

**PROJECT DRAWINGS FOR
SUNSET CENTER
AND
HARRISON MEMORIAL LIBRARY
PAINTING PROJECTS
CARMEL-BY-THE-SEA**

ABBREVIATIONS

| | | | |
|-----------|-----------------------------|---------|---------------------------|
| AB | ANCHOR BOLT | INFO | INFORMATION |
| AC | AIR CONDITIONER | INSUL | INSULATION |
| ADJ | ADJACENT | INT | INTERIOR |
| AFF | ABOVE FINISH FLOOR | INV | INVERT |
| AL | ALUMINUM | JAN | JANITOR |
| APPROX. | APPROXIMATELY | KIT | KITCHEN |
| ASPH | ASPHALT | LAM | LAMINATED |
| AVG | AVERAGE | LAV | LAVATORY |
| BD | BOARD | LB/# | POUND |
| BLDG | BUILDING | L.F./LF | LINEAR FLOOT |
| BLK/BLKG | BLOCK/BLOCKING | LS | LAG SCREW |
| BM | BEAM | MAX | MAXIMUM |
| BN | BULLNOSE | MB | MACHINE BOLT |
| BOT | BOTTOM | MECH | MECHANICAL |
| C.F. | CUBIC FOOT | MFR | MANUFACTURER |
| C.I. | CUBIC INCH | MIN | MINIMUM |
| CI | CAST IRON | MISC | MISCELLANEOUS |
| CJ | CEILING JOIST/CONTROL JOINT | MTL | METAL |
| CL | CENTER LINE | (N) | NEW |
| CLR | CLEAR/CLEARANCE | N.G./NG | NATURAL GRADE |
| CLG | CEILING | NO. / # | NUMBER |
| CLKG | CAULKING | NTS | NOT TO SCALE |
| CMU | CONCRETE MASONRY UNIT | O' | OVER |
| CO | CLEANOUT | OBS | OBSCURE |
| COL | COLUMN | O.C./OC | ON CENTER |
| CONC | CONCRETE | OPCI | OWNER PROVIDED. |
| CONN | CONNECTION | OPOI | OWNER INSTALLED |
| CONST | CONSTRUCTION | | CONTRACTOR INSTALLED |
| CONT | CONTINUOUS | | OWNER PROVIDED. |
| CTR | CENTER | OS | OWNER INSTALLED |
| CW | COLD WATER | OZ | OCCUPANCY SENSOR |
| C.Y. | CUBIC YARD | PERF | OUNCE |
| DBL | DOUBLE | PERP | PERFORATED |
| DEG | DEGREE | PERP | PERPENDICULAR |
| DEPT | DEPARTMENT | PH | PHONE |
| DET | DETAIL | PL | PLATE/ PROPERTY LINE |
| DET | DOUGLAS FIR | PLYWD | PLYWOOD |
| DIA | DIAMETER | PR | PAIR |
| DIM | DIMENSION | PREFAB | PRE-FABRICATED |
| DN | DOWN | P.S.F. | POUNDS PER SQUARE FOOT |
| DS | DOWNSPOUT | P.S.I. | POUNDS PER SQUARE INCH |
| DW | DISHWASHER | PTDF | PRESSURE TREATED DOUG FIR |
| EA | EACH | PVMT | PAVEMENT |
| EJ | EXPANSION JOINT | R | RISER |
| ELEC | ELECTRICAL | RD | ROOF DRAIN |
| ELEV | ELEVATION/ELEVATOR | REF | REFRIGERATOR |
| ENCL | ENCLOSURE | REQ | REQUIRED |
| EOS | EDGE OF SLAB | RM | ROOM |
| EQ | EQUAL | RO | ROUGH OPENING |
| EQUIP | EQUIPMENT | ROW | RIGHT OF WAY |
| EST | ESTIMATE | RTS | REFER TO STRUCTURAL |
| EXIST/(E) | EXISTING | RWD | REDWOOD |
| EXT | EXTERIOR | S4S | SURFACED 4 SIDES |
| FAU | FORCED AIR UNIT | SC | SOLID CORE |
| FH | FIRE HYDRANT | SD | SMOKE DETECTOR |
| F.O.C. | FACE OF CURB | S.F./SF | SQUARE FOOT |
| F.O.F. | FACE OF FINISH | SHT | SHEET |
| F.O.S. | FACE OF STUD | SHTG | SHEATHING |
| FD | FLOOR DRAIN | SIM | SIMILAR |
| FDN | FOUNDATION | SPEC | SPECIFICATION |
| FE | FIRE EXTINGUISHER | SST | STAINLESS STEEL |
| FF | FINISH FLOOR | STD | STANDARD |
| F.G./FG | FINISH GRADE | SYM | SYMBOL |
| FIN | FINISH | STL | STEEL |
| FK | FIXTURE | T&G | TONGUE AND GROOVE |
| FLR | FLOOR | T | REA |
| FOS | FACE OF STUD | THK | THICK(NESS) |
| FP | FIREPLAGE / FLOOR PLAN | TEL | TELEPHONE |
| F.S./FS | FINISH SURFACE | TEMP | TEMPERATURE |
| FT | FOOT | T.O.C. | TOP OF CURB |
| FTG | FOOTING | T.O.F. | TOP OF FOOTING |
| G | GAS | T.O.W. | TOP OF WALL |
| GA | GAUGE | T.O.S. | TOP OF SLAB |
| GALV | GALVANIZED | TV | TELEVISION |
| GD | GARBAGE DISPOSAL | TYP. | TYPICAL |
| GL | GLASS | UNO | UNLESS NOTED OTHERWISE |
| GYP | GYPNUM | VCT | VINYL COMPOSITION TILE |
| HB | HOSE BIBB | VERT | VERTICAL |
| HC | HOLLOW CORE | V.I.F. | VERIFY IN FIELD |
| HDR | HEADER | W' | WITH |
| HORIZ | HORIZONTAL | W/O | WITHOUT |
| HRDW | HARDWARE | WC | WATER CLOSET |
| HT | HEIGHT | WD | WOOD |
| HW | HOT WATER | WH | WATER HEATER |
| IN | INCH | W.I.C. | WALK IN CLOSET |
| INCL | INCLUDE | WT | WEIGHT |
| | | YD | YARD |

CALIFORNIA CODE REFERENCES

THIS PROJECT SHALL COMPLY WITH CURRENT APPLICABLE CODES & ORDINANCES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA HISTORICAL BUILDING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA REFERENCE STANDARDS CODE

SUNSET CENTER
BUILDING EXTERIOR PAINTING PACKAGE

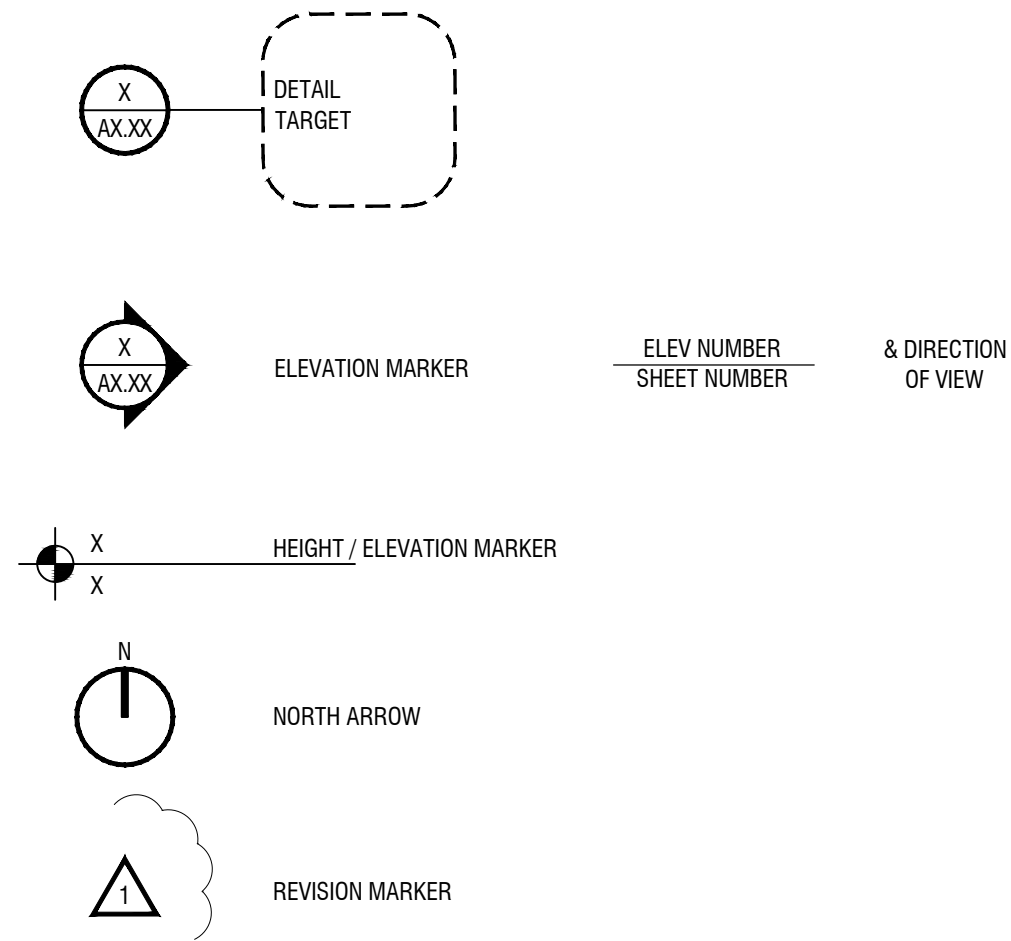
SAN CARLOS ST, CARMEL-BY-THE-SEA



GENERAL NOTES

- THE ARCHITECT HAS NO CONTROL OR RESPONSIBILITY FOR THE MEANS, TECHNIQUES, SEQUENCE, OR PROCEDURES OF CONSTRUCTION OR SAFETY PROGRAMS FOR THIS PROJECT. SUCH PROGRAMS AND COMPLIANCE WITH ALL LAWS, RULES, REGULATIONS, CODES OR ORDINANCES SHALL BE THE RESPONSIBILITY OF OTHERS.
- ALL WORK SHALL CONFORM TO APPLICABLE CURRENT FEDERAL, STATE AND LOCAL CODES. THE CONTRACTOR IS TO PROVIDE FOR ALL REQUIRED NOTIFICATION OF AND COORDINATION WITH CITY AND STATE AGENCIES, AND PROVIDE REQUIRED PERMITS. ALL TESTS AND INSPECTIONS ASSOCIATED WITH OBTAINING APPROVALS TO PROCEED WITH AND COMPLETE THE WORK SHALL BE PAID FOR BY THE CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE EXECUTION OF THEIR WORK AND FOR ANY CHANGES AND / OR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER. THE COST OF CORRECTIONS RESULTING FROM CHANGES AND / OR DEVIATIONS SHALL BE BORNE BY THE GENERAL CONTRACTOR.
- DESIGN ALTERATIONS MADE WITHOUT THE ARCHITECT'S KNOWLEDGE DURING THE COURSE OF CONSTRUCTION ARE DONE AT THE OWNER'S AND / OR CONTRACTOR'S RISK. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE CONSEQUENCES OF SUCH CHANGES.
- CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, INCLUDING AREA FOR WORK, MATERIALS STORAGE, AND ACCESS TO AND FROM THE WORK. SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK AND INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES. NOISY OR DISRUPTIVE WORK SHALL BE SCHEDULED AT LEAST ONE (1) WEEK IN ADVANCE OF THE TIME WORK IS TO COMMENCE.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL PROTECTIVE MEASURES FOR THE SAFETY OF THE PUBLIC AND WORKERS DURING THE COURSE OF THE WORK.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED FOR COMPLETION OF THE PROJECT. REMOVE ALL DEMOLISHED MATERIAL NOT DESIGNATED FOR REUSE FROM THE PREMISES.
- CONTRACTOR SHALL PROVIDE FOR ALL WORK REQUIRED TO MAINTAIN COMPLIANCE WITH LOCAL FIRE CODE.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A REASONABLE DISTRIBUTION OF COLOR RANGES AND PATTERN PRIOR TO INSTALLATION FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND PRODUCT DATA FOR ARCHITECT'S APPROVAL ON ALL SPECIAL ITEMS REQUIRING CUSTOM FABRICATION. (SHALL INCLUDE RATED FIRE DOORS AND HARDWARE).
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. ALL DIMENSIONS OF EXISTING CONDITIONS ON DRAWINGS ARE INTENDED AS GUIDELINES AND MUST BE FIELD VERIFIED. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT BEFORE CONTINUING WORK. COMMENCEMENT OF WORK IMPLIES THE ACCEPTANCE OF ALL CONDITIONS. CONTRACTOR SHALL ALSO COORDINATE THE WORK WITH THE WORK OF ALL OTHER TRADES.
- OMISSIONS MADE IN THESE DRAWINGS AND SPECIFICATIONS WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS OR SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- A COMPLETE SET OF CONTRACT DOCUMENTS MUST BE KEPT AT THE JOB SITE AT ALL TIMES AND ANY CHANGES MUST BE NOTED THEREON AND INITIALED.
- DO NOT SCALE DRAWINGS FOR ANY REASON. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT BEFORE CONTINUING WORK.
- PATCH, REPAIR, OR REPLACE ALL WORK DAMAGED BY NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL PATCH WALL AND FLOOR TO CONFORM TO MATERIAL, TEXTURE, AND SURFACE ALIGNMENT WITH THE ADJOINING SURFACE.
- REPLACE OR RELOCATE ALL EXISTING PIPING, CONDUIT, WIRING, ETC. REQUIRED FOR THE COMPLETION OF NEW WORK.
- AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR ANY WORK DONE IN THE PUBLIC R.O.W.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.
- ALL GLASS SHALL BE CLEAR TEMPERED GLASS, UNLESS OTHERWISE NOTED. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.

