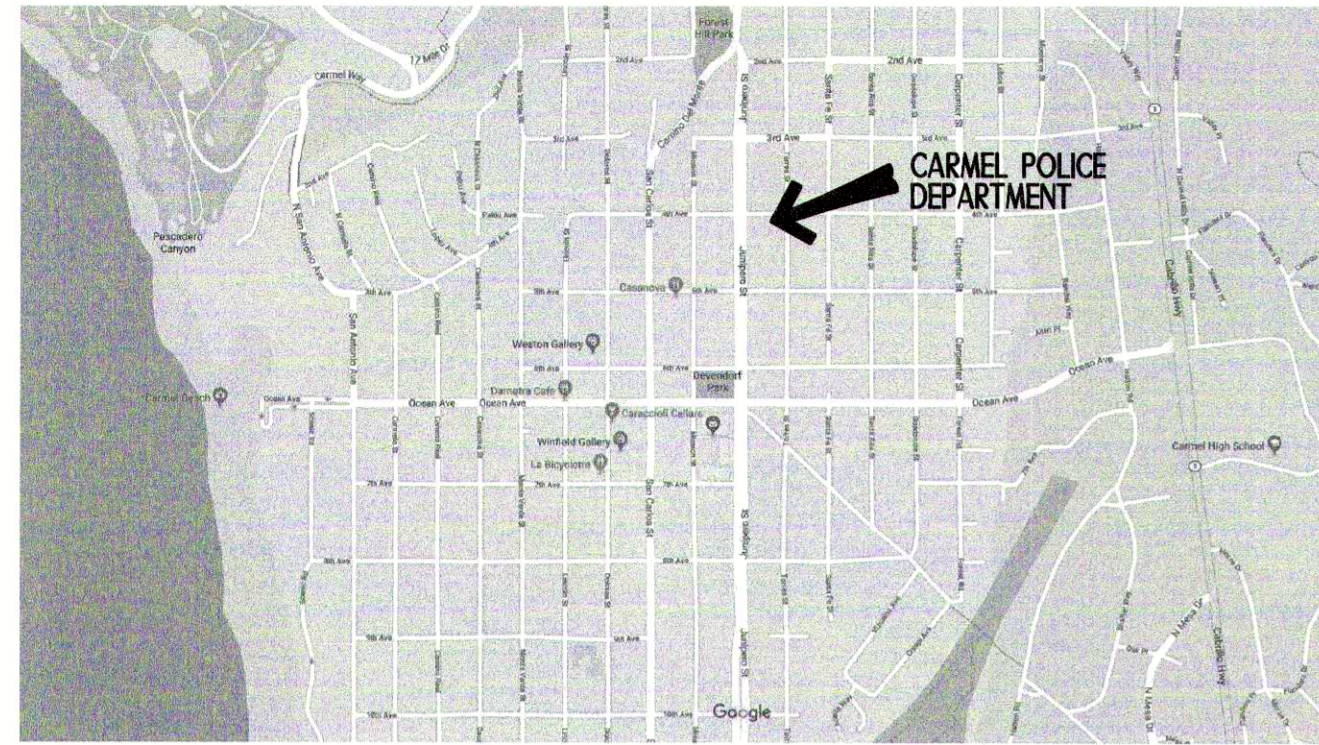


LOCATION MAP



PROJECT DATA

- PROJECT: RENOVATIONS, CITY OF CARMEL-BY-THE-SEA POLICE DEPARTMENT
- LOCATION: JUNIPERO ST. AND 4TH AVE., CARMEL-BY-THE-SEA, CALIFORNIA
- BUILDING OWNER: CITY OF CARMEL-BY-THE-SEA
P.O. BOX CC, CARMEL-BY-THE-SEA, CA 93921 831-620-2070
- ASSESSOR'S PARCEL NUMBER: 010-046-013
- ZONING: R-4 - EXISTING, NO CHANGE
- LOT SIZE: 51,500 SF - EXISTING, NO CHANGE
- BUILDING SITE COVERAGE: 38,641 EXISTING, NO CHANGE
- OCCUPANCY: "B" (EXISTING OFFICES); "S-2" (EXISTING ENCLOSED GARAGE)
- CONSTRUCTION TYPE: V-B
- NUMBER OF STORIES: 2 STORIES, PLUS BASEMENT
- BUILDING AREA: 22,084 SF EXISTING, NO CHANGE
- FIRE SPRINKLER SYSTEM: NONE
- FIRE ALARM SYSTEM: EXISTING MONITORED SYSTEM
- CODES:
 - 2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
 - 2016 CALIFORNIA BUILDING CODE, VOLUMES 1 & 2; PART 2, TITLE 24 C.C.R.
 - 2016 CALIFORNIA ELECTRICAL CODE; PART 3, TITLE 24 C.C.R.
 - 2016 CALIFORNIA MECHANICAL CODE; PART 4, TITLE 24 C.C.R.
 - 2016 CALIFORNIA PLUMBING CODE; PART 5, TITLE 24 C.C.R.
 - 2016 CALIFORNIA FIRE CODE (CFC); PART 9, TITLE 24 C.C.R.
 - 2016 CALIFORNIA ENERGY CODE, PART 6
 - 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R.
 - 2016 TITLE 19, C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
 - 2016 NFPA 13 & NFPA 72 - NATIONAL FIRE ALARM CODE (CA. AMENDED)
 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- COMPLIANCE WITH CFC CHAPTER 14, FIRE SAFETY DURING CONSTRUCTION & DEMO AND CBC CHAPTER 33, SAFETY DURING CONSTRUCTION WILL BE ENFORCED.
- THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.

PROJECT SUMMARY

	EXISTING	PROPOSED	NOTES:
LOT AREA:	51,500 SF	NO CHANGE	
FLOOR AREA:	22,084 SF	NO CHANGE	
LOT COVERAGE:	20,846 SF	NO CHANGE	
IMPERVIOUS SURFACE:	17,806 SF	NO CHANGE	
SETBACKS:			
FRONT:	35'-0" & 5'-0"	NO CHANGE	PER CITY STANDARDS, LONGER OF TWO SIDES FOR CORNER LOT: 4TH AVENUE
REAR:	0'-0"	NO CHANGE	
SIDE (TORRES):	VARIES 0'-0" TO 100'-0"	NO CHANGE	
SIDE (JUNIPERO):	VARIES 15'-6" TO 36'-0"	NO CHANGE	
GRADING:	N/A		

ABBREVIATIONS

- AB. ANCHOR BOLT
- ACC. ACCESSIBLE
- ADJ. ADJUSTABLE, ADJACENT
- AFF. ABOVE FINISHED FLOOR
- ARCH. ARCHITECT, ARCHITECTURAL
- BLK6 BLOCKING
- BM. BEAM
- BT, BTM. BOTTOM
- CL, CL CENTERLINE
- CL6 CEILING
- C.J. CONSTRUCTION JOINT
- D. DEEP
- DET, DTL. DETAIL
- DEMO. DEMOLISH, DEMOLITION
- D.F. DOUGLAS FIR
- DN. DOWN
- DR. DOOR
- D.S. DOWNPOUT
- E. EAST
- (E) EXISTING
- E.J. EXPANSION JOINT
- ELEC. ELECTRICAL
- EQ. EQUAL
- EXP. EXPANSION, EXPOSED
- F.H. FIRE HYDRANT
- FL, FLR. FLOOR
- F.O. FACE OF
- F.O.S. FACE OF STUD
- G. GAUGE
- G.C. GENERAL CONTRACTOR
- G.I. GALVANIZED IRON
- G.W.B. GYPSUM WALL BOARD
- GYP. BD. GYPSUM WALL BOARD
- H. HIGH
- HDWD. HARDWOOD
- H.M. HOLLOW METAL
- HT. HEIGHT
- INCL. INCLUDING
- I.B.C. INSTALL BY CONTRACTOR
- INSUL. INSULATION
- INV. INVERT
- JT. JOINT
- LAM. LAMINATE
- MAX. MAXIMUM
- M.B. MACHINE BOLT
- MECH. MECHANICAL
- MFR. MANUFACTURER
- MIN. MINIMUM
- MTL. METAL
- N. NORTH
- (N) NEW
- N.I.C. NOT IN CONTRACT
- N.T.S. NOT TO SCALE
- O. OVER
- O.C. ON CENTER
- O.C.E.M. ON CENTER EACH WAY
- P.A.F. POWDER ACTUATED FASTENER
- P.H. PANIC HARDWARE
- P.I.P. POURED IN PLACE
- PT. POINT
- PTDF. PRESSURE TREATED DOUGLAS FIR
- PTN. PARTITION
- RAD. RADIUS
- R/F, REIN. REINFORCING
- RM. ROOM
- R.O. ROUGH OPENING
- S. SOUTH
- S.B. SOLID BLOCKING
- S.C. SOLID CORE
- S.S. STAINLESS STEEL
- SHTG. SHEATHING
- SIM. SIMILAR
- STRUC. STRUCTURAL
- SYM. SYMMETRICAL
- T&G. TONGUE AND GROOVE
- THK. THICK
- T.O, T/ TOP OF
- TYP. TYPICAL
- U.O.N. UNLESS OTHERWISE NOTED
- V.B. VAPOR BARRIER
- V.I.F. VERIFY IN FIELD
- VOC. VOLATILE ORGANIC COMPOUND
- W. WEST, WIDE
- W/ WITH
- W/O WITHOUT
- W.O. WHERE OCCURS
- W.W.F. WELDED WIRE FABRIC

SYMBOLS

- XX KEYED NOTE
- XXX DETAIL SHEET LOCATION
- X/XXX SECTION SHEET LOCATION
- X/XXX ELEVATION SHEET LOCATION
- X/XXX WALL ELEVATED SHEET LOCATION

LIST OF DRAWINGS

- ARCHITECTURAL**
- A0.1 TITLE SHEET
 - A0.2 CALGREEN MANDATORY MEASURES
 - A0.3 CALGREEN MANDATORY MEASURES
 - A0.4 CALGREEN MANDATORY MEASURES
 - T5-1 TOPOGRAPHIC SURVEY - FOR REFERENCE ONLY
 - A1.1 EXISTING SITE PLAN
 - A1.2 PROPOSED SITE PLAN
 - A1.3 CONSTRUCTION STAGING PLAN
 - A1.4 PROPOSED PHASING PLAN
 - A2.1 DEMO FLOOR PLAN - 2ND BASEMENT
 - A2.2 PROPOSED FLOOR PLAN - 2ND BASEMENT
 - A2.3 DEMO FLOOR PLAN - 1ST BASEMENT
 - A2.4 PROPOSED FLOOR PLAN - 1ST BASEMENT
 - A2.5 DEMO FLOOR PLAN - GROUND FLOOR
 - A2.6 PROPOSED FLOOR PLAN - GROUND FLOOR
 - A2.7 GROUND FLOOR ENLARGED PLAN
 - A2.8 DEMOLITION ROOF PLAN
 - A2.9 PROPOSED ROOF PLAN
 - A2.10 SCHEDULES
 - A3.1 EXISTING BUILDING ELEVATIONS
 - A3.2 EXISTING BUILDING ELEVATIONS
 - A4.1 ENLARGED PLANS, INTERIOR ELEVATIONS
 - A4.2 INTERIOR ELEVATIONS
 - A4.3 INTERIOR ELEVATIONS
 - A4.4 INTERIOR ELEVATIONS
 - A4.10 REFLECTED CEILING PLAN - 1ST BASEMENT
 - A4.11 DEMO REFLECTED CEILING PLAN - GROUND FLOOR
 - A4.11a NEW REFLECTED CEILING PLAN - GROUND FLOOR
 - A6.1 WALL TYPES
 - A6.2 CEILING DETAILS
 - A6.3 INTERIOR DETAILS
 - A6.4 INTERIOR DETAILS
 - A6.5 PENETRATION DETAILS
 - A7.1 DOOR AND WINDOW TYPES
 - A7.2 DOOR AND WINDOW DETAILS
 - A8.1 PARKING DETAILS
 - A8.2 STAIR DETAILS
 - A8.3 RAMP DETAILS
- MECHANICAL**
- M0.1 LEGENDS SCHEMATIC AND NOTES - MECHANICAL
 - M0.2 DETAILS - MECHANICAL
 - M0.3 TITLE 24 DOCUMENTATION - MECHANICAL
 - M2.1 PARTIAL BASEMENT FLOOR PLAN - MECHANICAL
 - M2.2 BASEMENT FLOOR PLAN - MECHANICAL DEMO
 - M2.3 UPPER LEVEL FLOOR PLAN - MECHANICAL DEMO
 - M2.4 UPPER LEVEL FLOOR PLAN - MECHANICAL
 - M2.5 ROOF PLAN - MECHANICAL
- PLUMBING**
- P0.1 LEGENDS SCHEMATIC AND NOTES - PLUMBING
 - P0.2 DETAILS - PLUMBING
 - P2.1 PARTIAL BASEMENT FLOOR PLAN - PLUMBING
 - P2.2 BASEMENT FLOOR PLAN - PLUMBING
 - P2.3 UPPER LEVEL FLOOR PLANS - PLUMBING
 - P2.5 ROOF PLAN - PLUMBING
- ELECTRICAL**
- E0.1 SYMBOLS, ABBREV., LIGHT FIXTURE SCHEDULE, CODES, STANDARDS, NOTES & SHEET INDEX
 - E0.2 CALIFORNIA ENERGY COMPLIANCE TITLE 24 - BUILDING INTERIOR
 - E0.3 CALIFORNIA ENERGY COMPLIANCE TITLE 24 - BUILDING EXTERIOR
 - E1.1 SINGLE LINE DIAGRAM & PANELBOARD SCHEDULES
 - E3.1 ELECTRICAL DEMOLITION PLAN - PARTIAL INTERMEDIATE FLOOR
 - E3.1A ELECTRICAL DEMOLITION PLAN - PARTIAL INTERMEDIATE FLOOR
 - E3.2 ELECTRICAL DEMOLITION PLAN - PARTIAL UPPER FLOOR
 - E3.2A ELECTRICAL DEMOLITION PLAN - PARTIAL UPPER FLOOR
 - E4.0 POWER & SYSTEMS FLOOR PLAN - PARTIAL BASEMENT FLOOR
 - E4.0A POWER & SYSTEMS FLOOR PLAN - PARTIAL BASEMENT FLOOR
 - E4.1 POWER & SYSTEMS FLOOR PLAN - PARTIAL INTERMEDIATE FLOOR
 - E4.1A POWER & SYSTEMS FLOOR PLAN - PARTIAL INTERMEDIATE FLOOR
 - E4.2 POWER & SYSTEMS FLOOR PLAN - PARTIAL UPPER FLOOR
 - E4.2A POWER & SYSTEMS FLOOR PLAN - PARTIAL UPPER FLOOR
 - E4.3 POWER PLAN - ROOF
 - E5.2 LIGHTING PLAN - PARTIAL UPPER FLOOR
 - E5.2A LIGHTING PLAN - PARTIAL UPPER FLOOR
 - E6.1 ELECTRICAL DETAILS
 - E6.2 ELECTRICAL DETAILS
- STRUCTURAL**
- S1.1 GENERAL NOTES / TYP. DETAILS
 - S2.1 FLOOR & ROOF FRAMING PLAN
 - S5.1 STAIR/RAMP DETAILS

GENERAL NOTES:

- SCOPE OF WORK:
 - A. THE RELOCATION OF EXISTING ELECTRICAL AND COMMUNICATION EQUIPMENT NEAR THE DISPATCH ROOM INTO THE BASEMENT COMMUNICATIONS ROOM. RENOVATE DISPATCH ROOM TO INCLUDE AREA OF THE OLD ELECTRICAL CLOSET. AREA TO RECEIVE NEW FLOOR, WALL FINISHES, AND LIGHT FIXTURES AS NECESSARY;
 - B. REMODEL EXISTING OFFICE AREA INDICATED ON PLANS;
 - C. REMODEL EXISTING CONFERENCE ROOM INTO EVIDENCE PROCESSING ROOM;
 - D. ACCESSIBLE UPGRADES TO THE MAIN ENTRANCE;
 - E. A NEW ACCESSIBLE RESTROOM AND;
 - F. RE-ROOFING;
 - G. MECHANICAL, PLUMBING AND ELECTRICAL UPGRADES;
 - H. HAZMAT TESTING AND ABATEMENT IN THE EXISTING E.O.G. LOCATED ON THE FIRST BASEMENT LEVEL.
 - I. NEW ACCESSIBLE RAMP, STAIRS AND RAILINGS AT MAIN ENTRY;
 - J. NEW ACCESSIBLE RAILINGS AT EXISTING STAIRS FROM JUNIPERO;
 - K. NEW ACCESSIBLE PARKING SPACE ADJACENT TO YOUTH CENTER.
- ALL BIDDERS SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. VERIFY ALL GOVERNING DIMENSIONS AND EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF THIS WORK IS IN ANY WAY DEPENDENT. REPORT IN WRITING TO THE PROJECT MANAGER IF ANYTHING IS FOUND THAT DEVIATES FROM THESE DRAWINGS.
- DO NOT SCALE THE DRAWINGS. IF UNABLE TO DETERMINE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT THE PROJECT MANAGER FOR DIRECTION PRIOR TO PROCEEDING.
- PERFORM ALL WORK IN ACCORDANCE WITH THE RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION. CONFORM TO ALL CITY, COUNTY, STATUTES, AND ORDINANCES. PROMPTLY REPORT ANY DISCREPANCIES AND OMISSIONS IN THE CONTRACT DOCUMENTS TO THE PROJECT MANAGER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY
- NO WORK IS PROPOSED THAT WILL REQUIRE MODIFICATION TO THE SITE OR IMPACT EXISTING STORM WATER DRAINAGE. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS NOT REQUIRED.
- PROJECT DOES INCLUDE ASBESTOS ABATEMENT.
- ALL WORK INDICATED IS INCLUDED IN THE BASE BID U.O.N.
- BID ALTERNATES:
 - DEDUCT ALTERNATE #1: PROVIDE GALVANIZED STEEL HANDRAILS IN LIEU OF BRONZE.
 - DEDUCT ALTERNATE #2: PROVIDE ARCHITECTURAL ASPHALT SHINGLES AT MANSARD ROOF IN LIEU OF WOOD SHINGLES.
 - DEDUCT ALTERNATE #3: ELECTRIC CARD READERS.
 - DEDUCT ALTERNATE #4: PAINTING EXTERIOR OF POLICE DEPT. AND ADJACENT PUBLIC WORKS BUILDING.
 - ADDITIVE ALTERNATE #5: PROVIDE WATERPROOFING OF EXISTING CONCRETE SLAB OVER PARKING GARAGE.
 - ADDITIVE ALTERNATE #6: REPLACE EXHAUST FAN 3 (EF-3).
 - ADDITIVE ALTERNATE #7: REMOVE CUT AND UNUSED CABLES IN RM. 207.

RENOVATIONS

AT:

CARMEL POLICE DEPARTMENT

JUNIPERO STREET AND 4TH AVENUE,
CARMEL-BY-THE-SEA, CALIFORNIA

OWNER

CITY OF CARMEL-BY-THE-SEA
P.O. BOX CC
CARMEL-BY-THE-SEA, CALIFORNIA 93921
CONTACT: ROBERT HARARY 831.620.2070

ARCHITECT

KASAVAN ARCHITECTS
60 W. MARKET STREET, SUITE 300
SALINAS, CALIFORNIA 93901
831.424.2232

MECHANICAL/PLUMBING

AXIOM ENGINEERS
22 LOWER RAGSDALE DR., SUITE A
MONTEREY, CALIFORNIA 93940
831.649.8000

STRUCTURAL

DONALD C. URFER & ASSOCIATES, INC
2715 PORTER STREET
SOQUEL, CALIFORNIA 95073
831.476.3681

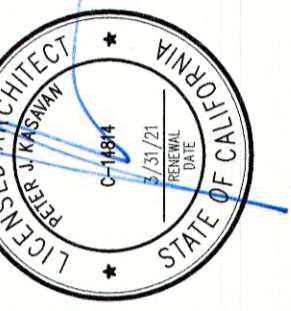
ELECTRICAL

AURUM CONSULTING ENGINEERS, INC.
60 GARDEN COURT, SUITE 210
MONTEREY, CALIFORNIA 93940
831.646.3330

ENVIRONMENTAL

M3 ENVIRONMENTAL CONSULTING LLC
9821 BLUE LARKSPUR LANE, SUITE 100
MONTEREY, CALIFORNIA 93940
831.649.4623

KASAVAN ARCHITECTS
Salinas, California 93901
60 W. Market St., Suite 300
Voice 831-424-2232
Fax 831-424-2501



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REVISIONS:

PLAN CHECK
12/05/19

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
AT:
JUNIPERO AVE AND 4TH AVE.
CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER

A0.1

DATE: 18 OCT 2019

JOB

17121

DRAWN

CADD

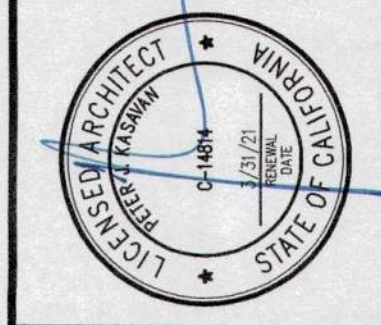
TITLE SHEET

APPROVED FOR CONSTRUCTION:

Robert M. Harary
ROBERT M. HARARY, P.E.
DIRECTOR OF PUBLIC WORKS

2/06/20
DATE

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (INCLUDING JULY 1, 2018, INTERVENING SUPPLEMENT)



REVISIONS: PLAN CHECK 12/05/14

RENOVATIONS AND SITE IMPROVEMENTS CITY OF CARMEL-BY-THE-SEA POLICE DEPARTMENT AT: JUNIPERO AVE AND 4TH AVE. CARMEL-BY-THE-SEA, CA 93923 CALGREEN MANDATORY MEASURES

SHEET NUMBER A0.2 DATE: 10 OCT 2014 JOB: IT121 DRAWN: CADD

Table with 2 columns: Y (Yes), NA (Not Applicable), RESPON. PARTY (Responsible Party). Contains sections for Chapter 3 Green Building, Section 301 General, 301.1 Scope, 301.3 Nonresidential Additions and Alterations, and Chapter 5 Nonresidential Mandatory Measures.

Table with 2 columns: Y (Yes), NA (Not Applicable), RESPON. PARTY (Responsible Party). Contains sections for 5.106.2 Stormwater Pollution Prevention, 5.106.4 Bicycle Parking, and 5.106.5.2 Designated Parking for Clean Air Vehicles.

Table with 2 columns: Y (Yes), NA (Not Applicable), RESPON. PARTY (Responsible Party). Contains sections for 5.106.5.3.3 EV Charging, 5.106.8 Light Pollution Reduction, and 5.106.8.1 Maximum Allowable Backlight, Uplight and Glare.

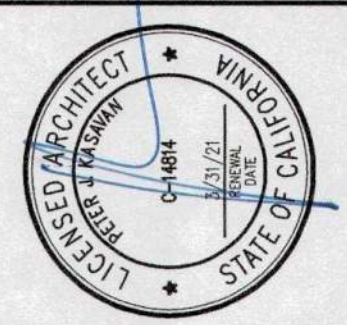
Table with 2 columns: Y (Yes), NA (Not Applicable), RESPON. PARTY (Responsible Party). Contains sections for Division 5.2 Energy Efficiency, Division 5.3 Water Efficiency and Conservation, and 5.303.1 Buildings in excess of 50,000 square feet.

Table with 4 columns: Y, N/A, RESPON. PARTY, and text content for various sections including 5.303.4 Commercial Kitchen Equipment, 5.303.5 Areas of Addition or Alteration, 5.303.6 Standards for Plumbing Fixtures and Fittings, 5.304 Outdoor Water Use, 5.402 Definitions, 5.403 Adjust, Balance, Building Commissioning, Organic Waste, Test, 5.404 Water Resistance and Moisture Management, 5.405 Construction Waste Reduction, Disposal and Recycling, 5.406 Building Maintenance and Operations, 5.410 Testing and Adjusting, 5.503 Fireplaces, 5.504 Temporary Ventilation, 5.505 Fireplaces, 5.506 Pollutant Control, 5.507 Temporary Ventilation, 5.508 Covering of duct openings and protection of mechanical equipment during construction.

Vertical sidebar containing: KASAVAN ARCHITECTS logo and contact info (Salinas, California 93901, 60 W. Market St., Suite 300, Voice 831.424.2232, Fax 831.424.2501); City of Carmel-by-the-Sea Police Department logo and contact info (1000 PINE AVE., CARMEL-BY-THE-SEA, CA 93923); AIA logo; and sheet information (SHEET NUMBER A0.3, DATE: 18 OCT 2014, JOB T12J, DRAWN GADD).

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (INCLUDING JULY 1, 2018, INTERVENING SUPPLEMENT)



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REVISIONS:
 PLAN CHECK 12/05/14

RENOVATIONS AND SITE IMPROVEMENTS
 CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
 CALGREEN MANDATORY MEASURES

SHEET NUMBER
A0.4
 DATE: 10 OCT 2014
 JOB: 1712J
 DRAWN: CADD

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.

5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards:

- Adhesives, adhesive bonding primers adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.
- Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

TABLE 5.504.4.1 - ADHESIVE VOC LIMIT_{1,2}

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CURHTM/R1168.PDF

TABLE 5.504.4.2 - SEALANT VOC LIMIT

SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.

5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PWMIR Limits for ROC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94507, and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS_{2,3}

COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS:	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:
 1. Manufacturer's product specification
 2. Field verification of on-site product containers

5.504.4.4 Carpet Systems. All carpet installed in the building interior shall meet at least one of the testing and product requirements:

- Carpet and Rug Institute's Green Label Plus Program.
- Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1, February 2010 (also known as CDPH Standard Method V1.1 or Specification 01350).
- NSF/ANSI 140 at the Gold level or higher.
- Scientific Certifications Systems Sustainable Choice; or
- Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for EQ 7.0 and EQ 7.1 (formerly EQ 2.2) dated July 2012 and listed in the CHPS High Performance Product Database.

5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.

5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.

5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5.

5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European 636 3S standards.
- Other methods acceptable to the enforcing agency.

TABLE 5.504.4.5 - FORMALDEHYDE LIMITS:

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ₂	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM).

5.504.4.6 Resilient flooring systems. For 80 percent of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following:

- Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program;
- Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers, Version 1.1, February 2010;
- Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for EQ 7, and EQ 7.1 (formerly EQ 2.2) dated July 2012 and listed in the CHPS High Performance Product Database; or
- Products certified under UL GREENGUARD Gold (formerly the Greenguard Children's & Schools Program).

5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.

5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.2 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.3 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.4 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.5 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.6 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

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5.504.5.3.10 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.11 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.12 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.13 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.14 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.15 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.16 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.17 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.18 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.19 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.5.3.20 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO₂), and potentially other refrigerants.

5.508.2.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flexible tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below.

5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack.

5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less.

5.508.2.1.2.1 Anchorage. One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils.

5.508.2.1.3 Flared tubing connections. Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil.

Exception: Single-flared tubing connections may be used with a multiring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations.

5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of long radius elbows.

5.508.2.2 Valves. Valves and fittings shall comply with the California Mechanical Code and as follows.

5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve.

5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.

5.508.2.2.2 Access valves. Only Schrader access valves with a brass or steel body are permitted for use.

5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic.

5.508.2.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place.

5.508.2.2.2.2.1 Chain ladders. Chain ladders to fit over the stem are required for valves designed to have seal caps.

Exception: Valves with seal caps that are not removed from the valve during stem operation.

5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel; or be coated to prevent corrosion from these substances.

5.508.2.3.1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coating to maximize energy efficiency.

5.508.2.4 Refrigerant receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device that indicates the level of refrigerant in the receiver.

5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and charging.

5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum.

5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same gauge.

5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a +/- one pound pressure change from 300 psig, measured with the same gauge.

5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging.

5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and hold for 30 minutes.

5.508.2.6.2 Second vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 30 minutes.

5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- Programs sponsored by manufacturing organizations.
- Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
- Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade.
- Other programs acceptable to the enforcing agency.

Notes:

- Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
- HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

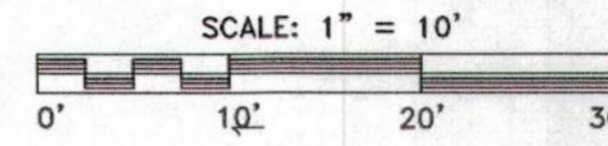
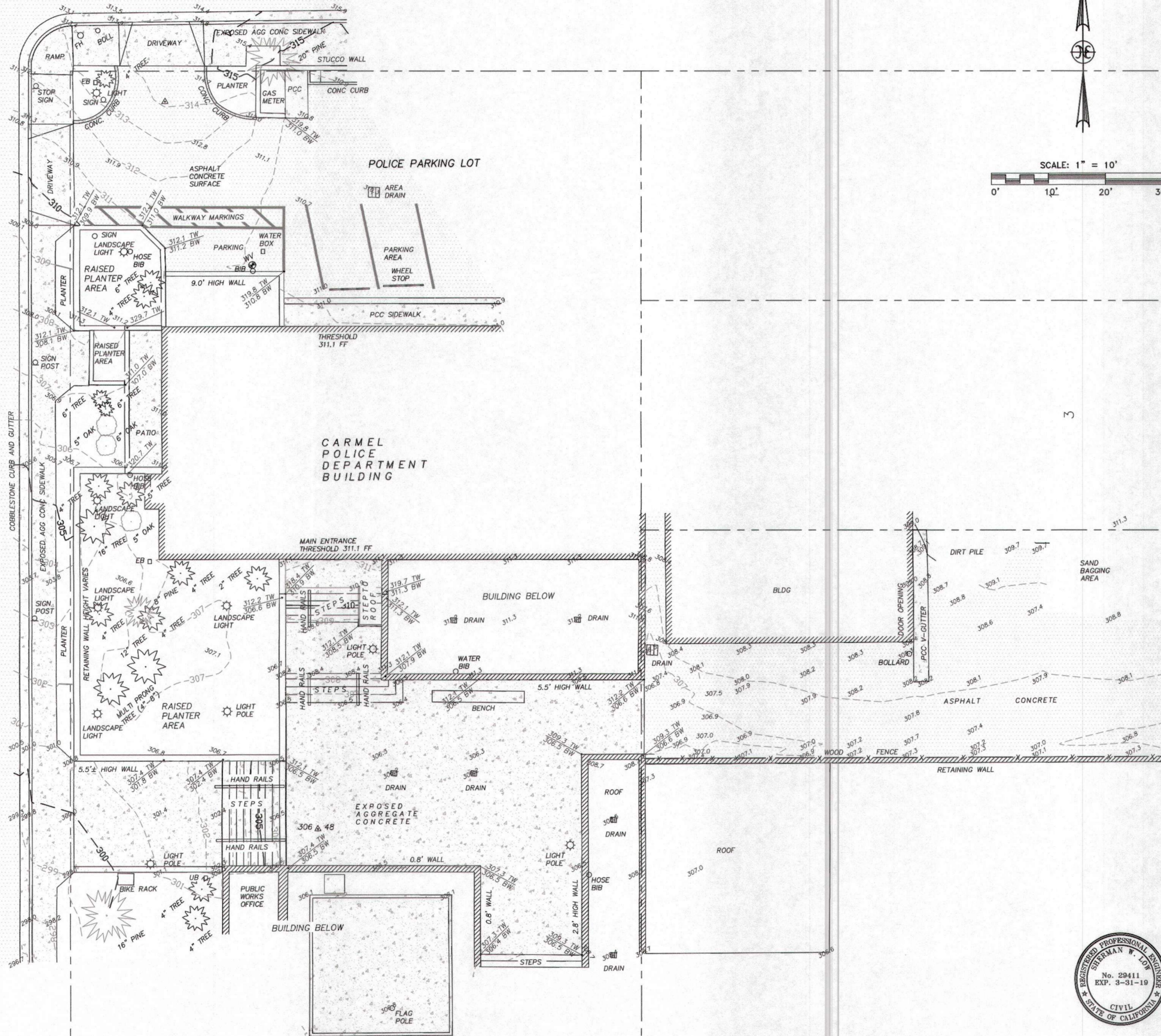
[BSC-CG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Notes: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

FOURTH AVENUE



LEGEND

- BENCHMARK OR SURVEY CONTROL POINT
- SPOT ELEVATION
- AREA DRAIN
- ELECTRICAL BOX
- LIGHT POLE OR LANDSCAPE LIGHT
- FIRE HYDRANT
- HOSE BIB
- WATER VALVE
- TREE -NOT TO SCALE
- PINE TREE -NOT TO SCALE
- OAK TREE -NOT TO SCALE
- SIGN POST
- PROPERTY/R.O.W. LINE

NOTES

1. ELEVATIONS ARE BASED ON CITY OF CARMEL DATUM. BENCHMARK IS TOP OF BOLT AT NORTH END OF MEDIAN ISLAND CURB, FOURTH AND JUNIPERO. ELEVATION = 310.49 FEET.
2. PROPERTY LINES AND STREET R.O.W. SHOWN ARE APPROXIMATE ONLY.
3. UNDERGROUND UTILITIES AND SERVICES ARE NOT SHOWN.
4. THE DECIMAL PLACE INDICATES THE HORIZONTAL POSITION OF THE SPOT ELEVATION SHOWN.

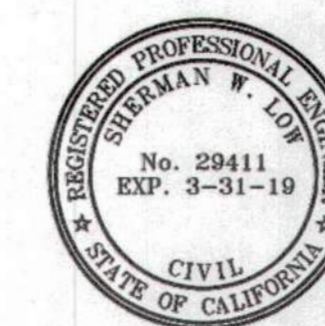
NEILL ENGINEERS CORP.



CARMEL, CALIFORNIA

SITE MAP CARMEL POLICE DEPARTMENT

CARMEL, CALIFORNIA

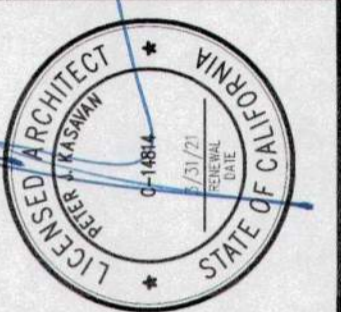


REVISED NOVEMBER 15, 2019

W.O. 8423
MARCH 2018
SCALE: 1"=10'

Registered Civil Engineer No. 29411 Date

KASAVAN ARCHITECTS
60 W. Market St., Suite 300
Voice 831.424.2232
Salinas, California 93901
Fax 831.424.2501



CONSULTANTS

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REVISIONS:

PLAN CHECK
12/05/19

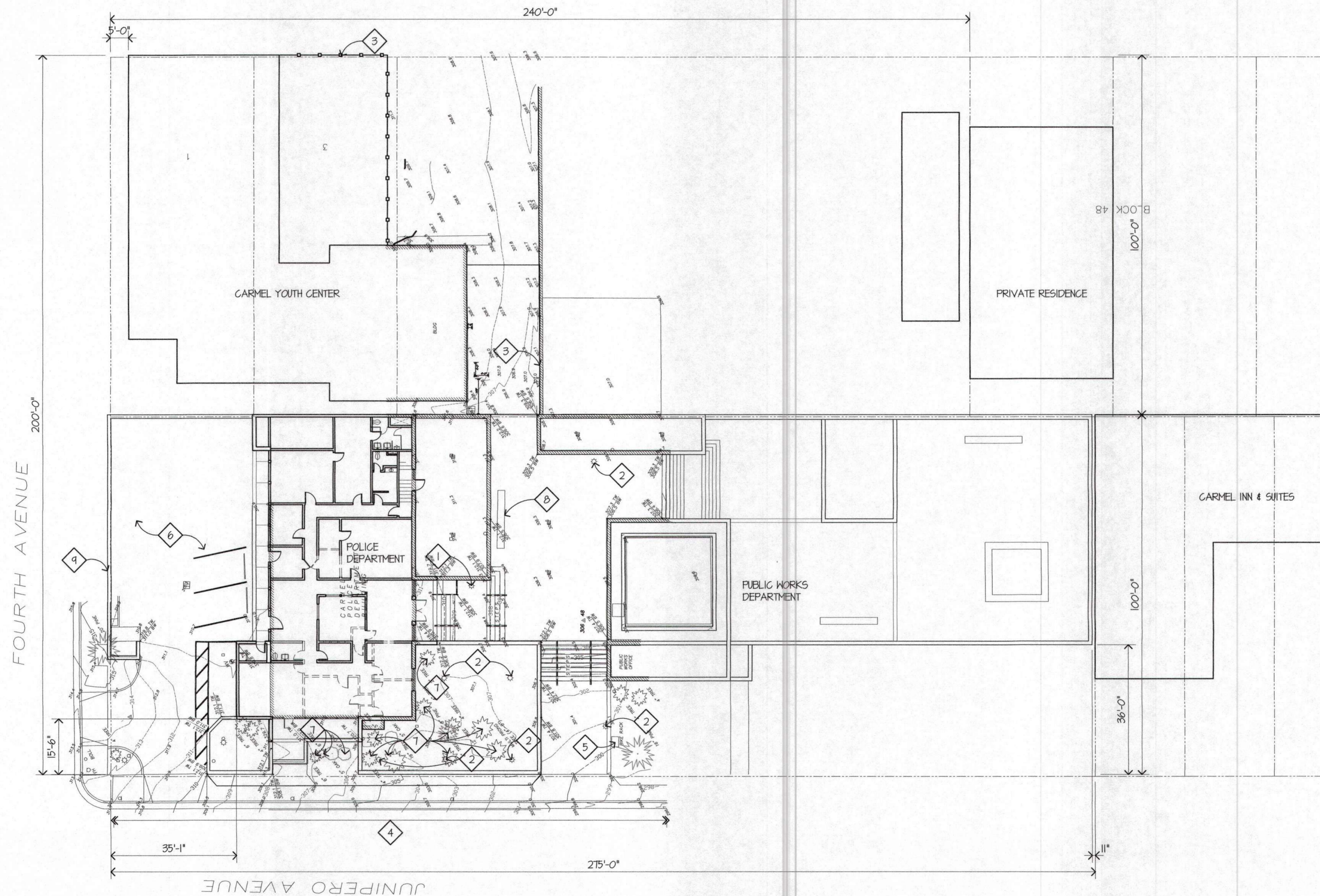
RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
AT
JUNIPERO AVE AND 4TH AVE
CARMEL-BY-THE-SEA, CA 93923
TOPOGRAPHIC SURVEY

SHEET NUMBER

TS-1

DATE: 16 OCT 2019

JOB DRAWN
17121 CADD



GENERAL NOTES

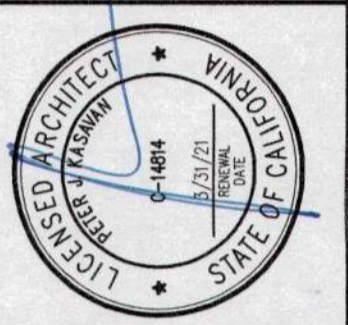
1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
2. SEE SHTS INDICATED AND STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. FOR COMPLETE SCOPE OF WORK.
3. CONTRACTOR SHALL CLEAN ALL EXT. AREAS AT THE END OF EACH WORKDAY.

KEYED NOTES

- 1 (E) SITE LIGHT FIXTURE TO BE RELOCATED
- 2 (E) SITE LIGHT FIXTURE TO REMAIN
- 3 (E) 5'-0" H. WOOD PICKET FENCE TO REMAIN
- 4 (E) CONC. DRIVEWAY APRON AND SIDEWALK TO REMAIN
- 5 (E) BIKE RACK TO REMAIN
- 6 (E) PARKING, FOR POLICE ONLY
- 7 (E) TREE TO REMAIN
- 8 (E) BENCH TO BE REMOVED
- 9 (E) 4'-0" H. HORIZONTAL WOOD FENCE ON CEMENT PLASTER RETAINING WALL TO REMAIN

LEGEND

- ▽ 01.58 (E) GRADE
- ||||| (E) TO BE DEMOLISHED
- ☼ (E) TREE, TO REMAIN, TYP.
- PATH OF TRAVEL (P.O.T.), AS INDICATED, IS A COMMON BARRIER FREE ACCESS ROUTE W/O ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AND IS AT LEAST 48" WIDE. THE CROSS-SLOPE DOES NOT EXCEED 2% & SLOPE IN THE DIRECTION OF TRAVEL IS 5% MAX. U.O.N.
- PROPERTY LINE



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REVISIONS:

▲	PLAN CHECK
	12/05/14

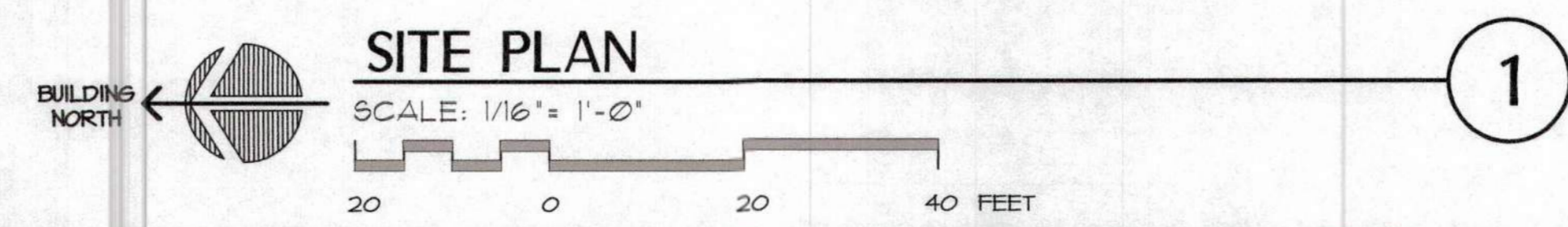
RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
 JUNIPERO AVENUE AND 4TH AVE
 CARMEL-BY-THE-SEA, CA 93923

EXISTING SITE PLAN

SHEET NUMBER

A11

DATE: 18 OCT 2014
 JOB: 1121 DRAWN: GADD



② BLDG B - GARAGE

AREA / OCCUPANCY:

S-2: GARAGE = 11,160 SF

BASIC ALLOW. AREA / FLOOR
S-2 = 13,500 SF

TOTAL ALLOW. AREA / FLOOR
S-2 = 15,525 SF

$I_f = (F/P - 0.25) W/30$ (CBC 506.3.3)

BLDG.	F	P	W	IF
B	215	506	27	0.15

$W = (120 \times 25 + 45 \times 30) / 215 = 27$
 $I_f = (215/506 - 0.25) 27/30 = 0.67$

$A_a = A_T + (N_5 \times I_f)$ (CBC 506.2.1)

OCCUP.	A _T	N ₅	I _f	A _a (SF)
S-2	13,500	13,500	0.15	15,525

S-2 $A_a = 13,500 + (13,500 \times 0.15)$
 $= 13,500 + (2,025)$
 $= 15,525$ SF

① BLDG A - POLICE STATION/OFFICES/TRAINING

UPPER FLR AREA/OCCUPANCY:

B: OFFICES = 3,720 SF

BASIC ALLOW. AREA / FLOOR
B = 9,000 SF

TOTAL ALLOW. AREA / FLOOR
B = 11,160 SF

INTERMEDIATE FLR AREA/OCCUPANCY:

B: OFFICES = 3,602 SF

BASEMENT AREA/OCCUPANCY:

B: OFFICES = 3,602 SF

$I_f = (F/P - 0.25) W/30$ (CBC 506.3.3)

BLDG.	F	P	W	IF
A	207	420	30	0.24

$W = 30$
 $I_f = (207/420 - 0.25) 30/30 = 0.24$

$A_a = [A_T + (N_5 \times I_f)] \times S_a$ (CBC 506.2.3)

OCCUP.	A _T	N ₅	I _f	A _a (SF)	S
B	9,000	9,000	0.24	15,525	2

B $A_a = [9,000 + (9,000 \times 0.24)] \times 2$
 $= [9,000 + (2,160)] \times 2$
 $= 11,160 \times 2$
 $= 22,320$ SF

BUILDING ANALYSIS

BLDG. (STORY)	HEIGHT (FT)	ALLOW. HEIGHT (FT)	OCCUP.	CONST. TYPE	ACTUAL AREA PER FLR (SF)	ALLOWABLE AREA (PER FLOOR)		REMARKS
						BASIC (SF)	TOTAL (SF)	
A (2)	27'	40'	B	V-B	3,720	9,000	SEE NOTE ①	3 HOUR FIRE WALL BTWN BLDG A & BLDG B, IT APPEARS THERE ARE (E) PENETRATIONS THAT DO NOT MEET THE REQUIREMENTS. FIRE-STOP (E) PENETRATIONS. SEE DETAILS, SHT. A6.5
B (0)	7'-4"	40'	S-2	V-B	12,046	13,500	SEE NOTE ②	BASEMENT

FIRE RESISTANCE RATING

FIRE RESISTANCE RATING FOR BLDG ELEMENTS (TBL 601)							
CONST. TYPE	PRIMARY STRUCT. FRAME	BEARING WALLS EXTERIOR	BEARING WALLS INTERIOR	NON-BEARING WALLS EXTERIOR	NON-BEARING WALLS INTERIOR	FLOOR & SECONDARY MEMBERS	ROOF & SECONDARY MEMBERS
V-B	0 HR.	0 HR.	0 HR.	0 HR.	0 HR.	0 HR.	0 HR.

GENERAL NOTES

- EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
- SEE SHTS INDICATED AND STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. FOR COMPLETE SCOPE OF WORK.
- CONTRACTOR SHALL CLEAN ALL EXT. AREAS AT THE END OF EACH WORKDAY.

KEYED NOTES

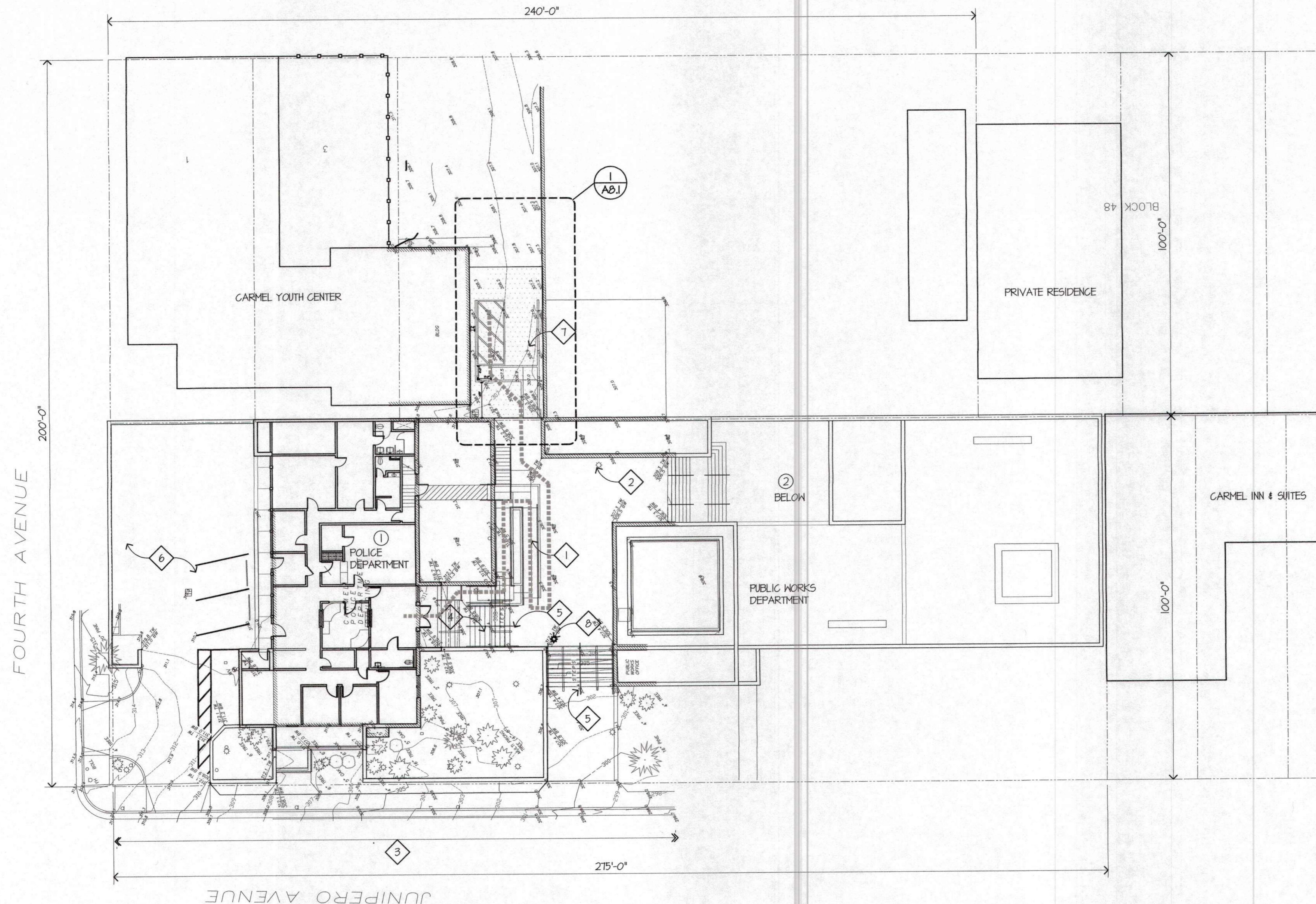
- ① (N) ACCESSIBLE CONCRETE RAMP, SEE DTL. 2/A8.3
- ② (E) LIGHT FIXTURE TO REMAIN
- ③ (E) CONC. WALK TO REMAIN
- ④ (N) CONCRETE STEPS
- ⑤ (N) ACCESSIBLE RAILING, SEE DTLs. ON SHT. A8.2
- ⑥ (E) PARKING
- ⑦ (N) ACCESSIBLE VAN PARKING SPACE, SEE DTL. 1/A8.1
- ⑧ RELOCATE (E) LIGHT

LEGEND

- (E) GRADE
- (N) ASPHALT PAVING
- (E) PAVING
- (E) TREE
- PATH OF TRAVEL (P.O.T.), AS INDICATED, IS A COMMON BARRIER FREE ACCESS ROUTE W/O ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AND IS AT LEAST 48" WIDE. THE CROSS-SLOPE DOES NOT EXCEED 2% & SLOPE IN THE DIRECTION OF TRAVEL IS 5% MAX. U.O.N.
- PROPERTY LINE

PARKING TABULATION

LOT:	SPACES			TOTAL
	STANDARD	STANDARD ACCESSIBLE	VAN ACCESSIBLE	
LOT #1: EXISTING	4	0	0	4
LOT #2: (N) VISITOR	0	0	1	1
TOTAL # OF SPACES:				5



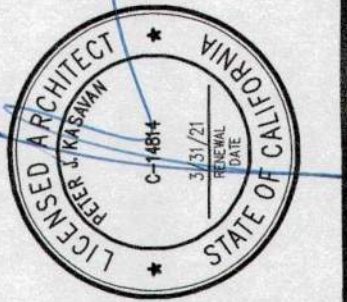
SITE PLAN

SCALE: 1/16" = 1'-0"

20 0 20 40 FEET

1

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 Salinas, California 93901
 60 W. Market St., Suite 300
 Voice 831.424.2252
 Fax 831.424.2501



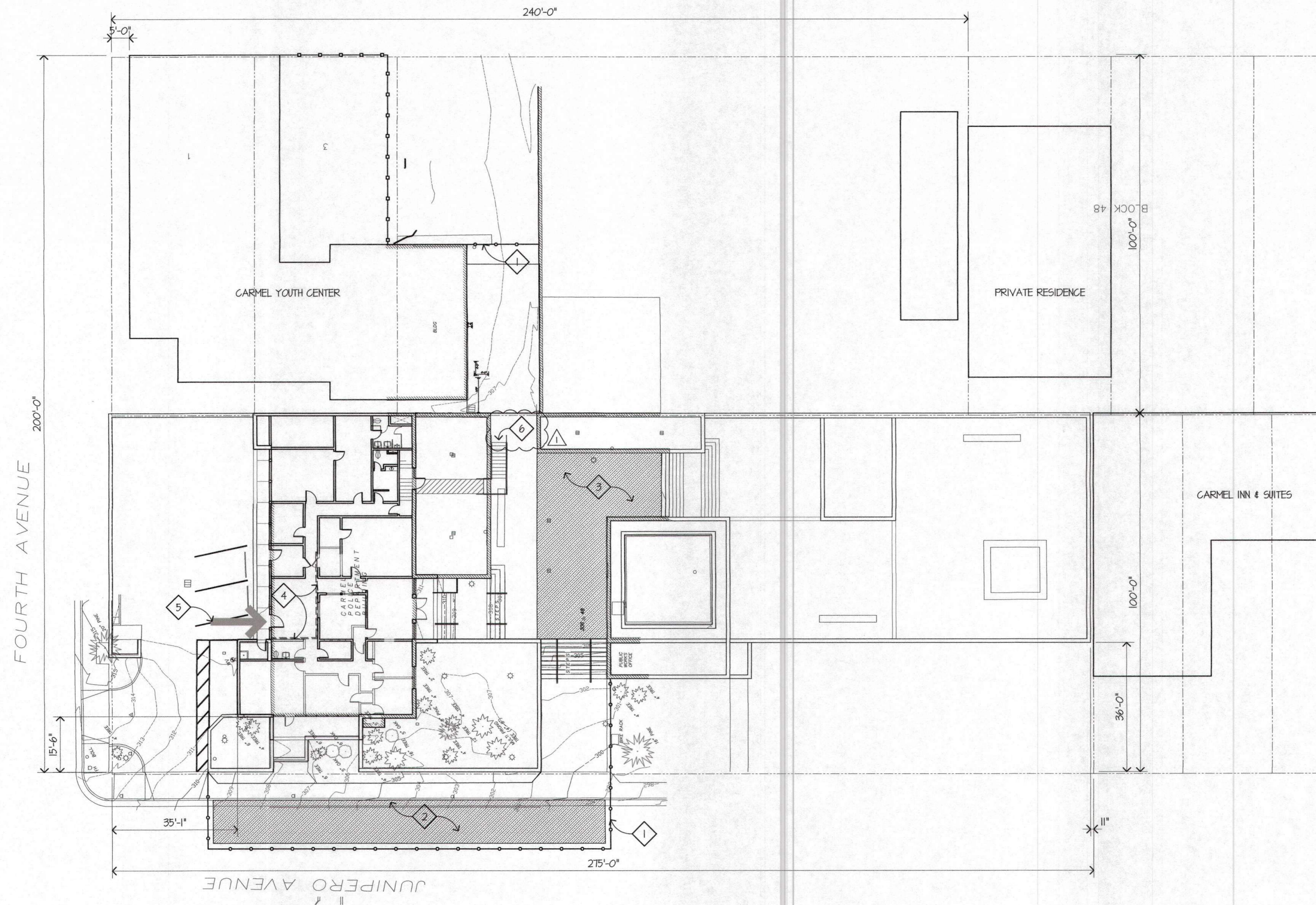
CONSULTANTS

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REVISIONS:
 PLAN CHECK
 12/05/14

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
 A.T.
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
PROPOSED SITE PLAN

SHEET NUMBER
A1.2
 DATE: 18 OCT 2014
 JOB: 17121
 DRAWN: GADD



GENERAL NOTES

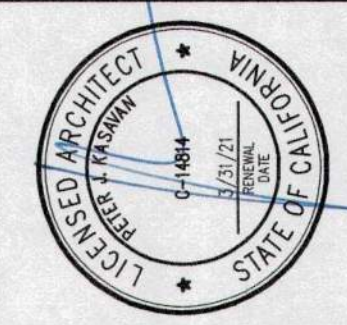
1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
2. SEE SHTS INDICATED AND STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. FOR COMPLETE SCOPE OF WORK.
3. CONTRACTOR SHALL CLEAN ALL EXT. AREAS AT THE END OF EACH WORKDAY.

