

NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 25140

Owner Name: Reno and Margie Cruz

Case Planner: Jacob Olander, Associate Planner
Date Posted:
Date Approved:
Project Location: Monte Verde 3 NW of 11th Carmel-By-The-Sea CA 93921
APN #: 010185007000 BLOCK/LOT: E/13
Applicant: Franshisca Delgado
Project Description: This approval of Design Study (DS 25140 (Cruz)) authorizes amendments to existing Design Study Approval (DS 23-298) for alterations to an existing single-family residence located on Monte Verde 3 NW of 11th Avenue in the Single Family Residential (R-1) District. The modifications approved under this Design Study include: • New color for the siding of the house • New location of electrical panel • Changes in site coverage Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the application materials dated approved by Community Planning & Building Department on June 19, 2025, unless modified by the conditions of approval contained herein.

Upon completion of the 10 calendar-day appeal period, please return this form, along with the

No 🗸

Can this project be appealed to the Coastal Commission? Yes

Affidavit of Posting, to the case planner noted above.



FINDINGS AND CONDITIONS

Project: DS 25140 (Cruz)

Location: Monte Verde 3 NW of 11th Avenue; 010-185-007-000

Date of Action: June 19, 2025

Project Description:

DS 25140 (Cruz) authorizes amendments to previously approved Design Study Applications (DS 23-298 (Cruz)) located at Monte Verde 3 NW of 11th Avenue in the Single-Family (R-1) District. APN: 010-185-007-000

The proposed changes include:

- New color for the siding of the house
- New location of electrical panel
- Changes in site coverage

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL

The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.

For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate staff's decision making. Findings checked "yes" may or may not be discussed depending on the issue(s).

YES	NO
✓	
√	
√	
_	YES ✓ ✓

Additional Staff Analysis/Discussion:

No additional analysis needed.

ENVIRONMENTAL REVIEW

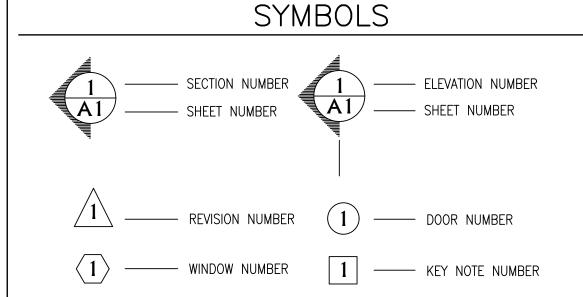
The California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, et seq., the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.

Finding: The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15303 (Class 3) – New Construction and Conversion of Small Structures, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.

Additional Staff Analysis/Discussion: The project consists of an amendment to a previously approved Design Study (DS 23-298) for changes in paint for the siding, location change of the electrical panel, and site coverage changes. The amendment is for work on a new single-family residence that is currently under construction. The new single-family dwelling, project number DS 23-298 was Categorically Exempt under Class 3, New Construction or Conversion of Small Structures, by the Planning Commission (Resolution 2023-54-PC). The proposed changes to amend the initial approval do not alter or change the project scope to construct a new single-family dwelling.

		CONDITIONS OF APPROVAL	
No.			
1.	Study Approval (DS 23-298)	ol of Design Study (DS 25140 (Cruz)) author for alterations to an existing single-family Single Family Residential (R-1) District. The	residence located on Monte Verde 3
	New color for the siNew location of electionChanges in site cover	ctrical panel	
	the application materials da	ted in this authorization are not permitted ted approved by Community Planning & B itions of approval contained herein.	
2.	zoning district. All adopted be any codes or ordinances requ	project shall be constructed in conformational puilding and fire codes shall be adhered to uire design elements to be changed, or if a ed, such changes may require additional expartment.	in preparing the working drawings. If ny other changes are requested at the
3.		al shall be valid for a period of one year froud of one year froud and maintained for the proposed cons	
4.	the City, its public officials, or any expense incurred, result claim, suit, or other legal pro promptly notify the applican at its sole discretion, participany obligation under this co	ant agrees, at his or her sole expense, to efficers, employees, and assigns, from any licing from, or in connection with any project occeding, to attack, set aside, void, or annut of any legal proceeding, and shall cooper pate in any such legal action, but participal ndition. Should any party bring any legal action, of Monterey, California, shall be too be the parties hereto.	ability; and shall reimburse the City for ct approvals. This includes any appeal, and any project approval. The City shall rate fully in the defense. The City may, ation shall not relieve the applicant of action in connection with this project,
5.	Planning and Building Depar signed conditions shall also	nese Conditions of Approval shall be sign tment prior to the issuance of a Building P be printed on a full-size plan sheet in the or Design Study Applications.	Permit/Building Permit Revision. These
6.		quired. Prior to commencing work on-site, to the community Planning & Building De	
7.	apply to this approval unles previous approval remains in	II. All conditions of approval of the previous se expressly otherwise noted within these or full force and effect unless otherwise model.	Conditions of Approval. Further, the
Acknov	vledgement and acceptance o	f conditions of approval:	
Proper	ty Owner Signature	Printed Name	Date
Applica	int Signature	Printed Name	 Date

@#ACDDFG WARDLAND PHACE AND ARCH WARDLAND PHACE AND AR	AT NUMBER ANCHOR BOLTS ASPHALTIC CONCRETE ADDITIONAL ABOVE FINISH FLOOR AGGREGATE ALTERNATE ALUMINUM APPROXIMATE ARCHITECTURAL BUILDING BLOCK BLOCKING BEAM BOUNDARY NAILING BOTTOM OF CONCRETE BOTTOM OF FOOTING BOTTOM PUNCH BEARING BEARING PLATE BETWEEN CRACK CONTROL JOINT CENTER TO CENTER CAST IN PLACE CONSTRUCTION JOINT CENTER CENTER LINE CEILING CLEAR CONCRETE MASONRY UNIT COUMN CONCRETE CONNECTION JOINT CONTINUOUS COUNTER SINK DOUBLE DEPRESSED DOUGLAS FIR DIAMETER DIAGONAL DIMENSION DOWN DRAWING EXISTING EACH EACH FACE EDGE NAIL ING	EW EJ ELOS EXP B EXT FF G EXP FND FOCK (*) FOCK GALV GLWB HORE HORE HORE HORE HORE HORE HORE HORE	EACH WAY EXPANSION JOINT ELEVATION EDGE OF SLAB EQUAL EXPANSION BOLT EXTERIOR FINISH FLOOR FINISH FLOOR FINISH GRADE FLAT HEAD WOOD SCREW FIELD NAILING FOUNDATION FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FOOT/FEET FOOTING GAUGE GALVANIZED GLUE LAMINATED LUMBER GYPSUM WALL BOARD HEADER HOOK HORIZONTAL HIGH STRENGTH BOLT INSIDE DIAMETER INCH INTERIOR JOIST JOINT JOIST HANGER LONG LEG HORIZONTAL LAG SCREW LIGHT WEIGHT LONG LIGHT WEIGHT LONG LIGHT WEIGHT CONCRETE MAXIMUM MACHINE BOLT MASONRY CONTROL JOINT MECHANICAL MEZZANINE MINIMUM MISCELLANEOUS MALLEABLE IRON WASHER METAL NOT IN CONTRACT NOMINAL	NTS) OOD OPH COUNTY READ PLUF PLUF PREAD READ SIM HV SSQ SSTLLS SYM 4 TEN HC TOS ST TEN TOS	NOT TO SCALE NEW ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE HAND PRECAST CONCRETE PERPENDICULAR PLATE PLYWOOD POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED RADIUS REINFORCING REQUIRED SEE ARCHITECTURAL DRAWINGS SIMILAR SHRINKAGE JOINT SHORT LEG HORIZONTAL SHORT LEG VERTICAL SHEET METAL SLAB ON GRADE SQUARE STAINLESS STEEL STANDARD STEEL SHEAR WALL SCHEDULE SYMMETRICAL TITLE 24 CALIFORNIA CODE TYPICAL EDGE NAILING THICK TOP OF CONCRETE TOP OF FOOTING TOP OF SLAB TOP OF STEEL TOP OF WALL TUBE STEEL TYPICAL TOP AND BOTTOM TOE NAIL UNDISTURBED NATURAL GRADE UNLESS OTHERWISE NOTED WELDED WIRE FABRIC WITH
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PROVIDE A COPY OF THE **OPERATION & MAINTENANCE** MANUAL TO HOME OWNERS

At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

- 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following: A. Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
- B. Roof and yard drainage, including gutters and downspouts. C. Space conditioning systems, including condensers and air
- D. Landscape irrigation systems. E. Water reuse systems.
- 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- 4. Public transportation and/or carpool options available in the
- 5. Educational material on the positive impacts of an interior relative humidity between 30 & 60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation
- design and controllers which conserve water . Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- 9. Information about state solar energy and incentive programs
- 10. A copy of all special inspection verifications required by the enforcing agency or this code.

SHEET INDEX

ARCHITECTRAL

- A1.0 COVER SHEET & GENERAL NOTES
- A1.1 SITE PLAN EXISTING
- A1.2 SITE PLAN PROPOSED
- A1.3 TOPOGRAPHIC SITE SURVEY
- A1.4 TRAFFIC CONTROL PLAN & TRUCK ROUTE A1.5 2022 GREEN BUILDING STANDARDS CODES
- A1.6 2022 GREEN BUILDING STANDARDS CODES A1.6 CONSTRUCTION BEST MANAGEMENT PLAN (BMPs)
- A1.8 OMITTED
- A1.9 OMITTED
- A1.10 CONDITIONS OF APPROVAL A1.11 CONDITIONS OF APPROVAL
- A2.0 TAKEDOWN & REBUILD PLAN
- A3.0 FLOOR PLAN (PROPOSED) A4.0 ELEVATIONS (PROPOSED)
- A5.0 CARPORT ELEVATIONS AND ROOF PLAN (PROPOSED)
- A6.0 REFLECTED CEILING MAIN FLOOR PLAN
- (PROPOSED) A7.0 WINDOW & DOOR SCHEDULE (PROPOSED)

MECHANICAL ENGINEER:

CARMEL, CA. 93923 TEL. (831) 372-8328 FAX. (831) 359-4173

26465 CARMEL RANCHO BLVD. Suite 8

DESIGN:

CLAUDIO ORTIZ DESIGN GROUP INC.

26615 CARMEL CENTER PLACE #102

CARMEL, CA. 93921

CARMEL, CA. 93921

COA CHRIS OLIVAERA & ASSOCIATES MONTEREY ENERGY GROUP

THIS PROJECT SHALL COMPLY WITH THE

2022 CALIFORNIA RESIDENTIAL CODE

2022 CALIFORNIA PLUMBING CODE

2022 CALIFORNIA ELECTRICAL CODE

2022 CALIFORNIA MECHANICAL CODE

2022 CALIFORNIA GREEN BUILDING STANDARD

. All construction, workmanship and materials shall conform with

the requirements of the 2022 California Code Edition, and the

2. The contractor shall verify all dimensions, elevations and site

. CODG, Inc. and Engineer shall be notified of any omissions or

discrepancies in the working drawing and/or specifications

4. All dimensions take precedence over scale shown on plans,

5. Specific notes and details take precedence over structural

details for similar conditions, unless conflicts occur.

6. Where specific details are not provided, construction can follow

The contractor shall be responsible for the design, installation

9. See architectural drawings for the size and location of all door

floor elevations, roof slopes, architectural finishes, and other

related information not indicated on the structural drawings.

and window openings, location of nonbearing partitions, roof an

See mechanical, electrical and/or architectural drawing for the

size and location of pipes, conduits, floor drains, vents, ducts,

and other similar penetrations not indicated on the structural

. Fire Sprinklers- Provide Sprinkler Drawings to the Fire Marshal

Especial Inspection required for epoxy set anchor bolts.

and maintenance of all bracing and shoring required during

. Job site safety is the sole responsibility of the contractor.

conditions and shall become completely familiar with the

construction documents prior to starting construction.

before proceeding with any work so involved.

construction until all construction is finalized.

for Review & Approval prior to installation.

NO SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT.

2022 CALIFORNIA ENERGY CODE

Carmel by the Sea municipal code.

2022 CALIFORNIA FIRE CODE

PROJECT TEAM

TEL. (831) 626-4146

HILLS, CA. 95762 TEL.

CHRIS0602@SBCGLOBAL.NET

GENERAL NOTES

FOLLOWING CODES:

sections and details.

drawings.

notes and typical details.

. EPOXY and ANCHOR BOLTS:

SPECIAL INSPECTIONS

916)-835-6073

STRUCTURAL ENGINEER:

2201 FRANSISCO DR EL DORADO

- A8.0 SECTIONS (PROPOSED)
- A8.1 SECTIONS (PROPOSED)
- A9.0 ARCHITECTURAL DETAILS (PROPOSED)
- DETAILS TYPICAL
- A9.2 DETAILS TYPICAL
- A9.3 WINDOW DETAILS TYPICAL
- A9.4 DOOR DETAILS TYPICAL
- A9.5 ROOF DETAILS TYPICAL A9.6 DETAILS TYPICAL
- A10.0 STAIRS DETAILS (PROPOSED)
 A11.0 FIREPLACE DETAILS (PROPOSED)
 A12.0 MATERIALS (PROPOSED)
 A12.1 MATERIALS (PROPOSED)

ELECTRICAL

- E1.0 ELECTRICAL NOTES
- E1.1 MAIN LEVEL ELECTRICAL PLAN

LANDSCAPE

L1 LANDSCAPE PLAN (PROPOSED)

CIVIL PLANS

- C1 COVER & GENERAL NOTES GRADING & DRAINAGE PLAN
- UTILITY PLAN
- SECTIONS & DETAILS
- EROSION CONTROL PLAN
- C6 CONSTRUCTION BEST MANAGEMENT PRACTICES

MECHANICAL & PLUMBING

- T24-1 ENERGY COMPLIANCE T24-2 ENERGY COMPLIANCE
- T24-3 ENERGY COMPLIANCE

STRUCTURAL

- FOUNDATION PLAN
- ROOF FRAMING PLAN
- S3 SHEAR WALL PLAN
- CARPORT PLAN
- **SPECIFICATIONS** FOUNDATION DETAILS
- FRAMING DETAILS
- CARPORT DETAILS

CONTRACTOR NOTES

- CONTRACTOR SHALL OBTAON A 8-1-1/DIG ALERT TICKET PRIOR RO PERMIT ISSUANCE AND THE TICKET SHALL BE KEPT ACTIVE THROUGHOUT THE PROJECT AND SHALL BE ON-SITE AT ALL INSPECTIONS.
- A STATE LICENSED SURVEYOR SHALL CERTIFY THAT THE LOCATION OF THE NEW FOUNDATION ELEMENTS IS IN CONFORMANCE WITH THE APPROVED PLANS PRIOR TO FOOTING INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN CONFORMANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. WRITTEN CERTIFICATIONS SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF INSPECTION
- "TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY PROPERTIES, CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHIEVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT."
- ALL NEW CONSTRUCTION INVOLVING EXCAVATION SHALL IMMEDIATELY CEASE IF CULTURAL RESOURCES ARE DISCOVERED ON THE SITE, AND THE APPLICANT SHALL NOTIFY THE COMMUNITY PLANNING & BUILDING DEPARTMENT WITHIN 24 HOURS. WORK' SHALL NOT BE PERMITTED TO RECOMMENCE UNTIL SUCH RESOURCES ARE PROPERLY EVALUATED FOR SIGNIFICANCE BY A QUALIFIED ARCHAEOLOGIST. IF THE RESOURCES ARE DETERMINED TO BE SIGNIFICANT, PRIOR TO RESUMPTION OF WORK, A MITIGATION AND MONITORING PLAN SHALL BE PREPARED BY A QUALIFIED ARCHAEOLOGIST AND REVIEWED AND APPROVED BY THE COMMUNITY PLANNING AND BUILDING DIRECTOR. IN ADDITION. IF HUMAN REMAINS ARE UNEARTHED DURING EXCAVATION. NO FURTHER DISTURBANCE SHALL OCCUR UNTIL THE COUNTY CORONER HAS MADE THE NECESSARY FINDINGS AS TO ORIGIN AND DISTRIBUTION PURSUANT TO CALIFORNIA PUBLIC RESOURCES CODE (PRC) SECTION 5097.98

OVERHEAD ELECTRICAL TO BE PROVIDED UNDERGROUND TO MAIN ELECTRICAL PANEL.

Cruz Residence

Single Family Residence Remodel CARMEL-BY-THE-SEA, California

EAST ELEVATION

EXISTING

0.0 SQ.FT.

0.0 SQ.FT.

0.0 SQ.FT

396.0 SQ.FT.

160.0 SQ.FT.

556.0 SQ.FT.

EXISTING

116.2 SQ.FT.

0.0 SQ.FT.

0.0 SQ.FT.

11.2 SQ.FT.

0.0 SQ.FT.

0.0 SQ.FT.

0.0 SQ.FT

0.0 SQ.FT.

0.0 SQ.FT

141.5 SQ.FT

292.0 SQ.FT.

0.0 SQ.FT.

0.0 SQ.FT.

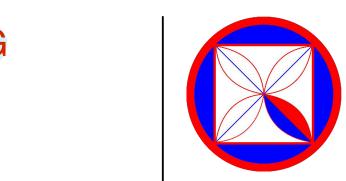
433.5 SQ.FT.

560.9 SQ.FT.

1,029.5 SQ.FT.

A.P.N. 010-185-007-000

REVISED PLANNING SUBMITTAL 5/14/25



SCOPE OF WORK

VICINITY MAP NOT TO SCALE

PROJECT INFORMATION

LOT SIZE

STORIES:

LEGAL DESCRIPTION

SETBACKS (MIN. ALLOWED)

HEIGHT (MAX. ALLOWED)

A.P.N.

1,800.0 SQ.FT. 45.0%

22.0% of F.A.R.

4.0% of SITE

13.9 %

PROPOSED

0.0 SQ.FT.

0.0 SQ.FT.

21.8 SQ.FT.

0.0 SQ.FT.

71.4 SQ.FT.

16.0 SQ.FT.

6.1 SQ.FT.

12.0 SQ.FT.

16.0 SQ.FT

0.0 SQ.FT.

280.6 SQ.FT.

30.3 SQ.FT.

101.5 SQ.FT.

|14.0 % | 555.7 SQ.FT. |13.8 % |

440.4 SQ.FT. |11.0 %|

127.4 SQ.FT. | 3.2 % | 115.3 SQ.FT. | 2.8 % |

10.8 %

PROPOSED

1,029.5 SQ.FT.

