



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 25133

Owner Name: Michelle Comeau

Case Planner: Evan Kort, Senior Planner

Date Posted: _____

Date Approved: 06/27/2025

Project Location: Santa Fe 3 NE of 5th Ave

APN #: 010037009000 **BLOCK/LOT:** 46/ALL LOT 16

Applicant: Holdren Lietzke Architecture

Project Description: Approval of this Design Study (DS 25133) authorizes approval for amendments to previously approved design study (DS 24096) for alterations at an existing single-family residence with an active building permit (BP 240503) located on Santa Fe 3 NE 5th in the Single Family Residential (R-1) District. Modifications approved under this Design Study include: 1. Remove windows (#4, #5, & #17) and relocate another (#27) at master closet to the center of the room (#27); and 2. Replace Glass Railings with Steel Rod Railings; and 3. Relocate Gas Meter; Alterations not expressly listed in this authorization are not permitted. The project shall be constructed consistent with the plans application materials dated approved by Community Planning & Building Department on June 27, 2025, unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL	
No.	
1.	<p>Authorization. Approval of this Design Study (DS 25133) authorizes approval for amendments to previously approved design study (DS 24096) for alterations at an existing single-family residence with an active building permit (BP 240503) located on Santa Fe 3 NE 5th in the Single Family Residential (R-1) District. Modifications approved under this Design Study include:</p> <ol style="list-style-type: none"> 1. Remove windows (#4, #5, & #17) and relocate another (#27) at master closet to the center of the room (#27); and 2. Replace Glass Railings with Steel Rod Railings; and 3. Relocate Gas Meter; <p>Alterations not expressly listed in this authorization are not permitted.</p> <p>The project shall be constructed consistent with the plans application materials dated approved by Community Planning & Building Department on June 27, 2025, unless modified by the conditions of approval contained herein.</p>
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Department.</p>
3.	<p>Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>
4.	<p>Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>
5.	<p>Conditions of Approval. These Conditions of Approval shall be signed and returned to the Community Planning and Building Department prior to the issuance of a Building Permit/Building Permit Revision. These signed conditions shall also be printed on a full size plan sheet in the building plan set along with any prior conditions of approval of prior Design Study Applications.</p>
6.	<p>Building Permit Revision. A revision to BP 240503 is required prior to commencement of work.</p>
7.	<p>Prior Conditions of Approval. All conditions of approval of the previous Design Study approval(s) shall also apply to this approval unless expressly otherwise noted within these Conditions of Approval. Further, the previous approval remains in full force and effect unless otherwise modified by this action.</p>

*Acknowledgement and acceptance of conditions of approval.

<hr style="border: 0; border-top: 1px solid black; margin-bottom: 10px;"/> Property Owner Signature	<hr style="border: 0; border-top: 1px solid black; margin-bottom: 10px;"/> Printed Name	<hr style="border: 0; border-top: 1px solid black; margin-bottom: 10px;"/> Date
<hr style="border: 0; border-top: 1px solid black; margin-bottom: 10px;"/> Applicant Signature	<hr style="border: 0; border-top: 1px solid black; margin-bottom: 10px;"/> Printed Name	<hr style="border: 0; border-top: 1px solid black; margin-bottom: 10px;"/> Date

Once signed, please email to ekort@ci.carmel.ca.us.

MEYROSE - COMEAU Residence

OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

1. TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY HOLDREN + LIETZKE ARCHITECTURE HEREINAFTER REFERRED TO AS "ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.

2. THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR, NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IS THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.

3. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.

4. IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

GENERAL NOTES

1. **CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.

2. **SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.

3. **QUALITY CONTROL:** IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.

4. **WARRANTY:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.

5. **PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.

6. **LEGAL/NOTICES/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNERS IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2001 U.B.C.)

7. **RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.

8. **SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK AND SHALL ADHERE TO ALL FEDERAL, LOCAL, STATE & O.S.H.A. SAFETY REGULATIONS.

9. **INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.

10. **INDEMNIFICATION:** THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CONSEQUENTIAL CLAIMS/DAMAGES/LOSSES/AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.

11. **CLEANING UP:** THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.

12. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNERS OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.

13. ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.

14. **BUILDING CODES:** ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2022 EDITION OF THE CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, PLUMBING, MECHANICAL, FIRE & ENERGY CODES, AND 2020 NEC & CARMEL MUNI. CODE.

15. **GRADING:** NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION. ALL CUT AND/OR FILL OF SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED WITH NATIVE GRASSES OR OTHERWISE TREATED TO CONTROL EROSION.

16. **SHOP DRAWINGS:** PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, CLUE LAMINATED BEAMS AND PREFABRICATED TRUSSES. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.

17. **CHANGE ORDERS:** NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND BINDING.

18. **CONSTRUCTION BRACING & SHORING:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.

19. **SIMILAR CONDITIONS:** CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.

20. **DISCREPANCIES:** THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNERS PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.

21. **TECHNICAL SPECIFICATIONS:** ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

22. **SUBSEQUENT CHANGES:** ADDITIONAL CONSTRUCTION, LANDSCAPE IMPROVEMENTS, OR OTHER CHANGES IN THE IMPROVEMENTS THAT DIFFER FROM THE APPROVED FINAL DESIGN REVIEW DOCUMENTS, MUST BE SUBMITTED IN WRITING TO THE VIA QUINTANA ARCHITECTURAL REVIEW BOARD FOR REVIEW AND APPROVAL, PRIOR TO MAKING CHANGES. ANY CHANGES MADE WITHOUT SPECIFIC APPROVAL ARE CONSIDERED NOT APPROVED, AND SUBJECT TO REMOVAL OR ALTERATION AS REQUIRED.

23. **TITLE 24 ENERGY REQUIREMENTS:** THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.

24. **TREE AND ROOT PROTECTION:** TREES ARE TO BE PROTECTED AND PRESERVED IN OR NEAR THE CONSTRUCTION AREA. A BOUNDARY OF ORANGE SNOW NETTING OR HIGH VISIBILITY PLASTIC FENCING SUPPORTED BY WOOD OR METAL STAKES AND/OR STRAW BALES SHOULD BE ERECTED ALONG THE APPROXIMATE DRIP LINES OF SUCH PROTECTED TREES TO DEFINE THE CONSTRUCTION PROJECT BOUNDARY. EXCAVATION AND CONSTRUCTION ACTIVITIES AND MATERIALS SHOULD NOT INTRUDE INTO THIS DEFINED BOUNDARY AT ANY TIME AND KEPT AS MUCH AS POSSIBLE WITHIN PROPOSED STRUCTURE AND DRIVEWAY FOOTPRINTS OR OUTSIDE OF THE TREE DRIP LINES IN THE TREELESS AREA.

25. ALL MANUFACTURER'S INSTALLATION GUIDES SHALL BE PROVIDED TO INSPECTOR AT TIME OF INSPECTION.

FIRE DEPARTMENT NOTES

1. ADDRESS NUMBERS TO BE POSTED - BEFORE CONSTRUCTION BEGINS, TEMPORARY OR PERMANENT ADDRESS NUMBERS SHALL BE POSTED. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUEST FOR A FINAL INSPECTION. ALL ADDRESS NUMBERS (PERMANENT OR TEMPORARY) SHALL BE POSTED ON THE PROPERTY SO AS TO BE CLEARLY VISIBLE FROM THE ROAD AND SHALL BE REFLECTIVE AND MADE OF NONCOMBUSTIBLE MATERIAL. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. WHERE VISIBILITY CANNOT BE PROVIDED, A POST OR SIGN BEARING THE ADDRESS NUMBERS SHALL BE SET ADJACENT TO THE PROPERTY DRIVEWAY. ADDRESS NUMBERS POSTED SHALL BE "ARABIC" (1,2,3, ETC.) NOT "ROMAN" (I, VI, X, ETC.) OR WRITTEN OUT IN WORDS (THIRTEEN, SEVENTY-SIX, ETC.). ADDRESS NUMBERS POSTED SHALL HAVE A MINIMUM NUMBER HEIGHT OF 4 INCHES. 1/2 INCH WIDE STROKE, AND SHALL CONTRAST WITH THE BACKGROUND COLORS OF THE SIGN. NOTE: IF NUMBERS ARE NOT POSTED, BUILDING/FIRE INSPECTORS WILL NOT GRANT A FINAL INSPECTION.

2. **ROOFING - CLASS "A" REQUIRED** - ROOF CONSTRUCTION SHALL BE ICBO CLASS "A" BUILDUP, AS DEFINED BY UNIFORM BUILDING CODE STANDARD 15-2, AND SHALL BE TESTED IN ACCORDANCE WITH ASTM E108 OR UL 790, EFFECTIVE JANUARY 1, 1997. BY STATE LAW, AREAS WITHIN VERY HIGH FIRE HAZARD SEVERITY ZONES, ROOF CONSTRUCTION SHALL BE CLASS "A" BUILDUP. THIS REQUIREMENT SHALL APPLY TO ALL NEW CONSTRUCTION AND WHEN 50 PERCENT OR MORE OF AN EXISTING ROOF IS REPLACED WITHIN A ONE-YEAR PERIOD.

3. **CLEAR VEGETATION** - REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF NOT LESS THAN 100 FEET ON EACH SIDE FROM STRUCTURES OR BUILDINGS. THIS SHALL NOT APPLY TO SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVER, PROVIDED THAT THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE. LIMB TREES 6" UP FROM GROUND, REMOVE LIMBS WITHIN 10' OF CHIMNEYS. ADDITIONAL FIRE PROTECTION OR FIREBREAK APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED WHEN, BECAUSE OF EXTRA HAZARDOUS CONDITIONS, A FIREBREAK OF ONLY 100 FEET AROUND SUCH A STRUCTURE IS NOT SUFFICIENT TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION. TO BE DETERMINED BY THE REVIEWING AUTHORITY AND DIRECTOR OF PLANNING AND BUILDING.

4. **ACCESS DRIVEWAYS - TURNING RADIUS** - FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 25 FEET FOR DRIVEWAYS WITH TURNS GREATER THAN 90 DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TURNS, AN ADDITIONAL SURFACE OF 4' SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150' IN LENGTH, BUT LESS THAN 800' IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY, WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400' INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12' WIDE AND 30' LONG WITH A MINIMUM OF 25' TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150' OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50' OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40' FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD IS USED, THE TOP OF THE "T" SHALL BE MINIMUM OF 60' IN LENGTH.

5. ALL BUILDINGS SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION, APPROVAL AND MAINTENANCE SHALL BE IN COMPLIANCE WITH APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION AND/OR U.B.C. STANDARDS, THE EDITIONS OF WHICH SHALL BE DETERMINED BY THE ENFORCING JURISDICTION. FOUR SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. ROUGH-IN INSPECTIONS MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION. 8. FIRE ALARM FLOW SWITCH SHALL BE WIRED TO THE KITCHEN REFRIGERATOR CIRCUIT. ANY DEVIATION REQUIRES APPROVAL FROM THE FIRE DEPARTMENT.



NOTE:
THESE ARE CONCEPTUAL RENDERINGS, AND SHOULD NOT BE USED AS A REFERENCE FOR CONSTRUCTION. SPECIFIC LOCATIONS AND QUALITIES OF ARCHITECTURAL ELEMENTS CAN BE FOUND ON THE PLANS, ELEVATIONS AND SUPPORTING DETAIL SHEETS THROUGHOUT THE REMAINDER OF THE DRAWING PACKAGE.

SITE ANALYSIS

LOT COVERAGE ALLOWED:		396 SQ. FT.
ALLOWED:		556 SQ. FT.
LOT COVERAGE PROPOSED:		
SITE COVERAGE:		PROP. SQ. FT.
SEMI-PERMEABLE	NEW PAVER DRIVEWAY	114
	GRAVEL PATH W/ STONE BOARDER	92
	E. PAVER DRIVEWAY	21
	GRAVEL PATIO	36
	GRAVEL LANDING	15
	SOLDIER COURSE	5
	TOTAL	283
IMPERMEABLE	FRONT ENTRY WALKWAY	136
	STONE PATIO	58
	CONCRETE RETAINING WALL	10
	STAIRS	27
	TOTAL	231
PERMEABLE SITE COVERAGE		283
IMPERMEABLE SITE COVERAGE		231
TOTAL		556

BASE FLOOR AREA AND SITE COVERAGE (ALLOWABLE):	SQ. FT.
EXISTING LOT SIZE	4000
BASE FLOOR AREA	1800
SITE COVERAGE	396
SITE COVERAGE WITH BONUS	556
FLOOR AREAS: RESIDENCE	PROPOSED SQ. FT.
LOT AREA	4000
UPPER FLOOR	1058
LOWER FLOOR	632
GARAGE	225
ADJUSTMENTS	
ELEVATOR	-25
STAIR	-90
TOTAL FLOOR AREA	1800
ADU	442

NOTE:
CONTRACTOR SHALL OBTAIN AN 8-1-DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE.

PROJECT DATA

SCOPE OF WORK:

REBUILD (E) SINGLE FAMILY RESIDENCE. REBUILD INCLUDES (N) TWO-STORY RESIDENCE WITH ATTACHED GARAGE AND AN ADU.

SITE DESCRIPTION:
LOT 16 IN BLOCK 46 LOCATED IN THE CITY OF CARMEL-BY-THE-SEA, MONTEREY COUNTY, STATE OF CALIFORNIA

TREE INFORMATION: NO TREES TO BE REMOVED

PROJECT ADDRESS :	SANTA FE. 3 SE OF 5TH CARMEL-BY-THE-SEA, CA
A.P.N. :	010-037-009
ZONING :	R-1
LOT SIZE :	4000 S.F (0.09 AC)
OCCUPANCY GROUP :	R-3/U
CONSTRUCTION TYPE:	V-B
SPRINKLERS:	YES
FLOOD ZONE :	MINIMAL
FIRE SEVERITY (WUI):	NONE
TREES TO BE REMOVED :	0
WATER SUPPLIER :	CAL-AM
SEWER SYSTEM :	CAWD

DEFERRED ITEMS

- PLANS, DETAILS AND CALCULATIONS FOR ALL FIRE SPRINKLER SYSTEM DESIGNS SHALL BE SUBMITTED TO THE CITY OF CARMEL BUILDING DIVISION AND PRESIDING FIRE AUTHORITY PRIOR TO INSTALLATION.
- A LICENSED C-16 CONTRACTOR SHALL SUBMIT FOUR SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS, AND APPROVED PRIOR TO INSTALLATION.
- PRIOR TO COMMENCEMENT OF WORK THE LICENSED GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION AND WASTE MANAGEMENT PLAN, COMPLYING WITH CGS&C SECTION 4.408.2 FOR APPROVAL.
- PHOTOVOLTAIC SOLAR LAYOUT TO BE SUBMITTED PRIOR TO INSTALLATION.

SHEET INDEX

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A0.1	CONDITIONS OF APPROVAL
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A0.3	CAL-GREEN BUILDING CHECKLIST
A0.4	CAL-GREEN BUILDING CHECKLIST

1 OF 1

CIVIL:

T-0	TITLE & SPECIFICATION SHEET
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C-1.1	DRAINAGE PLAN
C-2.0	SECTIONS
C-2.1	SECTIONS
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SD-2.1	DISPERSAL STRUCTURE DETAILS
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A3.2	EXTERIOR ELEVATIONS
A3.3	SECTIONS
A3.4	SECTIONS
A4.1	DOOR & WINDOW SCHEDULES
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A5.3	INTERIOR ELEVATIONS
A5.4	INTERIOR ELEVATIONS
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A8.3	DETAILS
A8.4	DETAILS
A8.5	DETAILS
E1.0	ELECTRICAL PLANS
R1	ELEVATOR DETAILS
MAT	MATERIAL SAMPLES

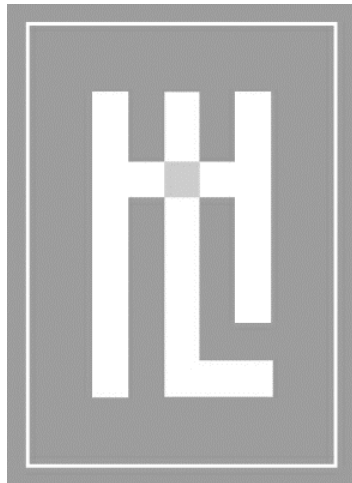
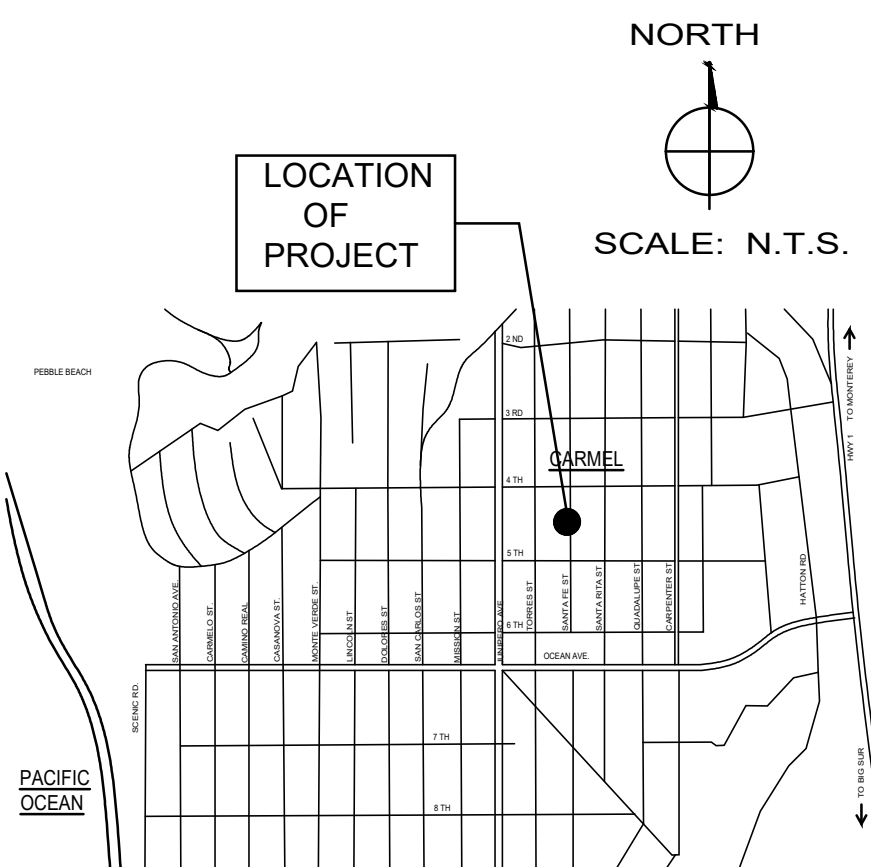
STRUCTURAL :

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S-2.1	FOUNDATION PLAN
S-2.2	1ST FLOOR FRAMING PLAN
S-2.3	ROOF FRAMING & CEILING FRAMING PLAN
S-2.4	FOUNDATION DETAILS
S-2.5	FRAMING DETAILS
S-2.6	FRAMING DETAILS
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WSWH2	STRONG WALL FRAMING DETAILS
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WSWH5	STRONG WALL FRAMING DETAILS
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LANDSCAPE :

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L-2	IRRIGATION AND DRAINAGE PLAN
L-3	NOTES

VICINITY MAP



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940

Ph: 831.649.6001
Fax: 831.649.6003

www.hl-arc.com

DATE: DEC. 03, 2024

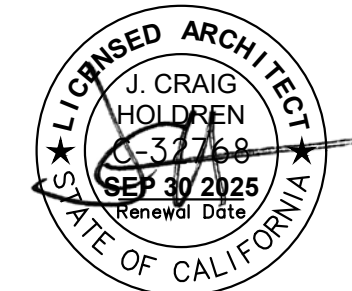
SCALE: N.T.S.

DRAWN:

JOB NUMBER: 23.14

REVISION

1	PLAN CHECK
2	JAN 15, 2025
3	PLAN CHECK
4	MAR 6, 2025

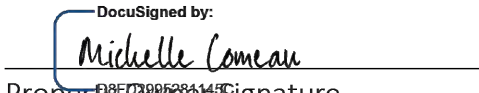
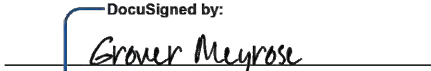


COVER SHEET
MEYROSE / COMEAU RESIDENCE
SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA
A.P.N. 010-037-009

A0.0

	Installation details for erosion and sediment control BMPs, material staging areas, and stabilized access. SEE SHT. C-1.1
32.	Erosion Control in the Right-of-Way. Prior to issuance of a building permit, the Applicant shall identify on the landscape plan any natural slope within the right-of-way immediately adjacent to the property where parking is not practical. Jute netting and a drought-tolerant ground cover to manage post-construction erosion control shall be installed. Plants installed within the drip line of trees shall be selected from the City's "List of Compatible Plants Under and Around Native Trees" in the Forest Management Plan. The Public Works Director, or their designee, may waive this requirement.
Special Conditions	
33.	Pre-Construction Meeting. Prior to the issuance of a building permit, the contractor overseeing the project shall schedule a pre-construction meeting with the <u>Project Planner</u> for the purpose of reviewing the conditions of approval and expectations during construction.
34.	Conditions of Approval Acknowledgement. Prior to the issuance of a building permit revision, a completed Conditions of Approval Acknowledgment form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.
35.	Copper Gutters & Downspouts Not Permitted. Prior to the issuance of a building permit, the applicant shall submit a revised plan for review and approval by the Planning Division, identifying an alternative material for the gutters and downspouts. SEE DET. A/A8.1
36.	Construction Management Plan. Prior to the issuance of a building permit, the Applicant shall submit a Construction Management Plan for review and approval by the Community Planning & Building Director. SEE SHT. C-5.2

Acknowledgment and acceptance of conditions of approval:

Applicant Signature	Printed Name	Date
<div>DocuSigned by:  Michelle Comeau</div>	Michelle Comeau	2/21/2025
Property Owner Signature	Printed Name	Date
<div>DocuSigned by:  Grover Meyrose</div>	Grover Meyrose	2/21/2025
Property Owner Signature	Printed Name	Date

	Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
17.	Driveway. Prior to the issuance of a building permit, the Applicant shall clearly identify the driveway material and asphalt connection to the paved street edge on the construction drawings. The driveway material may be extended beyond the property line into the public right-of-way to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. If the driveway material is proposed to be sand set, a dimensioned construction detail showing the base material shall be included in the construction drawings. SEE SHT. A1.0
18.	Hazardous Materials Waste Survey. Prior to the issuance of a demolition permit, the Applicant shall submit a hazardous materials waste survey to the Building Division in conformance with the Monterey Bay Unified Air Pollution Control District.
19.	Cultural Resources. Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98. SEE SHT. A1.0
20.	Truck Haul Route. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building Director, in consultation with the Public Works and Public Safety Departments, a truck-haul route and any necessary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures. NOTED: SEE SHT. A1.0 & A2.0
21.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information) NOTED: SEE SHT. A1.0 & A2.0
22.	Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division. SEE END OF THIS SHEET.
Landscape Conditions	
23.	Landscape Plan Required. Prior to the issuance of a building permit, the Applicant shall submit a landscape plan for review and approval by the Community Planning & Building Department and the City Forester. The landscape plan shall be included in the construction drawings and will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including, but not limited to, the following: 1) All new landscaping shall be 75% drought-tolerant; 2) Landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) The project shall meet the City's recommended tree density standards unless otherwise approved by the City based on on-site conditions. The landscape plan shall identify the location where new trees will be planted when new trees are required to be planted by the City code, the Forest and Beach Commission, or the Planning Commission. SEE SHT'S L-1, L-2, L-3
24.	Tree Planting Requirements. Prior to issuance of a building permit, the Applicant shall identify on the landscape plan the location, size, and species of required tree plantings. All new trees shall be installed prior to the final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester or Forest & Beach Commission.
25.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission. SEE SHT. A1.0
26.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. SEE SHT. A1.0 <ul style="list-style-type: none">• Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.• Excavation within 6 feet of a tree trunk is not permitted.• No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.• Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.• Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.• Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.• If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.
27.	Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit. SEE SHT. A1.0
Environmental Compliance Conditions	
28.	Drainage Plan. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17.07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property; infiltration features must be sized appropriately and located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas. SEE SHT. C-1.1
29.	BMP Tracking Form. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.
30.	Semi-Permeable Surfaces. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments cross-section details for all semi-permeable surfaces. SEE SHT. A1.0
31.	Erosion and Sediment Control Plan. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments an erosion and sediment control plan that includes locations and

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. This approval of Design Study application DS 24096 (Comeau & Meyrose) authorizes the demolition of an existing one-story single-family residence, detached garage, and attached workshop and the construction of a 1,800-square-foot two-story single-family residence inclusive of a 225-square-foot attached garage and associated site improvements located on Santa Fe Street 3 northeast of 5th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Holdren + Lietzke Architecture approved by the Planning Commission on September 11, 2024, and stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission. SEE SHT. A0.0
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for 12 months from the date of action. The project must be implemented during this time, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.
5.	Setback and Height Certifications. A State licensed surveyor shall survey and certify the following in writing: <ul style="list-style-type: none">• The footing locations are in conformance with the approved plans prior to footing/foundation inspection;• The roof heights and plate heights of each building are in conformance with the approved plans prior to the roof sheathing inspection. Roofs and plates shall not exceed the elevation points as identified in the approved project plans, and the roofs include an appropriate allowance for roofing material thickness. Written certifications prepared, sealed, and signed by the surveyor shall be provided prior to footing/foundation inspection and roof sheathing inspection. In the event that multiple footing/foundation pours are required, a survey letter shall be submitted for each separate section. NOTED: SEE SHT. A1.0 & A2.0
6.	Service Laterals. Prior to final inspection, all electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000, or the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020). NOTED: SEE SHT. A1.0
7.	Utility Meter Locations. The placement of all utility meters shall consistent with the locations identified in the approved plans. Changes to the location of any utility meter location shall require written approval of the Community Planning and Building Department prior to the change of the location.
8.	Fire Sprinklers - Residential. Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135). DEFERRED ITEM, SEE SHT. A0.0
9.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
10.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
11.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.
When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention.	
Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	
12.	Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing. Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces. SEE SHT. E1.0
13.	Stone Facades (including chimneys). Prior to the issuance of a building permit, the Applicant shall clearly identify in the construction drawings the masonry pattern for all stonework. Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or their designee. SEE SHT. A1.0
14.	Windows & Doors. Prior to the issuance of a building permit, the Applicant shall include the manufacturer's specifications for windows and doors in the construction drawings. Windows that have been approved with divided lights shall appear to be true divided lights, including the use of internal and external mullions and muntins on insulated windows. Any window pane dividers, which are snap-in or otherwise superficially applied, are not permitted. The painted finish shall be matte or low gloss. SEE SHT. A3.0 , A3.1, A4.1
15.	Roofing. Prior to the issuance of a building permit, the Applicant shall include the manufacturer's specifications for the roofing material in the construction drawings. The material shall convey color and texture similar to that of wood shingles. SEE SHT. A3.0 , A3.1
16.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of

PLANNING COMMISSION RESOLUTION NO. 2024-XX-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA APPROVING A FINAL DESIGN STUDY AND ASSOCIATED COASTAL DEVELOPMENT PERMIT FOR THE DEMOLITION OF AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCTION OF A NEW TWO-STORY SINGLE-FAMILY RESIDENCE LOCATED ON SANTA FE STREET 3 NORTHEAST OF 5TH AVENUE APN 010-037-009-000

WHEREAS, on April 11, 2024, Holdren + Lietzke Architecture ("Applicant") submitted an application on behalf of MEYROSE GROVER D & MICHELLE COMEAU TRS ("Owners") requesting approval of Track 2 Design Study application DS 24096 (Comeau & Meyrose) described herein as ("Application"); and

WHEREAS, the Application has been submitted for a 4,000-square-foot lot located on Santa Fe Street 3 northeast of 5th Avenue in the Single-Family Residential (R-1) District (Block 46, Lot 16); and

WHEREAS, the Applicant proposes to demolish an existing one-story single-family residence and detached accessory building and construct a 1,800-square-foot two-story residence inclusive of a 225-square-foot attached garage and associated site improvements; and

WHEREAS, the project also includes a 442-square-foot attached accessory dwelling unit that is exempt from discretionary review; and

WHEREAS, in accordance with Carmel Municipal Code (CMC) Section 17.58.040.B (Residential Track Two Design Study), the construction of new dwellings, rebuilds, and substantial alterations requires approval of a Residential Track Two Design Study by the Planning Commission; and

WHEREAS, CMC Section 17.58.040.B, Step Two: Design Concept Review, requires the Planning Commission to review the design concept plans at a public hearing prior to consideration of the final details review for project approval; and

WHEREAS, on July 10, 2024, the Planning Commission adopted Resolution 2024-058-PC, accepting the Design Concept; and

WHEREAS, a Coastal Development Permit is required in accordance with CMC 17.52.090 (Coastal Development Permit Required); and

WHEREAS, on August 30, 2024, a notice of public hearing was published in the Carmel Pine Cone for the September 11, 2024, Planning Commission meeting in compliance with State law

(California Government Code 65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before September 1, 2024, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before September 6, 2024, the meeting agenda was posted in three locations in compliance with State law, indicating the date and time of the public hearing; and

WHEREAS, on September 11, 2024, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the Application, including, without limitation, the information provided to the Planning Commission by City staff and through public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Commission at the hearing, including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the California Environmental Quality Act ("CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, et seq., the "CEQA Guidelines") and City Environment (CMC 17.60) require that certain projects be reviewed for environmental impacts prior to the final design study being prepared; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

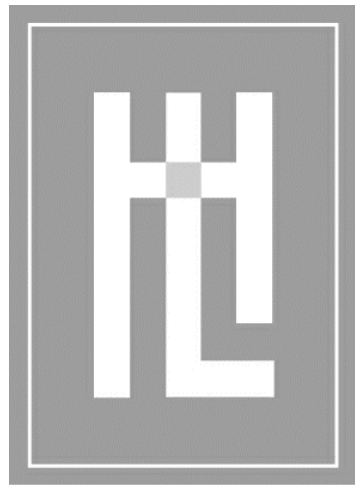
NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the **Final Design Study**:

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," the staff report discusses the issues to facilitate the Planning Commission's decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
CMC 17.64.080.A, Final Details Phase Approval	YES	NO
1. The proposed architectural style and detailing are simple and restrained in character, consistent and well-integrated throughout the building, and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
2. The proposed exterior materials and their application rely on natural materials, and the overall design will add to the variety and diversity along the streetscape.	✓	
3. Design elements such as stonework, skylights, windows, doors, chimneys, and garages are consistent with the adopted design guidelines and will complement the character of the structure and the neighborhood.	✓	
4. Proposed landscaping, paving treatments, fences, and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right-of-way. The design will reinforce a sense of visual continuity along the street.	✓	

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the **Coastal Development Permit**:

FINDINGS REQUIRED FOR COASTAL DEVELOPMENT PERMITS		
For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," the staff report discusses the issues to facilitate the Planning Commission's decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
CMC 17.64.010.B, Coastal Development Permits	YES	NO
1. The project, as described in the application and accompanying materials, as modified by any conditions of approval, conforms with the certified City of Carmel-by-the-Sea Local Coastal Program.	✓	
2. If the project is located between the first public road and the sea, the project conforms with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Sections 30200 of the Public Resources Code).	✓	

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby **APPROVE** Design Study application DS 24096 (Comeau & Meyrose) and associated Coastal Development Permit for the demolition of an existing one-story residence and construction of a 1,800-square-foot two-story residence inclusive of a 225-square-foot attached garage and associated site improvements located on Santa Fe Street 3 northeast of 5th Avenue (APN 010-037-009-000), subject to the following Conditions of Approval:



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: DEC. 03, 2024

SCALE:

DRAWN:

JOB NUMBER: 23.14

REVISION

PLAN CHECK
FEB 24, 2025



CONDITIONS OF APPROVAL

MEYROSE / COMEAU RESIDENCE

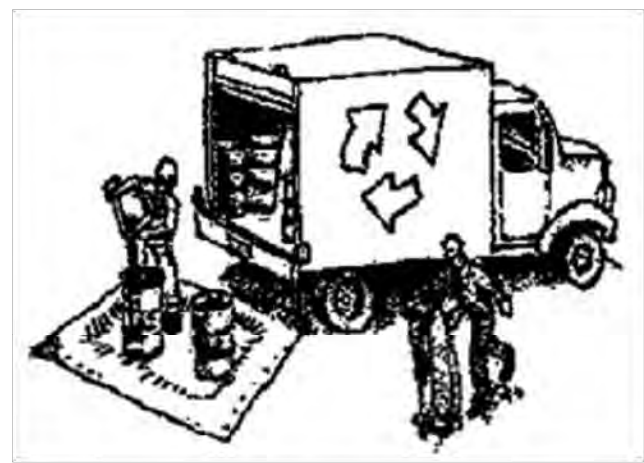
SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA
A.P.N. 010-037-009

A0.1



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs)
on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- ☐ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

- ☐ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).



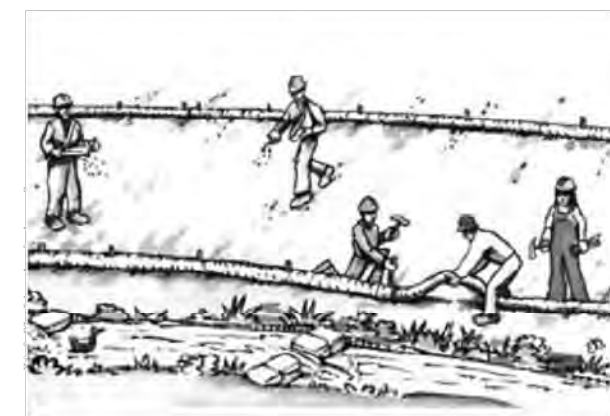
EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ☐ Inlet protection is the last line of spill defense. Drains/ inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- ☐ Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☐ Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.
- ☐ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.



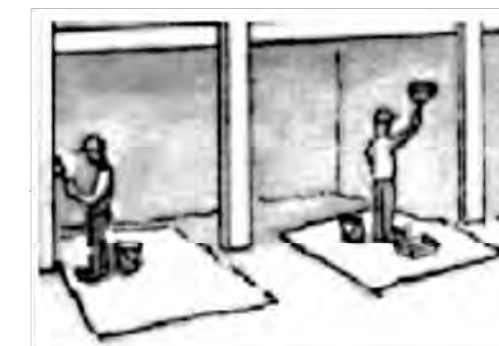
CONCRETE, GROUT & MORTAR APPLICATION

- ☐ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ☐ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- ☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT REMOVAL

Painting cleanup

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

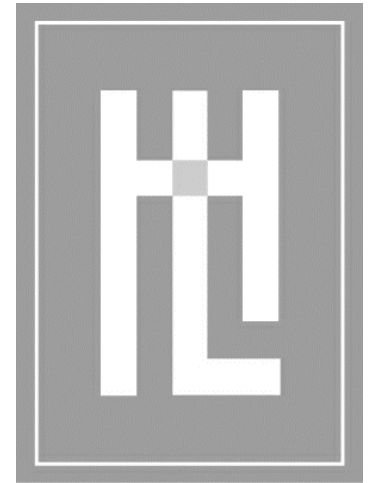
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ☐ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in a sanitary sewer may be required.
- ☐ In areas where groundwater is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program



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DATE: DEC. 03, 2024

SCALE:

DRAWN:

JOB NUMBER: 23.14

REVISION



CONSTRUCTION BEST MANAGEMENT PRACTICES

MEYROSE / COMEAU RESIDENCE

SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA

A.P.N. 010-037-009

A0.2

Y	=	YES
N/A	=	NOT APPLICABLE
RESPON. PARTY	=	RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

A.P.N. 010-037-009

A0.3

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY (in ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

TABLE 4.504.2 - SEALANT VOC LIMIT	
(Less Water and Less Exempt Compounds in Grams per Liter)	
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{2,3}	
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	
COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ¹	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

- GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
- THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
- VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS:	
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ²	0.13
1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.	
2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).	

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS.

All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEODD/EHLB/IAQ/Pages/VOC.aspx>.

4.504.3.1 Carpet cushion.

All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEODD/EHLB/IAQ/Pages/VOC.aspx>.

4.504.3.2 Carpet adhesive.

All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS.

Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEODD/EHLB/IAQ/Pages/VOC.aspx>.

4.504.5 COMPOSITE WOOD PRODUCTS.

Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation.

Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2209, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General.

Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS.

Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break.

A capillary break shall be installed in compliance with at least one of the following:

- A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
- Other equivalent methods approved by the enforcing agency.
- A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.

Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
- Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
- At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans.

Each bathroom shall be mechanically ventilated and shall comply with the following:

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
- Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
 - A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

- For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
- Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.

Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
- Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING.

HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- Programs sponsored by manufacturing organizations.
- Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD].

When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
- Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade.
- Other programs acceptable to the enforcing agency.

- Notes:**
- Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
 - HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

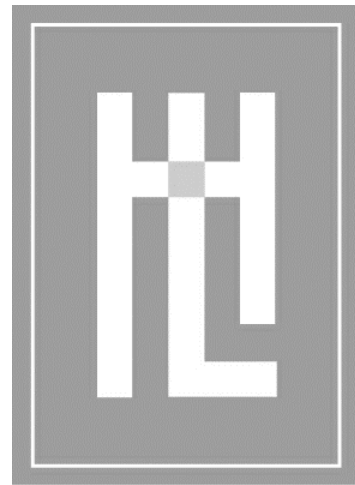
703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

APPROVED

06/27/2025

COMMUNITY PLANNING & BUILDING

Approved by: Evan Kort, Senior Planner



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DATE: DEC. 03, 2024

SCALE:

DRAWN:

JOB NUMBER: 23.14

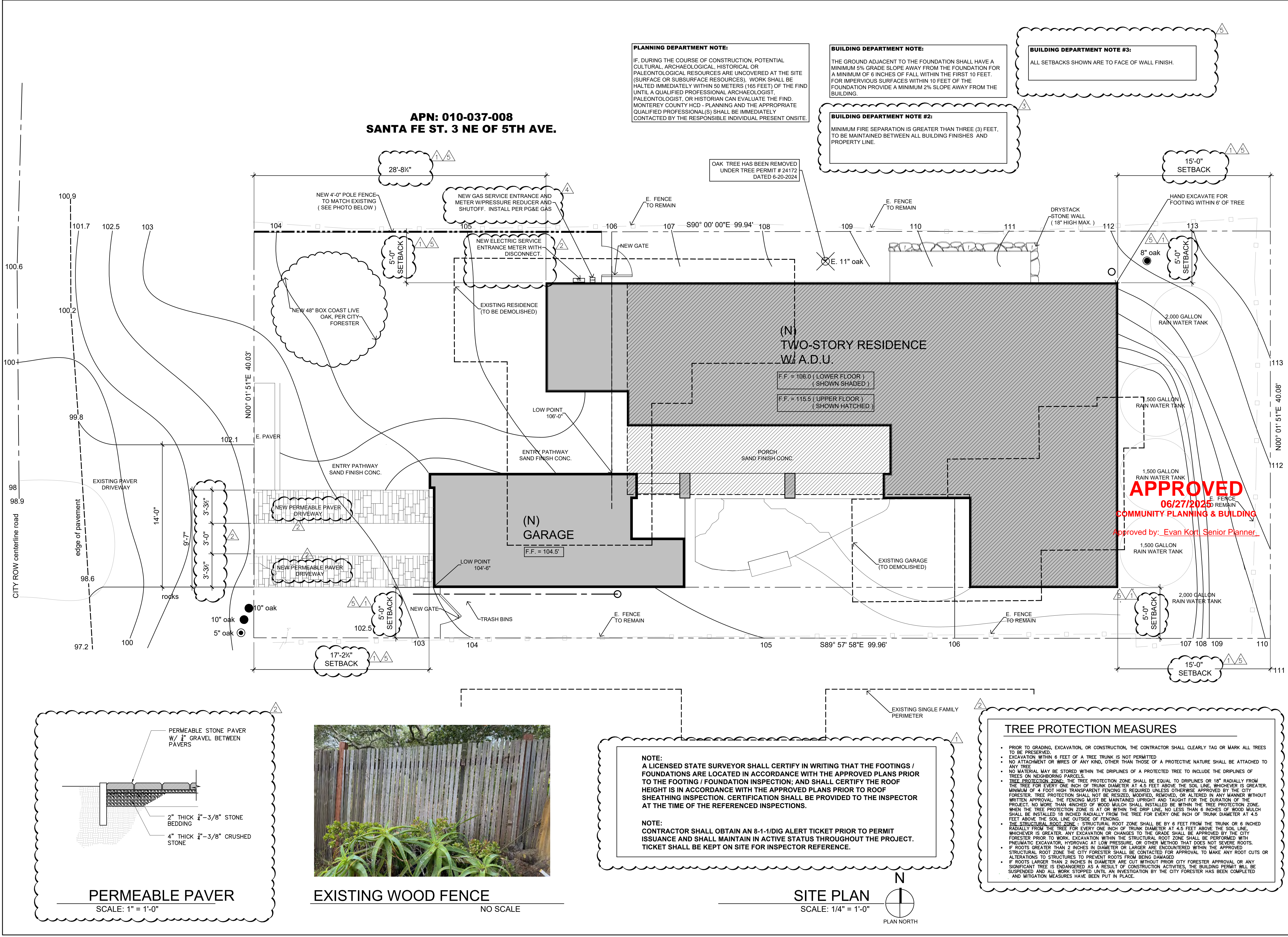
REVISION

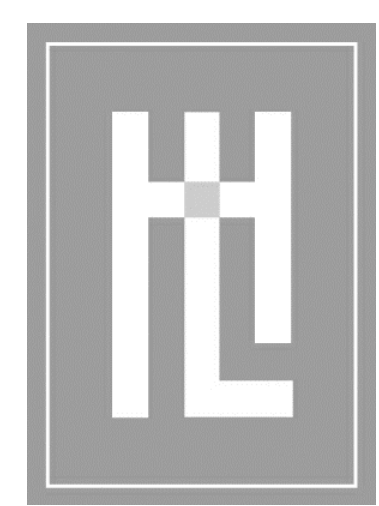


MEYROSE / COMEAU RESIDENCE

SANTA FE ST. 3 NE OF 5TH AVE
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A0.4





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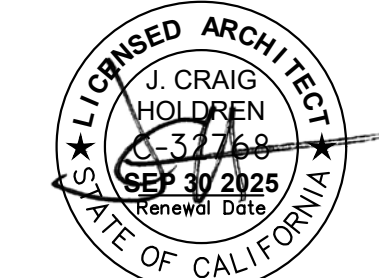
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REVISION

1	PLAN CHECK	JAN 15, 2025
2	PLAN CHECK	FEB 24, 2025
3	PLAN CHECK	MAR 6, 2025
4	PLAN CHANGE	APR 2, 2025
5	PLAN CHANGE	APR 23, 2025



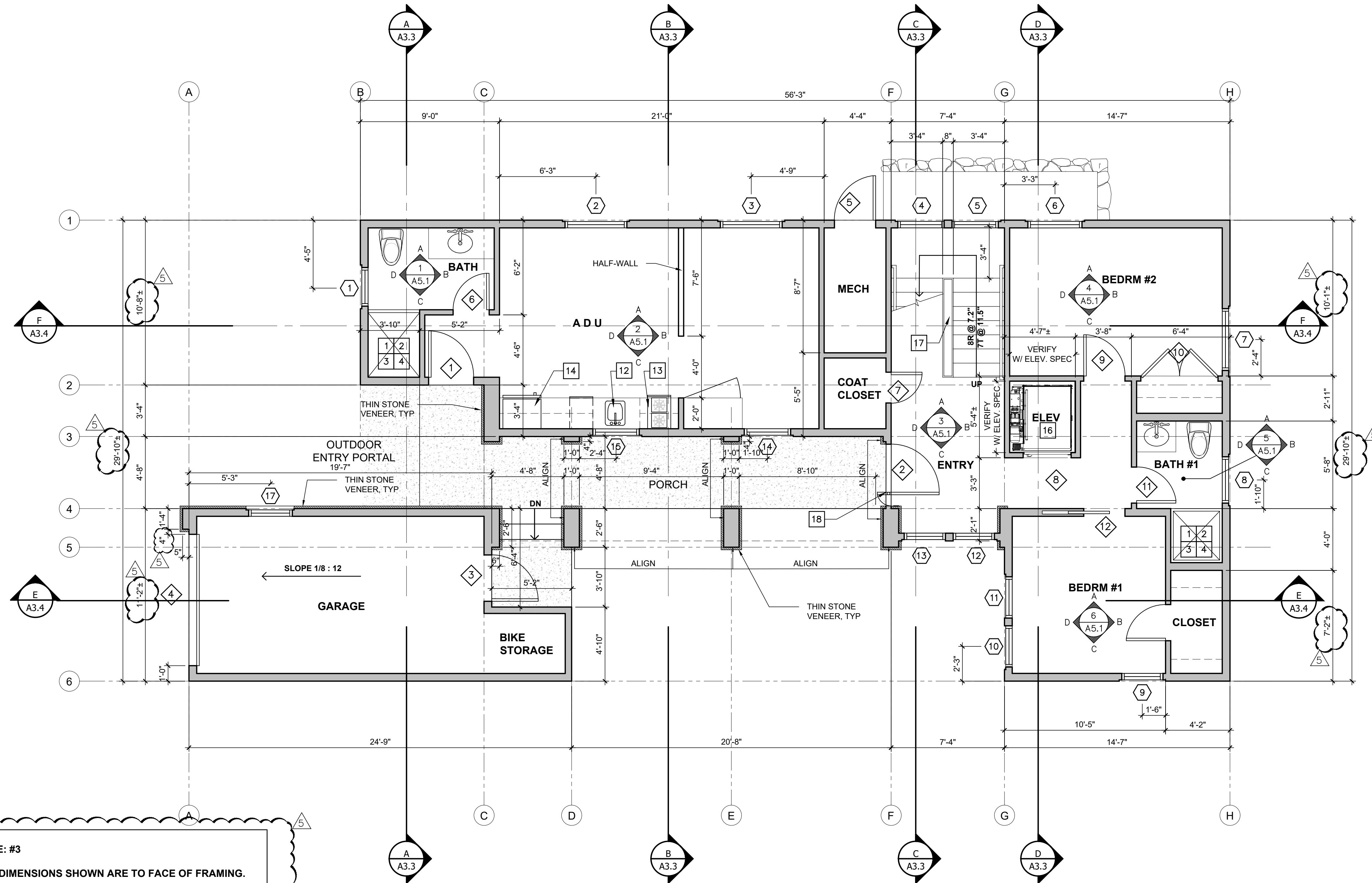
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06/27/2025
COMMUNITY PLANNING & BUILDING
Approved by: Evan Kori, Senior Planner.

SITE PLAN

MEYROSE / COMEAU RESIDENCE

SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA
A.P.N. 010-037-009

A1.0



NOTE: #3
ALL DIMENSIONS SHOWN ARE TO FACE OF FRAMING.

NOTE:
A LICENSED STATE SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS / FOUNDATIONS ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING / FOUNDATION INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTIONS.

NOTE:
CONTRACTOR SHALL OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE.

LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

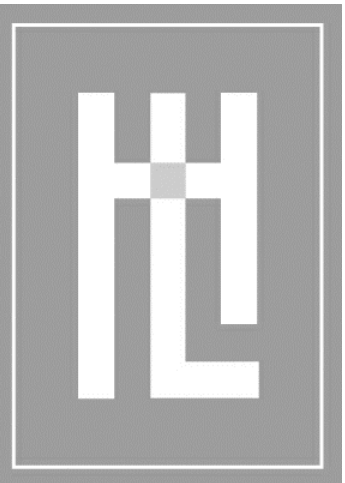
KEY NOTES:

- 1 INSTALL SCHLUTER "KERDI-LINE" (www.kerdi-line.com OR APPROVED EQUAL) LINEAR FLOOR DRAIN @ SHOWER, SLOPE SHWR. FLOOR TO DRAIN
- 2 SHOWER PAN - SLOPE TO DRAIN - SEE DET. 14/A8.0.
- 3 TILE TO MIN. 72" A.F.F. IN ALL SHOWERS - USE DENSSHIELD TILE BACKER BY: GEORGIA PACIFIC @ ALL TILE SURFACES
- 4 TEMPERED GLASS SHOWER ENCLOSURE - PROVIDE CONTINUOUS RIGID ANCHORING AT TOP & BOTTOM
- 5 VENT HOOD THROUGH ROOF, SEE MECHANICAL
- 6 RECESS WALL FOR PLUMBING & VENT REQMT'S.
- 7 CLOSET SYSTEM BY OTHERS
- 8 CABINET W/ WATERPROOF COUNTERTOP - PROVIDE BLOCKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER
- 9 CABINET - UPPERS OR SHELVES ABOVE IN SOME LOCATIONS - PROVIDE BLOCKING AS REQ'D. - FINAL DESIGN TO BE APPROVED BY OWNER
- 10 PROVIDE REVERSE OSMOSIS SYSTEM & FAUCET AT KITCHEN SINK
- 11 46" HIGH x 30" WIDE HIGH COUNTER
- 12 KITCHEN SINK
- 13 18" WIDE GAS RANGE W/ HOOD, VENT THRU EXTERIOR WALL / SOFFIT, SEE MECH.
- 14 30" WIDE REFRIGERATOR
- 15 HANDRAIL - 34" FROM STAIR NOSING, SEE DET. ~/~
- 16 RESIDENTIAL ELEVATOR BY: "SAVARIA" ECLIPSE MODEL No. 36X48 TYPE IL (OR APPROVED EQUAL) SEE SHEET R1 FOR SPECIFICATION AND INSTALLATION INSTRUCTION.
- 17 STEEL OPEN STRINGER STAIR - SEE DETAIL. ~/~
- 18 STEEL FRAME GLASS PIVOT DOOR W/ RECESSED THRESHOLD HARDWARE

APPROVED
06/27/2025
COMMUNITY PLANNING & BUILDING
Approved by: Evan Kort, Senior Planner

PLUMBING NOTES:

1. ALL SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 1.8 G.P.M.
2. ALL SINK FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.2 G.P.M.
3. WATER CLOSETS SHALL NOT USE MORE THAN 1.28 GAL. PER FLUSH PER STATE HEALTH & SAFETY CODE, SECTION 17921.3(B)
4. USE FIBERGLASS, CEMENT BASED BACKER BOARD OR WATER RESISTANT GYPSUM WALL BOARD BEHIND NEW TILE AND SINK.
5. NON-ABSORBENT WALL MATERIAL IN SHOWER SHALL BE 70" A.F.F. MIN.
6. VENTING FOR ISLAND FIXTURES SHALL BE DESIGNED PER SECTION 909.0 OF THE 2022 CALIFORNIA PLUMBING CODE.
7. THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, WHIRLPOOL BATHTUB, AND SHOWER/TUB COMBO FILTERS SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.



