

ABBREVIATIONS

AB	ANCHOR BOLT	INFO	INFORMATION
AC	AIR CONDITIONER	INSUL	INSULATION
ADJ	ADJACENT	INT	INTERIOR
AFF	ABOVE FINISH FLOOR	INV	INVERT
AL	ALUMINUM	JAN	JANITOR
APPROX.	APPROXIMATELY	KIT	KITCHEN
ASPH	ASPHALT	LAM	LAMINATED
AVG	AVERAGE	LAV	LAVATORY
BD	BOARD	LB/#	POUND
BLDG	BUILDING	L.F./LF	LINEAR FLOOT
BLK/BLKG	BLOCK/BLOCKING	LS	LAG SCREW
BM	BEAM	MAX	MAXIMUM
BN	BULLNOSE	MB	MACHINE BOLT
BOT	BOTTOM	MECH	MECHANICAL
C.F.	CUBIC FOOT	MFR	MANUFACTURER
C.I.	CUBIC INCH	MIN	MINIMUM
CI	CAST IRON	MISC	MISCELLANEOUS
CJ	CEILING JOIST/CONTROL JOINT	MTL	METAL
CL	CENTER LINE	(N)	NEW
CLR	CLEAR/CLEARANCE	N.G./NG	NATURAL GRADE
CLG	CEILING	NO. / #	NUMBER
CLKG	CAULKING	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	O/	OVER
CO	CLEANOUT	OBS	OBSCURE
COL	COLUMN	O.C./OC	ON CENTER
CONC	CONCRETE	OPCI	OWNER PROVIDED.
CONN	CONNECTION		CONTRACTOR INSTALLED
CONST	CONSTRUCTION	OPOI	OWNER PROVIDED.
CONT	CONTINUOUS		OWNER INSTALLED
CTR	CENTER	OS	OCCUPANCY SENSOR
CW	COLD WATER	OZ	OUNCE
C.Y.	CUBIC YARD	PERF	PERFORATED
DBL	DOUBLE	PERP	PERPENDICULAR
DEG	DEGREE	PH	PHONE
DEPT	DEPARTMENT	PL	PLATE/ PROPERTY LINE
DET	DETAIL	PLYWD	PLYWOOD
DF	DOUGLAS FIR	PR	PAIR
DIA	DIAMETER	PREFAB	PRE-FABRICATED
DNM	DIMENSION	P.S.F.	POUNDS PER SQUARE FOOT
DN	DOWN	P.S.I.	POUNDS PER SQUARE INCH
DS	DOWNSPOUT	PTDF	PRESSURE TREATED DOUG FIR
DW	DISHWASHER	PVMT	PAVEMENT
EA	EACH	R	RISER
EJ	EXPANSION JOINT	RD	ROOF DRAIN
ELEC	ELECTRICAL	REF	REFRIGERATOR
ELEV	ELEVATION/ELEVATOR	REQ	REQUIRED
ENCL	ENCLOSURE	RM	ROOM
EOS	EDGE OF SLAB	RO	ROUGH OPENING
EO	EQUAL	ROW	RIGHT OF WAY
EQUIP	EQUIPMENT	RTS	REFER TO STRUCTURAL
EST	ESTIMATE	RWD	REDWOOD
EXIST/(E)	EXISTING	SAS	SURFACED 4 SIDES
EKT	EXTERIOR	SC	SOLID CORE
FAU	FORCED AIR UNIT	SD	SMOKE DETECTOR
FI	FIRE HYDRANT	S.F./SF	SQUARE FOOT
F.O.C.	FACE OF CURB	SH	SHEET
F.O.F.	FACE OF FINISH	SHGT	SHEATHING
F.O.S.	FACE OF STUD	SIM	SIMILAR
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FDN	FOUNDATION	SST	STAINLESS STEEL
FE	FIRE EXTINGUISHER	STD	STANDARD
FF	FINISH FLOOR	SYM	SYMBOL
F.G./FG	FINISH GRADE	STL	STEEL
FIN	FINISH	T&G	TONGUE AND GROOVE
FX	FIXTURE	T	REA
FLR	FLOOR	THK	THICK(NESS)
FDS	FACE OF STUD	TEL	TELEPHONE
FP	FIREPLACE / FLOOR PLAN	TEMP	TEMPERATURE
F.S./FS	FINISH SURFACE	T.O.C.	TOP OF CURB
FT	FOOT	T.O.F.	TOP OF FOOTING
FTG	FOOTING	T.O.W.	TOP OF WALL
G	GAS	T.O.S.	TOP OF SLAB
GA	GAUGE	TV	TELEVISION
GALV	GALVANIZED	TYP	TYPICAL
GD	GARBAGE DISPOSAL	UNO	UNLESS NOTED OTHERWISE
GL	GLASS	VCT	VINYL COMPOSITION TILE
GYP	GYPSUM	VERT	VERTICAL
HB	HOSE BIBB	V.I.F.	VERIFY IN FIELD
HC	HOLLOW CORE	W/	WITH
HDR	HEADER	W/O	WITHOUT
HORIZ	HORIZONTAL	WC	WATER CLOSET
HRDW	HARDWARE	WD	WOOD
HT	HEIGHT	WH	WATER HEATER
HW	HOT WATER	W.I.C.	WALK IN CLOSET
IN	INCH	WT	WEIGHT
INCL	INCLUDE	YD	YARD

CALIFORNIA CODE REFERENCES

THIS PROJECT SHALL COMPLY WITH CURRENT APPLICABLE CODES & ORDINANCES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA HISTORICAL BUILDING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA REFERENCE STANDARDS CODE

