

City of Carmel-by-the-Sea

ADA Evaluation and Transition Plan

of Various City-Owned Properties



September 28, 2018

Prepared by:



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- Appendix Q - Vista Lobos Complex**
- Appendix R - List of Non-ADA-Conforming ramps along City Streets and City Parks**

Prepared by City of Carmel Public Works

1. Executive Summary

A. Project:

Development of an Americans with Disabilities Act (ADA) Transition Plan for the City of Carmel-by-the-Sea for the following City Owned properties (listed alphabetically):

1. City Hall (Historic Property)
2. Del Mar Beach Public Restrooms
3. Devendorf Park Public Restrooms
4. First Murphy House, Park (Historic Property), and Restrooms
5. Fire Station
6. Flanders Mansion (Historic Property)
7. Forest Hill Park
8. Forest Theater Complex
9. Harrison Memorial Library (Historic Property)
10. Park Branch/Harrison Children's Library
11. Picadilly Park Public Restrooms
12. Police Department and Public Works & Corp. Yard
13. Scenic & Santa Lucia Public Restrooms
14. Scout House
15. Senior Housing Parking Garage (1 level)
16. Sunset Center including adjacent buildings on same site (Historic Property)
17. Vista Lobos Complex

B. Design Team:

1. Architect: Kasavan Architects
60 West Market Street, Suite 300
Salinas, Ca 93901
(831) 424-2232
2. CASp Specialist: William M. Holl, AIA; CASp-509
110 Baja Sol Court
Scotts Valley, CA 95066
831-345-5395

C. City of Carmel-by-the-Sea Team:

1. Robert Harary, P.E.
Director of Public Works
2. Agnes Martelet
Environmental Compliance Manager
3. Cleve Waters
Facilities Maintenance Supervisor
4. Robert Estrella
Project Manager
5. Dick Bower, MS, CBO, FM
Building Official

2. **ADA Evaluation Report Development Process**

The self-evaluation is the City's assessment of its current facilities. The ADA sets forth specific requirements for preparation of an acceptable Transition Plan. This plan includes:

- A list of the physical barriers in the City's facilities that limit the accessibility of its programs, activities, or services to individuals with disabilities,
- A detailed outline of the methods to be used to remove these barriers and make the facilities accessible,
- A schedule for taking the steps necessary to achieve compliance with the ADA,
- Title II, and
- The name of the individuals responsible for the plan's implementation.

Title II applies to State and local government entities and protects qualified individuals with disabilities from discrimination on the basis of disability in services, programs and activities provided by those agencies.

A summary of the Title III Barrier Free Access Inspection for each facility represented in the Transition Plan can be found starting on page 8. The CASp Inspection reports are noted as appendixes which satisfy the requirement above. The process by which the requirements are to be met are described within.

3. **Accessibility and Undue Burden**

There are two kinds of accessibility:

- Program accessibility and
- Physical accessibility

Absence of discrimination requires that both types of accessibility be provided. Programmatic accessibility includes physical accessibility, but also entails all policies, practices, and procedures that permit people with disabilities to participate in programs and to access important information. Physical accessibility requires that a facility be barrier-free. Barriers include any obstacles that prevent or restrict the entrance to or use of a facility. Program accessibility requires that individuals with disabilities be provided an equally effective opportunity to participate in or benefit from a public entity's programs and services. Program accessibility may be achieved by either structural or non-structural methods. Non-structural methods include acquisition or redesign of equipment, assignment of aides to beneficiaries, and provision of services at alternate sites.

Programs offered by the City to the public must be accessible. Accessibility includes advertisement, orientation, eligibility, participation, testing or evaluation, physical access, provision of auxiliary aids, transportation, policies, and communication. The City may achieve program accessibility by several methods:

- Structural methods such as altering an existing facility,
- Acquisition or redesign of equipment,
- Assignment of aides, and
- Providing services at alternate accessible sites.

When choosing a method of providing program access, the City will give priority to the one that results in the most integrated setting appropriate to encourage interaction among all users, including individuals with disabilities. In compliance with the requirements of the ADA, the City provides equality of opportunity, but does not guarantee equality of results.

The City is not required to take any action that it can demonstrate would result in a fundamental alteration in the nature of its program or activity, would create a hazardous condition resulting in a direct threat to the participant or others, or would represent an undue financial and administrative burden.

The determination that an undue burden would result must be based on an evaluation of all resources available for use in the City. For example, if a barrier-removal action is judged unduly burdensome, the City must consider other options for providing access to the benefits and services of the program or activity by individuals with disabilities.

In addition, per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is “Inspected by a CASp”; corrections are needed to meet construction-related accessibility standards.

The 2016 California Building Code does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens. The City has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D – Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp in this plan.

4. Definitions and Abbreviations

ADA	Americans with Disabilities Act
ADAAG	Americans with Disabilities Act Accessibility Guidelines
AFF	Above Finish Floor
CASp	Certified Access Specialist
CBC	California Building Code
ISA	International Symbol of Accessibility
NFPA	National Fire Protection Agency
POT	Path of Travel
R.O.M.	Rough Order Magnitude

5. Survey Process

The survey process was undertaken by Mr. William Holl, CASp 509 who was equipped with measuring devices, facility plans and data gathering documents and devices. The survey process identified physical barriers in City facilities as follows:

- Site items related to building use including on-site parking, signage, related path of travel from the public right-of-way.
- Building related items include sanitary facilities, drinking fountains, elevators, counters, sinks, and interior path of travel.

In addition, the City’s Public Works Department staff independently reviewed all streets and parks to identify physical barriers in these areas. The results are provided in Appendix R and are included in this Plan for reference. Kasavan Architects and William M. Holl are not responsible for the content or accuracy of Appendix R.

6. Facility Reports

A facility report has been produced for each site and building which details each Item found to be non-compliant with ADAAG and Title 24 standards. Title 24 of the California Code of

Regulations, known as the California Building Standards Code is the regulations that govern the construction of buildings in California.

The facility report for each site includes:

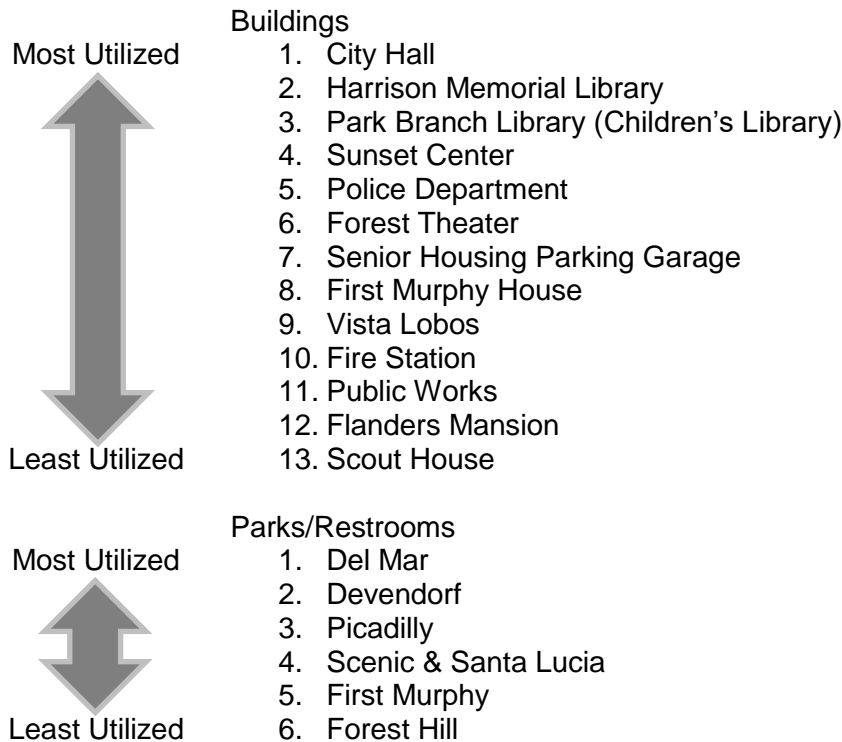
- Summary of Permit History
- Description of the facilities
- Accessibility barriers
- Summary of Corrections
- Photos

7. Transition Plan – City Criteria

The City has a facilities funding plan to address readily achievable corrections starting in 2018. The following criteria will apply as the basis for prioritizing the removal of architectural barriers in the facilities included in this plan:

- **Number of Users:** The facility serves a large number of people, including persons with disabilities.
- **Unique Facilities:** The facility houses programs that cannot be moved to another facility.
- **Current Degree of Accessibility:** The facility is in need of significant accessibility improvements.
- **Long Term Planning Status:** The facility is scheduled for upgrades or improvements that will include accessibility.

The City has assessed the use of each facility and has ranked each facility from most utilized by the public to least utilized.



8. Priorities for Accessibility Barrier Removal

The criteria listed below is the basis upon which each barrier removal action is evaluated.

- **Priority 1 –**
Safety Issue, Access Item must be immediately repaired, it is considered a safety issue or hazard to the end user.
- **Priority 2 –**
Incorrect Installation, Access Item was required to be provided but was not installed correctly and must be re-installed. Reinstallation of access Item shall be installed to meet the current regulations regardless of the cost.
- **Priority 3 –**
Code Changes, Access Item is not in compliance with current code, even though it may have been compliant at the time of original installation. The access Item now falls under the removal of barriers requirements of ADA and shall be made to comply either by a voluntary compliance or because of an alteration to the specific area.
- **Priority 4 –**
Difficult Correction, Access Item is not in compliance with the current code and cannot be accomplished due to technically infeasible conditions. It may be possible to correct the Access Item, but not without significant impacts to the use of the facility and significant cost impacts. These Access Items are considered an Undue Burden.

9. Strategies for Removal of Accessibility Barriers

There are numerous strategies that can be utilized to identify the best use of City resources to remove a physical accessibility barrier. The City will use the following guidelines to categorize the removal actions.

A. Maintenance Project –

An accessibility barrier that can be removed by the City's maintenance staff or with limited assistance from a licensed contractor. The majority of these barriers are planned to be removed within one year.

Examples of these items include:

- Adjust door closers
- Paint indicator stripes on stair nosing, interior applications.
- Relocate or install signage
- Replace door hardware
- Relocate toilet room accessories

B. Short Term Project –

An accessibility barrier removal project that will require assistance from a licensed contractor and can be addressed in the short term.

Examples of these items include:

- Relocate plumbing fixtures and associated systems
- Modify or install stair and ramps, associated handrails
- Modify built-in casework & countertops

These projects can be completed in a short time frame, say less than 6 months, upon funding by the City.

C. Current Planning/Construction Projects –

An accessibility barrier is already scheduled to be removed under a current or pending construction project.

City Facilities that are currently in the planning stage include:

- Police Building Renovation and Expansion Project

D. Long Term Planning Projects –

Projects requiring long-term planning and significant funding. These projects include those with funding issues that need to be identified and resolved before the barrier can be removed.

Preliminarily, these projects would be scheduled beyond 10 years out before funding by the City, unless they are incorporated into a larger project plan.

10. Time Frame for Completion

The City intends to address the items listed as **Priority 1** and **Priority 2** within a time frame of one to five years depending on immediate necessity, degree of complexity, and overall funding available. In general, **Priority 3** items do not inhibit a person's ability to access or participate in City programs or events. **Priority 4** items will need to assess over the long term as they require major facility modifications and or funding sources.

11. Cost Analysis

The goal of the Transition Plan is to provide an outline for future projects to ultimately bring all City facilities into compliance with the ADA and provisions of the CBC. The Transition Plan does not provide the design solutions for each item not currently in compliance. Many items identified within this Plan requires final design solutions prepared by a licensed Architect or Engineer in order to provide detailed solutions and accurate cost estimates.

The cost analysis provided within this Transition Plan is based on rough order magnitude (R.O.M.) cost evaluations utilizing square foot, liner foot, lump sum or similar quantifying characteristics. Factors such as project location, construction bid market, building access phasing complexity contribute to our estimate of current probable construction costs.

Construction costs assume the following:

- Projects are competitively bid to three or more qualified General Contractors.
- Projects of similar scope at each location are combined or packaged together.

Example: All railing projects at a facility will be combined and completed under the same construction contract.

- Project items which are identified as "modify existing or replace", the R.O.M. costs indicated are to modify existing.

Other costs associated with construction projects include design consultant fees, permit and inspection fees. These costs are considered soft costs and are typically designated at 20%.

The estimated costs included in this Plan should only be used for rough budgeting purposes. Exclusions include cost escalation, unforeseen or unknown associated infrastructure repairs, dry rot repairs, or other conditions that may be warranted by the work. Also excluded are hazardous materials testing and abatement, topographic surveys and geotechnical reports that may be required to complete the work.

In addition, at this level of project scope analysis we recommend a construction contingency of 15% be included in the Total Development Cost estimate.

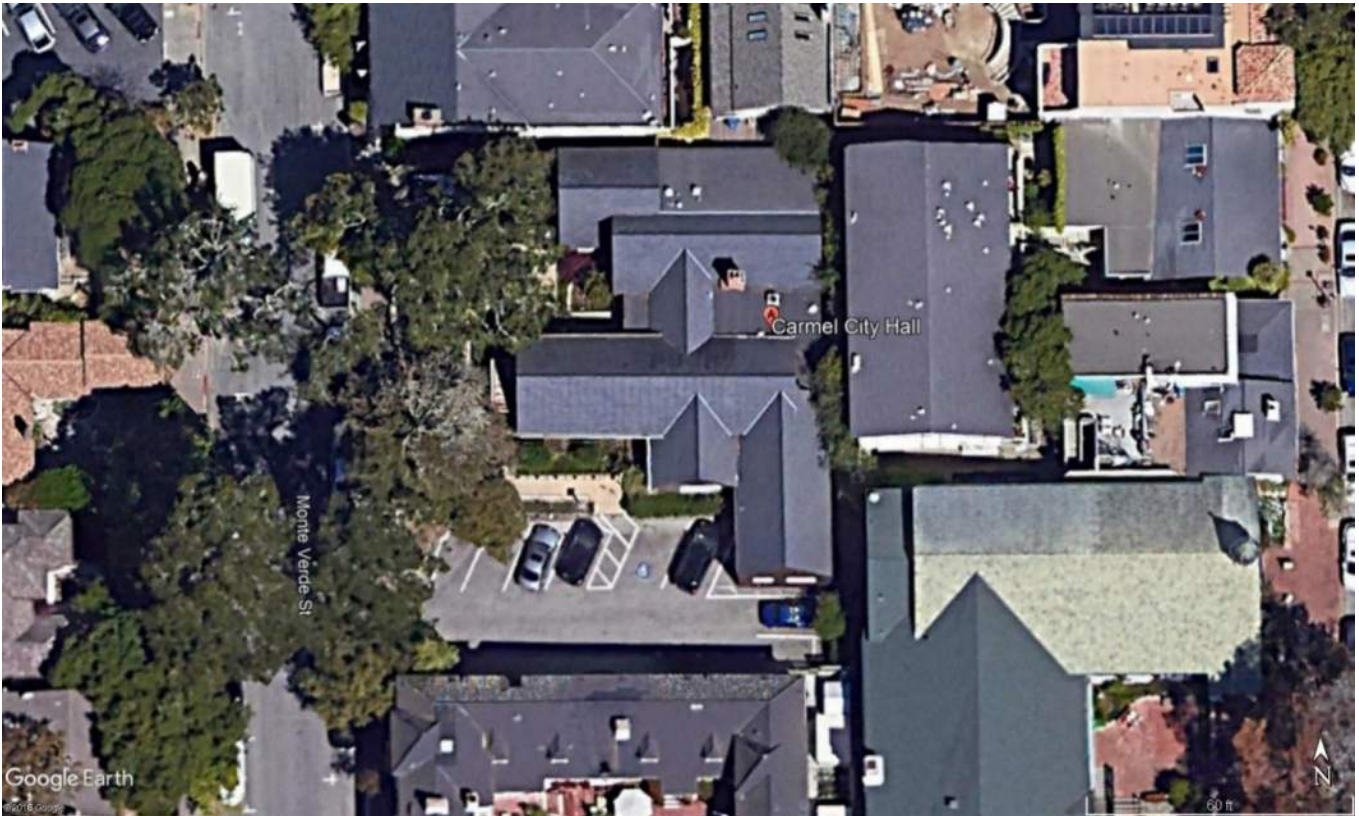
Over the past year the Central Coast bidding market has been escalating due to a general lack of competition, especially at the subcontractor level. The TBD Consultants' Cost Index has shown an average annual escalation rate of 7.6%.

12. Estimated Project Cost by Facility:

<i>Building Name</i>	<i>R.O.M. Construction Costs</i>	<i>Soft Costs 20%</i>	<i>Construction + Soft</i>
City Hall (Historic)	\$94,780	\$18,956	\$113,736
Del Mar Beach Public Restrooms	\$111,140	\$22,228	\$133,368
Devendorf Park Restrooms	\$93,410	\$18,682	\$112,092
Fire Station	\$48,045	\$9,609	\$57,654
First Murphy House (Historic) & Park	\$114,830	\$22,966	\$137,796
Flanders Mansion (Historic)	\$88,865	\$17,773	\$106,638
Forest Hill Park (Upper & Lower)	\$152,725	\$30,545	\$183,270
Forest Theater	\$237,645	\$47,529	\$285,174
Harrison Memorial Library	\$143,780	\$28,756	\$172,536
Park Branch/Harrison Children's Library	\$109,200	\$21,840	\$131,040
Picadilly Park	\$27,280	\$5,456	\$32,736
Police Department, Public Works Building & Corp. Yard	\$170,700	\$34,140	\$204,840
Scenic & Santa Lucia Park	\$99,550	\$19,910	\$119,460
Scout House	\$40,780	\$8,156	\$48,936
Senior Housing Parking Garage	\$41,100	\$8,220	\$49,320
Sunset Center (Historic)	\$676,790	\$135,358	\$812,148
Vista Lobos Complex	\$206,300	\$41,260	\$247,560
TOTALS	\$2,456,920	\$491,384	\$2,948,304
Construction Contingency 15%			\$442,246
TOTAL DEVELOPMENT COSTS			\$3,390,550

City Hall (Historic)



Monte Verde Street between Ocean Avenue & 7th Avenue
Carmel-by-the-Sea, California 93923





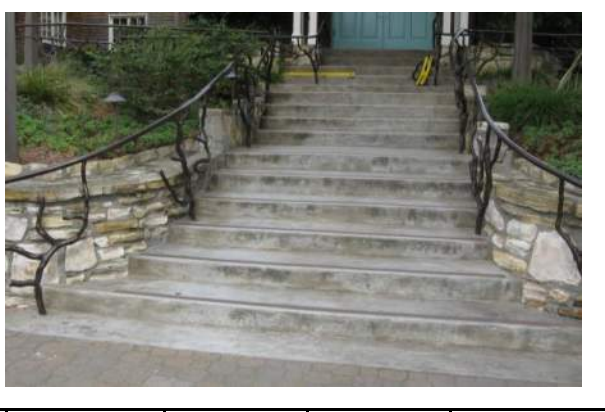
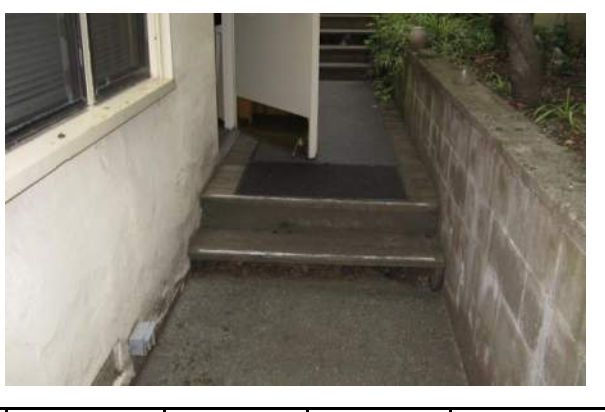
R.O.M. Cost Evaluation:




Site, Path of Travel:	\$ 10,480
Site, Parking:	\$21,965
Interiors, Toilet Rooms & Drinking Fountains:	\$14,685
Interiors, Other:	<u>\$47,650</u>
Total:	\$94,780

Site

<p>A. <i>Path of Travel from Public Sidewalk to Primary Entrance.</i></p>				
<p>1. Provide an accessible route from the public sidewalk to the primary entrance</p>	Code Ref. N/A	Priority 4	Strategy D	Budget N/A
<p>B. <i>Accessible Parking Space:</i></p>				
<p>1. Regrade parking space and aisle for max surface slope of 1:48 in any direction</p>	Code Ref. 11B-502.4	Priority 3	Strategy D	Budget \$21,965
<p>2. Van accessible markings and international symbol of accessibility</p>	Code Ref. 11B502.3 11B-502.6	Priority 3	Strategy D	
<p>3. Identification signage, Van Accessible, Minimum Fine & Tow Away signs</p>	Code Ref. 11B-502.6 11B502.8	Priority 3	Strategy D	

<p>C. <i>Exterior Concrete Ramp on the North Side of the Stairway from the Public Sidewalk</i></p>																						
<table border="1"> <thead> <tr> <th data-bbox="191 604 906 636"></th> <th data-bbox="911 604 1068 636">Code Ref.</th> <th data-bbox="1068 604 1211 636">Priority</th> <th data-bbox="1211 604 1354 636">Strategy</th> <th data-bbox="1354 604 1510 636">Budget</th> </tr> </thead> <tbody> <tr> <td data-bbox="191 636 906 688">1. Handrail Extensions</td> <td data-bbox="911 636 1068 688">N/A</td> <td colspan="2" data-bbox="1068 636 1354 688">Equivalent Facilitation</td> <td data-bbox="1354 636 1510 787" rowspan="3">N/A</td> </tr> <tr> <td data-bbox="191 688 906 741">2. Bottom Landing, extend in direction of travel</td> <td data-bbox="911 688 1068 741">11B-405.7.3.1</td> <td data-bbox="1068 688 1211 741">3</td> <td data-bbox="1211 688 1354 741">D</td> </tr> <tr> <td data-bbox="191 741 906 787">3. Ramp slope, connection to primary entrance</td> <td data-bbox="911 741 1068 787">N/A</td> <td data-bbox="1068 741 1211 787">4</td> <td data-bbox="1211 741 1354 787">D</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Handrail Extensions	N/A	Equivalent Facilitation		N/A	2. Bottom Landing, extend in direction of travel	11B-405.7.3.1	3	D	3. Ramp slope, connection to primary entrance	N/A	4	D				
	Code Ref.	Priority	Strategy	Budget																		
1. Handrail Extensions	N/A	Equivalent Facilitation		N/A																		
2. Bottom Landing, extend in direction of travel	11B-405.7.3.1	3	D																			
3. Ramp slope, connection to primary entrance	N/A	4	D																			
<p>D. <i>Exterior Concrete Bench</i></p>																						
<table border="1"> <thead> <tr> <th data-bbox="191 1199 906 1230"></th> <th data-bbox="911 1199 1068 1230">Code Ref.</th> <th data-bbox="1068 1199 1211 1230">Priority</th> <th data-bbox="1211 1199 1354 1230">Strategy</th> <th data-bbox="1354 1199 1510 1230">Budget</th> </tr> </thead> <tbody> <tr> <td data-bbox="191 1230 906 1329">1. Modify or replace the bench to make the top of the bench surface 19" maximum above the ground</td> <td data-bbox="911 1230 1068 1329">11B-903</td> <td data-bbox="1068 1230 1211 1329">3</td> <td data-bbox="1211 1230 1354 1329">B</td> <td data-bbox="1354 1230 1510 1329">\$1,000</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Modify or replace the bench to make the top of the bench surface 19" maximum above the ground	11B-903	3	B	\$1,000												
	Code Ref.	Priority	Strategy	Budget																		
1. Modify or replace the bench to make the top of the bench surface 19" maximum above the ground	11B-903	3	B	\$1,000																		

<p>E. <i>Exterior Concrete Stairway</i></p>				
	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	D	Requires significant design & review.
2. Modify south handrail to be +34" above stair	11B-505.4	3	D	
3. Handrail extensions at bottom of stairway - custom/artistic	11B-505.10.3	3	D	
4. Handrail extensions at the bottom of the stairway - custom/artistic	11B-505.10.3	3	D	
5. South handrail extension at the bottom of the upper flight - custom/artistic	11B-505.10.4	3	D	
6. Modify the handrail extensions at the top of the upper flight - custom/artistic	11B-505.4	3	D	
7. Riser height and top landing depth	N/A	4	D	N/A
<p>F. <i>Exterior Wood Stair at NE corner of Building</i></p>				
	Code Ref.	Priority	Strategy	Budget
1. Provide handrails	11B-505	2	B	\$3,180
2. Contrasting nosing stripes	11B-504.4.1	3	B	
3. Correct slope of bottom landing	1011.7.1	3	B	
4. Width of top landing	N/A	4	D	N/A

<p>G. <i>Exterior Concrete Stair at the Southeast Corner of the Building</i></p>				
<p>1. Replace stair & handrail</p>	<p>Code Ref. 11B-504 & 505</p>	<p>Priority 2</p>	<p>Strategy D</p>	<p>Budget \$6,300</p>
<p>H. <i>Width of walking surface, east side of Bldg</i></p>				
<p>1. Correcting the width of the walking surface on the east side of the building</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>
<p>I. <i>Path of Travel from Public Sidewalk to Basement Level Entrance</i></p>				
<p>1. Provide an accessible route from the sidewalk to the basement level</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>

Building

J. Primary Lobby Entrance



	Code Ref.	Priority	Strategy	Budget
1. Doors: Modify or replace the doors to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	\$2,500
2. Relocate deadbolt	11B-404.2.7	3	B	
3. Adjust door closers	N/A	3	B	

K. Main Level North Restroom





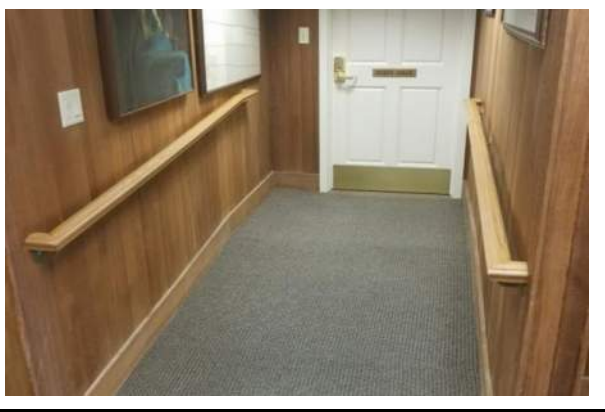


	Code Ref.	Priority	Strategy	Budget
1. Signage	11B-703.7.2.6.3	3	A	\$3,450
2. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	
3. Adjust door closer	N/A	3	A	
4. Correcting the maneuvering clearance on the push side of the door	N/A	4	D	
5. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet	N/A	4	D	
6. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
7. Lavatory: Relocate	N/A	4	D	
8. Remove cabinet on south wall	N/A	1	A	
9. Accessories: Relocate soap dispenser, seat cover dispenser, paper towel dispenser, coat hook	11B-603.5 11B-308	3	A	
10. Light switch: Relocate	11B-308	3	B	

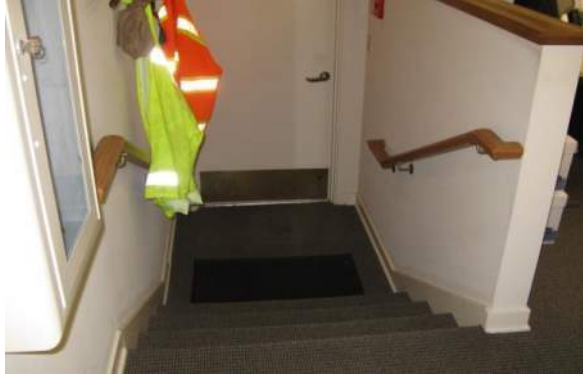

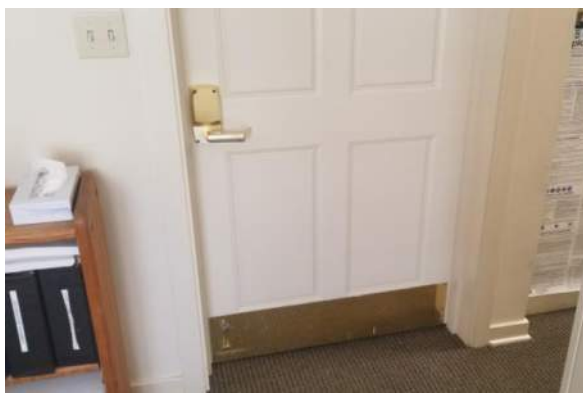
L. Main Level South Restroom




	Code Ref.	Priority	Strategy	Budget
1. Signage	11B-703.7.2.6.3	3	A	\$3,335
2. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	
3. Adjust door closer	N/A	3	A	
4. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet	N/A	4	D	
5. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
6. Lavatory: Relocate	N/A	4	D	
7. Remove cabinet on north wall	N/A	1	A	
8. Accessories: Relocate soap dispenser, seat cover dispenser, coat hook	11B-603.5 11B-308	3	A	
9. Light switch: Relocate	11B-308	3	B	

<p>M. <i>Drinking Fountain</i></p>				
<p>1. Replace drinking fountain</p>	<p>Code Ref. 11B-602</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$3,500</p>
<p>N. <i>Building Department Reception Counter</i></p>				
<p>1. Modify the counter</p>	<p>Code Ref. 11B-904.4</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$5,200</p>

<p>O. <i>Interior Ramp</i></p>																
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	Code Ref.	Priority	Strategy	Budget												
1. Replace handrails	11B-505	3	B	\$2,400												
2. Correcting the depth of the landing at the top of the ramp.	N/A	4	D	N/A												
<p>P. <i>Interior Door to Building Department from Lobby</i></p>																
<table border="1"> <thead> <tr> <th></th> <th>Code Ref.</th> <th>Priority</th> <th>Strategy</th> <th>Budget</th> </tr> </thead> <tbody> <tr> <td>1. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.</td> <td>11B-404.2.10</td> <td>3</td> <td>B</td> <td rowspan="2">\$1,500</td> </tr> <tr> <td>2. Adjust door closer</td> <td>N/A</td> <td>3</td> <td>A</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	\$1,500	2. Adjust door closer	N/A	3	A		
	Code Ref.	Priority	Strategy	Budget												
1. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	\$1,500												
2. Adjust door closer	N/A	3	A													
<p>Q. <i>Building Department Sink Counter</i></p>																
<table border="1"> <thead> <tr> <th></th> <th>Code Ref.</th> <th>Priority</th> <th>Strategy</th> <th>Budget</th> </tr> </thead> <tbody> <tr> <td>1. Replace sink counter to provide access at sink</td> <td>11B-606</td> <td>3</td> <td>B</td> <td>\$3,200</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Replace sink counter to provide access at sink	11B-606	3	B	\$3,200						
	Code Ref.	Priority	Strategy	Budget												
1. Replace sink counter to provide access at sink	11B-606	3	B	\$3,200												

<p>R. Interior Stair to Southeast Exit</p>				
	Code Ref.	Priority	Strategy	Budget
1. Replace handrails	11B-505	3	B	\$2,900
2. Add contrasting nosing stripes	11B-504.4.1	3	A	
<p>S. Southeast Exit Door</p>				
	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$500
2. Adjust threshold height and slopes at the exterior landing	N/A	4	D	N/A
<p>T. Interior Door from Building Department to Council Chamber</p>				
	Code Ref.	Priority	Strategy	Budget
1. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	\$1,500
2. Adjust door closer	N/A	3	B	


<i>U. Interior Door to Administration Department from Lobby</i>				
	Code Ref.	Priority	Strategy	Budget
1. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	\$1,500
2. Adjust door closer	N/A	3	B	
3. Correcting the clearance on the strike/push side of the door	N/A	4	D	N/A
<i>V. Administration Department Interior Office Doors</i>				
	Code Ref.	Priority	Strategy	Budget
1. Provide lever hardware	11B-404.2.7	3	A	\$2,000
2. Provide clear width of 32 inches minimum at two doors	11B-404.2.3	3	A	
<i>W. Administration Department Sink Counter</i>				
				
	Code Ref.	Priority	Strategy	Budget
1. Replace sink counter	11B-606	3	B	\$3,200
2. Relocate paper towel dispenser, soap dispenser, hand sanitizer dispenser	11B-603.5	3	B	

X. Admin. Department Reception Counter


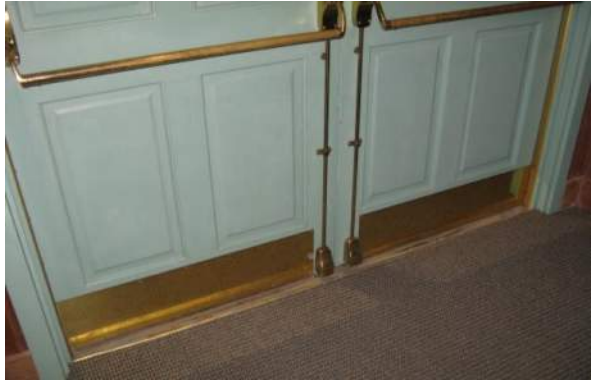



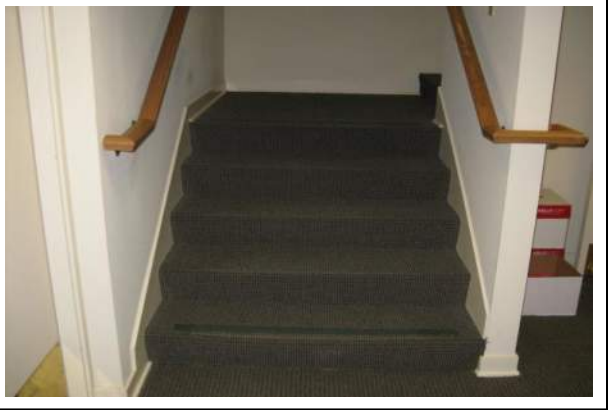
	Code Ref.	Priority	Strategy	Budget
1. Modify the counter	11B-904.4	3	B	\$5,200

Y. Northeast Exit Door

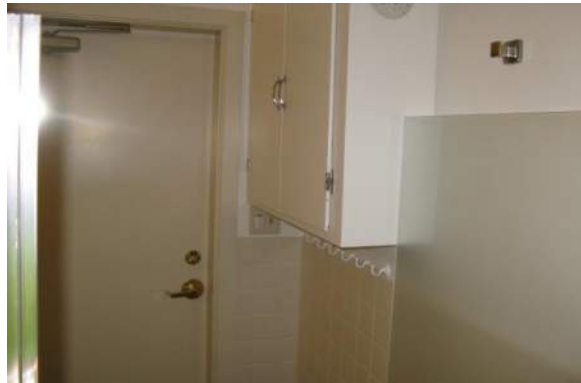


	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$1,000
2. Relocate light switch	11B-308	3	B	
3. Adjust threshold height and slopes at the exterior landing	N/A	4	D	N/A




<p>Z. Interior Door to Council Chamber from Lobby</p>																								
<table border="1"> <thead> <tr> <th data-bbox="191 604 906 636"></th> <th data-bbox="906 604 1068 636">Code Ref.</th> <th data-bbox="1068 604 1209 636">Priority</th> <th data-bbox="1209 604 1351 636">Strategy</th> <th data-bbox="1351 604 1507 636">Budget</th> </tr> </thead> <tbody> <tr> <td data-bbox="191 636 906 688">1. Adjust door closer</td> <td data-bbox="906 636 1068 688">N/A</td> <td data-bbox="1068 636 1209 688">3</td> <td data-bbox="1209 636 1351 688">A</td> <td data-bbox="1351 636 1507 856" rowspan="4" style="text-align: center; vertical-align: middle;">\$1,350</td> </tr> <tr> <td data-bbox="191 688 906 741">2. Relocate light switch</td> <td data-bbox="906 688 1068 741">11B-308</td> <td data-bbox="1068 688 1209 741">3</td> <td data-bbox="1209 688 1351 741">B</td> </tr> <tr> <td data-bbox="191 741 906 804">3. Signage: Provide Assistive Listening System sign next to the door</td> <td data-bbox="906 741 1068 804">11B-216.10</td> <td data-bbox="1068 741 1209 804">3</td> <td data-bbox="1209 741 1351 804">A</td> </tr> <tr> <td data-bbox="191 804 906 856">4. Relocate hand sanitizer dispenser</td> <td data-bbox="906 804 1068 856">11B-603.5</td> <td data-bbox="1068 804 1209 856">3</td> <td data-bbox="1209 804 1351 856">A</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Adjust door closer	N/A	3	A	\$1,350	2. Relocate light switch	11B-308	3	B	3. Signage: Provide Assistive Listening System sign next to the door	11B-216.10	3	A	4. Relocate hand sanitizer dispenser	11B-603.5	3	A		
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<p>AA. West Exit Doors from Council Chamber</p>																								
<table border="1"> <thead> <tr> <th data-bbox="191 1266 906 1297"></th> <th data-bbox="906 1266 1068 1297">Code Ref.</th> <th data-bbox="1068 1266 1209 1297">Priority</th> <th data-bbox="1209 1266 1351 1297">Strategy</th> <th data-bbox="1351 1266 1507 1297">Budget</th> </tr> </thead> <tbody> <tr> <td data-bbox="191 1297 906 1402">1. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.</td> <td data-bbox="906 1297 1068 1402">11B-404.2.10</td> <td data-bbox="1068 1297 1209 1402">3</td> <td data-bbox="1209 1297 1351 1402">B</td> <td data-bbox="1351 1297 1507 1497" rowspan="3" style="text-align: center; vertical-align: middle;">\$2,000</td> </tr> <tr> <td data-bbox="191 1402 906 1455">2. Relocate deadbolt</td> <td data-bbox="906 1402 1068 1455">11B-404.2.7</td> <td data-bbox="1068 1402 1209 1455">3</td> <td data-bbox="1209 1402 1351 1455">B</td> </tr> <tr> <td data-bbox="191 1455 906 1497">3. Adjust door closer</td> <td data-bbox="906 1455 1068 1497">N/A</td> <td data-bbox="1068 1455 1209 1497">3</td> <td data-bbox="1209 1455 1351 1497">B</td> </tr> <tr> <td data-bbox="191 1497 906 1564">4. Adjust threshold height and slopes at the exterior landing</td> <td data-bbox="906 1497 1068 1564">N/A</td> <td data-bbox="1068 1497 1209 1564">4</td> <td data-bbox="1209 1497 1351 1564">D</td> <td data-bbox="1351 1497 1507 1564" style="text-align: center; vertical-align: middle;">N/A</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	\$2,000	2. Relocate deadbolt	11B-404.2.7	3	B	3. Adjust door closer	N/A	3	B	4. Adjust threshold height and slopes at the exterior landing	N/A	4	D	N/A	
	Code Ref.	Priority	Strategy	Budget																				
1. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	\$2,000																				
2. Relocate deadbolt	11B-404.2.7	3	B																					
3. Adjust door closer	N/A	3	B																					
4. Adjust threshold height and slopes at the exterior landing	N/A	4	D	N/A																				

<p>BB. Council Dais</p>				
	Code Ref.	Priority	Strategy	Budget
1. Provide handrails	11B-505	3	B	\$1,700
2. Provide contrasting stipe at step	11B-504.4.1	3	B	
<p>CC. Stairs from Administration Department to Basement</p>				
	Code Ref.	Priority	Strategy	Budget
1. Replace handrails	11B-505	3	B	\$8,500
2. Provide contrasting stripe at step	11B-504.4.1	3	B	

DD. Basement Level Restroom



	Code Ref.	Priority	Strategy	Budget
1. Signage	11B-703.7.2.6.3	3	A	\$4,400
2. Replace threshold	11B-404.2.5	3	B	
3. Adjust door closer	N/A	3	A	
4. Replace the toilet with the flush control on the open side	11B-604.6	3	B	
5. Providing 60" minimum by 56" minimum clearance around the toilet	N/A	4	D	
6. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
7. Toilet Paper Dispenser: Relocate	11B-604.7	3	B	
8. Lavatory: Provide knee clearance	11B-306.3	3	B	
9. Relocating the lavatory horizontally would decrease the clearance around the toilet	N/A	4	D	
10. Remove cabinet on east wall	N/A	1	A	
11. Accessories: Relocate soap dispenser, seat cover dispenser, coat hook	11B-603.5 11B-308	3	B	
12. Relocate light switch & receptacle	11B-308	3	B	
13. Relocate mirror	11B-603.3	3	B	
14. Shower: make shower accessible	N/A	4	D	

<i>EE. Door to Basement Conference Room</i>				
	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$500
<i>FF. Basement Conference Room Sink Counter</i>				
				
	Code Ref.	Priority	Strategy	Budget
1. The basement level is not accessible to persons in a wheelchair and providing access is an undue burden.	N/A	4	D	N/A
<i>GG. Door to Basement IT Room</i>				
				
	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$500
<i>HH. Basement Exit Door</i>				
				
	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$500
2. Adjust threshold height and maneuvering clearance at the exterior landing	N/A	4	D	N/A

Del Mar Beach Public Restrooms



Del Mar Avenue at Ocean Avenue
Carmel-by-the-Sea, California 93923



R.O.M. Cost Evaluation:

Site, Path of Travel:	\$30,780
Site, Parking:	\$70,160
Interiors, Toilet Rooms & Drinking Fountains:	\$10,200
Interiors, Other:	\$ 0
Total:	\$111,140



Site

<p>A. <i>Path of Travel from Public Sidewalk to Primary Entrance.</i></p>																												
<table border="1"> <thead> <tr> <th data-bbox="191 646 906 674"></th> <th data-bbox="906 646 1068 674">Code Ref.</th> <th data-bbox="1068 646 1211 674">Priority</th> <th data-bbox="1211 646 1354 674">Strategy</th> <th data-bbox="1354 646 1511 674">Budget</th> </tr> </thead> <tbody> <tr> <td data-bbox="191 674 906 772">1. Provide an "Accessible Route" sign with a right arrow at the sidewalk at the bottom of the west concrete walk</td> <td data-bbox="906 674 1068 772">11B-216.3</td> <td data-bbox="1068 674 1211 772">3</td> <td data-bbox="1211 674 1354 772">B</td> <td data-bbox="1354 674 1511 873" rowspan="2">\$23,500</td> </tr> <tr> <td data-bbox="191 772 906 873">2. Provide edge protection and handrails where the running slope of the concrete walks exceeds 1:20 (5%)</td> <td data-bbox="906 772 1068 873">11B-405.9 & 11B-505</td> <td data-bbox="1068 772 1211 873">1</td> <td data-bbox="1211 772 1354 873">B</td> </tr> <tr> <td data-bbox="191 873 906 926">3. Provide ramp landings</td> <td data-bbox="906 873 1068 926">N/A</td> <td data-bbox="1068 873 1211 926">4</td> <td data-bbox="1211 873 1354 926">D</td> <td data-bbox="1354 873 1511 926">N/A</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Provide an "Accessible Route" sign with a right arrow at the sidewalk at the bottom of the west concrete walk	11B-216.3	3	B	\$23,500	2. Provide edge protection and handrails where the running slope of the concrete walks exceeds 1:20 (5%)	11B-405.9 & 11B-505	1	B	3. Provide ramp landings	N/A	4	D	N/A									
	Code Ref.	Priority	Strategy	Budget																								
1. Provide an "Accessible Route" sign with a right arrow at the sidewalk at the bottom of the west concrete walk	11B-216.3	3	B	\$23,500																								
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3. Provide ramp landings	N/A	4	D	N/A																								
<p>B. <i>Path of Travel from Accessible Parking Spaces to Public Sidewalk</i></p>																												
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	Code Ref.	Priority	Strategy	Budget																								
1. Provide edge protection and handrails where the running slope of the concrete walks exceeds 1:20 (5%)	11B-405.9 & 11B-505	3	D	\$24,200																								
2. Provide detectable warning mats between the pedestrian and vehicular areas	11B-247.1.2.5	3	D																									
3. Correct the running slope of the concrete paver walk	N/A	4	D	N/A																								
4. Provide ramp landings	N/A	4	D																									
5. Correct cross slope of the paver walk	N/A	4	D																									

C. Accessible Parking Spaces



	Code Ref.	Priority	Strategy	Budget
1. Provide detectable warnings at the boundaries between the concrete paver walk and accessible parking spaces	11B-247.1.2.5	3	D	\$45,960
2. Regrade parking spaces and aisles for max surface slope of 1:48 in any direction	11B-502.4	3	D	
3. Accessible parking markings and international symbol of accessibility	11B-502.1 11B502.3 11B-502.6	3	D	
4. Identification signage, Van Accessible, Minimum Fine & Tow Away signs	11B-502.6 11B502.8	3	D	
5. Paint access aisle markings	11B-502.3.3	3	D	
6. Provide wheel stops where the parking spaces adjoin the accessible route	11B-502.7.2	3	D	

<p>D. <i>Drinking Fountain</i></p>				
<p>1. Replace drinking fountain with hi-low fountain, pedestrian protection and ground surface slopes not to exceed 2%</p>	<p>Code Ref. 11B-602</p>	<p>Priority 1</p>	<p>Strategy B</p>	<p>Budget \$6,280</p>
<p>E. <i>Benches at Women's Changing Area</i></p>				
<p>1. Provide a 48" long minimum section of bench that provides minimum seat & back support</p>	<p>Code Ref. 11B-903</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$1,000</p>

Building

F. Women's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Wall & Door Signage	11B-703.2 & 11B-703.7.2.6	3	A	\$5,350
2. Women's Changing Area Sign: Provide raised characters and braille	11B-703.2	3	B	
3. Provide 180 degree turn at entry and turning space in the restroom	N/A	4	D	
4. Toilet: Replace the toilet seat	11B-604.4	3	B	
5. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet	N/A	4	D	
6. Grab Bars: Relocate the sidewall grab bar	N/A	3	B	
7. Toilet Paper Dispenser: Remove the dispenser mounted on the wall and provide a dispenser under the sidewall grab bar	11B-307 & 11B-604.9.6	2	A	
8. Sanitary Napkin Disposal: Relocate	11B-603.5	3	B	
9. Toilet Compartment Door: Provide self-closing hinges and pulls	11B-604.8.1.2	3	B	
10. Provide 60" minimum maneuvering clearance perpendicular to the pull side of the door	N/A	4	D	
11. Lavatory: Replace	11B-606	3	B	

G. Men's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Wall & Door Signage	11B-703.2 & 11B-703.7.2.6	3	A	\$4,850
2. Provide 180 degree turn at entry and turning space in the restroom	N/A	4	D	
3. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet	N/A	4	D	
4. Toilet Paper Dispenser: Remove the dispenser mounted on the wall and provide a dispenser under the sidewall grab bar	11B-307 & 11B-604.9.6	2	A	
5. Toilet Compartment Door: Provide self-closing hinges and pulls	11B-604.8.1.2	3	B	
6. Provide 60" minimum maneuvering clearance perpendicular to the pull side of the door	N/A	4	D	
7. Lavatory: Replace	11B-606	3	B	
8. Soap Dispenser: Relocate	11B-603.5	3	B	

Devendorf Park Public Restrooms

Junipero Avenue at Ocean Avenue
Carmel-by-the-Sea, California 93923



R.O.M. Cost Evaluation:

Site, Path of Travel:	\$79,210
Site, Parking:	\$1,000
Interiors, Toilet Rooms & Drinking Fountains:	\$13,200
Interiors, Other:	\$ 0
Total:	\$93,410

Site

A. *Path of Travel from Public Sidewalk to Primary Entrance.*







	Code Ref.	Priority	Strategy	Budget
1. Repair or replace concrete walk to correct the uneven surface and change in level at the public sidewalk	11B-403	3	B	\$9,500
2. Correct the running slope of the concrete walk	N/A	4	D	N/A



B. *Parallel Parking Space on 6th Avenue identified as Accessible*



	Code Ref.	Priority	Strategy	Budget
1. Remove the identification sign and markings at the parallel parking space	N/A	1	A	\$1,000
2. Provide an accessible parking space	N/A	4	D	N/A

<p>C. Path of Travel from Public Sidewalk to Park Benches</p>																																															
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<p>G. <i>Monumental Concrete Stair on Ocean Street</i></p>																			
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<p>J. <i>Drinking Fountain</i></p>																			
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	Code Ref.	Priority	Strategy	Budget															
1. Replace drinking fountain	11B-602	3	B	\$3,500															

Building

H. Women's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet	N/A	4	D	\$4,850
2. Grab Bars: Replace the "L" shaped grab bar with a 36" long minimum rear wall grab bar and a 42" long minimum side wall grab bar	11B-604.5	3	B	
3. Toilet Paper Dispenser: Remove the dispenser mounted on the wall opposite and provide a dispenser below the side grab bar	11B-204.5 & 11B-604.7	2	A	
4. Seat Cover Dispenser: Relocate	11B-603.5	3	A	
5. Toilet Compartment Door: Provide self-closing hinges and pulls	11B-604.8.1.2	3	B	
6. Relocate the coat hook	11B-308	3	B	
7. Correcting the location of the compartment door opening	N/A	4	D	
8. Lavatory: Replace one lavatory and insulate the supply and drain lines	11B-606	3	B	

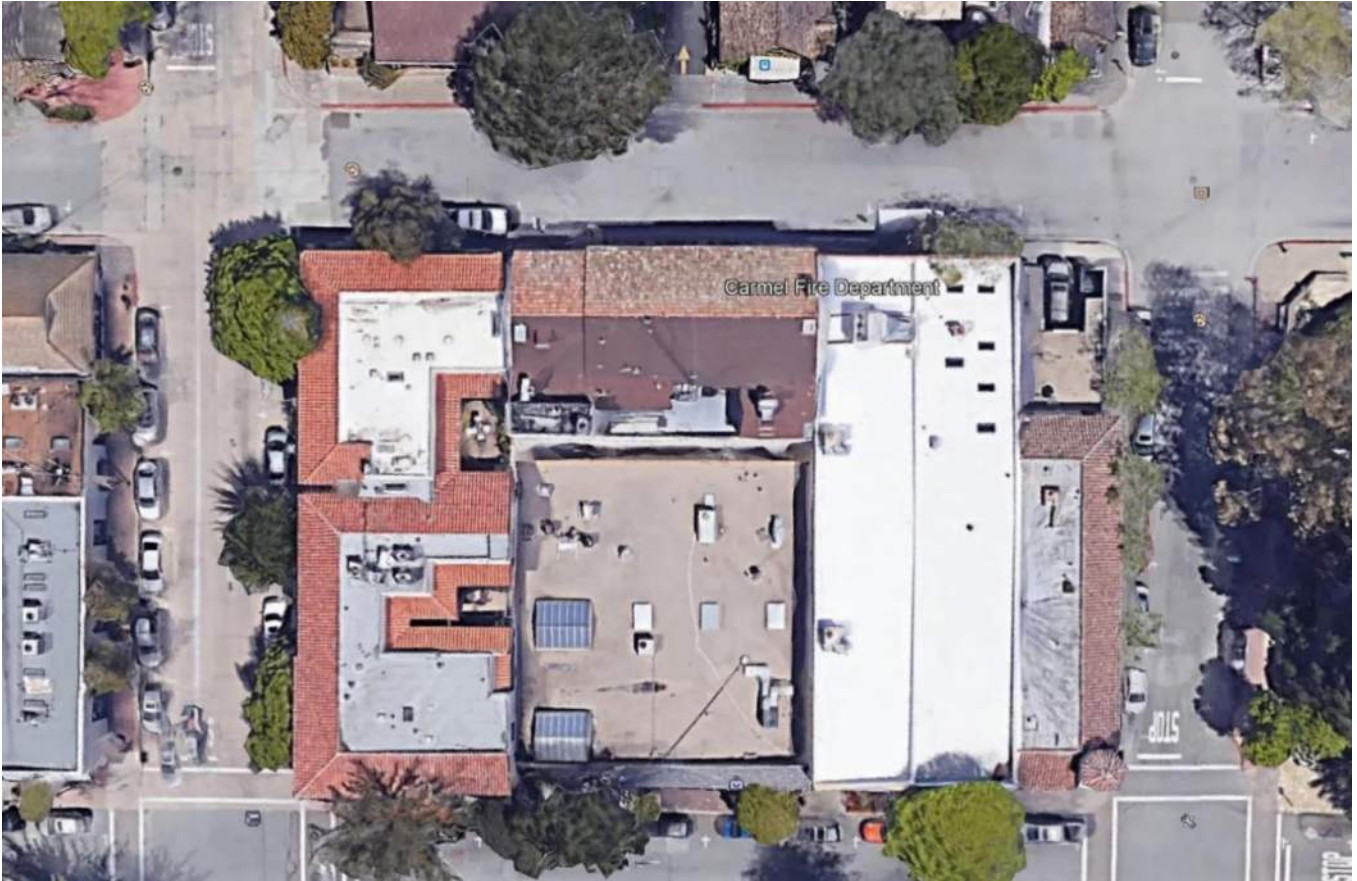
I. Men's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet	N/A	4	D	\$4,850
2. Grab Bars: Replace the "L" shaped grab bar with a 36" long minimum rear wall grab bar and a 42" long minimum side wall grab bar	11B-604.5	3	B	
3. Toilet Paper Dispenser: Remove the dispenser mounted on the wall opposite and provide a dispenser below the side grab bar	11B-204.5 & 11B-604.7	2	A	
4. Seat Cover Dispenser: Relocate	11B-603.5	3	A	
5. Toilet Compartment Door: Provide self-closing hinges and pulls	11B-604.8.1.2	3	B	
6. Relocate the coat hook	11B-308	3	B	
7. Correcting the location of the compartment door opening	N/A	4	D	
8. Lavatory: Replace one lavatory and insulate the supply and drain lines	11B-606	3	B	
9. Urinal: Correcting the width of the urinal alcove	N/A	4	D	

Fire Station

6th Avenue between Mission Street & San Carlos Street
Carmel-by-the-Sea, California 93923



R.O.M. Cost Evaluation:

Site, Path of Travel:	\$2,100
Site, Parking:	\$0
Interiors, Toilet Rooms & Drinking Fountains:	\$0
Interiors, Other:	<u>\$45,945</u>
Total:	\$48,045

Fire Station



6th Avenue between Mission Street & San Carlos Street

City of Carmel-by-the-Sea



ADA Evaluation and Transition Report


September 28, 2018

Site

<p>A. <i>Path of Travel from Public Sidewalk to Primary Entrance.</i></p>				
<p>1. Provide a paved accessible route for a person using a wheelchair from the public sidewalk to the primary entrances</p>	Code Ref. N/A	Priority 4	Strategy D	Budget N/A
<p>B. <i>Exterior Concrete Stair</i></p>				
<p>1. Contrasting nosing stripes, shall extend full width of tread</p>	Code Ref. 11B-504.4.1	Priority 3	Strategy B	Budget \$2,100
<p>2. Provide handrails</p>	11B-505	3	B	
<p>3. Correct the stair riser heights</p>	N/A	4	D	N/A

Building

<p>C. <i>Primary Entrance</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Adjust door closer</p>	N/A	3	A	\$500
<p>2. Provide required maneuvering clearance on both sides of the door</p>	N/A	4	D	N/A
<p>D. <i>Interior Concrete Stair from Entry Foyer to Engine Bay</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Contrasting nosing stripes</p>	11B-504.4.1	3	B	\$500
<p>2. Provide handrails</p>	N/A	4	D	N/A
<p>E. <i>Dispatch Office Door</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Adjust door closer</p>	N/A	3	A	\$500
<p>2. Provide accessible route to the Dispatch Office</p>	N/A	4	D	N/A

F. First Floor Office Doors (2)						
	Code Ref.	Priority	Strategy	Budget		
1. Provide lever hardware	11B-404.2.7	3	A	\$1,000		
2. Correct width of one door and providing an accessible route the office doors	N/A	4	D	N/A		
G. Entry Foyer						
	Code Ref.	Priority	Strategy	Budget		
1. Provide access to the Entry Foyer and the restroom on the this level	N/A	4	D	N/A		
H. Interior Concrete Stairway (Six Flights)						
		Code Ref.	Priority	Strategy	Budget	
		1. Contrasting nosing stripes	11B-504.4.1	3	B	\$27,945
		2. Provide handrails	11B-505	3	B	
		3. Provide guardrails at the open sides of the stairway and the second floor landing	1015	3	B	
4. Correcting the riser heights, treads depths and landing depths	N/A	4	D	N/A		

<i>I. Second Floor</i>				
	Code Ref.	Priority	Strategy	Budget
1. Provide lever hardware at five interior doors	11B-404.2.7	3	A	\$2,500
2. Providing access to the Second Floor and the two restrooms and sink counter located on the Second Floor level	N/A	4	D	N/A
<i>J. Second Floor Exit Door to Roof Deck</i>				
	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$500
<i>K. Interior Wood Stairway from Roof Deck to Engine Bay (Two Flights)</i>				
	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$12,500
2. Provide handrails	11B-505	3	B	
3. Correct the riser heights and provide a landing at the top of the stairway	N/A	4	D	N/A



First Murphy House and Park (Historic)

Lincoln Street at 6th Avenue
Carmel-by-the-Sea, California 93923



R.O.M. Cost Evaluation:

Site, Path of Travel:	\$68,900
Site, Parking:	\$25,300
Interiors, Toilet Rooms & Drinking Fountains:	\$11,330
Interiors, Other:	<u>\$9,300</u>
Total:	\$114,830

Site

A. *Path of Travel from Public Sidewalk to Primary Entrance.*





	Code Ref.	Priority	Strategy	Budget
1. Providing an accessible route from the public sidewalk to the primary entrance	N/A	4	D	N/A
2. Exterior Wood Ramp to Secondary Entrance - provide handrails	11B-505	3	B	\$16,000
3. Exterior Wood Ramp to Secondary Entrance - correcting the clear width of the ramp, size of the landing at the top and slope of the landing at the bottom of the ramp on the east side	N/A	4	D	N/A

B. *Path of Travel from Public Sidewalk to Restroom Building Primary Entrances*



	Code Ref.	Priority	Strategy	Budget
1. Provide edge protection and handrails where the running slope of the concrete walk exceeds 1:20 (5%)	11B-405.9	3	B	\$13,330
2. Provide ramp landings	N/A	4	D	N/A

C. Accessible Parking Space:






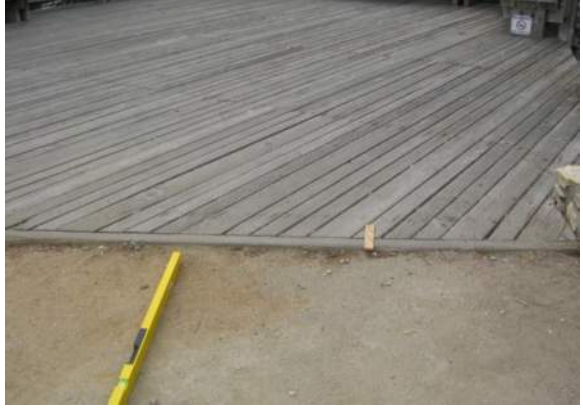

	Code Ref.	Priority	Strategy	Budget
1. Regrade parking space and aisle for max surface slope of 1:48 in any direction	11B-502.4	2	D	\$25,300
2. Provide parallel curb ramp	11B-406.3	2	D	
3. Van accessible markings and international symbol of accessibility	11B-502.1 11B502.3 11B-502.6	2	D	
4. Identification signage, Van Accessible, Minimum Fine & Tow Away signs	11B-502.6 11B502.8	2	D	


D&E Concrete Curb Ramp




	Code Ref.	Priority	Strategy	Budget
1. Correcting the height and slope of the gutter, slope and surface for the landing at the top of the ramp and the surface of the path to the House	N/A	4	D	N/A



<p>F. <i>Walking Surface from Curb Ramp to Restroom Building</i></p>				
<p>1. Correcting the surface of the first 15 -20 feet and the running slope of the paved portion</p>	Code Ref. N/A	Priority 4	Strategy D	Budget N/A
<p>G. <i>Exterior Wood Stair at First Murphy House Primary Entry</i></p>				
<p>1. Contrasting nosing stripes</p>	Code Ref. 11B-504.4.1	Priority 3	Strategy B	Budget \$3,600
<p>2. Provide handrails</p>	11B-505	3	B	
<p>H. <i>Exterior Wood Stair at First Murphy House</i></p>				
<p>1. Contrasting nosing stripes</p>	Code Ref. 11B-504.4.1	Priority 3	Strategy B	Budget \$3,600
<p>2. Provide handrails</p>	11B-505	3	B	


<p>I. <i>Walking Surface from the West side of First Murphy House to the Observation Deck</i></p>				
<p>1. Provide a paved walk</p>	Code Ref. 11B-403	Priority 3	Strategy D	Budget \$14,500
<p>J. <i>Exterior Wood Stairway at Restroom Building</i></p>				
<p>1. Contrasting nosing stripes</p>	Code Ref. 11B-504.4.1	Priority 3	Strategy B	Budget \$16,900
<p>2. Provide handrail extensions</p>	Code Ref. 11B-505	Priority 3	Strategy B	
<p>3. Modify guardrails at the open sides of the stairway and the landings, 4" max openings</p>	Code Ref. 1015	Priority 3	Strategy B	
<p>4. Provide paved solid surfaces at the intermediate landing and the landing at the top of the stairway</p>	Code Ref. 1011.6 1011.7.1	Priority 3	Strategy B	
<p>5. Correcting the slope of the landing at the bottom of the stairway</p>	Code Ref. N/A	Priority 4	Strategy D	Budget N/A

<p>K. Benches at the Observation Deck</p>				
<p>1. Provide a 48" long minimum section of bench at one end with seats that are 20" deep min. with seat that is between 17" min. and 19" max above finish floor & back support</p>	<p>Code Ref. 11B-903</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$1,000</p>

Building - First Murphy House

<p>L. North Side Accessible Entrance</p>				
<p>1. Doors: Modify or replace the doors to provide a smooth surface on the push side extending the full width of the door.</p>	<p>Code Ref. 11B-404.2.10</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$1,500</p>
<p>2. Replace lever hardware</p>	<p>11B-404.2.7</p>	<p>3</p>	<p>B</p>	
<p>3. Providing 48" minimum maneuvering clearance perpendicular to the push side of the door</p>	<p>N/A</p>	<p>4</p>	<p>D</p>	<p>N/A</p>

<p>M. Restroom</p>																																											
<table border="1"> <thead> <tr> <th data-bbox="191 638 906 674"></th> <th data-bbox="906 638 1068 674">Code Ref.</th> <th data-bbox="1068 638 1211 674">Priority</th> <th data-bbox="1211 638 1354 674">Strategy</th> <th data-bbox="1354 638 1507 674">Budget</th> </tr> </thead> <tbody> <tr> <td data-bbox="191 674 906 722">1. Signage</td> <td data-bbox="906 674 1068 722">11B-703.7.2.6.3</td> <td data-bbox="1068 674 1211 722">3</td> <td data-bbox="1211 674 1354 722">B</td> <td data-bbox="1354 674 1507 1213" rowspan="9" style="text-align: center; vertical-align: middle;">\$3,730</td> </tr> <tr> <td data-bbox="191 722 906 827">2. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.</td> <td data-bbox="906 722 1068 827">11B-404.2.10</td> <td data-bbox="1068 722 1211 827">3</td> <td data-bbox="1211 722 1354 827">B</td> </tr> <tr> <td data-bbox="191 827 906 875">3. Relocate lever hardware</td> <td data-bbox="906 827 1068 875">11B-404.2.7</td> <td data-bbox="1068 827 1211 875">3</td> <td data-bbox="1211 827 1354 875">B</td> </tr> <tr> <td data-bbox="191 875 906 940">4. Toilet: Replace the tank with the flush control on the open side of the toilet</td> <td data-bbox="906 875 1068 940">N/A</td> <td data-bbox="1068 875 1211 940">3</td> <td data-bbox="1211 875 1354 940">B</td> </tr> <tr> <td data-bbox="191 940 906 1008">5. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet</td> <td data-bbox="906 940 1068 1008">N/A</td> <td data-bbox="1068 940 1211 1008">4</td> <td data-bbox="1211 940 1354 1008">D</td> </tr> <tr> <td data-bbox="191 1008 906 1058">6. Grab Bars: Relocate the grab bars</td> <td data-bbox="906 1008 1068 1058">11B-604.5.2</td> <td data-bbox="1068 1008 1211 1058">3</td> <td data-bbox="1211 1008 1354 1058">B</td> </tr> <tr> <td data-bbox="191 1058 906 1108">7. Lavatory: Replace</td> <td data-bbox="906 1058 1068 1108">11B-606</td> <td data-bbox="1068 1058 1211 1108">3</td> <td data-bbox="1211 1058 1354 1108">B</td> </tr> <tr> <td data-bbox="191 1108 906 1159">8. Toilet Paper Dispenser: Relocate</td> <td data-bbox="906 1108 1068 1159">11B-604.7</td> <td data-bbox="1068 1108 1211 1159">3</td> <td data-bbox="1211 1108 1354 1159">B</td> </tr> <tr> <td data-bbox="191 1159 906 1213">9. Mirror: Relocate</td> <td data-bbox="906 1159 1068 1213"></td> <td data-bbox="1068 1159 1211 1213">3</td> <td data-bbox="1211 1159 1354 1213">B</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Signage	11B-703.7.2.6.3	3	B	\$3,730	2. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	3. Relocate lever hardware	11B-404.2.7	3	B	4. Toilet: Replace the tank with the flush control on the open side of the toilet	N/A	3	B	5. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet	N/A	4	D	6. Grab Bars: Relocate the grab bars	11B-604.5.2	3	B	7. Lavatory: Replace	11B-606	3	B	8. Toilet Paper Dispenser: Relocate	11B-604.7	3	B	9. Mirror: Relocate		3	B	
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2. Provide a 30" minimum work surface adjacent to the sink	11B-902	3	B																																								

