

ABBREVIATIONS

AB	ANCHOR BOLT	INFO	INFORMATION
AC	AIR CONDITIONER	INSUL	INSULATION
ADJ	ADJACENT	INT	INTERIOR
AFF	ABOVE FINISH FLOOR	INV	INVERT
AL	ALUMINUM	JAN	JANITOR
APPROX.	APPROXIMATELY	KIT	KITCHEN
ASPH	ASPHALT	LAM	LAMINATED
AVG	AVERAGE	LAV	LAVATORY
BD	BOARD	LB/#	POUND
BLDG	BUILDING	L.F./LF	LINEAR FLOOT
BLK/BLKG	BLOCK/BLOCKING	LS	LAG SCREW
BM	BEAM	MAX	MAXIMUM
BN	BULLNOSE	MB	MACHINE BOLT
BOT	BOTTOM	MECH	MECHANICAL
C.F.	CUBIC FOOT	MFR	MANUFACTURER
C.I.	CUBIC INCH	MIN	MINIMUM
CI	CAST IRON	MISC	MISCELLANEOUS
CJ	CEILING JOIST/CONTROL JOINT	MTL	METAL
CL	CENTER LINE	(N)	NEW
CLR	CLEAR/CLEARANCE	N.G./NG	NATURAL GRADE
CLG	CEILING	NO. / #	NUMBER
CLKG	CAULKING	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	O/	OVER
CO	CLEANOUT	OBS	OBSCURE
COL	COLUMN	O.C./OC	ON CENTER
CONC	CONCRETE	OPCI	OWNER PROVIDED.
CONN	CONNECTION		CONTRACTOR INSTALLED
CONST	CONSTRUCTION	OPOI	OWNER PROVIDED.
CONT	CONTINUOUS		OWNER INSTALLED
CTR	CENTER	OS	OCCUPANCY SENSOR
CW	COLD WATER	OZ	OUNCE
C.Y.	CUBIC YARD	PERF	PERFORATED
DBL	DOUBLE	PERP	PERPENDICULAR
DEG	DEGREE	PH	PHONE
DEPT	DEPARTMENT	PL	PLATE/ PROPERTY LINE
DET	DETAIL	PLYWD	PLYWOOD
DF	DOUGLAS FIR	PR	PAIR
DIA	DIAMETER	PREFAB	PRE-FABRICATED
DNM	DIMENSION	P.S.F.	POUNDS PER SQUARE FOOT
DN	DOWN	P.S.I.	POUNDS PER SQUARE INCH
DS	DOWNSPOUT	PTDF	PRESSURE TREATED DOUG FIR
DW	DISHWASHER	PVMT	PAVEMENT
EA	EACH	R	RISER
EJ	EXPANSION JOINT	RD	ROOF DRAIN
ELEC	ELECTRICAL	REF	REFRIGERATOR
ELEV	ELEVATION/ELEVATOR	REQ	REQUIRED
ENCL	ENCLOSURE	RM	ROOM
EOS	EDGE OF SLAB	RO	ROUGH OPENING
EO	EQUAL	ROW	RIGHT OF WAY
EQUIP	EQUIPMENT	RTS	REFER TO STRUCTURAL
EST	ESTIMATE	RWD	REDWOOD
EXIST/(E)	EXISTING	SAS	SURFACED 4 SIDES
EKT	EXTERIOR	SC	SOLID CORE
FAU	FORCED AIR UNIT	SD	SMOKE DETECTOR
FN	FIRE HYDRANT	S.F./SF	SQUARE FOOT
F.O.C.	FACE OF CURB	SHT	SHEET
F.O.F.	FACE OF FINISH	SHTG	SHEATHING
F.O.S.	FACE OF STUD	SIM	SIMILAR
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FDN	FOUNDATION	SST	STAINLESS STEEL
FE	FIRE EXTINGUISHER	STD	STANDARD
FF	FINISH FLOOR	SYM	SYMBOL
F.G./FG	FINISH GRADE	STL	STEEL
FIN	FINISH	T&G	TONGUE AND GROOVE
FX	FIXTURE	T	REA
FLR	FLOOR	THK	THICK(NESS)
FDS	FACE OF STUD	TEL	TELEPHONE
FP	FIREPLACE / FLOOR PLAN	TEMP	TEMPERATURE
F.S./FS	FINISH SURFACE	T.O.C.	TOP OF CURB
FT	FOOT	T.O.F.	TOP OF FOOTING
FTG	FOOTING	T.O.W.	TOP OF WALL
G	GAS	T.O.S.	TOP OF SLAB
GA	GAUGE	TV	TELEVISION
GALV	GALVANIZED	TYP	TYPICAL
GD	GARBAGE DISPOSAL	UNO	UNLESS NOTED OTHERWISE
GL	GLASS	VCT	VINYL COMPOSITION TILE
GYP	GYPSUM	VERT	VERTICAL
HB	HOSE BIBB	V.I.F.	VERIFY IN FIELD
HC	HOLLOW CORE	W/	WITH
HDR	HEADER	W/O	WITHOUT
HORIZ	HORIZONTAL	WC	WATER CLOSET
HRDW	HARDWARE	WD	WOOD
HT	HEIGHT	WH	WATER HEATER
HW	HOT WATER	W.I.C.	WALK IN CLOSET
IN	INCH	WT	WEIGHT
INCL	INCLUDE	YD	YARD