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GENERAL NOTES

- THE ARCHITECT HAS NO CONTROL OR RESPONSIBILITY FOR THE MEANS, TECHNIQUES, SEQUENCE, OR PROCEDURES OF CONSTRUCTION OR SAFETY PROGRAMS FOR THIS PROJECT. SUCH PROGRAMS AND COMPLIANCE WITH ALL LAWS, RULES, REGULATIONS, CODES OR ORDINANCES SHALL BE THE RESPONSIBILITY OF OTHERS.
- ALL WORK SHALL CONFORM TO APPLICABLE CURRENT FEDERAL, STATE AND LOCAL CODES. THE CONTRACTOR IS TO PROVIDE FOR ALL REQUIRED NOTIFICATION OF AND COORDINATION WITH CITY AND STATE AGENCIES, AND PROVIDE REQUIRED PERMITS. ALL TESTS AND INSPECTIONS ASSOCIATED WITH OBTAINING APPROVALS TO PROCEED WITH AND COMPLETE THE WORK SHALL BE PAID FOR BY THE CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE EXECUTION OF THEIR WORK AND FOR ANY CHANGES AND / OR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER. THE COST OF CORRECTIONS RESULTING FROM CHANGES AND / OR DEVIATIONS SHALL BE BORNE BY THE GENERAL CONTRACTOR.
- DESIGN ALTERATIONS MADE WITHOUT THE ARCHITECT'S KNOWLEDGE DURING THE COURSE OF CONSTRUCTION ARE DONE AT THE OWNER'S AND / OR CONTRACTOR'S RISK. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE CONSEQUENCES OF SUCH CHANGES.
- CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, INCLUDING AREA FOR WORK, MATERIALS STORAGE, AND ACCESS TO AND FROM THE WORK, SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK AND INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES. NOISY OR DISRUPTIVE WORK SHALL BE SCHEDULED AT LEAST ONE (1) WEEK IN ADVANCE OF THE TIME WORK IS TO COMMENCE.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL PROTECTIVE MEASURES FOR THE SAFETY OF THE PUBLIC AND WORKERS DURING THE COURSE OF THE WORK.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED FOR COMPLETION OF THE PROJECT. REMOVE ALL DEMOLISHED MATERIAL NOT DESIGNATED FOR REUSE FROM THE PREMISES.
- CONTRACTOR SHALL PROVIDE FOR ALL WORK REQUIRED TO MAINTAIN COMPLIANCE WITH LOCAL FIRE CODE.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A REASONABLE DISTRIBUTION OF COLOR RANGES AND PATTERN PRIOR TO INSTALLATION FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND PRODUCT DATA FOR ARCHITECT'S APPROVAL ON ALL SPECIAL ITEMS REQUIRING CUSTOM FABRICATION. (SHALL INCLUDE RATED FIRE DOORS AND HARDWARE).
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. ALL DIMENSIONS OF EXISTING CONDITIONS ON DRAWINGS ARE INTENDED AS GUIDELINES AND MUST BE FIELD VERIFIED. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT BEFORE CONTINUING WORK. COMMENCEMENT OF WORK IMPLIES THE ACCEPTANCE OF ALL CONDITIONS. CONTRACTOR SHALL ALSO COORDINATE THE WORK WITH THE WORK OF ALL OTHER TRADES.
- OMISSIONS MADE IN THESE DRAWINGS AND SPECIFICATIONS WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS OR SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- A COMPLETE SET OF CONTRACT DOCUMENTS MUST BE KEPT AT THE JOB SITE AT ALL TIMES AND ANY CHANGES MUST BE NOTED THEREON AND INITIALED.
- DO NOT SCALE DRAWINGS FOR ANY REASON. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT BEFORE CONTINUING WORK.
- PATCH, REPAIR, OR REPLACE ALL WORK DAMAGED BY NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL PATCH WALL AND FLOOR TO CONFORM TO MATERIAL, TEXTURE, AND SURFACE ALIGNMENT WITH THE ADJOINING SURFACE.
- REPLACE OR RELOCATE ALL EXISTING PIPING, CONDUIT, WIRING, ETC. REQUIRED FOR THE COMPLETION OF NEW WORK.
- AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR ANY WORK DONE IN THE PUBLIC R.O.W.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.
- ALL GLASS SHALL BE CLEAR TEMPERED GLASS, UNLESS OTHERWISE NOTED. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.

DRAWING SYMBOLS

KEYNOTE

ELEVATION MARKER

NORTH ARROW

REVISION MARKER

ELEV NUMBER
SHEET NUMBER

& DIRECTION
OF VIEW

PROJECT DIRECTORY

OWNER THE CITY OF CARMEL BY THE SEA MONTE VERDE ST CARMEL BY THE SEA, CA 93923	CONTACT BOB HARARY PHONE 831.620.2000 EMAIL rharary@ci.carmel.ca.us
ARCHITECT TEN OVER STUDIO 539 MARSH ST SAN LUIS OBISPO, CA 93401	CONTACT CANDICE WONG PHONE 805.926.1010 EMAIL candicew@tenoverstudio.com
PROJECT MANAGER AUSONIO INCORPORATED 11420 A, COMMERCIAL PKWY CASTROVILLE, CA 95012	CONTACT DIANE MILLER PHONE 831.238.8639 EMAIL diane@ausonio.com

PROJECT DESCRIPTION

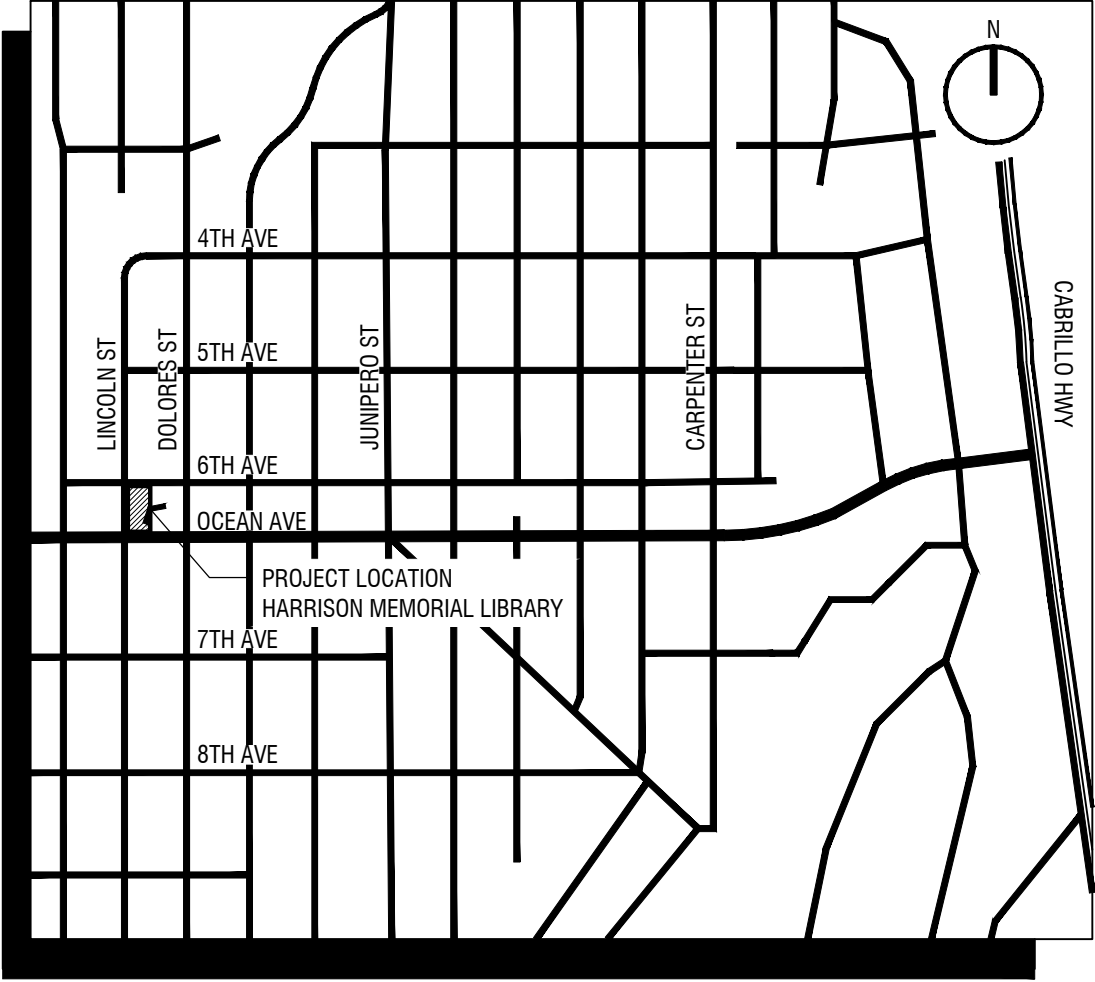
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BID ALTERNATES