O. Interior Office Door				
	Code Ref.	Priority	Strategy	Budget
1. Door: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	\$2,000
2. Provide a clear width of 32 inches minimum	11B-404	3	B	
3. Provide lever hardware	11B-404.2.7	3	B	
P. Primary Entrance and West Exit Door				
				
	Code Ref.	Priority	Strategy	Budget
1. Provide lever hardware	11B-404.2.7	3	B	\$500
2. Correcting the height of the thresholds	N/A	4	D	N/A

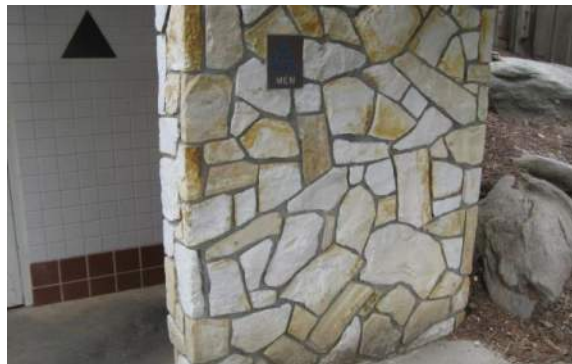
Building - Restroom Building

Q. *Women's Restroom*



	Code Ref.	Priority	Strategy	Budget
1. Signage - Provide raised characters and braille	11B-703.2	3	A	\$3,800
2. Entry Doorway: Relocate the geometric symbol next to the doorway	11B-703.7.2.6.3	3	B	
3. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet	N/A	4	D	
4. Grab Bars: Relocate the rear grab bars	11B-604.5	3	B	
5. Toilet Paper Dispenser: Remove the dispenser mounted on the wall opposite the toilet	11B-204.5	3	A	
6. Seat Cover Dispenser: Relocate	11B-603.5	3	B	
7. Toilet Compartment Door: Provide self-closing hinges and pulls	11B-604.8.1.2	3	B	
8. Relocate the coat hook	11B-308	3	B	
9. Correcting the location of the door opening and providing 60" minimum maneuvering clearance perpendicular to the pull side of the door	N/A	4	D	
10. Mirror: Relocate	N/A	3	B	

R. Men's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Signage - Provide raised characters and braille	11B-703.2	3	A	\$3,800
2. Entry Doorway: Relocate the geometric symbol next to the doorway	11B-703.7.2.6.3	3	B	
3. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet	N/A	4	D	
4. Grab Bars: Relocate the rear grab bars	11B-604.5	3	B	
5. Toilet Paper Dispenser: Remove the dispenser mounted on the wall opposite the toilet	11B-204.5	3	A	
6. Seat Cover Dispenser: Relocate	11B-603.5	3	B	
7. Toilet Compartment Door: Provide self-closing hinges and pulls	11B-604.8.1.2	3	B	
8. Relocate the coat hook	11B-308	3	B	
9. Correcting the location of the door opening and providing 60" minimum maneuvering clearance perpendicular to the pull side of the door	N/A	4	D	
10. Urinal: Providing a 36" wide minimum alcove	N/A	4	D	

Flanders Mansion (Historic)



25800 Hatton Road
Carmel-by-the-Sea, California 93923






R.O.M. Cost Evaluation:

Site, Path of Travel:	\$26,765
Site, Parking:	\$14,100
Interiors, Toilet Rooms & Drinking Fountains:	\$0
Interiors, Other:	<u>\$48,000</u>
Total:	\$88,865

Site

<p>A. <i>Path of Travel from Public Sidewalk to Primary Entrance.</i></p>				
<p>1. Providing an accessible route from the public sidewalk to the primary entrance</p>	Code Ref. N/A	Priority 4	Strategy D	Budget N/A
<p>B. <i>Accessible Parking Space:</i></p>				
<p>1. Regrade parking space and aisle for max surface slope of 1:48 in any direction</p>	Code Ref. 11B-502.4	Priority 3	Strategy D	\$14,100
<p>2. Van accessible markings and international symbol of accessibility</p>	11B-502.6	3	D	
<p>3. Identification signage, Van Accessible, Minimum Fine & Tow Away signs</p>	11B-502.6 11B502.8	3	D	
<p>4. Provide a ramp from parking space to kitchen level in screened porch</p>	11B-405	3	D	\$12,600
<p>5. Enlarge doorway to porch to provide a min. 32" clear width</p>	11B-502	3	D	
<p>6. Provide access to the main stairway lobby from dining room by fixing the swing of double doors</p>	N/A	3	D	\$1,000

Building

<p>C. Primary Entrance</p>				
	Code Ref.	Priority	Strategy	Budget
1. Provide lever hardware	11B-404.2.7	3	B	\$500
2. Correcting the height of the threshold, the width of the doorway and the slope at the exterior of the door	N/A	4	D	N/A
<p>D. Bathroom (not on an accessible route)</p>				
	Code Ref.	Priority	Strategy	Budget
1. Making the bathroom accessible	N/A	4	D	N/A
<p>E. Kitchen Sink Counter</p>				
	Code Ref.	Priority	Strategy	Budget
1. Making the sink counter accessible	N/A	4	D	N/A

F. Pantry Sink Counter



	Code Ref.	Priority	Strategy	Budget
1. Providing knee clearance, parallel approach allowed	11B-606.2		Equivalent Facilitation	N/A

G. Main Stairway



	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$12,100
2. Provide handrails	11B-505	3	B	
3. Revise guardrails so that openings between pickets are less than 4"	1015	3	B	

H. Southeast Stairway




	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$14,600
2. Provide handrails	11B-505	3	B	
3. Revise guardrails so that openings between pickets are less than 4"	1015	3	B	

I. *Stairs from the living room/ballroom to the kitchen level*





	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$3,600
2. Provide handrails without removing doors	11B-505	3	B	
3. Removal of doors	N/A	4	D	
4. Provide lever hardware	11B-404.2.7	3	B	

J. *Step from the entry level to living room/ballroom level*

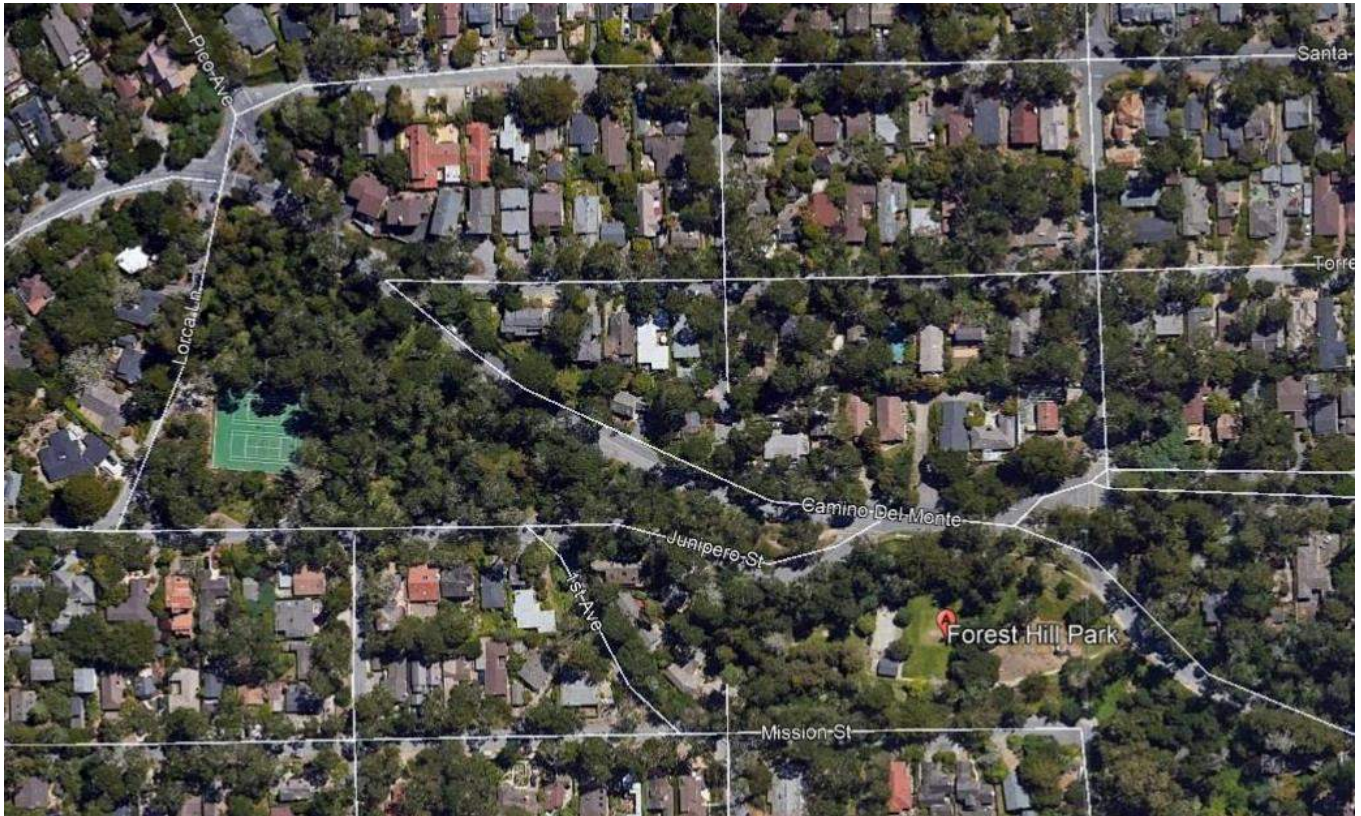


	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$3,600
2. Provide handrails without removing doors	11B-505	3	B	
3. Removal of doors	N/A	4	D	
4. Provide lever hardware	11B-404.2.7	3	B	

<p>K1. <i>Exterior Stairs (If the public is provided access to the grounds surrounding the building)</i></p> 	Code Ref.	Priority	Strategy	Budget	
	1. Contrasting nosing stripes	11B-504.4.1	3	B	\$12,765
	2. Upgrade handrails	11B-505	3	B	
	3. Upgrade guardrails	1015	3	B	
<p>K2. <i>Exterior Stairs (If the public is provided access to the grounds surrounding the building; no improvements to basement access)</i></p> 	Code Ref.	Priority	Strategy	Budget	
	1. Contrasting nosing stripes	11B-504.4.1	3	B	\$14,000
	2. Upgrade handrails	11B-505	3	B	
	3. Upgrade guardrails	1015	3	B	

Forest Hill Park

Junipero Street at Camino Del Monte
 Carmel-by-the-Sea, California 93923



R.O.M. Cost Evaluation:

Site, Path of Travel:	\$102,015
Site, Parking:	\$38,525
Interiors, Toilet Rooms & Drinking Fountains:	\$12,185
Interiors, Other:	<u>\$ 0</u>
Total:	\$152,725

Site - South



	Code Ref.	Priority	Strategy	Budget
1. Provide a passenger drop off and loading zone on Camino Del Monte at the south end of the park.	11B-503	3	D	\$80,900
2. Provide a paved accessible route from the drop off and loading zone on Camino Del Monte to the play structures, swings, accessible picnic table, accessible bench, and restroom entrances.	11B-402	3	D	

B. Play Structures








	Code Ref.	Priority	Strategy	Budget
1. Correct the slope of the 30" x 48" clear ground space adjacent to the transfer platform at each play structure.	11B-302	3	B	\$8,250
2. Correct the level of the transfer platforms at both play structures	11B-1008.3.1.1	3	B	

C. Swings



	Code Ref.	Priority	Strategy	Budget
1. Provide a turning space immediately adjacent to the swing	11B-304	3	B	\$6,125

<p>D. Picnic Tables</p>				
<p>1. Provide at least one accessible picnic table</p>	<p>Code Ref. 11B-246.5</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$1,000</p>
<p>E. Benches</p>				
<p>1. Provide a 48" long minimum section of bench that provides minimum seat & back support</p>	<p>Code Ref. 11B-903</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$1,000</p>
<p>Restroom Building - South</p>				
<p>F. Drinking Fountain</p>				
<p>1. Replace drinking fountain with hi-low fountain, pedestrian protection and ground surface slopes not to exceed 2%</p>	<p>Code Ref. 11B-602</p>	<p>Priority 1</p>	<p>Strategy B</p>	<p>Budget \$4,025</p>

<p>G. Telephone Enclosure</p>				
<p>1. Remove the telephone enclosure and mount the emergency box 27" maximum above the ground measured to the bottom of the box</p>	<p>Code Ref. 11B-307</p>	<p>Priority 1</p>	<p>Strategy A</p>	<p>Budget \$500</p>
<p>H. Identification Signs on the South Exterior Wall</p>				
<p>1. Relocate the signs</p>	<p>Code Ref. 11B-703.4.1</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$200</p>

I. West Restroom



	Code Ref.	Priority	Strategy	Budget
1. Wall & Door Signage	11B-703.2 & 11B-703.7.2.6	3	A	\$3,280
2. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet	N/A	4	D	
3. Toilet Paper Dispenser: Relocate	11B-604.7	2	A	
4. Lavatory: Replace	11B-606	3	B	
5. Hand Dryer: Relocate	11B-603.5	3	B	

J. East Restroom




	Code Ref.	Priority	Strategy	Budget
1. Wall & Door Signage	11B-703.2 & 11B-703.7.2.6	3	A	\$3,280
2. Correct the slope of the exterior concrete surface within the required maneuvering clearance	N/A	4	B	
3. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet	N/A	4	D	
4. Toilet Paper Dispenser: Relocate	11B-604.7	2	A	
5. Lavatory: Replace	11B-606	3	B	
6. Hand Dryer: Relocate	11B-603.5	3	B	

Site - North

K. *Path of Travel from Public Sidewalk to Restroom Entrances and Tennis Courts*



	Code Ref.	Priority	Strategy	Budget
1. Provide accessible routes from the public street to the tennis courts and restroom entrances	N/A	4	D	N/A

<p>L. Path of Travel from Public Sidewalk to Restroom Entrances and Tennis Courts</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Parking: Remove existing asphalt paving as required to accommodate a van accessible parking space and access aisle, and to conform to the slope of the driveway. Re-grade the base course and repave with asphalt concrete with surface slope not greater than 1:48 (2.08%) in any direction.</p>	11B-502.4	3	B	\$38,525
<p>2. Van accessible markings and international symbol of accessibility</p>	11B502.3 11B-502.6	3	B	
<p>3. Identification signage, Van Accessible, Minimum Fine & Tow Away signs</p>	11B-502.6 11B502.8	3	B	
<p>4. Gates (2): Remove the existing concrete paving at the exterior of the west gate within the required maneuvering clearance, re-grade the base course and repave with asphalt concrete with surface slopes not greater than 1:48 (2.08%)</p>	11B-404.2.4 1010.1.5	3	B	\$3,240
<p>5. Benches (2): Provide at least one accessible bench</p>	11B-903	3	B	\$1,000

Restroom Building - North

M. North Restroom



	Code Ref.	Priority	Strategy	Budget
1. Wall & Door Signage	11B-703.7.2.6	3	A	\$700
2. Lavatory: Adjust or replace the hand-operated metering faucet	11B-606.4	3	B	

N. South Restroom



	Code Ref.	Priority	Strategy	Budget
1. Wall & Door Signage	11B-703.7.2.6	3	A	\$700
2. Lavatory: Adjust or replace the hand-operated metering faucet	11B-606.4	3	B	

Forest Theater Complex

Mountain View Avenue & Santa Rita Street
Carmel-by-the-Sea, California 93921

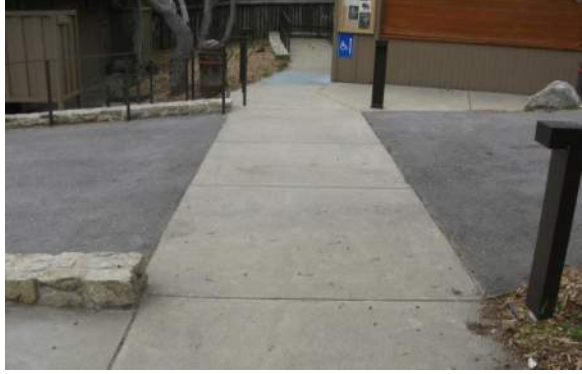






R.O.M. Cost Evaluation:

Site, Path of Travel:	\$118,665
Site, Parking:	\$200
Interiors, Toilet Rooms & Drinking Fountains:	\$77,000
Interiors, Other:	<u>\$41,780</u>
Total:	\$237,645

Site

<p>A. <i>Path of Travel from Public Sidewalk to Primary Entrance and Accessible Seating</i></p>				
<p>1. Public sidewalks are not provided. Provide accessible route from the public way to the primary entrance</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>
<p>B. <i>Accessible Parking Space:</i></p>				
<p>1. Provide "Van Accessible" parking sign & locate min. 60" above grade</p>	<p>Code Ref. 11B-502.6</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$200</p>
<p>C. <i>Exterior Concrete Ramp at Accessible Parking Space Access Aisle</i></p>				
<p>1. Provide a continuous and uninterrupted barrier providing edge protection on each side of the ramp to prevent wheel entrapment</p>	<p>Code Ref. 11B-405.9</p>	<p>Priority 1</p>	<p>Strategy B</p>	<p>Budget \$3,000</p>

<p>D. <i>Path of Travel from the Accessible Parking Space to Outdoor Seating:</i></p>				
<p>1. Provide a marked crossing and detectable warning mat at vehicular way</p>	<p>Code Ref. 11B-106 & 11B-705.1</p>	<p>Priority 1</p>	<p>Strategy B</p>	<p>Budget \$1,600</p>
<p>E. <i>West Exterior Concrete Stairway from Parking Lot to Concession Building</i></p>				
<p>1. At the top of the 2nd flight from the southwest exit gate, extend handrail horizontally above the landing 12" min.</p>	<p>Code Ref. 11B-505.10.2</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$2,400</p>
<p>2. Provide detectable warnings at the bottom of the stairway at the vehicular way</p>	<p>Code Ref. 11B-705.1</p>	<p>Priority 1</p>	<p>Strategy B</p>	<p>Budget \$600</p>
<p>F. <i>Exterior Wood Stair at Concession Building</i></p>				
<p>1. Contrasting nosing stripes</p>	<p>Code Ref. 11B-504.4.1</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$3,300</p>
<p>2. Provide handrail extensions</p>	<p>Code Ref. 11B-505.10.3</p>	<p>Priority 3</p>	<p>Strategy B</p>	
<p>3. Correcting the riser heights</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>


<p>G. <i>Exterior Concrete Ramp at the East Side of the Wood Deck</i></p>				
<p>1. Provide a continuous and uninterrupted barrier providing edge protection on each side of the ramp to prevent wheel entrapment</p>	<p>Code Ref. 11B-405.9</p>	<p>Priority 1</p>	<p>Strategy B</p>	<p>Budget \$2,600</p>
<p>H. <i>Exterior Wood Stairway at the Southwest Side of the Stage</i></p>				
	<p>Code Ref.</p>	<p>Priority</p>	<p>Strategy</p>	<p>Budget</p>
<p>1. Upper Flight: Replace handrails</p>	<p>11B-505</p>	<p>3</p>	<p>D</p>	<p>\$22,600</p>
<p>2. Contrasting nosing stripes</p>	<p>11B-504.4.1</p>	<p>3</p>	<p>D</p>	
<p>3. Provide a 42" high minimum guardrail at the open side of the stair</p>	<p>1015</p>	<p>3</p>	<p>D</p>	
<p>4. Correct the slope at the bottom three treads</p>	<p>1011.7.1</p>	<p>3</p>	<p>D</p>	
<p>5. Lower Flight: Replace one handrail</p>	<p>11B-505</p>	<p>3</p>	<p>D</p>	
<p>6. Modify the guardrail at the intermediate landing</p>	<p>1015</p>	<p>3</p>	<p>D</p>	

I. *Exterior Wood Stairway at the Southeast Side of the Stage*







	Code Ref.	Priority	Strategy	Budget
1. Upper Flight: Replace handrails	11B-505	3	D	\$22,600
2. Contrasting nosing stripes	11B-504.4.1	3	D	
3. Provide a 42" high minimum guardrail at the open side of the stair	1015	3	D	
4. Lower Flight: Replace one handrail	11B-505	3	D	
5. Modify the guardrail at the intermediate landing	1015	3	D	

J. *Guardrail at the Northwest side of the Stage*



	Code Ref.	Priority	Strategy	Budget
1. Modify the guardrail	1015	3	D	\$3,900

<p>K. <i>Exterior Wood Stair at the Northwest side of the Stage</i></p>																												
<table border="1"> <thead> <tr> <th></th> <th>Code Ref.</th> <th>Priority</th> <th>Strategy</th> <th>Budget</th> </tr> </thead> <tbody> <tr> <td>1. Provide handrails</td> <td>11B-505</td> <td>3</td> <td>D</td> <td rowspan="4">\$9,400</td> </tr> <tr> <td>2. Contrasting nosing stripes</td> <td>11B-504.4.1</td> <td>3</td> <td>D</td> </tr> <tr> <td>3. Close risers</td> <td>11B-504.3</td> <td>3</td> <td>D</td> </tr> <tr> <td>4. Modify the guardrail at the top landing</td> <td>1011.6</td> <td>3</td> <td>D</td> </tr> <tr> <td>5. Correcting the height of the riser at the stage and the depth of the top landing</td> <td>N/A</td> <td>4</td> <td>D</td> <td>N/A</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Provide handrails	11B-505	3	D	\$9,400	2. Contrasting nosing stripes	11B-504.4.1	3	D	3. Close risers	11B-504.3	3	D	4. Modify the guardrail at the top landing	1011.6	3	D	5. Correcting the height of the riser at the stage and the depth of the top landing	N/A	4	D	N/A	
	Code Ref.	Priority	Strategy	Budget																								
1. Provide handrails	11B-505	3	D	\$9,400																								
2. Contrasting nosing stripes	11B-504.4.1	3	D																									
3. Close risers	11B-504.3	3	D																									
4. Modify the guardrail at the top landing	1011.6	3	D																									
5. Correcting the height of the riser at the stage and the depth of the top landing	N/A	4	D	N/A																								
<p>L. <i>Exterior Asphalt Concrete Ramp at the Northeast Side of the Stage</i></p>																												
<table border="1"> <thead> <tr> <th></th> <th>Code Ref.</th> <th>Priority</th> <th>Strategy</th> <th>Budget</th> </tr> </thead> <tbody> <tr> <td>1. Modify the handrail extension at the top of the ramp</td> <td>11B-505</td> <td>3</td> <td>B</td> <td>\$800</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Modify the handrail extension at the top of the ramp	11B-505	3	B	\$800																		
	Code Ref.	Priority	Strategy	Budget																								
1. Modify the handrail extension at the top of the ramp	11B-505	3	B	\$800																								
<p>M. <i>Exterior Asphalt Walking Surface at the Northeast Side of the Stage</i></p>																												
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	Code Ref.	Priority	Strategy	Budget																								
1. Provide a guardrail on the south side of the walking surface	1015	2	B	\$6,600																								

<p>N. North Exit Gate</p>				
<p>1. Provide an exterior landing</p>	<p>Code Ref. 1010.1.5</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$1,865</p>
<p>2. Correcting the slope of the interior landing is an undue burden</p>	<p>N/A</p>	<p>4</p>	<p>D</p>	<p>N/A</p>
<p>O. Stair at North Exit Gate</p>				
<p>1. Correcting the slope of the top landing</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>

P. North Seating Section Aisle Handrails





	Code Ref.	Priority	Strategy	Budget
1. Modify or provide handrails	11B-505.4	3	B	\$10,200


Q. Handrails at Seating Middle and Southwest Bottom Stair Flights



	Code Ref.	Priority	Strategy	Budget
1. Modify or provide handrails	11B-505.4	3	B	\$8,000

<p>R. <i>Top Handrail Extensions at Seating Stairs</i></p>				
<p>1. Modify five (5) handrail extensions</p>	<p>Code Ref. 11B-505.10.2</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$5,000</p>
<p>S. <i>Bottom Handrail Extensions at Seating Stairs</i></p>				
<p>1. Modify eight (8) handrail extensions</p>	<p>Code Ref. 11B-505.10.3</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$8,200</p>

Building

<p>T. <i>Concession Building</i></p>				
<p>1. Sales Counter: Provide a portion of the sales counter surface that is 36" long minimum and 34" high maximum above the floor</p>	<p>Code Ref. 11B-904.4</p>	<p>Priority 3</p>	<p>Strategy D</p>	<p>Budget \$15,000</p>

U. Men's and Women's Restroom Building



		Code Ref.	Priority	Strategy	Budget
1.	Reconfigure to add one accessible toilet stall, accessories, etc. for each men & women; correct mounting heights on accessories; correct entry thresholds	N/A	3	D	\$77,000
2.	Provide accessible path of travel to accessible parking space	N/A	3	D	\$5,000

V. Restroom at Dressing Room Building



		Code Ref.	Priority	Strategy	Budget
1.	Provide an exterior landing at the entry door to the building	1010.1.5 & 11B, 404.2.4	3	B	\$6,500
2.	Adjust restroom door closer	N/A	3	B	

W. Indoor Theater



	Code Ref.	Priority	Strategy	Budget
1. Primary Entrances (Performers and Audience), provide level hardware	11B-404.2.7	3	B	\$20,280
2. Interior Doors: Modify or replace two doors so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door	11B-404.2.10	3	B	
3. Remove shelf from office door	N/A	1	B	
4. Interior Ramp: Modify the handrail extension at the top of the ramp	11B-505	3	B	
5. All Interior Stairs: Provide contrasting stripes	11B-504.4.1	3	B	
6. Interior Stair to Seating Area: Provided handrails on both sides of the stair	11B-505	3	B	
7. Correcting the stair width	N/A	4	D	
8. Seating Aisle: Provided a handrail on the wall side of the aisle	11B-505	3	B	
9. Correcting the height of the bottom riser	N/A	4	D	
10. Interior Backstage Stair to Dressing Room: Modify the handrails	11B-505.10.3	3	B	
11. Interior Backstage Stair to Exit Landing: Provide a 48" deep minimum landing at the bottom of the stair	1011.6	3	B	

Harrison Memorial Library (Historic)

Ocean Street & Lincoln Street
Carmel-by-the-Sea, California 93923



R.O.M. Cost Evaluation:

Site, Path of Travel:	\$53,880
Site, Parking:	\$0
Interiors, Toilet Rooms & Drinking Fountains:	\$0
Interiors, Other:	<u>\$89,900</u>
Total:	\$143,780

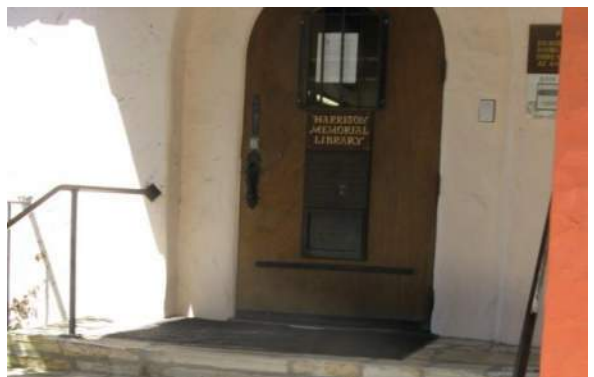
Site

A. *Path of Travel from Public Sidewalk to Primary Entrance.*







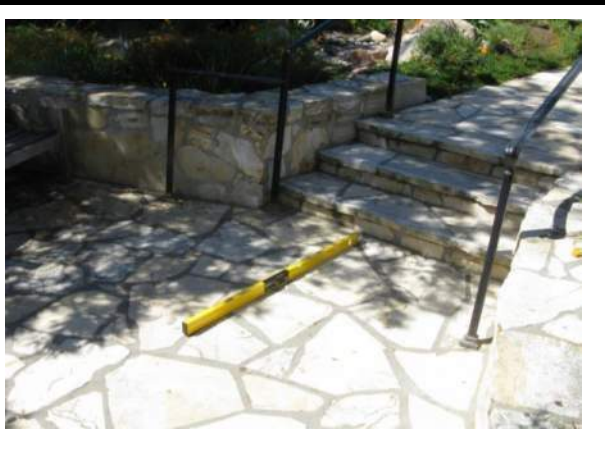
	Code Ref.	Priority	Strategy	Budget
1. Providing an accessible route from the public sidewalk to the primary entrance	N/A	4	D	N/A

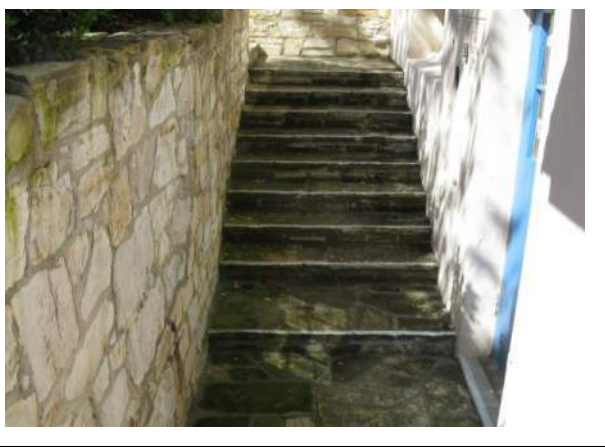

B. *Exterior Stone Stairway at Primary Entrance*



	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	D	\$15,000
2. Replace or modify handrails at upper flight	11B-505	3	D	
3. Modify handrails at lower flight	11B-505.10.3	3	D	
4. Replace or modify guardrails at upper flight	1015	3	D	

<p>C. <i>Exterior Stone Stair to Basement Level</i></p>																
<table border="1"> <thead> <tr> <th></th> <th>Code Ref.</th> <th>Priority</th> <th>Strategy</th> <th>Budget</th> </tr> </thead> <tbody> <tr> <td>1. Contrasting nosing stripes</td> <td>11B-504.4.1</td> <td>3</td> <td>D</td> <td>\$500</td> </tr> <tr> <td>2. Correcting the slope of the landing at the top of the stair</td> <td>N/A</td> <td>4</td> <td>D</td> <td>N/A</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Contrasting nosing stripes	11B-504.4.1	3	D	\$500	2. Correcting the slope of the landing at the top of the stair	N/A	4	D	N/A	
	Code Ref.	Priority	Strategy	Budget												
1. Contrasting nosing stripes	11B-504.4.1	3	D	\$500												
2. Correcting the slope of the landing at the top of the stair	N/A	4	D	N/A												
<p>D. <i>Exterior Stone Bench at Basement Level</i></p>																
<table border="1"> <thead> <tr> <th></th> <th>Code Ref.</th> <th>Priority</th> <th>Strategy</th> <th>Budget</th> </tr> </thead> <tbody> <tr> <td>1. Making the basement level accessible to persons in a wheelchair</td> <td>N/A</td> <td>4</td> <td>D</td> <td>N/A</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Making the basement level accessible to persons in a wheelchair	N/A	4	D	N/A						
	Code Ref.	Priority	Strategy	Budget												
1. Making the basement level accessible to persons in a wheelchair	N/A	4	D	N/A												
<p>E. <i>Exterior Drinking Fountain</i></p>																
<table border="1"> <thead> <tr> <th></th> <th>Code Ref.</th> <th>Priority</th> <th>Strategy</th> <th>Budget</th> </tr> </thead> <tbody> <tr> <td>1. Replace drinking fountain</td> <td>11B-602</td> <td>1</td> <td>B</td> <td>\$6,280</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Replace drinking fountain	11B-602	1	B	\$6,280						
	Code Ref.	Priority	Strategy	Budget												
1. Replace drinking fountain	11B-602	1	B	\$6,280												

<p>F. <i>Path of Travel from Public Sidewalk to Entrance at Reading Room Level</i></p>				
<p>1. Providing an accessible route from the public sidewalk to Reading Room</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>
<p>G. <i>Exterior Stone Stairway from Ocean St. Public Sidewalk to Primary Entrance</i></p>				
<p>1. Contrasting nosing stripes</p>	<p>Code Ref. 11B-504.4.1</p>	<p>Priority 3</p>	<p>Strategy D</p>	<p>Budget \$5,000</p>
<p>2. Modify handrails at lower flight</p>	<p>Code Ref. 11B-505.10.3</p>	<p>Priority 3</p>	<p>Strategy D</p>	
<p>3. Correcting the slope of the landing at the top & bottom of the stair</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>

<p>H. <i>Exterior Stone Stairway from Public Sidewalk to Basement Level</i></p>				
	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	D	\$12,100
2. Provide handrails	11B-505	3	D	
3. Correcting the tread depth at the north flight and the slope of the landing at the top of the stair	N/A	4	D	N/A
<p>I. <i>Guardrails at 6th Avenue Public Sidewalk</i></p>				
	Code Ref.	Priority	Strategy	Budget
1. Replace or modify guardrails	1015	1	D	\$15,000

Building

J. Primary Lobby Entrance



	Code Ref.	Priority	Strategy	Budget
1. Replace threshold	11B-404.2.5	3	B	\$1,000
2. Adjust door closer	N/A	3	B	
3. Correcting the depth of the exterior landing	N/A	4	D	N/A

K. Circulation Desk



	Code Ref.	Priority	Strategy	Budget
1. Modify or replace the counter	11B-204 11B-904.4	1	B	\$6,800

L. South Stair to Reference Department from Lobby





	Code Ref.	Priority	Strategy	Budget
1. Replace handrails, both sides of stair	11B-505	3	B	\$5,000
2. Contrasting nosing stripes shall extend full width of stairs at top and bottom tread	11B-504.4.1	3	B	
3. Correcting the depth of the intermediate landing	N/A	4	D	N/A

M. North Stair to Reference Department from Lobby



	Code Ref.	Priority	Strategy	Budget
1. Replace handrails, both sides of stair	11B-505	3	B	\$5,000
2. Contrasting nosing stripes shall extend full width of stairs at top and bottom tread	11B-504.4.1	3	B	

<p>N. South Stair to Reading Room from Lobby</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Replace handrails, both sides of stair</p>	11B-505	3	B	\$13,700
<p>2. Contrasting nosing stripes shall extend full width of stairs at top and bottom tread</p>	11B-504.4.1	3	B	
<p>O. North Stair to Reading Room from Lobby</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Replace or modify handrails, both sides of stair</p>	11B-505	3	B	\$7,400
<p>2. Contrasting nosing stripes shall extend full width of stairs at top and bottom tread</p>	11B-504.4.1	3	B	
<p>3. Correcting the vertical clearance at the bottom tread</p>	N/A	4	D	N/A

P. Stair to Mezzanine Level from Lobby





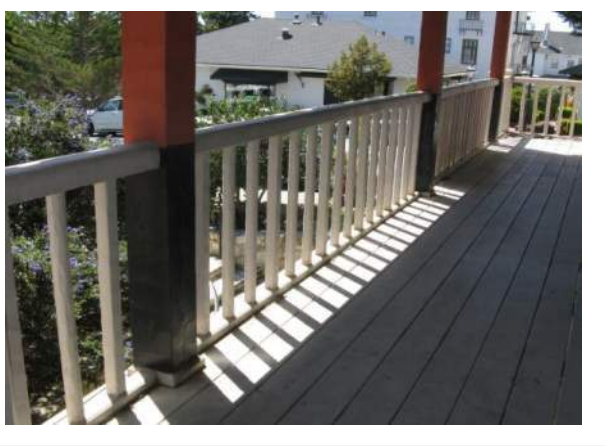

	Code Ref.	Priority	Strategy	Budget
1. Replace or modify handrails, both sides of stair	11B-505	3	B	\$16,100
2. Contrasting nosing stripes shall extend full width of stairs at top and bottom tread	11B-504.4.1	3	B	

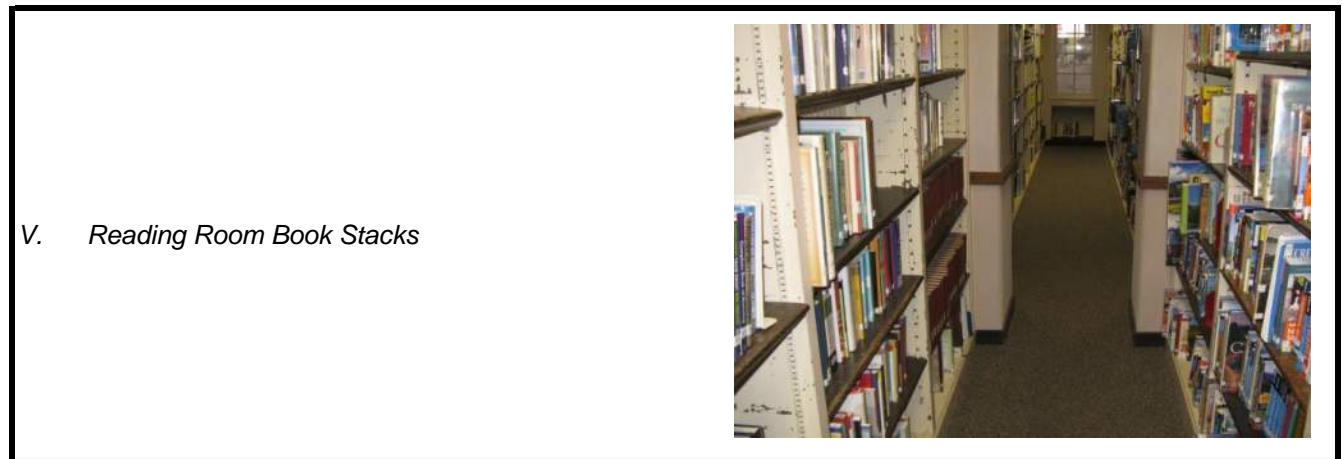
Q. Computer Station at Lobby Level



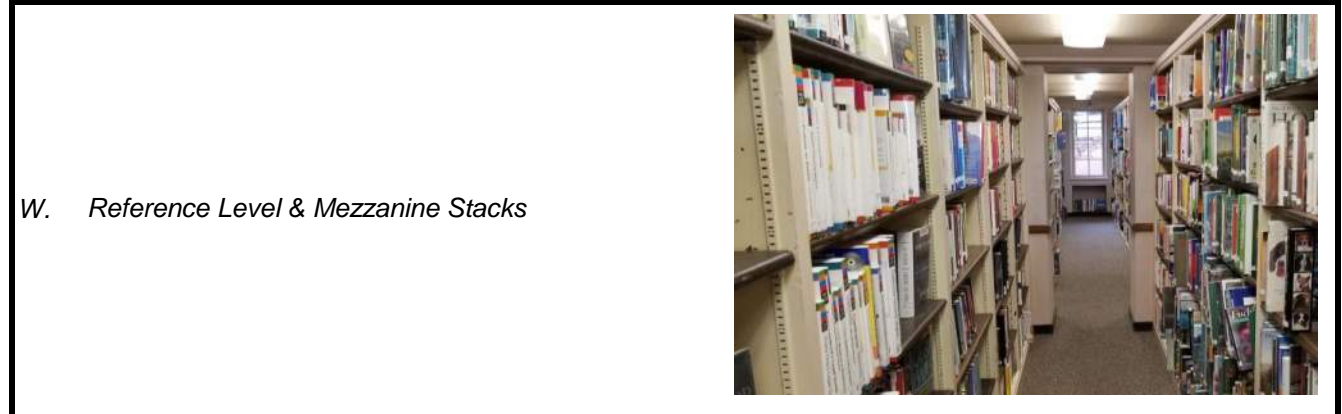
	Code Ref.	Priority	Strategy	Budget
1. Provide knee clearance	11B-306	3	B	\$1,200

<p>R. North Exit Door at Lobby</p>																																							
<table border="1"> <thead> <tr> <th data-bbox="191 600 906 632"></th> <th data-bbox="906 600 1068 632">Code Ref.</th> <th data-bbox="1068 600 1211 632">Priority</th> <th data-bbox="1211 600 1354 632">Strategy</th> <th data-bbox="1354 600 1507 632">Budget</th> </tr> </thead> <tbody> <tr> <td data-bbox="191 632 906 699">1. Make this door an accessible entrance to the building</td> <td data-bbox="906 632 1068 699">CHBC Section 8-603.2</td> <td data-bbox="1068 632 1211 699">3</td> <td data-bbox="1211 632 1354 699">B</td> <td data-bbox="1354 632 1507 1136" rowspan="8" style="text-align: center; vertical-align: middle;">\$4,200</td> </tr> <tr> <td data-bbox="191 699 906 766">2. Signage; directional signage from primary entrance</td> <td data-bbox="906 699 1068 766">CHBC Section 8-603.2</td> <td data-bbox="1068 699 1211 766">3</td> <td data-bbox="1211 699 1354 766">B</td> </tr> <tr> <td data-bbox="191 766 906 816">3. Provide lever hardware on exterior side of door</td> <td data-bbox="906 766 1068 816">11B-404.2.7</td> <td data-bbox="1068 766 1211 816">3</td> <td data-bbox="1211 766 1354 816">B</td> </tr> <tr> <td data-bbox="191 816 906 919">4. Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.</td> <td data-bbox="906 816 1068 919">11B-404.2.10</td> <td data-bbox="1068 816 1211 919">3</td> <td data-bbox="1211 816 1354 919">B</td> </tr> <tr> <td data-bbox="191 919 906 970">5. Replace threshold</td> <td data-bbox="906 919 1068 970">11B-404.2.5</td> <td data-bbox="1068 919 1211 970">3</td> <td data-bbox="1211 919 1354 970">B</td> </tr> <tr> <td data-bbox="191 970 906 1037">6. Provide 12" strike/push side maneuvering clearance</td> <td data-bbox="906 970 1068 1037">11B-404.2.4</td> <td data-bbox="1068 970 1211 1037">3</td> <td data-bbox="1211 970 1354 1037">B</td> </tr> <tr> <td data-bbox="191 1037 906 1087">7. Relocate the switch next to the door</td> <td data-bbox="906 1037 1068 1087">11B-308</td> <td data-bbox="1068 1037 1211 1087">3</td> <td data-bbox="1211 1037 1354 1087">B</td> </tr> <tr> <td data-bbox="191 1087 906 1136">8. Adjust door closer</td> <td data-bbox="906 1087 1068 1136">N/A</td> <td data-bbox="1068 1087 1211 1136">3</td> <td data-bbox="1211 1087 1354 1136">B</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Make this door an accessible entrance to the building	CHBC Section 8-603.2	3	B	\$4,200	2. Signage; directional signage from primary entrance	CHBC Section 8-603.2	3	B	3. Provide lever hardware on exterior side of door	11B-404.2.7	3	B	4. Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B	5. Replace threshold	11B-404.2.5	3	B	6. Provide 12" strike/push side maneuvering clearance	11B-404.2.4	3	B	7. Relocate the switch next to the door	11B-308	3	B	8. Adjust door closer	N/A	3	B	<p>S. Stair to Exterior Balcony from Lobby</p> 
	Code Ref.	Priority	Strategy	Budget																																			
1. Make this door an accessible entrance to the building	CHBC Section 8-603.2	3	B	\$4,200																																			
2. Signage; directional signage from primary entrance	CHBC Section 8-603.2	3	B																																				
3. Provide lever hardware on exterior side of door	11B-404.2.7	3	B																																				
4. Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B																																				
5. Replace threshold	11B-404.2.5	3	B																																				
6. Provide 12" strike/push side maneuvering clearance	11B-404.2.4	3	B																																				
7. Relocate the switch next to the door	11B-308	3	B																																				
8. Adjust door closer	N/A	3	B																																				
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	Code Ref.	Priority	Strategy	Budget																																			
1. It is recommended that this door be locked and identified as for maintenance personnel only.	N/A	1	A	\$200																																			
2. Signage	N/A	3	B																																				



<p>T. <i>Exterior Balcony Guardrail</i></p>				
<p>1. Modify or replace guardrail</p>	Code Ref. 1015	Priority 3	Strategy B	Budget \$16,800
<p>U. <i>South Exit Door at Reading Room</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. This door is used as an accessible entrance with a pushbutton nearby to notify an attendant to</p>	N/A	Equivalent Facilitation		N/A
<p>2. Provide directional signs at the primary entrance</p>	CHBC Section 8-603.2	3	B	\$3,700
<p>3. Provide lever hardware on exterior side of door</p>	11B-404.2.7	3	B	
<p>4. Modify or replace the door to provide a smooth surface on the push side extending the full width of the door.</p>	11B-404.2.10	3	B	
<p>5. Correcting the threshold height and the ground surface slopes at the required maneuvering clearance on both sides of the door</p>	N/A	4	D	N/A



	Code Ref.	Priority	Strategy	Budget
1. North Stacks: accessible to persons in a wheelchair	N/A	4	D	N/A
2. South Stacks: There is a pushbutton on the south end of the stacks to notify an attendant to assist persons with disabilities	11B-103	Equivalent Facilitation		N/A
3. Book Stack, higher than 54" max., attendant available for assistance	11B-225.2.3	Equivalent Facilitation		N/A
4. Book Stack, width of aisles, attendant available for assistance	11B-225.2.3	Equivalent Facilitation		N/A

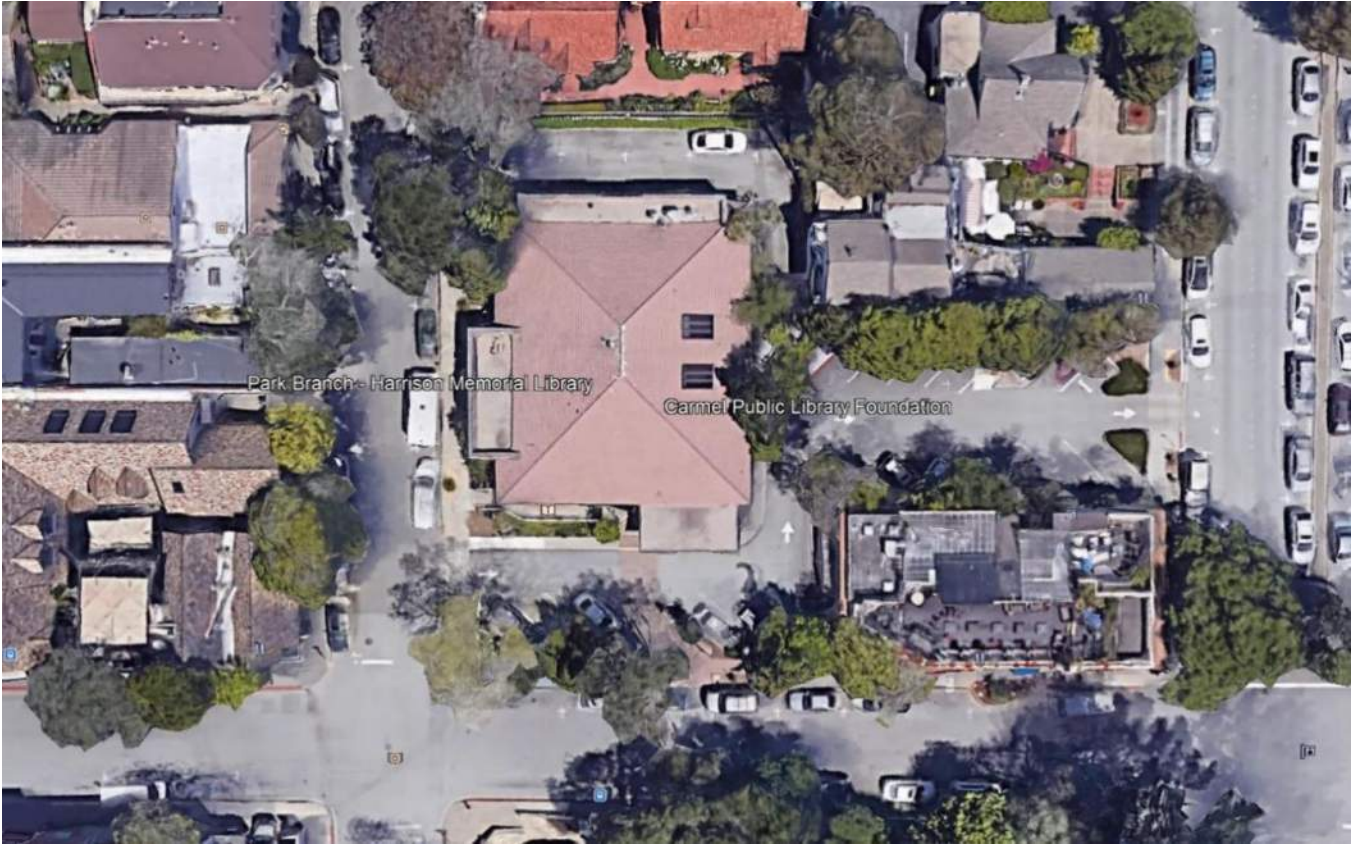


	Code Ref.	Priority	Strategy	Budget
1. Make stacks accessible	N/A	4	D	N/A

<p>X. <i>Stair to Basement Level from Reading Room</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Replace or modify handrails, both sides of stair</p>	11B-505	3	B	\$8,300
<p>2. Contrasting nosing stripes</p>	11B-504.4.1	3	B	
<p>3. Correcting the depth of the landing at the top of the stairs</p>	N/A	4	D	N/A
<p>Y. <i>Basement Level</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Make Basement Level accessible</p>	N/A	4	D	N/A
<p>2. Make Basement Level toilet rooms accessible</p>	N/A	4	D	N/A
<p>3. Office door; provide lever hardware</p>	11B-404.2.7	3	B	\$500

Park Branch / Harrison Children's Library

Mission Street & 6th Avenue
Carmel-by-the-Sea, California 93923




R.O.M. Cost Evaluation:

Site, Path of Travel:	\$11,600
Site, Parking:	\$13,920
Interiors, Toilet Rooms & Drinking Fountains:	\$32,900
Interiors, Other:	<u>\$50,780</u>
Total:	\$109,200

Site

A. *Path of Travel from Public Sidewalk to Primary Entrance.*



	Code Ref.	Priority	Strategy	Budget
1. Provide handrail extensions at the bottom of the ramp and modify one handrail extension at the top of the ramp	11B-505	3	B	\$1,500
2. Correcting the slope at the bottom landing	N/A	4	D	N/A

B. & C. *Accessible Parking Spaces*



	Code Ref.	Priority	Strategy	Budget
1. Remove existing accessible spaces due to space & aisle slope and access to public sidewalk	11B-406 & 504	3	D	\$13,920
2. Provide one van accessible parking space & aisle, striping, signage, etc. adjacent to Mission Street	11B-406 & 504	3	D	
3. Provide a 48" wide painted hatched path of travel from the access aisle to the public sidewalk	11B-403	3	D	

D. Exterior Concrete Stair at the Primary Entrance



	Code Ref.	Priority	Strategy	Budget
1. Replace or modify handrails	11B-505	3	B	\$5,000
2. Correcting the slope at the bottom landing	N/A	4	D	N/A

E. Exterior Concrete Stair at Southeast Exit



	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$5,100
2. Provide handrails on both sides of the stair	11B-505	3	B	
3. Replace the bottom tread	1011.7.1	3	B	
4. Correcting the slope at the bottom landing is an undue burden	N/A	4	D	N/A

Building

F. Primary Entrance



	Code Ref.	Priority	Strategy	Budget
1. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door	11B-404.2.10	3	B	\$2,000
2. Adjust door closer	N/A	3	B	

G. Public Restroom (South)



	Code Ref.	Priority	Strategy	Budget
1. Entry Door: Install offset hinges to provide a clear width of 32 inches	11B-404.2.3	3	B	\$7,300
2. Signage	11B-703.7.2.6	3	A	
3. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door	11B-404.2.10	3	B	
4. Providing the required clearance on the push side of the door	N/A	4	D	
5. Adjust door closer	N/A	3	A	
6. Grab Bars: Relocate grab bars	11B-604.5	3	B	
7. Toilet Paper Dispenser: Relocate	11B-604.7	2	B	
8. Seat Cover Dispenser: Relocate	11B-603.5	3	B	
9. Sanitary Napkin Dispenser: Relocate	11B-603.5	3	B	
10. Hand Dryer: Replace	11B-204 & 11B-603.5	3	B	

H. Employee Restroom (North)



	Code Ref.	Priority	Strategy	Budget
1. Entry Door: Install offset hinges to provide a clear width of 32 inches	11B-404.2.3	3	B	\$6,600
2. Signage	11B-703.7.2.6	3	A	
3. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door	11B-404.2.10	3	B	
4. Providing the required clearance on both sides of the door	N/A	4	D	
5. Adjust door closer	N/A	3	A	
6. Toilet: Replace the tank with the flush control located on the open side	11B-604.6	3	B	
7. Relocating the toilet and providing the required clearances around and in front of the toilet	N/A	4	D	
8. Grab Bars: Relocate grab bars	11B-604.5	3	B	
9. Toilet Paper Dispenser: Relocate	11B-604.7	3	B	
10. Seat Cover Dispenser: Relocate	11B-603.5	3	B	
11. Sanitary Napkin Dispenser: Relocate	11B-603.5	3	B	
12. Hand Dryer: Replace	11B-204 & 11B-603.5	3	B	

I. Children's Restroom



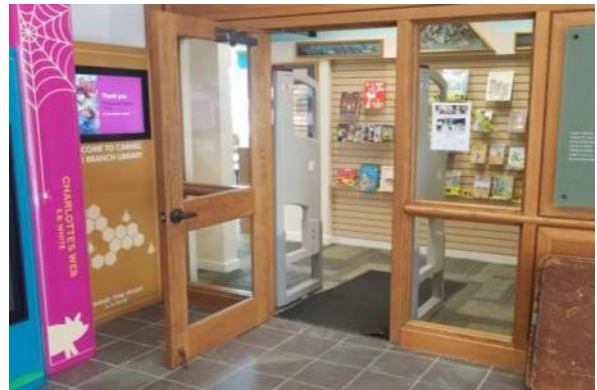
	Code Ref.	Priority	Strategy	Budget
1. Entry Door: Install offset hinges to provide a clear width of 32 inches	11B-404.2.3	3	B	\$9,000
2. Signage	11B-703.7.2.6	3	A	
3. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door	11B-404.2.10	3	B	
4. Adjust door closer	N/A	3	A	
5. Providing the required clearance on the pull side of the door	N/A	4	D	
6. Toilet: Replace the tank with the flush control located on the open side	11B-604.6	3	B	
7. Providing the required clearance in front of the toilet	N/A	4	D	
8. Grab Bars: Relocate the sidewall grab bar and provide a rear grab bar	11B-604.5	3	B	
9. Toilet Paper Dispenser: Relocate	11B-604.7	3	B	
10. Lavatory: Modify the counter to provide knee clearance	11B-606.2, exception 4	3	B	
11. Relocating the lavatory		4	D	
12. Hand Dryer: Replace	11B-204 & 11B-603.5	3	B	
13. Switch: Relocate	11B-308.1	3	B	

J. Drinking fountain






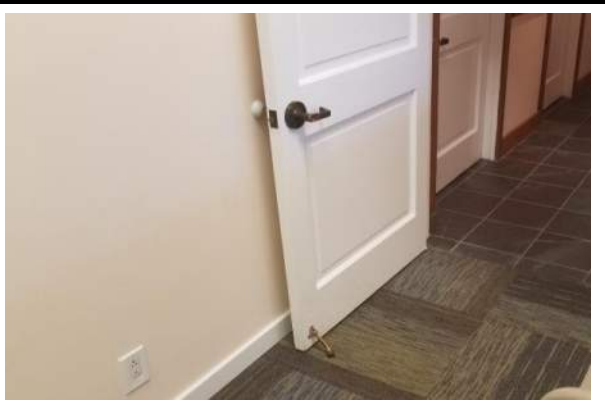
	Code Ref.	Priority	Strategy	Budget
1. Modify the existing alcove and provide a dual fountain	11B-602	3	B	\$10,000
2. Provide a countertop drinking fountain in the Children's Restroom	11B-602.2, Exception	3	B	

K. Interior Door to Youth Services Room from Lobby



	Code Ref.	Priority	Strategy	Budget
1. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door	11B-404.2.10	3	B	\$2,500
2. Modify or replace the security gate to provide the required clearance on the push side of the door	11B-404.2.4	3	B	
3. Adjust door closer	N/A	3	B	

<p>L. <i>Interior Double-Leaf Door to Local History Room from Lobby</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door</p>	11B-404.2.10	3	B	\$2,500
<p>2. Modify or replace doors so that one of the leaves provides a clear width of 32 inches minimum</p>	11B-404.2.2	3	B	
<p>M. <i>Interior Door to Archive Room</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door</p>	11B-404.2.10	3	B	\$2,000
<p>2. Relocate the dead bolt</p>	11B-404.2.7	3	B	
<p>3. Adjust door closer</p>	N/A	3	B	
<p>4. Providing the required clearance on both sides of the door</p>	N/A	4	D	N/A

<p>N. Interior Door to Administration Office from Lobby</p>				
<p>1. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door</p>	<p>Code Ref. 11B-404.2.10</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$1,000</p>
<p>O. Interior Door to Employee Area from Hallway</p>				
<p>1. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door</p>	<p>Code Ref. 11B-404.2.10</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$1,500</p>
<p>2. Adjust door closer</p>	<p>N/A</p>	<p>3</p>	<p>B</p>	

P. Interior Doors in Employee Areas

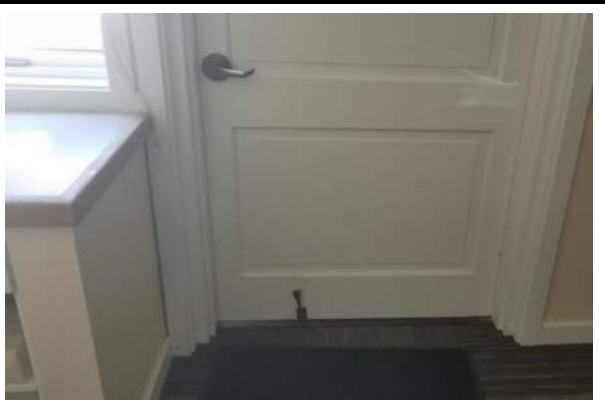
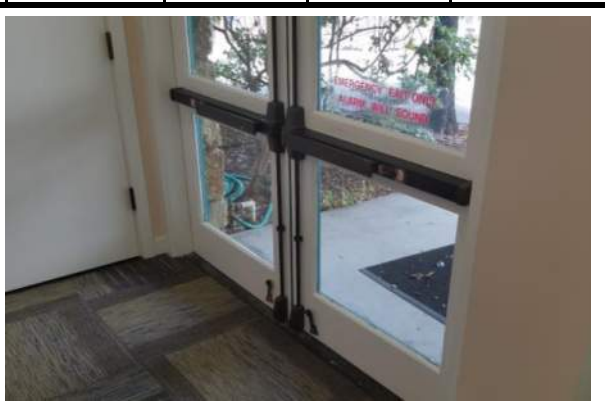




	Code Ref.	Priority	Strategy	Budget
1. At three doors: Install offset hinges to provide a clear width of 32 inches	11B-404.2.3	3	B	\$5,500
2. Modify or replace four doors so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door	11B-404.2.10	3	B	

Q. Employee Break Room Sink Counter




	Code Ref.	Priority	Strategy	Budget
1. Replace the sink counter	11B-606	3	B	\$5,600
2. Relocate the paper towel dispenser	11B-603.5	3	B	

<p>R. North Exit Door</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door</p>	11B-404.2.10	3	B	\$1,500
<p>2. Adjust door closer</p>	N/A	3	B	
<p>3. Correcting the ground surface slopes at the exterior of the door</p>	N/A	4	D	N/A
<p>S. East Double-Leaf Exit Door</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Replace the threshold</p>	11B-404.2.5	3	B	\$2,000
<p>2. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door</p>	11B-404.2.10	3	B	
<p>3. Adjust door closer</p>	N/A	3	B	
<p>4. Correcting the ground surface slopes at the exterior of the door</p>	N/A	4	D	N/A

<p>T. Southeast Exit Door</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door</p>	11B-404.2.10	3	B	\$1,500
<p>2. Adjust door closer</p>	N/A	3	B	
<p>3. Providing the required clearance on both sides of the door</p>	N/A	4	D	N/A
<p>U. Circulation Desk</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Modify the counter to provide an accessible portion of counter, max. 34" AFF</p>	11B-904.4	3	B	\$18,500
<p>2. Provide the required width at the common use circulation path to the employee side of the</p>	11B-206.2.8	3	B	

V. *Book Stacks*



	Code Ref.	Priority	Strategy	Budget
1. Book Stack, higher than 54" max., attendant available for assistance	11B-225.2.3	Equivalent Facilitation		N/A
2. Book Stack, width of aisles, attendant available for assistance	11B-225.2.3	Equivalent Facilitation		N/A

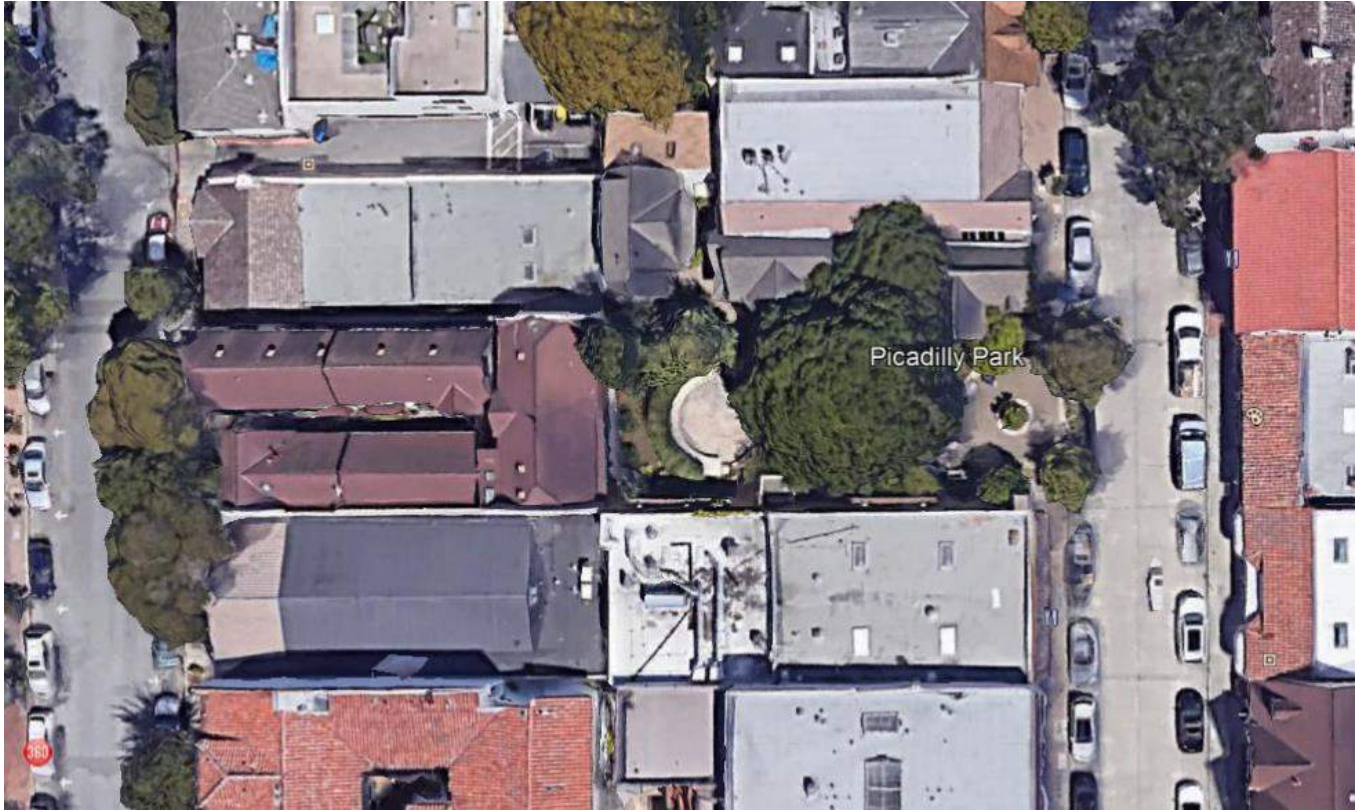
W. *Stair to Basement Utility Room*



	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$4,680
2. Provide handrail extensions	11B-505	3	B	

Picadilly Park Public Restrooms




Dolores Street, between Ocean Avenue and 7th Avenue
Carmel-by-the-Sea, California 93923



R.O.M. Cost Evaluation:

Site, Path of Travel:	\$25,080
Site, Parking:	\$0
Interiors, Toilet Rooms & Drinking Fountains:	\$2,200
Interiors, Other:	<u>\$ 0</u>
Total:	\$27,280

Site

<p>A. <i>Path of Travel from Public Sidewalk to Benches and Restroom Building Primary Entrance.</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Correct the cross slope of the concrete paver walkway</p>	11B-403.3	3	B	\$17,800
<p>2. Provide edge protection and handrails where the running slope of the concrete pavers exceeds 1:20 (5%)</p>	11B-405.9 & 11B-505	3	B	
<p>3. Correct the running slope and provide ramp landings</p>	N/A	4	D	N/A
<p>B. <i>Benches</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide one bench that has code required clear ground space, seat depth, height and proper back support</p>	11B-903	3	A	\$1,000
<p>C. <i>Drinking Fountain</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Replace drinking fountain</p>	11B-602	1	B	\$6,280