KEYED NOTES

- ① TEMPORARY FENCING, SCREENED
- ② PARKING SPACES DESIGNATED FOR CONTRACTOR USE
- ③ TEMPORARY STAGING AREA
- ④ CONTAINMENT MEASURES FOR SOUND AND DUST CONTROL TO INCLUDE A SECURE TEMPORARY WALL
- ⑤ TEMPORARY ENTRANCE
- ⑥ TEMPORARY STAIRS, SEE SPECIFICATIONS

LEGEND

- 7.01.58 (E) GRADE
- (E) TREE, TO REMAIN, U.O.N.
- PROPERTY LINE
- ➔ TEMPORARY ENTRANCE
- ⊕ TEMPORARY FENCING
- ▨ STAGING AREA



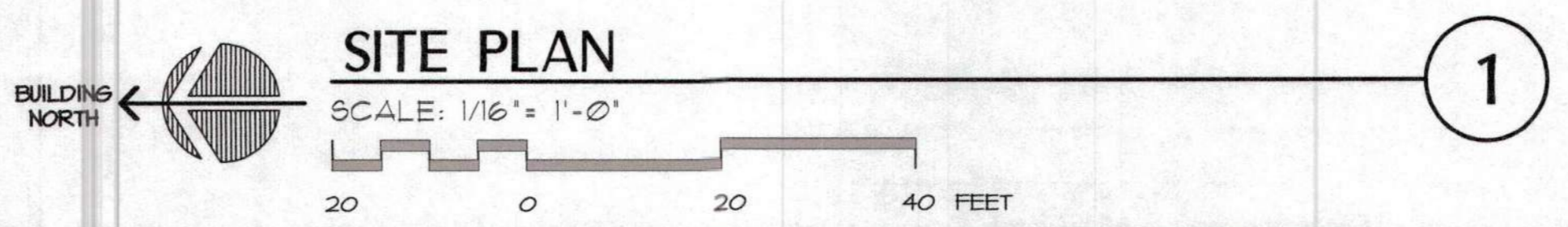
CONSULTANTS

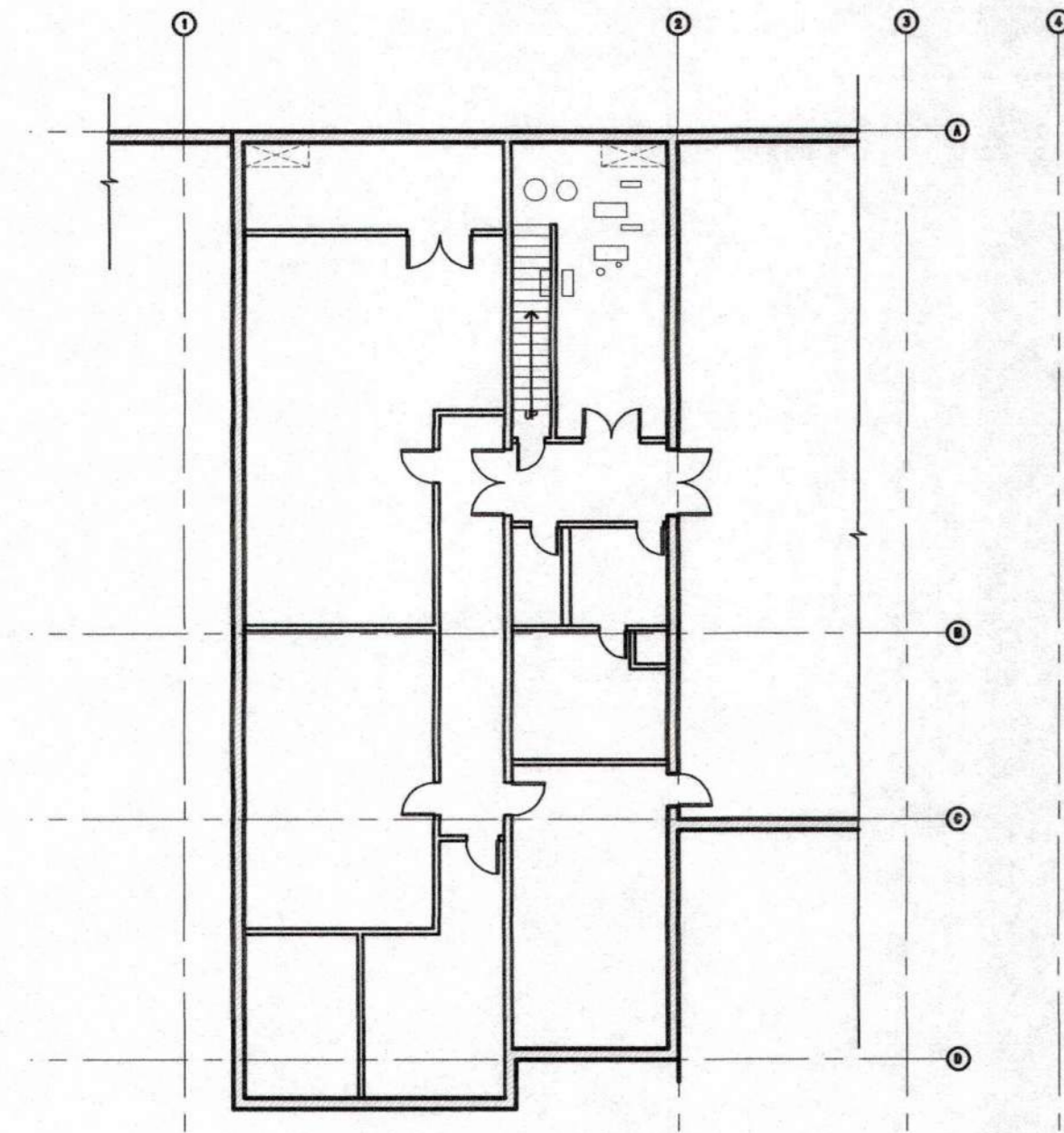
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REVISIONS:
 PLAN CHECK 12/05/14

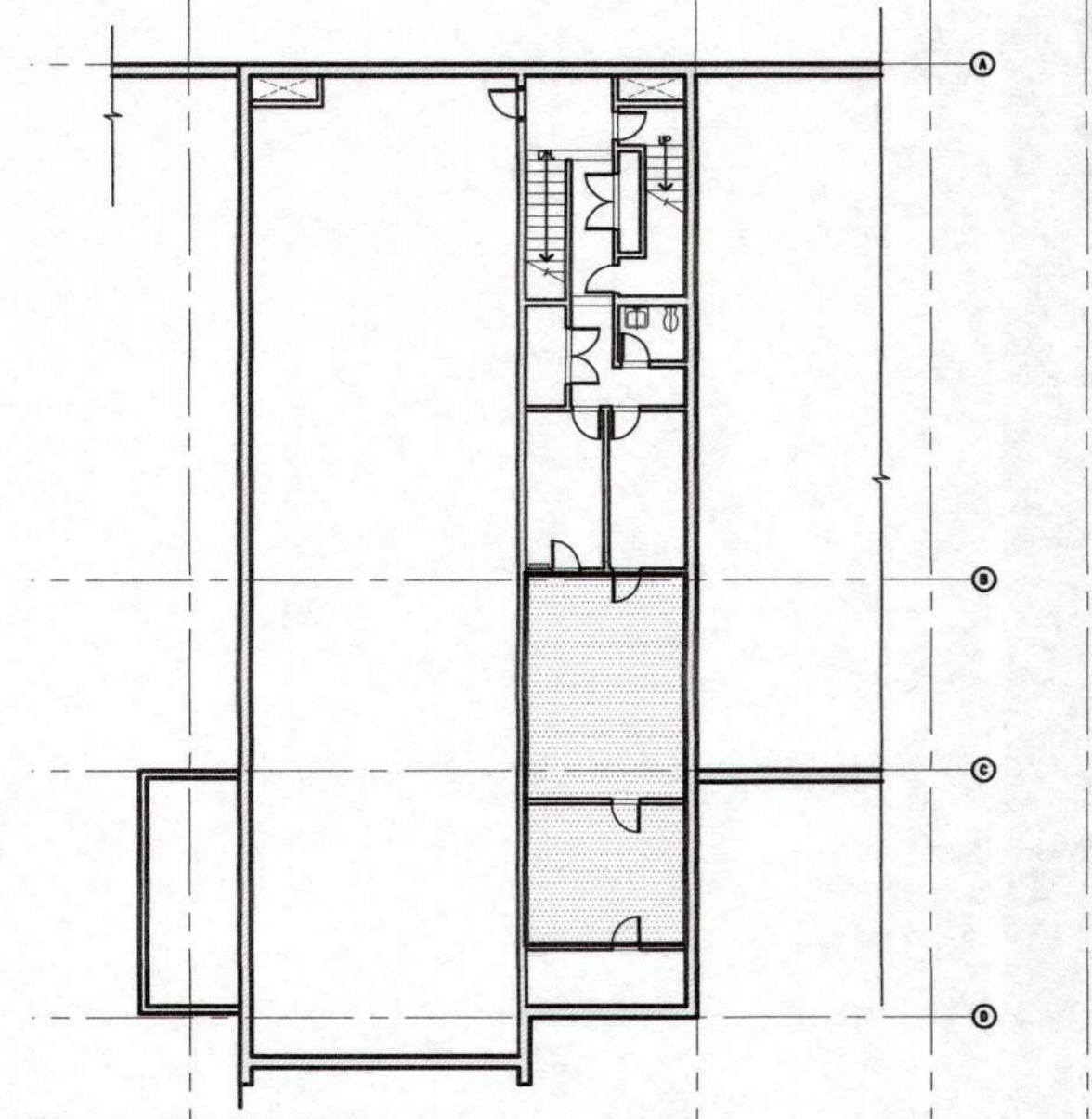
RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT
 JUNIPERO AVE. AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
TEMPORARY STAGING PLAN

SHEET NUMBER
A13
 DATE: 10 OCT 2014
 JOB: 1121 DRAWN: GADD

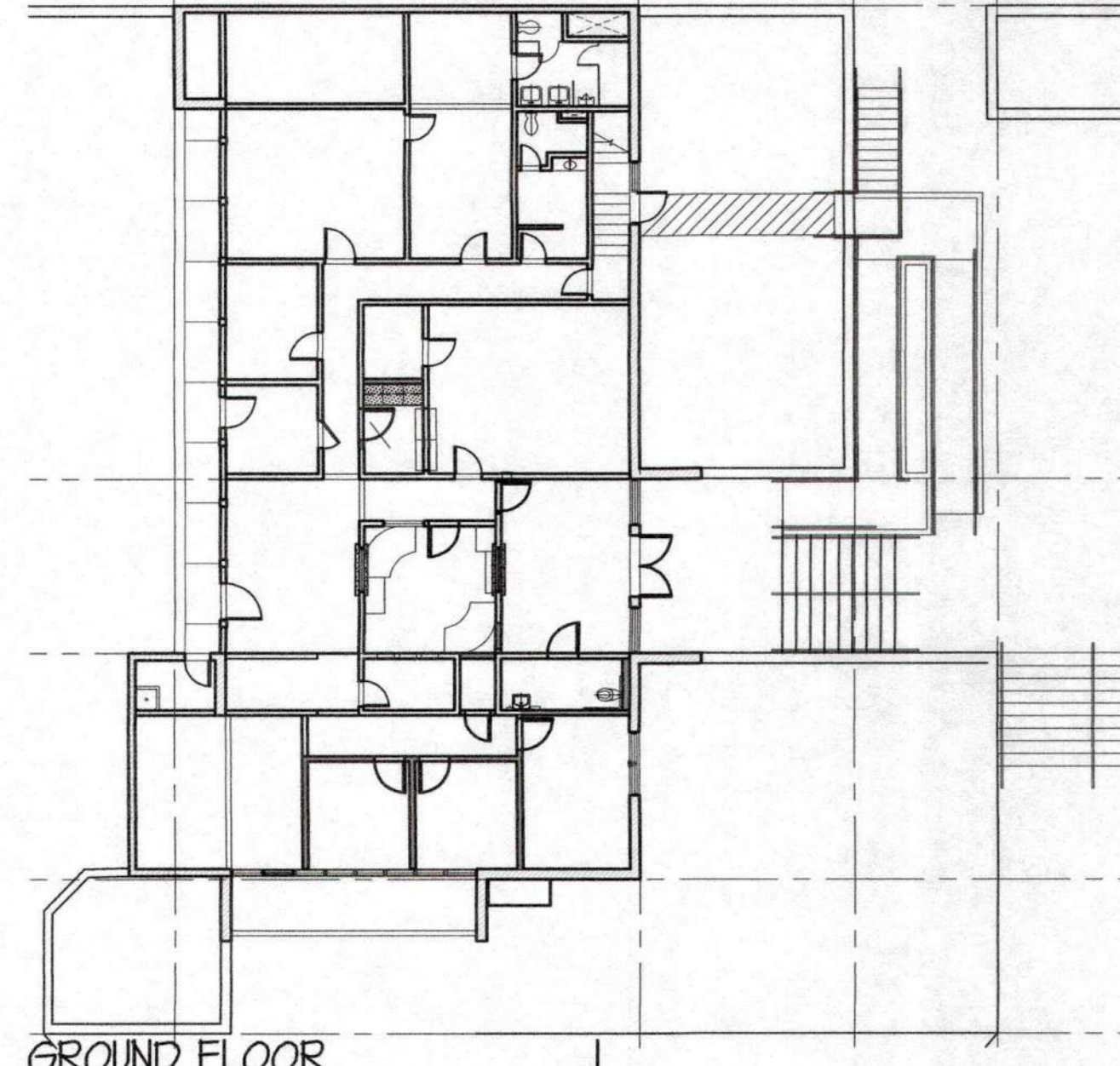




SECOND BASEMENT 3

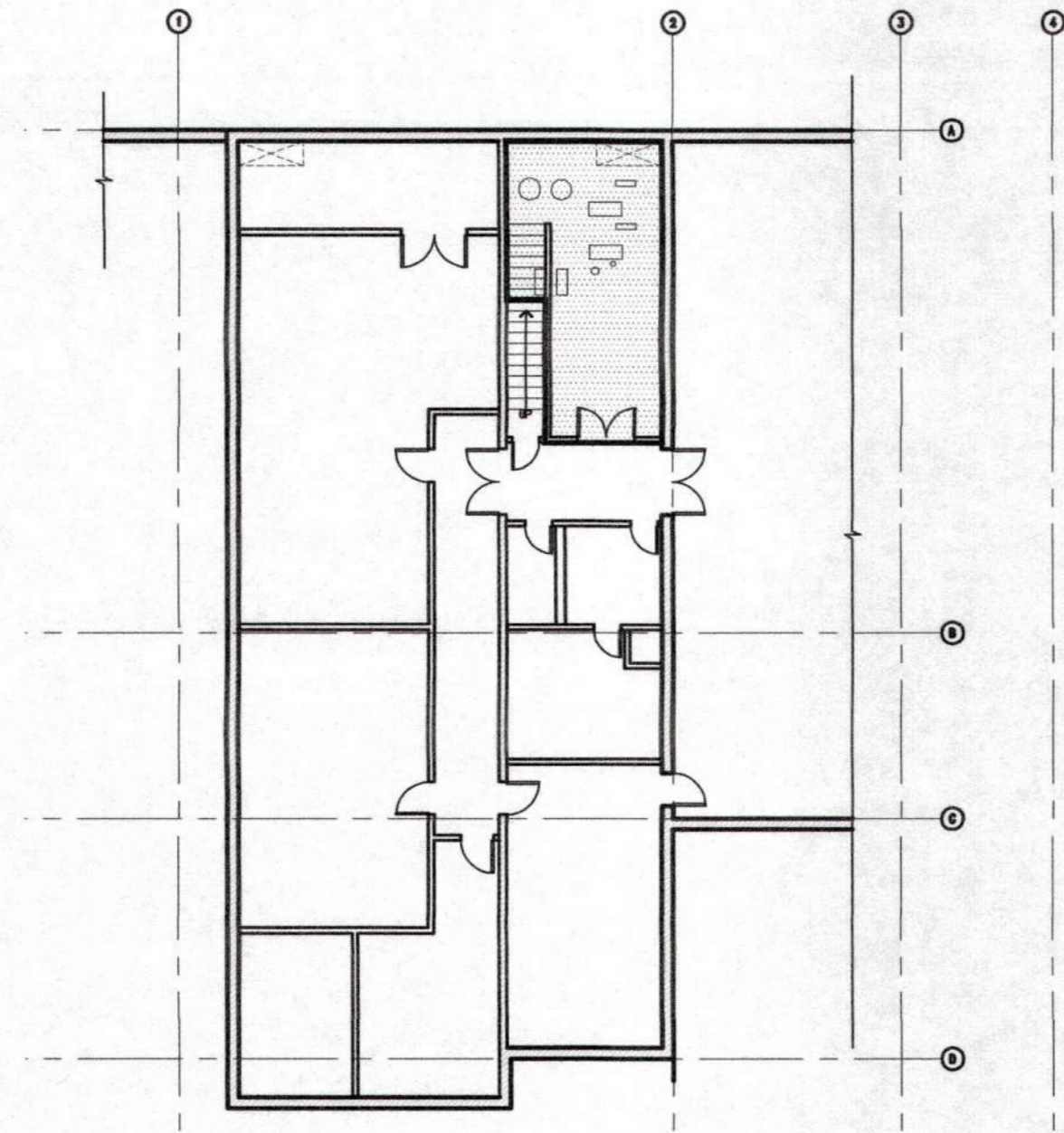


FIRST BASEMENT 2

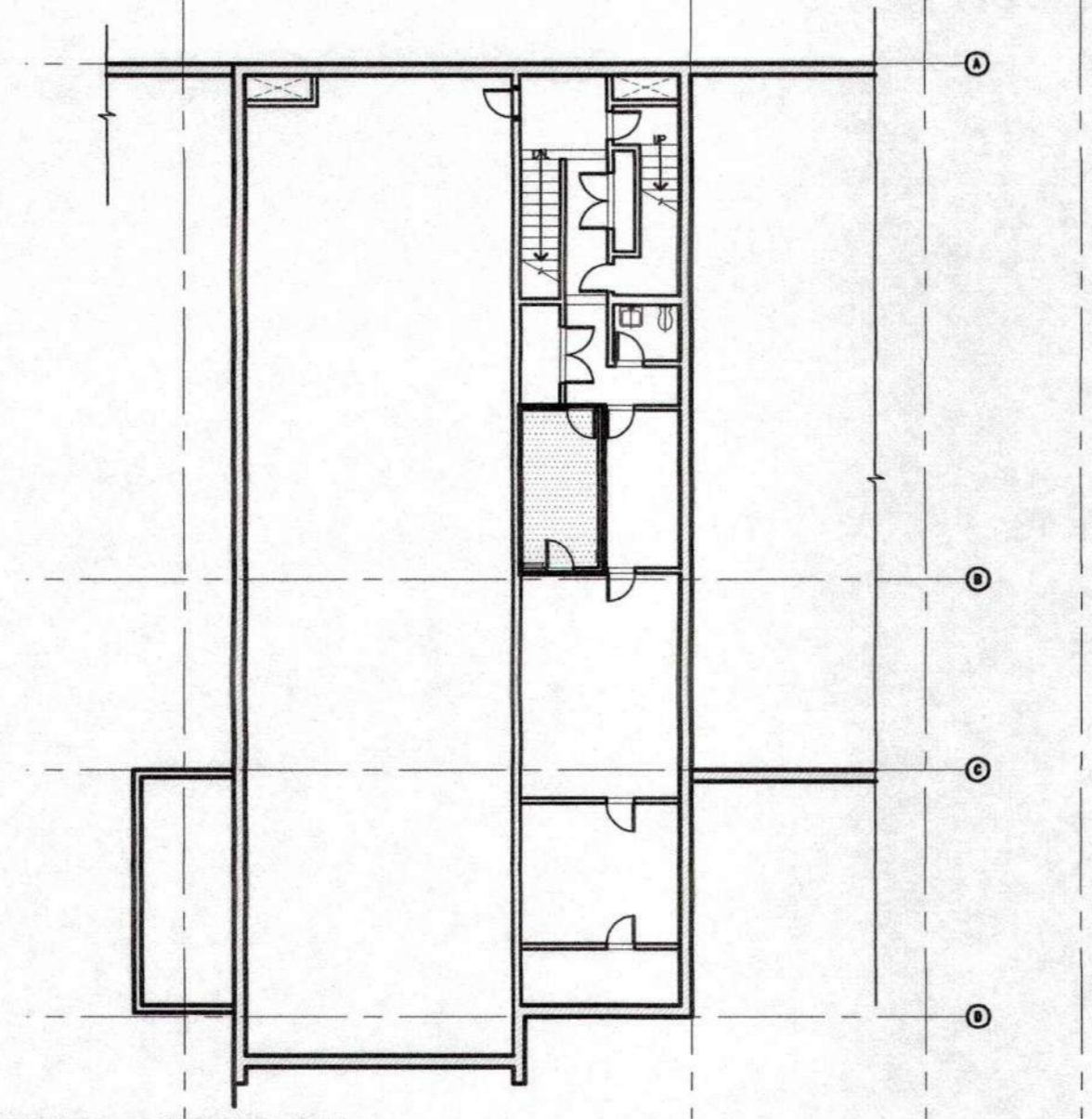


GROUND FLOOR 1

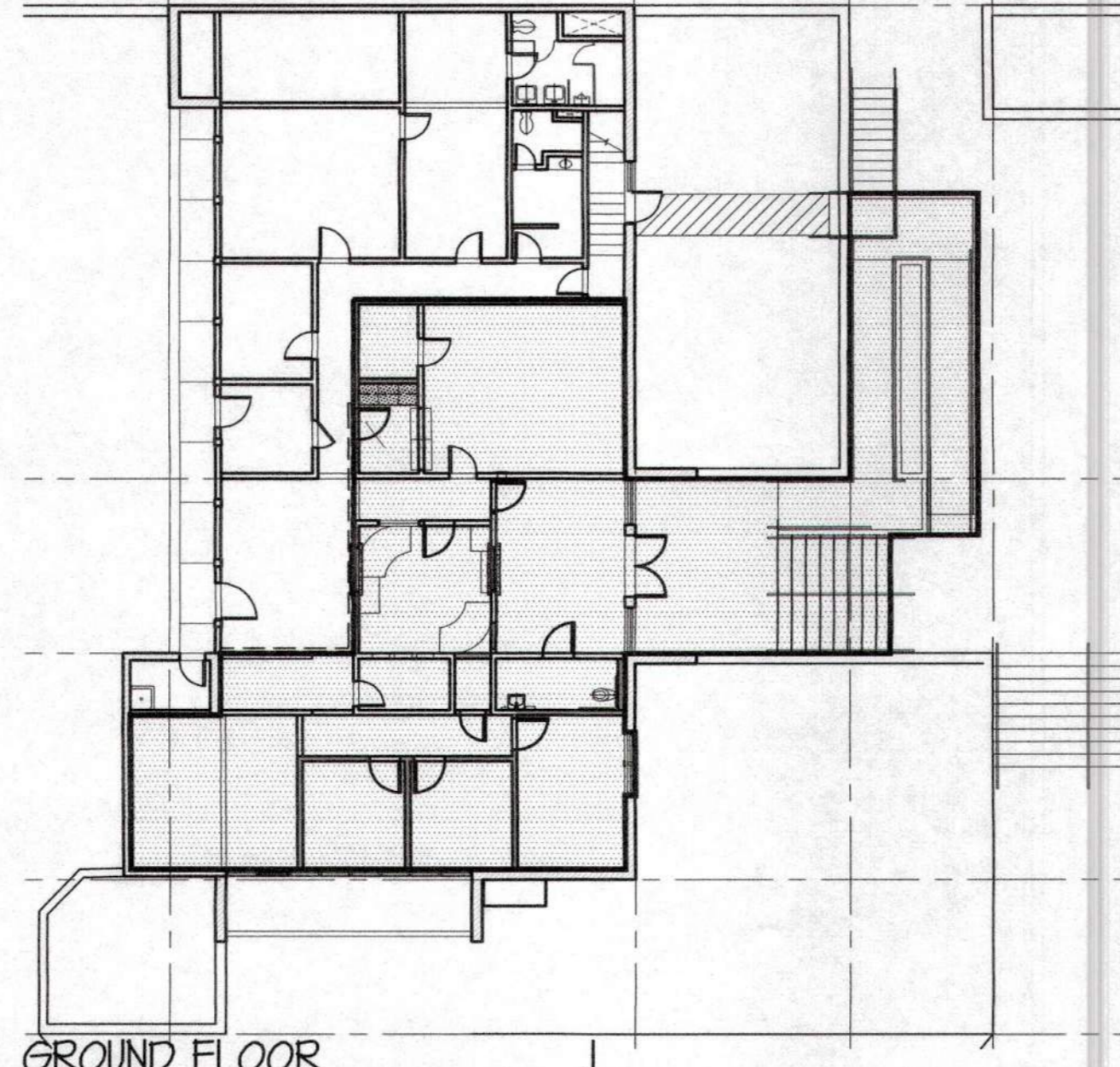
PHASE 3 - HAZMAT & DEMOLITION 3
SCALE: 1/16" = 1'-0"



SECOND BASEMENT 3

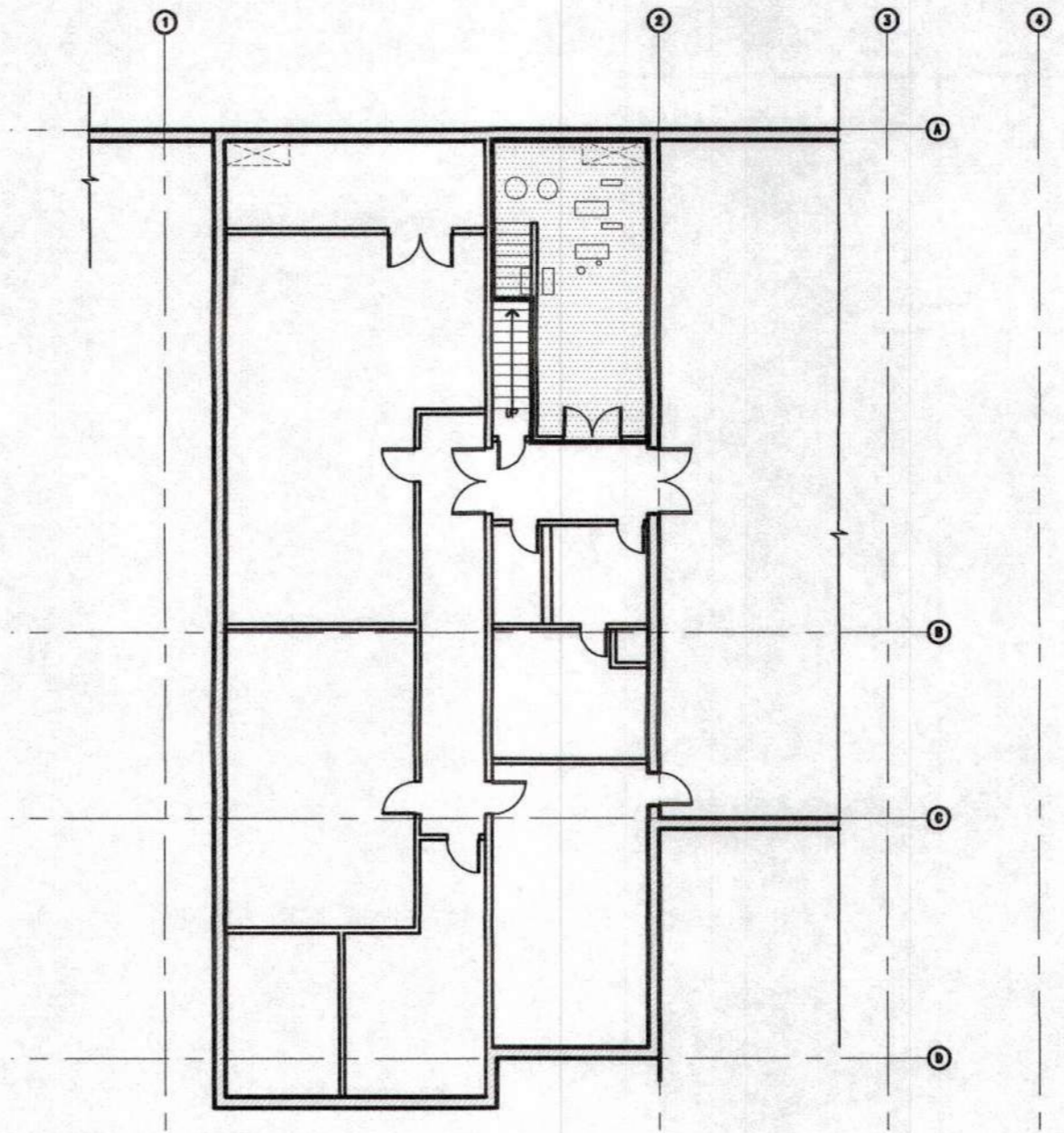


FIRST BASEMENT 2

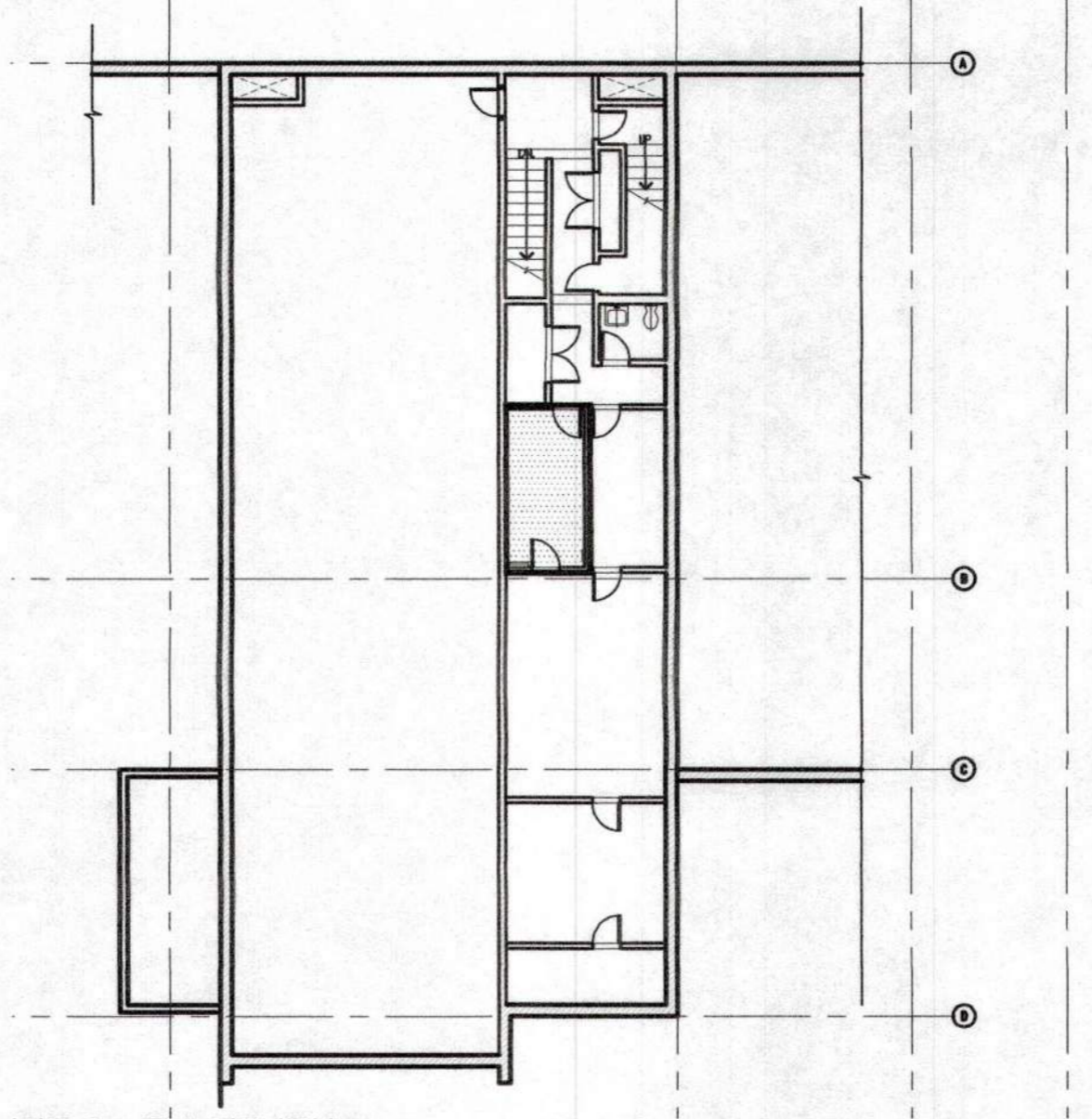


GROUND FLOOR 1

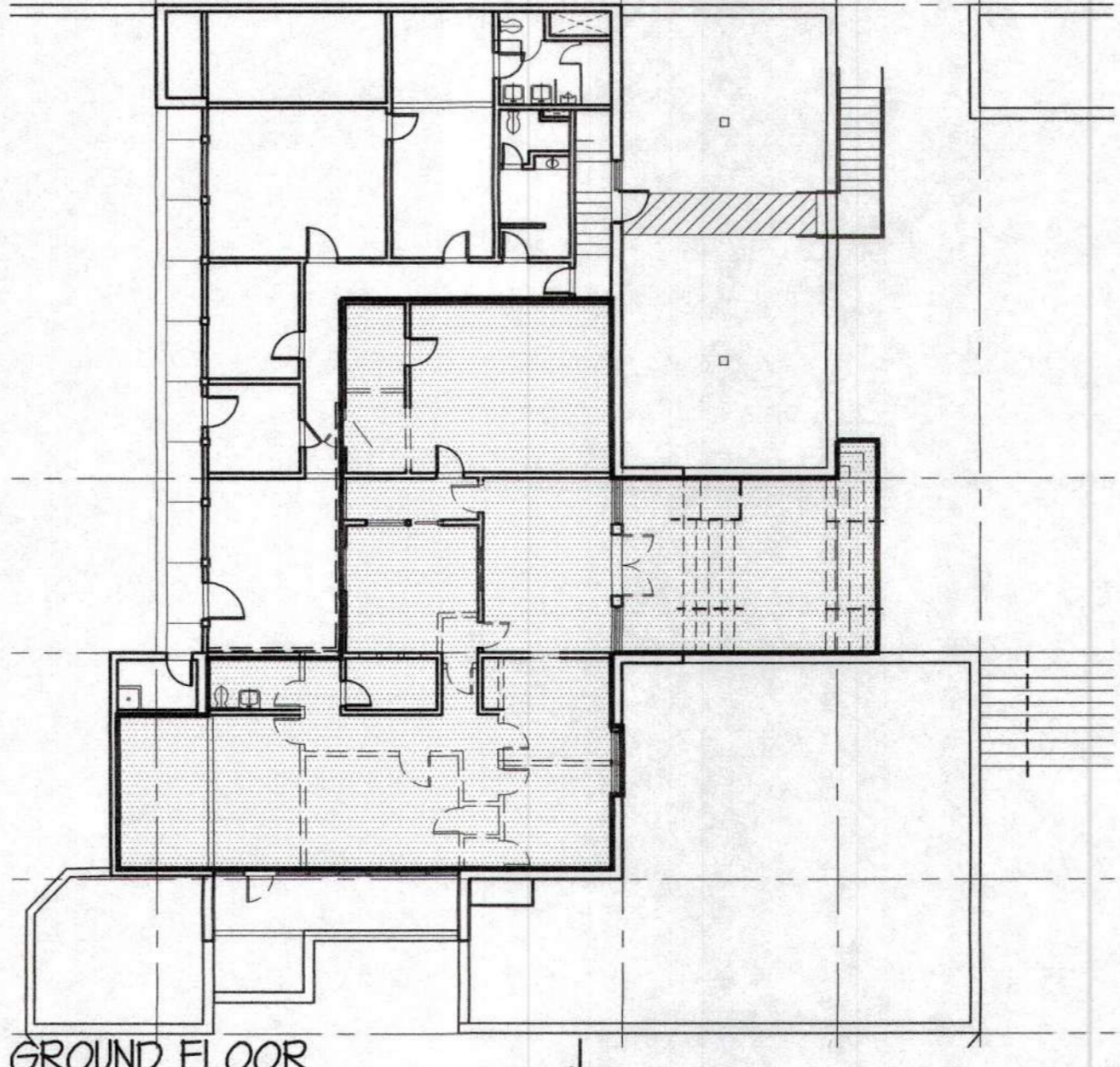
PHASE 2 - CONSTRUCTION 2
SCALE: 1/16" = 1'-0"



SECOND BASEMENT 3



FIRST BASEMENT 2



GROUND FLOOR 1

PHASE 1 - HAZMAT & DEMOLITION 1
SCALE: 1/16" = 1'-0"

GENERAL NOTES

1. PLANS ON THIS SHEET ARE FOR PHASING/SEQUENCING ONLY
2. SEE ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. SHEETS FOR COMPLETE SCOPE OF WORK.

PHASE 1 - HAZMAT & DEMOLITION

HAZMAT AT GROUND FLOOR, ROOMS 101-104, 106, 108, 110, 111, 113, 114, 115, AND 116; AT FIRST BASEMENT, ROOM 207; AND AT SECOND BASEMENT, ROOM 302.

ALL DEMOLITION REQUIRED PER PLANS FOR NEW WORK, INCLUDING EXTERIOR SITE WORK.

PHASE 2 - CONSTRUCTION

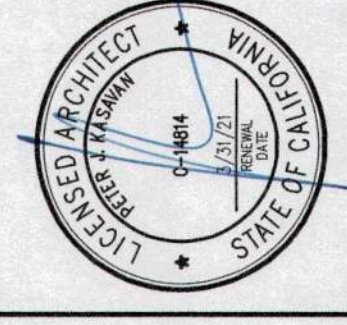
ALL REMODEL WORK PER PLANS AT GROUND FLOOR, ROOMS 101-104, 106, 108, 110, 111, 113, 114, 115, AND 116; AT FIRST BASEMENT, ROOM 207; AND AT SECOND BASEMENT, ROOM 302.

ASSOCIATED SITE WORK: PARKING SPACE, RAMP, STAIRS AND RAILINGS, ETC.

PHASE 3 - HAZMAT & DEMOLITION

HAZMAT AT FIRST BASEMENT, ROOMS 208 AND 210.

KASAVAN ARCHITECTS
60 W. Market St., Suite 300
Voice 831-424-2232
Salinas, California 93901
Fax 831-424-2501



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REVISIONS:

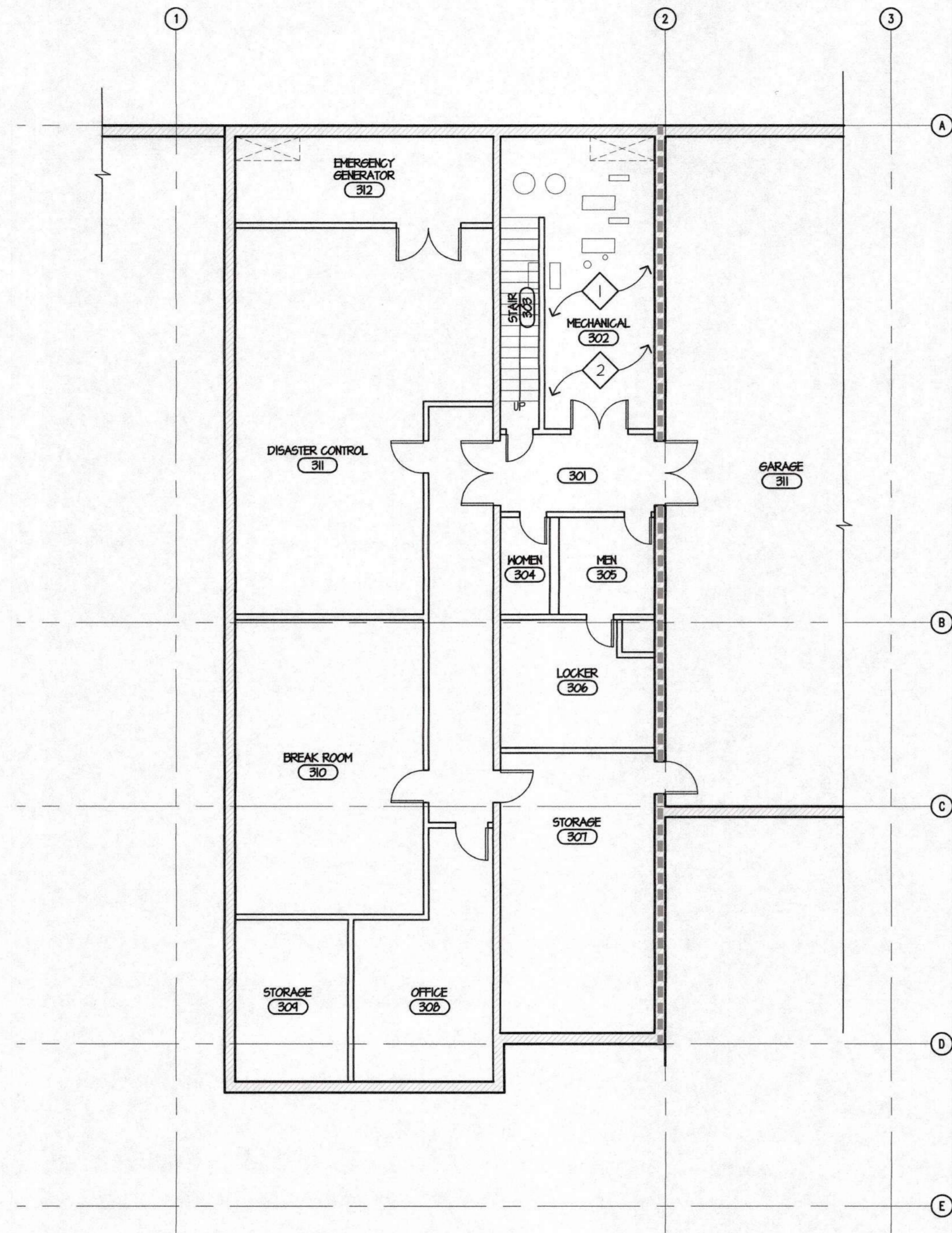
PLAN CHECK 12/05/11

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
JUNIPERO AVE. AND 4TH AVE.
CARMEL-BY-THE-SEA, CA 93923

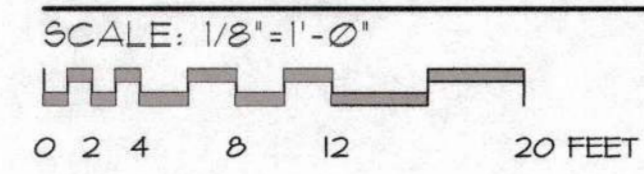
PHASING PLANS

SHEET NUMBER
A1.4

DATE: 10 OCT 2011
JOB: 1121 DRAWN: GADD



PARTIAL LOWER FLOOR PLAN (DEMO)



1



GENERAL NOTES

1. EVERYTHING SHOW IS (E) U.O.N.
2. DEMOLITION: REMOVE ALL ITEMS AND FINISHES IN WAY OF (N) WORK

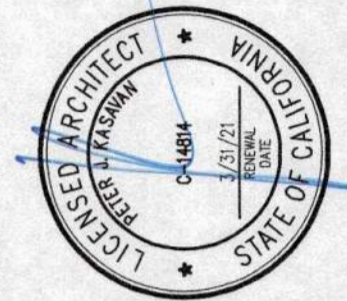
KEYED NOTES

- 1 HAZMAT ABATEMENT, SEE REPORT AND SPEC
- 2 SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE INCLUDING SHTS. M2.1, P2.1

LEGEND

- (E) FRAMED WALL, NO CHANGE
- (E) CONCRETE WALL, NO CHANGE
- (E) 3-HR RATED CONCRETE WALL, NO CHANGE

KASAVAN ARCHITECTS
 60 W. Market St., Suite 300
 Salinas, California 93901
 Voice 831.424.2232 Fax 831.424.2501



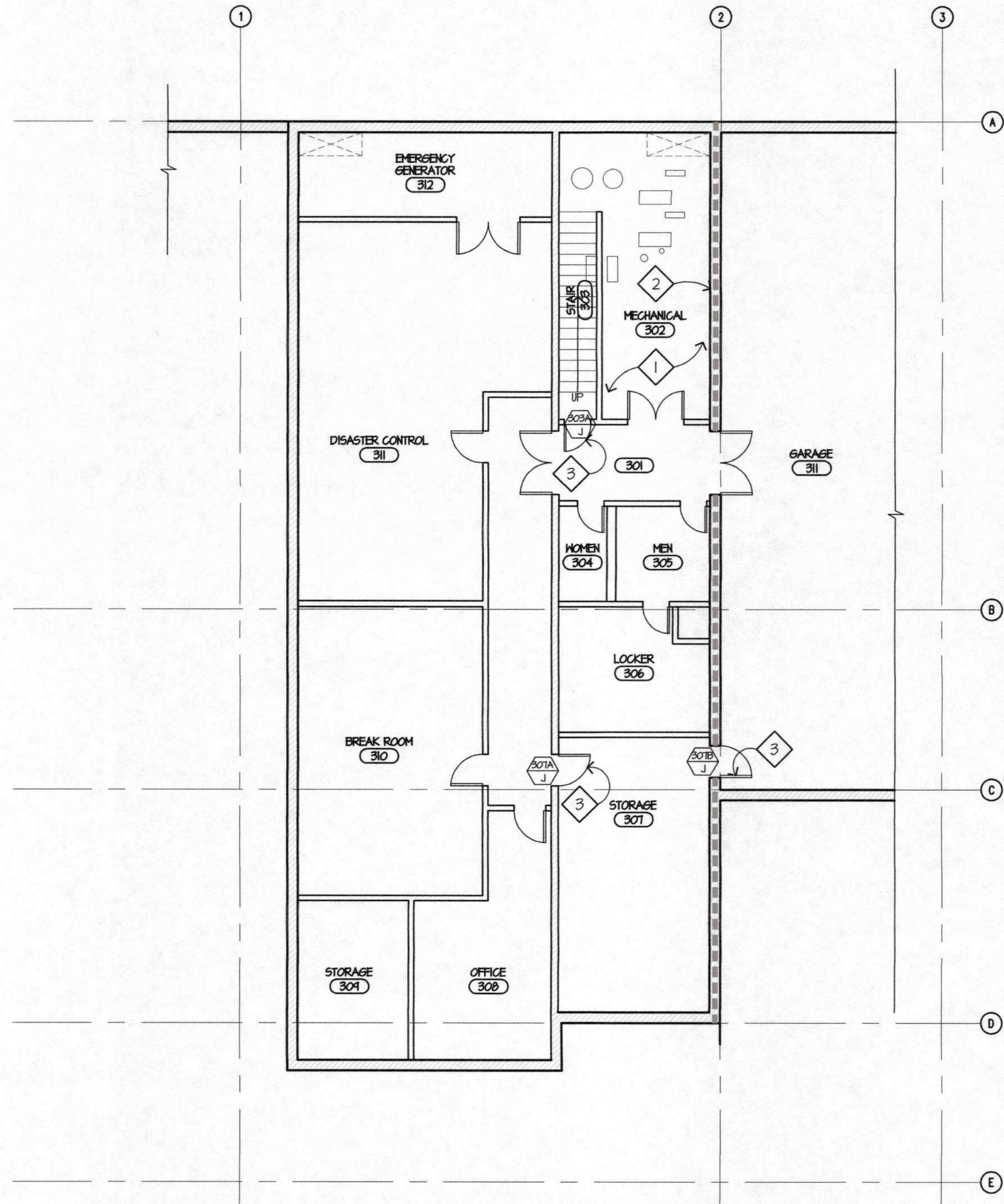
CONSULTANTS

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REVISIONS:
 PLAN CHECK 12/05/11

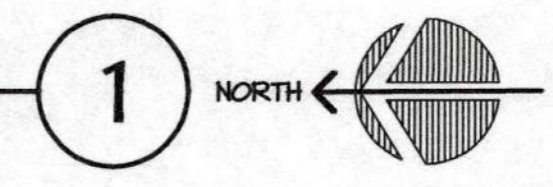
RENOVATIONS AND SITE IMPROVEMENTS
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
PARTIAL LOWER FLOOR PLAN (DEMO)

SHEET NUMBER
A2.1
 DATE: 10 OCT 2014
 JOB: 1121 DRAWN: GADD



PROPOSED LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"
 0 2 4 8 12 20 FEET



GENERAL NOTES

1. EVERYTHING SHOW IS (E) U.O.N.
2. DIMS. ARE TO CENTERLINE OF INT. PARTITIONS, U.O.N.

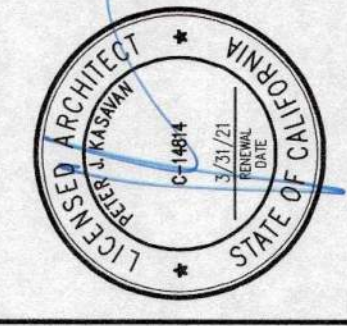
KEYED NOTES

- 1 SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE INCL. SHTS. M2.1, P2.1, E4.0 AND E4.0A
- 2 REVIEW EXISTING PENETRATIONS AT GARAGE WALL, SEE SHEET A6.5 FOR UL DETAILS TO REPAIR EXISTING WALL PENETRATIONS
- 3 (E) DOOR TO RECEIVE (N) HARDWARE, SEE SCHEDULE AND SPECIFICATIONS

LEGEND

- (E) FRAMED WALL, NO CHANGE
- (E) CONCRETE WALL, NO CHANGE
- (E) 3-HR RATED CONCRETE WALL, NO CHANGE
- (N) WALL, SEE WALL TYPES, SHT. A6.1
- FIRE EXTINGUISHER CABINET (RECESSED)
- CASEWORK, SEE INT. ELEVS.
- X ROOM
XXX ROOM NUMBER
- AXXX
X DOOR NUMBER
X HARDWARE GROUP, SEE SPEC'S.
- X WINDOW - SEE WINDOW TYPES SHT. A7.1
- WALL TYPE, SEE I/A6.1

KASAVAN ARCHITECTS
 60 W. Market St., Suite 300
 Salinas, California 93901
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REVISIONS:
 1 PLAN CHECK 12/05/14

RENOVATIONS AND SITE IMPROVEMENTS
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 JUNIPERO AVE. AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
PROPOSED LOWER FLOOR PLAN

SHEET NUMBER
A2.2
 DATE: 18 OCT 2014
 JOB: 112J DRAWN: GADD

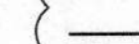
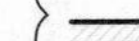

GENERAL NOTES

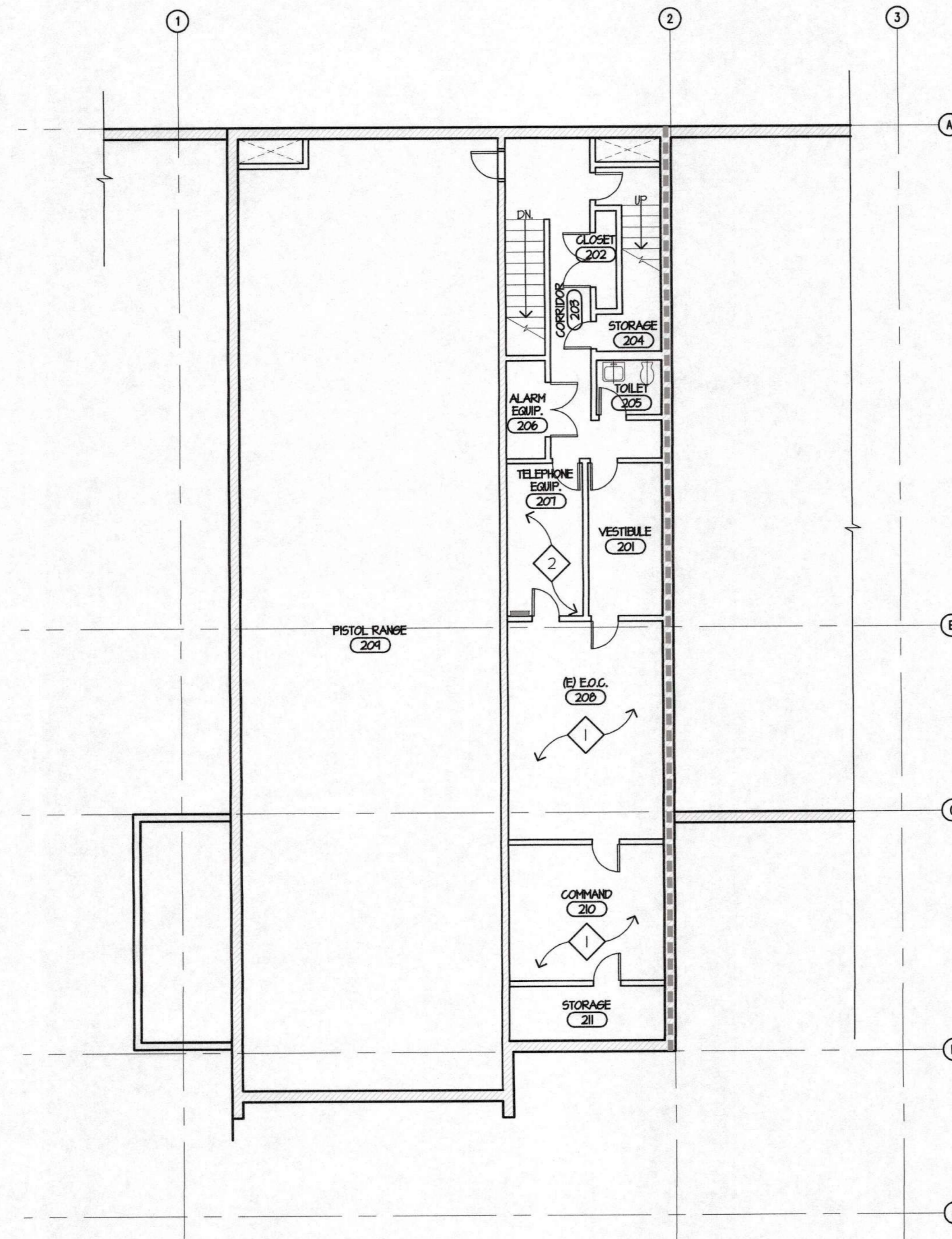
1. EVERYTHING SHOW IS (E) U.O.N.
2. DEMOLITION: REMOVE ALL ITEMS AND FINISHES IN WAY OF (N) WORK

KEYED NOTES

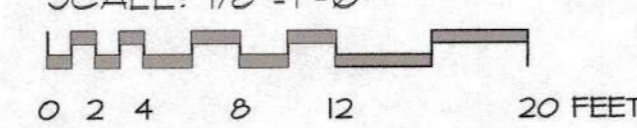
- 1 HAZMAT ABATEMENT, SEE REPORT AND SPEC. THIS AREA TO OCCUR IN PHASE 3, SEE SHT. A1.4.
- 2 SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE INCL. SHTS. E3.1, E3.1A

LEGEND

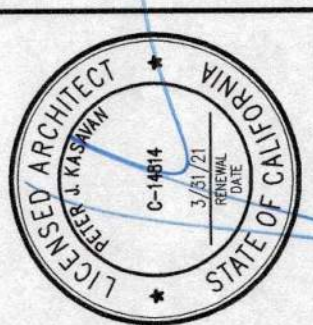
-  (E) FRAMED WALL, NO CHANGE
-  (E) CONCRETE WALL, NO CHANGE
-  (E) 3-HR RATED CONCRETE WALL, NO CHANGE



INTERMEDIATE FLOOR PLAN (DEMO)

SCALE: 1/8" = 1'-0"


1



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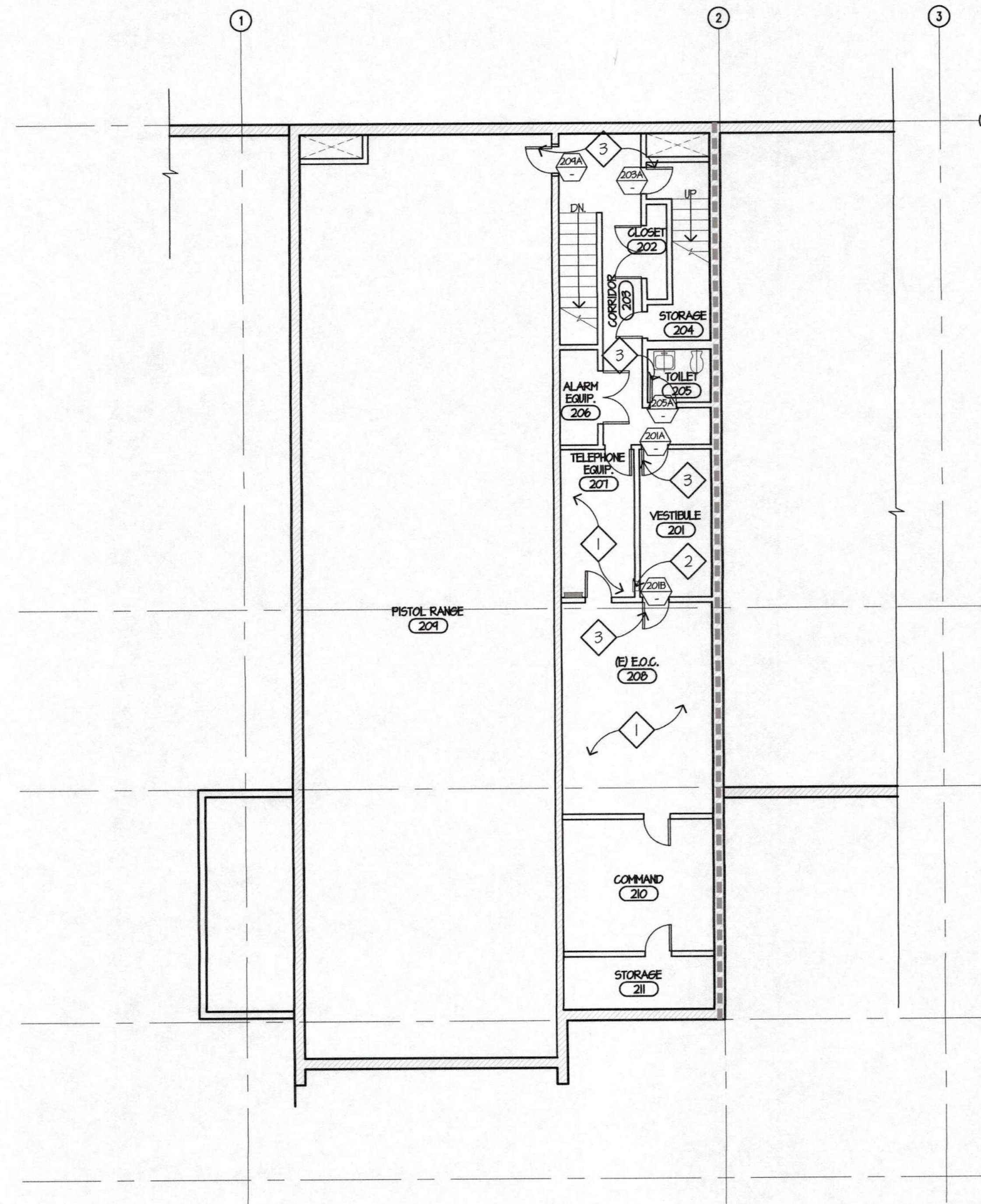
REVISIONS:

1	PLAN CHECK
	12/05/14

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923

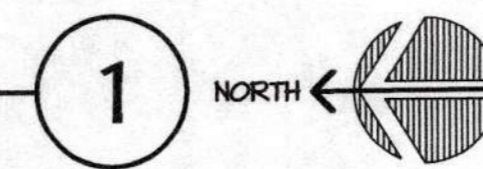
SHEET NUMBER
A2.3

DATE: 10 OCT 2014
 JOB: 1121 DRAWN: CADD



PROPOSED INTERMEDIATE LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"
 0 2 4 8 12 20 FEET



GENERAL NOTES

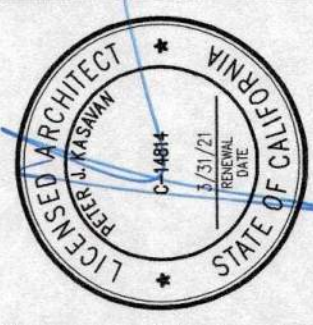
1. EVERYTHING SHOWN IS (E) U.O.N.
2. DIMS. ARE TO CENTERLINE OF INT. PARTITIONS, U.O.N.

