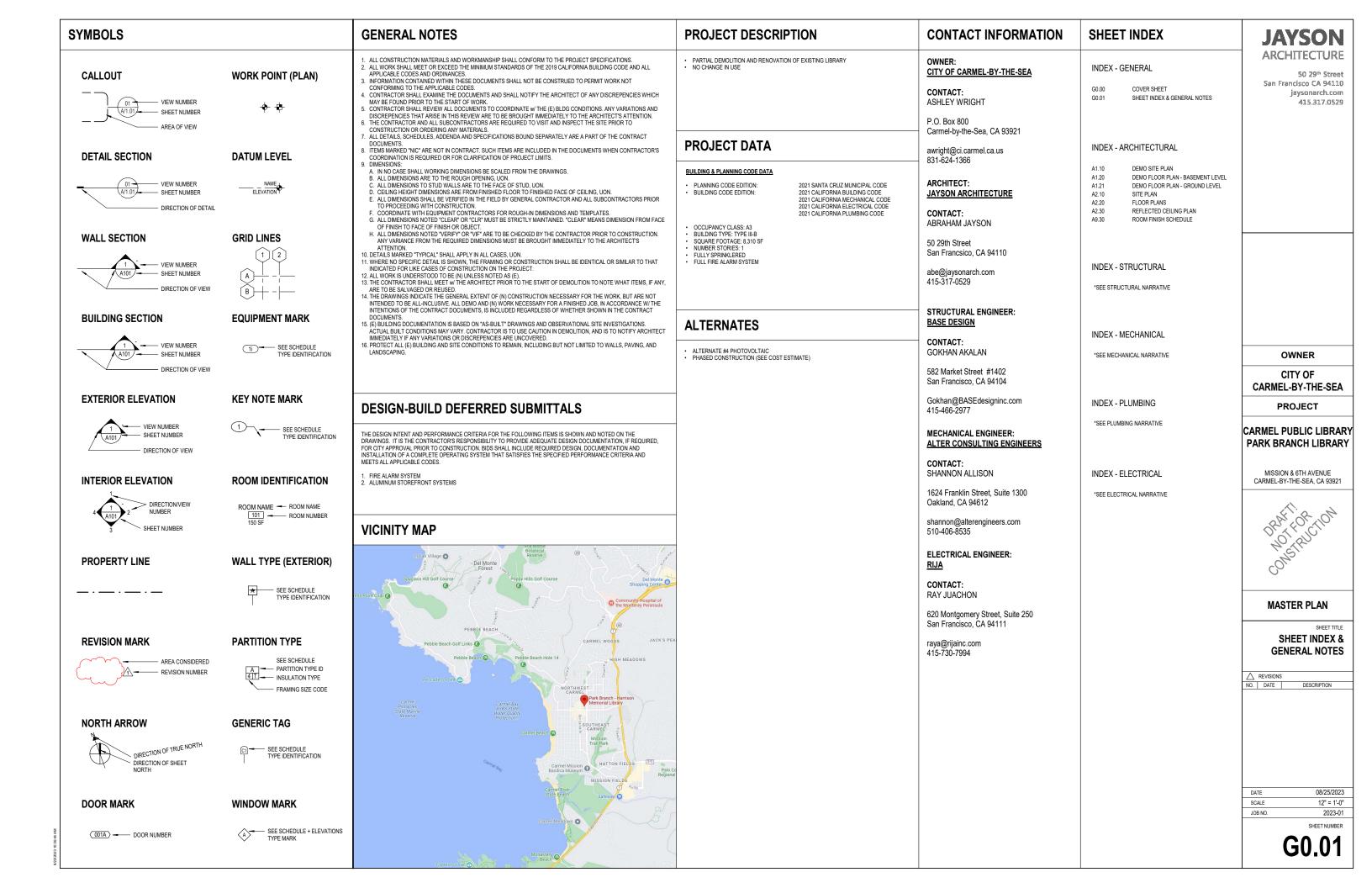
REVISIONS

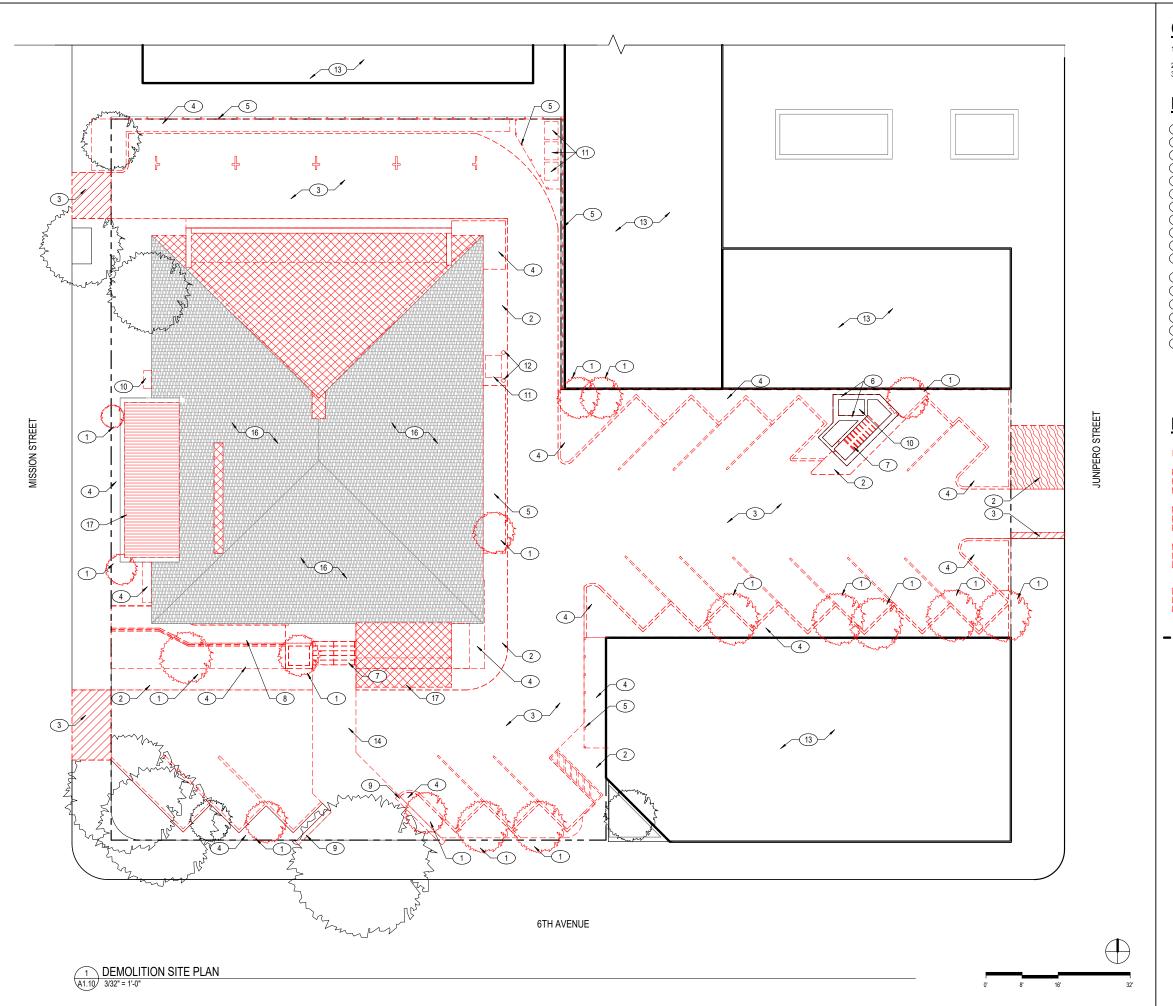
NO. DATE DESCRIPTION

DATE 08/25/2023 SCALE

JOB NO. 2023-01

A9.30





- DEMO ALL (E) SITE LIGHTING, SEE ELECTRICAL NARRATIVE FOR SITE DEMO INFORMATION AND ADDITIONAL SITE IMPROVEMENTS
 SEE MECHANICAL NARRATIVE FOR SITE DEMO INFORMATION
 SEE STRUCTURAL NARRATIVE FOR SITE DEMO INFORMATION

KEY NOTES

- 1 DEMO (E) TREE
 2 DEMO (E) CURB & SIDEWALK
 3 DEMO (E) DRIVEWAY & PARKING STRIPING
 4 DEMO (E) PLANTING AREA
- 5 DEMO (E) FENCE
- 6 DEMO (E) WALLS
- 7 DEMO (E) STAIR, HANDRAILS & LANDINGS

- B DEMO (E) RAMP, HANDRAILS & LANDINGS
 DEMO (E) SITE WALL
 DEMO (E) MECHANICAL UNIT, SEE MECH NARRATIVE
- 11 DEMO (E) ELECTRICAL SERVICES, SEE ELECTRICAL NARRATIVE

