

SHEET INDEX

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GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.

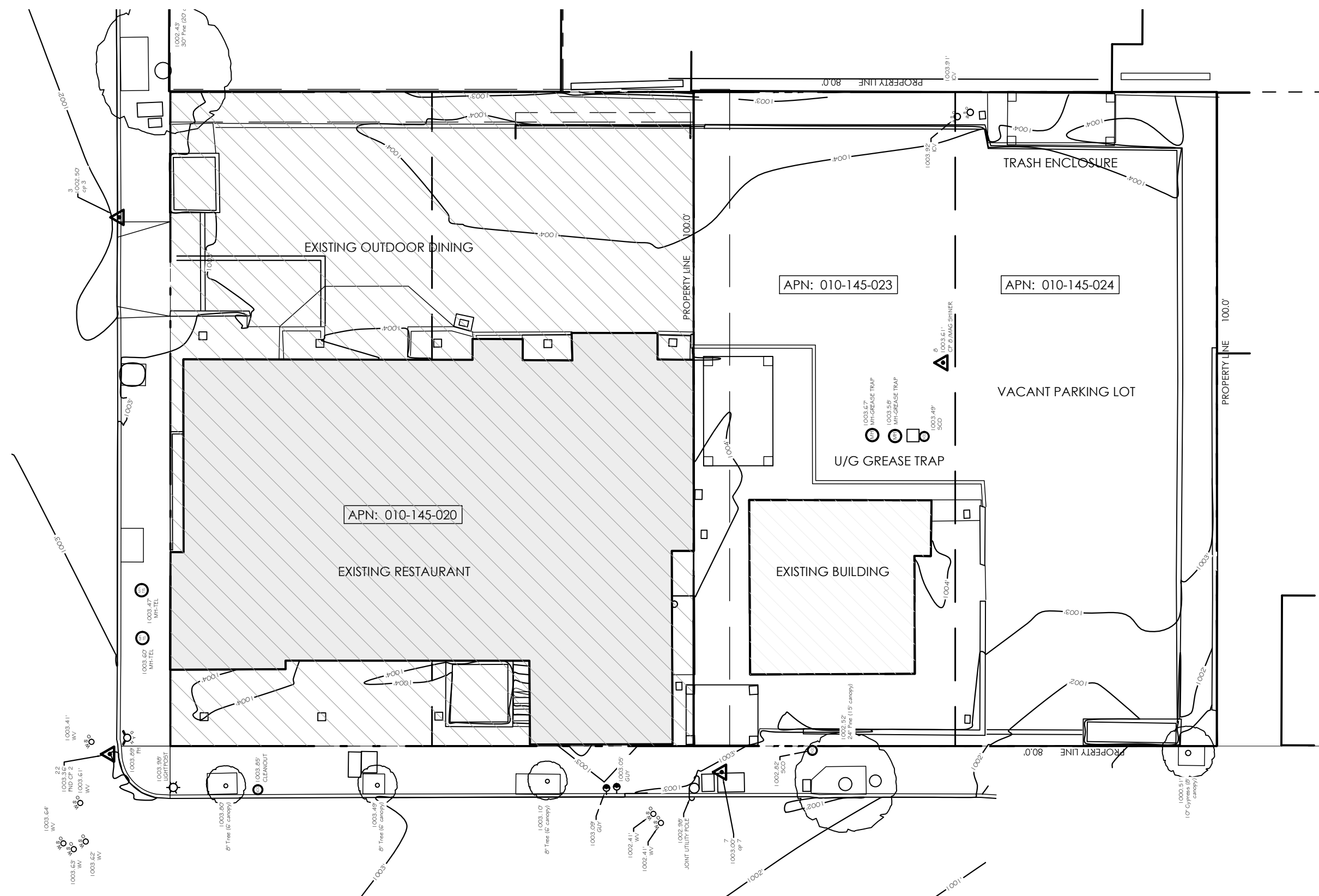
2. CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.

3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE **2016 CALIFORNIA BUILDING CODE** (CBC); CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.

4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.

5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER AND TENANT. VERIFY WITH OWNER AND TENANT WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLAN A1.1 FOR ADDITIONAL NOTES.

6. FIRE ALARM AND FIRE SPRINKLER SYSTEMS ARE REQUIRED. PLANS AND SPECIFICATIONS TO BE SUBMITTED UNDER SEPARATE PERMIT AND SHALL COMPLY WITH THE CALIFORNIA FIRE CODE AND ALL LOCAL AMENDMENTS, SECTION 903 AND 907.



2 EXISTING SITE PLAN SHOWING LOT LINES
SCALE: 1/16" = 1'-0"

SCOPE OF WORK

RETAIN EXISTING SMALL BUILDING IN PLACE, AND DEMOLISH EXISTING TRASH ENCLOSURE AND PARKING LOT. BUILD A NEW COMMERCIAL STRUCTURE AS ADDITION FOR A FULL LINE FOOD STORE. NEW BELOW-GRADE PARKING GARAGE WITH SIX (6) NEW RESIDENTIAL APARTMENTS ON EXISTING VACANT PARKING LOT. WALKWAYS, COURTYARDS, AND SITE LANDSCAPING.

CONSTRUCTION TYPE:	I-B
OCCUPANCY:	B, R-1, U
WATER:	CAL-AM
SEWER:	CARMEL AREA WASTEWATER DISTRICT
TREE REMOVAL:	NONE
FIRE SPRINKLERS:	YES

PLANNING DATA

LOT SIZE:	8,000 SQUARE FEET
FLOOR AREA ALLOWED:	135% = 10,800 SF MAX. FOR 2-STORY
BUILDING HEIGHT:	29'-11" (MAX. AT STREET ELEVATION)
BUILDING HEIGHT ALLOWED:	30'-0"

FLOOR AREA, EXISTING:	
BUILDING 2:	608 SF
TOTAL:	608 SF

FLOOR AREA, PROPOSED:	
(COMMERCIAL)	
FOOD STORE, EXISTING:	608 SF
MEZZANINE:	380 SF
FOOD STORE, ADDITION:	452 SF

SUB-TOTAL (COMMERCIAL) **1,060 SF** (MEZZ. NOT IN F.A.R.)

