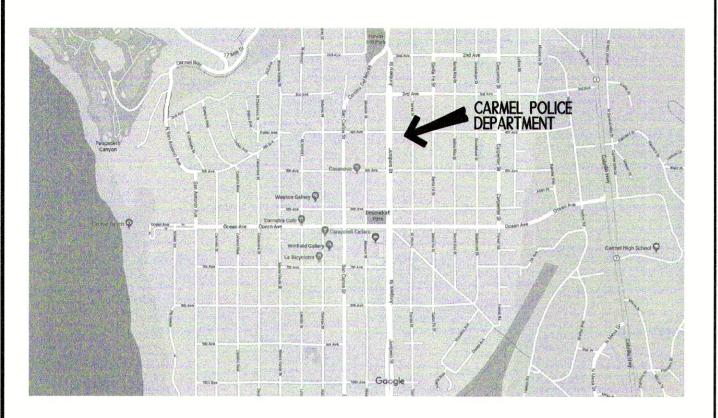
LOCATION MAP





PROJECT DATA

- 1. PROJECT: RENOVATIONS, CITY OF CARMEL-BY-THE-SEA POLICE DEPARTMENT
- 2. LOCATION: JUNIPERO ST. AND 4TH AVE., CARMEL-BY-THE-SEA, CALIFORNIA
- 3. BUILDING OWNER: CITY OF CARMEL-BY-THE-SEA
- P.O. BOX CC, CARMEL-BY-THE-SEA, CA 93921 831-620-2070
- 4. ASSESSOR'S PARCEL NUMBER: 010-096-013
- 5. ZONING: R-4 EXISTING, NO CHANGE
- 6. LOT SIZE: 51,500 SF EXISTING, NO CHANGE
- 7. BUILDING SITE COVERAGE: 38,691 EXISTING, NO CHANGE
- 8. OCCUPANCY: "B" (EXISTING OFFICES); "S-2" (EXISTING ENCLOSED GARAGE)
- 9. CONSTRUCTION TYPE: V-B
- IO. NUMBER OF STORIES: 2 STORIES, PLUS BASEMENT
- II. BUILDING AREA: 22,084 SF EXISTING, NO CHANGE
- 12. FIRE SPRINKLER SYSTEM: NONE
- 13. FIRE ALARM SYSTEM: EXISTING MONITORED SYSTEM
- 14. CODES:
- 2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART I, TITLE 24 C.C.R. 2016 CALIFORNIA BUILDING CODE, VOLUMES 1 & 2; PART 2, TITLE 24 C.C.R.
- 2016 CALIFORNIA ELECTRICAL CODE: PART 3, TITLE 24 C.C.R.
- 2016 CALIFORNIA MECHANICAL CODE; PART 4, TITLE 24 C.C.R. 2016 CALIFORNIA PLUMBING CODE; PART 5, TITLE 24 C.C.R.
- 2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.
- 2016 CALIFORNIA ENERGY CODE, PART 6
- 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R. TITLE 19, C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- 2016 NFPA 13 & NFPA 72 NATIONAL FIRE ALARM CODE (CA. AMENDED)
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- 15. COMPLIANCE WITH CFC CHAPTER 14, FIRE SAFETY DURING CONSTRUCTION & DEMO AND CBC CHAPTER 33, SAFETY DURING CONSTRUCTION WILL BE ENFORCED.
- 16. THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER IO AND CHAPTER II (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE, OF THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.

PROJECT SUMMARY

	EXISTING	PROPOSED	NOTES:
LOT AREA:	51,500 SF	NO CHANGE	
FLOOR AREA:	22,084 SF	NO CHANGE	
LOT COVERAGE:	20,846 SF	NO CHANGE	
IMPERVIOUS SURFACE:	17,806 SF	NO CHANGE	
SETBACKS:			
FRONT:	35'-0' \$ 5'-0'	NO CHANGE	PER CITY STANDARDS, LONGER OF TWO SIDES FOR CORNER LOT: 4TH AVENUE
REAR:	0'-0"	NO CHANGE	
SIDE (TORRES):	VARIES 0'-0" TO 100'-0"	NO CHANGE	
SIDE (JUNIPERO):	VARIES 15'-6" TO 36'-0"	NO CHANGE	
GRADING:	N/A		

ABBREVIATIONS

ANCHOR BOLT **ACCESSIBLE** ADJUSTABLE, ADJACENT ABOVE FINISHED FLOOR ARCHITECT, ARCHITECTURAL BLOCKING BOTTOM CENTERLINE

CONSTRUCTION JOINT DET, DTL. DETAIL DEMOLISH, DEMOLITION DOUGLAS FIR DOOR DOWNSPOUT

EXISTING EXPANSION JOINT ELECTRICAL EXPANSION, EXPOSED FIRE HYDRANT FLOOR

F.O. FACE OF FACE OF STUD GENERAL CONTRACTOR GALVANIZED IRON GYPSUM WALL BOARD

GYPSUM WALL BOARD HDWD HARDWOOD HOLLOW METAL

INSTALL BY CONTRACTOR INSULATION INVERT

MACHINE BOLT MECHANICAL MANUFACTURER

NOT IN CONTRACT N.T.S. NOT TO SCALE

OVER O.C. ON CENTER ON CENTER EACH WAY

POWDER ACTUATED FASTENER PANIC HARDWARE P.I.P. POURED IN PLACE POINT

PT PTDF PRESSURE TREATED DOUGLAS FIR PARTITION

RADIUS R/F, REINF REINFORCING ROOM ROUGH OPENING

SOLID BLOCKING SOLID CORE 5.5. STAINLESS STEEL SHEATHING SIMILAR STRUCTURAL

STRUC SYMMETRICAL TONGUE AND GROOVE THICK

T.O., T/ TOP OF TYPICAL UNLESS OTHERWISE NOTED

VOLATILE ORGANIC COMPOUND WEST, WIDE MITH MITHOUT WHERE OCCURS

LIST OF DRAWINGS

PROPOSED FLOOR PLAN - IST BASEMEN

PROPOSED FLOOR PLAN - GROUND FLOOR

DEMO FLOOR PLAN - GROUND FLOOR

GROUND FLOOR ENLARGED PLAN

EXISTING BUILDING ELEVATIONS

EXISTING BUILDING ELEVATIONS

ENLARGED PLANS, INTERIOR ELEVATIONS

DEMOLITION ROOF PLAN

PROPOSED ROOF PLAN

INTERIOR ELEVATIONS

CEILING DETAILS

INTERIOR DETAILS

PARKING DETAILS

STAIR DETAILS

RAMP DETAILS

INTERIOR DETAILS

PENETRATION DETAILS

DOOR AND WINDOW DETAILS

GENERAL NOTES / TYP. DETAILS

FLOOR & ROOF FRAMING PLAN

STAIR/RAMP DETAILS

A2.9

A8.3

MECHANICAL TITLE SHEET CALGREEN MANDATORY MEASURES DETAILS - MECHANICAL CALGREEN MANDATORY MEASURES TITLE 24 DOCUMENTATION - MECHANICAL CALGREEN MANDATORY MEASURES TOPOGRAPHIC SURVEY - FOR REFERENCE ONLY UPPER LEVEL FLOOR PLAN - MECHANICAL PROPOSED SITE PLAN ROOF PLAN - MECHANICAL CONSTRUCTION STAGING PLAN PROPOSED PHASING PLAN DEMO FLOOR PLAN - 2ND BASEMENT PROPOSED FLOOR PLAN - 2ND BASEMENT

LEGENDS SCHEMATIC AND NOTES - PLUMBING PO.2 DETAILS - PLUMBING PARTIAL BASEMENT FLOOR PLAN - PLUMBING BASEMENT FLOOR PLAN - PLUMBING UPPER LEVEL FLOOR PLANS - PLUMBING ROOF PLAN - PLUMBING

SYMBOLS, ABBREV., LIGHT FIXTURE SCHEDULE CODES, STANDARDS, NOTES & SHEET INDEX CALIFORNIA ENERGY COMPLIANCE TITLE 24 BUILDING INTERIOR CALIFORNIA ENERGY COMPLIANCE TITLE 24

- BUILDING EXTERIOR SINGLE LINE DIAGRAM & PANELBOARD SCHEDULES ELECTRICAL DEMOLITION PLAN - PARTIAL ELECTRICAL DEMOLITION PLAN - PARTIAL ELECTRICAL DEMOLITION PLAN - PARTIAL UPPER

POWER & SYSTEMS FLOOR PLAN - PARTIAL BASEMENT FLOOR POWER & SYSTEMS FLOOR PLAN - PARTIAL BASEMENT FLOOR

POWER & SYSTEMS FLOOR PLAN - PARTIAL INTERMEDIATE FLOOR POWER & SYSTEMS FLOOR PLAN - PARTIAL INTERMEDIATE FLOOR POWER & SYSTEMS FLOOR PLAN - PARTIAL UPPER FLOOR

POWER & SYSTEMS FLOOR PLAN - PARTIAL UPPER FLOOR POWER PLAN - ROOF LIGHTING PLAN - PARTIAL UPPER FLOOR LIGHTING PLAN - PARTIAL UPPER FLOOR ELECTRICAL DETAILS

GENERAL NOTES:

1. SCOPE OF WORK:

A. THE RELOCATION OF EXISTING ELECTRICAL AND COMMUNICATION EQUIPMENT NEAR THE DISPATCH OF THE OLD ELECTRICAL CLOSET. AREA TO RECEIVE NEW FLOOR, WALL FINISHES, AND LIGHT

FIXTURES AS NECESSARY; REMODEL EXISTING OFFICE AREA INDICATED ON PLANS;

REMODEL EXISTING CONFERENCE ROOM INTO EVIDENCE PROCESSING ROOM;

ACCESSIBLE UPGRADES TO THE MAIN ENTRANCE;

A NEW ACCESSIBLE RESTROOM AND: RE-ROOFING;

MECHANICAL, PLUMBING, AND ELECTRICAL UPGRADES;

HAZMAT TESTING AND ABATEMENT IN THE EXISTING E.O.C. LOCATED ON THE FIRST BASEMENT LEVEL. NEW ACCESSIBLE RAMP, STAIRS AND RAILINGS AT MAIN ENTRY: NEW ACCESSIBLE RAILINGS AT EXISTING STAIRS FROM JUNIPERO

K. NEW ACCESSIBLE PARKING SPACE ADJACENT TO YOUTH CENTER.

2. ALL BIDDERS SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. VERIFY ALL GOVERNING DIMENSIONS AND EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF THIS WORK IS IN ANY WAY DEPENDENT. REPORT IN WRITING TO THE PROJECT MANAGER IF ANYTHING IS FOUND THAT DEVIATES FROM THESE DRAWINGS.

3. DO NOT SCALE THE DRAWINGS. IF UNABLE TO DETERMINE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT THE PROJECT MANAGER FOR DIRECTION PRIOR TO PROCEEDING.

4. PERFORM ALL WORK IN ACCORDANCE WITH THE RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION. CONFORM TO ALL CITY, COUNTY, STATUTES, AND ORDINANCES PROMPTLY REPORT ANY DISCREPANCIES AND OMISSIONS IN THE CONTRACT DOCUMENTS TO THE PROJECT MANAGER.

5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY

6. NO WORK IS PROPOSED THAT WILL REQUIRE MODIFICATION TO THE SITE OR IMPACT EXISTING STORM WATER DRAINAGE. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS NOT REQUIRED

PROJECT <u>DOES</u> INCLUDE ASBESTOS ABATEMENT.

8. ALL WORK INDICATED IS INCLUDED IN THE BASE BID U.O.N.

DEDUCT ALTERNATE #1: PROVIDE GALVANIZED STEEL HANDRAILS IN LIEU OF BRONZE. DEDUCT ALTERNATE #2: PROVIDE ARCHITECTURAL ASPHALT SHINGLES AT MANSARD

ROOF IN LIEU OF WOOD SHINGLES.

DEDUCT ALTERNATE #3: ELECTRIC CARD READERS. 4. DEDUCT ALTERNATE #4: PAINTING EXTERIOR OF POLICE DEPT. AND ADJACENT PUBLIC WORKS BUILDING.

ADDITIVE ALTERNATE #5: PROVIDE WATERPROOFING OF EXISTING CONCRETE SLAB OVER PARKING GARAGE. ADDITIVE ALTERNATE #6: REPLACE EXHAUST FAN 3 (EF-3).

ADDITIVE ALTERNATE #7: REMOVE CUT AND UNUSED CABLES IN RM. 207.

SYMBOLS



WELDED WIRE FABRIC



ELEVATION SHEET LOCATION



1 (x) 2 WALL ELEVATED SHEET LOCATION

SHEET LOCATION

LEGENDS SCHEMATIC AND NOTES - MECHANICAL

PARTIAL BASEMENT FLOOR PLAN - MECHANICA BASEMENT FLOOR PLAN - MECHANICAL DEMO ÛPPER LEVEL FLOOR PLAN - MÊCHÂNICÂL DEMO

DEMO REFLECTED CEILING PLAN - GROUND FLOOR NEW REFLECTED CEILING PLAN - GROUND FLOOR **FLOOR** ELECTRICAL DEMOLITION PLAN - PARTIAL UPPER

ELECTRICAL DETAILS

831.424.2232

KASAVAN ARCHITECTS

SALINAS, CALIFORNIA 93901

RENOVATIONS

JUNIPERO STREET AND 4TH AVENUE,

CARMEL-BY-THE-SEA, CALIFORNIA

CITY OF CARMEL-BY-THE-SEA

60 W. MARKET STREET, SUITE 300

CARMEL-BY-THE-SEA, CALIFORNIA 93921

CONTACT: ROBERT HARARY 831.620.2070

AT:

OWNER

P.O. BOX CC

ARCHITECT

MECHANICAL/PLUMBING AXIOM ENGINEERS 22 LOWER RAGSDALE DR., SUITE A MONTEREY, CALIFORNIA 93940

STRUCTURAL

831.649.8000

DONALD C. URFER & ASSOCIATES, INC 2715 PORTER STREET SOQUEL, CALIFORNIA 95073 831.476.3681

ELECTRICAL

CARMEL POLICE DEPARTMENT

AURUM CONSULTING ENGINEERS, INC. 60 GARDEN COURT, SUITE 210 MONTEREY, CALIFORNIA 93940 831.646.3330

ENVIRONMENTAL

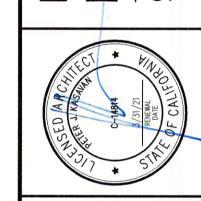
M3 ENVIRONMENTAL CONSULTING LLC 9821 BLUE LARKSPUR LANE, SUITE 100 MONTEREY, CALIFORNIA 93940 831.649.4623

APPROVED FOR CONSTRUCTION:

ROBERT M. HARARY, P.E. DIRECTOR OF PUBLIC WORKS

File name: D; \JOBS\1712.1\CD\

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ed to such use. Re-use, reproduct or publication by any method, whole or in part, is prohibited. Title in the architect without prejudi specifications shall constitute pri facie evidence of the acceptance

PLAN CHECK 12/05/19

EET NUMBER

TE: 18 OCT 2019 1712.1

RAWN CADD

CHAPTER 3

GREEN BUILDING SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

A code section will be designated by a banner to indicate where the code section only applies to newly constructed building [N] or to additions and alterations [A]. When the code section applies to both, no banner

301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only:

Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seq. for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for

301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work.

301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC) 301.5 HEALTH FACILITIES. (see GBSC)

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

SECTION 303 PHASED PROJECTS

303.1 Phased projects. For shell buildings and others constructed for future tenant improvements, only those code measures relevant to the building components and systems considered to be new construction (or

303.1.1 Tenant improvements. The provisions of this code shall apply only to the initial tenant or occupant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations.

ABBREVIATION DEFINITIONS:

Department of Housing and Community Development California Building Standards Commission Division of the State Architect, Structural Safety Office of Statewide Health Planning and Development High Rise Additions and Alterations

NONRESIDENTIAL MANDATORY MEASURES

DIVISION 5.1 PLANNING AND DESIGN

SECTION 5.101 GENERAL

The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.

SECTION 5.102 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.

LOW-EMITTING AND FUEL EFFICIENT VEHICLES. Eligible vehicles are limited to the following:

- 1. Zero emission vehicle (ZEV), including neighborhood electric vehicles (NEV), partial zero emission vehicle (PZEV), advanced technology PZEV (AT ZEV) or CNG fueled (original equipment manufacturer only) regulated under Health and Safety Code section 43800 and CCR, Title 13, Sections 1961 and 1962.
- 2. High-efficiency vehicles, regulated by U.S. EPA, bearing High-Occupancy Vehicle (HOV) car pool lane stickers issued by the Department of Motor Vehicles.

TENANT-OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent

NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-speed vehicle" either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is certified to

occupants, such as employees, as distinguished from customers and other transient visitors. VANPOOL VEHICLE. Eligible vehicles are limited to any motor vehicle, other than a motortruck or truck tractor, designed for carrying more than 10 but not more than 15 persons including the driver, which is maintained and used

primarily for the nonprofit work-related transportation of adults for the purpose of ridesharing. Note: Source: Vehicle Code, Division 1, Section 668

ZEV. Any vehicle certified to zero-emission standards.

SECTION 5.106 SITE DEVELOPMENT

5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND. Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures:

5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management and/or erosion control

5.106.1.2 Best Management Practices (BMPs). Prevent the loss of soil through wind or water erosion by

- implementing an effective combination of erosion and sediment control and good housekeeping BMPs.
- Soil loss BMPs that should be considered for implementation as appropriate for each project include. but are not limited to, the following:
- a. Scheduling construction activity during dry weather, when possible. b. Preservation of natural features, vegetation, soil, and buffers around surface waters.
- c. Drainage swales or lined ditches to control stormwater flow. Mulching or hydroseeding to stabilize disturbed soils, and buffers around surface waters. Erosion control to protect slopes.
- Protection of storm drain inlets (gravel bags or catch basin inserts). Perimeter sediment control (perimeter silt fence, fiber rolls).
- Sediment trap or sediment basin to retain sediment on site. Stabilized construction exits
- Wind erosion control.
- c. Other soil loss BMPs acceptable to the enforcing agency.
- Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following:
 - Dewatering activities.
 - b. Material handling and waste management. Building materials stockpile management.
 - Management of washout areas (concrete, paints, stucco, etc.).
 - Control of vehicle/equipment fueling to contractor's staging area. Vehicle and equipment cleaning performed off site.
- Spill prevention and control. Other housekeeping BMPs acceptable to the enforcing agency.

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan or development sale.

Note: Projects that (1) disturb one acre or ore of land, or (2) disturb less than one acre of land but are part of the larger common plan of development or sale must comply with the post-construction requirements detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board or the Lahontan Regional Water Quality Control Board (for projects in the Lake Tahoe Hydrologic Unit).

The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction runoff (pre-project hydrology) with the installation of preconstruction stormwater management measures. The NPDES permits emphasize runoff reduction through on-site stormwater use, interception, evapotranspiration, and infiltration through nonstructural controls, such as Low Impact Development (LID) practices, and conversation design measures. Stormwater volume that cannot be addressed using nonstructural practices is required to be captured in structural

Refer to the current applicable permits on the State Water Resources Control Board website at: www.waterboards.ca.gov/constructionstormwater. Consideration to the stormwater runoff management measures should be given during the initial design process for appropriate integration into site development.

5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2

5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the applicable local ordinance, whichever is stricter.

5.106.4.1.1 Short-term bicycle parking. If the project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack.

Exception: Additions or alterations which add nine or less visitor vehicular parking spaces. 5.106.4.1.2 Long-term bicycle parking. For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.3 For additions or alterations that add 10 or more tenant-occupant vehicular parking spaces, provide secure bicycle parking for 5 percent of the tenant vehicular parking spaces being added, with a

5.106.4.1.4 For new shall buildings in phased projects provide secure bicycle parking for 5 percent of the anticipated tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.5 Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall be convenient from the street and shall meet one of the following:

- Covered, lockable enclosures with permanently anchored racks for bicycles;
- 2. Lockable bicycle rooms with permanently anchored racks; or 3. Lockable, permanently anchored bicycle lockers.

Lockable, permanently anchored bicycle lockers.

Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.

5.106.4.2 Bicycle parking. [DSA-SS] For public schools and community colleges, comply with Sections

5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building. 5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities

shall be convenient from the street or staff parking area and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles; 2. Lockable bicycle rooms with permanently anchored racks; or

5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES. In new projects or additions or alterations that add 10 or more vehicular parking spaces, provide designated parking for any combination of low-emitting, fuel-efficient and carpool/van pool vehicles as follows:

TABLE 5.106.5.2 - PARKING	
TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED SPACES
0-9	0
10-25	1
25-50	3
51-75	6
76-100	8
101-150	11
151-200	16
201 AND OVER	AT LEAST 8% OF TOTAL

5.106.5.2.1 - Parking stall marking. Paint, in the paint used for stall striping, the following characters such that the lower edge of the last word aligns with the end of the stall striping and is visible beneath a parked vehicle: CLEAN AIR / VAN POOL / EV

Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces.

5.106.5.3 Electric vehicle (EV) charging. [N] Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment (EVSE). When EVSE(s) is/are installed, it shall be in accordance with the California Building Code, the California Energy Commission (CEC) and as follows:

5.106.5.3.1 Single charging space requirements. [N] When only a single charging space is required per Table 5.106.5.3.3, a raceway is required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:

- The type and location of the EVSE.
- 2. A listed raceway capable of accommodating a 208/240 -volt dedicated branch circuit.
- The raceway shall not be less than trade size 1." 4. The raceway shall originate at a service panel or a subpanel serving the area, and shall
- terminate in close proximity to the proposed location of the charging equipment and listed suitable cabinet, box, enclosure or equivalent.
- 5. The service panel or subpanel shall have sufficient capacity to accommodate a minimum 40-ampere dedicated branch circuit for the future installation of the EVSE.

5.106.5.3.2 Multiple charging space requirements. [N] When multiple charging spaces are required per Table 5.106.5.3.3 raceway(s) is/are required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:

- The type and location of the EVSE.
- 2. The raceway(s) shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the charging equipment and into listed suitable cabinet(s), box(es), enclosure(s) or equivalent. 3. Plan design shall be based upon 40-ampere minimum branch circuits.
- 4. Electrical calculations shall substantiate the design of the electrical system, to include the rating of equipment and any on-site distribution transformers and have sufficient capacity to simultaneously charge all required EVs at its full rated amperage.
- 5. The service panel or subpanel(s) shall have sufficient capacity to accommodate the required number of dedicated branch circuit(s) for the future installation of the EVSE.

5.106.5.3.3 EV charging space calculations. [N] Table 5.106.5.3.3 shall be used to determine if single or multiple charging space requirements apply for the future installation of EVSE.

Exceptions: On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure is not feasible based upon one or more of the following conditions:

- 1. Where there is insufficient electrical supply.
- 2. Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the

TABLE 5.106.5.3.3

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED SPACES
0-9	0
10-25	1
36-50	2
51-75	4
76-100	5
101-200	7
201 AND OVER	6% of total ¹

 Calculation for spaces shall be rounded up to the nearest whole number. 5.106.5.3.4 [N] Identification. The service panel or subpanel(s) circuit directory shall identify the reserved overcurrent protective device space(s) for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

5.106.5.3.5 [N] Future charging spaces qualify as designated parking as described in Section 5.106.5.2 Designated parking for clean air vehicles.

- 1. The California Department of Transportation adopts and publishes the California Manual on Uniform Traffic Control Devices (California MUTCD) to provide uniform standards and specifications for all official traffic control devices in California. Zero Emission Vehicle Signs and Pavement Markings can be found in the New Policies & Directives number 13-01.
- www.dot.ca.gov/hq/traffops/policy/13-01.pdf. 2. See Vehicle Code Section 22511 for EV charging spaces signage in off-street parking
- facilities and for use of EV charging spaces. 3. The Governor's Office of Planning and Research published a Zero-Emission Vehicle Community Readiness Guidebook which provides helpful information for local governments. residents and businesses. www.opr.ca.gov/docs/ZEV_Guidebook.pdf.