KEYED NOTES

- 1 SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE INCL. SHTS. E4.1, E4.1A
- 2 FIRE EXTINGUISHER CABINET & 2A10BC FIRE EXTINGUISHER W/ VALID CERTIFICATION TAG ATTACHED.
- 3 (E) DOOR TO RECEIVE (N) HARDWARE, SEE SCHEDULE AND SPECIFICATIONS

LEGEND

- (E) FRAMED WALL, NO CHANGE
- (E) CONCRETE WALL, NO CHANGE
- (E) 3-HR RATED CONCRETE WALL, NO CHANGE
- (N) WALL, SEE WALL TYPES, SHT. A6.1
- FIRE EXTINGUISHER CABINET (RECESSED)
- CASEWORK, SEE INT. ELEV'S.
- ROOM NAME
ROOM NUMBER
- DOOR NUMBER
HARDWARE GROUP, SEE SPEC'S.
- WINDOW - SEE WINDOW TYPES SHT. A7.1
- WALL TYPE, SEE I/A6.1



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REVISIONS:

1	PLAN CHECK
	12/05/14

RENOVATIONS AND SITE IMPROVEMENTS
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE AND 4TH AVE
 CARMEL-BY-THE-SEA, CA 93923

PROPOSED INTERMEDIATE FLOOR PLAN

SHEET NUMBER

A2.4

DATE: 18 OCT 2014

JOB	DRAWN
17121	CADD

GENERAL NOTES

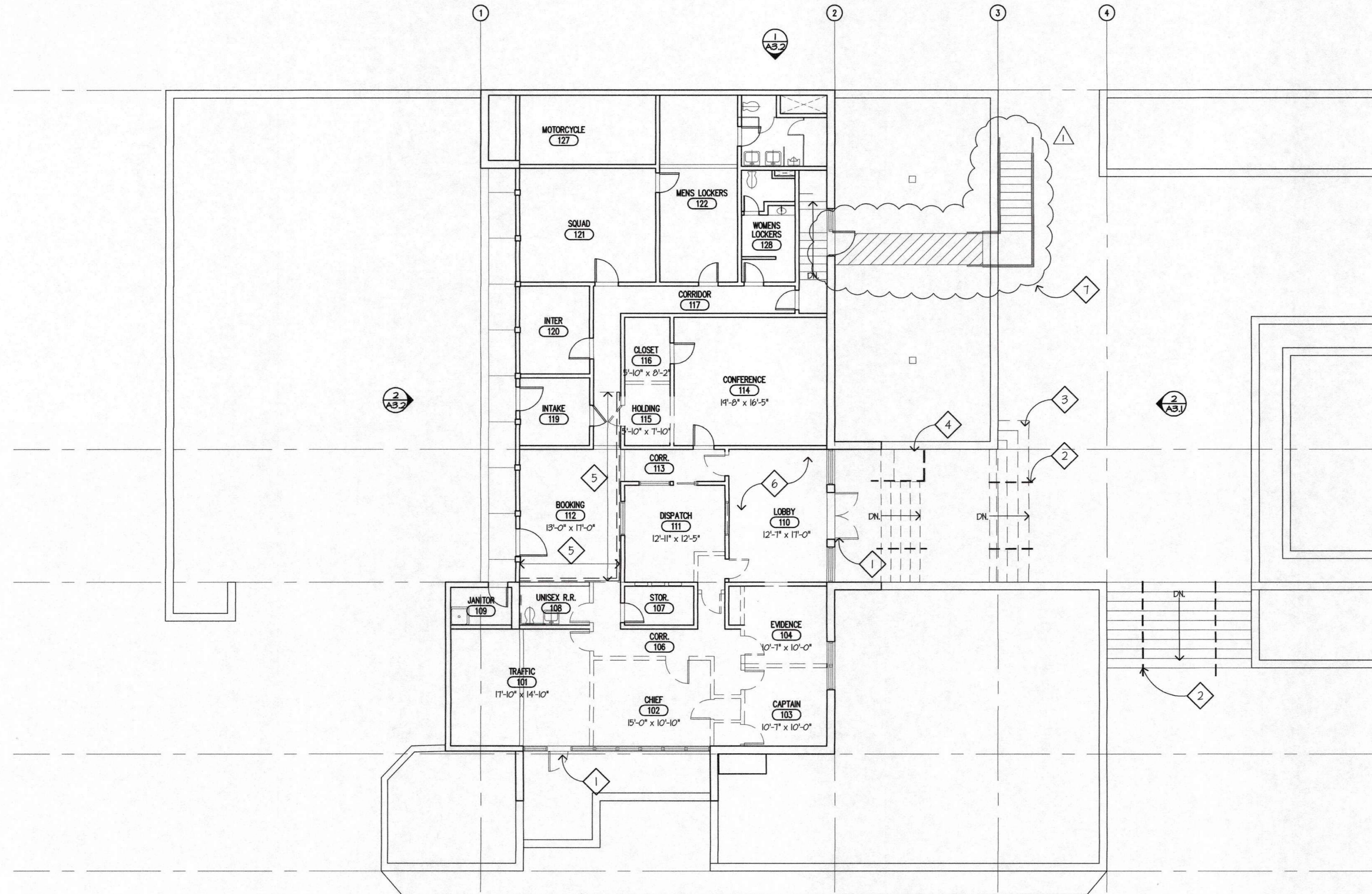
- EVERYTHING SHOWN IS (E) U.O.N.
- DEMOLITION: REMOVE ALL ITEMS AND FINISHES IN WAY OF (N) WORK.

KEYED NOTES

- 1 REMOVE (E) ENTRY DOOR, PREPARE FRAME FOR INSTALLATION OF NEW DOOR OR WINDOW, SEE SHT. A2.6.
- 2 (E) RAILING TO BE REMOVED
- 3 (E) STAIRS TO BE REMOVED
- 4 (E) CONCRETE LANDING TO BE REMOVED
- 5 TEMPORARY WALL TO BE INSTALLED PRIOR TO START OF CONSTRUCTION AND TO REMAIN FOR DURATION OF WORK.
- 6 SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE INCL. SHTS. M2.3, P2.4, E3.2, E3.2A, S2.1
- 7 TEMPORARY PRE-MANUFACTURED EGRESS STAIR TO BE INSTALLED THROUGHOUT DURATION OF CONSTRUCTION. MAINTAIN CLEAR ACCESS. SEE SPECS.

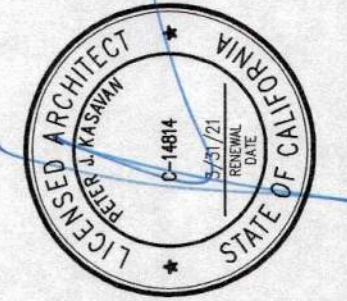
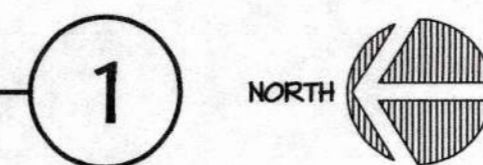
LEGEND

- ===== (E) FRAMED WALL, NO CHANGE
- ===== (E) CONCRETE WALL, NO CHANGE
- ===== (E) 3-HR RATED CONCRETE WALL, NO CHANGE
- DEMOLITION OF ITEMS PER THIS CONTRACT



UPPER LEVEL FLOOR PLAN (DEMO)

SCALE: 1/8" = 1'-0"
 0 2 4 8 12 20 FEET



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REVISIONS:
 PLAN CHECK 12/05/14

RENOVATIONS AND SITE IMPROVEMENTS
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
UPPER LEVEL FLOOR PLAN (DEMO)

SHEET NUMBER
A2.5

DATE: 10 OCT 2014
 JOB: 112J DRAWN: CADD

GENERAL NOTES

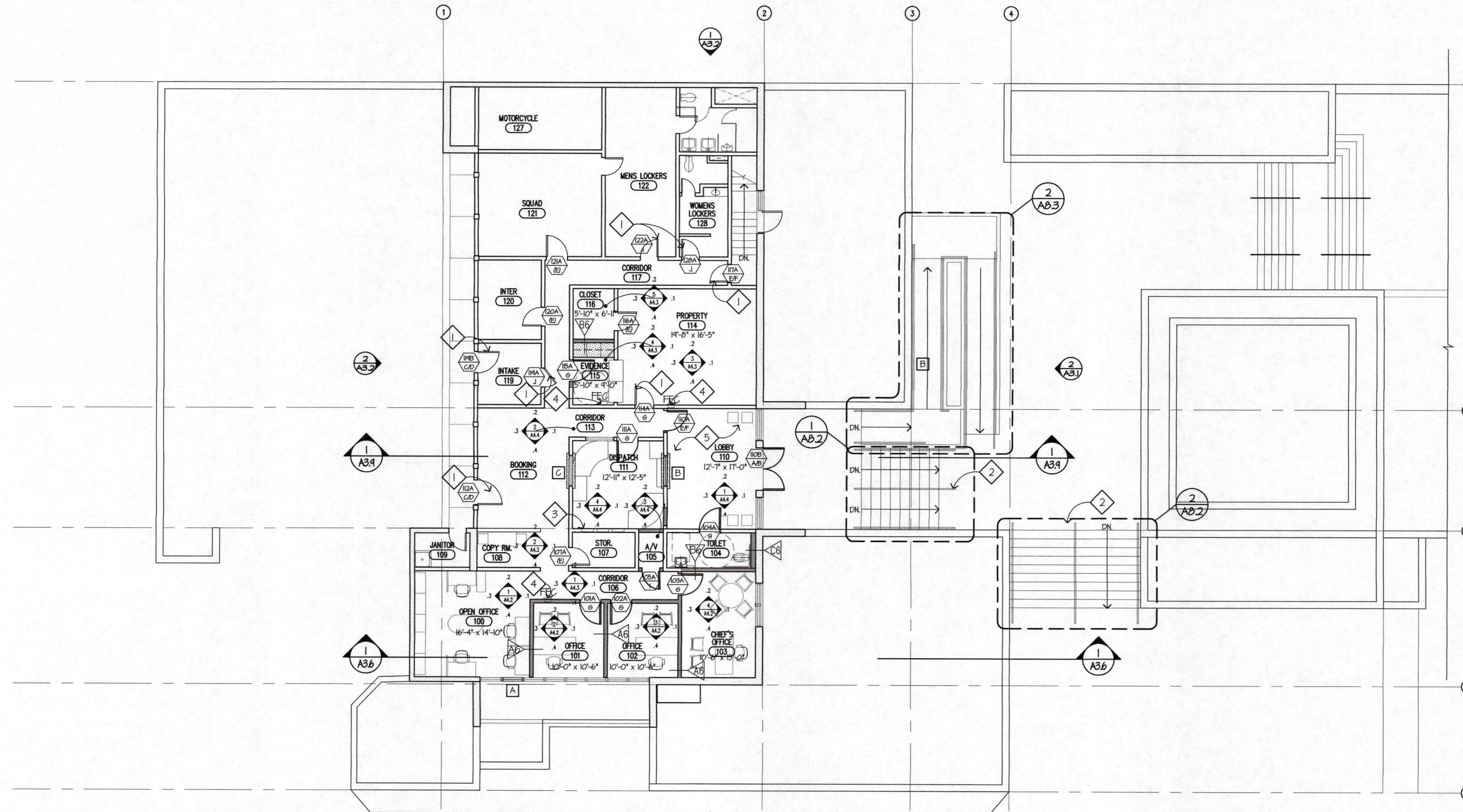
1. EVERYTHING SHOW IS (E) U.O.N.
2. DIMS. ARE TO CENTERLINE OF INT. PARTITIONS, U.O.N.

KEYED NOTES

- 1 (E) DOOR TO RECEIVE (N) HARDWARE, SEE SCHEDULE AND SPECIFICATIONS
- 2 NEW MTL. HAND RAILS, SEE SHT. A8.2
- 3 ELECTRICAL PANELS, SEE ELECT. DWGS.
- 4 FIRE EXTINGUISHER CABINET & 2AIOBC FIRE EXTINGUISHER W/ VALID CERTIFICATION TAG ATTACHED.
- 5 SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE INCL. SHTS. M2.4, P2.4, E4.2, E4.2A, S2.1

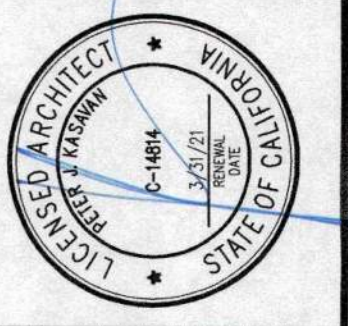
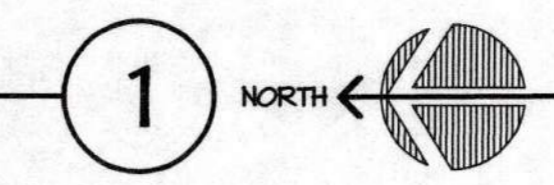
LEGEND

- (E) FRAMED WALL, NO CHANGE
- (E) CONCRETE WALL, NO CHANGE
- (E) 3-HR RATED CONCRETE WALL, NO CHANGE
- (N) WALL, SEE WALL TYPES, SHT. A6.1
- FEC FIRE EXTINGUISHER CABINET (RECESSED)
- CASEWORK, SEE INT. ELEV5.
- X ROOM ROOM NAME ROOM NUMBER
- AXXA DOOR NUMBER HARDWARE GROUP, SEE SPEC'S.
- X WINDOW - SEE WINDOW TYPES SHT. AT.1
- WALL TYPE, SEE I/A6.1



PROPOSED UPPER LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"
 0 2 4 8 12 20 FEET



CONSULTANTS

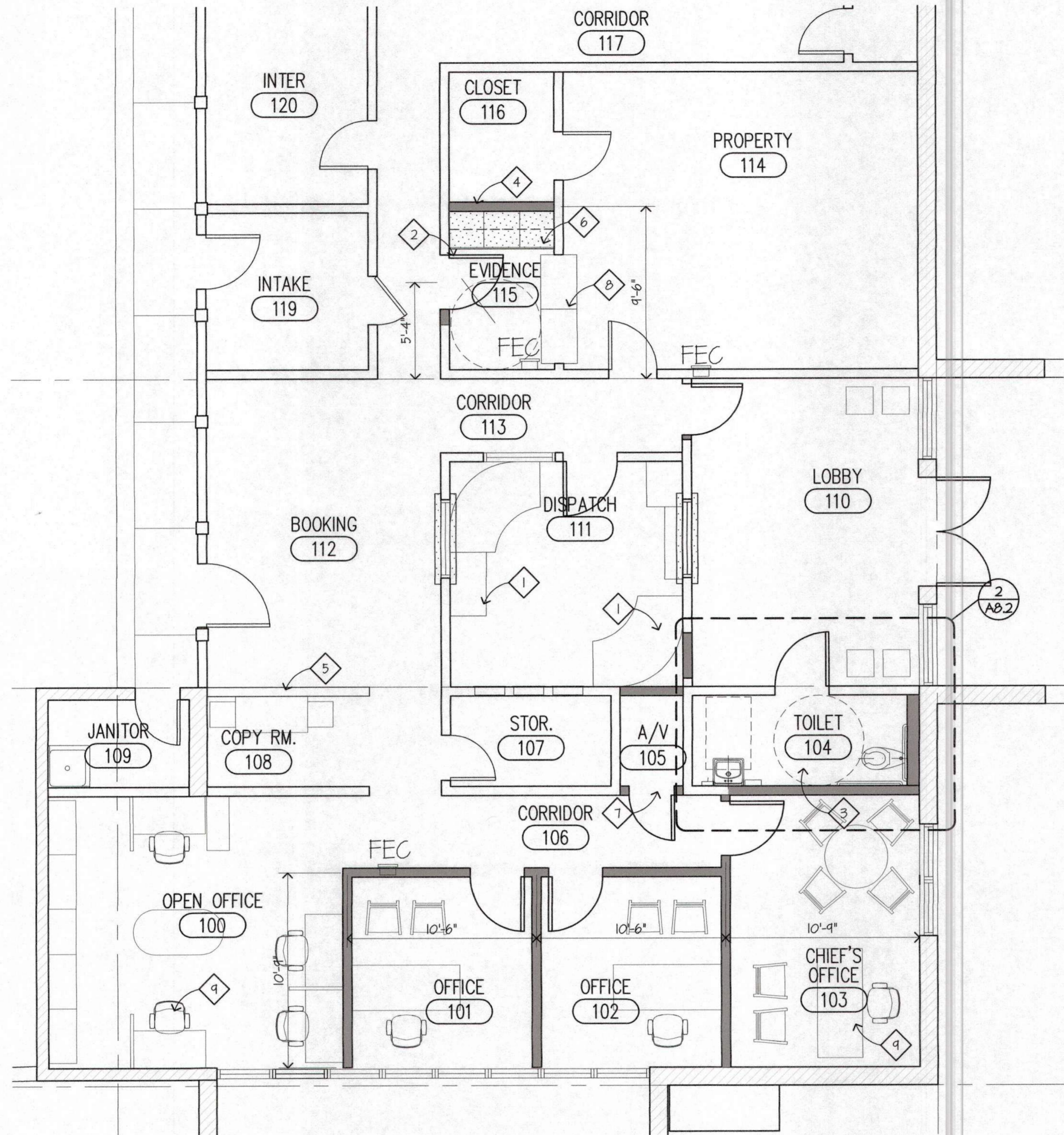
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REVISIONS:
 PLAN CHECK 12/05/14

RENOVATIONS AND SITE IMPROVEMENTS
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923

PROPOSED UPPER LEVEL FLOOR PLAN

SHEET NUMBER
A2.6
 DATE: 10 OCT 2014
 JOB DRAWN
 ITI2J GADD



ENLARGED UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1' - 0"
 0 1 2 4 8 10 FEET



GENERAL NOTES

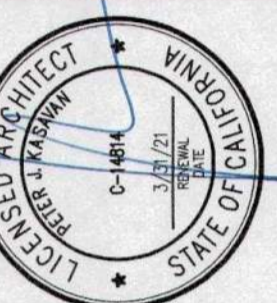
1. EVERYTHING SHOWN IS (E) U.O.N.
2. DIMS. ARE TO CENTERLINE OF INT. PARTITIONS, U.O.N.

KEYED NOTES

- 1 NEW OWNER-PROVIDED DISPATCH FURNITURE, N.I.C.
- 2 NEW DOOR TO EVIDENCE ROOM
- 3 NEW ACCESSIBLE TOILET ROOM
- 4 RELOCATE WALL TO ENLARGE EVIDENCE ROOM
- 5 NEW PARTIAL HEIGHT WALL, SEE INT. ELEV5.
- 6 NEW CASEWORK, SEE INTERIOR ELEVATIONS
- 7 NEW CLOSET
- 8 NEW EVIDENCE LOCKERS, SEE DETAIL I/A6.4
- 9 OWNER PROVIDED FURNITURE, N.I.C., TYP.

LEGEND

- (E) FRAMED WALL, NO CHANGE
- (E) CONCRETE WALL, SEE WALL TYPES SHT. A6.1
- (N) WALL, SEE WALL TYPES SHT. A6.1
- WALL TYPE, TYP.
- FEC FIRE EXTINGUISHER CABINET (RECESSED)
- CASEWORK, SEE INT. ELEV5.
- X ROOM ROOM NAME
- XXX ROOM NUMBER



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REVISIONS:
 PLAN CHECK 12/05/14

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER
A2.7

DATE: 10 OCT 2014
 JOB: 1712 DRAWN: CADD

GENERAL NOTES



1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.

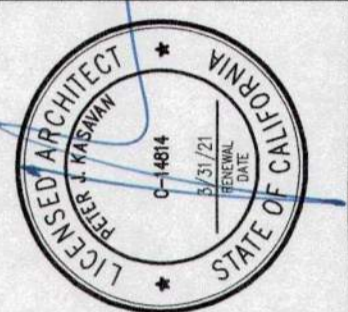
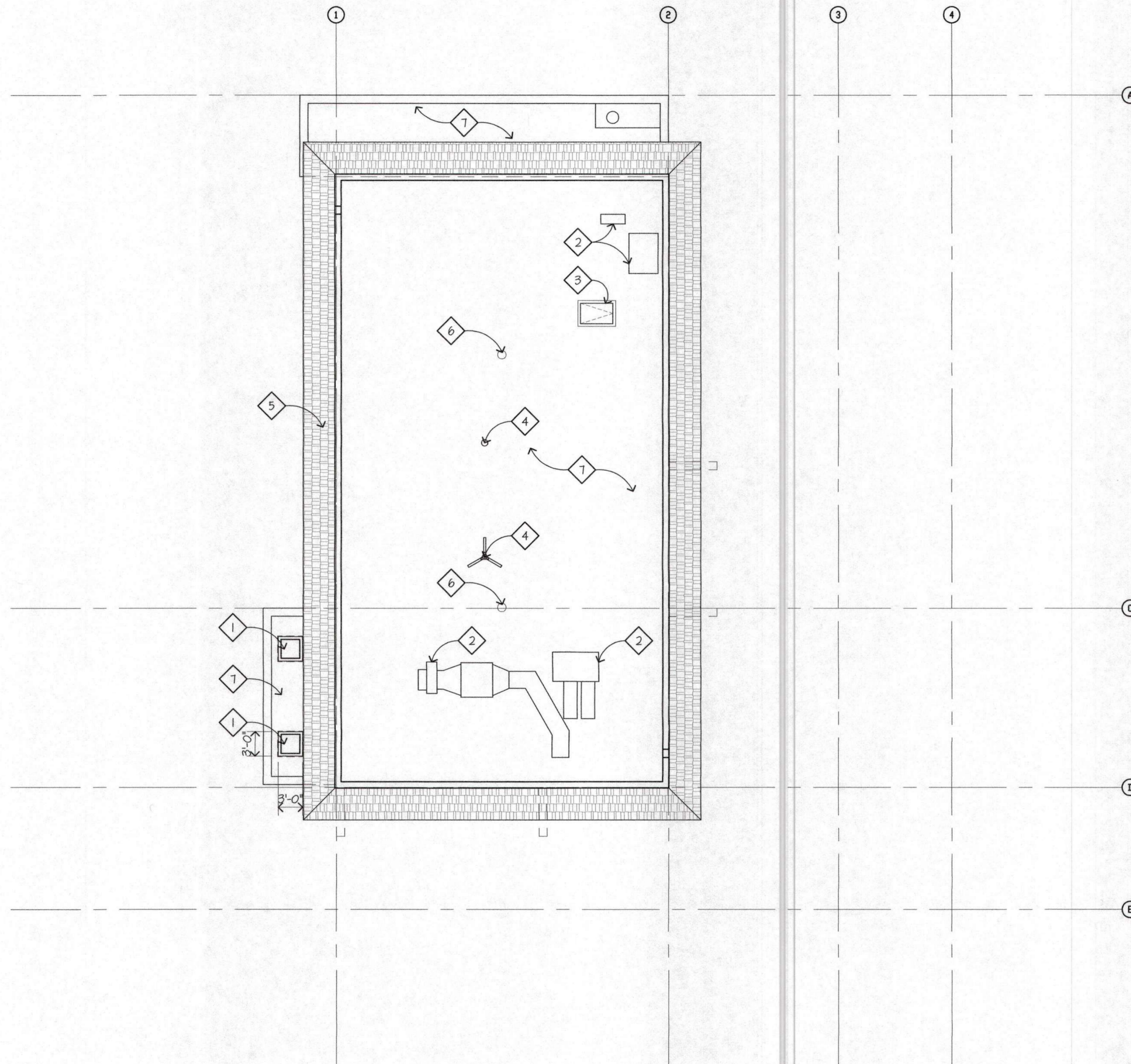
KEYED NOTES

- 1 (E) SKYLIGHT, TO REMAIN.
- 2 (E) MECH. EQUIP, TO REMAIN. LEAD PAINT ABATEMENT PER HAZMAT REPORT.
- 3 (E) ROOF HATCH, TO REMAIN. LEAD PAINT ABATEMENT PER HAZMAT REPORT.
- 4 (E) RADIO MAST, TO REMAIN. PROTECT DURING CONSTRUCTION.
- 5 REMOVE ALL (E) WOOD SHINGLES AT MANSARD.
- 6 (E) ROOF DRAIN, TO BE REPLACED, SEE ALSO SHT. P2.5.
- 7 PREP AREA FOR RE-ROOF, SEE SPEC.

LEGEND

OUTLINE OF BUILDING FOOTPRINT BELOW


-  (E) WOOD SHINGLES, TO BE REMOVED
-  (E) LOW SLOPE ROOFING, TO BE RE-ROOFED



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REVISIONS:

 PLAN CHECK
12/05/11

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT
 111 T. JUNIPERO AVE. AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA. 93923
ROOF PLAN (DEMO)

SHEET NUMBER

A2.8

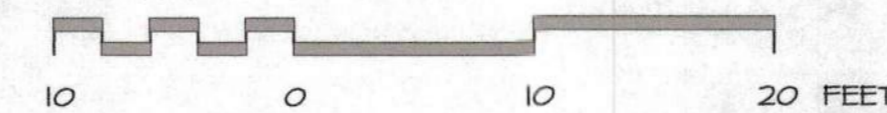
DATE: 10 OCT 2014

JOB: 1121 DRAWN: GADD

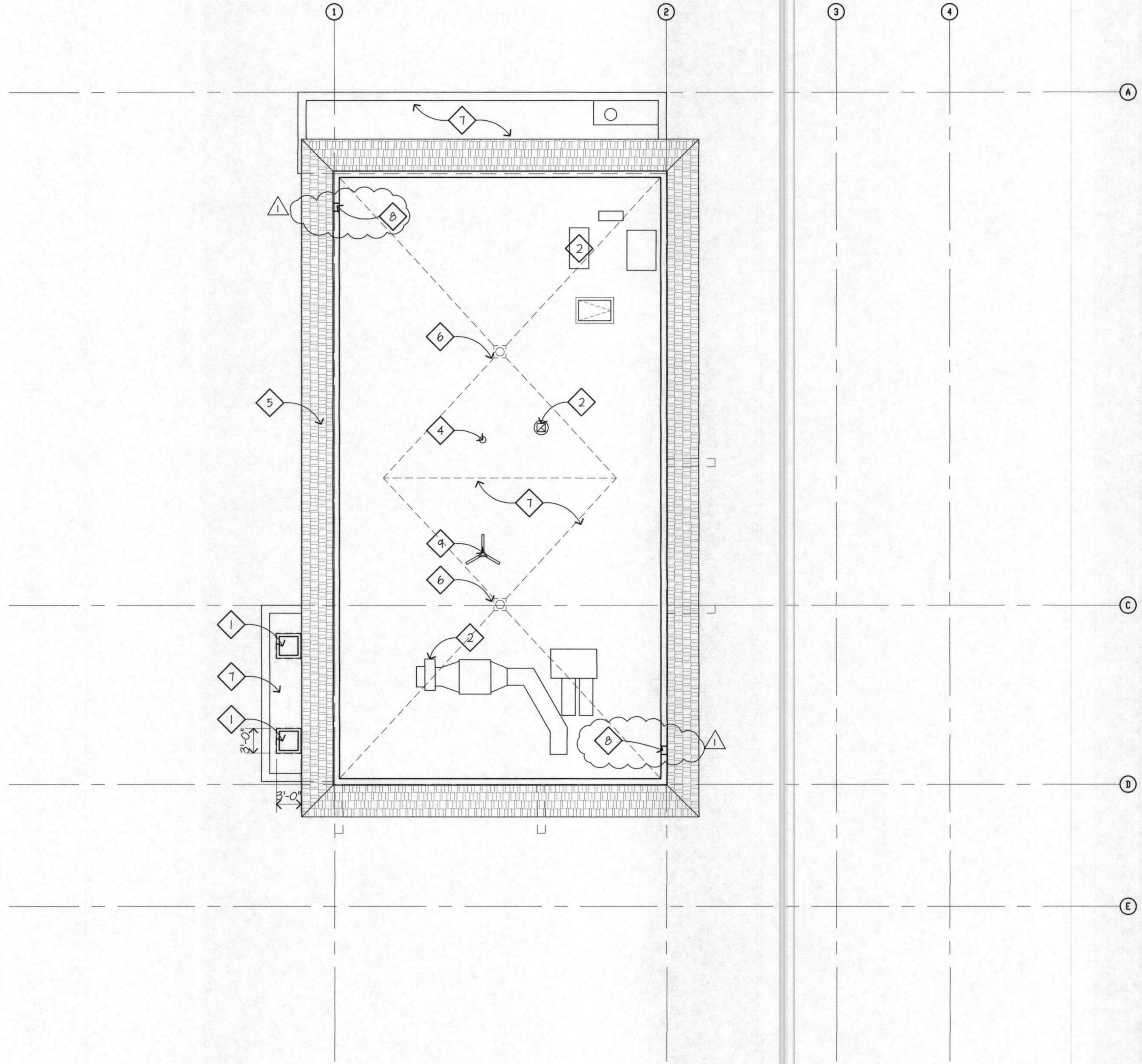


ROOF PLAN (DEMO)

SCALE: 1/8" = 1'-0"



1



GENERAL NOTES

1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.

KEYED NOTES

- 1 (E) SKYLIGHT.
- 2 (N) MECH. EQUIP, SEE MECH. & PLUMB. DWGS.
- 3 (N) PLUMBING VENT, SEE PLUMB. DWGS.
- 4 (E) RADIO MAST, TO REMAIN. PROTECT DURING CONSTRUCTION.
- 5 REPLACE ALL (E) WOOD SHINGLES AT MANSARD W/ NEW WOOD SHINGLES AS SHOWN, STAIN AND SEAL.
- 6 (N) ROOF DRAIN AT (E) ROOF DRAIN LOCATION, PROVIDE NEW RIGID INSULATION TO DRAIN
- 7 RE-ROOF
- 8 (N) OVERFLOW AT PARAPET SEE DTL. 2/A6.1

LEGEND

- OUTLINE OF BUILDING FOOTPRINT BELOW
- (N) WOOD SHINGLES, STAIN AND SEAL
- (N) LOW SLOPE ROOFING, AT EXISTING ROOF

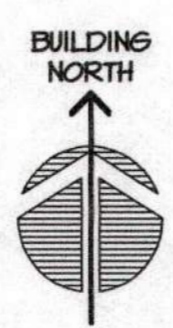


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REVISIONS:
 1 PLAN CHECK 12/05/18

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
 AT
 JUNIPERO AVE AND 4TH AVE
 CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER
A2.9
 DATE: 18 OCT 2018
 JOB: IT121 DRAWN: GADD



ROOF PLAN

SCALE: 1/8" = 1'-0"

1

DOOR SCHEDULE									
DOOR NUMBER	DOOR TYPE	FRAME TYPE	OPENING SIZE	DETAIL	THRESHOLD	FIRE RATING	SIGNAGE SEE 3/A6.3	HARDWARE TYPE	REMARKS
101A	2	A	3'-0"x7'-0"	1/AT.2		-	F	G	
102A	2	A	3'-0"x7'-0"	1/AT.2		-	F	G	
103A	2	A	3'-0"x7'-0"	1/AT.2		-	F	G	
104A	1	A	3'-0"x7'-0"	1/AT.2		-	B, C	H	
105A	1	A	2'-6"x7'-0"	1/AT.2		-	F	I	
107A	(E) WOOD							(E)	EXISTING INTERIOR
110A	2	A	3'-0"x7'-0"	1/AT.2		-	F, H	E*/F	ACCESS CONTROL, BULLET RESISTANT
110B	5	(E) ALUM.	6'-0"x7'-0"	2/AT.2		-	A, G	A*/B	NEW ENTRY DOOR IN EXISTING FRAME, (N) ACCESS CONTROL
111A	1	A	3'-0"x7'-0"	1/AT.3		-		G	
112A	(E) HM	(E) HM				-		C*/D	EXISTING EXTERIOR, (N) ACCESS CONTROL
114A	(E) WOOD					-		G	
115A	3	A	3'-0"x7'-0"	1/AT.2		-	F	G	
116A	(E) WOOD					-		(E)	EXISTING INTERIOR
117A	(E) WOOD	(E) HM				-		E*/F	EXISTING INTERIOR, (N) ACCESS CONTROL
119A	(E) HM	(E) HM				-		J	EXISTING INTERIOR
119B	(E) HM	(E) HM				-		C*/D	EXISTING EXTERIOR, (N) ACCESS CONTROL
120A	(E) WOOD					-		(E)	EXISTING INTERIOR
121A	(E) WOOD					-		(E)	EXISTING INTERIOR
122A	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
128A	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
201A	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
201B	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
203A	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
205A	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
209A	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
303A	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
307A	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR
307B	(E) WOOD	(E) HM				-		J	EXISTING INTERIOR

NOTE:
DOOR HARDWARE GROUPS
SEE FLOOR PLANS

* HARDWARE GROUP UNDER ADD ALT.

ROOM FINISH SCHEDULE							
ROOM NO.	ROOM/NAME	FLOOR	BASE	WALLS	CLG/MAT'L.	CLG. HT.	REMARKS
100	OPEN OFFICE	B2	(E)/LB	(E)/K3	K3		
101	OFFICE	B2	JB	K3	R2		
102	OFFICE	B2	JB	K3	R2		
103	CHIEF'S OFFICE	B2	(E)/LB	(E)/K3	R2		
104	UNISEX RESTROOM	E2	H2	M2/K3	K3		
105	AV CLOSET	B2	L2	K3	K3		
106	CORRIDOR	B2	(E)/LB	(E)/K3	K3		
107	STORAGE	(E)	(E)	(E)	(E)		
108	COPY RM.	B2	JB	K3	K3		
109	JANITOR CLOSET	(E)	(E)	(E)	(E)		
110	LOBBY	O2	JB	K3	K3		
111	DISPATCH	B2	JB	K3	N2		
112	BOOKING	(E)	(E)	(E)	(E)		
113	CORRIDOR	B2	JB	K3	K3		
114	PROPERTY	L2	JB	K3	K3		
115	EVIDENCE	L2	JB	K3	K3		
116	CLOSET	B2	(E)/LB	(E)/K3	K3		
117	CORRIDOR	(E)	(E)	(E)	(E)		
119	WEAPONS	(E)	(E)	(E)	(E)		
120	INTERVIEW	(E)	(E)	(E)	(E)		
121	SQUAD ROOM	(E)	(E)	(E)	(E)		
122	MEN'S LOCKER ROOM	(E)	(E)	(E)	(E)		
123	MEN'S RESTROOM	(E)	(E)	(E)	(E)		
127	MOTORCYCLE	(E)	(E)	(E)	(E)		
128	WOMEN'S LOCKER ROOM	(E)	(E)	(E)	(E)		
129	WOMEN'S RESTROOM	(E)	(E)	(E)	(E)		

MATERIALS

A. CONCRETE (POLISHED)	J. WOOD BOARD
B. CARPET	K. GYPSUM BOARD
C. CONCRETE	L. RUBBER
D. CORK	M. WALL TILE
E. CERAMIC MOSAIC TILE	N. SUSPENDED ACOUSTICAL PANELS/T-BAR
F. VINYL COMPOSITION TILE	O. FLOOR TILE
G. OSB PANEL	P. EXPOSED WOOD FRAMING & DECK
H. COVERED TILE	Q. PLASTIC LAMINATE
I. FRP	R. APPLIED ACOUSTICAL PANELS

* WALL FIN. INSTALLED O/GWB, SEE PLANS & ELEVS. FOR ADDL. INFO.
NOTE: ALL FLOOR FINISHES SHALL CONFORM WITH CBC 1124B

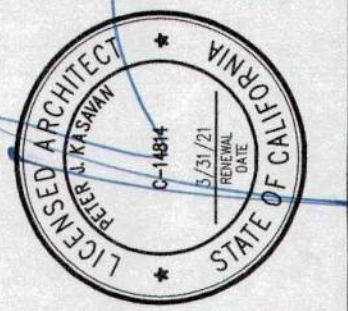
FINISHES

1. NO ADDL. FINISH	6. STAIN & CLEAR FINISH
2. FACTORY	
3. PAINT	
4. SEALER	
5. CLEAR FINISH	

GENERAL NOTES

- COLOR SELECTION - SEE SPECS. U.O.N.
- FLAME SPREAD - SEE SPECS. FOR SPECIFIC FLAME SPREAD RATING REQUIREMENTS.
 - A. WALL & CEILING FINISHES - CONFORM TO CBC 803
 - LOBBY & EXIT ENCLOSURE - CLASS B MINIMUM
 - ELSEWHERE - CLASS C MINIMUM
- DECORATIVE MATERIALS & TRIM - CONFORM TO CBC 806

KASAVAN ARCHITECTS
60 W. Market St., Suite 300
Salinas, California 93901
Voice 831.424.2232 Fax 831.424.2501



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REVISIONS:

1 PLAN CHECK 12/05/19

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
JUNIPERO AVE AND 4TH AVE
CARMEL-BY-THE-SEA, CA 93923

SCHEDULES

SHEET NUMBER
A2.10

DATE: 18 OCT 2019

JOB DRAWN
17121 CADD


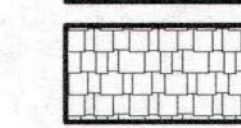
GENERAL NOTES

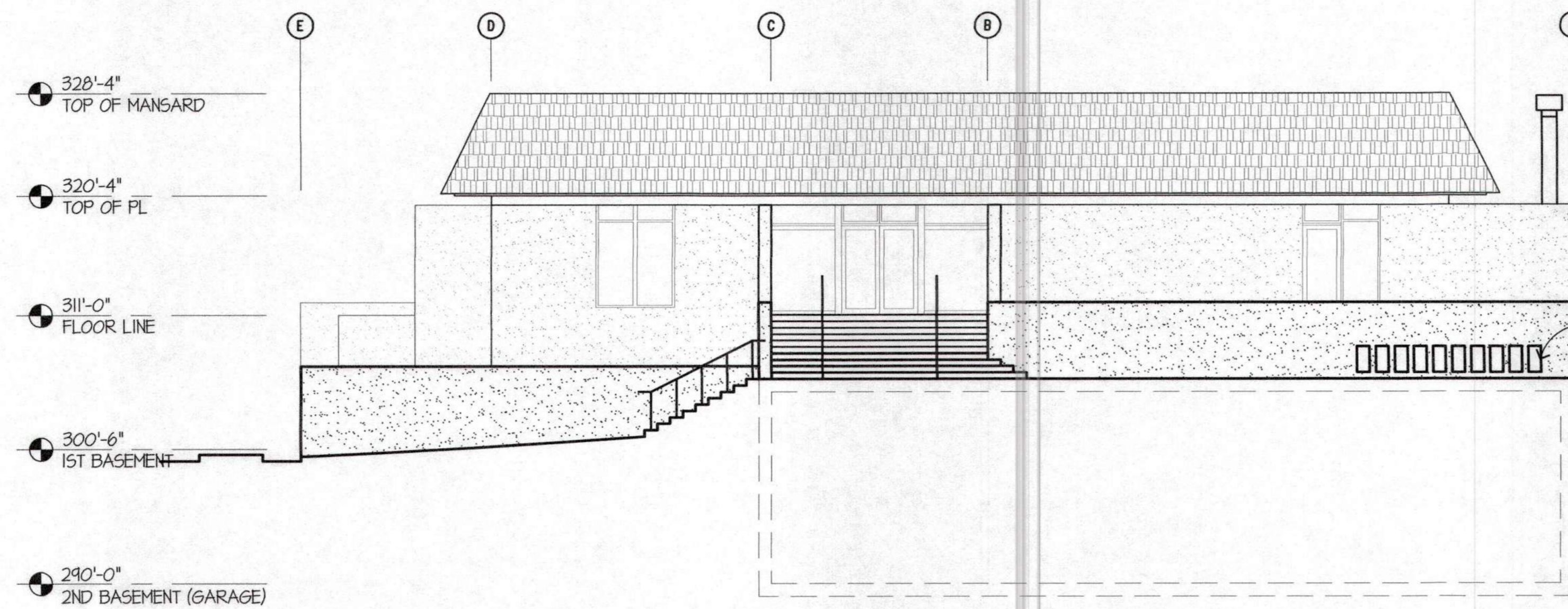
1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
2. PAINTING:
 - ⊙ (N) SURFACES, SEE SPEC.
 - ⊙ (E) SURFACES: SEE ABATEMENT SPEC & PREP, PRIME + 2 COATS FINISH.
3. PAINTING:
 - A. PAINT ALL (N) EXTERIOR SURFACES, U.O.N. INCLUDING:
 - CEMENT PLASTER/STUCCO, TRIM, ETC.
 - DOORS, FRAMES, TRIM, ETC.
 - VISIBLE FRAMING, SHTG, DECKING
 - FASCIAS & TRIM
 - ROOF JACKS, VENTS, EXPOSED SHEET METAL
 - GUTTERS & DOWNSPOUTS
 - B. PAINT ALL (E) PAINTED EXTERIOR SURFACES AT POLICE DEPT., PUBLIC WORKS BUILDING AND GARAGE.
 - C. **DEDUCT ALT. #4:** PAINTING OF EXTERIOR PAINTED SURFACES DO NOT PAINT:
 - CONCRETE
 - ROOFING (SHINGLE, TILE, MEMBRANE)
4. PAINTING - GENERAL: CONTRACTOR SHALL REVIEW THE ABATEMENT SPEC AND FOLLOW THE REMOVAL / PREP GUIDELINES PROVIDED.
5. PAINTING - GENERAL: CONTRACTOR SHALL CHASE OUT ALL CRACKS IN CEM. PLASTER FINISHES, FILL AND PREP PRIOR TO REPAINTING.

KEYED NOTES

- 1 (E) UNDERFLOOR VENT. PROVIDE (N) INSECT SCREEN.
- 2 (E) ALUM. WINDOWS, WOOD TRIM, ETC. RE-PAINT. CONTR. SHALL REMOVE LOOSE PAINT, LOOSE OR DECAYED WOOD, ETC. SEE ABATEMENT SPEC. FILL AREAS OF REMOVED WOOD WITH EPOXY WOOD FILL AS REQ'D TO MATCH (E) SHAPES. ALLOW FOR UP TO 3 COLORS, PAINT COLOR(S): TBD.
- 3 REMOVE AND REPLACE ALL WOOD SHINGLES - SEE ROOF PLAN

LEGEND

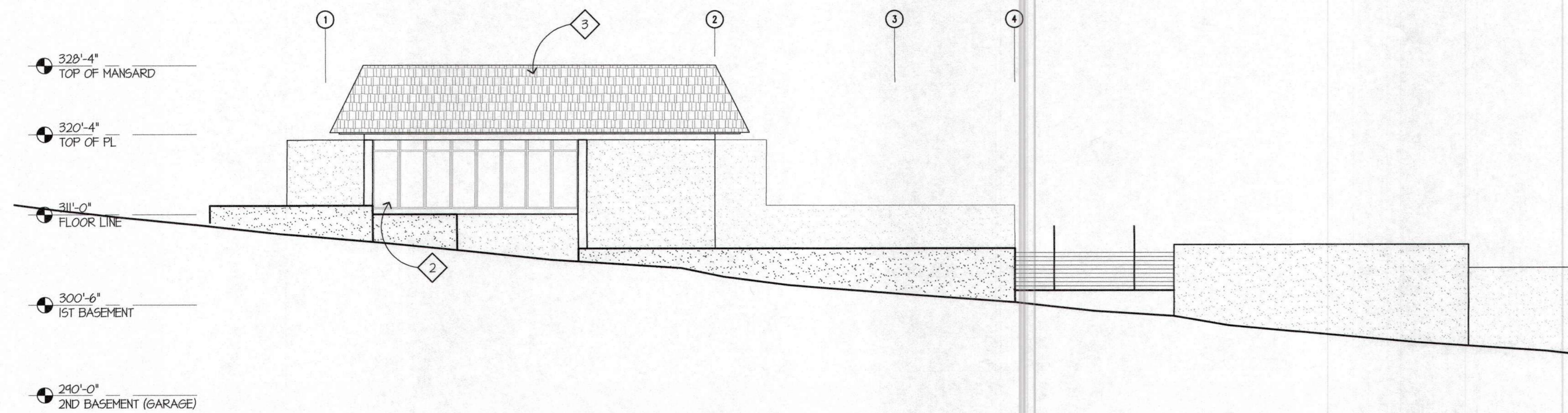
-  (E) CEMENT PLASTER FINISH: PAINT
-  EXISTING SHINGLE ROOFING FINISH: PENETRATING SEALER



SOUTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

2



WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

1



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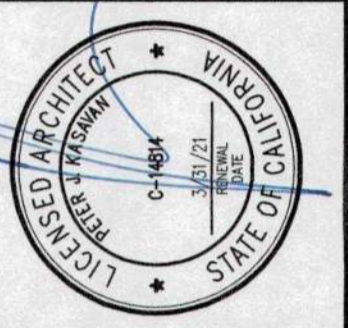
REVISIONS:

PLAN CHECK
12/05/14

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER
A3.1

DATE: 10 OCT 2014
 JOB: 17121 DRAWN: GADD



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REVISIONS:
 PLAN CHECK
 12/05/19

RENOVATIONS AND SITE IMPROVEMENTS
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 J. UNIPERO AVE. AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER
A3.2
 DATE: 18 OCT 2019
 JOB: 1712J DRAWN: GADD

GENERAL NOTES

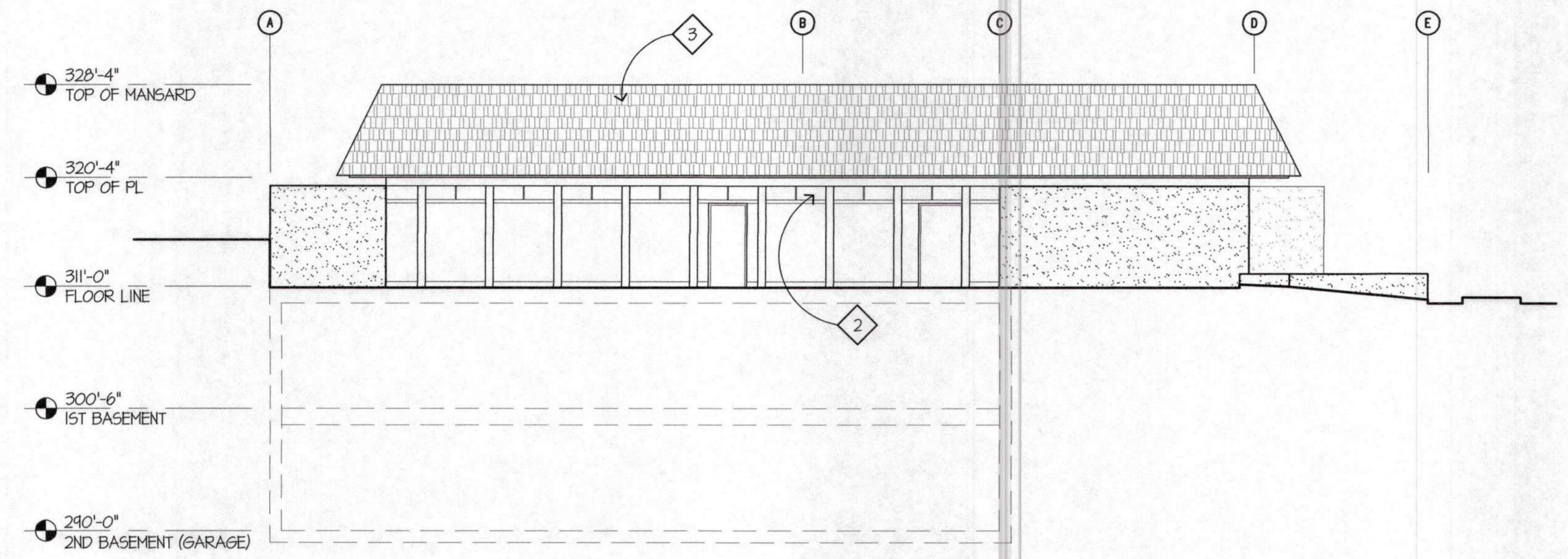
1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
2. PAINTING:
 @ (N) SURFACES, SEE SPEC.
 @ (E) SURFACES: SEE ABATEMENT SPEC & PREP, PRIME + 2 COATS FINISH.
3. PAINTING:
 A. PAINT ALL (N) EXTERIOR SURFACES, U.O.N. INCLUDING:
 - CEMENT PLASTER/STUCCO, TRIM, ETC.
 - DOORS, FRAMES, TRIM, ETC.
 - VISIBLE FRAMING, SHG, DECKING
 - FASCIAS & TRIM
 - ROOF JACKS, VENTS, EXPOSED SHEET METAL
 - GUTTERS & DOWNSPOUTS
 B. PAINT ALL (E) PAINTED EXTERIOR SURFACES AT POLICE DEPT, PUBLIC WORKS BUILDING AND GARAGE.
DEDUCT ALT. #4: PAINTING OF EXTERIOR PAINTED SURFACES
 C. DO NOT PAINT:
 - CONCRETE
 - ROOFING (SHINGLE, TILE, MEMBRANE)
4. PAINTING - GENERAL:
 CONTRACTOR SHALL REVIEW THE ABATEMENT SPEC AND FOLLOW THE REMOVAL / PREP GUIDELINES PROVIDED.
5. PAINTING - GENERAL:
 CONTRACTOR SHALL CHASE OUT ALL CRACKS IN CEM. PLASTER FINISHES, FILL AND PREP PRIOR TO REPAINTING.