CALIFORNIA CODE REFERENCES

THIS PROJECT SHALL COMPLY WITH CURRENT APPLICABLE CODES & ORDINANCES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA HISTORICAL BUILDING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA REFERENCE STANDARDS CODE

CARMEL CITY HALL ROOFING REPLACEMENT PACKAGE

MONTE VERDE ST, CARMEL-BY-THE-SEA, CA 93923



GENERAL NOTES

- THE ARCHITECT HAS NO CONTROL OR RESPONSIBILITY FOR THE MEANS, TECHNIQUES, SEQUENCE, OR PROCEDURES OF CONSTRUCTION OR SAFETY PROGRAMS FOR THIS PROJECT. SUCH PROGRAMS AND COMPLIANCE WITH ALL LAWS, RULES, REGULATIONS, CODES OR ORDINANCES SHALL BE THE RESPONSIBILITY OF OTHERS.
- ALL WORK SHALL CONFORM TO APPLICABLE CURRENT FEDERAL, STATE AND LOCAL CODES. THE CONTRACTOR IS TO PROVIDE FOR ALL REQUIRED NOTIFICATION OF AND COORDINATION WITH CITY AND STATE AGENCIES, AND PROVIDE REQUIRED PERMITS. ALL TESTS AND INSPECTIONS ASSOCIATED WITH OBTAINING APPROVALS TO PROCEED WITH AND COMPLETE THE WORK SHALL BE PAID FOR BY THE CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE EXECUTION OF THEIR WORK AND FOR ANY CHANGES AND / OR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER. THE COST OF CORRECTIONS RESULTING FROM CHANGES AND / OR DEVIATIONS SHALL BE BORNE BY THE GENERAL CONTRACTOR.
- DESIGN ALTERATIONS MADE WITHOUT THE ARCHITECT'S KNOWLEDGE DURING THE COURSE OF CONSTRUCTION ARE DONE AT THE OWNER'S AND / OR CONTRACTOR'S RISK. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE CONSEQUENCES OF SUCH CHANGES.
- CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, INCLUDING AREA FOR WORK, MATERIALS STORAGE, AND ACCESS TO AND FROM THE WORK. SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK AND INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES. NOISY OR DISRUPTIVE WORK SHALL BE SCHEDULED AT LEAST ONE (1) WEEK IN ADVANCE OF THE TIME WORK IS TO COMMENCE.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL PROTECTIVE MEASURES FOR THE SAFETY OF THE PUBLIC AND WORKERS DURING THE COURSE OF THE WORK.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED FOR COMPLETION OF THE PROJECT. REMOVE ALL DEMOLISHED MATERIAL NOT DESIGNATED FOR REUSE FROM THE PREMISES.
- CONTRACTOR SHALL PROVIDE FOR ALL WORK REQUIRED TO MAINTAIN COMPLIANCE WITH LOCAL FIRE CODE.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A REASONABLE DISTRIBUTION OF COLOR RANGES AND PATTERN PRIOR TO INSTALLATION FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND PRODUCT DATA FOR ARCHITECT'S APPROVAL ON ALL SPECIAL ITEMS REQUIRING CUSTOM FABRICATION. (SHALL INCLUDE RATED FIRE DOORS AND HARDWARE).
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. ALL DIMENSIONS OF EXISTING CONDITIONS ON DRAWINGS ARE INTENDED AS GUIDELINES AND MUST BE FIELD VERIFIED. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT BEFORE CONTINUING WORK. COMMENCEMENT OF WORK IMPLIES THE ACCEPTANCE OF ALL CONDITIONS. CONTRACTOR SHALL ALSO COORDINATE THE WORK WITH THE WORK OF ALL OTHER TRADES.
- OMISSIONS MADE IN THESE DRAWINGS AND SPECIFICATIONS WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS OR SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- A COMPLETE SET OF CONTRACT DOCUMENTS MUST BE KEPT AT THE JOB SITE AT ALL TIMES AND ANY CHANGES MUST BE NOTED THEREON AND INITIALED.
- DO NOT SCALE DRAWINGS FOR ANY REASON. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT BEFORE CONTINUING WORK.
- PATCH, REPAIR, OR REPLACE ALL WORK DAMAGED BY NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL PATCH WALL AND FLOOR TO CONFORM TO MATERIAL, TEXTURE, AND SURFACE ALIGNMENT WITH THE ADJOINING SURFACE.
- REPLACE OR RELOCATE ALL EXISTING PIPING, CONDUIT, WIRING, ETC. REQUIRED FOR THE COMPLETION OF NEW WORK.
- AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR ANY WORK DONE IN THE PUBLIC R.O.W.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.
- ALL GLASS SHALL BE CLEAR TEMPERED GLASS, UNLESS OTHERWISE NOTED. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.