5.106.8 LIGHT POLLUTION REDUCTION. [N] [BSC-CG] Outdoor lighting systems shall be designed and installed to comply with the following:

- 1. The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10,
- Section 10-114 of the California Administrative Code; and 2. Backlight (B) ratings as defined in IES TM-15-11 (shown in Table A-1 in Chapter 8);
- 3. Uplight and Glare ratings as defined in California Energy Code (shown in Tables 130.2-1 and 130.2-B in
- 4. Allowable BUG ratings not exceeding those shown in Table 5.106.8, [N] or Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.

- Luminaires that qualify as exceptions in Section 140.7 of the California Energy Code.
- Building facade meeting the requirements in Table 140.7-B of the California Energy Code, Part 6. Custom lighting features as allowed by the local enforcing agency, as permitted by Section 101.8

Alternate materials, designs and methods of construction. Note: [N] See also California Building Code, Chapter 12, Section 1205.6 for college campus lighting requirements for parking facilities and walkways.

5.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- 2. Water collection and disposal systems. French drains.

ALLOWABLE RATING

4. Water retention gardens. 5. Other water measures which keep surface water away from buildings and aid in groundwater

Exception: Additions and alterations not altering the drainage path.

TABLE 5.106.8 [N] MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS 1,2

ZONE

	LZ0	ZONE LZ1	ZONE LZ2	ZONE LZ3	ZONE LZ4		
MAXIMUM ALLOWABLE BACKLIGHT RATING 3							X
Luminaire greater than 2 mounting heights (MH) from property line	N/A	No Limit	No Limit	No Limit	No Limit	0	IXI
Luminaire back hemisphere is 1-2 MH from property line	N/A	B2	В3	B4	B4		X
Luminaire back hemisphere is 0.5-1 MH from property line	N/A	B1	B2	В3	В3		
Luminaire back hemisphere is less than 0.5 MH from property line	N/A	В0	В0	B1	B2		IXI
MAXIMUM ALLOWABLE UPLIGHT RATING (U)							
For area lighting 4	N/A	UO	UO	UO	U0		X
For all other outdoor lighting,including decorative luminaires	N/A	U1	U2	U3	UR		X)
MAXIMUM ALLOWABLE GLARE RATING 5 (G)							
Luminaire greater than 2 MH from property line	N/A	G1	G2	G3	G4		
Luminaire front hemisphere is 1-2 MH from property line	N/A	G0	G1	G1	G2		
Luminaire front hemisphere is 0.5-1 MH from property line	N/A	G0	G0	G1	G1	(X)	
Luminaire back hemisphere is less than 0.5 MH from property line	N/A	G0	G0	G0	G1		(X)

LIGHTING LIGHTING LIGHTING

1. IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the Callifornia Administrative Code.

- 2. For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section
- 3. If the nearest property line is less than or equal to two mounting heights from the back hemisphere of the luminaire distribution, the applicable reduced Backlight rating shall be met.
- 4. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet U-value limits for "all other outdoor lighting".
- 5. If the nearest property line is less than or equal to two mounting heights from the front hemisphere of the luminaire distribution, the applicable reduced Glare rating shall be met.

DIVISION 5.2 ENERGY EFFICIENCY

SECTION 5.201 GENERAL

5.201.1 Scope [BSC-CG]. California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory building standards.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

5.301.1 Scope. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors

SECTION 5.302 DEFINITIONS

5.302.1 Definitions. The following terms are defined in Chapter 2 (and are included here for reference)

EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DSA-SS]. An adjustment factor when applied to reference evapotranspiration that adjusts for plant factors and irrigation efficiency, which ae two major influences on the amount of water that needs to be applied to the landscape.

FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the structure projected to natural grade, not including exterior areas such as stairs, covered walkways, patios and decks. METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The

volume or cycle duration can be fixed or adjustable. GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater that has not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthful processing, manufacturing, or operating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroom washbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). The California ordinance regulating landscape design, installation and maintenance practices that will ensure commercial, multifamily and other developer installed landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). [HCD] The California model ordinance (California Code of Regulations, Title 23, Division 2, Chapter 2.7), regulating landscape design, installation and maintenance practices. Local agencies are required to adopt the updated MWELO, or adopt a local ordinance at least

POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5.

POTABLE WATER. [HCD] Water that is satisfactory for drinking, culinary, and domestic puroses, and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority

RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recycled water is water treated to remove waste matter attaining a quality that is suitable to use the water again.

such as landscape irrigation. For the purposes of CALGreen, a dedicated meter may be considered a submeter. WATER BUDGET. Is the estimated total landscape irrigation water use which shall not exceed the maximum applied water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape

SUBMETER. A meter installed subordinate to a site meter. Usually used to measure water intended for one purpose,

SECTION 5.303 INDOOR WATER USE 5.303.1 METERS. Separate submeters or metering devices shall be installed for the uses described in Sections

5.303.1.1 Buildings in excess of 50,000 square feet. Separate submeters shall be installed as follows: 1. For each individual leased, rented or other tenant space within the building projected to consume

5.303.1.2 Excess consumption. A separate submeter or metering device shall be provided for any tenant

Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s).

more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop. 2. Where separate submeters for individual building tenants are unfeasible, for water supplied to the

Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s). Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW).

within a new building or within an addition that is projected to consume more than 1,000 gal/day. 5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and

urinals) and fittings (faucets and showerheads) shall comply with the following:

5.303.3.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

5.303.3.2.1 Wall-mounted Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. 5.303.3.2.2 Floor-mounted Urinals. The effective flush volume of floor-mounted or other urinals shall

not exceed 0.5 gallons per flush. 5.303.3.3 Showerheads. [BSC-CG] 5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA

WaterSense Specification for Showerheads 5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

5.303.3.3.3 Showerheads, [DSA-SS] 5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

5.303.3.3.1 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combination flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

5.303.3.4 Faucets and fountains.

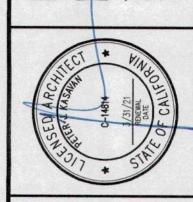
5.303.3.4.1 Nonresidential Lavatory faucets. Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi.

5.303.3.4.2 Kitchen faucets. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than 1.8 gallons per minute/20 [rim space (inches) at 60 psi].

5.303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle. 5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per minute/20 [rim space (inches) at 60 psi].

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve



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PLAN CHE/ 12/05/19 PLAN CHECK

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DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

DRAWN

DIVISION 5.5 ENVIRONMENTAL QUALITY SECTION 5.501 GENERAL

the amount of heat required to melt a ton (2,000 pounds) of ice at 320 Fahrenheit.

by the enforcing agency.

5.501.1 SCOPE. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors.

5.502.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference)

ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route. A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter

using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting

adjustments have been made. 1 BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu,

COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm

to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn. COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium

density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood I-joists or

Note: See CCR, Title 17, Section 93120.1.

DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a 24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10p.m. to 7 a.m.).

DECIBEL (db). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, sound power, sound intensity) with respect to a reference quantity.

finger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a).

ELECTRIC VEHICLE (EV). An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric current. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the California Electrical Code, off-road, self-propoelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground support equipment, tractors, boats, and the like, are not included.

ELECTRIC VEHICLE CHARGING STATION(S) (EVCSj). One or more spaces intended for charging electric vehicles.

ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices. power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring

ENERGY EQUIVALENT (NOISE) LEVEL (Leq). The level of a steady noise which would have the same energy as the fluctuating noise level integrated over the time of period of interest.

EXPRESSWAY. An arterial highway for through traffic which may have partial control of access, but which may or may not be divided or have grade separations at intersections.

FREEWAY. A divided arterial highway with full control of access and with grade separations at intersections.

GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given greenhouse gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of one.

GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995); or its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of

Table 2.14.; the AR4 GWP values are found in column "100 yr" of Table 2.14. HIGH-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a

hdrochlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150, or (B) any ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009). LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction,

with a radius 1.5 times the pipe diameter. LOW-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than

150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009)

MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2-1999. MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base REactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundreths of a gram (g O3/g ROC).

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

PSIG. Pounds per square inch, guage.

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

SCHRADER ACCESS VALVES. Access fittings with a valve core installed.

SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter.

SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units.

VOC. A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a)

Note: Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition included in that specific regulation is the one that prevails for the specific measure in question.

SECTION 5.503 FIREPLACES

5.503.1 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances.

5.503.1.1 Woodstoves. Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits.

SECTION 5.504 POLLUTANT CONTROL

necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of

5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of

5.303.4 COMMERCIAL KITCHEN EQUIPMENT.

5.303.4.1 Food Waste Disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water. Note: This code section does not affect local jurisdiction authority to prohibit or require disposer

5.303.5 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alteration to the building.

5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code and in Chapter 6 of this code.

SECTION 5.304 OUTDOOR WATER USE

5.304.1 SCOPE. The provisions of Section 5.304, Outdoor Water Use reference the mandatory Model Water Efficiency Landscape Ordinance (MWELO) contained within Chapter 2.7, Division 2, Title 23, California Code of

5.304.2 OUTDOOR WATER USE IN LANDSCAPE AREAS EQUAL TO OR GREATER THAN 500 SQUARE FEET. When water is used for outdoor irrigation for new construction projects with an aggregate landscape area equal to or greater than 500 square feet requiring a building or landscape permit, plan check or design review, one of the following

1. A local water efficient landscape ordinance that is, based on evidence in the record, at least as effective in conserving water as the updated model ordinance adopted by the Department of Water Resources (DWR) per Government Code Section 65595(c).

2. The California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations.

5.304.3 OUTDOOR WATER USE IN REHABILITATED LANDSCAPE PROJECTS EQUAL TO OR GREATER THAN 2,500 SQUARE FEET. Rehabilitated landscape project with an aggregate landscape area equal to or greater than 2.500 square feet requiring a building or landscape permit, plan check, or design review shall comply with Section

5.304.4 OUTDOOR WATER USE IN LANDSCAPE AREAS OF 2,500 SQUARE FEET OR LESS. Any project with

an aggregate area of 2,500 square feet of less may comply with the performance requirements of MWELO or conform to the prescriptive compliance measures contained in MWELO's Appendix D. 5.304.5 GRAYWATER OR RAINWATER USE IN LANDSCAPE AREAS. For projects using treated or untreated graywater or rainwater captured on site, any lot or parcet within the project that has less than 2,500 square feet of

landscape and meets the lot or parcel's landscape water requirement (Estimate Total Water Use) entirely with treated or untreated graywater or through stored rainwater captured on site is subject only to Appendix D Section (5).

1. DWR's Model Water Efficient Landscape Ordinance, definitions and supporting documents are available at the following link: http://water.ca.gov/wateruseefficiency/landscapeordinance/

2. A water budget calculator is available at the following link: http://water.ca.gov/wateruseefficiency/landscapeordinance/

3. The MWELO prescriptive compliance measure Appendix D may be found at the following link: http://water.ca.gov/wateruseefficiency/landscapeordinance/ In addition, a copy of MWELO Appendix D may be found in Chapter 8 of this code.

5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS [DSA-SS]. For public schools and community colleges, landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of Water Resoucres Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations, except that the evapotranspiration adjustment factor (ETAF) shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35.

Exception: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of MWELO.

5.304.6.1 Newly constructed landscapes. [DSA-SS] New construction projects with an aggregate landscape area equal to or greater than 500 square feet.

landscape area equal to or greater than 1,200 square feet. 5.304.3 IRRIGATION DESIGN. In new nonresidential construction with at least 1,000 but not more than 2,500 square feet of cumulative landscaped area (the level at which the MWELO applies), install irrigation controllers and sensors

5.304.6.2 Rehabilitated landscapes. [DSA-SS] Rehabilitated landscape projects with an aggregate

which include the following criteria, and meet manufacturer's recommendations. 5.304.3.1 Irrigation controllers. Automatic irrigation system controllers installed at the time of final inspection shall comply with the following:

1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in

response to changes in plants' needs as weather conditions change. Weather-based controllers without integral rain sensors or communication systems that account for

local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input. Note: More information regarding irrigation controller function and specifications is available from the

Irrigation Association. SECTION 5.305 WATER REUSE SYSTEMS 5.305.1 RECYCLED WATER SUPPLY SYSTEMS. Recycled water supply systems shall be installed in accordance

with Sections 5.305.1.1, 5.305.1.2, and the California Plumbing Code. 5.304.2 Outdoor Recycled Water Supply Systems. All newly constructed nonresidential developments, where disinfected tertiary recycled water is available from a municipal source to a construction site, shall be provided with both a potable water supply system and a recycled water supply system. The recycled water supply system shall allow the use of reclaimed (recycled) water for aboveground and subsurface irrigation to all landscape irrigation systems.

For the purposes of Section 5.305.1.1, when a recycled water supply pipe is located within 300 feet from a construction site boundary, it shall be considered that reclaimed (recycled) water is available from a municipal

Exceptions: 1. Service areas in which the only reclaimed (recycled) water is used for potable purposes, or in which net nonpotable deliveries are anticipated to remain level or decrease as a result of the potable reuse project. 2. Where access to disinfected tertiary recycled water is not feasible and/or cost-efficient, as determined by the authority having jurisdiction in consultation with the recycled water purveyor.

Note: A city, county, or city and county, in consultation with the recycled water purveyor, may further reduce the area for the mandate to install recycled water supply systems if the recycled water purveyor is unable to accommodate new services or unable to provide uninterruptible service.

3. A potable water supply system is not required for landscape irrigation if the landscape irrigation system is supplied with recycled water at the time of final inspection.

4. Potable water may be used with the recycled water supply system on a temporary basis, as allowed by the authority having jurisdiction in consultation with the recycled water purveyor.

5.305.1.2 Technical Requirements for Outdoor Recycled Water Supply Systems. Recycled water supply systems for outdoor applications shall meet the requirements of this code, and the California Code of Regulations, Title 17, Division 1, Chapter 5, Subchapter 1; Title 22, Division 4, Chapter 3; and Title 23, Division Chapter 2.7, as applicable.

DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY**

SECTION 5.401 GENERAL

5.401.1 SCOPE. The provisions of this chapter shall outline means of achieving material conservation and resource efficiency through protection of buildings from exterior moisture, construction waste diversion, employment of techniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting.

SECTION 5.402 DEFINITIONS

according to design quantities

5.402.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference) ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust

BALANCE. To proportion flows within the distribution system, including sub-mains, branches and terminals,

BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements.

ORGANIC WASTE. Food waste, green waste, landscape and pruning wste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.

TEST. A procedure to determine quantitative performance of a system or equipment

rain to prevent water intrusion into buildings as follows:

SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT 5.407.1 WEATHER PROTECTION. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1403.2 (Weather Protection) and California Energy Code Section 150, (Mandatory Features and Devices), manufacturer's installation instructions or local ordinance, whichever is more stringent.

5.407.2 MOISTURE CONTROL. Employ moisture control measures by the following methods.

5.407.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures. 5.407.2.2 Entries and openings. Design exterior entries and/or openings subject to foot traffic or wind-driven

5.407.2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following:

An installed awning at least 4 feet in depth.

The door is protected by a roof overhang at least 4 feet in depth. The door is recessed at least 4 feet. 4. Other methods which provide equivalent protection.

5.407.2.2.2 Flashing. Install flashings integrated with a drainage plane.

SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND

5.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent.

5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance, submit a construction waste management plan that:

Identifies the construction and demolition waste materials to be diverted from disposal by efficient usage, recycling, reuse on the project or salvage for future use or sale. Determines if construction and demolition waste materials will be sorted on-site (source-separated) or

Identifies diversion facilities where construction and demolition waste material collected will be taken. 4. Specifies that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

5.408.1.2 Waste Management Company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill

Note: The owner or contractor shall make the determination if the construction and demolition waste material will be diverted by a waste management company.

Exceptions to Sections 5.408.1.1 and 5.408.1.2:

 Excavated soil and land-clearing debris. Alternate waste reduction methods developed by working with local agencies if diversion or recycle

facilities capable of compliance with this item do not exist. 3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities

5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirement as approved by the enforcing agency.

5.408.1.4 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Sections 5.408.1.1, through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.

1. Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" located at www.bsc.ca.gov/Home/CALGreen.aspx may be used to assist in documenting compliance with the waste management plan.

2. Mixed construction and demolition debris processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). 5.408.2 UNIVERSAL WASTE. [A] Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited

materials shall be included in the construction documents. Note: Refer to the Universal Waste Rule link at: http://www.dtsc.ca.gov/LawsRegsPolicies/Regs/upload/OEAR-A_REGS_UWR_FinalText.pdf

5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.

Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste

Exception: Reuse, either on or off-site, of vegetation or soil contaminated by disease or pest infestation.

1. If contamination by disease or pest infestation is suspected, contact the County Agricultural

Commissioner and follow its direction for recycling or disposal of the material. 2. For a map of know pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. (www.cdfa.ca.gov)

SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS 5.410.1 RECYCLING BY OCCUPANTS. Provide readily accessible areas that serve the entire building and are

identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources

Code 42649.82 (a)(2)(A) et seq. shall also be exempt from the organic waste portion of this section. 5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30% or more in floor area, shall provide recycling areas on site.

5.410.1.2 Sample ordinance. Space allocation for recycling areas shall comply with Chapter 18, Part 3, Division 30 of the Public Resources Code. Chapter 18 is known as the California Solid Waste Reuse and Recycling Access Act of 1991 (Act).

Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space floor

Note: A sample ordinance for use by local agencies may be found in Appendix A of the document at the CalRecycle's web site.

heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements Commissioning requirements shall include:

5.410.2 COMMISSIONING. [N] New buildings 10,000 square feet and over. For new buildings 10,000 square feet

and over, building commissioning shall be included in the design and construction processes of the building project to

Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of

L-occupancies that are not regulated y the California Energy Code Section 100.0 Scope, all requirements in Sections

verify that the building systems and components meet the owner's or owner representative's project requirements.

comparable size and complexity. For I-occupancies that are not regulated by OSHPD or for I-occupancies and

Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating,

ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as water

.. Basis of design. . Commissioning measures shown in the construction documents. . Commissioning plan. Functional performance testing.

Owner's or Owner representative's project requirements.

Documentation and training. Commissioning report.

5.410.2 through 5.410.2.6 shall apply.

Unconditioned warehouses of any size. 2. Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within

unconditioned warehouses. 3. Tenant improvements less than 10,000 square feet as described in Section 303.1.1. 4. Open parking garages of any size, or open parking garage areas, of any size, within a structure.

Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not provide heating and or air conditioning.

nformational Notes:

1. IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 des not certify individuals to conduct functional performance tests or to adjust and balance systems.

2. Functional performance testing for heating, ventilation, air conditioning systems and lighting controls must be performed in compliance with the California Energy Code.

5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. This documentation shall include the following:

Environmental and sustainability goals. Building sustainable goals.

Indoor environmental quality requirements. 4. Project program, including facility functions and hours of operation, and need for after hours

Equipment and systems expectations. 6. Building occupant and operation and maintenance (O&M) personnel expectations.

5.410.2.2 Basis of Design (BOD). [N] A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems:

5.410.2.3 Commissioning plan. [N] Prior to permit issuance a commissioning plan shall be completed to

Landscape irrigation systems. Water reuse system.

Renewable energy systems.

document how the project will be commissioned. The commissioning plan shall include the following: General project information. Commissioning goals.

3. Systems to be commissioned. Plans to test systems and components shall include: a. An explanation of the original design intent. Equipment and systems to be tested, including the extent of tests.

Functions to be tested. d. Conditions under which the test shall be performed. e. Measurable criteria for acceptable performance. Commissioning team information.

5. Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning shall be included. 5.410.2.4 Functional performance testing. [N] Functional performance tests shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustments

5.410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are required, including Occupational Safety and Health Act (OSHA) requirements in California Code of Regulations (CCR), Title 8, Section 5142, and other related regulations.

5.410.2.5.1 Systems manual. [N] Documentation of the operational aspects of the building shall be completed within the systems manual and delivered to the building owner or representative. The

systems manual shall include the following: 1. Site information, including facility description, history and current requirements. Site contact information. Basic operations and maintenance, including general site operating procedures, basic

troubleshooting, recommended maintenance requirements, site events log.

Site equipment inventory and maintenance notes. 6. A copy of verifications required by the enforcing agency or this code. 7. Other resources and documentation, if applicable.

5.410.2.5.2 Systems operations training. [N] A program for training of the appropriate maintenance staff for each equipment type and/or system shall be developed and documented in the commissioning report and shall include the following:

1. System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces).

2. Review and demonstration of servicing/preventive maintenance.

Review of the information in the Systems Manual. Review of the record drawings on the system/equipment.

design and construction phases of the building project shall be completed and provided to the owner or 5.410.4 TESTING AND ADJUSTING. New buildings less than 10,000 square feet. Testing and adjusting of

systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or

5.410.2.6 Commissioning report. [N] A report of commissioning process activities undertaken through the

Renewable energy systems.

Landscape irrigation systems.

alteration subject to Section 303.1.

Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting system and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements and Sections 120.5, 120.6, 130.4, and 140.9(b)3 for additional testing requirements of specific

5.410.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include at a minimum, as applicable to the project:

Water reuse systems. 5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system.

5.410.4.3.1 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; Associated Air Balance Council National Standards or as approved by the enforcing agency.

5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if 30% based on ASHRAE 52.1-1992 Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction.

rough installation, or during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may collect in the system.

The use of these plans and specific site for which they were prepared and publication thereof is expressly limi ed to such use. Re-use, reproduction or publication by any method, in the plans and specifications remains n the architect without prejudice.

Visual contact with these plans and specifications shall constitute primo facie evidence of the acceptance of

EVISIONS: PLAN CHECK 12/05/19

L-BY-THE ARTMENT

HEET NUMBER

ATE: 18 OCT 2019

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE.

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (INCLUDING JULY 1, 2018, INTERVENING SUPPLEMENT) HARDON NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (INCLUDING JULY 1, 2018, INTERVENING SUPPLEMENT)

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through

5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards: 1. Adhesives, adhesive bonding primers adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such

products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds

aerosol products as specified in subsection 2, below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including

prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing

(chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for

Less Water and Less Exempt Compounds in Grams pe	er Liter
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER. THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168. www.arb.ca.gov/DRDB/SC/CURHTML/R1168.PDF

Less Water and Less Exempt Compounds in	Grams per Liter
SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.

5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PWMIR Limits for ROC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

GRAMS OF VOC PER LITER OF COATING, LESS WAT COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS:	
CLEAR	730

TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN

250

100

420

250

275

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

OPAQUE

STONE CONSOLIDANTS

WOOD COATINGS

WOOD PRESERVATIVES

ZINC-RICH PRIMERS

SWIMMING POOL COATINGS

TRAFFIC MARKING COATINGS

TUB & TILE REFINISH COATINGS

WATERPROOFING MEMBRANES

SPECIALTY PRIMERS, SEALERS & UNDERCOATERS

5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: Manufacturer's product specification

2. Field verification of on-site product containers 5.504.4.4 Carpet Systems. All carpet installed in the building interior shall meet at least one of the testing and

Carpet and Rug Institute's Green Label Plus Program. Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic

Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1, February 2010 (also known as CDPH Standard Method V1.1 or Specification 01350). NSF/ANSI 140 at the Gold level or higher;

Scientific Certifications Systems Sustainable Choice; or Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for EQ 7.0 and EQ 7.1 (formerly EQ 2.2) dated July 2012 and listed in the CHPS High

5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.

5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1. 5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table

> 5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications
- Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see
- CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European 636 3S
- Other methods acceptable to the enforcing agency.

TABLE 5.504.4.5 - FORMALDEHYDE LIMITS

THIN MEDIUM DENSITY FIBERBOARD2

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION **CURRENT LIMIT** HARDWOOD PLYWOOD VENEER CORE 0.05 HARDWOOD PLYWOOD COMPOSITE CORE 0.05 PARTICLE BOARD 0.09 MEDIUM DENSITY FIBERBOARD 0.11

 VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD. AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM).

5.504.4.6 Resilient flooring systems. For 80 percent of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following:

Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program 2. Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers,

3. Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for EQ 7. and EQ 7.1 (formerly EQ 2.2) dated July 2012 and listed in the CHPS High

0.13

Performance Product DataBase: or 4. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children's & Schools

5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.