KEYED NOTES

- 1 (E) UNDERFLOOR VENT. PROVIDE (N) INSECT SCREEN.
- 2 (E) ALUM. WINDOWS, WOOD TRIM, ETC. RE-PAINT. CONTR. SHALL REMOVE LOOSE PAINT, LOOSE OR DECAYED WOOD, ETC. SEE ABATEMENT SPEC. FILL AREAS OF REMOVED WOOD WITH EPOXY WOOD FILL AS REQ'D TO MATCH (E) SHAPES. ALLOW FOR UP TO 3 COLORS, PAINT COLOR(S): TBD.
- 3 REMOVE AND REPLACE ALL WOOD SHINGLES - SEE ROOF PLAN

LEGEND

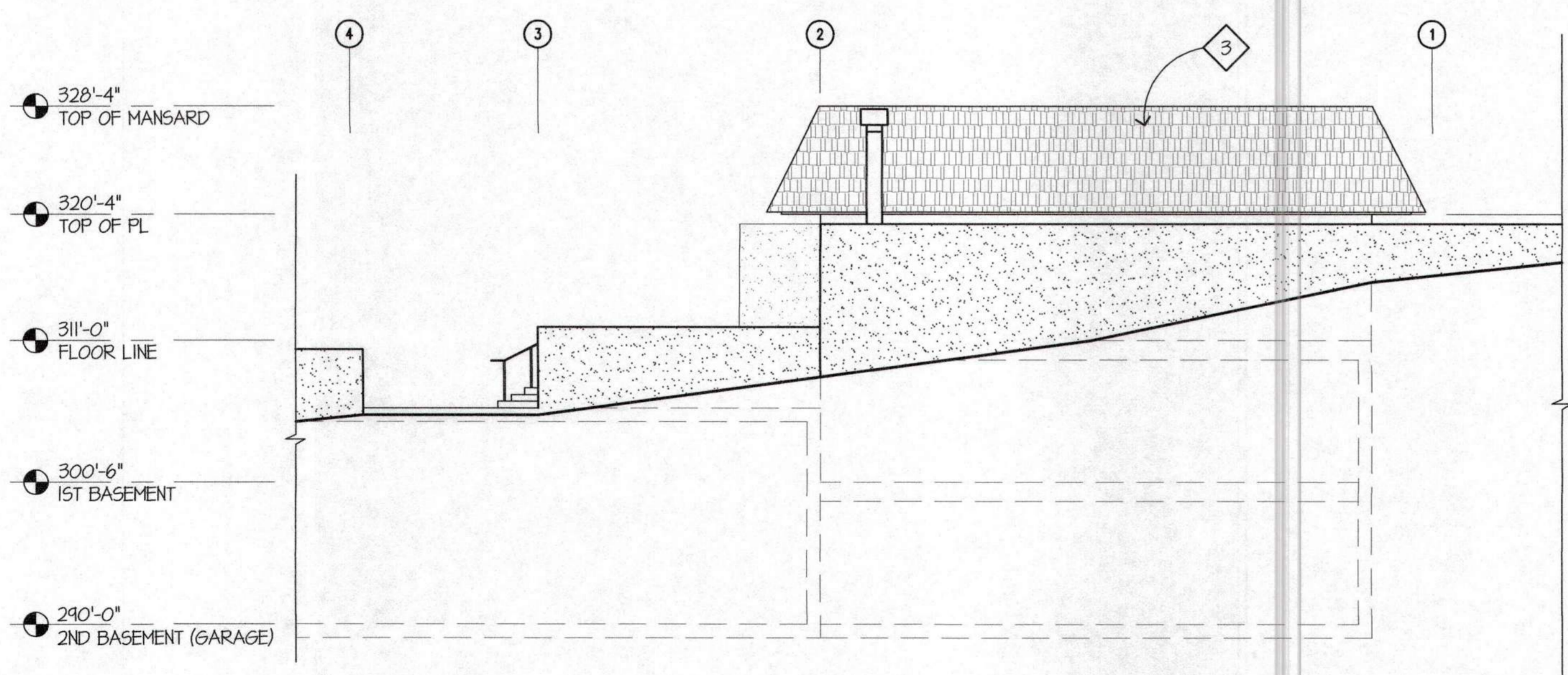
- CEMENT PLASTER FINISH: PAINT
- EXISTING SHINGLE ROOFING FINISH: PENETRATING SEALER



NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

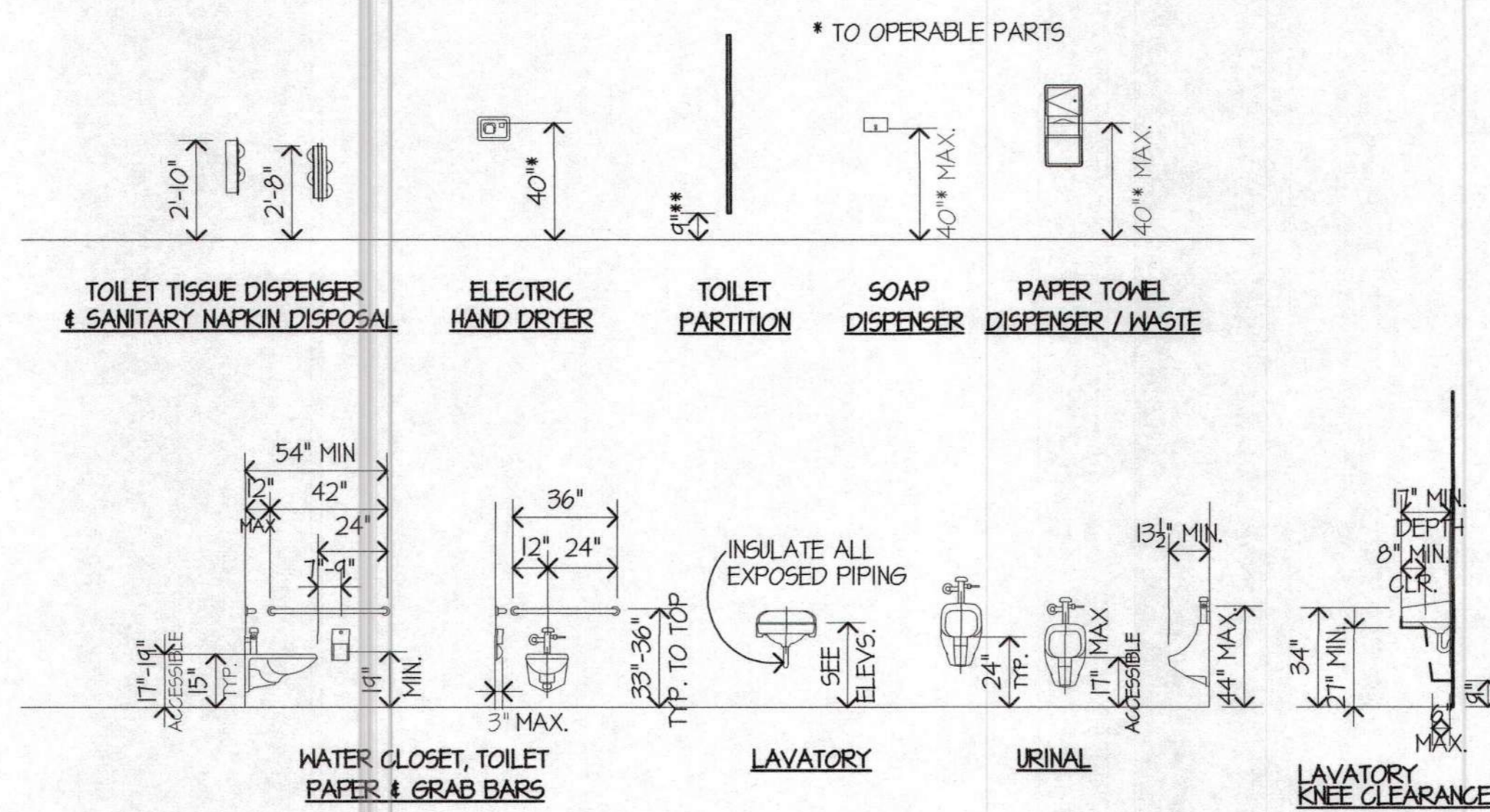
2



EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

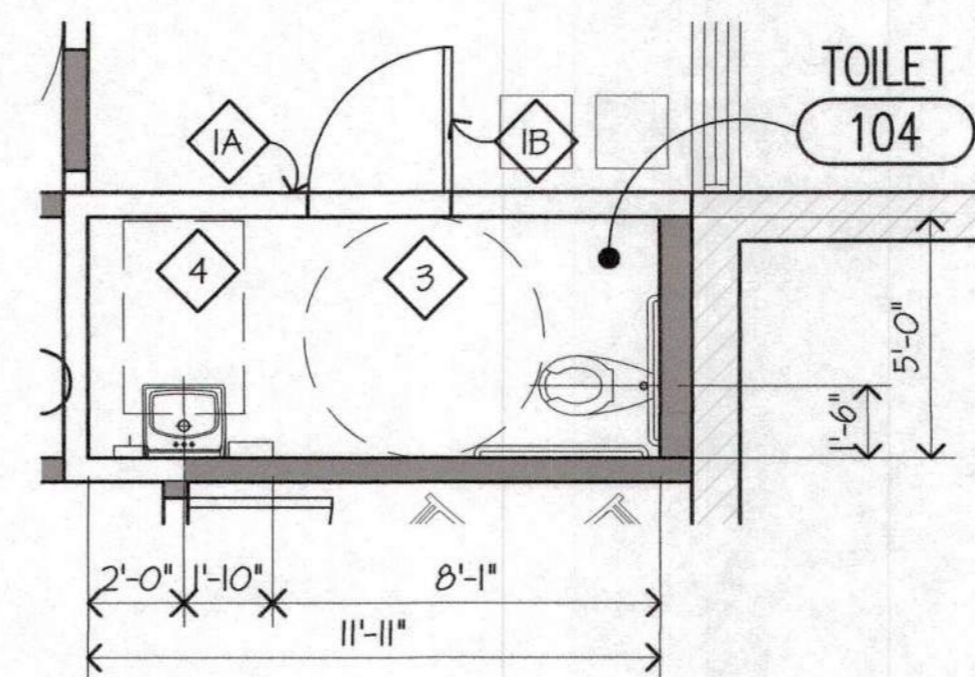
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TYPICAL MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0"

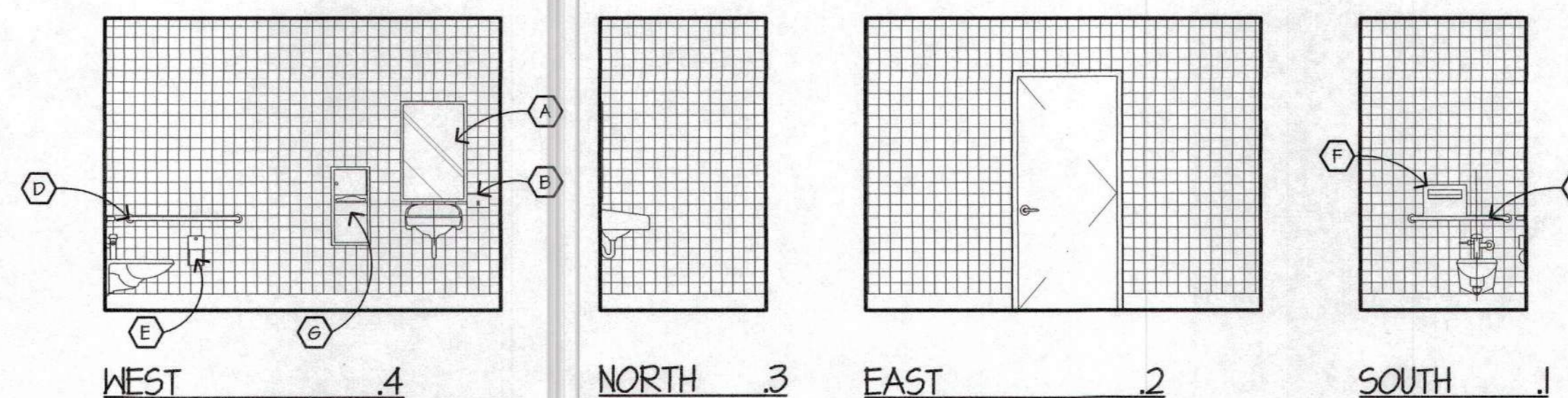
3



PARTIAL GROUND FLOOR RESTROOM PLAN

SCALE: 1/4" = 1'-0"

2



RESTROOM INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

1

GENERAL NOTES

- CLEAN & PREPARE ALL SURFACES, SCHEDULED TO BE COVERED, TO SUIT THE REQTS OF THE SPECIFIED ITEM.
- DOOR & WINDOW TYPES, SEE SHT. ATJ-A1.4.
- SEE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC FOR WALL MOUNTED ITEMS.
- ALL DIMENSIONS ARE TO FACE OF STUD AND CENTERLINE OF FIXTURE, U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH, TYP.
- ACCESSORY SCHED. & MTG. HTS. INDICATED ON SHEET A-A4.5 ARE TYPICAL FOR ALL INTERIOR ELEVATIONS.

KEYED NOTES

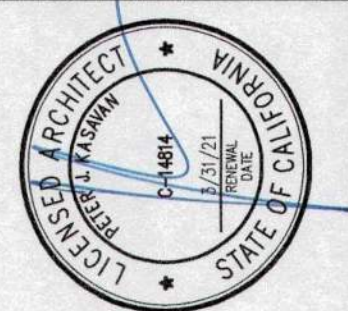
- 1 SIGNAGE, SEE DTL. 3/A6.3.
A. TOILET ROOM SIGN, TYPE 'B'
B. TOILET ROOM SIGN, TYPE 'C'
- 2 ELECTRICAL ITEMS, SEE ELECT. DWGS.
- 3 5'-0" DIA. TURN-AROUND, GRAPHIC
- 4 30"x48" CLR. AREA, GRAPHIC

LEGEND

- PAINTED GYPSUM WALLBOARD
- CERAMIC WALL TILE

RESTROOM ACCESSORY SCHEDULE

SYMBOL	DESCRIPTION	MOUNTING HEIGHT A.F.F.
A	MIRROR	SEE MOUNTING HTS.
B	SOAP DISPENSER - WALL MOUNT.	SEE MOUNTING HTS.
C	36" GRAB BAR	33" A.F.F. TO CENTER
D	42" GRAB BAR	33" A.F.F. TO CENTER
E	TOILET TISSUE DISPENSER - 3" MAX. PROJECTION FROM WALL	SEE MOUNTING HTS.
F	TOILET SEAT COVER DISPENSER	SEE MOUNTING HTS.
G	PAPER TOWEL DISPENSER AND WASTE RECEPTACLE	SEE MOUNTING HTS.



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REVISIONS:

PLAN CHECK 12/05/14

INTERIOR ELEVATIONS

SHEET NUMBER

A4.1

DATE: 10 OCT 2014

JT2J GADD

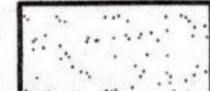

GENERAL NOTES

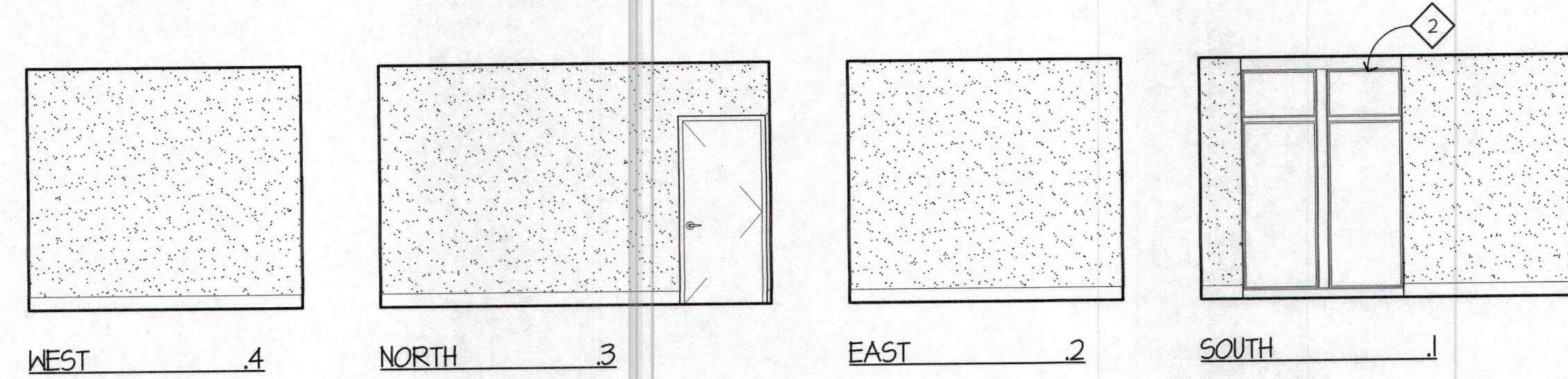
- EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
- CLEAN & PREPARE ALL SURFACES SCHEDULED TO BE COVERED TO SUIT THE REQ'TS OF THE (N) SPECIFIED ITEM.
- DOOR TYPES: SEE DOOR SCHEDULE AND I/AT.1
- SEE DTL. 2/A4.1 FOR FIXTURE MOUNTING HTS.
- FOR ADDITIONAL WORK THIS AREA, SEE STRUCTURAL, MP & ELECT. DWGS.

KEYED NOTES

- ① SIGNAGE, SEE DTL. I/A6.3
A. ROOM ID SIGN, TYPE 'F'
B. EXIT SIGN, TYPE 'G'
C. EXIT ROUTE SIGN, TYPE 'H'
D. ILLUMINATED EXIT SIGN, TYPE 'N'
- ② EXISTING WINDOW TO REMAIN
- ③ EXPOSED DUCTWORK, PAINTED, SEE MECH.
- ④ LIGHT FIXTURE, SEE ELEC.

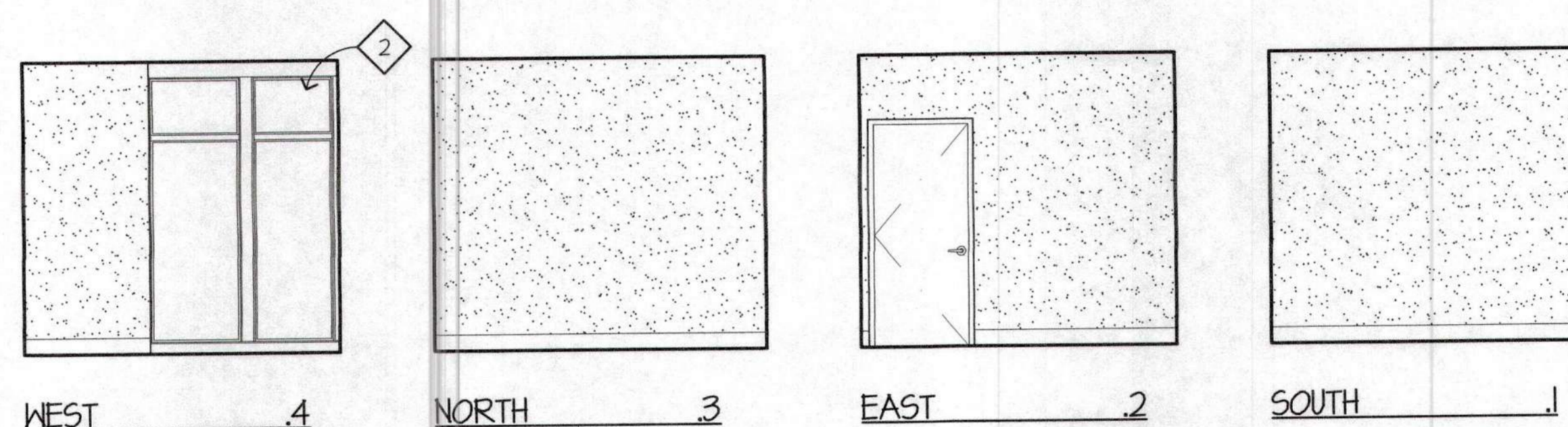
LEGEND

-  PAINTED GYPSUM WALLBOARD
-  CERAMIC WALL TILE



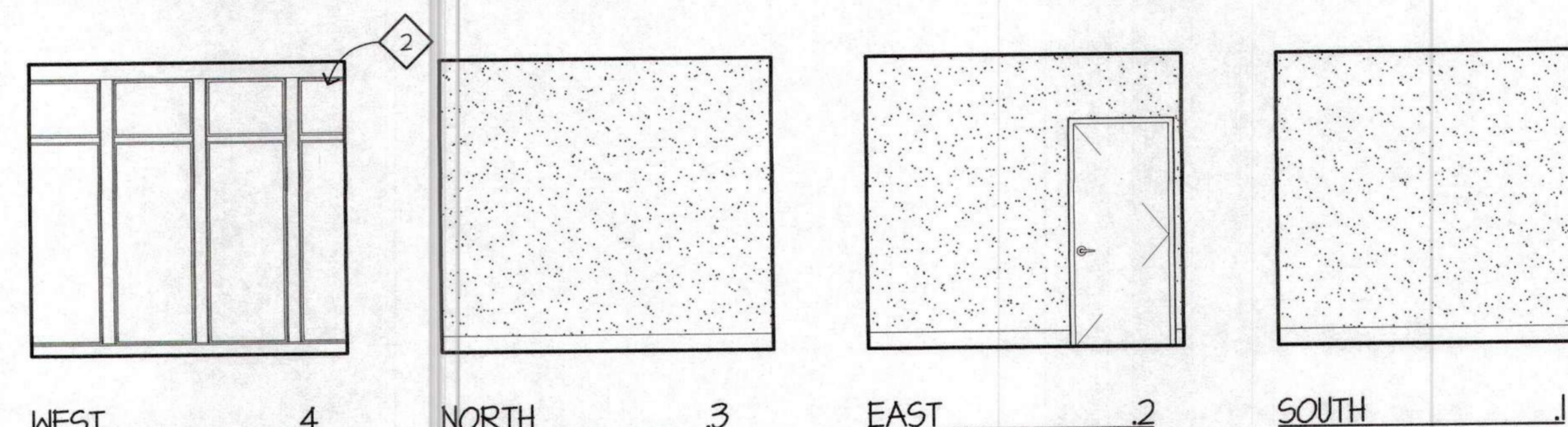
CHIEF 103
SCALE: 1/4" = 1'-0"

4



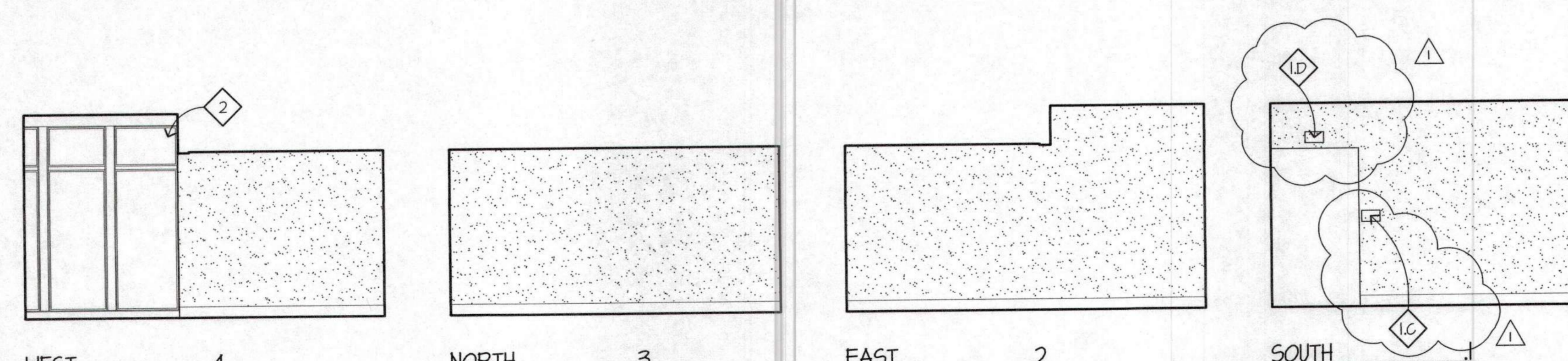
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SCALE: 1/4" = 1'-0"

3



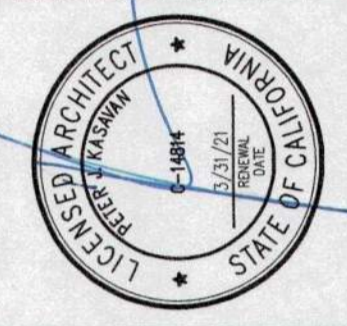
OFFICE 101
SCALE: 1/4" = 1'-0"

2



OPEN OFFICE 100
SCALE: 1/4" = 1'-0"

1



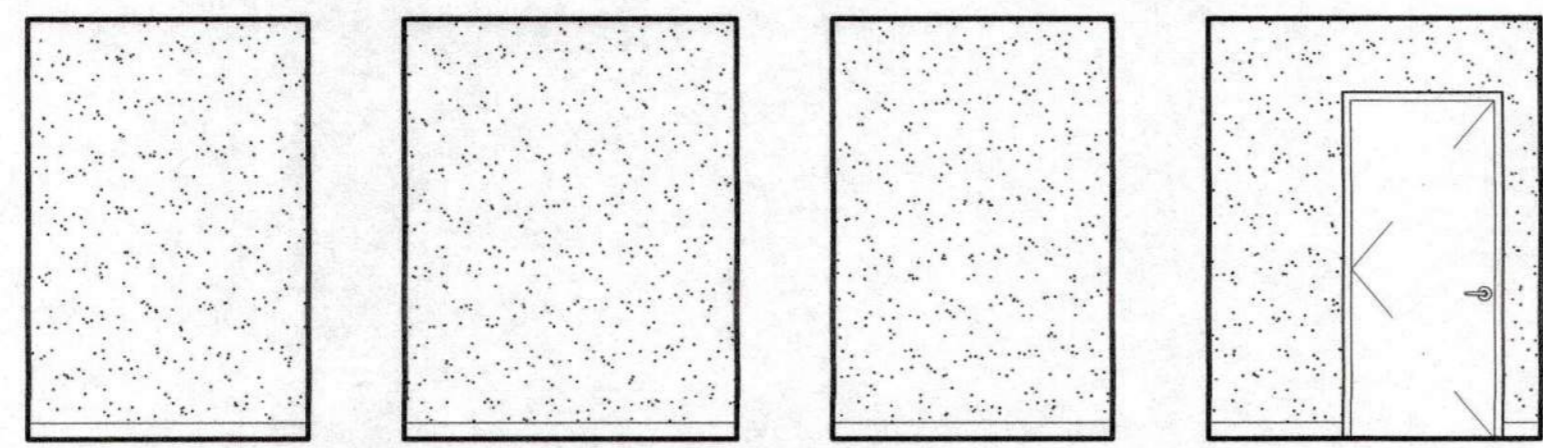
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REVISIONS:
△ PLAN CHECK 12/05/14

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
A.T.
JUNIPERO AVE AND 4TH AVE.
CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER
A4.2

DATE: 18 OCT 2014
JOB: 1712J
DRAWN: GADD

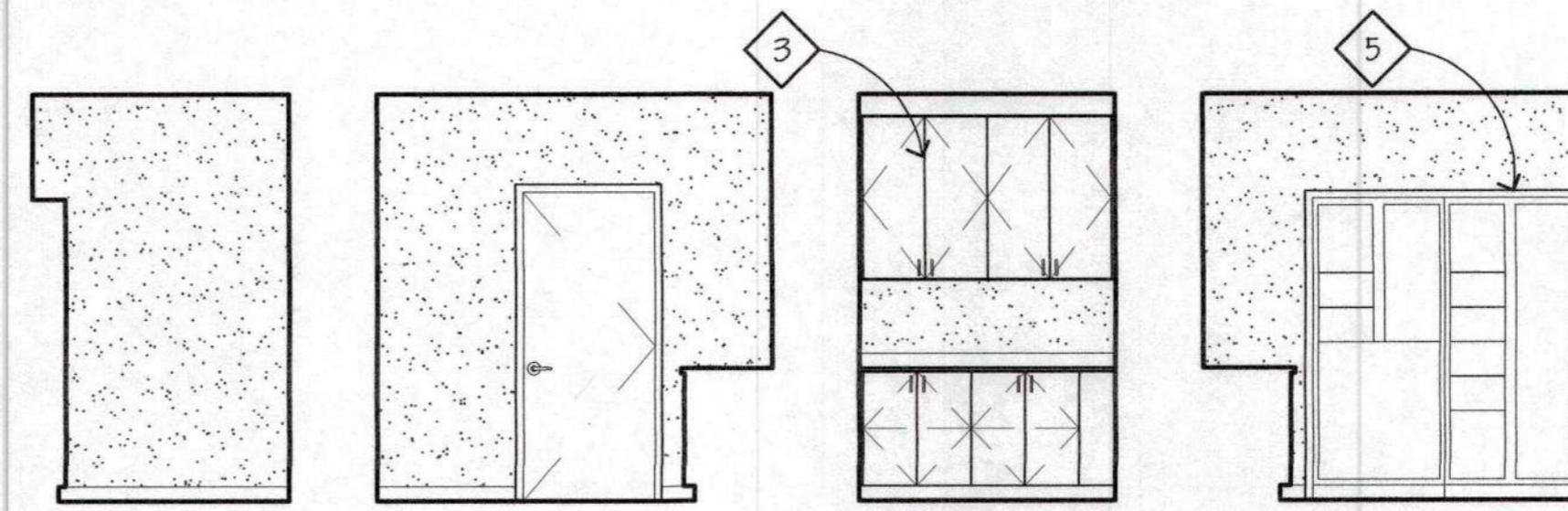


WEST .4 NORTH .3 EAST .2 SOUTH .1

CLOSET 116

SCALE: 1/4"=1'-0"

5

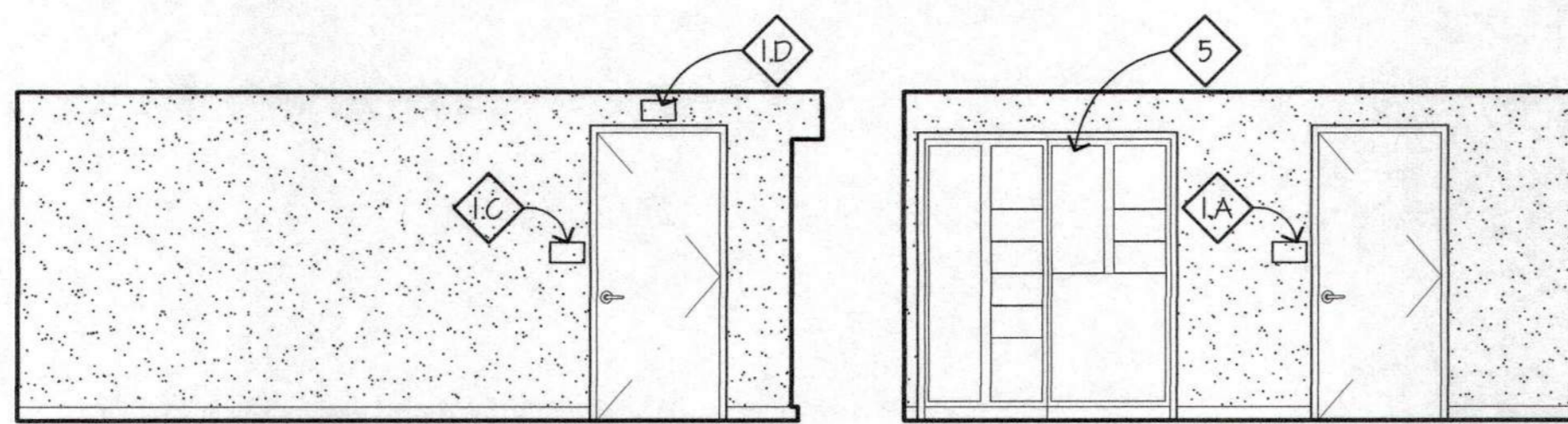


WEST .4 NORTH .3 EAST .2 SOUTH .1

EVIDENCE 115

SCALE: 1/4"=1'-0"

4

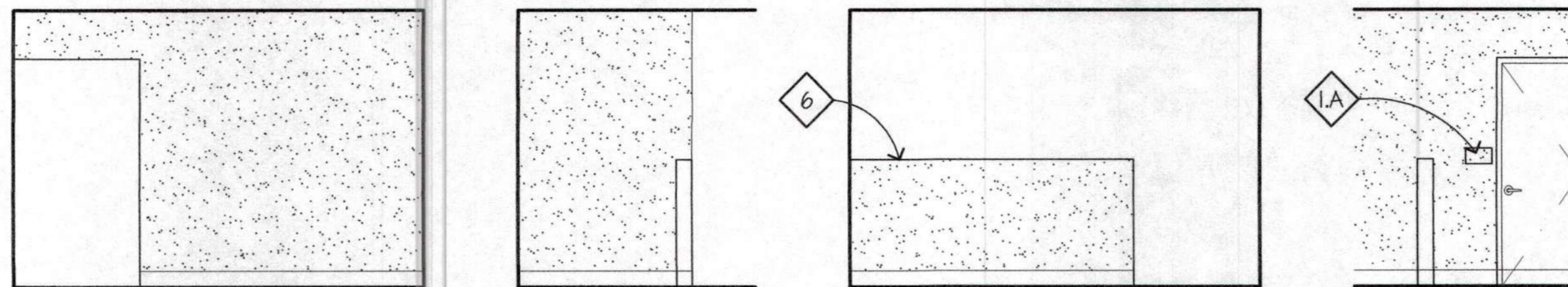


WEST .4 NORTH .3

PROPERTY ROOM 114

SCALE: 1/4"=1'-0"

3

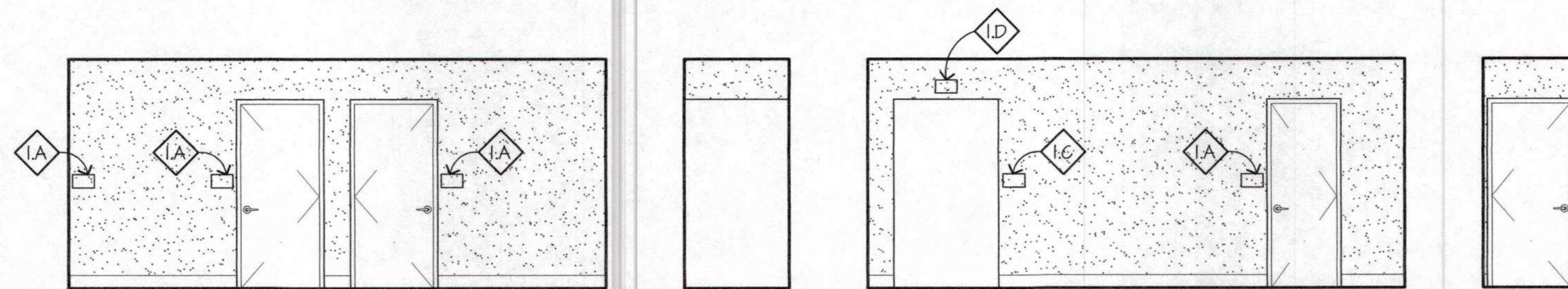


WEST .4 NORTH .3 EAST .2 SOUTH .1

COPY 108

SCALE: 1/4"=1'-0"

2



WEST .4 NORTH .3 EAST .2 SOUTH .1

CORRIDOR 106

SCALE: 1/4"=1'-0"

1

GENERAL NOTES

1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
2. CLEAN & PREPARE ALL SURFACES SCHEDULED TO BE COVERED TO SUIT THE REQ'TS OF THE (N) SPECIFIED ITEM.
3. DOOR TYPES: SEE DOOR SCHEDULE AND I/A.1
4. SEE DTL. 2/A.4 FOR FIXTURE MOUNTING HTS.
5. FOR ADDITIONAL WORK THIS AREA, SEE STRUCTURAL, MP & ELECT. DWGS.

KEYED NOTES

- 1 SIGNAGE, SEE DTL. I/A6.3
- A. ROOM ID SIGN, TYPE 'F'
- B. EXIT SIGN, TYPE 'G'
- C. EXIT ROUTE SIGN, TYPE 'H'
- D. ILLUMINATED EXIT SIGN, TYPE 'N'
- 2 EXISTING WINDOW TO REMAIN
- 3 NEW CASEWORK
- 4 LIGHT FIXTURE, SEE ELEC.
- 5 EVIDENCE LOCKERS. SEE DTL. I/A6.4.
- 6 NEW PARTIAL HEIGHT WALL

LEGEND

- PAINTED GYPSUM WALLBOARD
- CERAMIC WALL TILE

CONSULTANTS

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REVISIONS:

PLAN CHECK
12/03/14

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
AT:
JUNIPERO AVE AND 4TH AVE.
CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER

A4.3

DATE: 10 OCT 2014

JOB DRAWN
1721 CADD

INTERIOR ELEVATIONS

KASAVAN ARCHITECTS
60 W. Market St., Suite 300
Voice 831.424.2232
Salinas, California 93901
Fax 831.424.2501



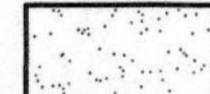
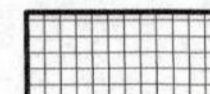
GENERAL NOTES

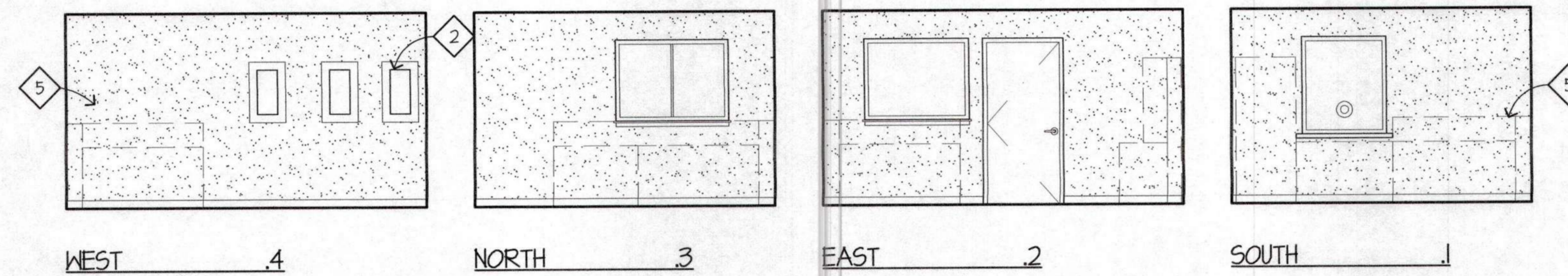
- EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
- CLEAN & PREPARE ALL SURFACES SCHEDULED TO BE COVERED TO SUIT THE REQ'TS OF THE (N) SPECIFIED ITEM.
- DOOR TYPES: SEE DOOR SCHEDULE AND I/A.1
- SEE DTL. 2/A4.1 FOR FIXTURE MOUNTING HTS.
- FOR ADDITIONAL WORK THIS AREA, SEE STRUCTURAL, MP & ELECT. DWGS.

KEYED NOTES

- 1 SIGNAGE, SEE DTL. I/A6.3
A. ROOM ID SIGN, TYPE 'F'
B. EXIT SIGN, TYPE 'G'
C. EXIT ROUTE SIGN, TYPE 'H'
D. ILLUMINATED EXIT SIGN, TYPE 'N'
E. RESTROOM SIGN, TYPE 'B'
F. RESTROOM SIGN, TYPE 'C'
- 2 EXISTING ELECTRICAL PANEL, SEE ELECTRICAL
- 3 EXPOSED DUCTWORK, PAINTED, SEE MECH.
- 4 LIGHT FIXTURE, SEE ELEC.
- 5 OWNER PROVIDED FURNITURE

LEGEND

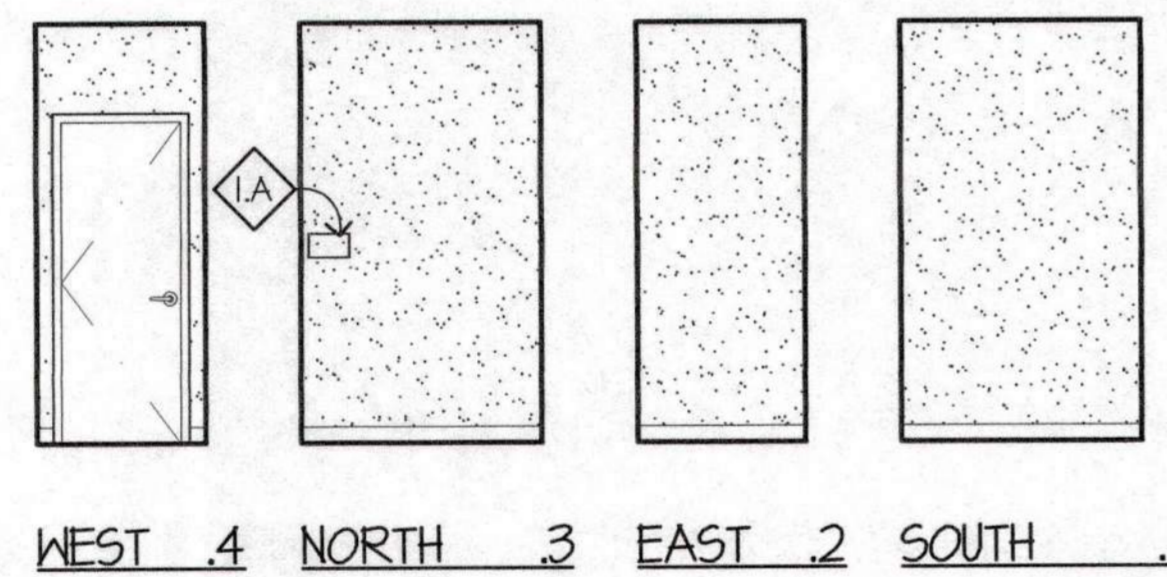
-  PAINTED GYPSUM WALLBOARD
-  CERAMIC WALL TILE



DISPATCH INTERIOR ELEVATION

SCALE: 1/4"=1'-0"

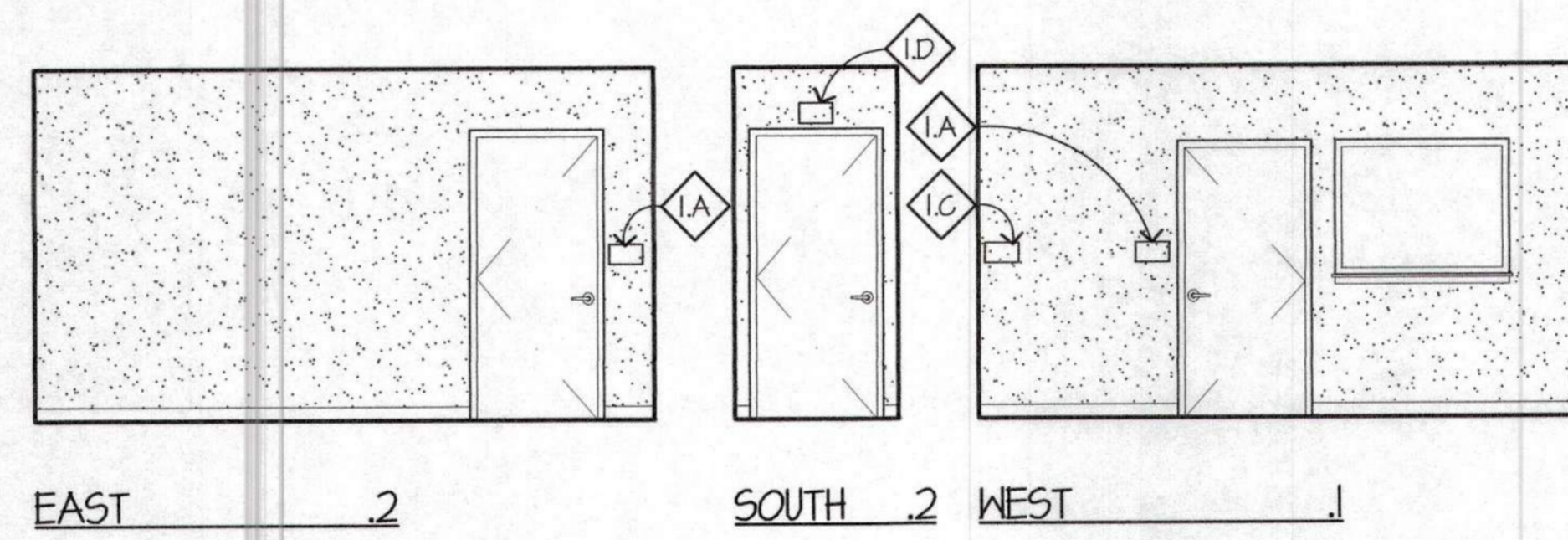
4



A/V INTERIOR ELEVATION

SCALE: 1/4"=1'-0"

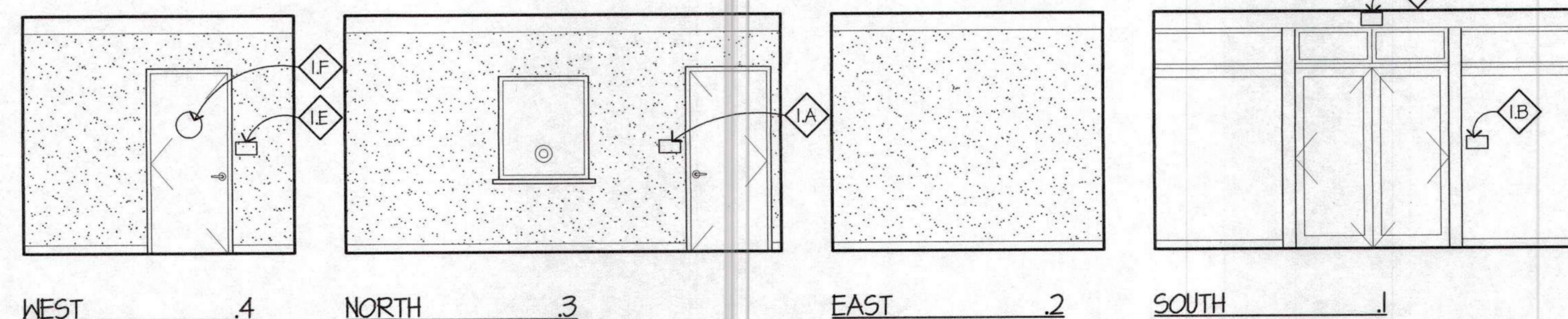
3



CORRIDOR INTERIOR ELEVATION

SCALE: 1/4"=1'-0"

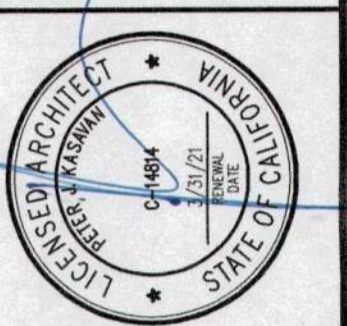
2



LOBBY INTERIOR ELEVATION

SCALE: 1/4"=1'-0"

1



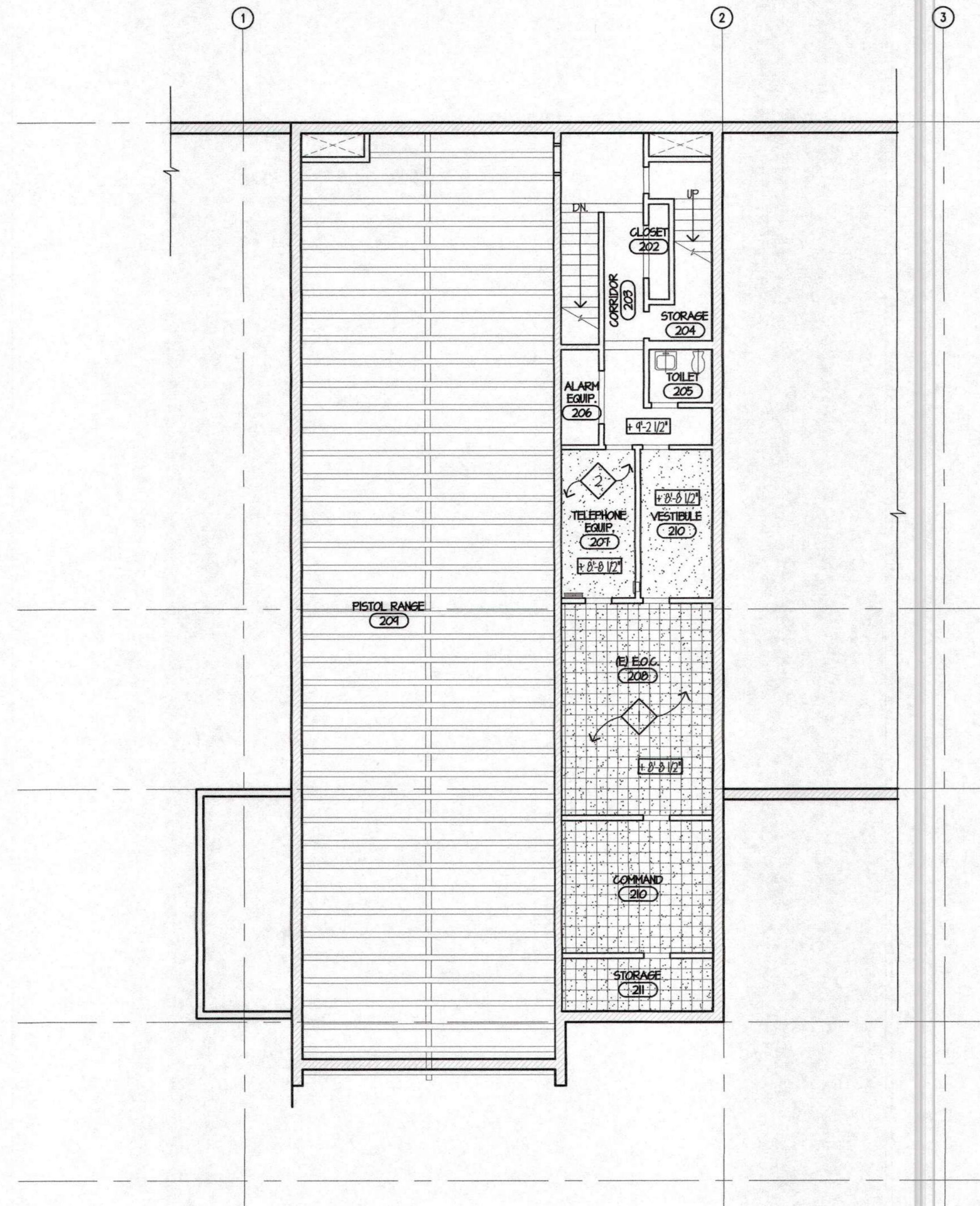
CONSULTANTS

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REVISIONS:
1 PLAN CHECK 12/05/14

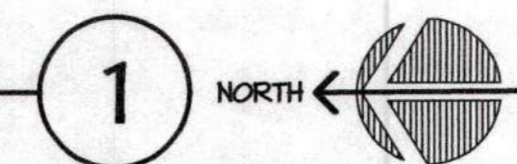
RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
AT:
JUNIPERO AVE AND 4TH AVE.
CARMEL-BY-THE-SEA, CA 93923

INTERIOR ELEVATIONS
SHEET NUMBER
A4.4
DATE: 10 OCT 2014
JOB: T112J DRAWN: CADD



REFLECTED CEILING PLAN BASEMENT

SCALE: 1/8"=1'-0"
 0 2 4 8 12 20 FEET



GENERAL NOTES

- SEE SHTS INDICATED & STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. FOR COMPLETE SCOPE OF WORK.
- EXPOSED PIPING, CONDUIT OR OTHER CONSTRUCTION NOT SPECIFICALLY SHOWN. CONTRACTOR SHALL COORDINATE LAYOUT & LOCATION OF PIPING W/ ALL TRADES & VERIFY W/ ARCHITECT PRIOR TO INSTALL.
- AT ROOMS WITH NO WORK TO BE DONE, EXISTING LIGHTING AND MECHANICAL TO REMAIN.
- CASEWORK, PLUMBING FIXTURES AND FURNITURE BELOW SHOWN GRAY FOR REFERENCE.

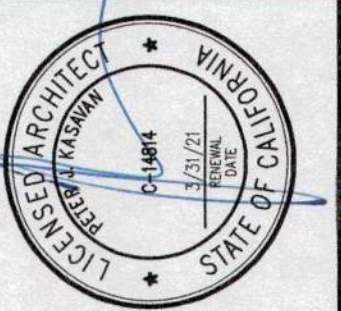
KEYED NOTES

- 1 HAZMAT ABATEMENT, SEE REPORT AND SPEC. THIS AREA TO OCCUR IN PHASE 3, SEE SHT. A1.4.
- 2 SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS, ETC. FOR COMPLETE SCOPE

LEGEND

- (E) GYP. BOARD - PATCH AND PAINT AS REQ'D.
- (E) SUSP. ACOUSTICAL PANEL (T-BAR)
- (E) ACOUSTICAL TILE O/ GYP. BOARD
- (E) EXPOSED CONC. DECK
- + 9'-0" CEILING HT.