DRAWING SYMBOLS



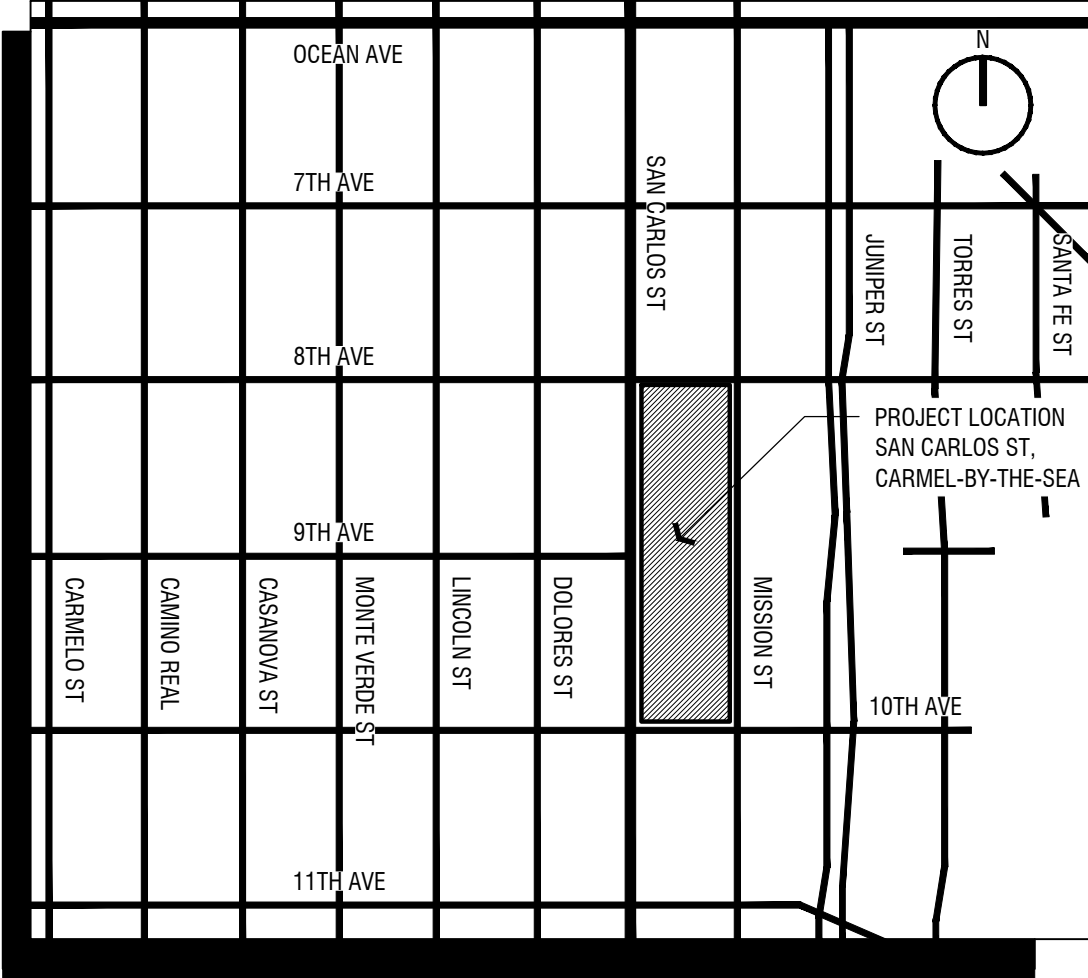
PROJECT DIRECTORY

| | |
|---|--|
| OWNER THE CITY OF CARMEL BY THE SEA MONTE VERDE ST CARMEL BY THE SEA, CA 93923 | CONTACT BOB HARARY PHONE 831.820.2000 EMAIL rharary@ci.carmel.ca.us |
| ARCHITECT TEN OVER STUDIO 539 MARSH ST SAN LUIS OBISPO, CA 93401 | CONTACT CANDICE WONG PHONE 805.926.1010 EMAIL candicew@tenoverstudio.com |
| PROJECT MANAGER AUSONIO INCORPORATED 11420 A, COMMERCIAL PKWY CASTROVILLE, CA 95012 | CONTACT DIANE MILLER PHONE 831.238.8639 EMAIL diane@ausonio.com |

PROJECT DESCRIPTION

The Historic Sunset Center requires up-keep and maintenance. This project is a maintenance project with no engineering required. The scope of work includes up-keep of the exterior painting. Historical architectural paint colors will be replaced in "like-kind" to match the existing facade.

VICINITY MAP



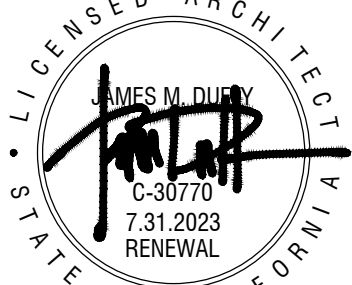
SHEET INDEX

| | |
|------|---------------------|
| T1.0 | TITLE SHEET |
| A1.1 | SITE PLAN |
| A3.0 | EXTERIOR ELEVATIONS |
| A3.1 | EXTERIOR ELEVATIONS |
| A3.2 | EXTERIOR ELEVATIONS |



TEN OVER
STUDIO, INC

539 Marsh Street,
San Luis Obispo, CA
805.541.1010
info@tenoverstudio.com
www.tenoverstudio.com



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NOT FOR CONSTRUCTION

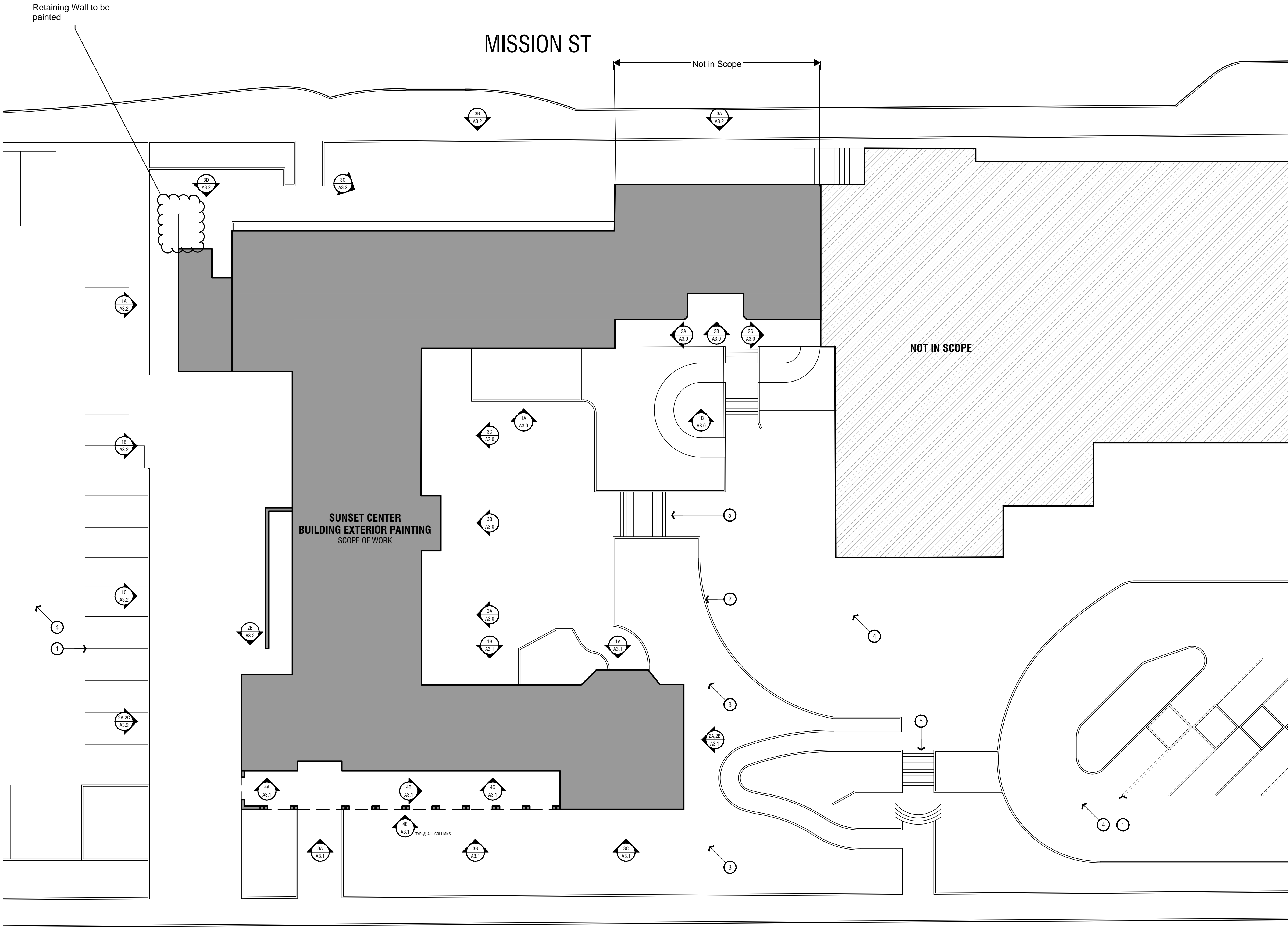
BUILDING EXTERIOR PAINTING PACKAGE
SUNSET CENTER
SAN CARLOS ST, CARMEL-BY-THE-SEA, CA 93923

| | |
|-----------|----------|
| PROJ #: | 2022-065 |
| DRWN BY: | AA/DL |
| CHK'D BY: | JP/HD |

| | |
|------------|-----------------|
| DATE | SUBMITTAL |
| 03/06/2023 | DRAFT SUBMITTAL |
| 04/24/2023 | FINAL SUBMITTAL |

TITLE SHEET

T1.0



ARCHITECTURAL SITE PLAN LEGEND

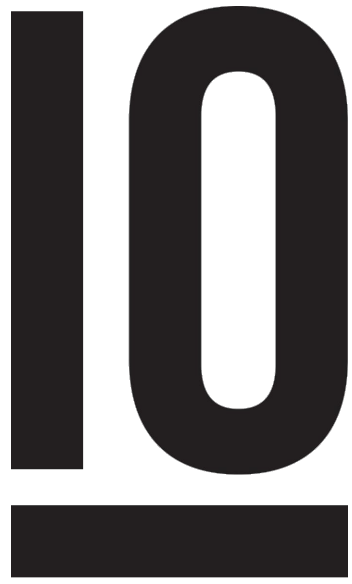
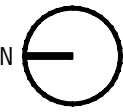
- BUILDING OR PORTION OF BUILDING NOT INCLUDED IN SCOPE
- BUILDING OR PORTION OF BUILDING INCLUDED AS PART OF THIS PROJECT

ARCHITECTURAL SITE PLAN GENERAL NOTES

- PROTECT ALL TREES IN THE CONSTRUCTION ZONE FROM DAMAGE. TREES THAT HAVE BEEN DAMAGED BY CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTED ARBORICULTURE METHODS.
- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL SUBMIT A SITE PLAN WITH STAGING AREA INDICATED FOR REVIEW AND APPROVAL BY THE CITY.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL DEMOLITION, CONSTRUCTION AND GRADING.

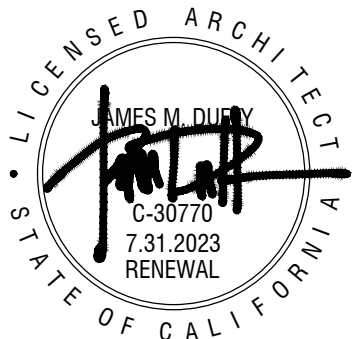
KEYNOTES

- (E) PARKING STRIPING TO REMAIN
- (E) RETAINING WALL
- (E) LANDSCAPE AREA. PROTECT LANDSCAPING IN PLACE. DAMAGED LANDSCAPING SHALL BE REPAIRED
- (E) ASPHALT PAVING
- (E) CONCRETE STAIRS TO REMAIN
-
-
-
-
-
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-



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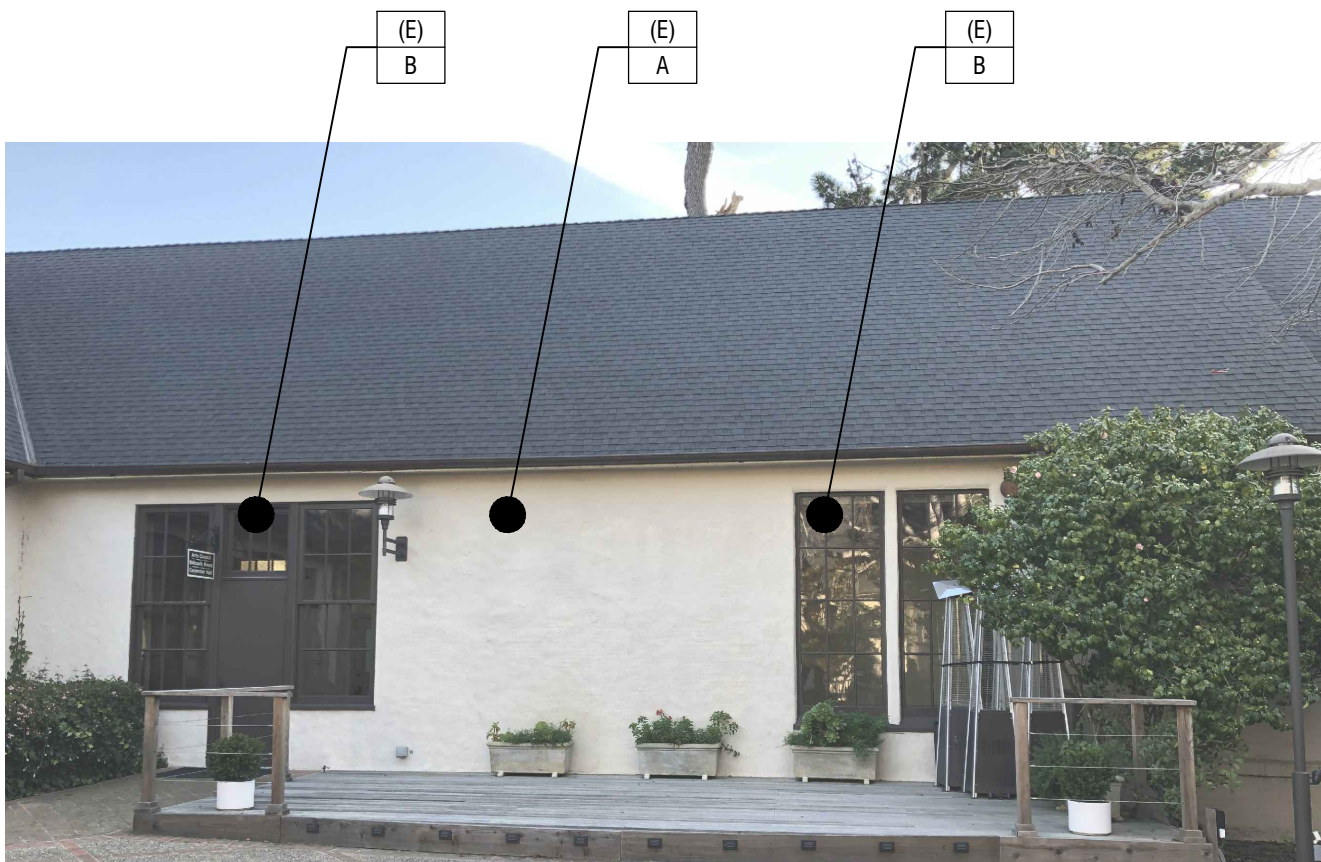
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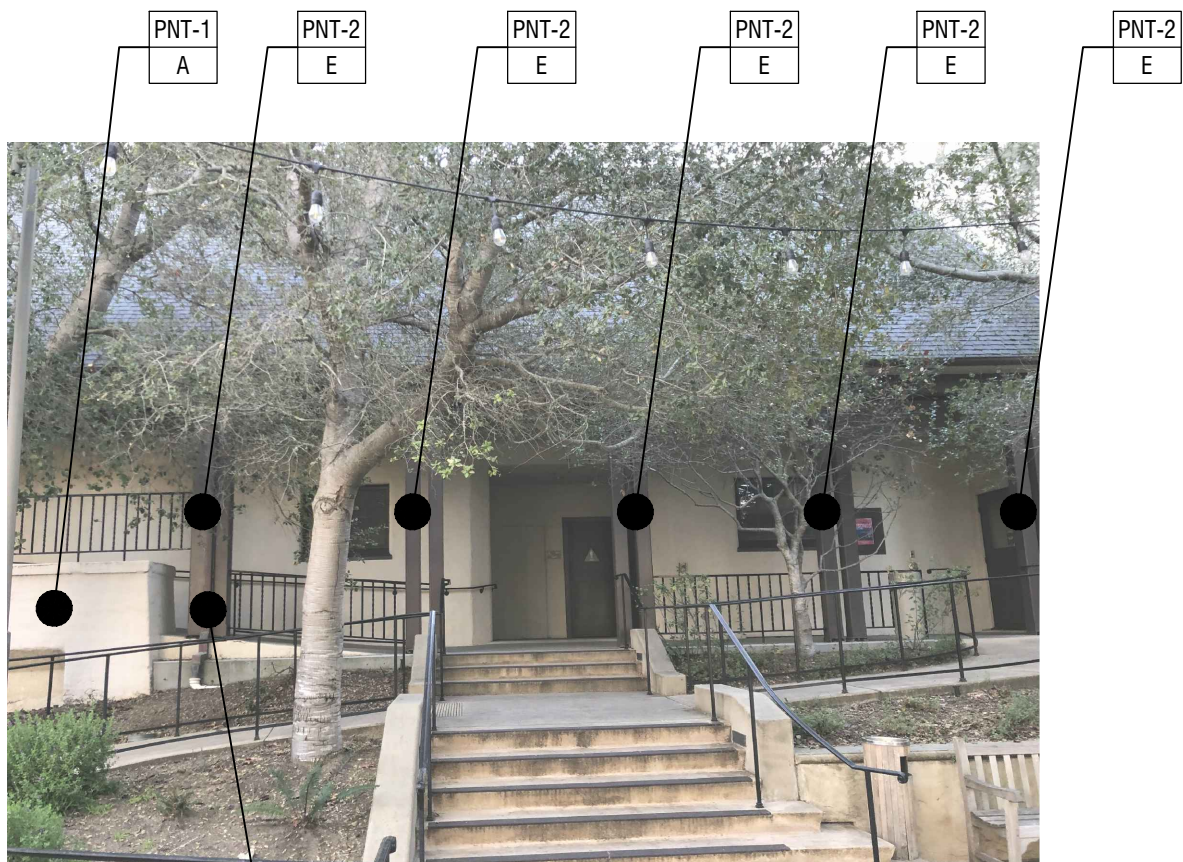
PROJ #: 2022-065
DRWN BY: AA/DL
CHKD BY: JP/HD

