

#### **NOTICE OF APPROVAL**

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 25133
Owner Name: Michelle Comeau
Case Planner: Evan Kort, Senior Planner
Date Posted:
<b>Date Approved:</b> 06/27/2025
Project Location: Santa Fe 3 NE of 5th Ave
APN #: 010037009000 BLOCK/LOT: 46/ALL LOT 16
Applicant: Holdren Lietzke Architecture
<b>Project Description:</b> Approval of this Design Study (DS 25133) authorizes approval for amendments to previously approved design study (DS 24096) for alterations at an existing single-family residence with an active building permit (BP 240503) located on Santa Fe 3 NE 5th in the Single Family Residential (R-1) District. Modifications approved under this Design Study include: Remove windows (#4, #5, & #17) and relocate another (#27) at master closet to the center of the room (#27); and 2. Replace Glass Railings with Steel Rod Railings; and 3. Relocate Gas Meter; Alterations not expressly listed in this authorization are not permitted. The project shall be constructed consistent with the plans application materials dated approved by Community Planning & Building Department on June 27, 2025, unless modified by the conditions of approval contained herein.
Can this project be appealed to the Coastal Commission? Yes ☐ No ✓

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

	CONDIT	TIONS OF APPROVAL	
No.			
1.	Authorization. Approval of this Design Studiapproved design study (DS 24096) for alterapermit (BP 240503) located on Santa Fe 3 Napproved under this Design Study include:		nce with an active building
	<ol> <li>Remove windows (#4, #5, &amp; #17) and (#27); and</li> <li>Replace Glass Railings with Steel Rod F</li> <li>Relocate Gas Meter;</li> </ol>	relocate another (#27) at master closet	to the center of the room
	Alterations not expressly listed in this authoriza	ation are not permitted.	
	The project shall be constructed consistent w Planning & Building Department on June 27, 20	25, unless modified by the conditions of	approval contained herein.
2.	Codes and Ordinances. The project shall be codistrict. All adopted building and fire codes shall ordinances require design elements to be change submitted, such changes may require addition Department.	all be adhered to in preparing the workin ged, or if any other changes are requested	ng drawings. If any codes or dat the time such plans are
3.	<b>Permit Validity.</b> This approval shall be valid for permit has been issued and maintained for the		on unless an active building
4.	Indemnification. The applicant agrees, at his or its public officials, officers, employees, and assi incurred, resulting from, or in connection with legal proceeding, to attack, set aside, void, or an of any legal proceeding, and shall cooperate fu any such legal action, but participation shall no any party bring any legal action in connection California, shall be the situs and have jurisdiction	Ther sole expense, to defend, indemnify, igns, from any liability; and shall reimbur any project approvals. This includes any anul any project approval. The City shall prolly in the defense. The City may, at its so t relieve the applicant of any obligation un with this project, the Superior Court o	se the City for any expense appeal, claim, suit, or other comptly notify the applicant ble discretion, participate in under this condition. Should f the County of Monterey,
5.	Conditions of Approval. These Conditions of Approval. These Conditions of Approval Building Department prior to the issuance of a shall also be printed on a full size plan sheet in	Building Permit/Building Permit Revisio	on. These signed conditions
	prior Design Study Applications.	500:	<u> </u>
6. 7.	<b>Prior Conditions of Approval.</b> All conditions of to this approval unless expressly otherwise rapproval remains in full force and effect unless	of approval of the previous Design Study noted within these Conditions of Appro	approval(s) shall also apply
	*Acknowledgement and acceptance of	conditions of approval.	
_	Property Owner Signature	Printed Name	Date
_	Applicant Signature	Printed Name	Date

# MEYROSE - COMEAU Residence

#### **OWNERSHIP NOTES**

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

1. TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY HOLDREN + LIETZKE ARCHITECTURE HEREINAFTER REFERRED TO AS 'ARCHITECT' WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIA EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.

2. THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR, NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IS THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.

3. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION. WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.

4. IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

#### **GENERAL NOTES**

1. CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.

2. SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS. TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.

3. QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.

4. WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND

5. PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.

6. LEGAL/NOTICES/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS. ORDINANCES. BUILDING CODES. RULES. REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPT NOTIFY THE DESIGNERS IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2001 U.B.C.)

7. RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.

8. SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK AND SHALL ADHERE TO ALL FEDERAL, LOCAL, STATE & O.S.H.A. SAFETY REGULATIONS.

9. <u>INSURANCE:</u> LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS. DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.

10. INDEMNIFICATION: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CONSEQUENTIAL CLAIMS/DAMAGES/LOSSES/AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.

11. CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.

12. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNERS OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.

13. ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.

14. BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2022 EDITION OF THE CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, PLUMBING, MECHANICAL, FIRE & ENERGY CODES, AND 2020 NEC & CARMEL MUNI. CODE.

15. GRADING: NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION. ALL CUT AND/OR FILL OF SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED WITH NATIVE GRASSES OR OTHERWISE TREATED TO CONTROL EROSION.

16. SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GLUE LAMINATED BEAMS AND PREFABRICATED TRUSSES. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.

CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME

18. <u>CONSTRUCTION, BRACING & SHORING:</u> THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE

SIMILAR CONDITIONS: CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.

DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNERS PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.

TECHNICAL SPECIFICATIONS: ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

22. SUBSEQUENT CHANGES: ADDITIONAL CONSTRUCTION, LANDSCAPE IMPROVEMENTS, OR OTHER CHANGES IN THE IMPROVEMENTS THAT DIFFER FROM THE APPROVED FINAL DESIGN REVIEW DOCUMENTS, MUST BE SUBMITTED IN WRITING TO THE VIA QUINTANA ARCHITECTURAL REVIEW BOARD FOR REVIEW AND APPROVAL, PRIOR TO MAKING CHANGES. ANY CHANGES MADE WITHOUT SPECIFIC APPROVAL ARE CONSIDERED NOT APPROVED, AND SUBJECTED TO REMOVAL OR ALTERATION AS REQUIRED

23. <u>TITLE 24 ENERGY REQUIREMENTS:</u> THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.

TREES ARE TO BE PROTECTED AND PRESERVED IN OR NEAR THE CONSTRUCTION AREA.

A BOUNDARY OF ORANGE SNOW NETTING OR HIGH VISIBILITY PLASTIC SUPPORTED BY WOOD OR METAL STAKES AND/OR STRAW BALES SHOULD BE

ERECTED ALONG THE APPROXIMATE DRIP LINES OF SUCH PROTECTED TREES TO DEFINE THE CONSTRUCTION PROJECT BOUNDARY. EXCAVATION AND CONSTRUCTION ACTIVITIES AND MATERIALS SHOULD NOT INTRUDE INTO THIS DEFINED BOUNDARY AT ANY TIME AND KEPT AS MUCH AS POSSIBLE WITHIN PROPOSED STRUCTURE AND DRIVEWAY FOOTPRINTS OR OUTSIDE OF THE TREE DRIP LINES IN THE TREELESS AREA.

25. ALL MANUFACTURER'S INSTALLATION GUIDES SHALL BE PROVIDED TO INSPECTOR AT TIME OF INSPECTION.

#### FIRE DEPARTMENT NOTES

1. ADDRESS NUMBERS TO BE POSTED - BEFORE CONSTRUCTION BEGINS, TEMPORARY OR PERMANENT ADDRESS NUMBERS SHALL BE POSTED. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUEST FOR A FINAL INSPECTION. ALL ADDRESS NUMBERS (PERMANENT OF TEMPORARY) SHALL BE POSTED ON THE PROPERTY SO AS TO BE CLEARLY VISIBLE FROM THE ROAD AND SHALL BE REFLECTIVE AND MADE OF NONCOMBUSTIBLE MATERIAL. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. WHERE VISIBILITY CANNOT BE PROVIDED, A POST OR SIGN BEARING THE ADDRESS NUMBERS SHALL BE SET ADJACENT TO THE PROPERTY DRIVEWAY. ADDRESS NUMBERS POSTED SHALL BE "ARABIC" (1,2,3, ETC.) NOT "ROMAN" (I, VI, X, ETC.) OR WRITTEN OUT IN WORDS (THIRTEEN, SEVENTY-SIX, ETC.). ADDRESS NUMBERS POSTED SHALL HAVE A MINIMUM NUMBER HEIGHT OF 4 INCHES. 1/2 INCH WIDE STROKE, AND SHALL CONTRAST WITH THE BACKGROUND COLORS OF THE SIGN. NOTE: IF NUMBERS ARE NOT POSTED, BUILDING/FIRE INSPECTORS WILL NOT GRANT A FINAL INSPECTION.

2. ROOFING - CLASS "A" REQUIRED - ROOF CONSTRUCTION SHALL BE ICBO CLASS "A" BUILDUP. AS DEFINED BY UNIFORM BUILDING CODE STANDARD 15-2, AND SHALL BE TESTED IN ACCORDANCE WITH ASTM E108 OR UL 790. EFFECTIVE JANUARY 1, 1997, BY STATE LAW, AREAS WITHIN VERY HIGH FIRE HAZARD SEVERITY ZONES. ROOF CONSTRUCTION SHALL BE CLASS "A" BUILDUP. THIS REQUIREMENT SHALL APPLY TO ALL NEW CONSTRUCTION AND WHEN 50 PERCENT OR MORE OF AN EXISTING ROOF IS REPLACED WITHIN A ONE-YEAR PERIOD.

3. CLEAR VEGETATION - REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF NOT LESS THAN 100 FEET ON EACH SIDE FROM STRUCTURES OR BUILDINGS. THIS SHALL NOT APPLY TO SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVER, PROVIDED THAT THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE. LIMB TREES 6' UP FROM GROUND, REMOVE LIMBS WITHIN 10' OF CHIMNEYS. ADDITIONAL FIRE PROTECTION OR FIREBREAK APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED WHEN, BECAUSE OF EXTRA HAZARDOUS CONDITIONS, A FIREBREAK OF ONLY 100 FEET AROUND SUCH A STRUCTURE IS NOT SUFFICIENT TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY THE REVIEWING AUTHORITY AND DIRECTOR OF PLANNING AND BUILDING.

4. ACCESS DRIVEWAYS - TURNING RADIUS - FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 25 FEET FOR DRIVEWAYS WITH TURNS GREATER THAN 90 DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TURNS, AN ADDITIONAL SURFACE OF 4' SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150' IN LENGTH, BUT LESS THAN 800' IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400' INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12' WIDE AND 30' LONG WITH A MINIMUM OF 25' TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150' OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50' OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40' FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD/T IS USED, THE TOP OF THE "T" SHALL BE MINIMUM OF 60'

5. ALL BUILDINGS SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION, APPROVAL AND MAINTENANCE SHALL BE IN COMPLIANCE WITH APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION AND/OR U.B.C. STANDARDS, THE EDITIONS OF WHICH SHALL BE DETERMINED BY THE ENFORCING JURISDICTION. FOUR SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. ROUGH-IN INSPECTIONS MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION. 8. FIRE ALARM FLOW SWITCH SHALL BE WIRED TO THE KITCHEN REFRIGERATOR CIRCUIT. ANY DEVIATION REQUIRES APPROVAL FROM THE FIRE DEPARTMENT.



THESE ARE CONCEPTUAL RENDERINGS, AND SHOULD NOT BE USED AS A REFERENCE FOR CONSTRUCTION. SPECIFIC LOCATIONS AND QUALITIES OF ARCHITECTURAL ELEMENTS CAN BE FOUND ON THE PLANS, ELEVATIONS AND SUPPORTING DETAIL SHEETS THROUGHOUT THE REMAINDER OF THE DRAWING PACKAGE.

**SCOPE OF WORK:** 

#### SITE ANALYSIS

-90

1800

442

L	OT COVERAGE ALLOWED:	396 SQ. FT.		BASE FLOOR AREA AND SITE COVERAGE	SQ. FT.
	ALLOWED:	556 SQ. FT.		(ALLOWABLE):	3Q. F1.
	LOT COVERAGE PRO	POSED:		EXISTING LOT SIZE	4000
	SITE COVERAGE:	PROP. SQ. FT.		BASE FLOOR AREA	1800
	NEW PAVER DRIVEWAY	114		SITE COVERAGE	396
	GRAVEL PATH W/ STONE BOARDER	92		SITE COVERAGE WITH BONUS	556
SEMI-PERMEABLE	E. PAVER DRIVEWAY	21		FLOOR AREAS:	
PERME	GRAVEL PATIO	36		RESIDENCE	PROPOSED SQ. FT.
SEMI-	GRAVEL LANDING	15		LOT AREA	4000
SOLDIER COURSE 5 UP	UPPER FLOOR	1058			
	TOTAL	283		LOWER FLOOR	632
	FRONT ENTRY WALKWAY	136			
ABLE	STONE PATIO	58		GARAGE	225
PERMEABLE	CONCRETE RETAINING WALL	10		ADJUSTMENTS	
<u> </u>					

231

283

231

STAIRS

PERMEABLE SITE

COVERAGE

**IMPERMEABLE SITE** 

COVERAGE

TOTAL

CONTRACTOR SHALL OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE

ELEVATOR

STAIR

TOTAL FLOOR AREA

#### PROJECT DATA

REBUILD (E) SINGLE FAMILY RESIDENCE. REBUILD UDES (N) TWO-STORY RESIDENCE VITH ATTACHED GARAGE AND AN ADU

16 IN BLOCK 46 LOCATED IN THE CITY OF ARMEL-BY-THE-SEA MONTEREY COUNTY, STATE OF CALIFORNIA

TREE INFORMATION: NO TREES TO BE REMOVED

IREE INFORMATION: NO 15	REES TO BE REMOVED
PROJECT ADDRESS :	SANTA FE. 3 SE OF 5TH CARMEL-BY-THE-SEA, C
A.P.N. :	010-037-009
ZONING:	R-1
LOT SIZE :	4000 S.F (0.09 AC)
OCCUPANCY GROUP:	R-3/U
CONSTRUCTION TYPE:	V-B
SPRINKLERS:	YES
FLOOD ZONE :	MINIMAL
FIRE SEVERITY (WUI):	NONE
TREES TO BE REMOVED :	0
WATER SUPPLIER:	CAL-AM
SEWER SYSTEM:	CAWD

#### **DEFERRED ITEMS**

1. PLANS, DETAILS AND CALCULATIONS FOR ALL FIRE SPRINKLER SYSTEM DESIGNS SHALL BE SUBMITTED TO THE CITY OF CARMEL BUILDING DIVISION AND PRESIDING FIRE AUTHORITY PRIOR TO INSTALLATION.

2. A LICENSED C-16 CONTRACTOR SHALL SUBMIT FOUR SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS. AND APPROVED PRIOR TO INSTALLATION.

3. PRIOR TO COMMENCEMENT OF WORK THE LICENSED GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION AND WASTE MANAGEMENT PLAN, COMPLYING WITH CGBSC SECTION 4.408.2 FOR APPROVAL. 4. PHOTOVOLTAIC SOLAR LAYOUT TO BE SUBMITTED PRIOR TO INSTALLATION.

GENERAL NOTES FOUNDATION PLAN 1ST FLOOR FRAMING PLAN

ROOF FRAMING & CEILING FRAMING PLAN

### S-3.1 FOUNDATION DETAILS

S-4.2

COMMUNITY PETRONAING & CHURADING ALLS WSWH2 STRONG WALL FRAMING DETAILS WSWH4 STRONG WALL FRAMING DETAILS

Approved by:\_Evan Kort, Senior Planner\_ MECHANICAL

NOTES M0.1 NOTES

**PROJECT TEAM** 

SANTA FE. 3 SE OF 5TH

225 CANNERY ROW - A

MONTEREY, CA 93940

CONTACT: CRAIG HOLDREN

PH. 831.594.0880

PH. 831.649.6001

PH: 831.375.7240

**CIVIL ENGINEER:** 

501A BRUNKEN AVE.

SALINAS, CA 93901

**CONTACT: SAM GRICE** 

**STRUCTURAL ENGINEER:** 

1010 CASS STREET, D-9

CONTACT: YUTAKA UYEDA

MONTEREY ENERGY GROUP

CONTACT: DAVID KNIGHT

26465 CARMEL RANCHO BLVD., SUITE 8

MONTEREY, CA 93940

PH. 831.373.3181

**MECHANICAL:** 

CARMEL, CA 93924

MICHELLE COMEAU

PH. 831.620.0111

SANTA FE. 3 SE OF 5TH

CARMEL-BY-THE-SEA, CA 93921

CONTACT: MICHELLE COMEAU

PH: 831.372.8328

PH. 831.422.9619

CARMEL-BY-THE-SEA, CA 93921

HOLDREN + LIETZKE ARCHITECTURE

RASMUSSEN LAND SURVEYING, INC.

GRICE ENGINEERING AND GEOLOGY, INC.

2150 GARDEN ROAD, SUITE A-3

MONTEREY, CALIFORNIA 93942

**CONTACT: ROGER PETERSON** 

MICHELLE COMEAU AND GROVER MEYROSE

M0.2 M0.3 ENERGY COMPLIANCE M0.4 ENERGY COMPLIANCE M0.5 RESIDENTIAL MANDATORY MEASURES

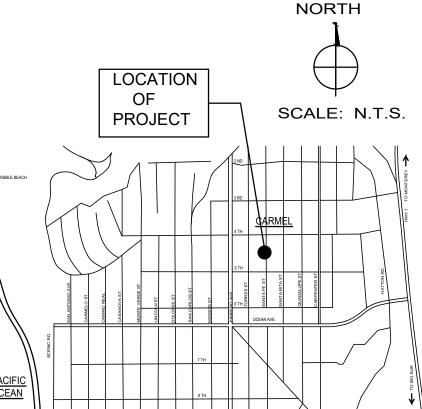
LOWER AND UPPER FLOOR RADIANT HEATING PLAN M2.2 LOWER AND UPPER FLOOR

IRRIGATION AND DRAINAGE PLAN

VENTILATION PLAN M6.1 PIPING SCHEMATICS M6.2 DETAILS SOLAR PHOTOVOLTAIC ROOF LAYOUT & PV2.1

NOTES LANDSCAPE PLANTING PLAN

# **VICINITY MAP**



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COVER SHEET

**GRADING PLAN** 

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SECTIONS

SECTIONS

DETAILS

DRAINAGE PLAN

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CONST. BEST MANAGEMENT PRACTICE

CAL-GREEN BUILDING CHECKLIST

CAL-GREEN BUILDING CHECKLIST

TITLE & SPECIFICATION SHEET

DISPERSAL STRUCTURE DETAILS

EROSION CONTROL PLAN

LOWER FLOOR PLAN

FLOOR FINISH PLAN

SECTIONS

**EXTERIOR ELEVATIONS** EXTERIOR ELEVATIONS

INTERIOR ELEVATIONS

INTERIOR ELEVATIONS

INTERIOR ELEVATIONS

**INTERIOR ELEVATIONS** 

WALL SECTIONS

**ELECTRICAL PLANS** 

ELEVATOR DETAILS MATERIAL SAMPLES

**DETAILS** 

**DETAILS** 

**DETAILS** 

**DETAILS** 

STRUCTURAL:

WATERPROOFING DETAILS

**EROSION CONTROL DETAILS** 

CONSTRUCTION MANAGEMENT

UPPER FLOOR AND ROOF PLANS

DOOR & WINDOW SCHEDULES

ARCHITECTURAL:

1 0F 1

C-1.0

C-1.1

C-2.0

C-2.1

C-2.2

C-3.0

C-5.1

C-5.2

A8.2

A8.3

A8.5

ARCHITECTURAL:

ARCHITECTURE 225 CANNERY ROW - SUITE A

HOLDREN+LIETZKE

MONTEREY, CA 93940

Ph: 831.649.6001 Fax: 831.649.6003 www.hl-arc.com

DEC. 03, 2024 DATE: SCALE:

23.14

DRAWN: JOB NUMBER:

**REVISION** PLAN CHECK JAN 15, 2025

PLAN CHECK

 $\sqrt{3}$  MAR 6, 2025



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- installation details for erosion and sediment control BMPs, material staging areas, and stabilized access. SEE SHT. C-1.1

  32. Erosion Control in the Right-of-Way. Prior to issuance of a building permit, the Applicant
- 2. **Erosion Control in the Right-of-Way.** Prior to issuance of a building permit, the Applicant shall identify on the landscape plan any natural slope within the right-of-way immediately adjacent to the property where parking is not practical. Jute netting and a drought-tolerant ground cover to manage post-construction erosion control shall be installed. Plants installed within the drip line of trees shall be selected from the City's "List of Compatible Plants Under and Around Native Trees" in the Forest Management Plan. The Public Works Director, or their designee, may waive this requirement.

  Special Conditions
- 33. **Pre-Construction Meeting.** Prior to the issuance of a building permit, the contractor overseeing the project shall schedule a pre-construction meeting with the <u>Project Planner</u> for the purpose of reviewing the conditions of approval and expectations during construction.
- 34. Conditions of Approval Acknowledgement. Prior to the issuance of a building permit revision, a completed Conditions of Approval Acknowledgment form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.
- 35. **Copper Gutters & Downspouts Not Permitted.** Prior to the issuance of a building permit, the applicant shall submit a revised plan for review and approval by the Planning Division, identifying an alternative material for the gutters and downspouts. **SEE DET. A/A8.1**
- 36. Construction Management Plan. Prior to the issuance of a building permit, the Applicant shall submit a Construction Management Plan for review and approval by the Community Planning & Building Director. SEE SHT. C-5.2
- Acknowledgment and acceptance of conditions of approval:

Applicant Signature	Printed Name	Date
DocuSigned by: Michelle Comean	Michelle Comeau	2/21/2025
Property Owner Signature	Printed Name	 Date
Crown Murose	Grover Meyrose	2/21/2025
Prope <del>rty DWM 2</del> Property	Printed Name	Date

Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.

Driveway. Prior to the issuance of a building permit, the Applicant shall clearly identify the driveway material and asphalt connection to the paved street edge on the construction drawings. The driveway material may be extended beyond the property line into the public right-of-way to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. If the driveway material is proposed to be sand set, a dimensioned construction detail showing the base material shall be included in the construction drawings. SEE SHT. A1.0

18. **Hazardous Materials Waste Survey.** Prior to the issuance of a demolition permit, the Applicant shall submit a hazardous materials waste survey to the Building Division in conformance with the Monterey Bay Unified Air Pollution Control District.

- 19. Cultural Resources. Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98. SEE SHT. A1.0
- Truck Haul Route. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building Director, in consultation with the Public Works and Public Safety Departments, a truck-haul route and any necessary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures. NOTED: SEE SHT. A1.0 & A2.0
- 21. **USA North 811.** Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information) **NOTED: SEE SHT. A1.0 & A2.0**
- 22. Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division. SEE END OF THIS SHEET.

Landscape Conditions

23. Landscape Plan Required. Prior to the issuance of a building permit, the Applicant shall submit a landscape plan for review and approval by the Community Planning & Building Department and the City Forester. The landscape plan shall be included in the construction drawings and will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including, but not limited to, the following:

1) All new landscaping shall be 75% drought-tolerant;
2) Landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and
3) The project shall meet the City's recommended tree density standards unless otherwise approved by the City based on on-site conditions.

The landscape plan shall identify the location where new trees will be planted when new trees are required to be planted by the City code, the Forest and Beach Commission, or the Planning Commission. SEE SHT'S L-1, L-2, L-3

- 24. Tree Planting Requirements. Prior to issuance of a building permit, the Applicant shall identify on the landscape plan the location, size, and species of required tree plantings. All new trees shall be installed prior to the final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester or Forest &
- 25. **Tree Removal Prohibited.** Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission. **SEE SHT. A1.0**
- 26. **Tree Protection Measures.** Requirements for tree preservation shall adhere to the
- following tree protection measures on the construction site. SEE SHT. A1.0
  Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree
- Per Municipal Code Chapter 17.48.110, no material may be stored within the
- dripline of a protected tree, including the drip lines of trees on neighboring parcels.
   Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6
- inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.
  Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being

another method that does not sever roots.

- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.
- 77. Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit. SEE SHT. A1.0
- 28. **Drainage Plan.** Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property; infiltration features must be sized appropriately and located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas. **SEE SHT. C-1.1**

**Environmental Compliance Conditions** 

- new impervious areas and semi-pervious areas. SEE SH1. C-1.1
   BMP Tracking Form. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.
- Semi-Permeable Surfaces. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments cross-section details for all semi-permeable surfaces. SEE SHT. A1.0
   Erosion and Sediment Control Plan. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public

| Works Departments an erosion and sediment control plan that includes locations and

CONDITIONS OF APPROVAL

Standard Conditions

Authorization. This approval of Design Study application DS 24096 (Comeau & Meyrose) authorizes the demolition of an existing one-story single-family residence, detached garage, and attached workshop and the construction of a 1,800-square-foot two-story single-family residence inclusive of a 225-square-foot attached garage and associated site improvements located on Santa Fe Street 3 northeast of 5th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Holdren + Lietzke Architecture approved by the Planning Commission on September 11, 2024, and stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.

- 2. Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission. SEE SHT. A0.0
- 3. Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for 12 months from the date of action. The project must be implemented during this time, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
- Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.
- The footing locations are in conformance with the approved plans prior to footing/foundation inspection;
  - The roof heights and plate heights of each building are in conformance with the approved plans prior to the roof sheathing inspection. Roofs and plates shall not exceed the elevation points as identified in the approved project plans, and the roofs include an appropriate allowance for roofing material thickness.

Setback and Height Certifications. A State licensed surveyor shall survey and certify the

- Written certifications prepared, sealed, and signed by the surveyor shall be provided prior to footing/foundation inspection and roof sheathing inspection. In the event that multiple footing/foundation pours are required, a survey letter shall be submitted for each separate section.

  NOTED: SEE SHT, A1.0 & A2.0
- 6. Service Laterals. Prior to final inspection, all electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000, or the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020). NOTED: SEE SHT. A1.0
- 7. **Utility Meter Locations.** The placement of all utility meters shall consistent with the locations identified in the approved plans. Changes to the location of any utility meter location shall require written approval of the Community Planning and Building Department prior to the change of the location.
- 8. **Fire Sprinklers Residential.** Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135). **DEFFERED ITEM**, **SEE SHT**. **A0.0**
- 9. **Modifications.** The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
- 10. Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
  - Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.
- When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention.

  Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.
- 12. **Exterior Lighting.** Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing. Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.

  SEE SHT. E1.0
- 13. **Stone Facades (including chimneys).** Prior to the issuance of a building permit, the Applicant shall clearly identify in the construction drawings the masonry pattern for all stonework. Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or their designee. **SEE SHT. A1.0**
- 4. Windows & Doors. Prior to the issuance of a building permit, the Applicant shall include the manufacturer's specifications for windows and doors in the construction drawings. Windows that have been approved with divided lights shall appear to be true divided lights, including the use of internal and external mullions and muntins on insulated windows. Any window pane dividers, which are snap-in or otherwise superficially applied,
- are not permitted. The painted finish shall be matte or low gloss. SEE SHT. A3.0, A3 1,A4.1

  15. Roofing. Prior to the issuance of a building permit, the Applicant shall include the manufacturer's specifications for the roofing material in the construction drawings. The material shall convey color and texture similar to that of wood shingles SEE SHT. A3.0, A3.1
- Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of

PLANNING COMMISSION RESOLUTION NO. 2024-XX-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA APPROVING A FINAL DESIGN STUDY AND ASSOCIATED COASTAL DEVELOPMENT PERMIT FOR THE DEMOLITION OF AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCTION OF A NEW TWO-STORY SINGLE-FAMILY RESIDENCE LOCATED ON SANTA FE STREET 3 NORTHEAST OF 5<sup>TH</sup> AVENUE APN 010-037-009-000

WHEREAS, on April 11, 2024, Holdren + Lietzke Architecture ("Applicant") submitted an application on behalf of MEYROSE GROVER D & MICHELLE COMEAU TRS ("Owners") requesting approval of Track 2 Design Study application DS 24096 (Comeau & Meyrose) described herein as ("Application"); and

WHEREAS, the Application has been submitted for a 4,000-square-foot lot located on Santa Fe Street 3 northeast of 5<sup>th</sup> Avenue in the Single-Family Residential (R-1) District (Block 46, Lot 16);

WHEREAS, the Applicant proposes to demolish an existing one-story single-family residence and detached accessory building and construct a 1,800-square-foot two-story residence inclusive of a 225-square-foot attached garage and associated site improvements; and

WHEREAS, the project also includes a 442-square-foot attached accessory dwelling unit that is exempt from discretionary review; and

WHEREAS, in accordance with Carmel Municipal Code (CMC) Section 17.58.040.B (Residential Track Two Design Study), the construction of new dwellings, rebuilds, and substantial alterations requires approval of a Residential Track Two Design Study by the Planning Commission; and

WHEREAS, CMC Section 17.58.040.B, Step Two: Design Concept Review, requires the Planning Commission to review the design concept plans at a public hearing prior to consideration of the final details review for project approval; and

WHEREAS, on July 10, 2024, the Planning Commission adopted Resolution 2024-058-PC, accepting the Design Concept; and

WHEREAS, a Coastal Development Permit is required in accordance with CMC 17.52.090 (Coastal Development Permit Required); and

WHEREAS, on August 30, 2024, a notice of public hearing was published in the Carmel Pine Cone for the September 11, 2024, Planning Commission meeting in compliance with State law

(California Government Code 65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before September 1, 2024, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before September 6, 2024, the meeting agenda was posted in three locations in compliance with State law, indicating the date and time of the public hearing; and

WHEREAS, on September 11, 2024, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the Application, including, without limitation, the information provided to the Planning Commission by City staff and through public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Commission at the hearing, including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the California Environme (Can or ia P bly Re purces C de §§ 21000, et seq., "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, et seq., the "CEQA Guidelines") and City Environmenta (15) (2025) (7.60) require that certain projects be reviewed for environmental inparts and that winning a Boumptake prepared; and

WHEREAS, the Planning Composition of Special Structures, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the **Final Design Study**:

#### FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL

For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," the staff report discusses the issues to facilitate the Planning Commission's decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues

CMC 17.64.080.A, Final Details Phase Approval	YES	N
1. The proposed architectural style and detailing are simple and restrained in	<b>✓</b>	
character, consistent and well-integrated throughout the building, and		
complementary to the neighborhood without appearing monotonous or repetitive		
in context with designs on nearby sites.		
2. The proposed exterior materials and their application rely on natural materials,	<b>√</b>	
and the overall design will add to the variety and diversity along the streetscape.		
3. Design elements such as stonework, skylights, windows, doors, chimneys, and	<b>√</b>	
garages are consistent with the adopted design guidelines and will complement		
the character of the structure and the neighborhood.		
4. Proposed landscaping, paving treatments, fences, and walls are carefully		
designed to complement the urbanized forest, the approved site design, adjacent		
sites, and the public right-of-way. The design will reinforce a sense of visual		
continuity along the street.		