KASAVAN ARCHITECTS
 60 W. Market St., Suite 300
 Salinas, California 93901
 Voice 831.424.2232 Fax 831.424.2501



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REVISIONS:

1 PLAN CHECK 12/05/14

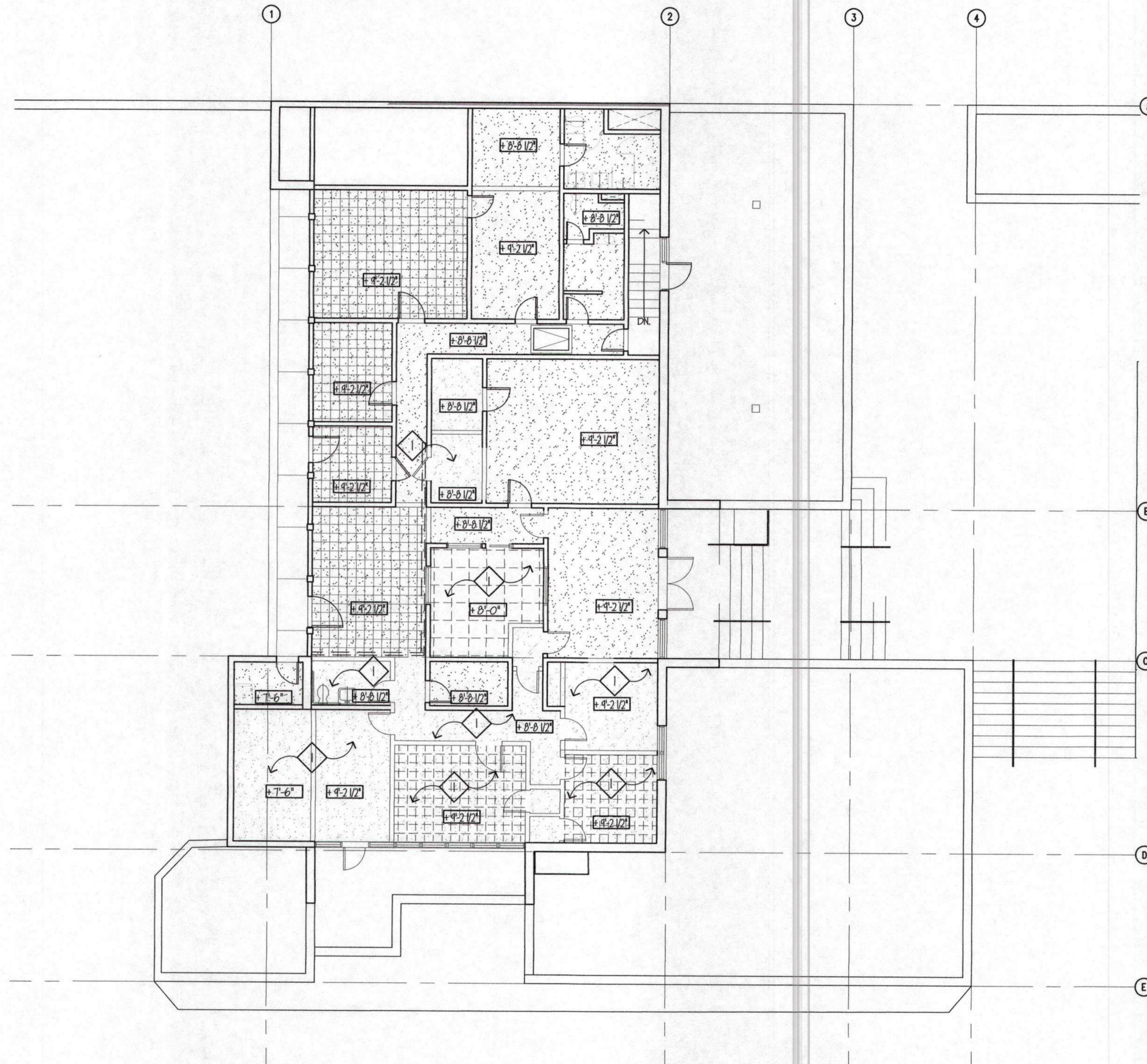
RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
 AT:
 JUNIPERO AVE. AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
REFLECTED CEILING PLAN BASEMENT

SHEET NUMBER

A4.10

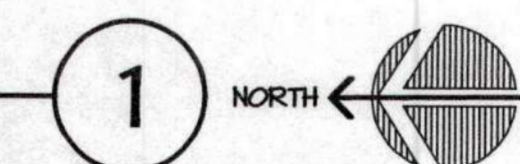
DATE: 10 OCT 2014

JOB DRAWN
 IT12J CADD



REFLECTED CEILING PLAN UPPER FLOOR

SCALE: 1/8" = 1'-0"
 0 2 4 8 12 20 FEET



GENERAL NOTES

- SEE SHTS INDICATED & STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. FOR COMPLETE SCOPE OF WORK.
- EXPOSED PIPING, CONDUIT OR OTHER CONSTRUCTION NOT SPECIFICALLY SHOWN; CONTRACTOR SHALL COORDINATE LAYOUT & LOCATION OF PIPING W/ ALL TRADES & VERIFY W/ ARCHITECT PRIOR TO INSTALL.
- AT ROOMS WITH NO WORK TO BE DONE, EXISTING LIGHTING AND MECHANICAL TO REMAIN.
- CASEWORK, PLUMBING FIXTURES AND FURNITURE BELOW SHOWN GRAY FOR REFERENCE.

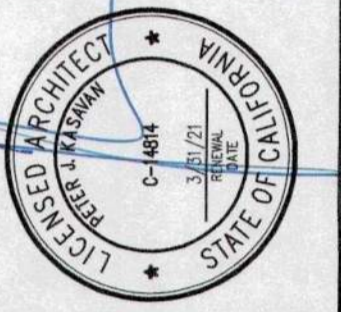
KEYED NOTES

- REMOVE (E) CEILING WHERE INDICATED

LEGEND

- CEILING TO BE REMOVED
- (E) ACOUSTICAL TILE O/ GYP. BOARD
- CEILING HT.

KASAVAN ARCHITECTS
 60 W. Market St., Suite 300
 Salinas, California 93901
 Voice 831.424.2232 Fax 831.424.2501



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REVISIONS:

PLAN CHECK
12/05/14

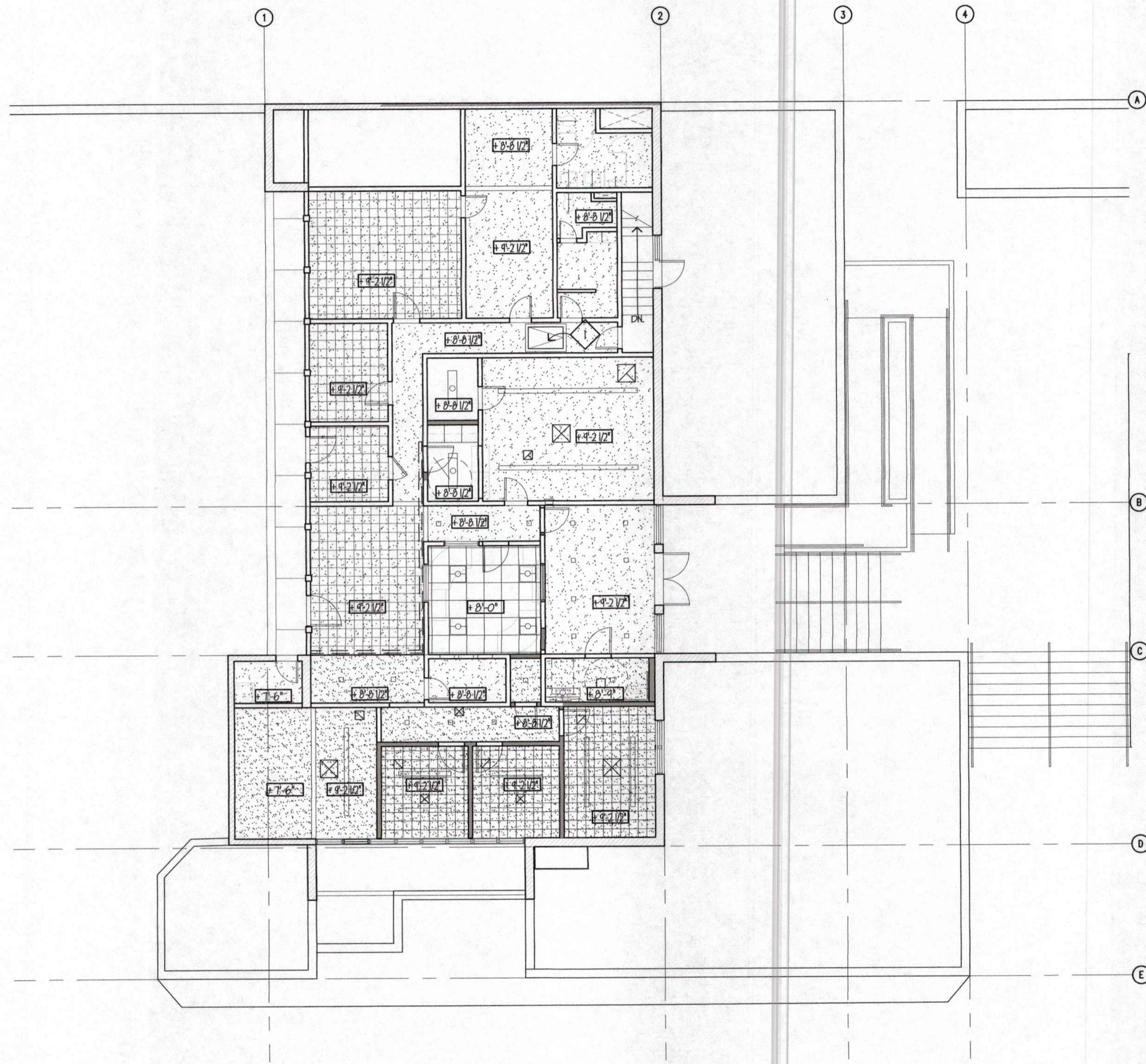
RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL - BY-THE-SEA
POLICE DEPARTMENT
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923
DEMO RCP UPPER FLOOR

SHEET NUMBER

A4.11

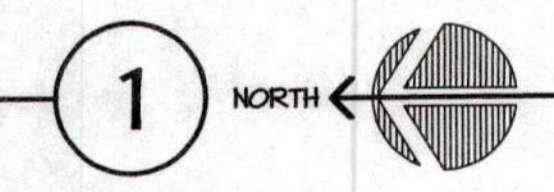
DATE: 10 OCT 2014

JOB: ITI2J DRAWN: GADD



REFLECTED CEILING PLAN UPPER FLOOR

SCALE: 1/8" = 1'-0"
 0 2 4 8 12 20 FEET



GENERAL NOTES

- SEE SHTS INDICATED & STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. FOR COMPLETE SCOPE OF WORK.
- EXPOSED PIPING, CONDUIT OR OTHER CONSTRUCTION NOT SPECIFICALLY SHOWN: CONTRACTOR SHALL COORDINATE LAYOUT & LOCATION OF PIPING W/ ALL TRADES & VERIFY W/ ARCHITECT PRIOR TO INSTALL.
- AT ROOMS WITH NO WORK TO BE DONE, EXISTING LIGHTING AND MECHANICAL TO REMAIN.
- CASEWORK, PLUMBING FIXTURES AND FURNITURE BELOW SHOWN GRAY FOR REFERENCE.

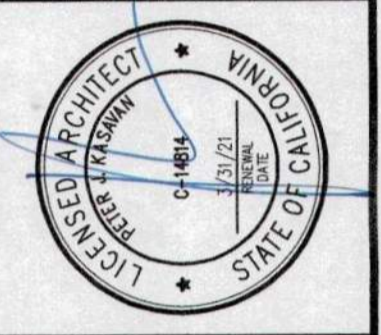
KEYED NOTES

- EXISTING ROOF ACCESS TO REMAIN

LEGEND

- GYP. BOARD - PAINT
- HVAC REGISTER, SEE MECH. DWGS.
- SUSP. ACOUSTICAL PANEL (T-BAR)
- LIGHT FIXTURE, SEE ELECT. DWGS.
- (E) ACOUSTICAL TILE O/ GYP. BOARD
- CEILING HT.

KASAVAN ARCHITECTS
 60 W. Market St., Suite 300
 Sausalito, California 94965
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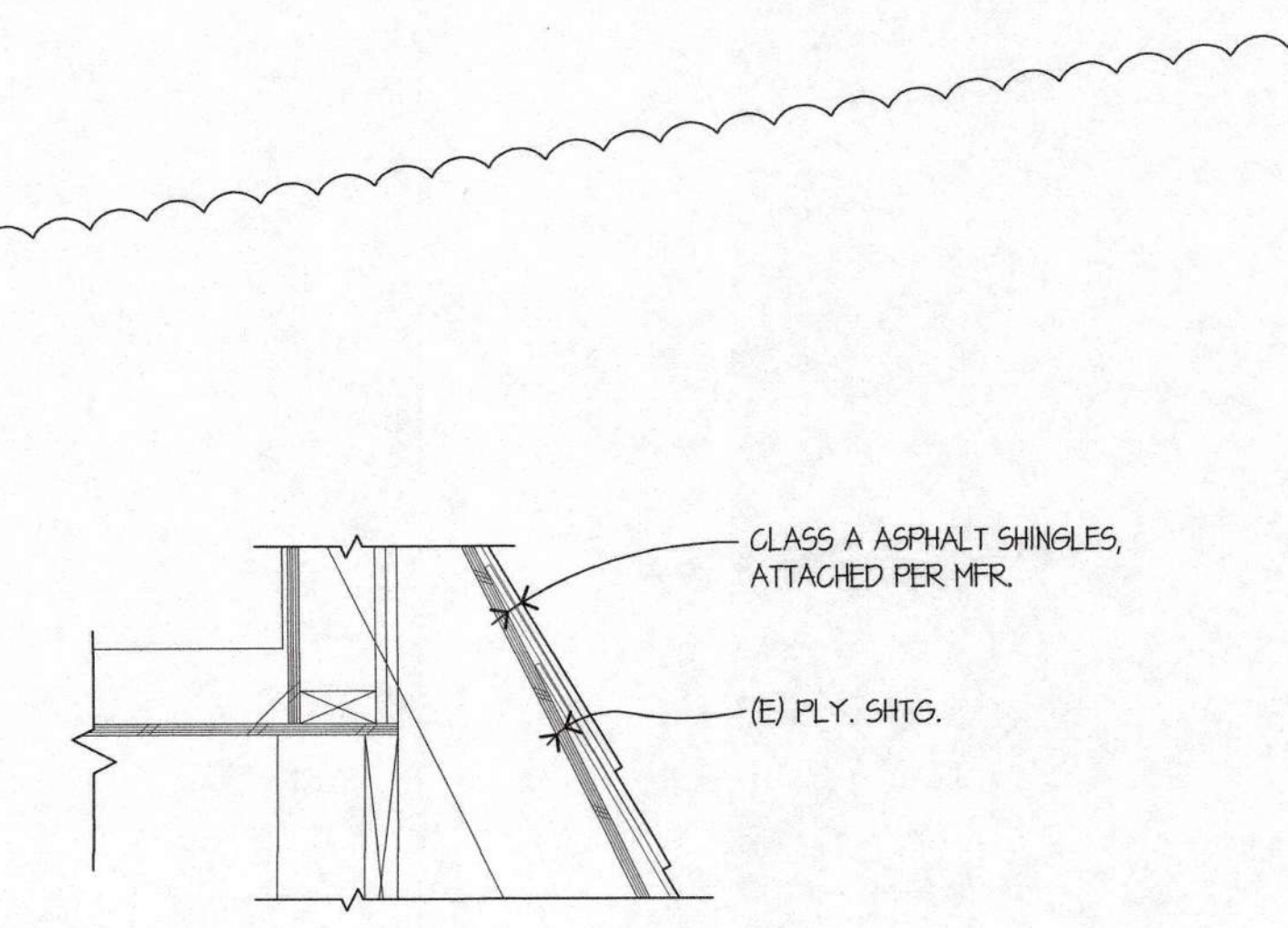
REVISIONS:

PLAN CHECK	12/05/14
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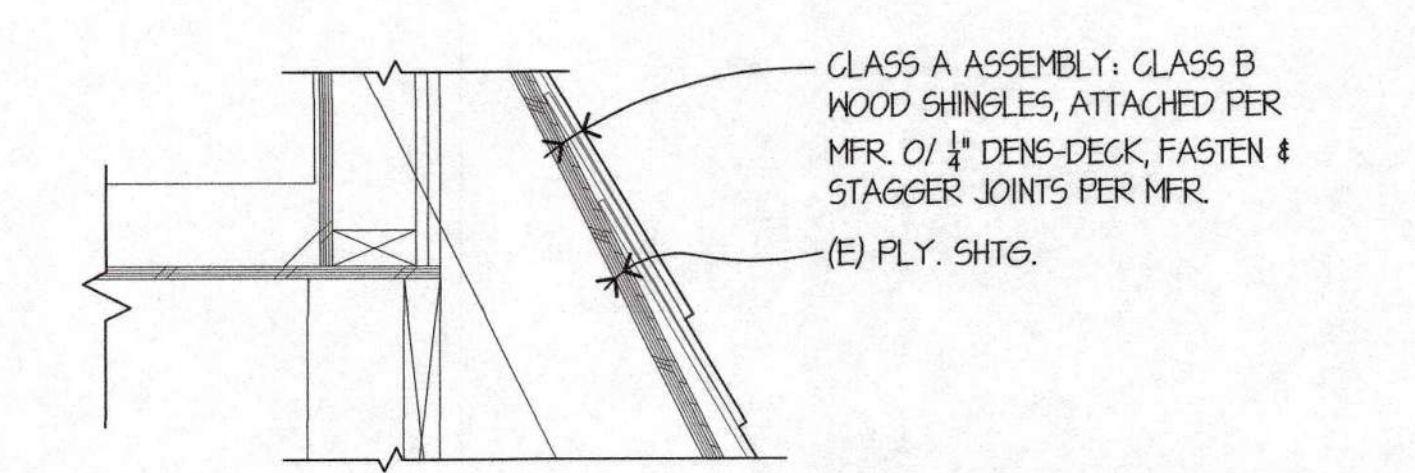
RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923

PROPOSED RCP UPPER FLOOR

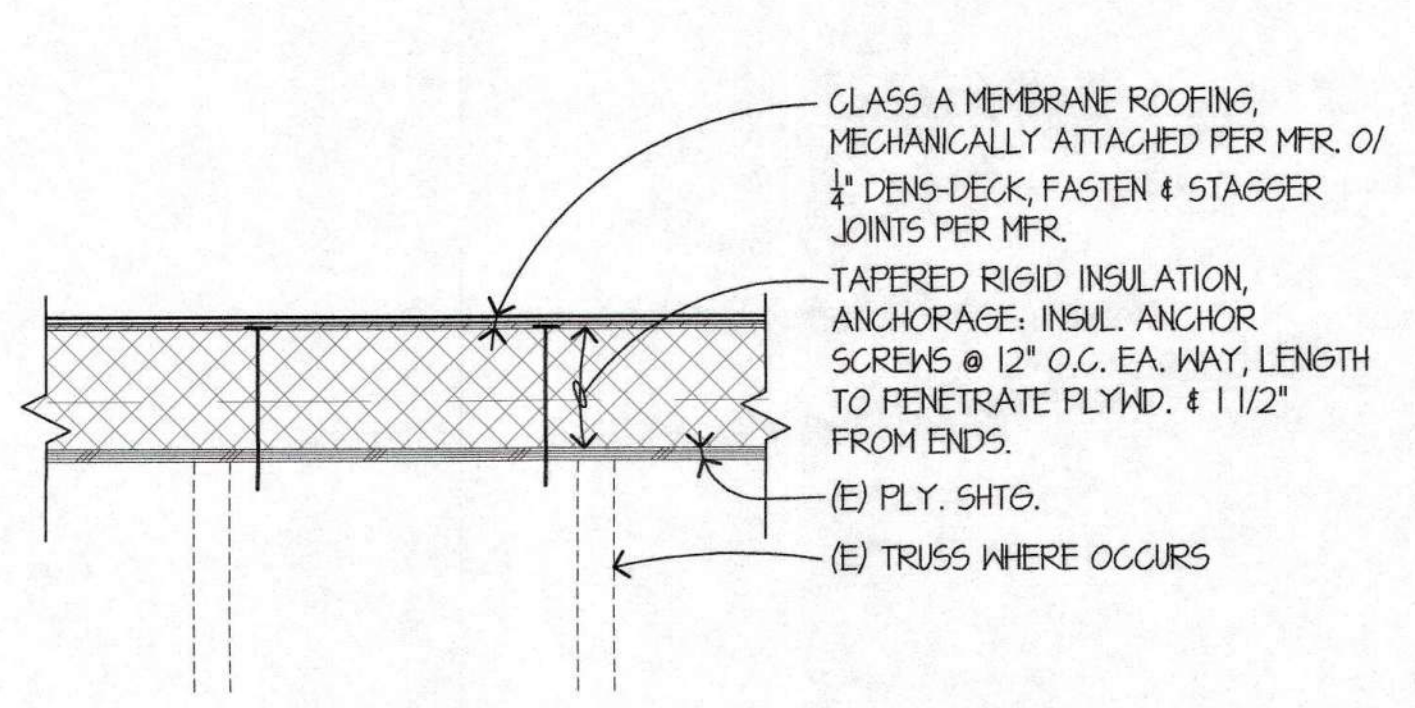
SHEET NUMBER
A4.11a
 DATE: 10 OCT 2014
 JOB: 1112J DRAWN: CADD



TYPE 2A - ASPHALT SHINGLE MANSARD .3
DEDUCT ALT. #2

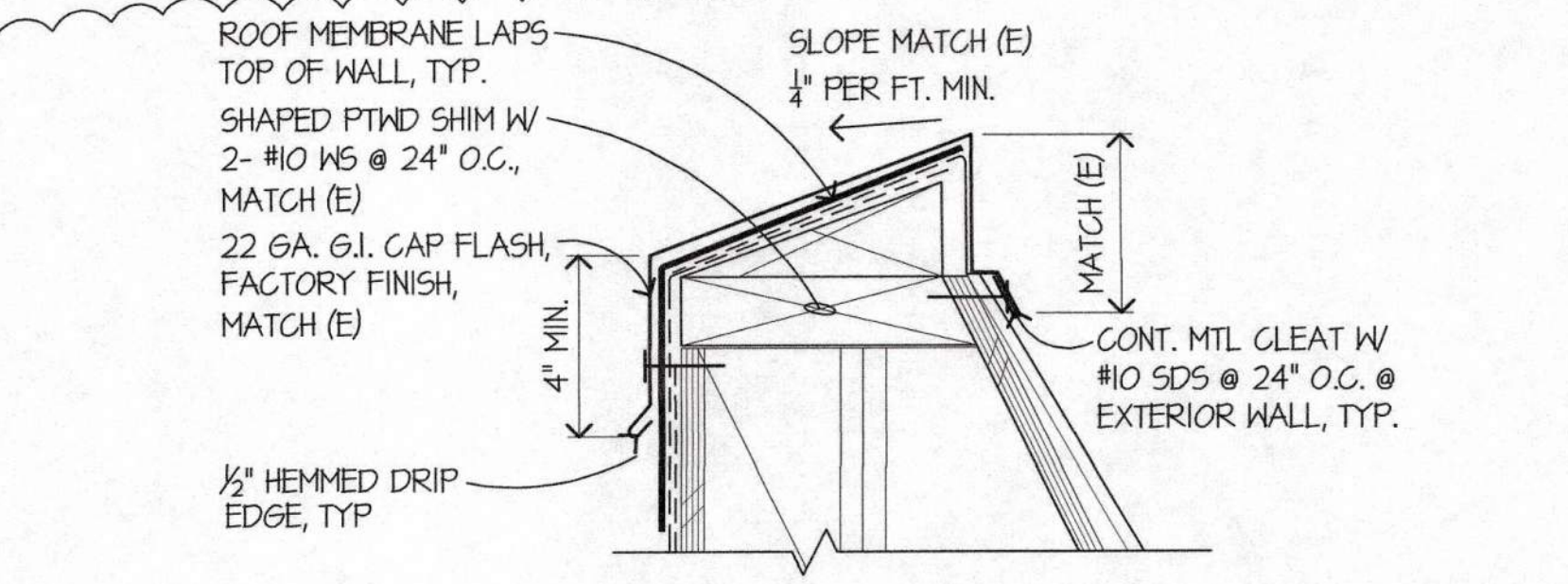


TYPE 2 - WOOD SHINGLE MANSARD .2

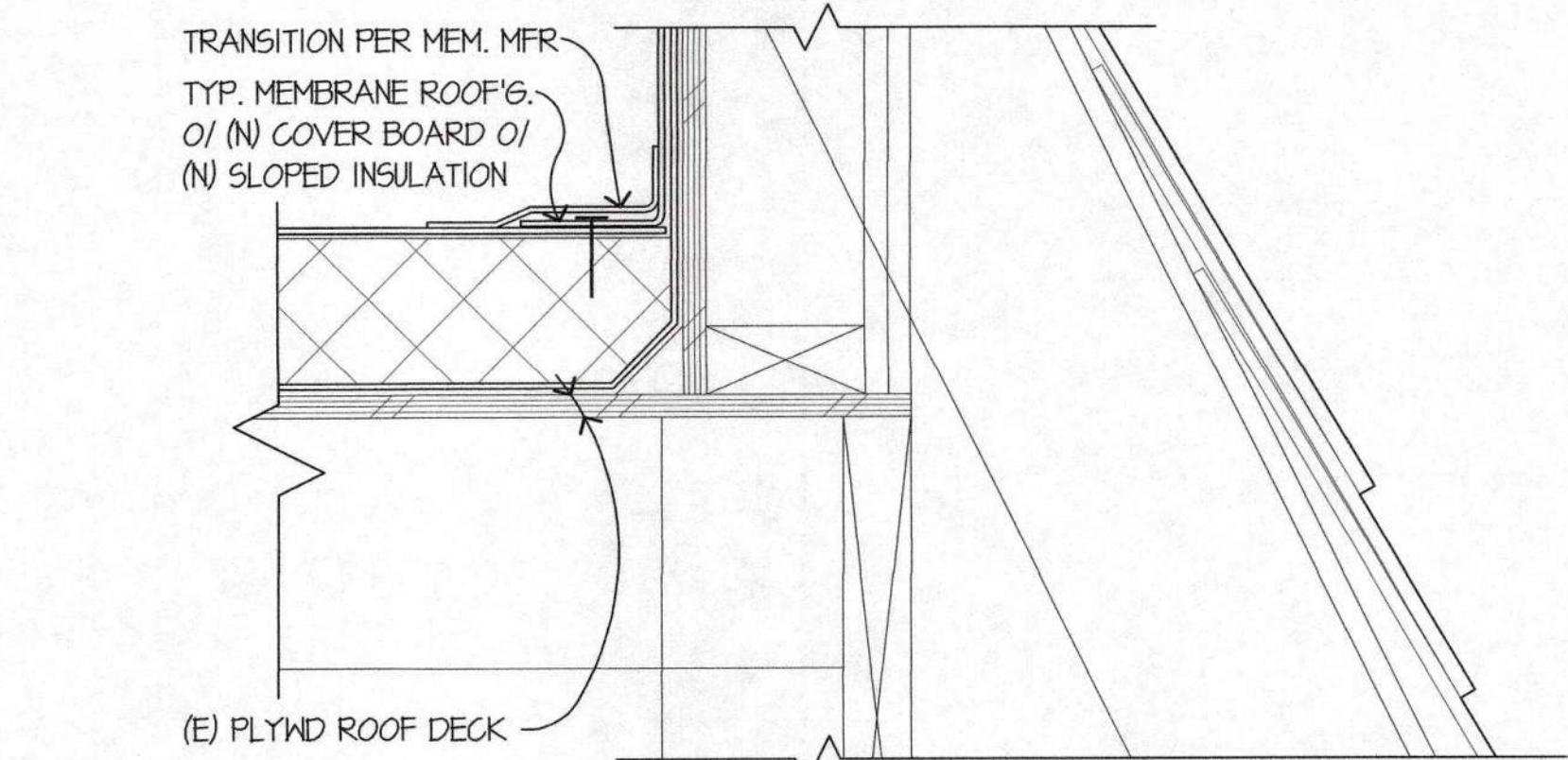


TYPE 1 - MEMBRANE O/ PLYWD DECK .1

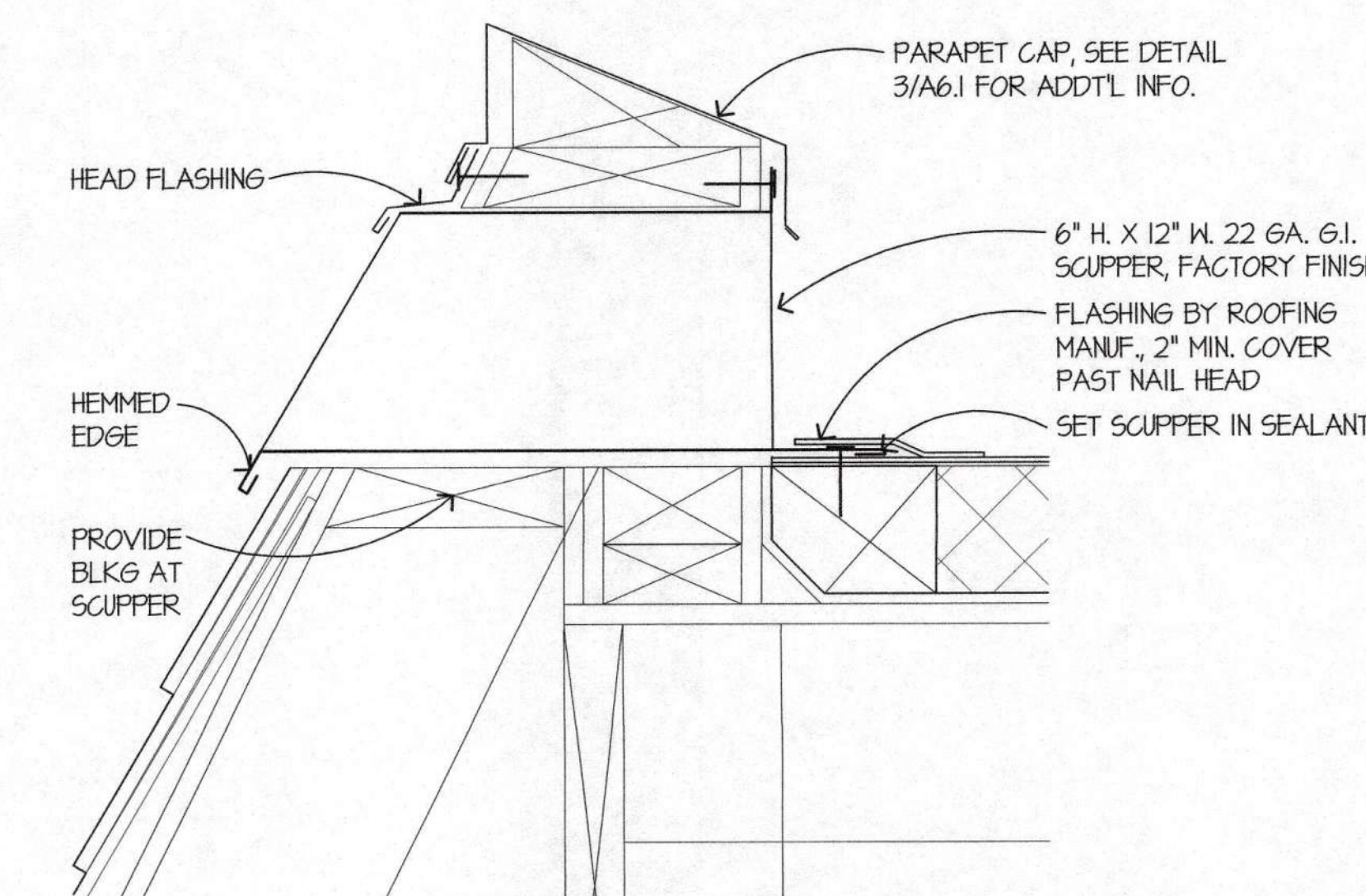
ROOF TYPES
SCALE: 1 1/2" = 1'-0"



TYP. PARAPET CAP @ EXISTING .2



PARAPET AT MANSARD
SCALE: 3" = 1'-0"



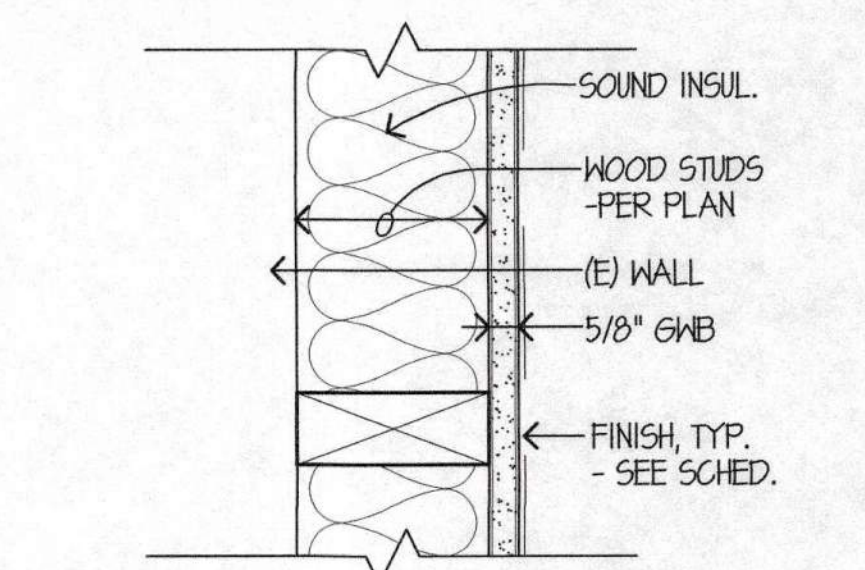
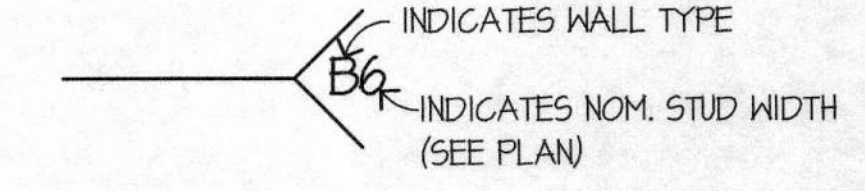
OVERFLOW SCUPPER
SCALE: 3" = 1'-0"

WALL TYPES
SCALE: 3" = 1'-0"

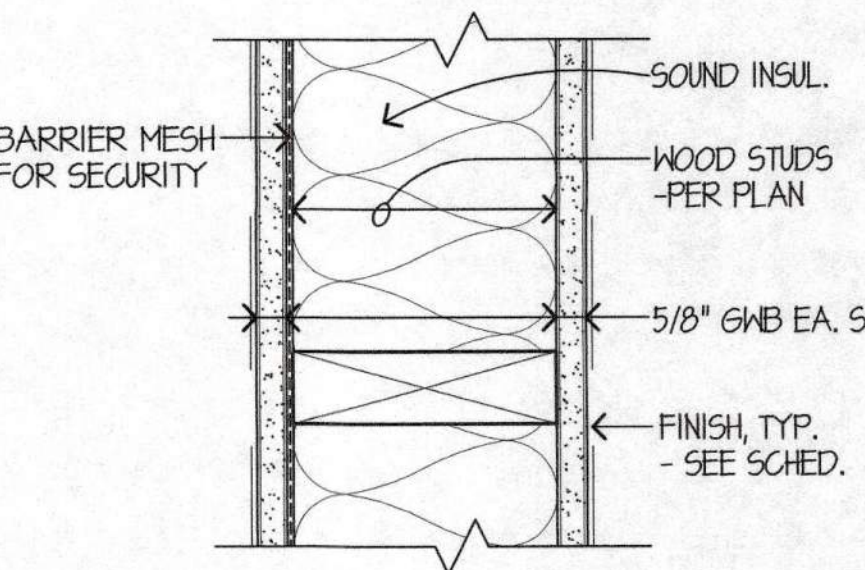
WALL TYPES NOTES

- ALL STUD SPACING IS 16" O.C. U.O.N.
- STAGGER GYP BD. JOINTS, TYP. @ MULTIPLE LAYERS.
- ACOUSTIC / SOUND CONTROL:
ALL CONSTRUCTION SHALL MEET THE SOUND ISOLATION & NOISE CONTROL REQ'TS DESCRIBED IN THE SPECS, SHTS A6.4, A6.5 & PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM DWGS.
- FOR TYP. METAL FRAMING DETAILS & NOTES SEE STRUC. SHT 51.5
- FOR IHR RATED WALL TYPES SEE DTL 2/A6.5.
- FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS, SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL:
 - BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES
 - BE LOCATED WITHIN 15-FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30-FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION
 - INCLUDE LETTERING NOT LESS THAN 3-INCHES IN HEIGHT WITH A MINIMUM STROKE OF 3/8-INCH, INCORPORATING THE SUGGESTED WORDING: FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS.

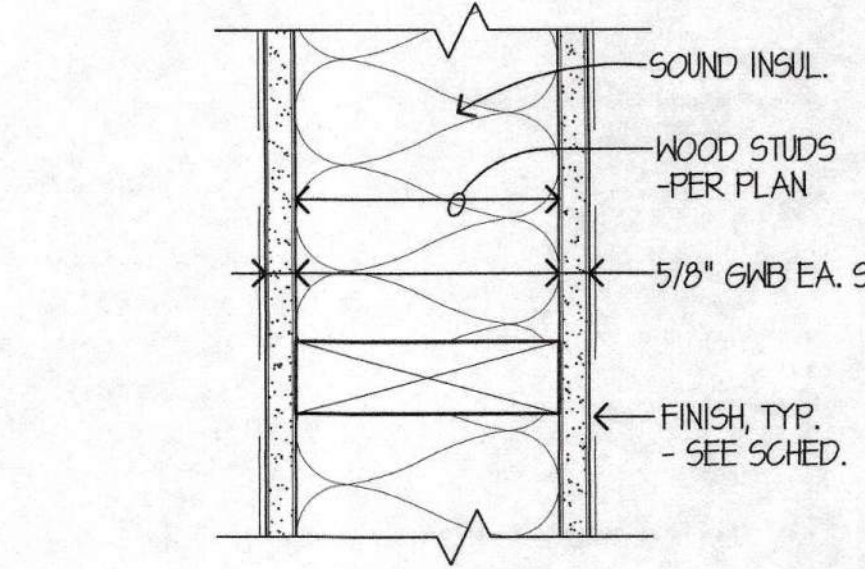
LEGEND



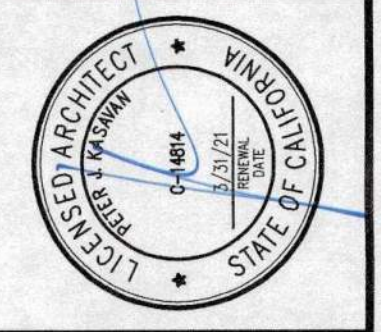
INT. FURRED WALL



INT. WOOD STUD W/ SECURITY



INT. WOOD STUD



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REVISIONS:
PLAN CHECK 12/05/11

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
AT:
JUNIPERO AVE AND 4TH AVE.
CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER
A6.1
DATE: 10 OCT 2014
JOB: IT21 DRAWN: GADD



CONSULTANTS

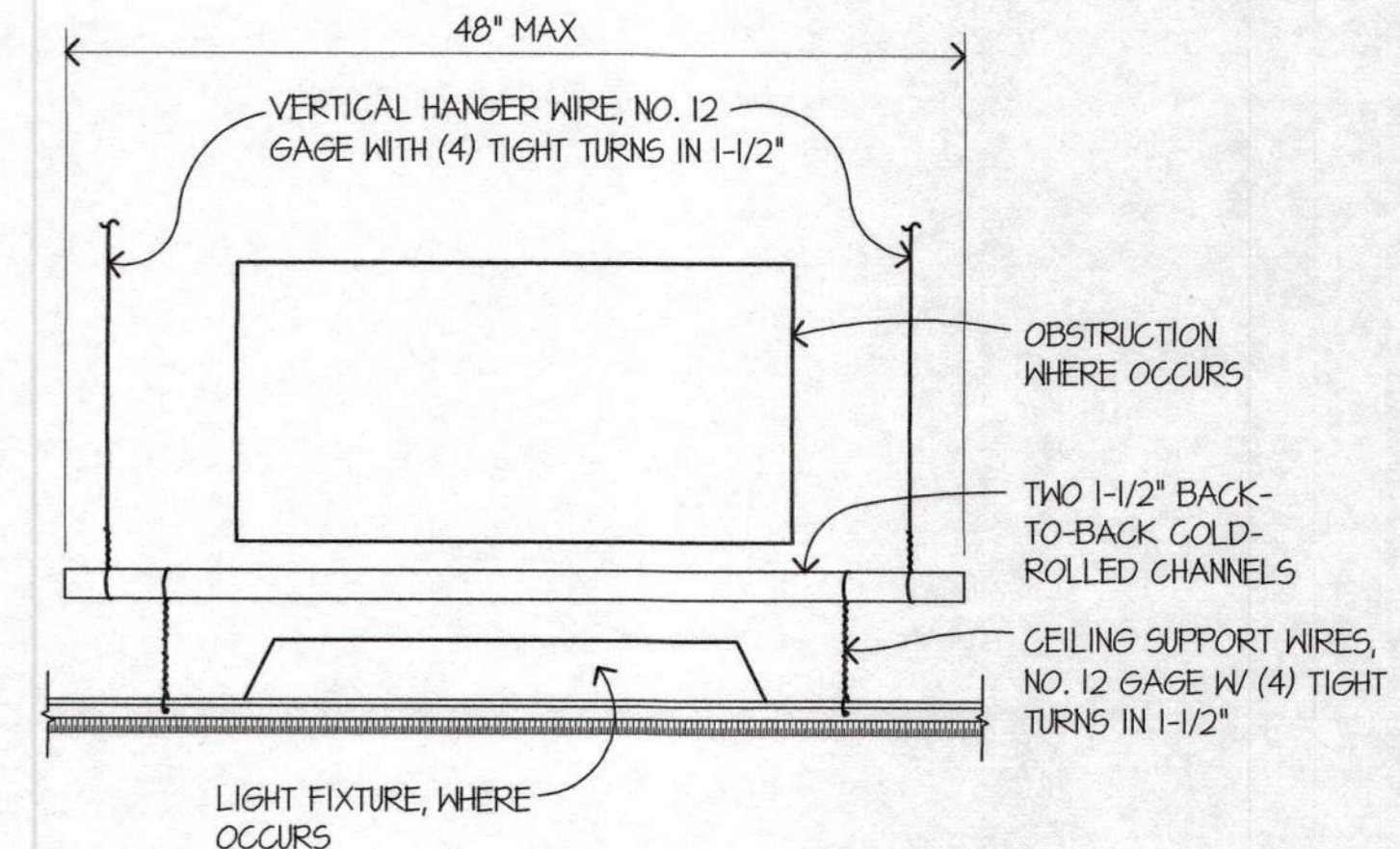
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REVISIONS:
 PLAN CHECK 12/05/14

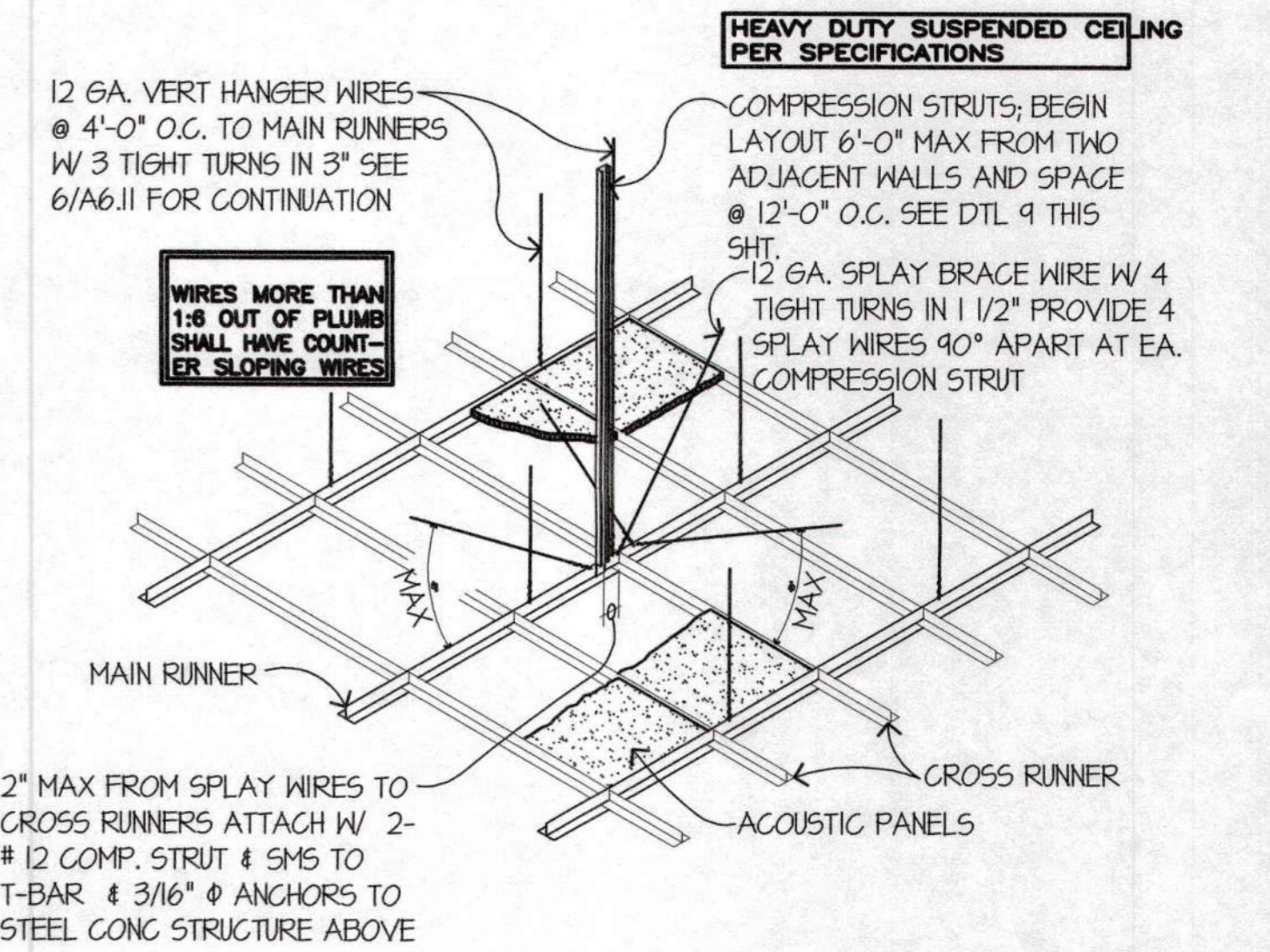
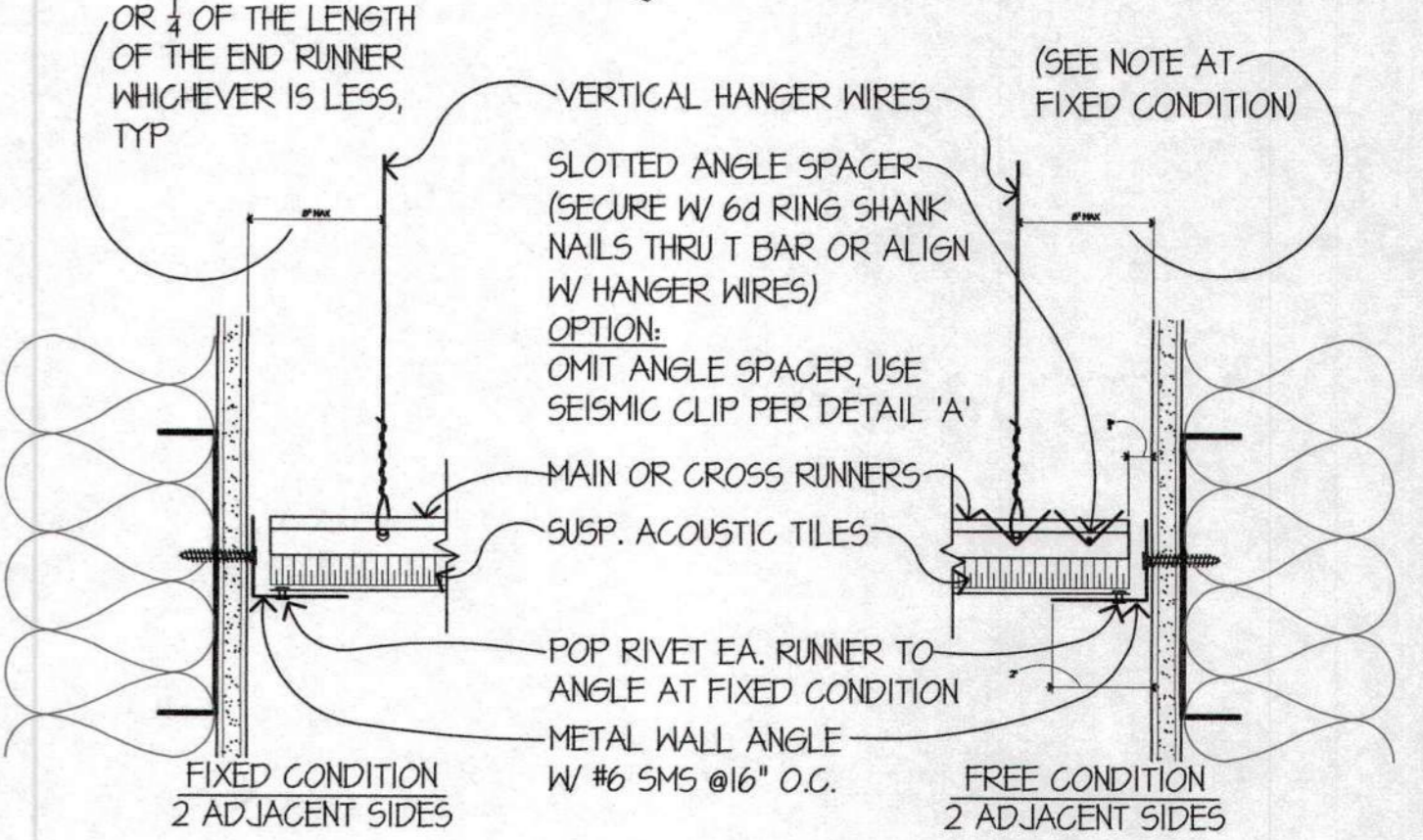
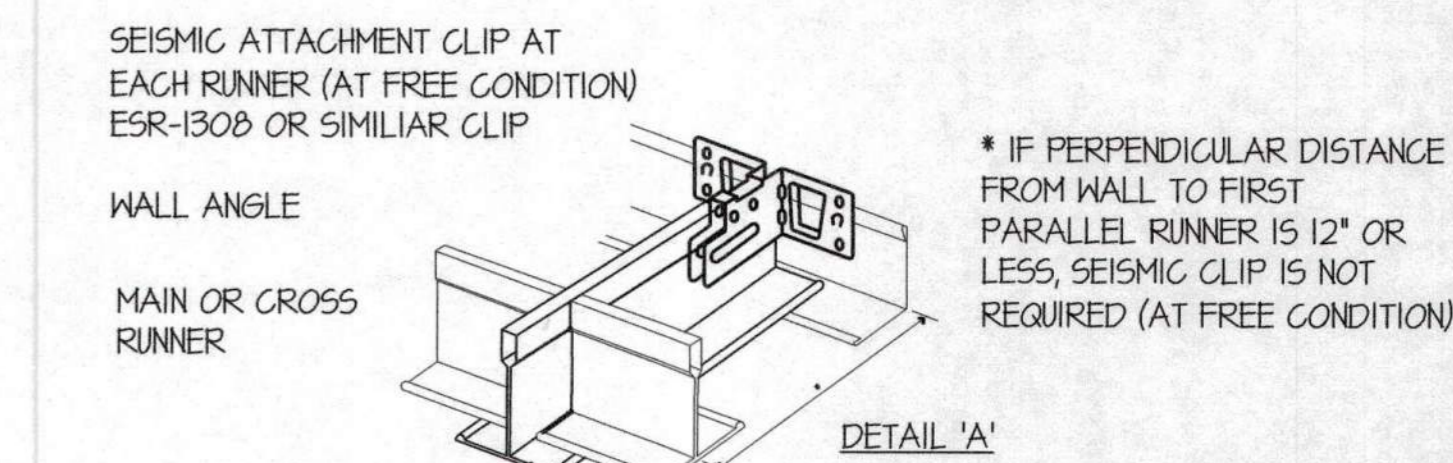
RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA POLICE DEPARTMENT
 AT:
 JUNIPERO AVE AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER
A6.2
 DATE: 10 OCT 2014
 JOB DRAWN
 ITI/J GADD

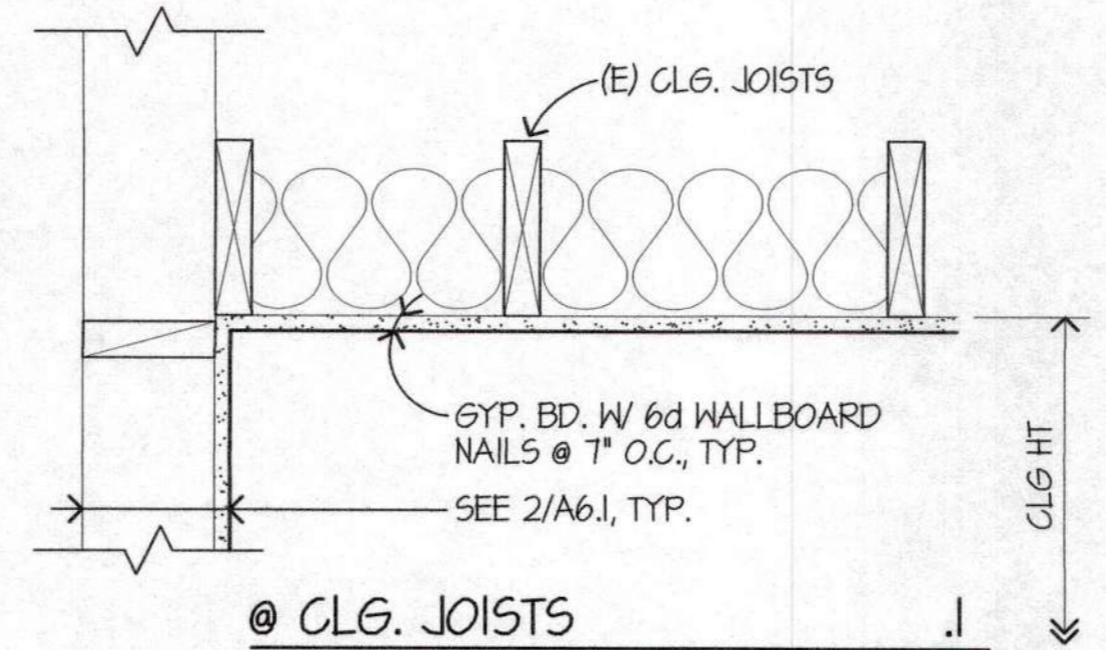
CEILING DETAILS



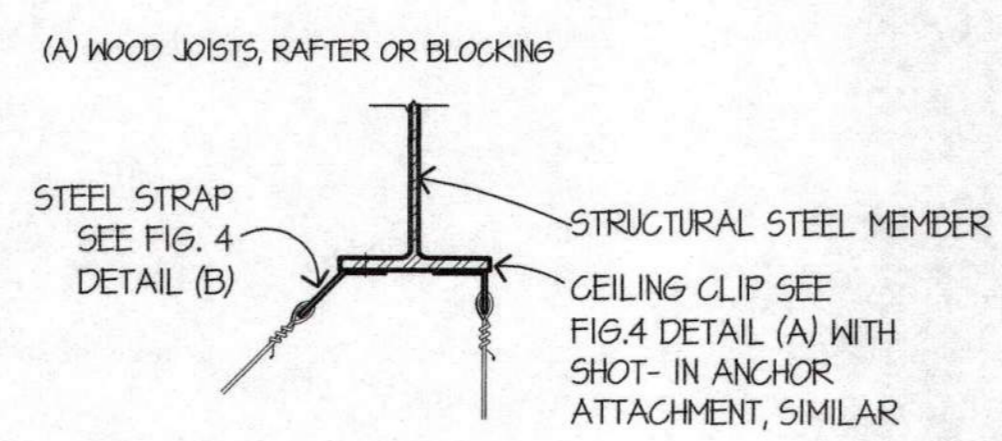
SUSPENDED CLG AT OBSTRUCTION 2
 SCALE: 1 1/2" = 1'-0"



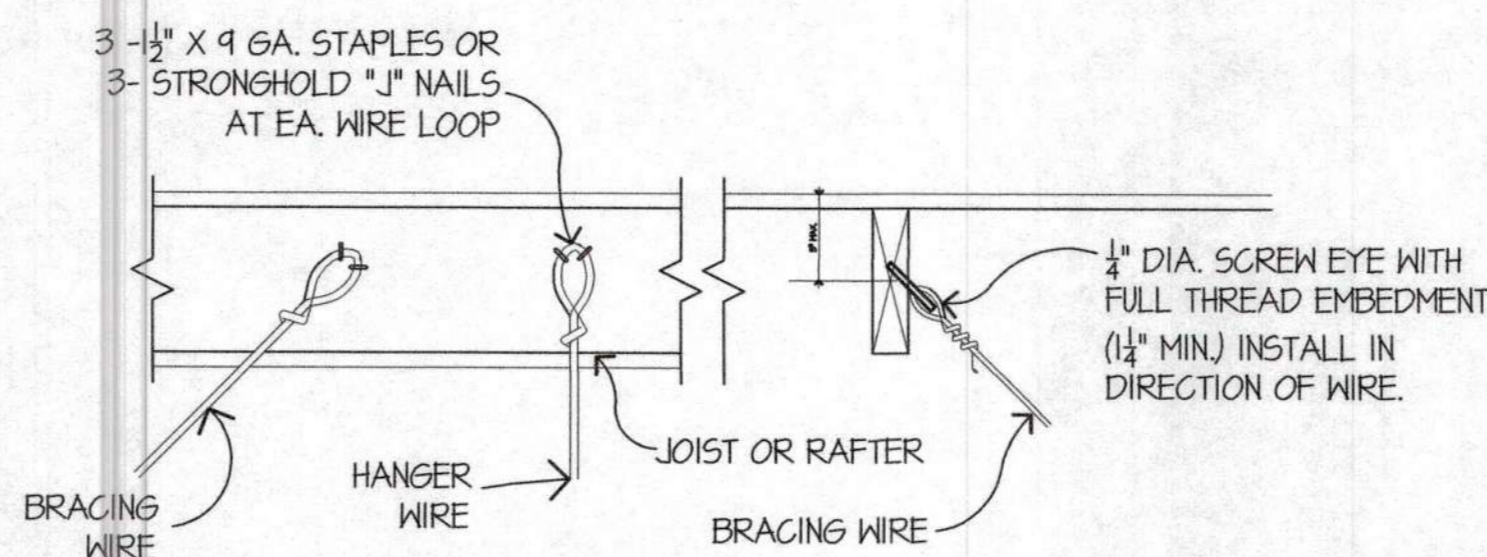
SUSPENDED CEILING GRID 1
 SCALE: N.T.S.