-28.8 SQ.FT.

599.3 SQ.FT.

200.0 SQ.FT.

1,029.5 SQ.FT. | 25.7% | 1,800.0 SQ.FT. | 45.0%

REMODEL AN EXISTING ONE-STORY SINGLE-FAMILY DWELLING WITH A NEW ONE-STORY ADDITION, NEW SIDING, NEW WINDOWS AND DOORS. NEW ONE-CAR DETACHED CARPORT.

4,000.0 S.F.

010-185-007-000 BLOCK: E LOT: 13

FT ONE STORY

FRONT: 15.0 FT, SIDE: 3.0 FT, REAR: 15.0 FT TWO STORY & 3.0

THE REAR YARD.

SITE LOCATION 3 5 7 9 11 13 1 3 5 7 9 11 13 15 17 19 21 23 25 5 17 19 1 3 5 7 9 11 13 1 3 5 7 9 11 13 15 17 19 21 23 25 D | | 4 6 8 10 12 14 16 18 20 2 2 4 6 8 10 12 14 16 18 20 2 2 24 26 2 4 6 8 10 12 14 16 2 4 6 8 10 12 14 16 18 20 2 4 6 8 10 12 14 16 18 20 2 2 4 6 8 10 12 14 16 18 20 2 2 4 6 8 10 12 14 2 4 6 8 10 12 14 16 18 20 22 24 26 2 4 6 8 10 12 14 16 18 20 2 4 6 8 10 12 14 16 18 20 2 4 6 8 10 12 14 16 18 20 2 4 6 8 10 12 14 16 18 20

INTERIOR REMODEL REPLACING EXISTING MATERIALS AND MODIFYING WALLS.

4. TREE REMOVAL: ONE DEAD TREE REMOVAL, ONE STUMP REMOVAL ON THE FRONT YARD, AND TWO SMALL TREES ON

ADDRESS IDENTIFICATION NOTE

. Buildings shall be provided with approved address identification. This identification shall be leaible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be all Arabic numbers or alphabetic letters. Numbers shall not be spelled out. Each character shall not be less than 4 inches in height with a stroke width of not less than 0.5 inch. Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

DEFERRED SUBMITTALS

PROJECT DATA

FLOOR AREA

MAIN DWELLING FLOOR AREA

TOTAL (P) GROSS FLOOR AREA:

MAIN DWELLING DEDUCTION

MAIN DWELLING ADDITION

DETACHED CARPORT

SITE COVERAGE

LAND COVERAGE ALLOWED

TOTAL COVERAGE ALLOWED

IMPERVIOUS COVERAGE

SOUTH WALKWAY

RET. WALL STEPS

ENTRY WALKWAY

PERVIOUS COVERAGE

ENTRY WALKWAY

SOUTH DECK

WEST DECK

WEST PATIO

TOTAL COVERAGE

ENTRY STONE COLUMNS

TOTAL IMPERVIOUS COVERAGE

TOTAL PERVIOUS COVERAGE

GARAGE STOOP

ENTRY PORCH

STOOPS

STOOPS

DRIVEWAY

BONUS SITE COVERAGE

FAR ALLOWED

PROPOSED

DEFERRED SUBMITTALS SHALL BE REVIEWED AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO BEGINNING WORK. THE FOLLOWING TRADES ARE DEFERRED:

FIRE SPRINKLER CONTRACTOR TO SUBMIT FIRE SPRINKLER LAYOUT PLAN TO THE FIRE MARSHALL "PRIOR TO BEGINNING INSTALLATION OF THE DEFERRED ELEMENT".

2. PLUMBING CONTRACTOR TO SUBMIT, DETAILS AND LINE DIAGRAM LAYOUT PLAN TO BUILDING DEPT. "DEFERRED SUBMITTAL SHALL BE APPROVED PRIOR TO BEGINNING THE

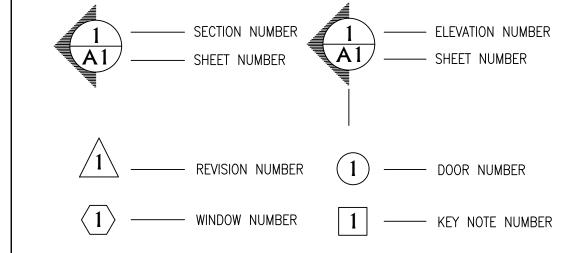
MECHANICAL DIAGRAM AND LAYOUT PLAN TO THE BUILDING DEPT. "DEFERRED SUBMITTAL SHALL BE APPROVED PRIOR TO BEGINNING THE WORK".

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SCALE: 1' = 1/4"

SYMBOLS



PROVIDE A COPY OF THE OPERATION & MAINTENANCE MANUAL TO HOME OWNERS

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- A1.0 COVER SHEET & GENERAL NOTES
- A1.1 SITE PLAN EXISTING
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- TOPOGRAPHIC SITE SURVEY TRAFFIC CONTROL PLAN & TRUCK ROUTE
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- A6.0 REFLECTED CEILING MAIN FLOOR PLAN (PROPOSED)
- A7.0 WINDOW & DOOR SCHEDULE (PROPOSED)
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 FIREPLACE DETAILS (PROPOSED)
- MATERIALS (PROPOSED) A12.1 MATERIALS (PROPOSED)

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E1.0 ELECTRICAL NOTES

E1.1 MAIN LEVEL ELECTRICAL PLAN

LANDSCAPE

L1 LANDSCAPE PLAN (PROPOSED)

CIVIL PLANS

- COVER & GENERAL NOTES C2 GRADING & DRAINAGE PLAN
- UTILITY PLAN
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 - CONSTRUCTION BEST MANAGEMENT PRACTICES

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- CONTRACTOR SHALL OBTAON A 8-1-1/DIG ALERT TICKET PRIOR RO PERMIT ISSUANCE AND THE TICKET SHALL BE KEPT ACTIVE THROUGHOUT THE PROJECT AND SHALL BE ON-SITE AT ALL INSPECTIONS.
- A STATE LICENSED SURVEYOR SHALL CERTIFY THAT THE LOCATION OF THE NEW FOUNDATION ELEMENTS IS IN CONFORMANCE WITH THE APPROVED PLANS PRIOR TO FOOTING INSPECTION: AND SHALL CERTIFY THE ROOF HEIGHT IS IN CONFORMANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. WRITTEN CERTIFICATIONS SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF INSPECTION
- "TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY PROPERTIES. CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHIEVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR
- ALL NEW CONSTRUCTION INVOLVING EXCAVATION SHALL IMMEDIATELY CEASE IF CULTURAL RESOURCES ARE DISCOVERED ON THE SITE, AND THE APPLICANT SHALL NOTIFY THE COMMUNITY PLANNING & BUILDING DEPARTMENT WITHIN 24 HOURS. WORK SHALL NOT BE PERMITTED TO RECOMMENCE UNTIL SUCH RESOURCES ARE PROPERLY EVALUATED FOR SIGNIFICANCE BY A QUALIFIED ARCHAEOLOGIST. IF THE RESOURCES ARE DETERMINED TO BE SIGNIFICANT, PRIOR TO RESUMPTION OF WORK, A MITIGATION AND MONITORING PLAN SHALL BE PREPARED BY A QUALIFIED ARCHAEOLOGIST AND REVIEWED AND APPROVED BY THE COMMUNITY PLANNING AND BUILDING DIRECTOR. IN ADDITION, IF HUMAN REMAINS ARE UNEARTHED DURING EXCAVATION, NO FURTHER DISTURBANCE SHALL OCCUR UNTIL THE COUNTY CORONER HAS MADE THE NECESSARY FINDINGS AS TO ORIGIN AND DISTRIBUTION PURSUANT TO CALIFORNIA PUBLIC RESOURCES CODE (PRC) SECTION 5097.98

OVERHEAD ELECTRICAL TO BE PROVIDED UNDERGROUND TO MAIN ELECTRICAL PANÉL.

Cruz Residence

Single Family Residence Remodel CARMEL-BY-THE-SEA, California

A.P.N. 010-185-007-000



EAST ELEVATION

PROJECT TEAM

CLAUDIO ORTIZ DESIGN GROUP INC. RENO CRUZ 26615 CARMEL CENTER PLACE #102 MONTE VERDE 3 NW OF 11TH CARMEL, CA. 93923 TEL. (831) 626-4146

STRUCTURAL ENGINEER: 2201 FRANSISCO DR EL DORADO

MECHANICAL ENGINEER: COA CHRIS OLIVAERA & ASSOCIATES MONTEREY ENERGY GROUP CARMEL, CA. 93923

OWNER:

HILLS, CA. 95762 TEL. 916)-835-6073 CHRIS0602@SBCGLOBAL.NET

26465 CARMEL RANCHO BLVD. Suite 8 TEL. (831) 372-8328 FAX. (831) 359-4173

GENERAL NOTES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA GREEN BUILDING STANDARD
- . All construction, workmanship and materials shall conform with the requirements of the 2022 California Code Edition, and the Carmel by the Sea municipal code.
- 2. The contractor shall verify all dimensions, elevations and site conditions and shall become completely familiar with the construction documents prior to starting construction.
- . CODG, Inc. and Engineer shall be notified of any omissions or discrepancies in the working drawing and/or specifications before proceeding with any work so involved.
- 4. All dimensions take precedence over scale shown on plans, sections and details.
- 5. Specific notes and details take precedence over structural notes and typical details. 5. Where specific details are not provided, construction can follow
- details for similar conditions, unless conflicts occur. The contractor shall be responsible for the design, installation and maintenance of all bracing and shoring required during construction until all construction is finalized.
- Job site safety is the sole responsibility of the contractor. 9. See architectural drawings for the size and location of all door and window openings, location of nonbearing partitions, roof an floor elevations, roof slopes, architectural finishes, and other related information not indicated on the structural drawings.
- See mechanical, electrical and/or architectural drawing for the size and location of pipes, conduits, floor drains, vents, ducts, and other similar penetrations not indicated on the structural Fire Sprinklers- Provide Sprinkler Drawings to the Fire Marshal

- for Review & Approval prior to installation. EPOXY and ANCHOR BOLTS:
- Especial Inspection required for epoxy set anchor bolts.

SPECIAL INSPECTIONS

NO SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT.

PROJECT DATA

FLOOR AREA

	0 0 1				
	FAR ALLOWED 1,800.0 SQ.FT.				
PROPOSED		EXISTING		PROPOSED	
	MAIN DWELLING FLOOR AREA	1,029.5 SQ.FT.		1,029.5 SQ.FT.	
	MAIN DWELLING DEDUCTION	0.0 SQ.FT.		-28.8 SQ.FT.	
	MAIN DWELLING ADDITION	0.0 SQ.FT.		599.3 SQ.FT.	
	DETACHED CARPORT	0.0 SQ.FT.		200.0 SQ.FT.	
	TOTAL (P) GROSS FLOOR AREA:	1,029.5 SQ.FT.	25.7%	1,800.0 SQ.FT.	45.0%

SITE COVERAGE				
LAND COVERAGE ALLOWED	396.0 SQ.FT.		22.0% of F.	A.R.
BONUS SITE COVERAGE	160.0 SQ.FT.		4.0% of SI	TE
TOTAL COVERAGE ALLOWED	556.0 SQ.FT.		13.9 %	
	EXISTING		PROPOSED	
IMPERVIOUS COVERAGE SOUTH WALKWAY RET. WALL STEPS ENTRY PORCH STOOPS	116.2 SQ.FT. 0.0 SQ.FT. 0.0 SQ.FT. 11.2 SQ.FT.		0.0 SQ.FT. 6.0 SQ.FT. 21.8 SQ.FT. 23.5 SQ.FT.	
TOTAL IMPERVIOUS COVERAGE	127.4 SQ.FT.	3.2 %	51.3 SQ.FT.	1.3 %
PERVIOUS COVERAGE DRIVEWAY ENTRY WALKWAY SOUTH DECK WEST DECK WEST PATIO	0.0 SQ.FT 141.5 SQ.FT. 292.0 SQ.FT. 0.0 SQ.FT. 0.0 SQ.FT.		16.0 SQ.FT 60.6 SQ.FT. 257.8 SQ.FT. 30.3 SQ.FT. 122.0 SQ.FT.	
TOTAL PERVIOUS COVERAGE	433.5 SQ.FT.	10.8 %	486.7 SQ.FT.	12.2 %
TOTAL COVERAGE	560.9 SQ.FT.	14.0 %	538.0 SQ.FT.	13.5 %

ADDRESS IDENTIFICATION NOTE

I. Buildings shall be provided with approved address identification. This identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be all Arabic numbers or alphabetic letters. Numbers shall not be spelled out. Each character shall not be less than 4 inches in height with a stroke width of not less than 0.5 inch. Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS SHALL BE REVIEWED AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO BEGINNING WORK. THE FOLLOWING TRADES ARE DEFERRED:

- FIRE SPRINKLER CONTRACTOR TO SUBMIT FIRE SPRINKLER LAYOUT PLAN TO THE FIRE MARSHALL "PRIOR TO BEGINNING INSTALLATION OF THE DEFERRED ELEMENT".
- PLUMBING CONTRACTOR TO SUBMIT, DETAILS AND LINE DIAGRAM LAYOUT PLAN TO BUILDING DEPT. "DEFERRED SUBMITTAL SHALL BE APPROVED PRIOR TO BEGINNING THE
- MECHANICAL DIAGRAM AND LAYOUT PLAN TO THE BUILDING DEPT. "DEFERRED SUBMITTAL SHALL BE APPROVED PRIOR TO BEGINNING THE WORK".

PROJECT INFORMATION

LOT SIZE	4,000.0 S.F.
A.P.N.	010-185-007-000
LEGAL DESCRIPTION	BLOCK: E LOT: 13
ZONING	R-1

FRONT: 15.0 FT, SIDE: 3.0 FT, SETBACKS (MIN. ALLOWED) REAR: 15.0 FT TWO STORY & 3.0 FT ONE STORY

PREVIOUSLY APPROVED

PLANS

240022 RV0(1 7) §

REVISIONS:

HEIGHT (MAX. ALLOWED) ONE

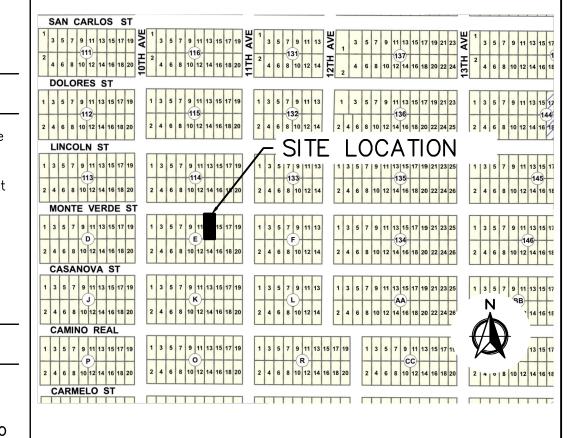
SCOPE OF WORK

STORIES:

REMODEL AN EXISTING ONE-STORY SINGLE-FAMILY DWELLING WITH A NEW ONE-STORY ADDITION, NEW SIDING, NEW WINDOWS AND DOORS. 2. NEW ONE-CAR DETACHED CARPORT.

3. INTERIOR REMODEL REPLACING EXISTING MATERIALS AND MODIFYING WALLS. 4. TREE REMOVAL: ONE DEAD TREE REMOVAL, ONE STUMP REMOVAL ON THE FRONT YARD, AND TWO SMALL TREES ON THE REAR YARD.