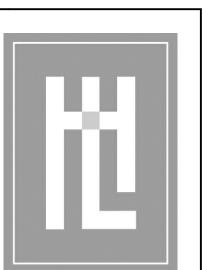
**NOW, THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the **Coastal Development Permit**:

#### FINDINGS REQUIRED FOR COASTAL DEVELOPMENT PERMITS

For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," the staff report discusses the issues to facilitate the Planning Commission's decision-making. Findings checked "yes" may or may not be discussed in the report depending on the

С	CMC 17.64.010.B, Coastal Development Permits	YES	NC
- 1	L. The project, as described in the application and accompanying materials, as	✓	
n	modified by any conditions of approval, conforms with the certified City of		
C	Carmel-by-the-Sea Local Coastal Program.		
2	2. If the project is located between the first public road and the sea, the project	✓	
С	conforms with the public access and recreation policies of Chapter 3 of the		
C	Coastal Act of 1976 (commencing with Sections <u>30200</u> of the Public Resources		
	Code).		

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Carmel-by-the-Sea does hereby **APPROVE** Design Study application DS 24096 (Comeau & Meyrose) and associated Coastal Development Permit for the demolition of an existing one-story residence and construction of a 1,800-square-foot two-story residence inclusive of a 225-square-foot attached garage and associated site improvements located on Santa Fe Street 3 northeast of 5<sup>th</sup> Avenue (APN 010-037-009-000), subject to the following Conditions of Approval:



HOLDREN+LIETZKE ARCHITECTURE

225 CANNERY ROW - SUITE A MONTEREY, CA 93940

Ph: 831.649.6001
Fax: 831.649.6003

www.hl-arc.com

DATE:	DEC. 03, 2024
SCALE:	
DRAWN:	
JOB NUMBER:	23.14

PLAN CHECK FEB 24, 2025

REVISION



RESIDENCE

SE / COMEAU

3 NE OF 5TH AVE
HE-SEA, CA

OF

CONDITIONS

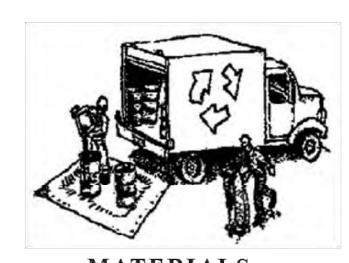
MEYROSE / CARNTA FE ST. 3 NE OF 5

A0 1



# CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



**MATERIALS** & WASTE MANAGEMENT

#### Non-Hazardous Materials

- ☐ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ☐ Use (but don't overuse) reclaimed water for dust control.

#### **Hazardous Materials**

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

#### **Construction Entrances and** Perimeter

☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

#### **Waste Management**

- ☐ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).



**EOUIPMENT** MANAGEMENT & SPILL CONTROL

#### Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and
- □ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ☐ Inlet protection is the last line of spill defense. Drains/ inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

#### **Spill Prevention and Control**

- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ☐ Inspect vehicles and equipmen frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management Districts' guidelines for accepting hazardous waste materials).
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.

## **EARTHWORK &**

CONTAMINATED SOILS

#### **Erosion Control**

- ☐ Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

#### **Sediment Control**

- □ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☐ Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.
- ☐ If any of the following conditions are observed. test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
- Unusual soil conditions. discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash.



#### PAVING/ASPHALT WORK

- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- □ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt or concrete pavement.

#### Sawcutting & Asphalt/Concrete Removal

- ☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.



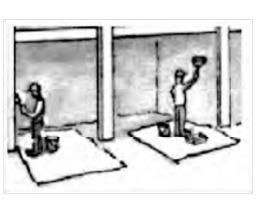
#### CONCRETE, GROUT & **MORTAR APPLICATION**

- ☐ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ☐ Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



#### LANDSCAPE **MATERIALS**

- ☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



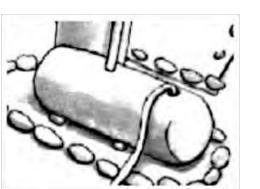
PAINTING & PAINT REMOVAL

#### Painting cleanup

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

#### Paint Removal

- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



#### **DEWATERING**

- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ☐ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in

## SAID PRIM THE

☐ In areas 06/27/2025 COMMUNITIVAPIDANISHI GERSBUILDING required prior to reuse or Approved by: Evan Kort Senior Planner\_

Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled offsite for proper disposal.



\* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



**HOLDREN+LIETZKE** ARCHITECTURE

225 CANNERY ROW - SUITE A MONTEREY, CA 93940 Ph: 831.649.6001 Fax: 831.649.6003

DEC. 03, 2024

23.14

DATE:



**PRACTICES** DENCE RESII MANAGEMENT EAU BEST

CONSTRUCTION

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**CHAPTER 3** 

DSA-SS

OSHPD

Low Rise

High Rise

208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in

location shall be permanently and visibly marked as "EV CAPABLE".

**4.106.4.1.1 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

overcurrent protective device.

accordance with the California Electrical Code.

CHAPTER 4

4.102.1 DEFINITIONS

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023) installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. **GREEN BUILDING** When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the 4.106.4.2.4 Identification requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest **SECTION 301 GENERAL** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. space shall count as at least one standard automobile parking space only for the purpose of complying with any 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 4.106.4.2.5 Electric Vehicle Ready Space Signage. the application checklists contained in this code. Voluntary green building measures are also included in the Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans application checklists and may be included in the design and construction of structures covered by this code, Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or specific area of the addition or alteration. **1.EV Capable.** Ten (10) percent of the total number of parking spaces on a building site, provided for all types altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical facilities or the addition of new parking facilities serving existing multifamily buildings. See Section system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all 4.106.4.3 for application. EVs at all required EV spaces at a minimum of 40 amperes. 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved lighting fixtures are not considered alterations for the purpose of this section. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. **DIVISION 4.2 ENERGY EFFICIENCY** Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate 1. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1. et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and **4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy other important enactment dates. Commission will continue to adopt mandatory standards. 2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of EV chargers installed. DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential 4.303 INDOOR WATER USE buildings, or both. Individual sections will be designated by banners to indicate where the section applies 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating high-rise buildings, no banner will be used. urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving **SECTION 302 MIXED OCCUPANCY BUILDINGS** EV chargers are installed for use. plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final **302.1 MIXED OCCUPANCY BUILDINGS.** In mixed occupancy buildings, each portion of a building completion, certificate of occupancy, or final permit approval by the local building department. See Civil 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power shall comply with the specific green building measures applicable to each specific occupancy. Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per buildings affected and other important enactment dates. dwelling unit when more than one parking space is provided for use by a single dwelling unit. 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. **4.303.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per Exception: Areas of parking facilities served by parking lifts. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Specification for Tank-type Toilets. 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more Chapter 4 and Appendix A4, as applicable. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume DIVISION 4.1 PLANNING AND DESIGN The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to of two reduced flushes and one full flush. **ABBREVIATION DEFINITIONS: 4.303.1.2 Urinals.** The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types Department of Housing and Community Development The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 California Building Standards Commission EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical Division of the State Architect, Structural Safety 4.303.1.3 Showerheads. system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all Office of Statewide Health Planning and Development EVs at all required EV spaces at a minimum of 40 amperes. **4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved Additions and Alterations WaterSense Specification for Showerheads. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. **4.303.1.3.2 Multiple showerheads serving one shower**. When a shower is served by more than one Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only reduced by a number equal to the number of EV chargers installed over the five (5) percent required. RESIDENTIAL MANDATORY MEASURES allow one shower outlet to be in operation at a time. **Note**: A hand-held shower shall be considered a showerhead. SECTION 4.102 DEFINITIONS a. Construction documents shall show locations of future EV spaces. 4.303.1.4 Faucets. The following terms are defined in Chapter 2 (and are included here for reference) b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall EV chargers are installed for use. not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall **FRENCH DRAIN.** A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar **2.EV Ready.** Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power pervious material used to collect or channel drainage or runoff water Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per **4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas.** The maximum flow rate of lavatory WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials dwelling unit when more than one parking space is provided for use by a single dwelling unit. faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also buildings shall not exceed 0.5 gallons per minute at 60 psi. Exception: Areas of parking facilities served by parking lifts. used for perimeter and inlet controls. 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver 4.106 SITE DEVELOPMENT **3.EV Chargers.** Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. more than 0.2 gallons per cycle. 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation Where common use parking is provided, at least one EV charger shall be located in the common use parking and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, area and shall be available for use by all residents or guests. **4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons management of storm water drainage and erosion controls shall comply with this section. per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less an automatic load management system (ALMS) may be used to reduce the maximum required electrical minute at 60 psi. than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers or more, shall manage storm water drainage during construction. In order to manage storm water drainage shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) **Note**: Where complying faucets are unavailable, aerators or other means may be used to achieve during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical property, prevent erosion and retain soil runoff on the site. capacity to the required EV capable spaces. 4.303.1.4.5 Pre-rinse spray valves. 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. When installed, shall meet the requirements in the *California Code of Regulations*, Title 20 (Appliance 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1. disposal method, water shall be filtered by use of a barrier system, wattle or other method approved (d)(7) and shall be equipped with an integral automatic shutoff. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels 3. Compliance with a lawfully enacted storm water management ordinance. FOR REFERENCE ONLY: The following table and code section have been reprinted from the California shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. 4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options: (Website: https://www.waterboards.ca.gov/water\_issues/programs/stormwater/construction.html) TABLE H-2 **4.106.3 GRADING AND PAVING.** Construction plans shall indicate how the site grading or drainage system will 1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY water include, but are not limited to, the following: VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 2. The charging space shall be located on an accessible route, as defined in the California Building Code, 2. Water collection and disposal systems PRODUCT CLASS MAXIMUM FLOW RATE (gpm) Exception: Electric vehicle charging stations designed and constructed in compliance with the California 3. French drains [spray force in ounce force (ozf)] 4. Water retention gardens Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 5. Other water measures which keep surface water away from buildings and aid in groundwater Product Class 1 (≤ 5.0 ozf) 1.00 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. **Exception**: Additions and alterations not altering the drainage path. Product Class 2 (> 5.0 ozf and  $\leq$  8.0 ozf) The charging spaces shall be designed to comply with the following: 1.20 Product Class 3 (> 8.0 ozf) **4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections 1. The minimum length of each EV space shall be 18 feet (5486 mm). 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 2. The minimum width of each EV space shall be 9 feet (2743 mm). 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is infrastructure are not feasible based upon one or more of the following conditions: Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate California Plumbing Code. a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional percent slope) in any direction. **4.303.3 Standards for plumbing fixtures and fittings.** Plumbing fixtures and fittings shall be installed in local utility infrastructure design requirements, directly related to the implementation of Section accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 4.106.4.2.2.1.3 Accessible EV spaces. 4.106.4, may adversely impact the construction cost of the project. 1701.1 of the California Plumbing Code. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall parking facilities. comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway 4.106.4.2.3 EV space requirements. TABLE - MAXIMUM FIXTURE WATER USE shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main 1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the FIXTURE TYPE **FLOW RATE** proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere proximity to the location or the proposed location of the EV space. Construction documents shall identify the

> raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is

installed in close proximity to the location or the proposed location of the EV space, at the time of original

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the

location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide

information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and

electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required

raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

construction in accordance with the California Electrical Code.

concealed areas and spaces shall be installed at the time of original construction.

SHOWER HEADS (RESIDENTIAL)

LAVATORY FAUCETS (RESIDENTIAL)

USE AREAS

KITCHEN FAUCETS

METERING FAUCETS

WATER CLOSET

URINALS

LAVATORY FAUCETS IN COMMON & PUBLIC

1.8 GMP @ 80 PSI

MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20

0.5 GPM @ 60 PSI

1.8 GPM @ 60 PSI

0.2 GAL/CYCLE

1.28 GAL/FLUSH

0.125 GAL/FLUSH

	4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
	NOTES:
	<ol> <li>The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/</li> </ol>
	DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
	4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in
	sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
	4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.
	Exceptions:  1. Excavated soil and land-clearing debris.
	<ol> <li>Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.</li> </ol>
	<ol><li>The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.</li></ol>
	4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.
	<ol> <li>Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.</li> <li>Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).</li> </ol>
	<ol> <li>Identify diversion facilities where the construction and demolition waste material collected will be taken.</li> <li>Identify construction methods employed to reduce the amount of construction and demolition waste</li> </ol>
	generated.  5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
	4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and
	demolition waste material diverted from the landfill complies with Section 4.408.1.  Note: The owner or contractor may make the determination if the construction and demolition waste
	materials will be diverted by a waste management company.  4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined
	weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1
	4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1
	4.408.5 DOCUMENTATION. Documentation shall be provided in the property agency which derion trates compliance with Section 4.408.2, items 1 through 5, Section 3.408.3 or Section 4.408.1
	Notes: 06/27/2025
	<ol> <li>Sample forms found in "A Guide GOMCAITAIN To Teen Building Gards Building (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.</li> <li>Mixed construction and demolight period and period construction and demolight period construction and demolight period construction.</li> <li>Department of Resources Recycling and Recovery (CalRecycle).</li> </ol>
	4.410 BUILDING MAINTENANCE AND OPERATION
	4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:
	<ol> <li>Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.</li> <li>Operation and maintenance instructions for the following:</li> </ol>
	<ul> <li>a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.</li> <li>b. Roof and yard drainage, including gutters and downspouts.</li> </ul>
	<ul><li>c. Space conditioning systems, including condensers and air filters.</li><li>d. Landscape irrigation systems.</li><li>e. Water reuse systems.</li></ul>
	<ol> <li>Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.</li> <li>Public transportation and/or carpool options available in the area.</li> </ol>
	<ul><li>5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.</li><li>6. Information about water-conserving landscape and irrigation design and controllers which conserve</li></ul>
	<ul><li>water.</li><li>Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.</li></ul>
	<ol> <li>Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.</li> <li>Information about state solar energy and incentive programs available.</li> </ol>
	<ol> <li>A copy of all special inspections verifications required by the enforcing agency or this code.</li> <li>Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.</li> </ol>
	<ul><li>12. Information and/or drawings identifying the location of grab bar reinforcements.</li><li>4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a</li></ul>
	building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.
	<b>Exception:</b> Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.
	DIVISION 4.5 ENVIRONMENTAL QUALITY
	SECTION 4.501 GENERAL 4.501.1 Scope
	The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.
	SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)
	<b>AGRIFIBER PRODUCTS.</b> Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.
- [	COMPOSITE WOOD PROPILETS. Commonity wood products include herdwood physical porticle heard and

**COMPOSITE WOOD PRODUCTS.** Composite wood products include hardwood plywood, particleboard and

structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated

wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

**DIRECT-VENT APPLIANCE.** A fuel-burning appliance with a sealed combustion system that draws all air for

combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood,

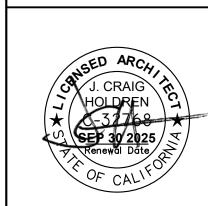


RESPONSIBLE PARTY (ie: ARCHITECT. ENGINEER

**HOLDREN+LIETZKE** ARCHITECTURE

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DATE:	DEC. 03, 2024
SCALE:	
DRAWN:	
JOB NUMBER:	23.14
REVISION	



MO O 2

# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

VOC LIMIT

50

100

150

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)



MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O³/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere

Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

**VOC.** A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

**4.503.1 GENERAL**. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL

product (excluding container and packaging).

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

- 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
- 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

**4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

- Manufacturer's product specification. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIN	·
(Less Water and Less Exempt Compounds in Gran	T .
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR **QUALITY MANAGEMENT DISTRICT RULE 1168** 

Less Water and Less Exempt Compounds in Gr	ams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

ARCHITECTURAL COATINGS2,3

NONFLAT-HIGH GLOSS COATINGS

COMPOUNDS

FLAT COATINGS

COATING CATEGORY

NON-FLAT COATINGS

SPECIALTY COATINGS

ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS <sub>1</sub>				
RTS PER MILLION				
CURRENT LIMIT				
0.05				
0.05				
0.09				
0.11				
0.13				

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM

THICKNESS OF 5/16" (8 MM).

**DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)** 

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers." Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

**4.504.5 COMPOSITE WOOD PRODUCTS.** Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seg.). by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.

Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see

CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA

0121, CSA 0151, CSA 0153 and CSA 0325 standards. 5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

**4.505.2 CONCRETE SLAB FOUNDATIONS.** Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding. shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.

moisture content. Moisture content shall be verified in compliance with the following:

- 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent
- 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements
- found in Section 101.8 of this code 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
- 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST **4.506.1 Bathroom exhaust fans.** Each bathroom shall be mechanically ventilated and shall comply with the

- 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

- 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or
- 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
- 2. Duct systems are sized according to ANSI/ACCA 1 Manual D 2014 (Residential Duct Systems),
- ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

**Exception:** Use of alternate design temperatures necessary to ensure the system functions are

#### **CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS**

#### **702 QUALIFICATIONS**

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.

Examples of acceptable HVAC training and certification programs include but are not limited to the following:

RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER,

- 1. State certified apprenticeship programs.
- 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

**702.2 SPECIAL INSPECTION [HCD].** When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be

- considered by the enforcing agency when evaluating the qualifications of a special inspector: 1. Certification by a national or regional green building program or standard publisher.
- 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- 3. Successful completion of a third party apprentice training program in the appropriate trade.
- 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the

project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate

homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

shall be closely related to the primary job function, as determined by the local agency.

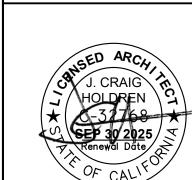
#### **703 VERIFICATIONS**

**703.1 DOCUMENTATION.** Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific

- documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in
- the appropriate section or identified applicable checklist



Approved by: Evan Kort, Senior Planner



HOLDREN+LIETZKE

**ARCHITECTURE** 

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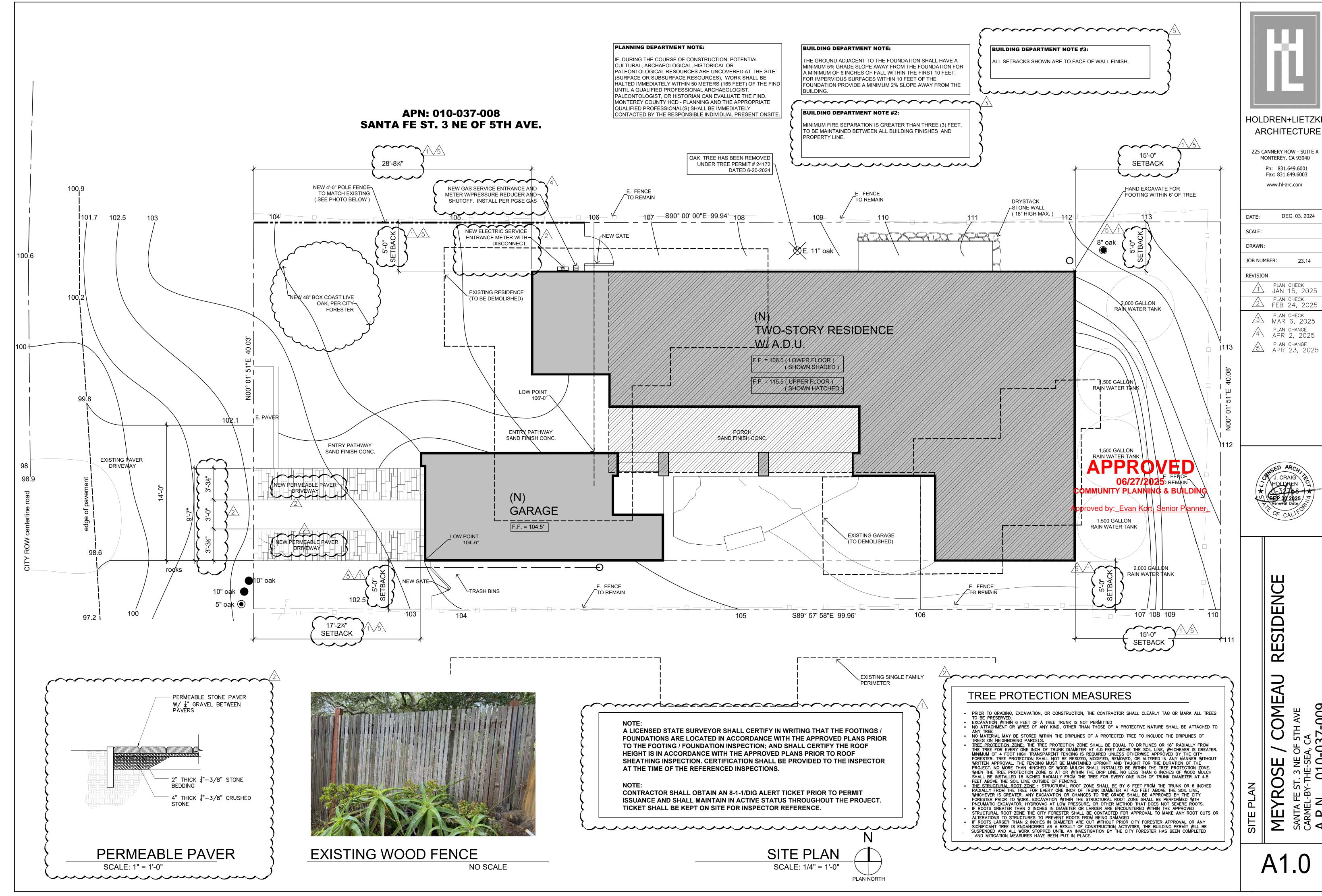
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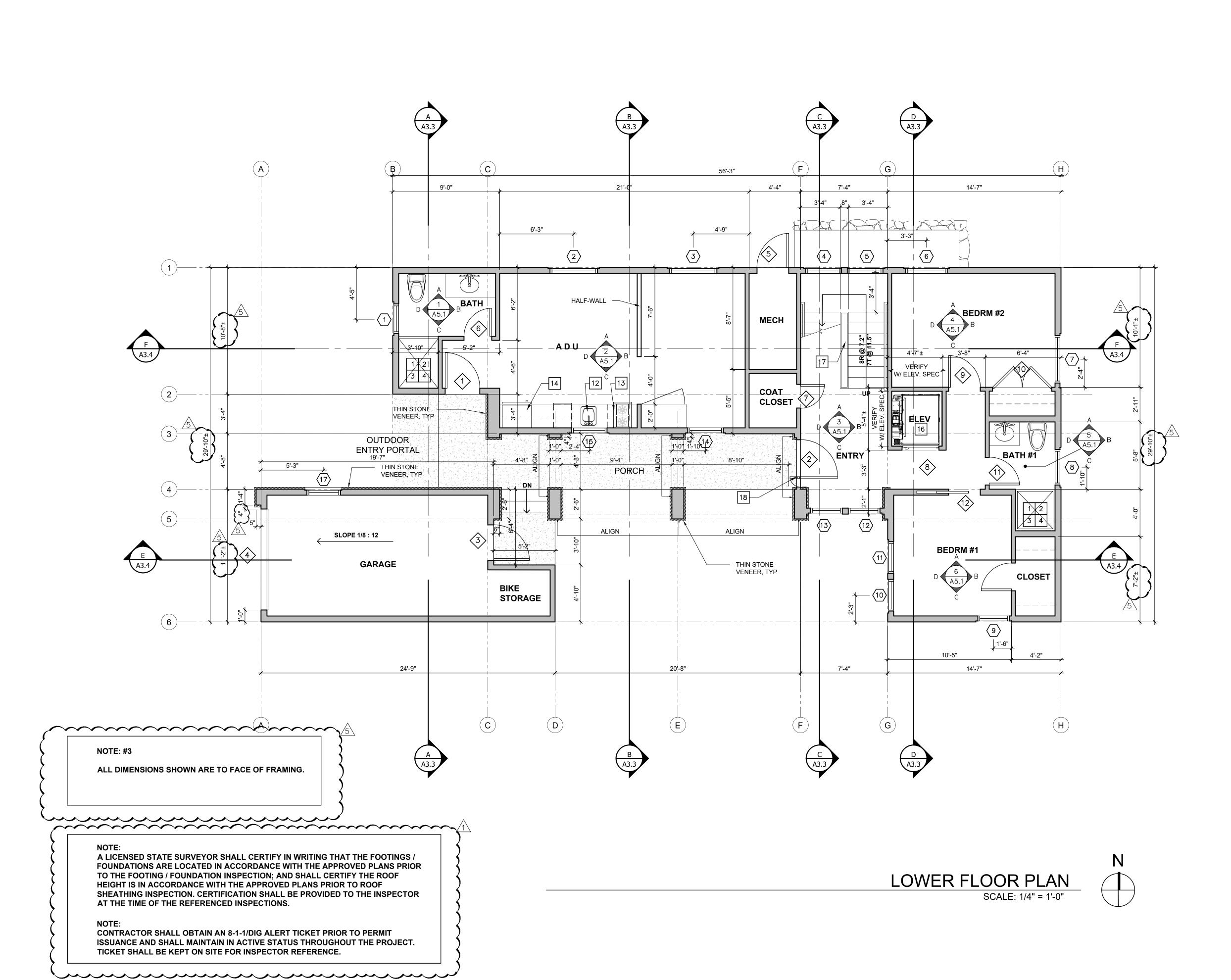
REVISION

DEC. 03, 2024

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#### **KEY NOTES:**

- INSTALL SCHLUTER 'KERDI-LINE' (www.kerdi-line.com OR APPROVED EQUAL) LINEAR FLOOR DRAIN @ SHOWER, SLOPE SHWR, FLOOR TO DRAIN
- SHOWER PAN SLOPE TO DRAIN SEE DET. 14/A8.0.
- TILE TO MIN. 72" A.F.F. IN ALL SHOWERS USE DENSSHIELD TILE BACKER BY: GEORGIA PACIFIC @ ALL TILE SURFACES
- TEMPERED GLASS SHOWER ENCLOSURE —
  PROVIDE CONTINUOUS RIGID ANCHORING AT TOP & BOTTOM
- | 5 | VENT HOOD THROUGH ROOF, SEE MECHANICAL
- 6 RECESS WALL FOR PLUMBING & VENT REQMT'S.
- 7 CLOSET SYSTEM BY OTHERS
- 8 CABINET W/ WATERPROOF COUNTERTOP -PROVIDE BLOCKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER
- 9 CABINET UPPERS OR SHELVES ABOVE IN SOME LOCATIONS - PROVIDE BLOCKING AS - FINAL DESIGN TO BE APPROVED BY OWNER
- 10 PROVIDE REVERSE OSMOSIS SYSTEM & FAUCET AT KITCHEN SINK
- 11 46"HIGH x 30" WIDE HIGH COUNTER
- 12 KITCHEN SINK
- 18" WIDE GAS RANGE W/ HOOD, VENT THRU EXTERIOR WALL / SOFFIT, SEE MECH.
- 14 30" WIDE REFRIGERATOR
- 15 HANDRAIL 34" FROM STAIR NOSING, SEE DET. ~/~
- 16 RESIDENTIAL ELEVATOR BY: "SAVARIA" ECLIPSE MODEL No. 36X48 TYPE IL ( OR APPROVED EQUAL ) SEE SHEET RI FOR SPECIFICATION AND INSTALLATION INSTRUCTION.
- 17 STEEL OPEN STRINGER STAIR SEE DETAIL. ~/~
- 18 STEEL FRAME GLASS PIVOT DOOR W/ RECESSED THRESHOLD HARDWARE

#### **APPROVED** 06/27/2025

Approved by: Evan Kort, Senior Planner\_

**COMMUNITY PLANNING & BUILDING** 

#### PLUMBING NOTES:

- 2. ALL SINK FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.2 G.P.M.
- 3. WATER CLOSETS SHALL NOT USE MORE THAN 1.28 GAL, PER FLUSH PER STATE HEALTH & SAFETY CODE, SECTION 17921.3(B)
- 4. USE FIBERGLASS, CEMENT BASED BACKER BOARD OR WATER RESISTANT GYPSUM WALL BOARD BEHIND NEW TILE AND SINK.
- 5. NON-ABSORBENT WALL MATERIAL IN SHOWER SHALL BE 70" A.F.F. MIN.
- CALIFORNIA PLUMBING CODE.
- 7. THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, WHIRLPOOL BATHTUB, AND SHOWER/TUB COMBO FILTERS SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS



HOLDREN+LIETZKE ARCHITECTURE

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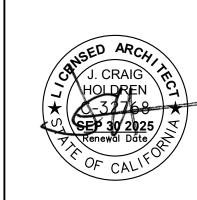
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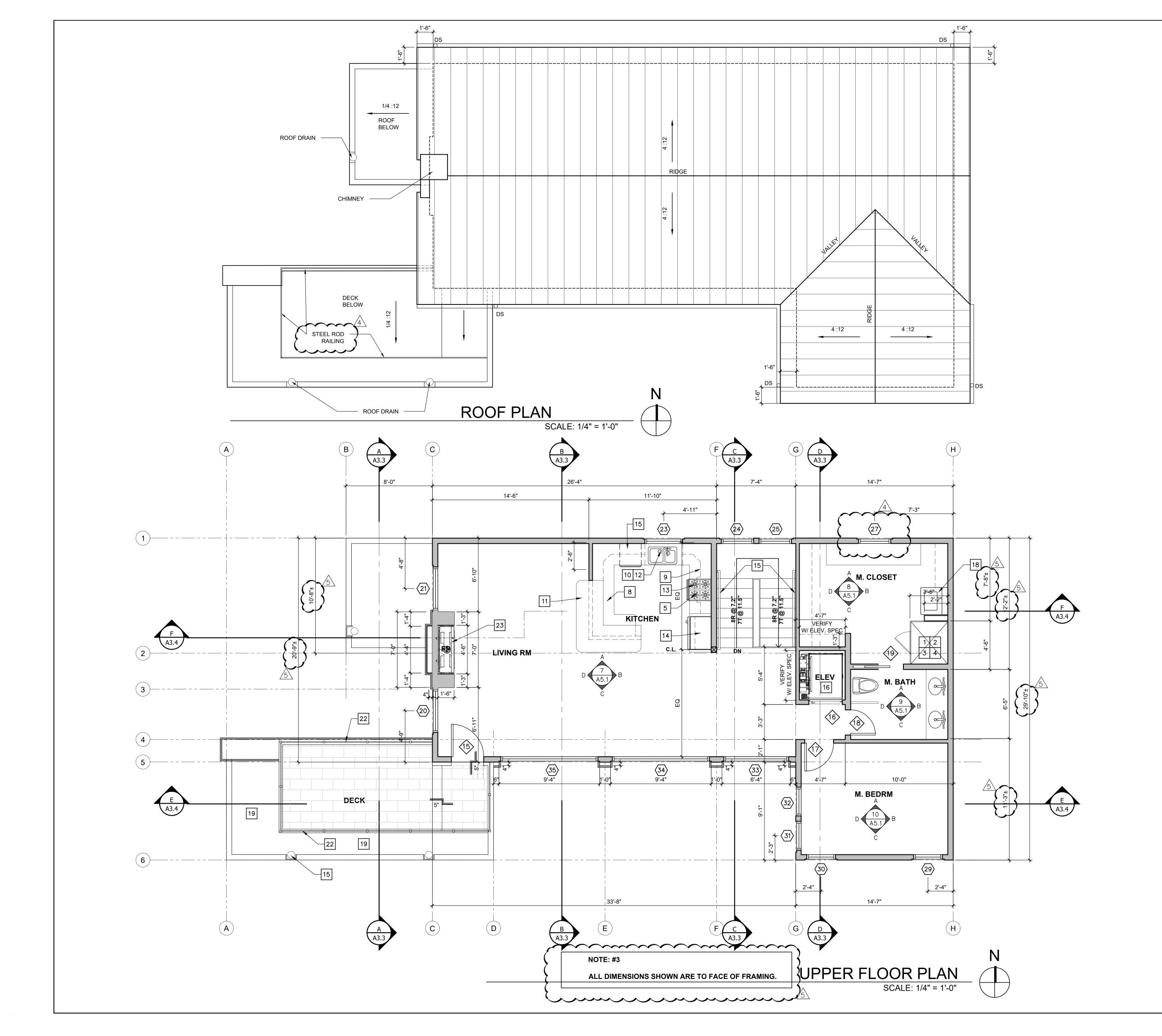
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- ALL SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 1.8 G.P.M.