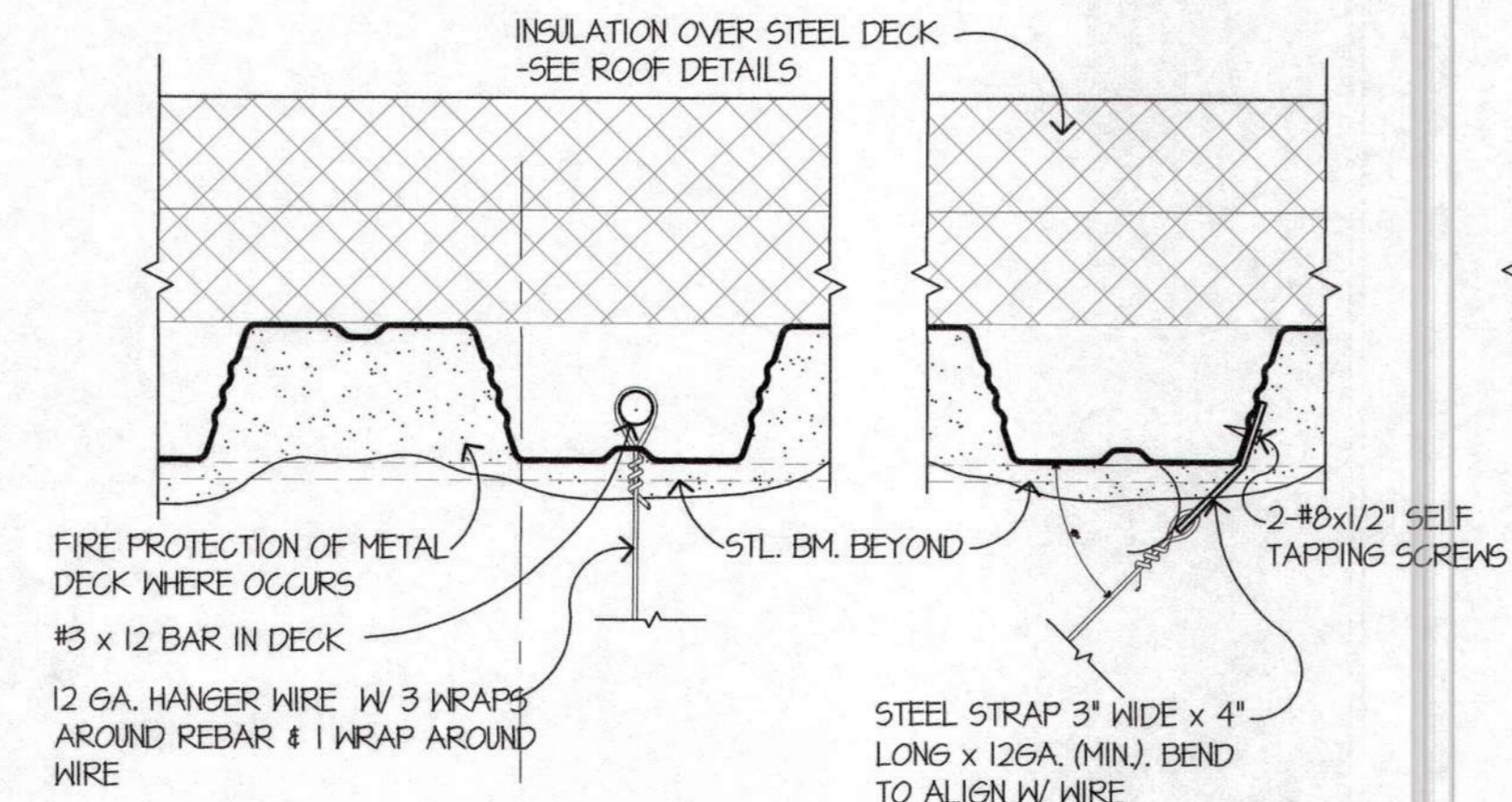
GYP. BD. CEILING 4
 SCALE: 1 1/2" = 1'-0"



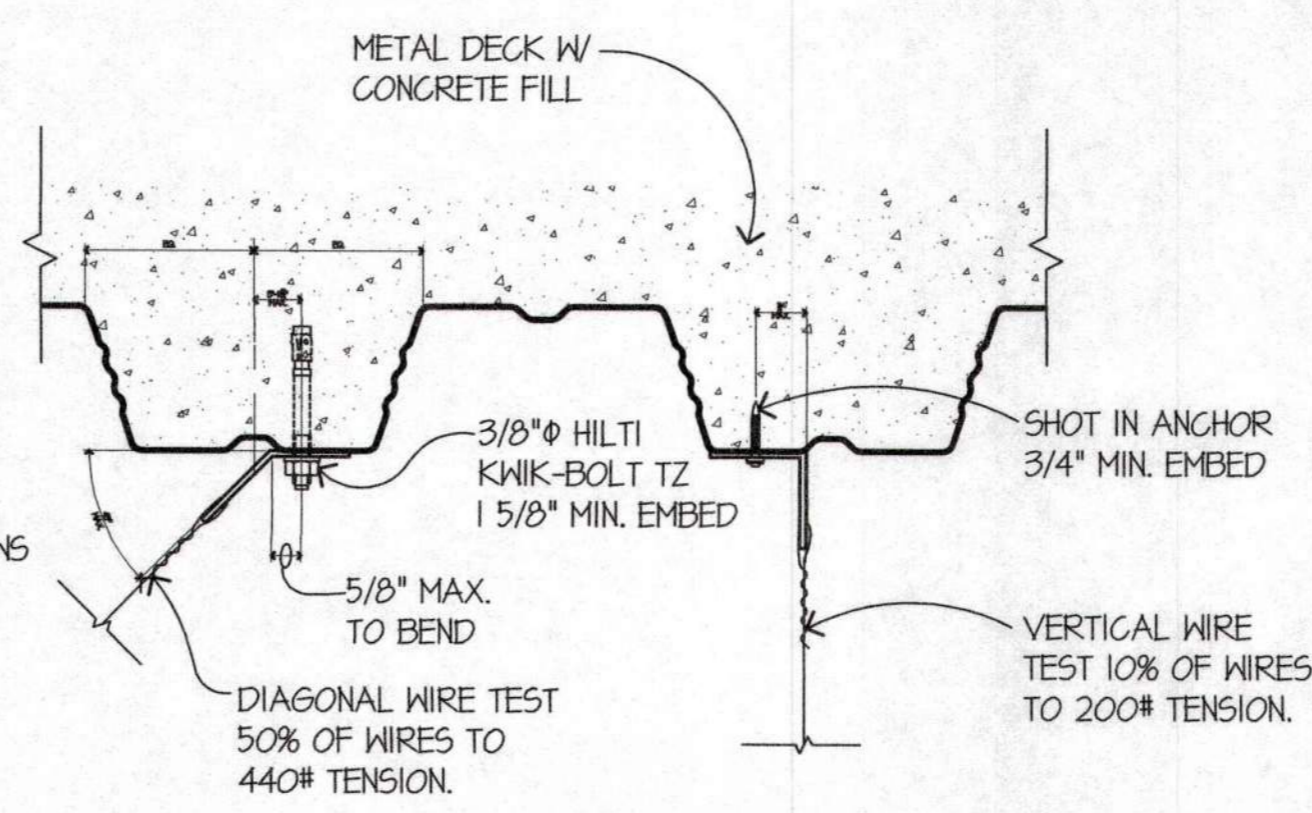
(A) AT STEEL BEAMS 5



(A) WOOD JOISTS, RAFTER OR BLOCKING 4
WOOD DECK

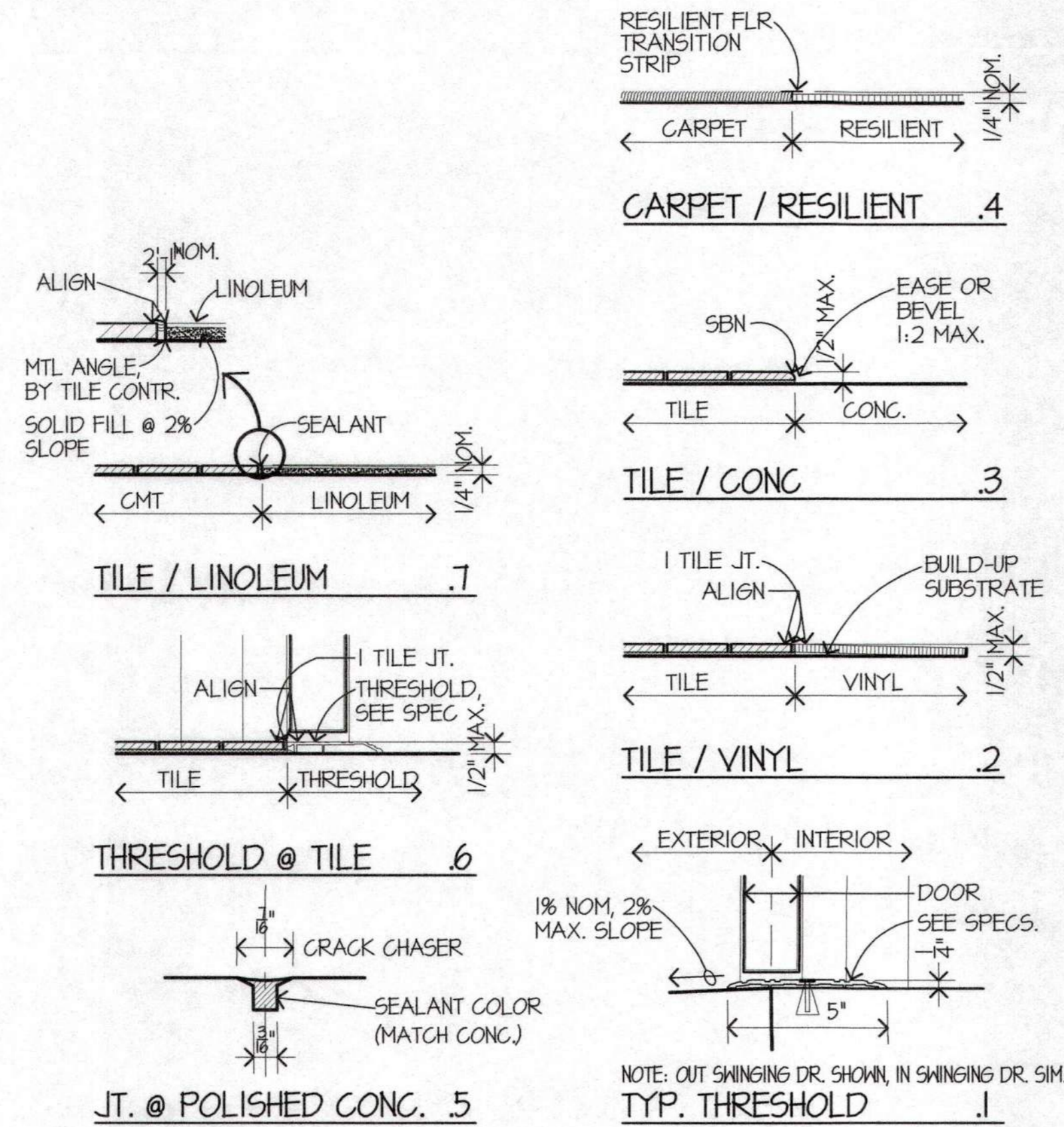


METAL DECK 20 GA MIN. 3 **SPLAY WIRE** 2

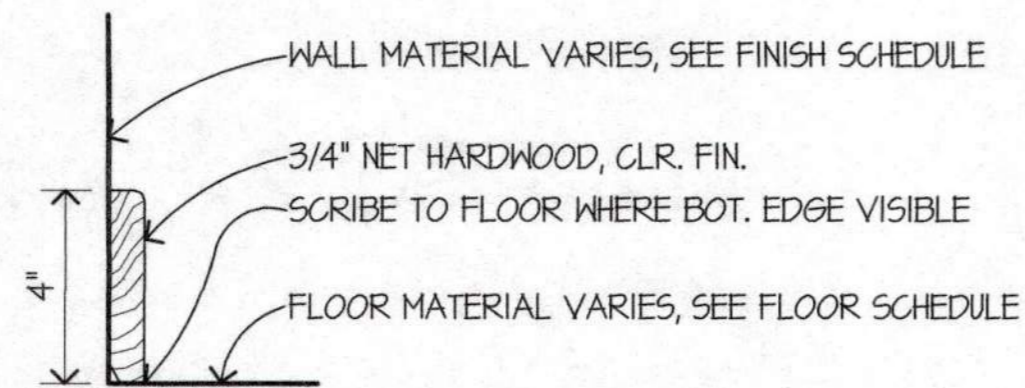


CONG. FILLED @ DECK 20 GA MIN. 1

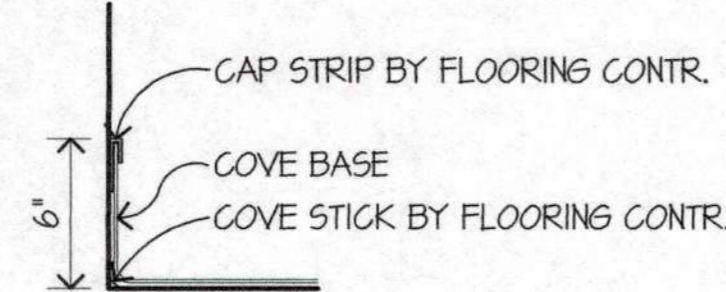
SUSPENDED CEILING HANGER & SPLAY WIRE ATTACHMENT 3
 SCALE: 3" = 1'-0"



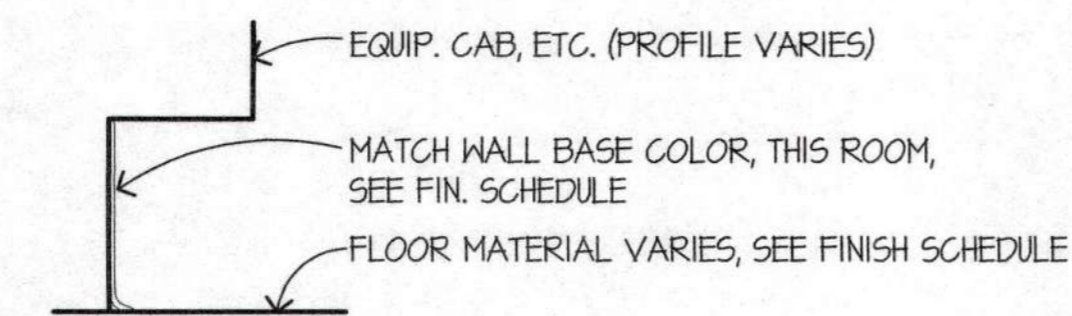
NOTE: BEVEL LEVEL CHANGES BETWEEN +1/4" AND +1/2" AT 1:2 MAX.
FLOOR TRANSITIONS
SCALE: 1 1/2" = 1'-0"



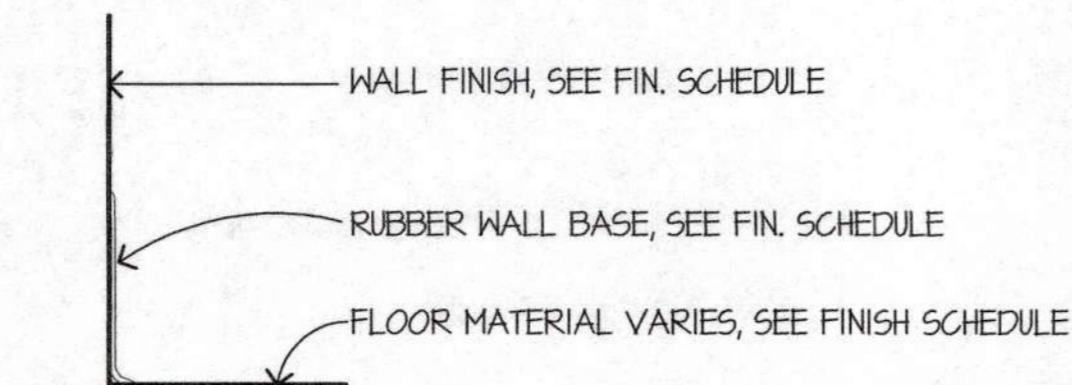
WOOD .4



RESILIENT COVE .3



RUBBER .2

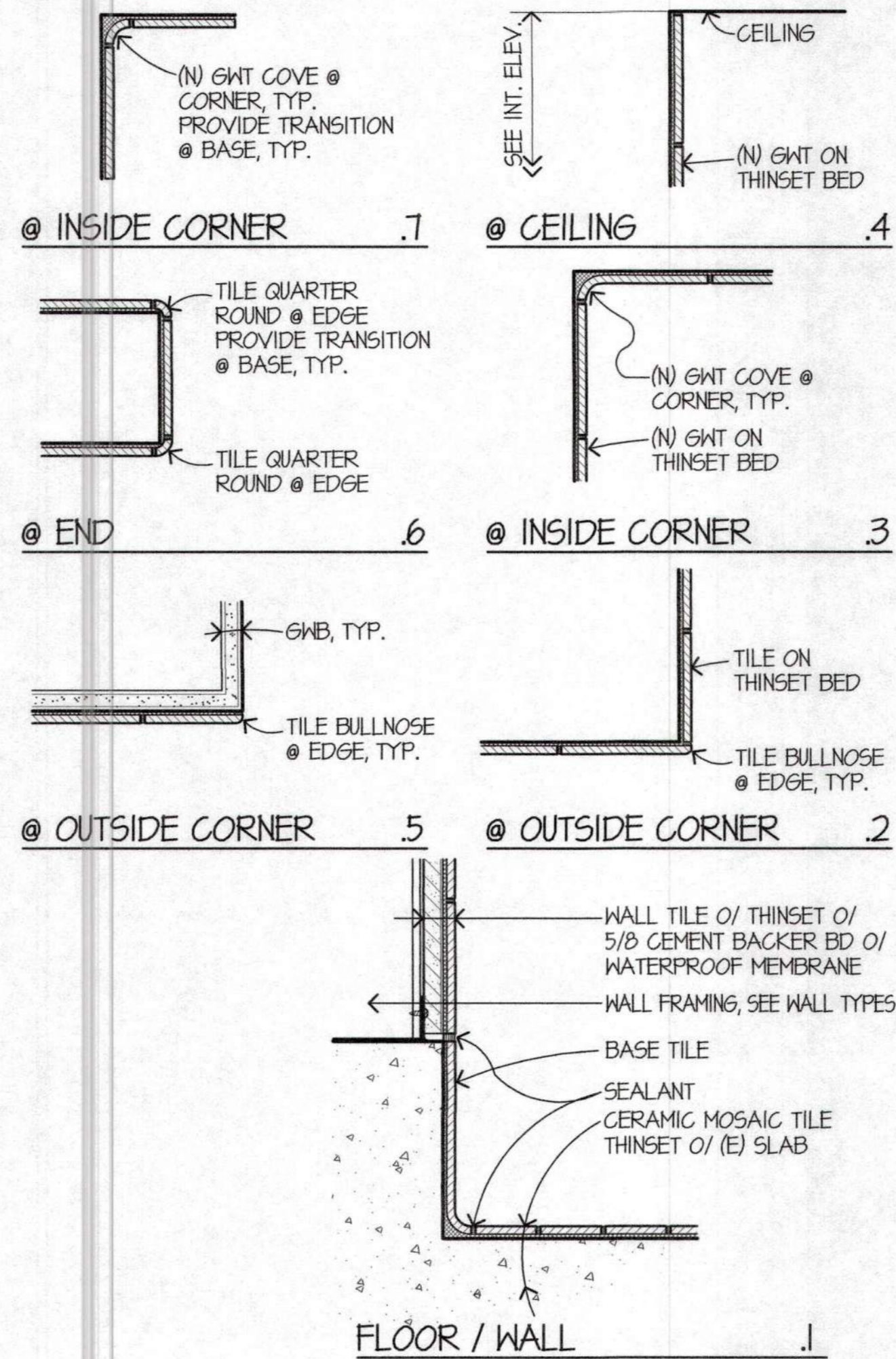


RUBBER .1

WALL BASE

SCALE: 3" = 1'-0"

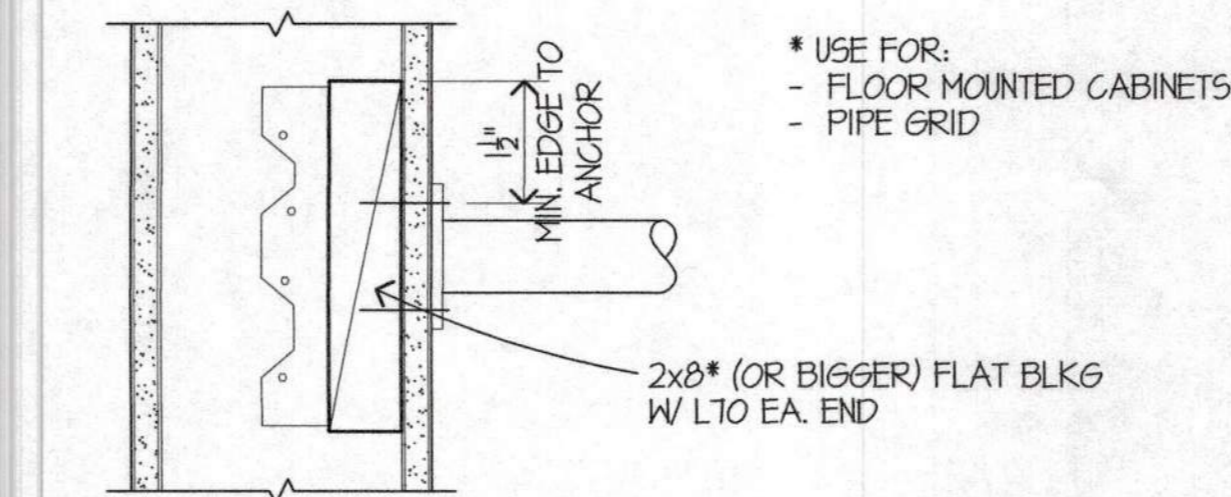
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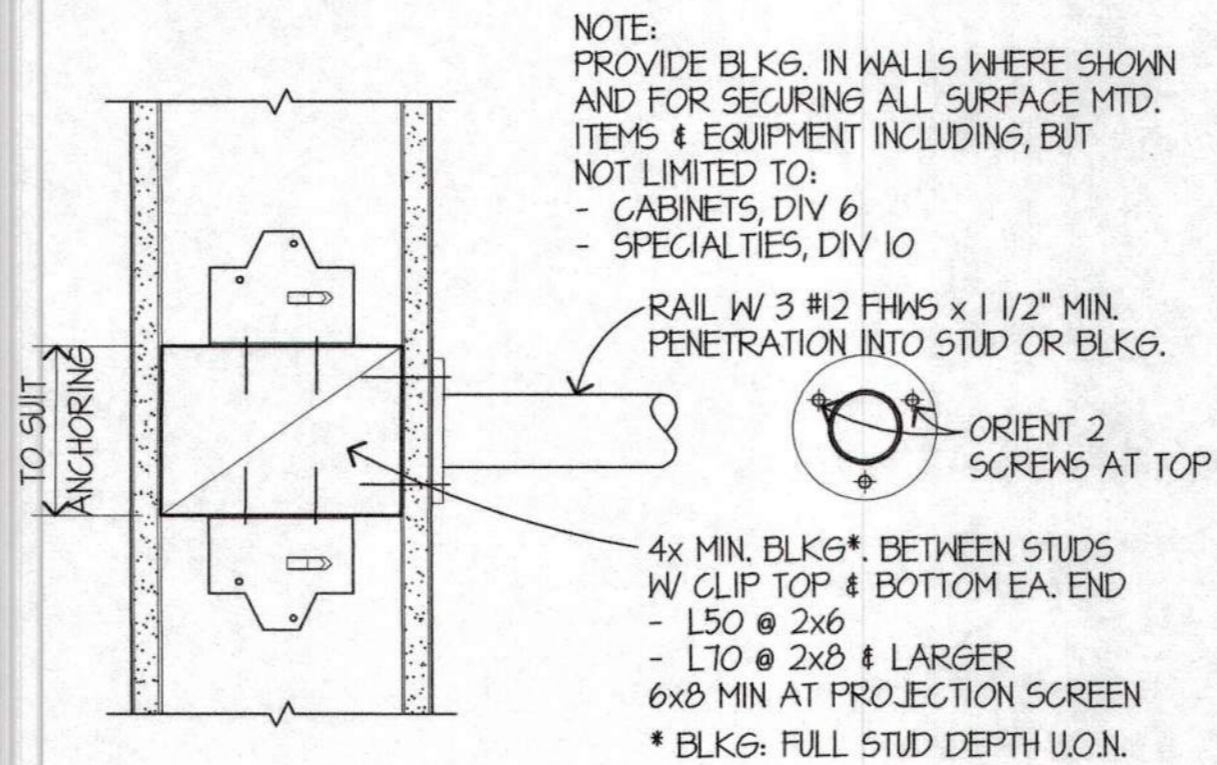
TILE DETAILS

SCALE: 3" = 1'-0"

3



@ WD STUD .2

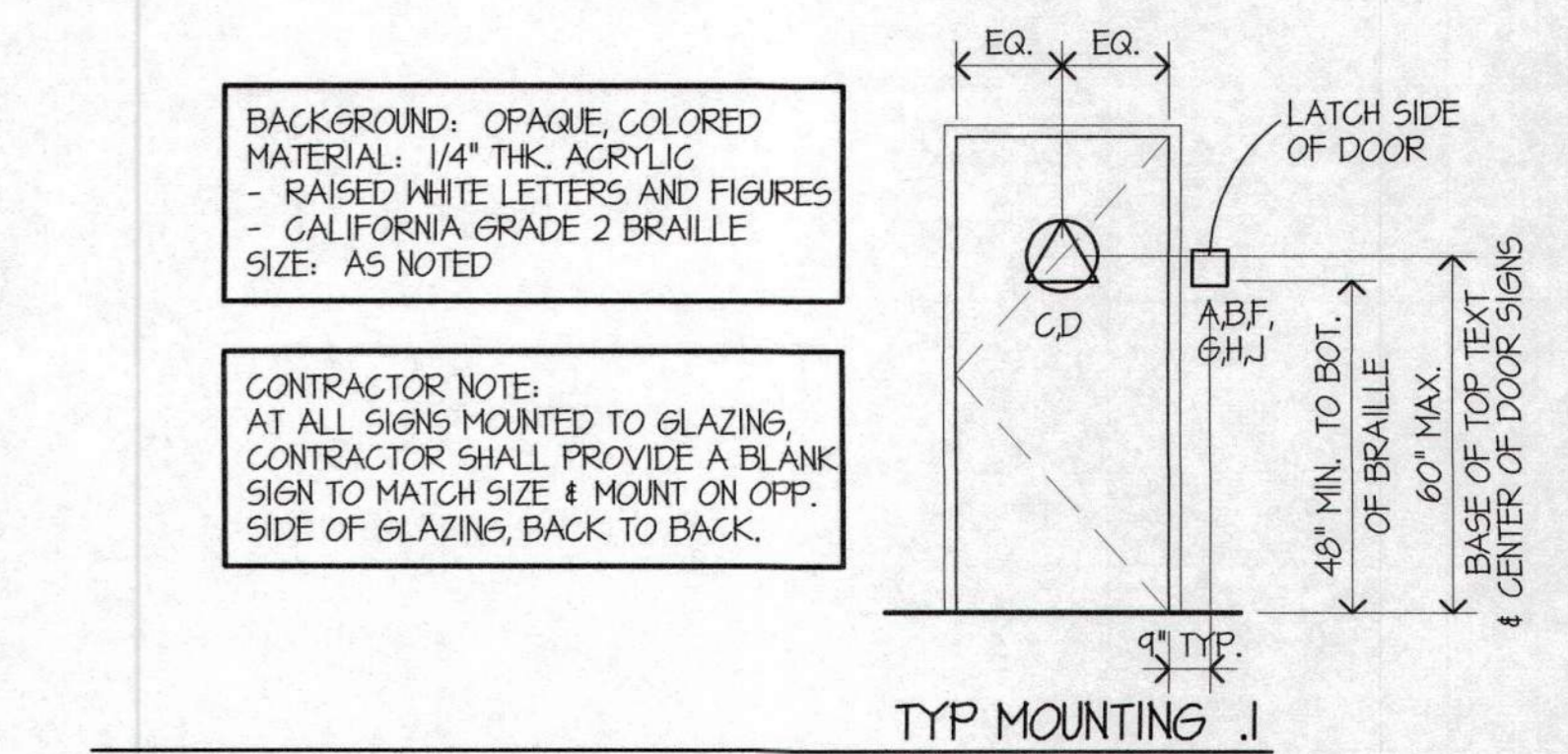
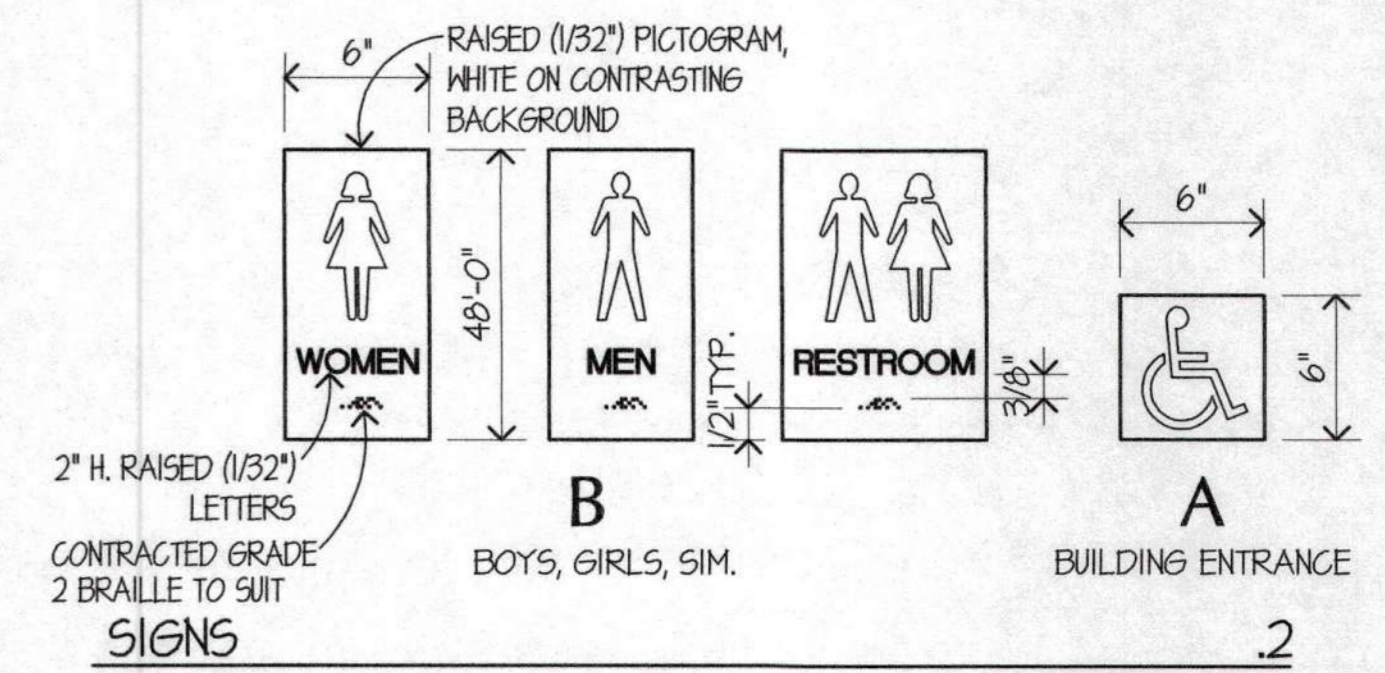
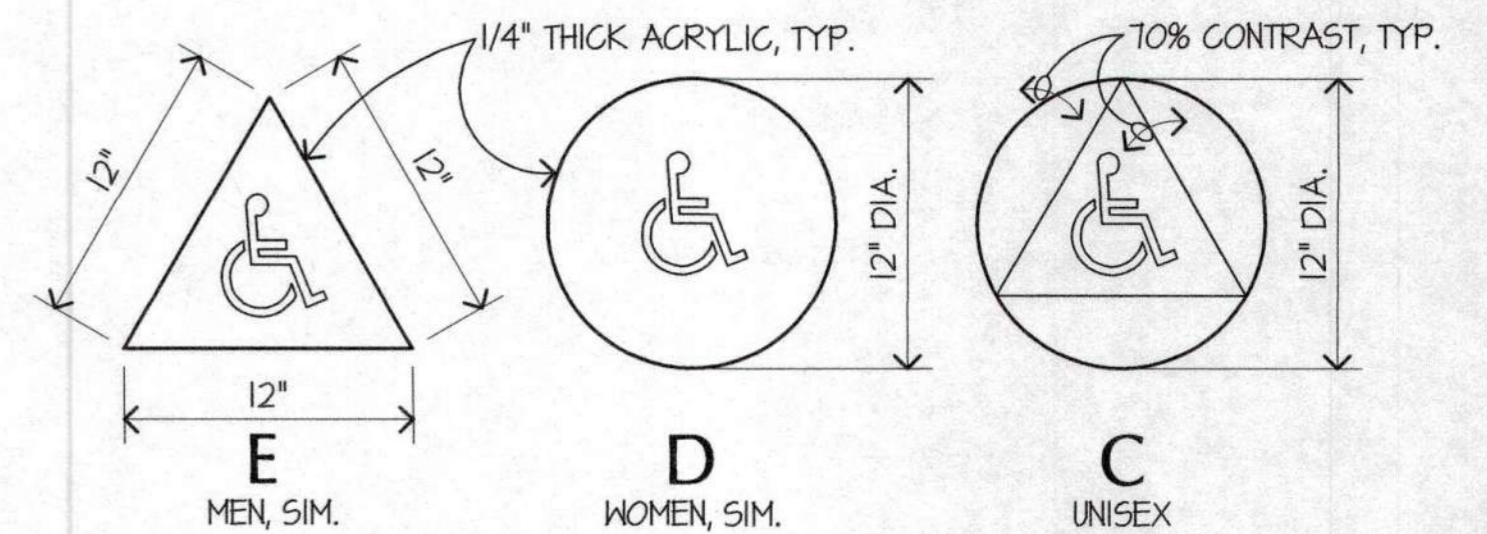
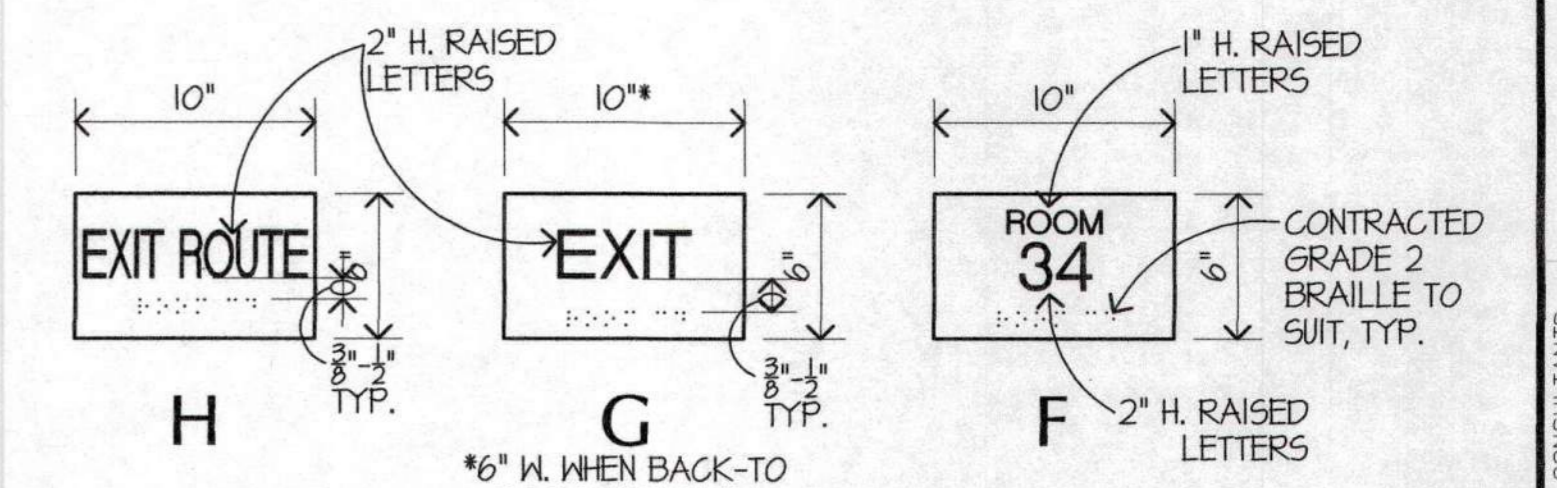
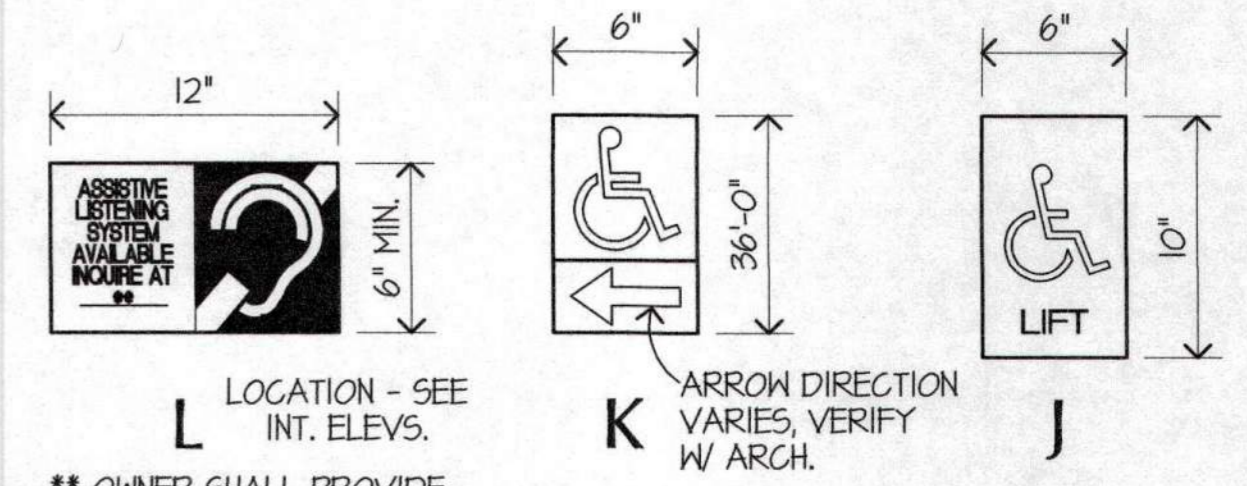
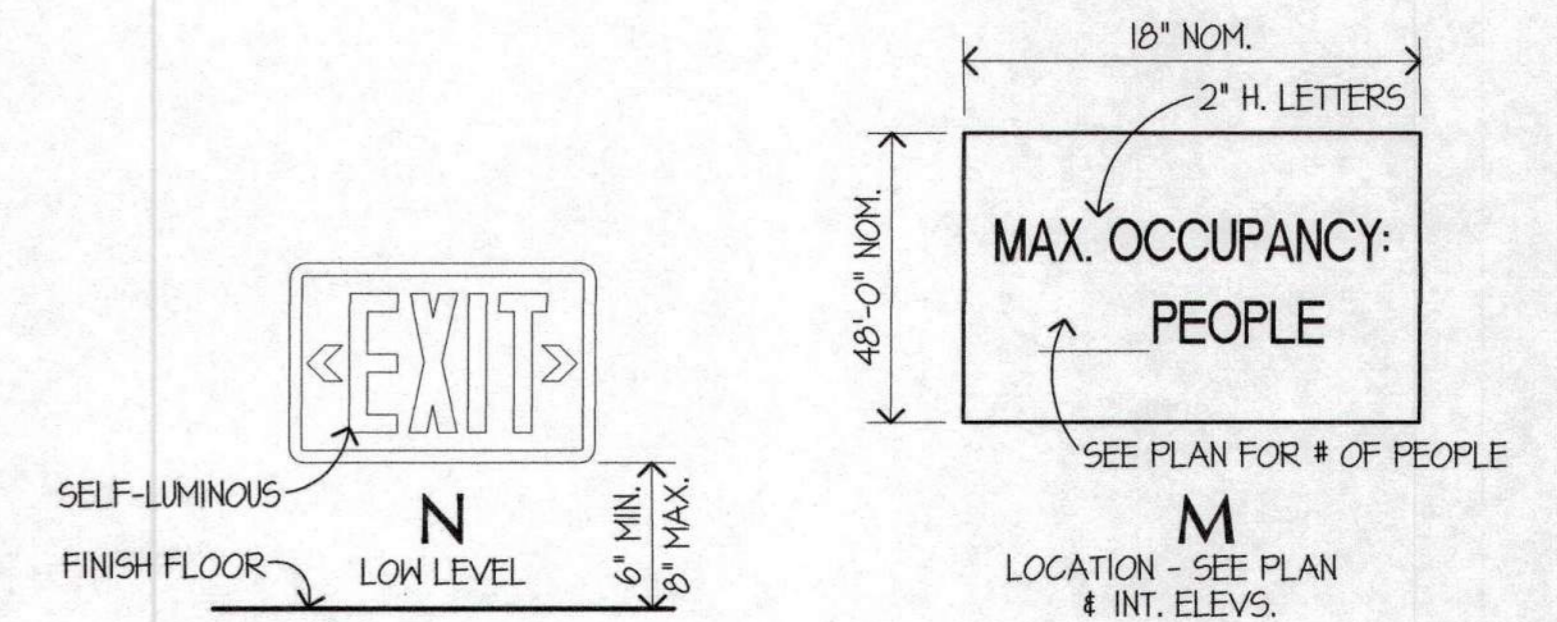


@ WD STUD .1

FOR INFO NOT NOTED, SEE STRUCTURAL DWGS.
TYP. BLOCKING

SCALE: 1 1/2" = 1'-0"

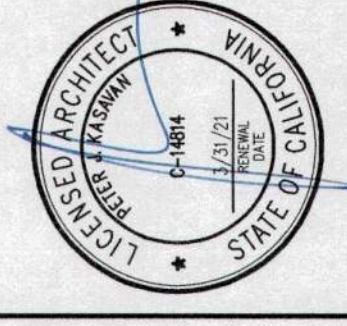
2



TYPICAL SIGNAGE

SCALE: N.T.S.

1



REVISIONS:
PLAN CHECK 12/05/18

RENOVATIONS AND SITE IMPROVEMENTS
**CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT**
JUNIPERO AVE. AND 4TH AVE
CARMEL-BY-THE-SEA, CA 93923