Building

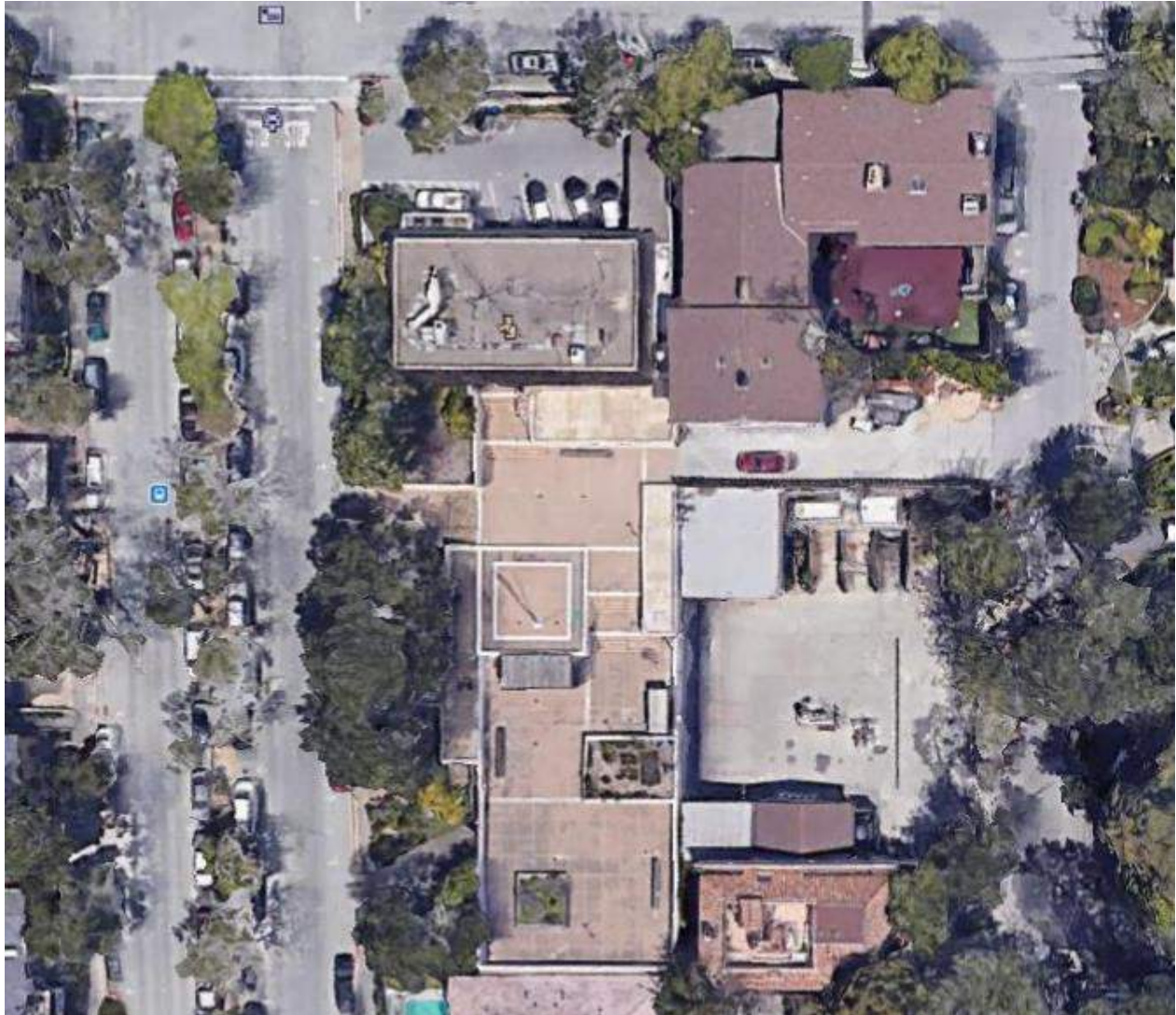
D. Restroom



	Code Ref.	Priority	Strategy	Budget
1. Signage	11B-703.7.2.6.3	3	A	\$2,200
2. Correct the slope of the exterior walking surface and provide required maneuvering clearance	N/A	4	D	
3. Toilet: Replace the seat	11B-604.4	3	B	
4. Grab Bars: Replace the sidewall grab	11B-604.5.1	3	B	
5. Lavatory: Relocate	11B-606.3	3	B	
6. Toilet Paper Dispenser: Replace	11B-604.7 & 204	3	A	
7. Seat Cover Dispenser: Relocate	11B-603.5	3	A	
8. Mirror: Relocate	11B-603.3	3	A	

Police Department, Public Works Building & Corps Yard




Junipero Avenue & 4th Avenue
Carmel-by-the-Sea, California 93923



R.O.M. Cost Evaluation:

Site, Path of Travel:	\$70,700
Site, Parking:	\$1,000
Interiors, Toilet Rooms & Drinking Fountains:	\$8,800
Interiors, Other:	<u>\$90,200</u>
Total:	\$170,700

Site

<p>A. <i>Path of Travel from Public Sidewalk to Primary Entrance.</i></p>				
<p>1. Providing an accessible route from the public sidewalk to the primary entrance</p>	Code Ref. N/A	Priority 4	Strategy D	Budget N/A
<p>B. <i>Accessible Parallel Parking Space on 4th Ave. Parallel street parking spaces do not meet the requirements of an accessible parking space</i></p>				
<p>1. Remove accessible street parking space and provide van accessible space in site parking lot.</p>	Code Ref. 11B-208 & 11B-502	Priority 1	Strategy B	Budget \$1,000
<p>C. <i>Path of Travel from Public Sidewalk to Police Department North Accessible Entrance</i></p>				
<p>1. Provide a ramp from the public sidewalk where the crosswalk running slope exceeds 1:20 (5%)</p>	Code Ref. 11B-405	Priority 3	Strategy B	Budget \$16,800
<p>2. Paint the crosswalk 48" wide minimum and verify that the running slope is 1:20 (5%), max. and the</p>	Code Ref. 11B-403	Priority 3	Strategy B	

D. *Exterior Concrete Stairway at Police Department Primary Entrance, Three Flights*









	Code Ref.	Priority	Strategy	Budget
1. Provide handrails along the most direct path of egress travel (monumental stairs)	1014.9 & 11B-505	3	C	\$10,600
2. Correcting the slope of the landing at the bottom of the stairway	N/A	4	D	N/A

E. *Walking Surface from Public Sidewalk to Stairway*



	Code Ref.	Priority	Strategy	Budget
1. Correcting the running and cross slopes	N/A	4	D	N/A

<p>F. Exterior Concrete Stair at Police Department Roof Deck</p>				
	Code Ref.	Priority	Strategy	Budget
1. Remove the stair entirely or provide handrails	11B-505	3	C	\$15,000
2. Contrasting nosing stripes	11B-504.4.1	3	C	
3. Add guardrails at the top landing and edge of the roof deck	1015	3	C	
4. Correcting the riser heights	N/A	4	D	N/A
<p>G. Exterior Concrete Stairway to South Plaza</p>				
	Code Ref.	Priority	Strategy	Budget
1. Provide handrails along the most direct path of egress travel (monumental stairs)	1014.9 & 11B-505	3	D	\$16,200
<p>H. Exterior Wood Benches at Plazas</p>				
	Code Ref.	Priority	Strategy	Budget
1. Provide back supports or provide alternate bench	11B-903.4	3	B	\$1,000

<p>I. Path of Travel from Public Sidewalk to Public Services Primary Entrance</p>				
<p>1. Correcting the cross slope</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>
<p>J. Exterior Composite Bench at Public Services Primary Entrance</p>				
<p>1. Replace the bench and relocate the trash receptacle</p>	<p>Code Ref. 11B-903</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$1,000</p>
<p>K. Exterior Concrete Stair at Public Services Building</p>				
<p>1. Provide handrails</p>	<p>Code Ref. 11B-505</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$4,500</p>
<p>2. Contrasting nosing stripes</p>	<p>11B-504.4.1</p>	<p>3</p>	<p>B</p>	
<p>3. Correcting the tread depth, slope of the top landing and relocating the door at the bottom</p>	<p>N/A</p>	<p>4</p>	<p>D</p>	<p>N/A</p>

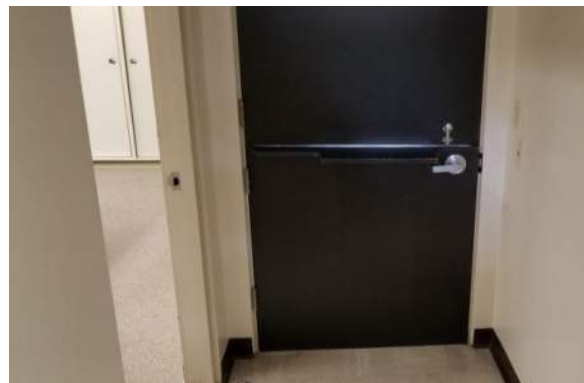
Building - Police Department

L. Primary Lobby Entrance



	Code Ref.	Priority	Strategy	Budget
1. Entry Door: Replace or modify the active leaf so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door	11B-404.2.10	3	C	\$3,500
2. Replace threshold	11B-404.2.5	3	C	
3. Relocate the intercom button adjacent to the door	11B-308	3	C	
4. Adjust door closers	N/A	3	C	

M. Lobby Interior Door



	Code Ref.	Priority	Strategy	Budget
1. Provide required maneuvering clearance parallel to the doorway on the latch side	N/A	3	C	\$5,000

N. Lobby Counter





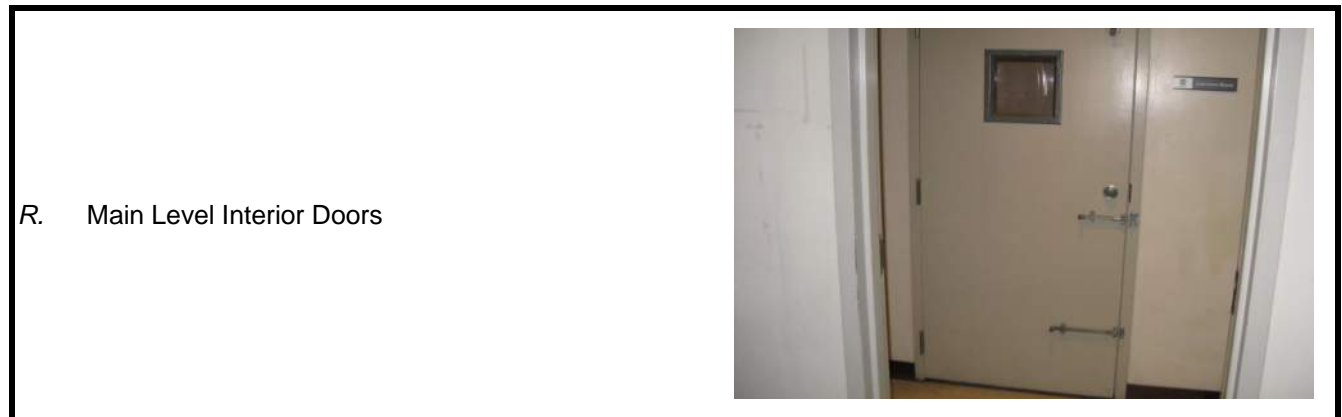
	Code Ref.	Priority	Strategy	Budget
1. Lower the counter so the surface is 34" high maximum above the floor	11B-904.4.1	3	C	\$7,500
2. Provide a structure below the counter so it does not protrude into the circulation space	11B-204	3	C	

O. North Accessible Entrance

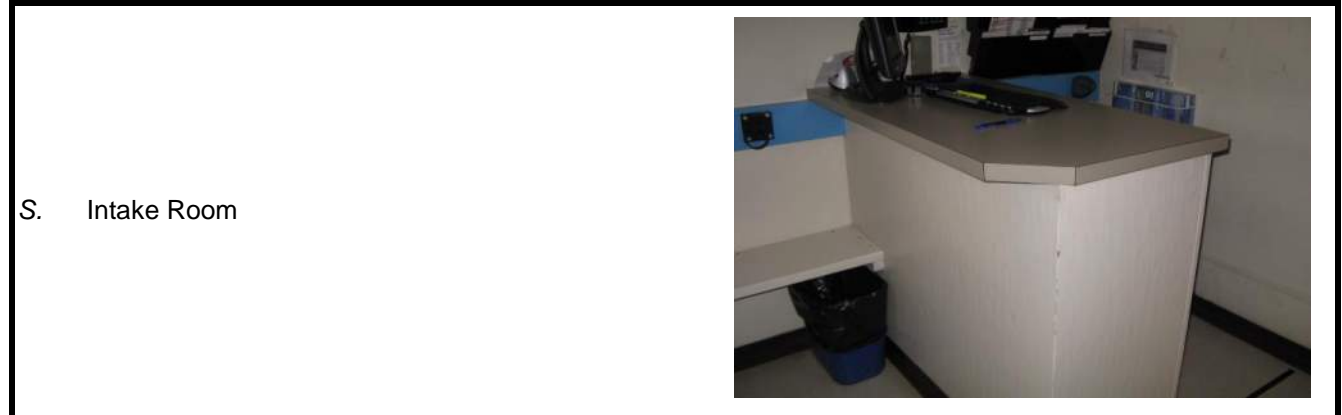


	Code Ref.	Priority	Strategy	Budget
1. Remove existing asphalt paving within the required maneuvering clearance at the exterior landing, re-grade the base course and repave with asphalt concrete with surface slope not greater than 1:48 (2.08%), in any direction	1011.7.1	3	B	\$2,100
2. Adjust door closers	N/A	3	B	



<p>P. Main Level Public Restroom</p>																							
<table border="1"> <thead> <tr> <th></th> <th>Code Ref.</th> <th>Priority</th> <th>Strategy</th> <th>Budget</th> </tr> </thead> <tbody> <tr> <td>1. Signage: Provide a unisex geometric symbol on the exterior of the door</td> <td>11B-703.7.2.6.3</td> <td>3</td> <td>A</td> <td rowspan="4" style="text-align: center; vertical-align: middle;">\$600</td> </tr> <tr> <td>2. Toilet: Providing minimum clearance around and in front of the toilet</td> <td>N/A</td> <td>4</td> <td>D</td> </tr> <tr> <td>3. Grab Bars: Relocate both grab bars</td> <td>11B-604.5</td> <td>3</td> <td>A</td> </tr> <tr> <td>4. Lavatory: Insulate the supply and drain lines under the lavatory</td> <td>11B-606.5</td> <td>3</td> <td>A</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Signage: Provide a unisex geometric symbol on the exterior of the door	11B-703.7.2.6.3	3	A	\$600	2. Toilet: Providing minimum clearance around and in front of the toilet	N/A	4	D	3. Grab Bars: Relocate both grab bars	11B-604.5	3	A	4. Lavatory: Insulate the supply and drain lines under the lavatory	11B-606.5	3	A	
	Code Ref.	Priority	Strategy	Budget																			
1. Signage: Provide a unisex geometric symbol on the exterior of the door	11B-703.7.2.6.3	3	A	\$600																			
2. Toilet: Providing minimum clearance around and in front of the toilet	N/A	4	D																				
3. Grab Bars: Relocate both grab bars	11B-604.5	3	A																				
4. Lavatory: Insulate the supply and drain lines under the lavatory	11B-606.5	3	A																				
<p>Q. North Counter at Dispatch</p>																							
<table border="1"> <tbody> <tr> <td>1. Lower the counter so the surface is 34" high maximum above the floor</td> <td>11B-904.4.1</td> <td>3</td> <td>C</td> <td>\$8,800</td> </tr> </tbody> </table>	1. Lower the counter so the surface is 34" high maximum above the floor	11B-904.4.1	3	C	\$8,800																		
1. Lower the counter so the surface is 34" high maximum above the floor	11B-904.4.1	3	C	\$8,800																			



	Code Ref.	Priority	Strategy	Budget
1. Provide lever hardware at seven interior doors	11B-404.2.7	3	C	\$3,500
2. Replace the doors to the Detective Office	11B-404.2.3	3	C	\$3,000
3. Replace the doors to the Dispatch	11B-404.2.3	3	C	\$1,000
4. Remove the top slide latch at the Interview Room door	N/A	3	C	\$500
5. Providing the minimum maneuvering clearance at the Intake and Interview Room doors	N/A	4	D	N/A



	Code Ref.	Priority	Strategy	Budget
1. Counter: Lower the counter so the surface is 34" high maximum above the floor	11B-904.4.1	3	C	\$6,200
2. Provide a 36" wide minimum common use circulation path to the employee side of the	11B-402	3	C	
3. Benches: Provide a 20" minimum deep bench seat at the north wall	11B-903	3	C	
4. Exterior Door: Provide lever hardware	11B-404.2.7	3	C	
5. Exterior Door: Correcting the height of the threshold	N/A	4	D	N/A

<p>T. Interview Room Bench</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Providing a clear ground space positioned at the end of the bench seat and a 20" minimum deep</p>	N/A	4	D	N/A
<p>U. Break Room Sink Counter</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Replace the sink counter</p>	11B-606	3	B	\$6,500

V. *Main Level Women's Restroom, Shower, and Locker Room*



	Code Ref.	Priority	Strategy	Budget
1. Door: Provide lever hardware at the entry door to both rooms	11B-404.2.7	3	A	\$1,000
2. Adjust door closer	N/A	3	A	
3. Making the rooms accessible to persons in a wheelchair	N/A	4	D	N/A

W. *Main Level Men's Restroom, Shower, and Locker Room*





	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$500
2. Making the rooms accessible to persons in a wheelchair	N/A	4	D	N/A

X. *Stairway to Emergency Operations and Basement Levels, Three Flights*



	Code Ref.	Priority	Strategy	Budget
1. Provide handrails on both sides of the stairway	11B-505	3	D	\$19,400
2. Provide lever hardware at the doors to the pistol range, emergency operations center and at the top and bottom of the stair	11B-404.2.7	3	D	
3. Adjust the closers at the doors at the top and bottom of the stair	N/A	3	D	
4. Correcting the upper flight riser heights and the maneuvering clearance at the door at the bottom	N/A	4	D	N/A

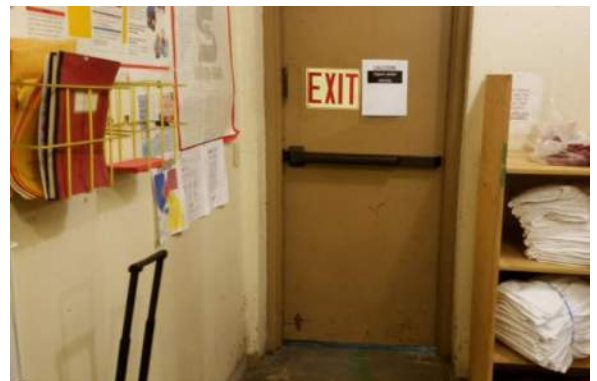
<p>Y. Emergency Operations Center and Restroom</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide lever hardware at the entry doors to these rooms</p>	11B-404.2.7	3	A	\$6,250
<p>2. Provide lever faucets at the lavatory in the restroom</p>	11B-606.4	3	A	
<p>3. Making the rooms accessible to persons in a wheelchair</p>	N/A	4	D	N/A
<p>Z. <i>Basement Level Women's Restroom, Shower, and Locker Room</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Adjust door closer</p>	N/A	3	A	\$950
<p>2. Provide lever faucets at the lavatory in the restroom</p>	11B-606.4	3	A	
<p>3. Raise the curtain rod</p>	11B-204	3	A	
<p>4. Making the rooms accessible to persons in a wheelchair</p>	N/A	4	D	N/A

AA. *Basement Level Men's Restroom, Shower, and Locker Room*





	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$500
2. Making the rooms accessible to persons in a wheelchair	N/A	4	D	N/A

BB. *Basement Level West Exit Door*



	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$500

<p>CC. Basement Level East Exit Doors</p>				
<p>1. Adjust door closer</p>	<p>Code Ref. N/A</p>	<p>Priority 3</p>	<p>Strategy A</p>	<p>Budget \$500</p>
<p>DD. Basement Level Interior Doors</p>				
<p>1. Provide lever hardware at eight interior doors</p>	<p>Code Ref. 11B-404.2.7</p>	<p>Priority 3</p>	<p>Strategy A</p>	<p>Budget \$4,000</p>

Building - Public Services

EE. Primary Entrance and Vestibule







	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$500
2. Correct the distance between the two doors	N/A	4	D	N/A

FF. Reception Counter



	Code Ref.	Priority	Strategy	Budget
1. Relocate the upper counter so it protrudes into the circulation space 4" maximum	11B-204	3	B	\$2,000
2. Provide a 36" wide minimum common use circulation path to the employee side of the counter	11B-402	3	B	

<p>GG. South Exit Door</p>																			
<table border="1"> <thead> <tr> <th></th> <th>Code Ref.</th> <th>Priority</th> <th>Strategy</th> <th>Budget</th> </tr> </thead> <tbody> <tr> <td>1. Provide lever hardware</td> <td>11B-404.2.7</td> <td>3</td> <td>A</td> <td>\$500</td> </tr> <tr> <td>2. Correcting the height of the threshold is an undue burden</td> <td>N/A</td> <td>4</td> <td>D</td> <td>N/A</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Provide lever hardware	11B-404.2.7	3	A	\$500	2. Correcting the height of the threshold is an undue burden	N/A	4	D	N/A				
	Code Ref.	Priority	Strategy	Budget															
1. Provide lever hardware	11B-404.2.7	3	A	\$500															
2. Correcting the height of the threshold is an undue burden	N/A	4	D	N/A															
<p>HH. Interior Office Door</p>																			
<table border="1"> <thead> <tr> <th></th> <th>Code Ref.</th> <th>Priority</th> <th>Strategy</th> <th>Budget</th> </tr> </thead> <tbody> <tr> <td>1. Provide lever hardware</td> <td>11B-404.2.7</td> <td>3</td> <td>B</td> <td rowspan="2">\$1,500</td> </tr> <tr> <td>2. Replace the door</td> <td>11B-404.2.3</td> <td>3</td> <td>B</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Provide lever hardware	11B-404.2.7	3	B	\$1,500	2. Replace the door	11B-404.2.3	3	B					
	Code Ref.	Priority	Strategy	Budget															
1. Provide lever hardware	11B-404.2.7	3	B	\$1,500															
2. Replace the door	11B-404.2.3	3	B																
<p>II. East Exit Door</p>																			
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	Code Ref.	Priority	Strategy	Budget															
1. Provide lever hardware	11B-404.2.7	3	A	\$1,000															
2. Adjust door closer	N/A	3	A																

JJ. Stair to Garage				
	Code Ref.	Priority	Strategy	Budget
1. Provide closed risers	11B-504.3	3	B	\$15,800
2. Replace handrails	11B-505	3	B	
3. Replace the guardrails at the upper landing and provide a guardrail at the open sides of the stair	1015	3	B	
KK. West Exit Door From Garage				
	Code Ref.	Priority	Strategy	Budget
1. Provide lever hardware	11B-404.2.7	3	A	\$500
LL. East Exit Door From Garage				
	Code Ref.	Priority	Strategy	Budget
1. Provide lever hardware	11B-404.2.7	3	A	\$1,000
2. Adjust door closer	N/A	3	A	

Scenic & Santa Lucia Public Restrooms

Scenic Road & Santa Lucia Avenue
 Carmel-by-the-Sea, California 93923



R.O.M. Cost Evaluation:

Site, Path of Travel:	\$87,625
Site, Parking:	\$0
Interiors, Toilet Rooms & Drinking Fountains:	\$11,925
Interiors, Other:	<u>\$ 0</u>
Total:	\$99,550

Site

A. Path of Travel from Public Sidewalk to Primary Entrance.

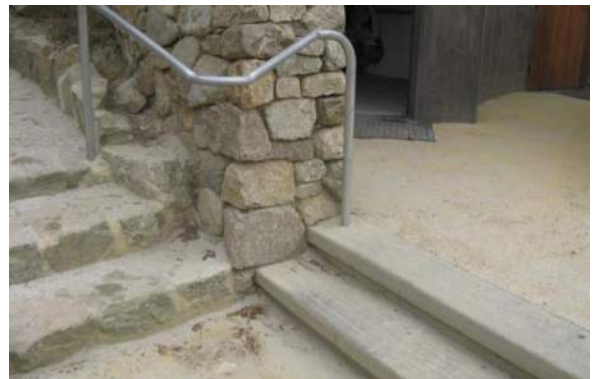


	Code Ref.	Priority	Strategy	Budget
1. Provide a paved accessible route to the restroom entrances, benches and drinking fountain	11B-206	3	D	\$25,000

B. Accessible Parking

	Code Ref.	Priority	Strategy	Budget
1. Provide accessible parking	N/A	4	D	N/A

C. Exterior Concrete Stair



	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	D	\$5,500
2. Modify handrails	11B-505	3	D	

D.

Exterior Stone Stair from the Public Sidewalk to the Restroom Building and Beach




	Code Ref.	Priority	Strategy	Budget
1. Replace the stairway	11B-504 & 11B-505	3	D	\$55,000

E.

Drinking Fountain



	Code Ref.	Priority	Strategy	Budget
1. Provide a paved ground surface within the required 30" x 48" clear ground space under the drinking fountain	11B-302	3	B	\$2,200
2. Provide pedestrian protection	11B-602.9	3	B	

<p>F. Benches</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide paved ground surfaces at the required 30" x 48" clear space positioned at the end of one of the benches</p>	11B-302	3	B	\$2,125
<p>2. Modify back support or replace bench</p>	11B-903.4	3	B	

Building

G. West Restroom



	Code Ref.	Priority	Strategy	Budget
1. Entry Door: Provide a paved ground surface at the exterior of the door within required maneuvering clearances	11B-302	3	B	\$4,600
2. Correct the height of the threshold	11B-404.2.5	3	B	
3. Adjust the door closer	N/A	3	B	
4. Lavatory: Correcting the location of the lavatory	N/A	4	D	
5. Baby Changing Table: Remove	N/A	3	B	

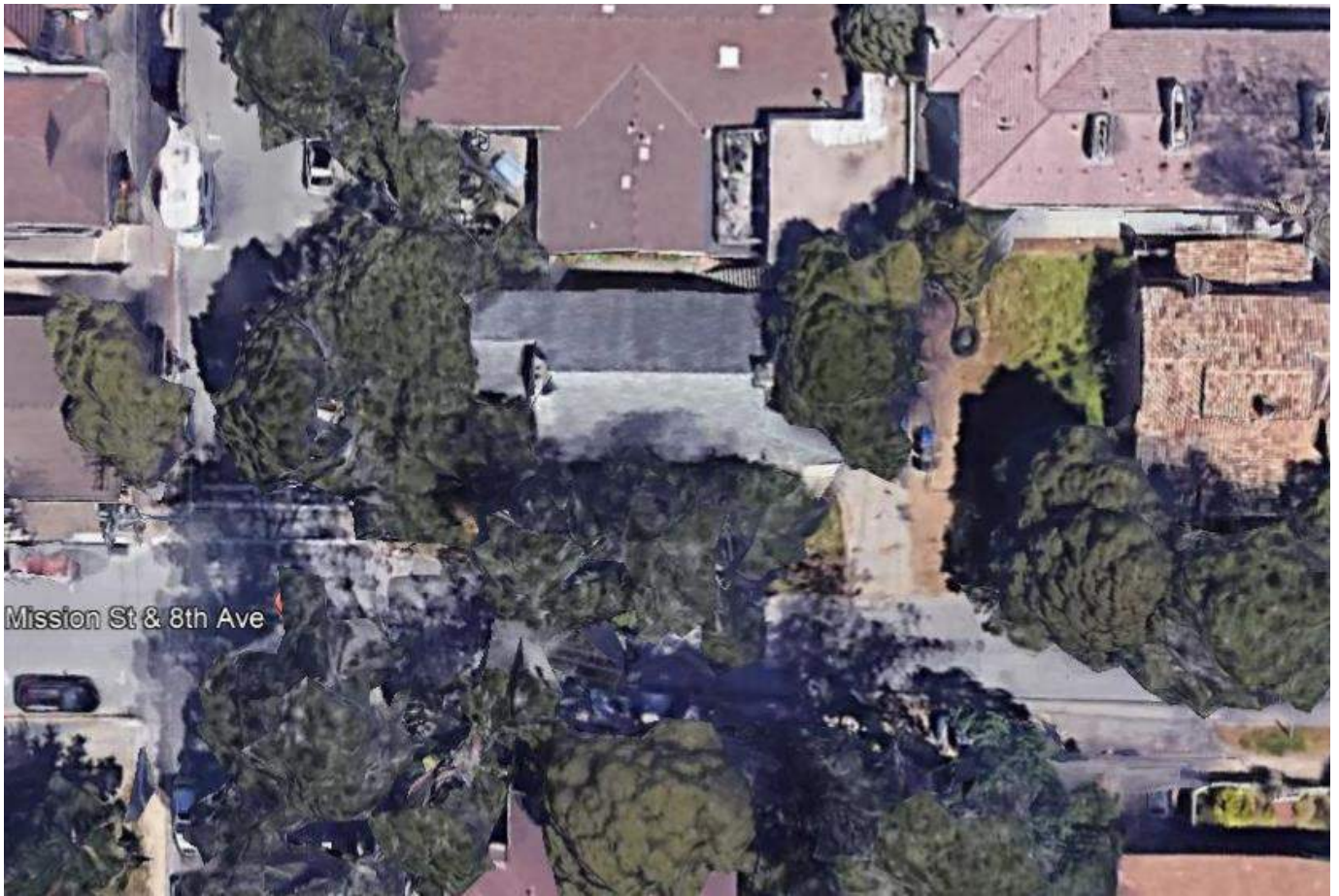
I. East Restroom



	Code Ref.	Priority	Strategy	Budget
1. Entry Door: Provide a paved ground surface at the exterior of the door within required maneuvering clearances	11B-302	3	B	\$5,125
2. Correct the height of the threshold	11B-404.2.5	3	B	
3. Adjust the door closer	N/A	3	B	
4. Toilet Paper Dispenser: Replace	11B-604.7	3	B	
5. Baby Changing Table: Remove	N/A	3	B	

Scout House

Mission Street at 8th Avenue
Carmel-by-the-Sea, California 93923



R.O.M. Cost Evaluation:

Site, Path of Travel:	\$26,680
Site, Parking:	\$1,000
Interiors, Toilet Rooms & Drinking Fountains:	\$0
Interiors, Other:	<u>\$13,100</u>
Total:	\$40,780


Site

A. *Path of Travel from Public Sidewalk to Primary Entrance.*



	Code Ref.	Priority	Strategy	Budget
1. Providing an accessible route from the public sidewalk to the primary entrance	N/A	4	D	N/A

B. *Accessible Parking Space:*



	Code Ref.	Priority	Strategy	Budget
1. Remove accessible parking space, signage, striping	N/A	1	A	\$1,000
2. Providing an accessible parking space with accessible path of travel to the main entrance	N/A	4	D	N/A

C. Exterior Stone Stair at Building Entry



	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$3,500
2. Provide handrails on both sides of the stair	11B-505	3	B	
3. Correcting the slopes of the landings and the walk to the lower stairway	N/A	4	D	N/A

D. Exterior Stone Stairway at Public Sidewalk



	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	D	\$12,100
2. Correct riser heights to be 7" max.	N/A	3	D	
3. Provide handrails on both sides of the stair	11B-505	3	D	
4. Correcting the cross slopes of the landings	N/A	4	D	N/A


E. *Exterior Wood Stair at the Southeast Corner of the Building*





	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$6,300
2. Provide handrails on both sides of the stair	11B-505	3	B	
3. Provide a 42" high minimum guardrail at the open side of the stair	1015	3	B	
4. Correcting the size of the landing at the top of the stair and the slope of the landing at the bottom and of the stair	N/A	4	D	N/A




Building

F. *Primary Entrance*



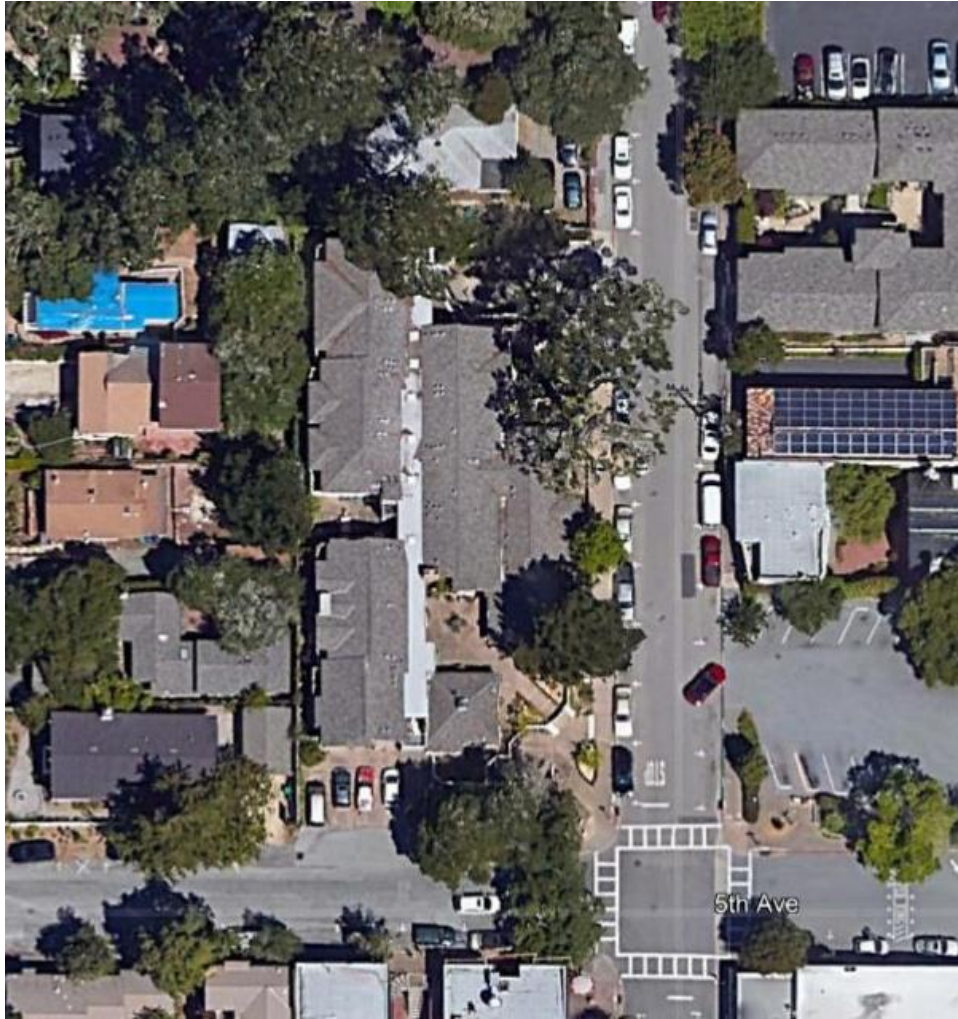
	Code Ref.	Priority	Strategy	Budget
1. Primary entrance is not on an accessible route. Provide the required clearances & threshold height	N/A	4	D	N/A
2. Adjust the door closer	N/A	3	B	\$4,780
3. Extend the concrete landing	1010.1.6	3	B	
4. Provide handrails	11B-505	3	B	
5. Contrasting nosing stripes	11B-504.4.1	3	B	

<p>G. <i>Stair to Main Level</i></p>				
	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$8,800
2. Replace or modify handrails	11B-505	3	B	
3. Modify the bottom tread to be 11" deep	1011.5.4	3	B	
4. Correcting the stair width and removing the winder treads	N/A	4	D	N/A
<p>H. <i>Stair to Basement Storage</i></p>				
	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$3,300
2. Provide one handrail on the south side of the stair	11B-505	3	B	
3. Correcting the protruding tread and the riser heights	N/A	4	D	N/A

<p>I. <i>Kitchen Sink Counter</i></p>				
<p>1. Correcting the height of the counter and insulating the supply & drain lines (kitchen is not on an accessible path of travel)</p>	Code Ref. N/A	Priority 4	Strategy D	Budget N/A
<p>J. <i>Benches</i></p>				
<p>1. Correcting the size and height of the seat and removing the arm at the end of a bench or provide ADA bench</p>	Code Ref. 11B-504.4.1	Priority 3	Strategy A	Budget \$1,000
<p>K. <i>Southeast Exit Door</i></p>				
<p>1. Correcting the height of the threshold</p>	Code Ref. N/A	Priority 4	Strategy D	Budget N/A

Senior Housing Parking Garage

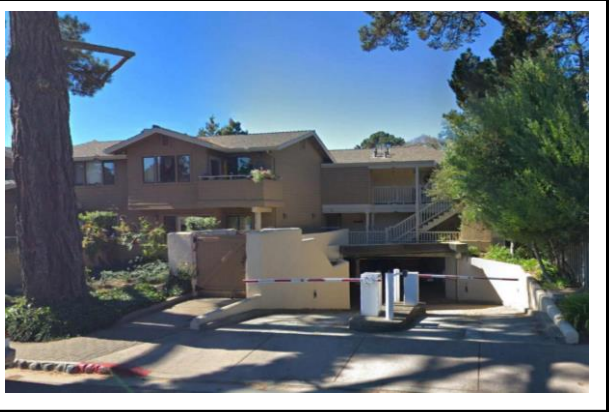

Dolores Street between 4th and 5th Avenue
 Carmel-by-the-Sea, California 93923


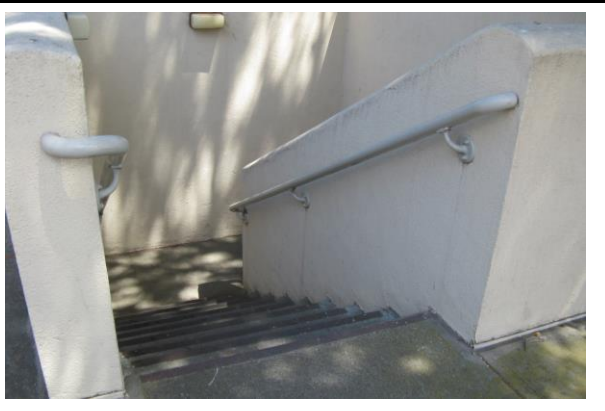


R.O.M. Cost Evaluation:

Site, Path of Travel:	\$41,100
Site, Parking:	\$0
Interiors, Toilet Rooms & Drinking Fountains:	\$0
Interiors, Other:	<u>\$ 0</u>
Total:	\$41,100

Site

<p>A. <i>Path of Travel from Public Sidewalk to Primary Entrance.</i></p>				
<p>1. Provide a paved accessible route for a person using a wheelchair from the public sidewalk to the primary entrances</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>
<p>B. <i>Concrete Walk from Public Sidewalk to North Stair</i></p>				
<p>1. Making the walk 48" wide minimum</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>
<p>2. Provide edge protection and handrails where the running slope of the concrete walk exceeds 1:20 (5%)</p>	<p>11B-405.9 & 11B-505</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$16,300</p>
<p>3. Provide ramp landings</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>

<p>C. <i>Exterior North Concrete Stair</i></p>				
	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$10,300
2. Modify or replace handrails	11B-505	3	B	
3. Correct the slope of the landing at the top of the stair	N/A	4	D	N/A
4. Correct the depth of the landing at the bottom of the stair	N/A	4	D	N/A
<p>D. <i>Exterior South Concrete Stairway (Two Flights)</i></p>				
	Code Ref.	Priority	Strategy	Budget
1. Contrasting nosing stripes	11B-504.4.1	3	B	\$12,500
2. Modify or replace handrails	11B-505	3	B	

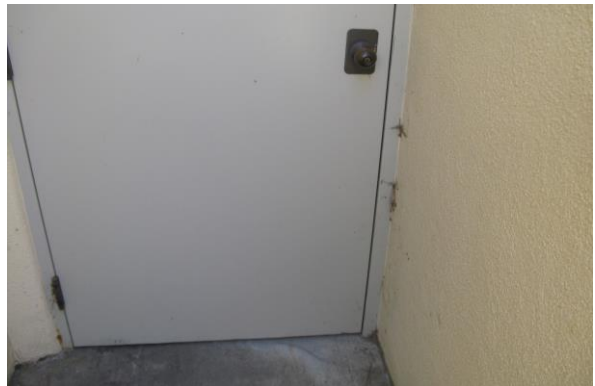
Building

E. North Entrance



	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	B	\$1,000
2. Provide lever hardware	11B-404.2.7	3	B	
3. Correct the slope and length of the landing on the garage side of the door	N/A	4	D	N/A

F. South Entrance



	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	B	\$1,000
2. Provide lever hardware	11B-404.2.7	3	B	
3. Correct the slope and length of the landing on the garage side of the door	N/A	4	D	N/A

G. Parking Spaces

	Code Ref.	Priority	Strategy	Budget
1. Provide accessible parking spaces on an accessible route	N/A	4	D	N/A

Sunset Center

San Carlos Street between Mission Street and between 8th & 10th
Carmel-by-the-Sea, California 93923



Estimated Budget Cost Breakdown:

Site, Path of Travel:	\$325,300
Site, Parking:	\$38,900
Interiors, Toilet Rooms & Drinking Fountains:	\$120,290
Interiors, Other:	<u>\$192,300</u>
Total Budget this Building:	\$676,790

Site

A. *Path of Travel from Public Sidewalk to Primary Entrances*



	Code Ref.	Priority	Strategy	Budget
1. Accessible path between Public Sidewalk and the two cottages is a vehicular way	N/A	4	D	N/A
2. Ramp from Central Parking Lot to the South Parking Lot, provide handrails and guardrails	11B-505 and 1015	3	D	\$56,000
3. Ramp from Central Parking Lot to the South Parking Lot, correcting the slope and providing intermediate landings	N/A	4	D	N/A

B. North Parking Lot: Accessible Parking Spaces

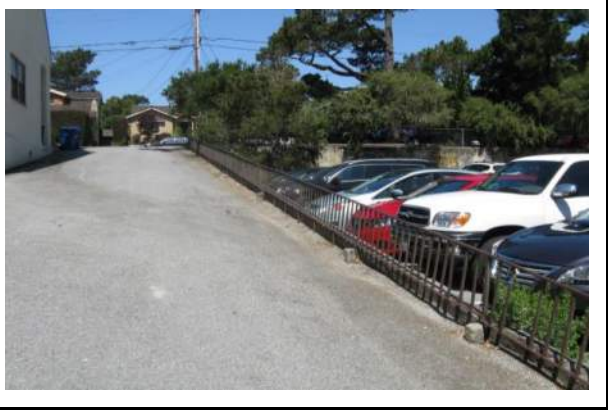






	Code Ref.	Priority	Strategy	Budget
1. Add additional accessible parking spaces	N/A	4	D	N/A
2. Regrade parking space and aisle for max surface slope of 1:48 in any direction	11B-502.4	3	D	\$32,300
3. Van accessible markings and international symbol of accessibility	11B-502.	3	D	
4. Identification signage, Van Accessible, Minimum Fine & Tow Away signs	11B-502.6 11B502.8	3	D	
5. Provide a 48" wide min. crosswalk fro the access aisle to the ramp to Carpenter Hall with running slope at 1:20 max and cross slope at 1:48 max.	11B-403 and 11B-247.1.2.5	3	D	

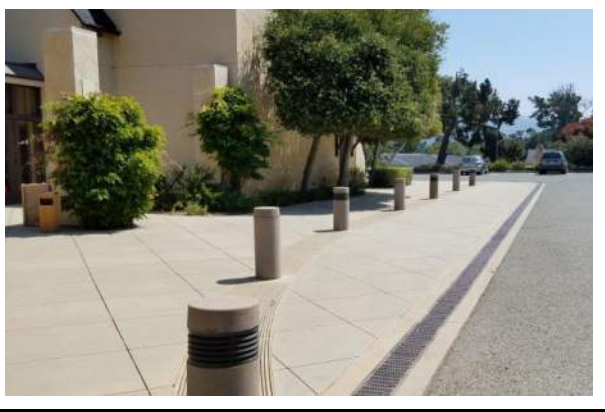


C. North Parking Lot: Concrete Paver Ramp to Carpenter Hall







	Code Ref.	Priority	Strategy	Budget
1. Handrail Extensions at top of ramp	11B-505.10.1	3	B	\$2,000
2. Rise of ramp and length of bottom landing	N/A	4	D	N/A



<p>D. <i>North Parking Lot: Guardrail at the South Side of the Lot</i></p>				
<p>1. Replace guardrail</p>	<p>Code Ref. 1015</p>	<p>Priority 3</p>	<p>Strategy D</p>	<p>Budget \$34,000</p>
<p>E. <i>North Parking Lot: Concrete Ramp at North Building Entrance</i></p>				
<p>1. Provide handrails</p>	<p>Code Ref. 11B-505</p>	<p>Priority 3</p>	<p>Strategy D</p>	<p>Budget \$24,300</p>
<p>2. Extend guardrail</p>	<p>1015</p>	<p>3</p>	<p>D</p>	
<p>3. Correct running slope of ramp</p>	<p>N/A</p>	<p>4</p>	<p>D</p>	<p>N/A</p>
<p>F. <i>North Parking Lot: Electric Vehicle Charging Stations</i></p>				
<p>1. Make vehicle charging stations accessible and provide an accessible route to the building or public sidewalk</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>



<p>G. <i>North Parking Lot: Concrete Ramp at the North Side of the Lot</i></p> 					
		Code Ref.	Priority	Strategy	Budget
	1. Provide handrails	11B-505	3	B	\$26,000
2. Correct running slope of ramp	N/A	4	D	N/A	
<p>H. <i>Central Parking Lot & Plaza: Accessible Parking Spaces</i></p> 					
		Code Ref.	Priority	Strategy	Budget
	1. Remove planter boxes located within the parking spaces	N/A	3	A	\$2,400
	2. Van accessible markings and international symbol of accessibility	11B502.3 11B-502.6	3	B	
3. Identification signage, Van Accessible, Minimum Fine & Tow Away signs	11B-502.6 11B502.8	3	B		



<p>I. <i>Central Parking Lot & Plaza: Path of Travel from Accessible Parking Spaces to Primary Entrance</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Separate the walking surface from the vehicular way with a curb, railing or continuous detectable warning element</p>	11B-247.1.2.5	1	D	\$24,000
<p>2. Correct the cross slope</p>	N/A	4	D	N/A
<p>J. <i>Central Parking Lot & Plaza: Benches</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide a 48" long minimum section of bench that provides minimum seat & back support</p>	11B-903	3	B	\$1,000
<p>K. <i>Central Parking Lot & Plaza: Concrete Stairway from the Public Sidewalk to the Plaza at the Primary Entrance</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Handrail Extensions</p>	N/A	Equivalent Facilitation		N/A



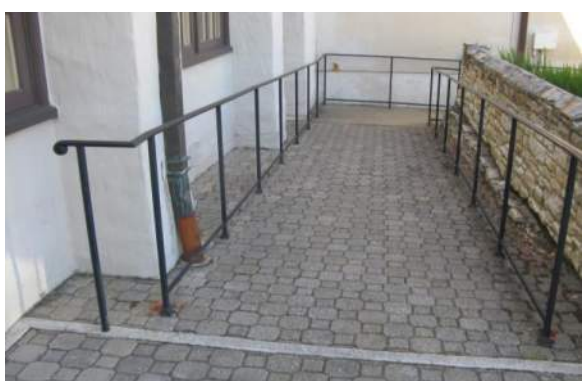
<p>L. <i>Central Parking Lot & Plaza: Stone Stairway to North Courtyard from Plaza</i></p> 					
		Code Ref.	Priority	Strategy	Budget
	1. Replace handrails	11B-505	3	B	\$18,000
	2. Correcting the slope of the landing at the top of the stairway	N/A	4	D	N/A
<p>M. <i>Central Parking Lot & Plaza: Concrete Ramp to Orchestra Level Entrance from Plaza</i></p> 					
		Code Ref.	Priority	Strategy	Budget
	1. Provide an additional handrail support at the top of the ramp so the handrail extensions overhang the circulation path 12" max.	N/A	3	B	\$2,500
	2. Correcting the slope of the landing at the bottom of the ramp	N/A	4	D	N/A




<p>N.</p> <p><i>Central Parking Lot & Plaza: Concrete Stairway to Orchestra Level Entrance from Plaza</i></p>				
		Code Ref.	Priority	Strategy
1. Provide an additional handrail support at the top of the stairway so the handrail extensions overhang the circulation path 12" max.	N/A	3	B	\$3,000
2. Modify one handrail extension at the bottom of the stairway	11B-505.10.3	3	B	
<p>O.</p> <p><i>Central Parking Lot & Plaza: Concrete Ramp to the Northern Portion of the Building from the Orchestra Level</i></p>				
		Code Ref.	Priority	Strategy
1. Provide an additional handrail support at the top of the ramp so that one handrail extends 12" max.	N/A	3	B	\$3,500
2. Modify the wall mounted handrail extension at the bottom of the ramp to return to the wall	N/A	3	B	
3. Extend handrail at the top of the ramp	N/A	4	D	N/A


<p>P. <i>Central Parking Lot & Plaza: Concrete Ramp to Restrooms from Orchestra Level</i></p>																						
<table border="1"> <thead> <tr> <th data-bbox="191 600 906 632"></th> <th data-bbox="906 600 1068 632">Code Ref.</th> <th data-bbox="1068 600 1211 632">Priority</th> <th data-bbox="1211 600 1354 632">Strategy</th> <th data-bbox="1354 600 1510 632">Budget</th> </tr> </thead> <tbody> <tr> <td data-bbox="191 632 906 701">1. Replace concrete ramp and top landing. New ramp shall have a running slope of 1:12</td> <td data-bbox="906 632 1068 701">11B-405</td> <td data-bbox="1068 632 1211 701">3</td> <td data-bbox="1211 632 1354 701">B</td> <td data-bbox="1354 632 1510 701" rowspan="2">\$24,500</td> </tr> <tr> <td data-bbox="191 701 906 751">2. Provide handrails, both sides of new ramp</td> <td data-bbox="906 701 1068 751">11B-505.10.1</td> <td data-bbox="1068 701 1211 751">3</td> <td data-bbox="1211 701 1354 751">B</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Replace concrete ramp and top landing. New ramp shall have a running slope of 1:12	11B-405	3	B	\$24,500	2. Provide handrails, both sides of new ramp	11B-505.10.1	3	B								
	Code Ref.	Priority	Strategy	Budget																		
1. Replace concrete ramp and top landing. New ramp shall have a running slope of 1:12	11B-405	3	B	\$24,500																		
2. Provide handrails, both sides of new ramp	11B-505.10.1	3	B																			
<p>Q. <i>South Parking Lot & Plaza: Accessible Parking Spaces</i></p>																						
<table border="1"> <thead> <tr> <th data-bbox="191 1159 906 1190"></th> <th data-bbox="906 1159 1068 1190">Code Ref.</th> <th data-bbox="1068 1159 1211 1190">Priority</th> <th data-bbox="1211 1159 1354 1190">Strategy</th> <th data-bbox="1354 1159 1510 1190">Budget</th> </tr> </thead> <tbody> <tr> <td data-bbox="191 1190 906 1260">1. Van accessible markings and international symbol of accessibility</td> <td data-bbox="906 1190 1068 1260">11B502.3 11B-502.6</td> <td data-bbox="1068 1190 1211 1260">3</td> <td data-bbox="1211 1190 1354 1260">B</td> <td data-bbox="1354 1190 1510 1260" rowspan="3">\$3,200</td> </tr> <tr> <td data-bbox="191 1260 906 1329">2. Identification signage, Minimum Fine & Tow Away signs</td> <td data-bbox="906 1260 1068 1329">11B-502.6 11B502.8</td> <td data-bbox="1068 1260 1211 1329">3</td> <td data-bbox="1211 1260 1354 1329">B</td> </tr> <tr> <td data-bbox="191 1329 906 1449">3. On the south side of the parking space, provide a 48" min. crosswalk from the access aisle to the ramp to Cottage 17; running slope 1:20 and cross slope 1:48 max</td> <td data-bbox="906 1329 1068 1449">11B-403 and 11B-247.1.2.5</td> <td data-bbox="1068 1329 1211 1449">3</td> <td data-bbox="1211 1329 1354 1449">B</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Van accessible markings and international symbol of accessibility	11B502.3 11B-502.6	3	B	\$3,200	2. Identification signage, Minimum Fine & Tow Away signs	11B-502.6 11B502.8	3	B	3. On the south side of the parking space, provide a 48" min. crosswalk from the access aisle to the ramp to Cottage 17; running slope 1:20 and cross slope 1:48 max	11B-403 and 11B-247.1.2.5	3	B				
	Code Ref.	Priority	Strategy	Budget																		
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<p>R. <i>South Parking Lot & Plaza: Accessible Parking Space at the Southeast Corner of the Sunset Center</i></p> 				
		Code Ref.	Priority	Strategy
<p>1. Remove accessible parking space, striping, signage, etc.</p>	N/A	2	A	\$1,000
<p>S. <i>Mission Street Side: Concrete Ramp from the Southeast Cottage</i></p> 				
		Code Ref.	Priority	Strategy
<p>1. Provide handrails</p>	11B-505	3	B	\$47,700
<p>2. Extend guardrail</p>	1015	3	B	
<p>3. Correct the running slope</p>	N/A	4	D	N/A


<p>T. <i>Mission Street Side: South Concrete Stair</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide handrail extensions at the bottom of the stair</p>	11B-505.10.3	3	B	\$2,000
<p>2. Correcting the riser heights, handrail extensions at the top of the stair and slope of the landing at</p>	N/A	4	D	N/A
<p>U. <i>Mission Street Side: Step to South Deck and Deck Guardrail</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide a handrail on the building side of the step</p>	11B-505	3	B	\$15,600
<p>2. Reduce the clear opening in the deck guardrail to 4" max.</p>	1015	3	B	
<p>3. Correct the width of the steps</p>	N/A	4	D	N/A

<p>V. <i>Mission Street Side: Stone Stair at the Southeast Corner of the Sunset Center</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide handrail extensions at the bottom of the stair</p>	11B-505.10.3	3	B	\$2,000
<p>2. Correct the riser heights</p>	N/A	4	D	N/A
<p>W. <i>Mission Street Side: Stone Stair to Mission St. at the Southeast Corner of the Sunset Center</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide handrail extensions at the bottom of the stair</p>	11B-505.10.3	3	B	\$2,000
<p>2. Correcting the slope of the landing at the bottom of the stair</p>	N/A	4	D	N/A
<p>X. <i>Mission Street Side: Concrete Paver Ramp at the Southeast Corner of the Sunset Center</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. the handrail extensions at the top and bottom of the ramp overhang less than 12"</p>	N/A	Equivalent Facilitation		N/A

<p>Y. <i>Mission Street Side: Concrete Stairway from Lower Orchestra Seating</i></p>																							
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	Code Ref.	Priority	Strategy	Budget																			
1. Add contrasting nosing stripes	11B-504.4.1	3	B	\$2,900																			
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3. Correcting the slope of the landing at the bottom of the stair	N/A	4	D	N/A																			
<p>Z. <i>Mission Street Side: Concrete Stairway from Orchestra Level</i></p>																							
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<p>A1. <i>Mission Street Side: Stone Stairway at Studio Level Exit Door</i></p>																							
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	Code Ref.	Priority	Strategy	Budget																			
1. Correcting the slope of the treads and landings	N/A	4	D	N/A																			
2. Provide a barrier at the top of the stairway to prevent usage	N/A	3	B	\$2,900																			

<p>B1. <i>Mission Street Side: Northeast Concrete Stair</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Modify handrail extensions</p>	11B-505	3	B	\$4,000
<p>2. Correcting the slope of the landing at the top of the stair</p>	N/A	4	D	N/A

Building

<p>C1. <i>Original North Portion: Primary Double-Leaf Entrance</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Doors: Modify or replace the doors to provide a smooth surface on the push side extending the full width of the door.</p>	11B-404.2.10	3	B	\$9,500

D1. Original North Portion: Men's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Door: relocate deadbolt	11B-404.2.7	3	A	\$1,600
2. Adjust door closer	N/A	3	B	
3. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
4. Accessories: Relocate soap dispenser, paper towel dispenser	11B-603.5	3	A	
5. Remove Baby Changing Table from accessible toilet compartment	11B-226.4	3	A	

E1. Original North Portion: Women's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Door: relocate deadbolt	11B-404.2.7	3	A	\$1,600
2. Adjust door closer	N/A	3	B	
3. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
4. Accessories: Relocate soap dispenser, paper towel dispenser	11B-603.5	3	A	
5. Remove Baby Changing Table from accessible toilet compartment	11B-226.4	3	A	
6. Relocating the accessible toilet compartment door to provide minimum maneuvering clearance	N/A	4	D	N/A

F1. Original North Portion Drinking Fountain

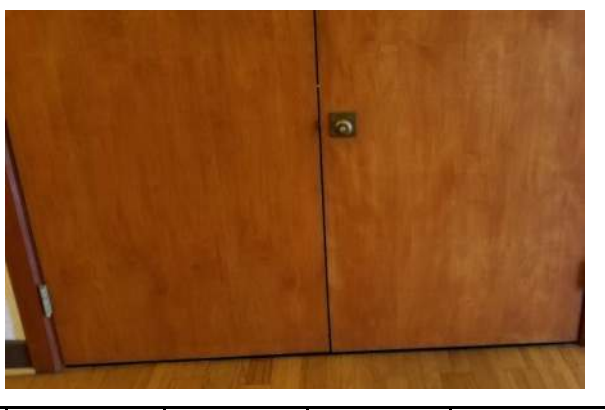
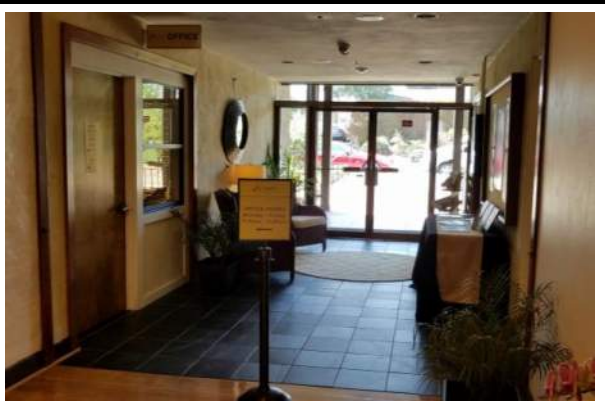



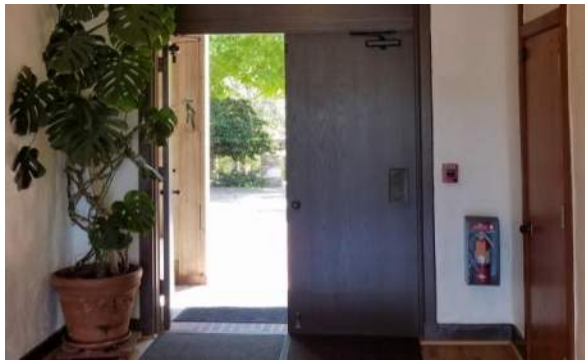
	Code Ref.	Priority	Strategy	Budget
1. Replace drinking fountain	11B-602	3	B	\$5,790

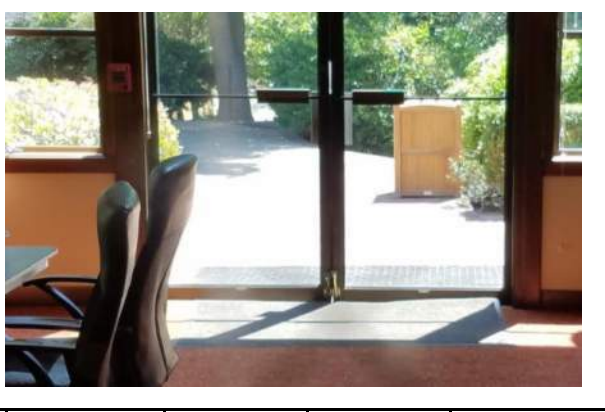
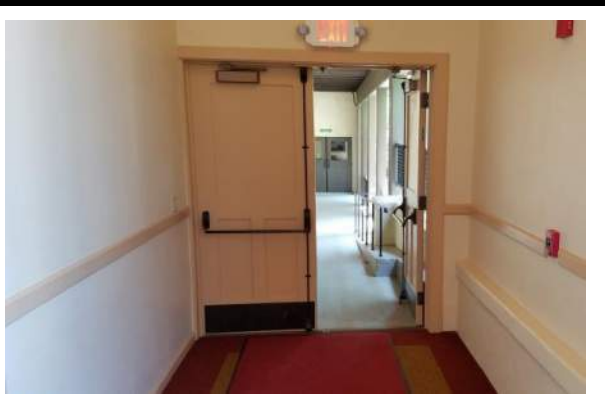
G1. Original North Portion: Basement level Unisex Restroom







	Code Ref.	Priority	Strategy	Budget
1. Door: replace threshold	11B-404.2.5	3	B	\$7,100
2. Door: replace signage	11B-703.7.2.6.3	3	A	
3. Adjust door closer	N/A	3	A	
4. Replace the toilet with the flush control on the open side and relocate	11B-604.6 11B-604.2	3	B	
5. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
6. Relocate toilet paper dispenser	11B-604.7	3	B	
7. Relocate mirror	11B-603.3	3	B	

<p>H1. Original North Portion: Int. & Ext. Corridor Doors</p>																															
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1. Provide lever hardware	11B-404.2.7	3	B	\$1,000																											
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<p>I1. Original North Portion: Administration Office</p>																															
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	Code Ref.	Priority	Strategy	Budget																											
1. Provide lever hardware	11B-404.2.7	3	B	\$5,500																											
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5. Correct the ground surface slopes at the exterior exit door	N/A	4	D	N/A																											

<p>J1. Original North Portion: Staff Breakroom</p>																																																							
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<p>K1. Original North Portion: Photographic Art Gallery</p>																																																							
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11. Correct the height of the threshold at the office exterior exit door	N/A	4	D	N/A																																																			

<p>L1. <i>Original North Portion: Exit Doors from the Chapman and Bingham Rooms</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Modify or replace the exterior double door to provide a smooth surface on the push side extending the full width of the door. (one int. pair of doors)</p>	11B-404.2.10	3	B	\$2,500
<p>2. Adjust door closer</p>	N/A	3	B	
<p>3. Correct the height of the thresholds and ground surface slopes</p>	N/A	4	D	N/A
<p>M1. <i>Original North Portion: Exit Doors from North-South Corridor</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Replace the threshold</p>	11B-404.2.5	3	B	\$2,500
<p>2. Provide lever hardware</p>	11B-404.2.7	3	B	
<p>3. Modify or replace the exterior double door to provide a smooth surface on the push side extending the full width of the door.</p>	11B-404.2.10	3	B	

<p>N1. <i>Original North Portion: Exterior Double-Leaf North Exit Door from E-W Corridor</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Relocate deadbolt and push/pull bars</p>	11B-404.2.7	3	B	\$2,500
<p>2. Modify or replace the exterior double door to provide a smooth surface on the push side extending the full width of the door.</p>	11B-404.2.10	3	B	
<p>O1. <i>Original North Portion: Stairway to Basement Level</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide handrails on both sides of stairway</p>	11B-505	3	B	\$32,000
<p>2. Add contrasting nosing stripes</p>	11B-504.4.1	3	B	
<p>3. Extend guardrails at open sides of the stair and landings</p>	1015	3	B	

<p>P1. <i>Original North Portion: Exterior Exit Doors from Basement Level</i></p>					
		Code Ref.	Priority	Strategy	Budget
	1. Replace threshold at entry to Carpenter Hall	11B-404.2.5	3	B	\$1,000
	2. Adjust door closer	N/A	3	B	
3. Correct the height of the threshold at south exit door	N/A	4	D	N/A	
<p>Q1. <i>Main Lobby and Theater Portion: Entry and Promenade Lobby Interior and Exterior Doors</i></p>					
		Code Ref.	Priority	Strategy	Budget
	1. Relocate deadbolt	11B-404.2.7	3	B	\$1,000
	2. Adjust door closer	N/A	3	B	
3. Correct the maneuvering clearance at the box office door	N/A	4	D	N/A	

R1. Orchestra Level Men's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Relocate deadbolt at entry & vestibule doors	11B-404.2.7	3	B	\$16,600
2. Adjust door closer	N/A	3	B	
3. Provide door sign	11B-703.7.2.6	3	A	
4. Provide an ambulatory accessible compartment	11B-604.8.2	3	B	
5. Relocate accessible toilet	11B-604.2	3	B	
6. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
7. Relocate toilet paper dispenser	11B-604.7	3	B	
8. Relocate Urinal	11B-605	3	B	
9. Relocate paper towel dispenser	11B-603.5	3	B	
10. Relocate light switch	11B-308.1.1	3	B	