- 6. VENTING FOR ISLAND FIXTURES SHALL BE DESIGNED PER SECTION 909.0 OF THE 2022
- PROVISION.

MEYROS SANTA FE ST. 3 CARMEL-BY-TH A.P.N. 0



#### **KEY NOTES:**

- INSTALL SCHLUTER 'KERDI-LINE' (www.kerdi-line.com OR APPROVED EQUAL) LINEAR FLOOR DRAIN @ SHOWER, SLOPE SHWR. FLOOR TO DRAIN
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- 12 36" WIDE SINK
- 13 24" WIDE "WOLF" GAS RANGE W/ HOOD
- 14 36" WIDE REFRIGERATOR
- 15 HANDRAIL 34" FROM STAIR NOSING, SEE DET. ~/~
- 16 RESIDENTIAL ELEVATOR BY: "SAVARIA" ECLIPSE MODEL No. 36X48 TYPE IL ( OR APPROVED EQUAL ) SEE SHEET RI FOR SPECIFICATION AND INSTALLATION INSTRUCTION.
- 17 EXTERIOR LANDING, SEE DETAILS
- 18 STACKED WASHER-DRYER, VENT TO OUTSIDE
- 19 BUILT-UP WATERPROOF ROOFING WITH AGGREGATE TOP
- APPROVED

  22 TILE DECKING OVER WATERPROOF ROOF

  SYSTEM- TYP

  06/27/2025

  37 STEEL ROD PMMILKIPEN

DIRECT VENPTOXS OF IREVELENCE NO. LV38N-1

#### PLUMBING NOTES:

- 1. ALL SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 1.8 G.P.M.
- 2. ALL SINK FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.2 G.P.M.
- 3. WATER CLOSETS SHALL NOT USE MORE THAN 1.28 GAL. PER FLUSH PER STATE HEALTH &

SAFETY CODE, SECTION 17921.3(B)

- 4. USE FIBERGLASS, CEMENT BASED BACKER BOARD OR WATER RESISTANT GYPSUM WALL BOARD BEHIND NEW TILE AND SINK.
- 5. NON-ABSORBENT WALL MATERIAL IN SHOWER SHALL BE 70" A.F.F. MIN.
- 6. VENTING FOR ISLAND FIXTURES SHALL BE DESIGNED PER SECTION 909.0 OF THE 2022 CALIFORNIA PLUMBING CODE.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, WHIRLPOOL BATHTUB, AND SHOWER/TUB COMBO FILTERS SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.



HOLDREN+LIETZKE ARCHITECTURE

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> > www.hl-arc.com

DEC. 03, 2024 DATE:

DRAWN: 1/4"=1'-0" JOB NUMBER: 23.14 JM

REVISION

SCALE:

PLAN REVISION 4\ APR 2, 2025 PLAN REVISION APR 23, 2025

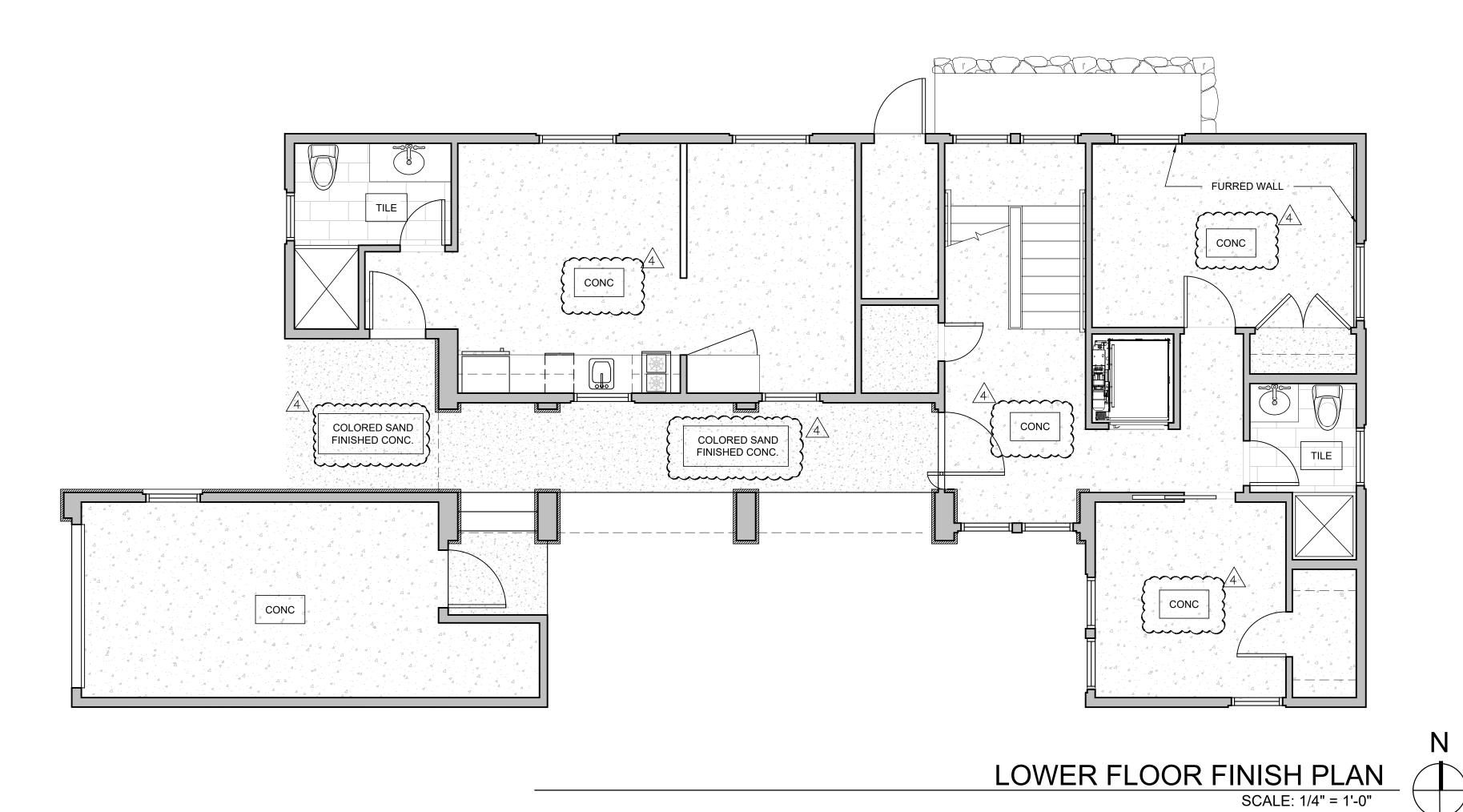


PLAN / ROOF PLAN

AU OME, MEYROSE

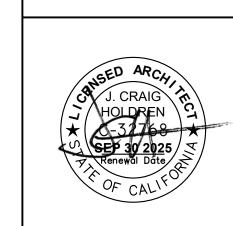
-009

UPPER FLOOR









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ARCHITECTURE

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PLAN CHANGE APR 2, 2025

DATE:

SCALE:

DRAWN:

JOB NUMBER:

REVISION

DEC. 03, 2024

1/4"=1'-0"

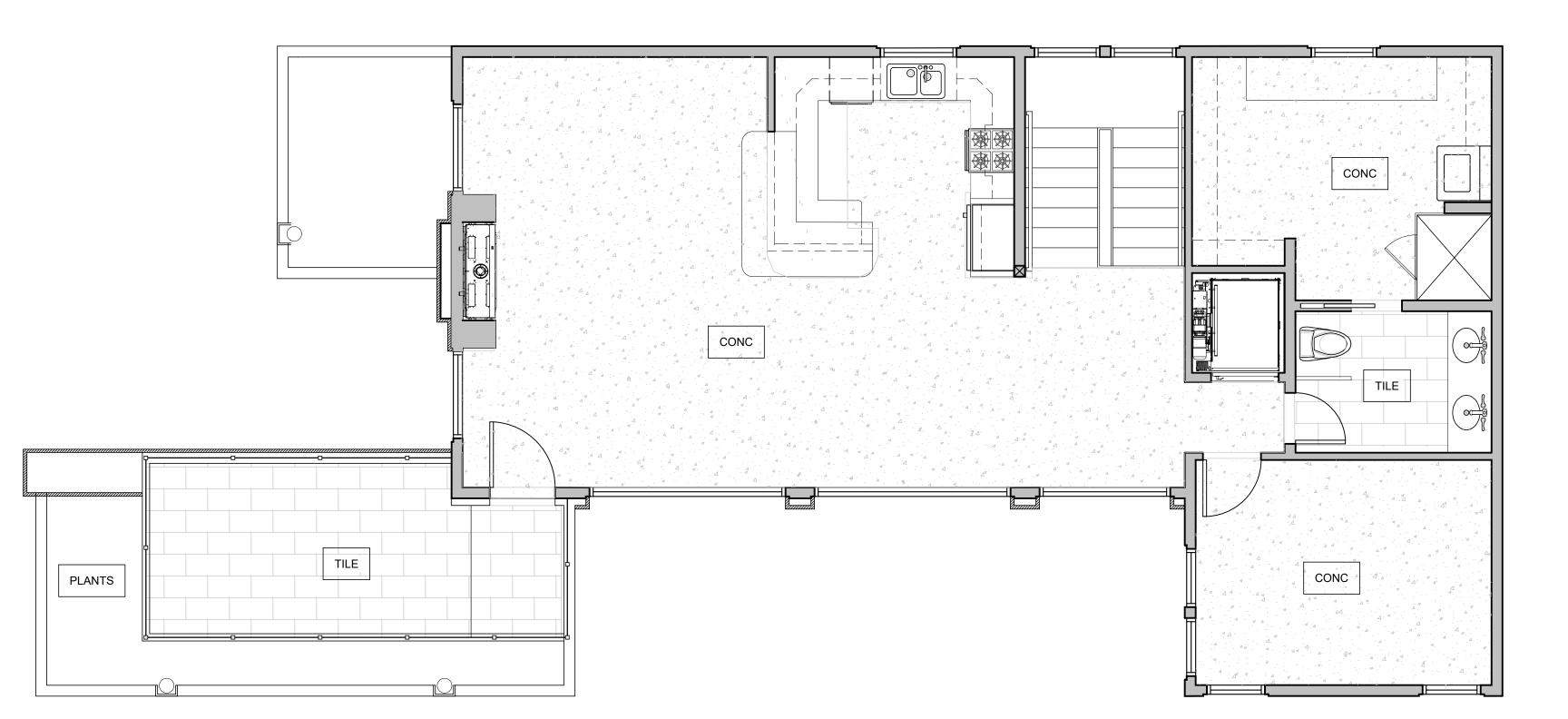
23.14 JM

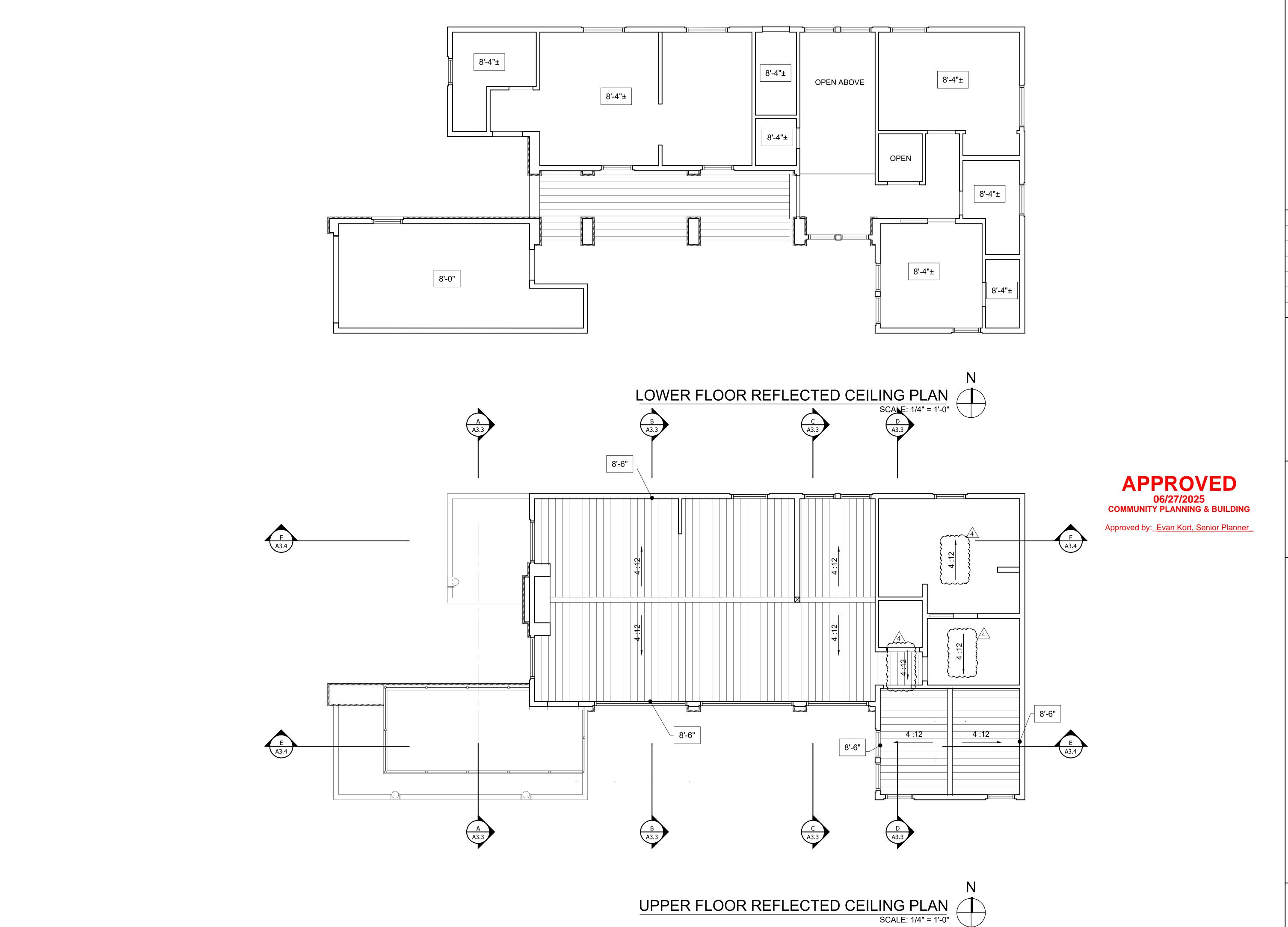
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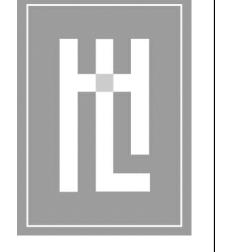
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-009

MEYROSE / CC SANTA FE ST. 3 NE OF 5TH CARMEL-BY-THE-SEA, CA A.P.N. 010-037-







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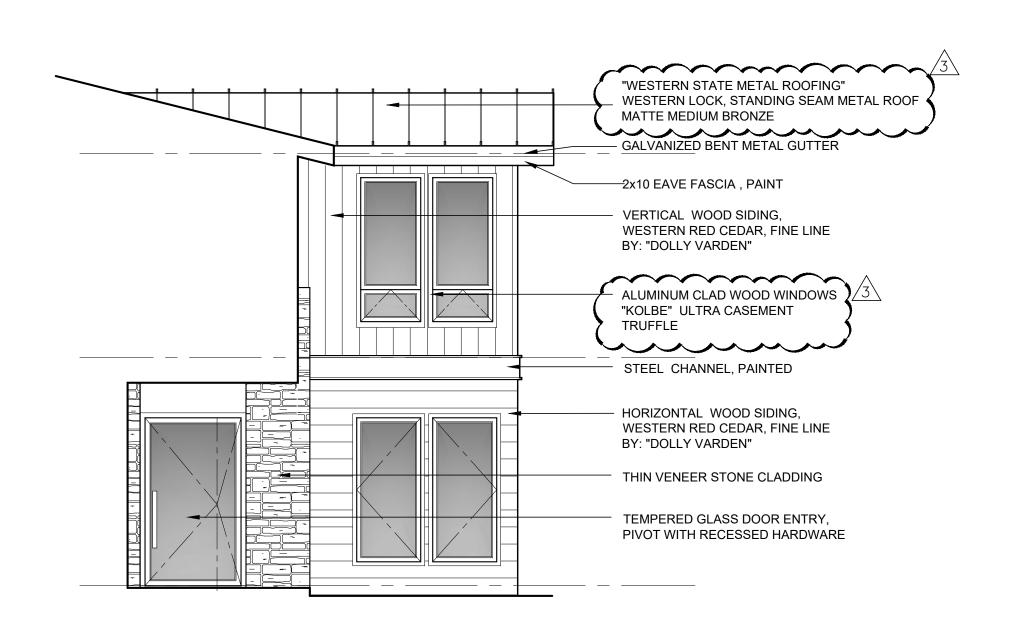
PLAN CHANGE APR 2, 2025



RESIDENCE

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MEYROSE / COME SANTA FE ST. 3 NE OF 5TH AVE CARMEL-BY-THE-SEA, CA A.P.N. 010-037-009







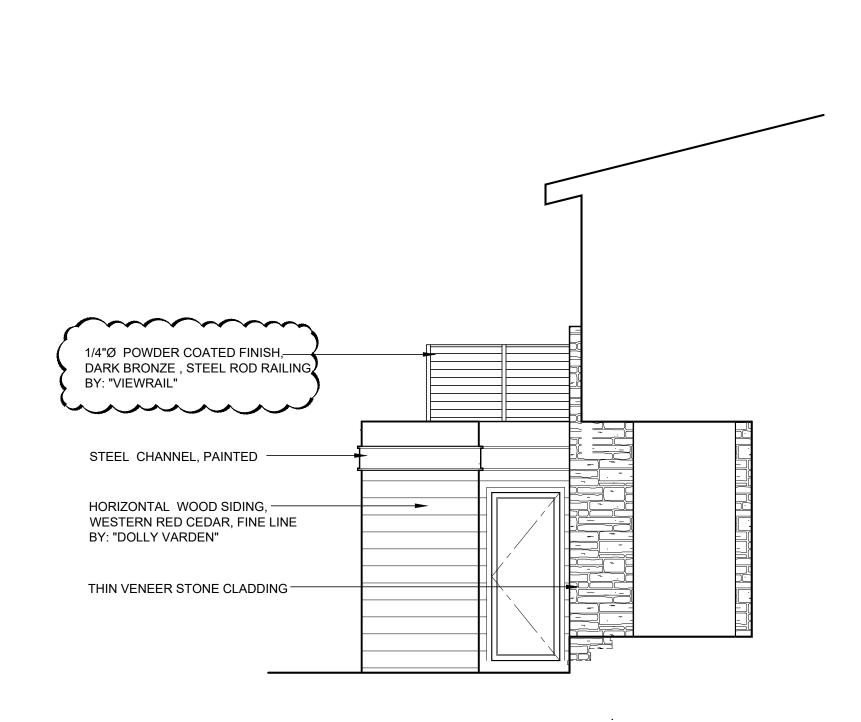
> 225 CANNERY ROW - SUITE A MONTEREY, CA 93940 Ph: 831.649.6001 Fax: 831.649.6003

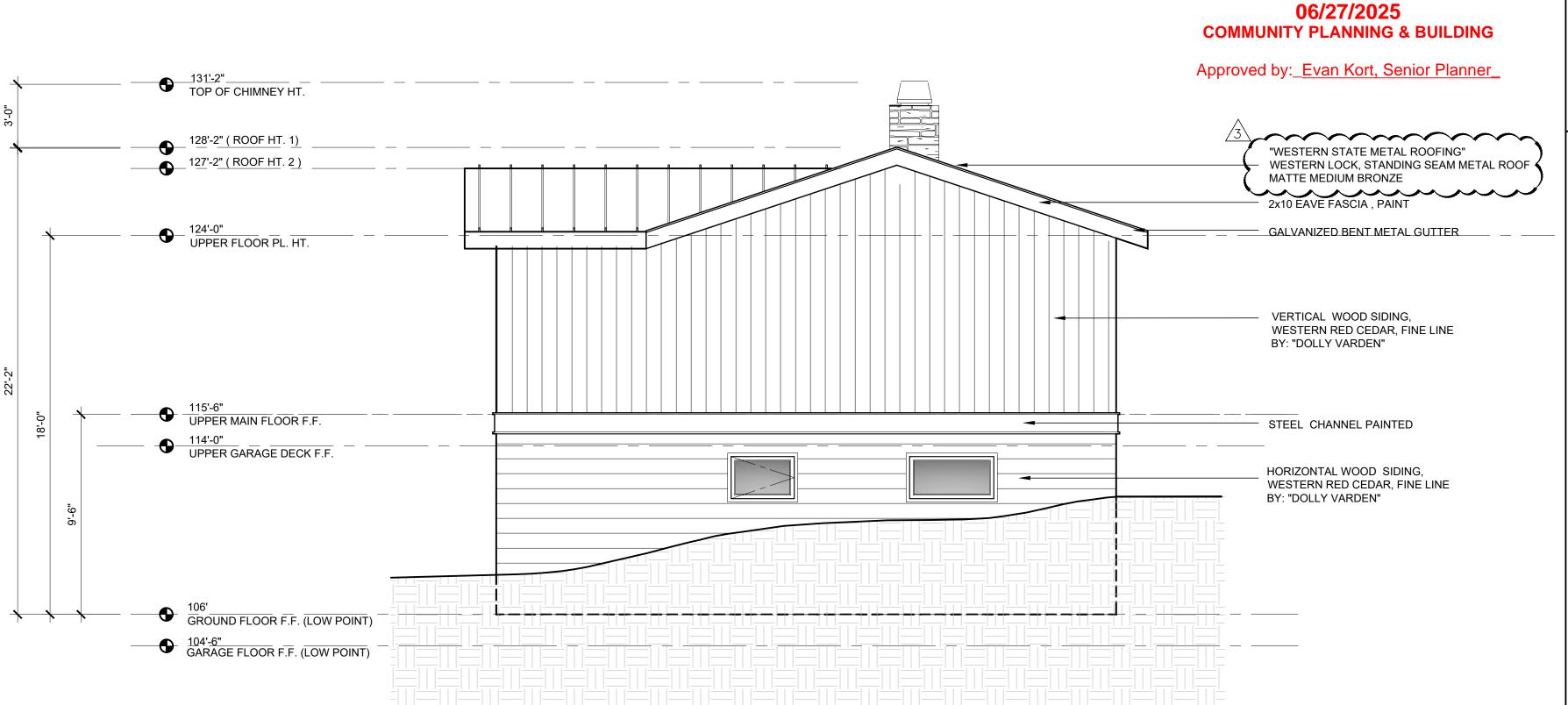
> > www.hl-arc.com

DEC. 03, 2024 DATE: SCALE: 1/4"=1'-0" DRAWN: JOB NUMBER:

REVISION PLAN CHECK FEB 24, 2025 PLAN CHECK MAR 6, 2025

ENTRY PORCH (EAST) ELEVATION SCALE: 1/4" = 1'-0" WEST ELEVATION SCALE: 1/4" = 1'-0"





**APPROVED** 

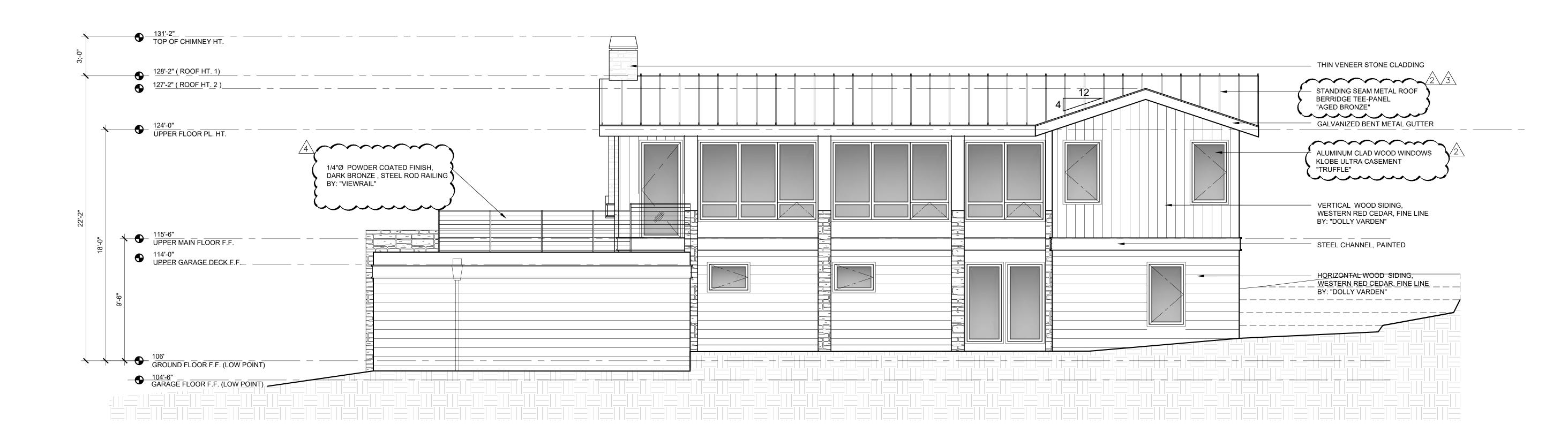
RESIDENCE

COMEAU F 5TH AVE CA )37-009

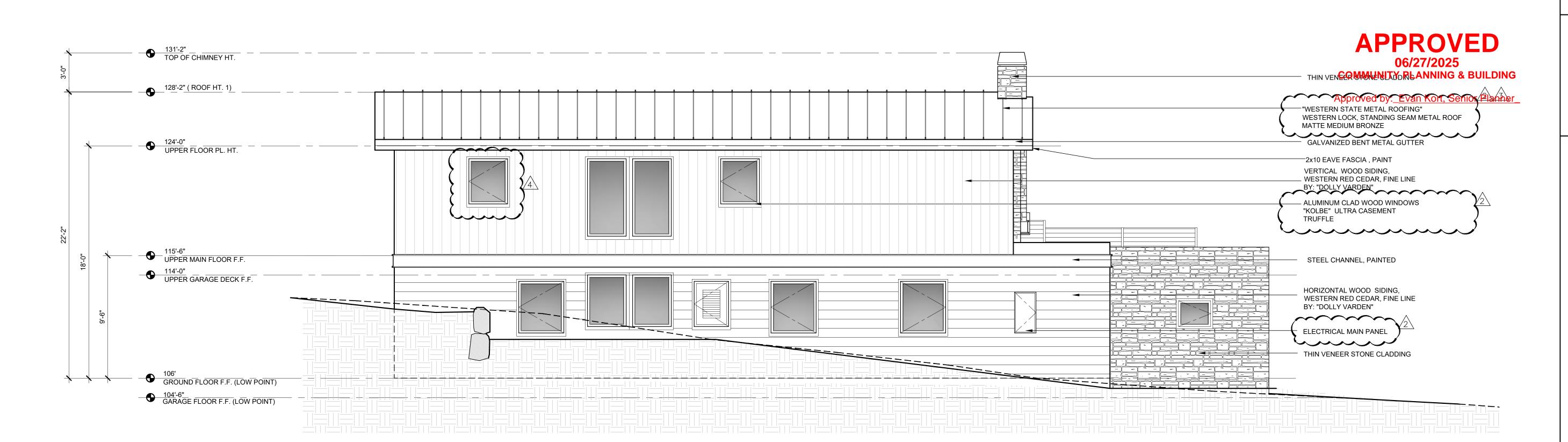
**EXTERIOR ELEVATIONS** 

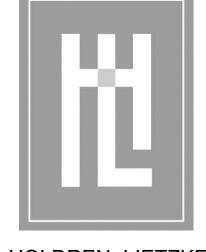
MEYROSE SANTA FE ST. 3 NE CARMEL-BY-THE-SEA A.P.N. 010-