DATE SUBMITTAL
03/06/2023 DRAFT SUBMITTAL
04/24/2023 FINAL SUBMITTAL

SITE PLAN

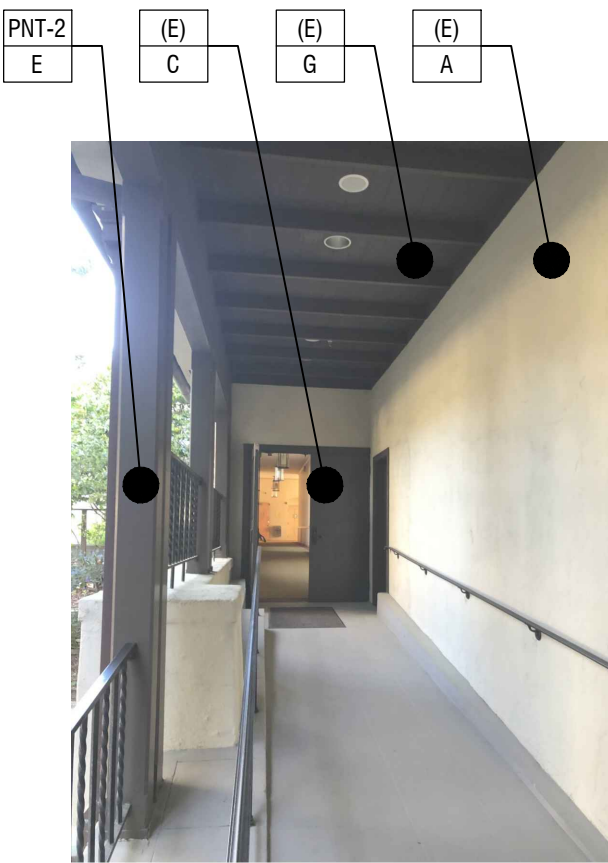
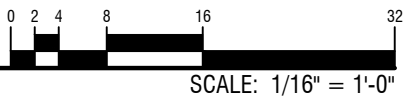


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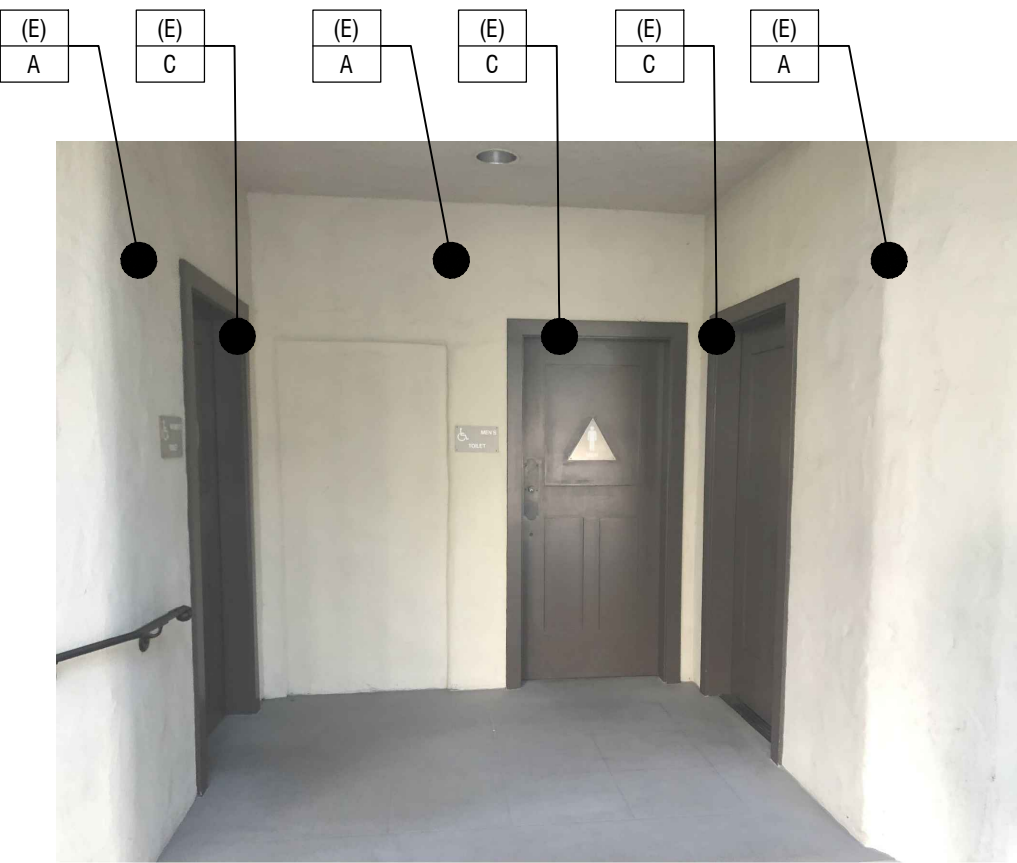


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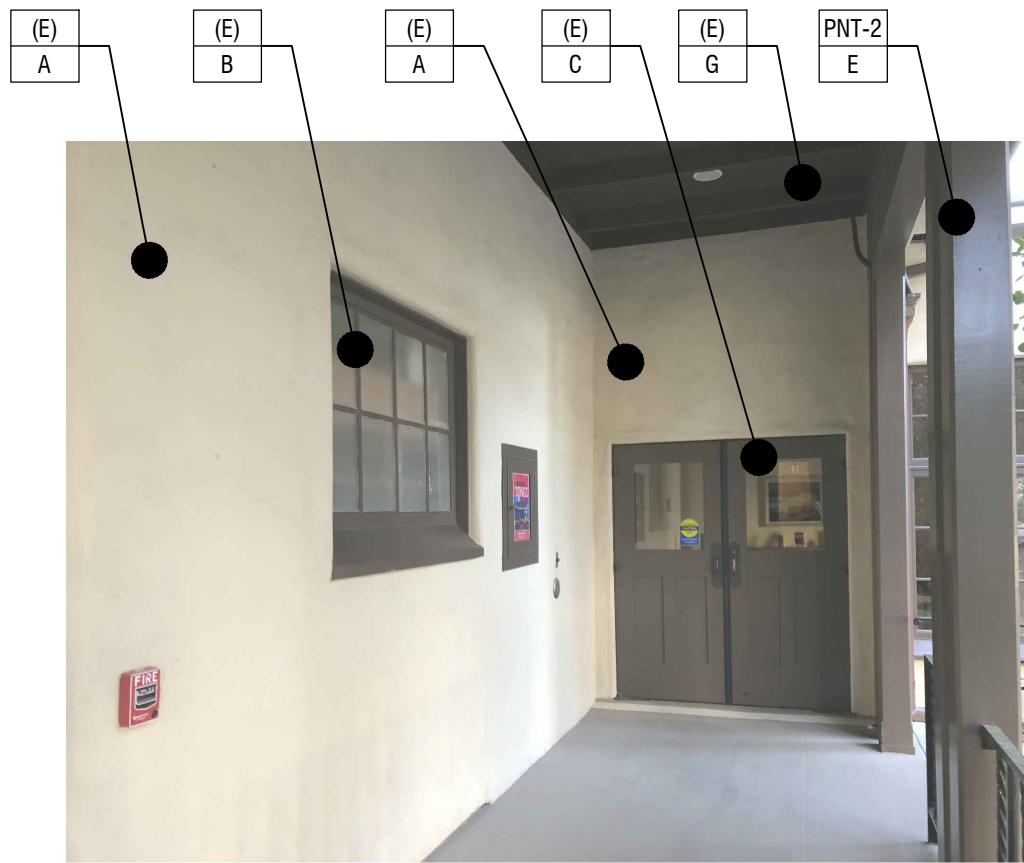
1 INTERIOR COURTYARD WEST ELEVATION



2A

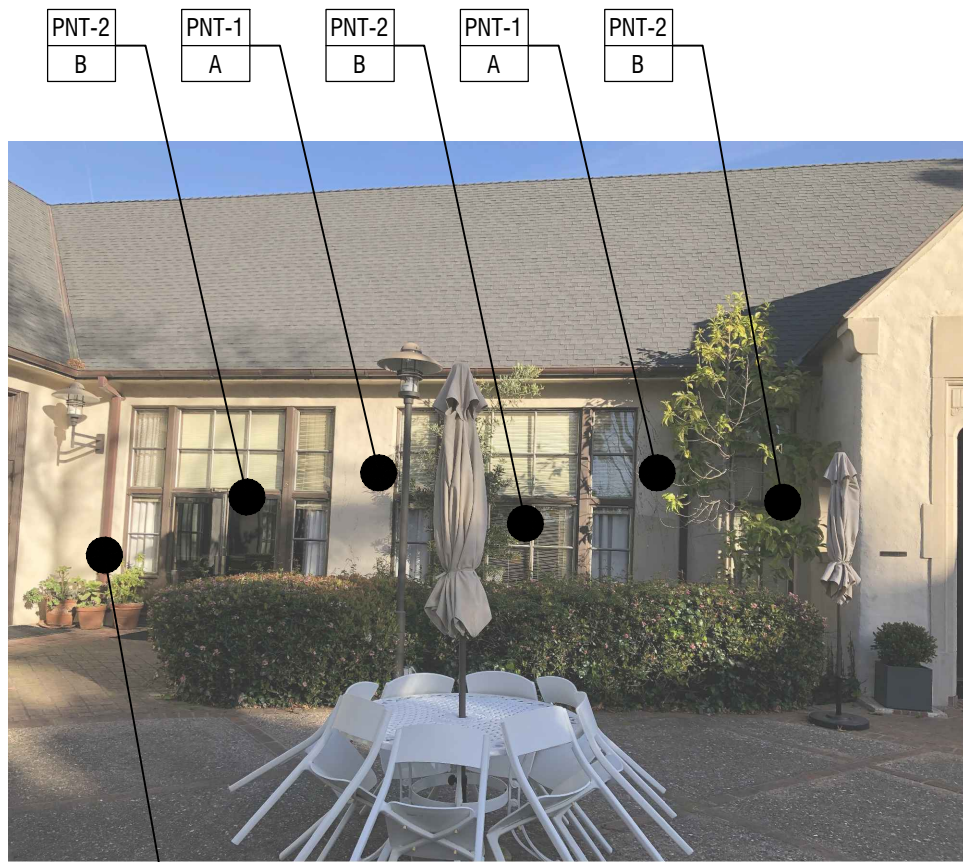
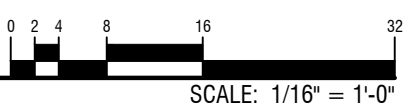


2B

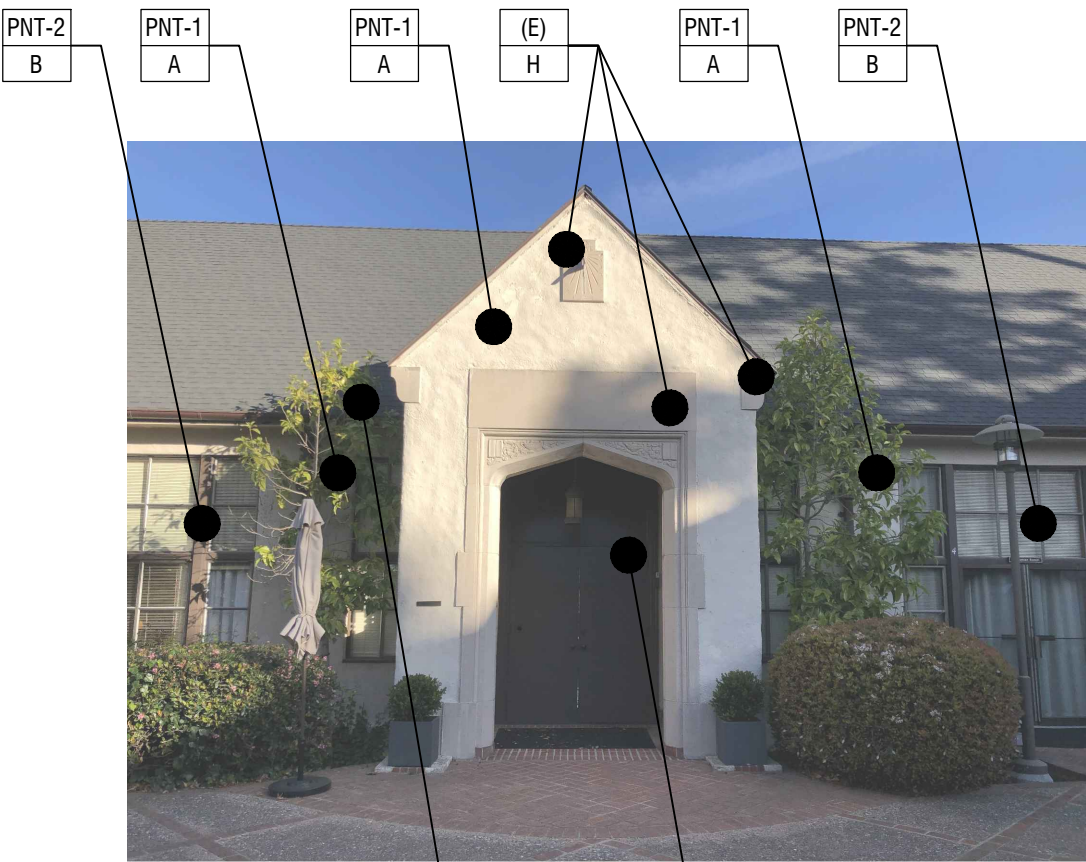


2C

2 INTERIOR COURTYARD WEST ELEVATION



3A



3B



3C

3 INTERIOR COURTYARD SOUTH ELEVATION



EXTERIOR ELEVATIONS LEGEND

COLORS AND MATERIALS

| | |
|---|------------|
| # | - COLOR |
| X | - MATERIAL |

| COLORS | NOTES |
|--------|--|
| PNT-1 | KELLY MOORE DOESKIN KM202 |
| PNT-2 | KELLY MOORE OXFORD BROWN KM417 |
| PNT-3 | KELLY MOORE BLACK CAT KM4883 |
| (E) | EXISTING TO REMAIN. NO PAINTING REQUIRED |