INTERIOR DETAILS

SHEET NUMBER
A6.3
DATE: 18 OCT 2019
JOB: IT2J DRAWN: GADD



CONSULTANTS

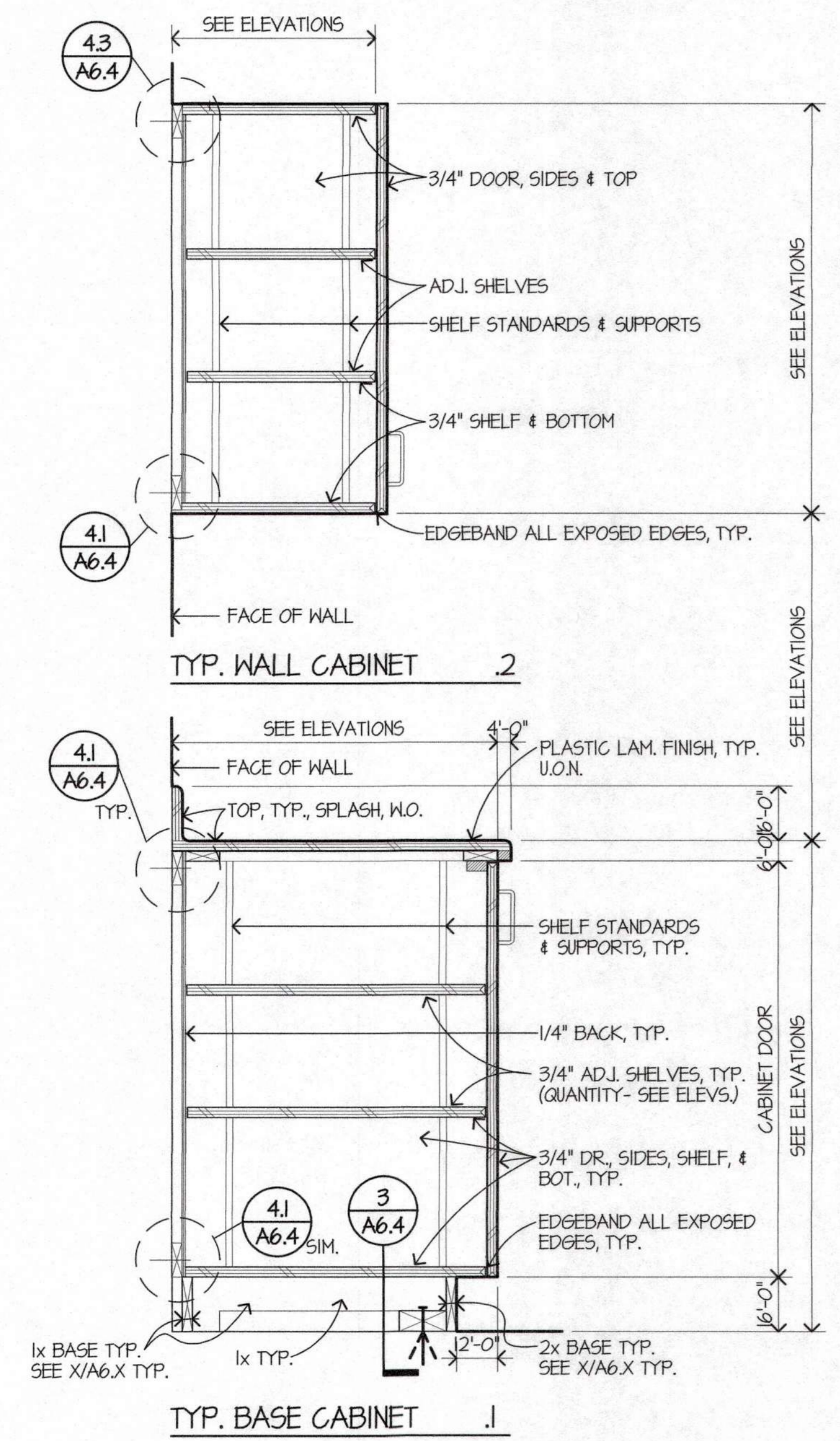
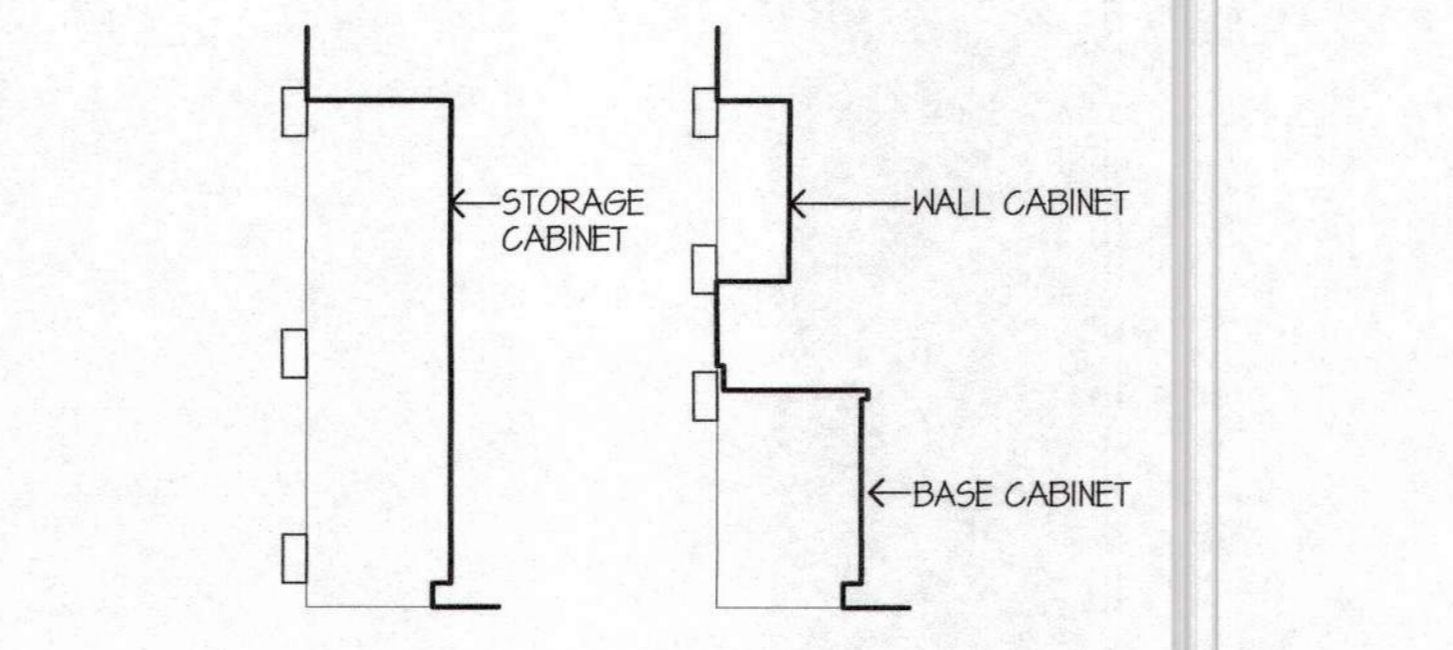
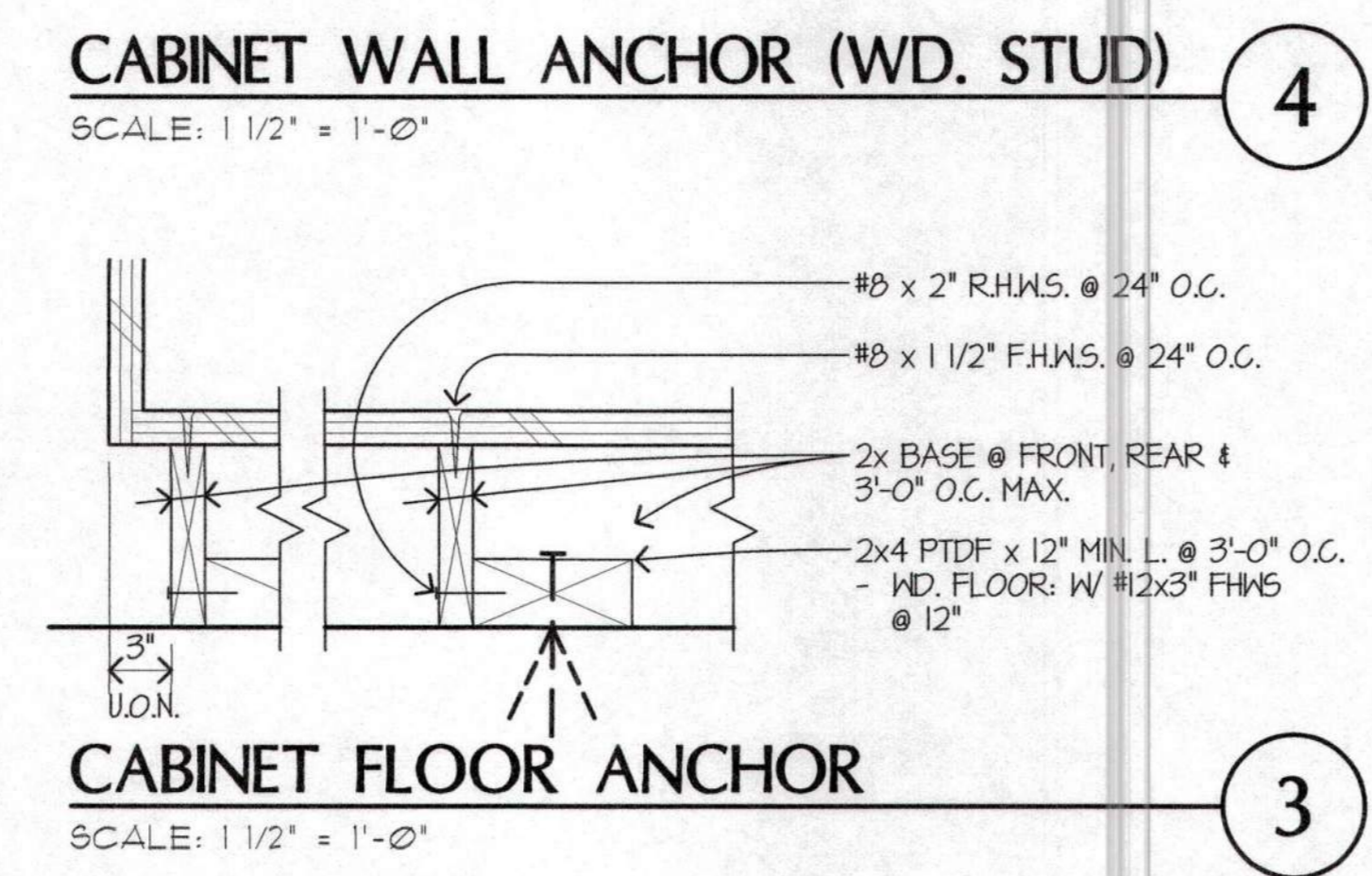
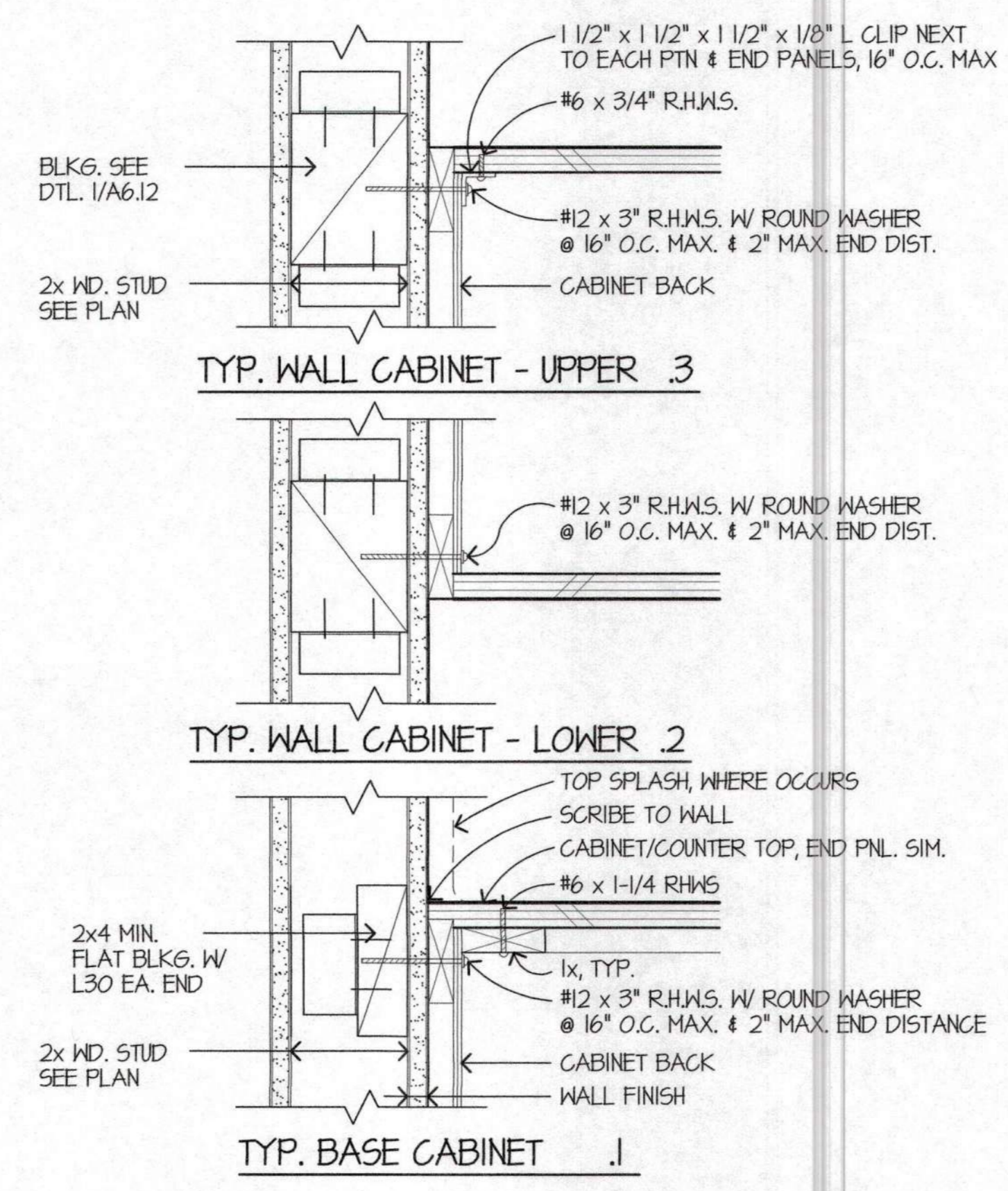
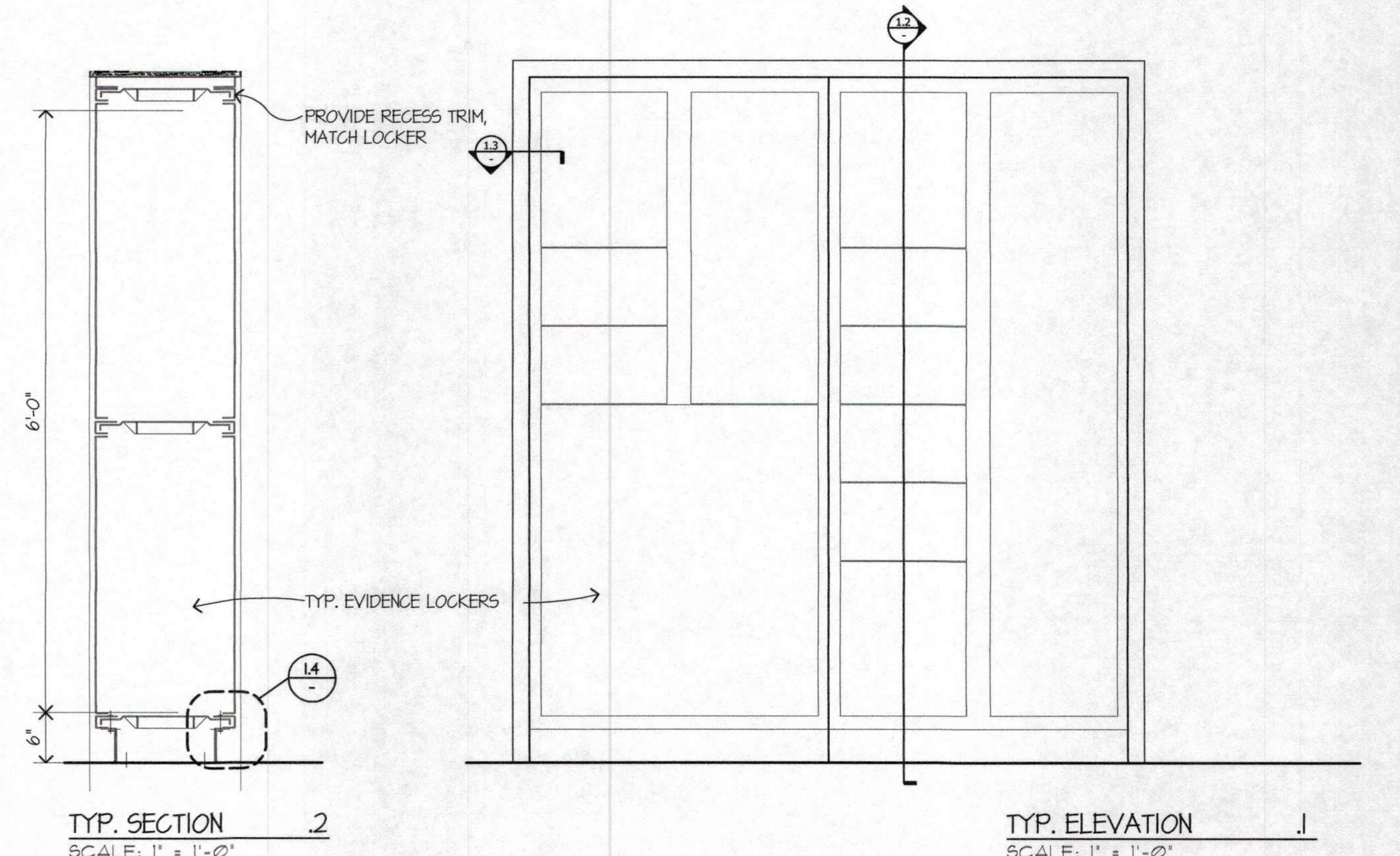
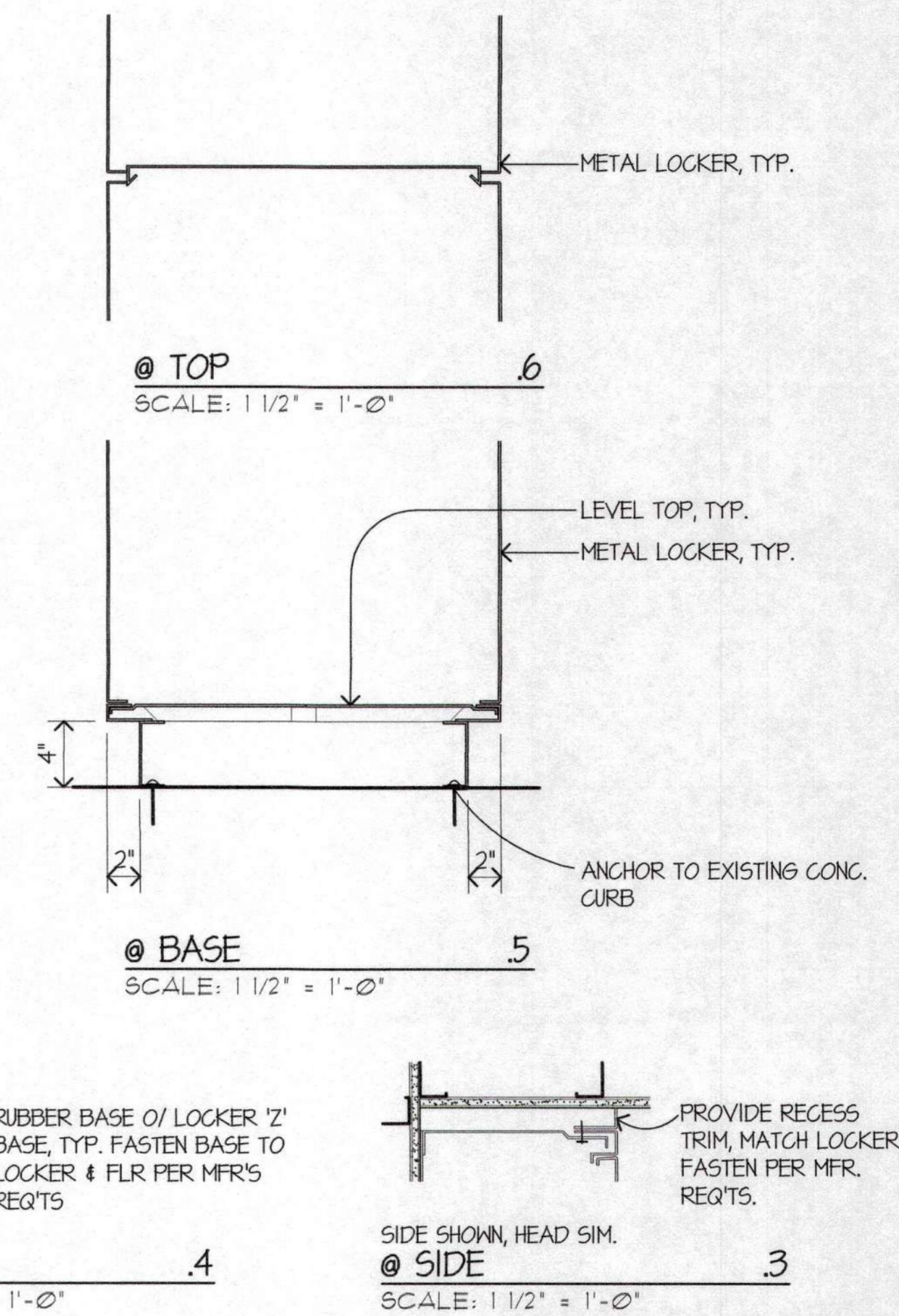
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REVISIONS:
 PLAN CHECK 12/05/14

RENOVATIONS AND SITE IMPROVEMENTS
**CITY OF CARMEL-BY-THE-SEA
 POLICE DEPARTMENT**
 AT
 JUNIPERO AVE. AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER
A6.4
 DATE: 18 OCT 2014
 JOB: IT12J DRAWN: GADD

INTERIOR DETAILS



CABINET DETAILS .5
SCALE: 1 1/2" = 1'-0"

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2015-02-20

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UL Product iQ™

XHEZ.C-AJ-1155 - THROUGH-PENETRATION FIRESTOP SYSTEMS

Design/System/Construction/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

XHEZ - Through-penetration Firestop Systems XHEZ7 - Through-penetration Firestop Systems Certified for Canada

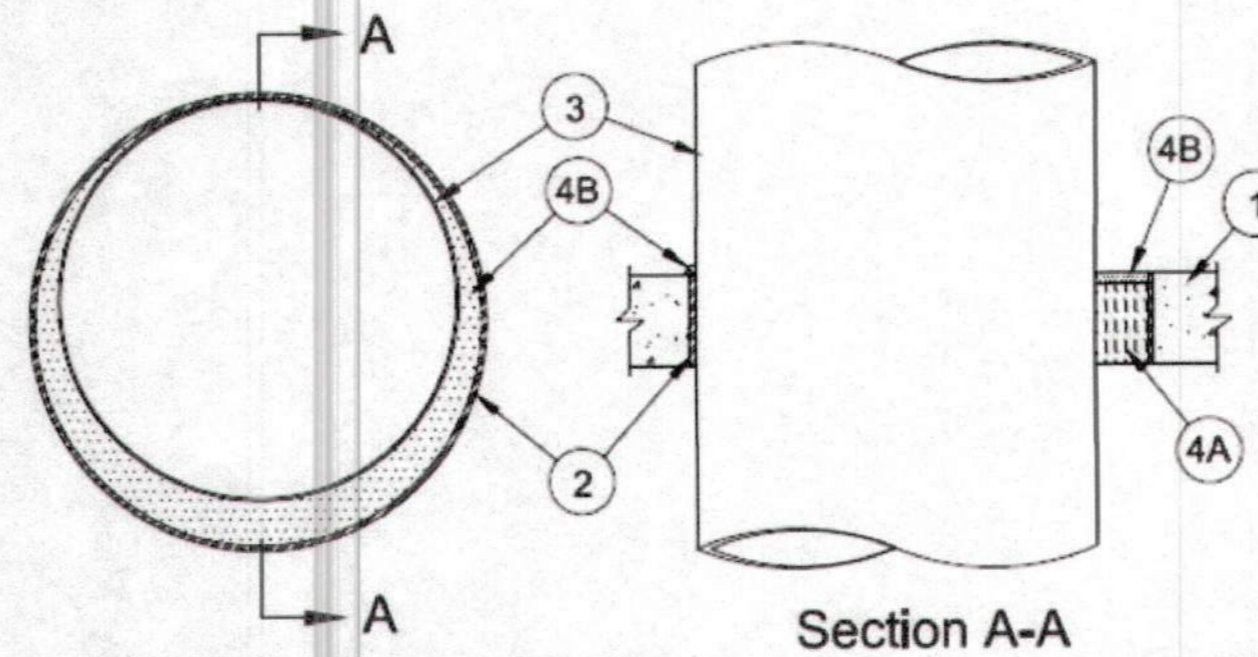
See General Information for Through-penetration Firestop Systems

See General Information for Through-penetration Firestop Systems Certified for Canada

System No. C-AJ-1155

February 20, 2015

ANSI/UL1479 (ASTM E814)	CAN/ULC S115
F Rating — 2 and 3 Hr (See Item 3)	F Rating — 2 and 3 Hr (See Item 3)
T Rating — 0 Hr	FT Rating — 0 Hr
L Rating At Ambient — Less Than 1 CFM/sq ft	PH Rating — 2 and 3 Hr (See Item 3)
L Rating At 400 F — 4 CFM/sq ft	FTH Rating — 0 Hr
W Rating — Class 1 (See Item 4)	L Rating At Ambient — Less Than 1 CFM/sq ft
	L Rating At 400 F — 4 CFM/sq ft



1. **Floor or Wall Assembly** — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. Wall may also be constructed of any UL Classified **Concrete Blocks***. Max diam of opening is 32 in. (813 mm).
See **Concrete Blocks (CAZT)** category in Fire Resistance Directory for names of manufacturers.

2. **Metallic Sleeve (Optional)** — Nom 32 in. (813 mm) diam (or smaller) Schedule 40 (or heavier) steel pipe cast or grouted into floor or wall assembly, flush with floor or wall assembly.

3. **Through Penetrants** — One metallic pipe or tubing to be installed either concentrically or eccentrically within the firestop system. Pipe or tubing to be rigidly supported on both sides of floor or wall assembly. The annular space shall be min 0 in. (point contact) to max 12 in. (305 mm). **When maximum annular space exceeds 2-1/4 in. (57 mm) the F Rating is 2 Hr.** The following types and sizes of metallic pipes or tubing may be used:

- A. **Steel Pipe** — Nom 20 in. (508 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.
- B. **Iron Pipe** — Nom 20 in. (508 mm) diam (or smaller) cast or ductile iron pipe.
- C. **Conduit** — Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing or nom 6 in. (152 mm) diam (or smaller) steel electrical metallic tubing or nom 6 in. (152 mm) diam (or smaller) steel conduit.
- D. **Copper Tubing** — Nom 6 in. (152 mm) diam (or smaller) Type L (or heavier) copper tubing.
- E. **Copper Pipe** — Nom 6 in. (152 mm) diam (or smaller) Regular (or heavier) copper pipe

4. **Firestop System** — The firestop system shall consist of the following:
A. **Packing Material** — Min 4 in. (102 mm) thickness of min 4 pcf (64 kg/m³) mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top end of sleeve for floors or from both ends of sleeve for walls to accommodate the required thickness of fill material.

B. **Fill, Void or Cavity Material*** — **Sealant** — Min 1/2 in. (13 mm) thickness of fill material applied within the annulus, flush with the top end of the sleeve for floors, or with both ends of the sleeve for walls. Min 1/2 in. (13 mm) thick bead of all material to be installed around pipe at interface of sleeve for point contact installations. **W Rating applies only when FS-ONE MAX Intumescent Sealant is used. For the W Rating, max annular space is 1-7/8 in. (48 mm) and an additional film of sealant shall be applied over the sleeve (when used) lapping at least 1/2 in. (13 mm) onto top surface of floor or both surfaces of wall.**

HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-ONE Sealant or FS-ONE MAX Intumescent Sealant

(E) PENETRATION AT CONCRETE WALL

SCALE: N.T.S.

2

UL Product iQ™

XHEZ.C-AJ-0058 - THROUGH-PENETRATION FIRESTOP SYSTEMS

Design/System/Construction/Assembly Usage Disclaimer

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- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

XHEZ - Through-penetration Firestop Systems

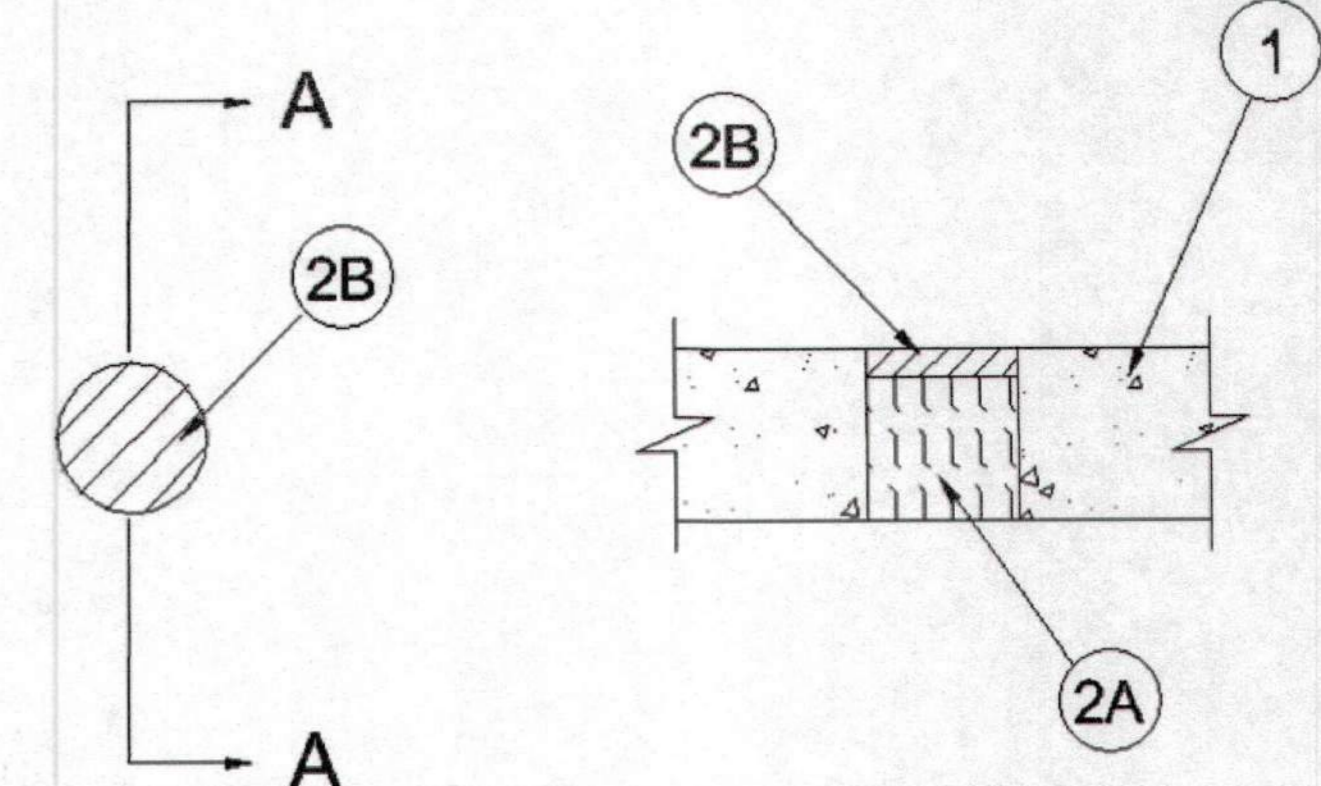
See General Information for Through-penetration Firestop Systems

System No. C-AJ-0058

February 19, 2008

F Rating — 3 Hr

T Rating — 2-3/4 Hr



1. **Floor or Wall Assembly** — Min 4-1/2 in. (114 mm) thick floor or min 5-1/4 in. (133 mm) wall, reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. Wall may also be constructed of any UL Classified **Concrete Blocks***. Max diam of opening is 4 in. (102 mm).
See **Concrete Blocks (CAZT)** category in the Fire Resistance Directory for names of manufacturers.

2. **Firestop System** — The firestop system shall consist of the following:

A. **Packing or Forming Materials** — Min 3-3/4 in. (95 mm) thickness of min 4 pcf (64 kg/m³) mineral wool batt insulation tightly packed into the opening as a permanent form. Packing material to be recessed from the top surface of floor or both surfaces of wall as required to accommodate the required thickness of putty.

B. **Fill, Void or Cavity Material*** — **Putty** — Min 3/4 in. (19 mm) thickness of putty applied within the annulus, flush with top surface of floor or with both surfaces of wall.
HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — CP 618 Firestop Putty Stick

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2008-02-19

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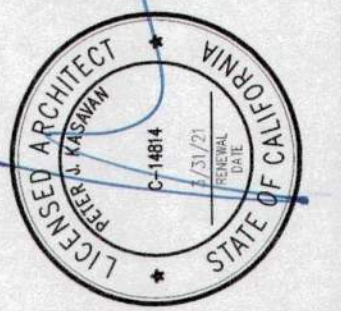
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(E) PENETRATION AT CONCRETE WALL

SCALE: N.T.S.

1

KASAVAN ARCHITECTS
60 W. Market Str., Suite 300
Salinas, California 93901
Voice 831.424.2232
Fax 831.424.2501



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REVISIONS:

1 PLAN CHECK
12/05/19

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
AT:
JUNIPERO AVE AND 4TH AVE
CARMEL-BY-THE-SEA, CA 93923
PENETRATION DETAILS

SHEET NUMBER

A6.5

DATE: 10 OCT 2019

JOB DRAWN

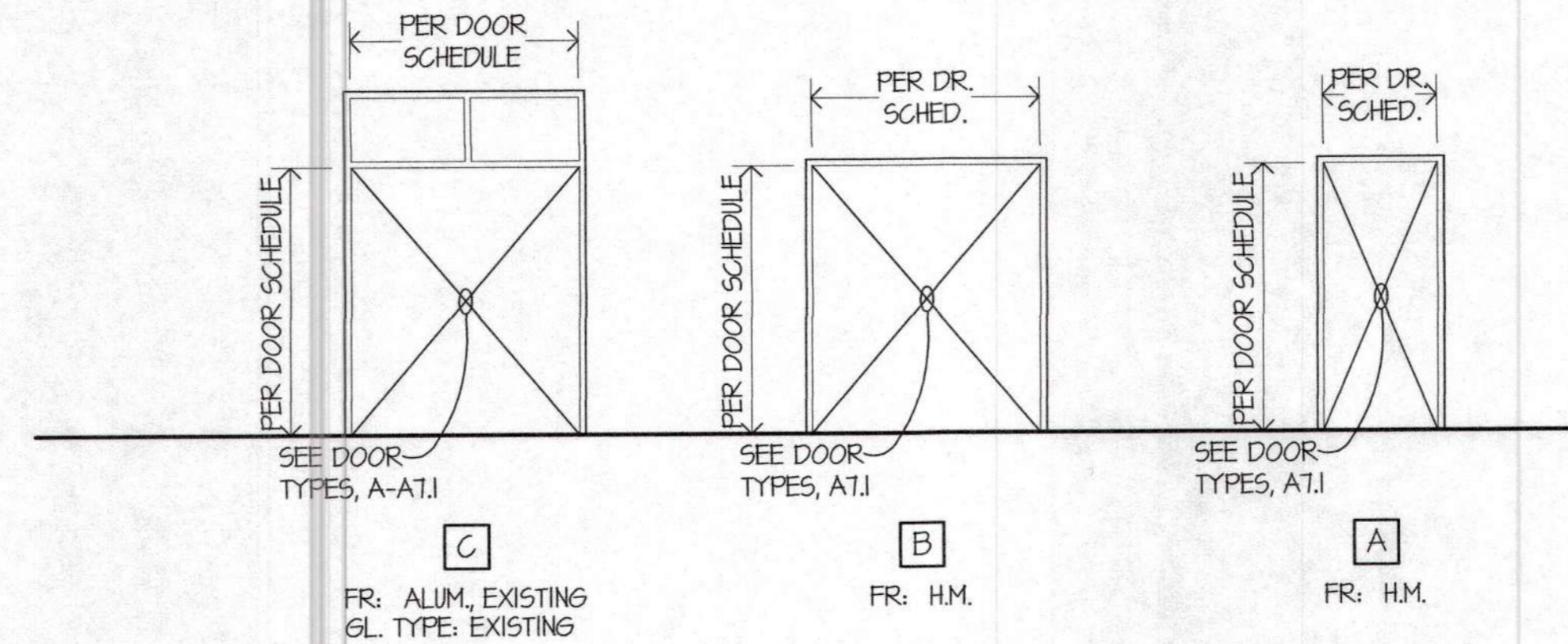
IT21 CADD

GENERAL NOTES :

1. OVERALL H.M. FRAME DIMENSIONS U.O.N. VERIFY ALL DIMS. IN THE FIELD
2. BASED ON 1" INSULATED GLAZING UNITS, U.O.N.
3. SEE DTL REFERENCE BUBBLE FOR TYPICAL CONDITIONS. FOR ANY CONDITIONS NOT DETAILED ARCHITECT MUST ADVISE.

GLAZING NOTES:

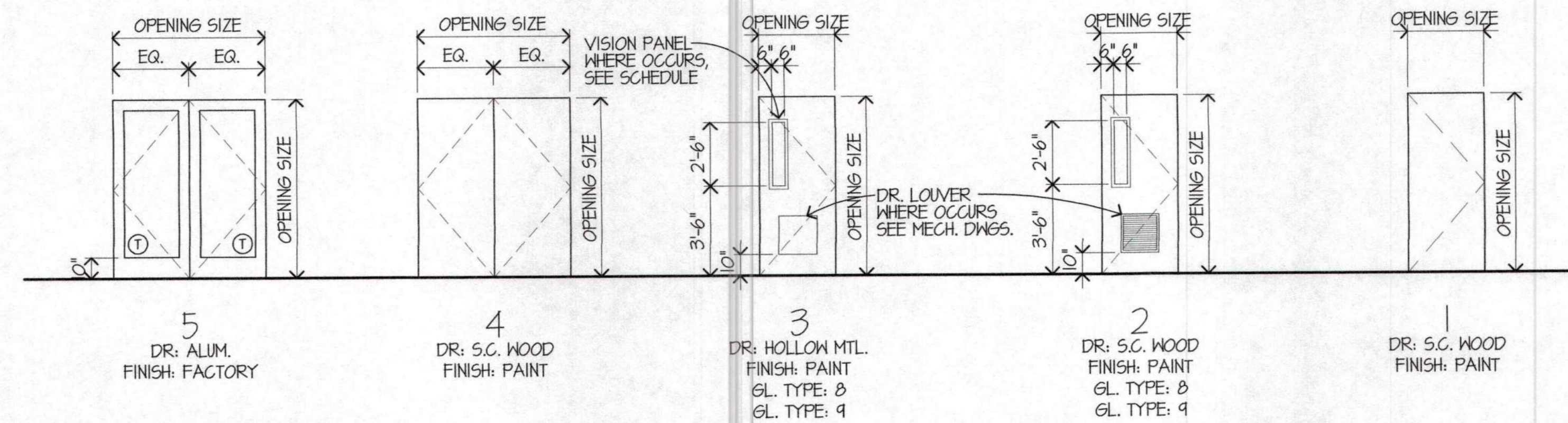
1. (T) TEMPERED GLASS WHERE INDICATED.



DOOR FRAME TYPES

SCALE: 1/4" = 1'-0"

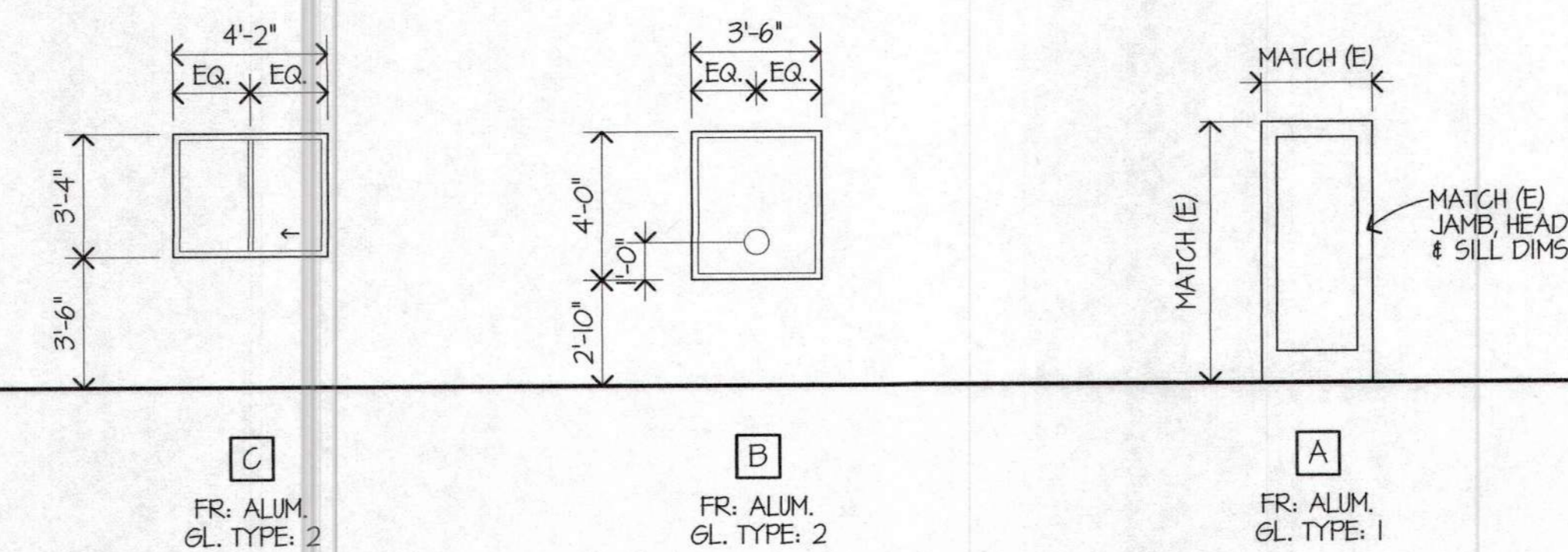
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DOOR TYPES

SCALE: 1/4" = 1'-0"

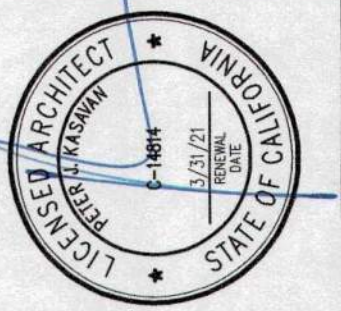
2



ALUM. WINDOW TYPES

SCALE: 1/4" = 1'-0"

1



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REVISIONS:

1	PLAN CHECK
	12/05/11

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
 A.T.
 JUNIPERO AVE AND 4TH AVE
 CARMEL-BY-THE-SEA, CA 93923
DOOR AND WINDOW TYPES

SHEET NUMBER

A7.1

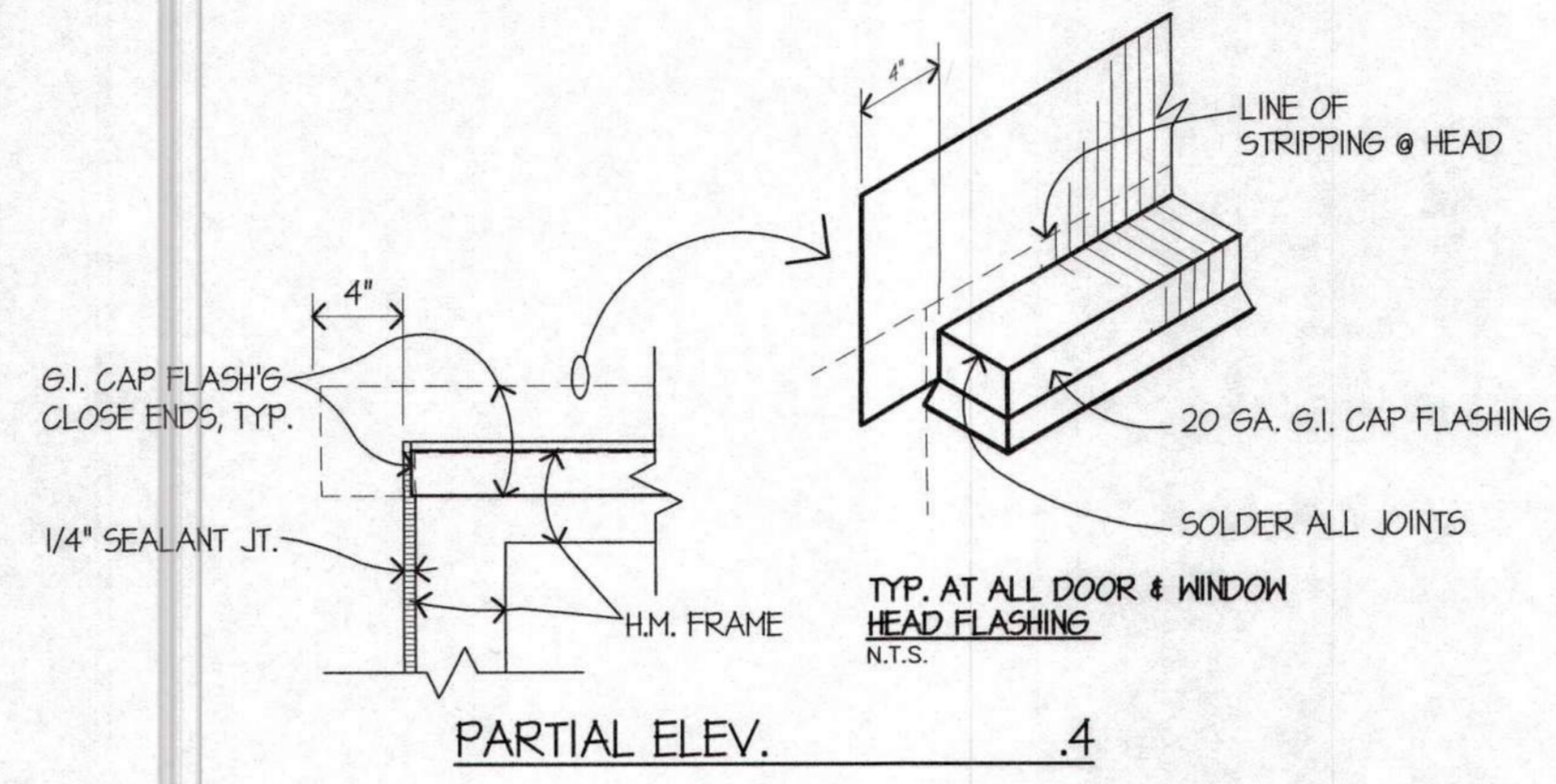
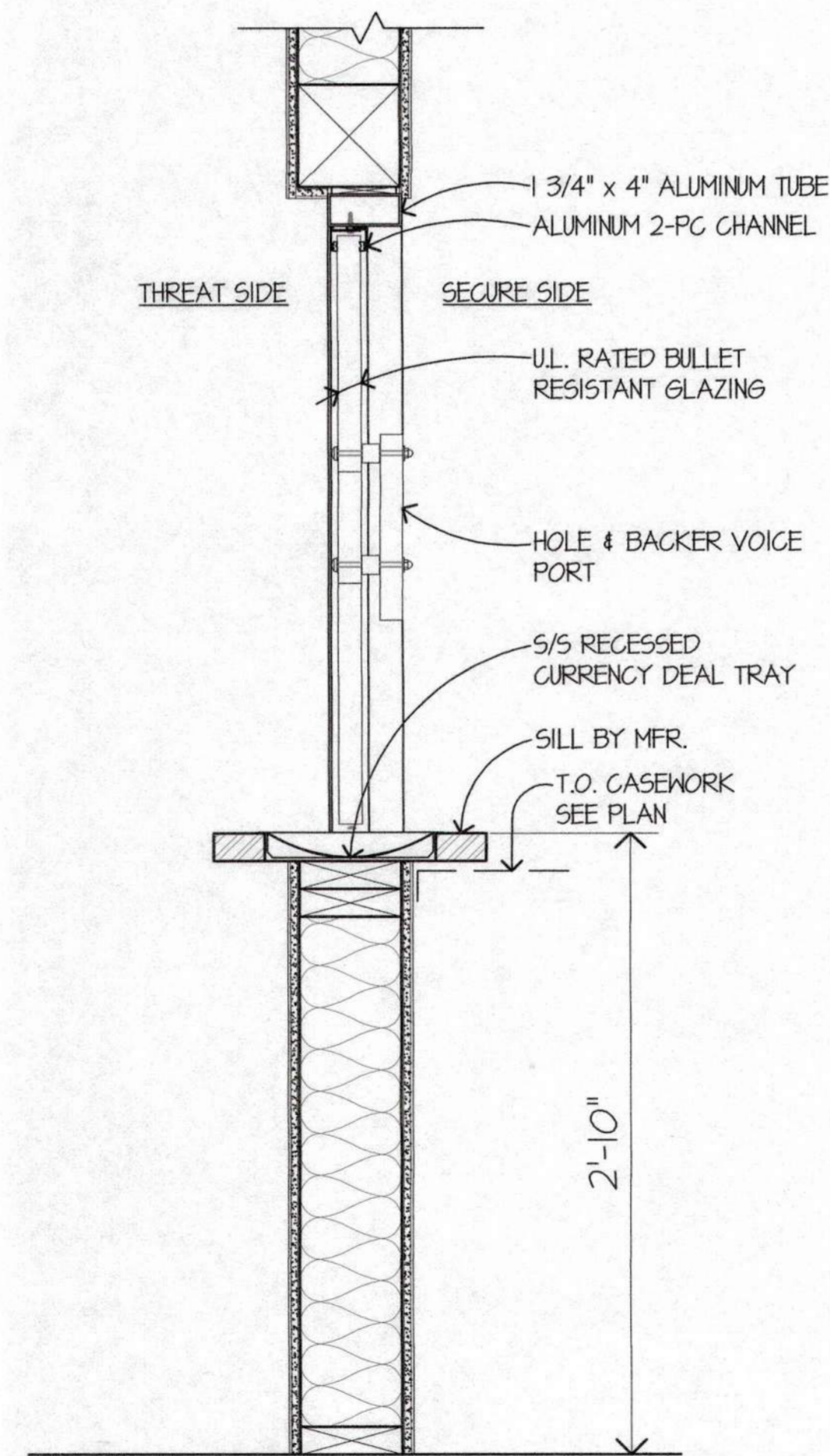
DATE: 10 OCT 2014

JTB21 DRAWN
 GADD

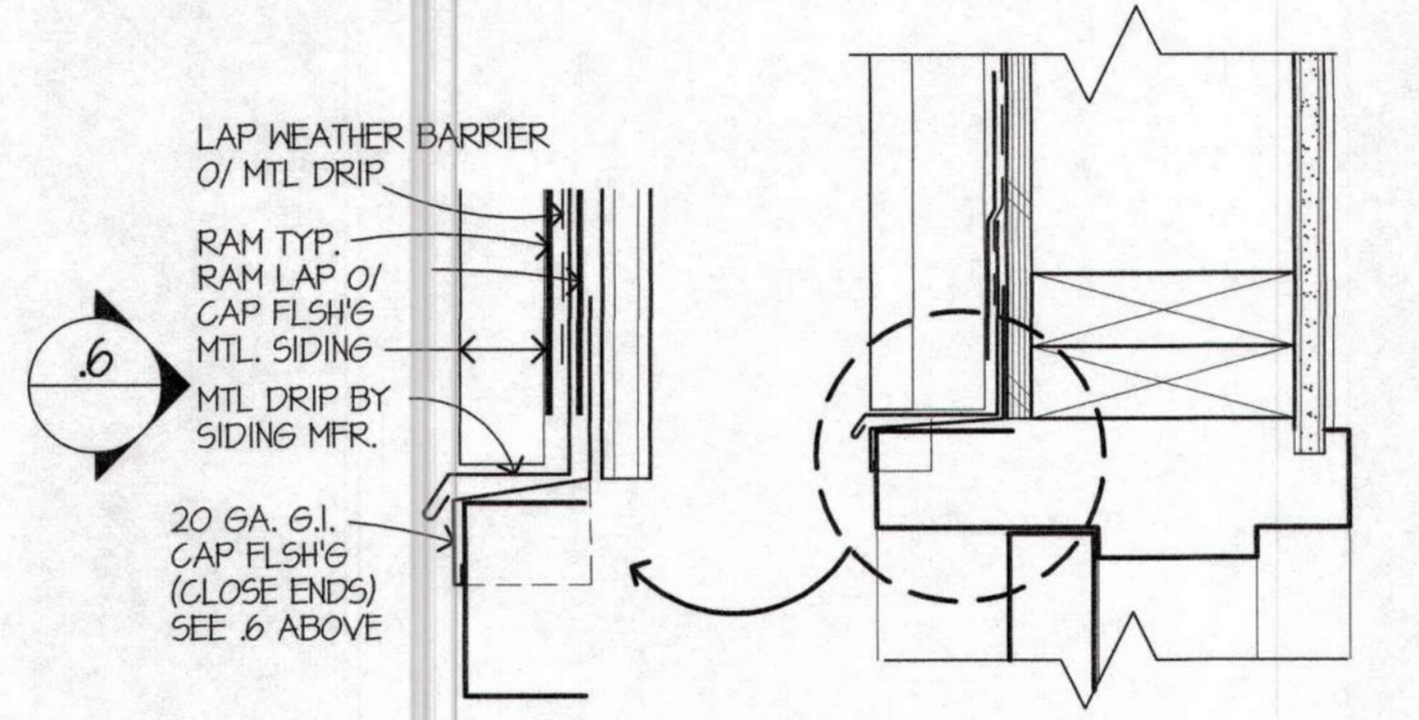
TRANSACTION WINDOW

SCALE: 1 1/2" = 1'-0"

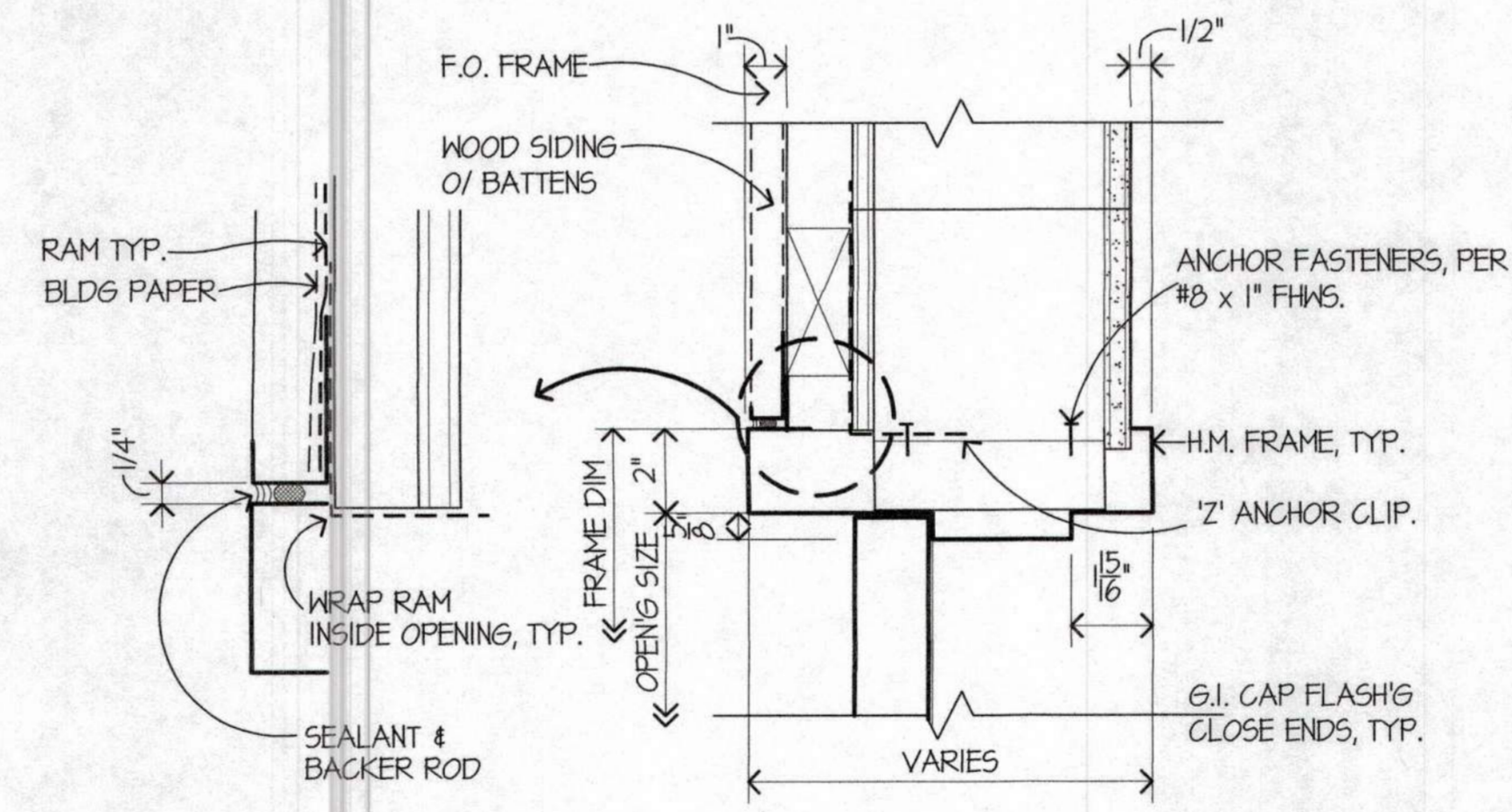
3



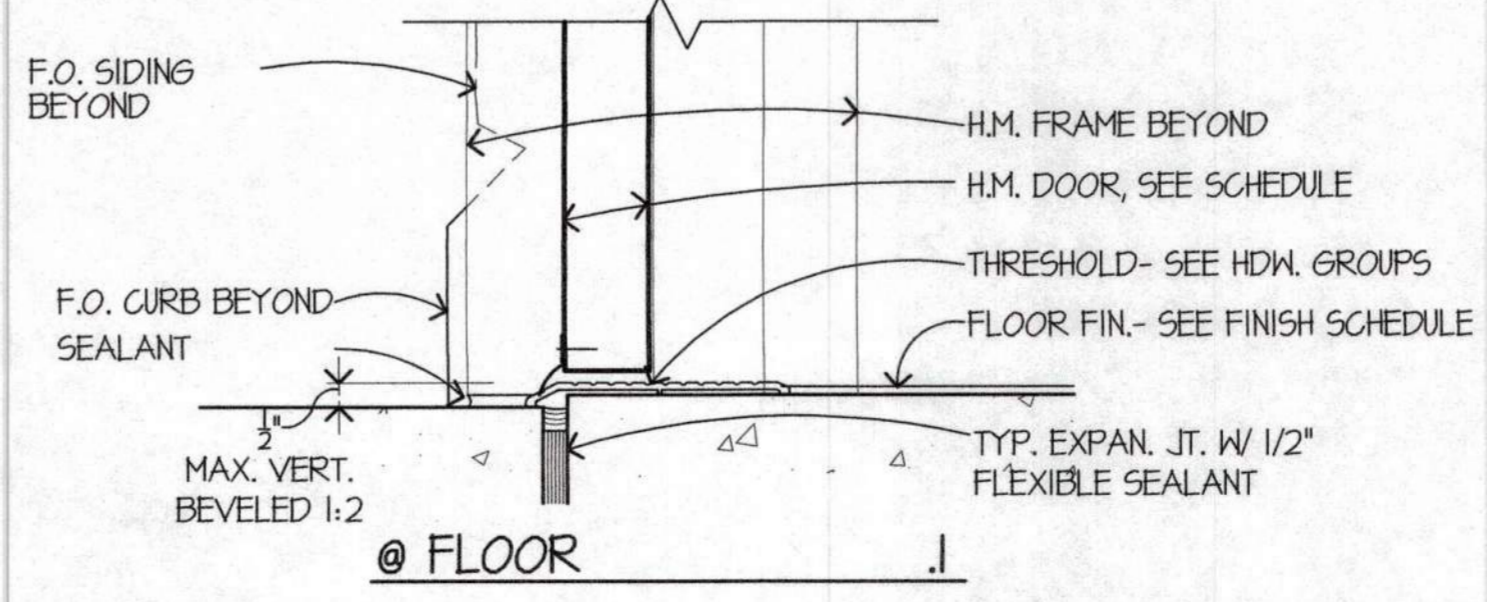
PARTIAL ELEV. .4



HEAD @ WOOD SIDING 3



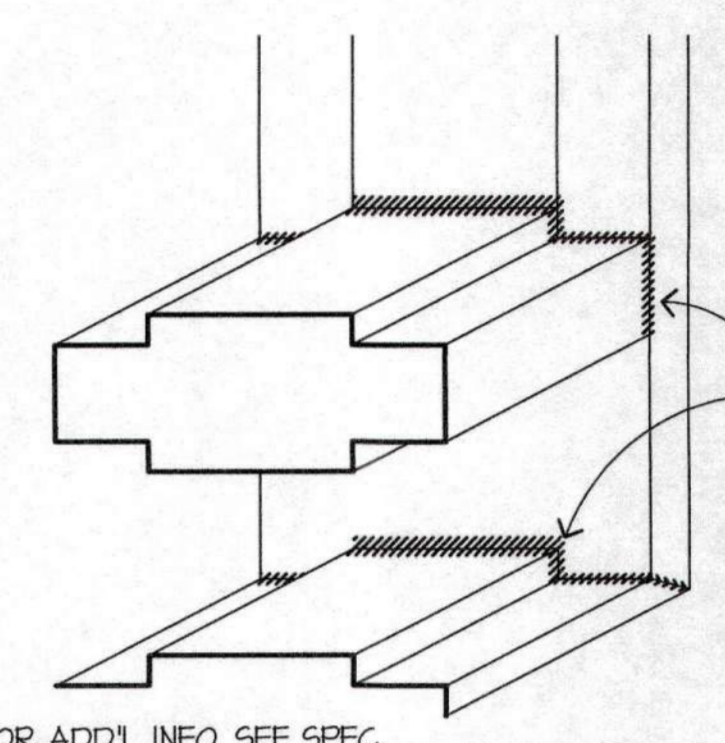
JAMB @ WOOD SIDING 2



@ FLOOR 1

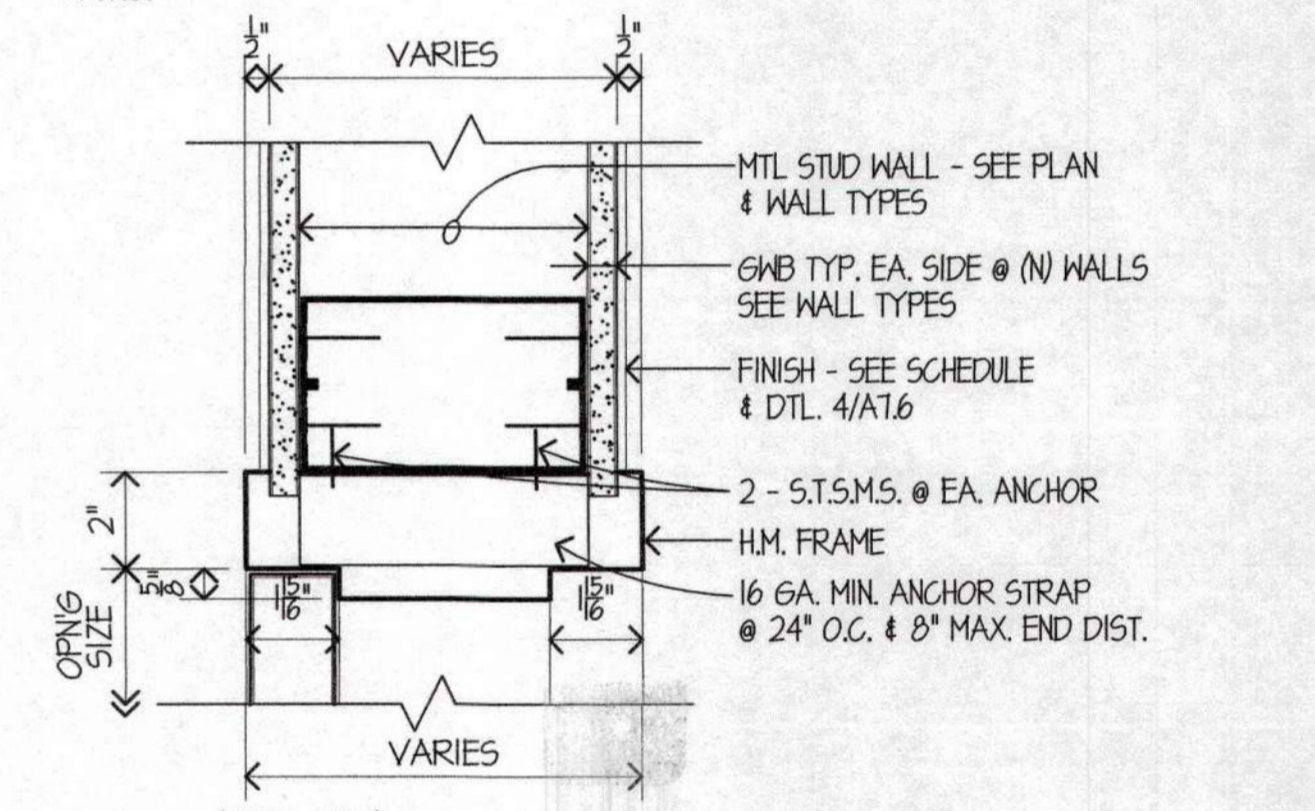
FOR EXTERIOR OPENING STRIPPING SEE DTL 1A/A1.8
EXT. H.M. DOOR FRAME
 SCALE: 3" = 1'-0"