VICINITY MAP NOT TO SCALE

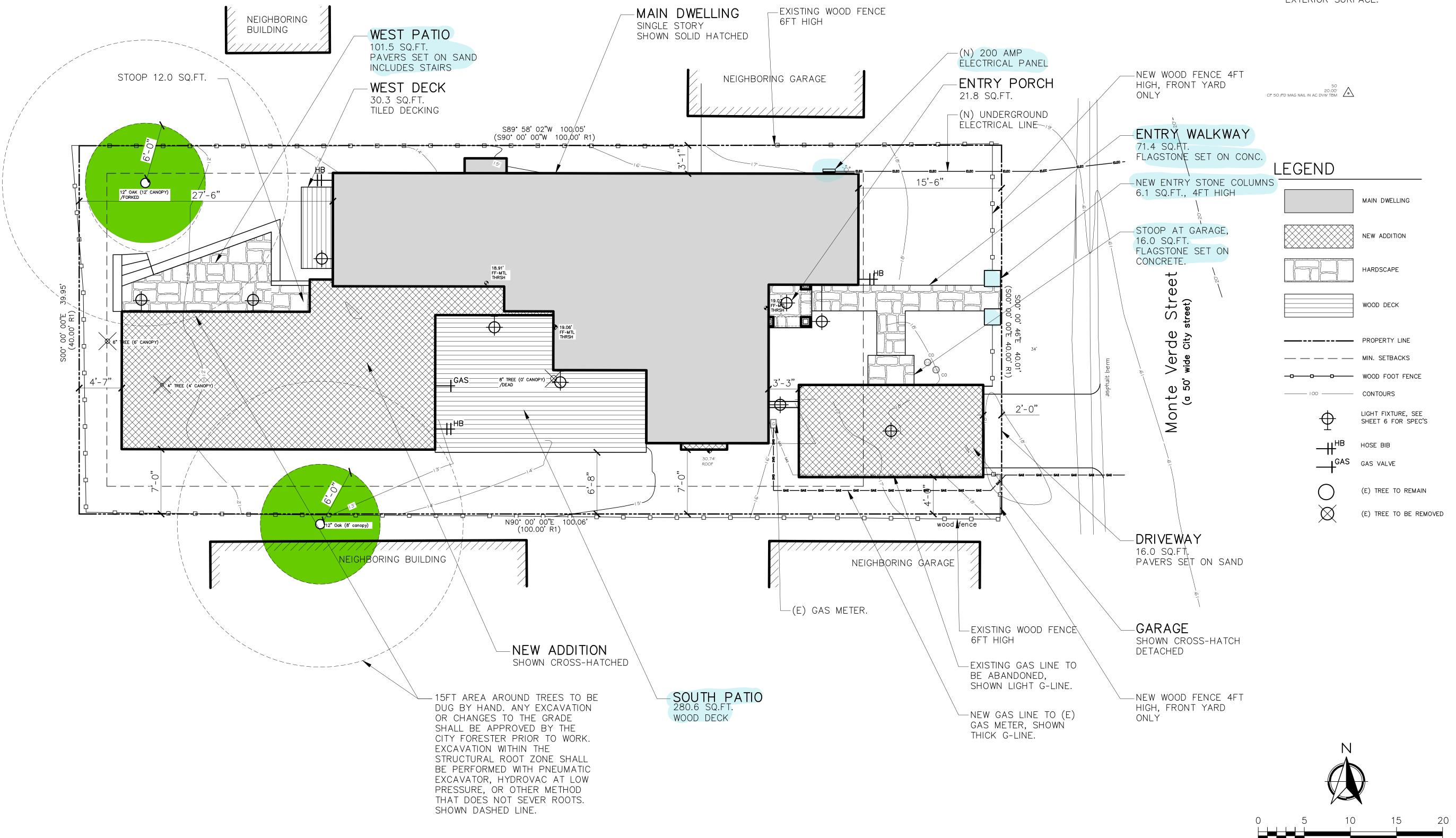


 \bigcirc

 \Box

SCALE: 1' = 1/4"

5. ALL MEASUREMENTS OF THE SETBACK TO PROPERTY BOUNDARY IS FROM THE FINISHED EXTERIOR SURFACE.



SCALE: 1' = 3/16"

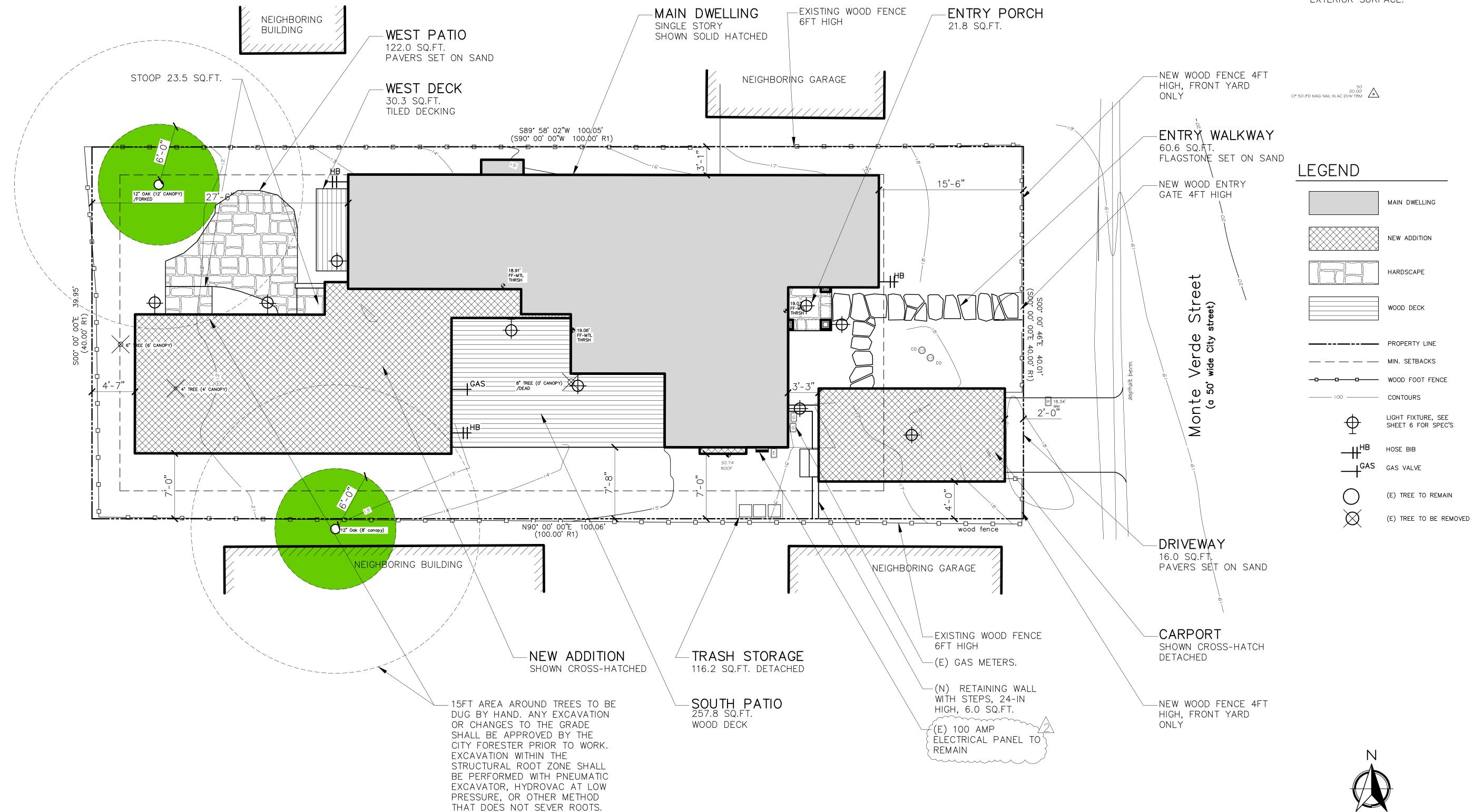
(IN FEET) 3/16 inch = 1 ft.

GRAPHIC SCALE

A1.2

CITY FORESTER REQUIREMENT:

- 1.6FT SETBACK FROM TREE TO BUILDING FOOTPRINT AND STRUCTURE.
- 2. 15FT AREA AROUND TREES TO BE DUG BY HAND.
 4. ANY EXCAVATION OR CHANGES
- TO THE GRADE SHALL BE
 APPROVED BY THE CITY FORESTER
 PRIOR TO WORK. EXCAVATION
 WITHIN THE STRUCTURAL ROOT
 ZONE SHALL BE PERFORMED WITH
 PNEUMATIC EXCAVATOR,
 HYDROVAC AT LOW PRESSURE, OR
 OTHER METHOD THAT DOES NOT
 SEVER ROOTS.
- 5. ALL MEASUREMENTS OF THE SETBACK TO PROPERTY BOUNDARY IS FROM THE FINISHED EXTERIOR SURFACE.



SHOWN DASHED LINE.

5, INC 93921

CLAUDIO ORTIZ DESIGN GROUP,
P.O. BOX 3775 Carmel, CA 93
OFFICE: 831,626,4146
CLAUDIO@CODGINC.COM

ON THIS DOCUMENT ARE THE PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC
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THIS SPECIFIC PROJECT AND LOCATION AND NOT FOR CONSTRUCTION OR USE
FOR ANY OTHER PROJECT.

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THIS DOCUMENT IS AN INSTRUMENT PHYSICAL PROPERTY OF CALAUDIO CHANGE SPECIFIC PROSECT AND LOCATION FOR ANY OTHER PROJECT.

REVIONS: 03/18/24 BUILDING /2

> RESIDENCE VERDE 3 NW OF 1TH, CARMEL C. E LOTS:13 110-185-007

MONTE VERDE BLOCK: E L APN: 010-185

01-13-2024

PLAN POSED)

SITE PLA (PROPOS

SCALE: 1' = 3/16"

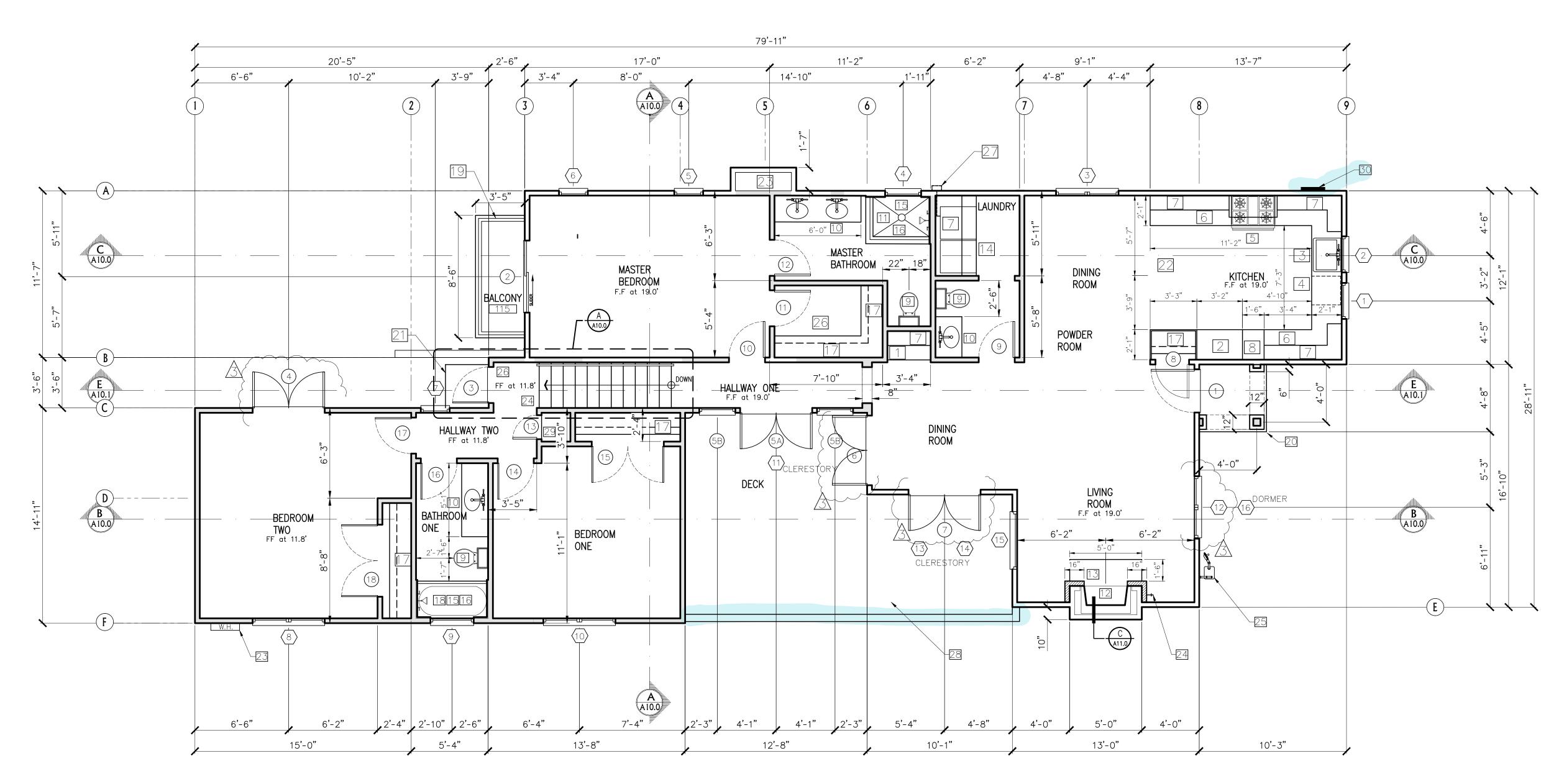
20

(IN FEET) 3/16 inch = 1 ft.

GRAPHIC SCALE

A1.2

SUBMITTAL 5/14/25



GENERAL NOTES:

8. OMITŤED

- 1. All construction shall meet the requirements of the C.R.C. 2022 edition. 2. Insulation shall be installed in ceilings, all exterior walls, around water heaters, walls around air conditioning plenums and between floor joists. Insulation contractor shall post a copy of the "Certificate of Compliance". Insulation shall conform to flame spread rating and smoke density requirements of CRC 2022 Edition.
- 4. All windows shall comply with the State of California energy conservation codes, Title 24. See Title 24 calculations included or attached to these plans. 5. Wall and ceiling finishes shall have a flame spread index of not greater than 200.

3. Insulate areas as follows: Wall : R-15, Ceiling: R-30, Floor: R-19

- 6. Water closet compartment shall be a minimum of 30" width with 24" clear in front. 7. All gas burning equipment shall have combustion air within 12" of the floor and
- 9. All attic access openings shall be not less that 22"X30" & 30" of clear headroom
- provides above the access openings. (CRC R807.1)
- 10. Provide water-resistant cement backer board behind all ceramic tile or other wall finishes as per requirements. (CRC R702.4.2)
- 11. Garage to Dwelling Separation: Garages shall be separated from the dwelling unit and its attic area by minimum 1/2'-inch gypsum board applied on the GARAGE side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8"-inch type X gypsum board or equivalent. (CRC R302.6 Table) 12. Doors from garage to dwelling units shall be solid wood door or solid or honeycomb
- core steel door not less than 1-3/8" thick; or 20-minute rated door. The door shall be self-closing and self-latching. (CRC R302.5.1) 13. Minimum Room Heights: Habitable space, hallways & portions of basements containing these spaces shall have a ceiling height of not less than 7'. Bathrooms,
- toilet rooms and laundry rooms shall have a ceiling height of not less than 6'-8". (CRC R305.1) 14. Bathtub/ shower floors & walls above bathtubs with installed shower heads shall be
- finished with a nonabsorbent surface and extend to a height of not less than 6 ft above the floor. (CRC R307.2) 15. The water supply to a bathtub and shower filler valve shall be protected by an air gap CRC R490.5)
- 16. All tub/shower shall be fitted with approved safety glass enclosure or a curtain rod. 17. For all building alterations or improvements to a single family residential property, existing plumbing fixtures in the entire house that do not meet current flow rates will need to be upgraded. (CGBS 301.1.1)
- 18. Water closet with a flow rate excess of 1.6gpf will need to be replaced with water closet with a maximum flow rate of 1.28gpf. (CPC 411.2.4). Showers heads with a flow rate greater than 2.5gpm will need to be replaced with a maximum 1.8gmp
- shower head.(CPC 408.2) 19. Lavatory faucets with a flow rate greater than 2.2gpm will be need to be replaced with a faucet with maximum flow rate of 1.2gpm for lavatory faucets. (CPC 407.2.2). Kitchen faucets shall have a maximum flow rate of not more than 1.8 gpm. (CPC 420.2.2).

- 20. Smoke alarms: Install smoke alarm inside each bedroom, outside each sleeping area, on every level of the home, including the basement. On levels without bedrooms, install alarms in living room/ den/family room) or near the stair way to the upper level, or in both locations. Smoke alarms in the basement should installed on the ceiling at the bottom of the stair landing. (CRC R314.2)
- 21. Alarm Power Supply: Smoke alarms to be hard-wired a provided with battery backup. (CRC R314). Smoke alarms should be interconnected where there is more than one smoke alarm, in a manner that all will activate. (CRC R314.4.)
- 22. Combo Alarms: Carbon monoxide/smoke alarms shall be an acceptable alternative to CO alarms. Combination carbon monoxide/smoke alarm shall be listed in accordance
- with UL2034 and UL 217. (CRC R314.4) 23. Final inspection and approval from Water District required prior to City of
- Carmel-By-The-Sea final approval. 24. Landings or finished floors at the required egress door shall be not more than 1-1/2? lower than the top of the threshold. Except when The landing or floor on the exterior side shall be not more than 7-3/4 inches below the top of the threshold provided that the door does not swing over the landing or floor. (CRC R311.3.1)
- 19. Anti-siphon devices at all exterior hose bibs 20. A gas pipe diagram showing sizes, run, layout and type shall be provided by the plumbing contractor prior to inspection.
- 21. Plumbing vents to terminate 6" above roof nor less the 1?from a vertical surface. and not less than 3 feet (914 mm) in every direction from a lot line, alley and street excepted. (CRC R906.0)
- 22. Basement shall have at least one operable window or door approved for emergency escape. 1. Basement with a ceiling height of less than 80-inches shall not be required to have emergency escape and recue window. 2. Basement without habitable spaces and having no more than 200 square feet in floor area shall not be required to have emergency escape window. (CBC Section 1030.1)
- 24. The Maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler shall be limited to 120 degrees Fahrenheit. The water heater thermostat shall not be considered a control for meeting this provision (CPC 409.4)
- 25. Through-the-wall vent termination will comply with the following. The vent terminal of direct-vent appliance with an input of 10,000 Btu/h or less shall be located at (6) inches from any air opening into a building, and such an appliance with an input over 10,000Btu/h but not over 50,000 Btu/h shall be installed with (9) inches of vent termination clearance, and an appliance with an over 50,000 Btu/h shall have at least a (12) inch of vent termination clearance. The bottom of the vent terminal and the
- air intakes shall be located at least twelve (12) inches above grade (CCE 802.8.8). 26. Provide makeup air for the clothes dryer. When a closet is designed for the installation of clothes dryer, a minimum opening of 100-inches shall be provided in the door. (CCE

- 28. Joints and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasket, weather-stripped or otherwise sealed to limit infiltration and exfiltration. (CCE Sec. 117)
- 29. REMOVED 30. Installation of fireplaces: Factory-built fireplaces or masonry fireplace shall comply with the following: 1) Closable metal or glass doors covering the entire opening of the firebox; and 2.)A combustion air intake to draw air from the outside of the building, which is at least 6 sq.i.n area & is equipped with a readily accessible, operable and tight-fitting damper or combustion-air control device; 3) A flue damper with a readily accessible control. (CEnC 150.0(e))

31 OMITTED 32. Omitted

- 33. Under stair Protection: Enclosed space under stairs that is accessed by a door or access panel shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch gypsum board. (CRC R302.7)
- 34. The horizontal area of the window well shall be not less than 9 square feet, with horizontal projection & width of not less than 36". The area of the window well shall allow the emergency escape and rescue opening to be fully opened. Exception: The ladder or steps required by Section R310.2.3.1 shall be permitted to encroach not more than 6 inches into the required dimensions of the window well.CRC R310.2.3 35. Hot water pipe insulation shall have a minimum wall thickness of not less than the
- diameter of the pipe for a pipe up to 2 inches in diameter. Insulation wall thickness shall be not less than 2 inches for a pipe of 2 inches or more in diameter. Exceptions: 1) Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration. 2)Hot water piping between the fixture control valve or supply stop and the fixture or appliance shall not be required to be insulated. (CRC R609.11.2)

FRAMING

- 1. RAISE MASTER BEDROOM BATHROOM FLOOR FRAMING TO BE LEVELED WITH THE REST OF THE HOUSE.
- 2. ALL WALLS AND FLOOR SHOULD BE LEVELED. CONTRACTOR TO
- 3. ALL DOORS AND WINDOWS TO BE LEVELED

Effective January 1, 2010, the State of California Lead Free Plumbing Law, Health and Safety Code Section 116875 becomes effective.