ENTRY PORCH( WEST ) ELEVATION SCALE: 1/4" = 1'-0" EAST ELEVATION SCALE: 1/4" = 1'-0"



## SOUTH ELEVATION





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DEC. 03, 2024 DATE: SCALE: 1/4"=1'-0" DRAWN:

PLAN CHECK FEB 24, 2025

JOB NUMBER:

REVISION

PLAN CHECK
MAR 6, 2025 PLAN REVISION APR 2, 2025

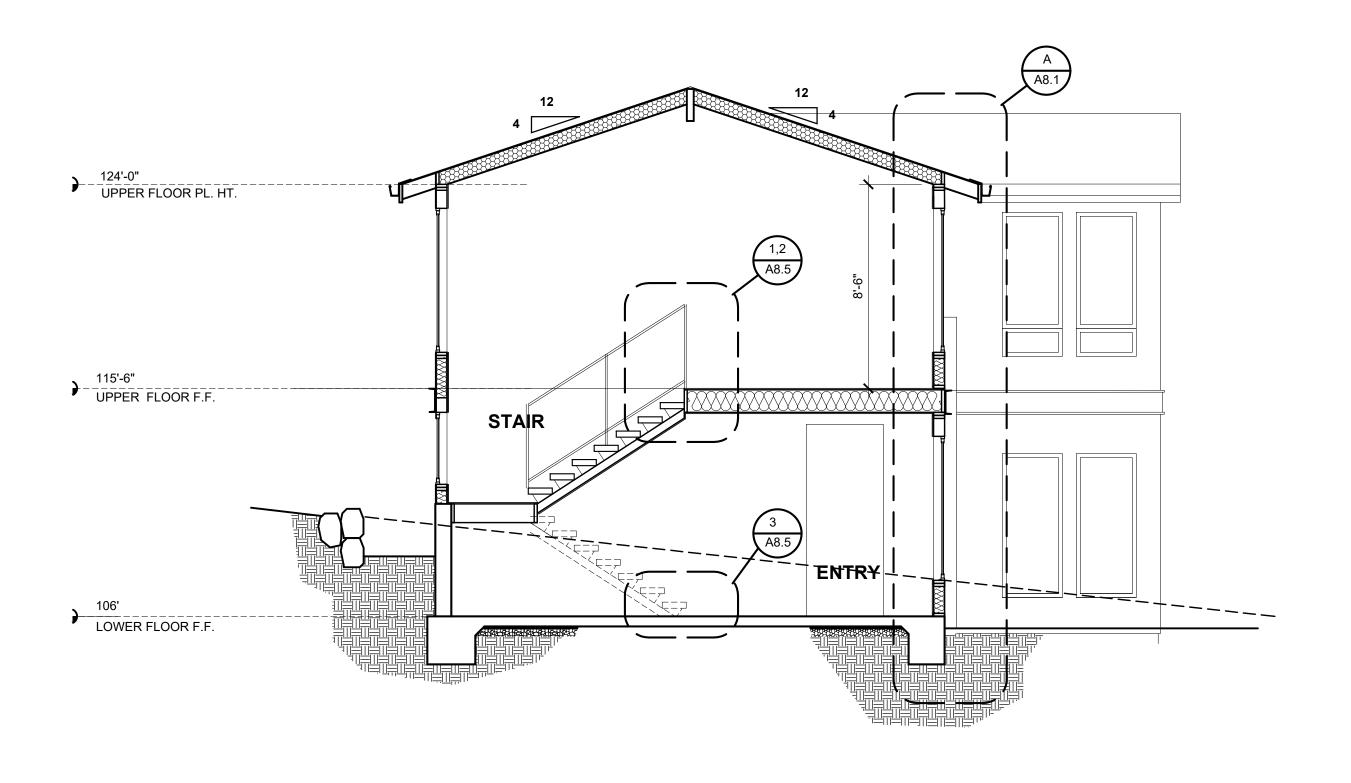


RESIDENCE COMEAU

T. 3 NE OF 5TH AVE THE-SEA, CA 010-037-009

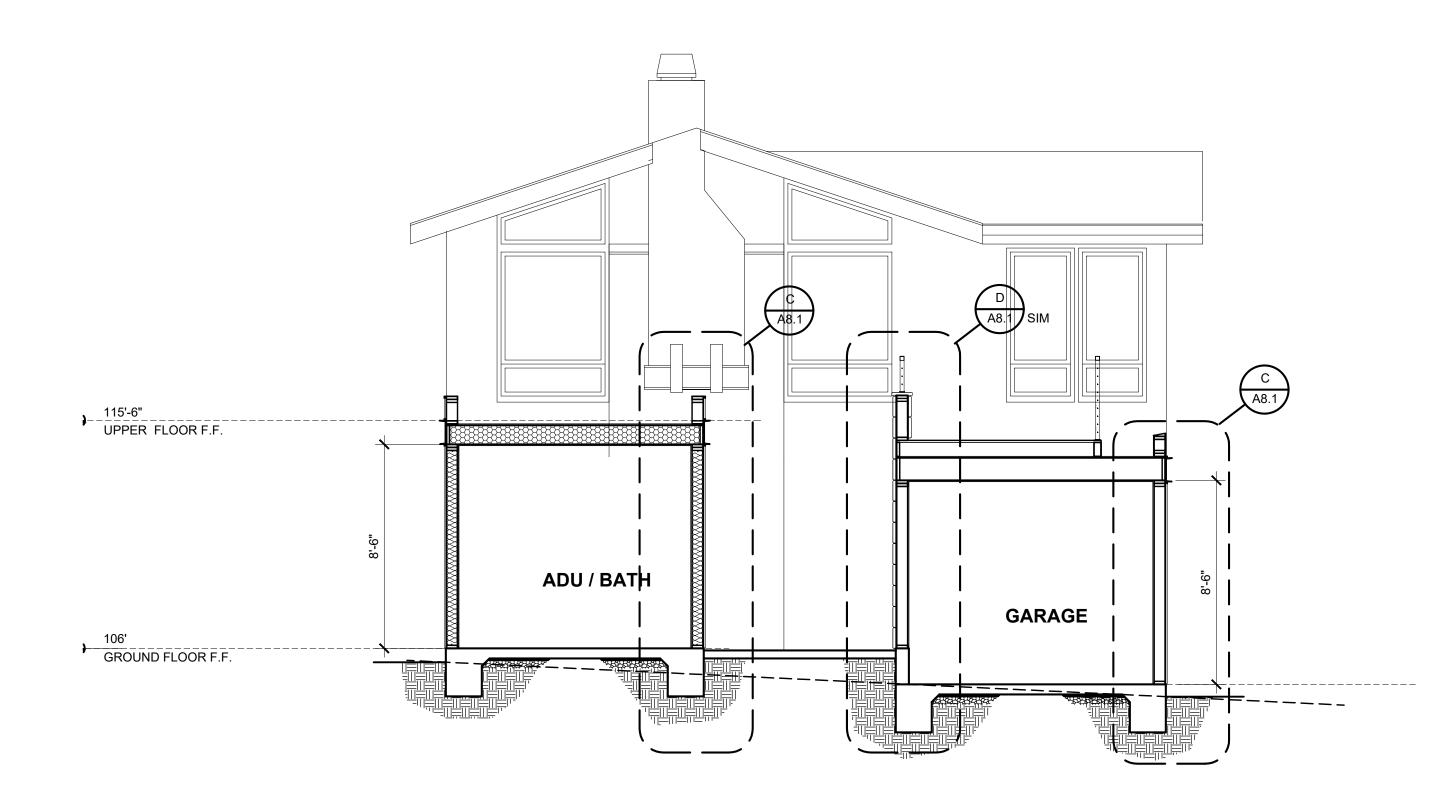
**EXTERIOR ELEVATIONS** MEYROSE SANTA FE ST. 3 NE ( CARMEL-BY-THE-SE/ A.P.N. 010-

A3.2



SECTION C-C

SCALE: 1/4" = 1'-0"



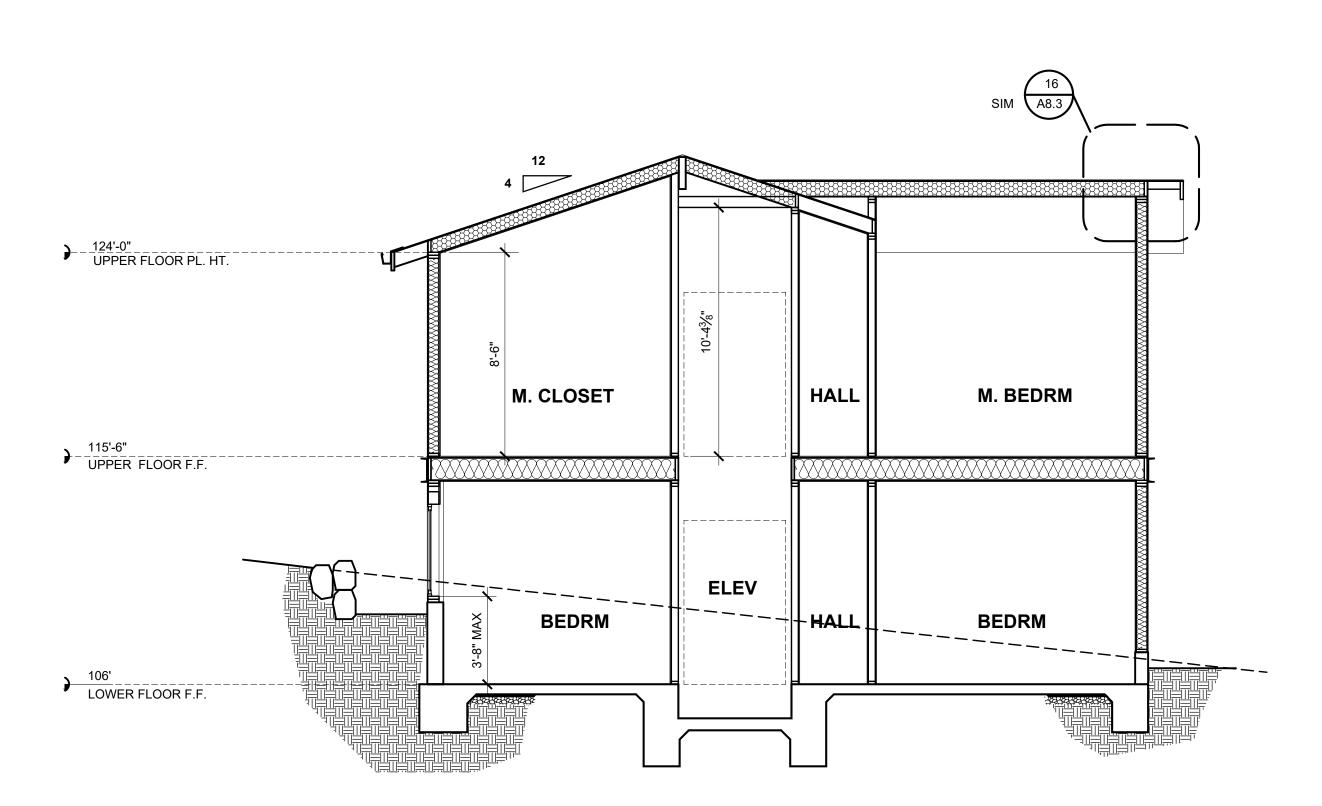


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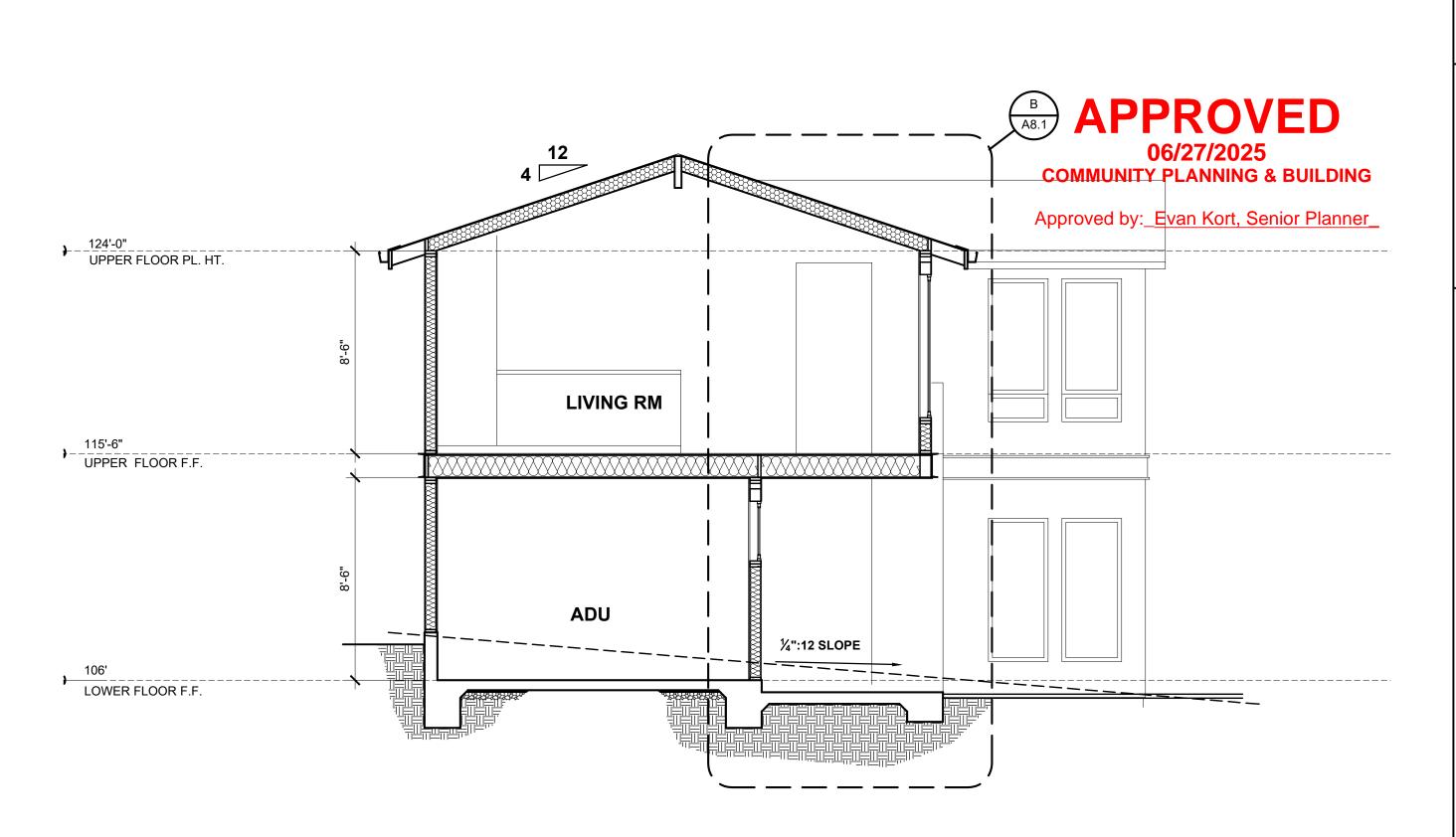
DEC. 03, 2024 DATE: SCALE: DRAWN: 1/4"=1'-0" JOB NUMBER: 23.14 JM REVISION

SECTION A-A



SECTION D-D

SCALE: 1/4" = 1'-0"



SECTION B-B SCALE: 1/4" = 1'-0"

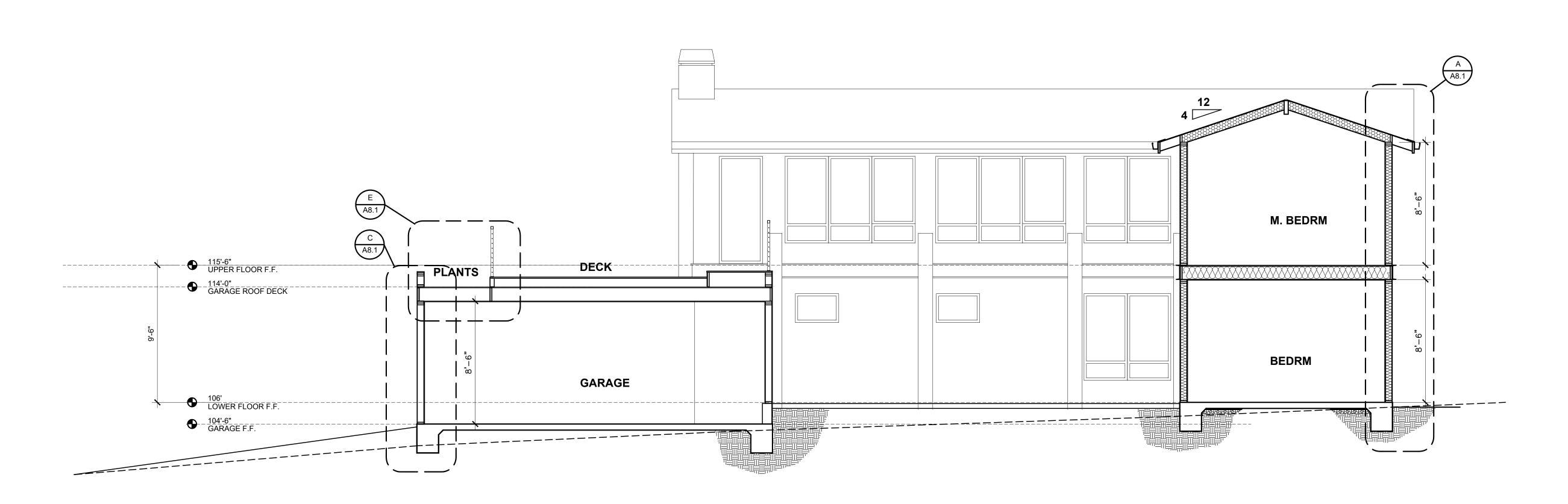
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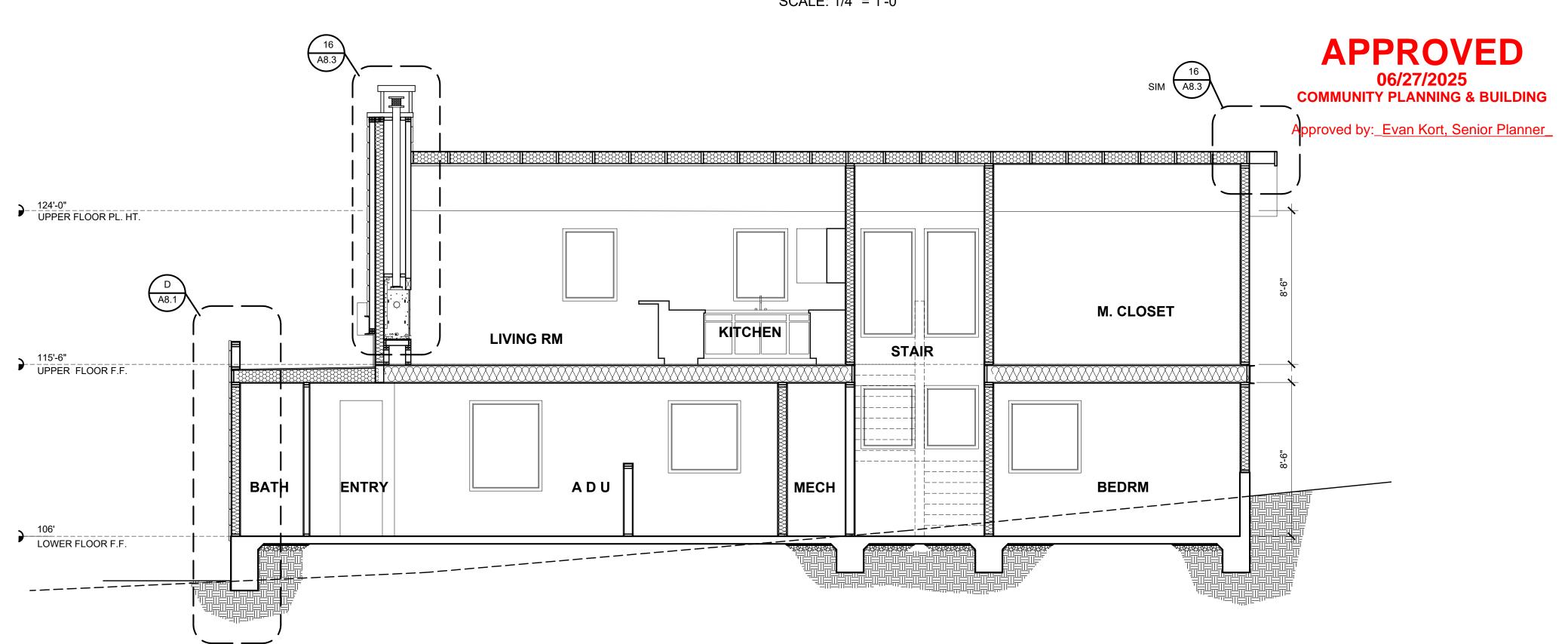
RESIDENCE COMEAU

T. 3 NE OF 5TH AVE THE-SEA, CA 010-037-009 MEYROSE SANTA FE ST. 3 NE CARMEL-BY-THE-SE/ A.P.N. 010-SECTIONS

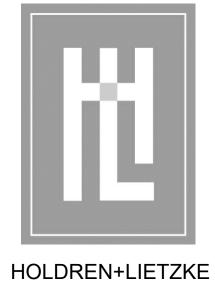
A3.3











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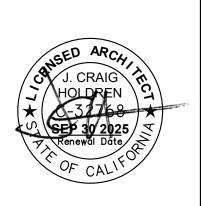
DATE: DEC. 03, 2024

SCALE: 1/4"=1'-0"

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JOB NUMBER: 23.14

REVISION



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OSE / COMEAU R T. 3 NE OF 5TH AVE -THE-SEA, CA 010-037-009

SECTIONS

MEYROSE

SANTA FE ST. 3 NE CARMEL-BY-THE-SE/A.P.N. 010-

A3.4

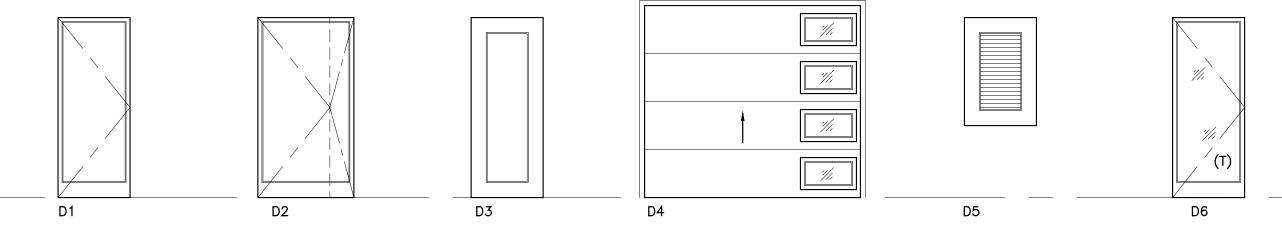
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NOTE: ALL NEW EXTERIOR DOORS ARE TO BE ALUM CLAD WOOD DOORS. MANUFACTURER: "KOLBE", PRODUCT LINE: ULTRA-SERIES (TRUFFLE) 

NOTE: CONTRACTOR TO VERIEY DOOR DIMENSION OPENING PRIOR TO INSTALLATION

					NOT	E: CONTRACTOR	TO VERIF	Y DOOF	DIMENSIO	ON OPENING PRIOR TO INSTALLATION.
	MARK	TVDE	MIDTH	LIFICLIT	CODE	HARDWARE		DETAILS		REMARKS
	MARK	TYPE	₩IDTH	HEIGHT	CORE	HARDWARE	HEAD	JAMB	THRESH.	
	1	D1	3'-0"	7'-6"	WOOD					
	2	D2	4'-0"	7'-6"	GLASS					STEEL FRAME, ¾" TEMPERED GLASS , PIVOT WITH RECESSED HARDWARE
	3	D3	2'-10"	7'-6"	WOOD					
FLOOR	4	D4	8'-6"	7'-6"	WOOD					SECTIONAL GARAGE DOOR,W/ TEMPERED GLAZING
	5	D5	2'-6"	4'-0"	WOOD					LOUVERED ACCESS DOOR TO MECHANICAL ROOM
	6	D3	2'-4"	7'-0"	WOOD					
LOWER	7	D3	2'-0"	7'-0"	WOOD					
	$\langle \otimes \rangle$	D3	3'-0"	7'-0"	WOOD					
	$\langle \phi \rangle$	D3	2'-8"	7'-0"	WOOD					
	$\langle \overline{0} \rangle$	D3	(PR) 2'-6"	7'-0"	WOOD					
ADU	11	D3	2'-4"	7'-0"	WOOD					
	12		2'-8"	7'-0"	WOOD					POCKET DOOR
	15	D6	3'-0"	7'-6"	WOOD					
	16	D3	3'-0"	7'-0"	WOOD					
UPPER FLOOR	17>	D3	2'-8"	7'-0"	WOOD					
	18	D3	2'-4"	7'-0"	WOOD					

#### DOOR TYPES:



#### DOOR NOTES

- 1. SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR OPERATION
- 2. ALL DOOR GLAZING TO BE TEMPERED TEMPERED GL. - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING
- 4. VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
- 5. PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS SHOWN. 6. WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD DOORS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.

#### HARDWARE NOTES

- ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N. :
- 1. ALL EXTERIOR DOORS TO BE WEATHER STRIPPED. 2. HARDWARE SHALL HAVE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- 3. THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- 4. PROVIDE 4" X 4" BUTTS ON ALL DOORS.
- 5. ALL HARDWARE TO HAVE FINISH PER OWNER. 6. ALL FIRE RATED DOORS SHALL HAVE PEMKO S88D (OR EQUAL) SMOKE SEALS.

#### WINDOW SCHEDULE

NOTE: ALL WINDOWS ARE TO BE ALUM CLAD WOOD WINDOWS. WINDOW MANUFACTURER: "KOLBE", PRODUCT LINE: ULTRA-SERIES (TRUFFLE NOTE: CONTRACTOR TO VERIFY WINDOW DIMENSION OPENING PRIOR TO INSTALLATION.

						N	OTE: CONTR	ACTOR TO V	/ERIFY	WINDOW DI	MENSION OPENING PRIOR TO INSTALLATION.
				NOMIN DIMENSI		HEAD HEIGHT	FRAME		[	ETAILS	
	MARK		TYPE	WIDTH	HEIGHT	(ABOVE FIN. FLR.)	(EXT/INT)		HEAD	JAMB SILL	REMARKS
	1	A	CASEMENT	2'-6"	2'-0"		ALUM/WOOD	DOUBLE INSULATED			
	2	A	CASEMENT	3'-6"	4'-0"	7'-6"	ALUM/WOOD	DOUDLE			
	3	Α	CASEMENT	3'-6"	4'-0"	7'-6"	ALUM/WOOD	DOUBLE			
	4	В	FIXED	3'-0"	4'-0"	8 <b>'</b> -0 <b>"</b>	ALUM/WOOD	DOUDLE			
	5	В	FIXED	3'-0"	4'-0"	8'-0"	ALUM/WOOD	DOUDLE			
.00R	6	Α	CASEMENT	3'-6"	4'-0"	7'-6"	ALUM/WOOD	DOUDLE			EGRESS WINDOW, SEE NOTES #11 & #12
FLO	7	Α	CASEMENT	4'-6"	3'-6"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			
	8	Α	CASEMENT	3'-0"	3'-6"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			
LOWER	9	Α	CASEMENT	2'-8"	4'-8"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			EGRESS WINDOW, SEE NOTES #11 & #12
\ \ -	(10)	Α	CASEMENT	2'-8"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			
7 /	(11)	Α	CASEMENT	2'-8"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			
	(12)	В	FIXED 5	2'-8"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			
ADU	(13)	В	FIXED	2'-8"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			
,	(14)	Α	CASEMENT	3'-0"	2'-0"	7'-6"	ALUM/WOOD	INSULATED			
	(15)	Α	CASEMENT	3'-0"	2'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			
	(16)		NOT USED								
	(17)	Α	CASEMENT	3'-0"	3'-6"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			
04	(20)	F	FIXED/AWNING		W TYPE FOR		ALUM/WOOD	DOUBLE INSULATED			
FLOOR	(21)	F	FIXED/AWNING		W TYPE FOR		ALUM/WOOD	DOUBLE INSULATED			
-[(	22		NOT USED					DOUBLE INSULATED			
	23>	Α	CASEMENT	3'-0"	3'-6"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			
UPPER	24	В	FIXED	3'-0"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			
UP.	25	В	FIXED	3'-0"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			
4	(26)		NOT USED								
	27	A	CASEMENT	3'-0"	3'-6"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			ADDDOVED
	28		NOT USED								APPROVED
$\wedge$	29	A	CASEMENT	2'-8"	4'-8"	7'-6"	ALUM/WOOD	INSULATED			EGRESS WINDOW, SEE NOTES #17 & #12 COMMUNITY PLANNING & BUILDING
/2\	(30)	A	CASEMENT	2'-8"	4'-8"	7'-6"	ALUM/WOOD	INSULATED			EGRESS WINDOW, SEE NOTES #11 & #12  Approved by:_Evan Kort, Senior Planner_
	(31)	E	FIXED/AWNING	2'-8"	6'-0"	7'-6"	ALUM/WOOD	INSOLATED			pp. or od by
	(32)	Е	FIXED/AWNING	2'-8"	6'-0"	7'-6"	ALUM/WOOD	INSULATED			
	(33)	D	FIXED/AWNING	(2) 3'-0"	6'-0"	7'-6"	ALUM/WOOD	INSULATED			
	34	С	FIXED/AWNING	(3) 3'-0"	6'-0"	7'-6"	ALUM/WOOD	INSULATED			
	<b>(35)</b>	С	FIXED/AWNING	(3) 3'-0"	6'-0"	7'-6"	ALUM/WOOD	DOUBLE INSULATED			

# WINDOW TYPES: (T): TEMPERED GLAZING

#### GLAZING NOTES:

- 1. VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS. 2. EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS, LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL. TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS, EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE
- GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED. 3. ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E II", ARGON FILLED. 4. INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE TEST SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCES. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS

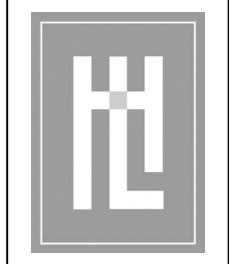
MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE

- FOR THE PURPOSE OF GLAZING: A. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS. B. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
- C. GLAZING IN ALL UNFRAMED SWINGING DOORS. D. GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE DRAIN OUTLET.
- E. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
- F. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE
- GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING. 5. AT DOUBLE PANE WINDOWS WITH OBSCURE GLASS INTERIOR GLAZING CAN BE CLEAR TEMPERED WITH THE EXTERIOR BEING UN-TEMPERED OBSCURE.