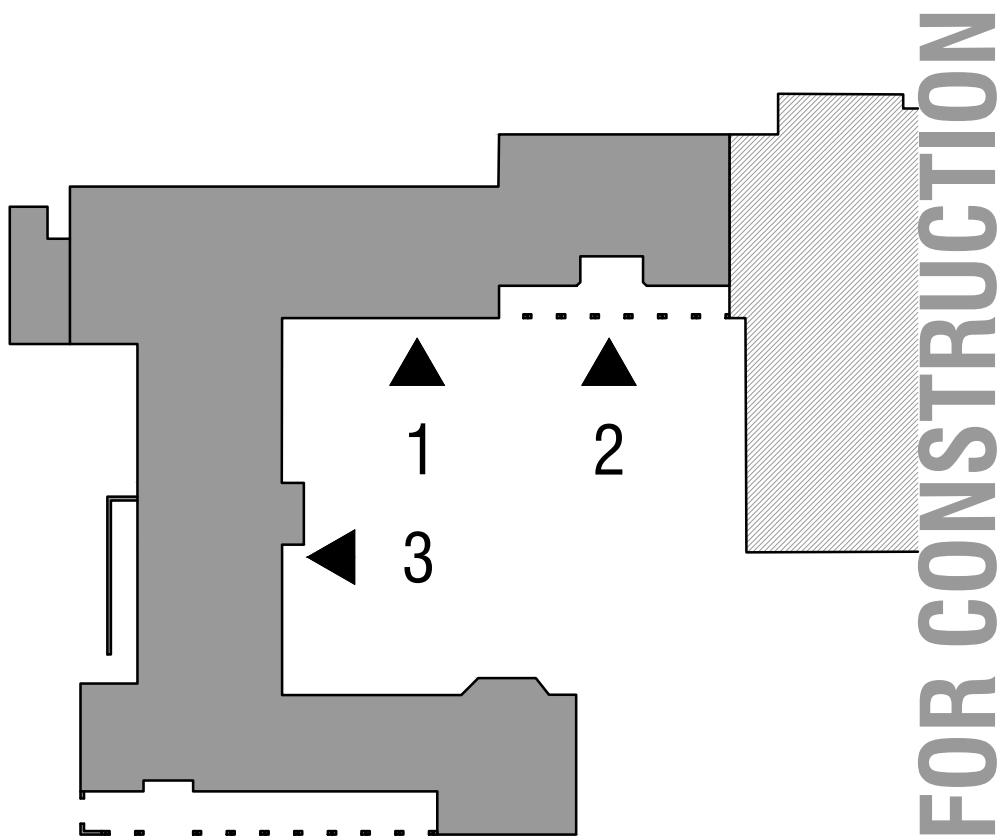
| MATERIALS | NOTES |
|-----------|-------------------------|
| A | STUCCO |
| B | WINDOW & TRIM |
| C | DOOR & TRIM |
| D | BOARD FORMED CONCRETE |
| E | WOOD COLUMNS |
| F | DECORATIVE WROUGHT IRON |
| G | WOOD CEILING |
| H | CAST-STONE |
| J | METAL DOWNSPOUT |
| K | METAL LETTERING |
| L | WOOD TRIM |

EXTERIOR ELEVATION GENERAL NOTES

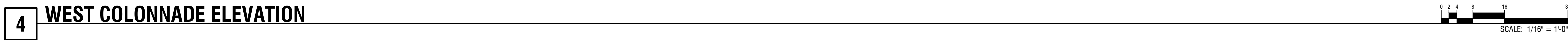
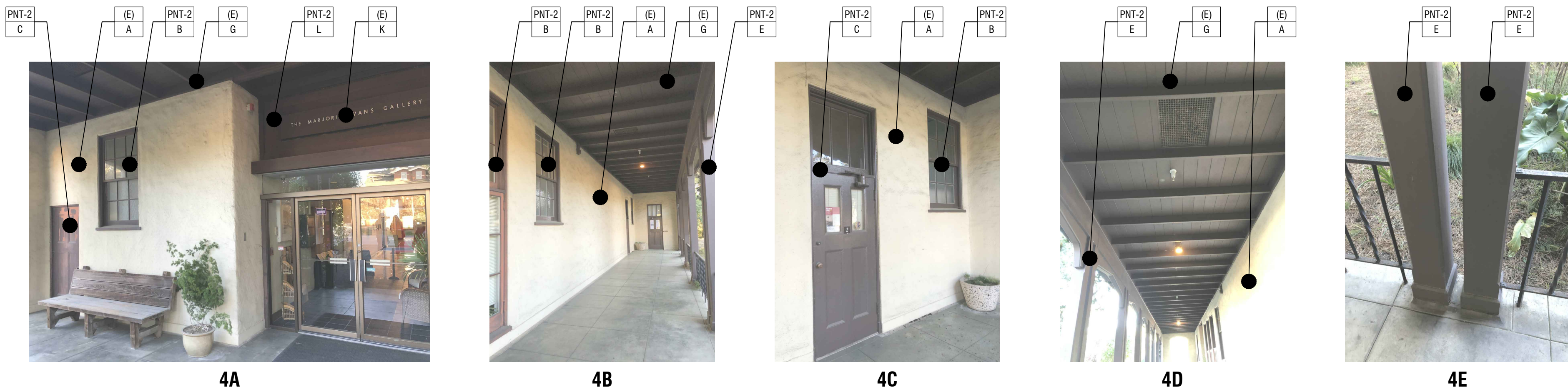
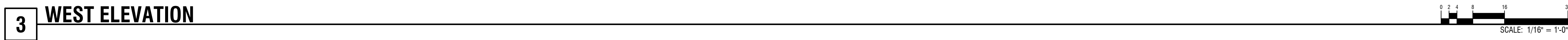
1. WHEN DRY ROT IS ENCOUNTERED, THE CONTRACTOR SHALL IDENTIFY THE EXTENT OF DAMAGE AND REPLACEMENT NEEDED. CONTRACTOR TO PROPOSE REPAIR SOLUTION FOR REVIEW BY THE CITY AND THE ARCHITECT.
2. ANY UNPAINTED ACCESSORIES (BIRD DETERRENTS, SIGNAGE, ETC) NOT INDICATED ON THE EXTERIOR ELEVATIONS SHALL BE PROTECTED FROM PAINT OVERSPRAY. ANY ACCESSORIES REMOVED SHALL BE REINSTALLED ONCE PAINTING IS COMPLETE.
3. REMOVE ANY BANNERS PRIOR TO THE START OF CONSTRUCTION. PROTECT AND REINSTALL ONCE PAINTING OPERATIONS ARE COMPLETE.

HAZARDOUS MATERIALS REMOVAL GENERAL NOTES

1. THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ABATEMENT WORK WITH THE GENERAL CONTRACTOR, OTHER TRADES, CONSTRUCTION ADMINISTRATOR, AND/OR BUILDING OWNER AND CONSULTANT.
3. ASBESTOS ABATEMENT WORK MUST BE PERFORMED IN ACCORDANCE WITH CBC ASBESTOS ABATEMENT SPECIFICATIONS.
4. LEAD-CONTAINING PAINT WORK MUST BE PERFORMED IN ACCORDANCE WITH CBC LEAD-BASED PAINT AWARENESS SPECIFICATIONS.
5. PRIOR TO DEMOLITION REFER TO HAZARDOUS MATERIAL ABATEMENT REPORT PREPARED BY M3 DATED 3/31/2022 AND REMOVE ALL DEEMED HAZARDOUS MATERIALS.
6. WINDOW PUTTY: REMOVE LOOSE, CRUMBLY OR FLAKY, APPLY NEW WHERE MISSING, THEN PRIME AND PAINT.



KEY PLAN - N.T.S.



EXTERIOR ELEVATIONS LEGEND

COLORS AND MATERIALS

| | |
|---------------|--|
| # | - COLOR |
| X | - MATERIAL |
| COLORS | |
| PNT-1 | KELLY MOORE DOESKIN KM202 |
| PNT-2 | KELLY MOORE OXFORD BROWN KM417 |
| PNT-3 | KELLY MOORE BLACK CAT KM4883 |
| (E) | EXISTING TO REMAIN, NO PAINTING REQUIRED |

| | |
|------------------|-------------------------|
| MATERIALS | |
| A | STUCCO |
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| H | CAST-STONE |
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| L | WOOD TRIM |

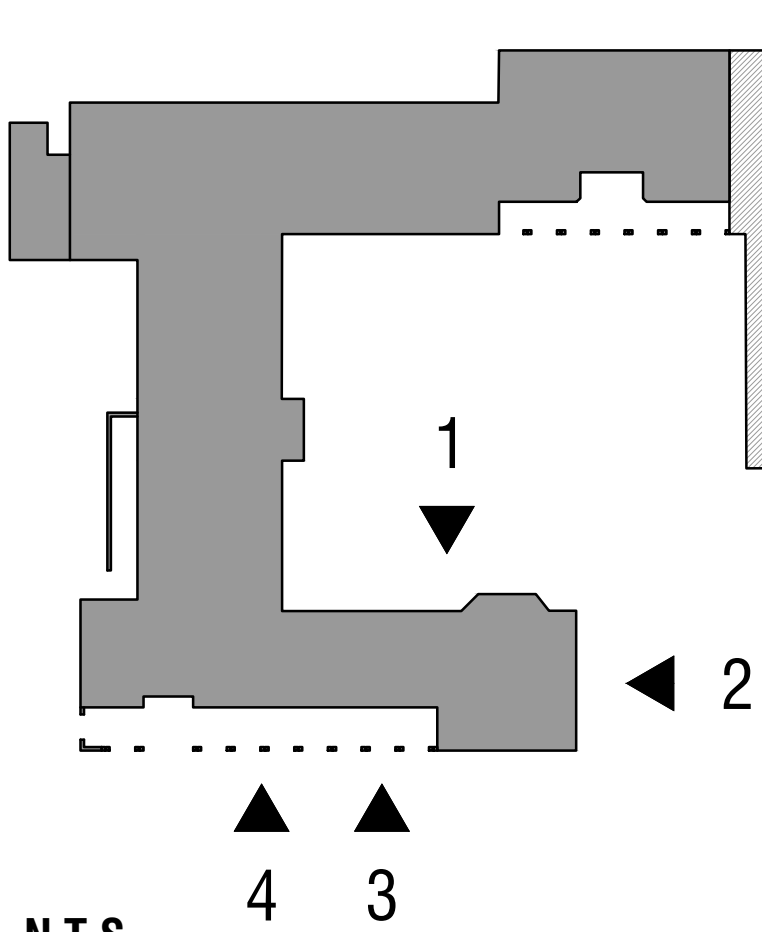
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KEY PLAN - N.T.S.



10

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STUDIO, INC

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LICENSED ARCHITECT
JAMES M. DUFFY
C-30770
7.31.2023
RENEWAL
STATE OF CALIFORNIA

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SUNSET CENTER
SAN CARLOS ST, CARMEL-BY-THE-SEA, CA 93923

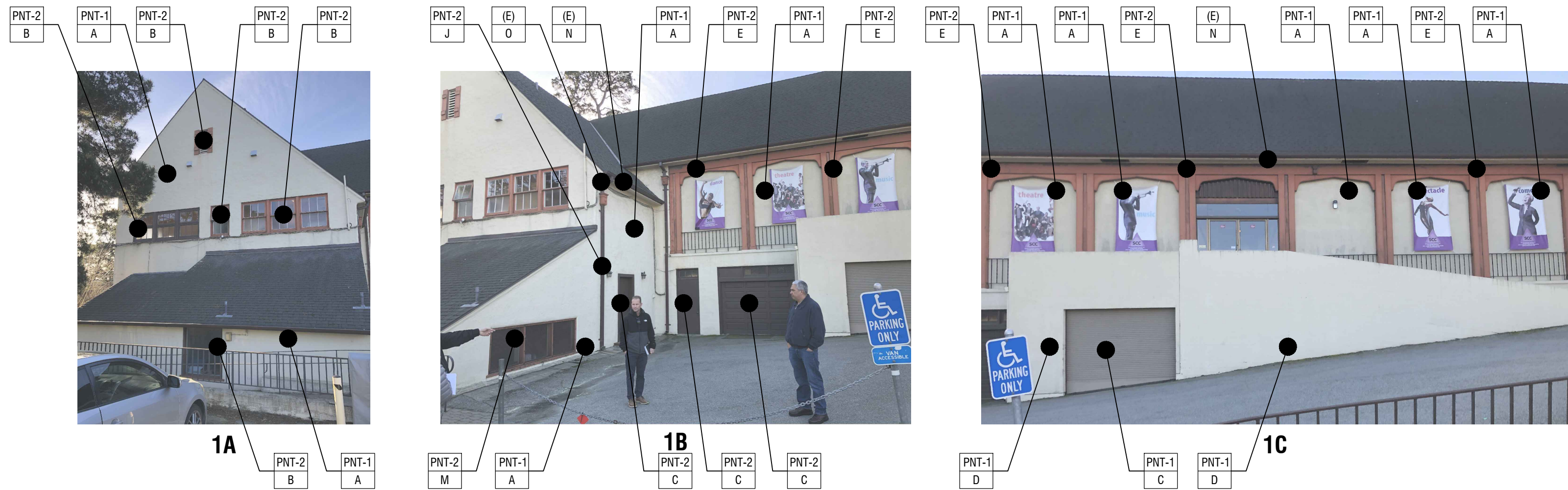
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| PROJ #: | 2022-065 |
| DRWN BY: | AA/DL |
| CHKD BY: | JP/HD |

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| DATE | SUBMITTAL |
| 03/06/2023 | DRAFT SUBMITTAL |
| 04/24/2023 | FINAL SUBMITTAL |
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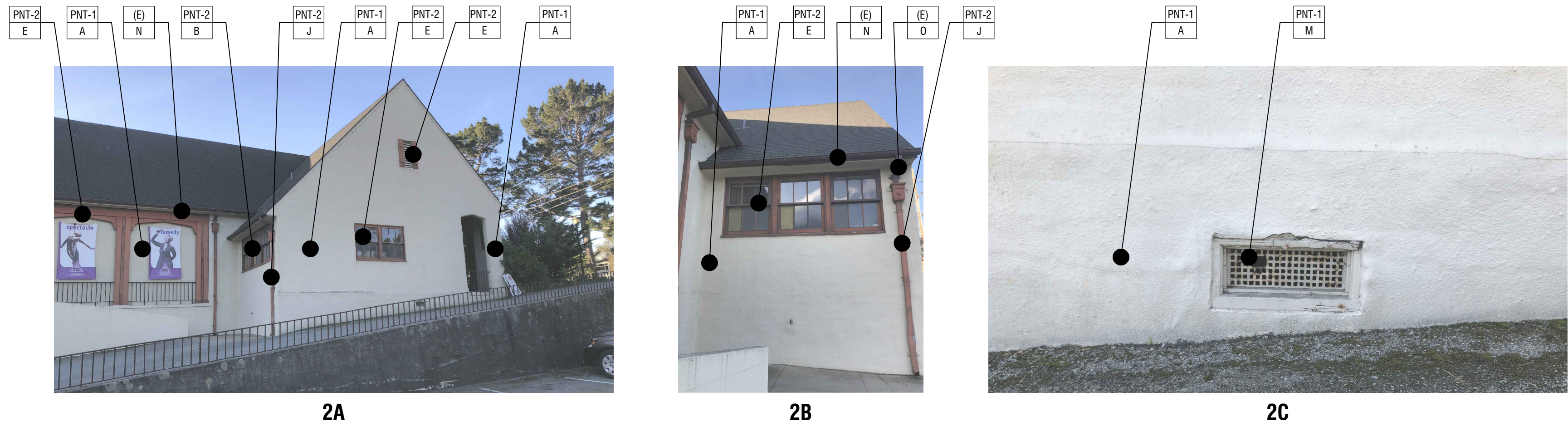
EXTERIOR
ELEVATIONS