FLOOR AREA, PROPOSED:	
[RESIDENTIAL]	
APARTMENT 1:	1,750 SF
APARTMENT 2:	1,700 SF
APARTMENT 3:	1,850 SF
APARTMENT 4:	1,850 SF
APARTMENT 5:	950 SF
APARTMENT 6:	930 SF

SUB-TOTAL (RESIDENTIAL) **9,030 SF**

TOTAL: **10,090 SF**
F.A.R. = 10090 / 8000 = 126%

NOT INCLUDED IN F.A.R. CALCULATION:
FLOOR AREA, GARAGE: 7,362 SF

BUILDING COVERAGE: **6,384 SF (79.8%)**
80% ALLOWABLE PER CMC 17.14.130

PROJECT DATA

PROPERTY ADDRESS: BLOCK 91, LOTS 6, 8
2 S/E 7TH AVENUE ON DOLORES STREET
CARMEL-BY-THE-SEA, CALIFORNIA 93921

A.P.N. **010-145-023**
010-145-024

ZONING: **SERVICE COMMERCIAL**

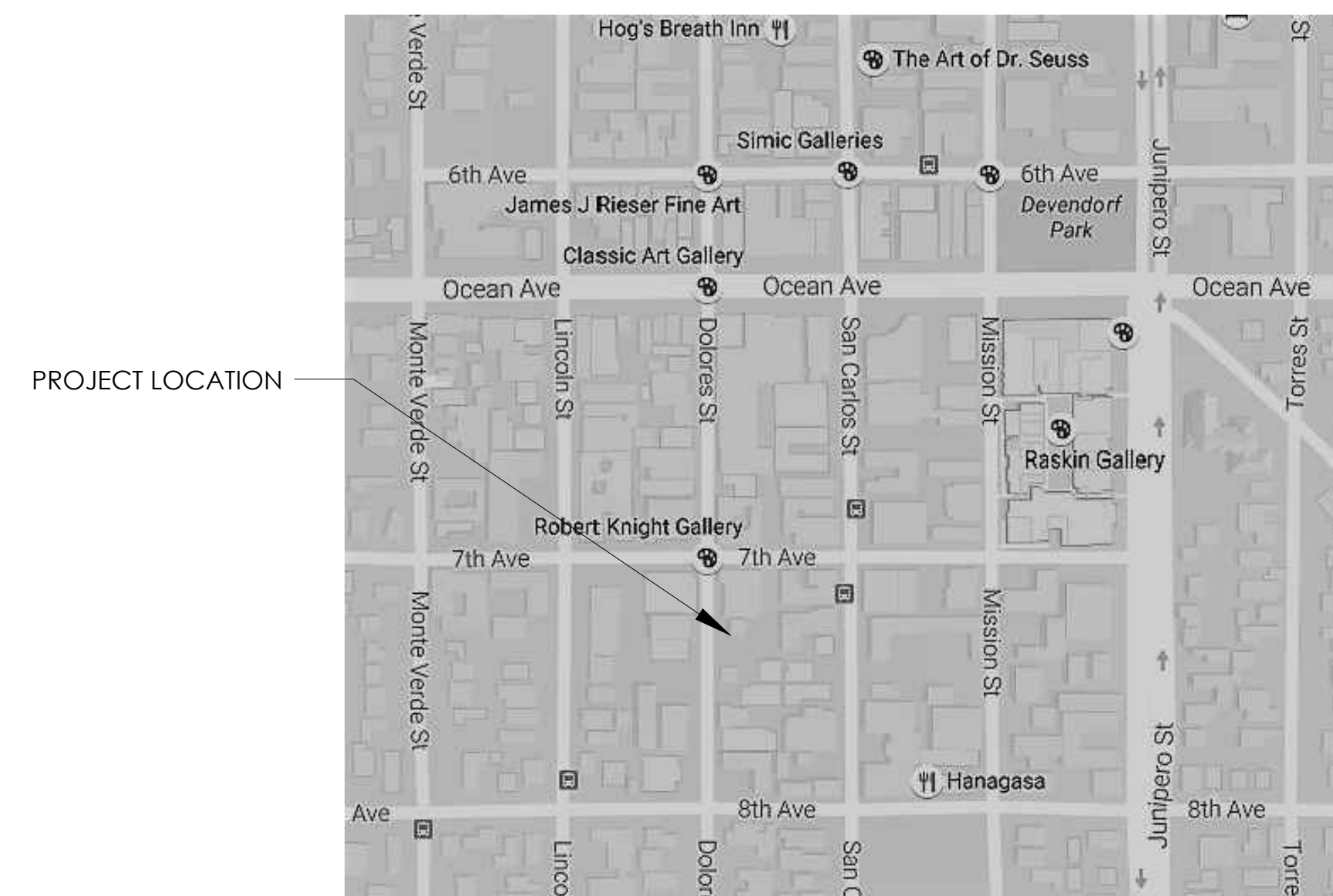
USE PERMIT: ---

OWNER: **C PINES 7 LLC**
PO BOX 31009
LOS GATOS, CA 95031
PHONE: (831) 239.2010
CONTACT: MR. JEFF PETERSON

CLIENT: **ODIN HOLDINGS, LLC**
CONTACT: MR. FRED KERN

ARCHITECT: **ADAM JESELNICK ARCHITECT**
24398 PORTOLA AVENUE
CARMEL, CA 93923
PHONE: (831) 620.5164
CONTACT: ADAM JESELNICK
EMAIL: aejarch@gmail.com