DRAWING SYMBOLS

KEYNOTE

ELEVATION MARKER

ELEV NUMBER

SHEET NUMBER

& DIRECTION OF VIEW

NORTH ARROW

REVISION MARKER

DETAIL REFERENCE:

DETAIL NUMBER

SHEET NUMBER

SLOPE

X:XX

ROOF / GROUND SLOPE:

INDICATES SLOPE AND DIRECTION OF SLOPE

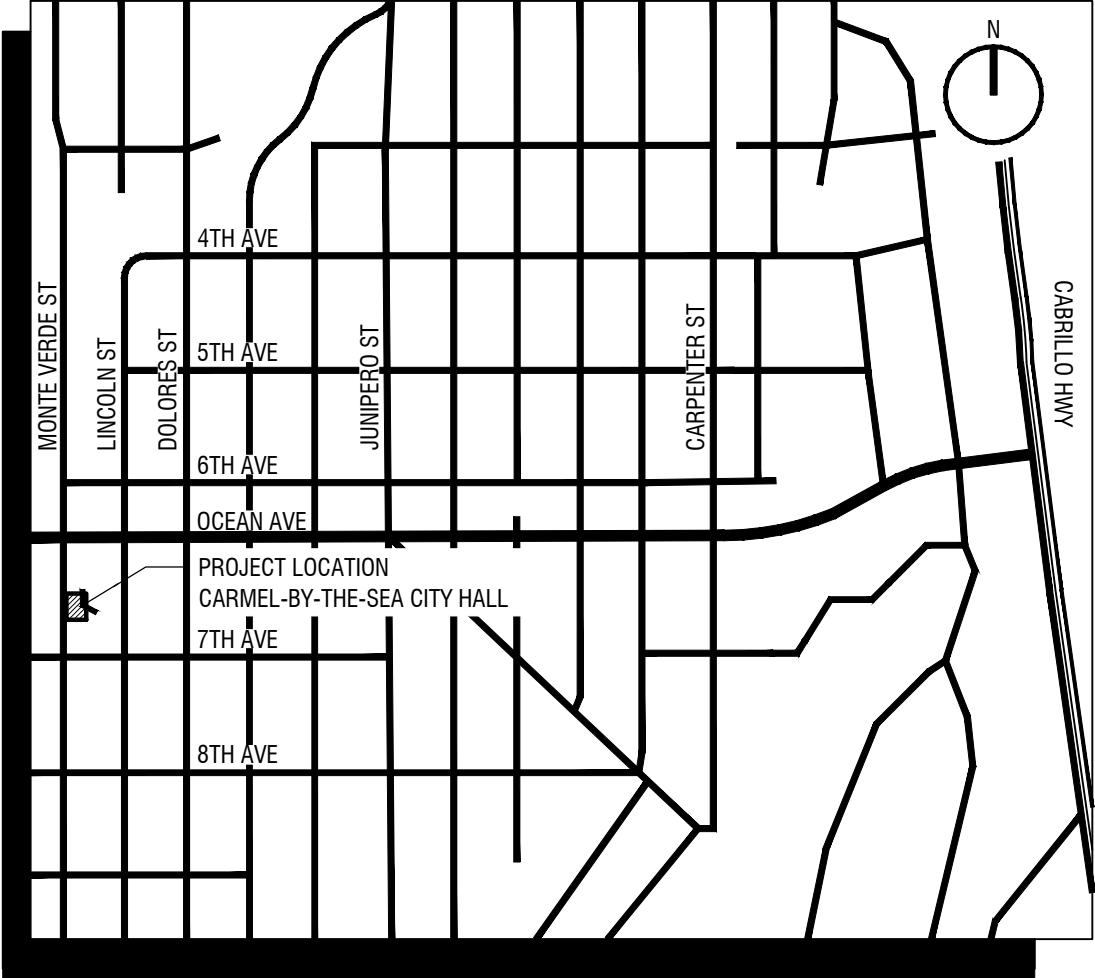
PROJECT DIRECTORY

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PROJECT DESCRIPTION

The Historic Carmel City Hall requires up-keep and maintenance. This project is a maintenance project with no engineering required. The scope of work includes replacement of the existing roofing, copper flashing, counter flashing, gutters and downspouts. The existing roof was last replaced in 1984 and is approximately 15-years past its warranty. With roof leaks and increasing deterioration, the existing asphalt shingle roof will be replaced with new wood cedar shake material to match the historical architecture.