 12 DEMO (E) BOLLARD
- 13 ADJACENT PROPERTIES

- 14 DEMO (E) PAVERS
 15 DEMO (E) ROOFING SURFACE
 16 DEMO (E) SHINGLES ON ROOF
 17 DEMO (E) FLAT ROOF

LEGEND

(E) WALL TO BE DEMOLISHED

DEMO (E) ROOFING TO SUB STRUCTURE



DEMO (E) ROOFING SURFACE



DEMO (E) DRIVEWAY



DEMO (E) CURB & SIDEWALK FOR (N) DRIVEWAY

PROPERTY LINE / BOUNDARY OF WORK

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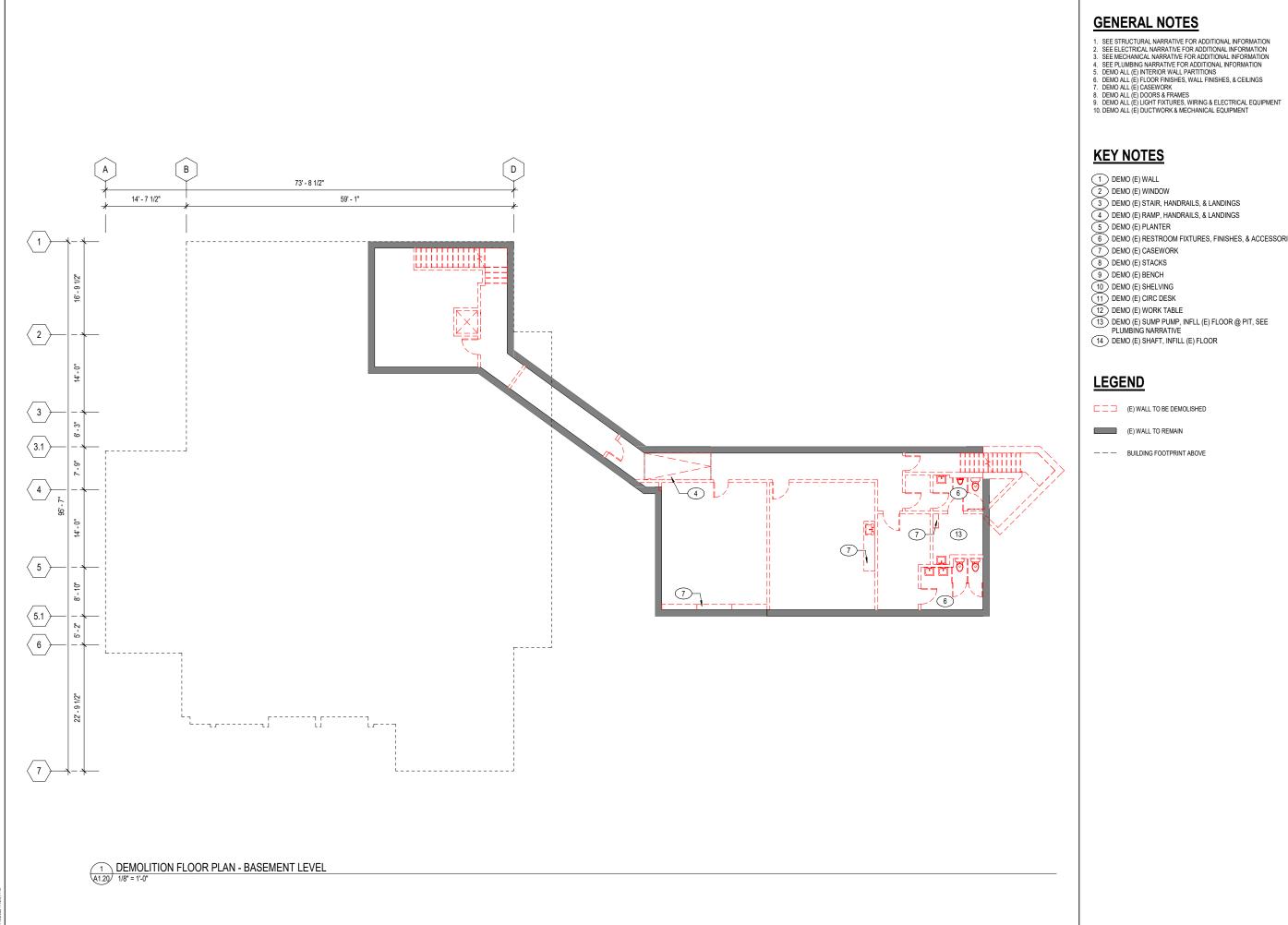
MASTER PLAN

DEMO SITE PLAN

REVISIONS
NO. DATE

DESCRIPTION

07/11/2023 DATE SCALE As indicated JOB NO. 2023-01



KEY NOTES

- 1 DEMO (E) WALL
 2 DEMO (E) WINDOW
 3 DEMO (E) STAIR, HANDRAILS, & LANDINGS
- 4 DEMO (E) RAMP, HANDRAILS, & LANDINGS
- 5 DEMO (E) PLANTER
- 6 DEMO (E) RESTROOM FIXTURES, FINISHES, & ACCESSORIES

- 10) DEMO (E) SHELVING
- 11) DEMO (E) CIRC DESK
- 12 DEMO (E) WORK TABLE
 13 DEMO (E) SUMP PUMP, INFLL (E) FLOOR @ PIT, SEE PLUMBING NARRATIVE
- 14 DEMO (E) SHAFT, INFILL (E) FLOOR