SURVEYOR: **RASMUSSEN LAND SURVEYING**
2150 GARDEN ROAD
SUITE A-3
MONTEREY, CA 93940
PHONE: (831) 375.7240



1 VICINITY MAP
SCALE: N.T.S.

DRAWING REVISION LOG

REVISION	#1	7-16-2019
REVISION	#2	7-25-2019
REVISION	#3	7-31-2019

ADAM JESELNICK
ARCHITECT



ODIN HOLDINGS, INC.
BLOCK : 91, LOTS 6,8 APN: 010-145-023, -024
CARMEL-BY-THE-SEA, CALIFORNIA

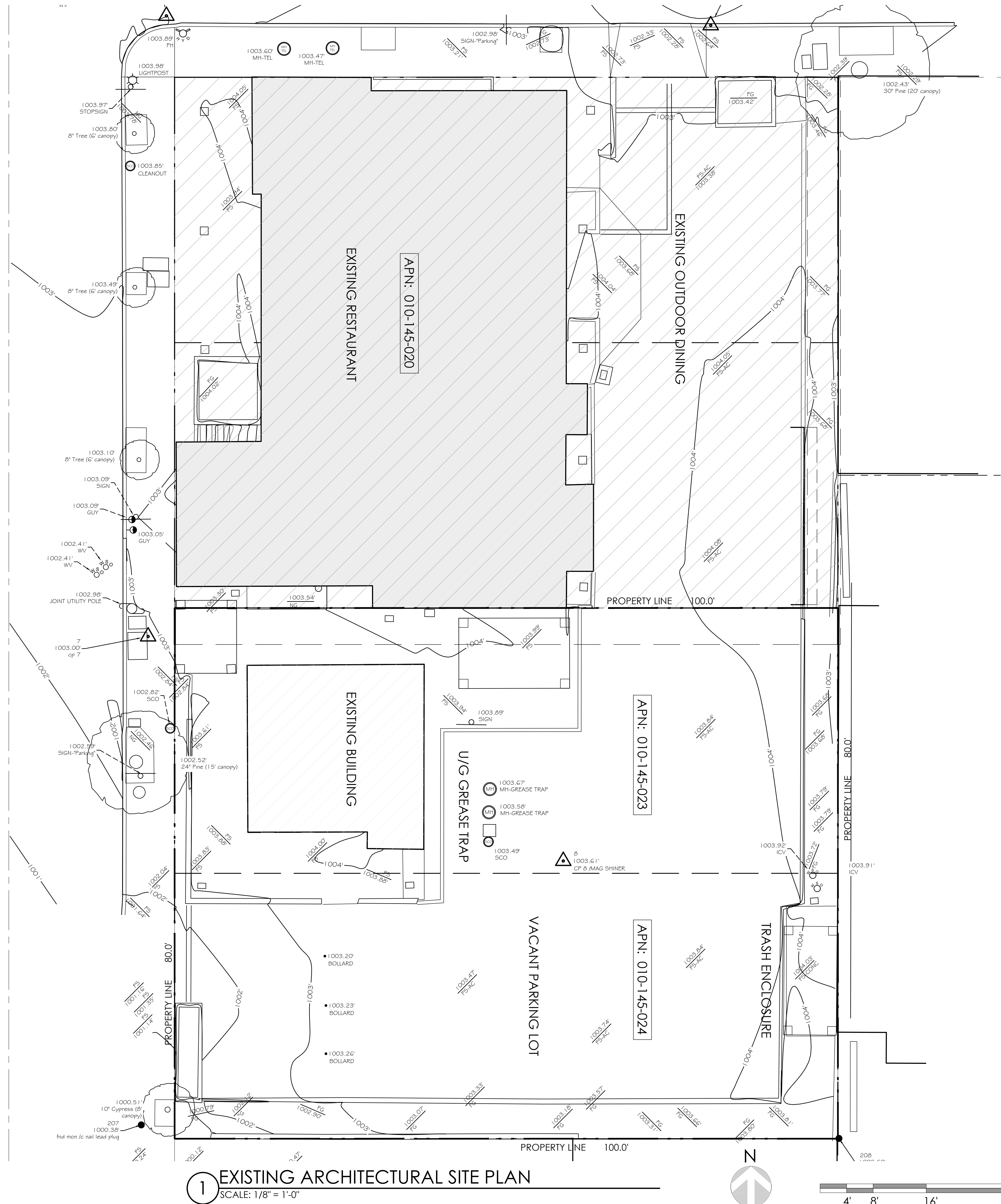
TITLE SHEET

6-21-2019

AS NOTED

A0.0

PRELIMINARY NOT FOR CONSTRUCTION



SITE PLAN NOTES

1. EXISTING SEVENTH & DOLORES RESTAURANT BUILDING AND EXTERIOR SEATING AREA TO REMAIN. NOT A PART OF THIS PROJECT, SHOWN FOR REFERENCE ONLY.
2. EXISTING SITE UTILITIES TO REMAIN UNLESS OTHERWISE NOTED. RELOCATE (E) UNDERGROUND GREASE INTERCEPTOR AS SHOWN. COORDINATE UTILITY CONNECTIONS AND SUB-METERING WITH PG&E AND CAL-AM.
3. ACCESSIBLE ROUTES OF TRAVEL FROM PARKING AND PUBLIC WAY SHALL NOT EXCEED 5% MAX. SLOPE IN DIRECTION OF TRAVEL OR COMPLY AS A RAMP, AND 2% MAX. CROSS SLOPE.
4. NEW WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR ABRUPT CHANGES IN LEVEL EXCEEDING 1/2", AND SHALL BE A MINIMUM OF 48" IN WIDTH. EXISTING SURFACES WILL REMAIN. SEE UNREASONABLE HARDSHIP EXEMPTION FORM.