S1. Orchestra Level Women's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Relocate deadbolt at entry & vestibule doors	11B-404.2.7	3	B	\$8,100
2. Adjust door closer	N/A	3	B	
3. Provide door sign	11B-703.7.2.6	3	B	
4. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
5. Relocate toilet paper dispenser	11B-604.7	3	B	
6. Accessible Toilet Compartment Door: Relocating the opening and providing the minimum maneuvering clearance perpendicular to the pull side of the door	N/A	4	D	
7. Relocate paper towel dispenser	11B-603.5	3	B	
8. Relocate light switch	11B-308.1.1	3	B	

T1. Orchestra Level Drinking Fountain

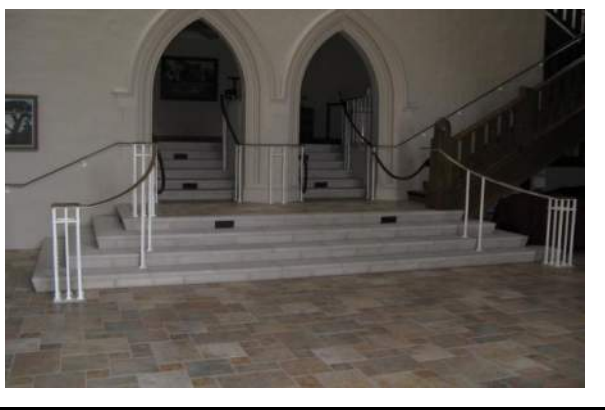






	Code Ref.	Priority	Strategy	Budget
1. Replace drinking fountain	11B-602	3	B	\$7,200



U1. Studio Level Unisex Toilet Rooms (2)


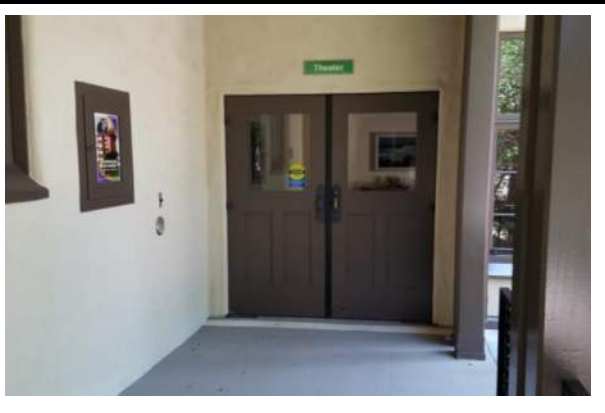


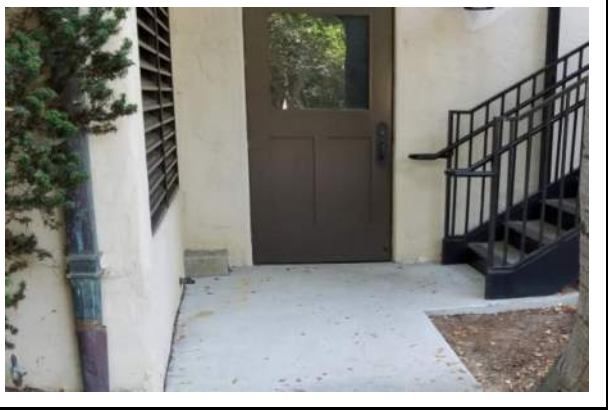

	Code Ref.	Priority	Strategy	Budget
1. Replace door & wall signage	11B-703.7.2.6.3	3	A	\$4,500
2. Adjust door closer	N/A	3	A	
3. Correct the maneuvering clearance on the push side of the door	N/A	4	D	
4. Relocate toilet paper dispenser	11B-604.7	2	B	
5. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
6. Shower Compartments: Providing 30" wide by 60" deep minimum shower compartment with a full open width on the long side	N/A	4	D	

<p>V1. Lobby Stairway to Orchestra Level</p>																							
<table border="1"> <thead> <tr> <th data-bbox="191 604 906 636"></th> <th data-bbox="906 604 1068 636">Code Ref.</th> <th data-bbox="1068 604 1209 636">Priority</th> <th data-bbox="1209 604 1351 636">Strategy</th> <th data-bbox="1351 604 1507 636">Budget</th> </tr> </thead> <tbody> <tr> <td data-bbox="191 636 906 688">1. Add contrasting nosing stripes</td> <td data-bbox="906 636 1068 688">11B-504.4.1</td> <td data-bbox="1068 636 1209 688">3</td> <td data-bbox="1209 636 1351 688">B</td> <td data-bbox="1351 636 1507 856" rowspan="4" style="text-align: center; vertical-align: middle;">\$15,500</td> </tr> <tr> <td data-bbox="191 688 906 751">2. Provide handrails on west side of lower flight on north stair</td> <td data-bbox="906 688 1068 751">11B-505</td> <td data-bbox="1068 688 1209 751">3</td> <td data-bbox="1209 688 1351 751">B</td> </tr> <tr> <td data-bbox="191 751 906 804">3. Modify the exiting handrail</td> <td data-bbox="906 751 1068 804">11B-505.10.3</td> <td data-bbox="1068 751 1209 804">3</td> <td data-bbox="1209 751 1351 804">B</td> </tr> <tr> <td data-bbox="191 804 906 856">4. Modify handrails both sides of upper flight</td> <td data-bbox="906 804 1068 856">11B-505.10.3</td> <td data-bbox="1068 804 1209 856">3</td> <td data-bbox="1209 804 1351 856">B</td> </tr> </tbody> </table>		Code Ref.	Priority	Strategy	Budget	1. Add contrasting nosing stripes	11B-504.4.1	3	B	\$15,500	2. Provide handrails on west side of lower flight on north stair	11B-505	3	B	3. Modify the exiting handrail	11B-505.10.3	3	B	4. Modify handrails both sides of upper flight	11B-505.10.3	3	B	
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<p>W1. Lobby Stairway to Balcony Level</p>																							
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	Code Ref.	Priority	Strategy	Budget																			
1. Modify handrails both sides	11B-505.10.3	3	B	\$32,400																			
2. Extend guardrails at open sides of the stair	1015.	3	B																				

<p>X1. <i>East Stairway from Orchestra Level to Balcony Level</i></p>				
<p>1. Modify handrail</p>	<p>Code Ref. 11B-505.10.3</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$2,000</p>
<p>Y1. <i>Assembly Area Wheelchair Spaces</i></p>				
<p>1. Replace the broken removable seat</p>	<p>Code Ref. N/A</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$1,000</p>
<p>Z1. <i>East and West Stairs to Upper Balcony Seating</i></p>				
<p>1. Add contrasting nosing stripes</p>	<p>Code Ref. 11B-504.4.1</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$500</p>

<p>A2. <i>Doors at Assembly Area</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Relocate the pulls at the southeast and southwest exit doors</p>	11B-404.2.7	3	B	\$1,500
<p>2. Adjust door closer</p>	N/A	3	A	
<p>B2. <i>Southwest Stair near Platform Lift</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Add contrasting nosing stripes</p>	11B-504.4.1	3	B	\$6,600
<p>2. Return the handrail extensions at the top of the stair to the guardrail</p>	11B-505.10.2	3	B	
<p>3. Modify east handrail</p>	11B-505.10.3	3	B	

<p>C2. Stairway from Lobby to Studio Level</p>																															
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	Code Ref.	Priority	Strategy	Budget																											
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5. Providing 60" min. maneuvering clearance on the pull side of the door	N/A	4	D	N/A																											
<p>D2. Exterior Doors at Orchestra Level Lobby</p>																															
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3. Relocate deadbolt - north doors	11B-404.2.7	3	A																												
4. Correct slope of the exterior landing	N/A	4	D	N/A																											

<p>E2. Exterior Door at Studio Level</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Adjust door closer</p>	N/A	3	A	\$500
<p>2. Correct the maneuvering clearances on the latch side of the door</p>	N/A	4	D	N/A
<p>F2. Elevator - see elevator check list, Main Lobby</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Repair or replace hall lanterns to function</p>	11B-407.2.2.1	3	B	\$15,000
<p>2. Replace door jamb signs</p>	11B-407.2.2	3	B	
<p>3. Reprogram doors to remain open for 20 seconds min.</p>	11B-407.3.3.1	3	B	
<p>4. Replace car control panel to indicate main entry floor designated by raised star</p>	11B-407.4.7.1.3	3	B	

G2. Platform Lift - see platform lift check list



	Code Ref.	Priority	Strategy	Budget
1. Replace lift emergency stop controls	11B-309.4	3	B	\$2,500
2. Signage, provide emergency telephone number	11B-410.8	3	B	

H2. South Portion - Stage Level Men's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$12,500
2. Relocate toilet	11B-604.2	3	B	
3. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
4. Relocate toilet paper dispenser	11B-604.7	2	B	
5. Relocate Urinal	11B-605	3	B	
6. Relocate paper towel dispenser	11B-603.5	3	B	
7. Relocate seat cover dispenser	11B-603.5	3	B	
8. Relocate mirror	11B-603.3	3	B	

I2. South Portion - Stage Level Women's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Adjust door closer	N/A	3	A	\$8,500
2. Relocate toilet	11B-604.2	3	B	
3. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
4. Relocate toilet paper dispenser	11B-604.7	3	B	
5. Relocate paper towel dispenser	11B-603.5	3	B	
6. Relocate seat cover dispenser	11B-603.5	3	B	
7. Relocate mirror	11B-603.3	3	B	

J2. South Portion - Stage Level Drinking Fountain



	Code Ref.	Priority	Strategy	Budget
1. Repair drinking fountain	11B-602.6	3	B	\$2,800
2. Provide pedestrian protection	11B-602.9	3	B	

K2. South Portion - Stage Level East Unisex Restroom and Dressing Room



	Code Ref.	Priority	Strategy	Budget
1. Replace door & wall signage	11B-703.7.2.6.3	3	A	\$6,800
2. Relocate toilet	11B-604.2	3	B	
3. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
4. Relocate toilet paper dispenser	11B-604.7	3	B	
5. Relocate towel ring, towel bar and coat hook	11B-308.1.1	3	B	
6. Shower Compartments: Providing 30" wide by 60" deep minimum shower compartment with a full open width on the long side	N/A	4	D	
7. Dressing Room: Relocate coat hooks	11B-308.1.1	3	B	
8. Dressing Room: Relocate light switches	11B-308.1.1	3	B	

L2.

South Portion - Stage Level West Unisex Restroom and Dressing Room



	Code Ref.	Priority	Strategy	Budget
1. Replace door & wall signage	11B-703.7.2.6.3	3	A	\$5,500
2. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
3. Relocate toilet paper dispenser	11B-604.7	3	B	
4. Relocate towel ring, towel bar and coat hook	11B-308.1.1	3	B	
5. Shower Compartments: Providing 30" wide by 60" deep minimum shower compartment with a full open width on the long side	N/A	4	D	
6. Dressing Room: Relocate coat hooks	11B-308.1.1	3	B	
7. Dressing Room: Relocate light switches	11B-308.1.1	3	B	

M2. South Portion - Chorus Level Men's Restroom and Dressing Room





	Code Ref.	Priority	Strategy	Budget
1. Relocate toilet	11B-604.2	3	B	\$4,400
2. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
3. Relocate toilet paper dispenser	11B-604.7	3	B	
4. Shower Compartments: Providing 30" wide by 60" deep minimum shower compartment with a full open width on the long side	N/A	4	D	
5. Dressing Room: Relocate light switch & receptacle	11B-308.1.1	3	B	

N2.

South Portion - Chorus Level Women's Restroom and Dressing Room



	Code Ref.	Priority	Strategy	Budget
1. Relocate toilet	11B-604.2	3	B	\$4,600
2. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
3. Relocate toilet paper dispenser	11B-604.7	3	B	
4. Shower Compartments: Providing 30" wide by 60" deep minimum shower compartment with a full open width on the long side	N/A	4	D	
5. Relocate mirror	11B-603.3	3	B	
6. Dressing Room: Relocate light switch & receptacle	11B-308.1.1	3	B	

<p>O2. <i>South Portion - Chorus Level Ramp</i></p>				
<p>1. Extend one handrail at bottom of ramp</p>	<p>Code Ref. N/A</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$2,000</p>
<p>P2. <i>South Portion - Chorus Level Interior and Exterior Doors</i></p>				
<p>1. Adjust door closers (8)</p>	<p>Code Ref. N/A</p>	<p>Priority 3</p>	<p>Strategy A</p>	<p>Budget \$4,000</p>
<p>Q2. <i>South Portion - Conductor's Level Men's Restroom</i></p>				
<p>1. Provide door signage</p>	<p>Code Ref. 11B-703.7.2.6.3</p>	<p>Priority 3</p>	<p>Strategy A</p>	<p>Budget \$2,600</p>
<p>2. Grab Bars: Relocate the rear grab bar</p>	<p>Code Ref. 11B-604.5.2</p>	<p>Priority 3</p>	<p>Strategy B</p>	
<p>3. Relocate toilet paper dispenser</p>	<p>Code Ref. 11B-604.7</p>	<p>Priority 3</p>	<p>Strategy B</p>	

R2. South Portion - Conductor's Level Women's Restroom







	Code Ref.	Priority	Strategy	Budget
1. Replace door & wall signage	11B-703.7.2.6.3	3	A	\$2,600
2. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
3. Relocate toilet paper dispenser	11B-604.7	3	B	
4. Insulate the supply and drain lines under the lavatory	11B-606.5	3	B	



S2. South Portion - Conductor's Level Women's Restroom



	Code Ref.	Priority	Strategy	Budget
1. Replace door & wall signage	11B-703.7.2.6.3	3	A	\$5,900
2. Relocate toilet	11B-604.2	3	B	
3. Grab Bars: Relocate the rear grab bar	11B-604.5.2	3	B	
4. Relocate toilet paper dispenser	11B-604.7	3	B	
5. Shower Compartments: Providing 30" wide by 60" deep minimum shower compartment with a full open width on the long side	N/A	4	D	N/A

<p>T2. <i>South Portion - Conductor's Level Interior and Exterior Doors</i></p>				
	Code Ref.	Priority	Strategy	Budget
1. Adjust door closers (8)	N/A	3	A	\$4,500
2. Move door sweeps to pull side of rehearsal room doors.	N/A	3	B	
<p>U2. <i>South Portion - West Stairway</i></p> 				
	Code Ref.	Priority	Strategy	Budget
1. Add contrasting nosing stripe at the top flight, bottom tread.	11B-504.4.1	3	B	\$5,800
2. Adjust door closer at the door at the top of the stairway	N/A	3	A	
3. Modify the outside handrail at the 1st, 2nd and 4th flight from the bottom	11B-505.10.3	3	B	
<p>V2. <i>South Portion - Elevator - see elevator check list. Back Stage</i></p> 				
	Code Ref.	Priority	Strategy	Budget
1. Repair or replace hall lanterns to function	11B-407.2.2.1	3	B	\$15,000
2. Repair or replace visible signals to function	11B-407.2.2	3	B	
3. Replace door jamb signs	11B-407.2.2	3	B	
4. Reprogram doors to remain open for 20 seconds min.	11B-407.3.3.1	3	B	
5. Replace car control panel to indicate main entry floor designated by raised star	11B-407.4.7.1.3	3	B	



<p>W2. <i>East Cottage 17 - North Side Exterior Concrete Ramps</i></p>					
		Code Ref.	Priority	Strategy	Budget
	1. Provide handrails on both sides of ramp	11B-505	3	B	\$6,100
	2. Provide edge protections	11B-405.9	3	B	
3. Correcting the size of the bottom landing and providing a landing at the top of the east ramp	N/A	4	D	N/A	
<p>X2. <i>East Cottage 17 - Exterior Concrete Stair at the East End of the Ramp</i></p>					
		Code Ref.	Priority	Strategy	Budget
	1. Provide handrails on both sides of stair	11B-505	3	B	\$3,600
	2. Correcting the slope of the landing at the top of the stair	N/A	4	D	N/A



<p>Y2. East Cottage 17 - South Side Exterior Stone Ramp</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide handrails on both sides of ramp</p>	11B-505	3	B	\$6,100
<p>2. Provide 4" max. openings at the top guardrail</p>	1015	3	B	
<p>3. Correcting the slope of the ramp</p>	N/A	4	D	N/A
<p>Z2. East Cottage 17 - South Side Exterior Stone Stair</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Modify one handrail at the top of the stair</p>	11B-505.10.2	3	B	\$4,600
<p>2. Provide handrail extensions at the bottom of the stair</p>	11B-505.10.3	3	B	
<p>3. Correcting the slope of the landings at the top & bottom of the stair</p>	N/A	4	D	N/A

A3. East Cottage 17 - Accessible Restroom



	Code Ref.	Priority	Strategy	Budget
1. Replace door & wall signage	11B-703.7.2.6.3	3	A	\$5,800
2. Adjust door closers	N/A	3	A	
3. Correct the height of the threshold	N/A	4	D	
4. Relocate toilet	11B-604.2	3	B	
5. Grab Bars: Relocate the side grab bar	11B-604.5.2	3	B	
6. Relocate toilet paper dispenser	11B-604.7	3	B	
7. Relocate seat cover dispenser	11B-603.5	3	B	
8. Remove shelf & cabinet	N/A	1	A	

<p>B3. <i>East Cottage 17 - West Side Employee Area</i></p>																																																					
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	Code Ref.	Priority	Strategy	Budget																																																	
1. Entry door: Adjust door closer	N/A	3	A	\$2,700																																																	
2. Entry door: Providing a clear width of 32 inches min at door	N/A	4	D																																																		
3. Entry door: Correct the height of the threshold	N/A	4	D																																																		
4. Exterior South Exit Door: Provide handrails at landing step	11B-505	3	B	N/A																																																	
5. Exterior South Exit Door: Correct the length of the exterior landing	N/A	4	D																																																		
	Code Ref.	Priority	Strategy	Budget																																																	
1. Interior Office Doors: Provide lever hardware	N/A	3	B	\$1,700																																																	
2. Interior Office Doors: Modify or replace the doors to provide a smooth surface on the push side extending the full width of the door.	11B-404.2.10	3	B																																																		
3. Interior Office Doors: Replace the double leaf door so that one of the leaves provides a min of 32" clear	11B-404.2.2	3	B																																																		
4. Interior Office Doors: Replace one office door so that it provides a min of 32" clear	11B-404.2.3	3	B																																																		
<p>C3. <i>East Cottage 17 - East Side Employee Area</i></p>																																																					

<p>D3. <i>West Cottage 18 - Path of Travel to Primary Entry from Accessible Parking</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Correct the running slope of the path</p>	N/A	4	D	N/A
<p>2. Replace steel grating</p>	11B-302.3	3	B	\$500
<p>E3. <i>West Cottage 18 - North Exterior Stone Stair</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Add contrasting nosing stripes</p>	11B-504.4.1	3	B	\$2,300
<p>2. Add handrail extensions at bottom of stair</p>	11B-505.10.3	3	B	
<p>3. Correcting the riser heights and landing depth at the top of the stair</p>	N/A	4	D	N/A
<p>F3. <i>West Cottage 18 - Primary Entry</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Modify or replace the door so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door</p>	11B-404.2.10	3	B	\$1,000

G3. West Cottage 18 - Accessible Restroom



	Code Ref.	Priority	Strategy	Budget
1. Replace door & wall signage	11B-703.7.2.6.3	3	A	\$5,800
2. Modify or replace the door so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door	11B-404.2.10	3	B	
3. Relocate toilet	11B-604.2	3	B	
4. Grab Bars: Provide a 36" long min. rear grab bar	N/A	4		
5. Relocate toilet paper dispenser	11B-604.7	3	B	
6. Relocate mirror	11B-603.3	3	B	
7. Relocate light switch	11B-308.1.1	3	B	

H3. West Cottage 18 - Exterior North Exit Door



	Code Ref.	Priority	Strategy	Budget
1. Provide lever hardware	11B-404.2.7	3	B	\$500
2. Correct the height of the threshold	N/A	4	D	N/A

<i>I3. West Cottage 18 - Interior Doors</i>				
	Code Ref.	Priority	Strategy	Budget
1. Modify or replace the door so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door (5)	11B-404.2.10	3	B	\$5,500
2. Provide lever hardware at south restroom door	11B-404.2.7	3	B	
<i>J3. West Cottage 18 - Interior Bench</i>				
	Code Ref.	Priority	Strategy	Budget
1. Replace or remove bench	11B-903	3	B	\$500



Vista Lobos Complex


3rd Avenue between Torres Street and Junipero Street
Carmel-by-the-Sea, California 93923



R.O.M. Cost Evaluation:

Site, Path of Travel:	\$132,000
Site, Parking:	\$56,000
Interiors, Toilet Rooms & Drinking Fountains:	\$2,700
Interiors, Other:	<u>\$15,600</u>
Total:	\$206,300



Site



<p>A. <i>Path of Travel from Public Sidewalk to Primary Entrance is not provided.</i></p>	
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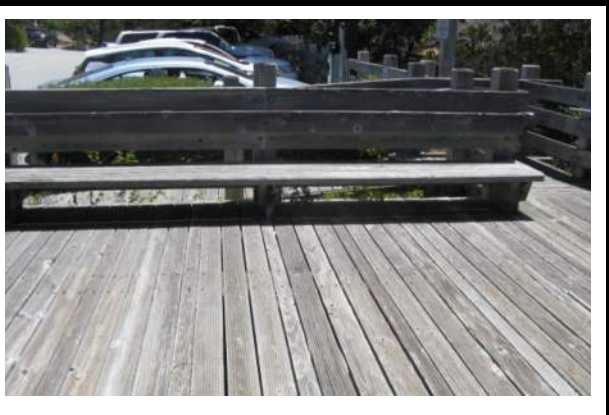
	Code Ref.	Priority	Strategy	Budget
1. Provide an accessible route from the public sidewalk to the primary entrance	N/A	4	D	N/A



<p>B. <i>Accessible Parking Space:</i></p>	
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	Code Ref.	Priority	Strategy	Budget
1. Provide standard accessible and van accessible parking spaces and aisle with max surface slope of 1:48 in any direction near wood deck with markings, signage and striped path to deck	11B-502.4 & 11B-502.6	3	D	\$56,000
2. Provide accessible parking space & aisle near Torres St. with max surface slope of 1:48 in any direction	11B-502.4	3	D	
3. Provide accessible path to Torres St.	N/A	3	D	
4. Identification signage, Van Accessible, Minimum Fine & Tow Away signs	11B-502.6 11B502.8	3	D	

<p>C. <i>Electrical vehicle charging station</i></p>				
<p>1. Make charging stations accessible and provide and accessible path to them</p>	Code Ref. N/A	Priority 4	Strategy D	Budget N/A
<p>D. <i>Exterior East Wood Stair</i></p>				
<p>1. Contrasting nosing stripes</p>	Code Ref. 11B-504.4.1	Priority 3	Strategy B	Budget \$2,900
<p>2. Provide handrails on both sides of the stair</p>	Code Ref. 11B-505	Priority 3	Strategy B	

<p>E. Exterior North Wood Stairway to Junipero Ave.</p>				
	Code Ref.	Priority	Strategy	Budget
1. Provide riser closer panels	11B-504.3	3	B	\$40,800
2. Contrasting nosing stripes	11B-504.4.1	3	B	
3. Modify or replace handrails	11B-505	3	B	
4. Modify guardrails at the open sides of the stairway and intermediate landing	1015	3	B	
5. Correcting the slope of the landings at the top and bottom of the stair	N/A	4	D	N/A
<p>F. Exterior South Wood Stairway to Junipero Ave.</p>				
	Code Ref.	Priority	Strategy	Budget
1. Provide riser closer panels	11B-504.3	3	B	\$40,800
2. Contrasting nosing stripes	11B-504.4.1	3	B	
3. Modify or replace handrails	11B-505	3	B	
4. Modify guardrails at the open sides of the stairway and intermediate landing	1015	3	B	
5. Correcting the slope of the landing at the bottom of the stair	N/A	4	D	N/A

<p>G. <i>Exterior Wood Stair to Observation Deck</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Contrasting nosing stripes</p>	11B-504.4.1	3	B	\$2,500
<p>2. Provide handrails</p>	11B-505	3	B	
<p>3. Correcting the landing depth at the bottom of the stair</p>	N/A	4	D	N/A
<p>H. <i>Bench at Observation Deck</i></p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide a 48" long minimum section of bench that provides minimum seat & back support</p>	11B-903	3	B	\$1,000

<p>I. <i>Guardrail at Observation Deck</i></p>				
<p>1. Modify guardrail</p>	<p>Code Ref. 1015</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$36,000</p>
<p>J. <i>Wood Ramp to Observation Deck</i></p>				
<p>1. Modify or replace handrails</p>	<p>Code Ref. 11B-505</p>	<p>Priority 3</p>	<p>Strategy B</p>	<p>Budget \$8,000</p>
<p>2. Provide edge protection at the bottom run of the ramp</p>	<p>Code Ref. 11B-405.9</p>	<p>Priority 1</p>	<p>Strategy B</p>	
<p>3. Correcting the size of the intermediate landing is an undue burden</p>	<p>Code Ref. N/A</p>	<p>Priority 4</p>	<p>Strategy D</p>	<p>Budget N/A</p>

Building

K. Accessible Restroom





	Code Ref.	Priority	Strategy	Budget
1. Signage	11B-703.7.2.6.3	3	A	\$2,700
2. Relocate coat hook	11B-308	3	B	
3. Toilet: Providing 60" minimum by 56" minimum clearance around the toilet	N/A	4	D	
4. Grab Bars: Relocate the sidewall grab bar	11B-604.5.2	3	B	
5. Toilet Paper Dispenser: Relocate	11B-604.7	3	B	
6. Lavatory: Insulate the supply and drain lines under the lavatory	11B-606.5	1	A	
7. Accessories: Relocate soap dispenser, seat cover dispenser	11B-603.5	3	B	

L. Doors at Restroom Vestibule



	Code Ref.	Priority	Strategy	Budget
1. Reverse the swing of the door to swing into the multipurpose room	N/A	3	B	\$500

<p>M. Kitchen Sink Counter</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide accessible counter at +34" max AFF at sink</p>	11B-606	3	B	\$4,600
<p>2. Provide a 30" minimum work surface adjacent to the sink at +34" max AFF</p>	11B-902	3	B	
<p>N. Pass Through Counter</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Provide accessible counter at +34" max AFF</p>	11B-904.4.1	3	B	\$7,500
<p>2. Reconfigure counter so that it does not extend into the circulation space more than 4" or provide a structure below the counter so it does not protrude into the circulation space</p>	11B-204	3	B	
<p>O. Multipurpose Room Exterior Doors (2)</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Doors: Modify or replace the doors to provide a smooth surface on the push side extending the full width of the door.</p>	11B-404.2.10	3	B	\$2,000
<p>P. Multipurpose Room Switches (2)</p>				
	Code Ref.	Priority	Strategy	Budget
<p>1. Relocate switches</p>	11B-308	3	B	\$1,000



William M. Holl, AIA
Architect • CASp • Contractor

RECEIVED
MAY 09 2018
KASAVAN ARCHITECTS

TRANSMITTAL

May 5, 2018

To/Attention

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

Re: CASp Inspection and Report, Existing Administration Building, City Hall, Monte Verde Street between Ocean Avenue & 7th Avenue, Carmel-by-the-Sea, California.

Transmitting herewith the following:

Two (2) copies of the CASp Report dated April 27, 2018.
One (1) copy Notice to Private Property Owner/Tenant
One (1) original Disability Access Inspection Certificate
One (1) laminated copy Disability Access Inspection Certificate

William M. Holl, AIA, CASp 509
110 Baja Sol Court
Scotts Valley, CA 95066
bill@wmholl.com
831-345-5395 phone
831-438-3762 fax
wmholl.com

NOTICE TO PRIVATE PROPERTY OWNER/TENANT:

YOU ARE ADVISED TO KEEP IN YOUR RECORDS ANY WRITTEN INSPECTION REPORT AND ANY OTHER DOCUMENTATION CONCERNING YOUR PROPERTY SITE THAT IS GIVEN TO YOU BY A CERTIFIED ACCESS SPECIALIST.

IF YOU BECOME A DEFENDANT IN A LAWSUIT THAT INCLUDES A CLAIM CONCERNING A SITE INSPECTED BY A CERTIFIED ACCESS SPECIALIST, YOU MAY BE ENTITLED TO A STAY (TEMPORARY STOPPAGE) OF THE CLAIM AND AN EARLY EVALUATION CONFERENCE.

IN ORDER TO REQUEST THE STAY AND EARLY EVALUATION CONFERENCE, YOU WILL NEED TO VERIFY THAT A CERTIFIED ACCESS SPECIALIST HAS INSPECTED THE SITE THAT IS THE SUBJECT OF THE CLAIM. YOU WILL ALSO BE REQUIRED TO PROVIDE THE COURT AND THE PLAINTIFF WITH THE COPY OF A WRITTEN INSPECTION REPORT BY THE CERTIFIED ACCESS SPECIALIST, AS SET FORTH IN CIVIL CODE SECTION 55.54. THE APPLICATION FORM AND INFORMATION ON HOW TO REQUEST A STAY AND EARLY EVALUATION CONFERENCE MAY BE OBTAINED AT <http://www.courtinfo.ca.gov/selfhelp/>.

YOU ARE ENTITLED TO REQUEST, FROM A CERTIFIED ACCESS SPECIALIST WHO HAS CONDUCTED AN INSPECTION OF YOUR PROPERTY, A WRITTEN INSPECTION REPORT AND OTHER DOCUMENTATION AS SET FORTH IN CIVIL CODE SECTION 55.53. YOU ARE ALSO ENTITLED TO REQUEST THE ISSUANCE OF A DISABILITY ACCESS INSPECTION CERTIFICATE, WHICH YOU MAY POST ON YOUR PROPERTY.



All or part of this facility located at

MONTE VERDE ST. BETWEEN OCEAN AVE. & 7TH AVE.,
CARMEL-BY-THE-SEA, CALIF. APN: 010-191-006

has been inspected by a Certified Access Specialist (CASp).

ACCESS INSPECTED

THIS CERTIFICATE DOES NOT IMPLY THAT THIS FACILITY MEETS DESIGN AND CONSTRUCTION REQUIREMENTS FOR ACCESSIBILITY FOR INDIVIDUALS WITH DISABILITIES.

Inspection Date: 4-10-18

CASp Signature: *William M. Holl*

CASp Certificate #: 509

CASp Name: WILLIAM M. HOLL
(Please Print)

Inspection Certificate #: 28417





William M. Holl, AIA
Architect • CASp • Contractor

April 27, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: CASp INSPECTION AND REPORT
Existing Administration Building, City Hall, Monte Verde Street
between Ocean Avenue & 7th Avenue, Carmel-by-the-Sea, California
Inspection Date: April 10, 2018.
APN: 010-191-006

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site accessible parking, signage, and paths of travel and the building counters, sinks, sanitary facilities, drinking fountains, and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CASp) 509
110 Baja Sol Court
Scotts Valley, CA 95066
bill@wmholl.com
831.345.5395 phone
831.438.3762 fax
wmholl.com

Distribution: Addressee (2 Hard Copies: Electronic Copy)

1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 207 was issued by the City of Carmel-by-the-Sea for construction of the building as an Episcopal Church in 1921.

Building Permit No. 4343 was issued by the City of Carmel-by-the-Sea for an addition to an existing office in 1965.

Building Permit No. 72-173 was issued by the City of Carmel-by-the-Sea to add a storage area in 1972.

Building Permit No. 73-107 was issued by the City of Carmel-by-the-Sea for a remodel in 1973.

Building Permit No. 77-148 was issued by the City of Carmel-by-the-Sea for a remodel in 1977.

Building Permit No. 85-14 was issued by the City of Carmel-by-the-Sea for an addition and remodel in 1985. Basement conference room, rest room, first floor offices and council chambers.

Building Permit No. 89-190 was issued by the City of Carmel-by-the-Sea for a remodel in 1989. Remove section of partition in planning department.

2.0 DESCRIPTION OF THE FACILITIES

The building is two stories with three accessible restrooms and one accessible parking space. One of the accessible restrooms is located at the basement level, which is not accessible to persons in a wheelchair.

In 2006 the building was designated a Historical Resource by the City of Carmel-by-the-Sea.

The applicable construction-related accessibility standards that apply are the California 1984 Disabled Access Regulations Interpretive Manual for the building permit issued in 1985; the 1989 California Accessibility Standards Interpretive Manual for the permit issued in 1989; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance: An accessible route from the public sidewalk to the primary entrance is not provided.

B. Accessible Parking Space: See Photograph 1.

The parking space and access aisle are not 18'-0" long minimum.

Ground surface slopes are greater than 1:48 (2.08%).

Ground surface slopes at the access aisle are greater than 1:48 (2.08%).

The access aisle is not marked with a blue painted border around the perimeter.

The hatched lines at the access aisle are not 36" on center maximum.

The words "NO PARKING" are not painted within the access aisle.

The lower corner of the International Symbol of Accessibility painted on the parking space is not at the end of the parking space length.

The parking space is not van accessible.

The identification sign is not 60" minimum above the ground measured to the bottom of the sign.

An additional sign below the identification sign that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

C. Exterior Concrete Ramp on the North Side of the Stairway from the Public Sidewalk:

The handrail extensions at the bottom of the ramp are not horizontal. See Photographs 2 & 3.

The bottom landing of the section of ramp that connects to the primary entrance landing is not 72" in the direction of the ramp run. See Photograph 4.

The slope of the section of ramp that connects to the primary entrance landing is not 1:12 (8.33%) maximum. See Photograph 5.

D. Exterior Concrete Bench: The top of the bench surface is not 19" maximum above the ground. See Photograph 6.

E. Exterior Concrete Stairway:

Contrasting stripes are not 1" maximum from the nose of the steps or upper approach.

The top of the handrail-gripping surface of a portion of the south handrail is not 34" minimum above the stair nosings. See photograph 7.

Horizontal handrail extensions at the bottom of the stairway are not provided. See photograph 8.

The south handrail extension at the bottom of the upper flight is not 38" maximum above the ground. See Photograph 9.

The handrail extensions at the top of the upper flight are not 34" minimum above the ground. See Photographs 10 & 11.

Risers at the upper flight are not 7" high maximum.

The landing at the top of the stairway is not 48" deep minimum.

- F. Exterior Wood Stair at the Northeast Corner of the Building: See Photograph 12.

Handrails are not provided.

Contrasting stripes are not 2" wide minimum.

The door opening onto the top landing reduces the landing to less than one-half the required width.

The slope of the landing at the bottom and of the stair is not 1:48 (2.08%), maximum.

- G. Exterior Concrete Stair at the Southeast Corner of the Building: See Photograph 13.

The width of the stair is not 44" minimum.

Contrasting stripes are not 2" wide minimum.

Handrails are not provided on both sides of the stair.

The handrail-gripping surface does not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

Handrail extensions are not 34" minimum above the ground.

- H. The walking surface on the east side of the building is not 48" wide minimum. See Photograph 14.

- I. Path of Travel from Public Sidewalk to Basement Level Entrance: An accessible route from the public sidewalk to the basement level entrance is not provided.

Building

- J. Primary Lobby Entrance: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. The dead bolt is not located 44" maximum above the floor. Opening force is greater than 5 lbs. and closing time is less than 5 seconds for each leaf. See Photograph 15.
- K. Main Level North Restroom: See Photographs 16 & 17.

Entry Door: A geometric symbol is not provided on the exterior of the door. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. 48" minimum maneuvering clearance perpendicular to the push side of the door is not provided. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.

Toilet: 60" minimum by 56" minimum clearance around the toilet is not provided.

Grab Bars: The rear grab bar does not extent from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Lavatory: The centerline of the lavatory is not 18" minimum from the sidewall.

Cabinet: The cabinet mounted on the south wall does not protrude 4" maximum into the circulation path.

Soap Dispenser: Operable part is not 40" maximum from the floor.

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Paper Towel Dispenser: Operable part is not 40" maximum above the floor.

Coat Hook: Not located 48" maximum above the floor.

Switch: Not located 48" maximum to the top of the outlet box.

- L. Main Level South Restroom: See Photographs 18 & 19.

Entry Door: A geometric symbol is not provided on the exterior of the door. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.

Toilet: 60" minimum by 56" minimum clearance around the toilet is not provided.

Grab Bars: The rear grab bar does not extent from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Lavatory: The centerline of the lavatory is not 18" minimum from the sidewall.

Cabinet: The cabinet mounted on the north wall does not protrude 4" maximum into the circulation path.

Soap Dispenser: Operable part is not 40" maximum from the floor.

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Coat Hook: Not located 48" maximum above the floor.

Switch: Not located 48" maximum to the top of the outlet box.

M. Drinking Fountain: See Photograph 20.

The spout does not provide a flow of water 4" high minimum.

The drinking fountain is not 18" minimum and 19" maximum in depth.

A drinking fountain for a standing person is not provided.

N. Building Department Reception Counter: A portion of the counter surface that is 36" long minimum and 34" high maximum above the floor is not provided.

O. Interior Ramp: See Photograph 21.

Handrail gripping surfaces do not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

Handrail extensions at the bottom of the ramp are not provided.

The landing at the top of the ramp is not 60" deep minimum.

P. Interior Door to Building Department from Lobby: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.

Q. Building Department Sink Counter: The counter surface is not 34" maximum above the floor. Knee and toe clearance under the sink is not provided. Lever faucets are not provided. See Photograph 22.

Paper Towel Dispenser: Operable part is not 40" maximum above the floor.

R. Interior Stair to Southeast Exit: See Photograph 23.

Handrail gripping surfaces do not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

A minimum 2" wide to a maximum 4" wide contrasting stripe at the lower tread and upper approach are not provided.

Only one handrail extension at the top of the stair is provided.

The tops of the handrail extensions gripping surfaces are not 34" minimum and 38" maximum above the stair floor.

- S. Southeast Exit Door: The threshold is not ½" high maximum. The opening force is greater than 5 pounds and the closing speed is less than 5 seconds. The ground surface slopes at the required maneuvering clearance at the exterior of the door are greater than 1:48 (2.08%).
- T. Interior Door from Building Department to Council Chamber: The opening force is greater than 5 pounds and the closing speed is less than 5 seconds. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.
- U. Interior Door to Administration Department from Lobby: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. Opening force is greater than 5 lbs. and closing time is less than 5 seconds. 12" minimum maneuvering clearance on the strike/push side of the door is not provided.
- V. Administration Department Interior Office Doors: One door does not provide lever hardware and two doors do not provide a clear width of 32 inches minimum.
- W. Administration Department Sink Counter: The counter surface is not 34" maximum above the floor. Knee and toe clearance under the sink is not provided. Lever faucets are not provided. See Photograph 24.

Paper Towel Dispenser: Operable part is not 40" maximum above the floor.

Soap Towel Dispenser: Operable part is not 40" maximum above the floor.

Hand Sanitizer Dispenser: Operable part is not 40" maximum above the floor.

- X. Administration Department Reception Counter: A portion of the counter surface that is 36" long minimum and 34" high maximum above the floor is not provided. See Photograph 25.
- Y. Northeast Exit Door: The threshold is not ½" high maximum. The opening force is greater than 5 pounds and the closing speed is less than 5 seconds. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided. The switch next to the door is not located 48" maximum to the top of the outlet box.
- Z. Interior Door to Council Chamber from Lobby: The opening force is greater than 5 pounds and the closing speed is less than 5 seconds. The switch next to the door is not located 48" maximum to the top of the outlet box.

A sign that states "Assistive-Listening System Available" with the international symbol of Access for Hearing Loss is not provided next to the door.

Hand Sanitizer Dispenser: Operable part is not 40" maximum above the floor.

- AA. West Exit Doors from Council Chamber: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. The dead bolt is not located 44" maximum above the floor. The threshold is not 1/2" high maximum. The opening force is greater than 5 pounds and the closing speed is less than 5 seconds for both leaves. The exterior landing is not 60" deep minimum.
- BB. Council Dais: Handrails and a contrasting stripe are not provided at the stair. See Photographs 26 & 27.
- CC. Stairs from Administration Department to Basement: Contrasting stripes are not the full width of the stair and are not 1" maximum from the nose of the lower steps or upper approaches.

Handrail gripping surfaces do not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

At the bottom of the stair, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

At the top of the stair the handrails do not extend horizontally above the landing 12" minimum.

- DD. Basement Level Restroom: See Photographs 28 & 29.

Entry Door: A geometric symbol is not provided on the exterior of the door. The threshold is not 1/2" high maximum. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.

Toilet: 60" minimum by 56" minimum clearance around the toilet is not provided. Flush control is not located on the open side of the toilet.

Grab Bars: The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Lavatory: The centerline of the lavatory is not 18" minimum from the sidewall. Knee clearance under the lavatory is not 29" minimum above the floor.

Cabinet: The cabinet mounted on the east wall does not protrude 4" maximum into the circulation path.

Soap Dispenser: Operable part is not 40" maximum from the floor.

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Coat Hook: Not located 48" maximum above the floor.

Mirror: The edge of the reflecting surface is not 40" maximum from the floor.

Switch: Not located 48" maximum to the top of the outlet box.

Receptacle: Not located 48" maximum to the top of the outlet box.

Shower: The shower is not accessible.

EE. Door to Basement Conference Room: The opening force is greater than 5 pounds and the closing speed is less than 5 seconds.

FF. Basement Conference Room Sink Counter: The counter surface is not 34" maximum above the floor. Knee and toe clearance under the sink is not provided. See Photograph 30.

Paper Towel Dispenser: Operable part is not 40" maximum above the floor.

GG. Door to Basement IT Room: A clear width of 32 inches minimum is not provided. The opening force is greater than 5 pounds and the closing speed is less than 5 seconds.

HH. Basement Exit Door: The threshold is not ½" high maximum. The opening force is greater than 5 pounds and the closing speed is less than 5 seconds. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

A. Path of Travel from Public Sidewalk to Primary Entrance: The only means of access between the public sidewalk and the primary entrance is a vehicular way not providing pedestrian access. Providing access is an undue burden.

B. Accessible Parking Space:

Remove existing asphalt paving at accessible parking space and access aisle, re-grade the base course and repave with asphalt concrete with surface slope not greater than 1:48 (2.08%), in any direction per CBC Section 11B-502.4.

Paint van accessible markings and international symbol of accessibility per CBC Sections 11B-502.1, 502.3 and 502.6.

Provide "Van Accessible" Identification sign per CBC Section 11B-502.6, "Minimum Fine" sign per CBC Section 11B-502.6, and "Tow Away" sign per CBC Section 11B-502.8.

- C. Exterior Concrete Ramp on the North Side of the Stairway from the Public Sidewalk:

The handrail extensions at the bottom of the ramp slope less than 1:48 (2.08%). Correction is not required because they provide substantially equivalent accessibility and usability per CBC Section 11B-103, Equivalent Facilitation.

Extend the bottom landing of the section of ramp that connects to the primary entrance landing 72" in the direction of the ramp run per CBC Section 11B-405.7.3.1.

Correction of the slope of the section of ramp that connects to the primary entrance landing is an undue burden.

- D. Exterior Concrete Bench: Modify or replace the bench to make the top of the bench surface 19" maximum above the ground per CBC Section 11B-903.

- E. Exterior Concrete Stairway:

Modify or replace contrasting stripes per CBC Section 11B-504.4.1.

Modify the south handrail per CBC Section 11B-505.4.

Modify the handrail extensions at the bottom of the stairway per CBC Section 11B-505.10.3.

Modify the south handrail extension at the bottom of the upper flight per CBC Section 11B-505.4.

Modify the handrail extensions at the top of the upper flight per CBC Section 11B-505.4.

Correcting the riser height and top landing depth at the upper flight is an undue burden.

- F. Exterior Wood Stair at the Northeast Corner of the Building: Provide handrails per CBC Section 11B-505. Provide contrasting stripes per CBC Section 11B-504.4.1. Correct the slope of the bottom landing per CBC Section 1011.7.1. Correcting the top landing width is an undue burden.
- G. Exterior Concrete Stair at the Southeast Corner of the Building: Replace the stair and handrail per CBC Sections 11B-504 & 505.
- H. Correcting the width of the walking surface on the east side of the building is an undue burden.

- I. Path of Travel from Public Sidewalk to Basement Level Entrance: Providing an accessible route from the public sidewalk to the basement level entrance is an undue burden.

Building

- J. Primary Lobby Entrance: Modify or replace the doors to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Relocate the dead bolt per CBC Section 11B-404.2.7. Adjust the door closers.

- K. Main Level North Restroom: See Photographs 16 & 17.

Entry Door: Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6.3. Modify or replace the door to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer. Correcting the maneuvering clearance on the push side of the door is an undue burden.

Toilet: Providing 60" minimum by 56" minimum clearance around the toilet is an undue burden.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Lavatory: Relocating the lavatory would decrease the clearance around the toilet.

Cabinet: Remove the cabinet mounted on the south wall.

Soap Dispenser: Relocate per CBC Section 11B-603.5.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Paper Towel Dispenser: Relocate per CBC Section 11B-603.5.

Coat Hook: Relocate per CBC Section 11B-308.

Switch: Relocate per CBC Section 11B-308.

- L. Main Level South Restroom: See Photographs 18 & 19.

Entry Door: Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6.3. Modify or replace the door to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer.

Toilet: Providing 60" minimum by 56" minimum clearance around the toilet is an undue burden.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Lavatory: Relocating the lavatory would decrease the clearance around the toilet.

Cabinet: Remove the cabinet mounted on the north wall.

Soap Dispenser: Relocate per CBC Section 11B-603.5.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Coat Hook: Relocate per CBC Section 11B-308.

Switch: Relocate per CBC Section 11B-308.

- M. Drinking Fountain: Replace per CBC Section 11B-602.
- N. Building Department Reception Counter: Modify the counter per CBC Section 11B-904.4.
- O. Interior Ramp: Replace handrails per CBC Section 11B-505. Correcting the depth of the landing at the top of the ramp is an undue burden.
- P. Interior Door to Building Department from Lobby: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer.
- Q. Building Department Sink Counter: Replace the sink counter per CBC Section 11B-606.
- R. Interior Stair to Southeast Exit: Replace handrails per CBC Section 11B-505. Provide contrasting stripes per CBC Section 11B-504.4.1.
- S. Southeast Exit Door: Adjust the door closer. Correcting the threshold height and slopes at the exterior landing is an undue burden.
- T. Interior Door from Building Department to Council Chamber: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer.
- U. Interior Door to Administration Department from Lobby: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer. Correcting the maneuvering clearance on the strike/push side of the door is an undue burden.
- V. Administration Department Interior Office Doors: Provide lever hardware per CBC Section 11B-404.2.7, and a clear width of 32 inches minimum per CBC Section 11B-404.2.3.
- W. Administration Department Sink Counter: Replace the sink counter per CBC Section 11B-606.

Paper Towel Dispenser: Relocate per CBC Section 11B-603.5.

Soap Towel Dispenser: Relocate per CBC Section 11B-603.5.

Hand Sanitizer Dispenser: Relocate per CBC Section 11B-603.5.

- X. Administration Department Reception Counter: Modify the counter per CBC Section 11B-904.4.
- Y. Northeast Exit Door: Adjust door closer. Relocate switch per CBC Section 11B-308. Correcting the threshold height and maneuvering clearance at the exterior landing is an undue burden.
- Z. Interior Door to Council Chamber from Lobby: Adjust door closer. Relocate switch per CBC Section 11B-308.

Provide a sign that states "Assistive-Listening System Available" with the international symbol of Access for Hearing Loss is next to the door per CBC Section 11B-216.10.

Hand Sanitizer Dispenser: Relocate per CBC Section 11B-603.5.

- AA. West Exit Doors from Council Chamber: Modify or replace the doors to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Relocate the dead bolt per CBC Section 11B-404.2.7. Adjust the door closers. Correcting the threshold height and exterior landing depth is an undue burden.
- BB. Council Dais: Provide handrails per CBC Section 11B-505, and a contrasting stripe per CBC Section 11B-504.4.1.
- CC. Stairs from Administration Department to Basement: Replace handrails per CBC Section 11B-505, and contrasting stripes per CBC Section 11B-504.4.1.
- DD. Basement Level Restroom:

Entry Door: Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6.3. Replace the threshold per CBC Section 11B-404.2.5. Adjust the door closer.

Toilet: Replace the toilet with the flush control on the open side per CBC Section 11B-604.6. Providing 60" minimum by 56" minimum clearance around the toilet is an undue burden.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Lavatory: Provide knee clearance per CBC Section 11B-306.3. Relocating the lavatory horizontally would decrease the clearance around the toilet.

Cabinet: Remove the cabinet mounted on the east wall.

Soap Dispenser: Relocate per CBC Section 11B-603.5.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Coat Hook: Relocate per CBC Section 11B-308.

Switch: Relocate per CBC Section 11B-308.

Receptacle: Relocate per CBC Section 11B-308.

Mirror: Relocate per CBC Section 11B-603.3.

Shower: Making the shower accessible is an undue burden.

- EE. Door to Basement Conference Room: Adjust the door closer.
- FF. Basement Conference Room Sink Counter: The sink counter is not required to be accessible. The basement level is not accessible to persons in a wheelchair and providing access is an undue burden.
- GG. Door to Basement IT Room: Adjust the door closer. A clear width of 32 inches minimum is not required. The basement level is not accessible to persons in a wheelchair and providing access is an undue burden.
- HH. Basement Exit Door: Adjust the door closer. Correcting the threshold height and maneuvering clearance at the exterior landing is an undue burden.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



Photograph 16



Photograph 17



Photograph 18



Photograph 19



Photograph 20



Photograph 21



Photograph 22



Photograph 23



Photograph 24



Photograph 25



Photograph 26



Photograph 27



Photograph 28



Photograph 29



Photograph 30



William M. Holl, AIA
Architect • CASp • Contractor

August 21, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CASp INSPECTION AND REPORT**
Existing Restroom Building, Del Mar Avenue at Ocean Avenue, Carmel-
by-the-Sea, California. Inspection Date: July 6, 2018.
APN: 010-321-007

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site accessible parking, signage, drinking fountain and paths of travel and the building sanitary facilities and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CASp) 509
110 Baja Sol Court
Scotts Valley, CA 95066
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wmholl.com

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1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 71-140 was issued by the City of Carmel-by-the-Sea to build public restrooms in 1971.

Building Permit No. 91-111 was issued by the City of Carmel-by-the-Sea for a public restroom remodel in 1991.

2.0 DESCRIPTION OF THE FACILITIES

The restroom building is one story with two accessible restrooms. There are four accessible parking spaces in the public parking lot adjacent to the restrooms.

The applicable construction-related accessibility standards that apply are the 1989 California Accessibility Standards Interpretive Manual for the building permit issued in 1991; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Restroom Entrances: See Photographs 1, 2 & 3.
 - 1. There are two concrete walks from the public sidewalk to the restroom building and the running slopes of both are not 1:20 (5%), maximum. However, the east route is only steeper than 5% near the drinking fountain.
- B. Path of Travel from Accessible Parking Spaces to Public Sidewalk: See Photographs 4 & 5.
 - 1. The running slope of the concrete paver walk is not 1:20 (5%), maximum.
 - 2. The cross slope of the concrete paver walk is not 1:48 (2.08%), maximum.
 - 3. The concrete paver walk crosses and adjoins a vehicular way. Detectable warnings are not provided between the pedestrian areas and vehicular areas.
- C. Accessible Parking Spaces: See Photographs 6 & 7.
 - 1. Detectable warnings are not provided at the boundaries between the concrete paver walk, and the accessible parking spaces.
 - 2. Ground surface slopes are greater than 1:48 (2.08%) at all four parking spaces and access aisles.
 - 3. Parking space identification signs with an additional sign below that states "Minimum Fine \$250" are not provided at each parking space.

4. The northwest parking space is not identified as van accessible.
 5. The words "NO PARKING" are not painted within the access aisles.
 6. Wheel stops are not provided where the parking spaces adjoin the accessible route.
 7. A "TOW AWAY" sign is not provided.
- D. Drinking Fountain: See Photograph 8.
1. The drinking fountain is not located within an alcove, between wing walls, or otherwise positioned so as not to encroach into pedestrian ways.
 2. Ground surface slopes are greater than 1:48 (2.08%) at the required 30" x 48" clear ground space under the drinking fountain.
 3. A drinking fountain for a standing person is not provided.
- E. Benches at Women's Changing Area: See Photograph 9.
1. The seats are not 20" deep minimum and 24" deep maximum.

Restroom Building

- F. Women's Restroom: See Photographs 10, 11, 12 & 13.
1. Gender Identification Sign: Braille is not provided.
 2. Women's Changing Area Sign: Raised characters and braille are not provided.
 3. Entry Doorway: A geometric symbol is not provided next to the doorway.
 4. 180 Turn at Entry: A 48" minimum clear width is not provided at the turn.
 5. Turning Space: A turning space is not provided in the restroom.
 6. Toilet: The centerline of the toilet is not 17"-18" from the sidewall. The seat height is not 17" minimum and 19" maximum above the floor. 60" minimum by 56" minimum clearance around the toilet is not provided. A minimum 60" wide and 48" deep maneuvering space is not provided in front of the toilet.
 7. Grab Bars: The rear grab bar is not 36" long minimum. The front end of the sidewall grab bar is not 24" minimum in front of the toilet.
 8. Toilet Paper Dispenser: The dispenser is mounted on the wall opposite the toilet and it does not protrude into the circulation path 4" maximum.
 9. Sanitary Napkin Disposal: Operable part is not 40" maximum above the floor.

10. Toilet Compartment Door: Not self-closing. Pulls are not provided on both sides of the door. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided.
 11. Lavatory: Knee clearance under the lavatory is not 29" minimum above the floor and toe clearance does not extend 17" minimum under the lavatory.
- G. Men's Restroom: See Photographs 14, 15, 16, 17 & 18.
1. Gender Identification Sign: Braille is not provided.
 2. Entry Doorway: A geometric symbol is not provided next to the doorway.
 3. 180 Turn at Entry: A 48" minimum clear width is not provided at the turn.
 4. Toilet: The centerline of the toilet is not 17"-18" from the sidewall. 60" minimum by 56" minimum clearance around the toilet is not provided. A minimum 60" wide and 48" deep maneuvering space is not provided in front of the toilet.
 5. Grab Bars: The rear grab bar is not 36" long minimum.
 6. Toilet Paper Dispenser: The dispenser is mounted on the wall opposite the toilet and it does not protrude into the circulation path 4" maximum.
 7. Toilet Compartment Door: Not self-closing. Pulls are not provided on both sides of the door. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided. The coat hook is not located 48" maximum above the floor.
 8. Lavatory: The centerline of the lavatory is not 18" minimum from the sidewall. Knee clearance under the lavatory is not 29" minimum above the floor and toe clearance does not extend 17" minimum under the lavatory.
 9. Soap Dispenser: Operable part is not 40" maximum from the floor.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

- A. Path of Travel from Public Sidewalk to Restroom Entrances: See Photographs 1, 2 & 3.
 1. Provide an "Accessible Route" sign with a right arrow at the sidewalk at the bottom of the west concrete walk per CBC Section 216.3.
Provide edge protection and handrails where the running slope of the concrete walks exceeds 1:20 (5%), per CBC Sections 11B-405.9 & 11B-505. Providing ramp landings is an undue burden.

- B. Path of Travel from Accessible Parking Spaces to Public Sidewalk: See Photographs 4 & 5.
 1. Correcting the running slope of the concrete paver walk is an undue burden. Provide edge protection and handrails where the running slope of the concrete paver walk exceeds 1:20 (5%), per CBC Sections 11B-405.9 & 11B-505. Providing ramp landings is an undue burden.
 2. Correcting the cross slope of the concrete paver walk is an undue burden.
 3. The concrete paver walk crosses and adjoins a vehicular way. Provide detectable warnings between the pedestrian areas and vehicular areas per CBC Sections 11B-247.1.2.5.

- C. Accessible Parking Spaces: See Photographs 6 & 7.
 1. Provide detectable warnings at the boundaries between the concrete paver walk, and the accessible parking spaces per CBC Sections 11B-247.1.2.5.
 2. Remove existing asphalt paving at accessible parking spaces and access aisles, re-grade the base course and repave with asphalt concrete with surface slope not greater than 1:48 (2.08%), in any direction per CBC Section 11B-502.4.

Paint car and van accessible markings and international symbol of accessibility per CBC Sections 11B-502.1, 502.3 and 502.6.
 3. Provide Identification signs at each parking space per CBC Section 11B-502.6, with a "Minimum Fine" sign below per CBC Section 11B-502.6
 4. Provide a "Van Accessible" Identification sign per CBC Section 11B-502.6 at the northwest parking space.
 5. Paint access aisle markings per CBC Section 11B-502.3.3.
 6. Provide wheel stops where the parking spaces adjoin the accessible route per CBC Section 11B-502.7.2.

7. Provide a "Tow Away" sign per CBC Section 11B-502.8.

D. Drinking Fountain: See Photograph 8.

1, 2 & 3. Replace the drinking fountain with a hi-low drinking fountain with pedestrian protection and ground surface slopes under the drinking fountain per CBC Section 11B-602.

E. Benches at Women's Changing Area: See Photograph 9.

1. Provide a 48" long minimum section of bench per CBC Section 11B-903.

Restroom Building

F. Women's Restroom: See Photographs 10, 11, 12 & 13.

1. Gender Identification Sign: Provide braille per CBC Section 11B-703.2.

2. Women's Changing Area Sign: Provide raised characters and braille per CBC Section 11B-703.2.

3. Entry Doorway: Provide a geometric symbol next to the doorway per CBC Section 11B-703.7.2.6.

4. 180 Turn at Entry: Providing a 48" minimum clear width is an undue burden.

5. Turning Space: Providing a turning space in the restroom is an undue burden.

6. Toilet: Replace the toilet seat per CBC Section 11B-604.4. Relocating the toilet, providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet is an undue burden.

7. Grab Bars: Relocate the sidewall grab bar. The compartment is not wide enough for a 36" rear grab bar.

8. Toilet Paper Dispenser: Remove the dispenser mounted on the wall opposite the toilet per CBC Section 11B-307, and provide a dispenser under the sidewall grab bar per CBC Section 11B-604.9.6.

9. Sanitary Napkin Disposal: Relocate per CBC Section 11B-603.5.

10. Toilet Compartment Door: Provide self-closing hinges and pulls per CBC Section 11B-604.8.1.2. Providing 60" minimum maneuvering clearance perpendicular to the pull side of the door is an undue burden.

11. Lavatory: Replace the lavatory per CBC Section 11B-606.

- G. Men's Restroom: See Photographs 14, 15, 16, 17 & 18.
1. Gender Identification Sign: Provide braille per CBC Section 11B-703.2.
 2. Entry Doorway: Provide a geometric symbol next to the doorway per CBC Section 11B-703.7.2.6.
 3. 180 Turn at Entry: A 48" minimum clear width is not provided at the turn.
 4. Toilet: Relocating the toilet, providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet is an undue burden.
 5. Grab Bars: The compartment is not wide enough for a 36" rear grab bar.
 6. Toilet Paper Dispenser: Toilet Paper Dispenser: Remove the dispenser mounted on the wall opposite the toilet per CBC Section 11B-307, and provide a dispenser under the sidewall grab bar per CBC Section 11B-604.9.6.
 7. Toilet Compartment Door: Provide self-closing hinges and pulls per CBC Section 11B-604.8.1.2. Relocate the coat hook per CBC Section 11B-308. Providing 60" minimum maneuvering clearance perpendicular to the pull side of the door is an undue burden.
 8. Lavatory: Replace the lavatory per CBC Section 11B-606.
 9. Soap Dispenser: Relocate per CBC Section 11B-603.5.

END OF REPORT



Photograph 1 (5%)



Photograph 2 (9.8%)



Photograph 3 (15.9%)



Photograph 4 (7.4%)



Photograph 5 (4.6%)



Photograph 6



Photograph 7



Photograph 8 (2.9%)



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



Photograph 16



Photograph 17



Photograph 18



William M. Holl, AIA
Architect • CASp • Contractor

August 8, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CASp INSPECTION AND REPORT**
Existing Restroom Building and Park, Devendorf Park, Junipero Avenue
at Ocean Avenue, Carmel-by-the-Sea, California.
Inspection Date: July 2, 2018. APN: 010-099-001

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site paths of travel and the building sanitary facilities and drinking fountain of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CASp) 509
110 Baja Sol Court
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831.438.3762 fax
wmholl.com

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1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 86-104 was issued by the City of Carmel-by-the-Sea for construction of the building in 1986.

2.0 DESCRIPTION OF THE FACILITIES

The building is one story with two accessible restrooms. There is one parking space identified as accessible on 6th Avenue.

The applicable construction-related accessibility standards that apply are the California 1984 Disabled Access Regulations Interpretive Manual for the building permit issued in 1986; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Primary Entrances: The running slope is not 1:20 (5%), maximum and the ground surface is bumpy and uneven at the public sidewalk with changes in level greater than 1/2". See Photographs 1 & 2 (orange marks)

- B. Parallel Parking Space on 6th Ave. Identified as Accessible: See Photograph 3.

The parking space is not 9'-0" wide minimum.

Ground surface slopes are greater than 1:48 (2.08%).

An access aisle is not provided.

The lower side of the International Symbol of Accessibility painted on the parking space is not at the end of the parking space length.

The parking space is not van accessible.

An additional sign below the identification sign that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

- C. Path of Travel from Public Sidewalk to Park Benches:

The running slope of the concrete walk from 6th Street on the west side of the building exceeds 1:12 (8.33%). See Photograph 4.

The running slope of the concrete walk from the corner of Mission Street and Ocean Avenue is not 1:20 (5%), maximum. See Photograph 5.

The cross slope of the concrete walk that connects the southwest corner of the park to the northeast corner is not 1:48 (2.08%) maximum and the walk is not 48" wide minimum. See Photograph 6.

D. Wood Benches: See Photograph 7.

A 30" x 48" clear ground space positioned at the end of the bench seat parallel to the short axis of the bench is not provided.

The seat is not 20" deep minimum and the back support does not extend 18" minimum above the seat surface.

E. Concrete Stair at 6th Avenue and Mission Street: Handrails and contrasting stripes are not provided. The landing depth at the bottom of the stair is not 48" minimum. See Photograph 8.

F. Stone Stair at 6th Avenue and Mission Street: Handrails and contrasting stripes are not provided. Riser heights are not uniform and are not 7" high maximum, and tread depths are not uniform. See Photograph 9.

G. Monumental Concrete Stair on Ocean Street: Handrails and contrasting stripes are not provided. The landing depth at the top of the stair is not 48" minimum. See Photograph 10.

Building

H. Women's Restroom: See Photographs 11 & 12.

Entry Doorway: The doorway has a metal gate that is opened in the morning and closed at night by the City.

Toilet: 60" minimum by 56" minimum clearance around the toilet is not provided. A minimum 60" wide and 48" deep maneuvering space is not provided in front of the toilet.

Grab Bars: The front end of the sidewall grab bar is not 24" minimum in front of the toilet. The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: The dispenser is not mounted below the side wall grab bar and it does not protrude into the circulation path 4" maximum.

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Toilet Compartment Door: Not self-closing. Pulls are not provided on both sides of the door. The door opening is not 4" maximum from the side partition farthest from the toilet. The coat hook is not located 48" maximum above the floor.

Lavatory: 17" deep minimum toe clearance and 30" wide minimum knee clearance are not provided under the lavatory and the supply and drain lines under the lavatory are not insulated.

I. Men's Restroom: See Photographs 13, 14 & 15.

Entry Doorway: The doorway has a metal gate that is opened in the morning and closed at night by the City.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall. The seat height is not 17" minimum and 19" maximum above the floor. 60" minimum by 56" minimum clearance around the toilet is not provided. A minimum 60" wide and 48" deep maneuvering space is not provided in front of the toilet.

Grab Bars: The front end of the sidewall grab bar is not 24" minimum in front of the toilet. The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: The dispenser is not mounted below the side wall grab bar and it does not protrude into the circulation path 4" maximum.

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Toilet Compartment Door: Not self-closing. Pulls are not provided on both sides of the door. The door opening is not 4" maximum from the side partition farthest from the toilet. The coat hook is not located 48" maximum above the floor.

Lavatory: 17" deep minimum toe clearance and 30" wide minimum knee clearance are not provided under the lavatory and the supply and drain lines under the lavatory are not insulated.

Urinal: The urinal alcove is not 36" wide minimum.

J. Drinking Fountain: See Photographs 16.

The drinking fountain depth is not 19" maximum.

17" deep minimum toe clearance and 30" wide minimum knee clearance are not provided under the drinking fountain.

The spout is not 15" minimum from the vertical support.

A drinking fountain for a standing person is not provided.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

A. Path of Travel from Public Sidewalk to Primary Entrances: Repair or replace concrete walk to correct the uneven surface and change in level at the public sidewalk per CBC Section 11B-403. Correcting the running slope is an undue burden.

B. Parallel Parking Space on 6th Ave. Identified as Accessible: Parallel street parking spaces do not meet the requirements of an accessible parking space. Only perpendicular and diagonal parking spaces can meet the requirements. Remove the identification sign and markings at the parallel parking space. Providing an accessible parking space is an undue burden.

C. Path of Travel from Public Sidewalk to Park Benches:

Provide an "Accessible Route" sign with a right arrow at the north end of the concrete walk from 6th Street per CBC Section 216.3.

At the concrete walk from the corner of Mission Street and Ocean Avenue, provide edge protection and handrails where the running slope exceeds 1:20 (5%), per CBC Sections 11B-405.9 & 11B-505. Providing ramp landings is an undue burden.