A. IN PERT, THIS CODE SECTIOM STATES THAT NO PERSON SHALL USE ANY PIPE, PIPE OR PLUMBING FITTING OR FIXTURE, OR SOLDER OR FLUX THAT IS NOT LEAD FREE (0.25% LEAD) IN PLUMBING SYSREMS CONVEYING POTABLE WATER FOR HUMAN CONSUMPTION (I.E.PIPING, FITTINGS AND FIXTURES TO/A KITCHEN AND BATHROOM SINK). PLUMBING CONTRACTOR SHALL PROVIDE THE TESTING AND LISTING DOCUMENTATION TO THE MONTEREY COUNTY INSPECTION STAFF FOR ALL PLUMBING PRODUCTS CONVEYING POTABLE WATER SHOWING THAT EACH MEETS THE LEAD FREE TESTING REQUIREMENTS OF NSF/ANSI 61 ANNEX G.

Termination Cap Note.

HEAT SHIELDS MUST OVERLAP BY A MINIMUM OF 1-1/2 IN. (38mm) THE HEAT SHIELD IS DESIGNED TO BE USED ON A WALL 4-INCH TO 7-1/4-INCH (102 mm TO 184 mm) THICK. IF WALL THICKNESS IS LESS THAN 4-INCH (102 mm) THE EXISTING HEAT SHIELDS MUST BE FIELD TRIMMED. IF WALL THICKNESS IS GREATER THAN 7-1/4-INCH (184 mm)

THIS PROJECT SHALL COMPLY WITH THE:

2022 CALIFORNIA RESIDENTIAL CODES 2022 CALIFORNIA PLUMBING CODES 2022 CALIFORNIA FIRE CODES 2022 CALIFORNIA ELECTRICAL CODES 2022 CALIFORNIA ENERGY CODES 2022 CALIFORNIA MECHANICAL CODES

2022 CALIFORNIA GREEN BUILDING CODES

1 WINE BAR CABINET, 34TH W/ UPPER CAB 36" BUILT-IN ALL REFRIGERATOR. PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER.

3 KITCHEN SINK W/GARBAGE DISPOSAL SINGLE FAUCET

- └── WITH PULL OUT 4 24" DISHWASHER SPACE
- 「二 36" RANGE DUAL-FUEL RANGE VENTILATED W/42" HOOD
- 6 NEW 36-INCH HIGH COUNTERTOP, WITH STONE COUNTERTOP AND TILED BACKSPLASH.

7 UPPER CABINETS, 18-IN ABOVE COUNTERTOP.

- 8 BUILT IN PANTRY W/ PULL OUT SHELVES, AND
- ADJUSTABLE SHELVËS. WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER $^{\perp}$ FLUSH PER C.P.C. 402.2.1
- BATHROOM SINK 36-INCH HIGH VANITY WITH STONE TOP AND BACKSPLASH.
- 11 SHOWER: TILED WALLS FULL HEIGHT, WITH 3/8" THK SAFETY GLASS, FRAMELESS. INSTALL GLAZING PER MANUF. SPECS.
- 2 GAS FIREPLACE: HEAT-N-GLO, MODEL: 6K-KL-KX, 36" OPENING, NATURAL GAS, DIRECT VENT, STANDARD: CSA/ANSIZ21.88-2019 • CSA2.33-2019
- 13 STONE HEARTH, RAISED 15-IN, 60"X18" |4| new electric stacked washer and dryer space: PROVIDE RECESSED WATER & DRAIN CONNECTIONS. PROVIDE VENT TO EXTERIOR.
 - CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACKDRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14-FEET WITH TWO ELBOWS. THIS SHALL BE REDUCED 2-FEET FOR EVERY ELBOW IN EXCESS OF TWO. SHOW MINIMUM 4-INCHES DIAMETER, SMOOTH METAL DUCT, AND SHOW DUCT ROUTE ON PLAN. (CMC 504.4.2)
- 15 PLUMBING FIXTURES AT SHOWER OR TUBS: SHOWER HEAD 7'-0" FROM THE FLOOR. PROVIDE ANTI-SCALDING VALVES. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 411.10). SHOWER-CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTIC MIXING VALVE TYPE. PER CPC 420. DO NOT USE MORE THAN 2.5 GALLONS PER MINUTE PER CPC 402.8.
- 16 NICHE: AT SHOWER OR TUB, TILED, VERIFY WITH OWNER LOCATION AND SIZE.
- 1 / ONE STEEL 2" ROD, AND ONE SHELF 18 BATHTUB: 60-IN SPACE, TILED WALLS FULL HEIGHT. WITH 3/8" THICK SAFETY GLASS, FRAMELESS. INSTALL PER
- MANUF. SPEC'S. 19 GUARDRAIL: WROUGHT IRON 42-IN HIGH GUARDRAILS TO WITHSTAND 50 LB. LATERAL LOAD PER LINEAL FOOT WHEN APPLIED HORIZONTALLY AT
- RIGHT ANGLES TO THE TOP RAIL-200 LB. CONCENTRATED LOAD 2. GUARDRAILS MINIMUM OF 42"-INCHES IN HEIGHT 3. INTERMEDIATE RAILING SPACED SO THAT 4"-INCH IN
- ANGLES TO THE TOP RAIL. 20 THIN STONE VENEER COLUMNS & WALLS, UNCOURSED AND ROUGHLY SQUARED PATTERN.

DIAMETER CANNOT PASS THROUGH AT RIGHT ANGLES

- 21 STONE STOOP AT EXTERIOR DOORS, 36-IN MIN. DEPTH MICROWAVE DRAWER SPACE
- 23 existing navien 240ng tankless water heater to) REMAIN 74 GAS SHUT OFF VALVE
- 25 EXISTING GAS METER
- 26 EXISTING F.A.U. AT CRAWL SPACE
- 77 DRYER EXHAUST VENT TERMINATE AT EXTERIOR OF THE BUILDING.(CMC 504.4.2)
- 28 EXISTING WOOD GUARDRAIL TO REMAIN AND REFURBISH.
- 29|built-in linen cabinet, with adjustable shelves. 30 existing 100 amp electrical panel to remain

LEGEND

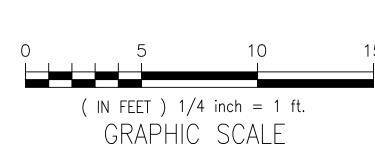
2x4 NEW WALLS 2x4 EXISTING WALLS STONE VENEER

WINDOW SCHEDULE

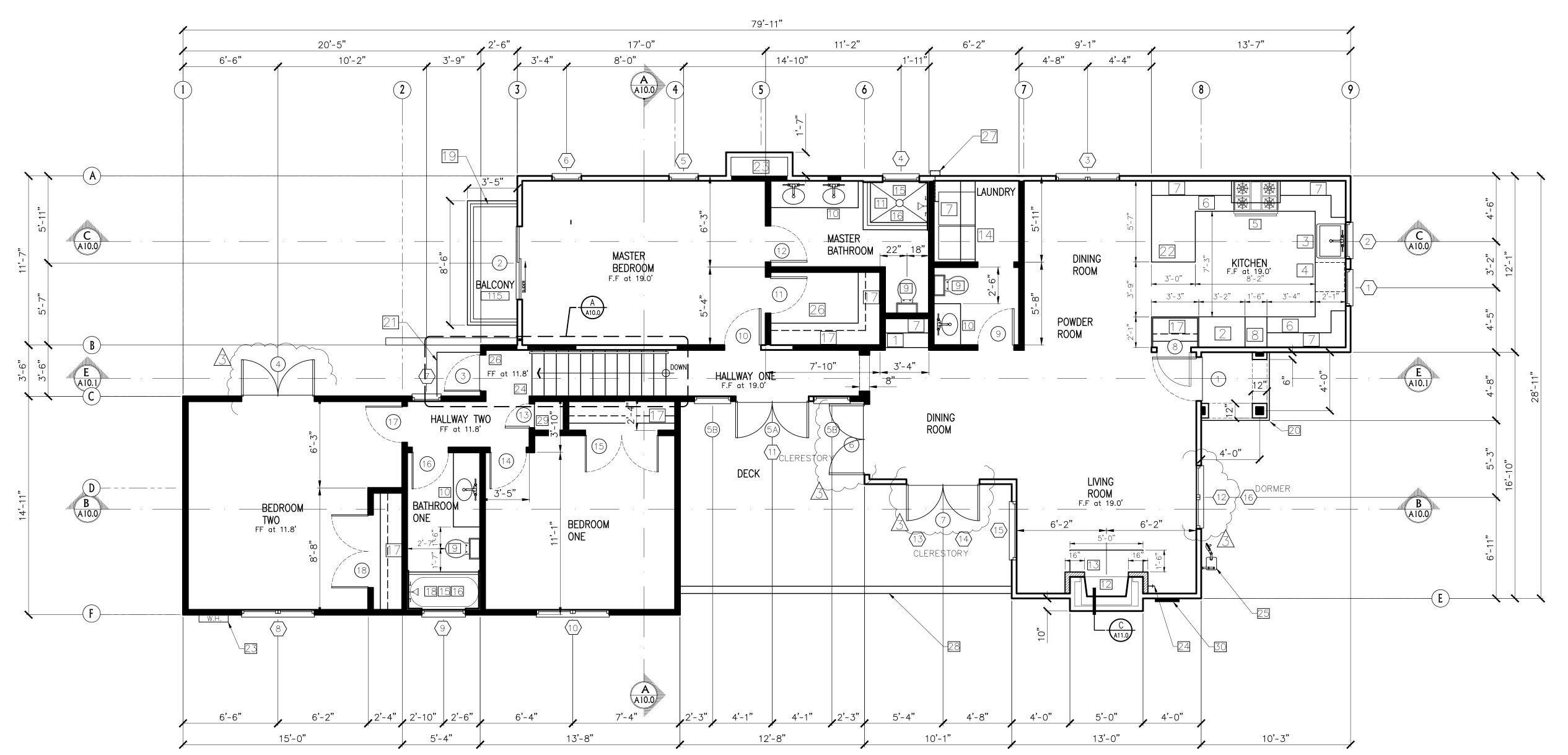
- DOOR SCHEDULE

- KEY NOTES





A O \bigcirc \mathbb{C} \circ OSCALE: 1' = 1/4"



GENERAL NOTES:

- All construction shall meet the requirements of the C.R.C. 2022 edition. Insulation shall be installed in ceilings, all exterior walls, around water heaters, walls around air conditioning plenums and between floor joists. Insulation contractor shall post a copy of the "Certificate of Compliance". Insulation shall conform to flame spread rating and smoke density requirements of CRC 2022 Edition.
- Insulate areas as follows: Wall : R-15, Ceiling: R-30, Floor: R-19 4. All windows shall comply with the State of California energy conservation codes, Title 24. See Title 24 calculations included or attached to these plans.
- Wall and ceiling finishes shall have a flame spread index of not greater than 200. Water closet compartment shall be a minimum of 30" width with 24" clear in front. 7. All gas burning equipment shall have combustion air within 12" of the floor and ceiling. 8. OMITTED
- 9. All attic access openings shall be not less that 22"X30" & 30" of clear headroom provides above the access openings. (CRC R807.1)
- 10. Provide water-resistant cement backer board behind all ceramic tile or other wall finishes as per requirements. (CRC R702.4.2) 11. Garage to Dwelling Separation: Garages shall be separated from the dwelling unit and
- its attic area by minimum 1/2'-inch gypsum board applied on the GARAGE side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8"-inch type X gypsum board or equivalent. (CRC R302.6 Table) 12. Doors from garage to dwelling units shall be solid wood door or solid or honeycomb core steel door not less than 1-3/8" thick; or 20-minute rated door. The door shall
- be self-closing and self-latching. (CRC R302.5.1) 13. Minimum Room Heights: Habitable space, hallways & portions of basements containing these spaces shall have a ceiling height of not less than 7'. Bathrooms, toilet rooms and laundry rooms shall have a ceiling height of not less than 6'-8".
- (CRC R305.1) 14. Bathtub/ shower floors & walls above bathtubs with installed shower heads shall be finished with a nonabsorbent surface and extend to a height of not less than 6 ft
- above the floor. (CRC R307.2) 15. The water supply to a bathtub and shower filler valve shall be protected by an air gap CRC R490.5)
- 16. All tub/shower shall be fitted with approved safety glass enclosure or a curtain rod. 17. For all building alterations or improvements to a single family residential property, existing plumbing fixtures in the entire house that do not meet current flow rates will need to be upgraded. (CGBS 301.1.1)
- 18. Water closet with a flow rate excess of 1.6gpf will need to be replaced with water closet with a maximum flow rate of 1.28gpf. (CPC 411.2.4). Showers heads with a flow rate greater than 2.5gpm will need to be replaced with a maximum 1.8gmp
- 19. Lavatory faucets with a flow rate greater than 2.2gpm will be need to be replaced with a faucet with maximum flow rate of 1.2apm for lavatory faucets. (CPC 407.2.2). Kitchen faucets shall have a maximum flow rate of not more than 1.8 gpm. (CPC

- 20. Smoke alarms: Install smoke alarm inside each bedroom, outside each sleeping area, on every level of the home, including the basement. On levels without bedrooms, install alarms in living room/ den/family room) or near the stair way to the upper level, or in both locations. Smoke alarms in the basement should installed on the ceiling at the bottom of the stair landing. (CRC R314.2)
- 21. Alarm Power Supply: Smoke alarms to be hard-wired a provided with battery backup. (CRC R314). Smoke alarms should be interconnected where there is more than one smoke alarm, in a manner that all will activate. (CRC R314.4.)
- 22. Combo Alarms: Carbon monoxide/smoke alarms shall be an acceptable alternative to CO alarms. Combination carbon monoxide/smoke alarm shall be listed in accordance with UL2034 and UL 217. (CRC R314.4)
- 23. Final inspection and approval from Water District required prior to City of Carmel-By-The-Sea final approval.
- 24. Landings or finished floors at the required egress door shall be not more than 1-1/2? lower than the top of the threshold. Except when The landing or floor on the exterior side shall be not more than 7-3/4 inches below the top of the threshold provided that the door does not swing over the landing or floor. (CRC R311.3.1) 19. Anti-siphon devices at all exterior hose bibs
- 20. A gas pipe diagram showing sizes, run, layout and type shall be provided by the plumbing contractor prior to inspection. 21. Plumbing vents to terminate 6" above roof nor less the 1?from a vertical surface. and
- not less than 3 feet (914 mm) in every direction from a lot line, alley and street excepted. (CRC R906.0) 22. Basement shall have at least one operable window or door approved for emergency escape. 1. Basement with a ceiling height of less than 80-inches shall not be required
- to have emergency escape and recue window. 2. Basement without habitable spaces and having no more than 200 square feet in floor area shall not be required to have emergency escape window. (CBC Section 1030.1) 24. The Maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler shall be limited to 120 degrees Fahrenheit. The water heater thermostat

shall not be considered a control for meeting this provision (CPC 409.4)

- 25. Through-the-wall vent termination will comply with the following. The vent terminal of direct-vent appliance with an input of 10,000 Btu/h or less shall be located at (6) inches from any air opening into a building, and such an appliance with an input over 10,000Btu/h but not over 50,000 Btu/h shall be installed with (9) inches of vent termination clearance, and an appliance with an over 50,000 Btu/h shall have at least a (12) inch of vent termination clearance. The bottom of the vent terminal and the air intakes shall be located at least twelve (12) inches above grade (CCE 802.8.8).
- 26. Provide makeup air for the clothes dryer. When a closet is designed for the installation of clothes dryer, a minimum opening of 100-inches shall be provided in the door. (CCE

- 28. Joints and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasket, weather-stripped or otherwise sealed to limit infiltration and exfiltration. (CCE Sec. 117)
- 30. Installation of fireplaces: Factory-built fireplaces or masonry fireplace shall comply with the following: 1) Closable metal or glass doors covering the entire opening of the firebox; and 2.)A combustion air intake to draw air from the outside of the building, which is at least 6 sq.i.n area & is equipped with a readily accessible, operable and tight-fitting damper or combustion-air control device; 3) A flue damper with a readily accessible control. (CEnC 150.0(e))
- 32. Omitted
- 33. Under stair Protection: Enclosed space under stairs that is accessed by a door or access panel shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch gypsum board. (CRC R302.7)
- 34. The horizontal area of the window well shall be not less than 9 square feet, with horizontal projection & width of not less than 36". The area of the window well shall allow the emergency escape and rescue opening to be fully opened. Exception: The ladder or steps required by Section R310.2.3.1 shall be permitted to encroach not more than 6 inches into the required dimensions of the window well.CRC R310.2.3 35. Hot water pipe insulation shall have a minimum wall thickness of not less than the
- diameter of the pipe for a pipe up to 2 inches in diameter. Insulation wall thickness shall be not less than 2 inches for a pipe of 2 inches or more in diameter. Exceptions: 1) Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration. 2)Hot water piping between the fixture control valve or supply stop and the fixture or appliance shall not be required to be insulated. (CRC R609.11.2)

IFRAMING

- 1. RAISE MASTER BEDROOM BATHROOM FLOOR FRAMING TO BE LEVELED WITH THE REST OF THE HOUSE. 2. ALL WALLS AND FLOOR SHOULD BE LEVELED. CONTRACTOR TO
- 3. ALL DOORS AND WINDOWS TO BE LEVELED

Effective January 1, 2010, the State of California Lead Free Plumbing Law, Health and Safety Code Section 116875 becomes effective.

A. IN PERT, THIS CODE SECTIOM STATES THAT NO PERSON SHALL USE ANY PIPE, PIPE OR PLUMBING FITTING OR FIXTURE, OR SOLDER OR FLUX THAT IS NOT LEAD FREE (0.25% LEAD) IN PLUMBING SYSREMS CONVEYING POTABLE WATER FOR HUMAN CONSUMPTION (I.E.PIPING, FITTINGS AND FIXTURES TO/A KITCHEN AND BATHROOM SINK). PLUMBING CONTRACTOR SHALL PROVIDE THE TESTING AND LISTING DOCUMENTATION TO THE MONTEREY COUNTY INSPECTION STAFF FOR ALL PLUMBING PRODUCTS CONVEYING POTABLE WATER SHOWING THAT EACH MEETS THE LEAD FREE TESTING REQUIREMENTS OF NSF/ANSI 61 ANNEX G.