THE FOLLOWING ARE A LIST OF BID ALTERNATES FOR THIS PROJECT. REFER TO DIVISION 01 SPECIFICATION SECTION 01 23 00 - ALTERNATES FOR ADDITIONAL INFORMATION:

- HARRISON MEMORIAL LIBRARY INTERIOR PAINTING - PAINT ALL INTERIOR SURFACES EXPOSED TO VIEW, WHERE INDICATED ON THE CONTRACT DRAWINGS. FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND INSURANCE NECESSARY TO PROVIDE MOVING AND STORAGE ON-SITE OF FURNITURE, ART, AND MISCELLANEOUS ITEMS TO PERFORM SURFACE PREPARATION AND FIELD APPLICATION OF PAINT SYSTEMS, STAINS AND OTHER COATINGS.

VICINITY MAP



SHEET INDEX

T1.0	TITLE SHEET
A1.1	SITE PLAN
A2.0	FIRST FLOOR PLAN AND PAINT SCHEDULE
A2.1	BASEMENT AND MEZZANINE FLOOR PLAN AND PAINT SCHEDULE
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS

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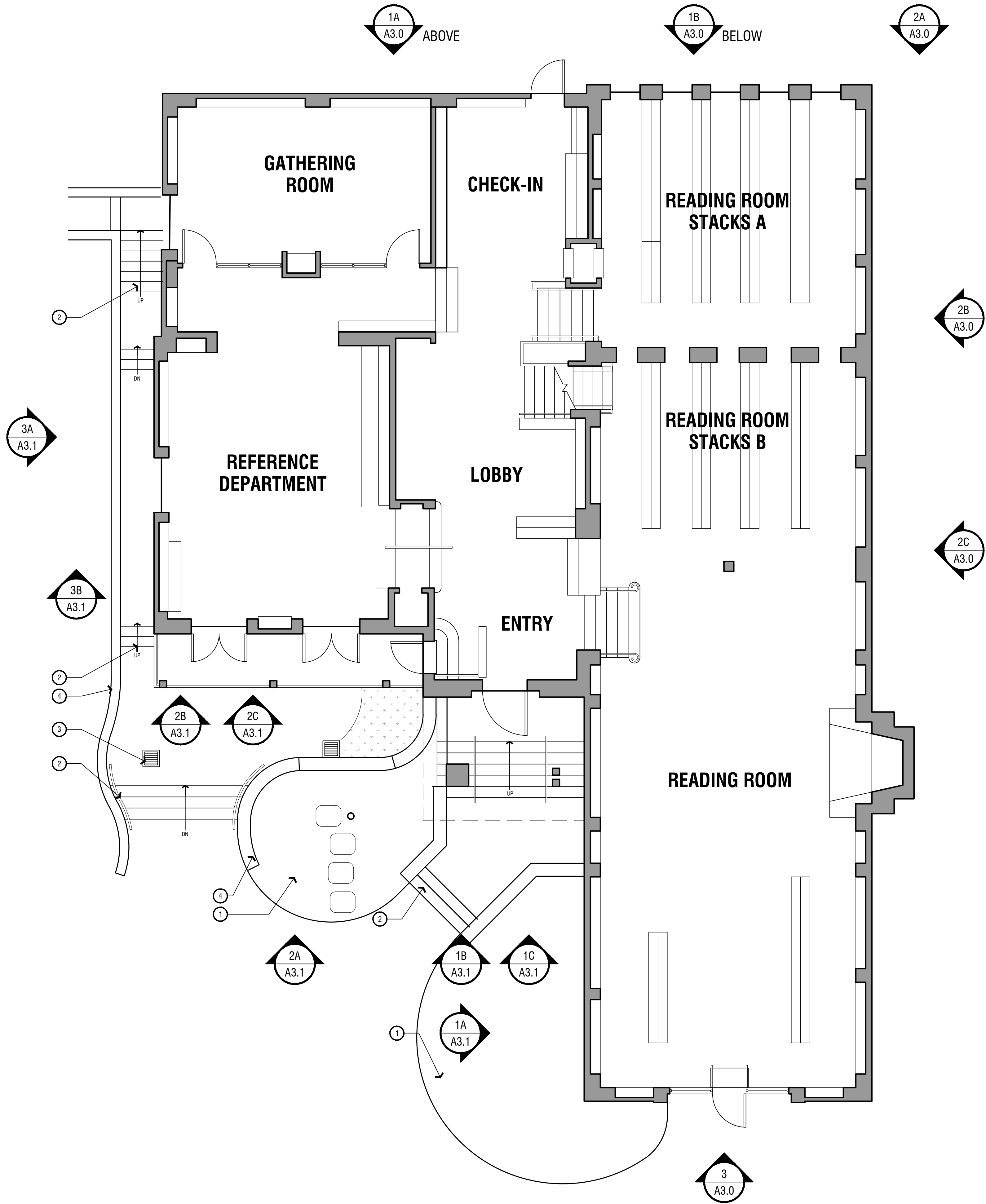
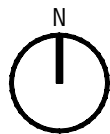
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PROJ #:	2022-065
DRWN BY:	AA/DL
CHK'D BY:	JP/HD

DATE	SUBMITTAL
03/06/2023	DRAFT SUBMITTAL
04/24/2023	FINAL SUBMITTAL

TITLE SHEET

T1.0

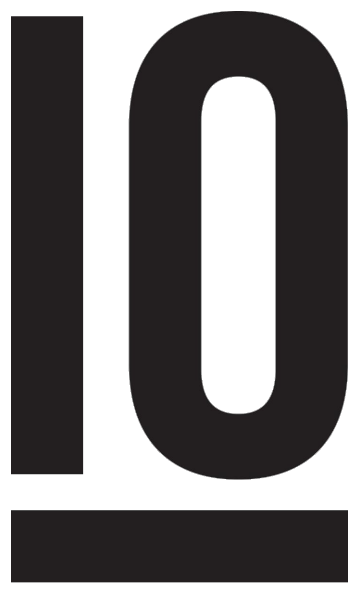


ARCHITECTURAL SITE PLAN GENERAL NOTES

1. PROTECT ALL TREES IN THE CONSTRUCTION ZONE FROM DAMAGE. TREES THAT HAVE BEEN DAMAGED BY CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTED ARBORICULTURE METHODS.
2. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL SUBMIT A SITE PLAN WITH STAGING AREA INDICATED FOR REVIEW AND APPROVAL BY THE CITY.
3. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL DEMOLITION, CONSTRUCTION AND GRADING.