A3.1

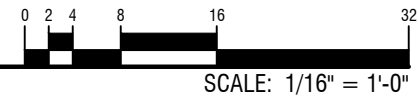
1 NORTH ELEVATION



2 NORTH ELEVATION



3 EAST ELEVATION



EXTERIOR ELEVATIONS LEGEND

COLORS AND MATERIALS

| | |
|---------------|--|
| # | - COLOR |
| X | - MATERIAL |
| COLORS | |
| PNT-1 | KELLY MOORE DOESKIN KM202 |
| PNT-2 | KELLY MOORE OXFORD BROWN KM417 |
| PNT-3 | KELLY MOORE BLACK CAT KM4883 |
| (E) | EXISTING TO REMAIN. NO PAINTING REQUIRED |

| | |
|------------------|-------------------------|
| MATERIALS | |
| A | STUCCO |
| B | WINDOW & TRIM |
| C | DOOR & TRIM |
| D | BOARD FORMED CONCRETE |
| E | WOOD COLUMNS |
| F | DECORATIVE WROUGHT IRON |
| G | WOOD CEILING |
| H | CAST-STONE |
| J | METAL DOWNSPOUT |
| K | METAL LETTERING |
| L | WOOD TRIM |
| M | LOUVER |
| N | COPPER GUTTERS |
| O | COPPER DOWNSPOUTS |

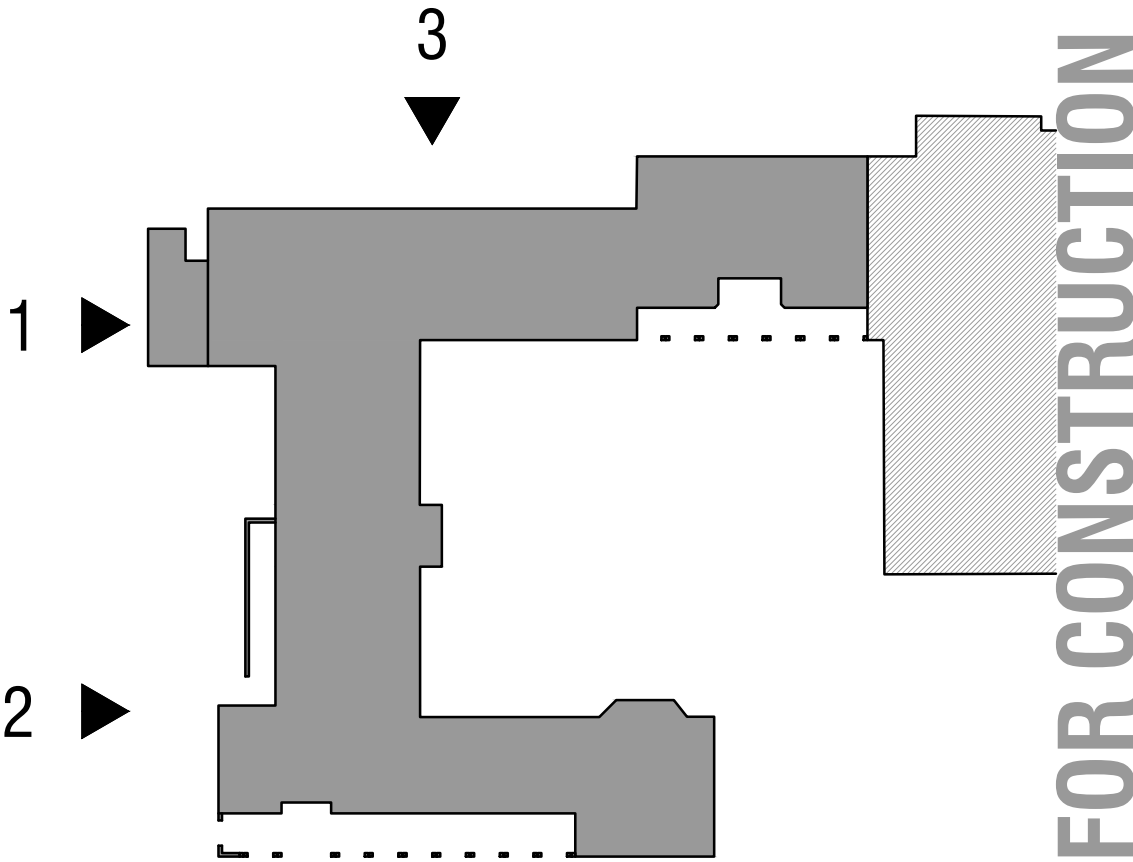
EXTERIOR ELEVATION GENERAL NOTES

1. WHEN DRY ROT IS ENCOUNTERED, THE CONTRACTOR SHALL IDENTIFY THE EXTENT OF DAMAGE AND REPLACEMENT NEEDED. CONTRACTOR TO PROPOSE REPAIR SOLUTION FOR REVIEW BY THE CITY AND THE ARCHITECT.
2. ANY UNPAINTED ACCESSORIES (BIRD DETERRENTS, SIGNAGE, ETC) NOT INDICATED ON THE EXTERIOR ELEVATIONS SHALL BE PROTECTED FROM PAINT OVERSPRAY. ANY ACCESSRIES REMOVED SHALL BE REINSTALLED ONCE PAINTING IS COMPLETE.
3. REMOVE ANY BANNERS PRIOR TO THE START OF CONSTRUCTION. PROTECT AND REINSTALL ONCE PAINTING OPERATIONS ARE COMPLETE.

HAZARDOUS MATERIALS REMOVAL GENERAL NOTES

1. THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ABATEMENT WORK WITH THE GENERAL CONTRACTOR, OTHER TRADES, CONSTRUCTION ADMINISTRATOR, AND/OR BUILDING OWNER AND CONSULTANT.
3. ASBESTOS ABATEMENT WORK MUST BE PERFORMED IN ACCORDANCE WITH CBC ASBESTOS ABATEMENT SPECIFICATIONS.
4. LEAD-CONTAINING PAINT WORK MUST BE PERFORMED IN ACCORDANCE WITH CBC LEAD-BASED PAINT AWARENESS SPECIFICATIONS.
5. PRIOR TO DEMOLITION REFER TO HAZARDOUS MATERIAL ABATEMENT REPORT PREPARED BY M3 DATED 3/31/2022 AND REMOVE ALL DEEMED HAZARDOUS MATERIALS.
6. WINDOW PUTTY: REMOVE LOOSE, CRUMBLY OR FLAKY, APPLY NEW WHERE MISSING, THEN PRIME AND PAINT.

KEY PLAN - N.T.S.



NOT FOR CONSTRUCTION

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EXTERIOR
ELEVATIONS

A3.2

10

TEN OVER
STUDIO, INC

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LICENSED ARCHITECT

JAMES M. DUFFY

7.31.2023 RENEWAL

STATE OF CALIFORNIA

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ABBREVIATIONS

| | | | |
|-----------|-----------------------------|---------|---------------------------|
| AB | ANCHOR BOLT | INFO | INFORMATION |
| AC | AIR CONDITIONER | INSUL | INSULATION |
| ADJ | ADJACENT | INT | INTERIOR |
| AFF | ABOVE FINISH FLOOR | INV | INVERT |
| AL | ALUMINUM | JAN | JANITOR |
| APPROX. | APPROXIMATELY | KIT | KITCHEN |
| ASPH | ASPHALT | LAM | LAMINATED |
| AVG | AVERAGE | LAV | LAVATORY |
| BD | BOARD | LB/# | POUND |
| BLDG | BUILDING | L.F./LF | LINEAR FLOOT |
| BLK/BLKG | BLOCK/BLOCKING | LS | LAG SCREW |
| BM | BEAM | MAX | MAXIMUM |
| BN | BULLNOSE | MB | MACHINE BOLT |
| BOT | BOTTOM | MECH | MECHANICAL |
| C.F. | CUBIC FOOT | MFR | MANUFACTURER |
| C.I. | CUBIC INCH | MIN | MINIMUM |
| CI | CAST IRON | MISC | MISCELLANEOUS |
| CJ | CEILING JOIST/CONTROL JOINT | MTL | METAL |
| CL | CENTER LINE | (N) | NEW |
| CLR | CLEAR/CLEARANCE | N.G./NG | NATURAL GRADE |
| CLG | CEILING | NO. / # | NUMBER |
| CLKG | CAULKING | NTS | NOT TO SCALE |
| CMU | CONCRETE MASONRY UNIT | O/ | OVER |
| CO | CLEANOUT | OBS | OBSCURE |
| COL | COLUMN | O.C./OC | ON CENTER |
| CONC | CONCRETE | OPCI | OWNER PROVIDED. |
| CONN | CONNECTION | | CONTRACTOR INSTALLED |
| CONST | CONSTRUCTION | OPOI | OWNER PROVIDED. |
| CONT | CONTINUOUS | | OWNER INSTALLED |
| CTR | CENTER | OS | OCCUPANCY SENSOR |
| CW | COLD WATER | OZ | OUNCE |
| C.Y. | CUBIC YARD | PERF | PERFORATED |
| DBL | DOUBLE | PERP | PERPENDICULAR |
| DEG | DEGREE | PH | PHONE |
| DEPT | DEPARTMENT | PL | PLATE/ PROPERTY LINE |
| DET | DETAIL | PLYWD | PLYWOOD |
| DF | DOUGLAS FIR | PR | PAIR |
| DIA | DIAMETER | PREFAB | PRE-FABRICATED |
| DNM | DIMENSION | P.S.F. | POUNDS PER SQUARE FOOT |
| DN | DOWN | P.S.I. | POUNDS PER SQUARE INCH |
| DS | DOWNSPOUT | PTDF | PRESSURE TREATED DOUG FIR |
| DW | DISHWASHER | PVMT | PAVEMENT |
| EA | EACH | R | RISER |
| EJ | EXPANSION JOINT | RD | ROOF DRAIN |
| ELEC | ELECTRICAL | REF | REFRIGERATOR |
| ELEV | ELEVATION/ELEVATOR | REQ | REQUIRED |
| ENCL | ENCLOSURE | RM | ROOM |
| EOS | EDGE OF SLAB | RO | ROUGH OPENING |
| EO | EQUAL | ROW | RIGHT OF WAY |
| EQUIP | EQUIPMENT | RTS | REFER TO STRUCTURAL |
| EST | ESTIMATE | RWD | REDWOOD |
| EXIST/(E) | EXISTING | SAS | SURFACED 4 SIDES |
| EKT | EXTERIOR | SC | SOLID CORE |
| FAU | FORCED AIR UNIT | SD | SMOKE DETECTOR |
| FI | FIRE HYDRANT | S.F./SF | SQUARE FOOT |
| F.O.C. | FACE OF CURB | SH | SHEET |
| F.O.F. | FACE OF FINISH | SHGT | SHEATHING |
| F.O.S. | FACE OF STUD | SIM | SIMILAR |
| FD | FLOOR DRAIN | SPEC | SPECIFICATION |
| FDN | FOUNDATION | SST | STAINLESS STEEL |
| FE | FIRE EXTINGUISHER | STD | STANDARD |
| FF | FINISH FLOOR | SYM | SYMBOL |
| F.G./FG | FINISH GRADE | STL | STEEL |
| FIN | FINISH | T&G | TONGUE AND GROOVE |
| FX | FIXTURE | T | REA |
| FLR | FLOOR | THK | THICK(NESS) |
| FDS | FACE OF STUD | TEL | TELEPHONE |
| FP | FIREPLACE / FLOOR PLAN | TEMP | TEMPERATURE |
| F.S./FS | FINISH SURFACE | T.O.C. | TOP OF CURB |
| FT | FOOT | T.O.F. | TOP OF FOOTING |
| FTG | FOOTING | T.O.W. | TOP OF WALL |
| G | GAS | T.O.S. | TOP OF SLAB |
| GA | GAUGE | TV | TELEVISION |
| GALV | GALVANIZED | TYP | TYPICAL |
| GD | GARBAGE DISPOSAL | UNO | UNLESS NOTED OTHERWISE |
| GL | GLASS | VCT | VINYL COMPOSITION TILE |
| GYP | GYPSUM | VERT | VERTICAL |
| HB | HOSE BIBB | V.I.F. | VERIFY IN FIELD |
| HC | HOLLOW CORE | W/ | WITH |
| HDR | HEADER | W/O | WITHOUT |
| HORIZ | HORIZONTAL | WC | WATER CLOSET |
| HRDW | HARDWARE | WD | WOOD |
| HT | HEIGHT | WH | WATER HEATER |
| HW | HOT WATER | W.I.C. | WALK IN CLOSET |
| IN | INCH | WT | WEIGHT |
| INCL | INCLUDE | YD | YARD |

CALIFORNIA CODE REFERENCES

THIS PROJECT SHALL COMPLY WITH CURRENT APPLICABLE CODES & ORDINANCES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA HISTORICAL BUILDING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA REFERENCE STANDARDS CODE

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GENERAL NOTES

- THE ARCHITECT HAS NO CONTROL OR RESPONSIBILITY FOR THE MEANS, TECHNIQUES, SEQUENCE, OR PROCEDURES OF CONSTRUCTION OR SAFETY PROGRAMS FOR THIS PROJECT. SUCH PROGRAMS AND COMPLIANCE WITH ALL LAWS, RULES, REGULATIONS, CODES OR ORDINANCES SHALL BE THE RESPONSIBILITY OF OTHERS.
- ALL WORK SHALL CONFORM TO APPLICABLE CURRENT FEDERAL, STATE AND LOCAL CODES. THE CONTRACTOR IS TO PROVIDE FOR ALL REQUIRED NOTIFICATION OF AND COORDINATION WITH CITY AND STATE AGENCIES, AND PROVIDE REQUIRED PERMITS. ALL TESTS AND INSPECTIONS ASSOCIATED WITH OBTAINING APPROVALS TO PROCEED WITH AND COMPLETE THE WORK SHALL BE PAID FOR BY THE CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE EXECUTION OF THEIR WORK AND FOR ANY CHANGES AND / OR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER. THE COST OF CORRECTIONS RESULTING FROM CHANGES AND / OR DEVIATIONS SHALL BE BORNE BY THE GENERAL CONTRACTOR.
- DESIGN ALTERATIONS MADE WITHOUT THE ARCHITECT'S KNOWLEDGE DURING THE COURSE OF CONSTRUCTION ARE DONE AT THE OWNER'S AND / OR CONTRACTOR'S RISK. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE CONSEQUENCES OF SUCH CHANGES.
- CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, INCLUDING AREA FOR WORK, MATERIALS STORAGE, AND ACCESS TO AND FROM THE WORK, SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK AND INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES. NOISY OR DISRUPTIVE WORK SHALL BE SCHEDULED AT LEAST ONE (1) WEEK IN ADVANCE OF THE TIME WORK IS TO COMMENCE.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL PROTECTIVE MEASURES FOR THE SAFETY OF THE PUBLIC AND WORKERS DURING THE COURSE OF THE WORK.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED FOR COMPLETION OF THE PROJECT. REMOVE ALL DEMOLISHED MATERIAL NOT DESIGNATED FOR REUSE FROM THE PREMISES.
- CONTRACTOR SHALL PROVIDE FOR ALL WORK REQUIRED TO MAINTAIN COMPLIANCE WITH LOCAL FIRE CODE.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A REASONABLE DISTRIBUTION OF COLOR RANGES AND PATTERN PRIOR TO INSTALLATION FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND PRODUCT DATA FOR ARCHITECT'S APPROVAL ON ALL SPECIAL ITEMS REQUIRING CUSTOM FABRICATION. (SHALL INCLUDE RATED FIRE DOORS AND HARDWARE).
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. ALL DIMENSIONS OF EXISTING CONDITIONS ON DRAWINGS ARE INTENDED AS GUIDELINES AND MUST BE FIELD VERIFIED. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT BEFORE CONTINUING WORK. COMMENCEMENT OF WORK IMPLIES THE ACCEPTANCE OF ALL CONDITIONS. CONTRACTOR SHALL ALSO COORDINATE THE WORK WITH THE WORK OF ALL OTHER TRADES.
- OMISSIONS MADE IN THESE DRAWINGS AND SPECIFICATIONS WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS OR SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- A COMPLETE SET OF CONTRACT DOCUMENTS MUST BE KEPT AT THE JOB SITE AT ALL TIMES AND ANY CHANGES MUST BE NOTED THEREON AND INITIALED.
- DO NOT SCALE DRAWINGS FOR ANY REASON. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT BEFORE CONTINUING WORK.
- PATCH, REPAIR, OR REPLACE ALL WORK DAMAGED BY NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL PATCH WALL AND FLOOR TO CONFORM TO MATERIAL, TEXTURE, AND SURFACE ALIGNMENT WITH THE ADJOINING SURFACE.
- REPLACE OR RELOCATE ALL EXISTING PIPING, CONDUIT, WIRING, ETC. REQUIRED FOR THE COMPLETION OF NEW WORK.
- AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR ANY WORK DONE IN THE PUBLIC R.O.W.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.
- ALL GLASS SHALL BE CLEAR TEMPERED GLASS, UNLESS OTHERWISE NOTED. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.