1 EXISTING ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

ADAM JESELNICK
ARCHITECT



ODIN HOLDINGS, INC.
BLOCK : 91, LOTS 6,8 APN: 010-145-023, -024
CARMEL-BY-THE-SEA, CALIFORNIA

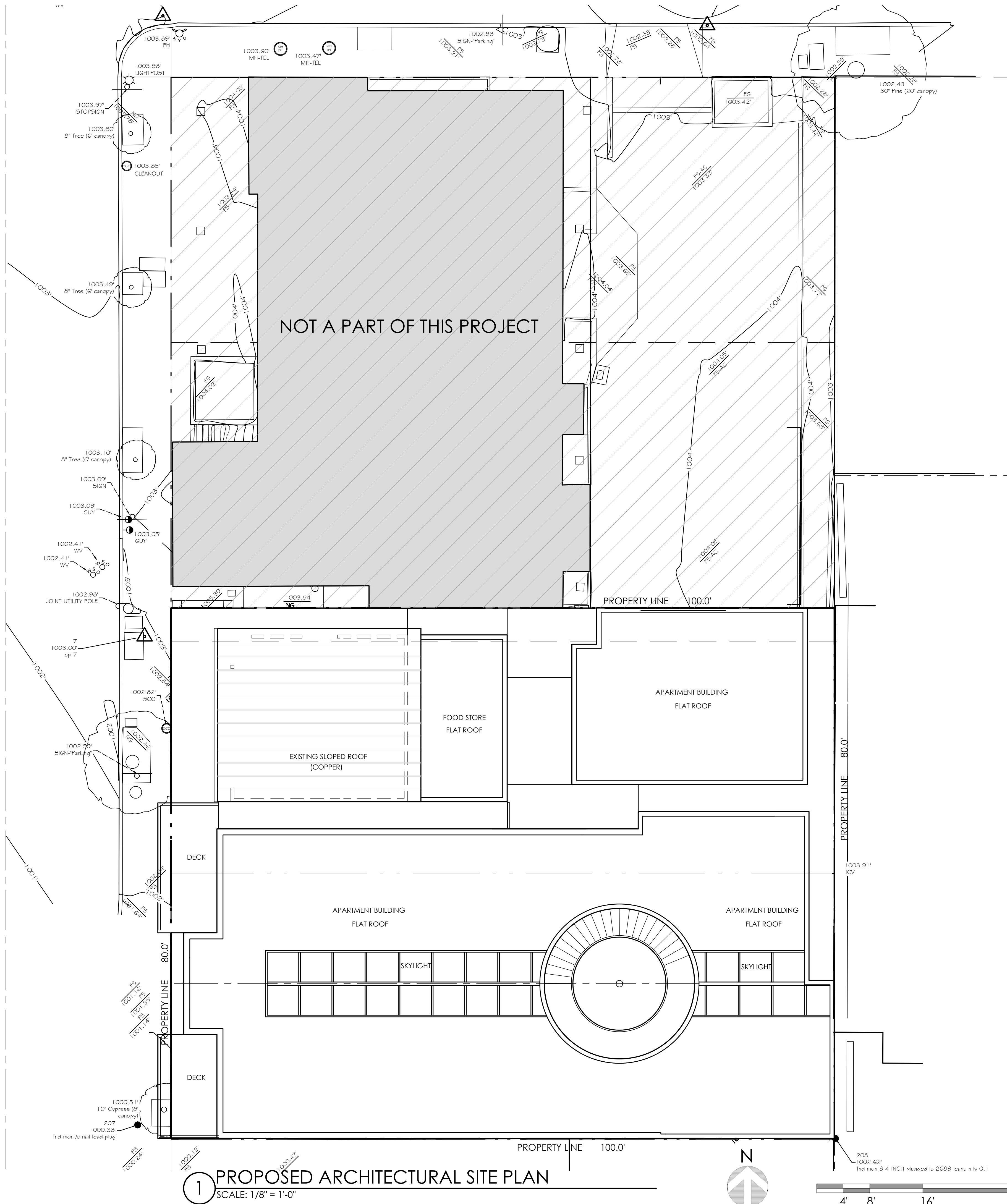
EXISTING
SITE PLAN

6-21-2019

SCALE: 1/8" = 1'

A1.0

PRELIMINARY NOT FOR CONSTRUCTION



SITE PLAN NOTES

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5. REMOVE EXISTING TREES FROM SIDEWALK AT EAST SIDE OF BUILDING ON DOLORES STREET. PLANT THREE (3) NEW TREES, IN COORDINATION WITH PUBLIC WORKS.

1 PROPOSED ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

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ARCHITECT



ODIN HOLDINGS, INC.
BLOCK : 91, LOTS 6,8 APN: 010-145-023, -024
CARMEL-BY-THE-SEA, CALIFORNIA

PROPOSED
SITE PLAN

6-21-2019

SCALE: 1/8" = 1'

A1.1

PRELIMINARY NOT FOR CONSTRUCTION

DRAWING REVISION LOG		
REVISION #1	7-16-2019	
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CARMEL-BY-THE-SEA, CALIFORNIA