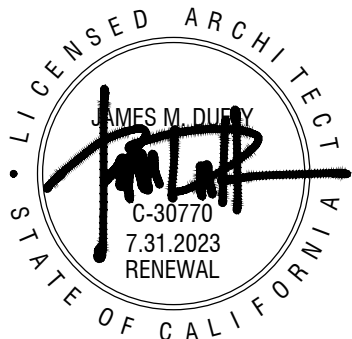
KEYNOTES

- 1 (E) LANDSCAPE AREA, NOT IN SCOPE
- 2 (E) STAIRS TO REMAIN
- 3 (E) STORM DRAIN/CATCH BASIN
- 4 (E) RETAINING WALL
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12



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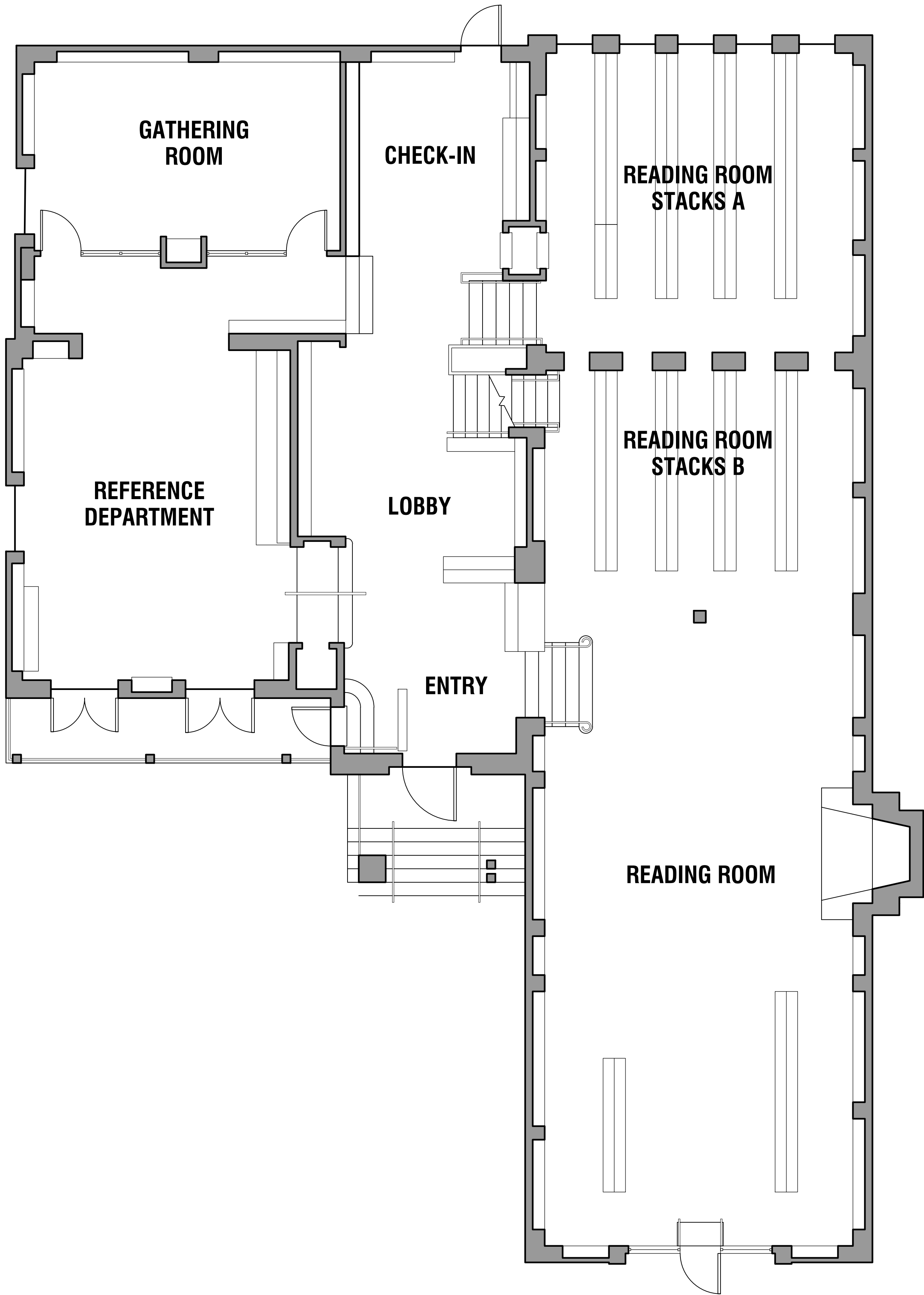
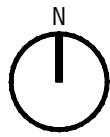
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SITE PLAN

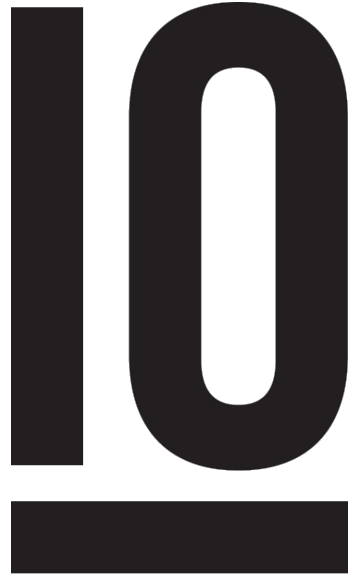


FINISH PLAN GENERAL NOTES

- 1. PROVIDE PAINT APPLICATION APPROPRIATE TO THE SUBSTRATE TO WHICH IT IS TO BE APPLIED.
- 2. ALL EXPOSED GYP. BD. SURFACES ARE TO RECEIVE NEW PAINT FINISH. PREP ALL SURFACES AS REQUIRED FOR NEW PAINT FINISH. PROVIDE ONE PRIME COAT PLUS TWO FINISH COATS
- 3. PAINT EXPOSED BOOKSHELF SURFACES WHERE NOTED IN THE FINISH SCHEDULE. INTERIOR OF BOOK SHELVES AND SHELVING ARE TO REMAIN UNPAINTED AND BE PROTECTED.
- 4. PAINT EXPOSED ELECTRICAL RACEWAYS TO MATCH THE ADJACENT WALL SURFACE.
- 5. PAINT REVEALS AND FILER PANELS TO MATCH ADJACENT FINISHES, UNO.