All areas of the park can be accessed via an accessible route without using the concrete walk that connects the southwest corner of the park to the northeast corner. Correcting the cross slope and width of the walk is an undue burden.

D. Wood Benches: Benches: Provide at least one bench that meets the requirements of CBC Section 11B-903.

E. Concrete Stair at 6th Avenue and Mission Street: Provide handrails and contrasting stripes per CBC Section 11B-505. Provide a 48" deep landing at the bottom of the stair per CBC Section 1011.6.

F. Stone Stair at 6th Avenue and Mission Street: Provide handrails and contrasting stripes per CBC Section 11B-505. Modify the bottom tread per CBC Section 504.2. Correcting the riser heights is an undue burden.

G. Monumental Concrete Stair on Ocean Street: Provide handrails and contrasting stripes per CBC Section 11B-505. Provide a 48" deep landing at the top of the stair per CBC Section 1011.6.

Building

H. Women's Restroom:

Toilet: Relocating the toilet, providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet is an undue burden.

Grab Bars: Replace the "L" shaped grab bar with a 36" long minimum rear wall grab bar and a 42" long minimum side wall grab bar per CBC Section 11B-604.5.

Toilet Paper Dispenser: Remove the dispenser mounted on the wall opposite the toilet per CBC Section 11B-204.5, and provide a dispenser below the side wall grab bar per CBC Section 11B-604.7.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Toilet Compartment Door: Provide self-closing hinges and pulls per CBC Section 11B-604.8.1.2. Relocate the coat hook per CBC Section 11B-308. Correcting the location of the door opening is an undue burden.

Lavatory: Replace one lavatory and insulate the supply and drain lines under the lavatory per CBC Section 11B-606.

I. Women's Restroom:

Toilet: Relocating the toilet, providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet is an undue burden.

Grab Bars: Replace the "L" shaped grab bar with a 36" long minimum rear wall grab bar and a 42" long minimum side wall grab bar per CBC Section 11B-604.5.

Toilet Paper Dispenser: Remove the dispenser mounted on the wall opposite the toilet per CBC Section 11B-204.5, and provide a dispenser below the side wall grab bar per CBC Section 11B-604.7.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Toilet Compartment Door: Provide self-closing hinges and pulls per CBC Section 11B-604.8.1.2. Relocate the coat hook per CBC Section 11B-308. Correcting the location of the door opening is an undue burden.

Lavatory: Replace one lavatory and insulate the supply and drain lines under the lavatory per CBC Section 11B-606.

Urinal: Correcting the width of the urinal alcove is an undue burden.

J. Drinking Fountain: Replace drinking fountain per CBC Section 11B-602.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



Photograph 16



William M. Holl, AIA
Architect • CASp • Contractor

August 13, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CASp INSPECTION AND REPORT**
Existing Fire Station, 6th Avenue between Mission Street & San Carlos
Street, Carmel-by-the-Sea, California. Inspection Date: July 2, 2018.
APN: 010-133-006

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site paths of travel and the building counters, sinks, sanitary facilities, and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CASp) 509
110 Baja Sol Court
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wmholl.com

Distribution: Addressee (2 Hard Copies: Electronic Copy)

1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 164 was issued by the City of Carmel-by-the-Sea to construct a reinforced concrete fire station, two stories in 1936.

Building Permit No. 74-181 was issued by the City of Carmel-by-the-Sea to build a firehouse addition, one truck stall with classroom over & hose drying tower at rear in 1974.

Building Permit No. 81-10 was issued by the City of Carmel-by-the-Sea to remodel an existing washroom in 1981.

Building Permit No. 81-53 was issued by the City of Carmel-by-the-Sea for a remodel of firehouse shower room, interior remodel in 1981.

Building Permit No. 83-40 was issued by the City of Carmel-by-the-Sea for a kitchen remodel in 1983.

Building Permit No. 88-270 was issued by the City of Carmel-by-the-Sea for an office remodel in 1988.

Building Permit No. 89-255 was issued by the City of Carmel-by-the-Sea for a remodel, divide classroom in 1989.

Building Permit No. 06-07C was issued by the City of Carmel-by-the-Sea for a seismic retrofit and remodel in 2006.

2.0 DESCRIPTION OF THE FACILITIES

The building is two stories with three restrooms that are not accessible or on an accessible route. There is no on site parking, accessible parking is provided by the City of Carmel-by-the-Sea.

In 2005 the building was designated a Historical Resource by the City of Carmel-by-the-Sea.

The applicable construction-related accessibility standards that apply are the 1987 California Accessibility Standards Interpretive Manual for the permit issued in 1988; the 1989 California Accessibility Standards Interpretive Manual for the permit issued in 1989; the Americans With Disabilities Act (ADA), Standards for Accessible Design and California Building Code (CBC), that were enforced at the time for the permit issued in 2006; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance: An accessible route for a person using a wheelchair from the public sidewalk to the primary entrance is not provided.
- B. Exterior Concrete Stair: Contrasting stripes do not extend the full width of the stair. Handrails are not provided. Riser heights are not uniform and one riser is not 4" high minimum. See Photograph 1.

Building

- C. Primary Entrance: Opening force is greater than 5 lbs. and closing time is less than 5 seconds. On both sides of the door required maneuvering clearance parallel to the doorway on the latch side is not provided.
- D. Interior Concrete Stair from Entry Foyer to Engine Bay: Handrails are not provided. Contrasting stripes do not extend the full width of the stair. See Photograph 2.
- E. Dispatch Office Door: Not located on an accessible route. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.
- F. First Floor Office Doors (2). Not located on an accessible route. Lever hardware is not provided. One door does not provide a 32" minimum clear width.
- G. Entry Foyer: The Entry Foyer is not accessible to persons in a wheelchair and the restroom located on the Entry Foyer level is not accessible.
- H. Interior Concrete Stairway (Six Flights): See Photographs 3, 4, 5, & 6.

Riser heights are not uniform and treads are not 11" deep minimum.

At the second flight from the bottom handrails are not provided on both sides of the stair and both landings are not 48" deep minimum. See Photograph 4.

Contrasting stripes do not extend the full width of the stair and are not 1" maximum from the nose of the steps or upper approach.

Handrails: The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings. On one side of the stairway the handrail gripping surfaces do not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum. Handrail extensions are not provided.

Guardrails: 42" high minimum guardrails are not provided at the open sides of the stairway and the second floor landing.

- I. Second Floor: The Second Floor is not accessible to persons in a wheelchair and lever hardware is not provided at five interior doors. The two restrooms and sink counter located on the Second Floor level are not accessible.
- J. Second Floor Exit Door to Roof Deck: Opening force is greater than 5 lbs. and closing time is less than 5 seconds.
- K. Interior Wood Stairway from Roof Deck to Engine Bay (Two Flights): See Photographs 7 & 8.

Riser heights are not 7" high maximum.

Contrasting stripes are missing at some of the treads.

Handrails are not provided on both sides of the stair.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

Handrail extensions are not provided.

At the bottom flight the handrail gripping surface does not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

A landing at the top of the stairway is not provided.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance: Providing an accessible route for a person using a wheelchair from the public sidewalk to the primary entrance is an undue burden.

- B. Exterior Concrete Stair: Provide contrasting stripes and handrails per CBC Sections 11B-504.4.1 & 505. Correcting the riser heights is an undue burden.

Building

- C. Primary Entrance: Adjust the door closer. Providing the required maneuvering clearance on both sides of the door is an undue burden.
- D. Interior Concrete Stair from Entry Foyer to Engine Bay: Provide contrasting stripes per CBC Sections 11B-504.4.1. There is a fire door that closes during a fire and seals the opening between the Entry Foyer and Engine Bay. Providing handrails is an undue burden.
- E. Dispatch Office Door: Adjust door closer. Providing an accessible route to the Dispatch Office is an undue burden.
- F. First Floor Office Doors (2). Provide lever hardware per CBC Sections 11B-404.2.7. Correcting the width of one door and providing an accessible route to the office doors is an undue burden.
- G. Entry Foyer: Providing access to the Entry Foyer and the restroom located on the Entry Foyer level is an undue burden.
- H. Interior Concrete Stairway (Six Flights):

Provide contrasting stripes and handrails per CBC Sections 11B-504.4.1 & 505.

Provide guardrails at the open sides of the stairway and the second floor landing per CBC Section 1015.

Correcting the riser heights, treads depths and landing depths is an undue burden.
- I. Second Floor: Providing access to the Second Floor and the two restrooms and sink counter located on the Second Floor level is an undue burden. Provide lever hardware at five interior doors per CBC Sections 11B-404.2.7.
- J. Second Floor Exit Door to Roof Deck: Adjust door closer.
- K. Interior Wood Stairway from Roof Deck to Engine Bay (Two Flights): Provide contrasting stripes and handrails per CBC Sections 11B-504.4.1 & 505. Correcting the riser heights and providing a landing at the top of the stairway is an undue burden.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



William M. Holl, AIA
Architect • CASp • Contractor

August 2, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CASp INSPECTION AND REPORT**
Existing Library Building, Restroom Building and Park, First Murphy
House and Park, Lincoln Street at 6th Avenue, Carmel-by-the-Sea,
California
Inspection Date: June 27, 2018.
APN: 010-212-009 & 010-212-019

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site accessible parking, signage, and paths of travel and the building counter, sink, sanitary facilities, and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
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1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 90-193 was issued by the City of Carmel-by-the-Sea to relocate First Murphy House in 1990.

Building Permit No. 91-52 was issued by the City of Carmel-by-the-Sea for an historic building rehabilitation in 1991.

Building Permit No. 91-169 was issued by the City of Carmel-by-the-Sea to construct a restroom building and public park in 1991.

2.0 DESCRIPTION OF THE FACILITIES

The library building, First Murphy House is one story with one accessible restroom. The restroom building is one story with two accessible restrooms and a rooftop observation deck. There is one parking space identified as accessible on Lincoln Street adjacent to the property.

The applicable construction-related accessibility standards that apply are the 1989 California Accessibility Standards Interpretive Manual for the building permits issued in 1990 and 1991; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to First Murphy House Primary Entrance: An accessible route from the public sidewalk to the primary entrance is not provided; however an accessible route is provided to a secondary entrance.

Exterior Wood Ramp to Secondary Entrance: See Photograph 1.

The clear width of the ramp is not 48" minimum.

The landing at the top of the ramp is not 60" x 60" minimum.

The slope of the landing at the bottom of the ramp on the east side is not 1:48 (2.08%), maximum.

Handrail gripping surfaces do not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

At the top of the ramp the handrails do not extend horizontally above the landing 12" minimum.

At the bottom of the ramp on the east and west side, one handrail does not extend horizontally above the landing 12" minimum.

B. Path of Travel from Public Sidewalk to Restroom Building Primary Entrances: An accessible route from the public sidewalk to the primary entrances is not provided. The running slope of the concrete walk from the stone public sidewalk to approximately the crack across the walk is not 1:20 (5%), maximum. See Photograph 2.

C. Accessible Parking Space: See Photograph 3.

An accessible route from the parking space to the building entrances is not provided.

An access aisle is not provided.

The parking space is not 9'-0" wide minimum.

The parking space is not 18'-0" long minimum.

Ground surface slopes are greater than 1:48 (2.08%).

The lower side of the International Symbol of Accessibility painted on the parking space is not at the end of the parking space length.

The parking space is not van accessible.

An additional sign below the identification sign that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

D. Concrete Curb Ramp: See Photograph 4.

At the bottom of the curb ramp the surface of the gutter is not at the same level as the ramp and the slope of the gutter is not 1:48 (2.08%), maximum.

At the top of the curb ramp the slope of the landing is not 1:48 (2.08%), maximum, and the surface of the landing is not firm, stable and slip resistant.

E. Walking Surface from Curb Ramp to First Murphy House: Not firm, stable and slip resistant. See Photograph 5.

F. Walking Surface from Curb Ramp to Restroom Building: Not firm, stable and slip resistant for the first 15 -20 feet and the running slope of the paved portion is not 1:20 (5%), maximum. See Photographs 5, 6 & 7.

G. Exterior Wood Stair at First Murphy House Primary Entry: See Photograph 8.

Contrasting stripes are not provided.

Handrail gripping surfaces do not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

At the top of the stair the handrails do not extend horizontally above the landing 12" minimum, and at the bottom of the stair handrail extensions are not provided.

- H. Exterior Wood Stair at First Murphy House: See Photograph 9.

Contrasting stripes are not provided.

Handrail gripping surfaces do not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

At the top of the stair handrail extensions are not provided.

At the bottom of the stair, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

- I. Walking Surface from the West side of First Murphy House to the Observation Deck: Not firm, stable and slip resistant, the running slope is not 1:20 (5%), maximum and the change in level at the deck edge is not 1/2" maximum. See Photographs 10 & 11.

- J. Exterior Wood Stairway at Restroom Building: See Photographs 12 & 13.

Contrasting stripes are not provided.

Handrail extensions are not provided.

Guardrails at the open sides of the stairway and the landings do not have 4" maximum openings.

The slope of the landing at the bottom of the stairway is not 1:48 (2.08%), maximum.

The surfaces of the intermediate landing and the landing at the top of the stairway are not firm, stable and slip resistant.

- K. Benches at the Observation Deck: See Photograph 14.

Seat at the ends of the benches are not 48" long minimum.

The seats are not 20" deep minimum and the seat surfaces are not 17" minimum and 19" maximum above the floor.

The back supports do not extend from a point 2" maximum above the seat surfaces to a point 18" minimum above the seat surfaces.

Buildings

First Murphy House

- L. North Side Accessible Entrance: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. 48" minimum maneuvering clearance perpendicular to the push side of the door is not provided. The interior lever hardware is inoperable.

- M. Restroom: See Photographs 15 & 16.

Entry Door: A geometric symbol is not provided on the exterior of the door. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. The hardware is not 34" minimum and 44" maximum above the floor.

Toilet: 60" minimum by 56" minimum clearance around the toilet is not provided. Flush control is not located on the open side of the toilet.

Grab Bars: The front end of the sidewall grab bar is not 24" minimum in front of the toilet. The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Lavatory: Knee and toe clearance is not provided under the lavatory.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Mirror: The edge of the reflecting surface is not 40" maximum from the floor.

- N. Kitchen Sink Counter: The counter surface is not 34" maximum above the floor. Knee and toe clearance under the sink is not provided. See Photograph 17.
- O. Interior Office Door: A clear width of 32 inches minimum is not provided. Lever hardware is not provided. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.
- P. Primary Entrance and West Exit Door: Lever hardware is not provided. The thresholds are not 1/2" high maximum.

Restroom Building

- Q. Women's Restroom: See Photographs 18, 19, 20 & 21.

Gender Identification Sign: Raised characters and braille are not provided.

Entry Doorway: The doorway has a metal gate that is opened in the morning and closed at night by the City. The geometric symbol next to the doorway is not mounted at 58" minimum and 60" maximum above the floor measured to the centerline of the symbol.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall. 60" minimum by 56" minimum clearance around the toilet is not provided. A minimum 60" wide and 48" deep maneuvering space is not provided in front of the toilet.

Grab Bars: The rear grab bar does not extent from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: The dispenser mounted on the wall opposite the toilet does not protrude into the circulation path 4" maximum.

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Toilet Compartment Door: Not self-closing. Pulls are not provided on both sides of the door. The door opening is not 4" maximum from the side partition farthest from the toilet. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided. The coat hook is not located 48" maximum above the floor.

Mirror: The edge of the reflecting surface is not 40" maximum from the floor.

R. Men's Restroom: See Photographs 22, 23, 24 & 25.

Gender Identification Sign: Raised characters and braille are not provided.

Entry Doorway: The doorway has a metal gate that is opened in the morning and closed at night by the City. The geometric symbol next to the doorway is not mounted at 58" minimum and 60" maximum above the floor measured to the centerline of the symbol.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall. The seat height is not 17" minimum and 19" maximum above the floor. 60" minimum by 56" minimum clearance around the toilet is not provided. A minimum 60" wide and 48" deep maneuvering space is not provided in front of the toilet.

Grab Bars: The rear grab bar does not extent from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: The dispenser next to the toilet is not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Toilet Paper Dispenser: The dispenser mounted on the wall opposite the toilet does not protrude into the circulation path 4" maximum.

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Toilet Compartment Door: Not self-closing. Pulls are not provided on both sides of the door. The door opening is not 4" maximum from the side partition farthest from the toilet. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided. The coat hook is not located 48" maximum above the floor.

Urinal: The urinal alcove is not 36" wide minimum.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

- A. Path of Travel from Public Sidewalk to First Murphy House Primary Entrance: Providing an accessible route from the public sidewalk to the primary entrance is an undue burden.

Exterior Wood Ramp to Secondary Entrance: Provide handrails per CBC Section 11B-505. Correcting the clear width of the ramp, the size of the landing at the top of the ramp and the slope of the landing at the bottom of the ramp on the east side is an undue burden

- B. Path of Travel from Public Sidewalk to Restroom Building Primary Entrances: Provide edge protection and handrails where the running slope of the concrete walk exceeds 1:20 (5%), per CBC Sections 11B-405.9 & 11B-505. Providing ramp landings is an undue burden.

- C. Accessible Parking Space:

Provide a van accessible parking space and access aisle with a parallel curb ramp per CBC Section 11B-406.3.

Remove existing asphalt paving at accessible parking space and at the adjacent parking space on the passenger side, re-grade the base course and repave with asphalt concrete with surface slope not greater than 1:48 (2.08%), in any direction per CBC Section 11B-502.4.

Paint van accessible markings and international symbol of accessibility per CBC Sections 11B-502.1, 502.3 and 502.6.

Provide "Van Accessible" Identification sign per CBC Section 11B-502.6, "Minimum Fine" sign per CBC Section 11B-502.6, and "Tow Away" sign per CBC Section 11B-502.8.

- D & E. Concrete Curb Ramp: With the addition of a parallel curb ramp at the new access aisle the curb ramp is not needed for access. Correcting the height and slope of the gutter, the slope and surface of the landing at the top of the ramp, and the surface of the path to First Murphy House is an undue burden.
- F. Walking Surface from Curb Ramp to Restroom Building: This is not an accessible route. Correcting the surface of the first 15 -20 feet and the running slope of the paved portion is an undue burden
- G. Exterior Wood Stair at First Murphy House Primary Entry: Provide contrasting stripes per CBC Section 11B-504.4.1, and handrails per CBC Section 11B-505.
- H. Exterior Wood Stair at First Murphy House: Provide contrasting stripes per CBC Section 11B-504.4.1, and handrails per CBC Section 11B-505.
- I. Walking Surface from the West side of First Murphy House to the Observation Deck: Provide a paved walk per CBC Section 11B-403.
- J. Exterior Wood Stairway at Restroom Building: Provide contrasting stripes per CBC Section 11B-504.4.1, and handrail extensions per CBC Section 11B-505.

Modify guardrails at the open sides of the stairway and the landings to have 4" maximum openings per CBC Section 1015.

Provide paved solid surfaces at the intermediate landing and the landing at the top of the stairway per CBC Sections 1011.6 & 1011.7.1.

Correcting the slope of the landing at the bottom of the stairway is an undue burden
- K. Benches at the Observation Deck: Provide a 48" long minimum section of bench per CBC Section 11B-903.

Buildings

First Murphy House

- L. North Side Accessible Entrance: Modify or replace the door to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Repair or replace the hardware per CBC Section 11B-404.2.7. Providing 48" minimum maneuvering clearance perpendicular to the push side of the door is an undue burden.
- M. Restroom: See Photographs 15 & 16.

Entry Door: Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6.3. Modify or replace the door to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Relocate the hardware per CBC Section 11B-404.2.7.

Toilet: Replaced the tank with the flush control on the open side of the toilet. Providing 60" minimum by 56" minimum clearance around the toilet is an undue burden.

Grab Bars: Relocate grab bars per CBC Section 11B-604.5.

Lavatory: Replace lavatory per CBC Section 11B-606.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Mirror: Relocate per CBC Section 11B-603.3.

- N. Kitchen Sink Counter: Modify or replace a portion of the sink counter per CBC Section 11B-606, and provide a 30" minimum work surface adjacent to the sink per CBC Section 11B-902.
- O. Interior Office Door: Replace the door to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Provide a clear width of 32 inches minimum per CBC Section 11B-404, and lever hardware per CBC Section 11B-404.2.7.
- P. Primary Entrance and West Exit Door: Provide lever hardware per CBC Section 11B-404.2.7. Correcting the height of the thresholds is an undue burden.

Restroom Building

- Q. Women's Restroom:

Gender Identification Sign: Provide raised characters and braille per CBC Section 11B-703.2.

Entry Doorway: Relocate the geometric symbol next to the doorway per CBC Section 11B-703.7.2.6.

Toilet: Relocating the toilet, providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet is an undue burden.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.

Toilet Paper Dispenser: Remove the dispenser mounted on the wall opposite the toilet per CBC Section 11B-204.5.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Toilet Compartment Door: Provide self-closing hinges and pulls per CBC Section 11B-604.8.1.2. Relocate the coat hook per CBC Section 11B-308. Correcting the location of the door opening and providing 60" minimum maneuvering clearance perpendicular to the pull side of the door is an undue burden.

Mirror: Relocate per CBC Section 11B-603.3.

R. Men's Restroom:

Gender Identification Sign: Provide raised characters and braille per CBC Section 11B-703.2.

Entry Doorway: Relocate the geometric symbol next to the doorway per CBC Section 11B-703.7.2.6.

Toilet: Relocating the toilet, providing 60" minimum by 56" minimum clearance around the toilet and a minimum 60" wide and 48" deep maneuvering space in front of the toilet is an undue burden.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Toilet Paper Dispenser: Remove the dispenser mounted on the wall opposite the toilet per CBC Section 11B-204.5.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Toilet Compartment Door: Provide self-closing hinges and pulls per CBC Section 11B-604.8.1.2. Relocate the coat hook per CBC Section 11B-308. Correcting the location of the door opening and providing 60" minimum maneuvering clearance perpendicular to the pull side of the door is an undue burden.

Urinal: Providing a 36" wide minimum alcove is an undue burden.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



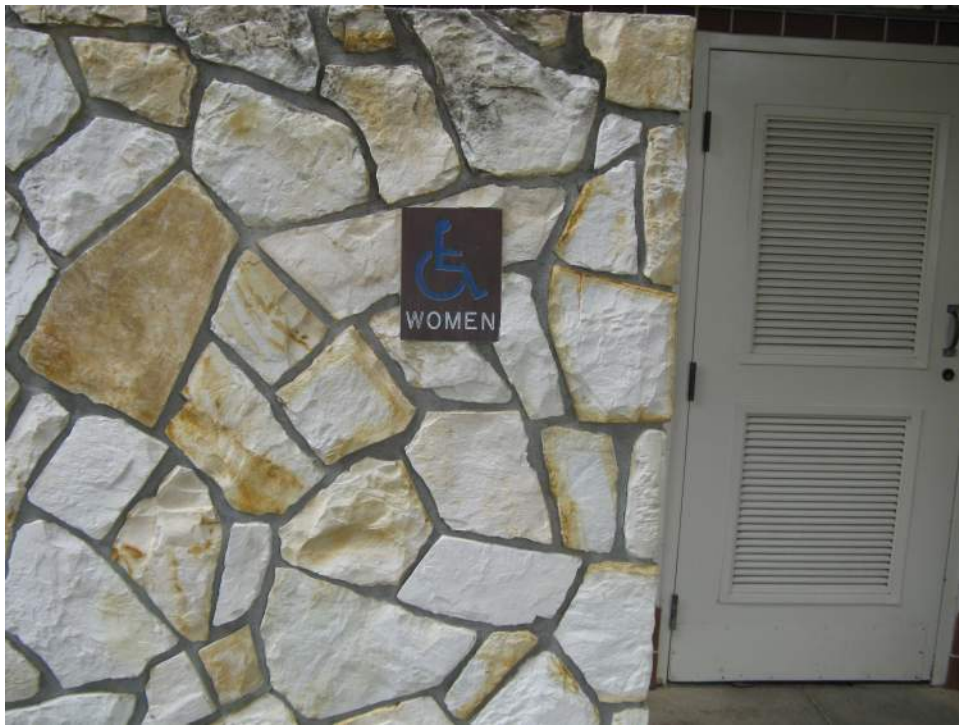
Photograph 15



Photograph 16



Photograph 17



Photograph 18



Photograph 19



Photograph 20



Photograph 21



Photograph 22



Photograph 23



Photograph 24



Photograph 25



William M. Holl, AIA
Architect • CASp • Contractor

July 26, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CASp INSPECTION AND REPORT**
Residential Building, Flanders Mansion, 25800 Hatton Road, Carmel-
by-the-Sea, California Inspection Date: May 22, 2018.

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site parking area and paths of travel and the building sink counters, sanitary facilities, and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CASp) 509
110 Baja Sol Court
Scotts Valley, CA 95066
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Distribution: Addressee (2 Hard Copies: Electronic Copy)

1.0 SUMMARY OF PERMIT HISTORY

The Building Permit for construction of Mansion in 1924 was not available from the City of Carmel-by-the-Sea.

Building Permit No. 78-227 was issued by the City of Carmel-by-the-Sea for general repair and renovation in 1978.

Building Permit No. 94-143 was issued by the City of Carmel-by-the-Sea for a kitchen remodel in 1994.

2.0 DESCRIPTION OF THE FACILITIES

The building is two stories with one bathroom that is not accessible and no accessible parking spaces are provided. There is no accessible entry to the building provided. The first floor is three levels; the main entry is at the lowest level with one step up to the living room/ballroom level and two steps up to the kitchen, dining room level.

The building was listed on the National Register of Historic Places in 1989 and was designated a Historical Resource by the City of Carmel-by-the-Sea in 1997.

As a single family dwelling there are no requirements for accessibility for persons with disabilities.

As a public accommodation the applicable construction-related accessibility standards that apply are the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), the 2016 California Historical Building Code (CHBC), and the 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

- A. Path of Travel from Public Sidewalk to Primary Entrance: An accessible route from the public sidewalk to the primary entrance is not provided.
- B. Accessible Parking Spaces: Accessible parking spaces are not provided
- C. Primary Entrance: The threshold is not ½" high maximum. The door opening does not provide a clear width of 32 inches minimum, lever hardware is not provided and at the exterior of the door, ground surface slopes within required maneuvering clearances are greater than 1:12 (8.33%). See Photograph 1.
- D. Bathroom: The bathroom is not accessible or on an accessible route. See Photographs 2, 3, & 4.
- E. Kitchen Sink Counter: The counter surface is not 34" maximum above the floor. Knee and toe clearance under the sink is not provided. See Photograph 5.

- F. Pantry Sink Counter: Knee clearance under the sink is not 30" wide minimum or 27" minimum above the floor. See Photograph 6.
- G. Main Stairway: Handrails are not provided and 42" high minimum guardrails are not provided at the open sides of the stair and the top landing. Contrasting stripes are not provided. See Photographs 6 & 7.
- H. Southeast Stairway: Handrails are not provided a 42" high minimum guardrail is not provided at top landing. Contrasting stripes are not provided. See Photographs 8 & 9.
- I. Stairs from the living room/ballroom to the kitchen level: Doors swing over the top landing and handrails are not provided. Contrasting stripes are not provided. See Photographs 10 & 11.
- J. Step from the entry level to living room/ballroom level: Door swings over the top landing and handrails are not provided. A contrasting stripe is not provided. See Photographs 12.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards if the building is used as a public accommodation. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

The facilities report prepared by Harris & Associates for the City of City of Carmel-by-the-Sea in 2013 recommended addressing ADA compliance issues while protecting the building's historical character. Any accessibility upgrades will affect the building's historical character. The only public use that may be feasible is that of a museum with limited access for persons in a wheel chair.

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance: A Public sidewalk is not provided.

- B. Accessible Parking Space: Due to surface slopes, the only parking area that is appropriate for an accessible parking space per CBC Section 11B-502 is the area in front of the garage. However a van accessible space may not work. See Photographs 13 & 14.

The floor level of the screened in porch to the right of the garage doors is 8" down from the parking area, and 1" below the kitchen, dining room level. See Photograph 15.

To access the kitchen, dining room level from the parking area, provide a ramp per CBC Section 11B-405 adjacent to the building and enlarge the doorway into the building to provide a 32" minimum clear width per CBC Section 11B-502. There is an existing accessible route from this doorway to the kitchen, pantry and dining room per CBC Section 11B-403.5.1. Provide access to the main stairway lobby from the dining room by fixing the double doors in the open position. See Photograph 16.

Providing access for persons in a wheel chair to other levels or other rooms on the kitchen, dining room level is an undue burden and would not preserve the building's historical character, which is the purpose and intent of the CHBC.

- C. Primary Entrance: Provide lever hardware per CBC Section 11B-404.2.7. Correcting the height of the threshold, the width of the doorway and the slope at the exterior of the door is an undue burden.
- D. Bathroom: Making the bathroom accessible is an undue burden. Use of this bathroom should not be offered to the public.
- E. Kitchen Sink Counter: Making the sink counter accessible is an undue burden. Use of the sink can be offered to the public because the pantry sink is accessible.
- F. Pantry Sink Counter: Providing knee clearance is an undue burden. Per CBC Section 11B-606.2, a parallel approach to a wet bar is permitted and per the CHBC, the sink is reasonably equivalent to a wet bar. Use of the sink can be offered to the public.
- G. Main Stairway: Provide contrasting stripes per CBC Section 504.4.1, handrails per CBC Section 11B-505, and extend guardrails with openings less than 4" per CBC Section 1015.
- H. Southeast Stairway: Provide contrasting stripes per CBC Section 504.4.1, handrails per CBC Section 11B-505, and extend guardrail with openings less than 4" per CBC Section 1015.
- I. Stairs from the living room/ballroom to the kitchen level: Provide contrasting stripes per CBC Section 504.4.1 and handrails per CBC Section 11B-505 to the greatest degree possible without removing the doors. Removing the doors would not preserve the building's historical character. Provide lever hardware per CBC Section 11B-404.2.7.

- J. Step from the entry level to living room/ballroom level: Provide a contrasting stripe per CBC Section 504.4.1. Providing handrails without removing the door is not possible. Removing the door would not preserve the building's historical character. Provide lever hardware per CBC Section 11B-404.2.7.
- K. Exterior Stairs: If the public is provided access to the building and grounds, provide contrasting stripes per CBC Section 504.4.1, and upgraded handrails and guardrails per CBC Sections 11B-505 and 1015 at the two south exterior stairs.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



Photograph 16



Photograph 17



William M. Holl, AIA
Architect • CAsp • Contractor

August 24, 2018 (Revised September 17, 2018)

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CAsp INSPECTION AND REPORT**
Two Existing Restroom Buildings and Park, Forest Hill Park, Junipero
Street at Camino Del Monte, Carmel-by-the-Sea, California
Inspection Dates: July 6, 2018.
APN: 010-107-001 & 009-133-001

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site play structures and paths of travel, and the building drinking fountain and sanitary facilities of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CAsp) 509
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Distribution: Addressee (2 Hard Copies: Electronic Copy)

1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 91-91 was issued by the City of Carmel-by-the-Sea for construction of a new Public Restroom Building at the south section of the park in 1991.

The permit application for the Public Restroom Building at the north section of the park is dated February 20, 2003, however, no permit number is listed.

2.0 DESCRIPTION OF THE FACILITIES

The park is divided by Junipero Street with the south section on the west side of the street and the north section on the east side of the street. The buildings are one story with two unisex accessible restrooms each. The park has two accessible play structures, swings, picnic tables, tennis courts and benches. Accessible parking is not provided.

The applicable construction-related accessibility standards that apply are the 1989 California Accessibility Standards Interpretive Manual for the building permit issued in 1991; the Americans With Disabilities Act (ADA), Standards for Accessible Design and California Building Code (CBC), that were enforced at the time for the permit issued after January 26, 1992; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

South Section Site

- A. Path of Travel from Public Sidewalk to Restroom Entrances and Play Structures: See Photographs 1, 2 & 3.
 - 1. Public sidewalks are not provided.
 - 2. Accessible routes from the public street to the play structures, swings, picnic tables, benches, and restroom entrances are not provided.
- B. Play Structures: See Photographs 4 & 5.
 - 1. The slope of the 30" x 48" clear ground space adjacent to the transfer platform at each play structure is not 1:48 (2.08%) maximum.
 - 2. The transfer platforms at both play structures are not level.
- C. Swings: See Photograph 6.
 - 1. A turning space immediately adjacent to the swing is not provided.

D. Picnic Tables: See Photograph 3 & 6.

1. Accessible picnic tables are not provided.

E. Benches: See Photograph 7.

1. A 30" x 48" clear ground space positioned at the end of the bench seat parallel to the short axis of the bench is not provided.

2. The seat is not 20" deep minimum and 24" deep maximum.

South Section
Restroom Building

F. Drinking Fountain: See Photograph 8.

1. The drinking fountain is not located within an alcove, between wing walls, or otherwise positioned so as not to encroach into pedestrian ways.

2. The spout outlet is not 36" maximum above the floor.

3. A drinking fountain for a standing person is not provided.

G. Telephone Enclosure: See Photograph 9.

1. Does not protrude 4" maximum into the circulation path.

H. Identification Signs on the South Exterior Wall: See Photographs 10 & 11.

1. Tactile characters are not 60" maximum above the ground measured from the baseline of the raised characters.

I. West Restroom: See Photographs 12 & 13.

1. Entry Door: A unisex geometric symbol is not provided on the exterior of the door. Tactile characters on the sign next to the door are not 48" minimum above the ground measured from the baseline of the braille cells.

2. Toilet: 60" minimum by 56" minimum clearance around the toilet is not provided.

3. Toilet Paper Dispenser: Not located below the sidewall grab bar, 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

4. Lavatory: The force to activate the push button faucet is not 5 lbs. maximum. Knee clearance under the lavatory is not 29" minimum above the floor and toe clearance does not extend 17" minimum under the lavatory.

5. Hand Dryer: Operable part is not 40" maximum from the floor.

J. East Restroom: See Photographs 14 & 15.

1. Entry Door: A unisex geometric symbol is not provided on the exterior of the door. Tactile characters on the sign next to the door are not 48" minimum above the ground measured from the baseline of the braille cells. The slope of the exterior concrete surface within the required maneuvering clearance is not 1:48 (2.08%) maximum.

2. Toilet: The seat height is not 17" minimum and 19" maximum above the floor. 60" minimum by 56" minimum clearance around the toilet is not provided.

3. Toilet Paper Dispenser: Not located below the sidewall grab bar, 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

4. Lavatory: The force to activate the push button faucet is not 5 lbs. maximum. Knee clearance under the lavatory is not 29" minimum above the floor and toe clearance does not extend 17" minimum under the lavatory.

5. Hand Dryer: Operable part is not 40" maximum from the floor.

North Section Site

K. Path of Travel from Public Sidewalk to Restroom Entrances and Tennis Courts. See Photographs 16, 17, 18, & 19.

1. Public sidewalks are not provided.

2. Accessible routes from the public street to the tennis courts and restroom entrances are not provided.

L. Tennis Courts: See Photographs 16, 20, 21 & 22.

1. Parking: An accessible parking space is not provided at the paved parking area on the west side of the tennis courts.

2. Gates (2): The slope of the exterior ground surface within the required maneuvering clearance is not 1:48 (2.08%) maximum.

3. Benches (2): The seats are not 20" deep minimum and the tops of the seats are not 17" minimum and 19" maximum above the ground.

North Section Restroom Building

M. North Restroom: See Photographs 23 & 24.

1. Entry Door: The threshold is not ½" high maximum. The geometric symbol on the exterior of the door is not mounted at 58" minimum and 60" maximum above the ground measured to the centerline of the symbol, and the triangle symbol does not contrast with the circle symbol. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided.

2. Toilet: 60" minimum by 56" minimum clearance around the toilet is not provided.
 3. Grab Bars: The front end of the sidewall grab bar is not 24" minimum in front of the toilet. The rear grab bar does not extent from the centerline of the toilet 12" min. on one side and 24" min on the other side.
 4. Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.
 5. Lavatory: The hand-operated metering faucet does not remain open for 10 seconds minimum. Knee clearance under the lavatory is not 29" minimum above the floor.
 6. Soap Dispenser: Operable part is not 40" maximum from the floor.
 7. Paper Towel Dispenser: Operable part is not 40" maximum above the floor.
- N. South Restroom: See Photographs 25 & 26.
1. Entry Door: The threshold is not ½" high maximum. The geometric symbol on the exterior of the door is not mounted at 58" minimum and 60" maximum above the ground measured to the centerline of the symbol, and the triangle symbol does not contrast with the circle symbol. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided.
 2. Toilet: 60" minimum by 56" minimum clearance around the toilet is not provided.
 3. Grab Bars: The front end of the sidewall grab bar is not 24" minimum in front of the toilet. The rear grab bar does not extent from the centerline of the toilet 12" min. on one side and 24" min on the other side.
 4. Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.
 5. Lavatory: The hand-operated metering faucet does not remain open for 10 seconds minimum.
 6. Soap Dispenser: Operable part is not 40" maximum from the floor.
 7. Seat Cover Dispenser: Operable part is not 40" maximum from the floor.
 8. Paper Towel Dispenser: Operable part is not 40" maximum above the floor.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

South Section Site

- A. Path of Travel from Public Sidewalk to Restroom Entrances and Play Structures: See Photographs 1, 2 & 3.
 - 1. Provide a passenger drop off and loading zone on Camino Del Monte at the south end of the park per CBC Section 11B-503.
 - 2. Provide a paved accessible route from the drop off and loading zone on Camino Del Monte to the play structures, swings, accessible picnic table, accessible bench, and restroom entrances per CBC Section 11B-402.
- B. Play Structures: See Photographs 4 & 5.
 - 1. Correct the slope of the 30" x 48" clear ground space adjacent to the transfer platform at each play structure per CBC Section 11B-302.
 - 2. Correct the level of the transfer platforms at both play structures per CBC Section 11B-1008.3.1.1.
- C. Swings: See Photograph 6.
 - 1. Provide a turning space immediately adjacent to the swing per CBC Section 11B-304.
- D. Picnic Tables: See Photograph 3 & 6.
 - 1. Provide at least one accessible picnic table per CBC Section 11B-246.5.
- E. Benches: See Photograph 7.
 - 1 & 2. Provide at least one accessible bench per CBC Section 11B-903.

South Section Restroom Building

- F. Drinking Fountain: See Photograph 8.
 - 1, 2 & 3. Replace the drinking fountain with a hi-low drinking fountain with pedestrian protection per CBC Section 11B-602.

- G. Telephone Enclosure: See Photograph 9.
1. Remove the telephone enclosure and mount the emergency box 27" maximum above the ground measured to the bottom of the box per CBC Section 11B-307.
- H. Identification Signs on the South Exterior Wall: See Photographs 10 & 11.
1. Relocate the signs per CBC Section 11B-703.4.1.
- I. West Restroom: See Photographs 12 & 13.
1. Entry Door: Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6.3. Relocate the sign next to the door per CBC Section 11B-703.4.1.
 2. Toilet: Providing a 60" minimum by 56" minimum clearance around the toilet is an undue burden.
 3. Toilet Paper Dispenser: Relocate the dispenser per CBC Section 11B-604.7.
 4. Lavatory: Replace the lavatory per CBC Section 11B-606.
 5. Hand Dryer: Relocate the hand dryer per CBC Section 11B-603.5.
- J. East Restroom: See Photographs 14 & 15.
1. Entry Door: Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6.3. Relocate the sign next to the door per CBC Section 11B-703.4.1. Correcting the slope of the exterior concrete surface within the required maneuvering clearance is an undue burden.
 2. Toilet: Relocating the toilet and providing a 60" minimum by 56" minimum clearance around the toilet is an undue burden.
 3. Toilet Paper Dispenser: Relocate the dispenser per CBC Section 11B-604.7.
 4. Lavatory: Replace the lavatory per CBC Section 11B-606.
 5. Hand Dryer: Relocate the hand dryer per CBC Section 11B-603.5.

North Section
Site

- K. Path of Travel from Public Sidewalk to Restroom Entrances and Tennis Courts. See Photographs 16, 17, 18, & 19.
1. Providing accessible routes from the public street to the tennis courts and restroom entrances is an undue burden.

L. Tennis Courts: See Photographs 20, 21 & 22.

1. Parking: Remove existing asphalt paving as required to accommodate a van accessible parking space and access aisle, and to conform to the slope of the driveway. Re-grade the base course and repave with asphalt concrete with surface slope not greater than 1:48 (2.08%), in any direction at the accessible parking space and access aisle per CBC Section 11B-502.4.

Paint van accessible markings and international symbol of accessibility per CBC Sections 11B-502.1, 502.3 and 502.6.

Provide "Van Accessible" Identification sign per CBC Section 11B-502.6, "Minimum Fine" sign per CBC Section 11B-502.6, and "Tow Away" sign per CBC Section 11B-502.8.

2. Gates (2): Remove the existing concrete paving at the exterior of the west gate within the required maneuvering clearance, re-grade the base course and repave with asphalt concrete with surface slopes not greater than 1:48 (2.08%), maximum per CBC Sections 11B-404.2.4 and 1010.1.5.
3. Benches (2): Provide at least one accessible bench per CBC Section 11B-903.

North Section Restroom Building

M. North Restroom: See Photographs 23 & 24.

The restroom building is not on an accessible route. Making corrections to accommodate a person in a wheelchair is an undue burden. Only the following items are required.

1. Entry Door: Replace the unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6.3.
2. Lavatory: Adjust or replace the hand-operated metering faucet per CBC Section 11B-606.4.

N. South Restroom: See Photographs 25 & 26.

The restroom building is not on an accessible route. Making corrections to accommodate a person in a wheelchair is an undue burden. Only the following items are required.

1. Entry Door: Replace the unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6.3.
2. Lavatory: Adjust or replace the hand-operated metering faucet per CBC Section 11B-606.4.

END OF REPORT



Photograph 1 (15.6%)



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



Photograph 1 (15.6%)



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



Photograph 16



Photograph 17



Photograph 18



Photograph 19



Photograph 20 (5.6%)



Photograph 21 (6.2%)



Photograph 22



Photograph 23



Photograph 24



Photograph 25



Photograph 26



William M. Holl, AIA
Architect • CAsp • Contractor

June 21, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: CASp INSPECTION AND REPORT
Existing Outdoor Amphitheater, Forest Theater, Mountain View Avenue
& Santa Rita Street, Carmel-by-the-Sea, California
Inspection Date: May 30, 2018.
APN: 010-043-008-000

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site accessible parking, signage, and paths of travel and the building counters, sinks, sanitary facilities and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CAsp) 509
110 Baja Sol Court
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1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 1884 was issued by the City of Carmel-by-the-Sea to construct a 10' x 10' Studio in 1927.

Building Permit No. 499 was issued by the City of Carmel-by-the-Sea to construct an outdoor theater in 1939.

Building Permit No. 2229 was issued by the City of Carmel-by-the-Sea to add a stage and seating inside existing structure in 1951.

Building Permit No. 75-85 was issued by the City of Carmel-by-the-Sea to demolish an old bathroom structure and build replacement in 1975.

Building Permit No. 81-57 was issued by the City of Carmel-by-the-Sea for an interior remodel of existing bathroom in 1981.

Building Permit No. 81-119 was issued by the City of Carmel-by-the-Sea for addition of fire escape, stairs and landing to existing city owned theater in 1981.

Building Permit No. 83-90 was issued by the City of Carmel-by-the-Sea for a repair work to existing outdoor public theater in 1983.

Building Permit No. 88-70 was issued by the City of Carmel-by-the-Sea for a public remodel in 1988.

Building Permit No. 02-52 was issued by the City of Carmel-by-the-Sea to relocate a concession building in 2002.

Building Permit No. 15-186 was issued by the City of Carmel-by-the-Sea for a renovation of existing outdoor theater in 2015.

2.0 DESCRIPTION OF THE FACILITIES

The outdoor theater stage is the roof of a one-story building with a small in-door theater. There is a one-story dressing room building on the east side of the stage with one accessible restroom for performers. Three accessible portable restrooms, two restrooms that are not accessible, and one accessible parking space are provided for the public.

In 2015 the facility was designated a Historical Resource by the City of Carmel-by-the-Sea.

The applicable construction-related accessibility standards that apply are the 1987 California Accessibility Standards Interpretive Manual for the permit issued in 1988; the Americans With Disabilities Act (ADA), Standards for Accessible Design and California Building Code (CBC), that were enforced at the time for the permits issued after January 26, 1992; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance and Accessible Seating: Public sidewalks are not provided.

- B. Accessible Parking Space: See Photograph 1.

The identification sign is not 60" minimum above the ground measured to the bottom of the sign.

The identification sign does not contain additional language or an additional sign with the designation "Van Accessible".

- C. Exterior Concrete Ramps at Accessible Parking Space Access Aisle: A continuous and uninterrupted barrier providing edge protection on each side of the ramp to prevent wheel entrapment is not provided. See Photograph 1.

- D. Path of Travel from the Accessible Parking Space to Outdoor Seating: A marked crossing and detectable warnings are not provided at the vehicular way. See Photograph 2.

- E. West Exterior Concrete Stairway from Parking Lot to Concession Building: At the top of the second flight from the southwest exit gate the handrail does not extend horizontally above the landing 12" minimum. See Photograph 3.

At the bottom of the stairway detectable warnings are not provided at the vehicular way. See Photograph 4.

- F. Exterior Wood Stair at Concession Building: See Photograph 5.

Riser heights are not 7" high maximum. A minimum 2" wide to a maximum 4" wide contrasting stripe at all the treads and upper approach are not provided.

At the bottom of the stair, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

- G. Exterior Concrete Ramp at the East Side of the Wood Deck: A continuous and uninterrupted barrier providing edge protection on each side of the ramp to prevent wheel entrapment is not provided. See Photograph 6.

- H. Exterior Wood Stairway at the Southwest Side of the Stage:

Upper Flight: Handrail gripping surfaces do not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum. Handrail extensions are not provided. A contrasting stripe is not provided at the upper approach.

A 42" high minimum guardrail is not provided at the open side of the stair and openings in the guardrail provided are not 4" maximum. The bottom three treads have a slope greater than 1:48 (2.08%). See Photographs 7 & 8.

Lower Flight: On one side of the stair the handrail gripping surface does not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum. See Photograph 9.

The openings in the guardrail at the intermediate landing are not 4" maximum.

I. Exterior Wood Stairway at the Southeast Side of the Stage:

Upper Flight: Handrail gripping surfaces do not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum. Handrail extensions are not provided. A contrasting stripe is not provided at the upper approach.

A 42" high minimum guardrail is not provided at the open side of the stair and openings in the guardrail provided are not 4" maximum. See Photograph 10.

Lower Flight: On one side of the stair the handrail gripping surface does not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum. See Photograph 11.

The openings in the guardrail at the intermediate landing are not 4" maximum.

J. Guardrail at the Northwest side of the Stage: The openings are not 4" maximum. See Photograph 12.

K. Exterior Wood Stair at the Northwest side of the Stage: See Photographs 13 & 14.

The riser at the stage is not 7" high maximum and handrails and a contrasting stripe at the upper approach are not provided.

Risers are open, which is not permitted. A minimum 2" wide to a maximum 4" wide contrasting stripe at all treads and upper approach are not provided.

Handrails are not provided on both sides of the stair and the gripping surface of the handrail provided does not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

The ground surface at the bottom landing is not stable, firm, and slip resistant.

The top landing is not 48" minimum deep and the openings in the guardrail at the top landing are not 4" maximum.

- L. Exterior Asphalt Concrete Ramp at the Northeast Side of the Stage: At the top of the ramp, one of the handrails does not extend horizontally above the landing. See Photograph 15.
- M. Exterior Asphalt Walking Surface at the Northeast Side of the Stage: A guardrail is not provided on the south side. See Photograph 16.
- N. North Exit Gate: The gate does not open 90 degrees and does not provide a clear width of 32" minimum. The ground surface at the exterior landing is not stable, firm, and slip resistant. The interior landing has slopes greater than 1:48 (2.08%). See Photograph 17.
- O. Stair at North Exit Gate: The top landing has slopes greater than 1:48 (2.08%). See Photograph 18.
- P. North Seating Section Aisle Handrails: The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings. See Photographs 19, 20 & 21.

One aisle does not provide a handrail. See Photograph 22.
- Q. Handrails at Seating Middle and Southwest Bottom Stair Flights: The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings. See Photographs 23 & 24.
- R. Top Handrail Extensions at Seating Stairs: There are 5 extensions that do not extend horizontally above the landing 12" minimum. See Photograph 25 for an example.
- S. Bottom Handrail Extensions at Seating Stairs: There are 8 extensions that do not do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and 3 extensions that do extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing but do not continue with a horizontal extension 12" long minimum. See Photographs 26 & 27 for examples.

Buildings

- T. Concession Building: A portion of the sales counter surface that is 36" long minimum and 34" high maximum above the floor is not provided. See Photograph 28.
- U. Men's and Women's Restroom Building: These restrooms are not accessible or on an accessible route. See Photograph 29.
- V. Restroom at Dressing Room Building: The restroom is accessible except that the threshold at the entry door to the building is not ½" high maximum and the restroom door has an opening force greater than 5 pounds and a closing speed less than 5 seconds. See Photograph 30.

W. Indoor Theater:

Primary Entrances (Performers and Audience): Door hardware requires pinching to operate. Lever hardware is not provided.

Interior Doors: At two doors the door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door, and 32" minimum clear width is not provided at the office door. See Photograph 31.

Interior Ramp: One handrail does not extend horizontally above the top landing 12" minimum. See Photograph 32.

All Interior Stairs: Contrasting stripes are not full width or 1" maximum from the nose of the steps or upper approach.

Interior Stair to Seating Area: Stair width is not 36" minimum. Handrails are not provided on both sides of the stair. The handrail gripping surface does not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum, and the top of the handrail gripping surface is not 34" minimum and 38" maximum above the stair nosings. Handrail extensions are not provided. See Photograph 33.

Seating Aisle: The bottom riser is not 7" high maximum. The handrail gripping surface does not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum, and the top of the handrail gripping surface is not 34" minimum and 38" maximum above the stair nosings. Handrail extensions are not provided. See Photograph 34.

Interior Backstage Stair to Dressing Room: At the bottom of the stair, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum. See Photograph 35.

Interior Backstage Stair to Exit Landing: The landing at the bottom of the stair is not 48" deep minimum. See Photograph 36.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing facility. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D – Program

Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance and Accessible Seating: Public sidewalks are not provided. Providing access is an undue burden.
- B. Accessible Parking Space: Provide an additional sign with the designation "Van Accessible" and locate signs 60" minimum above the ground measured to the bottom of the sign per CBC Section 11B-502.6.
- C. Exterior Concrete Ramps at Accessible Parking Space Access Aisle: Provide a continuous and uninterrupted barrier providing edge protection on each side of the ramp to prevent wheel entrapment per CBC Section 11B-405.9.
- D. Path of Travel from the Accessible Parking Space to Outdoor Seating: A marked crossing and detectable warnings are not provided at the vehicular way. See Photograph 2.
- E. West Exterior Concrete Stairway from Parking Lot to Concession Building: At the top of the second flight from the southwest exit gate the handrail does not extend horizontally above the landing 12" minimum. See Photograph 3.

At the bottom of the stairway detectable warnings are not provided at the vehicular way. See Photograph 4.
- D. Path of Travel from the Accessible Parking Space to Outdoor Seating: Provide a 48" wide marked crossing with hatched lines at 36" on center maximum and detectable warnings at each side of the vehicular way per CBC Sections 11B-106 & 705.1.
- E. West Exterior Concrete Stairway from Parking Lot to Concession Building: Modify the handrail at the top of the second flight from the southwest exit gate per CBC Section 11B-505.10.2.

Provide detectable warnings at the bottom of the stairway at the vehicular way per CBC Sections 11B-705.1.
- F. Exterior Wood Stair at Concession Building: Provide contrasting stripes per CBC Section 11B-504.4.1, and handrail extensions per CBC Section 11B-505.10.3. Correcting the riser heights is an undue burden.
- G. Exterior Concrete Ramp at the East Side of the Wood Deck: Provide a continuous and uninterrupted barrier providing edge protection on each side of the ramp to prevent wheel entrapment per CBC Section 11B-405.9.
- H. Exterior Wood Stairway at the Southwest Side of the Stage:

Upper Flight: Replace handrails per CBC Section 11B-505 and provide a contrasting stripe at the upper approach per CBC Section 11B-504.4.1.

Provide a 42" high minimum guardrail at the open side of the stair per CBC Section 1015. Correct the slope at the bottom three treads per CBC Section 1011.7.1.

Lower Flight: Replace one handrail per CBC Section 11B-505.

Modify the guardrail at the intermediate landing per CBC Section 1015.

I. Exterior Wood Stairway at the Southeast Side of the Stage:

Upper Flight: Replace handrails per CBC Section 11B-505, provide a contrasting stripe at the upper approach per CBC Section 11B-504.4.1, and provide a 42" high minimum guardrail at the open side of the stair per CBC Section 1015.

Lower Flight: Replace one handrail per CBC Section 11B-505.

Modify the guardrail at the intermediate landing per CBC Section 1015.

J. Guardrail at the Northwest side of the Stage: Modify the guardrail per CBC Section 1015.

K. Exterior Wood Stair at the Northwest side of the Stage: Provide handrails per CBC Section 11B-505 and contrasting stripes at all treads and upper approaches per CBC Section 11B-504.4.1.

Close risers per CBC Section 11B-504.3, modify the guardrail at the top landing per CBC Section 1015.4, and provide a bottom landing per CBC Section 1011.6.

Correcting the height of the riser at the stage and the depth of the top landing is an undue burden.

L. Exterior Asphalt Concrete Ramp at the Northeast Side of the Stage: Modify the handrail extension at the top of the ramp per CBC Section 11B-505.

M. Exterior Asphalt Walking Surface at the Northeast Side of the Stage: Provide a guardrail on the south side of the walking surface per CBC Section 1015.

N. North Exit Gate: Provide an exterior landing per CBC Section 1010.1.5. Correcting the slope of the interior landing is an undue burden.

O. Stair at North Exit Gate: Correcting the slope of the top landing is an undue burden.

P. North Seating Section Aisle Handrails: Modify or provide handrails per CBC Section 11B-505.4.

Q. Handrails at Seating Middle and Southwest Bottom Stair Flights: Modify handrails per CBC Section 11B-505.4.

R. Top Handrail Extensions at Seating Stairs: Modify 5 extensions per CBC Section 11B-505.10.2.

- S. Bottom Handrail Extensions at Seating Stairs: Modify 8 extensions per CBC Section 11B-505.10.3.

Building

- T. Concession Building: Provide a portion of the sales counter surface that is 36" long minimum and 34" high maximum above the floor per CBC Section 11B-904.4.
- U. Men's and Women's Restroom Building: These restrooms are large enough to be accessible multi-fixture restrooms with modifications. Each restroom would lose one fixture and an accessible route from the accessible parking space would be required. This would probably not meet the fixture requirement and is most likely an undue burden, but given the ongoing cost of providing three accessible portable restrooms it may not be.
- V. Restroom at Dressing Room Building: Provide an exterior landing at the entry door to the building per CBC Sections 1010.1.5, and 11B-404.2.4. Adjust the restroom door closer.

- W. Indoor Theater:

Primary Entrances (Performers and Audience): Provide lever hardware per CBC Section 11B-404.2.7.

Interior Doors: Modify or replace two doors so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10, and remove the shelf at the office door.

Interior Ramp: Modify the handrail extension at the top of the ramp per CBC Section 11B-505.

All Interior Stairs: Provide contrasting stripes per CBC Section 11B-504.4.1.

Interior Stair to Seating Area: Provided handrails on both sides of the stair per CBC Section 11B-505. Correcting the stair width is an undue burden.

Seating Aisle: Provided a handrail on the wall side of the aisle per CBC Section 11B-505. Correcting the height of the bottom riser is an undue burden.

Interior Backstage Stair to Dressing Room: Modify the handrails per CBC Section 11B-505.10.3.

Interior Backstage Stair to Exit Landing: Provide a 48" deep minimum landing at the bottom of the stair per CBC Section 1011.6.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



Photograph 16



Photograph 17



Photograph 18



Photograph 19



Photograph 20



Photograph 21



Photograph 22



Photograph 23



Photograph 24



Photograph 25



Photograph 26



Photograph 27



Photograph 28



Photograph 29



Photograph 30



Photograph 31



Photograph 32



Photograph 33



Photograph 34



Photograph 35



Photograph 36



William M. Holl, AIA
Architect • CAsp • Contractor

May 18, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: CASp INSPECTION AND REPORT
Existing Library Building, Harrison Memorial Library, Ocean Street &
Lincoln Street, Carmel-by-the-Sea, California
Inspection Date: April 17, 2018.
APN: 010-139-007

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site paths of travel and drinking fountain, and the building counters, sinks, sanitary facilities, and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CAsp) 509
110 Baja Sol Court
Scotts Valley, CA 95066
bill@wmholl.com
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Distribution: Addressee (2 Hard Copies: Electronic Copy)

1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 1918 was issued by the City of Carmel-by-the-Sea for construction of the building in 1927.

Building Permit No. 1893 was issued by the City of Carmel-by-the-Sea for an addition in 1949.

Building Permit No. 4366 was issued by the City of Carmel-by-the-Sea to alter restrooms and lounge in basement in 1965.

Building Permit No. 74-12 was issued by the City of Carmel-by-the-Sea for structural upgrades per the Filed Act in 1974.

Building Permit No. 76-69 was issued by the City of Carmel-by-the-Sea for a remodel in 1976.

Building Permit No. 89-118 was issued by the City of Carmel-by-the-Sea for a remodel and to provide handicapped access in 1989.

Building Permit No. 00-26 was issued by the City of Carmel-by-the-Sea to remodel the circulation desk in 2000.

2.0 DESCRIPTION OF THE FACILITIES

The building is two stories with multiple levels. There are three restrooms that are not accessible. There is no on site parking, accessible parking is provided by the City of Carmel-by-the-Sea.

The applicable construction-related accessibility standards that apply are the 1989 California Accessibility Standards Interpretive Manual for the permit issued in 1989; the Americans With Disabilities Act (ADA), Standards for Accessible Design and California Building Code (CBC), that were enforced at the time for the permit issued after January 26, 1992; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

A. Path of Travel from Public Sidewalk to Primary Entrance: An accessible route from the public sidewalk to the primary entrance is not provided.

B. Exterior Stone Stairway at Primary Entrance:

A minimum 2" wide to a maximum 4" wide contrasting stripe at all treads and upper approaches are not provided.

Handrails at Upper Flight: The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings. A 12" horizontal extension is not provided at the top of the east handrail. Bottom extensions are not provided. See Photographs 1 & 2.

Handrails at Lower Flight: At the bottom of the stair, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing. See Photographs 3 & 4.

Guardrails at Upper Flight: A 42" high guardrail is not provided at the open side of the stair. The guardrail at the top landing does not have 4" maximum openings. See Photograph 5.

- C. Exterior Stone Stair to Basement Level: The slope of the landing at the top of the stair is not 1:48 (2.08%), maximum. A minimum 2" wide to a maximum 4" wide contrasting stripe at all treads and upper approach are not provided. See photograph 6.
- D. Exterior Stone Bench at Basement Level: A 30" x 48" clear ground space at the end of the bench seat is not provided. The seat is not 20" deep minimum. See Photograph 7.
- E. Exterior Drinking Fountain: See Photograph 8.

The slope of 30" x 48" clear ground space at the drinking fountain is not 1:48 (2.08%), maximum.

The spout outlet is not 36" maximum above the floor.

The spout does not provide a flow of water 4" high minimum.

The drinking fountain is not located within an alcove, between wing walls, or otherwise positioned so as not to encroach into pedestrian ways.

A drinking fountain for a standing person is not provided.

- F. Path of Travel from Public Sidewalk to Entrance at Reading Room Level: The running slope is not 1:20 (5%), maximum. See Photographs 9 & 10.
- G. Exterior Stone Stairway from Ocean St. Public Sidewalk to Primary Entrance:

Upper Flight: The slope of the landing at the bottom of the stair is not 1:48 (2.08%), maximum and the contracting stripes at the tread and upper approach are faded. See Photograph 11.

Lower Flight: The slope of the landings at the top and bottom of the stair are not 1:48 (2.08%), maximum. At the bottom of the stair, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing. See Photograph 12.

- H. Exterior Stone Stairway from Public Sidewalk to Basement Level: Handrails are not provided. A minimum 2" wide to a maximum 4" wide contrasting stripe at all treads and upper approaches are not provided. Uniform tread depths are not provided at the north flight. The slope of the landing at the top of the stair is not 1:48 (2.08%), maximum. See Photographs 13, 14 & 15.
- I. Guardrails at 6th Avenue Public Sidewalk: Guardrails are not 42" high minimum with 4" maximum openings. See Photographs 16.

Building

- J. Primary Lobby Entrance: Opening force is greater than 5 lbs. The threshold is not ½" high maximum. The exterior landing is not 60" deep minimum.
- K. Circulation Desk: A portion of the counter surface that is 36" long minimum and 34" high maximum above the floor extending the same depth as the counter is not provided. The lower counter tops do not protrude 4" maximum into the circulation space.
- L. South Stair to Reference Department from Lobby: See Photograph 17.

Handrails are not provided on both sides of the stair.

The top of the handrail gripping surface is not 34" minimum and 38" maximum above the stair nosings.

At the top of the stair the handrail does not extend horizontally above the landing 12" minimum.

At the bottom of the stair the handrail extends at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing but does not continue with a 12" horizontal extension.

Contrasting stripes are not the full width of the stair or 1" maximum from the nose of the step or upper approaches.

The intermediate landing is not 48" deep minimum.

- M. North Stair to Reference Department from Lobby: See Photograph 18.

Handrails are not provided on both sides of the stair.

The top of the handrail gripping surface is not 34" minimum and 38" maximum above the stair nosings.

At the top of the stair the handrail does not extend horizontally above the landing 12" minimum.

At the bottom of the stair the handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a 12" horizontal extension.

Contrasting stripes are not the full width of the stair or 1" maximum from the nose of the lower step or upper approach.

The handrail gripping surface does not have a perimeter dimension of 4" minimum.

N. South Stair to Reading Room from Lobby: See Photograph 19.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

At the top of the stair the handrails do not extend horizontally above the landing 12" minimum.

At the bottom of the stair handrail extensions are not provided.

Contrasting stripes are not the full width of the stair or 1" maximum from the nose of the bottom step or upper approach.

Handrail gripping surfaces do not have a perimeter dimension of 4" minimum.

O. North Stair to Reading Room from Lobby: See Photograph 20.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

At the top of the stair the handrail does not extend horizontally above the landing 12" minimum.

At the bottom of the stair the handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a 12" horizontal extension.

Contrasting stripes are not the full width of the stair or 1" maximum from the nose of the bottom step or upper approach.

The south handrail gripping surface does not have a perimeter dimension of 4" minimum.

Vertical clearance at the bottom tread is not 80" minimum.

P. Stair to Mezzanine Level from Lobby: See Photograph 21.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

At the top of the stair the handrail does not extend horizontally above the landing 12" minimum.

At the bottom of the stair handrail extensions are not provided.

Contrasting stripes are not the full width of the stair or 1" maximum from the nose of the bottom step or upper approach.

The north handrail gripping surface does not have a perimeter dimension of 4" minimum.

- Q. Computer Station at Lobby Level: Knee clearance is not 27" high minimum. See Photograph 22.

- R. North Exit Door at Lobby: Lever hardware is not provided on the exterior of the door. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.

Opening force is greater than 5 lbs. and closing time is less than 5 seconds. The threshold is not 1/2" high maximum. 12" strike/push side maneuvering clearance is not provided. The switch next to the door is not located 48" maximum to the top of the outlet box.

- S. Stair to Exterior Balcony from Lobby: See Photograph 23.

Handrails and a landing at the top of the stair are not provided

The contrasting stripe is not the full width of the stair or 1" maximum from the nose of the bottom step. There is no upper approach.

The door at the top of the stair swings over the stair and lever hardware is not provided. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.

- T. Exterior Balcony Guardrail: Not 42" high minimum with 4" maximum openings. See Photograph 24.

- U. South Exit Door at Reading Room: See Photograph 25.

Lever hardware is not provided on the exterior of the door. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.

The threshold is not 1/2" high maximum. The ground surface slopes at the required maneuvering clearance on both sides of the door are greater than 1:48 (2.08%).

- V. Reading Room Book Stacks: See Photograph 26.

The north section of stacks is not accessible to persons in a wheelchair. The clear width between columns is not 32" minimum.

South Stacks: The clear width of the aisles serving elements on both sides is not 44" minimum. The height of the stacks is not 54" maximum.

- W. Reference Level and Mezzanine Stacks are not accessible to persons in a wheelchair.

- X. Stair to Basement Level from Reading Room: See Photograph 27.
The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

At the top of the stair the handrail does not extend horizontally above the landing 12" minimum.

At the bottom of the stair handrail extensions are not provided.

Contrasting stripes are not the full width of the stair or 1" maximum from the nose of the bottom step or upper approach.

The landing at the top of the stair is not 48" deep minimum.