#### <u>WINDOW NOTES:</u>

CASEMENT WINDOWS SHALL BE PUSH OUT SWING CASEMENT - TYPICAL.

- 6. ALL CASEMENT WINDOWS SHALL PIVOT TO FACILITATE CLEANING THE EXTERIOR FROM THE INTERIOR.
- 7. CONTRACTOR IS RESPONSIBLE FOR REVIEWING FLOOR PLANS AND EXTERIOR ELEVATIONS FOR VERIFICATION OF NUMBER & LOCATION OF ALL SASH HERE IN SCHEDULED. 8. WINDOW SIZES INDICATED IN WINDOW SCHEDULE ARE APPROXIMATE & MAY BE ALTERED SLIGHTLY TO MEET
- MANUFACTURED STANDARD DIMENSIONS. UPON REVIEW AND APPROVAL BY ARCHITECT. FOR WINDOW MUNTINS, MULLIONS, SWING HAND OF OPERABLE WINDOWS, ETC SEE BUILDING ELEVATIONS. 10. CONTRACTOR SHALL VERIFY DIVIDED LIGHT CONFIGURATION & MTR. AVAILABILITY FOR EACH WINDOW PRIOR TO
- ORDER. SEE BUILDING ELEVATIONS. 11. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL, WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- 12. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 1'-8", NET CLEAR OPENING HEIGHT OF 2'-0" AND MAXIMUM SILL HEIGHT ABOVE FINISH FLOOR SHALL BE 3'-8".
- 13. WALL WIDTHS MAY VARY VERIFY WALL DIMENSIONS PRIOR TO MANUFACTURING WINDOWS. 14. PROVIDE JAMBS EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
- 15. SEE TYPICAL WINDOW FLASHING REQUIREMENTS 16/A8.1 FOR ADDITIONAL INFORMATION. 16. WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD WINDOWS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.



**HOLDREN+LIETZKE** ARCHITECTURE

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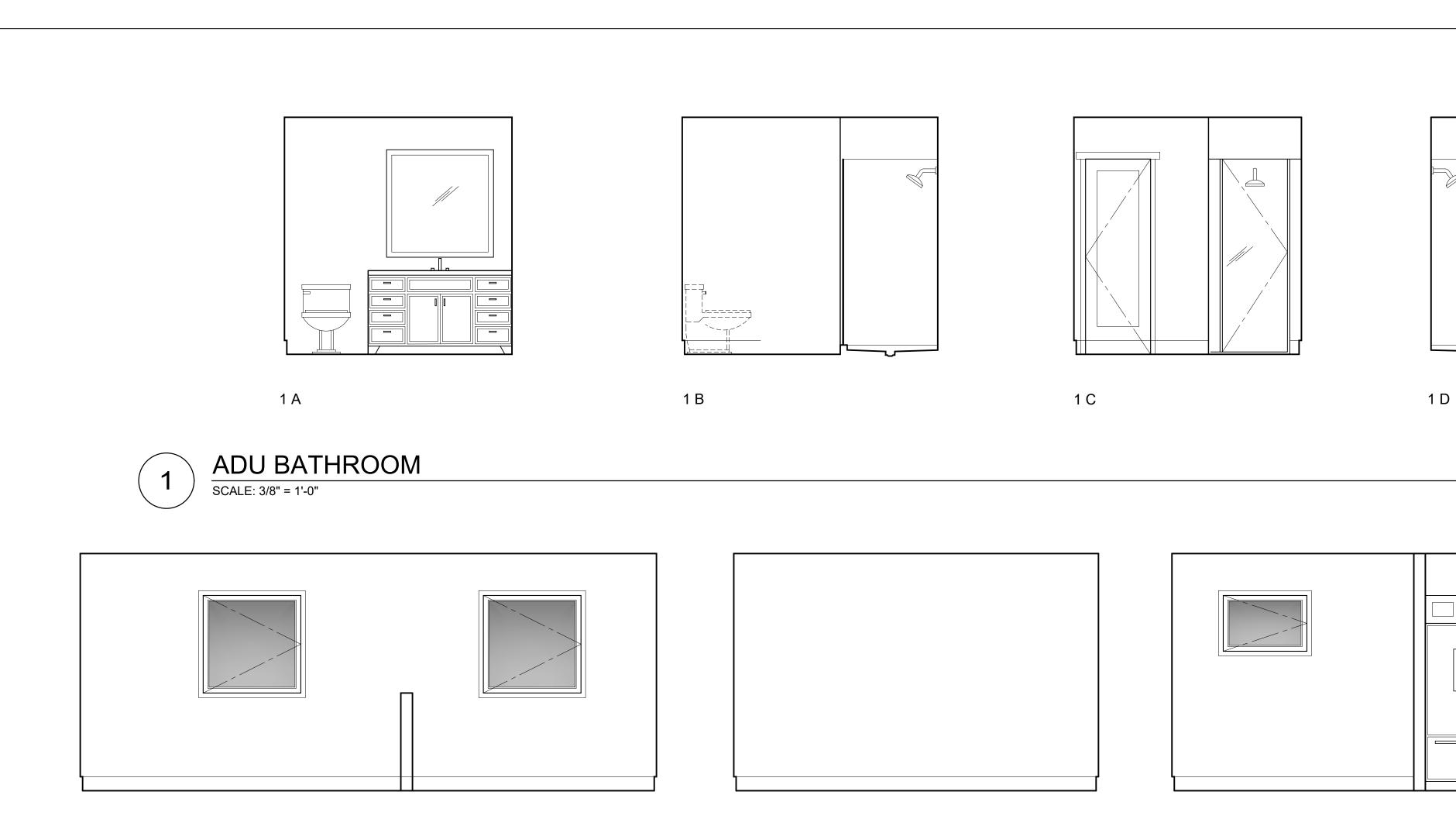
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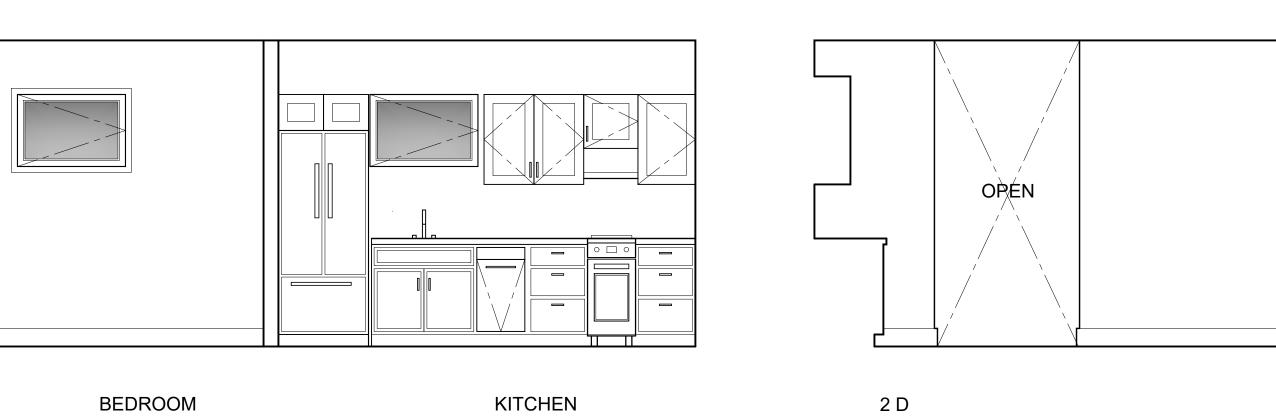
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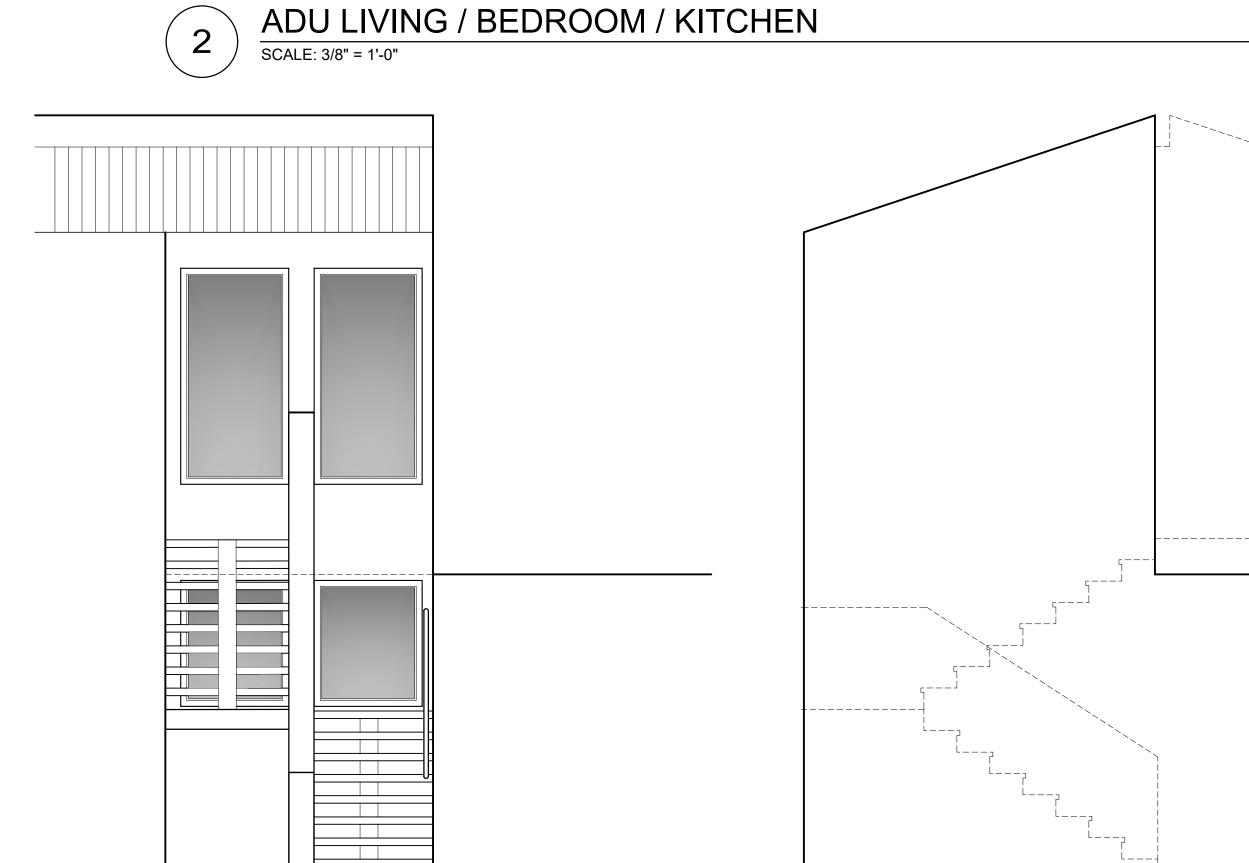
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2 B



KITCHEN



BEDROOM

2 A

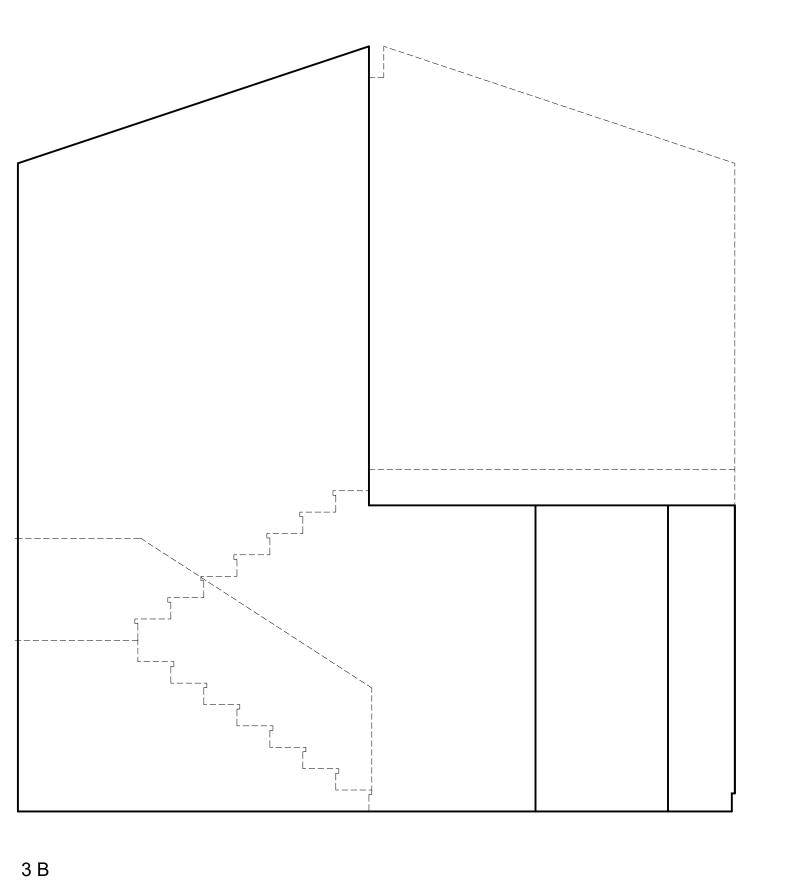
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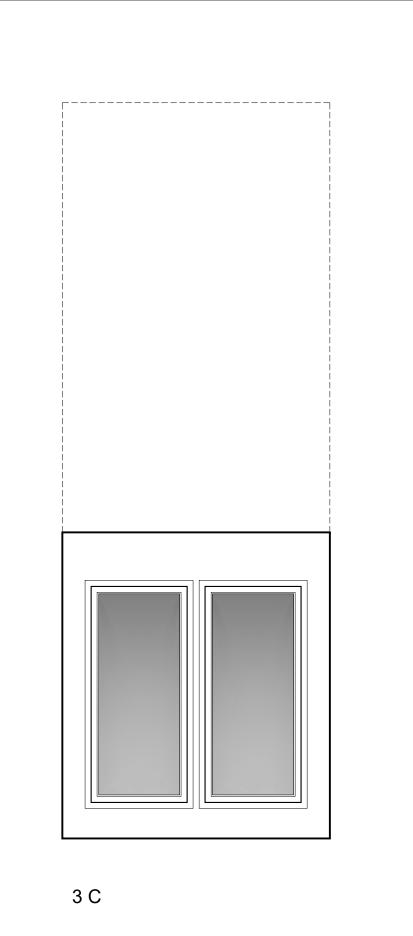
**ENTRY** 

**ENTRY** 

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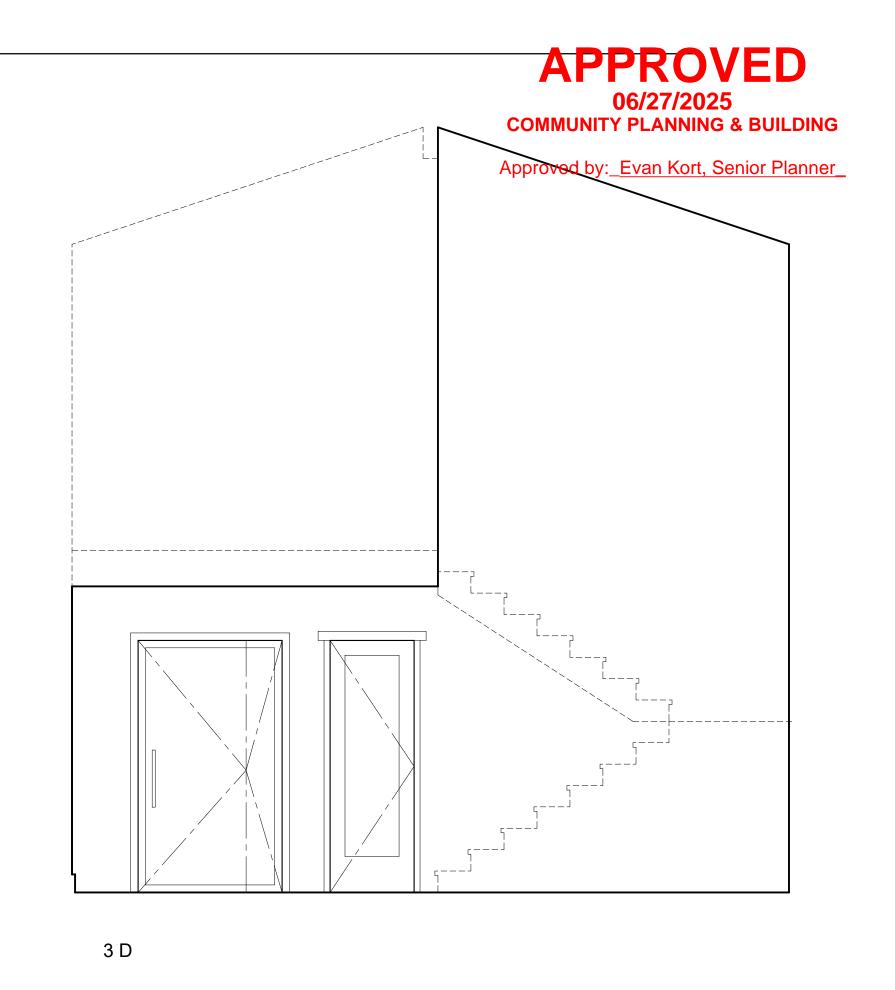
3 A





2 C

BEDROOM





ARCHITECTURE

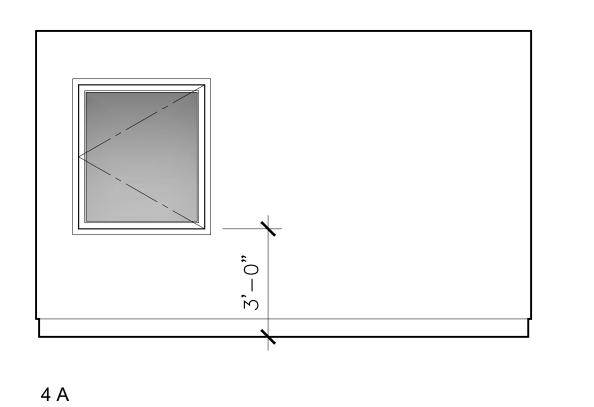
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5 B

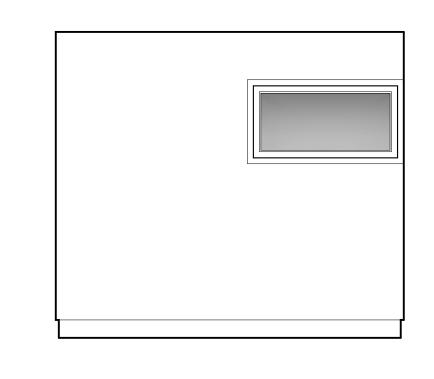
6 B

BEDROOM #2

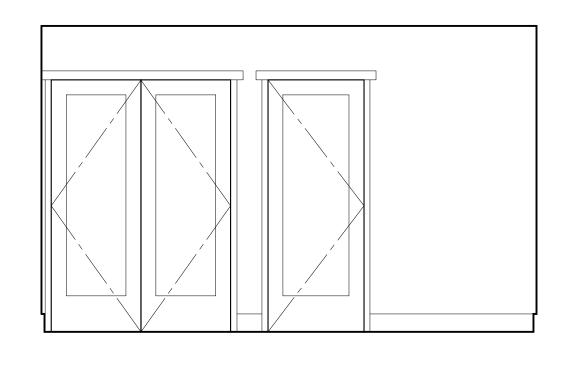
SCALE: 3/8" = 1'-0"

5 A

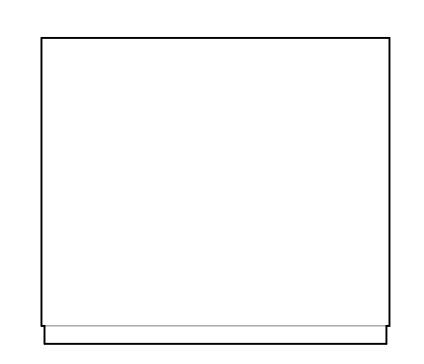
BATHRROM #1



5 C



4 C



4 D

HOLDREN+LIETZKE ARCHITECTURE 225 CANNERY ROW - SUITE A MONTEREY, CA 93940

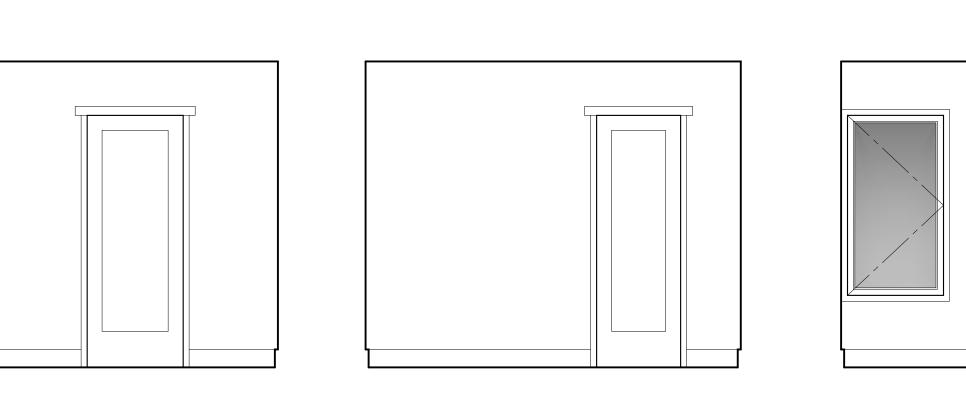
Ph: 831.649.6001 Fax: 831.649.6003 www.hl-arc.com

DEC. 03, 2024 DATE: SCALE:

DRAWN: JOB NUMBER:

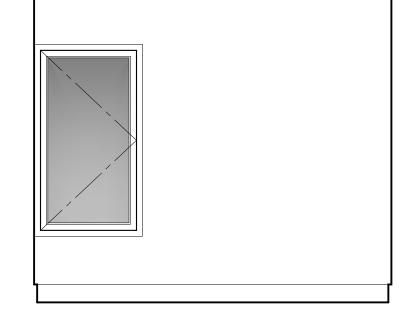
23.14 **REVISION** 





6 C

5 D



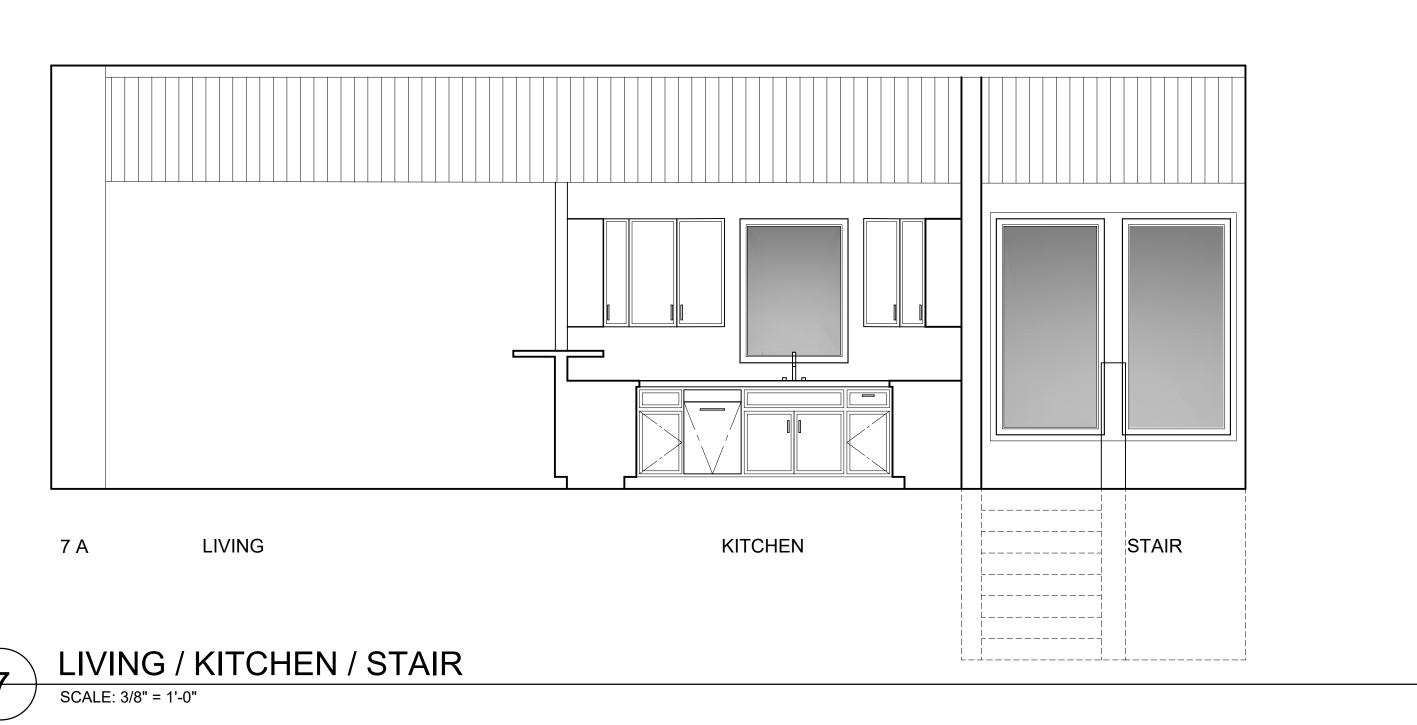
6 D

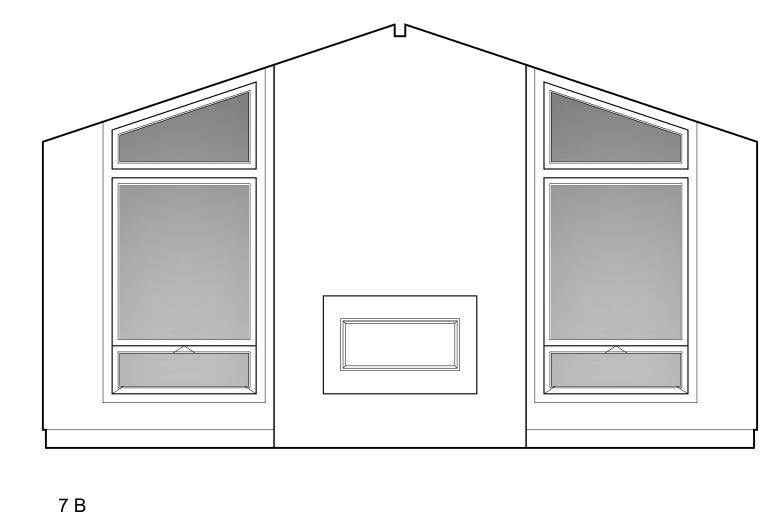


6 A

RESIDENCE

MEYROSE / COMEAU
SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA
A.P.N. 010-037-009





> 225 CANNERY ROW - SUITE A MONTEREY, CA 93940 Ph: 831.649.6001 Fax: 831.649.6003 www.hl-arc.com

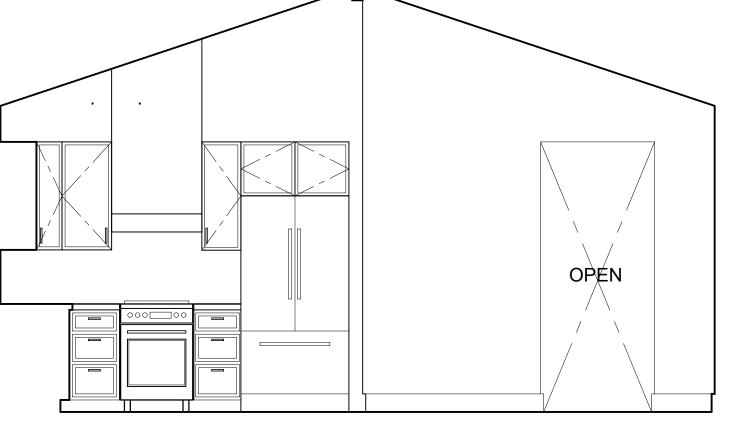
DEC. 03, 2024 DATE: SCALE:

23.14

DRAWN: JOB NUMBER:

**REVISION** 

PLAN CHANGE APR 2, 2025

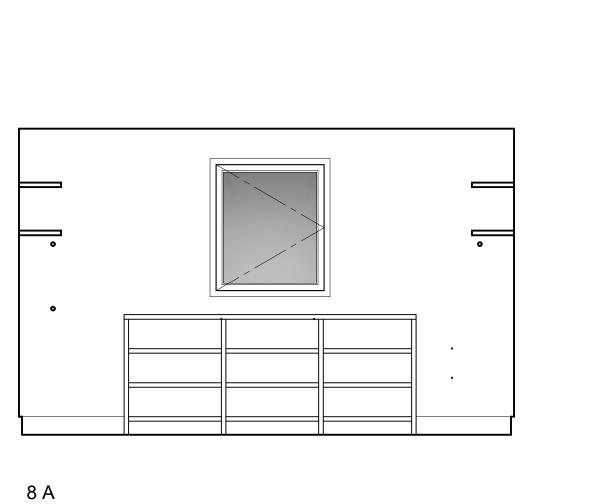


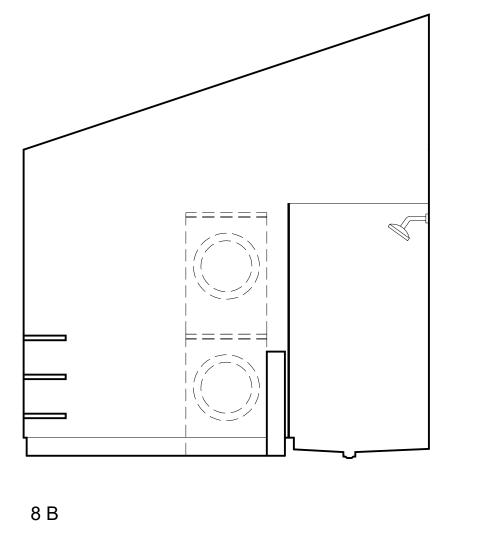
**APPROVED** 06/27/2025 **COMMUNITY PLANNING & BUILDING** Approved by: <u>Evan Kort, Senior Planner</u>

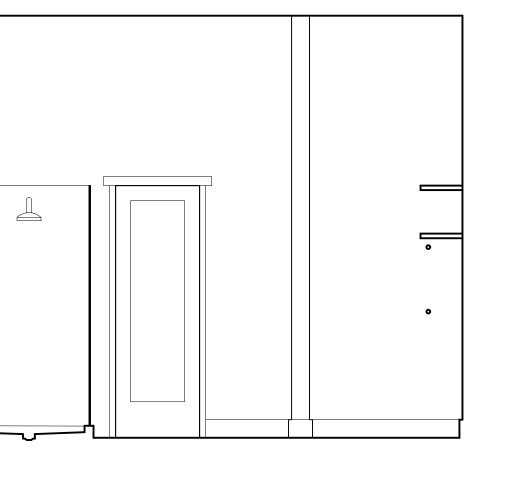
7 C

SCALE: 3/8" = 1'-0"

LIVING / KITCHEN / STAIR

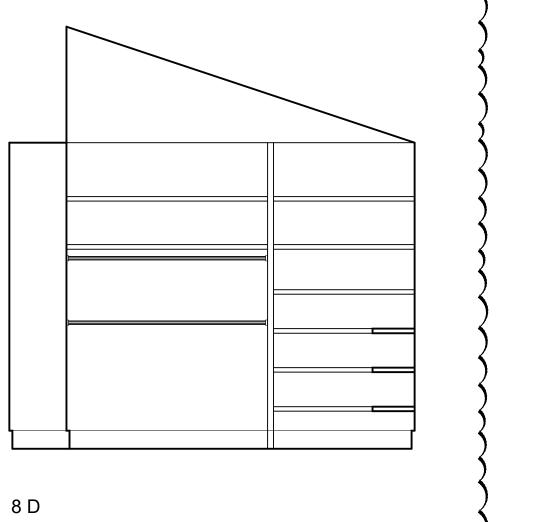






8 C

manne a manne a



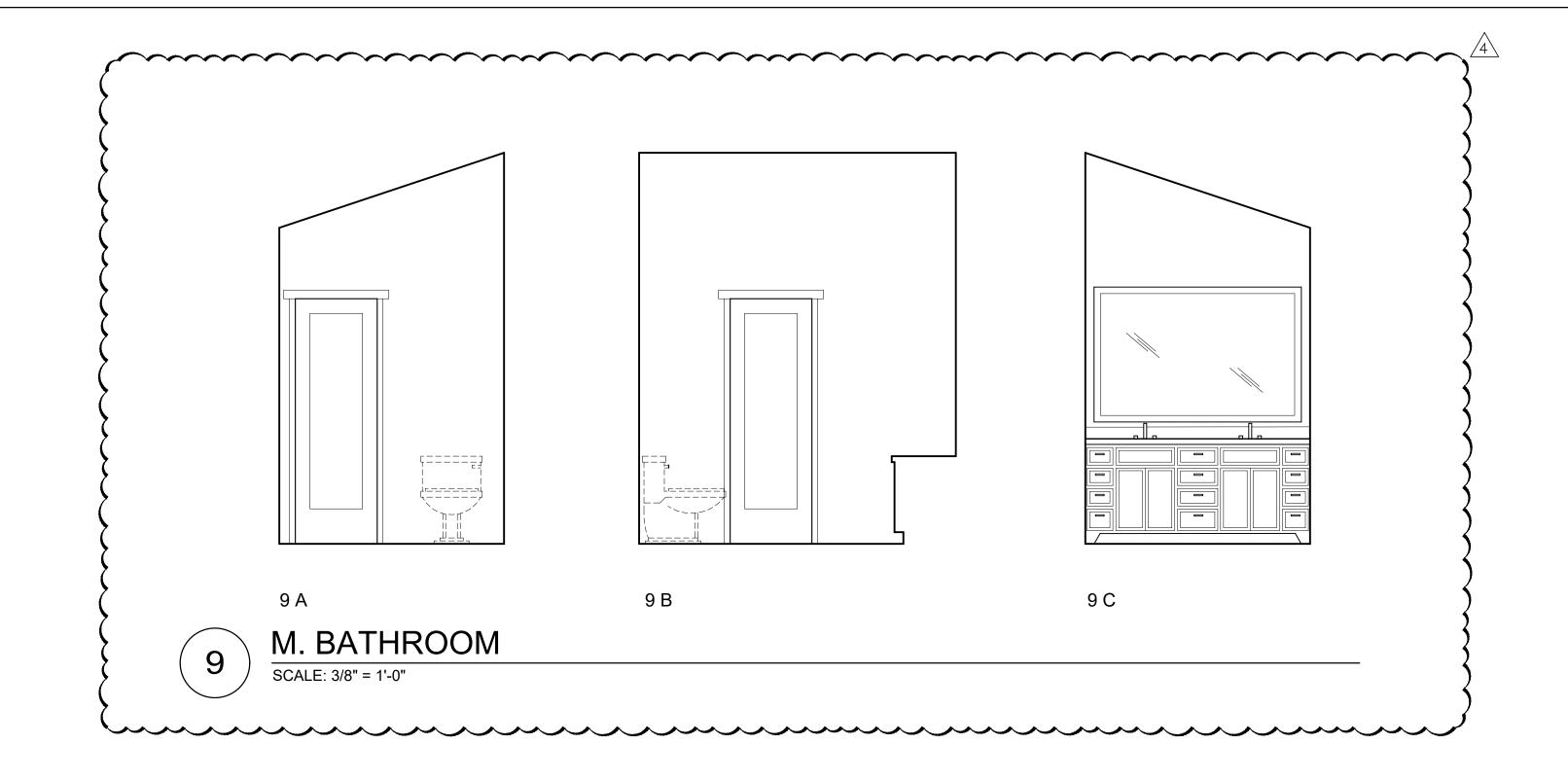
7 D

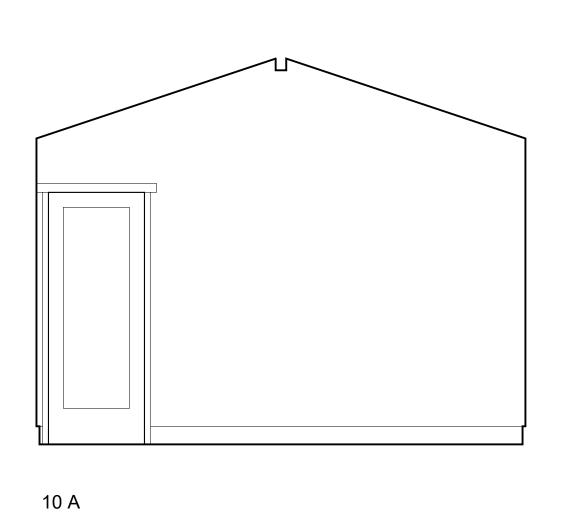
CLOSET / LAUNDRY

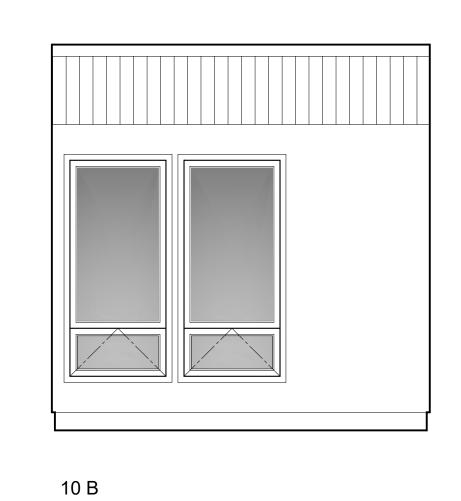
RESIDENC

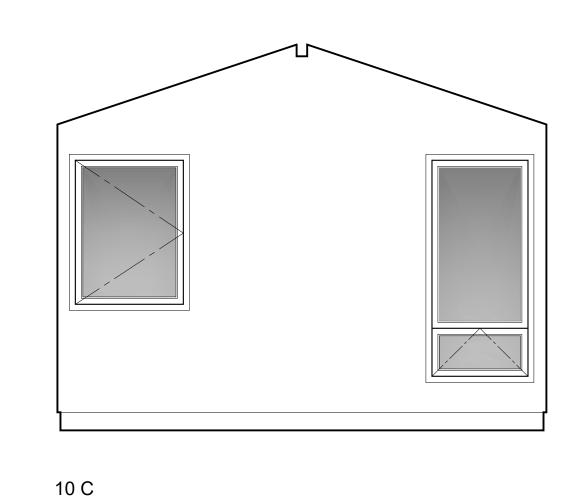
MEYROSE SANTA FE ST. 3 NE CARMEL-BY-THE-SEA A.P.N. 010-

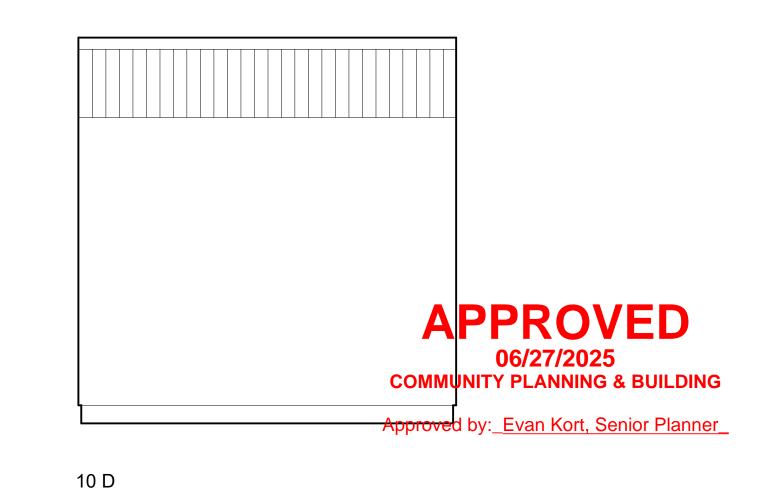
A5.3











M. BEDROOM

SCALE: 3/8" = 1'-0"

HOLDREN+LIETZKE

ARCHITECTURE

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PLAN CHANGE APR 2, 2025

DATE:

SCALE:

DRAWN:

JOB NUMBER:

**REVISION** 

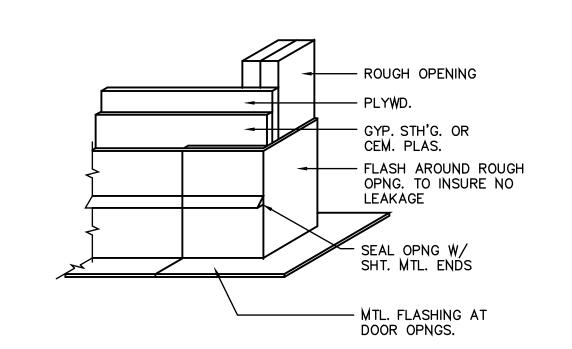
DEC. 03, 2024

RESIDENCE

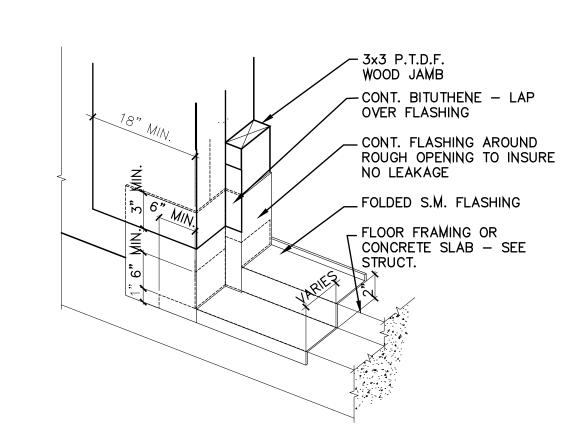
MEYROSE / COMEAU
SANTA FE ST. 3 NE OF 5TH AVE
CARMEL-BY-THE-SEA, CA
A.P.N. 010-037-009

INTERIOR ELEVATIONS

A5.4



#### **THRESHOLD FLASHING** SCALE: N.T.S.



#### **THRESHOLD FLASHING** SCALE: N.T.S.

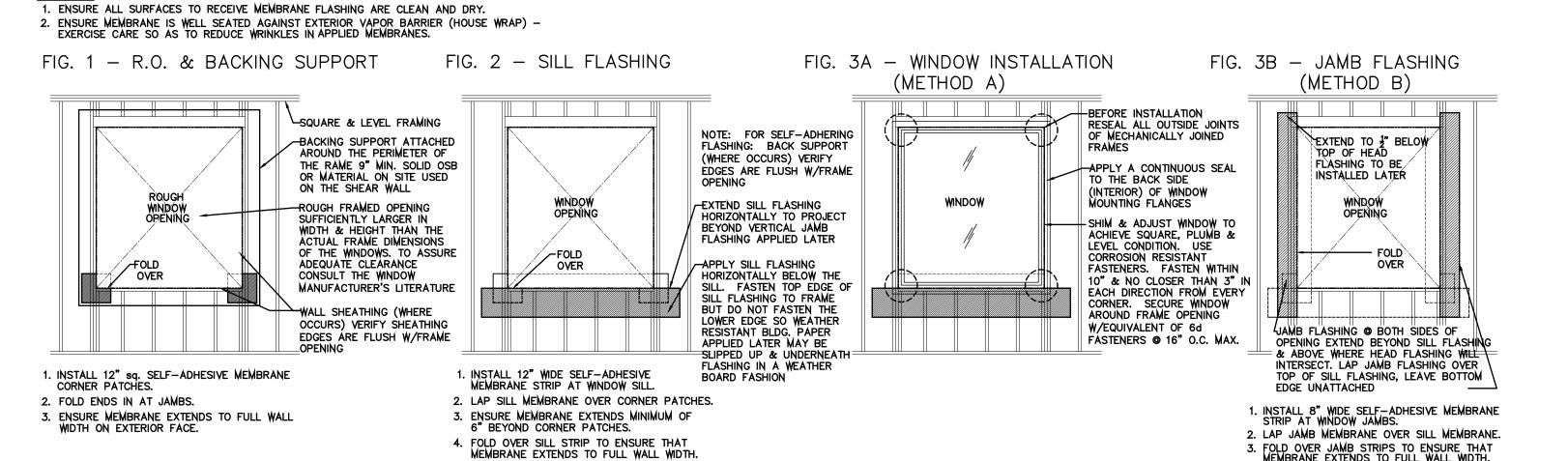
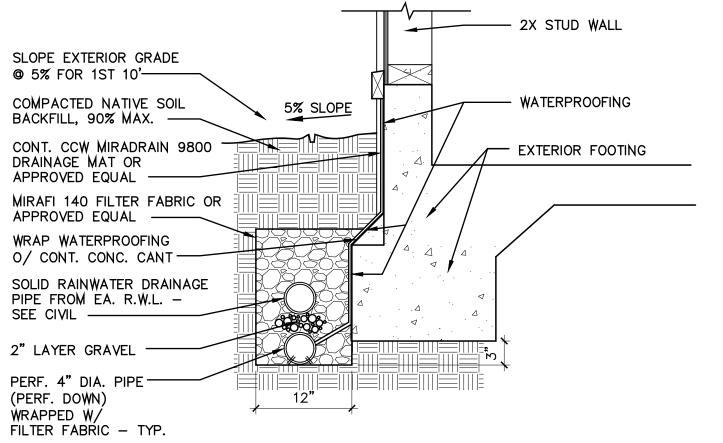
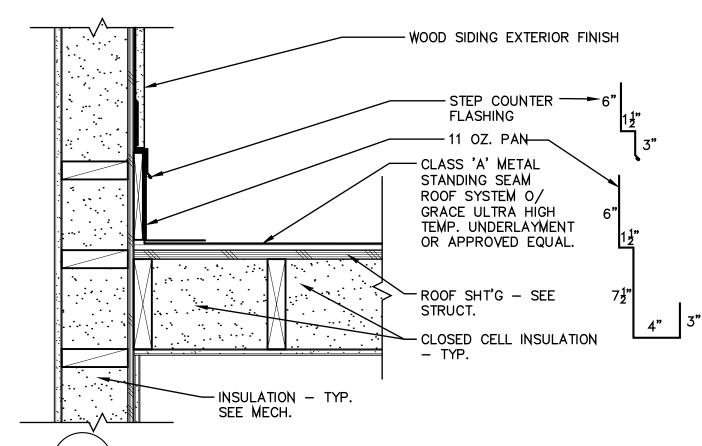


FIG. 6 - PRIMARY WEATHER BARRIER FIG. 5 - HEAD FLASHING FIG. 4A — JAMB FLASHING FIG. 4B - WINDOW INSTALLATION APPLICATION BY OTHERS (METHOD A) (METHOD B) 3RD COURSE OF W.R.B. EXTEND JAMB METHOD 'A': EMBED BOTTOM OF HEAD FLASHING TO YEXTEND JAMB WHERE RECOMMENDED FLASHING AGAINST FLASHING TO 3" LESS THAN TOP OF PREVIOUSLY APPLIED AS PART OF AN HEAD FLASHING EXTERIOR WALL FINISH SEALANT (FLASHING GOES HEAD FLASHING ~TO SEAL WINDOW FRAME TO OVER SEALANT). EXTEND HEAD FLASHING BEYOND SYSTEM INSTALL WATER OPENING APPLY CONT. SEAL RESISTIVE BARRIER EACH JAMB FLASHING, TO BACKSIDE OF MOUNTING (W.R.B.). APPLY IN A SEALANT APPROX. WEATHERBOARD FASHION STARTING FLANGE NEAR OUTER EDGE & FASTEN IN PLACE. 8-1/2" ABOVE TOP OF WINDOW IN LINE W/ANY PRE-PUNCHED HOLES OR SLOTS ON MOUNTING FLANGE FROM BOTTOM TO TOP METHOD 'B': APPLY CONTINUOUS SEAL OF WALL PPLY CONT. SEAL TO HEAD & JAMBS
OF WINDOW. EMBED
JAMB FLASHING
INTO SEALANT & ALONG TOP (HEAD) -BEFORE INSTALLATION BY OTHER TRADES: MOUNTING FLANGE, EMBED OVER RESEAL ALL OUTSIDE JOINTS INSTALL W.R.B. INSULATION BOARD OR BOTTOM OF HEAD OF MECHANICALLY JOINED FLASHING AGAINST FRAMES OTHER MATERIALS OVER FASTEN IN PLACE SEALANT (FLASHING GOES SHIM & ADJUST WINDOW TO ACHIEVE SQUARE, PLUMB & HEAD FLASHING & OVER SEALANT). EXTEND -EXTEND JAMB FLASHING BEYOND OVER TOP OF NAIL-ON HEAD FLASHING BEYOND HEAD FLANGE OF WDW. LEVEL CONDITION. USE EACH JAMB FLASHING, SILL FLASHING & ABOVE WHERE HEAD CORROSION RESISTANT FRAME FASTEN IN PLACE. FASTENERS. FASTEN WITHIN 10" & NO CLOSER └ 2ND COURSE OF W.R.B. 1. INSTALL WINDOW PER MANUFACTURER'S THAN 3" IN EACH DIRECTION FROM EVERY 1. INSTALL 8" WIDE SELF-ADHESIVE MEMBRANE STRIP AT WINDOW JAMBS. - 1ST COURSE OF W.R.B. WRITTEN INSTRUCTIONS. CORNER. SECURE WINDOW 2. INSTALL FLASHING —
EXTEND PAST WINDOW OPENING TO EDGE OF
JAMB MEMBRANE. - SLIP BOTTOM OF JAMB 2. LAP JAMB MEMBRANE OVER SILL MEMBRANE. AROUND FRAME OPENING FLASHING & SILL FLASHING OVER W.R.B. AT BOTTOM OF 3. FOLD OVER JAMB STRIPS TO ENSURE THAT MEMBRANE EXTENDS TO FULL WALL WIDTH. W/ EQUIVALENT OF 6d 3. INSTALL 12" wide SELF-ADHESIVE MEMBRANE OVER G.I. FLASHING, EXTEND 6" PAST JAMB MEMBRANE. FASTENERS @ 16" O.C.

WINDOW FLASHING REQUIREMENTS SCALE: N.T.S.



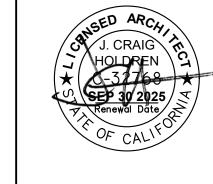
#### TYP. FOUND. DRAINAGE SCALE: 1"= 1'-0"



**ROOF TO WALL FLASHING** SCALE: 1-1/2"= 1'-0"

#### **APPROVED** 06/27/2025 **COMMUNITY PLANNING & BUILDING**





**HOLDREN+LIETZKE** 

**ARCHITECTURE** 

225 CANNERY ROW - SUITE A

MONTEREY, CA 93940

Ph: 831.649.6001

Fax: 831.649.6003

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REVISION

DEC. 03, 2024

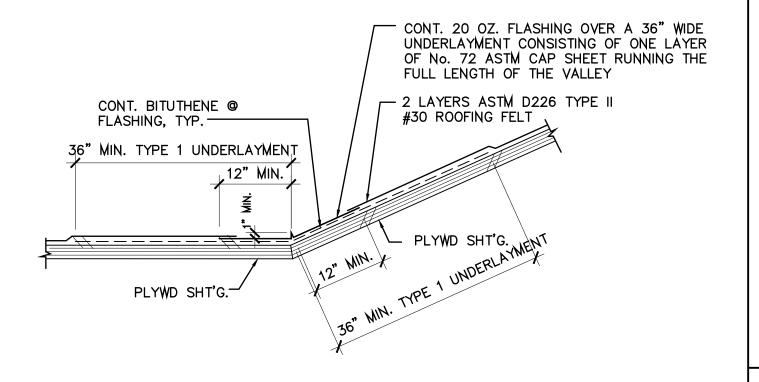
23.14

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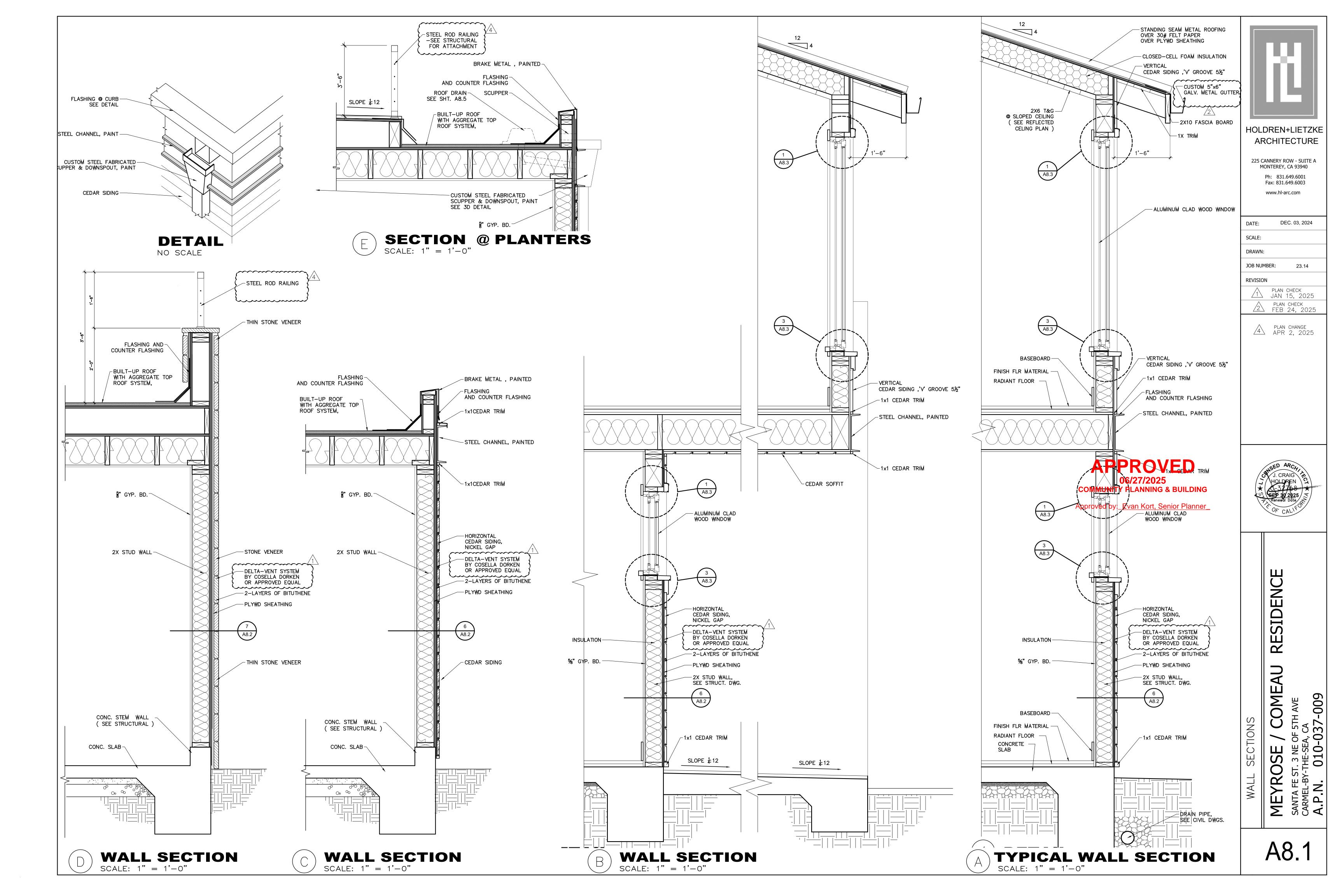
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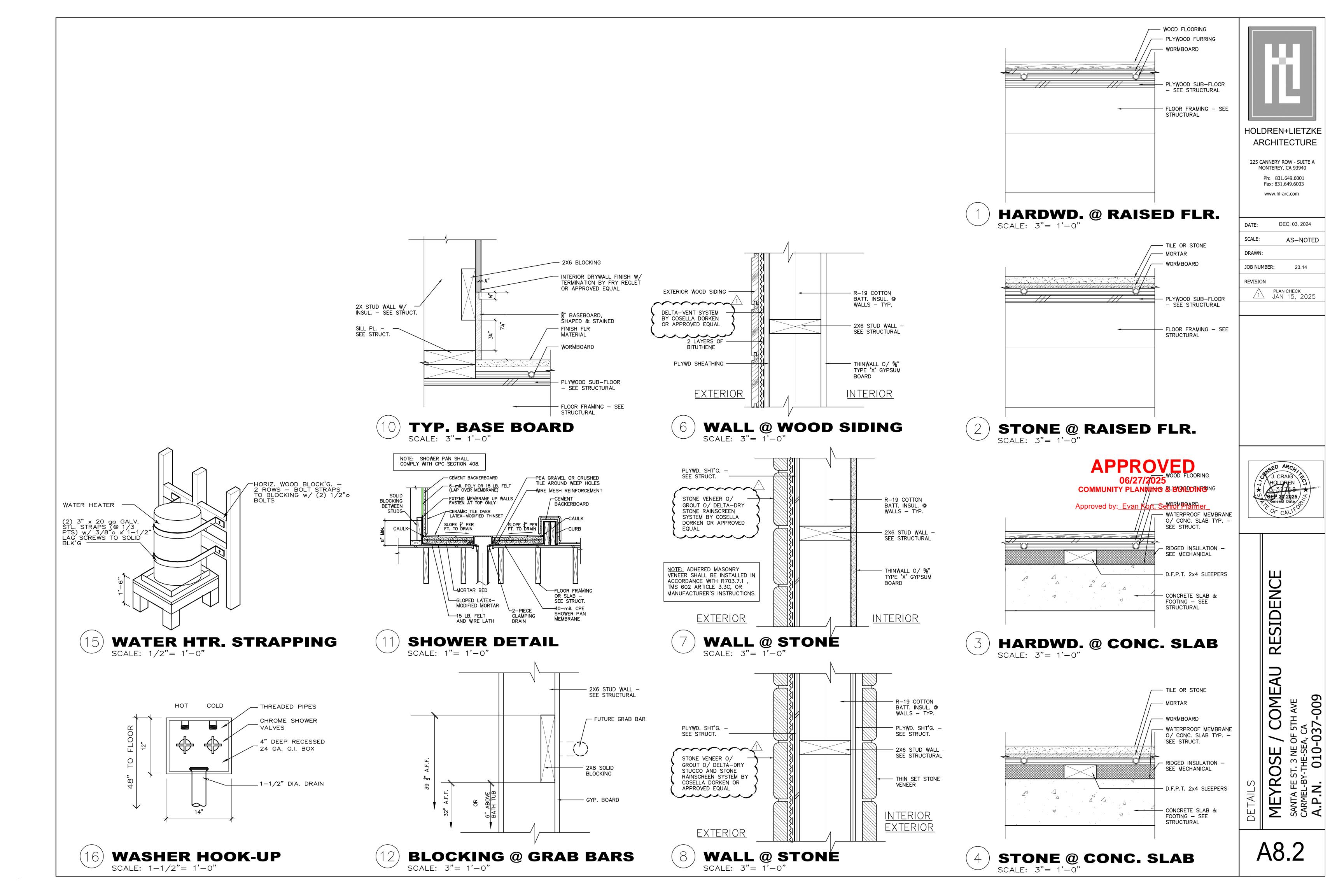
**A8.0** 