LEGEND

(E) WALL TO BE DEMOLISHED

(E) WALL TO REMAIN

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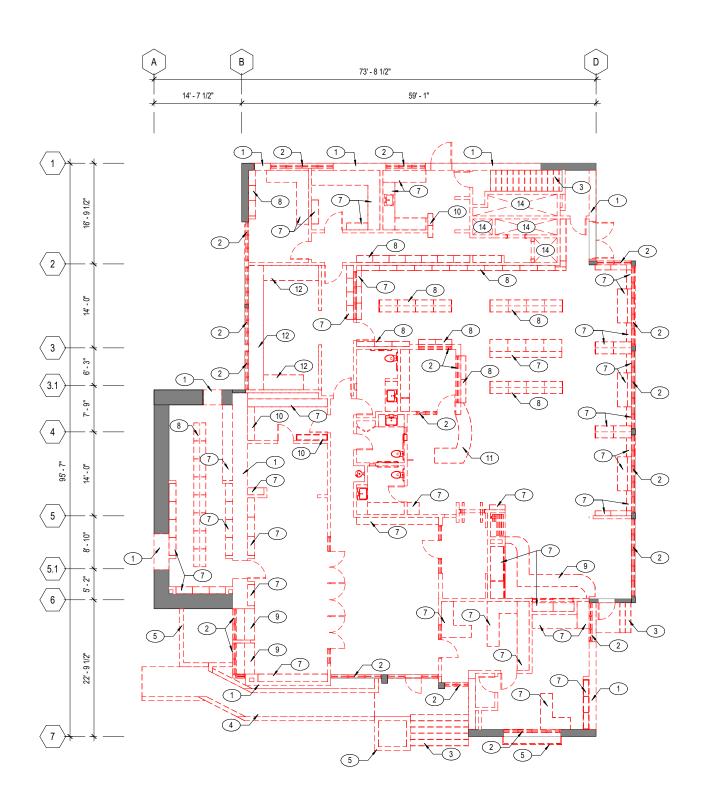
MASTER PLAN

DEMO FLOOR PLAN -BASEMENT LEVEL

REVISIONS
NO. DATE DESCRIPTION

07/11/2023 DATE SCALE 1/8" = 1'-0" JOB NO. 2023-01

SHEET NUMBER



1 DEMOLITION FLOOR PLAN - LEVEL 01 1/8" = 1'-0"

GENERAL NOTES

- 1. SEE STRUCTURAL NARRATIVE FOR ADDITIONAL INFORMATION
 2. SEE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
 3. SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
 4. SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION
 5. DEMO ALL (E) INTERIOR WALL PARTITIONS
 6. DEMO ALL (E) LOOR FINISHES, WALL FINISHES, & CEILINGS
 7. DEMO ALL (E) CASEWORK
 8. DEMO ALL (E) DORS & FRAMES
 9. DEMO ALL (E) DORS & FRAMES
 10. DEMO ALL (E) DUCTWORK & MECHANICAL EQUIPMENT
 10. DEMO ALL (E) DUCTWORK & MECHANICAL EQUIPMENT

KEY NOTES

- 1 DEMO (E) WALL
- 2 DEMO (E) WINDOW 3 DEMO (E) STAIR, HANDRAILS, & LANDINGS

- 4 DEMO (E) RAMP, HANDRAILS, & LANDINGS
 5 DEMO (E) PLANTER
 6 DEMO (E) RESTROOM FIXTURES, FINISHES, & ACCESSORIES
 7 DEMO (E) CASEWORK
- 8 DEMO (E) STACKS
- 9 DEMO (E) BENCH

- 10 DEMO (E) SENCH
 11 DEMO (E) SHELVING
 11 DEMO (E) CIRC DESK
 12 DEMO (E) WORK TABLE
 13 DEMO (E) SUMP PUMP, INFLL (E) FLOOR @ PIT, SEE PLUMBING NARRATIVE
- 14) DEMO (E) SHAFT, INFILL (E) FLOOR