5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

- 1. An ASHRAE 10% to 15% efficiency filter shall be permitted for an HVAC unit meeting the 2013 California Energy Code having 60,000 Btu/h or less capacity per fan coil, if the energy use of the air delivery system is 0.4 W/cfm or less at design air flow. Existing mechanical equipment.
- 5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.

SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL. Buildings shall meet or exceed the provisions of California Building Code, CCR. Title 24. Part 2. Sections 1203 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures not applicable to low-rise residential occupancies, see Section 5.407.2 of this code.

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.

5.506.2 CARBON DIOXIDE (CO2) MONITORING. For buildings or additions equipped with demand control ventilation, CO2 sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120(c)(4).

SECTION 5.507 ENVIRONMENTAL COMFORT
5.507.4 ACOUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.

Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings.

Exception: [DSA-SS] For public schools and community colleges, the requirements of this section and all

5.507.4.1 Exterior noise transmission, prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OITC rating of no less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations:

1. Within the 65 CNEL noise contour of an airport.

- a. Lon or CNEL for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICUZ) plan.
- b. Lan or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element.
- 2. Within the 65 CNEL or Lan noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan.

5.507.4.1.1. Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L_{eq} - 1-hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30).

5.507.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-1Hr) of 50 dBA in occupied areas during any hour of operation.

5.507.4.2.1 Site Features. Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior.

5.507.4.2.2 Documentation of Compliance. An acoustical analysis documenting complying interior sound levels shall be prepared by personnel approved by the architect or engineer of record.

5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.

Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: www.toolbase.org/PDF/CaseStudies/stc_icc_ratings.pdf.

SECTION 5.508 OUTDOOR AIR QUALITY

5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.

5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not

5.508.1.2 Halons. Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.

5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.

Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO₂), and potentially other refrigerants.

5.508.2.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below.

5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack.

5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less.

5.508.2.1.2.1 Anchorage. One-fouth-inch OD tubing shall be securely clamped to a rigid base to

5.508.2.1.3 Flared tubing connections. Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil.

Exception: Single-flared tubing connections may be used with a multiring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's

5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of

5.508.2.2 Valves. Valves Valves and fittings shall comply with the California Mechanical Code and as

5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve.

5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.

5.508.2.2.2 Access valves. Only Schrader access valves with a brass or steel body are

5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps

5.508.2.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place.

5.508.2.2.2.1 Chain tethers. Chain tethers to fit ovr the stem are required for valves

Exception: Valves with seal caps that are not removed from the valve during stem operation.

5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-reistant material, such as stainless steel; or be coated to prevent corrosion from these substances.

5.508.2.3.1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coating to

5.508.2.4 Refrigerant receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device tha indicates the level of refrigerant in the receiver.

5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and

5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum.

5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same

5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more

than a +/- one pound pressure change from 300 psig, measured with the same gauge

5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging.

5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and

5.508.2.6.2 Second vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 30

5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.

CHAPTER 7

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. Programs sponsored by manufacturing organizations.

Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors. Successful completion of a third party apprentice training program in the appropriate trade.
- Other programs acceptable to the enforcing agency.

homes in California according to the Home Energy Rating System (HERS).

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate

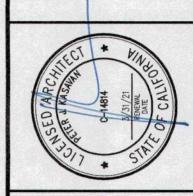
[BSC-CG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The

area of certification shall be closely related to the primary job function, as determined by the local agency. Note: Special inspectors shall be independent entities with no financial interest in the materials or the

703 VERIFICATIONS

project they are inspecting for compliance with this code.

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.



site for which they were prepared a publication thereof is expressly lim ed to such use. Re-use, reproducti or publication by any method, i whole or in part, is prohibited. Title to

the plans and specifications remains in the architect without prejudice

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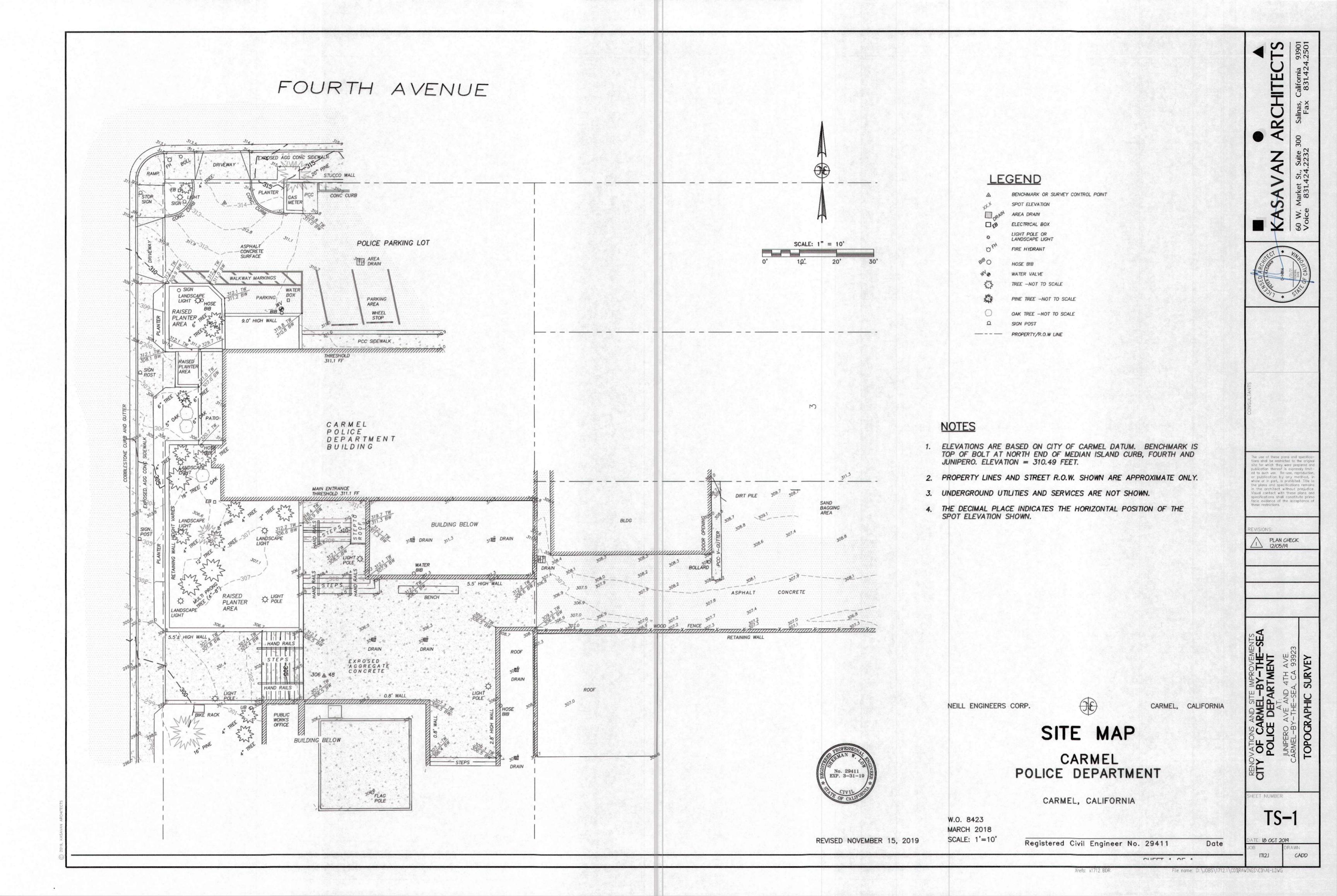
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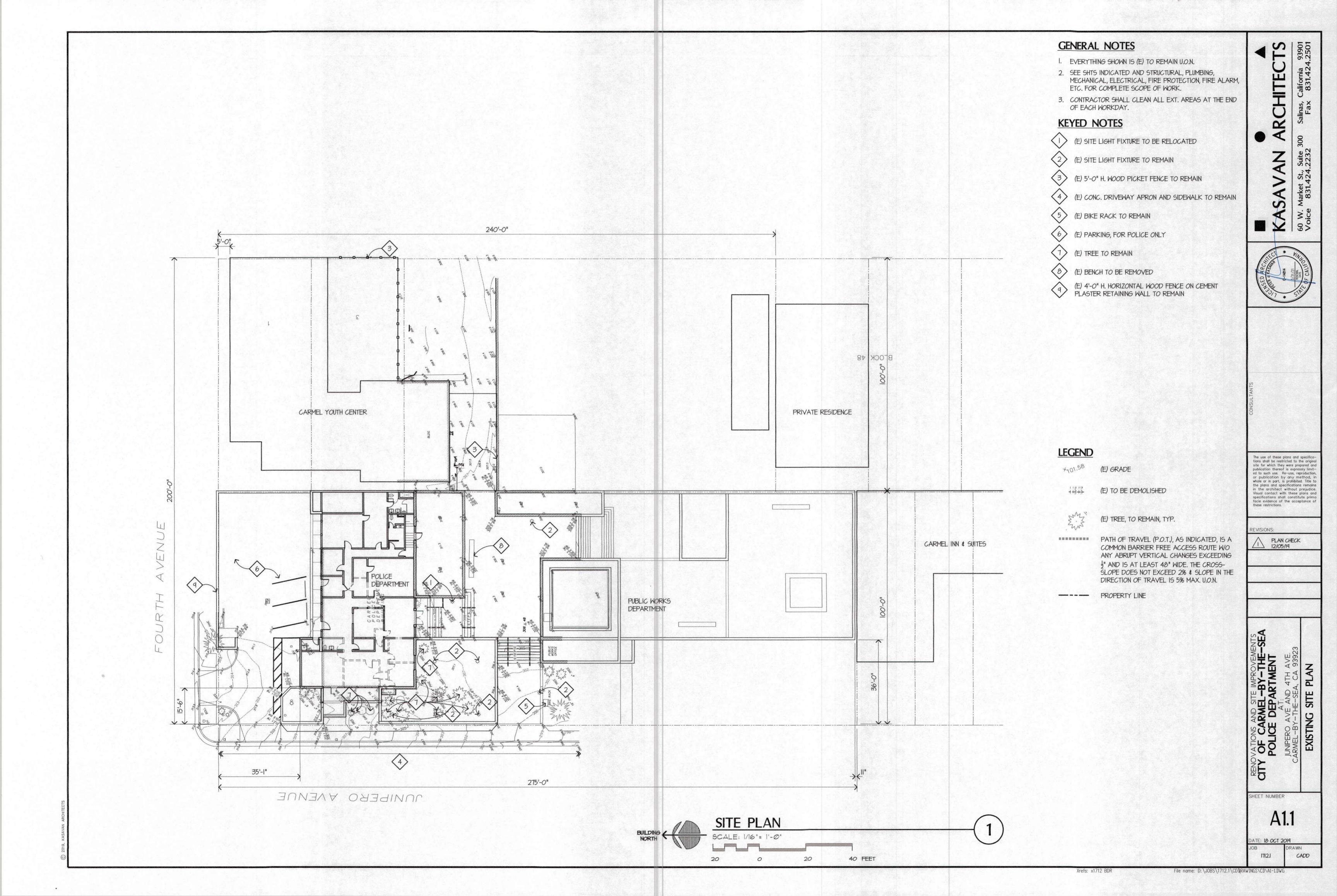
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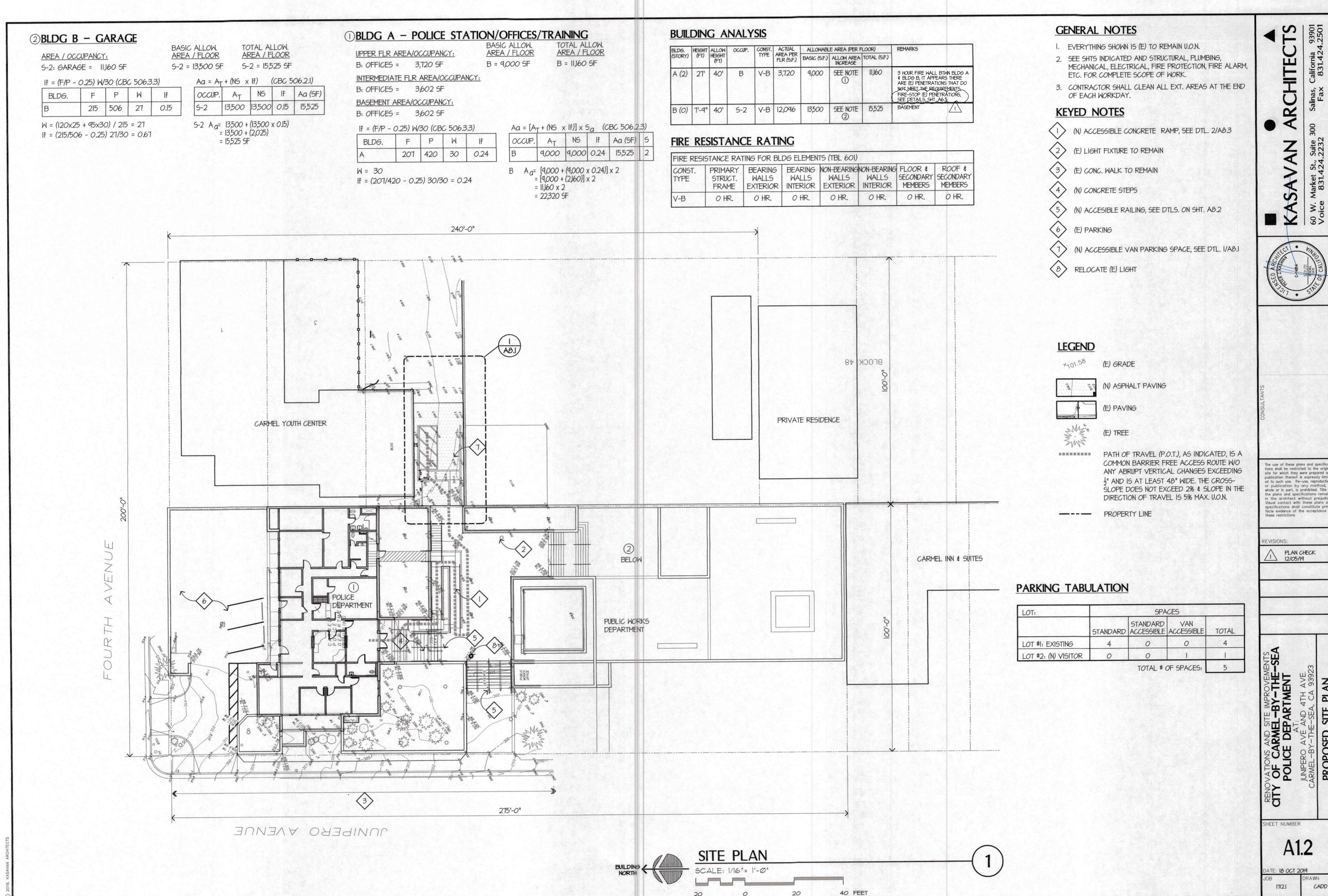
HEET NUMBER

TE: 18 OCT 2019

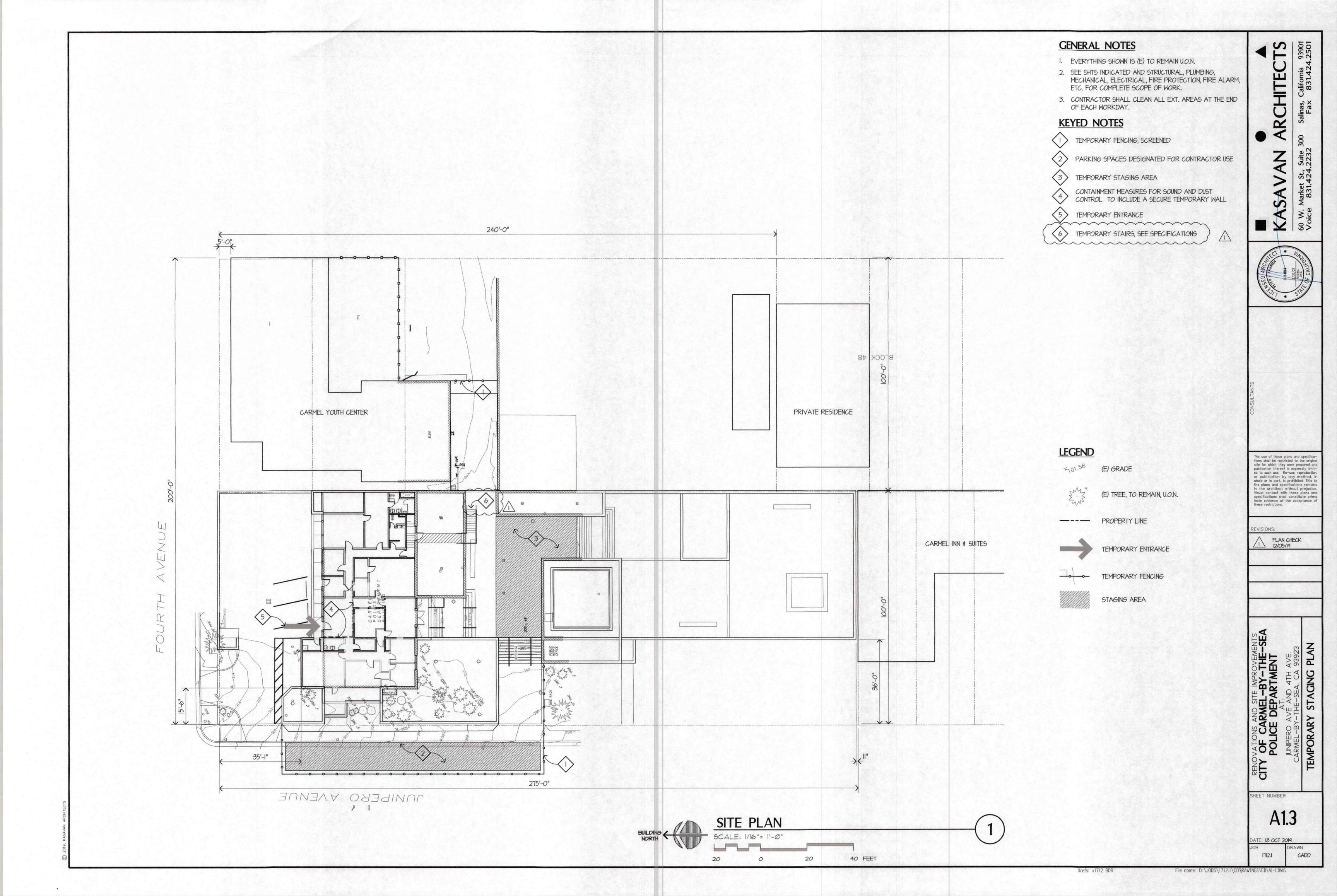
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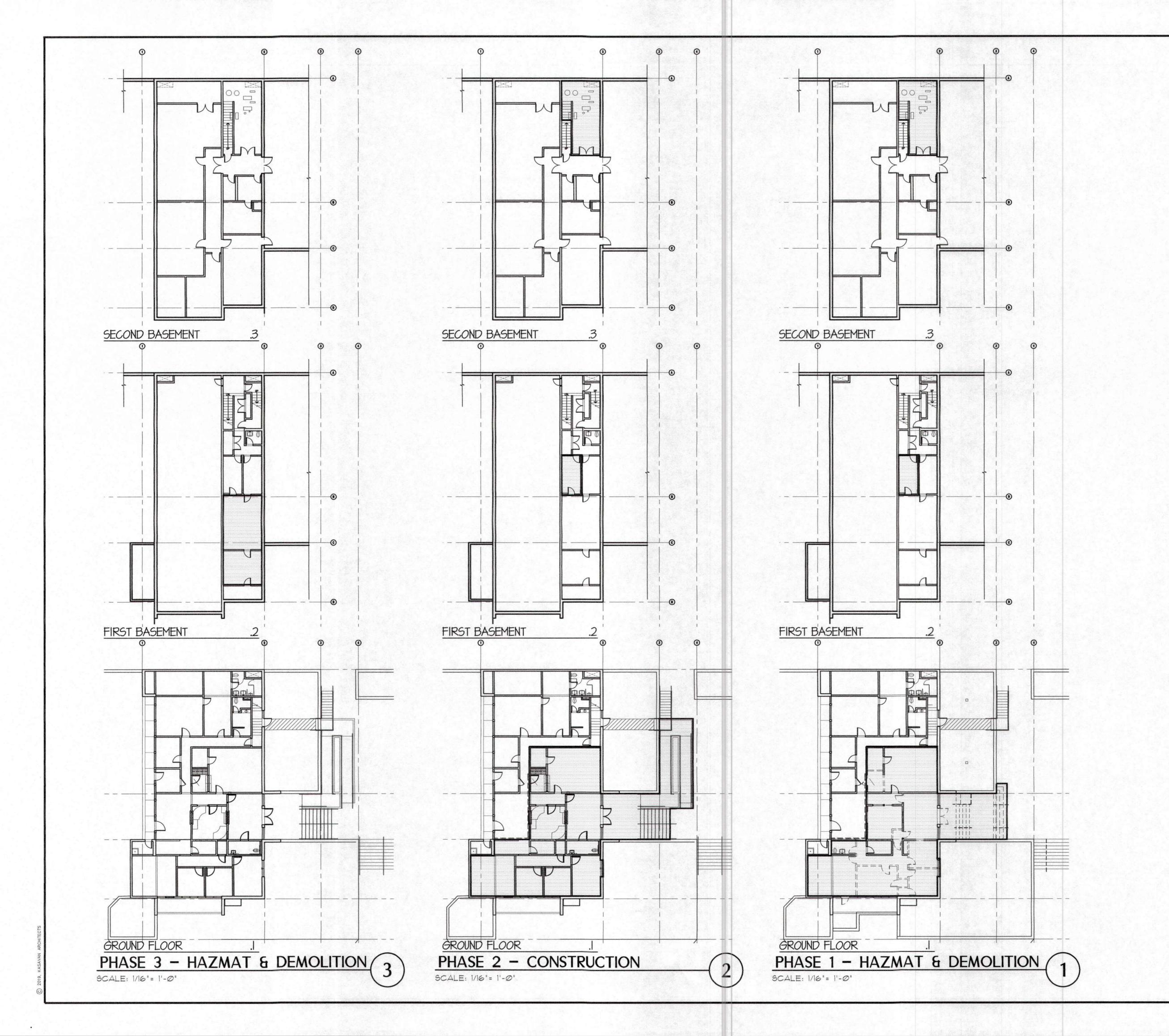






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- I. PLANS ON THIS SHEET ARE FOR PHASING/SEQUENCING ONLY
- 2. SEE ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. SHEETS FOR COMPLETE SCOPE OF WORK.

PHASE 1 - HAZMAT & DEMOLITION

HAZMAT AT GROUND FLOOR, ROOMS 101-104, 106, 108, IIO, III, II3, II4, II5, AND II6; AT FIRST BASEMENT, ROOM 207; AND AT SECOND BASEMENT, ROOM 302.

ALL DEMOLITION REQUIRED PER PLANS FOR NEW WORK, INCLUDING EXTERIOR SITE WORK.

PHASE 2 - CONSTRUCTION

ALL REMODEL WORK PER PLANS AT GROUND FLOOR, ROOMS 101-104, 106, 108, 110, 111, 113, 114, 115, AND 116; AT FIRST BASEMENT, ROOM 201; AND AT SECOND BASEMENT, ROOM 302.

ASSOCIATED SITE WORK: PARKING SPACE, RAMP, STAIRS AND RAILINGS, ETC.

PHASE 3 - HAZMAT & DEMOLITION

HAZMAT AT FIRST BASEMENT, ROOMS 208 AND 210.