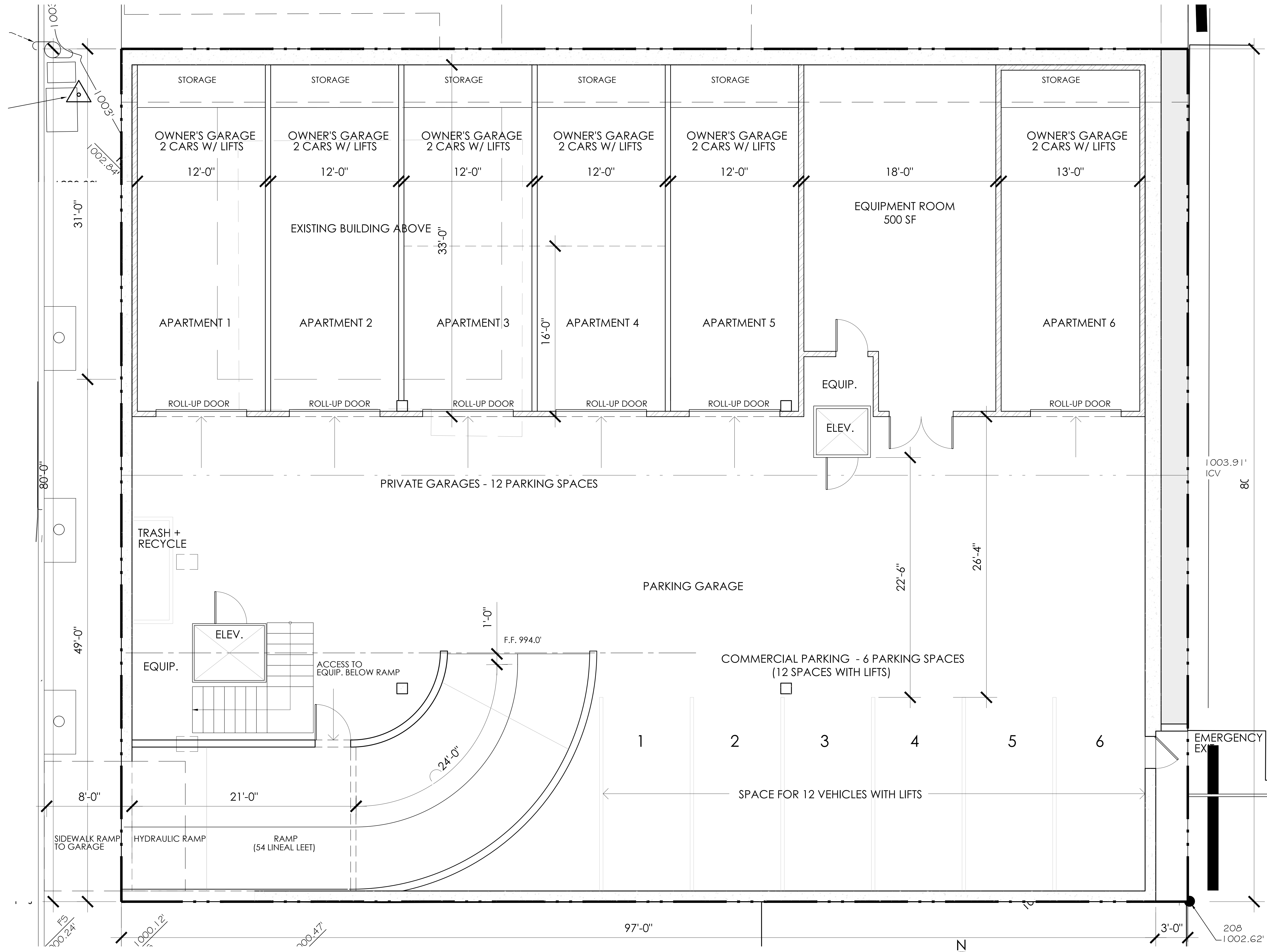
GARAGE FLOOR PLAN

6-21-2019

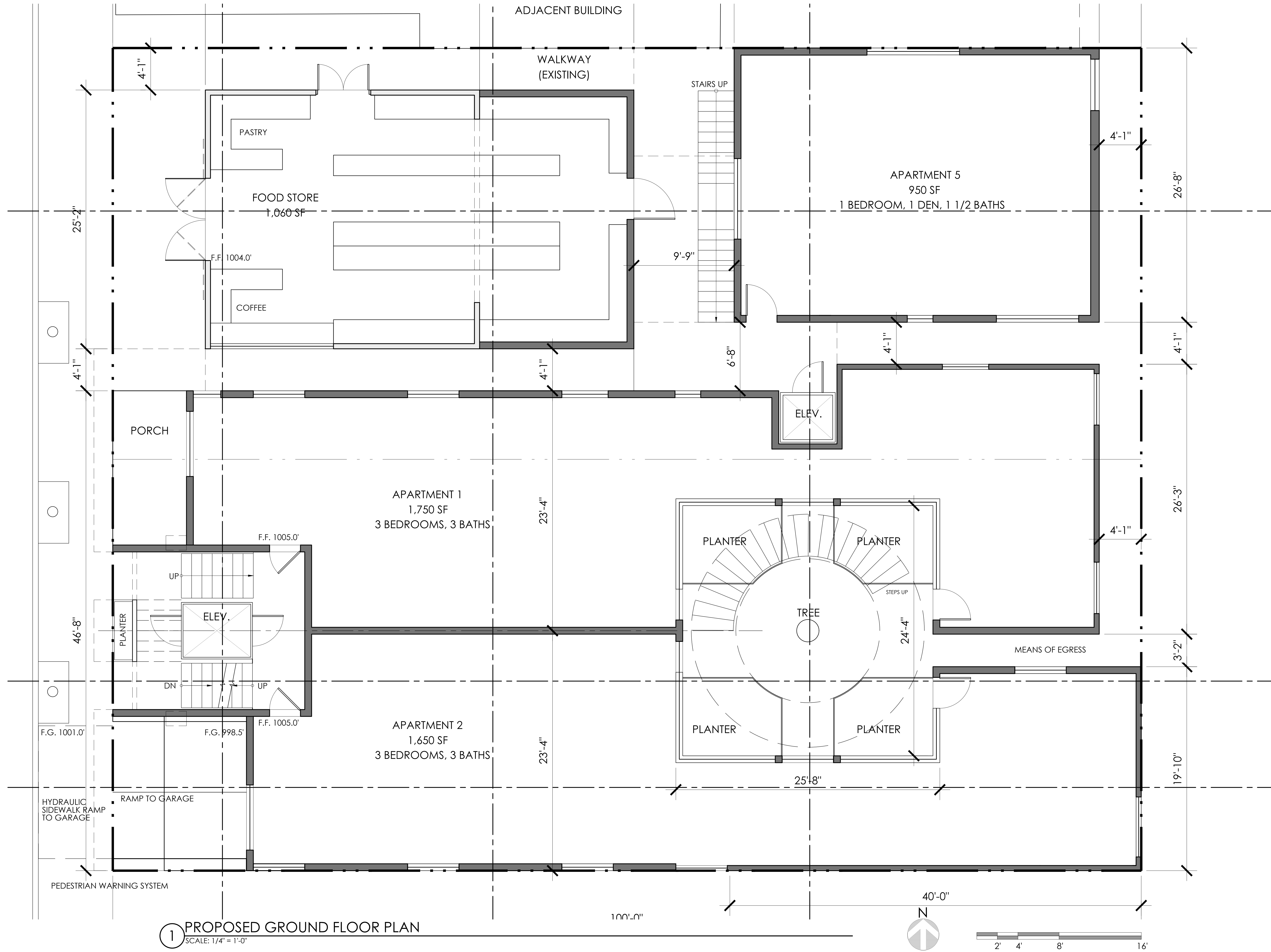
SCALE: 1/4" = 1'

A2.0

PRELIMINARY NOT FOR CONSTRUCTION



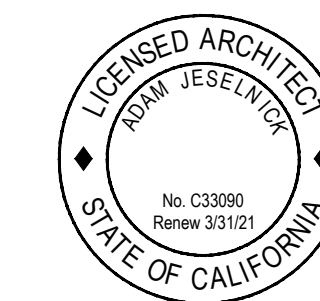
1 PROPOSED GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DRAWING REVISION LOG		
REVISION #1	7-16-2019	
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ADAM JESELNICK
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BLOCK : 91, LOTS 6,8 APN: 010-145-023, -024
CARMEL-BY-THE-SEA, CALIFORNIA