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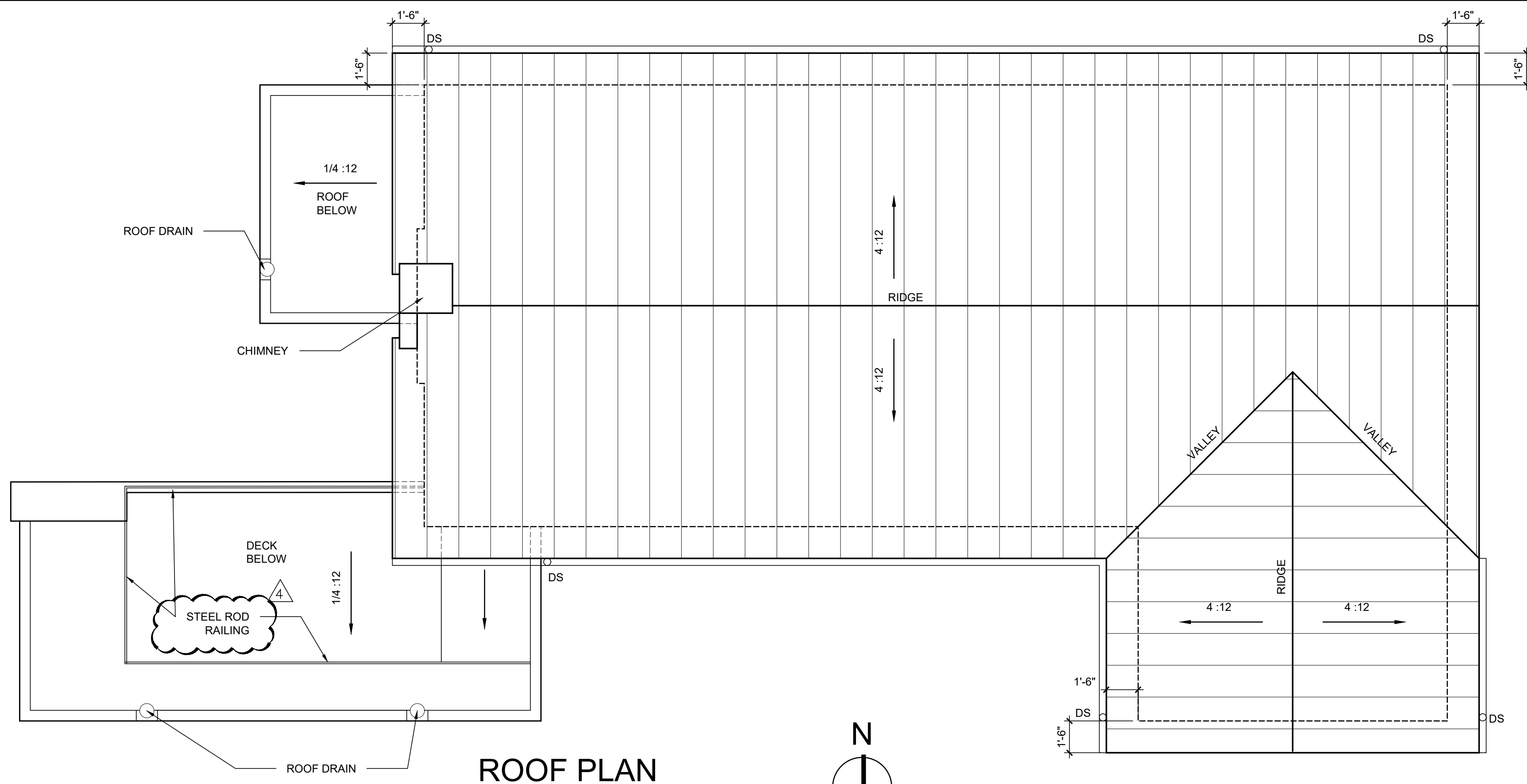
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DATE:	DEC. 03, 2024
SCALE:	
DRAWN:	1/4"=1'-0"
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REVISION	
1	PLAN CHECK JAN 15, 2025
5	PLAN REVISION APR 23, 2025



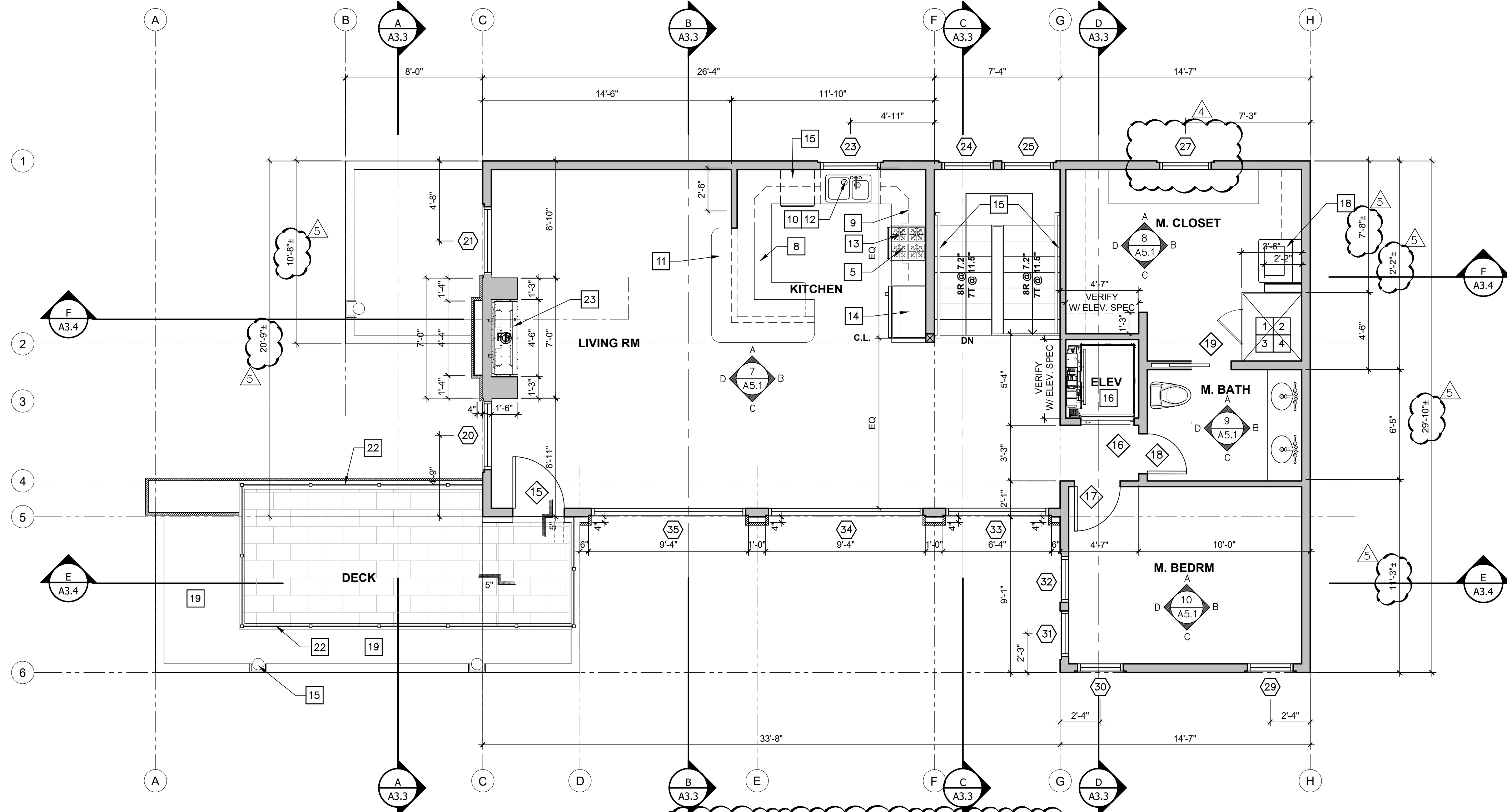
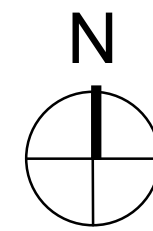
LOWER FLOOR PLAN
MEYROSE / COMEAU RESIDENCE
SANTA FE ST. 3 NE OF 5TH AVE
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A.P.N. 010-037-009

A2.0



ROOF PLAN

SCALE: 1/4" = 1'-0"

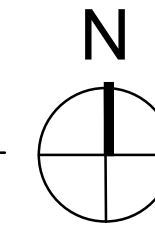


NOTE: #3

ALL DIMENSIONS SHOWN ARE TO FACE OF FRAMING.

UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

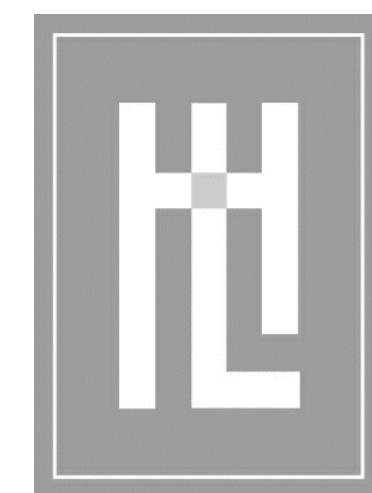


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7. CLOSET SYSTEM BY OTHERS
8. CABINET W/ WATERPROOF COUNTERTOP - PROVIDE BLOCKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER
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10. PROVIDE REVERSE OSMOSIS SYSTEM & FAUCET AT KITCHEN SINK
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12. 36" WIDE SINK
13. 24" WIDE "WOLF" GAS RANGE W/ HOOD
14. 36" WIDE REFRIGERATOR
15. HANDRAIL - 34" FROM STAIR NOSING, SEE DET. ~/~
16. RESIDENTIAL ELEVATOR BY: "SAVARIA" ECLIPSE MODEL No. 36X48 TYPE IL (OR APPROVED EQUAL) SEE SHEET RI FOR SPECIFICATION AND INSTALLATION INSTRUCTION.
17. EXTERIOR LANDING, SEE DETAILS
18. STACKED WASHER-DRYER, VENT TO OUTSIDE
19. BUILT-UP WATERPROOF ROOFING WITH AGGREGATE TOP
20. ROOF DRAIN - TYP
22. TILE DECKING - OVER WATERPROOF ROOF SYSTEM - TYP
22. STEEL ROD RAILING, POWDER COATED FINISH
23. DIRECT EXTERIOR ROOF DRAIN, SEE DET. 14/A8.0.

PLUMBING NOTES:

1. ALL SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 1.8 G.P.M.
2. ALL SINK FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.2 G.P.M.
3. WATER CLOSETS SHALL NOT USE MORE THAN 1.28 GAL. PER FLUSH PER STATE HEALTH & SAFETY CODE, SECTION 17921.3(B)
4. USE FIBERGLASS, CEMENT BASED BACKER BOARD OR WATER RESISTANT GYPSUM WALL BOARD BEHIND NEW TILE AND SINK.
5. NON-ABSORBENT WALL MATERIAL IN SHOWER SHALL BE 70" A.F.F. MIN.
6. VENTING FOR ISLAND FIXTURES SHALL BE DESIGNED PER SECTION 909.0 OF THE 2022 CALIFORNIA PLUMBING CODE.
7. THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, WHIRLPOOL BATHTUB, AND SHOWER/TUB COMBO FILTERS SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940

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DATE: DEC. 03, 2024

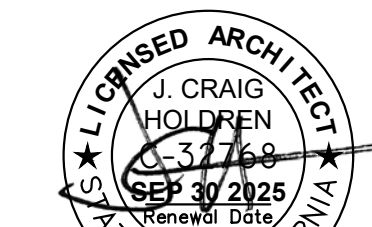
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JOB NUMBER: 23.14 JM

REVISION

4	PLAN REVISION
APR 2, 2025	
5	PLAN REVISION
APR 23, 2025	

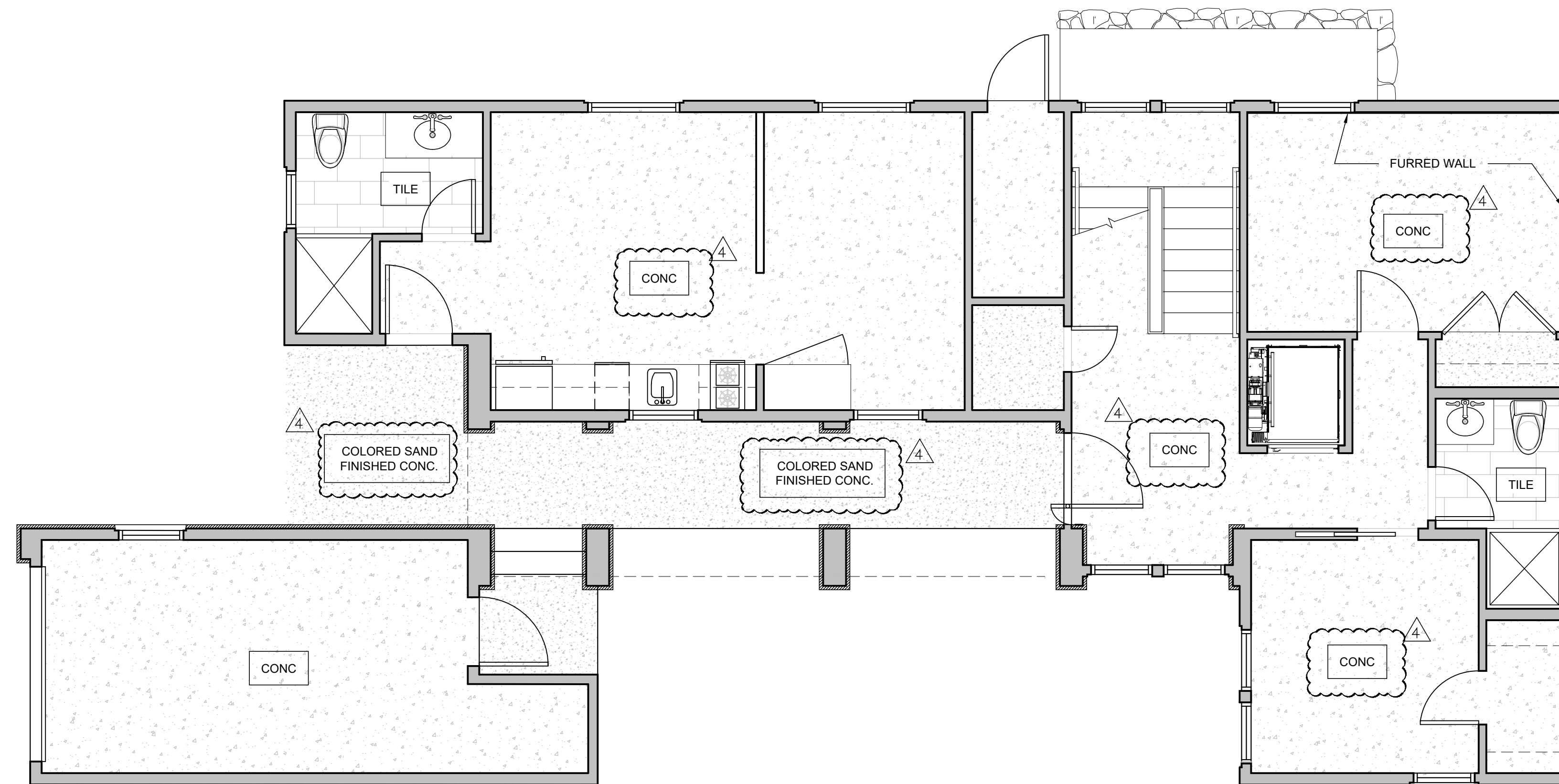


UPPER FLOOR PLAN / ROOF PLAN

MEYROSE / COMEAU RESIDENCE

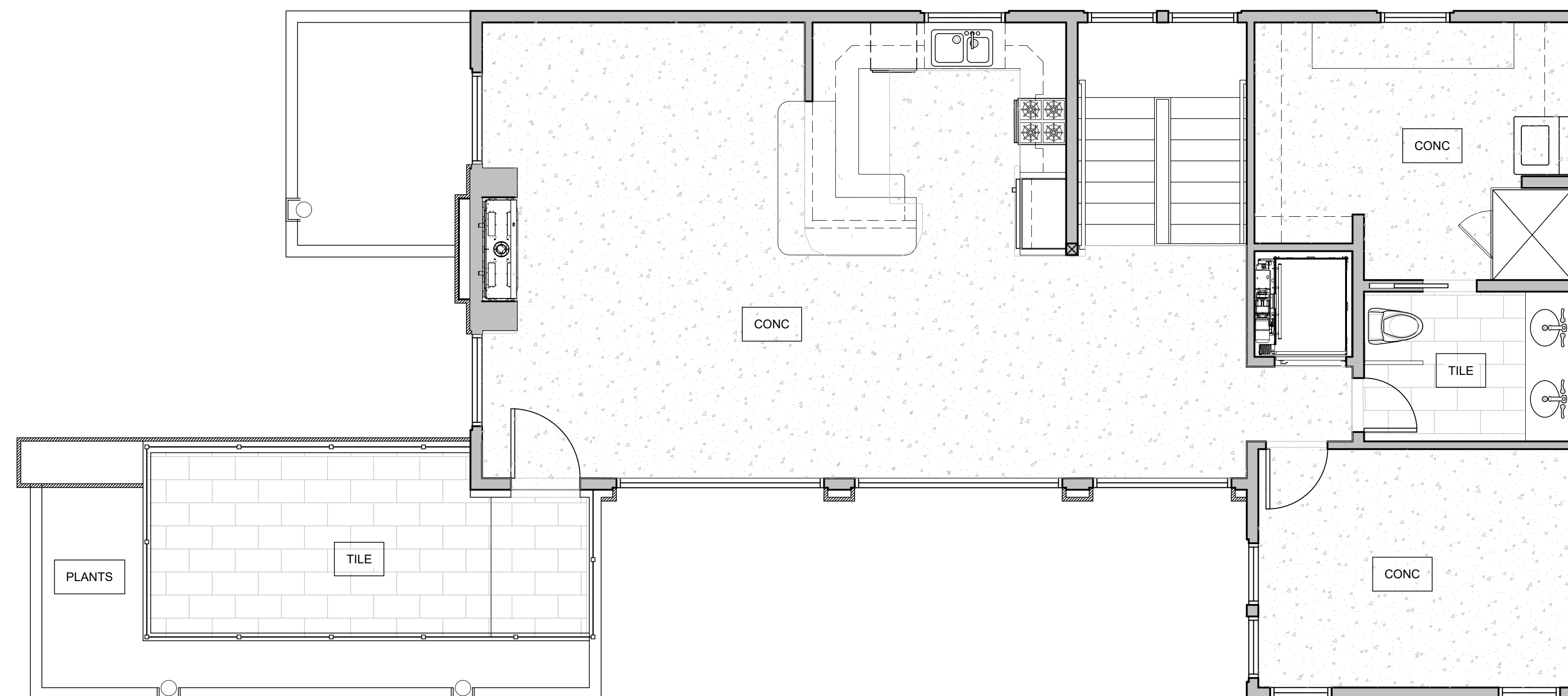
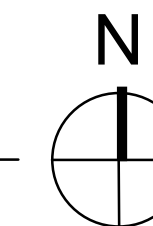
SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA
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A2.1



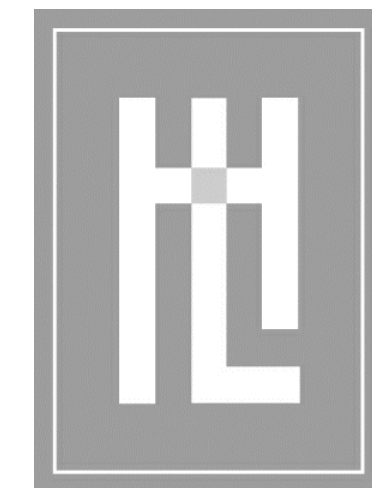
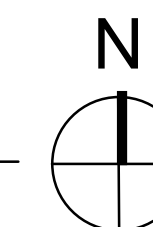
LOWER FLOOR FINISH PLAN

SCALE: 1/4" = 1'-0"



UPPER FLOOR FINISH PLAN

SCALE: 1/4" = 1'-0"



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DATE:	DEC. 03, 2024
SCALE:	
DRAWN:	1/4"=1'-0"
JOB NUMBER:	23.14 JM
REVISION	
4	PLAN CHANGE APR 2, 2025



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06/27/2025
COMMUNITY PLANNING & BUILDING

Approved by: Evan Kort, Senior Planner

FLOOR FINISH PLAN

MEYROSE / COMEAU RESIDENCE

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A2.2



25 CANNERY ROW - SUITE A
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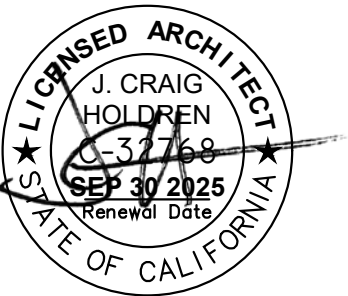
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JOB NUMBER: 23.14 JM

PLAN CHANGE
APR 2, 2025



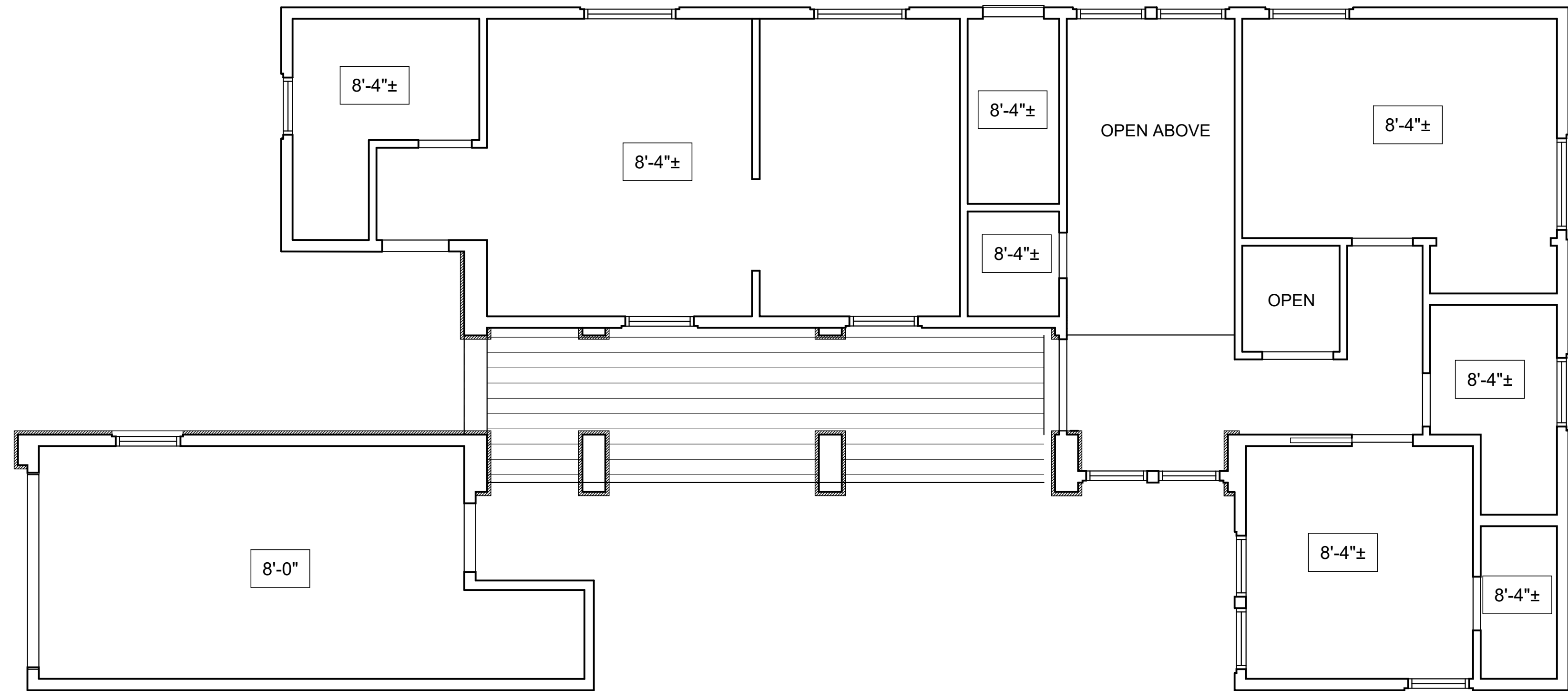
ROOF / REFLECTED CEILING PLAN

MEYROSE / COMEAU RESIDENCE

SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA

A.P.N. 010-037-009

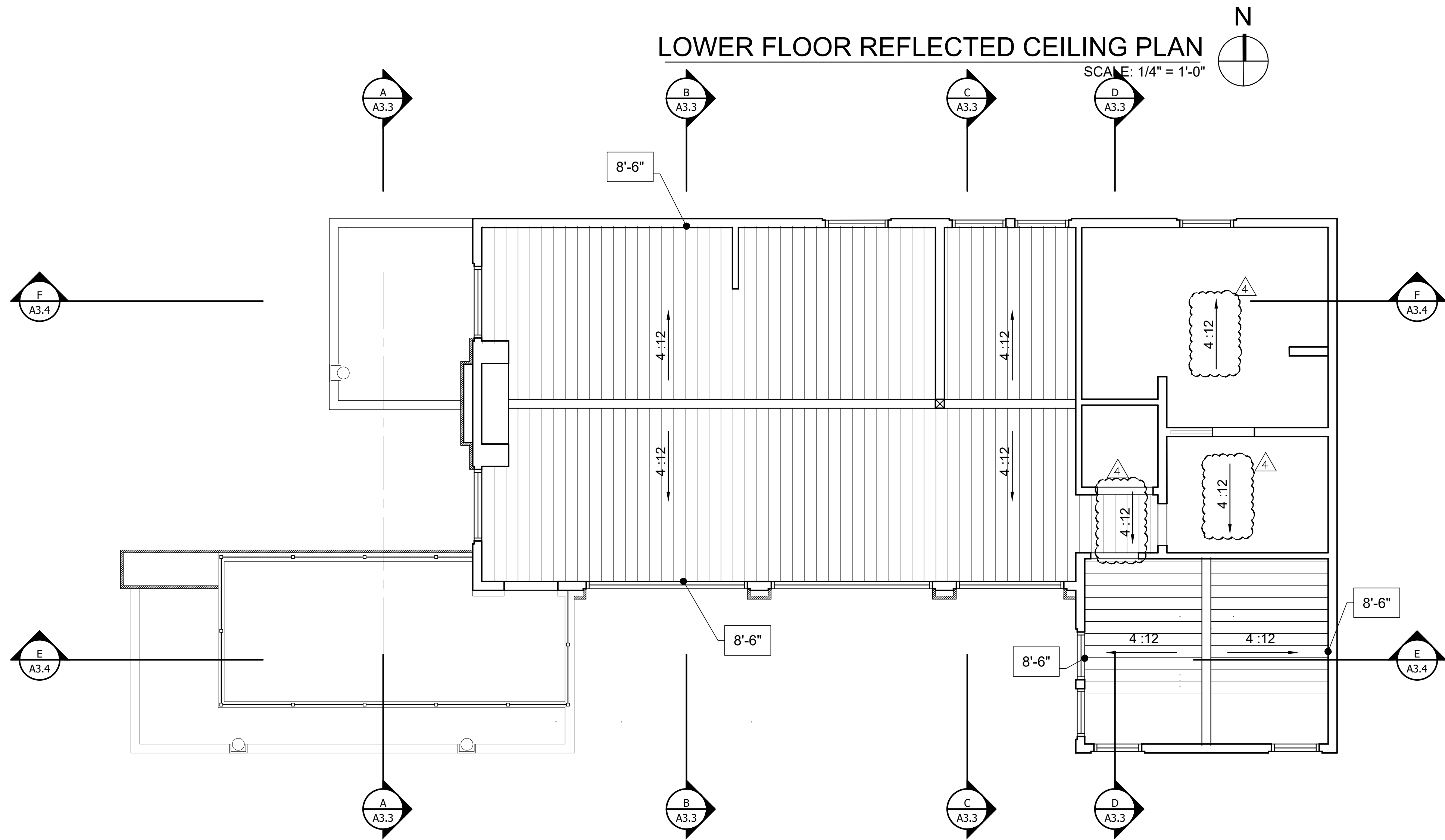
A2.3



LOWER FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

N



UPPER FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

N

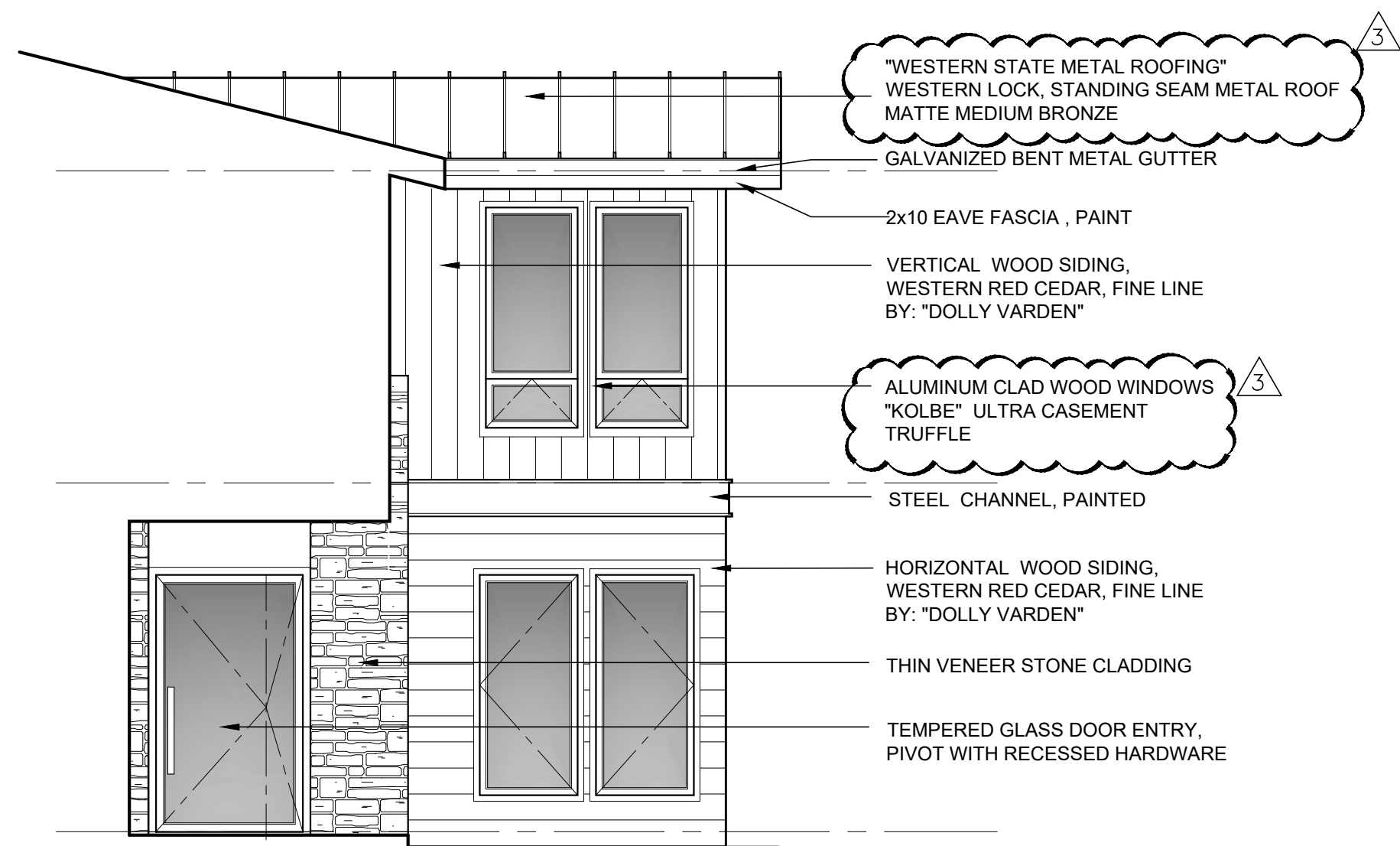


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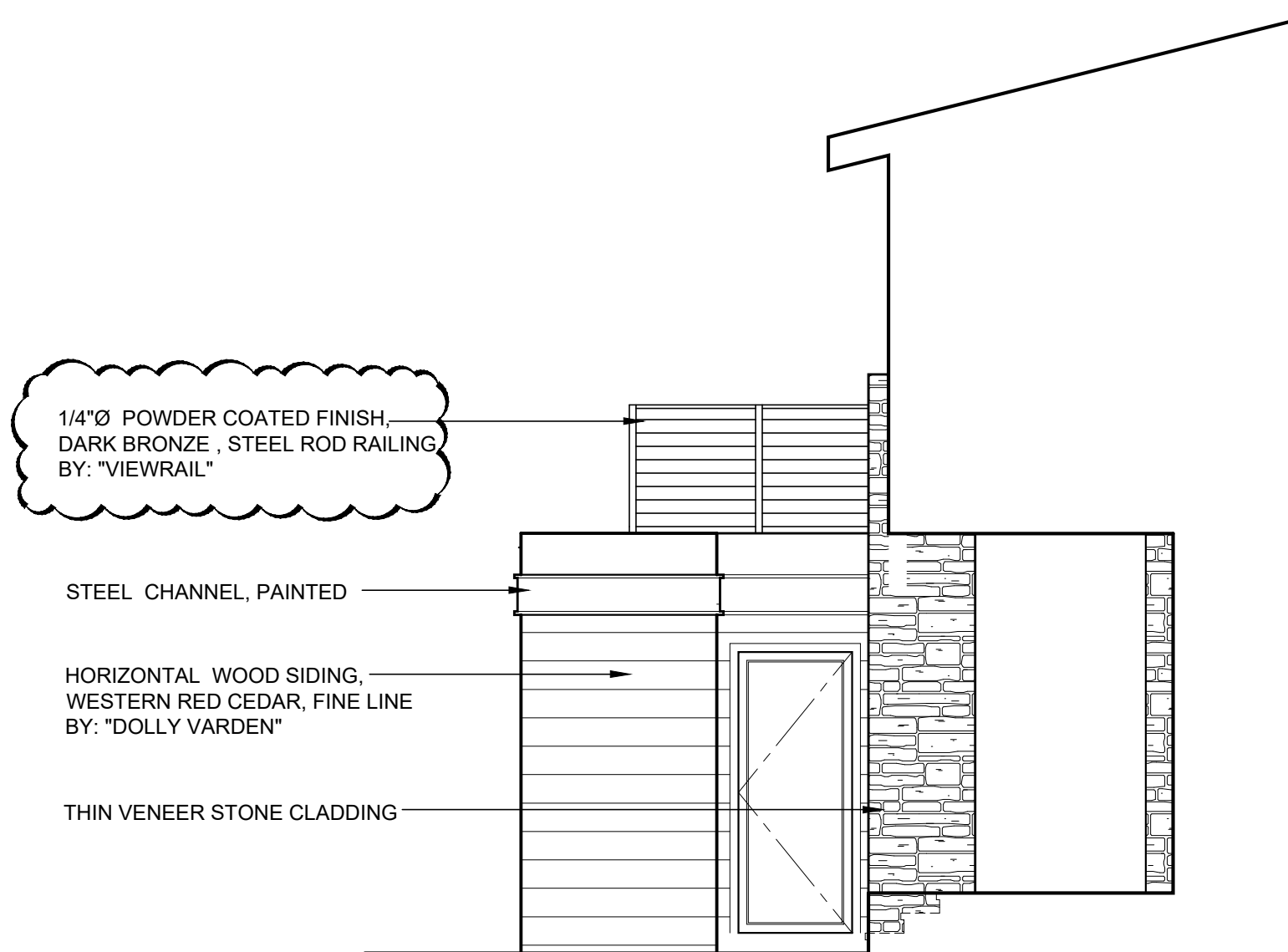
Approved by: Evan Kort, Senior Planner.



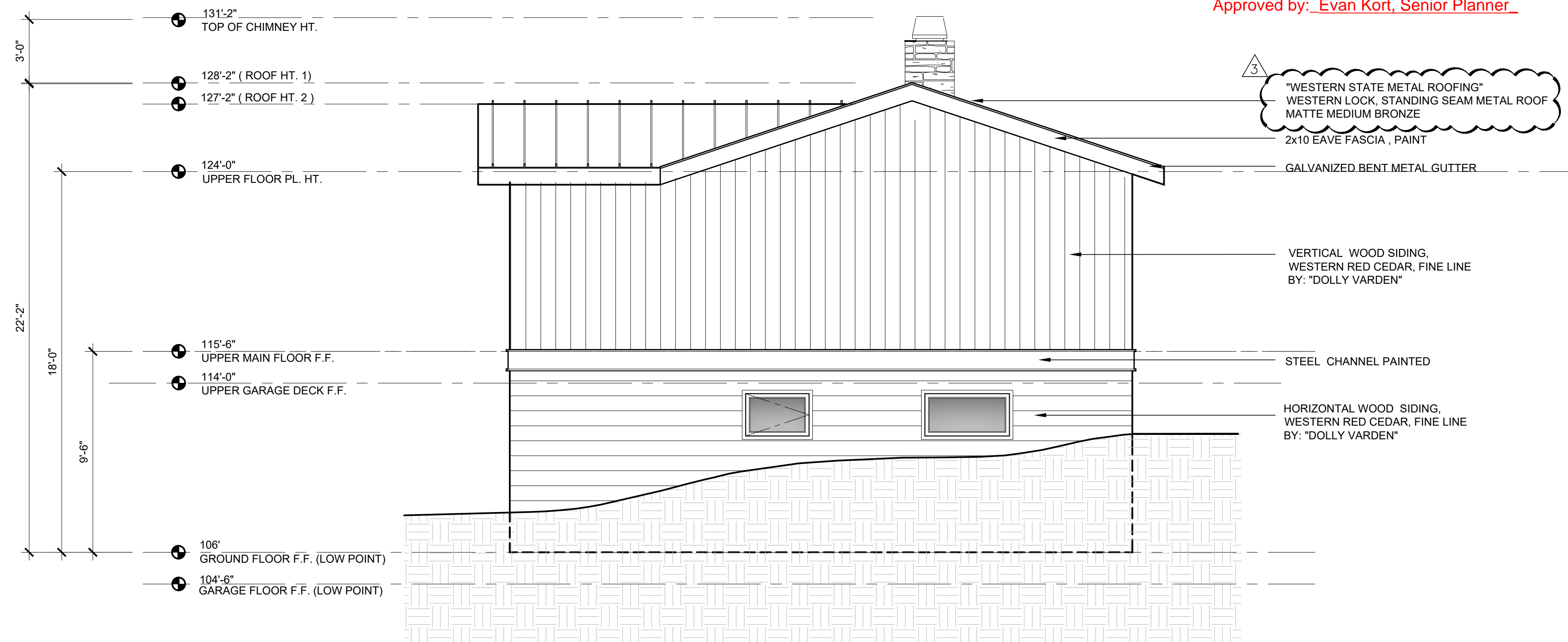
ENTRY PORCH (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



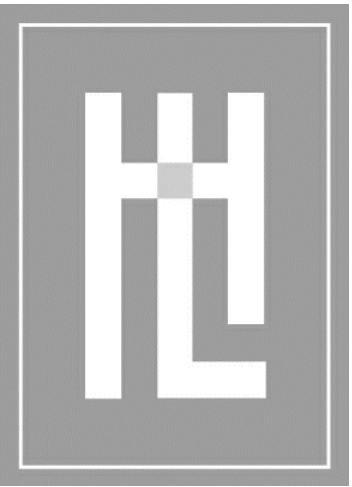
WEST ELEVATION
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ENTRY PORCH(WEST) ELEVATION
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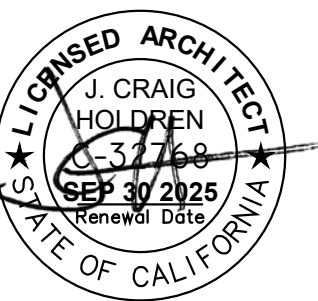
EAST ELEVATION
SCALE: 1/4" = 1'-0"



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DATE:	DEC. 03, 2024
SCALE:	1/4"=1'-0"
DRAWN:	JM
JOB NUMBER:	23.14
REVISION	
2	PLAN CHECK FEB 24, 2025
3	PLAN CHECK MAR 6, 2025

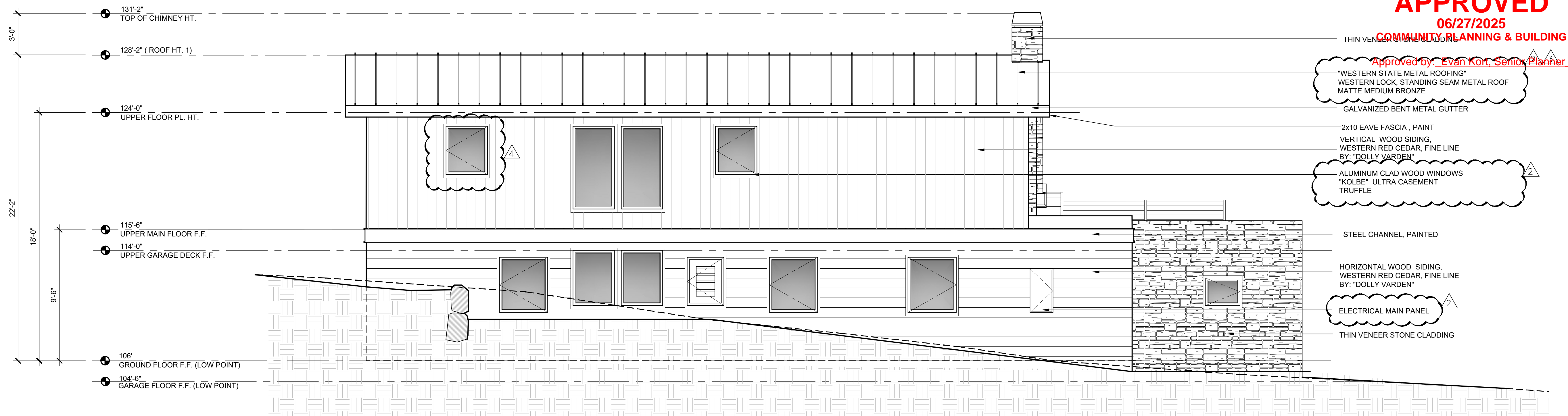


EXTERIOR ELEVATIONS
MEYROSE / COMEAU RESIDENCE
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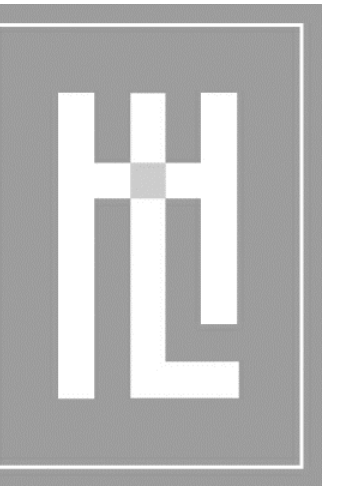
A3.1



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

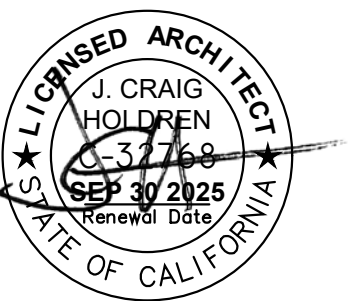


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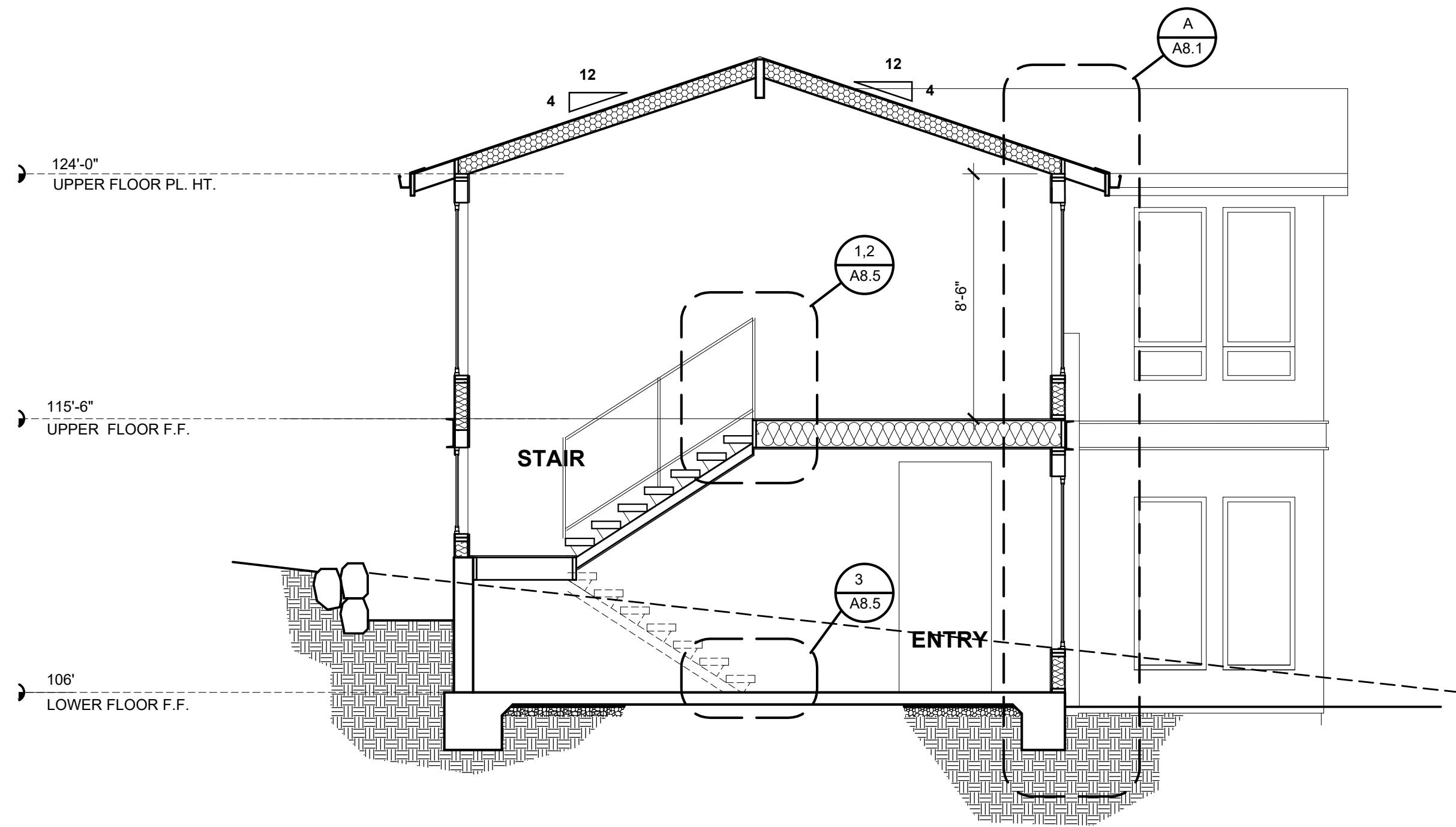
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JOB NUMBER: 23.14