VICINITY MAP



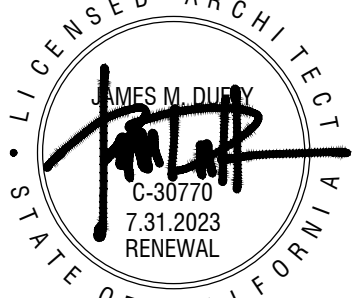
SHEET INDEX

T1.0	TITLE SHEET
A2.2	DEMOLITION ROOF PLAN
A2.3	PROPOSED ROOF PLAN
A8.0	ROOF DETAILS



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ROOFING REPLACEMENT

CARMEL CITY HALL

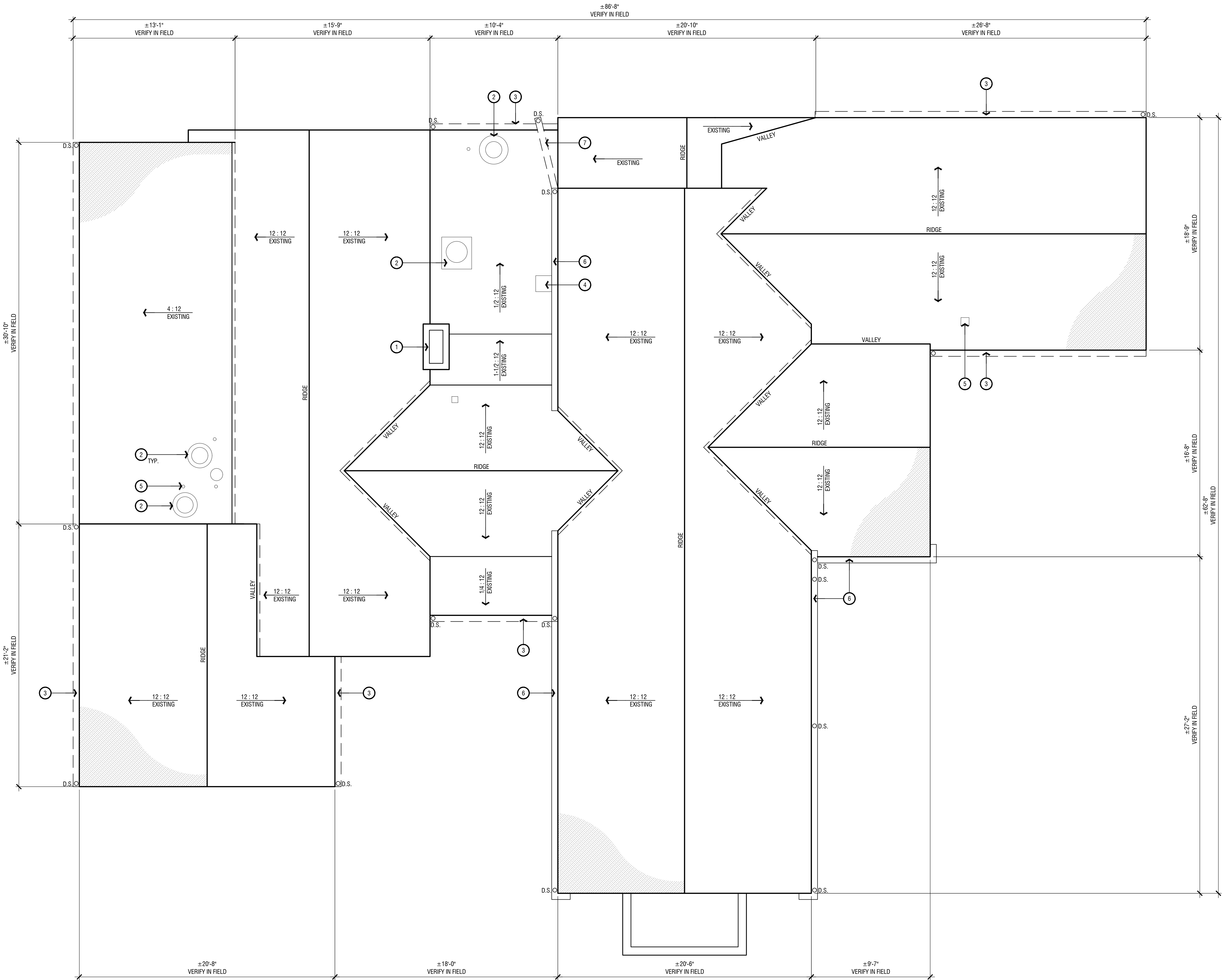
MONTE VERDE ST, CARMEL-BY-THE-SEA, CA 93923

PROJ #:	2022-065
DRWN BY:	AA/DL
CHK'D BY:	JP/HD
DATE	SUBMITTAL
03/13/2023	DRAFT SUBMITTAL
04/24/2023	FINAL SUBMITTAL

TITLE SHEET

T1.0





DEMOLITION ROOF PLAN LEGEND

- SLOPE  
XXX
- REMOVE (E) CONSTRUCTION. REFER TO KEYNOTES FOR MORE INFORMATION. SALVAGE ALL COPPER MATERIAL TO OWNER. TYP.
- D.S.
- EXISTING DOWNSPOUT LOCATION. TYP.
- REMOVE (E) ASPHALT SHINGLE ROOFING, WATERPROOF MEMBRANE AND METAL FLASHING TO THE (E) WOOD SHEATHING BELOW. CONFIRM (E) SHEATHING IS MINIMUM 3/4\"/>

DEMOLITION ROOF PLAN GENERAL NOTES

- PROTECT ALL TREES IN THE CONSTRUCTION ZONE FROM DAMAGE. TREES THAT HAVE BEEN DAMAGED BY CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTED ARBORICULTURE METHODS.
- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL SUBMIT A SITE PLAN WITH STAGING AREA INDICATED FOR REVIEW AND APPROVAL BY THE CITY.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL DEMOLITION, CONSTRUCTION AND GRADING.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED FOR COMPLETION OF THE PROJECT. REMOVE ALL DEMOLISHED MATERIAL NOT DESIGNATED FOR REUSE FROM THE PREMISES.
- REPLACE, OR RELOCATE ALL EXISTING PIPING, CONDUIT, WIRING, ETC. REQUIRED FOR THE COMPLETION OF NEW WORK.
- FIELD VERIFY CONDITION OF EXISTING ROOF SHEATHING AND/OR OTHER EXPOSED FRAMING MEMBERS PRIOR TO INSTALLATION OF PROPOSED ROOF.
- ROOF MOUNTED EQUIPMENT, VENTS, AND FLASHING LOCATIONS ARE SHOWN FOR CONVENIENCE ONLY. VERIFY ALL LOCATIONS PRIOR TO THE START OF WORK.
- CONTRACTOR TO CAREFULLY REMOVE AND SALVAGE ALL COPPER GUTTERS AND DOWNSPOUTS. CONTRACTOR TO RECYCLE COPPER MATERIALS FOR A CREDIT TO THE CITY.
- ROOF PLAN AS SHOWN IS DIAGRAMMATIC IN NATURE. DIMENSIONS SHOWN ARE APPROXIMATE AND PROVIDED FOR AS A CONVENIENCE ONLY. CONTRACTOR TO VERIFY IN THE FIELD ALL ROOFING DIMENSIONS FOR MATERIAL TAKE-OFFS.