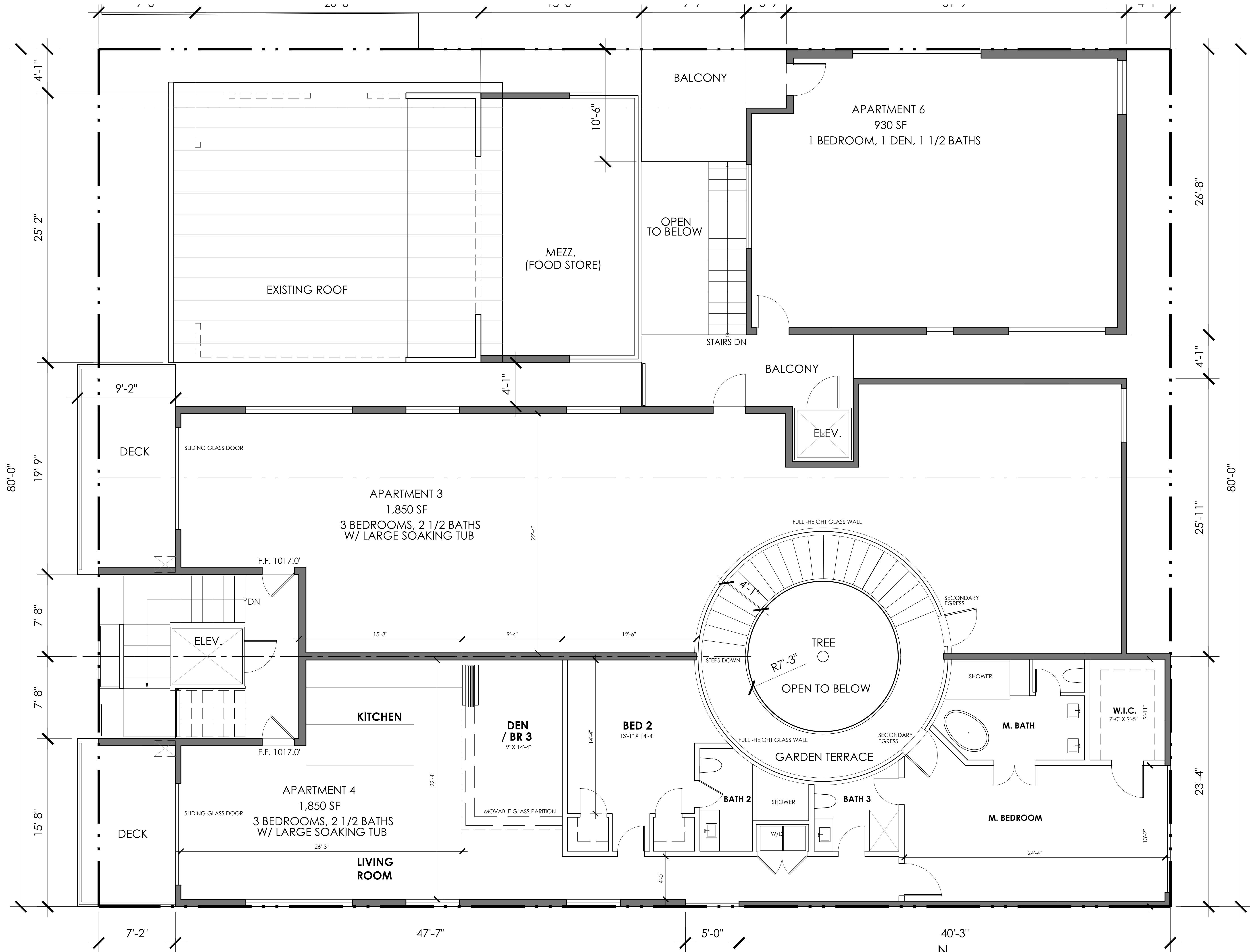
GROUND FLOOR PLAN

6-21-2019

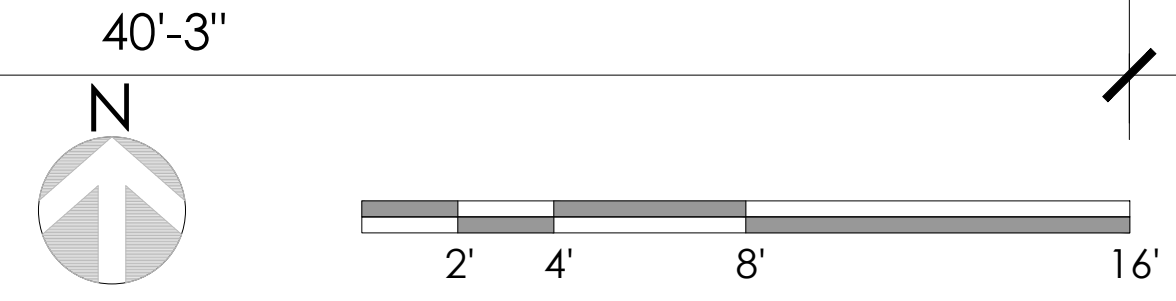
SCALE: 1/4" = 1'

A2.1

PRELIMINARY NOT FOR CONSTRUCTION



1 PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



DRAWING REVISION LOG		
REVISION #1	7-16-2019	
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ODIN HOLDINGS, INC.
BLOCK : 91, LOTS 6,8 APN: 010-145-023, -024
CARMEL-BY-THE-SEA, CALIFORNIA