LEGEND

(E) WALL TO BE DEMOLISHED

(E) WALL TO REMAIN

——— BUILDING FOOTPRINT ABOVE

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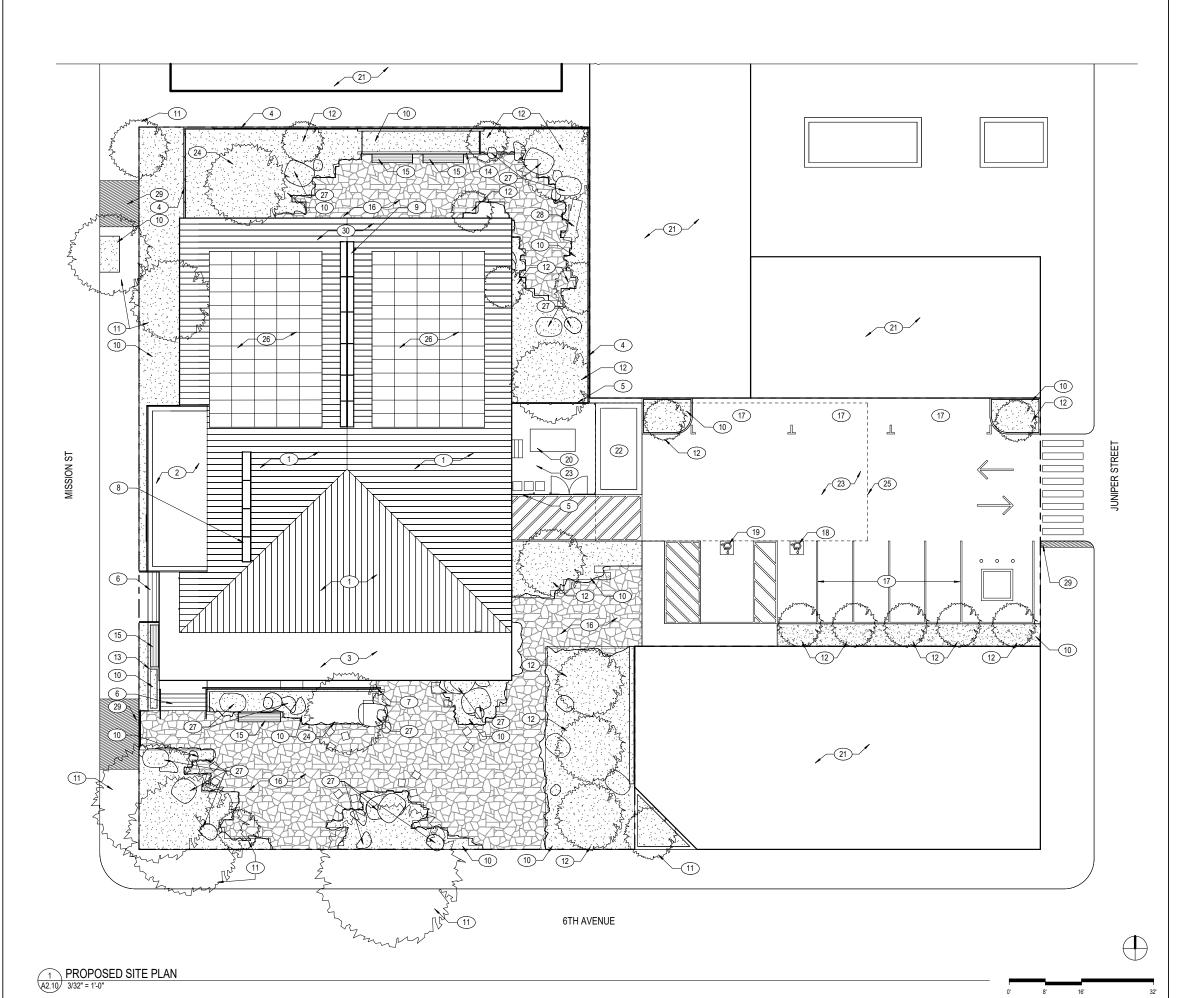
MASTER PLAN

DEMO FLOOR PLAN -GROUND LEVEL

REVISIONS
NO. DATE DESCRIPTION

07/11/2023 DATE SCALE 1/8" = 1'-0" JOB NO. 2023-01

SHEET NUMBER



SEE ELECTRICAL NARRATIVE FOR SITE LIGHTNING & ADDITIONAL SITE IMPROVEMENTS

KEY NOTES

- (N) ZINC STANDING SEAM ROOF OVER (E) FRAMING
 (N) PVC ROOFING OVER (E) FRAMING
 (N) ENTRY CANOPY, PVC ROOF

 7-0" TALL ENCLOSURE, WESTERN RED CEDAR W/ SHOU

- SUGI BAN FINISH
- 5 7'-0" TALL MECHANICAL ENCLOSURE, WESTERN RED CEDAR W/ SHOU SUGI BAN FINISH
- 6 (N) STONE STAIR W/ CUSTOM BRONZE HANDRAILS, & 6 (N) STONE STAIR W/ CUSTOM BRONZE HANDRAILS, & LANDING
 7 (N) ACCESSIBLE STONE RAMP W/ CUSTOM BRONZE HANDRAILS, & LANDING
 8 SKYLIGHT
 9 AUTOMATED SKYLIGHT
 10 PLANTING AREA
 11 (E) TREE TO REMAIN
 12 (N) TREE
 13 78" CONC PLANTER W/ HORIZONTAL BOARD FORM FINISH

- 14 32" CONC PLANTER W/ COR-TEN STEEL PLATES
 15 BUILT-IN BENCH, W/ WESTERN RED CEDAR BOARDS
 16 STONE PAVERS
 17 (N) PARKING

- 18) ACCESSIBLE PARKING
- 19 ACCESSIBLE VAN PARKING
- 20 MECHANICAL EQUIPMENT, SEE MECHANICAL NARRATIVE
- 21 ADJACENT PROPERTIES
 22 (N) PVC ROOF, SLOPED 1/4" PER FT.
 23 (N) ASPHALT SURFACE LOT
 24 (N) SPECIMEN TREE, 72" BOX
 25 BASEMENT LEVEL BELOW

- 26 PV ARRAY, SED
 27 SITE BOULDERS
 28 REDWOOD LOG, SANDED SMOOTH
- 29 (N) CONCRETE SIDEWALK
 30 (N) ROOF STRUCTURE AT GABLE ROOF EXTENSION