KEYNOTES

- (E) MASONRY CHIMNEY TO REMAIN. REMOVE METAL FLASHING AT ROOF TRANSITION
- (E) MECHANICAL EQUIPMENT TO REMAIN. REMOVE CURB FLASHING AT ROOF
- REMOVE AND SALVAGE (E) COPPER GUTTER AND DOWNSPOUT(S). TYP.
- WALL MOUNTED EXHAUST HOOD TO REMAIN AND BE PROTECTED IN PLACE.
- (E) ROOF VENT TO REMAIN AND BE PROTECTED IN PLACE. REFER TO DETAILS FOR NEW ROOFING MEMBRANE, SHAKE ROOFING SYSTEM, FLASHING AND COUNTERFLASHING. TYP.
- (E) SHEET METAL GUTTER AND DOWNSPOUT TO REMAIN AND BE PROTECTED IN PLACE. REFER TO DETAILS FOR NEW SHINGLE ROOFING SYSTEM, FLASHING AND COUNTERFLASHING. TYP.
- REMOVE (E) EXTENDED DOWNSPOUT CONDITION

NOT FOR CONSTRUCTION

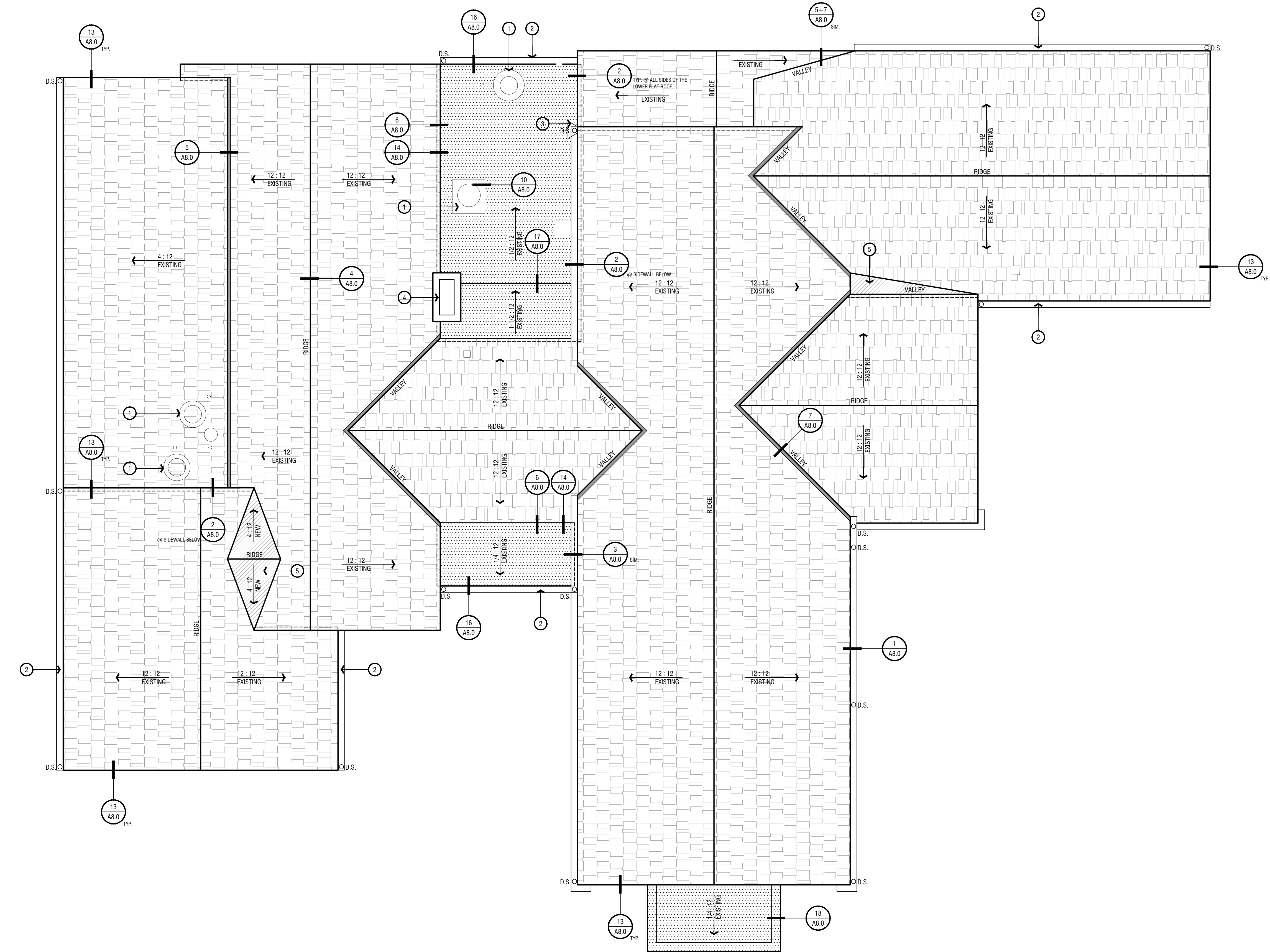
ROOFING REPLACEMENT  
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03/13/2023 DRAFT SUBMITTAL  
04/24/2023 FINAL SUBMITTAL