2

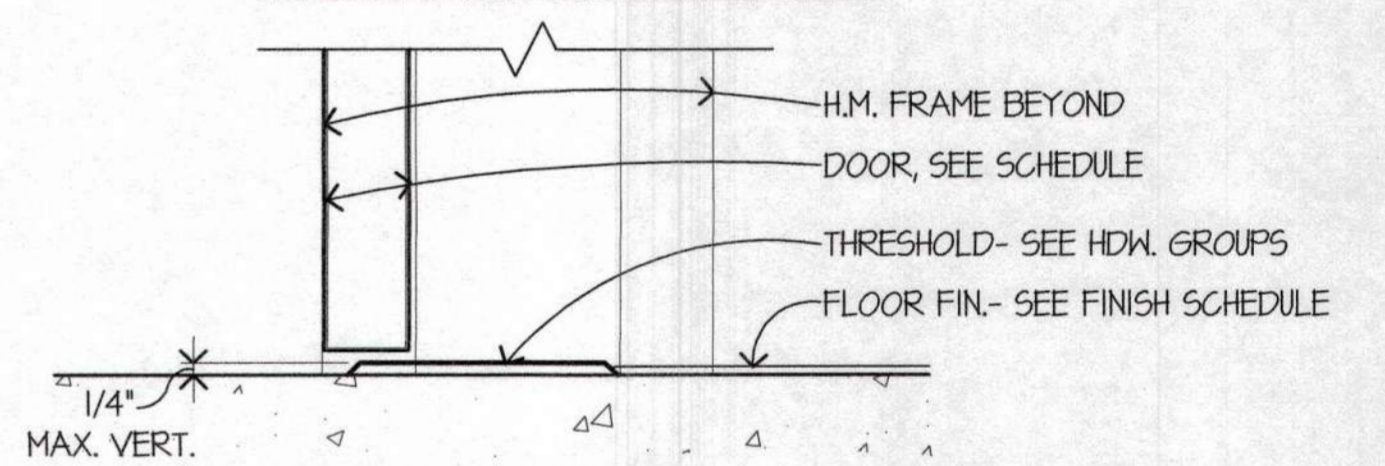


FOR ADDL INFO, SEE SPEC.
FRAME ISO
 N.T.S. .4

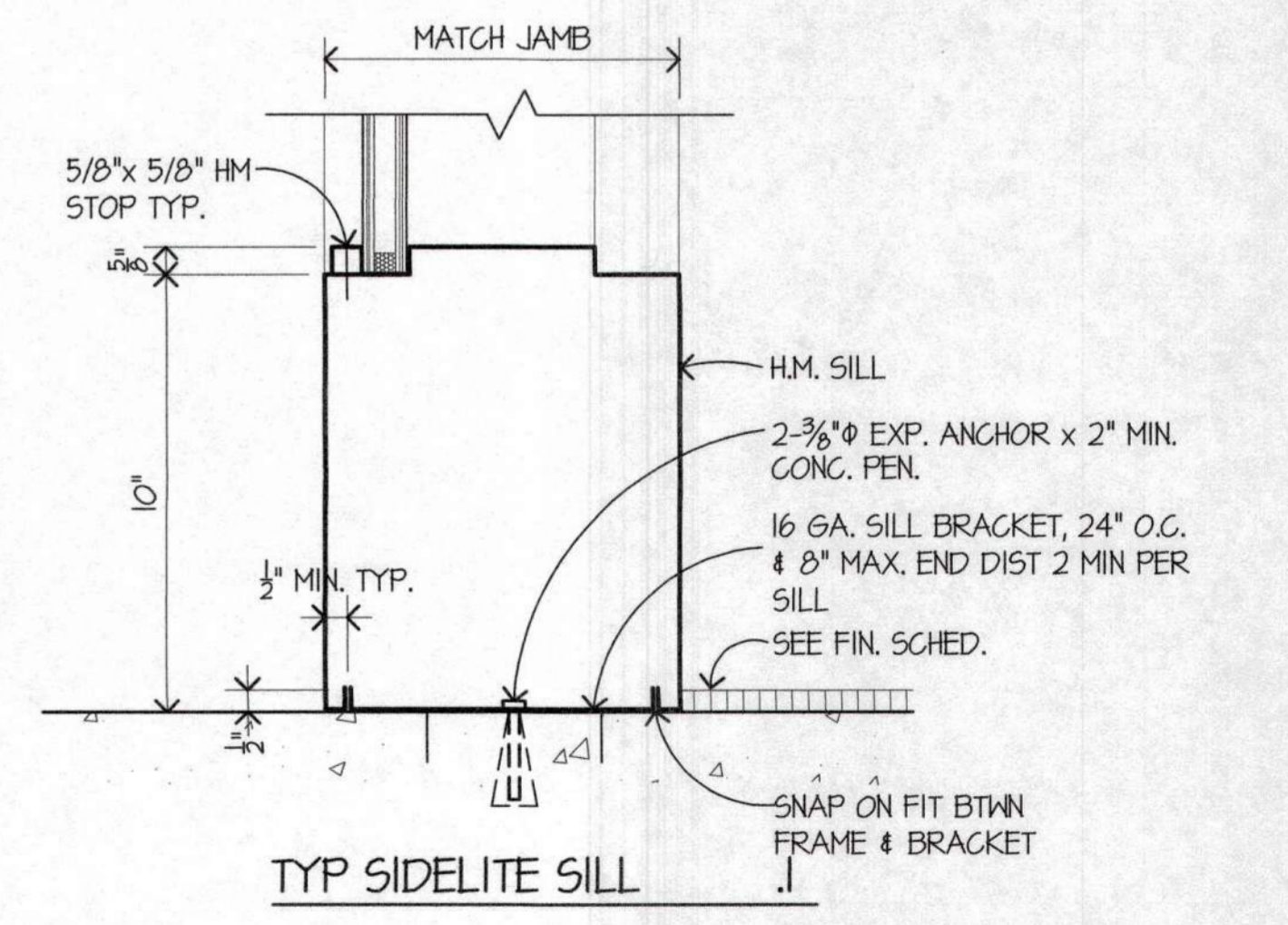
NOTE:
 FULLY WELD
 ALL AROUND
 ENTIRE
 FRAMES AND
 ENTIRE JOINTS
 TYP U.O.N.



(HEAD SIM.)
 TYP. DR. JAMB 3



TYP. DR. THRESHOLD 2

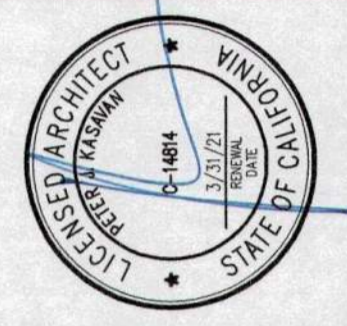


TYP SIDELITE SILL 1

INTERIOR H.M. DOOR FRAME

SCALE: 3" = 1'-0"

1



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REVISIONS:
 1 PLAN CHECK 12/05/14

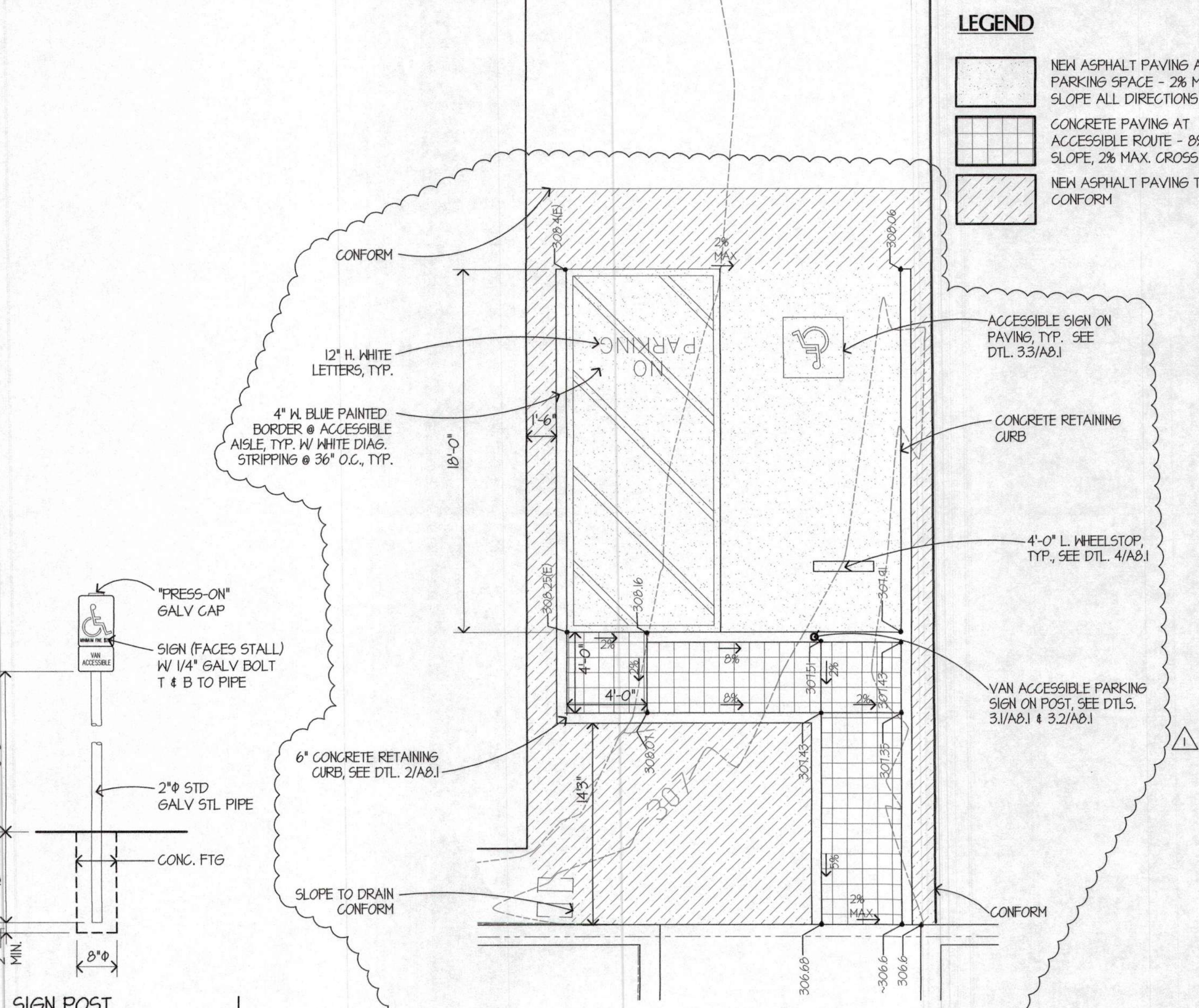
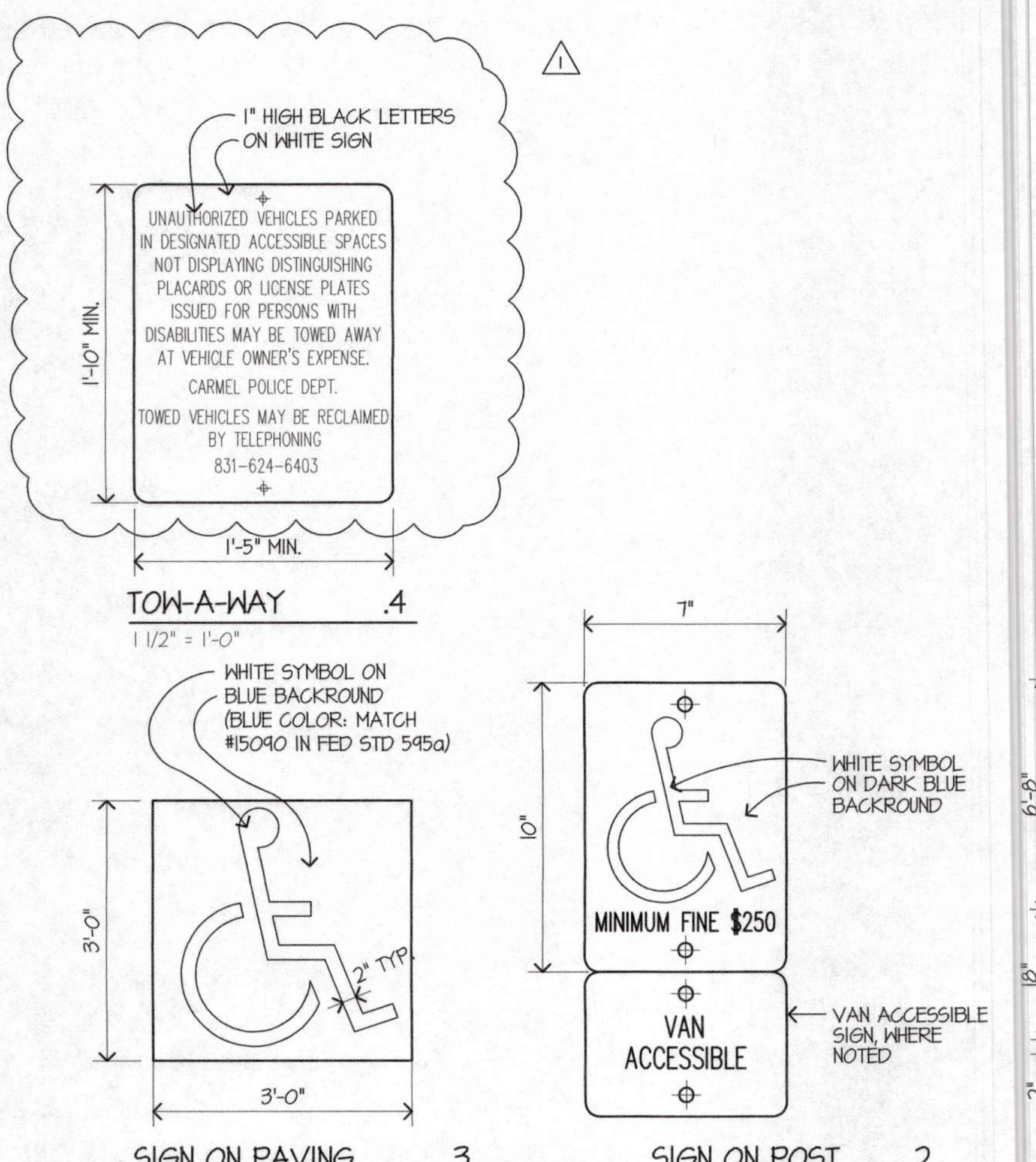
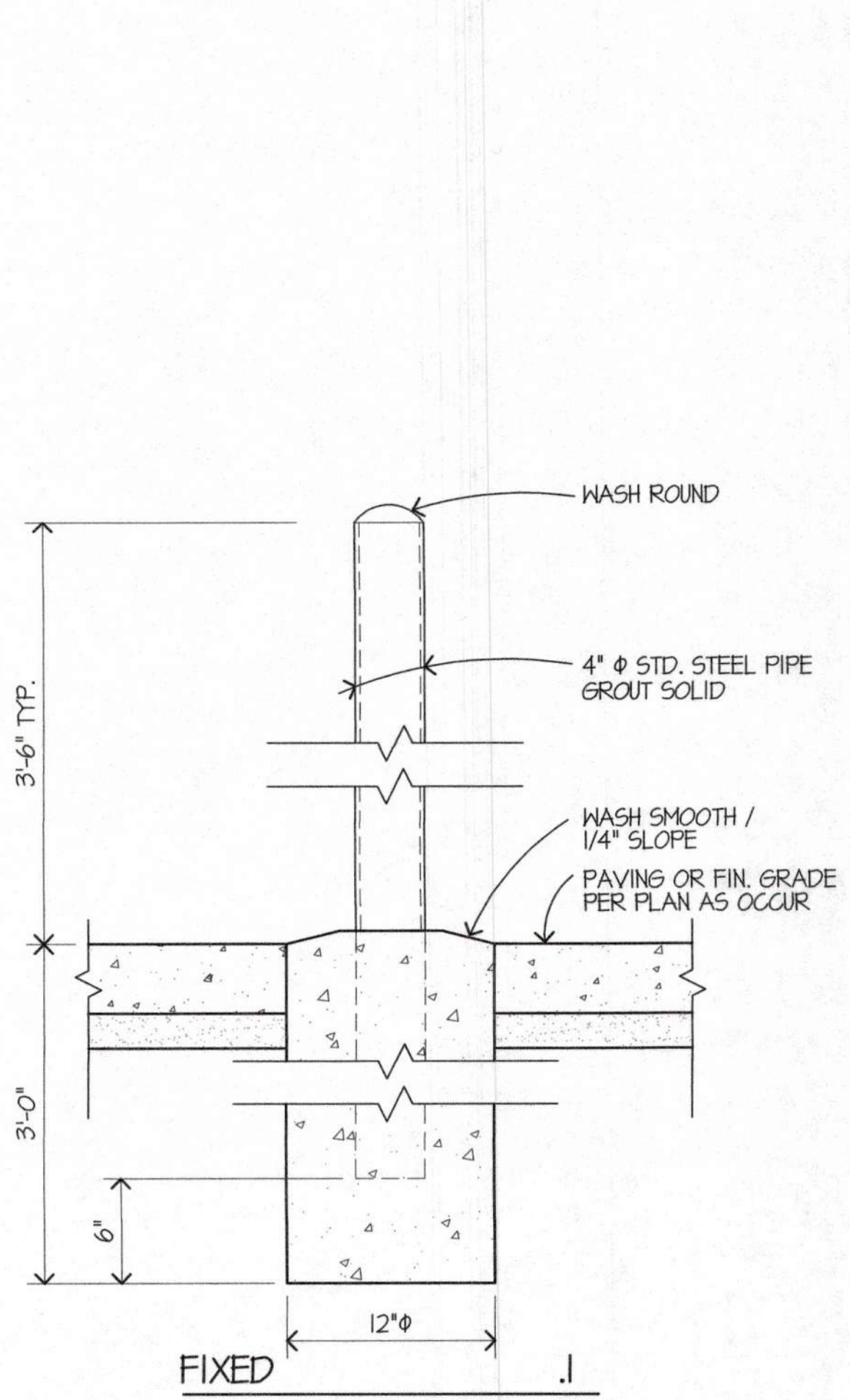
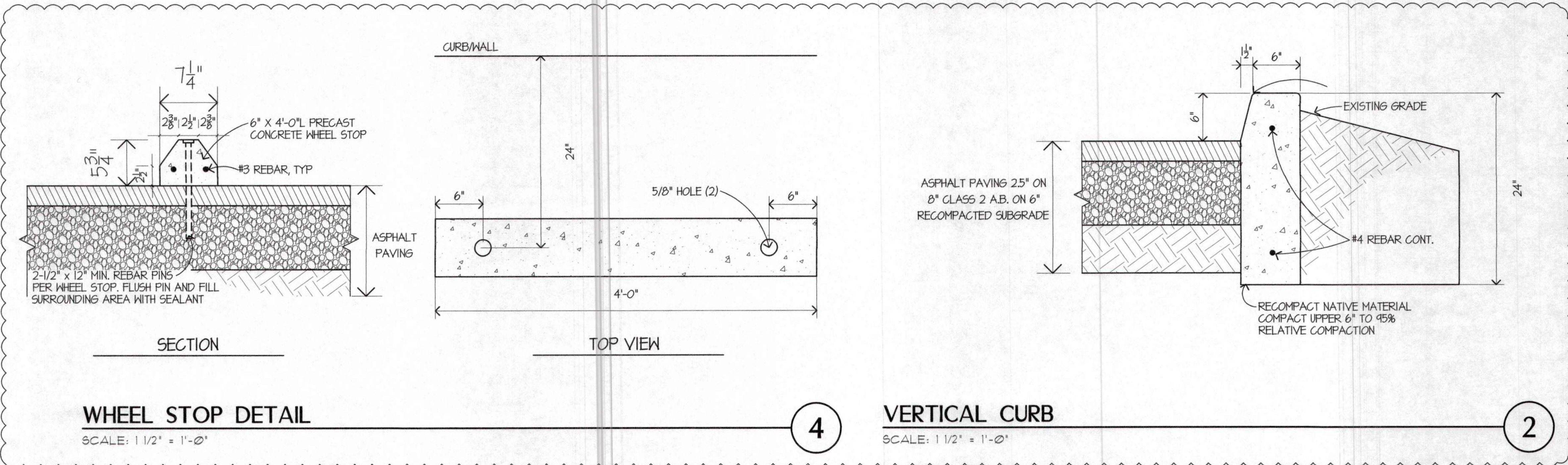
RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA POLICE DEPARTMENT
 JUNIPERO AVE. AND 4TH AVE.
 CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER

A7.2

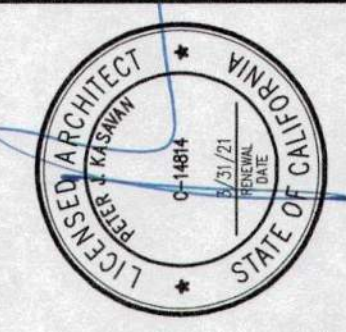
DATE: 10 OCT 2014
 JOB: 11121 DRAWN: GADD

DOOR AND WINDOW DETAILS



LEGEND

[Pattern]	NEW ASPHALT PAVING AT PARKING SPACE - 2% MAX. SLOPE ALL DIRECTIONS
[Pattern]	CONCRETE PAVING AT ACCESSIBLE ROUTE - 2% MAX. SLOPE, 2% MAX. CROSS SLOPE
[Pattern]	NEW ASPHALT PAVING TO CONFORM



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REVISIONS:

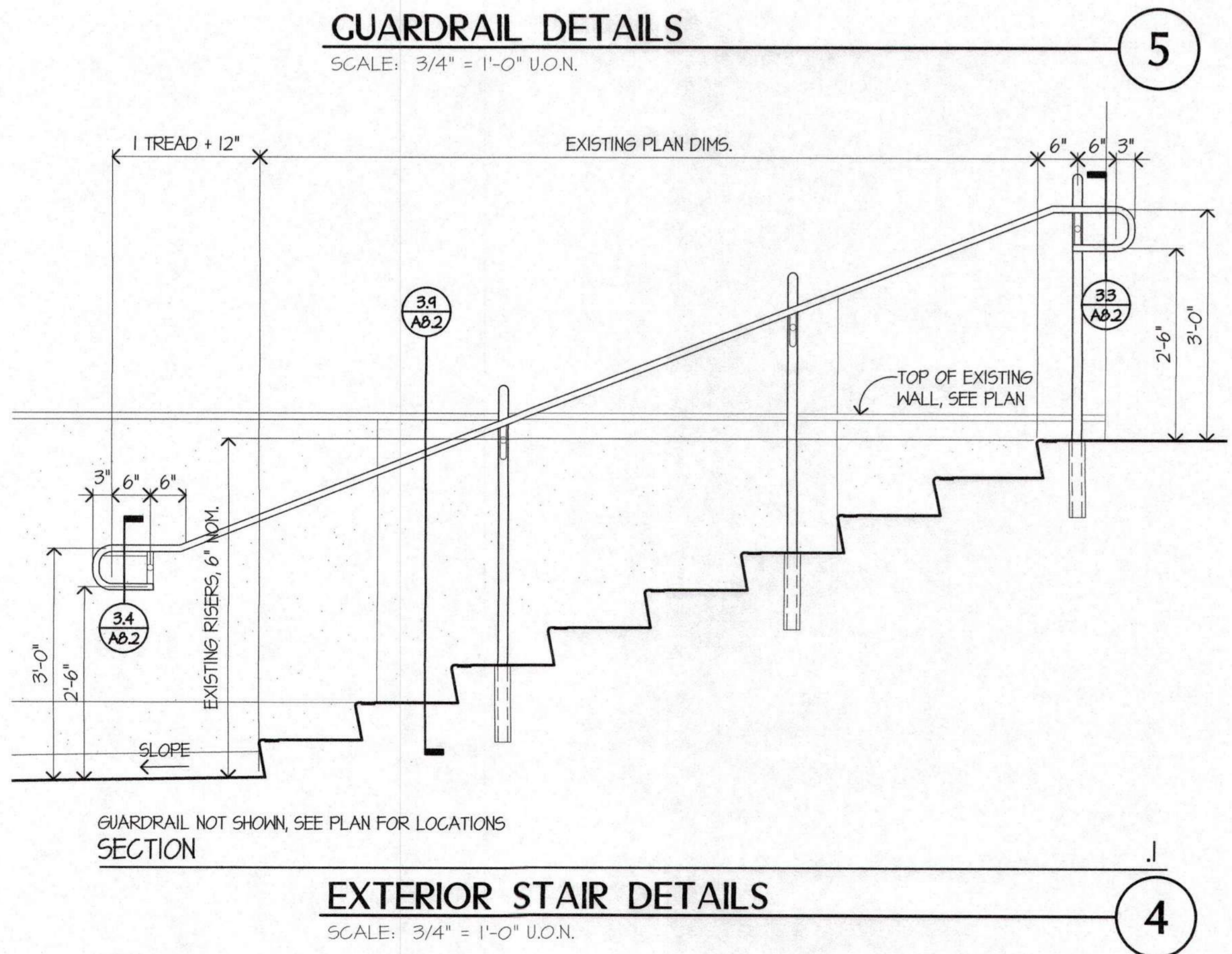
1	PLAN CHECK	12/03/14
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RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
AT: JUNIPERO AVE AND 4TH AVE.
CARMEL-BY-THE-SEA, CA 93923

PARKING

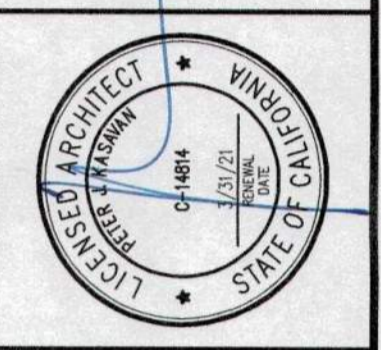
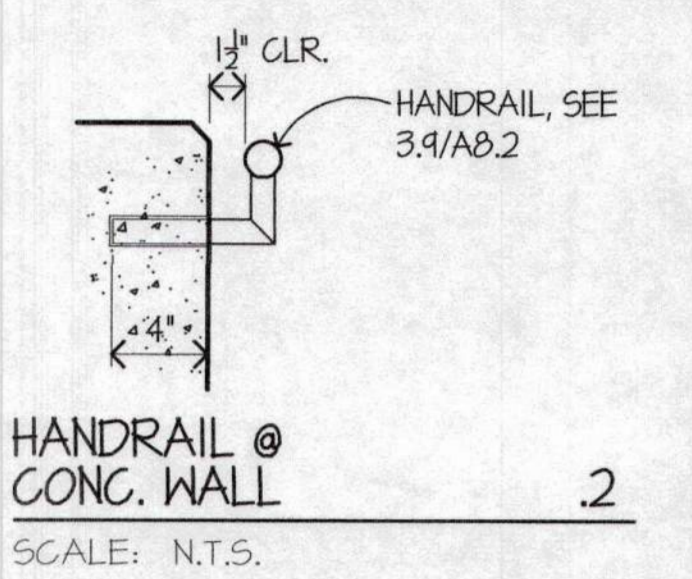
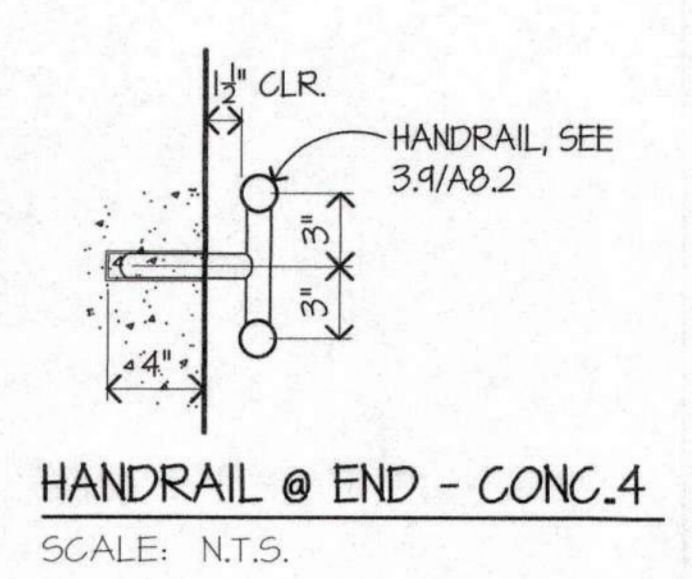
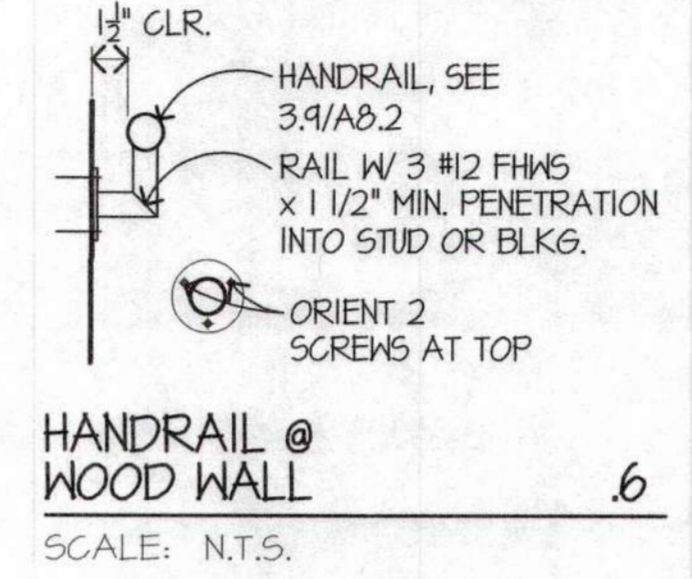
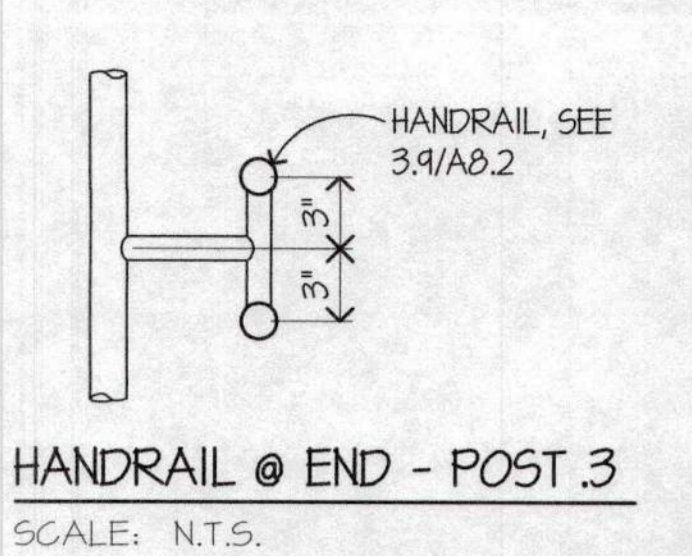
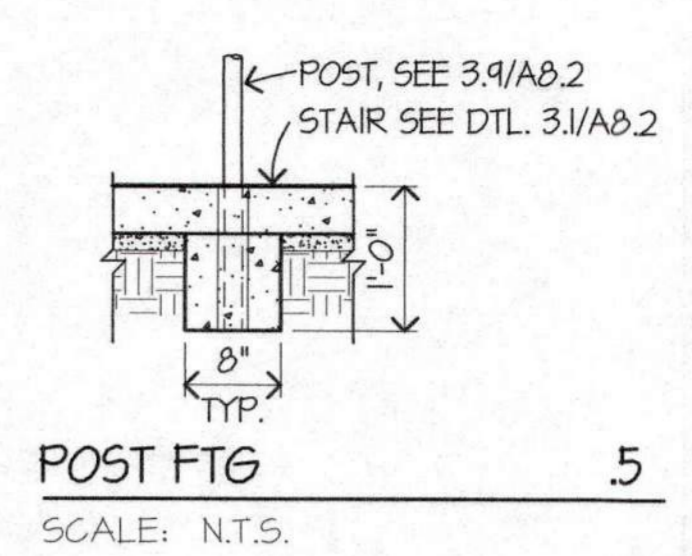
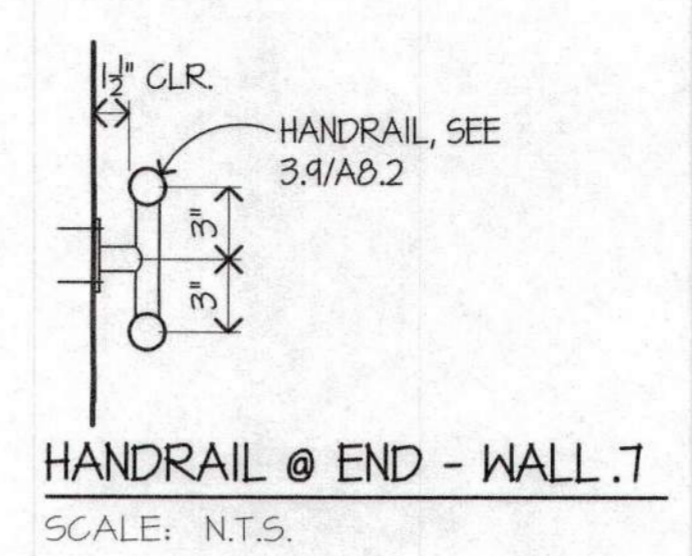
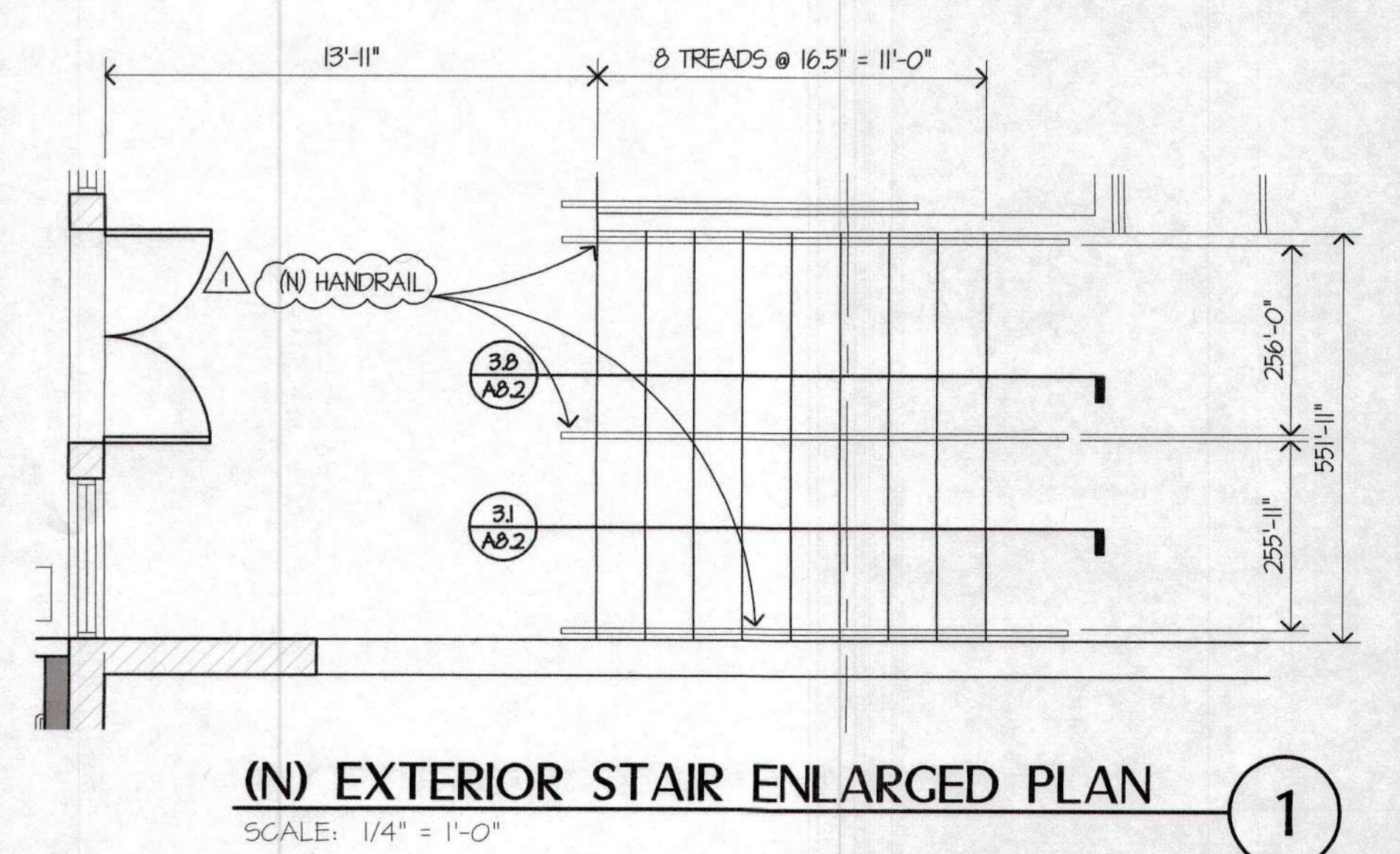
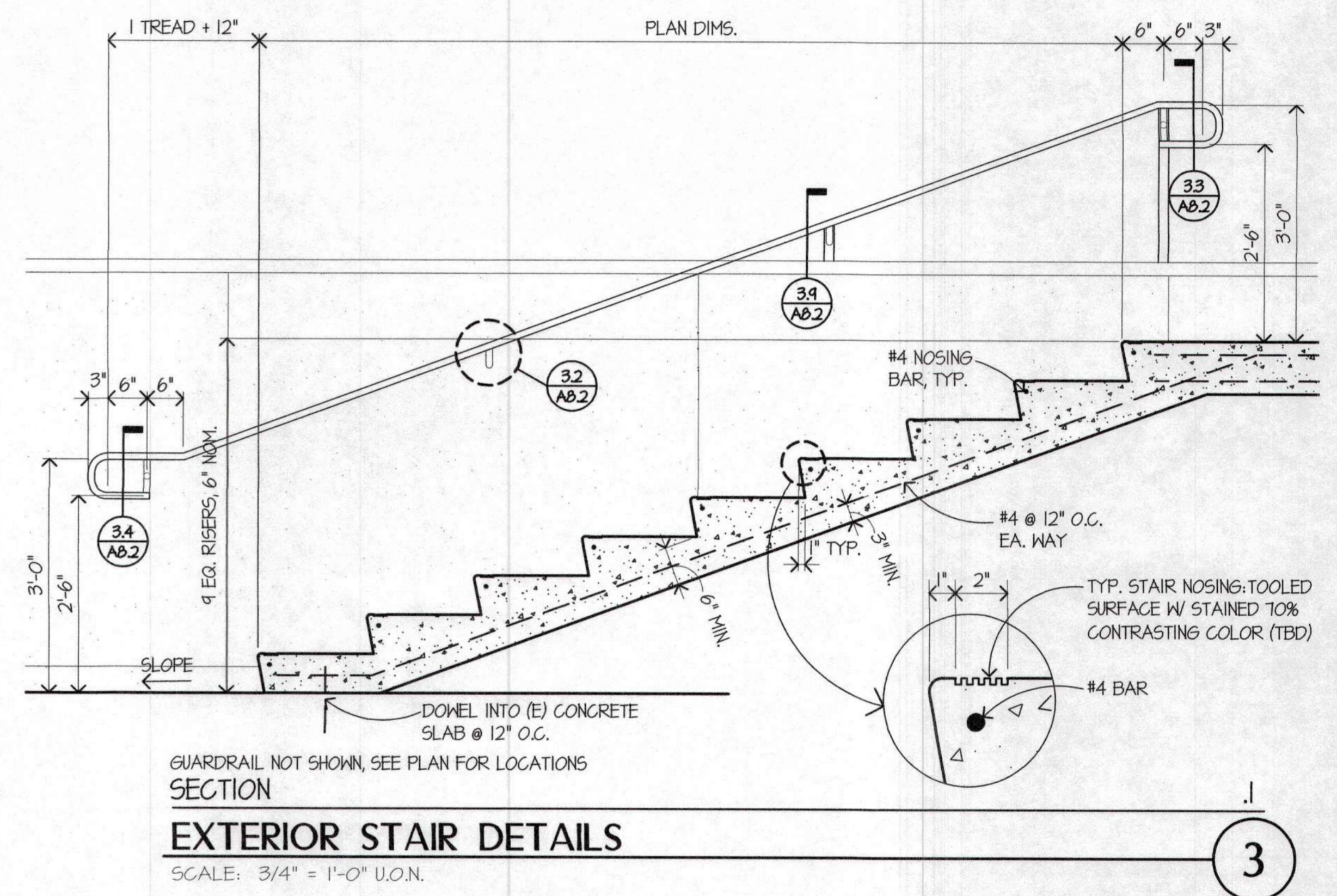
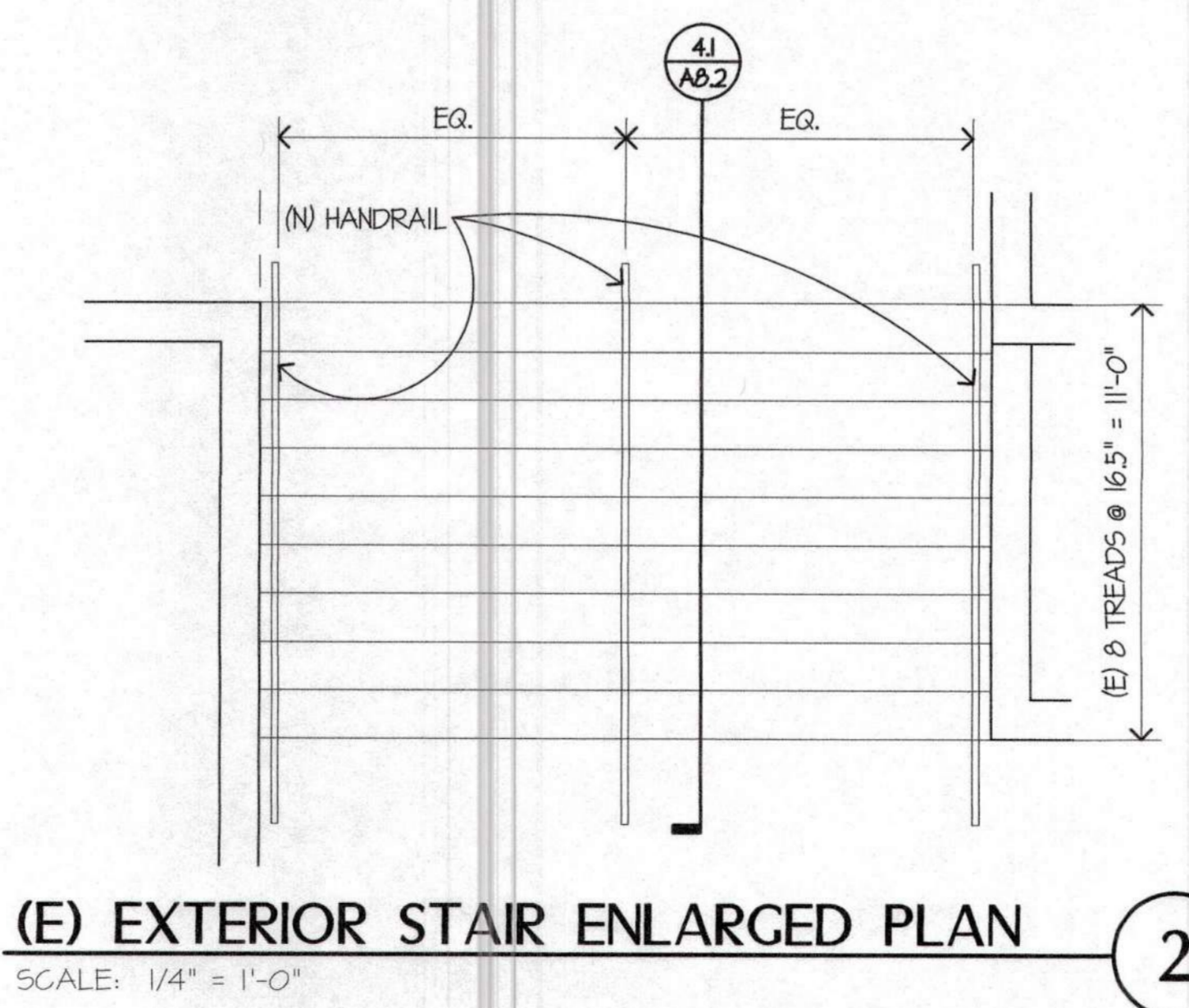
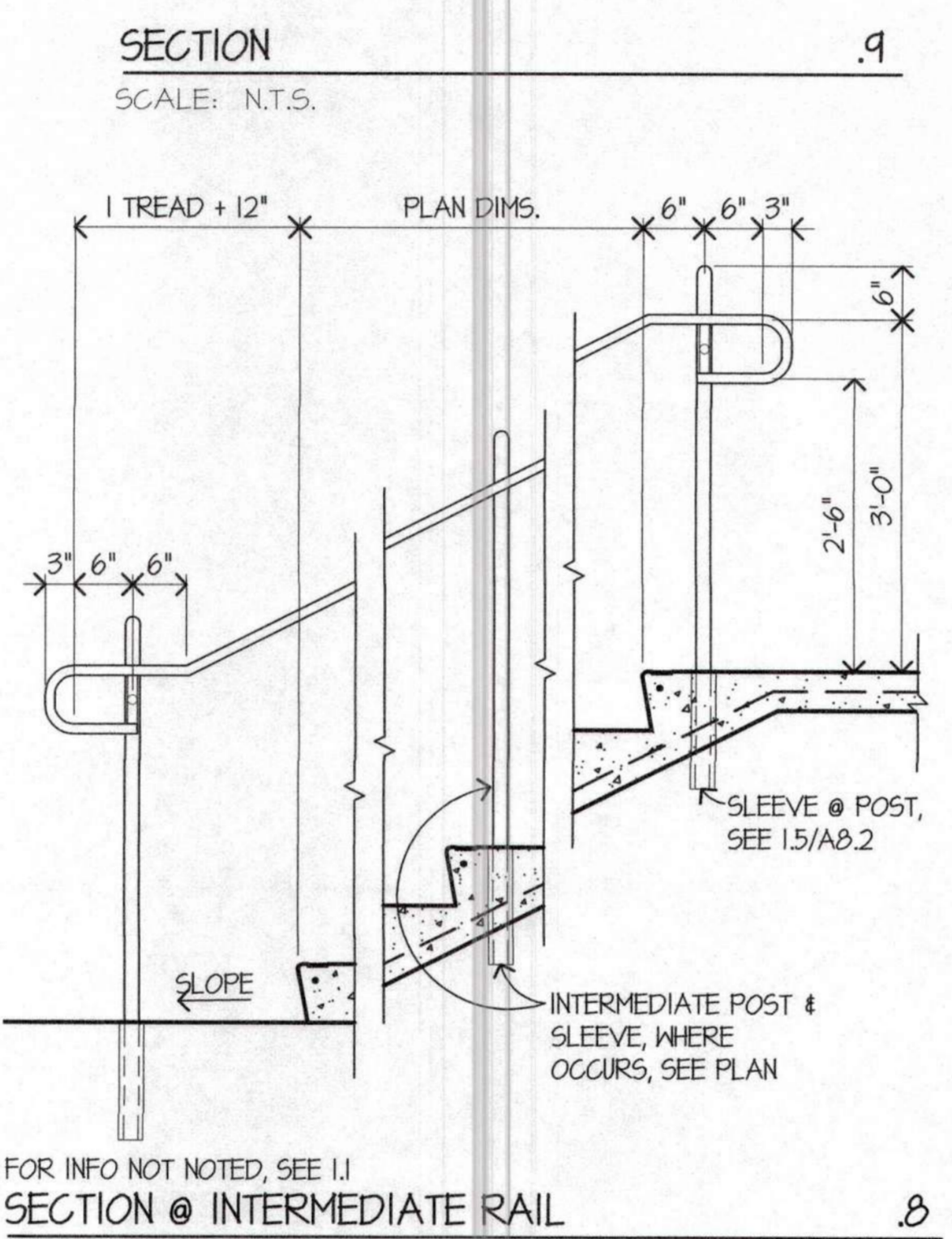
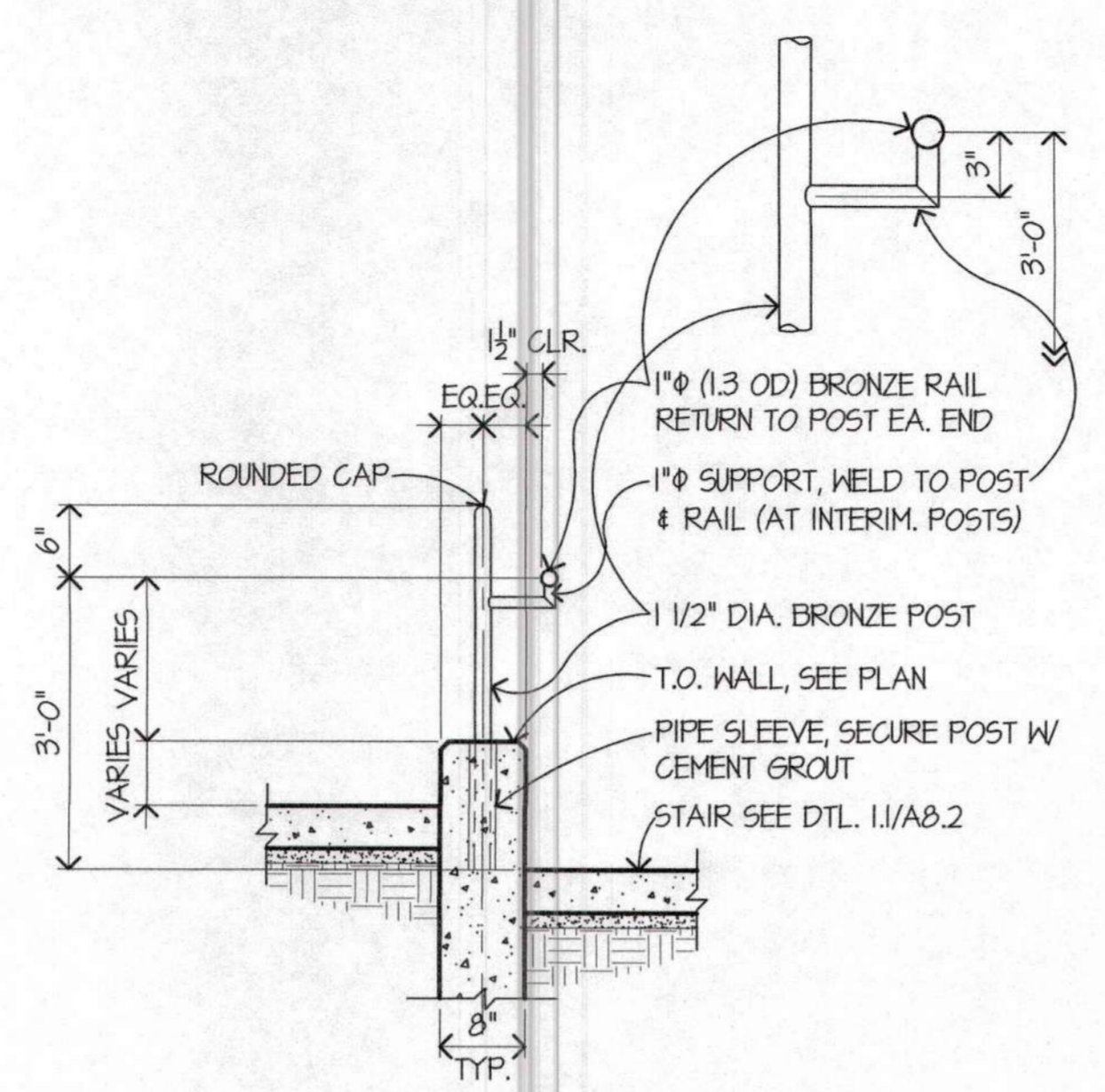
SHEET NUMBER
A8.1

DATE: 10 OCT 2014
JOB: IT21
DRAWN: GADD



GUARDRAIL DETAILS

SCALE: 3/4" = 1'-0" U.O.N.



CONSULTANTS

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REVISIONS:
PLAN CHECK 12/05/19

RENOVATIONS AND SITE IMPROVEMENTS
CITY OF CARMEL-BY-THE-SEA
POLICE DEPARTMENT
AT:
JUNIPERO AVE AND 4TH AVE
CARMEL-BY-THE-SEA, CA 93923

SHEET NUMBER
A8.2
DATE: 18 OCT 2019
JOB: 17121
DRAWN: CADD

STAR DETAILS