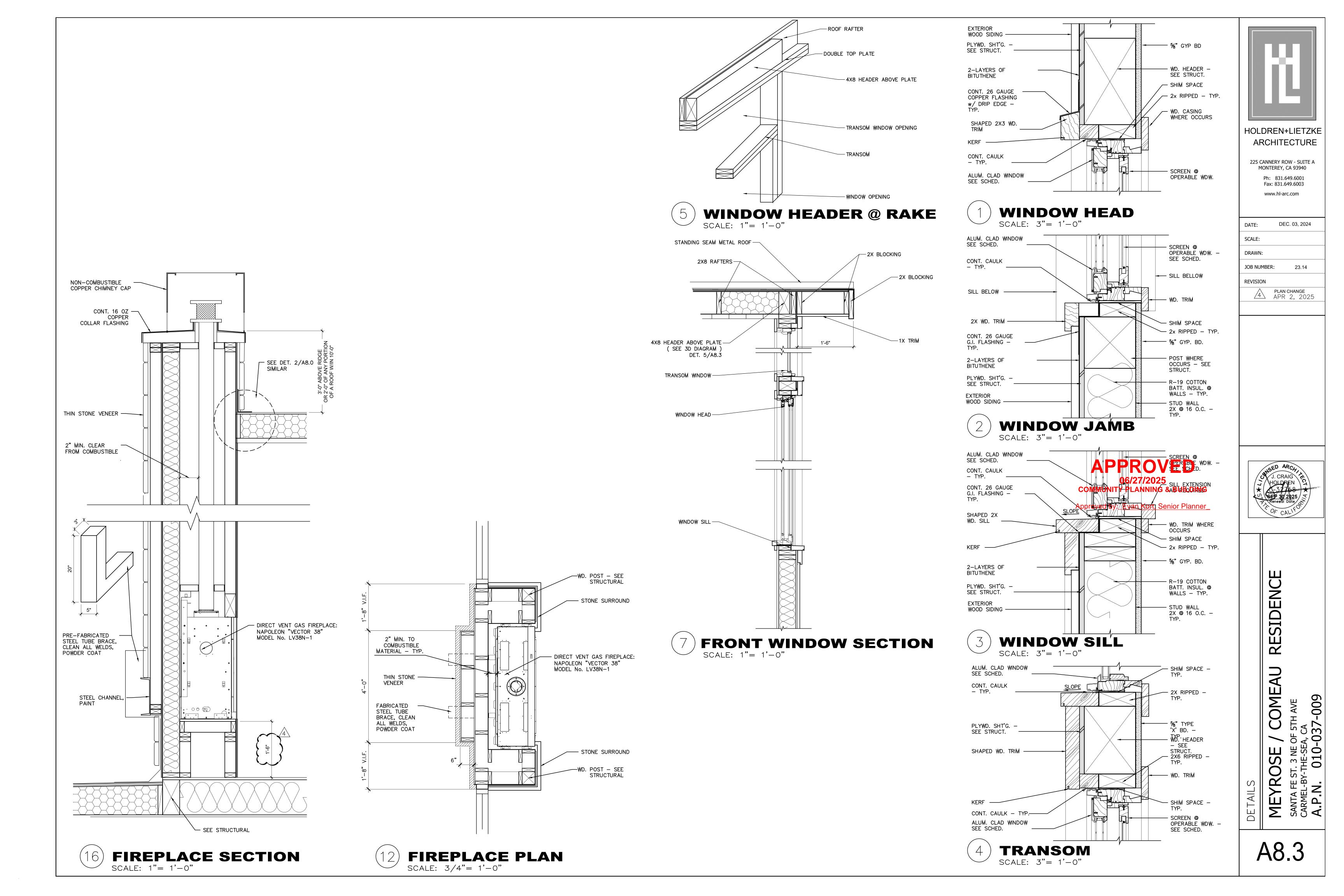


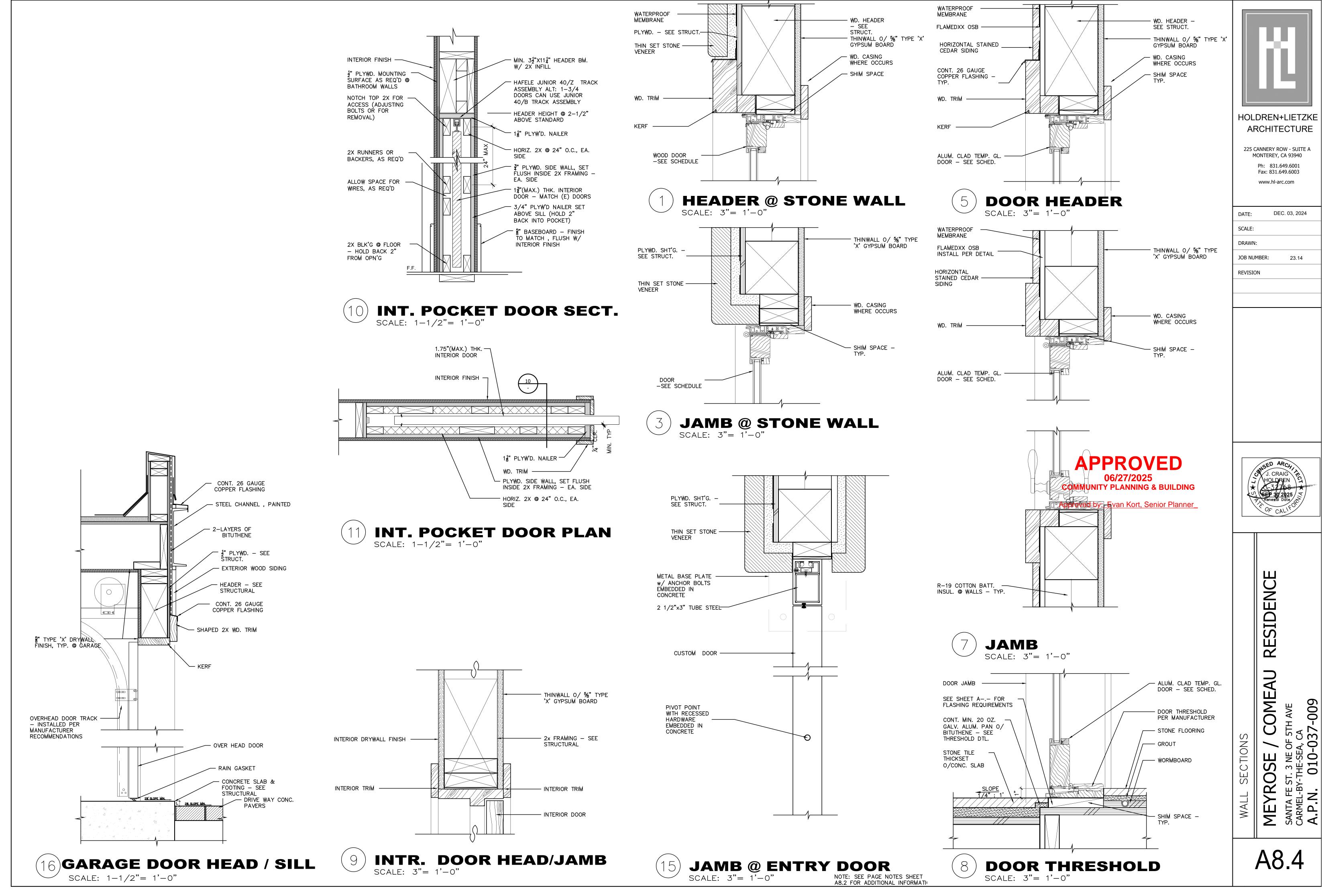


3. FOLD OVER JAMB STRIPS TO ENSURE THAT MEMBRANE EXTENDS TO FULL WALL WIDTH.





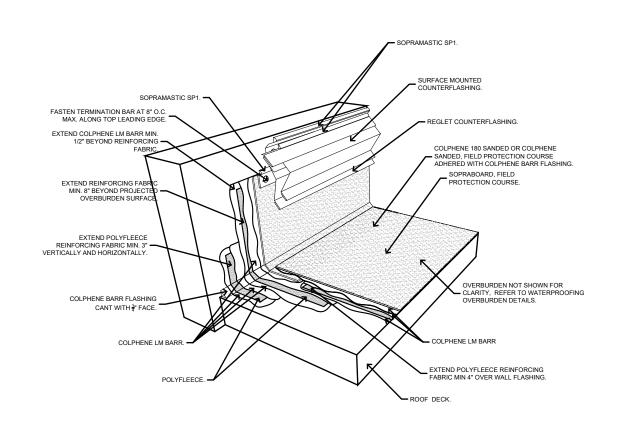




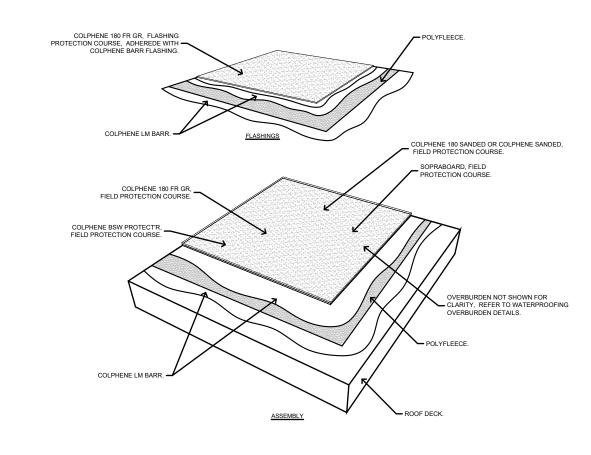
> Ph: 831.649.6001 Fax: 831.649.6003 www.hl-arc.com

23.14

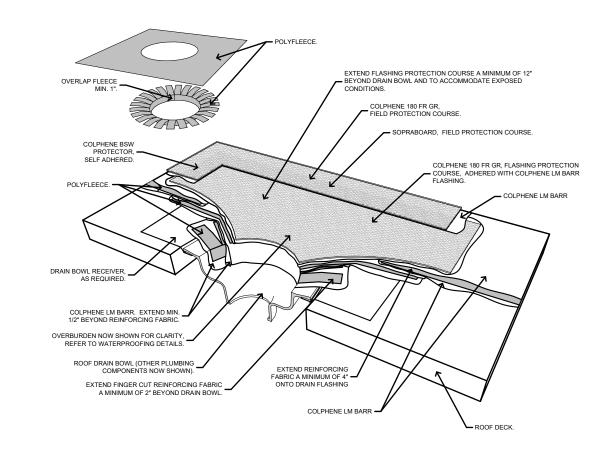
J. CRAIG



#### **WALL FLASHING** NO SCALE



#### WATERPROOFING NO SCALE



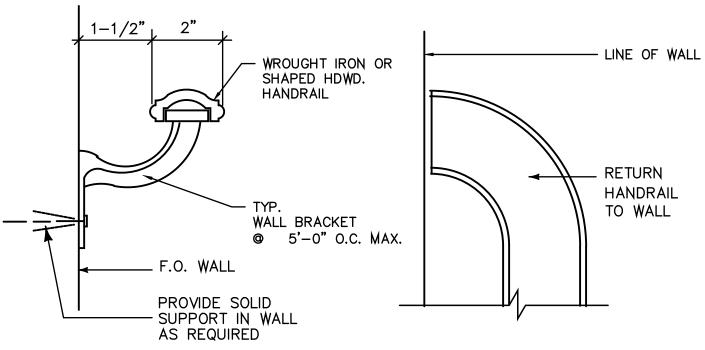
ROOF DRAIN DETAIL NO SCALE

#### <u>STAIR NOTES:</u>

- MAXIMUM 7.75-INCH RISE AND MINIMUM 10-INCH RUN.
- 2. MINIMUM 6 FEET 8 INCH VERTICAL HEADROOM MEASURED AT STAIRWAY TREAD NOSING. 3. MINIMUM 36 INCH CLEAR WIDTH. 4. THERE SHALL BE A FLOOR OR A LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY OR
- STAIR RUN. 5. AT LEAST ONE INTERMEDIATE LANDING SHALL BE PROVIDED FOR EACH 12 FEET OF VERTICAL
- STAIRWAY RISE MEASURED BETWEEN THE HORIZONTAL PLANES OF ADJACENT LANDINGS. 7. ALL USEABLE SPACE UNDER INTERIOR STAIRS TO HAVE 5/8" TYPE 'X' GYP. BD. INSTALLED OVER FRAMING ON ALL SURFACES.
- <u>HANDRAIL:</u> INSTALL A CONTINUOUS HAND RAIL AT STAIRS WITH 4 OR MORE RISERS
- 2. HANDRAIL SHALL BE 34 INCHES TO 38 INCHES ABOVE THE NOSING OF TREADS. 3. THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1-1/4 INCH NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION.
- GUARDS ON THE OPEN SIDE OF STAIRS WITH 4 OR MORE RISERS SHALL HAVE THE FOLLOWING
- 1. GUARDS USED AS HANDRAIL SHALL BE BETWEEN 34 TO 38 INCHES IN HEIGHT AND HAVE INTERMEDIATE RAILINGS SPACED SO THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS
- 2. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE SUCH THAT A SPHERE 6
- INCHES IN DIAMETER CANNOT PASS THROUGH. 3. PROVIDE A MINIMUM 36 INCH HIGH PROTECTIVE GUARDRAIL AT UN-ENCLUSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, AISLES, LANDINGS AND RAMPS, BALCONIES OR PORCHES, WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR FLOOR BELOW, AND ROOFS
- USED FOR OTHER THAN SERVICE OF BUILDING SHALL BE PROTECTED BY GUARDRAIL 4. GLASS GUARD RAIL SHALL COMPLY WITH THE APPLICABLE REQIREMENTS OF CPSC 16 CFR 1201 OR ANSI9701-2015

### **STAIR NOTES**

SCALE: N.T.S.



WALL MTD. HANDRAIL

HANDRAIL TERMINATION (PLAN VIEW)

**RB50F SERIES** 

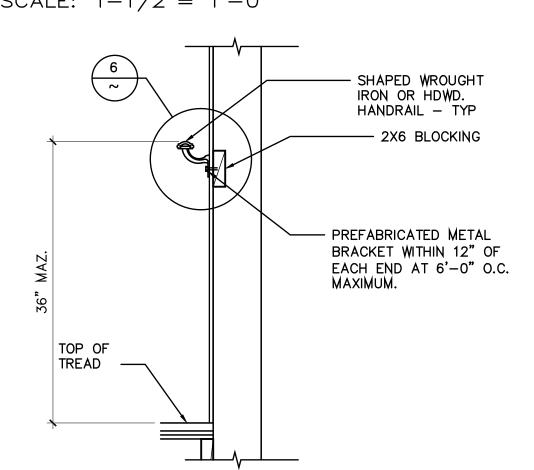
CUSTOM RAIL ANCHOR PLATE

WOOD STAIR TREAD

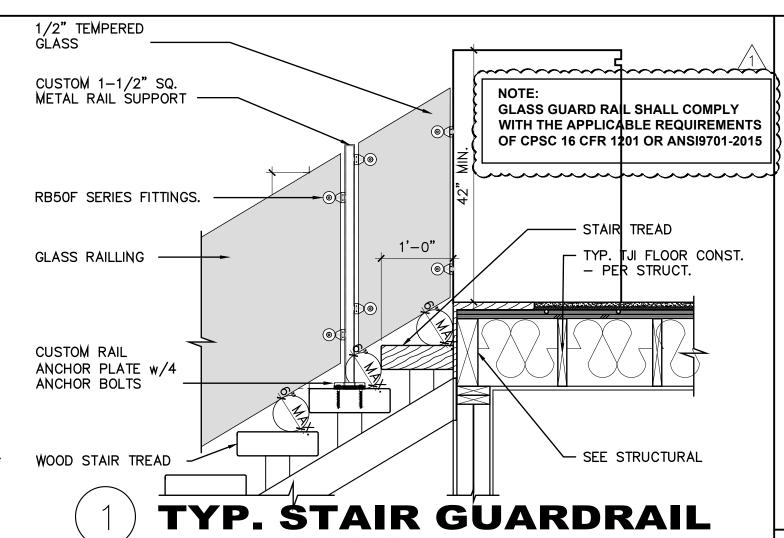
FITTINGS.

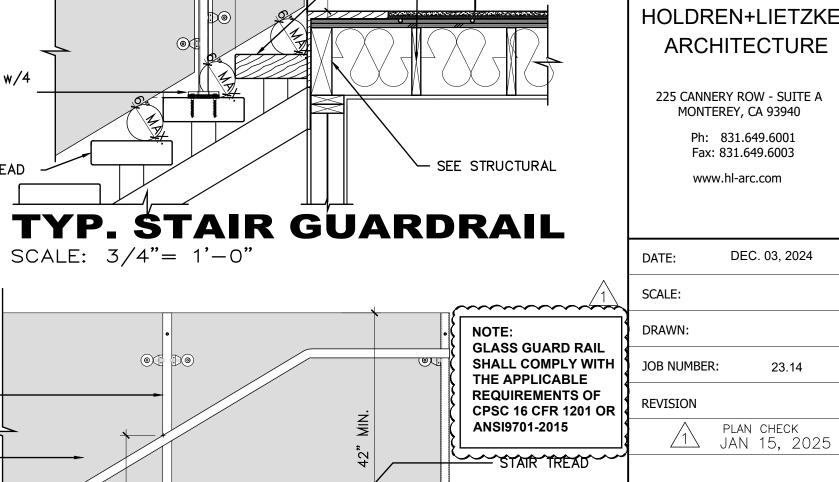
GLASS RAILLING

#### TYP. HANDRAIL SCALE: 1-1/2"= 1'-0"



## TYP. STAIR HANDRAIL SCALE: 1"= 1'-0"





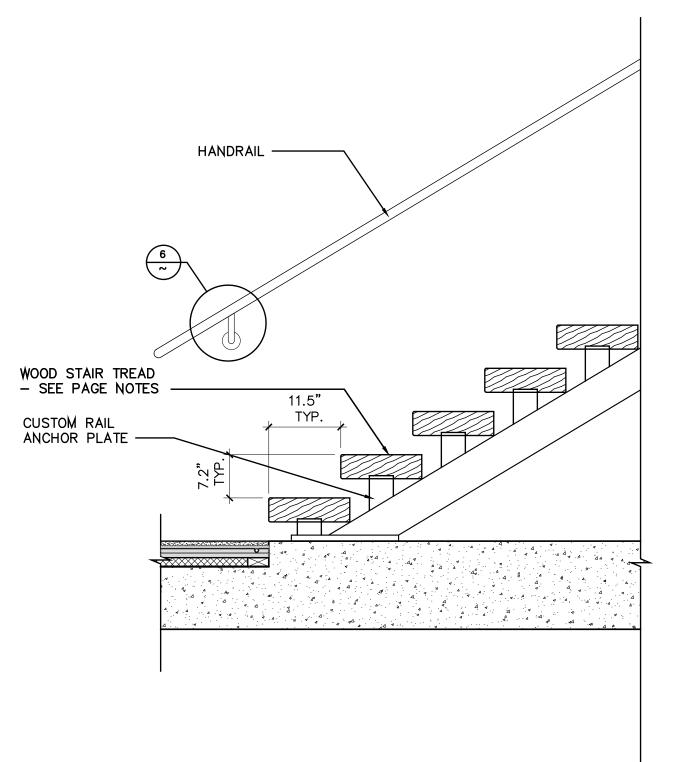
TYP. TJI FLOOR

STRUCT.

CONST. - PER



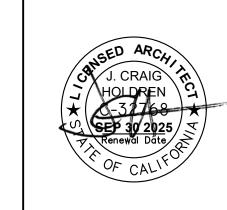




TYP. STAIR HEAD

SCALE: 3/4"= 1'-0"





RESIDENCE COME/ SECTIONS

GA 37-009 MEYROSE

WALL

A8.5

## PLUMBING, POWER & LIGHTING NOTES

#### INSTALLATION:

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH NEC AND STATE OF CALIFORNIA TITLE 24 REQUIREMENTS & LATEST EDITIONS, LOCAL CODES & REGULATION & ALL OTHER APPLICABLE CODES & ORDINANCES. INSTALLATION SHALL BE IN A WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH THE ELECTRICAL CONTRACTORS ASSOCIATION OF INSTALLATION.
- 2. AN APPROVED MEANS OF DISCONNECT FOR THE ELECTRICAL SUPPLY TO EACH PIECE OF EQUIPMENT (FORCED AIR UNIT, WATER HEATER) SHALL BE PROVIDED IN SIGHT OF THE EQUIPMENT SERVED WHEN THE SUPPLY VOLTAGE EXCEEDS 50 VOLTS
- ALL SITE ELECTRICAL, GAS & PLUMBING SHALL BE RUN UNDERGROUND. ALL PERMITS & PRE-DIG REQUIREMENTS SHALL BE MET PRIOR TO INSTALLATION.
- 4. ALL INSTALLED RECEPTACLE OUTLETS SHALL BE LISTED TAMPER RESISTANT.
- 5. RECEPTACLE OUTLETS, SWITCH AND CONTROL HEIGHTS BE LOCATED NO MORE THAN 48" A.F.F. AND NO LESS THAN 15" A.F.F., SIMILARLY DOORBELL BUTTONS SHALL NOT EXCEED 48" ABOVE THE EXTERIOR FLOOR OR LANDING.

#### CIRCUITS:

- KITCHEN AND BATHROOMS: ALL ELECTRICAL OUTLETS
   SHALL HAVE GFCI PROTECTION.
   BATHROOMS: ELECTRICAL OUTLETS SHALL BE SUPPLIED BY
- AT LEAST ONE 20-AMP BRANCH CIRCUIT. THE CIRCUITS SHALL HAVE NO OTHER OUTLETS PER NEC 210-52(D). IN ADDITION TO OTHER BRANCH CIRCUIT REQUIREMENTS, AT LEAST ONE 20 AMP BRANCH CIRCUIT WILL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS CEC 210-11(C).
- 3. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS (INCLUDING LUMINARIES) AND ARE NOT REQUIRED TO BE PROTECTED BY A GROUND FAULT CIRCUIT INTERRUPTER (GFCI) SHALL BE PROTECTED BY AN ARC—FAULT CIRCUIT INTERRUPTER (AFCI) LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. (CEC ARTICLE 210.12(B)).
- 4. HOMERUN ALL CIRCUITS TO ELECTRICAL PANEL.
  5. APPLIANCES: TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE INSTALLED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING RM., PANTRY, OR OTHER
- SIMILAR AREAS. (210.11(C)(1) CEC)

  6. EACH MULTI-BRANCH WIRE CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES.
- 7. ALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY, DINING, LIVING & RECREATION ROOMS, PARLORS, LIBRARIES, DENS, BEDROOM, SUNROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED CONBINATION—TYPE ARC FAULT CIRCUIT INTERRUPTER.

#### <u>LIGHTING</u>

ALL LIGHTS THROUGHOUT THE RESIDENCE, INCLUDING
THE GARAGE AND EXTERIOR, SHALL BE HIGH EFFICACY.
 LIGHTING IN HABITABLE SPACES, INCLUDING BUT NOT
LIMITED TO LIVING ROOMS, DINING ROOMS, KITCHENS
AND BEDROOMS, SHALL HAVE READILY ACCESSIBLE
WALL-MOUNTED DIMMING CONTROLS THAT ALLOW THE

LIGHTING TO BE MANUALLY ADJUSTED UP AND DOWN.

- 3. BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS, AT LEAST ONE INSTALLED LUMINAIRE SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY.
- 4. OUTDOOR LIGHTS MUST BE HIGH EFFICACY AND CONTROLLED BY AN ASTRONOMICAL TIME CLOCK OR BY BOTH A MOTION SENSOR AND PHOTOCELL.

#### SMOKE DETECTORS:

- 1. BEDROOMS: SMOKE DETECTORS (110 VOLT) TO BE INTERCONNECTED TO SOUND ALARM AUDIBLE IN ALL BEDROOMS OF DWELLING.
- 2. WHERE CONSTRUCTION IS NEW, ALL SMOKE ALARMS SHALL BE "HARD WIRED", SHALL BE EQUIPPED WITH BATTERY BACKUP, AND SHALL BE INSTALLED AS INDICATED ON PLANS.
- 3. WHERE CONSTRUCTION IS EXISTING, ALL SMOKE ALARMS MAY BE BATTERY OPERATED AND SHALL BE INSTALLED IN LOCATIONS AS SPECIFIED ON PLANS.

#### PLUMBIN

- . ALL SHOWER HEADS SHALL HAVE A MAX. FLOW
- RATE OF 1.8 G.P.M. @ 80 P.S.I.

  2. LAVATORY FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 G.P.M. @60 P.S.I. KITCHEN FAUCETS: SHALL HAVE A MAX. FLOW RATE OF 1.8 G.P.M. @ 60 P.S.I.
- 3. WATER CLOSETS SHALL NOT USE MORE THAN 1.28 GAL. PER FLUSH
- 4. USE FIBERGLASS OR CEMENT BASED BACKER BOARD AT ALL NEW FAUCET, SINK & TILE LOCATIONS.
- 5. NON-ABSORBANT WALL MATERIAL IN SHOWER SHALL
  BE 76" A.F.F. MIN.
- 6. THE MAXIMUM HOT WATER TEMPERATURE
  DISCHARGING FROM THE BATHTUB, WHIRLPOOL
  BATHTUB, AND SHOWER/TUB COMBO FILTERS SHALL
  BE LIMITED TO 120 DEGREES FAHRENHEIT. THE
  WATER HEATER THERMOSTAT SHALL NOT BE
  CONSIDERED A CONTROL FOR MEETING THIS
  PROVISION

## EXTERIOR LIGHTING SPECIFICATION

**DIMENSIONS** 

#### "A" JUNO (RECESSED DOWNLIGHT)

PRODUCT DESCRIPTION

The round MD1LG2 Mini LED recessed downlight is IC rated for insulated or non-insulated applications • Sleek, compact form factor provides direct accent lighting with low glare optic system that approximates the light output and distribution of 20W halogen lamps • Ideal for both residential and commercial limited space applications including niches, bookshelves, displays and cabinets • Remote mount Class 2 120V to 12V

## AC electronic or magnetic transformer required • Designed to provide 50,000 hours of life • 5 year limited warranty on LED components. ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT

No harmful ultraviolet or infrared wavelengths
No lead or mercury
Comparable light output to 20W MR11 halogen lamps while

#### PRODUCT SPECIFICATIONS

LED Light Engine High performance, low power LEDs provide outstanding reliability, performance and color quality/consistency
• 2700K, 3000K, 3500K or 4000K color temperatures available
• 80 or 90 CRI minimum.

Optical System Fixtures are offered with a choice of spot, narrow flood or flood beam patterns • LED source concealed with lensed optic is deeply regressed into an internal reflector to produce a low glare system • Reflectors finished to match trim ring color for uniform appearance • Field replacement of optical lenses is NOT recommended.

Transformer Requires remote mount Class 2, 120V to 12V AC electronic or magnetic transformer for operation • Juno TL602E electronic transformer and MAGXFMR magnetic transformer are designed specifically for use with these fixtures.

specifically for use with these fixtures. **Dimming** May be dimmed with dimmers tested and qualified by Juno for use with <u>IL602E</u> and <u>MAGXFMR</u> – see transformer specifications for compatible dimmers • Color temperature remains constant over dimming remains • Consult factory for additional information.

## range • Consult factory for additional information. Life Rated for 50,000 hours at 70% lumen maintenance. Labels UL Listed for indoor damp locations and daisy chaining • Union made • UL and cUL listed • RoHS compliant. Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.

Specifications subject to change without notice.

## HOUSING FEATURES Housing Designed for use in IC (insulated ceiling) or non-IC construction • Die cast aluminum housing. Wiring Compartment Provided with removable access plate • Four pole terminal block allows for quick, secure connection • UL /cUL listed for daisy

wiring methods.

Mounting Tempered spring steel torsion clips are provided fully assembled to housing • Springs allow for fast, secure installation or removal in mounting surfaces from 1/8" to 1" thick material • 2" Cutout dimension corresponds to common hole saw size.

chaining • Easy to wire with commonly available low voltage cable (Type CL2 or NEC equivalent, 18-12 AWG). Consult local codes for compliant

# 2 7/8" 2 7/8" 2 7/8" 2 7/8"

TL602E 25W 120 12AC WH	White	25W 12V AC Electronic Transformer
TL602E 60W 120 12AC WH	White	60W 12V AC Electronic Transformer
MAGXFMR 1C 10W 120 12AC BL	Black	10W 12V AC Magnetic Transformer
MAGXFMR 1C 25W 120 12AC BL	Black	25W 12V AC Magnetic Transformer
MAGXFMR 1C 60W 120 12AC BL	Black	60W 12V AC Magnetic Transformer
To order, specify catalog number.		