GENERAL NOTES

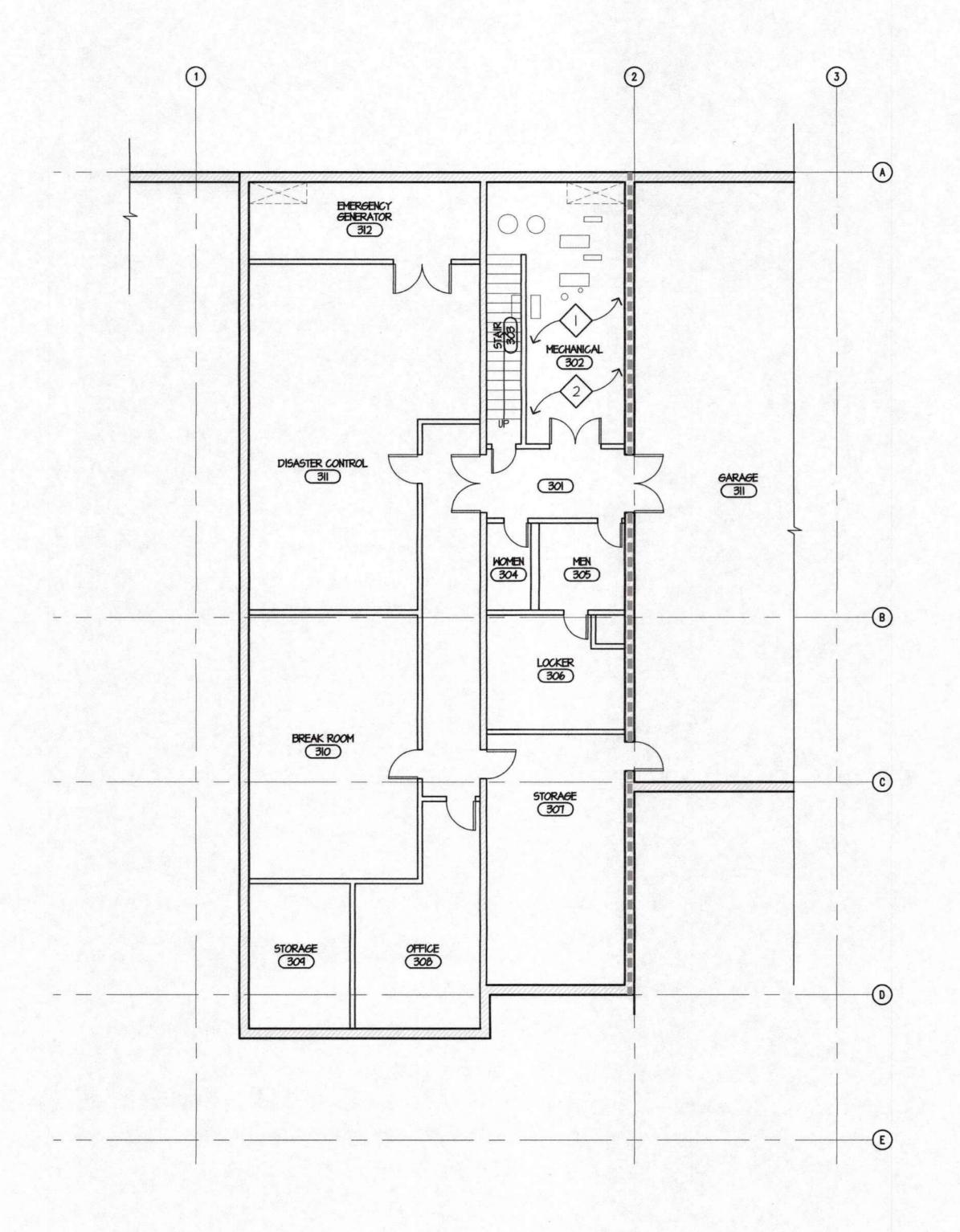
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A1.4

ATE: 18 OCT 2019 1712.1



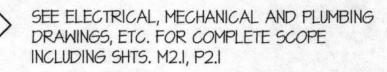
PARTIAL LOWER FLOOR PLAN (DEMO) SCALE: 1/8"=1'-0"

024 8 12

2. DEMOLITION: REMOVE ALL ITEMS AND FINISHES IN WAY OF (N) WORK

KEYED NOTES

HAZMAT ABATEMENT, SEE REPORT AND SPEC



LEGEND

(E) FRAMED WALL, NO CHANGE

(E) CONCRETE WALL, NO CHANGE

(E) 3-HR RATED CONCRETE WALL, NO CHANGE

GENERAL NOTES

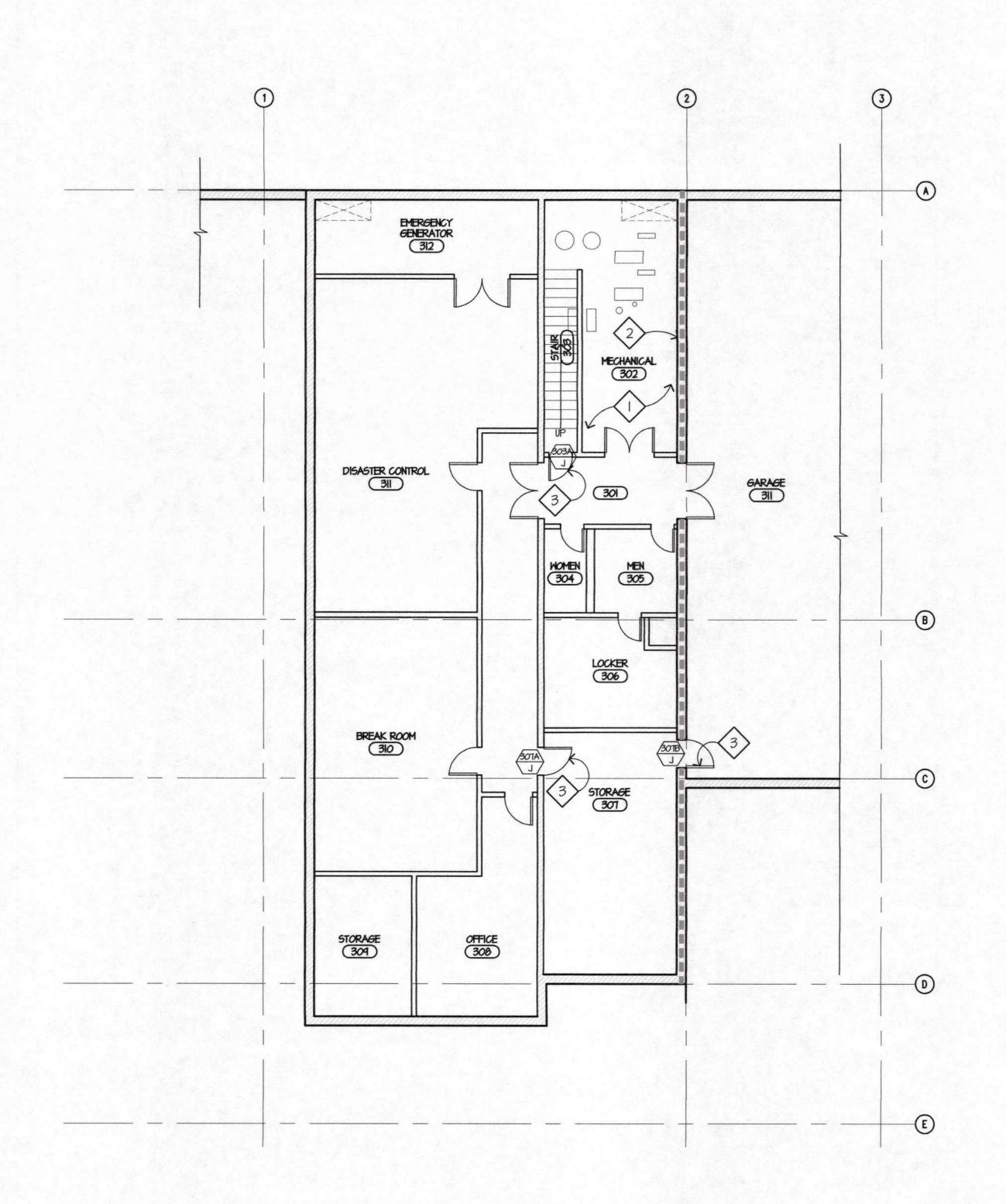
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PLAN CHECK 12/05/19

1712.1

CADD



SCALE: 1/8"=1'-0"

024 8 12

PROPOSED LOWER LEVEL FLOOR PLAN

GENERAL NOTES

- I. EVERYTHING SHOW IS (E) U.O.N.
- 2. DIMS. ARE TO CENTERLINE OF INT. PARTITIONS, U.O.N.

KEYED NOTES

SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE INCL. SHTS. M2.I, P2.I, E4.O AND E4.OA

REVIEW EXISTING PENETRATIONS AT GARAGE WALL, SEE SHEET A6.5 FOR UL DETAILS TO REPAIR EXISTING WALL PENETRATIONS

(E) DOOR TO RECEIVE (N) HARDWARE, SEE SCHEDULE AND SPECIFICATIONS

LEGEND

(E) CONCRETE WALL, NO CHANGE (E) 3-HR RATED CONCRETE WALL, NO CHANGE

FIRE EXTINGUISHER CABINET (RECESSED)

CASEWORK, SEE INT. ELEVS.

ROOM NAME

AXXA DOOR NUMBER HARDWARE GROUP, SEE SPEC'S.

WINDOW - SEE WINDOW TYPES SHT. A7.1

WALL TYPE, SEE I/A6.1

(E) FRAMED WALL, NO CHANGE

(N) WALL, SEE WALL TYPES, SHT. A6.1

ROOM NUMBER

SHEET NUMBER

A2.2

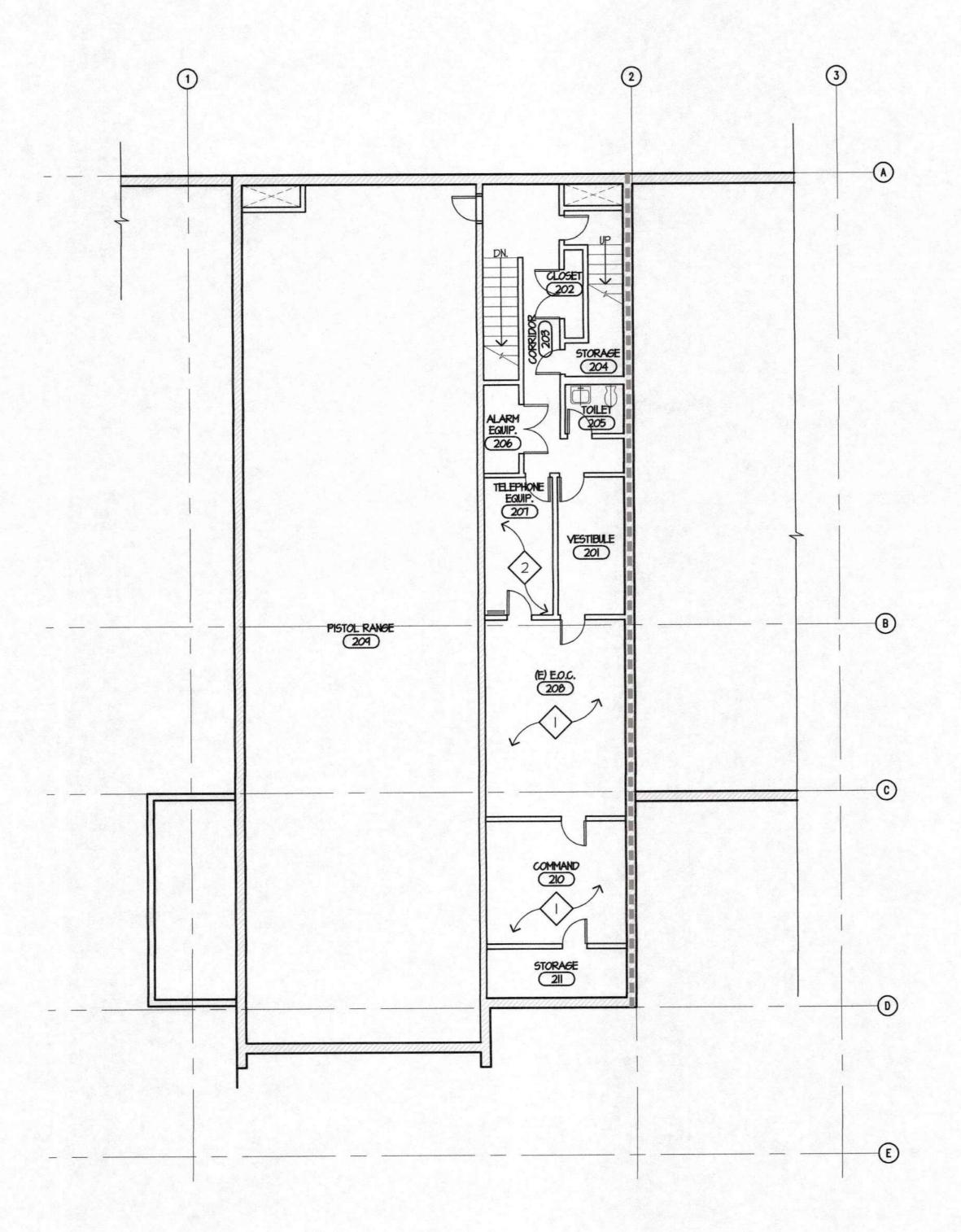
KASAV, 60 W. Market St. Voice 831.424

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PLAN CHECK 12/05/19

1712.1

CADD



INTERMEDIATE FLOOR PLAN (DEMO)



GENERAL NOTES

- 2. DEMOLITION: REMOVE ALL ITEMS AND FINISHES IN WAY OF (N) WORK

KEYED NOTES

HAZMAT ABATEMENT, SEE REPORT AND SPEC. THIS AREA TO OCCUR IN PHASE 3, SEE SHT. Al.4.

SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE INCL. SHTS. E3.I, E3.IA

LEGEND

(E) FRAMED WALL, NO CHANGE

(E) CONCRETE WALL, NO CHANGE

(E) 3-HR RATED CONCRETE WALL, NO CHANGE

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PLAN CHECK 12/05/19

JUNIPERO AVE AND 4TH AVE. CARMEL-BY-THE-SEA, CA 93923 INTERMEDIATE FLOOR PLAN (DEMO)

SHEET NUMBER A2.3

CADD 1712.1

- I. EVERYTHING SHOW IS (E) U.O.N.
- 2. DIMS. ARE TO CENTERLINE OF INT. PARTITIONS, U.O.N.

KEYED NOTES

FIRE EXTINGUISHER CABINET & 2AIOBC FIRE EXTINGUISHER W/ VALID CERTIFICATION TAG

(E) DOOR TO RECEIVE (N) HARDWARE, SEE SCHEDULE AND SPECIFICATIONS

(E) FRAMED WALL, NO CHANGE

(N) WALL, SEE WALL TYPES, SHT. A6.1

ROOM NAME ROOM NUMBER

DOOR NUMBER HARDWARE GROUP, SEE SPEC'S.

WINDOW - SEE WINDOW TYPES SHT. A7.1

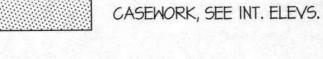
SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE INCL. SHTS. E4.I, E4.IA

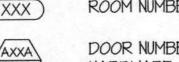
LEGEND

(E) CONCRETE WALL, NO CHANGE

(E) 3-HR RATED CONCRETE WALL, NO CHANGE

FIRE EXTINGUISHER CABINET (RECESSED)

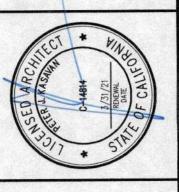




WALL TYPE, SEE I/A6.I

SCALE: 1/8"=1'-0"

PROPOSED INTERMEDIATE LEVEL FLOOR PLAN



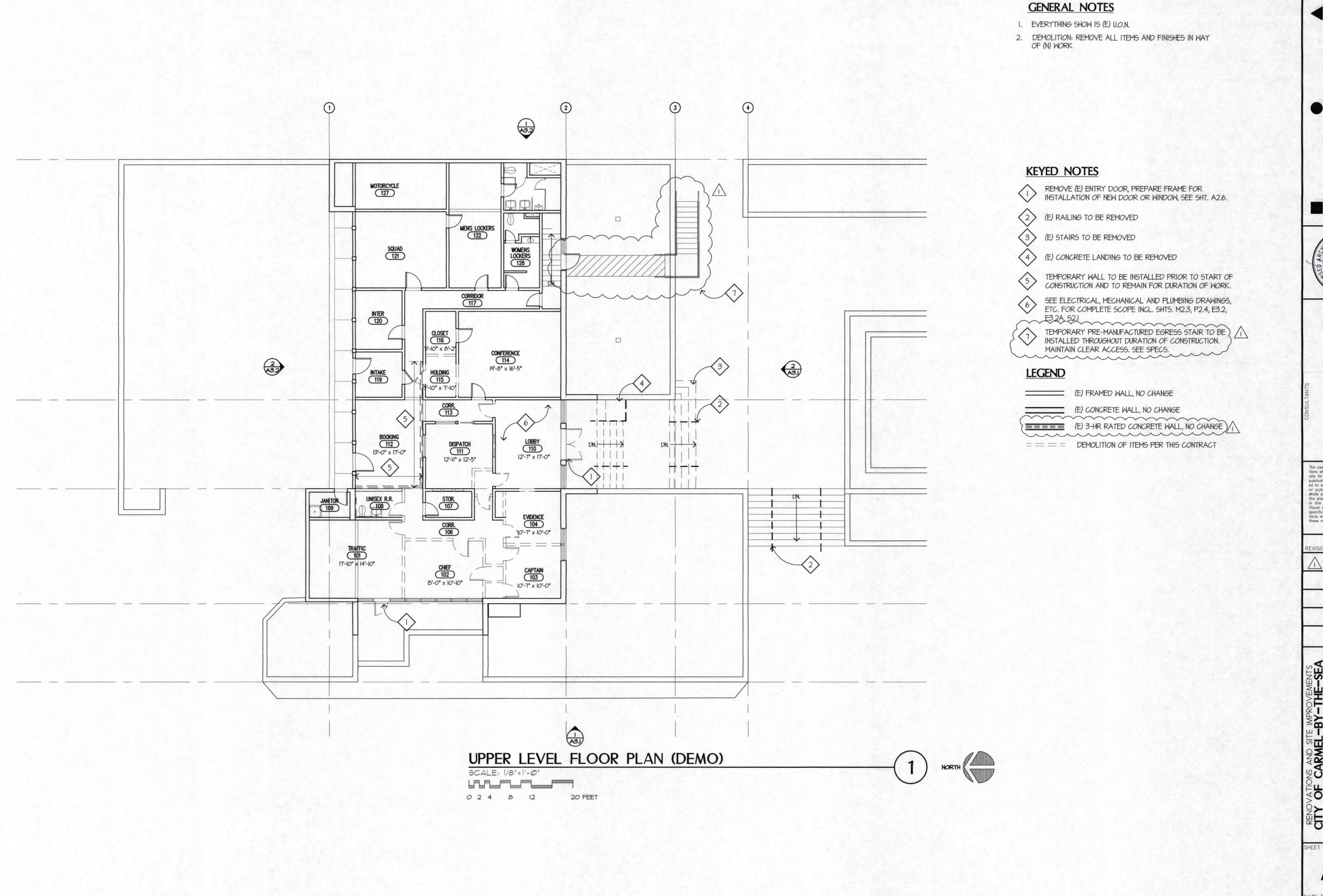
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PLAN CHECK 12/05/19

JUNIPERO AVE AND 4TH AVE. CARMEL-BY-THE-SEA, CA 9392 PROPOSED INTERMEDIATE FLOOR

HEET NUMBER A2.4

CADD 1712.1



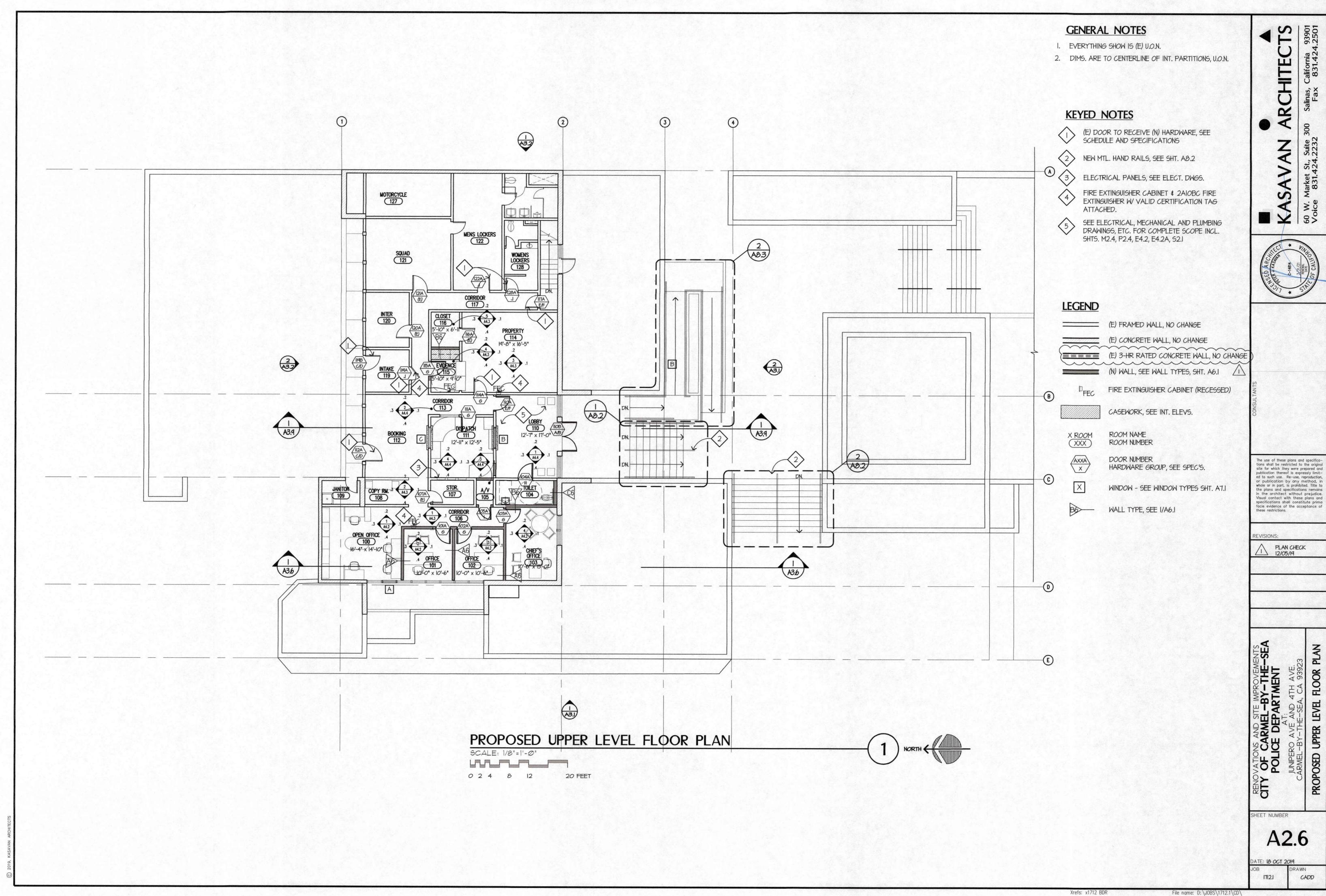
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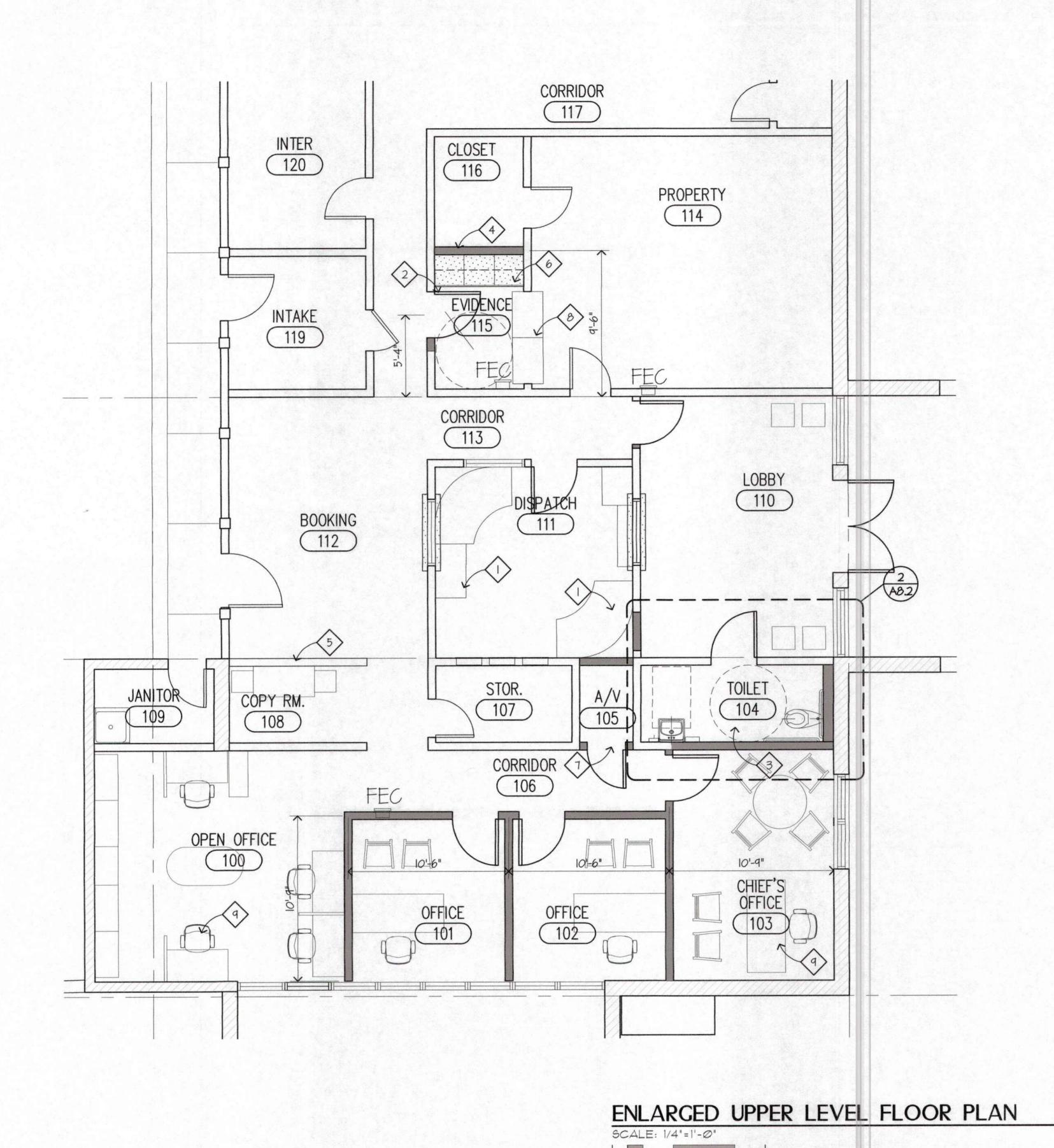
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PLAN CHECK 12/05/19

A2.5

CADD





012 4

8 IO FEET

GENERAL NOTES

- I. EVERYTHING SHOW IS (E) U.O.N.
- 2. DIMS. ARE TO CENTERLINE OF INT. PARTITIONS, U.O.N.