DRAWING SYMBOLS

KEYNOTE

ELEVATION MARKER

NORTH ARROW

REVISION MARKER

ELEV NUMBER
SHEET NUMBER

& DIRECTION
OF VIEW

PROJECT DIRECTORY

| | |
|---|--|
| OWNER THE CITY OF CARMEL BY THE SEA MONTE VERDE ST CARMEL BY THE SEA, CA 93923 | CONTACT BOB HARARY PHONE 831.620.2000 EMAIL rharary@ci.carmel.ca.us |
| ARCHITECT TEN OVER STUDIO 539 MARSH ST SAN LUIS OBISPO, CA 93401 | CONTACT CANDICE WONG PHONE 805.926.1010 EMAIL candicew@tenoverstudio.com |
| PROJECT MANAGER AUSONIO INCORPORATED 11420 A, COMMERCIAL PKWY CASTROVILLE, CA 95012 | CONTACT DIANE MILLER PHONE 831.238.8639 EMAIL diane@ausonio.com |

PROJECT DESCRIPTION

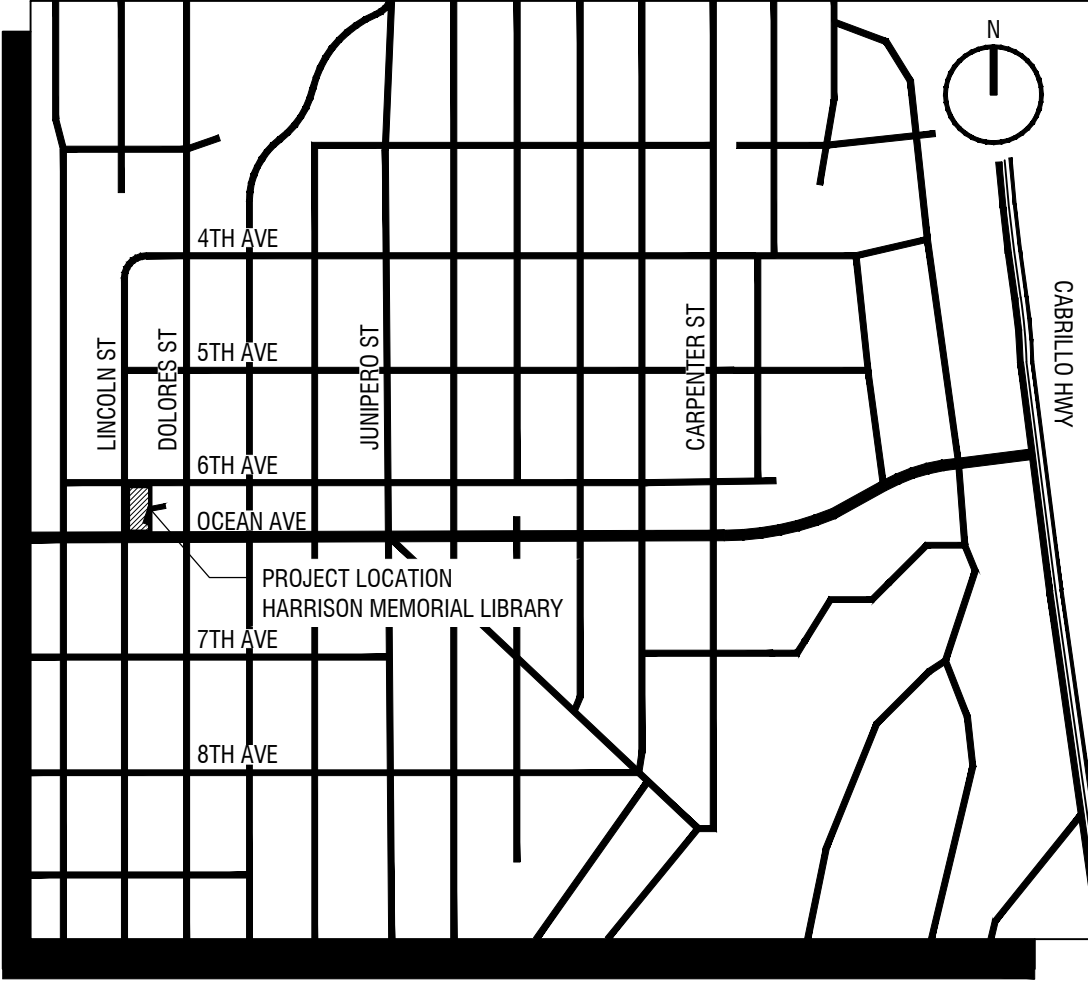
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BID ALTERNATES

THE FOLLOWING ARE A LIST OF BID ALTERNATES FOR THIS PROJECT. REFER TO DIVISION 01 SPECIFICATION SECTION 01 23 00 - ALTERNATES FOR ADDITIONAL INFORMATION:

- HARRISON MEMORIAL LIBRARY INTERIOR PAINTING - PAINT ALL INTERIOR SURFACES EXPOSED TO VIEW, WHERE INDICATED ON THE CONTRACT DRAWINGS. FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND INSURANCE NECESSARY TO PROVIDE MOVING AND STORAGE ON-SITE OF FURNITURE, ART, AND MISCELLANEOUS ITEMS TO PERFORM SURFACE PREPARATION AND FIELD APPLICATION OF PAINT SYSTEMS, STAINS AND OTHER COATINGS.

VICINITY MAP



SHEET INDEX

| | |
|------|--|
| T1.0 | TITLE SHEET |
| A1.1 | SITE PLAN |
| A2.0 | FIRST FLOOR PLAN AND PAINT SCHEDULE |
| A2.1 | BASEMENT AND MEZZANINE FLOOR PLAN AND PAINT SCHEDULE |
| A3.0 | EXTERIOR ELEVATIONS |
| A3.1 | EXTERIOR ELEVATIONS |

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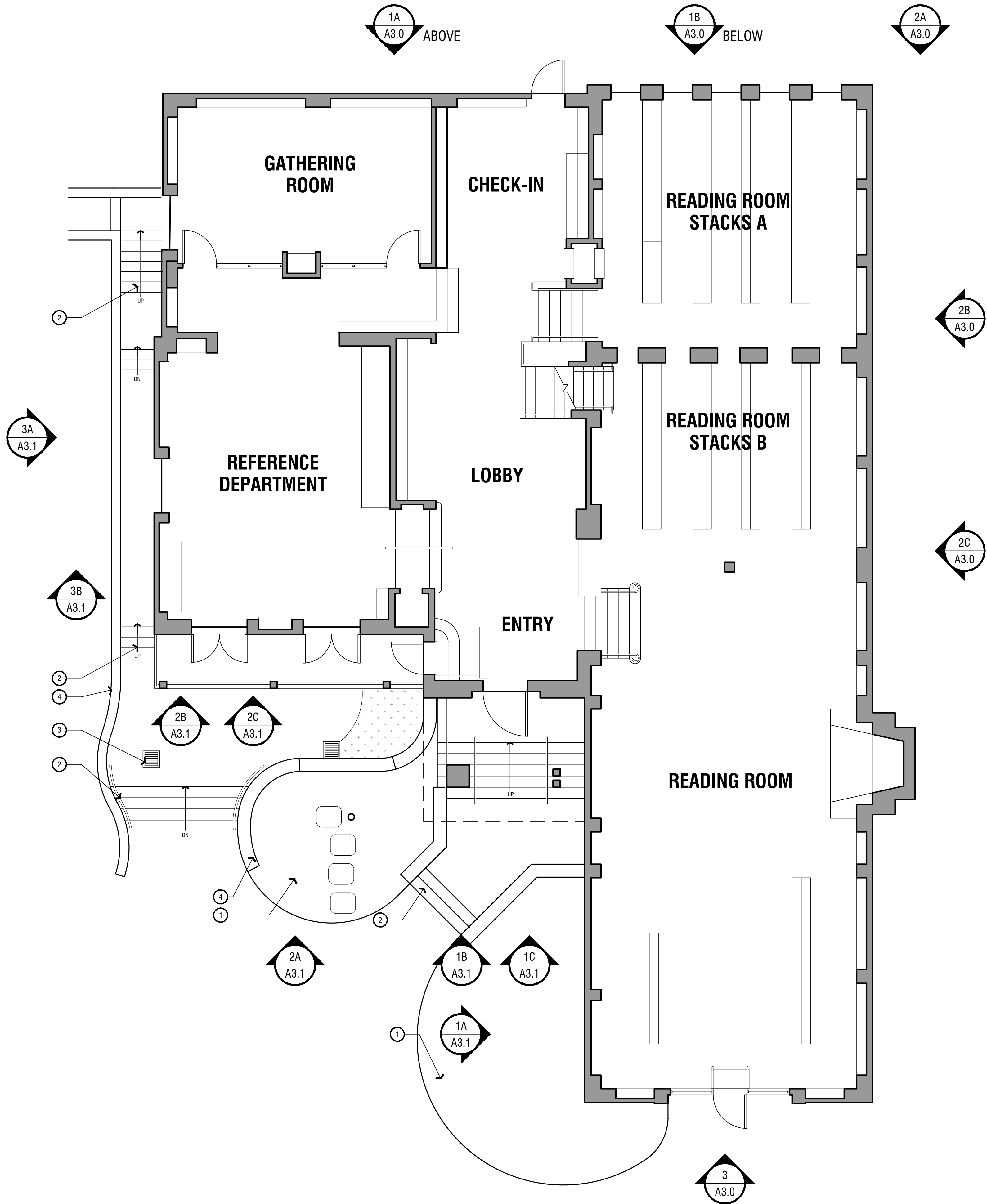
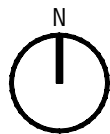
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TITLE SHEET

T1.0

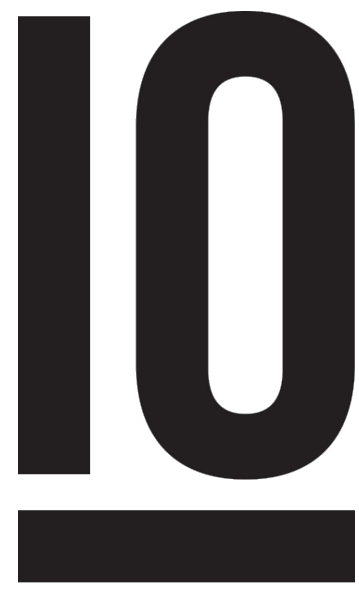


ARCHITECTURAL SITE PLAN GENERAL NOTES

1. PROTECT ALL TREES IN THE CONSTRUCTION ZONE FROM DAMAGE. TREES THAT HAVE BEEN DAMAGED BY CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTED ARBORICULTURE METHODS.
2. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL SUBMIT A SITE PLAN WITH STAGING AREA INDICATED FOR REVIEW AND APPROVAL BY THE CITY.
3. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL DEMOLITION, CONSTRUCTION AND GRADING.

KEYNOTES

- 1 (E) LANDSCAPE AREA, NOT IN SCOPE
- 2 (E) STAIRS TO REMAIN
- 3 (E) STORM DRAIN/CATCH BASIN
- 4 (E) RETAINING WALL
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12



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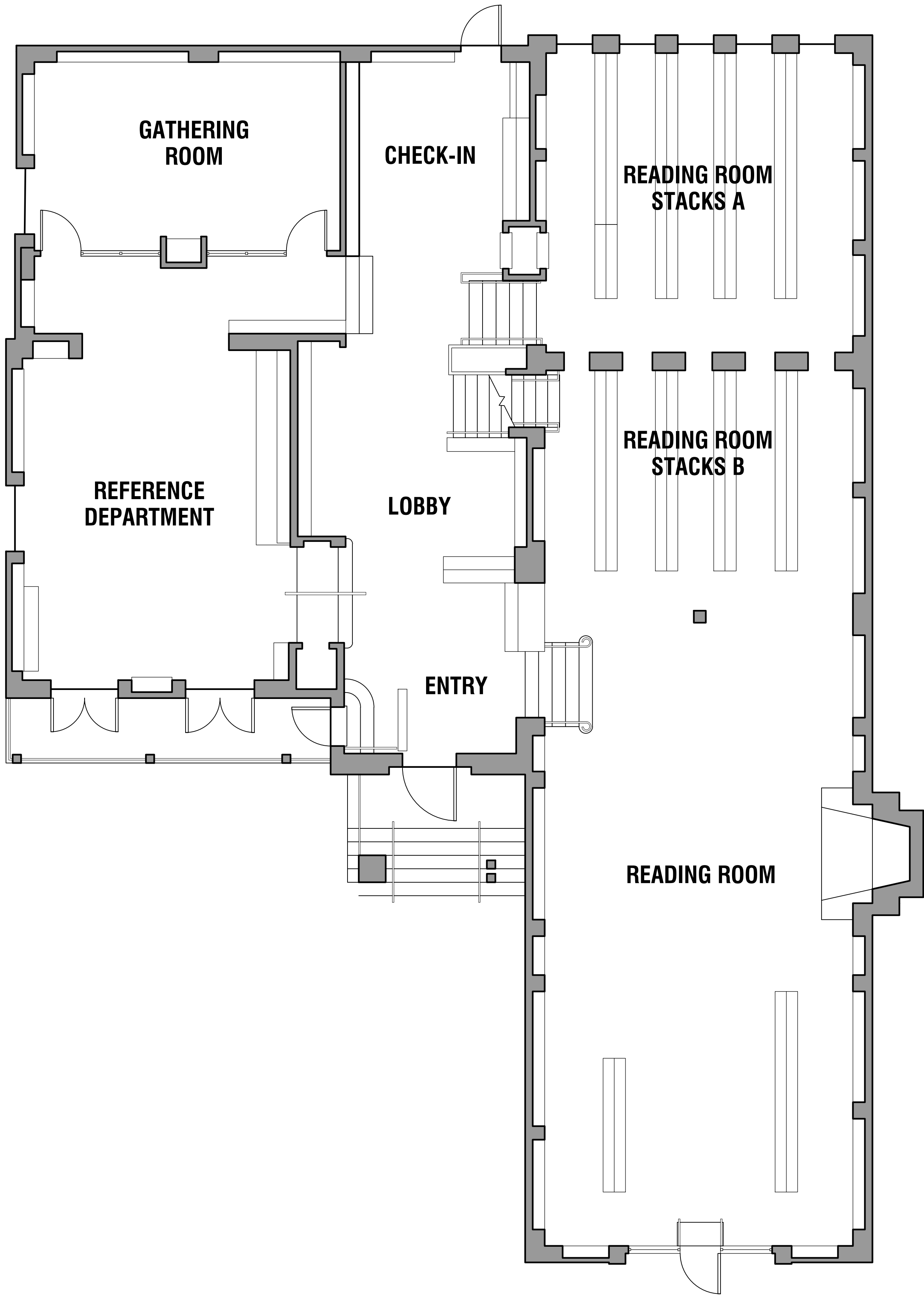
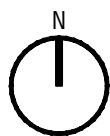
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SITE PLAN