LEGEND

(N) PLANTING AREA



32.5" SOIL INFILL TO MATCH FINISH FLOOR ELEVATION W/ RETAINING WALLS @ PERIMETER



(N) CONCRETE SIDEWALK

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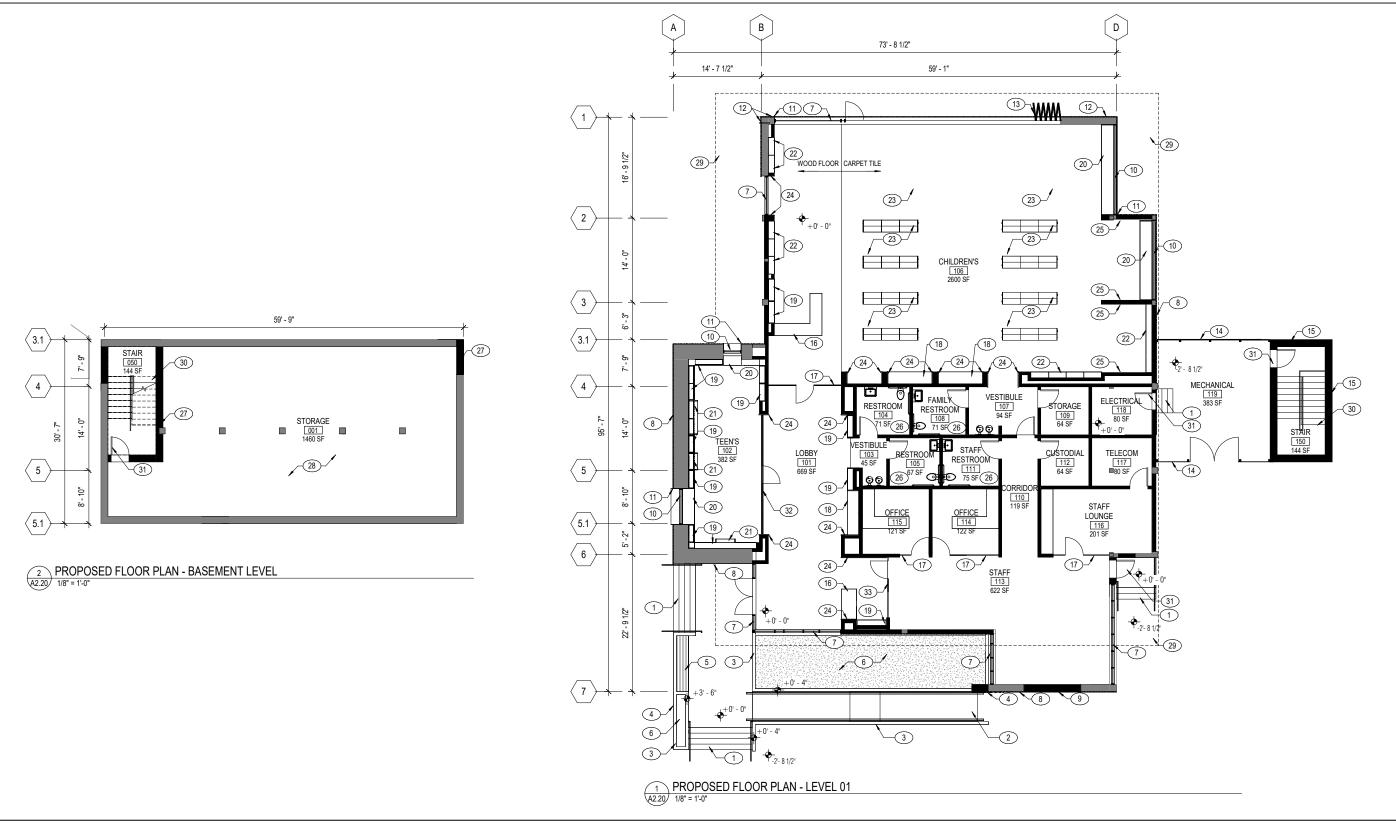
MASTER PLAN

SITE PLAN

DESCRIPTION

NO. DATE

08/25/2023 SCALE As indicated JOB NO.



- 1. SEE ROOM FINISH SCHEDULE FOR WALL, FLOOR, & CEILING FINISHES
- 2. ALL INTERIOR WALLS & PARTITIONS TO BE PTD GWB ON MTL STUDS UON
 3. INSTALL (N) SUMP PUMP @ BASEMENT LEVEL, SEE PLUMBING NARRATIVE FOR ADDITIONAL INFORMATION

KEY NOTES

- (N) STONE STAIR, LANDING & CUSTOM BRONZE HANDRAILS
 (N) ACCESSIBLE STONE RAMP, LANDINGS & CUSTOM
- BRONZE RAILINGS
 3 CONC SITE WALL W/ HORIZONTAL BOARD FORM FINISH
 4 SIGNAGE W/ BRONZE LETTERING
 5 BUILT-IN BENCH, W/ WESTERN RED CEDAR BOARDS
 6 PLANTING AREA