- Y. The Basement Level is not accessible to persons in a wheelchair and lever hardware is provided at all but one office door. The three restrooms located on the basement level are not accessible.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance: Providing an accessible route from the public sidewalk to the primary entrance is an undue burden.

- B. Exterior Stone Stairway at Primary Entrance:

Provide contrasting stripes per CBC Section 11B-504.4.1.

Handrails at Upper Flight: Replace or modify handrails per CBC Section 11B-505.

Handrails at Lower Flight: Modify handrails per CBC Section 11B-505.10.3.

- Guardrails at Upper Flight: Replace or modify guardrails per CBC Section 1015.
- C. Exterior Stone Stair to Basement Level: Provide contrasting stripes per CBC Section 11B-504.4.1. Correcting the slope of the landing at the top of the stair is an undue burden.
 - D. Exterior Stone Bench at Basement Level: Making the Basement Level accessible to persons in a wheelchair is an undue burden.
 - E. Exterior Drinking Fountain: Replace the drinking fountain per CBC Section 11B-602.
 - F. Path of Travel from Public Sidewalk to Entrance at Reading Room Level: Making the path of travel accessible is an undue burden.
 - G. Exterior Stone Stairway from Ocean St. Public Sidewalk to Primary Entrance:

Upper Flight: Provide contrasting stripes per CBC Section 11B-504.4.1. Correcting the slope of the landing at the bottom of the stair is an undue burden.

Lower Flight: Modify handrails per CBC Section 11B-505.10.3. Correcting the slope of the landings at the top and bottom of the stair is an undue burden.
 - H. Exterior Stone Stairway from Public Sidewalk to Basement Level: Provide handrails per CBC Section 11B-505. Provide contrasting stripes per CBC Section 11B-504.4.1. Correcting the tread depth at the north flight and the slope of the landing at the top of the stair is an undue burden.
 - I. Guardrails at 6th Avenue Public Sidewalk: Replace or modify guardrails per CBC Section 1015.

Building

- J. Primary Lobby Entrance: Replace threshold per CBC Section 11B-404.2.5. Adjust door closer. Correcting the depth of the exterior landing is an undue burden.
- K. Circulation Desk: Modify or replace the counter per CBC Sections 11B-204 and 11B-904.4.
- L. South Stair to Reference Department from Lobby: Remove the existing handrail and provide handrails on both sides of the stair per CBC Section 11B-505. Provide contrasting stripes per CBC Section 11B-504.4.1. Correcting the depth of the intermediate landing is an undue burden.
- M. North Stair to Reference Department from Lobby: Remove the existing handrail and provide handrails on both sides of the stair per CBC Section 11B-505. Provide contrasting stripes per CBC Section 11B-504.4.1.

- N. South Stair to Reading Room from Lobby: Replace handrails per CBC Section 11B-505. Provide contrasting stripes per CBC Section 11B-504.4.1.
- O. North Stair to Reading Room from Lobby: Replace or modify handrails per CBC Section 11B-505. Provide contrasting stripes per CBC Section 11B-504.4.1. Correcting the vertical clearance at the bottom tread is an undue burden.
- P. Stair to Mezzanine Level from Lobby: Replace or modify handrails per CBC Section 11B-505. Provide contrasting stripes per CBC Section 11B-504.4.
- Q. Computer Station at Lobby Level: Provide knee clearance per CBC Section 11B-306.
- R. North Exit Door at Lobby: It is recommended that this door be made an accessible entrance with directional signs at the primary entrance per California Historical Building Code Section 8-603.2.

Provide lever hardware on the exterior of the door per CBC Section 11B-404.2.7. Modify or replace the door to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10.

Replace threshold per CBC Section 11B-404.2.5. Provide 12" strike/push side maneuvering clearance per CBC Section 11B-404.2.4. Relocate the switch next to the door per CBC Section 11B-308. Adjust door closer.

- S. Stair to Exterior Balcony from Lobby: It is recommended that this door be locked and identified as for maintenance personnel only. Access to the balcony will be from the Reference Dept. Level only.
- T. Exterior Balcony Guardrail: Modify or replace guardrail per CBC Section 1015.
- U. South Exit Door at Reading Room: This door is used as an accessible entrance with a pushbutton nearby to notify an attendant to assist persons with disabilities. See Photograph 28.

Provide directional signs at the primary entrance per California Historical Building Code Section 8-603.2.

Provide lever hardware on the exterior of the door per CBC Section 11B-404.2.7. Modify or replace the door to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10.

Correcting the threshold height and the ground surface slopes at the required maneuvering clearance on both sides of the door is an undue burden.

- V. Reading Room Book Stacks:

Making the north section of stacks accessible to persons in a wheelchair is an undue burden.

South Stacks: There is a pushbutton on the south end of the stacks to notify an attendant to assist persons with disabilities. See Photograph 29.

Per CBC Section 11B-225.2.3, book stacks available for public use may be higher than 54" maximum when an attendant is available to assist persons with disabilities. This also applies to the width of the aisles per CBC Section 11-103, Equivalent Facilitation, because it provides substantially equivalent accessibility and usability.

- W. Making the Reference Level and Mezzanine Stacks accessible is an undue burden.
- X. Stair to Basement Level from Reading Room: Replace or modify handrails per CBC Section 11B-505. Provide contrasting stripes per CBC Section 11B-504.4.1. Correcting the depth of the landing at the top of the stair is an undue burden.
- Y. Making the Basement Level and the three restrooms located on the Basement Level accessible to persons in a wheelchair is an undue burden. Provide lever hardware at one office door per CBC Section 11B-404.2.7.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



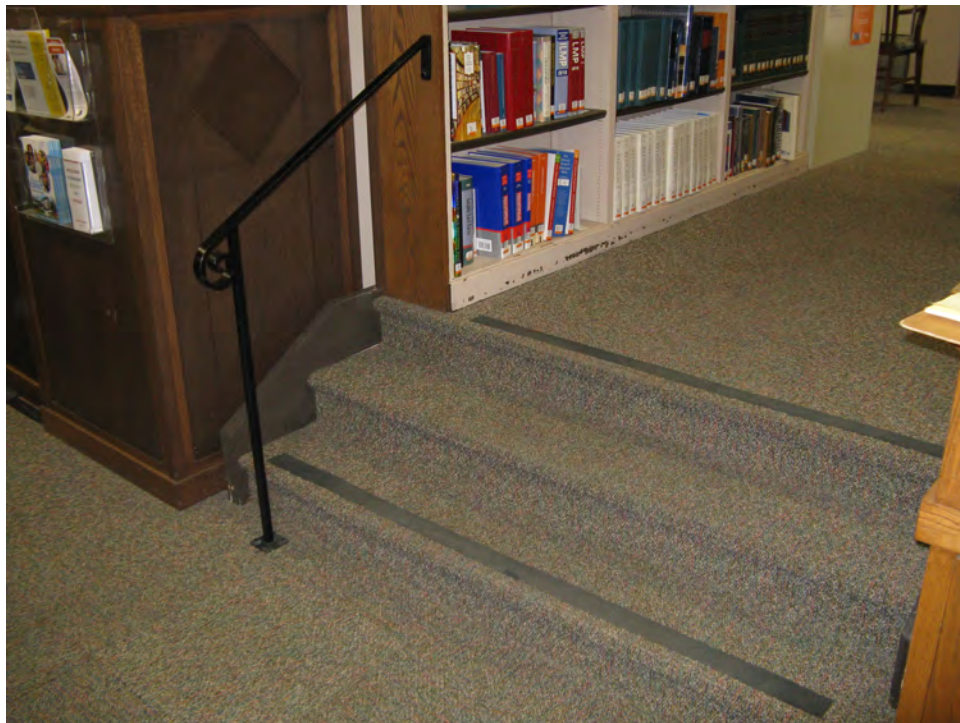
Photograph 15



Photograph 16



Photograph 17



Photograph 18



Photograph 19



Photograph 20



Photograph 21



Photograph 22



Photograph 23



Photograph 24



Photograph 25



Photograph 26



Photograph 27



Photograph 28



Photograph 29



William M. Holl, AIA
Architect • CASp • Contractor

June 11, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: CASp INSPECTION AND REPORT
Existing Library Building, Harrison Children's Library, Mission Street &
6th Avenue, Carmel-by-the-Sea, California
Inspection Date: May 22, 2018.
APN: 010-098-018

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site accessible parking, signage, and paths of travel and the building counter, sanitary facilities, drinking fountain, and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CASp) 509
110 Baja Sol Court
Scotts Valley, CA 95066
bill@wmholl.com
831.345.5395 phone
831.438.3762 fax
wmholl.com

Distribution: Addressee (2 Hard Copies: Electronic Copy)

1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 71-121 was issued by the City of Carmel-by-the-Sea for construction of the building in 1971.

Building Permit No. 86-21 was issued by the City of Carmel-by-the-Sea for an interior remodel, Crocker Bank in 1986.

Building Permit No. 88-88 was issued by the City of Carmel-by-the-Sea for a remodel and restroom upgrades for Children's Library and Offices.

2.0 DESCRIPTION OF THE FACILITIES

The building is one story with three accessible restrooms and two accessible parking spaces. One of the accessible restrooms is for children only.

The applicable construction-related accessibility standards that apply are the 1986 California Accessibility Standards Interpretive Manual for the permit issued in 1986; the 1987 California Accessibility Standards Interpretive Manual for the permit issued in 1988; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance: An accessible concrete ramp from the public sidewalk to the primary entrance is provided. See Photographs 1 & 2.

The bottom landing has a slope steeper than 1:48 (2.08%). Handrail extensions at the bottom of the ramp are not provided. The top of the handrail-gripping surface at one handrail extension at the top of the ramp is not 34" minimum and 38" maximum above the ground.

- B. East Accessible Parking Space: See Photographs 3 & 4.

The parking space is not 9'-0" wide minimum and the access aisle is not 5'-0" wide minimum.

Ground surface slopes at the parking space and access aisle are greater than 1:48 (2.08%).

The access aisle does not extend the full required length of the parking space.

The words "NO PARKING" are not painted within the access aisle.

The lower corner of the International Symbol of Accessibility painted on the parking space is not at the end of the parking space length.

The parking space is not van accessible.

The identification sign is not 60" minimum above the ground measured to the bottom of the sign.

An additional sign below the identification sign that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

Changes in level at the path of travel from the access aisle to the public sidewalk are greater than 1/2".

C. West Accessible Parking Space: See Photographs 5 & 6.

The parking space is not 9'-0" wide minimum and the access aisle is not 5'-0" wide minimum.

The access aisle does not extend the full required length of the parking space.

The words "NO PARKING" are not painted within the access aisle.

The lower corner of the International Symbol of Accessibility painted on the parking space is not at the end of the parking space length.

The parking space is not van accessible.

The identification sign is not 60" minimum above the ground measured to the bottom of the sign.

An additional sign below the identification sign that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

The running slope at the path of travel from the access aisle to the public sidewalk is greater than 1:20 (5%), and the cross slope is greater than 1:48 (2.08%).

D. Exterior Concrete Stair at the Primary Entrance: The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings. Handrail extensions are not provided. The bottom landing has a slope steeper than 1:48 (2.08%). See Photograph 7.

E. Exterior Concrete Stair at Southeast Exit: See Photograph 8.

A minimum 2" wide to a maximum 4" wide contrasting stripe at the upper approach and all treads are not provided.

Handrails are not provided on both sides of the stair.

The top of the handrail gripping surface is not 34" minimum and 38" maximum above the stair nosings.

At the top of the stair the handrail does not extend horizontally above the landing 12" minimum from the first riser nosing.

At the bottom of the stair, the handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

The bottom tread and landing have slopes steeper than 1:48 (2.08%).

Building

- F. Primary Entrance: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. Opening force is greater than 5 lbs. and closing time is less than 5 seconds. See Photograph 9.

- G. Public Restroom (South): See Photographs 10 & 11.

Entry Door: A clear width of 32 inches minimum is not provided. A unisex geometric symbol is not provided on the exterior of the door. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.

48" minimum maneuvering clearance perpendicular to the push side of the door is not provided. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.

Grab Bars: The front end of the sidewall grab bar is not 24" minimum in front of the toilet. The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Sanitary Napkin Dispenser: Operable part is not 40" maximum above the floor.

Hand Dryer: Operable part is not 40" maximum from the floor and the unit does not protrude 4" maximum into the circulation path.

- H. Employee Restroom (North): See Photographs 12 & 13.

Entry Door: A clear width of 32 inches minimum is not provided. A unisex geometric symbol is not provided on the exterior of the door. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.

48" minimum maneuvering clearance perpendicular to the push side of the door is not provided. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall. 60" minimum by 56" minimum clearance around the toilet is not provided. A minimum 60" wide and 48" deep maneuvering space in front of the toilet is not provided. Flush control is not located on the open side of the toilet.

Grab Bars: The front end of the sidewall grab bar is not 24" minimum in front of the toilet. The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Hand Dryer: Operable part is not 40" maximum from the floor and the unit does not protrude 4" maximum into the circulation path.

I. Children's Restroom: See Photographs 14 & 15.

Entry Door: A clear width of 32 inches minimum is not provided. A unisex geometric symbol is not provided on the exterior of the door. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. On the pull side of the door, 18" minimum maneuvering clearance parallel to the doorway on the latch side is not provided.

Toilet: A minimum 60" wide and 48" deep maneuvering space in front of the toilet is not provided. Flush control is not located on the open side of the toilet.

Grab Bars: The front end of the sidewall grab bar is not 24" minimum in front of the toilet. A rear grab bar is not provided.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet.

Lavatory: The centerline of the lavatory is not 18" minimum from the sidewall. Knee clearance under the lavatory is not 24" minimum above the floor.

Hand Dryer: Operable part is not 40" maximum from the floor and the unit does not protrude 4" maximum into the circulation path.

Switch: Not located 44" maximum to the top of the outlet box.

J. Drinking fountain: See Photograph 16.

The spout location is not 15" minimum from the vertical support or 5" maximum from the front edge of the unit.

The drinking fountain alcove is not 32" wide minimum.

A drinking fountain for children is not provided.

A drinking fountain for a standing person is not provided.

- K. Interior Door to Youth Services Room from Lobby: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. On the push side of the door, 12" minimum maneuvering clearance parallel to the doorway on the latch side is not provided. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.
- L. Interior Double-Leaf Door to Local History Room from Lobby: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. One of the leaves does not provide a clear width of 32 inches minimum.
- M. Interior Door to Archive Room from Youth Services Room: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. On the pull side of the door, 18" minimum maneuvering clearance parallel to the doorway on the latch side is not provided.
On the push side of the door, 12" minimum maneuvering clearance parallel to the doorway on the latch side is not provided. The dead bolt is not 34" minimum and 44" maximum above the floor. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.
- N. Interior Door to Administration Office from Lobby: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.
- O. Interior Door to Employee Area from Hallway: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.
- P. Interior Doors in Employee Areas: At three doors a clear width of 32 inches minimum is not provided, and at four doors the door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.
- Q. Employee Break Room Sink Counter: The counter surface is not 34" maximum above the floor. Knee and toe clearance under the sink is not provided. The operable part of the paper towel dispenser is not 40" maximum above the floor.
- R. North Exit Door: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. The opening force is greater than 5 pounds and the closing speed is less than 5 seconds. The ground surface slopes at the required maneuvering clearance at the exterior of the door are greater than 1:48 (2.08%).
- S. East Double-Leaf Exit Door: The threshold is not 1/2" high maximum. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. The opening force is greater than 5 pounds and the closing speed is less than 5 seconds. The ground surface slopes at the required maneuvering clearance at the exterior of the door are greater than 1:48 (2.08%).

- T. Southeast Exit Door: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. On the push side of the door, 12" minimum maneuvering clearance parallel to the doorway on the latch side is not provided, and 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided. The opening force is greater than 5 pounds and the closing speed is less than 5 seconds.
- U. Circulation Desk: A portion of the counter surface that is 36" long minimum and 34" high maximum above the floor extending the same depth as the counter is not provided. The common use circulation path to the employee side of the counter is not 36" wide minimum. See Photographs 17 & 18.
- V. Book Stacks: The clear width of the aisles serving elements on both sides is not 44" minimum. The height of the some stacks are not 54" maximum. See Photographs 19 & 20.
- W. Stair to Basement Utility Room: A minimum 2" wide to a maximum 4" wide contrasting stripe at the lower tread and upper approach are not provided. Handrail extensions are not provided.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance: Provide handrail extensions at the bottom of the ramp and modify one handrail extension at the top of the ramp per CBC Section 11B-505. Correcting the slope at the bottom landing is an undue burden.

B & C. Accessible Parking Spaces: Due to the fact that the ground surface slopes at the east parking space and access aisle are greater than 1:48 (2.08%), and the running slope at the path of travel from the access aisle to the public sidewalk is greater than 1:20 (5%), at the west parking space, it is recommended that all markings and signage be removed from these spaces and access aisles and a ramp or stair be provided where the slope of the decorative pavers adjacent to 6th Ave. exceeds 1:20 (5%), per CBC Sections 11B-406 & 504.

Only one accessible space is required based on the number of spaces provided. It is recommended that a van accessible parking space and access aisle be located at the two spaces located at the west end of the parking lot adjacent to Mission Street.

Paint van accessible markings and international symbol of accessibility per CBC Sections 11B-502.1, 502.3 and 502.6.

Provide "Van Accessible" Identification sign per CBC Section 11B-502.6, "Minimum Fine" sign per CBC Section 11B-502.6, and "Tow Away" sign per CBC Section 11B-502.8.

Verify that the surface slopes at the parking space and access aisle are not greater than 1:48 (2.08%), in any direction per CBC Section 11B-502.4.

Provide a 48" wide painted hatched path of travel from the access aisle to the public sidewalk per CBC Section 11B-403.

D. Exterior Concrete Stair at the Primary Entrance: Replace or modify handrails per CBC Section 11B-505. Correcting the slope at the bottom landing is an undue burden.

E. Exterior Concrete Stair at Southeast Exit:

Provide contrasting stripes at the upper approach and all treads per CBC Section 11B-504.4.1.

Provide handrails on both sides of the stair per CBC Section 11B-505.

Replace the bottom tread per CBC Section 1011.7.1.

Correcting the slope at the bottom landing is an undue burden.

Building

F. Primary Entrance: Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer.

G. Public Restroom (South):

Entry Door: Install offset hinges to provide a clear width of 32 inches minimum per CBC Section 11B-404.2.3. Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer. Providing the required clearance on the push side of the door is an undue burden.

Grab Bars: Relocate grab bars per CBC Section 11B-604.5.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Sanitary Napkin Dispenser: Relocate per CBC Section 11B-603.5.

Hand Dryer: Replace per CBC Sections 11B-204 & 603.5.

H. Employee Restroom (North):

Entry Door: Install offset hinges to provide a clear width of 32 inches minimum per CBC Section 11B-404.2.3. Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer. Providing the required clearance on both sides of the door is an undue burden.

Toilet: Replace the tank with the flush control located on the open side of the toilet per CBC Section 11B-604.6. Relocating the toilet and providing the required clearances around and in front of the toilet is an undue burden.

Grab Bars: Relocate grab bars per CBC Section 11B-604.5.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Hand Dryer: Replace per CBC Sections 11B-204 & 603.5.

I. Children's Restroom:

Entry Door: Install offset hinges to provide a clear width of 32 inches minimum per CBC Section 11B-404.2.3. Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer.

Providing the required clearance on the pull side of the door is an undue burden.

Toilet: Replace the tank with the flush control located on the open side of the toilet per CBC Section 11B-604.6. Providing the required clearance in front of the toilet is an undue burden.

Grab Bars: Relocate the sidewall grab bar and provide a rear grab bar per CBC Section 11B-604.5.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Lavatory: Modify the counter to provide knee clearance per CBC Section 11B-606.2, Exc. 4. Relocating the lavatory is an undue burden.

Hand Dryer: Replace per CBC Sections 11B-204 & 603.5.

Switch: Relocate per CBC Section 11B-308.1.

- J. Drinking fountain: Modify the existing alcove and provide a dual fountain per CBC Section 11B-602. Provide a countertop drinking fountain in the Children's Restroom per CBC Section 11B-602.2, Exc.
- K. Interior Door to Youth Services Room from Lobby: Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Modify or replace the security gate to provide the required clearance on the push side of the door per CBC Section 11B-404.2.4. Adjust the door closer.
- L. Interior Double-Leaf Door to Local History Room from Lobby: Replace the doors so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the doors per CBC Section 11B-404.2.10, and one of the leaves provides a clear width of 32 inches minimum per CBC Section 11B-404.2.2.
- M. Interior Door to Archive Room from Youth Services Room: Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Relocate the dead bolt per CBC Section 11B-404.2.7. Adjust the door closer.
Providing the required clearance on both sides of the door is an undue burden.
- N. Interior Door to Administration Office from Lobby: Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10.
- O. Interior Door to Employee Area from Hallway: Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer.

- P. Interior Doors in Employee Areas: If necessary, as a reasonable accommodation for an employee in a wheelchair per ADA Title I, install offset hinges at three doors to provide a clear width of 32 inches minimum per CBC Section 11B-404.2.3, and Modify or replace four doors so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10.
- Q. Employee Break Room Sink Counter: If necessary, as a reasonable accommodation for an employee in a wheelchair per ADA Title I, replace the sink counter per CBC Section 11B-606 and relocate the paper towel dispenser CBC Section 11B-603.5.
- R. North Exit Door: Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer. Correcting the ground surface slopes at the exterior of the door is an undue burden.
- S. East Double-Leaf Exit Door: Replace the threshold per CBC Section 11B-404.2.5. Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer. Correcting the ground surface slopes at the exterior of the door is an undue burden.
- T. Southeast Exit Door: Modify or replace the door so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closer. Providing the required clearance on both sides of the door is an undue burden.
- U. Circulation Desk: Modify the counter per CBC Section 11B-904.4, and provide the required width at the common use circulation path to the employee side of the counter per CBC Section 11B-206.2.8.
- V. Book Stacks: There is an attendant to assist persons with disabilities at the circulation desk located near the stacks. Per CBC Section 11B-225.2.3, book stacks available for public use may be higher than 54" maximum when an attendant is available to assist persons with disabilities. This also applies to the width of the aisles per CBC Section 11-103, Equivalent Facilitation, because it provides substantially equivalent accessibility and usability.
- W. Stair to Basement Utility Room: As a precaution to protect employees accessing the basement, provide contrasting stripes at the upper approaches and lower treads per CBC Section 11B-504.4.1, and handrails extensions per CBC Section 11B-505.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



Photograph 16



Photograph 17



Photograph 18



Photograph 19



Photograph 20



William M. Holl, AIA
Architect • CASp • Contractor

August 22, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CASp INSPECTION AND REPORT**
Existing Restroom Building and Park, Picadilly Park, Delores Street
between Ocean Avenue and 7th Avenue, Carmel-by-the-Sea, California
Inspection Date: July 6, 2018.
APN: 010-147-019

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site drinking fountain and paths of travel and the building sanitary facilities and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CASp) 509
110 Baja Sol Court
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bill@wmholl.com
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831.438.3762 fax
wmholl.com

Distribution: Addressee (2 Hard Copies: Electronic Copy)

1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 98-36 was issued by the City of Carmel-by-the-Sea to redesign the park as approved by Forestry and City Council in 1998.

2.0 DESCRIPTION OF THE FACILITIES

Picadilly Park is a small urban park with wood benches and concrete paver walkways and courtyards. There is one small building on site with one accessible restroom. There is no parking on site. Accessible parking is provided by the City of Carmel-by-the-Sea.

The applicable construction-related accessibility standards that apply are the Americans With Disabilities Act (ADA), Standards for Accessible Design and California Building Code (CBC), that were enforced at the time for the permit issued in 1998; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Benches and Restroom Building
Primary Entrance: See Photograph 1.
 - 1. Near the restroom building the running slope of the concrete paver walkway is not 1:20 (5%), maximum and the cross slope is not 1:48 (2.08%), maximum.
- B. Benches: See Photographs 2 & 3.
 - 1. The benches have arms that prevent transferring from a wheelchair.
 - 2. The seats are not 20" deep minimum and the top of the seat is not 17" minimum and 19" maximum above the ground.
- C. Drinking Fountain: See Photograph 4
 - 1. The spout outlet is not 36" maximum above the floor.
 - 2. A drinking fountain for a standing person is not provided.

Building

- D. Restroom: See Photographs 5 & 6.
1. Entry Door: A geometric symbol is not provided on the exterior of the door. The slope of the exterior walk surface within the required maneuvering clearance is not 1:48 (2.08%) maximum.
 2. Toilet: The seat height is not 17" minimum and 19" maximum above the floor.
 3. Grab Bars: The sidewall grab bar is not 42" long minimum and front end is not 24" minimum in front of the toilet.
 4. Lavatory: The front of the rim is not 34" maximum above the floor.
 5. Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser. Does not protrude 4" maximum into the circulation path.
 6. Seat Cover Dispenser: Operable part is not 40" maximum above the floor.
 7. Mirror: The edge of the reflecting surface is not 40" maximum above the floor.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

- A. Path of Travel from Public Sidewalk to Benches and Restroom Building
Primary Entrance: See Photograph 1.
1. Correct the cross slope of the concrete paver walkway per CBC Section 11B-403.3 and provide edge protection and handrails where the running slope of the concrete pavers exceeds 1:20 (5%), per CBC Sections 11B-405.9 &

11B-505. Correcting the running slope and providing ramp landings is an undue burden.

B. Benches: See Photographs 2 & 3.

1 & 2. Provide at least one bench that meets the requirements of CBC Section 11B-903.

C. Drinking Fountain: See Photograph 4

1 & 2. Replace the drinking fountain per CBC Section 11B-602.

Building

D. Restroom: See Photographs 5 & 6.

1. Entry Door: Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6.3. Correcting the slope of the exterior walk surface within the required maneuvering clearance is an undue burden.

2. Toilet: Replace the seat per CBC Section 11B-604.4.

3. Grab Bars: Replace the sidewall grab bar per CBC Section 11B-604.5.1.

4. Lavatory: Relocate the per CBC Section 11B-606.3.

5. Toilet Paper Dispenser: Replace the dispenser per CBC Sections 11B-604.7 and 204.

6. Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

7. Mirror: Relocate per CBC Section 11B-603.3.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



William M. Holl, AIA
Architect • CASp • Contractor

May 25, 2018 (Revised August 13, 2018)

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CASp INSPECTION AND REPORT**
Existing Municipal Building, Police Department and Public Services
Building, Junipero Avenue and 4th Avenue, Carmel-by-the-Sea,
California. Inspection Date: May 1, 2018.
APN: 010-096-013-000

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site accessible parking, signage, and paths of travel and the building counters, sinks, sanitary facilities, and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CASp) 509
110 Baja Sol Court
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bill@wmholl.com
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wmholl.com

Distribution: Addressee (2 Hard Copies: Electronic Copy)

1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 4458 was issued by the City of Carmel-by-the-Sea for construction of the buildings in 1966.

Building Permit No. 74-163 was issued by the City of Carmel-by-the-Sea for an addition to the front of existing office at south side in 1974.

Building Permit No. 82-118 was issued by the City of Carmel-by-the-Sea for an addition of an office to existing Public Works Department in 1982.

Building Permit No. 82-127 was issued by the City of Carmel-by-the-Sea for an interior alteration of Police Department in 1982.

Building Permit No. 84-6 was issued by the City of Carmel-by-the-Sea to remodel lunchroom in 1984.

Building Permit No. 90-234 was issued by the City of Carmel-by-the-Sea for a Public Works Facility office remodel in 1990.

Building Permit No. 00-229 was issued by the City of Carmel-by-the-Sea for a parking stall installation in 2000.

2.0 DESCRIPTION OF THE FACILITIES

The Public Services Building is one story with no restrooms. The Police Department Building is three stories with one accessible restroom. The Emergency Operations and Basement Levels below the main level are not accessible to persons in a wheelchair. There are no accessible parking spaces provided on site. A parallel parking space on 4th Avenue adjacent to the site is identified as accessible.

The applicable construction-related accessibility standards that apply are the California 1984 Disabled Access Regulations Interpretive Manual for the building permit issued in 1984; the 1989 California Accessibility Standards Interpretive Manual for the permit issued in 1990; the Americans With Disabilities Act (ADA), Standards for Accessible Design and California Building Code (CBC), that were enforced at the time for the permit issued after January 26, 1992; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Police Department Primary Entrance: An accessible route from the public sidewalk to the primary entrance is not provided.

- B. Parallel Parking Space on 4th Ave. Identified as Accessible: See Photograph 1.

The parking space is not 9'-0" wide minimum.

Ground surface slopes are greater than 1:48 (2.08%).

An access aisle is not provided.

The lower side of the International Symbol of Accessibility painted on the parking space is not at the end of the parking space length.

The parking space is not van accessible.

An additional sign below the identification sign that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

- C. Path of Travel from Public Sidewalk to Police Department North Accessible Entrance: The crosswalk is not 48" wide minimum. The running slope is not 1:20 (5%), maximum, and the cross slope is not 1:48 (2.08%), maximum. See Photograph 2.

- D. Exterior Concrete Stairway at Police Department Primary Entrance, Three Flights: See Photograph 3.

Handrails are not provided on both sides of the stair.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings and top landings.

At the bottom of each flight, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

The slope of the landing at the bottom of the stairway is not 1:48 (2.08%), maximum. See Photograph 4.

- E. Walking Surface from Public Sidewalk to Stairway: The running slope is not 1:20 (5%), maximum, and the cross slope is not 1:48 (2.08%), maximum. See Photograph 5.

- F. Exterior Concrete Stair at Police Department Roof Deck: See Photograph 6.

Contrasting stripes are not provided.

Riser heights are not 7" high maximum.

Handrails are not provided on both sides of the stair or at the step to the roof deck.

Guardrails are not provided at the top landing or edge of the roof deck.

The top of the handrail gripping surface is not 34" minimum and 38" maximum above the stair nosings and top landing.

At the bottom of the stair, the handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

- G. Exterior Concrete Stairway to South Plaza: See Photograph 7.

Handrails are not provided on both sides of the stair.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

At the bottom of each flight, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

- H. Exterior Wood Benches at Plazas: Back supports are not provided. See Photograph 8.

- I. Path of Travel from Public Sidewalk to Public Services Primary Entrance: The cross slope is not 1:48 (2.08%), maximum. See Photograph 9.

- J. Exterior Composite Bench at Public Services Primary Entrance: A 30" x 48" clear ground space positioned at the end of the bench seat parallel to the short axis of the bench is not provided. The seat is not 20" deep minimum and the back support is not 18" high minimum. See Photograph 10.

- K. Exterior Concrete Stair at Public Services Building: See Photograph 11.

Treads are not 11" deep minimum.

A minimum 2" wide to a maximum 4" wide contrasting stripe at the all treads and upper approach are not provided.

Handrails are not provided on both sides of the stair.

The handrail gripping surface does not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings and top landing.

At the bottom of the stair, the handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

The slope of the landing at the top of the stair is not 1:48 (2.08%), maximum.

The door opening onto the bottom landing reduces the landing to less than one-half the required width.

Building
Police Department

- L. Primary Lobby Entrance: See Photograph 12.
The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. Opening force is greater than 5 lbs. and closing time is less than 5 seconds for the active leaf. The threshold is not ½" high maximum. The intercom button adjacent to the door is not 48" maximum above the ground.
- M. Lobby Interior Door: On the pull side of the door, 18" minimum maneuvering clearance parallel to the doorway on the latch side is not provided.
- N. Lobby Counter: A portion of the counter surface that is 36" long minimum and 34" high maximum above the floor is not provided. The counter does not protrude into the circulation space 4" maximum. See Photograph 13.
- O. North Accessible Entrance: See Photograph 14.
At the exterior of the door, ground surface slopes within required maneuvering clearances are greater than 1:48 (2.08%). Opening force is greater than 5 lbs. and closing time is less than 5 seconds.
- P. Main Level Public Restroom: See Photographs 15 & 16.

Entry Door: A geometric symbol is not provided on the exterior of the door.

Toilet: 60" minimum by 56" minimum clearance around the toilet is not provided. A minimum 60" wide and 48" deep maneuvering space is not provided in front of the toilet.

Grab Bars: The top of the gripping surface of both grab bars is not 33" minimum and 36" maximum above the floor. The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Lavatory: The supply and drain lines under the lavatory are not insulated.

- Q. North Counter at Dispatch: A portion of the counter surface that is 36" long minimum and 34" high maximum above the floor is not provided. See Photograph 17.
- R. Main Level Interior Doors: Lever hardware is not provided at seven interior doors. The doors to the Detective Office and Dispatch do not provide a clear width of 32 inches minimum.

At the doors to the Intake and Interview Rooms, 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided. The top slide latch at the Interview Room door is not 48" maximum above the floor. See Photograph 18.

S. Intake Room:

Counter: A portion of the counter surface that is 36" long minimum and 34" high maximum above the floor is not provided. The common use circulation path to the employee side of the counter is not 36" wide minimum. See Photograph 19.

Benches: The bench seats are not 20" minimum deep. See Photograph 20.

Exterior Door: Lever hardware is not provided and the threshold is not ½" high maximum.

T. Interview Room Bench: A 30" x 48" clear floor space positioned at the end of the bench seat parallel to the short axis of the bench is not provided. The seat is not 20" deep minimum. See Photograph 21.

U. Break Room Sink Counter: Knee and toe clearance under the sink is not provided. See Photograph 22.

V. Main Level Women's Restroom, Shower, and Locker Room: These rooms are not accessible to persons in a wheelchair. Lever hardware is not provided at the entry door to either room. Opening force is greater than 5 lbs. and closing time is less than 5 seconds at the Restroom entry door.

W. Main Level Men's Restroom, Shower, and Locker Room: These rooms are not accessible to persons in a wheelchair. Opening force is greater than 5 lbs. and closing time is less than 5 seconds at the entry doors to each room.

X. Stairway to Emergency Operations and Basement Levels, Three Flights: See Photographs 23 & 24.

Handrails are not provided on both sides of the stair.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

Handrail gripping surfaces do not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

At the upper flight riser heights are not 7" high maximum.

At the top of the stair the handrail does not extend horizontally above the landing 12" minimum.

At the bottom of the stair, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

Lever hardware is not provided at the doors to the pistol range, emergency operations center and at the top and bottom of the stair.

At the doors at the top and bottom of the stair, the opening force is greater than 5 pounds and the closing speed is less than 5 seconds.

At the door at the bottom of the stair, 12" minimum maneuvering clearance parallel to the doorway on the latch side is not provided.

- Y. Emergency Operations Center and Restroom: These rooms are not accessible to persons in a wheelchair. Lever hardware is not provided at the entry doors to these rooms. Lever faucets are not provided at the lavatory in the restroom.
- Z. Basement Level Women's Restroom, Shower, and Locker Room: These rooms are not accessible to persons in a wheelchair. Door opening force is greater than 5 lbs. and closing time is less than 5 seconds at the entry door. Lever faucets are not provided at the lavatory. The curtain rod is not 80" minimum above the floor.
- AA. Basement Level Men's Restroom, Shower, and Locker Room: These rooms are not accessible to persons in a wheelchair. Opening force is greater than 5 lbs. and closing time is less than 5 seconds at the entry doors.
- BB. Basement Level West Exit Door: Opening force is greater than 5 lbs. and closing time is less than 5 seconds.
- CC. Basement Level East Exit Doors: Opening force is greater than 5 lbs. and closing time is less than 5 seconds.
- DD. Basement Level Interior Doors: Lever hardware is not provided at eight interior doors.

Public Services Building

- EE. Primary Entrance and Vestibule: Opening force is greater than 5 lbs. and closing time is less than 5 seconds at both doors. The distance between the two doors is not 48" minimum plus the width of the door swinging into the space. See Photograph 25.
- FF. Reception Counter: The upper counter does not protrude into the circulation space 4" maximum. The common use circulation path to the employee side of the counter is not 36" wide minimum. See Photograph 26.
- GG. South Exit Door: Lever hardware is not provided and the threshold is not 1/2" high maximum.
- HH. Interior Office Door: Lever hardware is not provided and a clear width of 32 inches minimum is not provided.
- II. East Exit Door: Lever hardware is not provided and the opening force is greater than 5 lbs. and closing time is less than 5 seconds.
- JJ. Stair to Garage: See Photograph 27.

Risers are open.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

At the top of the stair the handrail does not extend horizontally above the landing 12" minimum.

At the bottom of the stair, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

42" high guardrails are not provided at the open sides of the stair and landing.

The guardrail at the upper landing does not have 4" maximum openings.

- KK. West Exit Door From Garage: Lever hardware is not provided.
- LL. East Exit Door From Garage: Lever hardware is not provided and the opening force is greater than 5 lbs. and closing time is less than 5 seconds.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

- A. Path of Travel from Public Sidewalk to Police Department Primary Entrance: The only means of access between the public sidewalk and the primary entrance is a stairway. Providing an accessible route is an undue burden.
- B. Parallel Parking Space on 4th Ave. Identified as Accessible: Parallel street parking spaces do not meet the requirements of an accessible parking space. Remove the identification sign and markings at the parallel parking space and provide a van accessible parking space in the on site parking lot per CBC Sections 11B-208 and 502.
- C. Path of Travel from Public Sidewalk to Police Department North Accessible Entrance: Provide a ramp from the public sidewalk where the crosswalk running slope exceeds 1:20 (5%) per CBC Section 11B-405.

Paint the crosswalk 48" wide minimum and verify that the running slope is 1:20 (5%), maximum, and the cross slope is 1:48 (2.08%), maximum per CBC Section 11B-403.

- D. Exterior Concrete Stairway at Police Department Primary Entrance, Three Flights: Locating handrails along the most direct path of egress travel instead of on both sides of the stair is allowed at monumental stairs per CBC Section 1014.9. Modify or replace handrails per CBC Section 11B-505. Correcting the slope of the landing at the bottom of the stairway is an undue burden.
- E. Walking Surface from Public Sidewalk to Stairway: Correcting the running and cross slopes is an undue burden.
- F. Exterior Concrete Stair at Police Department Roof Deck: Remove the stair entirely or provide handrails per CBC Section 11B-505, contrasting stripes per CBC Section 11B-504.4.1, and guardrails at the top landing and edge of the roof deck per CBC Section 1015. Correcting the riser heights is an undue burden.
- G. Exterior Concrete Stairway to South Plaza: Locating handrails along the most direct path of egress travel instead of on both sides of the stair is allowed at monumental stairs per CBC Section 1014.9. Modify or replace handrails per CBC Section 11B-505.
- H. Exterior Wood Benches at Plazas: Provide back supports per CBC Section 11B-903.4.
- I. Path of Travel from Public Sidewalk to Public Services Primary Entrance: Correcting the cross slope is an undue burden.
- J. Exterior Composite Bench at Public Services Primary Entrance: Replace the bench and relocate the trash receptacle per CBC Section 11B-903.
- K. Exterior Concrete Stair at Public Services Building: Provide handrails per CBC Section 11B-505 and contrasting stripes per CBC Section 11B-504.4.1. Correcting the tread depth, slope of the top landing and relocating the door at the bottom landing is an undue burden.

Building

Police Department

- L. Primary Lobby Entrance: Replace or modify the active leaf so the surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Replace the threshold per CBC Section 11B-404.2.5. Relocate the intercom button adjacent to the door per CBC Section 11B-308. Adjust the door closers.
- M. Lobby Interior Door: Providing the required maneuvering clearance parallel to the doorway on the latch side is an undue burden.

- N. Lobby Counter: Lower the counter so the surface is 34" high maximum above the floor per CBC Section 11B-904.4.1. Provide a structure below the counter so it does not protrude into the circulation space per CBC Section 11B-204.
- O. North Accessible Entrance: Remove existing asphalt paving within the required maneuvering clearance at the exterior landing, re-grade the base course and repave with asphalt concrete with surface slope not greater than 1:48 (2.08%), in any direction per CBC Section 1011.7.1. Adjust the door closer.
- P. Main Level Public Restroom:
- Entry Door: Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6.3.
- Toilet: Providing minimum clearance around and in front of the toilet is an undue burden.
- Grab Bars: Relocate both grab bars per CBC Section 11B-604.5.
- Lavatory: Insulate the supply and drain lines under the lavatory per CBC Section 11B-606.5.
- Q. North Counter at Dispatch: Lower the counter so the surface is 34" high maximum above the floor per CBC Section 11B-904.4.1.
- R. Main Level Interior Doors: Provide lever hardware at seven interior doors per CBC Section 11B-404.2.7. Replace the doors to the Detective Office and Dispatch per CBC Section 11B-404.2.3 if necessary, as a reasonable accommodation for an employee in a wheelchair per ADA Title I.
- Remove the top slide latch at the Interview Room door if necessary, as a reasonable accommodation for an employee in a wheelchair per ADA Title I. Providing the minimum maneuvering clearance at the Intake and Interview Room doors is an undue burden.
- S. Intake Room:
- Counter: Lower the counter so the surface is 34" high maximum above the floor per CBC Section 11B-904.4.1. Provide a 36" wide minimum common use circulation path to the employee side of the counter per CBC Section 11B-402.
- Benches: Provide a 20" minimum deep bench seat at the north wall per CBC Section 11B-903.
- Exterior Door: Provide lever hardware per CBC Section 11B-404.2.7. Correcting the height of the threshold is an undue burden.
- T. Interview Room Bench: Providing a clear ground space positioned at the end of the bench seat and a 20" minimum deep bench seat is an undue burden.

- U. Break Room Sink Counter: Replace the sink counter per CBC Section 11B-606 if necessary, as a reasonable accommodation for an employee in a wheelchair per ADA Title I.
- V. Main Level Women's Restroom, Shower, and Locker Room: Provide lever hardware at the entry door to both rooms per CBC Section 11B-404.2.7. Adjust the door closer at the Restroom entry door. Making the rooms accessible to persons in a wheelchair is an undue burden.
- W. Main Level Men's Restroom, Shower, and Locker Room: Adjust the door closers. Making the rooms accessible to persons in a wheelchair is an undue burden.
- X. Stairway to Emergency Operations and Basement Levels, Three Flights:

Provide handrails on both sides of the stairway per CBC Section 11B-505.

Provide lever hardware at the doors to the pistol range, emergency operations center and at the top and bottom of the stair per CBC Section 11B-404.2.7.

Adjust the closers at the doors at the top and bottom of the stair.

Correcting the upper flight riser heights and the maneuvering clearance at the door at the bottom of the stair is an undue burden.
- Y. Emergency Operations Center and Restroom: Provide lever hardware at the entry doors to these rooms per CBC Section 11B-404.2.7. Provide lever faucets at the lavatory in the restroom per CBC Section 11B-606.4. Making the rooms accessible to persons in a wheelchair is an undue burden.
- Z. Basement Level Women's Restroom, Shower, and Locker Room: Adjust the door closer. Provide lever faucets at the lavatory per CBC Section 11B-606.4. Raise the curtain rod per CBC Section 11B-204. Making the rooms accessible to persons in a wheelchair is an undue burden.
- AA. Basement Level Men's Restroom, Shower, and Locker Room: Adjust the door closers. Making the rooms accessible to persons in a wheelchair is an undue burden.
- BB. Basement Level West Exit Door: Adjust the door closer.
- CC. Basement Level East Exit Doors: Adjust the door closers.
- DD. Basement Level Interior Doors: Provide lever hardware at eight interior doors per CBC Section 11B-404.2.7.

Public Services Building

- EE. Primary Entrance and Vestibule: Adjust the door closers. Correcting the distance between the two doors is an undue burden.

- FF. Reception Counter: Relocate the upper counter so it protrudes into the circulation space 4" maximum per CBC Section 11B-204. Provide a 36" wide minimum common use circulation path to the employee side of the counter per CBC Section 11B-402.
- GG. South Exit Door: Provide lever hardware per CBC Section 11B-404.2.7. Correcting the height of the threshold is an undue burden.
- HH. Interior Office Door: Provide lever hardware per CBC Section 11B-404.2.7. Replace the door per CBC Section 11B-404.2.3 if necessary, as a reasonable accommodation for an employee in a wheelchair per ADA Title I.
- II. East Exit Door: Provide lever hardware per CBC Section 11B-404.2.7. Adjust the door closer.
- JJ. Stair to Garage: See Photograph 27.
Provide closed risers per CBC Section 11B-504.3.
Replace handrails per CBC Section 11B-505.
Replace the guardrails at the upper landing and provide a guardrail at the open sides of the stair per CBC Section 1015.
- KK. West Exit Door From Garage: Provide lever hardware per CBC Section 11B-404.2.7.
- LL. East Exit Door From Garage: Provide lever hardware per CBC Section 11B-404.2.7. Adjust the door closer.

END OF REPORT



William M. Holl, AIA
Architect • CASp • Contractor

August 7, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CASp INSPECTION AND REPORT**
Existing Restroom Building, Scenic Road at Santa Lucia Avenue,
Carmel-by-the-Sea, California Inspection Date: July 2, 2018.
APN: 010-294-001

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site paths of travel and drinking fountain and the building sanitary facilities of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CASp) 509
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Distribution: Addressee (2 Hard Copies: Electronic Copy)

1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 13-237C was issued by the City of Carmel-by-the-Sea for construction of the building in 2014.

2.0 DESCRIPTION OF THE FACILITIES

The building is one story with two unisex accessible restrooms. Accessible parking is not provided.

The applicable construction-related accessibility standards that apply are the Americans With Disabilities Act (ADA), Standards for Accessible Design and California Building Code (CBC), that were enforced at the time for the permit issued in 2014; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Primary Entrances: See Photograph 1.

The running slope is not 1:20 (5%), maximum and the cross slope is not 1:48 (2.08%), maximum between the public sidewalk and the bench area.

The ground surface is not stable and slip resistant and is bumpy and uneven near the building.

- B. Accessible Parking: Accessible parking is not provided.

- C. Exterior Concrete Stair: See Photograph 2.

Contrasting stripes are not provided.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

At the top of the stair the handrails do not extend horizontally above the landing 12" minimum.

- D. Exterior Stone Stair from the Public Sidewalk to the Restroom Building and Beach (four flights).

Riser heights are not uniform and are not 7" high maximum. See Photograph 3.

The slope of the landings at the top and bottom of the upper flight are not 1:48 (2.08%), maximum. See Photographs 4 & 7.

Tread depths are not uniform, tread slopes are not 1:48 (2.08%), maximum, and changes in level are not ½" maximum. See Photograph 5 & 6.

Tread and landing surfaces are bumpy and uneven.

On the east side of the upper flight, the tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

At the top of the upper flight the handrails do not extend horizontally above the landing 12" minimum. See Photograph 7.

- E. Drinking Fountain: See Photograph 8.

The ground surface within the required 30" x 48" clear ground space under the drinking fountain is bumpy, uneven, and not stable and slip resistant.

The drinking fountain is not located within an alcove, between wing walls, or otherwise positioned so as not to encroach into pedestrian ways.

- F. Benches: See Photograph 9.

The ground surfaces at the required 30" x 48" clear ground space positioned at the end of the benches are uneven, and not stable and slip resistant.

The back support does not extend to a point 18" minimum above the seat surface.

Building

- G. West Restroom: See Photographs 10 & 11.

Entry Door: Opening force is greater than 5 lbs. and closing time is less than 5 seconds. The threshold is not ½" high maximum. At the exterior of the door the ground surface within required maneuvering clearances is bumpy, uneven, and not stable and slip resistant.

Lavatory: The centerline of the lavatory is not 18" minimum from the sidewall.

Baby Changing Table: Does not protrude into the circulation path when deployed 4" maximum.

- H. East Restroom: See Photographs 12 & 13.

Entry Door: Opening force is greater than 5 lbs. and closing time is less than 5 seconds. The threshold is not ½" high maximum. At the exterior of the door the ground surface within required maneuvering clearances is bumpy, uneven, and not stable and slip resistant.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Baby Changing Table: Does not protrude into the circulation path 4" maximum.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

- A. Path of Travel from Public Sidewalk to Primary Entrances: Provide a paved accessible route to the restroom entrances, benches and drinking fountain per CBC Section 11B-206.
- B. Accessible Parking: Only parallel parking spaces are provided on Scenic Road and Santa Lucia Avenue, perpendicular and diagonal parking spaces are not provided. Providing an accessible parking space is an undue burden.
- C. Exterior Concrete Stair: Provide contrasting stripes per CBC Section 11B-504.4.1 and modify handrails per CBC Section 11B-505.
- D. Exterior Stone Stair from the Public Sidewalk to the Restroom Building and Beach.

Due to the non-uniformity, slopes and uneven surfaces of the risers, treads and landings, this stairway is unsafe for public use.

The recommendation is to replace the stairway per CBC Section 11B-504 & 505, or close the portion between the public sidewalk and restrooms and replace the portion from the restrooms to the beach per CBC Section 11B-504 & 505, or close the entire stairway and provide another path to the beach.

- E. Drinking Fountain: Provide a paved ground surface within the required 30" x 48" clear ground space under the drinking fountain per CBC Section 11B-302 and pedestrian protection per CBC Section 11B-602.9.

- F. Benches: Provide paved ground surfaces at the required 30" x 48" clear ground space positioned at the end of one of the benches per CBC Section 11B-302 and modify the back support per CBC Section 11B-903.4.

Building

- G. West Restroom:

Entry Door: Provide a paved ground surface at the exterior of the door within required maneuvering clearances per CBC Section 11B-302 and correct the height the threshold per CBC Section 11B-404.2.5. Adjust the door closer.

Lavatory: Correcting the location of the lavatory is an undue burden.

Baby Changing Table: Remove.

- H. East Restroom: See Photographs 12 & 13.

Entry Door: Provide a paved ground surface at the exterior of the door within required maneuvering clearances per CBC Section 11B-302 and correct the height of the threshold per CBC Section 11B-404.2.5. Adjust the door closer.

Toilet Paper Dispenser: Replace per CBC Section 11B-604.7.

Baby Changing Table: Remove.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



William M. Holl, AIA
Architect • CASp • Contractor

August 1, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CASp INSPECTION AND REPORT**
Existing Assembly Building, Scout House, Mission Street at 8th Avenue,
Carmel-by-the-Sea, California Inspection Date: June 22, 2018.
APN: 010-187-005

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site accessible parking, signage, and paths of travel and the building counter, sink, sanitary facilities and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

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Distribution: Addressee (2 Hard Copies: Electronic Copy)

1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 2406 was issued by the City of Carmel-by-the-Sea for construction of the building as a 30' x 52' Scout House in 1931.

Building Permit No. 859 was issued by the City of Carmel-by-the-Sea for an addition to Scout House, second story in 1941.

Building Permit No. 74-26 was issued by the City of Carmel-by-the-Sea for a remodel, repair in 1974.

Building Permit No. 78-5 was issued by the City of Carmel-by-the-Sea for a remodel, build partition in 1978.

Building Permit No. 15-335 was issued by the City of Carmel-by-the-Sea for an alteration to the driveway on the east side to improve an accessible component to the site, grading & paving in 2015.

2.0 DESCRIPTION OF THE FACILITIES

The building is two stories with two restrooms that are not accessible and one parking space identified as accessible. The upper main level is a large meeting hall with a small kitchen and the lower basement level contains the building's main entry, two restrooms that are currently in a state of unfinished demolition and approximately 800 square feet of storage.

The applicable construction-related accessibility standards that apply are the Americans With Disabilities Act (ADA), Standards for Accessible Design and California Building Code (CBC), that were enforced at the time for the permit issued in 2015; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance: An accessible route from the public sidewalk to the primary entrance is not provided.
- B. Accessible Parking Space: See Photograph 1.

An access aisle is not provided.

Ground surface slopes are greater than 1:48 (2.08%).

The lower side of the International Symbol of Accessibility painted on the parking space is not at the end of the parking space length.

The parking space is not van accessible.

The identification sign is not 60" minimum above the ground measured to the bottom of the sign.

An additional sign below the identification sign that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

C. Exterior Stone Stair at Building Entry: See Photographs 2 & 3.

Contrasting stripes are not provided.

Handrails are not provided on both sides of the stair.

The top of the handrail gripping surfaces is not 34" minimum and 38" maximum above the stair nosings.

The handrail gripping surface does not have a perimeter dimension of 4" minimum.

At the top of the stair the handrail does not extend horizontally above the landing 12" minimum.

At the bottom of the stair the handrail extends at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing but does not continue with a horizontal extension 12" long minimum.

The slope of the landing at the top of the stair is not 1:48 (2.08%), maximum.

The slope of the landing at the bottom of the stair and the walk to the lower stairway is greater than 1:12 (8.33%).

D. Exterior Stone Stairway at Public Sidewalk: See Photographs 4 & 5.

Riser heights are not 7" high maximum.

Contrasting stripes are not provided.

Handrails are not provided on both sides of the stair at the upper flight.

The top of the handrail gripping surfaces is not 34" minimum and 38" maximum above the stair nosings.

The handrail gripping surface does not have a perimeter dimension of 4" minimum.

At the top of the stairway the handrail does not extend horizontally above the landing 12" minimum.

At the bottom of the stair, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

The slope of the landing at the top of the stairway is greater than 1:12 (8.33%).

The slope of the treads, intermediate landing and the landing at the bottom of the stairway are not 1:48 (2.08%), maximum.

- E. Exterior Wood Stair at the Southeast Corner of the Building: See Photograph 6.

Contrasting stripes are not provided.

Handrails are not provided on both sides of the stair.

Handrail gripping surfaces do not have a perimeter dimension of 6-1/4" maximum or a cross-section dimension of 2-1/4" maximum.

At the top of the stair the handrail does not extend horizontally above the landing 12" minimum.

At the bottom of the stair, the handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

The door opening onto the top landing reduces the landing to less than one-half the required width.

A 42" high minimum guardrail is not provided at the open side of the stair.

The slope of the landing at the bottom and of the stair is not 1:48 (2.08%), maximum.

Building

- F. Primary Entrance: See Photograph 7.

A clear width of 32 inches minimum is not provided and the threshold is not 1/2" high maximum.

On the pull side of the door, 24" minimum maneuvering clearance parallel to the doorway on the latch side is not provided.

60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided.

Opening force is greater than 5 lbs. and closing time is less than 5 seconds for each leaf. See Photograph 15.

- The length of the exterior landing is not 44" minimum.
- A contrasting stripe and handrails are not provided at the step.
- G. Stair to Main Level: See Photographs 8 & 9.
- Contrasting stripes are not provided.
- Stair width is not 44" minimum.
- The top of the handrail gripping surface at the winder treads is not 34" minimum and 38" maximum above the stair nosings.
- Top and bottom handrail extensions are not provided.
- The size of the treads is not uniform and winder treads are not permitted except within a dwelling unit.
- H. Stair to Basement Storage: Contrasting stripes and handrails are not provided. Riser heights are not uniform. The tread protrudes into the bottom landing of the stair to the main level. See Photograph 10.
- I. Kitchen Sink Counter: The counter surface is not 34" maximum above the floor. The supply and drain lines under the sink are not insulated. See Photograph 11.
- J. Benches: The tops of the seats are not 17" minimum and 19" maximum above the floor. The seats are not 20" deep minimum. The arm at the end of the benches prevents transferring from a wheelchair. See Photograph 12.
- K. Southeast Exit Door: The threshold is not ½" high maximum. See Photograph 13.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance: There are no accessible routes on the site. Providing an accessible route from the public sidewalk to the primary entrance is an undue burden.
- B. Accessible Parking Space: This parking space is identified as accessible yet there is no accessible route connecting it to a building entry or public sidewalk. There is no access aisle to allow a person to get out of the car into a wheelchair, and if there were, it would be a dangerous situation with the surface slope at the southern end of the space greater than of 1:5 (20%).

It's possible that the space could be moved to the north with a 60" wide access aisle on the west side next to the building and an accessible entry to the building directly from the access aisle. However, a van accessible parking space would not fit between the building and the property line and it would require additional grading and paving, removal of a large oak tree and modifications to the building, which is an undue burden.

The recommendation is to do what is described above per CBC Section 11B-502 or remove the signage and markings.

- C. Exterior Stone Stair at Building Entry:

Provide contrasting stripes per CBC Section 11B-504.4.1.

Remove existing handrails and provide handrails on both sides of the stair per CBC Section 11B-505.

Correcting the slopes of the landings and the walk to the lower stairway is an undue burden.

- D. Exterior Stone Stairway at Public Sidewalk:

Provide contrasting stripes per CBC Section 11B-504.4.1.

Riser heights are not 7" high maximum.

Remove existing handrails and provide handrails on both sides of the stair per CBC Section 11B-505.

Correcting the slopes of the landings and treads is an undue burden.

- E. Exterior Wood Stair at the Southeast Corner of the Building:

Provide contrasting stripes per CBC Section 11B-504.4.1.

Provide handrails on both sides of the stair per CBC Section 11B-505.

Provide a 42" high minimum guardrail at the open side of the stair per CBC Section 1015.

Correcting the size of the landing at the top of the stair and the slope of the landing at the bottom and of the stair is an undue burden.

Building

- F. Primary Entrance: The entrance is not on an accessible route. Providing the required clearances and threshold height for wheelchair access is an undue burden. Adjust the door closer, extend the concrete landing per CBC Section 1010.1.6, and provide handrails and a contrasting stripe per CBC Sections 505 and 504.4.1.
- G. Stair to Main Level:

Provide contrasting stripes per CBC Section 11B-504.4.1.

Replace or modify handrails per CBC Section 11B-505.

Modify the bottom tread to be 11" deep per CBC Section 1011.5.4.

Correcting the stair width and removing the winder treads is an undue burden.
- H. Stair to Basement Storage: Provide contrasting stripes per CBC Section 11B-504.4.1 and one handrail on the south side of the stair per CBC Section 11B-505. Correcting the protruding tread and the riser heights is an undue burden.
- I. Kitchen Sink Counter: If access is provided from the parking space per item B, modify or replace the sink counter per CBC Section 11B-606. If access is not provided, correcting the height of the counter and insulating the supply and drain lines under the sink is an undue burden.
- J. Benches: If access is provided from the parking space per item B, provide a 48" long minimum bench per CBC Section 11B-903. If access is not provided, correcting the size and height of the seat and removing the arm at the end of a bench is an undue burden.
- K. Southeast Exit Door: Correcting the height of the threshold is an undue burden.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



William M. Holl, AIA
Architect • CASp • Contractor

August 20, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CASp INSPECTION AND REPORT**
Existing Parking Garage, Delores Street between 4th Avenue & 5th
Avenue, Carmel-by-the-Sea, California. Inspection Date: July 6, 2018.
APN: 010-137-024

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the parking and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

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1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 88-165 was issued by the City of Carmel-by-the-Sea to construct a 24 unit Senior Housing building with underground parking in 1988.

Building Permit No. 94-140 was issued by the City of Carmel-by-the-Sea to install a vertical platform lift in 1994.

2.0 DESCRIPTION OF THE FACILITIES

The building is two stories with one accessible parking space on 5th Avenue and an underground parking garage with thirty-seven parking spaces. The parking garage is owned by the City of Carmel-by-the-Sea and parking spaces are leased to the public. This report is for the parking garage only.

The applicable construction-related accessibility standards that apply are the 1987 California Accessibility Standards Interpretive Manual for the permit issued in 1988; the Americans With Disabilities Act (ADA), Standards for Accessible Design and California Building Code (CBC), that were enforced at the time for the permit issued in 1994; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Primary Entrances: An accessible route for a person using a wheelchair from the public sidewalk to the primary entrances is not provided.
- B. Concrete Walk from Public Sidewalk to North Stair: See Photograph 1.
 - 1. Not 48" wide minimum.
 - 2. Running slope is not 1:20 (5%), maximum.
- C. Exterior North Concrete Stair: See Photographs 2, 3, & 4.
 - 1. Contrasting stripes do not extend the full width of the stair.
 - 2. Handrails are not provided on both sides of the stair.
 - 3. The top of the handrail gripping surface is not 34" minimum and 38" maximum above the stair nosings.
 - 4. At the bottom of the stair, the handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

5. The slope of the landing at the top of the stair is not 1:48 (2.08%), maximum.
 6. The landing depth at the bottom of the stair is not 48" minimum.
- D. Exterior South Concrete Stairway (Two Flights): See Photographs 5, 6, & 7.
1. Contrasting stripes do not extend the full width of the stair.
 2. The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.
 3. At the top of each flight the handrails do not extend horizontally above the landing 12" minimum.
 4. At the bottom of the each flight the handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

Building

- E. North Entrance: See Photograph 8.
1. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.
 2. Lever hardware is not provided.
 3. The landing on the garage side of the door is not level and is not 44" minimum measured in the direction of travel.
- F. South Entrance: See Photograph 8.
1. Opening force is greater than 5 lbs. and closing time is less than 5 seconds.
 2. Lever hardware is not provided.
 3. The landing on the garage side of the door is not level.
- G. Parking Spaces: Parking spaces are not on an accessible route for a person using a wheelchair and accessible parking spaces are not provided.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

- A. Path of Travel from Public Sidewalk to Primary Entrances: Providing an accessible route for a person using a wheelchair from the public sidewalk to the primary entrances is an undue burden.
- B. Concrete Walk from Public Sidewalk to North Stair: See Photograph 1.
 - 1. Making the walk 48" wide minimum is an undue burden.
 - 2. Provide edge protection and handrails where the running slope of the concrete walk exceeds 1:20 (5%), per CBC Sections 11B-405.9 & 11B-505. Providing ramp landings is an undue burden.
- C. Exterior North Concrete Stair: See Photographs 2, 3, & 4.
 - 1. Provide contrasting stripes the full width of the stair per CBC Section 11B-504.4.1.
 - 2,3, & 4. Modify or replace handrails per CBC Section 11B-505.
 - 5. Correcting the slope of the landings at the top of the stair is an undue burden.
 - 6. Correcting the depth of the landing at the bottom of the stair is an undue burden.
- D. Exterior South Concrete Stairway (Two Flights): See Photographs 5, 6, & 7.
 - 1. Provide contrasting stripes the full width of the stair per CBC Section 11B-504.4.1.
 - 2,3, & 4. Modify or replace handrails per CBC Section 11B-505.

Building

- E. North Entrance: See Photograph 8.
 - 1. Adjust door closer.
 - 2. Provide lever hardware per CBC Section 11B-404.2.7.

3. Correcting the slope and the length of the landing on the garage side of the door is an undue burden.
- F. South Entrance: See Photograph 8.
1. Adjust door closer.
 2. Provide lever hardware per CBC Section 11B-404.2.7.
 3. Correcting the slope of the landing on the garage side of the door is an undue burden.
- G. Parking Spaces: Providing accessible parking spaces on an accessible route is an undue burden

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



William M. Holl, AIA
Architect • CASp • Contractor

July 5, 2018

Peter Kasavan, FAIA
Kasavan Architects
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SUBJECT: **CASp INSPECTION AND REPORT**
Existing Performing Arts Facility, Sunset Center, San Carlos Street
between 8th Avenue & 10th Avenue, Carmel-by-the-Sea, California
Inspection Date: May 8, 2018.
APN: 010-143-001 & 010-151-001

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site accessible parking, signage, and paths of travel and the building counters, sinks, sanitary facilities, drinking fountains, and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

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1.0 SUMMARY OF PERMIT HISTORY

Permits numbers for the original School Building, Auditorium and Cottages built in the 1920s and 1930s were not available.

Building Permit No. 75-194 was issued by the City of Carmel-by-the-Sea for a remodel in 1975.

Building Permit No. 78-30 was issued by the City of Carmel-by-the-Sea to remodel Room 20 in 1978.

Building Permit No. 78-38 was issued by the City of Carmel-by-the-Sea to renovate the Gym Bathroom in 1978.

Building Permit No. 80-202 was issued by the City of Carmel-by-the-Sea to remodel existing Dressing Room in 1980.

Building Permit No. 89-169 was issued by the City of Carmel-by-the-Sea to remodel Room 14 in 1989.

Building Permit No. 91-99 was issued by the City of Carmel-by-the-Sea for to remodel the Director's Office in 1991.

Building Permit No. 94-175 was issued by the City of Carmel-by-the-Sea to install a handicapped ramp at the theatre entry and handicapped retrofits in 1994.

Building Permit No. 95-17 was issued by the City of Carmel-by-the-Sea to install a handicapped ramp for Carpenter Hall access in 1995.

Building Permit No. 95-134 was issued by the City of Carmel-by-the-Sea for an ADA Restroom addition in 1995.

Building Permit No. 96-55 was issued by the City of Carmel-by-the-Sea for handicapped access retrofit and repairs in 1996.

Building Permit No. 96-58 was issued by the City of Carmel-by-the-Sea for a Snack Shack in 1996.

Building Permit No. 00-228 was issued by the City of Carmel-by-the-Sea for an interior remodel, Room 18, ADA in 2000.

Building Permit No. 00-242 was issued by the City of Carmel-by-the-Sea for an interior remodel, Room 17 in 2000.

Building Permit No. 01-32 was issued by the City of Carmel-by-the-Sea for a City Building remodel in 2001.

2.0 DESCRIPTION OF THE FACILITIES

The original school building, which is the northern portion of the building, is two stories with three accessible restrooms. The central portion of the building is three stories with a balcony level and four accessible restrooms. The southern portion of the building is four stories with nine accessible restrooms. There are two accessible parking spaces at the northern parking lot, three accessible parking spaces at the central parking lot, and two accessible parking spaces at the southern parking lot. There are also two cottages at the southern end of the property that have on accessible restroom each.