KEYED NOTES

NEW OWNER-PROVIDED DISPATCH FURNITURE, N.I.C.

2 NEW DOOR TO EVIDENCE ROOM

3 NEW ACCESSIBLE TOILET ROOM

4 RELOCATE WALL TO ENLARGE EVIDENCE ROOM

NEW PARTIAL HEIGHT WALL, SEE INT. ELEVS.

NEW CASEWORK, SEE INTERIOR ELEVATIONS

(7) NEW CLOSET

8 NEW EVIDENCE LOCKERS, SEE DETAIL I/A6.4

9 OWNER PROVIDED FURNITURE, N.I.C., TYP.

LEGEND

(E) FRAMED WALL, NO CHANGE

(E) CONCRETE WALL, SEE WALL TYPES SHT. A6.I

(N) WALL, SEE WALL TYPES SHT. A6.I

BO WALL TYPE, TYP.

FIRE EXTINGUISHER CABINET (RECESSED)

CASEWORK, SEE INT. ELEVS.

ROOM NAME ROOM NUMBER

X ROOM XXX

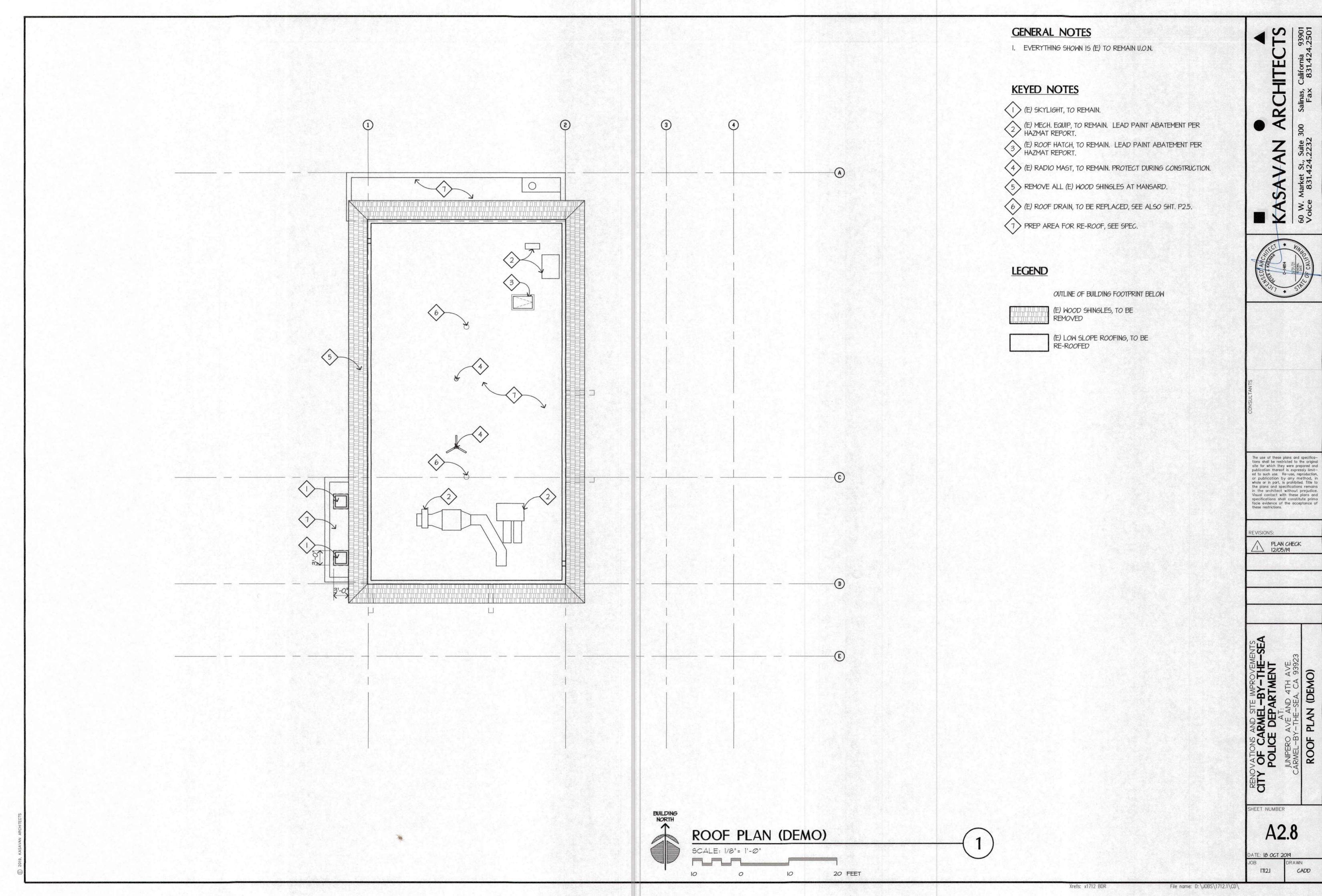
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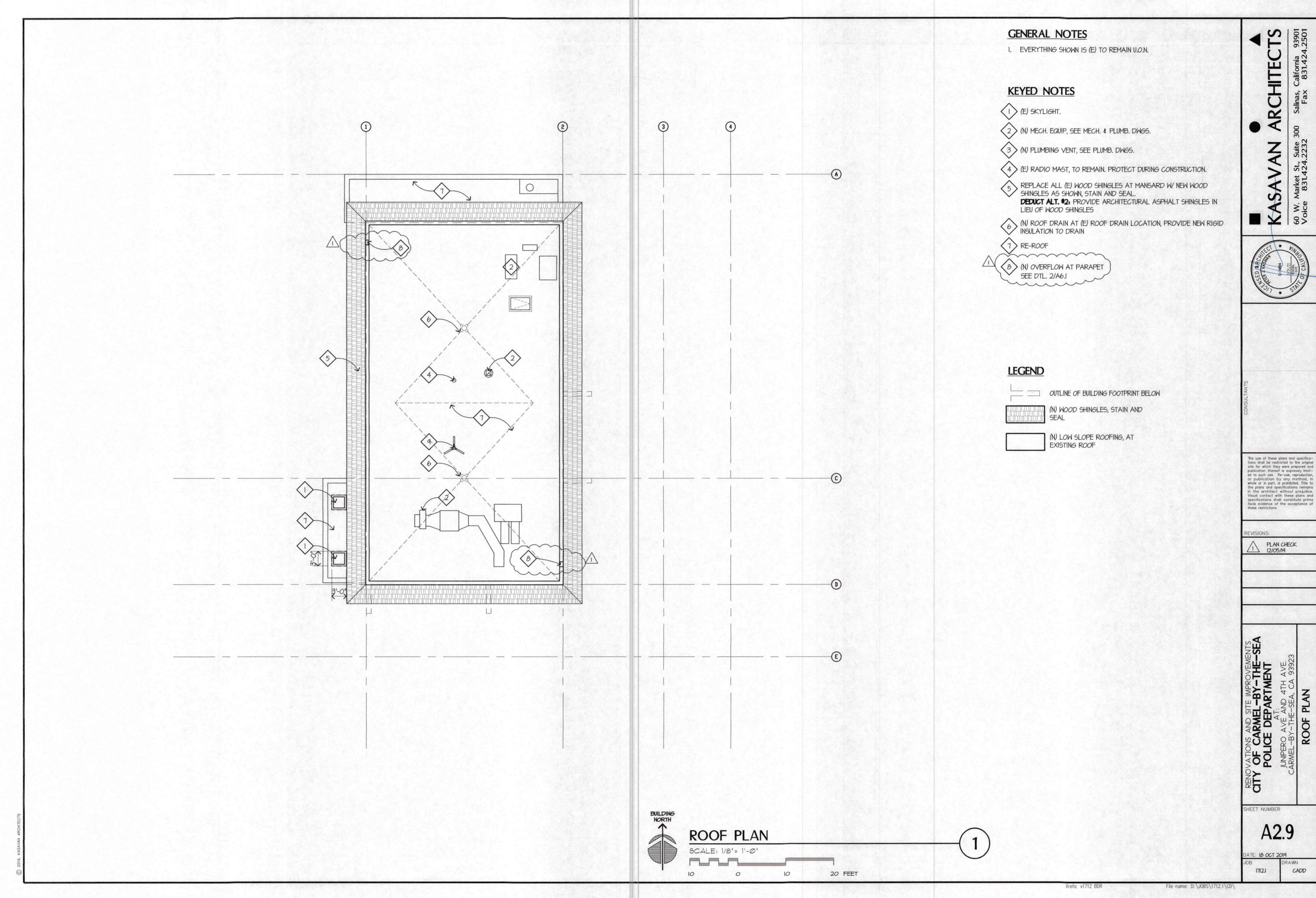
JUNIPERO AVE AND 4TH AVE.
CARMEL-BY-THE-SEA, CA 93923
ENLARGED UPPER LEVEL FLOOR PLAN (NEW)

HEET NUMBER

A2.7

ATE: 18 OCT 2019





				DO	OR SCHED	ULE			
DOOR NUMBER	DOOR TYPE	FRAME TYPE	OPENING SIZE	DETAIL	THRESHOLD	FIRE RATING	SIGNAGE SEE 3/A6.3	HARDWARE TYPE	REMARKS
IOIA	2	Α	3'-0"x7'-0"	1/A7.2		.	F	6	
102A	2	Α	3'-0"x7'-0"	1/A7.2		-	F	6	
103A	2	Α	3'-0"x7'-0"	1/A7.2			F	6	
104A	1	A	3'-0"x7'-0"	I/A7.2			B, C	Н	
105A		Α	2'-6"x7'-0"	I/A7.2			F	1	
107A	(E) WOOD							(E)	EXISTING INTERIOR
IIOA	2	Α	3'-0"x7'-0"	I/A7.2		-	F, H	E*/F	ACCESS CONTROL, BULLET RESISTANT
IIOB	5	(E) ALUM.	6'-0"XT'-0"	2/AT.2			A, 6	A*/B	NEW ENTRY DOOR IN EXISTING FRAME, (N) ACCESS CONTROL
IIIA	1	Α	3'-0"XT'-0"	I/A7.3				6	
II2A	(E) HM	(E) HM						C*/D	EXISTING EXTERIOR, (N) ACCESS CONTROL
II4A	(E) WOOD							6	
II5A	3	A	3'-0"x7'-0"	I/A7.2			F	6	
II6A	(E) WOOD				1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1			(E)	EXISTING INTERIOR
IITA	(E) WOOD	(E) HM						E*/F	EXISTING INTERIOR, (N) ACCESS CONTROL
II9A	(E) HM	(E) HM				Region of		J	EXISTING INTERIOR
IIAB	(E) HM	(E) HM				Ţ., 1		C*/D	EXISTING EXTERIOR, (N) ACCESS CONTROL
120A	(E) WOOD							(E)	EXISTING INTERIOR
I2IA	(E) WOOD							(E)	EXISTING INTERIOR
122A	(E) WOOD	(E) HM						J	EXISTING INTERIOR
128A	(E) WOOD	(E) HM						J	EXISTING INTERIOR
20IA	(E) WOOD	(E) HM						J	EXISTING INTERIOR
20IB	(E) WOOD	(E) HM						J	EXISTING INTERIOR
203A	(E) WOOD	(E) HM						J	EXISTING INTERIOR
205A	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
209A	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
303A	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
307A	(E) WOOD	(E) HM			The second second	- 1		J	EXISTING INTERIOR
307B	(E) WOOD	(E) HM				_		J	EXISTING INTERIOR

NOTE: DOOR HARDWARE GROUPS SEE FLOOR PLANS

4XXA COOR NUMBER

X HARDWARE GROUP

* HARDWARE GROUP UNDER ADD ALT.

		KOON	V FIIN	2H 2C	HEDULE		
ROOM NO.	ROOM/NAME	FLOOR	BASE	WALLS	CLGMAT'L.	CLG. HT.	REMARKS
100	OPEN OFFICE	B2	(E)/J3	(E)/K3	K3		
101	OFFICE	B2	J3	K3	R2		
102	OFFICE	B2	J3	K3	R2		
103	CHIEF'S OFFICE	B2	(E)/J3	(E)/K3	R2		
104	UNISEX RESTROOM	E2	H2	M2/K3	K3		40000
105	AN CLOSET	B2	L2	K3	K3		
106	CORRIDOR	B2	(E)/J3	(E)/K3	K3		
107	STORAGE	(E)	(E)	(E)	(E)		
108	COPY RM.	B2	J3	K3	K3		
109	JANITOR CLOSET	(E)	(E)	(E)	(E)		
IIO	LOBBY	02	J3	K3	K3		
111	DISPATCH	B2	J3	K3	N2		
II2	BOOKING	(E)	(E)	(E)	(E)		
113	CORRIDOR	B2	J3	K3	K3		
114	PROPERTY	L2	J3	K3	K3		
115	EVIDENCE	L2	J3	K3	K3		
116	CLOSET	B2	(E)/J3	(E)/K3	K3		
117	CORRIDOR	(E)	(E)	(E)	(E)		
119	WEAPONS	(E)	(E)	(E)	(E)		
120	INTERVIEW	(E)	(E)	(E)	(E)		
121	SQUAD ROOM	(E)	(E)	(E)	(E)		
122	MEN'S LOCKER ROOM	(E)	(E)	(E)	(E)		
123	MEN'S RESTROOM	(E)	(E)	(E)	(E)		
127	MOTORCYCLE	(E)	(E)	(E)	(E)		
128	WOMEN'S LOCKER ROOM	(E)	(E)	(E)	(E)		
129	WOMEN'S RESTROOM	(E)	(E)	(E)	(E)		

MATERIALS

A. CONCRETE (POLISHED)
B. CARPET
C. CONCRETE D. CORK
E. CERAMIC MOSAIC TILE
F. VINYL COMPOSITION TILE
G. OSB PANEL
H. COVED TILE
I. FRP

J. WOOD BOARD
K. GYPSUM BOARD
L. RUBBER
M. WALL TILE
N. SUSPENDED ACOUSTICAL PANELS/T-BAR
O. FLOOR TILE
P. EXPOSED WOOD FRAM'G. & DECK
Q. PLASTIC LAMINATE
R. APPLIED ACOUSTICAL PANELS

* WALL FIN. INSTALLED O/ GWB, SEE PLANS & ELEVS. FOR ADD'L INFO. NOTE: ALL FLOOR FINISHES SHALL CONFORM WITH CBC 1124B

FINISHES

I. NO ADD'L FINISH
2. FACTORY
3. PAINT
4. SEALER
5. CLEAR FINISH
6. STAIN & CLEAR FINISH
6. STAIN & CLEAR FINISH

GENERAL NOTES

I. COLOR SELECTION - SEE SPECS, U.O.N.
2. FLAME SPREAD - SEE SPECS, FOR SPECIFIC FLAME SPREAD RATING REQUIREMENTS.
A. WALL & CEILING FINISHES - CONFORM TO CBC 803
- LOBBY & EXIT ENCLOSURE - CLASS B MINIMUM
- ELSEWHERE - CLASS C MINIMUM
B. DECORATIVE MATERIALS & TRIM - CONFORM TO CBC 806

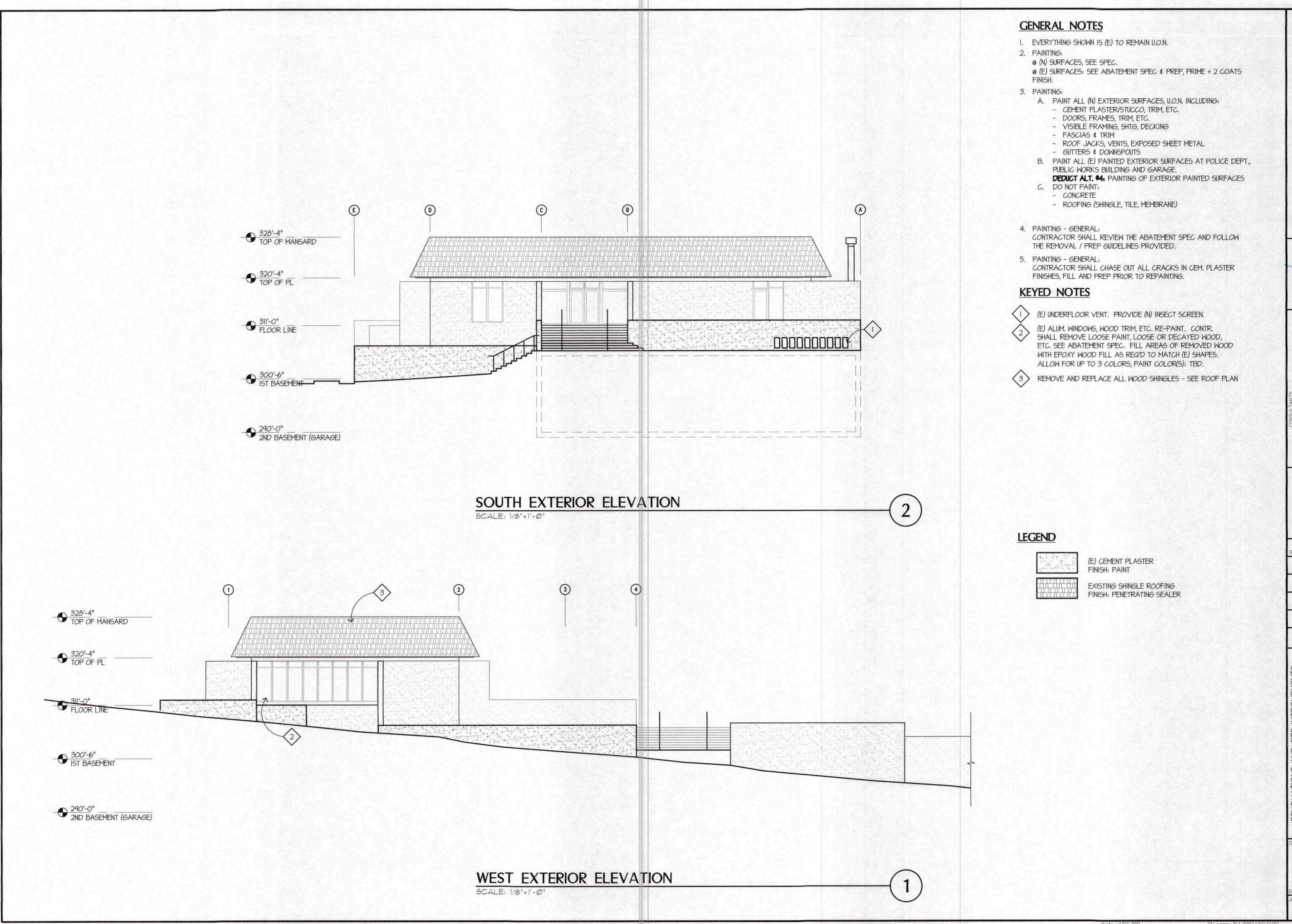
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PLAN CHECK 12/05/19

SHEET NUMBER

DATE: 18 OCT 2019 CADD 1712.1

File name: D:\JOBS\1712.1\CD\



RCHITEC

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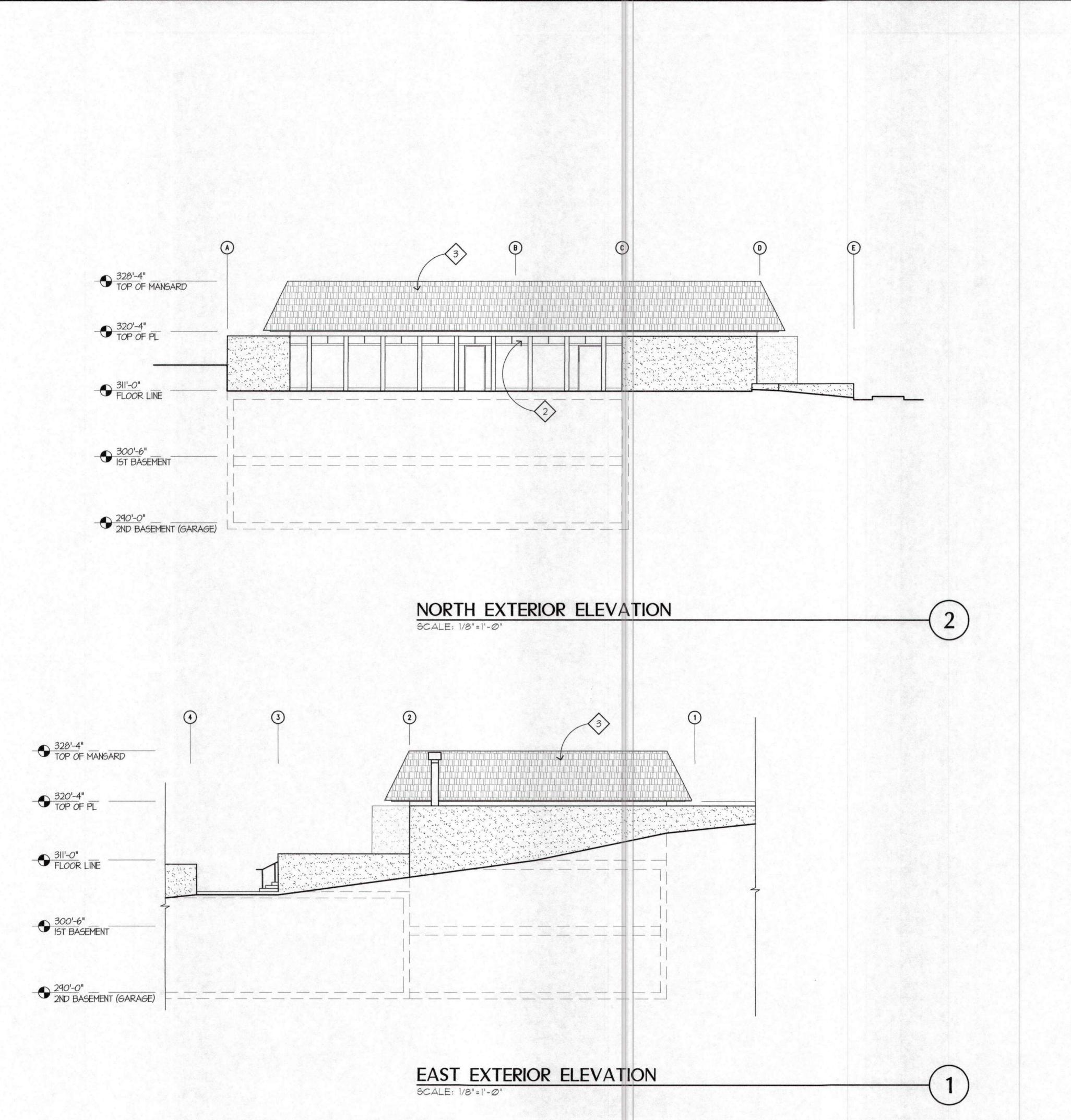
REVISIONS:

CITY OF CARMEL—BY—THE—SEA
POLICE DEPARTMENT CARMEL-BY-THE-SEA, CA 93923

EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER

A3.1



- I. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
- 2. PAINTING:

(N) SURFACES, SEE SPEC.