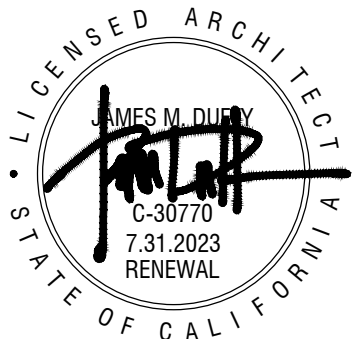
FINISH LEGEND		
ID	DESCRIPTION	SPEC
PNT-1	PAINT	KELLY MOORE WHIPPED CREAM KMW48 - EGGSHELL
PNT-2	PAINT	KELLY MOORE WHIPPED CREAM KMW48 - SEMIGLOSS
PNT-3	PAINT	SHERWIN WILLIAMS SW 6075 GARRET GRAY - SEMIGLOSS
PNT-4	PAINT	SHERWIN WILLIAMS SW 7020 BLACK FOX - SEMIGLOSS
FRP	WALL PROTECTION PANEL	CRANE GLASBORD OR EQUAL. PEBBLE EMBOSSED - WHITE
ACT	(E) ACOUSTICAL CEILING TILE	(E) TO REMAIN
WB	(E) WOOD BASE	PAINTED PNT-2
CB	(E) COVE BASE	(E) FLOORING COVED UP THE WALL TO REMAIN
RB	NEW RUBBER BASE	ROPPE PINNACLE

INTERIOR FINISH SCHEDULE																		
ROOM		N			E			S			W			DOORS	INT. WINDOW	BOOK-SHELVES	CEILING	NOTES
LEVEL	NAME	WALLS	WAINS	BASE	WALLS	WAINS	BASE	WALLS	WAINS	BASE	WALLS	WAINS	BASE					
1	ENTRY	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB			PNT-4	-	(E) CEILING PAINT TO REMAIN
1	LOBBY	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB			PNT-4	-	(E) CEILING PAINT TO REMAIN
1	CHECK-IN	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB			PNT-4	-	(E) CEILING PAINT TO REMAIN
1	REFERENCE STACKS	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB			PNT-4	-	(E) CEILING PAINT TO REMAIN
1	REFERENCE DEPARTMENT	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB			PNT-4	-	(E) CEILING PAINT TO REMAIN
G	READING ROOM	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB			PNT-4	-	(E) CEILING PAINT TO REMAIN
G	READING ROOM STACKS A	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB			PNT-4	ACT	(E) CEILING TO REMAIN
G	READING ROOM STACKS B	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB			PNT-4	ACT	(E) CEILING TO REMAIN



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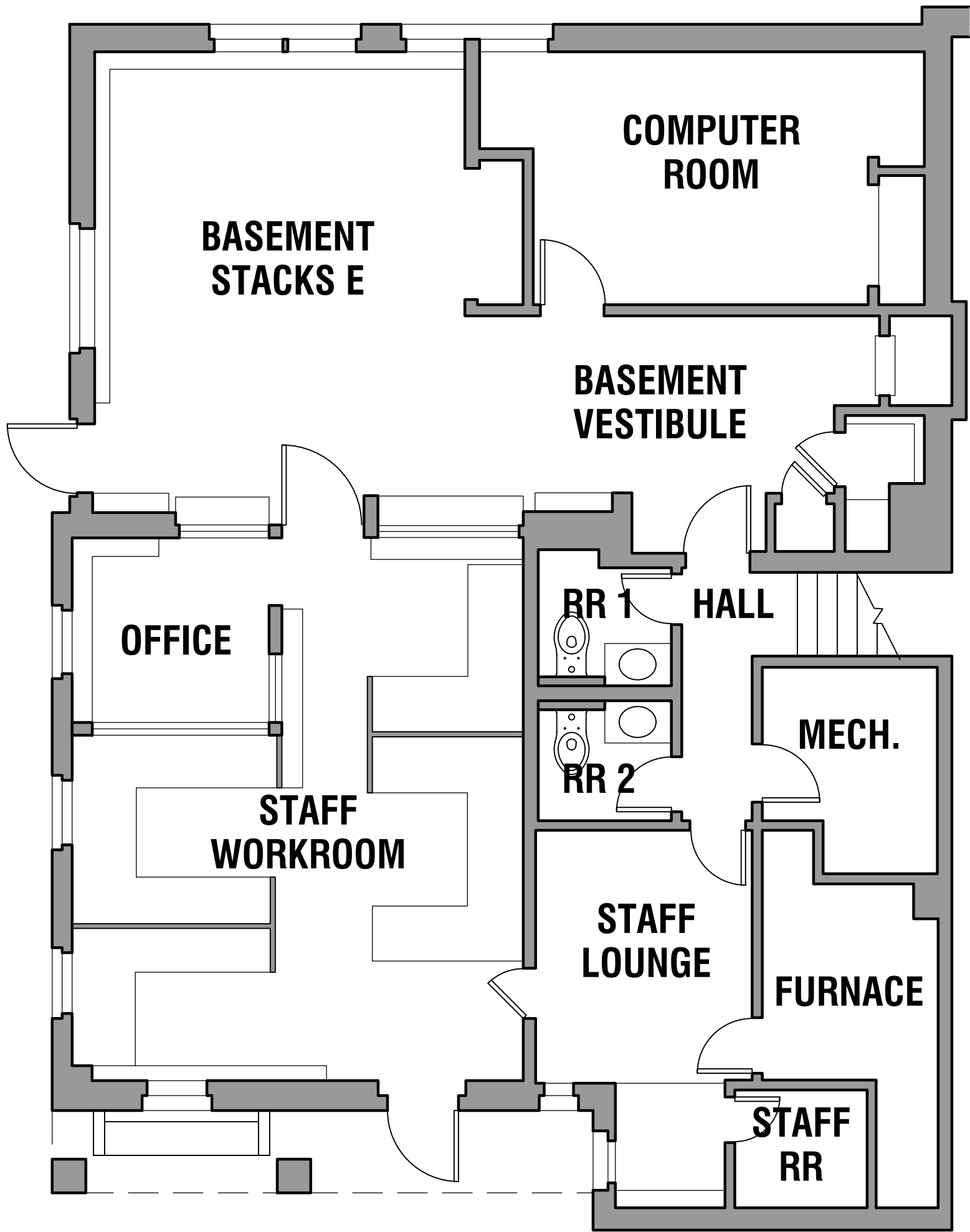
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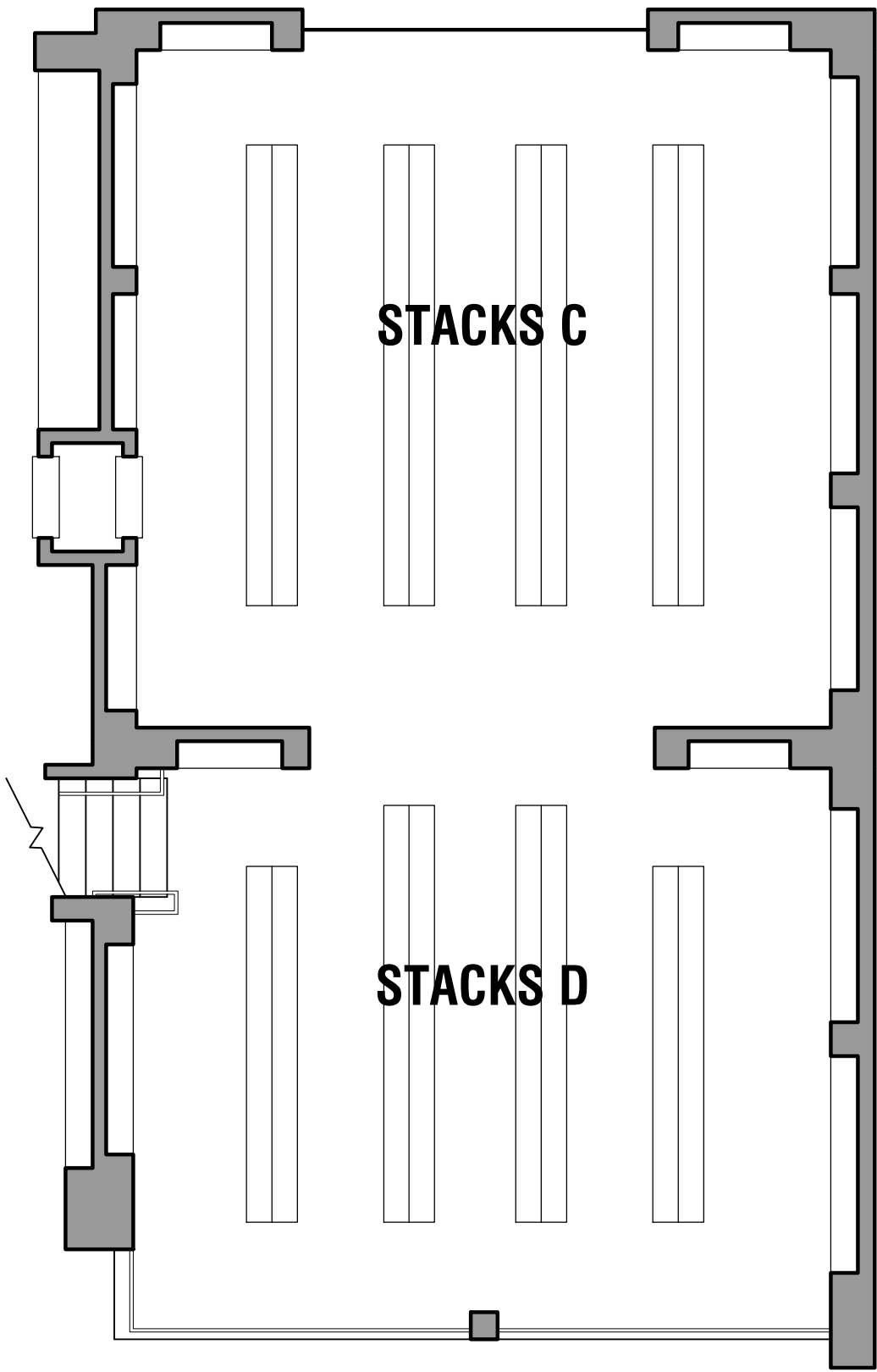
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FIRST FLOOR
PLAN