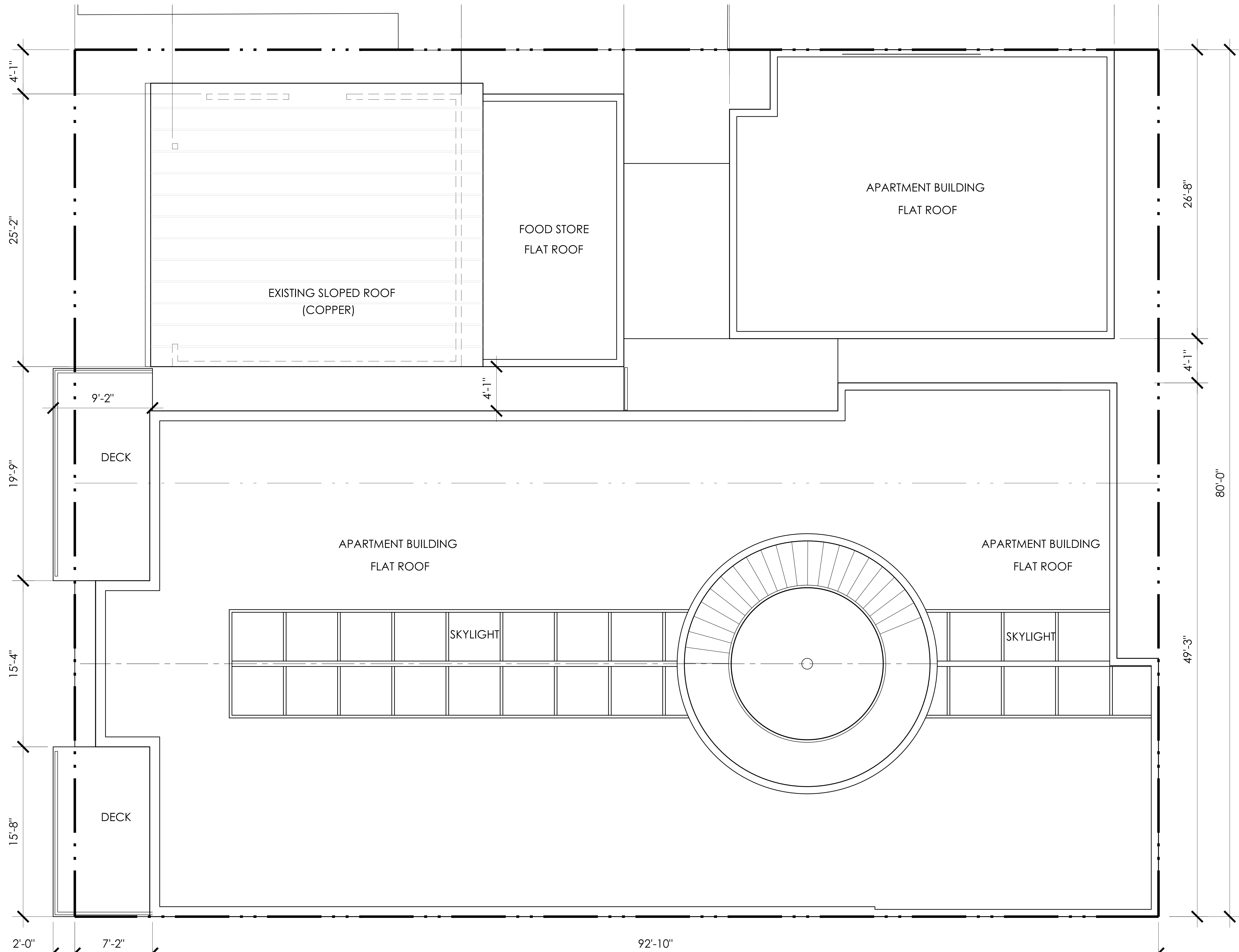
UPPER FLOOR PLAN

6-21-2019

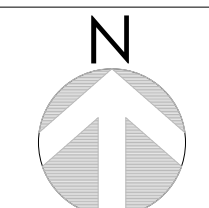
SCALE: 1/4" = 1'

A2.2

PRELIMINARY NOT FOR CONSTRUCTION



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



PRELIMINARY NOT FOR CONSTRUCTION

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ODIN HOLDINGS, INC.
BLOCK : 91, LOTS 6,8 APN: 010-145-023, -024
CARMEL-BY-THE-SEA, CALIFORNIA

ROOF PLAN

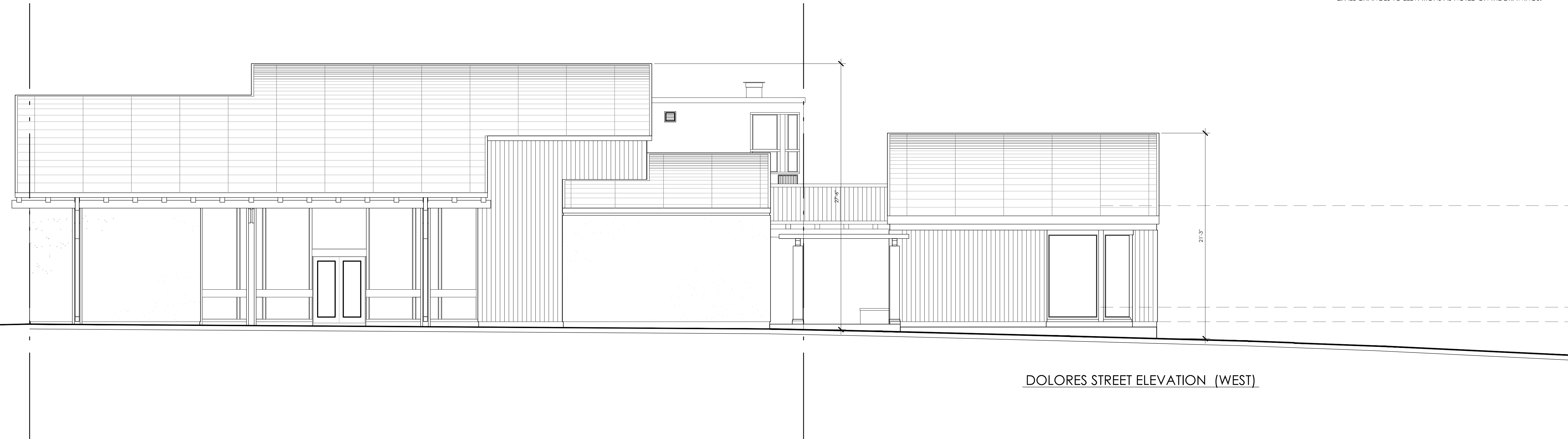
6-21-2019

SCALE: 1/4" = 1'