- 7 THERMALLY BROKEN STEEL STOREFRONT, 9' TALL
- 8 WESTERN RED CEDAR W/ SHOU SUGI BAN FINISH OVER (E)
- 10 THERMALLY BROKEN STEEL STOREFRONT WDW 112" PTD ALUM SURROUND

- 12 ALUM WALL PANEL TO MATCH STOREFRONT
 13 NANAWALL OPERABLE EXTERIOR STOREFRONT, 9' TALL
 14 MECH ENCLOSURE 7' 0" TALL WESTERN RED CEDAR WITH SHOU SUGI BAN FINISH
- (15) WESTERN RED CEDAR RAINSCREEN W/ SHOU SUGI BAN FINISH OVER (N) CONCRETE WALL
- 16 CIRCULATION DESK W/ QUARTZ COUNTERTOP & PTD WD
- (19) PTD WD BUILT-IN SHELVING, 56" TALL

- 20 BUILT-IN SHELVING, 30 TALL
 21 SOLID BIRCH COUNTERTOP
 22 PTD WD BUILT-IN SHELVING 42" TALL
 23 COLLECTION STACKS, 42" TALL CANTILEVER MTL W/ PTD WD END PANELS & CANOPIES
 24 1 1/2" SOLID MAPLE WD SURROUND
- 25 VERTICAL SOLID MAPLE 1x2 WD SLATS @ 1.5" O.C. W/ BLACK ACOUSTIC FABRICK BACKER
- 28 XYPEX SURFACE TREATMENT ON ALL (E) CONC WALLS, SLABS, CEILINGS & COLUMNS
- (29) ROOF OVERHANG ABOVE
- (30) PREFAB MTL PAN STAIR & RAILINGS
- (31) HOLLOW MTL DR
- 32 FRAMELESS GLASS PARTITION & DOOR W/ CUSTOM GRAPHIC INTERLAYER

LEGEND

EXISTING WALL

(33) FRAMELESS GLASS PARTITION & DOOR, FROSTED

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ARCHITECTURE

50 29th Street

OWNER

CITY OF **CARMEL-BY-THE-SEA**

PROJECT

CARMEL PUBLIC LIBRARY PARK BRANCH LIBRARY

MISSION & 6TH AVENUE CARMEL-BY-THE-SEA, CA 93921



MASTER PLAN

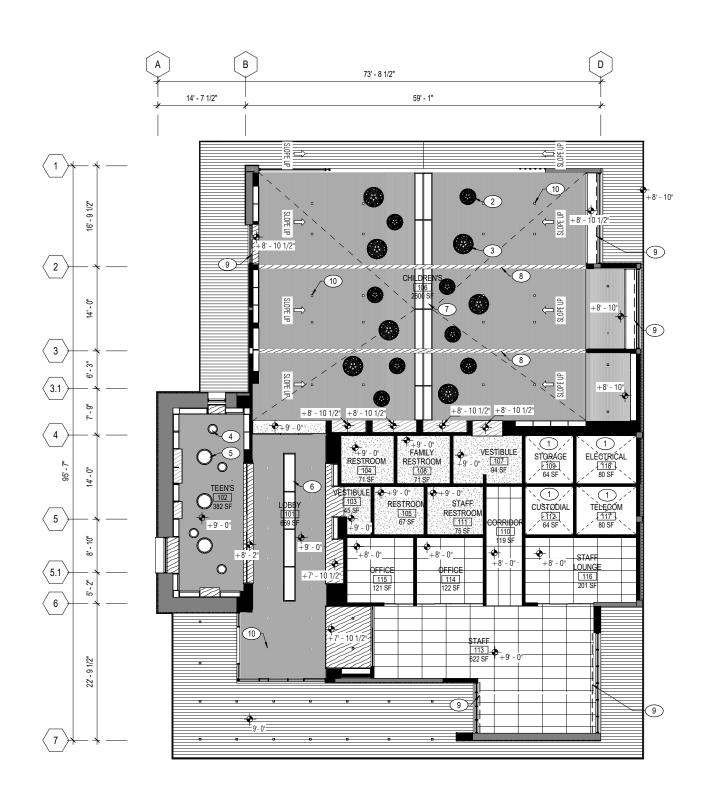
FLOOR PLANS

NO. DATE DESCRIPTION

08/25/2023 DATE SCALE 1/8" = 1'-0" JOB NO. 2023-01

SHEET NUMBER

(26) ACCESSIBLE SINGLE OCCUPANCY RESTROOM 17) FRAMELESS GLASS PARTITION & DOOR
18) PTD WD LOWER CABINETS W/ QUARTZ COUNTERTOP 9 WESTER N RED CEDAR RAINSCREEN W/ SHOU SUGI BAN (N) CONCRETE WALL W/ XYPEX ADMIXTURE FINISH OVER (N) INFILL WALL