REVISION	
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2	PLAN CHECK MAR 6, 2025
3	PLAN REVISION APR 2, 2025

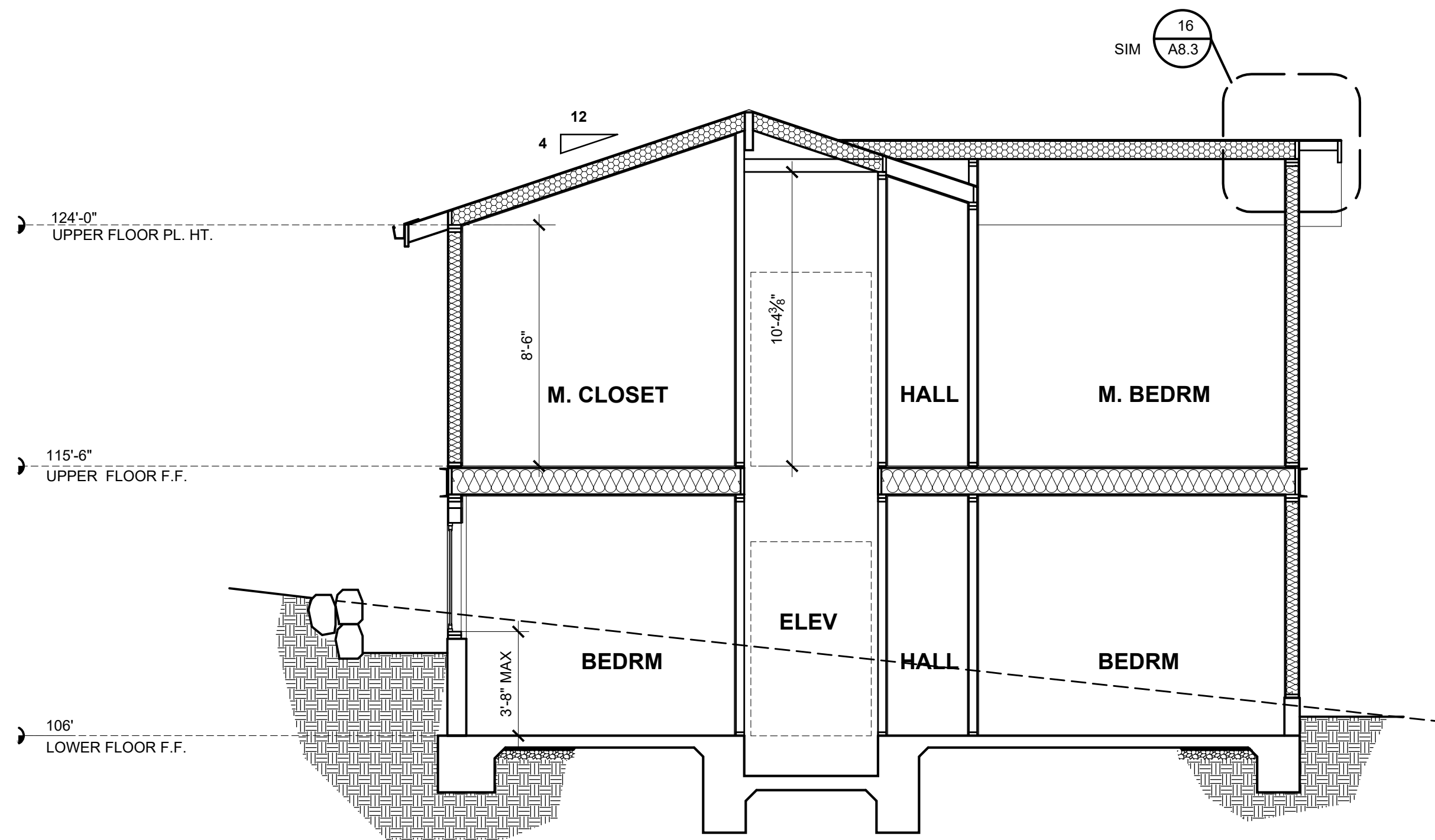


EXTERIOR ELEVATIONS
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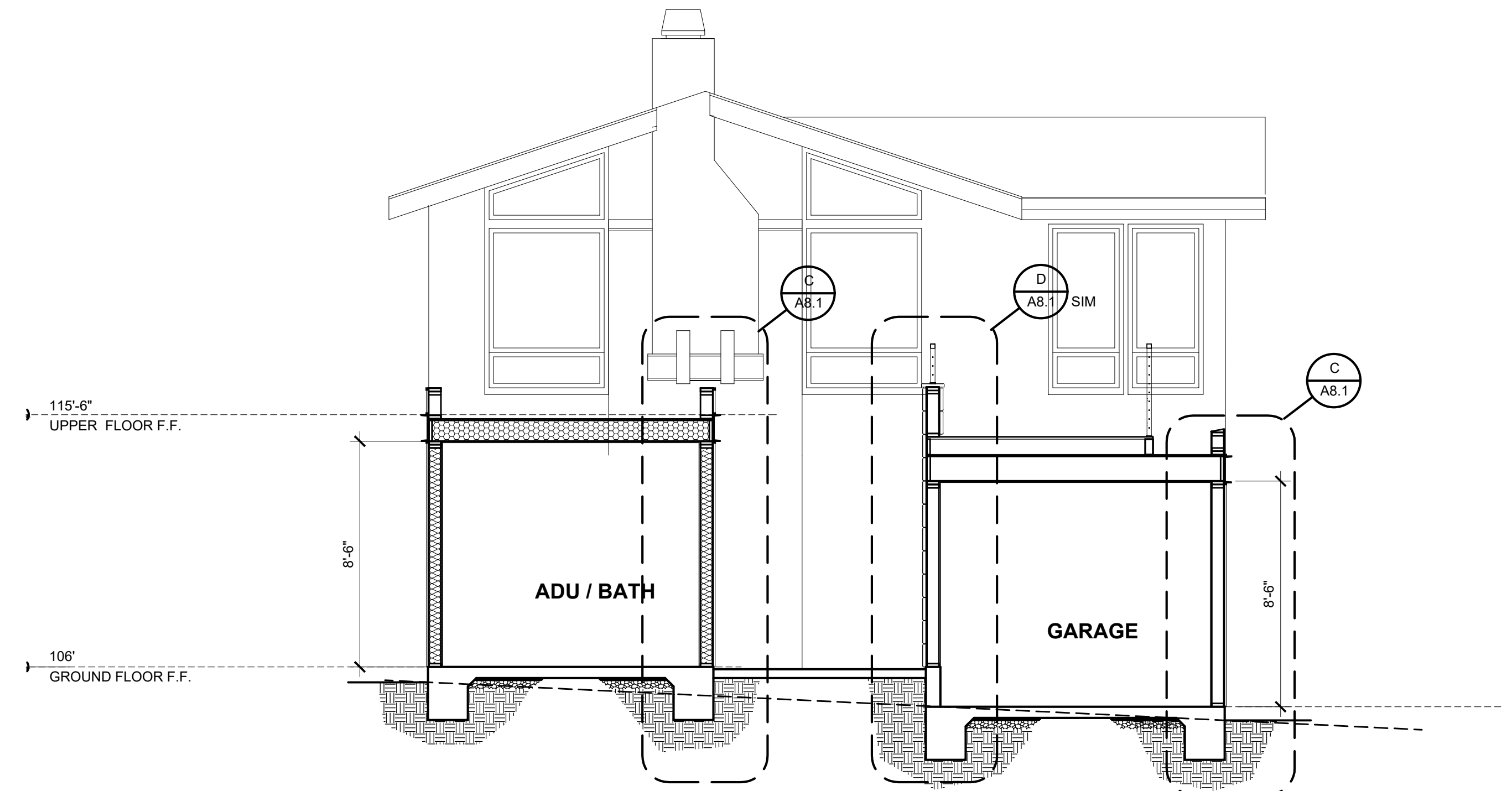
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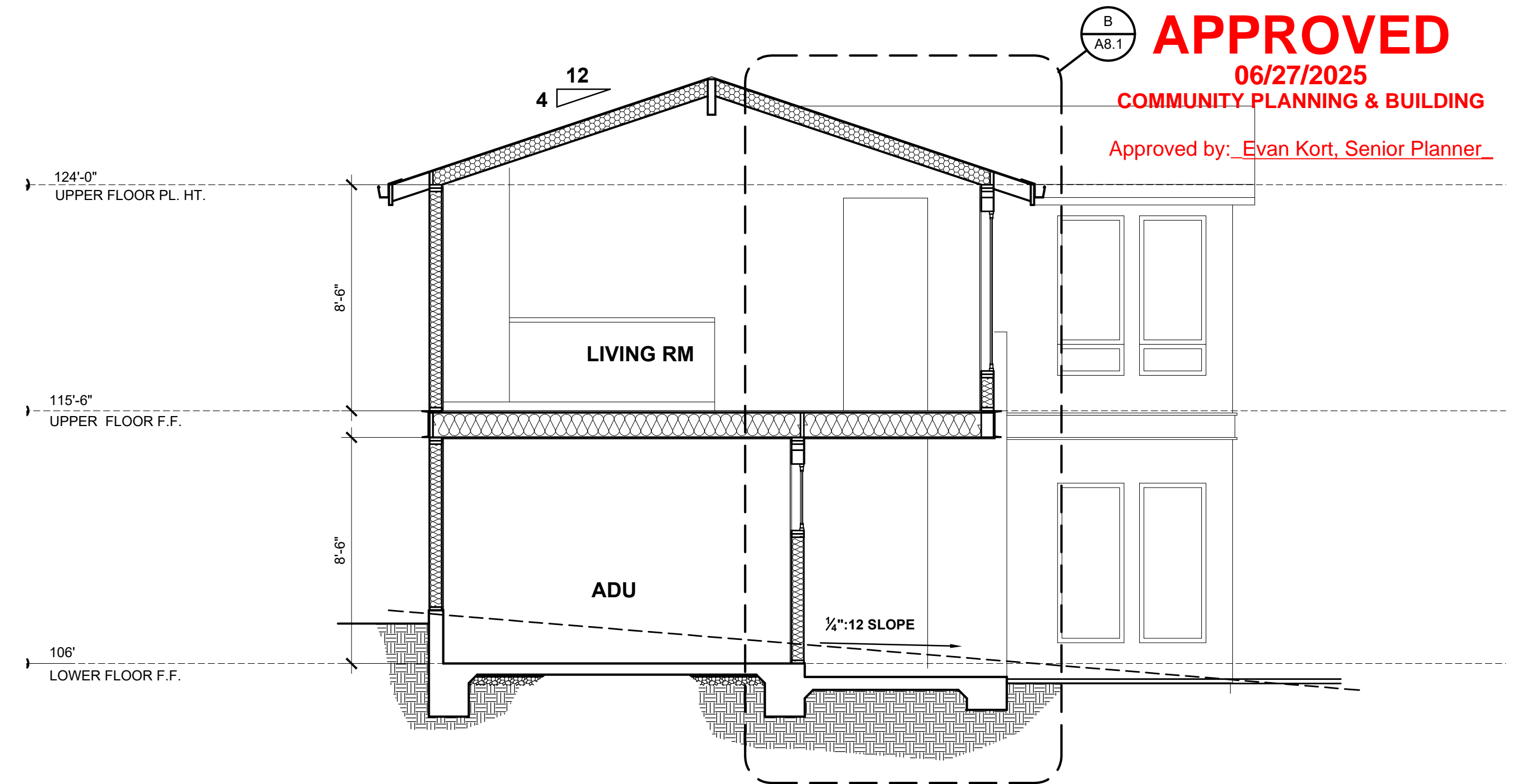
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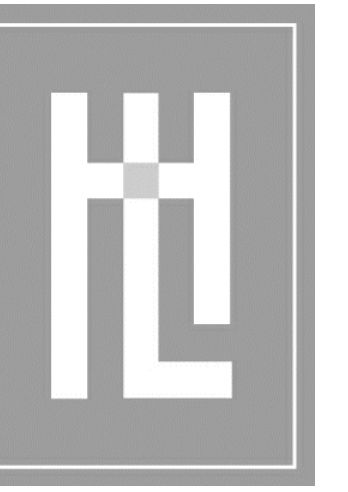
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SECTION A-A
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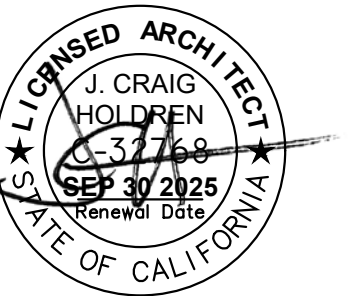
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SCALE:
DRAWN: 1/4"=1'-0"
JOB NUMBER: 23.14 JM
REVISION



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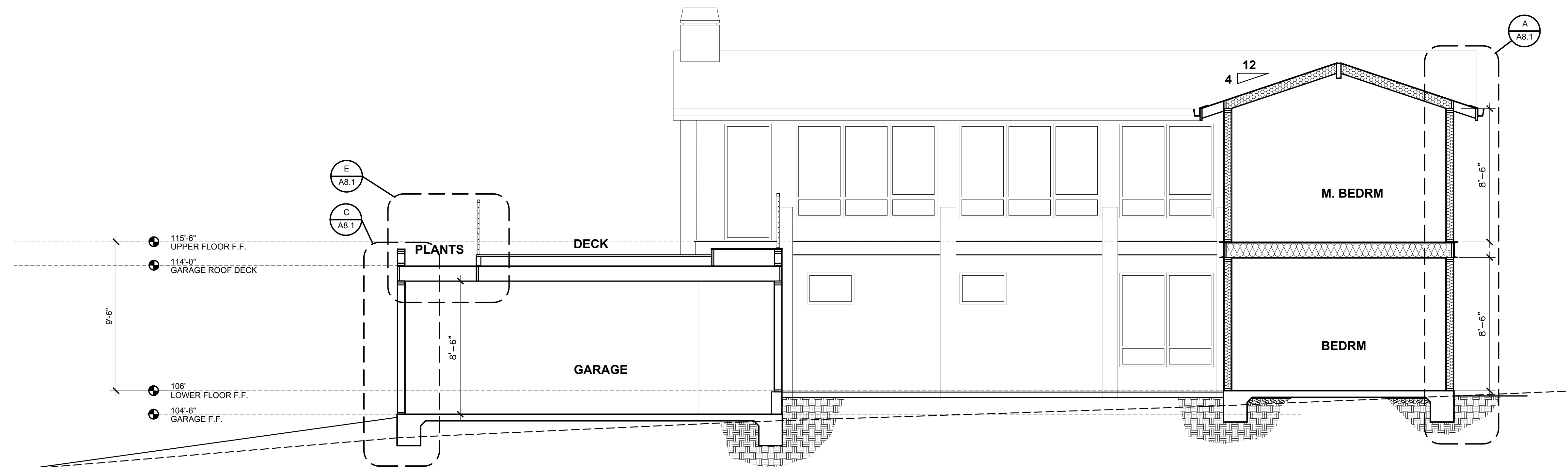
06/27/2025

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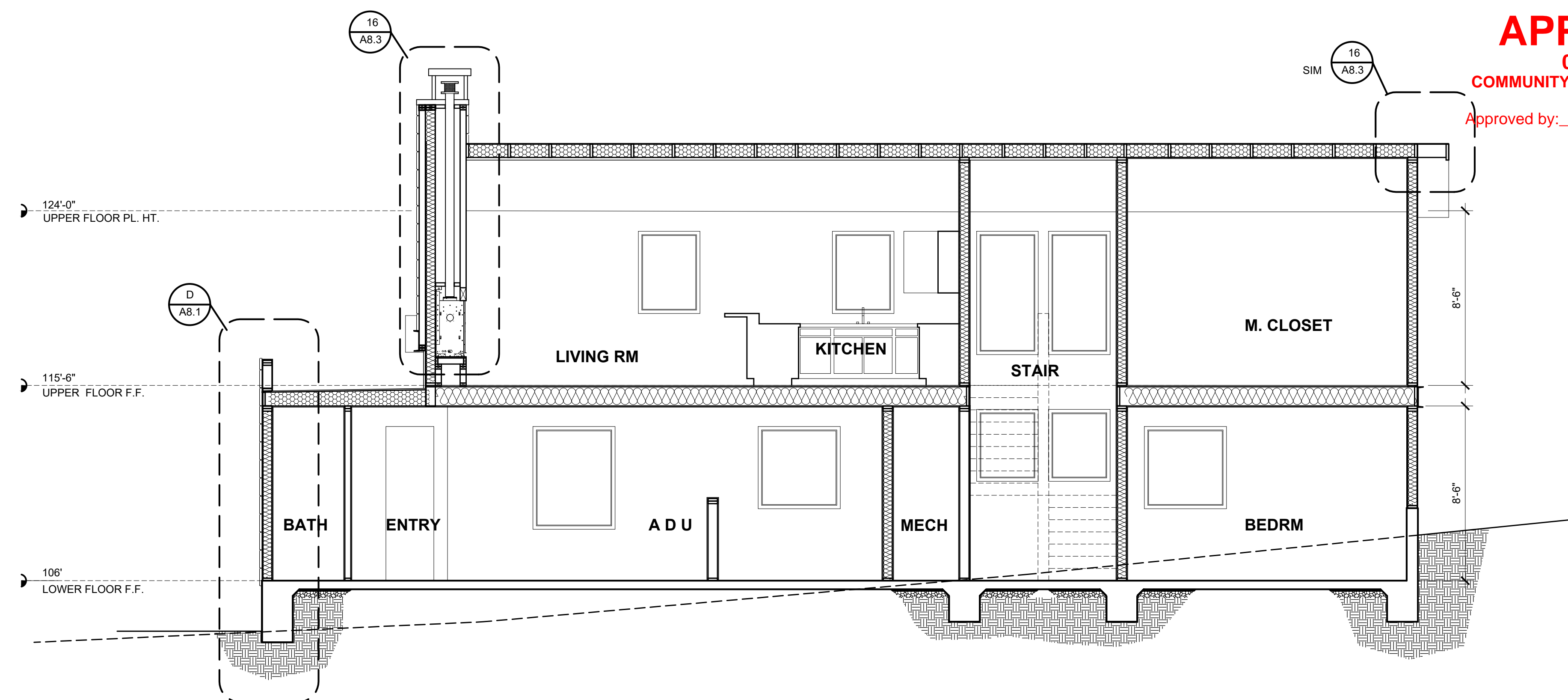
Approved by: Evan Kort, Senior Planner

SECTIONS
MEYROSE / COMEAU RESIDENCE
SANTA FE ST. 3 NE OF 5TH AVE
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A3.3

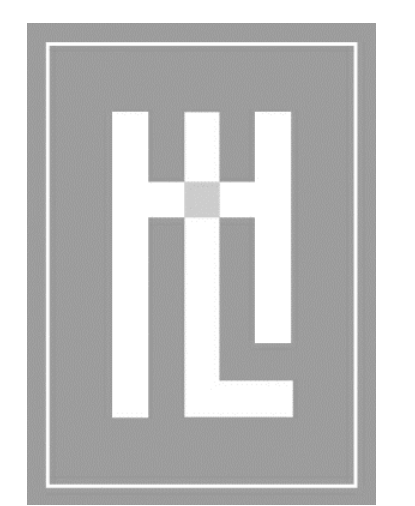


SECTION E-E
SCALE: 1/4" = 1'-0"



SECTION F-F
SCALE: 1/4" = 1'-0"

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REVISION	



SECTIONS
MEYROSE / COMEAU RESIDENCE
SANTA FE ST. 3 NE OF 5TH AVE
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A3.4

DOOR SCHEDULE

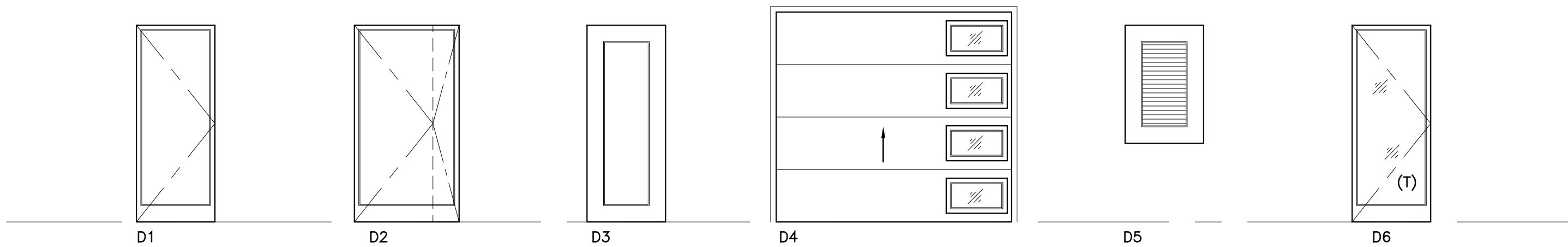
NOTE: ALL NEW EXTERIOR DOORS ARE TO BE ALUM CLAD WOOD DOORS.

MANUFACTURER : "KOLBE" , PRODUCT LINE :ULTRA-SERIES (TRUFFLE)

NOTE: CONTRACTOR TO VERIFY DOOR DIMENSION OPENING PRIOR TO INSTALLATION.

	MARK	TYPE	WIDTH	HEIGHT	CORE	HARDWARE	DETAILS			REMARKS
							HEAD	JAMB	THRESH.	
ADU / LOWER FLOOR	1	D1	3'-0"	7'-6"	WOOD					
	2	D2	4'-0"	7'-6"	GLASS					STEEL FRAME, 3/8" TEMPERED GLASS , PIVOT WITH RECESSED HARDWARE
	3	D3	2'-10"	7'-6"	WOOD					
	4	D4	8'-6"	7'-6"	WOOD					SECTIONAL GARAGE DOOR,W/ TEMPERED GLAZING
	5	D5	2'-6"	4'-0"	WOOD					LOUVERED ACCESS DOOR TO MECHANICAL ROOM
	6	D3	2'-4"	7'-0"	WOOD					
	7	D3	2'-0"	7'-0"	WOOD					
	8	D3	3'-0"	7'-0"	WOOD					
	9	D3	2'-8"	7'-0"	WOOD					
	10	D3	(PR) 2'-6"	7'-0"	WOOD					
	11	D3	2'-4"	7'-0"	WOOD					
	12		2'-8"	7'-0"	WOOD					POCKET DOOR
UPPER FLOOR	15	D6	3'-0"	7'-6"	WOOD					
	16	D3	3'-0"	7'-0"	WOOD					
	17	D3	2'-8"	7'-0"	WOOD					
	18	D3	2'-4"	7'-0"	WOOD					

DOOR TYPES:



DOOR NOTES

- SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR OPERATION
- ALL DOOR GLAZING TO BE TEMPERED
- TEMPERED GL - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING
- VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
- WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD DOORS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.

HARDWARE NOTES

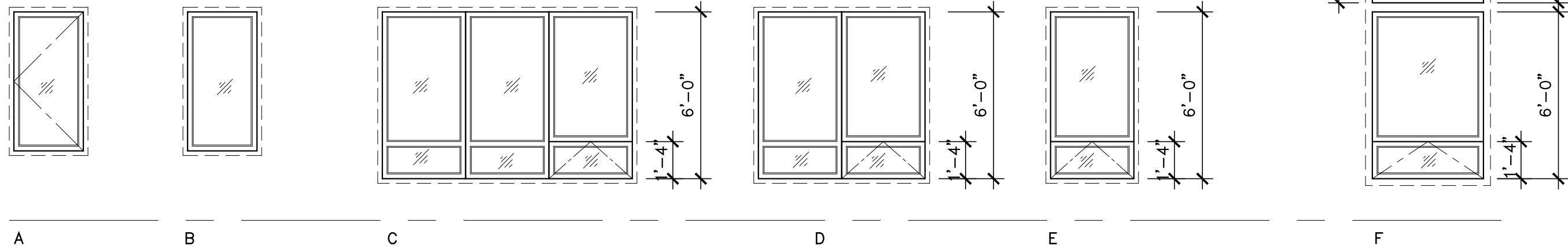
ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N. :

- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
- HARDWARE SHALL HAVE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- PROVIDE 4" X 4" BUTTS ON ALL DOORS
- ALL HARDWARE TO HAVE FINISH PER OWNER.
- ALL FIRE RATED DOORS SHALL HAVE PEMKO S88D (OR EQUAL) SMOKE SEALS.

WINDOW SCHEDULE												
NOTE: ALL WINDOWS ARE TO BE ALUM CLAD WOOD WINDOWS. WINDOW MANUFACTURER: "KOLBE", PRODUCT LINE: ULTRA-SERIES (TRUFFLE)												
NOTE: CONTRACTOR TO VERIFY WINDOW DIMENSION OPENING PRIOR TO INSTALLATION.												
	MARK	TYPE		NOMINAL DIMENSIONS		HEAD HEIGHT (ABOVE FIN. FLR.)	FRAME (EXT/INT)		DETAILS			REMARKS
				WIDTH	HEIGHT				HEAD	JAMB	SILL	
ADU / LOWER FLOOR	1	A	CASEMENT	2'-6"	2'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	2	A	CASEMENT	3'-6"	4'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	3	A	CASEMENT	3'-6"	4'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	4	B	FIXED	3'-0"	4'-0"	8'-0"	ALUM/WOOD	DOUBLE INSULATED				
	5	B	FIXED	3'-0"	4'-0"	8'-0"	ALUM/WOOD	DOUBLE INSULATED				
	6	A	CASEMENT	3'-6"	4'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				EGRESS WINDOW, SEE NOTES #11 & #12
	7	A	CASEMENT	4'-6"	3'-6"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	8	A	CASEMENT	3'-0"	3'-6"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	9	A	CASEMENT	2'-8"	4'-8"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				EGRESS WINDOW, SEE NOTES #11 & #12
	10	A	CASEMENT	2'-8"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	11	A	CASEMENT	2'-8"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	12	B	FIXED	2'-8"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	13	B	FIXED	2'-8"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	14	A	CASEMENT	3'-0"	2'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	15	A	CASEMENT	3'-0"	2'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	16		NOT USED									
	17	A	CASEMENT	3'-0"	3'-6"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
UPPER FLOOR	20	F	FIXED/AWNING	SEE WINDOW TYPE FOR DIMENSIONS			ALUM/WOOD	DOUBLE INSULATED				
	21	F	FIXED/AWNING	SEE WINDOW TYPE FOR DIMENSIONS			ALUM/WOOD	DOUBLE INSULATED				
	22		NOT USED					DOUBLE INSULATED				
	23	A	CASEMENT	3'-0"	3'-6"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	24	B	FIXED	3'-0"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	25	B	FIXED	3'-0"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	26		NOT USED									
	27	A	CASEMENT	3'-0"	3'-6"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	28		NOT USED									
	29	A	CASEMENT	2'-8"	4'-8"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				EGRESS WINDOW, SEE NOTES #11 & #12
	30	A	CASEMENT	2'-8"	4'-8"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				EGRESS WINDOW, SEE NOTES #11 & #12
	31	E	FIXED/AWNING	2'-8"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	32	E	FIXED/AWNING	2'-8"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	33	D	FIXED/AWNING	(2) 3'-0"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	34	C	FIXED/AWNING	(3) 3'-0"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				
	35	C	FIXED/AWNING	(3) 3'-0"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED				

WINDOW TYPES:

(T) : TEMPERED GLAZING

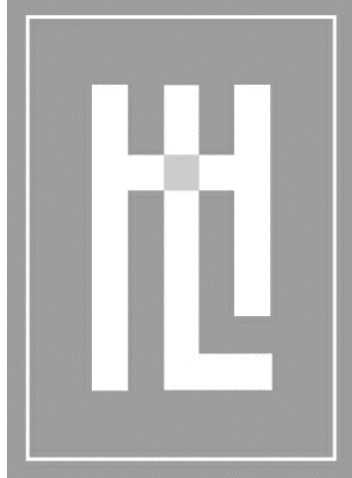


GLAZING NOTES:

- VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
- EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS, EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E II", ARGON FILLED.
- INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE TEST SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCES. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:
 - GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.
 - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
 - GLAZING IN ALL UNFRAMED SWINGING DOORS.
 - GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE DRAIN OUTLET.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft. THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
- AT DOUBLE PANE WINDOWS WITH OBSCURE GLASS INTERIOR GLAZING CAN BE CLEAR TEMPERED WITH THE EXTERIOR BEING UN-TEMPERED OBSCURE.

WINDOW NOTES:

- CASEMENT WINDOWS SHALL BE PUSH OUT SWING CASEMENT - TYPICAL.
- ALL CASEMENT WINDOWS SHALL PIVOT TO FACILITATE CLEANING THE EXTERIOR FROM THE INTERIOR.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING FLOOR PLANS AND EXTERIOR ELEVATIONS FOR VERIFICATION OF NUMBER & LOCATION OF ALL SASH HERE IN SCHEDULED.
- WINDOW SIZES INDICATED IN WINDOW SCHEDULE ARE APPROXIMATE & MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD DIMENSIONS. UPON REVIEW AND APPROVAL BY ARCHITECT.
- FOR WINDOW MUNTINS, MULLIONS, SWING HAND OF OPERABLE WINDOWS, ETC SEE BUILDING ELEVATIONS.
- CONTRACTOR SHALL VERIFY DIVIDED LIGHT CONFIGURATION & MTR. AVAILABILITY FOR EACH WINDOW PRIOR TO ORDER. SEE BUILDING ELEVATIONS.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 1'-8". NET CLEAR OPENING HEIGHT OF 2'-0" AND MAXIMUM SILL HEIGHT ABOVE FINISH FLOOR SHALL BE 3'-8".
- WALL WIDTHS MAY VARY - VERIFY WALL DIMENSIONS PRIOR TO MANUFACTURING WINDOWS.
- PROVIDE JAMBS EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
- SEE TYPICAL WINDOW FLASHING REQUIREMENTS 16/AS.1 FOR ADDITIONAL INFORMATION.
- WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD WINDOWS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.



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DATE: DEC. 03, 2024

SCALE:

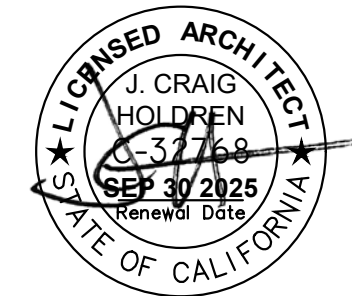
DRAWN:

JOB NUMBER: 23.14

REVISION

PLAN CHECK
FEB 24, 2025

PLAN CHANGE
APR 2, 2025
PLAN CHANGE
APR 23, 2025

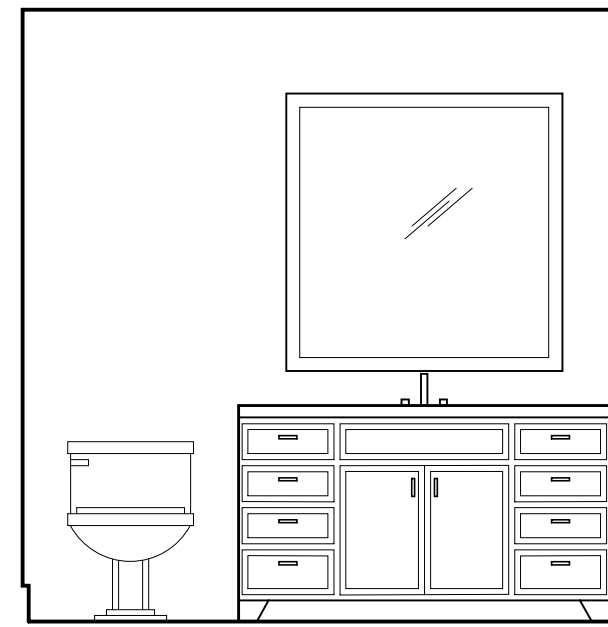


WINDOW AND DOOR SCHEDULES

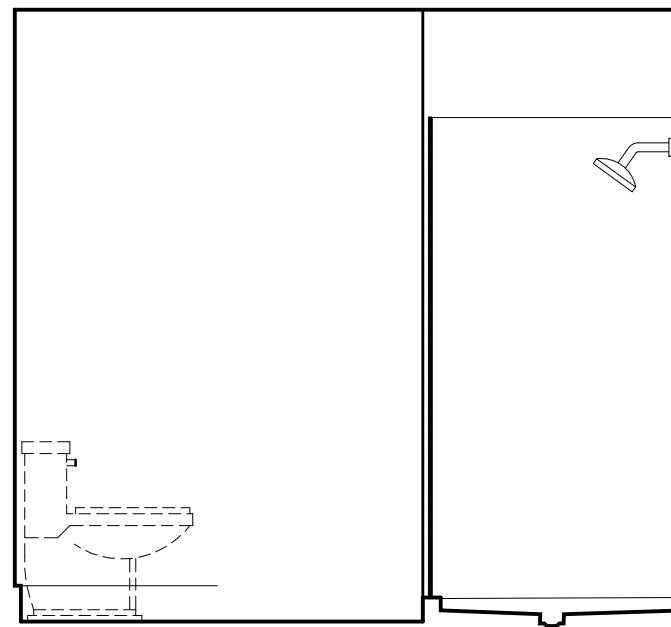
MEYROSE / COMEAU RESIDENCE

SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA
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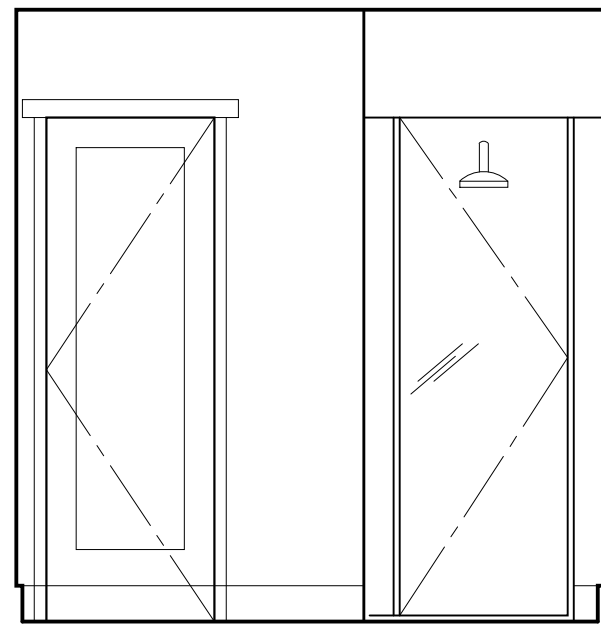
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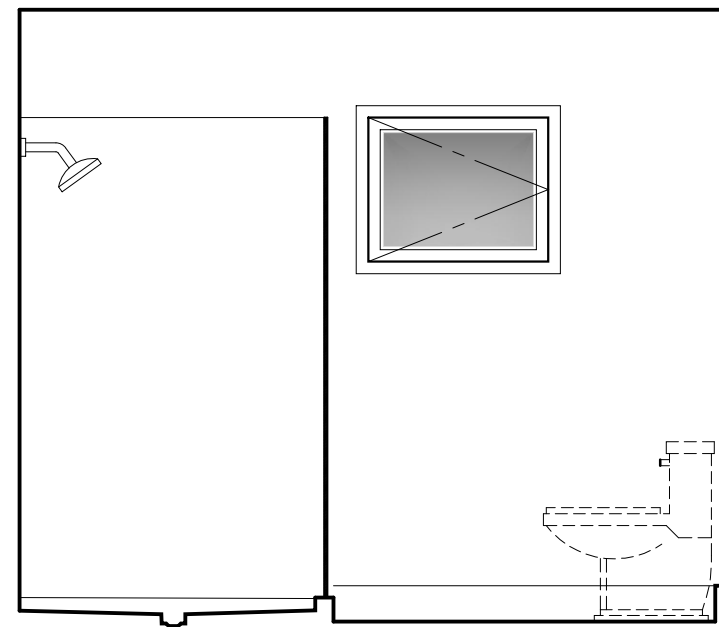
1 A



1 B

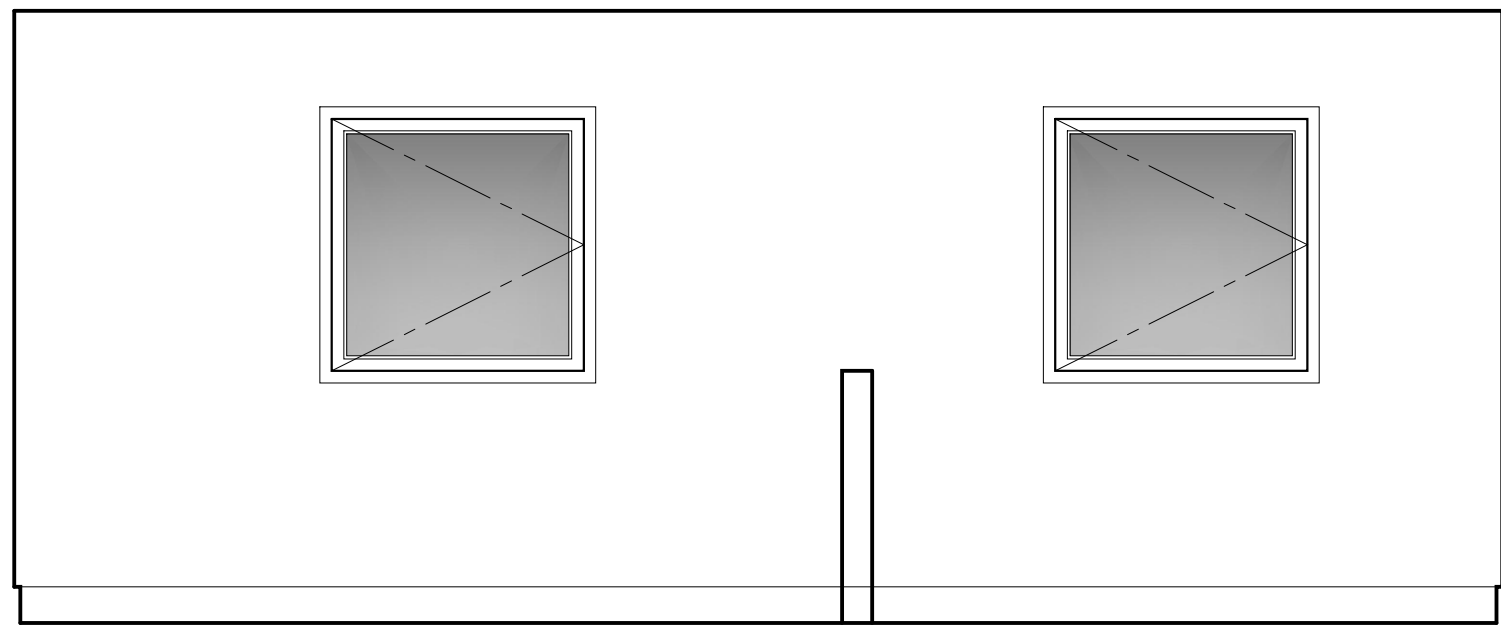


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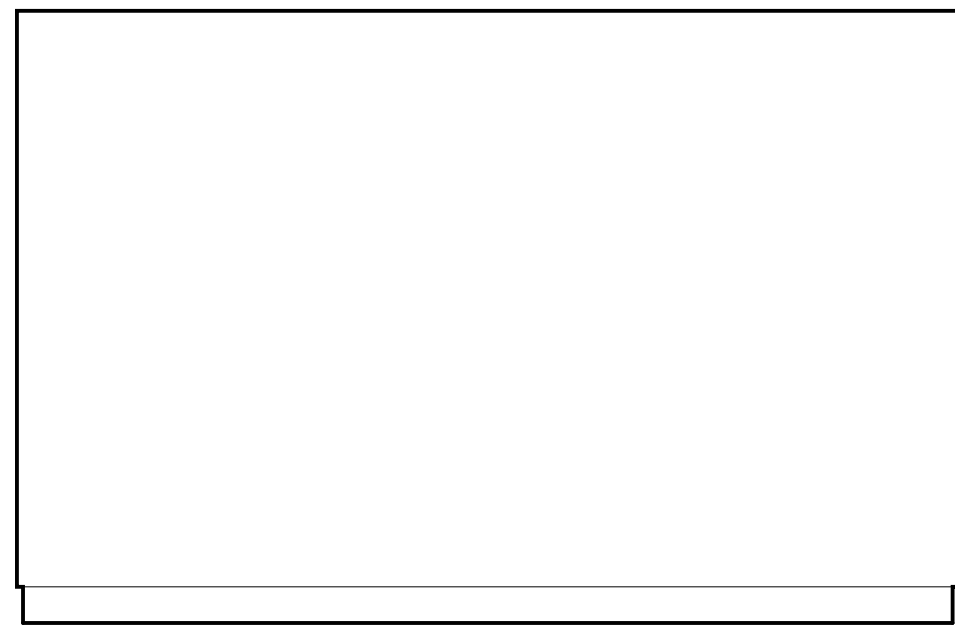


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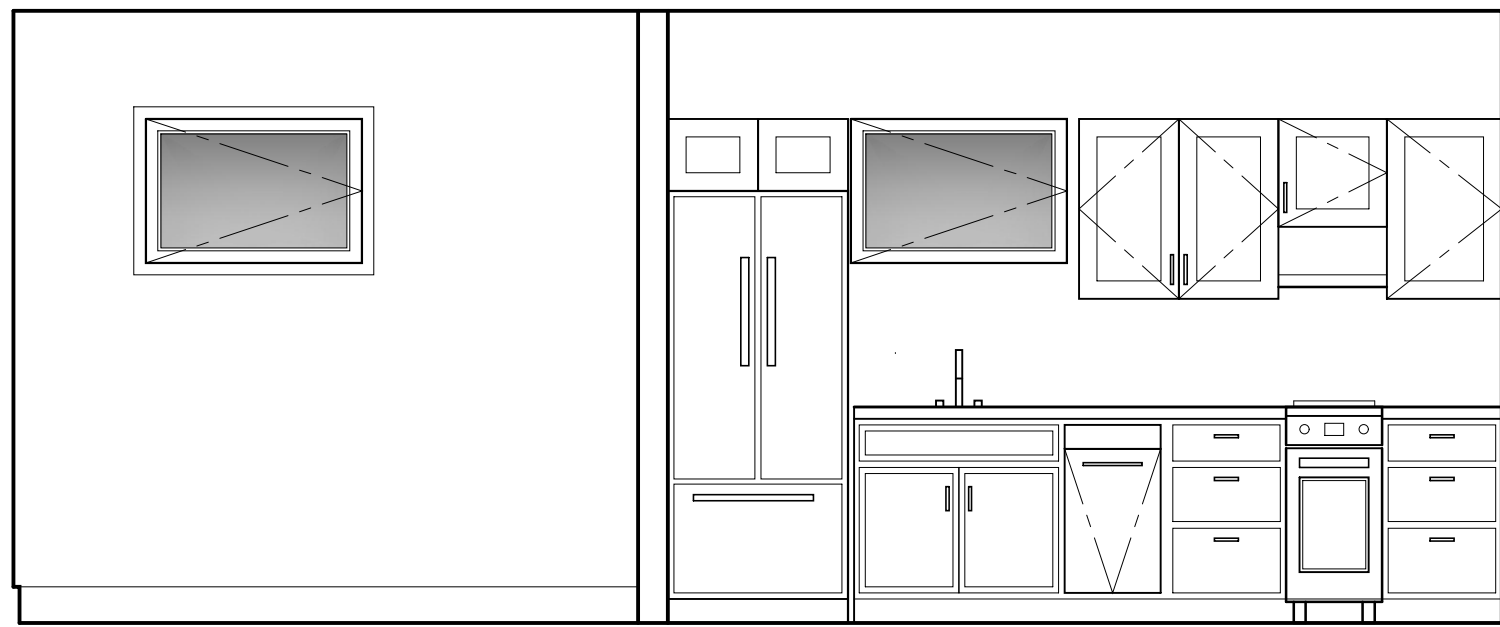
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SCALE: 3/8" = 1'-0"



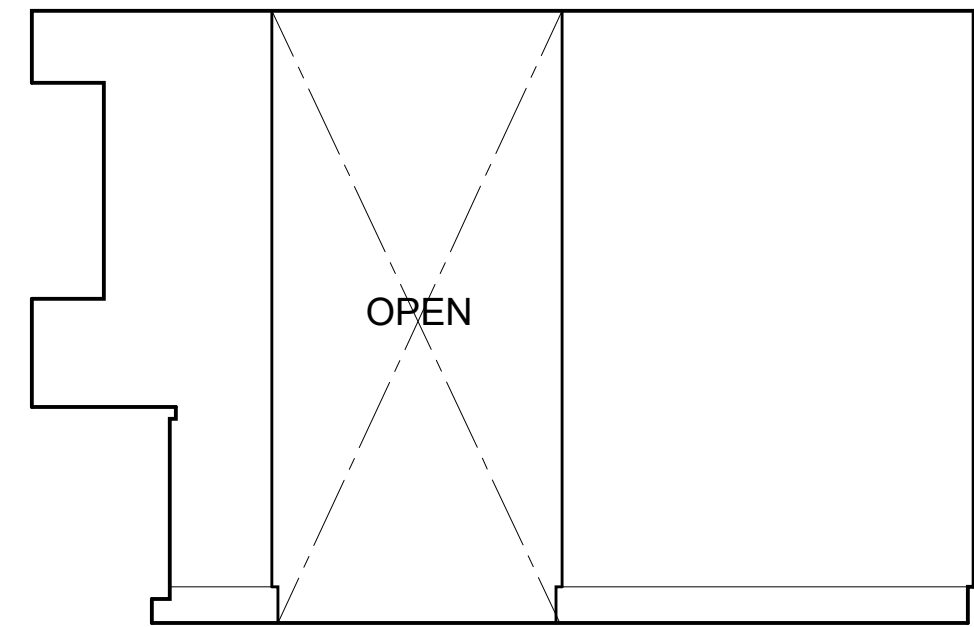
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2 B