@ (E) SURFACES: SEE ABATEMENT SPEC & PREP, PRIME + 2 COATS FINISH.

3. PAINTING:

- A. PAINT ALL (N) EXTERIOR SURFACES, U.O.N. INCLUDING:
 - CEMENT PLASTER/STUCCO, TRIM, ETC.
- DOORS, FRAMES, TRIM, ETC.VISIBLE FRAMING, SHTG, DECKING
- FASCIAS & TRIM

- ROOF JACKS, VENTS, EXPOSED SHEET METAL - GUTTERS & DOWNSPOUTS

B. PAINT ALL (E) PAINTED EXTERIOR SURFACES AT POLICE DEPT., PUBLIC WORKS BUILDING AND GARAGE.

DEDUCT ALT. #4: PAINTING OF EXTERIOR PAINTED SURFACES

- C. DO NOT PAINT: - CONCRETE
 - ROOFING (SHINGLE, TILE, MEMBRANE)

4. PAINTING - GENERAL:

CONTRACTOR SHALL REVIEW THE ABATEMENT SPEC AND FOLLOW THE REMOVAL / PREP GUIDELINES PROVIDED.

5. PAINTING - GENERAL:
CONTRACTOR SHALL CHASE OUT ALL CRACKS IN CEM. PLASTER
FINISHES, FILL AND PREP PRIOR TO REPAINTING.

KEYED NOTES

(E) UNDERFLOOR VENT. PROVIDE (N) INSECT SCREEN.

(E) ALUM. WINDOWS, WOOD TRIM, ETC. RE-PAINT. CONTR.
SHALL REMOVE LOOSE PAINT, LOOSE OR DECAYED WOOD,
ETC. SEE ABATEMENT SPEC. FILL AREAS OF REMOVED WOOD
WITH EPOXY WOOD FILL AS REQ'D TO MATCH (E) SHAPES.
ALLOW FOR UP TO 3 COLORS, PAINT COLOR(S): TBD.

REMOVE AND REPLACE ALL WOOD SHINGLES - SEE ROOF PLAN

LEGEND

CEMENT PLASTER FINISH: PAINT

EXISTING SHINGLE ROOFING FINISH: PENETRATING SEALER



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SAVAN

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PEVISION

PLAN CHECK 12/05/19

AENT4 AVE.

A 93923

JLICE DEPARTMENT

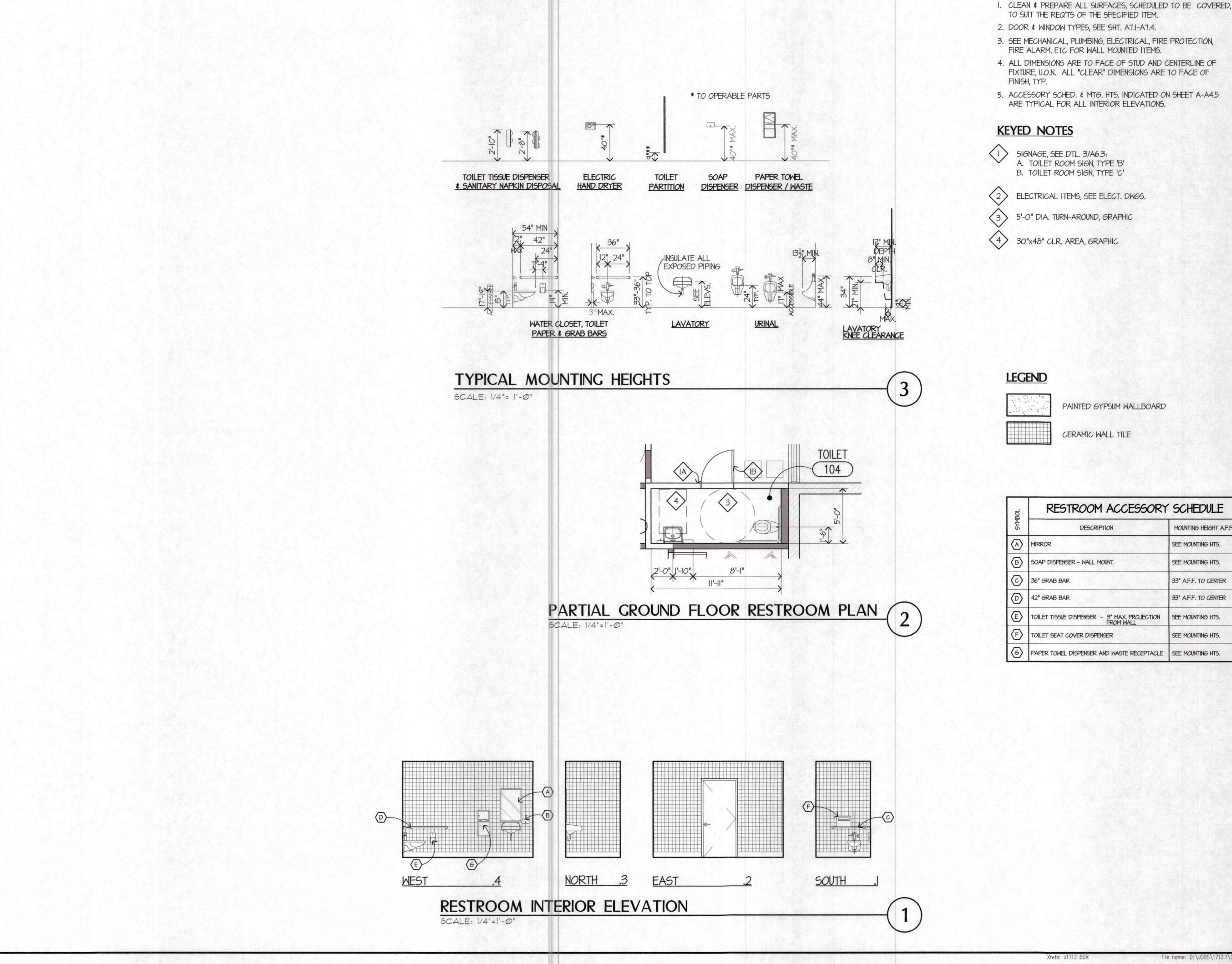
AT:
AEL-BY-THE
AT:
AEL-BY-THE-SEA, CA 9392

0

SHEET NUMBER

A3.2

DATE: **18 OCT 2019**JOB DRAWN **1712.1 CADD**



RCHITEC

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PLAN CHECK 12/05/19

PAINTED GYPSUM WALLBOARD

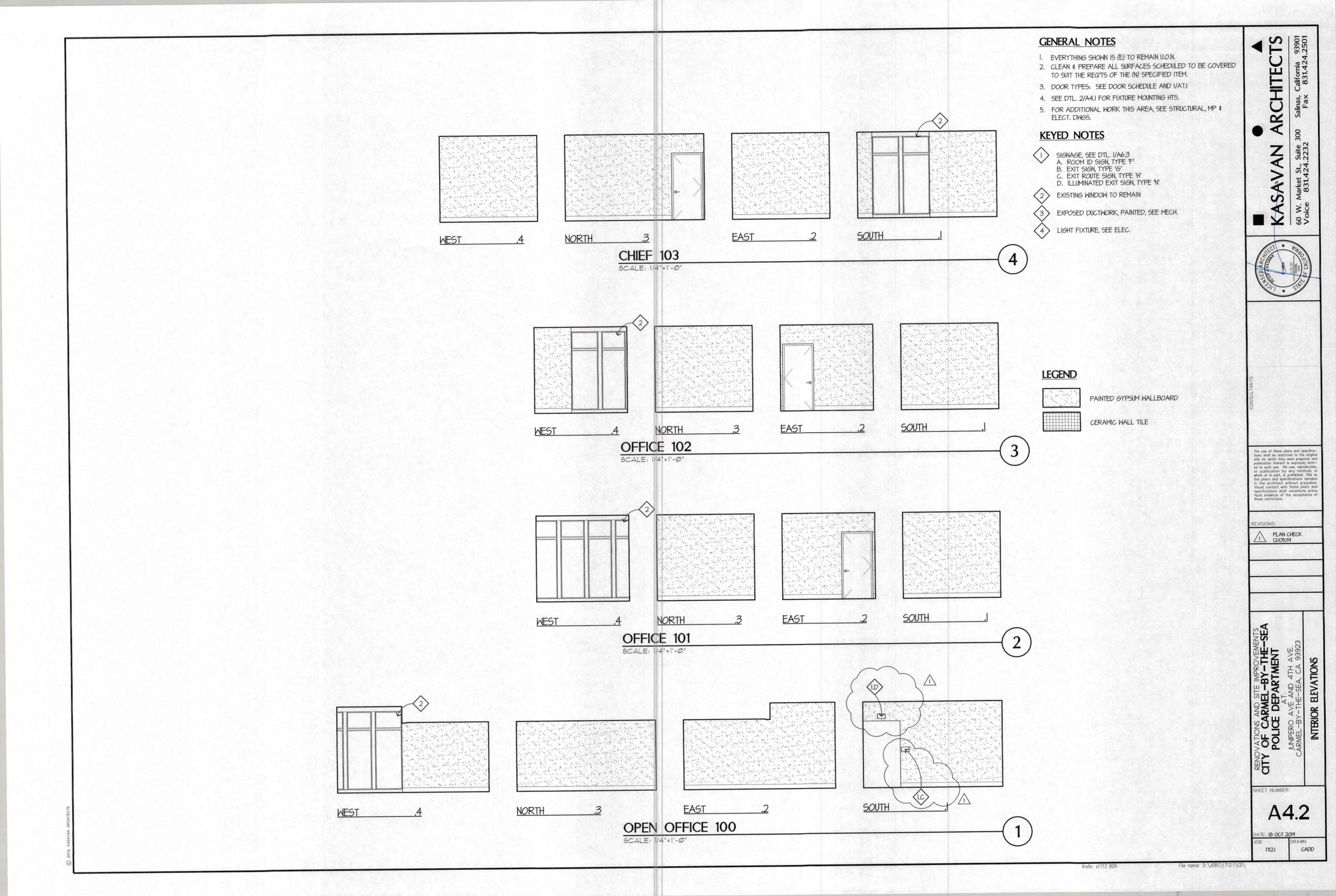
GENERAL NOTES

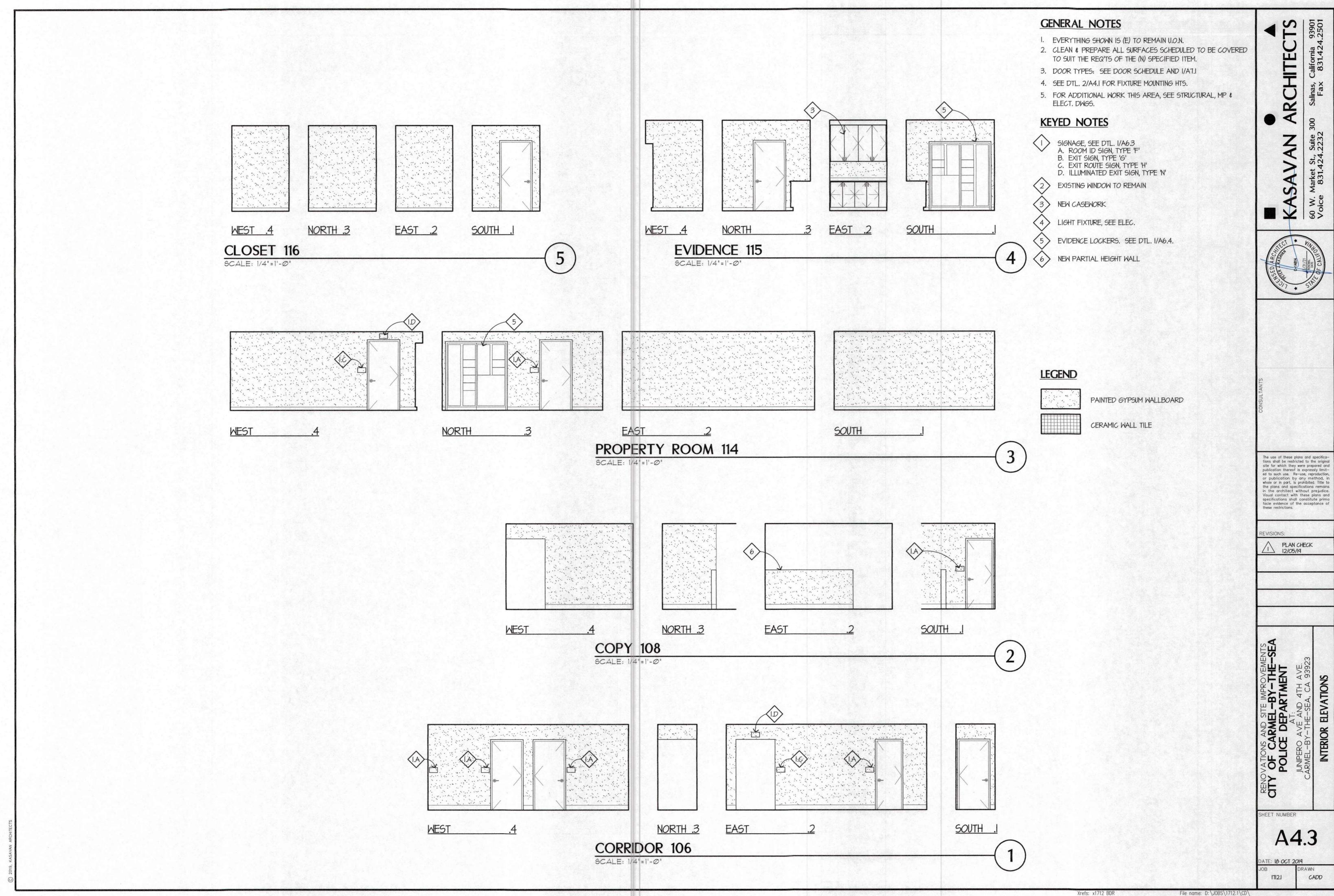
ZOL	RESTROOM ACCESSORY SCHEDULE						
STMBOL	DESCRIPTION	MOUNTING HEIGHT A.F.F.					
A	MIRROR	SEE MOUNTING HTS.					
B	SOAP DISPENSER - WALL MOUNT.	SEE MOUNTING HTS.					
0	36" GRAB BAR	33" A.F.F. TO CENTER					
D	42" <i>G</i> RAB BAR	33" A.F.F. TO CENTER					
(E)	TOILET TISSUE DISPENSER - 3" MAX. PROJECTION FROM WALL	SEE MOUNTING HTS.					
F	TOILET SEAT COVER DISPENSER	SEE MOUNTING HTS.					
(G)	PAPER TOWEL DISPENSER AND WASTE RECEPTACLE	SEE MOUNTING HTS.					

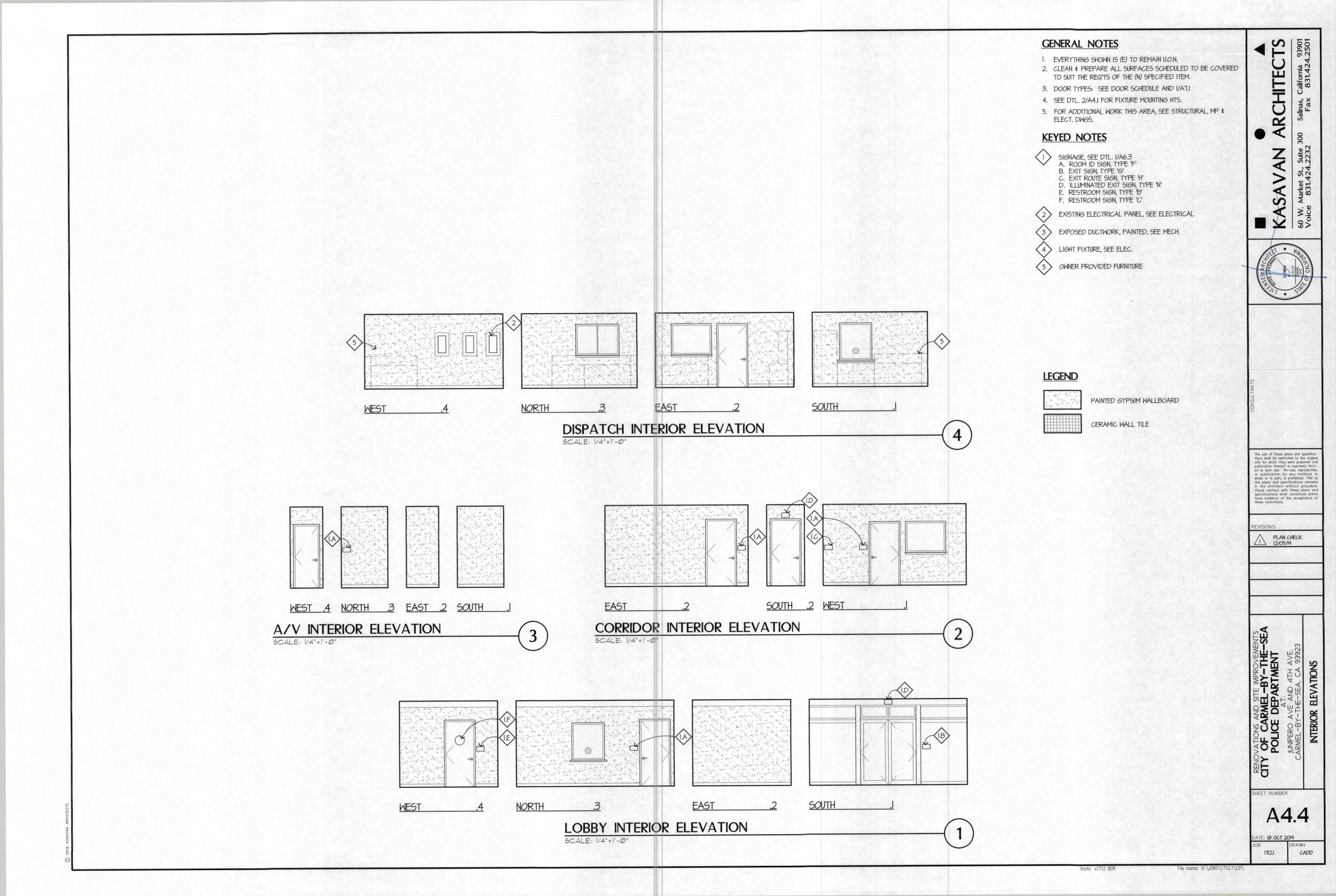
INTERIOR ELEVATIONS

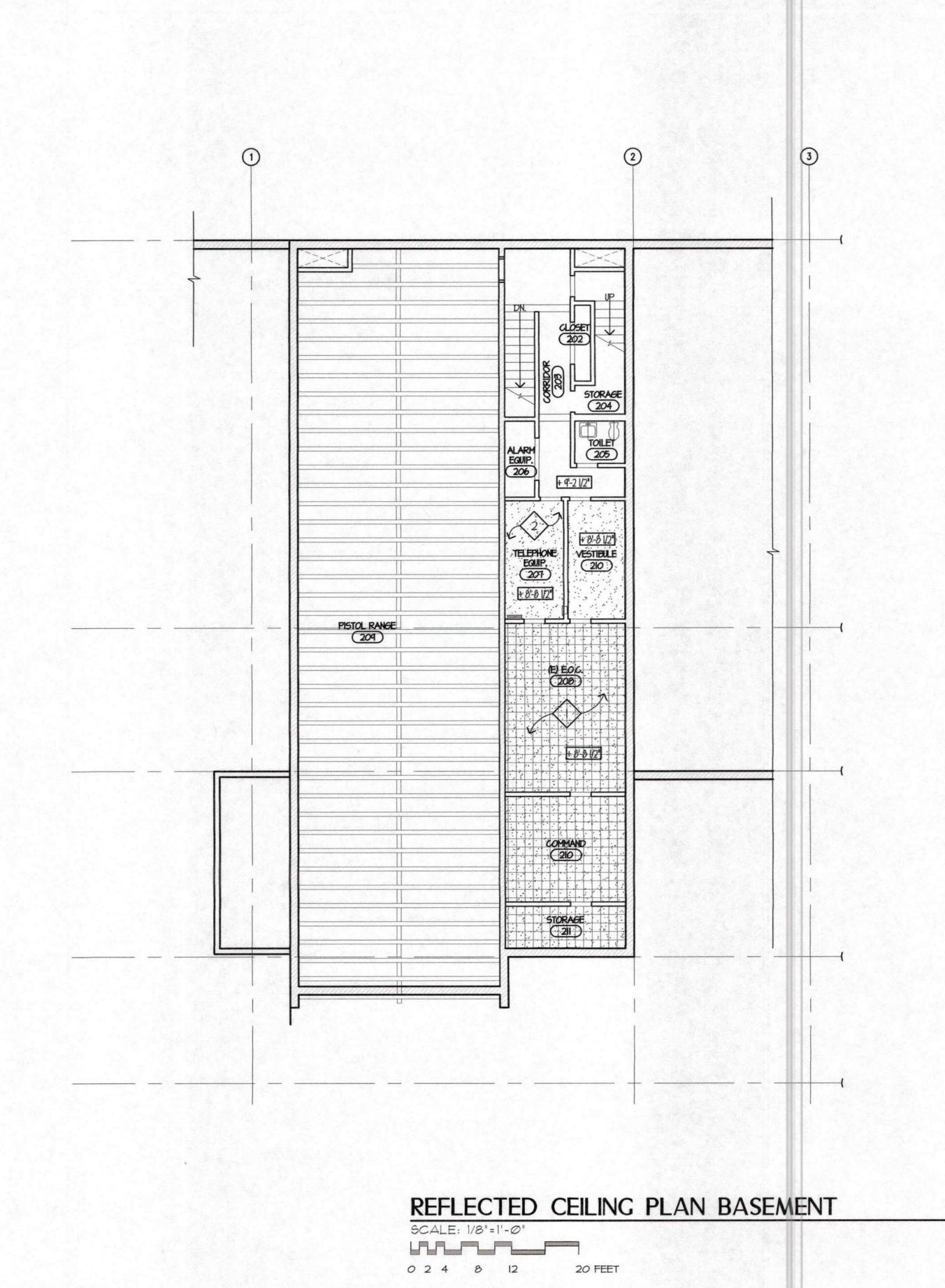
A4.1

CADD









- I. SEE SHTS INDICATED & STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. FOR COMPLETE SCOPE OF WORK.
- 2. EXPOSED PIPING, CONDUIT OR OTHER CONSTRUCTION NOT SPECIFICALLY SHOWN: CONTRACTOR SHALL COORDINATE LAYOUT & LOCATION OF PIPING W/ ALL TRADES & VERIFY W ARCHITECT PRIOR TO INSTALL.
- 3. AT ROOMS WITH NO WORK TO BE DONE, EXISTING LIGHTING AND MECHANICAL TO REMAIN.
- 4. CASEWORK, PLUMBING FIXTURES AND FURNITURE BELOW SHOWN GRAY FOR REFERENCE.