Termination Cap Note.

HEAT SHIELDS MUST OVERLAP BY A MINIMUM OF 1-1/2 IN. (38mm) THE HEAT SHIELD IS DESIGNED TO BE USED ON A WALL 4-INCH TO 7-1/4-INCH (102 mm TO 184 mm) THICK. IF WALL THICKNESS IS LESS THAN 4-INCH (102 mm) THE EXISTING HEAT SHIELDS MUST BE FIELD TRIMMED. IF WALL THICKNESS IS GREATER THAN 7-1/4-INCH (184 mm)

THIS PROJECT SHALL COMPLY WITH THE:

2022 CALIFORNIA RESIDENTIAL CODES 2022 CALIFORNIA PLUMBING CODES 2022 CALIFORNIA FIRE CODES 2022 CALIFORNIA ELECTRICAL CODES 2022 CALIFORNIA ENERGY CODES 2022 CALIFORNIA MECHANICAL CODES 2022 CALIFORNIA GREEN BUILDING CODES

KEY NOTES

1 WINE BAR CABINET, 34TH W/ UPPER CAB 36" BUILT-IN ALL REFRIGERATOR. PROVIDE RECESSED J COLD WATER BIB & SHUT-OFF FOR ICE-MAKER. ── WITH PULL OUT

4 24" DISHWASHER SPACE

| 36" RANGE DUAL-FUEL RANGE VENTILATED W/42" HOOD

6 NEW 36-INCH HIGH COUNTERTOP. WITH STONE COUNTERTOP AND TILED BACKSPLASH.

7 UPPER CABINETS, 18-IN ABOVE COUNTERTOP.

8 BUILT IN PANTRY W/ PULL OUT SHELVES, AND ADJUSTABLE SHELVÉS.

WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER [→] FLUSH PER C.P.C. 402.2.1 1 O BATHROOM SINK 36-INCH HIGH VANITY WITH

STONE TOP AND BACKSPLASH. 11 SHOWER: TILED WALLS FULL HEIGHT, WITH 3/8" THK SAFETY GLASS, FRAMELESS. INSTALL GLAZING PER MANUF. SPECS.

12 Gas fireplace: heat-n-glo, model: 6k-kl-kx, 36" OPENING, NATURAL GAS, DIRECT VENT, STANDARD: CSA/ANSIZ21.88-2019 •CSA2.33-2019 | 3| STONE HEARTH. RAISED 15-IN. 60"X18"

4 NEW ELECTRIC STACKED WASHER AND DRYER SPACE: PROVIDE RECESSED WATER & DRAIN CONNECTIONS. PROVIDE VENT TO EXTERIOR. CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACKDRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14-FEET WITH TWO ELBOWS. THIS SHALL BE REDUCED 2-FEET FOR EVERY ELBOW IN EXCESS OF TWO. SHOW MINIMUM 4-INCHES DIAMETER, SMOOTH METAL DUCT, AND SHOW DUCT ROUTE ON PLAN. (CMC 504.4.2)

5 PLUMBING FIXTURES AT SHOWER OR TUBS: SHOWER HEAD 7'-0" FROM THE FLOOR. PROVIDE ANTI-SCALDING VALVES. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 411.10). SHOWER-CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTIC MIXING VALVE TYPE. PER CPC 420. DO NOT USE MORE THAN 2.5 GALLONS PER MINUTE PER CPC 402.8.

| 6 NICHE: AT SHOWER OR TUB, TILED, VERIFY WITH OWNER LOCATION AND SIZE.

1/ ONE STEEL 2" ROD, AND ONE SHELF

18 BATHTUB: 60-IN SPACE, TILED WALLS FULL HEIGHT, WITH 의 3/8" THICK SAFETY GLASS, FRAMELESS. INSTALL PER MANUF. SPEC'S.

19 GUARDRAIL: WROUGHT IRON 42-IN HIGH GUARDRAILS TO WITHSTAND 50 LB. LATERAL LOAD PER LINEAL FOOT WHEN APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL-200 LB. CONCENTRATED LOAD

2. GUARDRAILS MINIMUM OF 42"-INCHES IN HEIGHT 3. INTERMEDIATE RAILING SPACED SO THAT 4"-INCH IN DIAMETER CANNOT PASS THROUGH AT RIGHT ANGLES

ANGLES TO THE TOP RAIL. THIN STONE VENEER COLUMNS & WALLS, UNCOURSED AND ROUGHLY SQUARED PATTERN.

21 STONE STOOP AT EXTERIOR DOORS, 36-IN MIN. DEPTH 2 MICROWAVE DRAWER SPACE

 2 \2 3 existing navien 240ng tankless water heater to) REMAIN 74 GAS SHUT OFF VALVE

25 EXISTING GAS METER

26 EXISTING F.A.U. AT CRAWL SPACE

DRYER EXHAUST VENT TERMINATE AT EXTERIOR OF THE $^{\prime\prime}$ BUILDING.(CMC 504.4.2)

28 EXISTING WOOD GUARDRAIL TO REMAIN AND REFURBISH.

29|built-in linen cabinet, with adjustable shelves. 30 EXISTING 100 AMP ELECTRICAL PANEL TO REMAIN

WALL LEGEND 2x4 NEW WALLS

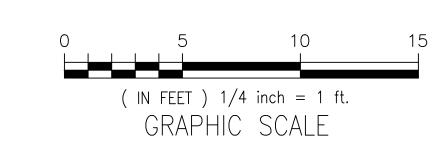
2x4 EXISTING WALLS STONE VENEER

window schedule

O DOOR SCHEDULE

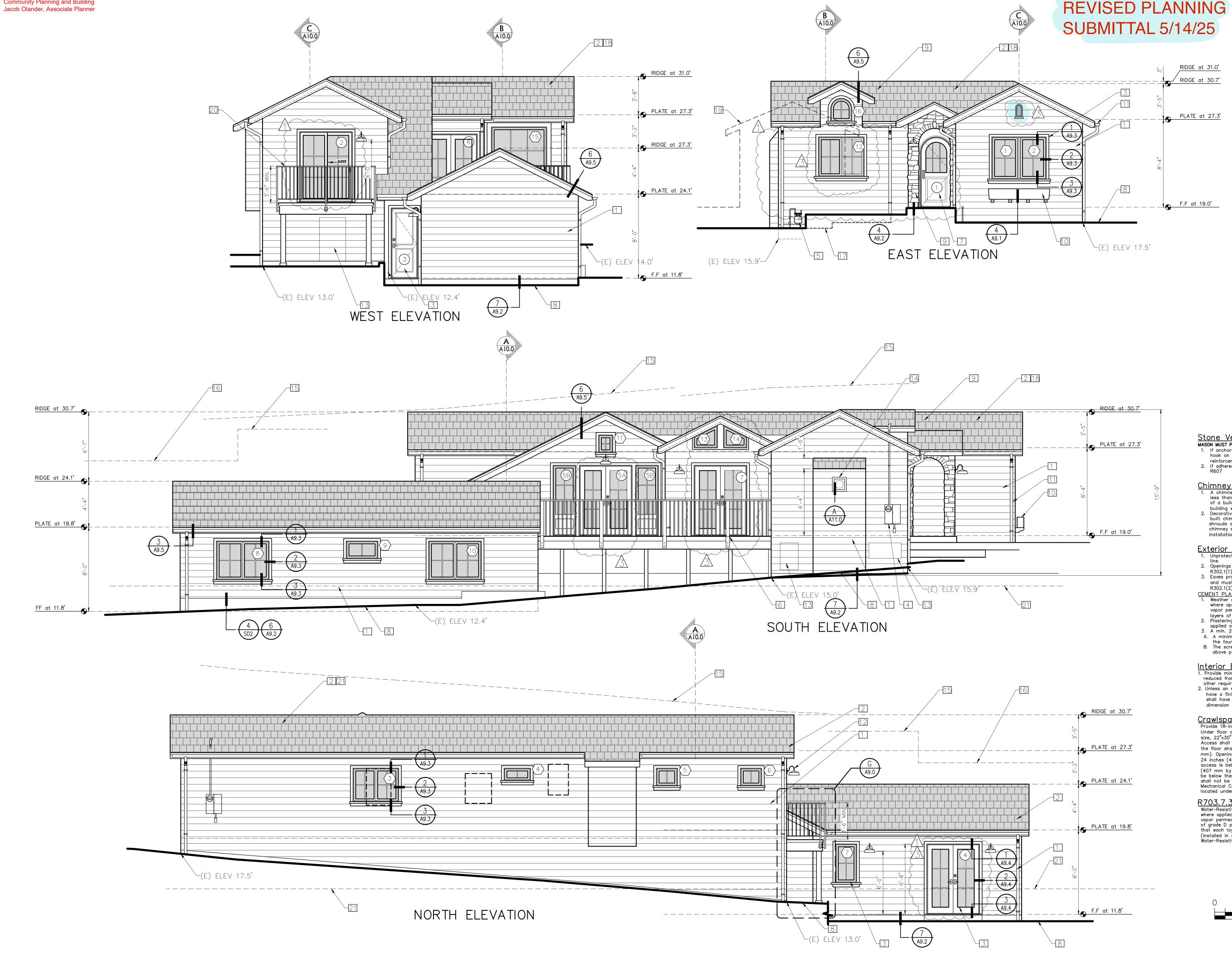
- KEY NOTES





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SCALE: 1' = 1/4''



KEY NOTES

RIDGE at 31.0'

RIDGE at 30.7

PLATE at 27.3'

F.F at 19.0'

SIDING: WOOD SHIPLAP SIDING TO REMAIN AT EXISTING STRUCTURE. AT NEW ADDITION TO MATCH EXISTING SIDING. 2 ROOF: NEW COMPOSITION ASPHALT

SHINGLE, PITCH 6:12, ROOF AT NEW ADDITION TO MATCH EXISTING ROOF 3 WOOD-CLAD DOORS AND WINDOWS, TYP. EXISTING 100 AMP ELECTRICAL MAIN METER

PANEL TO REMAIN: 66" HIGH (75" MAX, 48" MIN.). PROVIDE A CLEAR WORKING - AREA MIN. 30"X36"X75". 5 GAS METER: MAINTAIN PROPER DISTANCES TO BUILDING CORNERS, OPENINGS, AND

THE ELECTRICAL MAIN METER PANEL. GUARDRAIL: EXISTING, WOOD BALUSTRADES AND HANDRAIL TO

T ENTRY DOOR: NEW, SOLID ARCHED WOOD WITH GLAZING. 8 GRADE WHERE OCCURS

PORCH: STONE VENEER WITH A ROMAN ARCHED, KEYSTONE, AND VOISSOIRS. FLOWER BOX: WOOD FINISH OVER SHAPED WOOD CORBELS.

GUTTERS AND DOWNSPOUTS: GALVANIZED PAINTED, CONNECTED TO A DRAINAGE SYSTEM. SEE CIVIL PLANS FOR DETAILS. 12 LIGHT FIXTURES: SEE SPECIFICATIONS ON SHEET A8.0. VERIFY LOCATION OF MOUNTING PLATE TO KEEP FIXTURE 6'-0" OFF THE FINISH FLOOR.

13 CRAWLSPACE ACCESS DOORS: EXISTING 14 FIREPLACE DIRECT VENT EXHAUST 15 18-FT HEIGHT LIMIT SHOWN DASHED LINE 16 15-FT HEIGHT LIMIT FROM REAR YARD SHOWN DASHED LINE

17 EXISTING GRADE SHOWN DASHED LINE 18 EXISTING ROOF STRUCTURE TO REMAIN.

19 CARPORT OUTLINED SHOWN DASHED LINE. SEE SHEET A5.0 FOR THE ELEVATIONS 20 GUARDRAIL: ROUGH IRON, DARK BRONZE FINISH

21 AVERAGE NATURAL GRADE 14.2 FT

Stone Veneer Attachment

MASON MUST PROVIDE A 3'X3' VENEER SAMPLE TO C.O.D.G. BEFORE PROCEEDING. 1. If anchored, use 22 gage galvanized sheet metal anchor ties (with a lip hook on extended leg engaging No. 9 gage continuous wire joint reinforcement) spaced at 24-Inches O.C. 2. If adhered, use an approved adhesive material and method. Per CRC Sec

Chimney Requirements A chimney for a residential-type or low heat appliance shall extend not less than 3 feet above the highest point where it passes through a roof of a building and not less than 2 feet higher than a portion of a building with a horizontal distance of 10 feet. (CMC 802.5.4)

2. Decorative shrouds shall not be installed at the termination of factory built chimneys except where such shrouds are listed and labeled for use with the specific factory built chimney system and are installed in accordance with the manufacturer's installation instructions. (CMC 802.5.4.3)

Exterior Wall Requirements

1. Unprotected VB Dwelling exterior walls shall be at 5-Feet from property 2. Openings are not permitted less than 3-FEET from property line. Table R302.1(1) and Sec. R302.1(2) 3. Eaves projections are prohibited closer that 2-FEET from property lines, and must be protected in accordance with Table R302.1(1) and Sec.

R302.1(2) when closer than 3-FEET from property lines. CEMENT PLASTER/STONE VENEER

1. Weather resistive barrier shall be installed as requierd in Sec. 1404.2 and where applied over wood-base sheathing, shall include a water-resistive vapor permeable barrier with a performance at least equivalent to two

layers of grade "D" paper. Sec. 2510.6

2. Plastering with cement plaster shall not be less than 3-Coats when appiled over metal lath or wire fabric lath. Sec 2512.1 3. A min. 26 Galvanized corrosion-resistant weed screed with:

A. A minimum vertical attachment flange of 3-1/2" provide at or below the foundation plate line at all exterior walls.

B. The screed shall be placed a min. of 4-inches above earth or 2-inches above pave area. Sec 2512.1.2.

Interior Environment

1. Provide minimum required squared footage for escape and rescue window is

reduced from 5.7 squre feet to 5.0 square feet for grade floor opening. all other required dimensions are the same as current code.

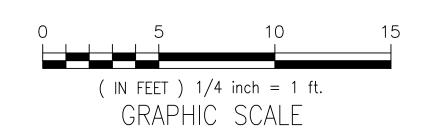
2. Unless an exterior door is provided, one window sill in each bedroom shall have a finished height of not more than 44" above the floor. Such window shall have a clear operable area of not less than 5.7 sq.ft. with no dimension less than 24" inches height or 20" inches width.

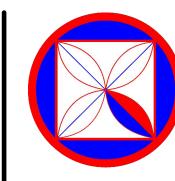
Crawlspace Under-Floor Access Opening
Provide 18-inch clearance under floor joist & 12-inches clearance girders.

Under floor access at perimeter walls and all crawl spaces area, 18"x24" min size, 22"x30" under floor furnace.

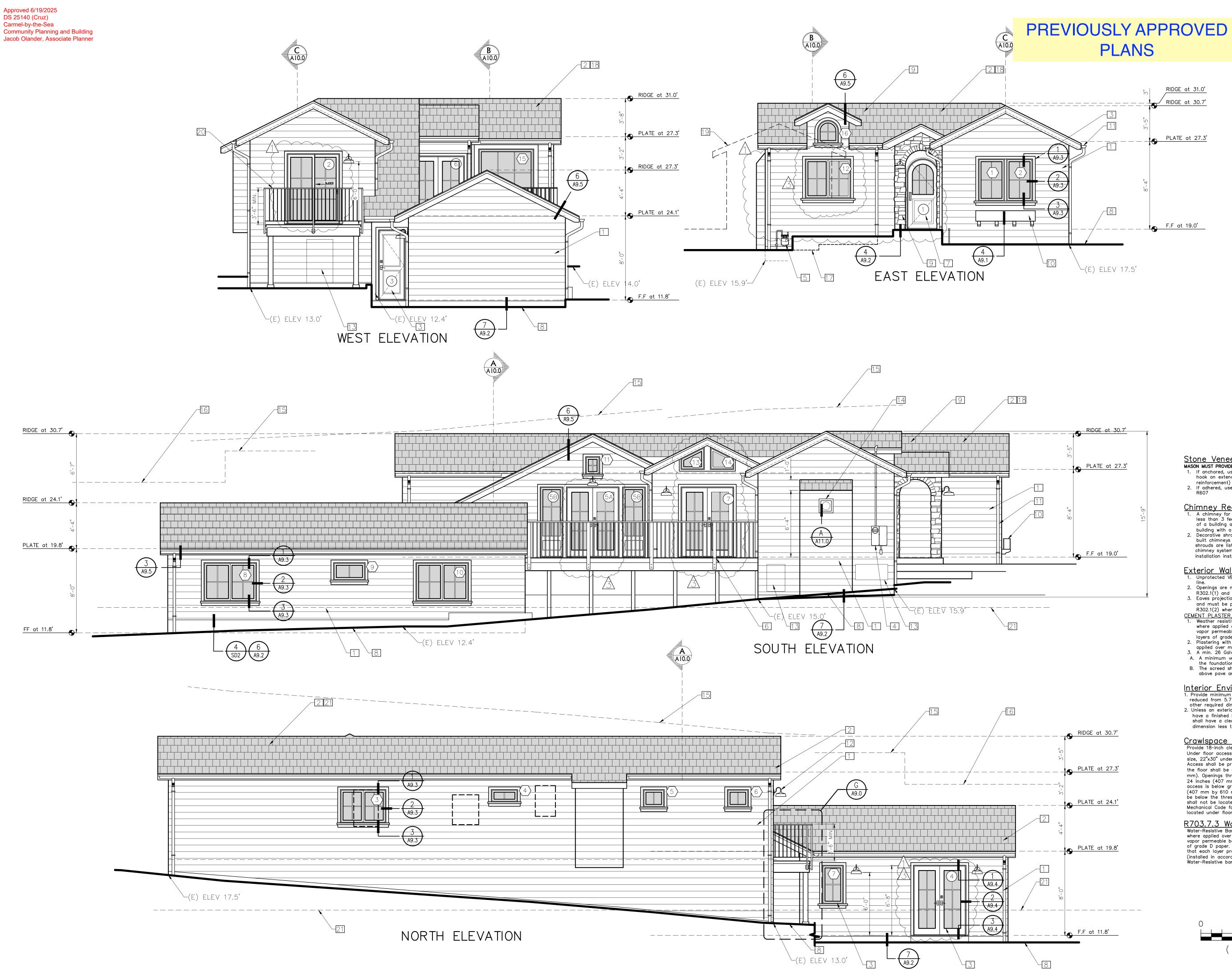
Access shall be provided to all under-floor spaces. Access openings through the floor shall be a minimum of 18 inches by 24 inches (457 mm by 610 mm). Openings through a perimeter wall shall be not less than 16 inches by 24 inches (407 mm by 610 mm). When any portion of the through-wall access is below grade, an areaway not less than 16 inches by 24 inches (407 mm by 610 mm) shall be provided. The bottom of the areaway shall be below the threshold of the access opening. Through wall access openings shall not be located under a door to the residence. See the California Mechanical Code for access requirements where mechanical equipment is located under floors.R408.4

R703.7.3 Water-Resistive Barriers
Water-Resistive Barriers shall be installed as required in section R703.2 and, where applied over wood base sheathing, shall include a Water-Resistive, vapor permeable barrier with a performance at least equivalent to two layers of grade D paper. The individual layers shall be installed independently such that each layer provides a separat continuous plane and any flashing (installed in accordance with Section R703.4) intended to drain to the Water-Resistive barrier is direct between the layers.