DEMOLITION  
ROOF PLAN

A2.2



ROOF PLAN LEGEND

- CLASS 'A' WOOD SHINGLE ROOFING SYSTEM OVER (E) SHEATHING. SEE SPECIFICATIONS
- CLASS 'A' TPO MEMBRANE ROOFING SYSTEM OVER (E) SHEATHING. SEE DETAIL 9/A8.0 FOR TYPICAL SYSTEM AND CUT-EDGE TRANSITIONS
- (N) ROOF CRICKET
- SHEET METAL FLASHING. SEE REFERENCED DETAILS

ROOF PLAN GENERAL NOTES

- ALL EXISTING ROOF PENETRATIONS, VENTS, AND MECHANICAL EQUIPMENT IS TO REMAIN AND BE PROTECTED IN PLACE. PROVIDE NEW SEALANT AND FLASHING AT ALL ROOF PENETRATIONS. REFER TO DETAILS 3/A8.0, 8/A8.0, 10/A8.0 AND 11/A8.0
- PROVIDE CRICKETS AT HIGH SIDE OF ALL ROOF MOUNTED EQUIPMENT.
- REFER TO DETAIL 9/A8.0 WHERE TPO MEMBRANE MATERIAL START/STOPS OCCUR.

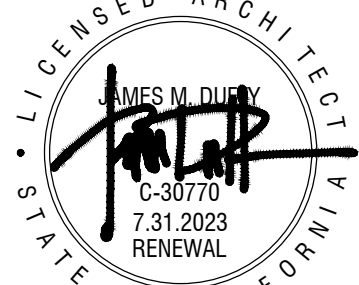
KEYNOTES

- (E) MECHANICAL EQUIPMENT TO REMAIN AND BE PROTECTED IN PLACE. REFER TO DETAILS FOR NEW ROOFING MEMBRANE, SHAKES, FLASHING AND COUNTERFLASHING
- (N) GALVANIZED SHEET METAL GUTTER. MATCH (E) REMOVED COPPER GUTTER PROFILE. (N) GUTTER FINISH AND COLOR TO MATCH EXISTING.
- (N) SPLASH PAN AT LOWER ROOF PER SMACNA FIGURE 1-36. FINISH AND COLOR TO MATCH EXISTING.
- (E) CHIMNEY. PROVIDE CHIMNEY FLASHING AT SHINGLE AND LOW-SLOPE TPO ROOF PER SMACNA FIGURE 4-14. FINISH AND COLOR TO MATCH EXISTING.
- (N) ROOF CRICKET

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PROPOSED  
ROOF PLAN

A2.3