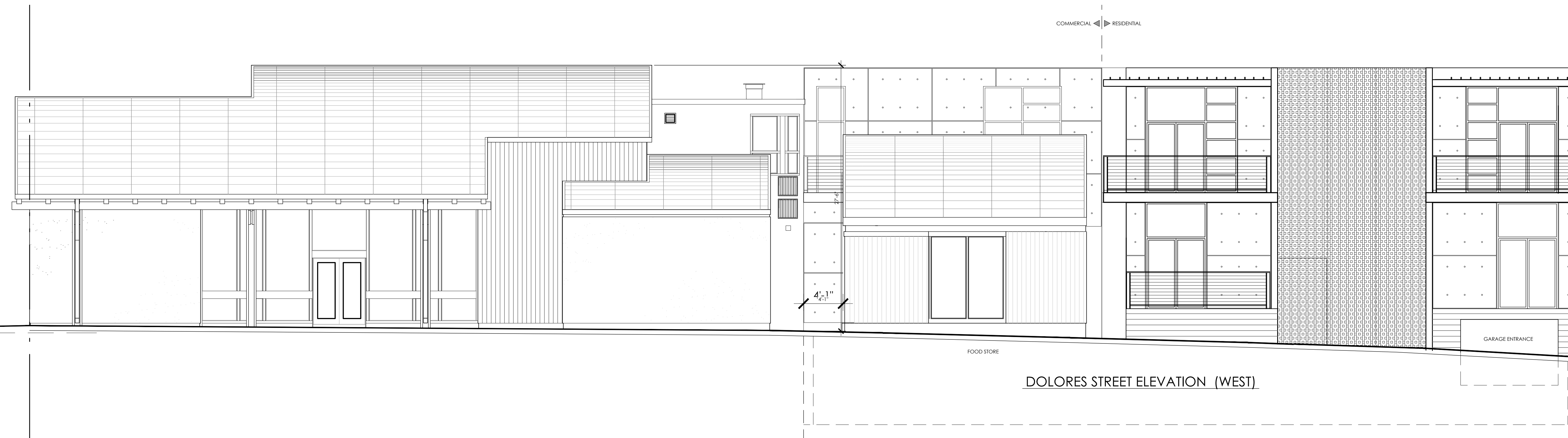
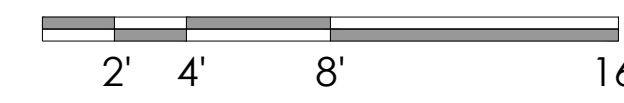
A2.3

EXTERIOR ELEVATION NOTES

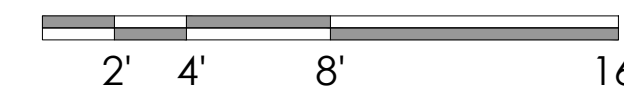
- 1. ALL EXISTING EXTERIOR MATERIALS AND FINISHES TO REMAIN.
- 2. ALL CHANGES TO ELEVATIONS AS NOTED ON THE DRAWINGS.



1 EXISTING DOLORES STREET ELEVATION
SCALE: 3/16" = 1'-0"

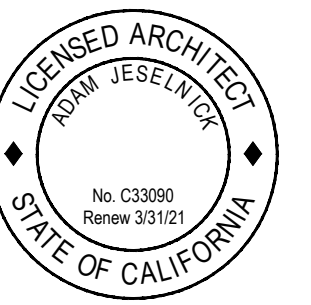


2 PROPOSED DOLORES STREET ELEVATION
SCALE: 3/16" = 1'-0"



PRELIMINARY NOT FOR CONSTRUCTION

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ARCHITECT



ODIN HOLDINGS, INC.
BLOCK : 91, LOTS 6,8 APN: 010-145-023, -024
CARMEL-BY-THE-SEA, CALIFORNIA

STREET ELEVATIONS

6-21-2019

3/16" = 1'-0"

A3.1

COLOR AND MATERIAL SAMPLES FOR
 ODIN HOLDINGS, INC.
 BLOCK : 91, LOTS 6,8 APN: 010-145-023, -024
 CARMEL-BY-THE-SEA, CALIFORNIA

"CARMELIZED"



BUILDING EXTERIOR WALLS-NEW
 FORMED IN PLACE CONCRETE



BUILDING EXTERIOR WALLS-EXISTING
 NATURAL PATINA REDWOOD SIDING



BUILDING EXTERIOR-METAL ACCENTS
 WEATHERED COPPER



BUILDING EXTERIOR WALLS-NEW
 BOARD-FORMED CONCRETE



BUILDING DOORS AND WINDOWS
 BLACK STEEL



EXTERIOR RAILINGS
 BLACK STEEL

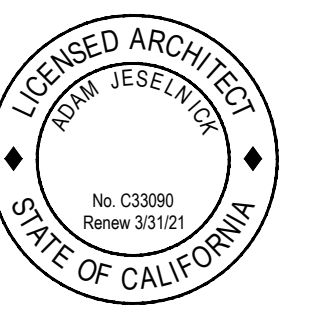


BUILDING ROOF-EXISTING
 WEATHERED COPPER

COLOR AND MATERIAL SAMPLES

1. ALL EXISTING EXTERIOR MATERIALS AND FINISHES ON SMALL BUILDING #2 TO REMAIN.
2. ALL CHANGES TO ELEVATIONS AS NOTED ON THE DRAWINGS.

ADAM JESELNICK
 ARCHITECT



ODIN HOLDINGS, INC.
 BLOCK : 91, LOTS 6,8 APN: 010-145-023, -024
 CARMEL-BY-THE-SEA, CALIFORNIA

COLOR AND MATERIALS

6-21-2019

AS NOTED

A3.2

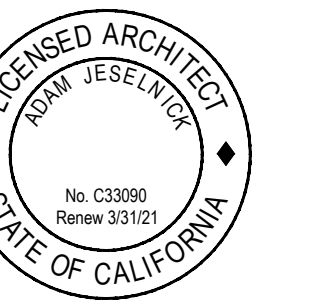
PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED RENDERINGS FOR
ODIN HOLDINGS, INC.
BLOCK : 91, LOTS 6,8 APN: 010-145-023, -024
CARMEL-BY-THE-SEA, CALIFORNIA

"CARMELIZED"



ADAM JESELNICK
ARCHITECT



ODIN HOLDINGS, INC.
BLOCK : 91, LOTS 6,8 APN: 010-145-023, -024
CARMEL-BY-THE-SEA, CALIFORNIA

PRELIMINARY NOT FOR CONSTRUCTION

RENDERINGS

6-21-2019

AS NOTED

A3.3