FINISH PLAN GENERAL NOTES

1. PROVIDE PAINT APPLICATION APPROPRIATE TO THE SUBSTRATE TO WHICH IT IS TO BE APPLIED.
2. ALL EXPOSED GYP. BD. SURFACES ARE TO RECEIVE NEW PAINT FINISH. PREP ALL SURFACES AS REQUIRED FOR NEW PAINT FINISH. PROVIDE ONE PRIME COAT PLUS TWO FINISH COATS
3. PAINT EXPOSED BOOKSHELF SURFACES WHERE NOTED IN THE FINISH SCHEDULE. INTERIOR OF BOOK SHELVES AND SHELVING ARE TO REMAIN UNPAINTED AND BE PROTECTED.
4. PAINT EXPOSED ELECTRICAL RACEWAYS TO MATCH THE ADJACENT WALL SURFACE.
5. PAINT REVEALS AND FILER PANELS TO MATCH ADJACENT FINISHES, UNO.

| FINISH LEGEND | | |
|---------------|-----------------------------|--|
| ID | DESCRIPTION | SPEC |
| PNT-1 | PAINT | KELLY MOORE WHIPPED CREAM KMW48 - EGGSHELL |
| PNT-2 | PAINT | KELLY MOORE WHIPPED CREAM KMW48 - SEMIGLOSS |
| PNT-3 | PAINT | SHERWIN WILLIAMS SW 6075 GARRET GRAY - SEMIGLOSS |
| PNT-4 | PAINT | SHERWIN WILLIAMS SW 7020 BLACK FOX - SEMIGLOSS |
| FRP | WALL PROTECTION PANEL | CRANE GLASBORD OR EQUAL. PEBBLE EMBOSSED - WHITE |
| ACT | (E) ACOUSTICAL CEILING TILE | (E) TO REMAIN |
| WB | (E) WOOD BASE | PAINTED PNT-2 |
| CB | (E) COVE BASE | (E) FLOORING COVED UP THE WALL TO REMAIN |
| RB | NEW RUBBER BASE | ROPPE PINNACLE |

| INTERIOR FINISH SCHEDULE | | | | | | | | | | | | | | | | | | |
|--------------------------|-----------------------|-------|-------|------|-------|-------|------|-------|-------|------|-------|-------|------|-------|-------------|--------------|---------|-----------------------------|
| ROOM | | N | | | E | | | S | | | W | | | DOORS | INT. WINDOW | BOOK-SHELVES | CEILING | NOTES |
| LEVEL | NAME | WALLS | WAINS | BASE | WALLS | WAINS | BASE | WALLS | WAINS | BASE | WALLS | WAINS | BASE | | | | | |
| 1 | ENTRY | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | PNT-4 | - | (E) CEILING PAINT TO REMAIN |
| 1 | LOBBY | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | PNT-4 | - | (E) CEILING PAINT TO REMAIN |
| 1 | CHECK-IN | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | PNT-4 | - | (E) CEILING PAINT TO REMAIN |
| 1 | REFERENCE STACKS | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | PNT-4 | - | (E) CEILING PAINT TO REMAIN |
| 1 | REFERENCE DEPARTMENT | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | PNT-4 | - | (E) CEILING PAINT TO REMAIN |
| G | READING ROOM | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | PNT-4 | - | (E) CEILING PAINT TO REMAIN |
| G | READING ROOM STACKS A | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | PNT-4 | ACT | (E) CEILING TO REMAIN |
| G | READING ROOM STACKS B | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | PNT-4 | ACT | (E) CEILING TO REMAIN |



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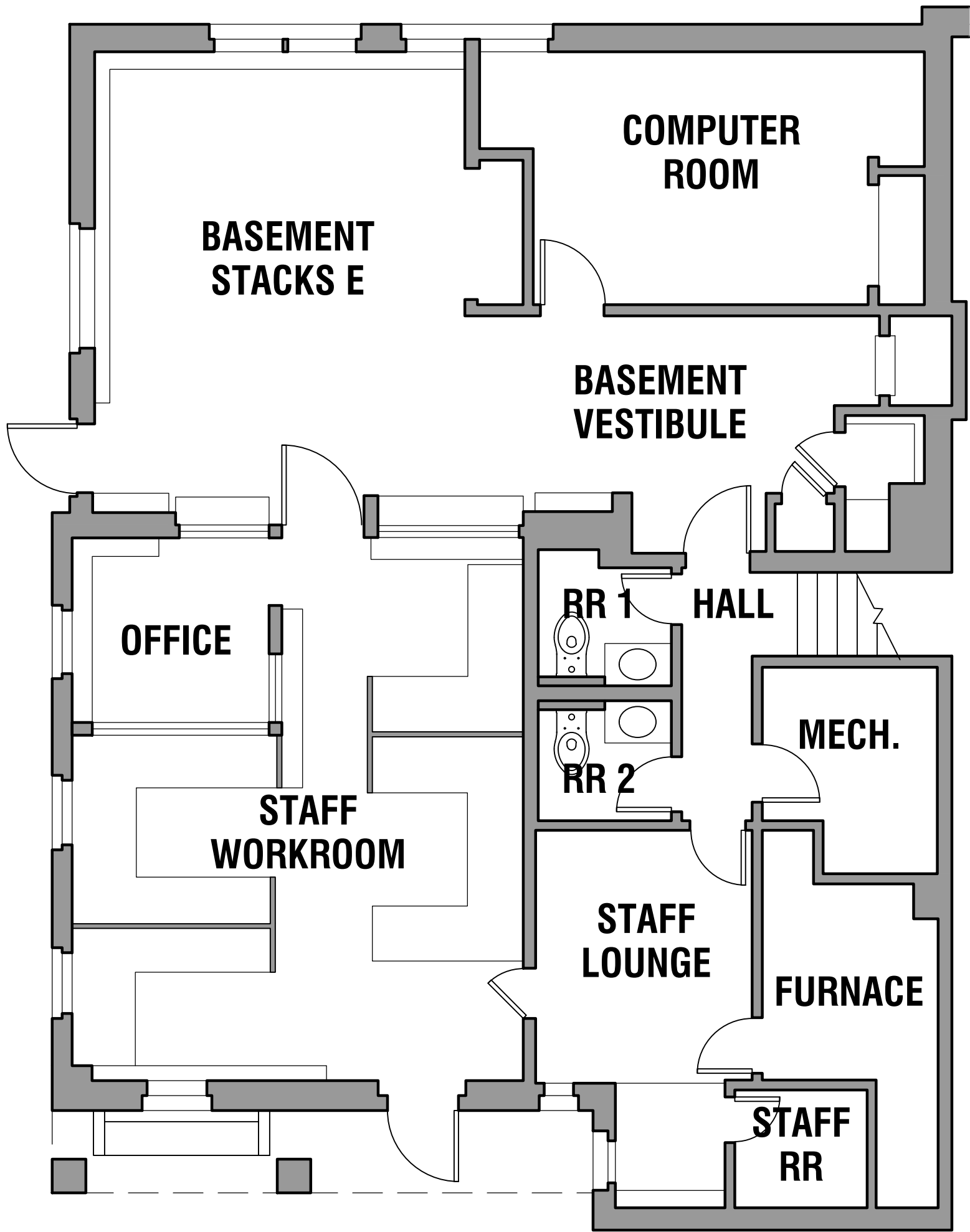
BUILDING INTERIOR AND EXTERIOR PAINTING SCHEDULE
HARRISON MEMORIAL LIBRARY
CORNER OF OCEAN AVE AND LINCOLN ST, CARMEL-BY-THE-SEA, CA 93923

PROJ #: 2022-065
DRWN BY: AA/DL
CHK'D BY: JP/HD

DATE SUBMITTAL
03/06/2023 DRAFT SUBMITTAL
04/24/2023 FINAL SUBMITTAL

FIRST FLOOR
PLAN

A2.0



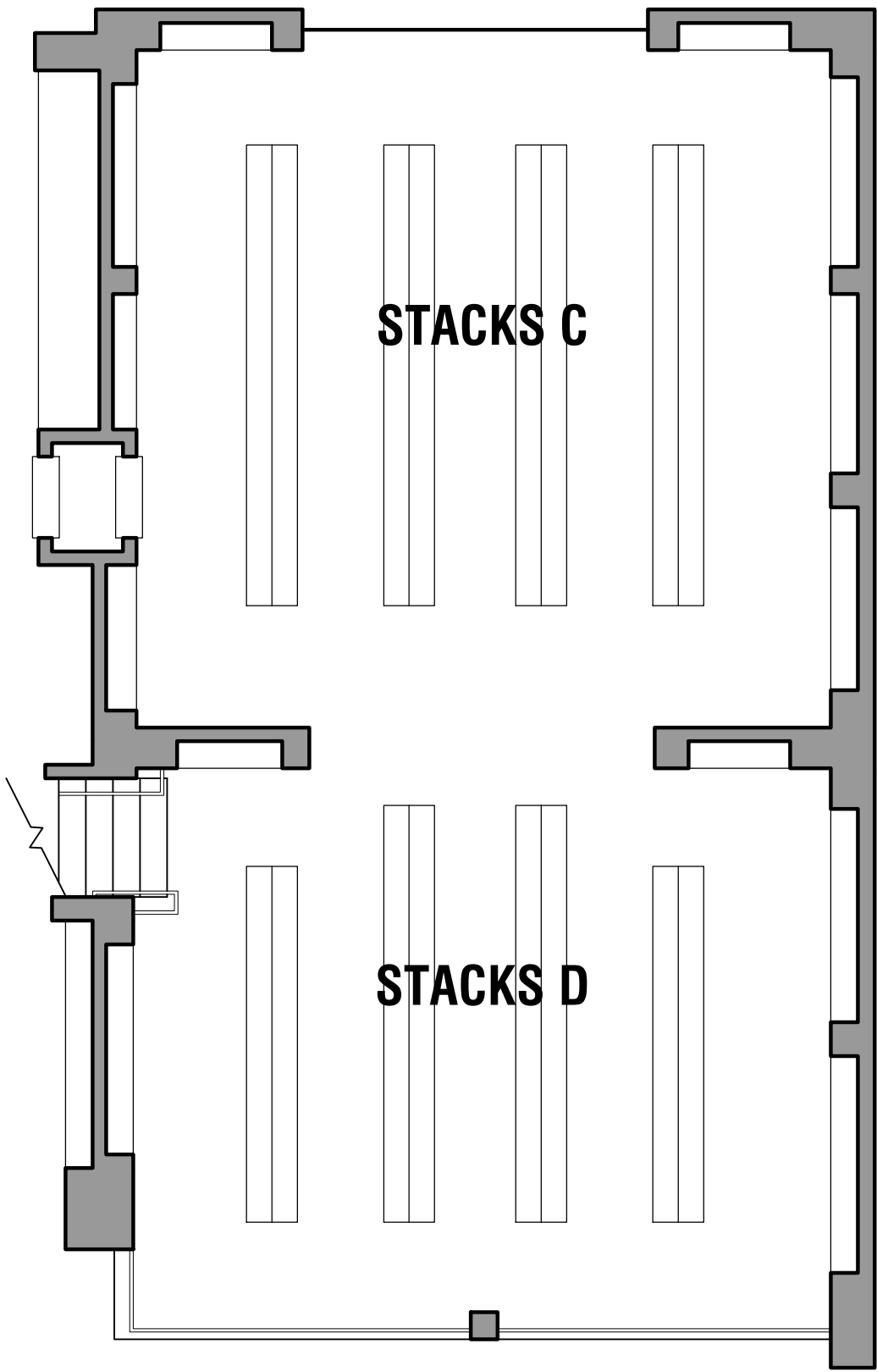
1 BASEMENT FLOOR PLAN

SCALE: 3/16" = 1'-0"



2 MEZZANINE FLOOR PLAN

SCALE: 3/16" = 1'-0"



FINISH PLAN GENERAL NOTES

1. PROVIDE PAINT APPLICATION APPROPRIATE TO THE SUBSTRATE TO WHICH IT IS TO BE APPLIED.
2. ALL EXPOSED GYP. BD. SURFACES ARE TO RECEIVE NEW PAINT FINISH. PREP ALL SURFACES AS REQUIRED FOR NEW PAINT FINISH. PROVIDE ONE PRIME COAT PLUS TWO FINISH COATS
3. PAINT EXPOSED BOOKSHELF SURFACES WHERE NOTED IN THE FINISH SCHEDULE. INTERIOR OF BOOK SHELVES AND SHELVING ARE TO REMAIN UNPAINTED AND BE PROTECTED.
4. PAINT EXPOSED ELECTRICAL RACEWAYS TO MATCH THE ADJACENT WALL SURFACE.
5. PAINT REVEALS AND FILER PANELS TO MATCH ADJACENT FINISHES, UNO.

| FINISH LEGEND | | |
|---------------|-----------------------------|--|
| ID | DESCRIPTION | SPEC |
| PNT-1 | PAINT | KELLY MOORE WHIPPED CREAM KMW48 - EGGSHELL |
| PNT-2 | PAINT | KELLY MOORE WHIPPED CREAM KMW48 - SEMIGLOSS |
| PNT-3 | PAINT | SHERWIN WILLIAMS SW 6075 GARRET GRAY - SEMIGLOSS |
| PNT-4 | PAINT | SHERWIN WILLIAMS SW 7020 BLACK FOX - SEMIGLOSS |
| FRP | WALL PROTECTION PANEL | CRANE GLASBORD OR EQUAL. PEBBLE EMBOSSED - WHITE |
| ACT | (E) ACOUSTICAL CEILING TILE | (E) TO REMAIN |
| WB | (E) WOOD BASE | PAINTED PNT-2 |
| CB | (E) COVE BASE | (E) FLOORING COVED UP THE WALL TO REMAIN |
| RB | NEW RUBBER BASE | ROPPE PINNACLE |