KEYED NOTES

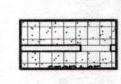
HAZMAT ABATEMENT, SEE REPORT AND SPEC. THIS AREA TO OCCUR IN PHASE 3, SEE SHT. AI.4.

SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE

LEGEND

(E) GYP. BOARD - PATCH AND PAINT AS REQ'D.

-(E) SUSP. ACOUSTICAL PANEL (T-BAR)



(E) ACOUSTICAL TILE O/ GYP. BOARD

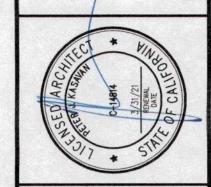


(E) EXPOSED CONC. DECK

+9'-0"

CEILING HT.

KASA KASA 60 W. Market Voice 831.

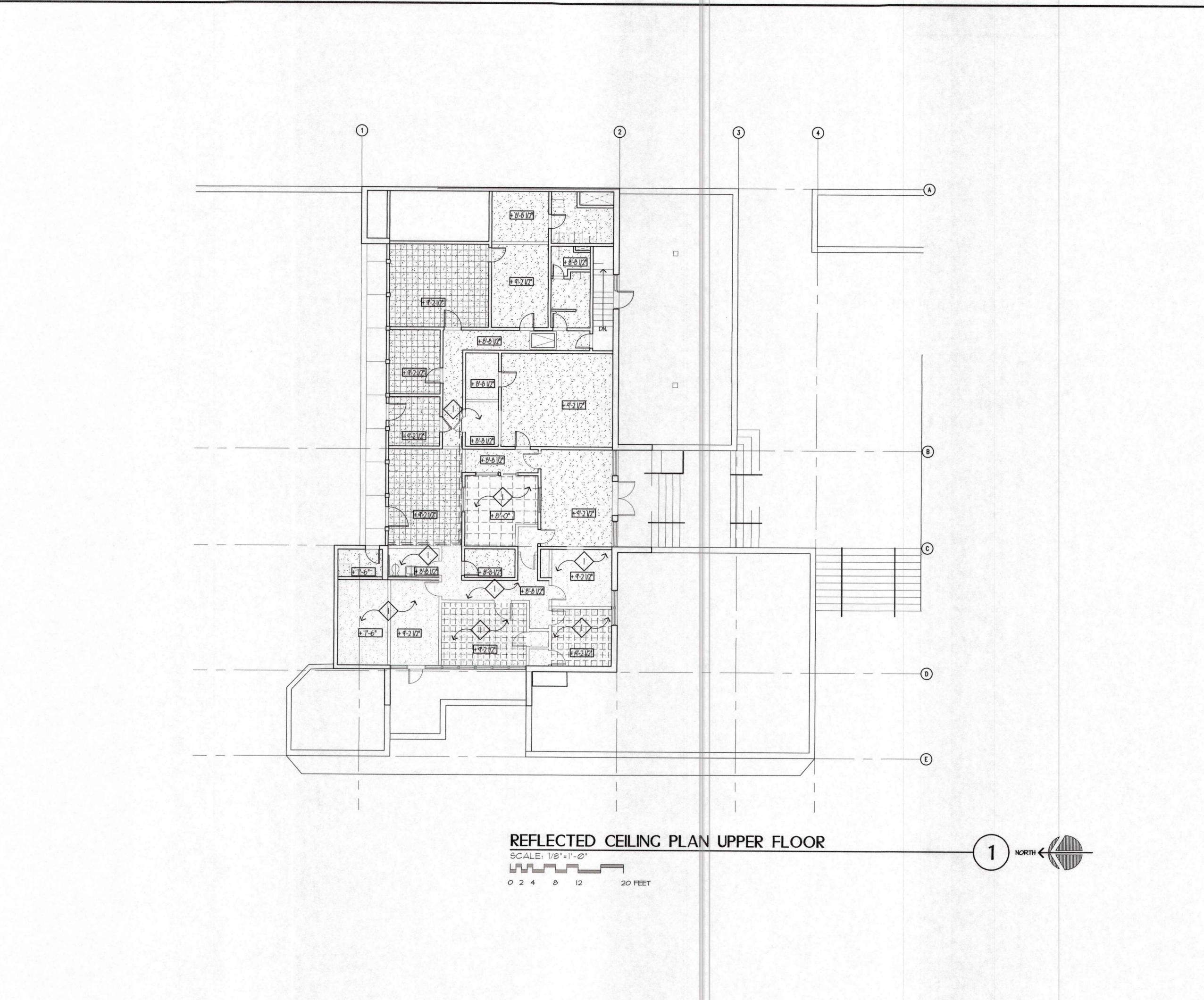


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PLAN CHECK 12/05/19

HEET NUMBER

A4.10



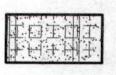
- I. SEE SHTS INDICATED & STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. FOR COMPLETE SCOPE OF WORK.
- 2. EXPOSED PIPING, CONDUIT OR OTHER CONSTRUCTION NOT SPECIFICALLY SHOWN: CONTRACTOR SHALL COORDINATE LAYOUT & LOCATION OF PIPING W/ ALL TRADES & VERIFY W ARCHITECT PRIOR TO INSTALL.
- 3. AT ROOMS WITH NO WORK TO BE DONE, EXISTING LIGHTING AND MECHANICAL TO REMAIN.
- 4. CASEWORK, PLUMBING FIXTURES AND FURNITURE BELOW SHOWN GRAY FOR REFERENCE.

KEYED NOTES

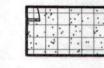


REMOVE (E) CEILING WHERE INDICATED

LEGEND



CEILING TO BE REMOVED



(E) ACOUSTICAL TILE O/ GYP. BOARD

+ 9'-0"

CEILING HT.

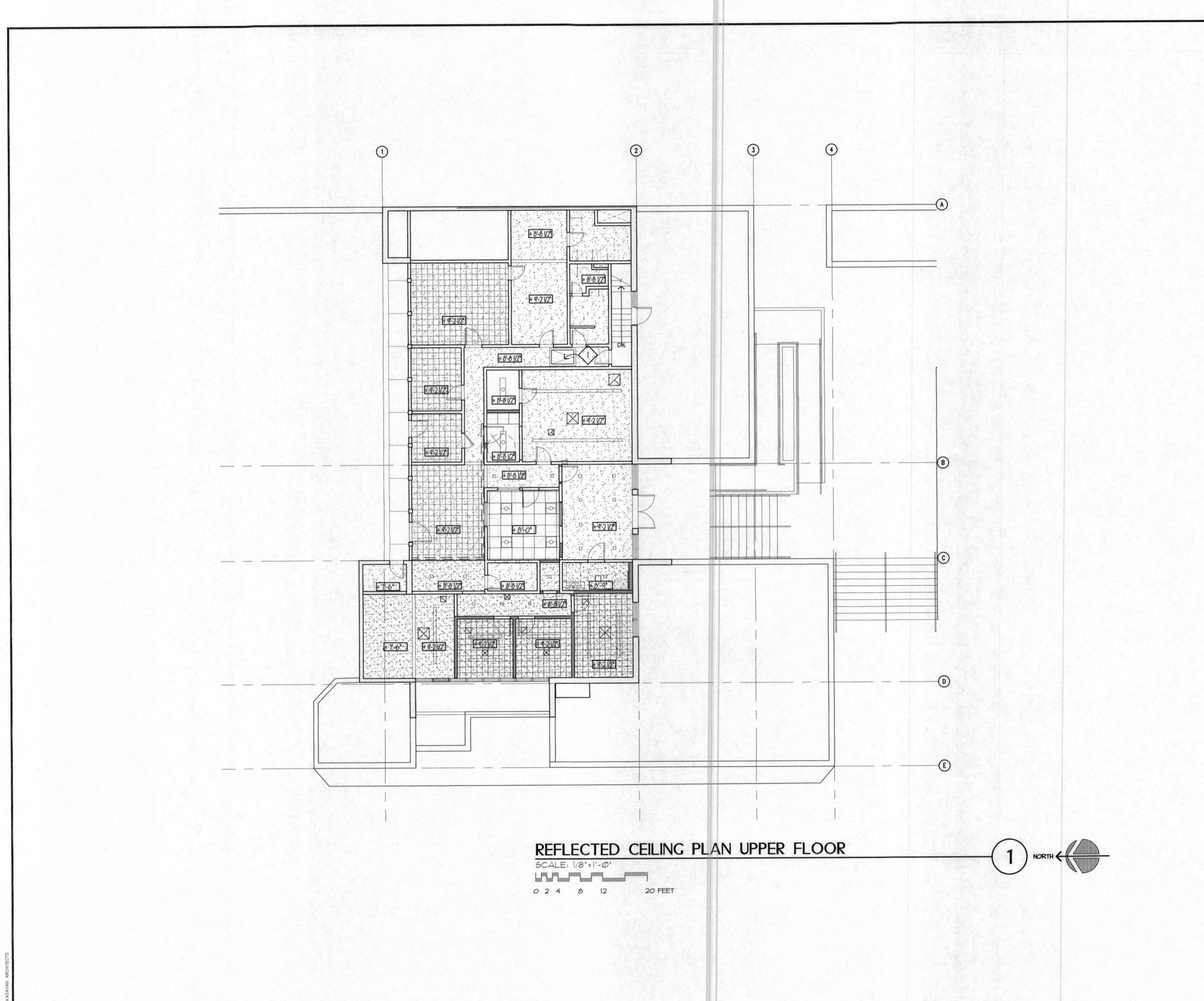
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60 W. Market St., Suite 3
Voice 831.424.2232

PLAN CHECK 12/05/19

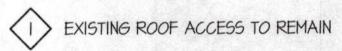
HEET NUMBER

A4.11



- I. SEE SHTS INDICATED & STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. FOR COMPLETE SCOPE OF WORK.
- 2. EXPOSED PIPING, CONDUIT OR OTHER CONSTRUCTION NOT SPECIFICALLY SHOWN: CONTRACTOR SHALL COORDINATE LAYOUT & LOCATION OF PIPING W ALL TRADES & VERIFY W ARCHITECT PRIOR TO INSTALL.
- 3. AT ROOMS WITH NO WORK TO BE DONE, EXISTING LIGHTING AND MECHANICAL TO REMAIN.
- 4. CASEWORK, PLUMBING FIXTURES AND FURNITURE BELOW SHOWN GRAY FOR REFERENCE.

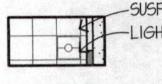
KEYED NOTES



LEGEND



GYP. BOARD - PAINT -HVAC. REGISTER, SEE MECH. DWGS.



-SUSP. ACOUSTICAL PANEL (T-BAR) -LIGHT FIXTURE, SEE ELECT. DWGS.



(E) ACOUSTICAL TILE O/ GYP. BOARD

+ 9'-0"

CEILING HT.

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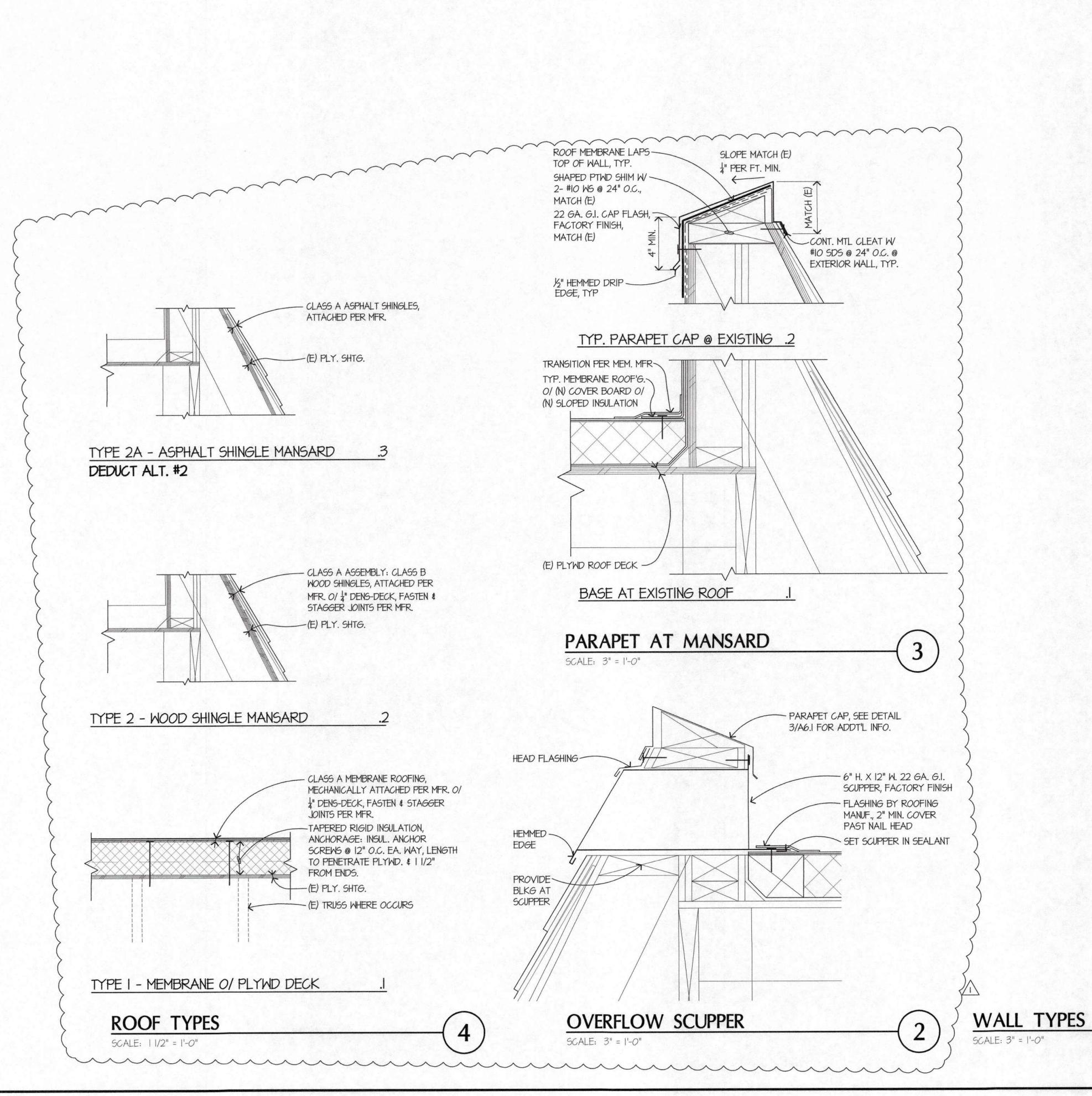
JUNIPERO AVE AND 4TH AVE. CARMEL-BY-THE-SEA, CA 93923 PROPOSED RCP UPPER FLOOR

HEET NUMBER

A4.11a

CADD

ARCHITEC



WALL TYPES NOTES

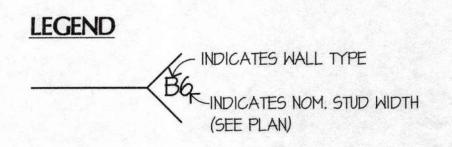
- I. ALL STUD SPACING IS 16" O.C. U.O.N.
- 2. STAGGER GYP BD. JOINTS, TYP. @ MULTIPLE LAYERS.

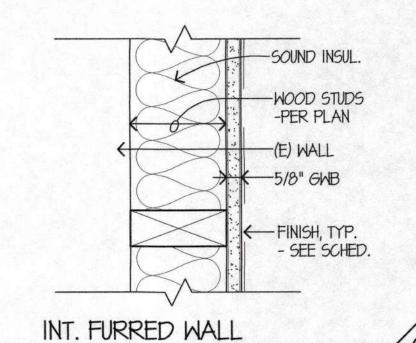
3. ACOUSTIC / SOUND CONTROL:
ALL CONSTRUCTION SHALL MEET THE SOUND ISOLATION & NOISE
CONTROL REQ'TS DESCRIBED IN THE SPECS, SHTS A6.4, A6.5 &
PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE
ALARM DWGS.

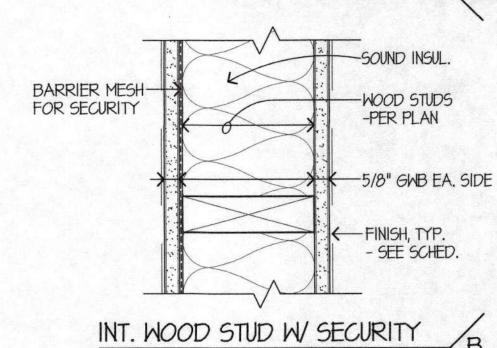
- 4. FOR TYP. METAL FRAMING DETAILS & NOTES SEE STRUC. SHT SI.5
- 5. FOR IHR RATED WALL TYPES SEE DTL 2/A6.5.
- 6. FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS, SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL:
 - I. BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES

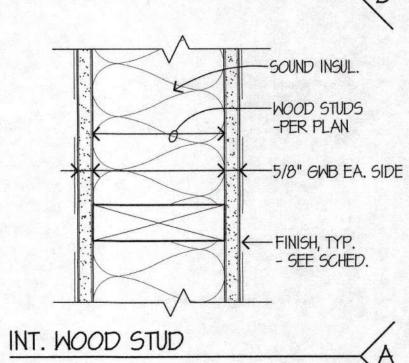
 2. BE LOCATED WITHIN 15-FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30-FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION

 3. INCLUDE LETTERING NOT LESS THAN 3-INCHES IN HEIGHT WITH A MINIMUM STROKE OF 3/8-INCH, INCORPORATING THE SUGGESTED WORDING: FIRE AND/OR SMOKE BARRIER PROTECT ALL OPENINGS.









DOD STUD

A6.1

DATE: 18 OCT 2019

SHEET NUMBER

OVATIONS AND SITE IMPROVEME OF CARMEL—BY—THE— POLICE DEPARTMENT
AT:
AT:
A INIDERO AVE AND 4TH AVE

CHITEC

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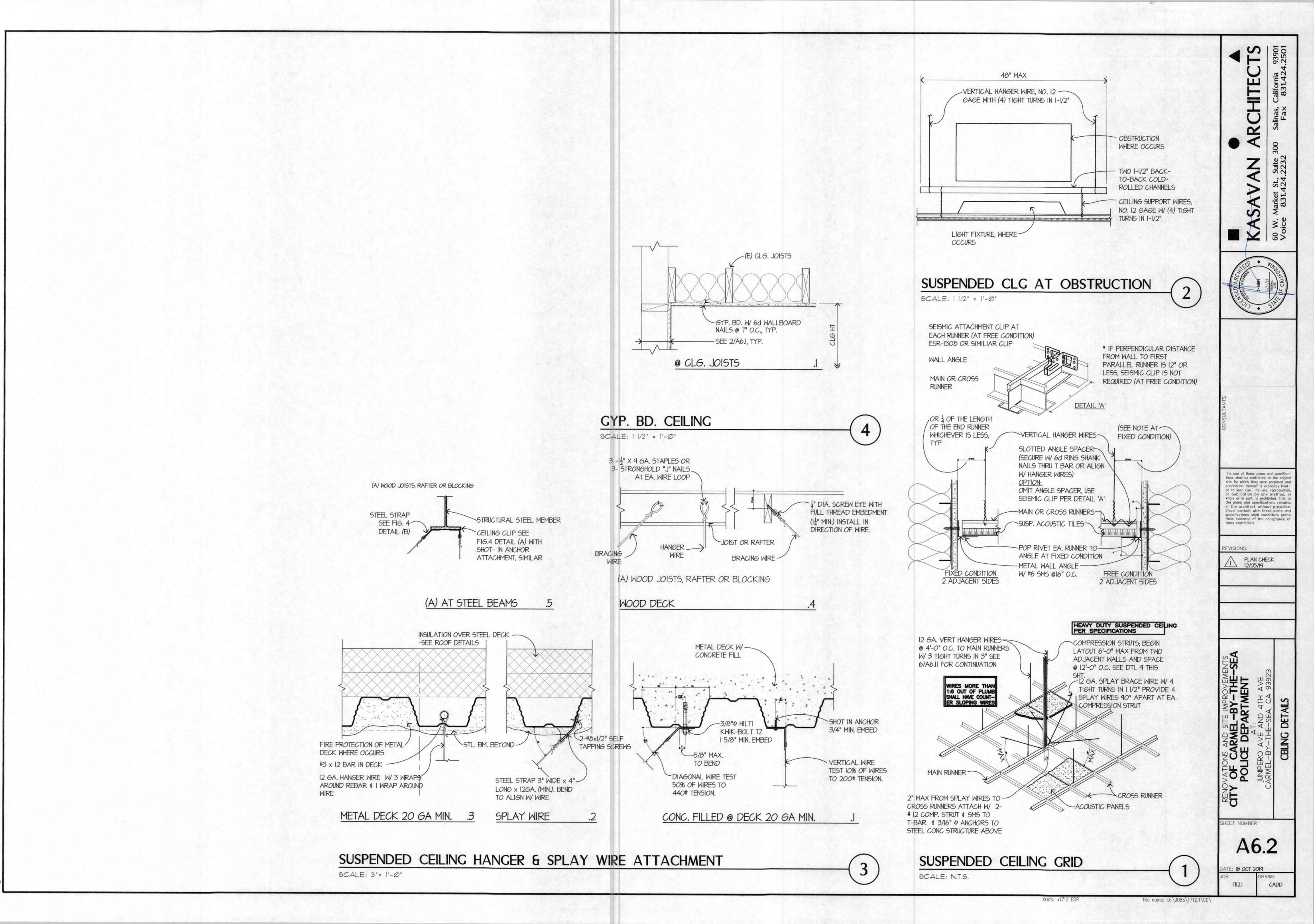
specifications shall constitute prime