In 1998 the building was placed on the National Register of Historic Places and the California Register of Historical Resources, and in 2007 the building was designated a Historical Resource by the City of Carmel-by-the-Sea.

The applicable construction-related accessibility standards that apply are the 1989 California Accessibility Standards Interpretive Manual for the permits issued in 1989 and 1991; the Americans With Disabilities Act (ADA), Standards for Accessible Design and California Building Code (CBC), that were enforced at the time for the permits issued after January 26, 1992; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

A. Path of Travel from Public Sidewalk to Primary Entrances:

Accessible Concrete Ramp from the Public Sidewalk to the Plaza at the Primary Entrance Level: Handrail extensions at the top and bottom of the ramp do not return to a wall, guard or the landing surface. See Photographs 1 & 2.

An accessible route from the public sidewalk to the primary entrances of the two cottages is not provided. The running slope of the ramp provided from the central parking lot to the south parking lot is not 1:12 (8.33%), maximum, and handrails, guardrails and intermediate landings are not provided. See Photographs 3 & 4.

North Parking Lot

B. Accessible Parking Spaces: See Photograph 5.

Five accessible parking spaces minimum and a van accessible parking space are not provided.

An accessible path from the access aisle to the ramp to Carpenter Hall is not provided.

Ground surface slopes at the parking spaces and access aisle are greater than 1:48 (2.08%).

The parking spaces and access aisle are not 18'-0" long minimum.

The parking spaces are not 9'-0" wide minimum.

The access aisle is not 5'-0" wide minimum or marked with a blue painted border around the perimeter.

The words "NO PARKING" are not painted within the access aisle.

The lower side of the International Symbol of Accessibility painted on the parking spaces are not at the end of the parking space length.

The identification signs are not 60" minimum above the ground measured to the bottom of the sign.

An additional sign below the identification signs that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

C. Concrete Paver Ramp to Carpenter Hall: See Photograph 6.

The rise of the ramp run is not 30" maximum.

The length of the bottom landing is not 6'-0" minimum.

At the top of the ramp handrail extensions do not extend horizontally above the landing.

D. Guardrail at the South Side of the Lot: Not 42" high minimum with 4" maximum openings. See Photograph 7.

E. Concrete Ramp at North Building Entrance: The running slope is not 1:12 (8.33%), maximum, and handrails are not provided. The guardrail on the open side of the ramp is not 42" high minimum. See Photograph 8.

F. Electric Vehicle Charging Stations: Charging stations are not accessible or on an accessible route. See Photograph 9.

G. Concrete Ramp at the North Side of the Lot: See Photographs 10.

The running slope is not 1:12 (8.33%), maximum, and the cross slope is not 1:48 (2.08%), maximum.

Handrails and a top landing are not provided. The slope of the landing at the bottom of the ramp is not 1:48 (2.08%), maximum.

Central Parking Lot and Plaza

- H. Accessible Parking Spaces: See Photographs 11 & 12.

Planter boxes are located within the parking spaces.

Access aisles and a van accessible parking space are not provided.

The lower side of the International Symbol of Accessibility painted on the parking spaces are not at the end of the parking space length.

An additional sign below the identification signs that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

- I. Path of Travel from Accessible Parking Spaces to Primary Entrance: See Photographs 13 & 14.

The cross slope is not 1:48 (2.08%), maximum.

The walking surface is not separated from the vehicular area by a curb, railing or other element.

- J. Benches: The benches have arms that prevent transferring from a wheelchair. The seats are not 20" deep minimum and the back supports are not 18" high minimum. See Photograph 15.

- K. Concrete Stairway from the Public Sidewalk to the Plaza at the Primary Entrance Level: Handrail extensions at the top and bottom of each flight do not return to a wall, guard or the landing surface. See Photographs 16 & 17.

- L. Stone Stairway to North Courtyard from Plaza: See Photographs 18 & 19.

Handrail gripping surfaces do not have a perimeter dimension of 4" minimum.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings and intermediate landing.

At the top of the stairway handrails do not extend horizontally above the landing 12" minimum.

At the bottom of the stairway, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

Handrail extensions at the top and bottom of the stairway do not return to a wall, guard or the landing surface.

The slope of the landing at the top of the stairway is not 1:48 (2.08%), maximum.

- M. Concrete Ramp to Orchestra Level Entrance from Plaza: See Photographs 20 & 21.

Handrail extensions at the top and bottom of the ramp do not return to a wall, guard or the landing surface.

The slope of the landing at the bottom of the ramp is not 1:48 (2.08%), maximum.

- N. Concrete Stairway to Orchestra Level Entrance from Plaza: See Photographs 22 & 23.

Handrail extensions at the top and bottom of the stairway do not return to a wall, guard or the landing surface.

At the bottom of the stairway, one handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing before continuing with a horizontal extension 12" long minimum.

- O. Concrete Ramp to the Northern Portion of the Building from the Orchestra Level. See Photograph 24.

Handrail extensions at the top and bottom of the ramp do not return to a wall, guard or the landing surface.

At the top of the ramp one handrail does not extend horizontally above the landing 12" minimum.

- P. Concrete Ramp to Restrooms from Orchestra Level: The running slope is not 1:12 (8.33%), maximum, and handrails are not provided on both sides. See Photographs 24 & 25.

South Parking Lot

- Q. Accessible Parking Space at Cottages: See Photograph 26.

A van accessible parking space and an accessible path from the access aisle to the ramp at the Southeast Cottage are not provided.

The parking space and access aisle are not 18'-0" long minimum.

The access aisle is not 5'-0" wide minimum and the hatched lines are not 36" on center maximum.

The words "NO PARKING" are not painted within the access aisle.

The lower side of the International Symbol of Accessibility painted on the parking space is not at the end of the parking space length.

An additional sign below the identification signs that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

R. Accessible Parking Space at the Southeast Corner of the Sunset Center:

An access aisle and an accessible path to an accessible building entrance are not provided.

The lower side of the International Symbol of Accessibility painted on the parking space is not at the end of the parking space length.

An additional sign below the identification signs that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

Mission Street Side

S. Concrete Ramp from the Southeast Cottage: The running slope is not 1:12 (8.33%), maximum, and handrails are not provided. The guardrail on the open side of the ramp is not 42" high minimum and openings are not 4" maximum. See Photograph 27.

T. South Concrete Stair: See Photographs 28 & 29.

Riser heights are not 7" high maximum.

Handrail extensions are not provided at the bottom of the stair and on one side at the top of the stair.

The slope of the landing at the bottom of the stair is not 1:48 (2.08%), maximum.

U. Step to South Deck and Deck Guardrail: Step is not 36" wide minimum and handrails are not provided. The openings in the deck guardrail are not 4" maximum. See Photograph 30.

V. Stone Stair at the Southeast Corner of the Sunset Center: Riser heights are not 7" high maximum and handrail extensions are not provided at the bottom of the stair. See Photograph 31.

W. Stone Stair to Mission St. at the Southeast Corner of the Sunset Center: Handrail extensions are not provided at the bottom of the stair and the slope of the landing at the bottom of the stair is not 1:48 (2.08%), maximum. See Photograph 32.

X. Concrete Paver Ramp at the Southeast Corner of the Sunset Center: Handrail extensions at the top and bottom of the ramp do not return to a wall, guard or the landing surface. See Photograph 33.

Y. Concrete Stairway from Lower Orchestra Seating: Contrasting stripes do not extend the full width of the stair. At the bottom of the stairway handrails turn ninety degrees and extend horizontally above a planter and the slope of the landing is not 1:48 (2.08%), maximum. See Photograph 34.

- Z. Concrete Stairway from Orchestra Level: Contrasting stripes do not extend the full width of the stair. See Photograph 35.
- A1. Stone Stairway at Studio Level Exit Door: Handrails and guardrails are not provided. The slope of the treads and landings are not 1:48 (2.08%), maximum. See Photograph 36.
- B1. Northeast Concrete Stair: See Photograph 37.

At the top of the stair the handrails do not extend horizontally above the landing 12" minimum.

At the bottom of the stair the handrails extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing but do not continue with a horizontal extension 12" long minimum.

The slope of the landing at the top of the stair is not 1:48 (2.08%), maximum.

Building Original North Portion

- C1. Primary Double-Leaf Entrance: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the doors. Opening force is greater than 5 lbs. and closing time is less than 5 seconds for each leaf.
- D1. Men's Restroom: See Photograph 38.

Entry Door: Opening force is greater than 5 lbs. and closing time is less than 5 seconds. The dead bolt is not 34" minimum and 44" maximum above the floor.

Grab Bars: The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Soap Dispenser: Operable part is not 40" maximum from the floor.

Paper Towel Dispenser: Operable part is not 40" maximum above the floor.

Baby Changing Table: Located in Toilet Compartment.

- E1. Women's Restroom: See Photographs 39.

Entry Door: Opening force is greater than 5 lbs. and closing time is less than 5 seconds. The dead bolt is not 34" minimum and 44" maximum above the floor.

Grab Bars: The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Soap Dispenser: Operable part is not 40" maximum from the floor.

Paper Towel Dispenser: Operable part is not 40" maximum above the floor.

Baby Changing Table: Located in Toilet Compartment.

Accessible Toilet Compartment Door: Opening is not 4" maximum from the side wall farthest from the toilet. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided.

- F1. Drinking Fountain: See Photograph 40.

The spout does not provide a flow of water 4" high minimum.

The drinking fountain is not located within an alcove, between wing walls, or otherwise positioned so as not to encroach into pedestrian ways.

A drinking fountain for a standing person is not provided.

- G1. Basement Level Unisex Restroom: See Photograph 41.

Entry Door: Opening force is greater than 5 lbs. and closing time is less than 5 seconds. The threshold is not ½" high maximum. At the unisex geometric symbol on the exterior of the door the triangle does not contrast with the circle.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall. The flush control is not on the open side of the toilet.

Grab Bars: The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Mirror Not Above Lavatory: The edge of the reflecting surface is not 35" maximum above the floor.

- H1. Interior & Exterior Corridor Doors: Except for the Admin. Office door, lever hardware is not provided. All doors with closers have an opening force greater than 5 lbs. and closing time less than 5 seconds.

- I1. Administration Office Doors: Lever hardware is not provided at three doors, a clear width of 32" minimum is not provided at two doors and the door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door at one door.

Exterior Exit Door: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door and at the exterior of the door; the ground surface slopes within required maneuvering clearances are greater than 1:48 (2.08%).

- J1. Staff Break Room: Lever hardware and a clear width of 32" minimum is not provided at the entry door. The sink counter surface is not 34" maximum above the floor and knee and toe clearance under the sink is not provided. See Photograph 42.
- K1. Photographic Art Gallery:
- Exterior Entrance Door: Lever hardware is not provided, the threshold is not 1/2" high maximum, and the dead bolt is not 34" minimum and 44" maximum above the floor.
- Gallery Exterior Exit Door: The threshold is not 1/2" high maximum, the dead bolt is not 34" minimum and 44" maximum above the floor, the opening force is greater than 5 pounds and the closing speed is less than 5 seconds, and at the exterior of the door; the ground surface slopes within required maneuvering clearances are greater than 1:48 (2.08%).
- Interior Office Door: Lever hardware is not provided and the door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.
- Office Exterior Exit Door: Lever hardware is not provided, the threshold is not 1/2" high maximum, and the dead bolt is not 34" minimum and 44" maximum above the floor.
- L1. Exterior Double-Leaf Exit Doors from the Chapman and Bingham Rooms: All doors have an opening force greater than 5 lbs. and closing time less than 5 seconds, the thresholds are not 1/2" high maximum, and the door surfaces within 10 inches of the ground do not have a smooth surface on the push side extending the full width of the door. At the exterior of the doors the ground surface slopes within required maneuvering clearances are greater than 1:48 (2.08%).
- M1. Exterior Exit Door from N-S Corridor: The threshold is not 1/2" high maximum and the exterior door hardware requires pinching to operate.
- N1. Exterior Double-Leaf North Exit Door from E-W Corridor: The dead bolt and push/pull bars are not 34" minimum and 44" maximum above the floor, and the door surfaces within 10 inches of the ground do not have a smooth surface on the push side extending the full width of the door.
- O1. Stairway to Basement Level: See Photograph 43.
- Handrails are not provided on both sides of the stair and handrail extensions are not provided. The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.
- Contrasting stripes at the upper approaches and bottom tread are not provided and 42" high minimum guardrails are not provided at the open sides of the stair and landings.

- P1. Exterior Exit Doors from Basement Level: The thresholds are not ½" high maximum and opening force is greater than 5 lbs. and closing time is less than 5 seconds.

Main Lobby and Theater Portion

- Q1. Entry and Promenade Lobby Interior and Exterior Doors: All Doors have an opening force greater than 5 lbs. and a closing time less than 5 seconds. Dead bolts are not 34" minimum and 44" maximum above the floor. On the pull side of the box office door, 18" minimum maneuvering clearance parallel to the doorway on the latch side is not provided.

- R1. Orchestra Level Men's Restroom: See Photographs 44 & 45.

Entry and Vestibule Doors: All Doors have an opening force greater than 5 lbs. and a closing time less than 5 seconds. Dead bolts are not 34" minimum and 44" maximum above the floor. A geometric symbol is not provided at the east entry door.

Toilet Compartments: An ambulatory accessible compartment is not provided.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall.

Grab Bars: The rear grab bar does not extent from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Urinal: The rim of the urinal is not 17" maximum above the floor.

Paper Towel Dispenser: Operable part is not 40" maximum above the floor.

Switch: Not located 48" maximum to the top of the outlet box.

- S1. Orchestra Level Women's Restroom: See Photograph 46.

Entry and Vestibule Doors: All Doors have an opening force greater than 5 lbs. and a closing time less than 5 seconds. Dead bolts are not 34" minimum and 44" maximum above the floor. A geometric symbol is not provided at the east entry door.

Grab Bars: The rear grab bar does not extent from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Accessible Toilet Compartment Door: The door opening is not 4" maximum from the side partition farthest from the toilet. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided.

Paper Towel Dispenser: Operable part is not 40" maximum above the floor.

Switch: Not located 48" maximum to the top of the outlet box.

T1. Drinking Fountain: The spouts do not provide a flow of water 4" high minimum.

U1. Two Studio Level Unisex Restrooms: See Photographs 47 & 48.

Entry Door: Opening force is greater than 5 lbs. and closing time is less than 5 seconds. At the unisex geometric symbol on the exterior of the door the triangle does not contrast with the circle. On the push side of the door, 12" minimum maneuvering clearance parallel to the doorway on the latch side is not provided.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall.

Grab Bars: The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Shower Compartments are not 30" wide minimum by 60" deep minimum with a full open width on the long side.

V1. Lobby Stairway to Orchestra Level: See Photographs 49.

Contrasting stripes are not provided.

Lower Flight North Stair: Handrails are not provided on both sides of the stair. At the bottom of the stair, the handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

Upper Flight: At the bottom of the stair, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing before continuing with a horizontal extension.

W1. Lobby Stairway to Balcony Level: See Photograph 50.

At the bottom of each flight, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing before continuing with a horizontal extension.

42" high minimum guardrails are not provided at the open sides of the stair.

X1. East Stairway from Orchestra Level to Balcony Level: See Photograph 51.

At the bottom of the stair, one handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

- Y1. Assembly Area Wheelchair Spaces: At the northeast wheelchair space the removable seat has been replaced with a permanent seat. See Photograph 52, front seat on the right.
- Z1. East and West Stairs to Upper Balcony Seating: Contrasting stripes are not provided. See Photographs 53 & 54.
- A2. Doors at Assembly Area: The opening force of all doors is greater than 5 pounds and the closing speed is less than 5 seconds. The pulls at the southeast and southwest exit doors are not 44" maximum above the floor.
- B2. Southwest Stair near Platform Lift: See Photographs 55 & 56.

Contrasting stripes are not provided.

Handrail extensions at the top of the stair do not return to a wall, guard of the landing surface.

At the bottom of the stair, one handrails does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

- C2. Stairway from Lobby to Studio Level: See Photograph 57.

Contrasting stripes are not provided.

One handrail extension at the top of the stairway does not return to a wall, guard of the landing surface.

At the bottom of each flight, handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing before continuing with a horizontal extension.

Door at the Bottom of the Stairway: The opening force is greater than 5 pounds and the closing speed is less than 5 seconds. 60" minimum maneuvering clearance perpendicular to the pull side of the door is not provided.

- D2. Exterior Doors at Orchestra Level Lobby: The opening force is greater than 5 pounds and the closing speed is less than 5 seconds for both doors. At the north pair of doors the dead bolt is not 34" minimum and 44" maximum above the floor, the slope of the exterior landing within the required maneuvering clearance is not 1:48 (2.08%) maximum, and the door opener is not operable.
- E2. Exterior Door at Studio Level: The opening force is greater than 5 pounds and the closing speed is less than 5 seconds. On the pull side of the door, 24" minimum maneuvering clearance parallel to the doorway on the latch side is not provided and on the push side of the door, 12" minimum maneuvering clearance parallel to the doorway on the latch side is not provided.
- F2. Elevator: See Elevator Checklist Sunset Center – Main Lobby.

G2. Platform Lift: See Platform Lift Checklist Sunset Center

South Portion

H2. Stage Level Men's Restroom: See Photographs 58 & 59.

Entry Door: The opening force is greater than 5 pounds and the closing speed is less than 5 seconds.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall.

Grab Bars: The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Urinal: The rim of the urinal is not 17" maximum above the floor.

Paper Towel Dispenser: Operable part is not 40" maximum above the floor.

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Mirror: The edge of the reflecting surface is not 40" maximum from the floor.

I2. Stage Level Women's Restroom: See Photograph 60.

Entry Door: The opening force is greater than 5 pounds and the closing speed is less than 5 seconds.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall.

Grab Bars: The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Paper Towel Dispenser: Operable part is not 40" maximum above the floor.

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Mirror: The edge of the reflecting surface is not 40" maximum from the floor.

J2. Stage Level Drinking Fountain: See Photograph 61.

The spouts do not provide a flow of water 4" high minimum.

The drinking fountain is not located within an alcove, between wing walls, or otherwise positioned so as not to encroach into pedestrian ways.

- K2. Stage Level East Unisex Restroom and Dressing Room: See Photograph 62 & 63.

Entry Door: At the unisex geometric symbol on the exterior of the door the triangle does not contrast with the circle.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall.

Grab Bars: The rear grab bar does not extent from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Towel Ring: Not located 48" maximum above the floor.

Towel Bar: Not located 48" maximum above the floor.

Coat Hook: Not located 48" maximum above the floor.

Shower Compartment is not 30" wide minimum by 60" deep minimum with a full open width on the long side.

Dressing Room: Coat hooks are not located 48" maximum above the floor and switches are not located 48" maximum to the top of the outlet box.

- L2. Stage Level West Unisex Restroom and Dressing Room: See Photographs 64 & 65.

Entry Door: At the unisex geometric symbol on the exterior of the door the triangle does not contrast with the circle.

Grab Bars: The rear grab bar does not extent from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Towel Ring: Not located 48" maximum above the floor.

Towel Bar: Not located 48" maximum above the floor.

Coat Hook: Not located 48" maximum above the floor.

Shower Compartment is not 30" wide minimum by 60" deep minimum with a full open width on the long side.

Dressing Room: Coat hooks are not located 48" maximum above the floor and switches are not located 48" maximum to the top of the outlet box.

M2. Chorus Level Men's Restroom and Dressing Room: See Photograph 66.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall.

Grab Bars: The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Shower Compartment is not 30" wide minimum by 60" deep minimum with a full open width on the long side.

Dressing Room: Switches and receptacle are not located 48" maximum to the top of the outlet box.

N2. Chorus Level Women's Restroom and Dressing Room: See Photograph 67.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall.

Grab Bars: A 36" long minimum rear grab bar does is not provided

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Shower Compartment is not 30" wide minimum by 60" deep minimum with a full open width on the long side.

Mirror: The edge of the reflecting surface is not 40" maximum from the floor.

Dressing Room: Switch is not located 48" maximum to the top of the outlet box.

O2. Chorus Level Ramp: At the bottom of the ramp one handrail does not extend horizontally 12" minimum above the landing. See Photograph 68.

P2. Chorus Level Interior and Exterior Doors: All doors with closers have an opening force greater than 5 pounds and a closing speed less than 5 seconds.

Q2. Conductor's Level Men's Restroom: See Photograph 69.

Entry Door: A unisex geometric symbol is not provided on the exterior of the door. The opening force is greater than 5 pounds and the closing speed is less than 5 seconds.

Grab Bars: The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

- R2. Conductor's Level Men's Restroom: See Photograph 70.

Entry Door: A unisex geometric symbol is not provided on the exterior of the door. The opening force is greater than 5 pounds and the closing speed is less than 5 seconds.

Grab Bars: The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Lavatory: The supply and drain lines under the lavatory are not insulated.

- S2. Conductor's Level Unisex Restroom: See Photograph 71.

Entry Door: At the unisex geometric symbol on the exterior of the door the triangle does not contrast with the circle.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall.

Grab Bars: The rear grab bar does not extend from the centerline of the toilet 12" min. on one side and 24" min on the other side.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Shower Compartment is not 30" wide minimum by 60" deep minimum with a full open width on the long side.

- T2. Conductor's Level Interior and Exterior Doors: All doors with closers have an opening force greater than 5 pounds and a closing speed less than 5 seconds. At the rehearsal rooms the door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.

- U2. West Stairway: See Photograph 72.

At the top flight a contrasting stripe is not provided at the bottom tread and the door at the top has an opening force greater than 5 pounds and a closing speed less than 5 seconds.

At the first, second and forth flight from the bottom the outside handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing before continuing with a horizontal extension 12" long minimum.

- V2. Elevator: See Elevator Checklist Sunset Center - Back Stage.

East Cottage 17

- W2. North Side Exterior Concrete Ramps: See Photograph 73.

The bottom landing is not 72" minimum in the direction of the ramp run. A landing at the top of the east ramp is not provided. Edge protection is not provided.

Handrails are not provided on both sides of the ramp. The top of the handrail gripping surface is not 34" minimum and 38" maximum above the ramp and handrail extensions are not provided.

- X2. Exterior Concrete Stair at the East End of the Ramp: Handrails are not provided and the slope of the landing at the top of the stair is not 1:48 (2.08%), maximum. See Photograph 74.
- Y2. South Side Exterior Stone Ramp: The slope of the ramp is not 1:12 (8.33%), maximum and handrails are not provided. The guardrail at the top landing does not have 4" maximum openings. See Photographs 75 & 76.
- Z2. South Side Exterior Stone Stair: The slope of the landings at the top and bottom of the stair are not 1:48 (2.08%), maximum. At the top of the stair one handrail does not extend horizontally above the landing 12" minimum. Handrail extensions are not provided at the bottom of the stair. See Photograph 77.
- A3. Accessible Restroom: See Photographs 78 & 79.

Exterior Entry Door: A geometric symbol is not provided on the exterior of the door. Opening force is greater than 5 lbs. and closing time is less than 5 seconds. The threshold is not 1/2" high maximum.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall.

Grab Bars: The front end of the sidewall grab bar is not 24" minimum in front of the toilet.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

Shelf and Cabinet: The shelf and cabinet do not protrude 4" maximum into the circulation path.

- B3. West Side Employee Area:

Exterior Entry Door: A clear width of 32 inches minimum is not provided. Opening force is greater than 5 lbs. and closing time is less than 5 seconds. The threshold is not 1/2" high maximum.

At the exterior of the door, ground surface slopes within required maneuvering clearances are greater than 1:48 (2.08%). On the pull side of the door, 24" minimum maneuvering clearance parallel to the doorway on the latch side is not provided.

Exterior South Exit Door: The length of the exterior landing is not 44" minimum and handrails are not provided at the step. See Photograph 80.

Interior Office Door: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.

Sink Counter: The counter surface is not 34" maximum above the floor. Knee and toe clearance under the sink is not provided. Lever faucets are not provided. See Photograph 81.

C3. East Side Employee Area:

Interior Office Doors: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. Lever hardware is not provided.

At the double-leaf door one of the leaves does not provide a clear width of 32 inches minimum and one of the office doors does not provide a clear width of 32 inches minimum.

Sink Counter: The sink counter is not on an accessible route. The access hallway is not 36" wide minimum. See Photograph 82.

West Cottage 18

D3. Path of Travel to Primary Entry from Accessible Parking: Running slope is not 1:20 (5%), maximum and the openings in the steel grating are not 1/2" maximum. See Photograph 83 & 84.

E3. North Exterior Stone Stair: See Photograph 85.

The landing depth at the top of the stair is not 48" minimum.

Riser heights are not uniform and contrasting stripes are not provided.

At the bottom of the stair handrail extensions are not provided and handrails do not return to a wall, guard or the landing surface.

F3. Primary Entry: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.

G3. Accessible Restroom: See Photographs 86.

Exterior Entry Door: A geometric symbol is not provided on the exterior of the door. The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.

Toilet: The centerline of the toilet is not 17"-18" from the sidewall.

Grab Bars: The rear grab bar is not 36" long minimum.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet measured to the centerline of the dispenser.

Mirror: The edge of the reflecting surface is not 40" maximum from the floor.

Switch: Not located 48" maximum to the top of the outlet box.

- H3. Exterior North Exit Door: Lever hardware is not provided. The threshold is not ½" high maximum.
- I3. Interior Doors: The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door. Lever hardware is not provided at the south restroom door.
- J3. Interior Bench: The seat is not 20" deep minimum. See Photograph 87.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

A. Path of Travel from Public Sidewalk to Primary Entrances:

Accessible Concrete Ramp from the Public Sidewalk to the Plaza at the Primary Entrance Level: Per CBC Section 11B-307.3, freestanding objects mounted on posts shall overhang circulation paths 12" maximum when located 27" minimum and 80" maximum above the ground. The handrail extensions at the top and bottom of the ramp overhang the circulation path less than 12".

The only means of access between the public sidewalk and the primary entrances of the two cottages is a vehicular way not providing pedestrian access. Providing access is an undue burden.

At the ramp provided from the central parking lot to the south parking lot provide handrails and guardrails per CBC Sections 11B-505 and 1015. Correcting the slope of the ramp and providing intermediate landings is an undue burden.

North Parking Lot

B. Accessible Parking Spaces:

Due to the number of parking spaces on site nine accessible parking spaces are required and two of those are required to be van accessible. Carpenter Hall is the only part of the building that is on an accessible route from the north parking lot and the only means of access to the public sidewalk is a vehicular way not providing pedestrian access.

Adding accessible parking spaces to the north or south parking lots accomplishes very little. What does make sense is adding accessible parking spaces to the central parking lot but do to the configuration of the lot adding spaces is an undue burden.

Remove existing asphalt paving at accessible parking spaces and access aisle, re-grade the base course and repave with asphalt concrete with surface slope not greater than 1:48 (2.08%), in any direction per CBC Section 11B-502.4.

Paint van accessible markings and international symbol of accessibility per CBC Sections 11B-502.1, 502.3 and 502.6.

Provide Identification signs per CBC Section 11B-502.6, "Minimum Fine" signs per CBC Section 11B-502.6, and a "Tow Away" sign per CBC Section 11B-502.8.

On the south side of the parking spaces, provide a 48" wide minimum crosswalk from the access aisle to the ramp to Carpenter Hall and verify that the running slope is 1:20 (5%), maximum, and the cross slope is 1:48 (2.08%), maximum per CBC Section 11B-403. Separate the path of travel from the vehicular way with a curb, railing or continuous detectable warnings per CBC Section 11B-247.1.2.5.

- C. Concrete Paver Ramp to Carpenter Hall: Provide horizontal handrail extensions at the top of the ramp per CBC Section 11B-505.10.1. Correcting the rise of the ramp and the length of the bottom landing is an undue burden.
- D. Guardrail at the South Side of the Lot: Replace the guardrail per CBC Section 1015.
- E. Concrete Ramp at North Building Entrance: Provide handrails per CBC Section 11B-505 and extend the guardrail per CBC Section 1015. Correcting the running slope is an undue burden.
- F. Electric Vehicle Charging Stations: Making the charging stations accessible and providing an accessible route to the building or public sidewalk is an undue burden.

- G. Concrete Ramp at the North Side of the Lot: Provide handrails per CBC Section 11B-505. Correcting the running and cross slopes and the slope of the landing at the bottom of the ramp is an undue burden.

Central Parking Lot and Plaza

- H. Accessible Parking Spaces: Remove planter boxes located within the parking spaces.

Paint van accessible markings and international symbol of accessibility per CBC Sections 11B-502.1, 502.3 and 502.6.

Provide Identification signs per CBC Section 11B-502.6, "Minimum Fine" signs per CBC Section 11B-502.6, and a "Tow Away" sign per CBC Section 11B-502.8.

- I. Path of Travel from Accessible Parking Spaces to Primary Entrance: Separate the walking surface from the vehicular way with a curb, railing or continuous detectable warnings per CBC Section 11B-247.1.2.5. Correcting the cross slope is an undue burden.
- J. Benches: Provide at least one bench in the plaza that meets the requirements of CBC Section 11B-903.
- K. Concrete Stairway from the Public Sidewalk to the Plaza at the Primary Entrance Level: The handrail extensions at the top and bottom of the stairway overhang the circulation path less than 12" and per CBC Section 11B-307.3, they are not required to return to a wall, guard or the landing surface.
- L. Stone Stairway to North Courtyard from Plaza: Replace handrails per CBC Section 11B-505. Correcting the slope of the landing at the top of the stairway is an undue burden.
- M. Concrete Ramp to Orchestra Level Entrance from Plaza: The handrail extensions at the bottom of the ramp overhang the circulation path less than 12" and per CBC Section 11B-307.3, they are not required to return to a wall, guard or the landing surface.
Provide an additional handrail support at the top of the ramp so the handrail extensions overhang the circulation path 12" maximum. Correcting the slope of the landing at the bottom of the ramp is an undue burden.
- N. Concrete Stairway to Orchestra Level Entrance from Plaza: The handrail extensions at the bottom of the stairway overhang the circulation path less than 12" and per CBC Section 11B-307.3, they are not required to return to a wall, guard or the landing surface.

Provide an additional handrail support at the top of the stairway so the handrail extensions overhang the circulation path 12" maximum.

Modify one handrail extension at the bottom of the stairway per CBC Section 11B-505.10.3.

- O. Concrete Ramp to the Northern Portion of the Building from the Orchestra Level. Provide an additional handrail support at the top of the ramp so the one handrail extension overhangs the circulation path 12" maximum.

Modify the wall mounted handrail extension at the bottom of the ramp to return to the wall.

Extending one handrail at the top of the ramp is an undue burden due to the location of a door.

- P. Concrete Ramp to Restrooms from Orchestra Level: This ramp is 6-8" long with a running slope of 2:12. Remove the existing concrete ramp and a portion of the top landing and replace it with a concrete ramp with a running slope of 1:12 (8.33%), maximum per CBC Section 11B-405. Provide handrails on both sides of the ramp per CBC Section 11B-505.10.1.

South Parking Lot

- Q. Accessible Parking Space at Cottages:

Paint van accessible markings and international symbol of accessibility per CBC Sections 11B-502.1, 502.3 and 502.6.

Provide a "Minimum Fine" signs per CBC Section 11B-502.6, and a "Tow Away" sign per CBC Section 11B-502.8.

On the south side of the parking space, provide a 48" wide minimum crosswalk from the access aisle to the ramp to Cottage 17 and verify that the running slope is 1:20 (5%), maximum, and the cross slope is 1:48 (2.08%), maximum per CBC Section 11B-403. Separate the path of travel from the vehicular way with a curb, railing or continuous detectable warnings per CBC Section 11B-247.1.2.5.

- R. Accessible Parking Space at the Southeast Corner of the Sunset Center: Remove this parking space. Providing an accessible path to an accessible building entrance is an undue burden.

Mission Street Side

- S. Concrete Ramp from the Southeast Cottage: Provide handrails per CBC Section 11B-505 and extend the guardrail per CBC Section 1015. Correcting the running slope is an undue burden.
- T. South Concrete Stair: Provide handrail extensions at the bottom of the stair per CBC Section 11B-505.10.3. Correcting the riser heights, handrail extension at the top of the stair and slope of the landing at the bottom of the stair is an undue burden.
- U. Step to South Deck and Deck Guardrail: Provide a handrail on the building side of the step per CBC Section 11B-505 and reduce the openings in the deck guardrail to 4" maximum per CBC Section 1015. Correcting the width of the step is an undue burden.

- V. Stone Stair at the Southeast Corner of the Sunset Center: Provide handrail extensions at the bottom of the stair per CBC Section 11B-505.10.3. Correcting the riser heights is an undue burden.
- W. Stone Stair to Mission St. at the Southeast Corner of the Sunset Center: Provide handrail extensions at the bottom of the stair per CBC Section 11B-505.10.3. Correcting the slope of the landing at the bottom of the stair is an undue burden.
- X. Concrete Paver Ramp at the Southeast Corner of the Sunset Center: The handrail extensions at the top and bottom of the ramp overhang the circulation path less than 12" and per CBC Section 11B-307.3, they are not required to return to a wall, guard or the landing surface.
- Y. Concrete Stairway from Lower Orchestra Seating: Provide contrasting stripes the full width of the stair per CBC Section 11B-504.4.1. Fill in the planters on either side with pavers or extend the handrails in the direction of the stair run per CBC Section 11B-505.10.3. Correcting the slope of the landing at the bottom of the stair is an undue burden.
- Z. Concrete Stairway from Orchestra Level: Provide contrasting stripes the full width of the stair per CBC Section 11B-504.4.1.
- A1. Stone Stairway at Studio Level Exit Door: Correcting the slope of the treads and landings is an undue burden. Provide a barrier at the top of the stairway to prevent usage.
- B1. Northeast Concrete Stair: Modify handrail extensions per CBC Section 11B-505. Correcting the slope of the landing at the top of the stair is an undue burden.

Building

Original North Portion

- C1. Primary Double-Leaf Entrance: Modify or replace the doors to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closers.
- D1. Men's Restroom: See Photograph 38.

Entry Door: Relocate the dead bolt per CBC Section 11B-404.2.7. Adjust the door closer.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Soap Dispenser: Relocate per CBC Section 11B-603.5.

Paper Towel Dispenser: Relocate per CBC Section 11B-603.5.

Baby Changing Table: Per CBC Section 11B-226.4, baby changing tables shall not be located in Accessible Toilet Compartments. Remove baby changing table.

- E1. Women's Restroom: See Photographs 39.

Entry Door: Relocate the dead bolt per CBC Section 11B-404.2.7. Adjust the door closer.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Soap Dispenser: Relocate per CBC Section 11B-603.5.

Paper Towel Dispenser: Relocate per CBC Section 11B-603.5.

Baby Changing Table: Per CBC Section 11B-226.4, baby changing tables shall not be located in Accessible Toilet Compartments. Remove baby changing table.

Accessible Toilet Compartment Door: Relocating the opening and providing the minimum maneuvering clearance perpendicular to the pull side of the door is an undue burden.

- F1. Drinking Fountain: Replace the drinking fountain Per CBC Section 11B-602.

- G1. Basement Level Unisex Restroom: See Photograph 41.

Entry Door: Replace the threshold Per CBC Section 11B-404.2.5 and the unisex geometric symbol Per CBC Section 11B-703.7.2.6.3. Adjust the door closer.

Toilet: Replace the toilet with the flush control on the open side per CBC Section 11B-604.6 and relocate per CBC Section 11B-604.2.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Mirror Not Above Lavatory: Relocate per CBC Section 11B-603.3.

- H1. Interior & Exterior Corridor Doors: Provide lever hardware per CBC Section 11B-404.2.7. Adjust the door closers.

- I1. Administration Office Doors: Provide lever hardware at three doors per CBC Section 11B-404.2.7. Provide a clear width of 32" minimum at two doors per CBC Section 11B-404.2.3. Modify or replace one door so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10.

Exterior Exit Door: Modify or replace the door so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Correcting the ground surface slopes at the exterior of the door is an undue burden.

- J1. Staff Break Room: Provide lever hardware per CBC Section 11B-404.2.7. Providing a clear width of 32" minimum at the entry door replacing the sink counter is an undue burden.

K1. Photographic Art Gallery:

Exterior Entrance Door: Provide lever hardware and relocate the dead bolt per CBC Section 11B-404.2.7. Correcting the height of the threshold is an undue burden.

Gallery Exterior Exit Door: Relocate the dead bolt per CBC Section 11B-404.2.7. Adjust the door closer. Correcting the height of the threshold and ground surface slopes at the exterior of the door is an undue burden.

Interior Office Door: Provide lever hardware per CBC Section 11B-404.2.7. Modify or replace the door so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10.

Office Exterior Exit Door: Provide lever hardware and relocate the dead bolt per CBC Section 11B-404.2.7. Correcting the height of the threshold is an undue burden.

L1. Exterior Double-Leaf Exit Doors from the Chapman and Bingham Rooms: Modify or replace the doors so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Adjust the door closers. Correcting the height of the thresholds and ground surface slopes at the exterior of the doors is an undue burden.

M1. Exterior Exit Door from N-S Corridor: Replace the threshold per CBC Section 11B-404.2.5 and provide lever hardware at the exterior of the door per CBC Section 11B-404.2.7.

N1. Exterior Double-Leaf North Exit Door from E-W Corridor: Relocate the dead bolt and push/pull bars per CBC Section 11B-404.2.7 and modify or replace the doors so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10.

O1. Stairway to Basement Level: Provide handrails on both sides of the stairway per CBC Section 11B-505, contrasting stripes per CBC Section 11B-504.4.1, and extend guardrails at the open sides of the stair and landings per CBC Section 1015.

P1. Exterior Exit Doors from Basement Level: Replace the threshold at the entry door to Carpenter Hall per CBC Section 11B-404.2.5. Adjust door closers. Correcting the height of the threshold at south exit door is an undue burden.

Main Lobby and Theater Portion

Q1. Entry and Promenade Lobby Interior and Exterior Doors: Relocate dead bolts per CBC Section 11B-404.2.7 and adjust door closers. Correcting the maneuvering clearance at the box office door is an undue burden.

R1. Orchestra Level Men's Restroom:

Entry and Vestibule Doors: Relocate dead bolts per CBC Section 11B-404.2.7 and adjust door closers. Provide a geometric symbol at the east entry door per CBC Section 11B-703.7.2.6.

Toilet Compartments: Provide an ambulatory accessible compartment per CBC Section 11B-604.8.2.

Toilet: Relocate per CBC Section 11B-604.2.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Urinal: Relocate per CBC Section 11B-605.

Paper Towel Dispenser: Relocate per CBC Section 11B-603.5.

Switch: Relocate per CBC Section 11B-308.1.1.

S1. Orchestra Level Women's Restroom: See Photograph 46.

Entry and Vestibule Doors: Relocate dead bolts per CBC Section 11B-404.2.7 and adjust door closers. Provide a geometric symbol at the east entry door per CBC Section 11B-703.7.2.6.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Accessible Toilet Compartment Door: Relocating the opening and providing the minimum maneuvering clearance perpendicular to the pull side of the door is an undue burden.

Paper Towel Dispenser: Relocate per CBC Section 11B-603.5.

Switch: Relocate per CBC Section 11B-308.1.1.

T1. Drinking Fountain: Repair per CBC Section 11B-602.6.

U1. Two Studio Level Unisex Restrooms:

Entry Door: Replace the unisex geometric symbol Per CBC Section 11B-703.7.2.6.3. Adjust the door closer. Correcting the maneuvering clearance on the push side of the door is an undue burden.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Shower Compartments: Providing 30" wide minimum by 60" deep minimum shower compartments with a full open width on the long side is an undue burden.

V1. Lobby Stairway to Orchestra Level:

Provide contrasting stripes per CBC Section 11B-504.4.1.

Lower Flight North Stair: Provide handrails on both sides of the stair per CBC Section 11B-505. Modify the existing handrail per CBC Section 11B-505.10.3.

Upper Flight: Modify the handrails per CBC Section 11B-505.10.3.

W1. Lobby Stairway to Balcony Level: Modify the handrails per CBC Section 11B-505.10.3 and extend the guardrails at the open sides of the stair per CBC Section 1015.

X1. East Stairway from Orchestra Level to Balcony Level: Modify the handrail per CBC Section 11B-505.10.3.

Y1. Assembly Area Wheelchair Spaces: Repair or replace the broken removable seat shown against the wall and re-install.

Z1. East and West Stairs to Upper Balcony Seating: Provide contrasting stripes per CBC Section 11B-504.4.1.

A2. Doors at Assembly Area: Relocate the pulls at the southeast and southwest exit doors per CBC Section 11B-404.2.7 and adjust the door closers.

B2. Southwest Stair near Platform Lift:

Provide contrasting stripes per CBC Section 11B-504.4.1.

Return the handrail extensions at the top of the stair to the guardrail per CBC Section 11B-505.10.2 and modify the east handrail per CBC Section 11B-505.10.3.

C2. Stairway from Lobby to Studio Level:

Provide contrasting stripes per CBC Section 11B-504.4.1.

Return the handrail extension at the top of the stair to the wall per CBC Section 11B-505.10.2

Modify the handrails at the bottom of each flight per CBC Section 11B-505.10.3.

Door at the Bottom of the Stairway: Adjust the door closer. Providing 60" minimum maneuvering clearance on the pull side of the door is an undue burden.

- D2. Exterior Doors at Orchestra Level Lobby: Adjust the door closers, repair the door opener and relocate the dead bolt at the north pair of doors per CBC Section 11B-404.2.7. Correcting the slope of the exterior landing is an undue burden.
- E2. Exterior Door at Studio Level: Adjust the door closer. Correcting the maneuvering clearances on the latch side of the door is an undue burden.
- F2. Elevator: See Elevator Checklist Sunset Center – Main Lobby. The most important items to correct are 13.7, 13.10, 13.13, & 13.23.
- G2. Platform Lift: See Platform Lift Checklist Sunset Center. The most important items to correct are 9.13 & 9.19

South Portion

- H2. Stage Level Men's Restroom:

Entry Door: Adjust the door closer.

Toilet: Relocate per CBC Section 11B-604.2.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Urinal: Relocate per CBC Section 11B-605.

Paper Towel Dispenser: Relocate per CBC Section 11B-603.5.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Mirror: Relocate per CBC Section 11B-603.3.

- I2. Stage Level Women's Restroom:

Entry Door: Adjust the door closer.

Toilet: Relocate per CBC Section 11B-604.2.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Paper Towel Dispenser: Relocate per CBC Section 11B-603.5.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Mirror: Relocate per CBC Section 11B-603.3.

- J2. Stage Level Drinking Fountain: Repair per CBC Section 11B-602.6 and provide pedestrian protection per CBC Section 11B-602.9.

K2. Stage Level East Unisex Restroom and Dressing Room:

Entry Door: Replace the unisex geometric symbol Per CBC Section 11B-703.7.2.6.3.

Toilet: Relocate per CBC Section 11B-604.2.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Relocate the towel ring, towel bar and coat hook per CBC Section 11B-308.

Shower Compartment: Providing a 30" wide minimum by 60" deep minimum shower compartment with a full open width on the long side is an undue burden.

Dressing Room: Relocate coat hooks per CBC Section 11B-308 and switches per CBC Section 11B-308.1.1.

L2. Stage Level West Unisex Restroom and Dressing Room:

Entry Door: Replace the unisex geometric symbol Per CBC Section 11B-703.7.2.6.3.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Relocate the towel ring, towel bar and coat hook per CBC Section 11B-308.

Shower Compartment: Providing a 30" wide minimum by 60" deep minimum shower compartment with a full open width on the long side is an undue burden.

Dressing Room: Relocate coat hooks per CBC Section 11B-308 and switches per CBC Section 11B-308.1.1.

M2. Chorus Level Men's Restroom and Dressing Room:

Toilet: Relocate per CBC Section 11B-604.2.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Shower Compartment: Providing a 30" wide minimum by 60" deep minimum shower compartment with a full open width on the long side is an undue burden.

Dressing Room: Relocate switch and receptacle per CBC Section 11B-308.1.1.

N2. Chorus Level Women's Restroom and Dressing Room:

Toilet: Relocate per CBC Section 11B-604.2.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Shower Compartment: Providing a 30" wide minimum by 60" deep minimum shower compartment with a full open width on the long side is an undue burden.

Mirror: Relocate per CBC Section 11B-603.3.

Dressing Room: Relocate switch per CBC Section 11B-308.1.1.

O2. Chorus Level Ramp: Extending one handrail at the bottom of the ramp is an undue burden due to the location of a door.

P2. Chorus Level Interior and Exterior Doors: Adjust door closers.

Q2. Conductor's Level Men's Restroom:

Entry Door: Provide a unisex geometric symbol Per CBC Section 11B-703.7.2.6.3. Adjust door closer.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

R2. Conductor's Level Men's Restroom:

Entry Door: Provide a unisex geometric symbol Per CBC Section 11B-703.7.2.6.3. Adjust door closer.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Lavatory: Insulate the supply and drain lines under the lavatory per CBC Section 11B-606.5.

S2. Conductor's Level Unisex Restroom:

Entry Door: Replace the unisex geometric symbol Per CBC Section 11B-703.7.2.6.3.

Toilet: Relocate per CBC Section 11B-604.2.

Grab Bars: Relocate the rear grab bar per CBC Section 11B-604.5.2.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Shower Compartment: Providing a 30" wide minimum by 60" deep minimum shower compartment with a full open width on the long side is an undue burden.

- T2. Conductor's Level Interior and Exterior Doors: Adjust the door closers. Move the door sweeps to the pull side at the rehearsal room the doors.
- U2. West Stairway: Provide a contrasting stripe at the top flight bottom tread per CBC Section 11B-504.4.1 and adjust the door closer at the door at the top of the stairway. Modify the outside handrail at the first, second and forth flight from the bottom per CBC Section 11B-505.10.3.
- V2. Elevator: See Elevator Checklist Sunset Center - Back Stage. The most important items to correct are 13.7, 13.9, 13.10, 13.13, & 13.23.

East Cottage 17

- W2. North Side Exterior Concrete Ramps: Provide handrails on both sides of the ramps per CBC Section 11B-505. Provide edge protection per CBC Section 11B-405.9. Correcting the size of the bottom landing and providing a landing at the top of the east ramp is an undue burden.
- X2. Exterior Concrete Stair at the East End of the Ramp: Provide handrails per CBC Section 11B-505. Correcting the slope of the landing at the top of the stair is an undue burden.
- Y2. South Side Exterior Stone Ramp: Provide handrails per CBC Section 11B-505. Provide 4" maximum openings at the guardrail at the top landing per CBC Section 1015. Correcting the slope of the ramp is an undue burden.
- Z2. South Side Exterior Stone Stair: Modify one handrail at the top of the stair per CBC Section 11B-505.10.2 and provide handrail extensions at the bottom of the stair per CBC Section 11B-505.10.3. Correcting the slope of the landings at the top and bottom of the stair in an undue burden.
- A3. Accessible Restroom:

Exterior Entry Door: Provide a unisex geometric symbol Per CBC Section 11B-703.7.2.6.3. Adjust the door closer. Correcting the height of the threshold is an undue burden.

Toilet: Relocate per CBC Section 11B-604.2.

Grab Bars: Relocate the side grab bar per CBC Section 11B-604.5.1.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

Shelf and Cabinet: Remove the shelf and cabinet.

B3. West Side Employee Area:

Exterior Entry Door: Adjust door closer. Providing a clear width of 32 inches minimum and correcting the height of the threshold is an undue burden. Correcting the ground surface slopes at the exterior of the door and the maneuvering clearance on the latch side is an undue burden.

Exterior South Exit Door: Provide handrails at the landing step per CBC Section 11B-505. Correcting the length of the exterior landing is an undue burden.

Interior Office Door: This door is not on an accessible route.

Sink Counter: The sink counter is not on an accessible route.

C3. East Side Employee Area:

Interior Office Doors: Provide lever hardware per CBC Section 11B-505 and modify or replace the doors so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10.

Replace the double-leaf door so one of the leaves provides a clear width of 32 inches minimum per CBC Section 11B-404.2.2 and provide a clear width of 32 inches minimum at one office door per CBC Section 11B-404.2.3.

Sink Counter: The sink counter is not on an accessible route.

West Cottage 18

D3. Path of Travel to Primary Entry from Accessible Parking: Correcting the running slope is an undue burden. Replace the steel grating per CBC Section 11B-302.3.

E3. North Exterior Stone Stair: Provide contrasting stripes per CBC Section 11B-504.4.1 and handrail extensions at the top and bottom of the stair per CBC Section 11B-505.10.3. Correcting the riser heights and landing depth at the top of the stair is an undue burden

F3. Primary Entry: Modify or replace the door so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10.

G3. Accessible Restroom:

Exterior Entry Door: Provide a unisex geometric symbol per CBC Section 11B-703.7.2.6.3 and modify or replace the door so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10.

Toilet: Relocate per CBC Section 11B-604.2.

Grab Bars: Providing a 36" long minimum rear grab bar is an undue burden.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Mirror: Relocate per CBC Section 11B-603.3.

Switch: Relocate per CBC Section 11B-308.1.1.

- H3. Exterior North Exit Door: Provide lever hardware per CBC Section 11B-404.2.7. Correcting the height of the threshold is an undue burden.
- I3. Interior Doors: Modify or replace the door so the door surface within 10 inches of the ground has a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10. Provide lever hardware at the south restroom door per CBC Section 11B-404.2.7.
- J3. Interior Bench: Replace bench per CBC Section 11B-903.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



Photograph 16



Photograph 17



Photograph 18



Photograph 19



Photograph 20



Photograph 21



Photograph 22



Photograph 23



Photograph 24



Photograph 25



Photograph 26



Photograph 27



Photograph 28



Photograph 29



Photograph 30



Photograph 31



Photograph 32



Photograph 33



Photograph 34



Photograph 35



Photograph 36



Photograph 37



Photograph 38



Photograph 39



Photograph 40



Photograph 41



Photograph 42



Photograph 43



Photograph 44



Photograph 45



Photograph 46



Photograph 47



Photograph 48



Photograph 49



Photograph 50



Photograph 51



Photograph 52



Photograph 53



Photograph 54



Photograph 55



Photograph 56



Photograph 57



Photograph 58



Photograph 59



Photograph 60



Photograph 61



Photograph 62



Photograph 63



Photograph 64



Photograph 65



Photograph 66



Photograph 67



Photograph 68



Photograph 69



Photograph 70



Photograph 71



Photograph 72



Photograph 73



Photograph 74



Photograph 75



Photograph 76



Photograph 77



Photograph 78



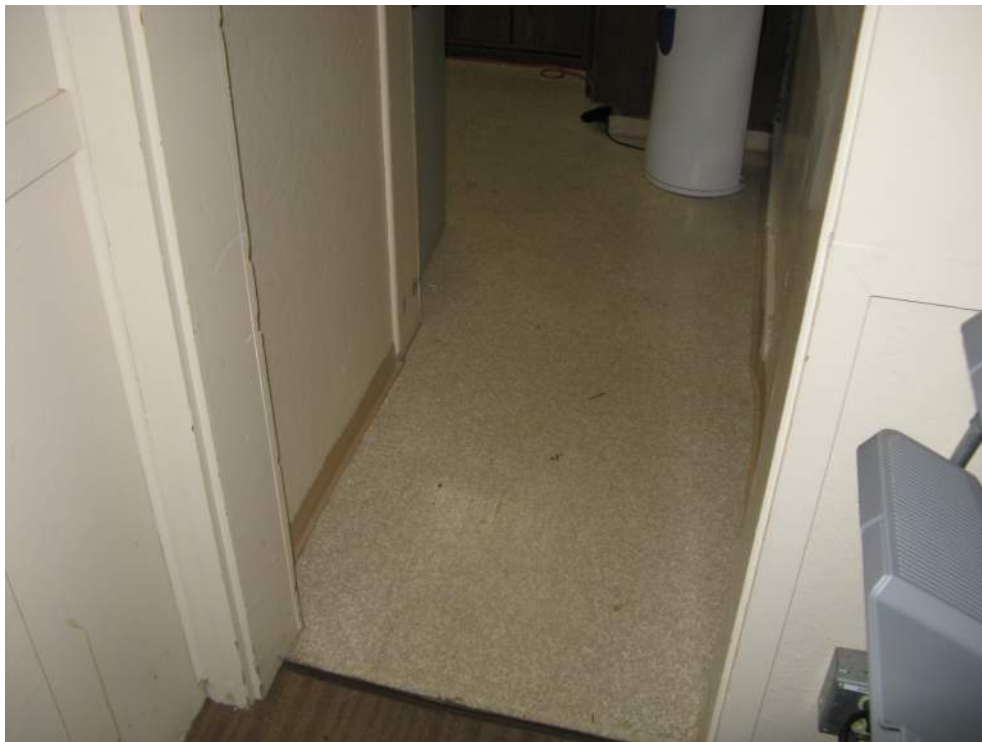
Photograph 79



Photograph 80



Photograph 81



Photograph 82



Photograph 83



Photograph 84



Photograph 85



Photograph 86



Photograph 87

ELEVATORS

Survey Form 13

Space/Room
Item Name: **Sunset Center Back Stage**

Item
No.:

Floor
No.:

Project
No.:

Item No.	Specific Item	Technical Requirements ADA Standards /// CBC Sections	As-built Dimensions or Survey Comments	Lessor/Architect Comments	Check Yes No N/A
13.1	Multi-level Building	Does an elevator serve each level, including mezzanines? For exceptions see 11B-206.2.3 exception 1. (If a ramp or a platform lift is provided instead, use Survey Form 7 - Ramps and Survey Form 9 - Platform Lifts.)			Yes No N/A <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13.2	Elevators	If more than one elevator is provided in a building, does each full passenger elevator comply with the requirements below? 11B-407			Yes No N/A <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13.3	Horizontal Gap	Is the horizontal gap between the car floor platform and the landing edge no greater than 1-1/4"? 11B-407.4.3			Yes No N/A <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13.4	Leveling	Does each cab have a self-leveling feature to bring and maintain the car at floor landings to 1/2" or less loaded and unloaded? 11B-407.4.4			Yes No N/A <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13.5	Hallway Call Buttons	Are the hallway call buttons centered at maximum 48" measured to the highest button and are the buttons at least 3/4" in the smallest dimension and internally illuminated? 11B-407.2.1.1, 407.2.1.2	Not illuminated over entire surface		Yes No N/A <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13.6	Visual Indicators	Do the buttons have visual signals to indicate when each call is registered and answered and are the buttons raised (not recessed)? 11B-407.2.1, 11B-407.2.1.5			Yes No N/A <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13.7	Hall Lanterns	Is there a visible and audible signal at each hoistway entrance to indicate which car is answering a call and direction of travel? 11B-407.2.2.1	Hall Lanterns are not operable		Yes No N/A <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13.8	Audible Signals	Do audible signals sound once for "up" and twice for "down," or do they have verbal annunciators that say "up" or "down"? 11B-407.2.2.3			Yes No N/A <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13.9	Visible Signals	Are visible signals also provided and are they: Mounted so that the centerline is at least 72" AFF; at least 2-1/2" high by 2-1/2" wide; and, visible from the vicinity of the hall call button? 11B-407.2.2, Fig 11B-407.2.2.2	Not operable		Yes No N/A <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13.10	Door Jamb Signs - Raised Characters	Does each elevator hoistway entrance have raised floor designation characters, sans serif or simple serif type, 2" high on each door jamb centered 60" AFF, and do the signs for the main entry floor include a raised star? Are the characters white on a black background? 11B-407.2.3.1	Characters are bronze on black and the raised star is not at the main entry level		Yes No N/A <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13.11	Door Jamb Signs - Braille	Is Grade 2 Braille placed below the corresponding raised characters or symbols? 11B-407.2.3.1, 11B-703	To the left		Yes No N/A <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13.12	Destination Elevators	Is there a visible signal adjacent to the hoistway entrance? 11B-407.2.2.2 Exception 1			Yes No N/A <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>

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ELEVATORS

Space/Room Item Name: **Sunset Center Back Stage**

Item No.:

Floor No.:

Project No.:

Item No.	Specific Item	Technical Requirements ADA Standards /// CBC Sections	As-built Dimensions or Survey Comments	Lessor/Architect Comments	Check																														
13.13	Doors	Do the doors re-open automatically without contact if an obstruction passes through the opening between 5" and 29" above the floor? Do the doors remain open for 20 seconds minimum? 11B-407.3.3.1, 11B-407..3.3.3	Doors remain open 3 seconds		Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/>																														
13.14	Door Delay	Do the doors remain fully open in response to a car for 5 seconds minimum? 11B-407.3.5			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.15	Car Inside	Does the floor area of the car allow maneuvering room for wheelchair users to enter the car, reach the controls, turn, and exit? 11B-407.4.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.16	Elevator Car Dimensions	Does the elevator car meet the dimensions below? Table 11B-407.4.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
		<table border="1"> <thead> <tr> <th colspan="5">Minimum Dimensions</th> </tr> <tr> <th>Door Location</th> <th>Door clear width</th> <th>Inside car, side to side</th> <th>Inside car, back wall to front return</th> <th>Inside car, back wall to inside face of door</th> </tr> </thead> <tbody> <tr> <td>Centered</td> <td>42"</td> <td>80"</td> <td>51"</td> <td>54"</td> </tr> <tr> <td>Side (off centered)</td> <td>36"</td> <td>68"</td> <td>51"</td> <td>54"</td> </tr> <tr> <td>Any</td> <td>36"</td> <td>54"</td> <td>80"</td> <td>80"</td> </tr> <tr> <td>Any</td> <td>36"</td> <td>60"</td> <td>60"</td> <td>60"</td> </tr> </tbody> </table>			Minimum Dimensions					Door Location	Door clear width	Inside car, side to side	Inside car, back wall to front return	Inside car, back wall to inside face of door	Centered	42"	80"	51"	54"	Side (off centered)	36"	68"	51"	54"	Any	36"	54"	80"	80"	Any	36"	60"	60"	60"	
Minimum Dimensions																																			
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Any	36"	54"	80"	80"																															
Any	36"	60"	60"	60"																															
13.17	Support Rail	Is the top of the support rail installed 31" min to 33" max on at least one wall of the car? Is there 1 1/2" clearance between rail and wall of cab? Are the ends of the support rail maximum of 6" from adjacent walls? 11B-407.4.10			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.18	Car Control Buttons	Are the car control buttons at least 3/4" minimum in their smallest dimension, raised with square shoulders, raised 1/8" minimum + or - 1/32" above the surrounding surface, and self-illuminated? Are the buttons arranged in ascending order and from left to right when there are 2 or more columns of buttons? 11B-407.4.6.2			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.19	Car Controls - Raised Characters	Are the controls designated by raised letters and/or numerals, or standard elevator symbols that are placed immediately to the left of the buttons? 11B-407.4.7.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.20	Car Controls - Character Height	Are these raised characters upper case, sans serif or simple serif, and at least 5/8" high? 11B-703.2			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.21	Car Controls - Braille	Is Grade 2 Braille placed below the corresponding raised characters or symbols? 11B-703.3			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.22	Car Controls - Contrast	Are the raised characters white on a black background? 11B-407.4.7.1.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.23	Car Controls Main Entry Designation	Is the button for the main entry floor designated by a raised star? 11B-407.4.7.1.3	Chorus Level button has a raised star		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/>																														

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ELEVATORS

Survey Form 13

Space/Room
Item Name: **Sunset Center Back Stage**

Item
No.:

Floor
No.:

Project
No.:

Item No.	Specific Item	Technical Requirements ADA Standards /// CBC Sections	As-built Dimensions or Survey Comments	Lessor/Architect Comments	Check
13.24	Floor Buttons	Do the floor buttons have visual indicators to show when each call is registered and are they extinguished when each call is answered? 11B-407.4.7.1.4			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
13.25	Height of Car Controls	Are the floor buttons no higher than 48" AFF to the top of the highest button? For elevators serving more than 16 openings and a parallel approach is provided, are the floor buttons no higher than 54" AFF to the top of the highest button? 11B-407.4.6.1, 11B-308.2.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
13.26	Emergency Car Controls	Are the emergency controls grouped at the bottom of the panel with centerlines no less than 35" AFF? 11B-407.4.6.4			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
13.27	Car Control Location	If the cars have center opening doors, are the controls located on the front wall? OR 11B-407.4.6, 11B-309.4			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
13.28	Destination-oriented Elevators	Do each destination-oriented elevators in a bank of elevators have audible and visible means for differentiation? 11B-407.2.2.4			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
13.29	Destination-oriented Elevators car designations	Do each destination-oriented elevators have tactile car identification on both jambs of the hoistway below the floor designation? 11B-407.2.3.2, 11B-703.2			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
13.30	Destination-oriented Elevators raised characters	Are the raised characters on the jamb of the hoistway 2 inches high, white on black background? 11B-407.2.3.2			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
13.31	Destination-oriented Elevators raised characters	Is Braille placed below the corresponding raised characters? 11B-407.2.3.2, 11B-703.3			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
13.32	Emergency Communication	Is there an emergency two-way communication system between the elevator and a point outside the hoistway provided? 11B-407.4.9, ASME A17.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
13.33	Emergency Communication	Do the emergency control buttons have their centerlines 25 15" minimum AFF and are they grouped at the bottom of the panel? 11B-308	15" minimum AFF		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
13.34	Emergency Communication	Are there raised symbols or characters, white on black background, and Braille adjacent to the device? 11B-407.4.9, ASME A17.1 2007, 11B-703.2, 11B-703.3	Silver on black		Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
13.35	Controls	If the communication system is in a closed compartment, is the hardware on the compartment door operable with one hand, and without tight grasping, pinching, or twisting of the wrist? 11B-309.4			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
13.36	Other	If you have identified any other related barriers that were not covered by this survey form, check the "No" field and provide that information below.			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

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ELEVATORS

Survey Form 13

Space/Room Item Name: **Sunset Center Main Lobby**

Item No.:

Floor No.:

Project No.:

Item No.	Specific Item	Technical Requirements ADA Standards /// CBC Sections	As-built Dimensions or Survey Comments	Lessor/Architect Comments	Check Yes No N/A
13.1	Multi-level Building	Does an elevator serve each level, including mezzanines? For exceptions see 11B-206.2.3 exception 1. (If a ramp or a platform lift is provided instead, use Survey Form 7 - Ramps and Survey Form 9 - Platform Lifts.)			Yes No N/A <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13.2	Elevators	If more than one elevator is provided in a building, does each full passenger elevator comply with the requirements below? 11B-407			Yes No N/A <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13.3	Horizontal Gap	Is the horizontal gap between the car floor platform and the landing edge no greater than 1-1/4"? 11B-407.4.3			Yes No N/A <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13.4	Leveling	Does each cab have a self-leveling feature to bring and maintain the car at floor landings to 1/2" or less loaded and unloaded? 11B-407.4.4			Yes No N/A <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13.5	Hallway Call Buttons	Are the hallway call buttons centered at maximum 48" measured to the highest button and are the buttons at least 3/4" in the smallest dimension and internally illuminated? 11B-407.2.1.1, 407.2.1.2	Not illuminated over entire surface		Yes No N/A <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13.6	Visual Indicators	Do the buttons have visual signals to indicate when each call is registered and answered and are the buttons raised (not recessed)? 11B-407.2.1, 11B-407.2.1.5			Yes No N/A <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13.7	Hall Lanterns	Is there a visible and audible signal at each hoistway entrance to indicate which car is answering a call and direction of travel? 11B-407.2.2.1	Hall Lanterns are not operable		Yes No N/A <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13.8	Audible Signals	Do audible signals sound once for "up" and twice for "down," or do they have verbal annunciators that say "up" or "down"? 11B-407.2.2.3			Yes No N/A <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13.9	Visible Signals	Are visible signals also provided and are they: Mounted so that the centerline is at least 72" AFF; at least 2-1/2" high by 2-1/2" wide; and, visible from the vicinity of the hall call button? 11B-407.2.2, Fig 11B-407.2.2.2			Yes No N/A <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13.10	Door Jamb Signs - Raised Characters	Does each elevator hoistway entrance have raised floor designation characters, sans serif or simple serif type, 2" high on each door jamb centered 60" AFF, and do the signs for the main entry floor include a raised star? Are the characters white on a black background? 11B-407.2.3.1	Characters are bronze on black and the raised star is not at the main entry level		Yes No N/A <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13.11	Door Jamb Signs - Braille	Is Grade 2 Braille placed below the corresponding raised characters or symbols? 11B-407.2.3.1, 11B-703	To the left		Yes No N/A <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
13.12	Destination Elevators	Is there a visible signal adjacent to the hoistway entrance? 11B-407.2.2.2 Exception 1			Yes No N/A <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>

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ELEVATORS

Survey Form 13

Space/Room Item Name: **Sunset Center Main Lobby**

Item No.:

Floor No.:

Project No.:

Item No.	Specific Item	Technical Requirements ADA Standards /// CBC Sections	As-built Dimensions or Survey Comments	Lessor/Architect Comments	Check																														
13.13	Doors	Do the doors re-open automatically without contact if an obstruction passes through the opening between 5" and 29" above the floor? Do the doors remain open for 20 seconds minimum? 11B-407.3.3.1, 11B-407..3.3.3	Doors remain open 5 seconds		Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/>																														
13.14	Door Delay	Do the doors remain fully open in response to a car for 5 seconds minimum? 11B-407.3.5			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.15	Car Inside	Does the floor area of the car allow maneuvering room for wheelchair users to enter the car, reach the controls, turn, and exit? 11B-407.4.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.16	Elevator Car Dimensions	Does the elevator car meet the dimensions below? Table 11B-407.4.1 <table border="1" style="margin-left: 40px;"> <thead> <tr> <th colspan="5">Minimum Dimensions</th> </tr> <tr> <th>Door Location</th> <th>Door clear width</th> <th>Inside car, side to side</th> <th>Inside car, back wall to front return</th> <th>Inside car, back wall to inside face of door</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">→ Centered</td> <td>42"</td> <td>80"</td> <td>51"</td> <td>54"</td> </tr> <tr> <td>Side (off centered)</td> <td>36"</td> <td>68"</td> <td>51"</td> <td>54"</td> </tr> <tr> <td>Any</td> <td>36"</td> <td>54"</td> <td>80"</td> <td>80"</td> </tr> <tr> <td>Any</td> <td>36"</td> <td>60"</td> <td>60"</td> <td>60"</td> </tr> </tbody> </table>	Minimum Dimensions					Door Location	Door clear width	Inside car, side to side	Inside car, back wall to front return	Inside car, back wall to inside face of door	→ Centered	42"	80"	51"	54"	Side (off centered)	36"	68"	51"	54"	Any	36"	54"	80"	80"	Any	36"	60"	60"	60"			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
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13.17	Support Rail	Is the top of the support rail installed 31" min to 33" max on at least one wall of the car? Is there 1 1/2" clearance between rail and wall of cab? Are the ends of the support rail maximum of 6" from adjacent walls? 11B-407.4.10			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.18	Car Control Buttons	Are the car control buttons at least 3/4" minimum in their smallest dimension, raised with square shoulders, raised 1/8" minimum + or - 1/32" above the surrounding surface, and self-illuminated? Are the buttons arranged in ascending order and from left to right when there are 2 or more columns of buttons? 11B-407.4.6.2			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.19	Car Controls - Raised Characters	Are the controls designated by raised letters and/or numerals, or standard elevator symbols that are placed immediately to the left of the buttons? 11B-407.4.7.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.20	Car Controls - Character Height	Are these raised characters upper case, sans serif or simple serif, and at least 5/8" high? 11B-703.2			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.21	Car Controls - Braille	Is Grade 2 Braille placed below the corresponding raised characters or symbols? 11B-703.3			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.22	Car Controls - Contrast	Are the raised characters white on a black background? 11B-407.4.7.1.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>																														
13.23	Car Controls Main Entry Designation	Is the button for the main entry floor designated by a raised star? 11B-407.4.7.1.3	Studio Level button has a raised star		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/>																														

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ELEVATORS

Survey Form 13

Space/Room
Item Name:

Sunset Center Main Lobby

Item
No.:

Floor
No.:

Project
No.:

Item No.	Specific Item	Technical Requirements ADA Standards /// CBC Sections	As-built Dimensions or Survey Comments	Lessor/Architect Comments	Check Yes No N/A
13.24	Floor Buttons	Do the floor buttons have visual indicators to show when each call is registered and are they extinguished when each call is answered? 11B-407.4.7.1.4			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
13.25	Height of Car Controls	Are the floor buttons no higher than 48" AFF to the top of the highest button? For elevators serving more than 16 openings and a parallel approach is provided, are the floor buttons no higher than 54" AFF to the top of the highest button? 11B-407.4.6.1, 11B-308.2.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
13.26	Emergency Car Controls	Are the emergency controls grouped at the bottom of the panel with centerlines no less than 35" AFF? 11B-407.4.6.4			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
13.27	Car Control Location	If the cars have center opening doors, are the controls located on the front wall? OR 11B-407.4.6, 11B-309.4			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
13.28	Destination-oriented Elevators	Do each destination-oriented elevators in a bank of elevators have audible and visible means for differentiation? 11B-407.2.2.4			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
13.29	Destination-oriented Elevators car designations	Do each destination-oriented elevators have tactile car identification on both jambs of the hoistway below the floor designation? 11B-407.2.3.2, 11B-703.2			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
13.30	Destination-oriented Elevators raised characters	Are the raised characters on the jamb of the hoistway 2 inches high, white on black background? 11B-407.2.3.2			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
13.31	Destination-oriented Elevators raised characters	Is Braille placed below the corresponding raised characters? 11B-407.2.3.2, 11B-703.3			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
13.32	Emergency Communication	Is there an emergency two-way communication system between the elevator and a point outside the hoistway provided? 11B-407.4.9, ASME A17.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
13.33	Emergency Communication	Do the emergency control buttons have their centerlines 25 25" minimum AFF and are they grouped at the bottom of the panel? 11B-308	15" minimum AFF		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
13.34	Emergency Communication	Are there raised symbols or characters, white on black background, and Braille adjacent to the device? 11B-407.4.9, ASME A17.1 2007, 11B-703.2, 11B-703.3	Silver on black and braille below		Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
13.35	Controls	If the communication system is in a closed compartment, is the hardware on the compartment door operable with one hand, and without tight grasping, pinching, or twisting of the wrist? 11B-309.4			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
13.36	Other	If you have identified any other related barriers that were not covered by this survey form, check the "No" field and provide that information below.			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

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Date May 15, 2018

Surveyor Initials WmH

Page 3 of 3

PLATFORM LIFTS

Survey Form 9

Space/Room
Item Name: **Sunset Center**

Item
No.:

Floor
No.:

Project
No.:

RESD © 2013 v.2 Access Compliance Facility Survey Checklist for State Leased Facilities

Item No.	Specific Item	Technical Requirements ADA Standards /// CBC Sections	As-built Dimensions or Survey Comments	Lessor/Architect Comments	Check Yes No N/A				
9.1	Application	In new construction, if a lift was installed in lieu of an elevator or ramp, was it installed consistent with 11B-206.7 and 11B-410, typically, to provide access where existing site or other constraints make the use of a ramp or an elevator infeasible? Title 8, Div 1, Ch 4, Subchapter 6, Grp 2, Art 15, Sec 3094.2 & 3, 11B-206.7, 11B-410, ASHE A18.1			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>				
9.2	Independent Use	Is the lift unlocked during business hours and can the lift be entered, operated, and exited without assistance? 11B-206.7, 11B-410, Title 8, Div 1, Ch 4, Subchapter 6, Grp 2, Art 15, Sec 3094.2(r)			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>				
9.3	Straight-through Lift	At a straight-through access lift, do the gates provide at least 32" clearance? 11B-410.6			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>				
9.4	Straight-through Lift	At a straight-through access lift, is the platform at least 36" x 48"? 11B-305.7			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>				
9.5	90-degree-turn Lift	At a 90-degree turn lift, does the end gate provide at least 32" clearance? 11B-410.6			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>				
9.6	90-degree-turn Lift	At a 90-degree turn lift, does the side gate provide at least 42" clearance and is the gate hinged at the end nearest the platform door on the short side unless the gate is power operated? 11B-410.6; Title 8, Div 1, Ch 4, Subchapter 6, Grp 2, Art 15, Sec 3094.2(p)(4)	41" Clearance		Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/>				
9.7	90-degree-turn Lift	At a 90-degree turn lift, is the platform at least as big as indicated in the table below:	42" x 60"		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>				
		Configurations for 90° Platform Lift (in Inches)							
		Width				42	44	45	46
Length	60	59	58	57	56	55	54		
		Title 8, Div 1, Ch 4, Subchapter 6, Grp 2, Art 15, Sec 3094.2(p)							
9.8	Gate Landings	In new construction, is there a compliant strike edge clearance and maneuvering space (complying with Survey Form 11 - Doors and Gates, but never less than 60" x 60") in front of each gate? 11B-410.7			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>				
9.9	Platform to Runway Clearance	Is the clearance between the platform sill and edge of any runway landing 1 ¼" maximum? 11B-410.4			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>				
9.10	Reach Range Inside Lift	Are the inside controls located within accessible reach ranges? 11B-308.2, 11B-308.3, 11B-410.5, 11B-409.4.6.1			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>				
9.11	Controls - Forward Reach	Where a forward reach is provided, is the height of the lift control no more than 48" AFF? 11B-308.2.1			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>				
9.12	Controls - Side Reach	Where a side reach is provided, is the height of the lift control no more than 48"? 11B-308.3			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>				

Date **June 8, 2018**

Surveyor Initials **WmH.**

Page **1** of **2**

PLATFORM LIFTS

Survey Form 9

Space/Room
Item Name:

Sunset Center

Item
No.:

Floor
No.:

Project
No.:

Item No.	Specific Item	Technical Requirements ADA Standards /// CBC Sections	As-built Dimensions or Survey Comments	Lessor/Architect Comments	Check
9.13	Operation	Are all controls operable with one hand and without tight grasping, pinching, or twisting of the wrist? 11B-309.4	Emergency Stop push/pull requires tightgrasping		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
9.14	Operation	Is the force required to operate the controls no greater than 5 lbs? 11B-309.4			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>
9.15	Beveled Edge at Level Change	Are changes in level between 1/4" and 1/2" beveled with a slope of 1:2 or less? 11B-303.3			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
9.16	Ramp at Level Change	If there is no pit for flush access into the lift, is there a level landing at the same height as the platform with a ramp at 1:12% max? 11B-303.4			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
9.17	Standby Power	Is the lift provided with standby power or with self-rechargeable battery power that provides sufficient power to operate the lift for a minimum of 5 upward and downward trips? 11B-207.2			Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
9.18	Doors & Gates	Is the lift equipped with low-energy power-operated doors and gates? (Lifts having doors or gates on opposite sides may have manual doors or gates.) 11B-410.6	Self Closing		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
9.19	Signage	Is signage provided at the landing indicating the following: the ISA, "No Freight", the lift capacity, and the telephone number to call in case of emergency. Title 8, Div 1, Ch 4, Subchapter 6, Grp 2, Art 15, Sec 3094.2(i), 11B-410.8	Telephone number not provided.		Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
9.20	Other	If you have identified any other related barriers that were not covered by this survey form, check the "No" field and provide that information below.			Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

Use this Survey Form in conjunction with the Minimum Requirements Summary Sheets and with the 2010 Americans with Disabilities Act Standards for Accessible Design (ADA Standards), Part 2 of Title 24 of the California Code of Regulations (CBC), and Division 1, Chapter 4, Subchapter 6 of Title 8 of the California Code of Regulations (Elevator Safety Orders).

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Date June 8, 2018

Surveyor Initials WmH.

Page 2 of 2



William M. Holl, AIA
Architect • CASp • Contractor

July 27, 2018

Peter Kasavan, FAIA
Kasavan Architects
60 W. Market Street, Suite 300
Salinas, California 93901

SUBJECT: **CASp INSPECTION AND REPORT**
Existing Multipurpose Building, Vista Lobos, 3rd Avenue between
Junipero Avenue & Torres Street, Carmel-by-the-Sea, California
Inspection Date: June 22, 2018.
APN: 010-104-001 & 010-194-004

Dear Mr. Kasavan,

In accordance with your authorization, I have completed an inspection of the site accessible parking, signage, and paths of travel and the building counters, sinks, sanitary facilities and paths of travel of the subject project. This report includes a summary of the permit history, a description of the facilities, and identification of all accessibility barriers. It is a pleasure being associated with you on this project. If you have any questions, or if I may be of further assistance, please do not hesitate to contact me.

Sincerely,

William M. Holl, AIA
Certified Access Specialist (CASp) 509
110 Baja Sol Court
Scotts Valley, CA 95066
bill@wmholl.com
831.345.5395 phone
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1.0 SUMMARY OF PERMIT HISTORY

Building Permit No. 2366 was issued by the City of Carmel-by-the-Sea for construction of the building as a two story warehouse in 1952.

Building Permit No. 2500 was issued by the City of Carmel-by-the-Sea for a new toilet room in 1953.

Building Permit No. 89-195 was issued by the City of Carmel-by-the-Sea to a build parking lot and a park in 1989.

Building Permit No. 94-27 was issued by the City of Carmel-by-the-Sea for a handicapped retrofit, remodel meeting room area and install windows in 1994.

2.0 DESCRIPTION OF THE FACILITIES

The building is two stories with one accessible restroom and two accessible parking spaces. The first floor is storage bays accessed from Junipero Ave. The second floor is comprised of an office that houses the City's IT division, and a large multipurpose room with a kitchen and unisex restroom.

The applicable construction-related accessibility standards that apply are the 1989 California Accessibility Standards Interpretive Manual for the permit issued in 1989; the Americans With Disabilities Act (ADA), Standards for Accessible Design and California Building Code (CBC), that were enforced at the time for the permit issued in 1994; the 2010 Americans with Disabilities Act (ADA), Standards for Accessible Design for barrier removal that does not result in undue financial or administrative burdens; and the 2016 California Building Code (CBC), and 2010 ADA Standards for Accessible Design for new construction.

3.0 ACCESSIBILITY BARRIERS

The site and the building were inspected to determine compliance with the standards listed. The following elements do not comply:

Site

- A. Path of Travel from Public Sidewalk to Primary Entrance: An accessible route from the public sidewalk to the primary entrance is not provided.
- B. Accessible Parking Spaces (2): See Photograph 1.

Three accessible parking spaces minimum and a van accessible parking space are not provided.

An accessible route from the parking spaces to the primary entrance is not provided.

An accessible route from the parking spaces to the public sidewalk is not provided.

Ground surface slopes at the parking spaces and access aisle are greater than 1:48 (2.08%).

The hatched lines at the access aisle are not 36" on center maximum.

The words "NO PARKING" are not painted within the access aisle.

The lower side of the International Symbol of Accessibility painted on each parking space is not at the end of the parking space length.

The parking space is not van accessible.

The identification signs are not 60" minimum above the ground measured to the bottom of the sign.

An additional sign below the identification signs that states "Minimum Fine \$250" is not provided.

A "TOW AWAY" sign is not provided.

- C. Electric Vehicle Charging Stations (2): Charging stations are not accessible or on an accessible route. See Photograph 2.

- D. Exterior East Wood Stair: See Photograph 3.

A minimum 2" wide to a maximum 4" wide contrasting stripe at all treads and upper approach are not provided.

Handrails are not provided on both sides of the stair.

At the top of the stair the handrail does not extend horizontally above the landing 12" minimum.

At the bottom of the stair the handrail does not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

- E. Exterior North Wood Stairway to Junipero Ave.: See photographs 4 & 5.

Risers are open, which is not permitted.

A minimum 2" wide to a maximum 4" wide contrasting stripe at all treads and upper approach are not provided.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

At the top of each flight the handrails do not extend horizontally above the landing 12" minimum.

At the bottom of each flight the handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

The slope of the landings at the top and bottom of the stair are not 1:48 (2.08%), maximum.

Guardrails at the open sides of the stairway and intermediate landing do not have 4" maximum openings.

- F. Exterior South Wood Stairway to Junipero Ave.: See photographs 6 & 7.

Risers are open, which is not permitted.

A minimum 2" wide to a maximum 4" wide contrasting stripe at all treads and upper approach are not provided.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the stair nosings.

At the top of each flight the handrails do not extend horizontally above the landing 12" minimum.

At the bottom of each flight the handrails do not extend at the slope of the stair for a horizontal distance equal to one tread depth beyond the last riser nosing and continue with a horizontal extension 12" long minimum.

The slope of the landing at the bottom of the stair is not 1:48 (2.08%), maximum.

Guardrails at the open sides of the stairway are not 42" high minimum above the stair nosings.

Guardrails at the open sides of the stairway and intermediate landing do not have 4" maximum openings.

- G. Exterior Wood Stair to Observation Deck: See Photograph 8.

Contrasting stripes are not provided.

Handrails are not provided.

The landing depth at the bottom of the stair is not 48" minimum.

- H. Bench at Observation Deck: See Photograph 9.

The top of the seat is not 17" minimum and 19" maximum above the deck.

The seat is not 20" deep minimum and 24" deep maximum.

The back support does not extend from a point 2" maximum above the seat surface to a point 18" minimum above the seat surface.

- I. Guardrail at Observation Deck: Openings are not 4" maximum. See Photograph 10.

- J. Wood Ramp to Observation Deck: See Photograph 11.

The tops of the handrail gripping surfaces are not 34" minimum and 38" maximum above the ramp.

At the bottom and top of each ramp run, the handrails do not extend horizontally above the landing 12" minimum.

Edge protection is not provided at the bottom run of the ramp.

The intermediate landing is not 60" minimum by 72" minimum.

Building

- K. Accessible Restroom: See Photographs 12 & 13.

Entry Door: A geometric symbol is not provided on the exterior of the door and the coat hook is not located 48" maximum above the floor.

Toilet: 60" minimum by 56" minimum clearance around the toilet is not provided.

Grab Bars: The front end of the sidewall grab bar is not 24" minimum in front of the toilet.

Toilet Paper Dispenser: Not located 7" min. and 9" max in front of the toilet.

Lavatory: The supply and drain lines under the lavatory are not insulated.

Soap Dispenser: Operable part is not 40" maximum from the floor.

Seat Cover Dispenser: Operable part is not 40" maximum from the floor.

- L. Doors at Restroom Vestibule: The distance between the door to the multipurpose room and restroom door is not 48" minimum plus the width of the doors swinging into the space. See Photograph 14.
- M. Kitchen Sink Counter: The counter surface is not 34" maximum above the floor. Knee and toe clearance under the sink is not provided. See Photograph 15.
- N. Pass Through Counter: The counter surface is not 34" high maximum above the floor and the counter does not protrude 4" maximum into the circulation space on both sides. See Photograph 16 & 17.
- O. Multipurpose Room Exterior Doors (2): The door surface within 10 inches of the ground does not have a smooth surface on the push side extending the full width of the door.
- P. Multipurpose Room Switches (2): Not located 48" maximum to the top of the outlet box.

4.0 SUMMARY

Per the Construction-Related Accessibility Standards Compliance Act (CA Civil Code 55.51-55.545), the Determination is "Inspected by a CASp"; corrections are needed to meet construction-related accessibility standards. The CASp has not made an assessment of barrier removal that does not result in undue financial or administrative burdens, and therefore a schedule of completion for corrections has not been determined.

The 2016 California Building Code (CBC) does not require accessibility upgrades unless there is an addition or alteration to an existing building. However, the Americans with Disabilities Act (ADA), requires that barriers to accessibility be removed if doing so does not result in undue financial or administrative burdens.

The City of Carmel-by-the-Sea has the burden of proving that compliance with the Americans with Disabilities Act (ADA), Title II Regulations, Subpart D - Program Accessibility: Existing Facilities, would result in undue financial or administrative burdens, herein after referred to as an undue burden. Identifying items as an undue burden is a reasonable assumption made by the CASp.

Site

A. Path of Travel from Public Sidewalk to Primary Entrance: Providing an accessible route from the public sidewalk to the primary entrance is an undue burden.

B. Accessible Parking Spaces (2):

Due to the number of parking spaces in the parking lot, three accessible parking spaces minimum are required, and one of the three is required to be van accessible per CBC Section 11B-208.

The recommendation is to provide one accessible parking space at the current southeast location with the access aisle on the east side and an accessible route to the public sidewalk on Torres St., and two accessible parking spaces including one van accessible space near the building with an accessible route to the north end of the wood deck at the building per CBC Sections 11B-206 & 502. See Photograph 18.

C. Electric Vehicle Charging Stations (2): Making the charging stations accessible and providing an accessible route to them is an undue burden.

D. Exterior East Wood Stair:

Provide contrasting stripes per CBC Section 11B-504.4.1.

Provide handrails on both sides of the stair per CBC Section 11B-505.

E. Exterior North Wood Stairway to Junipero Ave.:

Provide riser closer panels per CBC Section 11B-504.3.

Provide contrasting stripes per CBC Section 11B-504.4.1.

Modify or replace handrails per CBC Section 11B-505.

Modify guardrails at the open sides of the stairway and intermediate landing
Per CBC Section 1015.

Correcting the slope of the landings at the top and bottom of the stair is an undue burden.

F. Exterior South Wood Stairway to Junipero Ave.:

Provide riser closer panels per CBC Section 11B-504.3.

Provide contrasting stripes per CBC Section 11B-504.4.1.

Modify or replace handrails per CBC Section 11B-505.

Modify guardrails at the open sides of the stairway and intermediate landing
per CBC Section 1015.

Correcting the slope of the landing at the bottom of the stair is an undue burden.

G. Exterior Wood Stair to Observation Deck:

Provide contrasting stripes per CBC Section 11B-504.4.1.

Provide handrails per CBC Section 11B-505.

Correcting the landing depth at the bottom of the stair is an undue burden.

H. Bench at Observation Deck:

Provide a 48" long minimum section of bench per CBC Section 11B-903.

I. Guardrail at Observation Deck: Modify guardrail per CBC Section 1015.

J. Wood Ramp to Observation Deck:

Modify or replace handrails per CBC Section 11B-505.

Provide edge protection at the bottom run of the ramp per CBC Section 11B-405.9.

Correcting the size of the intermediate landing is an undue burden.

Building

K. Accessible Restroom: See Photographs 12 & 13.

Entry Door: Provide a unisex geometric symbol on the exterior of the door per CBC Section 11B-703.7.2.6.3. Relocate coat hook per CBC Section 11B-308.

Toilet: Providing a 60" minimum by 56" minimum clearance around the toilet is an undue burden.

Grab Bars: Relocate the sidewall grab bar per CBC Section 11B-604.5.1.

Toilet Paper Dispenser: Relocate per CBC Section 11B-604.7.

Lavatory: Insulate the supply and drain lines under the lavatory per CBC Section 11B-606.5.

Soap Dispenser: Relocate per CBC Section 11B-603.5.

Seat Cover Dispenser: Relocate per CBC Section 11B-603.5.

- L. Doors at Restroom Vestibule: Reverse the swing of the door to the multipurpose room to swing into the multipurpose room.
- M. Kitchen Sink Counter: Modify or replace a portion of the sink counter per CBC Section 11B-606, and provide a 30" minimum work surface adjacent to the sink per CBC Section 11B-902.
- N. Pass Through Counter: Lower the counter so the surface is 34" high maximum above the floor per CBC Section 11B-904.4.1. Provide a structure below the counter so it does not protrude into the circulation space per CBC Section 11B-204.
- O. Multipurpose Room Exterior Doors (2): Modify or replace the doors to provide a smooth surface on the push side extending the full width of the door per CBC Section 11B-404.2.10.
- P. Multipurpose Room Switches (2): Relocate switches per CBC Section 11B-308.

END OF REPORT



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



Photograph 16



Photograph 17



Photograph 18

ADA Curb Ramps

Description	Estimated Cost	Non Compliant Curb Ramps
Ocean Avenue - Santa Fe to Scenic	\$ 156,000.00	26
Scenic & Santa Lucia	\$ 132,000.00	22
Parks	\$ 102,000.00	17
7th Junipero to Casanova, 6th at Monte Verde	\$ 168,000.00	28
8th Junipero to Monte Verde, 4th Junipero & Mission, 3rd Junipero & Mission	\$ 222,000.00	37
San Carlos & 9th,10th. Mission & 10th, Ocean & Forest, Ocean & Guadalupe, Ocean & Santa Rita	\$ 144,000.00	24
4th & Torres, Dolores, Lincoln & San Carlos - 5th Junipero to Monte Verde - 6th Torres to Lincoln	\$ 366,000.00	61
Del Mar Pkg Lot - Scenic at 12th,13,Santa Lucia & Martin Way - Santa Lucia & Monte Verde, Dolores& Fransican Way	\$ 144,000.00	24
Rio at Santa Lucia & Lausen - 4th From Monte Verde to San Antonio	\$ 102,000.00	17
Curb Ramp Estimated Costs	\$ 1,536,000.00	256

Ocean Avenue - Santa Fe to Scenic

Date of Inspection	Location				Sidewalk	Curb Ramp		ADA Compliant		% Grade		Notes		
	SW	SE	NW	NE		Yes	No	Yes	No	Varies				
June 21, 2018	SW	<u>SE</u>	NW	NE	Ocean & Santa Fe	AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	18.2%	Zero Curb Ramp to Walking Path	1
	SW	SE	NW	<u>NE</u>		None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Curb Ramp Or Sidewalks	2
	SW	SE	<u>NW</u>	NE		None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Curb Ramp Or Sidewalks	3
	<u>SW</u>	SE	NW	NE		AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	6.0%	Zero Curb Ramp to Walking Path	4
	SW	<u>SE</u>	NW	NE	Ocean & Torres	AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	25.4%	Zero Curb Ramp to Walking Path	5
	SW	SE	NW	<u>NE</u>		None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Curb Ramp Or Sidewalks	6
	SW	SE	<u>NW</u>	NE		Asphalt Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies	6.8%	No Curb Ramp	7
	<u>SW</u>	SE	NW	NE		AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	5.0%	Zero Curb Ramp to Walking Path	8
	SW	<u>SE</u>	NW	NE	Ocean & Casanova	Conc Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	17.5%	Zero Curb Ramp to Walking Path	9
	<u>SW</u>	SE	NW	NE		Conc Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	12.8%	Zero Curb Ramp to Walking Path	10
	SW	SE	<u>NW</u>	NE		AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	10.4%	Zero Curb Ramp to Walking Path	11
	SW	SE	NW	<u>NE</u>		AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	18.4%	Zero Curb Ramp to Walking Path	12
	SW	<u>SE</u>	NW	NE	Ocean & Camino Real	Conc Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	10.8%	Zero Curb Ramp to Walking Path	13
	<u>SW</u>	SE	NW	NE		Conc Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	12.6%	Zero Curb Ramp to Walking Path	14
	SW	SE	<u>NW</u>	NE		AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	2.2%	Zero Curb Ramp to Walking Path	15
	SW	SE	NW	<u>NE</u>		AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	10.5%	Zero Curb Ramp to Walking Path	16
June 26, 2018	SW	SE	NW	NE	Ocean & Carmelo	AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	16.2%	Zero Curb Ramp to Walking Path	17
	SW	SE	NW	NE		AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	16.7%	Zero Curb Ramp to Walking Path	18
	SW	SE	NW	NE		AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	19.7%	Zero Curb Ramp to Walking Path	19
	SW	SE	NW	NE		AC Walking Path Along Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	14.8%	Zero Curb Ramp to Walking Path	20
	SW	<u>SE</u>	NW	NE	Ocean & San Antonio	AC Path Adjacent to Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	28.2%	Zero Curb Ramp to Walking Path	21
	<u>SW</u>	SE	NW	NE		AC Path Adjacent to Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	2.5%	Zero Curb Ramp to Walking Path	22
	SW	SE	<u>NW</u>	NE		DG Sidewalk	<u>Yes</u>	No	Yes	<u>No</u>	Varies	3.3%	Concrete curb Ramp	23
	SW	SE	NW	<u>NE</u>		AC Path Adjacent to Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	9.6%	Zero Curb Ramp to Walking Path	24
	SW	<u>SE</u>	NW	NE	Ocean & Scenic	AC Path Adjacent to Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	17.0%	Zero Curb Ramp to Walking Path	25
	<u>SW</u>	SE	NW	NE		AC Path Adjacent to Ocean	Yes	<u>No</u>	Yes	<u>No</u>	Varies	5.9%	Zero Curb Ramp to Walking Path	26
	SW	SE	<u>NW</u>	NE		AC Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Intersection	27
	SW	SE	NW	<u>NE</u>		AC Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Intersection	28

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Scenic & Santa Lucia

Date of Inspection	Location				Sidewalk	Curb Ramp		ADA Compliant		% Grade		Notes	
	SW	SE	NW	NE		Yes	No	Yes	No	Varies			
June 26, 2018	SW	<u>SE</u>	NW	NE	Del Mar Lot End of Ocean	AC Path to Paver Crosswalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies	10.2%	Fire Hydrant & Storm Drain
	SW	SE	<u>NW</u>	NE	End of SW at Beach	Exposed Aggregate SW	Yes	<u>No</u>	Yes	<u>No</u>	Varies	2.2%	Zero Curb Sidewalk to Paver Crosswalk
		West Side			Scenic & 12th	DG Pathway	<u>Yes</u>	No	Yes	<u>No</u>	Varies	6.7%	DG Scenic Pathway
		East Side			Scenic & 12th	Concrete Drainage	Yes	<u>No</u>	Yes	<u>No</u>	Varies	20.2%	Storm Drain
		West Side			Scenic & 13th	DG Pathway	<u>Yes</u>	No	Yes	<u>No</u>	Varies	7.8%	Tree/Sign/Boulder
		East Side			Scenic & 13th	Concrete Drainage	Yes	<u>No</u>	Yes	<u>No</u>	Varies	11.0%	PGE Pole/Stop Sign/Sign/Boulder
		West Side			Scenic & Santa Lucia	DG Pathway	<u>Yes</u>	No	Yes	<u>No</u>	Varies	9.6%	DG Scenic Pathway
		West Side			Scenic & Santa Lucia	DG Pathway	<u>Yes</u>	No	Yes	<u>No</u>	Varies	8.3%	DG Scenic Pathway
		West Side			Scenic & Martin Way	DG Pathway	<u>Yes</u>	No	Yes	<u>No</u>	Varies	7.5%	DG Scenic Pathway
		East Side			Martin Way at Scenic	No Sidewalks	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	Landscaping Only
June 26, 2018	SW	SE	<u>NW</u>	NE	Santa Lucia & Monte Verde	Asphalt	<u>Yes</u>	No	Yes	<u>No</u>	Varies	25.5%	Stop Sign
	SW	SE	NW	<u>NE</u>	Santa Lucia & Monte Verde	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies		Landscaping
	<u>SW</u>	SE	NW	NE	Santa Lucia & Monte Verde	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies		Landscaping
	SW	<u>SE</u>	NW	NE	Santa Lucia & Monte Verde	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies	22.5	Large Asphalt Berm
	SW	SE	<u>NW</u>	NE	Santa Lucia & Dolores	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies		Landscaping
	SW	SE	NW	<u>NE</u>	Santa Lucia & Dolores	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies		Landscaping
	<u>SW</u>	SE	NW	NE	Santa Lucia & Dolores	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies		Landscaping
	SW	<u>SE</u>	NW	NE	Santa Lucia & Dolores	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies		Landscaping
	SW	SE	<u>NW</u>	NE	Santa Lucia & Franciscan	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies		Partial Asphalt Walkway
	SW	SE	NW	<u>NE</u>	Santa Lucia & Franciscan	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies		Storm Drain
	<u>SW</u>	SE	NW	NE	Santa Lucia & Franciscan	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies	10.5	Partial Asphalt Walkway
	SW	<u>SE</u>	NW	NE	Santa Lucia & Franciscan	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies	7.2	Asphalt Walkway

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Parks

Map Designation	Location				Sidewalk	Curb Ramp		ADA Compliant		% Grade	Notes	
1	SW	SE	NW	NE	Mission Trail Park at Rio	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	Dirt Entry
	SW	SE	NW	NE	11th & Torres	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	Dirt Entry
	SW	SE	NW	NE	MT View	No Sidewalk	<u>Yes</u>	No	Yes	<u>No</u>	<u>Varies</u>	10.5% No Curb Ramp Or Sidewalks
	SW	SE	NW	NE	Flanders	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	Dirt Entry
	SW	SE	NW	NE	Martin Road	No Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	Dirt Entry
2	SW	SE	<u>NW</u>	NE	Dolores & 5th Avenue	Conc Walking Path Along Ocean	<u>Yes</u>	No	Yes	<u>No</u>	<u>Varies</u>	8.0% Pavers Sidewalk
	SW	SE	NW	NE	Carmelita Park	Conc Walking Path Along Ocean	<u>Yes</u>	No	Yes	<u>No</u>	<u>Varies</u>	9.7% 70' West of Dolore Ramp
3	SW	SE	NW	NE	Devendorf Park							
	SW	SE	NW	<u>NE</u>	Junipero & Ocean	AC/Brick	<u>Yes</u>	No	<u>Yes</u>	No	<u>Varies</u>	5.9% New Curb Ramp
	SW	SE	NW	<u>NE</u>	Mission & Ocean	Stone/Brick	<u>Yes</u>	No	Yes	No	<u>Varies</u>	6.7% New Curb Ramp
	SW	SE	NW	<u>NE</u>	Mission & 6th	Brick/Exposed Aggregate	<u>Yes</u>	No	Yes	<u>No</u>	<u>Varies</u>	10.2% Fire Hydrant/Stop Sign
	SW	SE	<u>NW</u>	NE	Junipero & 6th	Brick/Exposed Aggregate	<u>Yes</u>	No	Yes	<u>No</u>	<u>Varies</u>	2.0% Exposed Aggregate
4	SW	SE	NW	NE	1st Murphy Park							
	SW	SE	<u>NW</u>	NE	Lincoln & 6th	Park Pathway	<u>Yes</u>	No	<u>Yes</u>	No	<u>Varies</u>	6.9% Park Pathway/No Sidewalks
	SW	SE	<u>NW</u>	NE	North of 6th on Lincoln	Concrete	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	4.8% Concrete Ramp to Dirt Walkway
5	SW	SE	NW	NE	Forest Hill Park	No Sidewalks	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	Dirt Entry
6	SW	SE	NW	NE	Forest Theater Park		Yes	No	Yes	No	<u>Varies</u>	
7	SW	SE	NW	NE	Lester Rowntree Park	No Sidewalks	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	
8	SW	SE	NW	NE	Mary Austin Park	No Sidewalks	Yes	No	Yes	No	<u>Varies</u>	
9	SW	SE	NW	NE	Picadilly Park		Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	Paver Sidewalk
10	SW	SE	NW	NE	Vista Lobos Park	No Sidewalks	<u>Yes</u>	No	Yes	<u>No</u>	<u>Varies</u>	Dirt Walkway

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7th Avenue from Junipero to Casanova, 6th Avenue at Monteverde

Date of Inspection	Location				Sidewalk	Curb Ramp		ADA Compliant	% Grade	Notes				
June 18, 2018	SW	SE	NW	NE	7th St & Junipero	Concrete	Yes	No	Yes	No	Varies		EXPOSED AGGREGATE	1
June 18, 2018	SW	SE	NW	NE	7th St & Junipero	Concrete	Yes	No	Yes	No	Varies	3.4	MANHOLE IN RAMP	2
June 18, 2018	SW	SE	NW	NE	7th St & Mission	Concrete	Yes	No	Yes	No	Varies		2 SEWER G-5 IN RAMP	3
June 18, 2018	SW	SE	NW	NE	7th St & Mission	Concrete	Yes	No	Yes	No	Varies			4
June 18, 2018	SW	SE	NW	NE	7th St & Mission	Concrete	Yes	No	Yes	No	Varies	3.3		5
June 18, 2018	SW	SE	NW	NE	7th St & Mission	Concrete	Yes	No	Yes	No	Varies	7	OAK TREE IN MIDDLE OF RAMP	6
June 18, 2018	SW	SE	NW	NE	7th St & San Carlos	Concrete	Yes	No	Yes	No	Varies	2.1	PGE PACBELL CABLE CALAM	7
June 18, 2018	SW	SE	NW	NE	7th St & San Carlos	Concrete	Yes	No	Yes	No	Varies			8
June 18, 2018	SW	SE	NW	NE	7th St & San Carlos	Concrete	Yes	No	Yes	No	Varies			9
June 18, 2018	SW	SE	NW	NE	7th St & San Carlos	Concrete	Yes	No	Yes	No	Varies			10
June 18, 2018	SW	SE	NW	NE	7th St & Dolores	Concrete	Yes	No	Yes	No	Varies	6.1		11
June 18, 2018	SW	SE	NW	NE	7th St & Dolores	Concrete	Yes	No	Yes	No	Varies			12
June 18, 2018	SW	SE	NW	NE	7th St & Dolores	Concrete	Yes	No	Yes	No	Varies		PGE ATT	13
June 18, 2018	SW	SE	NW	NE	7th St & Dolores	Concrete	Yes	No	Yes	No	Varies			14
June 18, 2018	SW	SE	NW	NE	7th St & Lincoln	Concrete	Yes	No	Yes	No	Varies		NO SIDEWALK ASPHALT ROAD	15
June 18, 2018	SW	SE	NW	NE	7th St & Lincoln	Concrete	Yes	No	Yes	No	Varies		FIRE HYDRANT - LIGHT POLE	16
June 18, 2018	SW	SE	NW	NE	7th St & Lincoln	Concrete	Yes	No	Yes	No	Varies		PAVERS	17
June 18, 2018	SW	SE	NW	NE	7th St & Lincoln	Concrete	Yes	No	Yes	No	Varies		BRICK	18
June 18, 2018	SW	SE	NW	NE	7th St & Monte Verde	Concrete	Yes	No	Yes	No	Varies		CONCRETE	19
June 18, 2018	SW	SE	NW	NE	7th St & Monte Verde	Concrete	Yes	No	Yes	No	Varies		ASPHALT TO DIRT	20
June 18, 2018	SW	SE	NW	NE	7th St & Monte Verde	Concrete	Yes	No	Yes	No	Varies	7.5	AC TV CABLE LIGHT POLE	21
June 18, 2018	SW	SE	NW	NE	7th St & Monte Verde	Concrete	Yes	No	Yes	No	Varies	17		22
June 18, 2018	SW	SE	NW	NE	7th St & Casanova	Asphalt	Yes	No	Yes	No	Varies		ZERO GRADE	23
June 18, 2018	SW	SE	NW	NE	7th St & Casanova	Asphalt	Yes	No	Yes	No	Varies			24
June 18, 2018	SW	SE	NW	NE	7th St & Casanova	Asphalt	Yes	No	Yes	No	Varies		NO SIDEWALK - DIRT	25
June 18, 2018	SW	SE	NW	NE	7th St & Casanova	Asphalt	Yes	No	Yes	No	Varies		BERM & DIRT	26
June 18, 2018	SW	SE	NW	NE	6th St & Monte Verde	Concrete	Yes	No	Yes	No	Varies	8.7	CABLE PGE - PINE INN	27
June 18, 2018	SW	SE	NW	NE	6th St & Monte Verde	Asphalt	Yes	No	Yes	No	Varies		FIRE HYDRANT - CATCH BASIN	28

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8th Avenue from Junipero to Monteverde, 4th Avenue at Junipero and Mission, 3rd Avenue at Junipero and Mission

Date of Inspection	Location				Sidewalk	Curb Ramp	ADA Compliant	% Grade	Notes						
June 19, 2018	SW	SE	NW	NE	Concrete		Yes	No	Yes	No	Varies	10.6%	Exposed Aggregate	1	
June 19, 2018	SW	SE	NW	NE	Concrete	Asphalt	None	Yes	No	Yes	No	Varies	3.0%	Brick Truncated Pavers	2
June 19, 2018	SW	SE	NW	NE	Concrete	Asphalt	None	Yes	No	Yes	No	Varies	5.4%	AC Ramp	3
June 19, 2018	SW	SE	NW	NE	Concrete	Asphalt	None	Yes	No	Yes	No	Varies	N/A	Berm Dirt	4
June 19, 2018	SW	SE	NW	NE	Asphalt		Yes	No	Yes	No	Varies	6.4%	AC Ramp Dirt to the East	5	
June 19, 2018	SW	SE	NW	NE	Concrete		Yes	No	Yes	No	Varies	8.1%	Exposed Aggregate-ATT Box	6	
June 19, 2018	SW	SE	NW	NE	Asphalt		Yes	No	Yes	No	Varies	5.4%	AC Ramp/SW is DG & AC	7	
June 19, 2018	SW	SE	NW	NE	Concrete	Asphalt	None	Yes	No	Yes	No	Varies	7.5%	Fire Hyd/DG Pathway/Stop Sign	8
June 19, 2018	SW	SE	NW	NE	Concrete	Asphalt	None	Yes	No	Yes	No	Varies	7.7%	AC/Stop Sign/CalAm/Cable	9
June 19, 2018	SW	SE	NW	NE	Concrete	Asphalt	None	Yes	No	Yes	No	Varies	7.9%	Exposed Aggregate SW	10
June 19, 2018	SW	SE	NW	NE	Asphalt		Yes	No	Yes	No	Varies	10.2%	Concrete Ramp/Stop Sign	11	
June 19, 2018	SW	SE	NW	NE	Concrete	Asphalt	None	Yes	No	Yes	No	Varies	8.1%	DG Path & AC	12
June 19, 2018	SW	SE	NW	NE	Concrete	Asphalt	Brick	Yes	No	Yes	No	Varies	12.3%	Brick/Fire H/Stop Sign	13
June 19, 2018	SW	SE	NW	NE	Asphalt		Yes	No	Yes	No	Varies	12.5%	AC/PGE Pole/Stop Sign	14	
June 19, 2018	SW	SE	NW	NE	Concrete		Yes	No	Yes	No	Varies	10.4%	Exposed Agg/PGE/ Stop Sign	15	
June 19, 2018	SW	SE	NW	NE	Concrete	Asphalt	None	Yes	No	Yes	No	Varies	6.3%	AC/Tree Planter/No Prkg Sign	16
June 19, 2018	SW	SE	NW	NE	Asphalt		Yes	No	Yes	No	Varies	22.5%	AC SW/Stop Sign	17	
June 19, 2018	SW	SE	NW	NE	Concrete		Yes	No	Yes	No	Varies	6.9%	Exposed Agg/Stop Sign/PGE Pole	18	
June 19, 2018	SW	SE	NW	NE	Asphalt		Yes	No	Yes	No	Varies	12.9%	AC SW/Stop Sign/FH Back of Ramp	19	
June 19, 2018	SW	SE	NW	NE	None		Yes	No	Yes	No	Varies	0.0%	Dirt Walk with AC Berm/Fire Hyd	20	
June 19, 2018	SW	SE	NW	NE	AC & Dirt Walkway		Yes	No	Yes	No	Varies	14.5%	Fire Hydrant	21	
June 19, 2018	SW	SE	NW	NE	DG & Dirt Walkway		Yes	No	Yes	No	Varies	13.7%	AC Ramp/Dirt Walkway	22	
June 19, 2018	SW	SE	NW	NE	AC Ramp & AC SW & Dirt		Yes	No	Yes	No	Varies	9.0%	AC Ramp & AC SW & Dirt	23	
June 19, 2018	SW	SE	NW	NE	Dirt		Yes	No	Yes	No	Varies	0.0%	Zero Curb/No Ramp/Tree Roots	24	
June 19, 2018	SW	SE	NW	NE	AC & Dirt		Yes	No	Yes	No	Varies	14.5%	Zero Curb/AC/Fire Hyd/Stop Sign	25	
June 19, 2018	SW	SE	NW	NE	AC E. Bnd/No SW N. Bnd		Yes	No	Yes	No	Varies	7.5%	Zero Curb/AC	26	
June 19, 2018	SW	SE	NW	NE	None		Yes	No	Yes	No	Varies	0.0%	No CR & No SW	27	
June 19, 2018	SW	SE	NW	NE	Brick Paver Walkways		Yes	No	Yes	No	Varies	7.5%	Conc CR/PGE Pole/ Stop Sign	28	
June 19, 2018	SW	SE	NW	NE	Pavers		Yes	No	Yes	No	Varies	12.6%	PGE Pole/Lscape Wall	29	
June 19, 2018	SW	SE	NW	NE	Exposed Agg Sidewalk		Yes	No	Yes	No	Varies	9.4%	Conc CR/FH/Stop Sign/Short Bollard	30	
June 19, 2018	SW	SE	NW	NE	Concrete		Yes	No	Yes	No	Varies	15.9%	Stop Sign/Utility Box/Catch Basins	31	
June 19, 2018	SW	SE	NW	NE	Pavers		Yes	No	Yes	No	Varies	20.8%	Retaining Wall 4ft from CR	32	
June 19, 2018	SW	SE	NW	NE	Concrete		Yes	No	Yes	No	Varies	2.6%	Concrete Ramp/Stop Sign	33	
June 19, 2018	SW	SE	NW	NE	Concrete		Yes	No	Yes	No	Varies	15.5%	Fire Hydrant/Stop Sign	34	
June 19, 2018	SW	SE	NW	NE	Paver E Bnd/NB Nothing		Yes	No	Yes	No	Varies	20.2%	Zero Curb/No Ramp	35	
June 19, 2018	SW	SE	NW	NE	Concrete		Yes	No	Yes	No	Varies	6.4%	Stop Sign/Catch Basin	36	
June 19, 2018	SW	SE	NW	NE	Conc/Lscape Planters Ea Side		Yes	No	Yes	No	Varies	10.1%	Zero Curb/No Ramp	37	

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San Carlos at 9th and 10th Avenue, Mission & 10th Avenue, Upper Ocean from Forest to Santa Rita

Date of Inspection	Location				Sidewalk	Curb Ramp		ADA Compliant	% Grade	Notes						
June 21, 2018	SW	<u>SE</u>	NW	NE	San Carlos & 9th	Pavers & Asphalt			<u>Yes</u>	No	Yes	<u>No</u>	Varies	12.8%	Sunset Ctr/LP/FH/CalAm	1
	SW	SE	NW	<u>NE</u>		Pavers & Asphalt			Yes	<u>No</u>	Yes	No	Varies	0.0%	SW Only In Front of Sunset Ctr	2
	SW	SE	<u>NW</u>	NE		Conc SW San Carlos Only			<u>Yes</u>	No	Yes	<u>No</u>	Varies	11.1%	Ramp to SW Behind Verge	3
	<u>SW</u>	SE	NW	NE		Concrete			<u>Yes</u>	No	Yes	<u>No</u>	Varies	5.2%	SS/Tree Bulb Out/Major Root DMG	4
	SW	<u>SE</u>	NW	NE	San Carlos & 10th	AC SW Down San Carlos Only			<u>Yes</u>	No	Yes	<u>No</u>	Varies	14.0%	Zero Curb/FH/SS	5
	SW	SE	NW	<u>NE</u>		Concrete	<u>Asphalt</u>	None	<u>Yes</u>	No	Yes	<u>No</u>	Varies	19.5%	PGE Pole/SS/No Pkg Sign	6
	SW	SE	<u>NW</u>	NE		Concrete	Asphalt	<u>None</u>	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	Vegetation No Walkway	7
	<u>SW</u>	SE	NW	NE		Concrete	Asphalt	<u>None</u>	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	Vegetation No Walkway	8
	SW	<u>SE</u>	NW	NE	Mission & 10th	Concrete	Asphalt	<u>None</u>	Yes	<u>No</u>	Yes	No	Varies	0.0%	Trees & Vegetation	9
	SW	SE	NW	<u>NE</u>		Concrete	Asphalt	<u>None</u>	Yes	<u>No</u>	Yes	No	Varies	0.0%	Trees & Vegetation	10
	SW	SE	<u>NW</u>	NE		AC On Mission-Dirt on 10th			Yes	No	Yes	<u>No</u>	Varies	25.0%	CB center of ramp/PGE Pole	11
	<u>SW</u>	SE	NW	NE		Concrete	Asphalt	<u>None</u>	Yes	<u>No</u>	Yes	No	Varies	0.0%	Toe of Steep Slope to Street	12
	SW	<u>SE</u>	NW	NE	Ocean & Forest	AC Path Runs 10ft off Ocean			Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	Zero Curb Ramp to Walking Path	13
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Curb Ramp Or Sidewalks	14
	<u>SW</u>	SE	NW	NE		Concrete	Asphalt	None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	7.9%	Zero Curb Ramp to Walking Path	15
	SW	SE	NW	NE		AC Path Runs 10ft off Ocean			Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Curb Ramp Or Sidewalks	16
	SW	<u>SE</u>	NW	NE	Ocean & Guadalupe	AC Path Runs 10ft off Ocean			Yes	<u>No</u>	Yes	<u>No</u>	Varies	5.2%	Zero Curb Ramp to Walking Path	17
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	15.1%	No Curb Ramp Or Sidewalks	18
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Curb Ramp Or Sidewalks	19
	SW	SE	NW	NE		AC Path Runs 10ft off Ocean			Yes	<u>No</u>	Yes	<u>No</u>	Varies	5.5%	Zero Curb Ramp to Walking Path	20
	SW	<u>SE</u>	NW	NE	Ocean & Santa Rita	AC Path Runs 10ft off Ocean			Yes	<u>No</u>	Yes	<u>No</u>	Varies	21.8%	Zero Curb Ramp to Walking Path	21
	SW	SE	NW	<u>NE</u>		Concrete	Asphalt	None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Curb Ramp Or Sidewalks	22
	SW	SE	<u>NW</u>	NE		Concrete	Asphalt	None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Curb Ramp Or Sidewalks	23
	<u>SW</u>	SE	NW	NE		AC Path Runs 10ft off Ocean			Yes	<u>No</u>	Yes	<u>No</u>	Varies	10.1%	Zero Curb Ramp to Walking Path	24

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4th Avenue at Torres, San Carlos, Dolores & Lincoln, 5th Avenue from Junipero to Monte Verde, 6th Avenue from Torres to Lincoln

Date of Inspection		Location				Sidewalk	Curb Ramp		ADA Compliant		% Grade	Notes		
June 20, 2018	SW	<u>SE</u>	NW	NE	Torres &4th	No Sidewalks	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%		1
	SW	SE	NW	<u>NE</u>	Torres &4th	No Sidewalks	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%		2
	SW	SE	<u>NW</u>	NE	Torres &4th	Pavers	<u>Yes</u>	No	Yes	<u>No</u>	Varies	18.5%	Curb Ramp Concrete	3
	<u>SW</u>	SE	NW	NE	Torres &4th	Exp Agg on 4th/Pkg on Torres	<u>Yes</u>	No	Yes	<u>No</u>	Varies	9.9%	Flat AC to Sidewalk	4
	SW	<u>SE</u>	NW	NE	Dolores & 4th	Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	9.9%	Zero Curb/PGE Pole in Wing	5
	SW	SE	NW	<u>NE</u>	Dolores & 4th	Asphalt	<u>Yes</u>	No	Yes	<u>No</u>	Varies	23.6%	Zero Curb AC/FH/Stop Sign/Roots	6
	SW	SE	<u>NW</u>	NE	Dolores & 4th	None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	Plants No SW or Ramp	7
	<u>SW</u>	SE	NW	NE	Dolores & 4th	Asphalt	<u>Yes</u>	No	Yes	<u>No</u>	Varies	1.3%	AC Zero Curb/Steep SW 23%	8
	SW	SE	<u>NW</u>	<u>NE</u>	Lincoln & 4th	No Sidewalks	<u>Yes</u>	No	Yes	<u>No</u>	Varies	30.6%	AC Path to Bridge	9
	SW	SE	NW	NE	Lincoln & 4th	No Sidewalks	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%		10
	<u>SW</u>	SE	NW	NE	Lincoln & 4th	No Sidewalks	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%		11
	SW	<u>SE</u>	NW	NE	Lincoln & 4th	No Sidewalks	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%		12
	SW	<u>SE</u>	NW	NE	San Carlos & 4th	Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	7.2%	PGE Pole/FH/ Modified F	13
	SW	SE	NW	<u>NE</u>	San Carlos & 4th	Pavers	<u>Yes</u>	No	Yes	<u>No</u>	Varies	6.7%	Zero Curb/2-CB/Stop Sign	14
	SW	SE	<u>NW</u>	NE	San Carlos & 4th	Asphalt	<u>Yes</u>	No	Yes	<u>No</u>	Varies	14.0%	Asphalt Migrates to a SW/Tree	15
	<u>SW</u>	SE	NW	NE	San Carlos & 4th		<u>Yes</u>	No	Yes	<u>No</u>	Varies	19.4%	No Curb AC Ramp/ Stop Sign	16
	SW	<u>SE</u>	NW	NE	Junipero & 5th	Pavers	<u>Yes</u>	No	Yes	<u>No</u>	Varies	12.5%	FH/Stop Sign	17
	SW	SE	NW	<u>NE</u>	Junipero & 5th	Asphalt	<u>Yes</u>	No	Yes	<u>No</u>	Varies	17.6%	S.Light/S.Sign/5th no SW	18
	SW	SE	<u>NW</u>	NE	Junipero & 5th	Exposed Aggregate	<u>Yes</u>	No	Yes	<u>No</u>	Varies	13.6%	Cable/Stop Sign/Exp Agg	19
	<u>SW</u>	SE	NW	NE	Junipero & 5th	Brick/Red Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	1.4%	CR is Red Concrete	20
	SW	<u>SE</u>	NW	NE	Mission & 5th	Asphalt	Yes	<u>No</u>	Yes	<u>No</u>	Varies	6.2%	AC Spilling Onto SW	21
	SW	SE	NW	<u>NE</u>	Mission & 5th	Pavers	<u>Yes</u>	No	Yes	<u>No</u>	Varies	18.0%	Narrow SW Brick Pavers	22
	SW	SE	<u>NW</u>	NE	Mission & 5th	Partial SW	Yes	<u>No</u>	Yes	<u>No</u>	Varies	8.3%	Light Pole/ Stop Sign	23
	<u>SW</u>	SE	NW	NE	Mission & 5th	Brick	<u>Yes</u>	No	Yes	<u>No</u>	Varies	21.6%	Brick Ramp/Stop Sign	24
June 20, 2018	SW	<u>SE</u>	NW	NE	San Carlos & 6th	Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	7.2%	CB/5-PGE Boxes/SD	25
	SW	SE	NW	<u>NE</u>	San Carlos & 6th	Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	9.1%	Cable/PGE/ATT/Ligt Pole	26
	SW	SE	<u>NW</u>	NE	San Carlos & 6th	Concrete Asphalt None	<u>Yes</u>	No	Yes	<u>No</u>	Varies	5.2%	Stop Sign/SD	27
	<u>SW</u>	SE	NW	NE	San Carlos & 6th	Pavers & Red Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	4.3%	Zero Curb Ramp/Sewer Lid?/FH	28
	SW	<u>SE</u>	NW	NE	Mission & 6th	Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	10.2%	Zero Curb Narrow Ramp/FH/SS	29
	SW	SE	NW	<u>NE</u>	Mission & 6th	Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	13.1%	2-SD	30
	SW	SE	<u>NW</u>	NE	Mission & 6th	Grey Pavers SW & CR	<u>Yes</u>	No	Yes	<u>No</u>	Varies	9.2%	Stop Sign/ CB out of the way	31
	<u>SW</u>	SE	NW	NE	Mission & 6th	Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	9.8%	Zero Curb/PGE	32

	SW	<u>SE</u>	NW	NE	Junipero & 6th	Asphalt & Brick Pavers	<u>Yes</u>	No	Yes	<u>No</u>	Varies	21.7%	Zero Curb Asphalt	33
	SW	SE	NW	<u>NE</u>	Junipero & 6th	Asphalt	<u>Yes</u>	No	Yes	<u>No</u>	Varies	21.4%	ZC AC/Light Pole/FH/CB	34
	SW	SE	<u>NW</u>	NE	Junipero & 6th	Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	8.9%	ZC Concrete/CB	35
	<u>SW</u>	SE	NW	NE	Junipero & 6th	Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	2.0%	ZC Exp Agg/	36
	SW	<u>SE</u>	NW	NE	Torres & 6th	None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No SW or CR	37
	SW	SE	NW	<u>NE</u>	Torres & 6th	None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	Utilities/Trees/Vegetation	38
	SW	SE	<u>NW</u>	NE	Torres & 6th	Exposed Aggregate	<u>Yes</u>	No	Yes	<u>No</u>	Varies	18.5%	CB/Light Pole/Railing	39
	<u>SW</u>	SE	NW	NE	Torres & 6th	AC Parking/ AC SW	<u>Yes</u>	No	Yes	<u>No</u>	Varies	9.5%	Zero Curb AC/Stop Sign	40
	SW	<u>SE</u>	NW	NE	San Carlos & 5th	Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	7.6%	Zero Curb Ramp/Stop Sign	41
	SW	SE	NW	<u>NE</u>		Exposed Aggregate	<u>Yes</u>	No	Yes	<u>No</u>	Varies	11.8%	Bulb Outs/CB/PGE/Cable/CalAm	42
	SW	SE	<u>NW</u>	NE		Asphalt	<u>Yes</u>	No	Yes	<u>No</u>	Varies	15.4%	2-Ramps/SD/Stop Sign/CalAM	43
	<u>SW</u>	SE	NW	NE		Pavers	<u>Yes</u>	No	Yes	<u>No</u>	Varies	2.5%	Zero Curb Ramp/FH/Light Pole/	44
	SW	<u>SE</u>	NW	NE	Dolores & 5th	Pavers & Asphalt	<u>Yes</u>	No	Yes	<u>No</u>	Varies	12.4%	CR Pavers/Stop Sign	45
	SW	SE	NW	<u>NE</u>		Pavers	<u>Yes</u>	No	Yes	<u>No</u>	Varies	4.8%	Boxes in Ramp/2-CB/ATT/PGE/Cable	46
	SW	SE	<u>NW</u>	NE		Pavers & Asphalt	<u>Yes</u>	No	Yes	<u>No</u>	Varies	8.0%	Stop Sign/CB/FH	47
	<u>SW</u>	SE	NW	NE		Fenced Off During Const	Yes	No	Yes	No	Varies	0.0%	SW & CR Fenced Off Until Fall 2019	48
	SW	<u>SE</u>	NW	NE	Lincoln & 5th	Asphalt	Yes	<u>No</u>	Yes	<u>No</u>	Varies	11.2%	AC Paved Level with SW/Stop Sign	49
	SW	SE	NW	<u>NE</u>		None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	Vegetation/No Ramps or SW	50
	SW	SE	<u>NW</u>	NE		None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	Vegetation/No Ramps or SW	51
	<u>SW</u>	SE	NW	NE		Asphalt	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	Steep Side Slope/No Ramp	52
	SW	<u>SE</u>	NW	NE	Monte Verde & 5th	Narrow AC Path	Yes	<u>No</u>	Yes	<u>No</u>	Varies	18.8%	AC Walking Path Behind Verge/FH	53
	SW	SE	NW	<u>NE</u>		Narrow Dirt Path	Yes	<u>No</u>	Yes	<u>No</u>	Varies	23.1%	PGE Pole at Corner/	54
	SW	SE	NW	NE		None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Intersection/No CR/ No SW	55
	SW	SE	NW	NE		None	Yes	<u>No</u>	Yes	<u>No</u>	Varies	0.0%	No Intersection/No CR/ No SW	56
	SW	<u>SE</u>	NW	NE	Lincoln & 6th	Concrete	<u>Yes</u>	No	<u>Yes</u>	No	Varies	5.8%	New Curb Ramps	<u>57</u>
	SW	SE	NW	<u>NE</u>	Lincoln & 6th	Concrete	<u>Yes</u>	No	<u>Yes</u>	No	Varies	6.2%	New Curb Ramps	<u>58</u>
	SW	SE	<u>NW</u>	NE	Lincoln & 6th	Concrete	<u>Yes</u>	No	<u>Yes</u>	No	Varies	6.9%	New Curb Ramps	<u>59</u>
	<u>SW</u>	SE	NW	NE	Lincoln & 6th	Concrete	<u>Yes</u>	No	<u>Yes</u>	No	Varies	6.5%	New Curb Ramps	60
	SW	<u>SE</u>	NW	NE	Dolores & 6th	Concrete	<u>Yes</u>	No	Yes	<u>No</u>	Varies	7.8%	PGE/Storm Drain	61
	SW	SE	NW	<u>NE</u>		Pavers	<u>Yes</u>	No	Yes	<u>No</u>	Varies	9.5%	CR Pavers/CB/SS/FH	62
	SW	SE	<u>NW</u>	NE		Brick	<u>Yes</u>	No	Yes	<u>No</u>	Varies	8.2%	CR Brick	63
	<u>SW</u>	SE	NW	NE		Brick	<u>Yes</u>	No	Yes	<u>No</u>	Varies	5.6%	CR Brick/PGE/SS/Tree	64

Del Mar Parking Lot, Scenic at 12th, 13th, Santa Lucia & Martin Way, Santa Lucia at Monte Verde, Dolores at Franciscan Way

Date of Inspection	Location				Sidewalk			Curb Ramp		ADA Compliant		% Grade		Notes	
	SW	SE	NW	NE	Concrete	Asphalt	None	Yes	No	Yes	No	Varies			
June 26, 2018	SW	SE	NW	NE	Del Mar Pkg Lot	Concrete	Asphalt	None	Yes	No	Yes	No	Varies	10.2%	
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies	2.2%	
	N. West				Scenic & 12th	Decomposed Granite			Yes	No	Yes	No	Varies	6.7%	Conc CR
	N. East					Concrete	Asphalt	None	Yes	No	Yes	No	Varies	20.2%	AC Path/torm Drain
	N. West				Scenic & 13	Decomposed Granite			Yes	No	Yes	No	Varies	7.8%	CR/Tree/Sign/Boulder
	N. East					Narrow AC SW			Yes	No	Yes	No	Varies	11.0%	Zero Curb/PGE Pole/CB/Tree
	N. West				Scenic & Santa Lucia	Decomposed Granite			Yes	No	Yes	No	Varies	9.6%	Sign/Boulder
	N. West					Decomposed Granite			Yes	No	Yes	No	Varies	8.3%	Sign/Boulder
	N. West				Scenic & Martin Way	DG SW No Intersection			Yes	No	Yes	No	Varies	7.5%	Sign/Boulder
	N. West				Scenic & Martin Way	DG SW No Intersection			Yes	No	Yes	No	Varies	7.5%	Sign/Boulder
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Landscaping
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Landscaping
June 27, 2018	SW	SE	NW	NE	Santa Lucia & Monte Verde	Concrete	Asphalt	None	Yes	No	Yes	No	Varies	25.5%	Stop Sign
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Stop Sign
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Berm
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies		SS/Landscape
	SW	SE	NW	NE	Santa Lucia & Dolores	Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Landscape
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Landscape
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Landscape
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Landscape
	SW	SE	NW	NE	Santa Lucia & Franciscan Way	Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Landscape
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Landscape
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Landscape
	SW	SE	NW	NE		Concrete	Asphalt	None	Yes	No	Yes	No	Varies		Landscape

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Rio Road at Santa Lucia & Lausen, 4th Avenue From Monte Verde to San Antonio

Date of Inspection	Location				Sidewalk	Curb Ramp	ADA Compliant	% Grade	Notes						
June 27, 2018	SW	SE	<u>NW</u>	NE	Santa Lucia & Rio		Narrow AC Path	Yes	<u>No</u>	Yes	<u>No</u>	Varies	20.5%	Bell/Storm Drain	1
	<u>SW</u>	SE	NW	NE	Santa Lucia & Rio		AC Sidewalk	Yes	<u>No</u>	Yes	<u>No</u>	Varies	7.5%	Stop Sign	2
	SW	<u>SE</u>	NW	NE	Santa Lucia & Rio		Concrete Asphalt <u>None</u>	Yes	No	Yes	No	Varies	0.0%	Berm	3
	SW	SE	NW	<u>NE</u>	Santa Lucia & Rio		Concrete Asphalt <u>None</u>	Yes	No	Yes	No	Varies	0.0%		4
Mission	SW	SE	<u>NW</u>	NE	Lasuen Dr & Rio		<u>Concrete</u> Asphalt None	<u>Yes</u>	No	Yes	<u>No</u>	Varies	12.9%		5
	<u>SW</u>	SE	NW	NE	Lasuen Dr & Rio		Concrete Asphalt <u>None</u>	Yes	<u>No</u>	Yes	No	Varies	0.0%	Crosswalk Deadends To Pkg Lot Curb	6
July 2, 2018	<u>SW</u>	SE	NW	NE	Monte Verde & 4th		Concrete Asphalt None	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	18.2%	DG Walkway	7
	SW	<u>SE</u>	NW	NE	Casanova & 4th		Concrete Asphalt None	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	11.3%	DG Walkway	8
	<u>SW</u>	SE	NW	NE	Casanova & 4th		Concrete Asphalt None	Yes	<u>No</u>	Yes	No	Varies	0.0%	DG Walkway	9
	<u>SW</u>	SE	NW	NE	Camino Real & 4th		Concrete Asphalt None	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	16.4%	DG Path South Side of 4th	10
	SW	<u>SE</u>	NW	NE	Camino Real & 4th		Concrete Asphalt None	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	12.4%	DG Path South Side of 4th	11
	SW	<u>SE</u>	NW	NE	Carmelo & 4th		Concrete Asphalt None	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	13.4%	DG Path South Side of 4th	12
	<u>SW</u>	SE	NW	NE	Carmelo & 4th		Concrete Asphalt None	Yes	<u>No</u>	Yes	<u>No</u>	<u>Varies</u>	16.1%	DG Path South Side of 4th	13
	SW	SE	<u>NW</u>	NE	San Antonio & 4th		DG Path	Yes	<u>No</u>	Yes	<u>No</u>	Varies	16.1%		14
	<u>SW</u>	SE	NW	NE	San Antonio & 4th		DG Path	Yes	<u>No</u>	Yes	<u>No</u>	Varies	8.9%		15
	SW	<u>SE</u>	NW	NE	San Antonio & 4th		DG Path	Yes	<u>No</u>	Yes	<u>No</u>	Varies	11.0%		16
	SW	SE	NW	<u>NE</u>	San Antonio & 4th		Concrete Asphalt <u>None</u>	Yes	<u>No</u>	Yes	<u>No</u>	Varies	3.4%		17
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