10W 12V AC Electronic Transformer

#### Input Voltage

**TRANSFORMERS** 

Input Voltage	12VAC
Input Power	4.8W
Input Current	0.42A
Frequency	Varies with Transformer

#### ORDERING INFORMATION

Series Fixture Form		Lumens	Color Temperature	CRI	Distribution	Trim Finish	
MD1LG2	RD Round	O3LM 300 Nominal Lumens	<b>27K</b> 2700K	80CRI 80+ CRI	FL Flood	<b>BL</b> Black	
			<b>30K</b> 3000K	90CRI 90+ CRI	NFL Narrow Flood	BRZ Bronze	
			35K 3500K		SP Spot	SN Satin Nickel	
			<b>40K</b> 4000K			WH White	

#### TB" HINKLEY (WALL SCONCE)

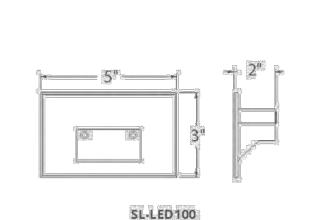




additional wall washing, and a small flush mount.

FINISH:	Black		
MATERIAL:	Composite		
GLASS:	Etched Lens		
DIMMABLE:	YES, CL TYPE DIMMER (SSL7A)		
DIMENSIONS	1		
WIDTH:	4.5"		
HEIGHT:	8"		
WEIGHT:	1.3lb		
BACK PLATE:	4.5"W x 4.75"H		
EXTENSION:	5.8"		
TOP TO OUTLET:	4"		
	İ		
Watts	4.5W		
Incandescent Equivalent	35W		
micania co como aquiranom			
Volts	120V		
Volts	120V MR16		
Volts			
Volts Shape Base	MR16		
Volts Shape	MR16 Bi Pin GU10		
Volts Shape Base ANSI Base	MR16 Bi Pin GU10 GU10		
Volts Shape Base ANSI Base Finish CCT (Kelvin)	MR16 Bi Pin GU10 GU10 White		
Volts Shape Base ANSI Base Finish CCT (Kelvin) Temperature	MR16 Bi Pin GU10 GU10 White 3000K		
Volts Shape Base ANSI Base Finish	MR16 Bi Pin GU10 GU10 White 3000K Warm White		
Volts Shape Base ANSI Base Finish CCT (Kelvin) Temperature CRI Lumens	MR16 Bi Pin GU10 GU10 White 3000K Warm White 80+		
Volts Shape Base ANSI Base Finish CCT (Kelvin) Temperature CRI Lumens Beam Spread	MR16 Bi Pin GU10 GU10 White 3000K Warm White 80+ 360L		
Volts Shape Base ANSI Base Finish CCT (Kelvin) Temperature CRI Lumens Beam Spread Dimmable	MR16 Bi Pin GU10 GU10 White 3000K Warm White 80+ 360L 40		
Volts Shape Base ANSI Base Finish CCT (Kelvin) Temperature CRI	MR16 Bi Pin GU10 GU10 White 3000K Warm White 80+ 360L 40 Yes-Dimmable		

#### "C" MODERN FORMS (STEP LIGHT)



PRODUCT DESCRIPTION	
Elevate your design and step up to a minimalist aesthetic that highli	ghts a low pro
style that flush mounts for a clean look. Ideal lighting for safety and	security. A fro
lensdelivers beautiful balanced illumination that is shadow free with	n little glare. W
listed for both interior and exterior application on stairs and walls.	
FEATURES	
ACLED driverless technology	
• Low profile, flush to wall aesthetics with no visible hardware	•

• ACLED driverless technology
• Low profile, flush to wall aesthetics with no visible hardware
• Frosted lens
• "Fits into 2" × 4" J-Box with minimum inside dimensions of 3" L × 2" W × 2" H. Include bracket for J-Box mount."
• 0-10V dimming option available (special order), unit dimensions: 3.4" x 1.2" x 0.5" (model#LDS065M010AFE-LO1)

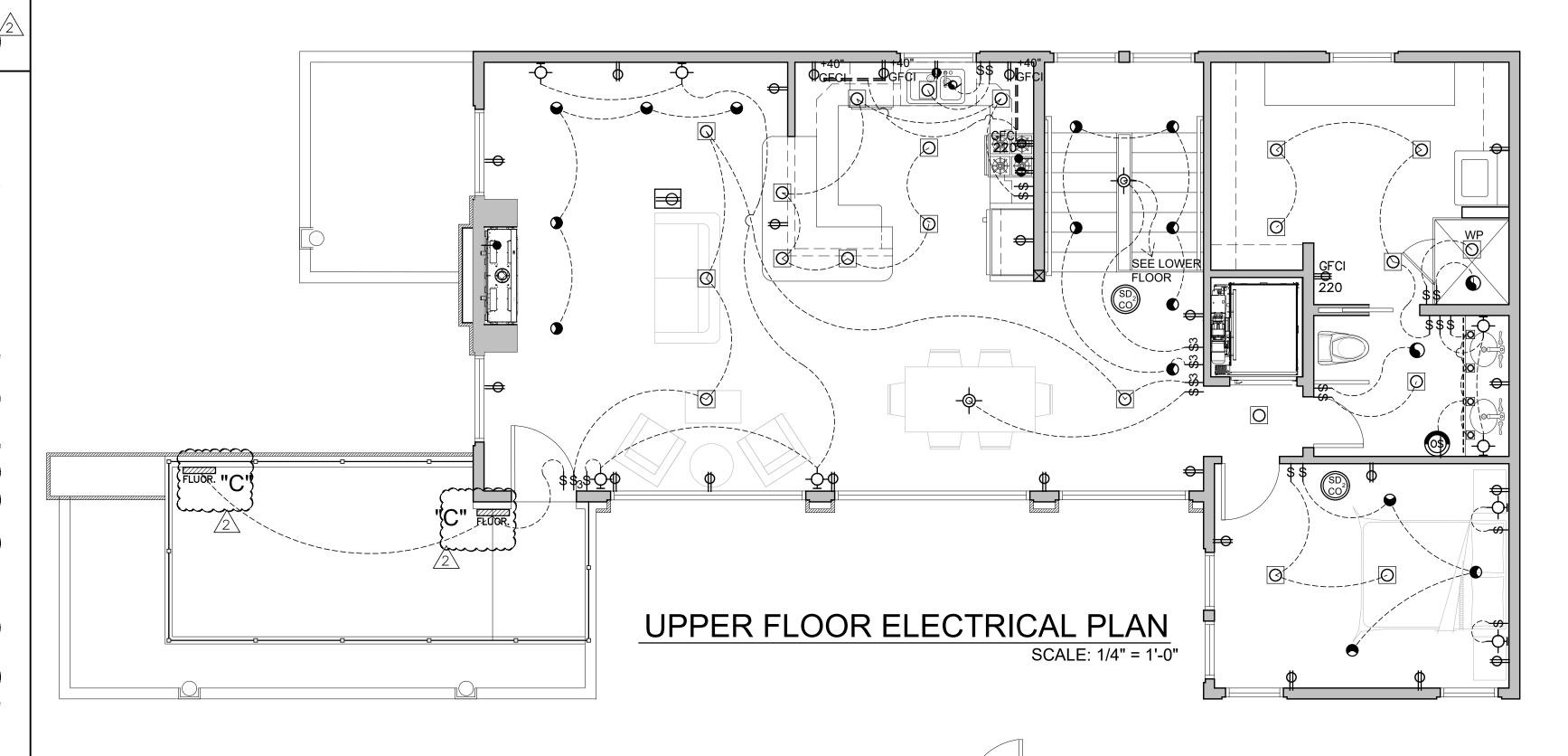
SPECIFICATIONS

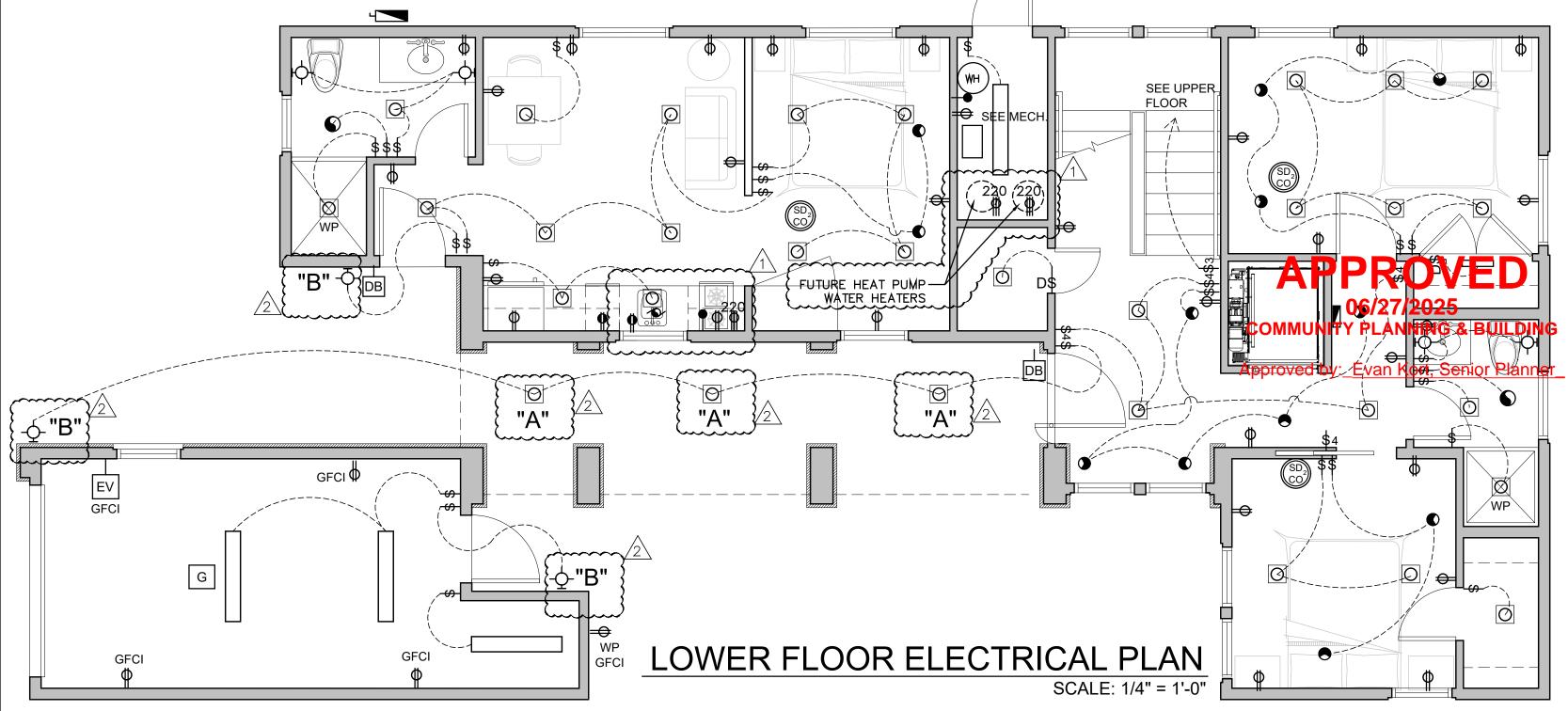
Die cast aluminum,316 Marine grade stainless steel

Standards	ETL, cETL,Wet Location Listed,IP66,Title 24 JA8: 2019 Compliant,Al
Input	120 VAC,50/60Hz DELIVERED LUMENS = 24
Dimming	ELV
Mounting	Can be mounted on wall in all orientations
Color Temp	3000K DOWN LITE, MAX. HEIGHT OF 18 IN. ABOVE WALKING SURFACE
CRI	90 OF 18 IN. ABOVE WALKING SURFACE

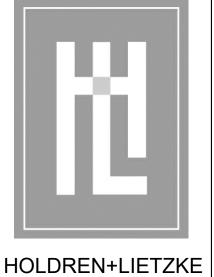
54000 Hours

I FD Watte	LED Lumens	Dolivered Lumens	





LIGHTING AND POWER SYMBOLS LEGEND							
₩	SINGLE POLE ON/OFF SWITCH — INSTALL DIMMER ON SWITCHES TO ALL NON-FLUOR. FIXTURES	- <b>TV</b>	TELEVISION / DATA CONNECTION - VERIFY TYPE, SERVICE AND LOCATION WITH OWNER	OLED	CREE LIGHTING - LR4: MED. RECESSED IC HOUSING		
<del>-0</del> 5	3-WAY SWITCH	•	GAS		CEILING MOUNT PENDANT		
<del>-</del> &_4	SINGLE POLE DOOR ON/OFF SWITCH		COMBINATION CARBON MONOXIDE & SMOKE DETECTOR W/ PRIMARY POWER FROM BUILDING & BATTERY BACKUP	ф-	WALL MOUNT/WALL SCONCE LIGHT FIXTURE (WP = SUITABLE FOR DAMP OR WET LOCATIONS)		
<del> </del>				FLUOR.	RECESSED FLUORESCENT STEP LIGHT PROVIDING 40 LUMENS/WATT OR GREATER		
<b>(3)</b>	MANUAL-ON/AUTOMATIC-OFF OCCUPANCY/ VACANCY SENSOR SWITCH	Н	HOOD FAN AND LIGHT	<del>+</del>	SURFACE MOUNTED CEILING FIXTURE PROVIDING 40 LUMENS/W OR GREATER		
<b>=</b>	DUPLEX OUTLET WITH ARC FAULT CIRCUIT INTERRUPT	<b>1</b>	GARBAGE DISPOSAL W/AIR SWITCH	FLUOR.	FLUORESCENT GENERAL LIGHTING PROVIDING 40 LUMENS/WATT OR GREATER		
GFCI	DUPLEX OUTLET WITH GROUND FAULT CIRCUIT INTERRUPT	-DB	DOORBELL WITH CHIME RING	FLUOR.	FLUORESCENT UNDER CABINET LIGHTING PROVIDING 40 LUMENS/WATT OR GREATER		
#	FOURPLEX OUTLET W/AFCI	G	GARAGE DOOR OPENER - LISTED AND LABELED IN ACCORDANCE WITH "UL 325"	→ → LED	STR2 - SURFACE MOUNTED LED STRIP LIGHT		
<b>⇒</b>	HALF SWITCHED DUPLEX OUTLET W/AFCI		200 AMP PRIMARY PANEL WITH TYPE 1 SURGE PROTECTOR DEVICE		SURFACE MOUNTED LED LIGHT		
<del>-</del>	BELOW COUNTER/APPLIANCE DUPLEX OUTLET		SUB-PANEL LOCATION	M	LOW VOLTAGE UPLIGHT LUMINARY		
<del>2</del> 20	220 OUTLET IF REQUIRED FOR EQUIPMENT	M	SERVICE ENTRANCE AND METER - SEE CIVIL		LED KICK STRIP LIGHT		
₩	WATERPROOF-LABLED "SUITABLE FOR WET" OR "SUITABLE FOR DAMP LOCATIONS"	•	ULTRA QUIET ENERGY STAR EXHAUST FAN - 5 AC/HR VENTED TO THE OUTSIDE	Ms	MOTION SENSOR & PHOTOCELL W/ TIMER FOR ALL LOW EFFICACY LIGHTS (30 MIN. MAX.)		
	FLOOR DUPLEX W/BRASS COVER, PLUG HEAD RECESSED BELOW FLOOR LEVEL		RECESSED LED CAN IN 4" APERTURE (WP = SUITABLE FOR DAMP OR WET LOCATIONS)	44	MOTION SENSOR FLOOD LIGHT		
<del></del>	HALF SWITCHED FLOOR DUPLEX W/BRASS COVER, PLUG RECESSED BELOW FLOOR LEVEL.	0	RECESSED CAN, HIGH EFFICIENCY LIGHT	<del></del>	HOSE BIBB		
<u>(</u>	JUNCTION BOX	•	LOW VOLTAGE DOWNLIGHT W/ DIRECTIONAL LENS	A	PROVIDE FLUOR. FIXT., SWITCH & GFCI DUPLEX OUTLET IN ATTIC SPACE ADJACENT TO ACCESS		
<b>+</b>	DATA/SIGNAL OUTLET-VERIFY LOCATION W/OWNER (WIRING: CAT 6 NETWORK CABLE)	(WH)	WATER HEATER ON 18" HIGH PLATFORM	EV	ELECTRIC VEHICLE CHARGING STATION		



HOLDREN+LIETZKI ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940

Ph: 831.649.6001
Fax: 831.649.6003

www.hl-arc.com

DATE:	DEC. 03, 2024
SCALE:	
DRAWN:	1/4"=1
JOB NUMBE	R: 23.14
REVISION	
1	PLAN CHECK

PLAN CHECK
JAN 15, 2025

PLAN CHECK
FEB 24, 2025

PLAN CHECK MAR 6, 2025



COMEAU RESIDENCE

MEYROSE / C(
SANTA FE ST. 3 NE OF 5TH
CARMFI -BY-THF-SFA, CA

600

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## PROVISIONS BY OTHERS

\*HOISTWAY, CONSTRUCTION SITE, CLEARANCE

1- HOISTWAY CONSTRUCTION AND PIT BY OTHERS. DUE TO LIMITED SPACE WITHIN THE HOISTWAY IT IS ESSENTIAL THAT THE PIT IS LEVEL AND WALLS ARE SQUARE AND PLUMB THROUGHOUT THE HOISTWAY. THE HOISTWAY FRAMING MUST BE WITHIN 13 mm [1/2"] OF PLUMB AND SQUARE FROM TOP TO BOTTOM FOR PROPER OPERATION OF THE ELEVATOR THROUGHOUT THE HOISWAY.

2- CLEARANCES FROM DOOR SILL TO HOISTWAY DOOR TO BE 76 mm [3"] MAXIMUM AND ELEVATOR CAR DOOR TO HOISTWAY DOOR TO BE 127 mm [5"] MAXIMUM TO COMPLY WITH CSA B44 [ASME/ANSI A17.1.] CONSULT YOUR LOCAL INSPECTION AUTHORITIES FOR CODES WHICH MAY TAKE PRECEDENCE.

3- HOISTWAY MUST HAVE A MINIMUM 152 mm x 152 mm [6" X 6"] LOCKABLE ACCESS HATCH (PROVIDED BY SAVARIA CONCORD) LOCATED AT THE TOP OF THE HOISTWAY. LOCATION MUST BE IN AN AREA WHICH WILL PROVIDE ACCESS TO THE ELEVATOR DRIVE ASSEMBLY BY THE MANUAL LOWERING HANDLE. MANUAL LOWERING HANDLE WILL ENABLE USER TO OVERPOWER BRAKE AND LOWER CAR WITHOUT BODILY ENTRY TO THE SHAFTWAY.

4- THE PIT FLOOR SHALL BE CONSTRUCTED TO WITHSTAND AN IMPACT LOAD OF 2903 KG [6400 LBS]. REF. CSA B44 SECTION 2.11 (ASME/ANSI A17.1 SECTION 106.) 5- HOISTWAY TO BE FREE OF ALL PIPES, WIRING AND OBSTRUCTIONS NOT RELATED TO THE OPERATION OF THE ELEVATOR.

FOR COMPLYING WITH LOCAL CODES. 6- HOISTWAY CONSTRUCTION REQUIREMENTS MAY VARY FROM REGION TO REGION.
DIMENSIONS GIVEN ARE MANUFACTURERS RECOMMENDED CLEARANCES. THEY REFLECT THE RUNNING AND ACCESS CLEARANCES, CONSULT YOUR LOCAL AUTHORITY TO ASSURE COMPLIANCE WITH PROVINCE AND LOCAL CODES.

#### DIMENSIONS WARNING

CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.

#### \*STRUCTURAL

7- A LOAD BEARING WALL IS REQUIRED TO SUSTAIN RAIL REACTIONS AS SPECIFIED IN KEY TO RAIL REACTIONS ON DRAWING, BUILDING CONTRACTOR TO CONTACT STRUCTURAL ENGINEER TO DETERMINE IF SUPPORTING WALL WILL SUSTAIN RAIL REACTIONS. FOR COMPLYING WITH LOCAL CODES.

SUITABLE LINTELS MUST BE PROVIDED BY DWNER/AGENT.

DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS. 9- ALL FULL HEIGHT DOORS MUST BE ALIGNED WITH THE DOOR CENTERLINE SHOWN ON PLAN DETAIL. RECOMMEND INSTALLING A SOLID CORE 2032 mm [6'-8'] HIGH DOOR WITH A MINIMUM CLEAR OPENING OF 813 mm [2'-8'] WIDE.

10- DOOR HANDLE AND LATCH SD LATCH SET REQUIRED FOR ALL FULL SIZE DOORS. 11- SEE INSTALLATION MANUAL FOR DETAILS ON THE INTERLOCKS, INTERLOCKS ARE REQUIRED FOR ALL FULL SIZE DOORS.

12- THE ELEVATOR CONTROLLER IS 620 mm [24.4"] WIDE X 584 mm [23"] HIGH X 170 mm [6.7"] DEEP, THE CONTROLLER IS PROVIDED BY SAVARIA CONCORD AND IS EITHER A : ATTACHED TO THE RAIL WALL INSIDE THE HOISTWAY BETWEEN THE "T" RAILS

WITH ACCESS EITHER UNDER THE CAB OR THROUGH THE CAB OF THE ELEVATOR; OR B : IN A REMOTE LOCATION EXTERNAL TO HOISTWAY, THAT NEEDS PROPER STRUCTURAL WALL TO SUPPORT THE CONTROLLER ON ALL 4 CORNERS HOLES POSITION ARE = 597 mm [23.5"] WIDE BY 546 mm [21.5"] HIGH.

13- ARRANGE FOR A POWER SUPPLY WITHIN SIGHT OR NEXT TO THE ELEVATOR

CONTROLLER PRIOR TO DELIVERY OF THE UNIT(BOTH 115 VOLT AND 208/240 VOLT). THE 208/240 VOLT CIRCUIT SHALL DRIGINATE FROM A LOCKABLE 2 POLE FUSED DISCONNECT (20 AMP RK 5 RATED FUSE) LOCATED NEAR THE ACIDIN DESTROY OF FLICTRICAL PANEL. THE ELECTRICAL CIRCUIT PROVIDED FOR THE CONTROLLER SHALL BE, 208/240 VOLT, SINGLE PHASE, DEDICATED CIRCUIT WITH NEUTRAL AND GENOMINATING MUST BE SELECTIVELY COURDINATED. FUSE 208/240 VOLT FOR 20 AMP SERVICE FUSE 115 VOLT FOR 15 AMP SERVICE FOR CAR LIGHT. A LOCKABLE AUXILIARY 240 VOLT AND 115 VOLT DISCONNECT IS REQUIRED INSIDE THE HOISTWAY OR IN SIGHT OF THE CONTROLLER. ALL ELECTRICAL TO DISCONNECTS SHALL BE PRONTO CAND INSTAKLED SEYIOTHERS OF MUST COMPLY WITH APPLICABLE CODES).

14- FIELD ELECTRICAL WIRING AND CONNECTIONS TO HALL-CALLS, PIT SWITCH AND INTERLOCKS ARE PROVIDED.

15- THE ILLUMINATION SHALL BE NOT LESS THAN 200 LX (19 FC) AT THE FLOOR LEVEL IN ALL MACHINE ROOMS AND MACHINERY SPACES. THE SWITCH FOR THE LIGHT MUST BE

16- IF A TELEPHONE CIRCUIT IS REQUIRED (OPTION FOR ELEVATOR) JACK IS PROVIDED INSTALLATION.

17. LOCATION / ACCESS- "CONTROLER ROOM" LOCATED AT THE LOWEST LEVEL ADJACENT TO HOISTWAY, UNLESS SHOWN OTHERWISE ON THE LAYOUT DRAWINGS. FIELD ADJUSTMENT BY INSTALLER MAY BE NECESSARY TO MEET JOB SITE CONDITIONS OR REGULATIONS. ACCESS TO CONTROLLER ROOM TO BE THROUGH A SELF CLOSING LOCKABLE DOOR WHERE CODE CONSIDER IT AS A MACHINE ROOM

\*WHEN APPLICABLE SLEEVES FOR ELECTRIC LINES-18. FROM CONTROLLER ROOM TO RUNWAY AS REQUIRED.

(POSITION PER INSTALLERS INSTRUCTIONS).

19. ALTHOUGH THE ELEVATOR IS DESIGNED TO MEET CSA B44 [ANSI A17.1], LOCAL CODES MAY VARY. DEALER IS RESPONSIBLE FOR COMPLYING WITH LOCAL CODES.

ALL COMPONENTS WEIGHTS CAN BE FOUND IN THE PLANNING GUIDE

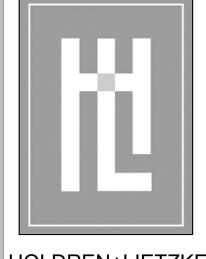
ALL INFORMATION IS SUBJECT TO CHANGE. PLEASE REFERENCE OUR ON-LINE DRAWINGS AT

www.savariaconcord.com FOR THE MOST RECENT UPDATES

#### RESIDENTIAL ELEVATOR

ECLIPSE MODEL 36X48 TYPE 1L

THE INFORMATION DISCLOSED HEREIN IS THE EXCLUSIVE PROPERTY OF AND MAY NOT BE USED BY OTHERS WITHOUT PRIOR WRITTEN CONSENT

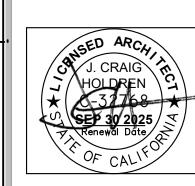


**HOLDREN+LIETZKE** ARCHITECTURE

225 CANNERY ROW - SUITE A MONTEREY, CA 93940 Ph: 831.649.6001 Fax: 831.649.6003 www.hl-arc.com

DEC. 03, 2024 SCALE: DRAWN: JOB NUMBER: 23.14

REVISION



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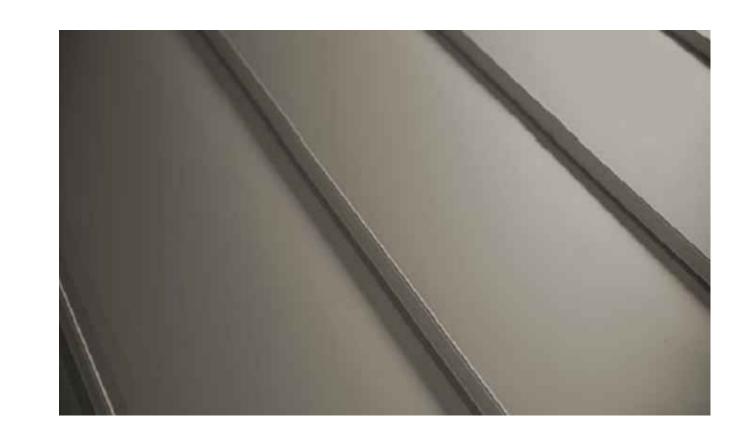
~~~~~~<u>\\</u>3\ ALUMINUM CLAD WOOD WINDOWS/DOORS "KOLBE" ULTRA CASEMENT, TRUFFLE 



THIN VENEER STONE CLADDING FOND DU LAC , RUSTIC



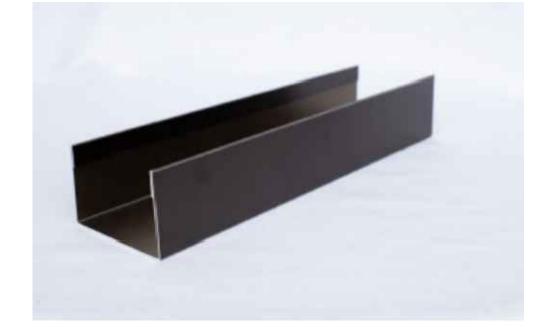
VERTICAL / HORIZONTAL WOOD SIDING: WESTERN RED CEDAR , FINELINE BY: "DOLLY VARDEN"



STANDING SEAM METAL ROOF: " WESTERN STATE METAL ROOFING" WESTERN LOCK STANDING SEAM ROOFING PANELS, MATTE MEDIUM BRONZE



STEEL ROD RAILING, POWDER COATED DARK BRONZE BY: "VIEWRAIL"

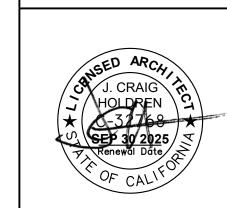


STEEL PAINTED CHANNEL



GALVANIZED BENT METAL GUTTER

**APPROVED** 06/27/2025 **COMMUNITY PLANNING & BUILDING** Approved by: Evan Kort, Senior Planner\_



HOLDREN+LIETZKE

ARCHITECTURE

225 CANNERY ROW - SUITE A MONTEREY, CA 93940

Ph: 831.649.6001 Fax: 831.649.6003 www.hl-arc.com

DATE:

SCALE:

DRAWN:

JOB NUMBER:

REVISION

DEC. 03.2622024

1/4"=1'-0"

23.1423.14

06.24.2024

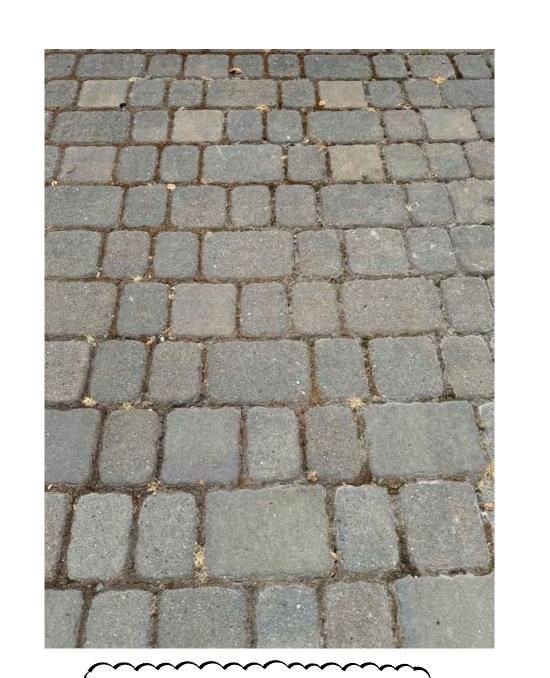
PLANNING REV #2
JULY 25, 2024

PLAN CHECK MAR 6, 2025

PLAN CHANGE APR 2, 2025

# RESIDENCE

MEYROSE / COME SANTA FE ST. 3 NE OF 5TH AVE CARMEL-BY-THE-SEA, CA A.P.N. 010-037-009



EXISTING DRIVEWAY PAVERS