1 BASEMENT FLOOR PLAN

SCALE: 3/16" = 1'-0"



2 MEZZANINE FLOOR PLAN

SCALE: 3/16" = 1'-0"



FINISH LEGEND		
ID	DESCRIPTION	SPEC
PNT-1	PAINT	KELLY MOORE WHIPPED CREAM KMW48 - EGGSHELL
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LEVEL	NAME	WALLS	WAINS	BASE	WALLS	WAINS	BASE	WALLS	WAINS	BASE	WALLS	WAINS	BASE					
M	STACKS C	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB			PNT-4	-	(E) CEILING PAINT TO REMAIN
M	STACKS D	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB			PNT-4	-	(E) CEILING PAINT TO REMAIN
B	BASEMENT STACKS E	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB			PNT-4	PNT-1	(E) PAINT ON UTILITY PIPES TO REMAIN. SEE INTERIOR PAINT SPECIFICATION FOR TOUCH-UP INSTRUCTIONS AND COLORS.
B	COMPUTER ROOM	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	(E) TO REMAIN
B	BASEMENT VESTIBULE	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB				PNT-1	
B	HALL	PNT-1		RB	PNT-1		RB	PNT-1		RB	PNT-1		RB				PNT-1	
B	OFFICE	(E) TO REMAIN		WB	(E) TO REMAIN		WB	(E) TO REMAIN		WB	(E) TO REMAIN		WB				ACT	WALL MURAL TO REMAIN
B	STAFF WORKROOM	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB	PNT-1	-	WB					ACT
B	STAFF LOUNGE	PNT-1		RB	PNT-1		RB	PNT-1		RB	PNT-1		RB				PNT-1	(E) KITCHENETTE CASEWORK - PNT-2
B	STAFF RESTROOM	PNT-1	FRP	CB	PNT-1	FRP	CB	PNT-1	FRP	CB	PNT-1	FRP	CB				-	(E) VINYL FLOORING COVED UP WALL
B	RESTROOM 1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	PNT-1	(E) TO REMAIN
B	RESTROOM 2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	PNT-1	(E) TO REMAIN
B	MECHANICAL	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	(E) TO REMAIN
B	FURNACE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	(E) TO REMAIN

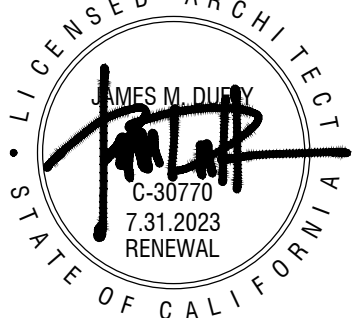
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3. PAINT EXPOSED BOOKSHELF SURFACES WHERE NOTED IN THE FINISH SCHEDULE. INTERIOR OF BOOK SHELVES AND SHELVING ARE TO REMAIN UNPAINTED AND BE PROTECTED.
4. PAINT EXPOSED ELECTRICAL RACEWAYS TO MATCH THE ADJACENT WALL SURFACE.
5. PAINT REVEALS AND FILER PANELS TO MATCH ADJACENT FINISHES, UNO.