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KEY NOTES

SIDING: WOOD SHIPLAP SIDING TO REMAIN AT EXISTING STRUCTURE. AT NEW ADDITION TO MATCH EXISTING SIDING. 7 ROOF: NEW COMPOSITION ASPHALT

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<u>Interior Environment</u>

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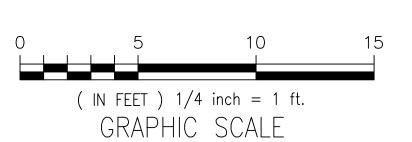
Crawlspace Under-Floor Access Opening

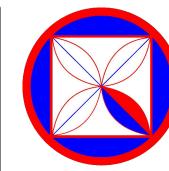
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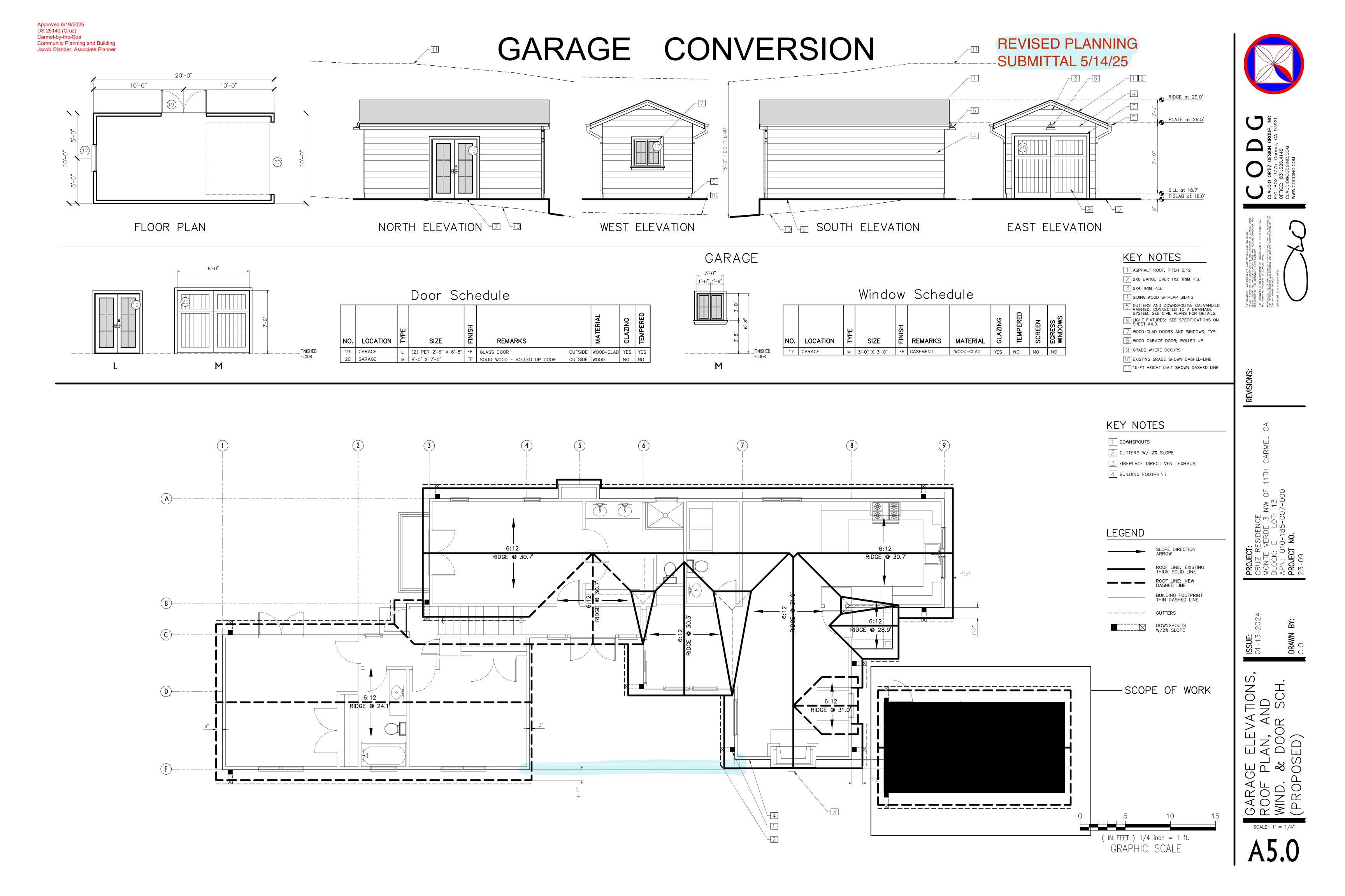
R703.7.3 Water-Resistive Barriers
Water-Resistive Barriers shall be installed as required in section R703.2 and,

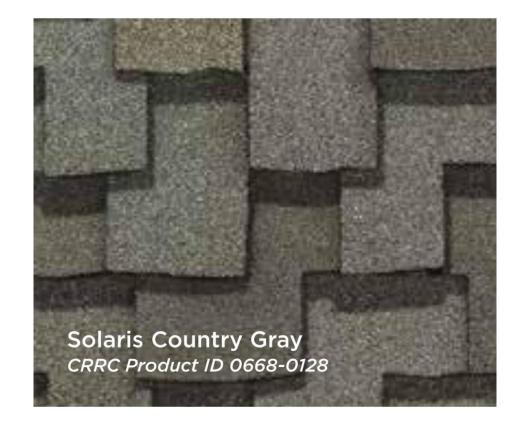
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ROOF

MANUFACTURE: CERTAINTEED

MATERIAL: COMPOSITE ASPHALT SHINGLE

MODEL: PRESIDENTIAL TL COLOR: COUNTRY GRAY



BULB

MANUFACTURE: FEIT ELECTRIC 4.5 WATTS WATTS:

250 LUMENS: E26 BASE BULB TYPE:



FIXTURE A

MANUFACTURE: FRANKLIN IRON WORKS

T24 COMPLIANT: YES COLOR: BLACK

WATTS: SEE LIGHT BULB SEE LIGHT BULB LUMENS:

BULB TYPE: STANDARD 10.5"H X 12"W **DIMENSIONS:**

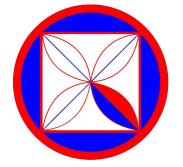


FIXTURE B

MANUFACTURE: KICHLER

4.3 WATTS WATTS:

BULB TYPE: LED



EXTERIOR LIGHTING NOTES

REVISED PLANNING

SUBMITTAL 5/14/25

IN POWER PER FIXTURE.

PROPERTY.

WALKWAY

COLOR:

MANUFACTURE: CARMEL STONE

INSTALLATION: SET ON SAND

NATURAL

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS

(INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS)

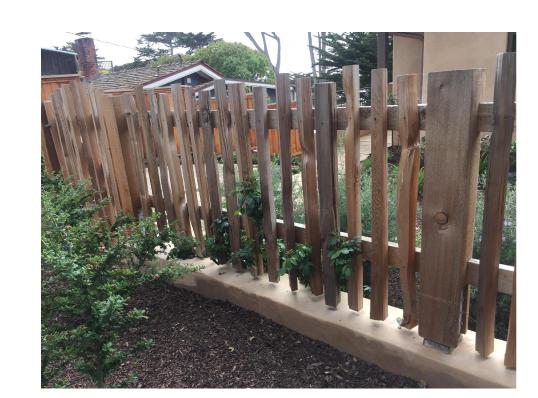
2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAT 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFETY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT

MATERIALS (PROPOSED)

T24 COMPLIANT: YES COLOR: BRONZE

294 LUMENS:

18"H X 6.25"W **DIMENSIONS:**



NEW 4-FOOT FENCE

MATERIAL: REDWOOD FINISH: NATURAL HEIGHT: 4-FT.



DRIVEWAY

MANUFACTURE: CALSTONE COLOR:

OAK BARREL GRAY INSTALLATION: SET ON SAND



PATIO

MANUFACTURE: CARMEL STONE COLOR:

NATURAL SET ON SAND INSTALLATION:



NEW 6-FOOT FENCE

MATERIAL: REDWOOD FINISH: NATURAL 6-FT. HEIGHT:

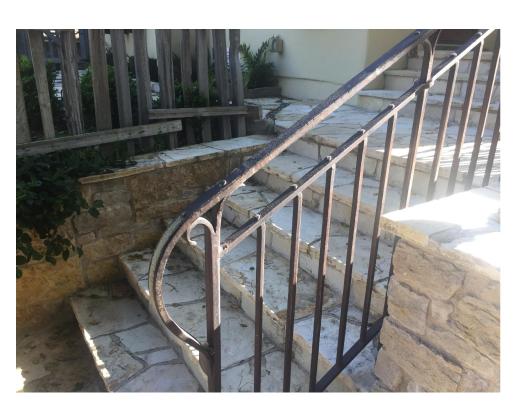


STONE VENEER MANUFACTURE: BEUCHELSTONE

PATTERN:

MATERIAL: NATURAL SAND-STONE BROWN TO BUFF WITH OCCASIONAL GRAY COLOR:

UNCOURSE AND ROUGHLY SQUARED



MANUFACTURE: CUSTOM BRONZE COLOR: MATERIAL:

GUARDRAIL

ROUGH IRON, GALV.

ROOF

MANUFACTURE: CERTAINTEED

MATERIAL: COMPOSITE ASPHALT SHINGLE MODEL: PRESIDENTIAL TL COLOR: COUNTRY GRAY



BULB

MANUFACTURE: FEIT ELECTRIC WATTS: 4.5 WATTS 250 LUMENS: BULB TYPE: E26 BASE



FIXTURE A

MANUFACTURE: FRANKLIN IRON WORKS

T24 COMPLIANT: YES COLOR: BLACK

WATTS: SEE LIGHT BULB LUMENS: SEE LIGHT BULB BULB TYPE: STANDARD **DIMENSIONS:** 10.5"H X 12"W



FIXTURE B

MANUFACTURE: KICHLER T24 COMPLIANT: YES COLOR: BRONZE WATTS: 4.3 WATTS LUMENS: 294

BULB TYPE: LED 18"H X 6.25"W **DIMENSIONS:**

EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.

2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAT 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFETY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

PREVIOUSLY APPROVED **PLANS**

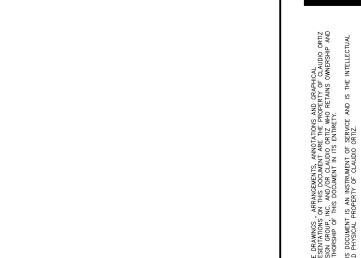
WALKWAY

COLOR:

MANUFACTURE: CARMEL STONE

INSTALLATION: SET ON SAND

NATURAL



NEW 4-FOOT FENCE

MATERIAL: REDWOOD FINISH: NATURAL 4-FT. **HEIGHT:**



DRIVEWAY

MANUFACTURE: CALSTONE COLOR: OAK BARREL GRAY INSTALLATION: SET ON SAND



PATIO

MANUFACTURE: CARMEL STONE COLOR: NATURAL INSTALLATION: SET ON SAND



GUARDRAIL

MANUFACTURE: CUSTOM BRONZE COLOR: ROUGH IRON, GALV. MATERIAL:



NEW 6-FOOT FENCE

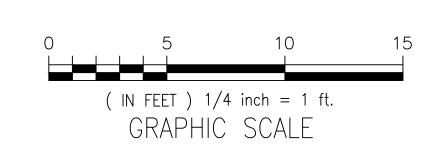
MATERIAL: REDWOOD FINISH: NATURAL 6-FT. **HEIGHT:**



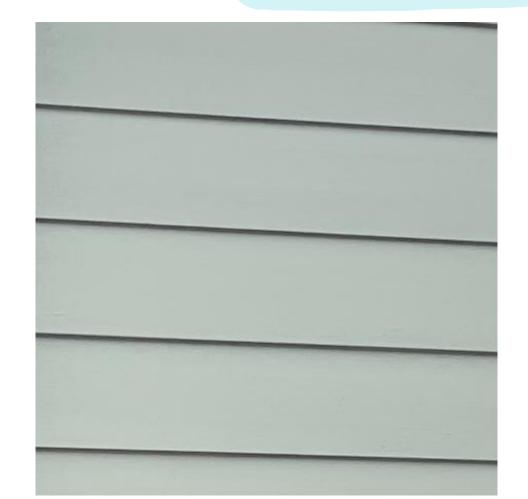
STONE VENEER MANUFACTURE: BEUCHELSTONE NATURAL SAND-STONE MATERIAL:

COLOR:

BROWN TO BUFF WITH OCCASIONAL GRAY UNCOURSE AND ROUGHLY SQUARED PATTERN:







BODY COLOR

SHERWIN WILLIAMS TYPE: PAINT

COLOR: FINISH: SATIN



TRIM COLOR

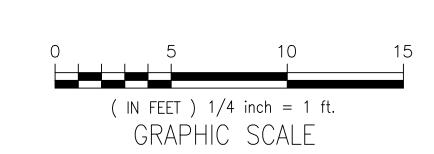
MANUFACTURE: SHERWIN WILLIAMS TYPE: PAINT COLOR: WHITE FINISH: SATIN

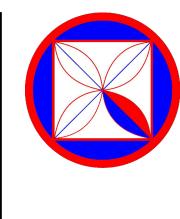


GARAGE DOOR COLOR

CABOT MANUFACTURE: TYPE: SEMI TRANSPARENT STAIN COLOR:

ACORN SATIN FINISH:





MATERIALS
(PROPOSED)

Clad Aspen Casement Operable 4 9/16" JAMB HEAD & SILL DETAIL
CLAD ASPEN CASEMENT
CONTEMPORARY PROFILE

SIERRA PACIFIC WINDOWS

WINDOW MANUFACTURE: SIERRA PACIFIC DEEP TAUPE 077 COLOR: MATERIAL: WOOD-CLAD STYLE: CASEMENT MUNTIN: 7/8" PUTTY





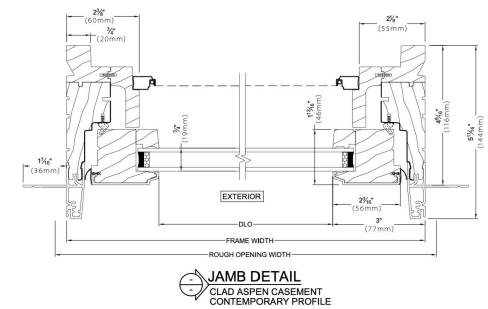
Updated: 11/18

www.sierrapacificwindows.com 800-824-7744

JAMB DETAIL
CLAD ASPEN CASEMENT
CONTEMPORARY PROFILE

Note: Sierra Pacific Windows reserves the right to change specifications without notice.

- HEAD & SILL DETAIL
- CLAD ASPEN CASEMENT
CONTEMPORARY PROFILE





www.sierrapacificwindows.com 800-824-7744

Updated: 11/18 Note: Sierra Pacific Windows reserves the right to change specifications without notice.