REFLECTED CEILING PLAN - LEVEL 01

GENERAL NOTES

- SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION
 SEE THE ELECTRICAL NARRATIVE FOR ADDITIONAL INFORMATION
 SEE MECHANICAL NARRATIVE FOR ADDITIONAL INFORMATION
- 3. SEE MECHANICAL NARKRAIDE FOR ADDITIONAL INFORMATION
 4. PAINT ALL EXPOSED STRUCTURES, PIPES, DUCTS, CONDUIT & ALL
 OTHER EXPOSED ITEMS, TYP
 5. ASSUME 4"x 48" RECESSED LINEAR LIGHTING FIXTURES @ 8" 0"
 O.C. IN ALL ACOUSTIC CEILING TILE CEILINGS
 6. ASSUME RECESSED CAN LIGHTING @ 4" 0" O.C. IN ALL GWB

- CELLINGS
 7. ASSUME RECESED CAN LIGHTING @ 4' 0" O.C. IN ALL WD SLAT CEILINGS & T&G WOOD SOFFITS

KEY NOTES

- 1 OPEN TO STRUCTURE ABOVE, PAINT EXPOSED BEAMS, ROOF DESK, CONDUIT, & DUCTWORK
- 2 DECORATIVE PENDANT FIXTURES, DIA 32", DAVID TRUBRIDGE DESIGN, FLO-0800
- TRUBRIDGE DESIGN, FLU-U88U

 3 DECORATIVE PENDANT FIXTURES, DIA 40", DAVID
 TRUBRIDGE DESIGN, FLU-1000

 4 SURFACE LIGHT FIXTURES, DIA 18 3/4", RAMOS & BASSOLS,
 VIBIA DUO-4870
- 5 SURFACE LIGHT FIXTURES, DIA 31", RAMOS & BASSOLS, VIBIA DUO-4872
- VIBIA DUO-4872

 (N) SLYLIGHT

 (N) AUTOMATED SKYLIGHT

 (E) WD BEAM, CLEAN & STAIN W/ CLEAR FINISH

 ELECTRIC ROLLER SHADES, SED
- (10) RECESSED CAN LIGHTING IN WD SLAT CEILING

RCP FINISH LEGEND

2X4 ACOUSTIC CEILING TILE, ARMSTRONG OPTIMA

PTD GWB CEILING, SUSPENDED, UON

T&G WESTERN RED CEDAR SOFFIT

1X2 SOLID MAPLE WD SLATS @1.5" O.C., W/ BLACK ACOUSTIC FABRIC BACKING, SEE RCP FOR DIRECTION OF WD SLATS

VENEER WD SOFFIT

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	ROOM FINISH SCHEDULE								
#	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS	AREA		
001	STORAGE	(E) CONC SLAB	N/A	CONC	OPEN TO STRUCTURE	XYPEX SURFACE TREATMENT ON ALL (E) CONC SURFACES	1460 SF		
050	STAIR	PRECAST CONC	N/A	CONC	OPEN TO STRUCTURE	XYPEX SURFACE TREATMENT ON ALL (E) CONC SURFACES	144 SF		
101	LOBBY	WOOD FLOOR	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.		669 SF		
102	TEEN'S	CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.		382 SF		
103	VESTIBULE	WOOD FLOOR	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	PTD GWB, LEVEL 5		45 SF		
104	RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		71 SF		
105	RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		67 SF		
106	CHILDREN'S	WOOD FLOOR & CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	1X2 SOLID MAPLE ACOUSTIC WOOD SLATS @ 1.5" O.C.	SEE FLOOR PLAN FOR EXTENTS OF FLOORING	2600 SF		
107	VESTIBULE	CARPET TILE	1X4 WOOD BASE, PTD	PTD GWB, LEVEL 5	PTD GWB, LEVEL 5		94 SF		
108	FAMILY RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		71 SF		
109	STORAGE	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		64 SF		
110	CORRIDOR	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		119 SF		
111	STAFF RESTROOM	TILE	TILE	TILE	PTD GWB, LEVEL 4		75 SF		
112	CUSTODIAL	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		64 SF		
113	STAFF	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		622 SF		
114	OFFICE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		122 SF		
115	OFFICE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		121 SF		
116	STAFF LOUNGE	CARPET TILE	RUBBER BASE	PTD GWB, LEVEL 4	24" X 48" ACOUSTIC CLG TILE		201 SF		
117	TELECOM	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		80 SF		
118	ELECTRICAL	POLISH (E) CONC SLAB	RUBBER BASE	PTD GWB, LEVEL 3	OPEN TO STRUCTURE		80 SF		
119	MECHANICAL	N/A	N/A	N/A	N/A	SEE SITE PLAN	383 SF		
150	STAIR	PRECAST CONC	N/A	CONC	OPEN TO STRUCTURE		144 SF		

JAYSON ARCHITECTURE

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MASTER PLAN

ROOM FINISH SCHEDULE

	REVISIONS	;
NO.	DATE	DESCRIPTION

DATE 08/25/2023 SCALE JOB NO. 2023-01

SHEET NUMBER

2023 10:54:41 AM