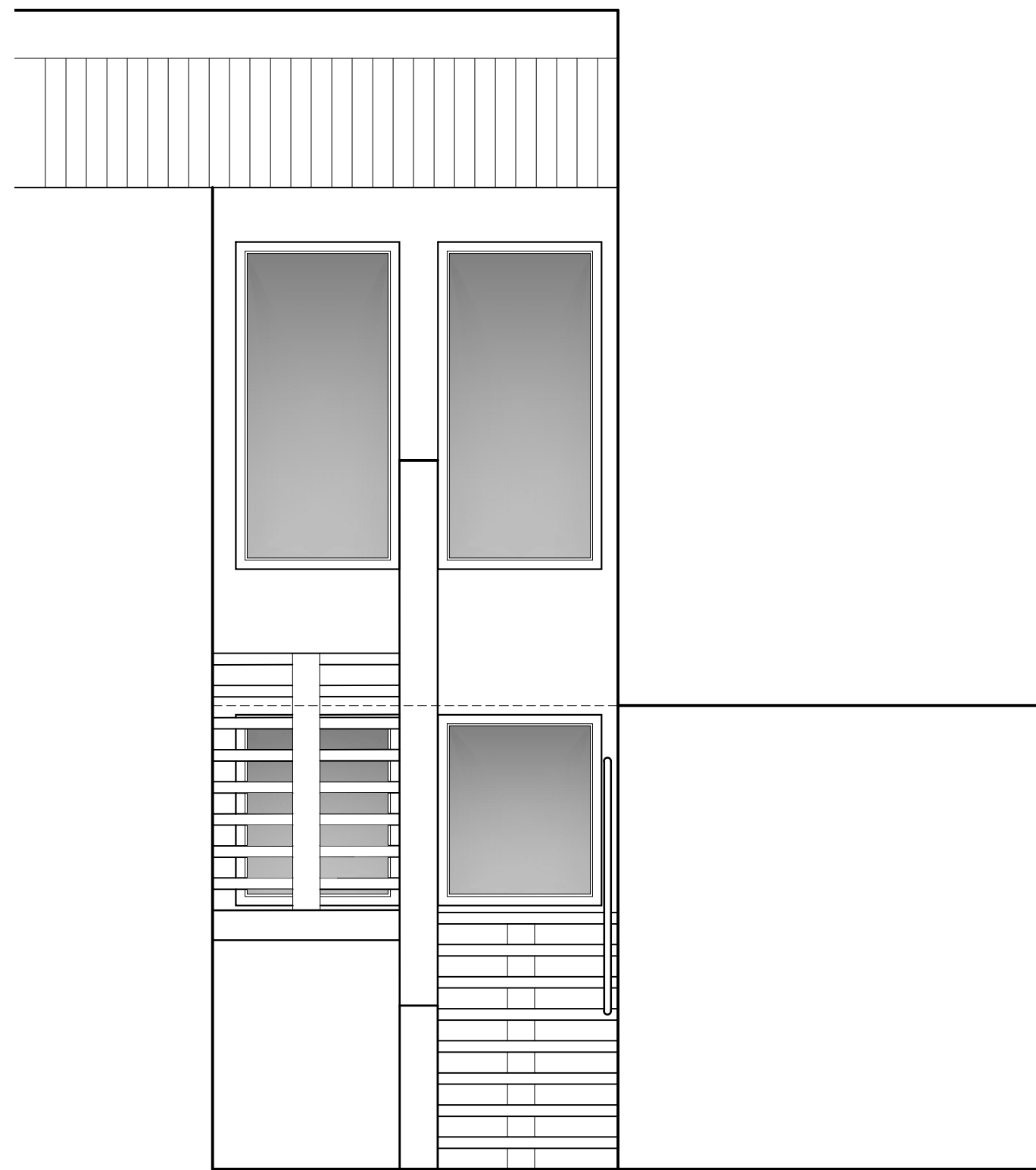


2 C BEDROOM KITCHEN

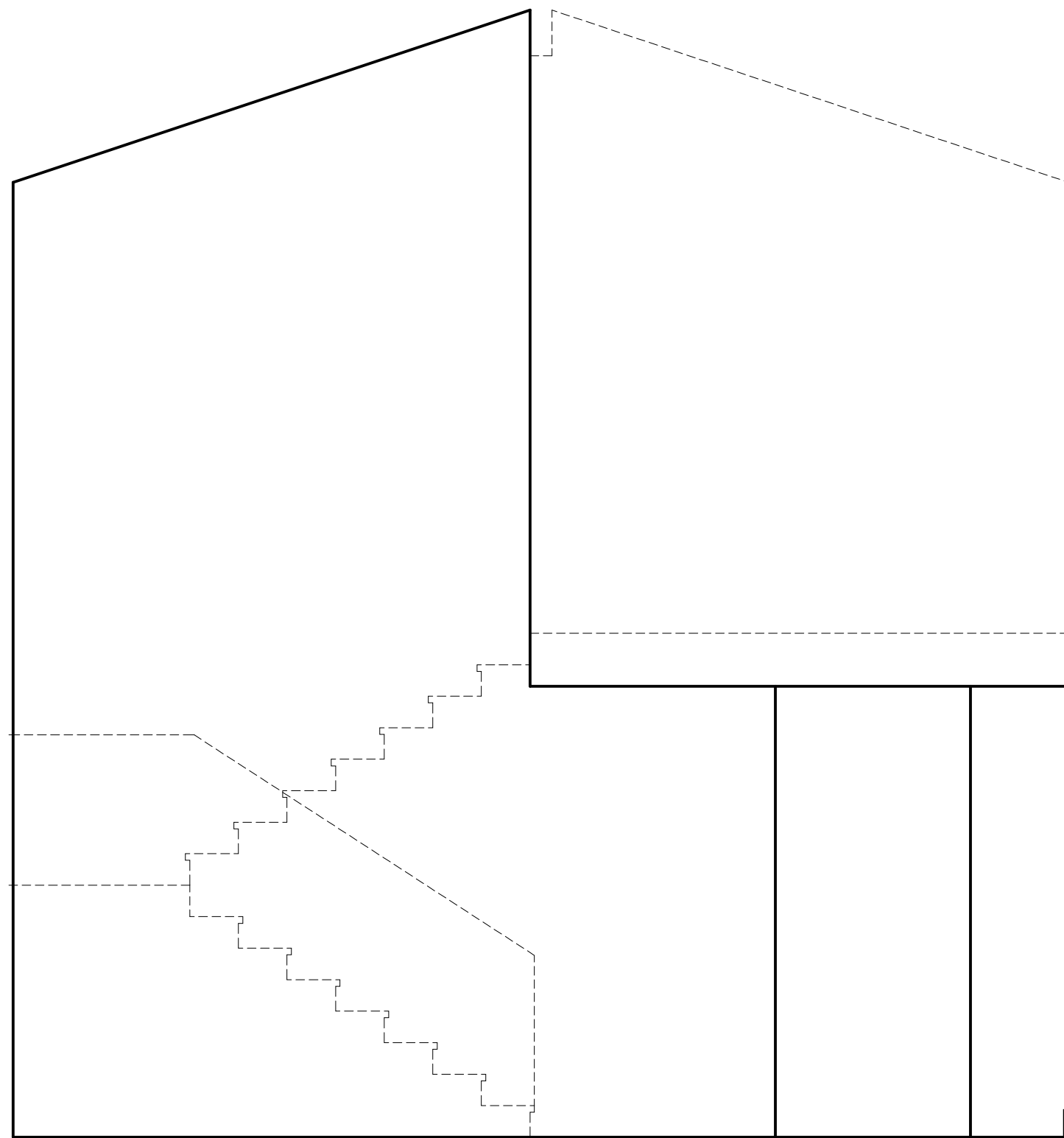


2 D

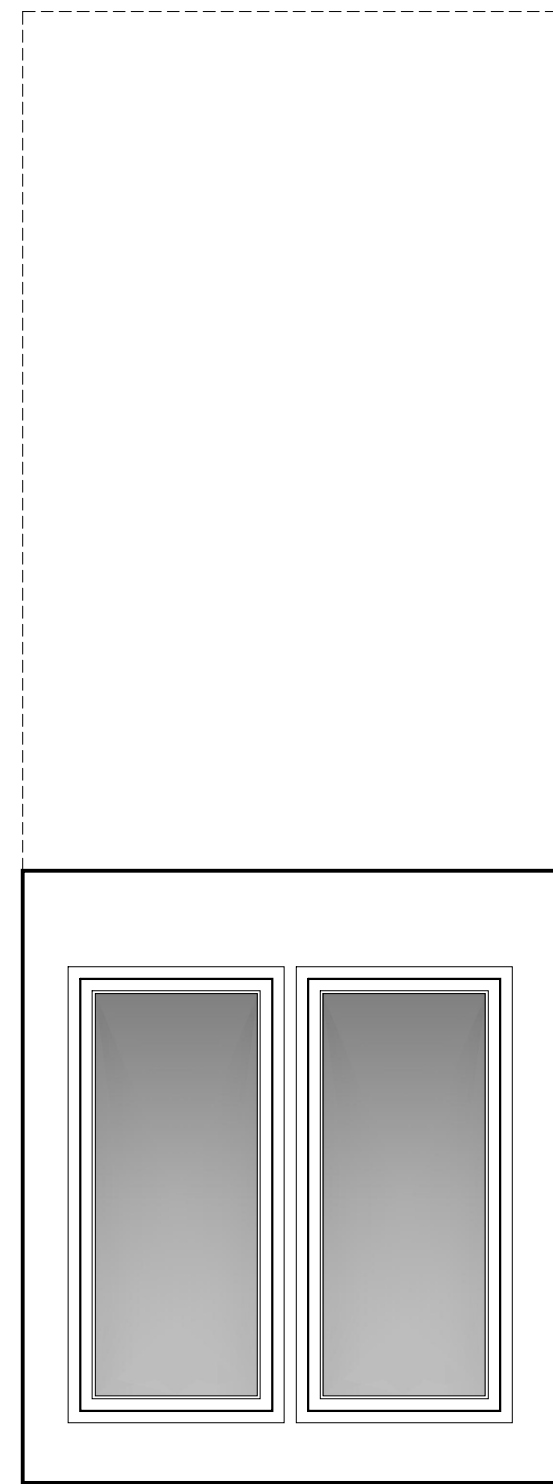
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SCALE: 3/8" = 1'-0"



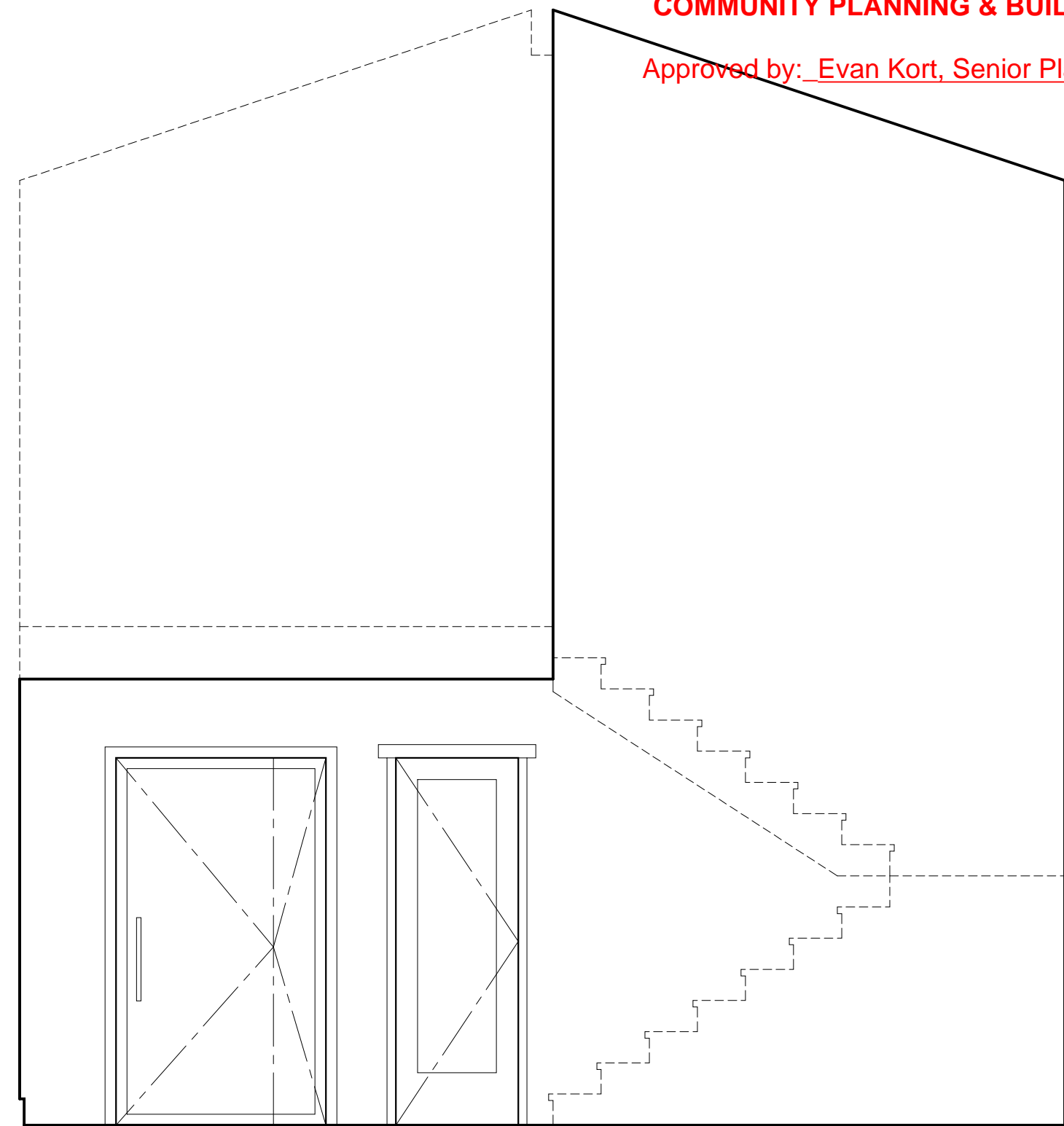
3 A ENTRY



3 B

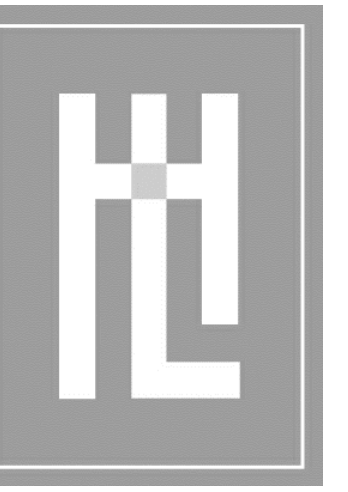


3 C



3 D

3 ENTRY
SCALE: 3/8" = 1'-0"



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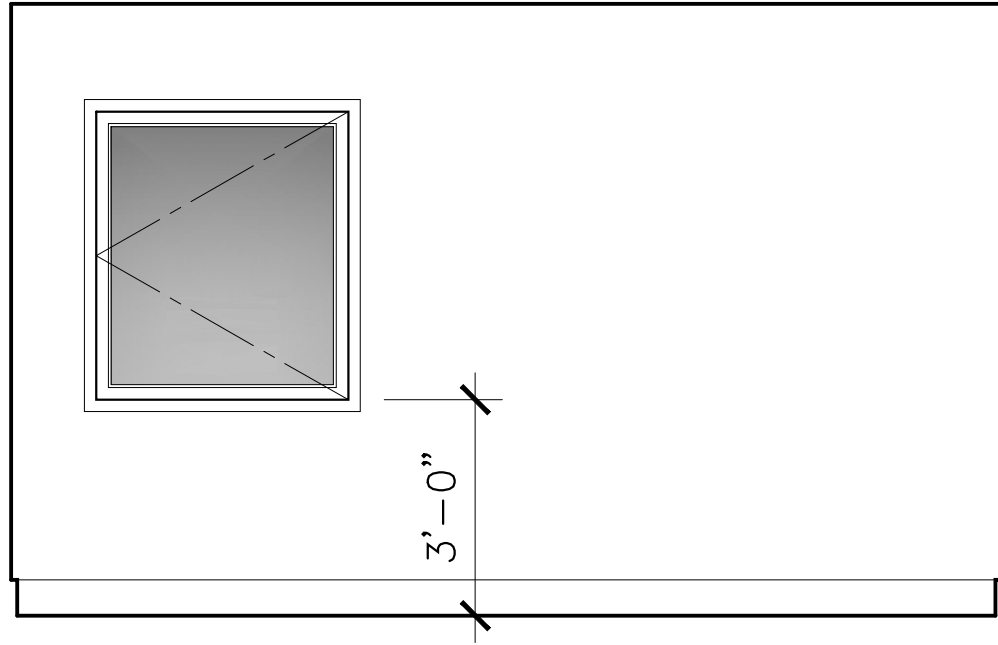
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06/27/2025
COMMUNITY PLANNING & BUILDING
Approved by: Evan Kort, Senior Planner

INTERIOR ELEVATIONS

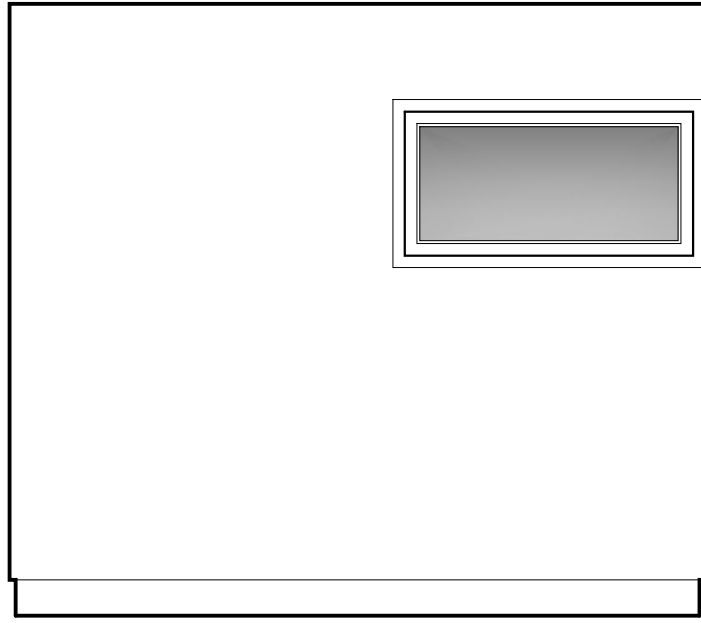
MEYROSE / COMEAU RESIDENCE

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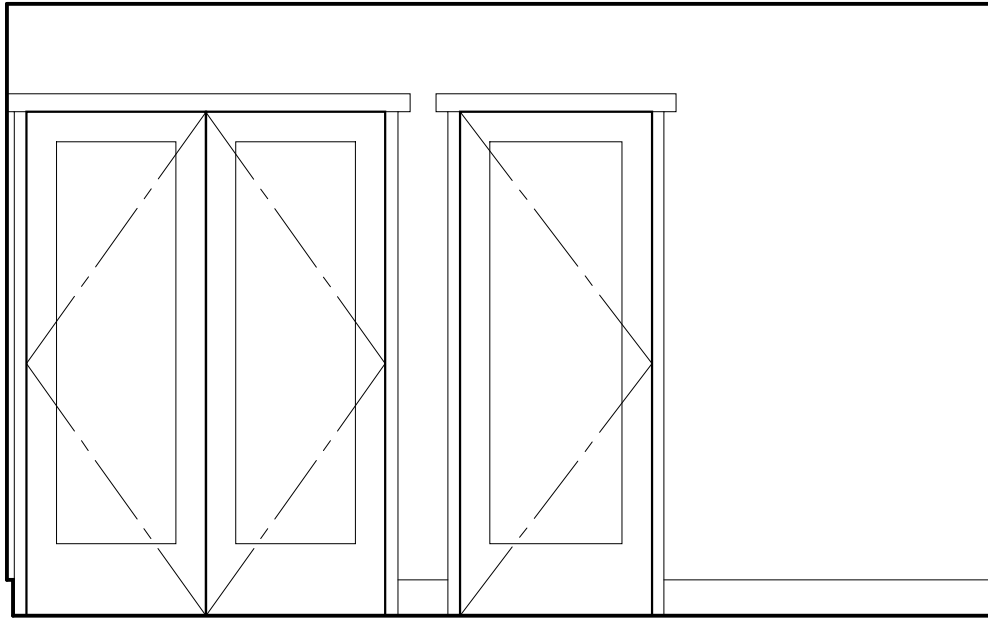
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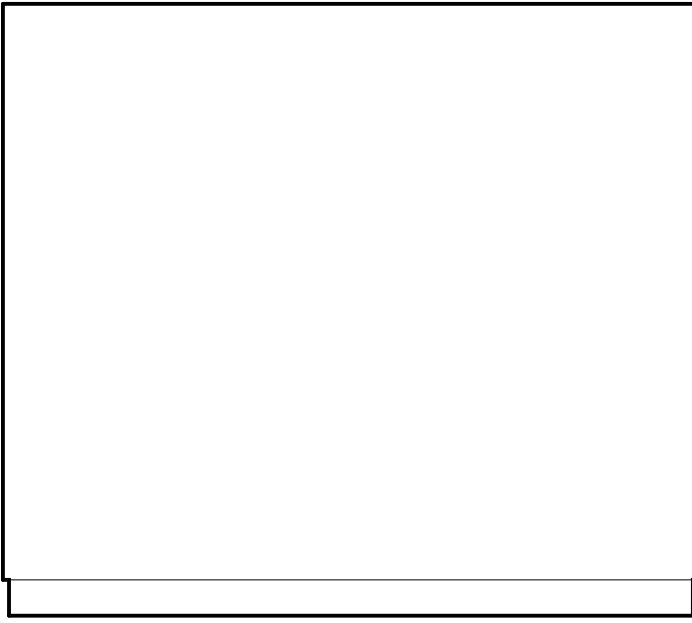
4 A



4 B

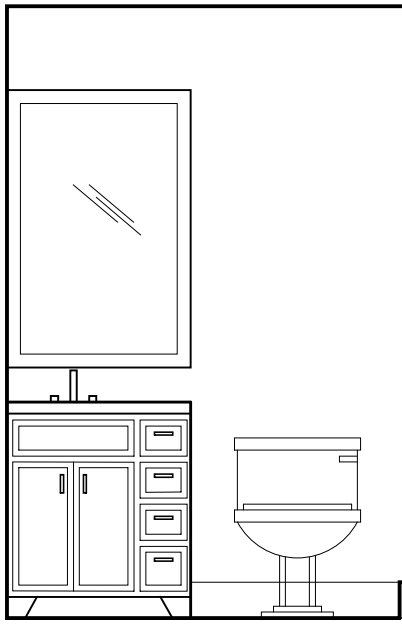


4 C

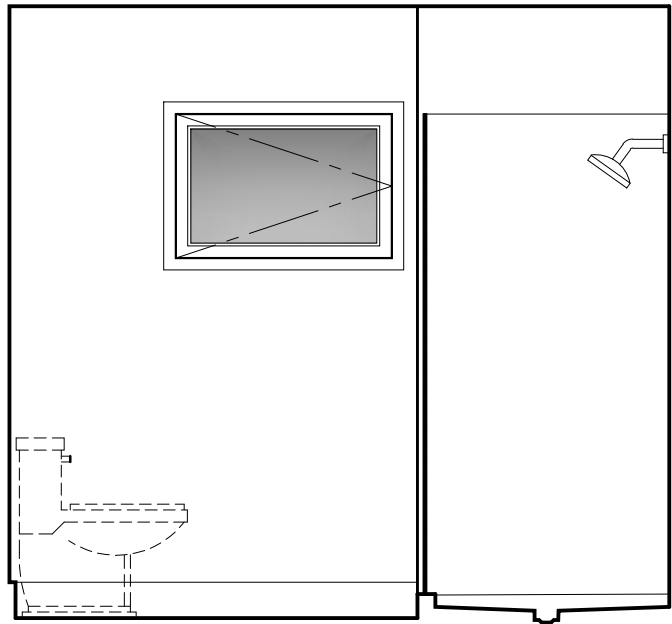


4 D

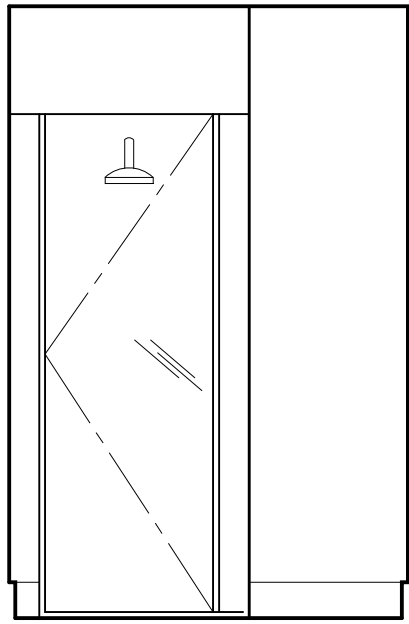
4 **BEDROOM #2**
SCALE: 3/8" = 1'-0"



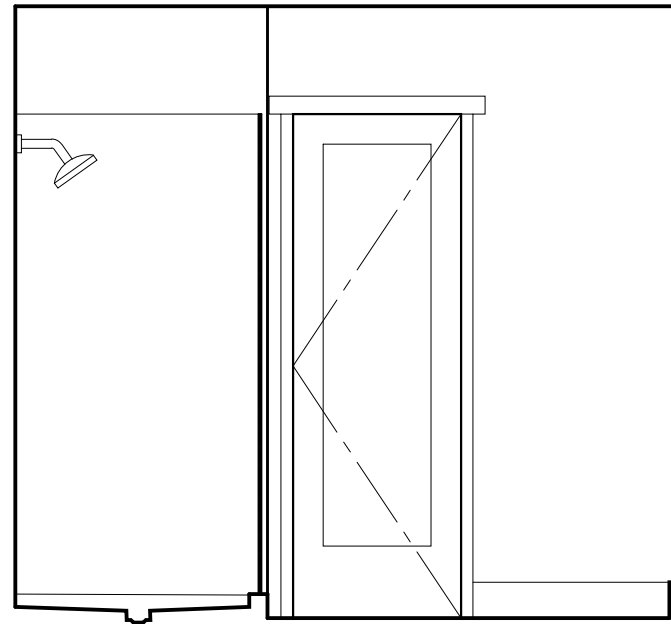
5 A



5 B

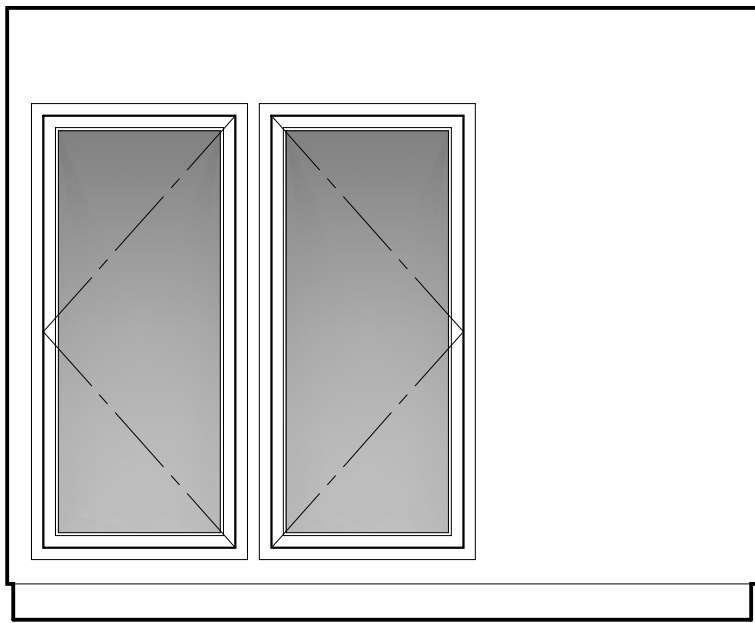


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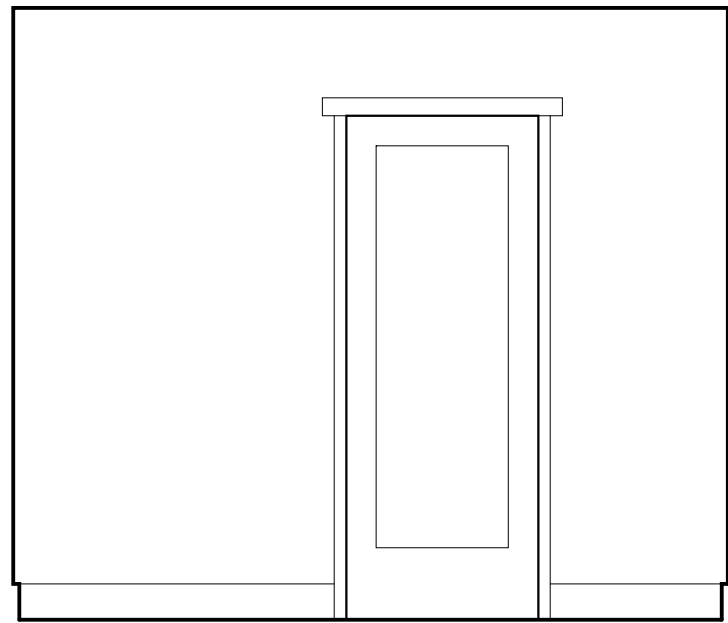


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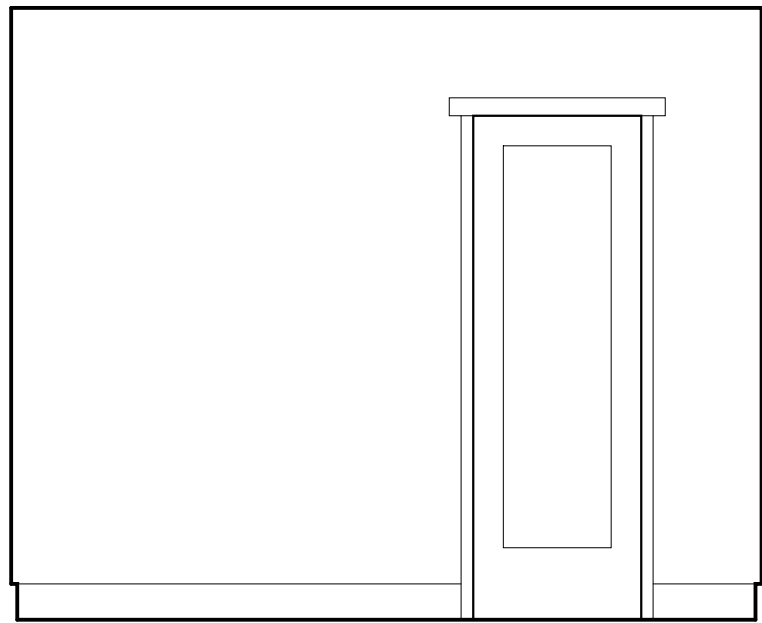
5 **BATHRRROM #1**
SCALE: 3/8" = 1'-0"



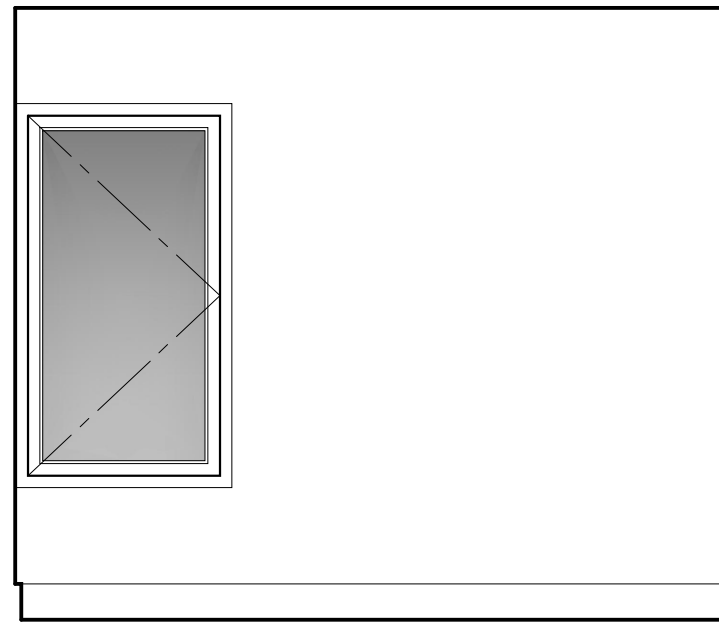
6 A



6 B

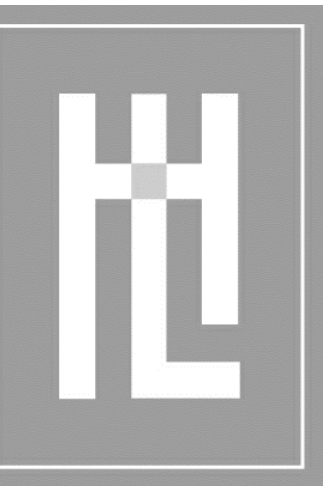


6 C



6 D

6 **BEDROOM #1**
SCALE: 3/8" = 1'-0"



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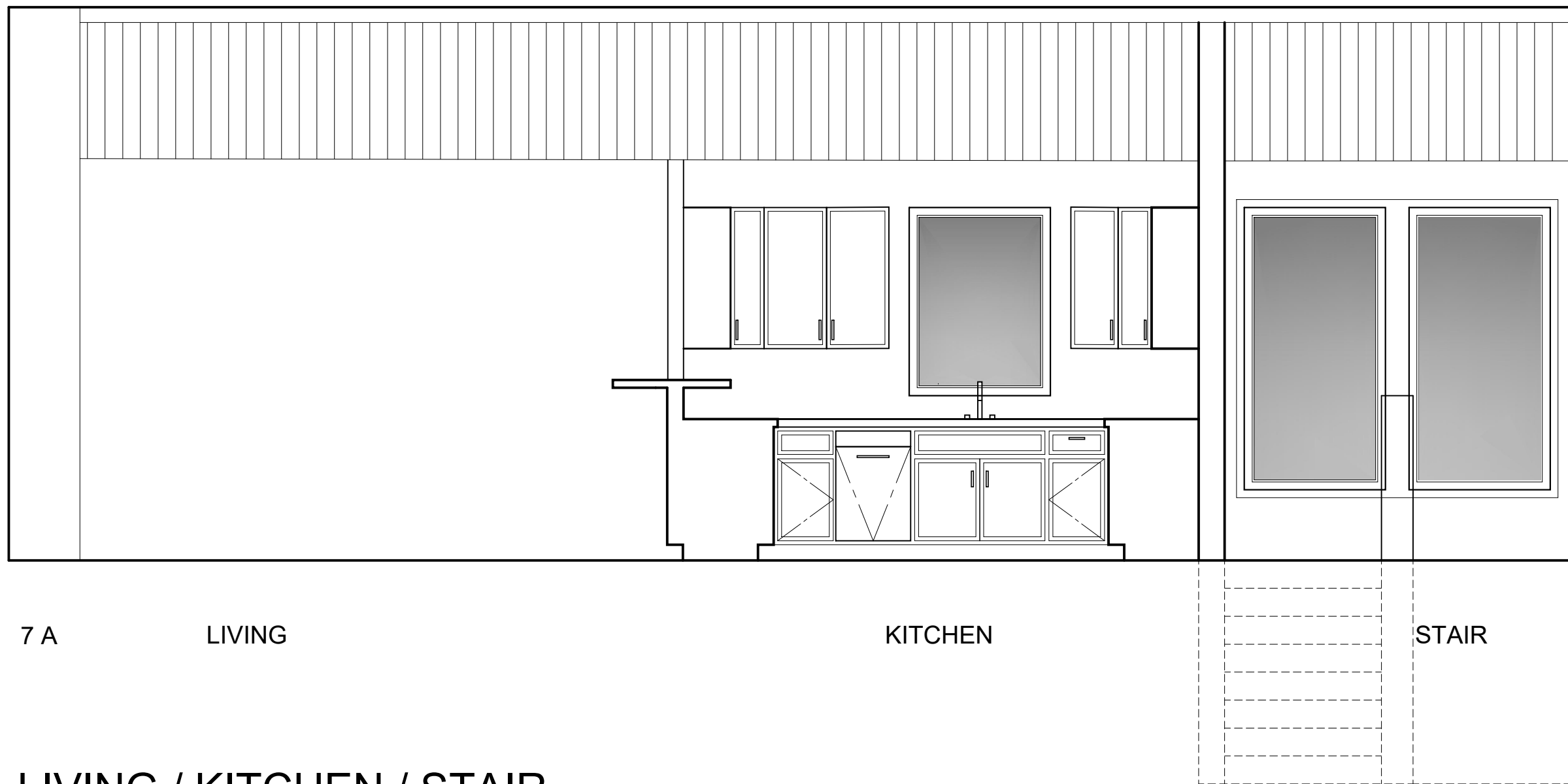


INTERIOR ELEVATIONS

MEYROSE / COMEAU RESIDENCE

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A5.2

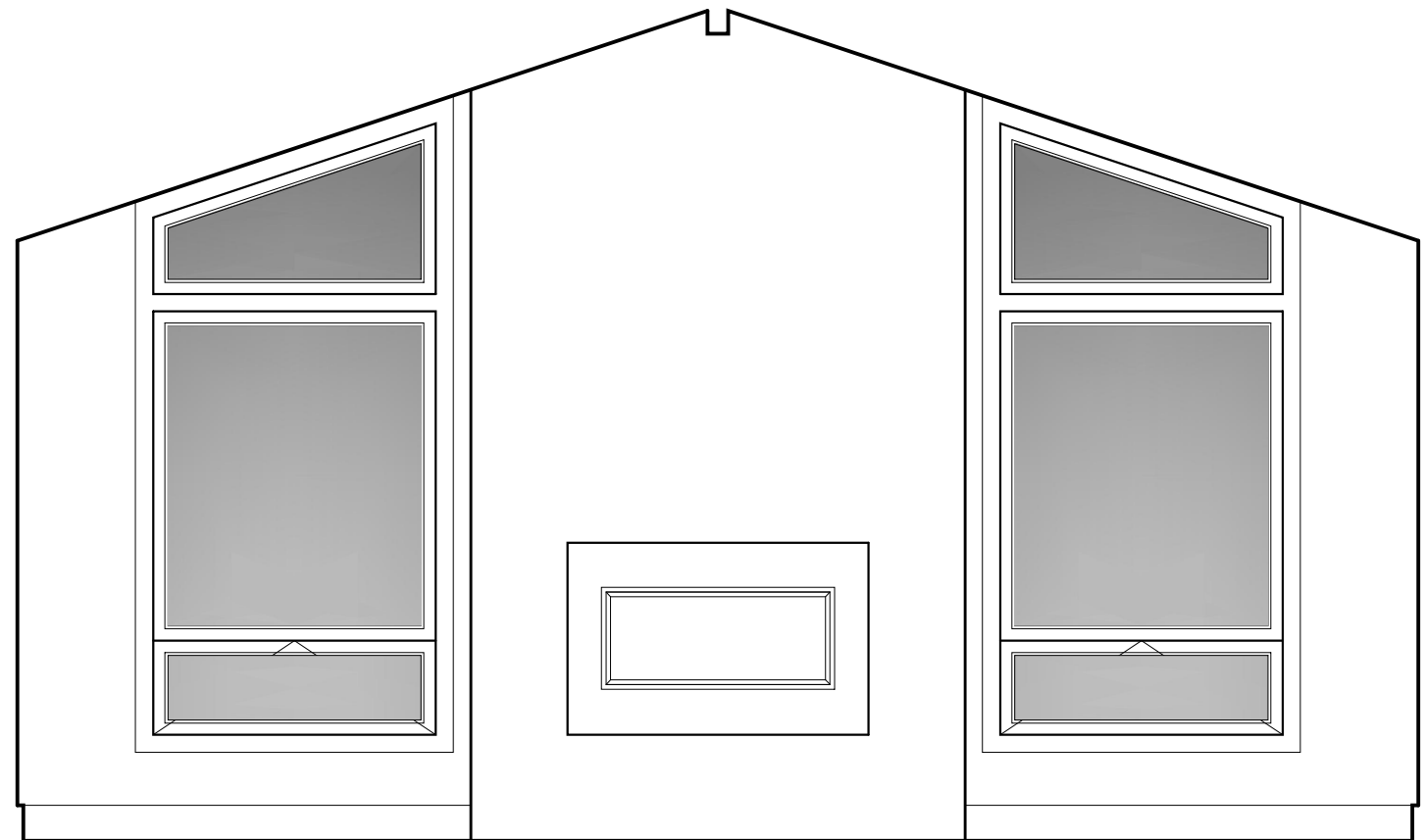


7 A

LIVING

KITCHEN

STAIR



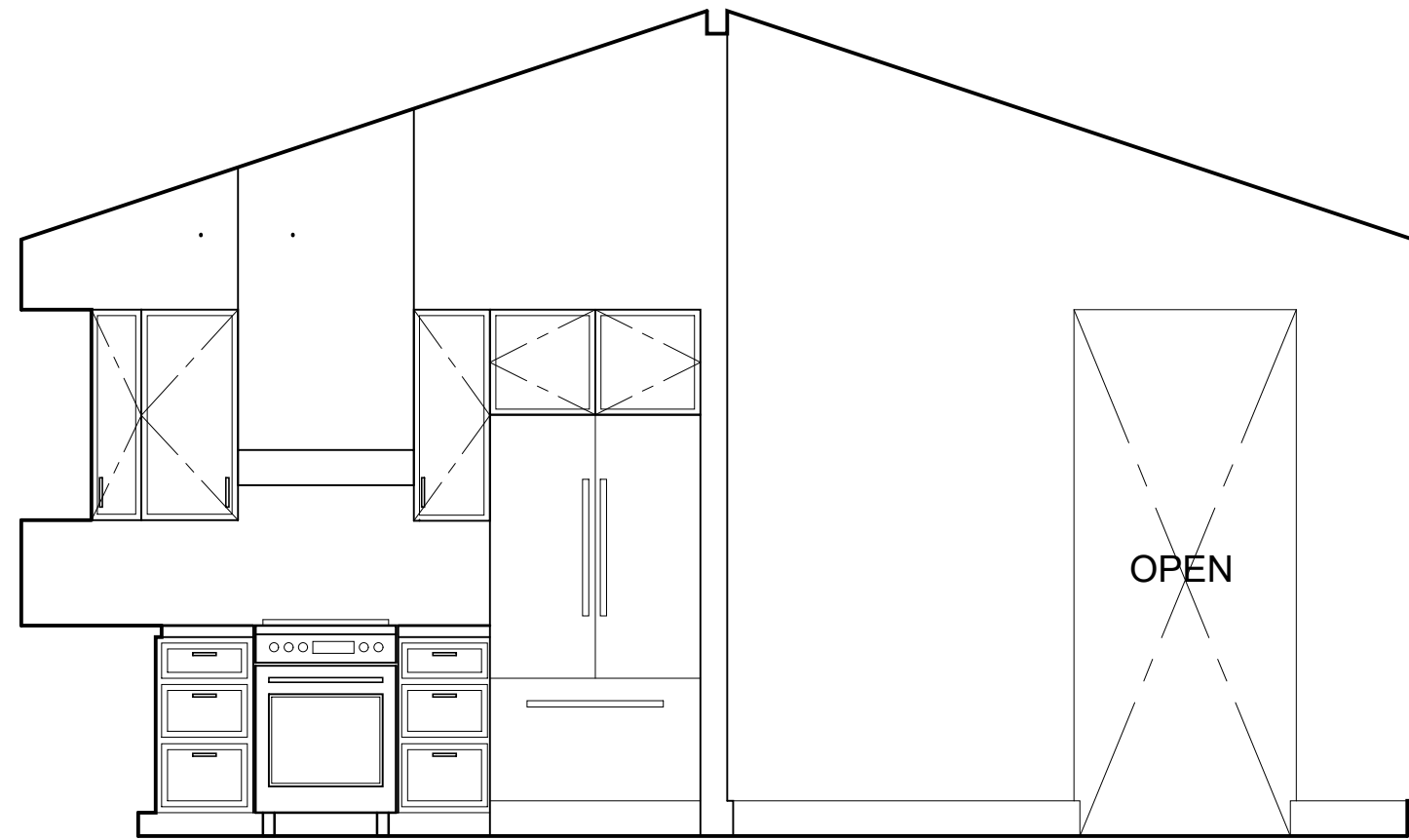
7 B

7 LIVING / KITCHEN / STAIR

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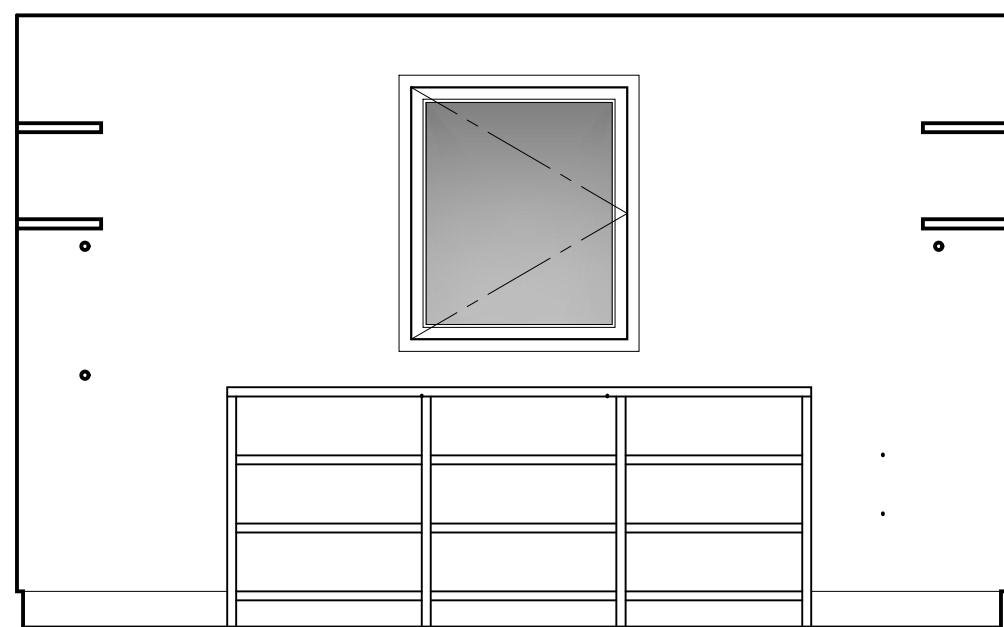
7 C



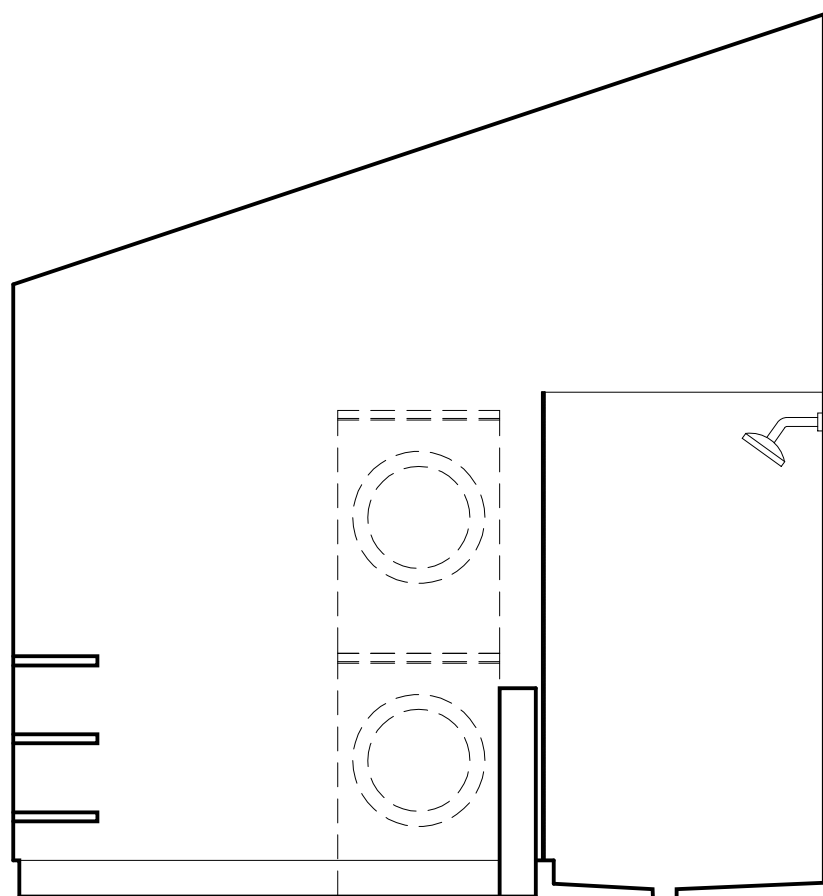
7 D

7 LIVING / KITCHEN / STAIR

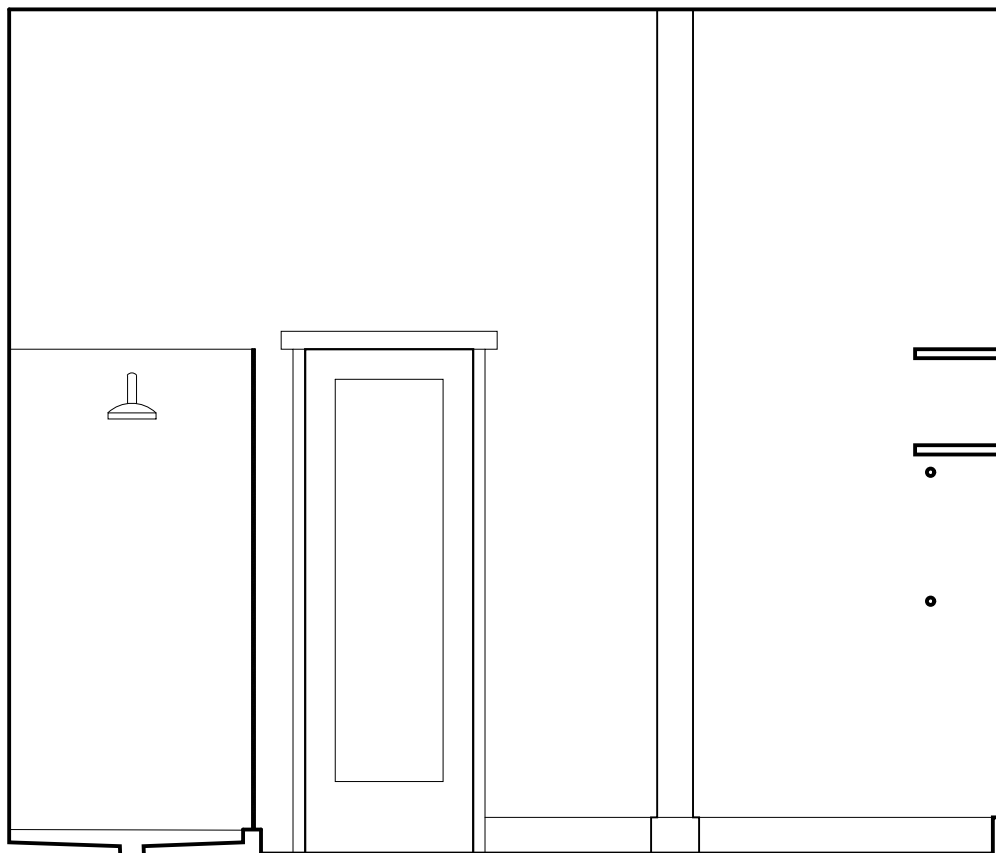
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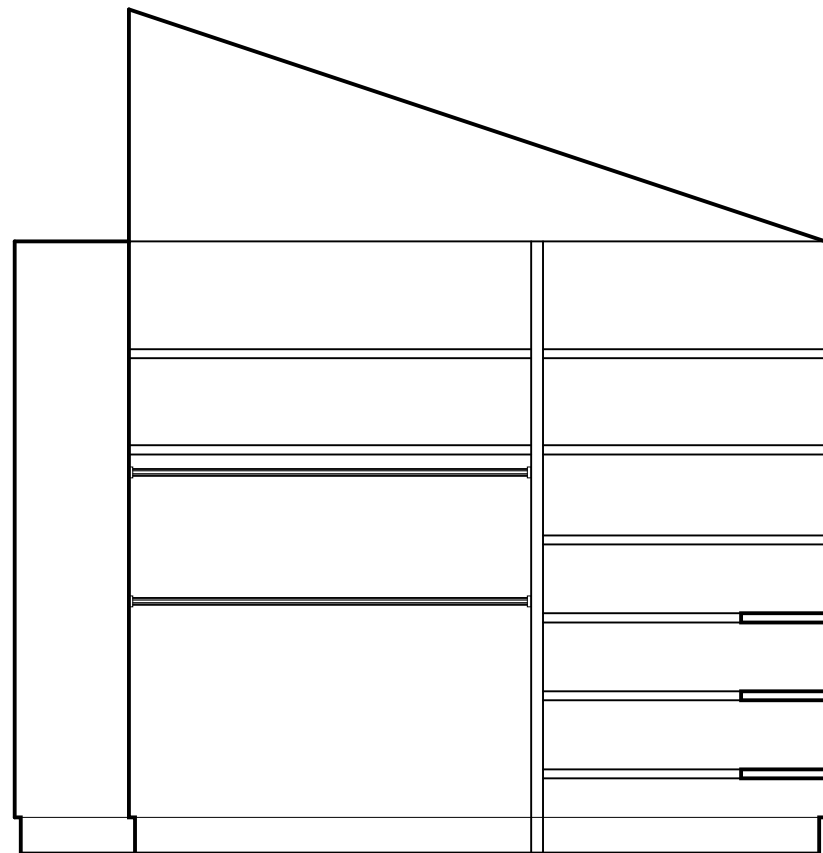
8 A