facie evidence of the acceptance of

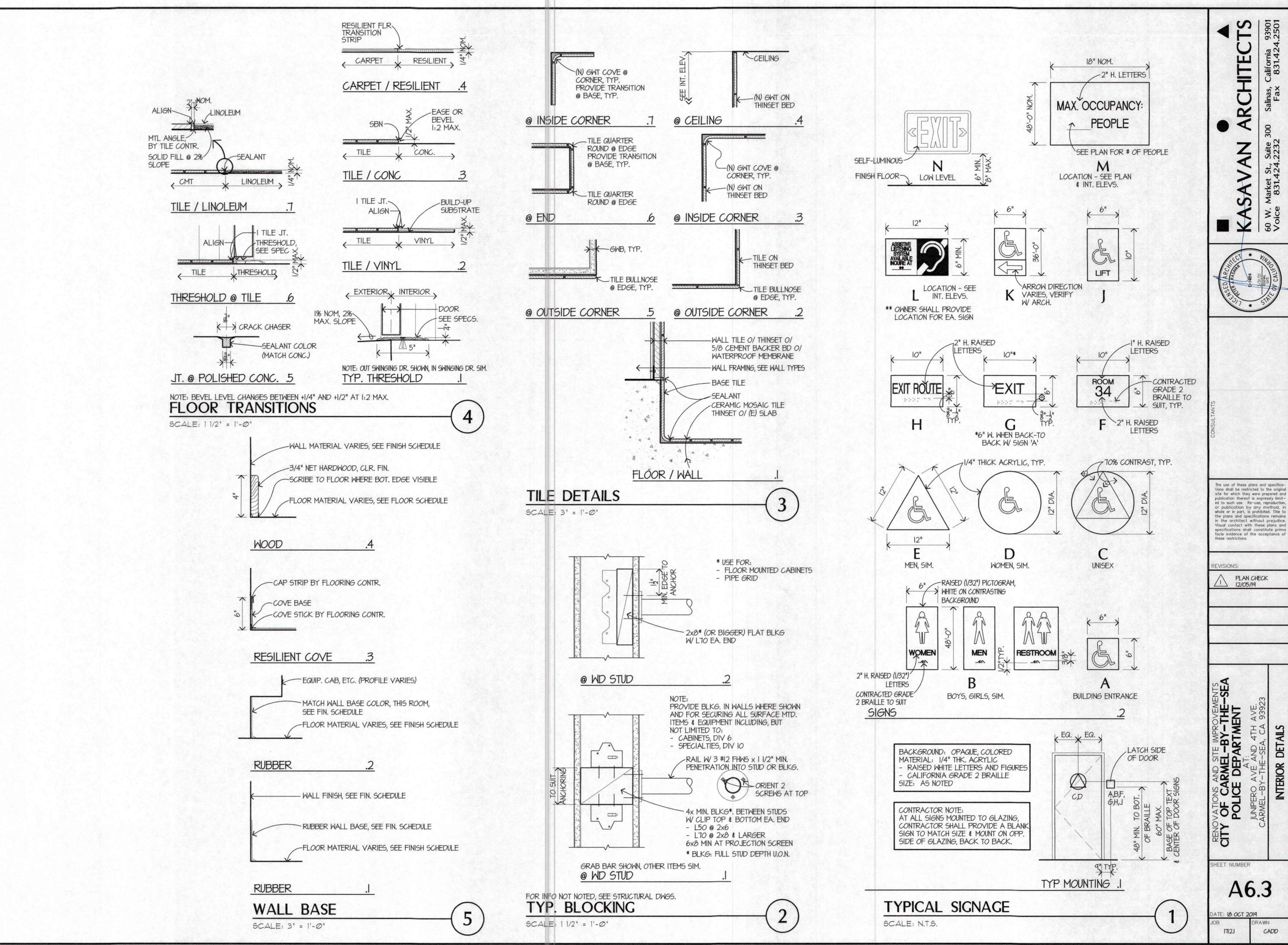
PLAN CHECK 12/05/19

JOB DRAWN

ITI2.I CADD

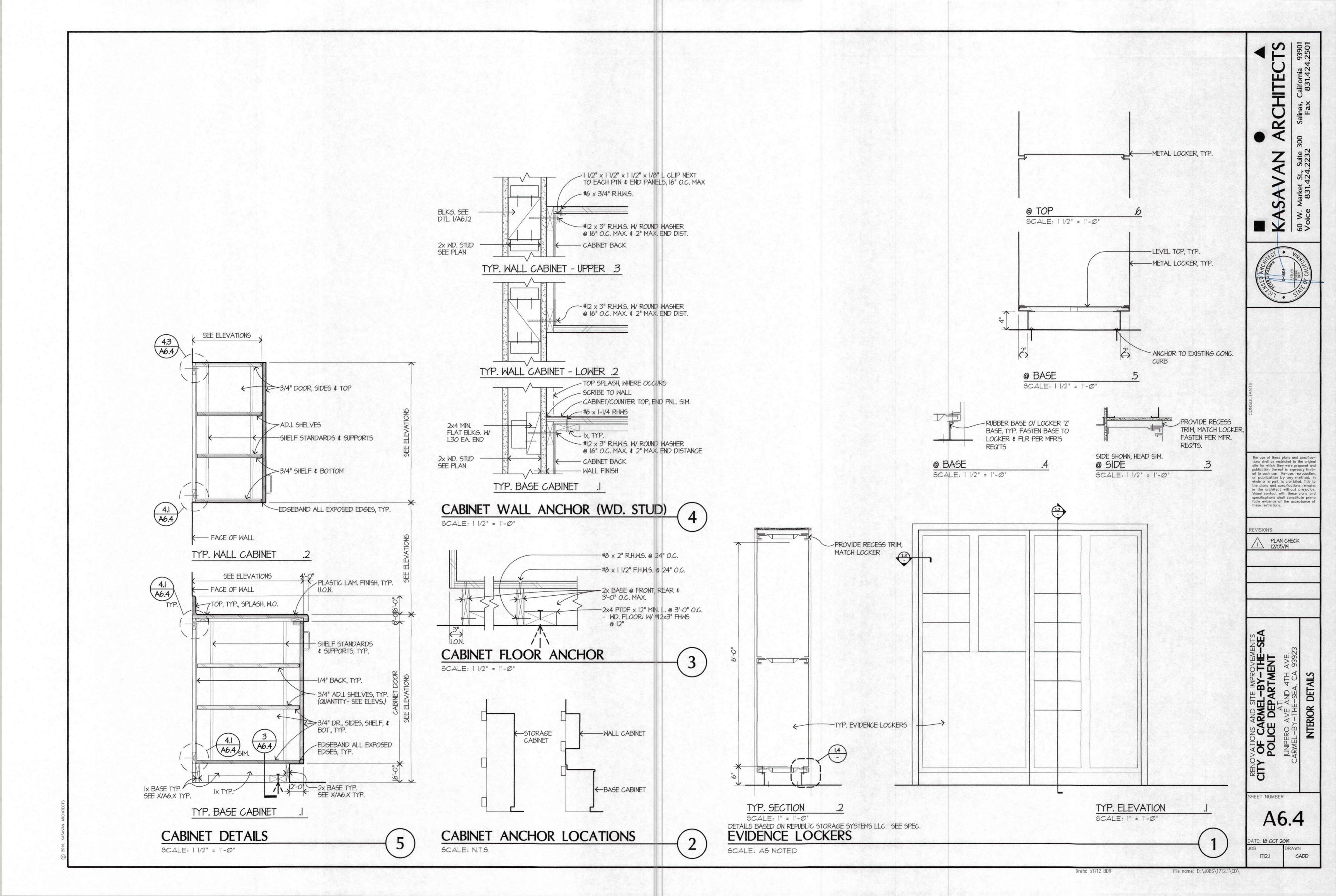


(C) 2019, KASAVAN ARCHI



2019, KASAVAN ARCHITEC

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Last Updated on 2015-02-20

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(UL)

XHEZ.C-AJ-1155 - THROUGH-PENETRATION FIRESTOP SYSTEMS

Design/System/Construction/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and
- use of UL Certified products, equipment, system, devices, and materials. Authorities Having Jurisdiction should be consulted before construction.
- · Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- · When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- · Only products which bear UL's Mark are considered Certified.

XHEZ - Through-penetration Firestop Systems

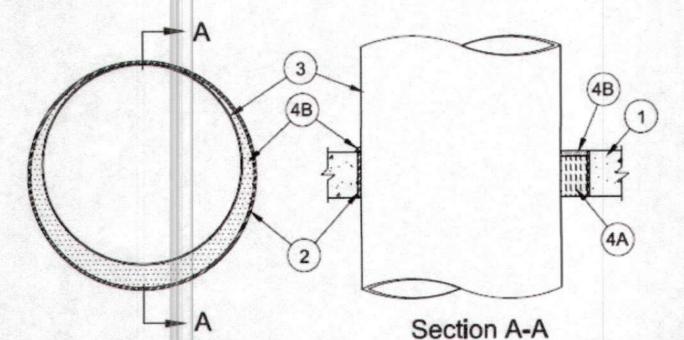
XHEZ7 - Through-penetration Firestop Systems Certified for Canada See General Information for Through-penetration Firestop Systems

See General Information for Through-penetration Firestop Systems Certified for Canada

System No. C-AJ-1155

February 20, 2015

ANSI/UL1479 (ASTM E814)	CAN/ULC S115	
F Rating — 2 and 3 Hr (See Item 3)	F Rating — 2 and 3 Hr (See Item 3)	
T Rating —0 Hr	FT Rating — 0 Hr	
L Rating At Ambient — Less Than 1 CFM/sq ft	FH Rating — 2 and 3 Hr (See Item 3)	
L Rating At 400 F — 4 CFM/sq ft	FTH Rating — 0 Hr	
W Rating — Class 1 (See Item 4)	L Rating At Ambient — Less Than 1 CFM/sq ft	
	L Rating At 400 F — 4 CFM/sq ft	



1. Floor or Wall Assembly - Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Max diam of opening is 32 in. (813

See Concrete Blocks (CAZT) category in Fire Resistance Directory for names of manufacturers.

2. Metallic Sleeve (Optional) — Nom 32 in. (813 mm) diam (or smaller) Schedule 40 (or heavier) steel pipe cast or grouted into floor or wall assembly, flush with floor or wall assembly.

3. Through Penetrants — One metallic pipe or tubing to be installed either concentrically or eccentrically within the firestop system. Pipe or tubing to be rigidly supported on both sides of floor or wall assembly. The annular space shall be min 0 in. (point contact) to max 12 in. (305 mm). When maximum annular space exceeds 2-1/4 in. (57 mm) the F Rating is 2 hr. The

following types and sizes of metallic pipes or tubing may be used: A. Steel Pipe — Nom 20 in. (508 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.

- B. Iron Pipe Nom 20 in. (508 mm) diam (or smaller) cast or ductile iron pipe.
- C. Conduit Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing or nom 6 in. (152 mm) diam (or smaller) steel electrical metallic tubing or nom 6 in. (152 mm) diam (or smaller) steel conduit.
- D. Copper Tubing Nom 6 in. (152 mm) diam (or smaller) Type L (or heavier) copper tubing.
- E. Copper Pipe Nom 6 in. (152 mm) diam (or smaller) Regular (or heavier) copper pipe

4. Firestop System — The firestop system shall consist of the following:

A. Packing Material — Min 4 in. (102 mm) thickness of min 4 pcf (64 kg/m³) mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top end of sleeve for floors or from both ends of sleeve for walls to accommodate the required thickness of fill material.

B. Fill, Void or Cavity Material* — Sealant — Min 1/2 in. (13 mm) thickness of fill material applied within the annulus, flush with the top end of the sleeve for floors, or with both ends of the sleeve for walls. Min 1/2 in. (13 mm) thick bead of all material to be installed around pipe at interface of sleeve for point contact installations. W Rating applies only when FS-ONE MAX Intumescent Sealant is used. For the W Rating, max annular space is 1-7/8 in. (48 mm) and an additional film of sealant shall be applied over the sleeve (when used) lapping at least 1/2 in. (13 mm) onto

top surface of floor or both surfaces of wall. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-ONE Sealant or FS-ONE MAX Intumescent Sealant

(E) PENETRATION AT CONCRETE WALL

SCALE: N.T.S.

UL Product iQ™

SAVAN

whole or in part, is prohibited. Ti the architect without prejud specifications shall constitute pr acie evidence of the acceptance

PLAN CHECK

/1 12/05/19

VATIONS AND SITE IMPROVEN OF CARMEL—BY—THE POLICE DEPARTMENT

XHEZ.C-AJ-0058 - THROUGH-PENETRATION FIRESTOP SYSTEMS

Design/System/Construction/Assembly Usage Disclaimer

- · Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- · Only products which bear UL's Mark are considered Certified.

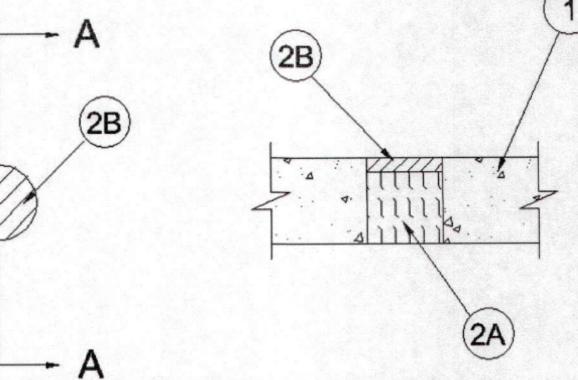
XHEZ - Through-penetration Firestop Systems

See General Information for Through-penetration Firestop Systems

System No. C-AJ-0058

February 19, 2008

F Rating — 3 Hr T Rating — 2-3/4 Hr



1. Floor or Wall Assembly — Min 4-1/2 in. (114 mm) thick floor or min 5-1/4 in. (133 mm) wall, reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Max diam of opening is 4 in. (102 mm).

See Concrete Blocks (CAZT) category in the Fire Resistance Directory for names of manufacturers.

2. Firestop System — The firestop system shall consist of the following: A. Packing or Forming Materials — Min 3-3/4 in. (95 mm) thickness of min 4 pcf (64 kg/m³) mineral wool batt insulation tightly packed into the opening as a permanent form. Packing material to be recessed from the top surface of floor or both surfaces of wall as required to accomodate the required thickness of putty.

B. Fill, Void or Cavity Material* — Putty — Min 3/4 in. (19 mm) thickness of putty applied within the annulus, flush with top surface of floor or with both surfaces of wall. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — CP 618 Firestop Putty Stick

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2008-02-19

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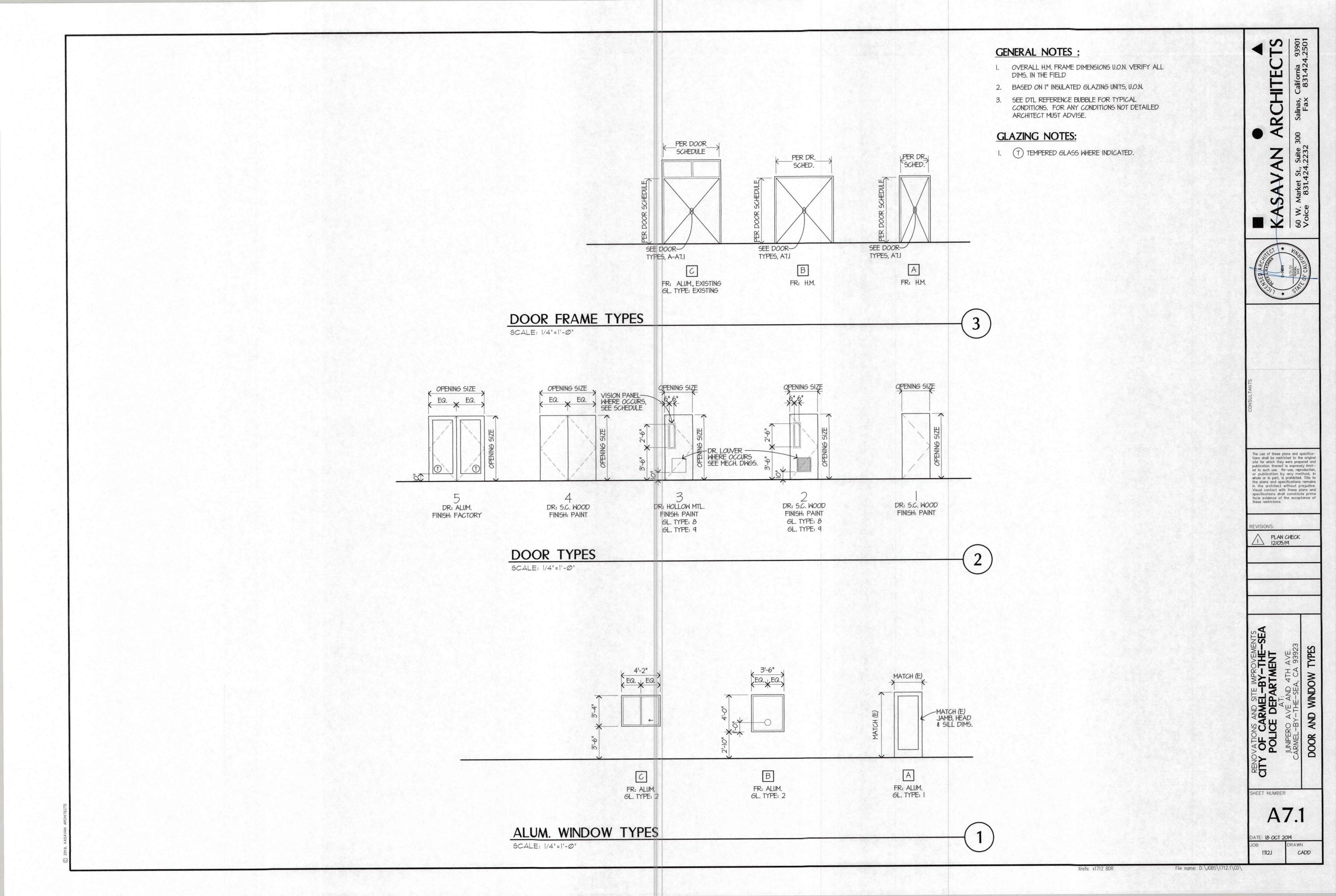
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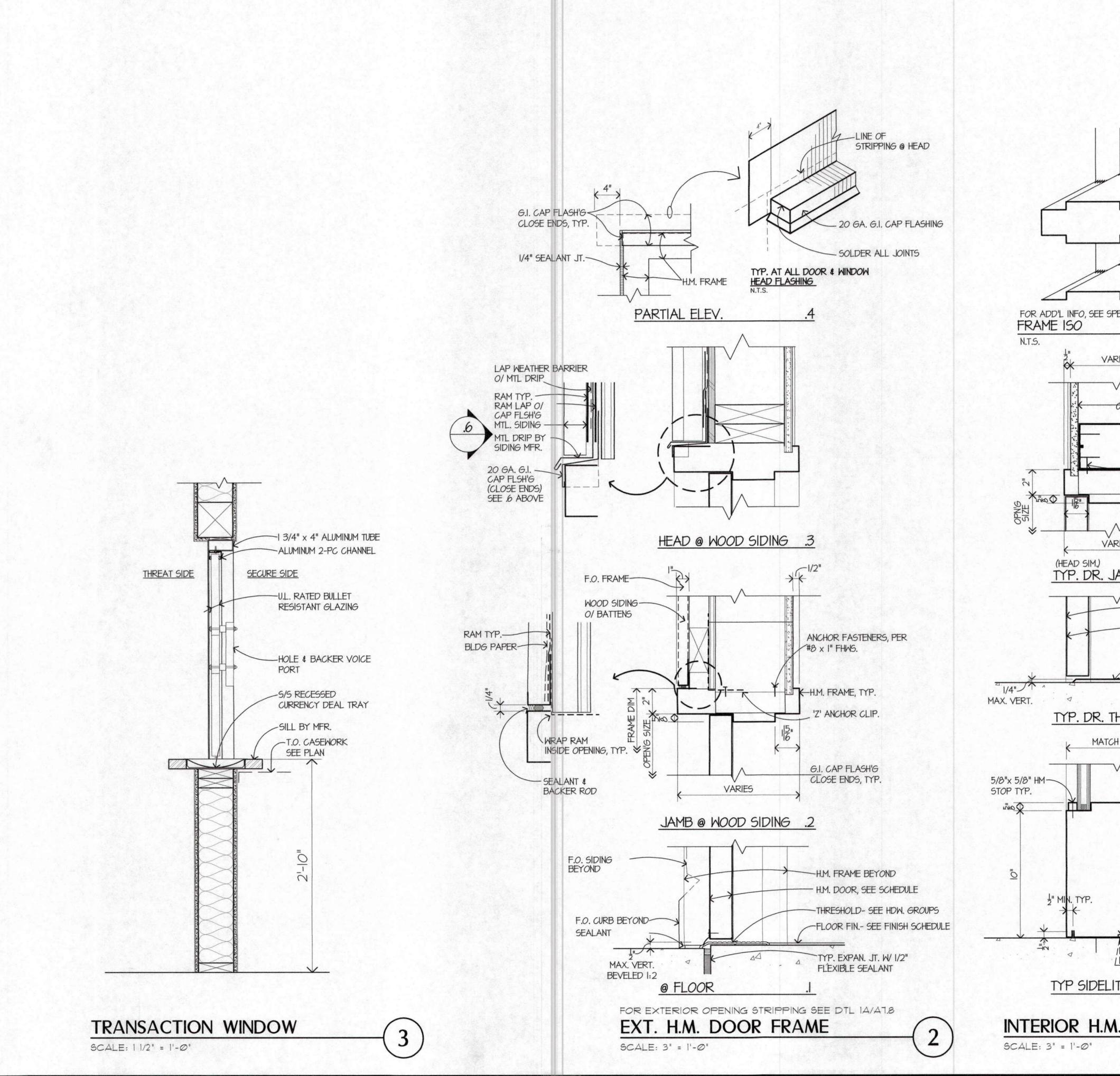
(E) PENETRATION AT CONCRETE WALL

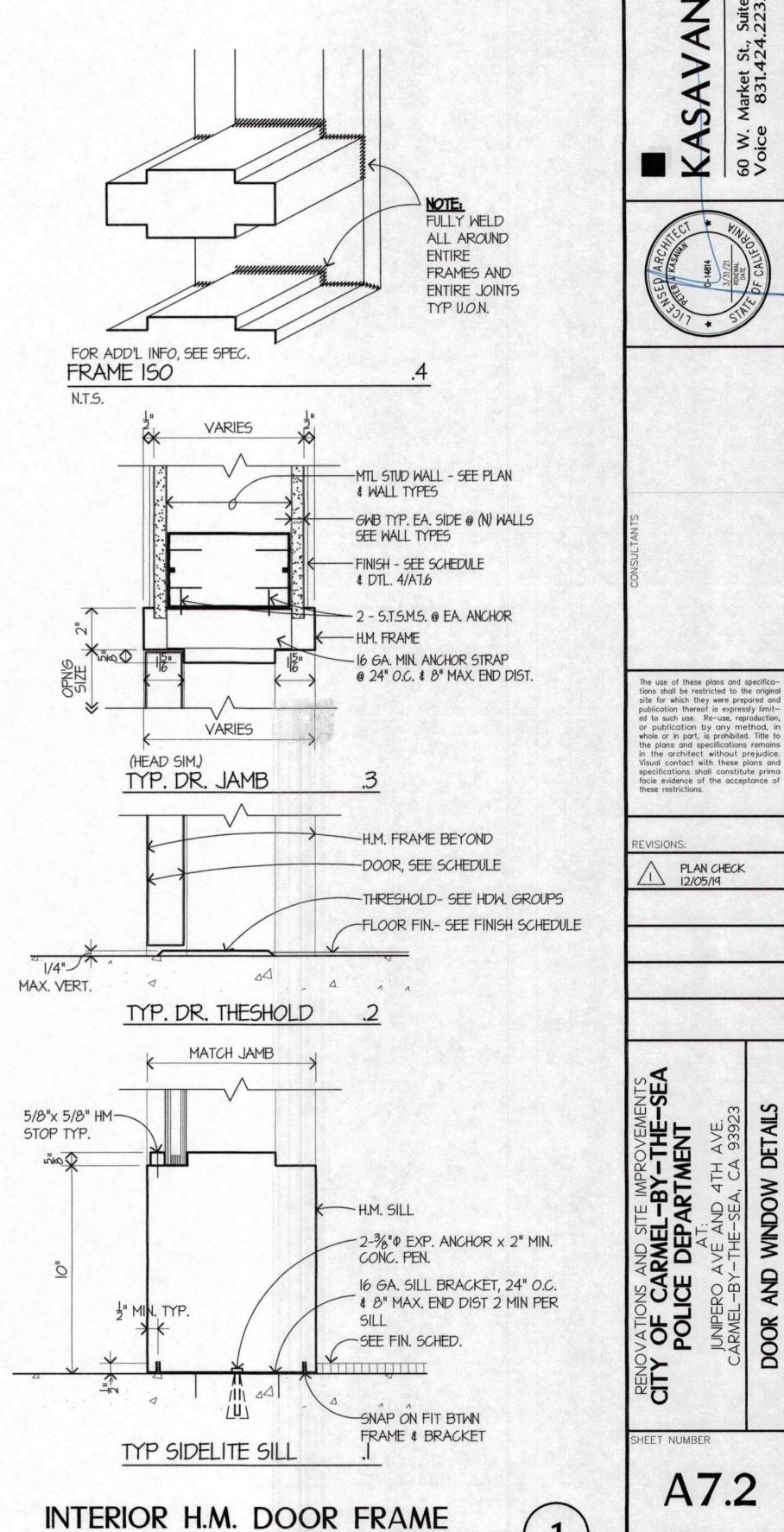
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PLAN CHECK 12/05/19

OVATIONS AND SITE IMPROVEMENT OF CARMEL—BY—THE-POLICE DEPARTMENT

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