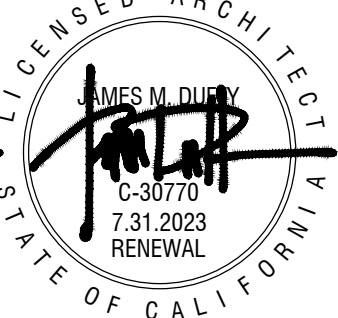
| INTERIOR FINISH SCHEDULE | | | | | | | | | | | | | | | | | | |
|--------------------------|--------------------|---------------|-------|------|---------------|-------|------|---------------|-------|------|---------------|-------|------|-------|-------------|--------------|---------|--|
| ROOM | | N | | | E | | | S | | | W | | | DOORS | INT. WINDOW | BOOK-SHELVES | CEILING | NOTES |
| LEVEL | NAME | WALLS | WAINS | BASE | WALLS | WAINS | BASE | WALLS | WAINS | BASE | WALLS | WAINS | BASE | | | | | |
| M | STACKS C | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | PNT-4 | - | (E) CEILING PAINT TO REMAIN |
| M | STACKS D | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | PNT-4 | - | (E) CEILING PAINT TO REMAIN |
| B | BASEMENT STACKS E | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | PNT-4 | PNT-1 | (E) PAINT ON UTILITY PIPES TO REMAIN. SEE INTERIOR PAINT SPECIFICATION FOR TOUCH-UP INSTRUCTIONS AND COLORS. |
| B | COMPUTER ROOM | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | (E) TO REMAIN |
| B | BASEMENT VESTIBULE | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | | PNT-1 | |
| B | HALL | PNT-1 | | RB | PNT-1 | | RB | PNT-1 | | RB | PNT-1 | | RB | | | | PNT-1 | |
| B | OFFICE | (E) TO REMAIN | | WB | (E) TO REMAIN | | WB | (E) TO REMAIN | | WB | (E) TO REMAIN | | WB | | | | ACT | WALL MURAL TO REMAIN |
| B | STAFF WORKROOM | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | PNT-1 | - | WB | | | | | ACT |
| B | STAFF LOUNGE | PNT-1 | | RB | PNT-1 | | RB | PNT-1 | | RB | PNT-1 | | RB | | | | PNT-1 | (E) KITCHENETTE CASEWORK - PNT-2 |
| B | STAFF RESTROOM | PNT-1 | FRP | CB | PNT-1 | FRP | CB | PNT-1 | FRP | CB | PNT-1 | FRP | CB | | | | PNT-1 | (E) VINYL FLOORING COVED UP WALL |
| B | RESTROOM 1 | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | PNT-1 | (E) TO REMAIN |
| B | RESTROOM 2 | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | PNT-1 | (E) TO REMAIN |
| B | MECHANICAL | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | (E) TO REMAIN |
| B | FURNACE | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | (E) TO REMAIN |

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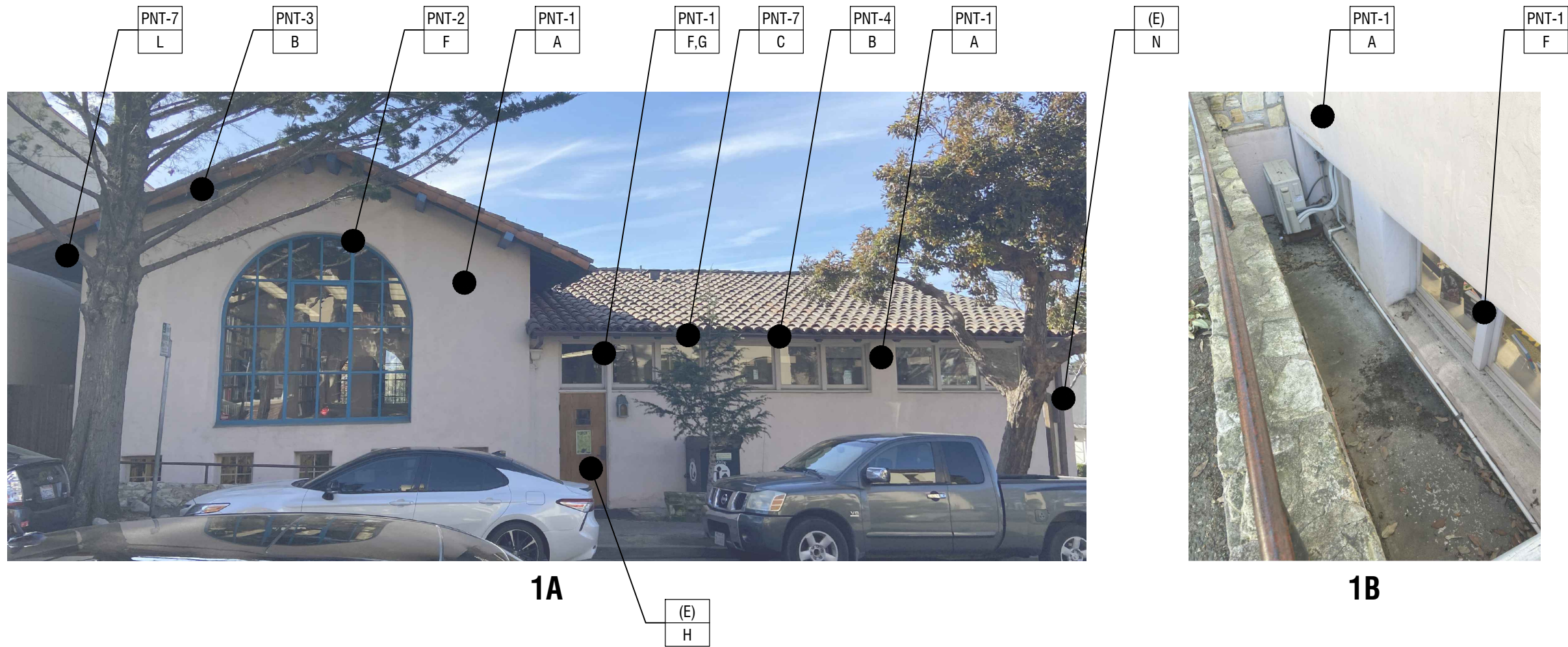
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MEZZANINE &
BASEMENT PLANS

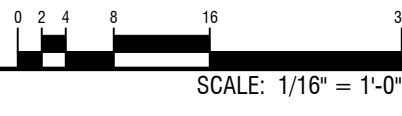
A2.1



1 NORTH ELEVATION



2 EAST ELEVATION



3 PARTIAL SOUTH ELEVATION



EXTERIOR ELEVATIONS LEGEND

COLORS AND MATERIALS

| # | - COLOR |
|---|------------|
| X | - MATERIAL |

| COLORS | NOTES |
|--------|--|
| PNT-1 | KELLY MOORE WOOLLY BEIGE KM4514 |
| PNT-2 | KELLY MOORE TINY BUBBLES KMA31 |
| PNT-3 | KELLY MOORE COASTAL SURF KM4967 |
| PNT-4 | KELLY MOORE O'NEAL GREEN KMA19 |
| PNT-5 | KELLY MOORE CHILI SAUCE KMS435 |
| PNT-6 | KELLY MOORE CARBON KM407 |
| PNT-7 | CABOT DARK GREY STAIN |
| PNT-8 | COLOR MATCH EXISTING PAINT |
| (E) | EXISTING TO REMAIN. NO PAINTING REQUIRED |

| MATERIALS | NOTES |
|-----------|---------------------------|
| A | STUCCO |
| B | RAFTER TAILS |
| C | EAVES |
| D | RAILING |
| E | POSTS |
| F | WINDOW |
| G | WINDOW TRIM |
| H | DOOR |
| I | TRIM |
| J | BEAM |
| K | COPPER END CAPS |
| L | EXPOSED WOOD ROOF DECKING |
| M | COPPER GUTTER |
| N | COPPER DOWNSPOUT |
| O | EXPOSED WOOD DECKING |
| P | TERRA COTTA TILE |
| Q | PAINTED METAL DOWNSPOUT |

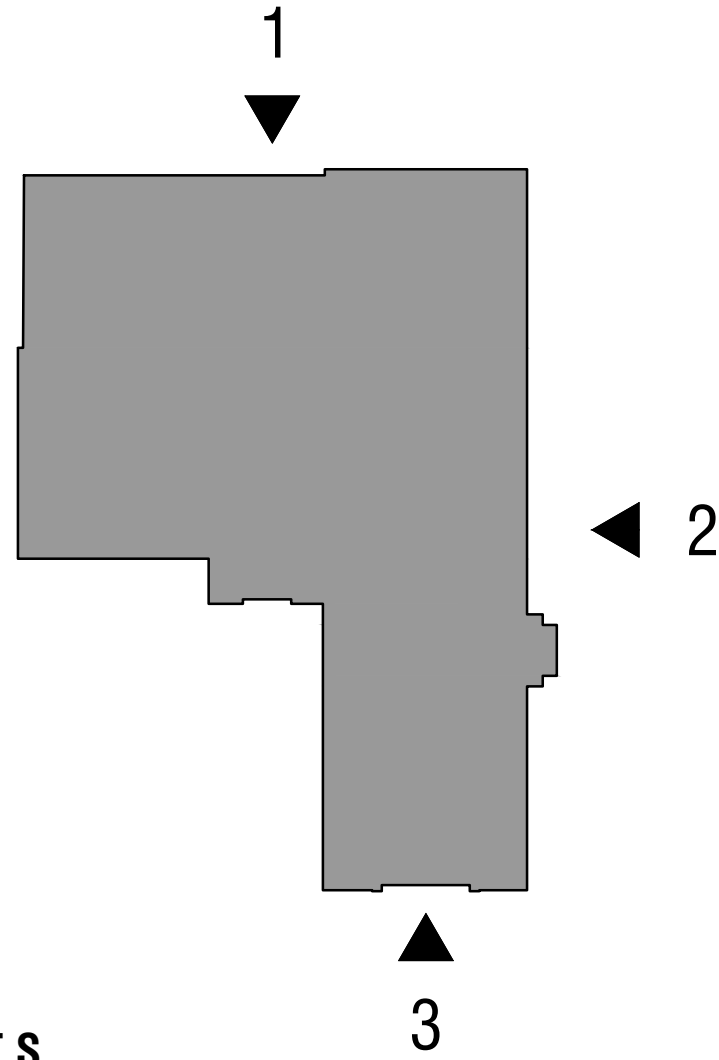
EXTERIOR ELEVATION GENERAL NOTES

1. WHEN DRY ROT IS ENCOUNTERED, THE CONTRACTOR SHALL IDENTIFY THE EXTENT OF DAMAGE AND REPLACEMENT NEEDED. CONTRACTOR TO PROPOSE REPAIR SOLUTION FOR REVIEW BY THE CITY AND THE ARCHITECT.
2. ANY UNPAINTED ACCESSORIES (BIRD DETERRENTS, SIGNAGE, ETC.) NOT INDICATED ON THE EXTERIOR ELEVATIONS PROTECTED FROM PAINT OVERSPRAY. ANY ACCESSORIES REMOVED SHALL BE REINSTALLED ONCE PAINTING IS COMPLETE.

HAZARDOUS MATERIALS REMOVAL GENERAL NOTES

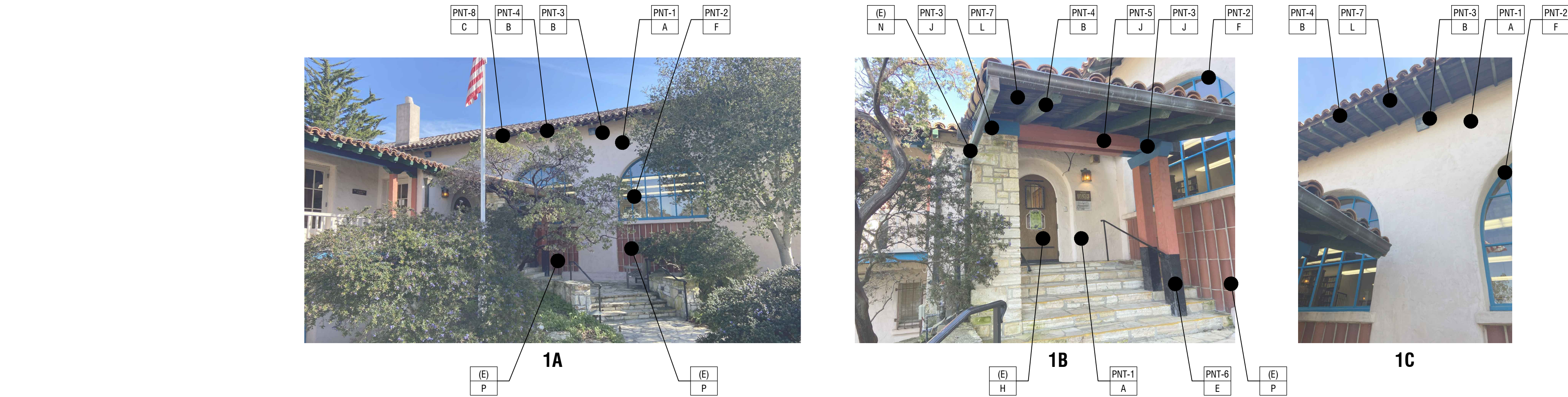
1. THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ABATEMENT WORK WITH THE GENERAL CONTRACTOR, OTHER TRADES, CONSTRUCTION ADMINISTRATOR, AND/OR BUILDING OWNER AND CONSULTANT.
3. ASBESTOS ABATEMENT WORK MUST BE PERFORMED IN ACCORDANCE WITH CBC ASBESTOS ABATEMENT SPECIFICATIONS.
4. LEAD-CONTAINING PAINT WORK MUST BE PERFORMED IN ACCORDANCE WITH CBC LEAD-BASED PAINT AWARENESS SPECIFICATIONS.
5. PRIOR TO DEMOLITION REFER TO HAZARDOUS MATERIAL ABATEMENT REPORT PREPARED BY M3 DATED 3/31/2022 AND REMOVE ALL DEEMED HAZARDOUS MATERIALS.

KEY PLAN - N.T.S.



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1 PARTIAL WEST ELEVATION



2 PARTIAL SOUTH ELEVATION



3 PARTIAL WEST ELEVATION



EXTERIOR ELEVATIONS LEGEND

COLORS AND MATERIALS

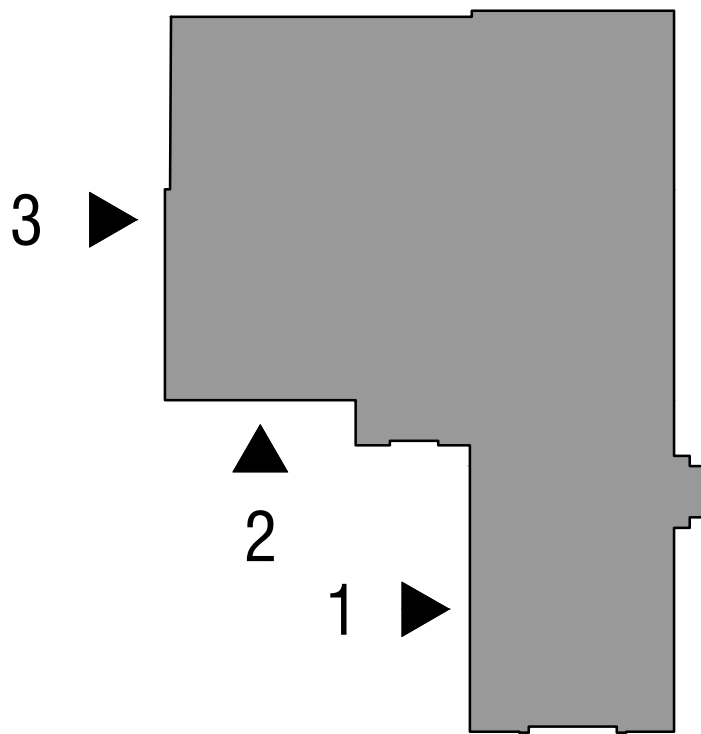
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