TEN OVER
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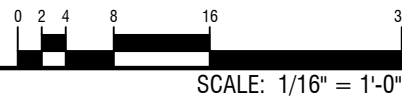
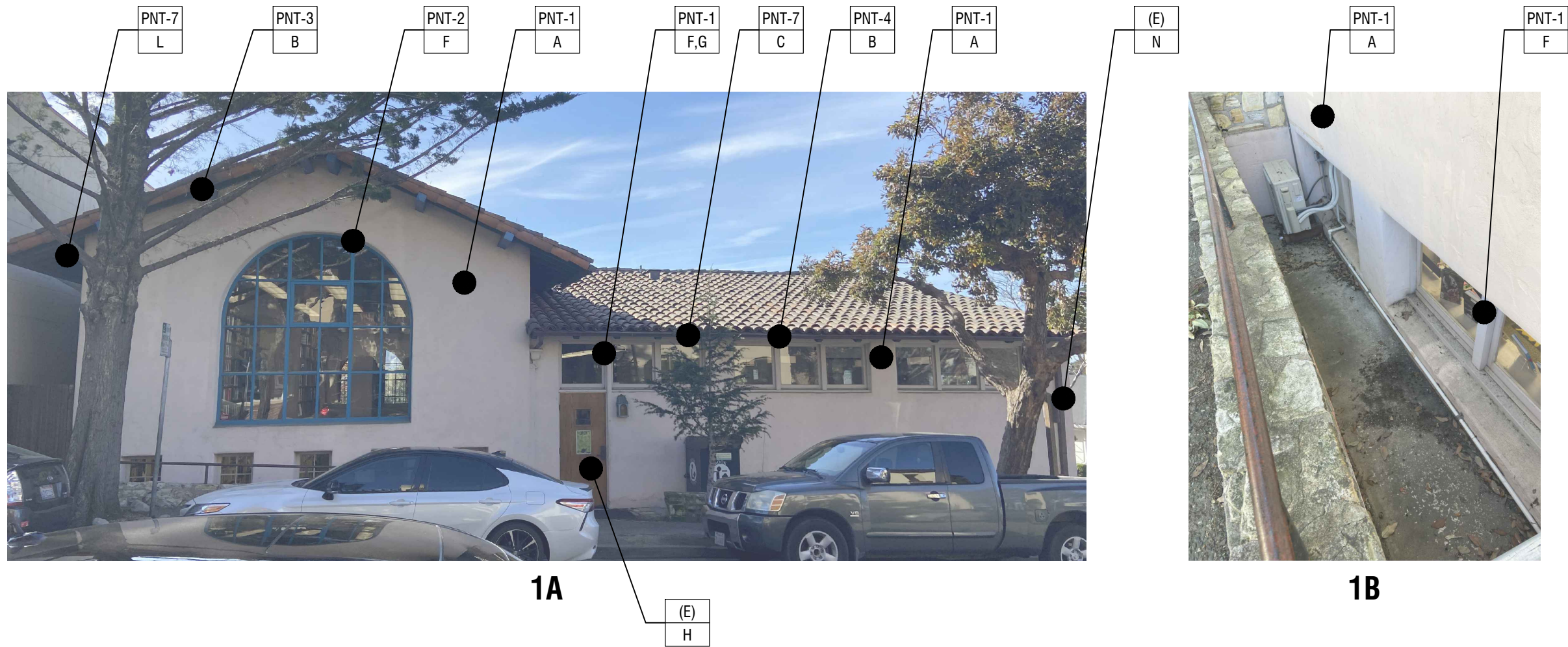
PROJ #: 2022-065
DRWN BY: AA/DL
CHKD BY: JP/HD

DATE SUBMITTAL
03/06/2023 DRAFT SUBMITTAL
04/24/2023 FINAL SUBMITTAL

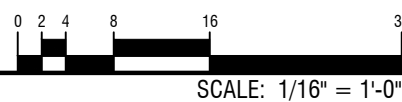
MEZZANINE &
BASEMENT PLANS

A2.1

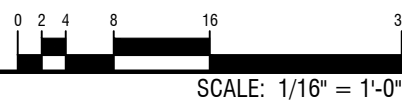
1 NORTH ELEVATION



2 EAST ELEVATION



3 PARTIAL SOUTH ELEVATION



EXTERIOR ELEVATIONS LEGEND

COLORS AND MATERIALS

#	- COLOR
X	- MATERIAL
COLORS	
PNT-1	KELLY MOORE WOOLLY BEIGE KM4514
PNT-2	KELLY MOORE TINY BUBBLES KMA31
PNT-3	KELLY MOORE COASTAL SURF KM4967
PNT-4	KELLY MOORE O'NEAL GREEN KMA19
PNT-5	KELLY MOORE CHILI SAUCE KMS435
PNT-6	KELLY MOORE CARBON KM407
PNT-7	CABOT DARK GREY STAIN
PNT-8	COLOR MATCH EXISTING PAINT
(E)	EXISTING TO REMAIN. NO PAINTING REQUIRED
MATERIALS	
A	STUCCO
B	RAFTER TAILS
C	EAVES
D	RAILING
E	POSTS
F	WINDOW
G	WINDOW TRIM
H	DOOR
I	TRIM
J	BEAM
K	COPPER END CAPS
L	EXPOSED WOOD ROOF DECKING
M	COPPER GUTTER
N	COPPER DOWNSPOUT
O	EXPOSED WOOD DECKING
P	TERRA COTTA TILE
Q	PAINTED METAL DOWNSPOUT