WINDOW

MANUFACTURE: SIERRA PACIFIC COLOR: DEEP TAUPE 077 MATERIAL: WOOD-CLAD STYLE: CASEMENT MUNTIN: 7/8" PUTTY

Deep Taupe 077



PREVIOUSLY APPROVED **PLANS**

SW 7568 **Neutral Ground** Interior / Exterior Location Number: 261-C5

BODY COLOR

MANUFACTURE: SHERWIN WILLIAMS

TYPE: PAINT SW 7568 NEUTRAL GROUND COLOR:

SATIN FINISH:



Acorn

TRIM & GARAGE DOOR COLOR

MANUFACTURE: CABOT TYPE: SOLID STAIN

COLOR: ACORN FINISH: SATIN

MATERIALS

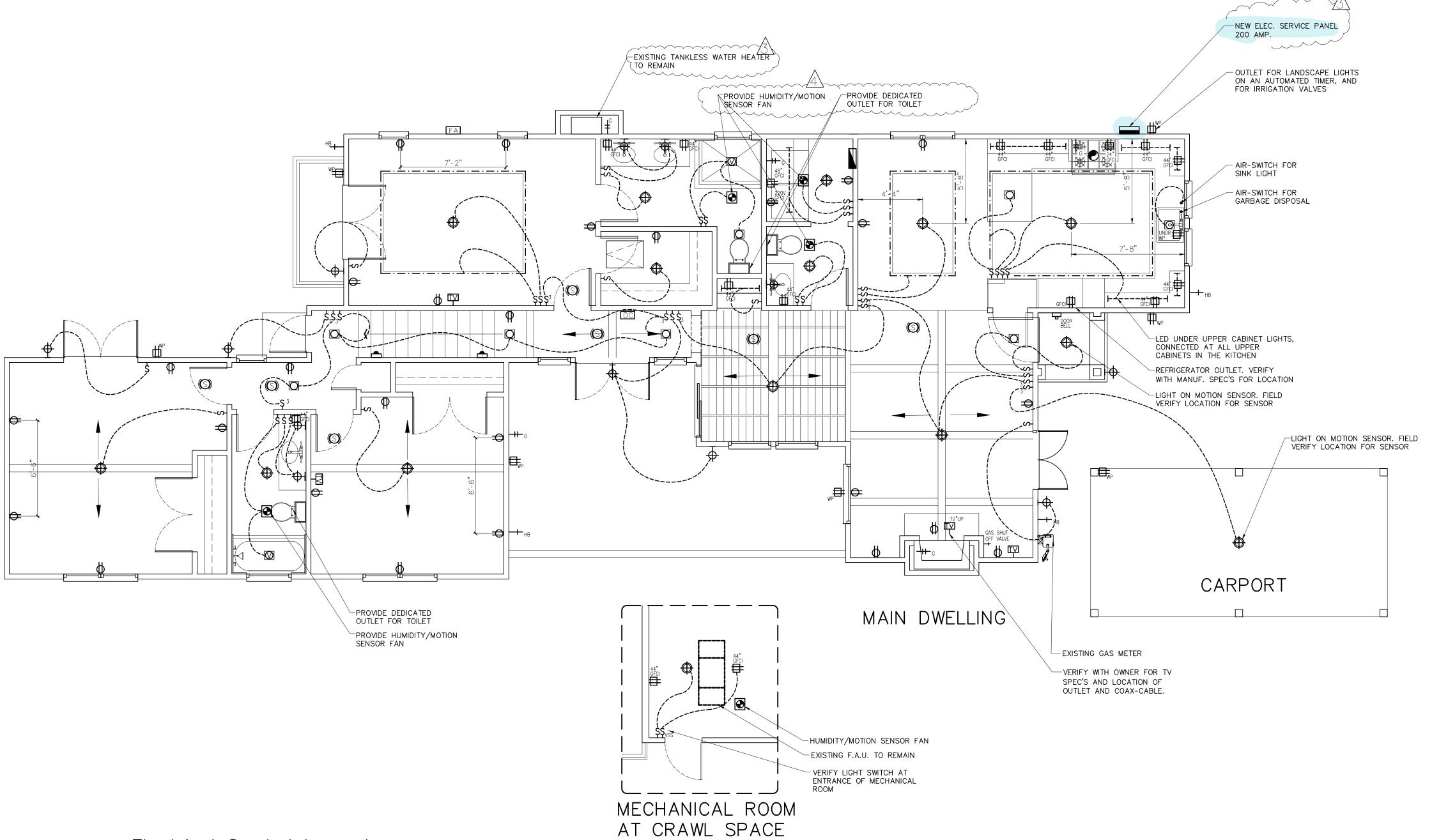
(PROPOSED)

(IN FEET) 1/4 inch = 1 ft. GRAPHIC SCALE

ELECTRICAL (PROPOSED)

SCALE: 1' = 1/4"

E 1 1



Electrical Symbol Legend

ELECTRICAL OUTLET LEGEND

1/2 CONVENIENCE 110V RECEPTACLE

ALL INSULATED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2016 CERTIFIED LABELED.

UNDER COUNTERS, SHELVES, DESKS, ETC RECEPTACLE.

GROUND FAULT CURRENT INTERRUPTER RECEPTACLE

110V RECEPTACLE (12" OFF THE FLOOR UNLESS NOTED OTHERWISE)

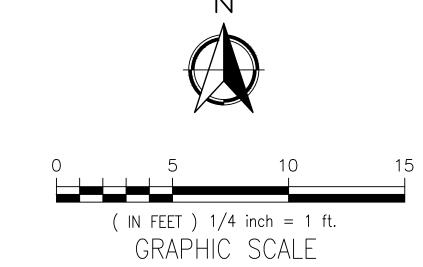
= wP	GFI AND WATER PROOF RECEPTACLE				
₽F	GFI FLOOR RECEPTACLE				
CLN	GFI CEILING RECEPTACLE				
€	⊕ 240V RECEPTACLE				
*THE AFCI TA	AMPER RESISTANT OF THE 2019 CEC APPLY TO THIS PROJECT.				
	ELECTRICAL SWITCH LEGEND				
-5	LIGHT SWITCH				
- ഗ 2	-•••2 DOUBLE LIGHT SWITCH				
-ഗ 3	3-WAY LIGHT SWITCH				
- v _{ADS}	AUTOMATIC DOOR LIGHT SWITCH				
-∽ _{GDS}	-O _{CDS} GARAGE DOOR LIGHT SWITCH				
- ~	-0/VSS VACANCY SENSOR LIGHT SWITCH				
-∽ _{DM}					

	ELECTRICAL FIXTURES LEGEND			
	LED LIGHT STRIP			
→ WATTS W.P.	EXTERIOR WALL FIXTURE WATER PROOF (HIGH EFFICACY LUMINAIRES)			
	SURFACE MOUNT FLOURESCENT FIXTURE (18-INCHES LONG)			
	LED STRIP LIGHT (UPPER CABINET TOP & BOTTOM)			
O	HIGH EFFICACY LIGHTING (ADJUSTABLE)			
O	HIGH EFFICACY LIGHTING (DOWN LIGHT)			
•	RECESSED, LOW VOLTAGE ACCENT LIGHT.			
\bigcirc	VAPOR-RESISTANT LIGHT FIXTURE			
MINIATURE LOW VOLTAGE DOWNLIGHT INTEGRATED INTO NICHE OR SHELF.				
- •	RECESSED LOW VOLTAGE DOWNLIGHT W/ ADJUSTABLE TRIM.			
•	DECORATIVE CEILING FIXTURE (HIGH EFFICACY LUMINARIES)			
(DECORATIVE CEILING FIXTURE (DIMMABLE)			
Ι 	WALL SCONCES (HIGH EFFICACY LUMINARIES)			
<u></u>	RECESSED WALL MOUNTED LIGHTING			

	MISCELLANEOUS ELECTRICAL SYMBOL LEGEND				
TV	CABLE TV				
>	TELEPHONE				
	ELECTRIC GARAGE DOOR OPENER				
) EXHAUST FAN				
→ _{HB}	HOSE BIB WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE ANTI-SYPHON DEVICES REQUIRED AT ALL EXTERIOR HOSE BIBBS.				
 G	GAS VALVE				
	200-AMP SUB PANEL				
	ELECTRICAL METER				
•	EXHAUST FAN (ENERGY STAR) SEPARATE SWITCHES				
	CARBON MONOXIDE ALARM - BATTERY AND HARDWIRED				
(S)	COMBO - SMOKE ALARM & CARBON MONOXIDE ALARM				
	GAS METER				
FA	FIRE ALARM				
DC	DOOR CHIME				

Electrical Notes

1. ALL BATHROOMS TO HAVE A DEDICATED OUTLET FOR TOILET.
2. ALL BATHROOMS TO HAVE HUMIDITY/MOTION SENSOR FAN
3. ALL ELECTRICAL SHOULD BE COMPLETED PER CURRENT CA
RESIDENTIAL, ELECTRICAL, AND MUNICIPAL CODES.
4. SEE ADDITIONAL ELECTRICAL NOTES ON SHEET E1.1



Cruz Residence - WITH NEW ADDITION

#8 Lights & recetpacles lights
#9 Bath/Fan Light
#10 FAU System
#11 Tankless water heater

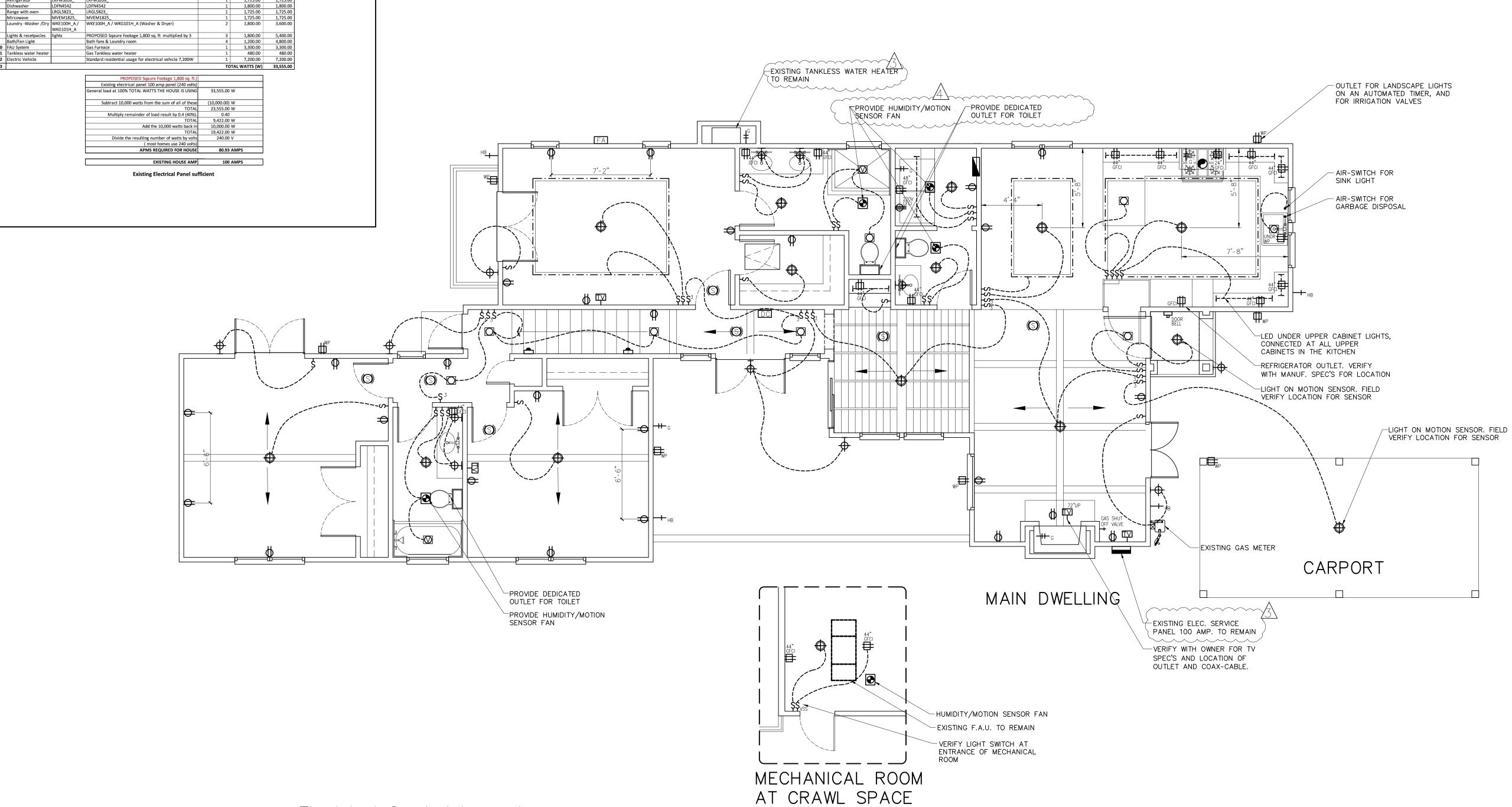
Address: Monte Verde 3 NW of 11th Carmel-By-The-Sea CA

ELECTRICAL CALCULATIONS

Quantity WATTS (W) TOTAL WATTS

ELECTRICAL (PROPOSED)

SCALE: 1' = 1/4"



E	Elect	rical	Sy	ymb	ol L	_ege	enc	
	INIONII ATED		01111	DE 111011	EEE:0.10.4	EITLIED	LIOTED	D) / 6

ELECTRICAL OUTLET LEGEND

→ DIMMER LIGHT SWITCH

ALL INSULATED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2016 CERTIFIED LABELED.

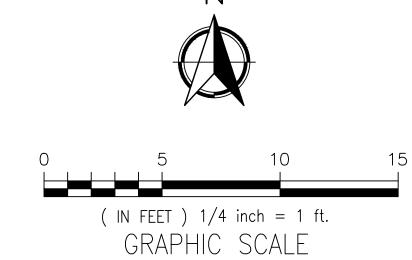
	1/2 CONVENIENCE 110V RECEPTACLE				
⊕ uc	UNDER COUNTERS, SHELVES, DESKS, ETC RECEPTACLE.				
+	110V RECEPTACLE (12" OFF THE FLOOR UNLESS NOTED OTHERWISE)				
₽ GFCI	GROUND FAULT CURRENT INTERRUPTER RECEPTACLE				
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*THE AFCI TA	*THE AFCI TAMPER RESISTANT OF THE 2019 CEC APPLY TO THIS PROJECT.				
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-∽ _{GDS}	GARAGE DOOR LIGHT SWITCH				
- v _{VSS}	VACANCY SENSOR LIGHT SWITCH				

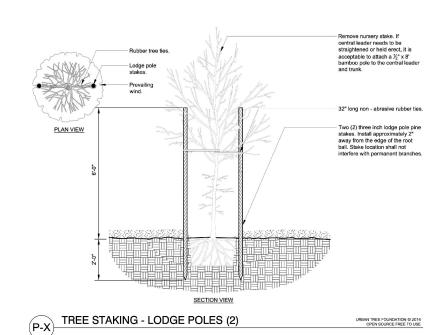
	ELECTRICAL FIXTURES LEGEND
	LED LIGHT STRIP
→ WATTS W.P.	EXTERIOR WALL FIXTURE WATER PROOF (HIGH EFFICACY LUMINAIRES)
	SURFACE MOUNT FLOURESCENT FIXTURE (18-INCHES LONG)
\vdash	LED STRIP LIGHT (UPPER CABINET TOP & BOTTOM)
0	HIGH EFFICACY LIGHTING (ADJUSTABLE)
O	HIGH EFFICACY LIGHTING (DOWN LIGHT)
•	RECESSED, LOW VOLTAGE ACCENT LIGHT.
	VAPOR-RESISTANT LIGHT FIXTURE
+	MINIATURE LOW VOLTAGE DOWNLIGHT INTEGRATED INTO NICHE OR SHELF.
••	RECESSED LOW VOLTAGE DOWNLIGHT W/ ADJUSTABLE TRIM.
	DECORATIVE CEILING FIXTURE (HIGH EFFICACY LUMINARIES)
\Phi	DECORATIVE CEILING FIXTURE (DIMMABLE)
Ф	WALL SCONCES (HIGH EFFICACY LUMINARIES)
-	RECESSED WALL MOUNTED LIGHTING

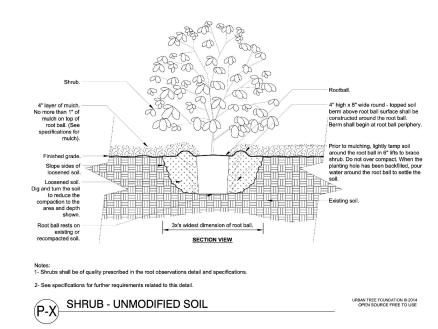
MISCELLANEOUS ELECTRICAL SYMBOL LEGEND
CABLE TV
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RESIDENTIAL, ELECTRICAL, AND MUNICIPAL CODES.
4. SEE ADDITIONAL ELECTRICAL NOTES ON SHEET E1.1







WATER EFFICIENCY LANDSCAPE WORKSHEET

uz Residence Idress: Monte Ver	rde 3 NW of 11th	Carmel-By-T	he-Sea CA				3/28/24		
	Reference Evapotranspiration (Eto) 33.00								
						8	Estimated Total		
							Water Use: ETWU		
HydroZOne			Irrigation		Landscape		=		
#/Planting	Plant	Irrigation	Efficiency	ETAF	Area (LA)	ETAF x	Eto*0.62*ETAF*Ar		
Description	Factor (PF)	Method	(IE)	(PF/IE)	sq.ft.	LA	ea		
gular landscpae	areas								
ne #1- Front	0.4	drip	0.81	0.49	647.00	319.51	6,537.10		
ne #2-Side	0.4	drip	0.81	0.49	544.00	268.64	5,496.41		
ne #3- Rear	0.4	drip	0.81	0.49	427.00	210.86	4,314.28		
					Α	В			
		,		TOTALS	1,618.00	799.01	16,347.79		
eacial Landscpa	e Areas								
ne				1.00	-	1.50			
ne				1.00	-	-	-		
ne				1.00	-	5 = 8	1 100 € 10		
					С	D			
				TOTALS	-	12	· =		
						ETIANI T-4-1	4004770		

Maximum Allowas Water Allowance (MAWA)

year to gallons per square foot per year

^a Hydrozone #/Planting Description E.g 1.) front lawn	^b Irrigation Method overhead spray or drip	^c Irrigation Efficiency 0.75 for spray head 0.81 for drip	dETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area where 0.62 is a conversion
2.) low water use plantings 3.) medium water use planting *MAM (Annual Callons Allowed) = (I	Eto) (0.62) [(ETAF x LA)		factor that converts acre- inches per acre per year to gallons per square foot per year.
+ ((1-ETAF) x SLA)) where 0.62 is a conversion faction inches per acre per year to gayear, LA is the total landscape is the total special landscape and ETAF is .55 for residentia	llons per square foot per area in square feet, SLA area in square feet,		

ETAF Calculations

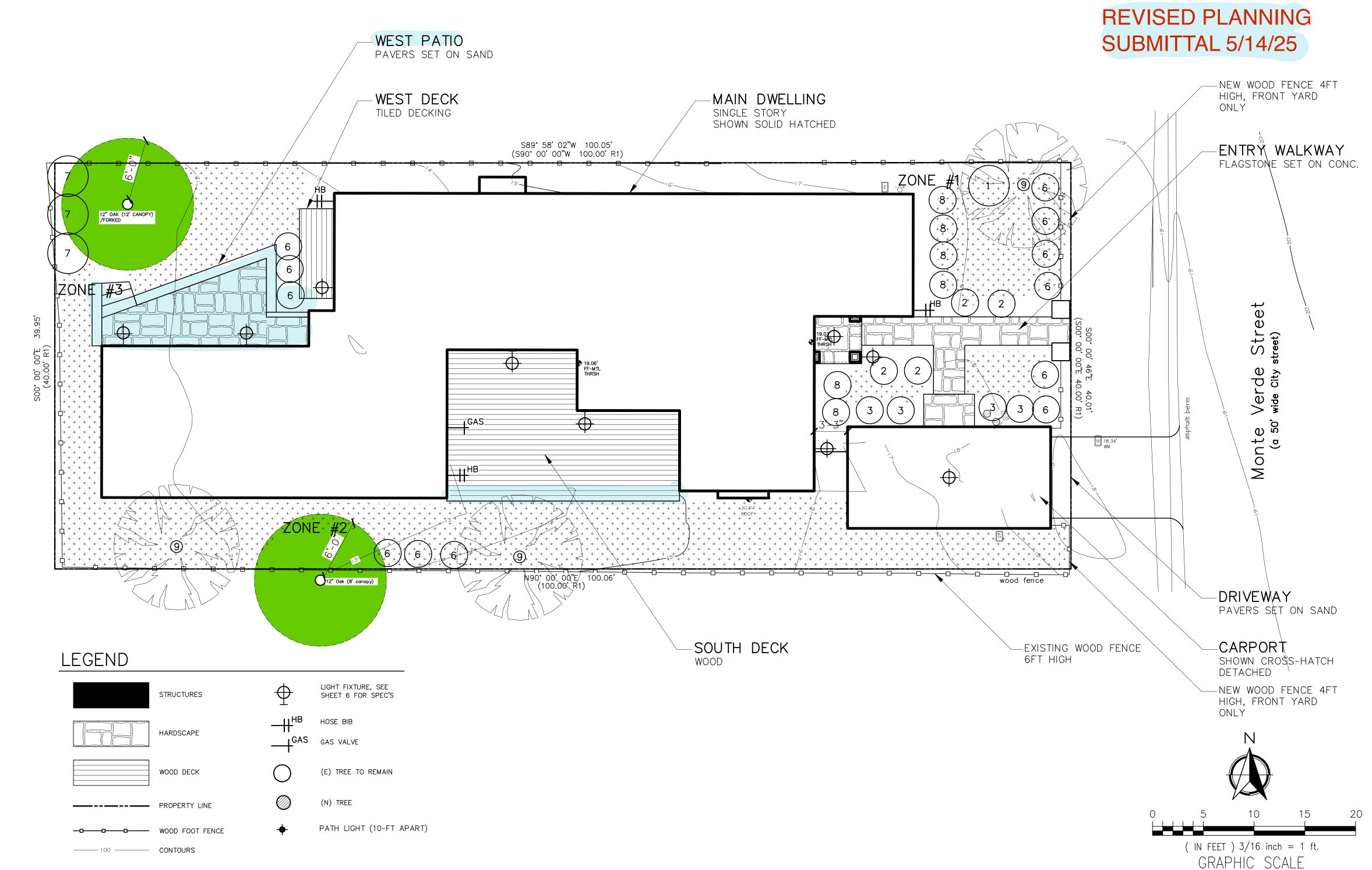
residential areas.