8 B



8 C

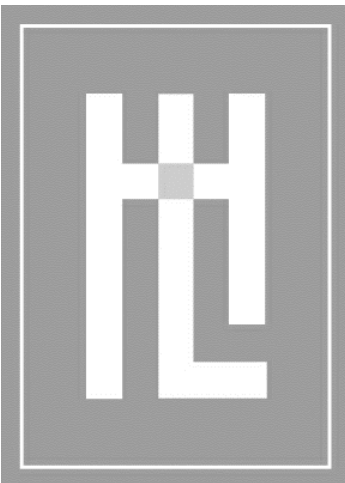


8 D

8 CLOSET / LAUNDRY

SCALE: 3/8" = 1'-0"

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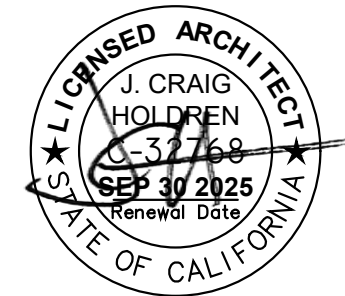
SCALE:

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REVISION

PLAN CHANGE
APR 2, 2025



INTERIOR ELEVATIONS

MEYROSE / COMEAU RESIDENCE

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A5.3

9 A

9 B

9 C

9

M. BATHROOM

SCALE: 3/8" = 1'-0"

10 A

10 B

10 C

10 D

10

M. BEDROOM

SCALE: 3/8" = 1'-0"

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REVISION

4

PLAN CHANGE
APR 2, 2025

SEAL

CRAIG HOLDREN
06/27/2025
06/27/2025
Renewal Date

STATE OF CALIFORNIA

INTERIOR ELEVATIONS

MEYROSE / COMEAU RESIDENCE
SANTA FE ST. 3 NE OF 5TH AVE
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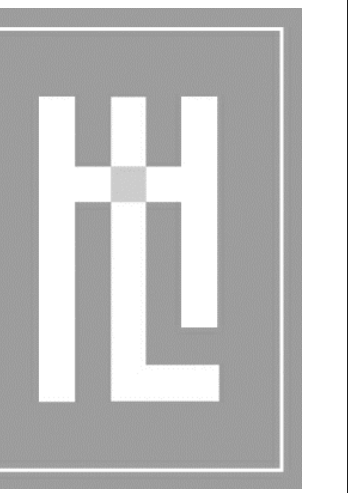
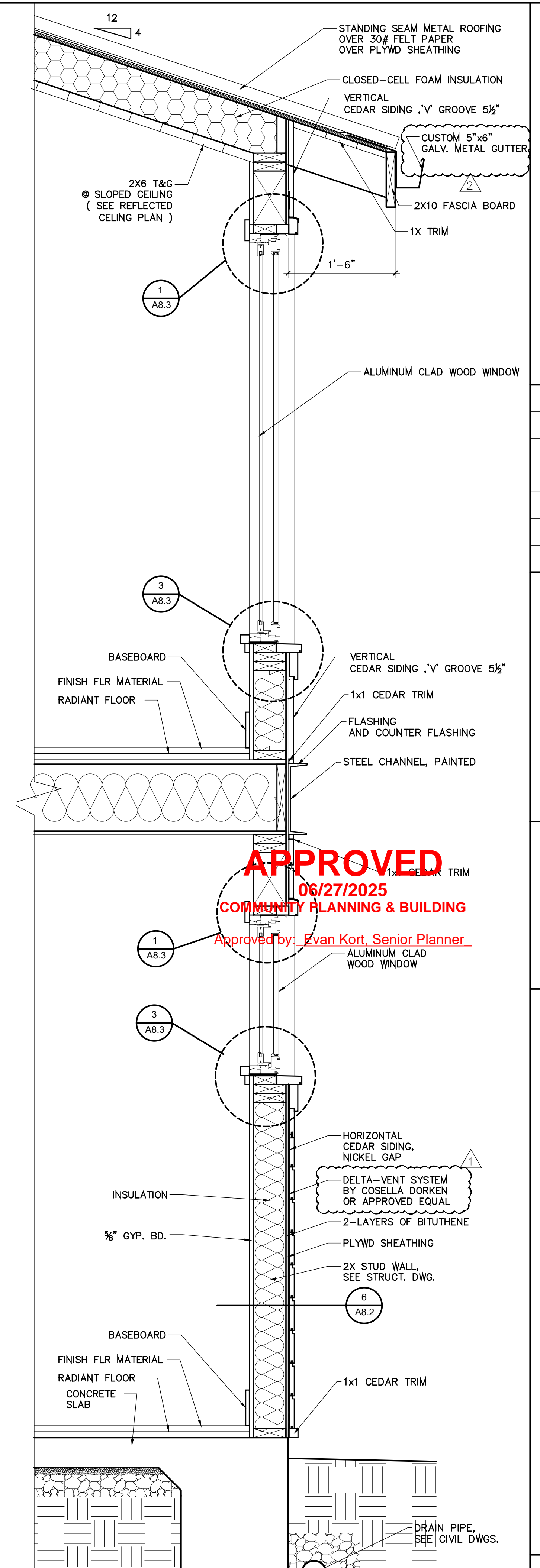
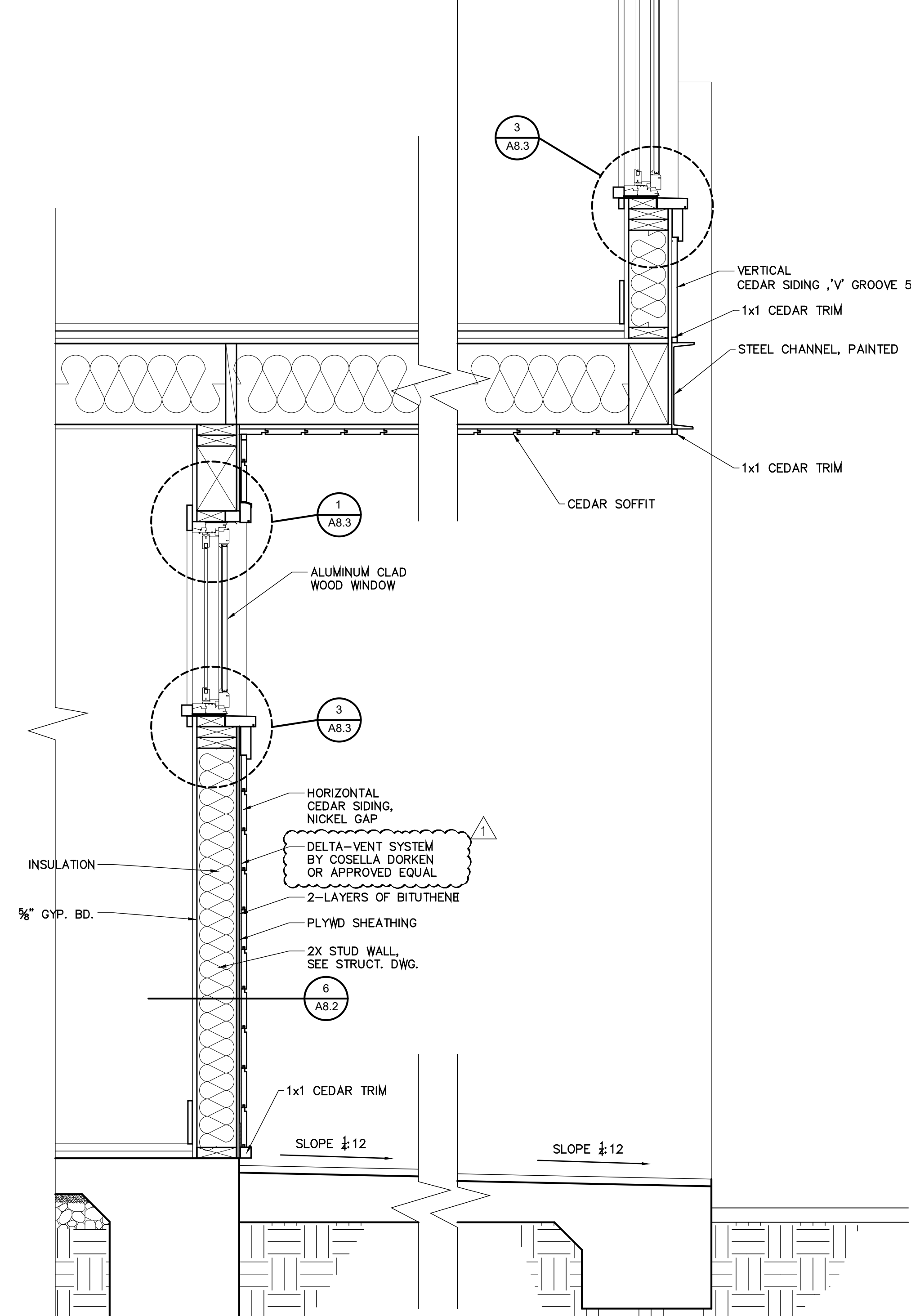
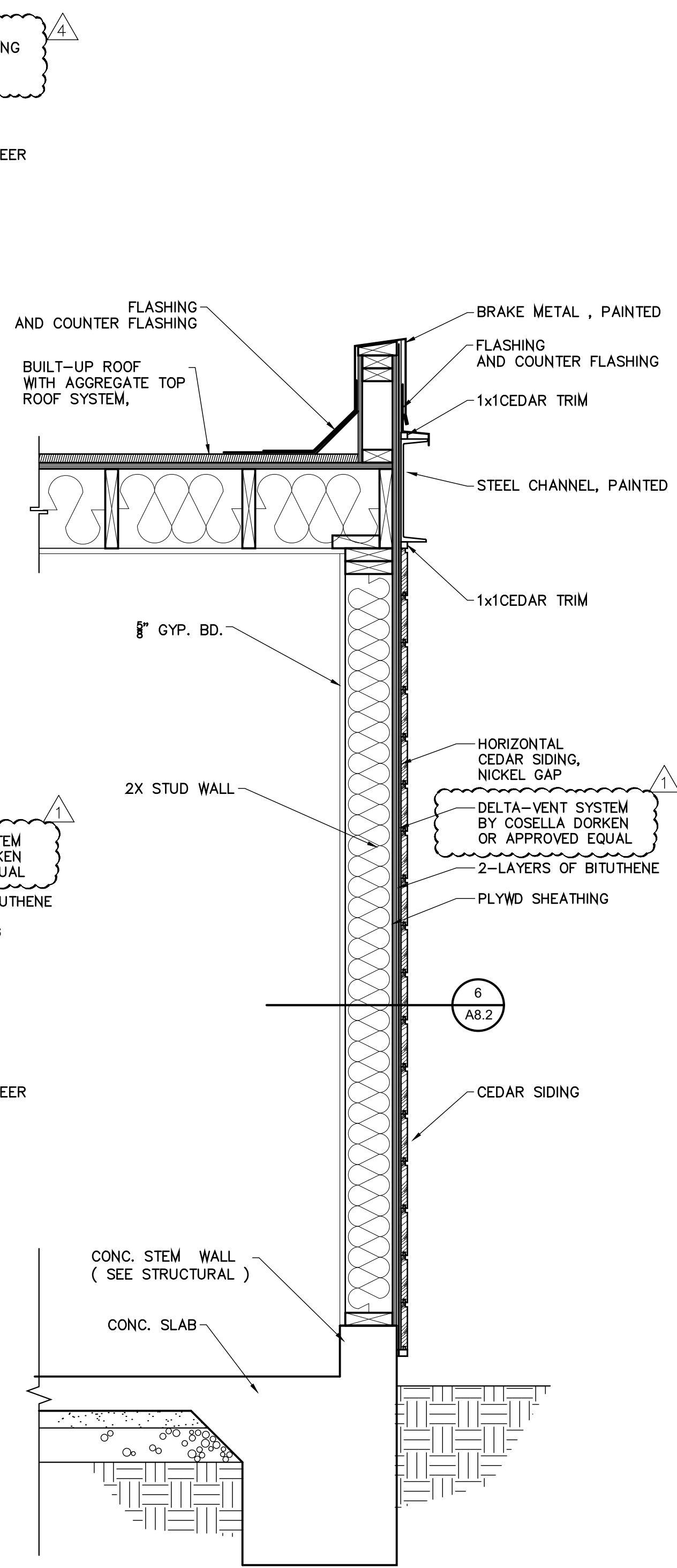
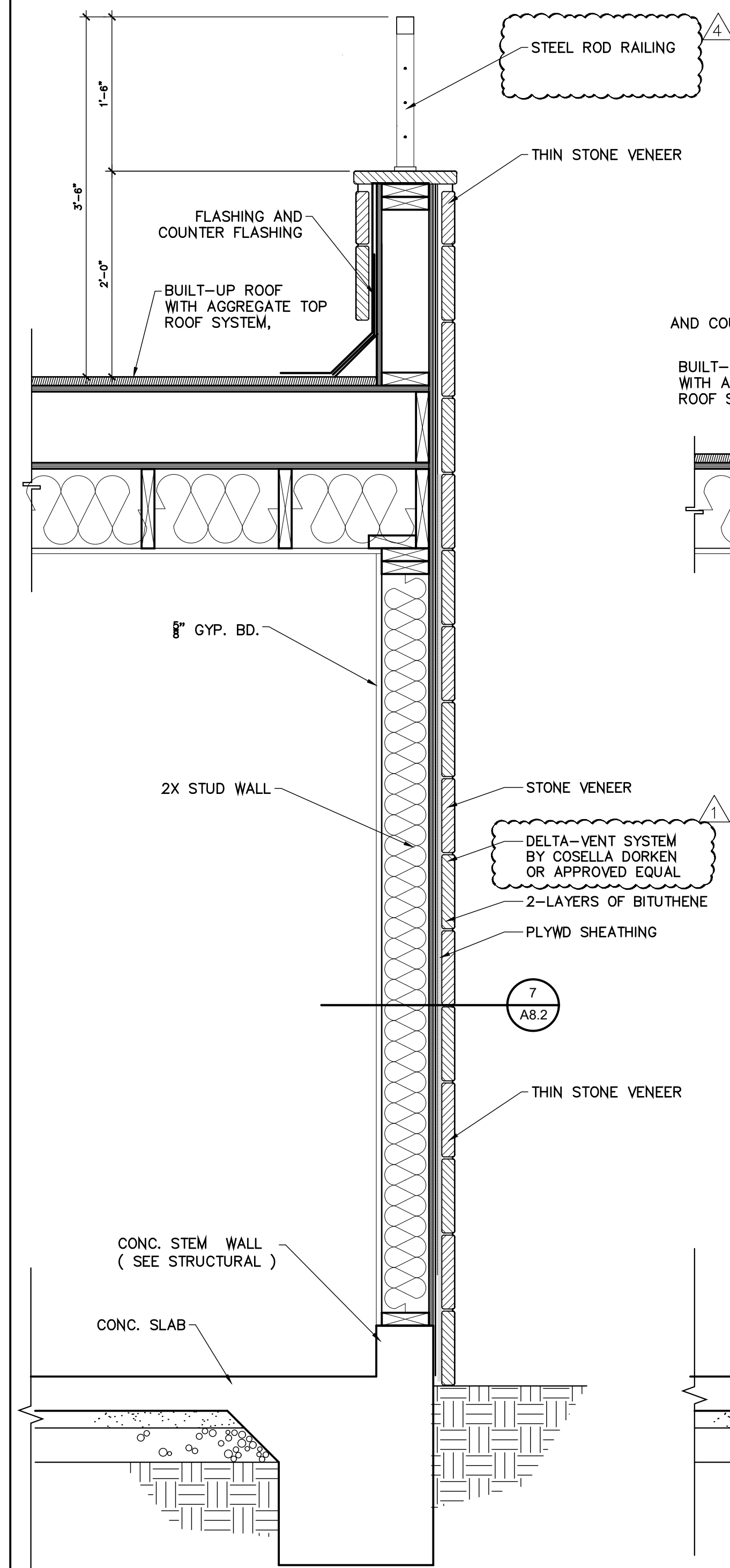
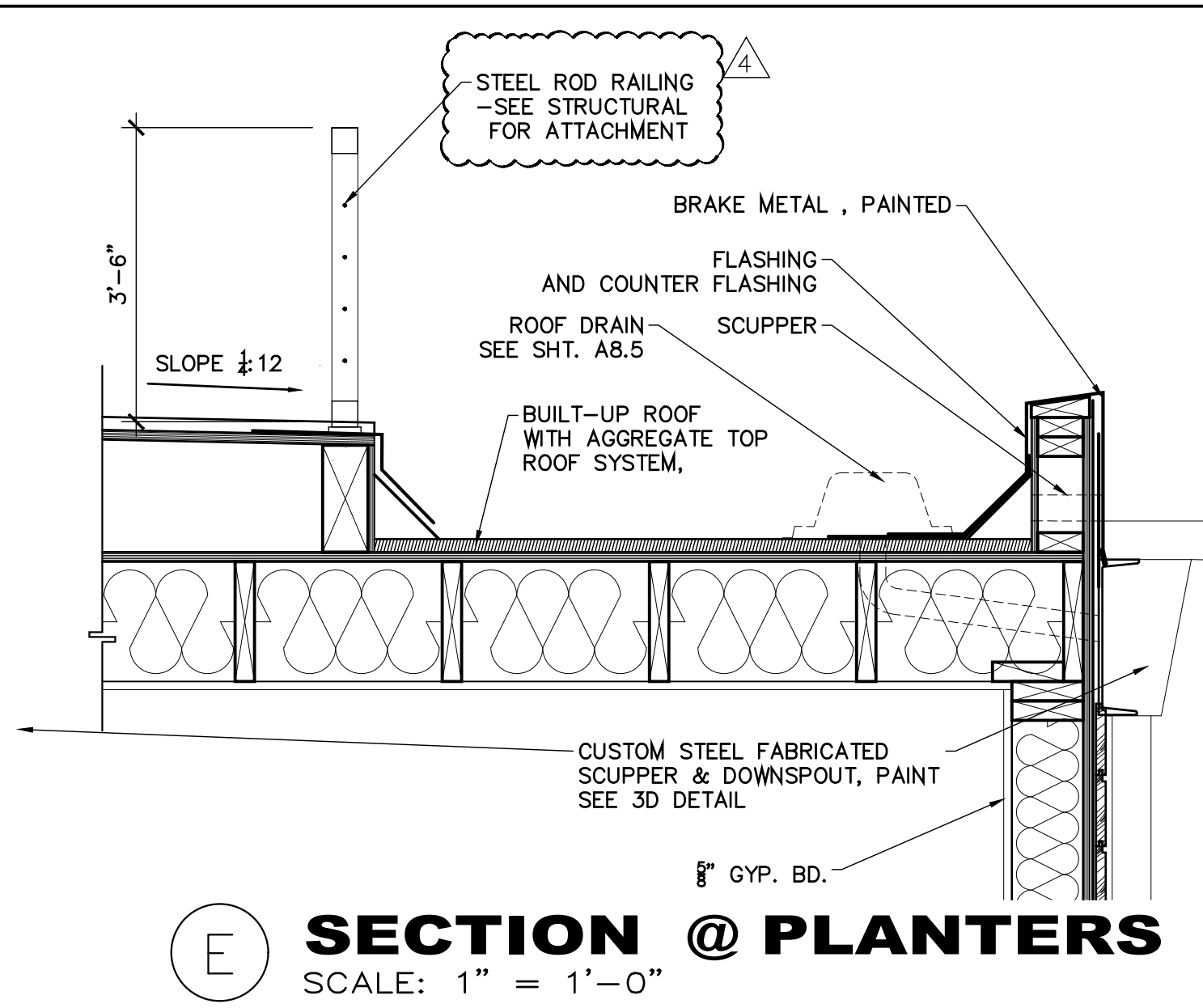
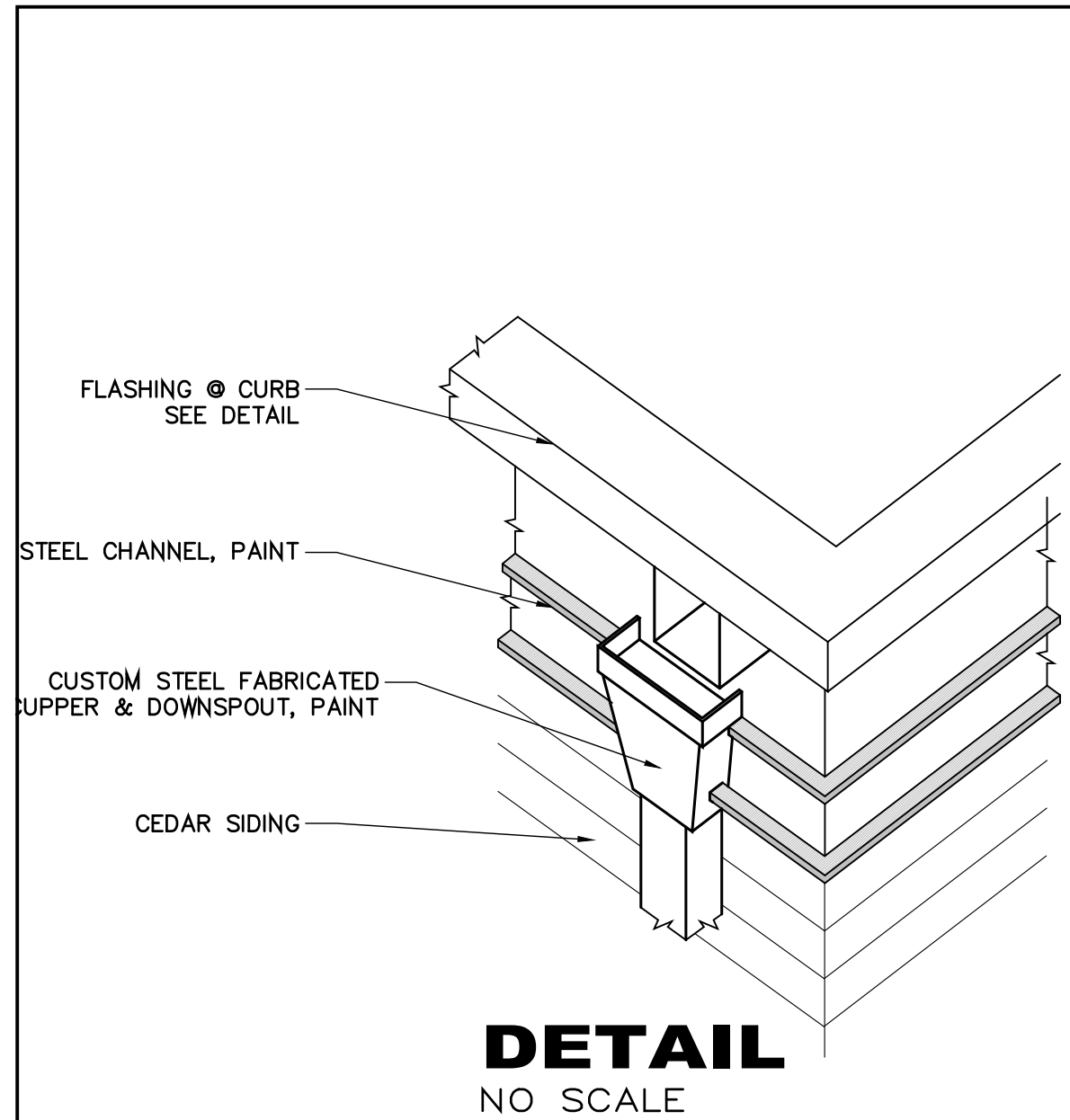
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4 **VALLEY FLASHING**
SCALE: 1" = 1'-0"



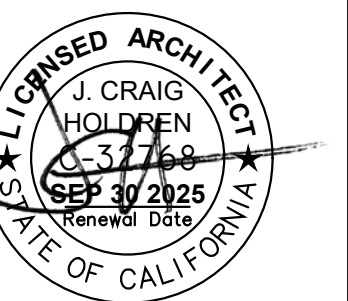
A8.0



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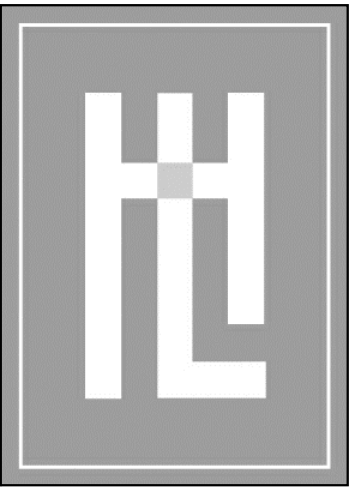
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DRAWN:	
JOB NUMBER:	23.14
REVISION	
1	PLAN CHECK JAN 15, 2025
2	PLAN CHECK FEB 24, 2025
4	PLAN CHANGE APR 2, 2025



WALL SECTIONS
MEYROSE / COMEAU RESIDENCE
SANTA FE ST. 3 NE OF 5TH AVE
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A8.1



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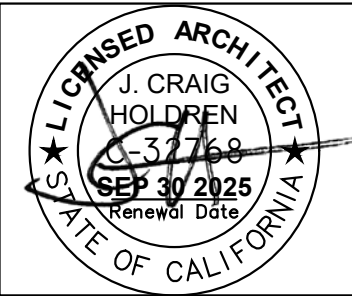
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DRAWN:

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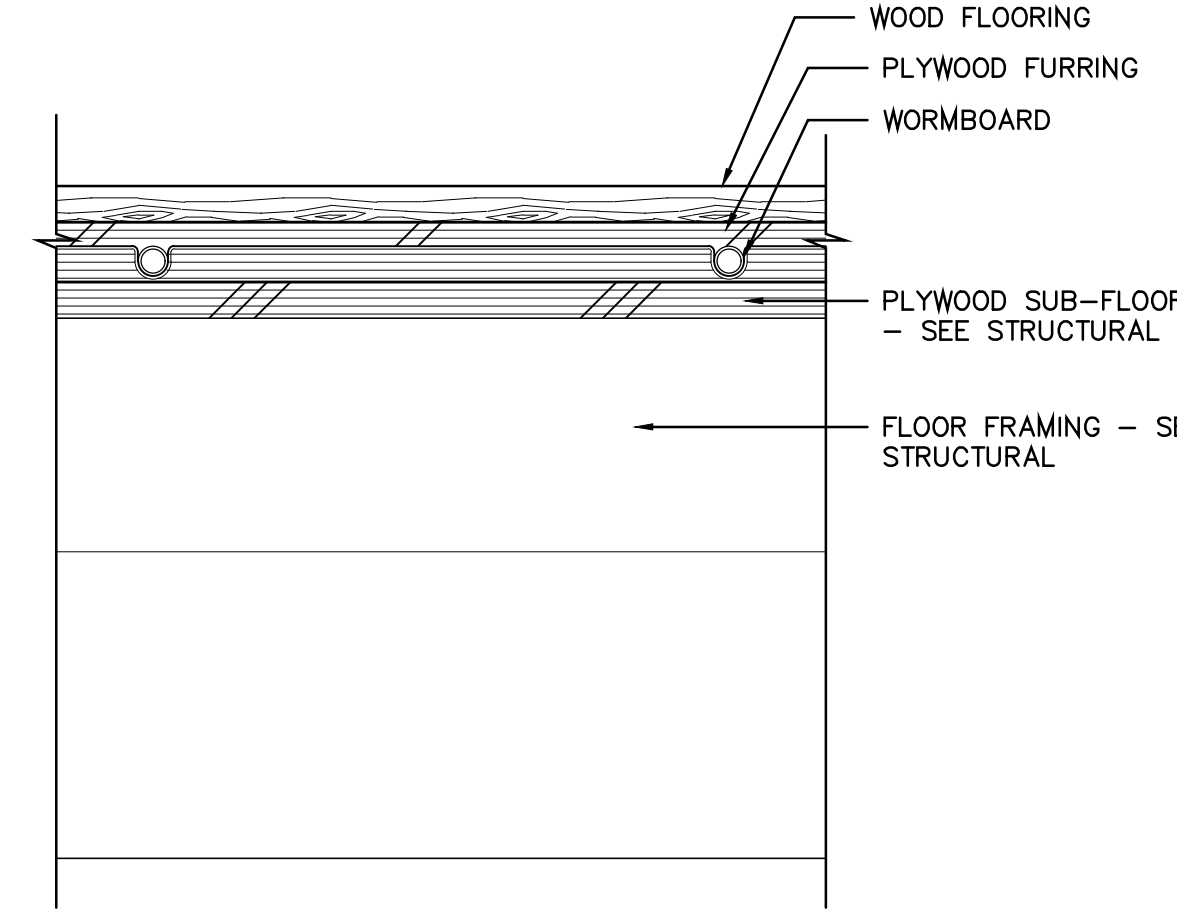
REVISION
PLAN CHECK
JAN 15, 2025



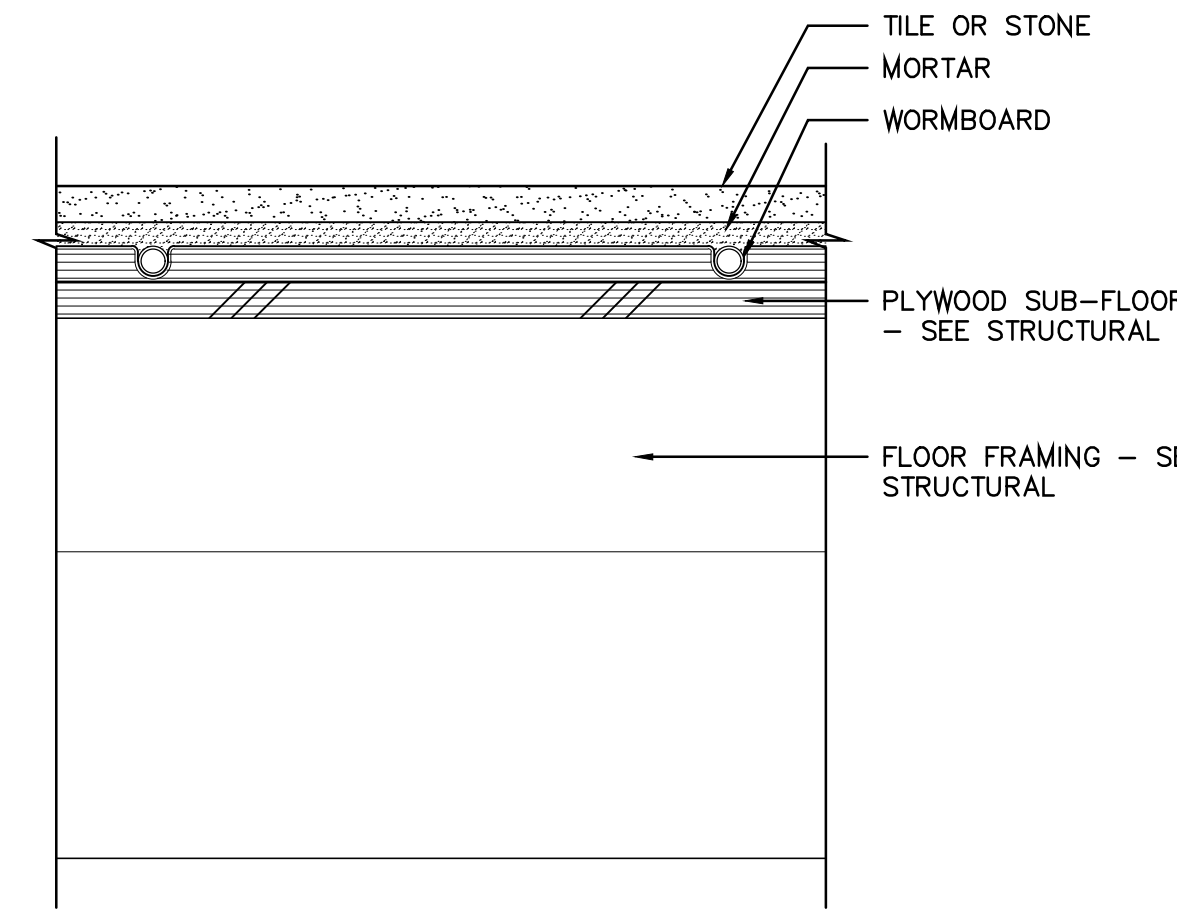
MEYROSE / COMEAU RESIDENCE
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CARMEL-BY-THE-SEA, CA
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DETAILS

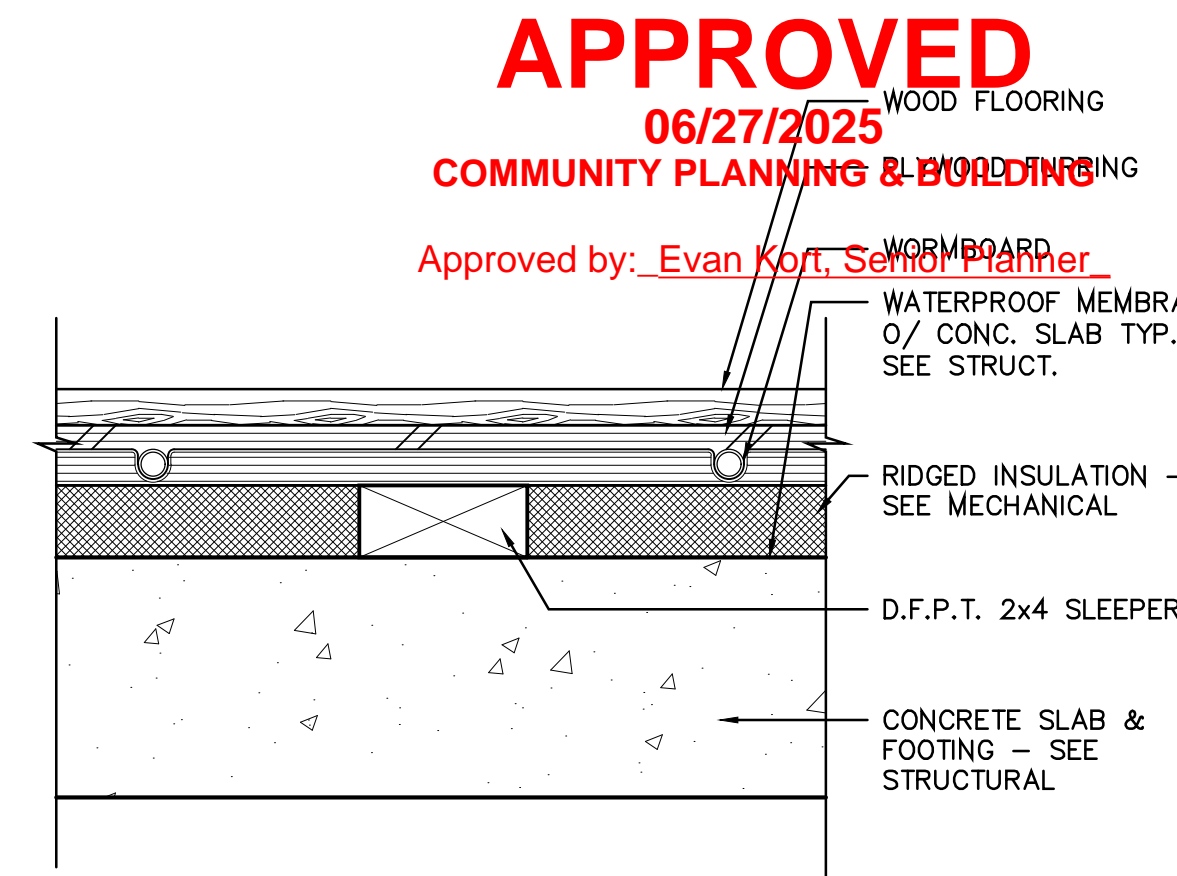
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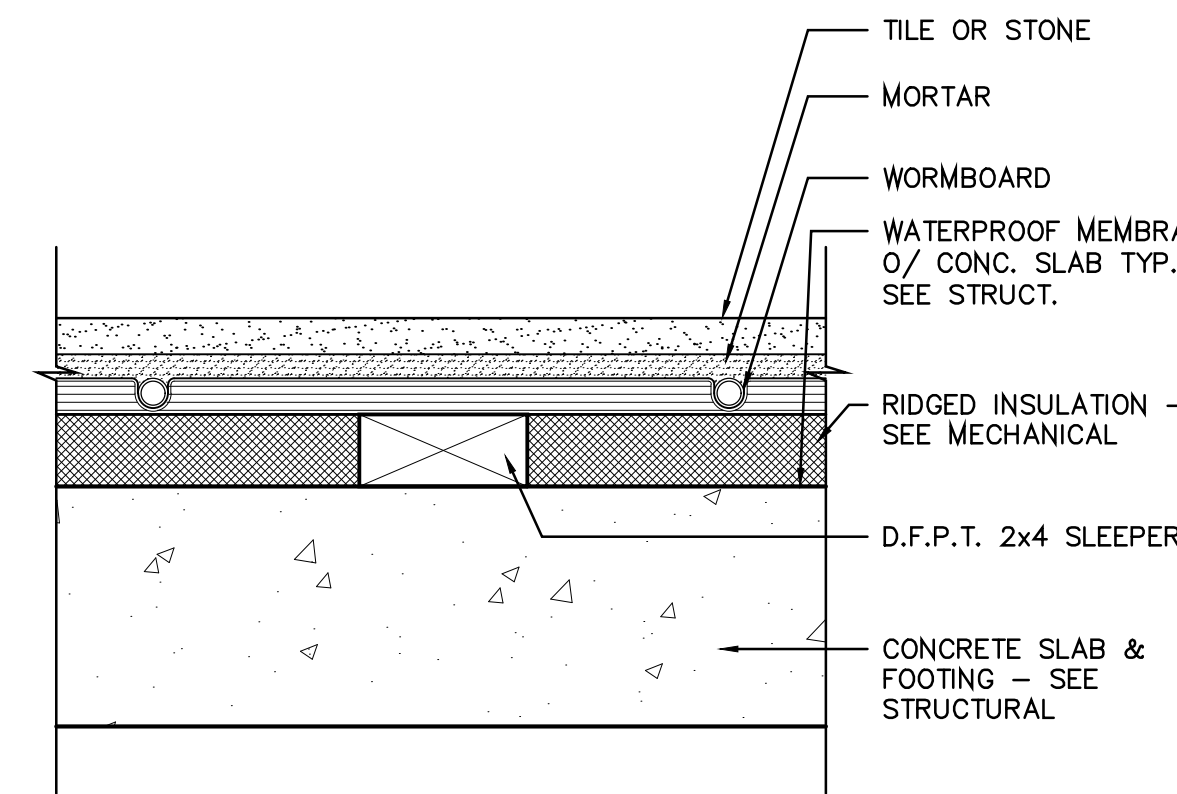
1 **HARDWD. @ RAISED FLR.**
SCALE: 3"= 1'-0"



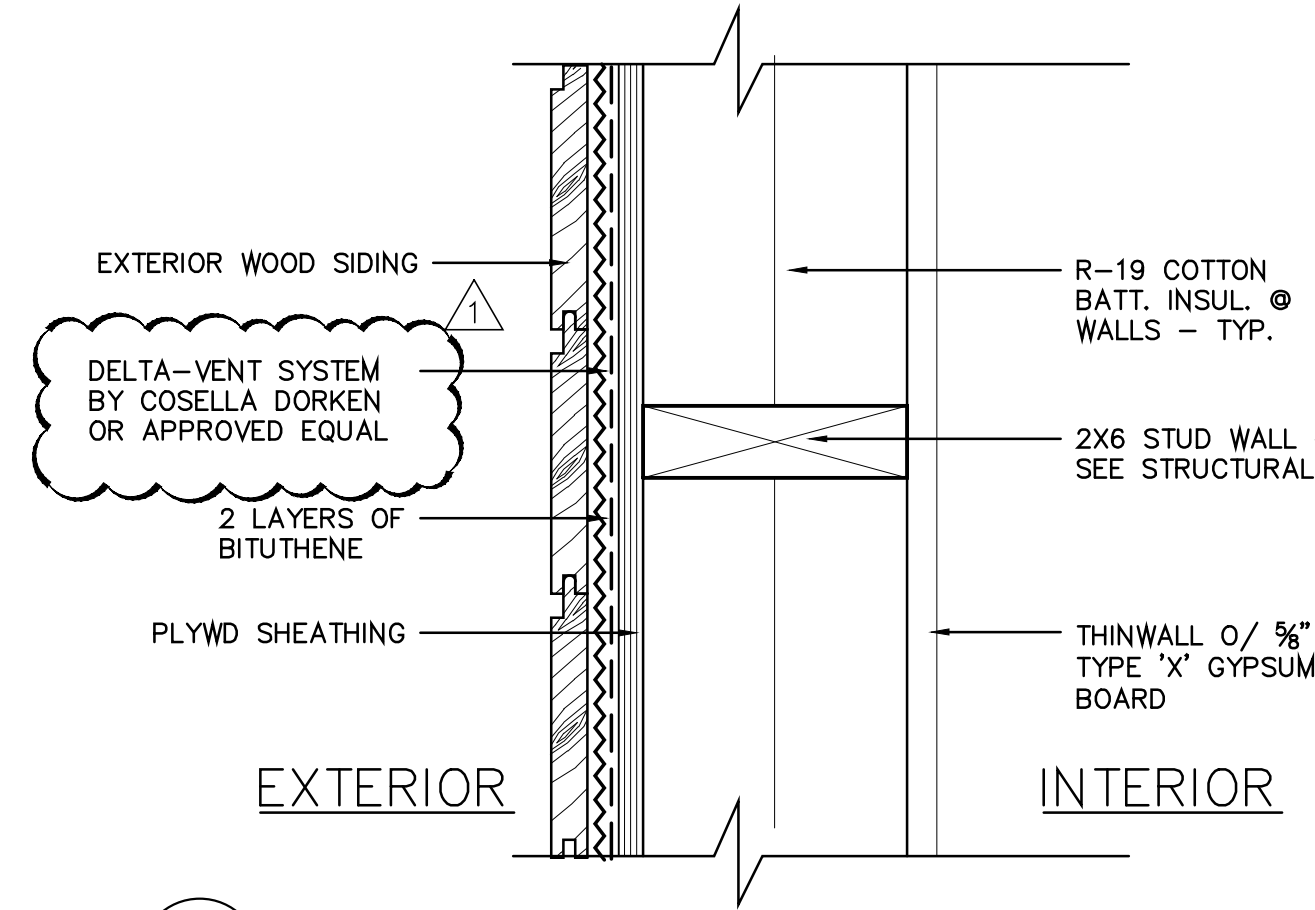
2 **STONE @ RAISED FLR.**
SCALE: 3"= 1'-0"



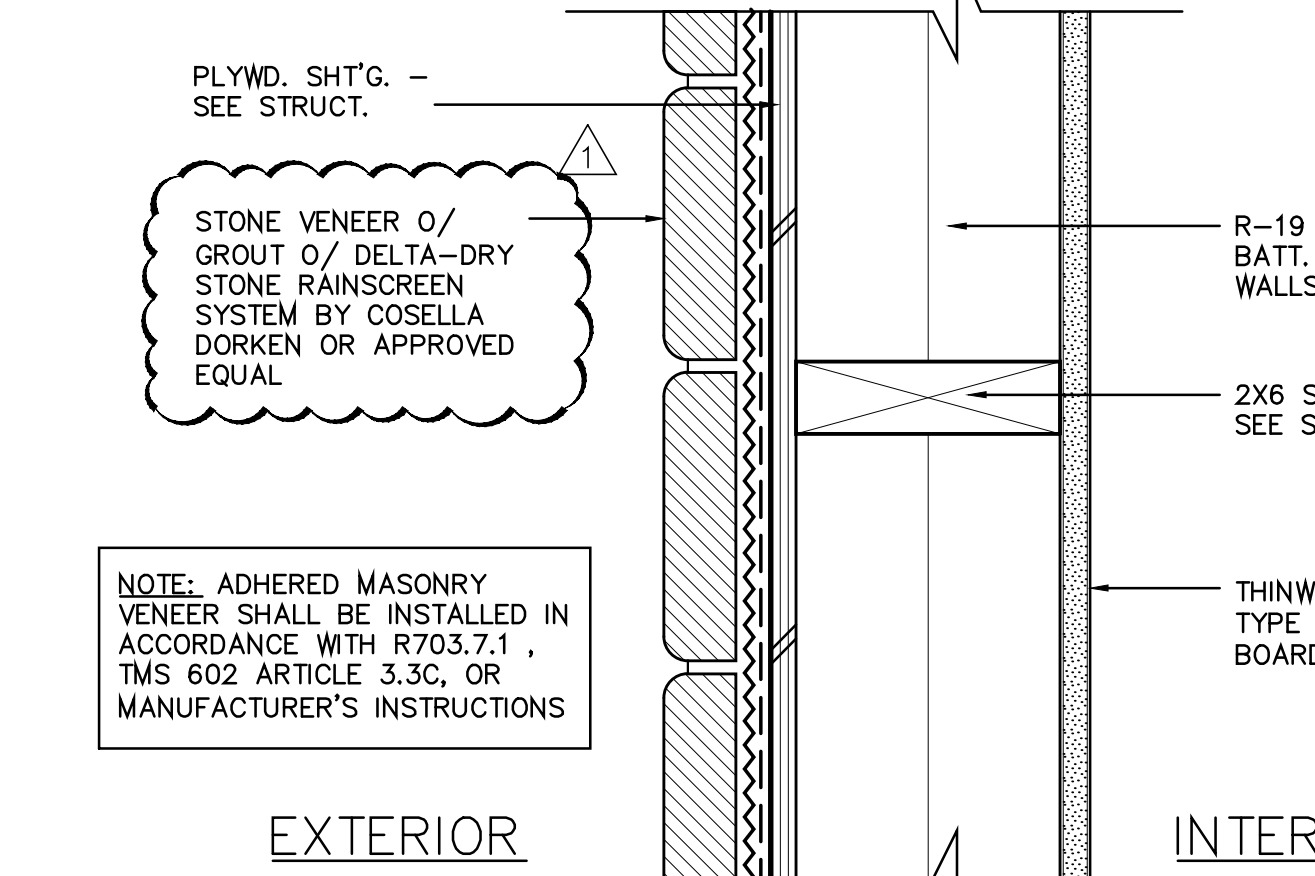
3 **HARDWD. @ CONC. SLAB**
SCALE: 3"= 1'-0"