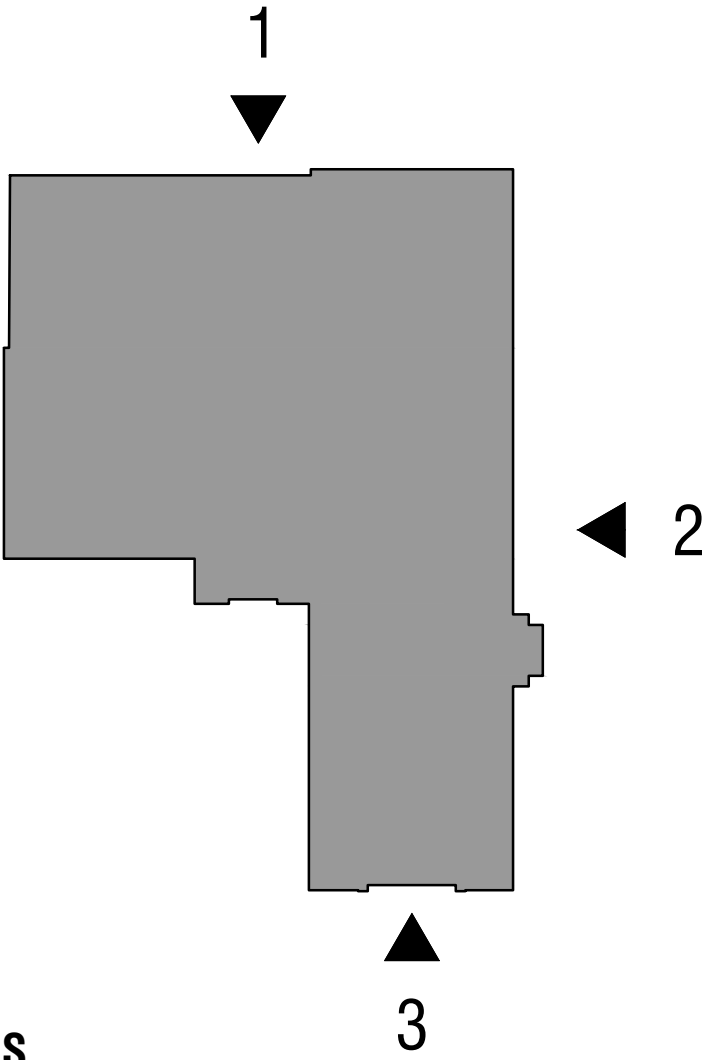
EXTERIOR ELEVATION GENERAL NOTES

1. WHEN DRY ROT IS ENCOUNTERED, THE CONTRACTOR SHALL IDENTIFY THE EXTENT OF DAMAGE AND REPLACEMENT NEEDED. CONTRACTOR TO PROPOSE REPAIR SOLUTION FOR REVIEW BY THE CITY AND THE ARCHITECT.
2. ANY UNPAINTED ACCESSORIES (BIRD DETERRENTS, SIGNAGE, ETC.) NOT INDICATED ON THE EXTERIOR ELEVATIONS PROTECTED FROM PAINT OVERSPRAY. ANY ACCESSORIES REMOVED SHALL BE REINSTALLED ONCE PAINTING IS COMPLETE.

HAZARDOUS MATERIALS REMOVAL GENERAL NOTES

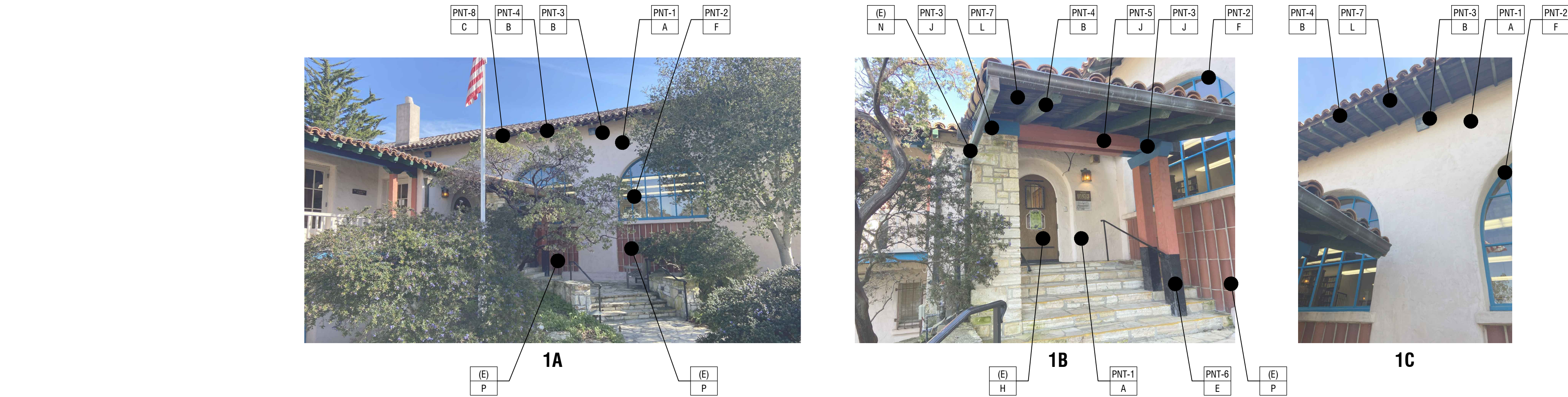
1. THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ABATEMENT WORK WITH THE GENERAL CONTRACTOR, OTHER TRADES, CONSTRUCTION ADMINISTRATOR, AND/OR BUILDING OWNER AND CONSULTANT.
3. ASBESTOS ABATEMENT WORK MUST BE PERFORMED IN ACCORDANCE WITH CBC ASBESTOS ABATEMENT SPECIFICATIONS.
4. LEAD-CONTAINING PAINT WORK MUST BE PERFORMED IN ACCORDANCE WITH CBC LEAD-BASED PAINT AWARENESS SPECIFICATIONS.
5. PRIOR TO DEMOLITION REFER TO HAZARDOUS MATERIAL ABATEMENT REPORT PREPARED BY M3 DATED 3/31/2022 AND REMOVE ALL DEEMED HAZARDOUS MATERIALS.

KEY PLAN - N.T.S.



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1 PARTIAL WEST ELEVATION



2 PARTIAL SOUTH ELEVATION



3 PARTIAL WEST ELEVATION



EXTERIOR ELEVATIONS LEGEND

COLORS AND MATERIALS

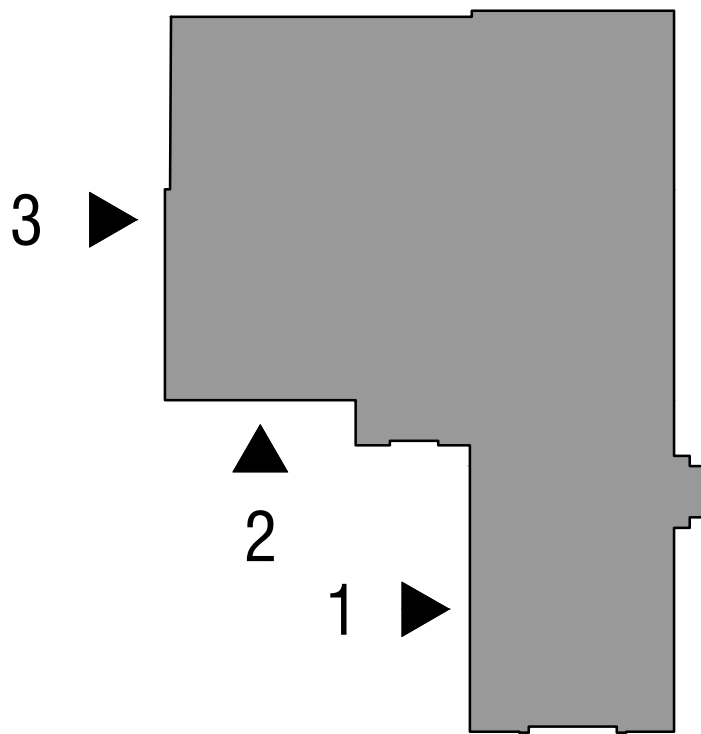
#	COLOR
X	MATERIAL
COLORS	
PNT-1	KELLY MOORE WOOLLY BEIGE KM4514
PNT-2	KELLY MOORE TINY BUBBLES KMA31
PNT-3	KELLY MOORE COASTAL SURF KM4967
PNT-4	KELLY MOORE O'NEAL GREEN KMA19
PNT-5	KELLY MOORE CHILI SAUCE KM5435
PNT-6	KELLY MOORE CARBON KM407
PNT-7	CABOT DARK GREY STAIN
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