Regular Landscape areas Total ETAF * Area		799.01	
	В		Average ETAF for Regular Landscape Areas mu- be 0.55 or below for residential areas, and 0.45 or
TotalArea	A	1,618.00	below for non-residential areas.
Average ETAF	B/A	0.49	
Al Landscape Areas			
Al Landscape Areas Total ETAF * Area	B+D	799.01	

Compost: Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).

Plant Water Use: Residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or

creeping or rooting groundcovers. Turf: 1.)Total turf area shall not exceed 25% of the landscape area. 2.) Turf is not allowed in non-residential projects. 3.) Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. 4.) Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff. Irrigation: 1.) Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor. 2.) Irrigation controller programming data will not be lost due to an interruption in the primary power source. 3.) Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff. A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more.



EXTERIOR LIGHTING NOTES PROTECTION

ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.

LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAT 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFETY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

IRRIGATION NOTES

THE LANDSCAPE AREA

- . NO TURF TO BE INSTALLED 2. COMPOST AT THE RATE OF 4 CUBIC YARD PER 1,000 SQ.FT. TO BE INCORPORATED TO A DEPTH OF 6" INTO
- 3. ALL LANDSCAPE AREA TO RECEIVE 3" OF TOP DRESSING
- 4. IRRIGATION SYSTEM TO HAVE AN AUTOMATIC RENEGOTIATION CONTROLLER THAT HAS A SOIL MOISTURE SENSING DEVICE AND RAIN SENSOR.
- AN NON-VOLATILE MEMORY. 6. IRRIGATION SYSTEM TO BE SUBSURFACE PONT OF DRIP. VLAVES TO HAVE PRESSURE REGULATORS TO SYSTEM WITHIN MANUFACTURE'S PRESSURE RANGE. SHUT OFF VALVES TO BE CLOSE TO POINT OF CONNECTION.

5. IRRIGATION CONTROLLER TO HAVE A BATTERY BACKUP

TREE PRESERVATION & TREE

- PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED. EXCAVATION WITHIN 6-FEET OF A TREE TRUNK IS NOT
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE
- ATTACHED TO ANY TREE. PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON
- NEIGHBORING PARCELS. IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT
- ROOTS FROM BEING DAMAGED. IF ROOTS ARE LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTAIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.

CITY FORESTER REQUIREMENTS

- 6FT SETBACK FROM TREE TO BUILD FOOTPRINT AND STRUCTURE.
- EXCAVATION WITHIN THE STRUCTURAL ROOT ZONES, 15FT AREA AROUND TREES MIN., SHALL BE BE DUG BY HAND OR PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT
- DOES NOT SEVER ROOTS. PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF APROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS. THE STORAGE AREA, CONCRETE WASHOUT AND PAINT AND SOLVENT CLEAN
- OUT AREA NEED TO BE MOVED. ALL MEASUREMENTS FROM THE SETBACK LINE TO PROPERTY BOUNDARY LINE SHALL BE MEASURE FROM THE FINISHED EXTERIOR
- PITTOSPORUM & ACACIA ARE NOT PERMITTED. ERADICATE ANY IVY FROM THE LOT AND PLANTS LISTED ON THE CALIFORNIA NOXIOUS

SURFACE OF THE STRUCTURE.

WEED LIST. SECTION 17.34.060 B 1 OF THE MUNICIPAL CODE STATES: "PLANT MATERIAL LOCATED | AREAS VISIBLE FROM THE STREET OR OTHER PUBLIC PLACES SHALL BE ARRANGED IN A RELAXED, INFORMAL PATTERN CONSISTENT

WITH THE CHARACTER OF THE CARMEL FOREST. FORMAL. UNNATURAL ARRANGEMENTS SHALL BE AVOIDED EXCEPT FOR FOCAL POINTS." ARRANGE PLANTS TO NOT BE IN STRAIT LINES.

	PLANT INDEX						
$\frac{1}{1}$	No.	BOTANICAL NAME	COMMON NAME	SIZE			
	1	CHOISYA ARIZONICA 'AZTEC PEARL'	MEXICAN ORANGE	5 GAL			
	2	ARCTOSTAPHYLOS	ARCTOSTAPHYLOS "PACIFIC MUST"	5 GAL			
	3	WOODWARDIA FIMBRIATA	WOODWARDIA FIMBRIATA	5 GAL			
	6	RHAMNUS CALIFORNIA	RHAMNUS CALIFORNIA "EVE CASE"	5 GAL			
	7	RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL			
	8	PETITE BUTTERFLY	SWEET PEA SHRUB	5 GAL			
	9	PINUS RADIATA	MONTEREY PINE	15 GAL			
	+ + + + + + + + + + + + + + + + + + + +	WOOD CHIPS					

LIGHT KEY

PATH LIGHT, 3 WATTS LED, SEE FIXTURE "B" ON SHEET 6.0 MAY NOT BE SPACED CLOSER THAN 10-FEET APART

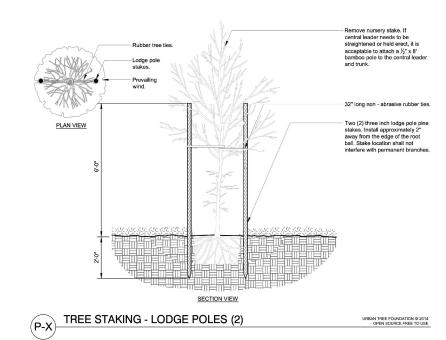
REVIONS:

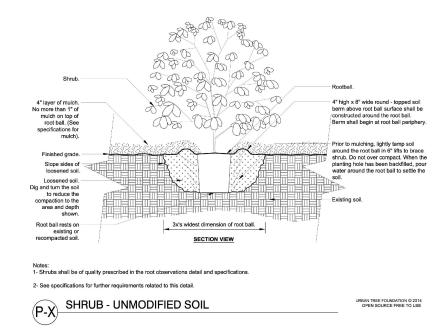
Q ESIDENCE VERDE 3 E LOTS

 \triangleleft SC AND:

SCALE: 1' = 3/16"

Approved 6/19/2025





WATER EFFICIENCY LANDSCAPE WORKSHEET

3/28/24

inches per acre per year to gallons per square foot per

Cruz Residence Address: Monte Verde 3 NW of 11th Carmel-By-The-Sea CA

Refere	nce Evapotrans	piration (Eto)	33.00				
HydroZOne			Irrigation		Landscape		Estimated Total Water Use: ETWU
#/Planting	Plant	Irrigation	Efficiency	ETAF	Area (LA)	ETAF x	Eto*0.62*ETAF*Ar
Description	Factor (PF)	Method	(IE)	(PF/IE)	sq.ft.	LA	ea
Regular landscpa	e areas	•					
Zone #1- Front	0.4	drip	0.81	0.49	647.00	319.51	6,537.10
Zone #2-Side	0.4	drip	0.81	0.49	544.00	268.64	5,496.41
Zone #3- Rear	0.4	drip	0.81	0.49	427.00	210.86	4,314.28
					Α	В	
				TOTALS	1,618.00	799.01	16,347.79
Speacial Landscp	ae Areas						
None				1.00	-	-	
None				1.00	-	-	-
None				1.00	-	-	-
					С	D	
				TOTALS	-	-	-
						ETWU Total	16,347.79
			Mayi	mum Allowa	s Water Allowa		(0.00)
1			IVIAXI	iliulii Allowa:	s water Allowa	ICE LIVIAWA)	1 10.347.79

year to gallons per square foot per year ^dETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area Hydrozone #/Planting Description ^bIrrigation Method overhead spray or drip 0.75 for spray head where 0.62 is a conversion factor that converts acre-2.) low water use plantings

3.) medium water use planting *MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)] where 0.62 is a conversion factor that converts acreinches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

ETAF Calculations

Compost: Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).

Plant Water Use: Residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or

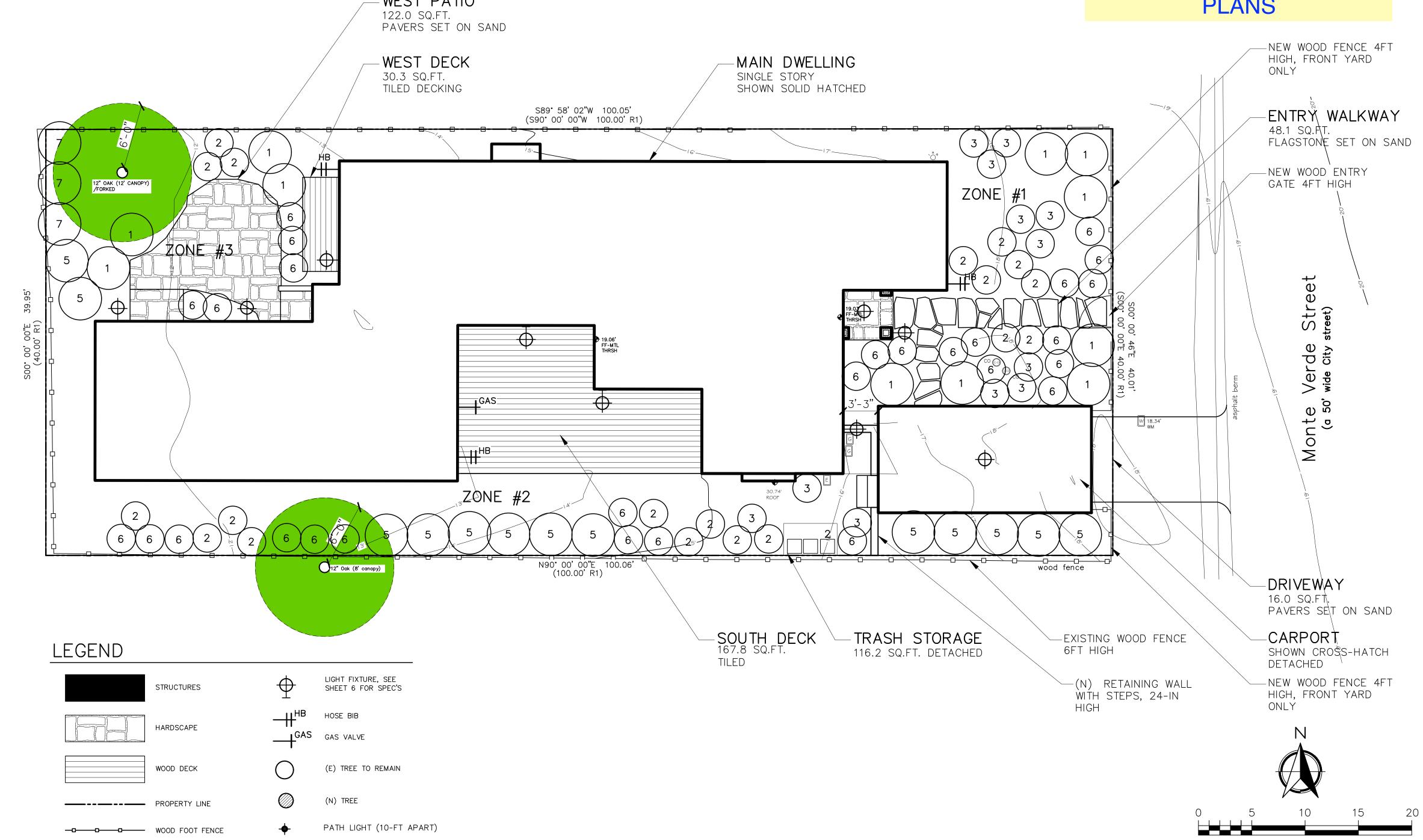
creeping or rooting groundcovers. Turf: 1.)Total turf area shall not exceed 25% of the landscape area. 2.) Turf is not allowed in non-residential projects. 3.) Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width.

4.) Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.

Irrigation: 1.) Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor. 2.) Irrigation controller programming data will not be lost due to an interruption in the primary power source.

3.) Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff. A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more.

PREVIOUSLY APPROVED WEST PATIO **PLANS** 122.0 SQ.FT. PAVERS SET ON SAND



EXTERIOR LIGHTING NOTES

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- ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
- LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAT 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFETY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

IRRIGATION NOTES

- 1. NO TURF TO BE INSTALLED 2. COMPOST AT THE RATE OF 4 CUBIC YARD PER 1,000 SQ.FT. TO BE INCORPORATED TO A DEPTH OF 6" INTO THE LANDSCAPE AREA
- 3. ALL LANDSCAPE AREA TO RECEIVE 3" OF TOP DRESSING MULCH 4. IRRIGATION SYSTEM TO HAVE AN AUTOMATIC
- RENEGOTIATION CONTROLLER THAT HAS A SOIL MOISTURE SENSING DEVICE AND RAIN SENSOR. 5. IRRIGATION CONTROLLER TO HAVE A BATTERY BACKUP
- AN NON-VOLATILE MEMORY. 6. IRRIGATION SYSTEM TO BE SUBSURFACE PONT OF DRIP. VLAVES TO HAVE PRESSURE REGULATORS TO SYSTEM WITHIN MANUFACTURE'S PRESSURE RANGE. SHUT OFF VALVES TO BE CLOSE TO POINT OF CONNECTION.

TREE PRESERVATION & TREE PROTECTION

- PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
- EXCAVATION WITHIN 6-FEET OF A TREE TRUNK IS NOT PFRMITTED. 3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE
- ATTACHED TO ANY TREE. 4. PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS.
- IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED.
- IF ROOTS ARE LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTAIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.

CITY FORESTER REQUIREMENTS

- 6FT SETBACK FROM TREE TO BUILD FOOTPRINT AND STRUCTURE.
- EXCAVATION WITHIN THE STRUCTURAL ROOT ZONES, 15FT AREA AROUND TREES MIN., SHALL BE BE DUG BY HAND OR PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS. PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF APROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS. THE STORAGE AREA, CONCRETE
- WASHOUT AND PAINT AND SOLVENT CLEAN OUT AREA NEED TO BE MOVED. . ALL MEASUREMENTS FROM THE SETBACK LINE TO PROPERTY BOUNDARY LINE SHALL BE MEASURE FROM THE FINISHED EXTERIOR SURFACE OF THE STRUCTURE. . PITTOSPORUM & ACACIA ARE NOT
- PERMITTED. ERADICATE ANY IVY FROM THE LOT AND PLANTS LISTED ON THE CALIFORNIA NOXIOUS WEED LIST. SECTION 17.34.060 B 1 OF THE MUNICIPAL
- CODE STATES: "PLANT MATERIAL LOCATED I AREAS VISIBLE FROM THE STREET OR OTHER PUBLIC PLACES SHALL BE ARRANGED IN A RELAXED, INFORMAL PATTERN CONSISTENT WITH THE CHARACTER OF THE CARMEL FOREST. FORMAL, UNNATURAL ARRANGEMENTS SHALL BE AVOIDED EXCEPT FOR FOCAL POINTS." ARRANGE PLANTS TO NOT BE IN STRAIT LINES.

PLA	ANT INDEX		
No.	BOTANICAL NAME	COMMON NAME	SIZE
1	DONONAEA ATROPURPOREA	DONONAEA ATROPURPUREA	5 GAL
2	ARCTOSTAPHYLOS	ARCTOSTAPHYLOS "PACIFIC MUST"	5 GAL
3	WOODWARDIA FIMBRIATA	WOODWARDIA FIMBRIATA	5 GAL
4	LOMANDRA LONGIFOLIA	LOMANDRA LONGIFOLIA BREEZE	5 GAL
5	CEANOTHUS	CEANOTHUS "JULIA PHELPS"	5 GAL
6	RHAMNUS CALIFORNIA	RHAMNUS CALIFORNIA "EVE CASE"	5 GAL
7	LIGUSTRUM JAPONICUM 'TEXANUM'	WAXLEAF PRIVET	5 GAL
PINE	PINUS RADIATA	MONTEREY PINE	15 GAL

LIGHT KEY

PATH LIGHT, 3 WATTS LED, SEE FIXTURE "B" ON SHEET 6.0 MAY NOT BE SPACED CLOSER THAN 10-FEET APART

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SIDENCE ERDE 3 NV LOTS:1 -185-007

(IN FEET) 3/16 inch = 1 ft.

GRAPHIC SCALE

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SCALE: 1' = 3/16"