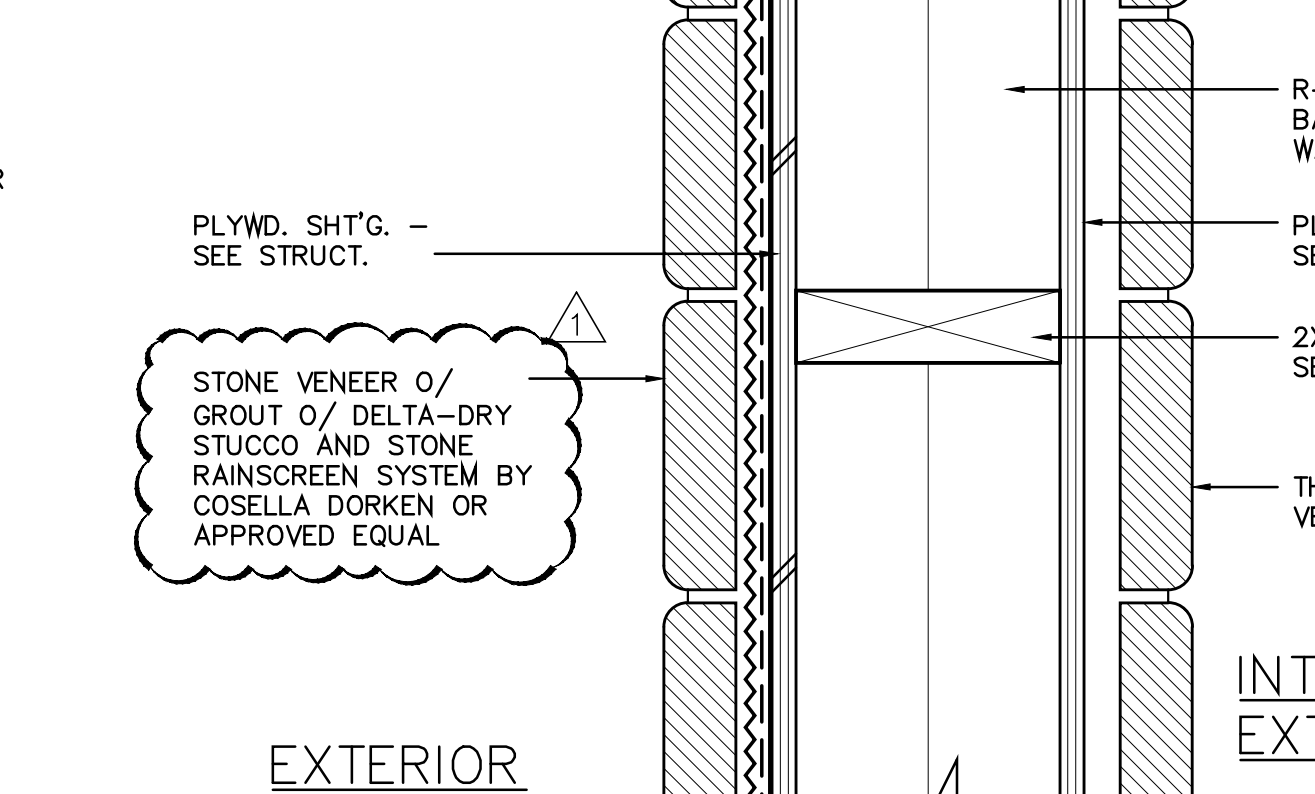
4 **STONE @ CONC. SLAB**
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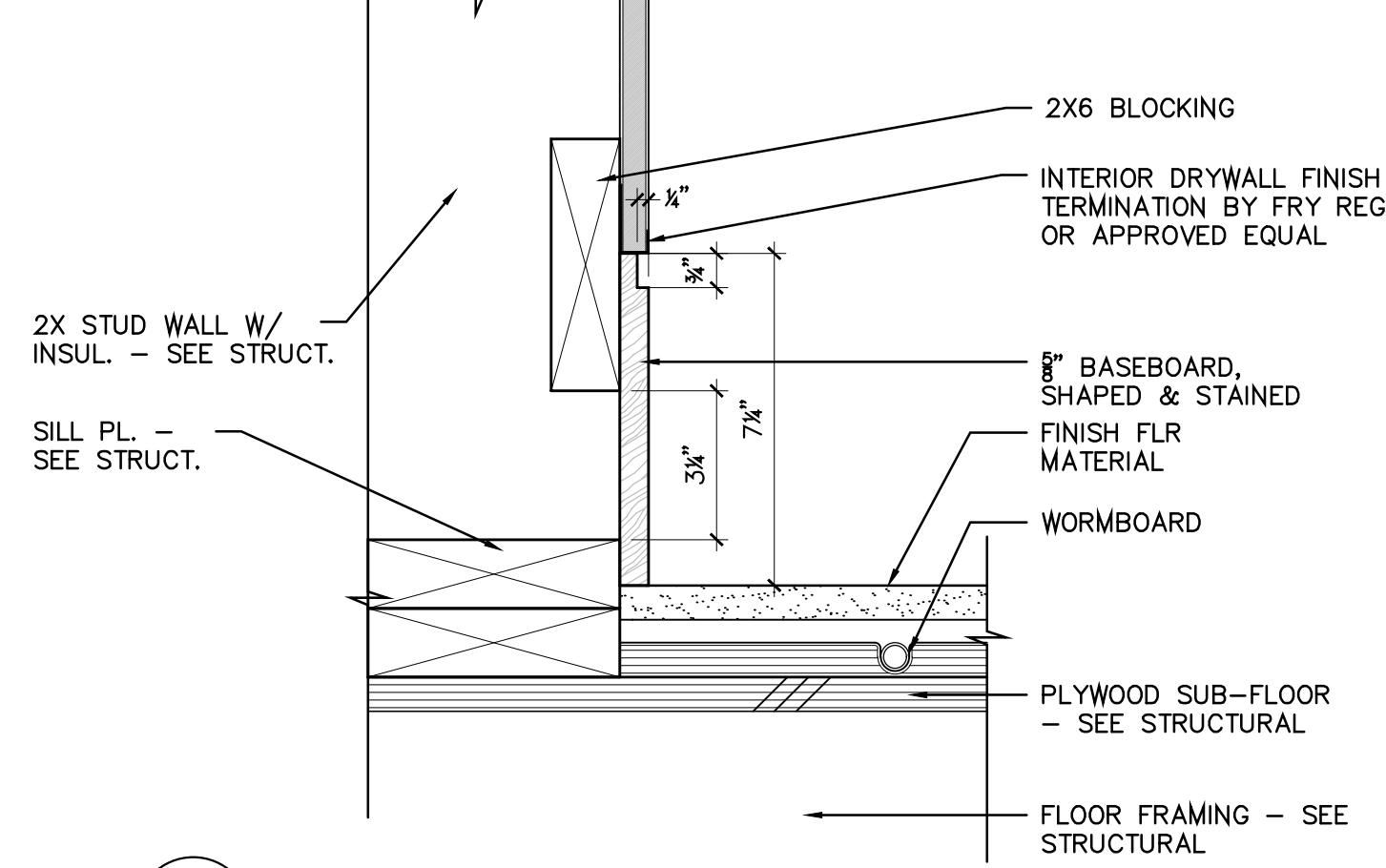
6 **WALL @ WOOD SIDING**
SCALE: 3"= 1'-0"



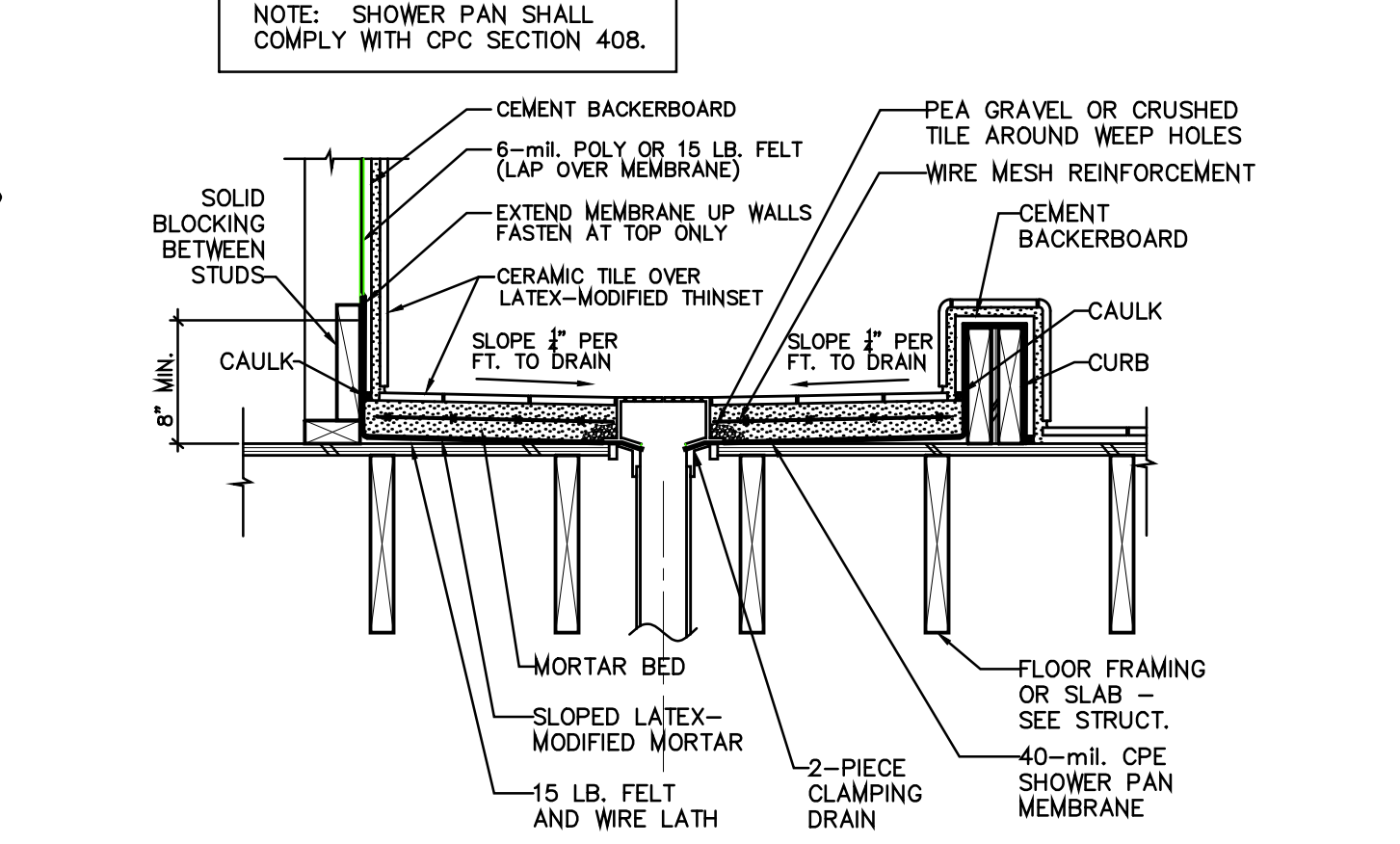
7 **WALL @ STONE**
SCALE: 3"= 1'-0"



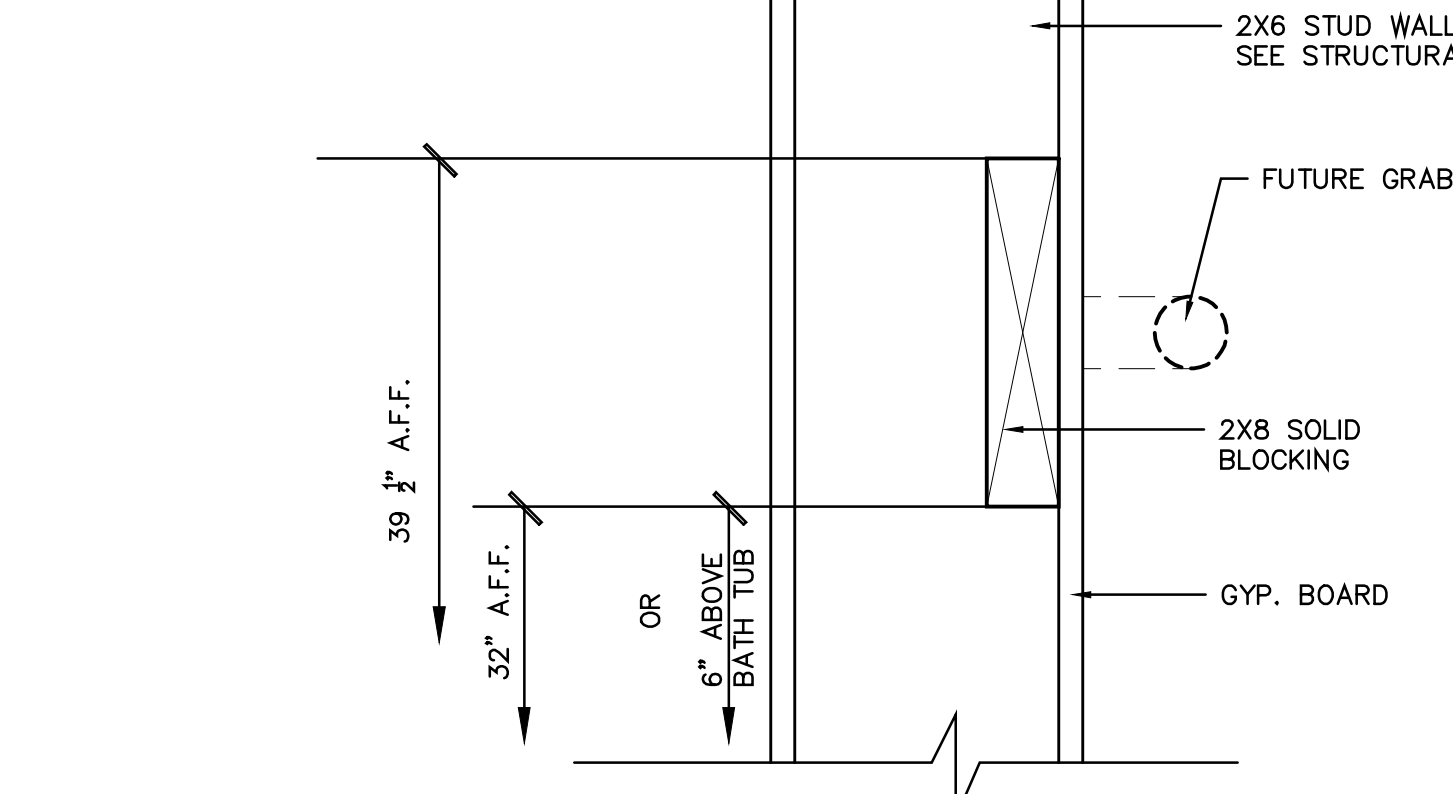
8 **WALL @ STONE**
SCALE: 3"= 1'-0"



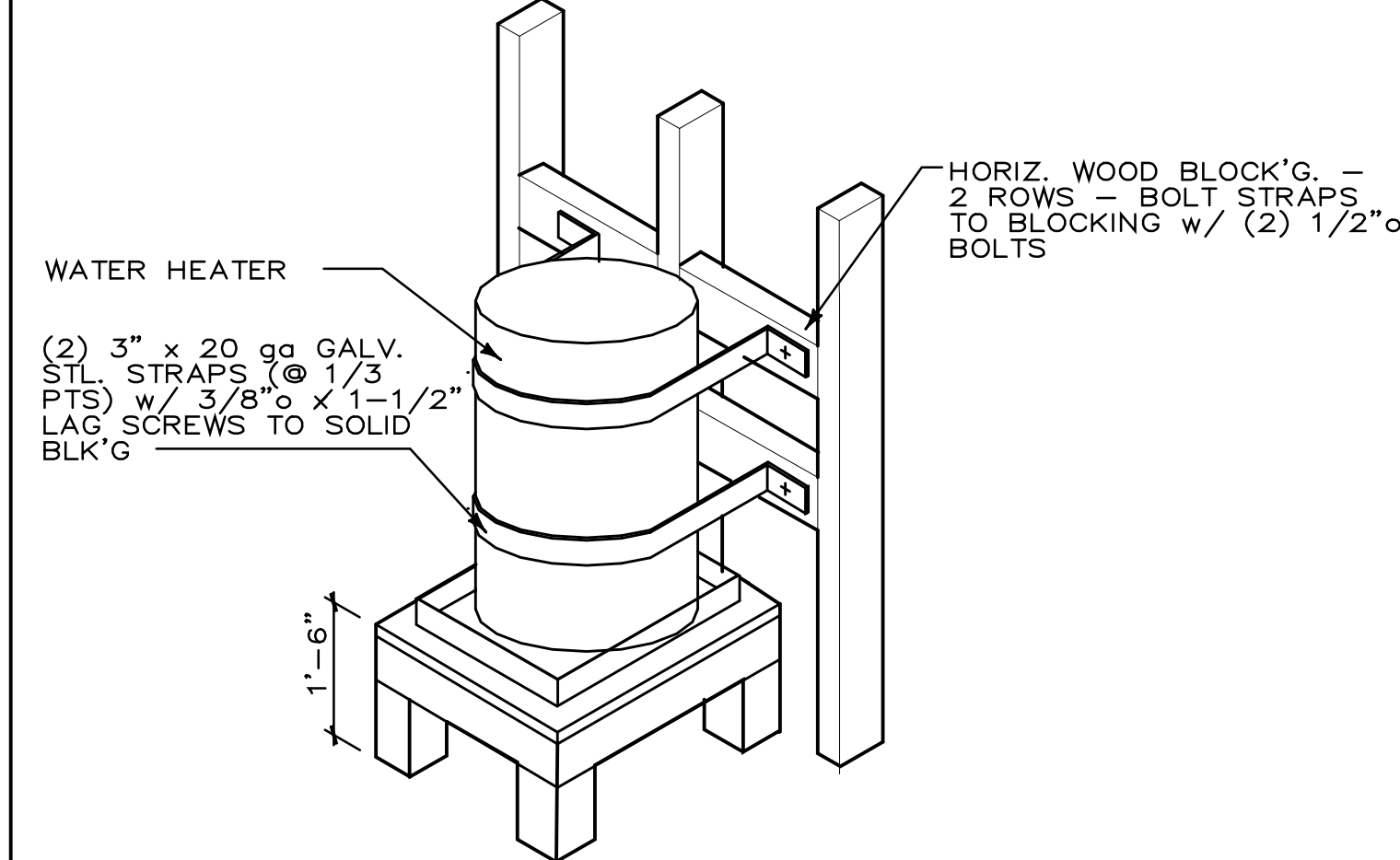
10 **TYP. BASE BOARD**
SCALE: 3"= 1'-0"



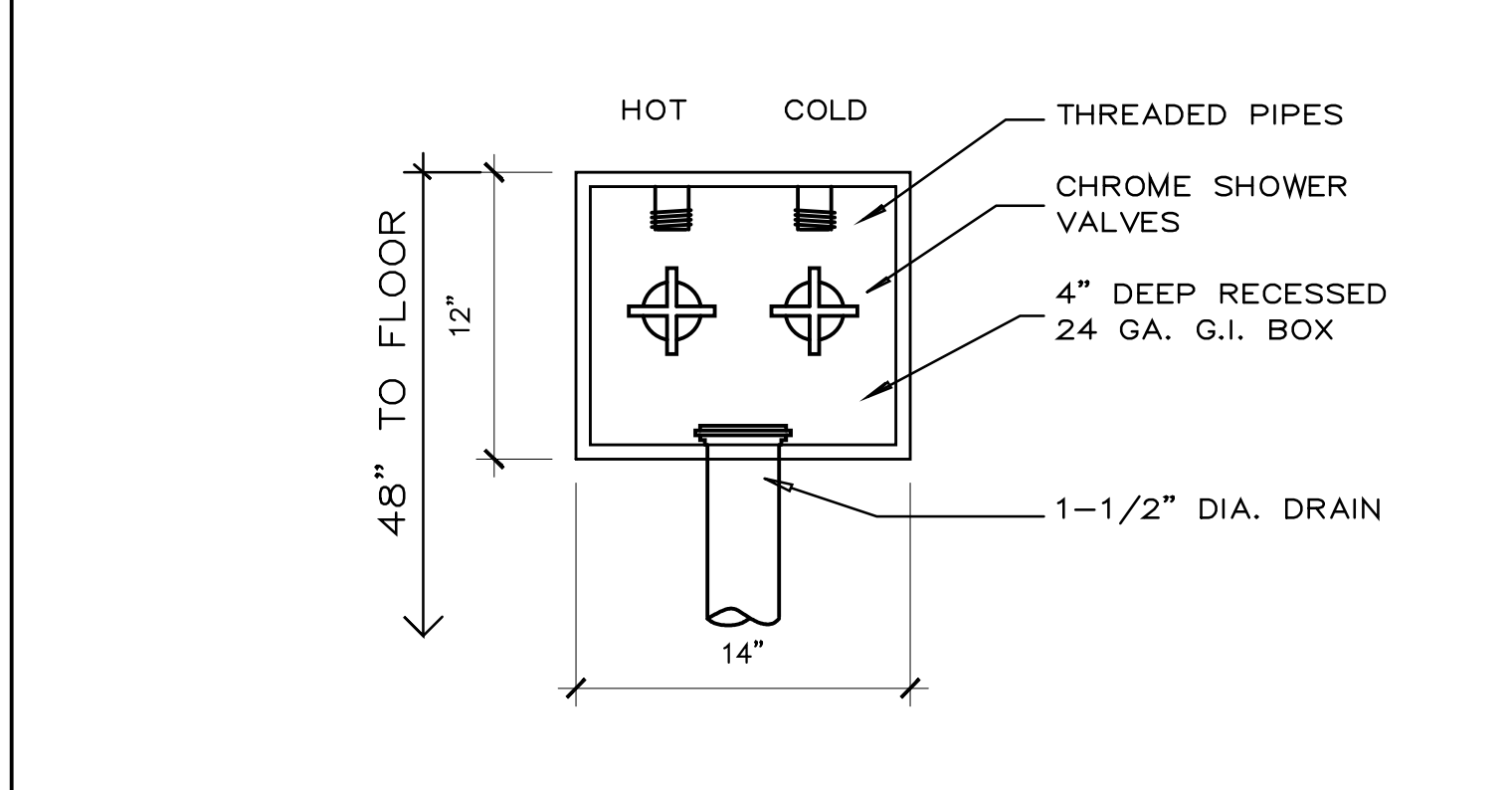
11 **SHOWER DETAIL**
SCALE: 1"= 1'-0"



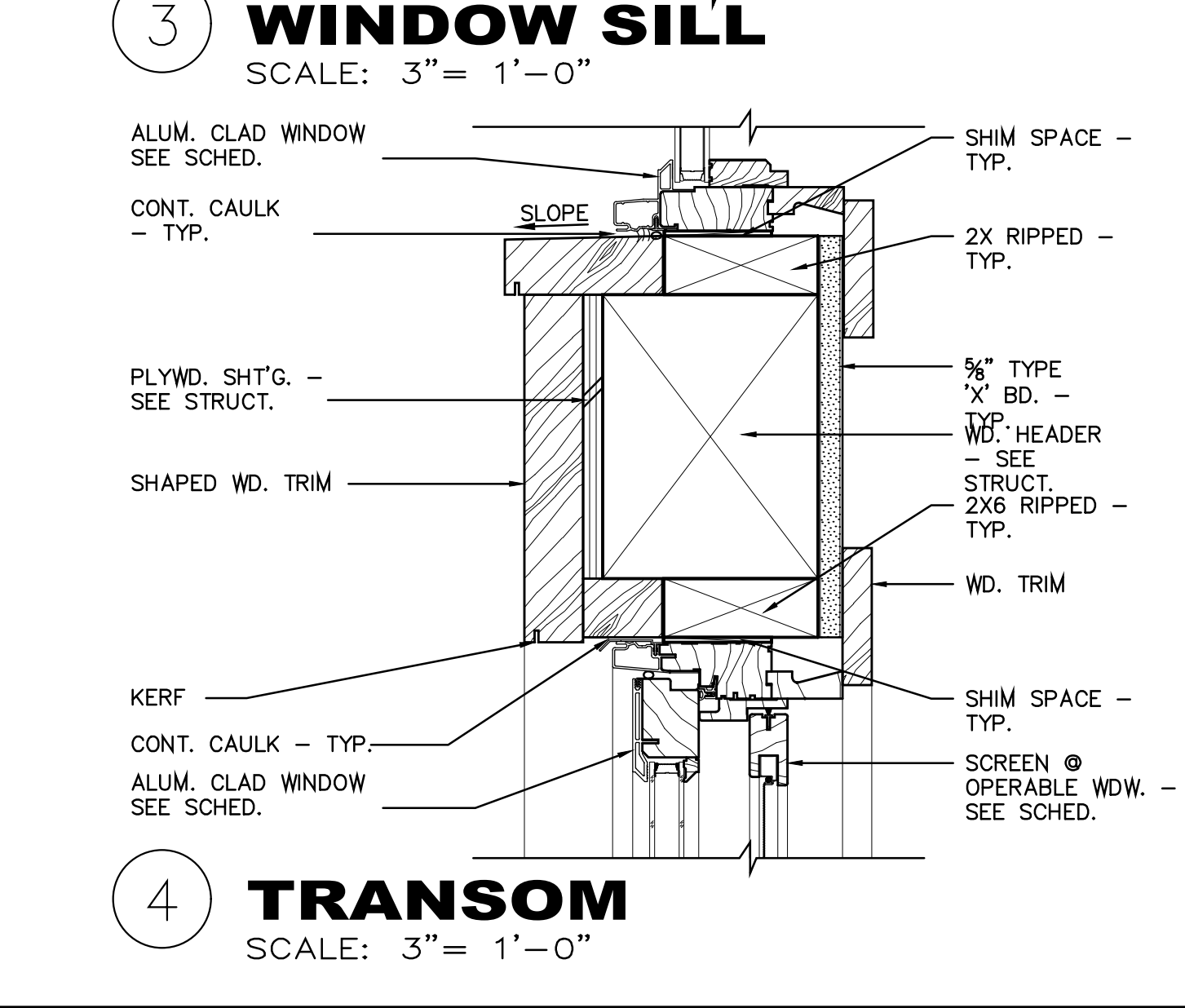
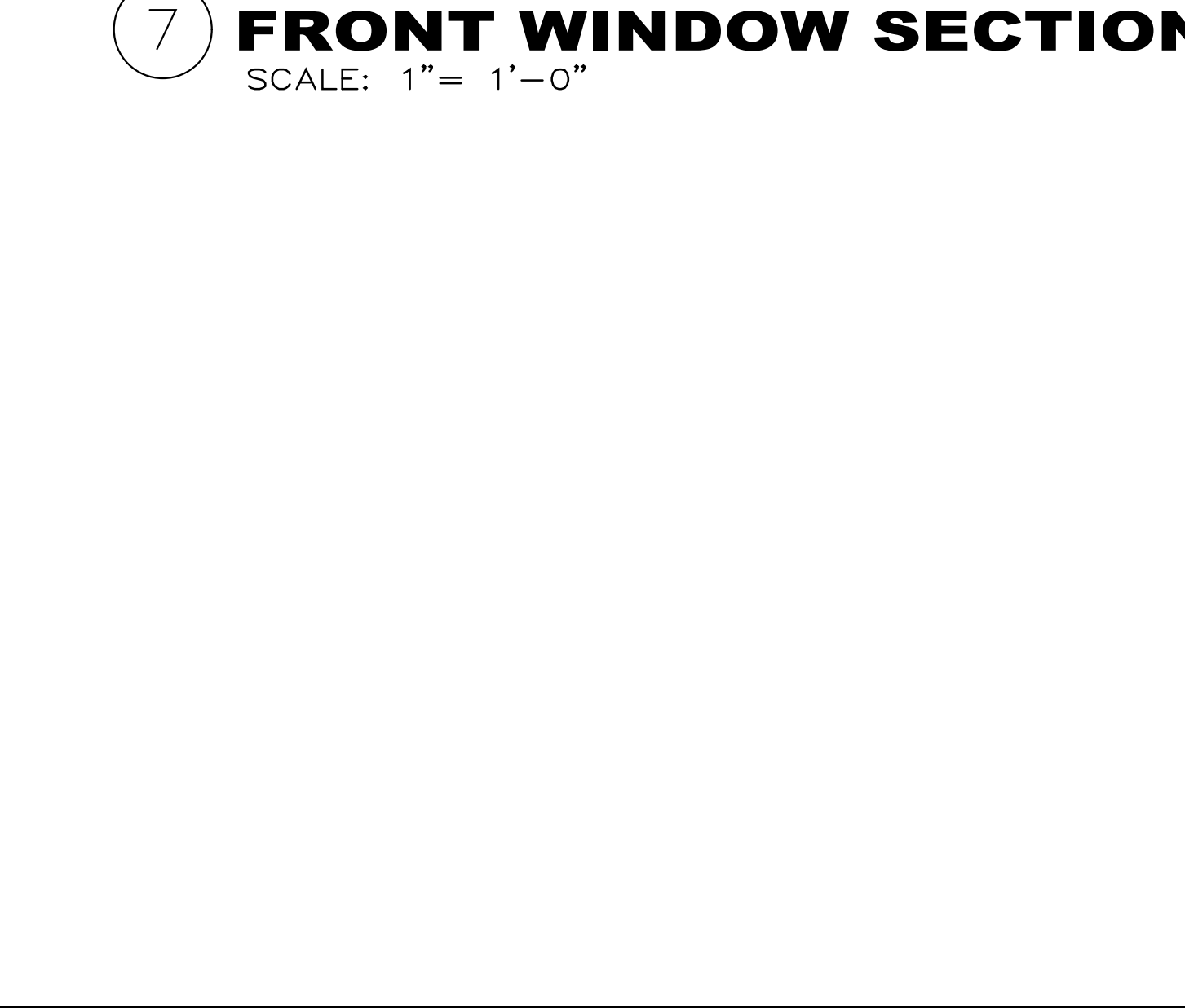
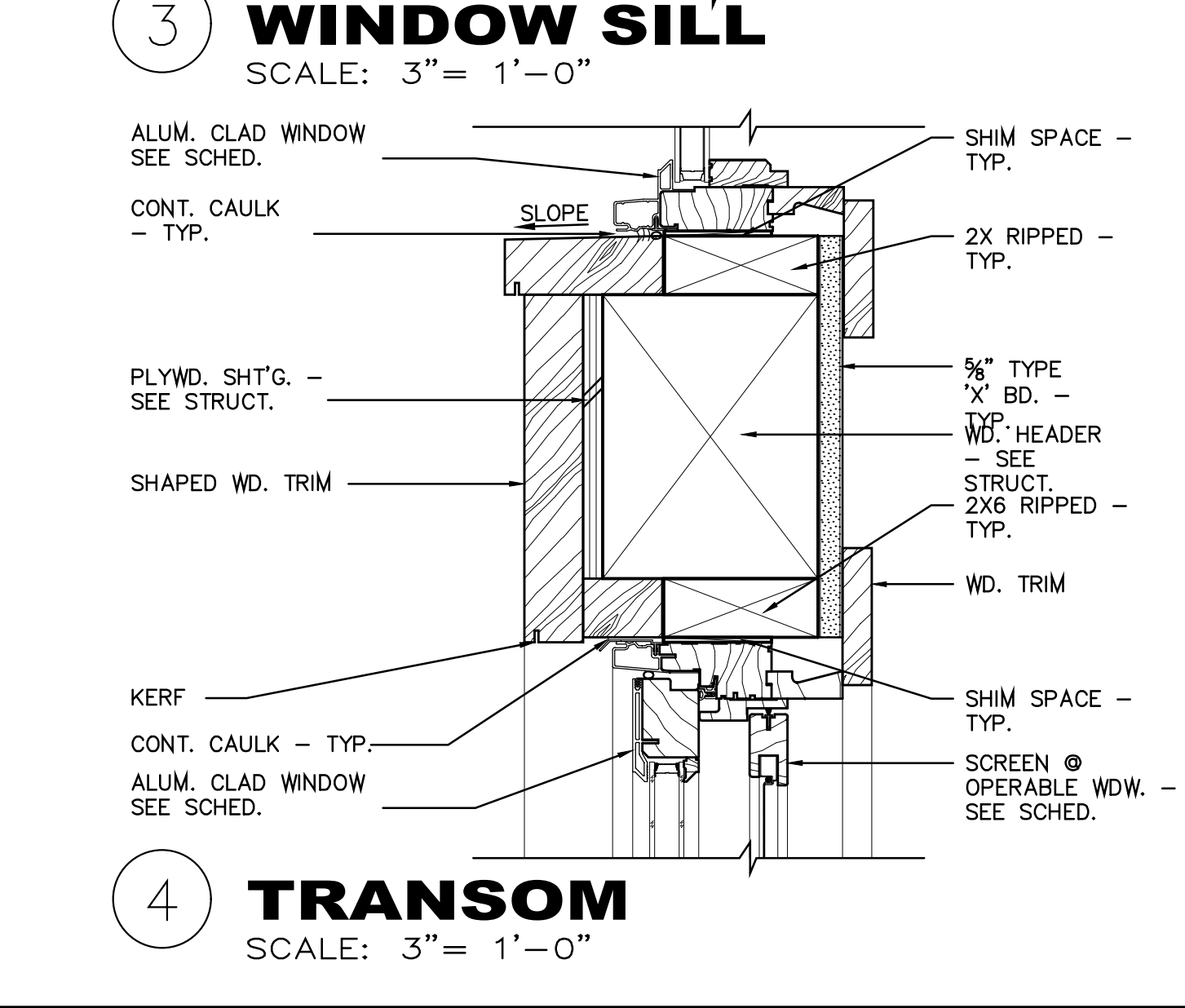
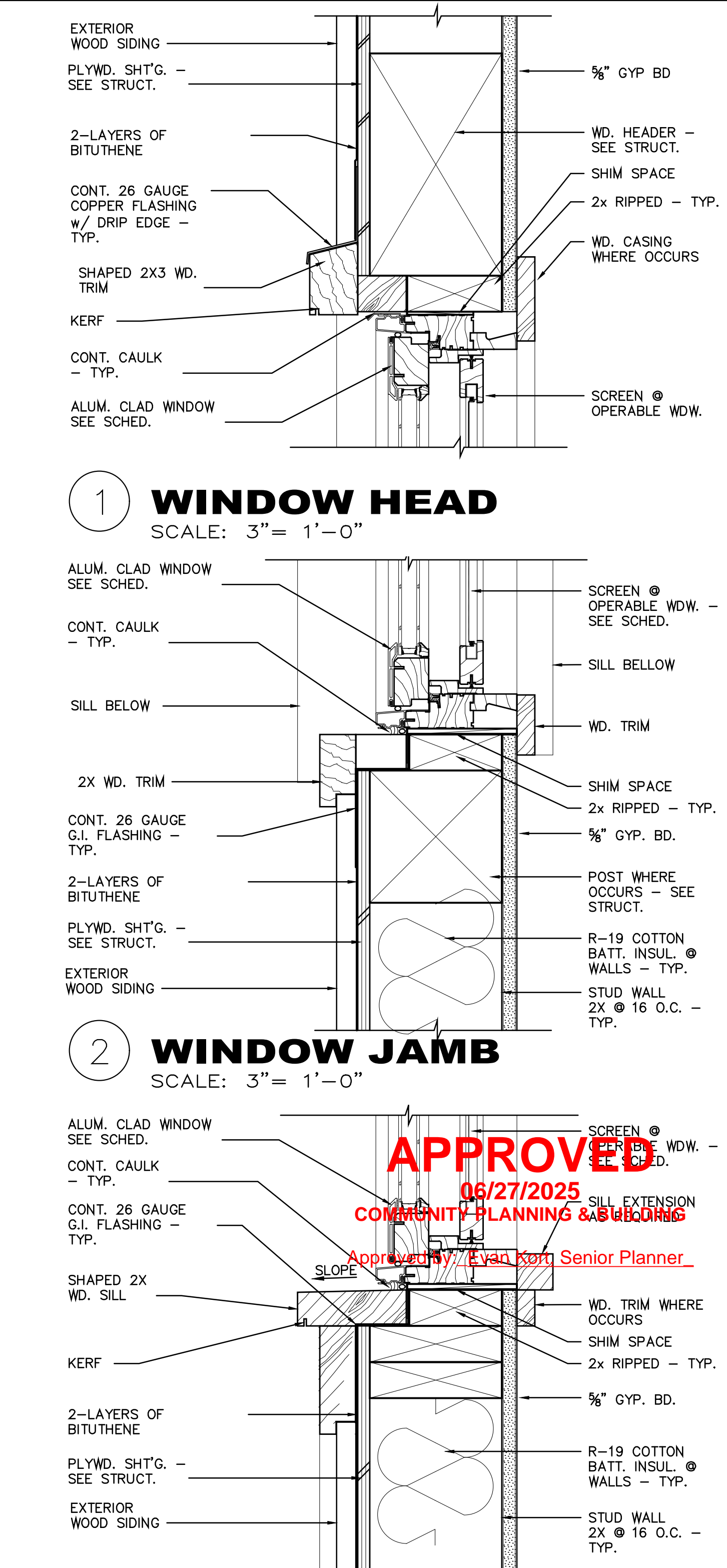
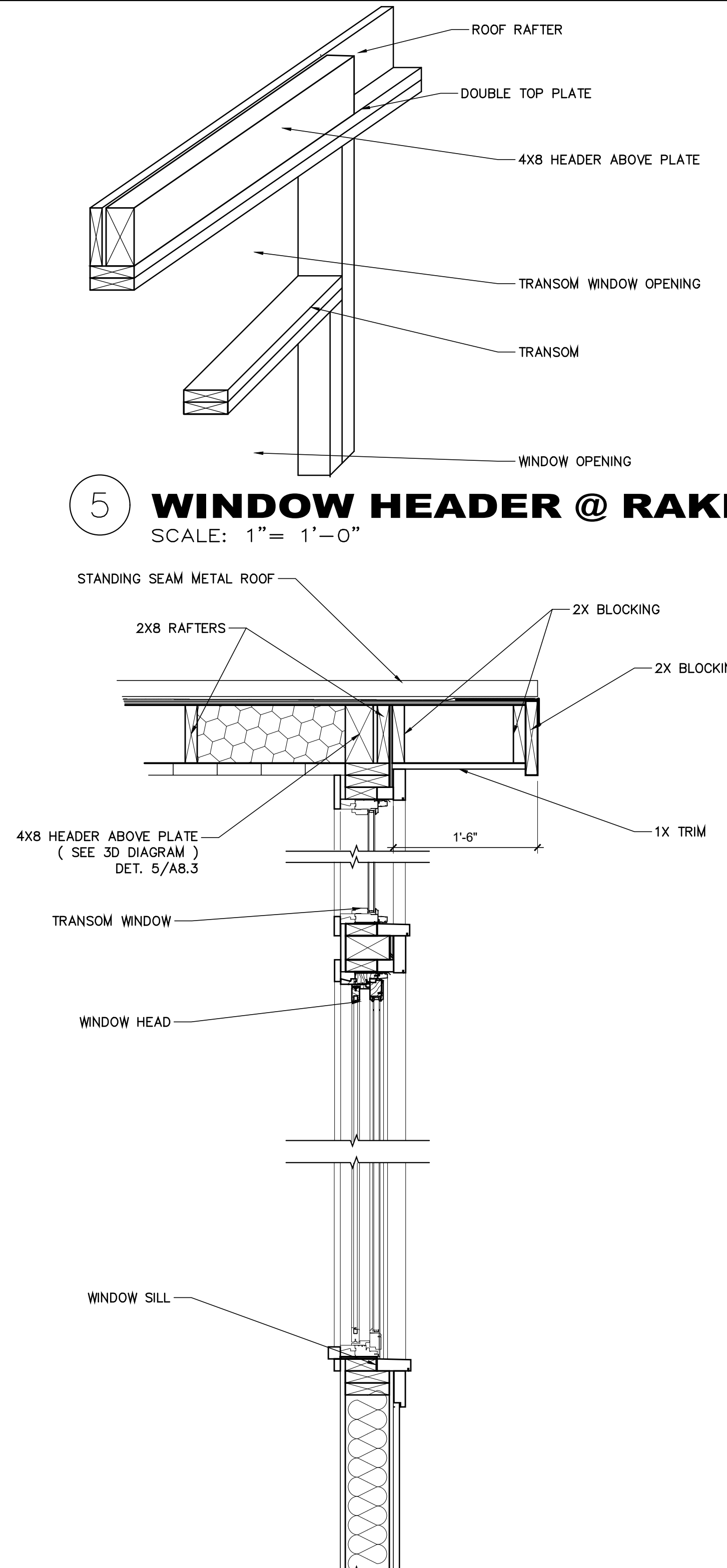
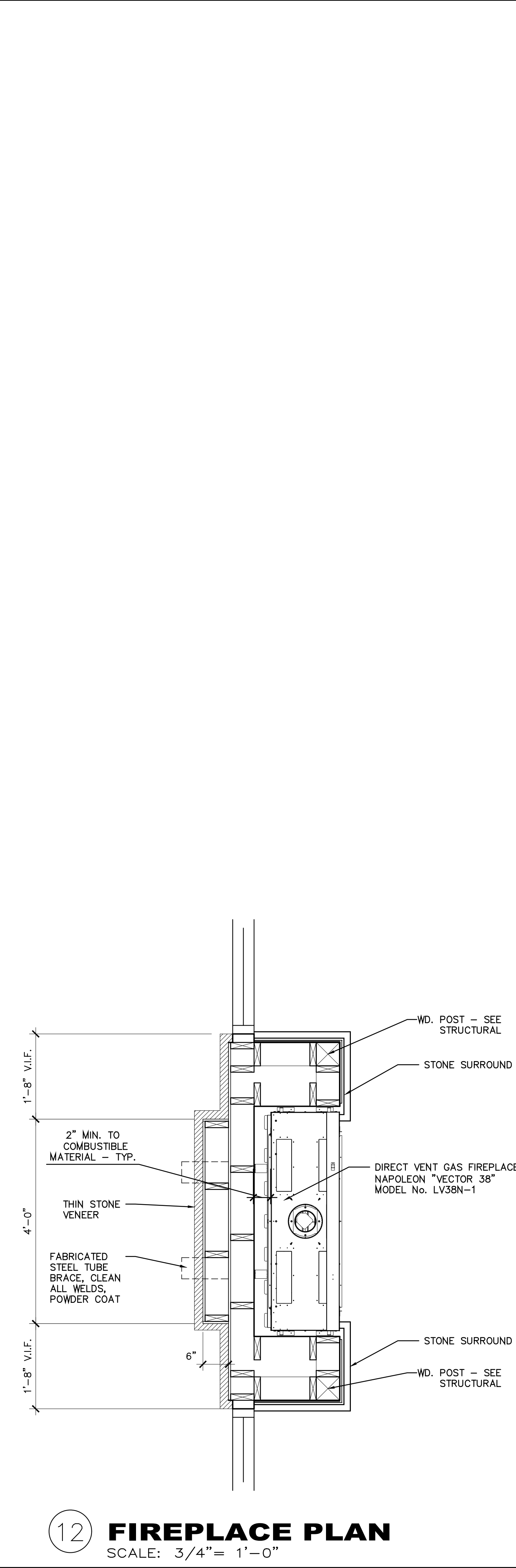
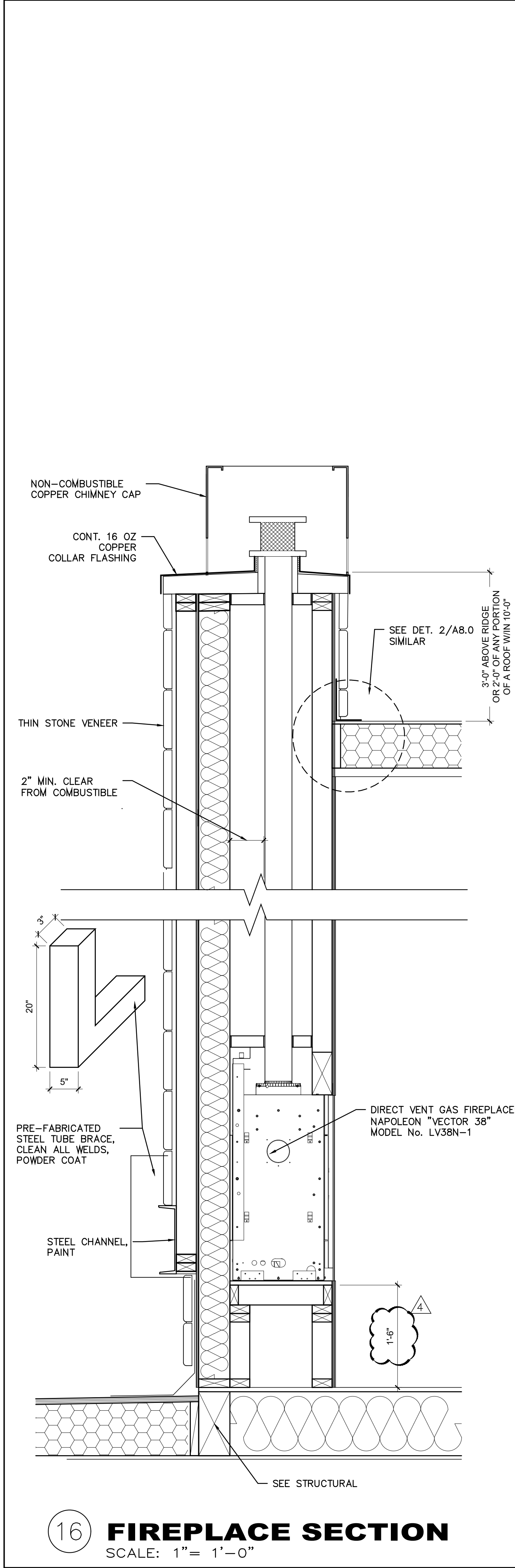
12 **BLOCKING @ GRAB BARS**
SCALE: 3"= 1'-0"



15 **WATER HTR. STRAPPING**
SCALE: 1/2"= 1'-0"



16 **WASHER HOOK-UP**
SCALE: 1-1/2"= 1'-0"



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REVISION	
4	PLAN CHANGE APR 2, 2025

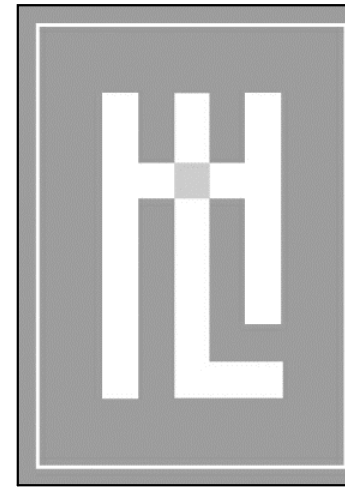
APPROVED
06/27/2025
COMMUNITY PLANNING & BUILDING
Approved by: Evan Korn Senior Planner

DETAILS

MEYROSE / COMEAU RESIDENCE

SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA
A.P.N. 010-037-009

A8.3



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
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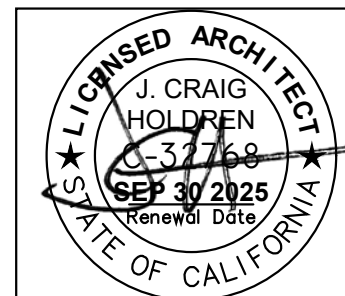
DATE: DEC. 03, 2024

SCALE:

DRAWN:

JOB NUMBER: 23.14

REVISION

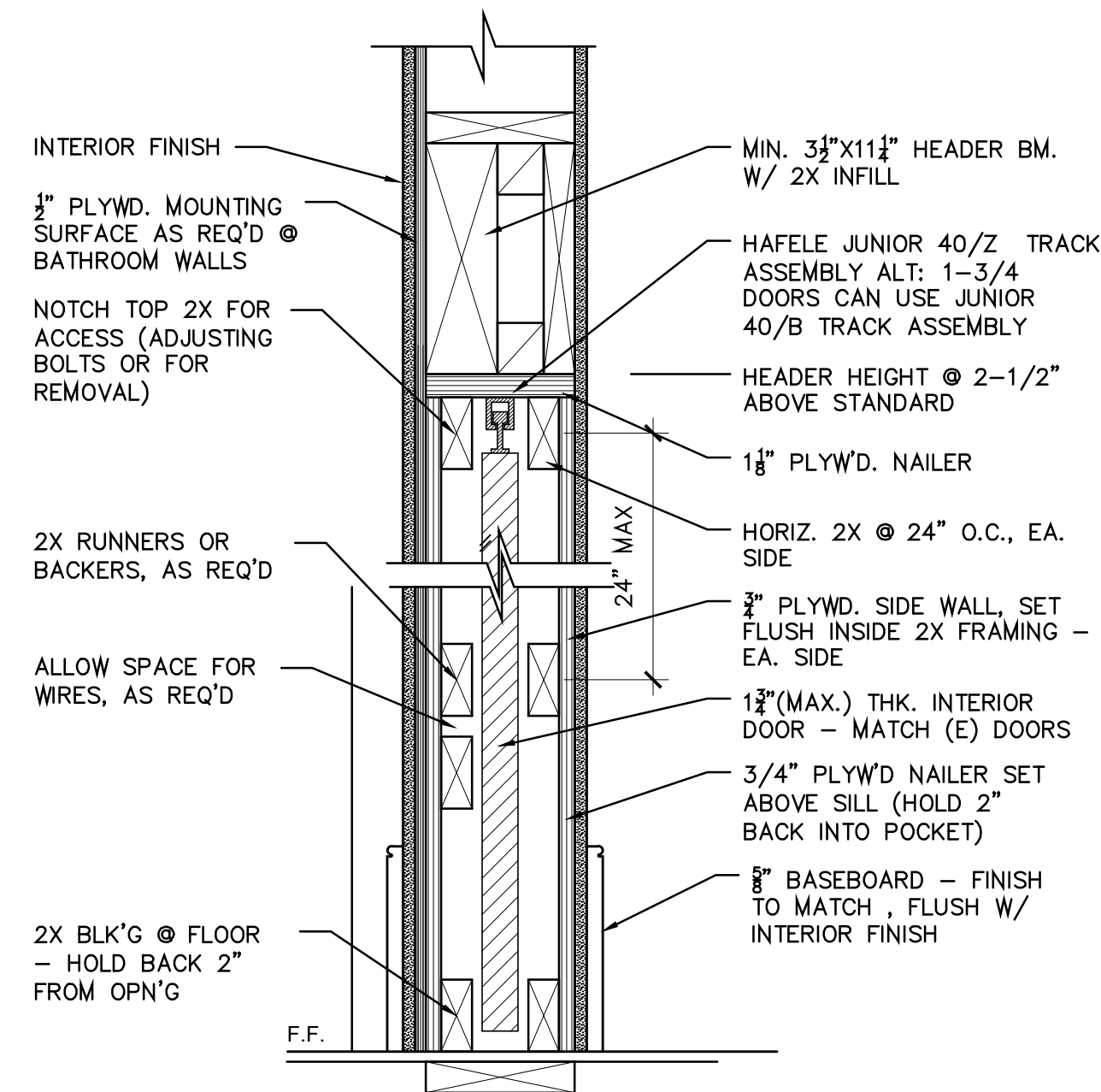


WALL SECTIONS

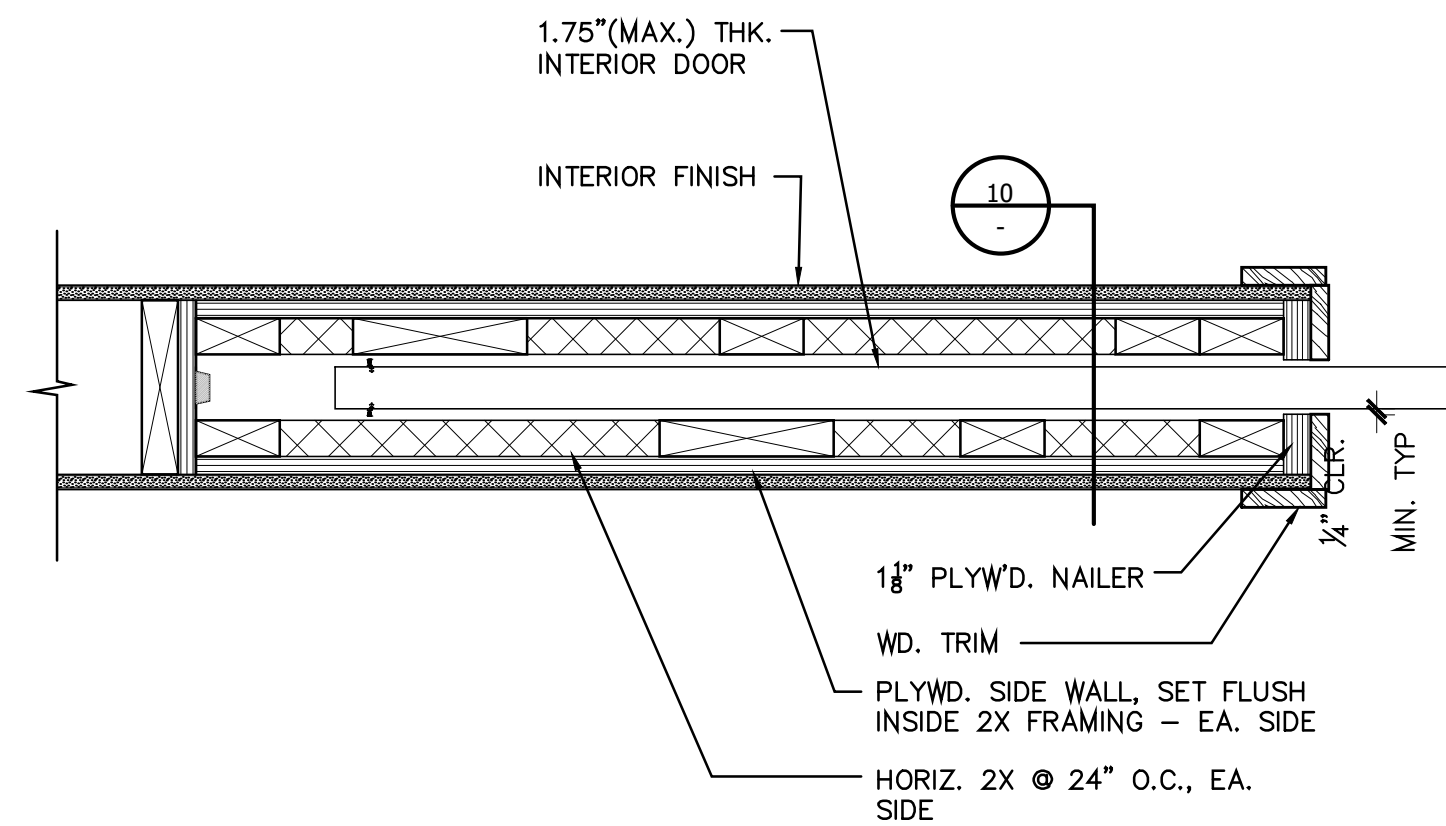
MEYROSE / COMEAU RESIDENCE

SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA
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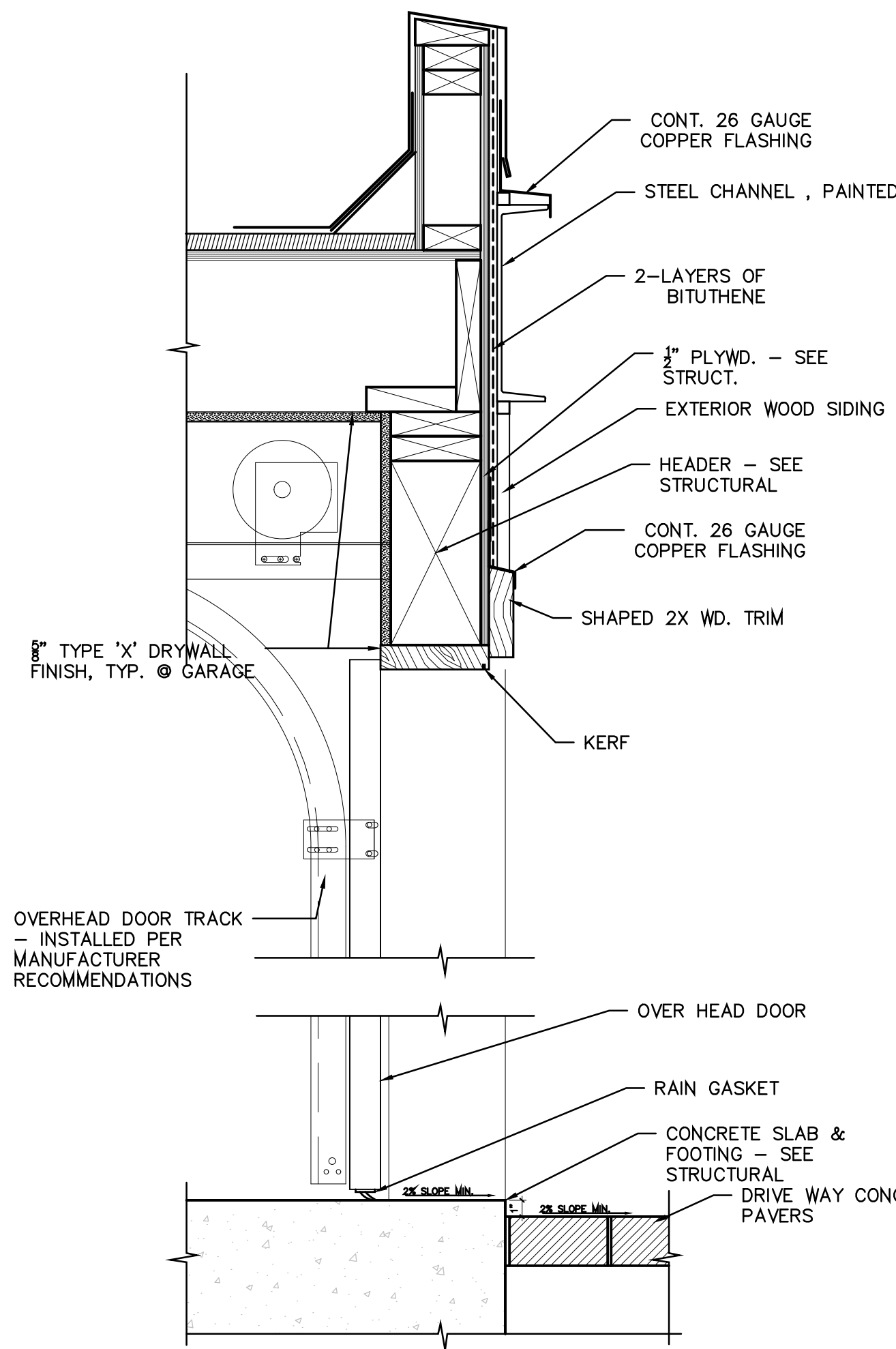
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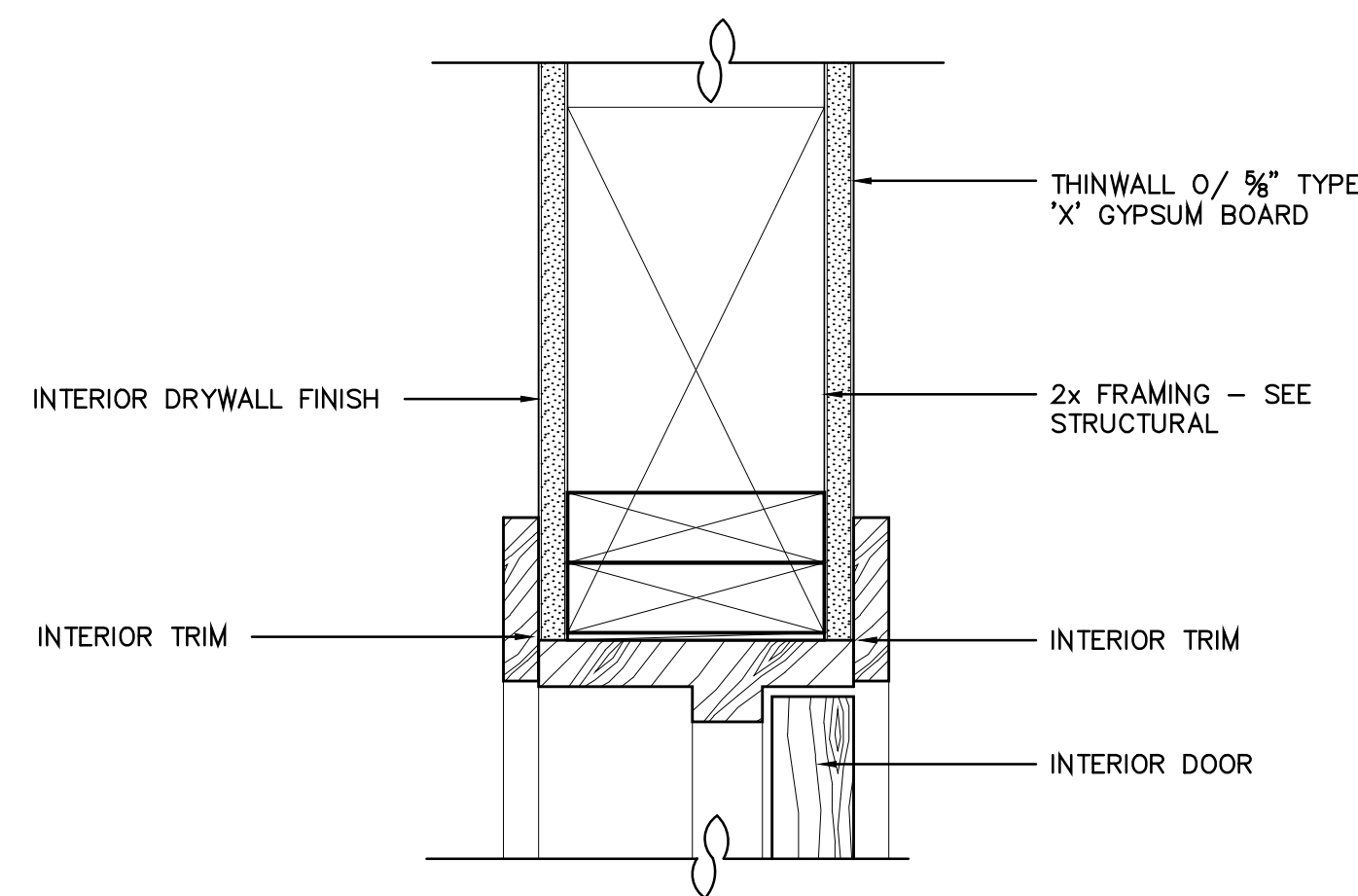
10 INT. POCKET DOOR SECT.
SCALE: 1-1/2" = 1'-0"



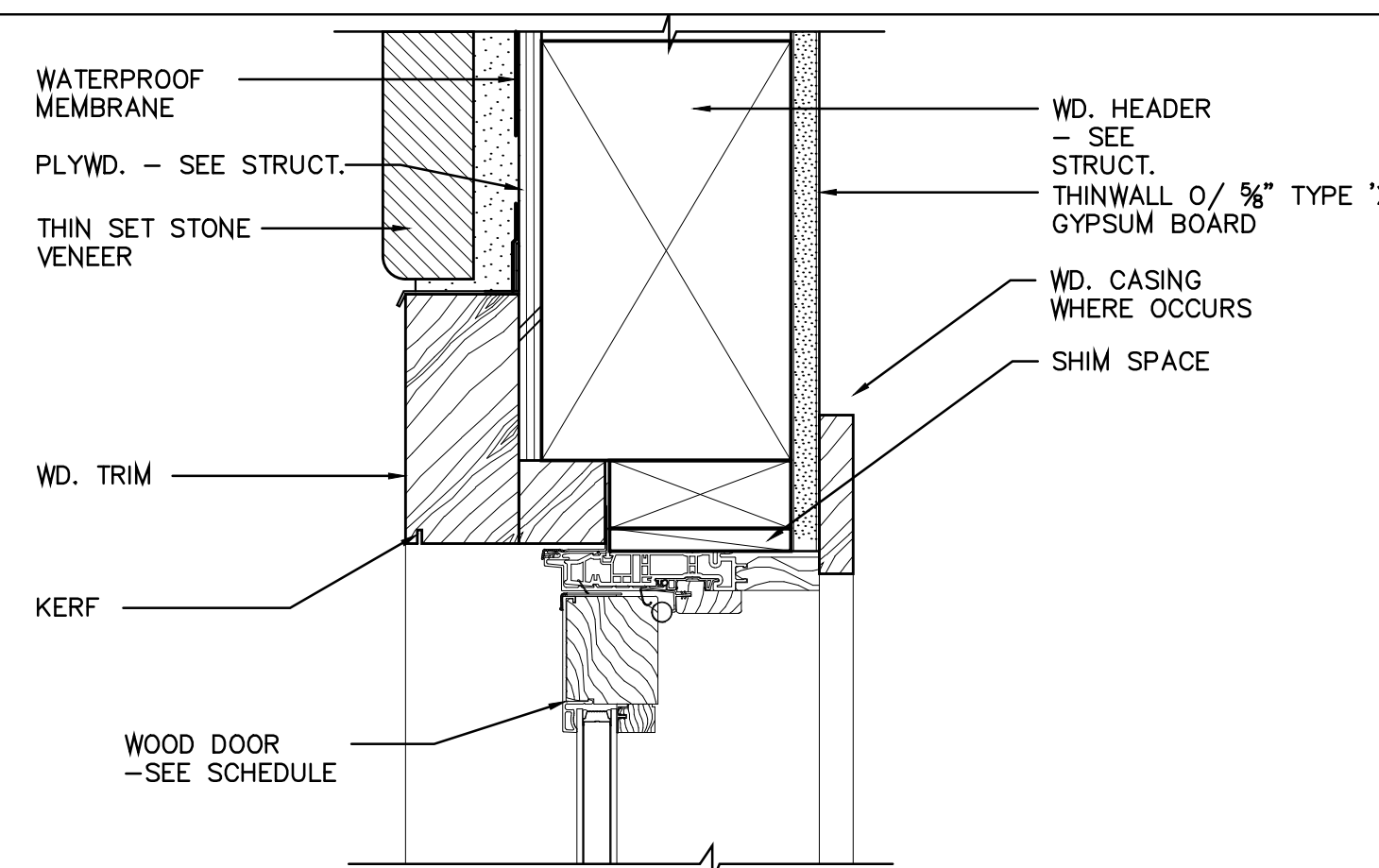
11 INT. POCKET DOOR PLAN
SCALE: 1-1/2" = 1'-0"



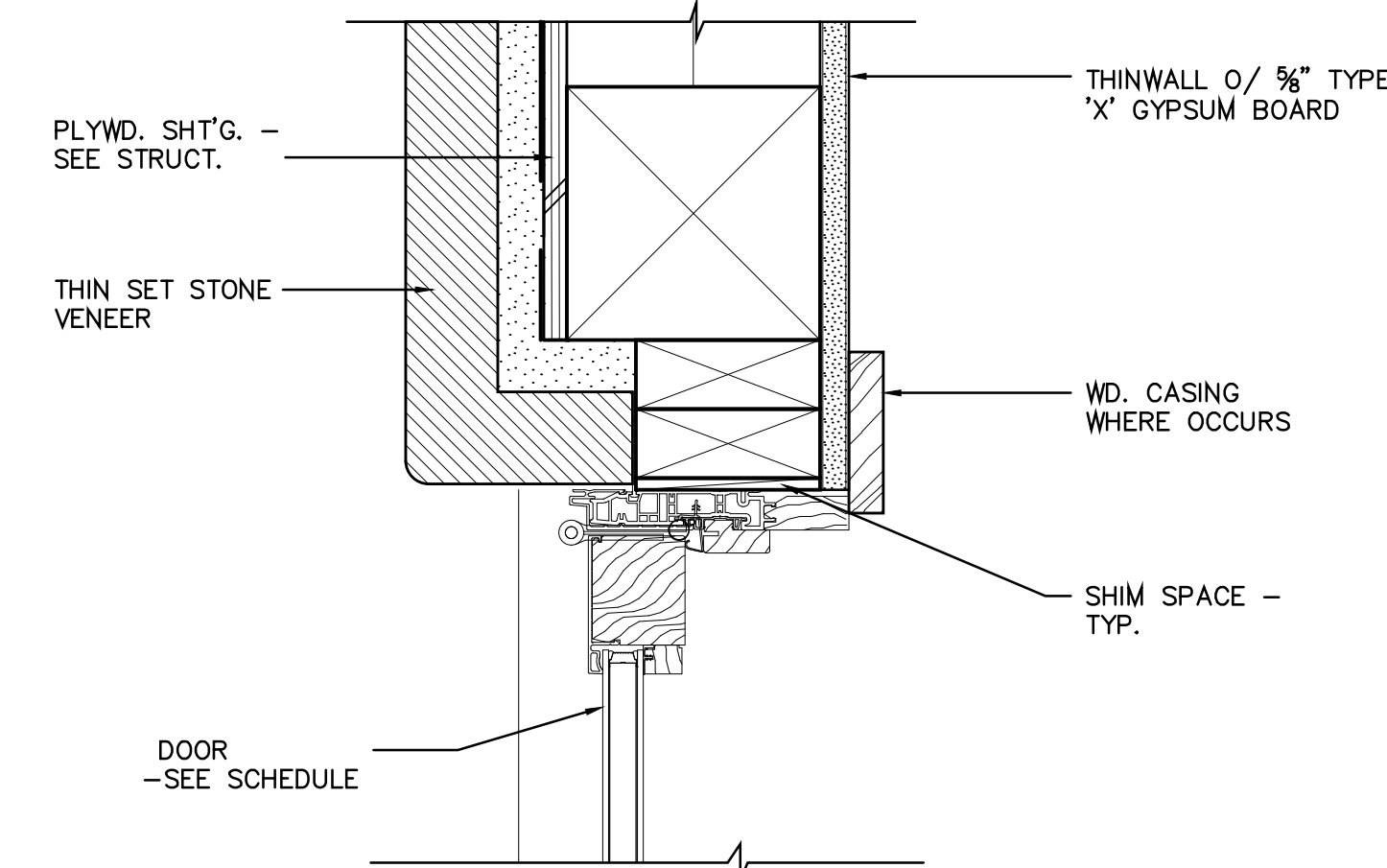
16 GARAGE DOOR HEAD / SILL
SCALE: 1-1/2" = 1'-0"



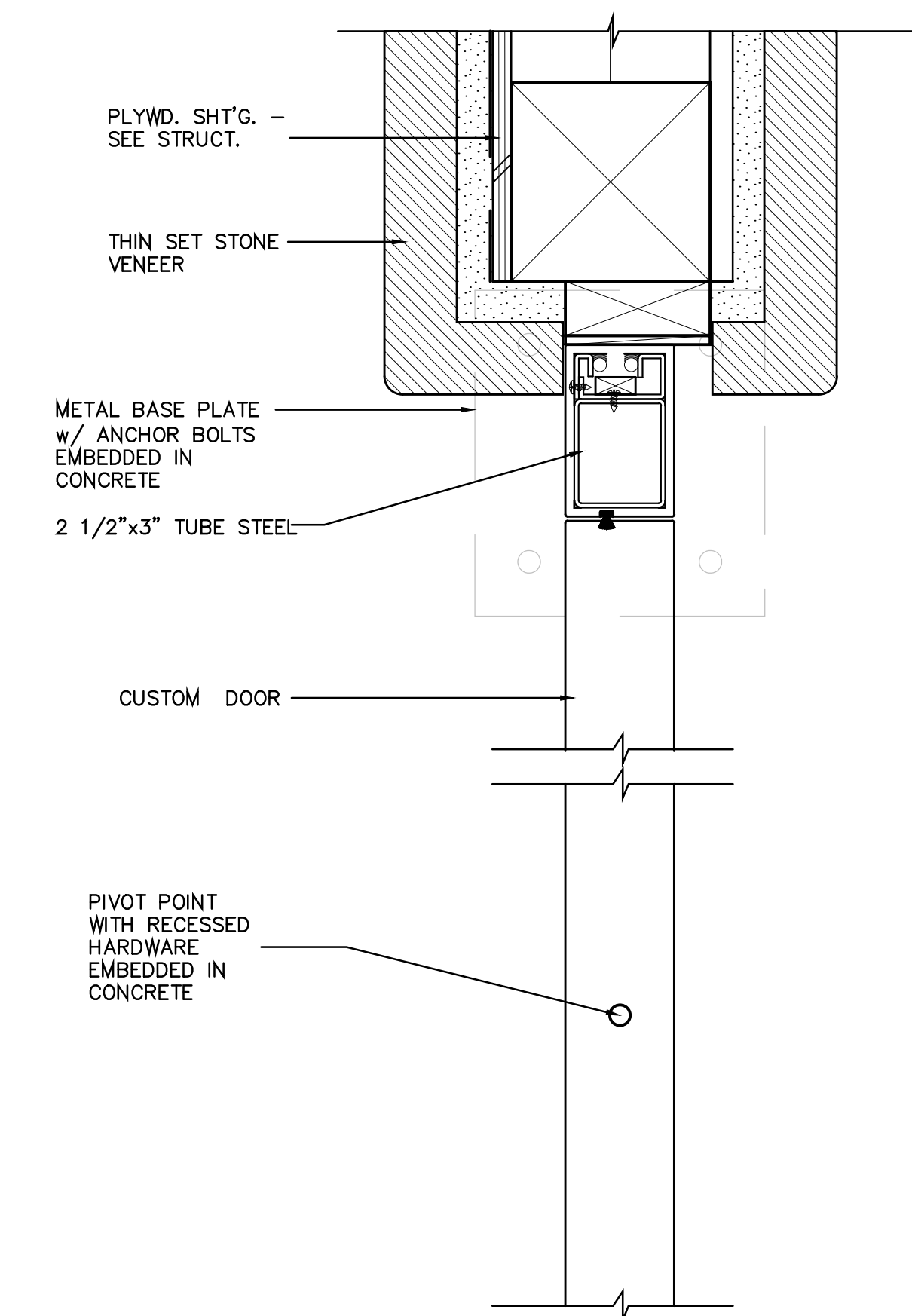
9 INTR. DOOR HEAD/JAMB
SCALE: 3" = 1'-0"



1 HEADER @ STONE WALL
SCALE: 3" = 1'-0"

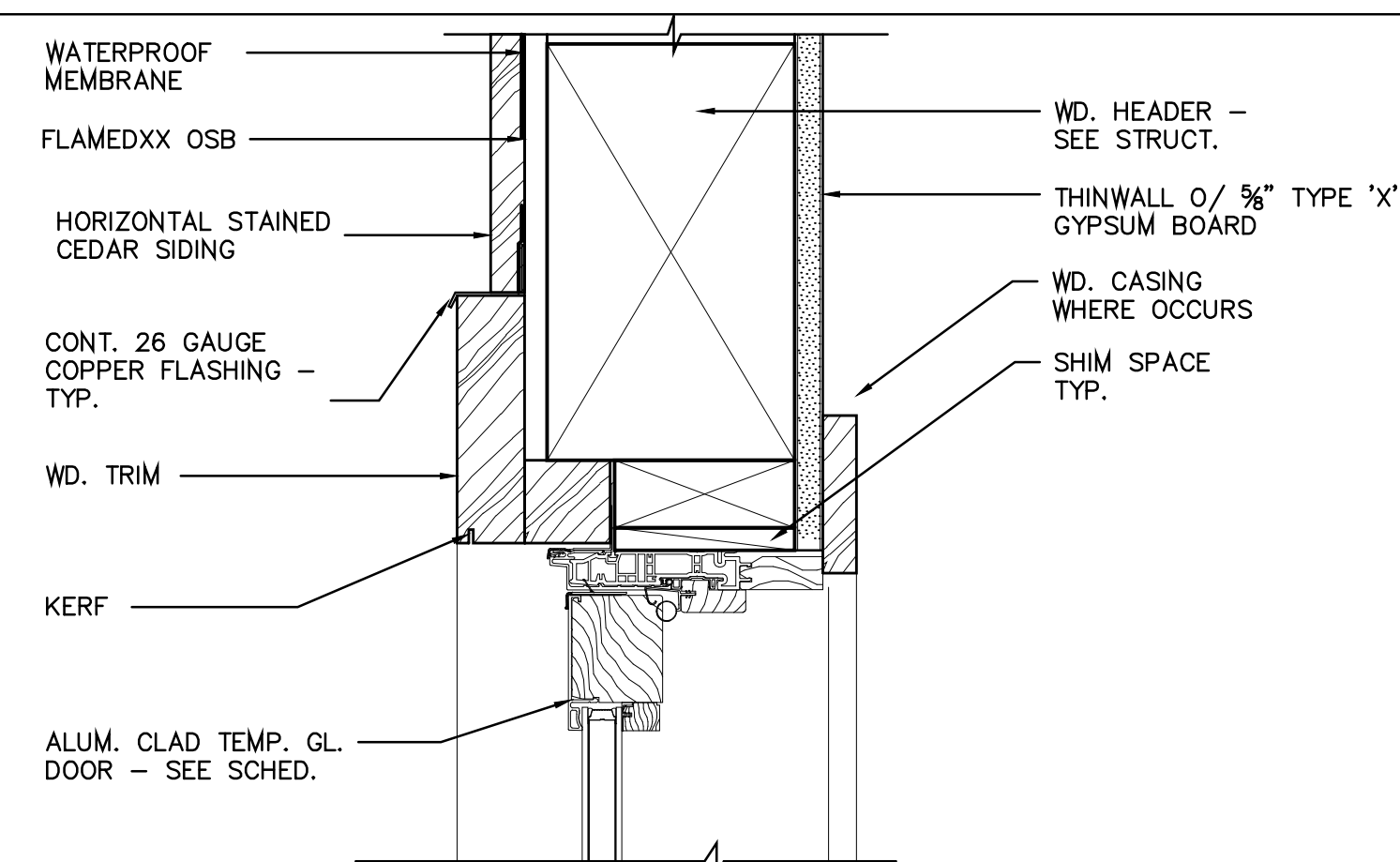


3 JAMB @ STONE WALL
SCALE: 3" = 1'-0"

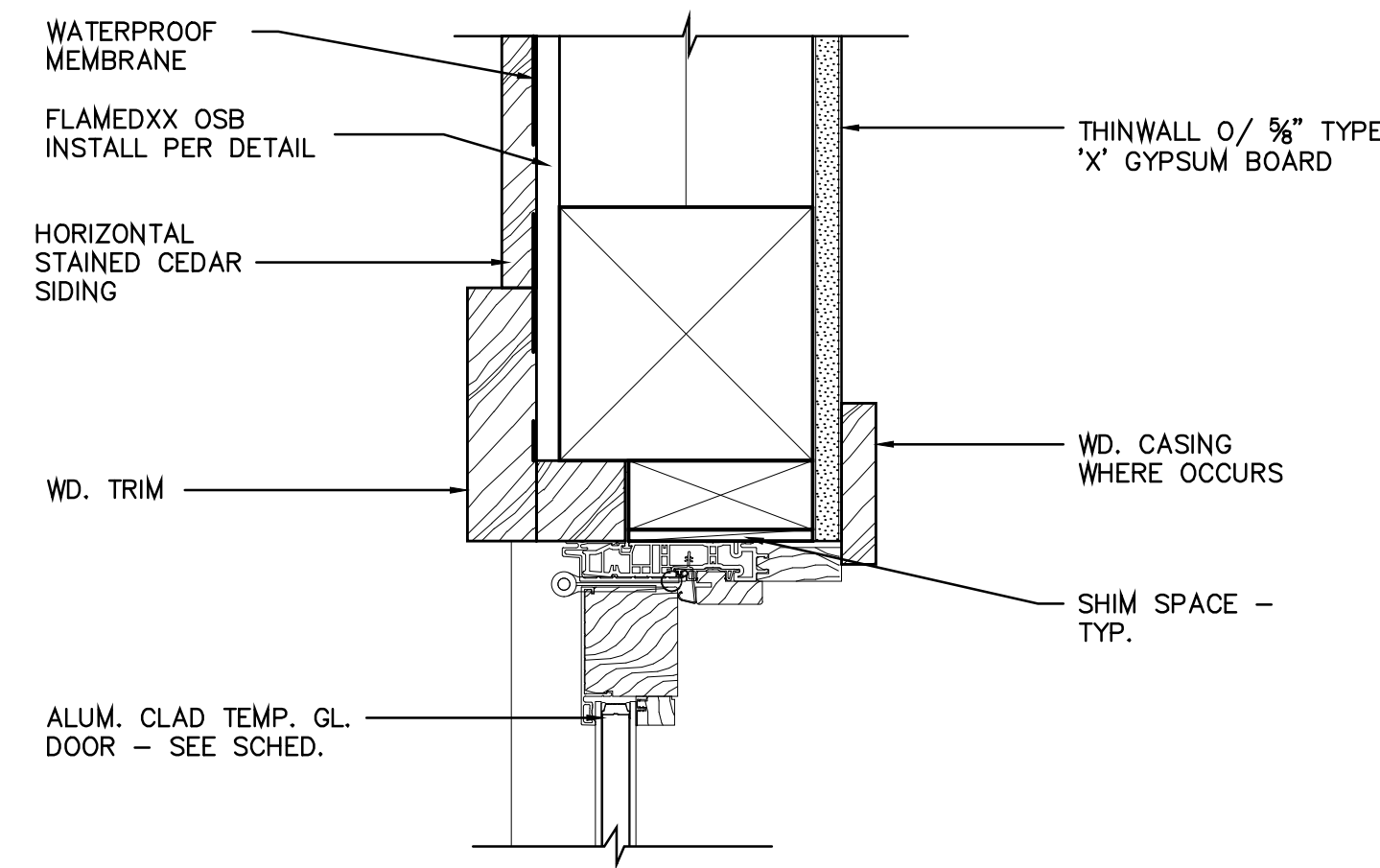


15 JAMB @ ENTRY DOOR
SCALE: 3" = 1'-0"

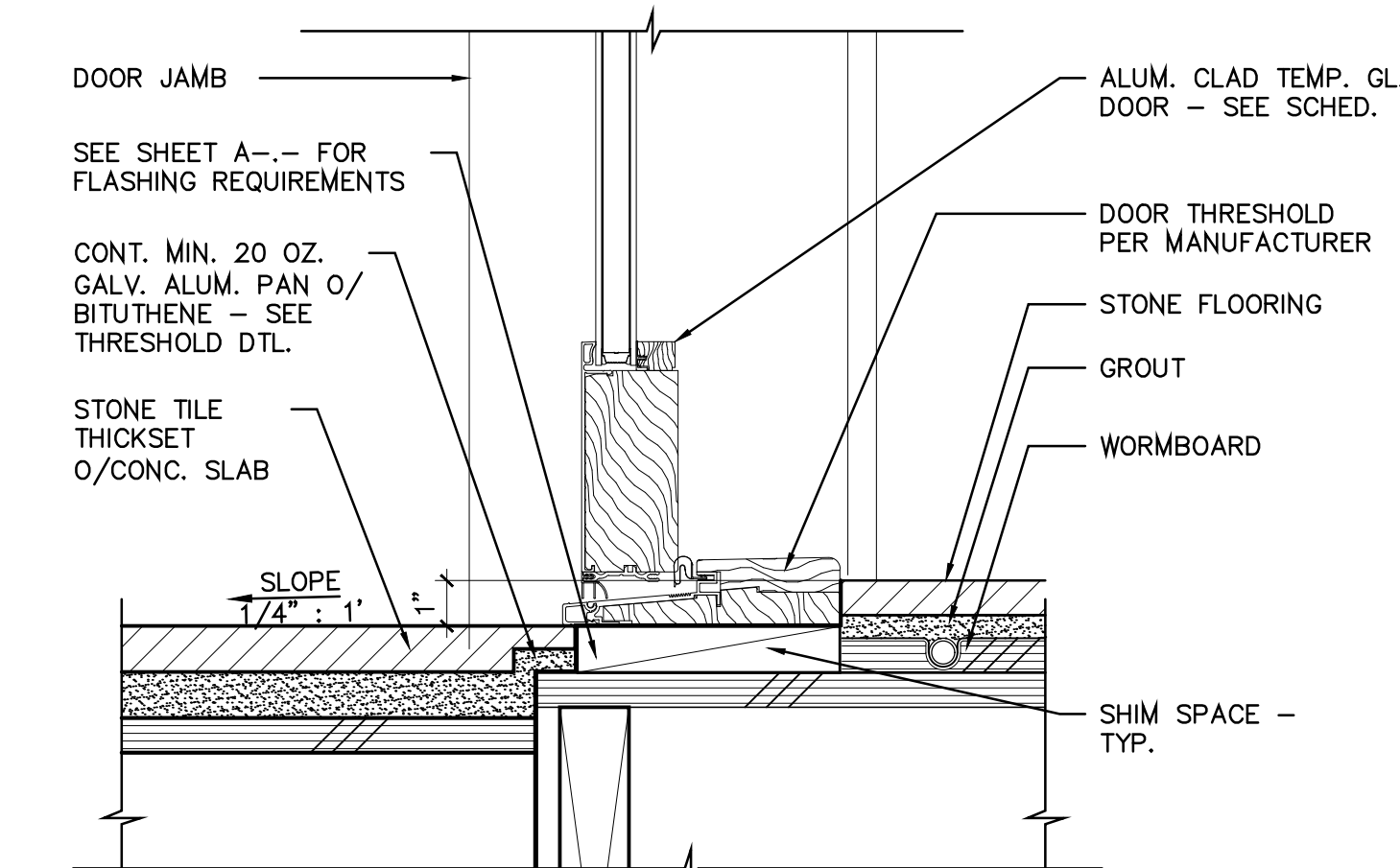
NOTE: SEE PAGE NOTES SHEET
A8.2 FOR ADDITIONAL INFORMATION



5 DOOR HEADER
SCALE: 3" = 1'-0"



7 JAMB
SCALE: 3" = 1'-0"



8 DOOR THRESHOLD
SCALE: 3" = 1'-0"

APPROVED
06/27/2025
COMMUNITY PLANNING & BUILDING

Approved by: Evan Kort, Senior Planner



5 **STAIR NOTES**
SCALE: N.T.S.



Approved by: Evan Kort, Senior Planner



PLUMBING, POWER & LIGHTING NOTES

INSTALLATION:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NEC AND STATE OF CALIFORNIA TITLE 24 REQUIREMENTS & LATEST EDITIONS, LOCAL CODES & REGULATION & ALL OTHER APPLICABLE CODES & ORDINANCES. INSTALLATION SHALL BE IN A WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH THE ELECTRICAL CONTRACTORS ASSOCIATION OF INSTALLATION.
- AN APPROVED MEANS OF DISCONNECT FOR THE ELECTRICAL SUPPLY TO EACH PIECE OF EQUIPMENT (FORCED AIR UNIT, WATER HEATER) SHALL BE PROVIDED IN SIGHT OF THE EQUIPMENT SERVED WHEN THE SUPPLY VOLTAGE EXCEEDS 50 VOLTS
- ALL SITE ELECTRICAL, GAS & PLUMBING SHALL BE RUN UNDERGROUND. ALL PERMITS & PRE-DIG REQUIREMENTS SHALL BE MET PRIOR TO INSTALLATION.
- ALL INSTALLED RECEPTACLE OUTLETS SHALL BE LISTED TAMPER RESISTANT.
- RECEPTACLE OUTLETS, SWITCH AND CONTROL HEIGHTS BE LOCATED NO MORE THAN 48" A.F.F. AND NO LESS THAN 15" A.F.F. , SIMILARLY DOORBELL BUTTONS SHALL NOT EXCEED 48" ABOVE THE EXTERIOR FLOOR OR LANDING.

CIRCUITS:

- KITCHEN AND BATHROOMS: ALL ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION.
- BATHROOMS: ELECTRICAL OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20-AMP BRANCH CIRCUIT. THE CIRCUITS SHALL HAVE NO OTHER OUTLETS PER NEC 210-52(D). IN ADDITION TO OTHER BRANCH CIRCUIT REQUIREMENTS, AT LEAST ONE 20 AMP BRANCH CIRCUIT WILL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS – CEC 210-11(C).
- ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS (INCLUDING LUMINAIRES) AND ARE NOT REQUIRED TO BE PROTECTED BY A GROUND FAULT CIRCUIT INTERRUPTER (GFCI) SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. (CEC ARTICLE 210.12(B)).
- HOMERUN ALL CIRCUITS TO ELECTRICAL PANEL.
- APPLIANCES: TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE INSTALLED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING RM., PANTRY, OR OTHER SIMILAR AREAS. (210.11(C)(1) CEC)
- EACH MULTI-BRANCH WIRE CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES.
- ALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY, DINING, LIVING & RECREATION ROOMS, PARLORS, LIBRARIES, DENS, BEDROOM, SUNROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC FAULT CIRCUIT INTERRUPTER.

LIGHTING:

- ALL LIGHTS THROUGHOUT THE RESIDENCE, INCLUDING THE GARAGE AND EXTERIOR, SHALL BE HIGH EFFICACY & LIGHTING IN HABITABLE SPACES, INCLUDING BUT NOT LIMITED TO LIVING ROOMS, DINING ROOMS, KITCHENS AND BEDROOMS, SHALL HAVE READILY ACCESSIBLE WALL-MOUNTED DIMMING CONTROLS THAT ALLOW THE LIGHTING TO BE MANUALLY ADJUSTED UP AND DOWN.
- BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS, AT LEAST ONE INSTALLED LUMINAIRE SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY.
- OUTDOOR LIGHTS MUST BE HIGH EFFICACY AND CONTROLLED BY AN ASTRONOMICAL TIME CLOCK OR BY BOTH A MOTION SENSOR AND PHOTOCELL.

SMOKE DETECTORS:

- BEDROOMS: SMOKE DETECTORS (110 VOLT) TO BE INTERCONNECTED TO SOUND ALARM AUDIBLE IN ALL BEDROOMS OF DWELLING.
- WHERE CONSTRUCTION IS NEW, ALL SMOKE ALARMS SHALL BE "HARD WIRED", SHALL BE EQUIPPED WITH BATTERY BACKUP, AND SHALL BE INSTALLED AS INDICATED ON PLANS.
- WHERE CONSTRUCTION IS EXISTING, ALL SMOKE ALARMS MAY BE BATTERY OPERATED AND SHALL BE INSTALLED IN LOCATIONS AS SPECIFIED ON PLANS.

PLUMBING:

- ALL SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 1.8 G.P.M. @ 80 P.S.I.
- LAVATORY FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 G.P.M. @ 60 P.S.I. KITCHEN FAUCETS: SHALL HAVE A MAX. FLOW RATE OF 1.8 G.P.M. @ 60 P.S.I.
- WATER CLOSETS SHALL NOT USE MORE THAN 1.28 GAL. PER FLUSH
- USE FIBERGLASS OR CEMENT BASED BACKER BOARD AT ALL NEW FAUCET, SINK & TILE LOCATIONS.
- NON-ABSORBANT WALL MATERIAL IN SHOWER SHALL BE 7/8" A.F.F. MIN.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, WHIRLPOOL, BATHTUB, AND SHOWER/TUB COMBO FILTERS SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION

EXTERIOR LIGHTING SPECIFICATION

"A" JUNO (RECESSED DOWNLIGHT)

PRODUCT DESCRIPTION

The round M01G2 Mini LED recessed downlight is IC rated for insulated or non-insulated applications • Sleek, compact form factor provides direct accent lighting with low glare optic system that approximates the light output and distribution of 20W halogen lamps • Ideal for both residential and commercial limited space applications including niches, bookshelves, displays and cabinets • Remote mount Class 2 120V to 12V AC electronic or magnetic transformer required • Designed to provide 50,000 hours of life • 3 year limited warranty on LED components.

EFFICIENT

- No harmful ultraviolet or infrared wavelengths
- No lead or mercury
- Comparable light output to 20W MR11 halogen lamps while consuming 5W

PRODUCT SPECIFICATIONS

LED Light Engine High performance, low power LEDs provide outstanding reliability, performance and color quality/consistency • 2700K, 3000K, 3500K or 4000K color temperatures available • 80 or 90 CRI minimum.

Optical System Fixtures are offered with a choice of spot, narrow flood or flood beam patterns • LED source concealed with lensed optic is deeply recessed into an internal reflector to produce a low glare system • Reflector finished to match trim ring color for uniform appearance • Field replacement of optical lenses is NOT recommended.

Transformer Requires remote mount Class 2, 120V to 12V AC electronic or magnetic transformer for operation • Juno M01G2 electronic transformer and MAGNETIC magnetic transformer are designed specifically for use with these fixtures.

Dimming May be dimmed with dimmers tested and qualified by Juno for use with M01G2 and MAGNETIC – see transformer specifications for compatible dimmers • Color temperature remains constant over dimming range • Consult factory for additional information.

Life Rated for 50,000 hours at 70% lumen maintenance.

Labels UL listed for indoor damp locations and daisy chaining • Union made • UL and cUL listed • RoHS compliant.

Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.

Specifications subject to change without notice.

HOUSING FEATURES

Housing Designed for use in IC (insulated ceiling) or non-IC construction • Die cast aluminum housing.

Wiring Compartment Provided with removable access plate • Four pole terminal block allows for quick, secure connection • UL cUL listed for daisy chaining • Easy to wire with commonly available low voltage cable (Type CL2 or NEC equivalent, 18-12 AWG). Consult local codes for compliant wiring methods.

Mounting Tempered spring steel torsion clips are provided fully assembled to housing • Springs allow for fast, secure installation or removal in mounting surfaces from 1/8" to 1" thick material • 2" Cutout dimension corresponds to common hole saw size.

ORDERING INFORMATION

Series	Fixtures Form	Lumens	Color Temperature	CRI	Distribution	Size Finish
M01G2	RD Round	300LM 3000K	27K 2700K	80CRI 80+ CRI	RL Flood	RL Black
		350K 3000K	30K 3000K	90CRI 90+ CRI	NFL Narrow Flood	RLZ Bronze
		350K 3500K	35K 3500K	SP Spot	SP Spot	SN Satin Nickel
		40K 4000K	40K 4000K			WH White

"B" HINKLEY (WALL SCNCE)

SILO

13590BK-LL

SMALL DOWN LIGHT WALL MOUNT LANTERN

The perfect addition to Modern Coastal, Silo's compact design blends simple and long-lasting

practicality. Built to stand up to harsh climates and available in three rust and corrosion-resistant

finishes, Silo is available in a downlight-only option to meet dark sky compliance, an up and downlight for

additional wall washing, and a small flush mount.

FINISH:	Black
MATERIAL:	Composite
GLASS:	Etched Lens
DIMMABLE:	YES, CL TYPE DIMMER (SSL7A)

WIDTH:	4.5"
HEIGHT:	8"
WEIGHT:	1.3lb
BACK PLATE:	4.5"W x 4.75"H
EXTENSION:	5.6"
TOP TO OUTLET:	4"

Watts	4.5W
Incandescent Equivalent	35W
Volts	120V
Shape	MR16
Base	Bi Pin GU10
ANSI Base	GU10
Finish	White
CCT (Kelvin)	3000K
Temperature	Warm White
CRI	80+
Lumens	360L
Beam Spread	40
Dimmable	Yes-Dimmable
Hours Rated	25000
Product Category	MR
Technology	LED

"C" MODERN FORMS (STEP LIGHT)

PRODUCT DESCRIPTION

Elevate your design and step up to a minimalist aesthetic that highlights a low profile style that flush mounts for a clean look. Ideal lighting for safety and security. A frosted lens delivers beautiful balanced illumination that is shadow free with little glare. We listed for both interior and exterior application on stairs and walls.

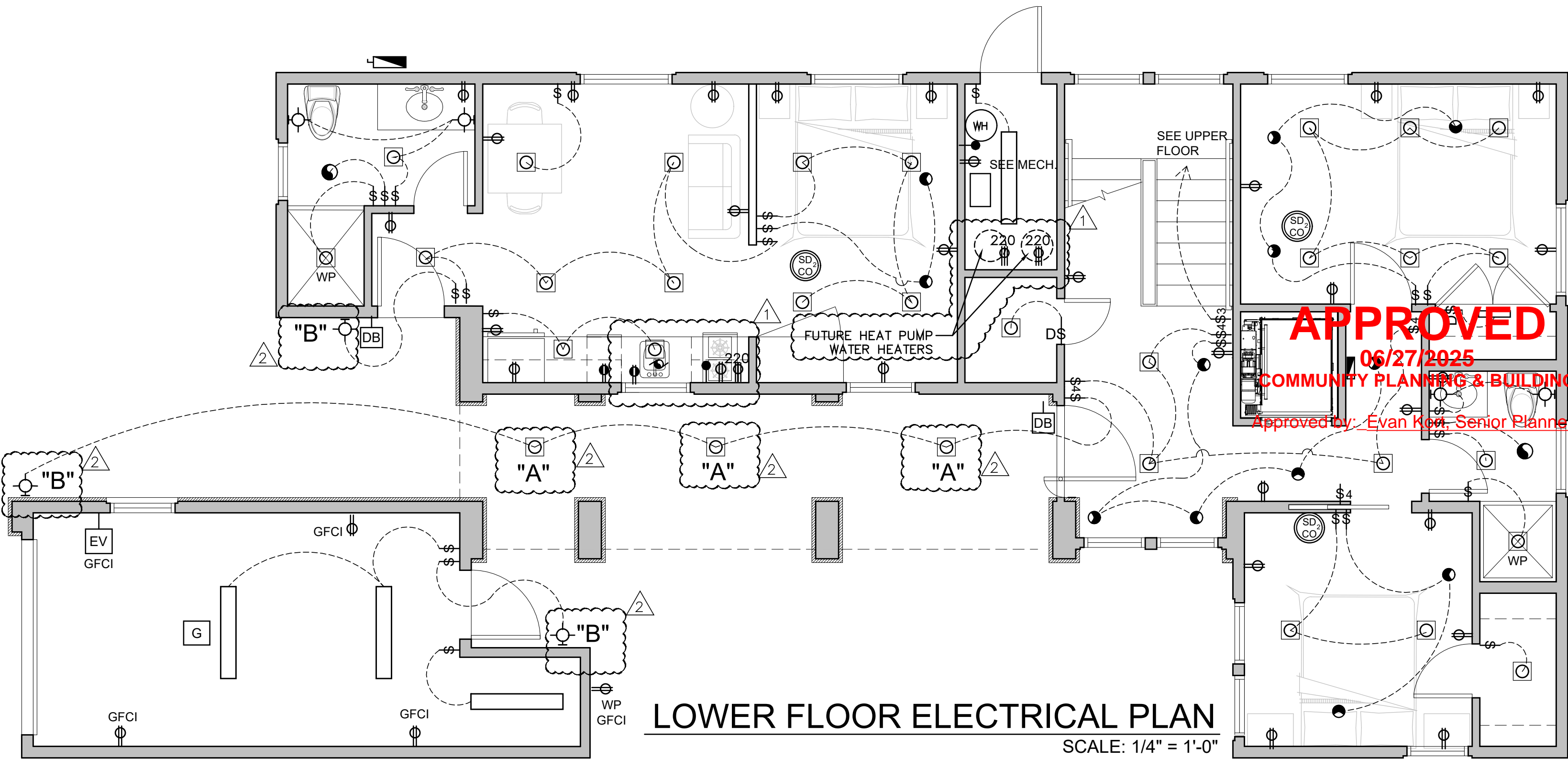
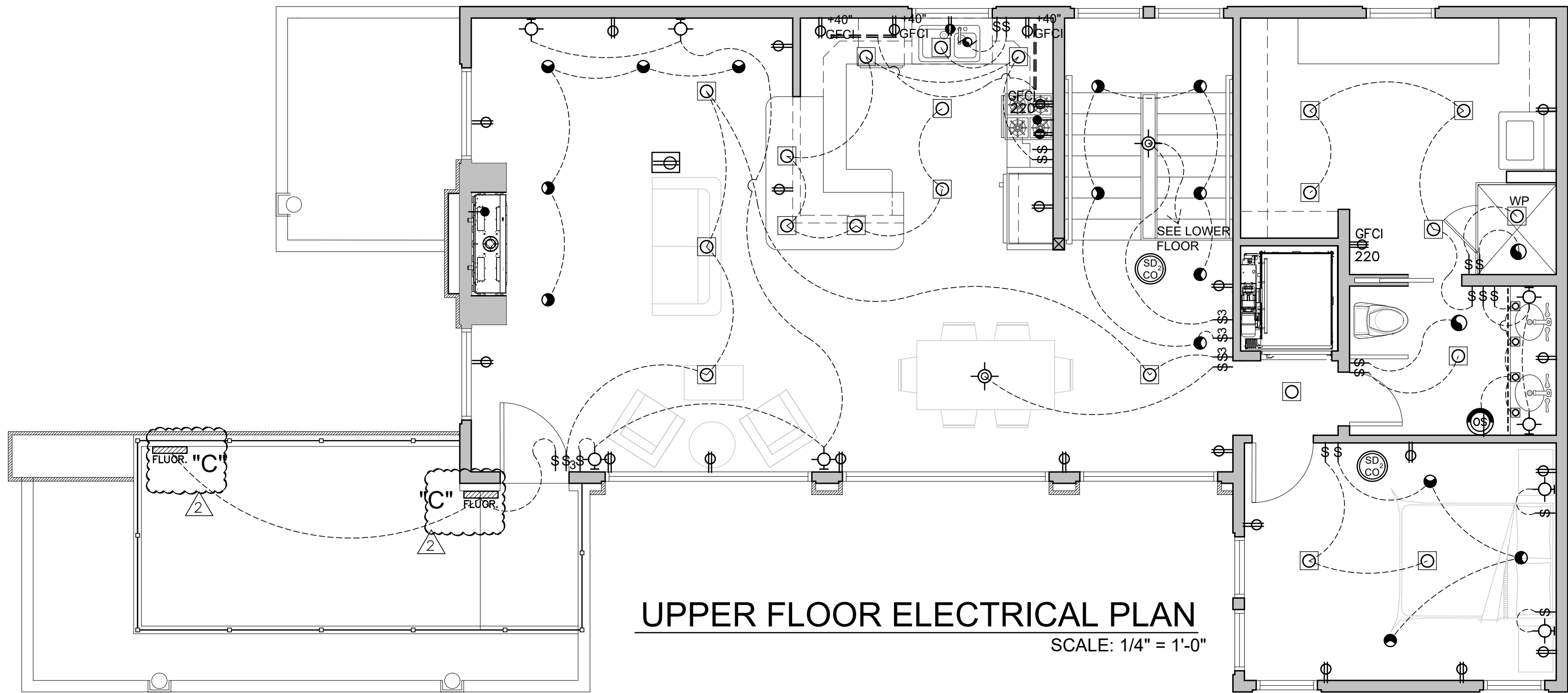
FEATURES

- ACLED driverless technology
- Low profile, flush to wall aesthetics with no visible hardware
- Frosted lens
- "Fits into 2" x 4" J-Box with minimum inside dimensions of 3" L x 2" W x 2" H. Includes bracket for J-Box mount."
- 0-10V dimming option available (special order), unit dimensions: 3.4" x 1.2" x 0.5" (model#LD5065M010AFE-L01)

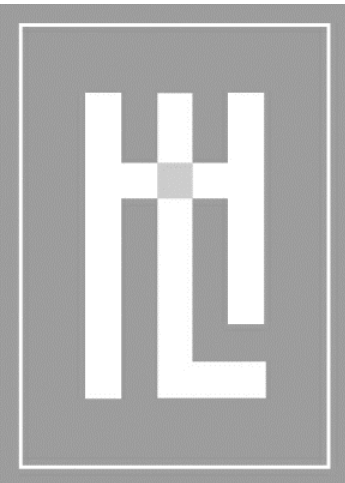
SPECIFICATIONS

Rated Life	54000 Hours
Standards	ETL, cETL, Wet Location Listed, IP66, Title 24 JAB: 2019 Compliant, CADA
Input	120 VAC, 50/60Hz DELIVERED LUMENS = 24
Dimming	ELV
Mounting	Can be mounted on wall in all orientations
Color Temp	DOWN LITE, MAX. HEIGHT OF 18 IN. ABOVE WALKING SURFACE
CRI	90
Construction	Die cast aluminum, 316 Marine grade stainless steel

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
SL LED100	3000K	○ BK Black	3.2W	228	24
	3000K	○ SS Stainless Steel	3.2W	228	36
	3000K	○ WT White	3.2W	228	64



LIGHTING AND POWER SYMBOLS LEGEND					
	SINGLE POLE ON/OFF SWITCH – INSTALL DIMMER ON SWITCHES TO ALL NON-FLOOR, FIXTURES		TELEVISION / DATA CONNECTION – VERIFY TYPE, SERVICE AND LOCATION WITH OWNER		CREE LIGHTING – LR4: MED. RECESSED IC HOUSING
	3-WAY SWITCH		GAS		CEILING MOUNT PENDANT
	4-WAY SWITCH		COMBINATION CARBON MONOXIDE & SMOKE DETECTOR W/ PRIMARY POWER FROM BUILDING & BATTERY BACKUP		WALL MOUNT/WALL SCONCE LIGHT FIXTURE (WP = SUITABLE FOR DAMP OR WET LOCATIONS)
	SINGLE POLE DOOR ON/OFF SWITCH		HOOD FAN AND LIGHT		RECESSED FLUORESCENT STEP LIGHT PROVIDING 40 LUMENS/WATT OR GREATER
	MANUAL-ON/AUTOMATIC-OFF OCCUPANCY/ VACANCY SENSOR SWITCH		GARBAGE DISPOSAL W/AIR SWITCH		SURFACE MOUNTED CEILING FIXTURE PROVIDING 40 LUMENS/W OR GREATER
	DUPLEX OUTLET WITH ARC FAULT CIRCUIT INTERRUPT		DOORBELL WITH CHIME RING		FLUORESCENT GENERAL LIGHTING PROVIDING 40 LUMENS/WATT OR GREATER
	DUPLEX OUTLET WITH GROUND FAULT CIRCUIT INTERRUPT		GARAGE DOOR OPENER – LISTED AND LABELED IN ACCORDANCE WITH "UL 325"		FLUORESCENT UNDER CABINET LIGHTING PROVIDING 40 LUMENS/WATT OR GREATER
	FOURPLEX OUTLET W/AFCI		200 AMP PRIMARY PANEL WITH TYPE 1 SURGE PROTECTOR DEVICE		STR2 – SURFACE MOUNTED LED STRIP LIGHT
	HALF SWITCHED DUPLEX OUTLET W/AFCI		SUB-PANEL LOCATION		SURFACE MOUNTED LED LIGHT
	BELOW COUNTER/APPLIANCE DUPLEX OUTLET		SERVICE ENTRANCE AND METER – SEE CIVIL		LED KICK STRIP LIGHT
	220 OUTLET IF REQUIRED FOR EQUIPMENT		ULTRA QUIET ENERGY STAR EXHAUST FAN – 5 AC/HR. – VENTED TO THE OUTSIDE		MOTION SENSOR & PHOTOCELL W/ TIMER FOR ALL LOW EFFICACY LIGHTS (30 MIN. MAX.)
	WATERPROOF-LABELED "SUITABLE FOR WET" OR "SUITABLE FOR DAMP LOCATIONS"		RECESSED LED CAN IN 4" APERTURE (WP = SUITABLE FOR DAMP OR WET LOCATIONS)		MOTION SENSOR FLOOD LIGHT
	FLOOR DUPLEX W/BRASS COVER, PLUG HEAD RECESSED BELOW FLOOR LEVEL		RECESSED CAN, HIGH EFFICIENCY LIGHT		HOSE BIBB
	HALF SWITCHED FLOOR DUPLEX W/BRASS COVER, PLUG RECESSED BELOW FLOOR LEVEL.		LOW VOLTAGE DOWNLIGHT W/ DIRECTIONAL LENS		PROVIDE FLOOR, FIXT., SWITCH & GFCI DUPLEX OUTLET IN ATTIC SPACE ADJACENT TO ACCESS
	JUNCTION BOX		WATER HEATER ON 18" HIGH PLATFORM		ELECTRIC VEHICLE CHARGING STATION
	DATA/SIGNAL OUTLET-VERIFY LOCATION W/OWNER (WIRING: CAT 6 NETWORK CABLE)				



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DATE: DEC. 03, 2024

SCALE:

DRAWN: 1/4"=1'-0"

JOB NUMBER: 23.14 JM

REVISION

1 PLAN CHECK JAN 15, 2025

2 PLAN CHECK FEB 24, 2025

3 PLAN CHECK MAR 6, 2025

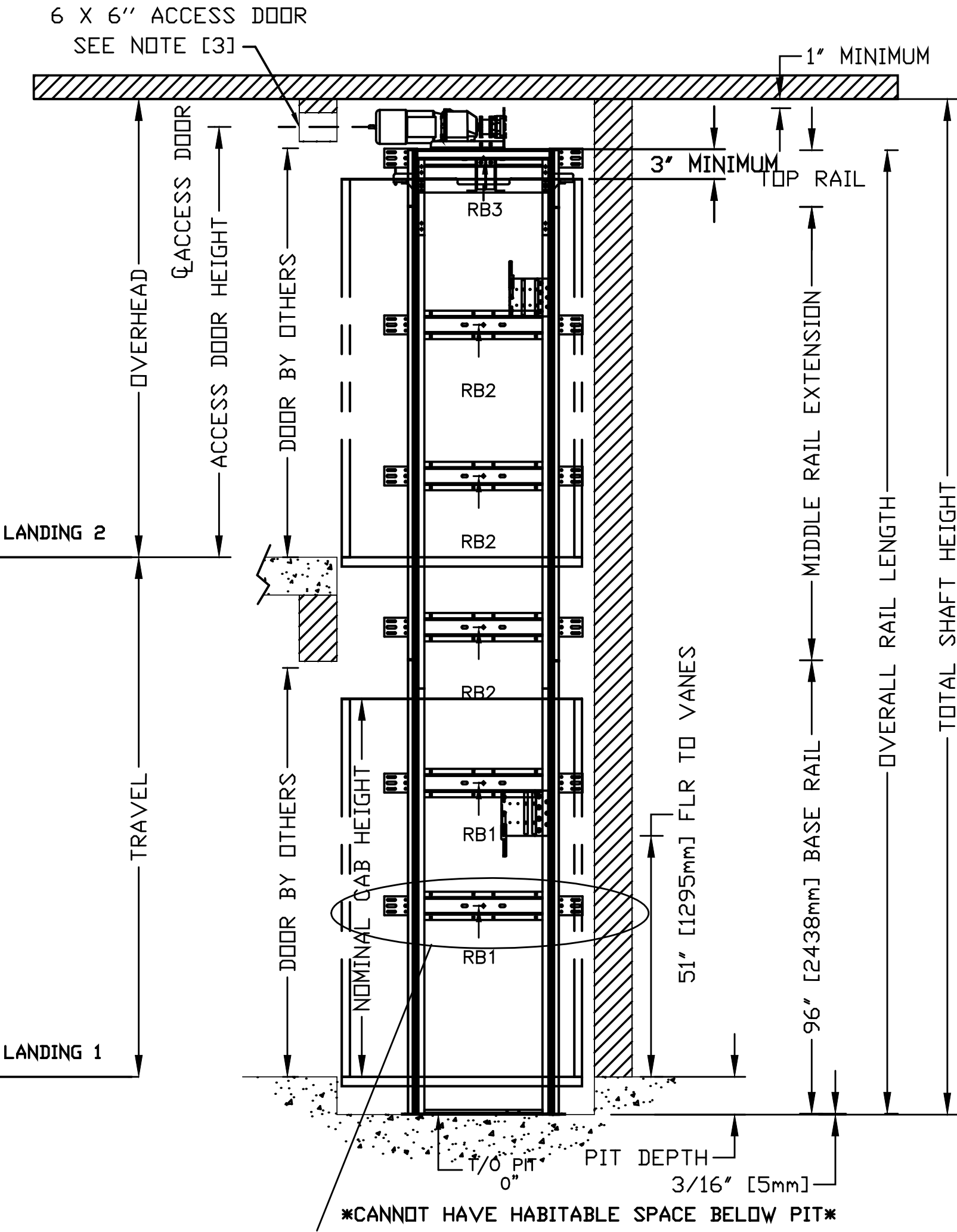


ELECTRICAL PLAN
MEYROSE / COMEAU RESIDENCE

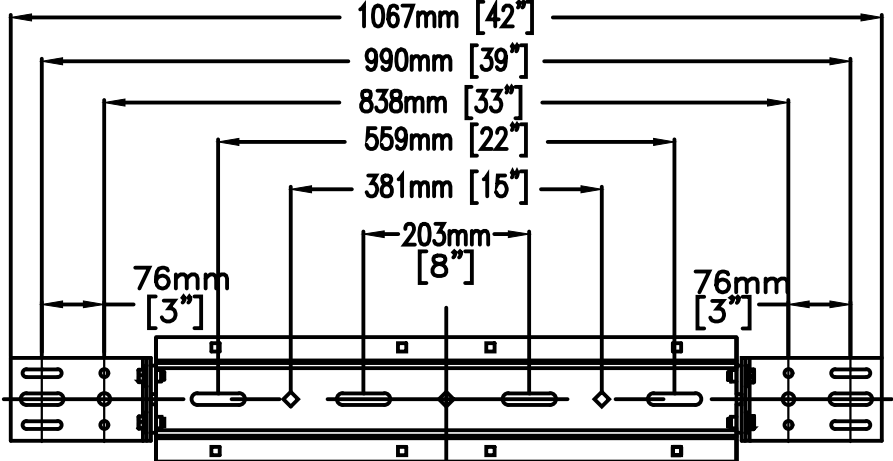
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E1.0

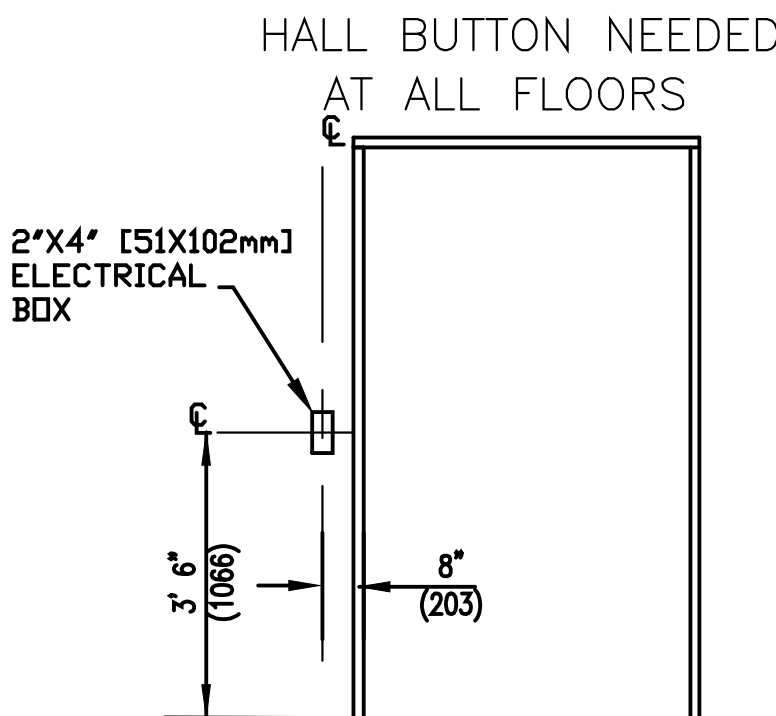
SECTIONAL VIEW –ECLIPSE Model 36X48 TYPE 1L



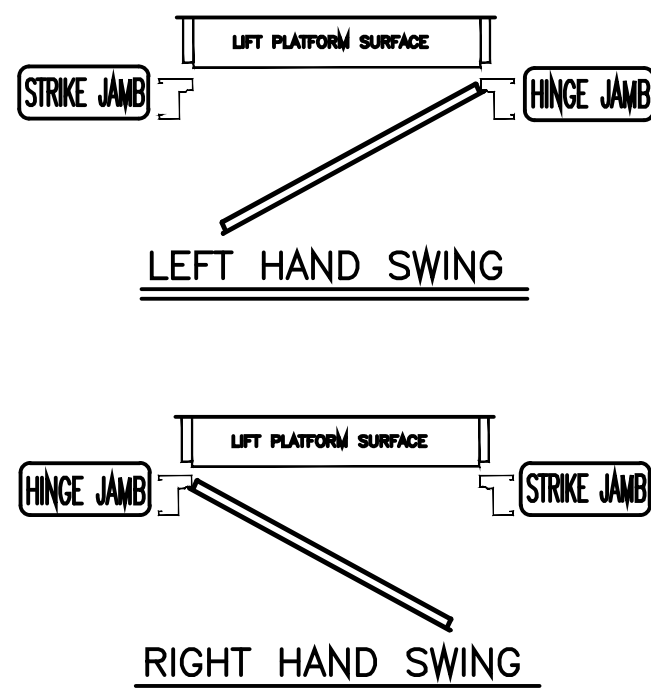
2 MOUNTING POSITIONS
CENTER OR SIDE



MOUNTING BRACKET
4 WALL ANCHOR POINTS MIN. PER BRACKET
2 PER SIDE OF RAIL BRACKET CENTER LINE
PULL OUT FORCE PER FASTENER 69 kg [152 LBS]



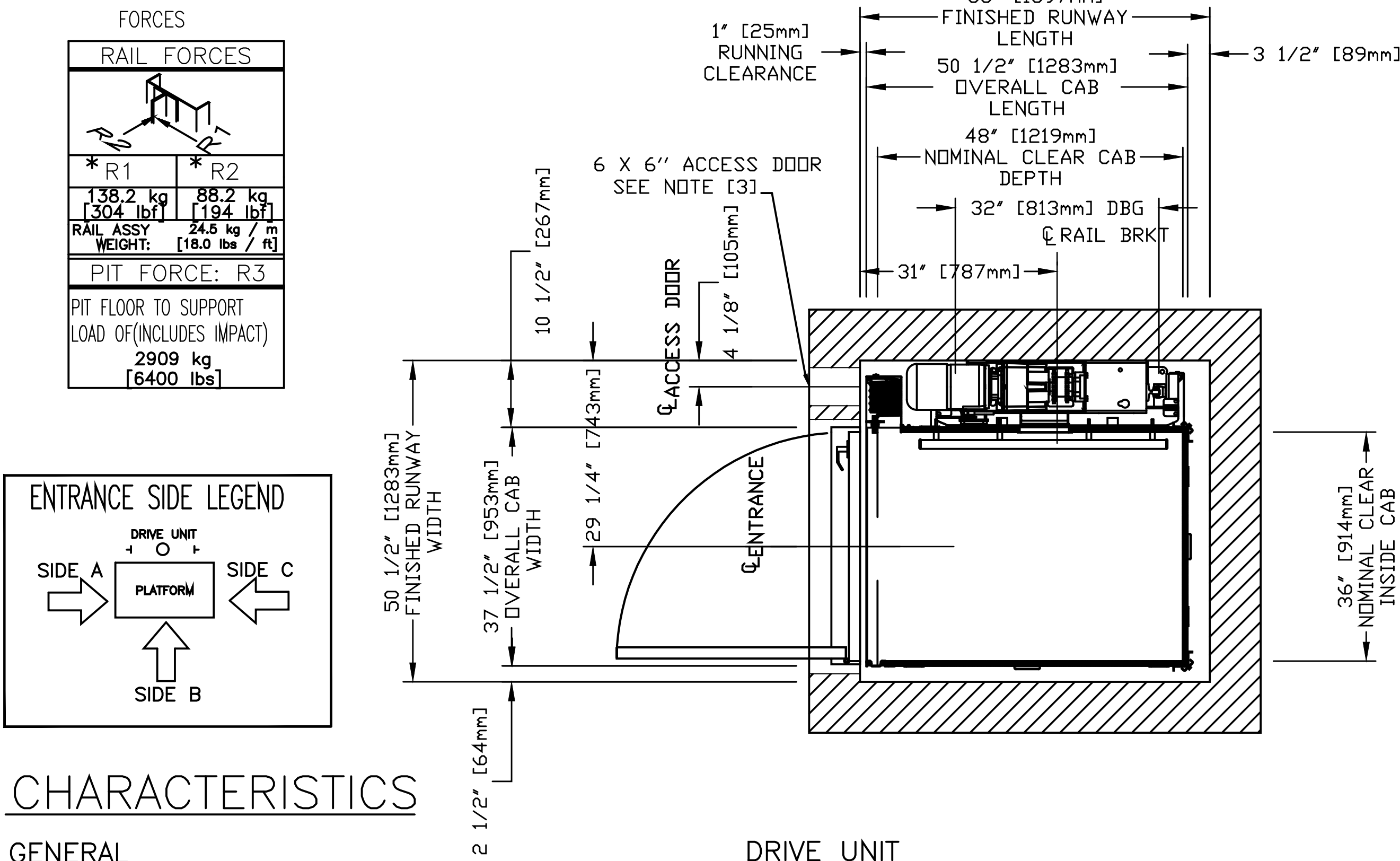
DOOR SWING



LEFT HAND SHOWN
RIGHT HAND OPPOSITE

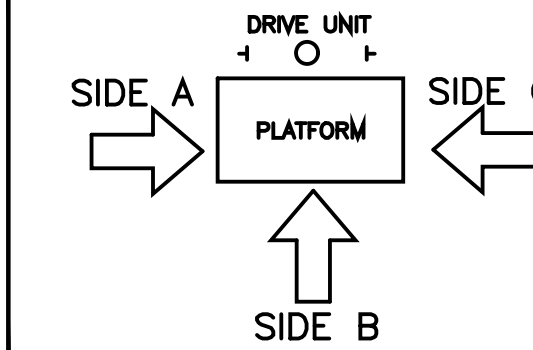
DOCUMENT REVISION 001, DATE: 10/09/08

PLAN VIEW – ECLIPSE Model 36X48 TYPE 1L



FORCES	
RAIL FORCES	
*R1	*R2
138.2 kg [304 lbf]	88.2 kg [194 lbf]
RAIL ASSY WEIGHT: 24.5 kg / m [18.0 lbs / ft]	
PIT FORCE: R3	
PIT FLOOR TO SUPPORT LOAD OF (INCLUDES IMPACT) 2909 kg [6400 lbs]	

ENTRANCE SIDE LEGEND



CHARACTERISTICS

GENERAL

APPLIED CODE: _____

CAPACITY: _____ (750, 1000 LBS)

NOMINAL SPEED: _____ 40 FPM _____

TRAVEL: _____

PIT DEPTH: _____ (MIN. 6")

CAR DETAILS

CAB PANEL SELECTION: _____ (SEE CHART) POT LIGHT FINISH (4): _____ (SS,BRZ,BRS)

CEILING SELECTION: _____ (WTH,MATCH) TRIM COLOUR: _____ (CLR,BRZ)

CAB FLOORING: _____ (PLYW, FINISH) CAR STATION PLATE (W/PI): _____ (CLR,BRZ,BRS,SS)

FINISHED FLOOR THICKNESS: _____ (1/8 TO 3/4") HAND RAIL TYPE: _____ (CLR,BRZ,BRS,SS)

CAB HEIGHT: _____ (80, 96") TELEPHONE BOX: _____ (CLR,BRZ,BRS,SS)

CAB OPERATION: _____ (AUTO) GATES REQUIRED: _____ (AUTO, MAN)

GATE TYPE: _____ (VFOLD, CFOLD, CAB SILL: _____ SS _____ PFOLD CLR, PFOLD BRZ, BLK SCZR)

LOCKS/CALL STATIONS/TRAVEL/DOORS(BY OTHERS)

	LANDING 1	LANDING 2	LANDING 3	LANDING 4	MIN OVERHEAD=96/114"
TRAVEL	PIT:				OH:
ENTRANCE SIDE	SIDE A	SIDE A			HATCH: SIDE A
DOOR SWING					
LOCK TYPE					SMARTLOCK (BY OTHERS) EMI, PORTA
AUTO DOOR OP.					

STANDARD OPTIONS PROVIDED

BUTTON MARKING: NUMERIC (1 to 4)
HALL CALL KEYED: NO
HALL CALL FINISH: MATCH CAR STATION
HALL CALL SHAPE: RECTANGULAR
PREWIRE PACKAGE: NO
CONTROLLER LOCATION: EXTERNAL

DISCONNECT (2): NO
BUFFER SPRING: NO
TEMP. RUN BUTTON: NO
EXTRA CABLE (REMOTE): 0'
WALL FASTENERS: LAG

PROVISIONS BY OTHERS

*HOISTWAY, CONSTRUCTION SITE, CLEARANCE

- HOISTWAY CONSTRUCTION AND PIT BY OTHERS. DUE TO LIMITED SPACE WITHIN THE HOISTWAY IT IS ESSENTIAL THAT THE PIT IS LEVEL AND WALLS ARE SQUARE AND PLUMB THROUGHOUT THE HOISTWAY. THE HOISTWAY FRAMING MUST BE WITHIN 13 mm [1/2"] OF PLUMB AND SQUARE FROM TOP TO BOTTOM FOR PROPER OPERATION OF THE ELEVATOR THROUGHOUT THE HOISWAY.
- CLEARANCES FROM DOOR SILL TO HOISTWAY DOOR TO BE 76 mm [3"] MAXIMUM AND ELEVATOR CAR DOOR TO HOISTWAY DOOR TO BE 127 mm [5"] MAXIMUM TO COMPLY WITH CSA B44 [ASME/ANSI A17.1] CONSULT YOUR LOCAL INSPECTION AUTHORITIES FOR CODES WHICH MAY TAKE PRECEDENCE.
- HOISTWAY MUST HAVE A MINIMUM 152 mm x 152 mm [6" X 6"] LOCKABLE ACCESS HATCH (PROVIDED BY SAVARIA CONCORD) LOCATED AT THE TOP OF THE HOISTWAY. LOCATION MUST BE IN AN AREA WHICH WILL PROVIDE ACCESS TO THE ELEVATOR DRIVE ASSEMBLY BY THE MANUAL LOWERING HANDLE. MANUAL LOWERING HANDLE WILL ENABLE USER TO OVERPOWER BRAKE AND LOWER CAR WITHOUT BODILY ENTRY TO THE SHAFTWAY.
- THE PIT FLOOR SHALL BE CONSTRUCTED TO WITHSTAND AN IMPACT LOAD OF 2903 KG [6400 LBS]. REF. CSA B44 SECTION 2.11 [ASME/ANSI A17.1 SECTION 106.]
- HOISTWAY TO BE FREE OF ALL PIPES, WIRING AND OBSTRUCTIONS NOT RELATED TO THE OPERATION OF THE ELEVATOR.
- HOISTWAY CONSTRUCTION REQUIREMENTS MAY VARY FROM REGION TO REGION. DIMENSIONS GIVEN ARE MANUFACTURERS RECOMMENDED CLEARANCES. THEY REFLECT THE RUNNING AND ACCESS CLEARANCES. CONSULT YOUR LOCAL AUTHORITY TO ASSURE COMPLIANCE WITH PROVINCE AND LOCAL CODES.

DIMENSIONS WARNING

CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.

*STRUCTURAL

- A LOAD BEARING WALL IS REQUIRED TO SUSTAIN RAIL REACTIONS AS SPECIFIED IN KEY TO RAIL REACTIONS ON DRAWING. BUILDING CONTRACTOR TO CONTACT STRUCTURAL ENGINEER TO DETERMINE IF SUPPORTING WALL WILL SUSTAIN RAIL REACTIONS. FOR COMPLYING WITH LOCAL CODES.
- SUITABLE LINTELS MUST BE PROVIDED BY OWNER/AGENT.
- DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS.
- ALL FULL HEIGHT DOORS MUST BE ALIGNED WITH THE DOOR CENTERLINE SHOWN ON PLAN DETAIL. RECOMMEND INSTALLING A SOLID CORE 2032 mm [6'-8"] HIGH DOOR WITH A MINIMUM CLEAR OPENING OF 813 mm [2'-8"] WIDE.
- DOOR HANDLE AND LATCH SD LATCH SET REQUIRED FOR ALL FULL SIZE DOORS.
- SEE INSTALLATION MANUAL FOR DETAILS ON THE INTERLOCKS. INTERLOCKS ARE REQUIRED FOR ALL FULL SIZE DOORS.

*ELECTRICAL

- THE ELEVATOR CONTROLLER IS 620 mm [24.4"] WIDE X 584 mm [23"] HIGH X 170 mm [6.7"] DEEP. THE CONTROLLER IS PROVIDED BY SAVARIA CONCORD AND IS EITHER:
A : ATTACHED TO THE RAIL WALL INSIDE THE HOISTWAY BETWEEN THE "T" RAILS WITH ACCESS EITHER UNDER THE CAB OR THROUGH THE CAB OF THE ELEVATOR; OR
B : IN A REMOTE LOCATION EXTERNAL TO HOISTWAY, THAT NEEDS PROPER STRUCTURAL WALL TO SUPPORT THE CONTROLLER ON ALL 4 CORNERS HOLES POSITION ARE = 597 mm [23.5"] WIDE BY 546 mm [21.5"] HIGH.
- ARRANGE FOR A POWER SUPPLY WITHIN SIGHT OR NEXT TO THE ELEVATOR CONTROLLER PRIOR TO DELIVERY OF THE UNIT(BOTH 115 VOLT AND 208/240 VOLT). THE 208/240 VOLT CIRCUIT SHALL ORIGINATE FROM A LOCKABLE 2 POLE FUSED DISCONNECT (20 AMP RK 5 RATED FUSE) LOCATED NEAR THE ELEVATOR CONTROLLER. THE ELECTRICAL CIRCUIT PROVIDED FOR THE CONTROLLER SHALL BE 208/240 VOLT, SINGLE PHASE, DEDICATED CIRCUIT WITH NEUTRAL AND GROUND. FUSE MUST BE SELECTIVELY COORDINATED. FUSE 208/240 VOLT OR 20 AMP SERVICE FUSE 115 VOLT FOR 15 AMP SERVICE FOR CAR LIGHT. A LOCKABLE AUXILIARY 240 VOLT AND 115 VOLT DISCONNECT IS REQUIRED INSIDE THE HOISTWAY OR IN SIGHT OF THE CONTROLLER. ALL ELECTRICAL TO DISCONNECTS SHALL BE PROVIDED AND INSTALLED BY OTHERS. MUST COMPLY WITH APPLICABLE CODES.
- FIELD ELECTRICAL WIRING AND CONNECTIONS TO HALL-CALLS, PIT SWITCH AND INTERLOCKS ARE PROVIDED.
- THE ILLUMINATION SHALL BE NOT LESS THAN 200 LX (19 FC) AT THE FLOOR LEVEL IN ALL MACHINE ROOMS AND MACHINERY SPACES. THE SWITCH FOR THE LIGHT MUST BE WITHIN 457 mm [18"] OF THE HOISTWAY ACCESS. THE LIGHT MUST BE GUARDED TO PREVENT ACCIDENTAL BREAKAGE OR CONTACT WITH THE HOT BULB. THE SWITCH, LIGHT, AND GUARD ARE PROVIDED AND INSTALLED BY OTHERS. (MUST COMPLY WITH APPLICABLE CODES).
- IF A TELEPHONE CIRCUIT IS REQUIRED (OPTION FOR ELEVATOR) JACK IS PROVIDED AND INSTALLED BY OTHERS. THIS CIRCUIT SHALL BE BROUGHT TO A LOCATION NEXT TO THE CONTROLLER AND BE AVAILABLE TO CONNECT AND TEST UPON ELEVATOR INSTALLATION.

WHEN CONTROLLER EXTERNAL

- LOCATION / ACCESS- "CONTROLLER ROOM" LOCATED AT THE LOWEST LEVEL ADJACENT TO HOISTWAY, UNLESS SHOWN OTHERWISE ON THE LAYOUT DRAWINGS. FIELD ADJUSTMENT BY INSTALLER MAY BE NECESSARY TO MEET JOB SITE CONDITIONS OR REGULATIONS. ACCESS TO CONTROLLER ROOM TO BE THROUGH A SELF CLOSING LOCKABLE DOOR WHERE CODE CONSIDER IT AS A MACHINE ROOM

*WHEN APPLICABLE SLEEVES FOR ELECTRIC LINES-

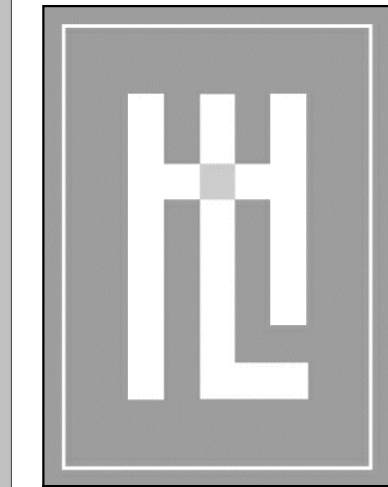
- FROM CONTROLLER ROOM TO RUNWAY AS REQUIRED.
(POSITION PER INSTALLERS INSTRUCTIONS).

*CODE

- ALTHOUGH THE ELEVATOR IS DESIGNED TO MEET CSA B44 [ANSI A17.1], LOCAL CODES MAY VARY. DEALER IS RESPONSIBLE FOR COMPLYING WITH LOCAL CODES.
NOTE A
ALL COMPONENTS WEIGHTS CAN BE FOUND IN THE PLANNING GUIDE
NOTE B
ALL INFORMATION IS SUBJECT TO CHANGE.
PLEASE REFERENCE OUR ON-LINE DRAWINGS AT
www.savariaconcord.com FOR THE MOST RECENT UPDATES

RESIDENTIAL ELEVATOR
ECLIPSE MODEL 36X48 TYPE 1L

CUSTOMER:	DATE:	THE INFORMATION DISCLOSED HEREIN IS THE EXCLUSIVE PROPERTY OF
PROJECT:	REVISION DATE:	savaria
LOCATION:	COMPLETED BY:	AND MAY NOT BE USED BY OTHERS WITHOUT PRIOR WRITTEN CONSENT



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

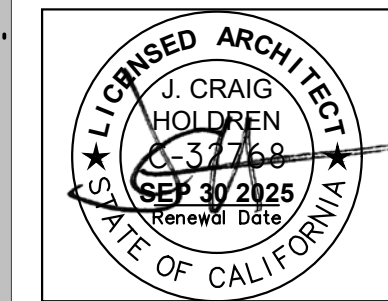
DATE: DEC. 03, 2024

SCALE:

DRAWN:

JOB NUMBER: 23.14

REVISION



MEYROSE / COMEAU RESIDENCE

SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA
A.P.N. 010-037-009

R1



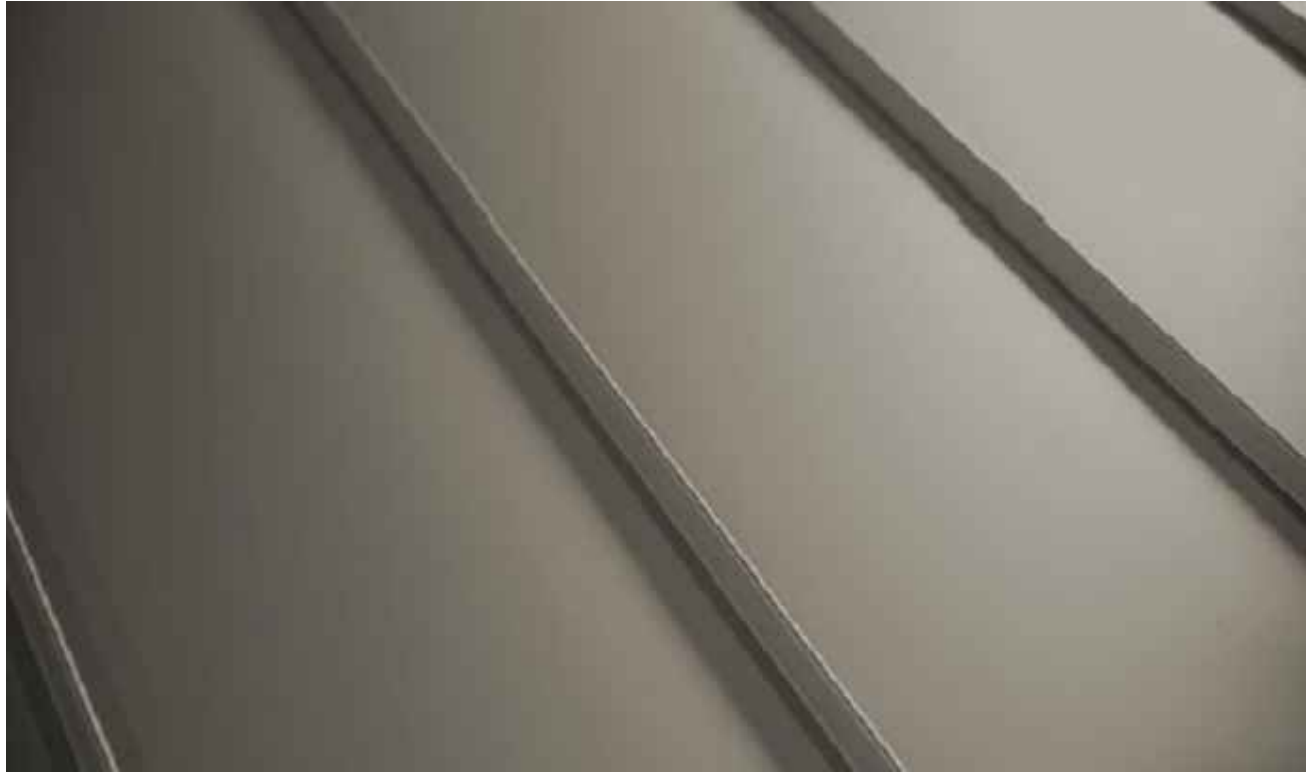
3
ALUMINUM CLAD WOOD WINDOWS/DOORS
"KOLBE" ULTRA CASEMENT , TRUFFLE



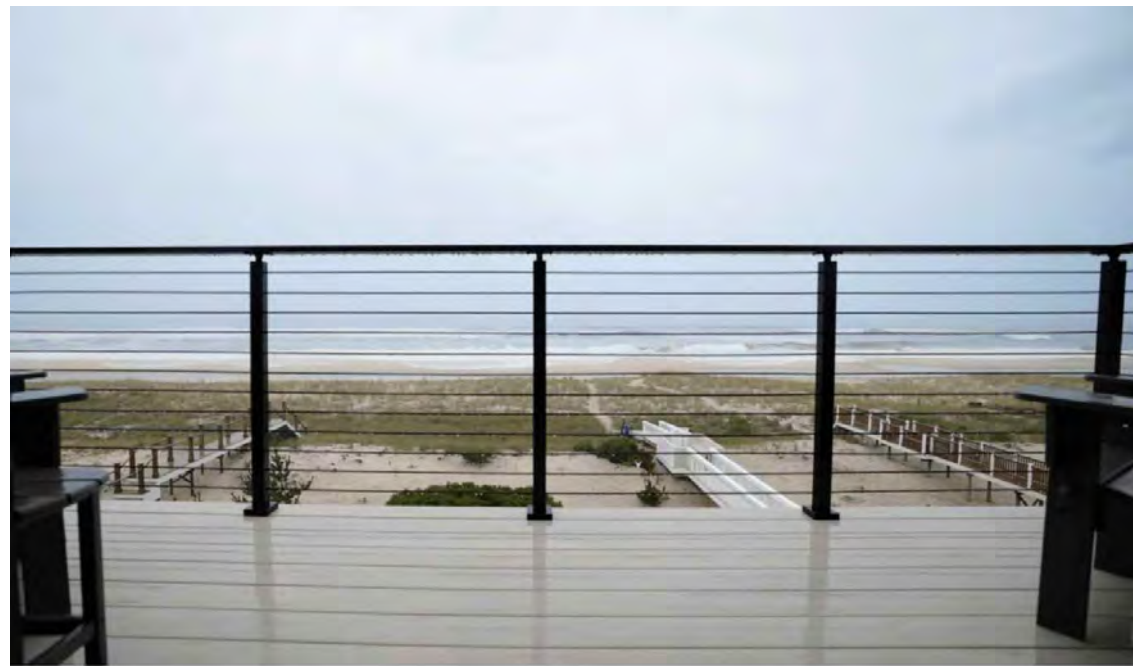
THIN VENEER STONE CLADDING
FOND DU LAC , RUSTIC



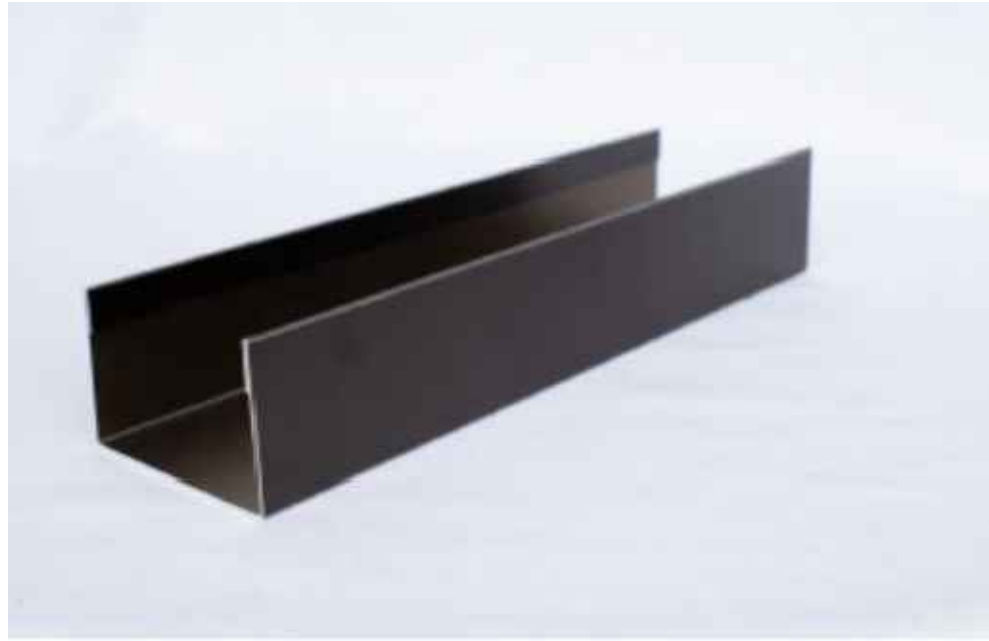
VERTICAL / HORIZONTAL WOOD SIDING:
WESTERN RED CEDAR , FINELINE
BY: "DOLLY VARDEN"



3
STANDING SEAM METAL ROOF:
" WESTERN STATE METAL ROOFING"
WESTERN LOCK STANDING SEAM ROOFING PANELS,
MATTE MEDIUM BRONZE



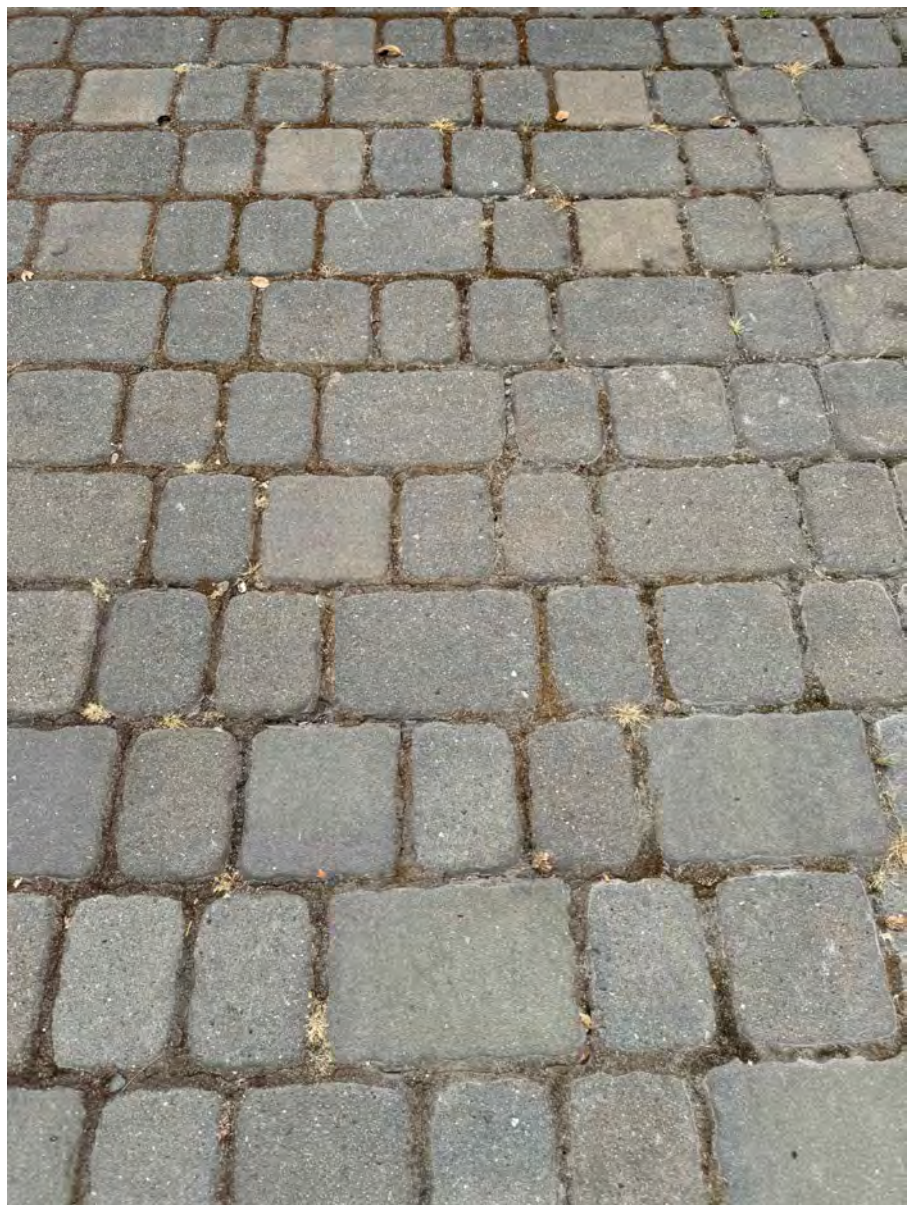
4
STEEL ROD RAILING, POWDER COATED DARK BRONZE
BY: "VIEWRAIL"



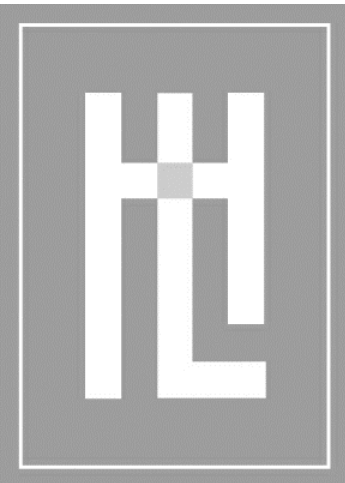
STEEL PAINTED CHANNEL



GALVANIZED BENT METAL GUTTER



EXISTING DRIVEWAY PAVERS

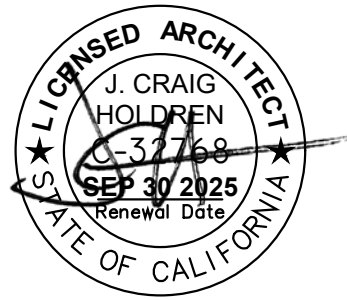


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DATE:	DEC. 03, 2024
SCALE:	1/4"=1'-0"
DRAWN:	KK
JOB NUMBER:	23.1423.14
REVISION	
	06.24.2024
2	PLANNING REV #2 JULY 25, 2024

3	PLAN CHECK MAR 6, 2025
4	PLAN CHANGE APR 2, 2025



APPROVED

06/27/2025

COMMUNITY PLANNING & BUILDING

Approved by: Evan Kort, Senior Planner

MATERIAL SAMPLES

MEYROSE / COMEAU RESIDENCE

SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA
A.P.N. 010-037-009

MAT